



**AGENDA**  
**BIRMINGHAM DESIGN REVIEW BOARD**  
**WEDNESDAY JULY 19, 2023**  
**BIRMINGHAM CITY HALL, 151 MARTIN ST, COMMISSION ROOM 205, BIRMINGHAM MI \***  
**\*\*\*\*\* 7:15 PM\*\*\*\*\***

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The City recommends members of the public wear a mask if they have been exposed to COVID-19 or have a respiratory illness. City staff, City Commission and all board and committee members must wear a mask if they have been exposed to COVID-19 or actively have a respiratory illness. The City continues to provide KN-95 respirators and triple layered masks for attendees.

- 1) Roll Call**
- 2) Approval of the DRB Minutes of [May 17, 2023](#)**
- 3) Public Hearing**
- 4) Design Review**
  - A. [33202 Woodward – Piety Hill Shopping Center](#)**
  - B. [220 Park](#)**
- 5) Sign Review**
- 6) Study Session**
- 7) Miscellaneous Business and Communication**
  - A. Pre-Application Discussions**
  - B. Draft Agenda**
    - 1. [August 2, 2023](#)**
  - C. Staff Reports**
    - 1. [Administrative Sign Approvals](#)**
    - 2. [Administrative Approvals](#)**
    - 3. [Action List 2023](#)**
- 8) Adjournment**

\*Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall, 151 Martin St., or may attend virtually at:

**Link to Access Virtual Meeting:** <https://zoom.us/j/91282479817>  
**Telephone Meeting Access:** 877 853 5247 US Toll-free  
**Meeting ID Code:** 912 8247 9817

Notice: Individuals requiring accommodations, such as interpreter services for effective participation in this meeting should contact the City Clerk's Office at [\(248\) 530-1880](tel:2485301880) at least on day in advance of the public meeting.

Las personas que requieren alojamiento, tales como servicios de interpretación, la participación efectiva en esta reunión deben ponerse en contacto con la Oficina del Secretario Municipal al [\(248\) 530-1880](tel:2485301880) por lo menos el día antes de la reunión pública. (Title VI of the Civil Rights Act of 1964).

**A PERSON DESIGNATED WITH THE AUTHORITY TO MAKE DECISIONS MUST BE PRESENT AT THE MEETING.**

**Design Review Board  
Minutes Of June 7, 2023**

151 Martin Street, City Commission Room 205, Birmingham, MI

Minutes of the regular meeting of the Design Review Board ("DRB") held June 7, 2023. Chair Henke called the meeting to order at 7:48 p.m.

**1) Rollcall**

**Present:** Chair John Henke; Board Members Keith Deyer, Dustin Kolo, Patricia Lang; Alternate Board Member Samantha Cappello

**Absent:** Board Members Natalia Dukas, Julie Rasawehr, Michael Willoughby; Alternate Board Member Sam Lanfear; Student Representative Ian Weinberg

**Staff:** Planning Director Dupuis; City Transcriptionist Eichenhorn

**2) Approval of the DRB Minutes of May 17, 2023**

**06-16-23**

**Motion by Mr. Kolo**

**Seconded by Ms. Cappello to approve the May 17, 2023 minutes as submitted.**

**Motion carried, 5-0.**

VOICE VOTE

Yeas: Kolo, Henke, Deyer, Lang, Cappello

Nays: None

**3) Public Hearing**

**4) Design Review**

**A. 255 E. Brown**

PD Dupuis presented the item. Drew Schmidt of Brown Street Holding Company LLC was present on behalf of the request.

**06-17-23**

**Motion by Ms. Lang**

**Seconded by Ms. Cappello to approve the Design Review application for 255 E. Brown with the following condition:**

- 1. The applicant must submit a detailed planting list of all the newly proposed species and their locations.**

**Motion carried, 5-0.**

VOICE VOTE

Design Review Board  
Minutes of June 7, 2023

Yeas: Kolo, Henke, Deyer, Lang, Cappello  
Nays: None

- 5) Sign Review**
- 6) Study Session**
- 7) Miscellaneous Business And Communications**
  - A. Pre-Application Discussions**
  - B. Draft Agenda**
  - C. Staff Reports**
    - 1. Administrative Sign Approvals**
    - 2. Administrative Approvals**
    - 3. Action List 2023**

**8) Adjournment**

No further business being evident, the Board motioned to adjourn at 7:58 p.m.

A blue ink signature of Nick Dupuis, consisting of a stylized 'N' and 'D'.

Nick Dupuis, Planning Director

A black ink signature of Laura Eichenhorn, written in a cursive style.

Laura Eichenhorn, City Transcriptionist



## MEMORANDUM

Planning Division

**DATE:** July 19, 2023  
**TO:** Design Review Board  
**FROM:** Nicholas Dupuis, Planning Director  
**SUBJECT:** 33202 Woodward – Design Review

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**Zoning:** B2B (General Business)  
**Existing Use:** Commercial

### Introduction

The subject site, 33202 Woodward, is currently home to a roughly 353 ft. long multi-tenant commercial building and associated building needs, such as 4 separate off-street parking facilities, trash receptacles, various tenant signage, and mechanical units. The applicant has submitted a design review application for an exterior renovation with no additional square footage added, some minor landscaping, and new lighting.

The applicant received Design Review Approval on February 3, 2021 (Agenda – Minutes), but did not move forward to permits at that time. Article 7, Section 7.11 of the Zoning Ordinance states that “design Review approval shall be valid for a period of one year from the date it is granted. If a building permit has not been issued for the improvements described in the approved Design Review within such one-year period, the Building Official shall not issue a permit for such work until such time as Design Review approval has again been obtained.” Thus, the applicant was required to come back before the Design Review Board to seek re-approval for the design.

The proposal currently remains exactly the same as was approved in 2021. As such, the following report was modified only slightly from the 2021 approval.

*(This space intentionally left blank)*

## Building Exterior

The building-related renovations are proposed to be relatively minor in that the major components are comprised of paint, new wall panel system, some new architectural elements, venting, and lighting and glazing adjustments that will be discussed in detail in the following sections.

Material	Location	Color
Paint	Existing Brick (all facades, service doors)	Griffin
Fiber Cement Panels	Upper Facade	Ash, Snow
Metal Roof Vent	Front Gables	Snow

Unlike the Downtown and Triangle Districts, there are no architectural standards present along this portion of the Woodward corridor. The building is currently a majority brick and glass, which are widely considered as high quality materials, and will remain as such

## Signage

The current building contains seven illuminated name letter signs for various tenants. Buildings located on Woodward Ave. are permitted 1.5 sq. ft. of signage per 1 ln. ft. of principal building frontage. Thus, the subject building would be permitted 529.5 sq. ft. of signage. The applicant has submitted elevation drawings that depict a sign plan, which consists of relocating existing signage back on to the façade. The proposed 5 sign areas measure 228 sq. ft. in total, which is under the permitted combined sign area.

## Lighting

The applicant is proposing a total of 34 new light fixtures spreads across the front, sides and rear of the building and site. The applicant has submitted specification sheets for each new fixture that demonstrates compliance with Article 4, Section 4.21 (D) which requires all light fixtures to be fully cutoff and positioned in a manner that does not unreasonably invade abutting or adjacent properties. In addition, a photometric plan was also submitted showing the illuminance levels across the property as a result of the newly proposed fixtures.

Section 4.21 (E) requires that the intensity of light on a site shall not exceed six-tenths (0.6) maintained foot-candles at any property line that abuts a single-family residential zoned property or one and one half (1.5) maintained foot-candles at any property line for any other zoned property. The subject site contains front and side property lines that abut commercially zoned property, and a rear property line that abuts an alley and single-family zoned district directly beyond. Due to the presence of an alley, the applicant will be required to maintain the commercial light intensity standards as opposed to residential.

As the photometric plan shows, the light levels proposed do NOT exceed the maximum 1.5 maintained foot-candles.

## Planning and Zoning

In general, because the existing building footprint it proposed to remain, there are no bulk, placement or height requirements that must be addressed as a part of this review. However, there are four planning and zoning issues that must be addressed:

**Parking:** As noted above, there are four separate off-street parking facilities on the site. A review of existing conditions suggests that there are currently about 64 off-street parking spaces to service 24,943 sq. ft. of retail use. The site plans submitted propose a total of 59 off-street parking spaces. Article 4, Table A of the Zoning Ordinance requires retail uses to provide 1 off-street parking space for each 300 sq. ft. of floor area, which would require this site to provide 83 off-street parking spaces. Because the applicant is not proposing to modify the parking facility, they are permitted to maintain the current legal non-conformity.

**Landscaping:** The current site does not contain landscaping. The applicant is proposing to install 9 new landscaping beds along the front property line at the corners and within the coves of the building. Along with landscaping beds, the applicant is proposing to install decorative pavers within the alcoves of the building frontage. The planting types proposed at 63 Dwarf Blue Lavender and 18 Drift rose plantings.



Dwarf Blue Lavender



Drift Rose

Both planting types are permitted species and will upgrade the visual interest across the site. Board may However, the Design Review wish to require the applicant to diversify the planting types to introduce different textures, heights and colors to add further interest to the proposed landscaping areas.

**Screening:** The subject site contains existing screening along most of the off-street parking facilities, and several existing mechanical units and waste receptacles that are both unscreened. At this time, the applicant is proposing to rebuild the parking lot

screenwalls with a 3 ft. capped masonry screenwall as required by Article 4, Section 4.54 of the Zoning Ordinance.

Additionally, the applicant is proposing to build an enclosure for some existing ground-mounted mechanical units. The enclosure will be constructed of capped masonry and wood gates, which meets the requirements of the Zoning Ordinance.

**Glazing:** The existing building contains a unique arrangement of glazing on the front and side facades of the building. Because the applicant is not proposing to redesign the glazing on the building, the building may remain in its legal non-conforming status when it comes to required glazing percentage. In addition, because the applicant is not replacing any windows in the existing openings, the Visual Light Transmittance standards are also non-applicable.

### **Design Standards**

Article 7, Section 7.09 states that the Design Review Board shall review all documents submitted pursuant to this section and shall determine the following:

1. All of the materials required by this section have been submitted for review.
2. All provisions of this Zoning Ordinance have been complied with.
3. The appearance, color, texture and materials being used will preserve property values in the immediate neighborhood and will not adversely affect any property values.
4. The appearance of the building exterior will not detract from the general harmony of and is compatible with other buildings already existing in the immediate neighborhood.
5. The appearance of the building exterior will not be garish or otherwise offensive to the sense of sight.
6. The appearance of the building exterior will tend to minimize or prevent discordant and unsightly properties in the City.
7. The total design, including but not limited to colors and materials of all walls, screens, towers, openings, windows, lighting and signs, as well as treatment to be utilized in concealing any exposed mechanical and electrical equipment, is compatible with the intent of the urban design plan or such future modifications of that plan as may be approved by the City Commission.

### **Recommendation**

Due to the revisions submitted, the Planning Division recommends that the Design Review Board **APPROVE** the Design Review application for 33202 Woodward – Piety Hill.

### **Sample Motion Language**

Motion to **APPROVE** the Design Review application for 33202 Woodward – Piety Hill.

**OR**

Motion to **POSTPONE** the Design Review application for 33202 Woodward – Piety Hill – pending receipt of the following:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**OR**

Motion to **DENY** the Design Review application for 33202 Woodward – Piety Hill – for the following reasons:

4. \_\_\_\_\_
5. \_\_\_\_\_
6. \_\_\_\_\_



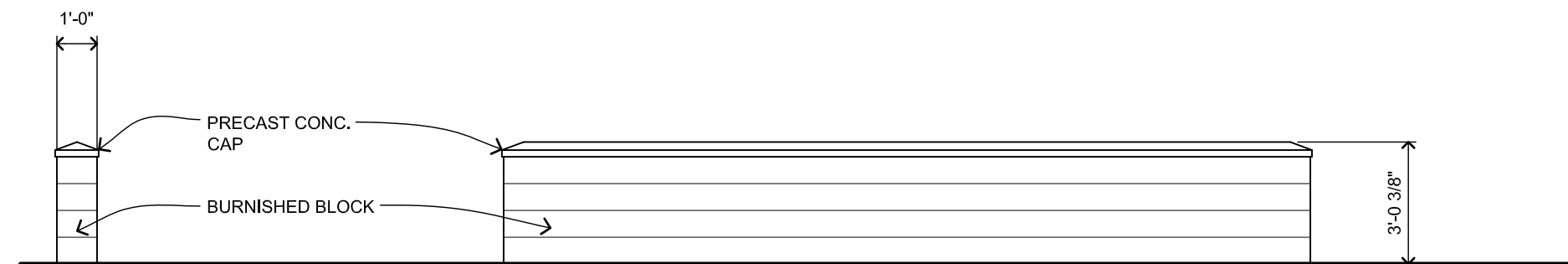
Proposed Bike Rack

Ash Dome

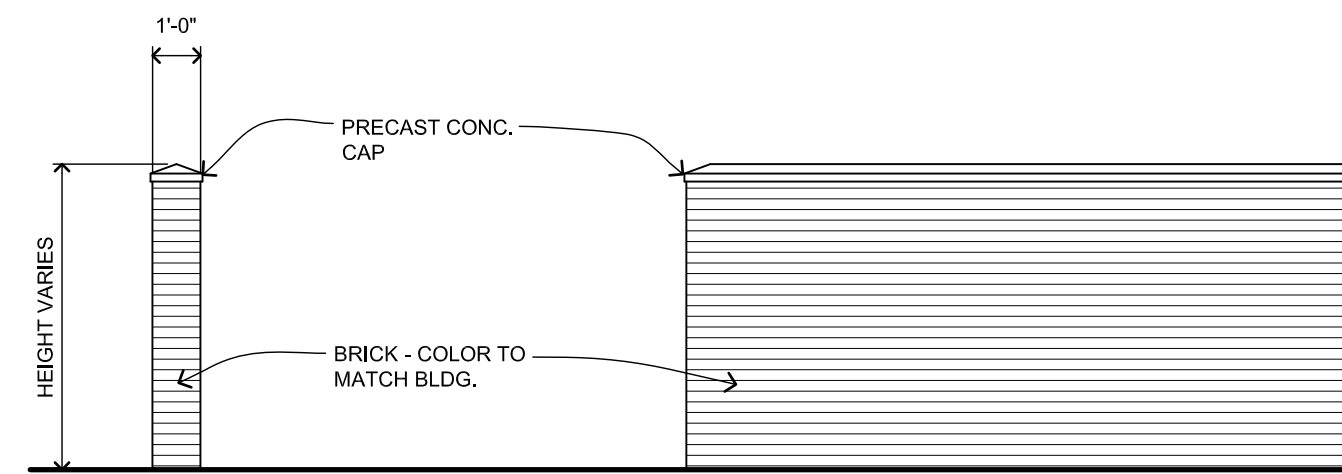


Proposed Trash Receptacle

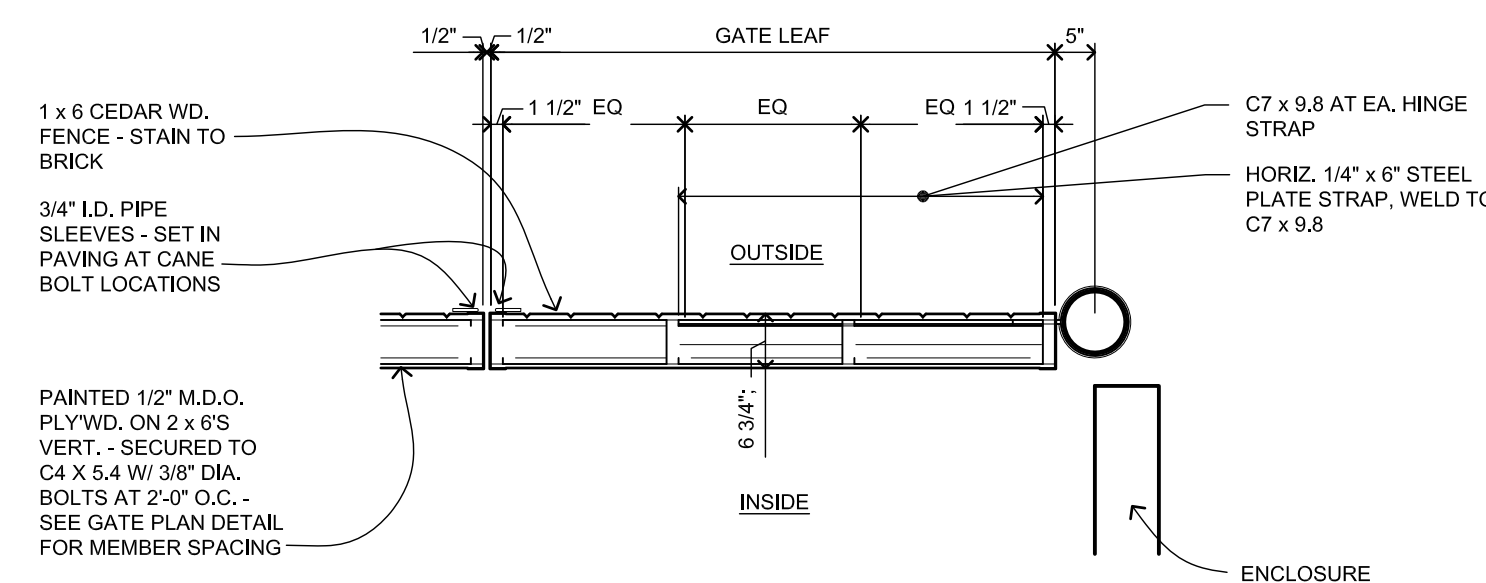
STYLE: ASH DOME  
COLOR: BLACK



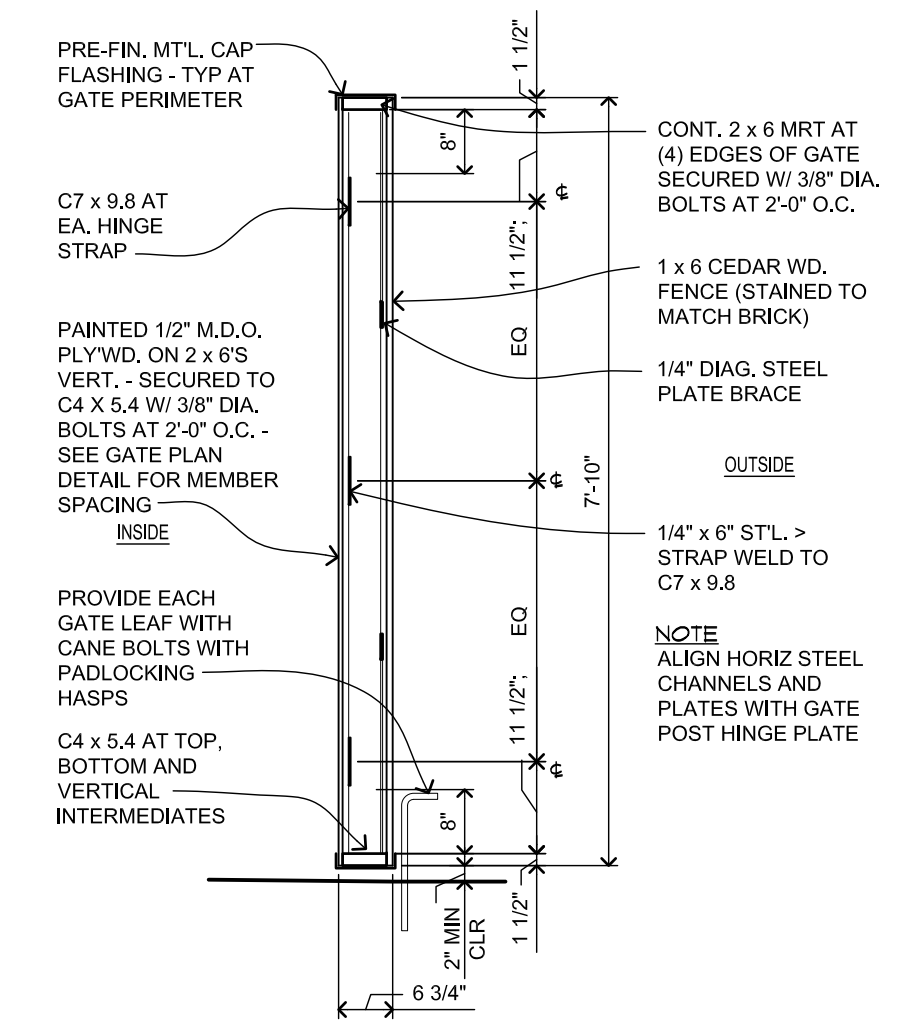
Typical Screenwall Detail  
1/4" = 1'-0"



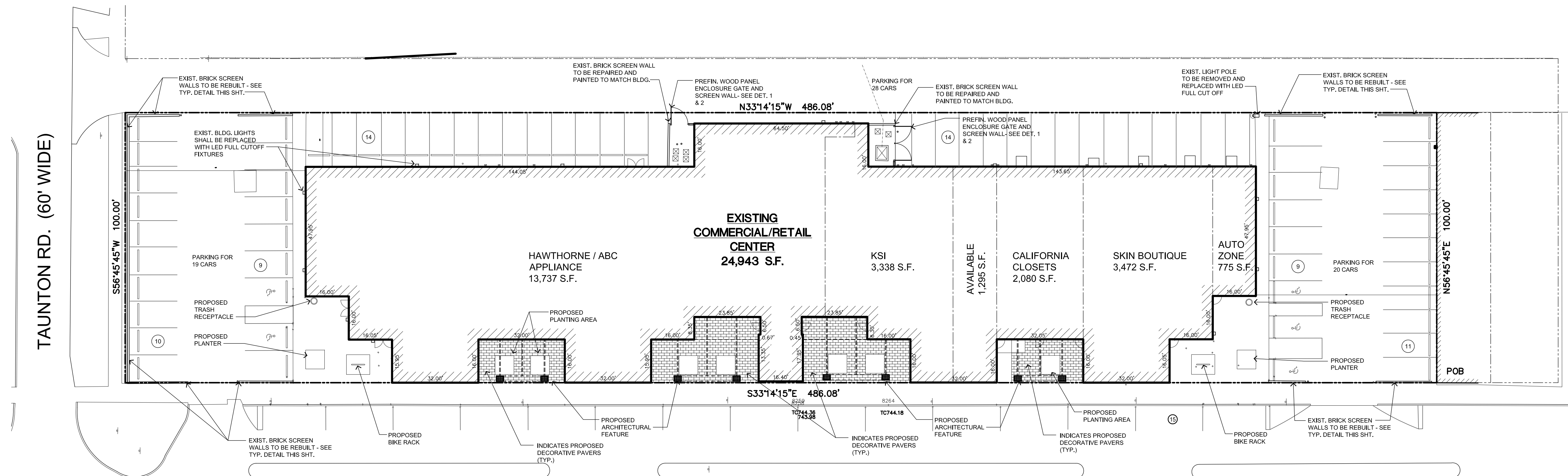
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1/4" = 1'-0"



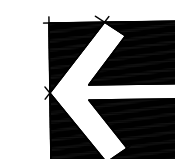
Gate Plan Detail  
1 1/2" = 1'-0"



Gate Section  
1/2" = 1'-0"



WOODWARD AVE. (200' WIDE)



Site Plan

Scale: 1"=20'-0"

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Proposed Renovation of  
**Piety Hill Shopping Center**  
Woodward Ave.  
Birmingham, MI



32500 TELEGRAPH ROAD  
SUITE 250  
BINGHAM FARMS, MICHIGAN  
48025-2404  
PH 248.540.7700 FX 248.540.2710  
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drawing:

Conceptual  
Site Plan

DO NOT SCALE DRAWING  
issue date: 16 JUN. 20  
drawn: KL  
checked: MD  
approved: MD

file number: 05149

sheet:

SP-1



## Project:

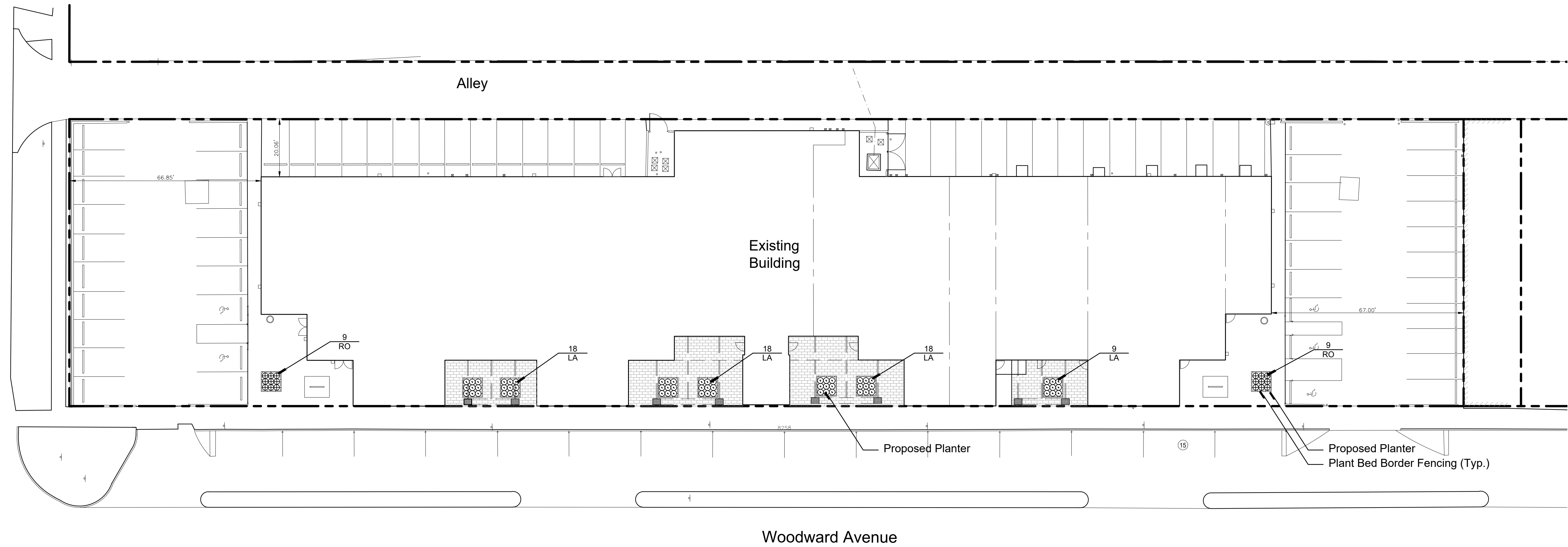
Prepared for:

Revision:            Issued:

Job Number: \_\_\_\_\_

Drawn By:              Checked By:

Sheet No.



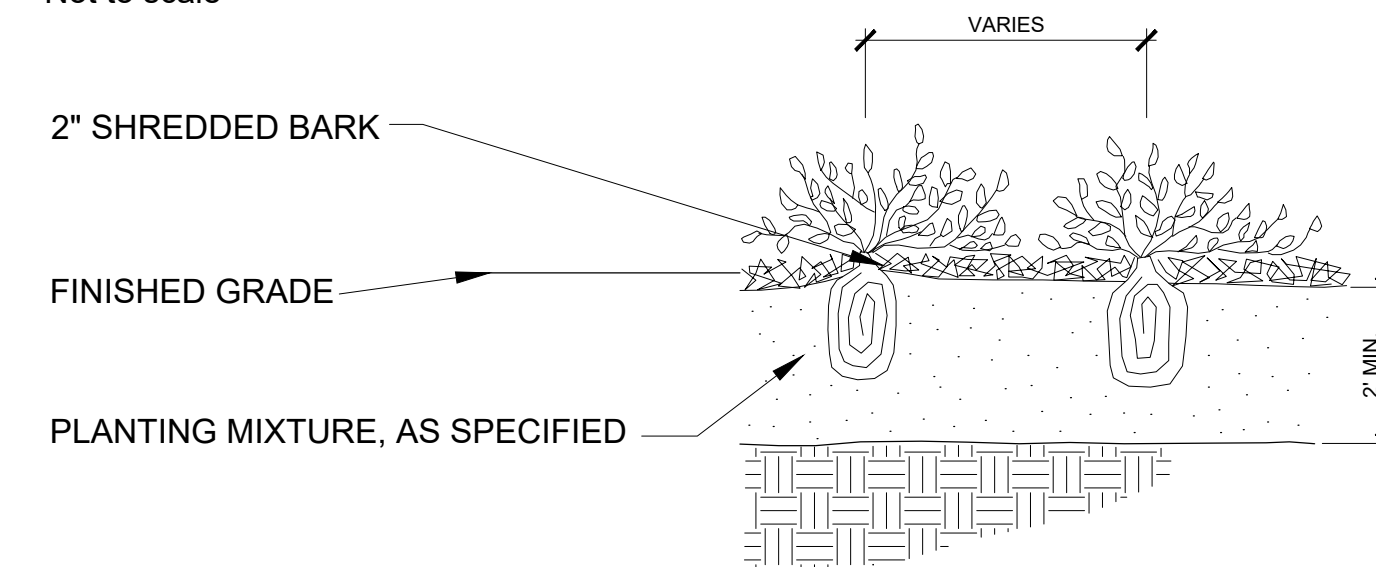
## Plant List

sym.	qty.	botanical name	common name	spacing	root	height
LA	63	<i>Lavandula angustifolia</i> 'Dwarf Blue'	Dwarf Blue Lavender	as shown	cont.	#2
RO	18	<i>Rosa</i> 'Drift'	Drift Rose	as shown	cont.	#2

- PROPOSED PLANTING AREA NOTES:
1. EXCAVATE PIT TO 2' AND ADD PLANT MIX UNTIL 1" BELOW EXISTING CONCRETE.
  2. PLANT MIX SHALL CONSIST OF 1/3 SCREENED TOPSOIL, 1/3 SAND AND 1/3 COMPOST.

## Perennial Planting Detail

Not to scale



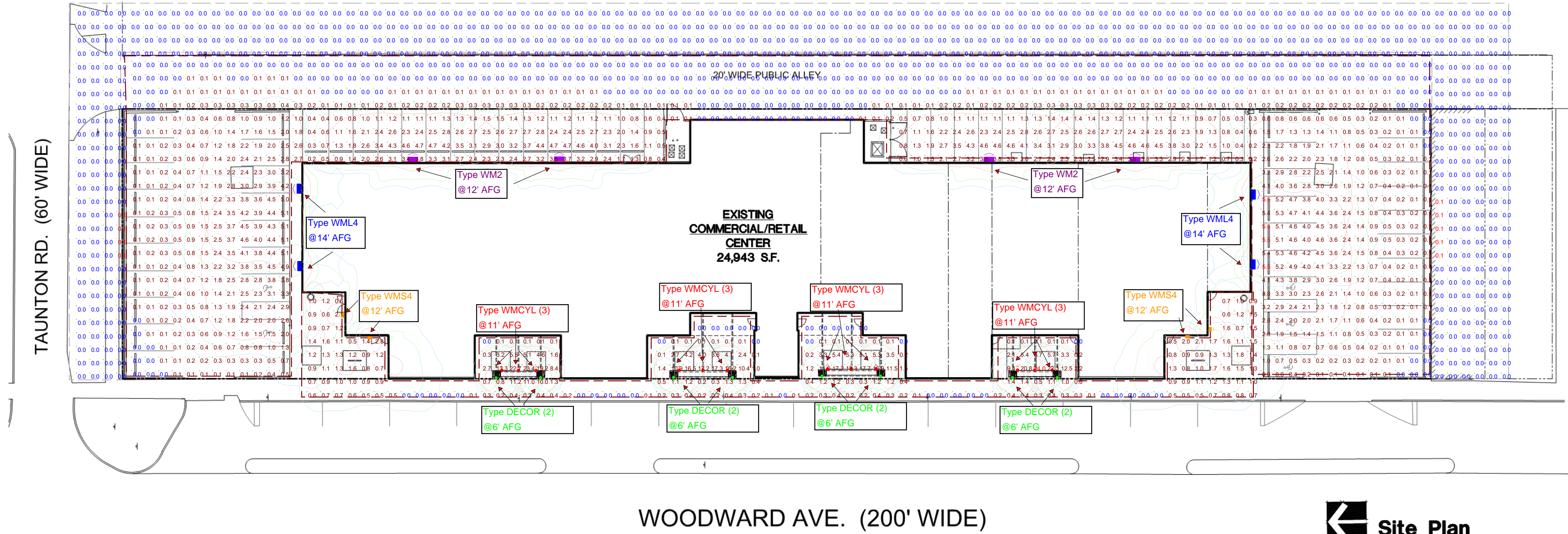
### Planting Bed Border Fence



Chatham Wicket Fence by  
Border Concepts  
800-845-3343

Schedule														
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Lumen Multiplier	Light Loss Factor	Wattage	Efficiency	Distribution
	WM2	4	HUBBELL OUTDOOR	TRP2-24L-30-4K7-2	GeoPak Size 2	C-70-CRI	1	TRP2-24L-30-4K7-2.ies	3733	1	0.92	27.9	100%	
	WMS4	4	HUBBELL OUTDOOR LIGHTING	TRP1-12L15-4K7-4	GeoPak Size 1		1	TRP1-12L15-4K7-4.ies	1550	1	0.92	13.9	100%	
	WML4	4	HUBBELL OUTDOOR	TRP2-24L-50-4K7-4	GeoPak Size 2	C-70-CRI	1	TRP2-24L-50-4K7-4.ies	5664	1	0.92	48.6	100%	
	DECOR	8	TECH LIGHTING				1	WINDFALL OUTDOOR FIXTURE.ies	184	1	1	0	100%	
	WMCYL	12	v2 Lighting Group, Inc. www.v2lighting.com		AQUA 300, 60 degree reflector w/Forward Throw Accessory	Xicato XTM 19mm LES, 2000lm, 83CRI	1	AQUA 300 2000lm 60 degree 19x3.1.IES	2000	1	1	19	87%	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Front Courtyard Areas	+	2.3 fc	24.0 fc	0.0 fc	N/A	N/A
Parking Area	+	1.1 fc	5.5 fc	0.0 fc	N/A	N/A
Property Line	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A



Scale: 1"=20'-0"

Plan View  
Scale - 1" = 25ft

A 1035 22nd Avenue, Unit 1 • Oakland, CA 94606 P 510.489.2530 E TalkToUs@aweusa.com W aweusa.com 1

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OWNER REVIEW: 10 JUL. 2020  
OWNER REVIEW: 27 OCT. 2020  
DESIGN REVIEW BOARD: 20 NOV. 2020  
DESIGN REVIEW BOARD: 25 JAN. 2021

Proposed Renovation of  
**Piety Hill Shopping Center**  
Woodward Ave.  
Birmingham, MI

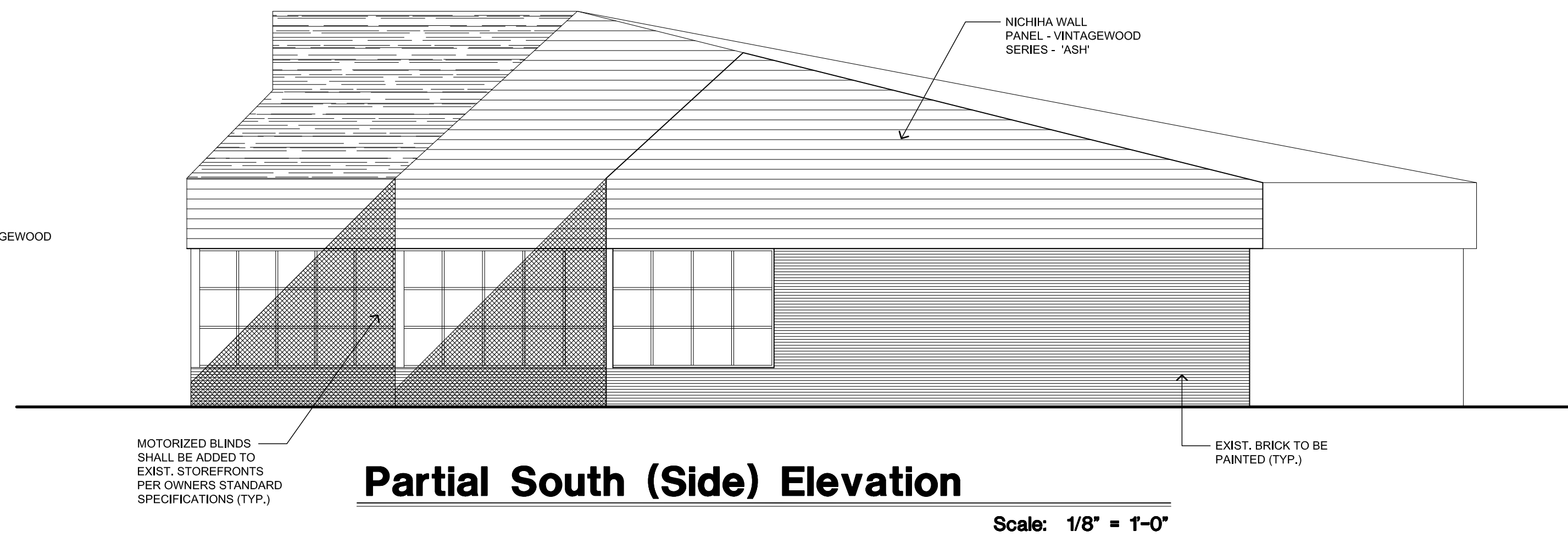


**Conceptual  
Elevation &  
Plan View**

DO NOT SCALE DRAWING

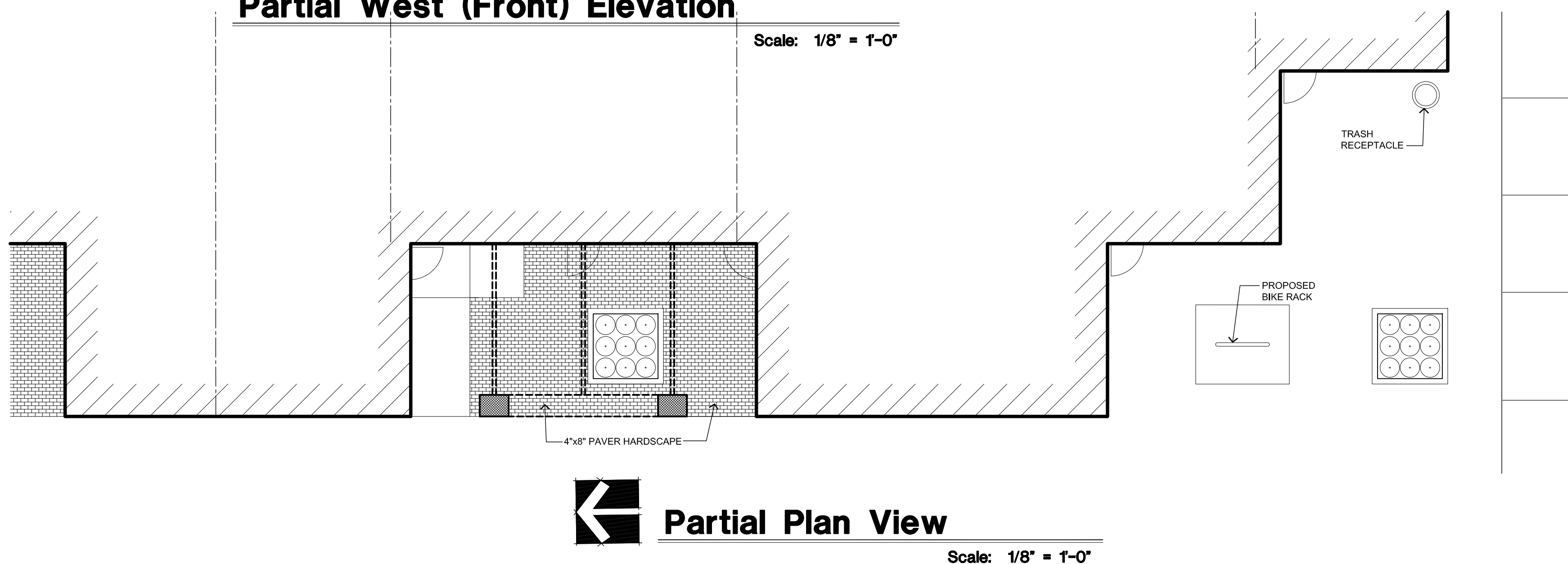
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**A-2**

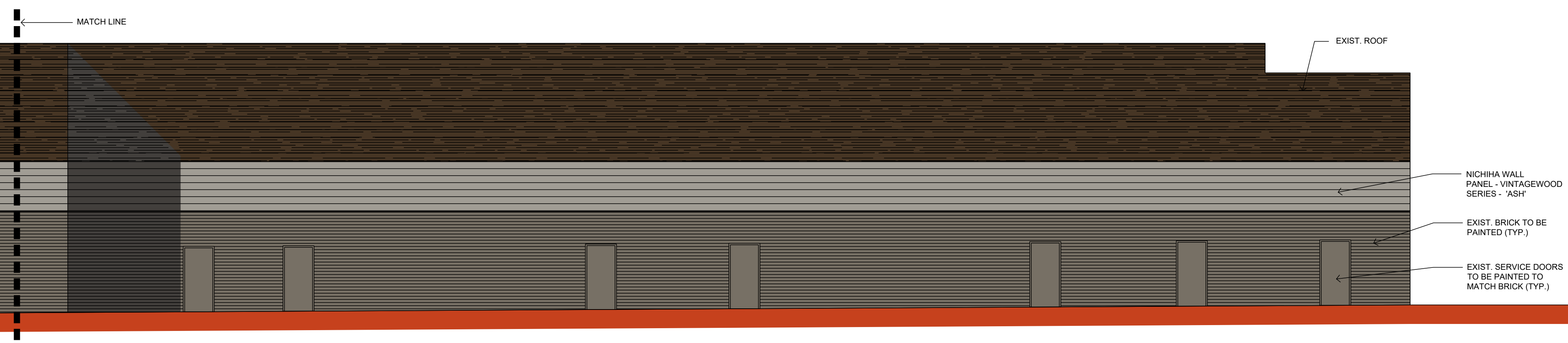


Partial West (Front) Elevation

Scale: 1/8" = 1'-0"

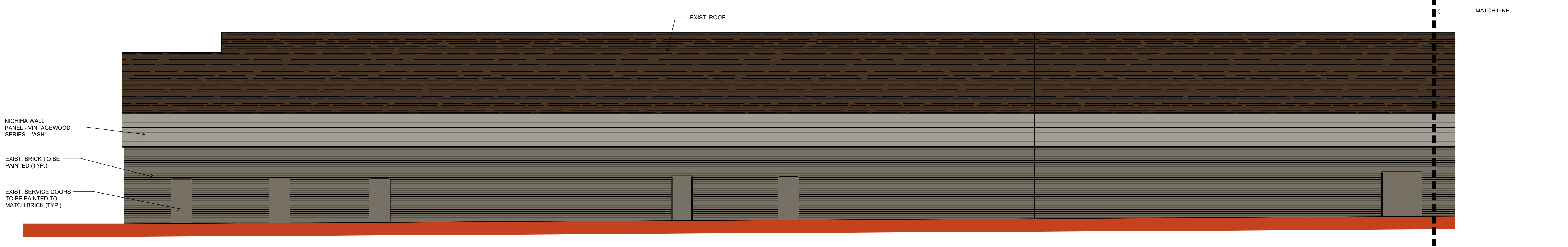


Exterior Finish Schedule - Piety Hill - 05149					
Mark	Material	Location	Mfr.	Color	Remarks/Notes
4A	BURNISHED BLOCK	SCREEN WALLS & DUMPSTER ENCLOSURES	GRAND BLANC	PETOSKEY	
7A	PANELIZED FIBER CEMENT CLADDING SYSTEM	MAIN WALL	NICHIHA	ASH	VINTAGEWOOD SERIES
7B	PANELIZED FIBER CEMENT CLADDING SYSTEM	MAIN WALL	NICHIHA	SNOW	MIRAIA SERIES
9A	PAINT-1	BRICK & SERVICE DOORS	SHERWIN WILLIAMS	SW7026 GRIFFIN	FINISH TO BE SPECIFIED FOR THE MATERIAL TO BE PAINTED
Notes					
1. ALL MORTAR USED FOR BURNISHED CMU SHALL BE COLOR PIGMENTED TO MATCH THE BURNISHED CMU.					



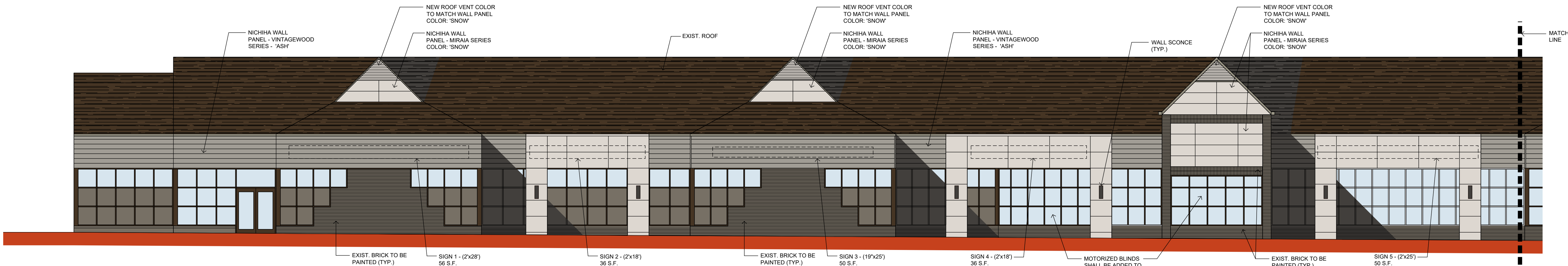
Partial East (Rear) Elevation

Scale: 1/8" = 1'-0"



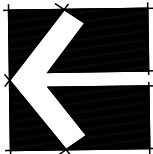
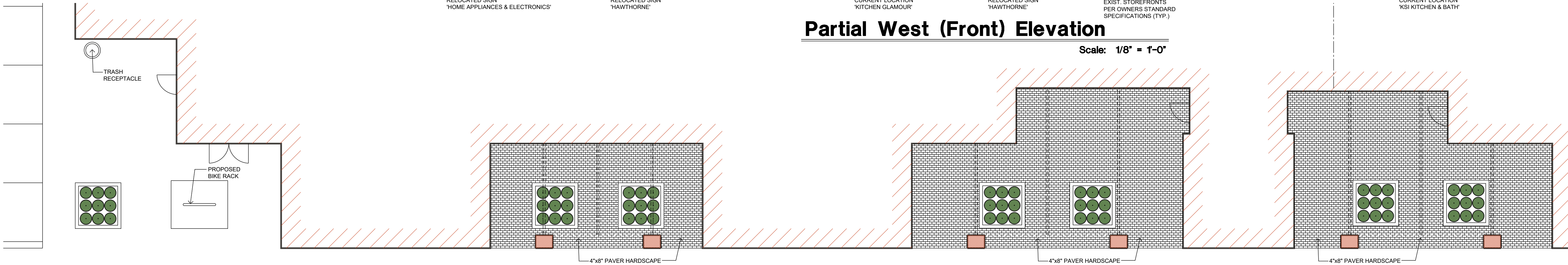
Partial East (Rear) Elevation

Scale: 1/8" = 1'-0"



Partial West (Front) Elevation

Scale: 1/8" = 1'-0"



Partial Plan View

Scale: 1/8" = 1'-0"

issued for:

OWNER REVIEW: 10 JUL. 2020  
DESIGN REVIEW BOARD: 20 NOV. 2020  
DESIGN REVIEW BOARD: 25 JAN. 2021

project:

Proposed Renovation of  
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drawing:

**Conceptual  
Elevation &  
Plan View**

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**A-1**

OWNER REVIEW: 10 JUL. 2020  
OWNER REVIEW: 27 OCT. 2020  
DESIGN REVIEW BOARD: 20 NOV. 2020  
DESIGN REVIEW BOARD: 25 JAN. 2021

Proposed Renovation of  
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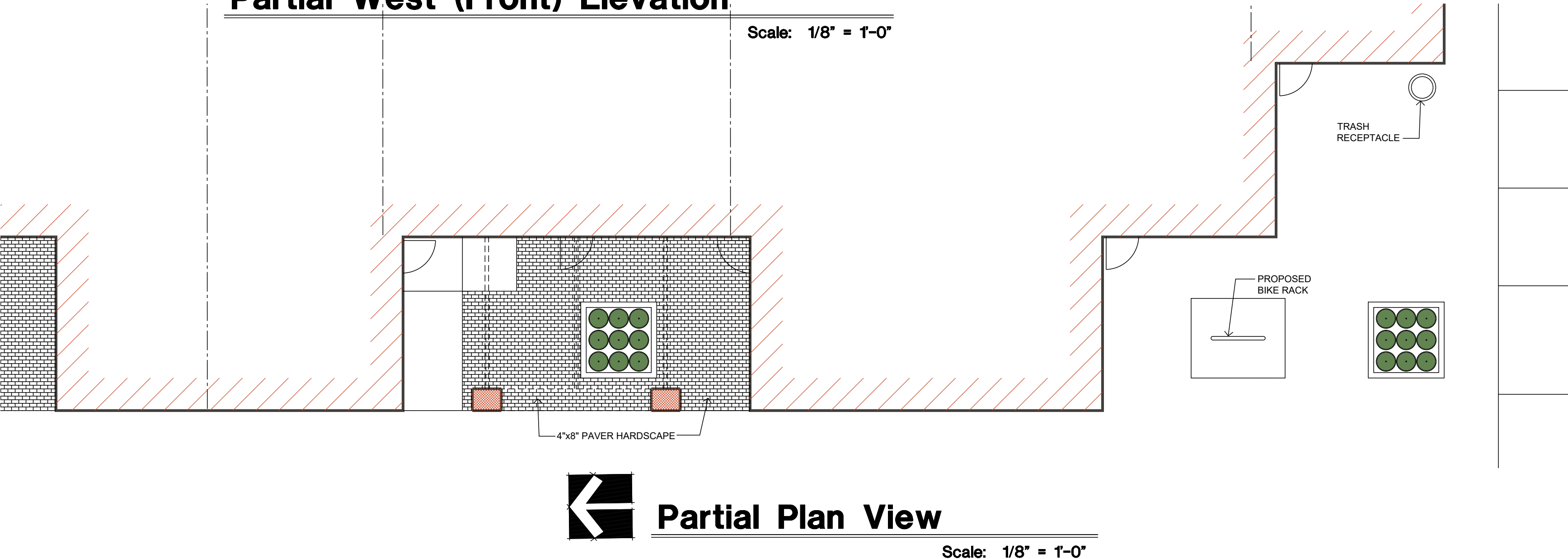
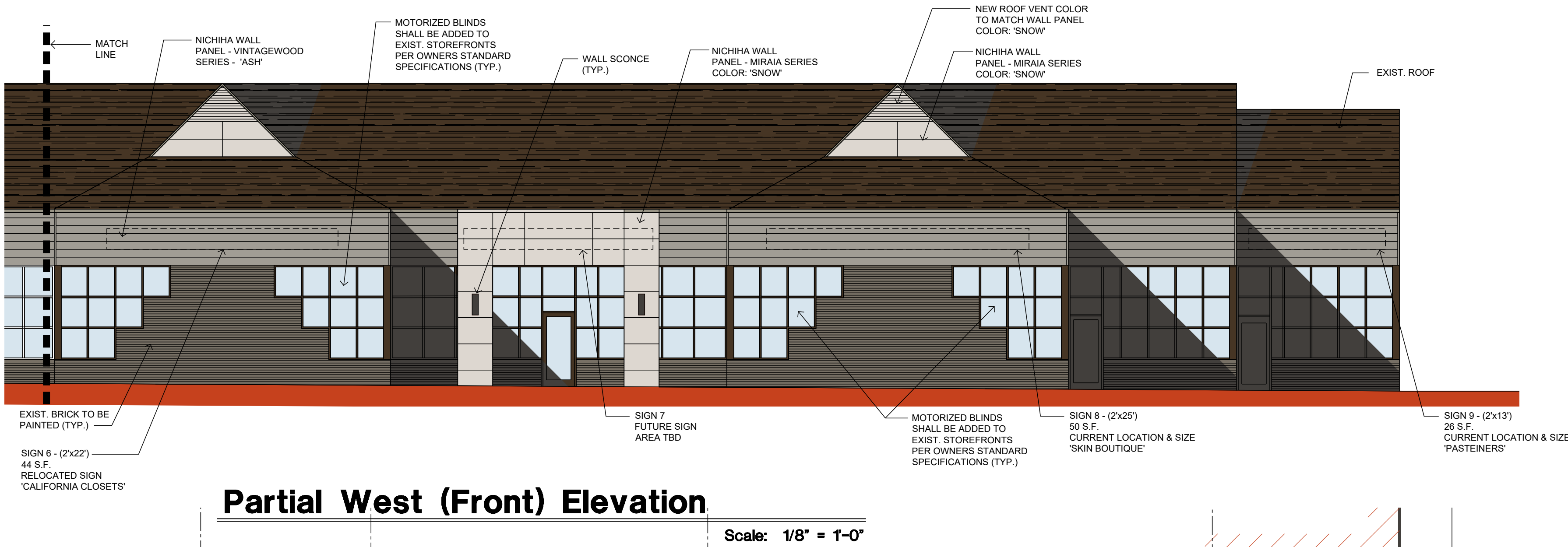


### Conceptual Elevation & Plan View

issue date:  
drawn: KL  
checked: MD  
approved: MD

**sheet:**

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## MEMORANDUM

Planning Division

**DATE:** July 19, 2023  
**TO:** Design Review Board  
**FROM:** Nicholas Dupuis, Planning Director  
**SUBJECT:** 220 Park St. – Design Review

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**Zoning:** B4 (Business-Residential) & D4 (Downtown Overlay)  
**Existing Use:** Commercial

### Introduction

The applicant has submitted a Design Review application for modifications to an existing 3-story commercial building in Downtown Birmingham. The subject site is located on the east side of Park, north of Hamilton Row.

The building has been the subject of numerous Design Review applications over the last year that involved renovations to the main entrance and signage. The current proposal is the removal of an existing entrance along Hamilton Row, to be replaced with non-operable storefront glass.

### Building Exterior

As the site/design plans submitted contain proposals only for new work at the Hamilton Row entrance, the material palette is limited and is as follows:

Material	Location	Color
Aluminum/Glass	Storefront System	Dark Bronze

The proposed renovations are minor in nature in terms of new materials. However, the building is subject to the Downtown Overlay Architectural Standards as outlined in Article 3. Section 3.04 (E) of the Zoning Ordinance. The following standards apply to the proposed renovation:

1. At least 90% of the exterior finish material on all facades that face a street shall be limited to the following: glass, brick, cut stone, cast stone, coarsely textured stucco, or wood. Dryvit or E.F.I.S is prohibited.
2. The primary colors of building exteriors shall be compatible with the colors of adjacent buildings and in character with the surrounding area, although the trim may be of a contrasting color.
3. Blank walls shall not face a public street. Walls facing a public street shall include windows and architectural features customarily found on the front facade of a building, such as awnings, cornice work, edge detailing or decorative finish materials.
4. Storefronts shall be directly accessible from public sidewalks. Each storefront must have transparent areas, equal to 70% of its portion of the facade, between one and eight feet from the ground. The wood or metal armature (structural elements to support canopies or signage) of such storefronts shall be painted, bronze, or powder-coated.
5. Storefronts shall have mullion systems, with doorways and signage integrally designed. Mullion systems shall be painted, powder-coated, or stained.
6. The glazed area of a facade above the first floor shall not exceed 35% of the total area, with each facade being calculated independently.
7. Clear glazing is required on the first floor. Lightly tinted glazing is permitted on upper floors only. Windows shall not be blocked with opaque materials or the back of shelving units or signs.
8. Facade openings, including porches, windows, and colonnades, shall be vertical in proportion.
9. Facades may be supplemented by awnings, which shall be straight sheds without side flaps, not cubed or curved. Awnings shall be between 8 and 12 feet above sidewalk grade at the lower drip edge.

At this time, the applicant appears to meet the above standards with one possible exception, which will be discussed in the Planning and Zoning section below.

### **Signage**

There are no new signs proposed as a part of the Design Review application submitted.

### **Lighting**

There are no new light fixtures proposed as a part of the Design Review application submitted.

### **Planning and Zoning**

As the building/site is not changing its use or size, there are no bulk, height or area requirements that must be reviewed at this time. However, there are some planning and zoning issues that require review as a part of the Design Review application submitted:

- Glazing – The applicant has indicated that the existing storefront glazing system at the entrance will be replaced. As noted above, the applicant is required to maintain 70%

transparency on the storefront façade and no more than 35% transparency on the upper stories. Although the applicant has not submitted glazing calculations for the storefront facades or the upper story facades, it is clear that the applicant does not meet the storefront glazing requirements. The current condition at the storefront is considered legal non-conforming and may be allowed to continue, as the applicant is not proposing to expand the non-conformity.

The issue at hand, in the opinion of the Planning Division, is that the proposed infill of an existing entrance removes the only ingress/egress point on the entire roughly 110 ft. Hamilton Row frontage line. Although the applicant is proposing to keep the exterior stairs, which will mimic the existing conditions, users of the building will be forced to walk around the block to the Park St. entrance to access the building and its tenants. The Planning Division cites Article 3, Section 3.04 (E)(4) which states that "Storefronts shall be directly accessible from public sidewalks."

### Required Attachments

	Submitted	Not Submitted	Not Required
Detailed and Scaled Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Interior Floor Plans	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Landscape Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Photometric Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Colored Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Material Specification Sheets	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Material Samples	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site & Aerial Photographs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

### Design Standards

Article 7, Section 7.09 states that the Design Review Board shall review all documents submitted pursuant to this section and shall determine the following:

1. All of the materials required by this section have been submitted for review.
2. All provisions of this Zoning Ordinance have been complied with.
3. The appearance, color, texture and materials being used will preserve property values in the immediate neighborhood and will not adversely affect any property values.
4. The appearance of the building exterior will not detract from the general harmony of and is compatible with other buildings already existing in the immediate neighborhood.
5. The appearance of the building exterior will not be garish or otherwise offensive to the sense of sight.
6. The appearance of the building exterior will tend to minimize or prevent discordant and unsightly properties in the City.

7. The total design, including but not limited to colors and materials of all walls, screens, towers, openings, windows, lighting and signs, as well as treatment to be utilized in concealing any exposed mechanical and electrical equipment, is compatible with the intent of the urban design plan or such future modifications of that plan as may be approved by the City Commission.

### **Planning Division Analysis**

Based on the requirements of Article 7, Section 7.09, the Planning Division recommends that the Design Review Board **DENY** the Design Review application for 220 Park. The application does not meet the standards for Design Review and will create a poor urban condition along Hamilton Row.

### **Sample Motion Language**

Motion to **DENY** the Design Review application for 220 Park. The application does not meet the standards for Design Review and will create a poor urban condition along Hamilton Row.

**OR**

Motion to **APPROVE** the Design Review application for 220 Park.

**OR**

Motion to **POSTPONE** the Design Review application for 220 Park pending receipt of the following:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



Boji Group

220 Park Street-Phase 2  
Birmingham, MI 48009

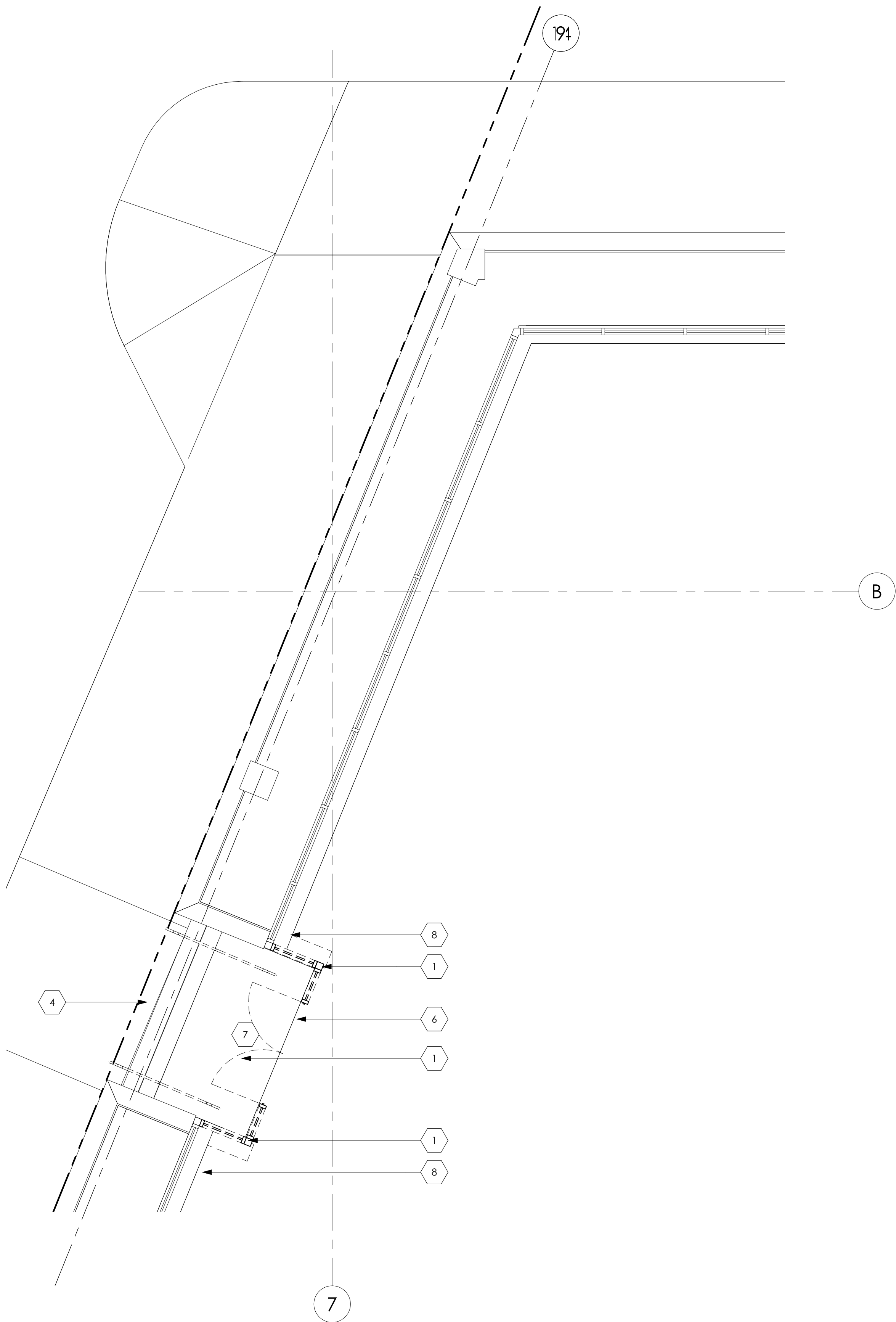
[illegible]

STATE OF MICHIGAN  
JEFFREY GERALD KLATT  
ARCHITECT  
No. 100106199  
LICENSED ARCHITECT

Do not scale drawings. Use  
calculated dimensions only.  
Verify existing conditions in  
field.

Demolition Plan

22-014

$$1/4'' = 1'-0''$$

$$1/4'' = 1'-0''$$

Boji Group

220 Park Street-Phase 2  
Birmingham, MI 48009

[illegible]

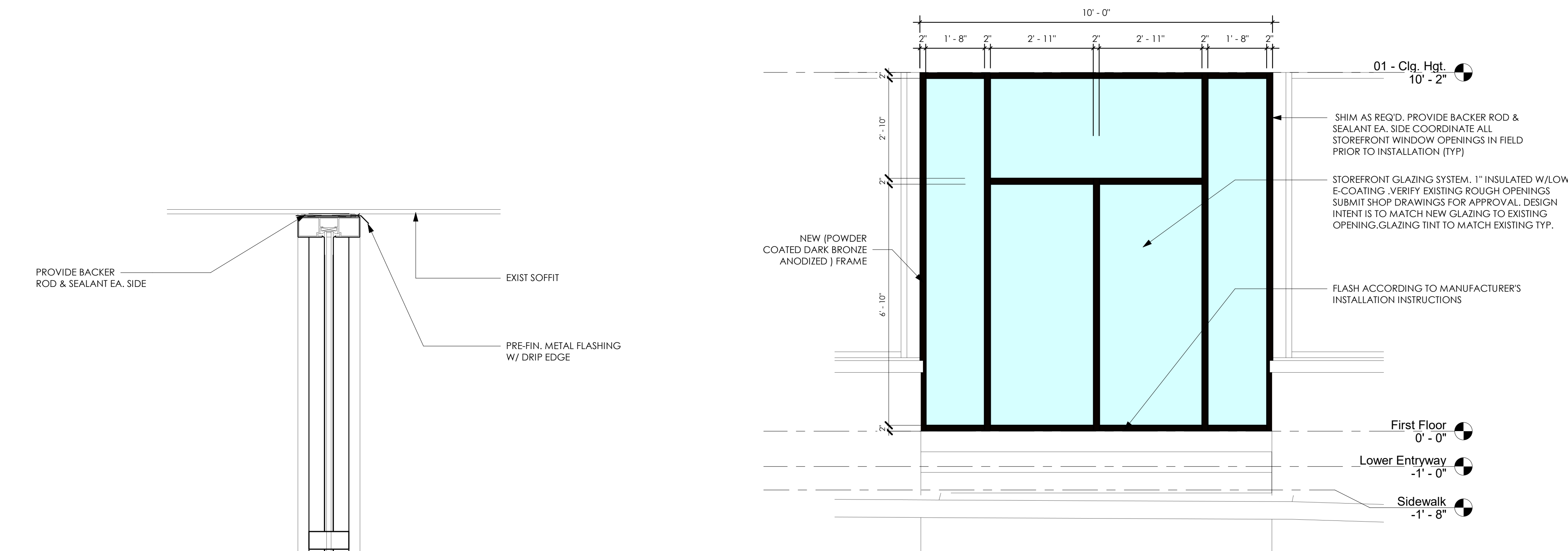
Do not scale drawings. Use  
calculated dimensions only.  
Verify existing conditions in  
field.

## Enlarged Plans

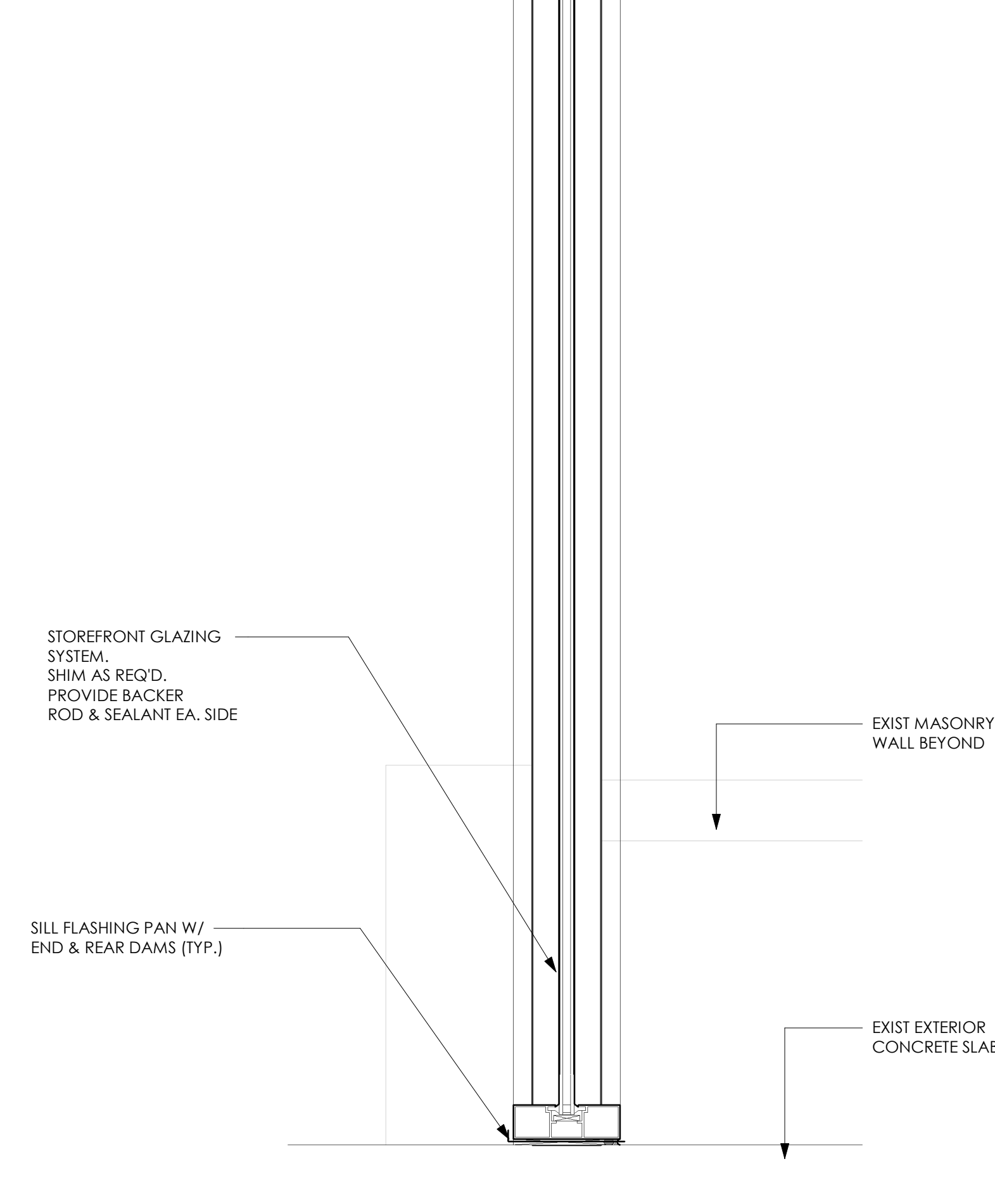
22-014

As indicated

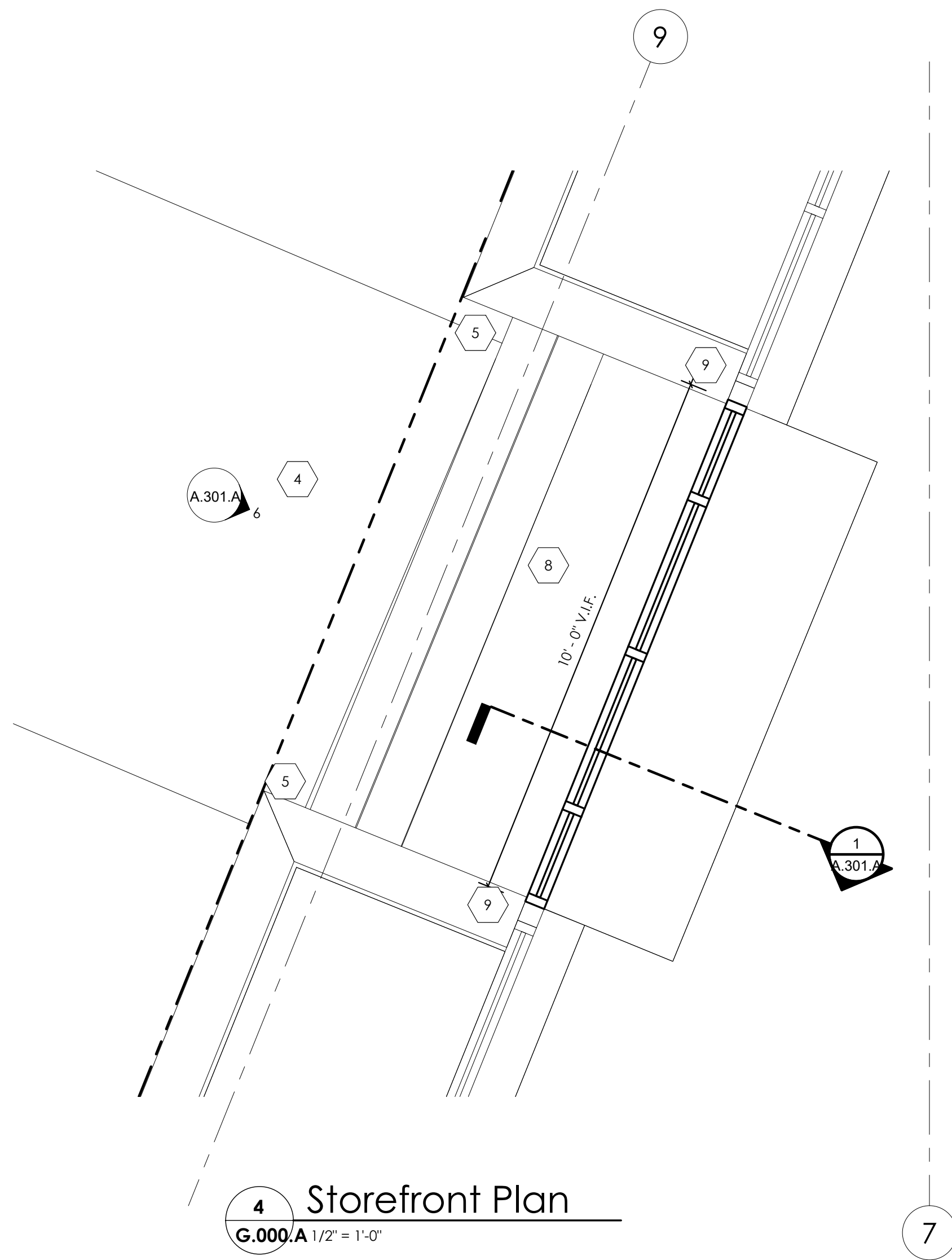
A.301.B



6 South Elevation - Storefront  
A.101/1 1/2" = 1'-0"



1 Section at Storefront  
A.301/A 1 1/2" = 1'-0"



**4** Storefront Plan  
G.000.A 1/2" = 1'-0"

1.	DESIGN INTENT IS TO EXTEND EXISTING LINE OF GLAZING SYSTEM. EXISTING FOUNDATION TO REMAIN.
2.	CONTRACTOR TO VISIT PERMITS TO BECOME FAMILIAR WITH EXISTING CONDITIONS. VERIFY THE SCOPE OF WORK AND EVALUATE POTENTIAL PROBLEMS ATTENDANT TO ITS EXECUTION
3.	THE SUBMISSION OF PRICING SHALL BE EVIDENCE THAT THE CONTRACTOR HAS FULLY EVALUATED POTENTIAL PROBLEMS AND LATER ADDITIONAL COST CLAIMS FOR LABOR, EQUIPMENT, MATERIAL OR HARSHIP WILL NOT BE CONSIDERED.
4.	THE DOCUMENTS, DRAWINGS, AND CONSULTANT DOCUMENTS ARE COMPLEMENTARY IN NATURE. WHAT IS CALLED FOR BY ONE IS BINDING BY ALL. INFORM KRAEGER KATZ ARCHITECTS (KKA) OF ANY DISCREPANCIES WHICH THEY OCCUR.
5.	INFORMATION SHOWN ON THESE DRAWINGS IS BASED ON INFORMATION PROVIDED TO OR OBTAINED BY KKA INCLUDING EXISTING CONDITIONS. CONTRACTOR IS TO VERIFY DIMENSIONS IN FIELD & NOTIFY ARCHITECT OF ANY DISCREPANCIES. ACTUAL FIELD CONDITIONS MAY VARY FROM THOSE INDICATED HEREIN. SHOULD ANY DISCREPANCIES DIFFER SUBSTANTIALLY FROM THOSE INDICATED ON THE DRAWINGS OR FROM THOSE ORDINARILY ENCOUNTERED IN RENOVATION WORK OF THIS TYPE, PROMPTLY NOTIFY KKA BEFORE ANY OF THESE CONDITIONS ARE DISTURBED. FAILURE TO DO SO MAY WAIVE THE CONTRACTOR'S RIGHT TO ADDITIONAL TIME OR OTHER CONSIDERATIONS DUE TO SUCH CONDITIONS.
6.	WORK PERFORMED SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS. NOTHING IN THE DRAWINGS OR RELATED DOCUMENTS IS TO BE CONSTRUED AS REQUIRING OR PERMITTING WORK THAT IS CONTRARY TO CODE REQUIREMENTS.
7.	MANU'F RECOMMENDED INSTALLATION METHODS SHALL TAKE PRECEDENCE OVER METHODS RECOMMENDED ON THE CONSTRUCTION DOCUMENTS.
8.	BASE BUILDING ELEMENTS (ACCESS COMPONENTS, EGRESS COMPONENTS, ETC) TO COMPLY WITH ALL APPLICABLE CODES AND ADA ACCESSIBLE GUIDELINES.

1.	NOT USED
2.	NOT USED
3.	NOT USED
4.	EXISTING SIDEWALK TO REMAIN. REPLACE/REPAIR AT AREAS OF NEW WORK (TYP.)
5.	EXISTING BRICK VENEER TO BE TUCKPOINTED AND REPAIRED AS REQUIRED DUE TO DEMOLITION (TYP.)
6.	PATCH SURROUNDING CONCRETE IN WORK AREAS.
7.	NOT USED.
8.	EXIST. STAIR AND LANDING TO REMAIN REPAIR AND RESURFACE AS NEEDED SUBMIT SHOP DRAWING FOR REVIEW & APPROVAL. (TYP.)
9.	EXISTING LIMESTONE CAP PATCH AND REPAIR WHERE DEMO HAS OCCURRED



**AGENDA**  
**BIRMINGHAM DESIGN REVIEW BOARD**  
**WEDNESDAY – AUGUST 2, 2023**  
**BIRMINGHAM CITY HALL, 151 MARTIN ST, COMMISSION ROOM 205, BIRMINGHAM MI \***  
**\*\*\*\*\* 7:15 PM\*\*\*\*\***

The City recommends members of the public wear a mask if they have been exposed to COVID-19 or have a respiratory illness. City staff, City Commission and all board and committee members must wear a mask if they have been exposed to COVID-19 or actively have a respiratory illness. The City continues to provide KN-95 respirators and triple layered masks for attendees.

- 1) Roll Call
- 2) Approval of the DRB Minutes of **July 19, 2023**
- 3) Public Hearing
- 4) Design Review
- 5) Sign Review
- 6) Study Session
- 7) Miscellaneous Business and Communication
  - A. Pre-Application Discussions
  - B. Draft Agenda
    1. **August 16, 2023**
  - C. Staff Reports
    1. **Administrative Sign Approvals**
    2. **Administrative Approvals**
    3. **Action List 2023**
- 8) Adjournment

\*Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall, 151 Martin St., or may attend virtually at:

**Link to Access Virtual Meeting:** <https://zoom.us/j/91282479817>  
**Telephone Meeting Access:** 877 853 5247 US Toll-free  
**Meeting ID Code:** 912 8247 9817

Notice: Individuals requiring accommodations, such as interpreter services for effective participation in this meeting should contact the City Clerk's Office at [\(248\) 530-1880](tel:2485301880) at least on day in advance of the public meeting.

Las personas que requieren alojamiento, tales como servicios de interpretación, la participación efectiva en esta reunión deben ponerse en contacto con la Oficina del Secretario Municipal al [\(248\) 530-1880](tel:2485301880) por lo menos el día antes de la reunión pública. (Title VI of the Civil Rights Act of 1964).

**A PERSON DESIGNATED WITH THE AUTHORITY TO MAKE DECISIONS MUST BE PRESENT AT THE MEETING.**

**Design Review Board Action List – 2023**

<b>Design Review Board</b>	<b>Quarter</b>	<b>In Progress</b>	<b>Complete</b>
Signs vs. Designs	1 <sup>st</sup> (January-March)	<input type="checkbox"/>	<input type="checkbox"/>
Update Sign Ordinance	2 <sup>nd</sup> (April-June)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Create New Informational Artwork for Sign Ordinance	3 <sup>rd</sup> (July-September)	<input type="checkbox"/>	<input type="checkbox"/>
Sign Ordinance Enforcement	4 <sup>th</sup> (October-December)	<input checked="" type="checkbox"/>	<input type="checkbox"/>