

City of Birmingham
MEETING OF THE BOARD OF ZONING APPEALS
TUESDAY, AUGUST 9, 2022
7:30 PM

Should you have any statement regarding any appeals, you are invited to attend the meeting in person or virtually through ZOOM:

[https://zoom.us/j/963 4319 8370](https://zoom.us/j/96343198370) or dial: **877-853-5247 Toll-Free,**

Meeting Code: 963 4319 8370

You may also provide a written statement to the Board of Zoning Appeals, City of Birmingham, 151 Martin Street, P.O. Box 3001, Birmingham MI, 48012-3001 prior to the hearing

AUGUST 9, 2022
7:30 PM

1. CALL TO ORDER

2. ROLL CALL

3. ANNOUNCEMENTS

a) The City continues to recommend the public wear masks while attending City meetings per CDC guidelines. The cases of COVID-19 are increasing in the area. All City employees, commissioners, and board members must wear a mask while indoors when 6-feet of social distancing cannot be maintained. This is to ensure the continuity of government is not affected by an exposure to COVID-19 that can be prevented by wearing a mask. The City continues to provide KN-95 respirators and triple-layered masks for all in-person meeting attendees.

4. APPROVAL OF THE MINUTES

a) July 12, 2022

5. APPEALS

	Address	Petitioner	Appeal	Type/Reason
1)	2647 DORCHESTER	BABI	22-39	DIMENSIONAL
2)	111 E MERRILL	DONE RIGHT SIGNS	22-35	DIMENSIONAL
3)	680 WESTWOOD	KLIX/REZNAR	22-36	DIMENSIONAL
4)	282 GREENWOOD	AGUAFINA	22-34	DIMENSIONAL
5)	555 STANLEY	ARK	22-33	POSTPONED
6)	34660 WOODWARD	RUVOLO	22-37	DIMENSIONAL
7)	766 CHESTERFIELD	BINGHAM DEVELOPMENT	22-38	DIMENSIONAL

6. CORRESPONDENCE

7. GENERAL BUSINESS

OPEN TO THE PUBLIC FOR MATTERS NOT ON THE AGENDA

ADJOURNMENT

Title VI

Persons with disabilities that may require assistance for effective participation in this public meeting should contact the City Clerk's Office at the number (248) 530-1880, or (248) 644-5115 (for the hearing impaired) at least one day before the meeting to request help in mobility, visual, hearing, or other assistance.

Las personas con incapacidad que requieren algún tipo de ayuda para la participación en esta sesión pública deben ponerse en contacto con la oficina del escribano de la ciudad en el número (248) 530-1800 o al (248) 644-5115 (para las personas con incapacidad auditiva) por lo menos un día antes de la reunión para solicitar ayuda a la movilidad, visual, auditiva, o de otras asistencias. (Title VI of the Civil Rights Act of 1964).

The public entrance during non-business hours is through the police department at the Pierce Street entrance only. Individuals requiring assistance entering the building should request aid via the intercom system at the parking lot entrance gate on Henrietta Street.

La entrada pública durante horas no hábiles es a través del Departamento de policía en la entrada de la calle Pierce solamente. Las personas que requieren asistencia entrando al edificio debe solicitar ayudan a través del sistema de intercomunicación en la puerta de entrada de estacionamiento en la calle de Henrietta.

AUGUST BZA MAP



Birmingham Board Of Zoning Appeals Proceedings
Tuesday, July 12, 2022
City Commission Room
151 Martin Street, Birmingham, Michigan

1. Call To Order

Minutes of the regular meeting of the City of Birmingham Board of Zoning Appeals ("BZA") held on Tuesday, July 12, 2022. Chair Erik Morganroth convened the meeting at 7:30 p.m.

2. Rollcall

Present: Chair Erik Morganroth, Vice-Chair Jason Canvasser; Board Members Charles Lillie, John Miller, Ron Reddy, Pierre Yaldo; Alternate Board Member Carl Kona

Absent: Board Member Kevin Hart

Administration:

Bruce Johnson, Building Official
Laura Eichenhorn, City Transcriptionist
Mike Morad, Assistant Building Official
Jeff Zielke, Assistant Building Official

Chair Morganroth welcomed those present and reviewed the meeting's procedures.

Chair Morganroth described BZA procedure to the audience. He noted that the members of the Board of Zoning Appeals are appointed by the City Commission and are volunteers who serve staggered three-year terms. They are a quasi-judicial board and sit at the pleasure of the City Commission to hear appeals from petitioners who are seeking variances from the City's Zoning Ordinance. Under Michigan law, a dimensional variance requires four affirmative votes from this board, and the petitioner must show a practical difficulty. A land use variance requires five affirmative votes and the petitioner has to show a hardship. He pointed out that this board does not make up the criteria for practical difficulty or hardship. That has been established by statute and case law. Appeals are heard by the board as far as interpretations or rulings. In that type of appeal the appellant must show that the official or board demonstrated an abuse of discretion or acted in an arbitrary or capricious manner. Four affirmative votes are required to reverse an interpretation or ruling.

Chair Morganroth took rollcall of the petitioners. All petitioners were present.

3. Announcements

Michigan and Oakland County are at a substantial rate of COVID-19 community transmission. Per Occupational Safety and Health Administration (OSHA) mask guidance for areas of high or substantial community transmission levels, and to continue to protect essential government operations and functions, the city requires masks in City Hall for all employees, and for board and

commission members. Masks are recommended for members of the public who attend city meetings. The city continues to provide KN-95 respirators for all in-person meeting attendees.

BO Johnson explained that an issue in noticing led to six cases, which were originally scheduled for the present meeting, being postponed to an upcoming special BZA meeting on July 26, 2022.

T# 07-38-22

4. Approval Of The Minutes Of The BZA Meetings Of June 14, 2022

Motion by Vice-Chair Canvasser

Seconded by Mr. Yaldo to accept the Minutes of the BZA meeting of June 14, 2022 as submitted.

Motion carried, 6-0.

VOICE VOTE

Yeas: Morganroth, Canvasser, Reddy, Miller, Kona, Yaldo

Nays: None

Abstain: Lillie

5. Appeals

T# 07-39-22

**1) 1663 Fairway
Appeal 22-31**

ABO Zielke presented the item, explaining that the owner of the property known 1663 Fairway was requesting the following variances to construct a rear and second floor addition to an existing non-conforming home:

A. Chapter 126, Article 2, Section 2.06.2 of the Zoning Ordinance requires that the combined total side yard is 14 feet or 25 percent of lot width, which is greater. The required is 20.00 feet. The existing/proposed 19.43 feet. Therefore, a variance of 0.57 feet is being requested.

B. Chapter 126, Article 4, Section 4.74(C) of the Zoning Ordinance requires that the minimum distance between principal residential buildings on adjacent lots of 14.00 feet or 25% of total lot width, whichever is larger. The required is 20.00 feet on the west side. The existing/proposed is 19.08 feet. Therefore, a variance of 0.92 feet is being requested.

C. Chapter 126, Article 4, Section 4.74(C) of the Zoning Ordinance requires that the minimum distance between principal residential buildings on adjacent lots of 14.00 feet or 25% of total lot width, whichever is larger. The required is 20.00 feet on the east side. The existing/proposed is 19.51 feet. Therefore, a variance of 0.49 feet is being requested.

D. Chapter 126, Article 4, Section 4.75(A)(1) of the Zoning Ordinance requires that private, attached, single-family residential garages must be setback a minimum of 5.00 feet from the portion of the front façade on the first floor of the principal building that is furthest setback from the front property line. The proposed existing garage is 1.04 feet in front of the furthest façade. Therefore, a variance of 6.04 feet is being requested.

E. Chapter 126, Article 4, Section 4.75(A)(2) of the Zoning Ordinance requires that garage doors on an attached garage which are facing a street may not exceed 9.00 feet in width. The existing and proposed is 16.00 feet. Therefore, a variance of 7.00 feet is being requested.

Brendan Potash, builder, reviewed the letter describing why these variances were being sought. The letter was included in the evening's agenda packet.

In reply to the Chair, Mr. Potash said he thought it would be very difficult for a future homeowner to fit two vehicles in a garage with two eight foot doors. He contended that the creating a single garage door would make it easier to possibly fit two vehicles.

Motion by Mr. Miller

Seconded by Mr. Lillie with regard to Appeal 22-31, A. Chapter 126, Article 2, Section 2.06.2 of the Zoning Ordinance requires that the combined total side yard is 14 feet or 25 percent of lot width, which is greater. The required is 20.00 feet. The existing/proposed 19.43 feet. Therefore, a variance of 0.57 feet is being requested; B. Chapter 126, Article 4, Section 4.74(C) of the Zoning Ordinance requires that the minimum distance between principal residential buildings on adjacent lots of 14.00 feet or 25% of total lot width, whichever is larger. The required is 20.00 feet on the west side. The existing/proposed is 19.08 feet. Therefore, a variance of 0.92 feet is being requested; C. Chapter 126, Article 4, Section 4.74(C) of the Zoning Ordinance requires that the minimum distance between principal residential buildings on adjacent lots of 14.00 feet or 25% of total lot width, whichever is larger. The required is 20.00 feet on the east side. The existing/proposed is 19.51 feet. Therefore, a variance of 0.51 feet is being requested; D. Chapter 126, Article 4, Section 4.75(A)(1) of the Zoning Ordinance requires that private, attached, single-family residential garages must be setback a minimum of 5.00 feet from the portion of the front façade on the first floor of the principal building that is furthest setback from the front property line. The proposed existing garage is 1.04 feet in front of the furthest façade. Therefore, a variance of 6.04 feet is being requested; E. Chapter 126, Article 4, Section 4.75(A)(2) of the Zoning Ordinance requires that garage doors on an attached garage which are facing a street may not exceed 9.00 feet in width. The existing and proposed is 16.00 feet. Therefore, a variance of 7.00 feet is being requested.

Mr. Miller moved to approve the variance requests and tied them to the plans as submitted. He said that variances A, B, and C were related. He said the property had unique circumstances since it was existing non-conforming in terms of the current zoning envelope. He said the side-yard allowances being requested were very small and he estimated that most of the homes on the street, built around the same time,

would have similar issues. He said the improvements stemming from variances A, B, and C would result in significant benefit to the neighborhood.

Mr. Miller continued that for variances D and E, the garage was already very small and increasing the size of the garage would cause issues with the sideyard setback. He said a single garage door was reasonable here. He noted that the houses adjacent and across the street from 1663 Fairway also have front-facing garages positioned in the same way on the lot, and consequently granting variances D and E would allow 1663 Fairway to resemble the neighboring homes in that respect. He noted that the proposed porch will create some visual mitigation of variance D since it will appear as if the garage is further back on the lot.

Mr. Lillie conditioned his second on noting that variance C should be for .49 feet and not the .51 feet advertised. He said he would support the motion while also noting that the configuration of the neighboring homes and garages do not factor into whether variances D and E should be granted.

The Chair said he would support the motion because the garage would not likely accommodate the structure necessary to support two nine foot doors. He explained he was supportive of allowing one garage door in this case due to the particular circumstances. He noted that in general he does not support exceptions to the requirement that there be two garage doors.

Motion carried, 7-0.

ROLL CALL VOTE

Yeas: Miller, Morganroth, Canvasser, Lillie, Reddy, Kona, Yaldo

Nays: None

6. Correspondence

7. Open To The Public For Matters Not On The Agenda

T# 07-40-22

8. Adjournment

Motion by Mr. Lillie

Seconded by Mr. Yaldo to adjourn the July 12, 2022 BZA meeting at 7:52 p.m.

Motion carried, 7-0.

VOICE VOTE

Yeas: Miller, Morganroth, Canvasser, Lillie, Reddy, Kona, Yaldo

Nays: None

Bruce R. Johnson, Building Official

A handwritten signature in black ink, appearing to read 'Laura Eichenhorn', with a stylized, flowing script.

Laura Eichenhorn

City Transcriptionist

CASE DESCRIPTION

2647 Dorchester

Hearing date: August 9, 2022

Appeal No. 22-39: The owner of the property known **2647 Dorchester**, requests the following variance to construct a new single-family home:

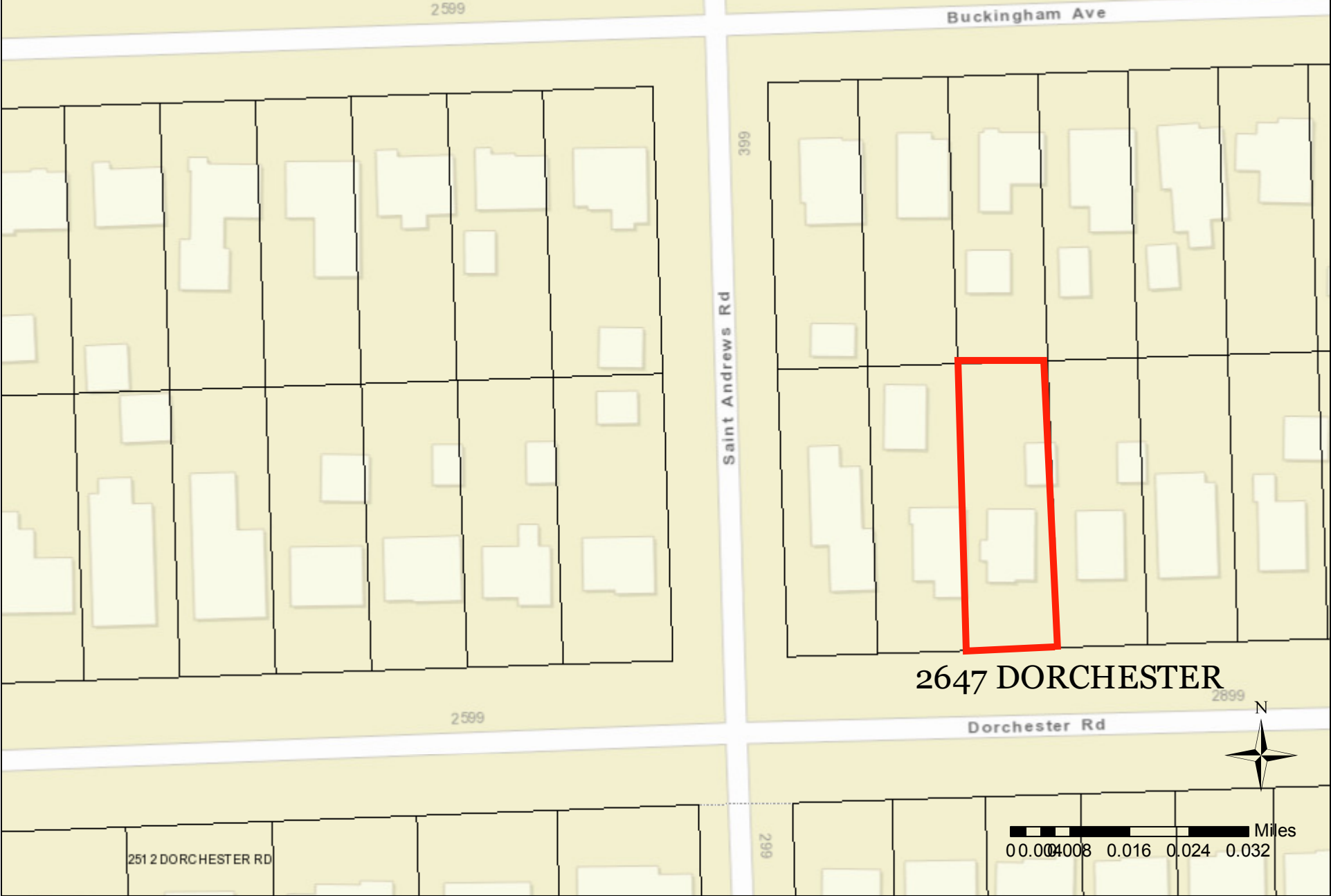
- A. Chapter 126, Article 4, Section 4.74(C) of the Zoning Ordinance requires that the minimum distance between principal residential buildings on adjacent lots of 14.00 feet or 25% of total lot width, whichever is larger. The required is 14.00 feet on the west side. The proposed is 12.23 feet. Therefore, a variance of 1.77 feet is being requested.

Staff Notes: The applicant is looking to construct a new single family home on a lot that is 47.00 feet wide.

This property is zoned R2 – Single family residential.

Jeff Zielke, NCIDQ, LEED AP
Assistant Building Official

2647 DORCHESTER MAP



CITY OF BIRMINGHAM
Community Development - Building Department
151 Martin Street, Birmingham, MI 48009
Community Development: 248-530-1850
Fax: 248-530-1290 / www.bhamgov.org

APPLICATION FOR THE BOARD OF ZONING APPEALS

Application Date: 7/11/22

Hearing Date: 9.13.22

Received By: HT

Appeal #: 22.39

Type of Variance:	<input checked="" type="checkbox"/> Interpretation	<input type="checkbox"/> Dimensional	<input type="checkbox"/> Land Use	<input type="checkbox"/> Sign	<input type="checkbox"/> Admin Review
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I. PROPERTY INFORMATION:

Address: <u>2647 Dorchester Rd.</u>	Lot Number: <u>42</u>	Sidwell Number: <u>20-30-476-020</u>
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II. OWNER INFORMATION:

Name: <u>Babi Construction Inc.</u>			
Address: <u>PO Box 974</u>	City: <u>Birmingham</u>	State: <u>MI</u>	Zip code: <u>48012</u>
Email: <u>Babibuilders@yahoo.com</u>		Phone: <u>248-217-2224</u>	

III. PETITIONER INFORMATION:

Name: <u>Same as above ↑↑</u>	Firm/Company Name:		
Address:	City:	State:	Zip code:
Email:	Phone:		

IV. GENERAL INFORMATION:

The Board of Zoning Appeals typically meets the second Tuesday of each month. Applications along with supporting documents must be submitted on or before the 12th day of the month preceding the next regular meeting. Please note that incomplete applications will not be accepted.

To insure complete applications are provided, appellants must schedule a pre-application meeting with the Building Official, Assistant Building Official and/or City Planner for a preliminary discussion of their request and the documents that will be required to be submitted. Staff will explain how all requested variances must be highlighted on the survey, site plan and construction plans. Each variance request must be clearly shown on the survey and plans including a table as shown in the example below. All dimensions to be shown in feet measured to the second decimal point.

The BZA application fee is **\$360.00** for single family residential; **\$560.00** for all others. This amount includes a fee for a public notice sign which must be posted at the property at least 15-days prior to the scheduled hearing date.

Variance Chart Example

Requested Variances	Required	Existing	Proposed	Variance Amount
Variance A, Front Setback	25.00 Feet	23.50 Feet	23.50 Feet	1.50 Feet
Variance B, Height	30.00 Feet	30.25 Feet	30.25 Feet	0.25 Feet

V. REQUIRED INFORMATION CHECKLIST:

- ☐ One original and nine copies of the signed application
- ☐ One original and nine copies of the signed letter of practical difficulty and/or hardship
- ☐ One original and nine copies of the certified survey
- ☐ 10 folded copies of site plan and building plans including existing and proposed floor plans and elevations
- ☐ If appealing a board decision, 10 copies of the minutes from any previous Planning, HDC, or DRB board meeting

VI. APPLICANT SIGNATURE

Owner hereby authorizes the petitioner designated below to act on behalf of the owner.

By signing this application, I agree to conform to all applicable laws of the City of Birmingham. All information submitted on this application is accurate to the best of my knowledge. Changes to the plans are not allowed without approval from the Building Official or City Planner.

*By providing your email to the City, you agree to receive news and notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner: Raid Babi

Date: 7/12/22

Signature of Petitioner: Raid Babi

Date: 7/12/22

**CITY OF BIRMINGHAM
BOARD OF ZONING APPEALS
RULES OF PROCEDURE**

ARTICLE I - Appeals

- A. Appeals may be filed under the following conditions:
1. A property owner may appeal for variance, modification or adjustment of the requirements of the Zoning Ordinance.
 2. A property owner may appeal for variance, modification or adjustment of the requirements of the Sign Ordinance.
 3. Any aggrieved party may appeal the decision of the Planning Board and/or the Building Official in accordance with the City of Birmingham Zoning Ordinance, Article Eight, Section 8.01 (D) Appeals. If an appellant requests a review of any determination of the Building Official, a complete statement setting forth the facts and reasons for the disagreement with the Building Official's determination shall include the principal point, or points on the decision, order or section of the ordinance appealed from, on which the appeal is based.
- B. Procedures of the Board of Zoning Appeals (BZA) are as follows:
1. Regular BZA meetings, which are open to the public, shall be held on the second Tuesday of the month at 7:30 P.M. provided there are pending appeals. There will be a maximum of seven appeals heard at the regular meeting which are taken in the order received. If an appeal is received on time after the initial seven appeals have been scheduled, it will be scheduled to the next regular meeting.
 2. All applications for appeal shall be submitted to the Community Development Department on or before the 12th day of the month preceding the next regular meeting. If the 12th falls on a Saturday, Sunday, or legal holiday, the next working day shall be considered the last day of acceptance.
 3. All property owners and occupants within 300 feet of the subject property will be given written notice of a hearing by the City of Birmingham.
 4. See the application form for specific requirements. If the application is incomplete, the BZA may refuse to hear the appeal. The Building Official or City Planner may require the applicant to provide additional information as is deemed essential to fully advise the Board in reference to the appeal. Refusal or failure to comply shall be grounds for dismissal of the appeal at the discretion of the Board.
 5. In variance requests, applicants must provide a statement that clearly sets forth all special conditions that may have contributed to a practical difficulty that is preventing a reasonable use of the property.

6. Where the Birmingham Zoning Ordinance requires site plan approval of a project by the City Planning Board before the issuance of a building permit, applicants must obtain preliminary site plan approval by the Planning Board before appeal to the BZA for a variance request. If such appeal is granted by the BZA, the applicant must seek final site plan and design review approval from the Planning Board before applying for a building permit.
7. An aggrieved party may appeal a Planning Board decision. Such appeal must be made within 30 days of the date of the decision. The BZA, in its discretion, may grant additional time in exceptional circumstances.
8. Appeals from a decision of the Building Official shall be made within 30 days of the date of the order, denial of permit, or requirement or determination contested. The BZA, in its discretion, may grant additional time in exceptional circumstances.
9. An appeal stays all proceedings in accordance with Act #110, Public Acts of 2006, Article VI, Section 125.3604 (3).

C. The order of hearings shall be:

1. Presentation of official records of the case by the Building Official or City Planner as presented on the application form.
2. Applicant's presentation of his/her case—the applicant or his/her representative must be present at the appeal hearing.
3. Interested parties' comments and view on the appeal.
4. Rebuttal by applicant.
5. The BZA may make a decision on the matter or request additional information.

D. Motions and Voting

1. A motion is made to either grant or deny a petitioner's request
 - a) For a motion to grant or deny a non-use variance request, the motion must receive four (4) affirmative votes to be approved.
 - b) For a motion to grant or deny a use variance request, the motion must receive five (5) affirmative votes to be approved.
 - c) For a motion to grant or deny an appeal of a decision or order by an administrative official or board, the motion must receive four (4) affirmative votes to be approved.
 2. When a motion made is to approve or deny a petitioner's request and if there is a tie vote, then the vote results in no action by the board and the petitioner shall be given an opportunity to have his or her request heard the next regularly scheduled meeting when all the members are present.
-

3. When there are less than seven (7) members of the board present for a meeting, then a petitioner requesting a use variance shall be given an opportunity at the beginning of the meeting to elect to have it heard at the next regularly scheduled meeting.
4. When there are less than six (6) members present for a meeting, then all petitioners shall be given an opportunity at the beginning of the meeting to elect to have the request heard at the next regularly scheduled meeting.

ARTICLE II - Results of an Appeal

- A. The Board may reverse, affirm, vary or modify any order, requirement, decision or determination as in its opinion should be made, and to that end, shall have all the powers of the officer from whom the appeal has been taken.
- B. The decisions of the Board shall not become final until the expiration of five (5) days from the date of entry of such orders or unless the Board shall find that giving the order immediate effect is necessary for the preservation of property and/or personal rights and shall so certify on the record.
- C. Whenever any variation or modification of the Zoning Ordinance is authorized by resolution of the BZA, a Certificate of Survey must be submitted to the Community Development Department with the building permit application. A building permit must be obtained within one year of the approval date.
- D. Failure of the appellant, or his representative, to appear for his appeal hearing will result in the appeal being adjourned to the next regular meeting. If, after notice, the appellant fails to appear for the second time, it will result in an automatic withdrawal of the appeal. The appellant may reapply to the BZA.
- E. Any applicant may, with the consent of the Board, withdraw his application at any time before final action.
- F. Any decision of the Board favorable to the applicant is tied to the plans submitted, including any modifications approved by the Board at the hearing and agreed to by the applicant, and shall remain valid only as long as the information or data provided by the applicant is found to be correct and the conditions upon which the resolution was based are maintained.

ARTICLE III - Rehearings

- A. No rehearing of any decision of the Board shall be considered unless new evidence is submitted which could not reasonably have been presented at the previous hearing or unless there has been a material change of facts or law.
-

B. Application or rehearing of a case shall be in writing and subject to the same rules as an original hearing, clearly stating the new evidence to be presented as the basis of an appeal for rehearing.

I certify that I have read and understand the above rules of procedure for the City of Birmingham Board of Zoning Appeals.

Road Beh
Signature of Applicant

City of Birmingham BZA
RE: 2647 Dorchester Birmingham

Hello BZA,

This Letter describes the hardship and practical difficulty we are experiencing in designing our 2 houses at 2647 and 2663 Dorchester Rd. The neighbor directly to the west at 2635 Dorchester is the only house on the street that has its driveway on the left side of its house which greatly reduces the width of our house in order to meet the distance between structures. We are designing both 2647 and 2663 Dorchester houses at the same time and we would like them to complement each other instead of hindering with reduced setbacks.

Our currently designed house for 2647 proposes the side setbacks to be 10.50' for the driveway and 5.85' for a total side yard setback of 16.35'. 2.35' more than the 14 feet needed. The neighbor at 2635 Dorchester only has 6.38' for its side yard setback forcing us to make our house smaller.

We are requesting a variance of 1.77 Feet distance between structures for a total of 12.23 Feet between structures. We would like our house to compliment and flow with the other neighbors on the street.

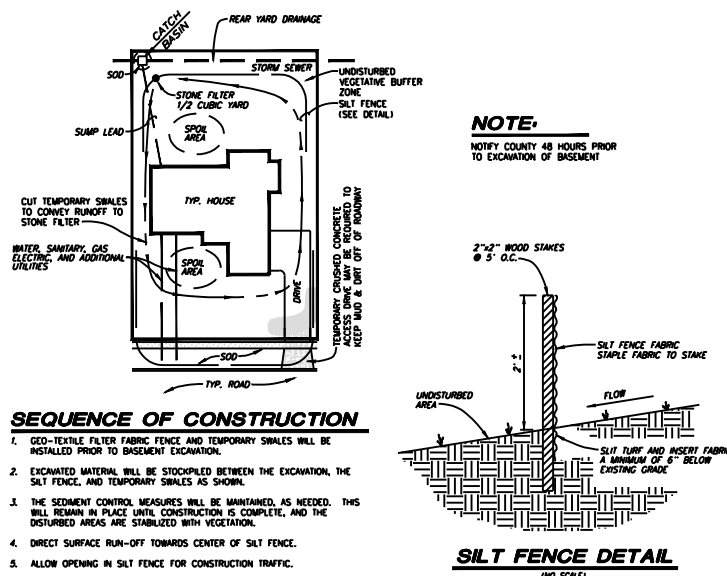
Requested Variance	Required	Proposed	Variance Amount
Variance A: Distance between structures	14 Feet	12.23 Feet	1.77 Feet

Thank You,

Ray Babi

Babi Construction Inc.

248-217-2224



LEGEND

	EXISTING CONTOURS
	EXISTING GRADE
	AS-BUILT GRADE
	PROPOSED GRADE
	EXISTING PAVEMENT
	PROPOSED PAVEMENT
	PROPOSED SILT FENCE

TOPOGRAPHY LEGEND

	WATER MAIN
	STORM SEWER
	SANITARY SEWER
	EASEMENT
	EX. U.G. ELEC.
	EX. O.H. WIRES
	EX. U.G. TELE.
	EX. U.G. GAS
	ROUND CATCH BASIN
	SQUARE CATCH BASIN
	UTILITY MANHOLE
	STORM MANHOLE
	END OF PIPE
	SANITARY MANHOLE
	CLEAN-OUT
	MANHOLE
	HYDRANT
	GATE VALVE WELL
	WATER VALVE
	WATER BOX
	VALVE
	LIGHT POLE
	AIR CONDITIONER
	MAIL BOX
	FENCE POST
	DOWN SPOUT
	SOIL BORING
	ELEC. TRANS. PAD
	UTILITY POLE
	GUY ANCHOR
	GUY POLE
	SIGN POST
	SPRINKLER HEAD
	GAS METER
	TELEPHONE RISER
	ELECTRICAL RISER
	CABLE TV RISER
	FINISHED FLOOR
	GARAGE FLOOR
	BASEMENT FLOOR
	CONC. CONCRETE
	SET MAG. WAIL
	SET IRON BAR
	FOUND IRON BAR
	FOUND C. MONUMENT

NOTE

***CONTRACTOR TO CONFIRM BASEMENT WALL HEIGHT, FIRST FLOOR ELEVATION AND BASEMENT FLOOR ELEVATION PRIOR TO THE START OF CONSTRUCTION!!!

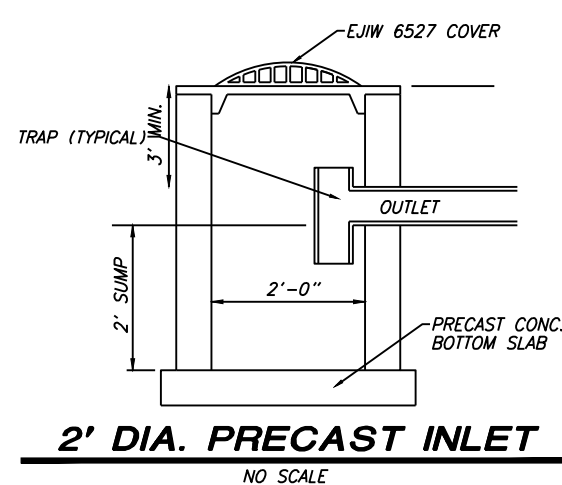
NOTE

THE CONTRACTOR IS REQUIRED TO INSPECT THE EROSION MEASURES ON A WEEKLY BASIS AND AFTER EVERY RAINSTORM

CAUTION

CONTRACTOR TO VERIFY GROUND WATER PRIOR TO CONSTRUCTION.

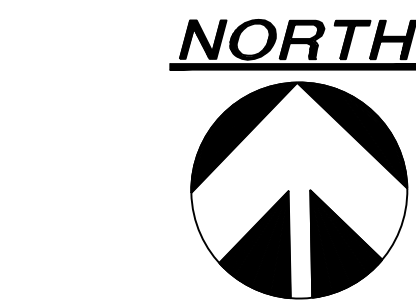
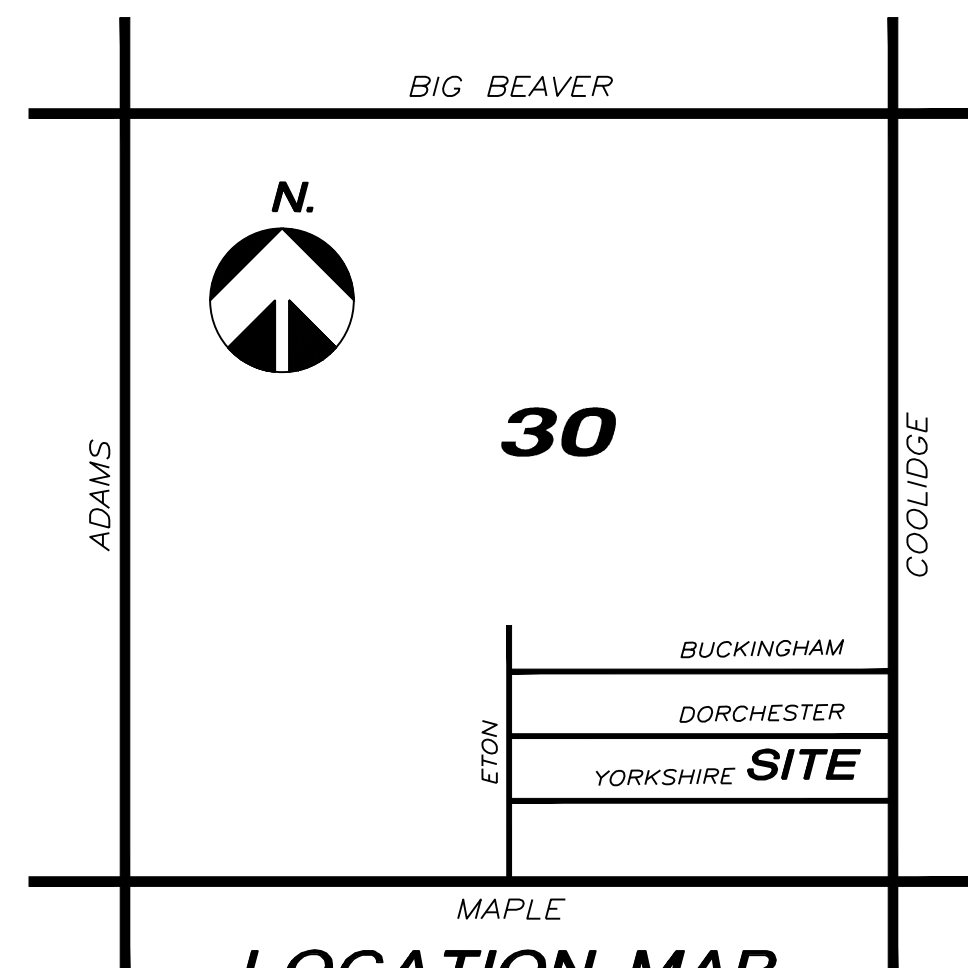
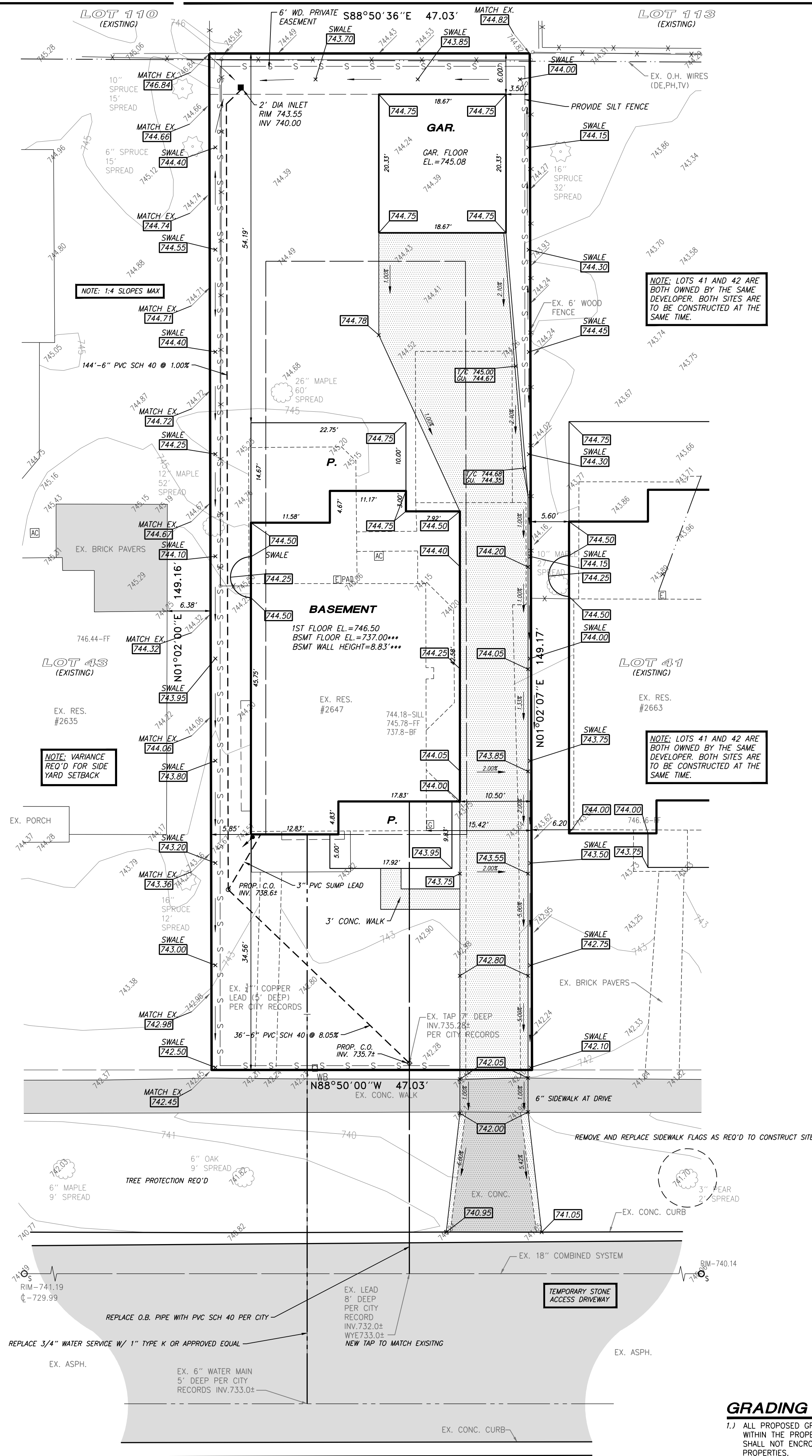
ULC RECOMMENDS SOIL ANALYSIS TO BE PERFORMED BY A PROFESSIONAL.
CONTRACTOR TO MONITOR EXCAVATION FOR SOIL/GROUND WATER CONDITIONS.



BENCHMARK
17410-743.31

Surveyor's Certificate

I hereby certify that I have surveyed and mapped the land above plotted and/or described on March 22, 2000 and that the ratio of closure on the unadjusted field observations of such survey was 1/50,000.



SCALE: 1"=10'

BENCHMARK

1. T/HYD. IN FRONT OF HSE.
#2616 DORCHESTER
ELEVATION=743.31
DATUM=CITY

CITY BM #33 SW CORNER OF COOLIDGE & YORKSHIRE

PARCEL ID

20-30-476-020

ZONED: R-2

AVERAGE SETBACK - 2647 DORCHESTER

STREET NAME	HOUSE #	SETBACK	EAVE HT.	PEAK HT.
DORCHESTER	2587	34.5'	9.2'	17.6'
DORCHESTER	2615	32.7'	18.7'	29.1'
DORCHESTER	2635	34.5'	19.0'	28.6'
DORCHESTER	2647**	36.5'	9.6'	18.8'
DORCHESTER	2663	35.2'	9.0'	22.0'
DORCHESTER	2681	37.4'	20.0'	31.4'
DORCHESTER	2711	34.2'	8.8'	21.6'
DORCHESTER	2735	33.3'	9.6'	21.7'

AREA COVERAGE

AREA OF LOT = 7016 S.F.
AREA OF HOUSE = 2103 S.F.
LOT COVERAGE = 30%
ARE OF DRIVE = 1496 S.F.
OPEN SPACE = 48.7%

ATTENTION BUILDERS/CONTRACTORS

1. THIS DRAWING IS NOT INTENDED TO REPRESENT A BOUNDARY OR LOT SURVEY, AND SHOULD NOT BE USED TO ESTABLISH PROPERTY LINES OR LOCATE IMPROVEMENTS.
2. U.L.C. ASSUMES NO RESPONSIBILITY FOR THE GIVEN BUILDING DIMENSIONS. DIMENSIONS MUST BE VERIFIED BY OWNER/BUILDER PRIOR TO CONSTRUCTION.
3. THIS PLAN SHALL NOT BE USED TO SET FOUNDATIONS. ARCHITECTURAL PLANS MUST BE USED FOR CONSTRUCTION OF FOUNDATION.
4. UPON ACCEPTANCE AND SUBMITTAL OF THIS PLAN FOR PERMITS, THE OWNER/BUILDER ACKNOWLEDGES HE HAS REVIEWED THE PLAN, AND THAT IT MEETS THE ESTABLISHED REQUIREMENTS.
5. APPROVAL OF THIS PLOT PLAN DOES NOT RELIEVE THE OWNER/BUILDER OF COMPLIANCE WITH ALL CODES AND ORDINANCES THAT SHALL APPLY.
6. SETBACKS SHOWN ON THIS DRAWING HAVE BEEN OBTAINED FROM THE MUNICIPALITY. ANY DEED OR SPECIAL RESTRICTIONS - (i.e. SUBDIVISION RESTRICTIONS, HOUSE SIZE, BUILDING LOCATION, ETC.) MUST BE SUPPLIED TO U.L.C. IN WRITING WHEN PLOT PLAN IS ORDERED. U.L.C. WILL NOT BE RESPONSIBLE FOR INTERPRETING SUBDIVISION RESTRICTIONS.
7. U.L.C. RECOMMENDS A 50' EXTRA ALLOWANCE TO ALL MINIMUM SETBACKS, WHERE THE OWNER / BUILDER DOES NOT FOLLOW THIS RECOMMENDATION. THE OWNER / BUILDER AGREES TO HOLD U.L.C. HARMLESS FOR STRUCTURE ENCROACHMENT (S) INTO THE MINIMUM SETBACK.
8. UTILITY LEAD LOCATIONS AS SHOWN ARE APPROXIMATE. AS-BUILT LOCATIONS MUST BE OBTAINED FROM THE LOCAL MUNICIPALITY.

URBAN LAND CONSULTANTS WILL SET HIGH GRADE/BRICKLEDGE CONTRACTOR TO USE GRADE SET ON SITE.

PLOT PLAN

LOT 42
PEMBROOK MANOR
PART OF THE S.E. 1/4 OF SECTION 30
T.2N., R.1E., CITY OF BIRMINGHAM,
OAKLAND COUNTY, MICHIGAN

BY: _____

ADDITIONS AND/OR REVISIONS
DATE
220226-9208
Job No.
Date 4-1-22
Scale 1" = 20'
Drawn AK
Check R. LINDH
Sheet 1 of 1
Fid. Bk.
7-8-22
COMPLETED PLOT PLAN

BABI CONSTRUCTION

DEREK BABI
P.O. BOX 974
BIRMINGHAM, MICHIGAN 48012
248-506-6927

PHONE 586 731-8030

URBAN LAND CONSULTANTS
CIVIL ENGINEERS
PLANNERS
8800 23 MILE ROAD
SHELBY TWP., MI 48316-4516



Contractor Note:
The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. He agrees to be fully responsible for any and all damages which might be occasioned by his failure to exactly locate and preserve any and all underground utilities.

GENERAL STRUCTURAL NOTES:

(REFER ONLY TO NOTES APPLICABLE TO THE PROJECT)

DESIGN CRITERIA:

- BUILDING CODES USED FOR DESIGN:
2015 MICHIGAN RESIDENTIAL CODE (MRC)
- FLOOR LIVE AND DEAD LOADS:
40 psf LIVE
15 psf DEAD FOR WOOD LINOLEUM AND CARPET FLOORING
75 psf DEAD FOR THIN SET CERAMIC FLOORING
35 psf DEAD FOR MARBLE / GRANITE FLOORING
- MINIMUM DEFLECTION CRITERIA:
L/240 LIVE AND L/180 TOTAL FOR ROOF COMPONENTS
L/100 LIVE AND L/360 TOTAL FOR FLOOR COMPONENTS WITH RIGID FLOORING (eg. TILE/ MARBLE)
L/480 LIVE AND L/360 TOTAL FOR FLOOR COMPONENTS WITH FLEXIBLE FLOORING (eg. CARPET)
- ROOF LIVE AND SNOW LOADS:
FLAT-ROOF SNOW LOAD
FLAT ROOF DEAD
Pg + 25 psf
15 psf
- WIND LOADS:
ULTIMATE WIND SPEED
WIND IMPORTANCE FACTOR
BUILDING CATEGORY
WIND EXPOSURE
15 MPH
I
II
B
- DESIGN STRENGTHS:
CONCRETE:
CLASS STRENGTH AT 28 DAYS (PSI) LOCATION
A 3000 INTERIOR SLABS
B 3500 FOOTINGS & FOUNDATION WALLS
C 3000 AIR-ENTRAINED EXTERIOR SLABS & WALLS
CONCRETE REINFORCEMENT:
WELDED WIRE FABRIC:
ASTM A616/A617-02B (Fy = 60 KSI)
ASTM A618-01
STRUCTURAL STEEL:
ANCHOR RODS:
ASTM A307-02
ALTERNATIVELY - F554-99 GR 36 MAY BE USED
MASONRY:
NORMAL WEIGHT
Fm = 1500 PSI

FOUNDATIONS AND EARTHWORK:

- WATER SHALL NOT BE PERMITTED TO ACCUMULATE IN FOOTING EXCAVATIONS.
- PROVIDE A MINIMUM OF 6 INCHES OF GRANULAR FILL BELOW ALL INTERIOR SLABS-ON-GRADE.
- PROVIDE GRANULAR BACKFILL FOR BASEMENT WALLS. ALL BACKFILL SHALL BE WELL DRAINED.
- THE FOUNDATION DESIGN IS BASED ON A SOIL BEARING PRESSURE OF: 1500 PSF. OTHERS SHALL DETERMINE THE ACTUAL BEARING VALUE OF THE SOIL.
- ALL FOOTING EXCAVATIONS SHALL BE INSPECTED, PRIOR TO CONCRETE PLACEMENT.
- WHERE COMPACTION OF FILL IS SPECIFIED, COMPACTION OF FILL MATERIAL SHALL BE A MINIMUM 95% OF MAXIMUM DRY DENSITY.
- BOTTOM OF EXTERIOR BUILDING FOOTINGS ARE TO BE AT LEAST 42 INCHES BELOW FINAL OUTSIDE GRADE REGARDLESS OF ELEVATION SHOWN ON PLAN.
- ALL CONTINUOUS FOOTINGS SHALL BE CENTERED UNDER WALLS AND ALL PIERS AND SPREAD FOOTINGS SHALL BE CENTERED UNDER COLUMNS OR PIERS UNLESS NOTED OTHERWISE.
- NO SLABS OR FOUNDATIONS SHALL BE PLACED INTO OR ADJACENT TO SUBGRADE CONTAINING WATER, ICE, FROST OR ORGANIC MATERIAL.
- WHERE FOUNDATION WALLS ARE TO HAVE SOIL PLACED ON BOTH SIDES, PLACE SOIL SIMULTANEOUSLY SO AS TO MAINTAIN A COMMON ELEVATION ON EACH SIDE OF THE WALL.
- BASEMENT WALLS ARE DESIGNED TO BE LATEROALLY RESTRAINED BY CONCRETE FLOOR. PROVIDE TEMPORARY SUPPORT TO BASE OF BASEMENT WALL. IF WALL IS BACKFILLED PRIOR TO PLACEMENT OF BASEMENT CONCRETE FLOOR, DO NOT BACKFILL MORE THAN 4'-0" FROM THE FOOTING PRIOR TO PLACING THE BASEMENT CONCRETE FLOOR.

CONCRETE:

- THE REINFORCING STEEL CONTRACTOR SHALL FABRICATE ALL REINFORCEMENT AND FURNISH ALL ACCESSORIES, CHAIRS, SPACER BARS AND SUPPORTS NECESSARY TO SECURE THE REINFORCEMENT UNLESS SHOWN OTHERWISE ON THE PLANS AND/OR DETAILS.
- REINFORCING STEEL SHALL BE ASTM A616 (GRADE 60).
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A655.
- CONCRETE REINFORCEMENT SHALL BE PLACED ACCORDING TO THE CRSI RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS.
- CONCRETE COVERAGE FOR REINFORCEMENT, UNO. ON DRAWING:
FOOTINGS 3"
SLAB ON GRADE 2" CENTER OF SLAB
WALLS EXPOSED TO EARTH 1 1/2"
COLUMN TIE 1 1/2"
- COMPRESSION LAP SPICES FOR GRADE 60 BARS SHALL BE 30 BAR DIAMETER MINIMUM.
- TENSION LAP SPICES SHALL BE AS DETAILED. USE CLASS 'B' SPICES UNO.
- ALL WELDED WIRE FABRIC LAPS SHALL BE 8" AT ENDS AND SIDES.
- BAR LENGTHS SHOWN DO NOT INCLUDE HOOKS OR BENDS.
- CONCRETE AT THE TIME OF PLACEMENT SHALL HAVE A SLUMP OF 4" ± 1" UNLESS A SUPER-PLASTICIZING AGENT IS USED.
- ALL OPENINGS IN CONCRETE WALLS SHALL HAVE (2) 5 BARS PLACED AROUND ALL OPENINGS. EXTEND BARS 2'-0" BEYOND EACH FACE OF OPENING. PLACE (2) 5 x 4'-0" LONG BARS DIAGONALLY AT EACH CORNER.

MASONRY:

- GROUT FOR VERTICALLY REINFORCED MASONRY WALLS AND BOND BEAMS SHALL CONSIST OF: 1 PART CEMENT, 2 1/2 PARTS FINE AGGREGATE, 2 PARTS FEA GRAVEL, FC + 3000 PSI AT 28 DAYS, GROUT SHALL BE 10". GROUT SOLID ALL CELLS CONTAINING REINFORCING.
- MASONRY WALLS SHALL HAVE HORIZONTAL REINFORCING CONSISTING OF GALVANIZED STANDARD WEIGHT 3 GAUGE DUR-O-WALL D/A 3/32 TRUSS TYPE OR EQUAL REINFORCING LOCATED AT EVERY OTHER COURSE UNO.
- PLACE FULL HEIGHT VERTICAL BAR AT EACH CORNER WALL END AND AT EACH SIDE OF EACH OPENING AND CONTROL JOINT (MIN) IN REINFORCED WALLS. BAR SIZE TO MATCH SIZE OF WALL REINFORCING.
- LAP ALL VERTICAL REINFORCING SPICES 48 BAR DIAMETERS; 24" FOR 4 BARS, 30" FOR 5 BARS AND 36" FOR 6 BARS.
- ANCHOR BEAMS AND LINTELS TO WALL.
- MASONRY WALLS SHALL BE LAID UP AND GROUTED IN 4 FOOT LIFTS (LOW LIFT GROUTING PROCEDURE PER ACI 530). IF CLEANOUTS ARE PROVIDED AT EACH GROUTED CORE WALLS MAY BE GROUTED IN 8 FOOT LIFTS FOLLOWING THE HIGH-LIFT GROUTING PROCEDURE PER ACI 530).
- THE PROCEDURES OF ACI 530) FOR COLD WEATHER CONSTRUCTION SHALL BE ADHERED TO WHENEVER THE AIR OUTSIDE TEMPERATURE IS BELOW 40 DEGREES F.

STRUCTURAL STEEL:

- YIELD STRESS AND TYPE OF STEEL:
FOR WIDE FLANGE SHAPES: ASTM A992 WITH YIELD STRESS OF 50,000 PSI.
FOR S SHAPES, CHANNELS, ANGLES, BARS, PLATES AND RODS: ASTM A36 WITH YIELD STRESS OF 36,000 PSI.
FOR RECTANGULAR AND SQUARE TUBULAR SHAPES: ASTM A500 WITH YIELD STRESS OF 46,000 PSI.
- BOLTS: USE CARBON OR ALLOY STEEL ASTM A325, 3/4" DIA. OR LARGER IF REQUIRED BY CONNECTION DESIGN. ANCHOR BOLTS SHALL BE WELDED STYLE ANCHOR HILTI Kwik Bolt 3. NUTS: CARBON STEEL MEETING ASTM A563 WASHERS: HARDENED STEEL WASHERS MEETING ASTM F436. ASTM A307 BOLTS MAY BE USED FOR WOOD TO WOOD CONNECTIONS AND STEEL LINTEL TO WOOD CONNECTIONS.
- ANCHOR RODS: ASTM F1954, GRADE 36.

MISCELLANEOUS:

- THE BUILDER OF THIS PLAN MAY USE A 3rd PARTY ENGINEER TO PROVIDE STRUCTURE, AND WILL HOLD HARMLESS AND INDEMNIFY ORIGINAL ENGINEER / ARCHITECTURAL DESIGNER FOR ANY LIABILITY FOR CHANGES MADE TO THE STRUCTURE.
- PREFABRICATED I-JOISTS OR METAL PLATED WOOD FLOOR TRUSSES SHALL BE DESIGNED TO SUPPORT THEIR OWN WEIGHT PLUS THE SUPERIMPOSED DEAD AND LIVE LOADS STATED IN THE GENERAL NOTES AND 2015 MICHIGAN RESIDENTIAL CODE. MANUFACTURER SPACING, BRIDGING, BLOCKING, AND DETAILING SHALL BE DESIGNED BY THE FLOOR SYSTEM PROVIDER SUCH THAT IT MEETS THE DESIGN CRITERIA IN SECTION 4. AS A MINIMUM, THE CONTRACTOR SHALL SUBMIT TO THE DESIGNER FOR REVIEW THE DESIGN LAYOUT AND COMPONENT CALCULATIONS BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MICHIGAN, PRIOR TO USE IN THE STRUCTURE.
- MIN LVL (MICROLAM) PROPERTIES SHALL BE: E = 2.9 x 10⁶ psi, Fv = 2,850 psi, Fv = 285 psi, Fv = 285 psi, WIDTH OF LVL IS 17 1/8".
- MIN PSB COLUMN PROPERTIES SHALL BE: E = 1.8 x 10⁶ psi, Fv = 2,400 psi TRUS JOIST PARALLEL OR EQUAL.
- WALLS SHALL BE BRACED ACCORDING TO 2015 MRC.
- TRUSSES SHALL BE BRACED IN ACCORDANCE WITH BCS1's (LATEST EDITION) 'GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING, RESTRAINING AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES'.
- ALL POINT LOADS SHALL BE CONTINUOUSLY BLOCKED THROUGHOUT THE STRUCTURE TO THE FOUNDATION OR SUPPORT BEAM.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- THE STRUCTURAL DESIGN IS BASED ON THE BUILDING IN ITS COMPLETED STATE. CONTRACTORS AND THEIR SUBCONTRACTORS SHALL TAKE NECESSARY PRECAUTIONS ARE NECESSARY TO WITHSTAND ALL HORIZONTAL AND VERTICAL LOADINGS THAT MAY BE ENCOUNTERED DURING THE CONSTRUCTION PRIOR TO COMPLETION OF THE BUILDING.
- DO NOT SCALE DRAWINGS.
- ALL 4 PLY OR MORE LVL'S SHALL BE BOLTED TOGETHER PER MANUFACTURER RECOMMENDATIONS.

GENERAL NOTES:

- DOUBLE EVERY JOIST UNDER CERAMIC TILE WHEN USING DIMENSIONAL LUMBER.
- ALL POURED CONCRETE WALLS TO BE BACKFILLED WITH SANDY TYPE SOIL AND BE WELL BRACED UNTIL CONCRETE IS THOROUGHLY CURED AND ADDITIONAL WEIGHT OF THE BUILDING IS IN PLACE.
- ALL POURED CONCRETE FOOTING TO BE A MINIMUM OF 3'-6" BELOW FINISHED GRADE BEARING ON UNDISTURBED VIRGIN SOIL WITH A MINIMUM BEARING CAPACITY OF 2500 P.S.F. MUST BE VERIFIED BY SOILS ENGINEER IN THE FIELD FOR FOOTING INSPECTION.
- UNEXCAVATED GARAGE SLAB SHALL COMPLY W/ TABLE R402.2 4" CONCRETE SLAB MIN. 3500 MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE ON 4" MIN WELL COMPACTED SAND BASE.
- ALL POURED CONCRETE WALLS WITH A BRICK LEDGE GREATER THAN 4'-0" SHALL BE REINFORCED VERTICALLY WITH 5 BARS 32" O.C. AND HORIZONTALLY WITH ONE (1) M BAR 8" 12" FROM TOP AND 8" THE THIRD-POINT OF THE WALL UNLESS NOTED OTHERWISE ON DRAWINGS.
- TYPICALLY ALL PINS IN POURED CONCRETE FOUNDATION WALLS MUST BE REMOVED AND FILLED WITH FOUNDATION COATING PRIOR TO BACK FILL INSPECTION.
- PROVIDE 4" PERFE DRAIN TILE CONT. AT BASEMENT FIG. 12' (MIN) PEASTONE WITH 2" BELOW DRAIN TILE. CONNECT TO SUMP AND STORY SEWER AS REQUIRED.
- BUILDER AND SUB BRICK CONTRACTORS TO PROVIDE WEEP HOLES RESTING ON THE FLASHING SPACED 32" O.C. MAX (24" PREFERRED) AT HEAD DETAILS OF WINDOWS, DOORS, BASEMENT WINDOWS AND GARAGE DOORS. ALSO PROVIDE FLASHING TO FACE OF BRICK W/ MIN 8" VERTICAL LEG AND FORM END DRAINS (LAP UNDER AIR/MOISTURE BARRIER). MICHIGAN RESIDENTIAL CODE 2015 SEC. 103.15 - 103.8. A PRE-BRICK INSPECTION WILL BE REQD PRIOR TO BRICK INSTALLATION FOR FLASHING INSPECTION.
- ALL ENGINEERED WOOD FLOOR TRUSSES TO BE 2" DENSE KD. WITH 2" BY 6" CONTINUOUS RIBBON BRACING ON BOTTOM CORD 8'-0" O.C. (MINIMUM 2 PER SPAN) WELL NAILED TO TRUSSES. PROVIDE DRAFTSTOPPING.
- ALL MICRO-LAM BEAMS TO BE JOINED TOGETHER PER MANUFACTURER'S SPECIFICATIONS.
- ALL FLOOR JOISTS TO BE 2" OR BETTER HEM FIR WITH 1' X 3" CROSS BRIDGING 8'-0" O.C. (UNO.)
- PROVIDE 15 POUND FELT AT UNTREATED EXPOSED LUMBER.
- PROVIDE 2x6 WOLMANIZED PRESSURE TREATED GILL PLATE ON GILL SEALER WITH 1/2" ANCHOR BOLTS 6" ± 0" O.C. AND LOCATED NOT MORE THAN 12" INCHES AND NOT LESS THAN 3 1/4" INCHES FROM ENDS OF EACH PLATE SECTION. EXCEPT WHERE USE ANCHOR STRAPS, SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2" ANCHOR BOLTS.
- PROVIDE METAL FLASHING, COUNTER FLASHING AND STEPPED FLASHING WHERE NOTED AND AT ALL PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL ASSEMBLIES. EXTERIOR WALL INTERSECTIONS WITH ROOF, CHIMNEYS, PORCHES, DECKS, BALCONIES AND SIMILAR PROJECTIONS.
- PROVIDE APPROVED SEALANT WHERE REQUIRED AND AS DETAILED BY MFG.
- DO NOT DRILL KITCHEN CORD DOUBLERS.
- PROVIDE A 1" MIN. SOLID CORE FIRE-RATED DOOR BETWEEN GARAGE AND RESIDENCE MIN. 20 MINUTE FIRE-RATED R302.5).
- ALL WINDOW NUMBERS REFER TO GENERIC WINDOW SIZES. VERIFY SIZES WITH WINDOW MANUFACTURER USED. ALL SIZES AND SHAPES TO MATCH DIMENSIONALLY.
- ALL BEDROOM WINDOWS TO MEET 2015 MICHIGAN RESIDENTIAL EGRESS CODES. ALL WINDOW SILLS 12" ABOVE FINISH GRADE. SHALL HAVE THE BOTTOM OF THE OPENING LOCATED A MIN. OF 24" ABOVE FINISH FLOOR OF THE ROOM PER MRC 2015 SEC. R6.12.
- AREAS THAT REQUIRE TEMPERED GLASS:
A. FIXED AND SLIDING PANELS OF SLIDING TYPE DOORS.
B. SHOWER AND BATHTUB DOORS AND ENCLOSURES (IF APPLICABLE).
C. PANELS WITH A GLAZED AREA IN EXCESS OF 9 SQ. FT. WITH LOWEST EDGE LESS THAN 18 INCHES ABOVE THE FINISHED FLOOR LEVEL.
D. ALL OTHER AREAS AS CODE REQUIRES PER 2015 MICHIGAN RESIDENTIAL CODE.
- WHERE HANDRAILS ARE SHOWN, HANDRAIL HEIGHT IS TO BE NOT LESS THAN 34" AFF. AND MORE THAN 38" AFF. PER R311.1.1. GUARD RAIL IS TO BE NOT LESS THAN 36" AFF. PER R312.
- PROVIDE HANDRAIL ON AT LEAST (1) SIDE OF EVERY STAIRWAY PER SECTION R311.1 OF THE (MRC-2015) 2015 MICHIGAN RESIDENTIAL CODE. HANDRAIL GRIP TO COMPLY WITH 2015 MICHIGAN RESIDENTIAL CODE SECTION R311.1.3 HANDRAIL SHALL BE CONTINUOUS. WHERE ADJACENT TO WALLS SHALL HAVE A SPACE OF MIN 1/2" BETWEEN WALLS AND THE HANDRAIL. PER R311.1.2
- ALL STAIRWAYS SHALL BE ILLUMINATED WITH MIN. (1) FOOT CANDLE OF LIGHT.
- 6'-8" CLEAR HEADROOM REQUIRED ON ALL STAIRS.
- PROVIDE A BATH FAN WHERE SHOWN ON PLAN AND VENT FAN TO EXTERIOR AS REQUIRED. VENT MECHANICAL EXHAUST DIRECTLY OUTSIDE PER R302.3. (MRC-2015)
- TYPICAL ALL HABITABLE ROOMS TO HAVE PROPER LIGHT, VENTILATION AND COMPLY WITH 2015 MICHIGAN RESIDENTIAL CODES.
- PROVIDE ELECTRICAL SMOKE DETECTORS IN ALL SLEEPING AREAS, HALLWAYS, AND MECHANICAL ROOMS ON ALL FLOOR LEVELS INCLUDING THE BASEMENT. SMOKE DETECTORS SHALL BE WIRED TOGETHER SO AS WHEN ONE SOUNDS THEY ALL SOUND AND HAVE BATTERY BACKUP PER SEC. R314 OF 2015 MICHIGAN RESIDENTIAL CODE.
- FIRESTOP ALL DROPS AND CHASES, ELECTRICAL, PLUMBING AND HVAC.
- VERIFY ELECTRICAL SERVICE IN ACCOMMODATING ALL NEW WORK. VERIFY ALL PROPOSED ELECTRICAL OUTLETS, SWITCHES, DIMMERS, LIGHT LOCATION, ETC. INCLUDING CABLE AND PHONE FIRE-WIRING SECURITY. TAKE INTO CONSIDERATION ALL ELECTRICAL INSTALLATION WITH OWNER, AND COMPLY WITH 2015 MICHIGAN RESIDENTIAL ELECTRICAL CODES.
- WHERE APPLICABLE, VERIFY FIREPLACE OPTION WITH SUBDIVISION SPECS. AND WORK ORDER.
- VERIFY SIZE OF FIREPLACE UNIT WITH BUILDER/OWNER. CONTRACTOR TO VERIFY ROUGH OPENING SIZE OF SELECTED UNIT, WITH MANUF. SPECS. PRIOR TO BUILDING. CONSTRUCT CHIMNEY PER CHAPTER 10 OF THE 2015 MRC.
- PROVIDE 5/8" DRYWALL ON THE GARAGE SIDE OF WALLS COMMON TO RESIDENCE AND GARAGE. APPLY 5/8" TYPE 'X' DRYWALL TO GARAGE CEILING AREAS BELOW HABITABLE ROOMS PER MRC 2015 TABLE R302.6.
- LOWER LEVEL AREA CONSIDERED UNHABITABLE. ANY FUTURE ALTERATIONS TO MODIFY LOWER LEVEL TO A HABITABLE SPACE SHALL COMPLY STRICTLY TO THE 2015 MICHIGAN RESIDENTIAL CODE. EGRESS WINDOWS PROVIDED, AS REQUIRED, IN COMPLIANCE W/ MRC 2015 SEC. R310.1 - R310.5.
- CHIMNEY TERMINATION MUST PROJECT 2'-0" ABOVE ANY PART OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3'-0" ABOVE HIGHEST POINT WHERE CHIMNEY PASSES THROUGH THE ROOF.
- ROOF VENTILATION WHERE EAVE OR CORNICE VENTS ARE INSTALLED INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF A 1" INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATION OF THE VENTS.
- NOT USED.
- NOT USED.

- PROVIDE FIBER-CEMENT, FIBER-MAT REINFORCEMENT, GLASS MAT GYPSUM BACKERS OR FIBER REINFORCEMENT GYPSUM BACKERS AS BACKERS FOR TUB AND/OR SHOWER WALL TILES AND PANELS. BACKERS MUST COMPLY W/ ASTM C 1248, C 1315, C178 OR C 1778 AND BE INSTALLED PER MANUF. RECOMMENDATIONS. MRC 2015 SEC. R102.4.2.
- PROVIDE NON-ABSORBENT FINISH TO THE SURFACE OF ALL BATHING AREAS W/ WALL MOUNTED SHOWER HEADS, A MIN. OF 6'-0" ABOVE FINISH FLOOR PER MRC 2015 SEC. R301.2.
- PROVIDE 2-LAYER MINERAL COATED ROLLED ROOFING AT ALL EAVES TO 24" INSIDE BUILDING. 2-LAYERS MUST BE CEMENTED TOGETHER. VERIFY WITH BUILDING DEPARTMENT.
- PROVIDE ADEQUATE ROOF VENTILATION AND SOFFIT VENTILATION (MIN) AS REQUIRED. VERIFIED BY CALCULATION 1/50 OF AREA VENTILATION REQD PER SEC. R806.2.
- FASTENER SCHEDULE FOR STRUCTURAL MEMBERS TABLE R6-02.3 (1) WOOD STRUCTURAL PANELS, SUPERFLOOR ROOF AND WALL SHEATHING TO FRAMING AND PARTICLEBOARD WALL SHEATHING TO FRAMING BUILDING MATERIALS OF 15/16 - 1/2" USE 6d COMMON NAIL (SUPERFLOOR WALL) 6" FROM EDGES 12" INTERMEDIATE SUPPORTS AND USE 8d COMMON NAILS FOR ROOF 6" FROM EDGES 12" INTERMEDIATE.
- BUILDER /OWNER TO PROVIDE WATERPROOFING TO CODE SUBMIT INFORMATION ON APPROVED PRODUCTS.
- ROOF TRUSS FRAMING INDICATED ON DRAWINGS IS OUR ASSUMED LAYOUT. TRUSS MANUFACTURER SHOULD REVIEW THE DRAWING AND INDICATE TO ARCHITECT PRIOR TO FABRICATION ANY CHANGES IN BEARING CONDITIONS THAT WOULD REQUIRE RE-FRAMING OF OUR STRUCTURE TO ACCOMMODATE TRUSSES.
- THE ROOF TRUSS MANUFACTURER TO FURNISH SHOP DRAWING TO THE DESIGNER PRIOR TO FABRICATION OF THE TRUSSES.
- ROOF TRUSS DESIGNED BY TRUSS MANUFACTURER TO CONFORM TO ALL MINIMUM DESIGN LOAD REQUIREMENTS.
- BUILDER/TRUSS MFG. TO PROVIDE TRUSS DESIGN DRAWINGS IN COMPLIANCE WITH MRC 2015 AND SHALL INCLUDE AT MINIMUM, THE INFORMATION SPECIFIED BELOW:
1. SOLE OR DEPTH SPAN AND SPACING
2. LOCATION OF ALL JOINTS
3. REQUIRED BEARING WIDTHS
4. DESIGN LOADS AS APPLICABLE
4.1. TOP CHORD LIVE LOAD (INCLUDING SNOW LOADS)
4.2. TOP CHORD DEAD LOAD
4.3. BOTTOM CHORD LIVE LOAD
4.4. BOTTOM CHORD DEAD LOAD
4.5. CONCENTRATED LOADS AND THEIR POINTS OF APPLICATION
4.6. CONTROLLING WIND AND EARTH QUAKE LOADS
5. ADJUSTMENTS TO LUMBER AND JOINT CONNECTOR DESIGN VALUES FOR CONDITIONS OF USE
6. EACH REACTION FORCE AND DIRECTION
7. JOINT CONNECTOR TYPE AND DESCRIPTION E.G. SIZE (THICKNESS OR GAUGE) AND THE DIMENSIONED LOCATION OF EACH JOINT CONNECTOR EXCEPT WHERE SYMMETRICALLY LOCATED RELATIVE TO THE JOINT INTERACE
8. LUMBER SIZE, SPECIES AND GRADE FOR EACH MEMBER.

- CONNECTION REQUIREMENTS FOR:
9.1. TRUSS-TO-TRUSS GIRDER
9.2. TRUSS FLY TO FLY
9.3. FIELD SPICES
9.4. CALCULATED DEFLECTION RATIO AND/OR MAXIMUM DESCRIPTION FOR LIVE AND TOTAL LOAD.
11. MAXIMUM AXIAL COMPRESSION FORCES IN THE TRUSS MEMBERS TO ENABLE THE BUILDING DESIGNER TO DESIGN THE SIZE CONNECTIONS AND ANCHORAGE OF THE PERMANENT CONTINUOUS LATERAL BRACING. FORCES SHALL BE SHOWN ON THE TRUSS DRAWING OR ON THE SUPPLEMENTAL DOCUMENTS.
12. REQD PERMANENT TRUSS MEMBER BRACING, BRACE ROOF TRUSSES AS RECOMMENDED BY MANUFACTURER.

NOTE:

ALL CODES SHALL COMPLY WITH THE MICHIGAN BUILDING CODES, INTERNATIONAL BUILDING CODES WHERE APPLICABLE, 2015 MICHIGAN RESIDENTIAL CODE. THEY SHALL ALSO COMPLY WITH ANY JURISDICTION CODES IN THEIR RESPECTIVE COUNTY, CITY, VILLAGE, OR TOWNSHIP AND THEIR PROVISIONS AND ORDINANCES.

NOTE:

GENERAL NOTES INDICATED ABOVE ARE JUST A SMALL PORTION OF OUR STANDARD NOTES 4 THE 2015 MICHIGAN RESIDENTIAL CODE BUT THE CODE IS MUCH BROADER 4 SHOULD BE STRICTLY FOLLOWED BY BUILDERS, TRADES 4 CRAFTSMAN.

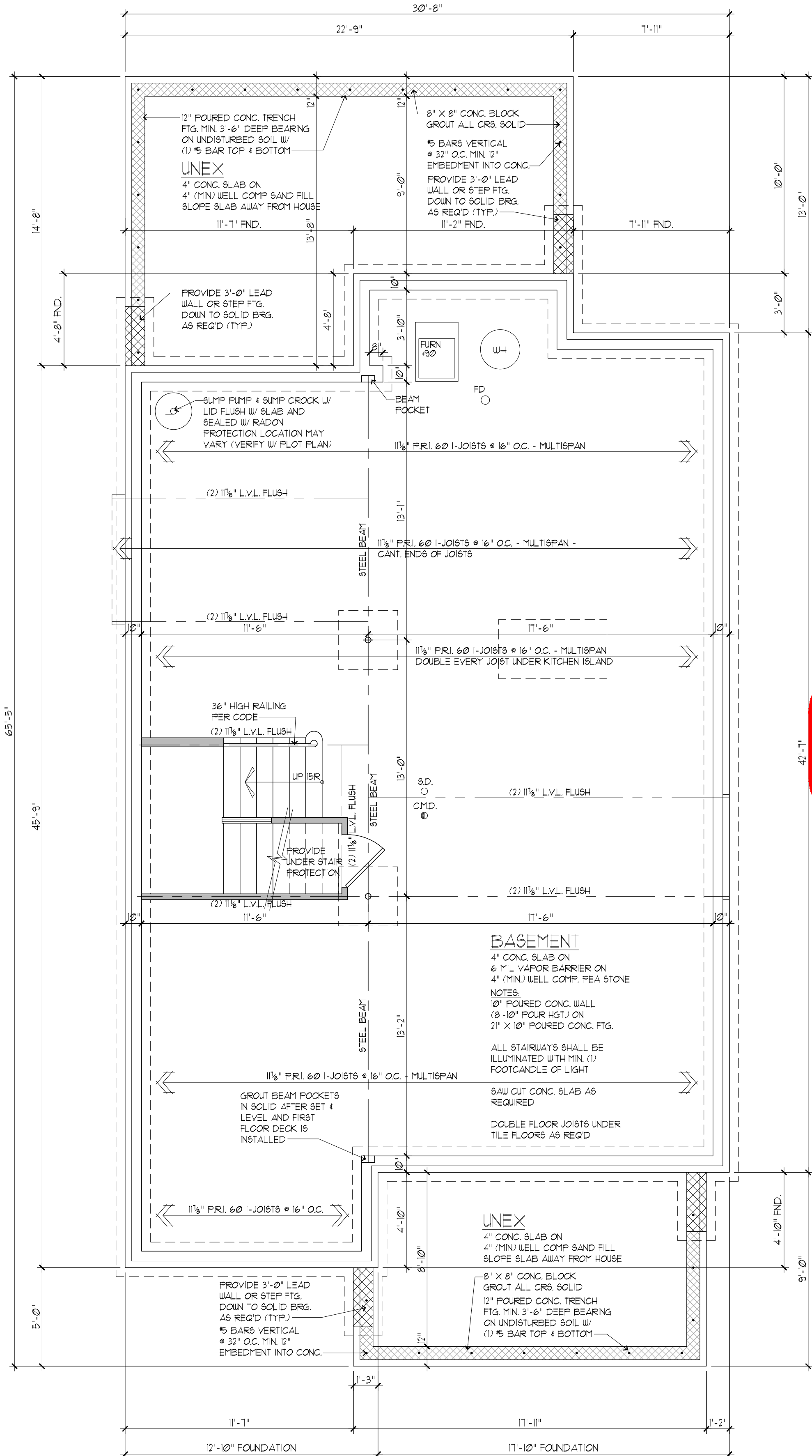
DO NOT SCALE DRAWING. USE PRINTED DIMENSIONS ONLY. IF ANY DISCREPANCY OCCURS, NOTIFY THE DESIGNER IMMEDIATELY FOR DIRECTION. BUILDER RESPONSIBLE TO HAVE REVIEWED ALL DRAWINGS AND IF ADDITIONAL CLARIFICATION OR INFORMATION IS NEEDED BUILDER IS TO CONTACT DESIGNER AND SALES COUNSELOR.

THESE CONSTRUCTION DOCUMENTS ARE A GRAPHIC REPRESENTATION FOR THE PROPOSED PROJECT. DIMENSIONS OF ROOMS, WINDOWS OR FIXTURES MAY VARY BETWEEN MANUFACTURERS AND INSTALLATION. BUILDER TO MAKE EVERY ATTEMPT TO MATCH DIMENSIONS AS DRAWN.

WINDOW DESIGNATIONS ARE APPROXIMATE. EXACT SIZES ARE PER THE MANUFACTURER'S SPECIFICATIONS.

ALLOWABLE SPANS FOR LINTELS SUPPORTING MASONRY VENEER				
TABLE R601.3.1 OF MRC 2015				
SIZE OF ANGLE IRON**	NO STORY ABOVE	ONE STORY ABOVE	TWO STORIES ABOVE	NO. OF 1" OR EQ. REIN. BARS*
3 X 3 X 1/4	6'-0"	4'-6"	3'-0"	1
4 X 3 X 1/4	8'-0"	6'-0"	4'-6"	1
5 X 3 1/2 X 5/8	10'-0"	8'-0"	6'-0"	2
6 X 3 1/2 X 5/8	14'-0"	9'-6"	7'-0"	2
(2) 6 X 3 1/2 X 5/8	20'-0"	12'-0"	9'-6"	4

- LONG LEG OF THE ANGLE SHALL BE PLACED IN A VERTICAL POSITION
- DEPTH OF REINFORCED LINTELS SHALL NOT BE LESS THAN 8 INCHES AND ALL CELLS OF HOLLOW MASONRY LINTELS SHALL BE GROUTED SOLID. REINFORCING BARS SHALL EXTEND NOT LESS THAN 8 INCHES INTO THE SUPPORT.
- STEEL MEMBERS INDICATED ARE ADEQUATE TYPICAL EXAMPLES. OTHER STEEL MEMBERS, MEETING STRUCTURAL DESIGN REQUIREMENTS MAY BE USED.



8.D. ○ BUILDER TO PROVIDE APPROVED SMOKE DETECTORS AS REQD ON ALL FLOORS (INTER-CONNECTED) WITH BATTERY BACK-UP

6.M.D. ○ CARBON MONOXIDE DETECTOR (PER CODE) TO COMPLY W/ UL#934 AND INSTALLED PER MANUF. SPECIFICATIONS

NOTE: ALL STAIRWAYS SHALL BE ILLUMINATED WITH MIN. (1) FOOTCANDLE

☒ INDICATES TYPICAL - (1) STUD BEARING (UNLESS OTHERWISE NOTED ON PLAN)

NOTE: BUILDER TO COORDINATE ALL ELECTRICAL UPGRADES (FANS, OUTLETS, SWITCHES, LIGHTING, ETC.) W/ SUBCONTRACTOR PRIOR TO CONSTRUCTION

NOTE: INTERIOR WALL DIMENSIONS ARE FROM STUD TO STUD. EXTERIOR WALLS INCLUDE SHEATHING

NOTE: MINIMUM THREE STUD SPACING AT ALL DOOR JAMBS - CARPENTER TO VERIFY CASING SIZE WITH BUILDER

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BABI CONSTRUCTION

2663 DORCHESTER
BIRMINGHAM, MI

Review Set: 06.02.22

Permit Set: .

Revisions: .

Final Set: .

Drawn By: C.T.

Checked By: D.D.

Job No:

22-217

Sheet No:

1 OF 7

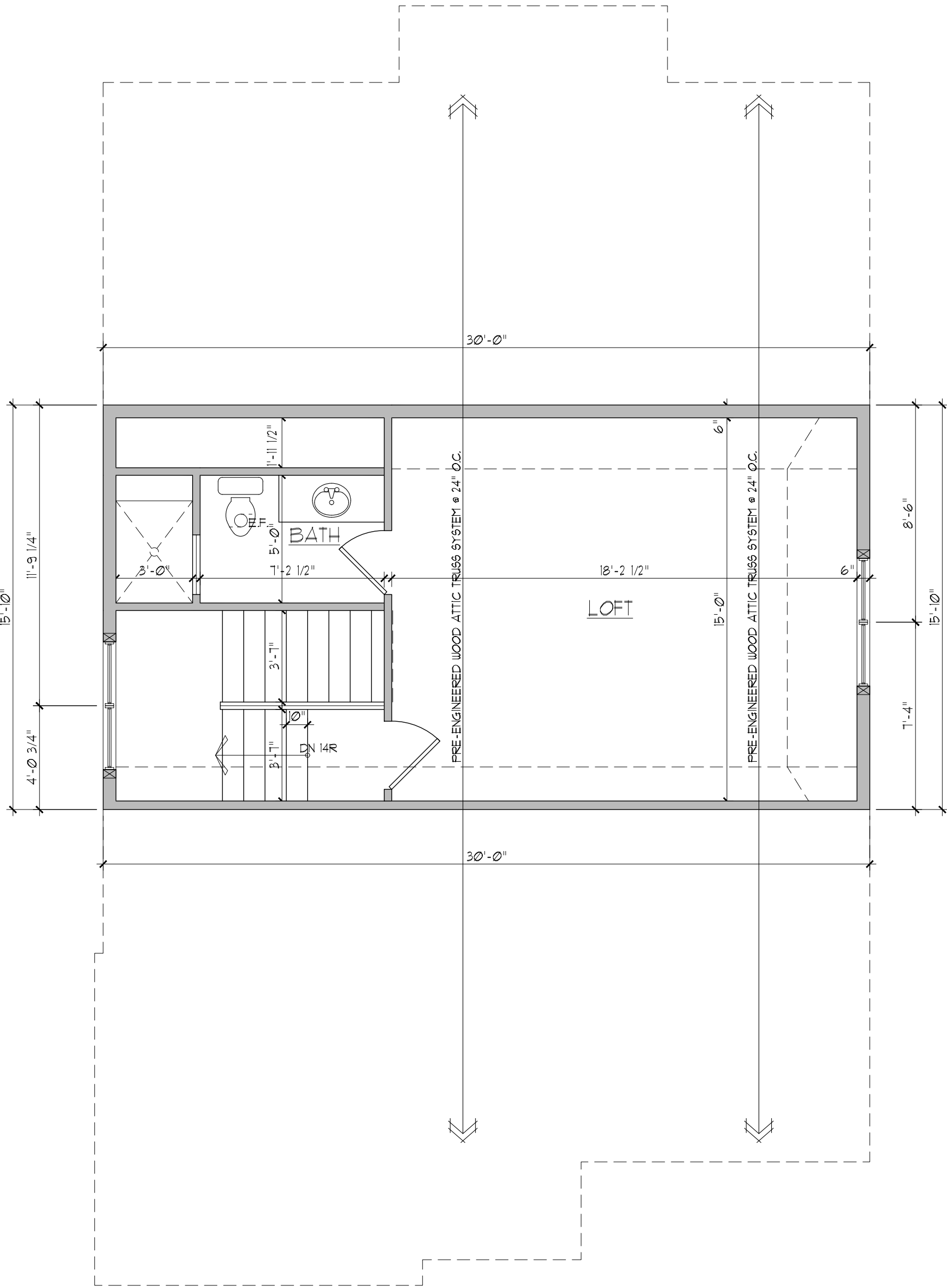
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

2015 ENERGY EFFICIENCY TABLE									
TABLE N100.1 - INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT									
CLIMATE ZONE	FENESTRATION U-FACTOR*	SKYLIGHT* U-FACTOR	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE*	FLOOR R-VALUE	BASEMENT WALL* R-VALUE † DEPTH	SLAB* R-VALUE † DEPTH	CRAWL SPACE* WALL R-VALUE
5A	0.32	0.55	38	20 OR 13-6"	13/11	30"	10/13	10, 2 FT.	15/15
6A	0.32	0.55	49	20 OR 13-6"	15/20	30"	15/15	10, 4 FT.	15/15
7	0.32	0.55	49	20 OR 13-6"	15/21	38"	15/15	10, 4 FT.	15/15

- a. R-VALUES ARE MINIMUMS. U-FACTORS ARE MAXIMUMS. WHEN INSULATION IS INSTALLED IN A CAVITY WHICH IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION, THE INSTALLED R-VALUE OF THE INSULATION SHALL NOT BE LESS THAN THE R-VALUES SPECIFIED IN THE TABLE.
- b. THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLITES.
- c. "15/15" MEANS R-15 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-15 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL. "15/15" MAY BE MET WITH R-15 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME. "10/13" MEANS R-10 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.
- d. R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS.
- e. OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-19 MINIMUM.
- f. FIRST VALUE IS CAVITY INSULATION SECOND IS CONTINUOUS INSULATION OR INSULATED SIDING, SO "15-6" MEANS R-15 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION OR INSULATED SIDING. IF STRUCTURAL SHEATHING COVERS 40% OR LESS OF THE EXTERIOR, CONTINUOUS INSULATION R-VALUE MAY BE REDUCED BY NO MORE THAN R-3 IN THE LOCATIONS WHERE STRUCTURAL SHEATHING IS USED - TO MAINTAIN A CONSISTENT TOTAL SHEATHING THICKNESS.
- g. THE SECOND R-VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.

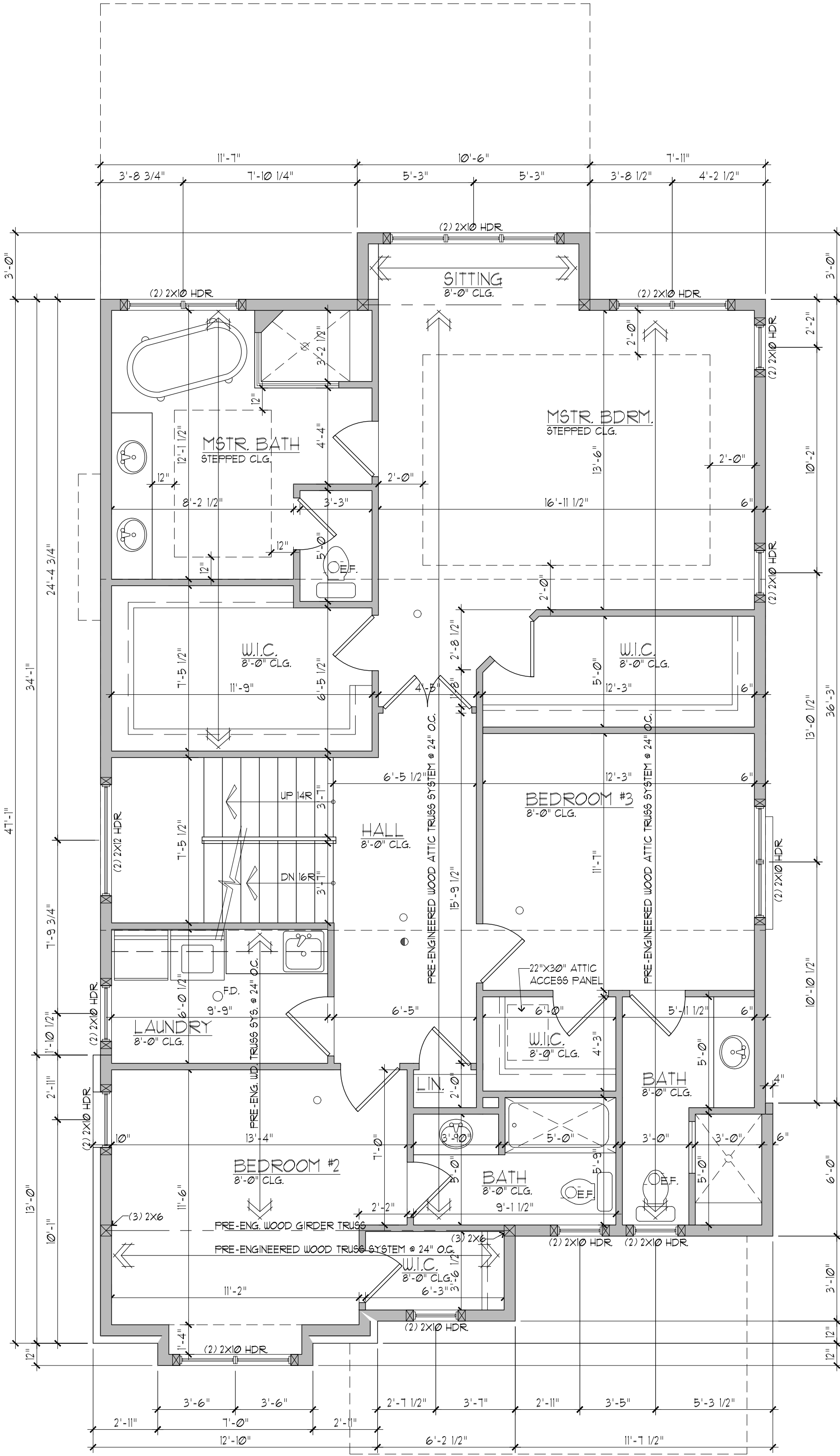
R40830541d



THIRD FLOOR PLAN

375 SQ FT

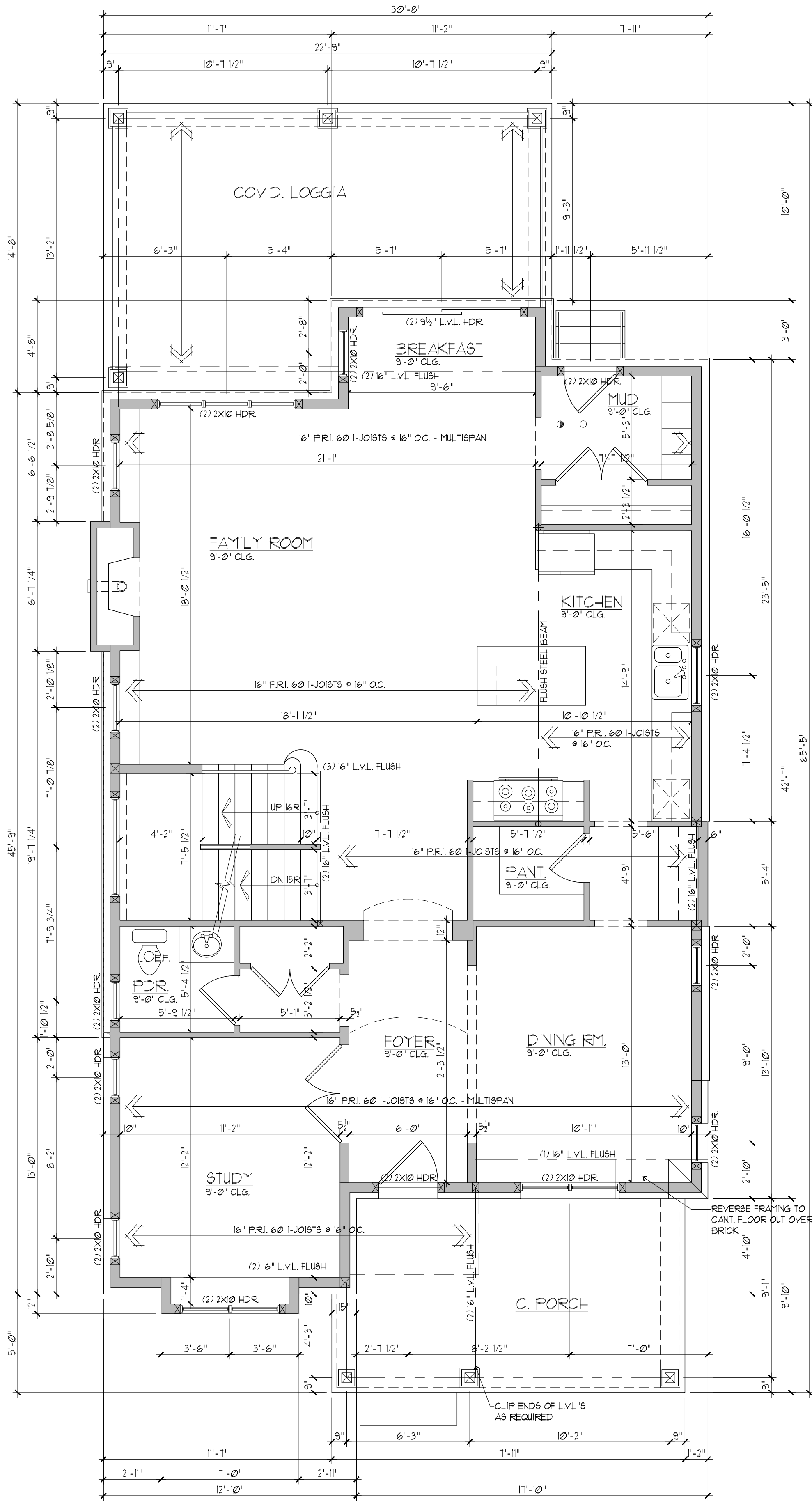
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

1381 SQ FT (FIRST)
1311 SQ FT (SECOND)
2693 TOTAL SQ FT
+ 375 SQ FT. (LOFT)

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

1381 SQ FT (FIRST)
1311 SQ FT (SECOND)
2693 TOTAL SQ FT
+ 375 SQ FT. (LOFT)

SCALE: 1/4" = 1'-0"

SD.
O. BUILDER TO PROVIDE APPROVED SMOKE DETECTORS AS REQ'D ON ALL FLOORS (INTER-CONNECTED) WITH BATTERY BACK-UP

CHD.
E. CARBON MONOXIDE DETECTOR (PER CODE) TO COMPLY W/UL934 AND INSTALLED PER MANUF. SPECIFICATIONS

NOTE: ALL STAIRWAYS SHALL BE ILLUMINATED WITH MIN. (1) FOOTCANDLE

X INDICATES TYPICAL - (2) STUD BEARING (UNLESS OTHERWISE NOTED ON PLAN)

NOTE: BUILDER TO COORDINATE ALL ELECTRICAL UPGRADES (FANS, OUTLETS, SWITCHES, LIGHTING, ETC.) W/ HOMEOWNER PRIOR TO CONSTRUCTION

NOTE: INTERIOR WALL DIMENSIONS ARE FROM STUD TO STUD. EXTERIOR WALLS INCLUDE SHEATHING

NOTE: MINIMUM THREE STUD SPACING AT ALL DOOR JAMBS - CARPENTER TO VERIFY CASING SIZE WITH BUILDER

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22-217

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2 OF 7



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

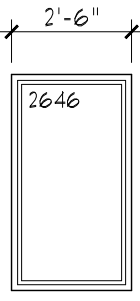
NOTE: ANY WINDOWS WITH BOTTOM SILL LOWER THAN 24" FROM FINISH FLOOR AND EXCEEDING 12" FROM FINAL GRADE MUST BE NON-EGRESS AND OR NON-OPERABLE.

TYPICAL WINDOW DESIGNATION

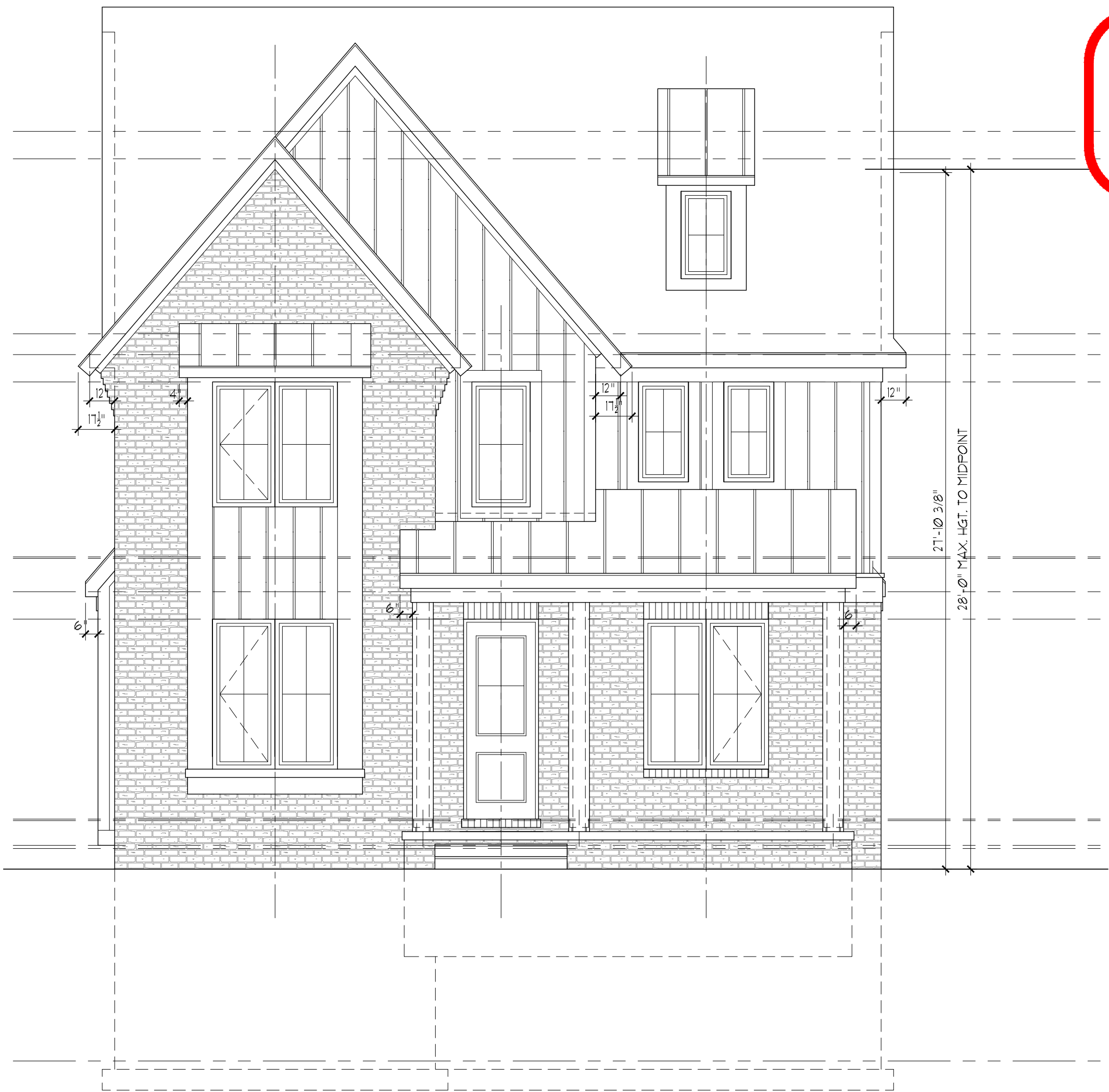
NOTE: WINDOW SIZES AS NOTED ON DRAWINGS INDICATE ROUGH OPENING SIZES AND ARE FOR GENERAL REFERENCE ONLY.

CONSULT WITH WINDOW MANUFACTURER FOR EXACT SPECIFICATIONS.

SH — SINGLE HUNG WINDOW
DH — DOUBLE HUNG WINDOW
SL — SLIDING WINDOW
C — CASSEMENT WINDOW
FIG — FIXED INSULATED GLASS



NOTE:
ALL TRIM TO BE PACKED OUT
W/ 1 1/8" OSB SHEATHING



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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Job No:
22-217

Sheet No:
3 OF 7



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

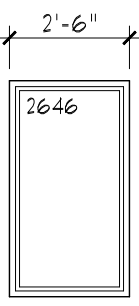
NOTE: ANY WINDOWS WITH BOTTOM SILL LOWER THAN 2'-4" FROM FINISH FLOOR AND EXCEEDING 1' FROM FINAL GRADE MUST BE NON-EGRESS AND OR NON-OPERABLE.

TYPICAL WINDOW DESIGNATION

NOTE: WINDOW SIZES AS NOTED ON DRAWINGS INDICATE ROUGH OPENING SIZES AND ARE FOR GENERAL REFERENCE ONLY.

CONSULT WITH WINDOW MANUFACTURER FOR EXACT SPECIFICATIONS.

S.H. = SINGLE HUNG WINDOW
D.H. = DOUBLE HUNG WINDOW
S. = SLIDING WINDOW
C. = CASEMENT WINDOW
F.I.G. = FIXED INSULATED GLASS



NOTE:
ALL TRIM TO BE PACKED OUT
W/ 1/8" OSB SHEATHING

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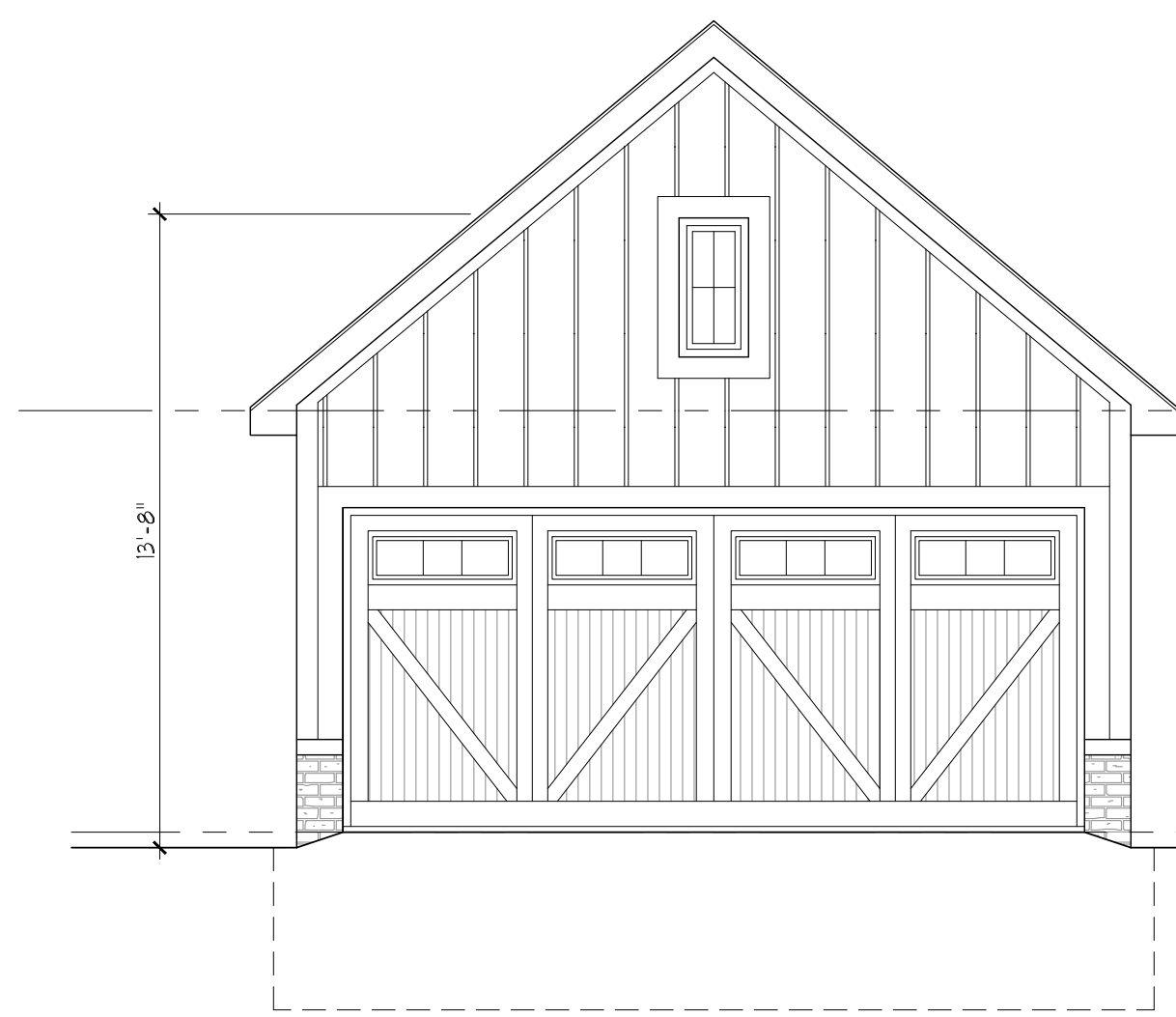
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4 OF 7



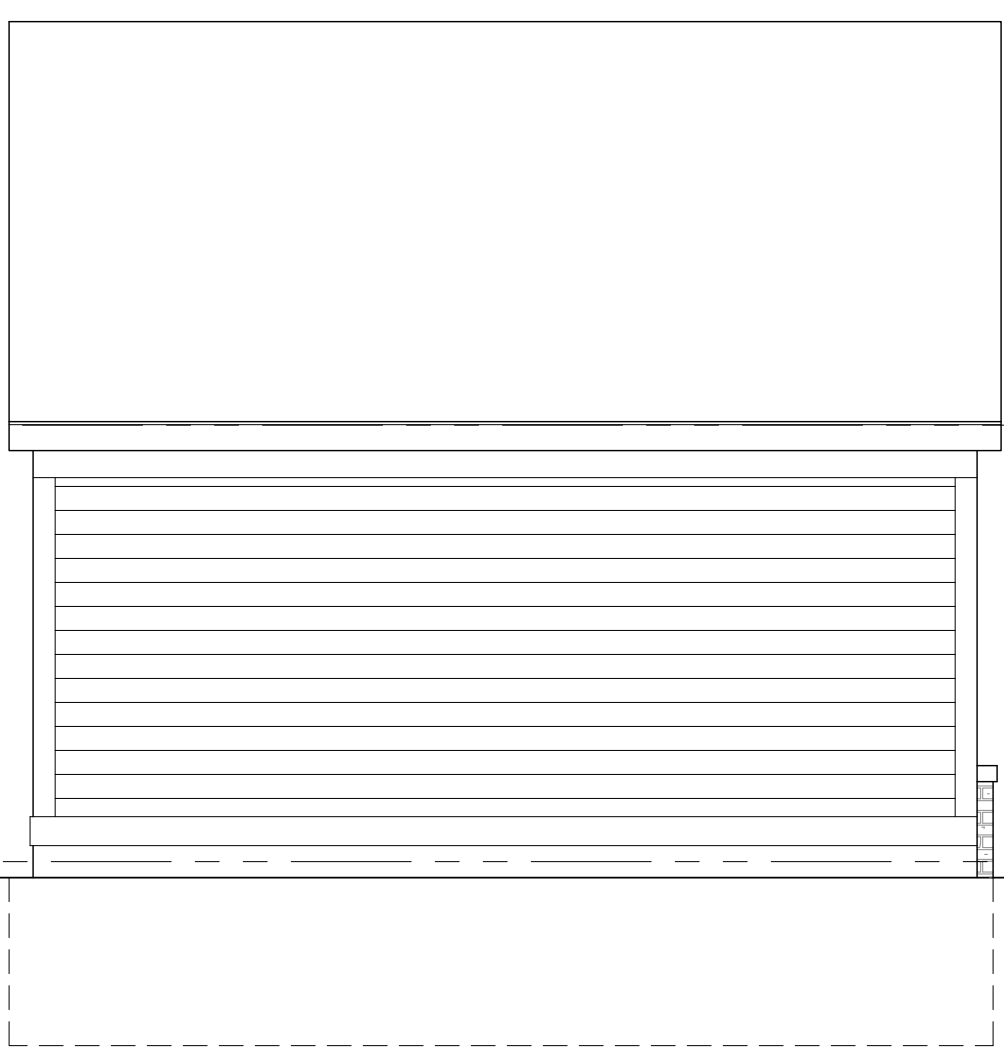
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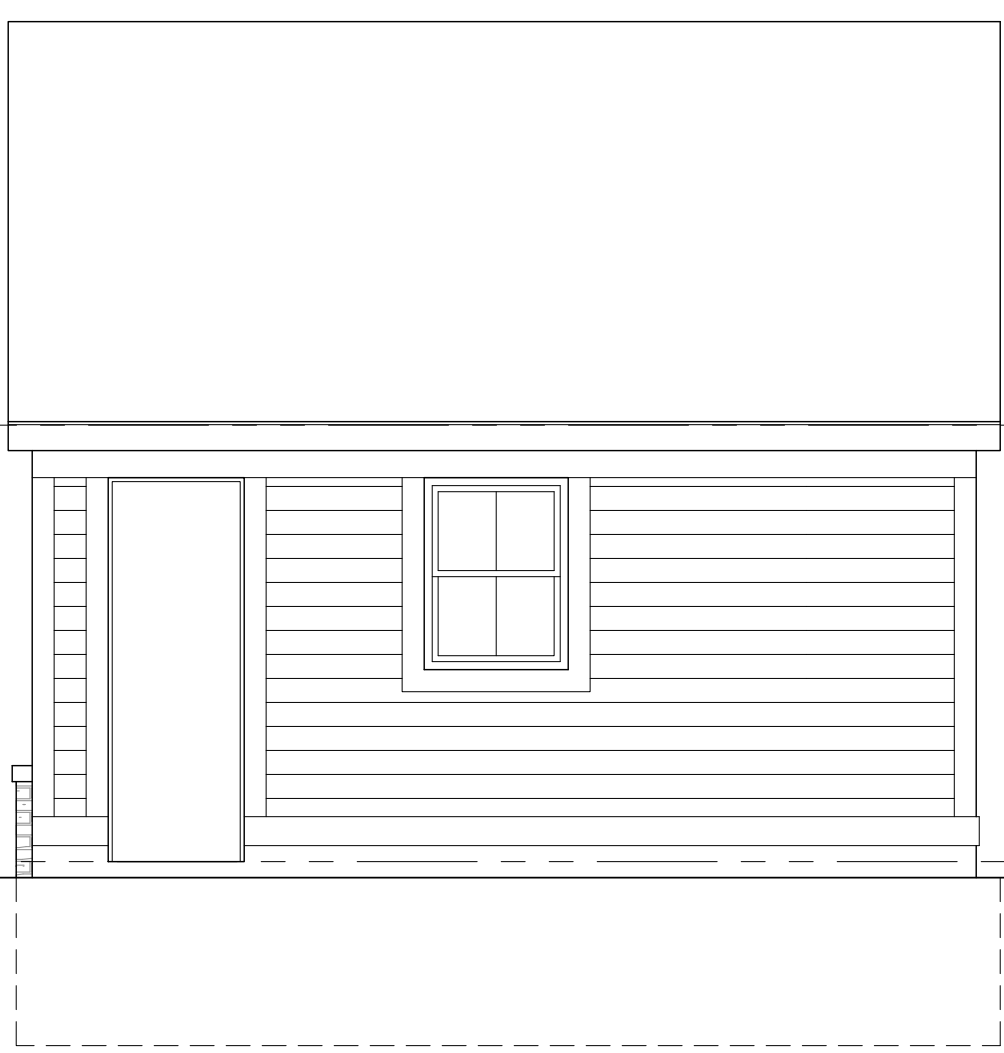
GARAGE FRONT ELEVATION

SCALE: 1/4" = 1'-0"



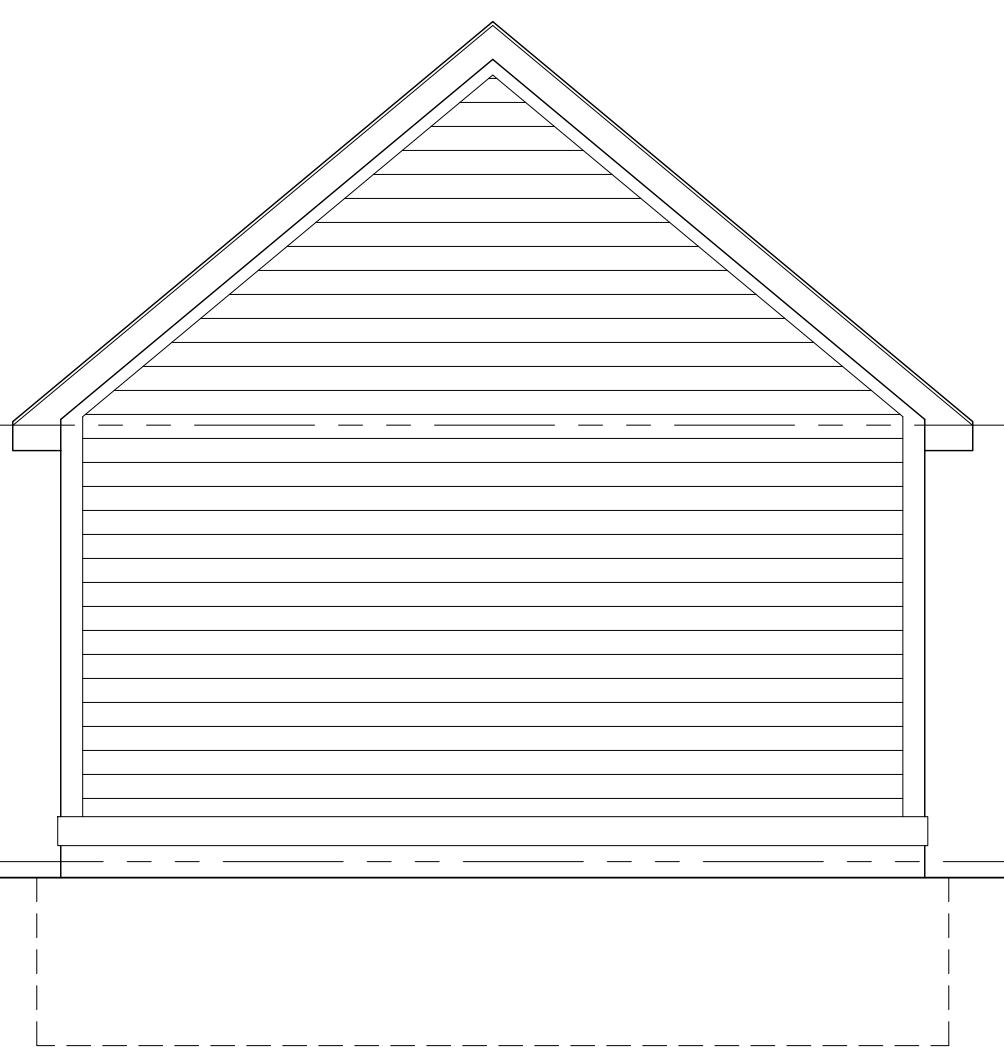
GARAGE LEFT ELEVATION

SCALE: 1/4" = 1'-0"



GARAGE RIGHT ELEVATION

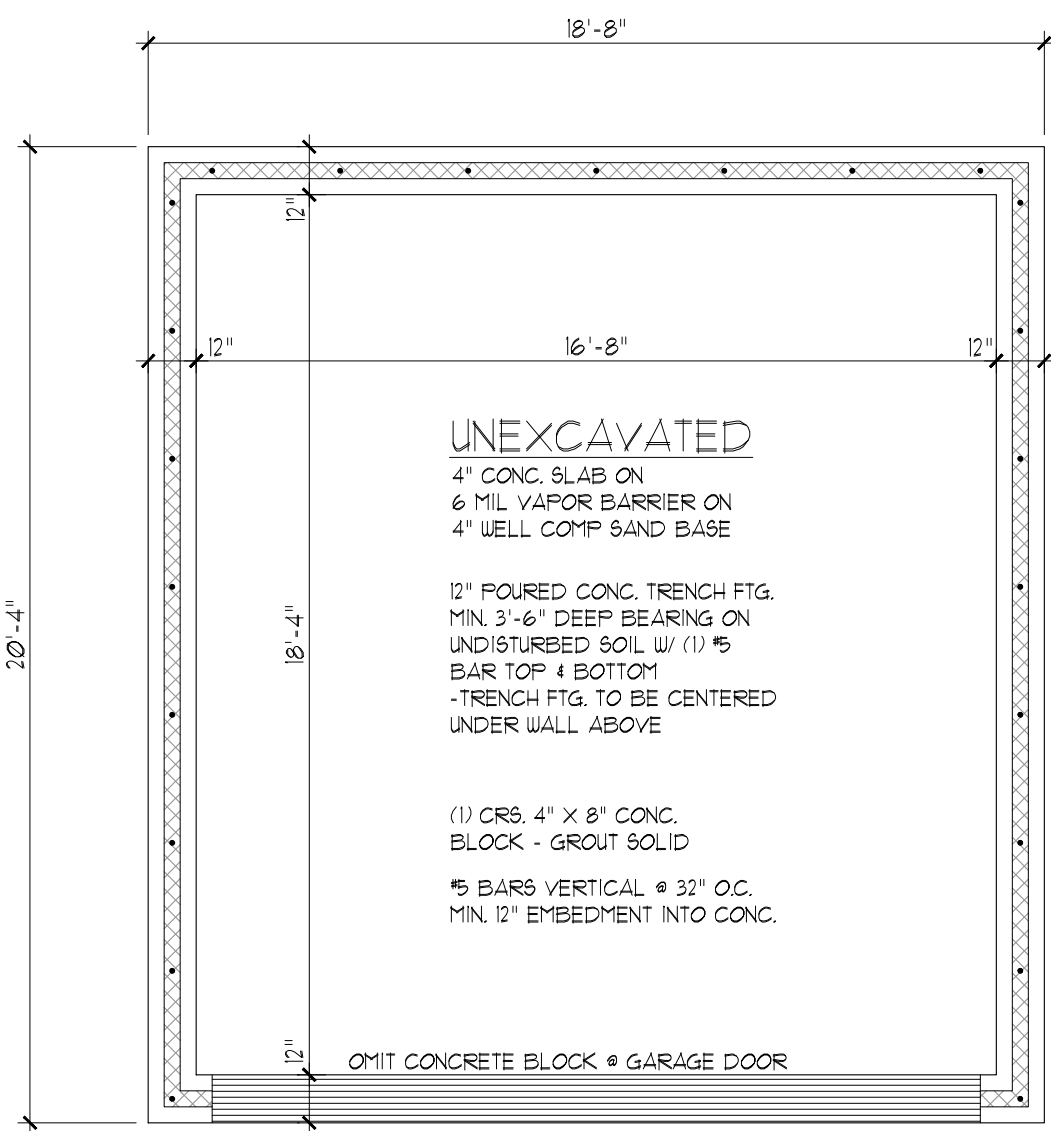
SCALE: 1/4" = 1'-0"



GARAGE REAR ELEVATION

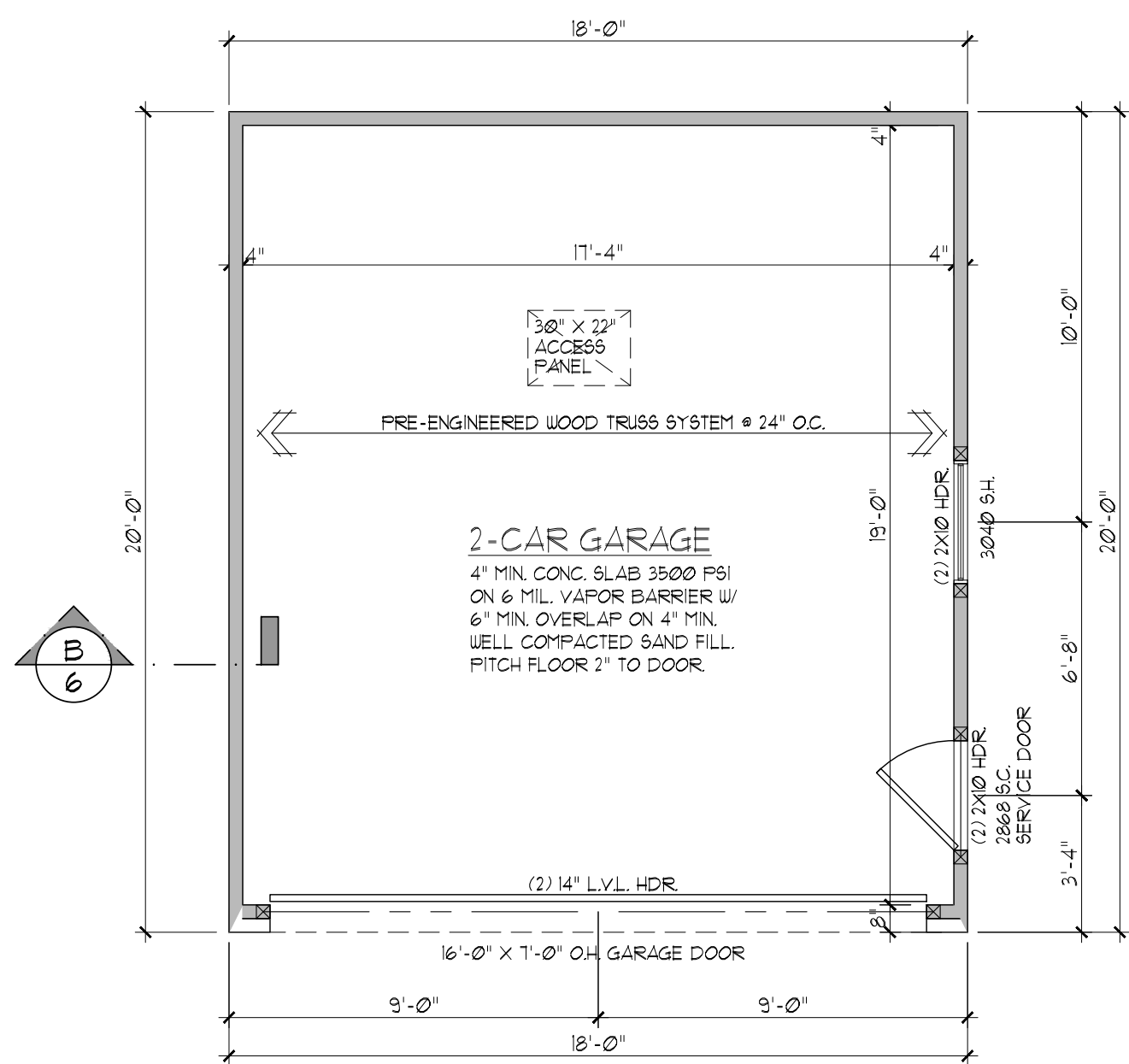
SCALE: 1/4" = 1'-0"

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GARAGE FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"



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22-217

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6 OF 7

CASE DESCRIPTION

111 E Merrill (22-35)

Hearing date: August 9th, 2022

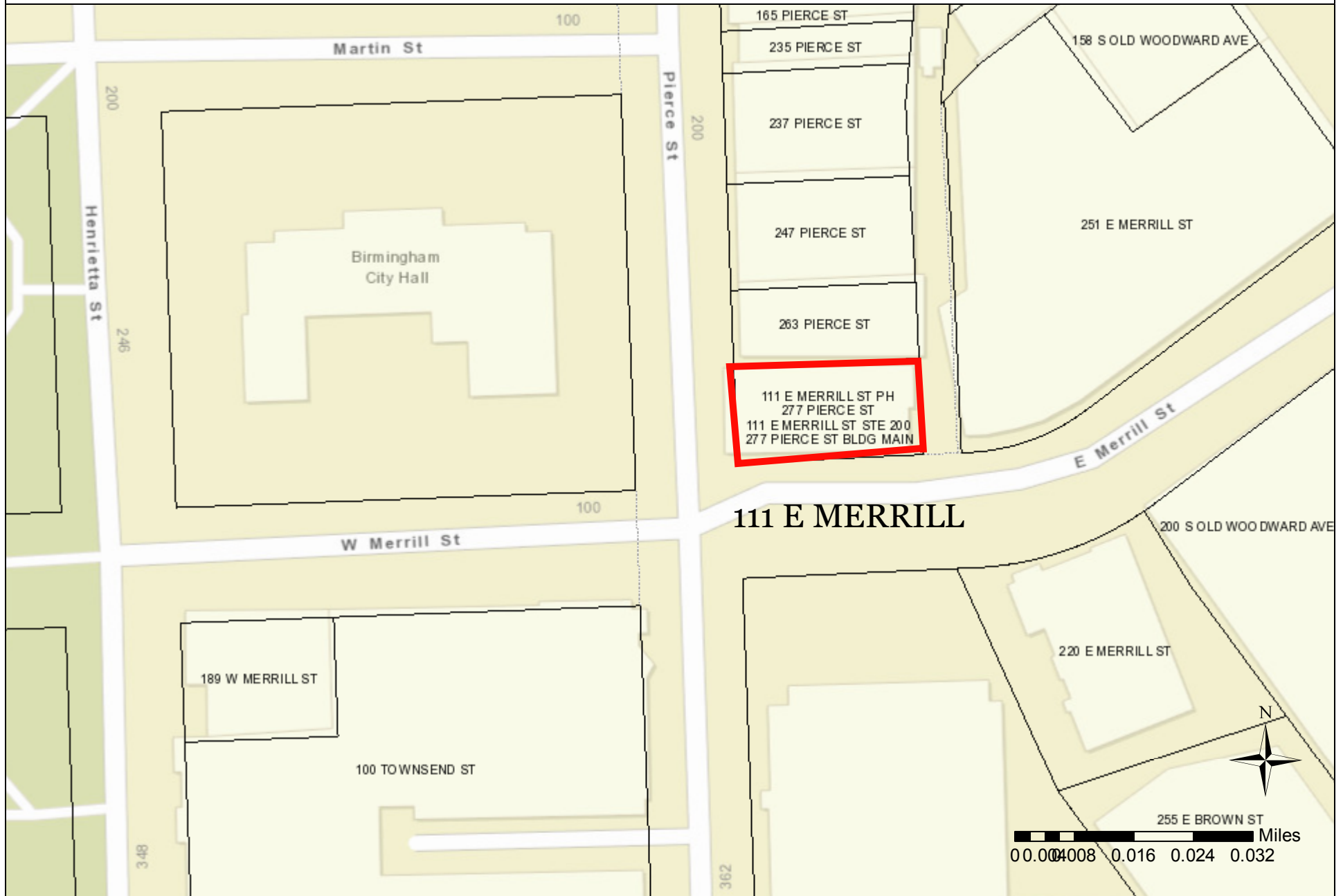
Appeal No. 22-35: The applicant known as Schechter, located at 111 E Merrill, requests the following variance to install a wall-mounted projecting sign.

- A. Chapter 1, Article 1, Table B of the Sign Ordinance requires wall-mounted projecting signs to be located at the sign band and no less than 8 feet above grade. The applicant has proposed a blade sign 8 feet above grade and 4.66 ft. below the sign band, therefore a dimensional variance of 4.66 ft. is being proposed.

Staff Notes: The applicant is proposing a double-sided wall-mounted projecting sign for the subject site with a total of 5.28 square feet, at the southeast entrance from Merrill. The sign will display the Schechter logo. On July 20th, 2022, the applicant appeared before the Historic District Commission for Design Review (see attached minutes). The board voted to approve the proposed projecting sign with the conditions that the applicant must submit revised sign plans detailing a projecting sign in the sign band, or obtain a variance from the Board of Zoning Appeals; and, the applicant must submit a revised sign plan showing the six-inch separation. The applicant has submitted a revised sign plan showing the six-inch separation, which is included in the packet.

Leah Blizinski
City Planner

111 E MERRILL MAP



CITY OF BIRMINGHAM
Community Development - Building Department
151 Martin Street, Birmingham, MI 48009
Community Development: 248-530-1850
Fax: 248-530-1290 / www.bhamgov.org

APPLICATION FOR THE BOARD OF ZONING APPEALS

Application Date: 6-29-22

Hearing Date: 8-9-22

Received By: WHT

Appeal #: 22-35

Type of Variance:	<input checked="" type="checkbox"/> Interpretation	<input checked="" type="checkbox"/> Dimensional	<input checked="" type="checkbox"/> Land Use	<input checked="" type="checkbox"/> Sign YES	<input checked="" type="checkbox"/> Admin Review
-------------------	--	---	--	---	--

I. PROPERTY INFORMATION:

Address: 111 EAST MERRILL STREET Lot Number: _____ Sidwell Number: _____

II. OWNER INFORMATION:

Name: 277 DEVELOPMENT ASSOCIATES LLC
Address: 39400 WOODWARD AVE, STE 250 City: BIRMINGHAM State: MI Zip code: 48009
Email: *PPETRELLA@SYNERGYGROUP.BIZ Phone: 248-644-7600

III. PETITIONER INFORMATION:

Name: BRIAN HUNTER Firm/Company Name: DONE RIGHT SIGNS
Address: 119 N. SAGINAW STREET City: PONTIAC State: MI Zip code: 48342
Email: BRIAN@DONERIGHTSIGNS.COM Phone: 248-332-3133

IV. GENERAL INFORMATION:

The Board of Zoning Appeals typically meets the second Tuesday of each month. Applications along with supporting documents must be submitted on or before the 12th day of the month preceding the next regular meeting. Please note that incomplete applications will not be accepted.

To insure complete applications are provided, appellants must schedule a pre-application meeting with the Building Official, Assistant Building Official and/or City Planner for a preliminary discussion of their request and the documents that will be required to be submitted. Staff will explain how all requested variances must be highlighted on the survey, site plan and construction plans. Each variance request must be clearly shown on the survey and plans including a table as shown in the example below. All dimensions to be shown in feet measured to the second decimal point.

The BZA application fee is \$360.00 for single family residential; \$560.00 for all others. This amount includes a fee for a public notice sign which must be posted at the property at least 15-days prior to the scheduled hearing date.

Variance Chart Example

Requested Variances	Required	Existing	Proposed	Variance Amount
Variance A, Front Setback	25.00 Feet	23.50 Feet	23.50 Feet	1.50 Feet
Variance B, Height	30.00 Feet	30.25 Feet	30.25 Feet	0.25 Feet

V. REQUIRED INFORMATION CHECKLIST:

- ☐ One original and nine copies of the signed application
- ☐ One original and nine copies of the signed letter of practical difficulty and/or hardship
- ☐ One original and nine copies of the certified survey
- ☐ 10 folded copies of site plan and building plans including existing and proposed floor plans and elevations
- ☐ If appealing a board decision, 10 copies of the minutes from any previous Planning, HDC, or DRB board meeting

VI. APPLICANT SIGNATURE

Owner hereby authorizes the petitioner designated below to act on behalf of the owner.

By signing this application, I agree to conform to all applicable laws of the City of Birmingham. All information submitted on this application is accurate to the best of my knowledge. Changes to the plans are not allowed without approval from the Building Official or City Planner.

*By providing your email to the City, you agree to receive news and notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner: _____

E. "PETE" PETRELLA
Representative

Date: 6-28-22

Signature of Petitioner: Brian Hunter

Date: 6-28-22

**CITY OF BIRMINGHAM
BOARD OF ZONING APPEALS
RULES OF PROCEDURE**

ARTICLE I - Appeals

- A. Appeals may be filed under the following conditions:
1. A property owner may appeal for variance, modification or adjustment of the requirements of the Zoning Ordinance.
 2. A property owner may appeal for variance, modification or adjustment of the requirements of the Sign Ordinance.
 3. Any aggrieved party may appeal the decision of the Planning Board and/or the Building Official in accordance with the City of Birmingham Zoning Ordinance, Article Eight, Section 8.01 (D) Appeals. If an appellant requests a review of any determination of the Building Official, a complete statement setting forth the facts and reasons for the disagreement with the Building Official's determination shall include the principal point, or points on the decision, order or section of the ordinance appealed from, on which the appeal is based.
- B. Procedures of the Board of Zoning Appeals (BZA) are as follows:
1. Regular BZA meetings, which are open to the public, shall be held on the second Tuesday of the month at 7:30 P.M. provided there are pending appeals. There will be a maximum of seven appeals heard at the regular meeting which are taken in the order received. If an appeal is received on time after the initial seven appeals have been scheduled, it will be scheduled to the next regular meeting.
 2. All applications for appeal shall be submitted to the Community Development Department on or before the 12th day of the month preceding the next regular meeting. If the 12th falls on a Saturday, Sunday, or legal holiday, the next working day shall be considered the last day of acceptance.
 3. All property owners and occupants within 300 feet of the subject property will be given written notice of a hearing by the City of Birmingham.
 4. See the application form for specific requirements. If the application is incomplete, the BZA may refuse to hear the appeal. The Building Official or City Planner may require the applicant to provide additional information as is deemed essential to fully advise the Board in reference to the appeal. Refusal or failure to comply shall be grounds for dismissal of the appeal at the discretion of the Board.
 5. In variance requests, applicants must provide a statement that clearly sets forth all special conditions that may have contributed to a practical difficulty that is preventing a reasonable use of the property.

6. Where the Birmingham Zoning Ordinance requires site plan approval of a project by the City Planning Board before the issuance of a building permit, applicants must obtain preliminary site plan approval by the Planning Board before appeal to the BZA for a variance request. If such appeal is granted by the BZA, the applicant must seek final site plan and design review approval from the Planning Board before applying for a building permit.
 7. An aggrieved party may appeal a Planning Board decision. Such appeal must be made within 30 days of the date of the decision. The BZA, in its discretion, may grant additional time in exceptional circumstances.
 8. Appeals from a decision of the Building Official shall be made within 30 days of the date of the order, denial of permit, or requirement or determination contested. The BZA, in its discretion, may grant additional time in exceptional circumstances.
 9. An appeal stays all proceedings in accordance with Act #110, Public Acts of 2006, Article VI, Section 125.3604 (3).
- C. The order of hearings shall be:
1. Presentation of official records of the case by the Building Official or City Planner as presented on the application form.
 2. Applicant's presentation of his/her case—the applicant or his/her representative must be present at the appeal hearing.
 3. Interested parties' comments and view on the appeal.
 4. Rebuttal by applicant.
 5. The BZA may make a decision on the matter or request additional information.
- D. Motions and Voting
1. A motion is made to either grant or deny a petitioner's request
 - a) For a motion to grant or deny a non-use variance request, the motion must receive four (4) affirmative votes to be approved.
 - b) For a motion to grant or deny a use variance request, the motion must receive five (5) affirmative votes to be approved.
 - c) For a motion to grant or deny an appeal of a decision or order by an administrative official or board, the motion must receive four (4) affirmative votes to be approved.
 2. When a motion made is to approve or deny a petitioner's request and if there is a tie vote, then the vote results in no action by the board and the petitioner shall be given an opportunity to have his or her request heard the next regularly scheduled meeting when all the members are present.
-

3. When there are less than seven (7) members of the board present for a meeting, then a petitioner requesting a use variance shall be given an opportunity at the beginning of the meeting to elect to have it heard at the next regularly scheduled meeting.
4. When there are less than six (6) members present for a meeting, then all petitioners shall be given an opportunity at the beginning of the meeting to elect to have the request heard at the next regularly scheduled meeting.

ARTICLE II - Results of an Appeal

- A. The Board may reverse, affirm, vary or modify any order, requirement, decision or determination as in its opinion should be made, and to that end, shall have all the powers of the officer from whom the appeal has been taken.
- B. The decisions of the Board shall not become final until the expiration of five (5) days from the date of entry of such orders or unless the Board shall find that giving the order immediate effect is necessary for the preservation of property and/or personal rights and shall so certify on the record.
- C. Whenever any variation or modification of the Zoning Ordinance is authorized by resolution of the BZA, a Certificate of Survey must be submitted to the Community Development Department with the building permit application. A building permit must be obtained within one year of the approval date.
- D. Failure of the appellant, or his representative, to appear for his appeal hearing will result in the appeal being adjourned to the next regular meeting. If, after notice, the appellant fails to appear for the second time, it will result in an automatic withdrawal of the appeal. The appellant may reapply to the BZA.
- E. Any applicant may, with the consent of the Board, withdraw his application at any time before final action.
- F. Any decision of the Board favorable to the applicant is tied to the plans submitted, including any modifications approved by the Board at the hearing and agreed to by the applicant, and shall remain valid only as long as the information or data provided by the applicant is found to be correct and the conditions upon which the resolution was based are maintained.

ARTICLE III - Rehearings

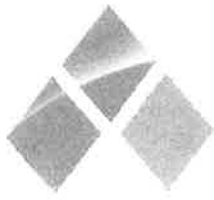
- A. No rehearing of any decision of the Board shall be considered unless new evidence is submitted which could not reasonably have been presented at the previous hearing or unless there has been a material change of facts or law.
-

B. Application or rehearing of a case shall be in writing and subject to the same rules as an original hearing, clearly stating the new evidence to be presented as the basis of an appeal for rehearing.

I certify that I have read and understand the above rules of procedure for the City of Birmingham Board of Zoning Appeals.

A handwritten signature in cursive script, appearing to read "Brian Hunter", written over a horizontal line.

Signature of Applicant



DONE RIGHT SIGNS

June 27, 2022

City of Birmingham
Board of Zoning Appeals

Re: 111 East Merrill Street – Blade Sign Variance Request

Dear Board Member:

277 Development Associates LLC is asking for variance, modification or adjustment of the requirements in the existing Sign Ordinance.

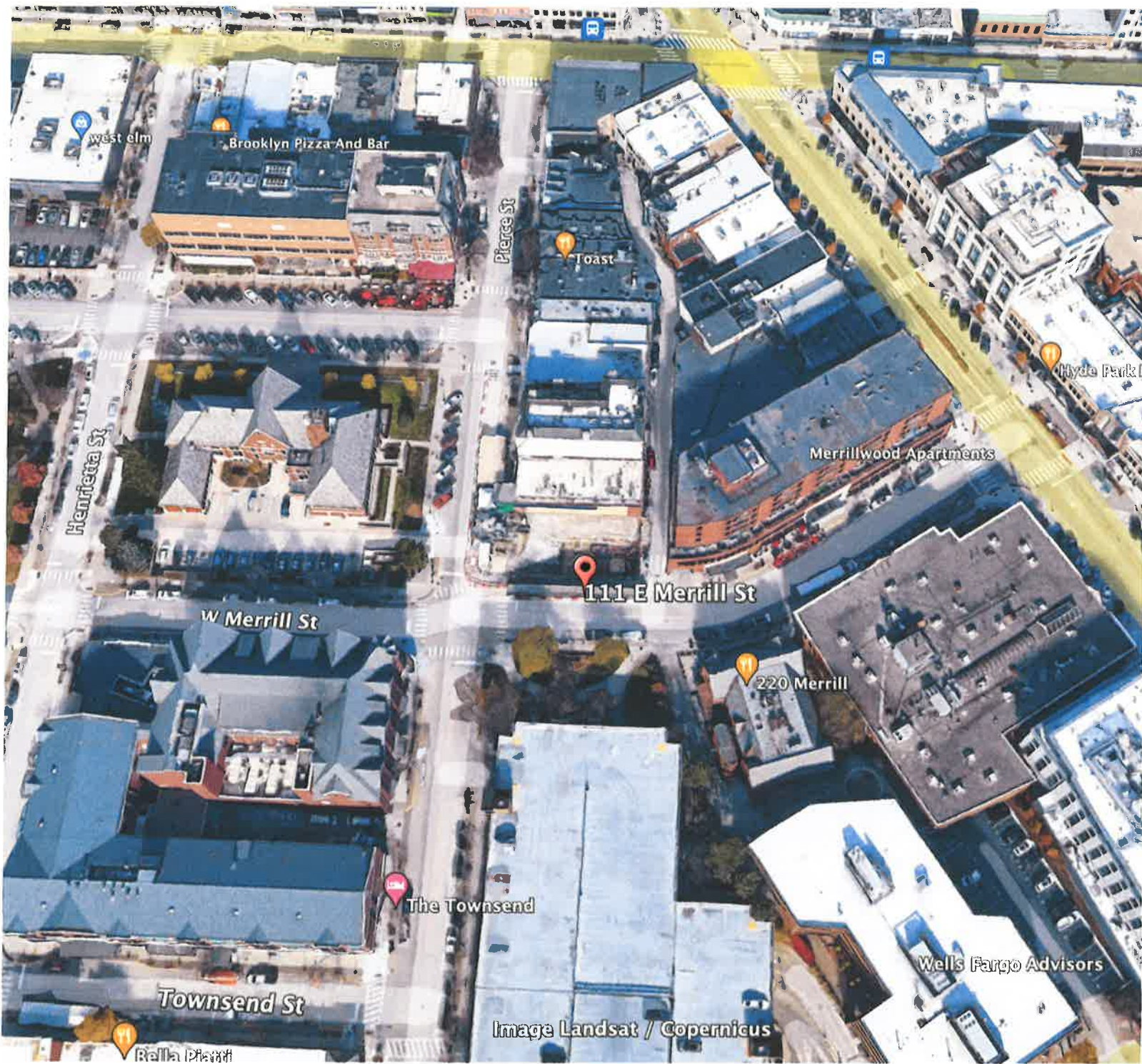
We feel there is a visual practical difficulty in placing a Blade Style Sign at the height the building Sign Band presently represents. There is a permanent glass awning located above the main entrance, that is located 108" from grade, which will visually block sight of this sign when viewing it from the westerly direction. Viewing the sign from the east makes the sign difficult to notice because of the height of the existing sign band. Moreover, there will be a Letters Sign installed within the sign band directly above the glass awning. This sign has already been approved for Permit issuance.

We are asking permission to locate our Blade Sign immediately under the Sign Band. This would place the bottom of our sign at exactly 8' from grade.

As you will see in our photo offering, there are quite a few existing Blade Signs Within the downtown proper that are located 8' above grade. We are presenting a very small sampling of the many Blade Signs that are at or near the height we are requesting.

We sincerely thank this Board for considering our appeal and ask that our request meets with your approval.

Brian Hunter, Project Manager @ Done Right Signs



west elm

Brooklyn Pizza And Bar

Pierce St

Toast

Hyde Park

Merrillwood Apartments

Henrietta St

W Merrill St

111 E Merrill St

220 Merrill

The Townsend

Wells Fargo Advisors

Townsend St

Image Landsat / Copernicus

1111 Townsend St



OVERALL BUILDING WIDTH: 50' WIDE



PROPOSED SIGNS ON BUILDING LAYOUT

OVERALL BUILDING WIDTH: 50' WIDE

16' HIGH

8' HIGH



22" Diameter Blade Sign being held up at 96" High from the bottom of the Blade Sign to the ground.

Historic District Commission

Minutes Of July 20, 2022

151 Martin Street, City Commission Room 205, Birmingham, MI

Minutes of the regular meeting of the Historic District Commission ("HDC") held Wednesday, July 20, 2022. Chair John Henke called the meeting to order at 7:00 p.m.

1) Rollcall

Present: Chair John Henke; Board Members Keith Deyer, Dustin Kolo, Patricia Lang, Michael Willoughby; Alternate Board Member Steven Lemberg; Student Representatives Meghan Murray, Charlie Vercellone

Absent: Board Members Gigi Debbrecht, Natalia Dukas; Alternate Board Member Cassandra McCarthy

Administration: Nicholas Dupuis, Planning Director
Laura Eichenhorn, City Transcriptionist

2) Approval of the HDC Minutes of July 6, 2022

07-49-22

Motion by Ms. Lang

Seconded by Mr. Kolo to approve the HDC Minutes of July 6, 2022 as submitted.

Motion carried, 6-0.

VOICE VOTE

Yeas: Henke, Willoughby, Deyer, Kolo, Lang, Lemberg

Nays: None

3) Courtesy Review

4) Historic Design Review

A. 167 N. Old Woodward – Erity & Nixon Building/Sweet Green

PD Dupuis presented the item.

Michael Klingl, representative for Sweet Green, spoke on behalf of the request.

In reply to Mr. Deyer, Mr. Klingl opined that there was no need to screen the two proposed units since they cannot be viewed from the ground level and a number of other units on the rooftop would remain unscreened.

07-50-22

Motion by Mr. Deyer

Seconded by Mr. Kolo to deny the Historic Design Review application for 167 N. Old

Woodward – Erity & Nixon Bldg./Sweet Green for the following reason:

- 1. The application does not meet the requirements of the Zoning Ordinance in regards to RTU screening.**

Chair Henke said it was preferable in general to have screened RTUs on historic buildings in order to maintain the historical aesthetic of the buildings. He said new RTUs should be generally screened. He said he did not feel particularly strongly about requiring screening in this instance because they would not be visible from the street, and the other, visible RTUs are not screened. He said this instance would not establish precedent for future discussions about RTU screening.

Mr. Deyer said he did not see the applicant's explanation as rising to the level of a hardship.

Motion carried, 6-0.

VOICE VOTE

Yeas: Henke, Willoughby, Deyer, Kolo, Lang, Lemberg

Nays: None

5) Sign Review

A. 111 E. Merrill - Schechter

PD Dupuis presented the item. He clarified that the sign requires a six inch gap and a 30-inch maximum projection.

07-51-22

Motion by Mr. Deyer

Seconded by Mr. Kolo to approve the Sign Design Review application and issue a Certificate of Appropriateness for 111 E. Merrill – Schechter – with the following conditions:

- 1. The applicant must submit revised sign plans detailing a projecting sign in the sign band, or obtain a variance from the Board of Zoning Appeals; and,**
- 2. The applicant must submit a revised sign plan showing the six inch separation.**

Motion carried, 6-0.

VOICE VOTE

Yeas: Henke, Willoughby, Deyer, Kolo, Lang, Lemberg

Nays: None

6) Study Session

A. Historic Design Guidelines – Update

PD Dupuis provided an update.

7) Miscellaneous Business and Communication

PD Dupuis said the sign ordinance needs updating.

The HDC briefly discussed preservation of Birmingham's historic housing stock. PD Dupuis said he hoped to return with an agenda item on the topic later in 2022.

A. Pre-Application Discussions

B. Draft Agenda

C. Staff Reports

1. Administrative Sign Approvals

2. Administrative Approvals

3. Demolitions

4. Action List 2022

5. 128 S. Old Woodward – Faherty Façade Condition Assessment

The Chair said his opinion had not changed since the last time this project was discussed.

Mr. Kolo said it would be hard to approve something that did not work to preserve the present historic material.

Jen Nendick, John Watson, and Alyssa Case, representatives for Faherty, were present on behalf of the project.

Ms. Nendick said she was having a difficult time finding a substantially similar brick to match the extant brick. She said anything somewhat close is an 18 to 20 week lead time. She said her team's proposal is to do more work to determine the facade's condition and then to outline potential next steps at the HDC's August 3, 2022 meeting. She noted that the project has been permitted to begin work on the interior of the building while they determine their approach to the facade.

8) Adjournment

07-52-22

Motion by Mr. Willoughby

Seconded by Ms. Lang to adjourn the HDC meeting of July 20, 2022 at 7:49 p.m.

Motion carried, 6-0.

VOICE VOTE

Yeas: Henke, Willoughby, Deyer, Kolo, Lang, Lemberg

Nays: None



Nicholas Dupuis
Planning Director



Laura Eichenhorn
City Transcriptionist

DRAFT

CASE DESCRIPTION

680 Westwood

Hearing date: August 9, 2022

Appeal No. 22-36: The owner of the property known **680 Westwood**, requests the following variance to construct a deck.

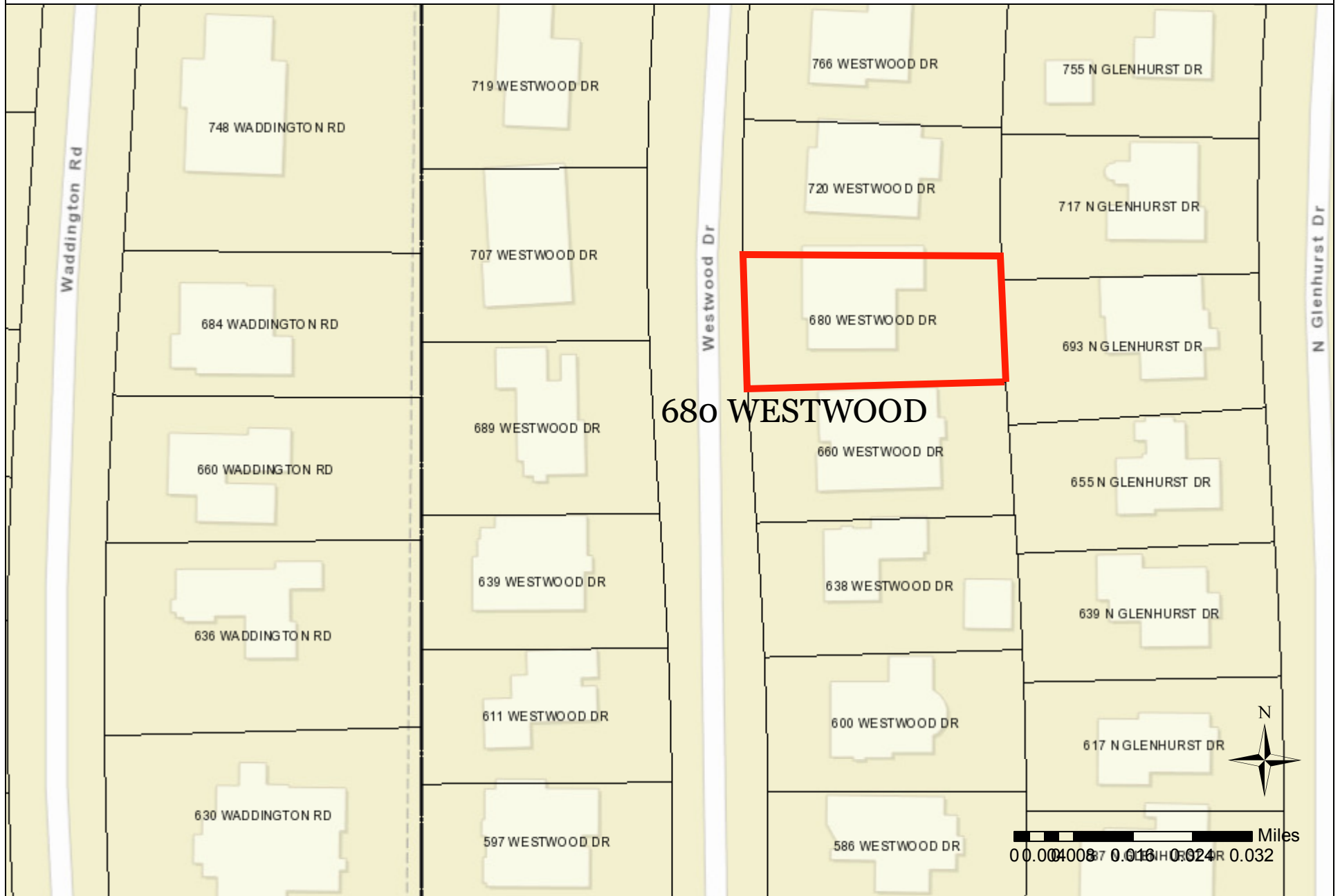
A. Chapter 126, Article 2, Section 2.06.1 of the Zoning Ordinance states that the maximum lot coverage is 30% for any lot. The maximum for this property is 2754.00 SF (30%). The existing is 3048.00 SF (33.20%). The proposed is 3020.00 SF (32.89%). Therefore, a variance of 294.00 SF (2.89%) is being requested.

Staff Notes: This home was constructed in 1993 and the applicant is looking to reconstruct an existing deck at the rear of the home.

This property is zoned R1 – Single family residential.

Jeff Zielke, NCIDQ, LEED AP
Assistant Building Official

680 WESTWOOD MAP



CITY OF BIRMINGHAM
Community Development - Building Department
151 Martin Street, Birmingham, MI 48009
Community Development: 248-530-1850
Fax: 248-530-1290 / www.bhamgov.org



APPLICATION FOR THE BOARD OF ZONING APPEALS

Application Date: 7-1-22

Hearing Date: 8-9-22

Received By: ULT

Appeal #: 22-0036

Type of Variance:	<input checked="" type="checkbox"/> Interpretation	<input checked="" type="checkbox"/> Dimensional	<input type="checkbox"/> Land Use	<input type="checkbox"/> Sign	<input type="checkbox"/> Admin Review
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I. PROPERTY INFORMATION:

Address: 680 Westwood Dr Lot Number: 32 Sidwell Number:

II. OWNER INFORMATION:

Name: JASON REZNAR & TARA KLIX
Address: 680 Westwood Dr City: Birmingham State: MI Zip code: 48009
Email: reznarj@gmail.com Phone: 248-228-4653

III. PETITIONER INFORMATION:

Name: JASON & TARA Firm/Company Name:
Address: 680 Westwood Dr City: Birmingham State: MI Zip code: 48009
Email: reznarj@gmail.com Phone: 248-228-4653

IV. GENERAL INFORMATION:

The Board of Zoning Appeals typically meets the second Tuesday of each month. Applications along with supporting documents must be submitted on or before the 12th day of the month preceding the next regular meeting. Please note that incomplete applications will not be accepted.

To insure complete applications are provided, appellants must schedule a pre-application meeting with the Building Official, Assistant Building Official and/or City Planner for a preliminary discussion of their request and the documents that will be required to be submitted. Staff will explain how all requested variances must be highlighted on the survey, site plan and construction plans. Each variance request must be clearly shown on the survey and plans including a table as shown in the example below. All dimensions to be shown in feet measured to the second decimal point.

The BZA application fee is **\$360.00** for single family residential; **\$560.00** for all others. This amount includes a fee for a public notice sign which must be posted at the property at least 15-days prior to the scheduled hearing date.

Variance Chart Example

Requested Variances	Required	Existing	Proposed	Variance Amount
Variance A, Front Setback	25.00 Feet	23.50 Feet	23.50 Feet	1.50 Feet
Variance B, Height	30.00 Feet	30.25 Feet	30.25 Feet	0.25 Feet

V. REQUIRED INFORMATION CHECKLIST:

- ☐ One original and nine copies of the signed application
- ☐ One original and nine copies of the signed letter of practical difficulty and/or hardship
- ☐ One original and nine copies of the certified survey
- ☐ 10 folded copies of site plan and building plans including existing and proposed floor plans and elevations
- ☐ If appealing a board decision, 10 copies of the minutes from any previous Planning, HDC, or DRB board meeting

VI. APPLICANT SIGNATURE

Owner hereby authorizes the petitioner designated below to act on behalf of the owner.

By signing this application, I agree to conform to all applicable laws of the City of Birmingham. All information submitted on this application is accurate to the best of my knowledge. Changes to the plans are not allowed without approval from the Building Official or City Planner.

*By providing your email to the City, you agree to receive news and notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner: [Signature]

Date: 7/1/2022

Signature of Petitioner: [Signature]

Date: 7/1/2022

ORIGINAL

**CITY OF BIRMINGHAM
BOARD OF ZONING APPEALS
RULES OF PROCEDURE**

ARTICLE I - Appeals

- A. Appeals may be filed under the following conditions:
1. A property owner may appeal for variance, modification or adjustment of the requirements of the Zoning Ordinance.
 2. A property owner may appeal for variance, modification or adjustment of the requirements of the Sign Ordinance.
 3. Any aggrieved party may appeal the decision of the Planning Board and/or the Building Official in accordance with the City of Birmingham Zoning Ordinance, Article Eight, Section 8.01 (D) Appeals. If an appellant requests a review of any determination of the Building Official, a complete statement setting forth the facts and reasons for the disagreement with the Building Official's determination shall include the principal point, or points on the decision, order or section of the ordinance appealed from, on which the appeal is based.
- B. Procedures of the Board of Zoning Appeals (BZA) are as follows:
1. Regular BZA meetings, which are open to the public, shall be held on the second Tuesday of the month at 7:30 P.M. provided there are pending appeals. There will be a maximum of seven appeals heard at the regular meeting which are taken in the order received. If an appeal is received on time after the initial seven appeals have been scheduled, it will be scheduled to the next regular meeting.
 2. All applications for appeal shall be submitted to the Community Development Department on or before the 12th day of the month preceding the next regular meeting. If the 12th falls on a Saturday, Sunday, or legal holiday, the next working day shall be considered the last day of acceptance.
 3. All property owners and occupants within 300 feet of the subject property will be given written notice of a hearing by the City of Birmingham.
 4. See the application form for specific requirements. If the application is incomplete, the BZA may refuse to hear the appeal. The Building Official or City Planner may require the applicant to provide additional information as is deemed essential to fully advise the Board in reference to the appeal. Refusal or failure to comply shall be grounds for dismissal of the appeal at the discretion of the Board.
 5. In variance requests, applicants must provide a statement that clearly sets forth all special conditions that may have contributed to a practical difficulty that is preventing a reasonable use of the property.

6. Where the Birmingham Zoning Ordinance requires site plan approval of a project by the City Planning Board before the issuance of a building permit, applicants must obtain preliminary site plan approval by the Planning Board before appeal to the BZA for a variance request. If such appeal is granted by the BZA, the applicant must seek final site plan and design review approval from the Planning Board before applying for a building permit.
7. An aggrieved party may appeal a Planning Board decision. Such appeal must be made within 30 days of the date of the decision. The BZA, in its discretion, may grant additional time in exceptional circumstances.
8. Appeals from a decision of the Building Official shall be made within 30 days of the date of the order, denial of permit, or requirement or determination contested. The BZA, in its discretion, may grant additional time in exceptional circumstances.
9. An appeal stays all proceedings in accordance with Act #110, Public Acts of 2006, Article VI, Section 125.3604 (3).

C. The order of hearings shall be:

1. Presentation of official records of the case by the Building Official or City Planner as presented on the application form.
2. Applicant's presentation of his/her case—the applicant or his/her representative must be present at the appeal hearing.
3. Interested parties' comments and view on the appeal.
4. Rebuttal by applicant.
5. The BZA may make a decision on the matter or request additional information.

D. Motions and Voting

1. A motion is made to either grant or deny a petitioner's request
 - a) For a motion to grant or deny a non-use variance request, the motion must receive four (4) affirmative votes to be approved.
 - b) For a motion to grant or deny a use variance request, the motion must receive five (5) affirmative votes to be approved.
 - c) For a motion to grant or deny an appeal of a decision or order by an administrative official or board, the motion must receive four (4) affirmative votes to be approved.
 2. When a motion made is to approve or deny a petitioner's request and if there is a tie vote, then the vote results in no action by the board and the petitioner shall be given an opportunity to have his or her request heard the next regularly scheduled meeting when all the members are present.
-

3. When there are less than seven (7) members of the board present for a meeting, then a petitioner requesting a use variance shall be given an opportunity at the beginning of the meeting to elect to have it heard at the next regularly scheduled meeting.
4. When there are less than six (6) members present for a meeting, then all petitioners shall be given an opportunity at the beginning of the meeting to elect to have the request heard at the next regularly scheduled meeting.

ARTICLE II - Results of an Appeal

- A. The Board may reverse, affirm, vary or modify any order, requirement, decision or determination as in its opinion should be made, and to that end, shall have all the powers of the officer from whom the appeal has been taken.
- B. The decisions of the Board shall not become final until the expiration of five (5) days from the date of entry of such orders or unless the Board shall find that giving the order immediate effect is necessary for the preservation of property and/or personal rights and shall so certify on the record.
- C. Whenever any variation or modification of the Zoning Ordinance is authorized by resolution of the BZA, a Certificate of Survey must be submitted to the Community Development Department with the building permit application. A building permit must be obtained within one year of the approval date.
- D. Failure of the appellant, or his representative, to appear for his appeal hearing will result in the appeal being adjourned to the next regular meeting. If, after notice, the appellant fails to appear for the second time, it will result in an automatic withdrawal of the appeal. The appellant may reapply to the BZA.
- E. Any applicant may, with the consent of the Board, withdraw his application at any time before final action.
- F. Any decision of the Board favorable to the applicant is tied to the plans submitted, including any modifications approved by the Board at the hearing and agreed to by the applicant, and shall remain valid only as long as the information or data provided by the applicant is found to be correct and the conditions upon which the resolution was based are maintained.

ARTICLE III - Rehearings

- A. No rehearing of any decision of the Board shall be considered unless new evidence is submitted which could not reasonably have been presented at the previous hearing or unless there has been a material change of facts or law.
-

B. Application or rehearing of a case shall be in writing and subject to the same rules as an original hearing, clearly stating the new evidence to be presented as the basis of an appeal for rehearing.

I certify that I have read and understand the above rules of procedure for the City of Birmingham Board of Zoning Appeals.



Signature of Applicant

680 Westwood Drive

CERTIFICATE OF SURVEY

ZONING REQUIREMENTS

R-1 RESIDENTIAL DISTRICT

LOT - MIN. AREA: 9,000 FT.²

COVERAGE - MAX. BLD.: 30%

- MAX. OPEN SPACE: 40%

SETBACKS - FRONT YARD: 25 FT. N/A

- REAR YARD: 30 FT.

- SIDE YARD: 9 FT.

- SIDE TOTAL: 17.5 FT.

HEIGHT - MAX. BLD.: 30 FT./2 STY.

EXISTING CONDITIONS

LOT - AREA: 9,180 FT.²

- WIDTH: 70 FT.

COVERAGE - BLD.: 3,048 FT.² 33.2%

- IMP.: 3,918 FT.² 42.7%

- OPEN SPACE: 5,262 FT.² 57.3%



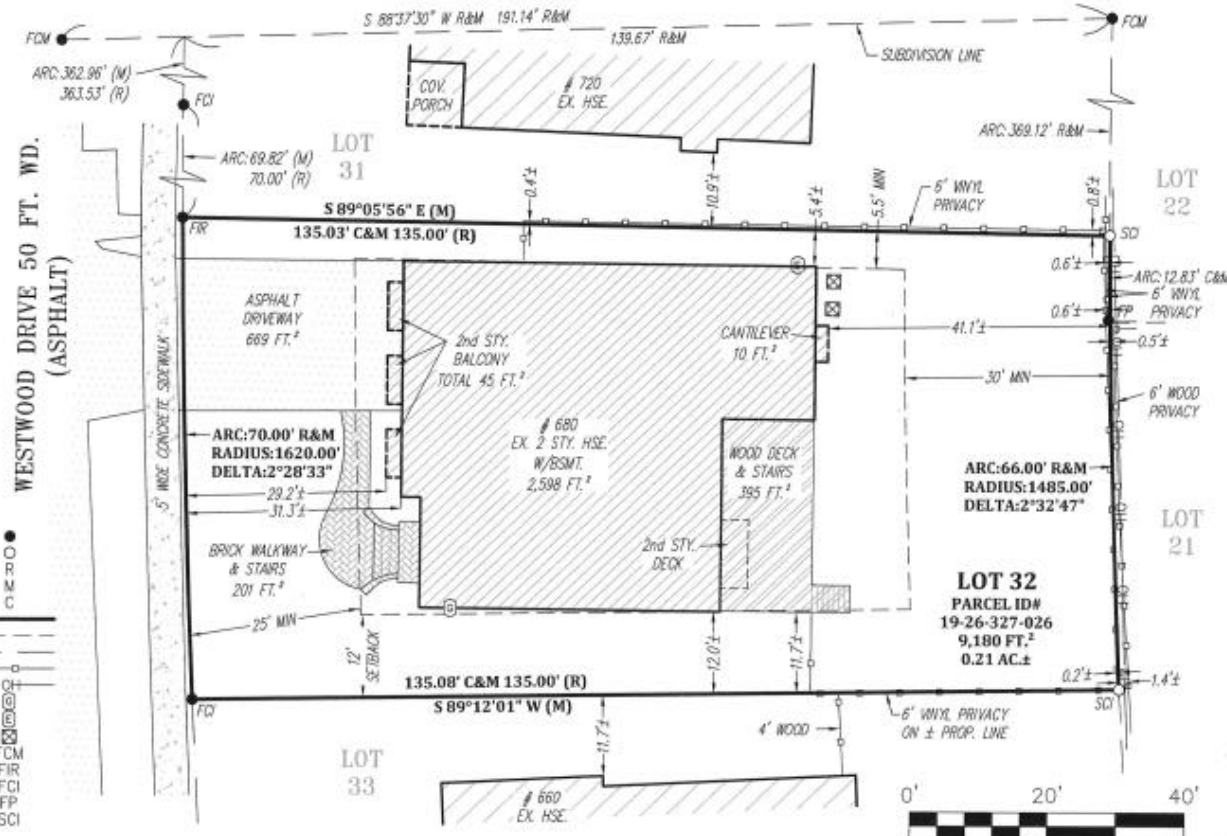
LEGAL DESCRIPTION

PARCEL ID# 19-26-327-026

LOT 32, OF "BLOOMFIELD WOODS", A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 26, TOWN 2 NORTH, RANGE 10 EAST, BLOOMFIELD TOWNSHIP (NOW THE CITY OF BIRMINGHAM), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 42 OF PLATS ON PAGE 17, OF OAKLAND COUNTY RECORDS CONTAINING 0.21 ACRES OF LAND MORE OR LESS. ALSO SUBJECT TO ANY OTHER EASEMENTS OR RESTRICTIONS OF USE OR RECORD.

LEGEND

FOUND MONUMENTATION
SET MONUMENTATION
RECORD MEAS.
FIELD MEAS.
CALCULATED DIST.
PROPERTY LINE
EASEMENT LINE
PARCEL LINE
FENCE LINE
OVERHANG LINE
GAS METER
ELEC. METER
AIR CONDITIONING UNIT
FOUND CONC. MON.
FOUND IRON ROD
FOUND CAPPED IRON
FENCE POST
SET CAPPED IRON



Nowry & Hale
Land Surveying LLC
182 N. Main St., Suite B, Plymouth, MI 48170
Office: (734) 445-3500 Email: nowry@nowryandhale.com

SECTION: SW 1/4 Sec. 26
TN./RGE.: 2N./10E.
CITY/TWP: Birmingham
COUNTY: Oakland

DATE: 6/22/22
PROJ. #: 022-066
DWG. BY: JCP
1 INCH = 20 FEET

CLIENT:
Jason Reznar
680 Westwood Drive
Birmingham, MI 48009
PAGE # 1 OF 1

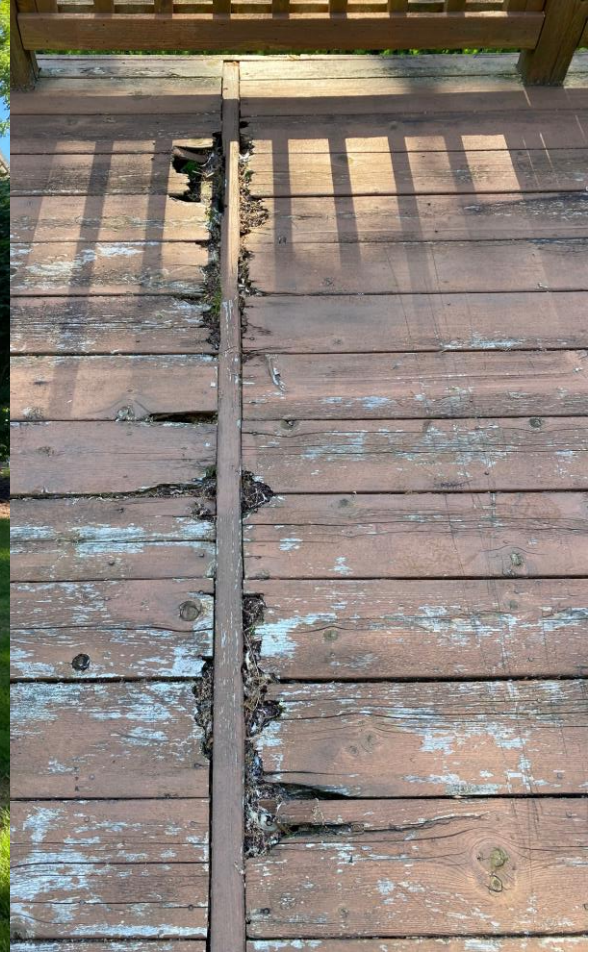
I, Michael J. Nowry, a Professional Surveyor in the State of Michigan do hereby Certify that the parcel of land described and delineated herein has been surveyed under my supervision, that the hereon is a true representation of the survey as performed, that the error of closure is no greater than 1 in 5000 and that I have fully complied with the requirements of Section 3, Public Act 132 of 1970.

Michael J. Nowry
Professional Surveyor # 52472

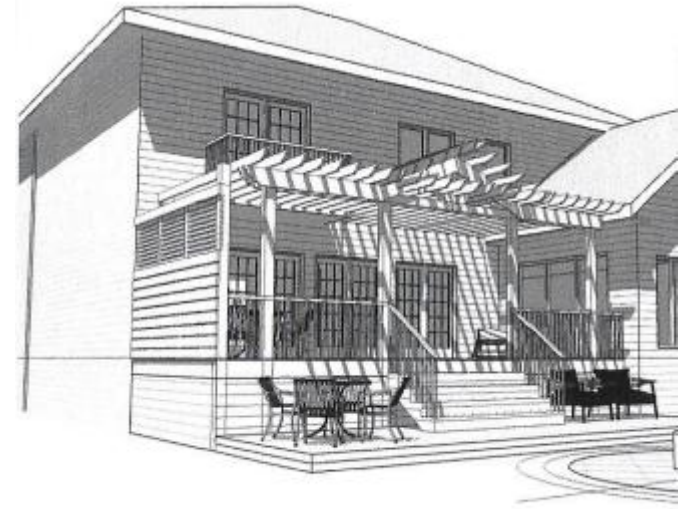
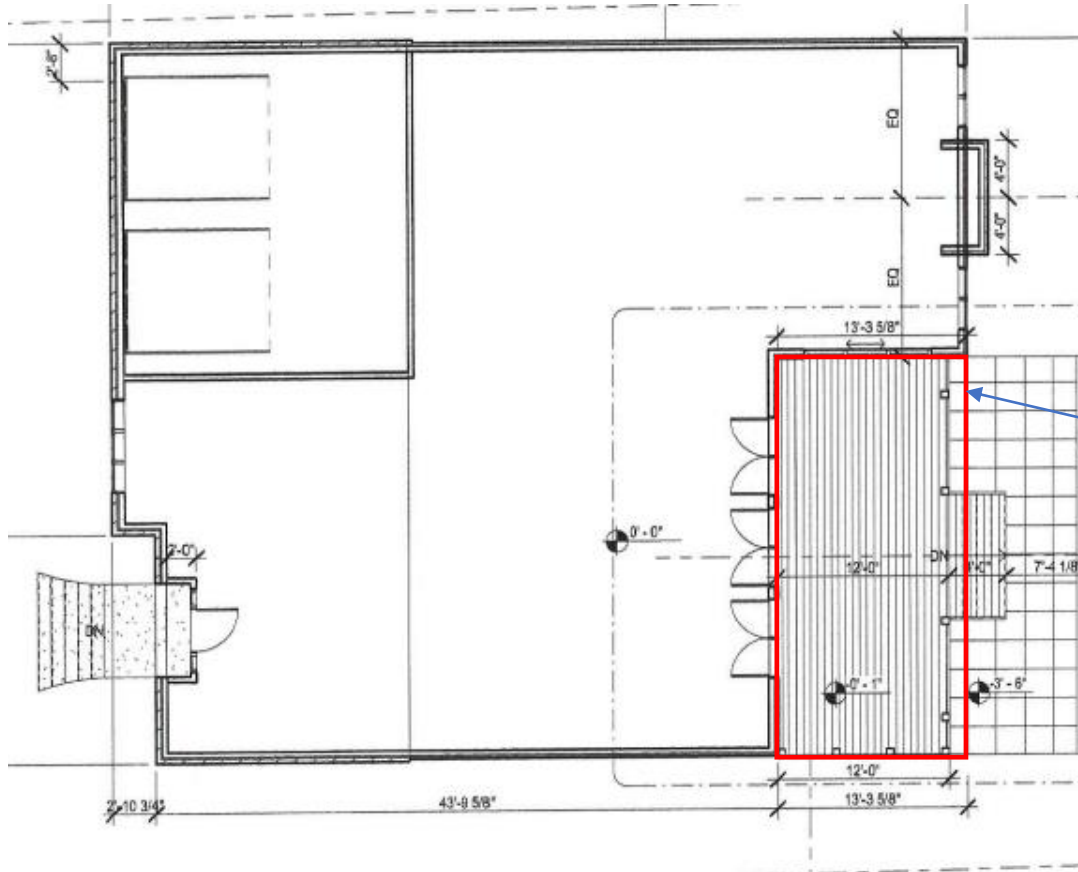
680 Westwood Drive



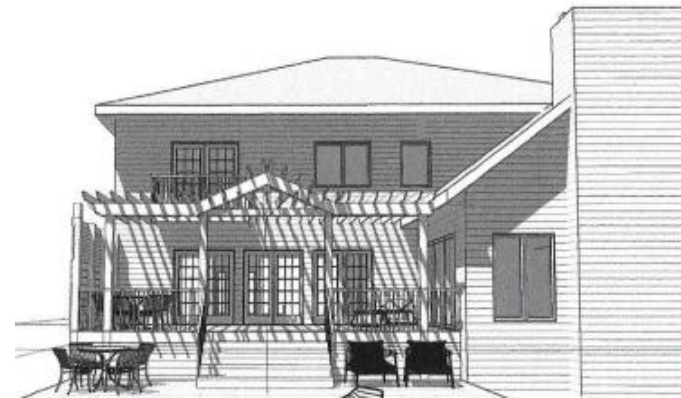
680 Westwood Drive



680 Westwood Drive

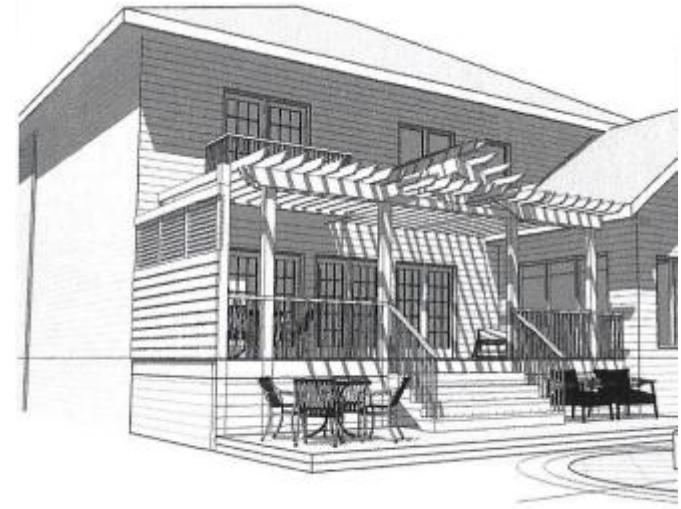
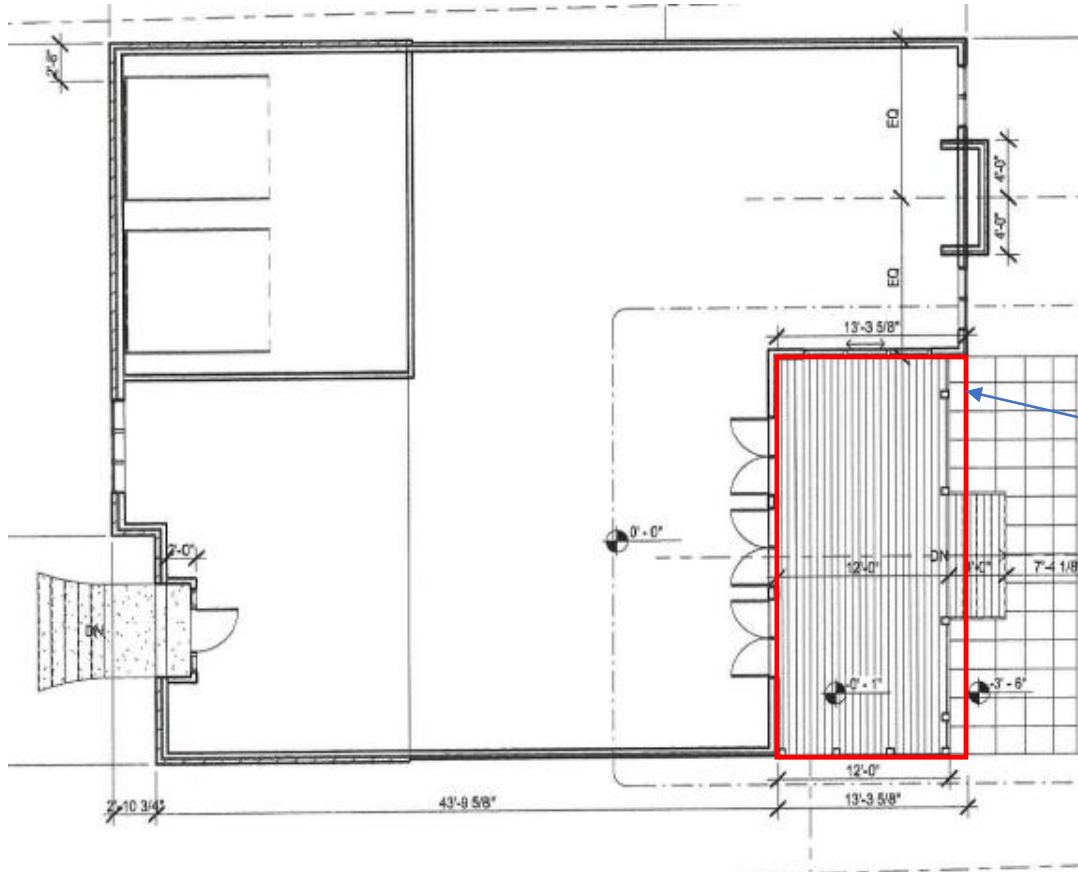


In red: Existing deck
Decreased deck to
mitigate coverage



New Deck Proposal with Pergola

680 Westwood Drive



In red: Existing deck
Decreased deck to
mitigate coverage

Lot size: 9,180 sq ft
Existing House: 2,653 sq ft
Existing Deck: 395 sq ft
Total: 3,048 sq ft
Percentage: 33.2%

Requesting from City
Lot size: 9,180 sq ft
Existing House: 2,653 sq ft
Existing Deck: 367 sq ft
Total: 3,020 sq ft
Percentage: 32.89%

CASE DESCRIPTION

282 Greenwood

Hearing date: August 9, 2022

Appeal No. 22-34: The owner of the property known **282 Greenwood**, requests the following variances to construct a deck and rework the existing impervious area to an existing non-conforming site:

- A. Chapter 126, Article 4, Section 4.30(C)(5) of the Zoning Ordinance allows a deck and/or steps to project into the rear open space for a maximum distance of 15.00 feet. This provision shall not reduce the required rear yard setback to less than 15.00 feet. The proposed deck is to reduce the rear yard to 10.00 feet; therefore, a variance of 5.00 feet is requested.
- B. Chapter 126, Article 4, Section 4.31(A) of the Zoning Ordinance requires that a minimum of 65% (998.53 SF) of the front open space in all single- family districts shall be free of paved surfaces. The existing is 43.19% (663.50 SF) and the proposed is 56.98% (875.30 SF). Therefore a variance of 8.02% (123.23 SF) is being requested.

Staff Notes: The applicant is looking to construct a deck in the rear that projects into the rear open space and rework the existing open space requirements in the front open space of the existing non-conforming home. This appeal was before the board in August 2021 for a similar request (minutes attached)

This property is zoned R2 – Single family residential.

282 GREENWOOD MAP



CITY OF BIRMINGHAM
Community Development - Building Department
151 Martin Street, Birmingham, MI 48009
Community Development: 248-530-1850
Fax: 248-530-1290 / www.bhamgov.org

APPLICATION FOR THE BOARD OF ZONING APPEALS

Application Date: 6.28.22

Hearing Date: 8.9.22

Received By: HT

Appeal #: 22-0034

Type of Variance:	<input checked="" type="checkbox"/> Interpretation	<input checked="" type="checkbox"/> Dimensional	<input checked="" type="checkbox"/> Land Use	<input checked="" type="checkbox"/> Sign	<input checked="" type="checkbox"/> Admin Review
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I. PROPERTY INFORMATION:

Address: <u>282 GREENWOOD ST</u>	Lot Number:	Sidwell Number:
----------------------------------	-------------	-----------------

II. OWNER INFORMATION:

Name: <u>Robert Jacob</u>			
Address: <u>282 GREENWOOD ST</u>	City: <u>BIRMINGHAM</u>	State: <u>MI</u>	Zip code: <u>48009</u>
Email: *		Phone:	

III. PETITIONER INFORMATION:

Name: <u>DARYL Toby</u>	Firm/Company Name: <u>AGUAFINA</u>		
Address: <u>2629 ORCHARD LAKE RD</u>	City: <u>SYLVAN LAKE</u>	State: <u>MI</u>	Zip code: <u>48320</u>
Email: <u>toby@aguafina.com</u>		Phone: <u>(248) 535-5390</u>	

IV. GENERAL INFORMATION:

The Board of Zoning Appeals typically meets the second Tuesday of each month. Applications along with supporting documents must be submitted on or before the 12th day of the month preceding the next regular meeting. Please note that incomplete applications will not be accepted.

To insure complete applications are provided, appellants must schedule a pre-application meeting with the Building Official, Assistant Building Official and/or City Planner for a preliminary discussion of their request and the documents that will be required to be submitted. Staff will explain how all requested variances must be highlighted on the survey, site plan and construction plans. Each variance request must be clearly shown on the survey and plans including a table as shown in the example below. All dimensions to be shown in feet measured to the second decimal point.

The BZA application fee is **\$360.00** for single family residential; **\$560.00** for all others. This amount includes a fee for a public notice sign which must be posted at the property at least 15-days prior to the scheduled hearing date.

Variance Chart Example				
Requested Variances	Required	Existing	Proposed	Variance Amount
Variance A, Front Setback	25.00 Feet	23.50 Feet	23.50 Feet	1.50 Feet
Variance B, Height	30.00 Feet	30.25 Feet	30.25 Feet	0.25 Feet

V. REQUIRED INFORMATION CHECKLIST:

- ☐ One original and nine copies of the signed application
- ☐ One original and nine copies of the signed letter of practical difficulty and/or hardship
- ☐ One original and nine copies of the certified survey
- ☐ 10 folded copies of site, plan and building plans including existing and proposed floor plans and elevations
- ☐ If appealing a board decision, 10 copies of the minutes from any previous Planning, HDC, or DRB board meeting

VI. APPLICANT SIGNATURE

Owner hereby authorizes the petitioner designated below to act on behalf of the owner.
By signing this application, I agree to conform to all applicable laws of the City of Birmingham. All information submitted on this application is accurate to the best of my knowledge. Changes to the plans are not allowed without approval from the Building Official or City Planner.

*By providing your email to the City, you agree to receive news and notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner:  Date: 5.31.22

Signature of Petitioner: _____ Date: _____

**CITY OF BIRMINGHAM
BOARD OF ZONING APPEALS
RULES OF PROCEDURE**

ARTICLE I - Appeals

- A. Appeals may be filed under the following conditions:
1. A property owner may appeal for variance, modification or adjustment of the requirements of the Zoning Ordinance.
 2. A property owner may appeal for variance, modification or adjustment of the requirements of the Sign Ordinance.
 3. Any aggrieved party may appeal the decision of the Planning Board and/or the Building Official in accordance with the City of Birmingham Zoning Ordinance, Article Eight, Section 8.01 (D) Appeals. If an appellant requests a review of any determination of the Building Official, a complete statement setting forth the facts and reasons for the disagreement with the Building Official's determination shall include the principal point, or points on the decision, order or section of the ordinance appealed from, on which the appeal is based.
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 3. All property owners and occupants within 300 feet of the subject property will be given written notice of a hearing by the City of Birmingham.
 4. See the application form for specific requirements. If the application is incomplete, the BZA may refuse to hear the appeal. The Building Official or City Planner may require the applicant to provide additional information as is deemed essential to fully advise the Board in reference to the appeal. Refusal or failure to comply shall be grounds for dismissal of the appeal at the discretion of the Board.
 5. In variance requests, applicants must provide a statement that clearly sets forth all special conditions that may have contributed to a practical difficulty that is preventing a reasonable use of the property.

6. Where the Birmingham Zoning Ordinance requires site plan approval of a project by the City Planning Board before the issuance of a building permit, applicants must obtain preliminary site plan approval by the Planning Board before appeal to the BZA for a variance request. If such appeal is granted by the BZA, the applicant must seek final site plan and design review approval from the Planning Board before applying for a building permit.
 7. An aggrieved party may appeal a Planning Board decision. Such appeal must be made within 30 days of the date of the decision. The BZA, in its discretion, may grant additional time in exceptional circumstances.
 8. Appeals from a decision of the Building Official shall be made within 30 days of the date of the order, denial of permit, or requirement or determination contested. The BZA, in its discretion, may grant additional time in exceptional circumstances.
 9. An appeal stays all proceedings in accordance with Act #110, Public Acts of 2006, Article VI, Section 125.3604 (3).
- C. The order of hearings shall be:
1. Presentation of official records of the case by the Building Official or City Planner as presented on the application form.
 2. Applicant's presentation of his/her case—the applicant or his/her representative must be present at the appeal hearing.
 3. Interested parties' comments and view on the appeal.
 4. Rebuttal by applicant.
 5. The BZA may make a decision on the matter or request additional information.
- D. Motions and Voting
1. A motion is made to either grant or deny a petitioner's request
 - a) For a motion to grant or deny a non-use variance request, the motion must receive four (4) affirmative votes to be approved.
 - b) For a motion to grant or deny a use variance request, the motion must receive five (5) affirmative votes to be approved.
 - c) For a motion to grant or deny an appeal of a decision or order by an administrative official or board, the motion must receive four (4) affirmative votes to be approved.
 2. When a motion made is to approve or deny a petitioner's request and if there is a tie vote, then the vote results in no action by the board and the petitioner shall be given an opportunity to have his or her request heard the next regularly scheduled meeting when all the members are present.
-

3. When there are less than seven (7) members of the board present for a meeting, then a petitioner requesting a use variance shall be given an opportunity at the beginning of the meeting to elect to have it heard at the next regularly scheduled meeting.
4. When there are less than six (6) members present for a meeting, then all petitioners shall be given an opportunity at the beginning of the meeting to elect to have the request heard at the next regularly scheduled meeting.

ARTICLE II - Results of an Appeal


- A. The Board may reverse, affirm, vary or modify any order, requirement, decision or determination as in its opinion should be made, and to that end, shall have all the powers of the officer from whom the appeal has been taken.
- B. The decisions of the Board shall not become final until the expiration of five (5) days from the date of entry of such orders or unless the Board shall find that giving the order immediate effect is necessary for the preservation of property and/or personal rights and shall so certify on the record.
- C. Whenever any variation or modification of the Zoning Ordinance is authorized by resolution of the BZA, a Certificate of Survey must be submitted to the Community Development Department with the building permit application. A building permit must be obtained within one year of the approval date.
- D. Failure of the appellant, or his representative, to appear for his appeal hearing will result in the appeal being adjourned to the next regular meeting. If, after notice, the appellant fails to appear for the second time, it will result in an automatic withdrawal of the appeal. The appellant may reapply to the BZA.
- E. Any applicant may, with the consent of the Board, withdraw his application at any time before final action.
- F. Any decision of the Board favorable to the applicant is tied to the plans submitted, including any modifications approved by the Board at the hearing and agreed to by the applicant, and shall remain valid only as long as the information or data provided by the applicant is found to be correct and the conditions upon which the resolution was based are maintained.

ARTICLE III - Rehearings

- A. No rehearing of any decision of the Board shall be considered unless new evidence is submitted which could not reasonably have been presented at the previous hearing or unless there has been a material change of facts or law.
-

B. Application or rehearing of a case shall be in writing and subject to the same rules as an original hearing, clearly stating the new evidence to be presented as the basis of an appeal for rehearing.

I certify that I have read and understand the above rules of procedure for the City of Birmingham Board of Zoning Appeals.



Signature of Applicant

On August 10th 2021, the Board approved the request for the appeal of for two variances.

A) Chapter 126, Article 4.30 (c) (5) of the Zoning Ordinance allows a deck and/or steps may project into the rear open space for a maximum distance of 15.00 feet. The provision shall not reduce the required rear setback to less than 15 feet.

In 2021, the proposed was to reduce the rear setback to 5 feet and therefore board approved a variance of 10 feet.

The current proposal is for a variance of 5 feet, bringing it closer to the required rear setback.

B) Chapter 126, Article 4.31 (A) of the Zoning Ordinance requires that a minimum of 65% (998.53 feet) of the front open space in all single family districts be free of paved surfaces. The existing is 43.19% (663.5 SF).

The proposed was for 56.44% (867.00 SF) and a variance was approved of 8.56% (131.53 SF)

Subsequent to the approval, AguaFina Gardens International was engaged to redesign the landscape. The objective was to soften the landscape by increasing green space from the prior design and minimize hard surfaces/structures. Our revised plan resulted in a design that reduced the non-conformity in the variances granted in 2021.

Variance A – Design Change to Deck

Reviewing with the client, the primary reason for the deck to have a staircase is for safety in the event of a fire or other emergency. It was decided that it was unnecessary for the stairs to act as a method to interact with the lower garden level and redundant as the interior staircase would be more likely and convenient to use to access this area. By removing the back staircase and allowing for emergency egress/regress to the northeast of the property, this reduces the protrusion of the deck into the rear setback. Additionally, the reconfiguration of the design allows for more usable surface area by having the entire structure on one level. One further note on the redesign – the prior design includes the removal of a large mature white pine due to the configuration of the deck. The new design allows for the preservation of this tree.

Variance B - Design Change to Hardscape

In redesigning the overall landscape, the open space for the entire property increased 5.6% (409 square feet), compared to the board approved design. While the majority of this increase was in the back of the property, the front of the property also improved slightly by 1%.

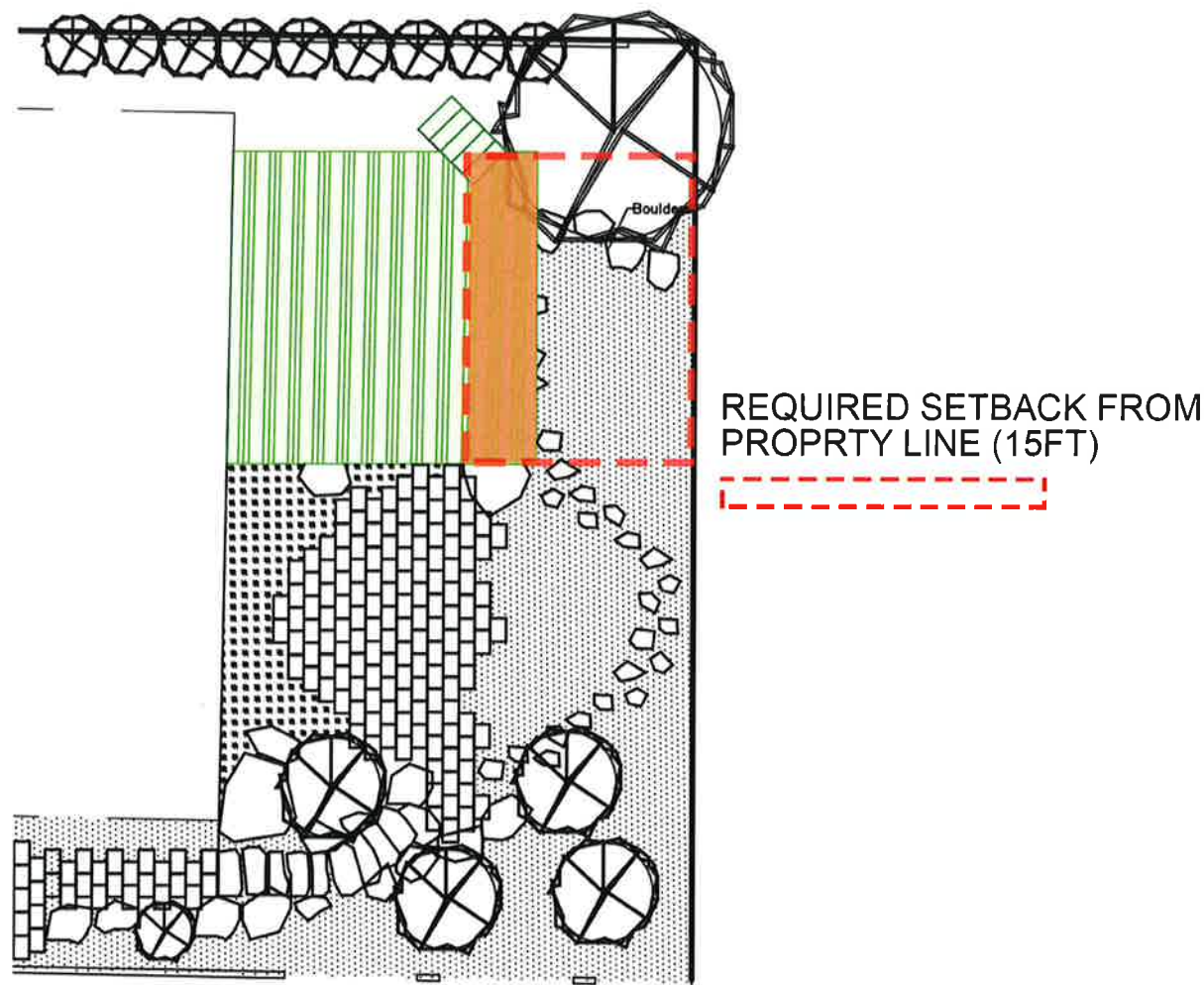
On both these points as we were able to reconfigure the spaces working within the parameters of the given, we request that both these variances be approved.


Daryl Toby – AguaFina Gardens International

6/15/2022
Date

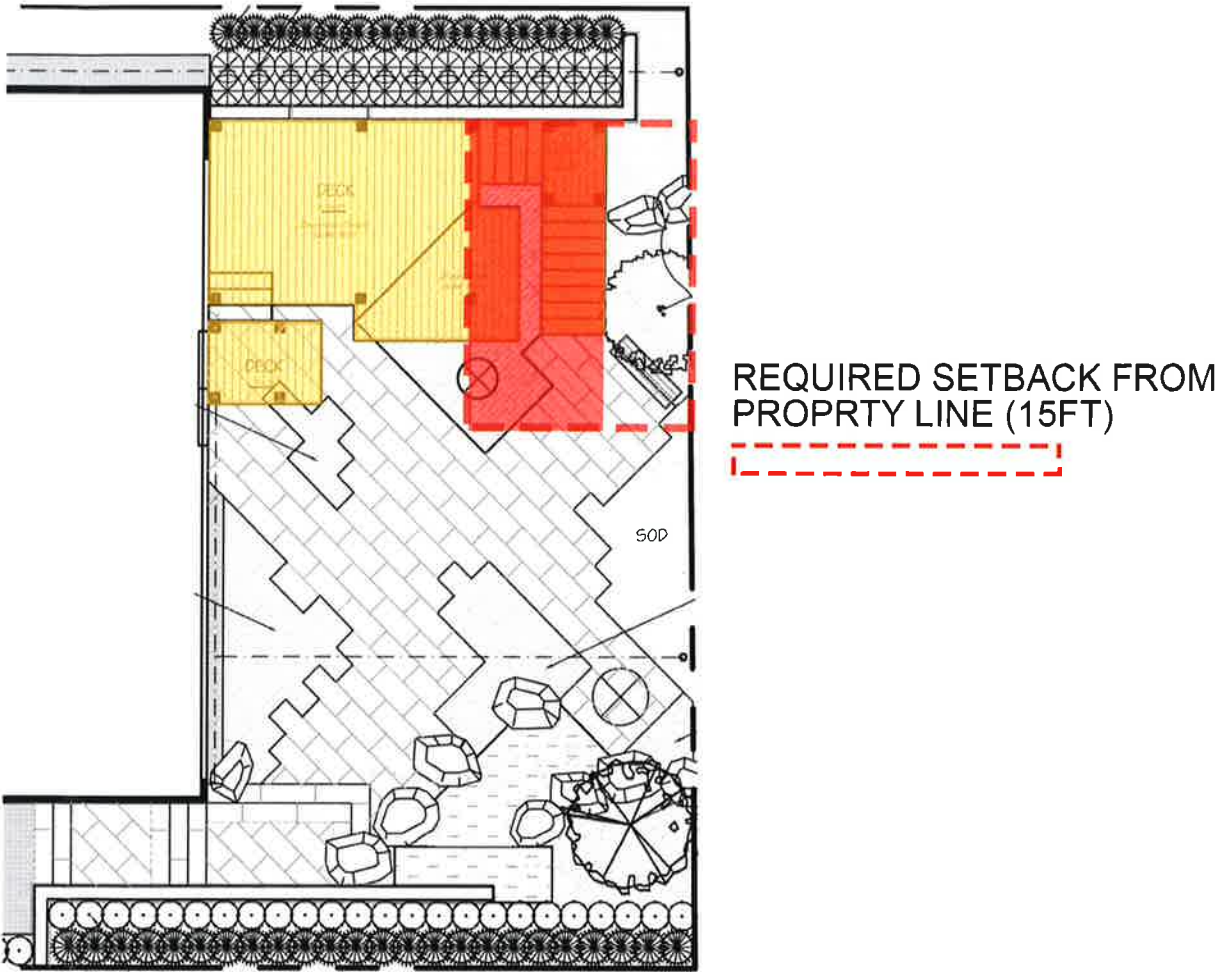
VARIANCE REQUEST COMPARISON

2022 VARIANCE REQUEST



2022 DECK
5FT VARIANCE REQUEST

2021 VARIANCE REQUEST
(APPROVED)



2021 DECK
10FT VARIANCE REQUEST
(APPROVED)



RELEASE DATE: May 12, 2022
REVISE DATE: June 17, 2022

Jacob Residence
282 Greenwood St. Birmingham, MI

PROJECT:

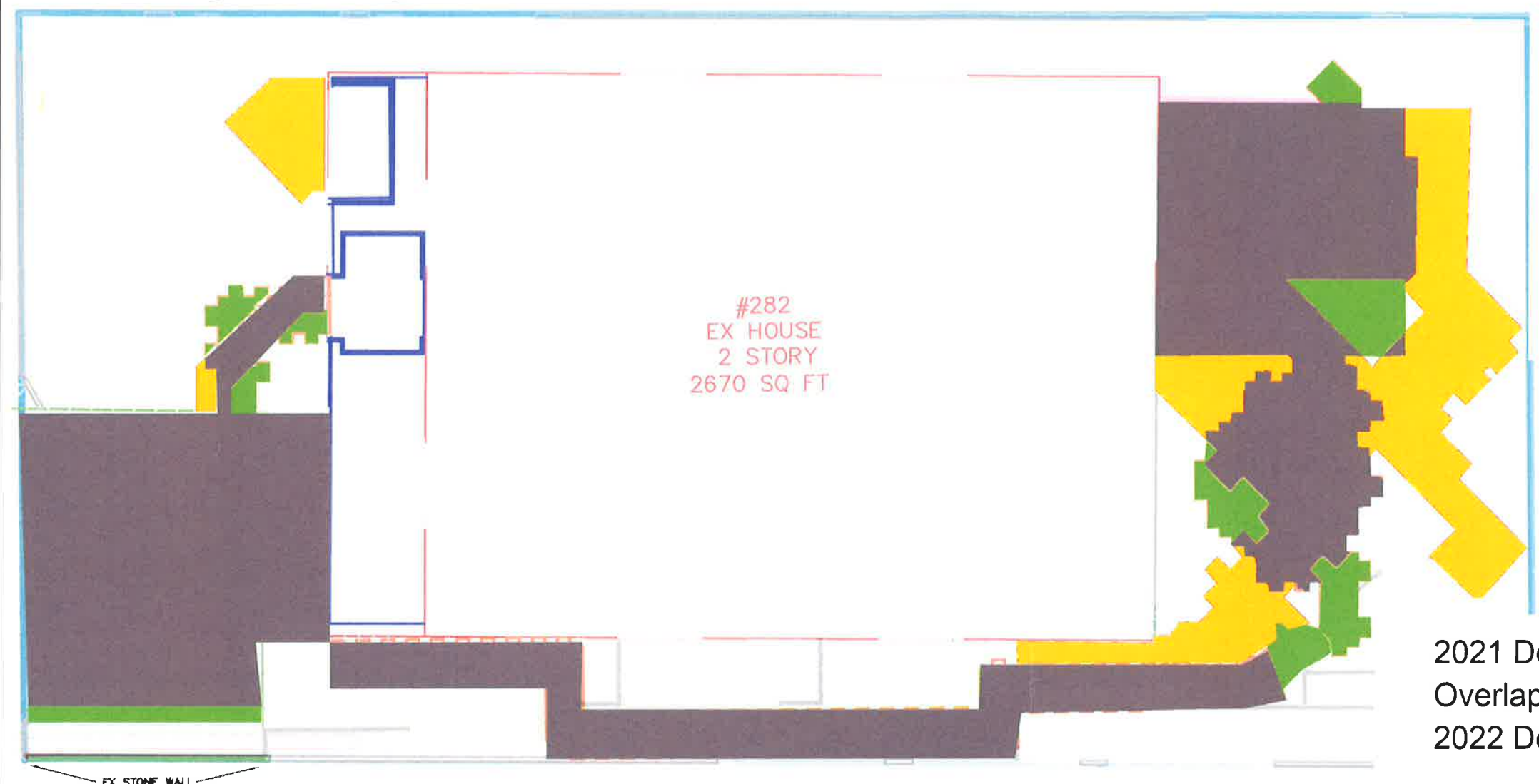
SUBJECT: Overlap Comparison




CLIENT: Robert Jacob

AGUAFINA
GARDENS INTERNATIONAL

2629 ORCHARD LAKE ROAD
SYLVAN LAKE, MI 48320 USA
(248) 738-0500 / FAX (248) 738-0554
www.aguafina.com

Overlap Comparison

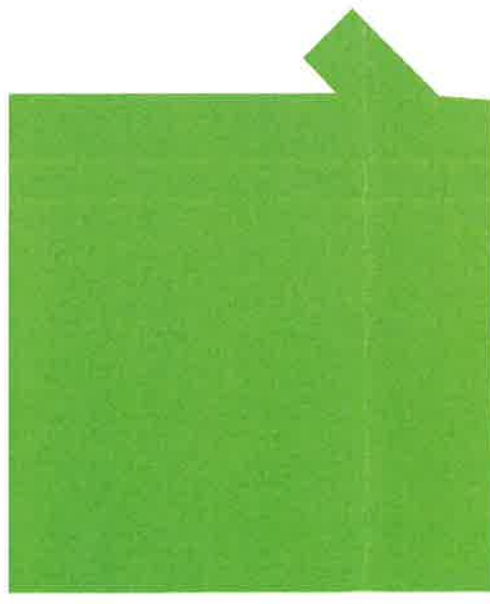


2021 Design 
Overlap Area 
2022 Design 

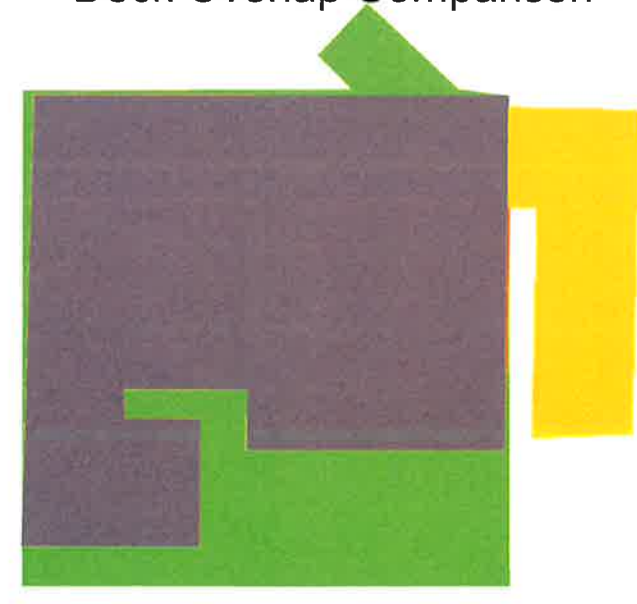
2021 Deck Perimeter



2022 Deck Perimeter



Deck Overlap Comparison



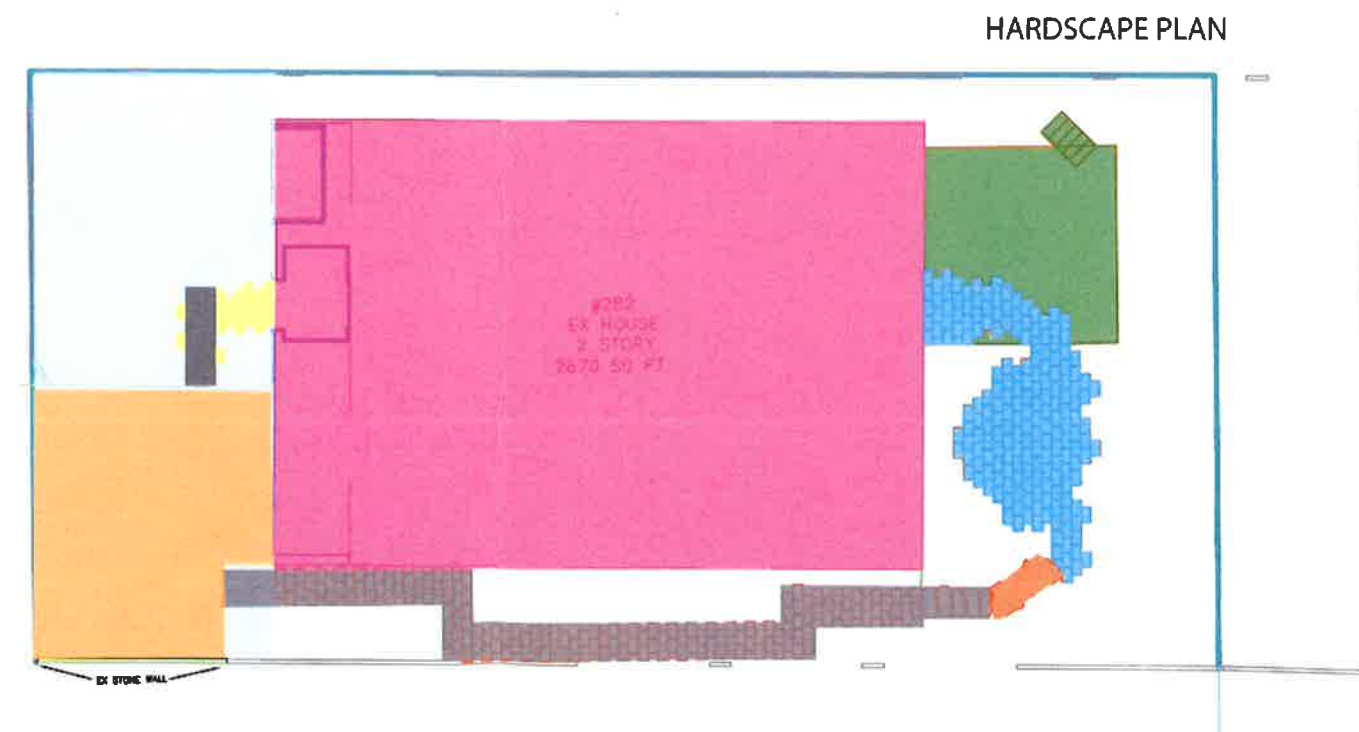
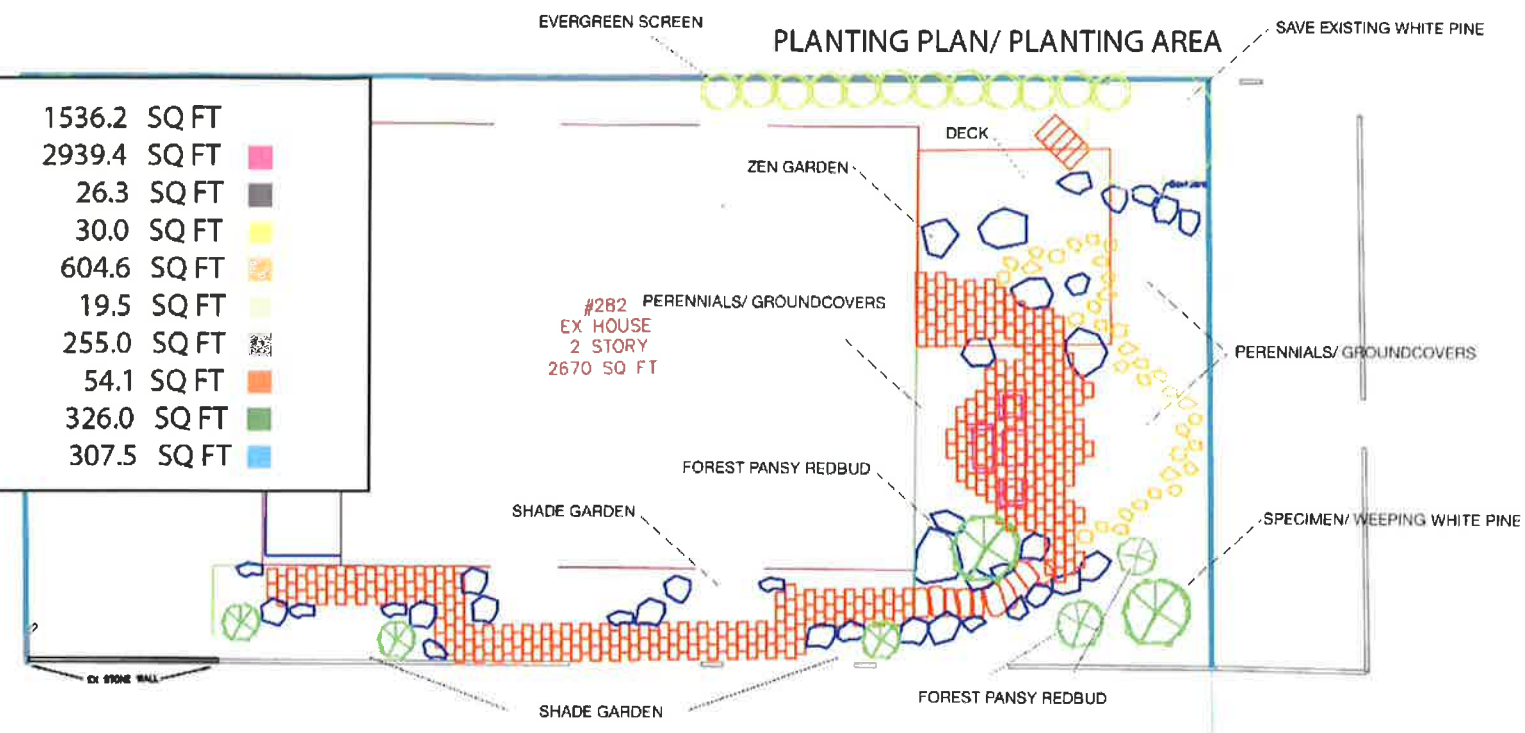
RELEASE DATE: May 12, 2022
REVISE DATE: June 17, 2022

PROJECT: **Jacob Residence**
282 Greenwood St. Birmingham, MI

SUBJECT: Overlap Comparison
CLIENT: Robert Jacob

AGUAFINA
GARDENS INTERNATIONAL
2629 ORCHARD LAKE ROAD
SYLVAN LAKE, MI 48320 USA
(248) 738-0500 / FAX (248) 738-0554
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FRONT YARD SF	1536.2 SQ FT	
HOUSE FOOT PRINT	2939.4 SQ FT	
FRONT 36" WALKWAY (DOES NOT COUNT)	26.3 SQ FT	
FRONT YARD WALK AND PATIO	30.0 SQ FT	
FRONT YARD DRIVEWAY	604.6 SQ FT	
FRONT YARD RETAINING WALL	19.5 SQ FT	
SIDEYARD 36" WALKWAY (DOES NOT COUNT TO LOT COVERAGE)	255.0 SQ FT	
STONE STAIR	54.1 SQ FT	
DECK -DOES NOT INCLUDE AREA THAT LOWER PATIO COVERS	326.0 SQ FT	
BACKYARD PATIO (INCLUDING AREA THAT IS COVERED BY DECK)	307.5 SQ FT	



RELEASE DATE: May 20, 2022

Jacob Residence
282 Greenwood St. Birmingham, MI

PROJECT:

SUBJECT: PLANTING AND HARDSCAPE PLANS

CLIENT: Robert Jacob

AGUAFINA
GARDENS INTERNATIONAL
2629 ORCHARD LAKE ROAD
SYLVAN LAKE, MI 48320 USA
(248) 738-0500 / FAX (248) 738-0554
www.aguafina.com



LOT COVERAGE DETAILS – JACOBS RESIDENCE

282 Greenwood Boulevard, Birmingham, MI 48009

R2 Zoning

May 20, 2022 – ALL MATERIALS INCLUDED IN COUNT

Minimum Lot Size 6000 sq ft
 Maximum Lot Coverage 30%
 Minimum Open Space = 40%
 Minimum Front Open Space = 65%

LOT COVERAGE

	Current Existing	2022 Proposed	2021 Proposed
Description	Conditions (sq ft)	Conditions (sq ft)	Conditions (sq ft)
Lot Size	7307	7307	7307
Existing House Foot Print	2939.4	2939.4	2939.4
Front yard Walk (36" wide)	N/A	N/A	N/A
Front yard Patio/Walk	184	30	82
Driveway	659.1	604.6	559.4
Front yard Wall	29.6	19.5	27.4
Remaining Wall	304.2	N/A	71
Side Yard Walk and Steps (Gravel Walk is 36" wide)	229.4	N/A	121.8
Back Yard Patio	813.4	307.5	505.9
Back Yard stone stair	N/A	54.1	N/A
Backyard Deck (excludes SF overlapping patio below)	N/A	326	307.9
Pond	N/A	N/A	74.9

Sum of Above Less Lot Size	5159.1	4281.1	4690.1
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Lot Coverage
 Percent Open Space (40% or more needed)

FRONT YARD COVERAGE

	Current Existing	2022 Proposed	2021 Proposed
Description	Conditions (sq ft)	Conditions (sq ft)	Conditions (sq ft)
Front Yard Area	1536.2	1536.2	1536.2
Front yard Driveway	659.1	604.6	559.4
Front yard Wall	29.6	19.5	27.4
Front yard Patio/Walk	184	30	82.4

Sum of Front Coverage	872.7	654.1	669.2
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Percent Front Coverage
 Percent Front Open Space (65% or more needed)

40.23%
29.40%

40.23%
41.41%

40.23%
35.81%

Increase in open space
5.6% / 409.0 sq ft

Increase in open space
0.99% / 15.1 sq ft

**Birmingham Board Of Zoning Appeals Proceedings
Tuesday, August 10, 2021
City Commission Room
151 Martin Street, Birmingham, Michigan**

1. Call To Order

Minutes of the regular meeting of the City of Birmingham Board of Zoning Appeals ("BZA") held on Tuesday, August 10, 2021. Vice-Chair Jason Canvasser convened the meeting at 7:30 p.m.

2. Rollcall

Present: Vice-Chair Jason Canvasser; Board Members Kevin Hart, John Miller, Francis Rodriguez, Richard Lilley, Erik Morganroth (attended virtually, located in Birmingham MI); Alternate Board Member Ron Reddy

Absent: Chair Charles Lillie; Alternate Board Member Erin Rodenhouse

Administration:

Bruce Johnson, Building Official
Laura Eichenhorn, City Transcriptionist
Mike Morad, Assistant Building Official
Jeff Zielke, Assistant Building Official

Vice-Chair Canvasser described BZA procedure to the audience. He noted that the members of the Board of Zoning Appeals are appointed by the City Commission and are volunteers who serve staggered three-year terms. They are a quasi-judicial board and sit at the pleasure of the City Commission to hear appeals from petitioners who are seeking variances from the City's Zoning Ordinance. Under Michigan law, a dimensional variance requires four affirmative votes from this board, and the petitioner must show a practical difficulty. A land use variance requires five affirmative votes and the petitioner has to show a hardship. He pointed out that this board does not make up the criteria for practical difficulty or hardship. That has been established by statute and case law. Appeals are heard by the board as far as interpretations or rulings. In that type of appeal the appellant must show that the official or board demonstrated an abuse of discretion or acted in an arbitrary or capricious manner. Four affirmative votes are required to reverse an interpretation or ruling.

Vice-Chair Canvasser took rollcall of the petitioners. All petitioners were present.

T# 08-43-21

3. Approval Of The Minutes Of The BZA Meeting Of June 8, 2021 and July 13, 2021

Motion by Mr. Miller

Seconded by Mr. Rodriguez to accept the Minutes of the BZA meeting of June 8, 2021 as submitted.

Motion carried, 5-0.

ROLL CALL VOTE

Yeas: Hart, Morganroth, Canvasser, Rodriguez, Miller

Nays: None

Abstain: Reddy, Lilley

With Vice-Chair Canvasser and Messrs. Hart, Miller, and Rodriguez abstaining due to their absences from the July 13, 2021 meeting the Board did not have a quorum for a vote on the July 13, 2021 minutes.

The July 13, 2021 minutes will be voted on along with the August 10, 2021 minutes at the September 2021 meeting.

T# 08-44-21

4. Appeals

**1) 689 Westwood
Appeal 21-29**

ABO Zielke presented the item, explaining that the owner of the property known as 689 Westwood was requesting the following variance to construct an addition to an existing non-conforming single-family home:

A. Chapter 126, Article 2.06.2 of the Zoning Ordinance requires that the minimum total side yard setback are 14.00 feet or 25% of the total lot width whichever is larger. The required is 22.47 feet. The proposed is 18.82 feet. Therefore a variance of 3.65 feet was being requested.

ABO Zielke continued that the applicant was denied their initial request by the Board in May 2021, asked that their request be tabled at the July 2021 meeting, and was now requesting a lesser variance to construct an addition to the home. This property is zoned R1– Single Family Residential.

Mari MacKenzie, owner, and Glenda Meads, architect, reviewed the letter describing why this variance was being sought. The letter was included in the evening's agenda packet.

In discussion a number of Board members expressed concern that granting this variance might adversely impact the neighbor to the north. Because the submitted documents did not provide the distance between the neighbor to the north and that neighbor's northern neighbor, the Board could not say whether granting this variance might prevent 689 Westwood's northern neighbor from building to the maximum width allowed on their lot in the future if desired.

After discussion, Staff stated the City would help the appellant get the requisite information and return for future review if desired by the Board.

Motion by Mr. Reddy

Seconded by Mr. Miller with regard to Appeal 21-29, A. Chapter 126, Article 2.06.2 of the Zoning Ordinance requires that the minimum total side yard setback are 14.00 feet or 25% of the total lot width whichever is larger. The required is 22.47 feet. The proposed is 18.82 feet. Therefore a variance of 3.65 feet was being requested.

Mr. Reddy moved to adjourn Appeal 21-29 to the September 2021 meeting, citing the need for additional information in order for the Board to complete its review.

Motion carried, 7-0.

ROLL CALL VOTE

Yeas: Reddy, Miller, Lilley, Hart, Morganroth, Canvasser, Rodriguez

Nays: None

BO Johnson advised the Board to retain their documents for Appeal 21-29.

**2) 282 Greenwood
Appeal 21-30**

ABO Zielke presented the item, explaining that the owner of the property known as 282 Greenwood was requesting the following variances to re-construct an existing deck and impervious areas of an existing non-conforming single-family home:

A. Chapter 126, Article 4.30(C)(5) of the Zoning Ordinance allows a deck and/or steps may project into the rear open space for a maximum distance of 15.00 feet. This provision shall not reduce the required rear setback to less than 15.00 feet. The proposed it reduce the rear yard setback to 5.00 feet. Therefore a variance of 10.00 feet was being requested.

B. Chapter 126, Article 4.31(A) of the Zoning Ordinance requires that a minimum of 65% (998.53 feet) of the front open space in all single family districts shall be free of paved surfaces. The existing is 43.19% (663.50 SF) and the proposed is 56.44% (867.00 SF). Therefore a variance of 8.56% (131.53 SF) was being requested.

ABO Zielke continued that this appeal was tabled from the July 2021 meeting and that there was a change to the variance A request.

Steve Ahejew, architect, and Robert Jacobs, owner, reviewed the letter describing why these variances were being sought. The letter was included in the evening's agenda packet.

After discussion between Mr. Morganroth and Mr. Ahejew, Mr. Ahejew acknowledged that either a deck without a staircase, a staircase without a deck, or a staircase with a smaller deck could be built either within the ordinance or with a smaller variance request.

In reply to Board inquiry, Mr. Ahejew stated that while a spiral staircase was considered, the owner had concerns about a spiral staircase's safety especially for aging users. He also expressed concerns about potential egress issues if no stairs were provided.

Mr. Morganroth noted the proposed plans were likely better designed than the other options, but that the circumstances on the lot did not constitute a hardship. He expressed fewer reservations regarding variance B than variance A.

Motion by Mr. Hart

Seconded by Mr. Lilley with regard to Appeal 21-30, A. Chapter 126, Article 4.30(C)(5) of the Zoning Ordinance allows a deck and/or steps may project into the rear open space for a maximum distance of 15.00 feet. This provision shall not reduce the required rear setback to less than 15.00 feet. The proposed it reduce the rear yard setback to 5.00 feet. Therefore, a variance of 10.00 feet is being requested; and, B. Chapter 126, Article 4.31(A) of the Zoning Ordinance requires that a minimum of 65% (998.53 feet) of the front open space in all single family districts shall be free of paved surfaces. The existing is 43.19% (663.50 SF) and the proposed is 56.44% (867.00 SF). Therefore a variance of 8.56% (131.53 SF) is being requested.

Mr. Hart moved to approve the variance requests and tied them to the plans as submitted. He noted that the request mitigated some of the excess lot coverage in the front of the home. He continued that the stair placement in the rear presented challenges that amounted to a practical difficulty in terms of the staircase going in front of glass. The stairs allow for proper functioning and exterior egress in the rear. He noted there would be no adverse effect on neighboring properties, that the landing would be situated lower than the retaining wall, and that the staircase would be placed not to obscure neighbors' views. He opined that substantial justice would be done to the owners and neighbors.

Mr. Miller said he found variance B reasonable, and variance A a bit more difficult to decide on. Ultimately he found that the radical topography, the retaining wall separation with the neighbor to the north, and the lack of a neighbor to the rear made this existing non conforming home unique. He stated that substantial justice would be done if the variances were permitted.

Mr. Morganroth said he would not support the motion. He expressed appreciation for the design, but said the problem was being caused by wanting a deck in the rear and a patio in the front both of which exceed what the ordinance would allow. He said that given the request for both he was unable to find a hardship.

Vice-Chair Canvasser said he would also not support the motion, noting that the appellant acknowledged that there were a number of possible configurations that

would either mitigate or eliminate the need for a variance. He also noted that once the impervious surface is removed in the front, requesting to replace it in an amount that still exceeds the ordinance becomes an issue of self-creation. He stated that strict compliance would not restrict owner from using the property for its permitted purpose.

Mr. Rodriguez concurred with Mr. Morganroth and Vice-Chair Canvasser.

Motion carried, 4-3.

ROLL CALL VOTE

Yeas: Reddy, Miller, Lilley, Hart

Nays: Morganroth, Canvasser, Rodriguez

**3) 1135 Maryland
Appeal 21-34**

ABO Zielke presented the item, explaining that the owner of the property known as 1135 Maryland was requesting the following variances to construct an addition to an existing non-conforming single-family home:

A. Chapter 126, Article 2.06.2 of the Zoning Ordinance requires that the minimum front yard setback is the average setback of homes with 200 feet in each direction. The required front yard setback is 43.03 feet. The existing and proposed is 40.20 feet. Therefore; a variance of 2.83 feet is being requested.

B. Chapter 126, Article 4.30(C)(1) of the Zoning Ordinance allows covered or uncovered porches and/or steps to project into the required front open space for a maximum distance of 10.00 feet. The proposed is 13.50 feet, Therefore; a variance of 3.50 feet is being requested.

ABO Zielke continued that the original home was constructed in 1941. There was an addition constructed to the home in 1996.

Chris Morgan, builder, reviewed the letter describing why these variances were being sought. The letter was included in the evening's agenda packet.

Motion by Mr. Miller

Seconded by Mr. Lilley with regard to Appeal 21-34, A. Chapter 126, Article 2.06.2 of the Zoning Ordinance requires that the minimum front yard setback is the average setback of homes with 200 feet in each direction. The required front yard setback is 43.03 feet. The existing and proposed is 40.20 feet. Therefore; a variance of 2.83 feet is being requested; and, B. Chapter 126, Article 4.30(C)(1) of the Zoning Ordinance allows covered or uncovered porches and/or steps to project into the required front open space for a maximum distance of 10.00 feet. The proposed is 13.50 feet, Therefore; a variance of 3.50 feet is being requested.

Mr. Miller moved to approve the variances and tied them to the plans as submitted. He explained that both variance requests stemmed from the existing home not being in the zoning envelope. He stated that granting the variances would do substantial justice to the neighborhood.

Motion carried, 7-0.

ROLL CALL VOTE

Yeas: Miller, Lilley, Hart, Morganroth, Canvasser, Rodriguez, Reddy

Nays: None

**4) 375 Lakepark
Appeal 21-36**

ABO Zielke presented the item, explaining that the owner of the property known as 375 Lakepark was requesting the following variances to construct an addition to an existing non-conforming single-family home:

A. Chapter 126, Article 2.06.2 of the Zoning Ordinance requires that the minimum front yard setback is the average setback of homes with 200 feet in each direction. The required front yard setback is 45.50 feet. The proposed is 43.60 feet. Therefore; a variance of 1.90 feet is being requested.

B. Chapter 126, Article 4.75(B)(1) of the Zoning Ordinance required that no individual dormer may exceed 8.00 feet in width as measured to the interior dimension. The existing is 16.75 feet. The proposed 11.33 feet, Therefore; a variance of 3.33 feet is being requested.

ABO Zielke continued that the original home was constructed in 1926 and had an addition in 2003. The applicant was in front of the board in July 2021 (see draft minutes from July). The applicant reworked the existing plan due to the denial of the previous appeal.

Ben Heller, builder, reviewed the letter describing why these variances were being sought. The letter was included in the evening's agenda packet.

Motion by Mr. Reddy

Seconded by Mr. Morganroth with regard to Appeal 21-36, A. Chapter 126, Article 2.06.2 of the Zoning Ordinance requires that the minimum front yard setback is the average setback of homes with 200 feet in each direction. The required front yard setback is 45.50 feet. The proposed is 43.60 feet. Therefore; a variance of 1.90 feet is being requested; and, B. Chapter 126, Article 4.75(B)(1) of the Zoning Ordinance required that no individual dormer may exceed 8.00 feet in width as measured to the interior dimension. The existing is 16.75 feet. The proposed 11.33 feet, Therefore; a variance of 3.33 feet is being requested.

Mr. Reddy moved to approve the variance and tied them to the plans as submitted. He offered that asking the appellant to comply with the ordinances in this case would be unnecessarily burdensome. He noted that the home was built before the current zoning requirements. He also noted that variance request B would reduce the existing nonconformity.

Mr. Morganroth stated that the architect took the Board's prior feedback and made a porch that the ordinance allows for. He said that the widening of the front does not increase the non-conformity. He continued that due to the condition of the lot, the neighbors, and the age of the home, expanding laterally makes sense for this home. He noted that the current dormer was larger than permitted by current ordinance, and that these plans would reduce the dormer and would fix a maintenance issue at the same time. He said it would do substantial justice to the homeowner and was a reasonable request.

Mr. Miller stated that there would be no negative impacts from this plan to the neighbors or neighborhood. He said it would do substantial justice to neighborhood.

Motion carried, 7-0.

ROLL CALL VOTE

Yeas: Reddy, Morganroth, Canvasser, Rodriguez, Miller, Lilley, Hart

Nays: None

T# 08-45-21

5. Correspondence

Included in the agenda packet.

T# 08-46-21

6. General Business

T# 08-47-21

7. Open To The Public For Matters Not On The Agenda

None.

T# 08-48-21

8. Adjournment

Motion by Mr. Lilley

Seconded by Vice-Chair Canvasser to adjourn the August 10, 2021 BZA meeting at 9:27 p.m.

Motion carried, 7-0.

ROLL CALL VOTE

Yeas: Hart, Morganroth, Canvasser, Rodriguez, Miller, Reddy, Lilley

Nays: None



Bruce R. Johnson, Building Official

CASE DESCRIPTION

34660 Woodward Ave (22-37)

Hearing date: August 9th, 2022

Appeal No. 22-37: The owner of the property known 34660 Woodward Ave, Village Players, requests the following variance to have a mural painted on the side of their building.

- A. Article 9, Section 9.02 *Definitions* of the Zoning Ordinance defines Wall Art as an artistic design applied to the exterior surface of a structure in a permanent or temporary manner. The location of wall art is limited to elevations of structures facing the side or rear lot line within the defined Rail District boundary, side elevations with a 0 foot setback in the Triangle District and Downtown Overlay District, and elevations facing a public or private alley, passage, or via in the Downtown Overlay and the Triangle District as specified in the Via Activation Overlay District. Wall art is only permitted in compliance with Chapter 126, the City of Birmingham Zoning Ordinance Article 7, Section 7.41 – 7.44. Wall art is not permitted on a building facing an alley, passage or via that any of which abuts a single-family residential zoned property.

The applicant is proposing a mural on the side elevation of their building facing Woodward Avenue which is setback 92 feet from the side lot line, therefore a dimensional variance of 92 feet is being requested.

Staff Notes: The Wall Art definition was adopted in December of 2021. The purpose of the definition is to delineate proposed wall art from signage. The proposed language originally began with alley locations only. Permissible locations were expanded to the Rail District and blank walls on side elevations in the Downtown Overlay and Triangle District after review by the Design Review Board and the Planning Board. The Zoning Ordinance has glazing requirements for most building elevations unless they are on a side setback where another building may be built beside it. The 0 foot side set back provision was included in the Wall Art definition as a way to activate the side of buildings that by the building code are required to be without windows.

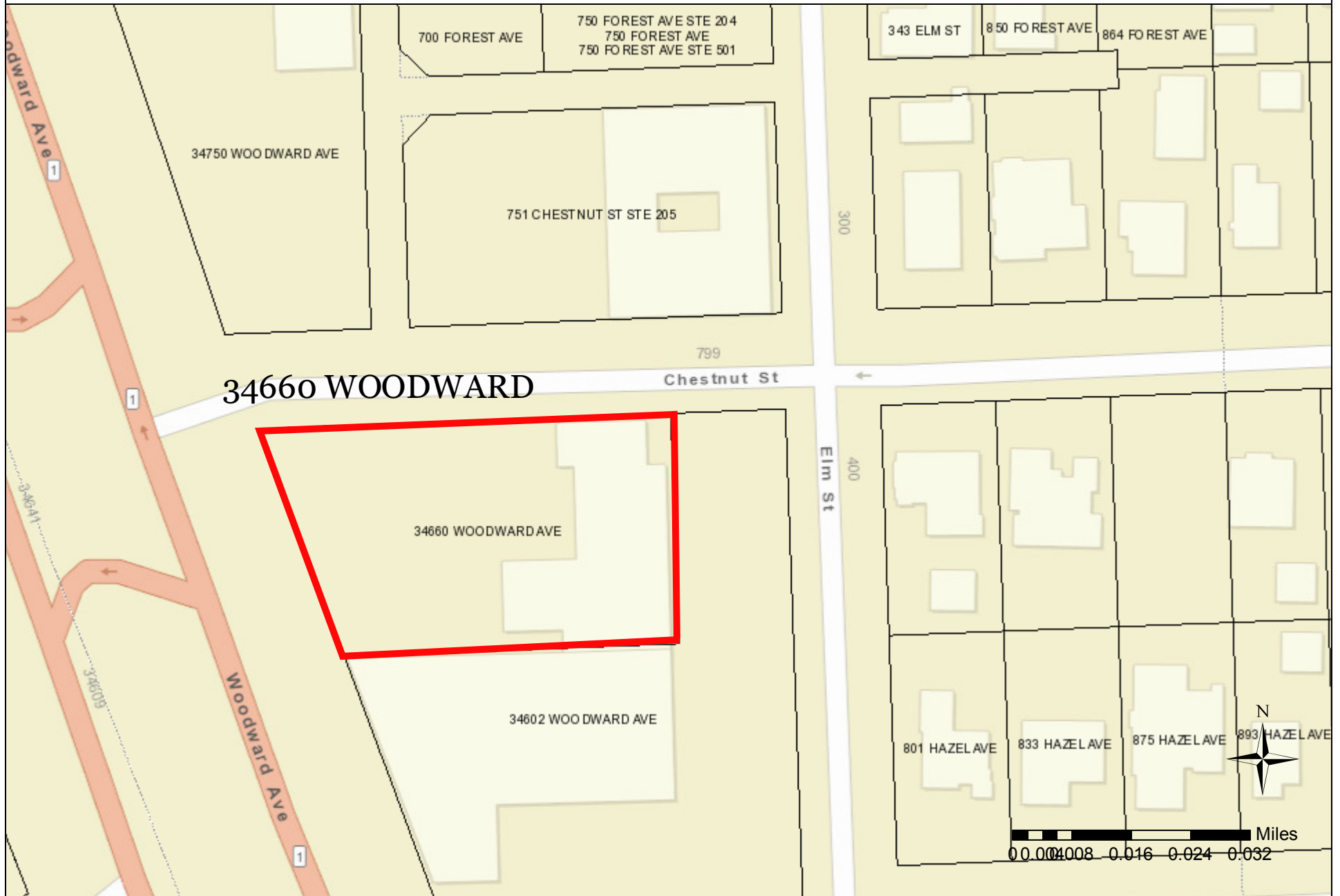
On May 18th, 2022, the applicant appeared before the Public Arts Board for preliminary design review. The Public Arts Board (PAB) recommended denial to the Design Review Board of the proposed mural. The PAB was not opposed to the art, The Board cited wanting to stay within the limitations of the new ordinance as the reason for the recommendation of denial. They did not want to push the envelope of permissible mural locations after having recently gained approval for a proposed ordinance amendment.

On June 15th, 2022, the applicant appeared before the Design Review Board for final design review. The Design Review Board motioned to recommend approval of the proposed mural with the condition that the applicant obtain a variance from the Board of Zoning Appeals. The Design Review Board discussed how the age and placement of the building prevented it from satisfying the Ordinance requirements, and how allowing an applicant to cover a large blank wall facing Woodward Ave with enhanced art appeared to meet the intent of the Wall Art Ordinance.

The property is zoned B-2 Business and MU-5 in the Triangle District Overlay Zone.

Brooks Cowan
Senior Planner

34660 WOODWARD MAP



CITY OF BIRMINGHAM
Community Development - Building Department
151 Martin Street, Birmingham, MI 48009
Community Development: 248-530-1850
Fax: 248-530-1290 / www.bhamgov.org

APPLICATION FOR THE BOARD OF ZONING APPEALS

Application Date: 7.8.22

Hearing Date: 8-9-22

Received By: ROM

Appeal #: 22-87

Type of Variance:	<input type="checkbox"/> Interpretation	<input checked="" type="checkbox"/> <u>Dimensional</u>	<input type="checkbox"/> Land Use	<input type="checkbox"/> Sign	<input type="checkbox"/> Admin Review
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I. PROPERTY INFORMATION:

Address: 34660 Woodward Ave.	Lot Number: See Attached	Sidwell Number: 19-36-230-004
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II. OWNER INFORMATION:

Name: Birmingham Village Players - Eileen White, President			
Address: 34660 Woodward Ave.	City: Birmingham	State: MI	Zip code: 48009
Email: * EILEENWHITE@WOWWAY.COM		Phone: (586) 872-6558	

III. PETITIONER INFORMATION:

Name: Greg Ruvalo	Firm/Company Name: Birmingham Village Players		
Address: 34660 Woodward Ave.	City: Birmingham	State: MI	Zip code: 48009
Email: GRUVOLO@GMAIL.COM		Phone: (248) 224-6700	

IV. GENERAL INFORMATION:

The Board of Zoning Appeals typically meets the second Tuesday of each month. Applications along with supporting documents must be submitted on or before the 12th day of the month preceding the next regular meeting. Please note that incomplete applications will not be accepted.

To insure complete applications are provided, appellants must schedule a pre-application meeting with the Building Official, Assistant Building Official and/or City Planner for a preliminary discussion of their request and the documents that will be required to be submitted. Staff will explain how all requested variances must be highlighted on the survey, site plan and construction plans. Each variance request must be clearly shown on the survey and plans including a table as shown in the example below. All dimensions to be shown in feet measured to the second decimal point.

The BZA application fee is **\$360.00** for single family residential; **\$560.00** for all others. This amount includes a fee for a public notice sign which must be posted at the property at least 15-days prior to the scheduled hearing date.

Variance Chart Example

Requested Variances	Required	Existing	Proposed	Variance Amount
Variance A, Front Setback	25.00 Feet	23.50 Feet	23.50 Feet	1.50 Feet
Variance B, Height	30.00 Feet	30.25 Feet	30.25 Feet	0.25 Feet

V. REQUIRED INFORMATION CHECKLIST:

- ☒ One original and nine copies of the signed application
- ☒ One original and nine copies of the signed letter of practical difficulty and/or hardship
- ☒ One original and nine copies of the certified survey
- ☒ 10 folded copies of site plan and building plans including existing and proposed floor plans and elevations
- ☒ If appealing a board decision, 10 copies of the minutes from any previous Planning, HDC, or DRB board meeting

VI. APPLICANT SIGNATURE

Owner hereby authorizes the petitioner designated below to act on behalf of the owner.

By signing this application, I agree to conform to all applicable laws of the City of Birmingham. All information submitted on this application is accurate to the best of my knowledge. Changes to the plans are not allowed without approval from the Building Official or City Planner.

*By providing your email to the City, you agree to receive news and notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner: Eileen White

Date: 6/24/2022

Signature of Petitioner: Greg Ruvalo

Date: 6/24/2022



July 6, 2022

City of Birmingham
Board of Zoning Appeals
151 Martin Street
Birmingham, MI 48009

Dear Board of Zoning Appeals:

Please let us introduce ourselves. We are Village Players, which started productions in 1923 at the Birmingham Community House. We are one of the nation's oldest continuously operating community theaters in the U.S., and Birmingham's only live theater experience. As we prepare to celebrate our 100th season, we have many milestone activities planned for the year.

The Village Player's Theater was built in the late 1920's after the land was purchased in 1926. The building was designed by famed architect Wallace Frost. The front of the building is located at 752 Chestnut Street, which still remains but we now have a Woodward Ave. mailing address. Additionally, although it can't be verified, officials advised at the time of the construction, that the parking lot should border Woodward Avenue (as it sits today).

Village Players would like to install the attached mural on the west-facing wall (parking lot side) of the building. We feel this mural is tasteful and demonstrates the type of activities and use housed within the building to the public. We believe the mural is in the spirit and intent of the ordinance.

Village Players is requesting a 92-foot setback variance based on the following hardship:

The issue is not self-created. The concern is due to the unique circumstance of the historical positioning of the building on the property. The layout and configuration of the building would more than likely be considerably different if it were built today rather than almost 100 years ago. Additionally, when the Audi dealership expansion was approved and completed, it blocked visibility to the Village Players theatre. The proposed mural would identify Village Players as a "community" theater and bring awareness to our existence.

Birmingham Village Players
34660 Woodward Ave., Birmingham, MI 48009
(248) 644-2075 • birminghamvillageplayers.com



Strict compliance with the ordinance would unreasonably prevent Village Players from using the property for an otherwise permitted purpose (the installation of a mural).

The surrounding properties, as well as the community as a whole, would benefit by approving the variance request. The mural would identify, to the patrons and the community at large, the purpose and type of activity that operates within the building and the wall art would help people locate our theatre with ease. It would also beautify a plain white wall and brings character to a stark concrete surface.

Type of Variance: Dimensional

Lot #: T2N, R10E, SEC 36 CAMPBELL'S SUB LOT 1 EXC THAT PART TAKEN FOR HWY, ALSO 1/2 OF VAC ALLEY ADJ TO SAME, ALSO ALL OF VAC PALM ST ADJ TO SAME BLK 6, ALSO ALL OF LOTS 2 & 3, ALSO 1/2 OF VAC ALLEY ADJ TO SAME BLK 7 4-12-93 FR 001 & 002

Sidwell #: 19-36-230-004

Based on this information, we respectfully ask the Board of Zoning Appeals to grant our request of a 92-foot setback variance to install a wall art mural that would bring beauty and visibility to our building and enhance our shared community. Our hope is that your affirmative action will be the start of another positive and entertaining 100 years.

Respectfully,

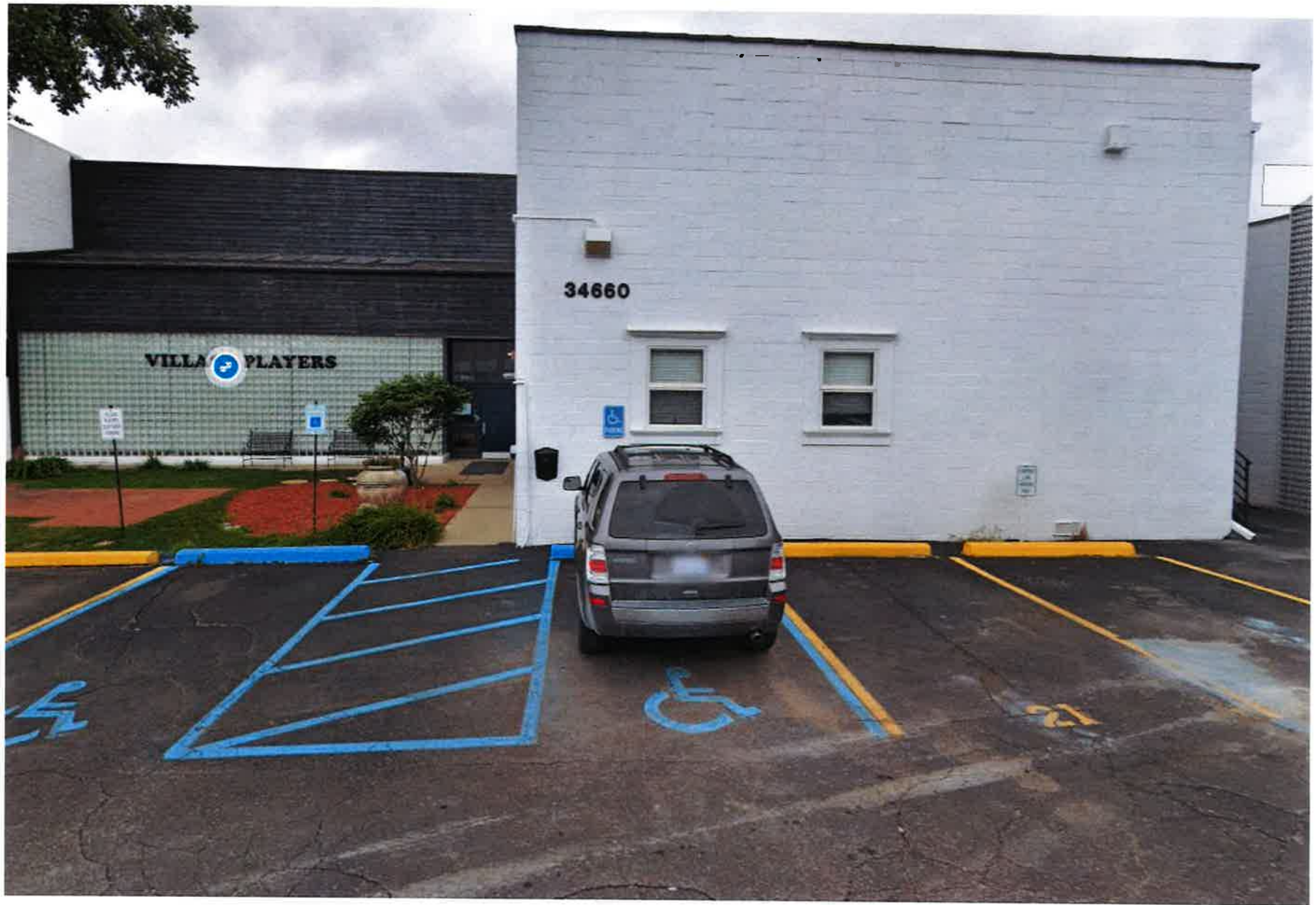
Greg Ruvolo
Birmingham Village Players
Board of Directors, President-Elect

Birmingham Village Players
34660 Woodward Ave., Birmingham, MI 48009
(248) 644-2075 • birminghamvillageplayers.com



Proposed state of mural wall

Birmingham Village Players – 34660 Woodward Ave., Birmingham, MI 48009
(Address numbers would be painted in white on the upper-left corner of wall)



Current state of mural wall

Birmingham Village Players – 34660 Woodward Ave., Birmingham, MI 48009

Public Arts Board Minutes

Public Meeting – May 18th, 2022

A. Roll Call:

Members Present: Monica Neville, Annie VanGelderens, Jason Eddleston, Natalie Bishae,

Members Absent: Barbara Heller, Anne Ritchie, Jane Schulak

Administration: Brooks Cowan, Senior Planner

B. Approval of Minutes – March 16th, 2022

A motion to approve minutes was made by Annie VanGelderens, seconded by Natalie Bishae.

Yeas: 4 Nays: 0

The motion carried.

C. New Business

1. Wall Art Application – 34660 Woodward – Village Players

The Public Arts Board reviewed an application for wall art on the frontage of a building facing west towards Woodward Avenue. Staff discussed how the wall art ordinance does not permit murals on the front of buildings. Murals in the Triangle District are only allowed to face an alley or be on the side of a building along a 0 foot setback where windows are not allowed due to fire code.

Staff discussed how the Public Arts Board could recommend approval to the Design Review Board with the condition that the applicant obtain a variance from the Board of Zoning Appeals. The Public Arts Board asked for clarification on the frontage of the building and whether it was Woodward Ave or Chestnut. Staff indicated that they went by the address of the building for the frontage, and indicated that even if the proposed wall facing Woodward Ave was the side, it would not satisfy the Ordinance requirement given that it was setback over 30 feet from the lot line.

The Public Arts Board discussed how they recently had the wall art ordinance approved, and did not want to push the limits of what should be allowed. The Public Arts Board wants to support art where they can, however in regards to the mural proposal before them, the Board wanted to stick to the confines of the Ordinance and not push the limits of what is allowed.

A motion to recommend denial of the proposed mural to the Design Review Board was made by Anne VanGelderren, seconded by Monica Neville.

Yeas: 4

Nays: 0

The motion carried.

APPROVED

Design Review Board
Minutes Of June 15, 2022

151 Martin Street, City Commission Room 205, Birmingham, MI

Minutes of the regular meeting of the Design Review Board ("DRB") held Wednesday, June 15, 2022. Chair John Henke called the meeting to order at 8:19 p.m.

1) Rollcall

Present: Chair John Henke; Board Members Natalia Dukas, Dustin Kolo, Patricia Lang, Michael Willoughby; Alternate Board Member Samantha Cappello

Absent: Board Members Keith Deyer, Julie Rasawehr; Alternate Board Member Kathleen Kriel

Administration: Nicholas Dupuis, Planning Director
Laura Eichenhorn, City Transcriptionist

2) Approval of the DRB Minutes of May 18, 2022

To be approved at the next meeting.

3) Public Hearing

4) Design Review

A. 34660 Woodward – Village Players – Request for Wall Art

PD Dupuis presented the item.

~~Eileen White, President of the Birmingham Village Players Board of Trustees (BVPBOT);~~ Sallie Savoie of the Birmingham Village Players Board of Directors said the main entrance is on Chestnut and the side door is on Woodward. She explained that this wall art would be a part of celebrating the Birmingham Village Players' hundredth year anniversary.

Mr. Kolo and Ms. Lang concurred that the Chestnut entrance is the front entrance.

PD Dupuis noted that in the Triangle District wall art has to be at the side setback at the zero foot line. He said that while the Woodward side may be the side setback, it would not be at the zero foot line. He said the applicant might have a hardship based on the placement of the building, that they may face the side setback, and that their proposal may meet the spirit and intent of the ordinance. He said he was bringing the proposal before the DRB for those reasons.

In reply to Mr. Kolo, PD Dupuis stated that nothing in the ordinance prevents wall art from facing Woodward or a main right-of-way.

PD Dupuis explained that, if the motion were made as suggested, the approval from the DRB would only go into effect if a variance were granted by the Board of Zoning Appeals (BZA).

06-19-22

Motion by Ms. Lang

Seconded by Ms. Cappello to approve the Wall Art application for 34660 Woodward – Village Players – with the following condition:

- 1. The applicant must obtain a variance from the Board of Zoning Appeals for the placement of the Wall Art.**

One of the representatives of the BVPBOT said it was his understanding after talking with City Attorney Kucharek that the DRB could approve the project outright, with no need to go to the BZA. He asked if the DRB might be willing to amend their motion based on that understanding, and said they would be willing to proceed to the BZA if it turned out to be necessary.

Chair Henke said he would just as soon leave the motion as-is, and said the DRB could re-address the issue if CA Kucharek confirmed that to be the case.

Motion carried, 6-0.

VOICE VOTE

Yeas: Cappello, Lang, Dukas, Kolo, Henke, Willoughby

Nays: None



Nicholas Dupuis
Planning Director



Laura Eichenhorn
City Transcriptionist

CASE DESCRIPTION

766 Chesterfield

Hearing date: August 9, 2022

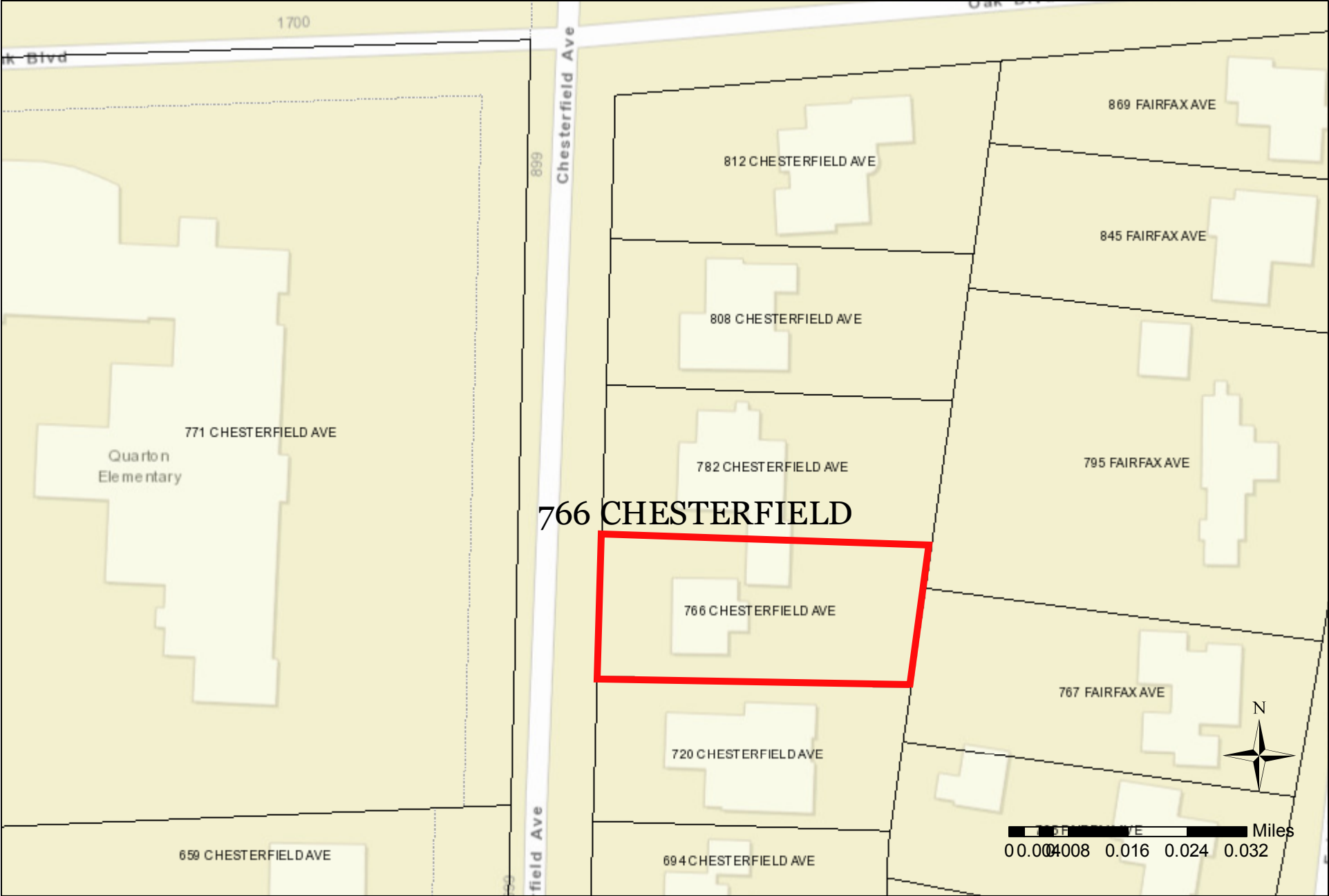
Appeal No. 22-38: The owner of the property known **766 Chesterfield**, requests the following variance to construct a new single-family home:

- A. Chapter 126, Article 2, Section 2.06.2 of the Zoning Ordinance requires that the minimum front yard setback is the average of homes within 200.00 feet in each direction. The required is 47.70 feet. The proposed is 40.00 feet, therefore, a variance of 7.70 feet is being requested.
- B. Chapter 126, Article 4, Section 4.30(C)(1) of the Zoning Ordinance permits covered or uncovered porches to project into the required front open space for a maximum of 10.00 feet. The proposed is 16.70 feet, therefore, a variance of 6.70 feet is being requested.

Staff Notes: The applicant is looking to construct a new single family home.

This property is zoned R1 – Single family residential.

766 CHESTERFIELD MAP



CITY OF BIRMINGHAM
Community Development - Building Department
151 Martin Street, Birmingham, MI 48009
Community Development: 248-530-1850
Fax: 248-530-1290 / www.bhamgov.org

APPLICATION FOR THE BOARD OF ZONING APPEALS

Application Date: 7.12.22

Hearing Date: 8.9.22

Received By: UT

Appeal #: 22.38

Type of Variance:	<input type="checkbox"/> Interpretation	<input checked="" type="checkbox"/> Dimensional	<input type="checkbox"/> Land Use	<input type="checkbox"/> Sign	<input type="checkbox"/> Admin Review
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I. PROPERTY INFORMATION:

Address: <u>766 CHESTERFIELD</u>	Lot Number: <u>28</u>	Sidwell Number:
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II. OWNER INFORMATION:

Name: <u>DAVID SCHMERIN</u>			
Address: <u>1697 NORFOLK</u>	City: <u>BIRMINGHAM</u>	State: <u>MI</u>	Zip code: <u>48009</u>
Email: <u>DAVID@BINGHAMLLC.COM</u>		Phone: <u>248-505-8811</u>	

III. PETITIONER INFORMATION:

Name: <u>DAVID SCHMERIN</u>		Firm/Company Name: <u>BINGHAM DEVELOPMENTS</u>	
Address: <u>1697 NORFOLK</u>	City: <u>BIRMINGHAM</u>	State: <u>MI</u>	Zip code: <u>48009</u>
Email: <u>DAVID@BINGHAMLLC.COM</u>		Phone: <u>248-505-8811</u>	

IV. GENERAL INFORMATION:

The Board of Zoning Appeals typically meets the second Tuesday of each month. Applications along with supporting documents must be submitted on or before the 12th day of the month preceding the next regular meeting. Please note that incomplete applications will not be accepted.

To insure complete applications are provided, appellants must schedule a pre-application meeting with the Building Official, Assistant Building Official and/or City Planner for a preliminary discussion of their request and the documents that will be required to be submitted. Staff will explain how all requested variances must be highlighted on the survey, site plan and construction plans. Each variance request must be clearly shown on the survey and plans including a table as shown in the example below. All dimensions to be shown in feet measured to the second decimal point.

The BZA application fee is \$360.00 for single family residential; \$560.00 for all others. This amount includes a fee for a public notice sign which must be posted at the property at least 15-days prior to the scheduled hearing date.

Variance Chart Example

Requested Variances	Required	Existing	Proposed	Variance Amount
Variance A, Front Setback	25.00 Feet	23.50 Feet	23.50 Feet	1.50 Feet
Variance B, Height	30.00 Feet	30.25 Feet	30.25 Feet	0.25 Feet

V. REQUIRED INFORMATION CHECKLIST:

- ☐ One original and nine copies of the signed application
- ☐ One original and nine copies of the signed letter of practical difficulty and/or hardship
- ☐ One original and nine copies of the certified survey
- ☐ 10 folded copies of site plan and building plans including existing and proposed floor plans and elevations
- ☐ If appealing a board decision, 10 copies of the minutes from any previous Planning, HDC, or DRB board meeting

VI. APPLICANT SIGNATURE

Owner hereby authorizes the petitioner designated below to act on behalf of the owner.

By signing this application, I agree to conform to all applicable laws of the City of Birmingham. All information submitted on this application is accurate to the best of my knowledge. Changes to the plans are not allowed without approval from the Building Official or City Planner.

*By providing your email to the City, you agree to receive news and notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner: David Schmerin

Date: 7/12/22

Signature of Petitioner: David Schmerin

Date: 7/12/22

**CITY OF BIRMINGHAM
BOARD OF ZONING APPEALS
RULES OF PROCEDURE**

ARTICLE I - Appeals

- A. Appeals may be filed under the following conditions:
1. A property owner may appeal for variance, modification or adjustment of the requirements of the Zoning Ordinance.
 2. A property owner may appeal for variance, modification or adjustment of the requirements of the Sign Ordinance.
 3. Any aggrieved party may appeal the decision of the Planning Board and/or the Building Official in accordance with the City of Birmingham Zoning Ordinance, Article Eight, Section 8.01 (D) Appeals. If an appellant requests a review of any determination of the Building Official, a complete statement setting forth the facts and reasons for the disagreement with the Building Official's determination shall include the principal point, or points on the decision, order or section of the ordinance appealed from, on which the appeal is based.
- B. Procedures of the Board of Zoning Appeals (BZA) are as follows:
1. Regular BZA meetings, which are open to the public, shall be held on the second Tuesday of the month at 7:30 P.M. provided there are pending appeals. There will be a maximum of seven appeals heard at the regular meeting which are taken in the order received. If an appeal is received on time after the initial seven appeals have been scheduled, it will be scheduled to the next regular meeting.
 2. All applications for appeal shall be submitted to the Community Development Department on or before the 12th day of the month preceding the next regular meeting. If the 12th falls on a Saturday, Sunday, or legal holiday, the next working day shall be considered the last day of acceptance.
 3. All property owners and occupants within 300 feet of the subject property will be given written notice of a hearing by the City of Birmingham.
 4. See the application form for specific requirements. If the application is incomplete, the BZA may refuse to hear the appeal. The Building Official or City Planner may require the applicant to provide additional information as is deemed essential to fully advise the Board in reference to the appeal. Refusal or failure to comply shall be grounds for dismissal of the appeal at the discretion of the Board.
 5. In variance requests, applicants must provide a statement that clearly sets forth all special conditions that may have contributed to a practical difficulty that is preventing a reasonable use of the property.

6. Where the Birmingham Zoning Ordinance requires site plan approval of a project by the City Planning Board before the issuance of a building permit, applicants must obtain preliminary site plan approval by the Planning Board before appeal to the BZA for a variance request. If such appeal is granted by the BZA, the applicant must seek final site plan and design review approval from the Planning Board before applying for a building permit.
 7. An aggrieved party may appeal a Planning Board decision. Such appeal must be made within 30 days of the date of the decision. The BZA, in its discretion, may grant additional time in exceptional circumstances.
 8. Appeals from a decision of the Building Official shall be made within 30 days of the date of the order, denial of permit, or requirement or determination contested. The BZA, in its discretion, may grant additional time in exceptional circumstances.
 9. An appeal stays all proceedings in accordance with Act #110, Public Acts of 2006, Article VI, Section 125.3604 (3).
- C. The order of hearings shall be:
1. Presentation of official records of the case by the Building Official or City Planner as presented on the application form.
 2. Applicant's presentation of his/her case—the applicant or his/her representative must be present at the appeal hearing.
 3. Interested parties' comments and view on the appeal.
 4. Rebuttal by applicant.
 5. The BZA may make a decision on the matter or request additional information.
- D. Motions and Voting
1. A motion is made to either grant or deny a petitioner's request
 - a) For a motion to grant or deny a non-use variance request, the motion must receive four (4) affirmative votes to be approved.
 - b) For a motion to grant or deny a use variance request, the motion must receive five (5) affirmative votes to be approved.
 - c) For a motion to grant or deny an appeal of a decision or order by an administrative official or board, the motion must receive four (4) affirmative votes to be approved.
 2. When a motion made is to approve or deny a petitioner's request and if there is a tie vote, then the vote results in no action by the board and the petitioner shall be given an opportunity to have his or her request heard the next regularly scheduled meeting when all the members are present.
-

3. When there are less than seven (7) members of the board present for a meeting, then a petitioner requesting a use variance shall be given an opportunity at the beginning of the meeting to elect to have it heard at the next regularly scheduled meeting.
4. When there are less than six (6) members present for a meeting, then all petitioners shall be given an opportunity at the beginning of the meeting to elect to have the request heard at the next regularly scheduled meeting.

ARTICLE II - Results of an Appeal

- A. The Board may reverse, affirm, vary or modify any order, requirement, decision or determination as in its opinion should be made, and to that end, shall have all the powers of the officer from whom the appeal has been taken.
- B. The decisions of the Board shall not become final until the expiration of five (5) days from the date of entry of such orders or unless the Board shall find that giving the order immediate effect is necessary for the preservation of property and/or personal rights and shall so certify on the record.
- C. Whenever any variation or modification of the Zoning Ordinance is authorized by resolution of the BZA, a Certificate of Survey must be submitted to the Community Development Department with the building permit application. A building permit must be obtained within one year of the approval date.
- D. Failure of the appellant, or his representative, to appear for his appeal hearing will result in the appeal being adjourned to the next regular meeting. If, after notice, the appellant fails to appear for the second time, it will result in an automatic withdrawal of the appeal. The appellant may reapply to the BZA.
- E. Any applicant may, with the consent of the Board, withdraw his application at any time before final action.
- F. Any decision of the Board favorable to the applicant is tied to the plans submitted, including any modifications approved by the Board at the hearing and agreed to by the applicant, and shall remain valid only as long as the information or data provided by the applicant is found to be correct and the conditions upon which the resolution was based are maintained.

ARTICLE III - Rehearings

- A. No rehearing of any decision of the Board shall be considered unless new evidence is submitted which could not reasonably have been presented at the previous hearing or unless there has been a material change of facts or law.
-

B. Application or rehearing of a case shall be in writing and subject to the same rules as an original hearing, clearly stating the new evidence to be presented as the basis of an appeal for rehearing.

I certify that I have read and understand the above rules of procedure for the City of Birmingham Board of Zoning Appeals.



Signature of Applicant

B
BINGHAM
DEVELOPMENT

July 12, 2022

City of Birmingham
Board of Zoning Appeals

Re: 766 Chesterfield
Birmingham, MI 48009

To whom it may concern:

We are requesting a 7.7' variance of the front yard setback for the construction of a new home on the above referenced address. When calculating the "average setback", we found that the typical front yard setback was 40.0'. However, we discovered that the home located three (3) doors down to the north, at the corner of Chesterfield & Oak, had a front yard setback of 86.4'. As such, the "average setback" was calculated to be 47.7', which is 7.7' further back than the adjoining homes.

As such, we are requesting a variance to allow us to construct the new home using the setback distance of 40.0'.

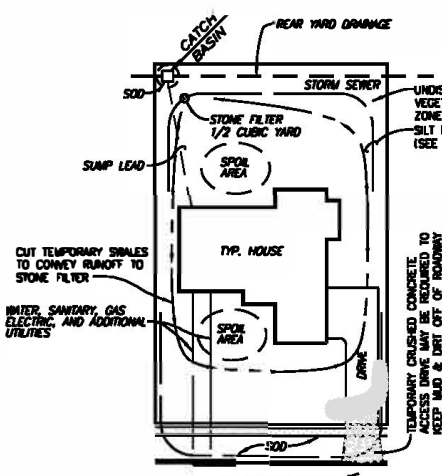
Sincerely,


David Schmerin

401 S. Old Woodward, Suite 470, Birmingham, MI 48009

248 505-8811

www.binghamllc.com

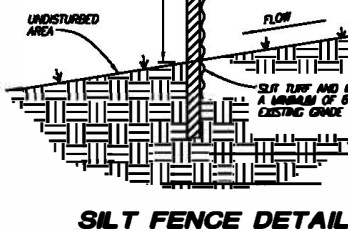


NOTE:

NOTIFY COUNTY 48 HOURS PRIOR TO EROSION OF INCIDENT

SEQUENCE OF CONSTRUCTION

1. CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
2. EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED THROUGHOUT THE CONSTRUCTION. THE SILT FENCE AND TEMPORARY SLOPES SHALL BE MAINTAINED.
3. THE TEMPORARY SLOPES SHALL BE MAINTAINED AND PROTECTED THROUGHOUT THE CONSTRUCTION. THE SILT FENCE AND TEMPORARY SLOPES SHALL BE MAINTAINED.
4. THE TEMPORARY SLOPES SHALL BE MAINTAINED AND PROTECTED THROUGHOUT THE CONSTRUCTION. THE SILT FENCE AND TEMPORARY SLOPES SHALL BE MAINTAINED.
5. DIRECT SURFACE RUN-OFF TOWARDS CENTER OF SILT FENCE.
6. ALLOW OPENING IN SILT FENCE FOR CONSTRUCTION TRAFFIC.
7. PRIOR TO FINAL GRADING, THE ENTIRE PERIMETER OF THE LOT SHALL BE GRADED TO A MINIMUM OF 1% SLOPE AWAY FROM THE LOT. THE SLOPE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION.
8. AFTER COMPLETION OF THE PROJECT, THE ENTIRE PERIMETER OF THE LOT SHALL BE GRADED TO A MINIMUM OF 1% SLOPE AWAY FROM THE LOT. THE SLOPE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION.



SOIL EROSION DETAILS

(NO SCALE)

ATTENTION BUILDERS/CONTRACTORS

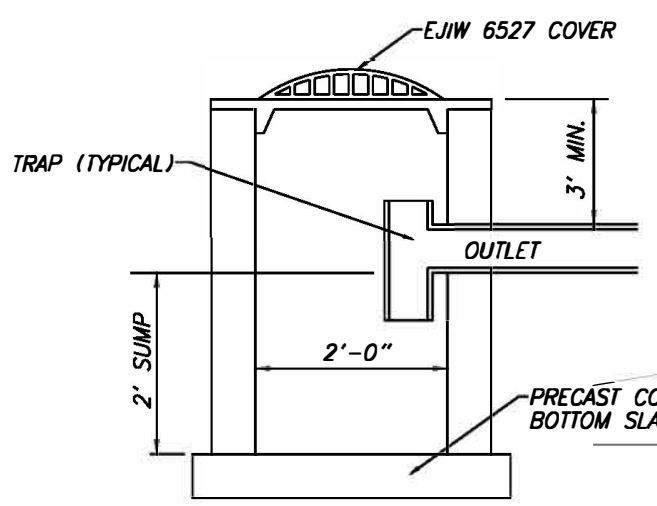
1. THIS DRAWING IS NOT INTENDED TO REPRESENT A BOUNDARY OR LOT SURVEY, AND SHOULD NOT BE USED TO ESTABLISH PROPERTY LINES OR LOCATE IMPROVEMENTS.
2. U.L.C. ASSUMES NO RESPONSIBILITY FOR THE GIVEN BUILDING DIMENSIONS. DIMENSIONS MUST BE VERIFIED BY OWNER/BUILDER PRIOR TO CONSTRUCTION.
3. THIS PLAN SHALL NOT BE USED TO SET FOUNDATIONS. ARCHITECTURAL PLANS MUST BE USED FOR CONSTRUCTION OF FOUNDATION.
4. UPON ACCEPTANCE AND SUBMITTAL OF THIS PLAN FOR PERMITS, THE OWNER/BUILDER ACKNOWLEDGES HE HAS REVIEWED THE PLAN, AND THAT IT MEETS THE ESTABLISHED REQUIREMENTS.
5. APPROVAL OF THIS PLOT PLAN DOES NOT RELIEVE THE OWNER/BUILDER OF COMPLIANCE WITH ALL CODES AND ORDINANCES THAT SHALL APPLY.
6. SETBACKS SHOWN ON THIS DRAWING HAVE BEEN OBTAINED FROM THE MUNICIPALITY. ANY DEED OR SPECIAL RESTRICTIONS - (i.e. SUBDIVISION RESTRICTIONS, HOUSE SIZE, BUILDING LOCATION, etc.) MUST BE SUPPLIED TO U.L.C. IN WRITING WHEN PLOT PLAN IS ORDERED. U.L.C. WILL NOT BE RESPONSIBLE FOR INTERPRETING SUBDIVISION RESTRICTIONS.
7. U.L.C. RECOMMENDS A 50' EXTRA ALLOWANCE TO ALL MINIMUM SETBACKS. WHERE THE OWNER / BUILDER DOES NOT FOLLOW THIS RECOMMENDATION, THE OWNER / BUILDER AGREES TO HOLD U.L.C. HARMLESS FOR STRUCTURE ENCROACHMENT (S) INTO THE MINIMUM SETBACK.
8. UTILITY LEAD LOCATIONS AS SHOWN ARE APPROXIMATE. AS-BUILT LOCATIONS MUST BE OBTAINED FROM THE LOCAL MUNICIPALITY.

TOPOGRAPHY LEGEND

- WATER MAIN
- STORM SEWER
- SANITARY SEWER
- EASEMENT
- EX. U.G. ELEC.
- EX. O.H. WIRES
- EX. U.G. TELE.
- EX. U.G. GAS
- ROUND CATCH BASIN
- SQUARE CATCH BASIN
- UTILITY MANHOLE
- STORM MANHOLE
- END OF PIPE
- SANITARY MANHOLE
- CLEAN-OUT
- MANHOLE
- HYDRANT
- WATER VALVE WELL
- WATER VALVE
- WATER BOX
- VALVE
- LIGHT POLE
- AIR CONDITIONER
- MAIL BOX
- FENCE POST
- DOWN SPOUT
- SOIL BORING
- ELEC. TRANS. PAD
- UTILITY POLE
- GUY ANCHOR
- GUY POLE
- SIGN POST
- SPRINKLER HEAD
- GAS METER
- TELEPHONE RISER
- ELECTRICAL RISER
- CABLE TV RISER
- FINISHED FLOOR
- ORANGE FLOOR
- BASEMENT FLOOR
- CONC. CONCRETE
- CSW. SET W/ID. MAIL
- SIB. SET IRON BAR
- IFB. FOUND IRON BAR
- MON. FOUND C. MONUMENT

LEGEND

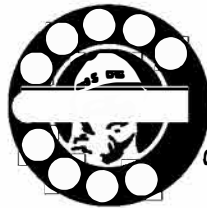
- 100 EXISTING CONTOURS
- 100.00 EXISTING GRADE
- 0.0 AS-BUILT GRADE
- 0.0 PROPOSED GRADE
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- PROPOSED SILT FENCE
- EXISTING GRAVEL



NO SCALE

NOTE:

CONTRACTOR TO CONFIRM BASEMENT WALL HEIGHT, FIRST FLOOR ELEVATION AND BASEMENT FLOOR ELEVATION PRIOR TO THE START OF CONSTRUCTION!!!



3 WORKING DAYS BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171
(TOLL FREE) for the location of underground utilities

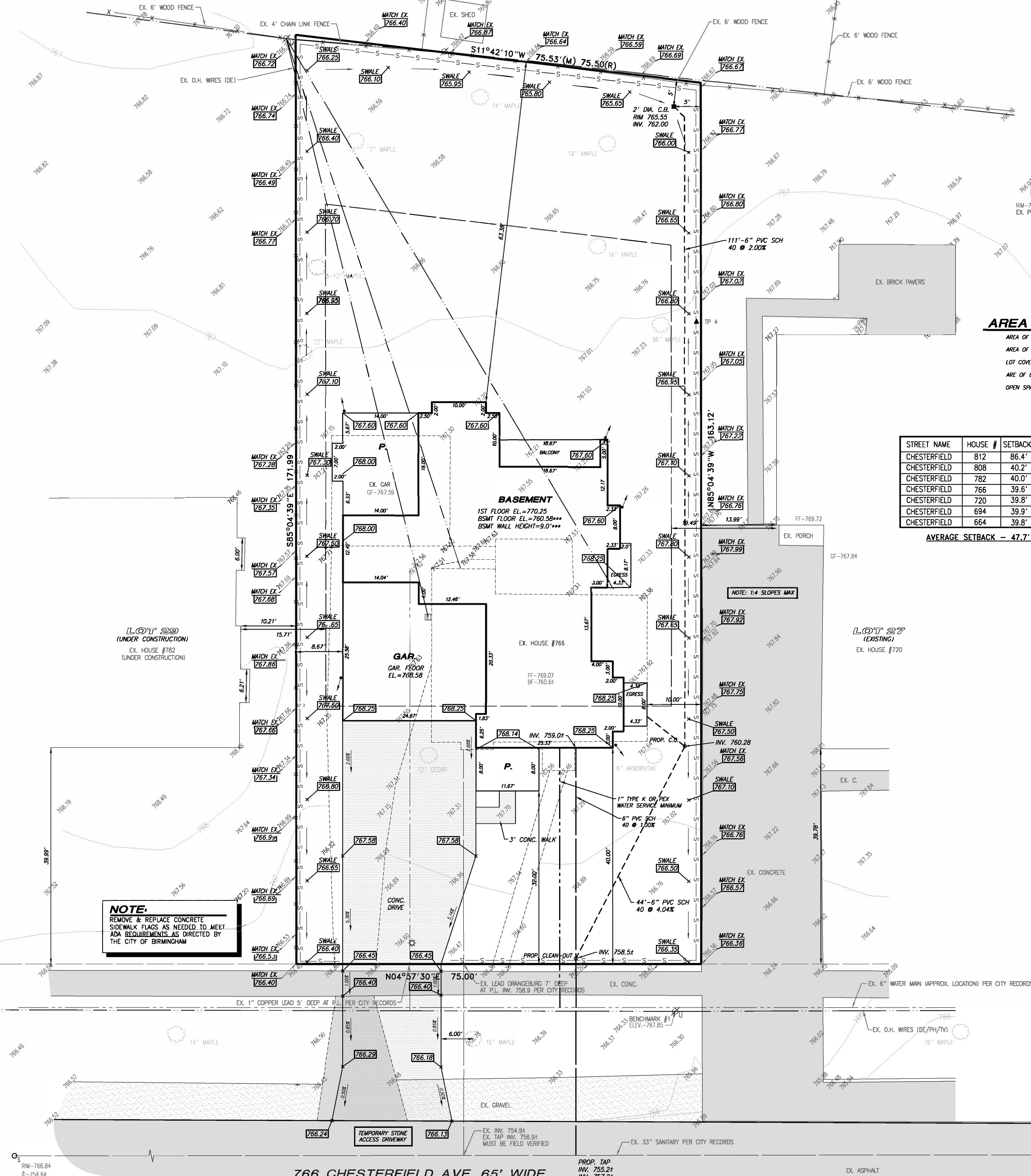
Contractor Note:
The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. He agrees to be fully responsible for any and all damages which might be occasioned by his failure to exactly locate and preserve any and all underground utilities.

NOTE:

THE CONTRACTOR IS REQUIRED TO INSPECT THE EROSION MEASURES ON A WEEKLY BASIS AND AFTER EVERY RAINSTORM

CAUTION

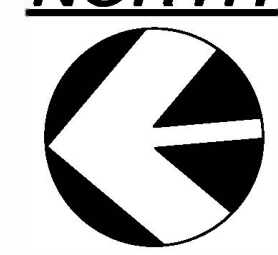
CONTRACTOR TO VERIFY GROUND WATER PRIOR TO CONSTRUCTION.
U.L.C. RECOMMENDS SOIL ANALYSIS TO BE PERFORMED BY A PROFESSIONAL.
CONTRACTOR TO MONITOR EXCAVATION FOR SOIL/GROUND WATER CONDITIONS.



AREA COVERAGE

AREA OF LOT = 12567 S.F.
AREA OF HOUSE = 2862 S.F.
LOT COVERAGE = 22.8%
AREA OF DRIVE = 1266 S.F.
OPEN SPACE = 67.2%

NORTH



SCALE: 1"=10'

BENCHMARK

1. CUT NAIL IN N. FACE U-POLE
ELEVATION=767.85
DATUM=CITY
2. CITY BM #19 @ NE CORNER
OF CHESTERFIELD AND OAK
ELEVATION=767.49
DATUM=CITY

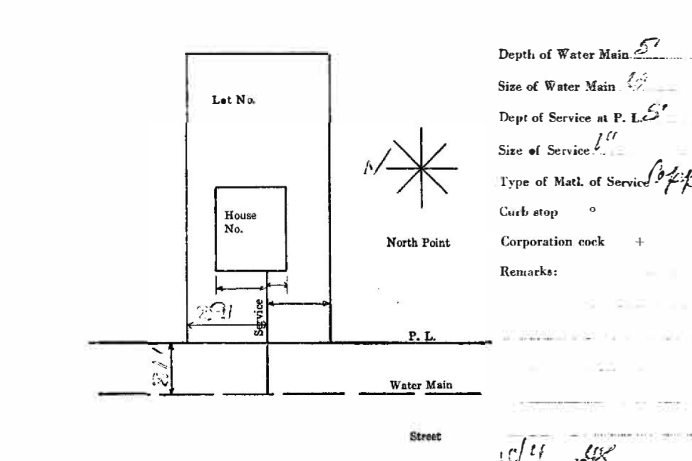
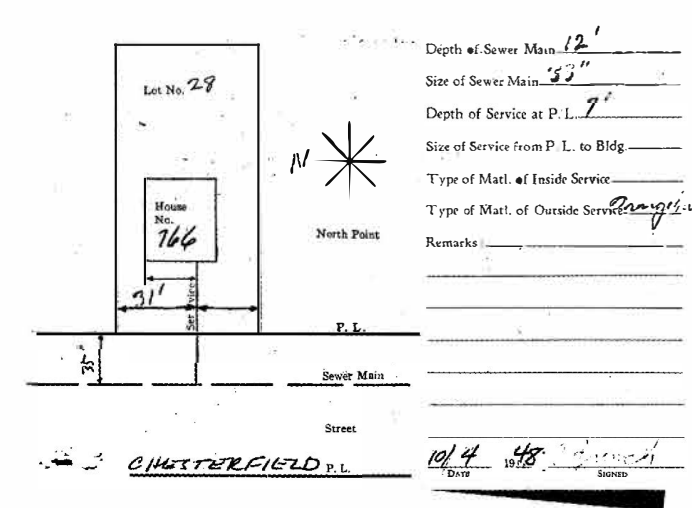
PARCEL ID

19-26-401-004

ZONED: R1

STREET NAME	HOUSE #	SETBACK	EAVE HT.	PEAK HT.
CHESTERFIELD	812	86.4'	21.0'	32.6'
CHESTERFIELD	808	40.2'	17.4'	28.3'
CHESTERFIELD	782	40.0'	17.9'	24.9'
CHESTERFIELD	766	39.6'	8.7'	20.6'
CHESTERFIELD	720	39.8'	21.3'	32.2'
CHESTERFIELD	694	39.9'	16.7'	23.5'
CHESTERFIELD	664	39.8'	9.6'	33.8'

AVERAGE SETBACK - 47.7' CHESTERFIELD



GRADING NOTE

- 1.) ALL PROPOSED GRADING SHALL BE CONTAINED WITHIN THE PROPERTY LINES OF THIS LOT, AND SHALL NOT ENCROACH UPON ANY ADJACENT PROPERTIES.
 - 2.) SOIL EROSION CONTROLS ARE REQUIRED TO BE INSTALLED AROUND THE ENTIRE PERIMETER OF SOIL DISRUPTION PER THE COUNTY.
- NOTE: SIDEYARD DRAINAGE SHALL NOT DRAIN ONTO ADJACENT LOT(S). (TYPICAL)

URBAN LAND CONSULTANTS WILL SET HIGH GRADE/BRICKLEDGE CONTRACTOR TO USE GRADE SET ON SITE

LOT 28
QUARTON LAKE ESTATES
PART OF THE S.W. 1/2 OF SECTION 26
T.21N., R.10E., BLOOMFIELD TWP.,
OAKLAND COUNTY, MICHIGAN

DATE	BY:	ADDITIONS AND/OR REVISIONS
220113-10229	Job No.	
2-11-22	Date	
1"=10'	Scale	
AK	Drawn	
R. LINDH	Check	
1 OF 1	Sheet	
7-3-22	REV. PER OWNER	
7-3-22	COMPLETED PLOT PLAN	

BINGHAM DEVELOPMENT

766 CHESTERFIELD AVE.
BIRMINGHAM, MI 48009
248-505-8811

PHONE 586 731-8030
URBAN LAND CONSULTANTS ©
PLANNERS LAND SURVEYORS
8800 23 MILE ROAD
SHELBY TWP., MI 48316-4516
CIVIL ENGINEERS

BINGHAM DEVELOPMENT

766 CHESTERFIELD AVE.

BIRMINGHAM, MICHIGAN

	SHEET INDEX
T-1	TITLE SHEET
ARCHITECTURAL DRAWINGS	
A-1	FOUNDATION & LOWER LEVEL PLAN
A-2	FIRST & SECOND FLOOR PLAN
A-3	ROOF PLAN & WALL SECTION
A-4	FRONT & LEFT SIDE ELEVATIONS
A-5	REAR & RIGHT SIDE ELEVATIONS
A-6	BUILDING SECTIONS
TYPICAL NOTES	
N-1	GENERAL NOTES
N-2	NOTES / DETAILS
TYPICAL DETAILS	
D-1	AIR BARRIER / INSULATION DETAILS
D-2	DETAILS

GENERAL CONTRACTOR:

BINGHAM DEVELOPMENT, LLC

401 S. OLD WOODWARD
BIRMINGHAM, MICHIGAN 48009
248. 506. 8811

ARCHITECT:

BRIAN NEEPER ARCHITECTURE P.C.

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248. 259. 1784 Brian@BrianNeeper.com

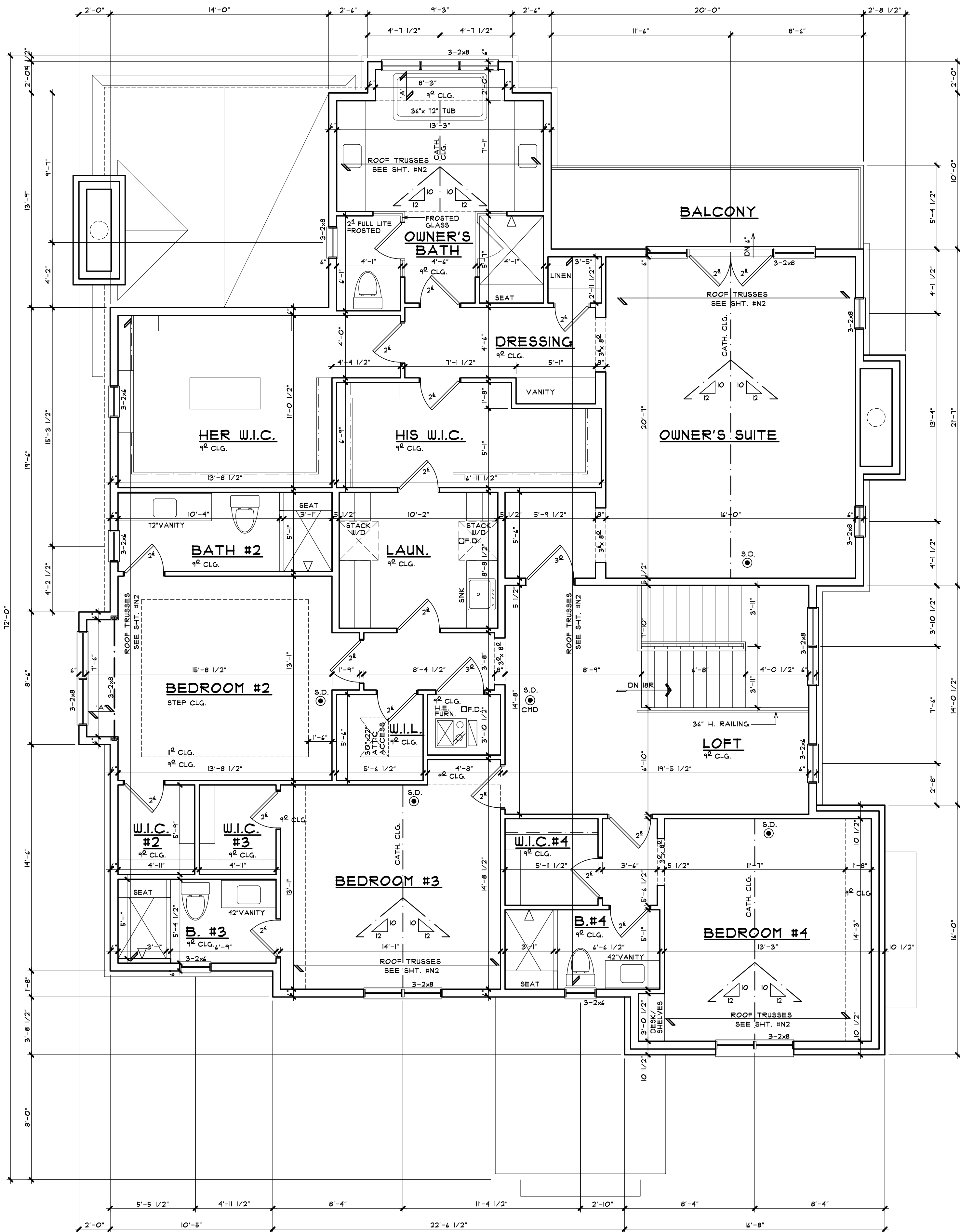


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SHEET TITLE
TITLE SHEET
PRELIMINARY

CLIENT / PROJECT
BINGHAM DEVELOPMENT
SINGLE FAMILY RESIDENCE
766 CHESTERFIELD AVENUE
BIRMINGHAM, MICHIGAN 48009

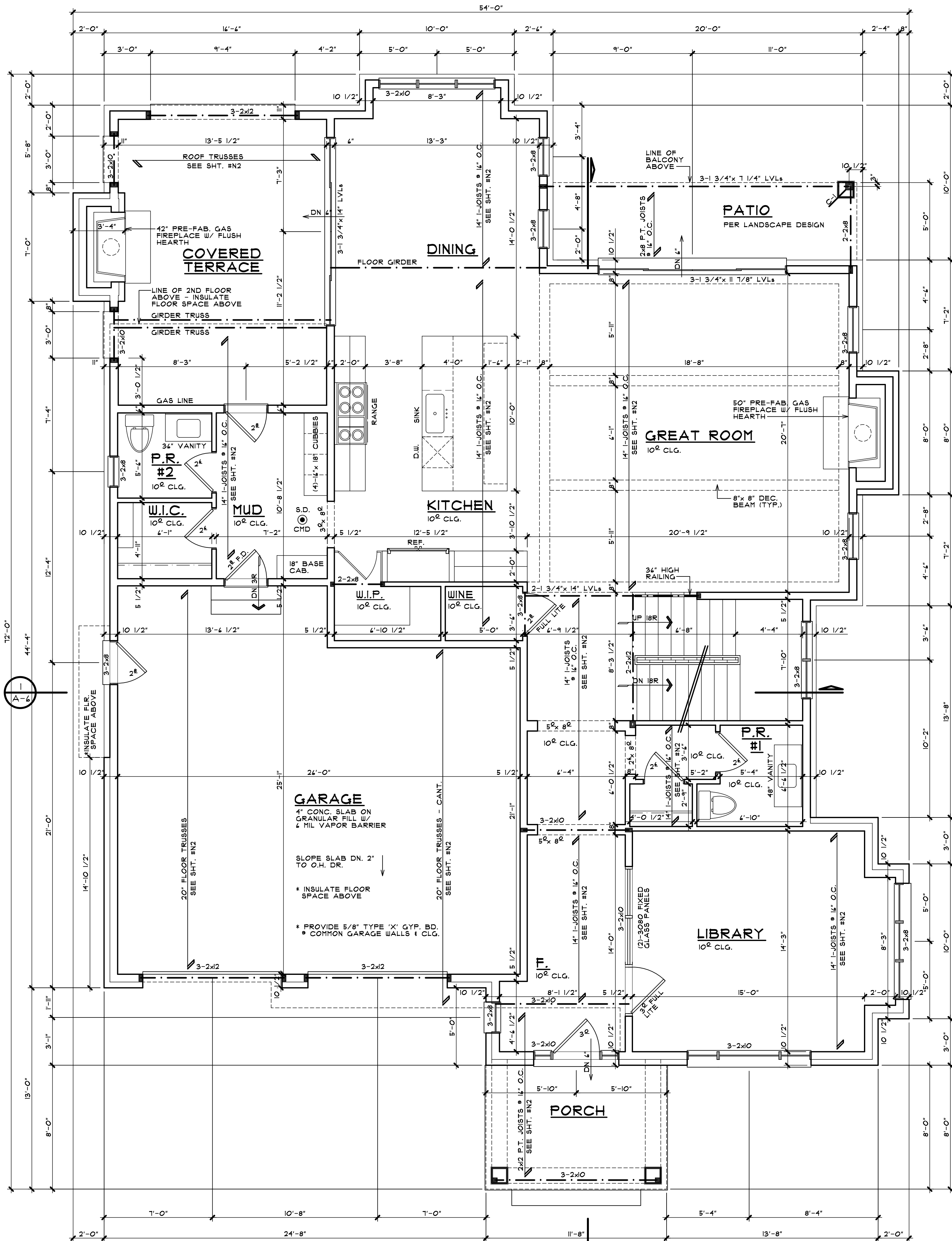
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CHECKED BY	
SHEET NUMBER	T-1



WALL BRACING METHOD: WSP (WOOD STRUCTURAL PANEL) AT ALL EXTERIOR WALLS U.N.O.
1" A' = 2x8 RAPTERS & 2x4 CEILING JOISTS @ 24" O.C.

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



WALL BRACING METHOD: WSP (WOOD STRUCTURAL PANEL) AT ALL EXTERIOR WALLS U.N.O.
C-1 = 4x4 P.T. WOOD POST W/ 'SIMPSON' AB BASE 1 CC CAP

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE	
1ST FLOOR	1,824 SQ. FT.
2ND FLOOR	2,371 SQ. FT.
TOTAL	4,195 SQ. FT.

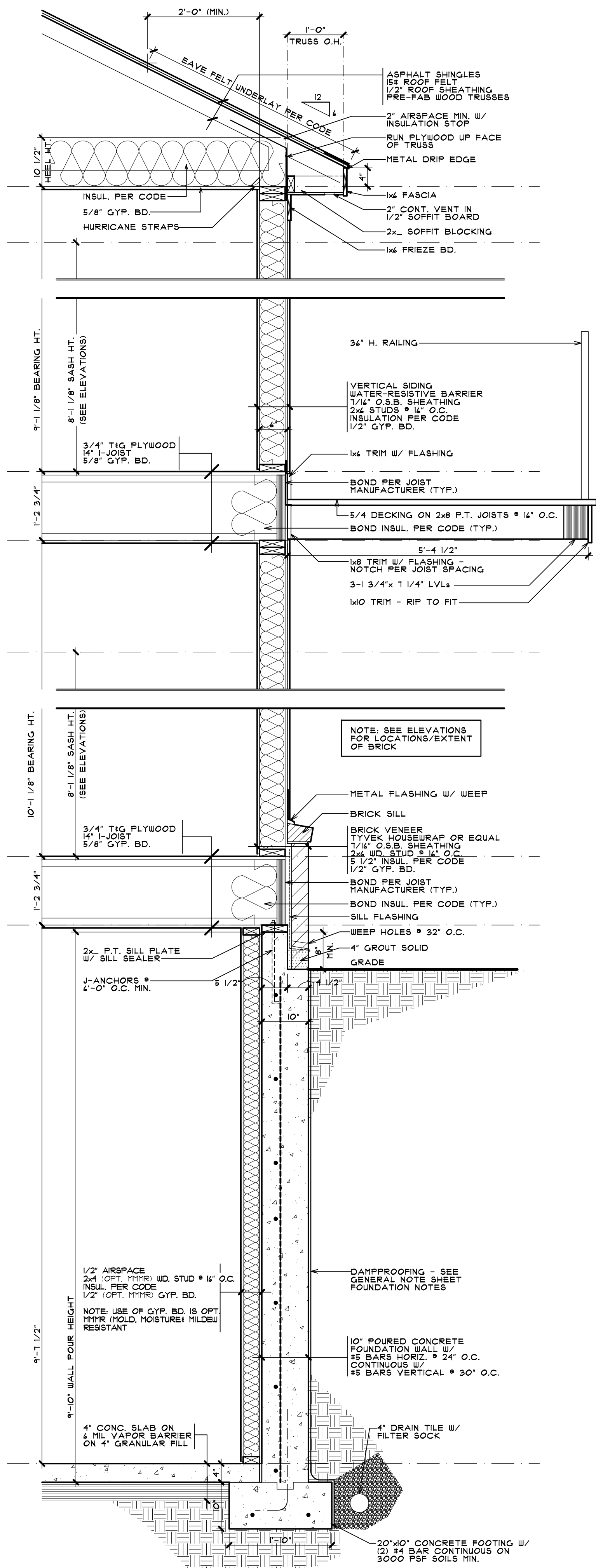


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SHEET TITLE
FIRST & SECOND
FLOOR PLANS
PRELIMINARY

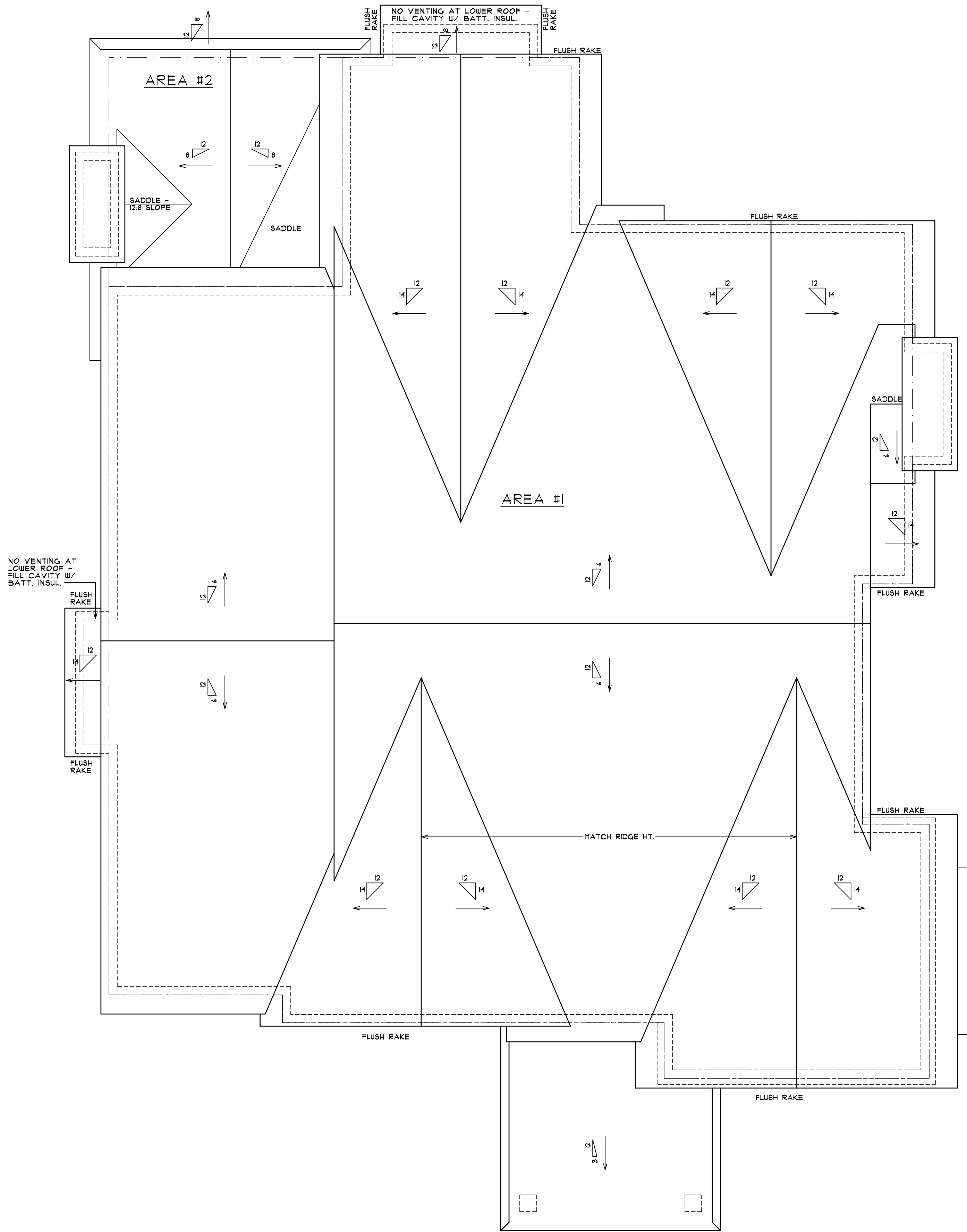
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1 BUILDING SECTION

SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: 1/4" = 1'-0"

ROOF VENTING CALCULATIONS:

PROPOSED VENT AREA #1
VENT AREA RATIO 1:150
ATTIC AREA = 2,404 SQ.FT. (1/150)
VENT AREA = 16 SQ.FT. x 144 = 2,304 SQ.IN.
50% SOFFIT AND 50% RIDGE = 1,152 SQ.IN. EACH

VENT AREA PROVIDED • RIDGE
CONT. RIDGE TYPE • 18 SQ.IN. PER FT. = 44 LIN.FT.
TOTAL VENTING AT RIDGE = 1,152 SQ.IN.

VENT AREA PROVIDED • SOFFIT
CONTINUOUS SOFFIT TYPE • 9 SQ.IN. PER FT. = 128 LIN.FT.
TOTAL VENTING AT SOFFIT = 1,152 SQ.IN.

PROPOSED VENT AREA #2
VENT AREA RATIO 1:150
ATTIC AREA = 193 SQ.FT. (1/150)
VENT AREA = 13 SQ.FT. x 144 = 1,888 SQ.IN.
50% SOFFIT AND 50% RIDGE = 944 SQ.IN. EACH

VENT AREA PROVIDED • RIDGE
CONT. RIDGE TYPE • 18 SQ.IN. PER FT. = 4 LIN.FT.
TOTAL VENTING AT RIDGE = 108 SQ.IN.

VENT AREA PROVIDED • SOFFIT
CONT. SOFFIT TYPE • 9 SQ.IN. PER FT. = 12 LIN.FT.
TOTAL VENTING AT SOFFIT = 108 SQ.IN.

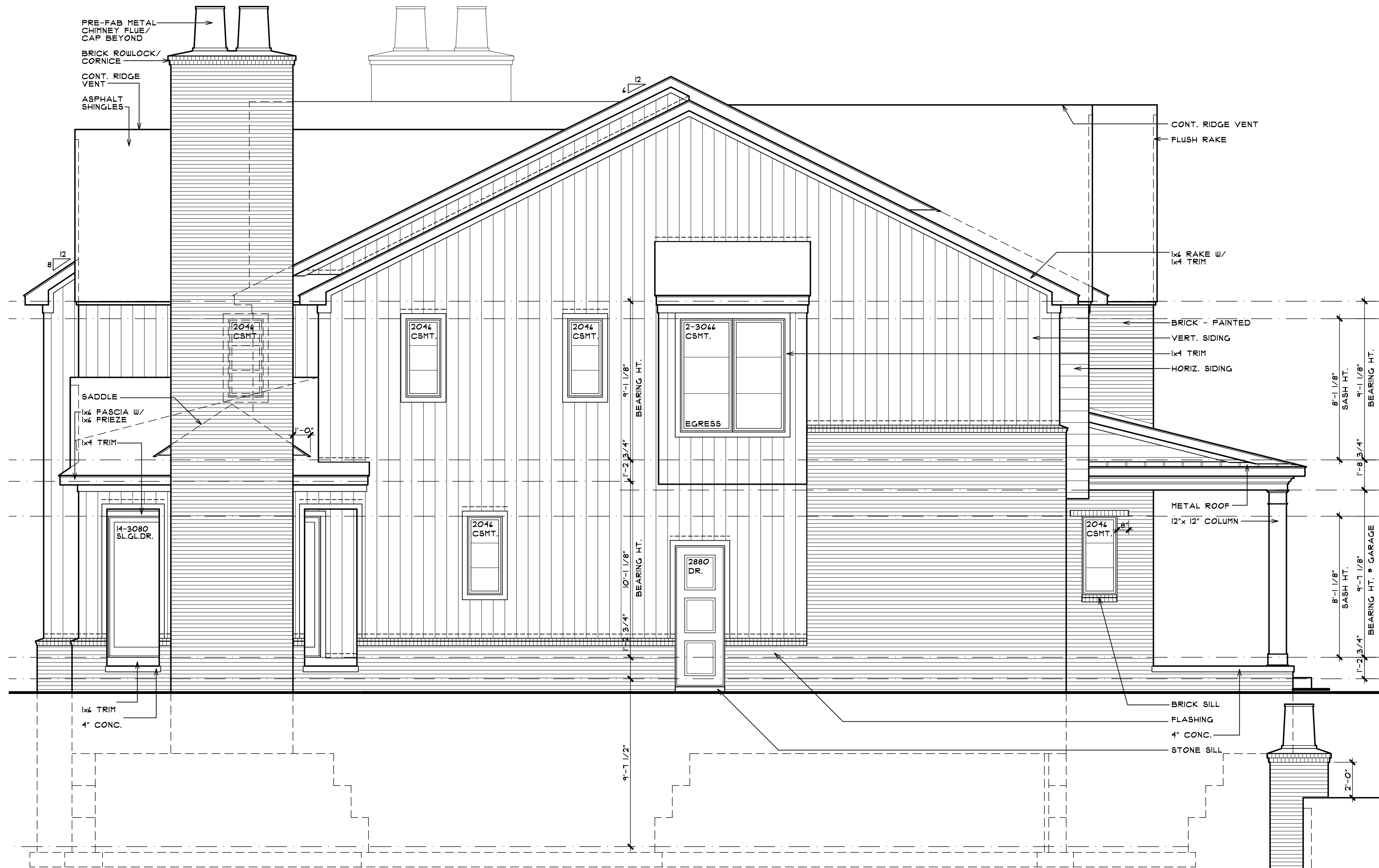


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SHEET TITLE
ROOF PLAN
PRELIMINARY

CLIENT / PROJECT
BINGHAM DEVELOPMENT
SINGLE FAMILY RESIDENCE
766 CHESTERFIELD AVENUE
BIRMINGHAM, MICHIGAN 48009

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LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

STEEL LINTEL SCHEDULE

LOOSE STEEL LINTELS FOR MASONRY - EXTERIOR ANGLES FOR BRICK OR STONE (NO FLOOR LOAD)

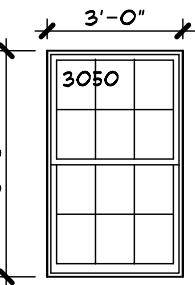
MAX. CLEAR SPAN	LINTEL SIZE
5'-0" OR LESS	3 1/2" x 3 1/2" x 5/16"
7'-0" OR LESS	4" x 3 1/2" x 5/16"
8'-0" OR LESS	5" x 3 1/2" x 5/16"
9'-0" OR LESS	5" x 3 1/2" x 3/8"
10'-0" OR LESS	6" x 3 1/2" x 3/8"

NOTE: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS AND/OR ELEVATIONS.

NOTE: STEEL ANGLE LINTELS REQUIRE A SHOP COAT OF RUST-INHIBITIVE PAINT EXCEPT FOR LINTELS MADE OF CORROSION-RESISTANT STEEL.

TYP. WINDOW DESIGNATION

GENERAL REFERENCE FOR ROUGH OPENING SIZES ONLY. CONSULT WITH WINDOW MANUFACTURER FOR EXACT WINDOW SIZES & REQUIREMENTS.



EGRESS WINDOW

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE WINDOW MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE, THEY SHALL HAVE SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES AND WIDTH OF 20 INCHES.

WINDOW SILLS

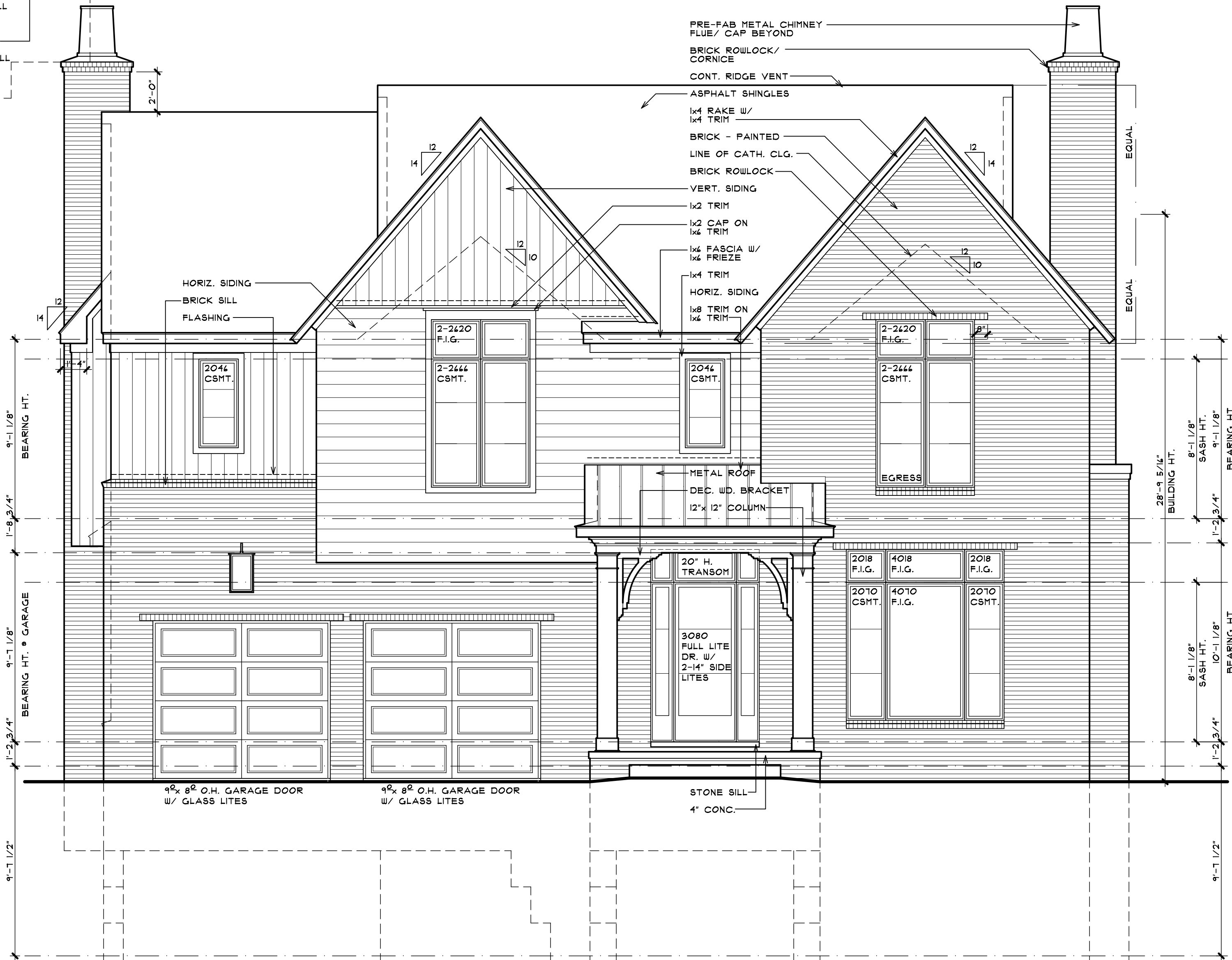
IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 12" ABOVE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24" SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4 INCH DIAMETER SPHERE CANNOT PASS. EXCEPTIONS:

- WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIA. SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
- OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2006 OR F 2010.

OVERHANGS & DRAINAGE

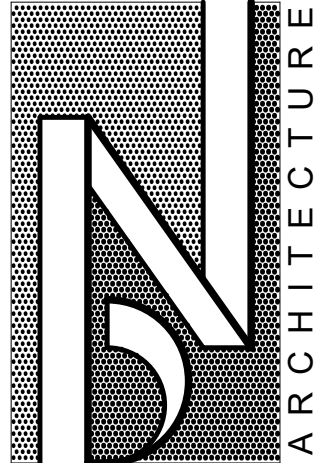
PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.

UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM FRAME, RAKE DIMENSIONS ARE 4" AT BRICK AND 6" AT SIDING. SEE ROOF PLAN.



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



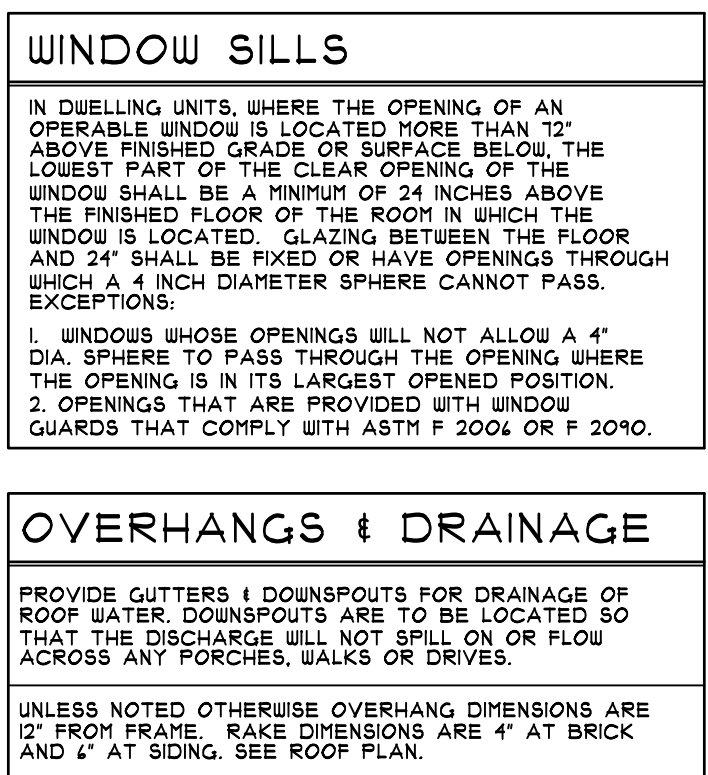
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SHEET TITLE
FRONT & LEFT SIDE
ELEVATIONS
PRELIMINARY

CLIENT / PROJECT
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SINGLE FAMILY RESIDENCE
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A-4

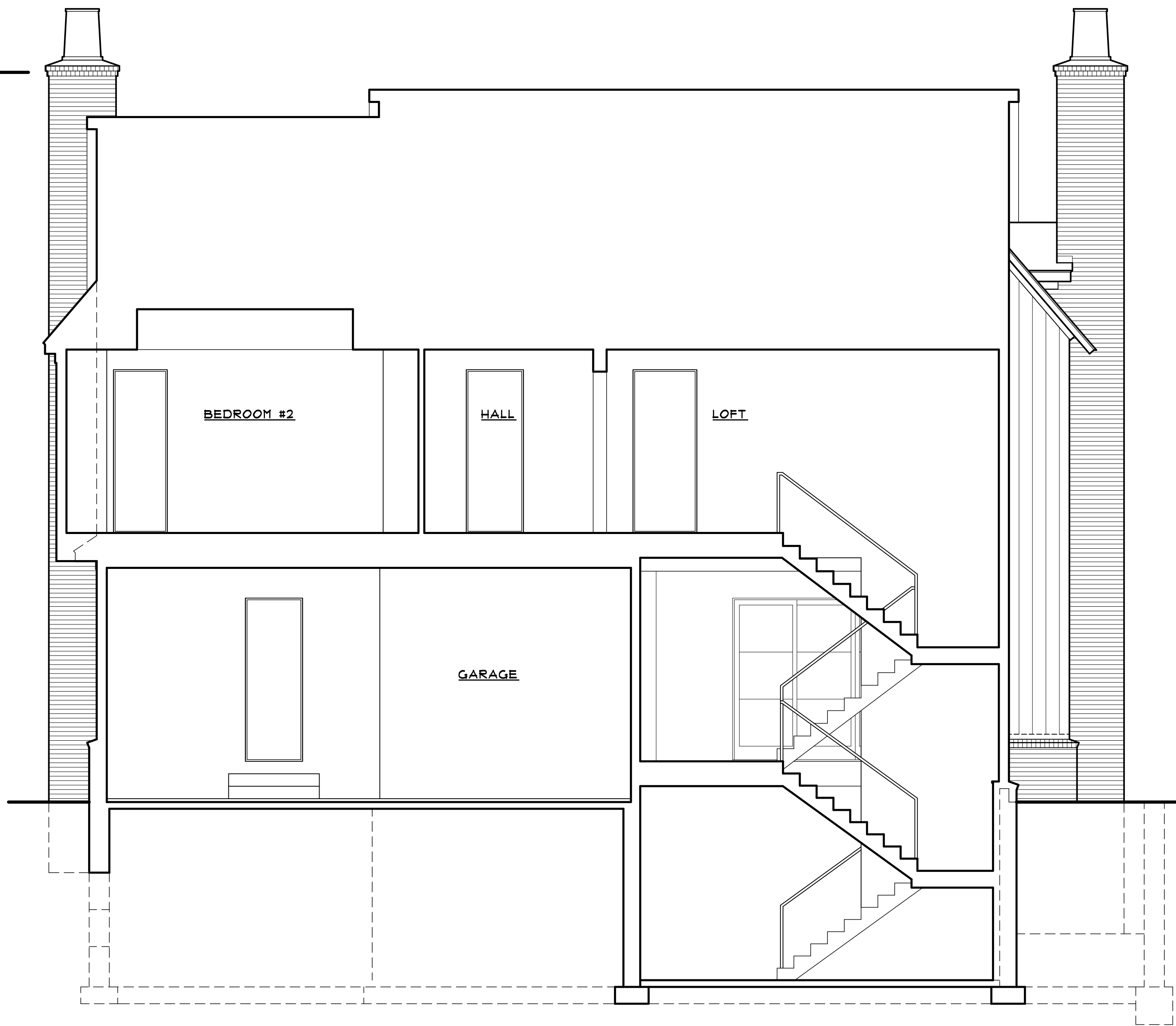
A-5



2
A-6

BUILDING SECTION

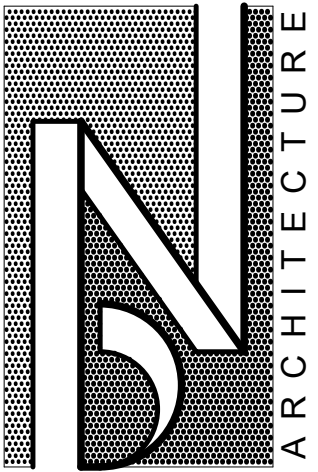
SCALE: 1/4" = 1'-0"



1
A-6

BUILDING SECTION

SCALE: 1/4" = 1'-0"



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SHEET TITLE

BUILDING SECTIONS

PRELIMINARY

CLIENT / PROJECT

BINGHAM DEVELOPMENT
SINGLE FAMILY RESIDENCE
766 CHESTERFIELD AVENUE
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GENERAL NOTES

ALL CONSTRUCTION SHALL COMPLY WITH THE CURRENT MICHIGAN RESIDENTIAL CODE, AND/OR LOCAL GOVERNING CODES AND ORDINANCES. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.

GENERAL

THIS BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH THE MICHIGAN RESIDENTIAL CODE 2015. A COPY OF THE CODE BOOK SHOULD BE RETAINED BY THE BUILDER/GENERAL CONTRACTOR FOR REFERENCE BY THE ON SITE CONSTRUCTION PERSONAL. ALL CONSTRUCTION SHALL CONFORM TO ALL REQUIREMENTS OF THE CURRENT CODE.

MECHANICAL SYSTEM DESIGN IS BY OTHERS. DESIGN AND INSTALLATION SHALL COMPLY WITH CHAPTERS 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24 AND ALL OTHER APPLICABLE CHAPTERS OF THE MICHIGAN RESIDENTIAL CODE 2015.

PLUMBING SYSTEM DESIGN IS BY OTHERS. DESIGN AND INSTALLATION SHALL COMPLY WITH CHAPTERS 25, 26, 27, 28, 29, 30, 31, 32, 1, 33 AND ALL OTHER APPLICABLE CHAPTERS OF THE MICHIGAN RESIDENTIAL CODE 2015.

ELECTRICAL SYSTEM DESIGN IS BY OTHERS. DESIGN AND INSTALLATION SHALL COMPLY WITH CHAPTERS 34, 35, 36, 37, 38, 39, 40, 41, 42, 1, 43 AND ALL OTHER APPLICABLE CHAPTERS OF THE MICHIGAN RESIDENTIAL CODE 2015.

THESE NOTES ARE FOR GENERAL REFERENCE. WHERE CONFLICTS EXIST BETWEEN THESE NOTES AND CURRENT CODES THE MORE STRINGENT REQUIREMENTS SHALL PREVAIL.

MATERIALS OR CONSTRUCTION PROCEDURES WHICH ARE PROHIBITED BY LAW OR SHALL CAUSE A HARMFUL EFFECT TO THE NATURAL ENVIRONMENT OR TO THE HEALTH OF ANY PERSON ON THE SITE DURING CONSTRUCTION AND/OR DURING OCCUPANCY SHALL NOT BE USED IN THIS PROJECT.

ALL TRADES SHALL CONFORM WITH ALL APPLICABLE FEDERAL, STATE, LOCAL, AND OSHA CODES, RULES AND REGULATIONS. IN CASE OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.

DIMENSIONS OF INTERIOR WALLS ON PLANS SHALL BE 3 1/2" (ROUGH STUD DIMENSIONS) UNLESS OTHERWISE INDICATED.

MECHANICAL

CATEGORY IV CONDENSING APPLIANCES SHALL HAVE AN AUXILIARY DRAIN PAN WHERE DRAINAGE TO ANY BUILDING COMPONENT WILL OCCUR AS A RESULT OF STORAGE IN THE CONDENSATE DRAINAGE SYSTEM UNLESS COMPLYING WITH THE LISTED EXCEPTION OF SECTION M 1411.3.2

AIR REMOVED BY EVERY MECHANICAL EXHAUST SYSTEM (INCLUDING BATH EXHAUSTS) SHALL BE DISCHARGED TO THE OUTDOORS. AIR SHALL NOT BE EXHAUSTED INTO AN ATTIC, SOFFIT, RIDGE VENT OR CRAWL SPACE.

ELECTRICAL

BEDROOM OUTLETS - ALL BRANCH CIRCUITS THAT SUPPLY 120 VOLT, SINGLE PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN BEDROOMS SHALL BE PROTECTED BY A GROUND-Fault Circuit Interrupter (GFCI) TYPE OR GROUND-Fault Circuit Interrupter (GFI) TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT UNLESS THE INSTALLATION COMPLIES WITH ON OF THE EXCEPTIONS LISTED IN THE CODE.

CORRIDOR AND STAIRWAY LIGHTING

ELECTRICAL CONTRACTOR SHALL PROVIDE FIXTURES WITH ADEQUATE ILLUMINATION TO MEET THE REQUIRED FOOT CANDLE LEVELS AT FLOOR AND STAIR TREADS PER CODE.

EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIRWAY.

CONTRACTOR MAY PROVIDE ADDITIONAL FIXTURES NOT SHOWN OR RELOCATE FIXTURES SHOWN ON THE PLAN TO MEET THESE REQUIREMENTS.

THERE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL TO CONTROL THE LIGHTING WHERE THE STAIRWAY HAS (4) OR MORE RISERS. THE ILLUMINATION OF EXTERIOR STAIRWAYS SHALL BE CONTROLLED FROM INSIDE THE UNIT.

WINDOWS AND GLAZING

ALL ALL BASEMENTS GREATER THAN 200 S.F. SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE/RESCUE WINDOW OR EXTERIOR DOOR.

ALL SLEEPING ROOMS SHALL HAVE A MINIMUM OF ONE(1) OPERABLE ESCAPE AND RESCUE WINDOW MEETING THE REQUIREMENTS OF SECTION R-310. WINDOW CONTRACTOR SHALL PROVIDE EGRESS HARDWARE NECESSARY TO ALLOW WINDOWS TO MEET APPLICABLE EGRESS REQUIREMENTS.

WHERE THE OPENING OF OPERABLE WINDOWS ARE LOCATED MORE THAN 12" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MIN. OF 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED UNLESS ONE OF THE LISTED EXCEPTIONS HAS BEEN MET.

WINDOWS SHALL BE INSTALLED AND FLASHED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS. WRITTEN INSTALLATION INSTRUCTIONS SHALL BE PROVIDED BY THE MANUFACTURER FOR EACH WINDOW. INSTALLATION INSTRUCTIONS SHALL NOT BE RELOCATED. WINDOW INSTALLATION HAS BEEN INSPECTED AND APPROVED BY THE BUILDING INSPECTOR.

FIXED GLASS SIZES SHOWN ARE FOR REFERENCE ONLY. GLAZING CONTRACTOR SHALL FIELD MEASURE ALL ROUGH OPENINGS FOR FIXED GLASS PRIOR TO FABRICATION.

OPERATING SASH ARE SHOWN FOR BASIC SIZING ONLY. FINAL SIZE FOR ROUGH OPENING AND GLAZING SIZES SHALL BE PER SELECTED WINDOW MANUFACTURER'S STANDARDS.

PROVIDE ALL REQUIRED SAFETY GLASS IN ACCORDANCE WITH ALL APPLICABLE CURRENT BUILDING CODES.

- GLAZING PERPENDICULAR TO A DOOR IN THE CLOSED POSITION AND WITHIN 24" OF FINISHED SIDE ON IN-SUING.
- GLAZING WITHIN 40" OF WATER'S EDGE OF TUB, HOT TUB, SPA, WHIRLPOOL, SWIMMING POOL AND/OR SHOWER.
- GLAZING LESS THAN 40" ABOVE STAIR LANDING AND WITHIN A 40" HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING.

GARAGE SEPARATIONS

THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 5/8" TYPE 'X' GYP. BOARD APPLIED TO THE GARAGE SIDE. WHERE THE SEPARATION IS A FLOOR/CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT.

OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS. DOORS MUST BE EQUIPPED W/ CLOSING 1 LATCH DEVICE.

DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILING SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM No. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENING INTO THE GARAGE.

DOORS

ALL DOORS SHALL BE 4'-8" HIGH AT 8'-0" CEILINGS.
ALL DOORS SHALL BE 8'-0" HIGH AT 10'-0" CEILINGS UNLESS NOTED OTHERWISE.
ALL OTHER DOOR HEIGHTS SHALL BE COORDINATED W/ OWNER AND/OR GENERAL CONTRACTOR.
PAN FLASHING IS REQUIRED AT ALL DOOR AND WINDOW SILLS WHEN FLASHING DETAILS ARE NOT PROVIDED BY WINDOW MANUFACTURER.

STAIRS

ALL STAIRS SHALL CONFORM TO THE REQUIREMENTS OF SECTION R-311 EXCEPT THE MAXIMUM RISER HEIGHT SHALL BE 7 1/4" AND THE MINIMUM TREAD DEPTH SHALL BE 10". UNLESS SPECIFICALLY DIRECTED BY THIS OFFICE. ALL TREADS SHALL HAVE A NOSING AS DESCRIBED BY SECTION R311.1.4.3.

ENCLOSED ACCESSIBLE SPACE UNDER THE STAIR SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS TO BE PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.

HANDRAILS SHALL HAVE A MINIMUM AND MAXIMUM HEIGHT OF 34" 1 38" RESPECTIVELY MEASURED VERTICALLY FROM THE NOSING OF THE STAIR. HANDRAIL(S) SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIR, EXCEPT AS ALLOWED BY SECTION R311.1.1.2. THE HANDRAIL PORTION OF THE HANDRAIL SHALL COMPLY WITH SECTION R311.1.1.3 FOR TYPE OR TYPE II HANDRAILS.

RISERS WITHIN 30" OF FLOOR OR GRADE CAN BE OPEN. RISERS GREATER THEN 30" CANNOT HAVE AN OPENING LARGE ENOUGH SO A 4" DIAMETER SPHERE CAN PASS THROUGH.

GUARD RAIL

BALUSTERS SHALL BE SPACED SO THAT A SPHERE WITH A DIAMETER OF 4" CANNOT PASS THROUGH ANY OPENING.

GUARD RAILS AT PORCHES, BALCONIES, OR RAISED FLOOR SURFACE WITH A HEIGHT DIFFERENTIAL OF 30" OR MORE ABOVE THE FINISHED FLOOR OR GRADE SHALL BE A MINIMUM OF 36" HIGH.

INTERIOR GUARD RAILS SHALL BE 36" HIGH MINIMUM.

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS

EACH SLEEPING ROOM SHALL BE PROVIDED WITH A MINIMUM OF ONE(1) SMOKE ALARM (LOCAL FIRE DEPARTMENT APPROVED AND UNDERWRITER'S LABORATORIES TESTED AND LABELED) AND ONE SMOKE ALARM INSTALLED IN COMMON AREA (HALL OR CORRIDOR) ADJACENT TO THE SLEEPING ROOMS (WITHIN 10 FEET OF ALL BEDROOM DOORS). ALSO, PROVIDE A MINIMUM OF ONE (1) SMOKE ALARM ON EACH FLOOR. THE SMOKE ALARM IS TO BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE CODES. THE SMOKE ALARM SHALL BE WIRED IN SUCH A WAY THAT THE ACTIVATION OF ONE (1) ALARM WILL ACTIVATE ALL THE ALARMS IN THE DWELLING UNIT. ALL SMOKE ALARMS SHALL BE EQUIPPED WITH A BATTERY BACKUP.

- SMOKE ALARMS SHOULD NOT BE INSTALLED:
- LESS THAN 3' HORIZONTALLY FROM DOOR OR OPENING OF BATHROOM WITH TUB OR SHOWER UNIT.
 - LESS THAN 3' HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE. (IONIZATION SMOKE ALARM)
 - LESS THAN 4' HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE. (IONIZATION SMOKE ALARM W/ ALARM-SILENCING SWITCH)
 - LESS THAN 4' HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE. (PHOTOELECTRIC SMOKE ALARM)

INSTALLATION OF AT LEAST (1) OPERATIONAL AND APPROVED CARBON MONOXIDE DEVICE WITHIN EACH RESIDENCE. ONE DEVICE SHALL BE LOCATED OUTSIDE OF EACH SEPARATE SLEEPING AREA. EACH BEDROOMS WHICH MAY INCLUDE (1) DEVICE NEAR ALL ADJACENT BEDROOMS. IN AREAS WITH IN THE DWELLING ADJACENT TO AN ATTACHED GARAGE; AND IN AREAS ADJACENT TO ANY FUEL BURNING APPLIANCES, THEY SHALL BE INSTALLED IN ACCORDANCE WITH THIS CODE AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

THE RESIDENCE OWNER OR OCCUPANT OF A RENTAL UNIT IS RESPONSIBLE FOR THE PROPER PRE-INSTALLATION OF THE EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS PROVIDED WITH THE EQUIPMENT. THE OPERATION INSTRUCTIONS SHOULD BE SAVED AND DELIVERED TO THE OWNER/OCCUPANT ON THE FIRST OCCUPANCY DATE.

FOAM PLASTICS

ALL FOAM PLASTICS OR FOAM PLASTIC CORED MATERIAL USED IN BUILDING CONSTRUCTION SHALL HAVE SURFACE BURNING CHARACTERISTICS OR A THERMAL BARRIER AS DESCRIBED IN SECTION R-314 UNLESS NOTED OTHERWISE.

FOUNDATION NOTES

MINIMUM FOOTING DEPTH SHALL BE 3'-6" BELOW FINISHED GRADE.

UNDER-FLOOR SPACE SHALL COMPLY WITH SECTION R-403

SOILS

WHEN SOIL TESTS ARE NOT PROVIDED, THE SOIL BEARING CAPACITY USED BY THE ARCHITECT WAS ASSUMED TO BE 3000 PSF. IF ANY OTHER MATERIALS OR LOWER BEARING CAPACITY ARE ENCOUNTERED NOTIFY THE ARCHITECT FOR RE-EVALUATION OF FOOTING SIZES.

CONCRETE

CONCRETE STRENGTH SHALL BE 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS FOR ALL FOOTINGS, THICKENED SLABS AND CONCRETE SLABS NOT EXPOSED TO THE WEATHER. ALL CONCRETE EXPOSED TO WEATHER SHALL BE 3500 PSI COMPRESSIVE STRENGTH WITH 1% AIR. CONCRETE WORK AND PLACEMENT SHALL CONFORM TO THE LATEST SPECIFICATION OF C.R.S.I. AND A.C.I.

ALL REINFORCING BARS, DOWELS AND TIES SHALL CONFORM TO A.S.T.M. A615 GRADE 40. REINFORCING STEEL SHALL BE CONTINUOUS AND SHALL HAVE MINIMUM LAP SPICE PER TABLE R411.5.(11). ALL REINFORCING BARS SHALL BE DEFORMED.

REMOVE ALL FILL AND ORGANIC MATERIALS FROM AREAS TO RECEIVE FLOOR SLABS.

BACKFILL SHALL NOT BE PLACED AGAINST WALL UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR ABOVE OR PROPERLY BRACED.

ALL BLOCK SHALL BE TYPE N-1; MORTAR IS TO BE TYPE 'S'. HORIZONTAL WIRE REINFORCING SHALL BE AT 16" O.C. IN ALL MASONRY WALLS.

BRICK SHALL MEET ASTM C216 (SOLID UNITS) OR ASTM C462 (HOLLOW UNITS)

PROVIDE SILL PLATE ANCHOR BOLTS AT 4'-0" O.C. (MAX.) AND 12"(MAX.) 1/4"(MIN.) FROM END OF SILL PLATE. ANCHOR BOLTS SHALL BE 1/2" (2" DIAMETER) AND SHALL BE SETTED 15"(MIN.) INTO GROUTED CONCRETE BLOCK OR 8"(MIN.) INTO POURED IN-PLACE CONCRETE. FOUNDATION OR THROUGH GROUTED CONCRETE BLOCK PLUS 1" INTO POURED CONCRETE.

AS AN ALTERNATE FOR 1/2" ROD SILL BOLTS PROVIDE CODE APPROVED MUDSILL STRAP ANCHORS, SPACING PER MANUFACTURER'S SPECIFICATIONS

PROVIDE RIGID INSULATION AT ALL PERIMETER SLAB ON GRADE CONDITIONS.

SITE

CIVIL ENGINEER OR SITE PLANNER SHALL COMPLY WITH SECTION R-403.1.1 FOR SLOPE CLEARANCE FROM FOOTINGS.

GUTTERS 1 DOWNSPOUTS

PROVIDE GUTTERS AND DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES OR CONNECT DOWNSPOUTS TO STORM SYSTEM.

DOWNSPOUT LOCATIONS AND DOWNSPOUT DISCHARGE TYPES AND LOCATIONS TO BE DETERMINED BY BUILDER BASED ON SITE CONDITIONS.

GROUNDING ELECTRODE SYSTEM

BUILDER TO PROVIDE AND COORDINATE CONCRETE ENCASED ELECTRODE PER M.R.C. E34081.2.

SUMP PUMPS

PROVIDE SUMP PUMPS IN BASEMENTS AS RECOMMENDED BY SOILS ENGINEER OR AS REQUIRED BY LOCAL CODE OFFICIAL. MINIMUM SIZE SHALL BE 18" IN DIAMETER AND 24" IN DEPTH. PROVIDE A GAS-TIGHT REMOVABLE COVER.

DAMPProofing 1 WATERProofing

DAMPProofing AND WATERProofing SHALL COMPLY WITH SECTION R-404.

ALL CONCRETE AND MASONRY FOUNDATION WALLS THAT RETAIN EARTH AND ENCLOSE TO THE EXTERIOR SIDE OF THE WALL SHALL BE DAMPProofed OR WATERProofed FROM THE TOP OF THE FOOTING TO THE GRADE LINE.

MASONRY WALLS SHALL HAVE A MINIMUM OF 3/8" PORTLAND CEMENT PARGING APPLIED TO THE EXTERIOR SIDE OF THE WALL PRIOR TO DAMPProofing WITH A BITUMINOUS COATING.

IN AREAS WHERE A HIGH WATER TABLE OR OTHER SEVERE SOIL-WATER CONDITIONS ARE KNOWN TO EXIST, EXTERIOR FOUNDATION WALLS SHALL BE WATERProofed.

PROVIDE VAPOR BARRIER UNDER ALL CONCRETE SLAB ON GRADE CONDITIONS AND AT ALL ATTACHED GARAGE AREA CONCRETE SLABS PER CODE.

STEEL

ALL STEEL COLUMNS AND EXTERIOR LINTELS SHALL BE SHOP COATED WITH RUST-INHIBITIVE PAINT ON ALL SURFACES (INSIDE AND OUTSIDE) UNLESS MADE OF CORROSION-RESISTANT STEEL.

THE COLUMNS SHALL BE RESTRAINED AT THE BOTTOM TO PREVENT LATERAL DISPLACEMENT. STEEL COLUMNS SHALL BE OF SIZE NOTED ON DRAWINGS.

FLOOR FRAMING

WOOD FLOOR FRAMING SHALL COMPLY WITH CHAPTER 5 EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED ON DRAWINGS.

FRAMING ASSEMBLY FASTENERS SHALL BE INSTALLED PER TABLE R-402.3 (1) 1 (2).

SEE DETAILS AND CODE FOR ALLOWABLE NOTCHING AND BORING OF DIMENSIONAL LUMBER. SECTION R-502.8 FOR JOIST.

SEE MANUFACTURER'S SPECIFICATIONS FOR ALLOWABLE CUTTING AND BORING OF PRE-ENGINEERED MATERIALS USED IN FLOOR FRAMING.

PROVIDE DRAFTSTOPPING PER SECTION R-302.12.

- BEARING WALLS:
- PROVIDE 2X4 LADDER BLOCKING AT 16" O.C. ON 2X4 LEDGER BOARDS BETWEEN HEADER JOISTS (SEE DRAWINGS FOR SIZE OF MEMBER) UNDER ALL BEARING PARTITIONS PARALLEL TO FLOOR FRAMING DIRECTION.
 - PROVIDE SOLID BLOCKING UNDER ALL POINT LOAD CONDITIONS CONTINUOUS TO SOLID BEARING AT HEADERS OR FOUNDATION.
 - PROVIDE SOLID BLOCKING BETWEEN JOIST UNDER ALL BEARING WALLS PERPENDICULAR TO FRAMING DIRECTION.
 - FLOOR FRAMING SPACED GREATER THAN 16" O.C. AT AREAS RECEIVING HARD TILE OR STONE FINISH SHALL HAVE 2X4 LADDER BLOCKING @ 16" O.C. BETWEEN MEMBERS E34081.2.

WALL FRAMING

WOOD WALL FRAMING SHALL COMPLY WITH CHAPTER 4 EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED ON DRAWINGS.

FRAMING ASSEMBLY FASTENERS SHALL BE INSTALLED PER TABLE R-402.3 (1) 1 (2).

SEE DETAILS AND CODE FOR ALLOWABLE NOTCHING AND BORING OF DIMENSIONAL LUMBER. SECTION R-402.4 FOR WALL STUDS.

SEE MANUFACTURER'S SPECIFICATIONS FOR ALLOWABLE CUTTING AND BORING OF PRE-ENGINEERED MATERIALS USED IN WALL FRAMING.

PROVIDE FIRE BLOCKING PER SECTION R-302.11.

WALL COVERING MATERIALS SHALL COMPLY WITH CHAPTER 7.

THE EXTERIOR WALL ENVELOPE SHALL BE CONSTRUCTED IN A MANNER THAT PREVENTS THE ACCUMULATION OF WATER WITHIN THE WALL ASSEMBLY BY PROVIDING A WATER-RESISTANT BARRIER BEHIND THE EXTERIOR VENEER PER SECTION R-103.2 AND SHALL INCLUDE FLASHINGS ALONG WITH A MEANS OF DRAINING WATER THAT ENTERS THE ASSEMBLY TO THE EXTERIOR UNLESS ONE OF THE EXCEPTIONS LISTED IN SECTION R-103) HAS BEEN MET. THE WATER-RESTIVE BARRIER SHALL COVER THE ENTIRE WALL AREA INCLUDING ATTICS, GABLES AND SIMILAR WALL AREAS. THE WATER-RESISTIVE BARRIER SHALL BE INSTALLED HORIZONTALLY IN SHINGLE FASHION WITH A "MIN. LAP OF 4".

STUDS IN ALL WALLS SHALL BE SPACED AT 16" O.C. UNLESS OTHERWISE NOTED.

EXTERIOR WOOD FRAME WALLS OVER 9'-2" IN HEIGHT SHALL BE A MINIMUM OF 2x4 CONSTRUCTION. ALL STUDS SHALL BE CONTINUOUS FROM FLOOR TO UNDERSIDE OF FLOOR OR ROOF FRAMING ABOVE. SEE FRAMING MATERIALS FOR MINIMUM STUD SIZES AND GRADES.

ALL STRUCTURAL MULLIONS TO HAVE MINIMUM DOUBLE STUD CONSTRUCTION CONTINUOUS FROM FLOOR TO UNDERSIDE OF FLOOR/ROOF FRAMING ABOVE. WINDOW TRANSOM SHALL BE 2X4 FRAMING AT 16" O.C. WHEN CARRYING MORE THAN TWO(2) FLOORS OR ONE (1) FLOOR AND ONE (1) ROOF.

PROVIDE CONTINUOUS WALL STUDS FROM FLOOR TO UNDERSIDE OF ROOF FRAMING AT ALL SLOPED CEILING CONDITIONS. (BALLOON CONSTRUCTION)

LOWER LEVEL (BASEMENT) EXTERIOR FRAME WALLS SHALL BE MINIMUM 2X4 FRAMING AT 16" O.C. WITH PRESSURE-TREATED BASE PLATE. INTERIOR LOWER LEVEL BEARING WALLS SHALL BE 2X4 FRAMING AT 16" O.C. WHEN CARRYING MORE THAN TWO(2) FLOORS OR ONE (1) FLOOR AND ONE (1) ROOF.

DIMENSIONAL LUMBER

EXTERIOR - BEARING AND NON-BEARING WALLS:

- 8'-1 1/8" PLATE HEIGHT OR LESS: 2x4 SPRUCE-PINE-FIR #2 KD OR BETTER
- 8'-1 1/8" PLATE HEIGHT OR LESS: 2x4 SPRUCE-PINE-FIR #1 KD OR BETTER
- 8'-1 1/8" PLATE HEIGHT OR LESS: 2x4 HEM-FIR #2 KD OR BETTER
- 8'-8" PLATE HEIGHT OR LESS: 2x8 DOUGLAS FIR LARCH #2 KD OR BETTER

INTERIOR:

- BEARING WALLS - SPRUCE-PINE-FIR #2 KD OR BETTER
- NON-BEARING WALLS - SPRUCE-PINE-FIR, KILN DRIED, STUD GRADE OR BETTER.

NON-BEARING WALLS - SPRUCE-PINE-FIR, KILN DRIED, STUD GRADE OR BETTER.

HEADER: HEM-FIR #2 KD OR BETTER FIBER BENDING STRESS=850 P.S (SINGLE MEMBER) ELASTICITY MODULUS=1,300,000 PSI

JOIST AND RAFTERS: HEM-FIR #2 KD OR BETTER; FIBER BENDING STRESS= 1,015 PSI (REPETITIVE MEMBER) ELASTICITY MODULUS=1,300,000 PSI

WALL PLATES, NON-STRUCTURAL BLOCKING: SPRUCE-PINE-FIR, KILN DRIED, UTILITY GRADE OR BETTER.

PERIMETER SILL PLATES: PRESSURE TREATMENT AWP, LP-2, KILN DRIED TO 19% MOISTURE CONTENT. SET PERIMETER SILL PLATES ON SILL SEALER.

FURRING: SPRUCE-PINE-FIR, KILN DRIED, NO.3 OR BETTER.

ALL LUMBER GRADES AND STANDARDS BASED ON "NDS-1991" DESIGN SPECIFICATIONS.

(2) 2x8 HEADERS TO BEAR ON (1) ONE JACK STUDS UNLESS NOTED OTHERWISE

(2) 2x10 HEADERS TO BEAR ON (2) TWO JACK STUDS UNLESS NOTED OTHERWISE

ALL PRE-ENGINEERED HEADERS TO BEAR ON THE REQUIRED NUMBER OF STUDS TO MATCH WIDTH OF HEADER MATERIAL AT PERPENDICULAR WALLS AND ON A MINIMUM OF TWO (2) JACK STUDS AT PARALLEL WALL CONDITION UNLESS NOTED OTHERWISE.

ALL PRE-ENGINEERED LUMBER HEADERS SHALL BE BUILT-UP FROM THE NUMBER OF HEADERS INDICATED ON DRAWINGS, ALL MEMBERS SHALL BE SECURED WITH NAILS OR BOLTS AS SPECIFIED BY THE MANUFACTURER FOR SIZES INDICATED.

ALL GIRDER TRUSSES TO BEAR ON (2) TWO STUDS MINIMUM OR AS REQUIRED TO MATCH NUMBER OF TRUSS PLY'S UNLESS NOTED OTHERWISE ON THE DRAWINGS OR ON TRUSS DESIGN DRAWINGS.

ALL STRUCTURAL HANGERS TO BE 'SIMPSON' OR APPROVED EQUAL.

CARPENTER CONTRACTOR TO INSTALL NAIL SIZES 1 NUMBER REQ'D AS SPECIFIED BY MANUFACTURER FOR EACH TYPE OF HANGER.

WALL SHEATHING

PROVIDE STRUCTURAL GRADE OSB WALL SHEATHING FOR LATERAL BRACING OF EXTERIOR WALL LOADS. WHEN NON-STRUCTURAL SHEATHING IS USED PROVIDE LET-IN DIAGONAL BRACING OR OTHER APPROVED TYPE OF BRACING AT ALL EXTERIOR CORNERS OF STRUCTURE.

PRE-ENGINEERED TRUSSES

APPLICANT WHO IS SUBMITTING PLANS FOR PERMITS SHALL PROVIDE AT TIME OF SUBMISSION ONE OF THE FOLLOWING:
a. TRUSS DESIGN DATA SHEET
b. COMPLETE TRUSS DESIGN DRAWINGS

BUILDER OR OWNER SHALL SUBMIT COMPLETE TRUSS DESIGN DRAWINGS PRIOR TO INSTALLATION OF TRUSSES AS REQUIRED BY CODE.

IT IS IMPORTANT FOR THE TRUSS DESIGNER/FABRICATOR TO TAKE GREAT CARE IN THE BANDING, SHIPPING, AND DELIVERY PROCESS TO INSURE THE TRUSSES ARE NOT DAMAGED. SEE HIB-11, PROVIDED BY TRUSS DESIGNER/FABRICATOR, FOR PROPER STORAGE METHODS FOR TRUSSES PRIOR TO DELIVERY AND ERECTION.

SEE SHEET N2 FOR TRUSS INFORMATION

GROUND SNOW LOAD	WIND		SEISMIC DESIGN CATEGORY
	SPEED	EXPOSURE	
25 PSF	115 MPH	CATEGORY- B	A

SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP.	FLOOD HAZARDS
WEATHERING	FROST LINE DEPTH	TERMITE	DECAY		
SEVERE	3'-4"	SLIGHT TO MODERATE	NONE TO SLIGHT	BY LOCAL AUTHORITY	BY LOCAL AUTHORITY

LOADING CONDITIONS:			
	LIVE LOAD	DEAD LOAD	TOTAL
FLOOR HABITABLE	40 PSF	15 PSF	55 PSF
FLOOR WITH FINISH MAT. ON GROUT BED	40 PSF	25 PSF	65 PSF
ROOF PITCHED	25 PSF T.C. 10 PSF B.C.	17 PSF	52 PSF
FLAT ROOF OVER 30" DEEP	25 PSF T.C. 10 PSF B.C.	17 PSF	52 PSF

NOTE: ATTICS ARE DESIGNED AS NON-STORAGE UNLESS NOTED OTHERWISE.

T.C. - TOP CHORD OF TRUSS
B.C. - BOTTOM CHORD OF TRUSS

TRUSS DESIGNER TO INCLUDE A 10 PSF
NON-CONCURRENT LOAD IN TRUSS DESIGN

PRESERVATIVE TREATED LUMBER

ALL TREATED LUMBER OR ENGINEERED LUMBER PRODUCTS TREATED FOR DECAY AND/OR INSECT RESISTANCE SHALL COMPLY WITH ALL CURRENT STANDARDS FOR ENVIRONMENTAL AND HUMAN OCCUPANT SAFETY. ALL MATERIALS SHALL BE TAGGED OR STAMPED INDICATING COMPLIANCE. NO ARSENIC BASED TREATMENTS ARE ALLOWED.

ATTACHMENTS 1 FASTENERS USED WITH PRESERVATIVE TREATED LUMBER

ALL NAILS, SCREWS, STAPLES, BOLTS, AND OTHER ATTACHMENT DEVICES SHALL BE HOT DIPPED GALVANIZED (G40 OR G185) OR STAINLESS STEEL (TYPE 304 OR 316).

ALL PLATES, CLIPS, STRAPS, OR OTHER ATTACHMENT DEVICES IN CONTACT WITH TREATED MATERIALS SHALL BE HOT DIPPED GALVANIZED (G40 OR G185) OR STAINLESS STEEL (TYPE 304 OR 316).

FLASHING

APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SHINGLE-FASHION IN SUCH A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION-RESISTANT FLASHING SHALL BE INSTALLED WHERE REQUIRED BY CHAPTER 1 AND SECTION R-103.8.

ALL TRANSITION FLASHING (ROOF TO WALL) SHALL LAP VERTICAL WALL FACE A MINIMUM OF 8" UNLESS NOTED OTHERWISE.

PROVIDE FLASHING AT ALL EXTERIOR STEEL LINTEL CONDITIONS AND AT CONCEALED STEEL LINTELS CARRYING EXPOSED BRICK.

PROVIDE EAVE FLASHING PER CODE.

ROOF-CEILING CONSTRUCTION

WOOD ROOF FRAMING SHALL COMPLY WITH CHAPTER 8 EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED ON DRAWINGS.

FRAMING ASSEMBLY FASTENERS SHALL BE INSTALLED PER TABLE R-402.3 (1) 1 (2).

ROOF TIE-DOWN REQUIREMENTS SHALL COMPLY WITH SECTION R-802.11.

SEE SHEET #5 FOR CONTINUOUS PATH LOADING OPTIONS TO TRANSMIT UP-LIFT FORCES FROM THE ROOF TRUSSES OR RAFTERS TO THE FOUNDATION.

ROOFING

ASPHALT SHINGLES SHALL CONFORM TO ASTM D225. ASPHALT SHINGLES SHALL NOT BE INSTALLED ON ROOF SLOPES BELOW TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12). DOUBLE-LAYER UNDERLAYMENT SHALL BE REQUIRED ON ROOF SLOPES BELOW FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12). SINGLE-LAYER UNDERLAYMENT IS REQUIRED ON ALL OTHER ROOF SLOPES. ASPHALT SHINGLES SHALL BE SECURED TO THE ROOF WITH NOT LESS THAN FOUR FASTENERS PER STRIP SHINGLE, OR NOT LESS THAN TWO FASTENERS PER INDIVIDUAL SHINGLE. SHINGLE HEADLAP SHALL NOT BE LESS THAN 2 INCHES (5 MIN).

WALL BRACING METHODS			
METHOD	MATERAIL	MIN. THICKNESS	CONNECTION CRITERIA
**ALL EXTERIOR WALLS			
CS-USP / USP	WOOD STRUCTURAL PANEL	3/8"	4d COMMON (2") NAILS AT 4" SPACING (PANEL EDGES) 12" SPACING (INTERMEDIATE) 16 GA x 1 3/4 STAPLES AT 3" SPACING (PANEL EDGES) 4" SPACING (INTERMEDIATE)
** ADJACENT TO GARAGE DOORS AS INDICATED ON PLAN.			
CS-PF	CONTINUOUS PORTAL FRAME	SEE SECTION R402.10.4.1.1	SEE SECTION R402.10.4.1.1

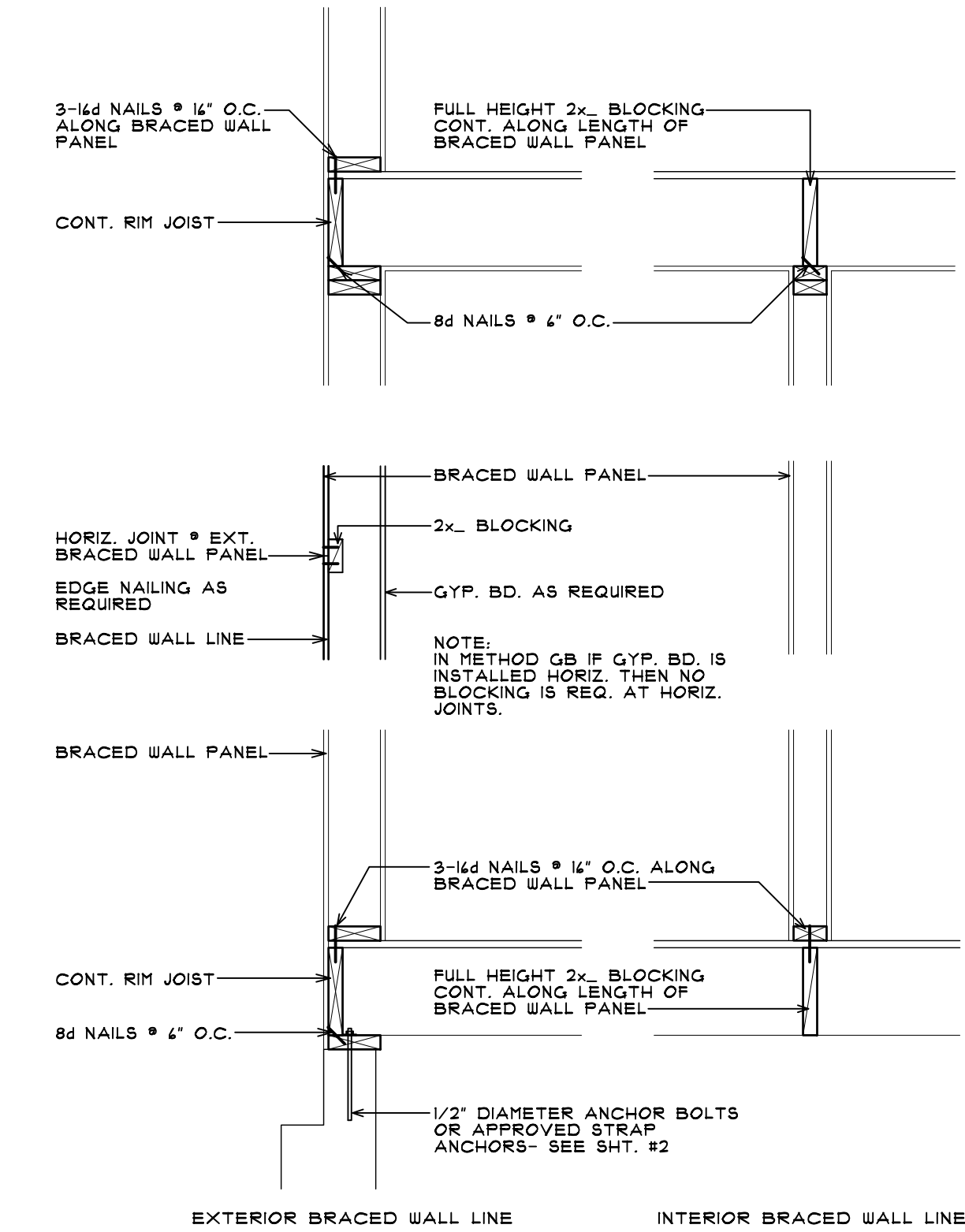
WALL BRACING

THIS BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2018 MICHIGAN RESIDENTIAL CODE. THIS SHEET REFERENCES FASTENING TABLES AND SPECIFIC CODE SECTIONS. A COPY OF THE CURRENT CODE BOOK IS TO BE RETAINED BY THE BUILDER/ GENERAL CONTRACTOR AND MADE AVAILABLE FOR USE AND REFERENCE BY ALL TRADES WHEN FRAMING THIS BUILDING. ALL CONSTRUCTION SHALL CONFORM TO ALL THE REQUIREMENTS OF THE REFERENCED CODE.

ADDITIONAL SECTIONS AND DETAILS HAVE BEEN PROVIDED IN THIS SET. ANY CONFLICTS BETWEEN THE INFORMATION PROVIDED AND THE CURRENT CODE, THE MOST STRINGENT SHALL APPLY.

SEE SHEET N1 AND ALL FLOOR PLAN SHEETS FOR ADDITIONAL NOTES, DIMENSIONS AND STRUCTURAL INFORMATION AND REQUIREMENTS. SEE SHEET N2 FOR LOAD PATH AND TIE DOWN REQUIREMENTS TO BE USED IN CONJUNCTION WITH WALL BRACING REQUIREMENTS.

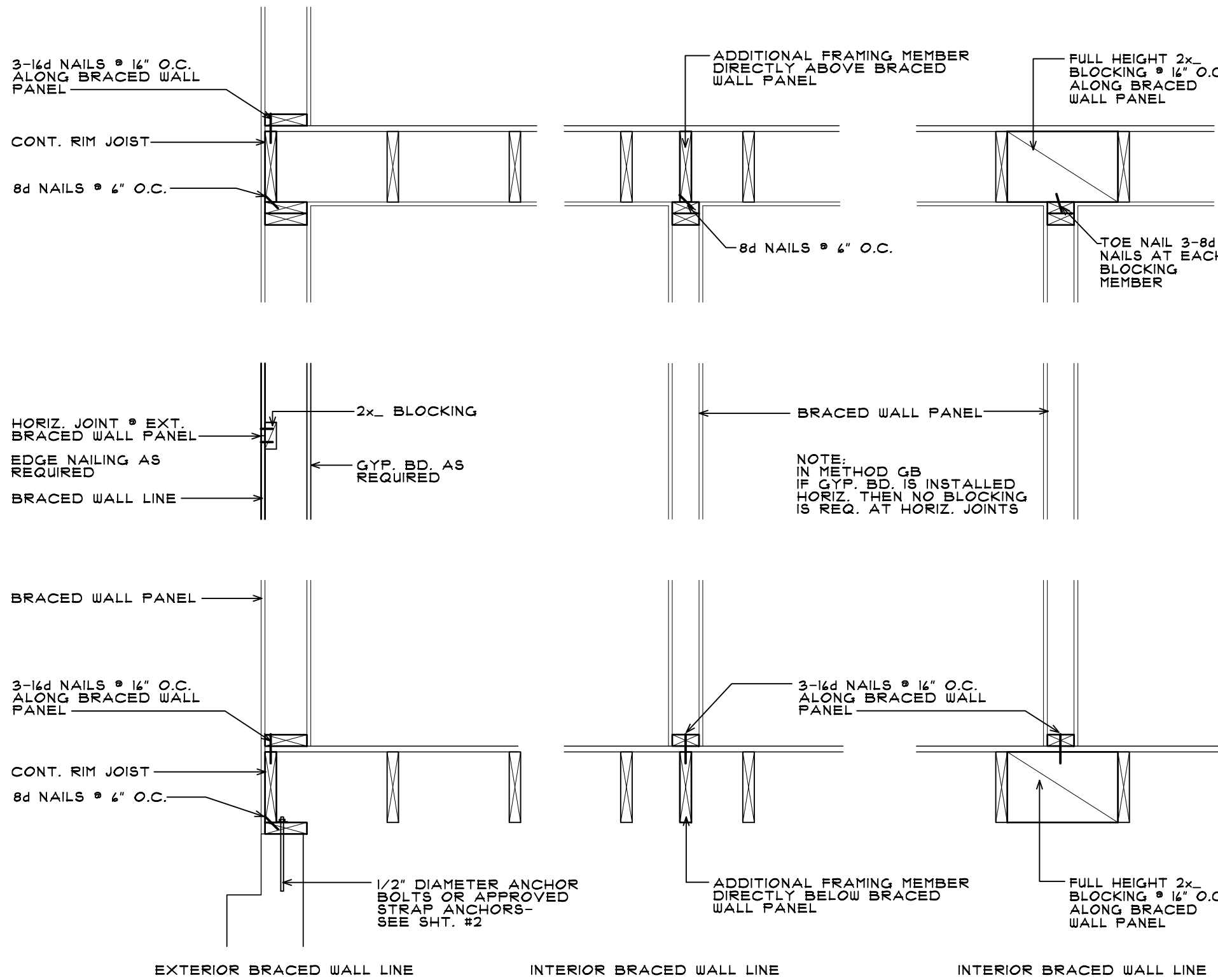
WIND	
SPEED	EXPOSURE
115 MPH	CATEGORY-B
SEISMIC DESIGN CATEGORY	
A	



* SEE TABLE R602.3(1) FASTENER SCHEDULE FOR NAILING
* BRACED WALL PANELS TO MEET ALL REQUIREMENTS OF CURRENT RESIDENTIAL CODE CHAPTER 4.

BRACED WALL PANEL CONNECTIONS

FLOOR/CEILING FRAMING PERPENDICULAR JOISTS



* SEE TABLE R602.3(1) FASTENER SCHEDULE FOR NAILING
* BRACED WALL PANELS TO MEET ALL REQUIREMENTS OF CURRENT RESIDENTIAL CODE CHAPTER 4.

BRACED WALL PANEL CONNECTIONS

FLOOR/CEILING FRAMING PARALLEL JOISTS

FOUNDATION ANCHOR SYSTEM:

GENERAL CONTRACTOR SHALL DETERMINE FOUNDATION ANCHOR SYSTEM.

ANCHOR BOLTS ARE REQUIRED TO BE PLACED IN THE MIDDLE THIRD OF SILL PLATE.

FOUNDATION CONTRACTOR SHALL INSTALL SILL PLATE ANCHORS OF TYPE CHOSEN WITH CORRECT SPACING AND EMBEDMENT DEPTH AS REQUIRED BY CODE OR MANUFACTURER'S WRITTEN SPECIFICATIONS.

CORNER SILL PLATE ANCHORS SHALL BE INSTALLED AS DIMENSIONED ON DETAIL FOR SILL ANCHORS. GENERAL CONTRACTOR SHALL INSTALL SILL PLATES AS DETAILED FOR ANCHOR BOLTS OR FOR STRAPS AS SPECIFIED BY STRAP MANUFACTURER.

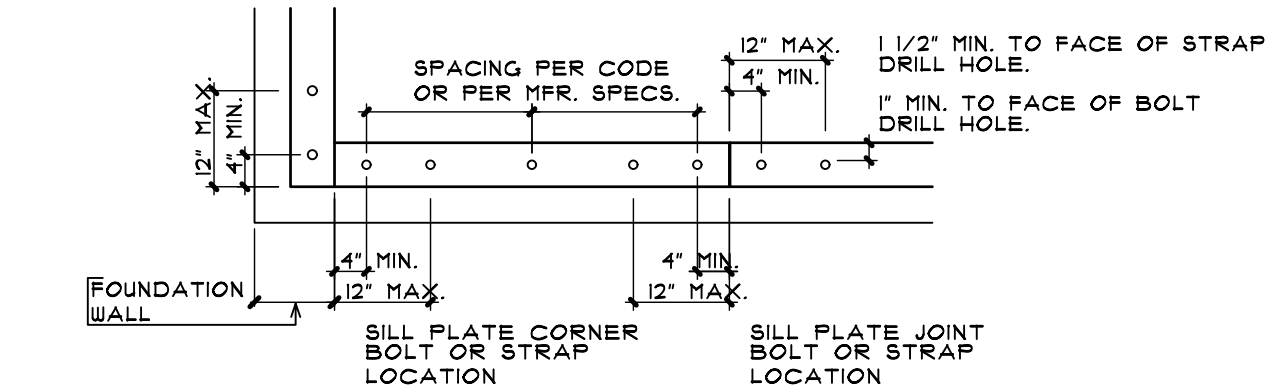
WHERE ANCHOR SYSTEM DOES NOT MEET CODE FOR MIN. 1 MAX. DIMENSIONS ADDITIONAL BOLTS SHALL BE INSTALLED FOR CORRECTIONS.

ALTERNATE FOR G-185 GALVANIZED MATERIALS SHALL BE STAINLESS STEEL OF GAUGES AS SPECIFIED BY MANUFACTURER.

NOTE TO PLAN REVIEWER:

TRUSS TIEDOWN SIZES AND TYPES ARE A DEFERRED SUBMITTAL ITEM TO BE PROVIDED WITH TRUSS SHOP DRAWINGS BY OTHERS.

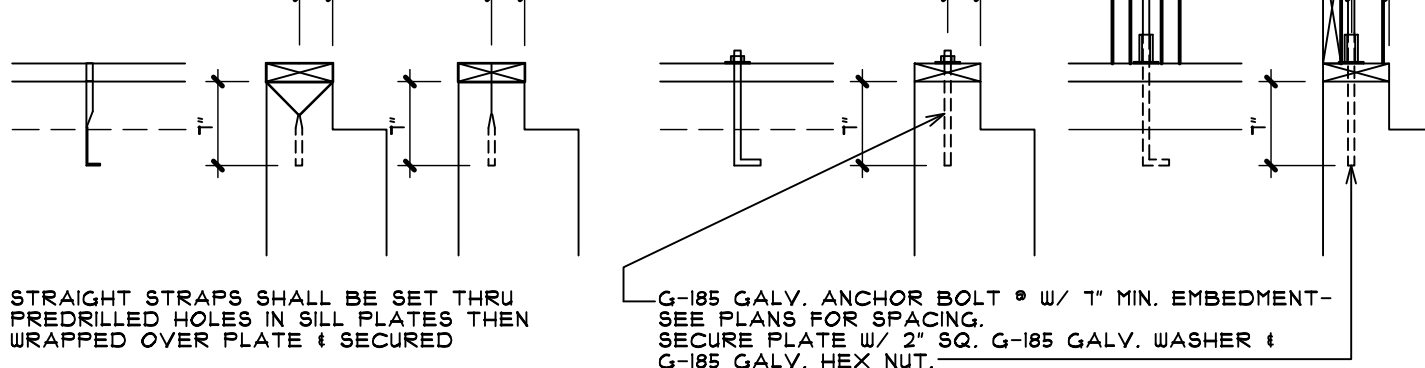
FINAL SIZE OF TRUSS TIES TO BE DETERMINED BY TRUSS ENGINEER OR BUILDER'S STRUCTURAL ENGINEER.



CORNER ANCHOR LOCATION

PLATE JOINT DETAIL

'SIMPSON' MABIS EMBEDDED STRAPS SEE MFR. SPECS FOR SPACING REQUIREMENTS ALL MATERIALS SHALL BE G-185 GALVANIZED.



STRAIGHT STRAPS SHALL BE SET THRU PREDRILLED HOLES IN SILL PLATES THEN UNAPPED OVER PLATE & SECURED

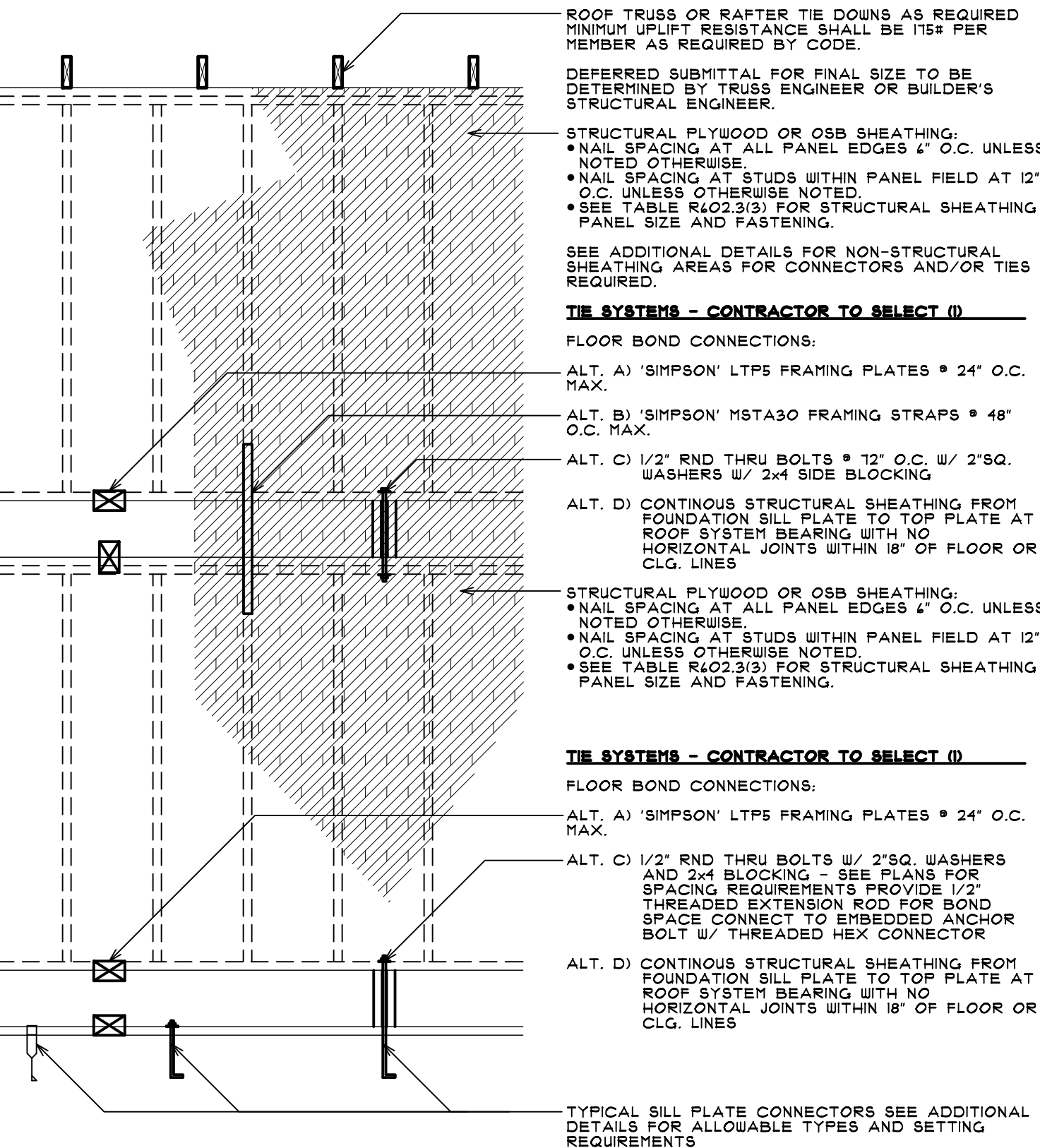
STRAP ANCHORS

SILL ANCHOR BOLT

THRU ANCHOR BOLT

STANDARD CONCRETE

ANCHOR EMBEDMENT



ROOF TRUSS OR RAFTER TIE DOWNS AS REQUIRED MINIMUM UPLIFT RESISTANCE SHALL BE 115# PER MEMBER AS REQUIRED BY CODE.

DEFERRED SUBMITTAL FOR FINAL SIZE TO BE DETERMINED BY TRUSS ENGINEER OR BUILDER'S STRUCTURAL ENGINEER.

STRUCTURAL PLYWOOD OR OSB SHEATHING:
• NAIL SPACING AT ALL PANEL EDGES 4" O.C. UNLESS NOTED OTHERWISE.
• NAIL SPACING AT STUDS WITHIN PANEL FIELD AT 12" O.C. UNLESS OTHERWISE NOTED.
• SEE TABLE R602.3(3) FOR STRUCTURAL SHEATHING PANEL SIZE AND FASTENING.

SEE ADDITIONAL DETAILS FOR NON-STRUCTURAL SHEATHING AREAS FOR CONNECTORS AND/OR TIES REQUIRED.

THE SYSTEMS - CONTRACTOR TO SELECT (1)

FLOOR BOND CONNECTIONS:

ALT. A) 'SIMPSON' LTPS FRAMING PLATES * 24" O.C. MAX.

ALT. B) 'SIMPSON' MSTA30 FRAMING STRAPS * 48" O.C. MAX.

ALT. C) 1/2" RND THRU BOLTS * 12" O.C. W/ 2"SQ. WASHERS W/ 2x4 SIDE BLOCKING

ALT. D) CONTINUOUS STRUCTURAL SHEATHING FROM FOUNDATION SILL PLATE TO TOP PLATE AT ROOF SYSTEM BEARING WITH NO HORIZONTAL JOINTS WITHIN 18" OF FLOOR OR CLG. LINES

STRUCTURAL PLYWOOD OR OSB SHEATHING:
• NAIL SPACING AT ALL PANEL EDGES 4" O.C. UNLESS NOTED OTHERWISE.
• NAIL SPACING AT STUDS WITHIN PANEL FIELD AT 12" O.C. UNLESS OTHERWISE NOTED.
• SEE TABLE R602.3(3) FOR STRUCTURAL SHEATHING PANEL SIZE AND FASTENING.

THE SYSTEMS - CONTRACTOR TO SELECT (1)

FLOOR BOND CONNECTIONS:

ALT. A) 'SIMPSON' LTPS FRAMING PLATES * 24" O.C. MAX.

ALT. C) 1/2" RND THRU BOLTS W/ 2"SQ. WASHERS AND 2x4 BLOCKING - SEE PLANS FOR SPACING REQUIREMENTS PROVIDE 1/2" THREADED EXTENSION ROD FOR BOND SPACE CONNECT TO EMBEDDED ANCHOR BOLT W/ THREADED HEX CONNECTOR

ALT. D) CONTINUOUS STRUCTURAL SHEATHING FROM FOUNDATION SILL PLATE TO TOP PLATE AT ROOF SYSTEM BEARING WITH NO HORIZONTAL JOINTS WITHIN 18" OF FLOOR OR CLG. LINES

TYPICAL SILL PLATE CONNECTORS SEE ADDITIONAL DETAILS FOR ALLOWABLE TYPES AND SETTING REQUIREMENTS

BUILDING DESIGNER'S ASSUMPTION:

1. ROOF TRUSSES TO CLEARSPAN UNLESS NOTED OTHERWISE.

2. FLOOR TRUSSES TO CLEARSPAN BETWEEN BEARING WALLS AS SHOWN. ONE PIECE MULTIPLE SPANS TRUSSES ARE ALLOWED WITH APPROVAL OF BUILDING DESIGNER. DETAILS INDICATING AIR SPACES FOR SOUND CONTROL SHALL NOT BE VIOLATED WITH TRUSS MEMBERS.

3. ROOF AND FLOOR TRUSSES IN PIRERATED SYSTEMS SHALL MEET OR BE LESS THAN THE MAXIMUM SPACING AND MEET OR EXCEED MINIMUM DEPTH REQUIREMENTS AS LISTED IN THE TEST REPORTS. TRUSS PLATES SHALL MEET CRITERIA LISTED IN TEST REPORTS.

4. WIND LOADS ARE BEING TRANSFERRED THROUGH EXTERIOR WALLS WITH TRUSS CONNECTION POINTS AND THROUGH INTERIOR SHEAR WALLS WHERE INDICATED ON PLANS. WHERE ROOF SHEATHING IS INDICATED TO TRANSFER TO INTERIOR SHEAR WALL TRUSS CHORDS SHALL BE SIZED FOR NAILING PATTERNS AS INDICATED TO DIAPHRAGM TRUSS AND TRANSFER LOADS.

5. GABLE-END TRUSSES: ALL GABLE TRUSSES TO BE SHEATHED WITH 7/16" OSB MATERIAL. VERTICAL REINFORCING OF WEB MEMBERS TO BE DESIGNED BY TRUSS DESIGNER TO PREVENT WITHDRAWAL LOADS OCCURRING IN TRUSS PLATES. LATERAL BRACING OF TOP AND BOTTOM TRUSS CHORDS TO BE TRANSFERRED THROUGH ROOF AND CEILING SHEATHINGS.

DIAGONAL BRACING IS DESIGNED BY TRUSS DESIGNER AND SHALL REMAIN IN PLACE TO PREVENT RACKING OF TRUSS UNDER LATERAL LOADING.

6. SEE SHEET #1 FOR REQUIRED LIVE AND DEAD LOADS.

7. BUILDING DESIGNER IS NOT RESPONSIBLE FOR TRUSS CHORD MEMBERS SUBJECT TO DESIGN DEFICIENCIES. REINFORCING IF REQUIRED IS THE RESPONSIBILITY OF TRUSS DESIGNER.

8. ANY DIFFERENCES BETWEEN CODE REQUIREMENTS AND TRUSS INDUSTRIES STANDARDS THE MORE STRINGENT SHALL APPLY.

9. IT IS IMPORTANT FOR THE TRUSS DESIGNER/FABRICATOR TO TAKE GREAT CARE IN THE HANDLING, SHIPPING, AND DELIVERY PROCESS TO INSURE THE TRUSSES ARE NOT DAMAGED. SEE HIB-11 PROVIDED BY TRUSS DESIGNER/FABRICATOR, FOR PROPER STORAGE METHODS FOR TRUSSES PRIOR TO DELIVERY AND ERECTION.

ROOF TRUSSES:

1. TRUSS SPACING SHALL BE DETERMINED BY THE TRUSS DESIGNER AND NOT EXCEED 24" O.C. AS REQUIRED FOR ROOF SHEATHING.

2. PIGGY-BACK TRUSSES SHALL BEAR ON PERPENDICULAR BRACING INSTALLED ON TOP CHORD OF LOWER MAIN TRUSS. MAIN TRUSS SHALL BE DESIGNED AS REQUIRED WHERE TRUSS WEBS EXCEED ALLOWABLE AXIAL LOADS TRUSS DESIGNER SHALL SPECIFY REQUIRED STIFFENERS OR BRACING.

3. THE 1/2" STRUCTURAL ROOF SHEATHING SHALL BE INSTALLED AND IS INTENDED TO BECOME THE PERMANENT BRACING FOR THE TRUSS TOP CHORD. THE 5/8" MIN. GYPSUM BOARD SHALL BE INSTALLED AND IS INTENDED TO BECOME THE PERMANENT BRACING FOR THE TRUSS BOTTOM CHORD.

4. TRUSS DESIGNER SHALL DESIGN ALL TRUSSES FOR LOADS AND SPANS AS REQUIRED TO COMPLY WITH THE INTENT OF THE DRAINAGE. IF IT SHALL BE THE RESPONSIBILITY OF THE TRUSS DESIGNER TO SIZE WEB MEMBERS TO BE STRUCTURALLY ADEQUATE FOR LOADS IMPOSED. OVER STRESSED MEMBERS SHALL HAVE NECESSARY REINFORCEMENT PROVIDED BY THE TRUSS DESIGNER.

5. GABLE END TRUSSES SHALL BE DESIGNED TO RECEIVE WALL SHEATHING. BRACING FOR LATERAL LOADS SHALL BE DESIGNED BY TRUSS DESIGNER TO ELIMINATE OUT-OF-PLANE LOADS ON TRUSS PLATES.

6. GABLE END TRUSSES SHALL BE DESIGNED TO MATCH THE CEILING PROFILE OF ROOM ADJACENT TO END WALL.

7. TRUSS DESIGNER SHALL PROVIDE DESIGNS FOR PERMANENT LATERAL BRACING TO FUNCTION WITH THE PROPOSED TRUSS SYSTEM. TRUSS CHORDS RECEIVING LOADS FROM BRACING SHALL BE SIZED ACCORDINGLY.

8. TRUSS DESIGNER SHALL PROVIDE DESIGNS FOR LATERAL BRACING TO RUN CONTINUOUS ALONG TRUSS CHORDS WHERE PRACTICAL TO MAINTAIN LONGEST POSSIBLE BRACING LINE THROUGH TRUSS SYSTEM. WHERE BRACING LINE CANNOT BE MAINTAINED TRUSS DESIGNER IS TO PROVIDE DETAILS FOR TRANSFER OF LOADS IN BRACE LINE OR TERMINATION USING DIAGONAL BRACES.

9. TRUSS DESIGNER SHALL DESIGN DIAGONAL BRACING AT TERMINATION POINTS OF PERMANENT LATERAL BRACING. TEMPORARY AND PERMANENT DIAGONAL BRACING SHALL BE INDICATED ON THE ROOF FRAMING LAYOUT PLANS, INCLUDING MEMBER SIZES.

10. TRUSS DESIGNER SHALL PROVIDE WOOD GRADE QUALITY OF ALL BRACING MEMBERS TO ELIMINATE SPLITTING AND CRACKING DURING INSTALLATION BY CARPENTER.

11. THE TRUSS DESIGNER UNDERSTANDS THAT THE BUILDING DESIGNER HAS NO KNOWLEDGE OF THE CRITERIA AND ASSUMPTIONS MADE IN THE DESIGN OF THE TRUSSES FOR THEREFORE, TRUSS CHORD MEMBERS AND PLATES SIZING TO ACCOMMODATE THE STATED REQUIRED BRACING REMAINS THE RESPONSIBILITY OF THE TRUSS DESIGNER.

FLOOR TRUSSES:

1. THE TRUSS DESIGNER SHALL PROVIDE SIZE AND LOCATION OF STIFF BACK BRACING IN FLOOR TRUSSES TO COMPLY WITH DEFLECTION CRITERIA INDICATED ON DRAWINGS. SEE SHEET #1 FOR LOADS AND DEFLECTION CRITERIA.

2. THE 23/32" STRUCTURAL FLOOR SHEATHING SHALL BE INSTALLED AND IS INTENDED TO BECOME THE PERMANENT BRACING FOR THE TRUSS TOP CHORD. THE 1/2" MIN. GYPSUM BOARD SHALL BE INSTALLED AND IS INTENDED TO BECOME THE PERMANENT BRACING FOR THE TRUSS BOTTOM CHORD.

3. ALL TEMPORARY BRACING REQUIRED BY THE TRUSS DESIGNER SHALL REMAIN AS PART OF THE PERMANENT BRACING SYSTEM.

4. POINT LOADS FROM ABOVE REQUIRING SOLID BLOCKING SHALL BE DESIGNED WITH VERTICAL BLOCKS FABRICATED IN PLACE TO ALLOW LOAD TO CONTINUE THROUGH TO BEARING BELOW.

5. BOND FLOOR TRUSSES SHALL BE DESIGNED TO TRANSFER LATERAL WALL LOADS TO BEARING BELOW.

6. TRUSS SPACING SHALL BE DETERMINED BY TRUSS DESIGNER FOR LOAD AND DEFLECTION CRITERIA INDICATED ON DRAWINGS.

7. FLOOR TRUSSES IN AREAS RECEIVING CERAMIC TILE OR OTHER SIMILAR MATERIAL SHALL SPACED A MAXIMUM OF 16" O.C. OR HAVE LADDER BLOCKING INSTALLED AT 16" O.C. BETWEEN TRUSSES (TRUSS DESIGNER'S OPTION). SEE CONSTRUCTION DRAWINGS FOR ALL SUCH LOCATIONS.
MAXIMUM DEFLECTION CRITERIA FOR SUCH MATERIALS SHALL BE AS SPECIFIED BY THE PRODUCT MANUFACTURER OR INDUSTRY STANDARDS.

8. THE TRUSS DESIGNER UNDERSTANDS THAT THE BUILDING DESIGNER HAS NO KNOWLEDGE OF THE CRITERIA AND ASSUMPTIONS MADE IN THE DESIGN OF THE TRUSSES FOR THIS BUILDING. THEREFORE, TRUSS CHORD MEMBERS AND PLATES SIZING TO ACCOMMODATE THE STATED REQUIRED BRACING REMAINS THE RESPONSIBILITY OF THE TRUSS DESIGNER.

NOTES TO TRUSS DESIGNER, TRUSS FABRICATOR, AND CARPENTER/TRUSS INSTALLER:

1. LATERAL BRACING SHALL BE AS SHOWN IN DIAGRAMS OF "HIB-11" PUBLICATION PROVIDED BY TRUSS FABRICATOR:

A. SEE TABLE, HIB-11 SUMMARY SHEET FRAME 3, 'PITCHED TRUSS TOP CHORD TEMPORARY BRACING' FOR MAXIMUM SPACING.

SEE TABLE, HIB-11 SUMMARY SHEET FRAME 4, 'BOTTOM CHORD TEMPORARY BRACING' FOR MAXIMUM SPACING.

B. BRACING MEMBER SHALL BE A MINIMUM OF 10'-0" LONG W/ A LAP OF ONE TRUSS BAY EACH END.

C. TEMPORARY BRACING SIZES FOR ROOF TRUSSES SHALL BE SPECIFIED BY TRUSS DESIGNER FOR INSTALLATION TO INTERIOR CHORD FACE OF TRUSSES.

D. SEE TABLE, HIB-11 SUMMARY SHEET FRAME 3, 'PITCHED TRUSS TOP CHORD TEMPORARY BRACING' FOR MAXIMUM SPACING OF DIAGONAL BRACING.

E. SEE TABLE, HIB-11 SUMMARY SHEET FRAME 4, 'BOTTOM TRUSS CHORD TEMPORARY BRACING' FOR MAXIMUM SPACING OF DIAGONAL BRACING.

F. SEE TABLE, HIB-11 SUMMARY SHEET FRAME 4 FOR DIAGONAL BRACING AT LATERAL BRACE LINES AND MAXIMUM SPACING.

2. TRUSS DESIGNER SHALL PROVIDE COPIES OF ALL FIELD CORRECTIONS AND/OR REPAIR DIAGRAMS AND WRITTEN DIRECTIONS MADE DURING FIELD CONSTRUCTION.

DRAFTSTOPPING:

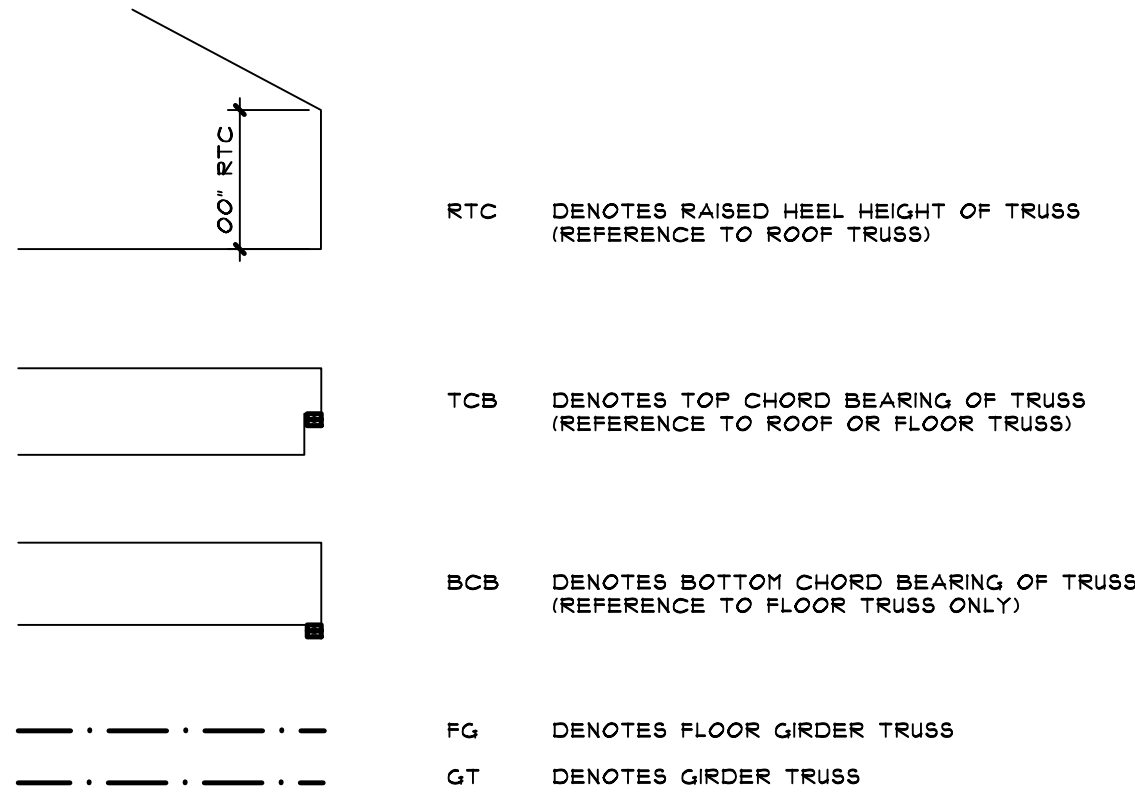
DRAFTSTOPPING SHALL BE PROVIDED IN CONCEALED SPACES OF OPEN WEB TRUSS FLOOR/ CEILING ASSEMBLIES WHICH HAVE USABLE SPACE ABOVE AND BELOW. THE CONCEALED SPACE MAY NOT EXCEED 1000 SQUARE FEET.

PIRERATED TRUSS SYSTEMS:

TRUSS DESIGNER IS TO REVIEW ALL PIRERATED ASSEMBLIES INDICATED ON THE DRAWINGS. THE TRUSS DESIGNER SHALL PROVIDE CHORD MEMBERS AND INDICATE WHERE ANY BRIDGING, BLOCKING OR STIFFENERS ARE TO BE INSTALLED AS REQUIRED BY THE TESTED ASSEMBLY.

ALL METAL TRUSS PLATES USED IN THE FABRICATION OF THE TRUSSES SHALL BE AS SPECIFIED IN THE TESTED ASSEMBLY. ANY LOAD REDUCTION IN CAPACITY OF PLATES SHALL BE COMPLIED WITH.

WHERE PROPRIETARY PLATES, MATERIALS OR PROCESSES ARE LISTED AS A PART OF THE PIRERATED DESIGN THE TRUSS FABRICATOR SHALL OBTAIN MATERIALS OR CERTIFICATION OF COMPLIANCE WITH THE SYSTEM FROM THE PROPRIETARY HOLDER.



FLOOR & ROOF TRUSSES:

THE TRUSS DESIGNER IS TO PROVIDE A DESIGN FOR AN ENTIRE ROOF OR FLOOR SYSTEM, AND NOT FOR INDIVIDUAL COMPONENTS. THE TRUSS DESIGNER MUST ASCERTAIN THAT THE LOADS UTILIZED MEET OR EXCEED THE LOAD VALUES REQUIRED BY THE MICHIGAN BUILDING CODE OR THE MICHIGAN RESIDENTIAL CODE.

TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR ALL TRUSS DESIGNS INCLUDING GIRDERS, HANGERS, BEARING SEATS, AND ANCHORS FOR TRUSSES.

TRUSS FRAMING SHOWN ON PLANS IS FOR GENERAL REFERENCE AND TO INDICATE BEARING LOCATIONS. TRUSS MANUFACTURER SHALL NOTIFY ARCHITECT IF ADDITIONAL BEARING POINTS AND/OR WALLS ARE NEEDED PRIOR TO FABRICATION AND ERECTION.

ALL ROOF TRUSSING SHALL BE BRACED PER THE TRUSS DESIGNER/FABRICATOR'S REQUIREMENTS, BCS1-1-03 AND AS REQUIRED ON DRAWINGS.

TRUSS MEMBERS SHALL NOT BE CUT, NOTCHED, DRILLED, SPLICED OR OTHERWISE ALTERED IN ANY WAY WITHOUT THE APPROVAL OF THE LICENSED TRUSS DESIGNER OR STRUCTURAL ENGINEER.

TRUSS DESIGN DRAWINGS, PREPARED IN COMPLIANCE WITH SECTION R-802.10.1, SHALL BE PROVIDED TO THE BUILDING OFFICIAL AND APPROVED PRIOR TO INSTALLATION. TRUSS DESIGN DRAWING SHALL BE PROVIDED WITH THE SHIPMENT OF TRUSSES DELIVERED TO THE JOBSITE. TRUSS DESIGN DRAWINGS SHALL INCLUDE, AT A MINIMUM, THE FOLLOWING INFORMATION SPECIFIED BELOW:

- SLOPE OR DEPTH, SPAN, AND SPACING.
 - LOCATION OF ALL JOINTS.
 - REQUIRED BEARING WIDTHS.
 - DESIGN LOADS AS APPLICABLE.
 - TOP CHORD LIVE LOAD (INCLUDING NORMAL SNOW LOADS & DRIFTING LOADS)
 - TOP CHORD DEAD LOAD.
 - BOTTOM CHORD LIVE LOAD.
 - BOTTOM CHORD DEAD LOAD.
 - CONCENTRATED LOADS AND THEIR POINTS OF APPLICATION.
 - CONTROLLING WIND AND/OR EARTHQUAKE LOADS.
 - ADJUSTMENTS TO LUMBER AND JOINT CONNECTOR DESIGN VALUES FOR CONDITIONS OF USE.
 - EACH REACTION FORCE AND DIRECTION.
 - JOINT CONNECTOR TYPE AND DESCRIPTION (E.G. SIZE, THICKNESS OR GAUGE); AND THE DIMENSIONS/ LOCATION OF EACH JOINT CONNECTOR EXCEPT WHERE SYMMETRICALLY LOCATED RELATIVE TO THE JOINT INTERFACE.
 - LUMBER SIZE, SPECIES AND GRADE FOR EACH MEMBER.
 - CONNECTION REQUIREMENTS FOR:
 - TRUSS-TO-TRUSS GIRDER
 - TRUSS PLY-TO-PLY.
 - FIELD SPLICES.
 - CALCULATED DEFLECTION RATIO AND OR MAXIMUM DESCRIPTION FOR LIVE AND TOTAL LOAD.
 - MAXIMUM AXIAL COMPRESSION FORCES IN THE TRUSS MEMBERS AND ANY REINFORCING REQUIRED FOR OVERSTRESSED MEMBERS, CONNECTIONS AND ANCHORAGE OF THE PERMANENT CONTINUOUS LATERAL BRACING. FORCES SHALL BE SHOWN ON THE TRUSS DRAWING OR ON SUPPLEMENTAL DOCUMENTS.
 - REQUIRED PERMANENT TRUSS MEMBER BRACING LOCATION.
- TRUSS FABRICATOR/CONTRACTOR TO PROVIDE ALL HANGERS W/ MODEL No. CLEARLY STAMPED & LAYOUT DRAWINGS CLEARLY INDICATING LOCATION OF VARIOUS HANGERS REQUIRED.
- TRUSS FABRICATOR/CONTRACTOR TO PROVIDE TRUSS LAYOUT DRAWINGS SHOWING THE FOLLOWING (IN ADDITION TO ANY CODE REQUIREMENTS):
- TRUSS TYPE INDICATORS CLEARLY MARKED.
 - END LOAD REACTIONS FOR ALL GIRDER TRUSSES, INCLUDING ANY UPLIFT LOADS.

NOTE TO: GENERAL CONTRACTOR & CARPENTRY CONTRACTOR

READ AND FOLLOW ALL INSTRUCTIONS PROVIDED BY TRUSS ENGINEER/ FABRICATOR FOR ERECTION, TEMPORARY, AND PERMANENT BRACING REQUIREMENTS AND FOR ALL REQUIRED BRACING LOCATIONS.

ALL PERMANENT BRACING SHALL BE DESIGNED BY OTHERS AND INSTALLED AS SPECIFIED.

DO NOT REMOVE ANY TEMPORARY BRACING UNTIL ROOF IS FULLY SHEATHED UNLESS ALLOWED BY THE TRUSS ENGINEER/FABRICATOR.

READ AND FOLLOW ALL INSTRUCTIONS PROVIDED BY TRUSS ENGINEER/FABRICATOR FOR INSTALLATION REQUIREMENTS, TRUSS LOCATIONS, AND ON SITE STORAGE REQUIREMENTS.

GENERAL CONTRACTOR, CARPENTRY CONTRACTOR, AND TRUSS ENGINEER/FABRICATOR TO HOLD ON SITE PRE-ERECTION MEETING TO DISCUSS PROPER ERECTION PROCEDURES AND BRACING REQUIREMENTS.

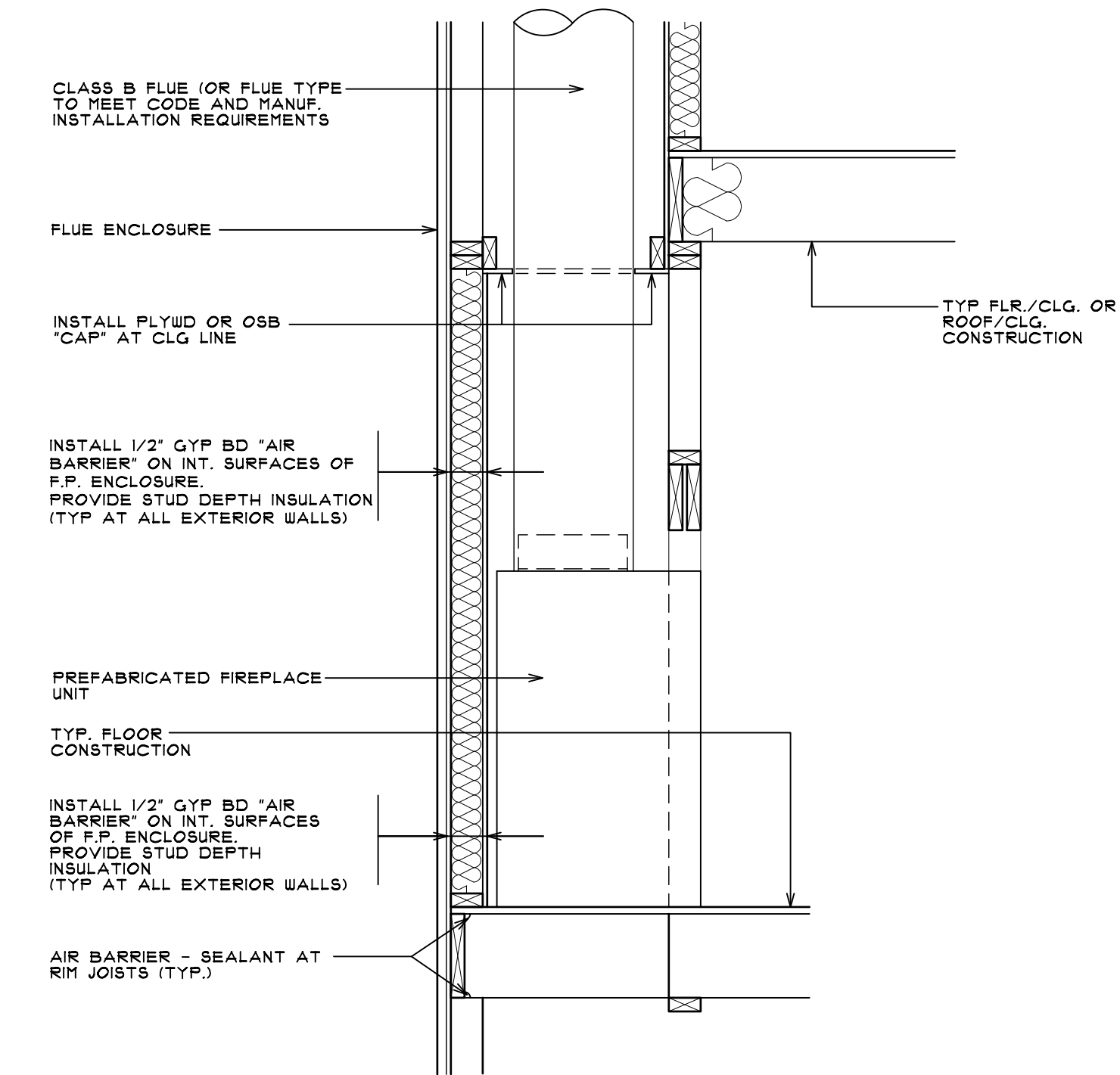


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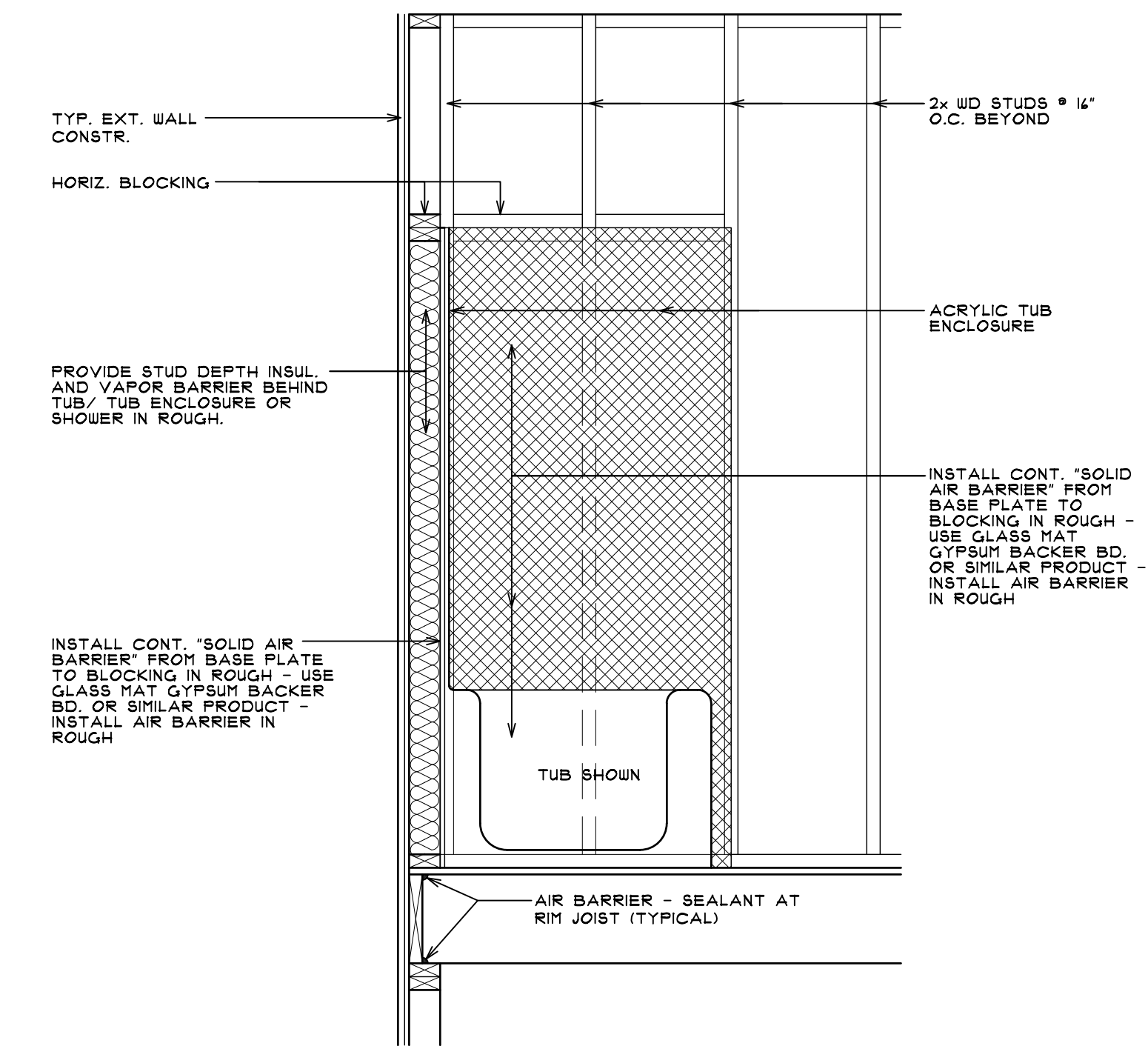
SHEET TITLE
TRUSS NOTES/WALL
TIEDOWN DETAILS
PRELIMINARY

CLIENT / PROJECT
BINGHAM DEVELOPMENT
SINGLE FAMILY RESIDENCE
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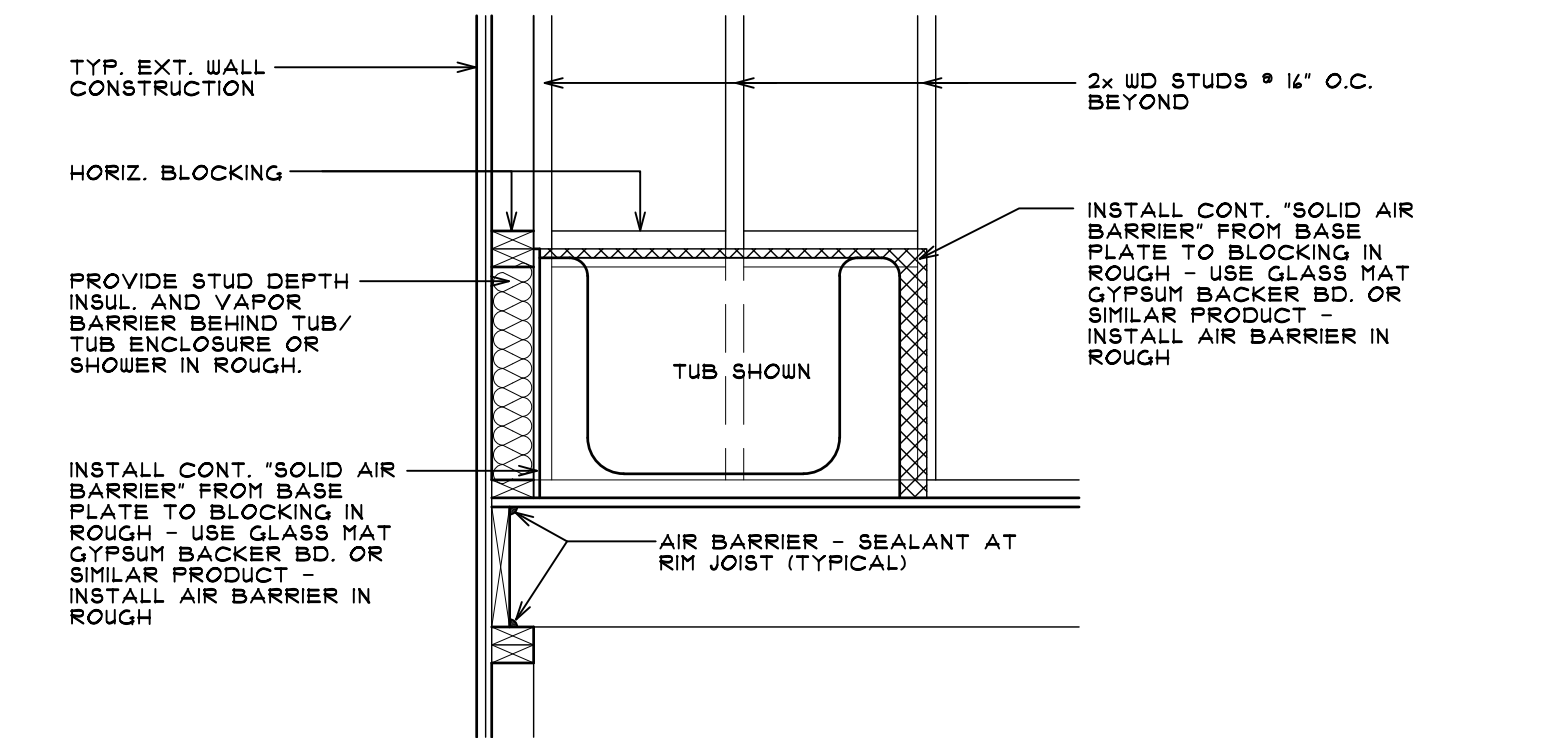
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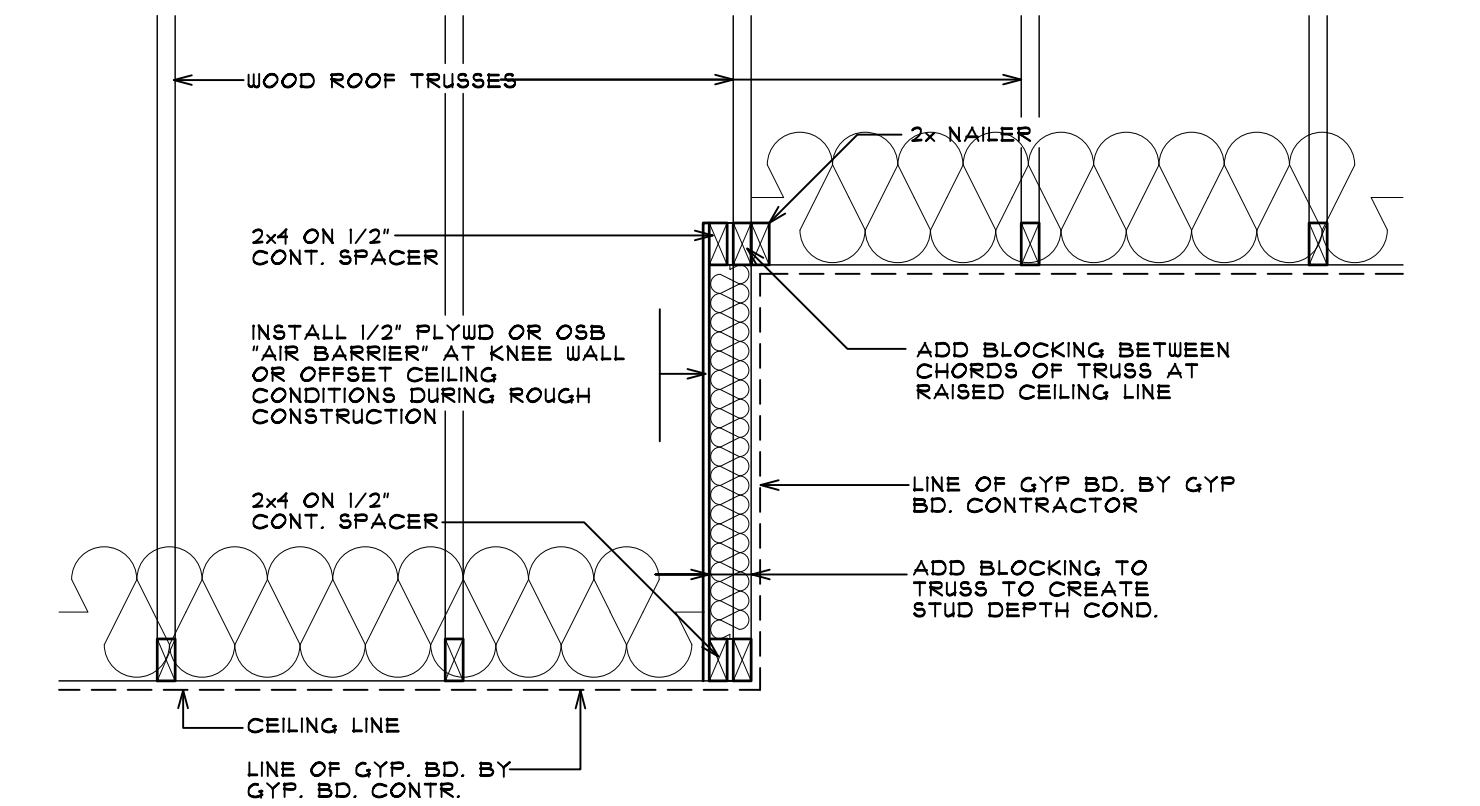
10 AIR BARRIER - WALL BEHIND FIREPLACE
D-1 SCALE: 3/4" = 1'-0"



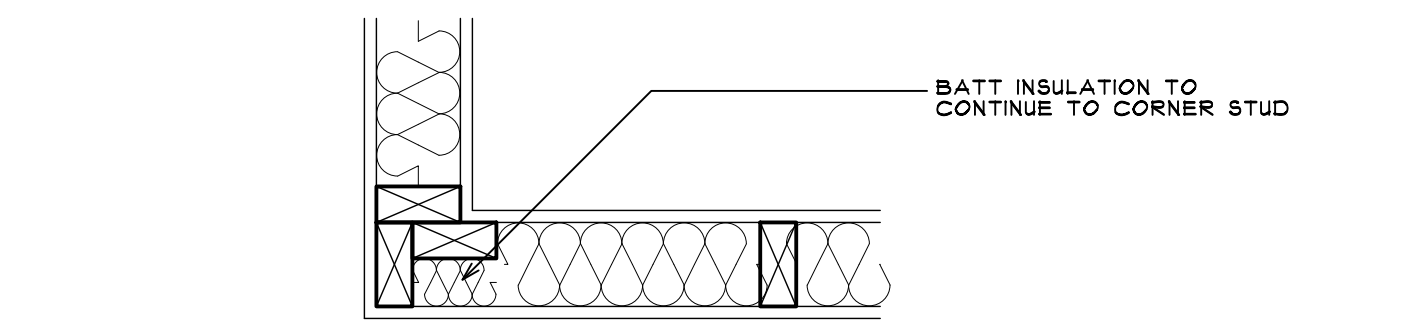
4 AIR BARRIER - WALL TUB/SHOWER
D-1 SCALE: 3/4" = 1'-0"



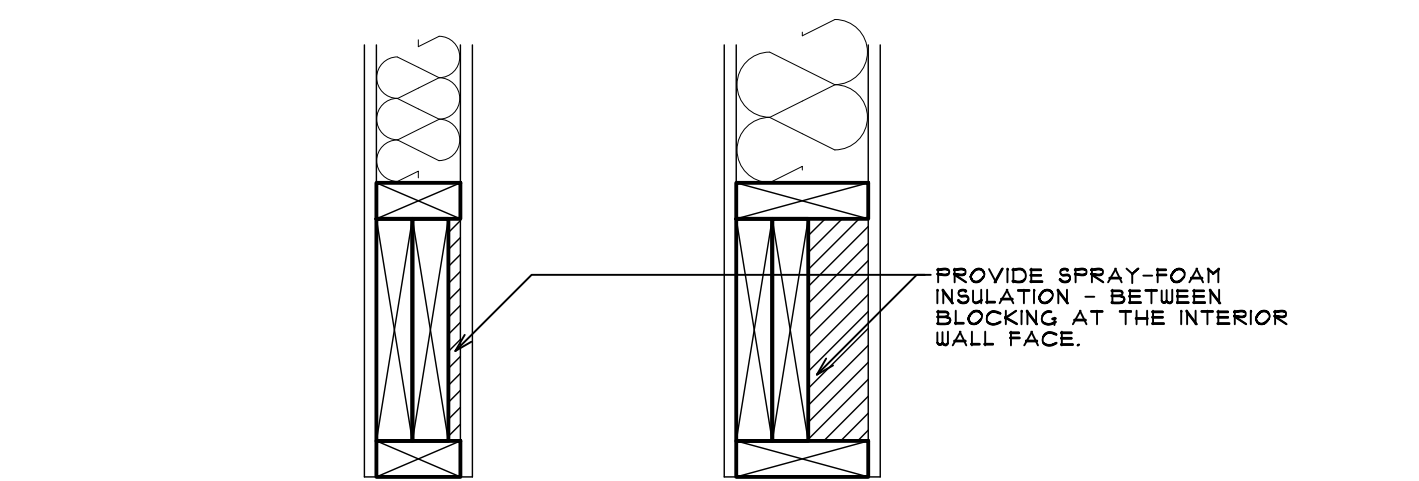
3 AIR BARRIER - TUB/SHOWER
D-1 SCALE: 3/4" = 1'-0"



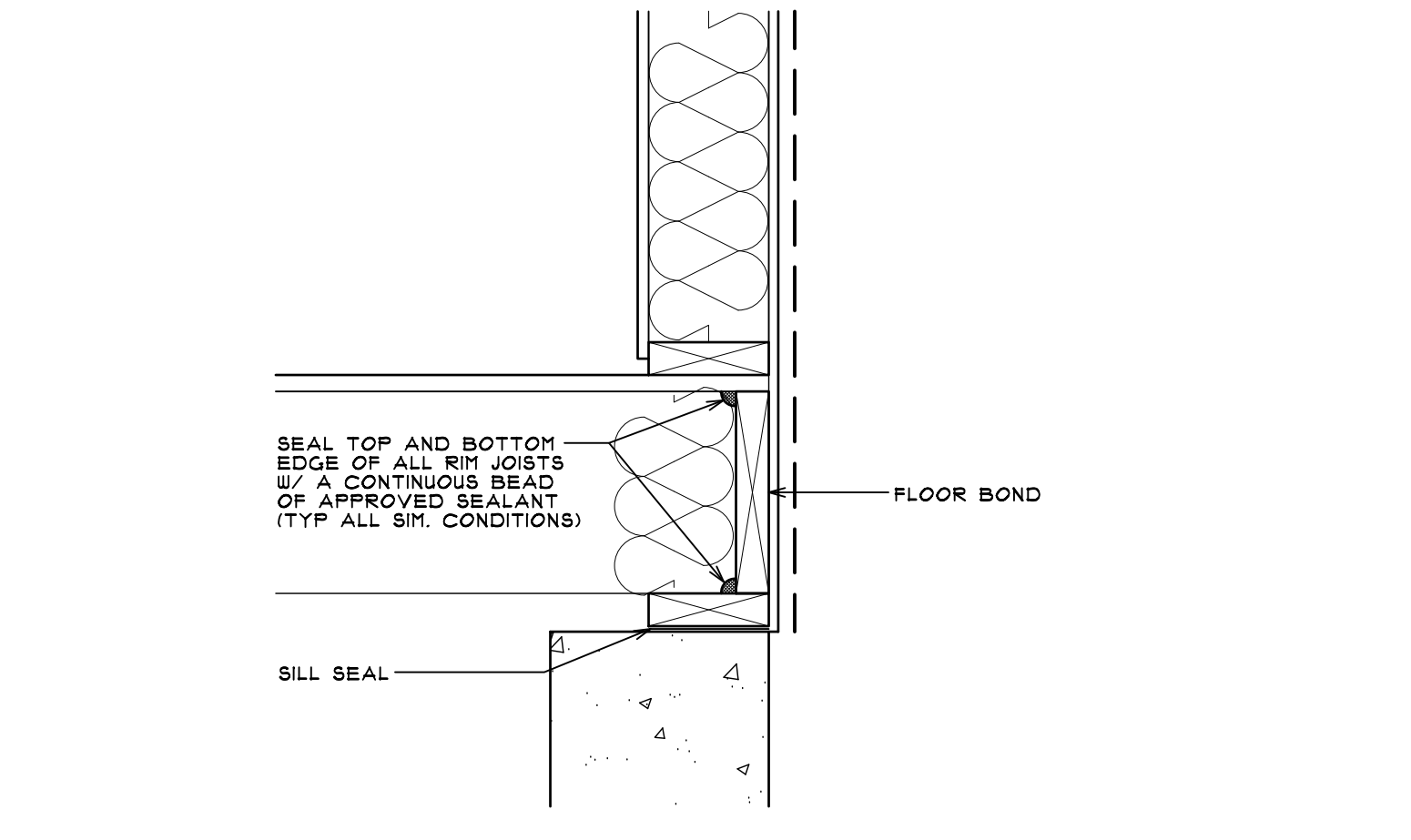
8 AIR BARRIER - AT STEPPED CEILING
D-1 KNEEWALL CONDITION SCALE: 3/4" = 1'-0"



6 INSULATION
D-1 WALL CORNER SCALE: 1 1/2" = 1'-0"



5 INSULATION
D-1 HEADERS SCALE: 1 1/2" = 1'-0"



2 AIR BARRIER - THERMAL ENVELOPE
D-1 FLOOR BOND CONDITION SCALE: 1 1/2" = 1'-0"

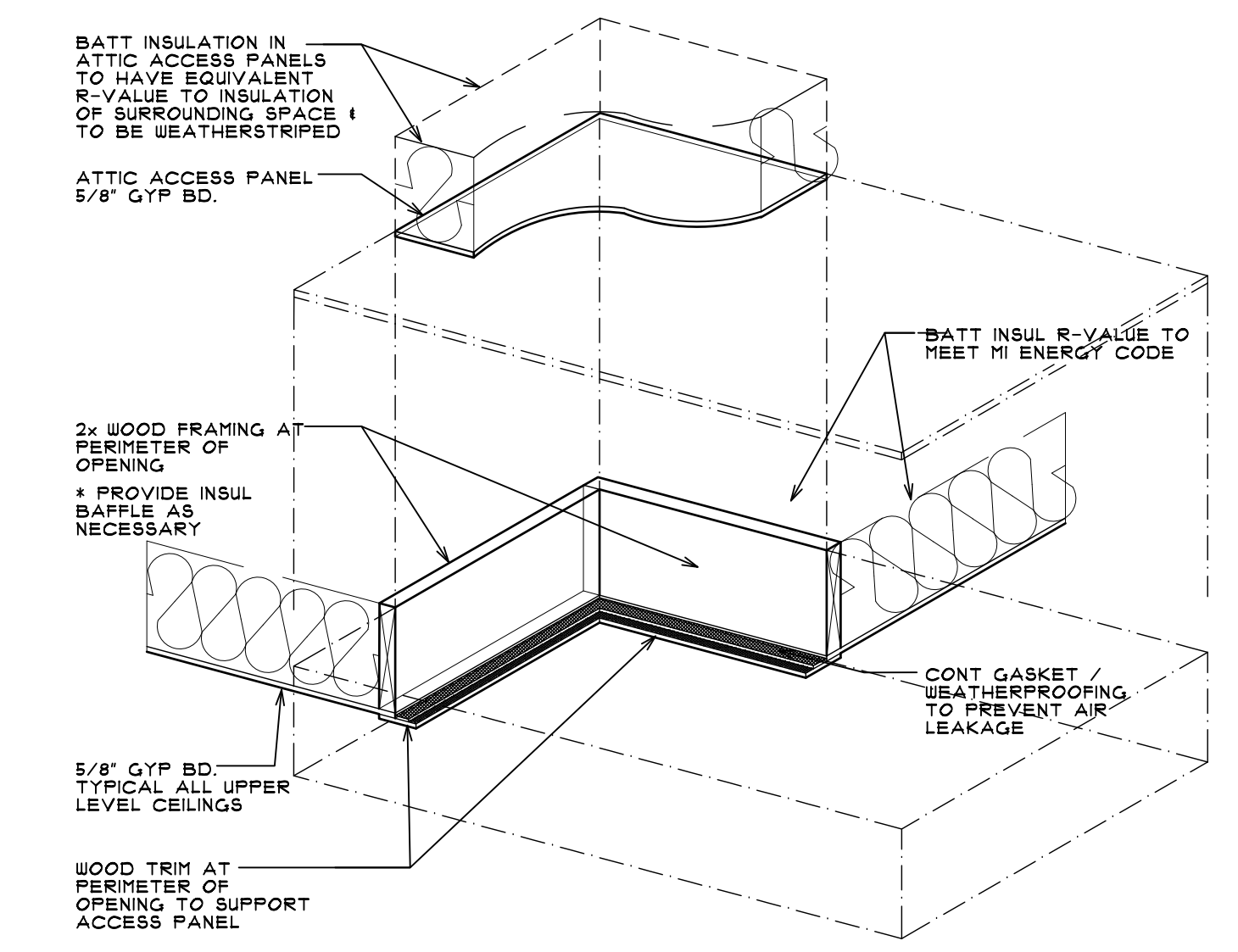
NOTE:

INSULATION MUST BE CUT AROUND PIPES AND WIRES. THE INSULATION SHOULD NOT BE COMPRESSED OR HAVE GAPS / VOIDS. INSULATION SHOULD BE FULLY ALIGNED WITH THE INTERIOR FACE OF THE STUDS.

THE INSULATION SHOULD NEVER BE COMPRESSED TO FIT BEHIND PIPES OR WIRES AND MUST FILL ALL VOIDS.

PROPER INSTALLATION

IMPROPER INSTALLATION



1 AIR BARRIER - ATTIC ACCESS PANEL
D-1 SCALE: NTS

CHAPTER II: ENERGY EFFICIENCY

BUILDER'S OPTIONS FOR COMPLIANCE CLIMATE ZONE 5A

A) PROVIDE INSULATION AND PERFORMANCE VALUES AS PRESCRIBED IN SECTION N102 (TABLE N102.1))

EXTERIOR ENCLOSURE	VALUE
WALL ASSEMBLIES	R-20
ROOF / CEILING	R-38
SLAB ON GRADE	R-10, 2 FT.
CRAWL SPACE WALL (CONT.)	R-15
CRAWL SPACE WALL (CAVITY)	R-14
BASEMENT WALL (CONTINUOUS)	R-10
BASEMENT WALL (CAVITY)	R-13
PENESTRATION / OPENINGS (AREA WEIGHTED AVERAGE OF THE TOTAL AREA OF PENESTRATION UNITS)	U-0.32 R-2.85

* SEE TABLE N102.1) SECTION N102 FOR FOOTNOTES

B) PROVIDE A SIMULATED PERFORMANCE ALTERNATIVE (BY OTHERS) AS PRESCRIBED IN SECTION N103 (PERFORMANCE), PLUS ALL MANDATORY PROVISIONS LISTED IN SECTION N103. INSULATION VALUES WILL BE DETERMINED AS PART OF THIS PERFORMANCE METHOD OF COMPLIANCE.

NOTES:

- * THE BUILDER/GC SHALL HAVE A COPY OF THE CURRENT MI RESIDENTIAL CODE ON SITE FOR REFERENCE BY STAFF AND TRADES FOR THE ENTIRE DURATION OF CONSTRUCTION.
- * REFER TO CHAPTER II, ENERGY EFFICIENCY FOR ALL MANDATORY COMPLIANCE PROVISIONS.
- * A MINIMUM OF 15% OF PERMANENTLY INSTALLED LIGHT FIXTURES TO BE HIGH EFFICACY LAMPS. THE BUILDER/GENERAL CONTRACTOR, ELECTRICAL CONTRACTOR, OR INTERIOR DESIGNER SHALL PROVIDE A LIGHT FIXTURE SCHEDULE DEMONSTRATING COMPLIANCE.
- * ALL DUCTS TO BE SEALED BY THE MECHANICAL CONTRACTOR. DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE TWO LISTED OPTIONS UNLESS EXCEPTED BY THIS SECTION.
- * THE BUILDER/GENERAL CONTRACTOR TO PERMANENTLY AFFIX AN ENERGY FEATURES CERTIFICATE ON THE ELECTRIC PANEL. THE CERTIFICATE TO INCLUDE A LIST OF THE PREDOMINANT R-VALUES INSTALLED, U-FACTORS FOR PENESTRATION ITEMS, HVAC AND WATER HEATER TYPES AND EFFICIENCIES.
- * ALL WOOD BURNING FIREPLACES TO HAVE TIGHT FITTING FLUE DAMPERS OR DOORS AND OUTSIDE COMB. AIR.
- * MEP CONSTRUCTION DOCUMENTS ARE BY OTHERS - MEP DOCUMENTS TO INCLUDE ALL MEP DESIGN CRITERIA AND CONTROLS ALONG W/ ALL DUCT AND PIPE INSULATION LOC'S DETAILS AND R-VALUES.
- * ALL BALANCING AND COMMISSIONING OF MECH. EQUIP. IS NOT PART OF THE ARCHITECT'S SCOPE AND IS BY OTHERS.
- * R-10 INSUL. IS REQ'D AT EDGE OF ALL PERIMETER CONC. SLABS. INSULATION MUST RUN VERTICAL FROM TOP OF SLAB TO BELOW GRADE THEN EITHER VERTICAL OR HORIZONTAL FOR REMAINDER OF REQUIRED DISTANCE.
- * INSTALLATION OF CARPET USING A TACK STRIP AT THE SLAB ON GRADE EDGE MUST USE A GLUED DOWN TACK STRIP - DO NOT RAIL SET TACK STRIP.

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PRELIMINARY

CLIENT / PROJECT

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