

CASE DESCRIPTION

766 Chesterfield

Hearing date: August 9, 2022

Appeal No. 22-38: The owner of the property known **766 Chesterfield**, requests the following variance to construct a new single-family home:

- A. Chapter 126, Article 2, Section 2.06.2 of the Zoning Ordinance requires that the minimum front yard setback is the average of homes within 200.00 feet in each direction. The required is 47.70 feet. The proposed is 40.00 feet, therefore, a variance of 7.70 feet is being requested.

- B. Chapter 126, Article 4, Section 4.30(C)(1) of the Zoning Ordinance permits covered or uncovered porches to project into the required front open space for a maximum of 10.00 feet. The proposed is 16.70 feet, therefore, a variance of 6.70 feet is being requested.

Staff Notes: The applicant is looking to construct a new single family home.

This property is zoned R1 – Single family residential.

766 CHESTERFIELD MAP



CITY OF BIRMINGHAM
Community Development - Building Department
151 Martin Street, Birmingham, MI 48009
 Community Development: 248-530-1850
 Fax: 248-530-1290 / www.bhamgov.org

APPLICATION FOR THE BOARD OF ZONING APPEALS

Application Date: 7.12.22

Hearing Date: 8.9.22

Received By: UT

Appeal #: 22-38

Type of Variance:	<input type="checkbox"/> Interpretation	<input checked="" type="checkbox"/> Dimensional	<input type="checkbox"/> Land Use	<input type="checkbox"/> Sign	<input type="checkbox"/> Admin Review
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I. PROPERTY INFORMATION:

Address: <u>766 CHESTERFIELD</u>	Lot Number: <u>28</u>	Sidwell Number:
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II. OWNER INFORMATION:

Name: <u>DAVID SCHMERL</u>			
Address: <u>1697 NORFOLK</u>	City: <u>BIRMINGHAM</u>	State: <u>MI</u>	Zip code: <u>48009</u>
Email: * <u>DAVID@BIRMGHAMLLC.COM</u>		Phone: <u>248-505-8811</u>	

III. PETITIONER INFORMATION:

Name: <u>DAVID SCHMERL</u>		Firm/Company Name: <u>BIRMGHAM DEVELOPMENTS</u>	
Address: <u>1697 NORFOLK</u>	City: <u>BIRMINGHAM</u>	State: <u>MI</u>	Zip code: <u>48009</u>
Email: <u>DAVID@BIRMGHAMLLC.COM</u>		Phone: <u>248-505-8811</u>	

IV. GENERAL INFORMATION:

The Board of Zoning Appeals typically meets the second Tuesday of each month. Applications along with supporting documents must be submitted on or before the 12th day of the month preceding the next regular meeting. Please note that incomplete applications will not be accepted.

To insure complete applications are provided, appellants must schedule a pre-application meeting with the Building Official, Assistant Building Official and/or City Planner for a preliminary discussion of their request and the documents that will be required to be submitted. Staff will explain how all requested variances must be highlighted on the survey, site plan and construction plans. Each variance request must be clearly shown on the survey and plans including a table as shown in the example below. All dimensions to be shown in feet measured to the second decimal point.

The BZA application fee is \$360.00 for single family residential; \$560.00 for all others. This amount includes a fee for a public notice sign which must be posted at the property at least 15-days prior to the scheduled hearing date.

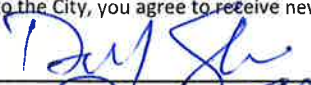
Variance Chart Example				
Requested Variances	Required	Existing	Proposed	Variance Amount
Variance A, Front Setback	25.00 Feet	23.50 Feet	23.50 Feet	1.50 Feet
Variance B, Height	30.00 Feet	30.25 Feet	30.25 Feet	0.25 Feet


V. REQUIRED INFORMATION CHECKLIST:

- One original and nine copies of the signed application
- One original and nine copies of the signed letter of practical difficulty and/or hardship
- One original and nine copies of the certified survey
- 10 folded copies of site plan and building plans including existing and proposed floor plans and elevations
- If appealing a board decision, 10 copies of the minutes from any previous Planning, HDC, or DRB board meeting

VI. APPLICANT SIGNATURE

Owner hereby authorizes the petitioner designated below to act on behalf of the owner.
 By signing this application, I agree to conform to all applicable laws of the City of Birmingham. All information submitted on this application is accurate to the best of my knowledge. Changes to the plans are not allowed without approval from the Building Official or City Planner.
 *By providing your email to the City, you agree to receive news and notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner:  Date: 7/12/22

Signature of Petitioner:  Date: 7/12/22

**CITY OF BIRMINGHAM
BOARD OF ZONING APPEALS
RULES OF PROCEDURE**

ARTICLE I - Appeals

- A. Appeals may be filed under the following conditions:
1. A property owner may appeal for variance, modification or adjustment of the requirements of the Zoning Ordinance.
 2. A property owner may appeal for variance, modification or adjustment of the requirements of the Sign Ordinance.
 3. Any aggrieved party may appeal the decision of the Planning Board and/or the Building Official in accordance with the City of Birmingham Zoning Ordinance, Article Eight, Section 8.01 (D) Appeals. If an appellant requests a review of any determination of the Building Official, a complete statement setting forth the facts and reasons for the disagreement with the Building Official's determination shall include the principal point, or points on the decision, order or section of the ordinance appealed from, on which the appeal is based.
- B. Procedures of the Board of Zoning Appeals (BZA) are as follows:
1. Regular BZA meetings, which are open to the public, shall be held on the second Tuesday of the month at 7:30 P.M. provided there are pending appeals. There will be a maximum of seven appeals heard at the regular meeting which are taken in the order received. If an appeal is received on time after the initial seven appeals have been scheduled, it will be scheduled to the next regular meeting.
 2. All applications for appeal shall be submitted to the Community Development Department on or before the 12th day of the month preceding the next regular meeting. If the 12th falls on a Saturday, Sunday, or legal holiday, the next working day shall be considered the last day of acceptance.
 3. All property owners and occupants within 300 feet of the subject property will be given written notice of a hearing by the City of Birmingham.
 4. See the application form for specific requirements. If the application is incomplete, the BZA may refuse to hear the appeal. The Building Official or City Planner may require the applicant to provide additional information as is deemed essential to fully advise the Board in reference to the appeal. Refusal or failure to comply shall be grounds for dismissal of the appeal at the discretion of the Board.
 5. In variance requests, applicants must provide a statement that clearly sets forth all special conditions that may have contributed to a practical difficulty that is preventing a reasonable use of the property.

6. Where the Birmingham Zoning Ordinance requires site plan approval of a project by the City Planning Board before the issuance of a building permit, applicants must obtain preliminary site plan approval by the Planning Board before appeal to the BZA for a variance request. If such appeal is granted by the BZA, the applicant must seek final site plan and design review approval from the Planning Board before applying for a building permit.
 7. An aggrieved party may appeal a Planning Board decision. Such appeal must be made within 30 days of the date of the decision. The BZA, in its discretion, may grant additional time in exceptional circumstances.
 8. Appeals from a decision of the Building Official shall be made within 30 days of the date of the order, denial of permit, or requirement or determination contested. The BZA, in its discretion, may grant additional time in exceptional circumstances.
 9. An appeal stays all proceedings in accordance with Act #110, Public Acts of 2006, Article VI, Section 125.3604 (3).
- C. The order of hearings shall be:
1. Presentation of official records of the case by the Building Official or City Planner as presented on the application form.
 2. Applicant's presentation of his/her case—the applicant or his/her representative must be present at the appeal hearing.
 3. Interested parties' comments and view on the appeal.
 4. Rebuttal by applicant.
 5. The BZA may make a decision on the matter or request additional information.
- D. Motions and Voting
1. A motion is made to either grant or deny a petitioner's request
 - a) For a motion to grant or deny a non-use variance request, the motion must receive four (4) affirmative votes to be approved.
 - b) For a motion to grant or deny a use variance request, the motion must receive five (5) affirmative votes to be approved.
 - c) For a motion to grant or deny an appeal of a decision or order by an administrative official or board, the motion must receive four (4) affirmative votes to be approved.
 2. When a motion made is to approve or deny a petitioner's request and if there is a tie vote, then the vote results in no action by the board and the petitioner shall be given an opportunity to have his or her request heard the next regularly scheduled meeting when all the members are present.
-

3. When there are less than seven (7) members of the board present for a meeting, then a petitioner requesting a use variance shall be given an opportunity at the beginning of the meeting to elect to have it heard at the next regularly scheduled meeting.
4. When there are less than six (6) members present for a meeting, then all petitioners shall be given an opportunity at the beginning of the meeting to elect to have the request heard at the next regularly scheduled meeting.

ARTICLE II - Results of an Appeal

- A. The Board may reverse, affirm, vary or modify any order, requirement, decision or determination as in its opinion should be made, and to that end, shall have all the powers of the officer from whom the appeal has been taken.
- B. The decisions of the Board shall not become final until the expiration of five (5) days from the date of entry of such orders or unless the Board shall find that giving the order immediate effect is necessary for the preservation of property and/or personal rights and shall so certify on the record.
- C. Whenever any variation or modification of the Zoning Ordinance is authorized by resolution of the BZA, a Certificate of Survey must be submitted to the Community Development Department with the building permit application. A building permit must be obtained within one year of the approval date.
- D. Failure of the appellant, or his representative, to appear for his appeal hearing will result in the appeal being adjourned to the next regular meeting. If, after notice, the appellant fails to appear for the second time, it will result in an automatic withdrawal of the appeal. The appellant may reapply to the BZA.
- E. Any applicant may, with the consent of the Board, withdraw his application at any time before final action.
- F. Any decision of the Board favorable to the applicant is tied to the plans submitted, including any modifications approved by the Board at the hearing and agreed to by the applicant, and shall remain valid only as long as the information or data provided by the applicant is found to be correct and the conditions upon which the resolution was based are maintained.

ARTICLE III - Rehearings

- A. No rehearing of any decision of the Board shall be considered unless new evidence is submitted which could not reasonably have been presented at the previous hearing or unless there has been a material change of facts or law.
-

B. Application or rehearing of a case shall be in writing and subject to the same rules as an original hearing, clearly stating the new evidence to be presented as the basis of an appeal for rehearing.

I certify that I have read and understand the above rules of procedure for the City of Birmingham Board of Zoning Appeals.



Signature of Applicant

B
BINGHAM
DEVELOPMENT

July 12, 2022

City of Birmingham
Board of Zoning Appeals

Re: 766 Chesterfield
Birmingham, MI 48009

To whom it may concern:

We are requesting a 7.7' variance of the front yard setback for the construction of a new home on the above referenced address. When calculating the "average setback", we found that the typical front yard setback was 40.0'. However, we discovered that the home located three (3) doors down to the north, at the corner of Chesterfield & Oak, had a front yard setback of 86.4'. As such, the "average setback" was calculated to be 47.7', which is 7.7' further back than the adjoining homes.

As such, we are requesting a variance to allow us to construct the new home using the setback distance of 40.0'.

Sincerely,


David Schmerin

401 S. Old Woodward, Suite 470, Birmingham, MI 48009

248 505-8811

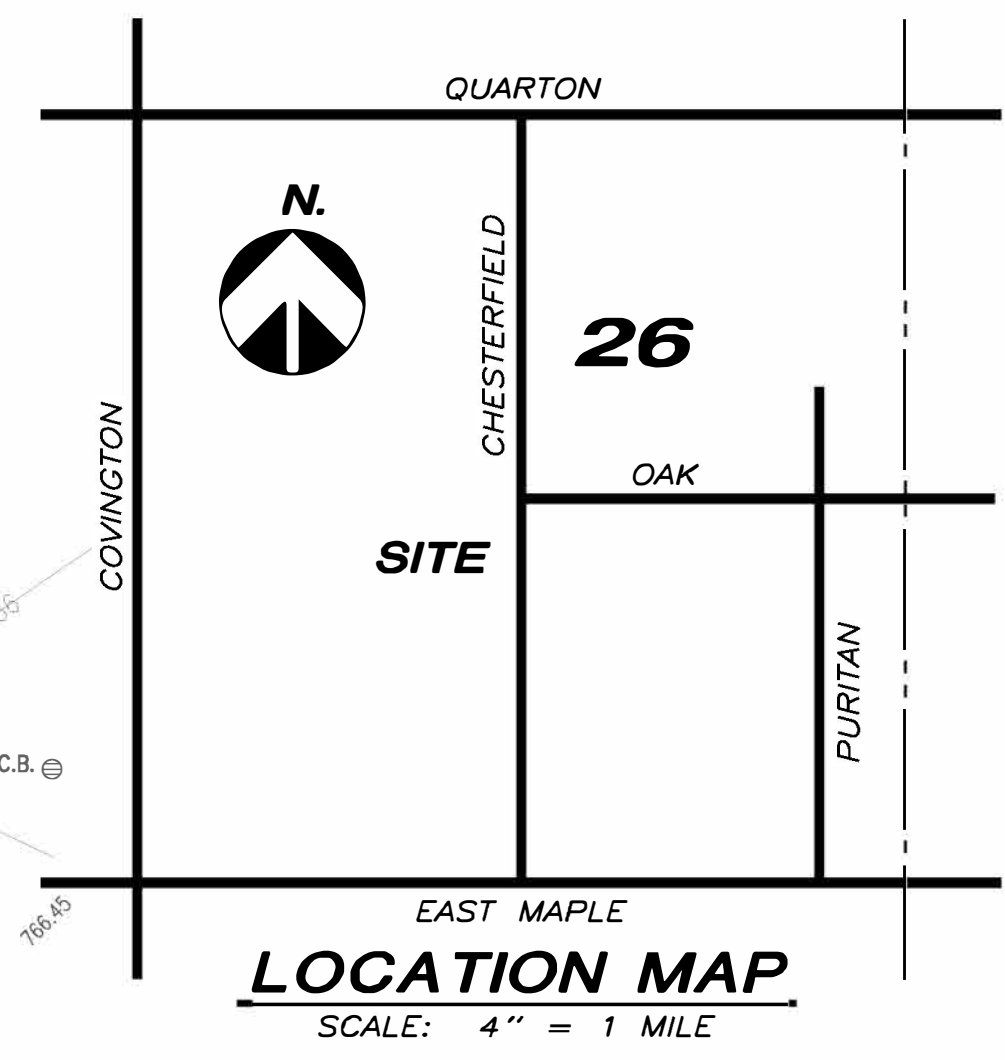
www.binghamllc.com

PLOT PLAN
LOT 28
QUARTON LAKE ESTATES
 PART OF THE S.W. 1/4 OF SECTION 26
 T.21N., R.10E., BLOOMFIELD TWP.,
 OAKLAND COUNTY, MICHIGAN

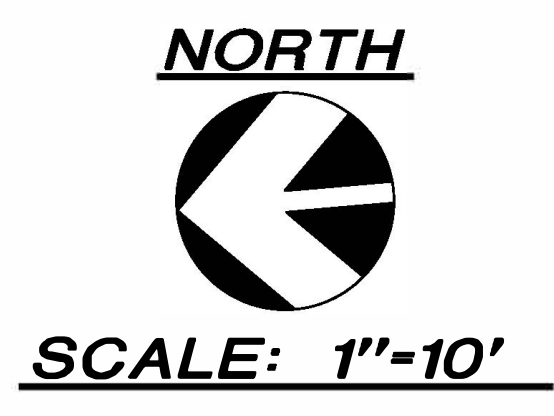
DATE: 220113-10229
 Job No.:
 Date: 2-11-22
 Scale: 1" = 10'
 Drawn: AK
 Check: R. LINDH
 Sheet: 1 of 1
 Fld. Bk.:
 REVISIONS: MC, KC
 BY: [Signature]
 ADDITIONS AND/OR REVISIONS:
 7-5-22 REV. PER OWNER COMPLETED PLOT PLAN

BINGHAM DEVELOPMENT
 766 CHESTERFIELD AVE.
 BIRMINGHAM, MI 48009
 248-505-8811

PHONE: 586 731-8030
URBAN LAND CONSULTANTS
 PLANNERS LAND SURVEYORS
 8800 23 MILE ROAD
 SHELBY TWP., MI 48316-4516



AREA COVERAGE
 AREA OF LOT = 12567 S.F.
 AREA OF HOUSE = 2862 S.F.
 LOT COVERAGE = 22.8%
 AREA OF DRIVE = 1266 S.F.
 OPEN SPACE = 67.2%



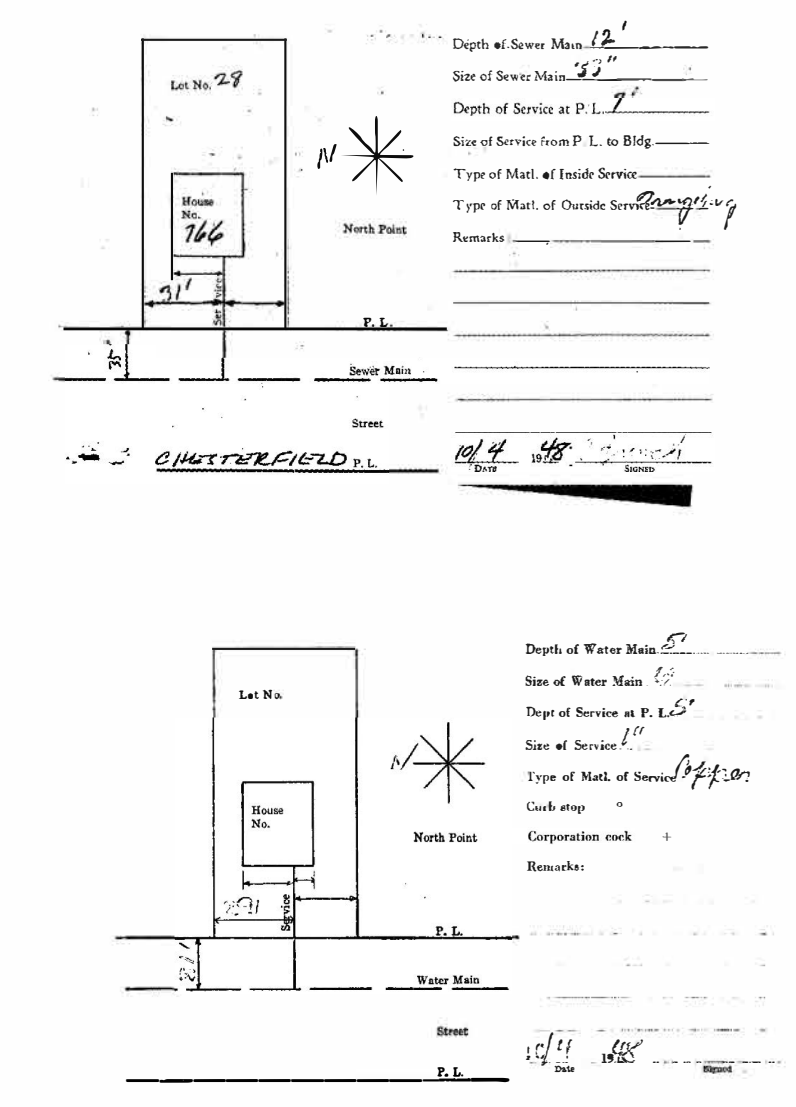
STREET NAME	HOUSE #	SETBACK	EAVE HT.	PEAK HT.
CHESTERFIELD	812	86.4'	21.0'	32.6'
CHESTERFIELD	808	40.2'	17.4'	28.3'
CHESTERFIELD	782	40.0'	17.9'	24.9'
CHESTERFIELD	766	39.6'	8.7'	20.6'
CHESTERFIELD	720	39.8'	21.3'	32.2'
CHESTERFIELD	694	39.9'	16.7'	23.5'
CHESTERFIELD	664	39.8'	9.6'	33.8'

AVERAGE SETBACK - 47.7' CHESTERFIELD

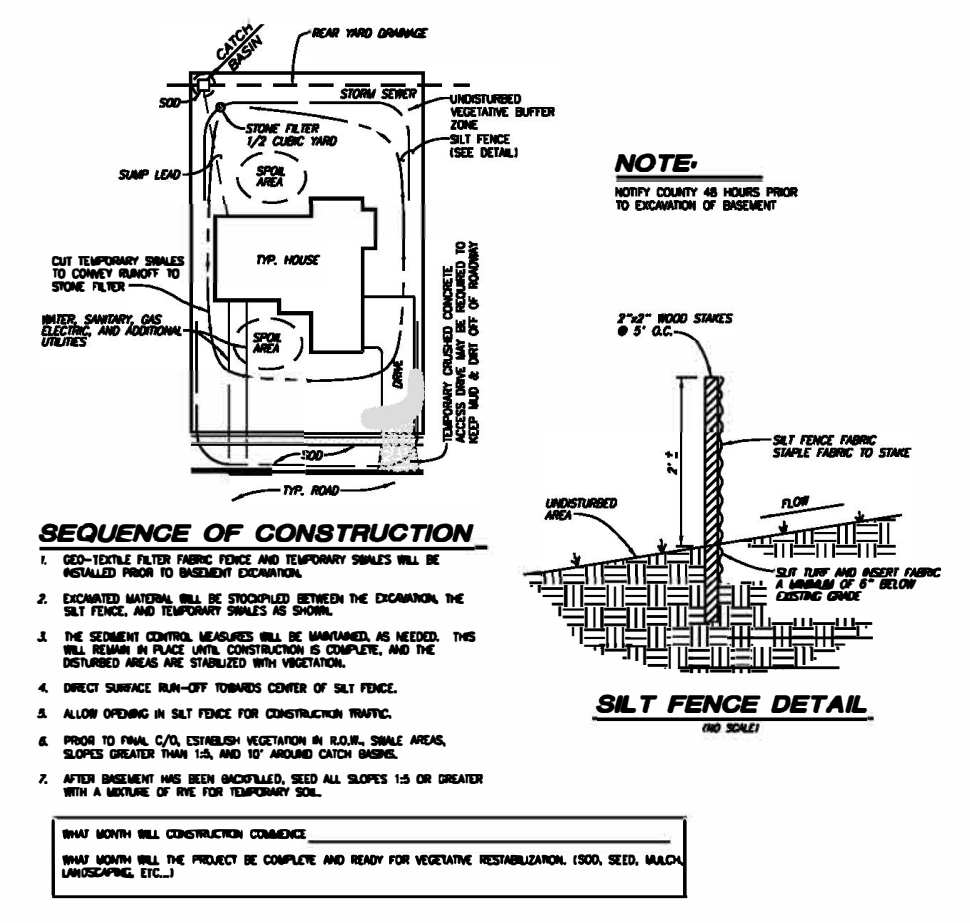
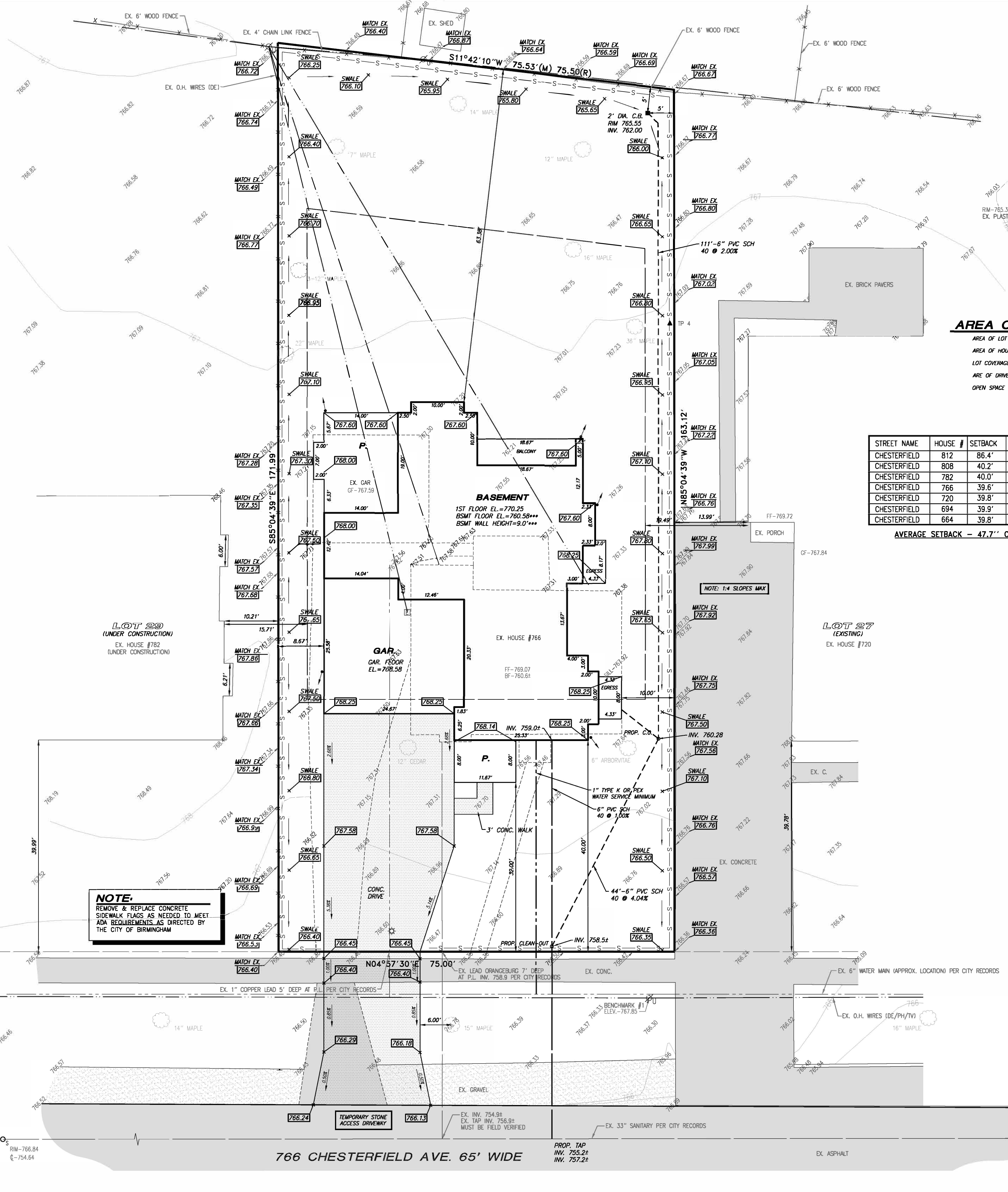
BENCHMARK

- CUT NAIL IN N. FACE U-POLE
 SW CORNER OF LOT
 ELEVATION=767.85
 DATUM=CITY
- CITY BM #19 @ NE CORNER
 OF CHESTERFIELD AND OAK
 ELEVATION=767.49
 DATUM=CITY

PARCEL ID
 19-26-401-004
ZONED: R1



URBAN LAND CONSULTANTS WILL SET HIGH GRADE/BRICKLEDGE CONTRACTOR TO USE GRADE SET ON SITE.

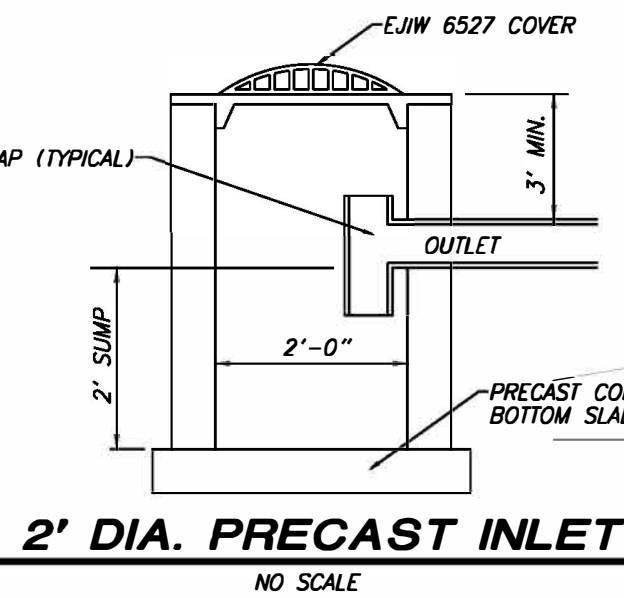
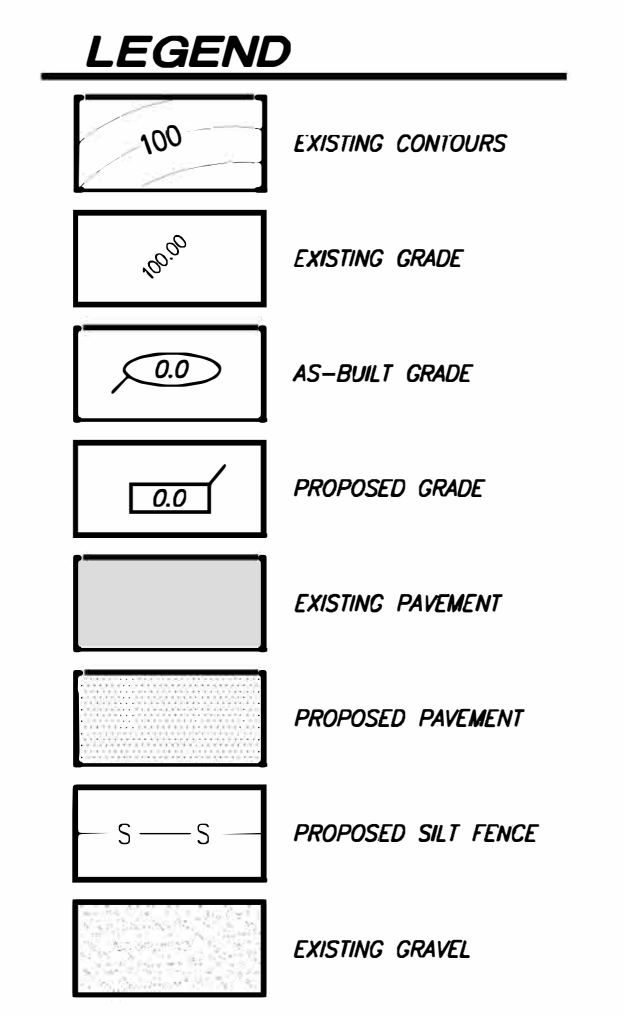
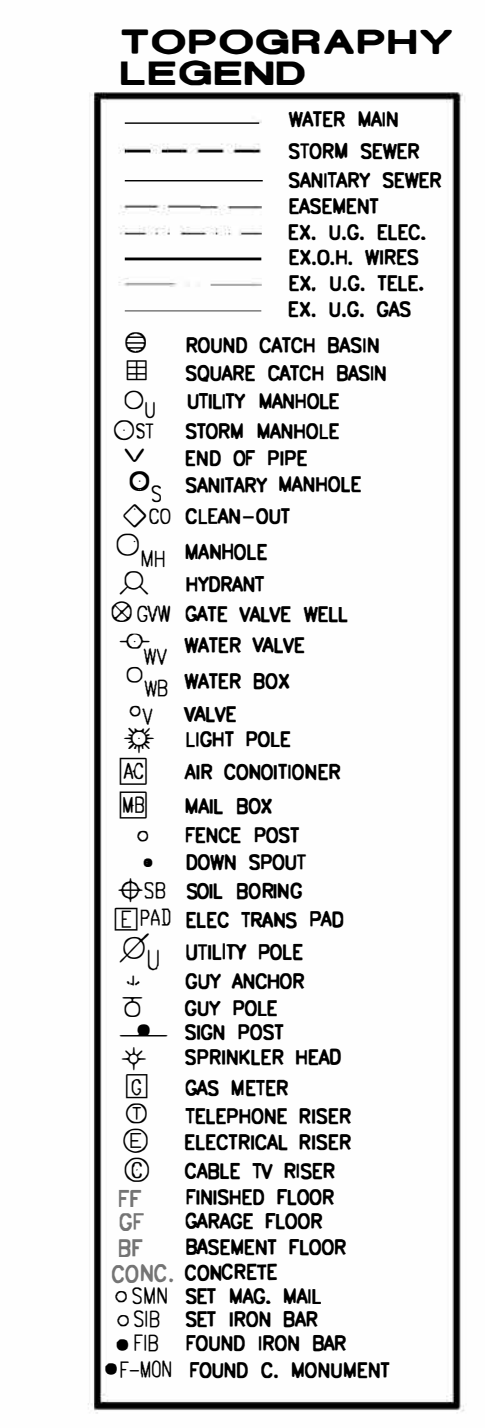


SEQUENCE OF CONSTRUCTION

- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES ARE DELETED FROM THE RECORDS PRIOR TO CONSTRUCTION.
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ATTENTION BUILDERS/CONTRACTORS

- THIS DRAWING IS NOT INTENDED TO REPRESENT A BOUNDARY OR LOT SURVEY, AND SHOULD NOT BE USED TO ESTABLISH PROPERTY LINES OR LOCATE IMPROVEMENTS.
- U.L.C. ASSUMES NO RESPONSIBILITY FOR THE GIVEN BUILDING DIMENSIONS. DIMENSIONS MUST BE VERIFIED BY OWNER/BUILDER PRIOR TO CONSTRUCTION.
- THIS PLAN SHALL NOT BE USED TO SET FOUNDATIONS. ARCHITECTURAL PLANS MUST BE USED FOR CONSTRUCTION OF FOUNDATION.
- UPON ACCEPTANCE AND SUBMITTAL OF THIS PLAN FOR PERMITS, THE OWNER/BUILDER ACKNOWLEDGES HE HAS REVIEWED THE PLAN, AND THAT IT MEETS THE ESTABLISHED REQUIREMENTS.
- APPROVAL OF THIS PLOT PLAN DOES NOT RELIEVE THE OWNER/BUILDER OF COMPLIANCE WITH ALL CODES AND ORDINANCES THAT SHALL APPLY.
- SETBACKS SHOWN ON THIS DRAWING HAVE BEEN OBTAINED FROM THE MUNICIPALITY. ANY DEED OR SPECIAL RESTRICTIONS - (i.e. SUBDIVISION RESTRICTIONS, HOUSE SIZE, BUILDING LOCATION, ETC.) MUST BE SUPPLIED TO U.L.C. IN WRITING WHEN PLOT PLAN IS ORDERED. U.L.C. WILL NOT BE RESPONSIBLE FOR INTERPRETING SUBDIVISION RESTRICTIONS.
- U.L.C. RECOMMENDS A 50' EXTRA ALLOWANCE TO ALL MINIMUM SETBACKS. WHERE THE OWNER / BUILDER DOES NOT FOLLOW THIS RECOMMENDATION, THE OWNER / BUILDER AGREES TO HOLD U.L.C. HARMLESS FOR STRUCTURE ENCROACHMENT (S) INTO THE MINIMUM SETBACK.
- UTILITY LEAD LOCATIONS AS SHOWN ARE APPROXIMATE. AS-BUILT LOCATIONS MUST BE OBTAINED FROM THE LOCAL MUNICIPALITY.



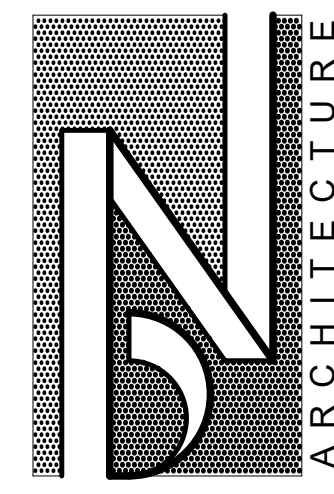
NOTE:
 THE CONTRACTOR IS REQUIRED TO INSPECT THE EROSION MEASURES ON A WEEKLY BASIS AND AFTER EVERY RAINSTORM

CAUTION
 CONTRACTOR TO VERIFY GROUND WATER PRIOR TO CONSTRUCTION.
 U.L.C. RECOMMENDS SOIL ANALYSIS TO BE PERFORMED BY A PROFESSIONAL.
 CONTRACTOR TO MONITOR EXCAVATION FOR SOIL/GROUND WATER CONDITIONS.

NOTE:
 CONTRACTOR TO CONFIRM BASEMENT WALL HEIGHT, FIRST FLOOR ELEVATION AND BASEMENT FLOOR ELEVATION PRIOR TO THE START OF CONSTRUCTION!!!



Contractor Note:
 The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. He agrees to be fully responsible for any and all damages which might be occasioned by his failure to exactly locate and preserve any and all underground utilities.



BRIAN NEEPER ARCHITECTURE P.C.
 DESIGN · PLANNING · INTERIORS
 630 N. OLD WOODWARD
 BIRMINGHAM, MICHIGAN 48009
 BRIANNEEPER.COM
 248. 259. 1784

BINGHAM DEVELOPMENT

766 CHESTERFIELD AVE.

BIRMINGHAM, MICHIGAN

SHEET TITLE
TITLE SHEET
 PRELIMINARY

SHEET INDEX	
T-1	TITLE SHEET
ARCHITECTURAL DRAWINGS	
A-1	FOUNDATION & LOWER LEVEL PLAN
A-2	FIRST & SECOND FLOOR PLAN
A-3	ROOF PLAN & WALL SECTION
A-4	FRONT & LEFT SIDE ELEVATIONS
A-5	REAR & RIGHT SIDE ELEVATIONS
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TYPICAL NOTES	
N-1	GENERAL NOTES
N-2	NOTES / DETAILS
TYPICAL DETAILS	
D-1	AIR BARRIER / INSULATION DETAILS
D-2	DETAILS

CLIENT / PROJECT
BINGHAM DEVELOPMENT
 SINGLE FAMILY RESIDENCE
 766 CHESTERFIELD AVENUE
 BIRMINGHAM, MICHIGAN 48009

GENERAL CONTRACTOR:

BINGHAM DEVELOPMENT, LLC

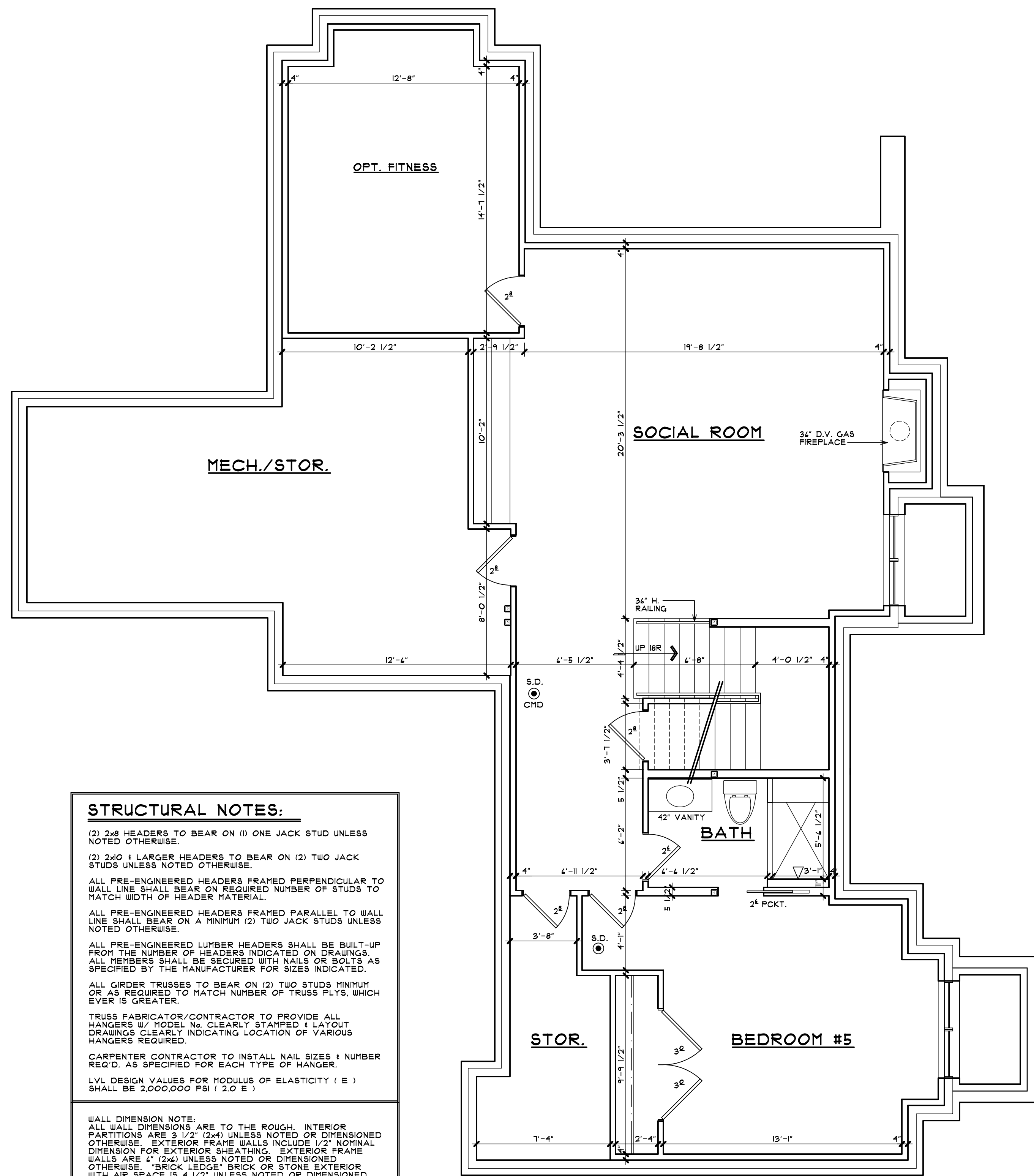
401 S. OLD WOODWARD
 BIRMINGHAM, MICHIGAN 48009
 248. 506. 8811

ARCHITECT:

BRIAN NEEPER ARCHITECTURE P.C.

630 N. OLD WOODWARD, SUITE 203
 BIRMINGHAM, MICHIGAN 48009
 248. 259. 1784 Brian@BrianNeeper.com

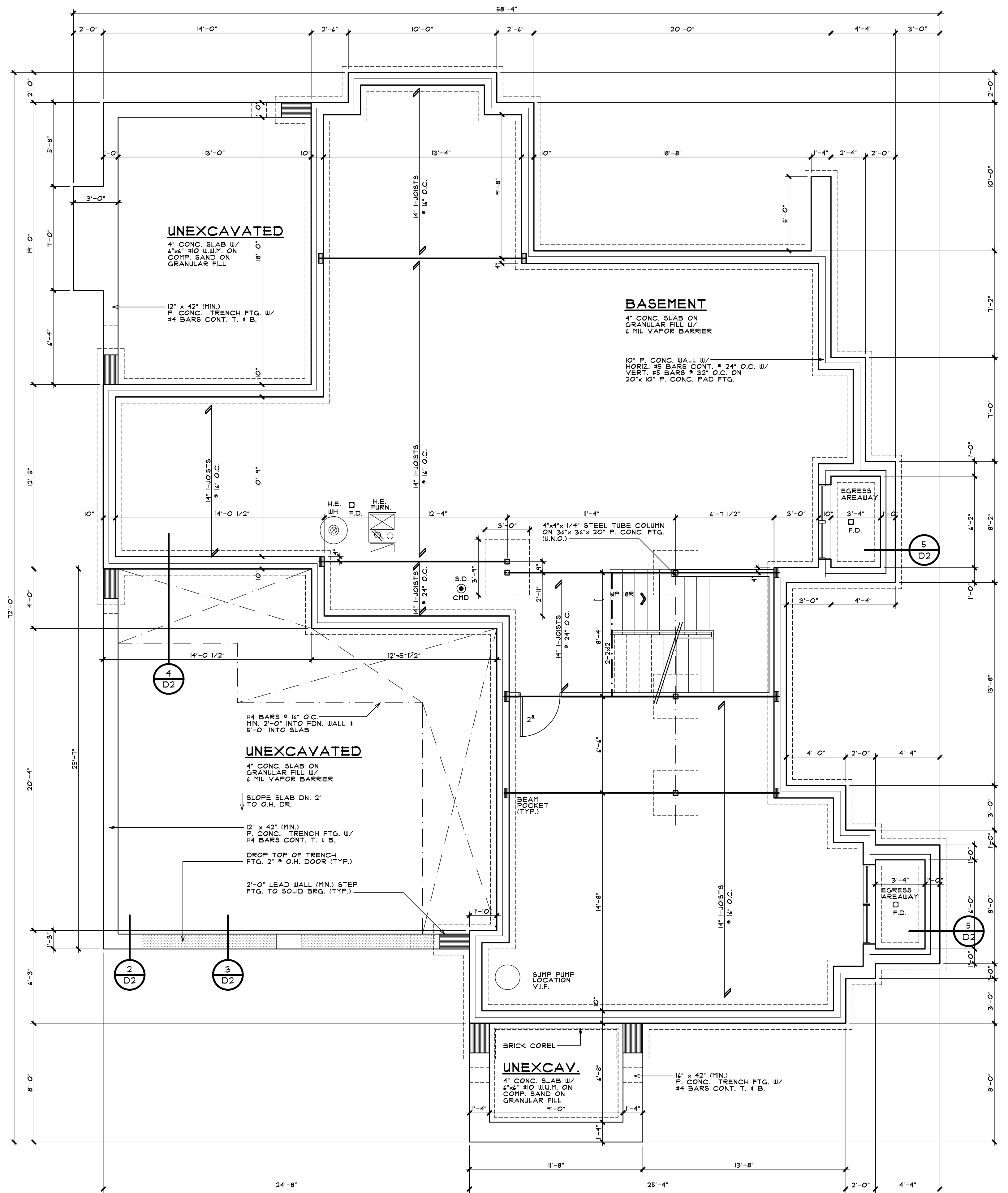
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JOB NUMBER	22000
DRAWN BY	BN
CHECKED BY	
SHEET NUMBER	T-1



OPTIONAL LOWER LEVEL PLAN

1,212 S.F.

SCALE: 1/4" = 1'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

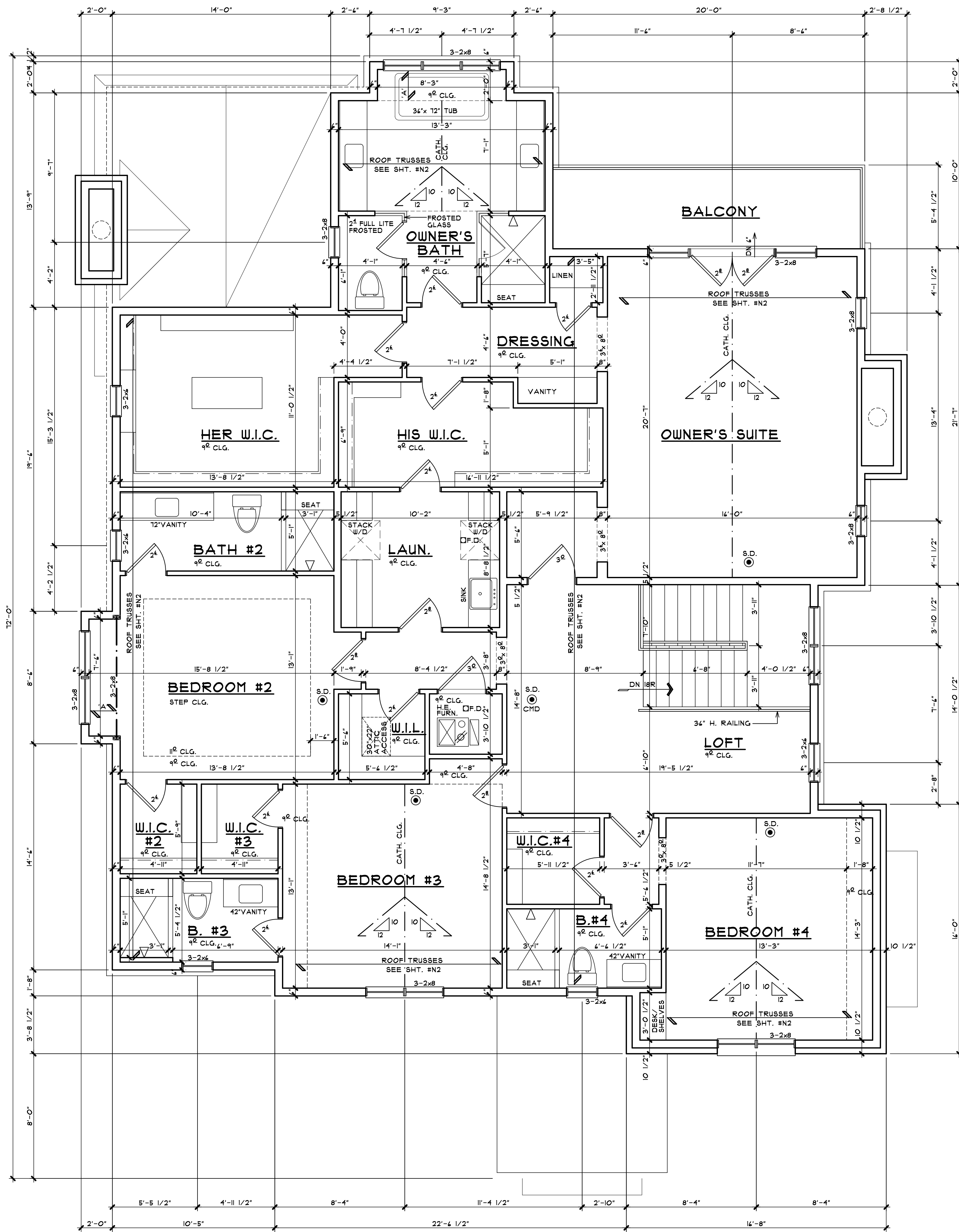


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FOUNDATION & LOWER LEVEL PLANS
 PRELIMINARY

BINGHAM DEVELOPMENT
 SINGLE FAMILY RESIDENCE
 766 CHESTERFIELD AVENUE
 BIRMINGHAM, MICHIGAN 48009

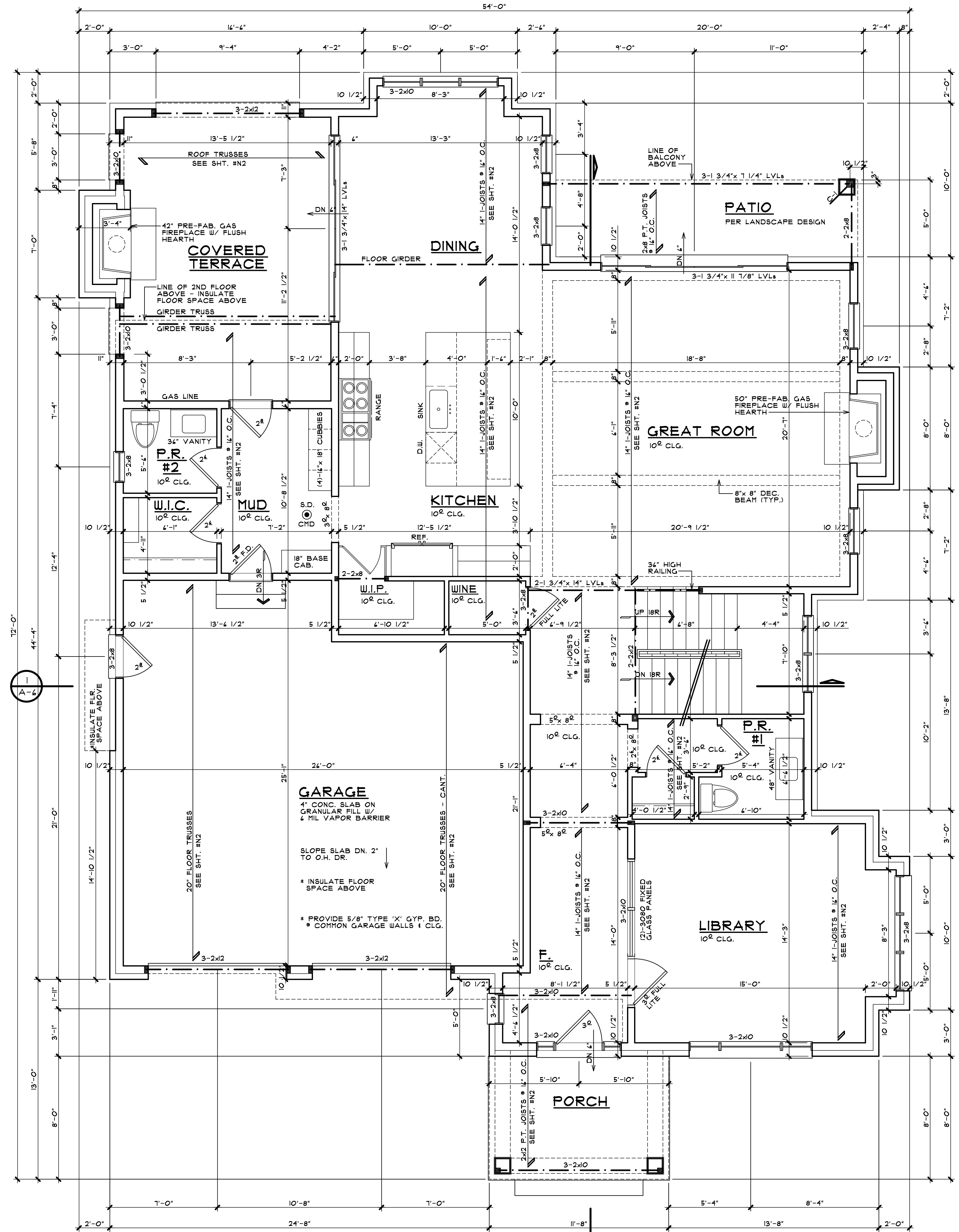
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SHEET NUMBER	A-1



WALL BRACING METHOD: WSP (WOOD STRUCTURAL PANEL) AT ALL EXTERIOR WALLS U.N.O.
 'A' = 2x8 RAFTERS @ 24" CEILING JOISTS @ 24" O.C.

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

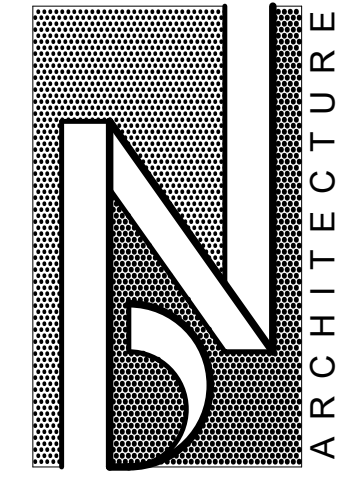


WALL BRACING METHOD: WSP (WOOD STRUCTURAL PANEL) AT ALL EXTERIOR WALLS U.N.O.
 C-1 = 4x4 P.T. WOOD POST W/ 'SIMPSON' AB BASE 1 CC CAP

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE	
1ST FLOOR	1,824 SQ FT
2ND FLOOR	2,371 SQ FT
TOTAL	4,195 SQ FT

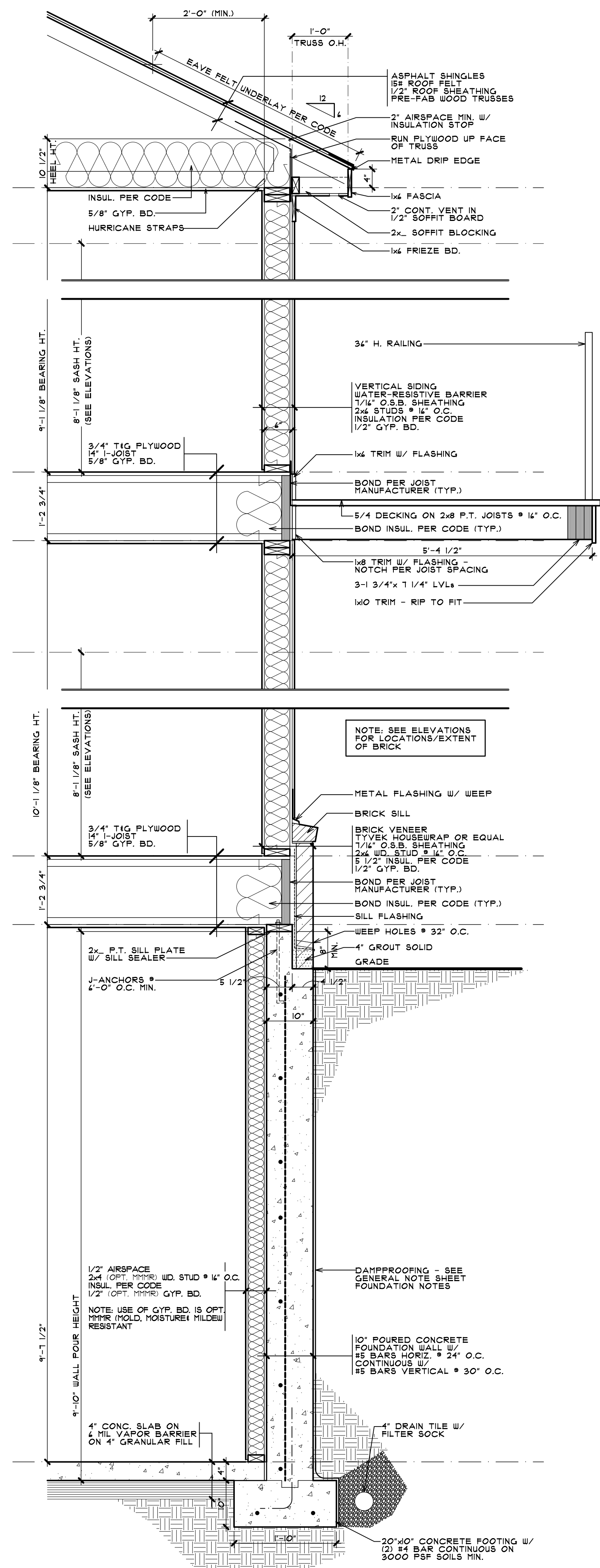


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 248.259.1784

FIRST & SECOND FLOOR PLANS
 PRELIMINARY

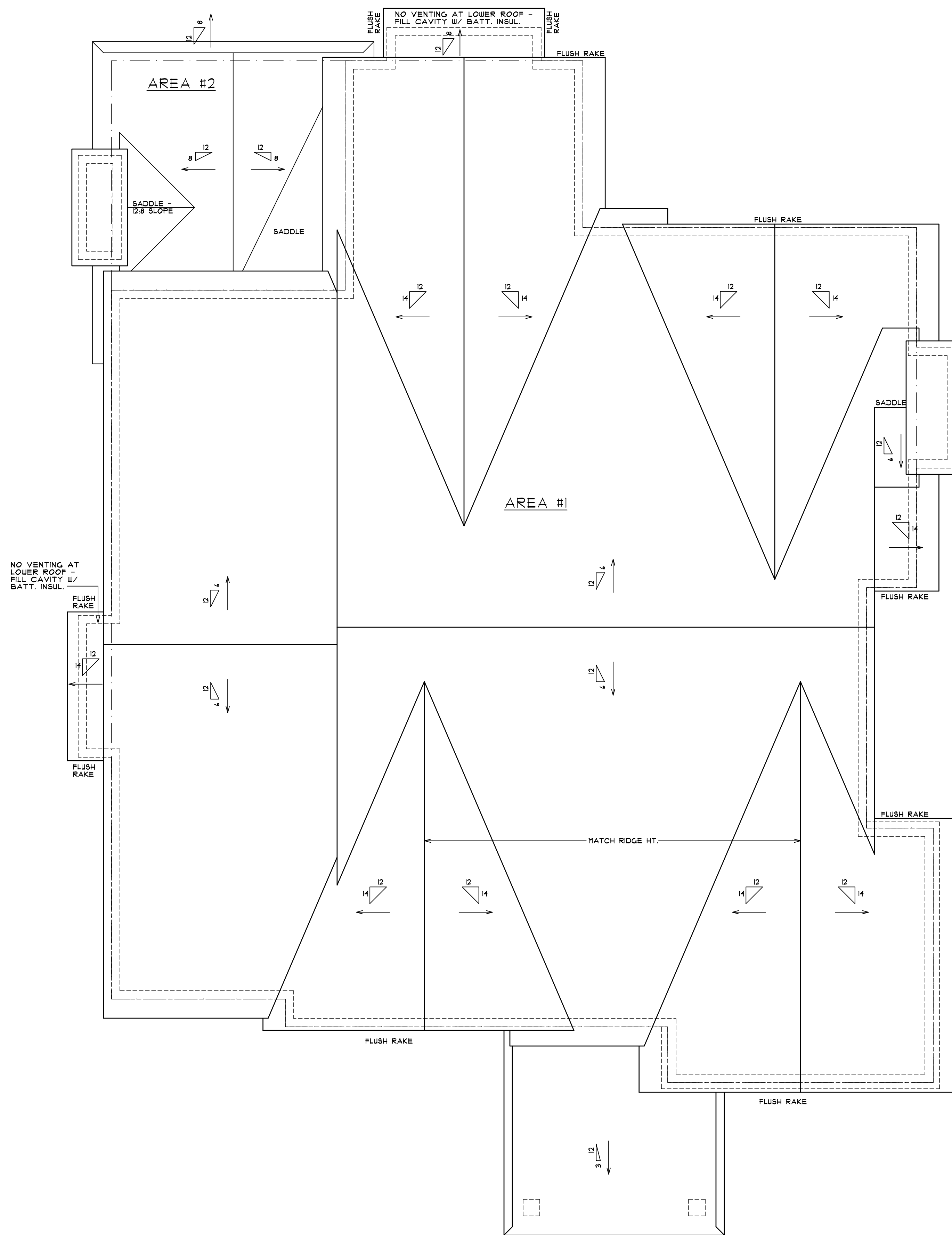
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PRELIMINARY	07-14-22
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SHEET NUMBER	A-2



1 BUILDING SECTION

SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: 1/4" = 1'-0"

ROOF VENTING CALCULATIONS:

PROPOSED VENT AREA #1
 VENT AREA RATIO 1:50
 ATTIC AREA = 2,404 SQ.FT. (1/150)
 VENT AREA = 16 SQ.FT. x 144 = 2,304 SQ.IN.
 50% SOFFIT AND 50% RIDGE = 1,152 SQ.IN. EACH

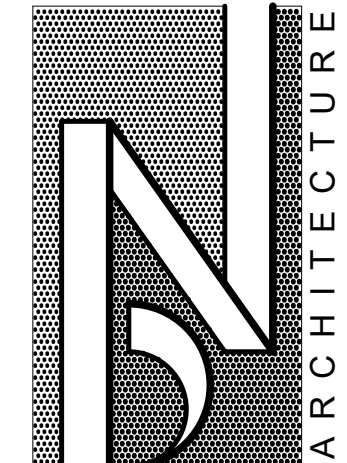
VENT AREA PROVIDED @ RIDGE
 CONT. RIDGE TYPE @ 18 SQ.IN. PER FT. = 44 LIN.FT.
 TOTAL VENTING AT RIDGE = 1,152 SQ.IN.

VENT AREA PROVIDED @ SOFFIT
 CONTINUOUS SOFFIT TYPE @ 9 SQ.IN. PER FT. = 128 LIN.FT.
 TOTAL VENTING AT SOFFIT = 1,152 SQ.IN.

PROPOSED VENT AREA #2
 VENT AREA RATIO 1:50
 ATTIC AREA = 193 SQ.FT. (1/150)
 VENT AREA = 13 SQ.FT. x 144 = 1,888 SQ.IN.
 50% SOFFIT AND 50% RIDGE = 944 SQ.IN. EACH

VENT AREA PROVIDED @ RIDGE
 CONT. RIDGE TYPE @ 18 SQ.IN. PER FT. = 4 LIN.FT.
 TOTAL VENTING AT RIDGE = 108 SQ.IN.

VENT AREA PROVIDED @ SOFFIT
 CONT. SOFFIT TYPE @ 9 SQ.IN. PER FT. = 12 LIN.FT.
 TOTAL VENTING AT SOFFIT = 108 SQ.IN.

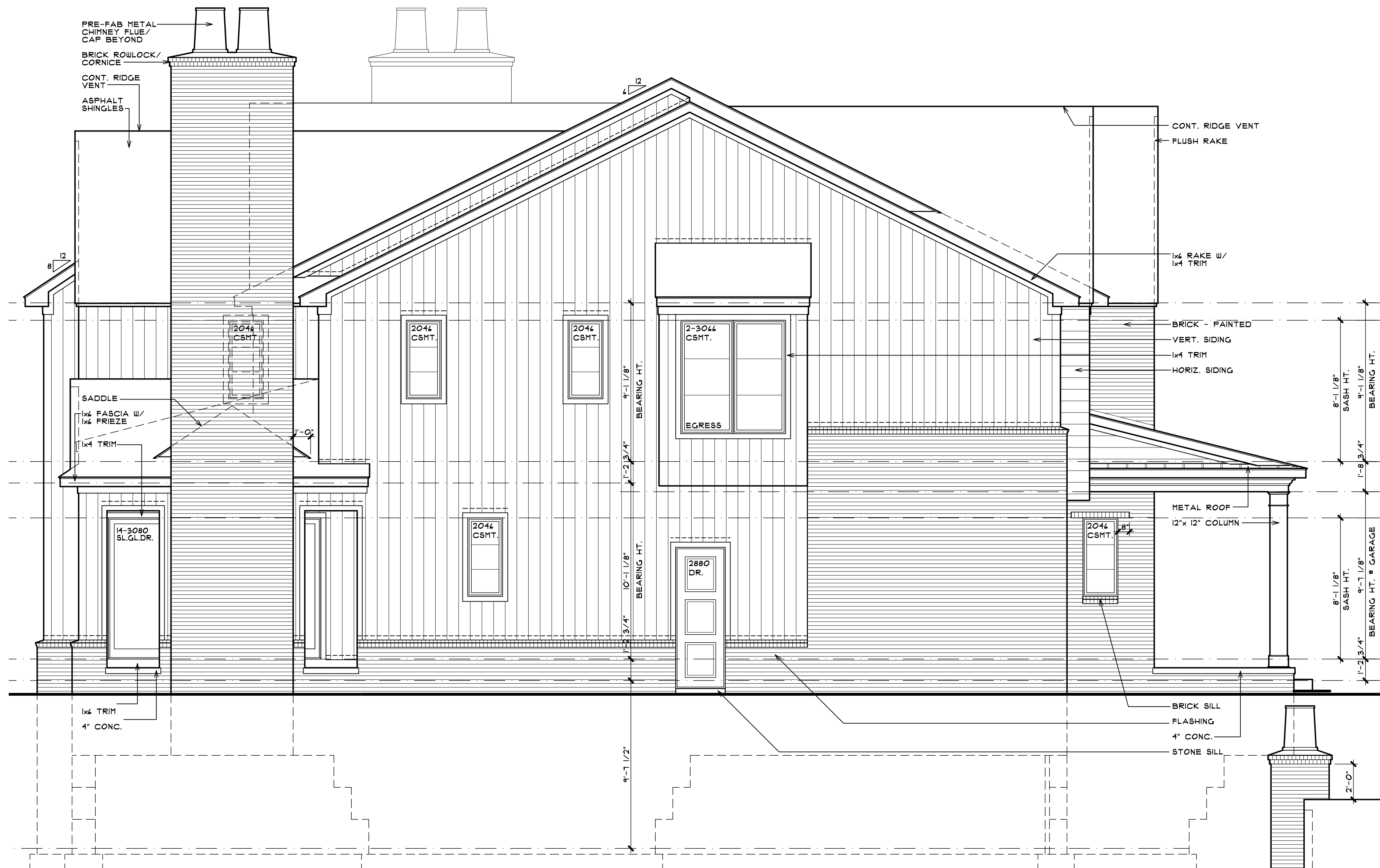


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ROOF PLAN
 PRELIMINARY

BINGHAM DEVELOPMENT
 SINGLE FAMILY RESIDENCE
 766 CHESTERFIELD AVENUE
 BIRMINGHAM, MICHIGAN 48009

CLIENT / PROJECT	BINGHAM DEVELOPMENT
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BIDS	
PERMITS	
FINAL	
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LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

STEEL LINTEL SCHEDULE

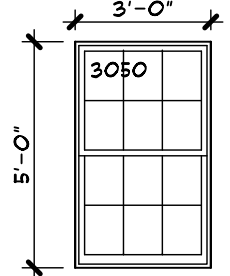
LOOSE STEEL LINTELS FOR MASONRY - EXTERIOR ANGLES FOR BRICK OR STONE (NO FLOOR LOAD)

MAX CLEAR SPAN	LINTEL SIZE
5'-0" OR LESS	3 1/2" x 3 1/2" x 5/16"
7'-0" OR LESS	4" x 3 1/2" x 5/16"
8'-0" OR LESS	5" x 3 1/2" x 5/16"
9'-0" OR LESS	5" x 3 1/2" x 3/8"
10'-0" OR LESS	6" x 3 1/2" x 3/8"

NOTE: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS AND/OR ELEVATIONS.
NOTE: STEEL ANGLE LINTELS REQUIRE A SHOP COAT OF RUST-INHIBITIVE PAINT EXCEPT FOR LINTELS MADE OF CORROSION-RESISTANT STEEL.

TYP. WINDOW DESIGNATION

GENERAL REFERENCE FOR WINDOW OPENING SIZES ONLY. CONSULT WITH WINDOW MANUFACTURER FOR EXACT WINDOW SIZES & REQUIREMENTS.



EGRESS WINDOW

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE WINDOW MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE, THEY SHALL HAVE SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES AND WIDTH OF 20 INCHES.

WINDOW SILLS

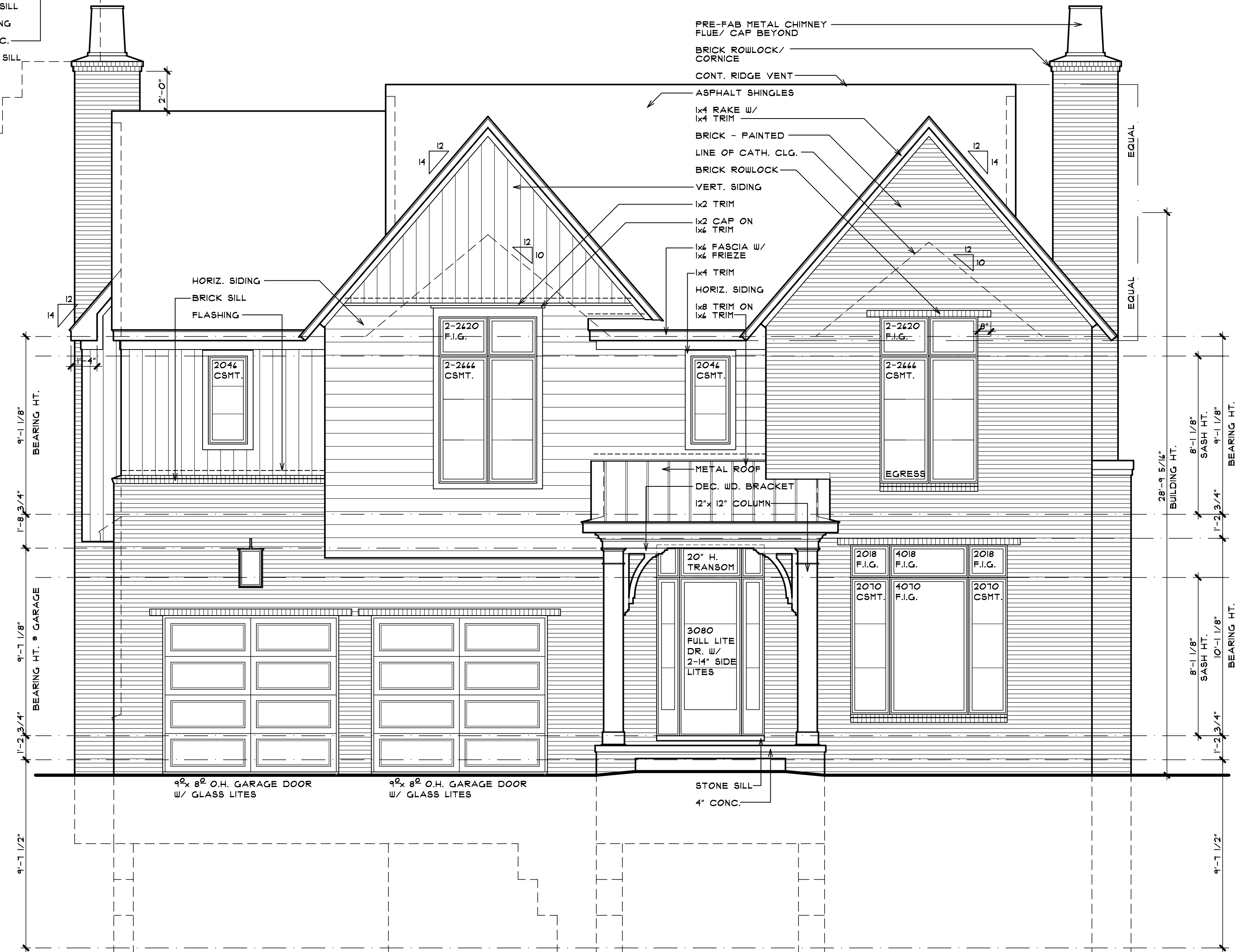
IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 12" ABOVE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OR THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24" SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4 INCH DIAMETER SPHERE CANNOT PASS. EXCEPTIONS:

- WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIA. SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
- OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2004 OR F 2010.

OVERHANGS & DRAINAGE

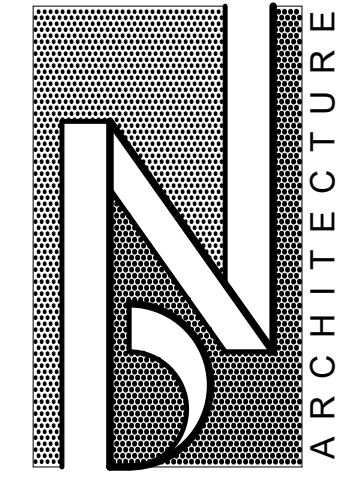
PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.

UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM FRAME, RAKE DIMENSIONS ARE 4" AT BRICK AND 2" AT SIDING. SEE ROOF PLAN.



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



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SHEET TITLE
FRONT & LEFT SIDE ELEVATIONS
PRELIMINARY

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BINGHAM DEVELOPMENT
SINGLE FAMILY RESIDENCE
766 CHESTERFIELD AVENUE
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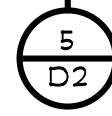
DATE	DESCRIPTION
07-14-22	PRELIMINARY
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	FINAL
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RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

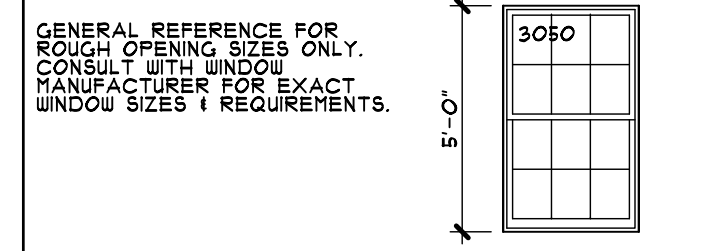
STEEL LINTEL SCHEDULE

LOOSE STEEL LINTELS FOR MASONRY - EXTERIOR ANGLES FOR BRICK OR STONE (NO FLOOR LOAD)

MAX CLEAR SPAN	LINTEL SIZE
5'-0" OR LESS	3 1/2" x 3 1/2" x 5/16"
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NOTE: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS AND/OR ELEVATIONS.
NOTE: STEEL ANGLE LINTELS REQUIRE A SHOP COAT OF RUST-INHIBITIVE PAINT EXCEPT FOR LINTELS MADE OF CORROSION-RESISTANT STEEL.

TYP. WINDOW DESIGNATION



EGRESS WINDOW

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE WINDOW MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE, THEY SHALL HAVE SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES AND WIDTH OF 20 INCHES.

WINDOW SILLS

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OVERHANGS & DRAINAGE

PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.
UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM FRAME, RAKE DIMENSIONS ARE 4" AT BRICK AND 2" AT SIDING. SEE ROOF PLAN.



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REAR & RIGHT SIDE ELEVATIONS
PRELIMINARY

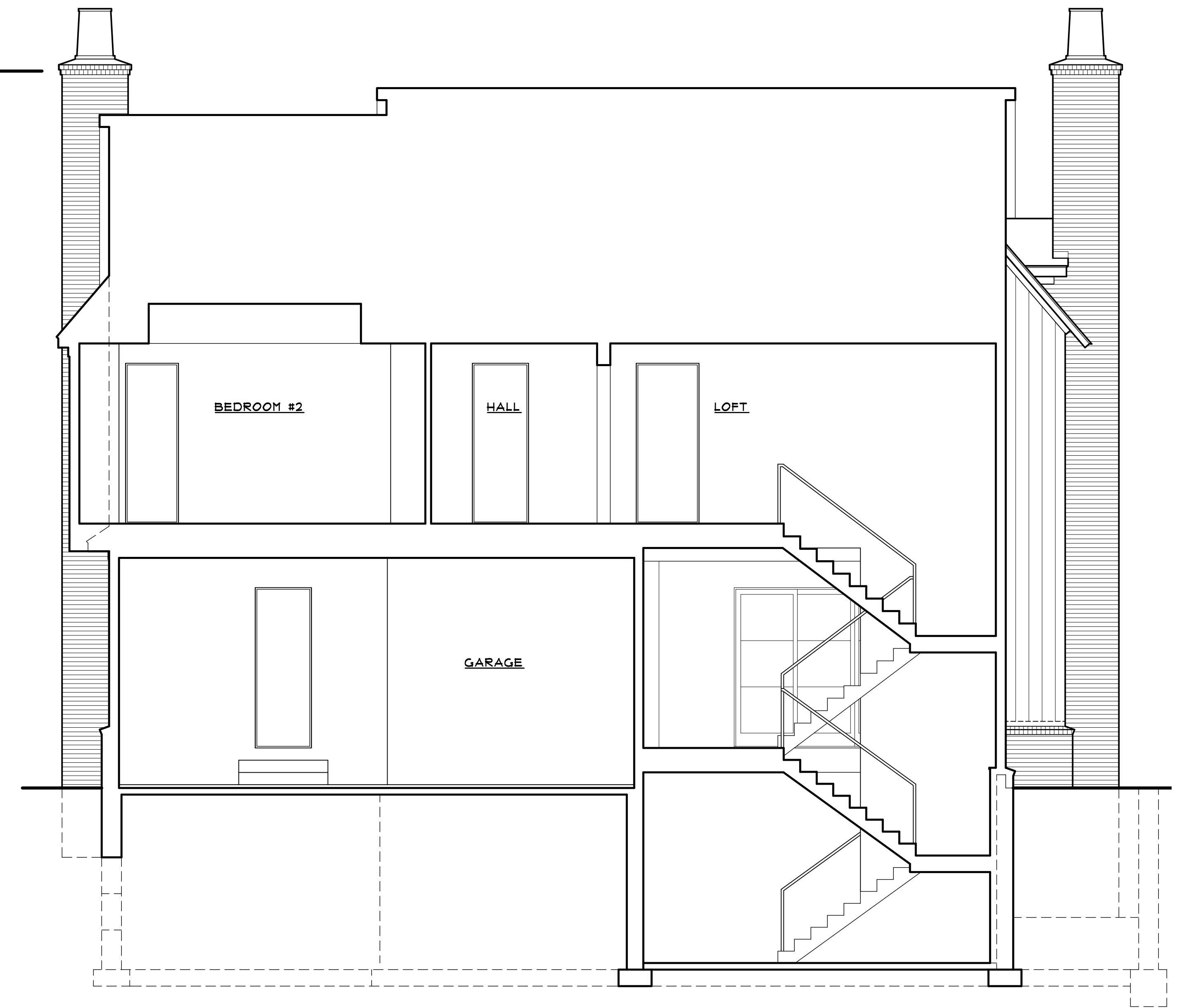
BINGHAM DEVELOPMENT
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A-5



2 BUILDING SECTION
 A-6 SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
 A-6 SCALE: 1/4" = 1'-0"



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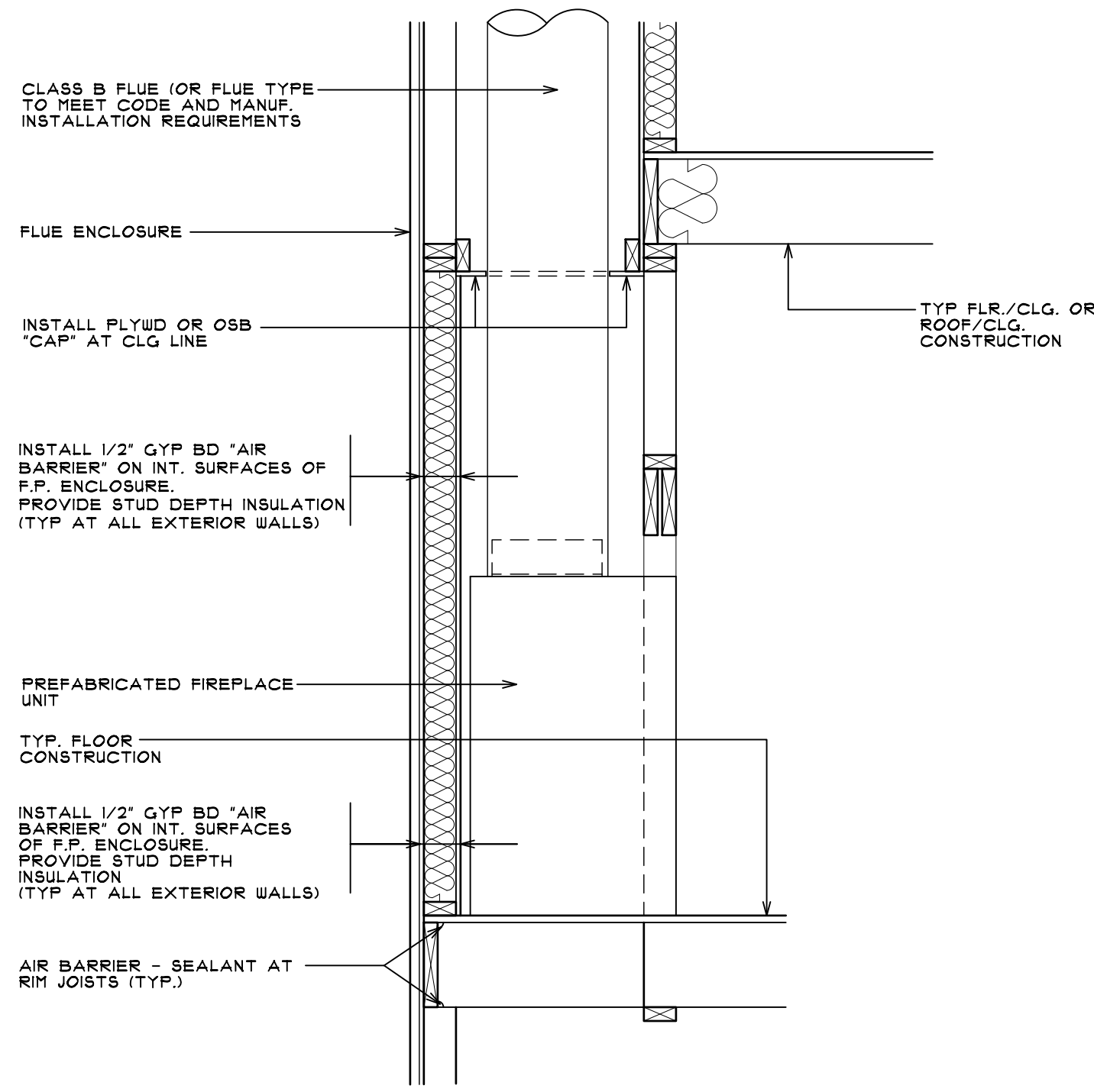
SHEET TITLE
BUILDING SECTIONS
 PRELIMINARY

CLIENT / PROJECT
BINGHAM DEVELOPMENT
 SINGLE FAMILY RESIDENCE
 166 CHESTERFIELD AVENUE
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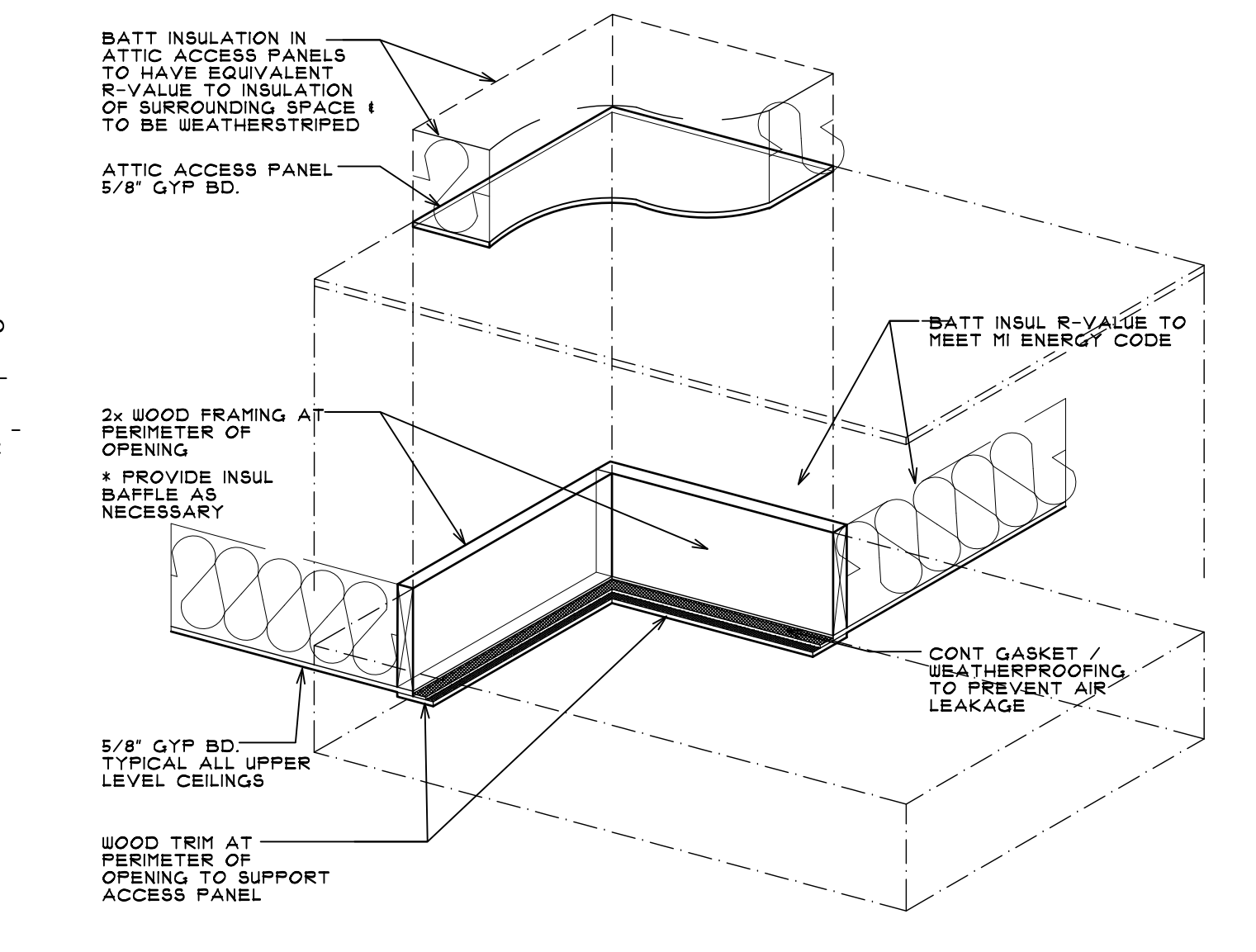
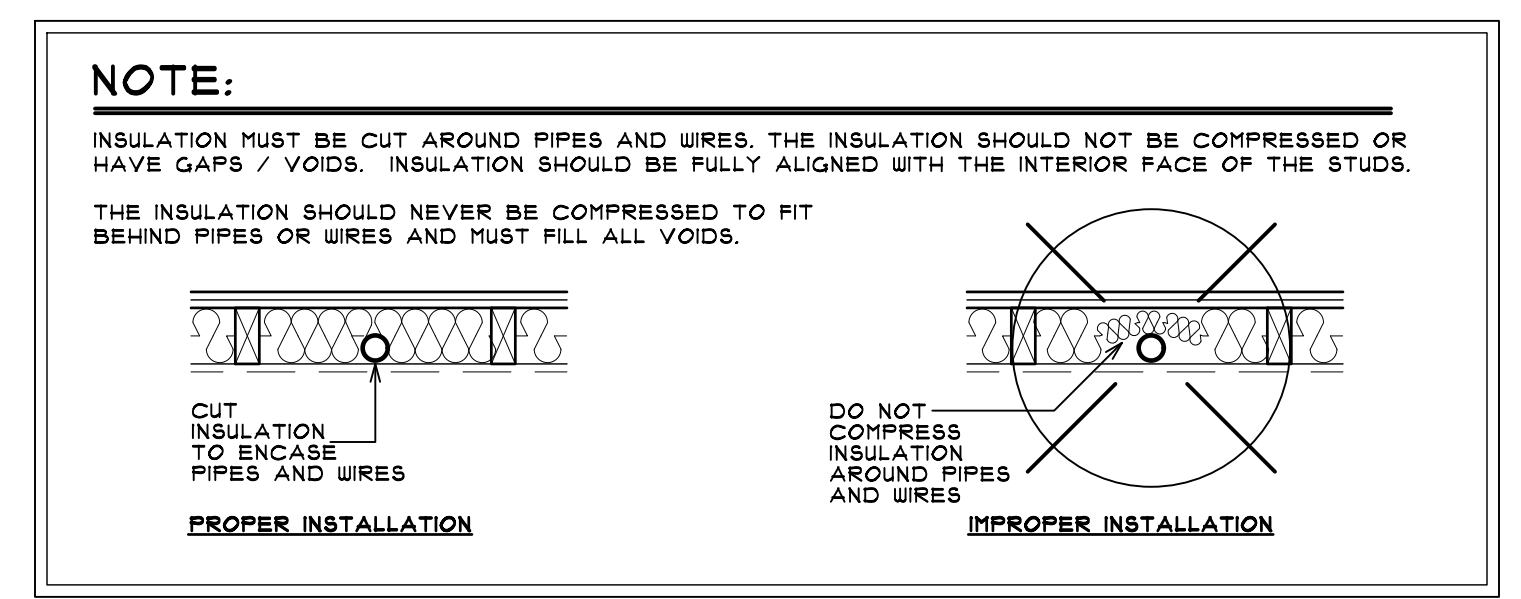
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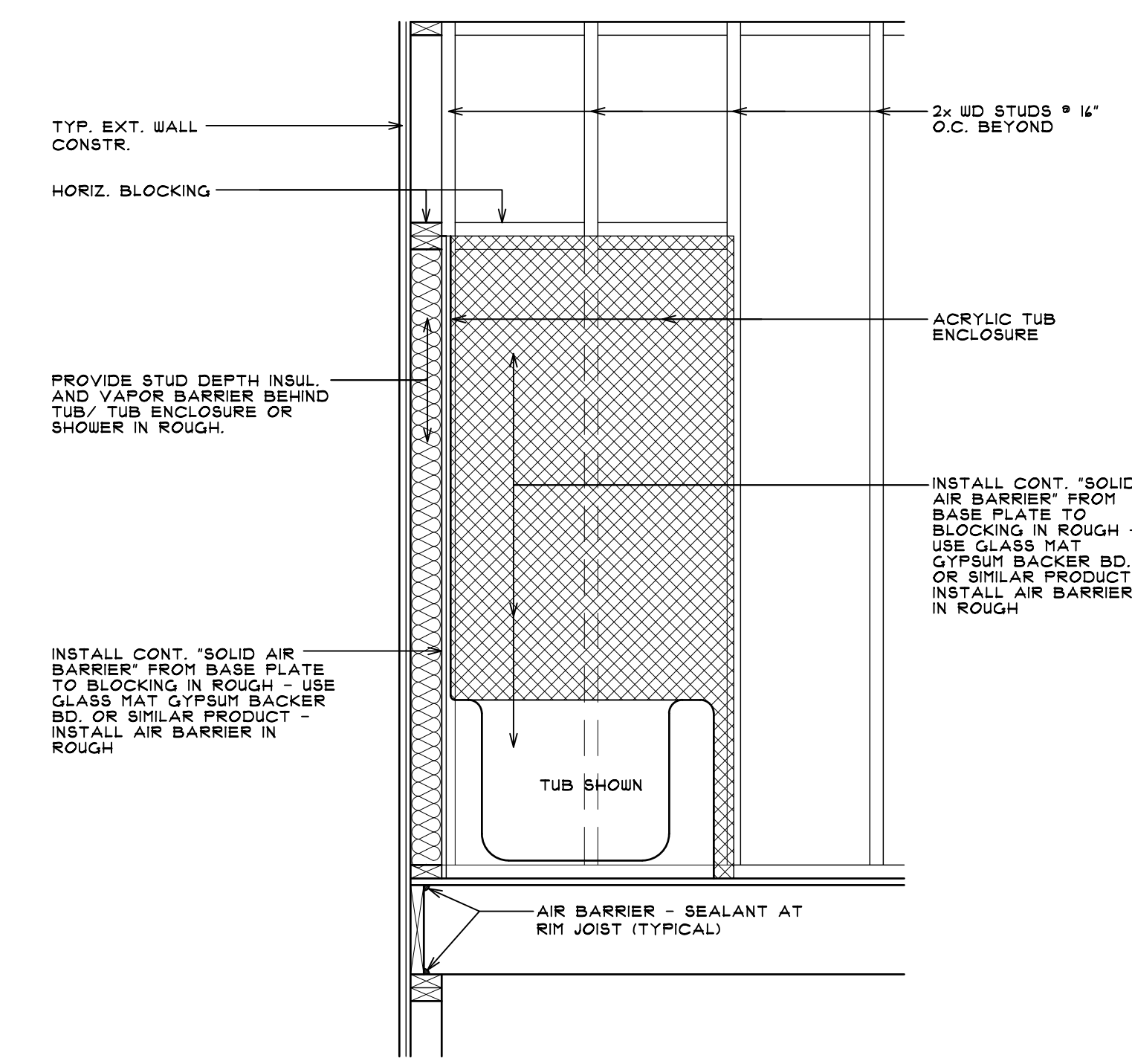
SHEET NUMBER
A-6



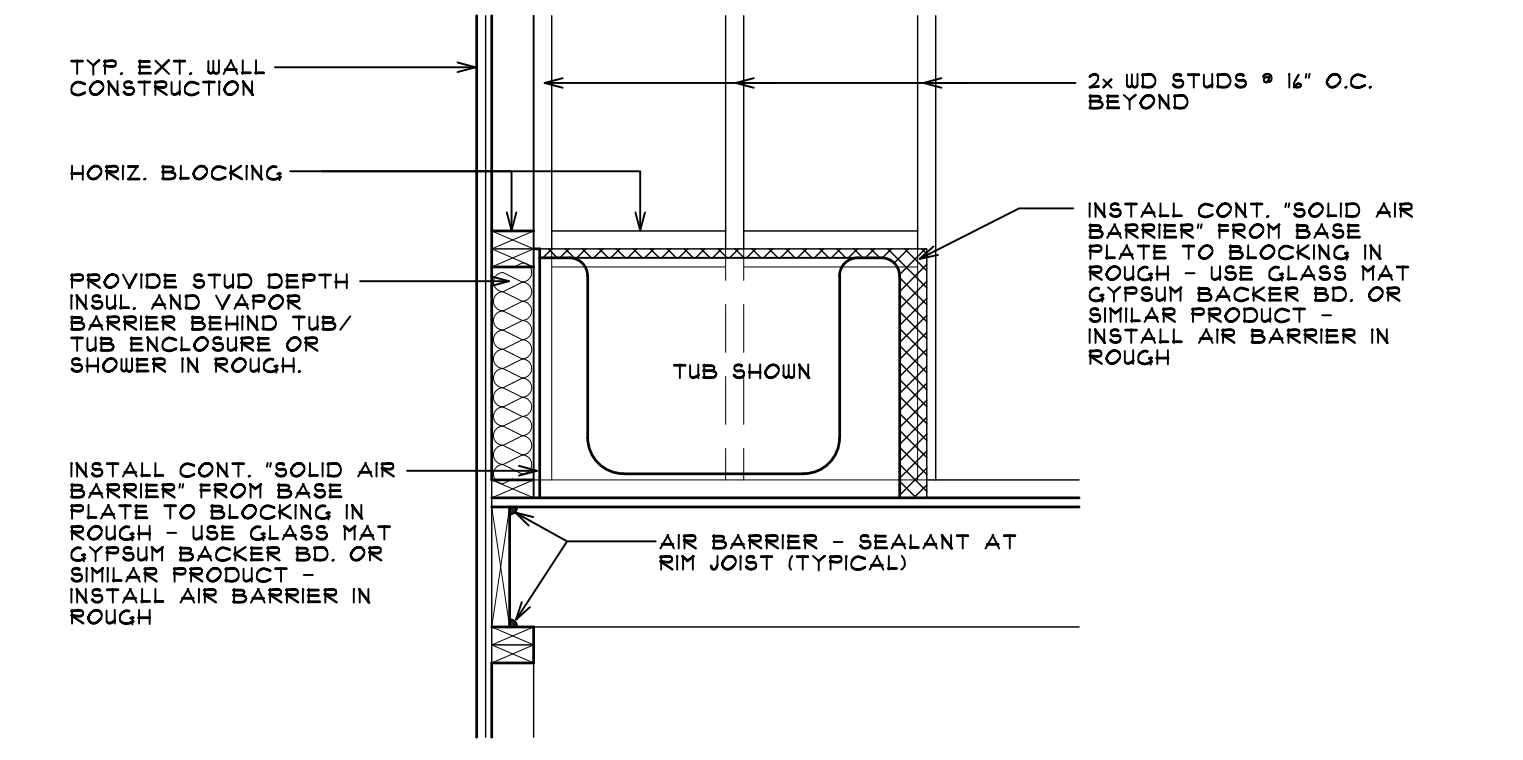
10 AIR BARRIER - WALL BEHIND FIREPLACE
SCALE: 3/4" = 1'-0"



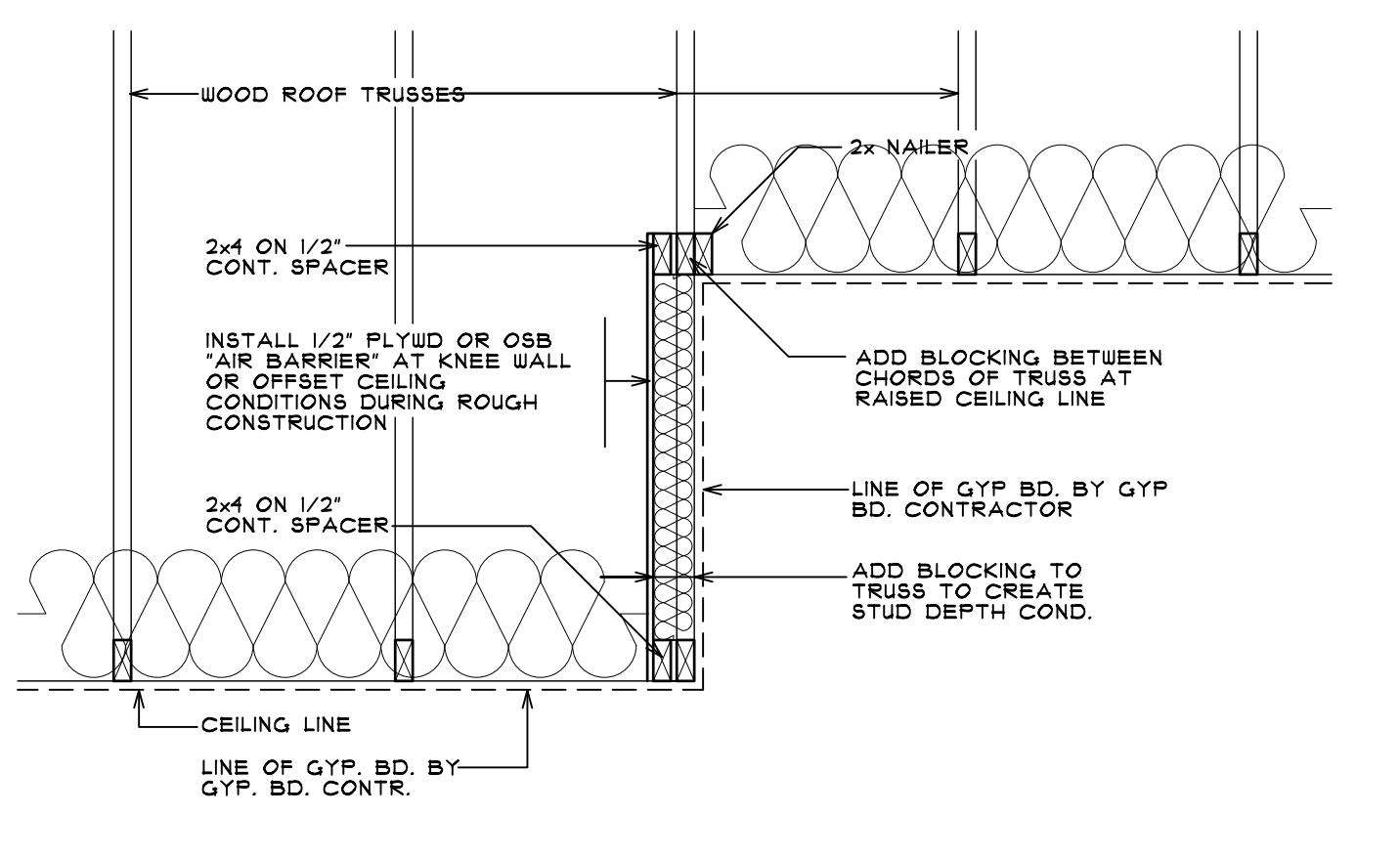
1 AIR BARRIER - ATTIC ACCESS PANEL
SCALE: NTS



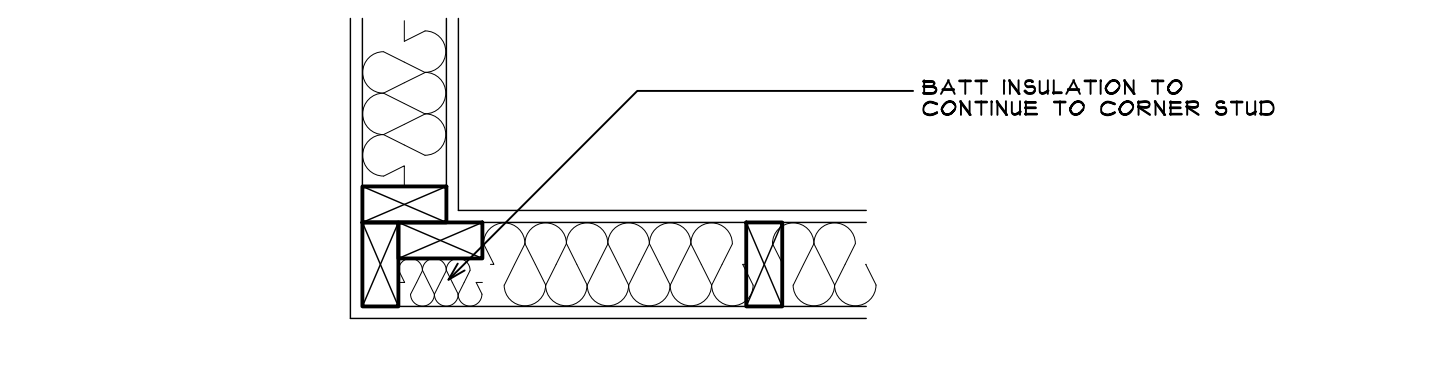
4 AIR BARRIER - WALL TUB/SHOWER
SCALE: 3/4" = 1'-0"



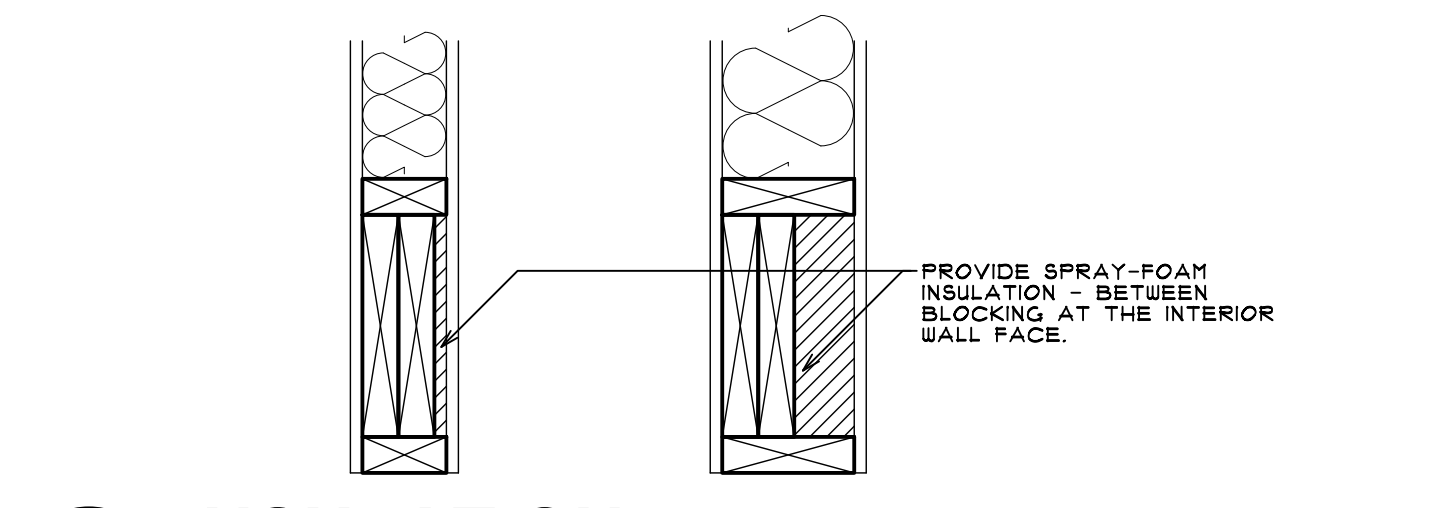
3 AIR BARRIER - TUB/SHOWER
SCALE: 3/4" = 1'-0"



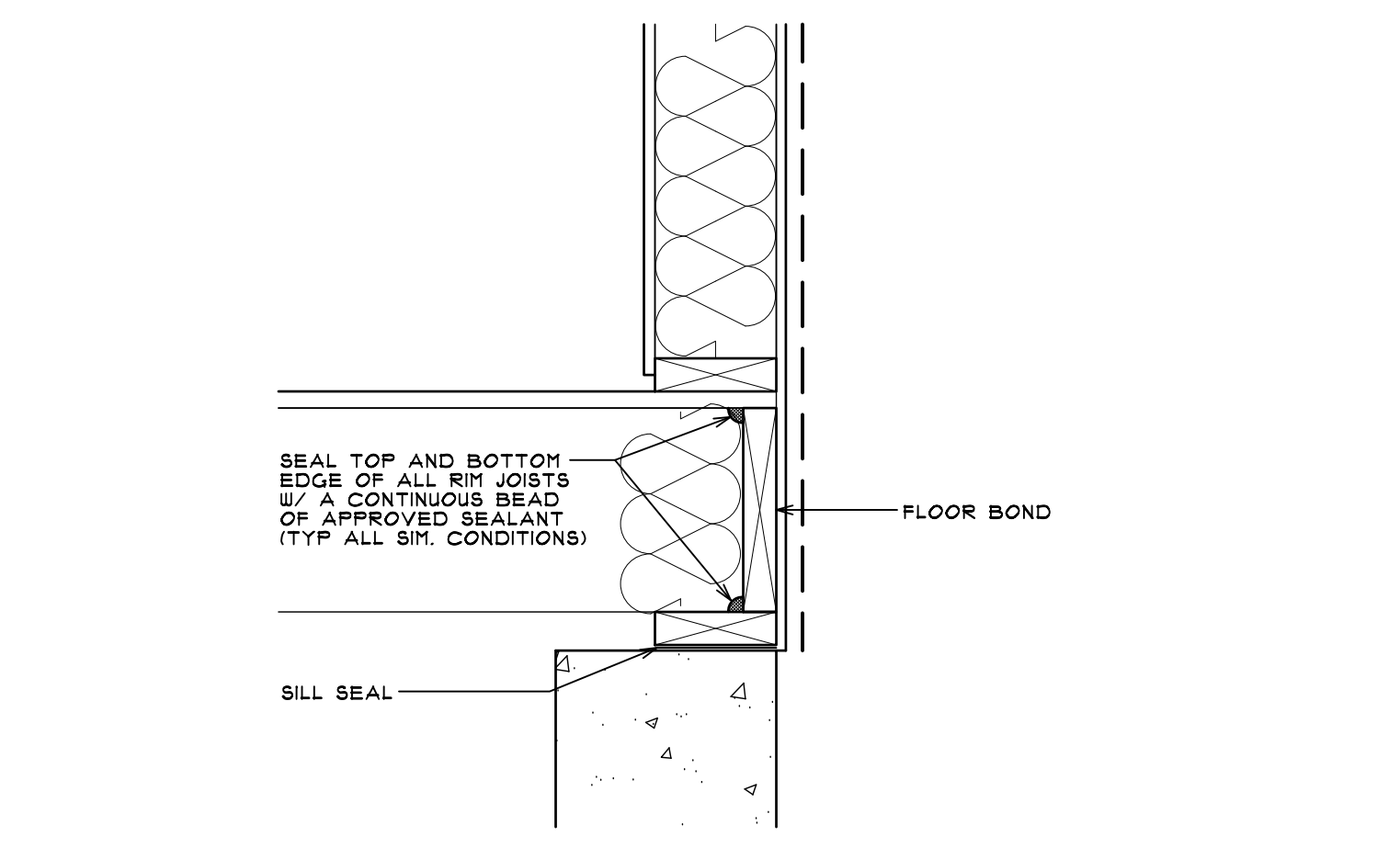
8 AIR BARRIER - AT STEPPED CEILING
KNEEWALL CONDITION SCALE: 3/4" = 1'-0"



6 INSULATION
WALL CORNER SCALE: 1 1/2" = 1'-0"



5 INSULATION
HEADERS SCALE: 1 1/2" = 1'-0"



2 AIR BARRIER - THERMAL ENVELOPE
FLOOR BOND CONDITION SCALE: 1 1/2" = 1'-0"

CHAPTER II: ENERGY EFFICIENCY

BUILDER'S OPTIONS FOR COMPLIANCE CLIMATE ZONE 5A

A) PROVIDE INSULATION AND PERFORMANCE VALUES AS PRESCRIBED IN SECTION N102 (TABLE N102.1)

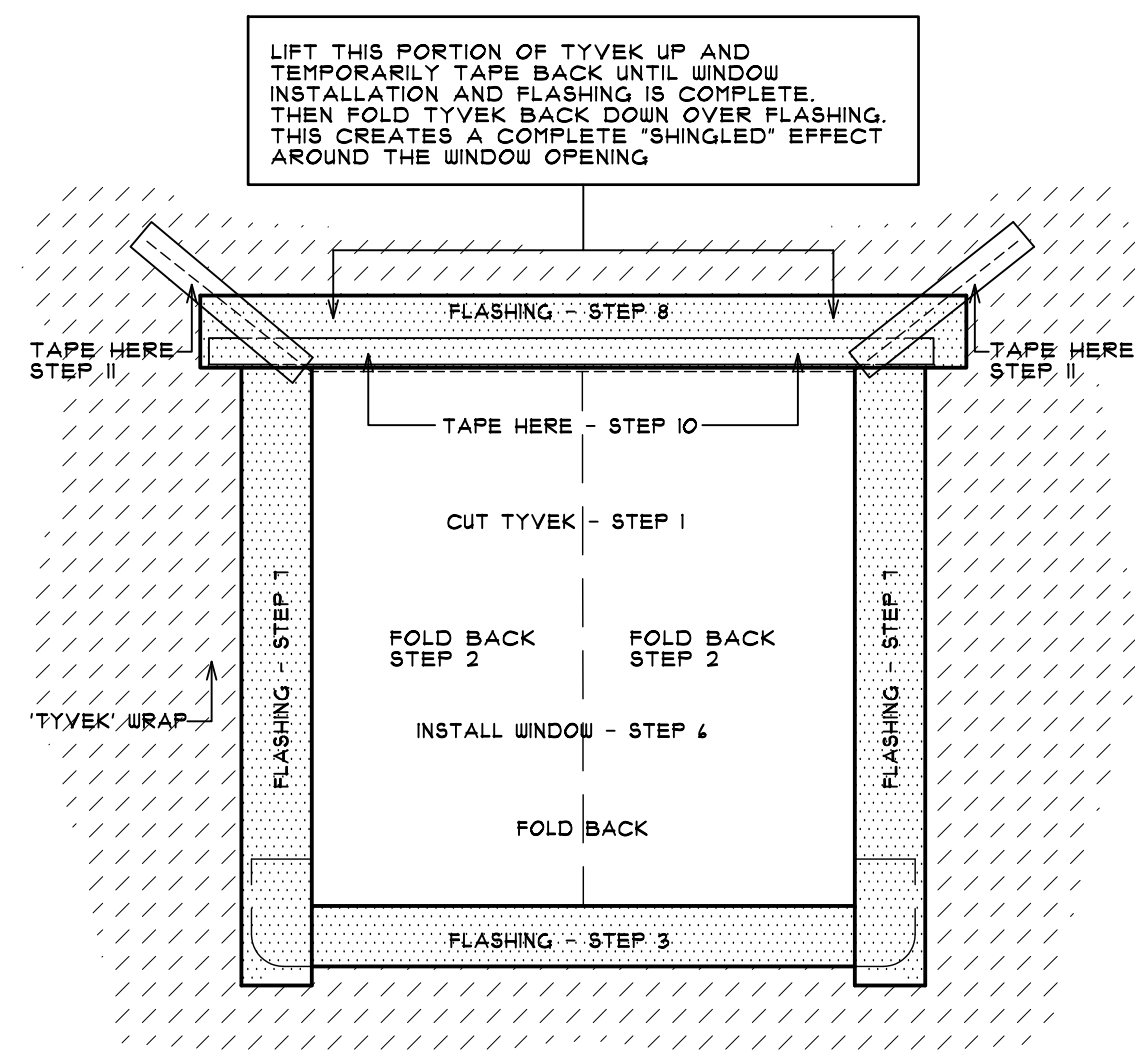
EXTERIOR ENCLOSURE	VALUE
WALL ASSEMBLIES	R-20
ROOF / CEILING	R-38
SLAB ON GRADE	R-10, 2 FT.
CRAWL SPACE WALL (CONT.)	R-15
CRAWL SPACE WALL (CAVITY)	R-14
BASEMENT WALL (CONTINUOUS)	R-10
BASEMENT WALL (CAVITY)	R-13
FENESTRATION / OPENINGS (AREA WEIGHTED AVERAGE OF THE TOTAL AREA OF FENESTRATION UNITS)	U-0.32 R-2.85

* SEE TABLE N102.1 SECTION N102 FOR FOOTNOTES

B) PROVIDE A SIMULATED PERFORMANCE ALTERNATIVE (BY OTHERS) AS PRESCRIBED IN SECTION N103 (PERFORMANCE) PLUS ALL MANDATORY PROVISIONS LISTED IN SECTION N103. INSULATION VALUES WILL BE DETERMINED AS PART OF THIS PERFORMANCE METHOD OF COMPLIANCE.

NOTES:

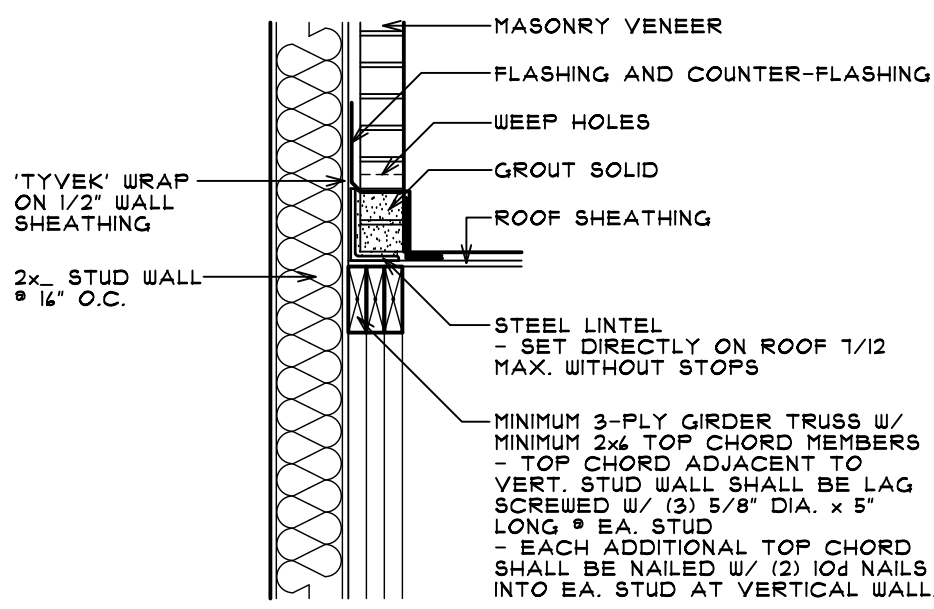
- THE BUILDER/GC SHALL HAVE A COPY OF THE CURRENT MI RESIDENTIAL CODE ON SITE FOR REFERENCE BY STAFF AND TRADES FOR THE ENTIRE DURATION OF CONSTRUCTION.
- REFER TO CHAPTER II, ENERGY EFFICIENCY FOR ALL MANDATORY COMPLIANCE PROVISIONS.
- A MINIMUM OF 15% OF PERMANENTLY INSTALLED LIGHT FIXTURES TO BE HIGH EFFICACY LAMPS. THE BUILDER/GENERAL CONTRACTOR, ELECTRICAL CONTRACTOR, OR INTERIOR DESIGNER SHALL PROVIDE A LIGHT FIXTURE SCHEDULE DEMONSTRATING COMPLIANCE.
- ALL DUCTS TO BE SEALED BY THE MECHANICAL CONTRACTOR. DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE TWO LISTED OPTIONS UNLESS EXCEPTED BY THIS SECTION.
- THE BUILDER/GENERAL CONTRACTOR TO PERMANENTLY AFFIX AN ENERGY FEATURES CERTIFICATE ON THE ELECTRIC PANEL. THE CERTIFICATE TO INCLUDE A LIST OF THE PREDOMINANT R-VALUES INSTALLED, U-FACTORS FOR FENESTRATION ITEMS, HVAC AND WATER HEATER TYPES AND EFFICIENCIES.
- ALL WOOD BURNING FIREPLACES TO HAVE TIGHT FITTING FLUE DAMPERS OR DOORS AND OUTSIDE COMB. AIR.
- MEP CONSTRUCTION DOCUMENTS ARE BY OTHERS - MEP DOCUMENTS TO INCLUDE ALL MEP DESIGN CRITERIA AND CONTROLS ALONG W/ ALL DUCT AND PIPE INSULATION LOC'S DETAILS AND R-VALUES.
- ALL BALANCING AND COMMISSIONING OF MECH. EQUIP. IS NOT PART OF THE ARCHITECT'S SCOPE AND IS BY OTHERS.
- R-10 INSUL. IS REQ'D AT EDGE OF ALL PERIMETER CONC. SLABS. INSULATION MUST RUN VERTICAL FROM TOP OF SLAB TO BELOW GRADE THEN EITHER VERTICAL OR HORIZONTAL FOR REMAINDER OF REQUIRED DISTANCE.
- INSTALLATION OF CARPET USING A TACK STRIP AT THE SLAB ON GRADE EDGE MUST USE A GLUED DOWN TACK STRIP - DO NOT RAMP SET TACK STRIP.



- STEP 1 - CUT TYVEK HOMEWRAP ALONG DOTTED LINES
- STEP 2 - FOLD FLAPS INTO ROUGH OPENING, CUT EXCESS & SECURE
- STEP 3 - INSTALL BOTTOM FLASHING (FLEX-WRAP) PER MANUF.'S GUIDELINES
- STEP 4 - LIFT UP "FLAP" OF TYVEK AT HEAD OF WINDOW AND TEMP. SECURE
- STEP 5 - INSTALL CONT. BEAD OF WEATHERIZATION SEALANT AT HEAD AND JAMBS ONLY
- STEP 6 - INSTALL WINDOW ACCORDING TO MANUF.'S INSTRUCTIONS
- STEP 7 - USING AN APPROVED HOUSEWRAP TAPE, TAPE BOTH SIDES TO THE TYVEK
- STEP 8 - INSTALL TOP FLASHING PIECE (OVERLAP SIDE PCS.)
- STEP 9 - FLIP DOWN TOP FLAP
- STEP 10 - PROVIDE A CONTINUOUS TAPE SEAM AT HEAD OF WINDOW (BOTT. OF FLAP)
- STEP 11 - TAPE 45 DEGREE CUTS ABOVE THE FLASHING MATERIAL
- *DO NOT TAPE TYVEK HOMEWRAP AT BOTTOM OF WINDOW

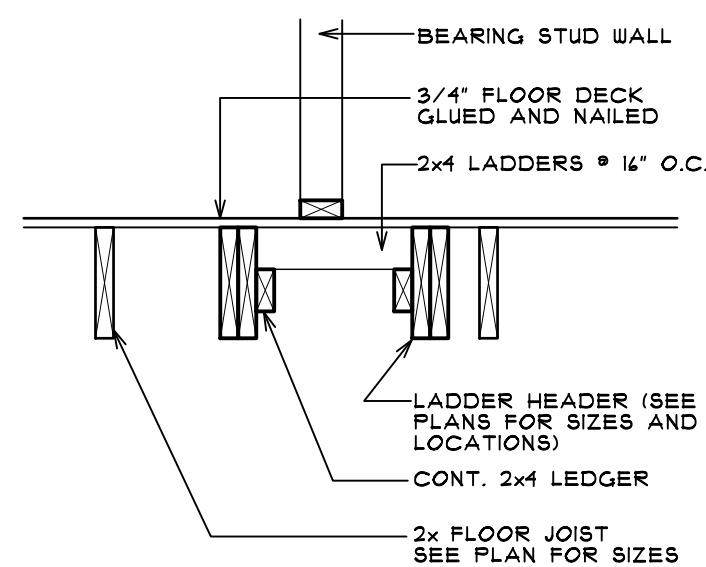
HOMEWRAPI WINDOW DETAIL BY TYVEK

8 D-2 NOTE: IF ANOTHER HOMEWRAP IS USED, COORDINATE ALL INFORMATION W/ SPECIFIC MANUFACTURER. SCALE: NTS



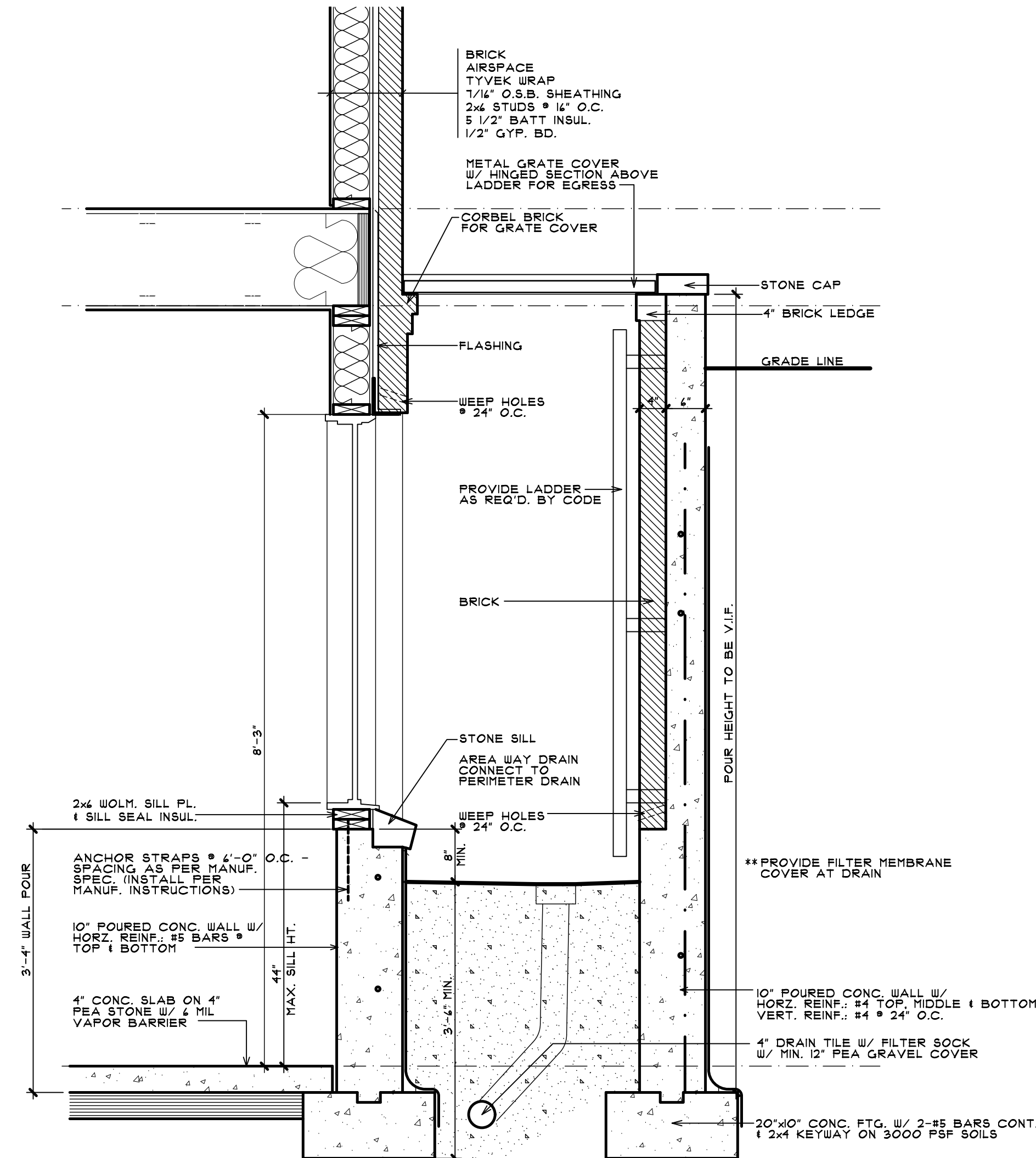
LINTEL DETAIL

7 D-2 @ ROOF BEARING SCALE: 3/4" = 1'-0"



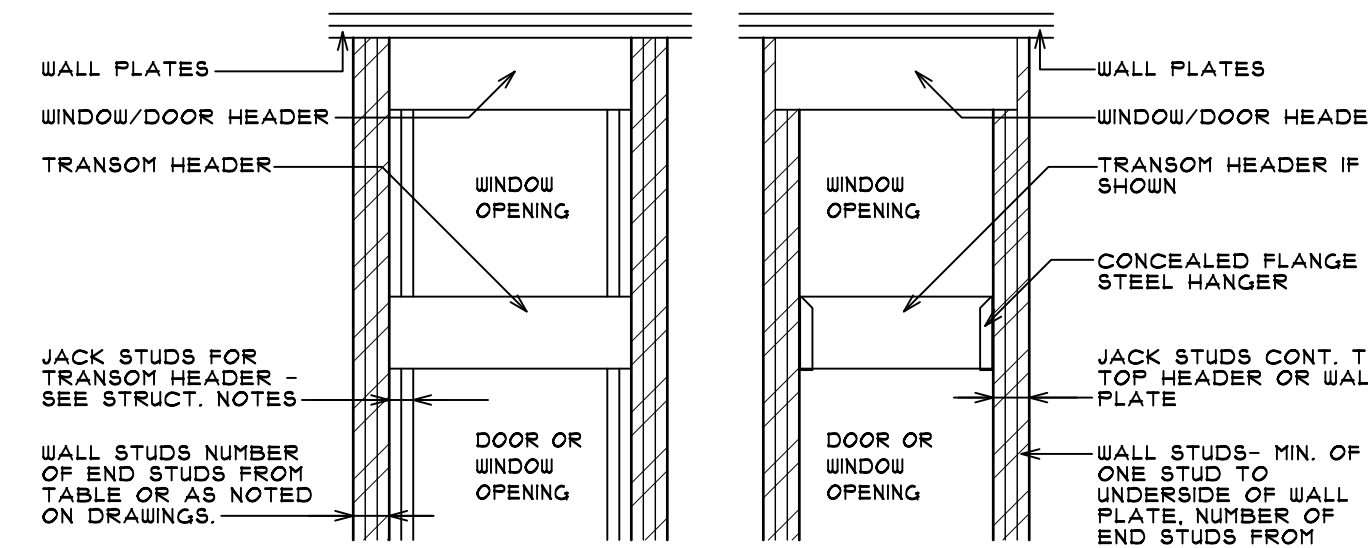
LADDER DETAIL

6 D-2 SCALE: 3/4" = 1'-0"



EGRESS WINDOW DETAIL

5 D-2 SCALE: 3/4" = 1'-0"



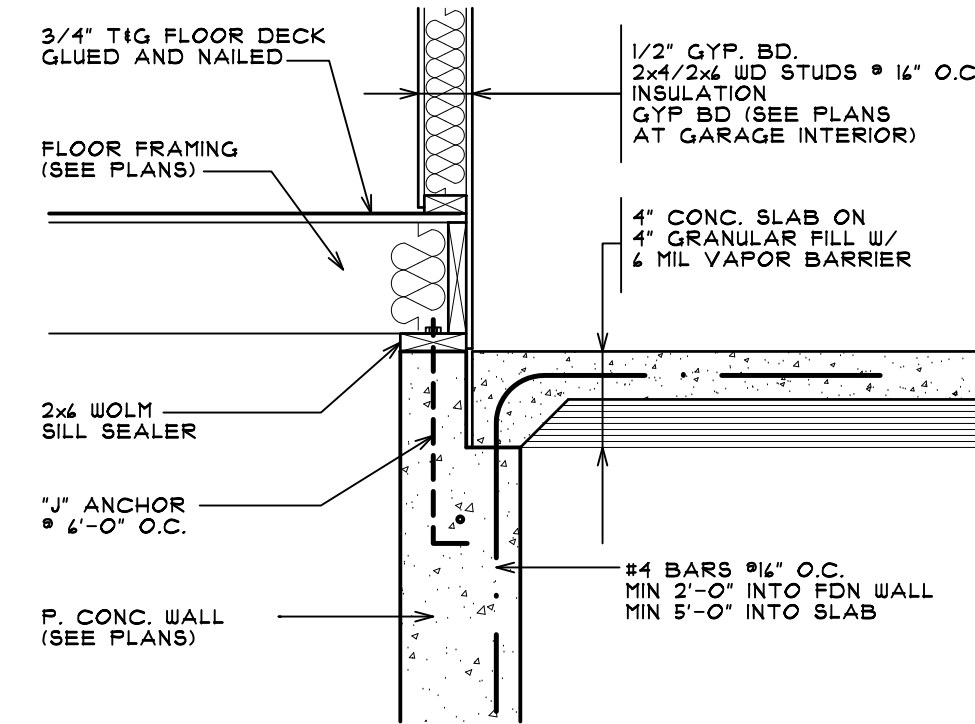
WALL STUDS AT OPENING JAMB

OPENING WIDTH	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"
NUMBER OF STUDS EACH SIDE	1	2	2	3	3	4

*FOR WALL HEIGHTS 10'-0" TO 11'-0"

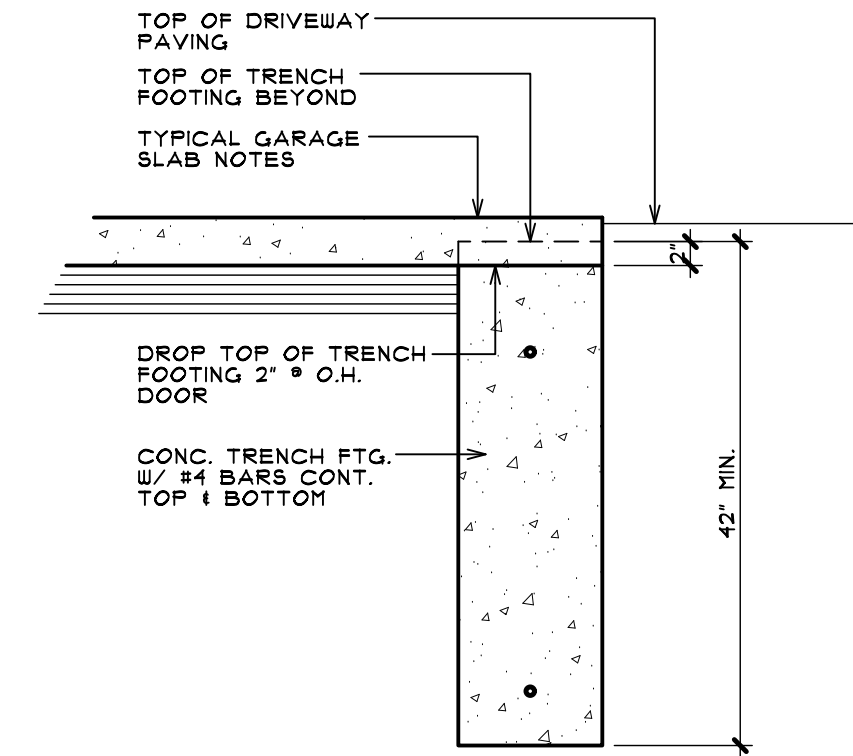
WINDOW / DOOR END STUD DETAIL

SCALE: NTS



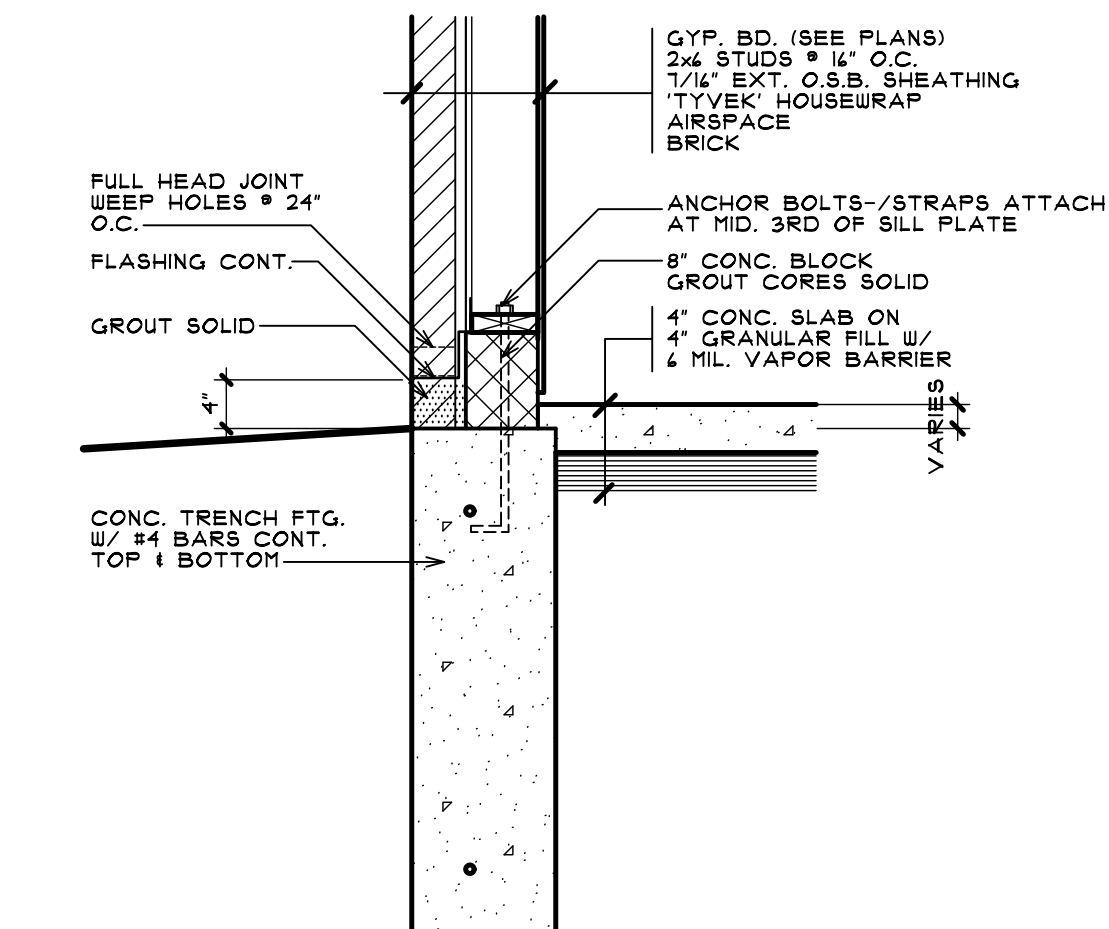
PART. WALL SECTION

4 D-2 DETAIL AT GARAGE AND HOUSE SCALE: 3/4" = 1'-0"



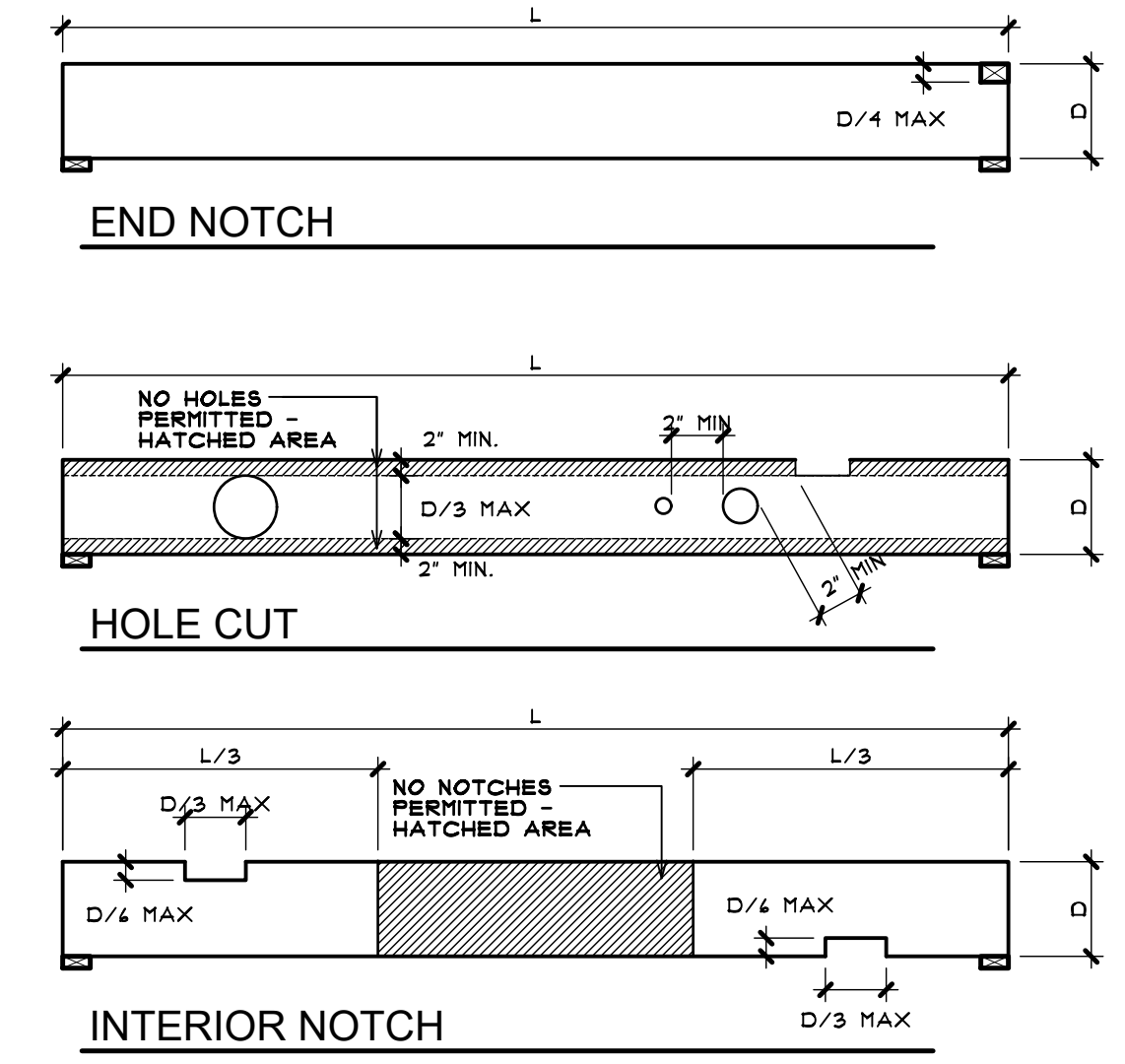
PART. WALL SECTION

3 D-2 DETAIL AT O.H. GARAGE DOOR SCALE: 3/4" = 1'-0"



PART. WALL SECTION

2 D-2 DETAIL BETWEEN EXTERIOR AND GARAGE SCALE: 3/4" = 1'-0"

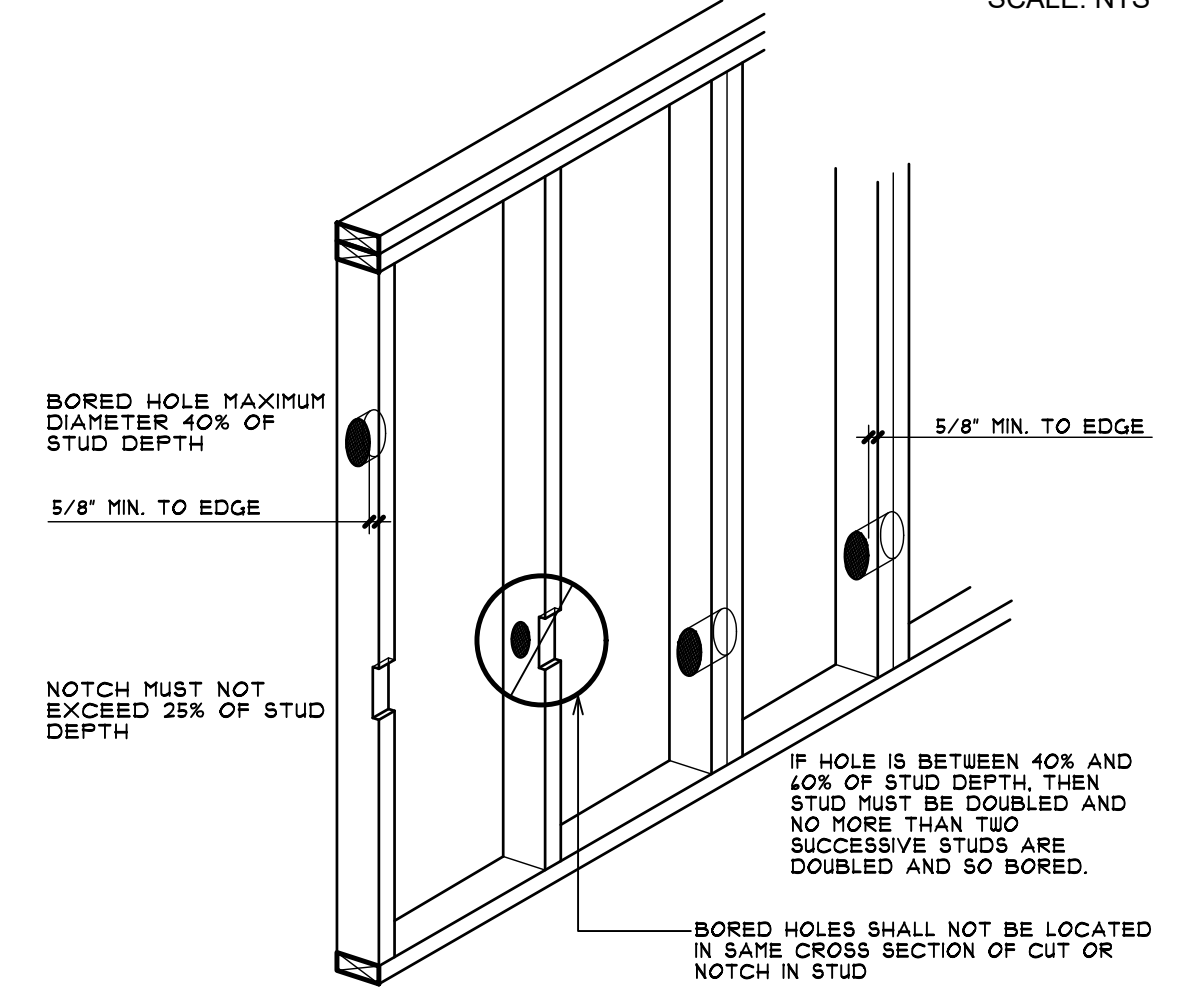


JOIST SIZE	NOTCH (W x D)	HOLE DIAMETER (D/3)
2x8	2 3/8" x 1 1/8"	2 3/8"
2x10	3" x 1 1/2"	3"
2x12	3 3/4" x 1 7/8"	3 3/4"

*ALL SIZES INDICATED ARE MAXIMUM AND INCLUDE ANY OVER-CUT BEYOND OPENING. **SEE MANUFACTURER'S REQUIREMENTS FOR ENGINEERED LUMBER.

JOIST CUTTING DETAILS

SCALE: NTS

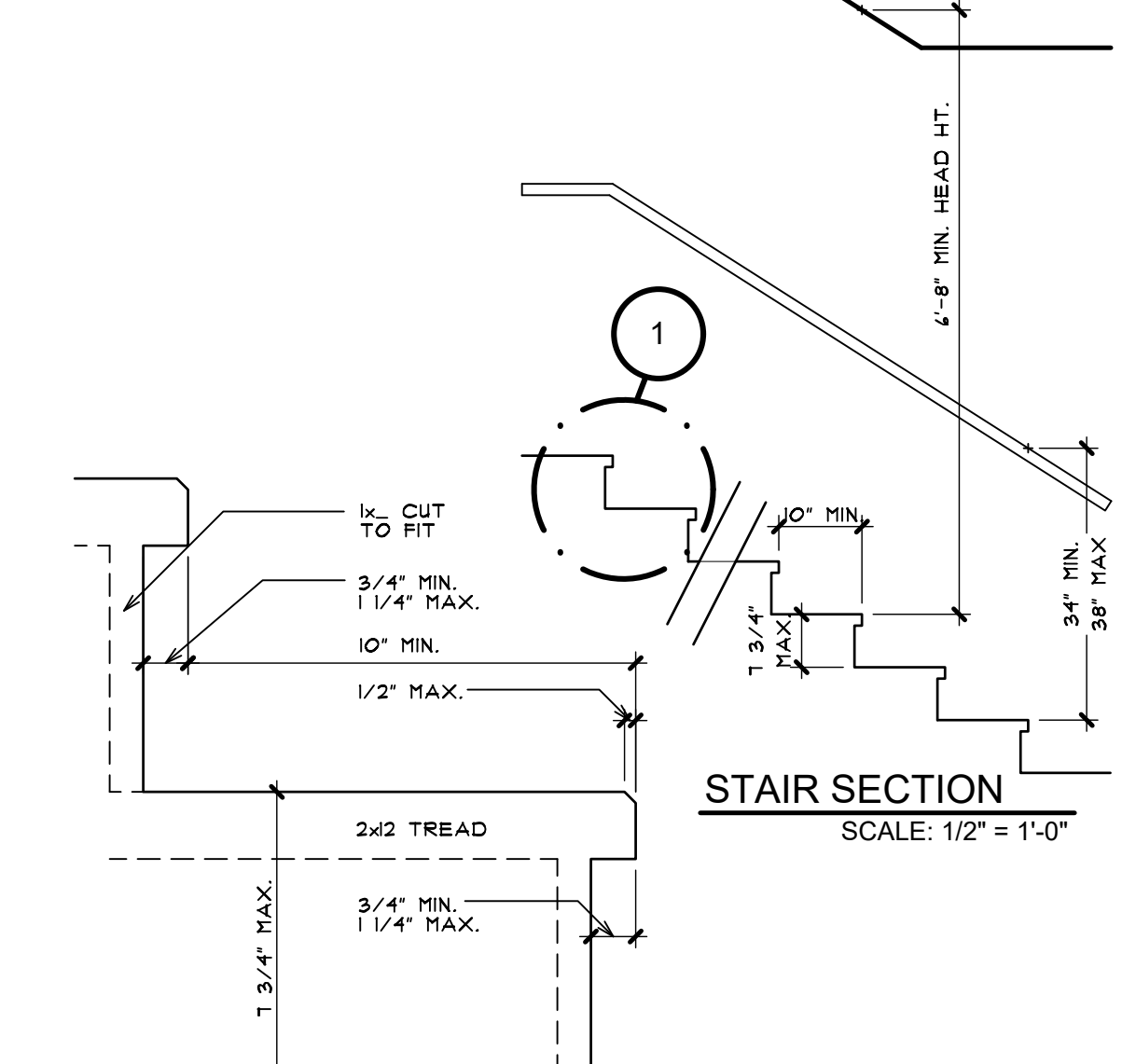


STUD SIZE	NOTCH	HOLE DIAMETER (40%)	(60%)
2x4	1 7/8"	2"	1 3/8"
2x6	1 3/8"	3"	2 3/4"
2x8	1 3/4"	4 1/4"	2 1/8"

*** SEE CURRENT CODE FOR COMPLETE WRITTEN DESCRIPTION OF ALLOWABLE CUTTING & BORING.

STUD BORING & CUTTING DETAILS

BEARING WALLS SCALE: NTS



TYP. STAIR DETAIL

1 D-2 SCALE: 3" = 1'-0"



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TYPICAL DETAILS
PRELIMINARY

BINGHAM DEVELOPMENT
SINGLE FAMILY RESIDENCE
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