

#### **AGENDA BIRMINGHAM DESIGN REVIEW BOARD WEDNESDAY JULY 19, 2023**

BIRMINGHAM CITY HALL, 151 MARTIN ST, COMMISSION ROOM 205, BIRMINGHAM MI \* 

The City recommends members of the public wear a mask if they have been exposed to COVID-19 or have a respiratory illness. City staff, City Commission and all board and committee members must wear a mask if they have been exposed to COVID-19 or actively have a respiratory illness. The City continues to provide KN-95 respirators and triple layered masks for attendees.

- 1) Roll Call
- 2) Approval of the DRB Minutes of May 17, 2023
- 3) Public Hearing
- 4) Design Review
  - A. 33202 Woodward Piety Hill Shopping Center
  - **B. 220 Park**
- 5) Sign Review
- 6) Study Session
- 7) Miscellaneous Business and Communication
  - A. Pre-Application Discussions
  - **B.** Draft Agenda
    - 1. August 2, 2023
  - C. Staff Reports
    - 1. Administrative Sign Approvals
    - 2. Administrative Approvals
    - 3. Action List 2023
- 8) Adjournment

Link to Access Virtual Meeting: <a href="https://zoom.us/j/91282479817">https://zoom.us/j/91282479817</a>
Telephone Meeting Access: 877 853 5247 US Toll-free
Meeting ID Code: 912 8247 9817

Notice: Individuals requiring accommodations, such as interpreter services for effective participation in this meeting should contact the City Clerk's Office at (248) 530-1880 at least on day in advance of the public meeting.

Las personas que requieren alojamiento, tales como servicios de interpretación, la participación efectiva en esta reunión deben ponerse en contacto con la Oficina del Secretario Municipal al (248) 530-1880 por lo menos el día antes de la reunión pública. (Title VI of the Civil Rights Act of 1964).

A PERSON DESIGNATED WITH THE AUTHORITY TO MAKE DECISIONS MUST BE PRESENT AT THE MEETING.

<sup>\*</sup>Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall, 151 Martin St., or may attend virtually at:

## Design Review Board Minutes Of June 7, 2023

151 Martin Street, City Commission Room 205, Birmingham, MI

Minutes of the regular meeting of the Design Review Board ("DRB") held June 7, 2023. Chair Henke called the meeting to order at 7:48 p.m.

#### 1) Rollcall

**Present:** Chair John Henke; Board Members Keith Dever, Dustin Kolo, Patricia Lang;

Alternate Board Member Samantha Cappello

**Absent:** Board Members Natalia Dukas, Julie Rasawehr, Michael Willoughby; Alternate

Board Member Sam Lanfear; Student Representative Ian Weinberg

**Staff:** Planning Director Dupuis; City Transcriptionist Eichenhorn

#### 2) Approval of the DRB Minutes of May 17, 2023

06-16-23

Motion by Mr. Kolo

Seconded by Ms. Cappello to approve the May 17, 2023 minutes as submitted.

## Motion carried, 5-0.

VOICE VOTE

Yeas: Kolo, Henke, Deyer, Lang, Cappello

Nays: None

- 3) Public Hearing
- 4) Design Review

A. 255 E. Brown

PD Dupuis presented the item. Drew Schmidt of Brown Street Holding Company LLC was present on behalf of the request.

06-17-23

#### **Motion by Ms. Lang**

Seconded by Ms. Cappello to approve the Design Review application for 255 E. Brown with the following condition:

1. The applicant must submit a detailed planting list of all the newly proposed species and their locations.

#### Motion carried, 5-0.

**VOICE VOTE** 

Design Review Board Minutes of June 7, 2023

Yeas: Kolo, Henke, Deyer, Lang, Cappello

Nays: None

- 5) Sign Review
- 6) Study Session
- 7) Miscellaneous Business And Communications
  - A. Pre-Application Discussions
  - **B.** Draft Agenda
  - C. Staff Reports
    - 1. Administrative Sign Approvals
    - 2. Administrative Approvals
    - 3. Action List 2023

### 8) Adjournment

No further business being evident, the Board motioned to adjourn at 7:58 p.m.

Nick Dupuis, Planning Director

Laura Eichenhorn, City Transcriptionist



#### **MEMORANDUM**

Planning Division

**DATE:** July 19, 2023

**TO:** Design Review Board

**FROM:** Nicholas Dupuis, Planning Director

**SUBJECT:** 33202 Woodward – Design Review

**Zoning:** B2B (General Business)

**Existing Use:** Commercial

#### Introduction

The subject site, 33202 Woodward, is currently home to a roughly 353 ft. long multi-tenant commercial building and associated building needs, such as 4 separate off-street parking facilities, trash receptacles, various tenant signage, and mechanical units. The applicant has submitted a design review application for an exterior renovation with no additional square footage added, some minor landscaping, and new lighting.

The applicant received Design Review Approval on February 3, 2021 (Agenda – Minutes), but did not move forward to permits at that time. Article 7, Section 7.11 of the Zoning Ordinance states that "design Review approval shall be valid for a period of one year from the date it is granted. If a building permit has not been issued for the improvements described in the approved Design Review within such one-year period, the Building Official shall not issue a permit for such work until such time as Design Review approval has again been obtained." Thus, the applicant was required to come back before the Design Review Board to seek reapproval for the design.

The proposal currently remains exactly the same as was approved in 2021. As such, the following report was modified only slightly from the 2021 approval.

(This space intentionally left blank)

#### **Building Exterior**

The building-related renovations are proposed to be relatively minor in that the major components are comprised of paint, new wall panel system, some new architectural elements, venting, and lighting and glazing adjustments that will be discussed in detail in the following sections.

Material	Location	Color	
Paint	Existing Brick (all facades, service doors)	Griffin	
Fiber Cement Panels	Upper Facade	Ash, Snow	
Metal Roof Vent	Front Gables	Snow	

Unlike the Downtown and Triangle Districts, there are no architectural standards present along this portion of the Woodward corridor. The building is currently a majority brick and glass, which are widely considered as high quality materials, and will remain as such

#### Signage

The current building contains seven illuminated name letter signs for various tenants. Buildings located on Woodward Ave. are permitted 1.5 sq. ft. of signage per 1 ln. ft. of principal building frontage. Thus, the subject building would be permitted 529.5 sq. ft. of signage. The applicant has submitted elevation drawings that depict a sign plan, which consists of relocating existing signage back on to the façade. The proposed 5 sign areas measure 228 sq. ft. in total, which is under the permitted combined sign area.

### Lighting

The applicant is proposing a total of 34 new light fixtures spreads across the front, sides and rear of the building and site. The applicant has submitted specification sheets for each new fixture that demonstrates compliance with Article 4, Section 4.21 (D) which requires all light fixtures to be fully cutoff and positioned in a manner that does not unreasonably invade abutting or adjacent properties. In addition, a photometric plan was also submitted showing the illuminance levels across the property as a result of the newly proposed fixtures.

Section 4.21 (E) requires that the intensity of light on a site shall not exceed six-tenths (0.6) maintained foot-candles at any property line that abuts a single-family residential zoned property or one and one half (1.5) maintained foot-candles at any property line for any other zoned property. The subject site contains front and side property lines that abut commercially zoned property, and a rear property line that abuts an alley and single-family zoned district directly beyond. Due to the presence of an alley, the applicant will be required to maintain the commercial light intensity standards as opposed to residential.

As the photometric plan shows, the light levels proposed do NOT exceed the maximum 1.5 maintained foot-candles.

#### **Planning and Zoning**

In general, because the existing building footprint it proposed to remain, there are no bulk, placement or height requirements that must be addressed as a part of this review. However, there are four planning and zoning issues that must be addressed:

**Parking**: As noted above, there are four separate off-street parking facilities on the site. A review of existing conditions suggests that there are currently about 64 off-street parking spaces to service 24,943 sq. ft. of retail use. The site plans submitted propose a total of 59 off-street parking spaces. Article 4, Table A of the Zoning Ordinance requires retail uses to provide 1 off-street parking space for each 300 sq. ft. of floor area, which would require this site to provide 83 off-street parking spaces. Because the applicant is not proposing to modify the parking facility, they are permitted to maintain the current legal non-conformity.

**Landscaping**: The current site does not contain landscaping. The applicant is proposing to install 9 new landscaping beds along the front property line at the corners and within the coves of the building. Along with landscaping beds, the applicant is proposing to install decorative pavers within the alcoves of the building frontage. The planting types proposed at 63 Dwarf Blue Lavender and 18 Drift rose plantings.



introduce different textures, heights and colors to add further interest to the proposed landscaping areas.

**Screening**: The subject site contains existing screening along most of the off-street parking facilities, and several existing mechanical units and waste receptacles that are both unscreened. At this time, the applicant is proposing to rebuild the parking lot

screenwalls with a 3 ft. capped masonry screenwall as required by Article 4, Section 4.54 of the Zoning Ordinance.

Additionally, the applicant is proposing to build an enclosure for some existing ground-mounted mechanical units. The enclosure will be constructed of capped masonry and wood gates, which meets the requirements of the Zoning Ordinance.

**Glazing**: The existing building contains a unique arrangement of glazing on the front and side facades of the building. Because the applicant is not proposing to redesign the glazing on the building, the building may remain in its legal non-conforming status when it comes to required glazing percentage. In addition, because the applicant is not replacing any windows in the existing openings, the Visual Light Transmittance standards are also non-applicable.

### **Design Standards**

Article 7, Section 7.09 states that the Design Review Board shall review all documents submitted pursuant to this section and shall determine the following:

- 1. All of the materials required by this section have been submitted for review.
- 2. All provisions of this Zoning Ordinance have been complied with.
- 3. The appearance, color, texture and materials being used will preserve property values in the immediate neighborhood and will not adversely affect any property values.
- 4. The appearance of the building exterior will not detract from the general harmony of and is compatible with other buildings already existing in the immediate neighborhood.
- 5. The appearance of the building exterior will not be garish or otherwise offensive to the sense of sight.
- 6. The appearance of the building exterior will tend to minimize or prevent discordant and unsightly properties in the City.
- 7. The total design, including but not limited to colors and materials of all walls, screens, towers, openings, windows, lighting and signs, as well as treatment to be utilized in concealing any exposed mechanical and electrical equipment, is compatible with the intent of the urban design plan or such future modifications of that plan as may be approved by the City Commission.

#### Recommendation

Due to the revisions submitted, the Planning Division recommends that the Design Review Board **APPROVE** the Design Review application for 33202 Woodward – Piety Hill.

#### **Sample Motion Language**

Motion to **APPROVE** the Design Review application for 33202 Woodward – Piety Hill.

Motion to **POSTPONE** the Design Review application for 33202 Woodward - Piety Hill -

pendin	g receipt of the following:
1. 2. 3.	
	OR
	to <b>DENY</b> the Design Review application for 33202 Woodward – Piety Hill – for the ng reasons:
4.	
5.	
6.	



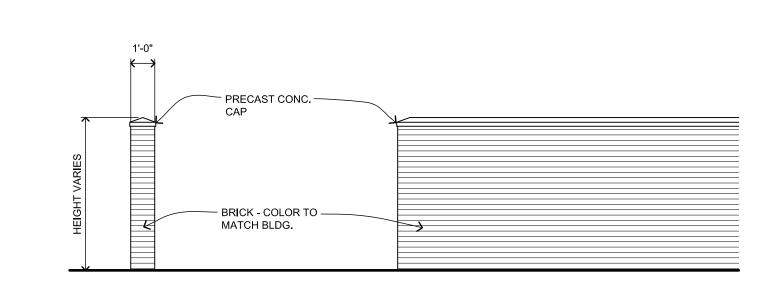
PRECAST CONC. -

- BURN**I**SHED BLOCK -

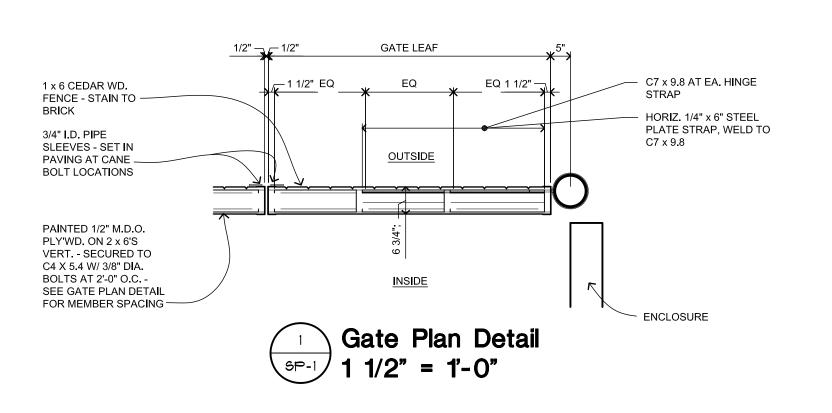
: :

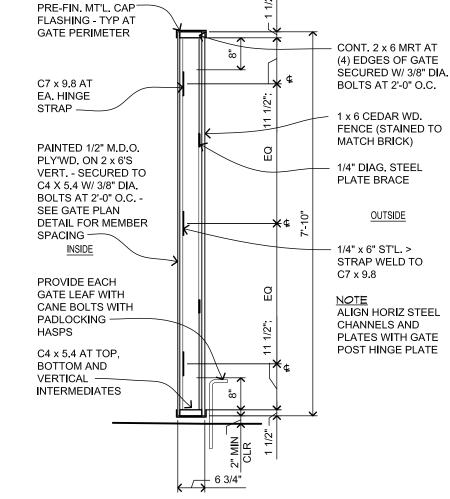
Typical Screenwall Detail

1/4" = 1'-0"

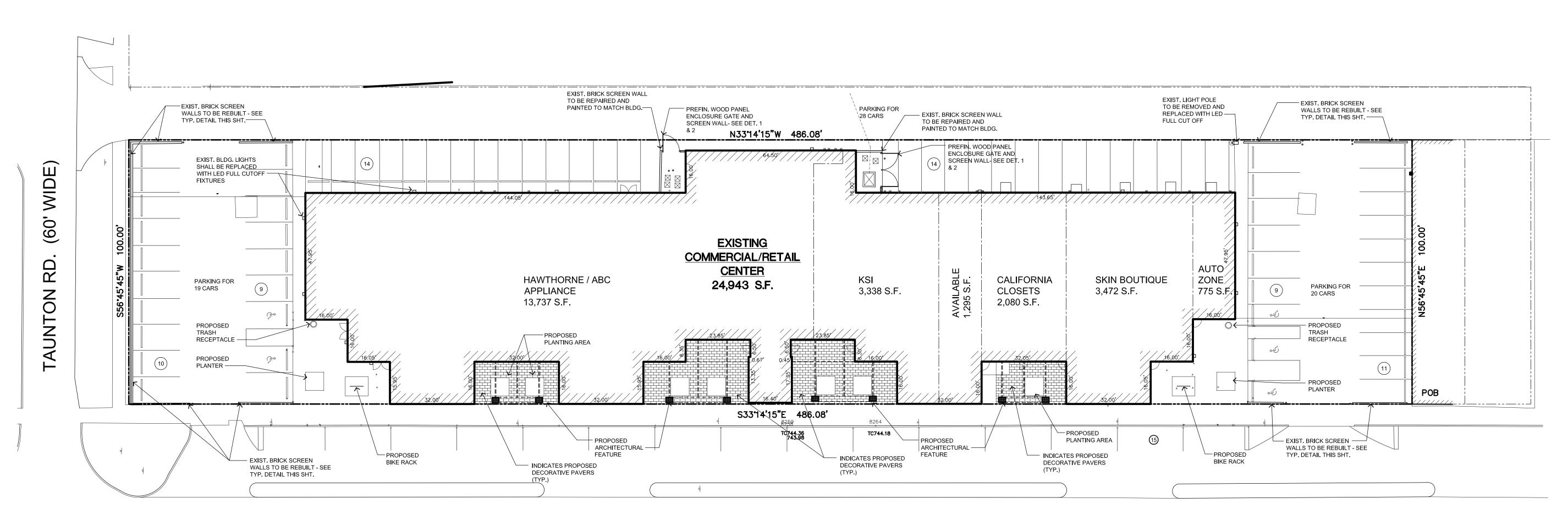








<sup>2</sup> Gate Section 1/2" = 1'-0"



Ash Dome

Proposed Trash Receptacle

STYLE: ASH DOME COLOR: BLACK

Site Plan

file number: 05149
sheet:

checked: MD

approved: MD

drawing:

drawn:

issued for:

project:

oppina

ARCHITECTS

32500 TELEGRAPH ROAD

SUITE 250

48025-2404

BINGHAM FARMS, MICHIGAN

PH 248.540.7700 FX 248.540.2710

OWNER REVIEW: 28 OCT. 2020
DESIGN REVIEW BOARD: 20 NOV. 2020
DESIGN REVIEW BOARD: 25 JAN. 2021

SP-1

Conceptual

Site Plan

DO NOT SCALE DRAWING

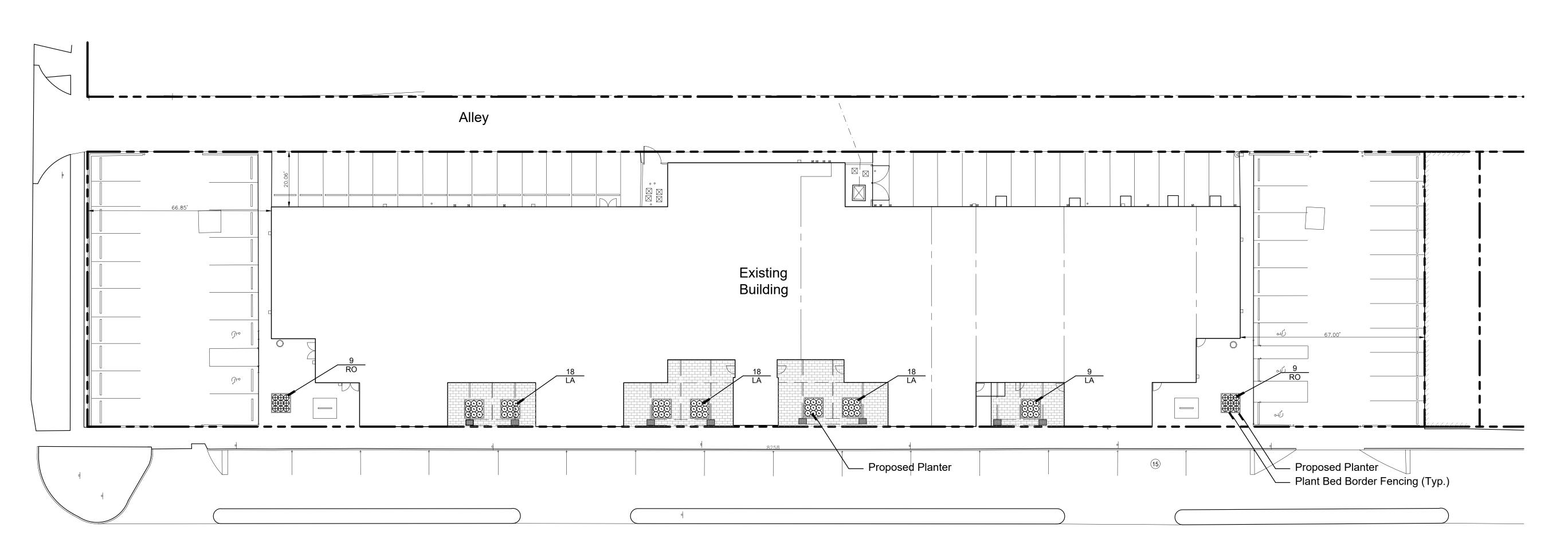
issue date: 16 JUN. 20

WOODWARD AVE. (200' WIDE)



Scale: 1"=20'-0"

© COPYRIGHT 2019 ROGVOY ARCHITECTS, P.C.



## Woodward Avenue

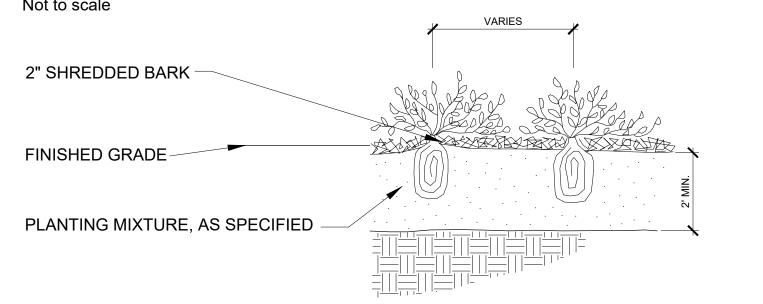
## Plant List

sym.	qty.	botanical name	common name	spacing	root	height
LA	63	Lavandula angustifolia 'Dwarf Blue'	Dwarf Blue Lavender	as shown	cont.	#2
RO	18	Rosa 'Drift'	Drift Rose	as shown	cont.	#2

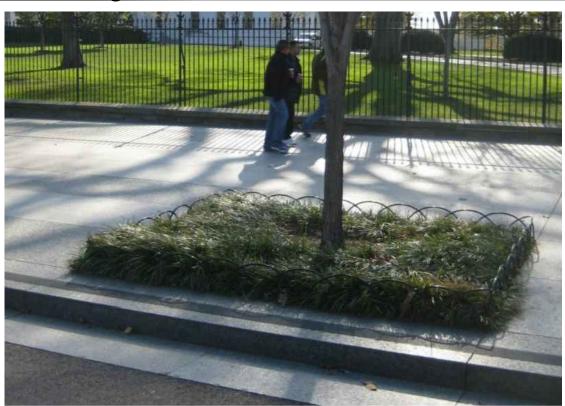
PROPOSED PLANTING AREA NOTES:

EXCAVATE PIT TO 2' AND ADD PLANT MIX UNTIL 1" BELOW EXISTING CONCRETE.
 PLANT MIX SHALL CONSIST OF 1/3 SCREENED TOPSOIL, 1/3 SAND AND 1/3 COMPOST.

# Perennial Planting Detail Not to scale



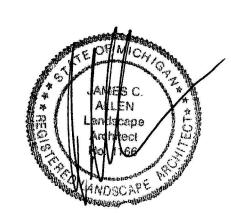
## Planting Bed Border Fence



Chatham Wicket Fence by Border Concepts 800-845-3343



Seal:



Titl

Landscape Plan

Project:

Piety Hill Shopping Center Birmingham, Michigan

Prepared for:

Rogvoy Architects 32500 Telegraph, Suite 250 Bingham Farms, Michigan 48025 248.540.7700

Revision: Issued:

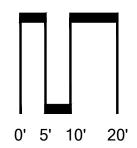
Review August 4, 2020
Revised November 18, 2020
Revised January 25, 2021

Job Number:

14-009

Drawn By: Checked By:

jou



NORTH 1"=20'

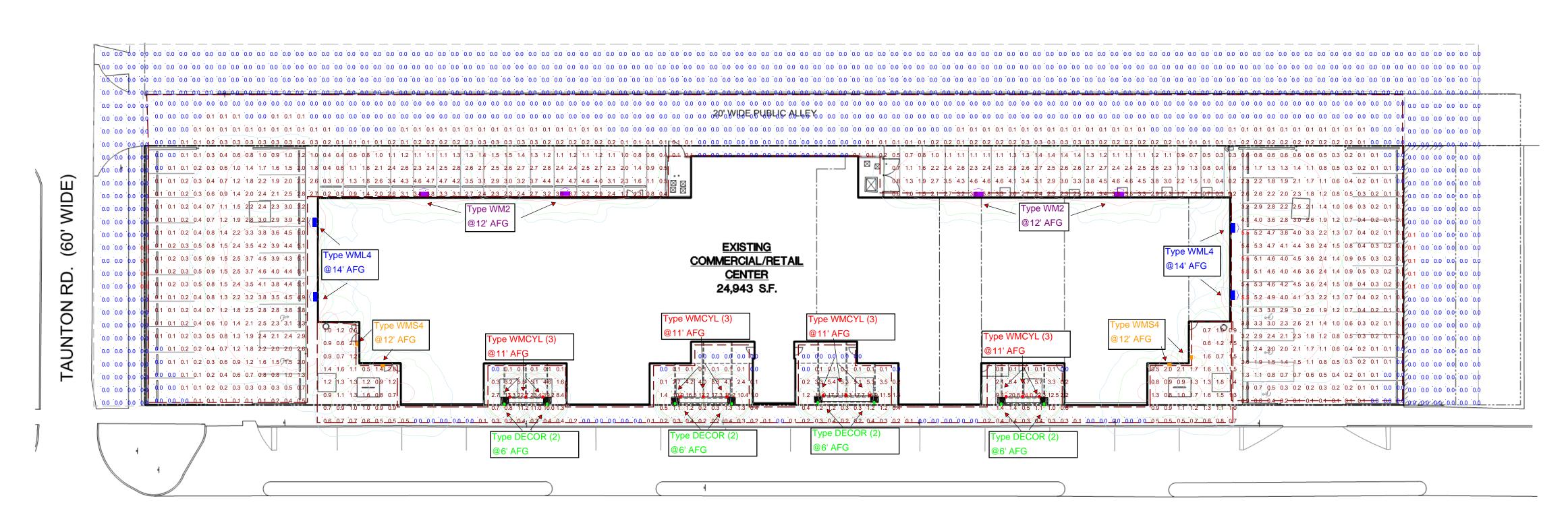
Sheet No.

L-1

MLS	

hedule																
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Lumen Multiplie r	Light Loss Factor	Wattage	Efficiency	Distribut ion	Plot	Notes
	WM2	4	HUBBELL OUTDOOR	TRP2-24L-30-4K7-2	GeoPak Size 2	C-70-CRI	1	TRP2-24L-30- 4K7-2.ies	3733	1	0.92	27.9	100%		Max: 4143cd	
	WMS 4	4	HUBBELL OUTDOOR LIGHTING	TRP1-12L15-4K7-4	GeoPak Size 1		1	TRP1-12L15- 4K7-4.ies	1550	1	0.92	13.9	100%		Max: 1220cd	
	WML4	4	HUBBELL OUTDOOR	TRP2-24L-50-4K7-4	GeoPak Size 2	C-70-CRI	1	TRP2-24L-50- 4K7-4.ies	5664	1	0.92	48.6	100%		Max: 6322cd	
ô	DECO R	8	TECH LIGHTING				1	WINDFALL OUTDOOR FIXTURE.ies	184	1	1	0	100%			
ô	WMC YL	12	v2 Lighting Group, Inc. www.v2Lighting Group.com		AQUA 300, 60 degree reflector w/Forward Throw Accessory	Xicato XTM 19mm LES, 2000lm, 83CRI	1	AQUA 300 2000lm 60 degree 190513.IES	2000	1	1	19	87%			

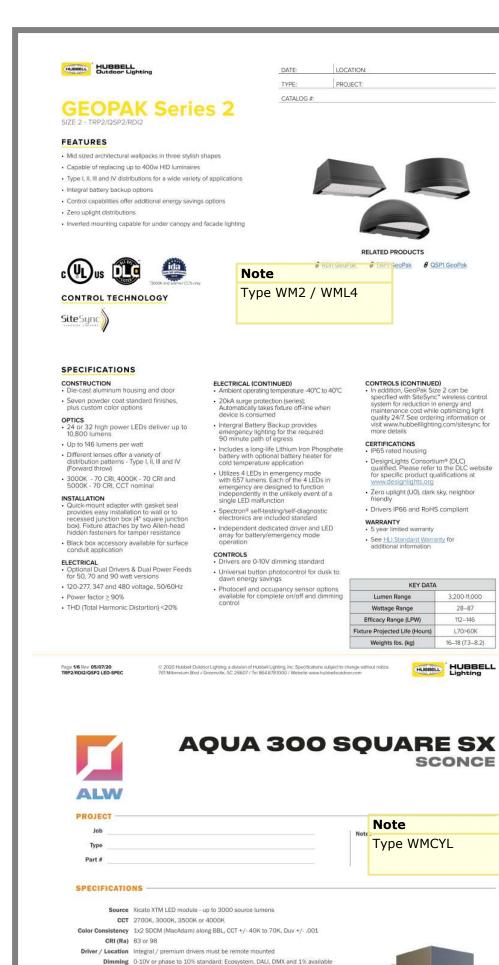
Statistics									
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min			
Front Courtyard Areas	+	2.3 fc	24.0 fc	0.0 fc	N/A	N/A			
Parking Area	+	1.1 fc	5.5 fc	0.0 fc	N/A	N/A			
Property Line	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A			



WOODWARD AVE. (200' WIDE)



2/18/2021



DATE: LOCATION:

TYPE: PROJECT:

8 KDIT GEOPAK 8 QSP1 GeoPak

Zero uplight (U0), dark sky, neighbor friendly

Drivers IP66 and RoHS compliant

See <u>HLI Standard Warranty</u> for additional information

KEY DATA

SCONCE

Note

Input Voltage 100 to 277VAC (347VAC consult factory), phase dimmable versions are 120VAC only

Power Up to 35 watts max, depending on LED module / driver

Location Listed for Wet location, tested to IP66 per IEC 60529

Modifications Any modification or customization is possible - consult factory

Materials Tamper resistant design, stainless steel hardware, metal reflectors

Approvals ETL Listed to UL 1598, 2108, 8750 and CSA C22.2# 9 & #250.0 L70 Life > 55,000 hours at 70% lumen maintenance, LM80 / TM-21, see pg 2

Warranty Lifetime Limited Warranty - see warranty for details

Finish Powder coat - Exterior grade TGIC polyester, optional marine-grade finish

CUTTOOR WET \*\*\* IP66 DIMMARKE XICATO TITLE 24 Intertek

A 1035 22nd Avenue, Unit 1 · Oakland, CA 94606 P 510.489.2530 E TalkToUs@alwusa.com W alwusa.com 1

K AQUA 300 Square SX Sconce - Integrated Driver, 0-10V Dimming - Down, 3000lm, 83CRI, 2700K, 20°, NN No Accessory - L1 Gloss White

Reflector 10°, 20°, 40°, 60° & optical accesories

Weight 5.7 lb . [2.6 kg]

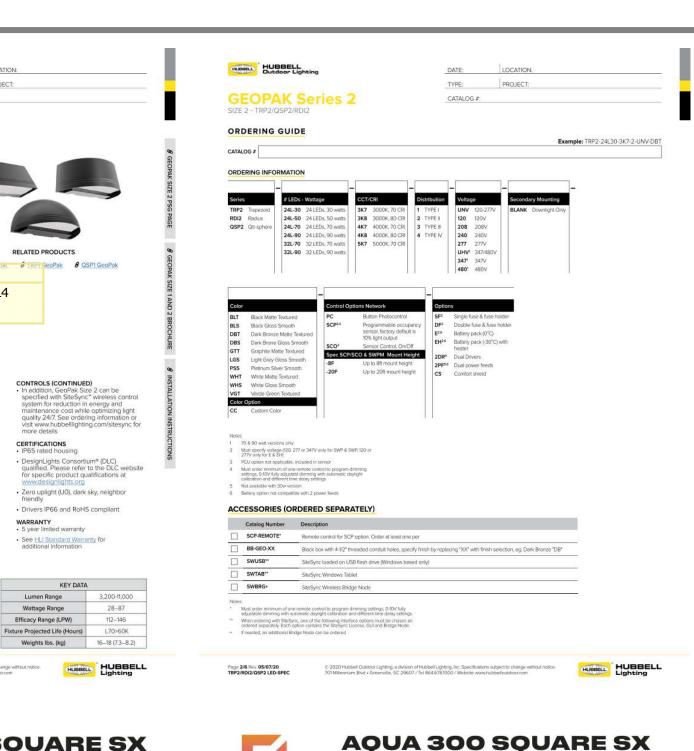
premium anyers (remache rocation only):
21 =elatol.ED 0-10V, 0%
22 =elatol.ED DALI, 0%
23 =elatol.ED DALI, 0%
24 = Lutron Hi-Lume<sup>TM</sup> LDE1, 0-10V, 0%
25 = Lutron Hi-Lume<sup>TM</sup> LTEA, Phase, 1%

Example Part Number: K3SS-NVD-30832720NN-L1

IES Files LM-79-08 IES files available

Type WMCYL

CATALOG #:



HUBBELL Outdoor Lighting

Wet Location Listed to UL924

SPECIFICATIONS

CONSTRUCTION

c Us us in the control of the contro

The LED bezel and trim-plate are made of stainless steel

Five powder coat standard finishes, plus custom color options

Wet Location Listed to UL924 and UL1598 Standard

OPTICS

• 12 high power LEDs delivering up to 3,000 lumens

Zero uplight (UO), dark sky, neighbor friendly

Universal plate for mounting to standard 3 1/2" and 4" square electrical boxes. All connections are made from connections at the rear of the unit

Optional benefit.

Optional back-box accessory available for surface conduit application. See BB-Geo accessories

Up to 118 lumens per watt

INSTALLATION

· "Normally On" emergency luminaire for architectural applications

Environmentally friendly, long-life Lithium Iron Phosphate battery

12 high-power LEDs create 3115 lumens in AC and 658 lumens in emergency mode

- Standard Temperature Range: 0°C to 40°C, Optional Heater: -30°C to 40°C

FEATURES

DATE: LOCATION:

CATALOG #:

Note

ELECTRICAL
 120-277 operation, 50/60Hz
 0-10V dimming driver standard
 10kA surge protector

Utilizes 4 LEDs in emergency mode with 657 lumens. Each of the 4 LEDs in emergency are designed to function independently in the unlikely event of a single LED malfunction

Spectron® self-testing/self-diagnostic electronics are included standard

Page 1/5 Rev 05/07/20 C 2020 Hubbel Outdoor Lighting, a division of Hubbel Lighting, in: Specifications subject to change without notice.

TRPVRDHOSPHED-SPEC 701 Milliennium Bod - Greenville, SC 29607 Tel 664 67/31000 / Website www.hubbeloutdoor.com

HUBBELL Lighting

Type WMS4

TYPE: PROJECT:

8 RDI2 GeoPak 8 TRP2 GeoPak 8 QSP2 GeoPak

DesignLights Consortium® (DLC) qualified. Please refer to the DLC website for specific product qualifications at www.designlights.org

Drivers IP66 and RoHS compliant

See <u>HU Standard Warranty</u> for additional information

KEY DATA

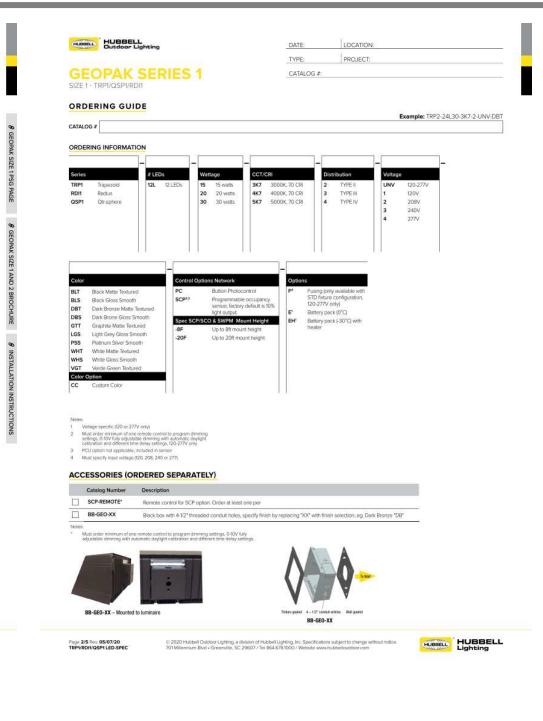
 Lumen Range
 1471-2942

 Wattage Range
 13.9–28.2

 Efficacy Range (LPW)
 95–118

 Fixture Projected Life (Hours)
 L70>345K

UL 1598 listed for use in wet locations





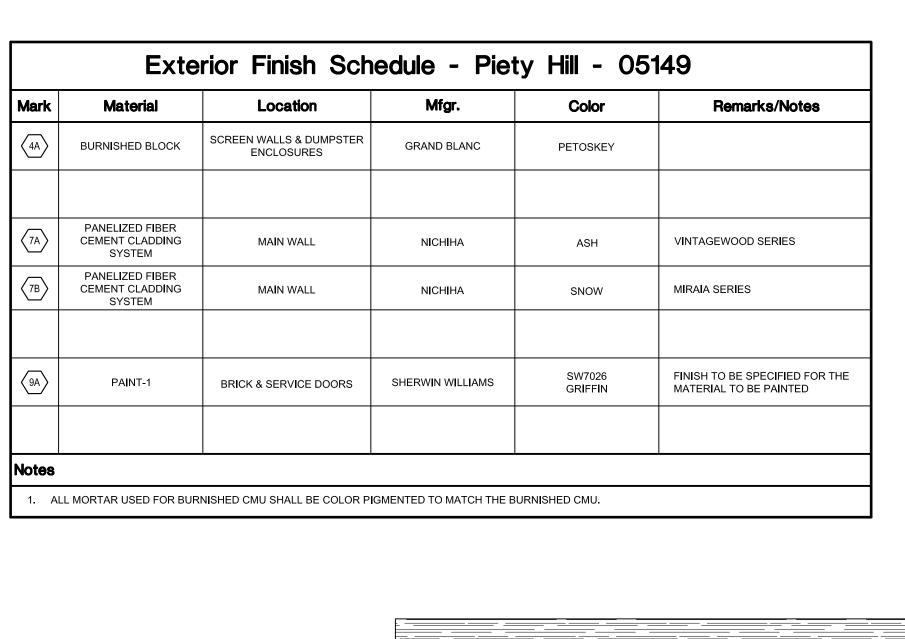
**AQUA 300 SQUARE SX** SCONCE ALW Canopy fits standard 3.5" and 4" round and octagonal junction boxes Not to scale, dimensions are nominal Go to www.v2LightingGroup.com for CAD drawings 6.3\* LED OPTIONS CONTROL OPTIONS Driver Option Odering Description
Code
Standard N No dimming LED Drivers\* V 0.00 dimming to 10% (included in Phrese dimming to 20% Compatible with high interest and reverse phase dimmers Reflector
Option LES<sup>1</sup> L70<sup>2</sup> CRI Lumens<sup>3,4,5</sup> Wattage<sup>6</sup> Efficacy<sup>7</sup> (Im<sup>2</sup>W) | Section | Sect base price) Compatible with both forward and reverse phase dimmers

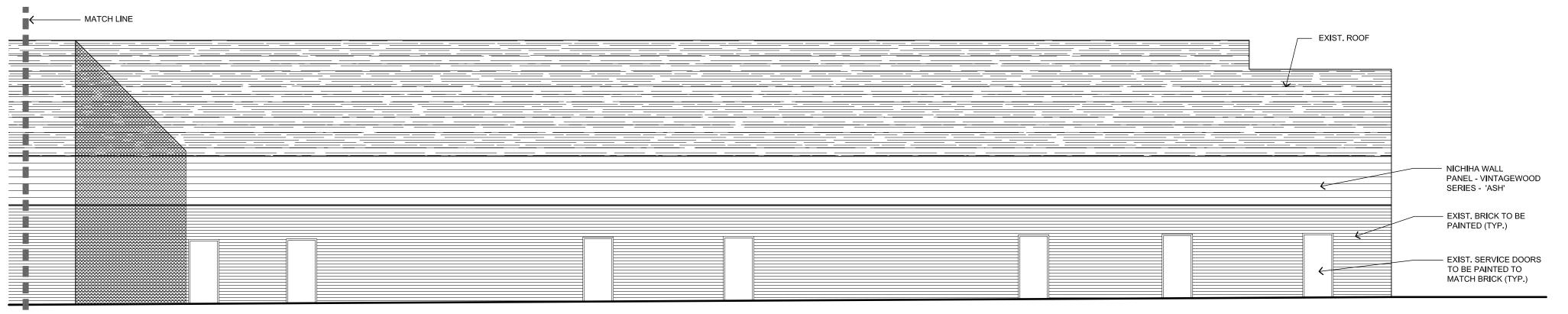
21 oldoLEO, 0-10V dimming to 0% s IUW.
Typical source Limens - see pintometrics on page 3 for LDR to calculate delivered limens.
Higher Immo copius are evidation in ADUA 400 seriese
Typical luminare settage including LED driver = LED wettage x 1.2
Higher effizicacies may be available via lower drive currents - consult factory.



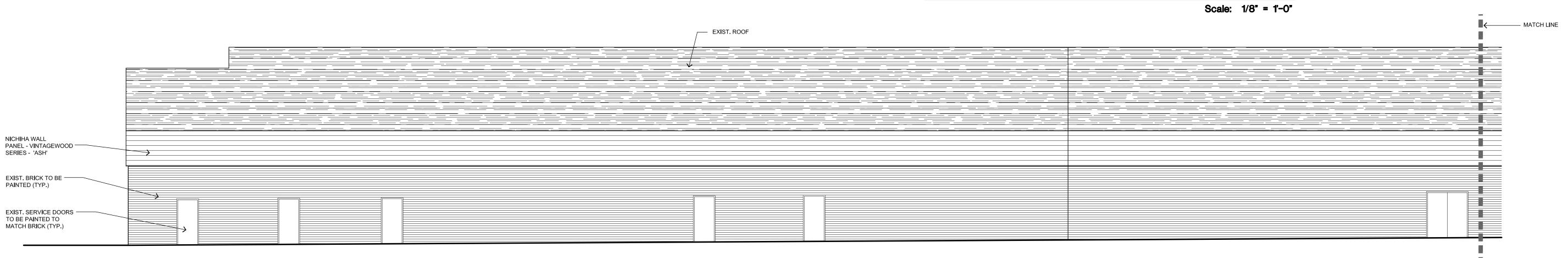
Shopping Cer ningham, MI Plan - REV6

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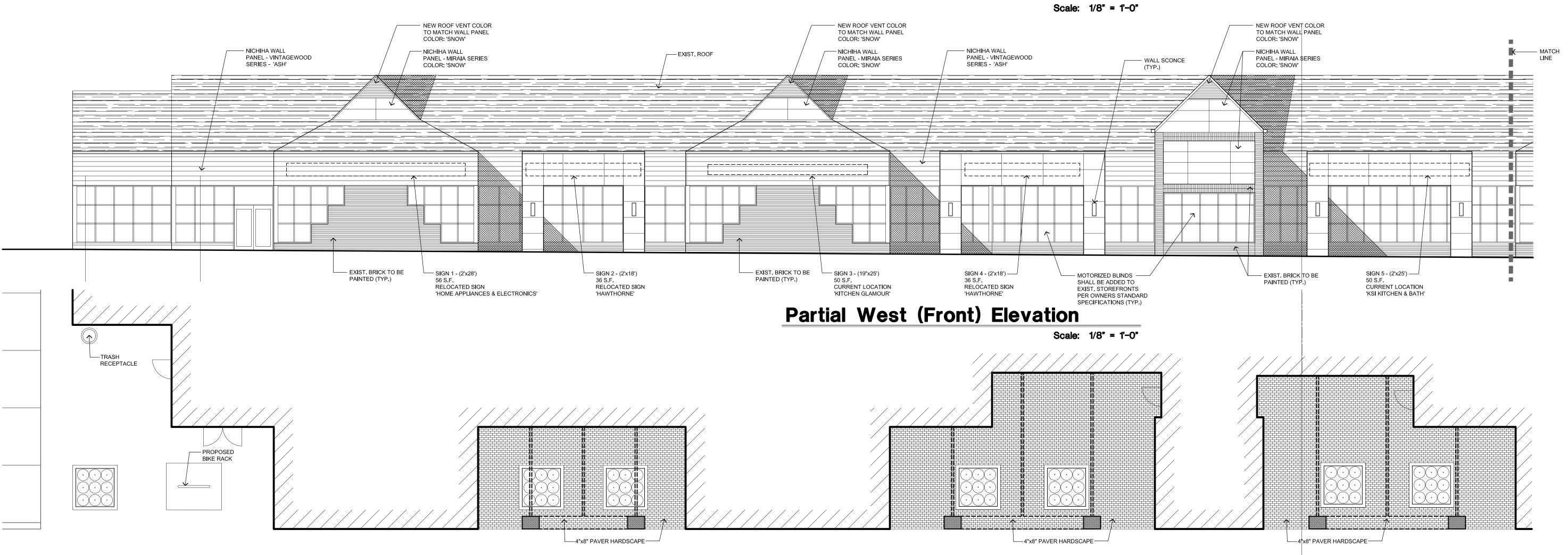




Partial East (Rear) Elevation



# Partial East (Rear) Elevation





project:

issued for:

OWNER REVIEW: 10 JUL. 2020

DESIGN REVIEW BOARD: 20 NOV. 2020

Piety Hill Shopping Center

Woodward Ave.



32500 TELEGRAPH ROAD SUITE 250 BINGHAM FARMS, MICHIGAN 48025-2404

PH 248.540.7700 FX 248.540.2710 www.rogvoy.com



drawing:

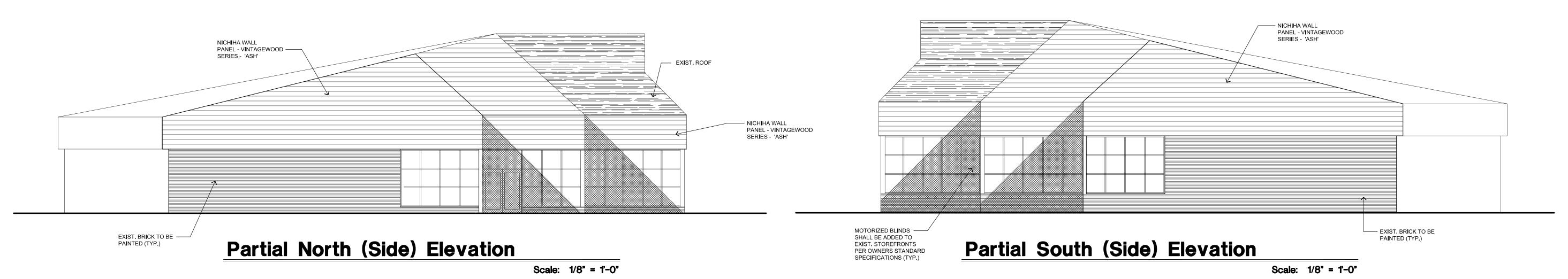
Conceptual
Elevation &
Plan View

DO NOT SCALE DRAWING

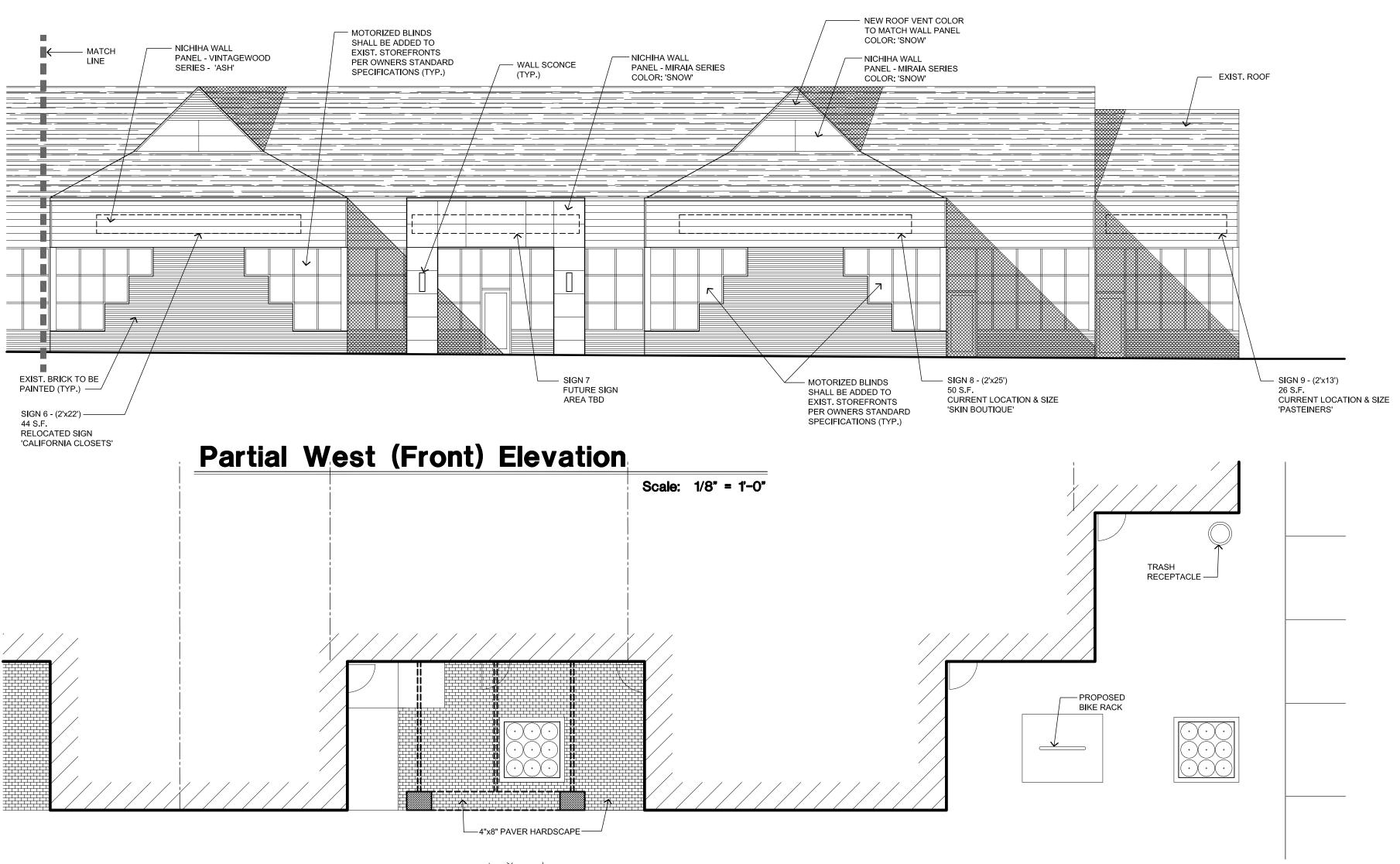
issue date:
drawn: KL
checked: MD
approved: MD

file number: **05149** 

shoot.



/lark	Material	Location	Mfgr.	Color	Remarks/Notes
4A>	BURNISHED BLOCK	SCREEN WALLS & DUMPSTER ENCLOSURES	GRAND BLANC	PETOSKEY	
7A	PANELIZED FIBER CEMENT CLADDING SYSTEM	MAIN WALL	NICHIHA	ASH	VINTAGEWOOD SERIES
⟨7B⟩	PANELIZED FIBER CEMENT CLADDING SYSTEM	MAIN WALL	NICHIHA	SNOW	MIRAIA SERIES
9A \	PAINT-1	BRICK & SERVICE DOORS	SHERWIN WILLIAMS	SW7026 GRIFFIN	FINISH TO BE SPECIFIED FOR THE MATERIAL TO BE PAINTED
Notes					



Partial Plan View

Scale: 1/8" = 1'-0"

issued for:

OWNER REVIEW: 10 JUL. 2020

OWNER REVIEW: 27 OCT. 2020

DESIGN REVIEW BOARD: 20 NOV. 2020

DESIGN REVIEW BOARD: 25 JAN. 2021

project:

Piety Hill Shopping Center

Woodward Ave.



32500 TELEGRAPH ROAD SUITE 250 BINGHAM FARMS, MICHIGAN 48025-2404

PH 248.540.7700 FX 248.540.2710 www.rogvoy.com



drawing:

Conceptual
Elevation &
Plan View

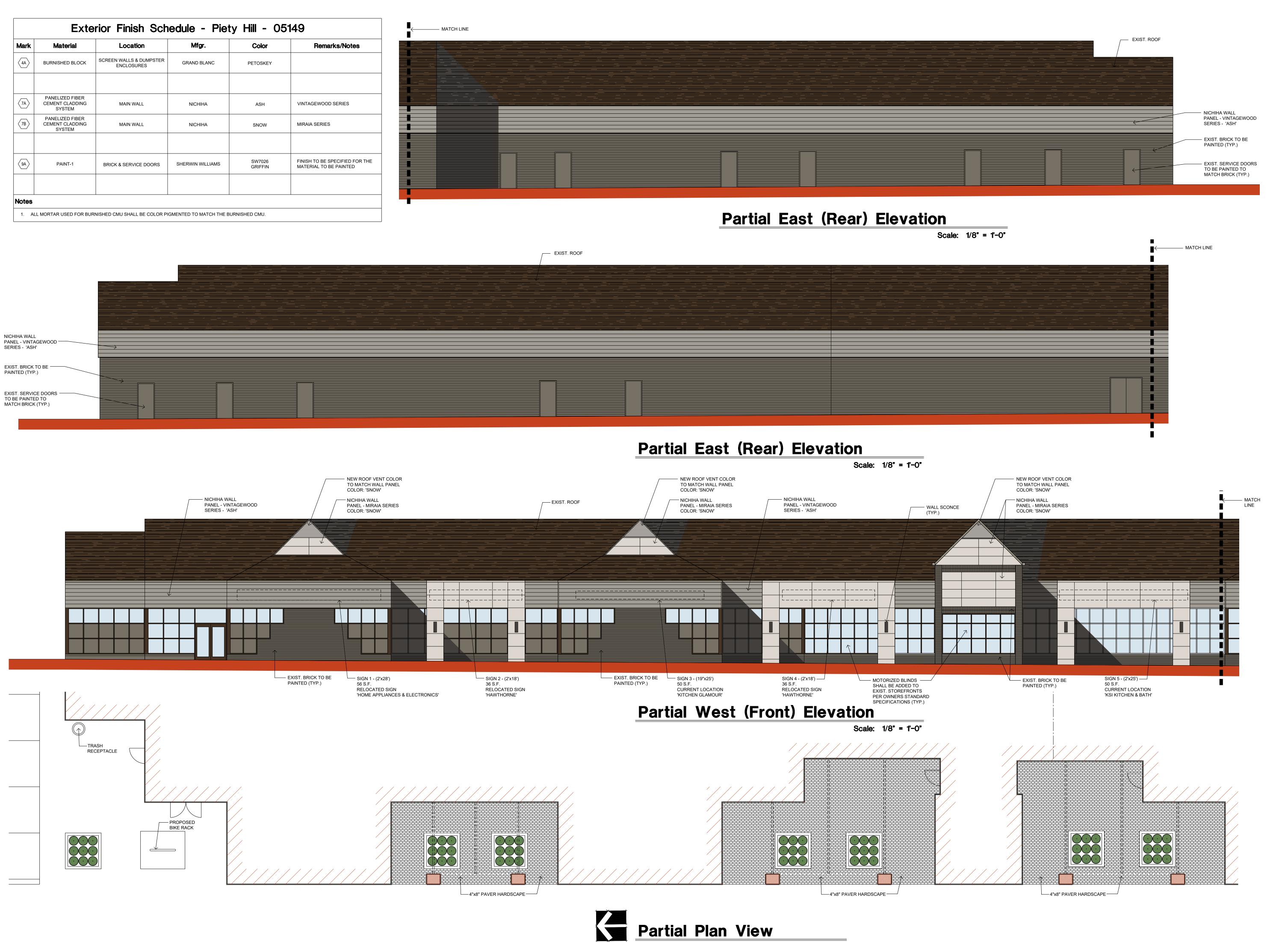
DO NOT SCALE DRAWING

issue date:
drawn: KL
checked: MD
approved: MD

file number: **05149** 

shoo

A-2



Scale: 1/8" = 1'-0"

© COPYRIGHT 2019 ROGVOY ARCHITECTS, P.C.

OWNER REVIEW: 10 JUL. 2020

DESIGN REVIEW BOARD: 20 NOV. 2020

DESIGN REVIEW BOARD: 25 JAN. 2021

issued for:

project:

oppina Sh

ROGVOY ARCHITECTS

32500 TELEGRAPH ROAD SUITE 250 BINGHAM FARMS, MICHIGAN 48025-2404

PH 248.540.7700 FX 248.540.2710 www.rogvoy.com



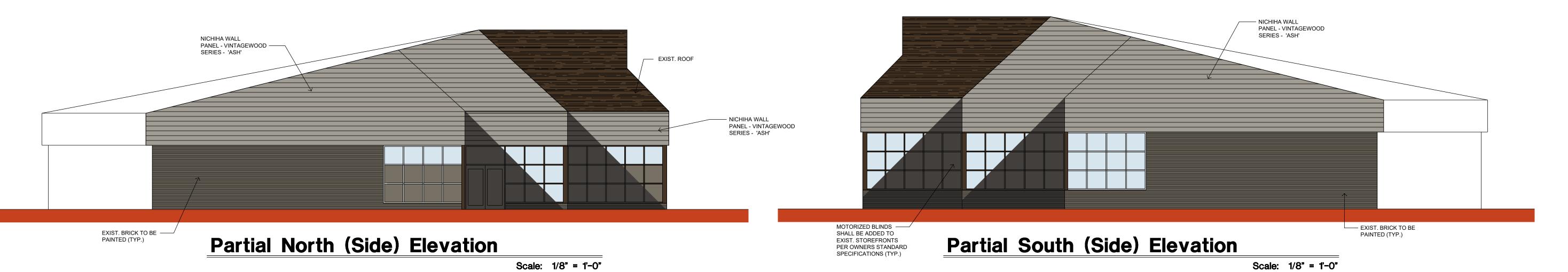
drawing:

Conceptual Elevation & Plan View

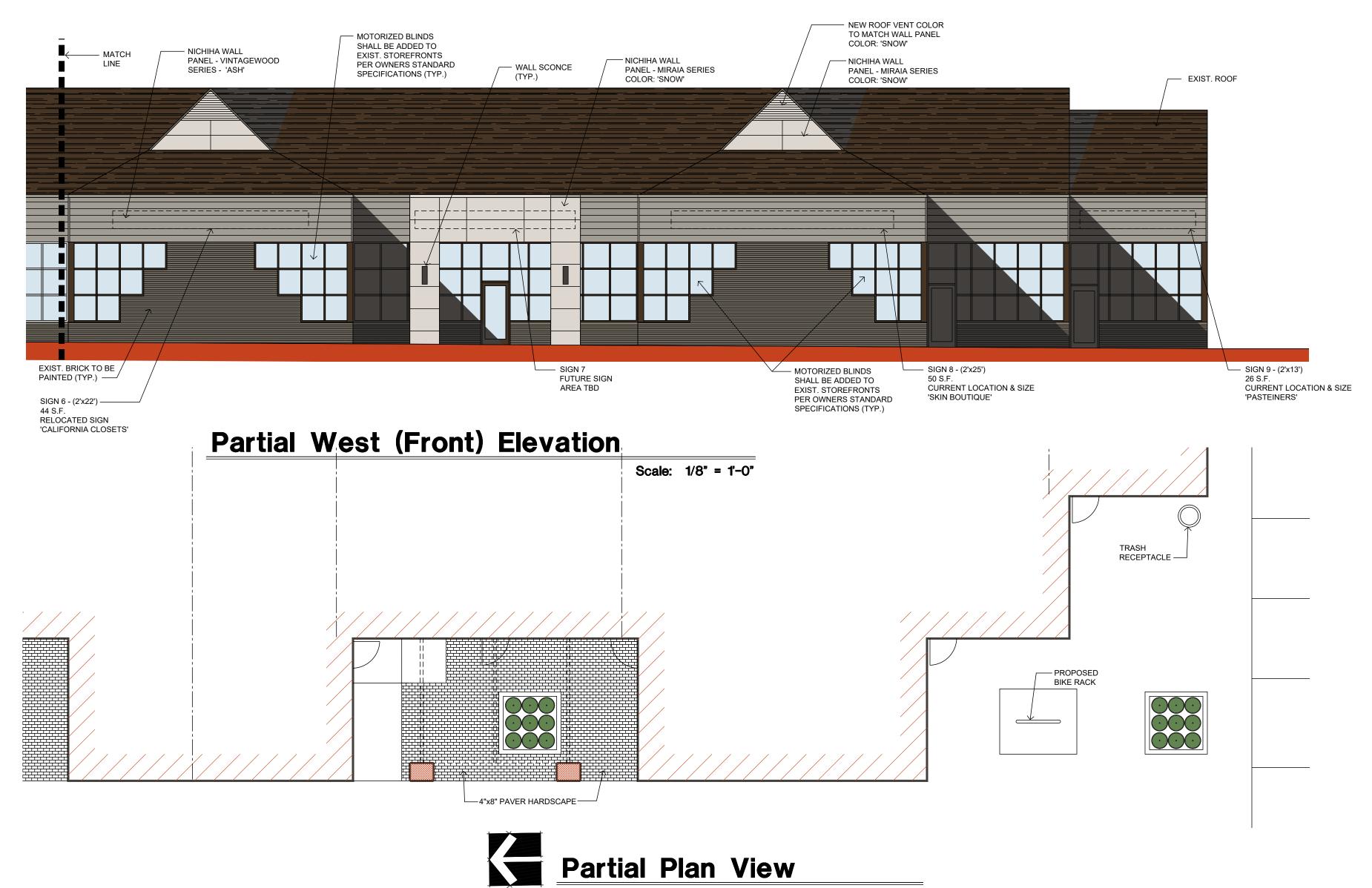
DO NOT SCALE DRAWING

issue date: drawn: KL checked: MD approved: MD

file number: **05149** 



	Location	Mfgr.	Color	Remarks/Notes
BURNISHED BLOCK	SCREEN WALLS & DUMPSTER ENCLOSURES	GRAND BLANC	PETOSKEY	
PANELIZED FIBER CEMENT CLADDING SYSTEM	MAIN WALL	NICHIHA	ASH	VINTAGEWOOD SERIES
PANELIZED FIBER CEMENT CLADDING SYSTEM	MAIN WALL	NICHIHA	SNOW	MIRAIA SERIES
PAINT-1	BRICK & SERVICE DOORS	SHERWIN WILLIAMS	SW7026 GRIFFIN	FINISH TO BE SPECIFIED FOR THE MATERIAL TO BE PAINTED
	PANELIZED FIBER CEMENT CLADDING SYSTEM  PANELIZED FIBER CEMENT CLADDING SYSTEM	PANELIZED FIBER CEMENT CLADDING SYSTEM  PANELIZED FIBER CEMENT CLADDING SYSTEM  MAIN WALL SYSTEM	PANELIZED FIBER CEMENT CLADDING SYSTEM  PANELIZED FIBER CEMENT CLADDING SYSTEM  MAIN WALL NICHIHA  NICHIHA NICHIHA NICHIHA	PANELIZED FIBER CEMENT CLADDING SYSTEM  PANELIZED FIBER CEMENT CLADDING SYSTEM  MAIN WALL  NICHIHA  SNOW  PANELIZED FIBER CEMENT CLADDING SYSTEM  PANELIZED FIBER CEMENT CLADDING SYSTEM  NICHIHA SNOW  SW7026



Scale: 1/8" = 1'-0"

issued for:

OWNER REVIEW: 10 JUL. 2020

OWNER REVIEW: 27 OCT. 2020

DESIGN REVIEW BOARD: 20 NOV. 2020

DESIGN REVIEW BOARD: 25 JAN. 2021

project:

Piety Hill Shopping Center

ROGVOY
ARCHITECTS

32500 TELEGRAPH ROAD SUITE 250 BINGHAM FARMS, MICHIGAN 48025-2404

PH 248.540.7700 FX 248.540.2710 www.rogvoy.com



drawing:

Conceptual
Elevation &
Plan View

DO NOT SCALE DRAWING

issue date:
drawn: KL
checked: MD
approved: MD

file number: **05149** 

shoo

A-2



## **MEMORANDUM**

Planning Division

**DATE:** July 19, 2023

**TO:** Design Review Board

**FROM:** Nicholas Dupuis, Planning Director

**SUBJECT:** 220 Park St. – Design Review

**Zoning:** B4 (Business-Residential) & D4 (Downtown Overlay)

**Existing Use:** Commercial

#### Introduction

The applicant has submitted a Design Review application for modifications to an existing 3-story commercial building in Downtown Birmingham. The subject site is located on the east side of Park, north of Hamilton Row.

The building has been the subject of numerous Design Review applications over the last year that involved renovations to the main entrance and signage. The current proposal is the removal of an existing entrance along Hamilton Row, to be replaced with non-operable storefront glass.

#### **Building Exterior**

As the site/design plans submitted contain proposals only for new work at the Hamilton Row entrance, the material palate is limited and is as follows:

Material	Location	Color
Aluminum/Glass	Storefront System	Dark Bronze

The proposed renovations are minor in nature in terms of new materials. However, the building is subject to the Downtown Overlay Architectural Standards as outlined in Article 3. Section 3.04 (E) of the Zoning Ordinance. The following standards apply to the proposed renovation:

- 1. At least 90% of the exterior finish material on all facades that face a street shall be limited to the following: glass, brick, cut stone, cast stone, coarsely textured stucco, or wood. Dryvit or E.F.I.S is prohibited.
- 2. The primary colors of building exteriors shall be compatible with the colors of adjacent buildings and in character with the surrounding area, although the trim may be of a contrasting color.
- 3. Blank walls shall not face a public street. Walls facing a public street shall include windows and architectural features customarily found on the front facade of a building, such as awnings, cornice work, edge detailing or decorative finish materials.
- 4. Storefronts shall be directly accessible from public sidewalks. Each storefront must have transparent areas, equal to 70% of its portion of the facade, between one and eight feet from the ground. The wood or metal armature (structural elements to support canopies or signage) of such storefronts shall be painted, bronze, or powder-coated.
- 5. Storefronts shall have mullion systems, with doorways and signage integrally designed. Mullion systems shall be painted, powder-coated, or stained.
- 6. The glazed area of a facade above the first floor shall not exceed 35% of the total area, with each facade being calculated independently.
- 7. Clear glazing is required on the first floor. Lightly tinted glazing is permitted on upper floors only. Windows shall not be blocked with opaque materials or the back of shelving units or signs.
- 8. Facade openings, including porches, windows, and colonnades, shall be vertical in proportion.
- 9. Facades may be supplemented by awnings, which shall be straight sheds without side flaps, not cubed or curved. Awnings shall be between 8 and 12 feet above sidewalk grade at the lower drip edge.

At this time, the applicant appears to meet the above standards with one possible exception, which will be discussed in the Planning and Zoning section below.

#### Signage

There are no new signs proposed as a part of the Design Review application submitted.

#### Lighting

There are no new light fixtures proposed as a part of the Design Review application submitted.

#### **Planning and Zoning**

As the building/site is not changing its use or size, there are no bulk, height or area requirements that must be reviewed at this time. However, there are some planning and zoning issues that require review as a part of the Design Review application submitted:

• Glazing – The applicant has indicated that the existing storefront glazing system at the entrance will be replaced. As noted above, the applicant is required to maintain 70%

transparency on the storefront façade and no more than 35% transparency on the upper stories. Although the applicant has not submitted glazing calculations for the storefront facades or the upper story facades, it is clear that the applicant does not meet the storefront glazing requirements. The current condition at the storefront is considered legal non-conforming and may be allowed to continue, as the applicant is not proposing to expand the non-conformity.

The issue at hand, in the opinion of the Planning Division, is that the proposed infill of an existing entrance removes the only ingress/egress point on the entire roughly 110 ft. Hamilton Row frontage line. Although the applicant is proposing to keep the exterior stairs, which will mimic the existing conditions, users of the building will be forced to walk around the block to the Park St. entrance to access the building and its tenants. The Planning Division cites Article 3, Section 3.04 (E)(4) which states that "Storefronts shall be directly accessible from public sidewalks."

#### **Required Attachments**

	Submitted	Not Submitted	Not Required
Detailed and Scaled Site Plan	$\boxtimes$		
Interior Floor Plans			$\boxtimes$
Landscape Plan			$\boxtimes$
Photometric Plan			$\boxtimes$
Colored Elevations	$\boxtimes$		
Material Specification Sheets			$\boxtimes$
Material Samples			$\boxtimes$
Site & Aerial Photographs	$\boxtimes$		

#### **Design Standards**

Article 7, Section 7.09 states that the Design Review Board shall review all documents submitted pursuant to this section and shall determine the following:

- 1. All of the materials required by this section have been submitted for review.
- 2. All provisions of this Zoning Ordinance have been complied with.
- 3. The appearance, color, texture and materials being used will preserve property values in the immediate neighborhood and will not adversely affect any property values.
- 4. The appearance of the building exterior will not detract from the general harmony of and is compatible with other buildings already existing in the immediate neighborhood.
- 5. The appearance of the building exterior will not be garish or otherwise offensive to the sense of sight.
- 6. The appearance of the building exterior will tend to minimize or prevent discordant and unsightly properties in the City.

7. The total design, including but not limited to colors and materials of all walls, screens, towers, openings, windows, lighting and signs, as well as treatment to be utilized in concealing any exposed mechanical and electrical equipment, is compatible with the intent of the urban design plan or such future modifications of that plan as may be approved by the City Commission.

#### **Planning Division Analysis**

Based on the requirements of Article 7, Section 7.09, the Planning Division recommends that the Design Review Board **DENY** the Design Review application for 220 Park. The application does not meet the standards for Design Review and will create a poor urban condition along Hamilton Row.

## **Sample Motion Language**

Motion to **DENY** the Design Review application for 220 Park. The application does not meet the standards for Design Review and will create a poor urban condition along Hamilton Row.

OR

Motion to **APPROVE** the Design Review application for 220 Park.

OR

Motion to **POSTPONE** the Design Review application for 220 Park pending receipt of the following:

1		
2.		
3.		

# 220 Park-Facade Improvements

# 220 Park Street Birmingham, MI 48009

## Owner/General Contractor

Boji Group LLC Ken Lamontagne 220 Park Street, Suite 102 Birmingham, MI 48009 P. 313.682.2100

## Architect

Krieger | Klatt Architects Inc. Jeff Klatt, RA 2120 E. 11 Mile Rd. Royal Oak, MI 48067 P.248.414.9270. F.248.414.9275

## General Scope of Work:

REMOVE EXISTING DOOR AND INFILL WITH STORE FRONT GLAZING TO MATCH EXISTING. LINE OF NEW WALLS TO FOLLOW EXISTING WALL LINE (TYP.)

## Zoning Information (City of Birmingham)

ZONED:

B-4 BUSINESS-RESIDENTIAL, D-4 DOWNTOWN BIRMINGHAM OVERLAY DISTRICT

LOT AREA:

19,993 SQ. FT. (EXIST)

PARCEL NUMBER:

1925455017

PROPERTY DESCRIPTION:

T2N, R10E, SEC 25 ASSESSOR'S PLAT NO 21 LOTS 42 & 70 ALSO LOT 43 EXC BEG AT SW LOT COR, TH N 82-23-50 E 5.50 FT,

TH N 08-05-01 W 30.43 FT, TH ALG CURVE TO LEFT, RAD 125 FT, CHORD BEARS N 16-36-50 W 37.08 FT, DIST OF 37.22 FT, TH

S 08-05-01 E 67.06 FT TO BEG, ALSO VAC PART OF PARK ST BEG AT NW COR OF SD LOT 43, TH S 82-03-32 W 10.18 FT, TH S

29-42-55 E 18.65 FT, TH ALG CURVE TO RIGHT, RAD 125 FT, CHORD BEARS S 27-25-49 E 9.97 FT, DIST OF 9.97 FT, TH N

## LOT COVERAGE (FOOTPRINTS )

1. EXISTING BUILDING: 14,578 SQ.

4,578 SQ. FT. / 19,993 SQ. FT. = **73 %** LOT COVERA NAXIMUM LOT AREA: NA

## SETBACK INFORMATION (126 2.38.2 B4)

FRONT YARD (3) REQUIRED: 0.00'

-EXISTING SETBACK TO REMAIN

REAR YARD REQUIRED: 10.00'
-EXISTING SETBACK TO REMAIN

PARKING INFORMATION

EXISTING: BELOW GRADE PARKING TO REMAIN

## General Building Information

## Code Review Analysis

Application Building:
Application Electrical:
Accessibility:

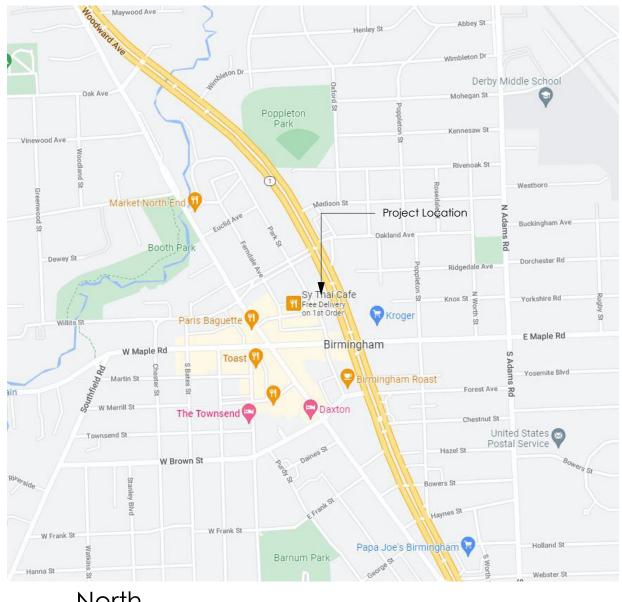
Building: Michigan Rehabilitation Code 2015
Electrical: 2017 National Electrical Code
ICC/ANSI A.117.1-2015

## Architectural Sheet Index-Planter

Sheet No
G.000.A
Cover Sheet
A.300.A
Demolition Plan
A.301.A
Enlarged Plans
A.302.A
Section Details

# Special Inspections

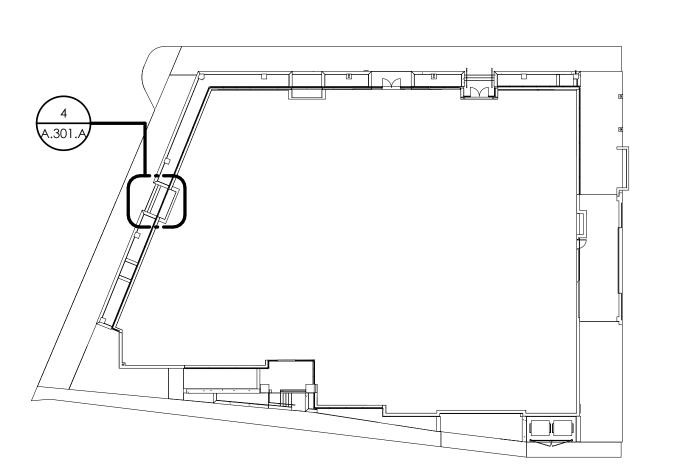
VERIFICATION AND INSPECTION TASK	CONTINUOUS	PERIODIC	TMS 402	TMS 602
MASONRY CONSTRUCTION - LEVEL 2				
1. PRIOR TO CONSTRUCTION:				
a. VERIFICATION OF COMPLIANCE OF SUBMITTALS		X		ART. 1.5
b. VERIFICATION OF fm		X		ART. 1.4 B
2. AS CONSTRUCTION BEGINS, VERIFY THE FOLLOWING ARE IN COMPLIANCE:				
a. PROPORTIONS OF SITE-PREPARED MORTAR		×		ART. 2.1, 2.6 A & 2.6 C
b. GRADE AND SIZE OF ANCHORAGES		×		ART. 2.4 B & 2.4 H
c. GRADE, TYPE AND SIZE OF REINFORCEMENT, CONNECTORS, ANCHOR BOLTS, AND ANCHORAGES		×		ART. 3.4 & 3.6 A
d. SAMPLE PANEL CONSTRUCTION		X		ART. 1.6 D
3. PRIOR TO GROUTING, VERIFY THE FOLLOWING ARE IN COMPLIANCE:				
a. GROUT SPACE		×		ART. 3.2 D & 3.2 F
b. PLACEMENT OF REINFORCEMENT, CONNECTORS, AND ANCHOR BOLTS		×	SEC. 6.1, 6.3.1, 6.3.6 & 6.3.7	ART. 3.2 E & 3.4
4. DURING CONSTRUCTION:				
a. VERIFICATION OF SLUMP FLOW AND VISUAL STABILITY INDEX (VSI) WHEN		X		ART. 1.5 &
SELF-CONSOLIDATING GROUT IS DELIVERED TO THE PROJECT SITE				1.6.3
<ul> <li>MATERIALS AND PROCEDURES WITH THE APPROVED SUBMITTALS</li> </ul>		X		ART. 1.5
c. PLACEMENT OF MASONRY UNITS AND MORTAR JOINT CONSTRUCTION		X		ART. 3.3 B
d. SIZE AND LOCATION OF STRUCTURAL MEMBERS		Х		ART. 3.3 F
<ul> <li>TYPE, SIZE, AND LOCATION OF ANCHORS, INCLUDING OTHER DETAILS OF ANCHORAGE OF MASONRY TO STRUCTURAL MEMBERS, FRAMES, OR OTHER CONSTRUCTION</li> </ul>		Х	SEC. 1.2.1(e), 6.2.1 & 6.3.1	
f. WELDING OF REINFORCEMENT	X		SEC. 6.1.6.1.2	
g. PREPARATION, CONSTRUCTION, AND PROTECTION OF MASONRY DURING COLD WEATHER (TEMPERATURE BELOW 40°F) OR HOT WEATHER (TEMPERATURE ABOVE 90°F)		Х		ART. 1.8 C & 1.8 D
5. OBSERVE PREPARATION OF GROUT SPECIMENS, MORTAR SPECIMENS, AND/OR PRISMS		Х		ART. 1.4 B.2.a.3, 1.4 B.2.b.3, 1.4 B.2.c.3, 1.4 B.3 & 1.4 B.4











First Floor Key Plan

1/32" = 1'-0"

# KRIEGER KLATT ARCHITEC

2120 E. 11 Mile Rd. | Royal Oak, MI 48067 P: 248.414.9270 F: 248.414.9275 www.kriegerklatt.com

## Client:

Boji Group

## Project:

220 Park Street-Phase 2 Birmingham, MI 48009

Issued	Description PERMITS	
05.19.2023	PERMITS	
		-
		-

## Seal:



## Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:

## Sheet Title:

Cover Sheet

## Project Number:

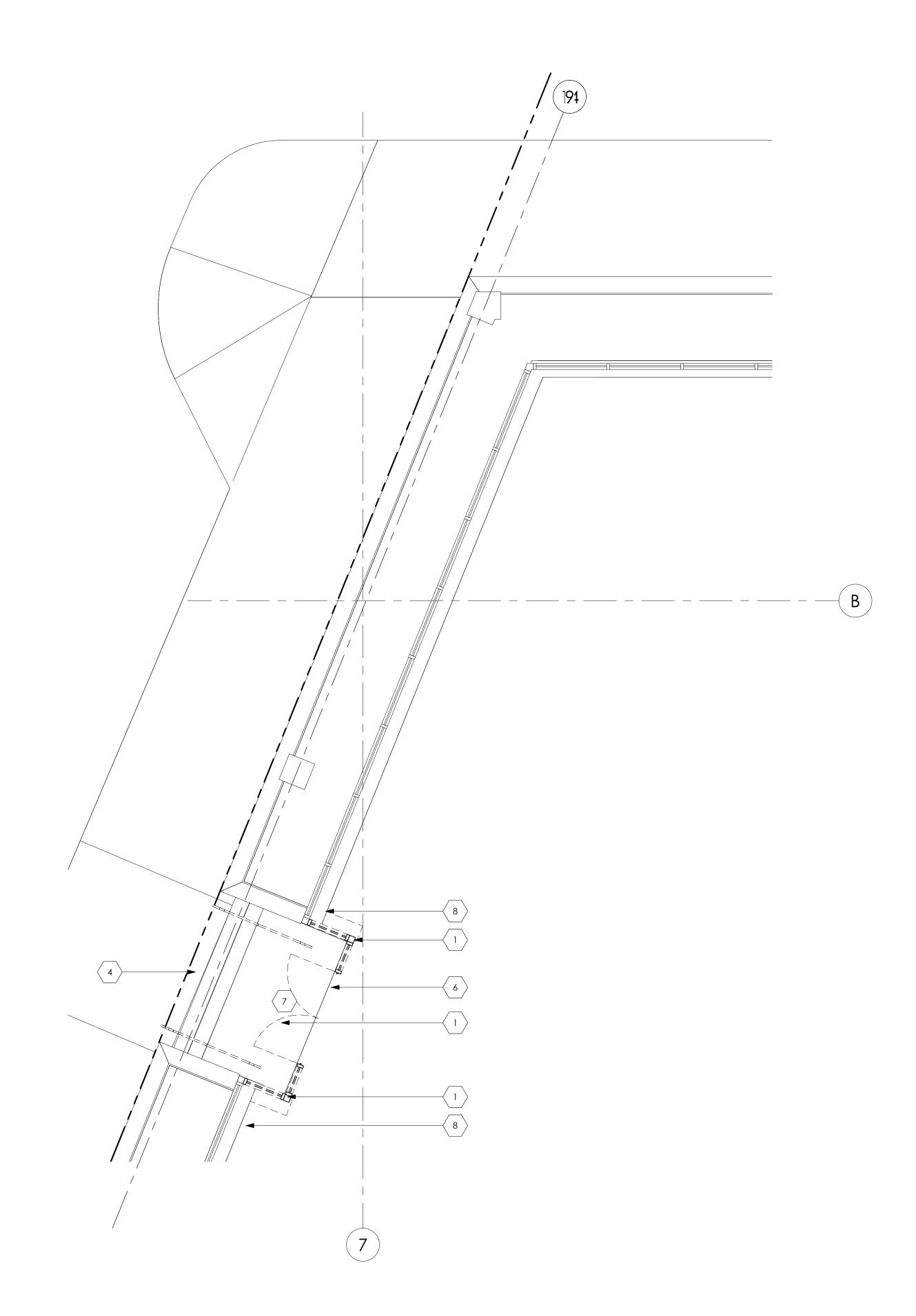
22-014

## Scale:

/32" = 1'-0"

## Sheet Number:

G.000.B



First Floor Demolition Plan

1/4" = 1'-0"

# KRIEGER KLATT ARCHITECTS

2120 E. 11 Mile Rd. | Royal Oak, MI 48067 P: 248.414.9270 F: 248.414.9275 www.kriegerklatt.com

## <u>Client:</u>

KEYED DEMOLITION PLAN NOTES:(X)

NOT USED

NOT USED

NOT USED

EXISTING CONCRETE STAIRS TO REMAIN

EXISTING DOOR, RAILING, GLAZING AND KNEE WALL TO BE REMOVED COMPLETE PREP FOR NEW STOREFRONT. PORTION OF EXTERIOR BRICK CLADDING TO BE REMOVED SAVE AND STACK BRICKS FOR OWNER USE. PATCH AND REPAIR WHERE EXISTING WALL DEMO HAS OCCURED.

PATCH AND REPAIR FLOORING WITH LIKE MATERIALS WHERE EXISTING WALL DEMO HAS OCCURED.

REMOVE EXISTING EXTERIOR SOFFIT SYSTEM, LIGHTING FIXTURES ABOVE (NOT SHOWN). COORDINATE WITH NEW INTERIOR CONFIGURATION REPLACE WITH INTERIOR CEILING FINISH TO MATCH

PATCH AND REPAIR ALL DRYWALL. PREP FOR NEW FINISHES

Boji Group

## Project:

220 Park Street-Phase 2 Birmingham, MI 48009

Issued 05.19.2023	Description PERMITS	Ву
03.13.2023	T ERWITO	
		_

Seal:



## Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:

## Sheet Title:

Demolition Plan

## Project Number:

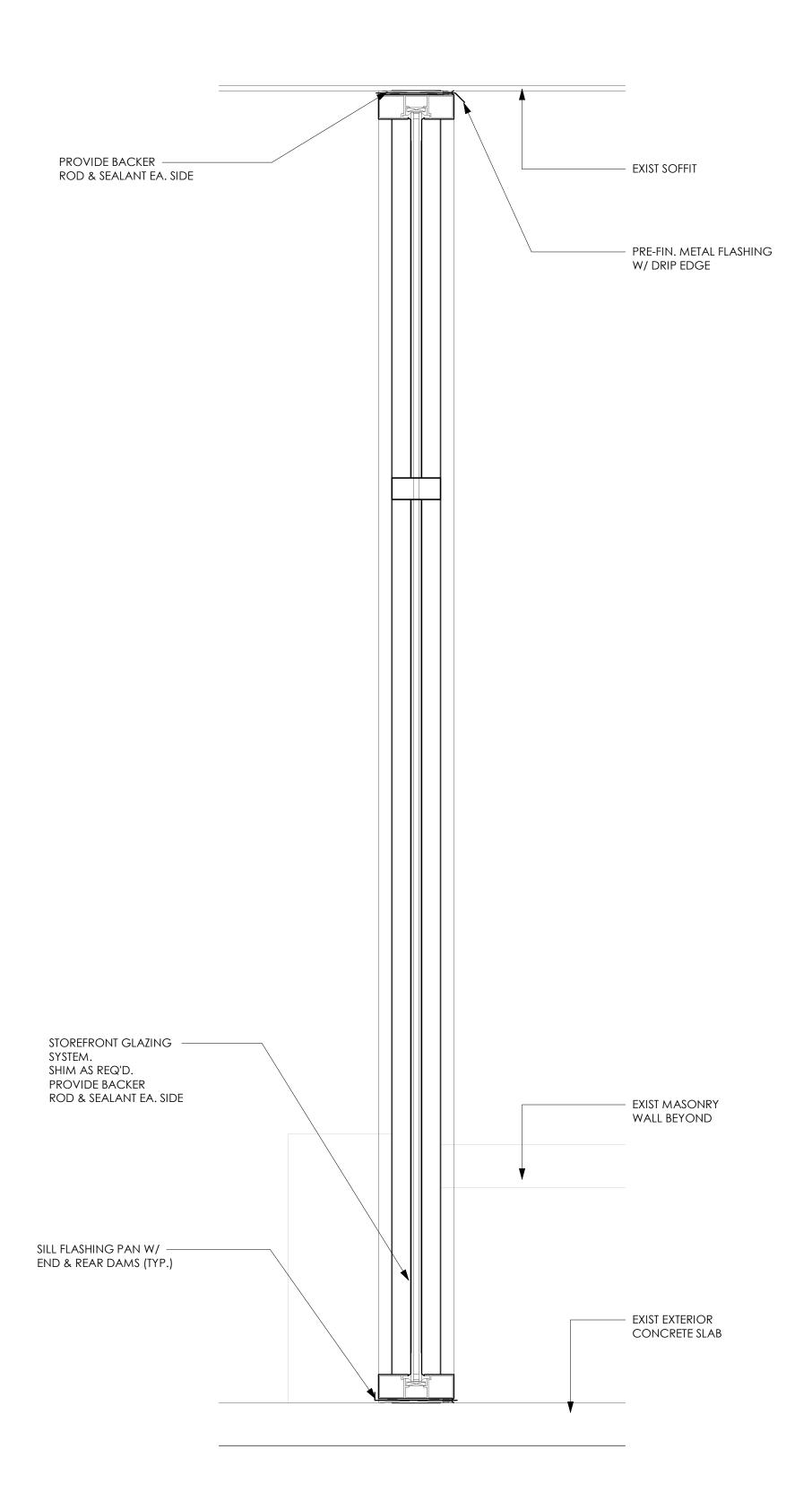
22-014

Scale:

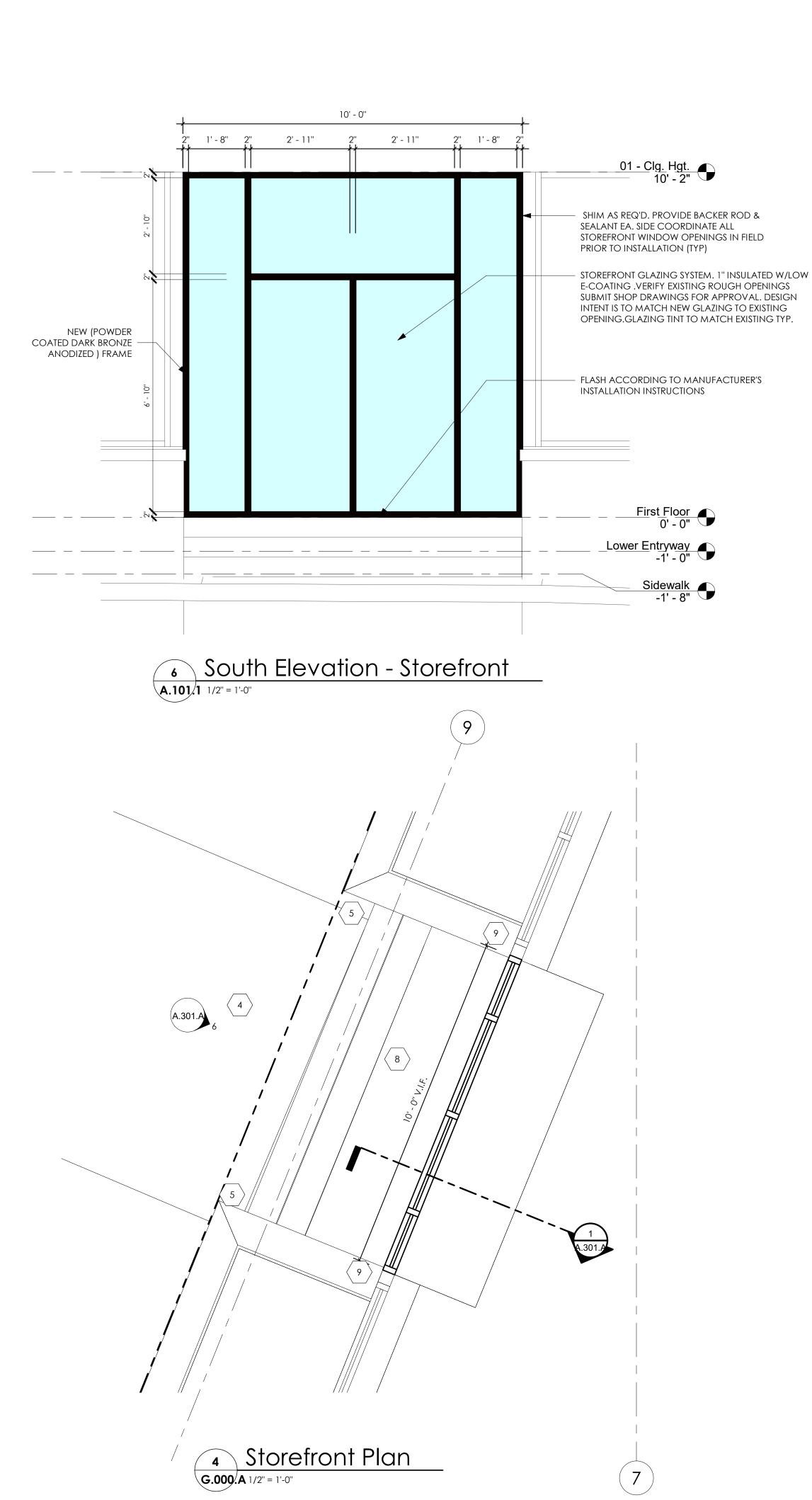
1/4" = 1'-0"

## Sheet Number:

A.300.B







## GENERAL PLAN NOTES

DESIGN INTENT IS TO EXTEND EXISTING LINE OF GLAZING SYSTEM. EXISTING FOUNDATION TO REMAIN. CONTRACTOR TO VISIT PREMISES TO BECOME FAMILIAR WITH EXISTING CONDITIONS. VERIFY THE SCOPE OF WORK AND EVALUATE POTENTIAL PROBLEMS ATTENDANT TO ITS EXECUTION THE SUBMISSION OF PRICING SHALL BE EVIDENCE THAT THE CONTRACTOR HAS FULLY EVALUATED POTENTIAL PROBLEMS AND LATER ADDITIONAL COST CLAIMS FOR LABOR, EQUIPMENT, MATERIAL OR HARDSHIP WILL NOT BE THE DOCUMENTS, DRAWINGS, AND CONSULTANT DOCUMENTS ARE COMPLIMENTARY IN NATURE. WHAT IS CALLED FOR BY ONE IS BINDING BY

THEY OCCUR. INFORMATION SHOWN ON THESE DRAWINGS IS BASED ON INFORMATION PROVIDED TO OR OBTAINED BY KKA INDICATING EXISTING CONDITIONS. CONTRACTOR IS TO VERIFY DIMENSIONS IN FIELD & NOTIFY ARCHITECT OF ANY DISCREPANCIES. ACTUAL FIELD CONDITIONS MAY VARY FROM THOSE INDICATED HEREIN. SHOULD ACTUAL CONDITIONS DIFFER SUBSTANTIALLY FROM THOSE INDICATED ON THE DRAWINGS OR FROM THOSE ORDINARILY ENCOUNTERED IN RENOVATION WORK OF THIS TYPE, PROMPTLY NOTIFY KKA BEFORE ANY OF THESE CONDITIONS ARE DISTURBED. FAILURE TO DO SO MAY WAIVE THE CONTRACTOR'S RIGHT TO ADDITIONAL TIME OR OTHER CONSIDERATIONS DUE TO SUCH CONDITIONS.

ALL. INFORM KRIEGER KLATT ARCHITECTS (KKA) OF ANY DISCREPANCIES SHOULD

WORK PERFORMED SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS, NOTHING IN THE DRAWINGS OR RELATED DOCUMENTS IS TO BE CONSTRUED AS REQUIRING OR PERMITTING WORK THAT IS CONTRARY TO CODE REQUIREMENTS.

PRECEDENCE OVER METHODS RECOMMENDED ON THE CONSTRUCTION

MANUF'S RECOMMENDED INSTALLATION METHODS SHALL TAKE

BASE BUILDING ELEMENTS (ACCESS COMPONENTS, EGRESS COMPONENTS, ETC.) TO COMPLY WITH ALL APPLICABLE CODES AND ADA ACCESSIBLE

# KEYED NOTES: NOT USED NOT USED EXISTING SIDEWALK TO REMAIN. REPLACE/REPAIR AT AREAS OF NEW EXISTING BRICK VENEER TO BE TUCKPOINTED AND REPAIRED AS REQUIRED DUE TO DEMOLITION (TYP.) PATCH SURROUNDING CONCRETE IN WORK AREAS. EXIST. STAIR AND LANDING TO REMAIN REPAIR AND RESURFACE AS NEEDED. SUBMIT SHOP DRAWING FOR REVIEW & APPROVAL. (TYP.) EXISTING LIMESTONE CAP PATCH AND REPAIR WHERE DEMO HAS

# KRIEGER KLATT

2120 E. 11 Mile Rd. | Royal Oak, MI 48067 **P:** 248.414.9270 **F:** 248.414.9275 www.kriegerklatt.com

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Description

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Seal:



Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in

North Arrow:

Sheet Title:

Enlarged Plans

Project Number:

22-014

Scale:

As indicated

**Sheet Number:** 



#### 

The City recommends members of the public wear a mask if they have been exposed to COVID-19 or have a respiratory illness. City staff, City Commission and all board and committee members must wear a mask if they have been exposed to COVID-19 or actively have a respiratory illness. The City continues to provide KN-95 respirators and triple layered masks for attendees.

- 1) Roll Call
- 2) Approval of the DRB Minutes of July 19, 2023
- 3) Public Hearing
- 4) Design Review
- 5) Sign Review
- 6) Study Session
- 7) Miscellaneous Business and Communication
  - A. Pre-Application Discussions
  - **B.** Draft Agenda
    - 1. August 16, 2023
  - C. Staff Reports
    - 1. Administrative Sign Approvals
    - 2. Administrative Approvals
    - 3. Action List 2023
- 8) Adjournment

\*Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall, 151 Martin St., or may attend virtually at:

Link to Access Virtual Meeting: https://zoom.us/j/91282479817

Telephone Meeting Access: 877 853 5247 US Toll-free

Meeting ID Code: 912 8247 9817

Notice: Individuals requiring accommodations, such as interpreter services for effective participation in this meeting should contact the City Clerk's Office at (248) 530-1880 at least on day in advance of the public meeting.

Las personas que requieren alojamiento, tales como servicios de interpretación, la participación efectiva en esta reunión deben ponerse en contacto con la Oficina del Secretario Municipal al (248) 530-1880 por lo menos el día antes de la reunión pública. (Title VI of the Civil Rights Act of 1964).

A PERSON DESIGNATED WITH THE AUTHORITY TO MAKE DECISIONS MUST BE PRESENT AT THE MEETING.

## **Design Review Board Action List – 2023**

Design Review Board	Quarter	In Progress	Complete
Signs vs. Designs	1 <sup>st</sup> (January-March)		
Update Sign Ordinance	2 <sup>nd</sup> (April-June)	$\boxtimes$	
Create New Informational Artwork for Sign Ordinance	3 <sup>rd</sup> (July-September)		
Sign Ordinance Enforcement	4 <sup>th</sup> (October-December)	$\boxtimes$	