

CASE DESCRIPTION

1663 Fairway

Hearing date: July 12, 2022

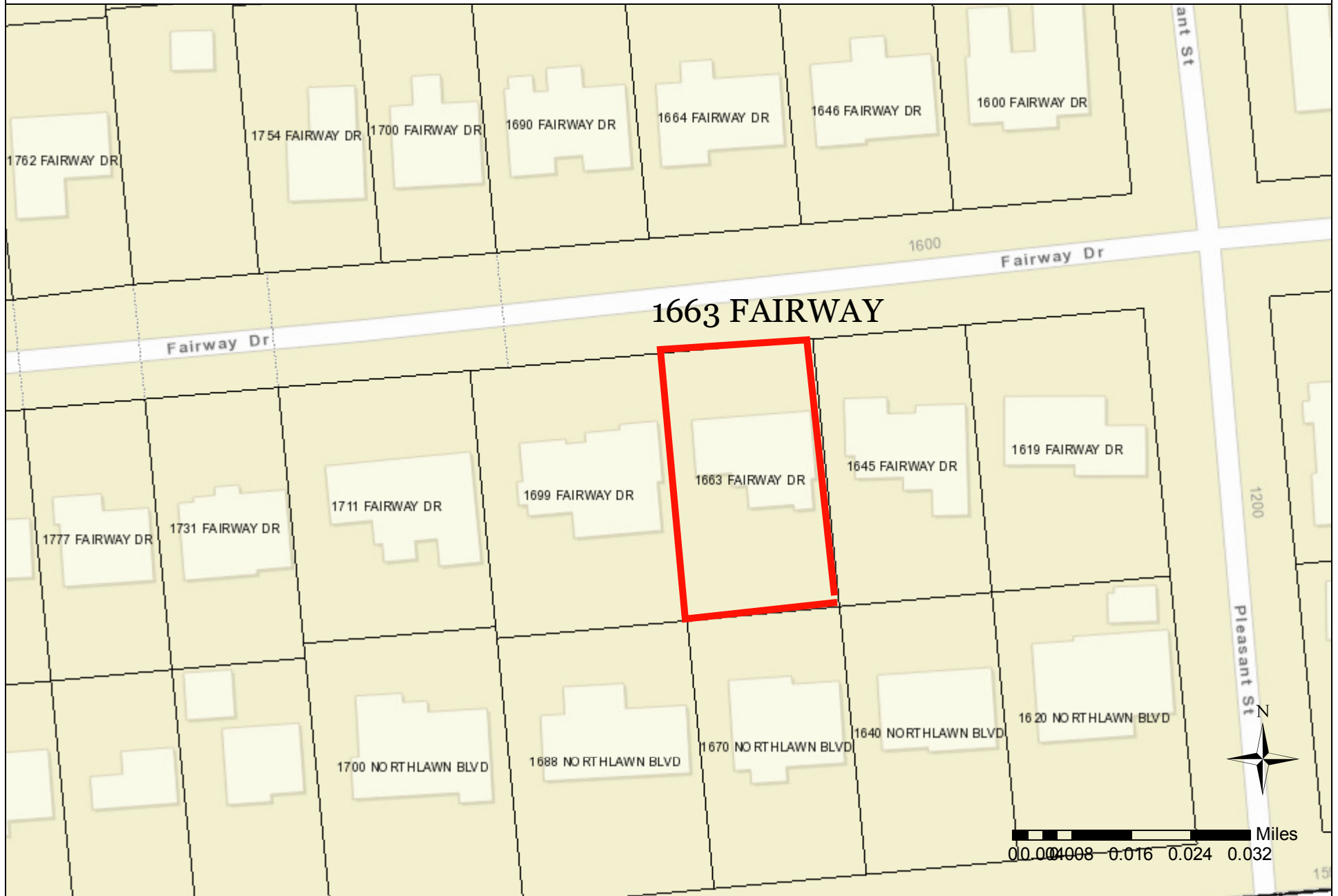
Appeal No. 6: The owner of the property known **1663 Fairway**, requests the following variances to construct a rear and second floor addition to an existing non-conforming home:

- A. Chapter 126, Article 2, Section 2.06.2 of the Zoning Ordinance requires that the combined total side yard is 14 feet or 25 percent of lot width, which is greater. The required is 20.00 feet. The existing/proposed 19.43 feet. Therefore, a variance of 0.57 feet is being requested.
- B. Chapter 126, Article 4, Section 4.74(C) of the Zoning Ordinance requires that the minimum distance between principal residential buildings on adjacent lots of 14.00 feet or 25% of total lot width, whichever is larger. The required is 20.00 feet on the west side. The existing/proposed is 19.08 feet. Therefore, a variance of 0.92 feet is being requested.
- C. Chapter 126, Article 4, Section 4.74(C) of the Zoning Ordinance requires that the minimum distance between principal residential buildings on adjacent lots of 14.00 feet or 25% of total lot width, whichever is larger. The required is 20.00 feet on the east side. The existing/proposed is 19.51 feet. Therefore, a variance of 0.51 feet is being requested.
- D. Chapter 126, Article 4, Section 4.75(A)(1) of the Zoning Ordinance requires that private, attached, single-family residential garages must be setback a minimum of 5.00 feet from the portion of the front façade on the first floor of the principal building that is furthest setback from the front property line. The proposed existing garage is 1.04 feet in front of the furthest façade. Therefore, a variance of 6.04 feet is being requested.
- E. Chapter 126, Article 4, Section 4.75(A)(2) of the Zoning Ordinance requires that garage doors on an attached garage which are facing a street may not exceed 9.00 feet in width. The existing and proposed is 16.00 feet. Therefore, a variance of 7.00 feet is being requested.

Staff Notes: The applicant is looking to construct a rear and second story addition to the existing non-conforming home that was constructing in 1949.

This property is zoned R1 – Single family residential.

1663 FAIRWAY MAP



CITY OF BIRMINGHAM
Community Development - Building Department
151 Martin Street, Birmingham, MI 48009
Community Development: 248-530-1850
Fax: 248-530-1290 / www.bhamgov.org

APPLICATION FOR THE BOARD OF ZONING APPEALS

Application Date: 5.16.22

Hearing Date: 7.12.22

Received By: HT

Appeal #: 22-31

Type of Variance:	<input checked="" type="checkbox"/> Interpretation <u>Yes</u>	<input checked="" type="checkbox"/> Dimensional <u>Yes</u>	<input type="checkbox"/> Land Use	<input type="checkbox"/> Sign	<input type="checkbox"/> Admin Review
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I. PROPERTY INFORMATION:

Address: <u>1663 Fairway</u>	Lot Number:	Sidwell Number:
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II. OWNER INFORMATION:

Name: <u>IDEAL BUILDERS AND Remodeling</u>			
Address: <u>6931 Chase CT</u>	City: <u>W. Bloomfield</u>	State: <u>MI</u>	Zip code: <u>48322</u>
Email: <u>harry.potash@yahoo.com</u>		Phone: <u>248-470-9877</u>	

III. PETITIONER INFORMATION:

Name: <u>Harry Potash</u>	Firm/Company Name: <u>IDEAL BUILDERS AND Remodeling</u>
Address: <u>6931 Chase CT</u>	City: <u>W. Bloomfield</u>
State: <u>MI</u>	Zip code: <u>48322</u>
Email: <u>harry.potash@yahoo.com</u>	
Phone: <u>248-470-9877</u>	

IV. GENERAL INFORMATION:

The Board of Zoning Appeals typically meets the second Tuesday of each month. Applications along with supporting documents must be submitted on or before the 12th day of the month preceding the next regular meeting. Please note that incomplete applications will not be accepted.

To insure complete applications are provided, appellants must schedule a pre-application meeting with the Building Official, Assistant Building Official and/or City Planner for a preliminary discussion of their request and the documents that will be required to be submitted. Staff will explain how all requested variances must be highlighted on the survey, site plan and construction plans. Each variance request must be clearly shown on the survey and plans including a table as shown in the example below. All dimensions to be shown in feet measured to the second decimal point.

The BZA application fee is \$360.00 for single family residential; \$560.00 for all others. This amount includes a fee for a public notice sign which must be posted at the property at least 15-days prior to the scheduled hearing date.

Variance Chart Example				
Requested Variances	Required	Existing	Proposed	Variance Amount
Variance A, Front Setback	25.00 Feet	23.50 Feet	23.50 Feet	1.50 Feet
Variance B, Height	30.00 Feet	30.25 Feet	30.25 Feet	0.25 Feet

V. REQUIRED INFORMATION CHECKLIST:

- ☐ One original and nine copies of the signed application
- ☐ One original and nine copies of the signed letter of practical difficulty and/or hardship
- ☐ One original and nine copies of the certified survey
- ☐ 10 folded copies of site plan and building plans including existing and proposed floor plans and elevations
- ☐ If appealing a board decision, 10 copies of the minutes from any previous Planning, HDC, or DRB board meeting

VI. APPLICANT SIGNATURE

Owner hereby authorizes the petitioner designated below to act on behalf of the owner.

By signing this application, I agree to conform to all applicable laws of the City of Birmingham. All information submitted on this application is accurate to the best of my knowledge. Changes to the plans are not allowed without approval from the Building Official or City Planner.

*By providing your email to the City, you agree to receive news and notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner: Harry Potash Date: May 16, 2022

Signature of Petitioner: Harry Potash Date: May 16, 2022

CITY OF BIRMINGHAM
 Date: 05/16/2022 4:00:18 PM
 Ref: 019163
 Receipt: 526398
 Amount: \$360.00

CITY OF BIRMINGHAM
BOARD OF ZONING APPEALS
RULES OF PROCEDURE

ARTICLE I - Appeals

- A. Appeals may be filed under the following conditions:
1. A property owner may appeal for variance, modification or adjustment of the requirements of the Zoning Ordinance.
 2. A property owner may appeal for variance, modification or adjustment of the requirements of the Sign Ordinance.
 3. Any aggrieved party may appeal the decision of the Planning Board and/or the Building Official in accordance with the City of Birmingham Zoning Ordinance, Article Eight, Section 8.01 (D) Appeals. If an appellant requests a review of any determination of the Building Official, a complete statement setting forth the facts and reasons for the disagreement with the Building Official's determination shall include the principal point, or points on the decision, order or section of the ordinance appealed from, on which the appeal is based.
- B. Procedures of the Board of Zoning Appeals (BZA) are as follows:
1. Regular BZA meetings, which are open to the public, shall be held on the second Tuesday of the month at 7:30 P.M. provided there are pending appeals. There will be a maximum of seven appeals heard at the regular meeting which are taken in the order received. If an appeal is received on time after the initial seven appeals have been scheduled, it will be scheduled to the next regular meeting.
 2. All applications for appeal shall be submitted to the Community Development Department on or before the 12th day of the month preceding the next regular meeting. If the 12th falls on a Saturday, Sunday, or legal holiday, the next working day shall be considered the last day of acceptance.
 3. All property owners and occupants within 300 feet of the subject property will be given written notice of a hearing by the City of Birmingham.
 4. See the application form for specific requirements. If the application is incomplete, the BZA may refuse to hear the appeal. The Building Official or City Planner may require the applicant to provide additional information as is deemed essential to fully advise the Board in reference to the appeal. Refusal or failure to comply shall be grounds for dismissal of the appeal at the discretion of the Board.
 5. In variance requests, applicants must provide a statement that clearly sets forth all special conditions that may have contributed to a practical difficulty that is preventing a reasonable use of the property.

6. Where the Birmingham Zoning Ordinance requires site plan approval of a project by the City Planning Board before the issuance of a building permit, applicants must obtain preliminary site plan approval by the Planning Board before appeal to the BZA for a variance request. If such appeal is granted by the BZA, the applicant must seek final site plan and design review approval from the Planning Board before applying for a building permit.
7. An aggrieved party may appeal a Planning Board decision. Such appeal must be made within 30 days of the date of the decision. The BZA, in its discretion, may grant additional time in exceptional circumstances.
8. Appeals from a decision of the Building Official shall be made within 30 days of the date of the order, denial of permit, or requirement or determination contested. The BZA, in its discretion, may grant additional time in exceptional circumstances.
9. An appeal stays all proceedings in accordance with Act #110, Public Acts of 2006, Article VI, Section 125.3604 (3).

C. The order of hearings shall be:

1. Presentation of official records of the case by the Building Official or City Planner as presented on the application form.
2. Applicant's presentation of his/her case—the applicant or his/her representative must be present at the appeal hearing.
3. Interested parties' comments and view on the appeal.
4. Rebuttal by applicant.
5. The BZA may make a decision on the matter or request additional information.

D. Motions and Voting

1. A motion is made to either grant or deny a petitioner's request
 - a) For a motion to grant or deny a non-use variance request, the motion must receive four (4) affirmative votes to be approved.
 - b) For a motion to grant or deny a use variance request, the motion must receive five (5) affirmative votes to be approved.
 - c) For a motion to grant or deny an appeal of a decision or order by an administrative official or board, the motion must receive four (4) affirmative votes to be approved.
 2. When a motion made is to approve or deny a petitioner's request and if there is a tie vote, then the vote results in no action by the board and the petitioner shall be given an opportunity to have his or her request heard the next regularly scheduled meeting when all the members are present.
-

3. When there are less than seven (7) members of the board present for a meeting, then a petitioner requesting a use variance shall be given an opportunity at the beginning of the meeting to elect to have it heard at the next regularly scheduled meeting.
4. When there are less than six (6) members present for a meeting, then all petitioners shall be given an opportunity at the beginning of the meeting to elect to have the request heard at the next regularly scheduled meeting.

ARTICLE II - Results of an Appeal

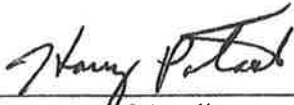
- A. The Board may reverse, affirm, vary or modify any order, requirement, decision or determination as in its opinion should be made, and to that end, shall have all the powers of the officer from whom the appeal has been taken.
- B. The decisions of the Board shall not become final until the expiration of five (5) days from the date of entry of such orders or unless the Board shall find that giving the order immediate effect is necessary for the preservation of property and/or personal rights and shall so certify on the record.
- C. Whenever any variation or modification of the Zoning Ordinance is authorized by resolution of the BZA, a Certificate of Survey must be submitted to the Community Development Department with the building permit application. A building permit must be obtained within one year of the approval date.
- D. Failure of the appellant, or his representative, to appear for his appeal hearing will result in the appeal being adjourned to the next regular meeting. If, after notice, the appellant fails to appear for the second time, it will result in an automatic withdrawal of the appeal. The appellant may reapply to the BZA.
- E. Any applicant may, with the consent of the Board, withdraw his application at any time before final action.
- F. Any decision of the Board favorable to the applicant is tied to the plans submitted, including any modifications approved by the Board at the hearing and agreed to by the applicant, and shall remain valid only as long as the information or data provided by the applicant is found to be correct and the conditions upon which the resolution was based are maintained.

ARTICLE III - Rehearings

- A. No rehearing of any decision of the Board shall be considered unless new evidence is submitted which could not reasonably have been presented at the previous hearing or unless there has been a material change of facts or law.
-

B. Application or rehearing of a case shall be in writing and subject to the same rules as an original hearing, clearly stating the new evidence to be presented as the basis of an appeal for rehearing.

I certify that I have read and understand the above rules of procedure for the City of Birmingham Board of Zoning Appeals.

A handwritten signature in cursive script, appearing to read "Harry P. Cook", is written above a horizontal line.

Signature of Applicant



To the ZBA board:

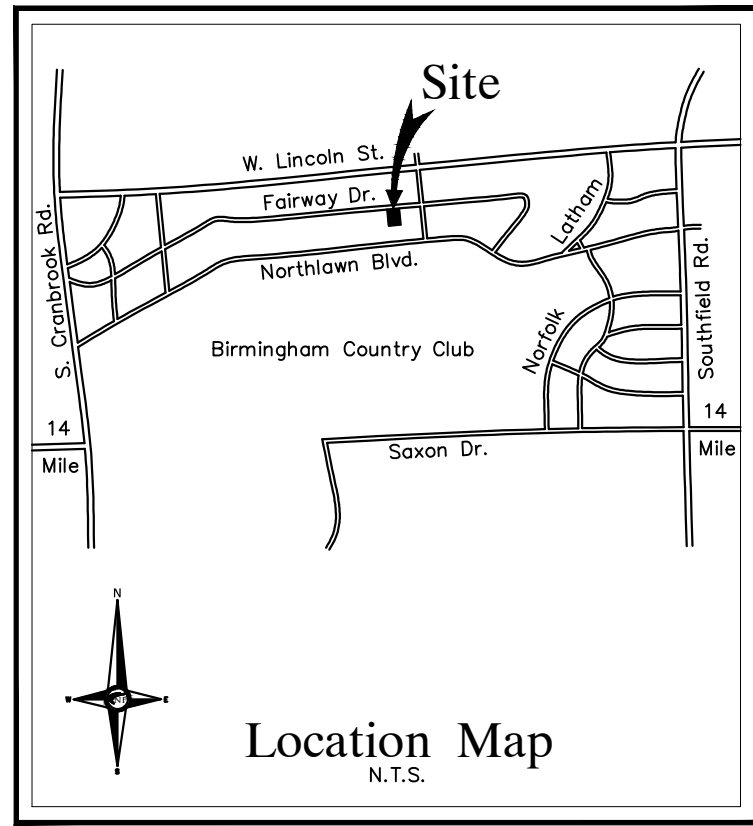
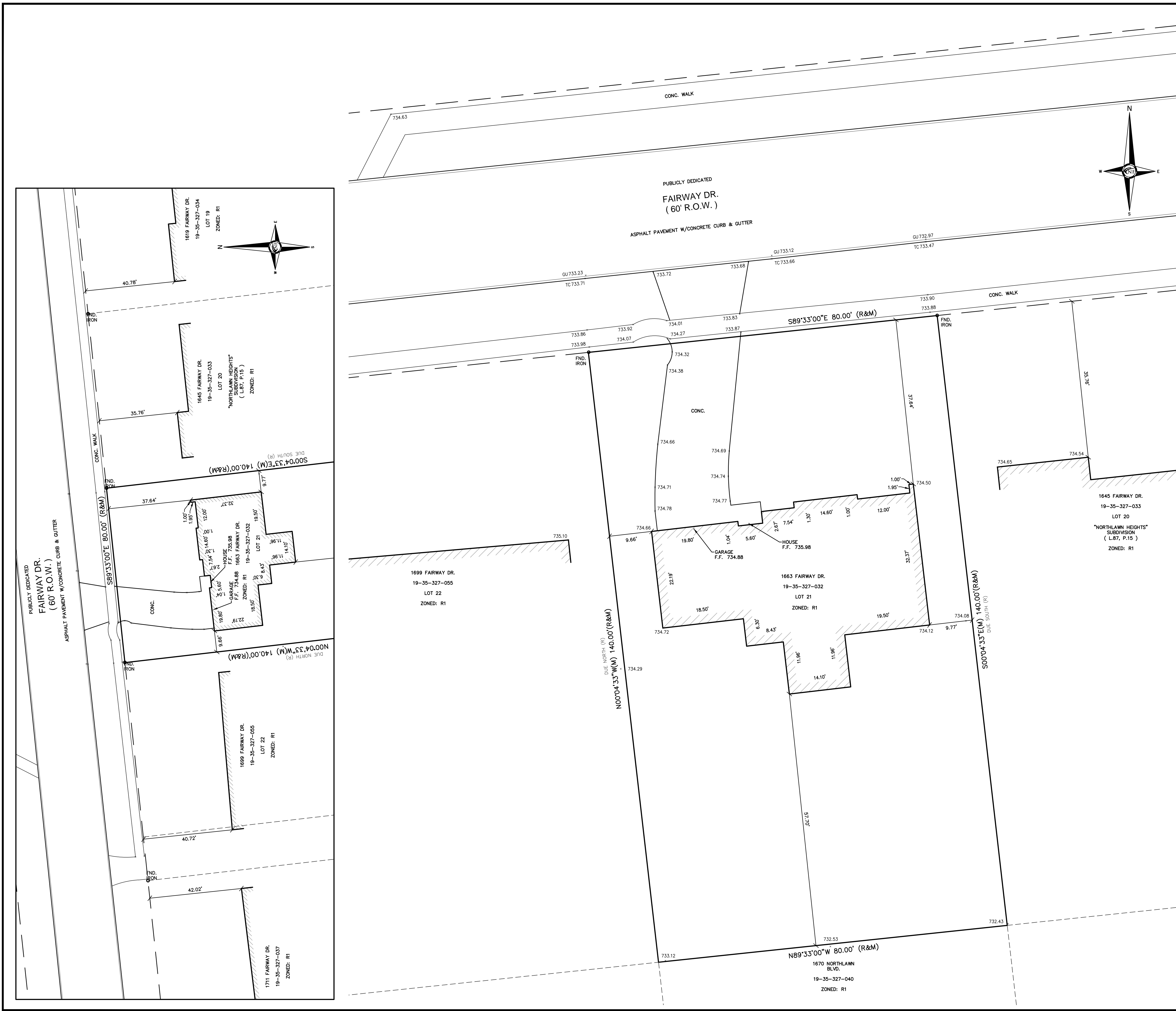
Please consider my variance request at 1663 Fairway. I am building a second floor to this ranch home and I would like to change the roof line over the garage which is pre existing. Because I didn't create this hardship, I would like approval to this change, which you can see on the plans you have. This is a great neighborhood and I intend to do my part to keep this block look even more beautiful. Thank you for your consideration.

Thank You,

A handwritten signature in blue ink, appearing to read "Harry Potash", written over a light blue rectangular background.

Harry Potash

Ideal Builders and Remodeling



CERTIFICATE OF SURVEY

WE HEREBY CERTIFY THAT WE HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED.

Kevin Navaroli
KEYIN NAVAROLI, P.S. NO. 4001053503
DATE OF PLAT OR MAP: 4-21-2022

LEGAL DESCRIPTION

LOT 21 OF NORTHLAWN HEIGHTS A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 35, TOWN 2 NORTH, RANGE 10 EAST, VILLAGE OF BIRMINGHAM (NOW CITY), OAKLAND COUNTY, MICHIGAN AS RECORDED IN LIBER 87 OF PLATS, PAGE 15, OAKLAND COUNTY RECORDS.

ADDRESS: 1663 FAIRWAY DRIVE, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-35-327-032

SITE AREA: 11,200 SQUARE FEET OR 0.257 ACRES

SETBACK TABLE

1619 FAIRWAY DR.	40.78' FRONT SETBACK
1645 FAIRWAY DR.	35.76' FRONT SETBACK
1663 FAIRWAY DR.	37.64' FRONT SETBACK
1699 FAIRWAY DR.	40.72' FRONT SETBACK
1711 FAIRWAY DR.	42.02' FRONT SETBACK

TOTAL OF SETBACKS= 196.92'
AVERAGE 196.92' / 5 = 39.38'

BASIS OF BEARING NOTE

ALL BEARINGS ARE IN RELATION TO THE PREVIOUSLY ESTABLISHED SOUTH RIGHT-OF-WAY LINE OF FAIRWAY DRIVE (60' WIDE) OF "NORTHLAWN HEIGHTS" SUBDIVISION AS RECORDED IN LIBER 87 OF PLATS, PAGE 15, OAKLAND COUNTY RECORDS. (S.89°33'00"E.)

DATUM NOTE

ALL ELEVATIONS SHOWN HEREON ARE ON THE CITY OF BIRMINGHAM'S VERTICAL DATUM, REFERENCING THE CITY OF BIRMINGHAM BENCHMARK #27 WITH AN ELEVATION OF 766.370. BIRMINGHAM G.I.S. COORDINATE OF N=380537.089, E=13437249.643 BEING AT THE NORTHEAST CORNER OF SOUTHFIELD AND LINCOLN.

FLOOD HAZARD NOTE

THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NO. 26125C0536F BEARING AN EFFECTIVE DATE OF 09-29-2006.

MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER 2022041402925, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY. DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON APRIL 21, 2022. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

LEGEND

MANHOLE(MH)	EXISTING SANITARY SEWER
CO	EXISTING SAN. CLEAN OUT
HYDRANT(HYD)	GATE VALVE(GV)
MANHOLE(MH)	CATCH BASIN(CB)
CBB	EXISTING STORM SEWER
EX. BEEHIVE CATCH BASIN	
EX. UNDERGROUND (UG.) CABLE	
OVERHEAD (OH.) LINES	
UTILITY POLE	GUY WIRE
LP	LIGHT POLE
SIGN	
EXISTING GAS MAIN	
ASPH.	ASPHALT
CONC.	CONCRETE
FD. / FND.	FOUND
RET. WALL	RETAINING WALL
R.O.W.	RIGHT-OF-WAY
SPK	SET PK NAIL
(TYP)	TYPICAL
(R)	RECORD
(M)	MEASURED
C/L	CENTERLINE
P/L	PROPERTY LINE
GM	GAS METER
EM	ELECTRIC METER
L/S	LANDSCAPE
DS	DOWNSPOUT
GP	GUARD POST
MB	MAIL BOX



NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NFE-ENGR.COM

SEAL



PROJECT

1663 Fairway Dr.
Birmingham, MI 48009

CLIENT

Ideal Builders

Contact: Harry Potash
Phone: 248.470.9877
Email: harrypotash@yahoo.com

PROJECT LOCATION

Part of the SE 1/4
of Section 35
T.2N., R.10E.,
City of Birmingham,
Oakland County, Michigan

SHEET

Boundary & Partial
Topographic Survey



DATE ISSUED/REVISED
04-21-22 SURVEY ISSUED
06-02-22 ISSUED FOR CITY REVIEW

DRAWN BY:
M. Carnaghi
DESIGNED BY:

APPROVED BY:
K. Navaroli
DATE:
April 21, 2022

SCALE: 1" = 20'
NFE JOB NO. M942
SHEET NO. C1

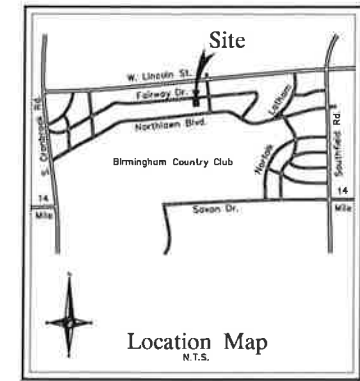
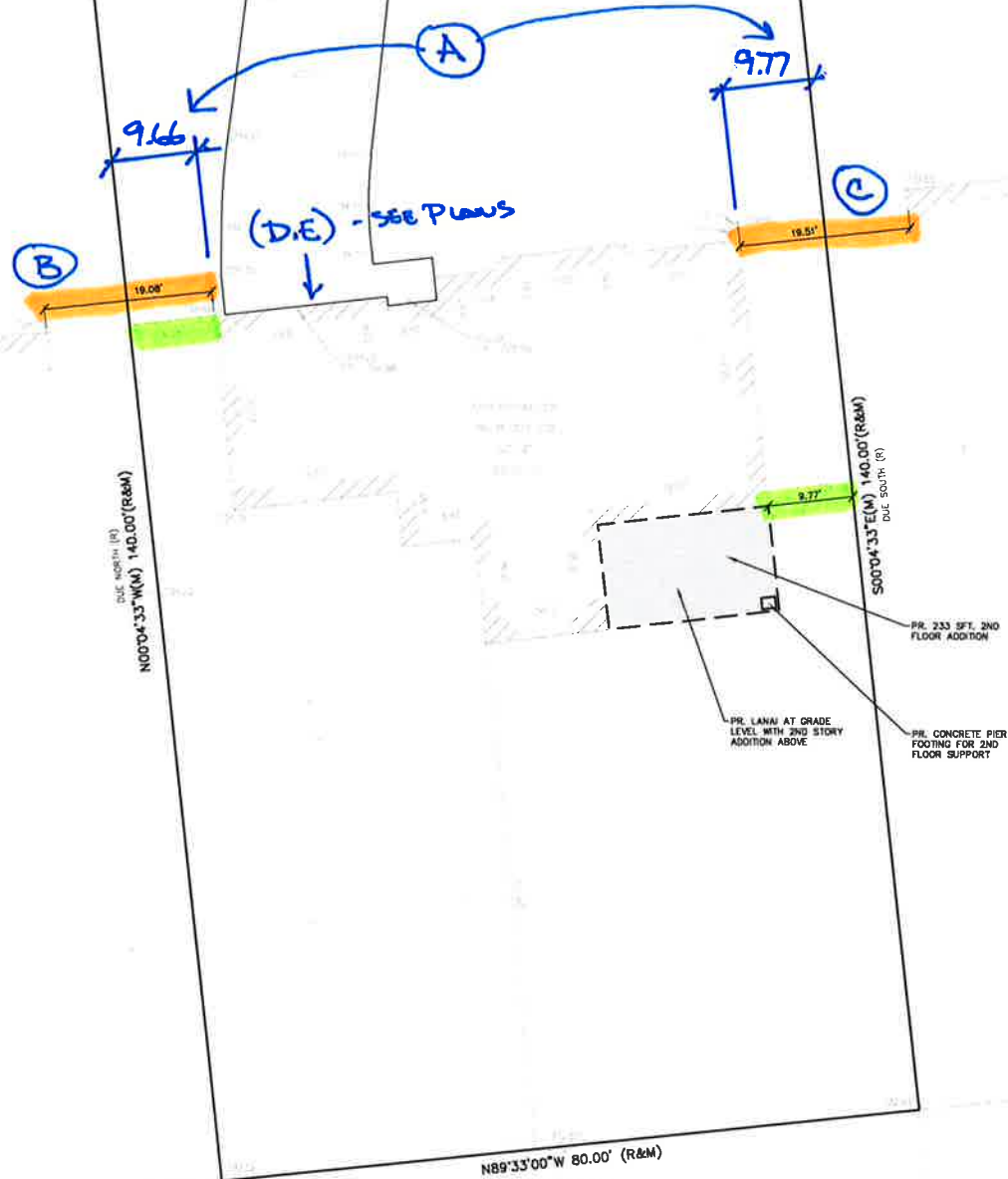
FAIRWAY DR.
(60' R.O.W.)

S89°33'00"E 80.00' (R&M)

N00°04'33"W (M) 140.00' (R&M)

S00°04'33"E (M) 140.00' (R&M)

N89°33'00"W 80.00' (R&M)



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NFE-ENGR.COM



SEAL



PROJECT
1663 Fairway Dr.
Birmingham, MI 48009

CLIENT

Ideal Builders

Contact: Harry Potash
Phone: 248.470.9877
Email: harrypotash@yahoo.com

PROJECT LOCATION

Part of the SE 1/4
of Section 35
T.2N., R.10E.,
City of Birmingham,
Oakland County, Michigan

SHEET

Plot Plan

SITE DATA		
TOTAL LOT AREA:	11,199.53 S.F. or 0.257 ac.	
ZONING:	R-1 (SINGLE FAMILY RESIDENTIAL)	
SETBACKS:	REQUIRED	PROVIDED
EXISTING FRONT YARD	39.38'	37.64'
EXISTING SIDEYARD	9.0'	9.66'
EXISTING SIDEYARD	11.0'	9.77'
EXISTING REAR YARD	30.0'	57.7'
LOT COVERAGE:	PROVIDED	
30% ALLOWABLE	2,085.94 S.F. or 18.6%	
OPEN SPACE:	PROVIDED	
40% MINIMUM	6,297.83 S.F. or 56.2%	
IMPERVIOUS AREA:	PROVIDED	
	2,815.76 S.F. or 25.1%	

PAVING LEGEND	
	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND	
	EXISTING SANITARY SEWER
	SAN. CLEAN OUT
	EXISTING WATERMAIN
	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN
	PR. SANITARY SEWER
	PR. WATER MAIN
	PR. STORM SEWER
	PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE
	PR. TOP OF CURB ELEVATION
	PR. GUTTER ELEVATION
	PR. TOP OF WALK ELEVATION
	PR. TOP OF PAVT. ELEVATION
	FINISH GRADE ELEVATION



DATE ISSUED/REVISED
04-21-22 SURVEY ISSUED
06-02-22 ISSUED FOR CITY REVIEW

DRAWN BY:
R. Johnson

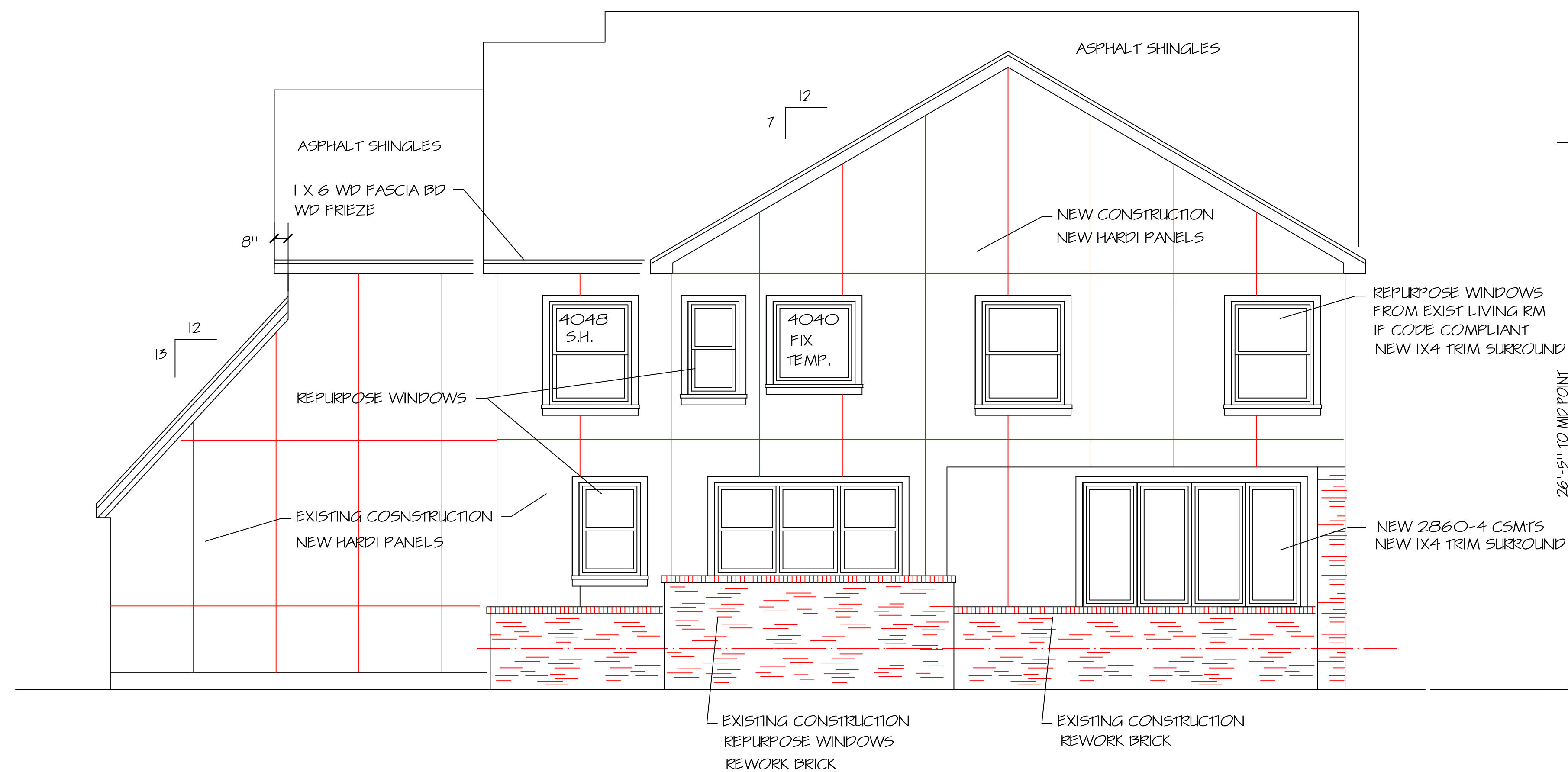
DESIGNED BY:
B. Brickel

APPROVED BY:
B. Brickel

DATE:
April 21, 2022

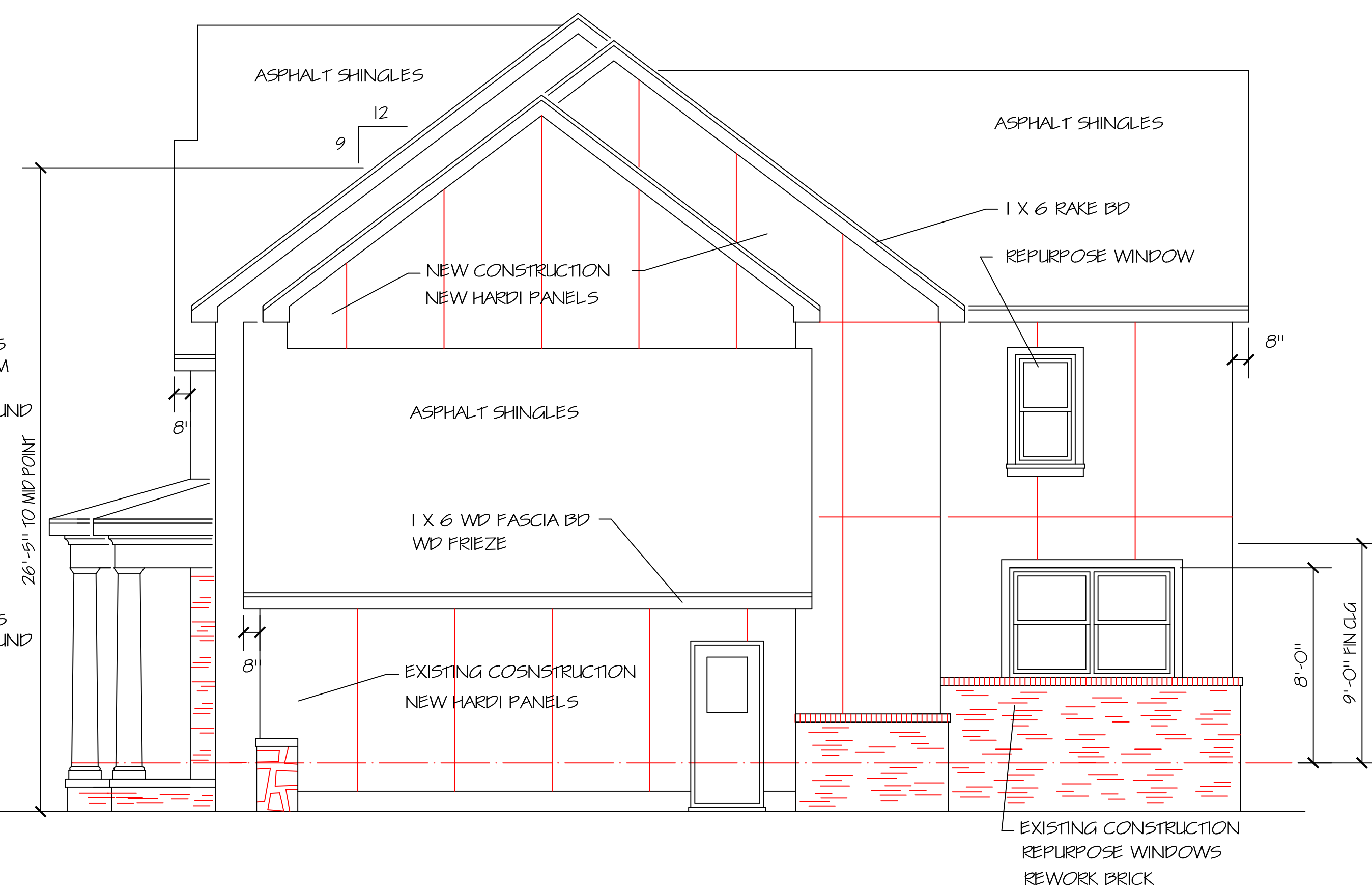
SCALE: 1" = 10'

NFE JOB NO. M942
SHEET NO. C2



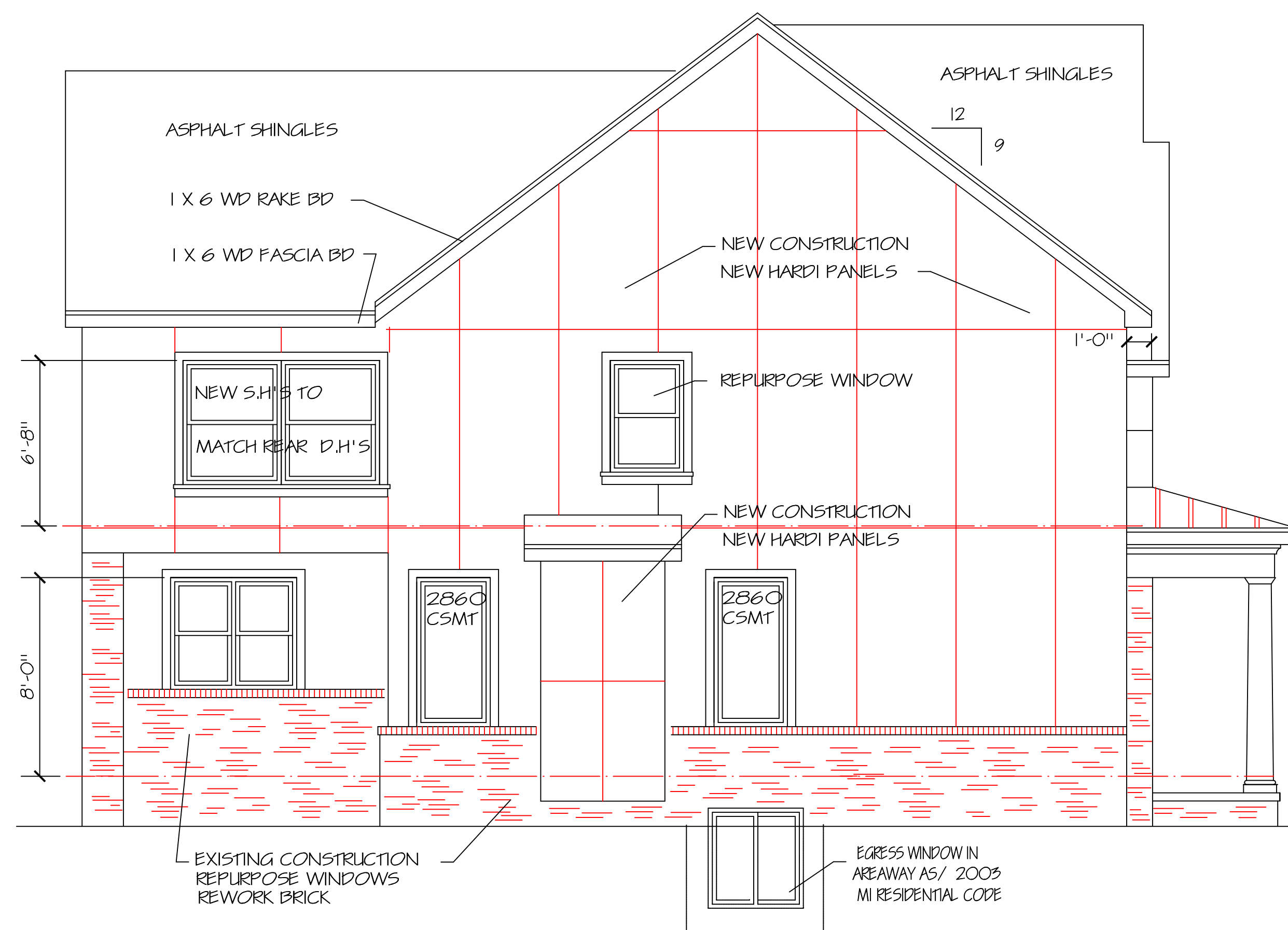
PROPOSED REAR ELEVATION

SCALE 1/4" = 1'-0"



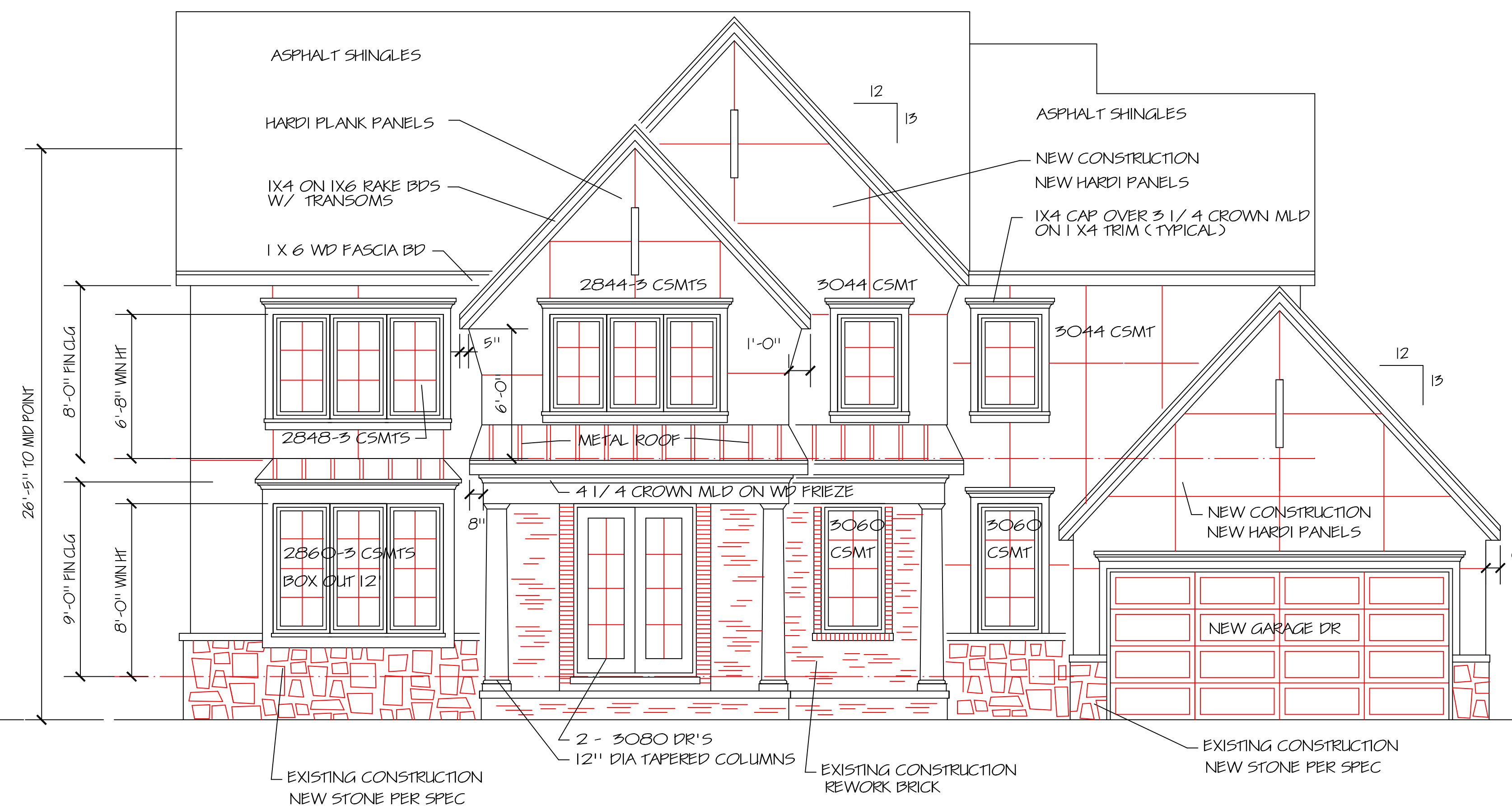
PROPOSED RIGHT ELEVATION

SCALE 1/4" = 1'-0"



PROPOSED LEFT ELEVATION

SCALE 1/4" = 1'-0"



PROPOSED FRONT ELEVATION

SCALE 1/4" = 1'-0"

DATE: 4-29-2022
REV'S: 4-30-2022
5-2-2022

CLIENT: IDEAL BUILDING & REMODELING
1663 FAIRWAY BIRMINGHAM, MI

COPYRIGHT NOTICE
ALL MATERIAL CONTAINED HEREIN
IS THE PROPERTY OF
ROBERT KOZLOSKI
AND IS NOT TO BE REPRODUCED
OR TRANSMITTED IN ANY FORM
WITHOUT WRITTEN PERMISSION
EXPRESSED BY ROBERT KOZLOSKI

PROFESSIONAL HOME DESIGNERS 970-471-6089
ROBERT KOZLOSKI & ASSOCIATES
5406 SEA VIEW
WATERFORD, MI 48327

PLAN NO. C-3147-4
SHEET NO.: 5

OF: 5

NOTES

ALL WORK TO CONFORM TO 2015 MI RESIDENTIAL CODE
AND THE ORDINANCES ADOPTED BY THE LOCAL MUNICIPALITY

ALL HEADERS TO BE 2 - 2 X 10'S UNLESS NOTED OTHERWISE

VERIFY INTERIOR DOOR HDR HT'S W/ BUILDER

FLASHING REQUIRED AS/ SEC R703.8 1-7

PROVIDE DRAFTSTOPPING PER SEC R302.12

ALL WINDOW SILL HEIGHTS / MRC 2015 sec R-612.2

ALL TRUSS PLATES REQUIRED TO WITHSTAND A MIN. OF 175# UPLIFT

WEATHER RESISTANCE PAPER REQUIRED AT ENTIRE EXTERIOR WALL AREA'S

ALL SMOKE DETECTORS TO BE HARD WIRED
TOGETHER W/ BATTERY BACKUPS

PROVIDE CARBON MONOXIDE DETECTORS AS/ sec R 315

SEAL ALL ATTIC ACCESS SCUTTLES PER MUEC sec R 402.2.3

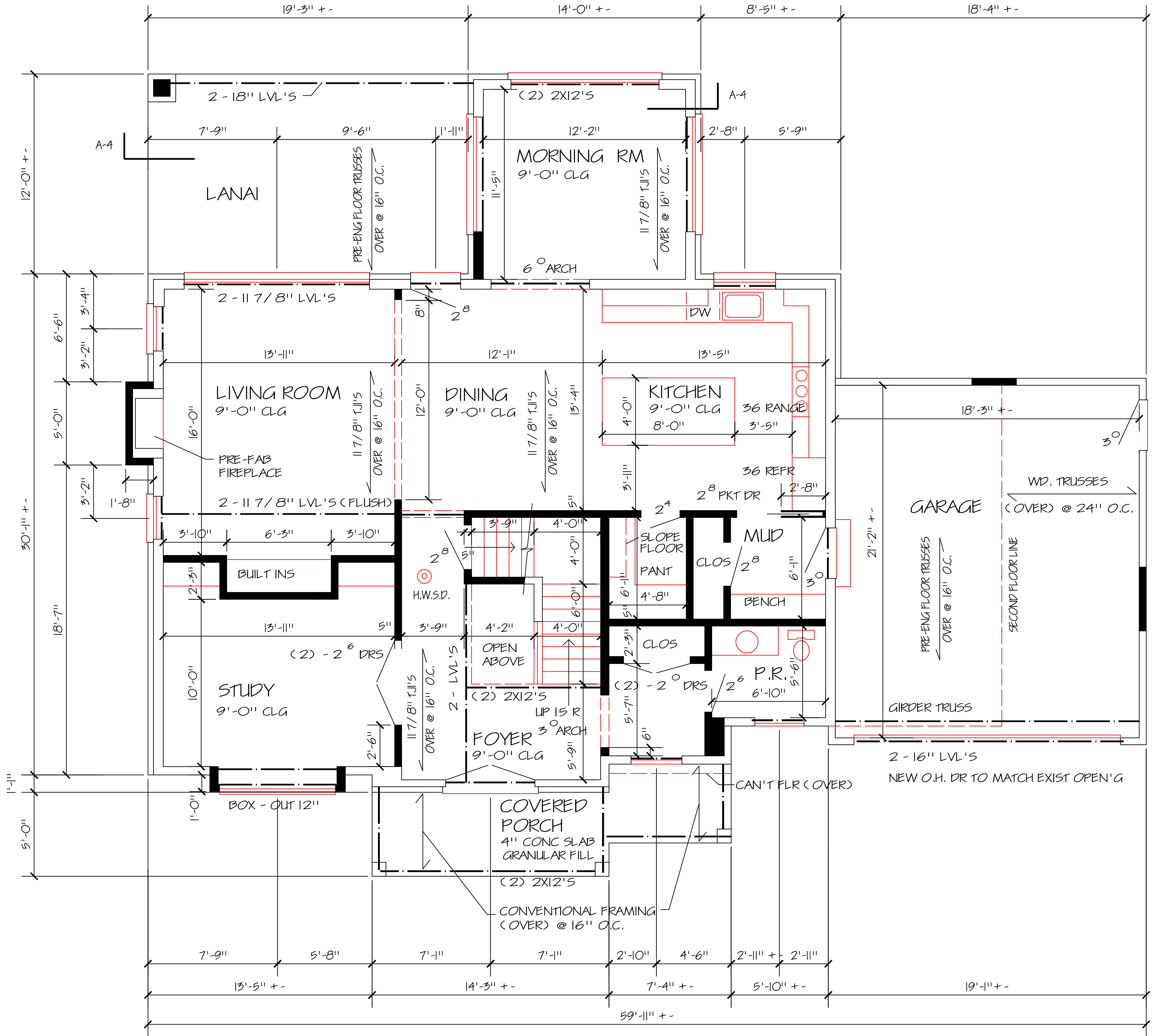
BUILDER TO PROVIDE AIR LEAKAGE TEST PER MEUC 2015 sec R 402.4

SHADED WALLS ARE NEW

UNSHADED WALLS ARE EXISTING

DIMENSIONS ARE APPROXIMATE

BUILDER TO VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION
IF ANY CONFLICTING CONDITIONS ARISE IN ORDER TO EXECUTE
THE PROPOSED IMPROVEMNTS TO THE PROJECT, Robert Kozloski & Assoc. IS TO BE NOTIFIED
PRIOR TO ANY FIELD CHANGES



PROPOSED FLOOR PLAN

SCALE 1/4" = 1'-0"

1405 SQ. FT.

DATE:	REV'S:
4-16-2022	
4-20-2022	
4-26-2022	
5-3-2022	

CLIENT:	IDEAL BUILDING & REMODELING 1663 FAIRWAY BIRMINGHAM, MI
---------	--

COPYRIGHT NOTICE	ALL MATERIAL CONTAINED HEREIN IS THE PROPERTY OF ROBERT KOZLOSKI AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF ROBERT KOZLOSKI
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PROFESSIONAL HOME DESIGNERS	970-471-6089
ROBERT KOZLOSKI & ASSOCIATES	5406 SEA VIEW WATERFORD, MI 48327

PLAN NO.	C-3147-4
SHEET NO.:	3
OF:	5

SHINGLE ROOFING ON ROOF PAPER
ON 1/2" EXT. O.S.B. DECK

ICE AND WATER SHEILD
2'-0" PAST INTERIOR WALL TO EAVE

SIDING PER SPEC
VAPOR BARRIER
RIGID SHEATHING (1/2")
2x6 STUD WALL @ 16" O.C.
R-19 INSULATION
1/2" GYP. BD.

PRE ENG FLOOR TRUSSES @ 16" O.C.

EXTERIOR BEAD BOARD SOFFIT

BRICK PIER ON
NEW 36" X 36" X 42" DEEP
CONCRETE PIER FOOTING W/
2 - # 5 BARS EA. WAY @ BOTTOM

WOOD TRUSSES @ 24" O.C.
R-38 INSULATION

M. SUITE

M. BATH

MORNING RM

EXISTING
CONSTRUCTION

PROPOSED CROSS SECTION A-4

SCALE 1/4" = 1'-0"

NOTES

ALL WORK TO CONFORM TO 2015 MI. RESIDENTIAL CODE
AND THE ORDINANCES ADOPTED BY THE LOCAL MUNICIPALITY

ALL HEADERS TO BE 2 - 2 X 10'S UNLESS NOTED OTHERWISE

VERIFY INTERIOR DOOR HDR HT'S W/ BUILDER

FLASHING REQUIRED AS/ SEC R703.8 1-7

PROVIDE DRAFTSTOPPING PER SEC R302.12

ALL WINDOW SILL HEIGHTS / MRC 2015 sec R-612.2

ALL TRUSS PLATES REQUIRED TO WITHSTAND A MIN. OF 175# UPLIFT

WEATHER RESISTANCE PAPER REQUIRED AT ENTIRE EXTERIOR WALL AREA'S

ALL SMOKE DETECTORS TO BE HARD WIRED
TOGETHER W/ BATTERY BACKUPS

PROVIDE CARBON MONOXIDE DETECTORS AS/ sec R 315

SEAL ALL ATTIC ACCESS SCUTILES PER MEUC sec R 402.2.3

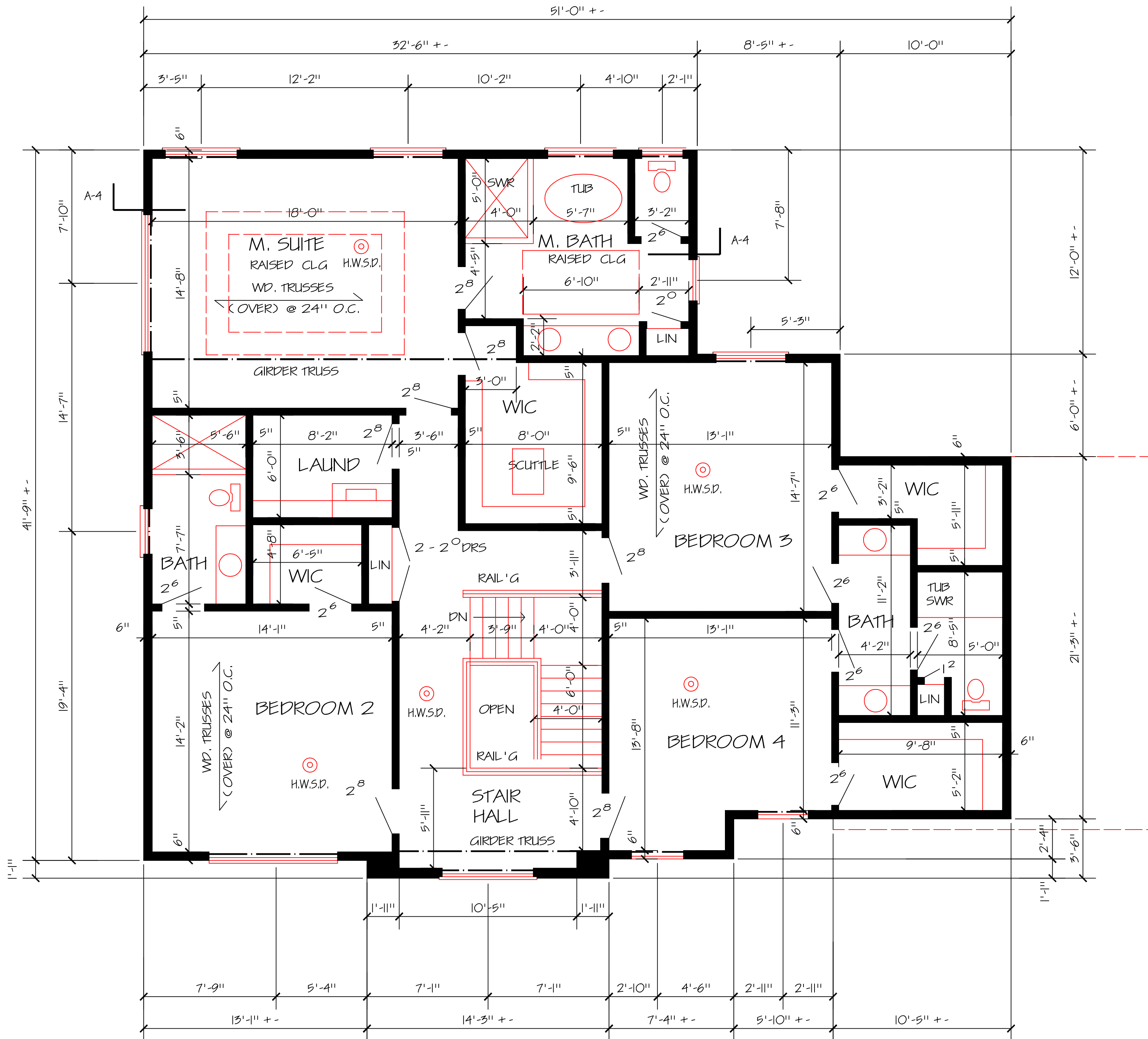
BUILDER TO PROVIDE AIR LEAKAGE TEST PER MEUC 2015 sec R 402.4

SHADED WALLS ARE NEW

UNSHADED WALLS ARE EXISTING

DIMENSIONS ARE APPROXIMATE

BUILDER TO VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION
IF ANY CONFLICTING CONDITIONS ARISE IN ORDER TO EXECUTE
THE PROPOSED IMPROVEMNTS TO THE PROJECT, Robert Kozloski & Assoc. IS TO BE NOTIFIED
PRIOR TO ANY FIELD CHANGES



PROPOSED SECOND FLOOR

SCALE 1/4" = 1'-0"

1742 SQ. FT.

1405 SQ. FT. FIRST FLOOR
3147 SQ. FT. TOTAL

DATE:	REV'S:
4-25-2022	
4-30-2022	
5-2-2022	
5-4-2022	

CLIENT:

IDEAL BUILDING & REMODELING
1663 FAIRWAY BIRMINGHAM, MI

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OF ROBERT KOZLOSKI

PROFESSIONAL HOME DESIGNERS

970-471-6089

ROBERT KOZLOSKI & ASSOCIATES

5406 SEA VIEW
WATERFORD, MI 48327

PLAN NO.
C-3147-4
SHEET NO.: 4

OF 5

NOTES

ALL WORK TO CONFORM TO 2015 MI RESIDENTIAL CODE
AND THE ORDINANCES ADOPTED BY THE LOCAL MUNICIPALITY

ALL HEADERS TO BE 2 - 2 X 10'S UNLESS NOTED OTHERWISE

VERIFY INTERIOR DOOR HDR HT'S W/ BUILDER

FLASHING REQUIRED AS/ SEC R703.8 1-7

PROVIDE DRAFTSTOPPING PER SEC R302.12

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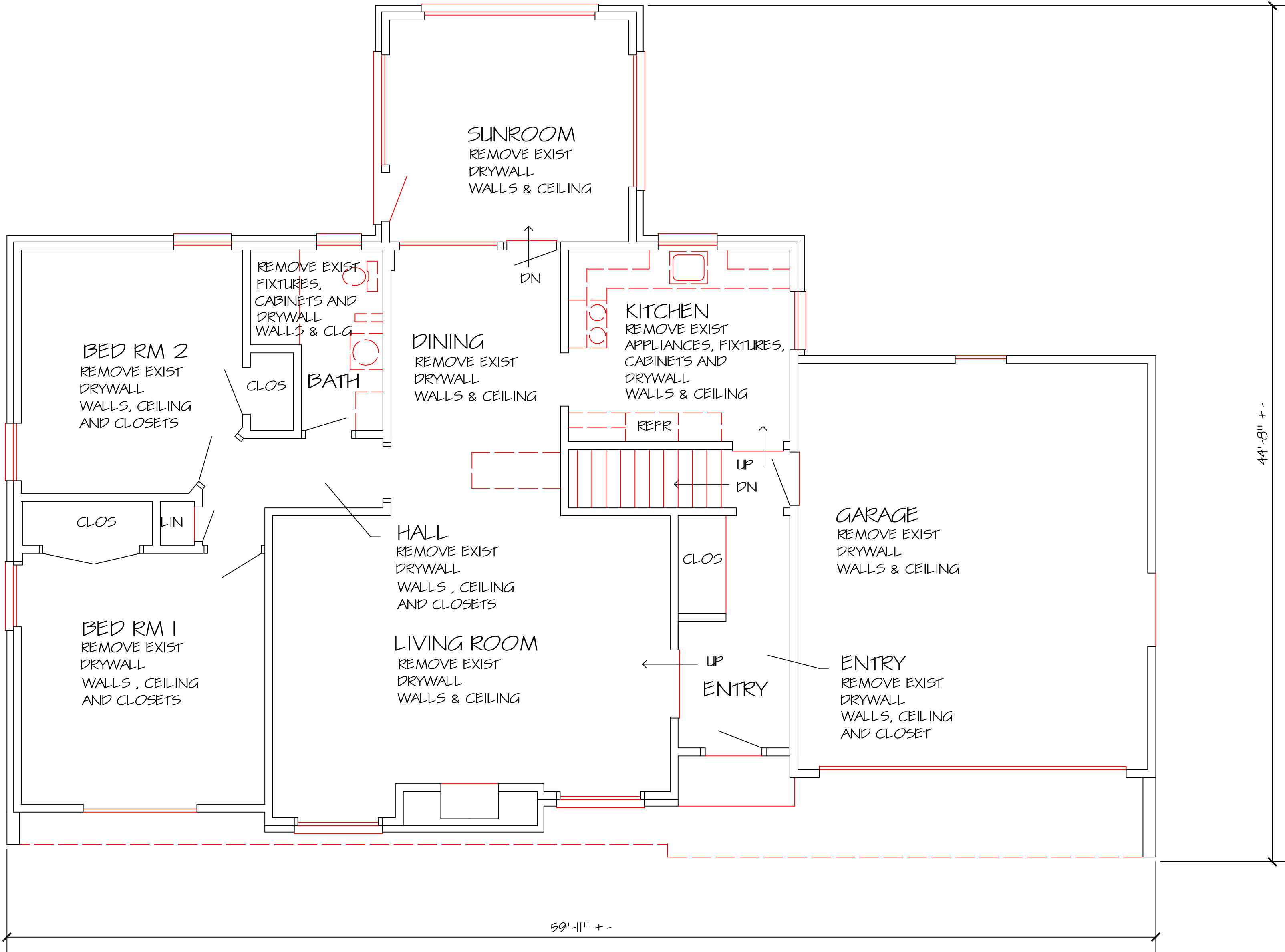
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EXISTING FLOOR PLAN SCALE 1/4" = 1'-0"

1405 SQ. FT.

DATE:	REV'S:
4-16-2022	
4-16-2022	

CLIENT:

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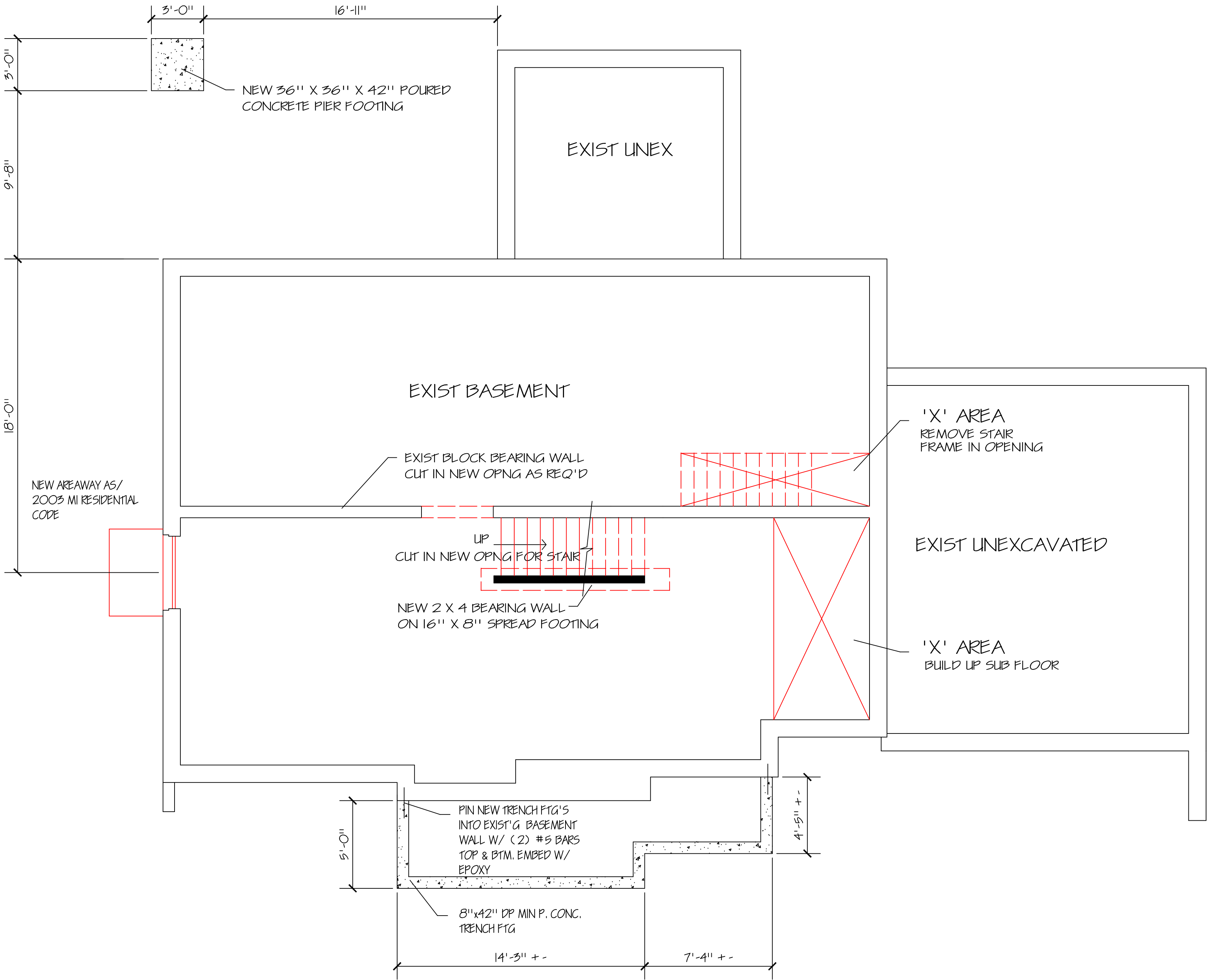
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EXISTING FOUNDATION PLAN

SCALE 1/4" = 1'-0"

DATE:	REV'S:
4-16-2022	
5-3-2022	

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PROFESSIONAL HOME DESIGNERS	970-471-6089
	ROBERT KOZLOSKI & ASSOCIATES
	5406 SEA VIEW
	WATERFORD, MI 48327

PLAN NO.
C-3147-4
SHEET NO.: 2
OF: 5