

AGENDA
BIRMINGHAM DESIGN REVIEW BOARD
Wednesday - June 15, 2022
BIRMINGHAM CITY HALL, 151 MARTIN ST, COMMISSION ROOM 205, BIRMINGHAM MI *
******* 7:15 PM*******

Per the CDC, Oakland County has a COVID-19 Community level and transmission level of HIGH. The City continues to highly recommend the public wear masks while attending City meetings per CDC guidelines. These precautions are due to COVID-19 transmission levels remaining high in Oakland County that have led to an increase in infections of City employees and board members. All City employees, commissioners, and board members must wear a mask while indoors when 6-feet of social distancing cannot be maintained. This is to ensure the continuity of government is not affected by an exposure to COVID19 that can be prevented by wearing a mask. The City continues to provide KN-95 respirators and triple-layered masks for all in-person meeting attendees.

- 1) Roll Call
- 2) [Approval of the DRB Minutes of May 18, 2022](#)
- 3) Public Hearing
- 4) Design Review
 - A. [220 Park – Request for façade changes to existing building](#)
 - B. [34660 Woodward – Village Players – Request for Wall Art](#)
- 5) Sign Review
- 6) Study Session
- 7) Miscellaneous Business and Communication
 - A. Pre-Application Discussions
 - B. Draft Agenda
 1. [July 6, 2022](#)
 - C. Staff Reports
 1. [Administrative Sign Approvals](#)
 2. [Administrative Approvals](#)
 3. [Action List 2022](#)
- 8) Adjournment

*Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall, 151 Martin St., or may attend virtually at:

Link to Access Virtual Meeting: <https://zoom.us/j/91282479817>
Telephone Meeting Access: 877 853 5247 US Toll-free
Meeting ID Code: 912 8247 9817

Notice: Individuals requiring accommodations, such as interpreter services for effective participation in this meeting should contact the City Clerk's Office at [\(248\) 530-1880](tel:2485301880) at least on day in advance of the public meeting.

Las personas que requieren alojamiento, tales como servicios de interpretación, la participación efectiva en esta reunión deben ponerse en contacto con la Oficina del Secretario Municipal al [\(248\) 530-1880](tel:2485301880) por lo menos el día antes de la reunión pública. (Title VI of the Civil Rights Act of 1964).

A PERSON DESIGNATED WITH THE AUTHORITY TO MAKE DECISIONS MUST BE PRESENT AT THE MEETING.



MEMORANDUM

Planning Division

DATE: June 15, 2022
TO: Design Review Board
FROM: Nicholas Dupuis, Planning Director
SUBJECT: 220 Park – Design Review

Zoning: B4 (Business-Residential) & D4 (Downtown Overlay)
Existing Use: Commercial

Introduction

The applicant has submitted a Design Review application for modifications to an existing 3-story commercial building in Downtown Birmingham. The subject site is located on the east side of Park, north of Hamilton Row.

On May 18, the Design Review Board moved to postpone the proposal to June 15, 2022 to give the applicant time to address the issues noted in the Staff Report.

Building Exterior

The site/design plans submitted contain proposals for new work at the main entrance, new windows along the Woodward/Hamilton Row facades, lighting, and renovated planter boxes. The material palette is as follows:

Material	Location	Color
Brick (existing) w/ new stone cap	Planter boxes	Natural
?	Canopy	Dark Bronze
Aluminum/Glass	Storefront System	Dark Bronze
Metal Panel	Main Entrance	Dark Bronze

The proposed renovations are minor in nature in terms of new materials. However, the building is subject to the Downtown Overlay Architectural Standards as outlined in Article 3. Section 3.04 (E) of the Zoning Ordinance. The following standards apply to the proposed renovation:

1. At least 90% of the exterior finish material on all facades that face a street shall be limited to the following: glass, brick, cut stone, cast stone, coarsely textured stucco, or wood. Dryvit or E.F.I.S is prohibited.

2. The primary colors of building exteriors shall be compatible with the colors of adjacent buildings and in character with the surrounding area, although the trim may be of a contrasting color.
3. Blank walls shall not face a public street. Walls facing a public street shall include windows and architectural features customarily found on the front facade of a building, such as awnings, cornice work, edge detailing or decorative finish materials.
4. Storefronts shall be directly accessible from public sidewalks. Each storefront must have transparent areas, equal to 70% of its portion of the facade, between one and eight feet from the ground. The wood or metal armature (structural elements to support canopies or signage) of such storefronts shall be painted, bronze, or powder-coated.
5. Storefronts shall have mullion systems, with doorways and signage integrally designed. Mullion systems shall be painted, powder-coated, or stained.
6. The glazed area of a facade above the first floor shall not exceed 35% of the total area, with each facade being calculated independently.
7. Clear glazing is required on the first floor. Lightly tinted glazing is permitted on upper floors only. Windows shall not be blocked with opaque materials or the back of shelving units or signs.
8. Facade openings, including porches, windows, and colonnades, shall be vertical in proportion.
9. Facades may be supplemented by awnings, which shall be straight sheds without side flaps, not cubed or curved. Awnings shall be between 8 and 12 feet above sidewalk grade at the lower drip edge.

At this time, the applicant appears to meet the above standards, with the exception of the various glazing/window requirements, which will be discussed in the Planning and Zoning section below.

Signage

There are no new signs proposed as a part of the Design Review application submitted. However, the applicant does appear to be proposing new address numerals placed above the canopy. Table A of the Sign Ordinance requires address numerals to be no greater than 8 in. in height. The applicant has not submitted a dimension of the numerals. However, using the scale provided on Sheet A.201, the numerals appear to measure 24 in. in height.

The sign could, however, be considered as regular commercial signage as a building identification sign, which would require it to conform to the rest of the Sign Ordinance and specifically the canopy sign regulations. At this time, the sign would NOT meet the requirements of the canopy sign ordinance.

Thus, **the applicant must submit design plans demonstrating address numerals that do not exceed 8 in. in height, or submit plans that detail the proposed numerals as commercial signage that meet the requirements of the Sign Ordinance.**

Lighting

The applicant has submitted specification sheets and a photometric plan pursuant to Article 4, Section 4.21 of the Zoning Ordinance. The light fixtures proposed are wall mounted sconces and soffit mounted down lighting. The soffit lights appear to be mostly replacements for existing fixtures beneath the soffit of the building above the first floor. The new wall mounted sconces, which also appear to be replacements, are proposed on columns along the Park, Hamilton Row and Woodward facades. The light fixtures appear to be cutoff as required and defined by Section 9.02 of the Zoning Ordinance.

As far as the photometric plans submitted, the applicant is required to maintain a maximum light intensity of 1.5 maintained foot-candles at all property lines measure at 6 ft. above grade on a vertical plane. The photometric plan provided shows intensity levels at 6 ft. that exceed the maximum permitted intensity along the Hamilton Row and Park property lines. Thus, **the applicant must submit revised lighting/photometric plans that meet the requirements of Article 4, Section 4.21 of the Zoning Ordinance.**

Planning and Zoning

As the building/site is not changing its use or size, there are no bulk, height or area requirements that must be reviewed at this time. However, there are some planning and zoning issues that require review as a part of the Design Review application submitted:

- Projections into the Right-of-Way – The applicant is proposing to provide a new canopy at the main entrance along Hamilton Row. Article 4, Section 4.74 (D)(4)(C)(i) states that:

Removable architectural elements such as awnings, canopies, marquees may be approved by the Design Review Board to project into the right of way provided that they are constructed to support applicable loads without any ground mounted supports on public property. Encroachments with less than 15 ft. of clearance above the sidewalk shall not extend into or occupy more than two-thirds of the width of the sidewalk or 5 ft., whichever is less, and must not interfere with any existing or planned streetscape elements or infrastructure.

The applicant has submitted detailed drawings of the canopy that indicate a 5 ft. projection into the Park right-of-way. Additionally the applicant has provided a dimension of 11.5 ft. from grade to the bottom of the canopy, which exceeds the minimum of 8 ft. However, it does not appear that the applicant has provided a dimension of the Park sidewalk. Using the scale provided, the sidewalk appears to measure 6 ft., which would permit a projection of 4 ft. Therefore, **the applicant must submit revised plans detailing a canopy that projects no more than 4 ft. into the Park right-of-way.**

- Glazing – The applicant has indicated that the existing storefront glazing system at the main entrance will be replaced, as well as new glazing added on the 2nd and 3rd floor at

the corner of Woodward and Hamilton Row. As noted above, the applicant is required to maintain 70% transparency on the storefront façade and no more than 35% transparency on the upper stories. Although the applicant has not submitted glazing calculations for the storefront facades or the upper story facades, it is clear that the applicant does not meet the storefront glazing requirements. The current condition at the storefront is considered legal non-conforming and may be allowed to continue, as the applicant is not proposing to expand the non-conformity.

As for the upper story glazing, it is also clear that the transparency figures do not exceed 35% transparency at these stories, even with the addition of new glazing where there was previously none.

However, in addition to the glazing percentage, the window standards also require clear glazing (80% Visual Light Transmittance) at the first floor and permits lightly tinted glazing (70% Visual Light Transmittance) on upper floors. The applicant has indicated that the storefront façade will be clear, but has not submitted specification sheets for the proposed glass. **The applicant must submit specification sheets for the proposed glazing.**

- Building Use – The D4 overlay zone requires buildings to provide retail on the first floor along the retail frontage line and a maximum of 2 stories of office use. The building is currently used as office/commercial, and building use is not proposed to change as a part of the Design Review application submitted.
- Parking – Similar to the use section above, a parking analysis is not required, as the building use is not proposed to change. In addition, the building is located in the Parking Assessment District, thus no parking is required to be provided for the commercial uses within.
- Landscaping – There are no landscaping installations on site. The applicant has indicated the renovated planter boxes will be planted, and that planting design will be submitted separately through Administrative Approval.

Required Attachments

(see next page)

	Submitted	Not Submitted	Not Required
Detailed and Scaled Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Interior Floor Plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Landscape Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Photometric Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Colored Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Material Specification Sheets	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Material Samples	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site & Aerial Photographs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Design Standards

Article 7, Section 7.09 states that the Design Review Board shall review all documents submitted pursuant to this section and shall determine the following:

1. All of the materials required by this section have been submitted for review.
2. All provisions of this Zoning Ordinance have been complied with.
3. The appearance, color, texture and materials being used will preserve property values in the immediate neighborhood and will not adversely affect any property values.
4. The appearance of the building exterior will not detract from the general harmony of and is compatible with other buildings already existing in the immediate neighborhood.
5. The appearance of the building exterior will not be garish or otherwise offensive to the sense of sight.
6. The appearance of the building exterior will tend to minimize or prevent discordant and unsightly properties in the City.
7. The total design, including but not limited to colors and materials of all walls, screens, towers, openings, windows, lighting and signs, as well as treatment to be utilized in concealing any exposed mechanical and electrical equipment, is compatible with the intent of the urban design plan or such future modifications of that plan as may be approved by the City Commission.

Planning Division Analysis

Based on the requirements of Article 7, Section 7.09, the Planning Division recommends that the Design Review Board **APPROVE** the Design Review application for 220 Park with the following conditions:

1. The applicant must submit design plans demonstrating address numerals that do not exceed 8 in. in height, or submit plans that detail the proposed numerals as commercial signage that meets the requirements of the Sign Ordinance;
2. The applicant must submit revised lighting/photometric plans that meet the requirements of Article 4, Section 4.21 of the Zoning Ordinance;

3. The applicant must submit revised plans detailing a canopy that projects no more than 4 ft. into the Park right-of-way; and
4. The applicant must submit specification sheets for the proposed glazing.

Sample Motion Language

Motion to **APPROVE** the Design Review application for 220 Park with the following conditions:

1. The applicant must submit design plans demonstrating address numerals that do not exceed 8 in. in height, or submit plans that detail the proposed numerals as commercial signage that meets the requirements of the Sign Ordinance;
2. The applicant must submit revised lighting/photometric plans that meet the requirements of Article 4, Section 4.21 of the Zoning Ordinance;
3. The applicant must submit revised plans detailing a canopy that projects no more than 4 ft. into the Park right-of-way; and
4. The applicant must submit specification sheets for the proposed glazing.

OR

Motion to **POSTPONE** the Design Review application for 220 Park pending receipt of the following:

1. _____
2. _____
3. _____

OR

Motion to **DENY** the Design Review application for 220 Park for the following reasons:

1. _____
2. _____
3. _____

220 Park Street Birmingham MI 48009

Boji Group LLC
Ken Lamontagne
220 Park Street, Suite 102
Birmingham, MI 48009
P. 313.682.2100

Krieger | Klatt Architects Inc.
1412 E. 11 Mile Rd.
Royal Oak, MI 48067
P.248.414.9270.
F.248.414.9275

1. Facade Improvements to existing Hamilton Row, Park St, Hamilton Row, and Woodward elevations to incorporate new glazing and entrance canopy.
2. Planter repair work

Sheet No	Title
G.001	Cover Sheet
C.100	Architectural Site Plan
C.103	Photometric Plan
C.104	Existing Site & Building Photographs
C.105	Existing Surrounding Site Photographs
A.101	1st Floor Plan
AC.100	Exterior Soffit Plan
A.200	Exterior Elevations - Illustrated
A.201	Exterior Elevations
A.202	Exterior Elevations
A.203	Exterior Elevations - Enlarged
A.300	Exterior Renderings

ZONED: B-4 BUSINESS-RESIDENTIAL, D-4 DOWNTOWN BIRMINGHAM OVERLAY DISTRICT
LOT AREA: 19,993 SQ. FT. (EXIST)
PARCEL NUMBER: 1925-455017
PROPERTY DESCRIPTION:
 1/2N, 1/2E, SEC 25 ASSESSOR'S PLAT NO 21 LOTS 42 & 70 ALSO LOT 43 EXC BEG AT SW LOT COR, TH N 82-23-30 E 5.50 FT, TH N 08-05-01 W 30.43 FT, TH ALG BEG TO LEFT, RAN 125 F, CHORD BEARS N 16-36-50 W 37.08 FT, DIST OF 37.22 FT, TH N 08-05-01 E 67.06 FT TO BEG, ALSO VACC PART OF 1/2N, 1/2E, SEC 25 ASSESSOR'S PLAT NO 21 LOTS 42 & 70 BEG AT SW LOT COR, TH S 25-02-55 E 18.65 FT, TH ALG CURVE TO RIGHT, RAN 125 F, CHORD BEARS S 27-25-49 E 9.97 FT, DIST OF 9.97 FT, TH N 08-05-01 W 26.72 FT TO BEG 01/11/89 OR BEAR 01 & 1 & 012

1. EXISTING BUILDING: 14,578 SQ. FT.

1. EXISTING BUILDING: 14,578 SQ. FT.

1. EXISTING BUILDING: 14,578 SQ. FT.

14,578 SQ. FT. / 19,993 SQ. FT. = **73%** LOT COVERAGE
MAXIMUM LOT AREA: NA

(126 2.38.2 B4)

1. FRONT YARD (3) REQUIRED: 0.00
-EXISTING SETBACK TO REMAIN

4. REAR YARD REQUIRED: 10.00'
-EXISTING SETBACK TO REMAIN

EXISTING: _____ BELOW GRADE PARKING TO REMAIN



PRELIMINARY NOT FOR CONSTRUCTION

krieger klatt
ARCHITECTS
architecture interiors consulting
2120 E. 11 Mile Rd. | Royal Oak, MI 48067
P: 248.414.9270 F: 248.414.9275
www.kriegerklatt.com

Client:

Boji Group
220 Park Street
Birmingham MI 48009

Project:

220 Park Street
Birmingham, MI 48009

[illegible]

Seal:

Note:

Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.

North Arrow:

Sheet Title:

Cover Sheet

Project Number:

22-014

Sheet Number

G.001

General Site Plan Notes

1. Existing street light poles and street scaping are shown for reference only
2. Existing drive-thru and canopy to remain
3. Seasonal plantings will be maintained by third party at all planter locations on site
4. Existing exterior railings to be replaced with new brushed alum.
5. Planting design to be done by Michael Dul and submitted for administrative approval.

Project:

Boji Group
220 Park Street

[illegible]

Seal: _____

Note:

Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.

North Arrow:



Sheet Title:

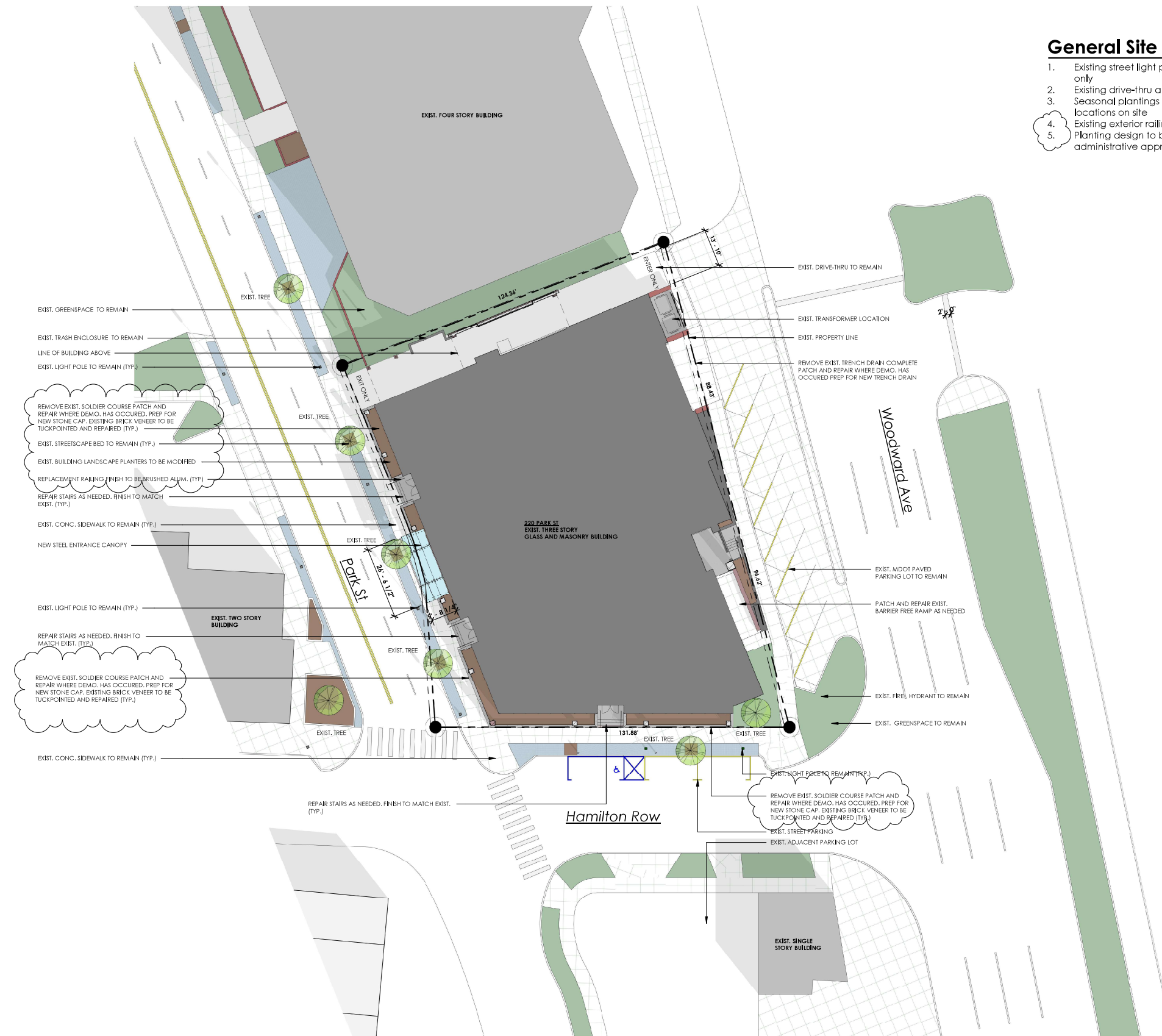
Architectural Site Plan

Project Number:

21-014

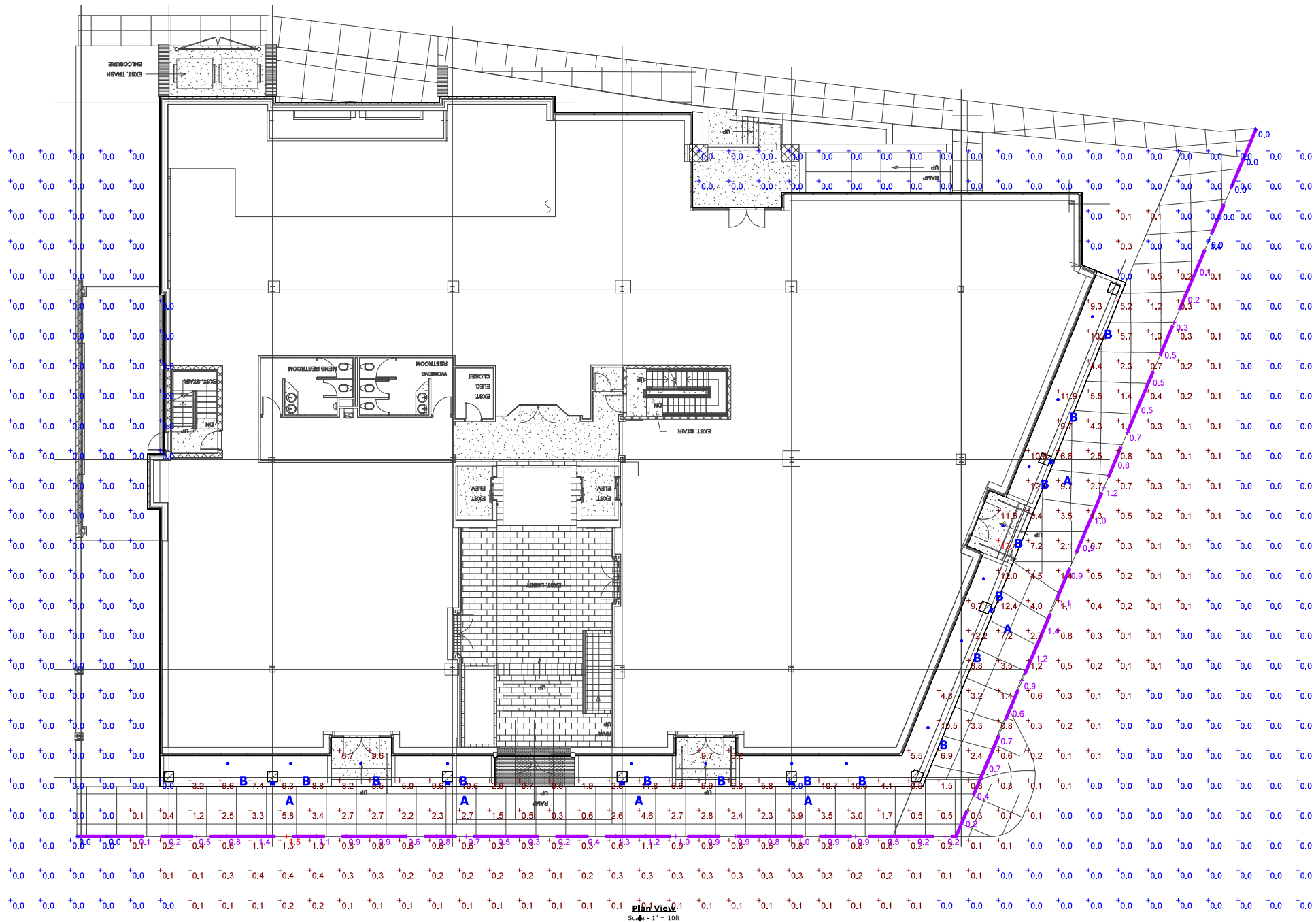
Sheet Number:

C.100



Site Plan

1" = 20'-0"



General Note

1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 6' - 0"
3. LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

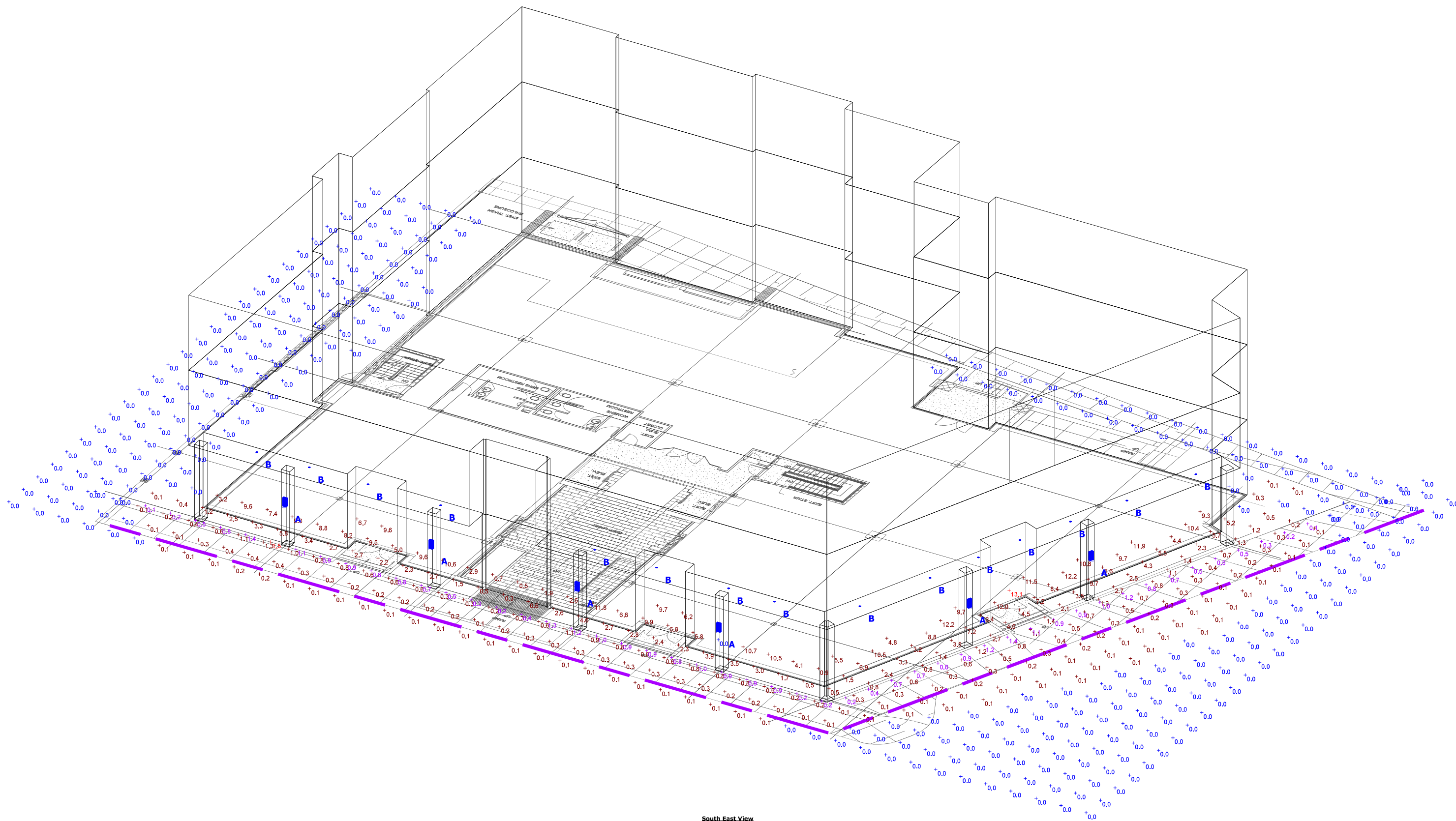
FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Statistics						
Description	Symbol	Avg	Max	Min	Avg/Min	Max/Min
Calc Zone #1	+	1.0 fc	13.1 fc	0.0 fc	N/A	N/A
Property Line	+	0.6 fc	1.5 fc	0.0 fc	N/A	N/A

Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height
	A	6	VISA LIGHTING	OW1047 L40K-L	WALL SCNCE - HALF CYLINDER 20"	LED	1137	0.9	12	8'
	B	15	Focal Point	FLC4D-RO-2000L-120-LD1-T/LC4-RDO-2000L-35K-DSS-VWFL-CD-NP	4.5" LED RECESSED DOWNLIGHT 4000K VERY WIDE FLOOD	LED	1656	0.9	25.58	15'



South East View



krieger klatt
ARCHITECTS
architecture interiors consulting
2120 E. 11 Mile Rd. | Royal Oak, MI 48067
P: 248.414.9270 F: 248.414.9275
www.kriegerklatt.com

Client: _____
Boji Group
220 Park Street
Birmingham MI 48009

Project:
220 Park Street
Birmingham, MI 48009

[illegible]

Seal: _____

Note:

Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.

North Arrow: _____

Sheet Title:

Existing Site &
Building
Photographs

Project Number:

22-014

Sheet Number:



krieger klatt
ARCHITECTS
architecture interiors consulting
2120 E. 11 Mile Rd. | Royal Oak, MI 48067
P: 248.414.9270 F: 248.414.9275
www.kriegerklatt.com

Client: _____
Baji Group
220 Park Street
Birmingham MI 48009

Project: _____
220 Park Street
Birmingham, MI 48009

[illegible]

Seal: _____

Note:

Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.

North Arrow: _____

Sheet Title:

Existing
Surrounding Site
Photographs

Project Number:

22-014

Sheet Number: _____

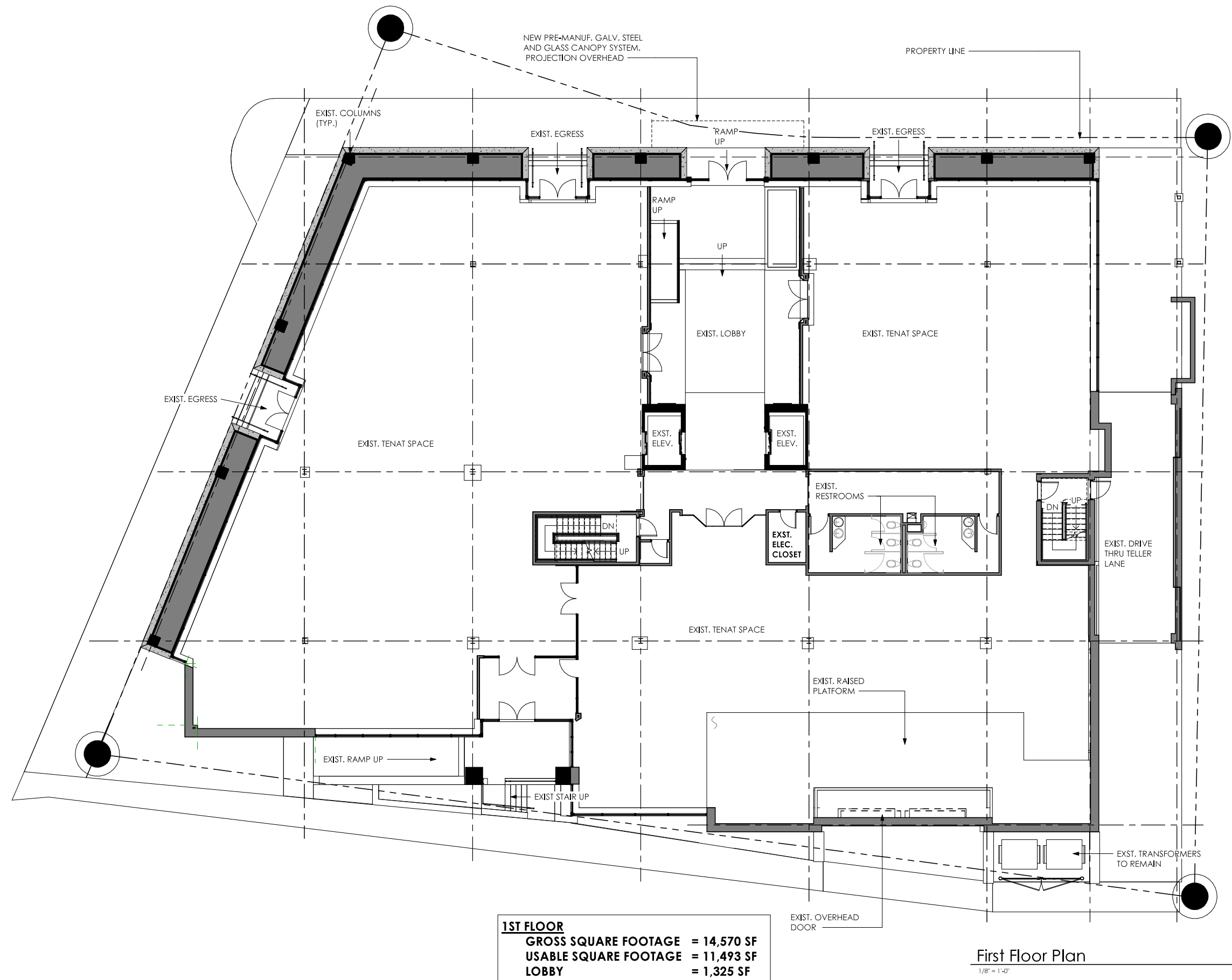
[illegible]

North Arrow: _____



Sheet Number: _____

A.101



[illegible]

Seal: _____

Note:

Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.

North Arrow: _____

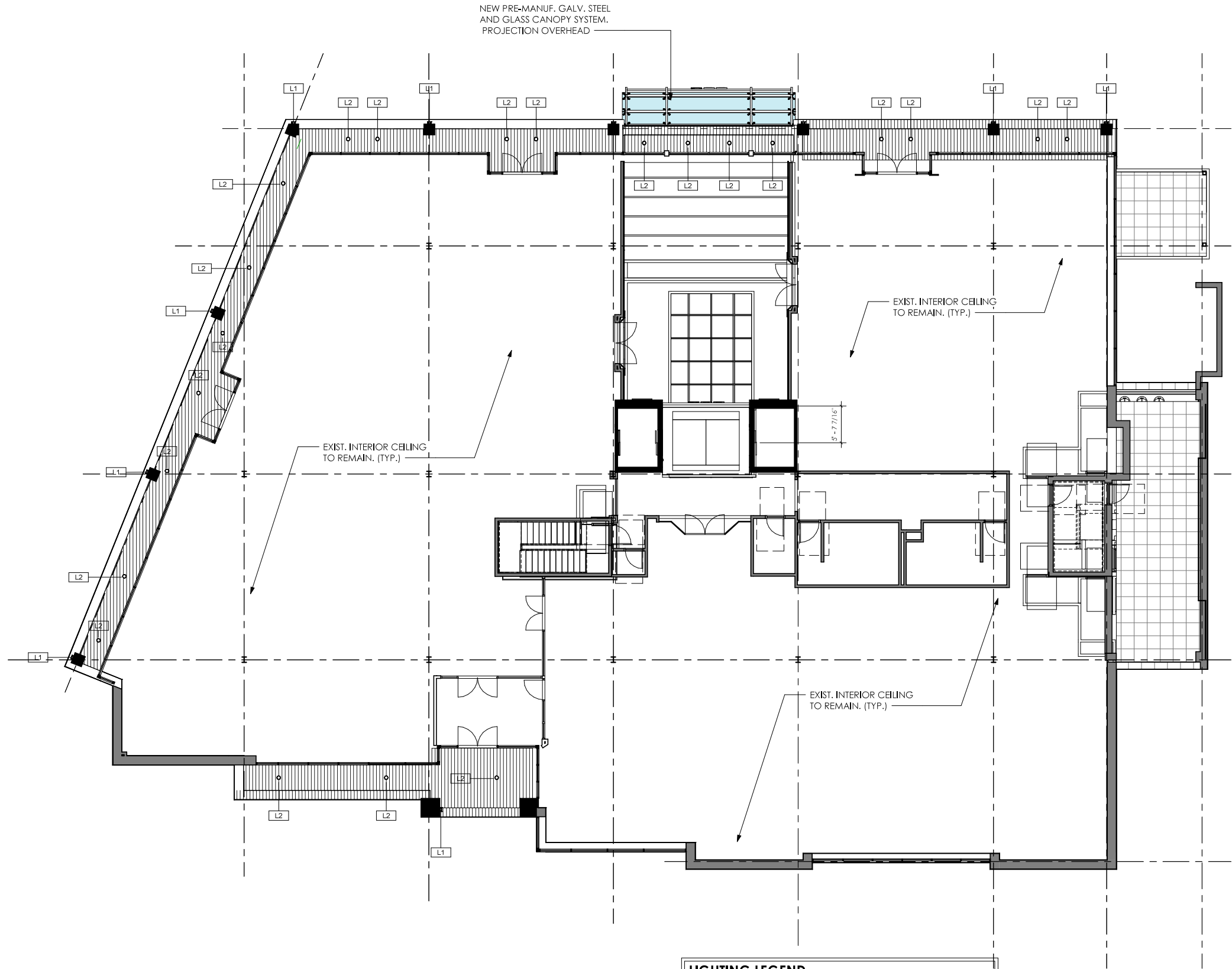
Sheet Title: _____



Exterior Soffit Plan

Project Number: _____
22-014

Sheet Number: _____

AC.100



LIGHTING LEGEND	
	
<p><u>WALL MOUNTED LIGHT FIXTURE '11'</u> Make: Visa Lighting Model: OW1047 - Colonnade Material: Prefinished Metal Sconce Finish/Color: Bronze Matte</p>	<p><u>SOFFIT MOUNTED LIGHT FIXTURE '12'</u> Make: Focal Point Model: ID+ 4.5" Material: Prefinished Metal Downlight Finish/Color: Clear Diffuse w/ Warm Flame</p>

Exterior Soffit Plan

[illegible]

Seal: _____

Note:

Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.

North Arrow: _____

Sheet Title:

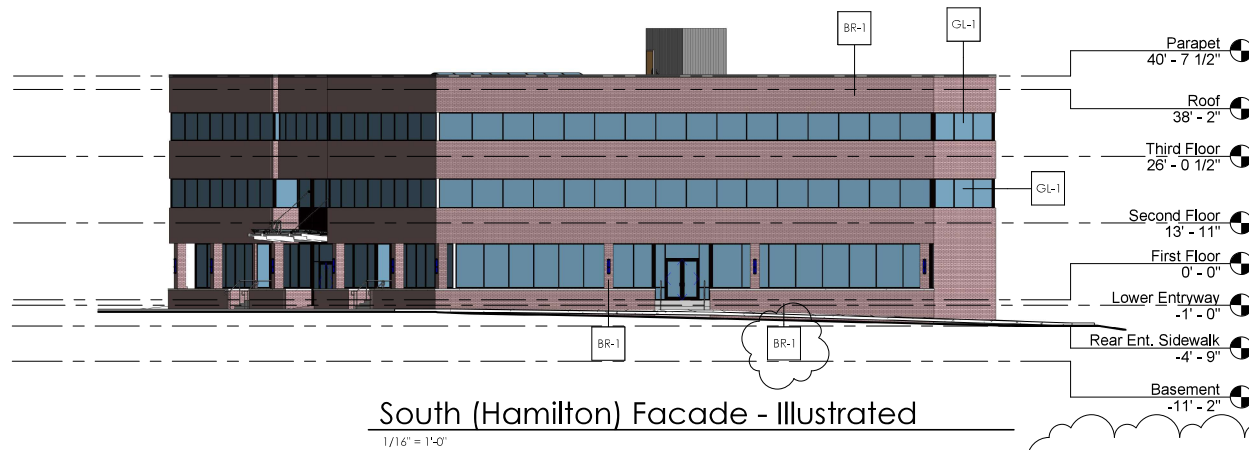
Exterior
Elevations -
Illustrated

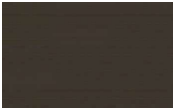
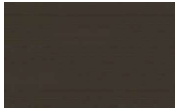
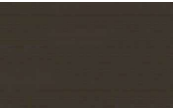


Project Number:

22-014

Sheet Number: _____

A.200



MATERIAL SCHEDULE				
				
<p><u>PREMANUFACTURED CANOPY SYSTEM M-1</u> Make: TBD Model: TBD Material: Steel Finish/Color: Glass / Dark Bronze</p>	<p><u>STOREFRONT SYSTEM M-2</u> Make: Old Castle or Equal Model: To Match Existing Material: Anodized Aluminum Finish/Color: Dark Bronze Anodized</p>	<p><u>METAL PANELS M-3</u> Make: Reynobond Model: To Match Existing Material: Anodized Aluminum Finish/Color: Dark Bronze Anodized</p>	<p><u>STOREFRONT GLAZING GL-1</u> Make: Guardian or Equal Model: To Match Existing Material: Clear float Glass Finish/Color: Tint to match existing</p>	<p><u>EXIST. BRICK FACADE BR-1</u> Make: EXIST. Model: Standard Modular Material: Extruded Face Brick Finish/Color: EXIST.</p>

[illegible]

Seal: _____

Note:

Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.

North Arrow:

Sheet Title:

Exterior Elevations

Project Number: _____
22-014



Sheet Number:

The image displays two architectural elevation drawings of a building facade, labeled 'North Facade' and 'South (Hamilton) Facade'. Both drawings include floor level markers on the right side: Parapet (40' - 7 1/2"), Roof (38' - 2"), Third Floor (26' - 0 1/2"), Second Floor (13' - 11"), First Floor (0' - 0"), and Lower Entryway (-1' - 0"). The North Facade drawing shows a building with a brick facade and a new pre-manufactured galvanized steel and glass canopy system. The South (Hamilton) Facade drawing shows a building with a brick facade and a new stone cap. The South (Hamilton) Facade drawing also includes a 'Rear Ent. Sidewalk' level at -4' - 9".

North Facade
1/8" = 1'-0"

South (Hamilton) Facade
1/8" = 1'-0"

LIGHTING LEGEND

 <p>WALL MOUNTED LIGHT FIXTURE '11' Make: Visa Lighting Model: OW1047 - Colonnade Material: Prefinished Metal Sconce Finish/Color: Bronze Matte</p>	 <p>SOFFIT MOUNTED LIGHT FIXTURE '12' Make: Focal Point Model: ID+ 4.5" Material: Prefinished Metal Downlight Finish/Color: Clear Diffuse w/ Warm Flange</p>
---	--

[illegible]

Note:

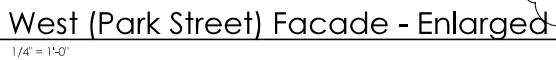
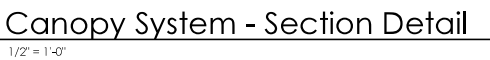
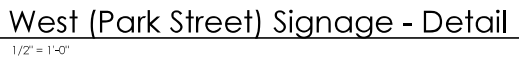
Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.

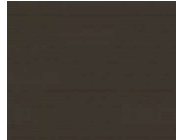
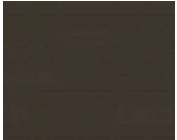
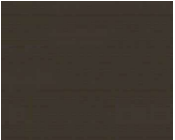


Sheet Title:



Exterior
Elevations -
Enlarged
Project Number:

22-014

A.203



MATERIAL SCHEDULE				
				
<u>PREMANUFACTURED CANOPY SYSTEM M-1</u> Make: TBD Model: TBD Material: Steel Finish/Color: Glass / Dark Bronze	<u>STOREFRONT SYSTEM M-2</u> Make: Old Castle or Equal Model: To Match Existing Material: Anodized Aluminum Finish/Color: Dark Bronze Anodized	<u>METAL PANELS M-3</u> Make: Reynobond Model: To Match Existing Material: Anodized Aluminum Finish/Color: Dark Bronze Anodized	<u>STOREFRONT GLAZING GL-1</u> Make: Guardian or Equal Model: To Match Existing Material: Clear float Glass Finish/Color: Tint to match existing	<u>EXIST. BRICK FACADE BR-1</u> Make: EXIST. Model: Standard Modular Material: Extruded Face Brick Finish/Color: EXIST.

LIGHTING LEGEND	
	
<p><u>WALL MOUNTED LIGHT FIXTURE '11'</u> Make: Visa Lighting Model: OW1047 - Colonnade Material: Prefinished Metal Sconce Finish/Color: Bronze Matte</p>	<p><u>SOFFIT MOUNTED LIGHT FIXTURE '12'</u> Make: Focal Point Model: 1D+ 4.5" Material: Prefinished Metal Downlight Finish/Color: Clear Diffuse w/ Warm Flame</p>



krieger klatt
ARCHITECTS
architecture interiors consulting
2120 E. 11 Mile Rd. | Royal Oak, MI 48067
P: 248.414.9270 F: 248.414.9275
www.kriegerklatt.com

Client:

Boji Group
220 Park Street
Birmingham MI 48009

Project:
220 Park Street
Birmingham, MI 48009

[illegible]

Seal:

Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:

Sheet Title:

Project Number:
22-014

Sheet Number:

A.300



Design Review Application

Planning Division

Form will not be processed until it is completely filled out

1. Applicant

Name: _____
 Address: _____

 Phone Number: _____
 Email address: _____

2. Property Owner

Name: _____
 Address: _____

 Phone Number: _____
 Email address: _____

3. Project Contact Person

Name: _____
 Address: _____

 Phone Number: _____
 Email address: _____

4. Project Designer/Developer

Name: _____
 Address: _____

 Phone Number: _____
 Email address: _____

5. Required Attachments

- | | |
|---|---|
| <p>I. Two (2) paper copies and one (1) digital copy of all project plans including:</p> <ul style="list-style-type: none"> i. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair; ii. Colored elevation drawings for each building elevation; iii. A Landscape Plan (if applicable); iv. A Photometric Plan (if applicable); <p>II. Specification sheets for all proposed materials, light fixtures and mechanical equipment;</p> | <p>III. Samples of all proposed materials;</p> <p>IV. Photographs of existing conditions on the site including all structures, parking areas, landscaping and adjacent structures;</p> <p>V. Current aerial photographs of the site and surrounding properties;</p> <p>VI. Warranty Deed, or Consent of Property Owner if applicant is not the owner;</p> <p>VII. Any other data requested by the Planning Board, Planning Department, or other City Departments.</p> |
|---|---|

6. Project Information

Address/Location of the property: _____

 Name of development: _____
 Sidwell #: _____
 Current Use: _____
 Proposed Use: _____
 Area of Site in Acres: _____
 Current zoning: _____

	Yes	No
Is the property located in a floodplain? -----	<input type="checkbox"/>	<input type="checkbox"/>
Is the property within a Historic District? -----	<input type="checkbox"/>	<input type="checkbox"/>
→ If so, which? _____		
Will the project require a variance? -----	<input type="checkbox"/>	<input type="checkbox"/>
→ If so, how many? _____		
Has the project been reviewed by another board? -----	<input type="checkbox"/>	<input type="checkbox"/>
→ If so, which? _____		

7. Details of the Proposed Development (attach separate sheet if necessary)

8. Required and Proposed Parking

Required number of parking spaces: _____
Proposed number of parking spaces: _____
Location of parking on site: _____
Location of parking off site: _____
Shared parking agreement? _____
Size of surface parking lot: _____

Number of underground parking levels: _____
Typical size of parking spaces: _____
Typical width of maneuvering lanes: _____
Number of handicap spaces: _____
Screenwall material: _____
Height of screenwall: _____

9. Landscaping

Location of landscape areas: _____

Proposed landscape material: _____

10. Streetscape

Sidewalk width: _____
Number of benches: _____
Number of planters: _____

Number of existing street trees: _____
Number of proposed street trees: _____
Number of waste receptacles: _____

11. Loading

Required number of loading spaces: _____
Proposed number of loading spaces: _____
Location of loading spaces on site: _____

Typical size of loading spaces: _____
Screenwall material: _____
Height of screenwall: _____

12. Exterior Waste Receptacles

Required number of waste receptacles: _____
Proposed number of waste receptacles: _____
Location of waste receptacles: _____

Size of waste receptacles: _____
Screenwall material: _____
Height of screenwall: _____

13. Mechanical Equipment

Utilities and Transformers:

Number of ground mounted transformers: _____
Location of all utilities & easements: _____

Size of transformers (L•W•H): _____
Screenwall material: _____
Height of screenwall: _____

Ground Mounted Mechanical Equipment:

Number of ground mounted units: _____
Location of all ground mounted units: _____

Size of ground mounted units (L•W•H): _____
Screenwall material: _____
Height of screenwall: _____

Rooftop Mechanical Equipment:

Number of rooftop units: _____
Type of rooftop units: _____
Location of all rooftop units: _____
Size of rooftop units (L•W•H): _____

Location of screenwall: _____
Screenwall material: _____
Height of screenwall: _____
Distance from rooftop units to all screenwalls: _____

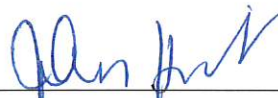
14. Building & Site Lighting

Number of light fixtures on building: _____
Light level at each property line: _____
Type of light fixtures on building: _____
Location of light fixtures on building: _____

Number of light fixtures on site: _____
Type of light fixtures on site: _____
Height from grade: _____
Location of light fixtures on site: _____

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with the same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner:  Date: 5/2/2022

Print name: John Hendo

Signature of Applicant:  Date: 5/2/2022

Print Name: John Hendo

Signature of Architect: _____ Date: _____

Print Name: _____

Office Use Only

Application #: _____ Date Received: _____ Fee: _____

Date of Approval: _____ Date of Denial: _____ Accepted By: _____

OAKLAND COUNTY TREASURERS CERTIFICATE
This is to certify that there are no delinquent property
taxes as of this date owed to our office on this property.
No representation is made as to the status of any taxes,
tax liens or titles owed to any other entities.

JAN 07 2022

5.00

ROBERT WITTENBERG, County Treasurer
Sec. 135, Act 206, 1893 as amended

292936 Liber 57282 Page 667 thru 670
1/13/2022 11:53:15 AM Receipt #000231829
\$26.00 Misc Recording
\$4.00 Remonumentation
\$5.00 Automation

UCC #
PAID RECORDED - Oakland County, MI
Lisa Brown, Clerk/Register of Deeds

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS that **Peninsula Building Management Corporation**, a Michigan limited liability company ("Grantor"), whose address is 220 Park Ave, Suite 200, Birmingham, Michigan 48009, hereby conveys and warrants to **220 Park Ave, LLC**, a Michigan limited liability company ("Grantee"), whose address is 124 W Allegan Street, Suite 2100, Lansing, Michigan 48933, that certain premises situated in the City of Birmingham, County of Oakland and State of Michigan as more particularly described in **Exhibit "A"** attached hereto and incorporated herein by reference for the full consideration set forth on the Real Estate Transfer Valuation Affidavit, the receipt and sufficiency of which is hereby acknowledged, subject to those matters set forth in **Exhibit "B"** attached hereto (the "Permitted Encumbrances")

4P
cert

Dated this 23 day of December, 2021

[Remainder of Page Intentionally Left Blank]

REVENUE TO BE AFFIXED
AFTER RECORDING

OK - MH


2133762

12a

RECEIVED
CLERK OF COURTY
2021 DEC 30 PM 1:21

IN WITNESS WHEREOF, this Warranty Deed has been executed to be effective as of the date first above written


Peninsula Building Management Corporation,
a Michigan limited liability company

By 
Name Harold Kassab
Its President

STATE OF MICHIGAN)
) ss
COUNTY OF OAKLAND)

The foregoing instrument was acknowledged before me this 23 day of December, 2021 by Harold Kassab, President of **Peninsula Building Management Corporation**, a Michigan limited liability company, on behalf of the company

JANE GAREAU
NOTARY PUBLIC, STATE OF MI
COUNTY OF MACOMB
MY COMMISSION EXPIRES Dec 30, 2027
ACTING IN COUNTY OF OAKLAND


Notary Public, Macomb County, MI
My Commission Expires 12-30-27
Acting in the County of OAKLAND

DRAFTED BY AND AFTER RECORDING RETURN TO

Casey Koppelman, Esq
Varnum LLP
260 E Brown Street, Suite 150
Birmingham, Michigan 48009

EXHIBIT A TO DEEDLEGAL DESCRIPTION

The land situated in the County of Oakland, City of Birmingham, State of Michigan, is described as follows

Part of Lot 43 and all of Lots 42 and 70, of Assessor's Plat No. 21, as recorded in Liber 54 of Plats, page 19, Oakland County Records, bounded by Hunter Boulevard, as established, Hamilton Avenue (60 feet wide) and Park Street, as established, being more particularly described as Beginning at the Southeasterly corner of said Lot 42 as recorded, said corner being also the intersection of the Westerly line of said Hunter Boulevard with the Northerly line of said Hamilton Avenue, thence along the Northerly line of said Hamilton Avenue, South 82 degrees 23 minutes 50 seconds West 109 25 feet, thence along the Easterly line of said Park Street, North 30 degrees 00 minutes 30 seconds West 143 11 feet, thence along the Northerly line of said Lot 70, North 60 degrees 19 minutes 44 seconds East 128 38 feet, thence along the Easterly line of said Lot 70, being also the Westerly line of said Hunter Boulevard, along a curve to the right (radius 3719 43 feet, central angle 02 degrees 17 minutes 48 seconds, arc length 149 10 feet, chord bearing South 21 degrees 50 minutes 59 seconds East 149 09 feet) and continuing South 20 degrees 19 minutes 10 seconds East 36 94 feet to the point of beginning

Tax Parcel Id No 19-25-455-017 *pt. A*

Commonly Known As 220 Park Ave

EXHIBIT B TO DEED**PERMITTED ENCUMBRANCES**

- 1 Real Estate Taxes and assessments that are a lien on the property, but not yet due and payable
- 2 The occupancy rights of Grantor for six (6) months following the date of this Deed
- 3 Easement(s) as disclosed on the recorded plat
- 4 Terms and Conditions contained in Easement Agreement, as disclosed by instrument recorded in Liber 10857, page 696
- 5 Underground Right of Way Agreement in favor of The Detroit Edison Company and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 10657, page 90
- 6 Terms and Conditions contained in Resolution, as disclosed by instrument recorded in Liber 3753, page 574



MEMORANDUM

Planning Division

DATE: June 15, 2022

TO: Design Review Board

FROM: Nicholas Dupuis, Planning Director

SUBJECT: 34660 Woodward – Village Players – Wall Art Review

Zoning: B-4 (Business-Residential) & D-4 (Downtown Overlay)

Existing Use: Two-Story Historic Commercial Building

Summary

The applicant has submitted a Wall Art application requesting approval of a new painted mural on the front of the building facing Woodward. The City Commission recently approved ordinance amendments to permit wall art in the City of Birmingham. The location of wall art is limited to elevations of structures facing the side or rear lot line within the defined Rail district boundary, side elevations with a 0 ft. setback in the Triangle District and Downtown Overlay District, and elevation facing a public or private alley, passage or via in the Downtown Overlay and the Triangle District as specified in the Via Activation Overlay District.

On May 18, 2022, the Public Arts Board reviewed the application for Wall Art and recommended denial to the Design Review Board citing concerns over the placement and a disinterest in pushing the boundaries of the newly minted ordinance.

Design Review Standards and Recommendation

The Design Review Board shall review all documents submitted pursuant to this section and shall determine the following:

1. All of the materials required by this section have been submitted for review.
2. All provisions of this Zoning Ordinance have been complied with.
3. The appearance, color, texture and materials being used will preserve property values in the immediate neighborhood and will not adversely affect any property values.
4. The appearance of the building exterior will not detract from the general harmony of and is compatible with other buildings already existing in the immediate neighborhood.
5. The appearance of the building exterior will not be garish or otherwise offensive to the sense of sight.
6. The appearance of the building exterior will tend to minimize or prevent discordant and unsightly properties in the City.
7. The total design, including but not limited to colors and materials of all walls, screens, towers, openings, windows, lighting and signs, as well as treatment to be utilized in concealing any exposed mechanical and electrical equipment, is compatible with the intent

of the urban design plan or such future modifications of that plan as may be approved by the City Commission.

Reviewing the standards noted above, and although there is subjectivity involved, the Planning Division feels as though the majority of the standards are satisfied, with the exception of the provisions of the Zoning Ordinance being met. As studied in previous applications, the Triangle District Urban Design Plan encourages the use of bold colors and prevents blank, uninteresting walls from being constructed. Although the proposal does not meet the ordinance, the Planning Division does feel as though it does meet the purpose and intent of the ordinance, which is to

“Enable creative artistic designs on the exterior of buildings, to activate space and create an inviting experience through the use of art, to allow for public input regarding wall art design, and to ensure the location, size and design of wall art is aesthetically appropriate and compatible with the area of the proposed location.”

Based on a review of the application submitted and the applicable design review standards and guidelines, the Planning Division recommends that the Design Review Board **APPROVE** the Wall Art application for 34660 Woodward – Village Players – with the following condition:

1. The applicant must obtain a variance from the Board of Zoning Appeals for the placement of the Wall Art.

Sample Motion Language

Motion to **APPROVE** the Wall Art application for 34660 Woodward – Village Players – with the following condition:

1. The applicant must obtain a variance from the Board of Zoning Appeals for the placement of the Wall Art.

OR

Motion to **POSTPONE** the Wall Art application for 34660 Woodward – Village Players – pending receipt of the following:

1. _____
2. _____
3. _____

OR

Motion to **DENY** the Wall Art application for 34660 Woodward – Village Players – for the following reasons:

1. _____
2. _____
3. _____



WALL ART APPLICATION

The purpose of the Wall Art review process is to enable creative artistic designs on the exterior of buildings, to activate space and create an inviting experience through the use of art, to allow for public input regarding wall art design, and to ensure the location, size and design of wall art is aesthetically appropriate and compatible with the area of the proposed location.

APPLICATION

1. Artist Name (First & Last)

Name: KARL MAYRY
Address: 13308 BORMAN
AVE HUNTINGTON WOODS, MI
Phone Number: 248-224-0244
Email address: LEARNINGGLASS@gmail.com
Website (if applicable): www.learningglass.com
Social Media (if applicable): _____

3. Artwork Information

Medium / Technique: Acrylic, Latex
HAND PAINTED
Height x Width: 35' x 37' Approx
Materials to be used: PAINT
Timeframe (permanent or temporary): PERMANENT
If temporary, indicate time period: _____

2. Project Site Information

Property Owners Name: THE VILLAGE PLAYHOUSE INC (DBA BIRMINGHAM VILLAGE PLAYERS)
Owners Mailing Address: 34660 WOODWARD AVE
Location of proposed Project site: 34660 WOODWARD AVE - WEST-FACING WALL BY
Consent of Property Owner (yes/no): YES AUDI

GREG RUVOLO 248 224 6700
GRUVOLO@gmail.com

3. Description of Artwork & Artist Statement (attach separate sheet if necessary)

The mural will be THEATER / THEATRICAL
ARTS RELATED. THE MOTIF UTILIZES A
Conservative / limited Color palette. Overall
the theme celebrates performance arts and
usually enhances the environment.
COMEDY / TRAGEDY MASKS

4. Required Attachments

- a) This application form, completed in full.
- b) Two hard copies and one digital copy of the proposed design which includes, but is not limited to, a drawing, rendering or photo of the proposed artwork to be placed on the building, as well as the proposed dimensions of the artwork;
- c) A photo of existing conditions of the wall where the artwork is proposed, along with the dimensions of the wall or walls;
- d) A timeframe for the artwork to be exhibited and whether it is intended to be temporary or permanent;
- e) Specifications of materials that will be used for the artwork;
- f) A resume of the artist(s) including names, location, and photos of previous work;
- g) Written consent of Property Owner if the applicant is not the owner.
- h) Any other data requested by the Public Arts Board, Design Review Board or other City Departments.
- i) Liability Waiver and Release Form signed by the artist.

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Public Arts Board and/or Design Review Board of any additional changes made to an approved design. The undersigned further states that they have reviewed the procedures and guidelines for Design Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Public Arts Board and/or Design Review Board meeting when this application will be discussed.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Property Owner: Eileen White Date: 5/1/22
Print Name: Eileen White

Signature of Applicant: Kane Raymy Date: 4/28/22
Print Name: Kane Raymy

TO APPLY

Applications must be submitted through this form. The application will require the following information. Please read all of the information listed carefully. Incomplete applications will be disqualified from consideration.

- ✓ 1) This form completed in full;
- ✓ 2) Two hard copies and one digital copy of the proposed design which includes, but is not limited to, a drawing, rendering or photo of the proposed artwork to be placed on the building, as well as the proposed dimensions of the artwork;
- ✓ 3) A photo of existing conditions of the wall where the artwork is proposed, along with the dimensions of the wall or walls;
- ✓ 4) A timeframe for the artwork to be exhibited and whether it is intended to be temporary or permanent;
- ✓ 5) Specifications of materials that will be used for the artwork;
- ✓ 6) A resume of the artist(s) including names, location, and photos of previous work;
- ✓ 7) Written consent of Property Owner if the applicant is not the owner.
- ✓ 8) Liability Waiver and Release Form signed by the artist.

The Public Arts Board typically meets every 3rd Wednesday of the month. **APPLICATIONS MUST BE RECEIVED BY 5PM MINIMUM 7 DAYS PRIOR TO A MEETING OF THE PUBLIC ARTS BOARD.**

***Submit application together with **all of the required attachments as listed above** to:

City of Birmingham
Attn: Brooks Cowan – Wall Art Application
151 Martin St.
P.O. Box 3001 Birmingham, MI 48012

SELECTION PROCESS

All applications for wall art begin with review and recommendation by the Public Arts Board. The application will then be reviewed by the Design Review Board or Historic District Commission for final consideration. Final approval of wall art is subject to the review requirements as stated in Section 7.09 *Design Review: Review* and all other applicable sections of the Birmingham Code of Ordinances.

QUESTIONS For all questions related to this contact Brooks Cowan, City Planner, bcowan@bhamgov.org or (248) 530-1846

(Office use only)

Date Received: _____

Presented for Public Arts Board discussion: _____

Board Action: ☐ Recommended for approval ☐ Not recommended for approval

Recommendation(s)/Action Taken _____

Routing and dates approved (Office use only):

Y N

☐ ☐ Planning _____

☐ ☐ Engineering _____

☐ ☐ Public Safety (Police/Fire) _____

☐ ☐ Parks and Recreation _____

☐ ☐ Approved by CCBB _____

☐ ☐ Approved by City
Commission _____

Y N

☐ ☐ Building _____

☐ ☐ Other _____

Site location: _____



City of Birmingham Liability Waiver and Release Form
Wall Art Display

(Please Print)

Name: KARL J MAYNY Phone Number: 248-224-0244
Address: 13308 BOREMAN AVENUE
City, State & Zip: HUNTINGTON WOODS, MI. 48070
Email: learningglasses@gmail.com

1. In consideration of the City's allowance to display wall art on private property, Artist hereby grants to the City of Birmingham, its officers and employees, the right to photograph the wall art display and the further right to use photographic images of the wall art display in promotional material prepared by or for the City of Birmingham, including any commercial or noncommercial promotional materials. Artist waives any rights to any payments from the sale of any City promotional materials that feature the wall art display, reimbursements of any kind for any gains to the City because of promotional materials, or any gains to the City as a result of the wall art.

2. Artist agrees to hold harmless, and agrees not to make any claim or demand, or to file any lawsuit against the City of Birmingham or any individual employee or individual serving as a volunteer, for any copyright infringement.

3. Artist hereby releases **the CITY OF BIRMINGHAM** and does further waive and discharge any and all manners of action, causes of action, claims, rights, charges, suits, damages, debts, demands, judgments, obligations, grievances, attorneys' fees, or any and all other liabilities of whatsoever nature, whether in law or in equity, known or unknown, seen or unforeseen from the beginning of time to the end of the world in perpetuity including, but not limited to any claim and/or claims of damages or other relief for tort, personal injury, or negligence.

This release from liability is binding on me and my family and all my heirs, successors and assigns.

Artist's Signature: [Signature]

Date: 4/28/22

City of Birmingham
Planner: _____

Date: _____



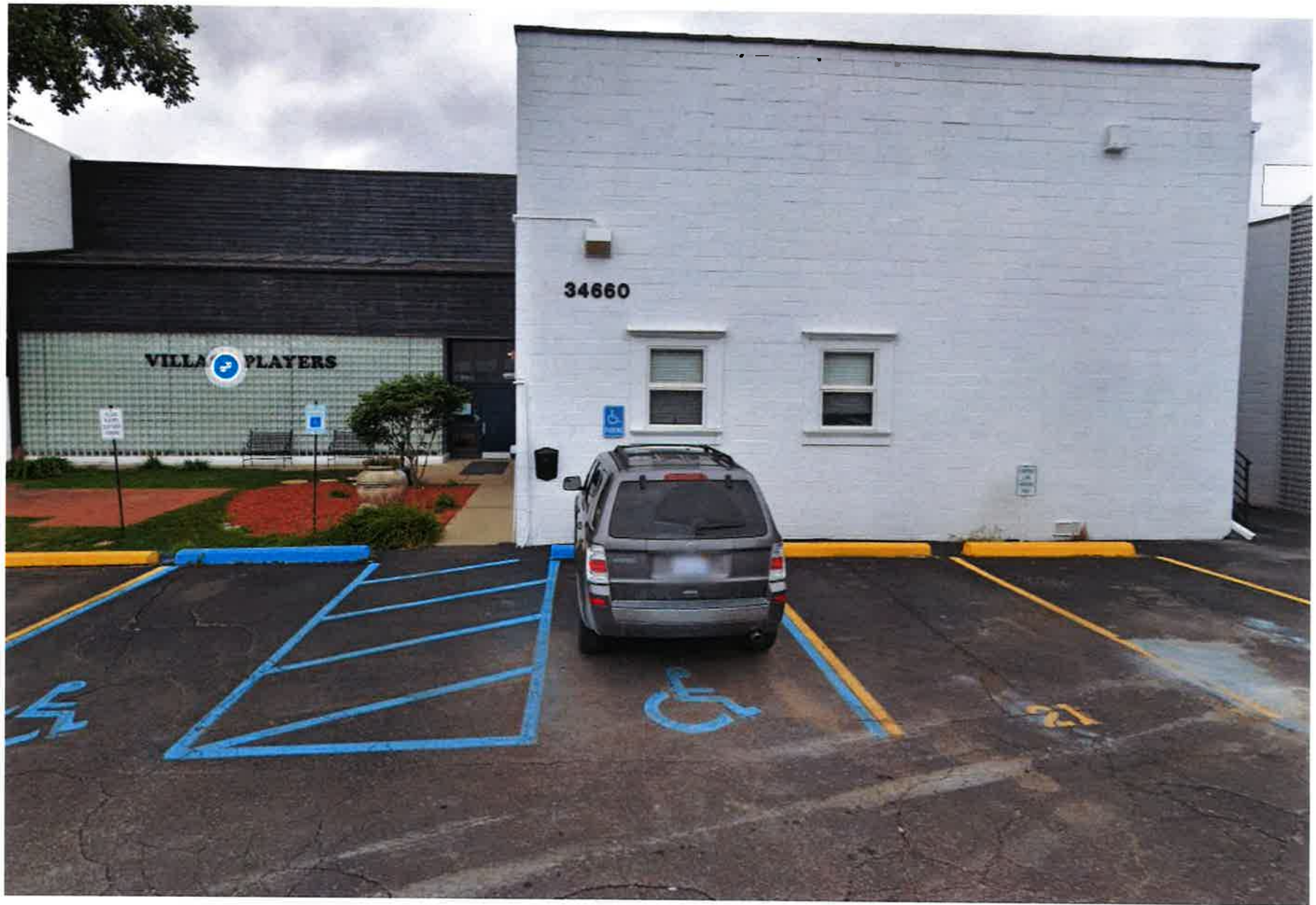
Proposed state of mural wall

Birmingham Village Players – 34660 Woodward Ave., Birmingham, MI 48009
(Address numbers would be painted in white on the upper-left corner of wall)



Proposed state of mural wall

Birmingham Village Players – 34660 Woodward Ave., Birmingham, MI 48009
(Address numbers would be painted in white on the upper-left corner of wall)



Current state of mural wall

Birmingham Village Players – 34660 Woodward Ave., Birmingham, MI 48009



April 26, 2022

City of Birmingham
Attn: Brooks Cowan
151 Martin St., PO Box 3001
Birmingham, MI 48009

Mr. Cowan,

On behalf of The Village Playhouse, Inc. (dba Birmingham Village Players), I acknowledge and approve the Wall Art Application submitted to the Public Arts Board. Kindly accept this letter as this our written consent to move forward.

Regards,

A handwritten signature in cursive script that reads 'Eileen White'. The signature is written in dark ink and is positioned above the printed name and title.

Eileen White
President, Birmingham Village Players Board of Trustees

Wall Art Application

Required Documentation/Attachments

Section 4 of the application requires:

- 1) Completed application
- 2) Two hard copies of the proposed mural (included); digital rendering of the mural is below.



- 3) Photo of existing wall. Dimensions 30' high X 40' wide



- 4) This will be a permanent mural. Timeframe for completion is by August 31, 2022.
- 5) Materials to be used: Acrylic and Latex Exterior paint.
- 6) Resume of company and artist:

Through the Learning Glass, Inc.
<https://learningglass.com/>
Karl Mayry



Bagger Dave's – Berkley, MI



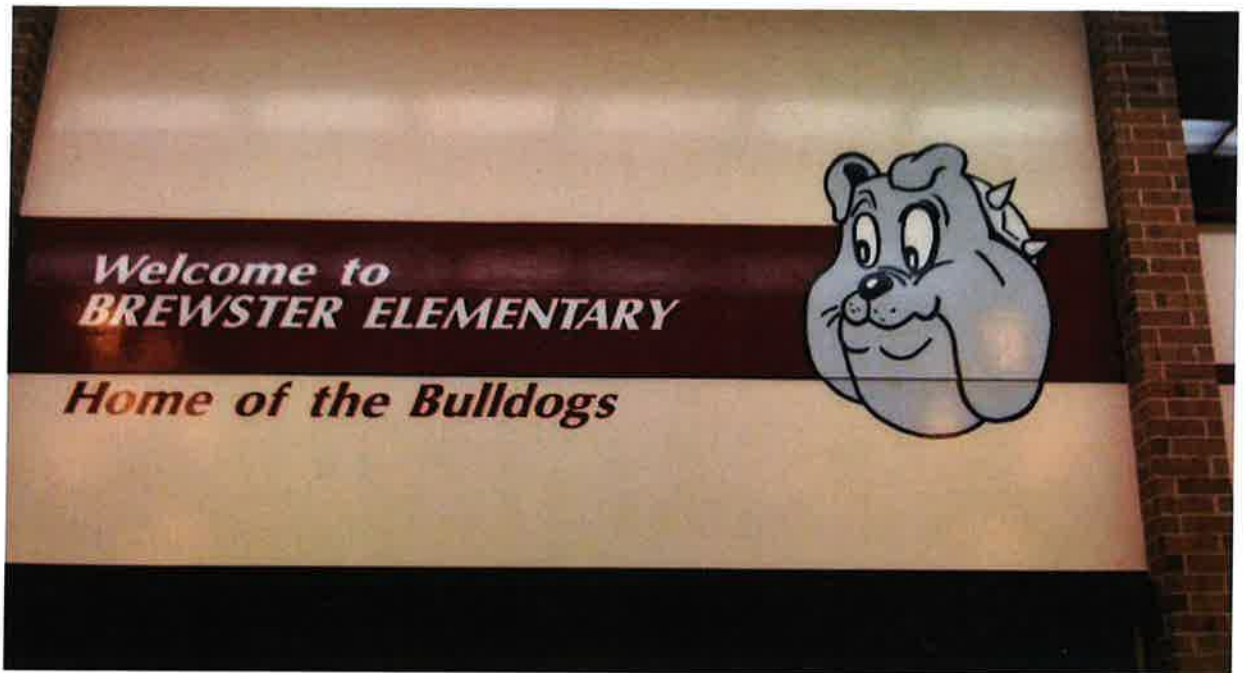
Shrine Hugh School, Royal Oak, MI



Shrine High School, Royal Oak, MI



Groves High School, Birmingham, MI



Brewster Elementary, Rochester Hills, MI



On the Border Mexican Grill, Novi, MI

- 7) Written consent from The Village Playhouse, Inc. attached.
- 8) Liability Waiver and Release Form signed by artist – attached.



MEMORANDUM

(Planning Division)

DATE: May 13th, 2022

TO: Public Arts Board Members

FROM: Brooks Cowan, City Planner

SUBJECT: Wall Art Application – 34660 Woodward Ave – Village Players

The applicant, Village Players of Birmingham, have applied for a mural to be painted on the front of the building at 34660 Woodward Avenue. The mural is proposed to be on the existing blank wall facing Woodward Avenue and will consist of the comedy & tragedy faces.

The existing wall consists of white painted masonry. The size of the mural is proposed to be approximately 35 feet tall by 37 feet wide. The comedy & tragedy faces are proposed to be purple and blue with a gray background and red ribbon. The applicant is proposing to paint the mural with acrylic and latex paint which is intended to be permanent.

The proposed artist is Karl Mayry – information regarding the artist can be found at <https://learningglass.com/>. According to the applicant, the mural is proposed to have a theme that celebrates performance arts and visually enhances the environment.

Article 9.02, Definitions of the Zoning Ordinance defines Wall Art as the following:

Wall Art – An artistic design applied to the exterior surface of a structure in a permanent or temporary manner. The location of wall art is limited to elevations of structures facing the side or rear lot line within the defined Rail District boundary, side elevations with a 0 foot setback in the Triangle District and Downtown Overlay District, and elevations facing a public or private alley, passage, or via in the Downtown Overlay and the Triangle District as specified in the Via Activation Overlay District. Wall art is only permitted in compliance with Chapter 126, the City of Birmingham Zoning Ordinance Article 7, Section 7.41 – 7.44. Wall art is not permitted on a building facing an alley, passage or via that any of which abuts a single-family residential zoned property.

The proposed location on the front of the building is not a permitted mural location, therefore the applicant will be required to obtain a dimensional variance of 1,295 square feet for the installation of permanent Wall Art.

Recommendation:

Upon review, City staff recommends that the Public Arts Board recommend approval of the proposed wall art at Village Players – 34660 Woodward Ave - to the Design Review Board .

Suggested Language:

Move to recommend approval of the proposed wall art at Village Players – 34660 Woodward Ave - to the Design Review Board with the following Condition(s):

1. The applicant obtain a variance of 1,295 square feet for the installation of a mural on the front elevation of a building.

Public Arts Board Minutes

Public Meeting – May 18th, 2022

A. Roll Call:

Members Present: Monica Neville, Annie VanGelderens, Jason Eddleston, Natalie Bishae,

Members Absent: Barbara Heller, Anne Ritchie, Jane Schulak

Administration: Brooks Cowan, Senior Planner

B. Approval of Minutes – March 16th, 2022

A motion to approve minutes was made by Annie VanGelderens, seconded by Natalie Bishae.

Yeas: 4 Nays: 0

The motion carried.

C. New Business

1. Wall Art Application – 34660 Woodward – Village Players

The Public Arts Board reviewed an application for wall art on the frontage of a building facing west towards Woodward Avenue. Staff discussed how the wall art ordinance does not permit murals on the front of buildings. Murals in the Triangle District are only allowed to face an alley or be on the side of a building along a 0 foot setback where windows are not allowed due to fire code.

Staff discussed how the Public Arts Board could recommend approval to the Design Review Board with the condition that the applicant obtain a variance from the Board of Zoning Appeals. The Public Arts Board asked for clarification on the frontage of the building and whether it was Woodward Ave or Chestnut. Staff indicated that they went by the address of the building for the frontage, and indicated that even if the proposed wall facing Woodward Ave was the side, it would not satisfy the Ordinance requirement given that it was setback over 30 feet from the lot line.

The Public Arts Board discussed how they recently had the wall art ordinance approved, and did not want to push the limits of what should be allowed. The Public Arts Board wants to support art where they can, however in regards to the mural proposal before them, the Board wanted to stick to the confines of the Ordinance and not push the limits of what is allowed.

A motion to recommend denial of the proposed mural to the Design Review Board was made by Anne VanGeldereren, seconded by Monica Neville.

Yeas: 4

Nays: 0

The motion carried.

2. Sculpture Donation – Khyber – Tom Fitzgerald

The Public Arts Board reviewed a sculpture donation for Khyber Pass by Tom Fitzgerald which consists of a steel structure 10 feet in height. Staff discussed the historical relevance of the Khyber Pass between Afghanistan and Pakistan and its relevance along the silk road trade route. The Public Arts Board was amenable to the sculpture and wanted to find a good location for it.

Staff scrolled through Google Maps while the Board brainstormed locations. The top two locations discussed were Linn Smith Park to be visible from Southfield Road, and the Fairway Trail entrance off of Fairway Drive. Staff indicated they would bring back detailed photos of the locations at the next meeting and also allow time for Board members to consider additional locations.

D. Unfinished Business

1. Marx Sculptures Untitled #1 and Untitled #2

Staff discussed how the donor indicated that she was no longer keen on the fire station location previously proposed. Staff then met with DPS at Martha Baldwin Park and selected two garden beds to propose as locations. A sculpture had previously been located in one of the garden beds. DPS indicated they would be willing to plant flowers around the sculptures once placed there.

The Public Arts Board liked the proposed locations at Martha Baldwin Park for sculptures Untitled #1 and Untitled #2 by Hank Marx.

A motion to recommend approval of the proposed locations for the two sculptures at Martha Baldwin Park to City Commission was made by Anne VanGeldereren, seconded by Monica Neville.

Yeas: 4

Nays: 0

The motion carried.

E. Communications

The Public Arts Board discussed their experience with the painting event for piano in the park. The ducklings that showed up during the event were a big hit and inspired a duck

themed painting on the side of the piano. The board estimated close to 100 people came to partake in the painting of the piano.

Staff discussed that the Library would be hosting an open house and doing an unveiling for Michigan Spring on May 22nd, 2022.

The meeting adjourned at 7:15 pm

AGENDA
BIRMINGHAM DESIGN REVIEW BOARD
Wednesday - July 6, 2022
BIRMINGHAM CITY HALL, 151 MARTIN ST, COMMISSION ROOM 205, BIRMINGHAM MI *
******* 7:15 PM*******

The highly transmissible COVID-19 Delta variant is spreading throughout the nation at an alarming rate. As a result, the CDC is recommending that vaccinated and unvaccinated personnel wear a facemask indoors while in public if you live or work in a substantial or high transmission area. Oakland County is currently classified as a substantial transmission area. **The City has reinstated mask requirements for all employees while indoors. The mask requirement also applies to all board and commission members as well as the public attending public meetings.**

- 1) Roll Call
- 2) Approval of the DRB Minutes of June 15, 2022
- 3) Public Hearing
- 4) Design Review
 - A. 220 Park – Request for façade changes to existing building (POSTPONE)
- 5) Sign Review
- 6) Study Session
- 7) Miscellaneous Business and Communication
 - A. Pre-Application Discussions
 - B. Draft Agenda
 1. July 20, 2022
 - C. Staff Reports
 1. Administrative Sign Approvals
 2. Administrative Approvals
 3. Action List 2022
- 8) Adjournment

*Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall, 151 Martin St., or may attend virtually at:

Link to Access Virtual Meeting: <https://zoom.us/j/91282479817>

Telephone Meeting Access: 877 853 5247 US Toll-free

Meeting ID Code: 912 8247 9817

Notice: Individuals requiring accommodations, such as interpreter services for effective participation in this meeting should contact the City Clerk's Office at [\(248\) 530-1880](tel:2485301880) at least on day in advance of the public meeting.

Las personas que requieren alojamiento, tales como servicios de interpretación, la participación efectiva en esta reunión deben ponerse en contacto con la Oficina del Secretario Municipal al [\(248\) 530-1880](tel:2485301880) por lo menos el día antes de la reunión pública. (Title VI of the Civil Rights Act of 1964).

A PERSON DESIGNATED WITH THE AUTHORITY TO MAKE DECISIONS MUST BE PRESENT AT THE MEETING.

Design Review Board Action List – 2022-2023

Design Review Board	Quarter	In Progress	Complete
Signs vs. Designs	1 st (January-March)	<input type="checkbox"/>	<input type="checkbox"/>
Update Sign Ordinance	2 nd (April-June)	<input type="checkbox"/>	<input type="checkbox"/>
Create New Informational Artwork for Sign Ordinance	3 rd (July-September)	<input type="checkbox"/>	<input type="checkbox"/>
Sign Ordinance Enforcement	4 th (October-December)	<input type="checkbox"/>	<input type="checkbox"/>