

**AGENDA**  
**BIRMINGHAM DESIGN REVIEW BOARD**  
**Wednesday - January 19, 2022**  
**BIRMINGHAM CITY HALL, 151 MARTIN ST, COMMISSION ROOM 205, BIRMINGHAM MI \***  
**\*\*\*\*\* 7:15 PM\*\*\*\*\***

The highly transmissible COVID-19 Delta variant is spreading throughout the nation at an alarming rate. As a result, the CDC is recommending that vaccinated and unvaccinated personnel wear a facemask indoors while in public if you live or work in a substantial or high transmission area. Oakland County is currently classified as a substantial transmission area. **The City has reinstated mask requirements for all employees while indoors. The mask requirement also applies to all board and commission members as well as the public attending public meetings.**

- 1) Roll Call
- 2) **Approval of the DRB Minutes of December 15, 2021**
- 3) Public Hearing
- 4) Design Review
- 5) Sign Review
- 6) Study Session
  - A. **Sign Ordinance (Update)**
- 7) Miscellaneous Business and Communication
  - A. Pre-Application Discussions
  - B. Draft Agenda
    1. **February 2, 2022**
  - C. Staff Reports
    1. **Administrative Sign Approvals**
    2. **Administrative Approvals**
    3. **Action List 2022**
- 8) Adjournment

\*Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall, 151 Martin St., or may attend virtually at:

**Link to Access Virtual Meeting:** <https://zoom.us/j/91282479817>  
**Telephone Meeting Access:** 877 853 5247 US Toll-free  
**Meeting ID Code:** 912 8247 9817

Notice: Individuals requiring accommodations, such as interpreter services for effective participation in this meeting should contact the City Clerk's Office at [\(248\) 530-1880](tel:2485301880) at least on day in advance of the public meeting.

Las personas que requieren alojamiento, tales como servicios de interpretación, la participación efectiva en esta reunión deben ponerse en contacto con la Oficina del Secretario Municipal al [\(248\) 530-1880](tel:2485301880) por lo menos el día antes de la reunión pública. (Title VI of the Civil Rights Act of 1964).

**A PERSON DESIGNATED WITH THE AUTHORITY TO MAKE DECISIONS MUST BE PRESENT AT THE MEETING.**



**Design Review Board  
Minutes Of December 15, 2021**

151 Martin Street, City Commission Room 205, Birmingham, MI

Minutes of the regular meeting of the Design Review Board ("DRB") held Wednesday, December 15, 2021. Chair John Henke called the meeting to order at 7:19 p.m.

**1) Rollcall**

**Present:** Chair John Henke; Board Members Natalia Dukas, Patricia Lang, Julie Rasaweher, Michael Willoughby; Alternate Board Member Samantha Cappello; Student Representatives Charles Cusimano, Elizabeth Wiegand

**Absent:** Vice-Chair Keith Deyer; Board Member Dustin Kolo; Alternate Board Member Kathleen Kriel

**Administration:** Nicholas Dupuis, Planning Director  
Laura Eichenhorn, City Transcriptionist

**12-120-21**

**2) Approval of the DRB Minutes of December 1, 2021**

**Motion by Ms. Rasaweher**

**Seconded by Ms. Lang to approve the DRB Minutes of December 1, 2021 as submitted.**

**Motion carried, 6-0.**

VOICE VOTE

Yeas: Rasaweher, Lang, Cappello, Henke, Dukas, Willoughby

Nays: None

**12-121-21**

**3) Public Hearing**

None.

**12-122-21**

**4) Design Review**

None.

**12-123-21**

**5) Sign Review**



**A. 34100 Woodward – Loan X Mortgage**

PD Dupuis presented the item.

Tim Dankha, President of Loan X Mortgage, spoke on behalf of the request.

It was explained to Mr. Dankha that the sign could either replace the Wells Fargo sign as the building identification sign on the third floor, or could be located within the sign band on the first floor. The Board noted that the ordinance would not permit the sign to be installed on the second floor as proposed.

**Motion by Mr. Willoughby**

**Seconded by Ms. Cappello to deny the sign review application for 34100 Woodward – Loan X Mortgage, but to allow the sign to be installed as-designed within the sign band pending administrative approval.**

**Motion carried, 6-0.**

VOICE VOTE

Yeas: Willoughby, Cappello, Henke, Dukas, Rasawehr, Lang

Nays: None

PD Dupuis invited Mr. Dankha to get in touch regarding next steps.

**12-124-21**

**6) Study Session**

**A. Sign Ordinance Update**

PD Dupuis said the City Attorney would review the proposed updates to the sign ordinance language before the proposed updates are presented to the DRB.

**12-125-21**

**7) Miscellaneous Business And Communications**

**A. Pre-Application Discussions**

**B. Draft Agenda**

**C. Staff Reports**

**1. Administrative Sign Approvals**

**2. Administrative Approvals**

**3. Action List 2021**

**12-126-21**

**Adjournment**



**Motion by Ms. Dukas**

**Seconded by Ms. Cappello to adjourn the DRB meeting of December 15, 2021 at 7:42 p.m.**

**Motion carried, 6-0.**

VOICE VOTE

Yeas: Dukas, Cappello, Henke, Rasawehr, Willoughby, Lang

Nays: None

Nicholas Dupuis  
Planning Director



**AGENDA**  
**BIRMINGHAM DESIGN REVIEW BOARD**  
**Wednesday - February 2, 2022**  
**BIRMINGHAM CITY HALL, 151 MARTIN ST, COMMISSION ROOM 205, BIRMINGHAM MI \***  
**\*\*\*\*\* 7:15 PM\*\*\*\*\***

The highly transmissible COVID-19 Delta variant is spreading throughout the nation at an alarming rate. As a result, the CDC is recommending that vaccinated and unvaccinated personnel wear a facemask indoors while in public if you live or work in a substantial or high transmission area. Oakland County is currently classified as a substantial transmission area. **The City has reinstated mask requirements for all employees while indoors. The mask requirement also applies to all board and commission members as well as the public attending public meetings.**

- 1) Roll Call
- 2) **Approval of the DRB Minutes of January 19, 2022**
- 3) Public Hearing
- 4) Design Review
- 5) Sign Review
- 6) Study Session
  - A. **Sign Ordinance (Update)**
- 7) Miscellaneous Business and Communication
  - A. Pre-Application Discussions
  - B. Draft Agenda
    1. **February 16, 2022**
  - C. Staff Reports
    1. **Administrative Sign Approvals**
    2. **Administrative Approvals**
    3. **Action List 2022**
- 8) Adjournment

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**A PERSON DESIGNATED WITH THE AUTHORITY TO MAKE DECISIONS MUST BE PRESENT AT THE MEETING.**





## Administrative Sign Approval Application Planning Division

Form will not be processed until it is completely filled out.

**APPROVED**

10/19/21

PAA81-0112

### 1. Applicant

Name: Barbat Capital, LLC  
Address: 7499 Middlebelt Road  
West Bloomfield, MI 48322  
Phone Number: 248.426.8200  
Fax Number:  
Email Address: joe@barbatholdings.com

### 2. Property Owner

Name: Barbat Capital, LLC  
Address: 7499 Middlebelt Road  
West Bloomfield, MI 48322  
Phone Number: 248.426.8200  
Fax Number:  
Email Address: joe@barbatholdings.com

### 3. Applicant's Attorney/Contact Person

Name: Jessica Mathis  
Address: 7499 Middlebelt Road  
West Bloomfield, MI 48322  
Phone Number: 248.606.9904  
Fax Number:  
Email Address: jmathis@barbatholdings.com

### 4. Project Designer/Developer

Name: Thomas Roberts Architect  
Address: 2927 4th Street  
Wyandotte, MI 481092  
Phone Number: 734.250.4032  
Fax Number:  
Email Address: tom@thomasrobertsarchitect.com

### 5. Project Information

Address/Location of Property: 400 S. Old Woodward Ave.  
Birmingham, MI 48009  
Name of Development: Birmingham House  
Parcel ID#: 19-36-205-042  
Current Use: Mixed-Use commercial & residential  
Area in Acres: 0.58 acres  
Current Zoning: B-2B, D2 overlay, parking assessment

Name of Historic District if any: NA  
Date of HDC Approval, if any: NA  
Date of Application for Preliminary Site Plan: NA  
Date of Preliminary Site Plan Approval: NA  
Date of Application for Final Site Plan: NA  
Date of Final Site Plan Approval: NA  
Date of Revised Final Site Plan Approval: NA

### 6. Required Attachments

- Two (2) folded paper copies of plans including details of the following:
  - Dimensions of proposed sign(s)
  - Dimensions of building frontage
  - Illumination
  - Height from grade
- Location of proposed sign(s)
- Colors and materials
- Authorization from Property Owner(s) (if applicant is not the owner)
- Material Samples
- Digital Copy of Plans

### 7. Details of the Request for Administrative Approval

Requesting approval of new exterior signage on the north and east facades that identify the new owners and tenants. The signage design and location meet city signage standards.

90' Frontage

### 8. Location of Proposed Sign(s)

East and north facades

### 9. Type of Proposed Sign(s)

Wall: Yes flush mounted  
Ground: No  
Name Letter: No  
Canopy: No

Projecting (Post-Mounted): No  
Projecting (Wall-Mounted): No  
Building Identification: Yes  
Other:



**10. Size of Proposed Sign**

Width: Imagination: 7'-2", Barbat Holdings: 8'-0", Birmingham Houze: 8'-11", Parking: 4'-7"  
 Depth: Imagination: 1-1/2", Barbat Holdings, Birmingham Houze & Parking: 6"  
 Height of Lettering: Imagination: 1'-4", Barbat Holdings: 1'-10", Birmingham Houze: 1'-1", Parking: 1'

Overall Height: Imagination: 2'-4", Barbat Holdings: 2'-4", Birmingham Houze: 1'-1", Parking: 1'  
 Extension from Wall: Imagination: 1-1/2", Barbat Holdings & Birmingham Houze: 6"  
 Total Square Feet: Imagination: 14.3sf, Barbat Holdings: 16sf, Birmingham Houze: 9.88sf, Parking: 4.58sf

**11. Existing Signs Currently on Property**

Number: Existing "The Forefront" signs will be removed  
 Square Feet per Sign: \_\_\_\_\_

Sign Type(s): \_\_\_\_\_  
 Total Square Feet: \_\_\_\_\_

**12. Materials/Style of Proposed Sign(s)**

Metal: Yes, Aluminum  
 Plastic: No  
 Wood: No  
 Glass: No

Other: \_\_\_\_\_  
 Color #1: Clear polished aluminum (Imagination)  
 Color #2: Black powder coat (Barbat Holdings, Birmingham Houze & Parking)  
 Additional Colors: \_\_\_\_\_

**13. Content of Proposed Sign(s)**

Barbat Holdings LLC (tenant), Imagination (tenant), Birmingham Houze (residential), and Parking (way finding)

**14. Proposed Sign Lighting**

Type of Lighting: Signs will not be illuminated  
 Size of Fixtures (LxWxH): \_\_\_\_\_  
 Maximum Wattage per Fixture: \_\_\_\_\_  
 Proposed Wattage per Fixture: \_\_\_\_\_

Location: \_\_\_\_\_  
 Number of Lights Proposed: \_\_\_\_\_  
 Height from Grade: \_\_\_\_\_  
 Lighting Style: \_\_\_\_\_

**15. Landscaping (Ground Signs Only)**

Location of Landscape Areas: NA

Proposed Landscape Material: NA

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: \_\_\_\_\_

Date: 10-11-2021

**Office Use Only**

Application # PA921-0112

Date Received: 10/11/21

Fee: \$100.00

Date of Approval: 10/19/21

Date of Denial: N/A

Reviewed By: \_\_\_\_\_






CONSENT OF PROPERTY OWNER

I, Barbat Capital, LLC, OF THE STATE OF Michigan AND  
(Name of Property Owner)  
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 400 S. Old Woodward Ave., Birmingham, MI 48009;  
(Address of Affected Property)
2. That I have read and examined the Application for Administrative Approval made to the City of  
Birmingham by: Joe Barbat;  
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Name of Owner (Printed): Joe Barbat

Signature of Owner:  Date: 10-11-2021



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## 400 S. Old Woodward - Signed Signage Permit Application

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**Thomas Roberts** <tom@thomasrobertsarchitect.com>  
To: Nicholas Dupuis <ndupuis@bhamgov.org>

Mon, Oct 18, 2021 at 2:40 PM

Nicholas. It took me a few minutes, but fixed the issue with the dimensions.

Feel free to mark up the drawings. Please let me know if you need anything else.

Tom

**Thomas Roberts, AIA**  
734.250.4032  
tom@thomasrobertsarchitect.com

**THOMAS ROBERTS** Architect  
2927 4th Street  
Wyandotte, MI 48192  
www.thomasrobertsarchitect.com

[Quoted text hidden]

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 **20002\_A402 Exterior Elevations\_2021-10-18\_Dimensions.pdf**  
376K

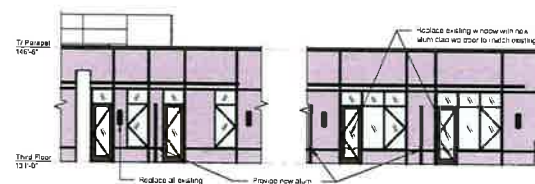




MATERIAL: ALUMINUM  
FINISH: BLACK POWDER COA  
MOUNTING: FLUSH MOUNT  
LETTER DEPTH: 8"



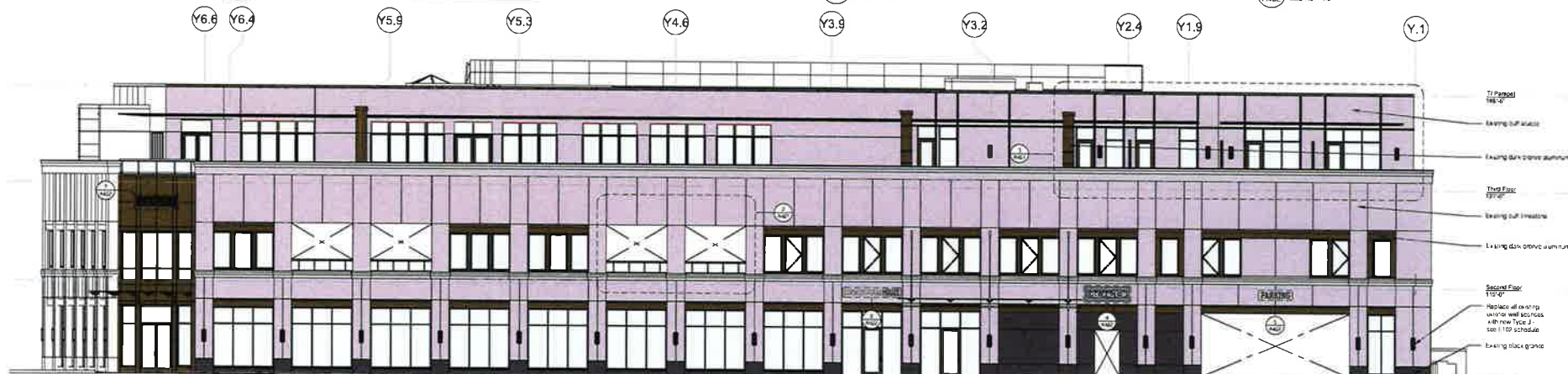
MATERIAL: ALUMINUM  
 FINISH: CLEAR POLISHED LETTERING  
 CLEAR BRUSHED SURROUND  
 MOUNTING: FLUSH MOUNT  
 DEPTH: 1 1/2"



3 Partial Proposed North Elevation



2  
A402 Partial Proposed North Elevation



1 Proposed North Elevation  
A402 Scale 1/8" = 1'-0"

THOMAS  
ROBERTS  
ARCHITECT, LLC  
2927 4th Street  
Wyandolite, MI 48192  
(734) 250-4032

[illegible]

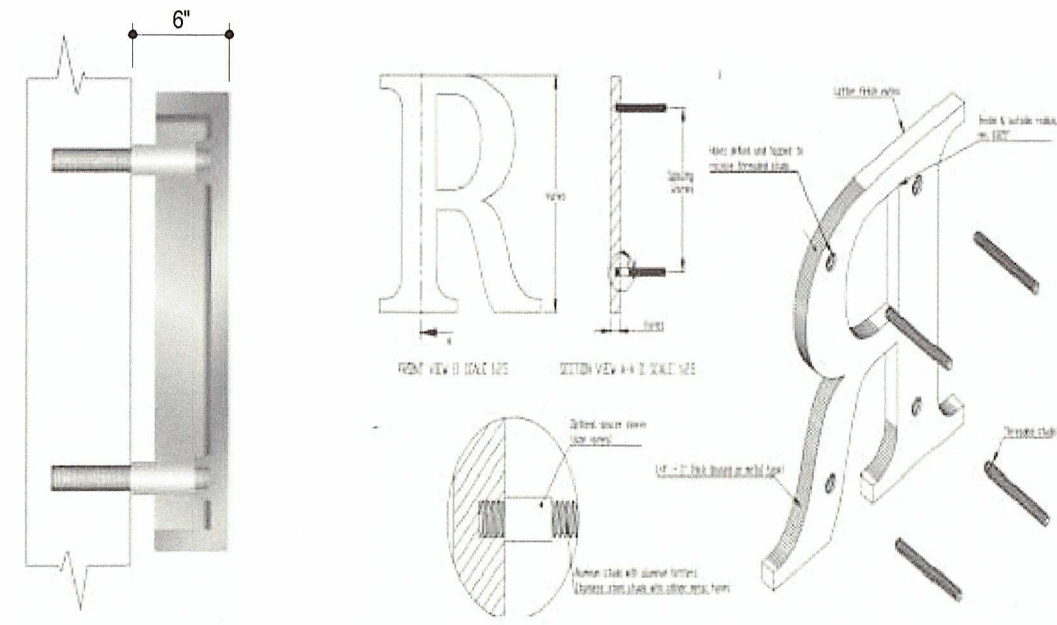
**Birmingham Houze**  
Residential Apartments Build-Out  
400 S. Old Woodward Ave.  
Birmingham, Michigan 48009

TR	principal in charge
NM	project manager
NM	project architect
EL	staff

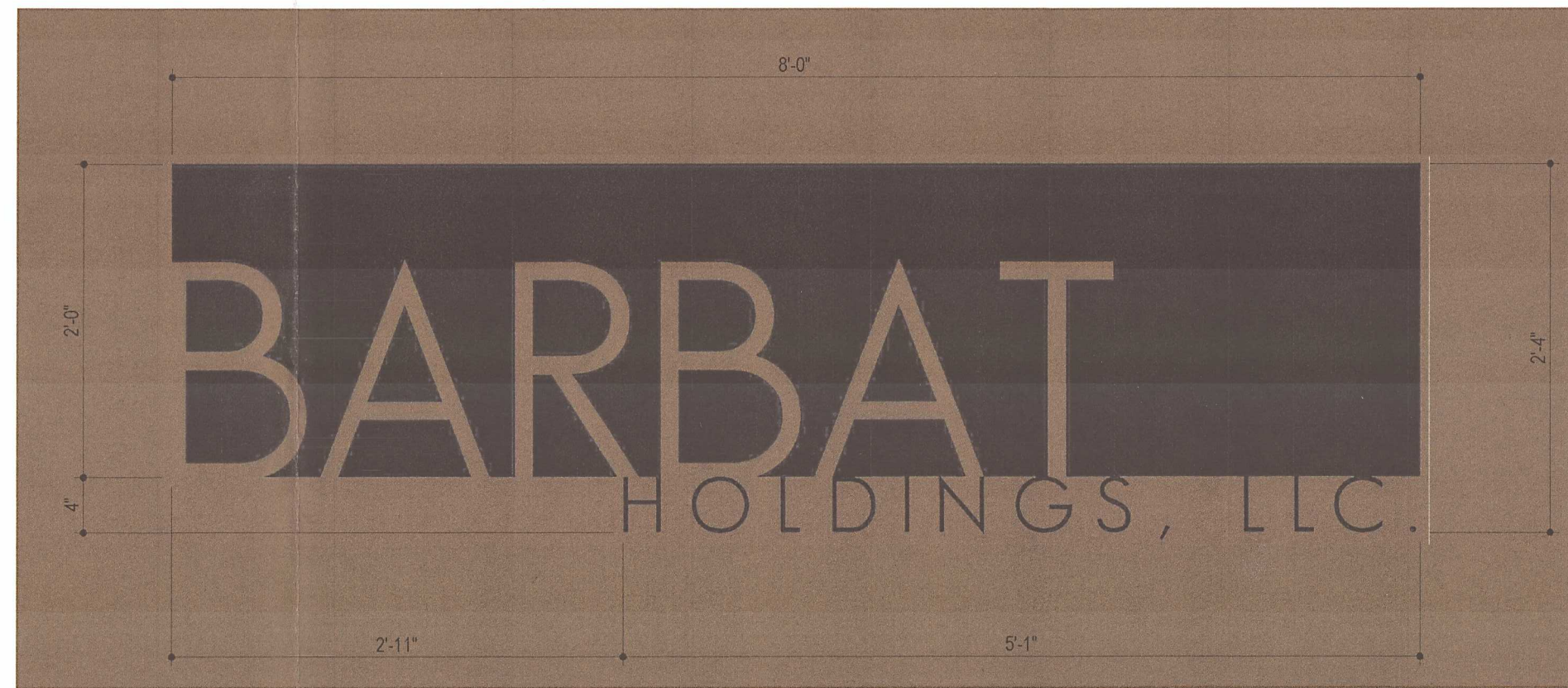
03/06/2020  
date  
20002  
job number  
A402

sheet number





8 Signage Mounting Detail  
Scale: Not to Scale



7 Sign #2 (S. Old Woodward Ave. / Daines St.)  
Scale: 1" = 1'-0"

MATERIAL: ALUMINUM  
FINISH: BLACK POWDER COAT  
MOUNTING: FLUSH MOUNT  
LETTER DEPTH: 6"



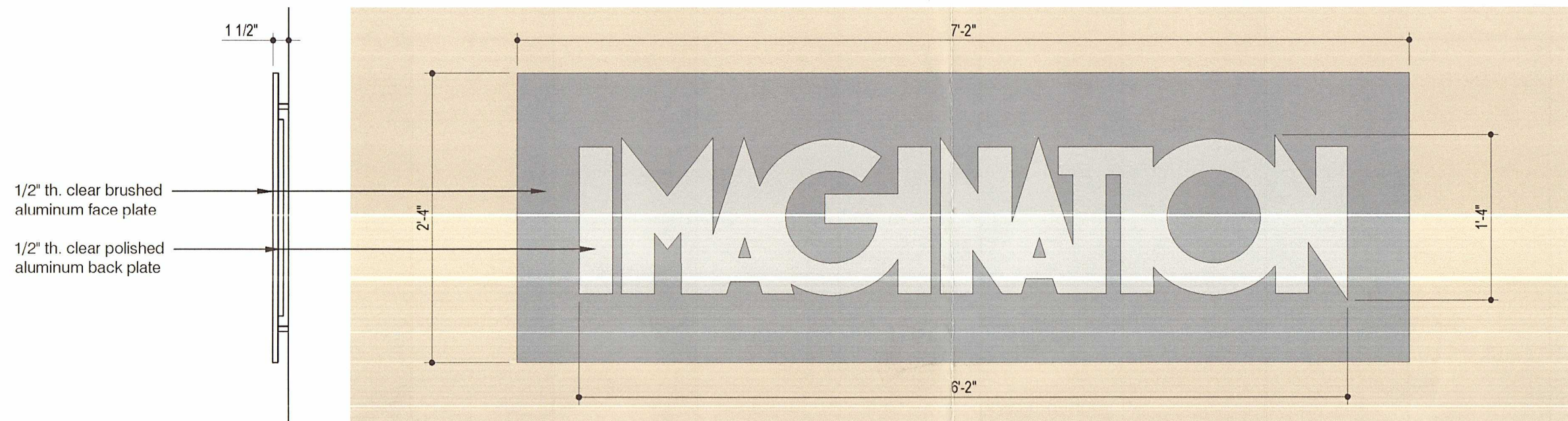
6 Sign #1 (S. Old Woodward Ave.) & Sign #3 (Daines St.)  
Scale: 1" = 1'-0"

MATERIAL: ALUMINUM  
FINISH: BLACK POWDER COAT  
MOUNTING: FLUSH MOUNT  
LETTER DEPTH: 6"



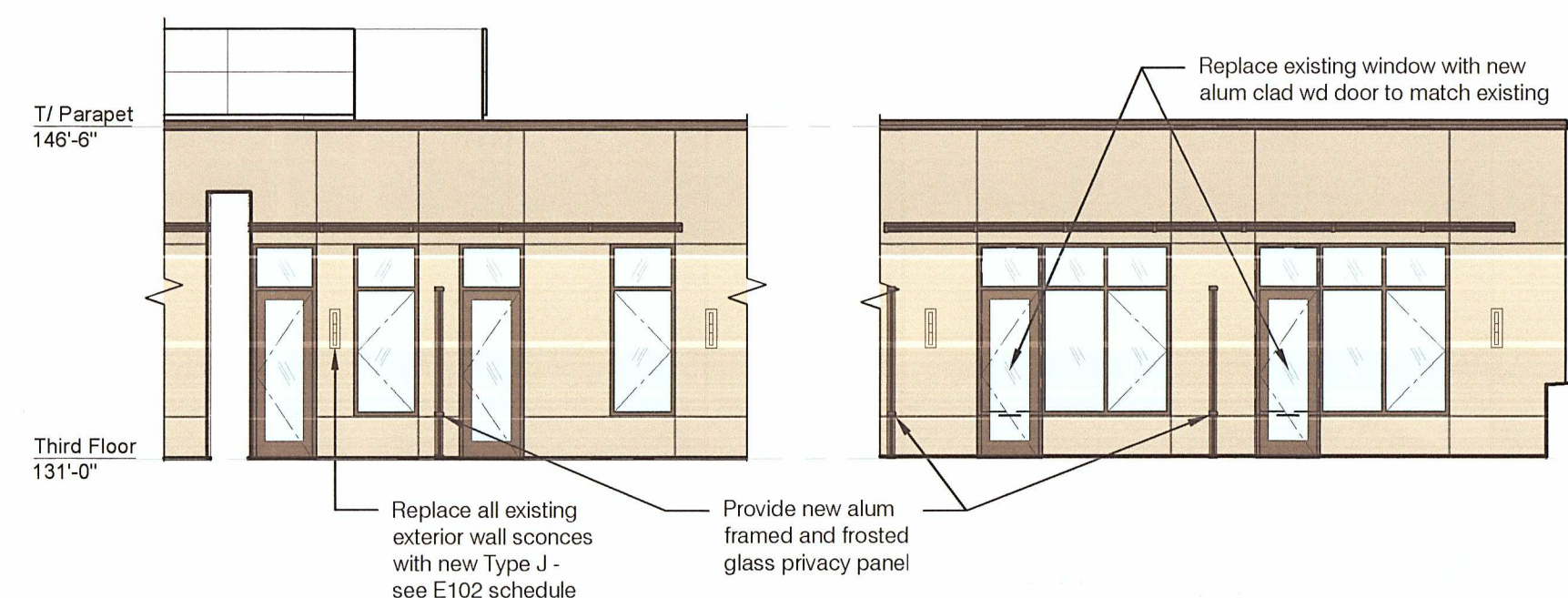
5 Sign #4 (Daines St.)  
Scale: 1" = 1'-0"

MATERIAL: ALUMINUM  
FINISH: BLACK POWDER COAT  
MOUNTING: FLUSH MOUNT  
LETTER DEPTH: 6"

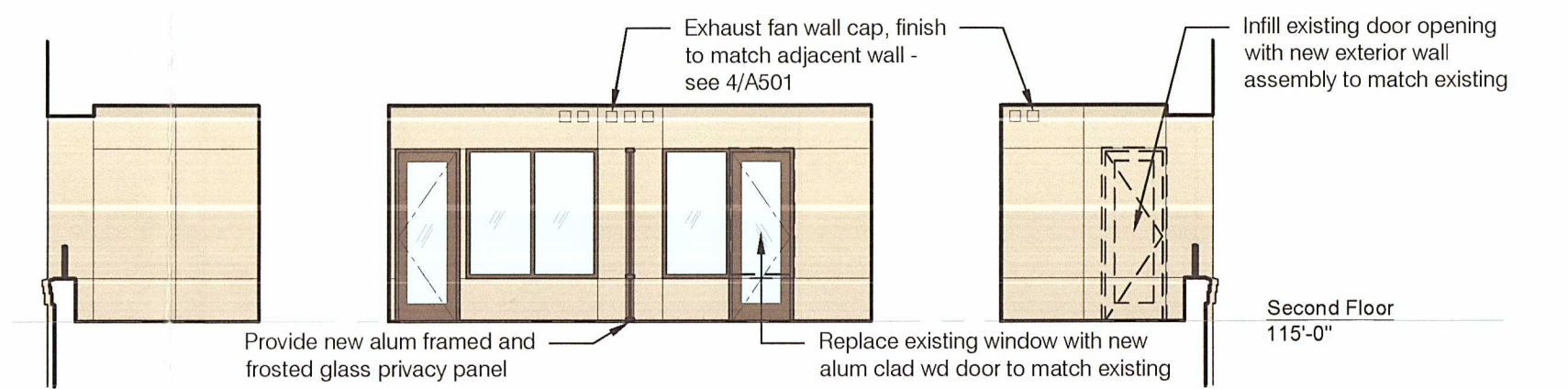


4 Sign #5 (Daines St.)  
Scale: 1" = 1'-0"

MATERIAL: ALUMINUM  
FINISH: CLEAR POLISHED LETTERING,  
CLEAR BRUSHED SURROUND  
MOUNTING: FLUSH MOUNT  
DEPTH: 1 1/2"



3 Partial Proposed North Elevation  
Scale: 1/8" = 1'-0"



2 Partial Proposed North Elevation  
Scale: 1/8" = 1'-0"



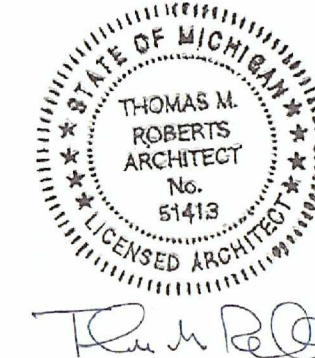
1 Proposed North Elevation  
Scale: 1/8" = 1'-0"

THOMAS  
ROBERTS  
ARCHITECT, LLC  
2927 4th Street  
Wyandotte, MI 48192  
(t)734.250.4032

APPROVED  
10/19/21  
PA001-012

2020-03-30  
2020-04-17  
2020-06-26  
2020-07-08

DESIGN REVIEW BOARD  
BIDS AND PERMITS  
BULLETIN #1  
BULLETIN #2



Birmingham Houze  
Residential Apartments Build-Out  
400 S. Old Woodward Ave.  
Birmingham, Michigan 48009

TR  
principal in charge  
NM  
project manager  
NM  
project architect  
EL  
drawn

03/06/2020  
date  
20002  
job number

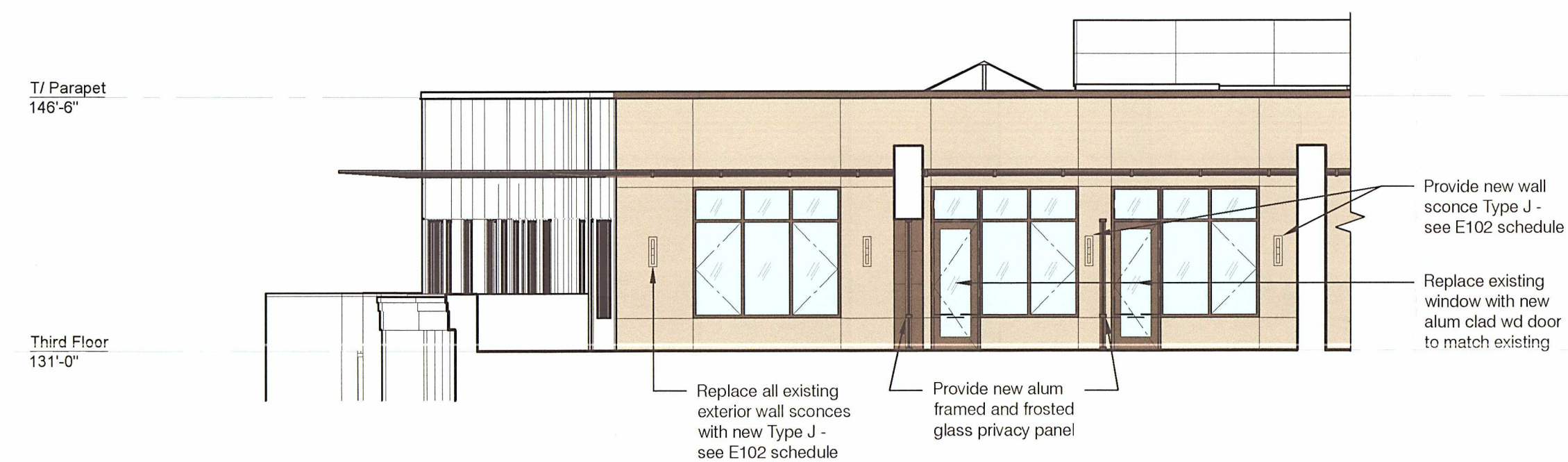
A402

sheet number





3 Existing East Elevation Photograph  
A401 Scale: NTS



2 Partial Proposed East Elevation  
A401 Scale: 1/8" = 1'-0"

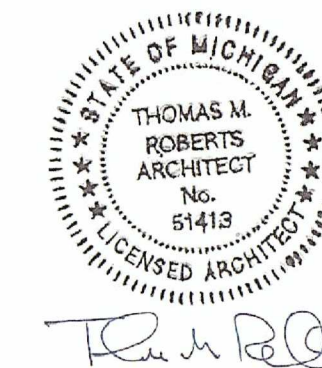


1 Proposed East Elevation  
A401 Scale: 1/8" = 1'-0"

THOMAS  
ROBERTS  
ARCHITECT, LLC  
2927 4th Street  
Wyandotte, MI 48192  
(t) 734.250.4032

2020-04-15  
2020-04-17  
2020-08-12

DESIGN REVIEW BOARD  
BIDS AND PERMITS  
PERMIT REVISION #1



Birmingham Houze  
Residential Apartments Build-Out  
400 S. Old Woodward Ave.  
Birmingham, Michigan 48009

TR  
principal in charge  
NM  
project manager  
NM  
project architect  
EL  
drawn

03/06/2020 date  
20002 job number

A401  
sheet number

ISSUANCES

REVISIONS

Seal

print date: 08.26.2021



## Administrative Sign Approval Application Planning Division

*Form will not be processed until it is completely filled out.*

### 1. Applicant

Name: Silvio 6022440  
Address: 750 S. 012 Woodward Ave  
Phone Number: 248-722-2005  
Fax Number: 248-722-6574  
Email Address: 6022440@infinitymktg.com

### 2. Property Owner

Name: Silvio 6022440  
Address: 750 S. 012 Woodward Ave  
Phone Number: 248-722-6570  
Fax Number: 248-722-6574  
Email Address: 6022440@infinitymktg.com

### 3. Applicant's Attorney/Contact Person

Name: Silvio 6022440  
Address: 750 S. 012 Woodward Ave  
Phone Number: 248-722-2005  
Fax Number: 248-722-6574  
Email Address: 6022440@infinitymktg.com

### 4. Project Designer/Developer

Name: Jeffrey Sans  
Address: 33777 Selwood Rd G  
Phone Number: 248-722-3550  
Fax Number: 248-722-3550  
Email Address: jeff@infinitymktg.com

### 5. Project Information

Address/Location of Property: 750 S. 012 Woodward Ave  
Name of Development: BS Well of Birmingham  
Parcel ID#:                       
Current Use:                       
Area in Acres:                       
Current Zoning:                     

Name of Historic District if any:                       
Date of HDC Approval, if any:                       
Date of Application for Preliminary Site Plan:                       
Date of Preliminary Site Plan Approval:                       
Date of Application for Final Site Plan:                       
Date of Final Site Plan Approval:                       
Date of Revised Final Site Plan Approval:                     

### 6. Required Attachments

- Two (2) folded paper copies of plans including details of the following:
  - Dimensions of proposed sign(s)
  - Dimensions of building frontage
  - Illumination
  - Height from grade
  - Location of proposed sign(s)
  - Colors and materials
- Authorization from Property Owner(s) (if applicant is not the owner)
- Material Samples
- Digital Copy of Plans

### 7. Details of the Request for Administrative Approval

Sign was damaged - Sign modification to part of sign

### 8. Location of Proposed Sign(s)

BS Well of Birmingham - 750 S. 012 Woodward Ave

### 9. Type of Proposed Sign(s)

Wall:                      Projecting (Post-Mounted):                       
Ground:                      Projecting (Wall-Mounted):                       
Name Letter:                      Building Identification:                       
Canopy:                      Other:



10. Size of Proposed Sign

Width: 13' 0"  
Depth: 3/4"  
Height of Lettering: 3' 0"

Overall Height: 3' 0"  
Extension from Wall:  
Total Square Feet: 50' 0"

11. Existing Signs Currently on Property

Number:  
Square Feet per Sign:

Sign Type(s):  
Total Square Feet: 50' 0"

12. Materials/Style of Proposed Sign(s)

Metal:  
Plastic: 1/2 Thick Acrylic  
Wood:  
Glass:

Other:  
Color #1: white  
Color #2: light green PMS 5773C  
Additional Colors: PMS 5753C

13. Content of Proposed Sign(s)

(See drawing)

14. Proposed Sign Lighting

Type of Lighting: n/a  
Size of Fixtures (LxWxH):  
Maximum Wattage per Fixture:  
Proposed Wattage per Fixture:

Location:  
Number of Lights Proposed:  
Height from Grade:  
Lighting Style:

15. Landscaping (Ground Signs Only)

Location of Landscape Areas:

Proposed Landscape Material:

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: [Signature] Date: 10-20-2021

Office Use Only

Application # PAA21-0015 Date Received: 10/20/21 Fee: 100.00  
Date of Approval: 11/3/21 Date of Denial: N/A Reviewed By: [Signature]





### CONSENT OF PROPERTY OWNER

I, Silvio J. Cozzetto, OF THE STATE OF Michigan AND  
(Name of Property Owner)

COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 750 S. Old Woodward Ave;  
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of

Birmingham by: \_\_\_\_\_;  
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

**By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.**

Name of Owner (Printed): Silvio J. Cozzetto

Signature of Owner: \_\_\_\_\_ Date: 10-19-2021



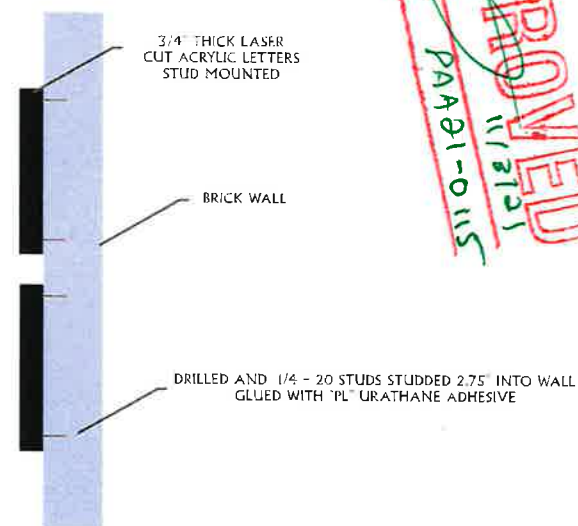


OVERALL SIZE: 36" TALL x 57" WIDE = 14.25 SQUARE FEET

3/4" THICK INDIVIDUAL ACRYLIC LETTERS  
LEAF LOGO PAINTED - GREEN  
ALL LETTERS PAINTED - WHITE  
STUD MOUNTED INTO BRICK FASCIA



## SIDE VIEW



APPROVED  
11/3/21  
PAA-0115

**BE WELL LIFESTYLE CENTERS**  
750 SOUTH OLD WOODWARD, BIRMINGHAM, MI 48009

## SIGN DETAIL

**JIFFY SIGNS**  
Your image. Our mission.

30777 SCHOOLCRAFT LIVONIA, MICHIGAN 48150 PHONE: 734-266-3350 FAX: 734-266-3351



APPROVED

8/7/21  
PAA 01-0083



City of Birmingham  
A Walkable Community

RECEIVED

AUG 12 2021

CITY OF BIRMINGHAM  
COMMUNITY DEVELOPMENT DEPT.

## Administrative Sign Approval Application Planning Division

Form will not be processed until it is completely filled out

### 1. Applicant

Name: Metro Detroit Signs  
Address: 11444 Kaltz Ave  
Warren, MI 48089  
Phone Number: (586) 759-2700  
Fax Number: 586-759-2703  
Email: kdeters@metrodetroitssigns.com

### Property Owner

Name: FIRST BIRMINGHAM LLC  
Address: 66 FIRST COMMERCIAL  
27600 NORTHWESTERN HWY #200  
Phone Number: (248) 357-5000 X102  
Fax Number: \_\_\_\_\_  
Email: WTEPRACE@FIRSTCOMMERCIAL.NET

### 2. Applicant's Attorney/Contact Person

Name: Kevin Deters at Metro Detroit Signs  
Address: 11444 Kaltz Ave  
Warren, MI 48089  
Phone Number: (586) 759-2700  
Fax Number: (586) 759-2703  
Email: kdeters@metrodetroitssigns.com

### Project Designer

Name: same as applicant  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email: \_\_\_\_\_

### 3. Project Information

Address/Location of Property: 795 E Maple Rd  
Name of Development: Citizens Bank  
Parcel ID #: \_\_\_\_\_  
Current Use: former Qdoba restaurant  
Area in Acres: \_\_\_\_\_  
Current Zoning: B2 (General Business) and D2 (Downtown Overlay)

Name of Historic District site is in, if any: N/A  
Date of HDC Approval, if any: \_\_\_\_\_  
Date of Application for Preliminary Site Plan: \_\_\_\_\_  
Date of Preliminary Site Plan Approval: \_\_\_\_\_  
Date of Application for Final Site Plan: \_\_\_\_\_  
Date of Final Site Plan Approval: \_\_\_\_\_  
Date of Revised Final Site Plan Approval: \_\_\_\_\_

### 4. Attachments

- Two (2) folded paper copies of plans
- Authorization from Owner(s) (if applicant is not owner)
- Material Samples
- Digital Copy of plans

### 5. Details of the Request for Administrative Approval

Install 3 wall signs for Citizens Bank

S1 on the south elevation facing Maple Rd is 2'-1.75" x 12'-6" = 26.82 sq feet

S2 on the east elevation facing Poppleton is 2'-1.75" x 12'-6" = 26.82 sq feet

S3 on the north elevation facing the parking lot is 1'-0.875" x 6'-3" = 6.7 sq feet

### 6. Location of Proposed Signs

One wall sign on the south, east, and north elevations

### 7. Type of Sign(s)

Wall: Yes  
Ground: \_\_\_\_\_  
Projecting: \_\_\_\_\_

Canopy: \_\_\_\_\_  
Building Name: \_\_\_\_\_  
Post-mounted Projecting: \_\_\_\_\_



**8. If a wall sign, indicate wall to be used:**

Front: Yes - one

Left side:

Rear: Yes - one

Right side: Yes - one

**9. Size of Sign**

Width: S1 & S2 = 12'-6" / S3 = 6'-3"

Depth: 4 inches

Height of lettering: S1 & S2 = 2'-1.75" / S3 = 1'-0.875"

Height: 17 feet above grade

Total square feet: 60.34 sq feet (3 signs combined)

**10. Existing signs currently located on property**

Number: none

Square feet per sign:

Type(s):

Total square feet:

**11. Materials/Style**

Metal: Aluminum letters

Plastic: Acrylic faces

Color 1 (including PMS color #): Citizens Green

Additional colors (including PMS color #):

Wood:

Glass:

Color 2 (including PMS color #):

**12. Sign(s) Read(s):** Citizens

**13. Sign Lighting**

Type of lighting proposed: Internal LED

Size of light fixtures (LxWxH):

Number proposed: 3 wall signs

Height from grade: 17 feet above grade

Maximum wattage per fixture:

Location: South, east & north elevation wall signs

Proposed wattage per fixture:

Style (include specifications): Internally illuminated channel letter wall signs

**14. Landscaping (Ground signs only) - N/A**

Location of landscape areas:

Proposed landscape material:

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant:

*Rina Oute*

Date:

8-12-21

Application #:

PAA-21-0083

Date Received:

Office Use Only

8/12/21

Fee:

\$100.00

Date of Approval:

9/7/21

Date of Denial:

N/A

Reviewed by:

*[Signature]*





## CONSENT OF PROPERTY OWNER

I, FIRST BIRMINGHAM LLC, OF THE STATE OF MICHIGAN AND COUNTY OF  
(Name of property owner)

OAKLAND STATE THE FOLLOWING:

1. That I am the owner of real estate located at 795 E Maple Rd;  
(Address of affected property)
2. That I have read and examined the Application for Administrative Approval made to the City of Birmingham by:  
Metro Detroit Signs;  
(Name of applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

Dated: 8-11-21

WARREN TERRACE  
Owner's Name (Please Print)

Owner's Signature

Nancy Inace  
MANAGER MEMBER  
FIRST BIRMINGHAM LLC



**APPROVED**  
 9/7/21  
 PAA21-0083



# Citizens

SIGN SUBMITTAL PACKAGE

## Birmingham, MI



GENERAL NOTES & PERMIT TIMES	TABLE OF CONTENTS				VARIANCE	
	PAGE	SIGN TYPE	SQ.FT.	COLOR	REQUIRED?	EXPLANATION (IF REQ.)
	2	Site map				
		<b>E Maple Rd Elevation</b>				
	3	S1 - ICLL-1-24 - Ch. letters, Green - illum.	26.04	Green	No	
	4	S5 - DHR-1 - Door hours single door		White	No	
	4	S6 - DH-1 - Door Handle		Green	No	
		Total Sign Area Requested this Elevation	26.04			
		<b>Poppletun St Elevation</b>				
	3	S2 - ICLL-1-24 - Ch. letters, Green - illum.	26.04	Green	No	
	6	S7 - REMOVED FROM SCOPE		Green	No	
		Total Sign Area Requested this Elevation	26.04		No	
		<b>Parking Lot Elevation</b>				
	4	S3 - ICLL-1-12 - Ch. letters, Green - illum.	6.71	Green	No	
	7	S5 - DHR-1 - Door hours single door		White	No	
	7	S6 - DH-1 - Door Handle		Green	No	
	7	S7 - REMOVED FROM SCOPE		Green	No	
ELECTRICAL ACCESS		Total Sign Area Requested this Elevation	6.71			
		<b>Interior Signage</b>				
	9	S8 - ATM-DND-1 ATM and ND with daisy, edge illum.		Green	No	
	9	S9 - ATM-NGP-1 - ATM Network Panel		Gray	No	
	10	S10 - ATM-FLT-1 - Front Load Topper, full service, illum.		Green	No	
	10	S11 - ATM-NGP-1 - ATM Network Panel		Gray	No	
	10	S12 - ATM-AD Ad Panel for Full Service		Green	No	
	8	Elevations				
	11	Adjacent Businesses				
	12	Code Check				
		Total Sign Area Allowable				
		Total Sign Area Requested				
		Difference				

It is recommend for Electrician to put all exterior signage on a single circuit with a timer or photo-cell to allow for signs to illuminate at night only.



2655 International Pkwy., Virginia Beach, VA 23452  
 PHONE: (757) 427-1900 • FAX: (757) 430-1297  
 www.AGI.net

BRANCH NUMBER: R/C NUMBER:  
 REQUIRES VARIANCE: ☐ NO ☐ YES ☒ TBD

BRANCH NAME & ADDRESS:  
 Citizens - Birmingham  
 795 E. Maple Road  
 Birmingham, MI

DESIGNER: JER DATE: 11/30/2020 REV. DATE: 8/27/2021

PATH: O:\Citizens Bank\Site Folders\Birmingham, MI

### CONTACTS

PROJECT MANAGER:  
 Devin White

CITIZENS BANK PROJECT MANAGER:

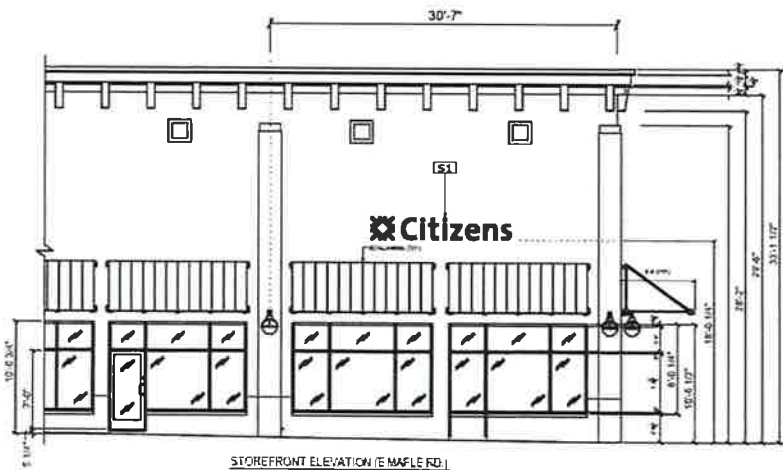
CITIZENS BANK DESIGN MANAGER:

### APPROVAL STAMP:

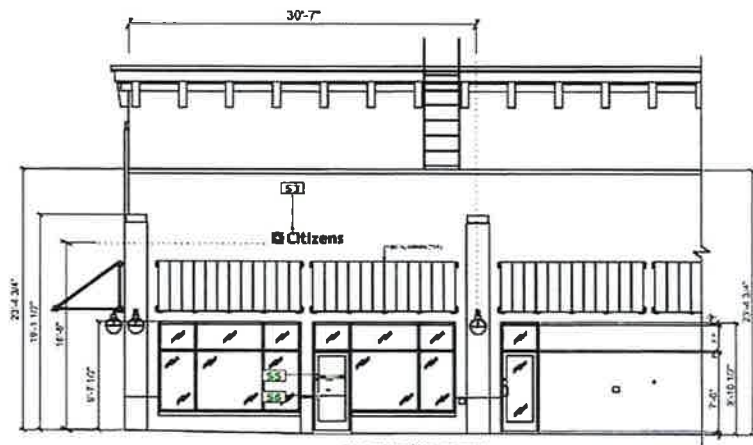
SHEET # Page 1 of 13

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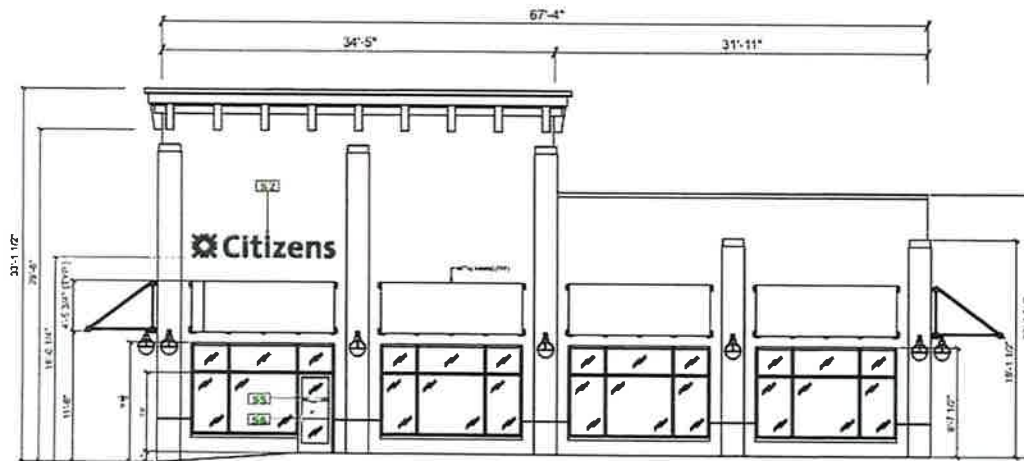




STOREFRONT ELEVATION (E. MAPLE RD.)



REAR ELEVATION



RIGHT SIDE ELEVATION (P. POPPLETON ST.)



7433 International Pkwy., Virginia Beach, VA 23452  
PHONE: (757) 437-1900 FAX: (757) 432-1297  
www.AGIdesigns.com

BRANCH NUMBER: R/C NUMBER:  
REQUIRES VARIANCE: ☐ NO ☐ YES ☐ TBD

BRANCH NAME & ADDRESS:  
Citizens - Birmingham  
795 E. Maple Road  
Birmingham, MI

DESIGNER: JER DATE: 11/30/2020 REV. DATE: 8/27/2021

PATH: O:\Citizens Bank\Site Folders\Birmingham, MI

#### CONTACTS

PROJECT MANAGER:  
Devin White  
CITIZENS BANK PROJECT MANAGER:

CITIZENS BANK DESIGN MANAGER:

#### APPROVAL STAMP:

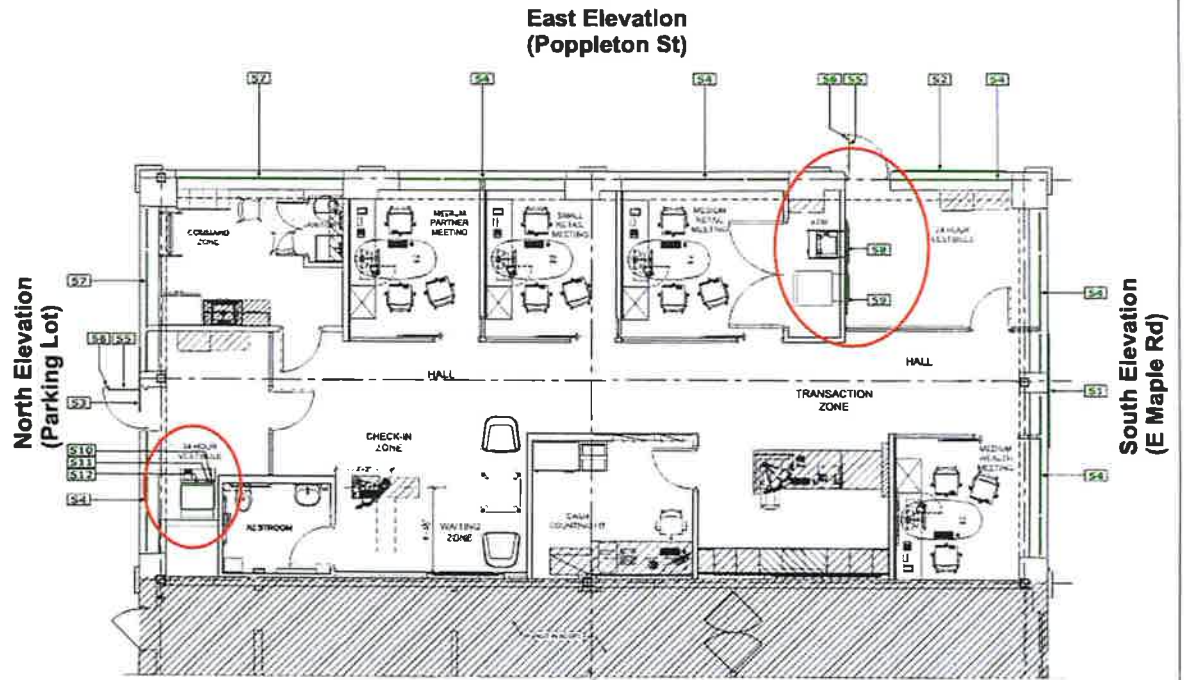
#### GENERAL SIGN SPECIFICATIONS

☒ INTERIOR ☒ EXTERIOR  
☒ SINGLE FACED ☒ DOUBLE FACED  
☒ NON-ILLUMINATED ☒ ILLUMINATED  
120 VOLTS  
2 AMPS (+/-)

SHEET # Page 8 of 13

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2935 International Pkwy., Virginia Beach, VA 23452  
 PHONE: (757) 437-1966 FAX: (757) 430-1297  
 www.agi.net

BRANCH NUMBER: R/C NUMBER:  
 REQUIRES VARIANCE: ☐ NO ☐ YES ☐ TBD

BRANCH NAME & ADDRESS:  
 Citizens - Birmingham  
 795 E. Maple Road  
 Birmingham, MI

DESIGNER: JER DATE: 11/30/2020 REV. DATE: 8/27/2021

PATH: O:\Citizens Bank\Site Folders\Birmingham, MI

#### CONTACTS

PROJECT MANAGER:  
 Devin White  
 CITIZENS BANK PROJECT MANAGER:

CITIZENS BANK DESIGN MANAGER:

#### APPROVAL STAMP:

#### SITE MAP

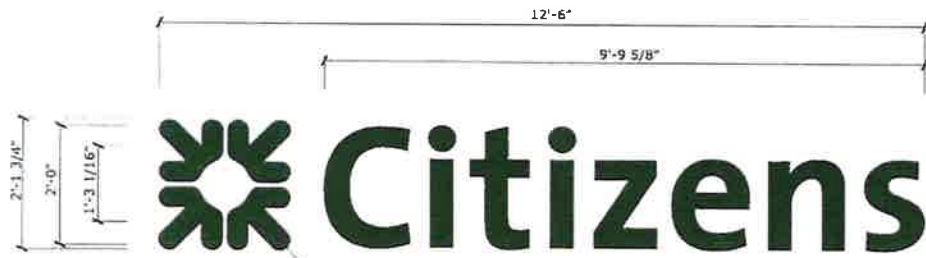
SHEET • Page 2 of 13

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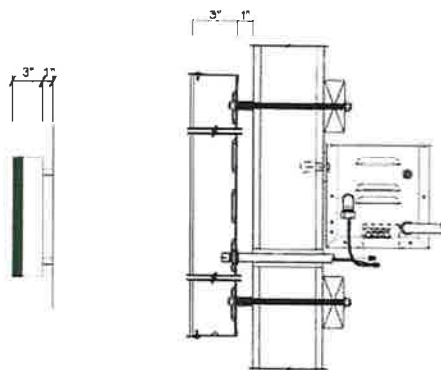


S1 & S2 - ICLL-1-24 - Channel letters, Green - illuminated, Horizontal 2'-1 3/4" OAH x 12'-6" OAW, 26.04 SF

S4 - TVE-1 - Transom Vinyl - Green *Dimensions TBD*



LETTER FACES ARE 2447 WHITE TRANSLUCENT IMPACT MODIFIED  
ACRYLIC W/ 3M 3690-0182 CITIZENS GREEN VINYL & 3M 3690M  
OVERLAMINATE APPLIED FIRST SURFACE, 3M 3695-70 DIFFUSER  
FILM APPLIED SECOND SURFACE



#### APPROVAL STAMP:

#### GENERAL SIGN SPECIFICATIONS

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> INTERIOR        | <input checked="" type="checkbox"/> EXTERIOR     |
| <input checked="" type="checkbox"/> SINGLE FACED    | <input checked="" type="checkbox"/> DOUBLE FACED |
| <input checked="" type="checkbox"/> NON-ILLUMINATED | <input checked="" type="checkbox"/> ILLUMINATED  |
| VOLTS   |  |
| AMPS (+/-)  |  |

SHEET ■ Page 3 of 13

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2855 International Pkwy, Virginia Beach, VA 23452  
PHONE: (757) 427-1950 • FAX: (757) 430-1297  
www.agi.net

BRANCH NUMBER: R/C NUMBER:  
REQUIRES VARIANCE: ☐ NO ☐ YES ☐ TBD

BRANCH NAME & ADDRESS:  
Citizens - Birmingham  
795 E. Maple Road  
Birmingham, MI

DESIGNER: JER DATE: 11/30/2020 REV. DATE: 8/27/2021  
PATH: O:\Citizens Bank\Site Folders\Birmingham, MI

#### CONTACTS

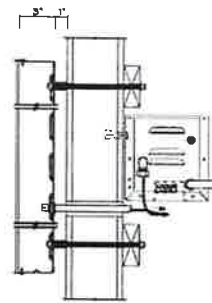
PROJECT MANAGER:  
Devin White  
CITIZENS BANK PROJECT MANAGER:

CITIZENS BANK DESIGN MANAGER:



S3 - ICLL-1-12 - ICLL-1-12- Channel letters, Green - illuminated, Horizontal 1'-0 7/8" OAH x 6'-3" OAW, 6.71 SF

Note: Electrical is required by GC for new sign



2655 International Parkway, Virginia Beach, VA 23452  
PHONE: (757) 421-1222 FAX: (757) 421-1297  
www.agisigns.com

BRANCH NUMBER: R/C NUMBER:  
REQUIRES VARIANCE: ☐ NO ☐ YES ☐ TBD

BRANCH NAME & ADDRESS:  
Citizens - Birmingham  
795 E. Maple Road  
Birmingham, MI

DESIGNER: JER DATE: 11/30/2020 REV. DATE: 8/27/2021  
PATH: O:\Citizens Bank\Site Folders\Birmingham, MI

#### CONTACTS

PROJECT MANAGER:  
Devin White  
CITIZENS BANK PROJECT MANAGER:

CITIZENS BANK DESIGN MANAGER:

#### APPROVAL STAMP:

GENERAL SIGN SPECIFICATIONS  
☒ INTERIOR ☒ EXTERIOR  
☒ SINGLE FACED ☒ DOUBLE FACED  
☒ NON-ILLUMINATED ☒ ILLUMINATED  
VOLTS  
AMPS (+/-)

SHEET # Page 4 of 13

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**APPROVED**  
11/29/21  
PAA21-0130

## Administrative Sign Approval Application Planning Division

*Form will not be processed until it is completely filled out.*

### 1. Applicant

Name: MARYGROVE AWNING COMPANY  
Address: 12700 MERRIMAN RD, LIVONIA MI 48150  
  
Phone Number: 734-422-7110  
Fax Number: 734-422-3225  
Email Address: RFALAHEE@MARYGROVE.COM

### 3. Applicant's Attorney/Contact Person

Name: RACHEL FALAHEE, MARYGROVE AWNING COMPANY  
Address: 12700 MERRIMAN RD, LIVONIA MI 48150  
  
Phone Number: 734-338-7258  
Fax Number: 734-338-7258  
Email Address: RFALAHEE@MARYGROVE.COM

### 5. Project Information

Address/Location of Property: 850 S. OLD WOODWARD  
BIRMINGHAM, MI 48009  
Name of Development: HAGOPIAN WORLD OF RUGS  
Parcel ID#: 08-19-36-278-017  
Current Use: RETAIL/MERCANTILE  
Area in Acres: 0.387  
Current Zoning: BI

### 2. Property Owner

Name: BEIER FAMILY REAL ESTATE  
Address: 43223 W 12 MILE RD, NOVI MI 48377  
  
Phone Number: 248-646-7847  
Fax Number: \_\_\_\_\_  
Email Address: SUZANNE@ORIGINALHAGOPIAN.COM

### 4. Project Designer/Developer

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email Address: \_\_\_\_\_

### 6. Required Attachments

- Two (2) folded paper copies of plans including details of the following:
  - Dimensions of proposed sign(s)
  - Dimensions of building frontage
  - Illumination
  - Height from grade
  - Location of proposed sign(s)
  - Colors and materials
- Authorization from Property Owner(s) (if applicant is not the owner)
- Material Samples
- Digital Copy of Plans

### 7. Details of the Request for Administrative Approval

REPLACEMENT OF AWNING FABRIC ON ONE (1) AWNING. ADDING LETTERING TO VALANCE (DRIP EDGE) ONLY THAT READS: RUGS - CLEANING - REPAIR IN WHITE  
5" HIGH LETTERING.

### 8. Location of Proposed Sign(s)

OVER SOUTH ENTRY DOOR

### 9. Type of Proposed Sign(s)

Wall: \_\_\_\_\_  
Ground: \_\_\_\_\_  
Name Letter: \_\_\_\_\_  
Canopy: YES

Projecting (Post-Mounted): \_\_\_\_\_  
Projecting (Wall-Mounted): \_\_\_\_\_  
Building Identification: \_\_\_\_\_  
Other: \_\_\_\_\_



**10. Size of Proposed Sign**

Width: 8' \_\_\_\_\_  
 Depth: 1" \_\_\_\_\_  
 Height of Lettering: 5" \_\_\_\_\_

Overall Height: 5' \_\_\_\_\_  
 Extension from Wall: 5' \_\_\_\_\_  
 Total Square Feet: 3 \_\_\_\_\_

**11. Existing Signs Currently on Property**

Number: 1 ON FRONT OF BUILDING \_\_\_\_\_  
 Square Feet per Sign: 20 \_\_\_\_\_

Sign Type(s): WALL \_\_\_\_\_  
 Total Square Feet: 20 \_\_\_\_\_

**12. Materials/Style of Proposed Sign(s)**

Metal: \_\_\_\_\_  
 Plastic: \_\_\_\_\_  
 Wood: \_\_\_\_\_  
 Glass: \_\_\_\_\_

Other: LETTERING PAINTED ONTO AWNING FABRIC \_\_\_\_\_  
 Color #1: WHITE LETTERING \_\_\_\_\_  
 Color #2: TAUPE SUNBRELLA FABRIC \_\_\_\_\_  
 Additional Colors: \_\_\_\_\_

**13. Content of Proposed Sign(s)**

RUGS - CLEANING - REPAIR \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**14. Proposed Sign Lighting**

Type of Lighting: NO LIGHTING - N/A \_\_\_\_\_  
 Size of Fixtures (LxWxH): \_\_\_\_\_  
 Maximum Wattage per Fixture: \_\_\_\_\_  
 Proposed Wattage per Fixture: \_\_\_\_\_

Location: \_\_\_\_\_  
 Number of Lights Proposed: \_\_\_\_\_  
 Height from Grade: \_\_\_\_\_  
 Lighting Style: \_\_\_\_\_

**15. Landscaping (Ground Signs Only)**

Location of Landscape Areas: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Proposed Landscape Material: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: \_\_\_\_\_

*Rachel M. Gaudin*

Date: \_\_\_\_\_

11/23/2021

*Office Use Only*

Application # 9471-0130

Date Received: 11/20/21

Fee: \$10.00

Date of Approval: 11/29/21

Date of Denial: N/A

Reviewed By: \_\_\_\_\_

*[Signature]*





CONSENT OF PROPERTY OWNER

I, Beier Family Real Estate, OF THE STATE OF Merchman AND  
(Name of Property Owner)

COUNTY OF Emmet STATE THE FOLLOWING:

1. That I am the owner of real estate located at 850 S. Old Woodward;  
(Address of Affected Property)
2. That I have read and examined the Application for Administrative Approval made to the City of  
Birmingham by: Rachel Falahee, Marygrove Awning Co.;  
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Name of Owner (Printed): Bruce Beier

Signature of Owner: [Signature] Date: 11/23/21



Photo of Existing Awning



Proposed Awning Re-Face Design



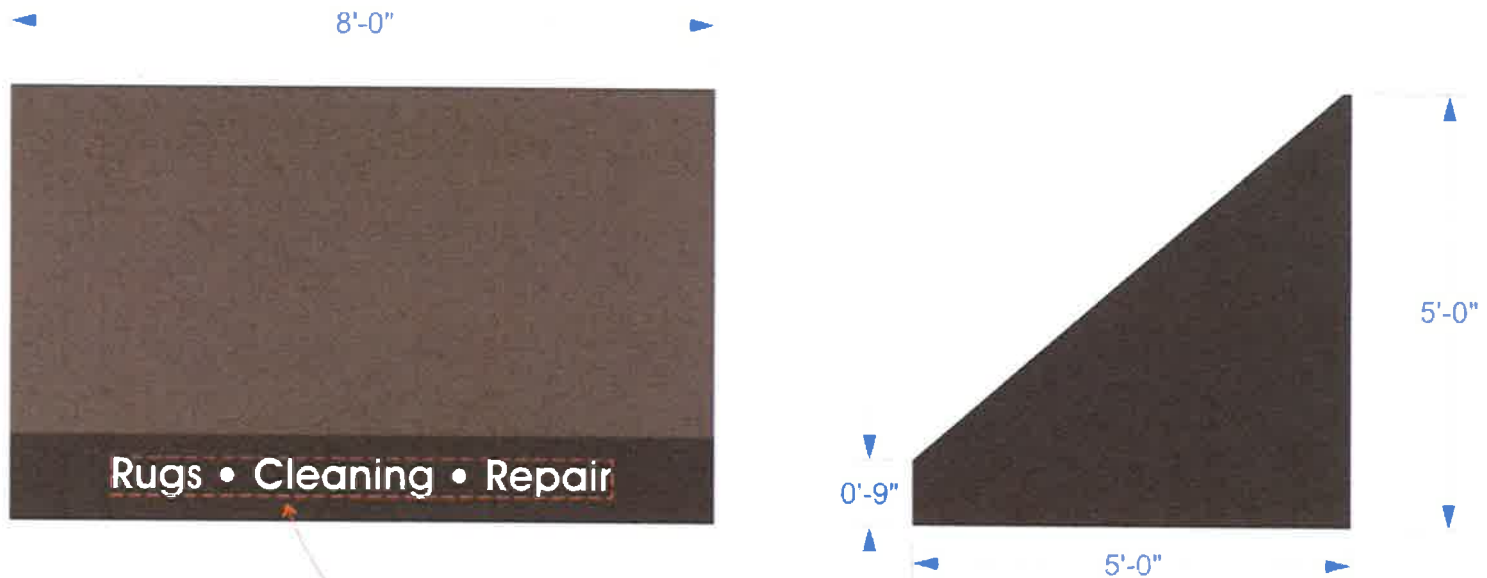




Sunbrella  
Taupe

Marygrove  
AWNING





GRAPHICS ARE 5'-8" WIDE  
BY 0'-5" HIGH WITH A TOTAL  
OF 2.5' SQFT



sunbrella  
taupe  
4648





**APPROVED**  
11/16/21  
PAA21-0124

## Administrative Sign Approval Application Planning Division

*Form will not be processed until it is completely filled out.*

### 1. Applicant

Name: Terese McDermott  
Address: 1025 E. Maple St.  
  
Phone Number: 248-434-5560  
Fax Number: \_\_\_\_\_  
Email Address: lmcdermott@libertylille.com

### 2. Property Owner

Name: Osos Tontos  
Address: 111 N. Main St, Ann Arbor, MI  
  
Phone Number: 248-434-5560  
Fax Number: \_\_\_\_\_  
Email Address: \_\_\_\_\_

### 3. Applicant's Attorney/Contact Person

Name: Same as above  
Address: \_\_\_\_\_  
  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email Address: \_\_\_\_\_

### 4. Project Designer/Developer

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email Address: \_\_\_\_\_

### 5. Project Information

Address/Location of Property: \_\_\_\_\_  
  
Name of Development: \_\_\_\_\_  
Parcel ID#: \_\_\_\_\_  
Current Use: \_\_\_\_\_  
Area in Acres: \_\_\_\_\_  
Current Zoning: \_\_\_\_\_

Name of Historic District if any: \_\_\_\_\_  
Date of HDC Approval, if any: \_\_\_\_\_  
Date of Application for Preliminary Site Plan: \_\_\_\_\_  
Date of Preliminary Site Plan Approval: \_\_\_\_\_  
Date of Application for Final Site Plan: \_\_\_\_\_  
Date of Final Site Plan Approval: \_\_\_\_\_  
Date of Revised Final Site Plan Approval: \_\_\_\_\_

### 6. Required Attachments

- Two (2) folded paper copies of plans including details of the following:
  - Dimensions of proposed sign(s)
  - Dimensions of building frontage
  - Illumination
  - Height from grade
- Location of proposed sign(s)
- Colors and materials
- Authorization from Property Owner(s) (if applicant is not the owner)
- Material Samples
- Digital Copy of Plans

### 7. Details of the Request for Administrative Approval

Would like to hang a sign from our building.

### 8. Location of Proposed Sign(s)

On the building - location to be determined

### 9. Type of Proposed Sign(s)

Wall: hung on outside of building wall  
Ground: \_\_\_\_\_  
Name Letter: \_\_\_\_\_  
Canopy: \_\_\_\_\_

Projecting (Post-Mounted): \_\_\_\_\_  
Projecting (Wall-Mounted): \_\_\_\_\_  
Building Identification: \_\_\_\_\_  
Other: \_\_\_\_\_



**10. Size of Proposed Sign**

Width: 6 feet  
Depth: 3 feet  
Height of Lettering: \_\_\_\_\_

Overall Height: \_\_\_\_\_  
Extension from Wall: \_\_\_\_\_  
Total Square Feet: 18 sq feet

**11. Existing Signs Currently on Property**

Number: 0  
Square Feet per Sign: \_\_\_\_\_

Sign Type(s): \_\_\_\_\_  
Total Square Feet: \_\_\_\_\_

**12. Materials/Style of Proposed Sign(s)**

Metal: \_\_\_\_\_  
Plastic: It is plastic  
Wood: \_\_\_\_\_  
Glass: \_\_\_\_\_

Other: \_\_\_\_\_  
Color #1: \_\_\_\_\_  
Color #2: \_\_\_\_\_  
Additional Colors: \_\_\_\_\_

**13. Content of Proposed Sign(s)**

Celebrates our 10th year as a top work place

**14. Proposed Sign Lighting**

Type of Lighting: none  
Size of Fixtures (LxWxH): \_\_\_\_\_  
Maximum Wattage per Fixture: \_\_\_\_\_  
Proposed Wattage per Fixture: \_\_\_\_\_

Location: \_\_\_\_\_  
Number of Lights Proposed: \_\_\_\_\_  
Height from Grade: \_\_\_\_\_  
Lighting Style: \_\_\_\_\_

**15. Landscaping (Ground Signs Only)**

Location of Landscape Areas: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Proposed Landscape Material: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.**

Signature of Applicant: \_\_\_\_\_

Jean D. Smith, esq.  
attorney for Liberty Title

Date: \_\_\_\_\_

11/11/21

**Office Use Only**

Application # PAA21-0124

Date Received: 11/15/21

Fee: \$100.00

Date of Approval: 11/16/21

Date of Denial: N/A

Reviewed By: \_\_\_\_\_



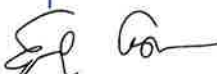


**CONSENT OF PROPERTY OWNER**

I, Thomas Richardson, OF THE STATE OF Michigan AND  
(Name of Property Owner)  
COUNTY OF Washtenaw STATE THE FOLLOWING:

1. That I am the owner of real estate located at 1025 E. Maple;  
(Address of Affected Property)
2. That I have read and examined the Application for Administrative Approval made to the City of  
Birmingham by: Terese McDermott;  
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

**By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.**

Name of Owner (Printed): Thomas D. Richardson  
by Emil Cherkazov, Property manager  
Signature of Owner:  Date: 11-11-2021



APPROVED

11/14/21

PAA01-0124

6 ft.



LIBERTY TITLE

A DECADE  
OF WINNING

THE TOP WORK  
PLACES AWARD!



3 ft.









**APPROVED**  
11/3/21  
PA# 1-013

## Administrative Sign Approval Application Planning Division

*Form will not be processed until it is completely filled out.*

### 1. Applicant

Name: NORTHERN SIGN CO.  
Address: 2181 E WALTON BLVD SUITE 100  
AUBURN HILLS, MI 48326  
Phone Number: 248.333.7733  
Fax Number: 248.333.7684  
Email Address: MARYELLEN@NORTHERNSIGN.COM

### 2. Property Owner

Name: MAUREEN KUHTA  
Address: 2101 E 14 MILE RD  
BIRMINGHAM, MI  
Phone Number: 248.212.9830  
Fax Number:  
Email Address: MAUREENKUHTA@GMAIL.COM

### 3. Applicant's Attorney/Contact Person

Name:  
Address:  
  
Phone Number:  
Fax Number:  
Email Address:

### 4. Project Designer/Developer

Name:  
Address:  
  
Phone Number:  
Fax Number:  
Email Address:

### 5. Project Information

Address/Location of Property: 2101 E 14 MILE RD  
  
Name of Development: ALIGNED HOUSE OF ORTHODONTICS  
Parcel ID#:  
Current Use:  
Area in Acres:  
Current Zoning:

Name of Historic District if any:  
Date of HDC Approval, if any:  
Date of Application for Preliminary Site Plan:  
Date of Preliminary Site Plan Approval:  
Date of Application for Final Site Plan:  
Date of Final Site Plan Approval:  
Date of Revised Final Site Plan Approval:

### 6. Required Attachments

- Two (2) folded paper copies of plans including details of the following:
  - Dimensions of proposed sign(s)
  - Dimensions of building frontage
  - Illumination
  - Height from grade
- Location of proposed sign(s)
- Colors and materials
- Authorization from Property Owner(s) (if applicant is not the owner)
- Material Samples
- Digital Copy of Plans

### 7. Details of the Request for Administrative Approval

(1) south elevation wall sign 24 sf. (1) east elevation wall sign 45.125 sf. Both non illuminated individual letters/ deep brushed aluminum.

24.375

### 8. Location of Proposed Sign(s)

South side on 14 Mile, West side on Mansfield

### 9. Type of Proposed Sign(s)

Wall: (1) south elevation wall sign 24 sf. (1) east elevation wall sign 45.125 sf. Both non illuminated individual letters/ deep brushed  
Ground:  
Name Letter: ALIGNED HOUSE OF ORTHODONTICS  
Canopy:

Projecting (Post-Mounted):  
Projecting (Wall-Mounted) 1/2 inch deep  
Building Identification:  
Other:



West Elevation

**10. Size of Proposed Sign**

Width: 9'6"  
Depth: \_\_\_\_\_  
Height of Lettering: 1' - 3 3/4"

Overall Height: 2'  
Extension from Wall: \_\_\_\_\_  
Total Square Feet: 24.375

**11. Existing Signs Currently on Property**

Number: 0  
Square Feet per Sign: \_\_\_\_\_

Sign Type(s): \_\_\_\_\_  
Total Square Feet: \_\_\_\_\_

**12. Materials/Style of Proposed Sign(s)**

Metal: aluminum  
Plastic: polycarbonate  
Wood: \_\_\_\_\_  
Glass: \_\_\_\_\_

Other: \_\_\_\_\_  
Color #1: green  
Color #2: white  
Additional Colors: \_\_\_\_\_

**13. Content of Proposed Sign(s)**

ALIGNED HOUSE OF ORTHODONTICS

**14. Proposed Sign Lighting**

Type of Lighting: N/A  
Size of Fixtures (LxWxH): \_\_\_\_\_  
Maximum Wattage per Fixture: \_\_\_\_\_  
Proposed Wattage per Fixture: \_\_\_\_\_

Location: \_\_\_\_\_  
Number of Lights Proposed: \_\_\_\_\_  
Height from Grade: \_\_\_\_\_  
Lighting Style: \_\_\_\_\_

**15. Landscaping (Ground Signs Only)**

Location of Landscape Areas: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Proposed Landscape Material: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: \_\_\_\_\_

*Richard Tillman*

Date: 11.2.21

Office Use Only

Application # PAA21-0113

Date Received: 11/2/21

Fee: \$100.00

Date of Approval: 11/3/21

Date of Denial: N/A

Reviewed By: \_\_\_\_\_





## Northern Sign Co Inc.

2181 E. Walton Blvd., Suite 100, Auburn Hills, MI 48326

248.333.7733 Office

[www.northernsign.com](http://www.northernsign.com)

248.333.7684 Fax

### AUTHORIZATION AND CONSENT FORM

By my signature below, I hereby represent that I am the owner of the property indicated below or otherwise duly authorized by the Lease to grant authorization for Northern Sign Co. Inc. and/or their sub-contractor to apply for permits, represent said owner at ZBA meetings and install new signage at the below referenced location.

#### LANDLORD APPROVAL

Signature Maryellen Kuntz Print Name Maryellen Kuntz Date 10/4/21  
Title Owner Email MaryellenKuntz@gmail.com  
Address 7530 Birkman Phone 248 212 9830  
Clarkston MI 48348

Return Form To: Northern Sign Co. Inc.  
2181 E. Walton Blvd., Suite 100  
Auburn Hills, MI 48326

Email to: [maryellen@northernsign.com](mailto:maryellen@northernsign.com)

Site/Job - Property Address:

2101 E. 14 mile

Birmingham MI 48009



**APPROVED**  
11/3/21  
PAA-21-0113

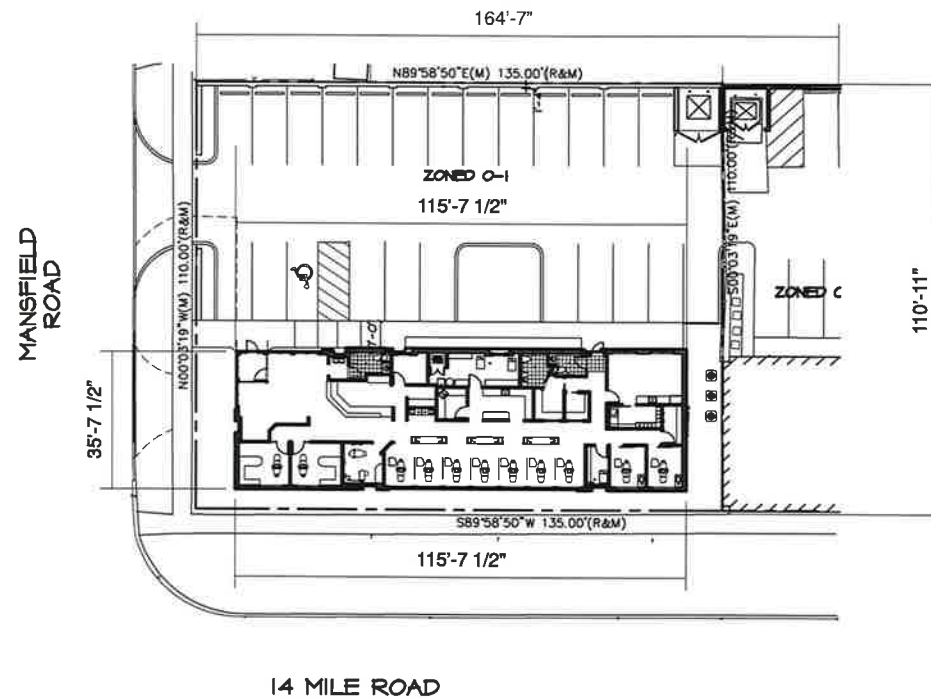


ALIGNED HOUSE OF ORTHODONTICS  
PREVIOUSLY - MICHIGAN SMILE DESIGN  
2101 E . 14 MILE  
BIRMINGHAM, MI 48009

EXTERIOR SIGNAGE SUBMITTAL

PROJECT NUMBER: P34485  
DATE CREATED: 03.04.2020





North

## PROPOSED SITE PLAN

SCALE: 1/32" = 1'-0"

DATE	REVISION
09.07.21 HV	Revised from PVC to 1/2" FCO Brushed Aluminum & revised wall layout
09.10.21 HV	Revised to new logo
09.14.21 HV	Revised Logo
09.16.21 HV	Revised Elevations & Added Placer LED Lighting Details
10.13.21 HV	Revised Per City Request

DESIGNER	PROSPECT/CLIENT	PROJECT NUMBER
Heidi Vichos	Aligned House of Orthodontics	P34485
PROJECT MANAGER	PROJECT	DATE CREATED
Philip Swan	Exterior Signage	03.04.2020
SALES REP	PROJECT LOCATION	PAGE
Kevin	2101 E . 14 Mile Birmingham, MI 48009	2



## PLACER LED

### 12V/120V LED



Specifications	
Weight:	1.6 lbs.
H:	5.85" (149mm) w/C1

#### HIGHLIGHTS

- Sign lights are suitable for wall and ground mount applications
- Suitable for wet locations
- Integral driver for 120V
- Dimmable using standard Triac dimmer for 120V and dimmable using standard MLV dimmer and magnetic transformer for 12V
- Available in 80CRI and 90CRI
- 1,100lm



5 YEAR warranty

66 IP RATED



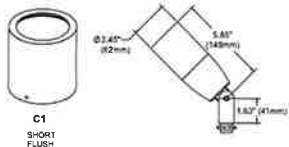
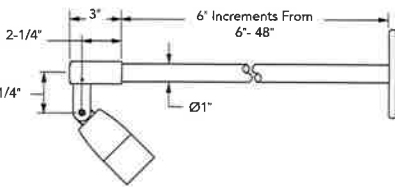
Buy American

#### LUMEN PACKAGES

	15DEG	25DEG	30DEG	35DEG	40DEG	45DEG	50DEG	55DEG
Delivered Lumens	685	623	659	642	674	656	634	639
Watts	11	11	11	11	11	11	11	11
LPW	62	57	60	58	61	60	58	58
Peak Candela	5,058	2,725	2,827	1830	1569	1212	982	742

Note: Information based on 4000K @ P1, 80CRI, 120 Volt with C1 cap and FLC lens

#### DIMENSIONS



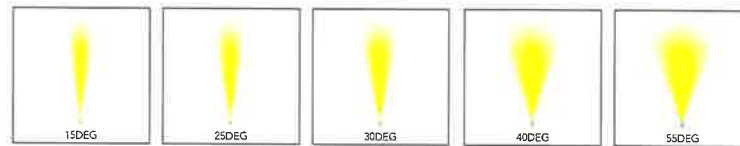
#### AIMING DETAILS

C1



PLACER

#### STANDARD DISTRIBUTION

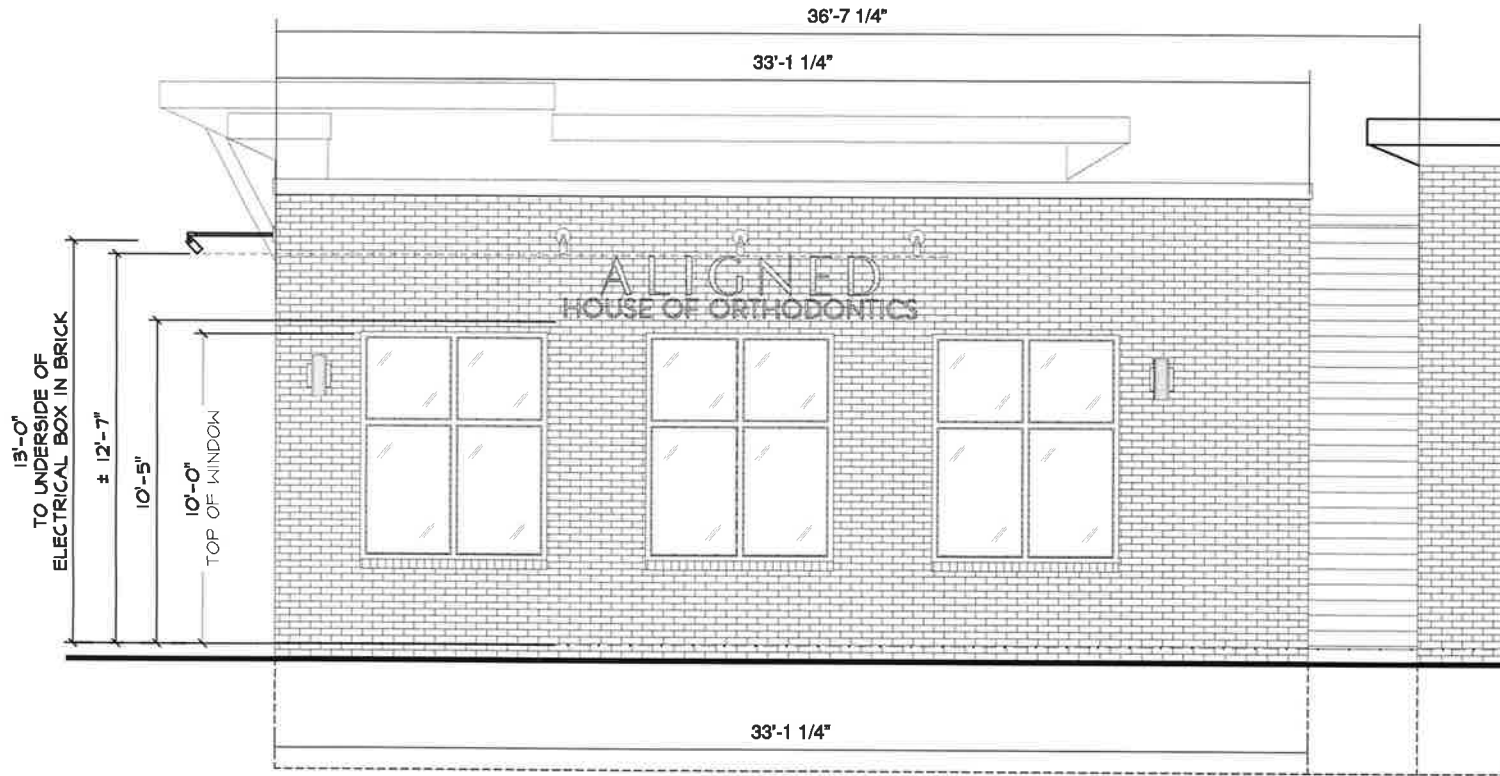


#### \*NOTE:

- Electrical boxes for the lights are installed at 13 feet to the underside of the electrical box in the brick

PLACER		Performance Packages*		CRI*	Color Temperature*	Voltage*	Distribution*	Lens*	
PLACER	A Aluminum	P1		80CRI	27K	12V 12Vac	15DEG 15°	40DEG 40°	
		P2		90CRI	30K	120V 120Vac	20DEG 20°	45DEG 45°	
					35K	Note: 120V only available with P1	25DEG 25°	50DEG 50°	
					40K		30DEG 30°	55DEG 55°	
					50K	Note: 35K and 50K only available with 80CRI	35DEG 35°		
Mounting Accessories*		Options*		External Caps*		Finish*			
Independent Mounting		Stems		Internal Louver		C1 Short Flush	All Material		
JBA	Aluminum J-Box	\$3	3" Stem	IHL Honeycomb Louver		BL Black Textured	BL Black Textured	VET Verde Textured	
CN4	4" rectangular canopy	\$6	6" Stem			C2 Recessed Lens		WH White Textured	
CN5	5" round canopy	\$	12" - 48" stems, available in 6" increments	Internal Accessory		C3 45° Angle Cut		WHS White Smooth	
WMC	Wall Mount Cover			L1 Prismatic Lens			BRS Bronze Smooth	CF Custom Finish	
WMSA	Wall Mount with Splice Access	\$45	45" 12" - 48"	L2 Linear Spread Lens			BRT Bronze Textured	RALTBDRAL Paint Finishes	
PM60A <sup>2</sup>	Adjustable Post Mount	\$90	90" 12" - 48"	L3 Softening Lens			DBL Black Smooth	Z Zinc	
PM60C	Post Mount with Conduit	\$180	180" 12" - 48" available in 6" increments	Internal Filters			DDB Designer Bronze	Undercoat (i.e. BLZ)	
PM60D <sup>3</sup>	Post Mount with Open Bottom			FA Amber			DNA Natural Aluminum		Note: RALTBDR for pricing only; replace with applicable RAL call out when ready to order. See the RALTBDR for available options. It is recommended that Hydrex products only use textured paint.
				FG Green			NBS <sup>5</sup> Natural Bronze Smooth		
				FGD Green Dichroic			STG Steel Gray		
				FLB Light Blue					
				FM Mercury Vapor					
				FMB Medium Blue					
				FMBD Medium Blue Dichroic					
				FR Red					
				FRD Red Dichroic					





**SOUTH (14 MILE ROAD) ELEVATION**  
 SCALE: 1/4" = 1'-0"

Scale: 1/8" = 1'-0"



1925 St. Clair Ave NE  
 Cleveland, OH 44114  
 (877) 433-4466  
 (216) 503-2568  
 www.blinksigns.com

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DATE	REVISION
09.07.21 HV	Revised from PVC to 1/2" FCO Brushed Aluminum & revised wall layout
09.10.21 HV	Revised to new logo
09.14.21 HV	Revised Logo
09.16.21 HV	Revised Elevations & Added Placer LED Lighting Details
10.13.21 HV	Revised Per City Request

DESIGNER	PROSPECT/CLIENT	PROJECT NUMBER
Heidi Vichos	Aligned House of Orthodontics	P34485
PROJECT MANAGER	PROJECT	DATE CREATED
Philip Swan	Exterior Signage	03.04.2020
SALES REP	PROJECT LOCATION	PAGE
Kevin	2101 E . 14 Mile Birmingham, MI 48009	4



## SCOPE OF WORK:

- Manufacture (1) Set of Non-Illuminated Individual Letters
- Pen Pattern Required
- Permits Required
- Gooseneck Illumination by others

## SIGN SPECS:

- Manufacture (1) Set of 1/2" Deep Brushed Aluminum FCO Letters
- Individually Mounted Copy
- Copy to read Logo & "ALIGNED" HOUSE OF ORTHODONTICS
- 1/2" Deep Brushed Aluminum FCO Letters
- Flush Mounted to fascia

## CITY CRITERIA:

- Max 24 Sq. Ft.

## City Code

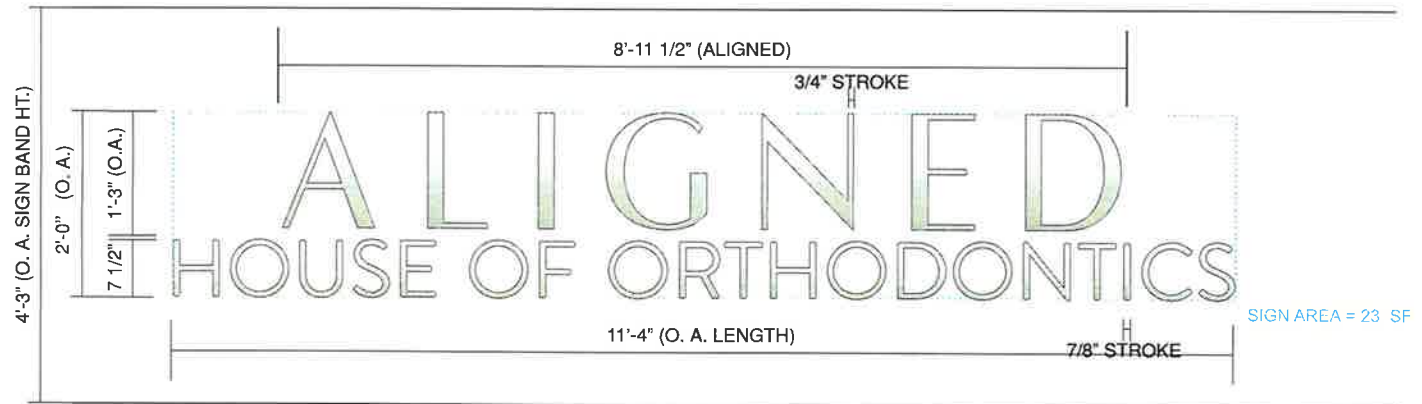
1. The entry door to the waiting room faces the parking lot. The lineal footage on the building facing 14 Mile is 115'-7 1/2". The parking lot side is the same length

2. Required lineal footage of the whole parking lot side of the building.

The south elevation wall sign can only be 24" H not 26" as noted. Please update the size of the sign accordingly.

The west elevation will be denied. Per code they have to box it even though its 2 separate signs, it exceeds the 24". The City has suggested stretching out the sign to make 1 linear sign, although separate at 24" H.

Also, need to add a side profile detail showing how far the signs will stick out from the wall



SCALE: 3/4" = 1'-0"  
SIGN AREA = 23 SF  
NOT TO EXCEED 24 SF



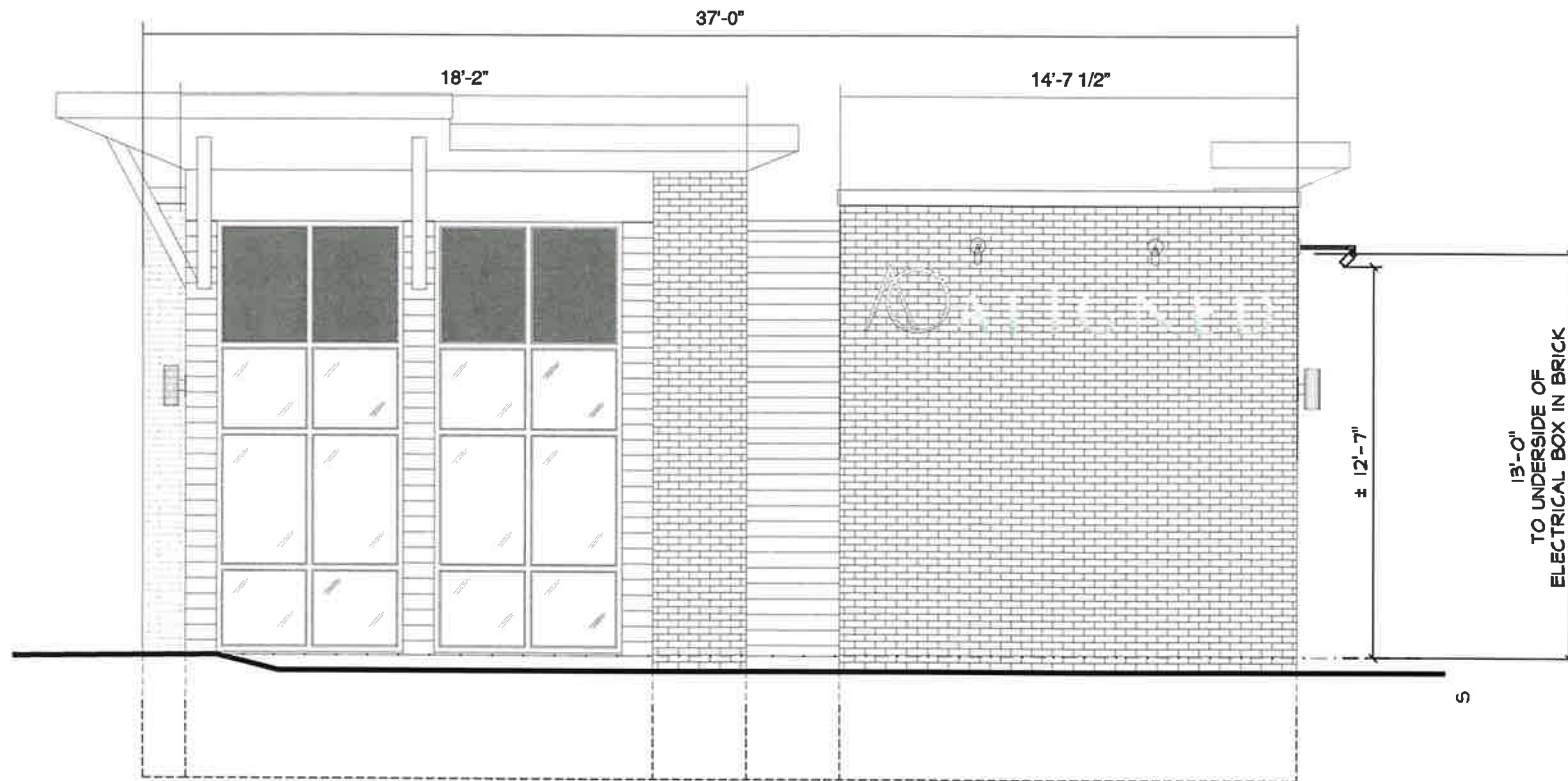
1925 St. Clair Ave NE  
Cleveland, OH 44114  
877) 433-4455  
216) 503-2568  
www.blinksigns.com

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DATE	REVISION
09.07.21 HV	Revised from PVC to 1/2" FCO Brushed Aluminum & revised wall layout
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09.14.21 HV	Revised Logo
09.16.21 HV	Revised Elevations & Added Placer LED Lighting Details
10.13.21 HV	Revised Per City Request

DESIGNER	PROSPECT/CLIENT	PROJECT NUMBER
Heidi Vichos	Aligned House of Orthodontics	P34485
PROJECT MANAGER	PROJECT	DATE CREATED
Philip Swan	Exterior Signage	03.04.2020
SALES REP	PROJECT LOCATION	PAGE
Kevin	2101 E . 14 Mile Birmingham, MI 48009	5





## WEST (MANSFIELD RD) ELEVATION

SCALE: 1/4" = 1'-0"

REVISED CONDITION

DATE	REVISION
09.07.21 HV	Revised from PVC to 1/2" FCO Brushed Aluminum & revised wall layout
09.10.21 HV	Revised to new logo
09.14.21 HV	Revised Logo
09.16.21 HV	Revised Elevations & Added Placer LED Lighting Details
10.13.21 HV	Revised Per City Request

DESIGNER	PROSPECT/CLIENT	PROJECT NUMBER
Heidi Vichos	Aligned House of Orthodontics	P34485
PROJECT MANAGER	PROJECT	DATE CREATED
Philip Swan	Exterior Signage	03.04.2020
SALES REP	PROJECT LOCATION	PAGE
Kevin	2101 E. 14 Mile Birmingham, MI 48009	6



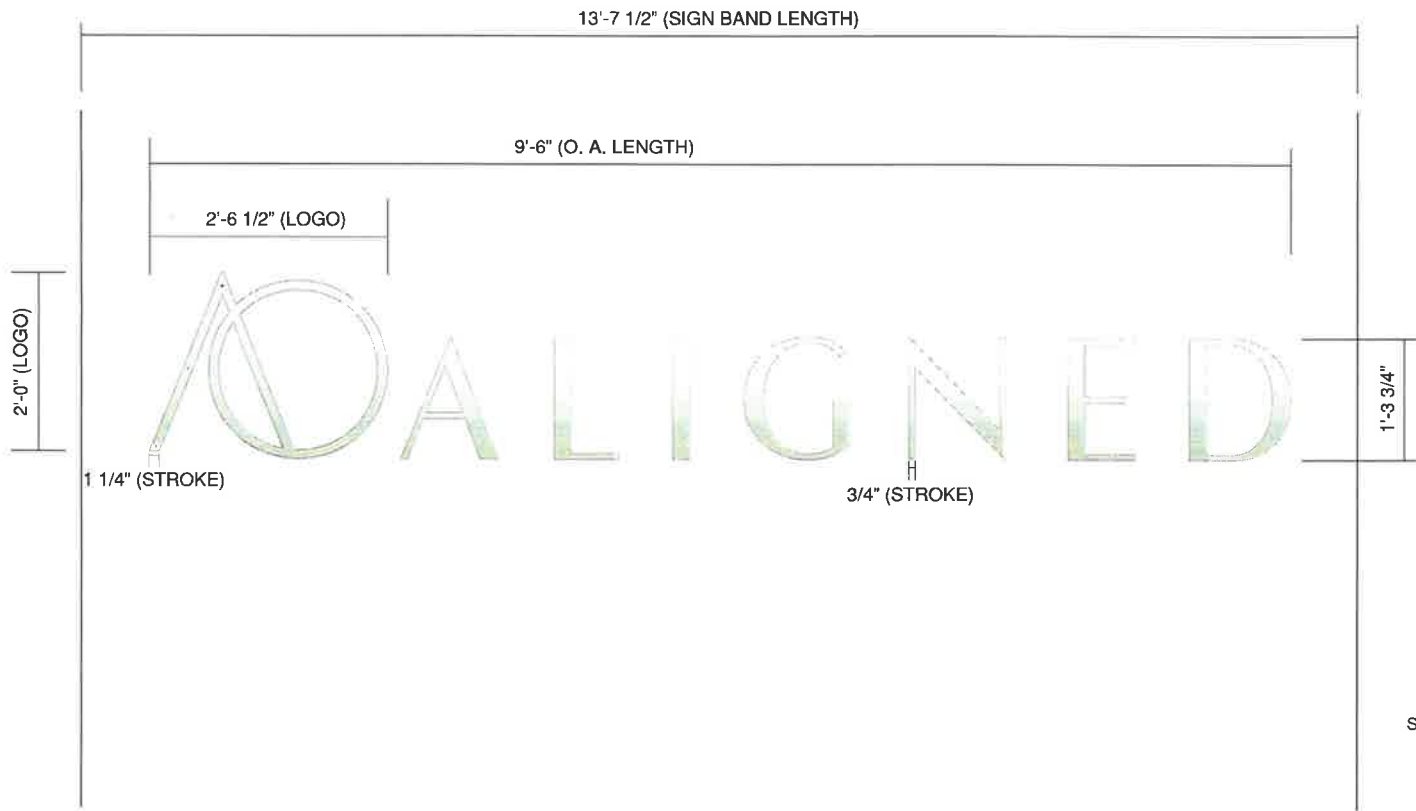
SCOPE OF WORK:  
- Manufacture (1) Set of Non-Illuminated Individual Letters  
- Pen Pattern Required  
- Permits Required  
- Gooseneck Illumination by others

SIGN SPECS:  
Manufacture (1) Set of 1/2" Deep Brushed Aluminum FCO Letters  
- Individually Mounted Copy  
- Copy to read Logo & "ALIGNED"  
- 1/2" Deep Brushed Aluminum FCO Letters  
- Flush Mounted to fascia

CITY CRITERIA:  
- Max 60 Sq. Ft.

LANDLORD CRITERIA:

ADDITIONAL NOTES:



SCALE: 3/4" = 1'-0"  
SIGN AREA = 24.375 SF

DATE	REVISION
09.07.21 HV	Revised from PVC to 1/2" FCO Brushed Aluminum & revised wall layout
09.10.21 HV	Revised to new logo
09.14.21 HV	Revised Logo
09.16.21 HV	Revised Elevations & Added Placer LED Lighting Details
10.13.21 HV	Revised Per City Request

DESIGNER	PROSPECT/CLIENT	PROJECT NUMBER
Heidi Vichos	Aligned House of Orthodontics	P34485
PROJECT MANAGER	PROJECT	DATE CREATED
Philip Swan	Exterior Signage	03.04.2020
SALES REP	PROJECT LOCATION	PAGE
Kevin	2101 E . 14 Mile Birmingham, MI 48009	7



SCOPE OF WORK:

- Manufacture (1) Set of Non-Illuminated Individual Letters
- Pen Pattern Required
- Permits Required
- Gooseneck Illumination by others

SIGN SPECS:

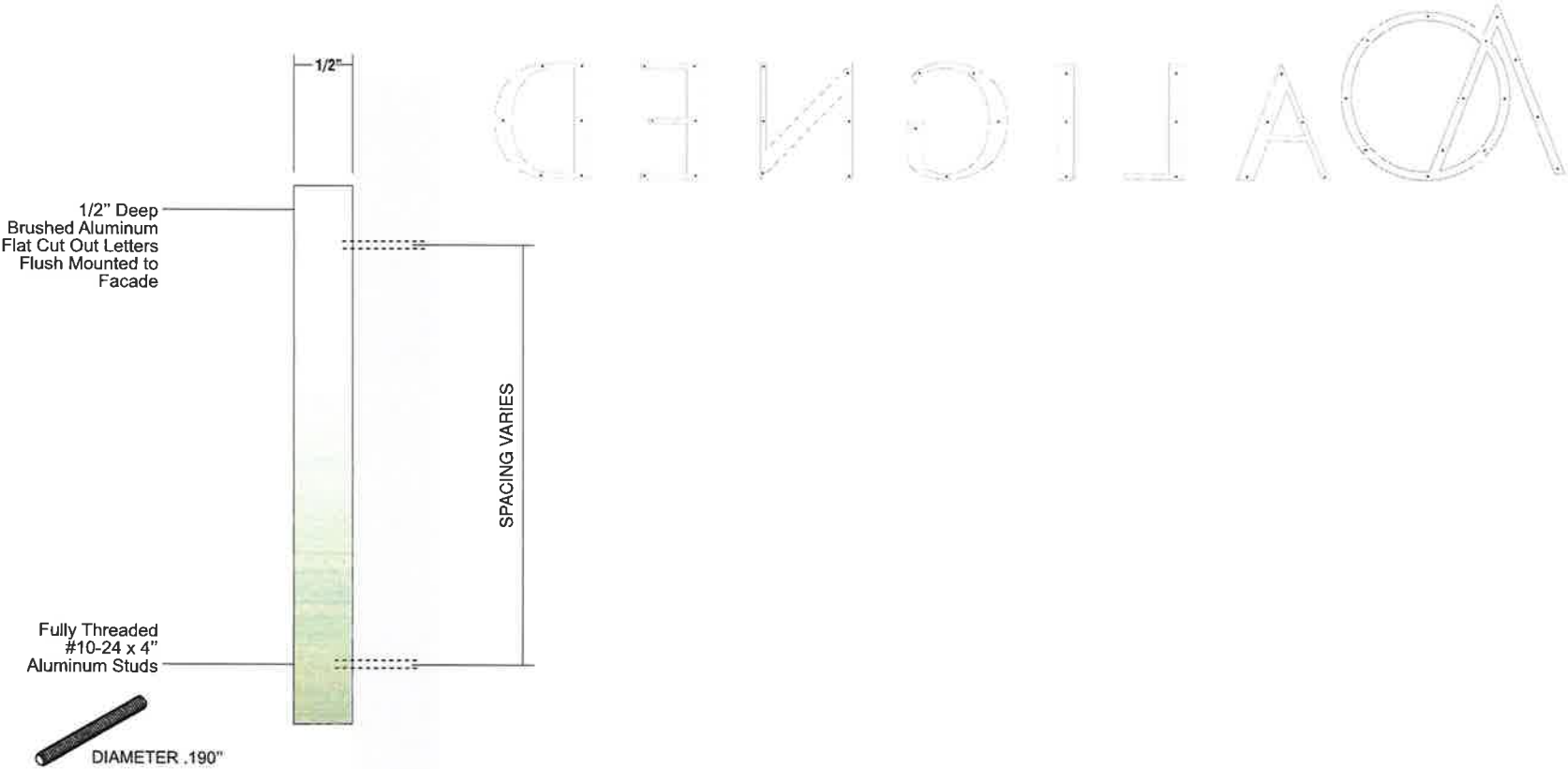
- Manufacture (1) Set of 1/2" Deep Brushed Aluminum FCO Letters
- Individually Mounted Copy
- Copy to read Logo & "ALIGNED"
- 1/2" Deep Brushed Aluminum FCO Letters
- Flush Mounted to fascia

CITY CRITERIA:

- Max 60 Sq. Ft.

LANDLORD CRITERIA:

ADDITIONAL NOTES:



TYPICAL DETAIL N.T.S.

DATE	REVISION
09.07.21 HV	Revised from PVC to 1/2" FCO Brushed Aluminum & revised wall layout
09.10.21 HV	Revised to new logo
09.14.21 HV	Revised Logo
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10.13.21 HV	Revised Per City Request

DESIGNER	PROSPECT/CLIENT	PROJECT NUMBER
Heidi Vichos	Aligned House of Orthodontics	P34485
PROJECT MANAGER	PROJECT	DATE CREATED
Philip Swan	Exterior Signage	03.04.2020
SALES REP	PROJECT LOCATION	PAGE
Kevin	2101 E. 14 Mile Birmingham, MI 48009	8





## Administrative Sign Approval Application Planning Division

Form will not be processed until it is completely filled out

### 1. Applicant

Name: MNC & ANC Professional Services, LLC- Matthew Newman

Address: 72 Pinewood Dr.

White Lake, MI 48386

Phone Number: 248-877-9001

Fax Number: 248-681-3515

Email: mncprosvc@hotmail.com

### Property Owner

Name: Hands-On Physical Therapy and Athletic Rehabilitation

Address: 33233 Woodward Ave.

Birmingham 48009

Phone Number: 310-671-6226

Fax Number: \_\_\_\_\_

Email: \_\_\_\_\_

### 2. Applicant's Attorney/Contact Person

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone Number: \_\_\_\_\_

Fax Number: \_\_\_\_\_

Email: \_\_\_\_\_

### Project Designer

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone Number: \_\_\_\_\_

Fax Number: \_\_\_\_\_

Email: \_\_\_\_\_

### 3. Project Information

Address/Location of Property: 33233 Woodward Ave.

Name of Development: \_\_\_\_\_

Parcel ID #: \_\_\_\_\_

Current Use: \_\_\_\_\_

Area in Acres: \_\_\_\_\_

Current Zoning: \_\_\_\_\_

Name of Historic District site is in, if any: \_\_\_\_\_

Date of HDC Approval, if any: \_\_\_\_\_

Date of Application for Preliminary Site Plan: \_\_\_\_\_

Date of Preliminary Site Plan Approval: \_\_\_\_\_

Date of Application for Final Site Plan: \_\_\_\_\_

Date of Final Site Plan Approval: \_\_\_\_\_

Date of Revised Final Site Plan Approval: \_\_\_\_\_

### 4. Attachments

- Two (2) folded paper copies of plans
- Authorization from Owner(s) (if applicant is not owner)
- Material Samples
- Digital Copy of plans

### 5. Details of the Request for Administrative Approval

Replace existing sign with new UL listed channel letter sign

### 6. Location of Proposed Signs

### 7. Type of Sign(s)

Wall: x

Ground: \_\_\_\_\_

Projecting: \_\_\_\_\_

Canopy: \_\_\_\_\_

Building Name: \_\_\_\_\_

Post-mounted Projecting: \_\_\_\_\_



**8. If a wall sign, indicate wall to be used:**

Front: \_\_\_\_\_  
Left side: \_\_\_\_\_

Rear: \_\_\_\_\_  
Right side: \_\_\_\_\_

**9. Size of Sign**

Width: \_\_\_\_\_  
Depth: \_\_\_\_\_  
Height of lettering: \_\_\_\_\_

Height: \_\_\_\_\_  
Total square feet: \_\_\_\_\_

**10. Existing signs currently located on property**

Number: \_\_\_\_\_  
Square feet per sign: \_\_\_\_\_

Type(s): \_\_\_\_\_  
Total square feet: \_\_\_\_\_

**11. Materials/Style**

Metal: ALUMINUM  
Plastic: Acrylic  
Color 1 (including PMS color #): \_\_\_\_\_  
Additional colors (including PMS color #): \_\_\_\_\_

Wood: \_\_\_\_\_  
Glass: \_\_\_\_\_  
Color 2 (including PMS color #): \_\_\_\_\_

**12. Sign(s) Read(s):**

Hands-on Physical Therapy  
3 Athletic Rehabilitation Center

**13. Sign Lighting**

Type of lighting proposed: LED  
Size of light fixtures (LxWxH): \_\_\_\_\_

Number proposed: \_\_\_\_\_  
Height from grade: \_\_\_\_\_

Maximum wattage per fixture: \_\_\_\_\_  
Location: \_\_\_\_\_

Proposed wattage per fixture: \_\_\_\_\_  
Style (include specifications): \_\_\_\_\_

**14. Landscaping (Ground signs only)**

Location of landscape areas: \_\_\_\_\_

Proposed landscape material: \_\_\_\_\_

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: \_\_\_\_\_

Date: 10/25/2021

Office Use Only

Application #: PA21-0114

Date Received: 10/25/21

Fee: 100.00

Date of Approval: 11/4/21

Date of Denial: N/A

Reviewed by: \_\_\_\_\_





## CONSENT OF PROPERTY OWNER

I, MICHAEL S. Muller OF THE STATE OF MI AND COUNTY OF  
(Name of property owner)

Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 33233 Woodward Ave.;  
(Address of affected property)
2. That I have read and examined the Application for Administrative Approval made to the City of Birmingham by:  
Matthew Newman;  
(Name of applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

Dated: 10-27-21

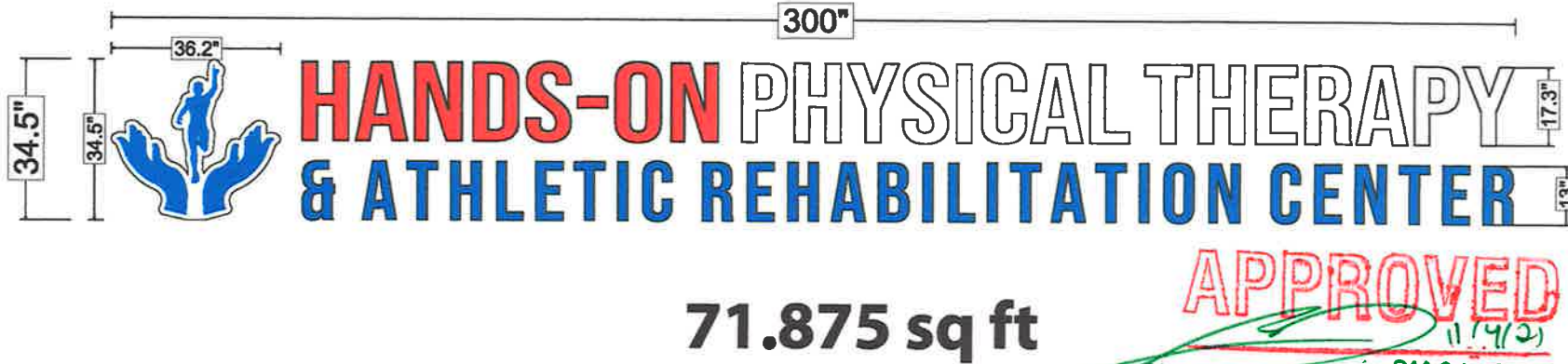
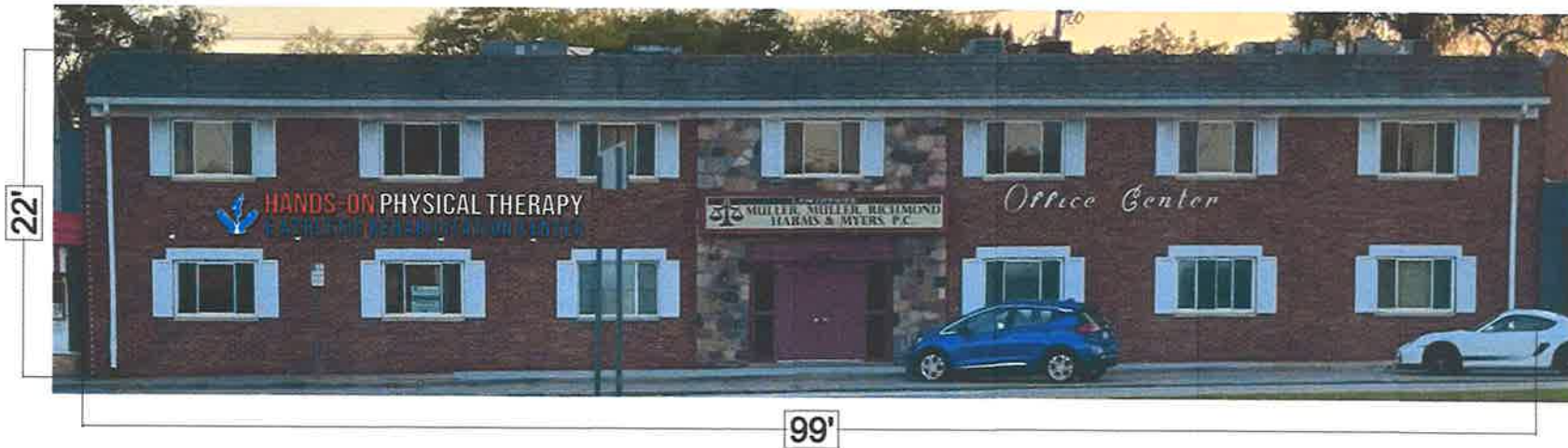
MICHAEL S. Muller  
Owner's Name (Please Print)

Michael S. Muller  
Owner's Signature



## Hands-On Physical Therapy

NOTE: Renderings below utilize sample dimensions.



**APPROVED**

11/4/21  
PAA21-0119



Client:

**Hands-On  
Physical Therapy**

**33233 Woodward Ave.  
Birmingham, MI**

Date:

File:

Designer:

Scale:

NA

Job#

00000

Sheet#

Revision #

0

Date:

00-00-00

Revision Description:

Customer

Approval:

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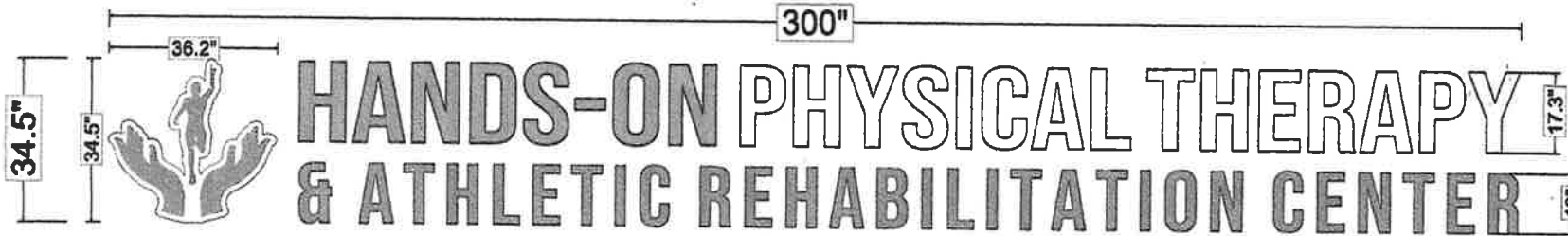
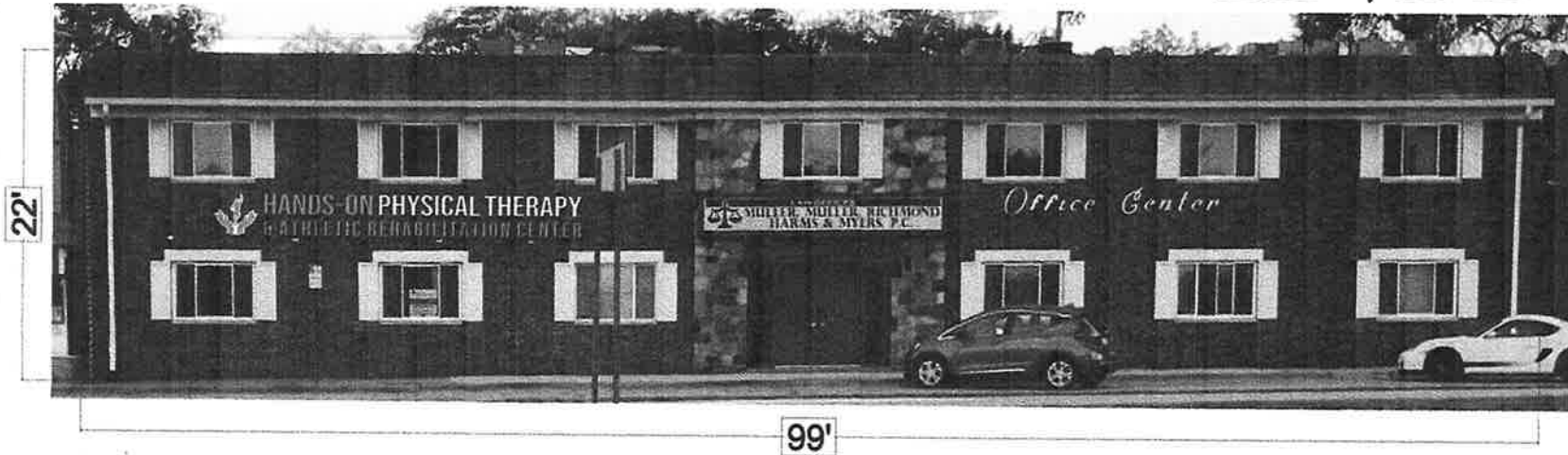
UNLESS OTHERWISE NOTED, ALL COLORS PORTAYED ARE  
REPRESENTATIVE ONLY.

**ALL DIMENSIONS TO BE  
FIELD VERIFIED PRIOR TO  
INSTALLATION**



## Hands-On Physical Therapy

NOTE: Renderings below utilize sample dimensions.



**71.875 sq ft**



Client:

**Hands-On  
Physical Therapy**

**33233 Woodward Ave.  
Birmingham, MI**

Date:

File:

Designer:

Scale:

NA

Job#

00000

Sheet#

Revision #

0

Date:

00-00-00

Revision Description:

Customer  
Approval:

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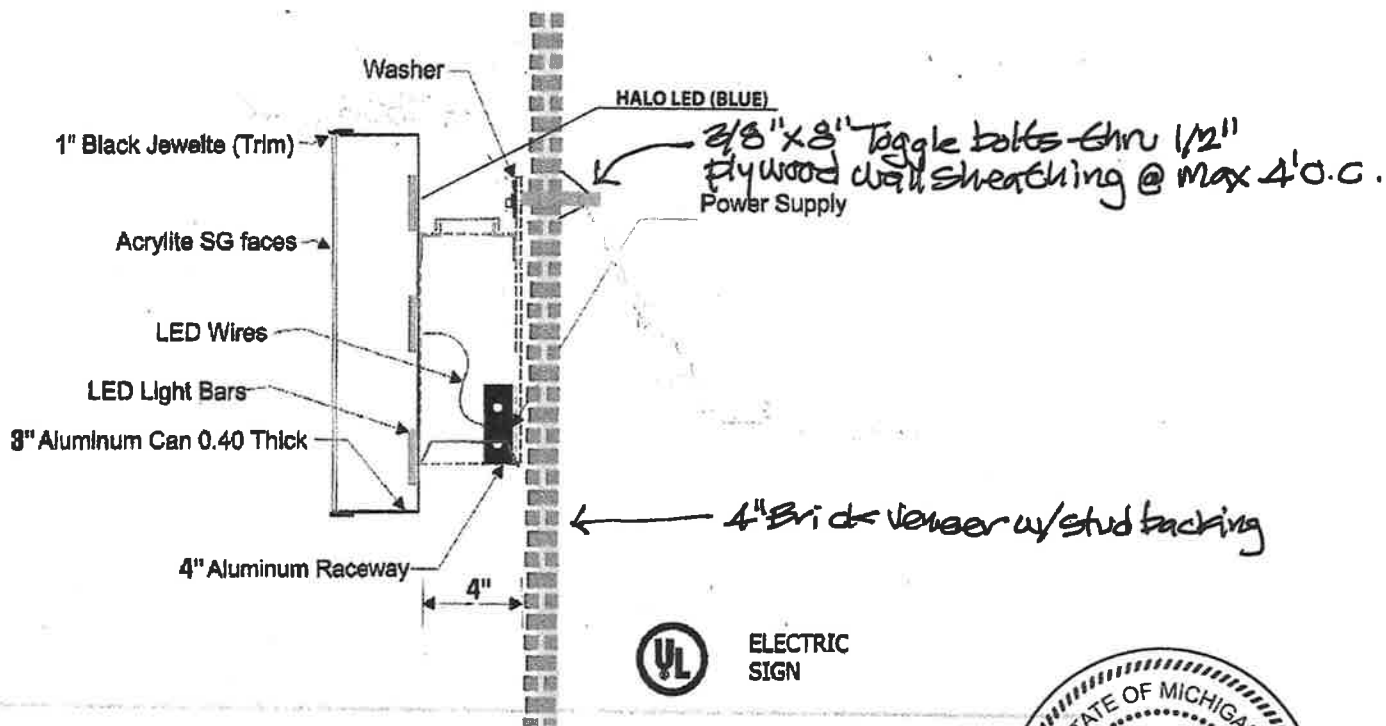


# Hands-On Physical Therapy

NOTE: Renderings below utilize sample dimensions.

## SIDE CUT

this sign has been designed to withstand a 115 mph wind load (3 sec. gust).



3/8" x 1/4" CONCRETE ANCHORS EVERY 4'  
8"



Architect's Lic. # 1361156349



Client:

**Hands-On  
Physical Therapy**

**33233 Woodward Ave.  
Birmingham, MI**

Date:

File:

Designer:

Scale:

NA

Job#

00000

Sheet#

Revision #

0

Date:

00-00-00

Revision Description:

Customer  
Approval:

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ALL DIMENSIONS TO BE  
FIELD VERIFIED PRIOR TO  
INSTALLATION





**APPROVED**  
11/21/21  
PAADJ-008

## Administrative Sign Approval Application Planning Division

*Form will not be processed until it is completely filled out.*

### 1. Applicant

Name: Allied Signs, Inc.  
Address: 33650 Giftos, Clinton Twp, MI 48035  
Phone Number: \_\_\_\_\_  
Fax Number: 586-791-7788  
Email Address: Kim@alliedsignsinc.com

### 2. Property Owner

Name: WDW Birmingham Property LLC  
Address: 553 W. Frank Street  
Birmingham, MI 48009  
Phone Number: 248-645-1060  
Fax Number: \_\_\_\_\_  
Email Address: whitney@wholodental.com

### 3. Applicant's Attorney/Contact Person

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email Address: \_\_\_\_\_

### 4. Project Designer/Developer

Name: Signglo, LLC  
Address: 3127 West Huron Street, Waterford, MI 48328  
Phone Number: 248-431-8888  
Fax Number: \_\_\_\_\_  
Email Address: signglousa@gmail.com

### 5. Project Information

Address/Location of Property: 35106 Woodward  
Name of Development: Whole Dental Wellness  
Parcel ID#: 08-19-25-483-019  
Current Use: \_\_\_\_\_  
Area in Acres: .112  
Current Zoning: B1

Name of Historic District if any: \_\_\_\_\_  
Date of HDC Approval, if any: \_\_\_\_\_  
Date of Application for Preliminary Site Plan: \_\_\_\_\_  
Date of Preliminary Site Plan Approval: \_\_\_\_\_  
Date of Application for Final Site Plan: \_\_\_\_\_  
Date of Final Site Plan Approval: \_\_\_\_\_  
Date of Revised Final Site Plan Approval: \_\_\_\_\_

### 6. Required Attachments

- Two (2) folded paper copies of plans including details of the following:
  - Dimensions of proposed sign(s)
  - Dimensions of building frontage
  - Illumination
  - Height from grade
- Location of proposed sign(s)
- Colors and materials
- Authorization from Property Owner(s) (if applicant is not the owner)
- Material Samples
- Digital Copy of Plans

### 7. Details of the Request for Administrative Approval

Install (1) 39" x 168" illuminated wall sign reading Whole Dental Wellness

### 8. Location of Proposed Sign(s)

Storefront

### 9. Type of Proposed Sign(s)

Wall: x  
Ground: \_\_\_\_\_  
Name Letter: \_\_\_\_\_  
Canopy: \_\_\_\_\_

Projecting (Post-Mounted): \_\_\_\_\_  
Projecting (Wall-Mounted): \_\_\_\_\_  
Building Identification: \_\_\_\_\_  
Other: \_\_\_\_\_



**10. Size of Proposed Sign**

Width: 168"  
Depth: 6"  
Height of Lettering: \_\_\_\_\_

Overall Height: 39"  
Extension from Wall: 6"  
Total Square Feet: 45.50

**11. Existing Signs Currently on Property**

Number: 0  
Square Feet per Sign: \_\_\_\_\_

Sign Type(s): \_\_\_\_\_  
Total Square Feet: \_\_\_\_\_

**12. Materials/Style of Proposed Sign(s)**

Metal: X  
Plastic: X  
Wood: \_\_\_\_\_  
Glass: \_\_\_\_\_

Other: \_\_\_\_\_  
Color #1: White  
Color #2: Black  
Additional Colors: Dark green

**13. Content of Proposed Sign(s)**

Whole Dental Wellness

**14. Proposed Sign Lighting**

Type of Lighting: LED  
Size of Fixtures (LxWxH): \_\_\_\_\_  
Maximum Wattage per Fixture: \_\_\_\_\_  
Proposed Wattage per Fixture: \_\_\_\_\_

Location: Internal  
Number of Lights Proposed: \_\_\_\_\_  
Height from Grade: \_\_\_\_\_  
Lighting Style: \_\_\_\_\_

**15. Landscaping (Ground Signs Only)**

Location of Landscape Areas: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Proposed Landscape Material: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: \_\_\_\_\_

Date: 11/19/21

**Office Use Only**

Application # PAA21-0128

Date Received: 11/19/21

Fee: \$100

Date of Approval: 11/29/21

Date of Denial: N/A

Reviewed By: \_\_\_\_\_





**CONSENT OF PROPERTY OWNER**

I, Whitney L. Lewis OF THE STATE OF Michigan AND  
(Name of Property Owner)  
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 35106 Woodward Ave, Birmingham  
(Address of Affected Property)
2. That I have read and examined the Application for Administrative Approval made to the City of  
Birmingham by: Allied Signs, Inc.;  
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Name of Owner (Printed): Whitney D. Lewis

Signature of Owner: [Signature]

Date: 10/21/21





**SIGN DIMENSIONS**

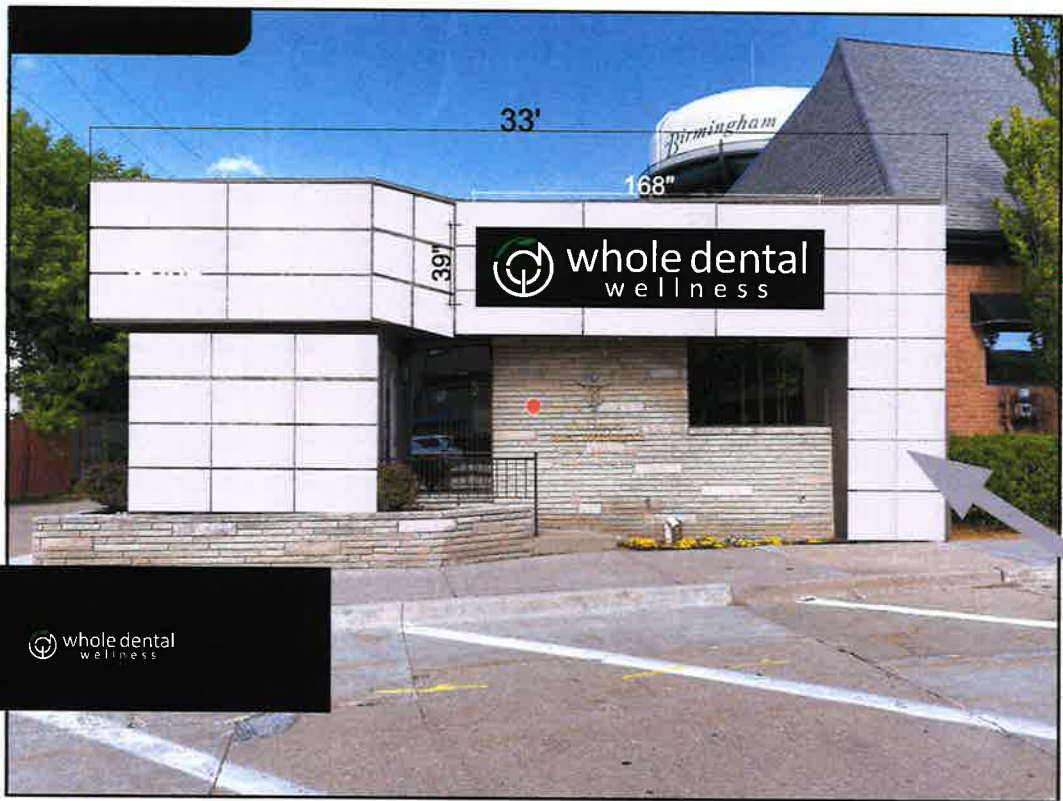
39"x168" Overall - 45.5 SqFt

**whole dental  
wellness**

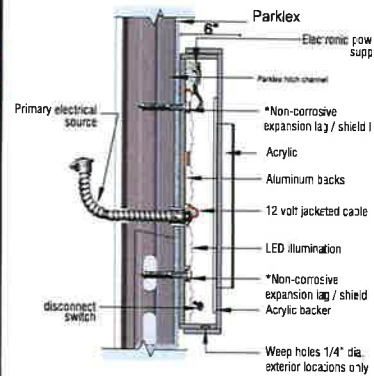
**19485 -ART1**

ADDRESS:  
35106 Woodward Ave  
Birmingham MI 48009

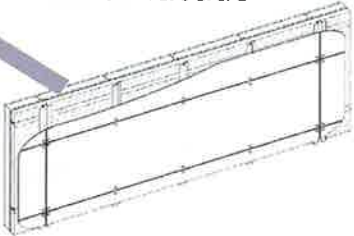
**PUSH THRU**



**APPROVED**  
11/29/21  
PA 191-088



Parklex facade



DRAWING IS NOT TO SCALE BUT IS PROPORTIONATE\*  
FIELD VERIFY ALL MEASUREMENTS BEFORE BEGINNING ANY WORK  
INSTALLER TO VERIFY MOUNTING SURFACE PRIOR TO INSTALLATION

DRAWN BY: K.H  
REVISED BY:

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Drawn By:	Date: 9/24/21	Revision: XXX
		Work Order#: XXX





## Administrative Approval Application Planning Division

**APPROVED**

10/27/21  
PAA21-0118

*Form will not be processed until it is completely filled out.*

### 1. Applicant

Name: Venator Contracting Group  
Address: 44930 Vic Wertz Drive Clinton Twp. MI 48036  
Phone Number: 313 268 9902  
Email: David@venatorcontracting.com

### 2. Property Owner

Name: Esco Development  
Address: 210 S. Old Woodward #230  
Birmingham Mich 48009  
Phone Number: \_\_\_\_\_  
Email: \_\_\_\_\_

### 3. Project Contact Person

Name: Noah Schultz  
Address: 44930 Vic Wertz Drive Clinton Twp. MI 48036  
Phone Number: 586 238 5116  
Email: ndschultz19@gmail.com

### 4. Project Designer/Developer

Name: Ron & Roman LLC  
Address: 275 East Frank Street Birmingham MI 48009  
Phone Number: 231 622 2402  
Email: dustin@ronandroman.com

### 5. Required Attachments

- Two (2) folded copies of project plans including an itemized list of all changes for which Administrative Approval is requested, with the changes marked in color on all elevations
- One (1) digital copy of project plans
- Warranty Deed with legal description of property
- Photographs of existing conditions on the site where changes are proposed
- Material samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- Completed Administrative Approval checklist

### 6. Project Information

Address/Location of Property: 255 S. Old Woodward Birmingham MI 48009  
Name of Development: Cosmo Salon  
Parcel ID#: \_\_\_\_\_  
Current Use: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_  
Area of Site in Acres: \_\_\_\_\_  
Current Zoning: \_\_\_\_\_

	Yes	No
Is the property located in a floodplain? -----	<input type="checkbox"/>	<input type="checkbox"/>
Is the property within a Historic District? ---	<input type="checkbox"/>	<input type="checkbox"/>
→ If so, which? _____		
Will the project require a variance? -----	<input type="checkbox"/>	<input type="checkbox"/>
→ If so, how many? _____		
Has the project been reviewed by a Board? _____	<input type="checkbox"/>	<input type="checkbox"/>
→ If so, which? _____		

### 7. Details of the Request for Administrative Approval

Planner Box to be approved.

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan. By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Applicant: [Signature] Date: 10/27/21

Office Use Only			
Application #: <u>PAA21-0118</u>	Date Received: <u>10-27-21</u>	Fee: \$ <u>100.00</u>	
Date of Approval: <u>10/27/21</u>	Date of Denial: <u>N/A</u>	Reviewed By: <u>[Signature]</u>	





### CONSENT OF PROPERTY OWNER

I, JAMES ESSHAK, OF THE STATE OF Mich. AND  
(Name of Property Owner)

COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 2105 Old Woodward Birmingham  
Mich 48009 (Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of

Birmingham by: [Signature];

(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the  
City of Birmingham.

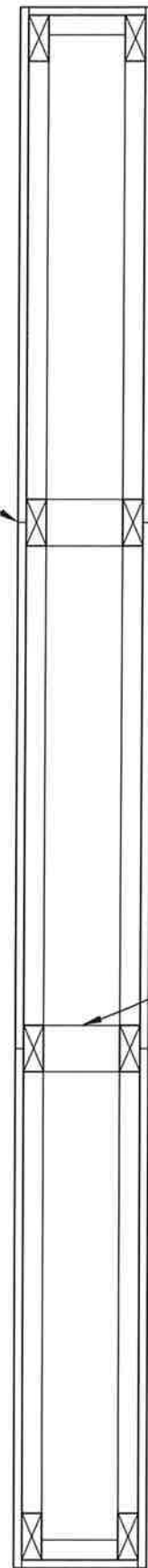
Name of Owner (Printed): JAMES ESSHAK

Signature of Owner: [Signature]

Date: 10-27-2021



FRAMING AT SEAMS

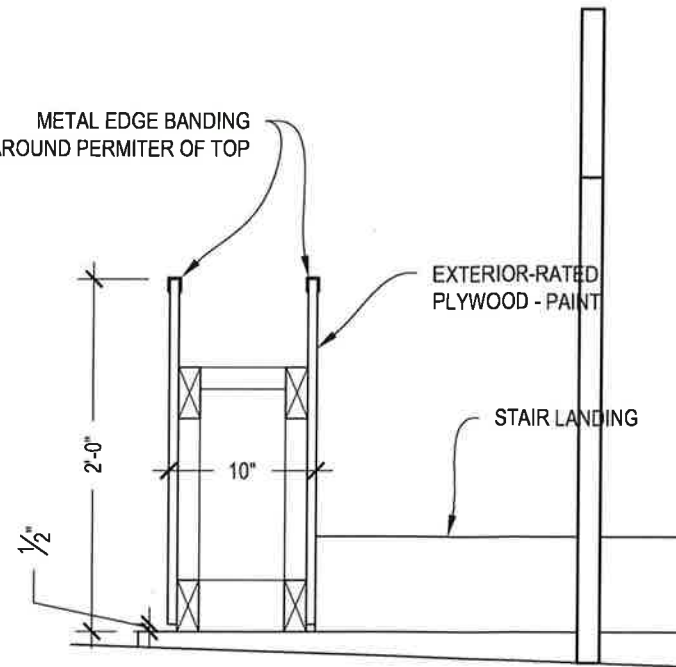


3

### PLAN SECTION

scale: 1" = 1'-0"

METAL EDGE BANDING  
AROUND PERIMETER OF TOP

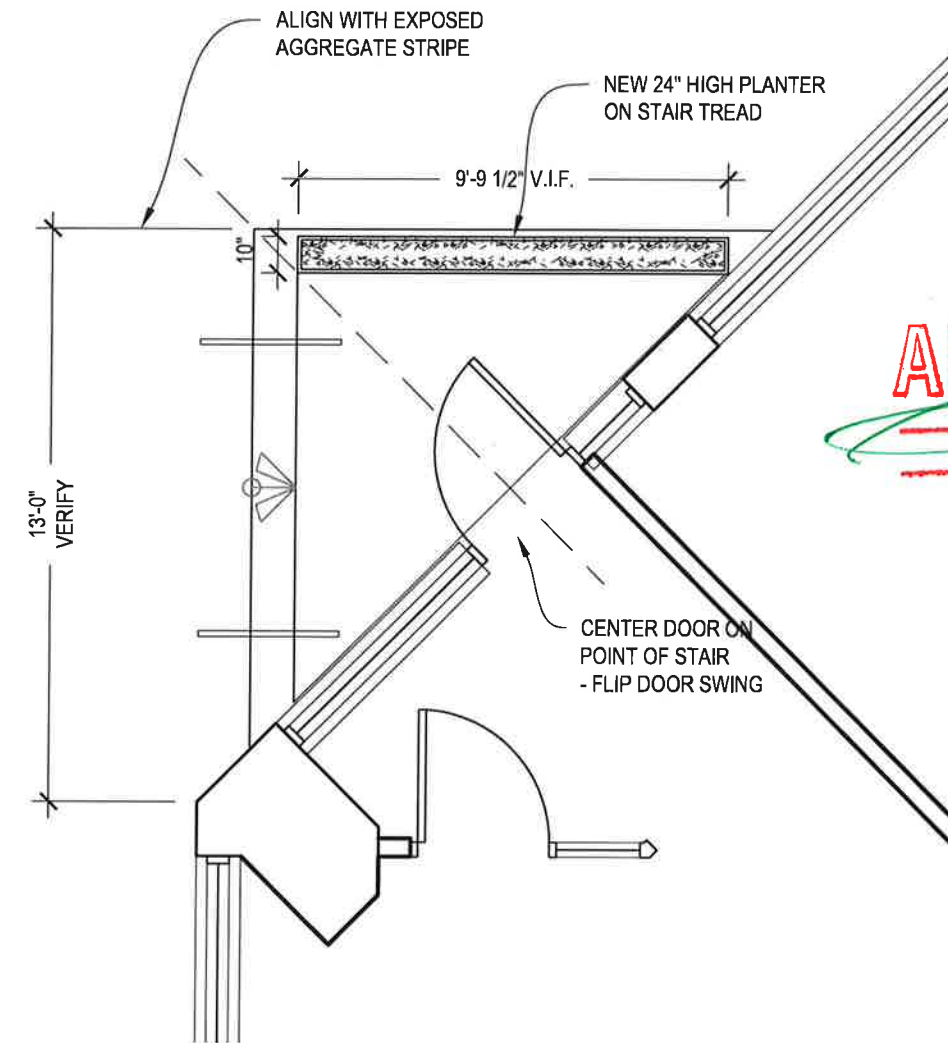


2

### SECTION THRU PLANTER

scale: 1" = 1'-0"

TREATED WOOD  
CONSTRUCTION TYP.



1

### NEW STAIR CONCEPT

scale: 1/4" = 1'-0"



**APPROVED**  
10/27/01  
PAA01-0118









APPROVED

11/18/21

PAA21-0126

## Administrative Approval Application Planning Division

*Form will not be processed until it is completely filled out.*

### 1. Applicant

Name: Butcher & Butcher Construction Co., Inc.  
Address: 3885 Industrial Drive  
Rochester Hills, MI 48309  
Phone Number: 248-852-2323  
Email: hjones@bbconstruct.com

### 2. Property Owner

Name: Michael James Belanger  
Address: 346 W Brown Street  
Phone Number:  
Email:

### 3. Project Contact Person

Name: Heidi Jones  
Address:  
Phone Number: 248-825-1944  
Email:

### 4. Project Designer/Developer

Name:  
Address:  
Phone Number:  
Email:

### 5. Required Attachments

- Two (2) folded copies of project plans including an itemized list of all changes for which Administrative Approval is requested, with the changes marked in color on all elevations
- One (1) digital copy of project plans
- Warranty Deed with legal description of property
- Photographs of existing conditions on the site where changes are proposed
- Material samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- Completed Administrative Approval checklist

### 6. Project Information


Address/Location of Property:  
346 W Brown Street, Birmingham, MI 48009  
Name of Development:  
Parcel ID#:  
Current Use:  
Proposed Use:  
Area of Site in Acres:  
Current Zoning:

	Yes	No
Is the property located in a floodplain? ----	<input type="checkbox"/>	<input type="checkbox"/>
Is the property within a Historic District? ---	<input type="checkbox"/>	<input type="checkbox"/>
→ If so, which? _____		
Will the project require a variance? -----	<input type="checkbox"/>	<input type="checkbox"/>
→ If so, how many? _____		
Has the project been reviewed by a Board?	<input type="checkbox"/>	<input type="checkbox"/>
→ If so, which? _____		

### 7. Details of the Request for Administrative Approval

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan. By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Applicant:  Date: \_\_\_\_\_

Office Use Only			
Application #:	PAA21-0126	Date Received:	11/16/21
Date of Approval:	11/18/21	Date of Denial:	N/A
Fee:	\$ 100.00	Reviewed By:	





### CONSENT OF PROPERTY OWNER

I, MICHAEL BELAIGER, OF THE STATE OF MICHIGAN AND  
(Name of Property Owner)

COUNTY OF OAKLAND STATE THE FOLLOWING:

1. That I am the owner of real estate located at 346 W BROWN ST.;  
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of

Birmingham by: MICHAEL BELAIGER;  
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the  
City of Birmingham.

Name of Owner (Printed): MICHAEL BELAIGER

Signature of Owner: [Signature] Date: 11/17/21





















# Timberline<sup>®</sup> HDZ<sup>™</sup>

High Definition<sup>®</sup> Shingles



Colour shown: Pewter Gray



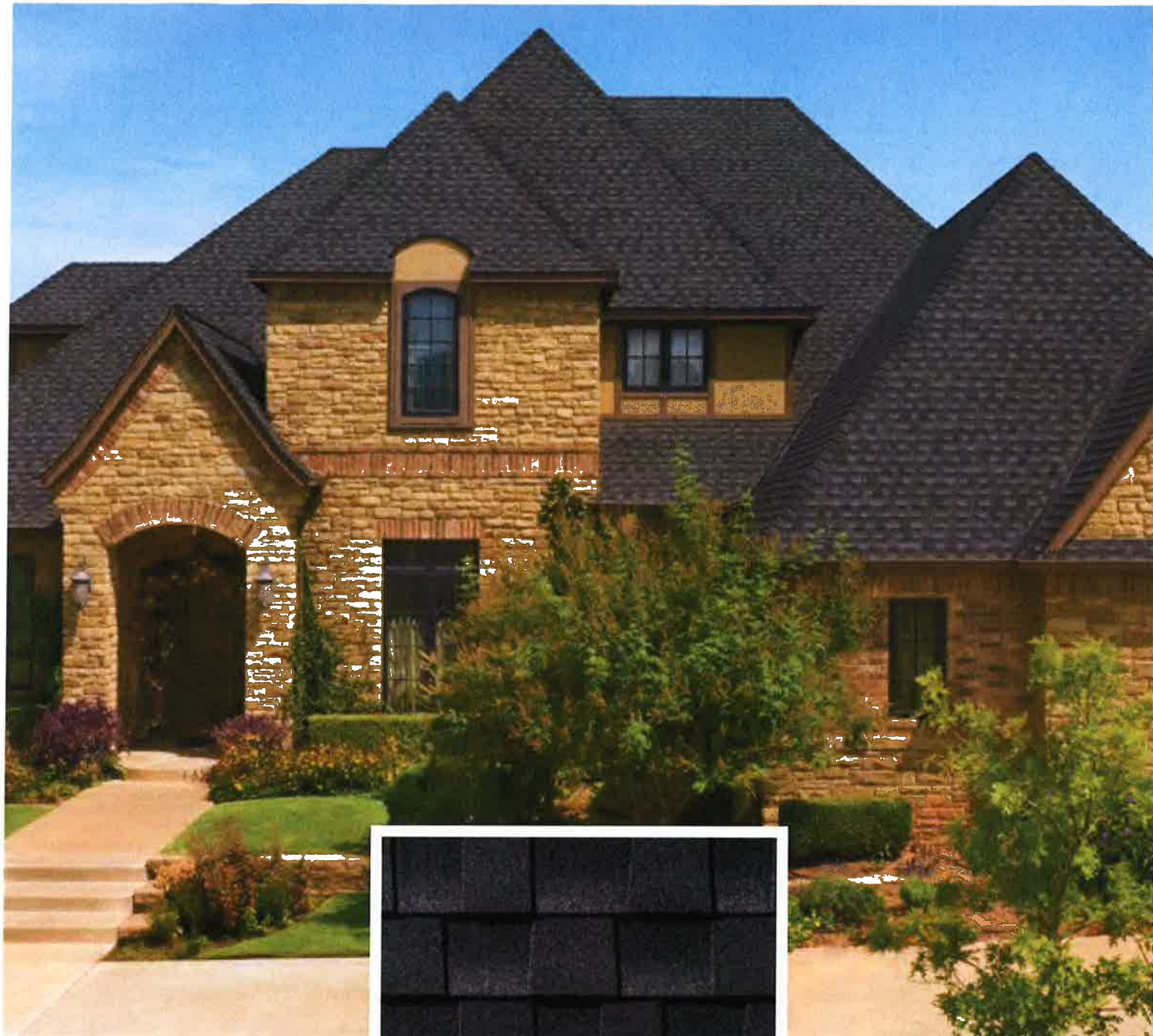
Millions of families have found shelter and peace of mind under a Timberline<sup>®</sup> roof.

And now, a good thing just got even better.



We protect what matters most<sup>™</sup>





## Charcoal

Charcoal is the most neutral of shades, and works wonderfully with blues, grays, whites, yellow, gold, sage, and green.

Note: It is difficult to reproduce the colour clarity and actual colour blends of these products. Before selecting your colour, please ask to see several full-size shingles.



## Colour Availability



### Nationally Available Colours



### Regionally Available Colours (See next page for details.)



For more details  
visit [gaf.ca/HDZ](http://gaf.ca/HDZ)

Note: It is difficult to reproduce the colour clarity and actual colour blends of these products. Before selecting your colour, please ask to see several full-size shingles.



# Timberline® HDZ™ Availability

Colour availability Chart

## Most Popular Colours:

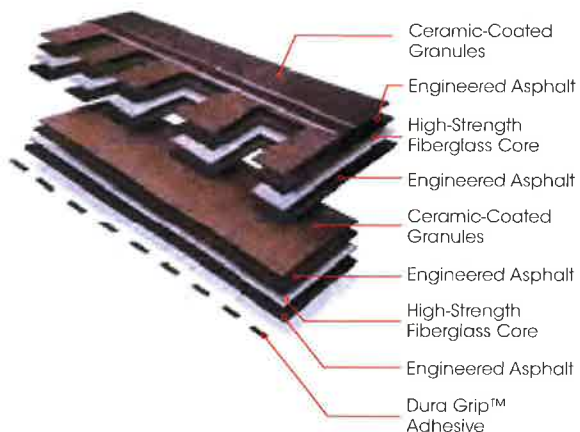
	8	9	10	11
Barkwood				
Canadian Driftwood				
Charcoal				
Hickory				
Mission Brown				
Pewter Gray				
Shakewood				
Weathered Wood				

## Regional Colours:

	8	9	10	11
Birchwood				
Hunter Green				
Slate				



## The protective layers of a Timberline® HDZ™ Shingle

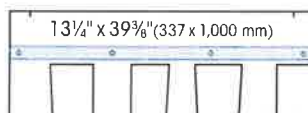


### Product/System Specifics

- Fiberglass asphalt construction
- Dimensions (approx.): 13 1/4" x 39 3/8" (337 x 1,000 mm)
- Exposure: 5 1/8" (143 mm)
- Bundles/Square: 3
- Pieces/Square: 64
- StainGuard<sup>®</sup> Algae Protection<sup>1</sup>
- Hip/Ridge: TimberTex<sup>®</sup>; TimberCrest<sup>®</sup>; Seal-A-Ridge<sup>®</sup>
- Starter: Pro-Start<sup>®</sup>; QuickStart<sup>®</sup>; WeatherBlocker<sup>™</sup>

### Applicable Standards & Protocols:

- UL Listed to ANSI/UL 790 Class A
- Classified by UL in accordance with ICC-ES AC438
- Meets ASTM D7158, Class H
- Meets ASTM D3161, Class F
- Meets ASTM D3018, Type 1
- Meets ASTM D3462<sup>2</sup>
- ICC-ES Evaluation Reports ESR-1475 and ESR-3267
- Meets or exceeds CSA A123.5<sup>3</sup>



<sup>1</sup> StainGuard<sup>®</sup> algae protection is available only on shingles sold in packages bearing the StainGuard<sup>®</sup> logo. Products with StainGuard<sup>®</sup> algae protection are covered by a 10-year limited warranty against blue-green algae discoloration. See GAF Shingle & Accessory Limited Warranty for complete coverage and restrictions.

<sup>2</sup> Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.

<sup>3</sup> Applies to product sold in Canada only.



## TimberTex® and TimberCrest® Premium Ridge Cap Shingles

Hip & Ridge Cap Shingles accentuate the natural beauty of your architectural shingle roof. They're the perfect finishing touch that helps defend against leaks at the hips and ridges.

[gaf.ca/ridgecaps](http://gaf.ca/ridgecaps)



TimberTex® and TimberCrest® Premium Ridge Cap Shingles are designed to complement the colour of your Timberline® Shingles. To ensure the closest colour consistency for your roof, ask your contractor to use genuine TimberTex® or TimberCrest® Premium Ridge Cap Shingles.<sup>1</sup>

- Accentuate the beauty of your newly installed shingle roof
- Protect against leaks and blow-offs at the hip and ridge areas of your roof
- Complement the colour of your GAF Shingles with hip and ridge cap shingles manufactured by GAF

### Also available<sup>1</sup>



<sup>1</sup>These products are not available in all areas. See [gaf.ca/ridgecapavailability](http://gaf.ca/ridgecapavailability) for details.



# WeatherWatch<sup>®</sup> Mineral-Surfaced Leak Barrier

Help protect your home and roof system from  
wind-driven rain and damaging ice dams



- Helps prevent leaks at the most vulnerable areas of your roof
- Reduces the risk of costly repairs due to wall or ceiling staining from leaks
- Meets most code requirements where local building codes require the use of leak barriers<sup>1</sup>

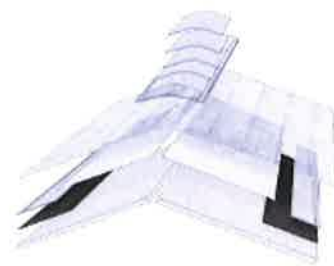


**WeatherWatch<sup>®</sup>**  
Mineral-Surfaced Leak Barrier



# WeatherWatch®

## Mineral-Surfaced Leak Barrier



### Benefits:

- **Excellent protection** at the eaves and rakes, in valleys, and around chimneys and skylights, which guards against leaks caused by wind-driven rain, ice dams, backed-up gutters, and roof settling
- **Self-seals** around fasteners to help avoid leaks
- **Durable** fiberglass-reinforced construction
- **Traditional mineral surfacing** for use with asphalt shingle roof systems
- **Split-back release film** peels off in layers for fast installation
- **Eligible for up to a Lifetime limited warranty** when used on Lifetime Shingle roofs<sup>2</sup> and it's an eligible component of GAF residential enhanced warranties

### In the "North," most building codes require the use of leak barriers at the eaves:<sup>3</sup>

- Protection against ice dams is required by most building codes<sup>1</sup> at the eaves where the January average temperature is 25°F (-4°C) or lower or where there is a possibility of ice forming in the eaves — i.e., areas labeled "North"<sup>3</sup> (see map).
- Ice dams can still occur in areas where the average temperature is above 25°F (-4°C)
- In warmer/Southern climates, leak barriers provide critical protection against wind-driven rain

### Meets or exceeds the following requirements of ASTM D1970

Property	Method	Requirement
Thickness (mils)	D5147	Min. 40
Tensile strength MD (lbf/in)	D2523	Min. 25
Tensile strength CMD (lbf/in)	D2523	Min. 25
Elongation at break, modified bitumen Portion - MD and CMD (%)	D2523	Min. 10
Adhesion to plywood at 75°F (24°C) (lbf/ft-width)	D903	Min. 12
Adhesion to plywood at 40°F (4°C) (lbf/ft-width)	D903	Min. 2
Thermal stability (mm)	D1204	Max. 3
Low temperature flexibility -20°F (-29°C)	D1970	Pass
Tear resistance MD (lbf)	D4073	Min. 20
Tear resistance CMD (lbf)	D4073	Min. 20
Moisture vapor permeance (U.S. perms)	E96 A	Max 0.1
Sealability around nail	D1970	Pass
Waterproof integrity after low temperature flexibility	D1970	Pass
Waterproof integrity of lap seam	D1970	Pass



To learn more about the Lifetime Roofing System visit [gaf.com/Lifetime](https://gaf.com/Lifetime)



### Product Details:

**Nominal Specifications:**  
For use with asphalt shingles

#### 1.5 square roll:<sup>\*</sup>

- 150 ft<sup>2</sup> (13.94 sq. m) per roll<sup>1</sup>
- Roll width: 36" (914 m)
- Roll length: 50' (15.24 m)

#### 2.0 square roll:<sup>\*</sup>

- 200 ft<sup>2</sup> (18.58 sq. m) per roll<sup>1</sup>
- Roll width: 36" (914 m)
- Roll length: 66' 7" (20.33 m)
- UV exposure: Up to 60 days, if necessary
- Shelf life: Best if used within 1 year from date of manufacture

<sup>\*</sup>Excludes laps

#### Code Approvals:

- Meets or exceeds the performance criteria of ASTM D1970
- Miami-Dade County Product Control Approved
- State of Florida approved
- Component of a UL Listed ANSI/UL 790 Class A system when used with UL Class A shingles<sup>4</sup>
- ICC-ES Evaluation Report (ESR-1322)

<sup>1</sup> Check local building codes for requirements in your area.

<sup>2</sup> Lifetime refers to the length of warranty coverage provided and means as long as the original individual owner(s) of a single-family detached residence (or eligible second owner(s)) owns the property where the qualifying GAF products are installed. For other owners/structures, Lifetime coverage is not applicable. Lifetime coverage on shingles requires the use of GAF Lifetime Shingles only. Lifetime coverage on shingles and accessories requires the use of any GAF Lifetime Shingle and any 3 qualifying GAF Accessories. See GAF Roofing System Limited Warranty for complete coverage and restrictions. Visit [gaf.com/LRS](https://gaf.com/LRS) for qualifying GAF products. For installations not eligible for the GAF Roofing System Limited Warranty, see the GAF Shingle & Accessory Limited Warranty.

<sup>3</sup> Source: International Building Code (IBC) and International Residential Code (IRC)

<sup>4</sup> Refer to UL Online Certification Directory for actual assemblies



We protect what matters most<sup>®</sup>







**APPROVED**  
11/9/21  
PAA21-0123

## Administrative Approval Application Planning Division

*Form will not be processed until it is completely filled out.*

### 1. Applicant

Name: Oakland County WRC, Birmingham CSO Drainage District  
Address: One Public Works Dr., Building 95W  
Waterford, MI 48328  
Phone Number: 248-858-0958  
Fax Number: 248-858-1066  
Email Address: wrc@oakgov.com

### 2. Property Owner

Name: City of Birmingham  
Address: 151 Martin Street  
Birmingham, MI 48012  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email Address: \_\_\_\_\_

### 3. Applicant's Attorney/Contact Person

Name: Gary Nigro, P.E.  
Address: One Public Works Dr., Building 95W  
Waterford, MI 48328  
Phone Number: 248-343-2185  
Fax Number: \_\_\_\_\_  
Email Address: nigrog@oakgov.com

### 4. Project Designer/Developer

Name: Phil Lapoint, Butcher & Butcher Construction  
Address: 3885 Industrial Dr.  
Rochester Hills, MI 48309  
Phone Number: 248-852-2323  
Fax Number: \_\_\_\_\_  
Email Address: plapointe@bbconstruct.com

### 5. Project Information

Address/Location of Property: 700 Linden Dr.  
Birmingham, MI 48009  
Name of Development: Birmingham CSO Retention Treatment Basin  
Parcel ID#: 08-19-35-277-048  
Current Use: Control Building for Wet Weather Operations  
Area in Acres: 21.460  
Current Zoning: RV

Name of Historic District if any: N/A  
Date of HDC Approval, if any: N/A  
Date of Application for Preliminary Site Plan: \_\_\_\_\_  
Date of Preliminary Site Plan Approval: \_\_\_\_\_  
Date of Application for Final Site Plan: \_\_\_\_\_  
Date of Final Site Plan Approval: \_\_\_\_\_  
Date of Revised Final Site Plan Approval: \_\_\_\_\_

### 6. Required Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- One (1) digital copy of plans
- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations
- Photographs of existing conditions on the site where changes are proposed

### 7. Details of the Request for Administrative Approval

Oakland County office of the Water Resources Commissioner is requesting approval to replace the existing clay tile roof on the Birmingham CSO RTB control building because of broken roof tiles and leaks in the existing roof. The aesthetic design of the building and the roof will remain the same. The only change is the slate alternative roofing material. The existing clay tiles will be replaced with Davinci slate, a composite roofing material, in the slate black color to match the original design.

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan.

Signature of Applicant: Mary Nigro Date: November 8, 2021

#### Office Use Only

Application #: PAA21-0123

Date Received: 11/9/21

Fee: ✓

Date of Approval: 11/9/21

Date of Denial: N/A

Reviewed By: [Signature]





**CONSENT OF PROPERTY OWNER**

I, City of Birmingham, OF THE STATE OF Michigan AND  
(Name of Property Owner)  
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 700 Linden Dr., Birmingham MI 48009;  
(Address of Affected Property)
2. That I have read and examined the Application for Administrative Approval made to the City of  
Birmingham by: Oakland County Water Resources Commissioner;  
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

Name of Owner (Printed): Gary Nigro

Signature of Owner:  Date: November 8, 2021



Birmingham CSO Retention Treatment Basin  
Control Building – Roof Replacement Project# 1-3498



*Figure 1: North Elevation*



*Figure 2: North Elev. Damaged Tiles*



Birmingham CSO Retention Treatment Basin  
Control Building – Roof Replacement Project# 1-3498



Figure 3: South Elevation

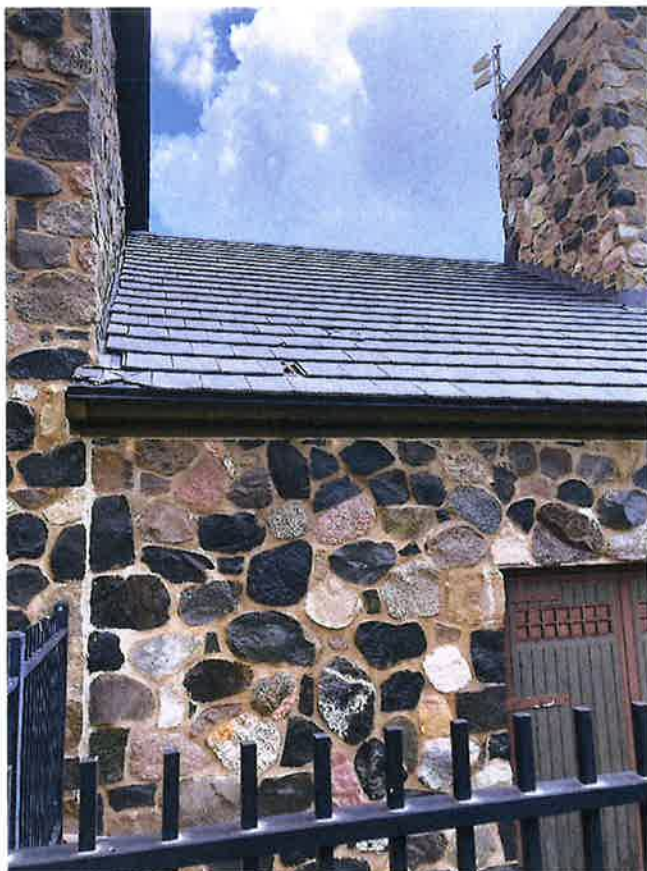


Figure 4: South Elev. Damaged Roof Tiles



Figure 5: South Elev., Color Match Sample

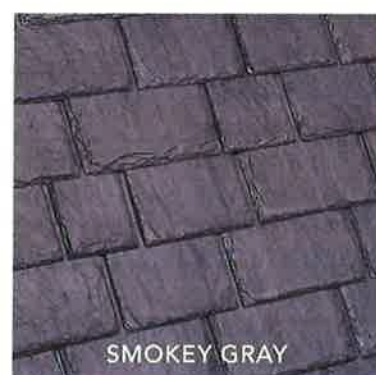


# MULTI-WIDTH SLATE

DaVinci's Multi-Width Slate delivers the highest level of beauty without the typical challenges of a natural slate roof. Our tiles are engineered to be lighter, to resist impact and to maintain their color longer.



Proposed Birmingham  
RTB Building Roof  
Color: Slate Black



ALSO AVAILABLE  
IN COOL ROOF COLOR

MULTI-WIDTH SLATE



# DAVINCI SLATE

## MULTI-WIDTH SLATE

Widths - 12", 10", 9", 7", 6"	Length - 18"	Thickness at Butt - 1/2"	Thickness at Tip - 1/8"
-------------------------------	--------------	--------------------------	-------------------------

### FIELD SHINGLES PER ROOFING SQUARE

Coursing	Roof Pitch	Max. Exposure	Pieces / Bundle	Bundles / Square	Weight / Square	Nails Required
Straight	6:12 or greater	8"	28	6.4	266 lbs	359/SQ
Straight	6:12 or greater	7.5"	28	6.8	283 lbs	381/SQ
Staggered	6:12 or greater	7"	28	7.3	304 lbs	409/SQ
Straight/Staggered	less than 6:12	6"	28	8.5	354 lbs	476/SQ

Note 1: All calculations are based on using the recommended 3/8" gap between shingles.

Note 2: Straight coursing may be used at any exposure up to 8.0" and staggered coursing may be used at any exposure up to 7.0"

### HIP • RIDGE • STARTER • ACCESSORY

	6" Hip & Ridge	7" Hip & Ridge	One-Piece Hip & Ridge	12" Starter	12" Solid Accessory Tile
Pieces / Bundle	20	20	10	20	10
Linear Ft / Bundle	5*	5*	10	20	10
Pieces / Linear Ft	4*	4*	1	1	1
Nails Required	40/BDL	40/BDL	20/BDL	40/BDL	20/BDL

\* At recommended 6" exposure Note: 9" pieces available for ridge; 4" pieces available for turrets.

## SINGLE-WIDTH SLATE

Widths - 12"	Length - 18"	Thickness at Butt - 1/2"	Thickness at Tip - 1/8"
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### FIELD SHINGLES PER ROOFING SQUARE

Coursing	Roof Pitch	Max. Exposure	Pieces / Bundle	Bundles / Square	Weight / Square	Nails Required
Straight	6:12 or greater	8"	22	6.6	275 lbs	291/SQ
Straight	6:12 or greater	7.5"	22	7.1	294 lbs	313/SQ
Staggered	6:12 or greater	7"	22	7.6	315 lbs	335/SQ
Straight/Staggered	less than 6:12	6"	22	8.8	367 lbs	388/SQ

Note 1: All calculations are based on using the recommended 3/8" gap between shingles.

Note 2: Straight coursing may be used at any exposure up to 8.0" and staggered coursing may be used at any exposure up to 7.0"

### HIP • RIDGE • STARTER • ACCESSORY

	6" Hip & Ridge	7" Hip & Ridge	One-Piece Hip & Ridge	12" Starter	12" Solid Accessory Tile
Pieces / Bundle	20	20	10	20	10
Linear Ft / Bundle	5*	5*	10	20	10
Pieces / Linear Ft	4*	4*	1	1	1
Nails Required	40/BDL	40/BDL	20/BDL	40/BDL	20/BDL

\* At recommended 6" exposure Note: 9" pieces available for ridge; 4" pieces available for turrets.

## BELLAFORTÉ SLATE

Widths - 12"	Length - 15.5"	Thickness at Butt - 1/2"	Thickness at Tip - 3/8"
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### FIELD SHINGLES PER ROOFING SQUARE

Coursing	Roof Pitch	Max. Exposure	Pieces / Bundle	Bundles / Square	Weight / Square	Nails Required
Straight	4:12 or greater	12"	10	10	160 lbs	200/SQ

### HIP • RIDGE • STARTER • ACCESSORY

	One-Piece Hip & Ridge	Rake	Starter	Transition Piece
Pieces / Bundle	10	20	20	10
Linear Ft / Bundle	10	20	20	10
Pieces / Linear Ft	1	1	1	1
Nails Required	20/BDL	40/BDL	40/BDL	30/BDL

### TESTING & BUILDING CODE APPROVALS

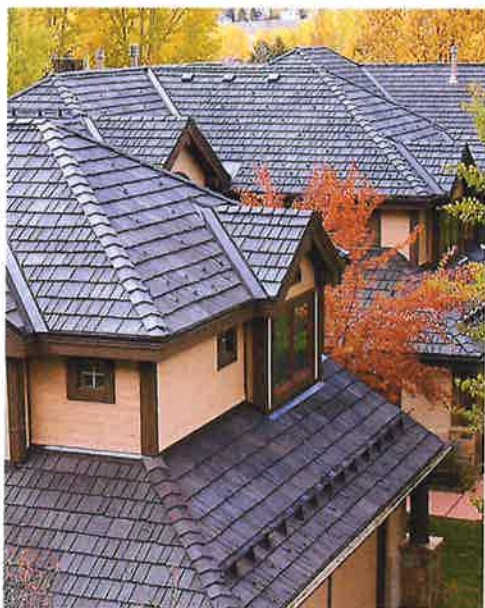
Class A Fire; Class 4 Impact; Certified to 110MPH  
ICC-ES ESR-2119; Miami-Dade County, FL; CA Title 24; Texas Dept. of Insurance; LEED contribution; CCMC 14094-R

\* Go to [www.davinciroofscapes.com](http://www.davinciroofscapes.com) for the most up-to-date technical information.





## ROOFING & SIDING PRODUCT OVERVIEW



*Timeless beauty and lasting  
pride for any home*



# THE LOOK *you love*

*Engineered for decades of enduring and worry-free beauty.*

DaVinci has been the leader in composite roofing for nearly two decades. Our roofing solutions deliver everything you love about slate and with performance attributes natural materials can't match.

You won't find a more realistic or better performing roofing product anywhere.

## *Visual* **VERSATILITY**

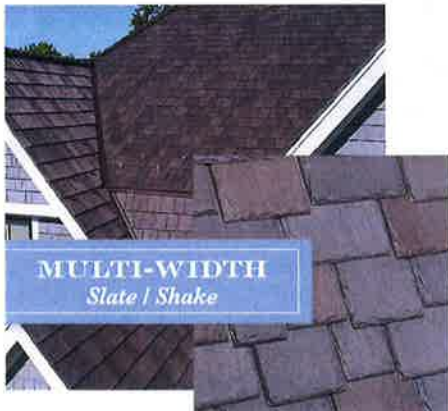
DaVinci offers the beauty of natural slate and cedar shake in three different tile options, giving you the ability to meet your aesthetic vision as well as respect your budget.



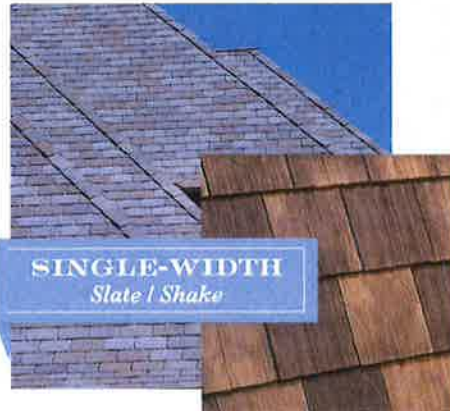
Created from real cedar profiles, Select Shake gives your home the beauty of authentic wood while remaining maintenance-free. The versatile design provides a worry-free, best-in-class roof that speeds up installation with a multi-width look.



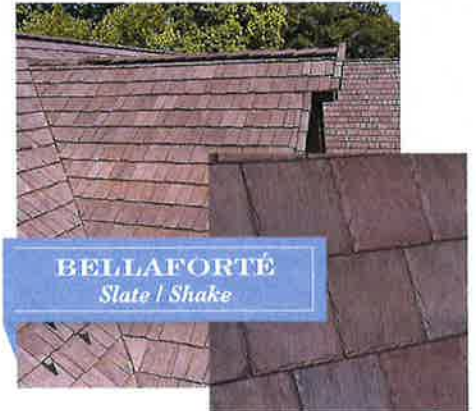
DaVinci Hand-Split Shake Siding gives you the look you love with superior durability for a lifetime. The tiles are resistant to mold, algae, fire, pests, impact, and salt air while providing the craftsmanship and authenticity of natural, hand-split siding.



Our most authentic-looking and versatile option. Laying tiles of multiple widths creates the most natural, non-repeating appearance possible.



Single-width tiles add a budget-friendly touch of tradition to your home in either a straight or staggered pattern. The uniform tile size speeds up installation.



Bellaforté's innovative design requires less overlap (reducing waste and cost), making for a stylish upgrade that won't bust the budget.



# A ROOF DOESN'T GET ANY BETTER THAN *DaVinci*

With the damaging effects of sun, hail, gale-force winds, and freeze and thaw cycles, roofing materials are at odds with the weather year-round. DaVinci's unique composite construction outperforms both natural slate and shake with a Class A Fire Rating, Class 4 Impact Rating and a 110 mph Wind Rating. But the real genius of a DaVinci roof lies in its ability to provide lasting beauty and a constant source of pride.

When it comes to roofing materials, you've got plenty of options...and none better than a DaVinci composite roof. DaVinci composite roofing tiles blend state-of-the-art materials with an artist's touch. And unlike natural materials, DaVinci Slate and Shake roofing systems come with Lifetime Warranty. You won't find a better looking or better performing roof at any price.

STRENGTH ●  
AVERAGE ●  
WEAKNESS ●

**Building Code & Testing Approvals:** ICC-ES ESR-2119; Miami Dade County, FL; CA Title 24; Texas Dept. of Insurance; LEED contribution: Class A Fire; Class 4 Impact; WVT and CCMC 14094-R

	DA VINCI	ASPHALT	NATURAL SLATE	NATURAL SHAKE	CONCRETE	METAL
WIND RESISTANT	●	●	●	●	●	●
FIRE RESISTANT	●	●	●	●	●	●
IMPACT RESISTANT	●	●	●	●	●	●
FREEZE/THAW RESISTANT	●	●	●	●	●	●
MAINTENANCE-FREE	●	●	●	●	●	●
COLOR FADE RESISTANT	●	●	●	●	●	●
LIGHTWEIGHT	●	●	●	●	●	●

## TECHNICAL SPECIFICATIONS

### *DaVinci Siding*

	WIDTHS	THICKNESS AT BUTT
HAND-SPLIT SHAKE SIDING	8", 10"	5/8"

### *DaVinci Slate*

	WIDTHS	THICKNESS AT BUTT
MULTI-WIDTH	12", 10", 9", 7", 6"	1/2"
SINGLE-WIDTH	12"	1/2"
BELLAFORTÉ	12"	1/2"

### *DaVinci Shake*

	WIDTHS	THICKNESS AT BUTT
MULTI-WIDTH	9", 8", 7", 6", 4"	5/8"
SINGLE-WIDTH	9"	5/8"
SELECT SHAKE	8", 10"	5/8"
BELLAFORTÉ	12"	1" average

### *Testing Summary*

See [DaVinciRoofscapes.com](http://DaVinciRoofscapes.com) for the most up to date testing and certifications.

	STANDARD	RESULTS
FIRE TEST	ASTM E 108	Class A
IMPACT TEST	UL 2218	Class 4
WIND TEST	ASTM D 3161	Certified to 110 mph
HIGH VELOCITY HURRICANE ZONE	TAS 125	Up to 180 mph

DAVINCIROOFSCAPES.COM

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Printing reproduction of colors may vary from actual product.

MLCONFLYER 03/2021



151347227

Dec 7 94 3 10 47 9

\$ 31.00 NISC RECORDS DIV - DRAIN COM

\$ 2.00 REMON DIV - DRAIN COMMISSION

COMBINED STORM/SANITARY SEWER

RETENTION TREATMENT BASIN AND

APPURTENANCES EASEMENT AGREEMENT

DEC 94 9:24 A.M.

RECEIPT# 568

RECORDED - OAKLAND COUNTY

D. ALLEN, CLERK/REGISTER OF DEEDS

THIS EASEMENT AGREEMENT (the "Agreement") is entered into this 14 day of November, 1994, by and between the City of Birmingham, a Municipal corporation ("Grantor"), whose address is 151 Martin Street, Birmingham, Michigan 48012 and the Birmingham CSO Drainage District, a Michigan statutory corporation, One Public Works Drive, Waterford, Michigan 48328 ("Grantee").

#### R E C I T A L S:

A. Grantor is the owner of certain real property located in the City of Birmingham, County of Oakland, State of Michigan, more particularly described as follows:

SEE LEGAL DESCRIPTION ATTACHED AS EXHIBIT A.

B. Grantee desires to obtain from Grantor a permanent easement for the operation, maintenance, repair and/or replacement of a retention treatment basin on (under) a portion of such property, which area is described as follows (and hereinafter referred to as the "Property"):

SEE LEGAL DESCRIPTION ATTACHED AS EXHIBIT A.

C. Grantee desires to obtain from Grantor a temporary easement for the construction of a retention treatment basin on (under) such property and an additional staging area which will be used for administration of construction operations and storage of equipment, including but not limited to pipe, materials, mobile offices and excess ground materials, which area is described as a reasonable and sufficient area on either side of the construction site as designated by the City Engineer (and hereinafter referred to as the "Staging Area").

NOW, THEREFORE, for and in consideration of the sum of One and 00/100 (\$1.00) Dollar, and the mutual covenants set forth hereinbelow, the parties agree as follows:

1. Grant of Easement. Grantor, for themselves, their successors, heirs and assigns, hereby grant to Grantee, its successors and assigns, a permanent easement for the construction, operation, maintenance, repair and/or replacement of a retention treatment basin (the "Retention

CALL WENDY GARDNER  
WHEN READY  
80958

OK - G.K.



Basin"), over, under and across the real property depicted on Exhibit A, attached hereto and made a part hereof. The parties acknowledge that the basin itself is to be constructed under such property with station(s) to be constructed above ground at the locations designated on Exhibit A. The easements granted to Grantee under this Paragraph 1 and Paragraph 2 below, are hereinafter collectively referred to as the "Easement".

2. Maintenance; Easement for Ingress and Egress.

Grantee shall be solely responsible for the construction, operation, maintenance, repair and/or replacement of the Retention Basin. In connection with the foregoing, Grantor grants to Grantee an easement for ingress and egress for the limited and sole purpose of maintenance, repair, and/or replacement of the underground retention facility and all associated structures.

3. Non-Disturbance. Except as specifically provided herein, Grantee's exercise of its rights and obligations under this Agreement shall not substantially interfere with Grantor's right of quiet enjoyment and use of said property.

Grantee shall, at its sole cost and expense, repair and restore the Property, or any part thereof, which may be altered or disturbed in the course of construction, installation, operation, maintenance, and/or replacement of the Retention Basin to substantially the same condition existing immediately prior to such alteration or disturbance. Grantee acknowledges that Grantor is using the property above such underground Retention Basin and shall return everything to the condition suitable for such use pursuant to a plan approved by the Grantor.

4. Rights of Grantor. Grantor reserves for themselves, their successors, heirs and assigns, the following rights with respect to the Easement:

a. The right to use the Property subject to the Easement in common with Grantee and to grant other non-exclusive easements and rights-of-way across, under and through the Easement, provided that such use or grant is not materially inconsistent with the rights granted to Grantee under this Agreement. Grantee's easement shall be superior to all other easements and rights-of-way granted by Grantor over the Property after the date of this Easement Agreement.

b. The right of ingress over, under and across the Easement, subject to the rights of Grantee under this Agreement.



c. The right to install landscaping, shrubbery, and trees on, over and across the Easement, provided that such installation does not materially interfere with the function and purpose of, or Grantee's ability to maintain, the Retention Basin.

5. Allocation of Responsibility. To the extent permitted by law, Grantee, for itself, its successors and assigns, agrees to be responsible for any claims, liabilities or damages occurring as a result of the actions or activities of Grantee pursuant to this easement, or the negligence of Grantee in exercising its rights hereunder, provided, however, that Grantee shall not be responsible for any claims, liabilities, or damages resulting from the actions or activities of Grantor, or third parties outside of the control of Grantee, or caused by the negligence of Grantor or third parties outside of the control of Grantee. To the extent Grantee makes any payment under this paragraph, such payment shall be charged to the constituent municipalities, including without limitation Grantor, pursuant to the standard project cost allocation formula.

6. Representations of Grantee. Grantee hereby represents and warrants to Grantor that Grantee has obtained all required governmental permits, approvals and authorizations necessary to exercise its rights and perform its obligations under this Agreement. Grantee further agrees that Grantee shall obtain all required governmental permits, authorizations and approvals which may be necessary from time to time for Grantee to perform its maintenance obligations with respect to the Retention Basin under this Agreement. Grantee further represents and warrants to Grantor that the execution, delivery and performance of this Agreement and the obligations undertaken by Grantee herein, have been duly authorized by all necessary action by and on behalf of Grantee and this Agreement has been executed by a duly authorized representative of Grantee and constitutes a valid and binding obligation of Grantee, enforceable in accordance with its terms.

7. Settlement of Disputes. Any disputes arising under this Agreement shall be settled either by commencement of a suit in Oakland County Circuit Court, or by arbitration if the parties mutually agree. If the parties agree to have the dispute resolved by compulsory arbitration, it shall be settled pursuant to Chapter 50 of the Revised Judicature Act for the State of Michigan, with each of the parties appointing one arbitrator and the two thus appointing a third.



8. Insurance Requirements. All Contractors hired by the Grantee shall procure and maintain the following insurance subject to the conditions set forth below.

- A. The Contractor shall procure and maintain during the life of this Agreement Worker's Compensation Insurance in accordance with the Worker's Compensation Act of the State of Michigan protecting all labor employed by the Contractor during the life of this Agreement, and shall provide evidence to the City that such insurance is in fact in force.
- B. Comprehensive General Liability insurance, occurrence basis only, with the following coverage inclusions: Broad Form General Liability endorsement or equivalent; Independent Contractor Coverage; Products and Complete Operations Coverage; and Contractual Liability.
- C. The City of Birmingham to be named as an additional insured with the following language: "As respects Comprehensive General Liability and Automobile Insurance, it is understood and agreed that the following shall be additional insureds: City of Birmingham, and including all elected and appointed officials, all employees and volunteers, all boards, commissions and/or authorities and their board members, employees and volunteers. This coverage shall be primary to the additional insureds, and not contributing with any other insurance or similar protections available to the additional insureds, whether said other available coverage be primary, contributing or excess."
- D. Thirty (30) days advance written notice of insurance cancellation, non-renewal, and/or material change in coverage, will be provided to the City of Birmingham.
- E. Vehicles; Liability Coverage and Michigan No-Fault coverages, including all owned, non-owned and hired vehicles.
- F. Limits of liability for Items B and E above shall be no less than Five Hundred Thousand Dollars (\$500,000.00) per occurrence, and/or aggregate combined single limit for Personal Injury, Bodily Injury and Property Damage.
- G. Upon failure of the Contractor to obtain or maintain such insurance coverage for the term of the contract, the City may prohibit the entry of



such contractor or contractors from the easement site and shall incur no liability to Grantee for such prohibition or for any damages, directly or incidentally flowing from such prohibition.

9. Security. Grantee agrees to arrange for and cooperate in the administration of such reasonable and economically feasible security measures as the Grantor may, in writing, direct Grantee to adopt.

10. Placement of Removed Soil. Displaced soil removed from the basin site may be relocated on the site pursuant to the direction and supervision of the Director of Public Services of the City of Birmingham or his designee, in accordance with a plan approved by the Director.

11. Expiration of Construction Easement. The temporary construction easement shall expire on the final acceptance and approval of project by the Office of the Drain Commissioner or three years from the date of this Easement Agreement, whichever occurs first.

12. Successors and Assigns. This Agreement shall be binding on, and inure to the benefit of, the parties hereto and their respective successors, heirs and assigns. The covenants contained herein, the Easement hereby granted and the restrictions hereby imposed shall be covenants and restrictions running with and binding upon the Property

13. Amendments. This Agreement shall not be modified or amended other than by written agreement of the parties hereto.

14. Severability. If any provision of this Agreement, or the application thereof to any person or circumstance, shall be held by a court of competent jurisdiction to be invalid, void or unenforceable, the remaining provisions of this Agreement, and the applicability of such provision to other persons or circumstances, shall nonetheless continue in full force and effect without being impaired or invalidated in any way.

15. Counterparts. This Agreement may be executed in multiple counterparts, each of which when so executed shall be deemed to be an original, and such counterparts, when taken together, shall constitute one and the same instrument.



**WITNESSES:**

CITY OF BIRMINGHAM, a Municipal  
corporation

By:

Dante J. Lanzetta, Jr. Mayor

By:

Judith A. Benn, Clerk

Birmingham CSO Drainage District

By:

By:

STATE OF MICHIGAN)

155:

COUNTY OF OAKLAND)

The foregoing instrument was acknowledged before me this 16th day of November, 1994, by Dante J. Lanzetta, Jr. and Judith A. Benn, Mayor and Clerk respectively on behalf of the City of Birmingham, a Municipal corporation.

Notary Public

Oakland County, MI

My Commission Expires on 8-22-75

STATE OF MICHIGAN)

153:

COUNTY OF OAKLAND)

The foregoing instrument was acknowledged before me this 21st  
day of July, 1994,



by George W. Kuhn,  
respectively on behalf of the Birmingham CSO Drainage District.

CORREY C. MERLBERG  
Notary Public  
Oakland County, MI  
My Commission Expires June 3, 1998

Correy C. Merlberg  
Notary Public  
Oakland County, MI  
My Commission Expires on 6-3-98

Drafted By:

Timothy J. Currier  
200 East Long Lake Road  
Suite 110  
Bloomfield Hills, MI 48304

62567

When Recorded Return To:

GEORGE W. KUHN  
OAKLAND COUNTY DRAIN COMMISSIONER  
1 Public Works Drive  
Waterford, Michigan 48328  
Right of Way Unit



## PARCEL NO. 6

The Southerly part of Lot 23, measuring 41.36 ft on the East lot line and 44.5 ft on the West lot line, all of Lots 24 thru 40, inclusive, Lots 109, 110 and 111, and the vacated part of Linden Rd. lying Southerly of the South line of Lot 23 extended to the East, all being of "Birmingham Park Allotment" a subdivision of parts of the East 1/2 of the Northeast 1/4 of Section 35 and the West 1/2 of the Northwest 1/4 of Section 36, T2N, R10E, City of Birmingham, Oakland County, Michigan, as recorded in Liber 23 of Plats, Page 25, Oakland County Records, also that part of Lot 12 lying Westerly of the Rouge River, that part of Lot 14 described as: Beginning at a point in the South line of said Lot 14 distant N 75°15'30"W, 323.66 ft and S 86°51'30"W, 157.00 ft from the Southeast corner of said Lot 14; thence S 86°51'30"W, 350.00 ft to the Southwest corner of said lot; thence N 13°40'E, 124.35 ft along the West line of said lot; thence N 87°35'E, 350.00 ft; thence S 14°16'W, 120.11 ft to the Point of Beginning; and all of Lots 7 and 23 all being part of "Assessor's Plat No. 12" of part of the Northeast 1/4 of Section 35 and part of the Northwest 1/4 of Section 36, T2N, R10E, City of Birmingham, Oakland County, Michigan, as recorded in Liber 51 of Plats, Page 14, Oakland County Records.

Sidwell No. 19-35-277-048 ✓

51014

A PERMANENT EASEMENT "A" DESCRIBED AS FOLLOWS:

Beginning at the Southwest corner of "Birmingham Park Allotment"; thence N 04°46'09"W, 469.03 ft along the West line of "Birmingham Park Allotment"; thence N 23°33'30"E, 252.45 ft; thence N 78°00'31"E, 43.36 ft to the West line of Linden Road (vacated); thence N 04°24'41"W, 128.19 ft along the West line of Linden Road (vacated) to the North line of the above described parcel being a part of the Linden Road (not vacated) and the access road to this site; thence N 85°35'19"E, 40.02 ft; thence S 04°24'41"E, 110.00 ft; thence S 29°21'41"E, 50.55 ft; thence S 54°07'17"E, 61.11 ft; thence S 68°40'53"E, 162.78 ft to the East line of "Birmingham Park Allotment"; thence N 13°51'00"E, 2.05 ft along the East line of "Birmingham Park Allotment"; thence N 87°28'10"E, 47.07 ft; thence S 21°26'27"W, 130.74 ft; thence S 87°47'13"W, 29.02 ft to the East line of "Birmingham Park Allotment"; thence S 13°51'00"W, 341.94 ft along the East line of "Birmingham Park Allotment"; thence S 76°57'34"W, 12.93 ft; thence N 68°36'16"W, 17.82 ft; thence S 39°51'31"W, 175.97 ft to the South line of "Birmingham Park Allotment"; thence S 86°10'00"W, 115.92 ft along the South line of "Birmingham Park Allotment" and to the Point of Beginning.



PARCEL NO. 6

A PERMANENT EASEMENT "B" DESCRIBED AS FOLLOWS:

Beginning at a point on the North line of the above described parcel (also being the South Right-of-Way line of Maple Avenue) distant S 89°47'30"W, 133.46 ft along said North line from the Northeast corner of Lot 7 of "A.P. #12"; thence continuing S 89°47'30"W, 60.95 ft; thence N 79°52'00"W, 0.57 ft; thence 41.62 ft along the arc of a 520.00 ft radius curve to the left, a central angle of 04°35'15" and a chord bearing S 44°24'20"W, 41.62 ft; thence N 10°50'23"E, 34.40 ft to the South Right-of-Way of Maple Avenue; thence N 79°52'00"W, 20.00 ft along the South Right-of-Way of Maple Avenue; thence S 10°50'23"W, 65.77 ft; thence N 30°51'25"W, 87.13 ft to the South Right-of-Way of Maple Avenue; thence N 79°52'00"W, 53.00 ft along the South Right-of-Way of Maple Avenue; thence S 30°51'25"E, 141.56 ft; thence 56.90 ft along the arc of a 520.00 ft radius curve to the left, a central angle of 06°16'10" and a chord bearing S 29°58'11"W, 56.87 ft; thence S 26°50'05"W, 395.69 ft; thence 212.67 ft along the arc of a 620.00 ft radius curve to the left, a central angle of 19°39'11" and a chord bearing S 17°00'30"W, 211.62 ft to the East Right-of-Way of Hawthorne Road; thence 209.24 ft along the East Right-of-Way of Hawthorne Road and arc of a 550.78 ft radius curve to the right, a central angle of 21°46'01" and a chord bearing S 11°07'01"W, 207.99 ft; thence continuing 53.60 ft along the arc of a 381.30 ft radius curve to the right, a central angle of 08°03'15" and a chord bearing S 26°01'39"W, 53.56 ft; thence 164.48 ft along the arc of an 824.26 ft radius curve to the right, a central angle of 11°26'00" and a chord bearing S 28°53'34"W, 164.21 ft; thence S 34°36'34"W, 40.45 ft; thence 181.68 ft along the arc of a 790.47 ft radius curve to the left, a central angle of 13°10'08" and a chord bearing S 28°01'30"W, 181.28 ft; thence S 21°26'27"W, 157.37 ft to the North line of Lot 13, "Assessor's Plat No. 12"; thence N 89°41'23"E, 43.07 ft along the North line of Lot 13; thence N 21°26'27"E, 141.41 ft; thence 172.49 ft along the arc of a 750.47 ft radius curve to the right, a central angle of 13°10'08" and a chord bearing N 28°01'30"E, 172.11 ft; thence N 34°36'34"E, 40.45 ft; thence 432.31 ft along the arc of an 864.26 ft radius curve to the left, a central angle of 28°39'37" and a chord bearing N 20°16'46"E, 427.82 ft; thence 211.42 ft along the arc of a 580.00 ft radius curve to the right, a central angle of 20°53'08" and a chord bearing N 16°23'32"E, 210.25 ft; thence N 26°50'05"E, 395.69 ft; thence 211.33 ft along the arc of a 480.00 ft radius curve to the right, a central angle of 25°13'33" and a chord bearing N 39°26'52"E, 209.63 ft to the Point of Beginning.



15134-236

PARCEL NO. 6

A PERMANENT EASEMENT "C" DESCRIBED AS FOLLOWS:

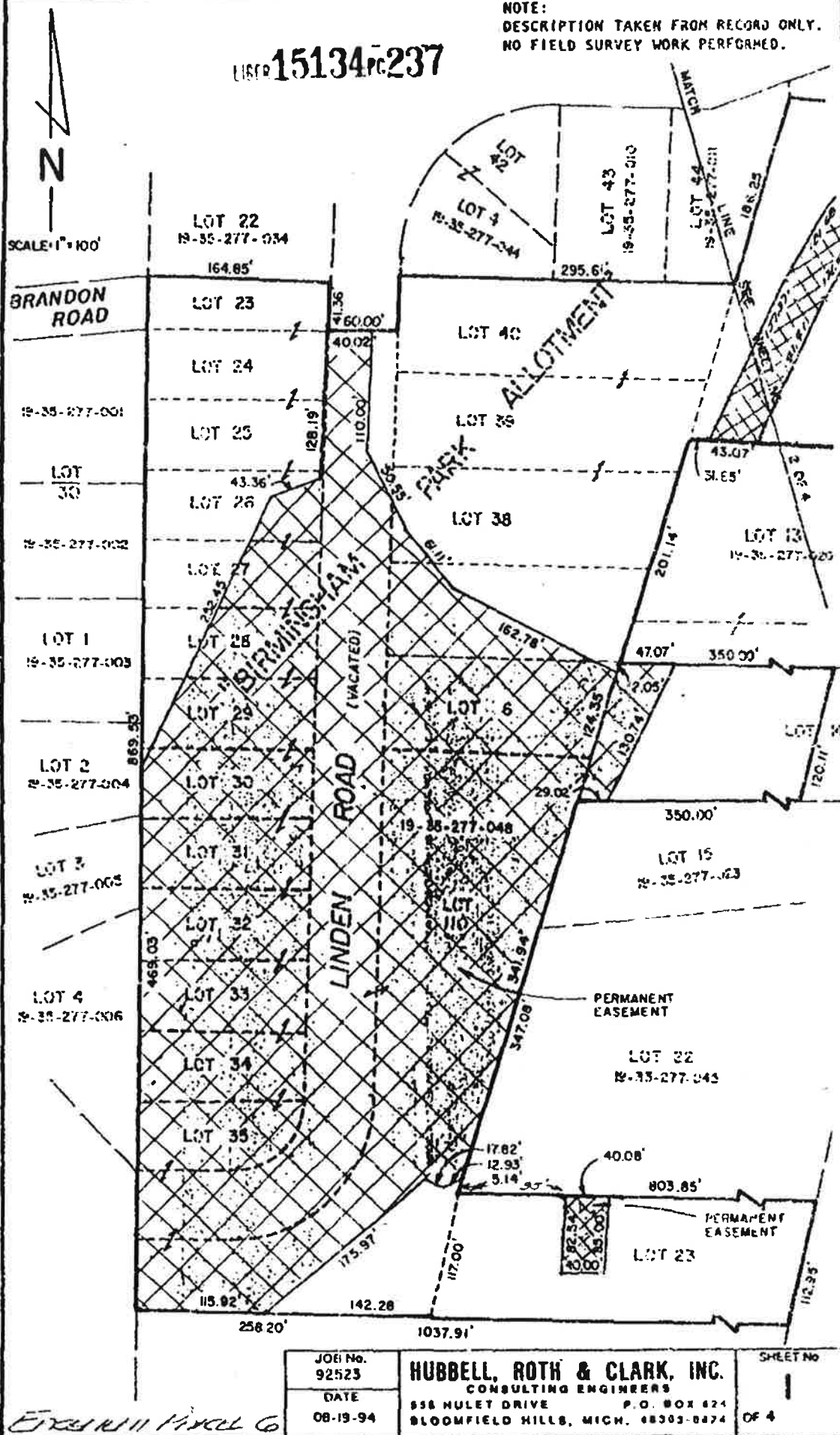
Beginning at a point on that North line of the above described parcel common to the North line of Lot 23 of "A.P. #12" distant N 87°12'20"E, 95.0 ft from the Northwest corner of said Lot 23; thence continuing N 87°12'20"E, 40.08 ft along the North line of Lot 23; thence S 00°43'30"W, 85.00 ft; thence N 89°16'30"W, 40.00 ft; thence N 00°43'30"E, 82.54 ft to the North line of Lot 23 and to the Point of Beginning.



## SKEICH OF EASEMENTS

NOTE:  
DESCRIPTION TAKEN FROM RECORD ONLY.  
NO FIELD SURVEY WORK PERFORMED.

15134-237



08-19-94

JOE No.  
92523

DATE \_\_\_\_\_

08-19-94

**HUBBELL, ROTH & CLARK, INC.**  
CONSULTING ENGINEERS  
556 MULEY DRIVE P.O. BOX 624  
BLOOMFIELD HILLS, MICH. 48303-0274

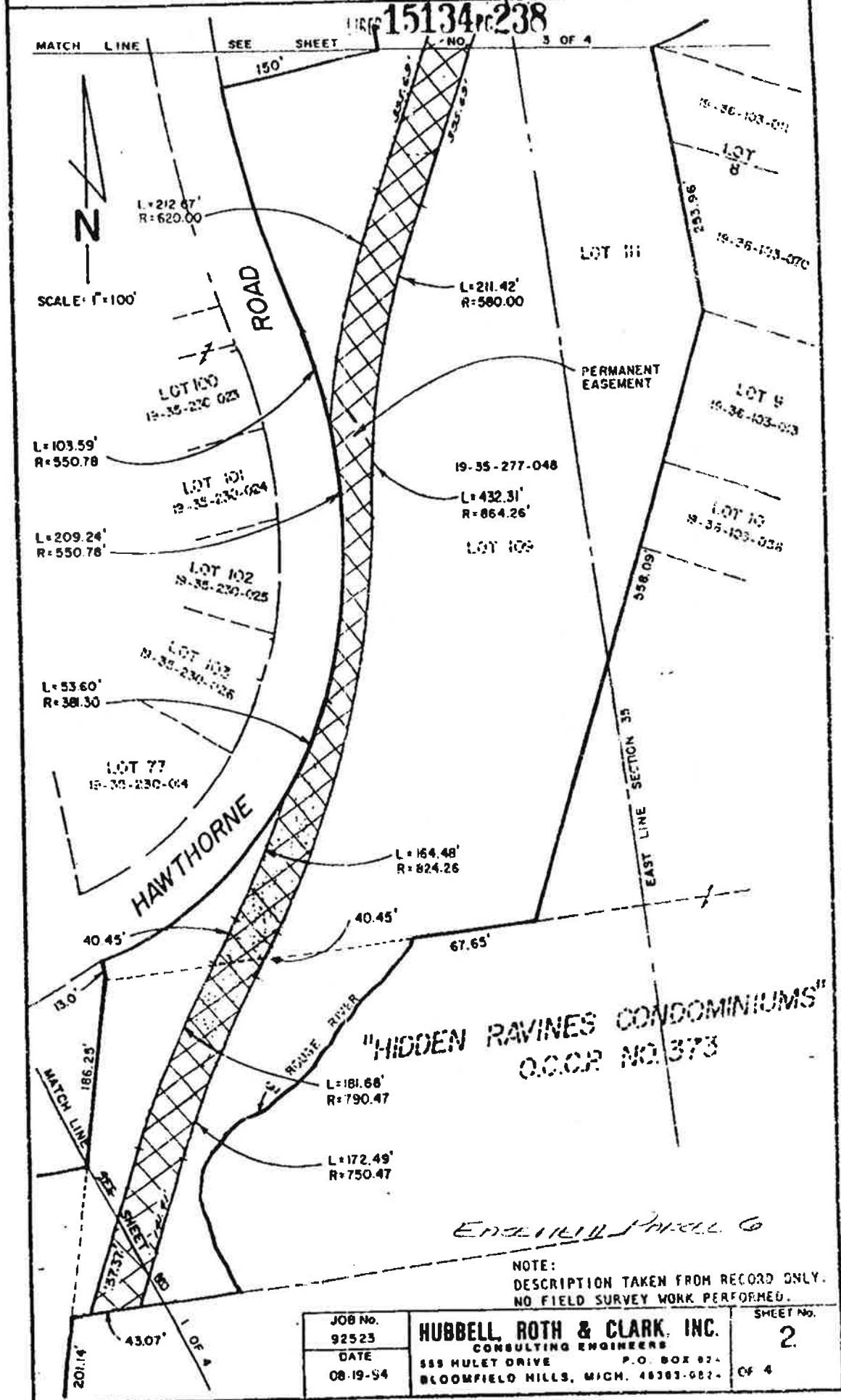
SHEET NO

10

1 of 4



15134rc238





NOTE:  
DESCRIPTION TAKEN FROM RECORD ONLY.  
NO FIELD SURVEY WORK PERFORMED.



SCALE, 1" = 100'

MAPLE

AVENUE

**BALDWIN**

VALLEY <sup>324.75</sup> VIEW LN.

12-18-173 - 0022  
LOT 5

"BIRMINGHAM PARK  
ALLOTMENT"  
LIBR 23 PAGE 25

EAST LINE OF SECTION 35

三三三

12/18/56

62-103-013

**JOB No.**  
**92523**

**DATE**  
**08-19-94**

**HUBBELL, ROTH & CLARK, INC.**  
CONSULTING ENGINEERS  
555 HULET DRIVE P.O. BOX 824  
BLOOMFIELD HILLS, MICH. 48303-0824

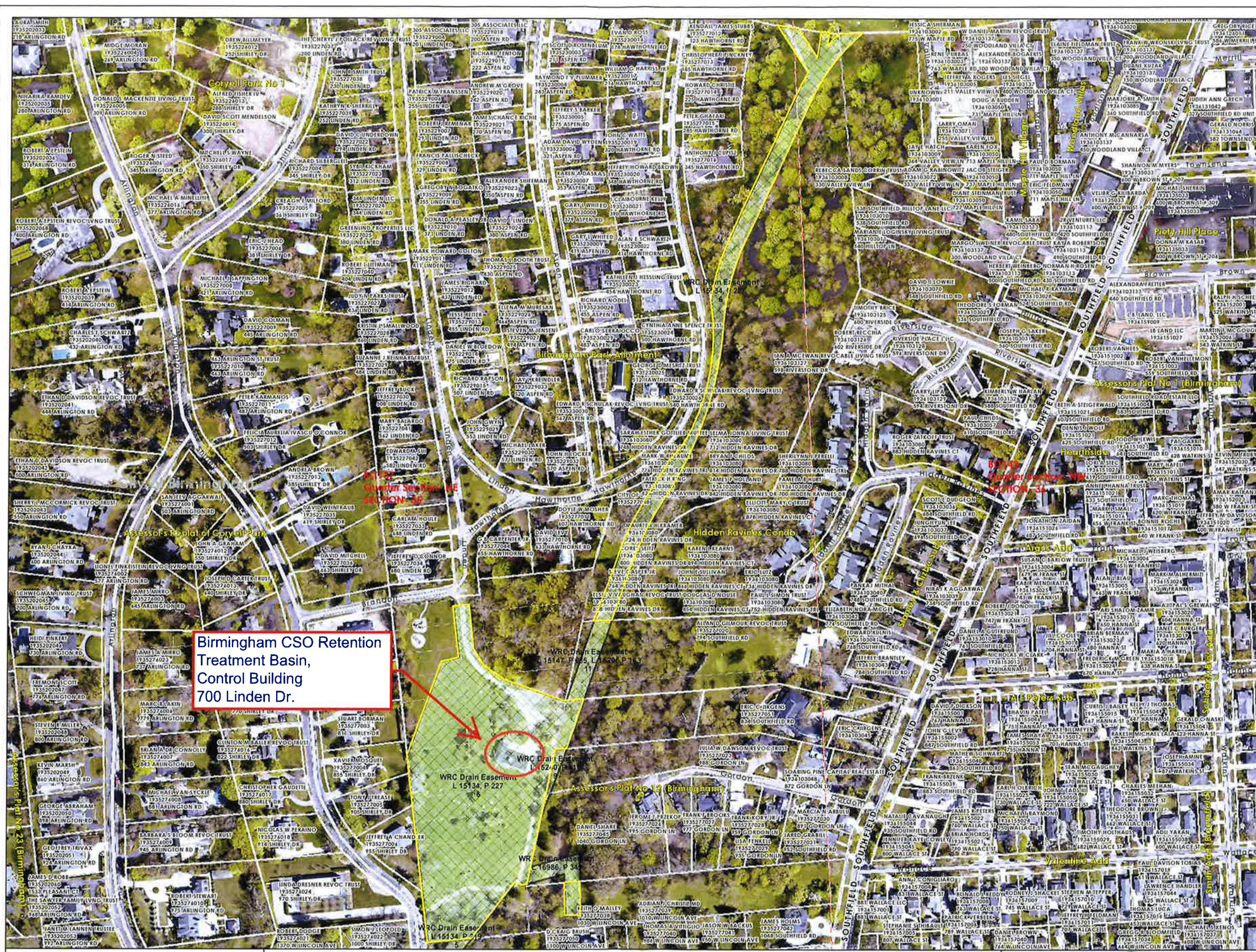
SHEET No. 3

ENTERED APRIL 6









**DISCLAIMER:**  
The information displayed in this map is compiled from recorded deeds, plats, tax maps, surveys and other public records. Although this information is intended to accurately reflect public information, it is not a legally recorded map or survey and is not intended to be used as one. Users should consult primary/official information sources where appropriate.

**Birmingham CSO 19-35-277-048**  
**CITY OF BIRMINGHAM**  
Oakland County, Michigan

One Public Works Drive  
Building 95 West  
Waterford, Michigan  
48328-1907

**WRC**  
WATER RESOURCES COMMISSIONER  
Jim Nash

**APPROVED**  
11/1/21  
PAT-01-003

Map Printed: 10/29/2021



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## Administrative Approval Application Planning Division

*Form will not be processed until it is completely filled out.*

### 1. Applicant

Name: Silvio Corzetto  
 Address: 750 South Old Woodward Ave  
Birmingham MI 48009  
 Phone Number: 248-792-6570  
 Fax Number: 248-792-6574  
 Email Address: corzetto@infinitymgtsys.com

### 2. Property Owner

Name: Silvio Corzetto  
 Address: 750 South Old Woodward  
Ave Birmingham MI 48009  
 Phone Number: 248-792-6570  
 Fax Number: 248-792-6574  
 Email Address: corzetto@infinitymgtsys.com

### 3. Applicant's Attorney/Contact Person

Name: Silvio Corzetto  
 Address: 750 S. Old Woodward Ave  
 Phone Number: 248-722-7605  
 Fax Number: 248-792-6574  
 Email Address: corzetto@infinitymgtsys.com

### 4. Project Designer/Developer

Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone Number: \_\_\_\_\_  
 Fax Number: \_\_\_\_\_  
 Email Address: \_\_\_\_\_

### 5. Project Information

Address/Location of Property: 750 S. Old Woodward Ave  
 Name of Development: BE Well Lifestyle Center  
 Parcel ID#: \_\_\_\_\_  
 Current Use: wellness  
 Area in Acres: \_\_\_\_\_  
 Current Zoning: \_\_\_\_\_

Name of Historic District if any: \_\_\_\_\_  
 Date of HDC Approval, if any: \_\_\_\_\_  
 Date of Application for Preliminary Site Plan: \_\_\_\_\_  
 Date of Preliminary Site Plan Approval: \_\_\_\_\_  
 Date of Application for Final Site Plan: \_\_\_\_\_  
 Date of Final Site Plan Approval: \_\_\_\_\_  
 Date of Revised Final Site Plan Approval: \_\_\_\_\_

### 6. Required Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- One (1) digital copy of plans
- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations
- Photographs of existing conditions on the site where changes are proposed

### 7. Details of the Request for Administrative Approval

Paint Building Iron Ore (Dark Gray) SW 7-65

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan.

Signature of Applicant: \_\_\_\_\_ Date: 10/04/2021

#### Office Use Only

Application #: PAA21-0108 Date Received: 10/11/21 Fee: 150.00  
 Date of Approval: 10/12/21 Date of Denial: N/A Reviewed By: \_\_\_\_\_





### CONSENT OF PROPERTY OWNER

I, Silvio Corzetta, OF THE STATE OF Michigan AND  
(Name of Property Owner)

COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 750 South Old Woodward Ave;  
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of

Birmingham by: Silvio Corzetta;  
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

**By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.**

Name of Owner (Printed): Silvio Corzetta

Signature of Owner: [Signature] Date: 10/06/2021



Iron Ore SW 7069





APPROVED

(9/13/21)

PAA21-0110

## Administrative Approval Application Planning Division

Form will not be processed until it is completely filled out.

### 1. Applicant

Name: FLS Properties #5, LLC  
Address: 2950 Walnut Lake Road  
W. Bloomfield, MI 48323  
Phone Number: 248-680-1401  
Email: fsimon@simonattys.com

### 2. Property Owner

Name: Frank Simon/FLS Properties #5, LLC  
Address: 2950 Walnut Lake Road  
W. Bloomfield, MI 48323  
Phone Number: 248-790-9500  
Email: fsimon@simonattys.com

### 3. Project Contact Person

Name: John Marusich  
Address: 36880 Woodward, #100  
Bloomfield Hills, MI 48304  
Phone Number: 313-482-0645  
Email: johnm.marusicharchitecture@gmail.com

### 4. Project Designer/Developer

Name: Marusich Architecture  
Address: 36880 Woodward #100  
Bloomfield Hills, MI 48304  
Phone Number: 313-482-0645  
Email: johnm.marusicharchitecture@gmail.com

### 5. Required Attachments

- Two (2) folded copies of project plans including an itemized list of all changes for which Administrative Approval is requested, with the changes marked in color on all elevations
- One (1) digital copy of project plans
- Warranty Deed with legal description of property

- Photographs of existing conditions on the site where changes are proposed
- Material samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- Completed Administrative Approval checklist

### 6. Project Information

Address/Location of Property: 856 N. Old  
Woodward, Birmingham  
Name of Development: The Pearl  
Parcel ID#: 1925328001  
Current Use: Apartments  
Proposed Use: A  
Area of Site in Acres: 2/0-2  
Current Zoning: \_\_\_\_\_

	Yes	No
Is the property located in a floodplain? -----	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Is the property within a Historic District? ---	<input type="checkbox"/>	<input checked="" type="checkbox"/>
→ If so, which? _____		
Will the project require a variance? -----	<input type="checkbox"/>	<input checked="" type="checkbox"/>
→ If so, how many? _____		
Has the project been reviewed by a Board? <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
→ If so, which? _____		

### 7. Details of the Request for Administrative Approval

Maintain the existing constructed canopy of 4'0" from the face of this building per Building Dept. requirement.

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan. By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Applicant: \_\_\_\_\_

Date: 9/23/21

Office Use Only			
Application #:	<u>PAA21-0110</u>	Date Received:	<u>10/11/21</u>
Date of Approval:	<u>10/12/21</u>	Date of Denial:	<u>N/A</u>
Fee: \$ <u>0</u>		Reviewed By: _____	



APPROVED  
10/8/21  
F.A.A. 010

**M**  
**MARUSICH**  
**ARCHITECTURE**

36880 WOODWARD AVENUE  
BLOOMFIELD HILLS, MI 48304  
SUITE 100

PHONE: (248) 839-5807  
PHONE: (313) 482-0645

johnm@marusicharchitecture.com

**COPY RIGHT**

THE IDEAS AND DESIGN CONCEPT EXPRESSED HEREIN AND THE GRAPHICALLY DISPLAYED ARRANGEMENT OF THIS DRAWING HAVE BEEN DEVELOPED FOR THE EXCLUSIVE USE OF THIS SPECIFIED PROJECT AND LOCATION. THE DRAWINGS ARE THE SOLE INTELLECTUAL PROPERTY OF THE ARCHITECT. ANY REPRODUCTION OR DISCLOSURE OF THE IDEAS OR DESIGN CONCEPTS OR THE USE OF THESE GRAPHICALLY DISPLAYED ARRANGEMENTS OR THEIR COMPONENTS SHALL BE AT THE DISCRETION OF AND ONLY THROUGH THE EXPRESSED WRITTEN CONSENT OF MARUSICH ARCHITECTURE LLC.

IN THE ABSENCE OF A WRITTEN AIA CONTRACT ACCEPTANCE AND/OR USE OF THESE DOCUMENTS BY THE OWNER/CLIENT OR HIS AGENTS SHALL CONSTITUTE TO BE BINDING CONTRACT BETWEEN THE OWNER/CLIENT AND THE ARCHITECT IN ACCORDANCE TO ALL CONDITIONS CONTAINED WITHIN AIA B191 AND B191 CONTRACTS. ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED BY OR REPRESENTED BY THE DRAWINGS AND WRITTEN MATTER, APPEARING HEREIN CONSTITUTES THE ORIGINAL AND UNPUBLISHED WORK OF MARUSICH ARCHITECTURE LLC, AND THE SAME MAY NOT BE REPRODUCED, COPIED, TRANSFERRED, OR DISCLOSED TO ANY PERSON, FIRM, CORPORATION, OR AGENCY WITHOUT A WRITTEN CONTRACT OR WRITTEN CONSENT OF THE ARCHITECT AND MARUSICH ARCHITECTURE.

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**OWNER**

**FLS PROPERTIES #5 LLC**

2950 WALNUT LAKE ROAD  
WEST BLOOMFIELD, 48323

**PROJECT NAME**

**THE PEARL  
CANOPY DESIGN**

656 OLD NORTH WOODWARD  
BIRMINGHAM, AL, 35209

PROJECT # 18 - 11

ISSUE DATE # 11/22/2017

**REVISION HISTORY**

OWNER REVIEW	
REVISION	04/13/2020
REVISION	05/15/2020
REVISION	05/21/2020
REVISION 11	07/31/2020

DRAWN BY: NM

CHECKED BY: JM

SHEET CONTENTS

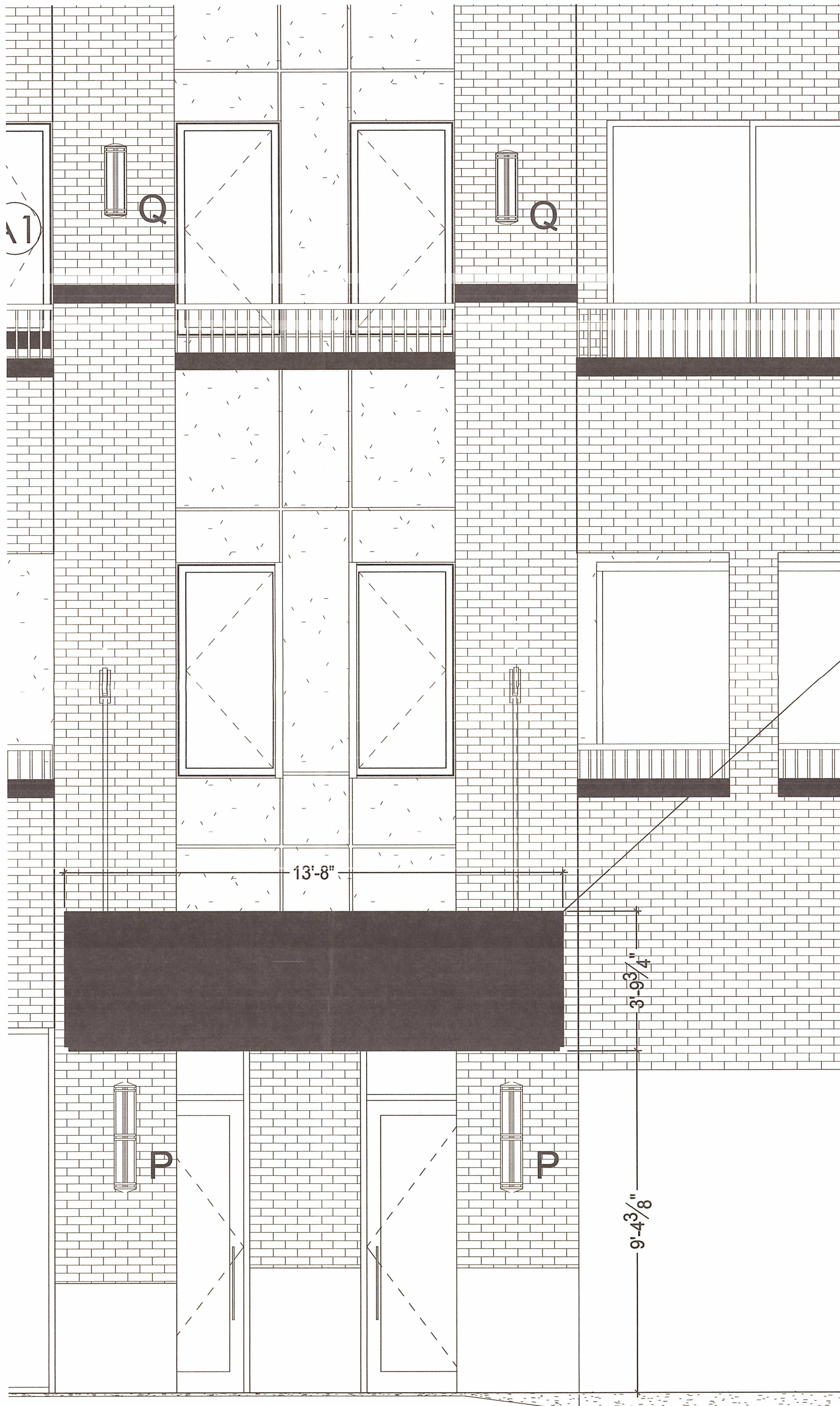
SEAL



07/31/2020

**X-1**

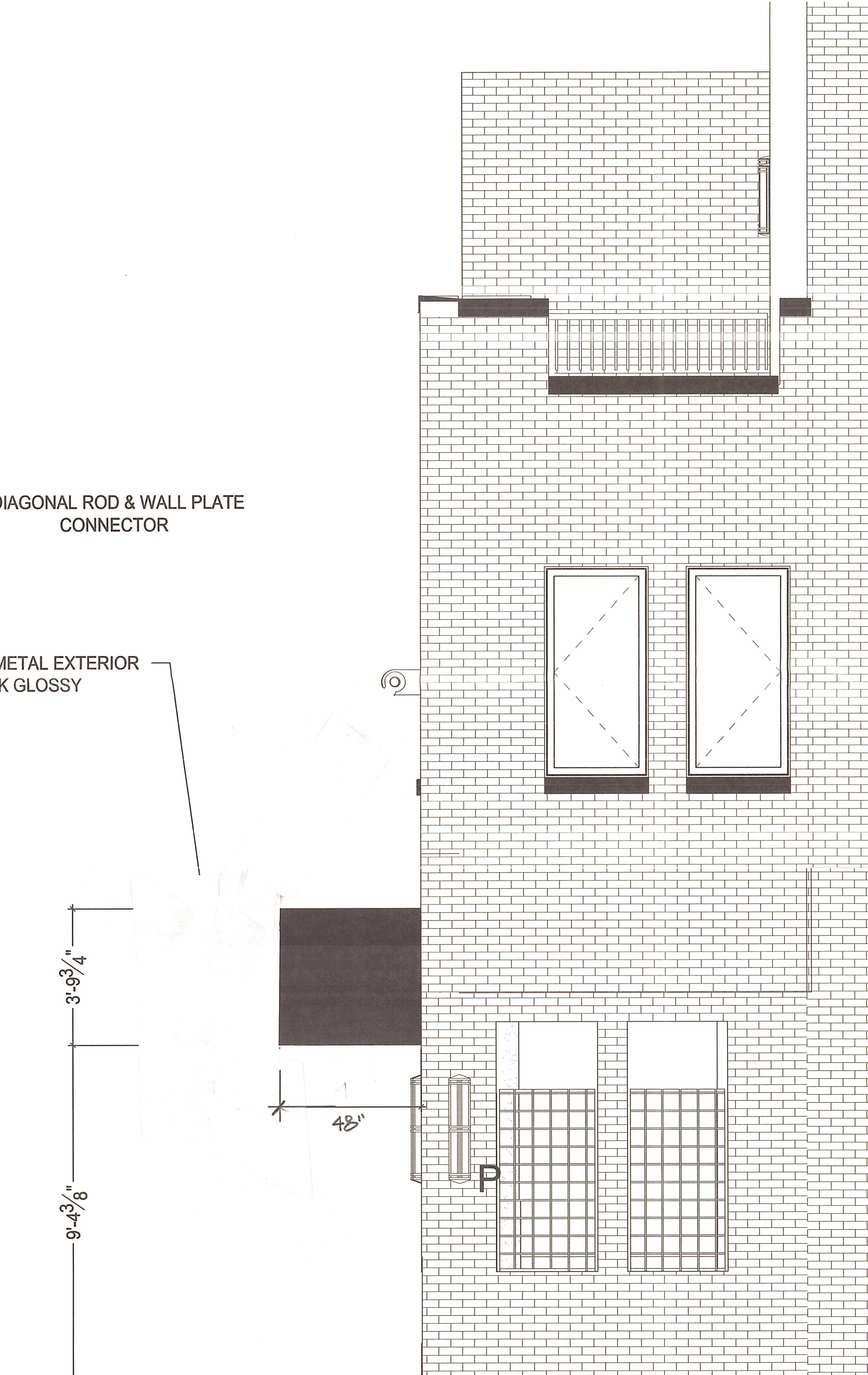
OWNER / OWNER'S AGENT APPROVED & ACCEPTED  
DATE: / / 2018



**FRONT ELEVATION**  
SCALE: 1/2" = 1'-0"

DIAGONAL ROD & WALL PLATE  
CONNECTOR

SEAMLESS METAL EXTERIOR  
BLACK GLOSSY



**SIDE ELEVATION**  
SCALE: 1/2" = 1'-0"

RECEIVED  
OCT 08 2021  
CITY OF BIRMINGHAM  
PLANNING DEPARTMENT





**APPROVED**  
8/31/21  
PAA21-0096

## Administrative Approval Application Planning Division

*Form will not be processed until it is completely filled out.*

### 1. Applicant

Name: Gerard Szczepaniak  
Address: 37257 St. Martins, Livonia, MI 48152  
Phone Number: 734-748-7086  
Email: anngerrys@gmail.com

### 2. Property Owner

Name: Gerard Szczepaniak  
Address: Same as listed  
Phone Number: Same as listed  
Email: anngerrys@gmail.com

### 3. Project Contact Person

Name: Gerard Szczepaniak  
Address: Same as above  
Phone Number: 734-748-7086  
Email: anngerrys@mail.com

### 4. Project Designer/Developer

Name: The Landscape Group/ Tom Ellison  
Address: 2739 E. Maple Rd., Milford, MI 48381  
Phone Number: 248-685-9211  
Email: www.landscapegroup.net

### 5. Required Attachments

- Two (2) folded copies of project plans including an itemized list of all changes for which Administrative Approval is requested, with the changes marked in color on all elevations
- One (1) digital copy of project plans
- Warranty Deed with legal description of property
- Photographs of existing conditions on the site where changes are proposed
- Material samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- Completed Administrative Approval checklist

### 6. Project Information

Address/Location of Property: 988 S. Adams Rd. Birmingham, MI 48009  
Name of Development: \_\_\_\_\_  
Parcel ID #: 08-19-36-285-008  
Current Use: Office building  
Proposed Use: Office Building  
Area of Site in Acres: .264 acres  
Current Zoning: B1

	Yes	No
Is the property located in a floodplain? -----	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the property within a Historic District? ---	<input type="checkbox"/>	<input checked="" type="checkbox"/>
→ If so, which? _____		
Will the project require a variance? -----	<input type="checkbox"/>	<input checked="" type="checkbox"/>
→ If so, how many? _____		
Has the project been reviewed by a Board? ---	<input type="checkbox"/>	<input checked="" type="checkbox"/>
→ If so, which? _____		

### 7. Details of the Request for Administrative Approval

Seeking approval to replace the dying shrubs and deteriorating stack flagstone in front of the bldg. with new shrubs and concrete block wall  
The concrete block wall to be constructed to the same height and dimensions of the existing wall. (See list of materials to be used.)

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan. By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Applicant: Gerard Szczepaniak Date: 08/27/2021

Office Use Only

Application #: PAA21-0096 Date Received: 8/30/21 Fee: \$ 100.00  
Date of Approval: \_\_\_\_\_ Date of Denial: \_\_\_\_\_ Reviewed By: \_\_\_\_\_





### CONSENT OF PROPERTY OWNER

I, Gerard Szczepaniak, OF THE STATE OF Michigan AND  
(Name of Property Owner)

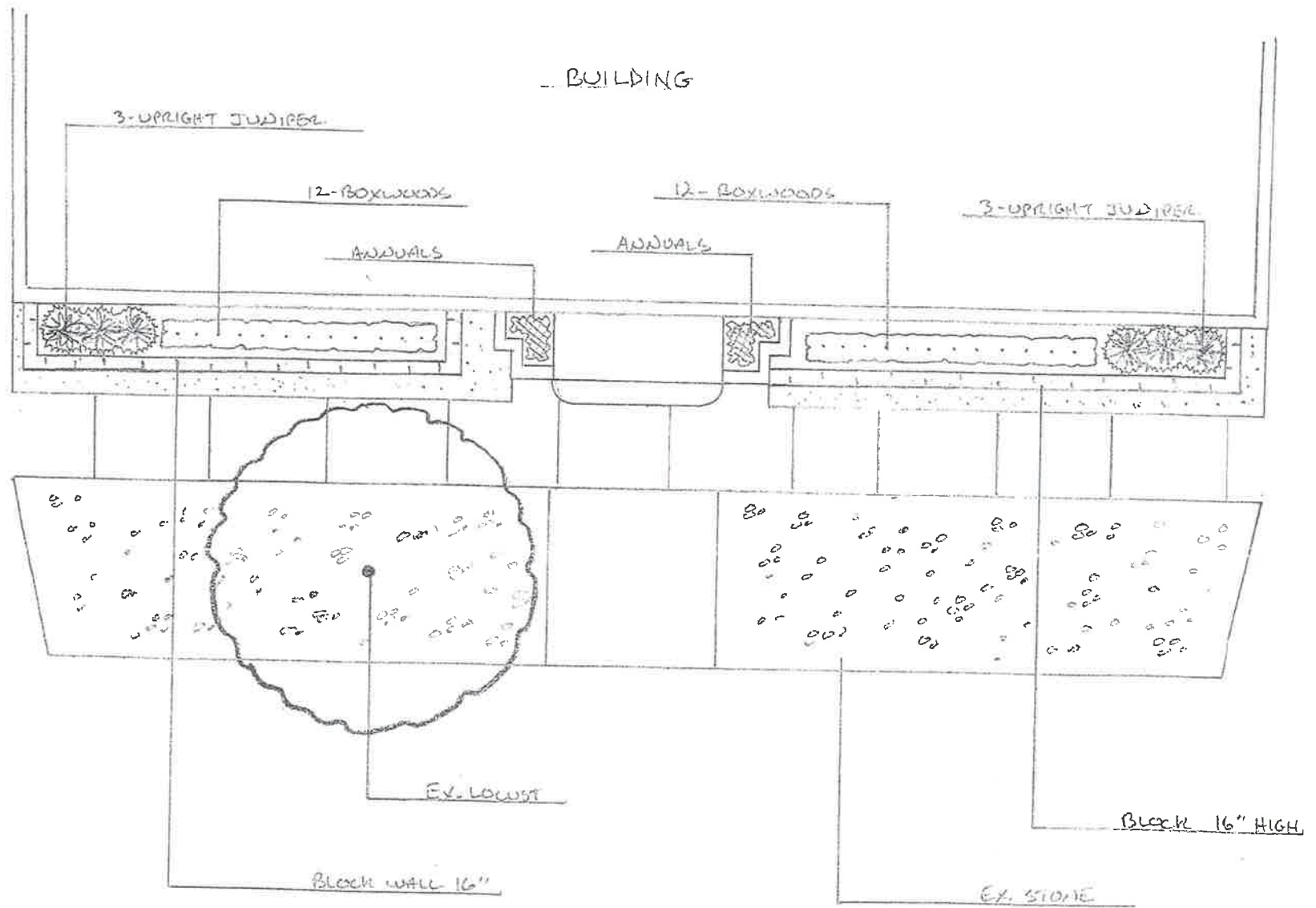
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 988 S. Adams Rd, Birmingham, MI 48009;  
(Address of Affected Property)
2. That I have read and examined the Application for Administrative Approval made to the City of  
Birmingham by: Gerard Szczepaniak;  
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the  
City of Birmingham.

Name of Owner (Printed): Gerard Szczepaniak

Signature of Owner: Gerard Szczepaniak Date: 08/27/2021





Landscape Drawing from The Landscape Group

**APPROVED**  
 8/31/01  
 PAA21-0096





Replaced dying shrubs

Replaced deteriorating flagstone wall





# The Landscape Group

MAKING LANDSCAPES COME ALIVE FOR OVER 25 YEARS

Date of proposal : 3/20/2021  
Area : BUILDING FRONT

Client : *Szczepaniak*  
~~SUPANIACK~~  
Client Address : 988 S ADAMS  
BIRMINGHAM, MI. 48009  
Phone : 734-748-7056  
Fax :

Site Name : ~~SUPANIACK~~ *Szczepaniak*  
Site Address : 988 S ADAMS  
BIRMINGHAM, MI. 48009

We propose to supply and install the following items :

<u>Qty</u>	<u>Item</u>	<u>Type</u>	<u>Size</u>
24	BOXWOOD - GREEN VELVET		18-24"
6	JUNIPER - UPRIGHT		4-5'
100	MODAN BLOCK		FF
6	GRAVEL 9A or 3/8x5/8		CY
130	WEED MAT		SF
36	WALL CUTS		LF
12	SITE PREP - MAN HOUR		HR
8	DISPOSAL OF DEBRIS		CY
5	TOPSOIL FOR PLANTINGS		CY
4	BROWN ENVIRO MULCH		CY

TOTAL THIS SHEET : \$ 13,246.00

Notes : \* A 3% credit card convenience charge will be applied for the use of Visa / MasterCard or Discover.

Approval for this sheet

SUPANIACK

Date

*Szczepaniak*

*Thy Ell*  
The Landscape Group

Date

*3-20-21*

2739 East Maple Road  
Milford, Michigan 48381

[www.landscapegroup.net](http://www.landscapegroup.net)

248.685.9211  
fax 248.684.1824





# Modan

With a striking smooth surface, faintly beveled edges and a palette of subtly-blended colors, the sleek Modan wall system is the perfect choice for contemporary outdoor designs. The four linear-proportioned wall blocks are packaged together as a combo bundle, while the Linear Unit is also packaged separately making it ideal to use as accent banding for pillars, or as an independent system.



Walls & Firepit: Modan, Twilight  
Paver: Molina, Moraine



# Modan

Nueva® Collection

Concrete Block for Wall

## SIZES



**660 Unit**  
Width 660mm (25.98")  
Height 110mm (4.33")  
Depth 220mm (8.66")  
Chamfered edge  
on front face  
Pieces/layer: 4  
Coverage/layer: 33%



**550 Unit**  
Width 550mm (21.65")  
Height 110mm (4.33")  
Depth 220mm (8.66")  
Chamfered edge  
on front face  
Pieces/layer: 4  
Coverage/layer: 28%



**440 Unit**  
Width 440mm (17.32")  
Height 110mm (4.33")  
Depth 220mm (8.66")  
Chamfered edge  
on front face  
Pieces/layer: 4  
Coverage/layer: 22%



**330 Unit**  
Width 330mm (12.99")  
Height 110mm (4.33")  
Depth 220mm (8.66")  
Chamfered edge  
on front face  
Pieces/layer: 4  
Coverage/layer: 17%

Combo Bundle



**Linear Unit**  
Width 440mm (17.32")  
Height 110mm (4.33")  
Depth 220mm (8.66")  
Chamfered edge  
on front face  
**Individually Packaged**

\*Concrete adhesive is required  
between rows for optimum stability.



## design idea!

The smooth, linear look of Modan wall  
compliments our Nueva® Slabs and  
Pavers perfectly!

## COLORS



CHAMPAGNE



CLOUDBURST



MARBLE GREY



TWILIGHT

\* ↑ Color used for block wall

## SPECIFICATIONS

### Bundle Specifications

### Per Section Specifications

MODAN	Layers	Sq. Ft.	Lin. Ft.	Pieces	Weight	Sections	Sq. Ft.	Lin. Ft.	Pieces	Weight	Weight/Piece
330 Unit	3	28.1	78	12	2884	Layer	9.4	26	4	961	40
440 Unit				12					4		53
550 Unit				12					4		67
660 Unit				12					4		80
Linear Unit	3	25 (wall) 37.5 (column)	69.3	48	2544	Layer	8.3 (wall) 12.5 (column)	23	16	848	53

All Oaks landscape products fully meet or exceed the latest version of CSA A231, ASTM C936, ASTM C1372 or ASTM C1782 as applicable to the specific product and area of sale.

BramptonBrick.com

CA - 1.800.709.OAKS (6257)

US - 1.800.876.OAKS (6257)

landscape ontario.com



Product representations shown in this publication are intended to convey the general color, texture and appearance of the product. Variations may occur in the manufacturing and printing process. Always select from an actual product sample.





**APPROVED**  
10/1/21  
PAAD1-0105

## Administrative Approval Application Planning Division

*Form will not be processed until it is completely filled out.*

### 1. Applicant

Name: Gerard Szczepaniak  
Address: 37257 Saint Martins, Livonia, MI 48152  
  
Phone Number: 734-748-7086  
Email: anngerrys@gmail.com

### 2. Property Owner

Name: Gerard Szczepaniak  
Address: Same as listed  
  
Phone Number: Same as listed  
Email: anngerrys@gmail.com

### 3. Project Contact Person

Name: Gerard Szczepaniak  
Address: Same as above  
  
Phone Number: 734-748-7086  
Email: anngerrys@gmail.com

### 4. Project Designer/Developer

Name: Ramco Architectural Metals Co.  
Address: 9751 Erwin St., Detroit, MI 48213  
  
Phone Number: 313-924-9750  
Email: www.ramcometals.com

### 5. Required Attachments

- Two (2) folded copies of project plans including an itemized list of all changes for which Administrative Approval is requested, with the changes marked in color on all elevations
- One (1) digital copy of project plans
- Warranty Deed with legal description of property

- Photographs of existing conditions on the site where changes are proposed
- Material samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- Completed Administrative Approval checklist

### 6. Project Information

Address/Location of Property: \_\_\_\_\_  
988 S. Adams Rd., Birmingham, MI 48009  
Name of Development: \_\_\_\_\_  
Parcel ID#: 08-19-36-285-008  
Current Use: Office building  
Proposed Use: Office building  
Area of Site in Acres: .264 acres  
Current Zoning: B1

	Yes	No
Is the property located in a floodplain? -----	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the property within a Historic District? --- → If so, which? _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Will the project require a variance? ----- → If so, how many? _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Has the project been reviewed by a Board? → If so, which? _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>

### 7. Details of the Request for Administrative Approval

Seeking approval to replace existing wood front entrance door and sidelight with anodized aluminum energy efficient door and sidelight in dark bronze finish with tempered glass inserts to match existing window glass on building.

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan. By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Applicant: Gerard Szczepaniak Date: 09/28/2021

Office Use Only			
Application #: <u>PAAD1-0105</u>	Date Received: <u>10/28/21</u>	Fee: \$ <u>100.00</u>	Reviewed By: <u>[Signature]</u>
Date of Approval: <u>10/1/21</u>	Date of Denial: <u>N/A</u>		





### CONSENT OF PROPERTY OWNER

I, Gerard Szczepaniak, OF THE STATE OF Michigan AND  
(Name of Property Owner)

COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 988 S. Adams Rd., Birmingham, MI 48009;  
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of  
Birmingham by: Gerard Szczepaniak;  
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the  
City of Birmingham.

Name of Owner (Printed): Gerard Szczepaniak

Signature of Owner: Gerard Szczepaniak Date: 09/28/2021





## 988 Adams Building

Office | 2 Spaces Available | 598 Sq. Ft. - 793 Sq. Ft.  
Birmingham, MI



Street View



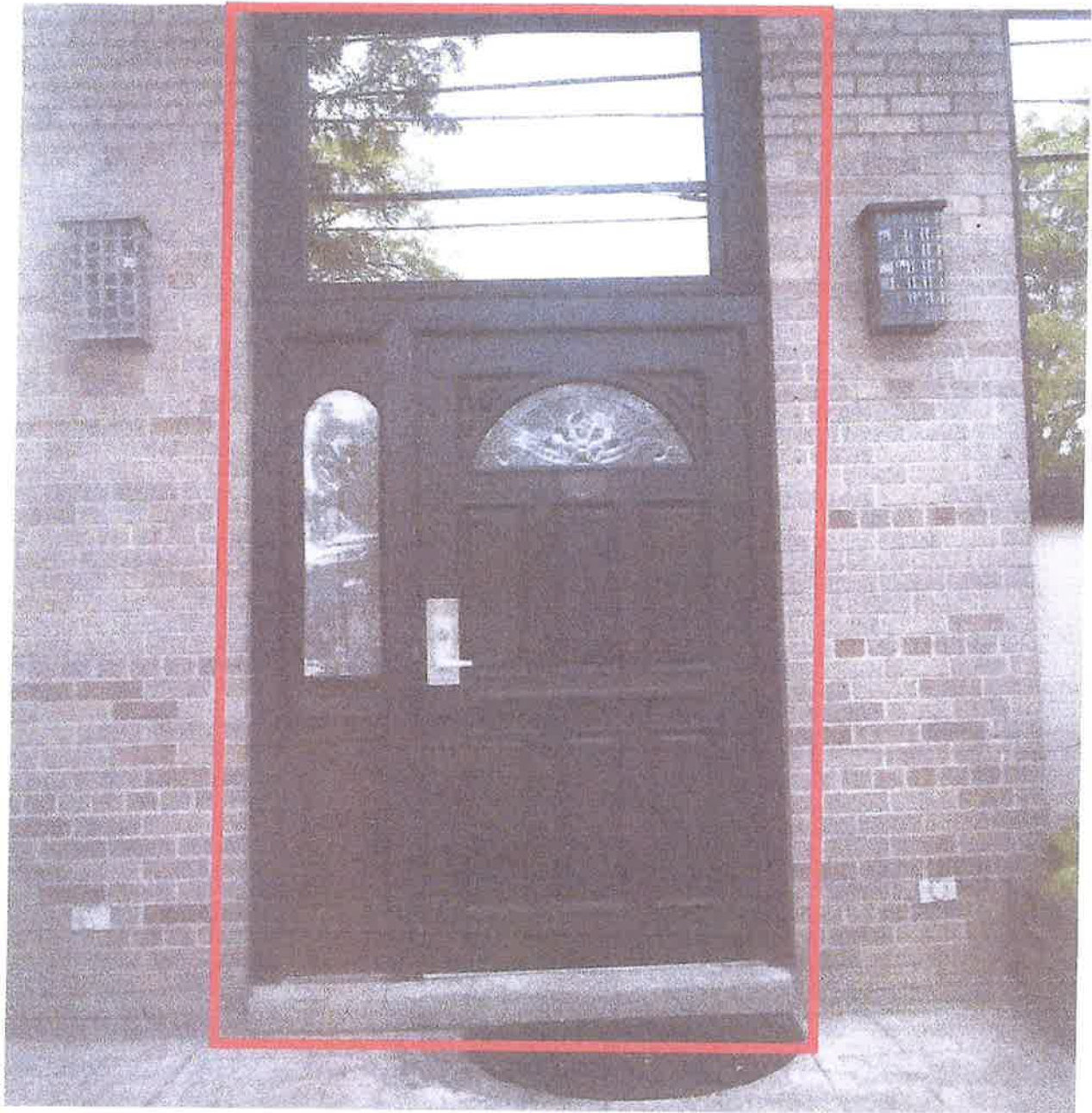
Gallery 1



Map View

Exterior image of building with front door to be replaced marked in red.

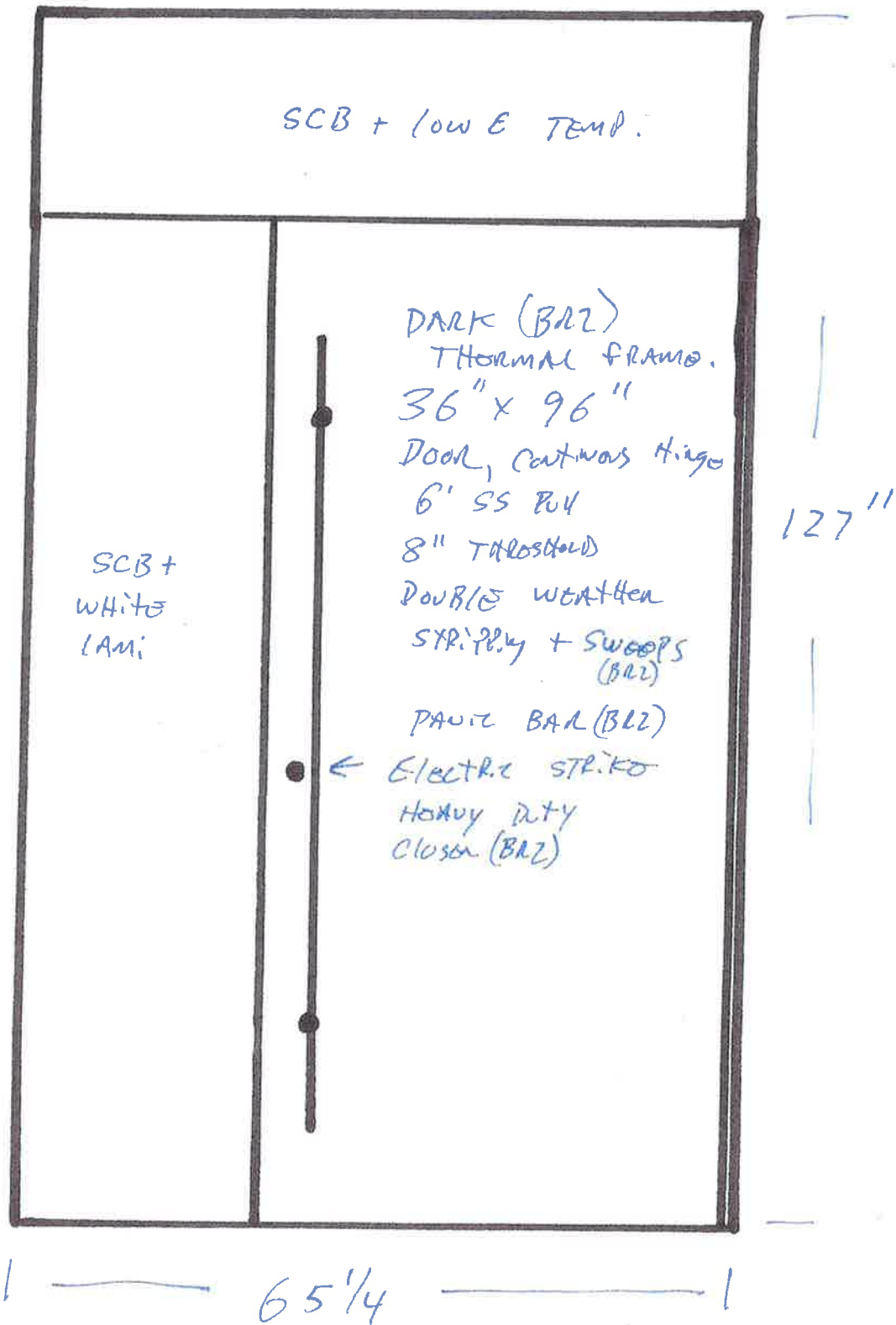




988 S Adams existing exterior front door. New front door to replace existing door and sidelight. No change to exterior dimensions of door entrance. Red lines marking area of front door with sidelight and frame.



988 S. Adams, Birmingham, MI  
Door Drawing from Ramco Metals Co.



DARK BRONZE Thermal framing





RELIABLE ARCHITECTURAL METALS COMPANY

9751 Erwin Street  
Detroit, MI 48213  
Phone: 313-924-9750  
Fax: 313-924-8877

[www.ramco-metals.com](http://www.ramco-metals.com)

Midwest stocking distributor for KAWNEER and ALCOA Company

Midwest stocking distributor for Laminators Inc.

Midwest distributor for Cline Doors Aluminum & FRP Doors

**21-01279**

To:	Matt	From:	Rebecca Shirey – <a href="mailto:rebecca@ramcometals.com">rebecca@ramcometals.com</a>
Contact:			
Email:		Pages:	1
Phone:		Date:	2/2/2021
Fax:		Job Name:	Entrance

**Quote to Provide:** Ramco Door & Frame in a Dark Bronze Anodized Finish.

**Qty. 1 – 3' x 8' Wide Stile Door with 2" x 4 ½" Transom Frame: 40" x 127"**

- Transom to run full width of frame at 65 ¼"
- Mortise Continuous Hinge
- CRL – 6' Ladder Pull
- First Choice Rim Panic w/ Exterior Cylinder
- HES 9400 EL Strike 12/24V (TBD)
- 1" Glass Stops
- LCN Closer w/ Drop Plate
- Sweep
- 2" x 4 ½" Open Back Frame- Closed Back at Locking Jamb
- 10" Bottom rail
- 8" Threshold

**NOTE: PULL ONLY ON EXTERIOR SIDE**

**Qty. 1 - 2"x 4 ½" 1850 Series Thermal Fabricated Sidelite:**

- 1 Lite Opening: 25 ¼" x 98" w/ Outside Jamb running full height of frame at 127"
- 1" Glass Stops
- Setting Blocks
- Glazing vinyl & screws
- Subsill

**Overall size including door, frame and sidelite: 65 ¼" x 127"**

**Total----- 4,360.00 + (Delivery Service) & Tax**

**Exclusions: Glass**

**ADD ON: 1,246.00 to add (5) 2 ¾" horizontal muntins in door above. This gives you approx a 9 ¼" day lite openings. Overall with stops the muntins will be 5"**

The prices contained in this quote are only valid for 30 days from the date of this quote

Note: Sales tax is not included. However, applicable state and local taxes apply unless a valid exemption certificate is on file or submitted when ordering. If paying by credit card, a 3 % processing fee will be applied to your order.

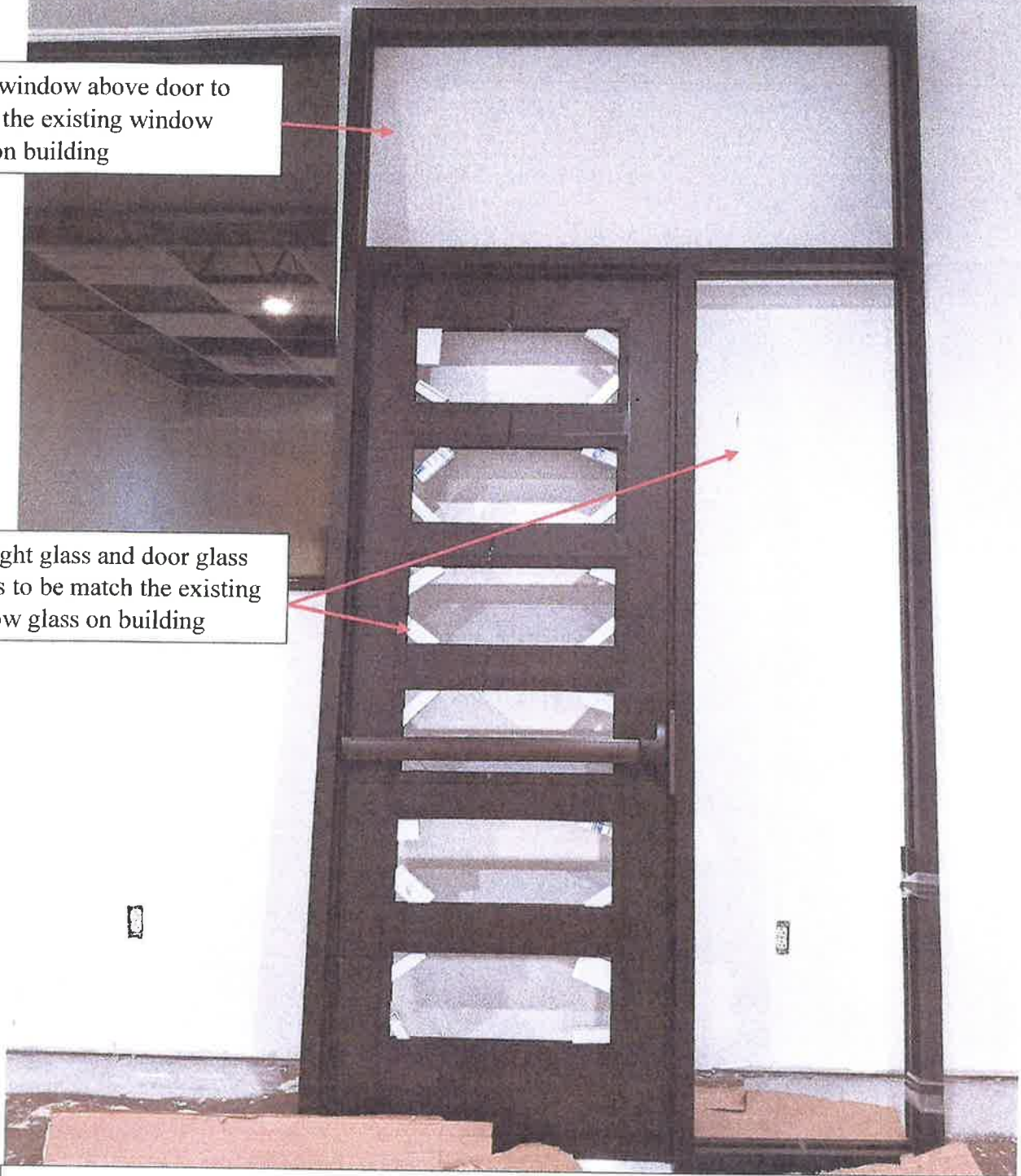
This quote is being presented as Reliable Architectural Metal Company Inc. interpretation of the information supplied to them and may not be representative of the plans and specifications.



Door frame and sidelight built to fit the existing exterior front entrance dimensions of building in anodized bronze aluminum.

Glass window above door to match the existing window glass on building

Sidelight glass and door glass inserts to be match the existing window glass on building



Picture of door frame and sidelight as seen from the inside of the building looking out.

The exterior view will depict the sidelight to the left of the door.

No change from the existing sidelight that is to the left of the existing door.





**APPROVED**  
11/8/21  
PAA21-0121

## Administrative Approval Application Planning Division

*Form will not be processed until it is completely filled out.*

### 1. Applicant

Name: Hughes Building LLC.  
Address: 30100 Telegraph Rd.  
Bingham Farms, MI. 48025  
Phone Number: 248-731-7779  
Fax Number: NA  
Email Address: shawn@hughesbuilding.net

### 2. Property Owner

Name: Don Bailey  
Address: 4141 N. Atlantic Blvd.  
Auburn Hills, MI. 48326  
Phone Number: 588-206-0500  
Fax Number: 248-391-7462  
Email Address: dbailey268@aol.com

### 3. Applicant's Attorney/Contact Person

Name: Shawn Cain  
Address: 30100 Telegraph Rd  
Bingham Farms, MI. 48025  
Phone Number: 810-339-5138  
Fax Number: NA  
Email Address: shawn@hughesbuilding.net

### 4. Project Designer/Developer

Name: Bert Koseck  
Address: 2441 Dorchester  
Birmingham, MI. 48009  
Phone Number: 248-302-4018  
Fax Number: NA  
Email Address: koseckarch@gmail.com

### 5. Project Information

Address/Location of Property: 2295 E. Lincoln  
Birmingham, MI 48009  
Name of Development: Lincoln Commerce Center  
Parcel ID#: 08-20-31-401-03  
Current Use: Commercial  
Area in Acres: NA  
Current Zoning: Commercial

Name of Historic District if any: NA  
Date of HDC Approval, if any: NA  
Date of Application for Preliminary Site Plan: 6-18-21  
Date of Preliminary Site Plan Approval: NA  
Date of Application for Final Site Plan: NA  
Date of Final Site Plan Approval: NA  
Date of Revised Final Site Plan Approval: NA

### 6. Required Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- One (1) digital copy of plans
- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations
- Photographs of existing conditions on the site where changes are proposed

### 7. Details of the Request for Administrative Approval

The door that was in question has been removed and is no longer an option.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan.

Signature of Applicant: Shawn M. Cain Date: 10-27-21

#### Office Use Only

Application #: PAA21-0121

Date Received: 10/28/21

Fee: \$100.00

Date of Approval: 11/8/21

Date of Denial: N/A

Reviewed By: \_\_\_\_\_

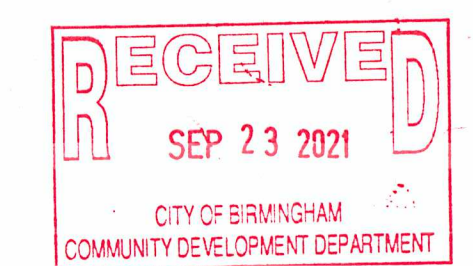




# Lincoln Commerce Center

## Building Improvements

2299 Lincoln Birmingham, Michigan



bp

September 21, 2021  
Drawing edits based on Building Department review and comments  
June 8, 2021  
Add alternate for overhead garage door in new courtyard (would need approval from the City of Birmingham prior to construction)

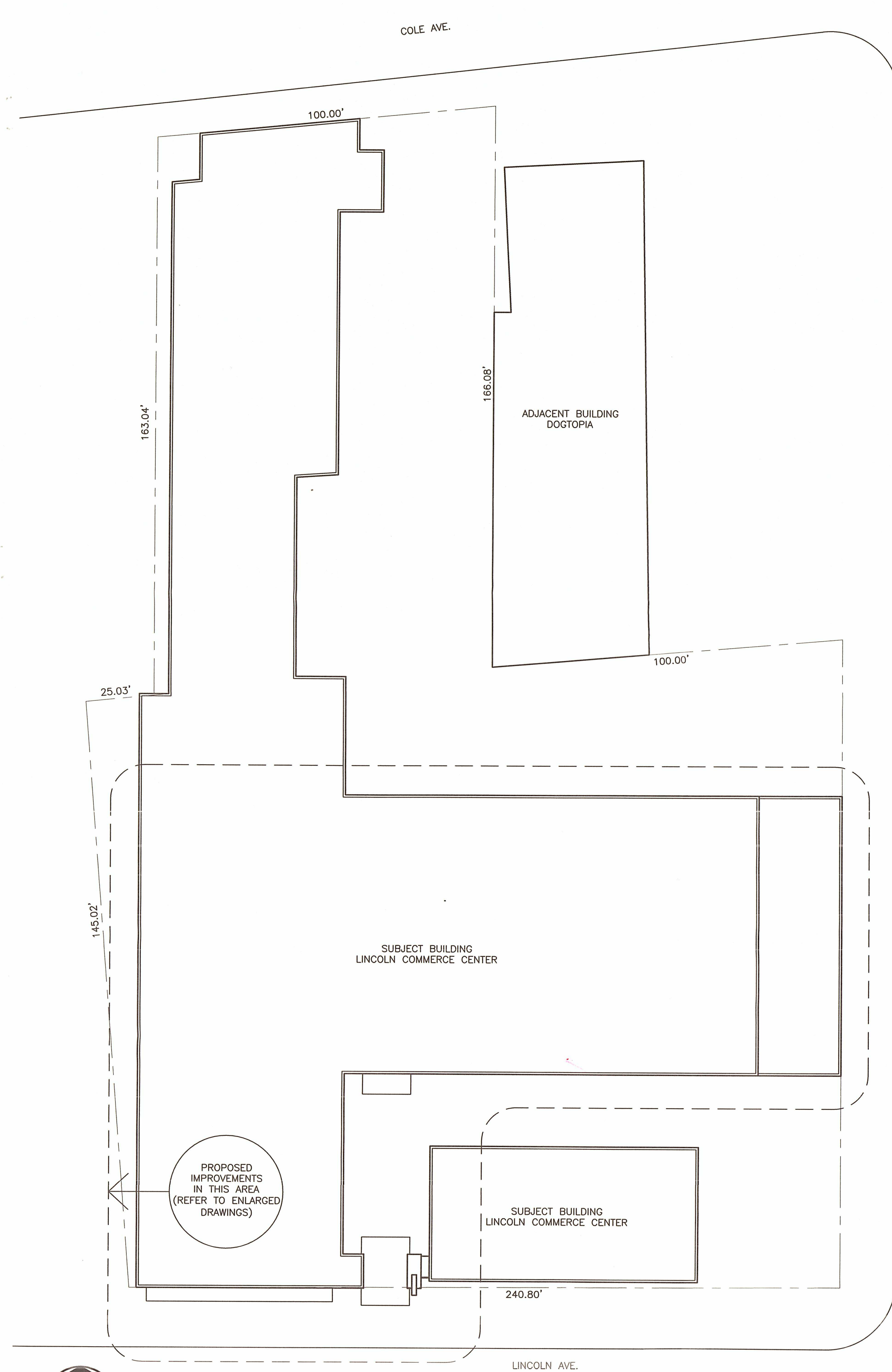
Project:  
**Lincoln Commerce Center**  
Building Improvements

2299 Lincoln  
Birmingham, Michigan

Phase:  
Contractor Bld. Building Permit

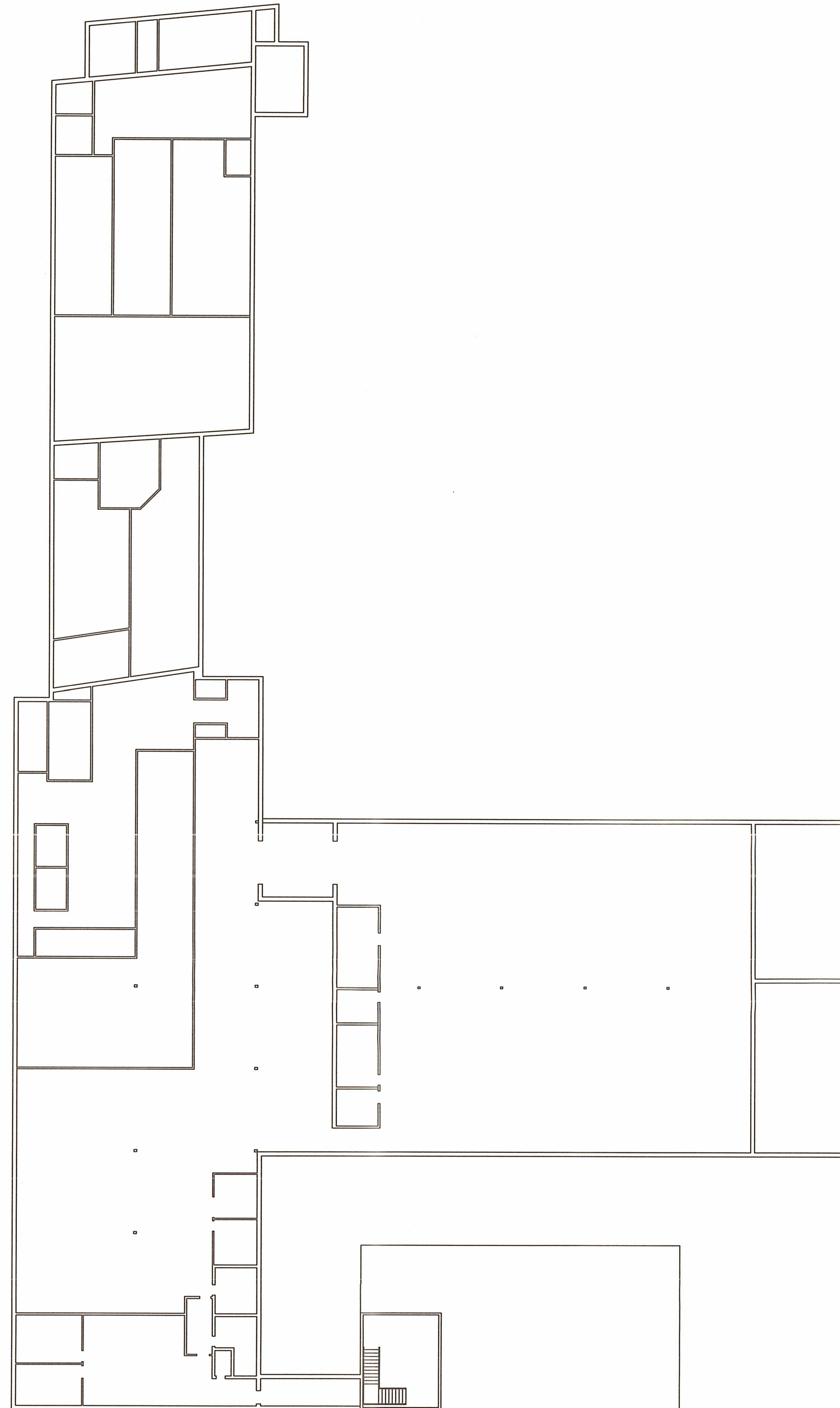
Date:  
June 9, 2021

Sheet:  
A.1

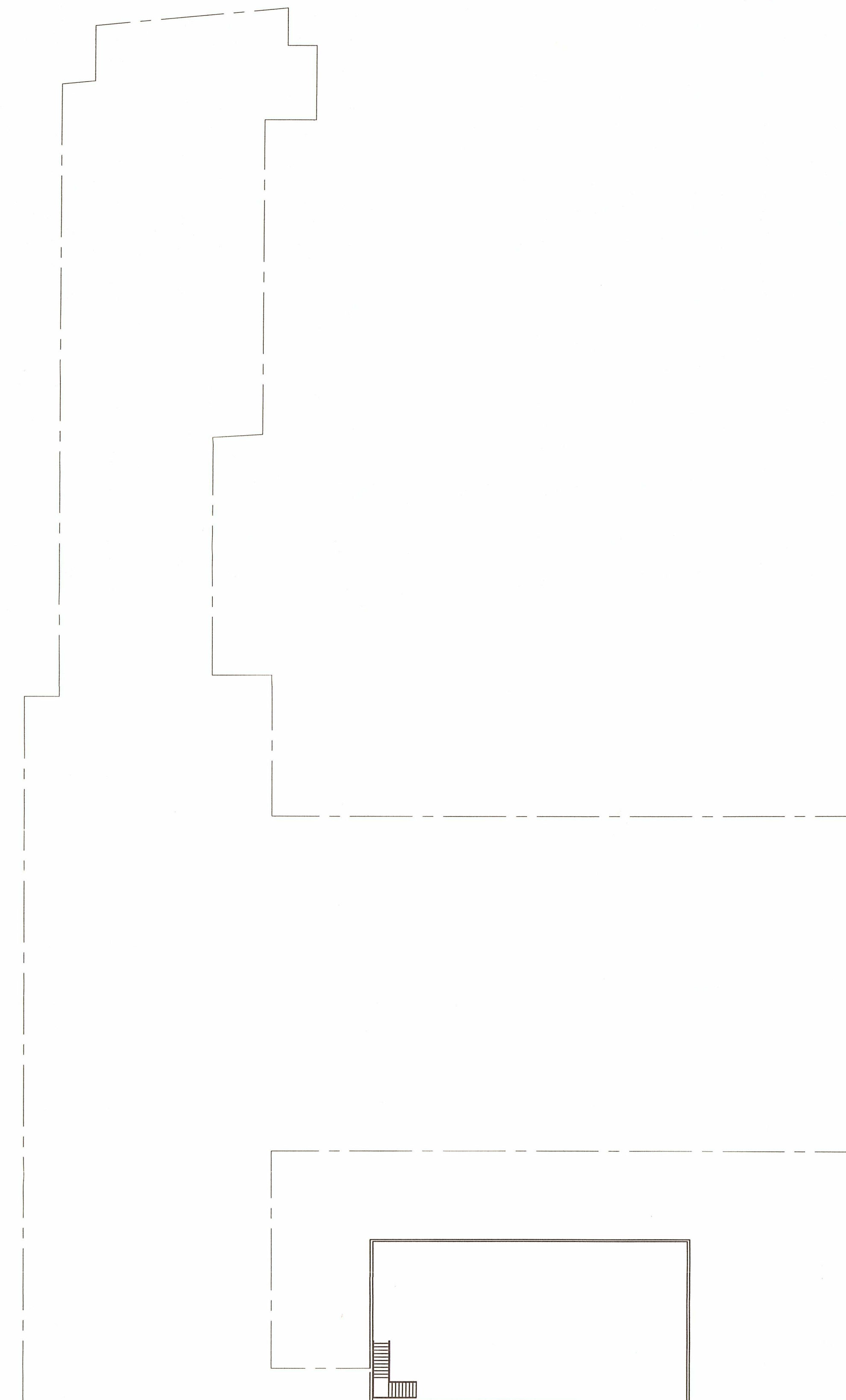


SITE PLAN  
SCALE: 1"=20'

COLE ST.



FLOOR 1 COMPOSITE PLAN (EXISTING)  
SCALE: 1"=20'



FLOOR 2 COMPOSITE PLAN (EXISTING)  
SCALE: 1"=20'

## ZONING REVIEW

REFER TO BOUNDARY/TOPOGRAPHICAL SURVEY FOR SUBJECT SITE  
DETAILED INFORMATION PREPARED BY PROFESSIONAL SURVEYOR.

### ZONING DISTRICT

M-X (MIXED-USE)

### PERMITTED USES

ALL CURRENT AND FUTURE ANTICIPATED USES ARE PERMITTED USES

### LOT AREA

MINIMUM LOT AREA - EXCEED MINIMUM REQUIRED  
MINIMUM OPEN SPACE - NOT APPLICABLE  
MAXIMUM LOT COVERAGE - NOT APPLICABLE  
SETBACKS

MINIMUM FRONT YARD  
REQUIRED - 0'  
EXISTING - 0'  
PROPOSED - NO CHANGE

MINIMUM REAR YARD  
REQUIRED - 10' (WHEN ABUTTING MX DISTRICT)  
EXISTING - 37.02' (AT SHORTEST DISTANCE)  
PROPOSED - NO CHANGE

MINIMUM COMBINED FRONT AND REAR YARD SETBACK  
REQUIRED - 0'  
EXISTING - 0'  
PROPOSED - NO CHANGE

MINIMUM SIDE YARD SETBACK  
REQUIRED - 0'  
EXISTING - 0'  
PROPOSED - NO CHANGE

### FLOOR AREA

MINIMUM  
REQUIRED - NOT APPLICABLE

MAXIMUM  
ALLOWABLE - 6,000 SF FOR COMMERCIAL, OFFICE, SERVICE USES  
EXISTING AND PROPOSED - A VARIETY OF TENANT USES AND SIZES

### BUILDING HEIGHT

MAXIMUM ALLOWABLE - 45' FOR FLAT ROOFS, 4-STORIES  
EXISTING - +/- 24', 2-STORIES (AT HIGHEST PART OF THE BUILDING)  
PROPOSED - DOES NOT EXCEED EXISTING COMPLIANT BUILDING

## SECTION 01 1200 - MULTIPLE CONTRACT SUMMARY

1.05 CONTRACTOR USE OR PREMISES  
CONTRACTOR TO MAINTAIN WATER-TIGHT BUILDING DURING CONSTRUCTION  
AND NOT IMPACT EXISTING TENANTS USE OF SPACE.

1.06 TEMPORARY FACILITIES AND CONTROLS  
COMPLY WITH LOCAL ZONING CODES AND REQUIREMENTS DURING  
CONSTRUCTION.  
MAINTAIN PREMISES FREE OF ACCUMULATION OF WASTE MATERIAL AND  
RUBBISH.

## SECTION 01 2500 - SUBSTITUTION PROCEDURES

1.04 REQUESTS FOR SUBSTITUTION  
CONTRACTOR MAY OFFER SUBSTITUTION FOR ARCHITECT REVIEW AND  
APPROVAL.

## SECTION 01 2613 - REQUESTS FOR INTERPRETATION (RFI)

1.04 RFI DURING CONSTRUCTION  
CONTRACTOR TO CLEARLY DEFINE ISSUE. PROVIDE POTENTIAL SOLUTIONS.  
PROVIDE COST.

## SECTION 01 3113 - PROJECT COORDINATION

1.04 PROJECT COORDINATION  
CONTRACTOR TO COORDINATE ALL SUBCONTRACTORS AND VENDORS.  
CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT REVIEW AND  
APPROVAL.

## SECTION 01 3119 - PROJECT MEETINGS

1.03 PRE-CONSTRUCTION MEETING  
CONTRACTOR TO ORGANIZE PRE-CONSTRUCTION MEETING WITH OWNER  
AND ARCHITECT.

1.04 COORDINATION MEETINGS  
CONTRACTOR TO ORGANIZE REGULAR COORDINATION MEETINGS WITH  
OWNER AND ARCHITECT.

1.05 PROGRESS MEETINGS  
CONTRACTOR TO ORGANIZE REGULAR PROGRESS MEETINGS WITH OWNER  
AND ARCHITECT.

## SECTION 01 3323 - SHOP DRAWINGS, PRODUCT DATA, SAMPLES

1.04 SUBMITTAL REQUIREMENTS  
CONTRACTOR TO SUBMIT SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES  
TO THE ARCHITECT FOR REVIEW AND APPROVAL.

CONTRACTOR IS FULLY RESPONSIBLE FOR MEANS AND METHODS OF  
DEMOLITION AND CONSTRUCTION, MAINTAINING A CLEAN AND SAFE SITE,  
BECOMING FAMILIAR WITH ALL EXISTING CONDITIONS, AND ENVIRONMENTAL  
OR HAZARDOUS MATERIALS. THE ARCHITECT HAS NO RELATED  
RESPONSIBILITY OR LIABILITY ASSOCIATED WITH DEMOLITION, EXCAVATIONS,  
AND CONSTRUCTION.

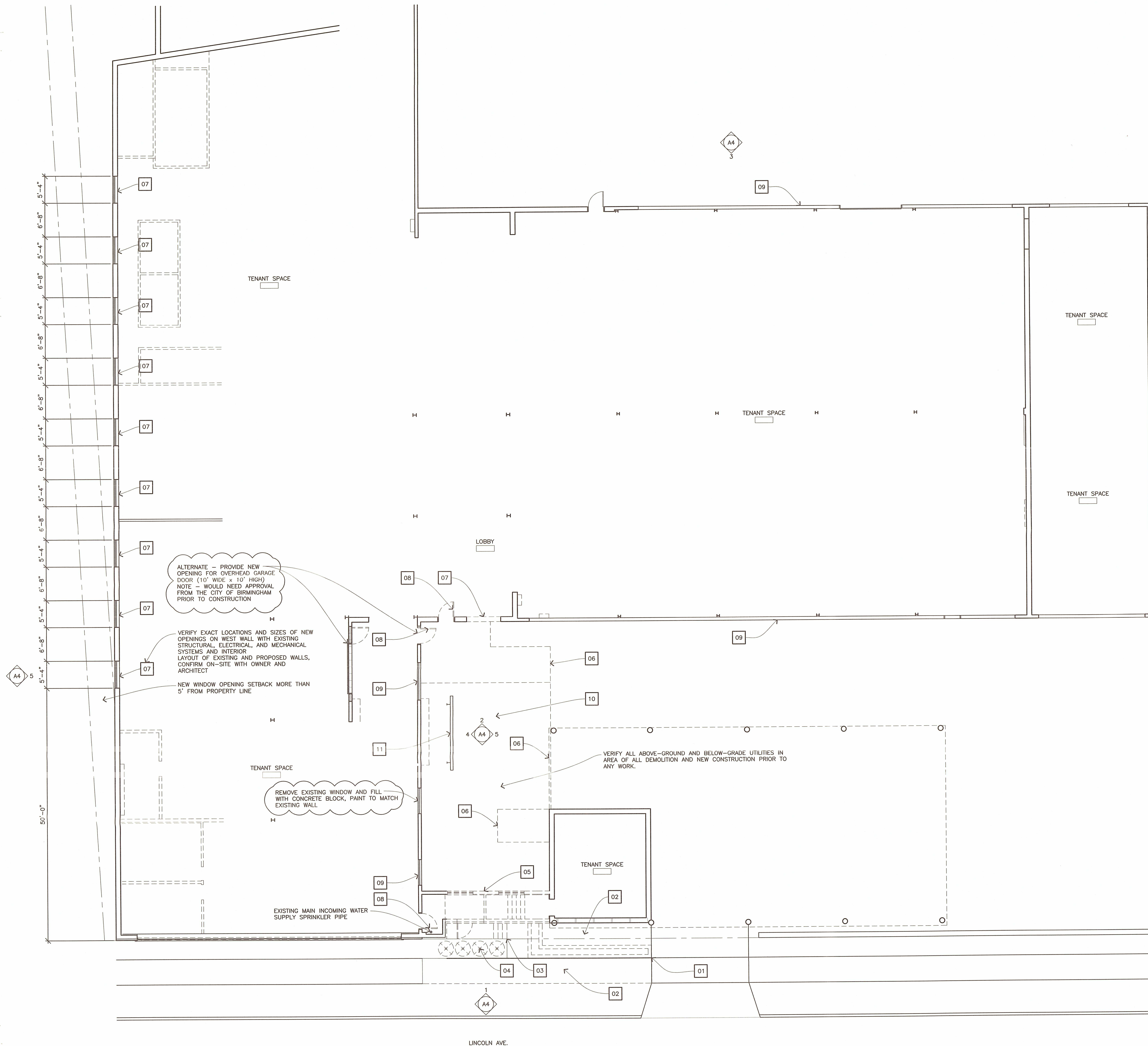
## DRAWING LIST

- A.1 ZONING DATA, BUILDING CODES, SITE PLAN, COMPOSITE FLOOR PLAN
- A.2 EXISTING/DEMO FLOOR PLAN
- A.3 EXISTING/DEMO ROOF PLAN
- A.4 EXISTING/DEMO ELEVATIONS
- A.5 NEW FLOOR PLAN
- A.6 NEW ROOF PLAN
- A.7 NEW ELEVATIONS
- A.8 ENLARGED PLANS
- A.9 PLAN DETAILS
- A.10 WALL SECTIONS
- A.11 STRUCTURAL SPECIFICATIONS
- L.1 SITE LANDSCAPE/HARDSCAPE PLAN

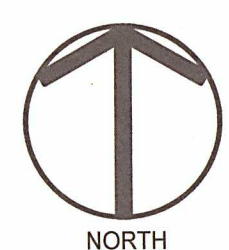
## BUILDING CODES

- 2015 MICHIGAN BUILDING CODE (2015 MBC)
- 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS (2015 MRCEB)
- 2015 MICHIGAN MECHANICAL CODE (2015 MMC)
- 2015 MICHIGAN PLUMBING CODE (2015 MPC) - 2018 IN EFFECT SEPT. 2021
- MICHIGAN ELECTRICAL CODE (BASED ON 2017 NATIONAL ELECTRIC CODE)
- MICHIGAN ENERGY CODE PART 10a (BASED ON 2015 INTERNATIONAL ENERGY CONSERVATION CODE)
- MICHIGAN ACT 1 OF 1966 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- 2012 NFPA 101 LIFE SAFETY CODE
- 2015 INTERNATIONAL FIRE CODE
- 2013 NFPA 13 STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS
- 2013 NFPA 72 FIRE ALARM CODE





- 01 REMOVE TIMBER RETAINING WALL
- 02 REMOVE EXISTING CONCRETE SIDEWALK
- 03 REMOVE EXISTING CONCRETE STEPS
- 04 REMOVE EXISTING PLANT MATERIAL
- 05 REMOVE PART OF EXISTING LINK BUILDING
- 06 REMOVE EXISTING FENCE AND CONCRETE SLAB
- 07 REMOVE PART OF EXISTING WALL
- 08 REMOVE EXISTING DOOR AND FRAME
- 09 REMOVE EXISTING WINDOW AND FRAME
- 10 REMOVE DEBRIS
- 11 REMOVE GUARDRAIL



EXISTING / DEMO FLOOR PLAN  
SCALE: 1/8"=1'-0"

September 21, 2021  
Drawing edits based on Building Department review and comments

June 8, 2021  
Add alternate for overhead garage door in new courtyard (would need approval from the City of Birmingham prior to construction

FLOOR PLANS  
EXISTING / DEMO

Project:  
**Lincoln  
Commerce Center**  
Building Improvements

2299 Lincoln  
Birmingham, Michigan

Phase:  
Contractor Bid, Building Permit

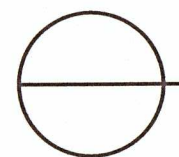
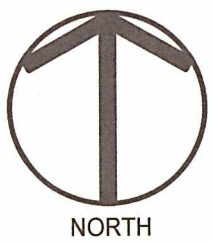
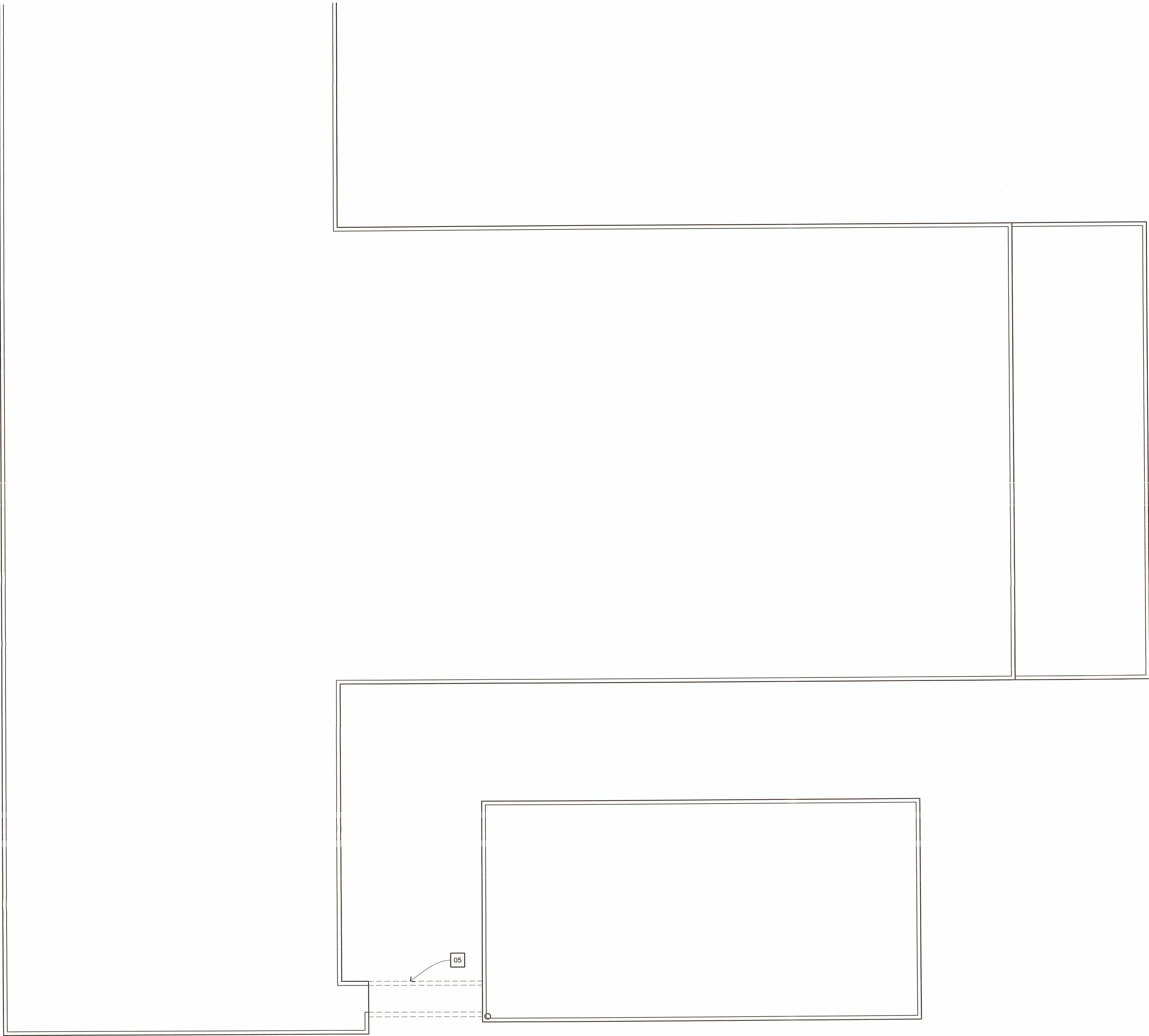
Date:  
June 9, 2021

Sheet: A2





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EXISTING / DEMO ROOF PLAN  
SCALE: 1/8"=1'-0"

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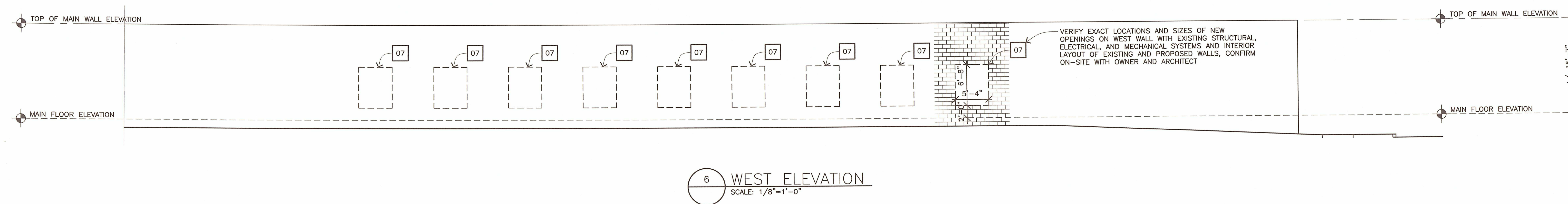
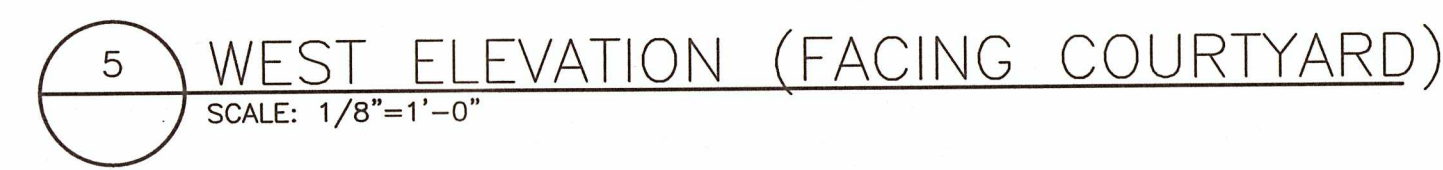
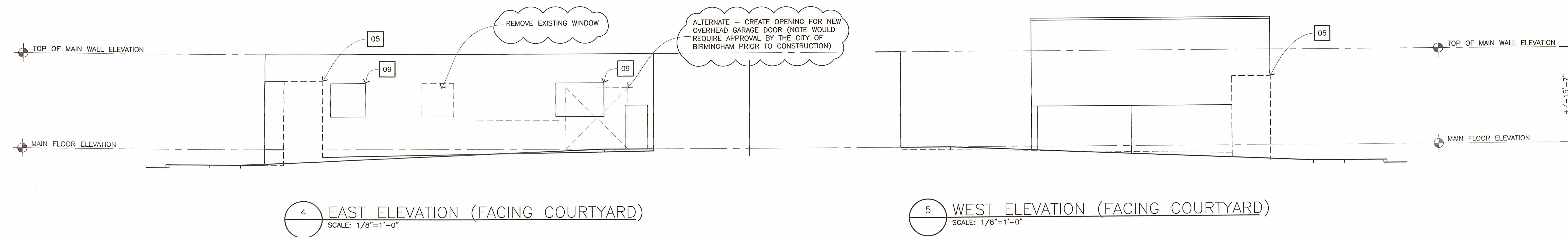
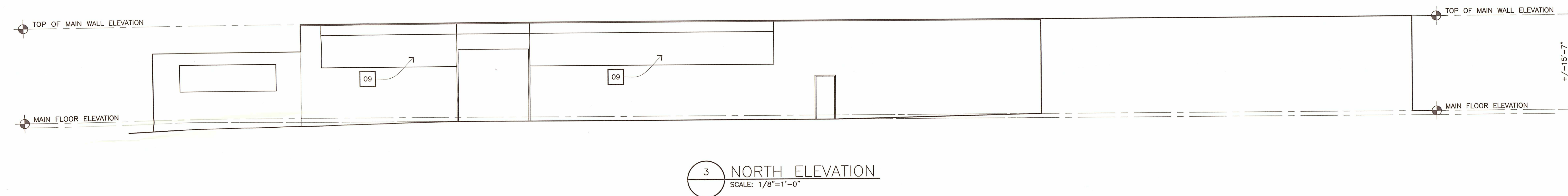
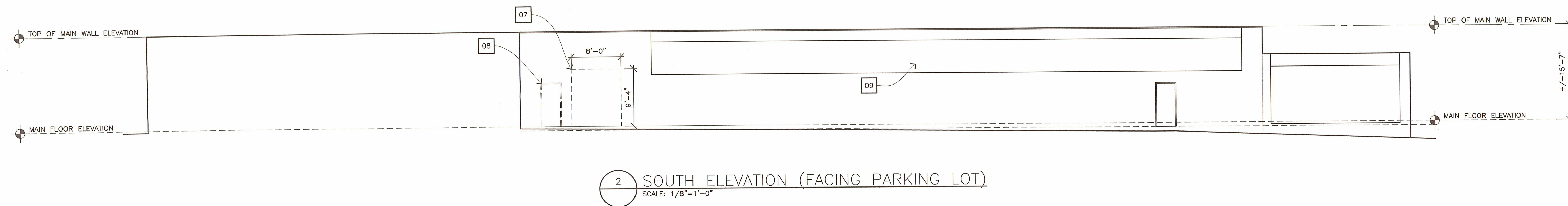
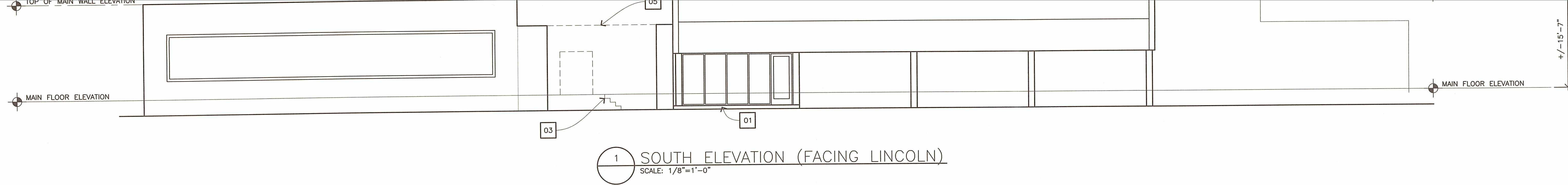
Project:  
Lincoln  
Commerce Center  
Building Improvements  
2299 Lincoln  
Birmingham, Michigan

Phase:  
Contractor Bid, Building Permit

Date:  
June 9, 2021

Sheet:





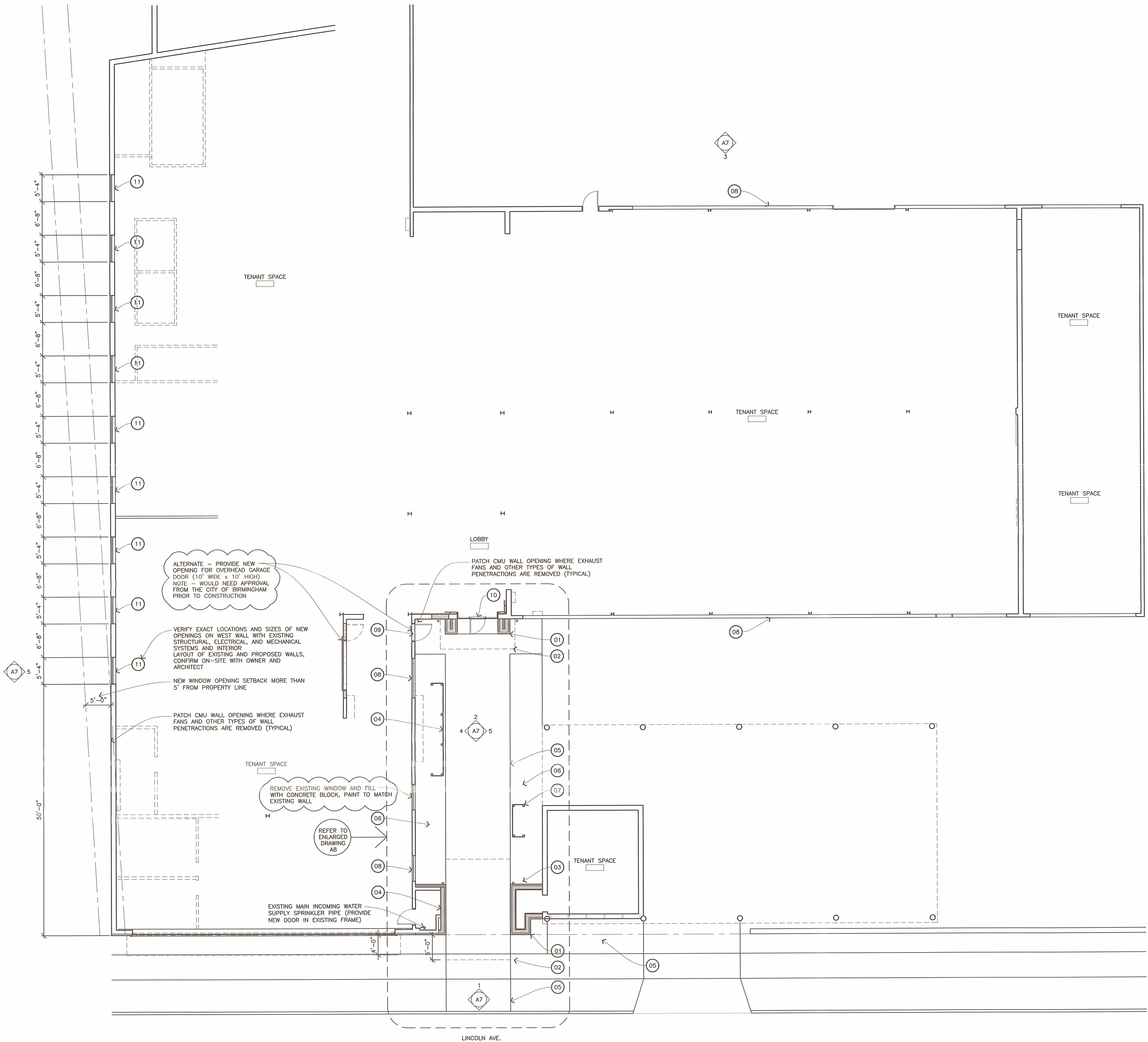
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## EXTERIOR ELEVATIONS EXISTING / DEMO

Project:  
Lincoln  
Commerce Center  
Building Improvements  
2299 Lincoln  
Birmingham, Michigan  
Phase:  
Contractor Bid, Building Permit  
Date:  
June 9, 2021  
Sheet:





#### GENERAL NOTES

- 00 NEW BRICK PIER  
GLEN-GERY BLACK BEAUTY (COLOR - BLACK)
- 01 NEW BRICK PIER  
SOUTH PIERS: GLEN-GERY BLACK BEAUTY  
NORTH PIERS: GLEN-GERY ROCKFORD
- 02 NEW CANOPY - PRE-FINISHED COMPOSITE  
METAL PANEL FASCIA (COLOR-BLACK) ON APA  
RATED 3/4" PLYWOOD
- 03 NEW FOUNDATION BELOW
- 04 MODIFY EXISTING BRICK WALLS
- 05 NEW CONCRETE SIDEWALK  
CITY OF BIRMINGHAM STANDARD (VERIFY)
- 06 NEW LANDSCAPED AREA (REFER TO LANDSCAPE  
PLAN)
- 07 NEW SCREEN WALL, COMPOSITE WOOD,  
1x6 BOARDS, TIMBERTECH ANTIQUE LEATHER
- 08 NEW WINDOW IN EXISTING OPENING, ALUMINUM  
FRAME, LOW-E INSULATED GLASS (COLOR: BLACK  
FRAME, CLEAR GLASS)
- 09 NEW DOOR IN EXISTING OPENING, ALUMINUM  
FRAME, LOW-E INSULATED GLASS (COLOR: BLACK  
FRAME, CLEAR GLASS)
- 10 NEW DOOR "STOREFRONT" IN NEW OPENING,  
ALUMINUM FRAME, LOW-E INSULATED GLASS  
(COLOR: BLACK FRAME, CLEAR GLASS)
- 11 NEW WINDOW IN NEW OPENING (WALL IS MORE  
THAN 5' TO PROPERTY LINE), ALUMINUM  
FRAME, LOW-E INSULATED GLASS (COLOR:  
BLACK FRAME, CLEAR GLASS)
- 12 NEW ALUMINUM LED LIGHT FINIAL  
COLOR: SILVER (VOID)
- 13 RE-USE EXISTING BRICK ("ORANGE")
- 14 METAL COPING - MATCH BRICK COLOR
- 15 ALUMINUM ADDRESS / DIRECTORY SIGN
- 16 SUN SHADE CANOPY, HANGER-SUPPORTED, 2"x8"  
EXTRUDED TUBES FASCIA WITH LOUVER BLADES,  
THRU-BOLT IN CMU (MANUFACTURER - SKYSCAPE,  
OR EQUAL) COLOR - BLACK
- 17 REMOVE DOOR, PATCH TO MATCH EXISTING  
WALL
- 18 NEW LIGHT BOLLARD, 4' HIGH  
(MANUFACTURE - SELUX, CARRAL)  
COLOR: BLACK
- 19 PAINT EXISTING CONCRETE BLOCK  
(COLOR - MATCH EXISTING "FOREST GREEN")
- 20 RECESSED LED LIGHT FIXTURE  
(MANUFACTURER - FOCAL POINT, 4.5"  
EXTERIOR RATED DOWNLIGHT
- 21 ALUMINUM BACK-LIT DIMENSIONAL LETTERS,  
3'-0" HIGH, 6" DEEP TO OUTSIDE FACE FROM  
BRICK, ALUMINUM COLOR - SILVER
- 22 ALUMINUM DOWNSPOUT, COLOR - BLACK
- 23 ADDRESS NUMBERS - ALUMINUM CHANNEL  
PROFILE, 8" HIGH, 2" DEEP
- 24 SOFFIT - SYNTHETIC WOOD, FIBERGLASS  
(MANUFACTURE - SAGIPER, SAGIREV, COLOR -  
HAZEL OAK (CREATE VENTS)
- 25 WALL ASSEMBLY - 4' (NOMINAL) BRICK  
VENEER, 1" AIRSPACE, 8" (NOMINAL) CMU

KOSECK+ARCHITECTURE

2441 Dorchester Road  
Birmingham, MI 48009  
koseckarch@gmail.com  
248.302.4018



September 21, 2021  
Drawing edits based on Building Department  
review and comments

June 8, 2021  
Add alternate for overhead garage door in  
new courtyard (would need approval from the  
City of Birmingham prior to construction)

FLOOR PLAN  
(NEW)

Project:  
Lincoln  
Commerce Center  
Building Improvements

2299 Lincoln  
Birmingham, Michigan

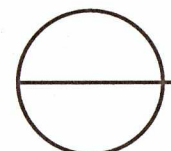
Phase:  
Contractor Bid, Building Permit

Date:  
June 9, 2021

Sheet:

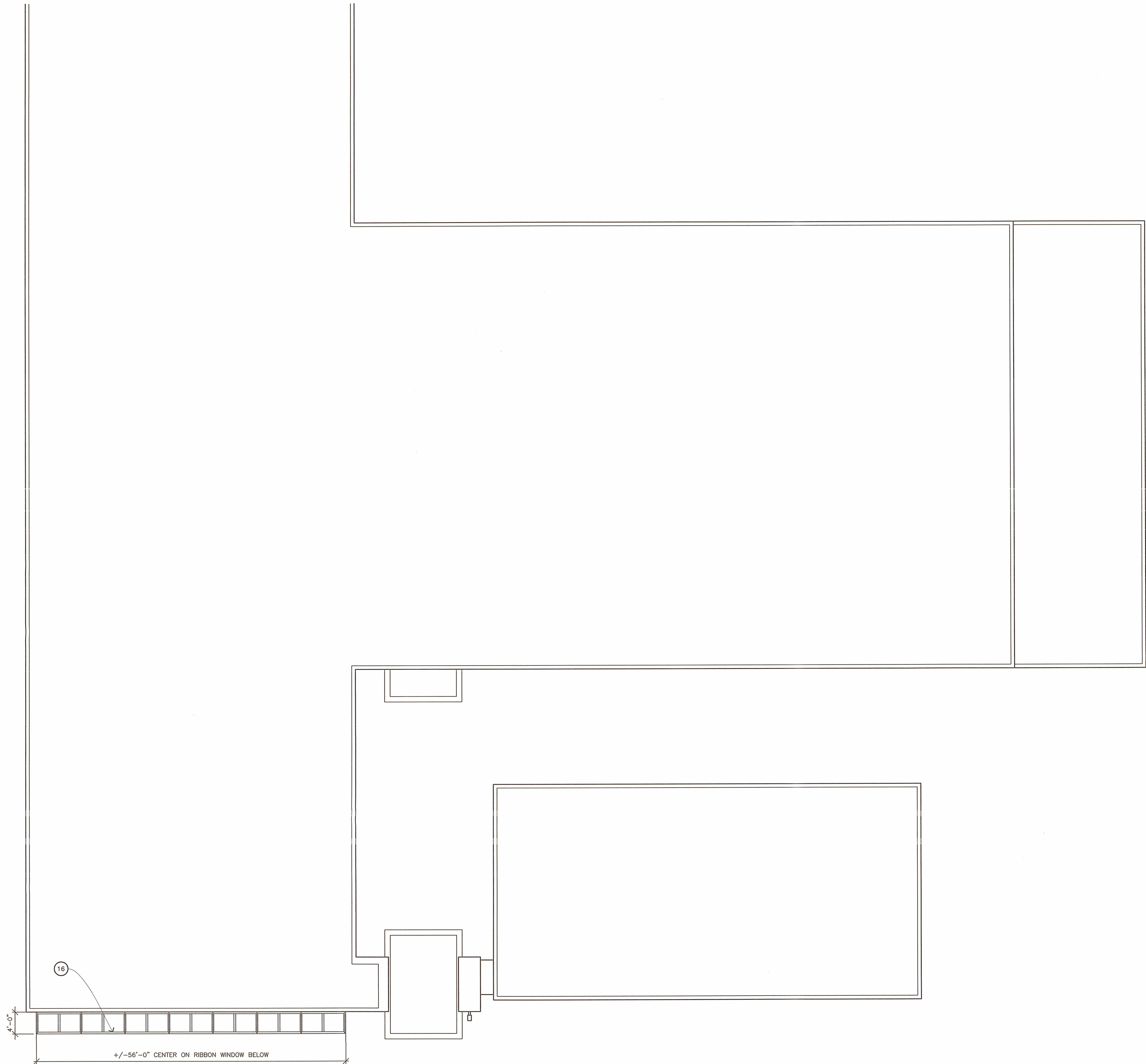
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PROPOSED ROOF PLAN

SCALE: 1/8"=1'-0"



GENERAL NOTES

- 00 NEW BRICK PIER  
GLEN-GERY BLACK BEAUTY (COLOR - BLACK)
- 01 NEW BRICK PIER  
SOUTH PIERS: GLEN-GERY BLACK BEAUTY  
NORTH PIERS: GLEN-GERY ROCKFORD
- 02 NEW CANOPY - PRE-FINISHED COMPOSITE  
METAL PANEL FASCIA (COLOR-BLACK) ON APA  
RATED 3/4" PLYWOOD
- 03 NEW FOUNDATION BELOW
- 04 MODIFY EXISTING BRICK WALLS
- 05 NEW CONCRETE SIDEWALK  
CITY OF BIRMINGHAM STANDARD (VERIFY)
- 06 NEW LANDSCAPED AREA (REFER TO LANDSCAPE  
PLAN)
- 07 NEW SCREEN WALL, COMPOSITE WOOD,  
1x6 BOARDS, TIMBERTECH ANTIQUE LEATHER
- 08 NEW WINDOW IN EXISTING OPENING, ALUMINUM  
FRAME, LOW-E INSULATED GLASS (COLOR: BLACK  
FRAME, CLEAR GLASS)
- 09 NEW DOOR IN EXISTING OPENING, ALUMINUM  
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- 10 NEW DOOR "STOREFRONT" IN NEW OPENING,  
ALUMINUM FRAME, LOW-E INSULATED GLASS  
(COLOR: BLACK FRAME, CLEAR GLASS)
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THAN 5' TO PROPERTY LINE), ALUMINUM  
FRAME, LOW-E INSULATED GLASS (COLOR:  
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- 12 NEW ALUMINUM LED LIGHT FINIAL  
COLOR: SILVER (VOID)
- 13 RE-USE EXISTING BRICK ("ORANGE")
- 14 METAL COPING - MATCH BRICK COLOR
- 15 ALUMINUM ADDRESS / DIRECTORY SIGN
- 16 SUN SHADE CANOPY, HANGER-SUPPORTED, 2"x8"  
EXTRUDED TUBES FASCIA WITH LOUVER BLADES,  
THRU-BOLT IN CMU (MANUFACTURER - SKYSCAPE,  
OR EQUAL) COLOR - BLACK
- 17 REMOVE DOOR, PATCH TO MATCH EXISTING  
WALL
- 18 NEW LIGHT BOLLARD, 4' HIGH  
(MANUFACTURE - SELUX, CARRAL)  
COLOR: BLACK
- 19 PAINT EXISTING CONCRETE BLOCK  
(COLOR - MATCH EXISTING "FOREST GREEN")
- 20 RECESSED LED LIGHT FIXTURE  
(MANUFACTURER - FOCAL POINT, 4.5"  
EXTERIOR RATED DOWNLIGHT
- 21 ALUMINUM BACK-LIT DIMENSIONAL LETTERS,  
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BRICK, ALUMINUM COLOR - SILVER
- 22 ALUMINUM DOWNSPOUT, COLOR - BLACK
- 23 ADDRESS NUMBERS - ALUMINUM CHANNEL  
PROFILE, 8" HIGH, 2" DEEP
- 24 SOFFIT - SYNTHETIC WOOD, FIBERGLASS  
(MANUFACTURE - SAGIPER, SAGIREV, COLOR -  
HAZEL OAK (CREATE VENTS)
- 25 WALL ASSEMBLY - 4' (NOMINAL) BRICK  
VENEER, 1" AIRSPACE, 8" (NOMINAL) CMU

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Commerce Center  
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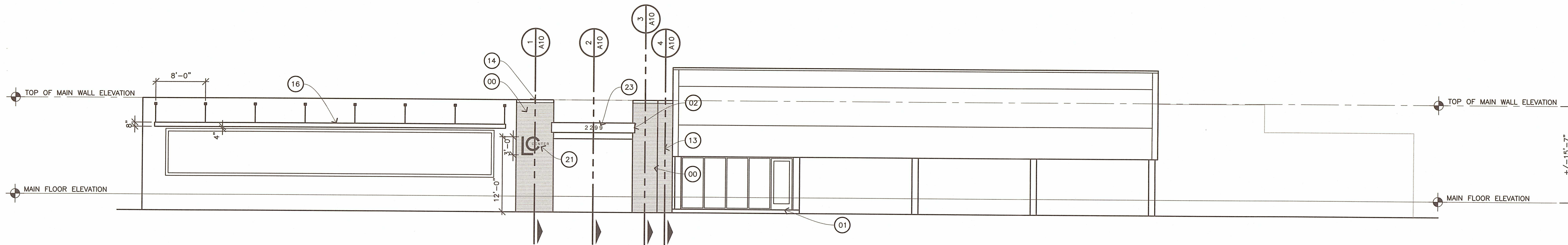
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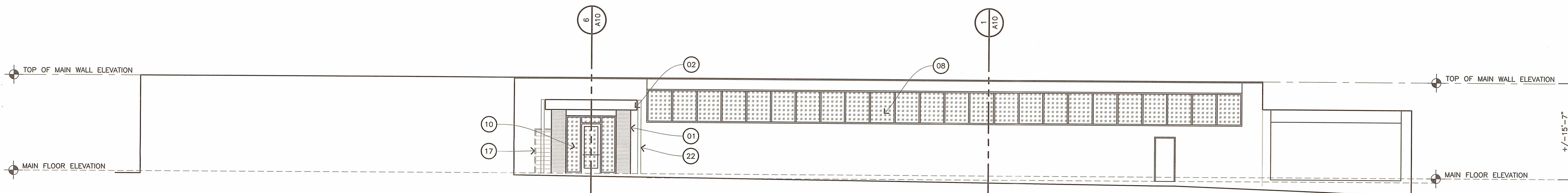


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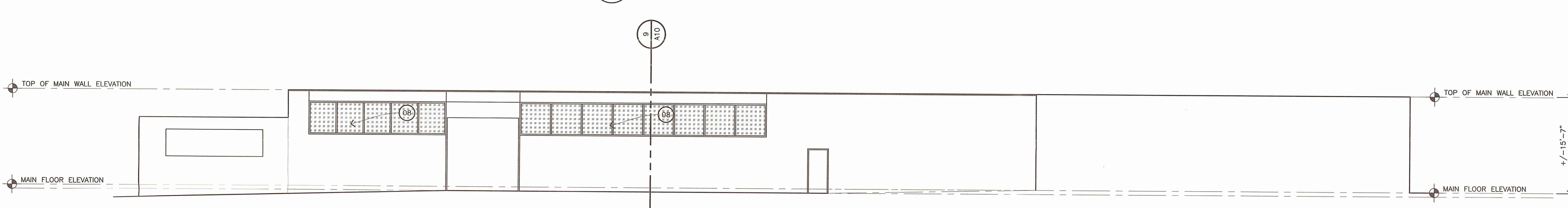
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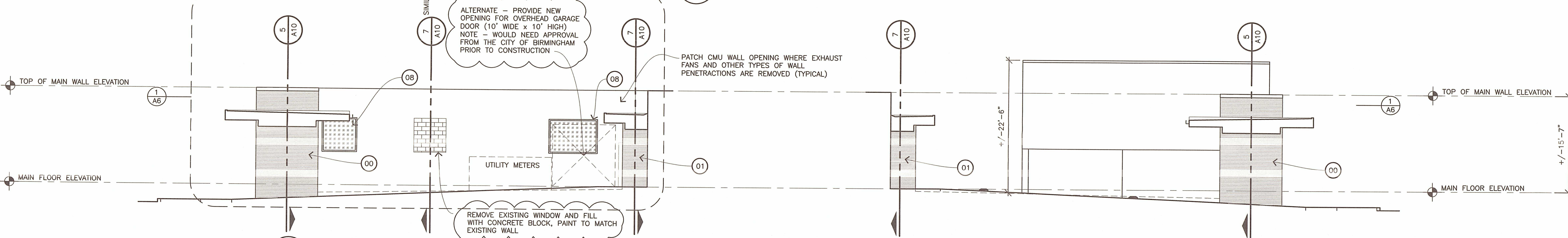
1 SOUTH ELEVATION (FACING LINCOLN)  
SCALE: 1/8"=1'-0"



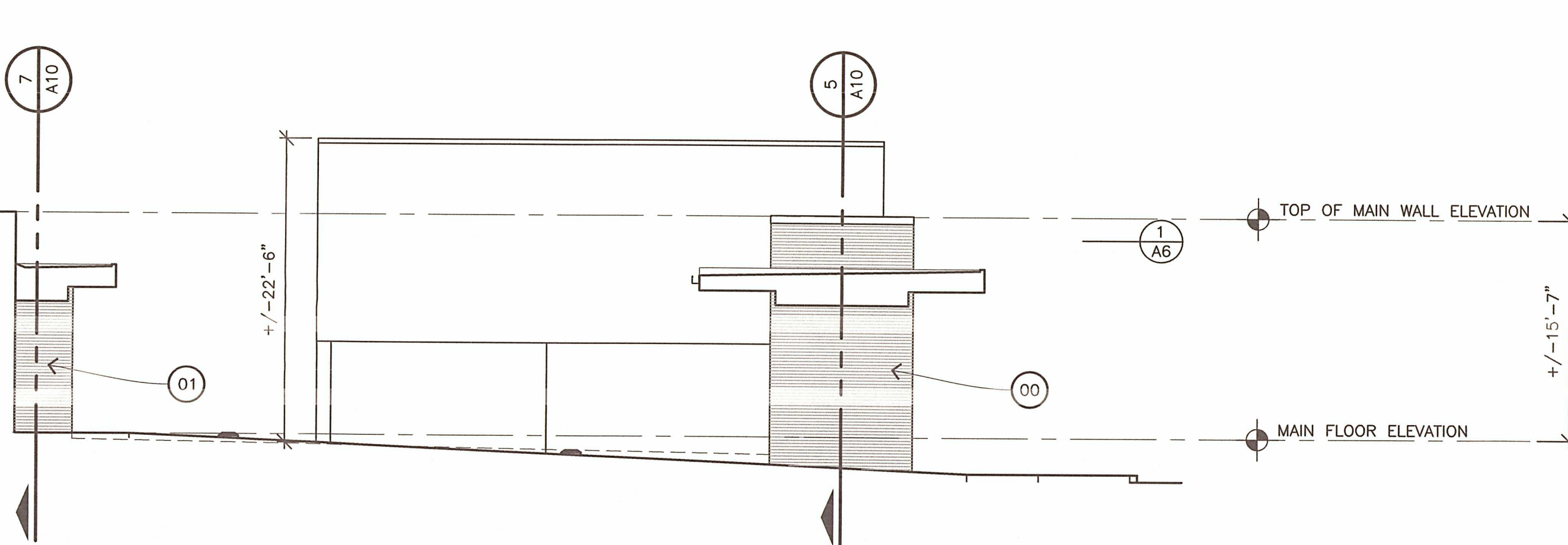
2 SOUTH ELEVATION (FACING PARKING LOT)  
SCALE: 1/8"=1'-0"



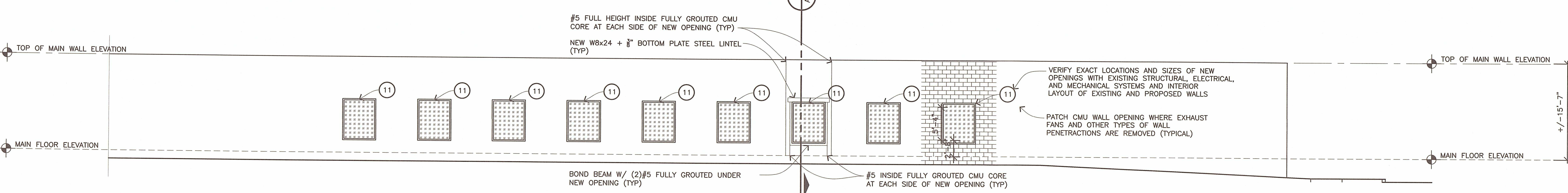
3 NORTH ELEVATION  
SCALE: 1/8"=1'-0"



4 EAST ELEVATION (FACING COURTYARD)  
SCALE: 1/8"=1'-0"



5 WEST ELEVATION (FACING COURTYARD)  
SCALE: 1/8"=1'-0"



6 WEST ELEVATION  
SCALE: 1/8"=1'-0"

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EXTERIOR  
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(NEW)

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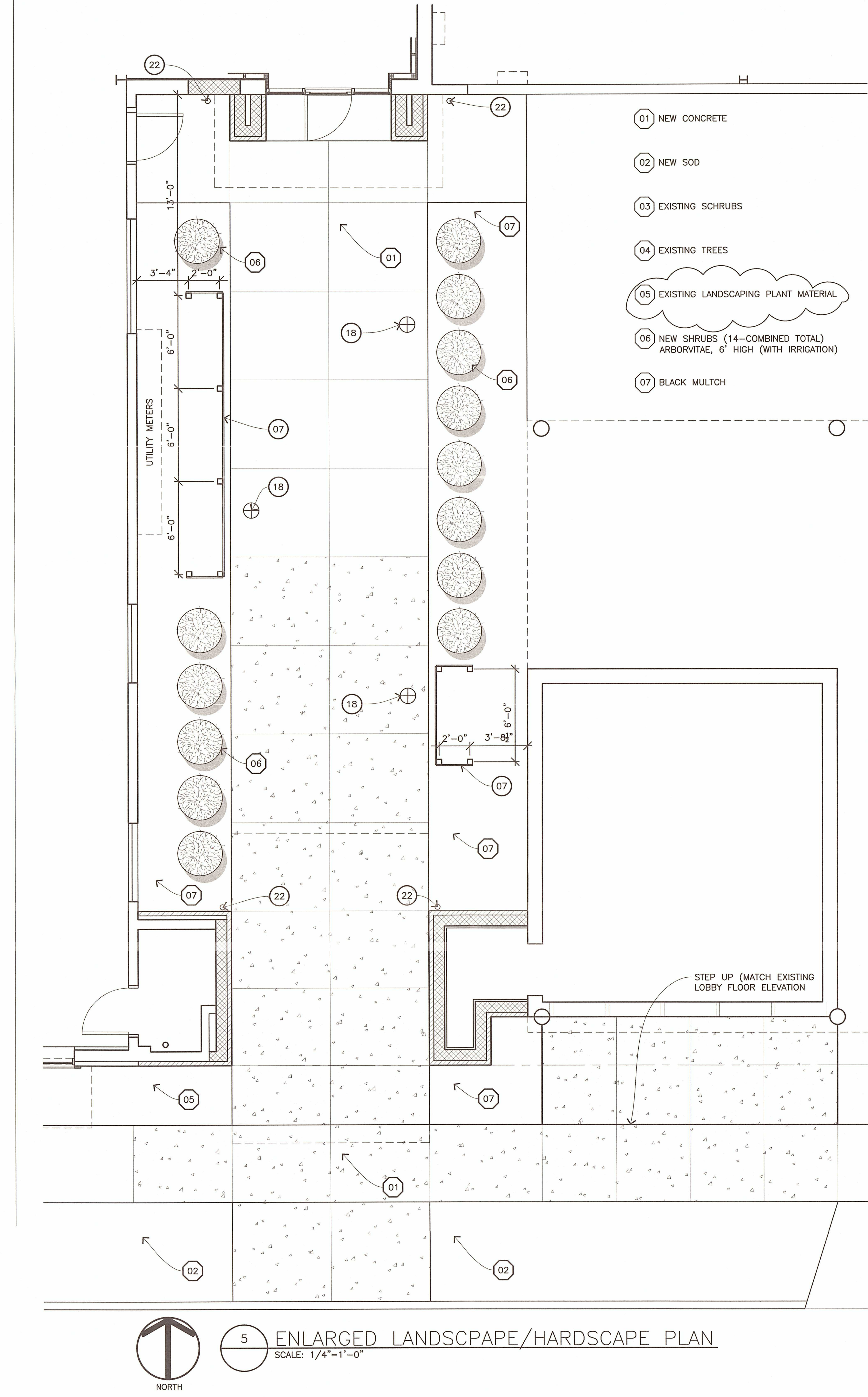
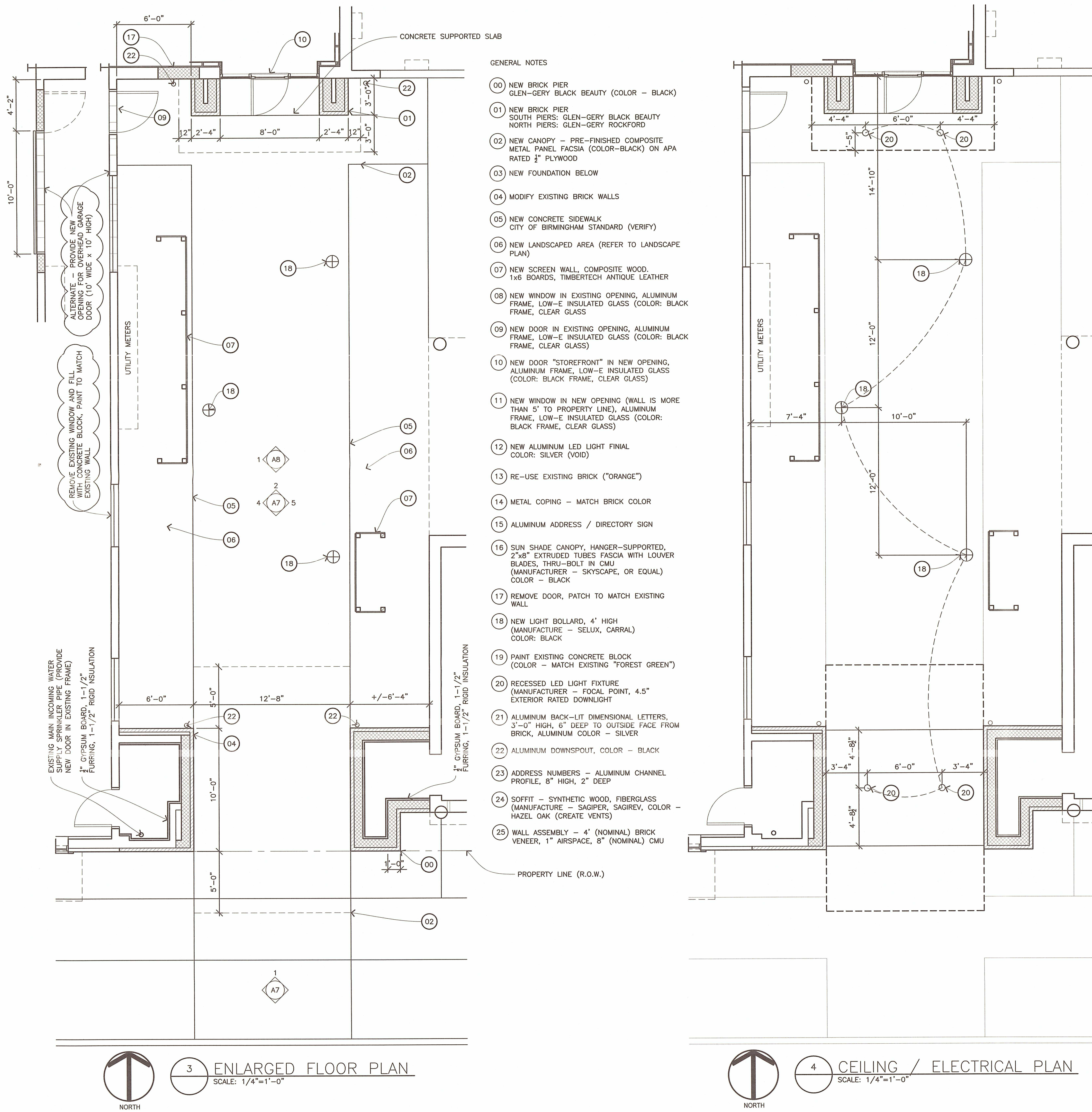
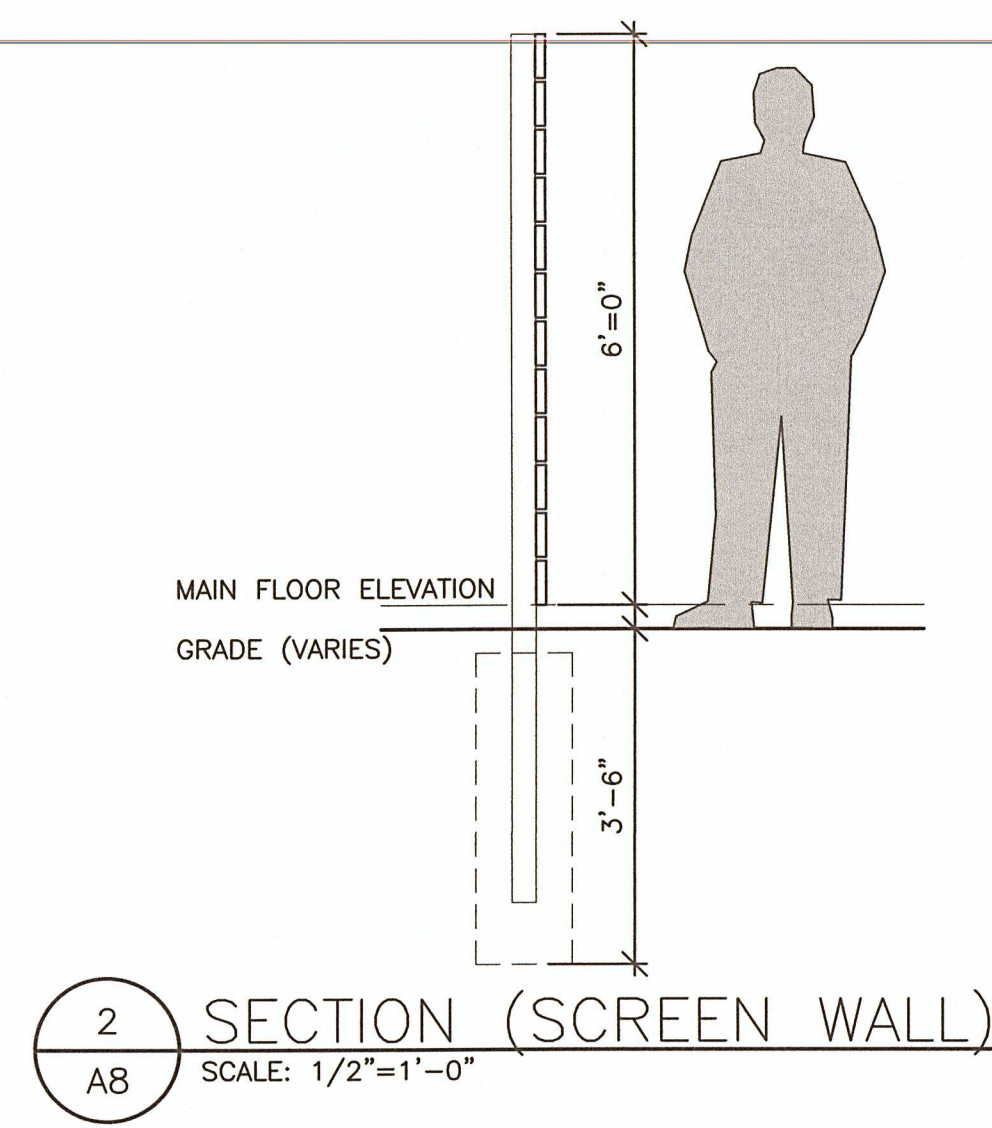
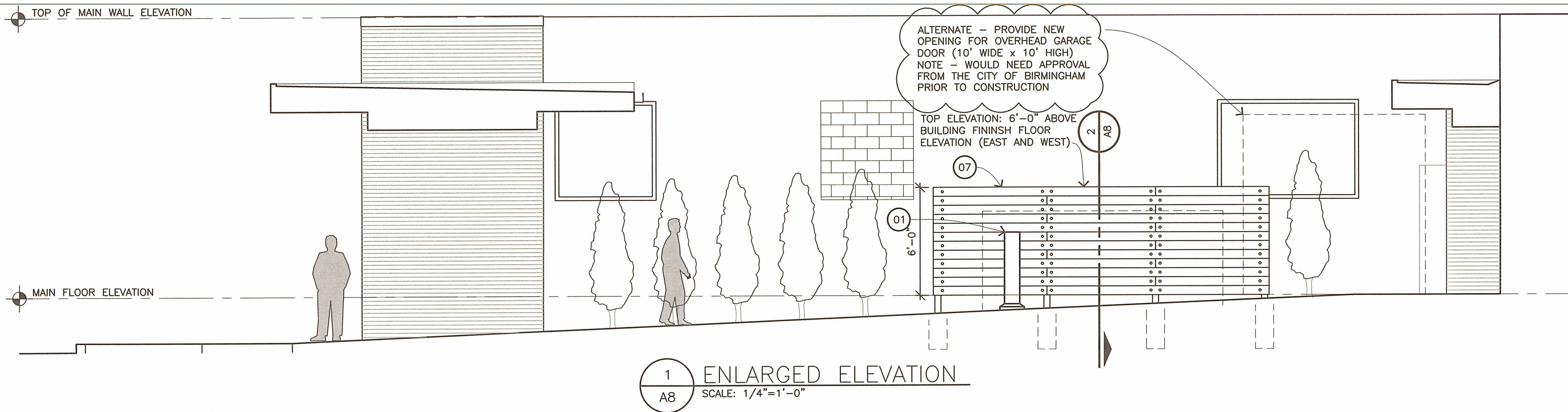
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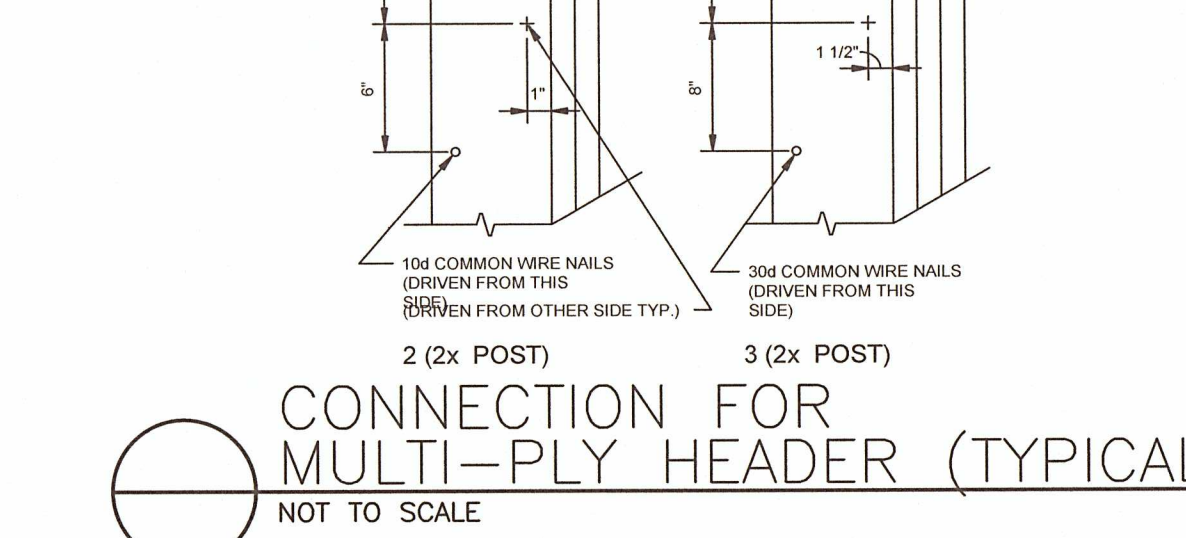
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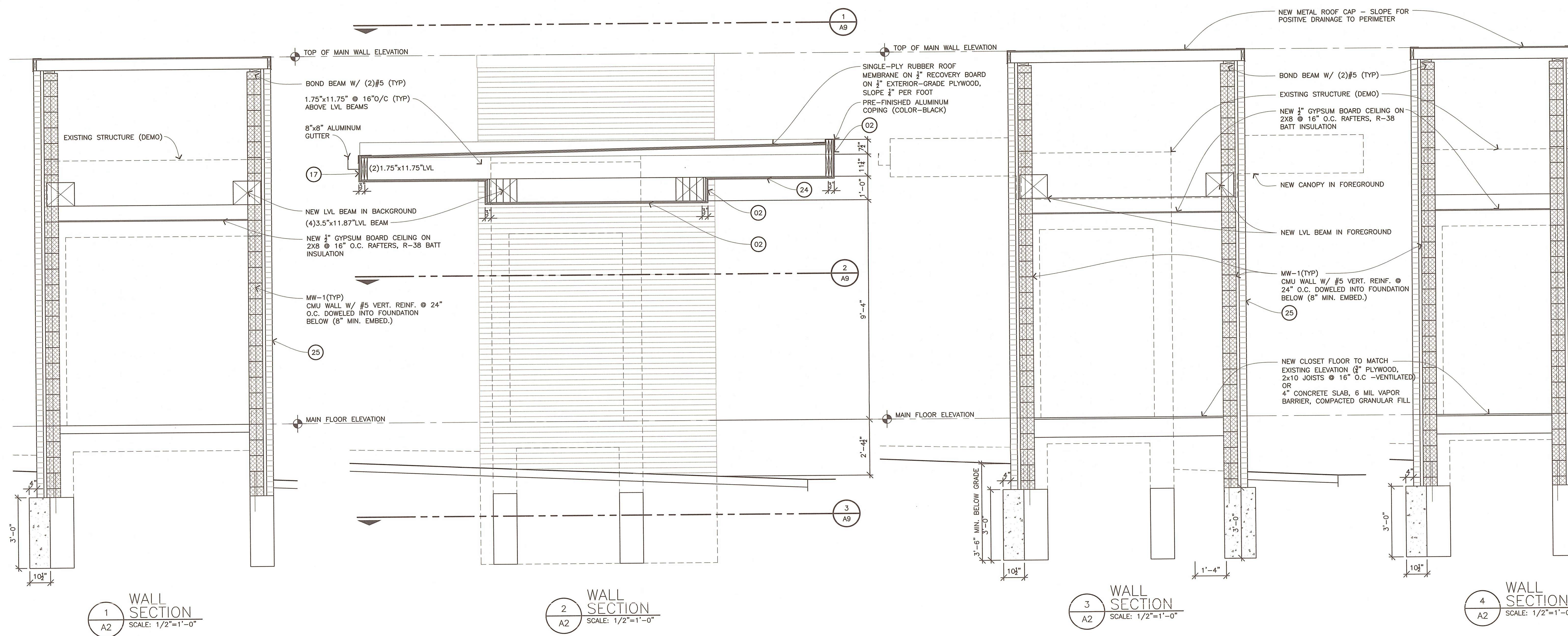




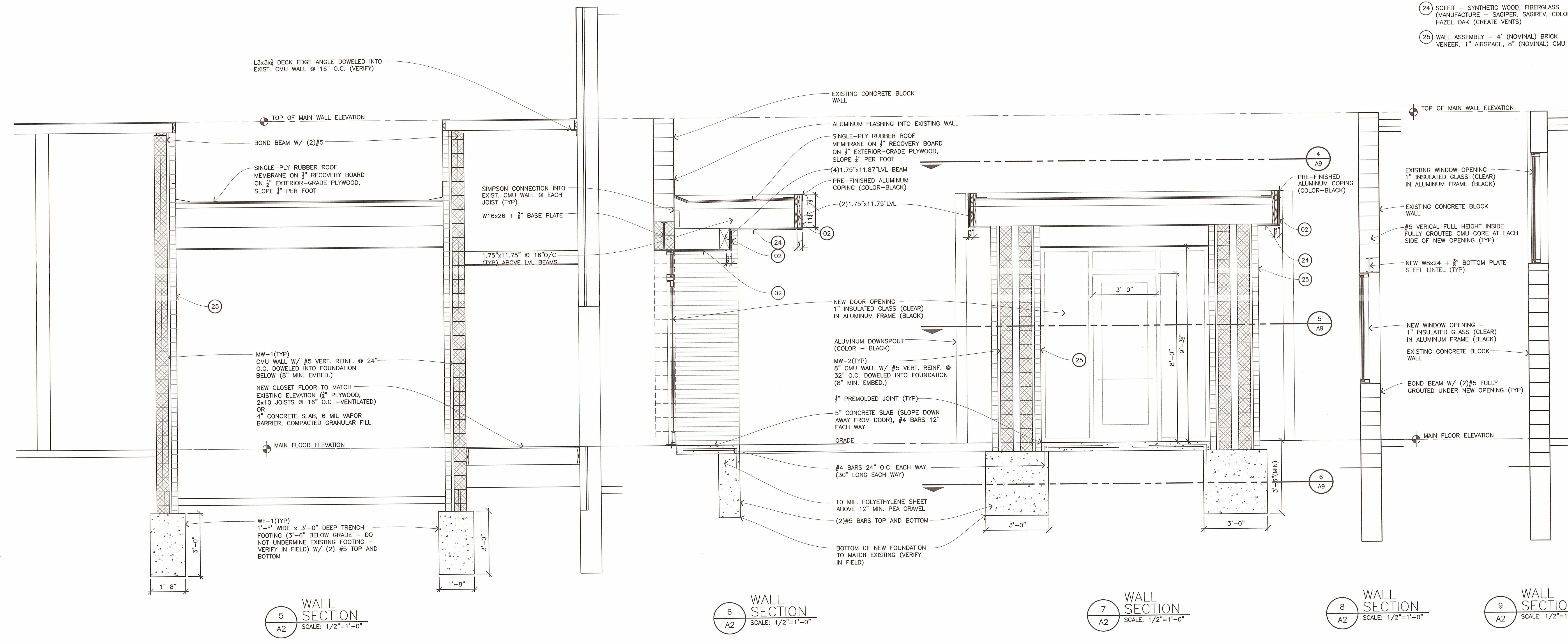








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**WALL SECTIONS  
(NEW)**

Project:  
**Lincoln  
Commerce Center  
Building Improvements**

2299 Lincoln  
Birmingham, Michigan

Phase:  
Contractor Bid, Building Permit

Date:  
June 9, 2021

Sheet:  
**A.10**



GENERAL STRUCTURAL NOTES

- The Structural notes are intended to augment the Drawings and specifications. Should conflicts exist between the Drawings, Specifications and the Structural notes, the strictest provision shall govern.
- The Structural drawings form an integral part of Contract Documents, which include Architectural, Structural, Mechanical, Electrical, Civil/Site drawings and Specifications. Contractor shall coordinate the Structural drawings with the requirements shown in the other components of the Contract Documents.
- Typical details and other sections/details apply to conditions that are similar to the conditions described in the sections/details, even if they are not specifically referenced on the plans.
- The Contractor shall be responsible for means, methods, sequences and procedures of construction.
- The structure is designed to be self-supporting and stable after it is fully completed per requirements of Contract Documents. Contractor shall determine erection procedures and sequence, and ensure the safety of the building and its component parts during erection. This includes the addition of temporary bracing, guys or tie downs if necessary. Contractor shall retain ownership of such material after completion of the project.
- Construction shall comply fully with the applicable provisions of OSHA and the local Governing Codes, current edition, and all requirements specified in the codes shall be adhered to as if they were called for or shown on the drawings. This shall not be construed to mean that requirements set forth on the drawing may be modified because they are more stringent than the code requirements or because they are not specifically required by code.
- Governing Building Code - Michigan (International) Building Code 2018. Standards listed in structural note sections refer to the version and effective date identified in the REFERENCED STANDARDS Chapter in the Governing Building Code.
- Work constructed per these drawings shall be inspected by an Independent Testing Agency retained to ensure compliance with the requirements shown on the Drawings. Special inspections required by the Governing Building Code, local building department and the Contract Documents shall be performed by a qualified Special Inspector. Project site visits by the Engineer do not constitute or replace inspection.
- For multi-story Wood construction, flexible joints for architectural, electrical, mechanical, and plumbing work between floors shall be used to eliminate potential issues due to structure movement from wood shrinkage.

SHORING AND BRACING

- Contractor shall provide temporary shoring and bracing of existing construction, new construction, and underground utilities as follows:
  - Where shown or noted on the Drawings.
  - Where existing construction is to be altered or disturbed until permanent support is in place.
  - Where existing construction is not undergoing alteration and is to remain undisturbed but is disturbed as a result of the work of this contract.
  - As required for safe erection, installation of new construction.
  - When needed for Contractor's means and methods of construction and other safety related issues.
- Shoring and bracing shown on the Drawings is conceptual. Contractor shall be responsible for verifying existing conditions, shoring and bracing calculations, methods of installation, transfer of loads through to final load support, and work sequence phasing with new construction.
- Shoring and bracing shall be performed by a Contractor with minimum 5 years demonstrated experience in similar size and scope of shoring and bracing projects.
- Shoring and bracing shall be designed by a Professional Engineer registered in the State of the Project with minimum 5 years demonstrated experience in similar size and scope of shoring and bracing projects. Design loads and methods shall conform to applicable codes. Soil and material strengths shall be verified by tests, unless conservative estimates that do not affect deflections and deformations are approved by the Architect/Structural Engineer.
- Contractor shall submit drawings and calculations sealed and signed by the Contractor's Professional Engineer showing complete design including temporary conditions, final conditions and sequence of work.
- Before starting work, Contractor shall perform condition survey of the existing building structure, exterior façade and interior finishes, including photographic documentation and submit survey to the Owner for record.
- During the shoring and bracing operations, Contractor shall:
  - Keep the existing and new construction in a safe condition.
  - Monitor existing and new construction to detect any signs of distress or deformation.
  - Take immediate steps to prevent distress, deformation or damage.
- Contractor shall continuously monitor the shoring and bracing system. Contractor shall review and ascertain that all field connections are completed according to the Contractor's design and issue approval for inspection of the work by the Testing Agency.
- After completion of shoring and bracing and completion of work requiring shoring and bracing, Contractor shall repair any damage to the existing and new construction, without any cost to the Owner, and to the satisfaction of the Owner and Architect/Structural Engineer.

EXISTING CONSTRUCTION

- Contractor shall visit the site and become familiar with the existing conditions.
- Existing building dimensions and conditions shown are based upon original drawings or partial survey and have not been completely field verified. The Owner and Architect/Structural Engineer take no responsibility for the accuracy of existing dimensions shown. Contractor shall field measure existing dimensions prior to shop drawing preparation and fabrication.
- Contractor shall verify conditions covering or affecting the structural work; obtain and verify all dimensions and elevations to ensure the proper strength, fit and location of the structural work; report to the Architect/Structural Engineer any and all conditions/discrepancies which may interfere with or otherwise affect or prevent the proper execution and completion of the new work in compliance with the Construction Documents. All discrepancies shall be fully resolved prior to commencing work.
- Existing construction not undergoing alteration is to remain undisturbed. Where such construction is disturbed as a result of the operations of this contract, Contractor shall repair or replace as required and to the satisfaction of the Architect/Structural Engineer and Owner's Representative.
- Contractor shall verify the existence, location and elevation of existing utilities, sewers, drains, etc. in demolition areas before proceeding with the work. All discrepancies shall be documented and reported to the Architect/Structural Engineer and Owner's Representative for resolution.
- Should uncharted piping or other utilities be encountered during excavation, Contractor shall consult the Architect/Structural Engineer and Owner's Representative for resolution.
- Contractor shall provide temporary protection of existing equipment during execution of work, satisfying the Owner's requirements.
- Contractor shall provide temporary protection to prevent damage from the weather and vandalism.
- Contractor shall coordinate work with the Owner's personnel to avoid any interference in their operations.
- Refer to SHORING AND BRACING notes for additional requirements.

FOOTINGS AND FOUNDATIONS

- Contractor shall verify all conditions, including underground utilities and field measurements at job site and report any discrepancies to Owner's Representative.
- Provide necessary sheeting, shoring, bracing, etc. as required during excavations to protect sides of excavations.
- Comply fully with requirements of OSHA and other regulatory agencies for safety provisions.
- Top of footing elevations noted on plan are minimum elevations. In all cases, footings are to bear on undisturbed natural soils or engineered fill having a minimum net allowable bearing capacity of 2,000 psf.
- Sides of foundations shall be formed. All concrete surfaces shall be maintained smooth and vertical. Slope sides of excavations as approved by the Geotechnical Engineer, and clean up slothing before and during concrete placement. If existing soil conditions warrant earth forming, Geotechnical Engineer shall make recommendations for specific preparation and procedure to follow.
- Where footing steps are necessary, they shall be no steeper than one vertical to two horizontal unless noted otherwise.
- Footings shall be centered under piers and walls unless specifically detailed otherwise on the Drawings.
- No footings or slabs shall be placed on or against sub-grade containing free water, frost or ice. Should water or frost, however slight, enter a footing excavation after sub-grade approval, the sub-grade shall be re-inspected by the Geotechnical Engineer/Testing Laboratory after removal of water or frost.
- The Contractor shall provide all necessary measures to prevent any frost or ice from penetrating any footing or slab sub-grade before and after placing of concrete until the full building enclosure is completed and heated.
- Excavated material shall be legally disposed of off the Owner's property or stored at the site or used for backfilling operations as required in accordance with the Geotechnical Engineer's recommendations and Project Specification requirements.
- Contractor shall furnish all required de-watering equipment to maintain a dry excavation until backfill is complete.
- Where new footings are adjacent or abut existing foundations, carefully hand excavate and determine bottom of existing foundation. If different than anticipated, adjust new foundations to match existing. In no case shall the new footing be lower than the existing without protection against undermining such as underpinning or shoring.
- Foundation bearing soils shall be inspected by a qualified Geotechnical Engineer. The testing shall include, but not be limited to, identification of soils at and below the foundation bearing level, and the allowable bearing capacity of these soils.
- A Geotechnical Engineer registered in the State of the Project shall inspect the condition and assure the adequacy of all subgrades, fills, backfills before placement of foundations, footings, slabs and walls. They shall submit reports to the Architect/Engineer describing their investigations, including any non-conforming work.

SITE PREPARATION

- Refer to Geotechnical Report for consideration related to site preparation and earthwork operations. The requirements and recommendations contained in the report are part of Contract requirements.

BACKFILLING

- Do not place backfill against foundation walls - designed as supported at top and bottom - until basement level and first floor slabs are in place. Shore and/or brace walls as required if backfilling operations are to be carried out prior to placement of floor slabs.
- Place backfill against basement retaining walls - designed as cantilevered - after concrete has attained design strength and before lower level and first floor slabs are in place.
- Where backfill is to be placed on both sides of foundation walls, provide a balanced backfill against foundation walls to eliminate lateral load effects, or provide necessary temporary lateral support to the top of the wall until permanent support is installed.
- Backfill material shall consist of clean, well grade granular soils, free of organic material, silt and clay, or as specified in the Project Specifications.
- Backfill material shall be compacted to 95% of maximum density, as determined by the Modified Proctor Method (ASTM D1557), in lifts not exceeding 6 inches.

CAST-IN-PLACE CONCRETE

- Concrete structural framing has been designed by the Ultimate Strength Method per ACI 318 "Building Code Requirements for Structural Concrete".
- Concrete work shall conform to the requirements of ACI 301, "Specifications for Structural Concrete", and ACI 318 "Building Code Requirements for Structural Concrete" except as modified by Structural requirements noted on the Drawings.
- All concrete work shall conform to ACI 201.2R, "Guide to Durable Concrete". Parking structures shall also conform to ACI 362.1R, "Guide for the Design and Construction of Durable Concrete Parking Structures".
- Cement shall conform to ASTM C150 "Specification for Portland Cement" type I or III.
- Concrete aggregates shall conform to ASTM C33 "Specification for Concrete Aggregates", and ASTM C330 "Specification for Light Weight Aggregates for Structural Concrete".
- Reinforcing shall conform to ASTM A615 grade 60, unless noted otherwise.
- Reinforcement shall be fabricated and erected according to the ACI standards. "Guide to Presenting Reinforcing Steel Design Details", ACI 315R.
- Welded wire fabric shall be furnished in flat sheets (rolls not permitted) and shall conform to ASTM A1064 and have a minimum side and end lap of 8 inches.
- Welding of reinforcing steel is prohibited unless specifically detailed. Welding where detailed shall conform to AWS D1.4 specification.
- A copy of ACI MNL-15 "Field Reference Manual", ACI 301 "Specifications for Structural Concrete" with selected ACI and ASTM references, shall be kept in the Contractor's field office.
- Concrete shall have a minimum 28-day compressive strength as follows:

Foundations:	4,000 psi
Slab-on-grade:	5,000 psi
- Exterior concrete, and interior concrete subjected to freeze/thaw cycles, salt, etc., including walls, shall be air-entrained 6% +/- 1%.
- Concrete shall be normal weight, unless indicated otherwise.
- Contractor shall submit the concrete mix design(s) for review by the Structural Engineer. Proportion mix designs and provide proof of mix design strength as defined in ACI 301. The submittal shall include cement type and source, cement cube strength, aggregate gradations, water tests, admixture catalog information and cylinder strength test results from 30 tests, on specimens with identical mix design, for each concrete mix, or other proof of strength per ACI 301.
- Contractor shall comply with ACI 301 and ACI 308.1 for cold weather concrete placement and shall protect concrete work from physical damage or reduced strength that could be caused by frost, freezing actions, or low temperatures.
- The approved materials and mix design shall be fully documented and reviewed by the Testing Agency for full compliance. Responsibility for obtaining the required design strength is the Contractor's responsibility.
- Use of calcium chloride, chloride ions, or other salts in concrete is not permitted.
- Samples for strength tests of each class of concrete placed each day shall be taken by the Testing Agency in accordance with Project Specification requirements or ACI 301, whichever is more stringent.
- Contractor shall prepare and submit reinforcement shop drawings to the Structural Engineer for review prior to fabrication. The shop drawings shall clearly show reinforcement lengths and bends, locations of bars, methods of support, details of placement and placement coordination with formwork, embedments, concrete vibration, and construction joints. The drawings shall also indicate openings, sleeves, curbs, and concrete dimensions in accordance with ACI 315R.
- Minimum lap splice shall be Class B per ACI 318 [Increase lap length by 50% for coated bars unless noted otherwise on the drawings]. Location of lap splices shall be as indicated on Construction Documents and/or as shown on the approved reinforcing steel shop drawings.
- Reinforcing steel shall not be cut, bent or straightened in the field unless approved by the Structural Engineer or as indicated on the Drawings.
- Reinforcing steel shall be placed with the following concrete cover and tolerances unless noted otherwise:

A. Concrete cast against earth (not formed):	3"
B. Formed concrete exposed to earth or weather:	
a. #5 bars or smaller:	1 1/2"
b. #6 thru #18 bars:	2"
C. Clearance between parallel bars in a horizontal layer shall not be less than the bar diameter, 1", or 4/3 d agg, whichever is greater.	
D. Clearance between parallel bars in two or more horizontal layers, shall not be less than 1" between layers.	
E. Maximum deviation from these requirements shall be:	
+ 3/8" for sections with dimensions of 8' or less	
+ 1/2" for sections with dimensions over 8'	
- No aluminum conduit or products containing aluminum or any other material injurious to the concrete shall be embedded in the concrete.
- Dowels into foundation shall match size and spacing of vertical reinforcement at all CMU walls, unless noted otherwise.
- Contractor shall coordinate all masonry dowel sizes and spacing to be cast into concrete with masonry reinforcing shop drawings.
- For control joints in slabs, space joints at maximum 15'-0" on center unless noted otherwise on the Drawings.
- The Concrete Contractor shall be responsible for all pour sequences and construction procedures for all concrete work to account for temperature differentials and shrinkage occurring during the construction phase until the building is permanently in a mechanically controlled environment.
- Prior to placing concrete adjacent to existing concrete, mechanically roughen, then thoroughly clean and de-grease existing concrete surfaces. Apply epoxy bonding agent prior to placing fresh concrete. Bonding agent shall be "Sika Amnatec 110 EpoCem" by Sika Corporation, or approved equal. Follow all Manufacturer's instructions for surface preparation, mixing, and application.
- Non-shrink grout shall conform to ASTM C1107. Grout shall be premixed, non-shrink, non-catalyzed natural aggregate grout with a minimum 7-day compressive strength of 7,000 psi plastic, 6,000 psi flowable, and 5,000 psi fluid consistency.
- Reinforcing steel, anchor rods, and embed placement shall be inspected, prior to placement of concrete, in accordance with ACI 318 and code required Special Inspection by qualified Inspector prior. These inspections are not included in the basic services of the Structural Engineer of Record.

MASONRY NOTES

- Concrete masonry has been designed in accordance with TMS 402/602, "Building Code Requirements and Specifications for Masonry Structures".
- Concrete Masonry to have a minimum 28-day compressive strength  $f_m$ =2,000 psi unless noted otherwise.
- Concrete Masonry units (CMU) shall conform to the following standards:

a. Load Bearing Units:	ASTM C90
b. Medium Weight Units:	105 to 125 pcf
c. Normal Weight Units:	greater than 125 pcf
- Load-bearing CMU shall be at minimum medium weight units, unless noted otherwise.
- Mortar for all masonry shall conform to ASTM C270 with minimum compressive strength of 1,800 psi. Mortar below grade shall be type M. Elsewhere mortar may be either type M or S unless specifically indicated otherwise. Use either Portland cement/mortar or masonry cement for mortar.
- Grout shall conform to ASTM C476 with minimum 28-day compressive strength of 3,000 psi.
- Steel bar reinforcement shall conform to ASTM A615, grade 60.
- Horizontal joint reinforcement shall be "Ladder" type with 3/16 inch diameter longitudinal bars. Spacing of horizontal joint reinforcing shall be 16" on center, maximum.
- Minimum vertical CMU wall reinforcing shall be continuous #5 bars at 48" on center, unless noted otherwise.
- Dowels to concrete foundation or slab to match size and spacing of reinforcing unless noted otherwise. Reinforce CMU core at corners, each side of control joints and each side of wall openings with additional (2) #5 continuous vertical reinforcing bars.
- Vertical cells containing reinforcing and grout shall form a continuous cavity, free of mortar droppings.
- Horizontal bond beams shall be placed at all floor levels, all stair landing levels, roof level, and top of parapets. Bond beams shall be reinforced with (2) #5 minimum continuous horizontal reinforcing bars positioned at the top of the fully grouted bond beam, unless noted otherwise. Coordinate bond beam elevations with Architectural Drawings and approved masonry reinforcing shop drawings.
- Horizontal bond beam and vertical reinforcing shall be continuous unless noted otherwise. Lap splice reinforcing per the schedule below or use mechanical splices adequate for 125% of specified yield strength of the bar. Lap vertical reinforcement with minimum dowels of same size and spacing that have been previously installed in the foundations. Dowel embedment in concrete shall conform to the requirements of the CAST-IN-PLACE CONCRETE notes.

BAR SIZE	LAP SPLICE LENGTH
#4	24"
#5	30"
#6	48"
- Reinforcing bars shall be held in position by wire ties or other approved means to insure design location and lap. Place bars and lap prior to grouting.
- Grouting of masonry walls shall conform to recommended procedure for "low lift grouting" or "high lift grouting" as outlined in the NCMA TEK 3-2A - "Grouting Concrete Masonry Walls" and TMS 402/602. Grout lifts shall not exceed 5 feet without mechanically consolidated (vibrated) grout pours.
- Lifts of grout shall be keyed 4 inches into the previous course of masonry below.
- Masonry below grade shall be grouted solid.
- Sampling and Testing of mortar and grout shall be in accordance ASTM C780 and ASTM C1019, respectively. One test of each is required for each 5,000 square foot of wall.
- Construction and testing of masonry prisms shall be in accordance with the procedure outlined in the ASTM C1314.
- Special inspection of masonry construction is required. Refer to project specifications and TMS 402/602 for quality assurance requirements. Special inspection shall include at minimum:
  - Mortar and grout testing.
  - Reinforcement placement and lap verification.
  - Verification of clear grout space prior to grouting.
  - Verification of proper grouting procedures (grout lift and consolidation).
- Contractor shall brace masonry walls to resist wind loads until roofs are in place, and the masonry has reached 75% of the required strength  $f_m$ . Bracing shall be provided in accordance with OSHA - Construction Safety Standards for Masonry Wall Bracing and NCMA TEK 3-4B - "Bracing Concrete Masonry Walls During Construction".

POST-INSTALLED ANCHORS

- Post-installed anchors include all mechanical and adhesive anchors noted on Construction Documents. All post-installed anchors shall conform to AC193 for mechanical anchors and AC308 for adhesive anchors.
- Use only code approved anchors with valid ICC-ESR Evaluation Report for use in base material shown on the Construction Documents. Submit ICC-ESR Evaluation Report to Structural Engineer and Special Inspection Agent for approval.
- Installer of post-installed anchors shall be trained by anchor Manufacturer.
- Clean existing concrete surface to solid structural concrete. Grind smooth for full steel contact and to prevent gaps between steel and concrete. Alternatively, provide non-shrink grout in all voids between steel and base material.
- Drill smaller diameter pilot hole in existing concrete and check for existing reinforcing. Do not cut or damage existing reinforcing.
- If existing reinforcing is found, shift hole to avoid existing reinforcing. Submit location of new hole to Structural Engineer for review.
- Install mechanical anchors and adhesive anchors in strict accordance with Manufacturer's written recommendations and procedure detailed in ICC-ESR Evaluation Report.
- Special Inspections are required for all mechanical and adhesive anchors. Inspect and test post-installed anchors as specified in ICC-ESR Evaluation Report.
- The following anchors are approved. Submittals for alternative equal anchors will be reviewed by Structural Engineer and approved at their discretion.

Anchor Type:	Approved Anchor	ICC-ESR Report No.	Base Material
--------------	-----------------	--------------------	---------------

Screw Anchors	Hilti Kwik HUS-EZ	ESR-3027	Concrete
	ESR-3056	Grouted Masonry	
Steel Drop-In Anchor	Hilti HDI/HD-L	(n/a)	Concrete
Expansion Anchors	Hilti Kwik Bolt TZ	ESR-1917	Concrete
	Hilti Kwik Bolt 3	ESR-2302	Concrete
		(un-cracked only)	
	Hilti Kwik Bolt 3	ESR-1385	Grouted Masonry
Adhesive Anchors	Hilti HIT-HY200 SAFESET	ESR-3187	Concrete
	Hilti HIT-HY70 + HAS/REBAR	ESR-3342	Grouted Masonry
	Hilti HIT-HY70 + HAS/REBAR	ESR-2682	Hollow Masonry

Note: Refer to plan notes, details and/or schedules for diameter of anchor rods or size of rebar used and the embed depth required for post-installed anchors.

STRUCTURAL STEEL

- Design, fabrication and erection of structural steel shall be in accordance with the American Institute of Steel Construction (AISC) 360 Specification for Structural Steel Buildings and the Steel Construction Manual, Allowable Strength Design ASD.
- Structural steel shall conform to the following ASTM specifications and minimum yield strength:

W Shapes	A572 Gr. 50	$F_y = 50$ ksi
Miscellaneous shapes and plates A36		$F_y = 36$ ksi
- Masonry and brick lintels shall be galvanized G90 per ASTM A123.
- Checkedered plate shall be  $F_y = 36$  ksi steel per ASTM A786 and have medium raised lug pattern.
- Anchor rods shall conform to ASTM F1554 Grade 36, unless noted Grade 55 or other on Drawings.
- Structural steel bolting shall be ASTM A325 type N, 3/4" diameter snug tight except where other size, ASTM A490 N, pre-tensioned or slip-critical type bolts are indicated.
- Welding shall be done with appropriate E70 series electrodes compatible with the new and existing steel. Welds and welding procedures shall conform to, and welders shall be qualified in accordance with the "Structural Welding Code - Steel" of the American Welding Society, ANSI/AWS D1.1.
- Anchor rods, base plates and bearing plates shall be located and built into connecting work, pre-set by templates or similar method prior to concrete placement. Plates shall be set in full beds of non-shrink grout.
- The length, dimension and connection detail from new structural member to existing structures shall be field verified before fabrication. Field modifications to the fabricated member or connection are not allowed without prior approval by the Structural Engineer. Contractor shall submit sketches or shop drawings detailing proposed modifications for approval.
- Clean steel per SSPC-SP3 and shall receive one shop coat of paint. Omit paint at holes for slip critical type connections, at structural steel to be fireproofed, encased or in contact with concrete, and on top flange of beams receiving shear connectors.
- Shop and Field Testing of welds and/or bolts shall be as follows:
  - All welds shall be visually inspected; 15% at random shall be measured.
  - Filllet welds for beam and girder shear connection plates (10% at random) shall be checked by magnetic particle (ASTM E709) for final pass only.
  - Check 100% of continuity plate fillet welds by magnetic particle on test layers.
  - Ultrasonically test 100% of full penetration welds (ASTM E94 & E1032).
  - Ultrasonically test 100% of partially penetration column splice welds.
  - Visually inspect that all bolted connections are made with proper fastener components, are fabricated properly and the bolted joint is drawn into firm contact.
  - Check by calibrated torque wrench 25% of bolts in each slip critical shear connection, but not less than two (2) bolts per connection.
  - Inspect all expansion anchors and adhesive (epoxy) anchors according to manufacturer's recommendations. Pull test minimum 5% and minimum 2 of each application of location and anchor type.
  - Ultrasonically test for laminations in column flanges at moment connections to columns with flanges over 1 1/2 inch thickness. Test prior to fabrication, after fabrication and after final field welding of beam to column flange.
- Welding shall be inspected by an AWS Certified Welding Inspector (CWI).
- Contractor shall schedule work to allow the above testing requirements to be completed.

STEEL DECK

- Steel decks shall be as noted on drawings, fabricated and erected in accordance with the latest Steel Deck Institute (SDI) specifications.
- Manufacturer shall be a member of the Steel Deck Institute (SDI).
- Steel deck shall have galvanized coating conforming to ASTM A653, coating designation G90 for roof deck and G60 for floor deck. Touch-up paint galvanized surfaces with zinc rich paint after cutting and welding. Clean as required to receive fireproofing. Refer to Architectural drawings for fireproofing requirements.
- Steel decking shall be welded to structural steel by qualified welders using pre-qualified procedures. Establish a welding procedure for the plug weld of the steel decking to the structural steel for the particular gage used. Prior to the start of erection of the steel deck, each welder shall be qualified according to AWS requirements.
- No loads shall be permitted to be hung from any roof deck. Mechanical piping over 2 1/2 inches in diameter shall not be hung from floor deck. Hangers for ceilings, ductwork, electrical conduit, piping, etc. shall be directly from structural steel work or supplementary members.

WOOD CONSTRUCTION

- Structural sawn lumber, glued laminated timber and connections have been designed in accordance with the "National Design Specifications for Wood Construction."
- Plywood has been designed in accordance with "Plywood Design Specification".
- Structural sawn lumber shall be Spruce-Pine-Fir No.1/No.2 or better with base design values:

$F_b = 875$ psi	$F_c$ (perpendicular) = 425 psi
$F_t = 450$ psi	$F_c$ (parallel) = 1,150 psi
$F_v = 135$ psi	$E = 1,400$ ksi

With installed moisture content of the wood not to exceed 19%.
- Structural glued laminated timbers shall be produced in accordance with ANSI/AITC A190.1 and ASTM D3737, stress class 24F-1.8E with base design values:

$F_{bx} = 2,400$ psi	$F_c$ (perpendicular) = 650 psi
$F_t = 1,100$ psi	$F_c$ (parallel) = 1,600 psi
$F_{vx} = 240$ psi	$E = 1,800$ ksi

With installed moisture content of the wood not to exceed 10%.
- Structural composite lumber shall conform to ASTM D5496 with the following allowable design stresses:

Microslam LVL
$E = 2,000$ ksi
$F_b = 2,500$ psi
$F_c$ (parallel) = 2,310 psi
$F_v$ (perpendicular) = 750 psi
$F_{vx} = 230$ psi

With installed moisture content of the wood not to exceed 6%.
- Installed moisture content of wood construction shall be monitored at regular intervals to ensure moisture content does not exceed the limits described herein.
- Plywood shall conform to "Voluntary Product Standard PS 1, Structural Plywood".
- Oriented Strand Board (OSB) shall conform to "Voluntary Product Standard PS 2, Performance Standard for Wood-Based Structural-Use Panels".
- Roof sheathing shall be 15/32" APA Rated Sheathing, 32/16 min. Exposure 1. Install with the long dimension or strength axis of the panel across supports and with panel continuous over two or more spans. Provide 6d common nails at 12" on center along supported panel edges and 12" on center at intermediate supports.
- Provide one line of bridging for each eight feet of span for roof joists. The bridging shall consist of 1 inch by 3 inch lumber, double nailed at each end, of equivalent metal bracing of equal rigidity or full depth solid blocking.
- Joists shall be supported laterally at the ends and at each support by solid blocking not less than 2 inches in thickness and the full depth of the joist.
- Holes bored in joists shall not be within 2 inches of the top or bottom of the joist and the diameter of any such hole shall not exceed one-third the depth of the joist.
- Joist framing from opposite side of a beam, girder, or bearing wall shall be lapped at least 3 inches.
- Bolts and lag screws shall conform to ASTM A307.
- Nails, spikes and staples shall conform to ASTM F1667.
- The fastening schedule for wood framing elements shall comply with the IBC, Table 2304.10.1.
- Lumber shall be so handled and covered as to prevent marring and moisture absorption from snow or rain until the canopy is enclosed.
- Joist and beam members shall NOT be cut, notched, or cored.
- shall not be hung from floor deck. Hangers for ceilings, ductwork, electrical conduit, piping, etc. shall be directly from structural steel work or supplementary members.





**APPROVED**  
11/14/21  
PAA21-0102

## Administrative Approval Application Planning Division

*Form will not be processed until it is completely filled out.*

### 1. Applicant

Name: Barbat Capital, LLC  
Address: 7499 Middlebelt Road  
West Bloomfield, MI 48322  
Phone Number: 248-426-8200  
Email: joe@barbatholdings.com

### 2. Property Owner

Name: Barbat Capital, LLC  
Address: 7499 Middlebelt Road  
West Bloomfield, MI 48322  
Phone Number: 248-426-2105  
Email: john@barbatholdings.com

### 3. Project Contact Person

Name: Jessica Mathis  
Address: 7499 Middlebelt Road  
West Bloomfield, MI 48322  
Phone Number: 248-606-9904  
Email: jmathis@barbatholdings.com

### 4. Project Designer/Developer

Name: Thomas Roberts Architect  
Address: 2927 4th Street  
Wyandotte, MI 48192  
Phone Number: 248-505-9360  
Email: nichole@thomasrobertsarchitect.com

### 5. Required Attachments

- Two (2) folded copies of project plans including an itemized list of all changes for which Administrative Approval is requested, with the changes marked in color on all elevations
- One (1) digital copy of project plans
- Warranty Deed with legal description of property
- Photographs of existing conditions on the site where changes are proposed
- Material samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- Completed Administrative Approval checklist

### 6. Project Information

Address/Location of Property: 400 S. Old Woodward Ave.  
Birmingham, MI 48009 **Unit 205**  
Name of Development: Birmingham Houze  
Parcel ID #: 19-36-205-042  
Current Use: Mixed-use: 1st floor commercial; 2nd/3rd floors residential  
Proposed Use: 1st flr commercial; 2nd flr residential and office; 3rd flr residential  
Area of Site in Acres: 0.58 acres  
Current Zoning: B-2B, D2 overlay, parking assessment

	Yes	No
Is the property located in a floodplain? -----	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the property within a Historic District? ---	<input type="checkbox"/>	<input checked="" type="checkbox"/>
→ If so, which? _____		
Will the project require a variance? -----	<input type="checkbox"/>	<input checked="" type="checkbox"/>
→ If so, how many? _____		
Has the project been reviewed by a Board? <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
→ If so, which? <u>Design Review Board Meeting on</u>		
<u>Wednesday, April 15, 2020</u>		

### 7. Details of the Request for Administrative Approval

The drawings that were approved for permit included nine apartments at the west end of the second floor. The Owner would now like to use that space for one business office, to be occupied by a leasing tenant. The floor area affected by this modification is 8,333 square feet. The remainder of the second and third floors will remain as previously approved. The office design includes a folding glass wall at one of the covered balconies on the west facade as well.

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan. By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Applicant: \_\_\_\_\_

Date: 8-31-2021

Office Use Only			
Application #: <u>PAA21-0102</u>	Date Received: <u>8/21/21</u>	Fee: \$ <u>100.00</u>	Reviewed By: _____
Date of Approval: <u>11/14/21</u>	Date of Denial: <u>NA</u>		





### CONSENT OF PROPERTY OWNER

I, Barbat Capital, LLC, OF THE STATE OF Michigan AND  
(Name of Property Owner)

COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 400 S. Old Woodward Ave., Birmingham, MI 48009;  
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of

Birmingham by: Joe Barbat;  
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the  
City of Birmingham.

Name of Owner (Printed): Joe Barbat

Signature of Owner: [Signature]

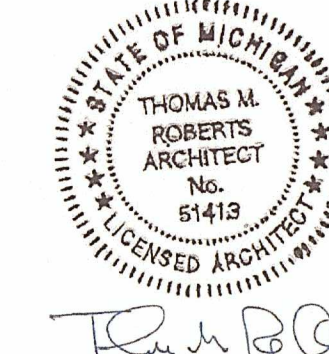
Date: 8-31-2021





THOMAS  
ROBERTS  
ARCHITECT, LLC  
2927 4th Street  
Wyandotte, MI 48192  
(734) 250.4032

2020-03-30	DESIGN REVIEW BOARD
2020-04-17	BIDS AND PERMITS
2020-08-12	PLAN REVIEW REVISIONS
2021-05-27	PLANNING ADMIN APPROVAL
2021-08-31	PLANNING ADMIN APPROVAL



Birmingham Houze  
Residential Apartments Build-Out  
400 S. Old Woodward Ave.  
Birmingham, Michigan 48009

TR  
principal in charge  
NM  
project manager  
NM  
project architect  
EL  
drawn

03/06/2020  
date  
20002  
job number

A201  
sheet number

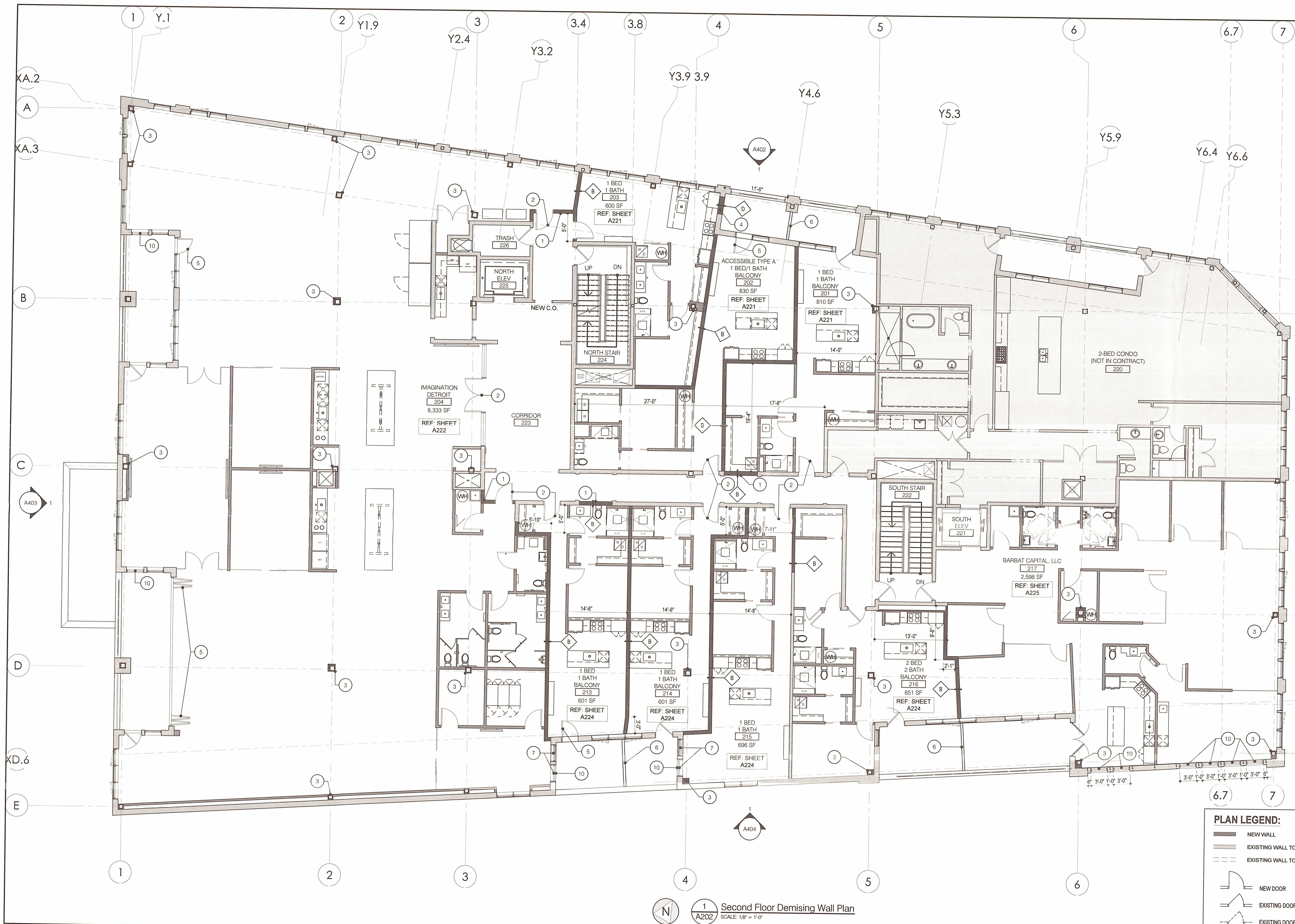
ISSUANCES

REVISIONS

Seal

print date: 09.17.2021





1  
A202  
Second Floor Demising Wall Plan  
SCALE: 1/8" = 1'-0"

- GENERAL PLAN NOTES:**
- A. All new walls are partition Type A' unless otherwise noted (see sheet A003 for partition types).
  - B. Openings, penetrations and joints on fire resistant rated horizontal & vertical assemblies shall be protected, provide approved systems for fire stopping, fire blocking and draftstopping.
  - C. Infill missing sections of existing walls to remain. New surfaces to be flush with adjacent existing surfaces.
  - D. Prep all existing unfinished floors, walls and ceilings to receive new finishes as schedules, refer to schedules.
  - E. Provide new wood casing at all existing doors and windows to remain.
  - F. Final locations of devices to be coordinated onsite with Architect prior to installation, including thermostats, emergency lights, fire alarms, detectors, etc.

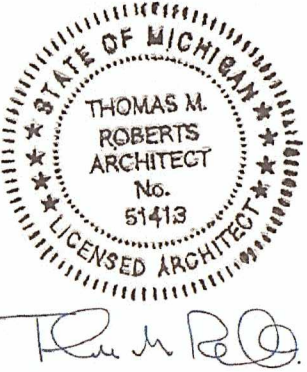
- DEMOLITION GENERAL NOTES:**
- A. Demolition requires the selective removal and subsequent off site disposal of the following:
    - A.A. Portions of the building structure indicated on drawings and as required to accommodate new construction.
    - A.B. Removal of interior partitions as indicated on drawings.
    - A.C. Removal of existing doors as indicated on drawings, but existing frames to remain, unless otherwise noted.
  - B. Remove debris, rubbish and other materials resulting from demolition operations from building site. Comply with EPA regulations and disposal regulations of authorities having jurisdiction. Transport and legally dispose and recycle of materials off site. Burning of removed materials is not permitted on project site.
  - C. Owner may occupy portions of the building immediately adjacent to selective demolition areas. Conduct selective demolition so Owner's operations will not be disrupted.
  - D. Perform selective demolition work in systematic manner. Demolish concrete at junctures with construction to remain using power-driven masonry saw or hand tools. Provide services for effective air and water pollution controls as required by local authorities having jurisdiction.
  - E. Locate, identify, shut off, disconnect and cap off utility services and mechanical / electrical systems serving areas to be selectively demolished. If unanticipated mechanical, electrical or structural elements which conflict with intended function or design are encountered, investigate and measure both nature and extent of conflict. Submit report to Owner's Representative in written, accurate detail. Pending receipt of directive from Owner's Representative rearrange selective demolition schedule as necessary to continue overall job progress without delay.
  - F. Maintain services / systems indicated to remain and protect them against damage during selective demolition operations. Before proceeding with demolition, provide temporary services / systems that bypass area of selective demolition and that maintain continuity of services / systems to other parts of the building.
  - G. Provide temporary barricades and other protection required to prevent injury to people and damage to adjacent buildings and facilities to remain.
  - H. Provide and maintain shoring, bracing and structural supports as required to preserve stability and prevent movement, settlement or collapse of construction and finishes to remain or construction being demolished. Unless specifically noted, all walls are assumed to be loadbearing.
  - I. Provide temporary weather protection to prevent water leakage and damage to structure and interior areas.
  - J. Protect walls, ceilings, floors and other existing finish work that are to remain. Erect and maintain dustproof partitions. Cover and protect furniture, furnishings and equipment that have not been removed.
  - K. Neatly cut openings and holes plumb, square and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction.
  - L. Upon completion of demolition work, remove tools, equipment and demolished materials from site. Remove protections and leave areas broom clean. Legally dispose of demolished materials. Do not burn demolished materials.
  - M. Repair all demolition performed in excess of that required. Return structures and surfaces to condition existing prior to commencement of selective demolition work. Repair adjacent construction or surfaces damaged by selective demolition work at no cost to Owner.

- PLAN KEY NOTES:**
- 1 Remove existing balcony door and frame. Salvage for reuse.
  - 2 Remove existing window and frame. Salvage for reuse.
  - 3 Remove portion of existing exterior wall to accommodate new window.
  - 4 Remove portion of existing corridor wall to accommodate new apartment entry door and frame.
  - 5 Remove portion of existing corridor wall to accommodate new corridor extension.
  - 6 Remove existing partition in its entirety.
  - 7 Remove existing interior door and frame. Salvage for reuse.
  - 8 Remove portion of existing exterior wall to accommodate new balcony door and frame.
  - 9 Infill opening in corridor wall flush with existing construction and prep to receive new finishes as scheduled.
  - 10 Provide new rated wood door, frame, and threshold at apartment entrance to match existing. Refer to door schedule for additional information.
  - 1 Enclose existing exposed column, and plumbing where it occurs. Refer to plan detail on sheet A501.
  - 2 Infill opening in exterior wall flush with existing construction. Exterior finish to match existing adjacent surface. Prep and finish interior as scheduled.
  - 3 Provide new glazed aluminum clad wood balcony door - style and finish to match existing balcony doors.
  - 4 Provide new balcony privacy screen. Bronze anodized aluminum frame; frosted tempered glass. Mount to floor and walls.
  - 5 Provide frosted glazing film on interior surface of window.
  - 6 Provide new finish floor assembly flush with existing finished floor; see section 1/A501.
  - 7 Provide 5/8" gyp bd on interior face of existing exterior wall, typical. Where the south exterior wall is less than 10'-0" from the property line, provide Type X gyp bd to complete the 1 hr rated fire resistant assembly.
  - 8 Provide new window and frame to match existing.

- PLAN LEGEND:**
- NEW WALL
  - EXISTING WALL TO REMAIN
  - EXISTING WALL TO BE REMOVED
  - NEW DOOR
  - EXISTING DOOR TO REMAIN
  - EXISTING DOOR TO BE REMOVED

THOMAS  
ROBERTS  
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2927 4th Street  
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2020-03-30	DESIGN REVIEW BOARD
2020-04-17	BIDS AND PERMITS
2020-08-12	PLAN REVIEW REVISIONS
2021-05-27	PLANNING ADMIN APPROVAL
2021-08-31	PLANNING ADMIN APPROVAL



Birmingham Houze  
Residential Apartments Build-Out  
400 S. Old Woodward Ave.  
Birmingham, Michigan 48009

TR  
principal in charge  
NM  
project manager  
NM  
project architect  
EL  
drawn  
03/06/2020  
date  
20002  
job number  
A202  
sheet number



**Design Review Board Action List – 2021**

<b>Design Review Board</b>	<b>Quarter</b>	<b>Rank</b>	<b>Status</b>
Wall Art	1 <sup>st</sup> (January-March)	1	<input checked="" type="checkbox"/>
Update Sign Ordinance	2 <sup>nd</sup> (April-June)	2	<input type="checkbox"/>
Create New Informational Artwork for Sign Ordinance	3 <sup>rd</sup> (July-September)	3	<input type="checkbox"/>
Sign Ordinance Enforcement	4 <sup>th</sup> (October-December)	4	<input checked="" type="checkbox"/>

## Updates:

1. Wall Art ordinance created and has been approved by Planning Board
  - a. Public Hearing for Wall Art set for City Commission on 12/13/21
2. Sign Ordinance update in progress.
  - a. Work with City Attorney to improve
3. Not completed, but is planned as a part of the Sign Ordinance update, carry over to 2022



**Design Review Board Action List – 2022**

<b>Design Review Board</b>	<b>Quarter</b>	<b>In Progress</b>	<b>Complete</b>
?	1 <sup>st</sup> (January-March)	<input type="checkbox"/>	<input type="checkbox"/>
Update Sign Ordinance	2 <sup>nd</sup> (April-June)	<input type="checkbox"/>	<input type="checkbox"/>
Create New Informational Artwork for Sign Ordinance	3 <sup>rd</sup> (July-September)	<input type="checkbox"/>	<input type="checkbox"/>
Sign Ordinance Enforcement	4 <sup>th</sup> (October-December)	<input type="checkbox"/>	<input type="checkbox"/>