

AGENDA
BIRMINGHAM DESIGN REVIEW BOARD
WEDNESDAY – September 1st, 2021
151 MARTIN STREET, CITY COMMISSION ROOM 205, BIRMINGHAM, MI *
******* 7:15 PM*******

The highly transmissible COVID-19 Delta variant is spreading throughout the nation at an alarming rate. As a result, the CDC is recommending that vaccinated and unvaccinated personnel wear a facemask indoors while in public if you live or work in a substantial or high transmission area. Oakland County is currently classified as a substantial transmission area. **The City has reinstated mask requirements for all employees while indoors. The mask requirement also applies to all board and commission members as well as the public attending public meetings.**

- 1) **Roll Call**
- 2) **Approval of the DRB Minutes of August 4th, 2021**
- 3) **Public Hearing**
- 4) **Design Review**
- 5) **Sign Review**
- 6) **Study Session**
- 7) **Miscellaneous Business and Communication**
 - A. **Pre-Application Discussions**
 - B. **Draft Agenda**
 1. **October 6th, 2021**
 - C. **Staff Reports**
 1. **Administrative Sign Approvals**
 2. **Administrative Approvals**
 3. **Action List 2021**
- 8) **Adjournment**

* Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall or may attend virtually at:

Link to Access Virtual Meeting: <https://zoom.us/j/91282479817>

Telephone Meeting Access: 877 853 5247 US Toll-free

Meeting ID Code: 912 8247 9817

Notice: Individuals requiring accommodations, such as interpreter services for effective participation in this meeting should contact the City Clerk's Office at [\(248\) 530-1880](tel:2485301880) at least on day in advance of the public meeting.

Las personas que requieren alojamiento, tales como servicios de interpretación, la participación efectiva en esta reunión deben ponerse en contacto con la Oficina del Secretario Municipal al [\(248\) 530-1880](tel:2485301880) por lo menos el día antes de la reunión pública. (Title VI of the Civil Rights Act of 1964).

A PERSON DESIGNATED WITH THE AUTHORITY TO MAKE DECISIONS MUST BE PRESENT AT THE MEETING.

**Design Review Board
Minutes Of August 4, 2021**

151 Martin Street, City Commission Room 205, Birmingham, MI

Minutes of the regular meeting of the Design Review Board ("DRB") held Wednesday, August 4, 2021. Chair John Henke called the meeting to order at 7:24 p.m.

1) Rollcall

Present: Chair John Henke; Board Members Gigi Debbrecht, Keith Deyer, Natalia Dukas (present via Zoom and therefore not voting), Patricia Lang, Michael Willoughby; Alternate Board Member Samantha Cappello; Student Representatives Charles Cusimano (Birmingham, MI), Elizabeth Wiegand (Leland, MI)

Absent: Board Members Dustin Kolo; Alternate Board Member Kathleen Kriel

Administration: Nicholas Dupuis, City Planner
Laura Eichenhorn, City Transcriptionist

08-078-21

2) Approval Of Minutes

With Chair Henke, Ms. Debbrecht, Mr. Deyer abstaining due to their absences from the July 21, 2021 meeting and with Ms. Dukas unable to vote due to not physically being in attendance the DRB did not have a quorum for a vote on the minutes.

The July 21, 2021 minutes will be voted on along with the August 4, 2021 minutes at the September 1, 2021 meeting.

08-079-21

3) Public Hearing

None.

08-080-21

4) Design Review

A. 33233 Woodward – Birmingham Colonial

CP Dupuis reviewed the item. He noted that the DRB's previous feedback had been integrated into the present plans.

Mr. Willoughby noted that while the upper windows were not centered over the lower windows, there was symmetry in the design.

John Gardner, architect, was present on behalf of the application, explaining:

- The structural engineer that reviewed the building recommended that a minimum of six feet be maintained between the corners of the building and the windows to maintain the building's structural integrity.
- The applicant/owner of the building occupies the second floor and desired avoid modifying any of his windows. The incoming tenant on the first floor desired more light. The updated plans reflect those requests.

Motion by Mr. Deyer

Seconded by Ms. Lang to approve the Design Review application for 33233 Woodward – Birmingham Colonial – with the following condition: 1. The Design Review Board approves the proposed 62% glazing; 2. The applicant must submit specification sheets for the proposed glass to confirm that the VLT is a minimum of 80%; and, 3. The DRB will allow an administrative approval if the applicant proposes a VLT with a minimum of 66% if the ordinance changes.

Motion carried, 6-0

VOICE VOTE

Yeas: Deyer, Lang, Henke, Debbrecht, Willoughby, Cappello

Nays: None

08-081-21

5) Sign Review

None.

08-082-21

6) Study Session

None.

08-083-21

7) Miscellaneous Business And Communications

Mr. Deyer requested that updates be provided when available regarding 100 N Old Woodward Ave, Suite 120.

A. Pre-Application Discussions

B. Draft Agenda for Next Meeting

C. Staff Reports

1. Administrative Sign Approvals

2. Administrative Approvals

3. Action List - 2021

08-084-21

Adjournment

Motion by Mr. Willoughby

Seconded by Ms. Lang to adjourn the DRB meeting of August 4, 2021 at 7:44 p.m.

Motion carried, 6-0

VOICE VOTE

Yeas: Willoughby, Cappello, Lang, Henke, Deyer, Debbrecht

Nays: None

Nicholas Dupuis
City Planner

AGENDA
BIRMINGHAM DESIGN REVIEW BOARD
WEDNESDAY – October 6th, 2021
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******* 7:15 PM*******

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- 7) Miscellaneous Business and Communication
 - A. Pre-Application Discussions
 - B. Draft Agenda
 1. [October 20th, 2021](#)
 - C. Staff Reports
 1. [Administrative Sign Approvals](#)
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A PERSON DESIGNATED WITH THE AUTHORITY TO MAKE DECISIONS MUST BE PRESENT AT THE MEETING.



Administrative Sign Approval Application Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: Lavanway Sign Company, Inc.
Address: 2224 Telegraph
Southfield, MI 48033
Phone Number: 248.356.1600
Fax Number: 248.356.1694
Email Address: _____

2. Property Owner

Name: _____
Address: _____
Phone Number: _____
Fax Number: _____
Email Address: _____

3. Applicant's Attorney/Contact Person

Name: _____
Address: _____
Phone Number: N/A
Fax Number: _____
Email Address: _____

4. Project Designer/Developer

Name: _____
Address: _____
Phone Number: N/A
Fax Number: _____
Email Address: _____

5. Project Information

Address/Location of Property: 355 S. Old Woodward
Ste. 200
Name of Development: _____
Parcel ID#: _____
Current Use: _____
Area in Acres: _____
Current Zoning: _____

Name of Historic District if any: _____
Date of HDC Approval, if any: _____
Date of Application for Preliminary Site Plan: _____
Date of Preliminary Site Plan Approval: _____
Date of Application for Final Site Plan: _____
Date of Final Site Plan Approval: _____
Date of Revised Final Site Plan Approval: _____

6. Required Attachments

- Two (2) folded paper copies of plans including details of the following:
 - Dimensions of proposed sign(s)
 - Dimensions of building frontage
 - Illumination
 - Height from grade
 - Location of proposed sign(s)
 - Colors and materials
- Authorization from Property Owner(s) (if applicant is not the owner)
- Material Samples
- Digital Copy of Plans

7. Details of the Request for Administrative Approval

8. Location of Proposed Sign(s)

Face change, replace old logo with new logo in the same location

9. Type of Proposed Sign(s)

Wall: X
Ground: _____
Name Letter: _____
Canopy: _____

Projecting (Post-Mounted): _____
Projecting (Wall-Mounted): _____
Building Identification: _____
Other: _____

10. Size of Proposed Sign

Width: 96"
 Depth: .5"
 Height of Lettering: 20" and 8.5"

Overall Height: 36"
 Extension from Wall: -
 Total Square Feet: 24

11. Existing Signs Currently on Property

Number: _____
 Square Feet per Sign: _____

Sign Type(s): _____
 Total Square Feet: _____

12. Materials/Style of Proposed Sign(s)

Metal: X
 Plastic: _____
 Wood: _____
 Glass: _____

Other: _____
 Color #1: _____
 Color #2: _____
 Additional Colors: _____

13. Content of Proposed Sign(s)

FMD
CPAs & Strategic Advisors

14. Proposed Sign Lighting

Type of Lighting: _____
 Size of Fixtures (LxWxH): _____
 Maximum Wattage per Fixture: _____
 Proposed Wattage per Fixture: _____

Location: _____
 Number of Lights Proposed: _____
 Height from Grade: _____
 Lighting Style: _____

15. Landscaping (Ground Signs Only)

Location of Landscape Areas: _____

Proposed Landscape Material: _____

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: Michelle Kean

Date: 6/11/2021

Office Use Only

Application # PA921-0058 Date Received: 6/11/21 Fee \$100.00
 Date of Approval: 6/17/21 Date of Denial: N/A Reviewed By: [Signature]



CONSENT OF PROPERTY OWNER

I, Woodward Park Properties LLC OF THE STATE OF Michigan AND
(Name of Property Owner)

COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 355 S. Old Woodward, Birmingham
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of

Birmingham by: Michael Kean, LaVanway Sign-Co.
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the City of
Birmingham.

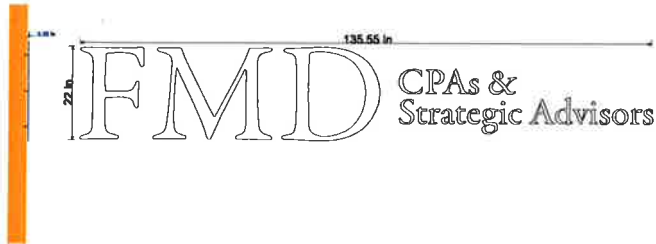
By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Name of Owner (Printed): STEVEN G Quintal

Signature of Owner: [Signature] Date: 6-10-21

Fenner, Melstrom & Dooling, PLC
Certified Public Accountants

355 S. Old Woodward Avenue | Suite 200
Birmingham, MI 48009



- .50" Aluminum routed letters
- Painted white
- Flush mounted to building



355 S. Old Woodward
Ste. 200
Site Plan



355 S. Old Woodward
Ste. 200
Existing Sign





Administrative Sign Approval Application Planning Division

Form will not be processed until it is completely filled out.

APPROVED

5/25/21

PAA21-0049

1. Applicant

Name: GARDNER SIGNS INC.
Address: 1087 NAUGHTON RD.
TR04, MI 48083
Phone Number: 248-689-9100 X100
Fax Number: _____
Email Address: EVICTOR@GARDNERSIGNS.COM

2. Property Owner

Name: BBCU
Address: 570 E. LINCOLN
BIRMINGHAM, MI 48069
Phone Number: _____
Fax Number: _____
Email Address: _____

3. Applicant's Attorney/Contact Person

Name: MIA ASTA 40 GARDNERSIGNS.COM
Address: 1087 NAUGHTON RD.
TR04, MI 48083
Phone Number: 248-689-9100 / 248-425-4900
Fax Number: _____
Email Address: MIA@GARDNERSIGNS.COM
EVICTOR@GARDNERSIGNS.COM

4. Project Designer/Developer

Name: GARDNER SIGNS INC.
Address: 1087 NAUGHTON RD.
TR04, MI 48083
Phone Number: 248-689-9100 X100
Fax Number: _____
Email Address: EVICTOR@GARDNERSIGNS.COM

5. Project Information

Address/Location of Property: 570 E. LINCOLN
BIRMINGHAM, MI 48069
Name of Development: MICA UNITED CREDIT UNION
Parcel ID#: 08-19-36-403-029
Current Use: BANK
Area in Acres: _____
Current Zoning: B1

Name of Historic District if any: _____
Date of HDC Approval, if any: _____
Date of Application for Preliminary Site Plan: _____
Date of Preliminary Site Plan Approval: _____
Date of Application for Final Site Plan: _____
Date of Final Site Plan Approval: _____
Date of Revised Final Site Plan Approval: _____

6. Required Attachments

- Two (2) folded paper copies of plans including details of the following:
 - Dimensions of proposed sign(s)
 - Dimensions of building frontage
 - Illumination
 - Height from grade
 - Location of proposed sign(s)
 - Colors and materials
- Authorization from Property Owner(s) (if applicant is not the owner)
- Material Samples
- Digital Copy of Plans

7. Details of the Request for Administrative Approval

1. INSTALL NEW FACES ON EXISTING MONUMENT SIGN (C)
2. INSTALL NEW FCD LETTER WALL SIGN (B)
3. INSTALL NEW FCD LETTER WALL SIGN (C)

8. Location of Proposed Sign(s)

SEE SITE PLAN - NORTH & WEST WALL ELEVATIONS - (WALL SIGNS)
NORTH-WEST CORNER OF BLDG. (EXISTING MONUMENT-REFACE)

9. Type of Proposed Sign(s)

Wall: FCD (FLAT CUT-OUT) LETTERS
Ground: REFACE
Name Letter: MICA UNITED CREDIT UNION
Canopy: _____

Projecting (Post-Mounted): _____
Projecting (Wall-Mounted): _____
Building Identification: _____
Other: _____

10. Size of Proposed SignWidth: SEE ATTACHED

Depth: _____

Height of Lettering: _____

Overall Height: _____

Extension from Wall: _____

Total Square Feet: _____

11. Existing Signs Currently on PropertyNumber: 3

Square Feet per Sign: _____

Sign Type(s): 2-WALL, 1-MONUMENT

Total Square Feet: _____

12. Materials/Style of Proposed Sign(s)Metal: ALUMINUMPlastic: LEXAN

Wood: _____

Glass: _____

Other: _____

Color #1: _____

Color #2: _____

Additional Colors: _____

13. Content of Proposed Sign(s)NAME - MICHIGAN UNITED CREDIT UNION**14. Proposed Sign Lighting**Type of Lighting: ALL-NON-ILLUMINATING

Size of Fixtures (LxWxH): _____

Maximum Wattage per Fixture: _____

Proposed Wattage per Fixture: _____

Location: _____

Number of Lights Proposed: _____

Height from Grade: _____

Lighting Style: _____

15. Landscaping (Ground Signs Only)

Location of Landscape Areas: _____

Proposed Landscape Material: _____

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: Edie VictorDate: 5-18-2021*Office Use Only*Application # PAA 21-0049Date Received: 5.24.2021Fee: \$100.00

Date of Approval: _____

Date of Denial: _____

Reviewed By: _____



CONSENT OF PROPERTY OWNER

I, GERRY COYNE, OF THE STATE OF MICHIGAN AND
(Name of Property Owner)

COUNTY OF OAKLAND STATE THE FOLLOWING:

1. That I am the owner of real estate located at 576 E LINCOLN BIRMINGHAM MI
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of

Birmingham by: Gardner Signs;
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the City of
Birmingham.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Name of Owner (Printed): Gerry Coyne, EVP/CIO

Signature of Owner: [Signature] Date: 5/10/2021

APPROVED

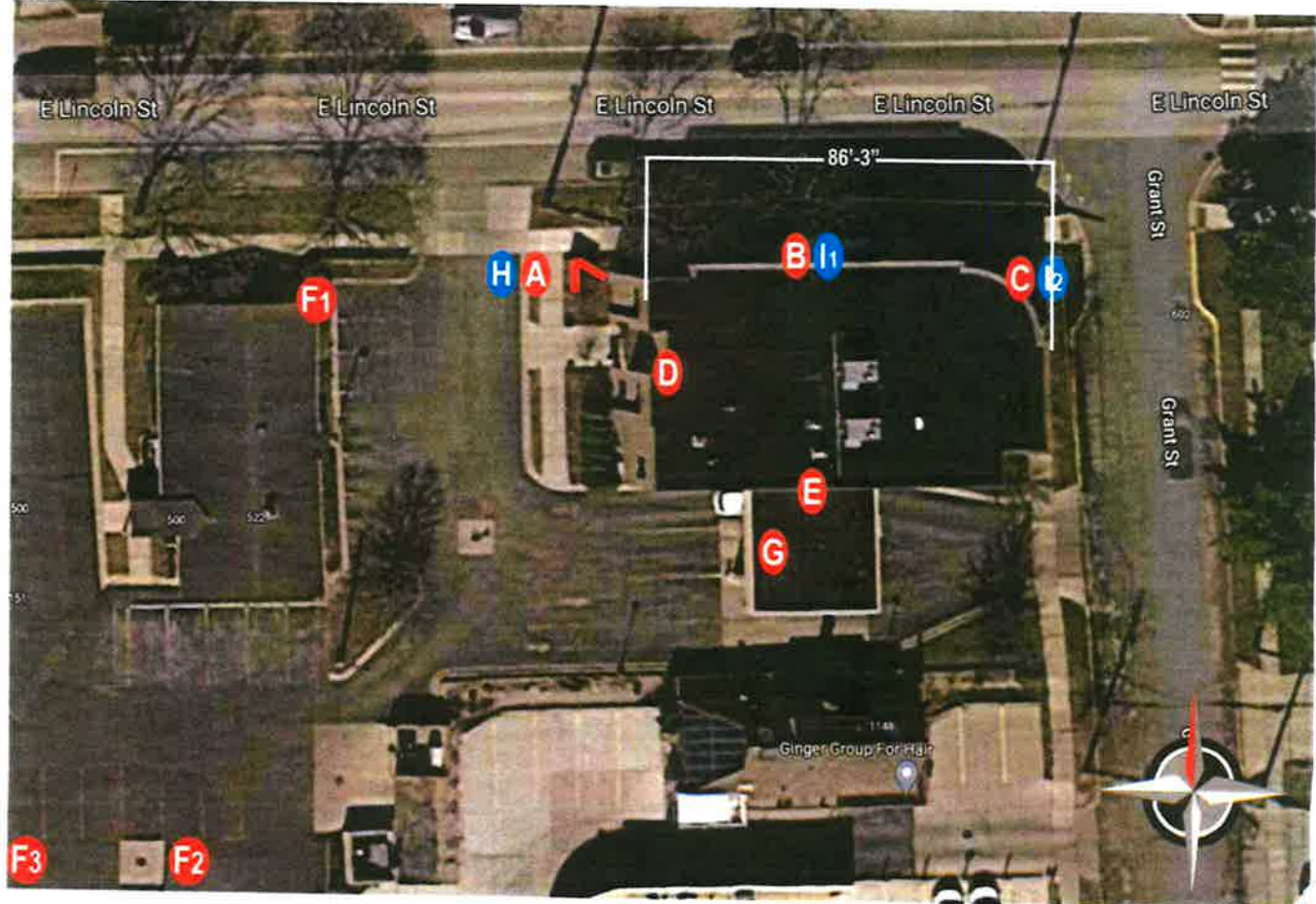
5/25/21

PA021-0049

Site Plan - Michigan United Credit Union 576 E Lincoln-Birmingham MI 48009

Site Plan

- A** Monument Sign Reface
- B** FCO Wall Sign
- C** FCO Wall Sign
- D** Door | Hours Vinyl
- E** Teller Window Privacy Vinyl
- F1 F2 F3** Regulatory Signs - Member Parking
- G** Clearance Signs
- H** Temp Cover
- I1 I2** Temp Cover



Gardner signs

MICHIGAN	OHIO
1097 Naughton Dr Troy, MI 48063	3800 Airport Hwy Toledo, OH 43615
(248) 689-9100 T (248) 689-9101 fax	(419) 385-6669 T (419) 385-7046 fax

www.gardnersigns.com

CLIENT Michigan United Credit Union
PROJECT Site Plan
LOCATION 576 E Lincoln
Birmingham MI 48009
SCALE Noted
SALESPERSON: Mia Asta
DESIGNER dml
DATE 02/16/2021
REVISIONS 03/01/2021 04/16/2021

FILE Michigan United Credit UnionMichigan United Credit Union 576 E Lincoln-Birmingham MI 48009

SALES AUTHORIZATION

SIGNED BY
DATE

DESIGN AUTHORIZATION

SIGNED BY
DATE

PRODUCTION AUTHORIZATION

CLIENT APPROVAL

DATE

PRODUCTION APPROVAL

DATE

THIS SIGNAGE HAS BEEN REVIEWED AND APPROVED FOR INSTALLATION BY THE SIGNAGE DEPARTMENT OF THE CITY OF BIRMINGHAM. THE SIGNAGE IS SUBJECT TO THE CITY OF BIRMINGHAM'S SIGNAGE ORDINANCE, WHICH MAY BE SUBJECT TO CHANGE WITHOUT NOTICE. THE SIGNAGE IS SUBJECT TO THE CITY OF BIRMINGHAM'S SIGNAGE ORDINANCE, WHICH MAY BE SUBJECT TO CHANGE WITHOUT NOTICE.

Wall Sign and Temp Cover - Michigan United Credit Union 576 E Lincoln-Birmingham MI 48009

B Curved Aluminum Wall Sign with FCO Logo Icon and Letters 1/2" = 1'-0" Scale

9'-5 1/3"

Side View
Installation
Detail

4" minimum spacing



Wall Sign - Qty: 1

Curved Aluminum Panel - Paint to Match PMS 4685U

FIELD SURVEY FOR RADIUS TO PROVIDE WOOD TEMPLATE CURVE
Apply 1st Surface FCO Logo Icon and Letters Painted to Match Logo Colors

PMS 4685U

OPAQUE VINYL COLORS TO BE APPROVED

OPAQUE VINYL COLOR KEY

- Match PMS 7710 *opaque white (not coverage) color*
- Match PMS 7466 *opaque light blue*
- Match PMS 551 *opaque dark blue*

or Paint: M/P 17314 Romanov Blue Metallic

h APPLY OVER SIGN B

Temp Cover for Wall Sign 1/8" = 1'-0" Scale

Printed Opaque Low Tack Vinyl Decal Face Covers

Trim Liners from Backs of Decals to Expose Areas for Retainer Adhesion Only
Do Not Apply Decals to Faces

Layout A - before unveiling
1/2" = 1'-0" Scale

9'-8 1/2"

sign
perimeter

Layout B - during transition
1/2" = 1'-0" Scale



PRINT COLORS TO BE APPROVED

COLOR KEY

- Match PMS 7710
- Match PMS 7466
- Match PMS 551

Existing Elevation



Enlarged Elevation Detail of Proposed Sign



ADHESIVE COVER APPLICATION

Cut liner away from back of decal along face retainer area to expose adhesive application border
Apply exposed border to retainers only.
Do not install to sign face

Apply
Adhesive
Borders
to Face
Retainers



**Gardner
signs**

MICHIGAN
1087 Naughton Dr
Troy, MI 48063
(248) 689-9100 T
(248) 689-9101 fax

OHIO
3800 Airport Hwy
Toledo, OH 43615
(419) 385-6669 T
(419) 385-7046 fax

www.gardnersigns.com

CLIENT Michigan United Credit Union
PROJECT Branching
LOCATION 576 E Lincoln
Birmingham MI 48009
Noted
SCALE
SALESPERSON Mia Asa
DESIGNER dmi
DATE 02/16/2021
REVISIONS 01/01/2021 - initial design

FILE: Michigan United Credit Union/Michigan United Credit Union 576 E Lincoln Birmingham MI 48009

SALES AUTHORIZATION

SIGNED BY
DATE

DESIGN AUTHORIZATION

SIGNED BY
DATE

PRODUCTION AUTHORIZATION

CLIENT APPROVAL

DATE

PRODUCTION APPROVAL

DATE

THIS SIGNAGE MANUFACTURED BY GARDNER SIGNS, INC. IS THE PROPERTY OF GARDNER SIGNS, INC. AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF GARDNER SIGNS, INC. ALL RIGHTS ARE RESERVED.

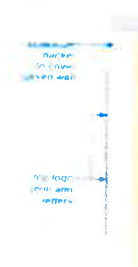
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Wall Sign - Michigan United Credit Union 576 E. Lincoln-Birmingham MI 48009

C Curved Aluminum Wall Sign with FCO Logo Icon and Letters
1/2" x 1/4" Scale



Side View
Installation
Detail



Existing Elevation



Enlarged Elevation Detail of Proposed Sign



Wall Sign - Qty: 1
Curved Aluminum Panel - Paint to Match PMS 3625U
FIELD SURVEY FOR RADIIUS TO PROVIDE WOOD TEMPLATE CURVE
Apply 1st Surface FCO Logo Icon and Letters Painted to Match Logo Colors

38.73 9/F

PMS 3625U

OPAQUE VINYL COLORS TO BE APPROVED

OPAQUE VINYL COLOR KEY

- Match PMS 7710 (Match PMS 7710 to approved color)
- Match PMS 7468 (Match PMS 7468 to approved color)
- Match PMS 524 (Match PMS 524 to approved color or Paint 159 17314 Romance Blue Model)

12 APPLY OVER SIGN **C**

Temp Cover for Wall Sign - 1/2" x 1/4" Scale

Printed Opaque Low Tack Vinyl Decal Face Covers

Turn Liners from Backs of Decals to Expose Areas for Retainer Adhesion Only
Do Not Apply Decals to Faces

Layout A - before unveiling
1/2" x 1/4" Scale



PMS 651C

Layout B - during transition
1/2" x 1/4" Scale



PMS 651C

PRINT COLORS TO BE APPROVED

COLOR KEY Match PMS 7710 Match PMS 7468 Match PMS 524

ADHESIVE COVER APPLICATION

Cut liner away from back of decal along face retainer area to expose adhesive application border
Apply exposed border to retainers only
Do not install to sign face



Apply
Adhesive
Borders
to Face
Retainers

**Gardner
signs**

MICHIGAN
1087 Naughton Dr
Troy, MI 48063
(248) 689-9100 T
(248) 689-9101 fax

OHIO
3800 Airport Hwy
Toledo, OH 43615
(419) 385-6669 T
(419) 385-7046 fax

www.gardnersigns.com

CLIENT Michigan United Credit Union
PROJECT rebranding
LOCATION 576 E. Lincoln
Birmingham MI 48009
Michigan
SCALE 1/2" x 1/4" Scale
SALESPERSON Mike Zappa
DESIGNER gsm
DATE 02/16/2021
REVISIONS 1/13/21 (21) 1/13/21 (21) 1/13/21 (21)

FILE Michigan United Credit Union-Michigan United Credit Union 576 E. Lincoln-Birmingham MI 48009

SALES AUTHORIZATION

SIGNED BY
DATE

DESIGN AUTHORIZATION

SIGNED BY
DATE

PRODUCTION AUTHORIZATION

CLIENT APPROVAL

DATE

PRODUCTION APPROVAL

DATE

THIS IS A PRELIMINARY DESIGN. IT IS NOT A FINAL DESIGN. IT IS NOT A CONTRACT. IT IS NOT A WARRANTY. IT IS NOT A GUARANTEE. IT IS NOT A PROMISE. IT IS NOT A COMMITMENT. IT IS NOT A BINDING AGREEMENT. IT IS NOT A LEGAL DOCUMENT. IT IS NOT A LEGAL INSTRUMENT. IT IS NOT A LEGAL OBLIGATION. IT IS NOT A LEGAL LIABILITY. IT IS NOT A LEGAL RESPONSIBILITY. IT IS NOT A LEGAL ACCOUNTABILITY. IT IS NOT A LEGAL CONSEQUENCE. IT IS NOT A LEGAL RESULT. IT IS NOT A LEGAL EFFECT. IT IS NOT A LEGAL IMPACT. IT IS NOT A LEGAL INFLUENCE. IT IS NOT A LEGAL FORCE. IT IS NOT A LEGAL POWER. IT IS NOT A LEGAL AUTHORITY. IT IS NOT A LEGAL JURISDICTION. IT IS NOT A LEGAL COMPETENCE. IT IS NOT A LEGAL CAPACITY. IT IS NOT A LEGAL ABILITY. IT IS NOT A LEGAL POWER OF ATTORNEY. IT IS NOT A LEGAL POWER OF VETO. IT IS NOT A LEGAL POWER OF PARDON. IT IS NOT A LEGAL POWER OF GRACE. IT IS NOT A LEGAL POWER OF MERCY. IT IS NOT A LEGAL POWER OF CLEMENCY. IT IS NOT A LEGAL POWER OF LENIENCY. IT IS NOT A LEGAL POWER OF INDULGENCE. IT IS NOT A LEGAL POWER OF FAVORITISM. IT IS NOT A LEGAL POWER OF BIAS. IT IS NOT A LEGAL POWER OF DISCRIMINATION. IT IS NOT A LEGAL POWER OF INEQUITY. IT IS NOT A LEGAL POWER OF UNFAIRNESS. IT IS NOT A LEGAL POWER OF PARTIALITY. IT IS NOT A LEGAL POWER OF IMPARTIALITY. IT IS NOT A LEGAL POWER OF NEUTRALITY. IT IS NOT A LEGAL POWER OF OBJECTIVITY. IT IS NOT A LEGAL POWER OF SUBJECTIVITY. IT IS NOT A LEGAL POWER OF EMOTION. IT IS NOT A LEGAL POWER OF REASON. IT IS NOT A LEGAL POWER OF LOGIC. IT IS NOT A LEGAL POWER OF COMMON SENSE. IT IS NOT A LEGAL POWER OF WISDOM. IT IS NOT A LEGAL POWER OF KNOWLEDGE. IT IS NOT A LEGAL POWER OF UNDERSTANDING. IT IS NOT A LEGAL POWER OF INSIGHT. IT IS NOT A LEGAL POWER OF PERCEPTION. IT IS NOT A LEGAL POWER OF INTERPRETATION. IT IS NOT A LEGAL POWER OF ANALYSIS. IT IS NOT A LEGAL POWER OF SYNTHESIS. IT IS NOT A LEGAL POWER OF EVALUATION. IT IS NOT A LEGAL POWER OF JUDGMENT. IT IS NOT A LEGAL POWER OF DECISION. IT IS NOT A LEGAL POWER OF ACTION. IT IS NOT A LEGAL POWER OF INACTION. IT IS NOT A LEGAL POWER OF PASSIVITY. IT IS NOT A LEGAL POWER OF AGGRESSIVENESS. IT IS NOT A LEGAL POWER OF HOSTILITY. IT IS NOT A LEGAL POWER OF ANGER. IT IS NOT A LEGAL POWER OF RAGE. IT IS NOT A LEGAL POWER OF FURY. IT IS NOT A LEGAL POWER OF WRATH. IT IS NOT A LEGAL POWER OF VENGEANCE. IT IS NOT A LEGAL POWER OF REVENGE. IT IS NOT A LEGAL POWER OF RETALIATION. IT IS NOT A LEGAL POWER OF REPRISAL. IT IS NOT A LEGAL POWER OF PUNISHMENT. IT IS NOT A LEGAL POWER OF PENALTY. IT IS NOT A LEGAL POWER OF SANCTION. IT IS NOT A LEGAL POWER OF DETERRENCE. IT IS NOT A LEGAL POWER OF DISSUASION. IT IS NOT A LEGAL POWER OF PREVENTION. IT IS NOT A LEGAL POWER OF PROTECTION. IT IS NOT A LEGAL POWER OF DEFENSE. IT IS NOT A LEGAL POWER OF RESISTANCE. IT IS NOT A LEGAL POWER OF COMPLIANCE. IT IS NOT A LEGAL POWER OF OBEYANCE. IT IS NOT A LEGAL POWER OF SUBMISSION. IT IS NOT A LEGAL POWER OF ACQUIESCENCE. IT IS NOT A LEGAL POWER OF CONSENT. IT IS NOT A LEGAL POWER OF AGREEMENT. IT IS NOT A LEGAL POWER OF ASSENT. IT IS NOT A LEGAL POWER OF CONCORD. IT IS NOT A LEGAL POWER OF HARMONY. IT IS NOT A LEGAL POWER OF PEACE. IT IS NOT A LEGAL POWER OF ORDER. IT IS NOT A LEGAL POWER OF REGULATION. IT IS NOT A LEGAL POWER OF CONTROL. IT IS NOT A LEGAL POWER OF DOMINANCE. IT IS NOT A LEGAL POWER OF SUPREMACY. IT IS NOT A LEGAL POWER OF SOVEREIGNTY. IT IS NOT A LEGAL POWER OF AUTONOMY. IT IS NOT A LEGAL POWER OF SELF-DETERMINATION. IT IS NOT A LEGAL POWER OF SELF-REGULATION. IT IS NOT A LEGAL POWER OF SELF-CONTROL. IT IS NOT A LEGAL POWER OF SELF-DISCIPLINE. IT IS NOT A LEGAL POWER OF SELF-RESTRAINT. IT IS NOT A LEGAL POWER OF SELF-REINFORCEMENT. IT IS NOT A LEGAL POWER OF SELF-IMPROVEMENT. IT IS NOT A LEGAL POWER OF SELF-DEVELOPMENT. IT IS NOT A LEGAL POWER OF SELF-ENHANCEMENT. IT IS NOT A LEGAL POWER OF SELF-GLORIFICATION. IT IS NOT A LEGAL POWER OF SELF-AGgrandizement. IT IS NOT A LEGAL POWER OF SELF-EXALTATION. IT IS NOT A LEGAL POWER OF SELF-EXULTATION. IT IS NOT A LEGAL POWER OF SELF-GLORIFICATION. IT IS NOT A LEGAL POWER OF SELF-AGgrandizement. IT IS NOT A LEGAL POWER OF SELF-EXALTATION. IT IS NOT A LEGAL POWER OF SELF-EXULTATION.

Administrative Approval Application

Planning Division

Form will not be processed until it is completely filled out



1. Applicant

Name: RE/MAX Showcase Homes
 Address: 600 S. Adams, Birmingham, MI 48009
 Phone Number: (248) 647-3200
 Fax Number: (248) 647-5190
 Email: tomtedesco@remax.net

Property Owner

Name: Fuller Central Park Properties, LLC
 Address: 600 S. Adams
Birmingham, MI 48009
 Phone Number: 248-642-0024
 Fax Number: 248-642-0136
 Email: elizabeth@fullercentralpark.com

2. Applicant's Attorney/Contact Person

Name: Tom Tedesco
 Address: 600 S. Adams, Birmingham, MI 48009
 Phone Number: 248-647-3200
 Fax Number: 248-647-5190
 Email: tomtedesco@remax.net

Project Designer

Name: Greg Kovtun
 Address: 1675 W. Hamlin Rd. Rochester Hills, MI 48309
 Phone Number: 888-497-7446
 Fax Number: _____
 Email: production@michigancustomsigns.com

3. Project Information

Address/Location of Property: 600 S. Adams, Birmingham, MI 48009
Ste. 330
 Name of Development: RE/MAX Showcase Homes
 Parcel ID #: 1936281031
 Current Use: Office Space
 Area in Acres: .82
 Current Zoning: B-2

Name of Historic District site is in, if any: n/a
 Date of HDC Approval, if any: n/a
 Date of Application for Preliminary Site Plan: _____
 Date of Preliminary Site Plan Approval: _____
 Date of Application for Final Site Plan: _____
 Date of Final Site Plan Approval: _____
 Date of Revised Final Site Plan Approval: _____

4. Attachments


- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples
- Digital Copy of plans
- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations

5. Details of the Request for Administrative Approval

Adding a sign to the face of the building that is 36.21 sq ft for RE/MAX Showcase Homes tenant in Ste 330

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant:  Date: 7/7/21

Office Use Only			
Application #:	Date Received:	Fee:	
<u>PAA21-0068</u>	<u>7/7/21</u>	<u>\$100.00</u>	
Date of Approval:	Date of Denial:	Reviewed by:	
<u>PA 7/20/21</u>	<u>N/A</u>	<u></u>	

CONSENT OF PROPERTY OWNER

I, Fuller Central Park Properties, LLC, OF THE STATE OF Michigan AND COUNTY OF
(Name of property owner)

Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 600 S. Adams, Birmingham, MI 48009;
(Address of affected property)
2. That I have read and examined the Application for Administrative Approval made to the City of Birmingham by:
RE/MAX;
(Name of applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

Dated: 6/23/2021

Steve G. Quintal

Owner's Name (Please Print)

Owner's Signature



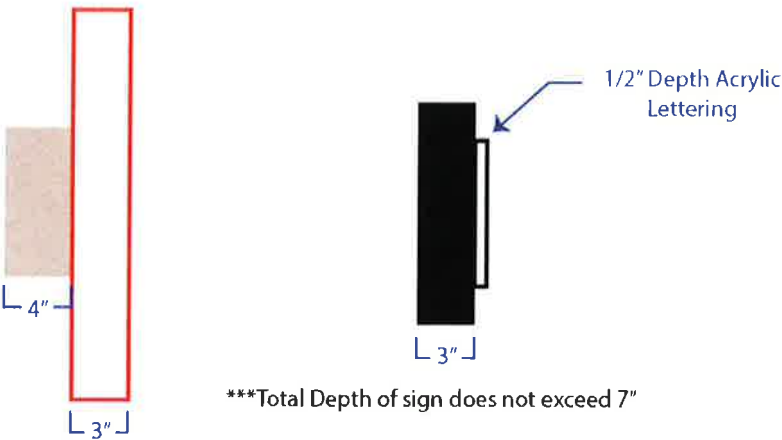
*White returns and trim caps on NON-ILLUMINATED channel letters



"SHOWCASE HOMES" as 1/2" depth white acrylic lettering, flush mounted to 3" depth Panface

261"x20" SIGN TOTAL

SIDE PROFILE OF SIGN ELEMENTS



MATERIALS/ INFO/ NOTES:

- 3D LOGO/ LETTERING
- CHANNEL LETTERS
- PANFACE Metal

NOTES:

****PLEASE EXAMINE PROOF CAREFULLY****
By approving and signing you are verifying and confirming that all spelling, grammar, text, design layout, including but not limited to sizes and placement of graphics are correct. Once production has begun, customer assumes all responsibility for any inaccuracies and understands additional costs may be incurred to correct. Please note color may or may not be accurately represented on this proof.

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(248) 218 2559
michigancustomsigns.com

APPROVED
7/20/21
PAA01-0068



APPROVED

6/24/21

PAAD1 - 0055

Administrative Sign Approval Application Planning Division

Form will not be processed until it is completely filled out

1. Applicant

Name: Fastsigns of Birmingham / Allen Chika
Address: 33322 Woodward Ave. Birmingham 48009

Phone Number: 248-642-9911

Fax Number: _____

Email: 212@fastsigns.com

Property Owner

FULLER CENTRAL PARK PROPERTIES
112 Peabody St.

Name: _____
Address: BIRMINGHAM, MI 48009

Phone Number: 248-642-0024

Fax Number: 248-642-0136

Email: elizabeth@fullercentralpark.com

2. Applicant's Attorney/Contact Person

Name: _____
Address: _____

Phone Number: _____

Fax Number: _____

Email: _____

Project Designer

Name: _____
Address: _____

Phone Number: _____

Fax Number: _____

Email: _____

3. Project Information

Address/Location of Property: 600 S Adams Rd

Suite 300

Name of Development: _____

Parcel ID #: _____

Current Use: _____

Area in Acres: _____

Current Zoning: _____

Name of Historic District site is in, if any: _____

Date of HDC Approval, if any: _____

Date of Application for Preliminary Site Plan: _____

Date of Preliminary Site Plan Approval: _____

Date of Application for Final Site Plan: _____

Date of Final Site Plan Approval: _____

Date of Revised Final Site Plan Approval: _____

4. Attachments

- Two (2) folded paper copies of plans
- Authorization from Owner(s) (if applicant is not owner)
- Material Samples
- Digital Copy of plans

5. Details of the Request for Administrative Approval

New wall sign

6. Location of Proposed Signs

East wall

7. Type of Sign(s)

Wall: Wall mounted channel letters

Ground: _____

Projecting: _____

Canopy: _____

Building Name: _____

Post-mounted Projecting: _____





CONSENT OF PROPERTY OWNER

I, Koller Central Park Properties, LLC, OF THE STATE OF MI AND COUNTY OF
(Name of property owner)

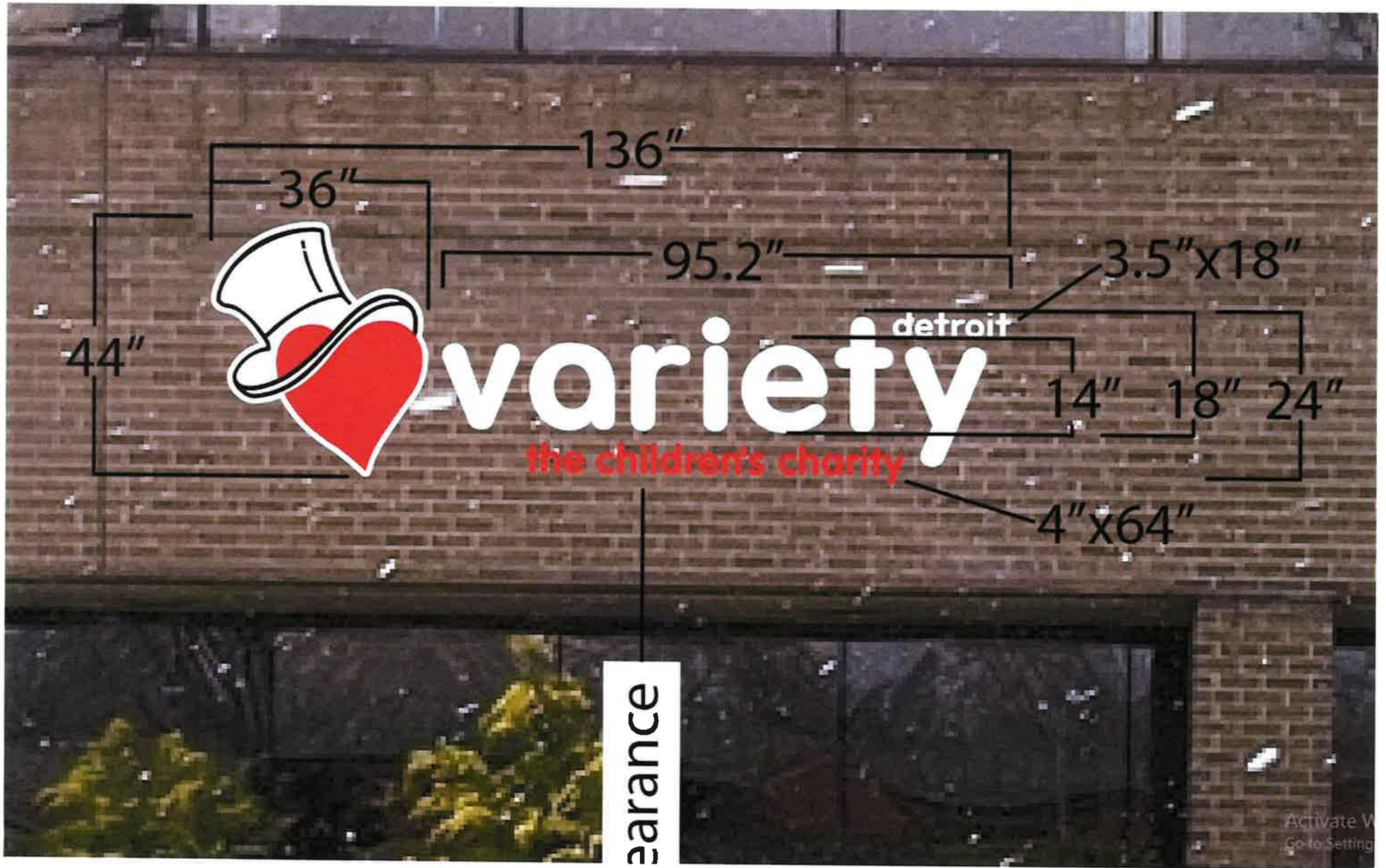
Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 600 S. Adams, Birmingham, MI;
(Address of affected property)
2. That I have read and examined the Application for Administrative Approval made to the City of Birmingham by:
Variety The Children's Charity;
(Name of applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

Dated: June 1, 2021

STEVEN G Quintal
Owner's Name (Please Print)

[Signature]
Owner's Signature



APPROVED
6/24/21
PAR21-0055

150' building front

35' building height

136"

44"



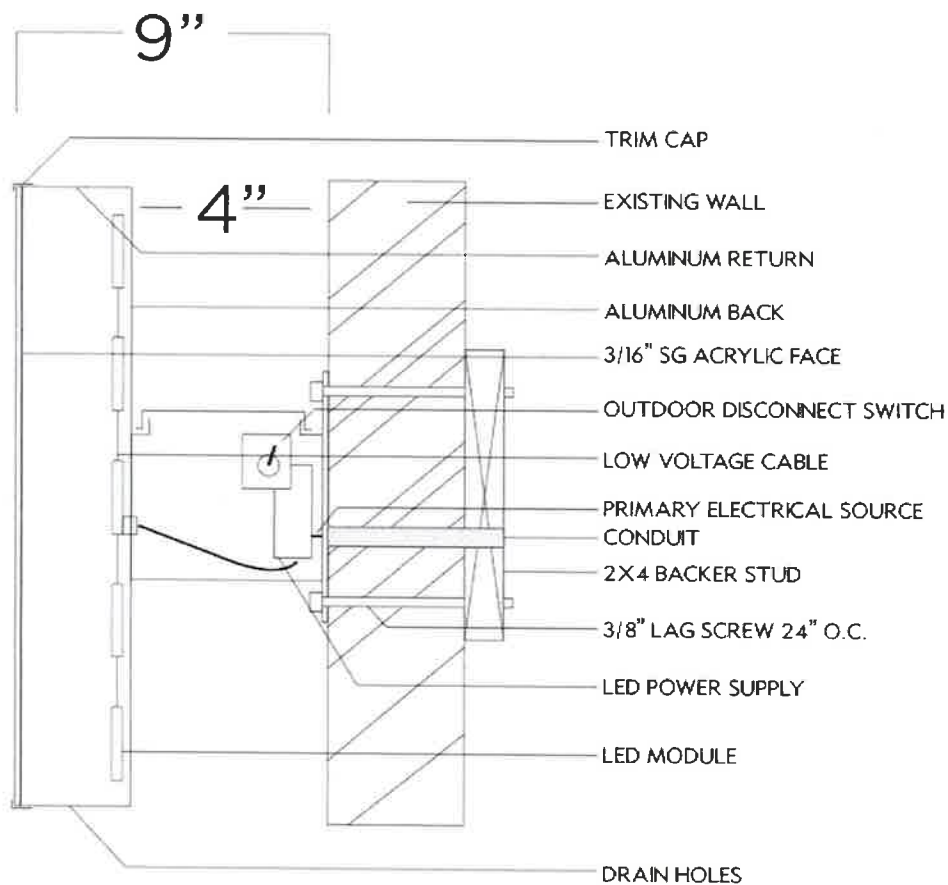
variety
the children's charity

detroit

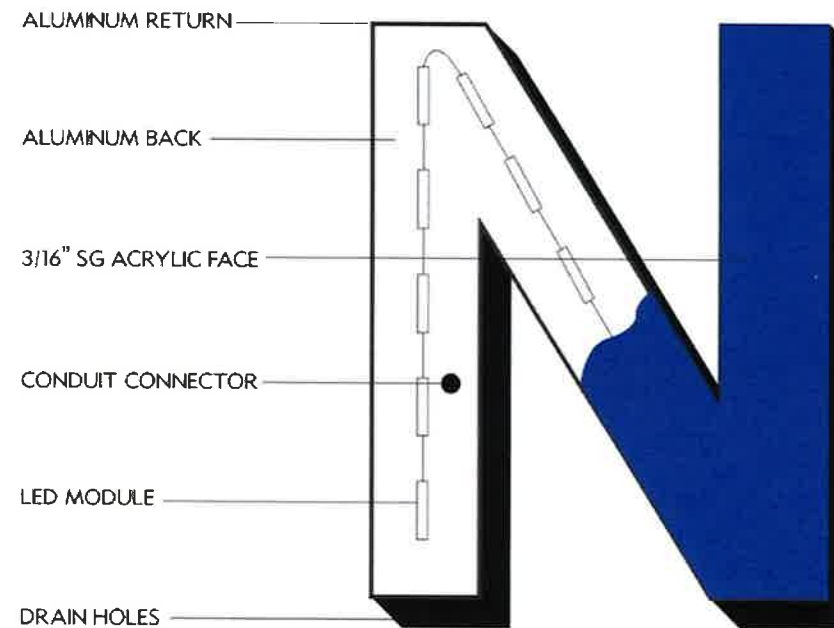
10' clearance

RACEWAY MOUNTED CHANNEL LETTER

SIDE VIEW



FRONT VIEW



designed to withstand
115mph wind load



Administrative Sign Approval Application Planning Division

Form will not be processed until it is completely filled out.

APPROVED
7/6/21
PA4-21-0051

1. Applicant

Name: Jim Rosenthal/Bloomfield Capital
Address: 700 Forest
Birmingham, MI 48009
Phone Number: 248-396-8863
Fax Number: _____
Email Address: Jimr@imgcml.com

2. Property Owner

Name: 700 Forest LLC
Address: 180 E. Brown Street
Birmingham, MI 48009
Phone Number: 248-396-8863
Fax Number: _____
Email Address: Jimr@imgcml.com

3. Applicant's Attorney/Contact Person

Name: Ed Phillips/Phillips Sign & Lighting
Address: 40920 Executive Drive
Harrison Township, MI 48045
Phone Number: 586-468-7110
Fax Number: 586-468-7441
Email Address: janet@phillipssign.com

4. Project Designer/Developer

Name: Phillips Sign & Lighting
Address: 40920 Executive Drive
Harrison Township, MI 48045
Phone Number: 586-468-7110
Fax Number: 586-468-7441
Email Address: janet@phillipssign.com

5. Project Information

Address/Location of Property: _____
700 Forest
Name of Development: Bloomfield Capital
Parcel ID#: _____
Current Use: Financial Institution
Area in Acres: _____
Current Zoning: _____

Name of Historic District if any: _____
Date of HDC Approval, if any: _____
Date of Application for Preliminary Site Plan: _____
Date of Preliminary Site Plan Approval: _____
Date of Application for Final Site Plan: _____
Date of Final Site Plan Approval: _____
Date of Revised Final Site Plan Approval: _____

6. Required Attachments

- Two (2) folded paper copies of plans including details of the following:
 - Dimensions of proposed sign(s)
 - Dimensions of building frontage
 - Illumination
 - Height from grade

- ☐ Location of proposed sign(s)
- ☐ Colors and materials
- Authorization from Property Owner(s) (if applicant is not the owner)
- Material Samples
- Digital Copy of Plans

7. Details of the Request for Administrative Approval

Installation of (1) single faced non illuminated canopy sign

8. Location of Proposed Sign(s)

9. Type of Proposed Sign(s)

Wall: _____
Ground: _____
Name Letter: _____
Canopy: _____ ☒

Projecting (Post-Mounted): _____
Projecting (Wall-Mounted): _____
Building Identification: _____
Other: _____



10. Size of Proposed Sign

Width: 43 1/2"

Depth: 3/8"

Height of Lettering:

Overall Height: 20 7/8"

Extension from Wall:

Total Square Feet: 8.5

11. Existing Signs Currently on Property

Number: None

Square Feet per Sign:

Sign Type(s):

Total Square Feet:

12. Materials/Style of Proposed Sign(s)

Metal: Aluminum

Plastic: Acrylic

Wood:

Glass:

Other:

Color #1:

Color #2:

Additional Colors:

13. Content of Proposed Sign(s)

Bloomfield Capital

14. Proposed Sign Lighting

Type of Lighting: N/A

Size of Fixtures (LxWxH):

Maximum Wattage per Fixture:

Proposed Wattage per Fixture:

Location:

Number of Lights Proposed:

Height from Grade:

Lighting Style:


15. Landscaping (Ground Signs Only)

Location of Landscape Areas: N/A

Proposed Landscape Material: N/A

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant:


James Rosenthal
Authorized Manager

Date:

6/1/21

Office Use Only

Application #

PAA21 - 0051

Date Received:

6/3/21

Fee:

\$100.00

Date of Approval:

Date of Denial:

Reviewed By:





CONSENT OF PROPERTY OWNER

I, 700 Forest LLC, OF THE STATE OF MICHIGAN AND
(Name of Property Owner)

COUNTY OF OAKLAND STATE THE FOLLOWING:

1. That I am the owner of real estate located at 700 Forest;
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of

Birmingham by: Phillips Sign & Lighting;
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the City of
Birmingham.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

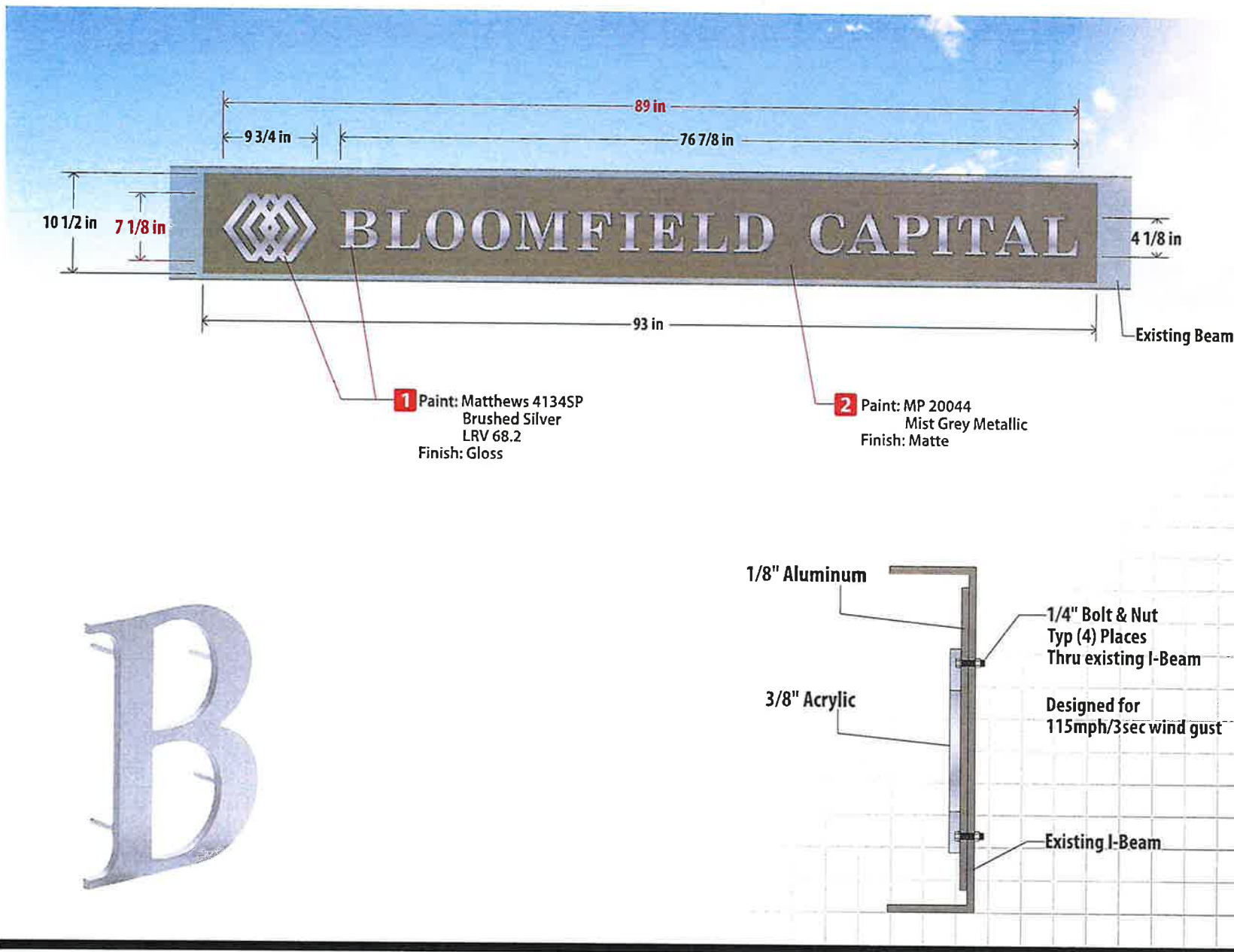
Name of Owner (Printed): 700 Forest LLC

Signature of Owner:

Date:

6/1/21

James Rosenthal
Authorized Manager



Item #4

TOTAL SIGN AREA: 4.4 Sq. Ft.

Canopy Sign
Qty: 1

Lead #: 2105026-39270

PROJECT: Bloomfield Capital (IMG)

FILE: Bloomfield Capital-Canopy Sign-6-28-21

SITE ADDRESS: 700 Forest, Birmingham, 48009

LEAD: RG

LAYOUT: DM

Date:
5-14-21

REVISION:

DM 5-17-21

DM 6-22-21

DM 6-28-21

1 3/8" Thick Acrylic Letters and Logo
Painted Finish.

2 1/8" Aluminum backer plate to
cover existing holes. Painted finish
to match existing beam.

APPROVED
7/14/21
PAA-21-005

Designs, details and plans are the property of Phillips Sign & Lighting, Inc. All or any part of these designs (except registered trademarks) are protected. Attempts to duplicate designs without written consent may result in legal repercussions.

phillips SIGN & LIGHTING Inc.

PS&L

Ph: 586.468.7110

Maximum Area: No more than 33% of canopy valance area.

Canopy Valance Area - 159.25" x 12" = 13.27 sq ft

33% of Canopy Valance Area = 4.4 sq ft

visit us at: **phillipssign.com**

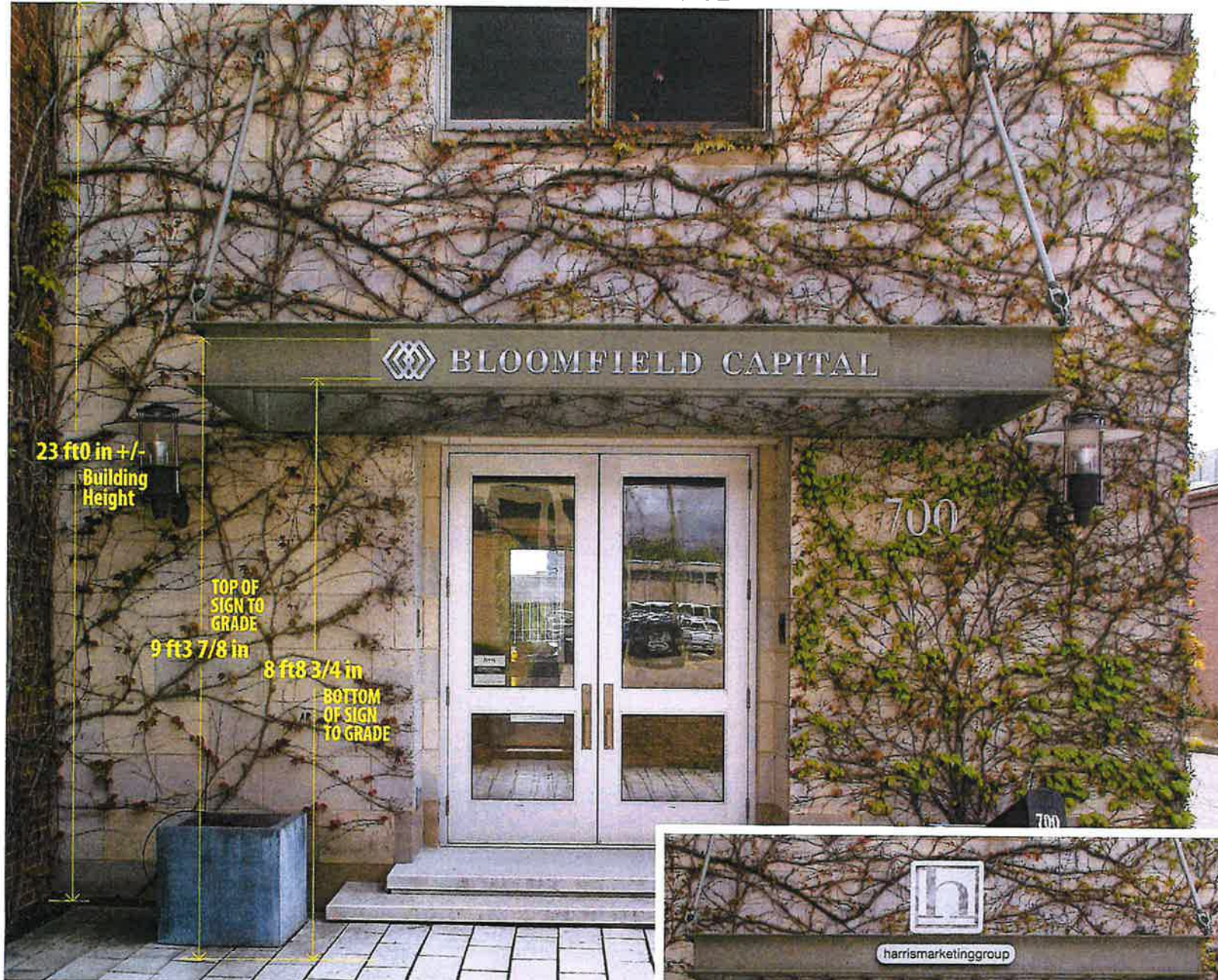
Approved: RG

Date: 7-1

Permit: DM 7-1-21

40920 Executive Drive
Harrison Twp., MI
48045-1363

EXISTING AT SITE



EXISTING AT SITE

Item #4

TOTAL SIGN AREA: 4.4 Sq. Ft.

Canopy Sign
Qty: 1

Lead #: 2105026-39270

PROJECT: Bloomfield Capital (IMG)

FILE: Bloomfield Capital-Canopy Sign-6-28-21

SITE ADDRESS: 700 Forest, Birmingham, 48009

LEAD: RG

LAYOUT: DM

Date:
5-14-21

REVISION:

DM 5-17-21

DM 6-22-21

DM 6-28-21

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phillips SIGN & LIGHTING inc.

PS&L

Ph: 586.468.7110

visit us at: **phillipssign.com**

Approved: R6

Date: 7-1

Permit: DM 7-1-21

40920 Executive Drive
Harrison Twp., MI
48045-1363



SITE PLAN

Lead #: 2105026-39270

PROJECT: Bloomfield Capital (IMG)

FILE: Bloomfield Capital-Canopy Sign

SITE ADDRESS: 700 Forest, Birmingham, 48009

LEAD: RG

LAYOUT: DM

Date:
5-14-21

REVISION:
DM 5-17-21

E Location of proposed canopy sign to be installed per the elevation drawing

Designs, details and plans represented herein are the sole property of Phillips Sign & Lighting, Inc. All or any part of these designs (except registered trademarks) are protected. Attempts to duplicate designs without written consent may result in legal repercussions.

phillips SIGN & LIGHTING inc.

PS&L

Ph: 586.468.7110



visit us at: **phillipssign.com**

Approved: RG

Date: 7-1

Permit: DM 7-1-21

40920 Executive Drive
Harrison Twp., MI
48045-1363



Administrative Approval Application - SIGN Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: Vestalla Home, LLC
Address: 794 N. Old Woodward
Birmingham, MI 48009
Phone Number: 248-471-1111
Fax Number: NA
Email Address: Shelley@Vestalla Home.com

2. Property Owner

Name: 794 OLD WOODWARD LLC Hunter Korth
Address: PO BOX 1514 BIRMINGHAM, MI 48012-1514
Phone Number: (586) 405-5405
Fax Number: NA
Email Address: 794oldwoodwardllc@gmail.com

3. Applicant's Attorney/Contact Person

Name: NA
Address: NA
NA
Phone Number: NA
Fax Number: NA
Email Address: NA

4. Project Designer/Developer

Name: Karana Signs
Address: 27925 Berkshire
Southfield, MI 48076
Phone Number: 248-730-7778
Fax Number: NA
Email Address: karanasigns@yahoo.com

5. Project Information

Address/Location of Property: 794 N Old Woodward
Name of Development: NA
Parcel ID#: 08-19-25-328-006
Current Use: Retail
Area in Acres: .054
Current Zoning: B1

Name of Historic District if any: NA
Date of HDC Approval, if any: NA
Date of Application for Preliminary Site Plan: NA
Date of Preliminary Site Plan Approval: NA
Date of Application for Final Site Plan: NA
Date of Final Site Plan Approval: NA
Date of Revised Final Site Plan Approval: NA

6. Required Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- One (1) digital copy of plans
- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations
- Photographs of existing conditions on the site where changes are proposed

7. Details of the Request for Administrative Approval

Name Letter Sign Permit

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan.

Signature of Applicant: [Signature]

Date: 06-16-21

Office Use Only

Application #: PAP21-0060

Date Received: June 17, 2021

Fee: \$100

Date of Approval: 6/24/21

Date of Denial: N/A

Reviewed By: [Signature]



CONSENT OF PROPERTY OWNER

I, Hunter Korth, OF THE STATE OF Michigan AND
(Name of Property Owner)
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 794 N. OLD WOODWARD;
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of

Birmingham by: Vestalia Home, LLC;
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the City of
Birmingham.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Name of Owner (Printed): Hunter Korth

Signature of Owner: Hunter Korth
Hunter Korth (Jun 16, 2021 19:07 EDT)

Date: Jun 16, 2021

KARANA ELECTRIC SIGNS INC

Tel (248)7307778

KARANASIGNS@YAHOO.COM

27925 BERKSHIRE DR. SOUTHFIELD MI 48076

18 ft



CHANNEL LETTERS

"CHANNEL LETTER SPECS"

Letters: Custom Fabricated Interior Illuminated Channel
Faces: Acrylic Plastic

Returns: 5" Deep Pre-coat Aluminum Durodonic Bronze

Trim Cap: 3/4" black Jewelite Caps

Illumination: white led

UL # LISTED & APPROVED

APPROVED

6/24/21

PA121-0060

11 ft

16 in

HunterDouglas



794 N OLD WOODWARD

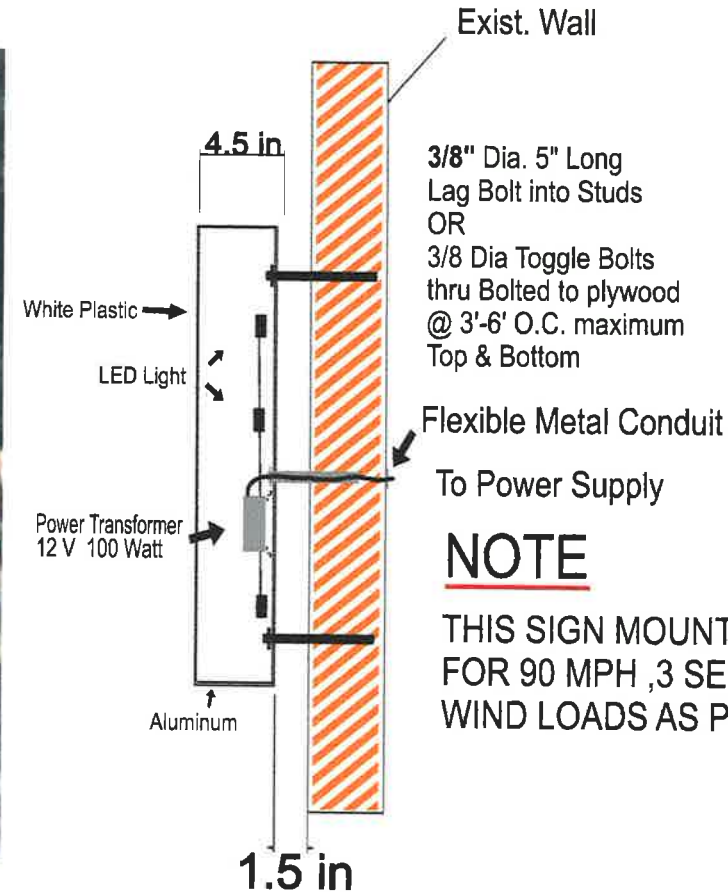
KARANA ELECTRIC SIGNS INC

Tel (248)7307778 **KARANASIGNS@YAHOO.COM**

27925 BERKSHIRE DR. SOUTHFIELD MI 48076



Site Plan



Letters Mounting Details

794 N OLD WOODWARD



CITY OF BIRMINGHAM
DATE 02/03/2021 11:39:10 AM
FILE NO: 180,472
Receipt 570129
Amount \$100.00

Administrative Approval Application (SIGN) Planning Division

Form will not be processed until it is completely filled out

APPROVED

7/14/21

PAA21-0056

1. Applicant

Name: prosign and awning
Address: 17627 W Warren ave
Detroit, MI 48228
Phone Number: 313-581-9333
Fax Number: 313-581-8995
Email: info@signmi.com

Property Owner

Name: Janet Boice
Address: 856 N. Old Woodward
Birmingham, MI
Phone Number: 248-680-1401
Fax Number: _____
Email: jboice@simonattys.com

2. Applicant's Attorney/Contact Person

Name: Hussein Fardous
Address: 17627 W Warren Ave
Detroit, MI 48228
Phone Number: 313-581-9333
Fax Number: _____
Email: info@signmi.com

Project Designer

Name: Zaina Fardous
Address: 17627 W Warren Ave
Detroit, MI 48228
Phone Number: 313-581-9333
Fax Number: _____
Email: info@signmi.com

3. Project Information

Address/Location of Property: 856 N. Old Woodward Ste. 120
Name of Development: Aurora Medi Spa
Parcel ID #: n/a
Current Use: n/a
Area in Acres: n/a
Current Zoning: n/a

Name of Historic District site is in, if any: _____
Date of HDC Approval, if any: _____
Date of Application for Preliminary Site Plan: _____
Date of Preliminary Site Plan Approval: _____
Date of Application for Final Site Plan: _____
Date of Final Site Plan Approval: _____
Date of Revised Final Site Plan Approval: _____

4. Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples
- Digital Copy of plans
- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations

5. Details of the Request for Administrative Approval

1 new wall sign. Aurora Medi Spa - channel letters on raceway. Skin care services laser treatment plastic surgery - 1/2" solid sentra pin mounted letters

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: Hussein fardous Date: 5/28/2021

Office Use Only			
Application #:	<u>PAA21-0056</u>	Date Received:	<u>6/10/21</u>
		Fee:	<u>\$100.00</u>
Date of Approval:	<u>7/14/21</u>	Date of Denial:	<u>N/A</u>
		Reviewed by:	<u>[Signature]</u>



CONSENT OF PROPERTY OWNER

I, FLS Properties #5, LLC, OF THE STATE OF Michigan AND
(Name of Property Owner)

COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 856 N. Old Woodward, Birmingham, MI 48009
(Address of Affected Property)
2. That I have read and examined the Application for Administrative Approval made to the City of
Birmingham by: Aurora Medi Spa - pro sign and awning
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of
Birmingham.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Name of Owner (Printed): FLS Properties #5, LLC/ Frank R. Simon

Signature of Owner:  Date: 5/17/21

ILLUMINATED CHANNEL LETTER SIGN

SCALE: 1" = 1'-0"

• Square Feet

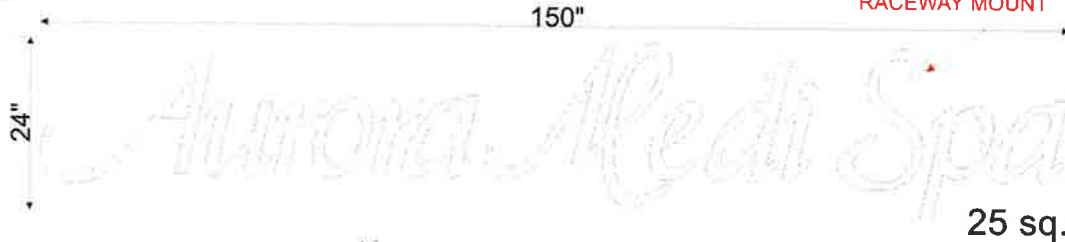
CHANNEL LETTERS
RACEWAY MOUNT

COLOR SCHEDULE

WHITE ACRYLIC FACE- 2447



3M DUAL COLOR FILM BLACK/WHITE



25 sq.ft

EXISTING CONDITIONS

FOR REFERENCE ONLY



APPROVED

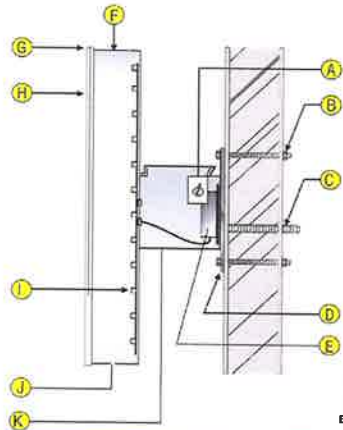
7/14/21

PAA-21-0056

PROPOSED SIGNAGE

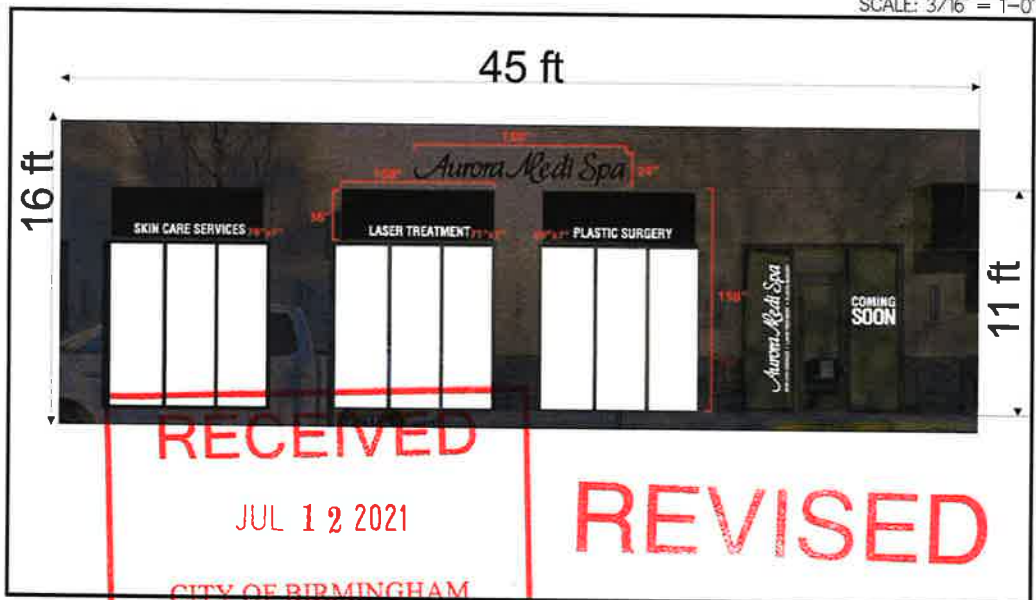
SCALE: 3/16" = 1'-0"

RACEWAY MOUNTED LETTER – CROSS SECTION DETAIL



- A** UL LISTED DISCONNECT SWITCH
- B** FASTENER MOUNTING DETAIL
- C** PRIMARY ELECTRICAL SOURCE
- D** RACEWAY Ø80 MOUNTING PLATE
- E** UL LISTED POWER SUPPLY
- F** 3"XØ40 ALUMINUM RETURN
- G** 1" JEWELITE TRIM CAP
- H** 1/8" ACRYLIC FACE
- I** UL LISTED LOW VOLTAGE LED MODULES
- J** 1/4" WEEP HOLES
- K** ALUMINUM RACEWAY

4" raceway depth
3" letter depth
7 in total



RECEIVED

JUL 12 2021

CITY OF BIRMINGHAM

COMMUNITY DEVELOPMENT DEPT.

REVISED



Corporate Office
17627 W. Warren Ave
Detroit, MI 48228
313.581.9333
866.419.5379
Fax 313.581.8995

263000
Customer Number
355245
Quote Number
FX-DIAGRAM
AURORA MEDI SPA

SF
Project Manager
Date
5/24/2021
ZF
Drawn By
1.0
Checked By
SF
Revisions
0

☐ APPROVED
☐ APPROVED WITH CHANGES NOTED
[Change]

Customer Signature

Landlord Signature

Date:

Date:

This original artwork is protected under federal copyright laws. Make no reproduction of this design concept without permission from Prosigns LLC.

This drawing is intended to provide a reasonable representation of the final manufactured article. Fasteners and seams in materials may not be represented exactly as they will be fabricated. Colors on prints may not accurately depict specific colors.

Customer Name:
Business Name: AURORA MEDI SPA
Phone:
Fax:
Email:
Address: 856 N. Old Woodward
Birmingham, MI 48009

CERTIFICATE OF COMPLIANCE

Certificate Number 20140401-E467439
Report Reference E467439-20140331
Issue Date 2014-APRIL-01

Issued to: Prosigns L L C
17627 W Warren Ave
Detroit MI 48228

This is to certify that
representative samples of

SIGNS


USL, CNL Cord connected and permanently wired electric signs of the incandescent, fluorescent, HID, or electric discharge tubing type, or combinations thereof.

Have been investigated by UL in accordance with the Standard(s) indicated on this Certificate.

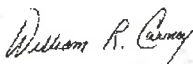
Standard(s) for Safety: UL 48 and CAN/CSA C22.2 No.207-M89 - Standard For Portable and Stationary Electric Signs and Displays

Additional Information: See the UL Online Certifications Directory at www.ul.com/database for additional information

Only those products bearing the UL Listing Mark for the US and Canada should be considered as being covered by UL's Listing and Follow-Up Service meeting the appropriate requirements for US and Canada.

The UL Listing Mark for the US and Canada generally includes: the UL in a circle symbol with "C" and "US" identifiers:  the word "LISTED"; a control number (may be alphanumeric) assigned by UL; and the product category name (product identifier) as indicated in the appropriate UL Directory.

Look for the UL Listing Mark on the product.



William R. Carney, Director, North American Certification Programs
UL LLC

Any information and documentation involving UL Mark services are provided on behalf of UL LLC (UL) or any authorized licensee of UL. For questions, please contact a local UL Customer Service Representative at www.ul.com/contactus



WIND LOAD ANALYSIS

0-20 FEET HIGH BUILDING, DESIGN WIND FOR 90 mph = 15 PSF
 $W = 15 \times I_w = 15 \times 1.0 = 15 \text{ PSF}$,

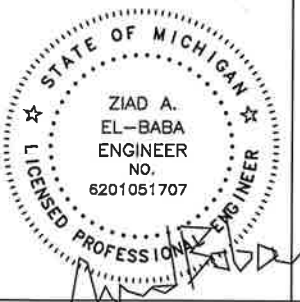
USE 20 PSF MINIMUM WIND LOAD DESIGN, SEE PLAN
 WIND DESIGN BASED ON WIND SPEED OF 90 mile/hour

USE 30 PSF FOR DESIGN PURPOSE

$V_{(3s)} = 90 \text{ mph}$ 3 SECOND GUST WIND
 $V_{(fm)} = 75 \text{ mph}$ FIG 1609

WIND IMPORTANCE FACTOR AND BUILDING CATEGORY
 $I_w = 1.0$ TABLE 1604.5

BUILDING CATEGORY I (ALL OTHER STRUCTURE) 1604.5



NEW CHANNEL LETTER

WIND CALCULATION

ZIAD EL-BABA P.E., ENGINEERING
 674 GAUTHIER
 TECUMSEH ONTARIO N8N 3P8
 (313) 938-8767 FAX 519-979-3535
 (519)-796-9882

JOB ADDRESS
 AURORA MEDI SPA
 856 N. OLD WOODWARD,
 BIRMINGHAM , MI

SK-1

SIGN CALCULATION

AURORA MEDI SPA

AREA OF SIGN $12.5' \times 24.0' \pm$

SIGN WEIGHT = 10 PLF

WIND = 30 PSF

WEIGHT = $10 \times 12.5 = 125$ POUNDS

SHEAR ON BOLTS = $V = 125 / 6$ (MIN) = 20.8 LBS / BOLTS < 420

ASSUME FULL SOLID SIGN
(SIGN IS 40% VOID)

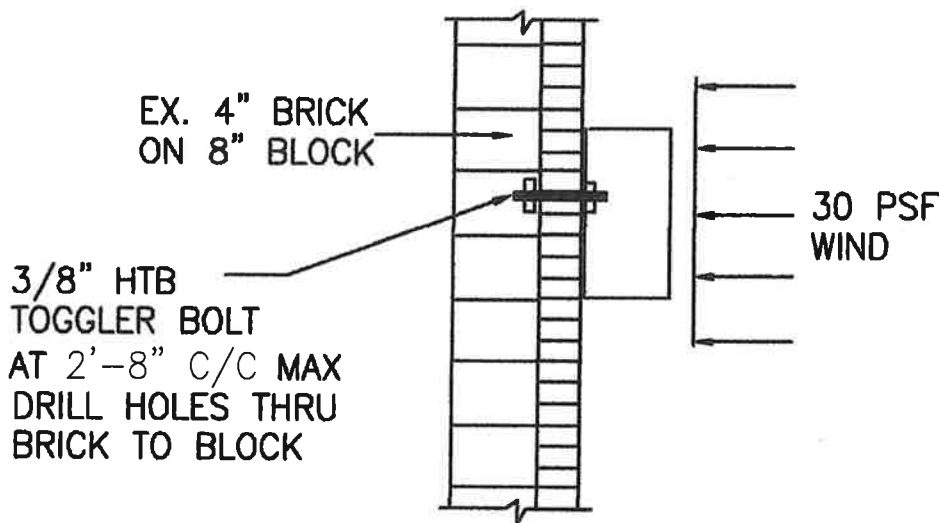
W (WIND) = $2 \times 30 = 60$ PLF

TENSION ON BOLTS = $T = 60 \times 12.5 = 750$ POUNDS

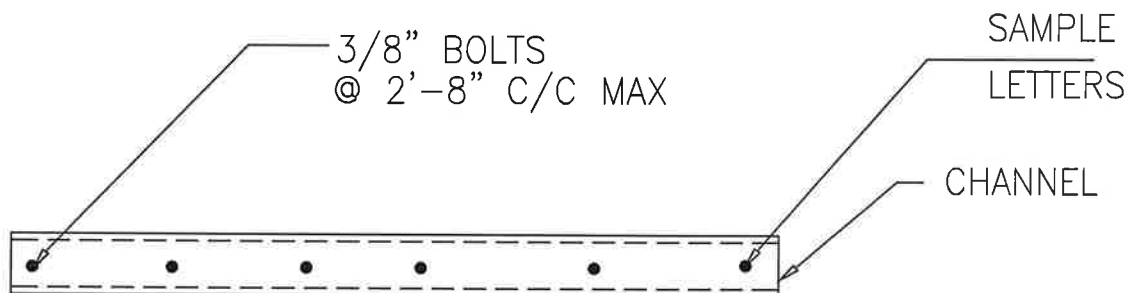
TENSION/BOLTS = $T = 750 / 6 = 125$ POUNDS/BOLT < 200

USE MIN $3/8"$ TOGGLE BOLTS AT $2'-8"$ C/C MAX (BOTH CHANNELS)

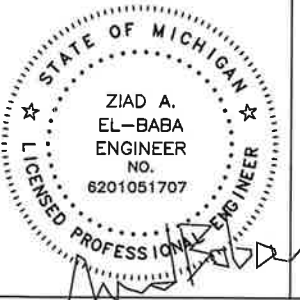
ROOF SYSTEM



WALL SECTION



SAMPLE ELEVATION



NEW CHANNEL LETTER

STRUCTURAL CALCULATION

ZIAD EL-BABA P.E., ENGINEERING
674 GAUTHIER
TECUMSEH ONTARIO N8N 3P8
(313) 938-8767 FAX 519-979-3535
(519)-796-9882

JOB ADDRESS
AURORA MEDI SPA
856 N. OLD WOODWARD,
BIRMINGHAM , MI

SK-2

Administrative Sign Approval Application Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: Elton Topalli
Address: 1221 East 14 Mile Rd
Troy MI 48083
Phone Number: 586-381-3352
Fax Number: _____
Email Address: info@signsmh.com

2. Property Owner

Name: Fuller Central Park Properties, L.L.C.
Address: 112 Peabody St Birmingham, MI 48009
Phone Number: 248-642-0024
Fax Number: _____
Email Address: steve@fullercentralpark.com

3. Applicant's Attorney/Contact Person

Name: _____
Address: _____
Phone Number: _____
Fax Number: _____
Email Address: _____

4. Project Designer/Developer

Name: _____
Address: _____
Phone Number: _____
Fax Number: _____
Email Address: _____

5. Project Information

Address/Location of Property: 950 South Old Woodward
Name of Development: _____
Parcel ID#: _____
Current Use: _____
Area in Acres: _____
Current Zoning: _____

Name of Historic District if any: _____
Date of HDC Approval, if any: _____
Date of Application for Preliminary Site Plan: _____
Date of Preliminary Site Plan Approval: _____
Date of Application for Final Site Plan: _____
Date of Final Site Plan Approval: _____
Date of Revised Final Site Plan Approval: _____

6. Required Attachments

- Two (2) folded paper copies of plans including details of the following:
 - Dimensions of proposed sign(s)
 - Dimensions of building frontage
 - Illumination
 - Height from grade
 - Location of proposed sign(s)
 - Colors and materials
- Authorization from Property Owner(s) (if applicant is not the owner)
- Material Samples
- Digital Copy of Plans

7. Details of the Request for Administrative Approval

Non Illuminated Letter, 0.5 inch thick black acrylic,

8. Location of Proposed Sign(s)

Top right corner

9. Type of Proposed Sign(s)

Wall: Wall Sign 34 sqft
Ground: _____
Name Letter: KHOURL Dental Group
Canopy: N

Projecting (Post-Mounted): _____
Projecting (Wall-Mounted): _____
Building Identification: _____
Other: _____

10. Size of Proposed Sign

Width: 17 Feet
Depth: 0.5 inch
Height of Lettering: 2 feet

Overall Height: 17 Feet
Extension from Wall: 0.5 inch
Total Square Feet: 34

11. Existing Signs Currently on Property

Number:
Square Feet per Sign:

Sign Type(s):
Total Square Feet:

12. Materials/Style of Proposed Sign(s)

Metal:
Plastic: Acrylic
Wood:
Glass:

Other:
Color #1: Black
Color #2: Blue
Additional Colors:

13. Content of Proposed Sign(s)

14. Proposed Sign Lighting

Type of Lighting: Not to illuminate
Size of Fixtures (LxWxH):
Maximum Wattage per Fixture:
Proposed Wattage per Fixture:

Location:
Number of Lights Proposed:
Height from Grade:
Lighting Style:

15. Landscaping (Ground Signs Only)


Location of Landscape Areas:

Proposed Landscape Material:

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: Elton Topalli Date: 7/22/2021

Office Use Only

Application # PAA21-0087 Date Received: 8/16/21 Fee: \$100.00
Date of Approval: 8/19/21 Date of Denial: N/A Reviewed By: 



CONSENT OF PROPERTY OWNER

I, Fuller Central Park Properties, LLC OF THE STATE OF Michigan AND
(Name of Property Owner)

COUNTY OF Oakland STATE THE FOLLOWING:


1. That I am the owner of real estate located at 950 S Old Woodward, Birmingham, MI;
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of

Birmingham by: Elton Topalli;
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the City of
Birmingham.

Name of Owner (Printed): Fuller Central Park Properties, LLC

Signature of Owner:  Date: 7-22-21
Steven G. Quintal

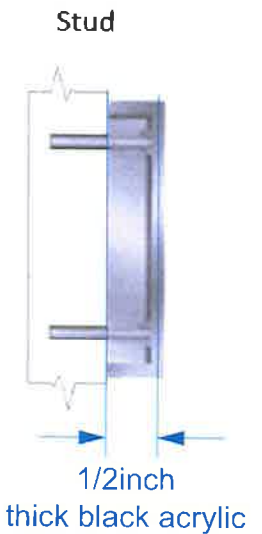


Current Sign at 1'-8" x 58'-0" for a total of 100sqft



1'-8" x 15'-0" total of 25 sqft

1/2" thick black acrylic flush mounted to wall
Sign will not be illuminated, externally or internally
Bottom of sign will be 17'-5" above grade



1221 East 14 Mile Rd.
Troy MI 48063
Ph. 248-577-6191
info@signsmh.com
www.signsmh.com

☐ APPROVED AS-IS
☐ NEEDS REVISION
☐ REJECTED

ACCEPTED BY: _____

DATE: _____

Please check the spelling, layout, colors and sizes.
After customer signs off, we will craft production ACIS draw sheet.

File Name: _____

Designed by: _____

Date: _____

Signs & Engraving II Inc.
Licensed and fully insured company

This is an original, unpublished drawing or layout created by Signs & Engraving II Inc.
It is Submitted for your use in connection with a project being planned and produced
Signs & Engraving II Inc. 1221 East 14 Mile Rd. Troy MI 48063

Administrative Sign Approval Application Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: L A G Development
Address: 4000 W. Highland Rd
Highland, MI 48357
Phone Number: 248-714-1502
Fax Number: _____
Email Address: glaunderocher@lafontaine-motors.com

2. Property Owner

Name: L A G Birmingham LLC
Address: 4000 W. Highland Rd
Highland, MI 48357
Phone Number: 248-704-3146
Fax Number: _____
Email Address: glaunderocher@lafontaine-motors.com

3. Applicant's Attorney/Contact Person

Name: Gary Launderocher
Address: 4000 W. Highland Rd
Highland, MI 48357
Phone Number: 248-704-3146
Fax Number: _____
Email Address: glaunderocher@lafontaine-motors.com

4. Project Designer/Developer

Name: L A G Development
Address: 4000 W. Highland Rd
Highland, MI 48357
Phone Number: 248-714-1553
Fax Number: _____
Email Address: glaunderocher@lafontaine-motors.com

5. Project Information

Address/Location of Property: 33200 Woodward
Birmingham, MI
Name of Development: _____
Parcel ID#: 20-31-356-002
Current Use: Office
Area in Acres: .10 Acres
Current Zoning: B2B

Name of Historic District if any: N/A
Date of HDC Approval, if any: _____
Date of Application for Preliminary Site Plan: _____
Date of Preliminary Site Plan Approval: _____
Date of Application for Final Site Plan: _____
Date of Final Site Plan Approval: _____
Date of Revised Final Site Plan Approval: _____

6. Required Attachments

- Two (2) folded paper copies of plans including details of the following:
 - Dimensions of proposed sign(s)
 - Dimensions of building frontage
 - Illumination
 - Height from grade
- Location of proposed sign(s)
- Colors and materials
- Authorization from Property Owner(s) (if applicant is not the owner)
- Material Samples
- Digital Copy of Plans

7. Details of the Request for Administrative Approval

Temporary Sign
Polestar
Coming Soon

8. Location of Proposed Sign(s)

Front of Building

9. Type of Proposed Sign(s)

Wall: Plastic/Posterboard
Ground: _____
Name Letter: _____
Canopy: _____

Projecting (Post-Mounted): _____
Projecting (Wall-Mounted): _____
Building Identification: _____
Other: _____

CONSENT OF PROPERTY OWNER

I, LAG Birmingham, LLC, OF THE STATE OF Michigan AND
(Name of Property Owner)

COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 33200 Woodward;
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of

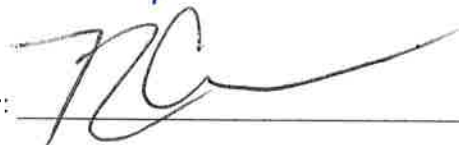
Birmingham by: LAG Development;
(Name of Applicant)

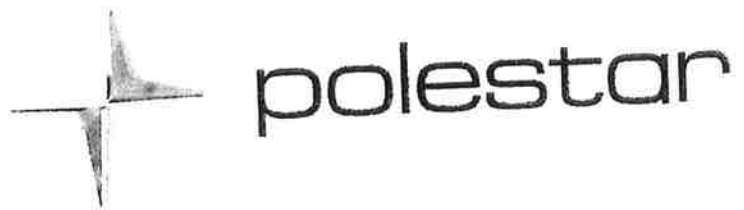
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of

Birmingham.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Name of Owner (Printed): Ryan LaFontaine

Signature of Owner:  Date: 7-26-2021



COMING SOON

Administrative Sign Approval Application Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: Kevin Kuza
Address: 4821 Keithdale Ln
Bloomfield Hills, MI 48302
Phone Number: 248-417-8836
Fax Number: N/A
Email Address: kevin@henryelectrics.com

2. Property Owner

Name: Joesph Management Company
Address: 1277 W. Square Lake Rd
Bloomfield Hills, MI 48302
Phone Number: (248) 352-2110
Fax Number: (248) 352-0880
Email Address: jdlawfirm@aol.com

3. Applicant's Attorney/Contact Person

Name: Gus Abro - Abro Law firm
Address: 500 South Old Woodward F2 Suite 200
Birmingham, MI 48009
Phone Number: 248-723-4545
Fax Number: N/A
Email Address: gus@abrolaw.com

4. Project Designer/Developer

Name: BOX DESIGN INC for Exterior/Interior design - CJP Eng./Design LLC. for Stamped Plans
Address: BOX - 21235 John R rd Hazel park, MI 48030
CJP - 18763 Northwestern Hwy. Southfield MI 48034
Phone Number: BOX - 248-417-8836 | CJP - 248-376-5006
Fax Number:
Email Address: kevin@boxdesigninc.com |

5. Project Information

Address/Location of Property: 33744 Woodward Ave.
Bloomfield Hills, MI 48009
Name of Development: Henry Electric Bike Store
Parcel ID#: NA
Current Use: Vacant Since August 2020
Area in Acres: 1,480 Sq. ft. = 0.03397612 Acres
Current Zoning: Commercial Retail

Name of Historic District if any: _____
Date of HDC Approval, if any: _____
Date of Application for Preliminary Site Plan: _____
Date of Preliminary Site Plan Approval: _____
Date of Application for Final Site Plan: _____
Date of Final Site Plan Approval: _____
Date of Revised Final Site Plan Approval: _____

6. Required Attachments

- Two (2) folded paper copies of plans including details of the following:
 - Dimensions of proposed sign(s)
 - Dimensions of building frontage
 - Illumination
 - Height from grade
- Location of proposed sign(s)
- Colors and materials
- Authorization from Property Owner(s) (if applicant is not the owner)
- Material Samples
- Digital Copy of Plans

7. Details of the Request for Administrative Approval

The Owner Kevin Kuza has owned and operated a high end Architectural Design/Millwork firm for over 17 years. BOX Design Inc. revenues over \$2M a year. We specialize in commercial interiors. The Sign for our new comp
The Signs for the new space Henry Electric Bike Store is going to be made from an exterior 3/4" Skid-guard Eng. Plywood. This is a superior material and does not shrink or expand do to weather (see attached) spec sheet
The Signs will be mounted to a light box which will house sheet LED lights, the light box will be connected to the exterior using tap cons. The cover of the sign will be a removable part with Logo CNC cut from it
The Signs will carry an approx. weight of 45-60lbs for ea. (see attached) The sign can be easily removed for repairs etc. The sign will be located in the same location the signs for the previous owner were

8. Location of Proposed Sign(s)

Sign A - Main Logo to be located on FRont of Building Center above window and door front door opening.
Sign B - Will be located on the Exterior of the side of the bulding facing woodward same height as front sign.

9. Type of Proposed Sign(s)

Wall: Sign A & B as described above
Ground: NONE
Name Letter: CNC LOGO SIGN
Canopy:

Projecting (Post-Mounted): NONE
Projecting (Wall-Mounted) 5" this includes lightbox and cover
Building Identification: (1) Laser Cut Powder coated and attached to side facing Woodward
Other: (2) on Front Window using Vinyl Letters and Numbers



CONSENT OF PROPERTY OWNER

I, Joseph Dedvukaj, OF THE STATE OF Michigan AND
(Name of Property Owner)
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 33744 Woodward Ave.
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of

Birmingham by: Kevin Ruza;
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the City of
Birmingham.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Name of Owner (Printed): Joseph Dedvukaj

Signature of Owner: Joseph Dedvukaj Date: 3-10-21

**REFERENCE PAGE
GROSS PLUS UTILITIES LEASE
2021 EXPENSE STOP FOR TAXES AND INSURANCE**

Tenant: Henry Electric LLC

Address of Premises: 33744 Woodward Avenue
Birmingham, MI 48009

Agreed Rentable Area of Premises: 1,300± Sq. Ft.

Term/Rent Commencement Date: ~64 Months. March 1, 2021 **Expiration Date:** 2-28-2026

<u>Year</u>	<u>Building Rentable Sq. Feet</u>	<u>Rate PSF</u>	<u>Total Base Rent Per Per Month</u>	<u>Total Monthly Base Rent</u>	<u>Term</u>
Free Rent	1,300		\$0.00	\$0.00	Build out period
1	1,300	\$30.46	\$3,300.00	\$39,600.00	3-1-21 to 2-28-22
2	1,300	\$31.38	\$3,400.00	\$40,800.00	3-1-22 to 2-28-23
3	1,300	\$32.31	\$3,500.00	\$42,000.00	3-1-23 to 2-29-24
4	1,300	\$33.23	\$3,600.00	\$43,200.00	3-1-24 to 2-29-25
5	1,300	\$34.15	\$3,700.00	\$44,400.00	3-1-25 to 2-28-26
				\$210,000.00	

Total rent due under this lease is \$210,000.00 over the primary lease term.

*NNN Expenses. Landlord pays the property taxes and Building insurance for 2021. Tenant pays any snow removal charges or handles it's own snow removal. 2021 will be the base year for Property Taxes and Insurance. If these costs go up in future years, Landlord will send Tenant a copy of the property tax bills and insurance bills and Tenant will pay its prorata share of the increase over the 2021 base year. There will be no credit if property taxes and insurance go down in future years. Tenant pays all personal property taxes on their personal property.

Security Deposit:	\$7,400.00
1 st Months Rent	\$3,300.00
Total Due at Lease Execution	\$10,700.00

Free Rent Period: Tenant is taking the space "As Is" except for the Landlord improvements defined in **Paragraph 34**. Landlord is providing free rent from the date of lease execution through February 28, 2021 as Landlord's contribution to wards the Tenants improvements and to allow time for Tenants construction. (Key's to be delivered upon lease execution and receipt by Landlord of the Total funds due at lease execution).

Broker: Kolar Commercial Group represents the Landlord and has no fiduciary duty to any other party. Landlord shall pay the leasing commission to Kolar Commercial Group per the listing at lease execution.

Landlord:
Joseph Management Company
a Michigan Limited Liability Company
1277 West Square Lake Rd.
Bloomfield Hills, MI 48302
Attn: Joseph Dedvukaj
nitaalex@aol.com
Copy: 1031davidkolar@comcast.net

Tenant:
Henry Electrics LLC
a Michigan Limited Liability Company
33744 Woodward Ave.
Birmingham, MI 48009
Attn: Kevin Kuza
kevin@henryelectrics.com

Or other such address as either Landlord or Tenant may direct in writing.

Landlord shall be responsible, financially and otherwise, for maintaining the foundations and structure of the Property and repairing and replacing the roofs on a systematic basis (in keeping with industry practices so that their structural integrity is maintained). Landlord shall replace the HVAC unit if it fails provided Tenant has had it serviced and filters changes at least 2 times per year and has a service contract with a reputable contractor. Tenant shall give notice of any needed maintenance for which Landlord is responsible and give Landlord a reasonable opportunity to address such item. Landlord's liability shall be limited to the cost incurred for such replacement.

6. **SECURITY DEPOSIT.** The Security Deposit shown on the Reference Page is security for Tenant's performance hereunder. Landlord may use the Security Deposit for the payment of Rent, costs to enforce this Lease, or because of Tenant's default. If Tenant complies with each provision of this Lease, the Security Deposit shall be promptly returned after Lease termination provided the space is returned broom clean with reasonable wear and tear excepted.
7. **ALTERATIONS.** Tenant shall not alter or improve the Premises ("Alteration") without Landlord's prior written consent which shall not be unreasonably withheld if the Alteration is non-structural and does not reduce the Property's value. Tenant agrees to construct all Alterations in accordance with all codes and accessibility guidelines and provide Landlord electronic as-built drawings for pre approval before renovations begin and proof of insurance of contractor naming Landlord and Tenant as additional insured before any work begins on the property. Tenant shall remodel the space per the floor plan to be provided by Tenant attached hereto as Exhibit "A" that shall require reasonable approval by Landlord.
8. **REPAIR.** By taking possession, Tenant accepts the Premises as being in good order and repair and in the condition promised. Tenant shall maintain the Premises in good condition and promptly make all repairs and replacements (ordinary or extraordinary), with high quality materials and workmanship in compliance with all laws and regulations. The obligation to maintain shall include, without limitation, windows, entries, walls, floors, electrical systems, signage, - plumbing, and heating, ventilation and air conditioning systems - serving the Premises. Landlord shall provide the HVAC system and hot water tank in good working condition. Tenant shall be responsible for all general maintenance including, but not limited to the HVAC. Tenant shall promptly repair Property damage caused by its agents, employees or visitors or Landlord may make such repair and bill Tenant. Tenant shall not permit any action that may void roof or other warranties or overload any building component or roof. Landlord shall be responsible for replacement of the HVAC units if or when they fail (provided that the Tenant properly maintains the units with a service contract providing minimum of two service calls per year.
9. **LIENS.** Tenant shall keep the Property free from liens. Any lien not released or bonded over within ten (10) days of filing may be released by any means Landlord deems reasonable, including payment of the claim. Such sums advanced shall be considered Additional Rent due within thirty (30) days.

15. **FIRE MONITORING, SECURITY AND COMMUNICATIONS.** Tenant shall contract with a Landlord approved monitoring company and pay all associated costs when the Premises are equipped with fire monitoring equipment. Tenant shall provide and maintain other related equipment such as hose reels, fire extinguishers, strobe lights, signage, etc. as required by local authorities. Tenant, at its cost, may install approved security systems, communications equipment and wiring.
16. **SUBORDINATION.** This Lease shall be subordinate to any mortgage or ground lease. In the event of attornment by Tenant, ground owner or mortgagee shall not be: a) liable for any act or omission of Landlord; b) subject to any offsets or defenses Tenant has against Landlord; or c) bound by prepayment of more than one month's Rent. Tenant shall execute a subordination, non-disturbance and attornment agreement within ten (10) days if such agreement is mortgagee's standard form.
17. **HOLD OVER.** Tenant shall pay all damages plus two hundred percent (200%) of the Rent due if it retains possession of Premises after the Expiration Date or earlier Lease termination.
18. **SIGNAGE.** Tenant may not install signs, lettering or advertising without Landlord's written consent and must comply with City of Birmingham regulations and Property standards.
19. **TRASH.** Tenant must use a compactor or covered dumpster for all trash. No outside storage shall be permitted. Tenant shall determine how and where to handle the trash.
20. **REENTRY.** Landlord may reenter the Premises to inspect, provide or install Property systems or services, alter or repair the Property. Tenant waives any claim for such reentry and Landlord shall reasonably minimize business interference to Tenant. Landlord will provide advance notice to Tenant via text or E-mail of any entry (except in case of emergency).
21. **DEFAULT.** If Tenant shall default in: a) the payment of Rent; b) the observance of any ordinance, law or regulation or any term, covenant or condition of this Lease or other agreement with Landlord and fail to remedy or commence to remedy (and diligently pursue completion) such default within twenty (20) days after notice; or c) subletting or assigning this Lease without consent; then, Landlord may give Tenant the statutorily required notice of Lease termination and Tenant shall remain liable for damages and Rent due hereunder. If Tenant defaults two (2) times in any six (6) month period, Landlord may terminate this Lease without giving Tenant an opportunity to cure such default. Landlord's failure to enforce any of its rights under this Lease shall not be construed as a limitation to subsequently enforce any of its rights. Upon any action taken by Tenant, its creditors or Guarantor under any bankruptcy or debtor relief act, Landlord may terminate this Lease or require Tenant to deposit six (6) months' Rent as additional Security Deposit.



31. **BROKER.** Kolar Commercial Group is acting as the Landlords agent and has no fiduciary duty to any other party. The leasing commission is the responsibility of the Landlord per the listing agreement and shall be paid by Landlord upon Lease execution. No representation or recommendation is made by Kolar Commercial Group as to the legal sufficiency, legal effect or tax consequences of this lease, or the transaction relating thereto; the condition of property, ADA compliance, Environmental condition, the parties shall rely solely upon the advice of their own legal counsel and have been advised to seek same. Tenant has not relied on any verbal promises or oral representations from Landlord or Broker. All representations from both the Landlord and Tenant are reduced to writing and are contained in this lease. All previous agreements and negotiations written or oral are incorporated and merged into this agreement. Both Landlord and Tenant agree to indemnify and hold Kolar Commercial Group harmless from any liability whatsoever regarding this lease including reasonable attorney's fees resulting from this lease or defense of claims regarding this lease.
32. **PARKING.** Parking is available on a first come first serve basis both in front of the store and on the side streets. This is a general retail use. Free parking for employees who are required to park on the side street Humphrey to leave close parking for customers. The parking area directly behind the building (West of the Alley) is exclusive to Tenants and their customer's use. The MDOT parking out front on Woodward is for customer parking. The south side of the building paved parking is for the shared (non-exclusive) use by 33744, 33766, and 33772 Woodward Tenant all of which are owned by Landlord.
33. **TRIAL.** Landlord and Tenant agree to waive trial by jury in any proceeding against the other and to try cases under the laws of the state where the Property is located.

35. **DEFINED TERMS AND MISCELLANEOUS.** The headings herein are for convenience and in no way describe the scope or intent of any Article. Any indemnification or naming of Landlord shall include its lenders, trustees, directors, beneficiaries, agents, members, successors, contractors, shareholders, affiliates, employees and ground owner. The terms person, Tenant, Landlord or any noun or pronoun used in place thereof, shall include the masculine or feminine, singular or plural, individuals, firms, and corporations according to the context thereof. Rentable Area of the Premises is deemed to be the square footage on the Reference Page. The Premises is not reserved nor is this Lease effective until fully executed by Landlord and Tenant and delivered to each party with consideration.

If any provision herein is judged unenforceable, all other provisions shall remain in full force and effect. Time is of the essence for this Lease. This Lease was freely negotiated between the parties and in any controversy there shall be no presumption or conclusion drawn by virtue of which party drafted any Lease section. Any option to extend the term or terminate this Lease or to expand or reduce the Premises is void (or may be voided by Landlord if already exercised) in the event the Lease is assigned, the Premises sublet or Tenant is in default. This Lease supersedes any previous understanding or agreement of the parties and may not be modified except in writing.

This lease is executed as of the day and date of the last signature below.

Landlord:

Joseph Management Company
a Michigan Limited Liability Company
1277 West Square Lake Rd.
Bloomfield Hills, MI 48302
Attn: Joseph Dedvukaj
nitaalex@aol.com
Copy: 1031davidkolar@comcast.net

Tenant:

Henry Electric LLC
a Michigan Limited Liability Company
33744 Woodward Ave.
Birmingham, MI 48009
Attn: Kevin Kuza
kevin@henryelectrics.com


Joseph Dedvukaj Member

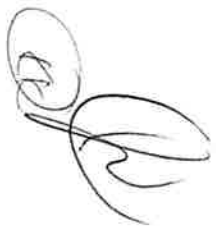
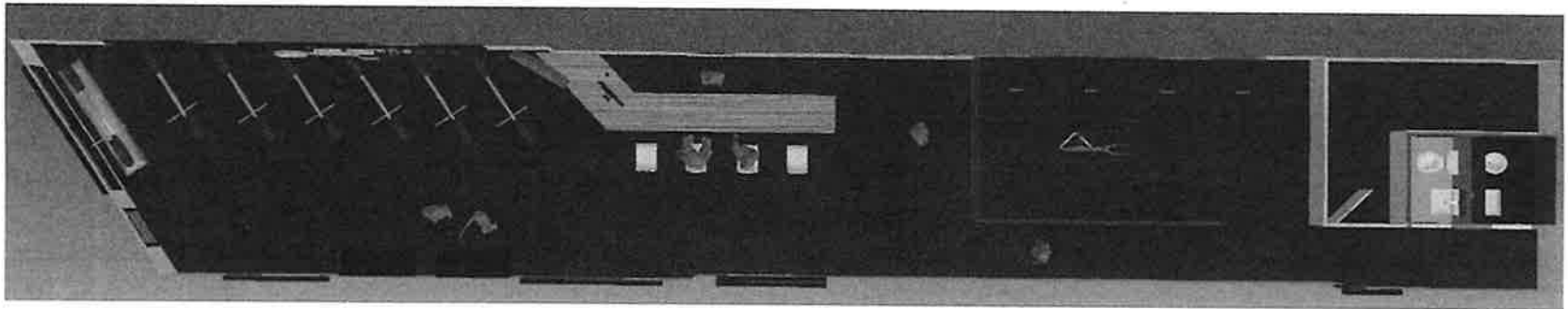
Date

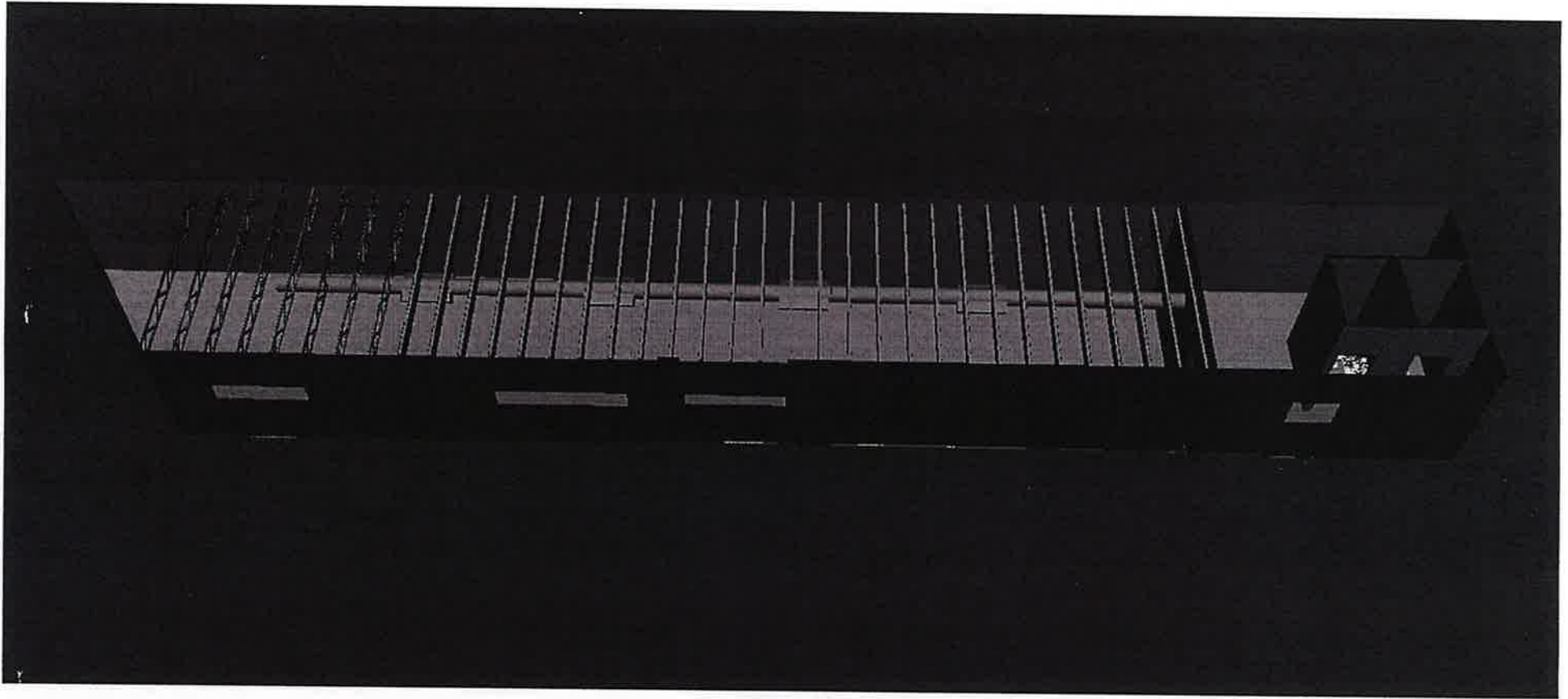

Kevin Kuza President

12/4/2020

Date

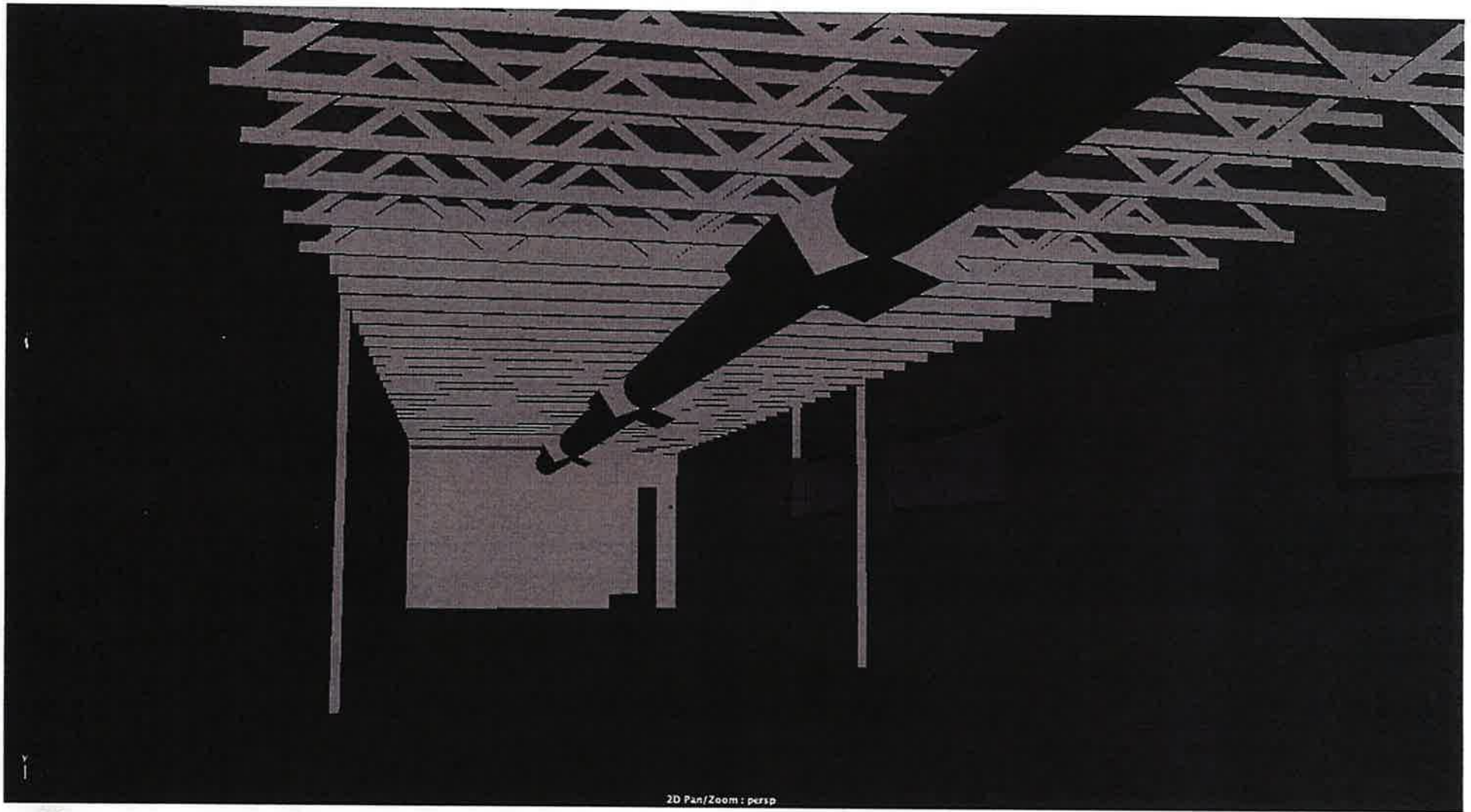
33744 Woodward Ave. Birmingham, MI 48009 Henry Electric Space Plan





HENRY ELECTRIC BIKE SHOWROOM

KE

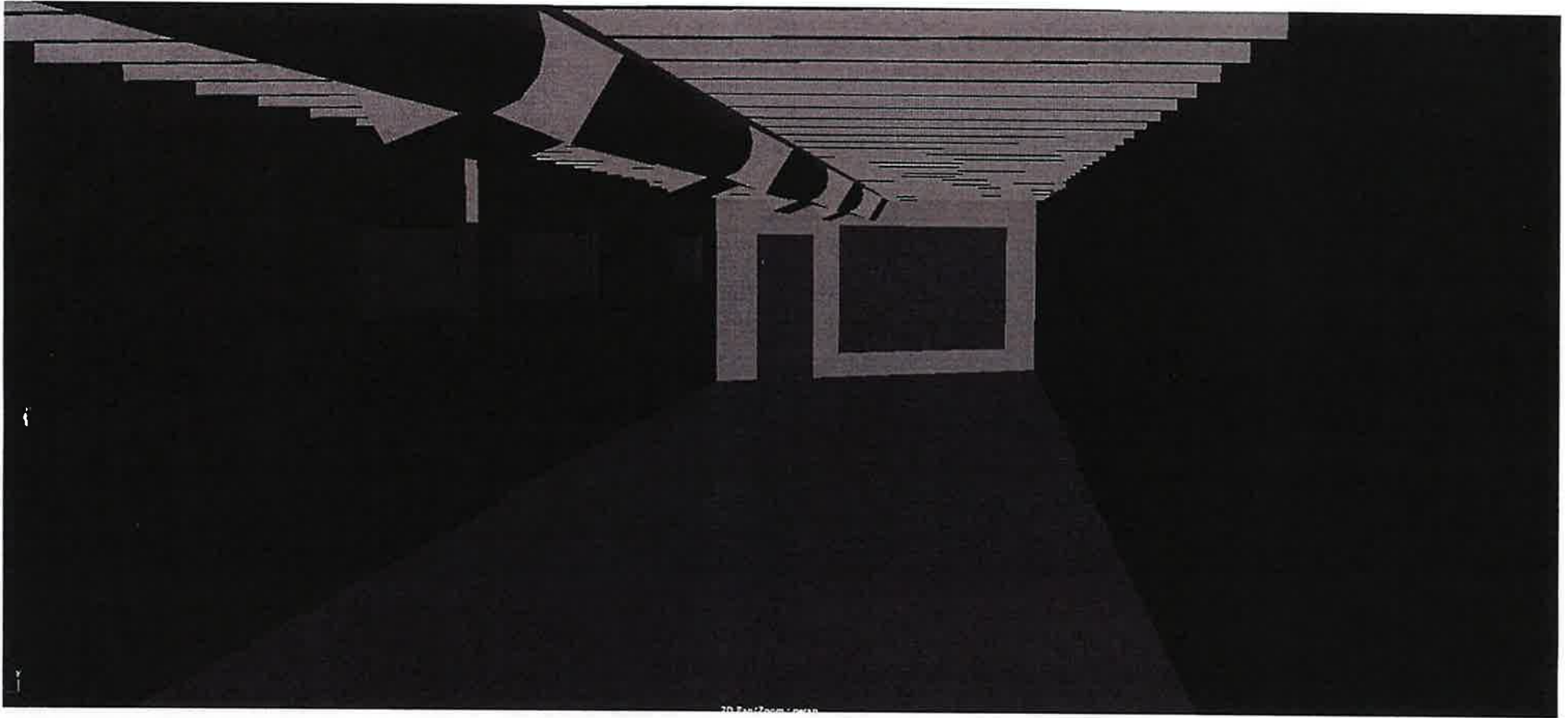


2D Pan/Zoom : persp



HENRY ELECTRIC BIKE SHOWROOM





HENRY ELECTRIC BIKE SHOWROOM



LIMITED PERSONAL GUARANTY OF LEASE

The undersigned, Kevin Kuza (hereinafter "Guarantor"), in consideration of the leasing of the Leased Premises located at 33744 Woodward Ave. Birmingham, MI 48009 and as further described in the Lease dated December 14, 2020 (the "Lease"), between Joseph Management Company a Michigan limited liability company (the "Landlord"), to Henry Electric LLC a Michigan limited liability company (the "Tenant"), does hereby personally guaranty ("Guaranty") (subject to the Limitations described below) to Landlord, Landlord's successors and assigns, the full performance and observance by Tenant of all the covenants, conditions, payments and agreements required by the Lease to be performed and observed by Tenant, as therein provided, without requiring any notice of non-payment, non-performance, or non-observance, or proof or notice or demand, whereby to charge the undersigned Guarantor therefore, all of which the undersigned Guarantor hereby expressly waives and expressly agrees that the validity of this Guaranty and the obligations of the Guarantor hereunder shall in no way be terminated, affected or impaired by reason of the assertion by Tenant against Landlord of any of the rights or remedies reserved to Tenant pursuant to the provisions of the Lease. The undersigned further covenants and agrees that this Guaranty is a primary obligation to Landlord and Landlord shall not be required to first proceed against or exhaust its remedies against the Tenant. This Guaranty is continuing in nature and shall remain and continue in full force and effect for the initial 5-year primary lease term. This limited guaranty does not apply to future options or lease extensions after the initial 5-year primary lease term. The Guarantor hereby waives notice of any and all such modifications of said Lease.

This Guaranty is limited as follows:

Limited Guaranty: Tenant shall have a personally guaranty (limited to 12 months of scheduled rent) for the 5-year primary lease term of this lease as follows:

1) If Tenant defaults, Tenant shall guaranty 12 Months of the scheduled rent at the time of default, **from the later of** (a) the date of Default and (b) the return of possession of the premises to the Landlord in broom clean condition.

(For example, if the Tenant is in default of its rent obligation for 3 months before delivering possession back the Landlord, in this example the personal guaranty would be 15 months of the rent as scheduled on the Reference Page as Landlord possession occurred later than the economic default). For this Limited Guaranty, Landlord shall not have to mitigate any portion of these limited damages.

2) If Tenant defaults in year 4 of the primary lease term the Personal guaranty is limited to the balance of the 5-year primary lease term remaining.

June 10th, 2020

Ms. Beth Mascari
The Emporium of Birmingham, Inc.
33744 Woodward Ave
Birmingham, MI 48009

Re: 33744 Woodward
Birmingham, MI 48009

Dear Betina:

This letter is to inform you that the above referenced building in which you are a tenant as of today's date has been sold. The new Owner is:

Joseph Management LLC
562 Barrington Park
Bloomfield Hills, MI 48304

In addition, all Landlord responsibilities under your Lease from today's date forward (including your security deposit) are the responsibility of Joseph Management LLC.

You have informed us that you are vacating the premises. Please do so by June 30th, 2020 or call me to reduce to writing other written arrangements.

For Landlord maintenance or service request please call 248-855-6614

Sincerely,

Joseph Dedvukaj

CC Tom Briggs



Nicholas Dupuis <ndupuis@bhamgov.org>

Henry Electrics - Signs Etc.

JOSEPH DEDVUKAJ <nitaalex@aol.com>

Fri, Mar 5, 2021 at 3:11 PM

To: Kevin Kuza <kevin@henryelectrics.com>

Cc: Nicholas Dupuis <ndupuis@bhamgov.org>, David Kolar <1031davidkolar@comcast.net>

Good afternoon Nicholas,

Joe here, the owner. Emporium did not move out until the first week in August 2020 because it used the security deposit to stay until then. I own all three retail spaces and all spaces haven been retail for over 60 years. Emporium was in this particular space for over 12 years. Emporium wanted to renew the lease in September 2020, but I declined the offer. Really would like to get Henry Electric in the space ASAP and I hope you can help us move this along.

Please let me know if there is anything I can do to help.

Sincerely,

Joseph Dedvukaj
Cell#248-885-6614

Sent from my iPhone

The Joseph Dedvukaj Firm, P.C.
Attorneys & Counselors At Law
1277 West Square Lake Road
Bloomfield Hills, Michigan 48302
Office#(248) 352-2110
Facsimile#(248) 352-0880
Email: jdlawfirm@aol.com
Website: www.1866HIREJOE.com



Confidentiality: This E-mail (including any and all attachments) is covered by the Electronic Communications Privacy Act, 18 U.S.C. §§ 2510-2521 et seq., and is confidential and legally privileged. If you are not the intended recipient, you are hereby notified that any retention, dissemination, distribution, conveying, or copying of this communication is strictly prohibited. Please reply to the sender that you have received the message in error, and then delete it. Neither the sender nor his or her employer makes any warranties as to the completeness or accuracy of any of the information contained herein or that this message or any of its attachments are free of viruses of any type/form.

On Mar 5, 2021, at 1:53 PM, Kevin Kuza <kevin@henryelectrics.com> wrote:

[Quoted text hidden]

<33744 Woodward Fully Xd Lease-Signed.pdf>

<33744 Letter to Emporium Tenant.pdf>

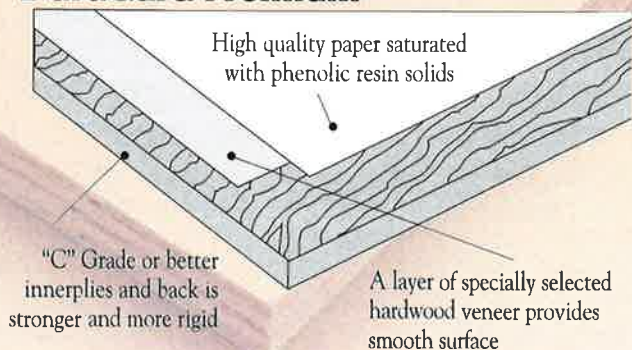
MEDIUM

Density
OVERLAY

Roseburg DuraGard Premium is a Medium Density Overlay (MDO) plywood that is produced with a **resin-impregnated fiber overlay** with just the right surface for rapid, even paint application. **Easy to finish** and maintain, DuraGard Premium plywood lends itself to all kinds of **residential and commercial** construction applications, both **interior and exterior**.

- Product Features
- Industrial Plywood Panel
- Resists exterior weathering
- Exceptional paintability & machinability
- Dimensionally stable
- NAUF (No added urea formaldehyde)
- Can be specified FSC certified
- Minimal visual core transfer when finished

DuraGard Premium



Overview

Roseburg's DuraGard Premium MDO plywood is the perfect, paint ready industrial plywood panel. Its very smooth paper overlay receives paint excellent with less drip and minimal if any grain transfer. The western softwood core is very stiff, strong and durable and will provide years of service if maintained properly. The smooth resin (water resistant phenolic) impregnated cellulose fiber overlay is available one 1 or 2 sides and DuraGard Premium can also be ordered factory primed on 1 side or 2 sides.

Grade

Roseburg's DuraGard is made with a high-quality paper saturated with phenolic resin solids and overlaid on our exterior-grade plywood panels. The "B" Plugged Fir veneer beneath the overlay provides a smooth surface ideal for painting. DuraGard is manufactured with waterproof resins that meet or exceed all veneer-grade, adhesion, and construction requirements of PS 1-09.

Construction

DuraGard Premium plywood is stronger, more rigid, and less subject to creep than composition products. The core innerplies and back are all "C" grade or better as outlined in PS 1. A layer of hardwood veneer completes the core construction and provides a smooth surface for bonding the phenolic) impregnated cellulose fiber overlay.

Finishing

DuraGard Premium should always be painted when exposed to weather or humid conditions. It is recommended that a primer coat produced by the same manufacturer as the finish coat is applied and follow the manufacturer's specific application recommendations. Panels must be dry when applying the finish.

Panels intended for exterior exposure should be edge sealed with two heavy coats of top-quality exterior paint formulated for wood. Edges are most easily sealed when panels are in a stack. Rose-burg offers factory priming on one side, two sides, and edge.

Machining & Installation

Roseburg's DuraGard Premium can be sawn, nailed, routed, shaped and drilled. Always use sharp, high-speed tools and take care to avoid marring the overlay surface.

DuraGard Premium should be securely fastened with 6d nails on 3/8" and 1/2" panels and with 8d nails on 5/8" and 3/4" panels. Space nails 6" o.c. around all panel edges and 12" o.c. at intermediate supports. Nails should penetrate at least 1 inch into the substrate material. Maximum support spacing is 24" o.c. Leave a 1/16" gap between panel edges. Spiral or ringshank nails offer the best holding power, but screws and bolts can also be used.

Storage

Because DuraGard Premium is usually finished, it is important to keep the product dry before use. Roseburg recommends storing DuraGard Premium in a warehouse or under roof. If stored outdoors, units should be covered loosely with a protective material.

Certifications

APA - Manufactured to meet or exceed APA — The Engineered Wood Association performance standards

PS 1 - Meets PS 1 standards for: Veneer grades, glue and bond durability, thickness requirements, testing procedures, finished plywood tolerances, identification and stamping guidelines.



ROS DURAGARD-PRM 121415

Specifications

Lengths: 8' & 10'

Widths: 4'

Thickness: 3/8", 1/2", 5/8", 3/4" & 1"

Face & Overlay: Layer of hardwood veneer covered with smooth resin (water resistant phenolic) impregnated cellulose fiber overlay.

Core: C-grade Western softwood veneer innerplies

Adhesive: NAUF exterior, fully water resistant phenolic glue

Applications

When used as siding DuraGard Premium is durable, attractive and easy to maintain, and it provides the excellent natural insulation properties of wood. It may also be pressure treated with preservative or fire-retardant chemicals when required.

Common Applications include:

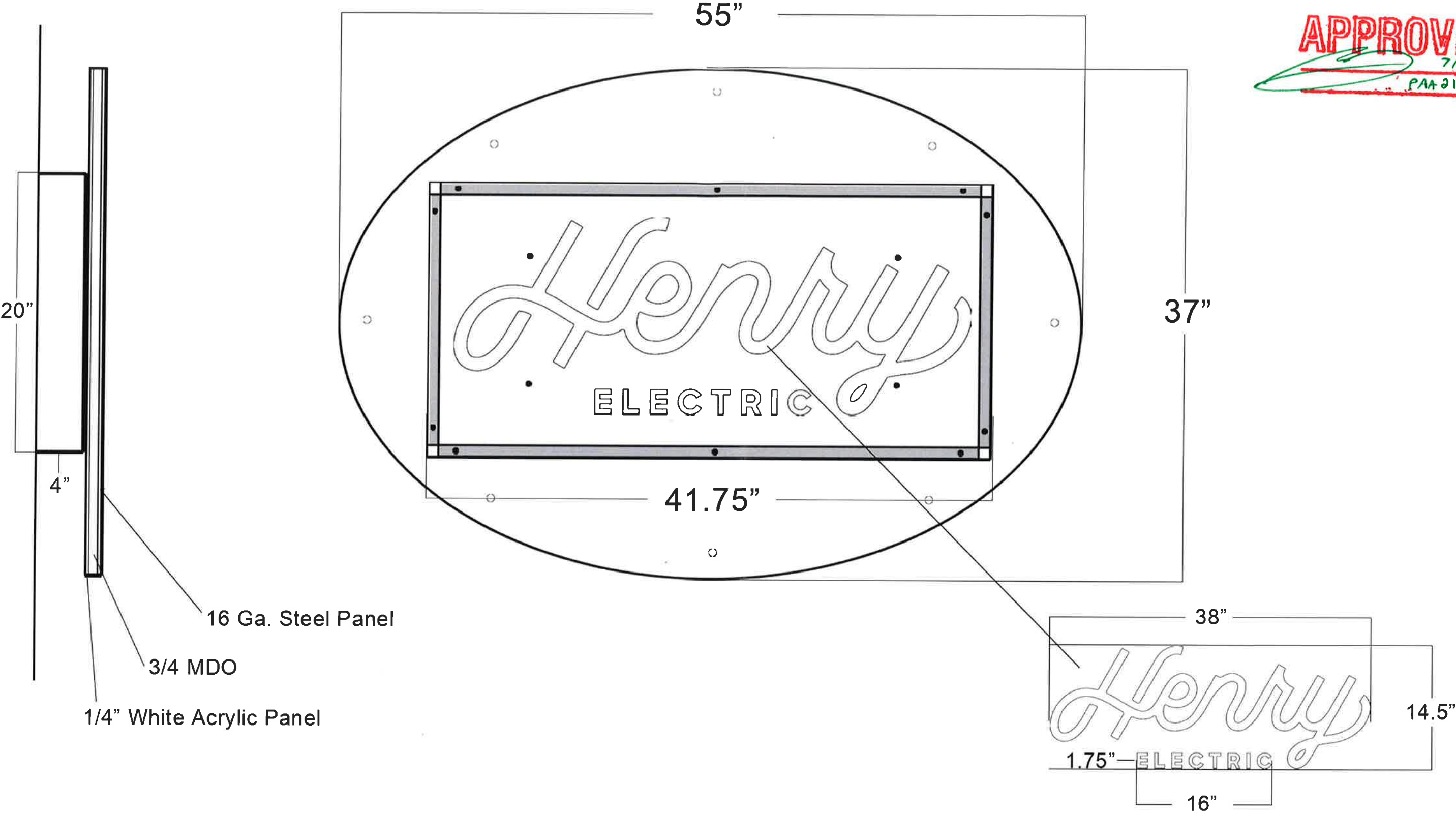
- Lining for trucks and trailers
- RV manufacturers
- **Commercial & highway signs**
- Soffits and fascias
- Smooth finished columns
- Industrial containers
- Boxes and crates
- Structural siding
- Display shelves, storage racks
- Gable ends
- Privacy fences
- Garage doors.
- Cabinets and built-ins



P.O. Box 1088, Roseburg, OR 97470
Tel. 800-245-1115
Fax (541) 679-2543
www.Roseburg.com

OUTSIDE SIGN PLAN

APPROVED
7/6/21
PA# 21-0020



BOX Design Inc.
21235 John R Rd.
Hazel Park, MI 48030
313.285.8437
boxfurniture@gmail.com

Project/Site:
33744 Woodward Ave,
Birmingham, MI 48009

Client:
Henry Electric

OUTSIDE SIGN PLAN



Phillips Rounded Head Screws for Sheet Metal
(18-8 Stainless Steel, Number 8 Size, 5/8" Long)



18-8 Stainless Steel Button Head Hex Drive Screw
3/8"-16 Thread Size, 2" Long



18-8 Stainless Steel Female-Threaded Anchor for Concrete
3/8"-16 Thread Size



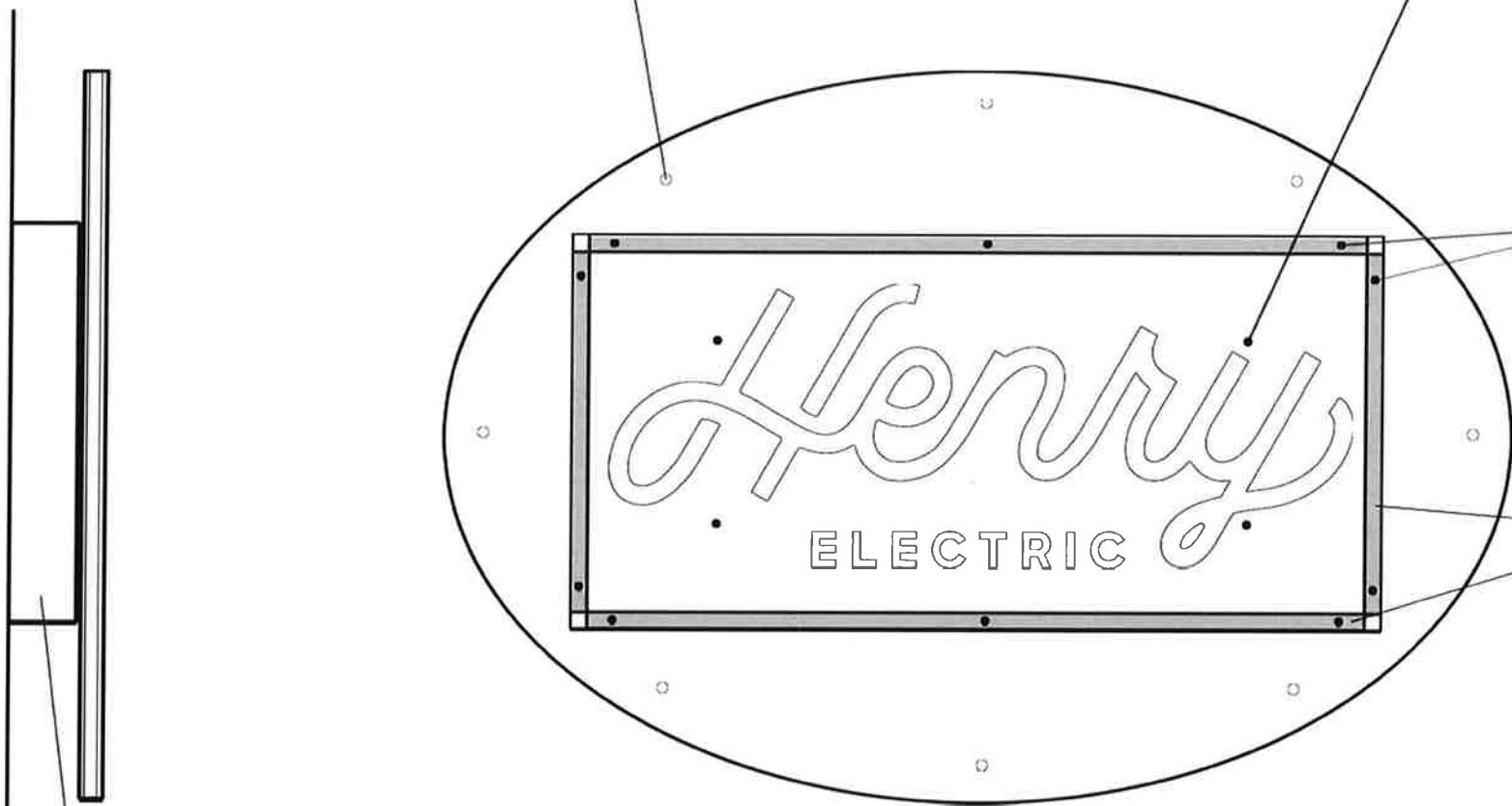
18-8 Stainless Steel Hex Drive Flat Head Screw
82 Degree Countersink Angle, 3/8"-16 Thread Size, 2" Long



18-8 Stainless Steel Press-Fit Nut for Sheet Metal
(3/8"-16 Thread Size, for 0.125" Minimum Panel Thickness)



wood screws to box 5/16" through holes every 10"
(1.5" off the ends)



LIGHTBOX W/LED SHEET LIGHT LOW-VOLT

LIGHTBOX TO BE CONSTRUCTED OF EXTERIOR GRADE MDO 3/4" EXTERIOR SIDES OF BOX
TO BE PAINTED WITH EXTERIOR BENJAMINE MOORE FLAT BLACK AND INSIDE WHITE MATTE



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Hazel Park, MI 48030
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boxfurniture@gmail.com

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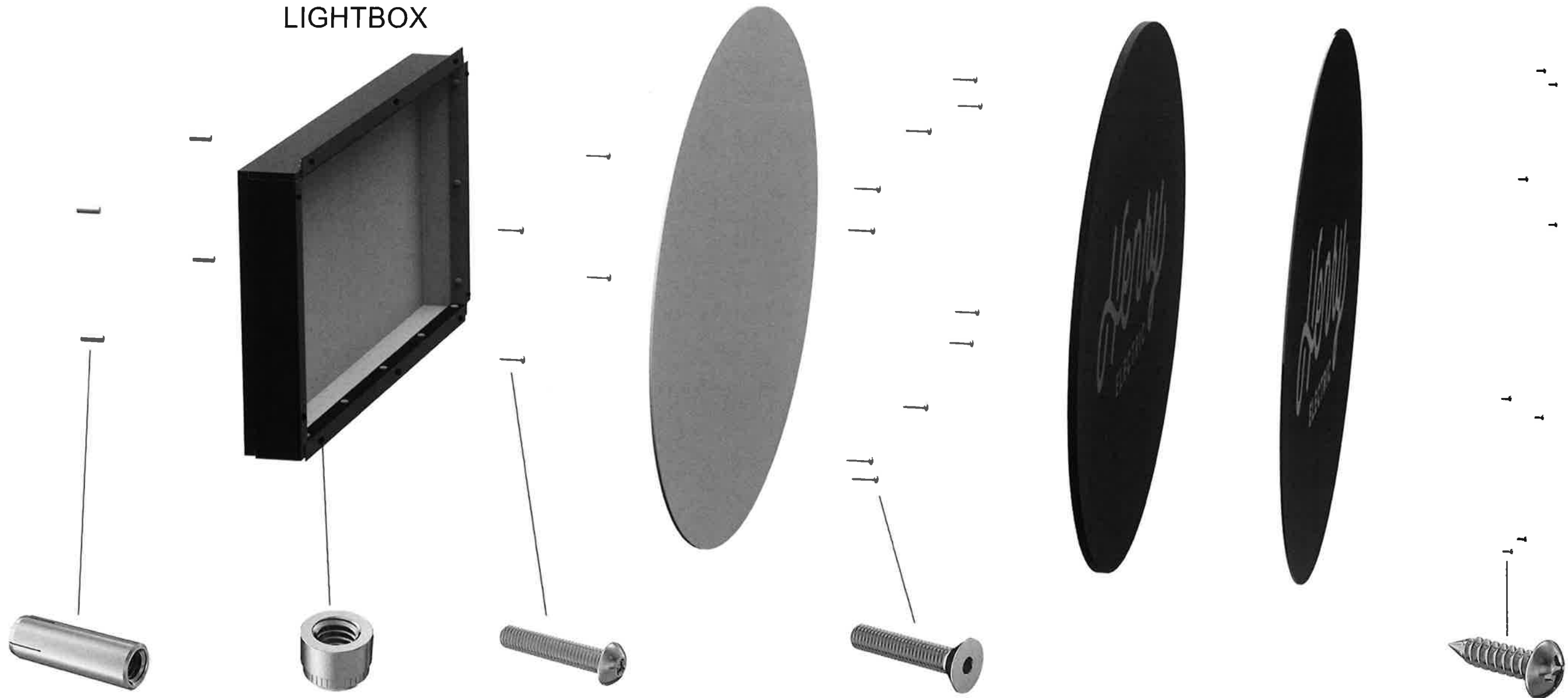
OUTSIDE SIGN PLAN

LIGHTBOX

WHITE ACRYLIC

3/4 MDO

16 Ga. STEEL

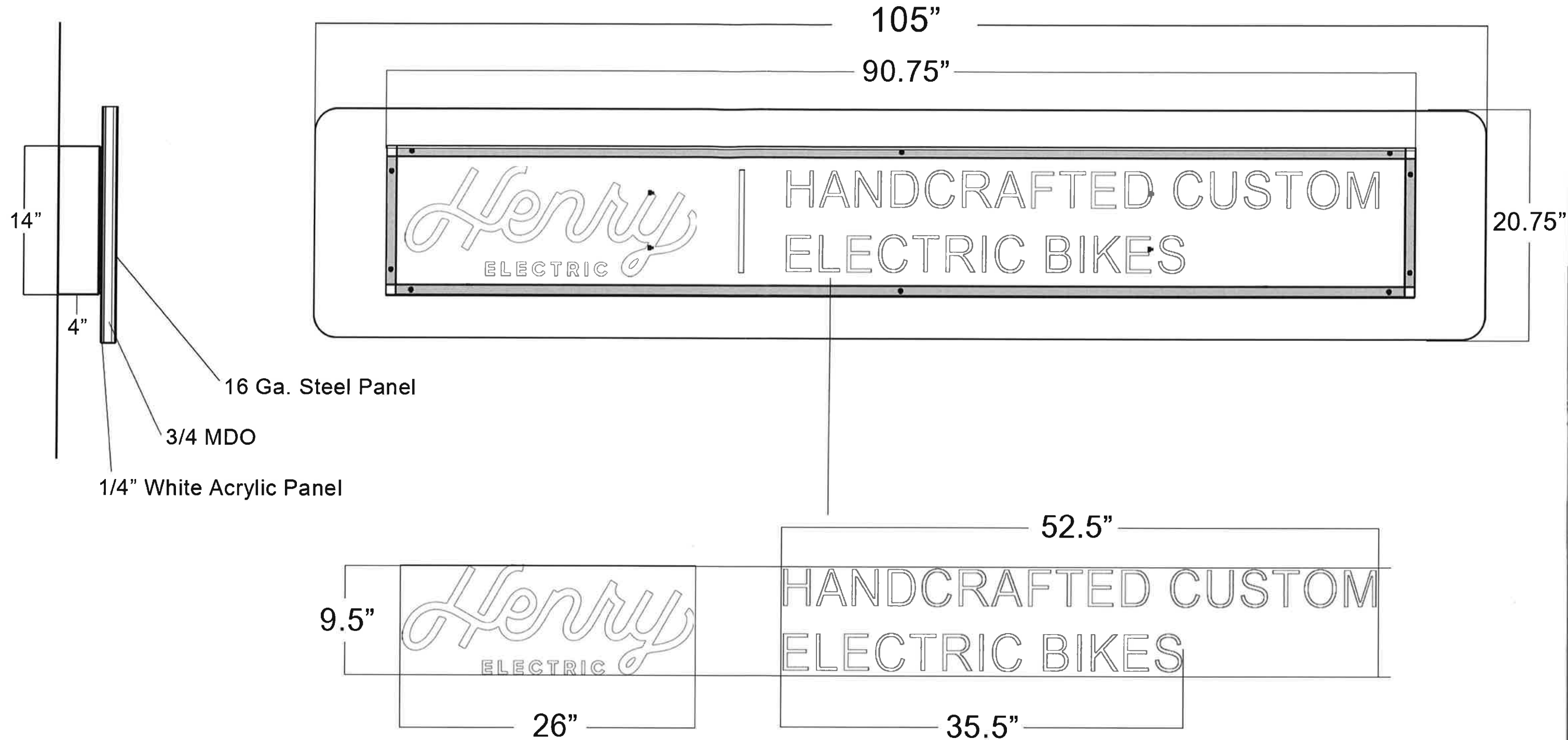


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18-8 Stainless Steel Button Head Hex Drive Screw
3/8"-16 Thread Size, 2" Long



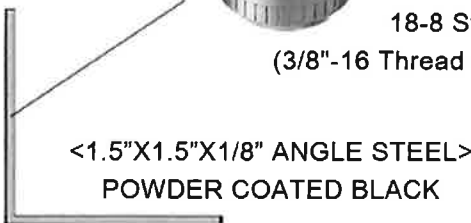
18-8 Stainless Steel Female-Threaded Anchor for Concrete
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18-8 Stainless Steel Press-Fit Nut for Sheet Metal
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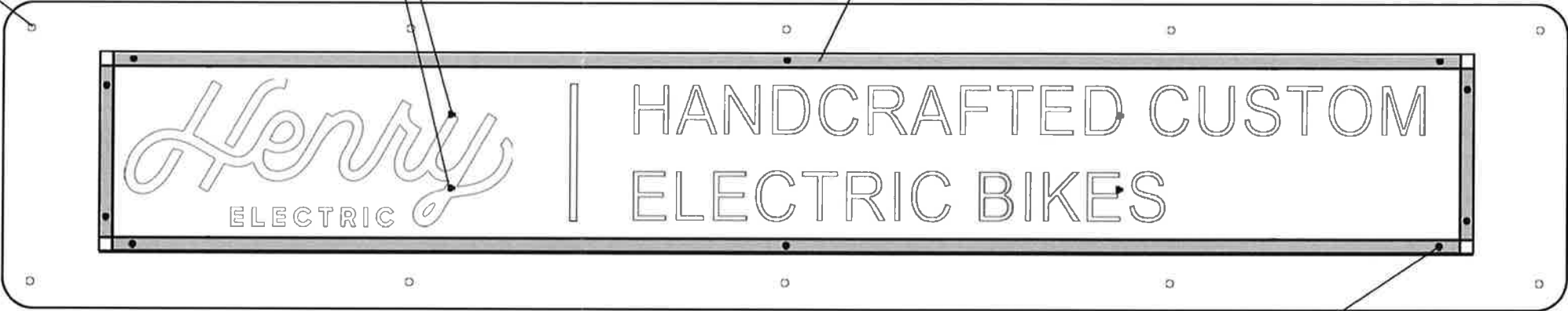


Phillips Rounded Head Screws for Sheet Metal
(18-8 Stainless Steel, Number 8 Size, 5/8" Long)



<1.5"X1.5"X1/8" ANGLE STEEL>
POWDER COATED BLACK

wood screws to box 5/16" through holes every 10"
(1.5" off the ends)



18-8 Stainless Steel Hex Drive Flat Head Screw
82 Degree Countersink Angle, 3/8"-16 Thread Size, 2" Long

LIGHTBOX W/LED SHEET LIGHT LOW-VOLT

LIGHTBOX TO BE CONSTRUCTED OF EXTERIOR GRADE MDO 3/4" EXTERIOR SIDES OF BOX
TO BE PAINTED WITH EXTERIOR BENJAMINE MOORE FLAT BLACK AND INSIDE WHITE MATTE



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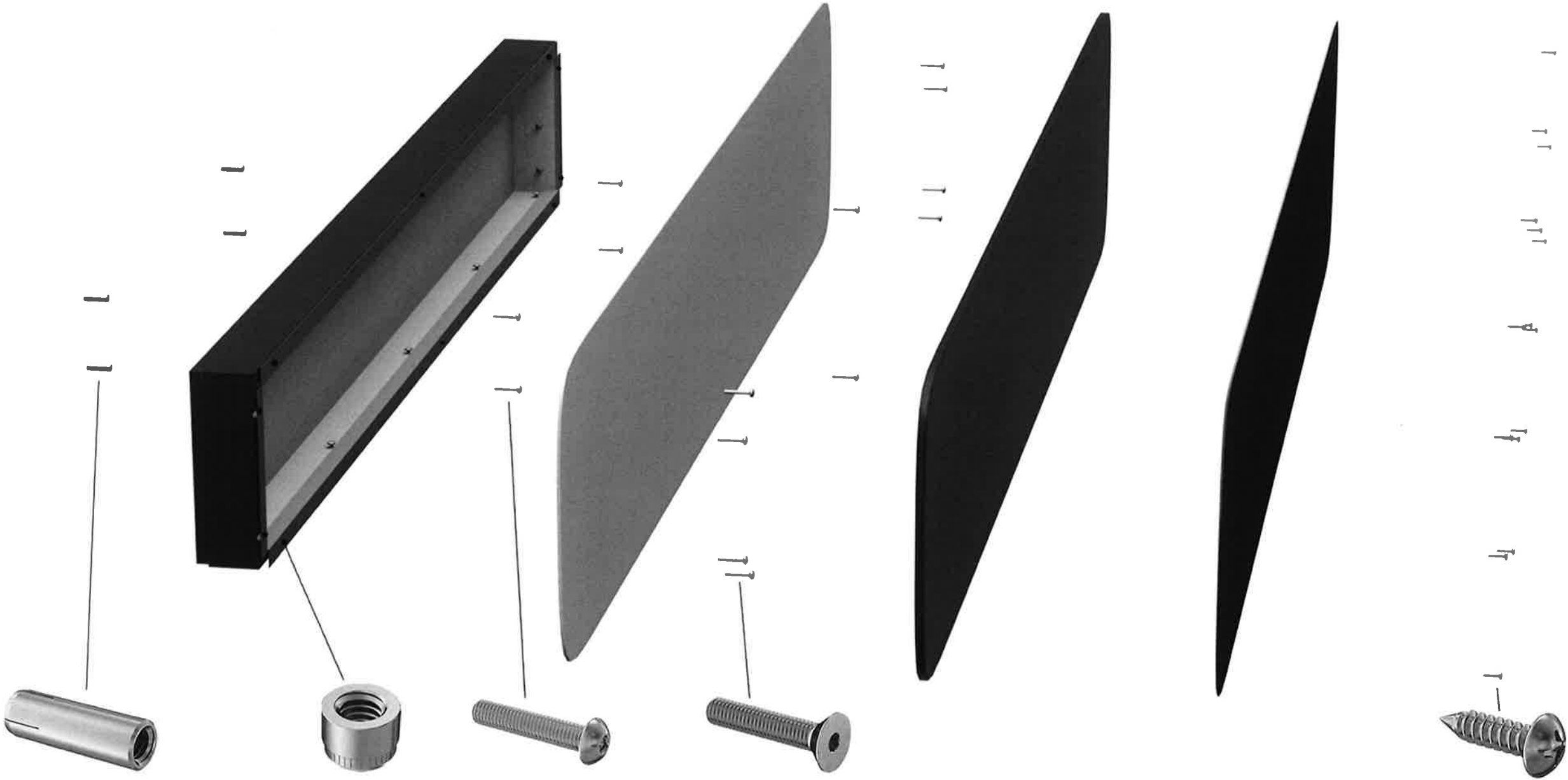
OUTSIDE SIGN PLAN

LIGHTBOX

WHITE ACRYLIC

3/4 MDO

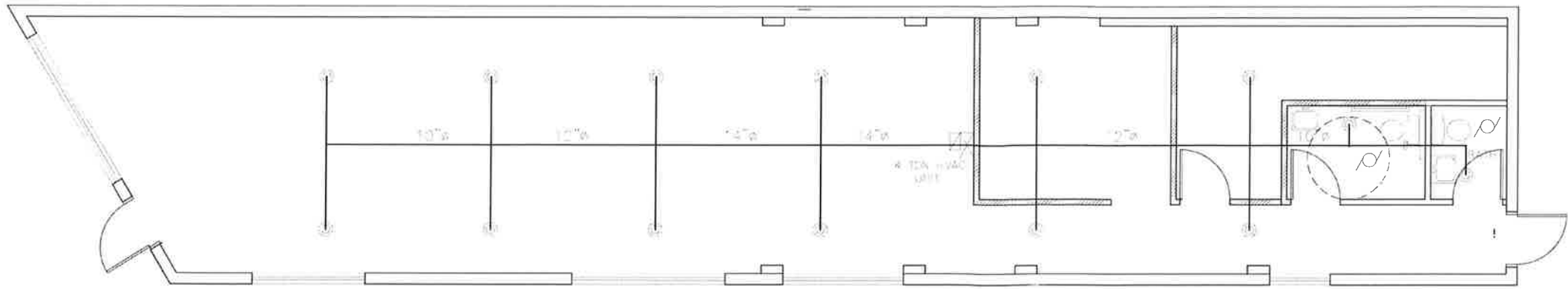
16 Ga. STEEL



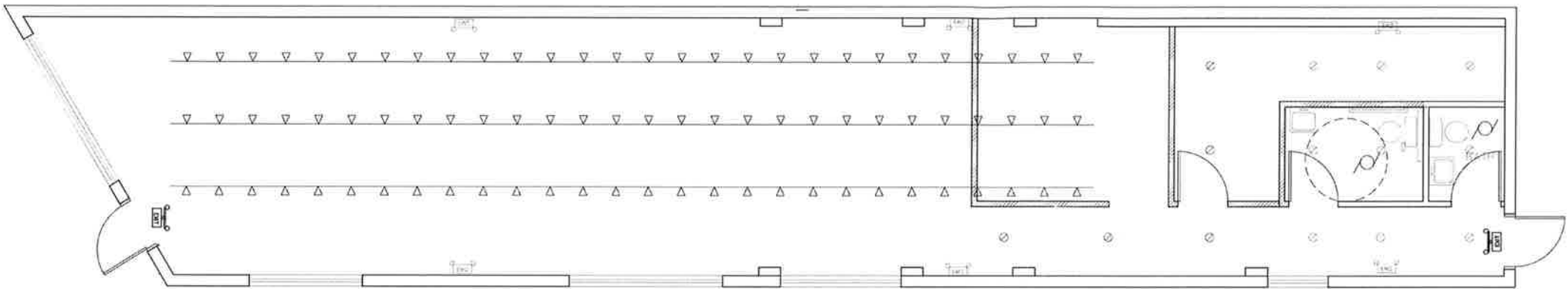
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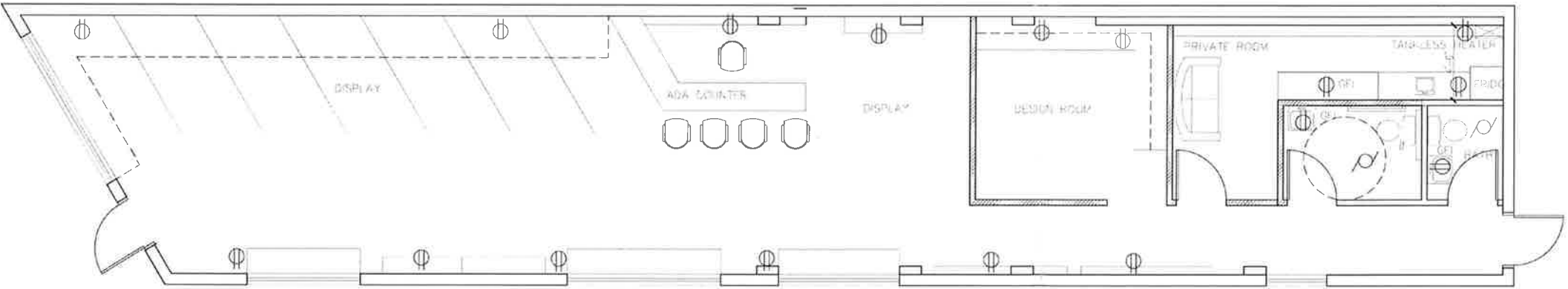
Client:
Henry Electric



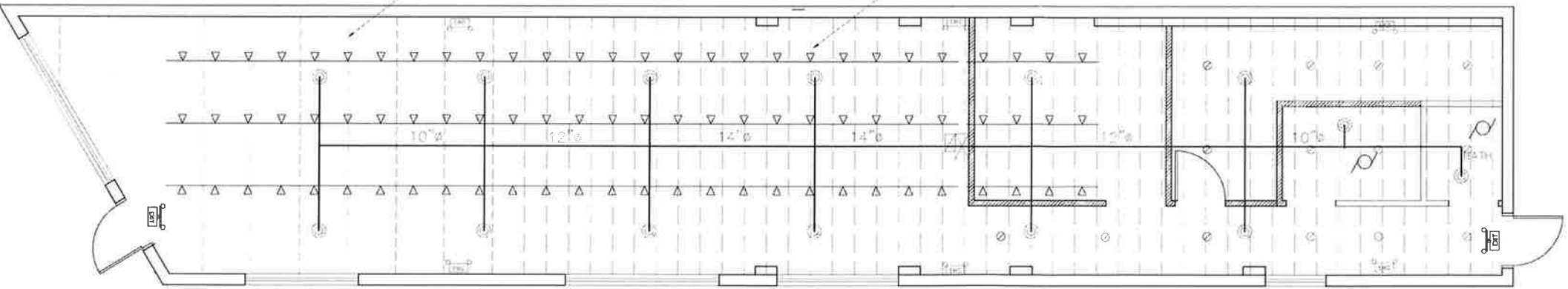
HVAC PLAN
SCALE: 1/4" = 1'



LIGHTING PLAN
SCALE: 1/4" = 1'



POWER PLAN
SCALE: 1/4" = 1'



REFLECTED CEILING PLAN
SCALE: 1/4" = 1'

SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	3 SETS OF TRACK LIGHT 56FT LENGTH WITH TRACK FIXTURES
	6" RECESSED CAN + LED TRIM
	STANDARD, WALL MOUNTED EXIT/EMERGENCY LIGHT FIXTURE W/ 90 MINUTES BACK-UP BATTERY
	STANDARD, WALL MOUNTED EMERGENCY LIGHT FIXTURE W/ 90 MINUTES BACK-UP BATTERY
	DUPLEX RECEPTACLE
	10" DIA S/AIR CEILING DIFFUSER
	EXHAUST FAN



CJP
ENGINEERING & DESIGN, LLC

28763 NORTHWESTERN HWY
SUITE 225
SOUTHFIELD, MI 48034
Office (248)747-4562
Fax (248)297-6121
Cell (248)376-5006
harishakim@yahoo.com

PROJECT:

ELECTRIC BIKE STORE

LOCATION:

33744 WOODWARD AVE
BIRMINGHAM, MI 48009

OWNER:

SUBMITAL:

DATE

01/22/2021

REVISIONS:

DESIGNED BY:

DRAWN BY:

APPROVED BY:

HARIS HAKIM, P.E.

SEAL

SHEET TITLE

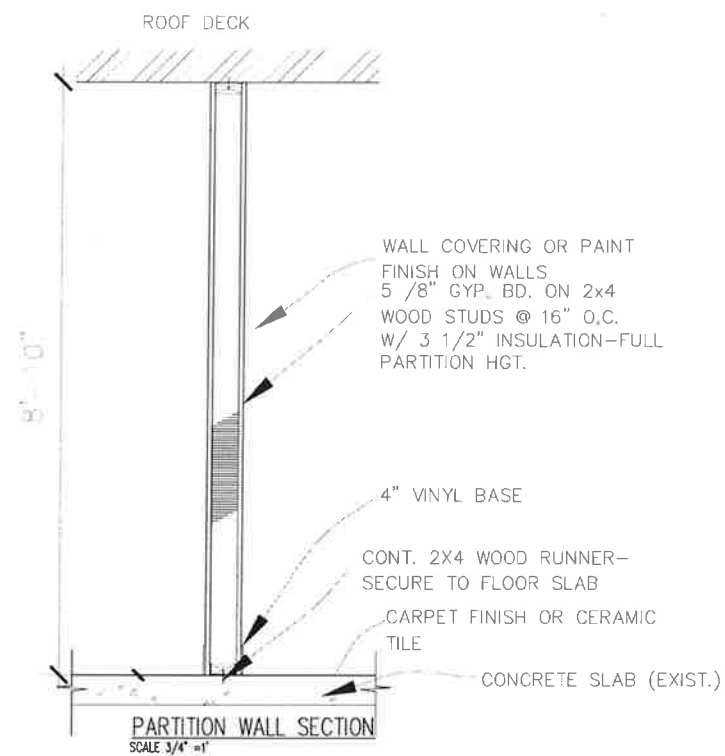
HVAC PLAN
LIGHTING PLAN
POWER PLAN

SCALE

NOTED

SHEET #

ME-1



WALL LEGEND

	EXISTING EXTERIOR MASONRY WALL
	ALUM. FRAME WITH GLASS ON 30" HIGH 2x4 WOOD STUDS @ 16" O.C. TYP. FULL HEIGHT UP ROOF DECK
	NEW PARTITION WALL 5/8" GYP. BD. EACH SIDE ON 2x4 WOOD STUDS @ 16" O.C. TYP. FULL HEIGHT UP ROOF DECK

ROOM FINISH SCHEDULE

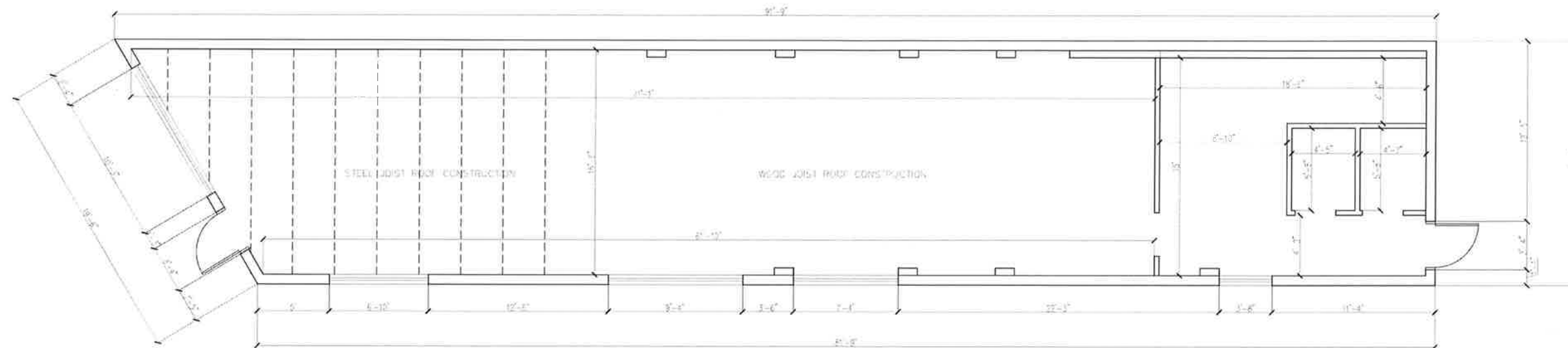
ROOM NAME	FLOOR	CEILING	WALLS
BATHROOMS	EX. CONC. FLOOR TO BE CLEANED & POLISHED	NOTE No.1	NOTE 2
PRIVATE ROOM	EX. CONC. FLOOR TO BE CLEANED & POLISHED	NOTE No.1	NOTE 2
DESIGN ROOM	EX. CONC. FLOOR TO BE CLEANED & POLISHED	NOTE No.1	NOTE 2
DISPLAY AREA	EX. CONC. FLOOR TO BE CLEANED & POLISHED	NOTE No.1	NOTE 2

ROOM FINISH NOTES:

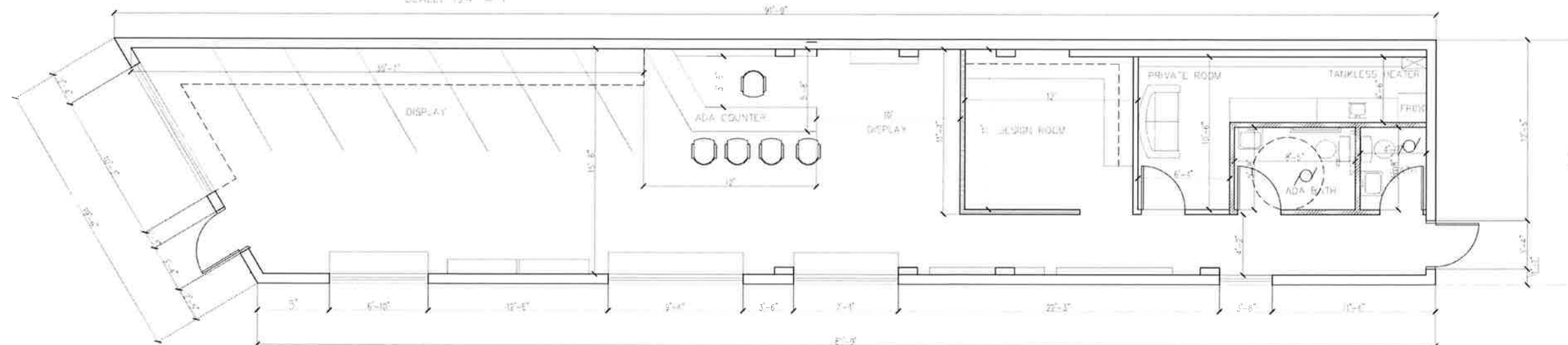
1. STEEL & WOOD JOIST TO BE PAINTED
2. GYPSUM BOARD (PAINTED)

BUILDING DATA

BUILDING CODE	MICHIGAN BUILDING CODE 2015
USE GROUP	B (BUSINESS)-ELECTRIC BIKE STORE
CONSTRUCTION TYPE	5 B
GROSS AREA	SQUARE FOOTAGE: 1460 SF
OCCUPANCY LOAD	OCCUPANCY 1460 /100=14.6=15
EGRESS REQUIRED	EGRESS WIDTH PER OCUPANT SERVED: 0.2 IN. PER OCCUPANT EGRESS REQUIRED: 0.2X 15= 3.0 IN.
EGRESS PROVIDED	MEANS OF EGRESS: (2): 2-36" DOOR
SPRINKLER SYSTEM	NO



EXISTING FLOOR PLAN
SCALE: 1/4" = 1'



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'



CJP
ENGINEERING & DESIGN, LLC

28763 NORTHWESTERN HWY
SUITE 225
SOUTHFIELD, MI 48034
Office (248)747-4562
Fax (248)297-6121
Cell (248)376-5006
harishakim@yahoo.com

PROJECT:

ELECTRIC BIKE STORE

LOCATION:

33744 WOODWARD AVE
BIRMINGHAM, MI 48009

OWNER:

SUBMITAL:

DATE

01/22/2021

REVISIONS:

DESIGNED BY:

DRAWN BY:

APPROVED BY:

HARIS HAKIM, P.E.

SEAL

SHEET TITLE

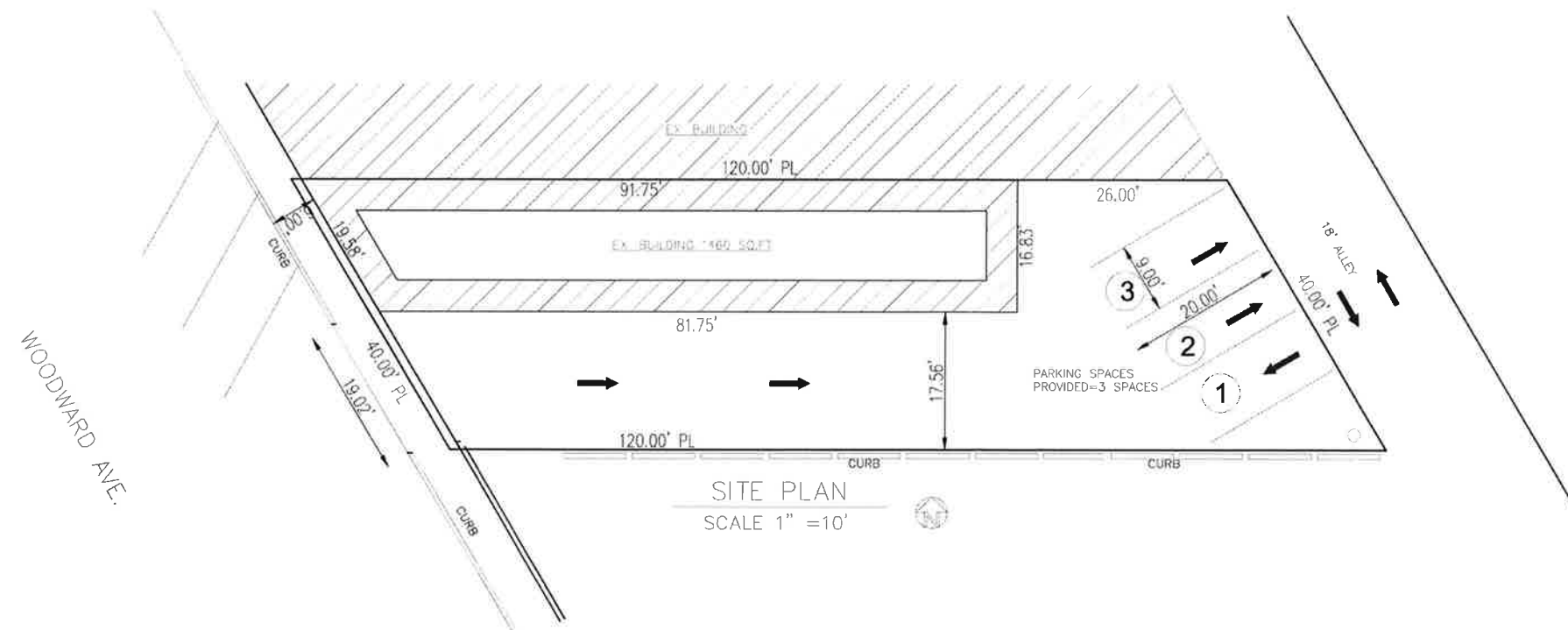
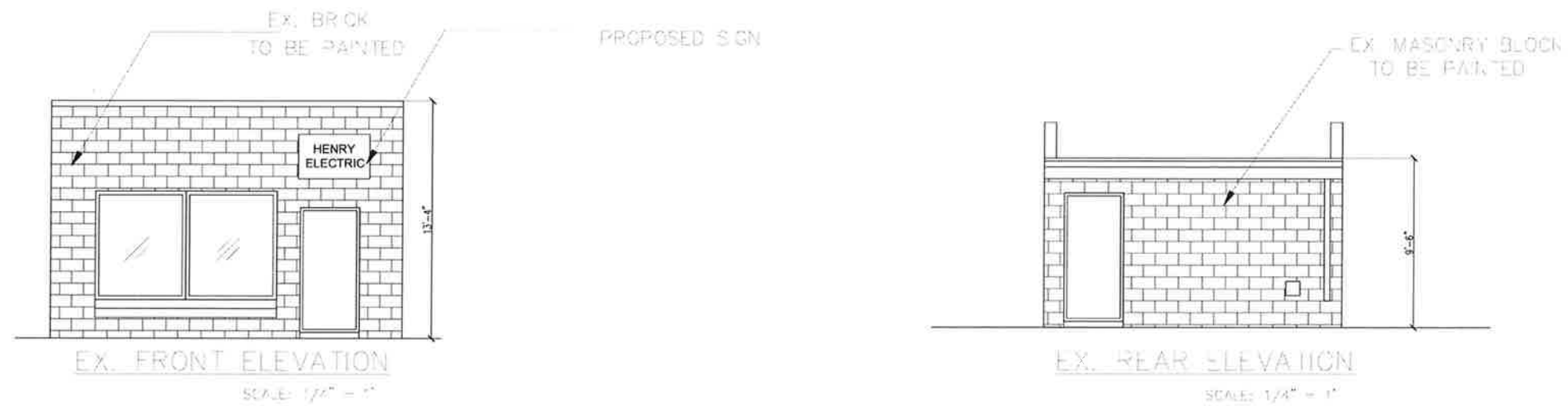
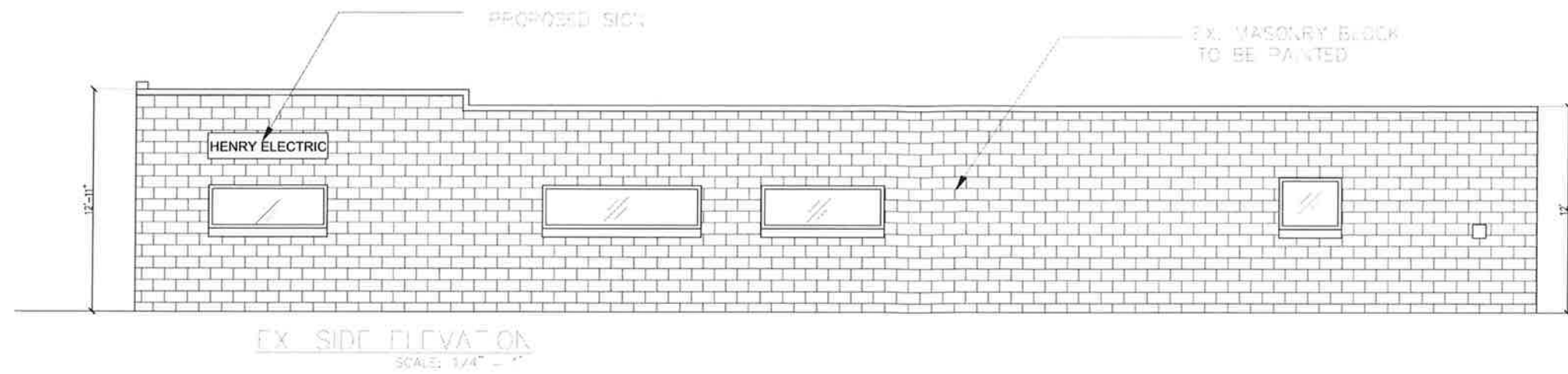
FLOOR PLANS

SCALE

NOTED

SHEET #

A-1



CJP
ENGINEERING & DESIGN, LLC
28763 NORTHWESTERN HWY
SUITE 225
SOUTHFIELD, MI 48034
Office (248)747-4562
Fax (248)297-6121
Cell (248)376-5006
harishakim@yahoo.com

PROJECT:
ELECTRIC BIKE STORE

LOCATION:
33744 WOODWARD AVE
BIRMINGHAM, MI 48009

OWNER:

SUBMITAL:

DATE
01/22/2021

REVISIONS:

DESIGNED BY:

DRAWN BY:

APPROVED BY:
HARIS HAKIM, P.E.

SEAL

SHEET TITLE
ELEVATIONS

SCALE
NOTED

SHEET #
A-2

OUTSIDE SIGN PLAN

Henry Electric Proposed Sign

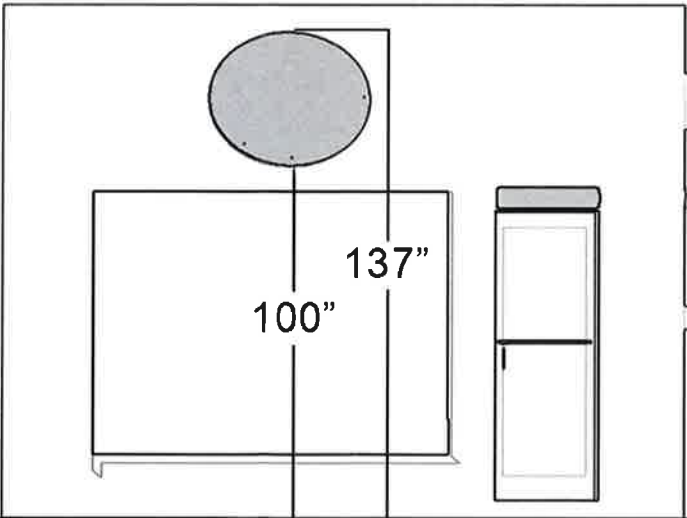


EXTERIOR- BENJAMINE MOORE MATT BLACK PAINT

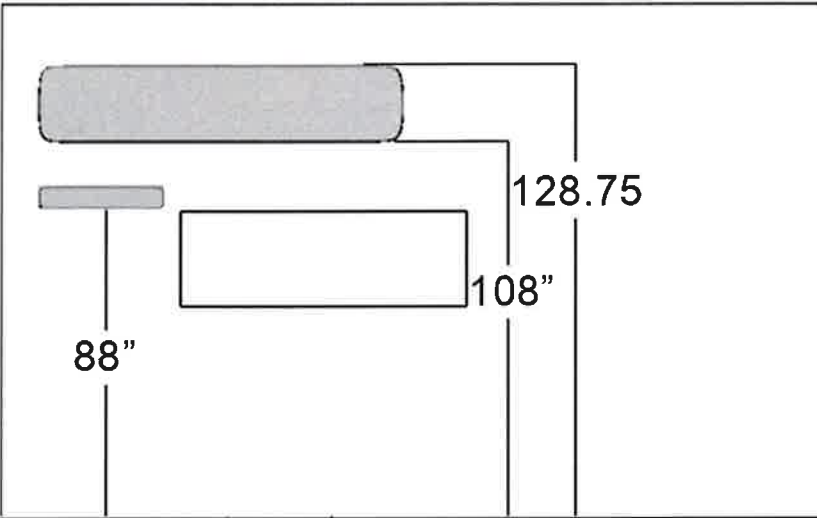


16Ga. STEEL ADDRESS CUTOUT
PAINTED GLOSS WHITE
MOUNTED USING STAND OFF
H6" X L40"

FRONT



SIDE



OUTSIDE SIGN PLAN



Previous Building



Administrative Sign Approval Application Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: Kevin Lawrence - K&A Signs
Address: 28702 Adler Dr
Warren, MI 48088
Phone Number: 248-585-6880
Fax Number:
Email Address: renee@michigansignshops.com

2. Property Owner

Name: Kevin Denha
Address: 700 N. Old Woodward #300
Birmingham, MI 48009
Phone Number: 248-806-1515
Fax Number:
Email Address:

3. Applicant's Attorney/Contact Person

Name:
Address:
Phone Number:
Fax Number:
Email Address:

4. Project Designer/Developer

Name:
Address:
Phone Number:
Fax Number:
Email Address:

5. Project Information

Address/Location of Property: 34164 Woodward Ave
Name of Development: Sun Medical
Parcel ID#:
Current Use:
Area in Acres:
Current Zoning:

Name of Historic District if any:
Date of HDC Approval, if any:
Date of Application for Preliminary Site Plan:
Date of Preliminary Site Plan Approval:
Date of Application for Final Site Plan:
Date of Final Site Plan Approval:
Date of Revised Final Site Plan Approval:

6. Required Attachments

- Two (2) folded paper copies of plans including details of the following:
 - Dimensions of proposed sign(s)
 - Dimensions of building frontage
 - Illumination
 - Height from grade

- Location of proposed sign(s)
- Colors and materials
- Authorization from Property Owner(s) (if applicant is not the owner)
- Material Samples
- Digital Copy of Plans

7. Details of the Request for Administrative Approval

Illuminated Wall Sign

8. Location of Proposed Sign(s)

Above Entrance

9. Type of Proposed Sign(s)

Wall: (1) wall sign
Ground:
Name Letter: Sun Medical
Canopy:

Projecting (Post-Mounted):
Projecting (Wall-Mounted):
Building Identification:
Other:



10. Size of Proposed Sign

Width: 334.5"
Depth: _____
Height of Lettering: 26"

Overall Height: 26"
Extension from Wall: _____
Total Square Feet: 61

11. Existing Signs Currently on Property

Number: None
Square Feet per Sign: _____

Sign Type(s): _____
Total Square Feet: _____

12. Materials/Style of Proposed Sign(s)

Metal: Metal Letters
Plastic: Plastic Faces
Wood: _____
Glass: _____

Other: _____
Color #1: _____
Color #2: _____
Additional Colors: _____

13. Content of Proposed Sign(s)

Sun Medical Supplies

14. Proposed Sign Lighting

Type of Lighting: LED
Size of Fixtures (LxWxH): _____
Maximum Wattage per Fixture: _____
Proposed Wattage per Fixture: _____

Location: _____
Number of Lights Proposed: _____
Height from Grade: _____
Lighting Style: _____

15. Landscaping (Ground Signs Only)

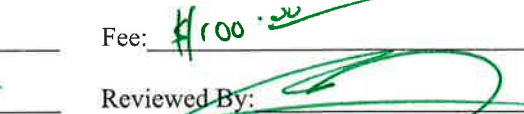
Location of Landscape Areas: _____

Proposed Landscape Material: _____

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: Kevin R. Lawrence Date: 7/26/21

Office Use Only

Application # PAA21-0072 Date Received: 7/29/21 Fee: \$100.00
Date of Approval: 8/18/21 Date of Denial: N/A Reviewed By: 



PROPERTY OWNER AUTHORIZATION FOR SIGN PERMIT APPLICATIONS

I, Kevin Deha of Wood Web Properties LLC, property owner or agent of property
located at:

34164 Woodward Ave
Birmingham, MI 48009

Do hereby give permission to:

Signarama
1017 Naughton Dr
Troy, MI 48083

Or its agent to secure a permit and install signs at the above location.

Property Owner Wood Web Properties LLC (please type or print)

Signature of owner or agent [Signature] Date 7-26-2021

Owner address 700 N. Old Woodward Ave. Ste 300
Birmingham, MI 48009

Telephone 248-868-1515

Final Sign + Size SUBJECT TO
City approval. (ICP)

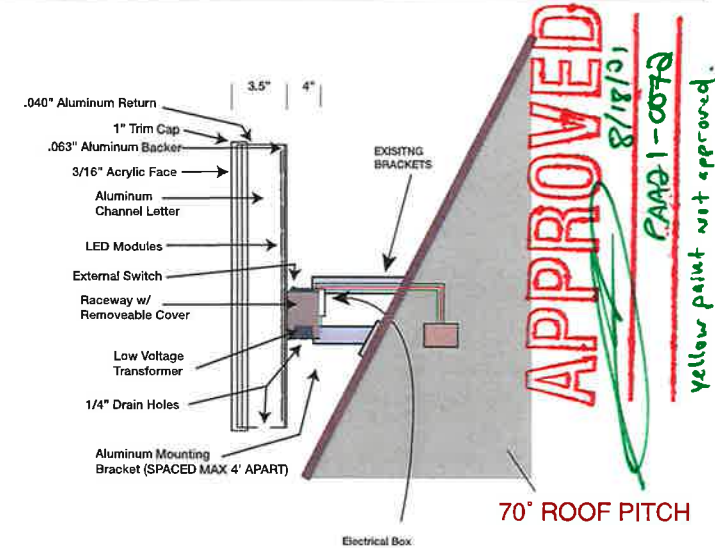
SUN MEDICAL EQUIPMENT

INSTALL: 34164 Woodward Ave., Birmingham, MI 48009 S-32872

Troy / Metro Detroit
Signarama
The way to grow your business.

248-585-6880 | michigansignshops.com | 1017 Naughton Dr. Troy, MI 48083

NO EXISTING SIGN ON SITE -
EXISTING BRACKETS SHOWN ON FOLLOWING PAGE >>



RW1	7.5"(h) x 4.5"(d) X 134"(w)	RW1	7.5"(h) x 4.5"(d) X 190"(w)
RW1 COLOR: Yellow - TBD			
RW2 COLOR: White - TBD			

334.5"

26"

SUN MEDICAL SUPPLIES

PLEASE NOTE: SIGNARAMA RECOMMENDS HAVING SUN PAINTED ON BUILDING AFTER SIGN IS INSTALLED
RACEWAY PAINT MAY REQUIRE TOUCH UP (BY CUSTOMER)

61 SF

AN ARTIST REPRESENTATION - Image is for illustration purposes only. Objects in reality may be larger or smaller than depicted.

DETAIL

- 3.5" Deep Internally Illuminated Front-Lit Channel Letters
- Raceway Mounted to Angle Roof using Existing Brackets
- Aluminum Returns / Backers, Color: Black
- 3/16" White Acrylic Sign Face with Day/Night Perforated Vinyl
- 1" Trimcap, Color: Black

SALES: Renee W | renee@michigansignshops.com

DRAWING: Reid J. / Marissa C.

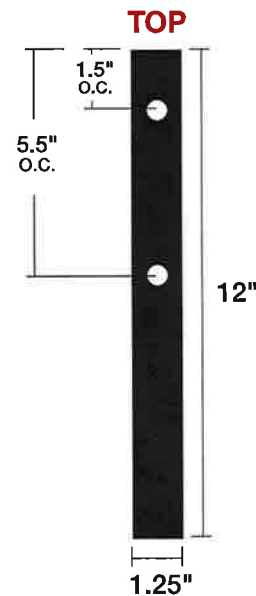
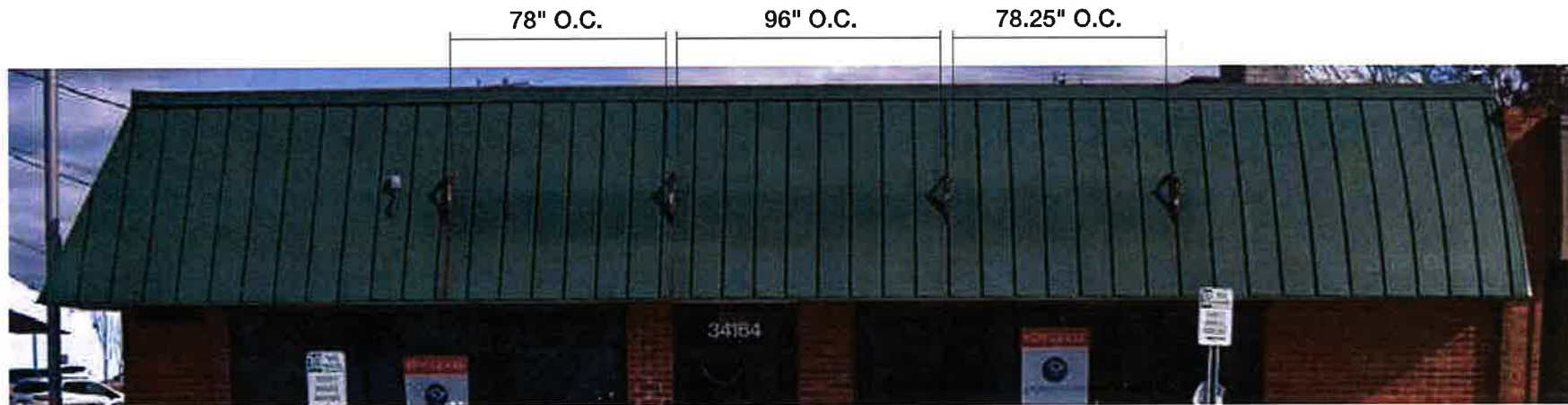
CREATED: 07/21/2021 REVISED:

SUN MEDICAL EQUIPMENT

INSTALL: 34164 Woodward Ave., Birmingham, MI 48009 S-32872

Troy / Metro Detroit
Signarama
The way to grow your business.

248-585-6880 | michigansignshops.com | 1017 Naughton Dr. Troy, MI 48063



EXISTING BRACKET DETAILS

SALES: Renee W | renee@michigansignshops.com

DRAWING: Reid J. / Marissa C.

CREATED: 07/21/2021

REVISED:

Administrative Approval Application Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: Usztan LLC
Address: 261 Collier Road
Auburn Hills, MI 48326
Phone Number: 248-332-7448 x4
Fax Number: 248-332-7452
Email Address: accounting@usztan.com

2. Property Owner

Name: Linda Orlans
Address: 280 Harmon Unit 300
Birmingham, MI 48009
Phone Number: 248-332-7448 x4
Fax Number: _____
Email Address: accounting@usztan.com

3. Applicant's Attorney/Contact Person

Name: _____
Address: _____

Phone Number: _____
Fax Number: _____
Email Address: _____

4. Project Designer/Developer

Name: Severat - Nathan Crane/CJ Longe AIA Architecture (248) 258-6940
Address: Stephen Knollenberg/Designer (248) 203-1082

Phone Number: _____
Fax Number: _____
Email Address: _____

5. Project Information

Address/Location of Property: _____
280 Harmon Unit 300
Name of Development: Dakota
Parcel ID#: 08-19-25-327-078
Current Use: Unoccupied residential
Area in Acres: _____
Current Zoning: commercial

Name of Historic District if any: _____
Date of HDC Approval, if any: _____
Date of Application for Preliminary Site Plan: _____
Date of Preliminary Site Plan Approval: _____
Date of Application for Final Site Plan: _____
Date of Final Site Plan Approval: _____
Date of Revised Final Site Plan Approval: _____

6. Required Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment

- One (1) digital copy of plans
- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations
- Photographs of existing conditions on the site where changes are proposed

7. Details of the Request for Administrative Approval

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan.

Signature of Applicant: Boris Usztan Date: 5/19/21

Office Use Only

Application #: PAA21-0048
Date of Approval: 5/28/21

Date Received: 5/19/21
Date of Denial: N/A

Fee: \$100.00
Reviewed By: [Signature]



CONSENT OF PROPERTY OWNER

I, Linda Orlans, OF THE STATE OF Michigan AND
(Name of Property Owner)
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 280 Harmon Unit 300;
(Address of Affected Property)
2. That I have read and examined the Application for Administrative Approval made to the City of
Birmingham by: Usztan LLC;
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of
Birmingham.

Name of Owner (Printed): Linda Orlans

Signature of Owner:  Date: 5/19/21

A | B | C | D | E | F | G | H

6

5

4

SOUTH ELEVATION
3/16"=1'-0"

0' 1' 2' 4' 6'

3

2

1

NORTH ELEVATION
3/16"=1'-0"

0' 1' 2' 4' 6'

A | B | C | D | E | F | G | H

KEYNOTE LEGEND

- 1 PLATE HEIGHT OF SHED ROOF AT KITCHEN TO BE RAISED
- 2 NEW RIDGE SKYLIGHT BY OTHERS
- 3 EXISTING RIDGE LINE AND HEIGHT TO REMAIN
- 4 NEW GABLE DORMER TO MATCH EXISTING
- 5 NEW WINDOW/DOOR UNITS



CHRISTOPHER J LONGE AIA
ARCHITECTURE
INTERIORS
124 Peabody Street
Birmingham, Michigan 48009
T: 248.258.6940
F: 248.258.5568

Project
ORLANS
280 HARMON, #300
BIRMINGHAM, MICHIGAN 48009

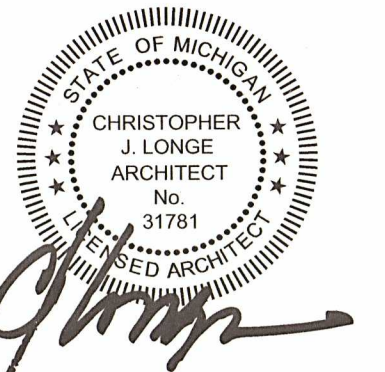
CONDO REMODEL

preliminary bids / permits construction

Drawing Issue Log

Mark	Date	Issued For
	10/08/2020	DEMOLITION PERMIT
	11/11/2020	CONSTRUCTION PERMIT
1	05/04/2021	BULLETIN #1

Seal



Christopher J. Longe A.I.A. Architect No. 31781
DRAWN BY: N. CRANE
CHECKED BY: C. LONGE

Sheet Title



**ELEVATIONS
ADMINISTRATIVE APPROVAL**

Sheet

A-201A

Project No. 2007
DESIGN COPY WRITTEN 2020 BY
CHRISTOPHER J. LONGE A.I.A. ARCHITECTURE LLC



- 1 PLATE HEIGHT OF SHED ROOF AT KITCHEN TO BE RAISED
- 2 NEW RIDGE SKYLIGHT BY OTHERS
- 3 EXISTING RIDGE LINE AND HEIGHT TO REMAIN
- 4 NEW GABLE DORMER TO MATCH EXISTING
- 5 NEW WINDOW/DOOR UNITS

```
preliminary      bids / permits    construction
```

[illegible]

Sheet Title

A-202A

Project No. 2007

DESIGN COPY WRITTEN 2020 BY
CHRISTOPHER J. LONGE A.I.A. ARCHITECTURE LLC



APPROVED
8/23/21
PAA21-0090

Administrative Approval Application Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: PCI Industries, Inc.
Address: 21717 Republic
Oak Park, MI 48237
Phone Number: 248-542-2570 ext. 121
Email: hnelson@pcionsource.com

2. Property Owner

Name: SAIC Property Management, LLC
Address: 322 N. Old Woodward Ave.
Birmingham, MI 48009
Phone Number: 248-680-7180
Email: cherylmcclintock@kirco.com

3. Project Contact Person

Name: Jeff Parini - PCI Industries, Inc.
Address: 21717 Republic
Oak Park, MI 48237
Phone Number: 248-939-7274
Email: jparini@pcionsource.com

4. Project Designer/Developer

Name: Houghten Architecture
Address: 2718 W. 126th Ave
Broomfield, CO 80020
Phone Number: 586-552-6917
Email: natasha@houghten.com

5. Required Attachments

- Two (2) folded copies of project plans including an itemized list of all changes for which Administrative Approval is requested, with the changes marked in color on all elevations
- One (1) digital copy of project plans
- Warranty Deed with legal description of property
- Photographs of existing conditions on the site where changes are proposed
- Material samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- Completed Administrative Approval checklist

6. Project Information

Address/Location of Property: 322 N. Old Woodward

Name of Development: SAIC
Parcel ID#: 08-19-25-379-007
Current Use: Office Building
Proposed Use: Office Building
Area of Site in Acres: _____
Current Zoning: _____

	Yes	No
Is the property located in a floodplain? -----	<input type="checkbox"/>	<input type="checkbox"/>
Is the property within a Historic District? ---	<input type="checkbox"/>	<input type="checkbox"/>
→ If so, which? _____		
Will the project require a variance? -----	<input type="checkbox"/>	<input type="checkbox"/>
→ If so, how many? _____		
Has the project been reviewed by a Board?	<input type="checkbox"/>	<input type="checkbox"/>
→ If so, which? _____		

7. Details of the Request for Administrative Approval

Per Fire Marshall's request - install an exit door in covered parking structure to allow egress in case of fire

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan. By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

DocuSigned by:
Signature of Applicant Jeff Parini
E32B878CC205449

8/18/2021 | 1:59 PM EDT

Date: _____

Office Use Only			
Application #: <u>PAA21-0090</u>	Date Received: <u>8/19/21</u>	Fee: \$ <u>100.00</u>	
Date of Approval: <u>8/23/21</u>	Date of Denial: <u>N/A</u>	Reviewed By: _____	



CONSENT OF PROPERTY OWNER

I, Kevin Perry, OF THE STATE OF Michigan AND
(Name of Property Owner)

COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 322 N. Old Woodward Ave;
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of
Birmingham by: PCI Onesource;
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the
City of Birmingham.

Name of Owner (Printed): Kevin Perry

Signature of Owner: Kevin Perry Date: 8/19/21

ASSA ABLOY

1-3/4" LEGION (LP) POLYSTYRENE CORE DOORS

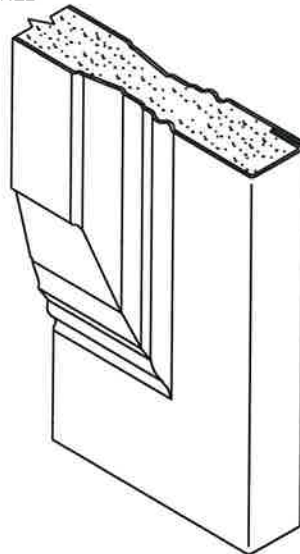
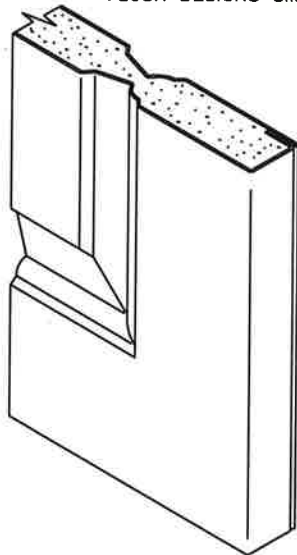
FLUSH PANEL STEEL DOORS
BEVELED LOCK EDGE, HANDED

POLYSTYRENE SLAB, BONDED TO THE INSIDE OF BOTH FACE SHEETS WITH A WATERPROOF, CONTACT ADHESIVE.

SUGGESTED USE:

INTERIOR OR EXTERIOR...
OFFICE
MOTEL/HOTEL
APARTMENT
CONDOMINIUMS
DORMITORIES
URBAN RENEWAL
HEALTH CARE
INSTITUTIONAL
MERCANTILE
PUBLIC UTILITY
FACTORY
WAREHOUSE

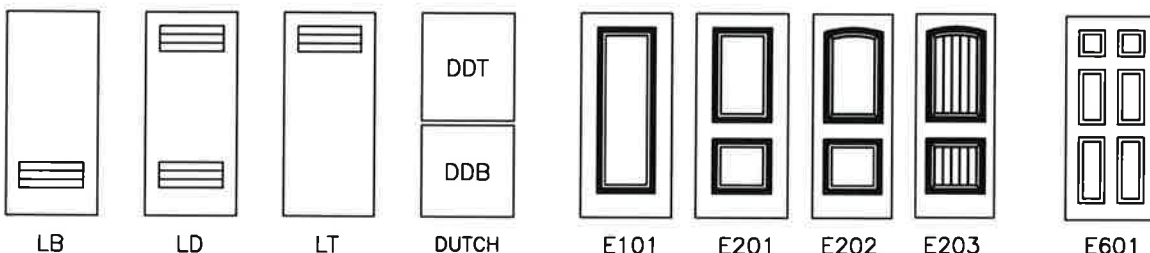
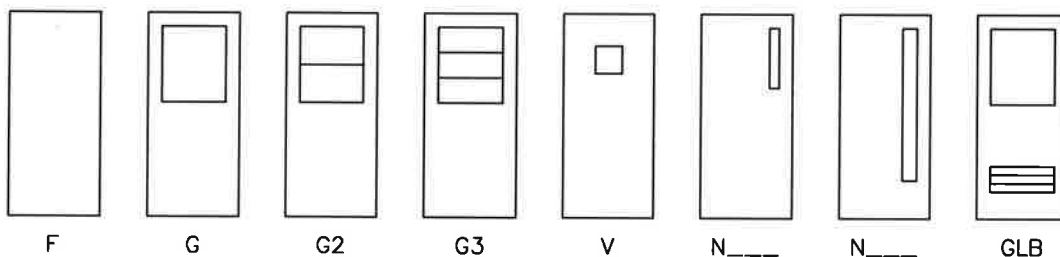
FLUSH DESIGNS SIMILAR LESS EMBOSSED PANEL



EMBOSSED PANEL DESIGNS:
8 PANEL
6 PANEL
CROSSBUCK

HIGH DEFINITION EMBOSSED
PANEL DESIGNS:
1 PANEL
2 PANEL

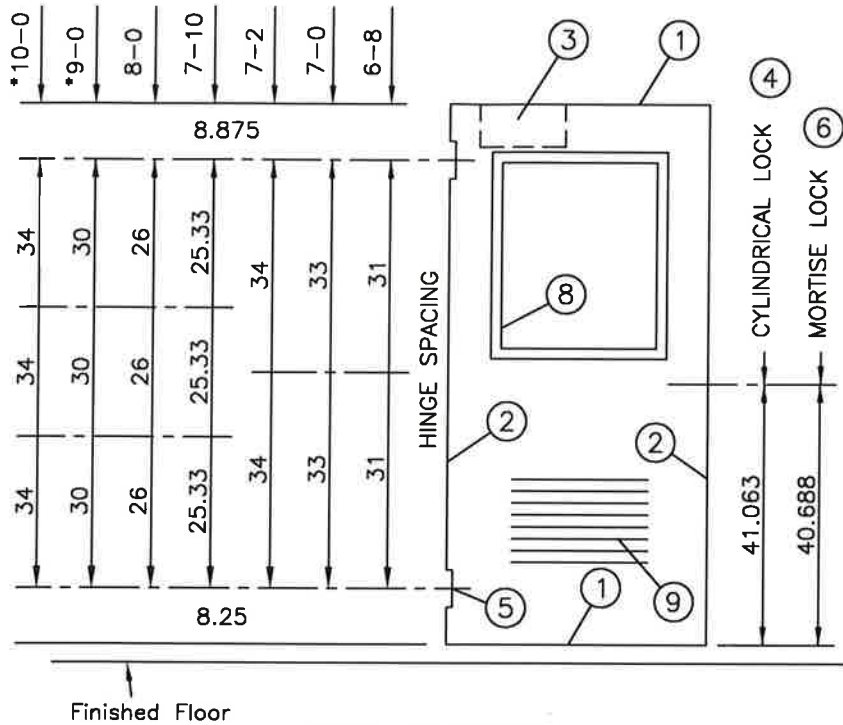
DOOR DESIGNS



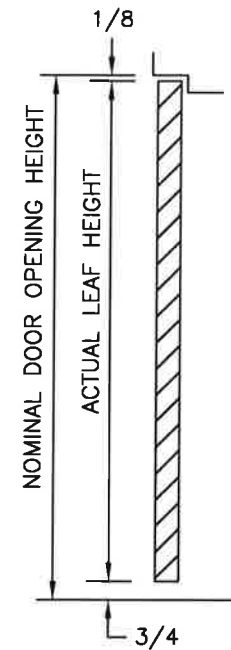
DUTCH
V, G, & N
DESIGNS AVAILABLE

D4A-2

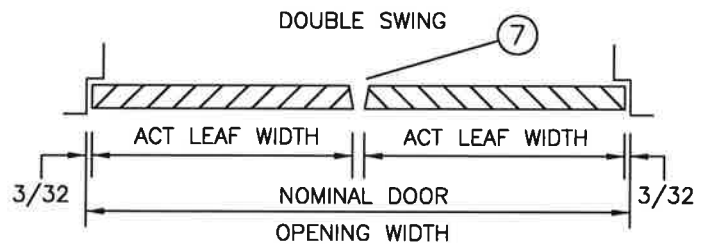
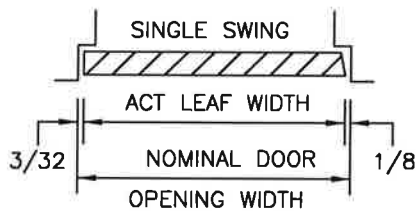
Hardware locations shown match Ceco standard frames.



DOOR ELEVATION



VERTICAL SECTION

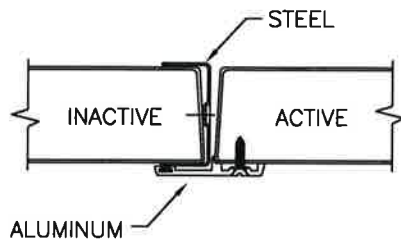


HORIZONTAL SECTIONS

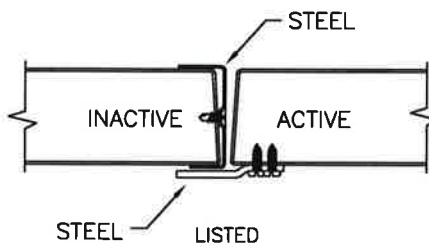
(Conversion: 1" = 25.4 mm, e.g., 1-3/4" = 44.45 mm)

*1 panel & 2 panel designs are limited to 8'0 hgt.

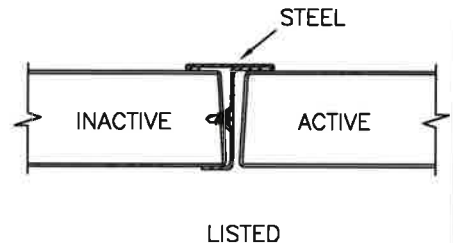
OVERLAPPING ASTRAGAL 4451
FOR 1-3/4" THICK
DOORS WITH OPTIONAL
POLY-PILE INSERT



OVERLAPPING ASTRAGAL 4441
FOR 1-3/4" THICK
DOORS



OVERLAPPING ASTRAGAL 4471
FOR 1-3/4" THICK
DOORS

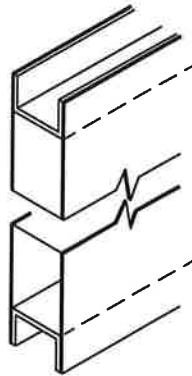


D4A-3

16 GAGE STEEL END CHANNELS

WELDED
TO BOTH
FACE SHEETS

INVERTED
TOP AND
BOTTOM



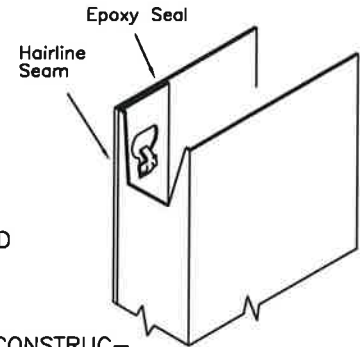
OPTIONAL TOP AND
BOTTOM CAPS ARE AVAILABLE

①

VERTICAL EDGES

MECHANICALLY
INTERLOCKED
HEMMED EDGES

ALSO AVAILABLE
SEAMLESS (WELDED
OR BODY FILLER)

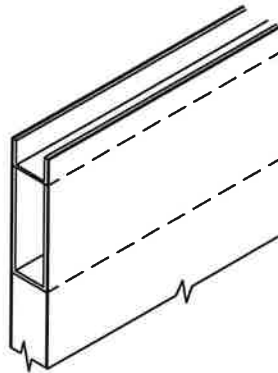


②

CENTER EDGE SEAM CONSTRUCTION PROVIDED WHEN OVER 9'0" OR 14 GAGE SKINS

CLOSER REINFORCEMENT (OPTIONAL)

14 GAGE STEEL
CHANNEL 20" LONG

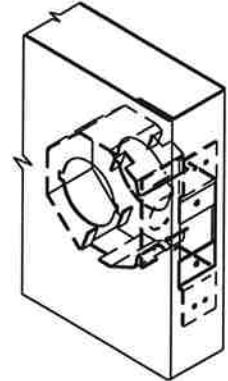


③

LOCK PREPARATION GOV. 160/161 CYLINDRICAL TYPE

(LC1)

(ANSI A115.2)
2-3/4"
BACKSET

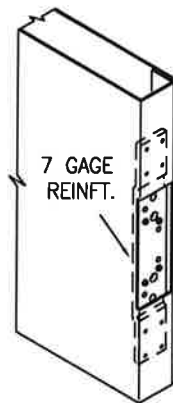


④

HINGE PREPARATION

4-1/2 OR 5 IN.
HIGH, STANDARD
OR HEAVY WEIGHT,
FULL MORTISE
HINGES

HINGE EDGE IS HANDED
AND NOT BEVELED.



7 GAGE
REINFT.

ANSI A156.7
TEMPLATE

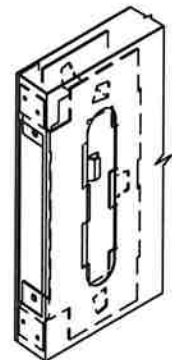
⑤

LOCK PREPARATION GOV. 86-4 MORTISE TYPE

(LM1) (ANSI A115.1)
2-3/4" BACKSET

(LM0) SIMILAR TO DETAIL
LESS FACE CUTOUT

(LP0) SIMILAR TO DETAIL
LESS ALL CUTOUTS
AND REINFORCEMENT

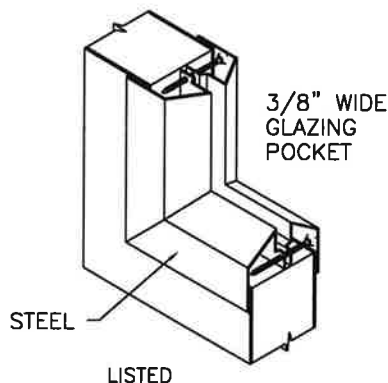


⑥

LOCK EDGE IS BEVELED
1/8" in 2" (1:16)

(Conversion: 1" = 25.4 mm, e.g., 1-3/4" = 44.45 mm)

GLAZING TRIM SlimTrim



3/8" WIDE
GLAZING
POCKET

STEEL

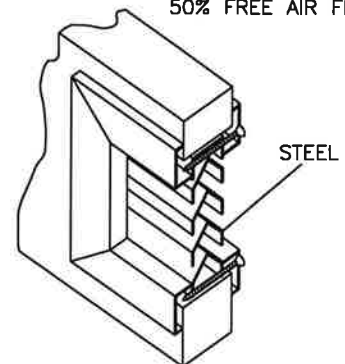
LISTED

⑧

FIXED SLAT TYPE LOUVER 4634

FOR 1-3/4" THICK
DOORS

50% FREE AIR FLOW



STEEL

⑨

3/08/11

Ceco Door

ASSA ABLOY

D4A-4

STANDARD SIZES NOMINAL DOOR OPENING

WIDTH		HEIGHT
SINGLE	DOUBLE	
2'-0"	4'-0"	
2'-4"	4'-8"	
2'-6"	5'-0"	6'-8"
2'-8"	5'-4"	7'-0"
2'-10"	5'-8"	7'-2"
3'-0"	6'-0"	7'-10"
3'-4"	6'-8"	8'-0"
3'-6"	7'-0"	9'-0"
3'-8"	7'-4"	10'-0"
3'-10"	7'-8"	
4'-0"	8'-0"	

FIRE DOORS

LABELING AGENCIES:

- UNDERWRITERS LABORATORY
- WARNOCK HERSEY

TEST: UL 10C, UL 10B,
UL 1784, & NFPA 252

- RATING: 20 MIN, 3/4 HR, 1-1/2 HR, OR 3 HR

- MAX. SIZE: 40 x 80 SINGLE
80 x 80 PAIR *

*80 x 90 with VERTICAL RODS

- DESIGNS: F, G, N, & V

Not all ratings are available
in all sizes, designs and
materials.

SIZE LIMITS - DESIGNS

	FLUSH DESIGN	1 PANEL	2 PANEL	6 PANEL
MAX.	40100	3080	3080	3070
MIN.	2068	2868	2868	2668

MATERIAL

DOOR FACE SHEETS	LEVEL	C.R.	GALV		RECOMMENDED DOOR FRAME MATERIAL
			A60	G90	
20 Gage Steel (4080 max.)	Standard Duty	STD	-	-	16 Gage Steel
20 Gage Textured Steel (4080 max.)	Standard Duty	-	STD	-	16 Gage Steel
18 Gage Steel	Heavy Duty	STD	OPT	OPT	16 Gage Steel
16 Gage Steel	Extra heavy Duty	STD	OPT	OPT	16 or 14 Gage Steel
14 Gage Steel	Maximum Duty	STD	OPT	OPT	14 or 12 Gage Steel

PERFORMANCE

Thermal Characteristic Value:	FULLY OPERABLE ASSEMBLIES (ASTM C1363)	R = 2.83	U = 0.35
	CORE CALCULATED (ASTM C518)	R = 6.35	U = 0.157
Sound Transmission Class:	STC 27 (F Design, 18 Gage Face Sheets, ASTM E90 & E413 [Fully Operable])		
Physical Endurance /Level:	Meets ANSI A250.4 Performance Test, 20 GAGE: Level B (500,000 Cycles); 18 and 16 Gage: Level A (1,000,000 Cycles)		

PRODUCT SPECIFICATIONS

1-3/4" Thick steel doors shall be as manufactured by Ceco Door Products. Doors shall conform to the Steel Door Institute guide specification, ANSI A250.8; see chart below for performance classifications.

LEGION doors are made full-flush or (optional) seamless style. Face sheets are commercial quality cold rolled steel conforming to ASTM A1008...or (optional) hot-dipped galvanized steel conforming to ASTM A924 and A653 -- see chart below.

Legion full-flush doors have mechanically interlocked, hemmed, hairline seams on vertical edges and have no visible seams on faces. Doors specified "seamless" have no visible seams on faces or vertical edges (S.D.I. Model 2). A one piece, polystyrene slab, conforming to ASTM C578 TYPE 1, is bonded to the inside of both face sheets with a waterproof contact adhesive. The top and bottom door edges are closed with 16 gage steel channels welded to both face sheets.

Hardware Provisions: Hinge preparations are handed. Hinge edges are mortised for 4-1/2" or 5" high, standard and heavy weight hinges (specify which). 7 gage steel hinge reinforcements are welded inside the door edge and are drilled and tapped for fasteners in accordance with ANSI A156.7. The lock edge has a standard bevel (1:16) and is prepared for Gov. series 86, 160/161, or 90 locks in accordance with ANSI A115 (specify which). Optional closer reinforcement is a 14 gage steel channel.

Paint: 1-3/4" steel doors shall be provided with one coat of oven-cured neutral color primer paint. Primer coat shall conform with ANSI A250.10. The primer coat is a preparatory base for necessary finish painting. "Colorstyle" finish coat is also available from a selection of standard colors (optional). Colorstyle finish is electrostatically applied, oven-cured urethane enamel and shall conform to ANSI A250.3. For accurate color selectors ask for a Ceco Colorstyle chart.

EXEPTIONS:

E1, E2, and E6 designs: mortise lock preparation limited to 3'0" width.

1 & 2 panel doors are available in 18 gage face sheets only.

6 panel doors are available in 20, 18, & 16 gage face sheets only.

Panel design door face sheets are formed from A40 galv. steel.

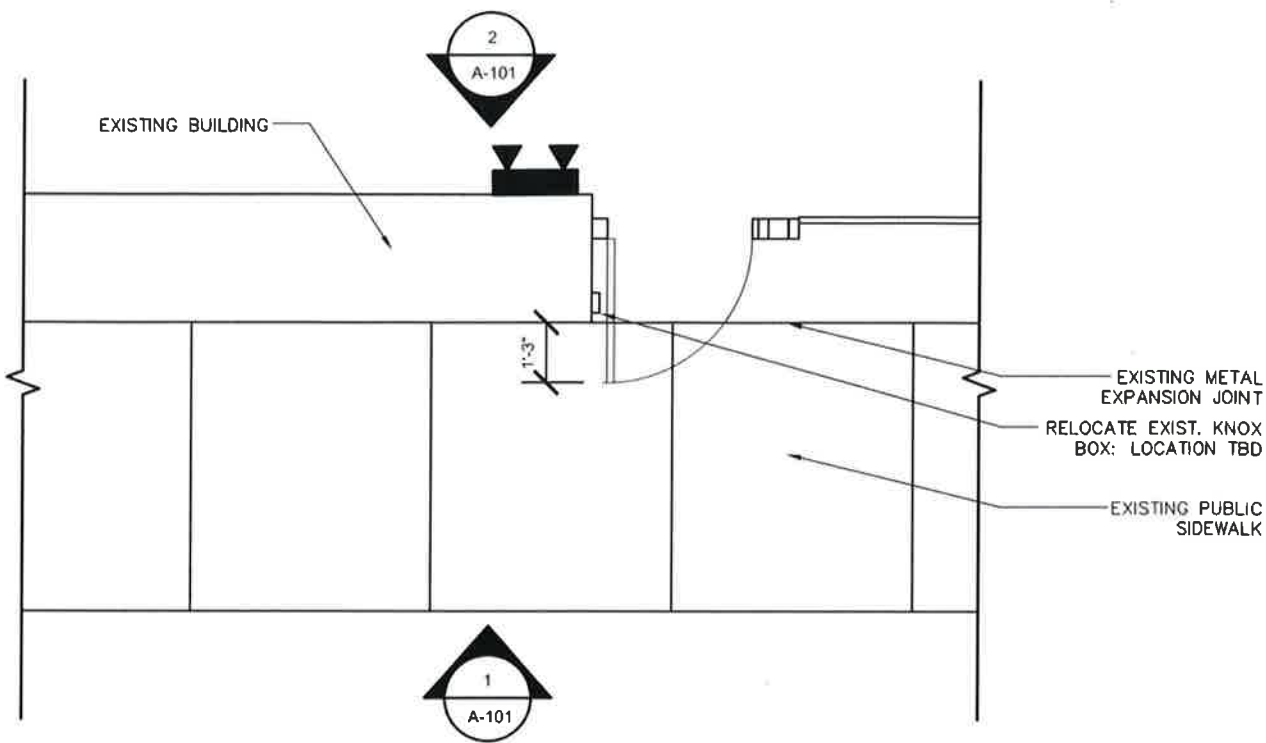
(Conversion: 1" = 25.4 mm, e.g., 1-3/4" = 44.45 mm)

 **Ceco Door**

ASSA ABLOY

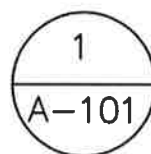
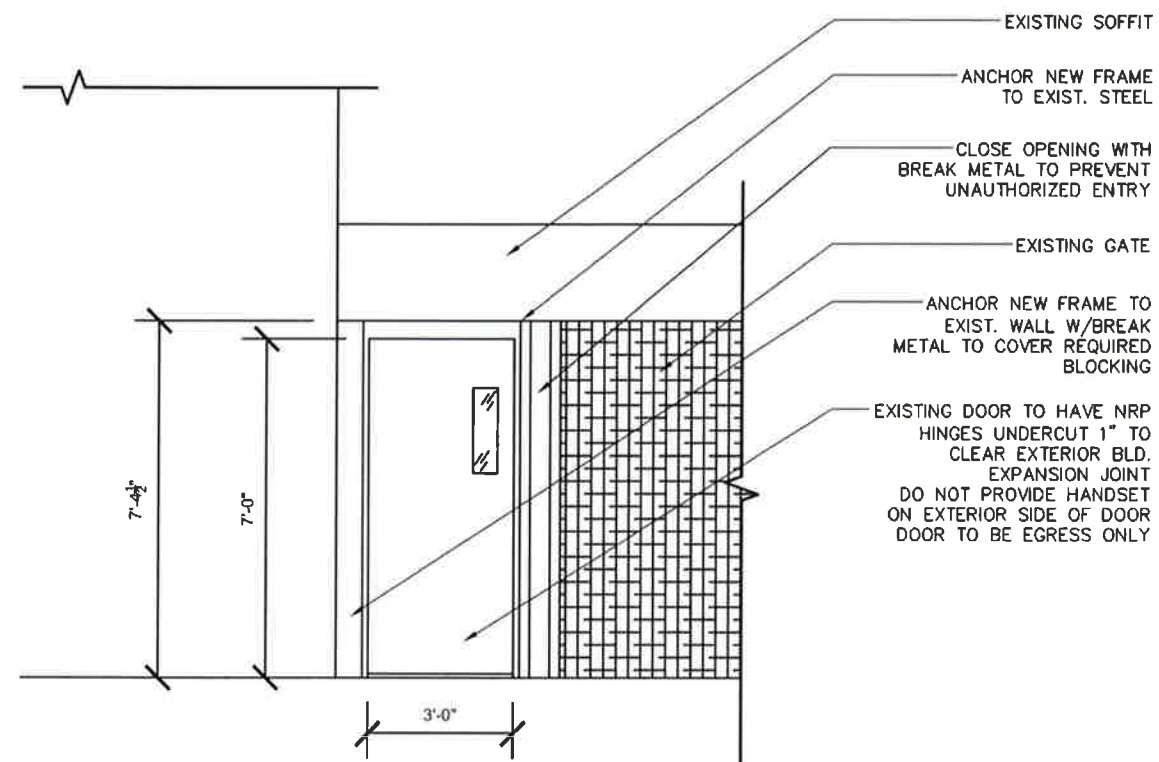
ASSA ABLOY, the global leader
in door opening solutions.

02/13/15



FLOOR PLAN

SCALE: 1/4"=1'-0"



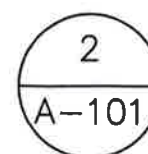
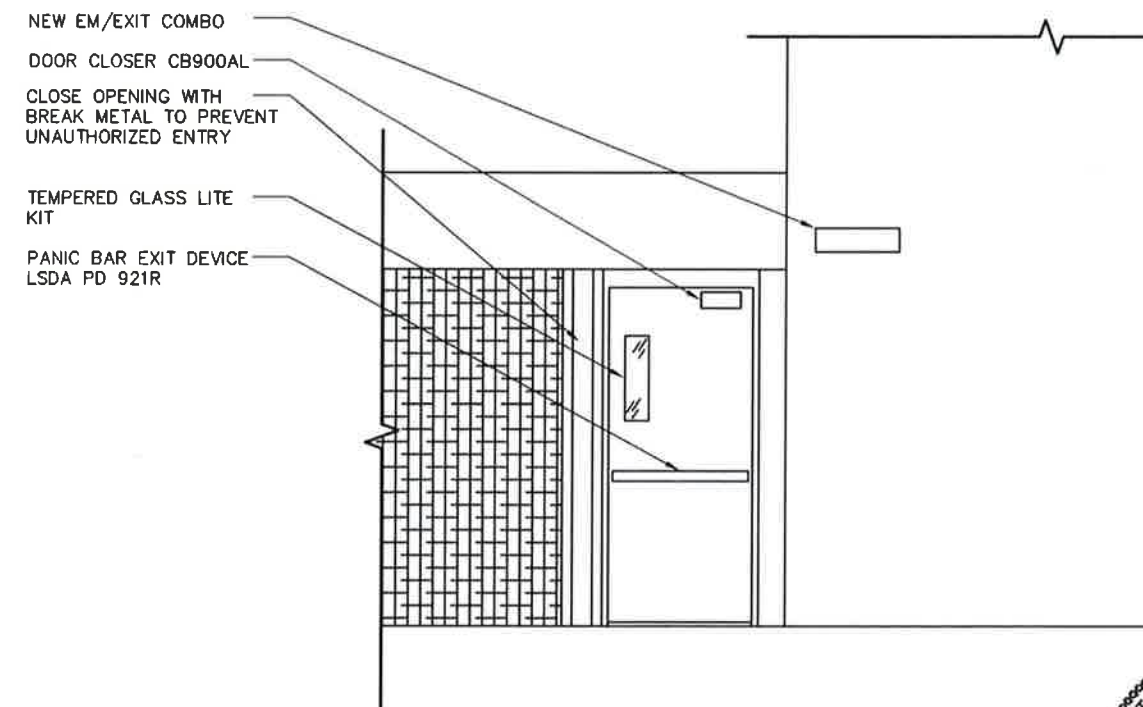
ELEVATION

SCALE: 1/4"=1'-0"



AREA OF WORK

APPROVED
8/23/21
PA221-0090



ELEVATION

SCALE: 1/4"=1'-0"



pci

21717 REPUBLIC
OAK PARK, MI 48237
PH. 248-542-2570
FAX. 248-542-3077

CLIENT

KIRCO

PROJECT

SAIC
322 N. OLD WOODWARD
BIRMINGHAM, MI 48009

DATE

08/03/2021

SCALE

AS NOTED

SHEET CONTENTS

FLOOR PLAN & ELEVATIONS

SHEET

A-101



Administrative Approval Application Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: Barbat Capital, LLC
Address: 7499 Middlebelt Road
West Bloomfield, MI 48322
Phone Number: 248-426-8200
Email: joe@barbatholdings.com

2. Property Owner

Name: Barbat Capital, LLC
Address: 7499 Middlebelt Road
West Bloomfield, MI 48322
Phone Number: 248-426-2105
Email: john@barbatholdings.com

3. Project Contact Person

Name: Jessica Mathis
Address: 7499 Middlebelt Road
West Bloomfield, MI 48322
Phone Number: 248-606-9904
Email: jmathis@barbatholdings.com

4. Project Designer/Developer

Name: Thomas Roberts Architect
Address: 2927 4th Street
Wyandotte, MI 48192
Phone Number: 248-505-9360
Email: nichole@thomasrobertsarchitect.com

5. Required Attachments

- Two (2) folded copies of project plans including an itemized list of all changes for which Administrative Approval is requested, with the changes marked in color on all elevations
- One (1) digital copy of project plans
- Warranty Deed with legal description of property
- Photographs of existing conditions on the site where changes are proposed
- Material samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- Completed Administrative Approval checklist

6. Project Information

Address/Location of Property: 400 S. Old Woodward Ave.
Birmingham, MI 48009
Name of Development: Birmingham Houze
Parcel ID#: 19-36-205-042
Current Use: Mixed-use: 1st floor commercial; 2nd/3rd floors residential
Proposed Use: 1st flr commercial; 2nd flr residential with an office; 3rd flr residential
Area of Site in Acres: 0.58 acres
Current Zoning: B-2B, D2 overlay, parking assessment

	Yes	No
Is the property located in a floodplain? -----	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the property within a Historic District? ---	<input type="checkbox"/>	<input checked="" type="checkbox"/>
→ If so, which? _____		
Will the project require a variance? -----	<input type="checkbox"/>	<input checked="" type="checkbox"/>
→ If so, how many? _____		
Has the project been reviewed by a Board? <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
→ If so, which? <u>Design Review Board Meeting on</u>		
<u>Wednesday, April 15, 2020</u>		

7. Details of the Request for Administrative Approval

The drawings that were approved for permit included three apartments in the southeast corner of the second floor. The Owner would now like to use that space for one business office, to be occupied by the Owner's own company. The floor area affected by this modification is 2,598 square feet. The remainder of the apartments on the second and third floors will remain as previously approved. The office design includes some new windows on the south facade as well.

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan. By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Applicant: [Signature] Date: 5/27/2021

Office Use Only

Application #: PAAD1-0054 Date Received: 6/14/21 Fee: \$ \$100.00
Date of Approval: 6/14/21 Date of Denial: N/A Reviewed By: [Signature]



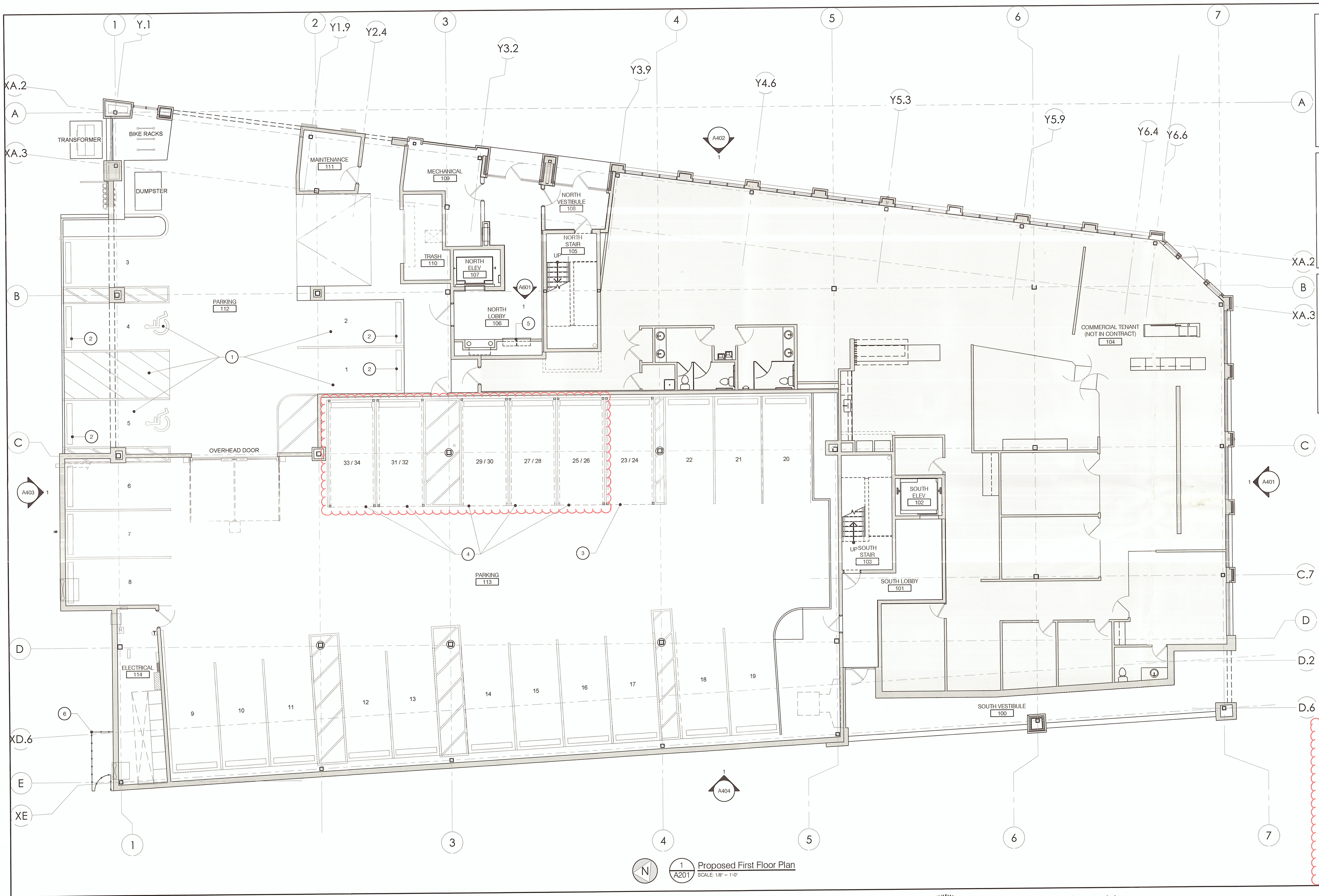
CONSENT OF PROPERTY OWNER

I, Barbat Capital, LLC, OF THE STATE OF Michigan AND
(Name of Property Owner)
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 400 S. Old Woodward Ave., Birmingham, MI 48009;
(Address of Affected Property)
2. That I have read and examined the Application for Administrative Approval made to the City of
Birmingham by: Joe Barbat;
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the
City of Birmingham.

Name of Owner (Printed): Joe Barbat

Signature of Owner:  Date: 5/27/2021



PLAN LEGEND:

- NEW WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW DOOR
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED

GENERAL PLAN NOTES:

- A. For interior unit layouts refer to 'A230's' series.
- B. All new walls are partition 'Type A' unless otherwise noted (see sheet A003 for partition types).
- C. Openings, penetrations and joints on fire resistant rated horizontal & vertical assemblies shall be protected, provide approved systems for fire stopping, fire blocking and draftstopping.
- D. Prepare all concrete floors to receive new finishes per schedule.
- E. See Enlarged Unit Plans for interior unit layout.

PLAN KEY NOTES:

- 1 RE-STRIPE EXISTING SPACES IN THIS AREA
- 2 EXISTING PARKING BUMPER BLOCKS TO BE RELOCATED TO ACCOMMODATE NEW LAYOUT
- 3 EXISTING CAR LIFT TO REMAIN
- 4 NEW CAR LIFT, REFER TO ELECTRICAL
- 5 USPS STANDARD 4C MAIL RECEPTACLES, FULLY RECESSED WALL MOUNTING, FRONT LOADING, MOUNT PER ACCESSIBILITY STANDARDS
- 6 NEW CHAIN LINK ENCLOSURE FOR NEW ELECTRICAL PANELS AND METERS, REFER TO ELECTRICAL

APPROVED
6/10/21
PHD-0054

PARKING CALCULATIONS

ZONING
B-2B GENERAL BUSINESS DISTRICT
D2 DOWNTOWN OVERLAY DISTRICT
PARKING ASSESSMENT DISTRICT

COMMERCIAL PARKING
FOR ALL NON-RESIDENTIAL USES LOCATED WITHIN THE PARKING ASSESSMENT DISTRICT, PARKING ON THE SITE SHALL NOT BE REQUIRED.

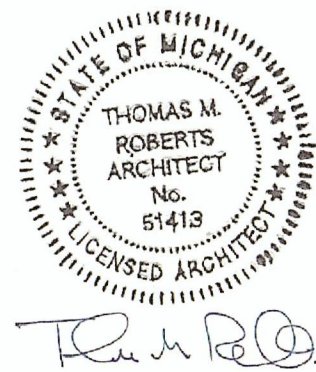
RESIDENTIAL PARKING
1-2 ROOM UNITS = 1 SPACE / UNIT
2ND FLOOR: 12 * 1 = 12
3RD FLOOR: 13 * 1 = 13
3+ ROOM UNITS = 1.25 SPACES / UNIT
2ND FLOOR: 5 * 1.25 = 6.25
3RD FLOOR: 2 * 1.25 = 2.50
TOTAL SPACES = 33.75 REQUIRED; 34 PROVIDED (INCLUDING 2 ACCESSIBLE SPACES)

RECEIVED
JUN 10 2021
CITY OF BIRMINGHAM
COMMUNITY DEVELOPMENT DEPARTMENT

THOMAS
ROBERTS
ARCHITECT, LLC
2927 4th Street
Wyandotte, MI 48192
(t)734.250.4032

2020-03-30
2020-04-17
2020-08-12
2021-05-27

DESIGN REVIEW BOARD
BIDS AND PERMITS
PLAN REVIEW REVISIONS
PLANNING ADMIN APPROVAL



Birmingham Houze
Residential Apartments Build-Out
400 S. Old Woodward Ave.
Birmingham, Michigan 48009

TR
principal in charge
NM
project manager
NM
project architect
EL
drawn

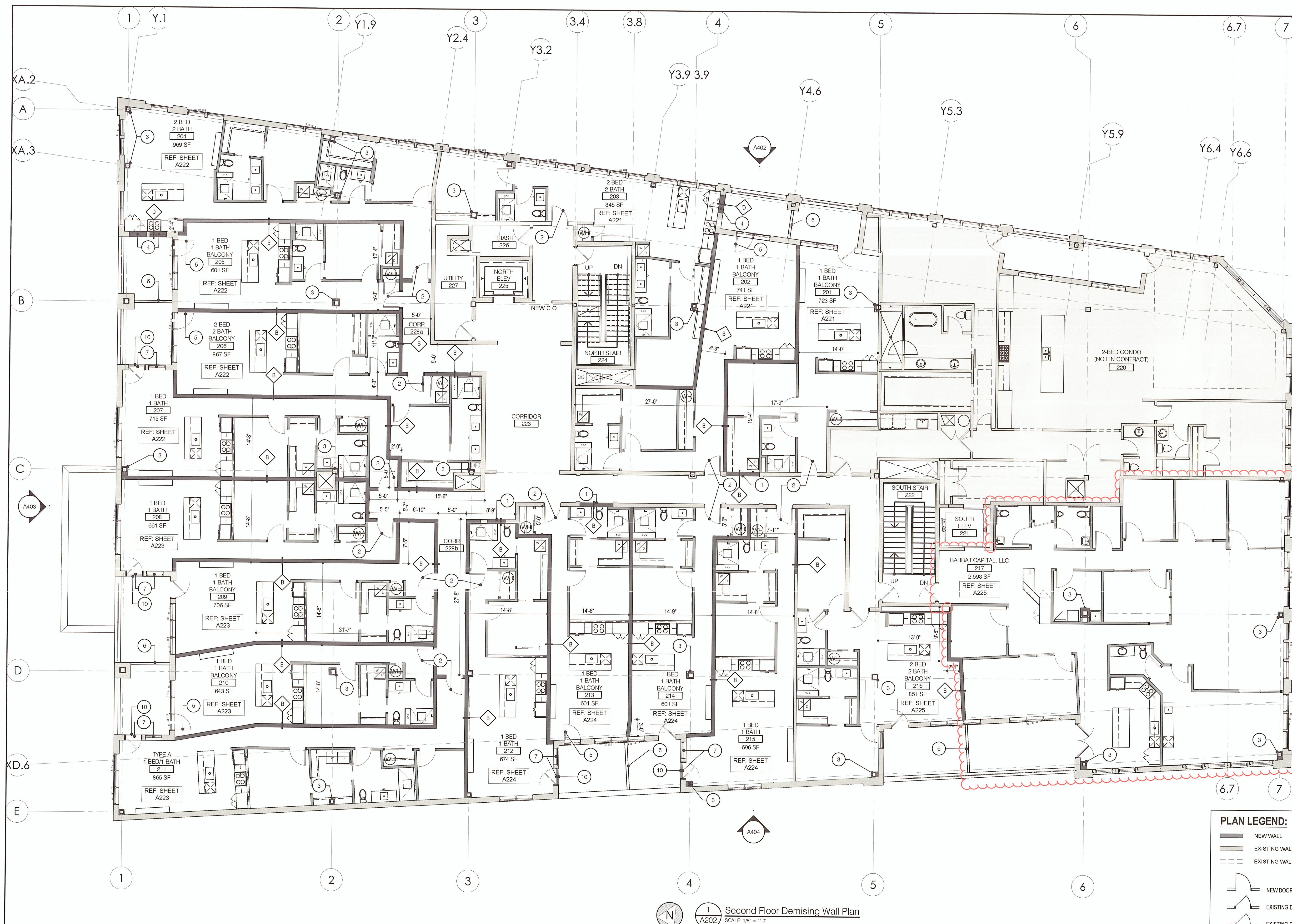
03/06/2020
date
20002
job number
A201
sheet number

ISSUANCES

REVISIONS

Seal

print date: 06.10.2021



- GENERAL PLAN NOTES:**
- A. All new walls are partition "Type A" unless otherwise noted (see sheet A003 for partition types).
 - B. Openings, penetrations and joints on fire resistant rated horizontal & vertical assemblies shall be protected, provide approved systems for fire stopping, fire blocking and draftstopping.
 - C. Infill missing sections of existing walls to remain. New surfaces to be flush with adjacent existing surfaces.
 - D. Prep all existing unfinished floors, walls and ceilings to receive new finishes as schedules, refer to schedules.
 - E. Provide new wood casing at all existing doors and windows to remain.
 - F. Final locations of devices to be coordinated onsite with Architect prior to installation, including thermostats, emergency lights, fire alarms, detectors, etc.
- DEMOLITION GENERAL NOTES:**
- A. Demolition requires the selective removal and subsequent off site disposal of the following:
 - A.A. Portions of the building structure indicated on drawings and as required to accommodate new construction.
 - A.B. Removal of interior partitions as indicated on drawings.
 - A.C. Removal of existing doors as indicated on drawings, but existing frames to remain, unless otherwise noted.
 - B. Remove debris, rubbish and other materials resulting from demolition operations from building site. Comply with EPA regulations and disposal regulations of authorities having jurisdiction. Transport and legally dispose and recycle of materials off site. Burning of removed materials is not permitted on project site.
 - C. Owner may occupy portions of the building immediately adjacent to selective demolition areas. Conduct selective demolition so Owner's operations will not be disrupted.
 - D. Perform selective demolition work in systematic manner. Demolish concrete at junctures with construction to remain using power-driven masonry saw or hand tools. Provide services for effective air and water pollution controls as required by local authorities having jurisdiction.
 - E. Locate, identify, shut off, disconnect and cap off utility services and mechanical / electrical systems serving areas to be selectively demolished. If unanticipated mechanical, electrical or structural elements which conflict with intended function or design are encountered, investigate and measure both nature and extent of conflict. Submit report to Owner's Representative in written, accurate detail. Pending receipt of directives from Owner's Representative rearrange selective demolition schedule as necessary to continue overall job progress without delay.
 - F. Maintain services / systems indicated to remain and protect them against damage during selective demolition operations. Before proceeding with demolition, provide temporary services / systems that bypass area of selective demolition and that maintain continuity of services / systems to other parts of the building.
 - G. Provide temporary barricades and other protection required to prevent injury to people and damage to adjacent buildings and facilities to remain.
 - H. Provide and maintain shoring, bracing and structural supports as required to preserve stability and prevent movement, settlement or collapse of construction and finishes to remain or construction being demolished. Unless specifically noted, all walls are assumed to be loadbearing.
 - I. Provide temporary weather protection to prevent water leakage and damage to structure and interior areas.
 - J. Protect walls, ceilings, floors and other existing finish work that are to remain. Ered and maintain dustproof partitions. Cover and protect furniture, furnishings and equipment that have not been removed.
 - K. Neatly cut openings and holes plumb, square and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction.
 - L. Upon completion of demolition work, remove tools, equipment and demolished materials from site. Remove protections and leave areas broom clean. Legally dispose of demolished materials. Do not burn demolished materials.
 - M. Repair all demolition performed in excess of that required. Return structures and surfaces to condition existing prior to commencement of selective demolition work. Repair adjacent construction or surfaces damaged by selective demolition work at no cost to Owner.

- PLAN KEY NOTES:**
- 1 Remove existing balcony door and frame. Salvage for reuse.
 - 2 Remove existing window and frame. Salvage for reuse.
 - 3 Remove existing window opening control device. Salvage for reuse.
 - 4 Remove portion of existing corridor wall to accommodate new apartment entry door and frame.
 - 5 Remove portion of existing corridor wall to accommodate new corridor extension.
 - 6 Remove existing partition in its entirety.
 - 7 Remove existing interior door and frame. Salvage for reuse.
 - 8 Remove portion of existing exterior wall to accommodate new balcony door and frame.
 - 1 Infill opening in corridor wall flush with existing construction and prep to receive new finishes as scheduled.
 - 2 Provide new rated wood door, frame, and threshold at apartment entrance to match existing. Refer to door schedule for additional information.
 - 3 Enclose existing exposed column, and plumbing where it occurs. Refer to plan detail on sheet A501.
 - 4 Infill opening in exterior wall flush with existing construction. Exterior finish to match existing adjacent surface. Prep and finish interior as scheduled.
 - 5 Provide new glazed aluminum clad wood balcony door - style and finish to match existing balcony doors.
 - 6 Provide new balcony privacy screen. Bronze anodized aluminum frame, frosted tempered glass. Mount to floor and walls.
 - 7 Provide frosted glazing film on interior surface of window.
 - 8 Provide new finish floor assembly flush with existing finish floor, see section 1A501.
 - 9 Provide 5/8" gyp bd on interior face of existing exterior wall, typical. Where the south exterior wall is less than 10'-0" from the property line, provide Type X gyp bd to complete the 1 hr rated fire resistant assembly.
 - 10 Provide new window and frame to match existing.

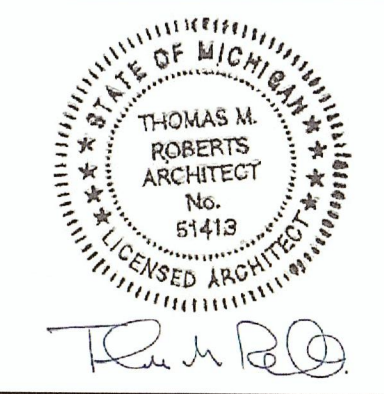
PLAN LEGEND:

- NEW WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW DOOR
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED

1 A202 Second Floor Demising Wall Plan
SCALE: 1/8" = 1'-0"

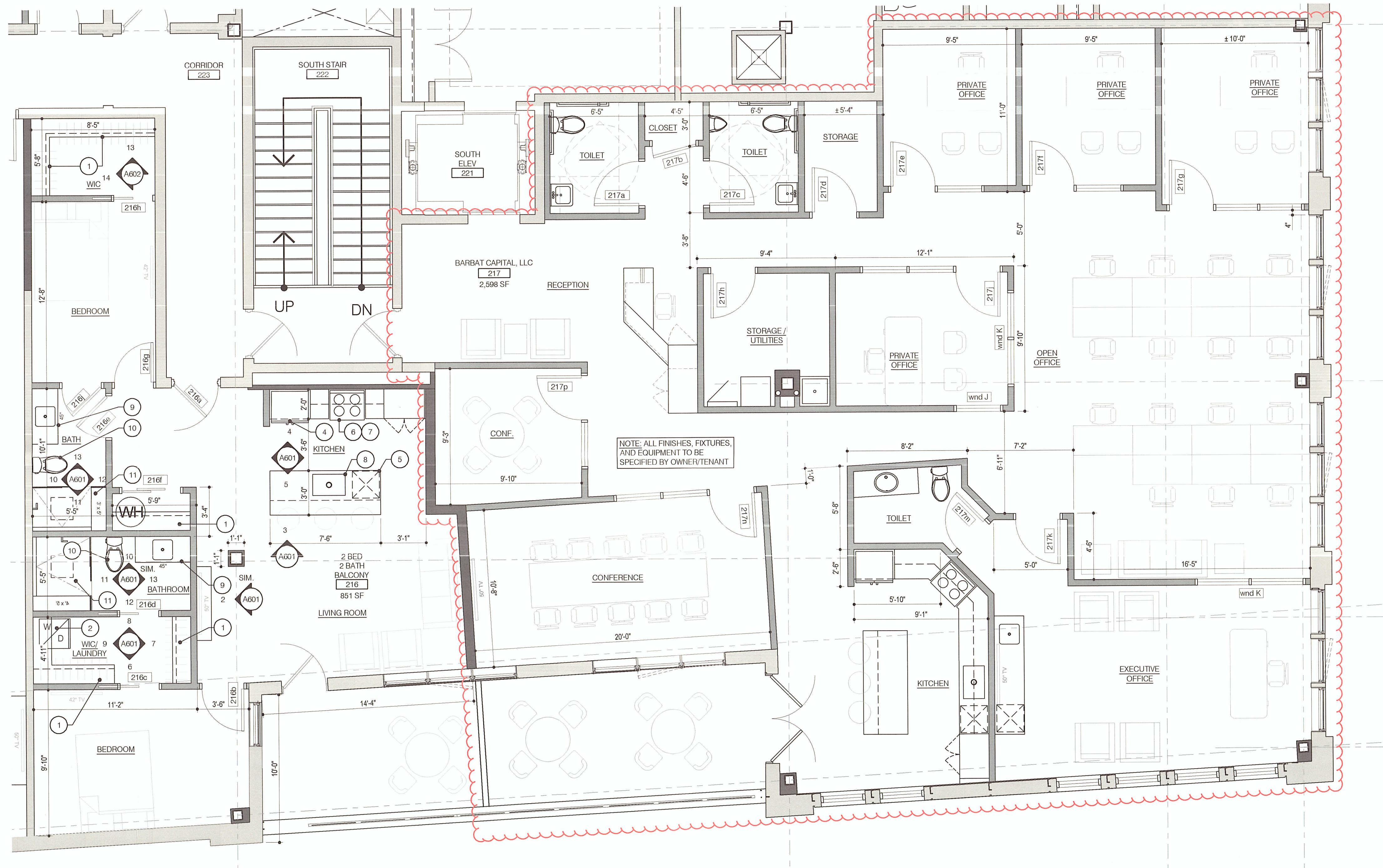
THOMAS
ROBERTS
ARCHITECT, LLC
2927 4th Street
Wyandotte, MI 48192
(t)734.250.4032

2020-03-30	DESIGN REVIEW BOARD
2020-04-17	BIDS AND PERMITS
2020-08-12	PLAN REVIEW REVISIONS
2021-05-27	PLANNING ADMIN APPROVAL



Birmingham Houze
Residential Apartments Build-Out
400 S. Old Woodward Ave.
Birmingham, Michigan 48009

TR
principal in charge
NM
project manager
NM
project architect
EL
drawn
03/06/2020
date
20002
job number
A202
sheet number



GENERAL PLAN NOTES:

- All new walls are partition 'Type A' unless otherwise noted (see sheet A003 for partition types).
- Openings, penetrations and joints on fire resistant rated horizontal & vertical assemblies shall be protected, provide approved systems for fire stopping, fire blocking and draftstopping.
- Infill missing sections of existing walls to remain. New surfaces to be flush with adjacent existing surfaces.
- Prep all existing unfinished floors, walls and ceilings to receive new finishes as schedules, refer to schedules.
- Provide new wood casing at all existing doors and windows to remain.

APARTMENT GENERAL NOTES:

- PROVIDE IN-WALL BLOCKING FOR ALL WALL MOUNTED ACCESSORIES AND CABINETRY.
- PROVIDE PUSH-TO-OPEN TOUCH LATCH FOR ALL CABINETRY DOORS AND DRAWERS.

TYPE A UNIT GENERAL NOTES:

- AT TYPE A ADA UNITS, ALL TOILET ACCESSORIES SHALL BE MOUNTED PER ANSI 117.1.
- AT TYPE A ADA UNITS ALL APPLIANCE CONTROLS SHALL COMPLY WITH ANSI 117.1.
- PROVIDE TRAP WRAP AT KITCHEN SINK AND BATHROOM LAVATORY IN TYPE A ADA UNITS.
- PROVIDE IN-WALL BLOCKING AND TOILET GRAB BARS AT TYPE A ADA UNITS.
- PROVIDE IN-WALL BLOCKING, GRAB BARS AND FOLDING SHOWER SEAT AT TYPE A ADA UNITS.
- AT KITCHEN SINK, KITCHEN WORK SURFACE, AND BATHROOM LAVATORY PROVIDE REMOVABLE BASE CABINET, MIN. 30" WIDE. PROVIDE FINISHED WALLS, CABINETS AND FLOORING AT REMOVABLE CABINETS TYPICAL.

UNIT PLAN KEY NOTES:

- CUSTOM MILLWORK CLOSET SYSTEM
- STACKED WASHER AND ELECTRIC CONDENSING DRYER
- SIDE-BY-SIDE WASHER AND ELECTRIC CONDENSING DRYER
- COUNTER-DEPTH SIDE-BY-SIDE REFRIGERATOR
- HIDDEN CONTROLS DISHWASHER
- SLIDE-IN GAS RANGE
- ADD ALTERNATE: MICROWAVE INSIDE WALL CABINET ABOVE RANGE (ON COUNTERTOP AT ADA UNIT)
- UNDER-MOUNT SINK, FAUCET AND GARBAGE DISPOSAL
- UNDER-MOUNT SINK, FAUCET
- TOILET W/ SKIRTED TRAPWAY
- SHOWER W/ SLIDING GLASS DOORS, BUILT-IN BENCH, HANDSHOWER, RAINHEAD, AND LINEAR DRAIN
- SHOWER W/ CURTAIN ROD, FOLDING SEAT, HANDSHOWER, RAINHEAD, AND LINEAR DRAIN
- CLERESTORY WINDOW - CLEAR TEMPERED GLASS, BUTT GLAZED IN RECESSED CHANNEL FRAME
- ROBE HOOK
- TOWEL RING
- LIGHTED MIRROR - SEE ELEC
- TOILET TISSUE HOLDER
- TOWEL BAR
- SLIDING GLASS SHOWER DOORS
- REMOVE WINDOW OPENING CONTROL DEVICES
- UNDERCOUNTER BEVERAGE COOLER



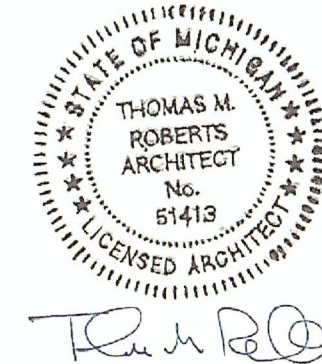
Enlarged Second Floor Unit Plans

SCALE: 1/4" = 1'-0"

THOMAS
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2927 4th Street
Wyandotte, MI 48192
(t) 734.250.4032

2020-03-30
2020-04-17
2020-08-12
2021-05-27

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TR
principal in charge
NM
project manager
NM
project architect
EL
drawn

03/06/2020
date
20002
job number

A225

sheet number

ISSUANCES

REVISIONS

Seal

print date: 06.10.2021



5 Existing South Elevation Photographs
Scale: NTS



FW 1

2

3

2 Partial Proposed South Elevation
Scale: 1/8" = 1'-0"

4

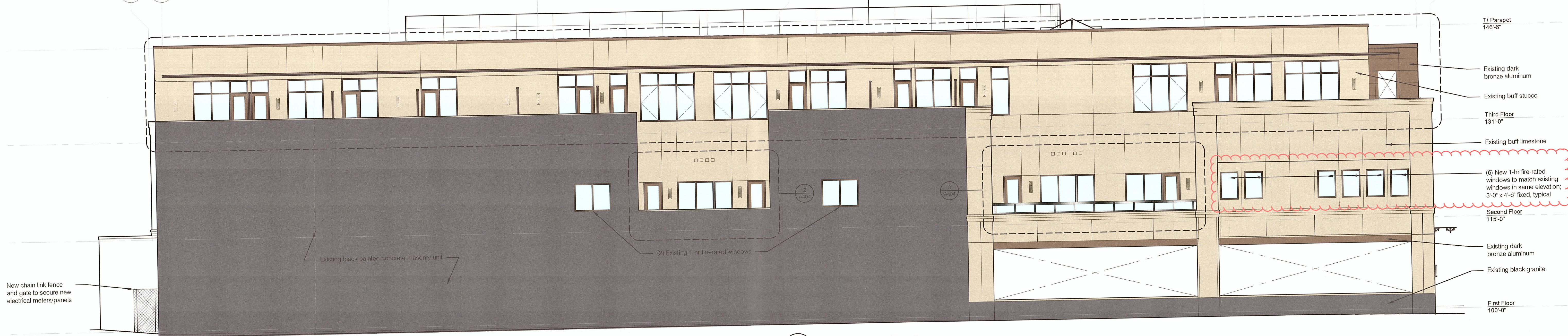
4 A404

5

3 Partial Proposed South Elevation
Scale: 1/8" = 1'-0"

6

7 FE

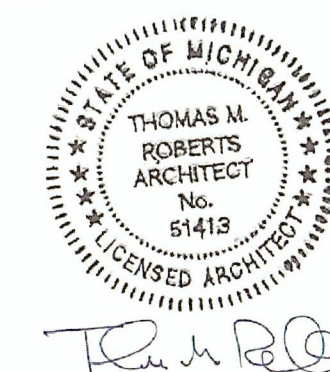


1 Proposed South Elevation
Scale: 1/8" = 1'-0"

THOMAS
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2927 4th Street
Wyandotte, MI 48192
(t) 734.250.4032

2020-03-30
2020-04-17
2020-08-12
2021-05-27

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Residential Apartments Build-Out
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Birmingham, Michigan 48009

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NM
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03/06/2020
date
20002
job number
A404
sheet number

ISSUANCES

REVISIONS

Seal

Print date: 03-10-2021



Administrative Approval Application Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: Leobardo Huantes
Address: 68 West Fairmount
Pontiac, Mich 48340
Phone Number: 248-506-1463
Email: HUANESHOME@gmail.com

2. Property Owner

Name: _____
Address: _____
Phone Number: _____
Email: _____

3. Project Contact Person

Name: LEO HUANTES
Address: 68 WEST FAIRMOUNT
Phone Number: 248-506-1463
Email: HUANESHOME@gmail.com

4. Project Designer/Developer

Name: _____
Address: _____
Phone Number: _____
Email: _____

5. Required Attachments

- Two (2) folded copies of project plans including an itemized list of all changes for which Administrative Approval is requested, with the changes marked in color on all elevations
- One (1) digital copy of project plans
- Warranty Deed with legal description of property
- Photographs of existing conditions on the site where changes are proposed
- Material samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- Completed Administrative Approval checklist

6. Project Information

Address/Location of Property: 742 Greenfield
Name of Development: _____
Parcel ID#: _____
Current Use: _____
Proposed Use: _____
Area of Site in Acres: _____
Current Zoning: _____

Is the property located in a floodplain? -----
Is the property within a Historic District? ---
→ If so, which? _____
Will the project require a variance? -----
→ If so, how many? _____
Has the project been reviewed by a Board?
→ If so, which? _____

Yes	No
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>

7. Details of the Request for Administrative Approval

Replace wood w/ vinyl fence in Almond color

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan. By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Applicant: _____

Date: June 17, 2021

Office Use Only

Application #: PAA21-0064

Date Received: 6/17/21

Fee: \$ 100.00

Date of Approval: 7/12/21

Date of Denial: N/A

Reviewed By: _____



CONSENT OF PROPERTY OWNER

I, _____, OF THE STATE OF _____ AND
(Name of Property Owner)

COUNTY OF _____ STATE THE FOLLOWING:

1. That I am the owner of real estate located at _____
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of

Birmingham by: _____
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the

City of Birmingham.

Name of Owner (Printed): _____

Signature of Owner: 

Date: 6/24/21



NO
TRESPASSING

DUMPSTER RULES

- 1. No burning or open flames.
- 2. No disposal of flammable, volatile, or toxic liquids.
- 3. No disposal of tires, appliances, or other bulky items.
- 4. No disposal of household appliances, such as refrigerators, stoves, or washers.
- 5. No disposal of air conditioning units, furnaces, or boilers.
- 6. No disposal of paint, oil, or other hazardous materials.
- 7. No disposal of tires, auto parts, or other automotive items.
- 8. No disposal of construction materials, such as bricks, blocks, or concrete.
- 9. No disposal of large quantities of yard waste, such as branches or stumps.
- 10. No disposal of large quantities of household waste, such as bags of trash.







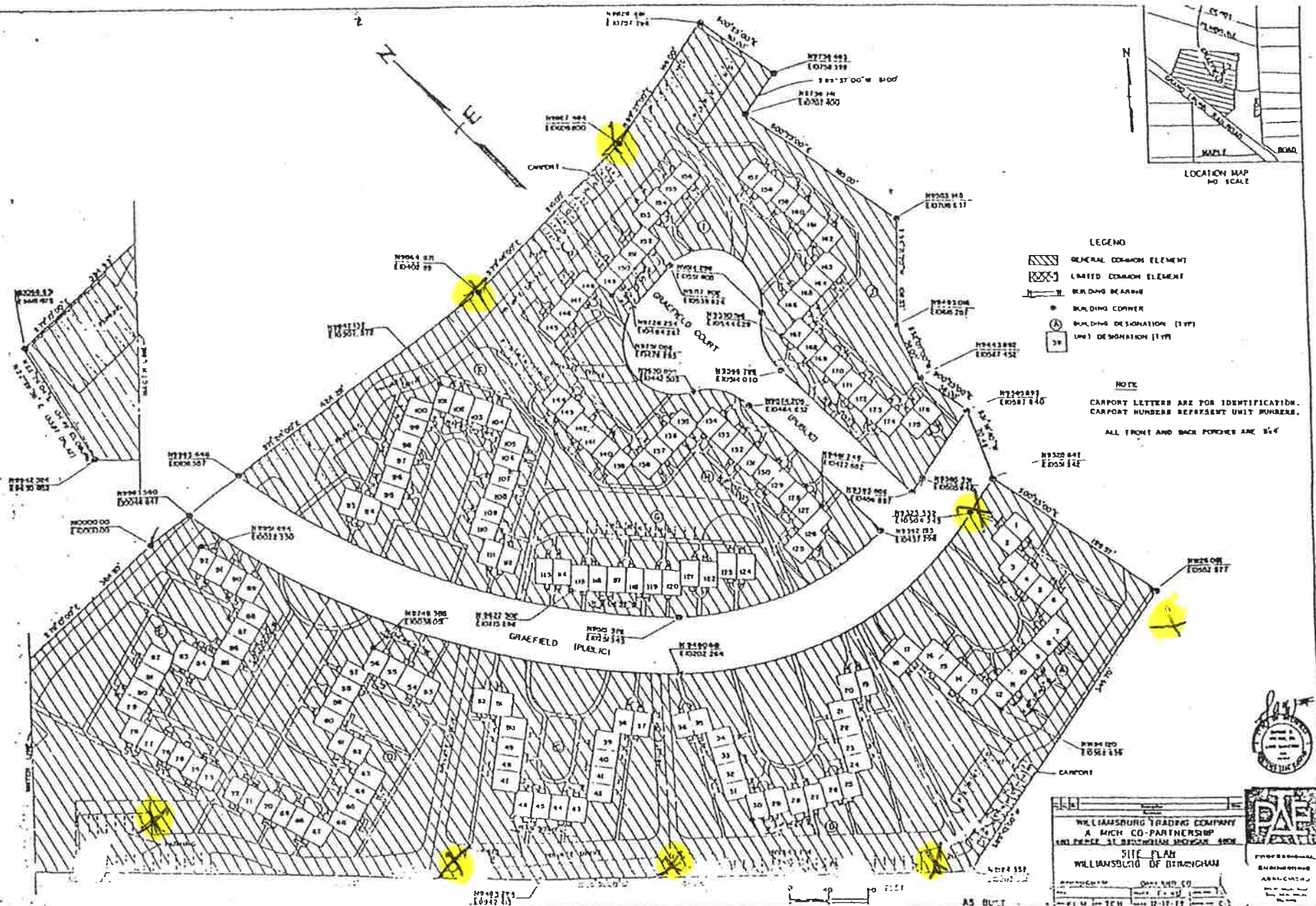


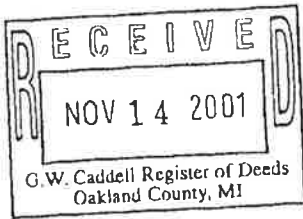












LIBER 24537 PG 094

25783
LIBER 24537 PAGE 94
\$13.00 MISC RECORDING
\$2.00 REMONUMENTATION
01/17/2002 08:38:09 A.M. RECEIPT# 4451
PAID RECORDED - OAKLAND COUNTY
G.WILLIAM CADDELL, CLERK/REGISTER OF DEEDS

**FOURTH AMENDMENT TO MASTER DEED
OF
WILLIAMSBURG OF BIRMINGHAM**

Williamsburg of Birmingham, a Michigan nonprofit corporation the address of which is c/o of Herriman & Associates, Inc., 41486 Wilcox Road, Plymouth, Michigan 48170. Williamsburg of Birmingham, a condominium project established pursuant to the Master Deed thereof, recorded on June 8, 1980, in Liber 7799, Pages 701 through 725; Oakland County Records, and known as Oakland County Condominium Subdivision Plan No. 307, hereby amends the Master Deed of Williamsburg of Birmingham pursuant to the authority reserved in Article IVB2 of said Master Deed for the purpose of assigning carport as a Limited Common Element appurtenant to Unit 152.

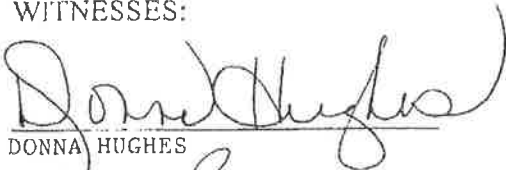
Upon recordation in the office of the Oakland County Register of Deeds of this Amendment, said Master Deed and Exhibit B thereto shall be amended in the following manner:

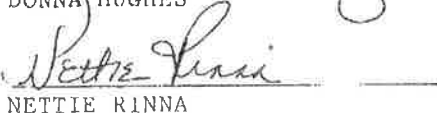
Amended Sheet C-3 of the Condominium Subdivision Plan for Williamsburg of Birmingham, as attached hereto, shall replace and supersede Sheet C-3 of the Condominium Subdivision Plan of Williamsburg of Birmingham as originally recorded and the originally recorded Sheet C-3 shall be of no further force or effect.

20-30-329-000 ent

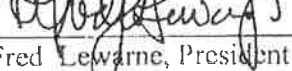
In all other respects other than as hereinabove indicated, the original Master Deed of Williamsburg of Birmingham as heretofore amended, including the Bylaws and Condominium Subdivision Plan respectively attached thereto as Exhibit A and B, recorded as aforesaid, is hereby ratified, confirmed and redeclared.

WITNESSES:


DONNA HUGHES


NETTIE RINNA

WILLIAMSBURG OF BIRMINGHAM ASSOCIATION,
a Michigan nonprofit corporation

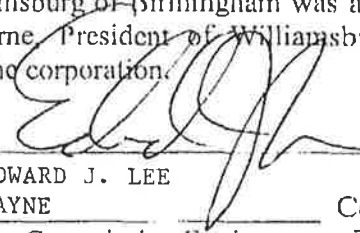
BY: 
Fred Lewarne, President

O.K. - KB

O.K. - RC

STATE OF MICHIGAN)
) ss.
 COUNTY OF WAYNE)

The foregoing Fourth Amendment to Master Deed of Williamsburg of Birmingham was acknowledged before me this 13th day of November, 2001, by Fred Lewarne, President of Williamsburg of Birmingham Association, a Michigan nonprofit corporation, on behalf of the corporation.


 EDWARD J. LEE, Notary Public
 WAYNE County, Michigan
 My Commission Expires: 7/13/04

DRAFTED BY AND WHEN
 RECORDED RETURN TO:
 D. DOUGLAS ALEXANDER
 217 W. ANN ARBOR RD., STE. 212
 PLYMOUTH, MI 48170

FILE # 245370096

ATTENTION: COUNTY REGISTER OF DEEDS
THE CONDOMINIUM SUBDIVISION PLAN NUMBER MUST
BE ASSIGNED IN CONSECUTIVE SEQUENCE WHEN A
NUMBER HAS BEEN ASSIGNED TO THIS PROJECT IT
MUST BE PROBABLY SHOWN IN THE FILES ON THIS SHEET
AND IN THE SURVYOR'S CERTIFICATION SHEET (C)

OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 307

4th AMENDMENT TO
EXHIBIT B TO MASTER DEED OF
WILLIAMSBURG OF BIRMINGHAM
CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN

DEVELOPER

WILLIAMSBURG TRADING COMPANY
A MICHIGAN CO-PARTNERSHIP
480 PIERCE ST.
BIRMINGHAM, MICHIGAN 48031

SUCCESSOR TO DEVELOPER

WILLIAMSBURG OF BIRMINGHAM ASSOCIATES
ADDRESS: C/O HERRIMAN ASSOCIATES
41486 WILCOX ROAD
PLYMOUTH, MICHIGAN 48170

LEGAL DESCRIPTION

LOTS 5 THROUGH 14, IN CLUSTER "GREENFIELD TERRACE", A SUBDIVISION OF PART OF THE
SOUTHWEST 1/4 OF OAKLAND COUNTY, MICHIGAN AS RECORDED IN CLUSTER #1 PLATS, PAGE 25,
OAKLAND COUNTY RECORDS, SECTION 36, T25N, R11E, CITY OF BIRMINGHAM.

INDEX OF DRAWINGS

- | NO. | TITLE |
|-----|-------------------------------|
| 01 | COVER SHEET |
| 02 | SURVEY & UTILITY PLAN |
| 03 | SITE PLAN |
| 04 | PERIMETER PLANS |
| 05 | TYPICAL FLOOR PLANS & SECTION |

NOT AS SHOWN AS: AS SHOWN IN THE INDEX OF DRAWINGS, NOT INDICATES AMENDED DRAWINGS
DRAWN ARE REVISED DATED 5-1-12, THESE DRAWINGS ARE TO REPLACE OR TO BE
SUPPLEMENTAL TO THOSE PREVIOUSLY RECORDED



AS BUILT

WILLIAMSBURG TRADING COMPANY A MICH CO-PARTNERSHIP 480 PIERCE ST. BIRMINGHAM, MICHIGAN 48031		PROFESSIONAL ENGINEERING ASSOCIATES 216 Exchange Dr. SE Tomball, TX 77375 281-297-9676
COVER BY WILLIAMSBURG OF BIRMINGHAM ASSOCIATES		
DATE 5-1-12	BY NICOLA MARINI	



You're shopping
Troy
 OPEN until 10 pm

Delivering to
48084








Search



Cart | 0 items

[Home](#) / [Lumber & Composites](#) / [Fencing](#) / [Vinyl Fencing](#) / [Vinyl Fence Panels](#)

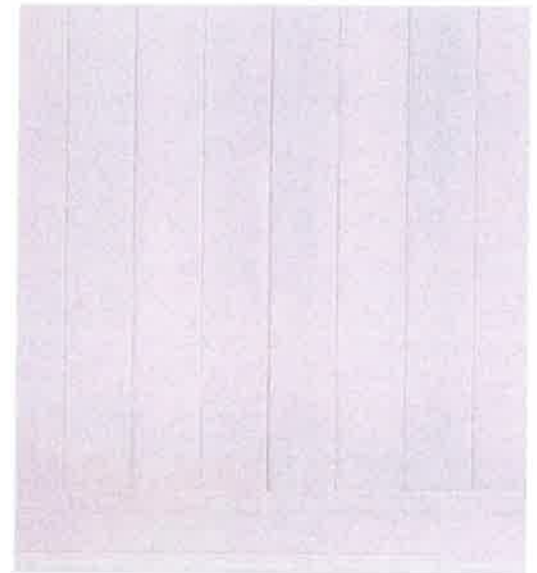
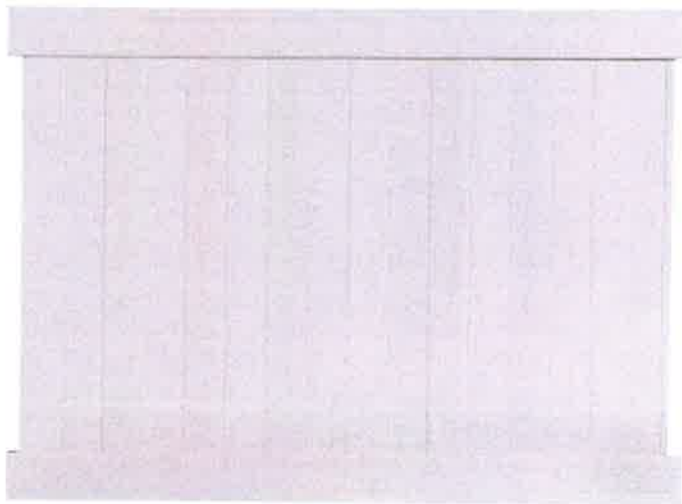
Customers Who Viewed This Also Viewed

						
Wexford 6 ft. x 8 ft. Tan and White Vinyl Fence Panel ★★★★★ (1)	Veranda 6 ft. H x 6 ft. W White Vinyl Windham Fence ★★★★★ (229)	Veranda Pro-Series 6 ft. H x 6 ft. W Tan Vinyl ★★★★★ (25)	SIXTH AVENUE BUILDING PRODUCTS ★★★★★ (2)	Veranda Somerset 6 ft. H x 6 ft. W Tan Vinyl Privacy ★★★★★ (106)	SIXTH AVENUE BUILDING PRODUCTS ★★★★★ (0)	Belfast 6 ft. x 6 ft. White Vinyl Fence Panel ★★★★★ (7)
\$203 ⁶⁹	\$78 ⁶³	\$158 ²²	\$207 ⁰⁰	\$126 ⁰⁹ /box	\$193 ⁷⁶	\$126 ⁰⁹

Live Chat

Feedback

Internet #313724511 Model #8898290HD



Hover Image to Zoom

6 ft. x 8 ft. Fairfax **Almond** Vinyl Privacy Fence Panel
by **Veranda** (Brand Rating: 3.9/5)



[Write the First Review](#) [Questions & Answers](#)



Save up to \$100 on your qualifying purchase.
[Apply for a Home Depot Consumer Card](#)

How To Get it



Veranda™ Vinyl Fence

LIFETIME LIMITED WARRANTY

IMPORTANT: This is your warranty certificate. Attach your invoice and proof of warranty.

ELIGIBILITY

Universal Consumer Products, Inc. (the "Warrantor"), is pleased to extend this Lifetime Limited Warranty to you, the original consumer of the Veranda Vinyl Fence product. This Warranty is valid for Veranda Vinyl Fence material used in standard residential applications and may not be assigned or transferred by you.

WARRANTY

LIFETIME LIMITED WARRANTY

Warrantor at its option will repair or replace any Veranda Vinyl Fence product used in a fence application that warps, bows, sags, peels, flakes, splinters, corrodes, rusts or abnormally discolors for as long as you own the product. This Warranty does not cover costs of installation, removal or reinstallation. This Warranty does not cover variations in color or fading. Warrantor's sole obligation is limited to repair or replacement of the defective product. If a claim is made under this Warranty for a product that is no longer available, Warrantor reserves the right to substitute replacement with a similar product of equivalent quality and value at Warrantor's discretion.

LIMITATIONS ON WARRANTY

The Warranty does not apply to any product that is damaged by physical abuse, acts of God, acts of war, or other chemical or biological factors; or has not been installed in accordance with Warrantor's installation guidelines and local building codes; or has been placed under or subjected to abnormal residential use conditions; or has been used, modified or otherwise treated in any manner other than as intended by Warrantor. Failure to follow any instructions, restrictions or warnings supplied with the product shall make the Warranty null and void and of no further effect. Any construction or use of this product must be in accordance with all local zoning and/or building codes.

The consumer assumes all risk and liability associated with the construction, installation or use of this product. The consumer or contractor should take all necessary steps to ensure the safety of everyone involved in the project, including, but not limited to, wearing the appropriate safety equipment. Warrantor reserves the right to investigate any claim and to inspect the materials for which the claim is made.

Warrantor shall not be liable for any incidental or consequential damages. Some states do not allow limitations on how long an implied warranty lasts and/or do not allow the exclusion of incidental or consequential damages, so the above limitation and exclusions may not apply to you. This Warranty gives you specific legal rights, and you may also have other rights which vary from state to state.

CLAIM PROCEDURE

To make a claim under this Warranty to receive replacement product, the original owner must, within ninety (90) days of actual or constructive notice of damage covered by this Warranty, do the following:

- (1) Prepare a letter that includes the following:
 - A list of the number of pieces and the size of each piece for which the claim is made.
 - Proof of Purchase of the product, as shown on the original invoice.
 - Proof of Warranty, such as the original end tag from the product, copy of the mark on the product or other evidence.
- (2) Mail the above information to:
Universal Consumer Products, Inc.
Warranty Information
2801 East Beltline NE
Grand Rapids, Michigan 49525.

WARRANTOR DOES NOT MAKE ANY IMPLIED WARRANTY OF MERCHANTABILITY OR FITNESS OF THE PRODUCT FOR A PARTICULAR PURPOSE. THERE ARE NO OTHER WARRANTIES WHICH EXTEND BEYOND THE DESCRIPTION IN THE FACE HEREOF.

Product Information

What is Veranda's Vinyl Fence made of?

Vinyl is short for polyvinyl chloride (PVC), which is used for pipe, windows, and other construction products. For our fence components, we add titanium dioxide (TiO₂) UV inhibitors and acrylic impact modifiers. This blend of ingredients ensures a durable, low-maintenance fence that lasts a lifetime.

How strong is vinyl?

Our vinyl contains impact modifiers that meet or exceed all ASTM standards for vinyl fencing. Vinyl has five times the tensile strength of wood and four times the flexibility. If your vinyl does become damaged as a result of unusual impact, it can easily be replaced.

Does Veranda's vinyl meet building codes?

Our vinyl is designed to meet or exceed most major building code regulations. Codes differ from region to region, so please consult your local code official before installing your fence.

What kind of warranty is available for vinyl fencing?

We offer a lifetime limited warranty for our vinyl fencing products.

Does vinyl become brittle in winter?

Vinyl becomes less flexible when exposed to cold climate, but it's designed to accommodate normal temperature fluctuations. The added impact modifiers prevent vinyl from breaking or cracking unless it's exposed to unusual impact.

How does vinyl hold up to weed trimmers?

Direct contact with lawn and garden equipment can damage vinyl fence posts. Use caution when operating such equipment near your fence.

Will vinyl become yellow over time?

No. Our vinyl contains TiO₂, which has been proven to prevent discoloration from exposure to the sun and the environment. All of our vinyl products are warranted against discoloration for 20 years.

Will vinyl burn?

Vinyl will burn, but unlike wood, once the flame has been removed, vinyl is self-extinguishing.

Can I paint vinyl?

Vinyl is a non-porous material; therefore, paint doesn't adhere to it well. Only epoxy-based paint will stick to vinyl over an extended period of time. But paint can damage the vinyl's surface and thus voids the warranty.

Is vinyl graffiti-proof?

Although not classified as graffiti-proof, the non-porous surface makes it difficult for graffiti to adhere to vinyl. Most paint can be removed with ease using a mild detergent and water. For stubborn stains, you may want to use a pressure washer or paint thinner.

Does vinyl fencing resist mold and mildew?

Vinyl fencing is smooth and non-porous, which makes it difficult for mildew to grow. Mildew will form only under the wettest conditions, but is easily removed with water and a mild detergent.

How does the price of vinyl compare to that of wood?

Over time, the price of vinyl compares favorably with wood. Through the years, the cost to maintain a wood fence adds up. Vinyl is virtually maintenance-free, so you won't spend time and money painting, staining, or repairing a vinyl fence.

Installation

Does the installation of vinyl differ from that of wood fencing?

Vinyl fencing installs much like a wood panel, but we recommend that you install one fence section as each post hole is dug, prepared, and filled with concrete. Refer to the installation instructions for more information.

Should I fill my vinyl fence posts with cement?

You do not need to fill your vinyl fence posts with cement in most applications. If you live in an area with high winds or extreme weather, it is good practice to cement all your posts for added stability.

Care and Cleaning

What kind of care and maintenance does vinyl require?

Vinyl is virtually maintenance-free. There's no need to scrape, paint, or stain a vinyl fence. As with most exterior products, our fence may become dirty when exposed to the elements. Pressure washing with a mild detergent and water should keep your vinyl fence looking new. For stubborn stains, use a non-abrasive cleanser and a soft-bristled brush.



PRO SERIES PRIVACY PANEL ASSEMBLY INSTRUCTIONS

Items you may need

- | | | |
|--------------------|---------------|------------------|
| • Fence posts* | • Screwdriver | • Gravel |
| • Posthole digger | • Level | • Shims |
| • Measuring tape | • Chop saw | • Pencil |
| • Clear PVC cement | • String line | • Safety glasses |
| • Drill | • Concrete | • Gloves |

*One per panel, plus one to complete the fence run

Kit contents

5x8 Panel and 6x8 Panel

- 15 — Panel pickets
- 2 — U-channels
- 1 — Top rail
- 1 — Reinforced bottom rail

4x6 Panel and 6x6 Panel

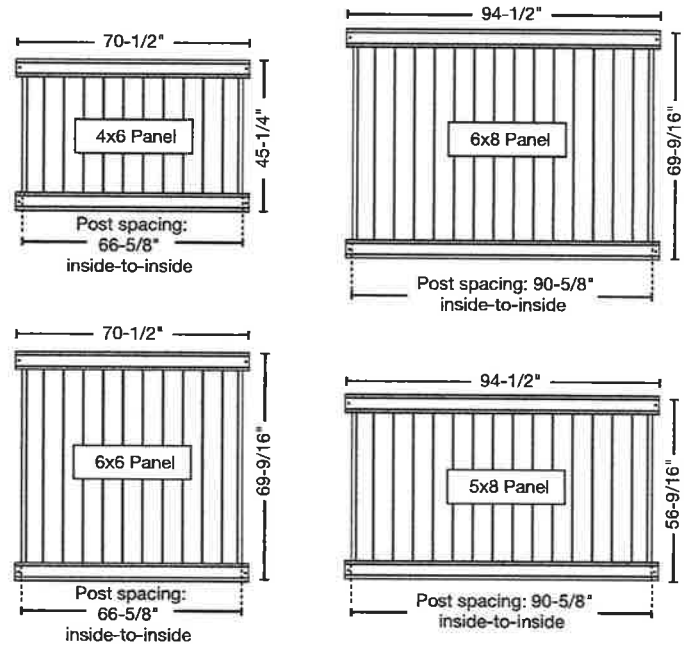
- 11 — Panel pickets
- 2 — U-channels
- 1 — Top rail
- 1 — Reinforced bottom rail

Preparation

Check local ordinances and regulations before building your fence. Before construction, contact your local utility companies to mark any underground cables and pipelines. In addition, it is a good idea to discuss plans with any neighbors along your proposed fence line.

Design and layout

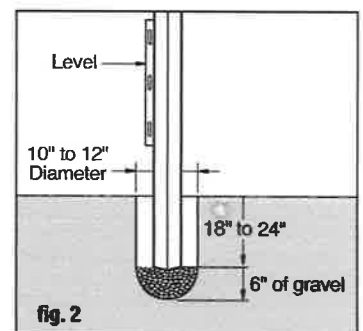
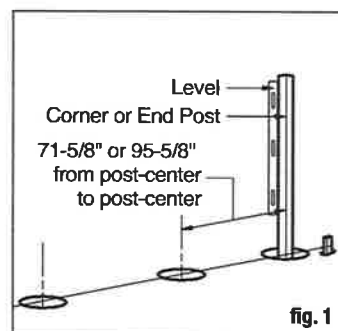
- Determine the number of posts, panels and gates needed to complete the job based on the total linear footage. Take into consideration post, panel and gate widths when determining the total number of each.
- Adjust layout to accommodate as many full panels as possible. If you must use a partial panel, place it in the farthest rear corner of the property.
- Locate property boundaries and drive stakes into the ground at corners and ends of fence line, based on local municipality regulations.
- Stretch twine or heavy string between stakes and pull tight to mark layout of fence line.
- Be sure to measure your fence panels and gates prior to determining the location of the postholes. Place posts in the following order along string line:
 - End/corner posts
 - Gate posts
 - Line posts



Digging postholes

Post hole spacing is 71-5/8 in. post-center to post-center for the 4x6 and 6x6 panels and 95-5/8 in. post-center to post-center for the 5x8 and 6x8 panels (fig. 1). Mark post hole locations along string line. Double check all measurements. Check local regulations for any special requirements for post hole depth. The fence will be stronger if the end, corner and gate posts are set at least 6" deeper than the line posts. Using a posthole digger or power auger, dig the holes 10-12" wide and 6" deeper than needed. Backfill the holes with 6" of gravel to drain water away from the bottom of the posts (fig. 2). Keep the height of your fence panels in mind when digging your postholes.

Starting in the corner, mix concrete in the first hole per the instructions on the bag. Mix thoroughly and install the post into the hole and tap the post to the proper depth. We recommend a 2" gap from the ground to the bottom of the panel. Use a level to ensure the fence post is plumb and the post is square with the ground. Brace the post with temporary supports as the concrete sets (per the instructions).



PRO SERIES PRIVACY PANEL ASSEMBLY INSTRUCTIONS, CONTINUED

Assembling the panel

STEP 1

Install first post with concrete (See "Digging postholes" and fig. 2).

STEP 2

Slide the bottom rail into place at the bottom of the routed post (fig. 3).

STEP 3

Install the second post into the ground and **temporarily** secure into place. Set the bottom rail into the second post and level (fig. 4). (You will secure the second post with concrete in Step 7.)

STEP 4

Slide one U-channel onto the first picket and center it vertically. Place the bottom of the first picket (with U-channel attached) securely into the channel of the bottom rail and slide against the first post (fig. 5). The U-channel should be between the post and the picket.

STEP 5

Continue installing each picket. The pickets feature a tongue-and-groove design so that each picket fits securely into the one next to it. Repeat with each picket until there is one picket left (fig. 6).

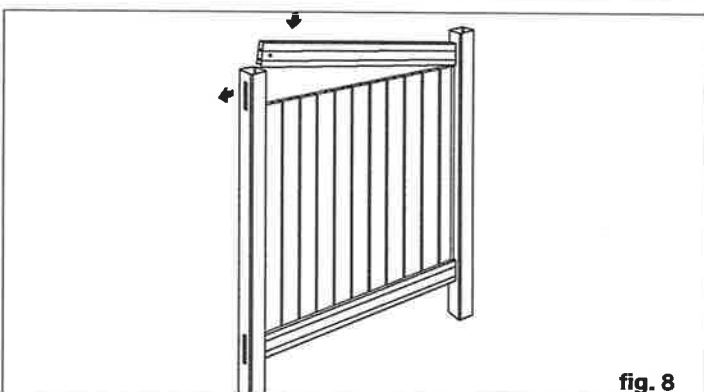
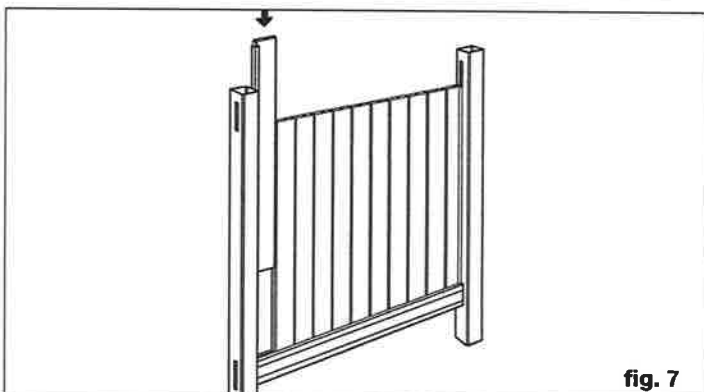
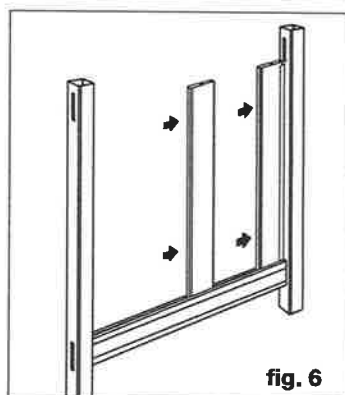
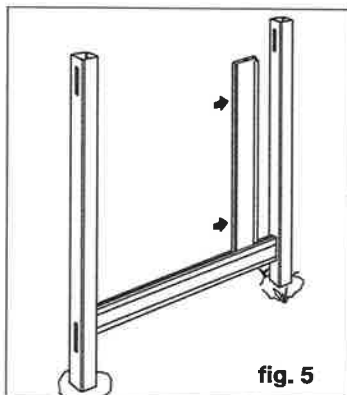
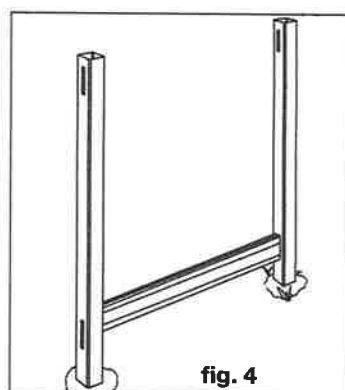
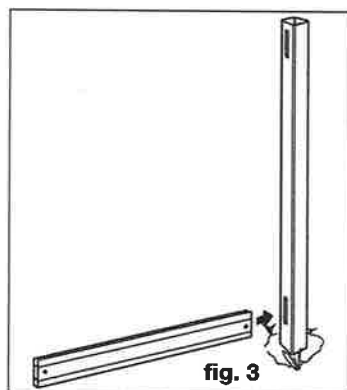
STEP 6

Slide the second U-channel onto the last picket and center it vertically. Install the last picket (fig. 7).

STEP 7

When all pickets have been placed, secure the top rail to the top routed hole in the first post. Working from one side to the other, slide the rail over the picket(s). In order to fasten the rail into the second post, shift the post slightly until the rail can be fitted (fig 8). Once the rail is securely locked in, the pickets will form a solid panel.

Backfill the second post with concrete and make sure it's set before moving down the fence line. This will always allow one post to be anchored while each panel section is assembled. To continue building your fence line, repeat Steps 1-7.



THE DIAGRAMS AND INSTRUCTIONS IN THIS BROCHURE ARE FOR ILLUSTRATION PURPOSES ONLY AND ARE NOT MEANT TO REPLACE A LICENSED PROFESSIONAL. ANY CONSTRUCTION OR USE OF THE PRODUCT MUST BE IN ACCORDANCE WITH ALL LOCAL ZONING AND/OR BUILDING CODES. THE CONSUMER ASSUMES ALL RISKS AND LIABILITY ASSOCIATED WITH THE CONSTRUCTION OR USE OF THIS PRODUCT. THE CONSUMER OR CONTRACTOR SHOULD TAKE ALL NECESSARY STEPS TO ENSURE THE SAFETY OF EVERYONE INVOLVED IN THE PROJECT, INCLUDING, BUT NOT LIMITED TO, WEARING THE APPROPRIATE SAFETY EQUIPMENT. EXCEPT AS CONTAINED IN THE WRITTEN LIMITED WARRANTY, THE WARRANTOR DOES NOT PROVIDE ANY OTHER WARRANTY, EITHER EXPRESS OR IMPLIED, AND SHALL NOT BE LIABLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES.



APPROVED

8/10/21
PAA-21-0070

Administrative Approval Application
Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: WD Partners, Brian Lorenz, AICP, LEED AP
Address: _____
7007 Discovery Blvd. Dublin, OH 43017
Phone Number: 614.726.0999
Email: brian.lorenz@wdpartners.com

2. Property Owner

Name: ~~Topvalco, INC~~ FIRST BIRMINGHAM LLC
Address: 1014 Vine Street Cincinnati, OH 45202-1141
Phone Number: _____
Email: _____

3. Project Contact Person

Name: Same as 1
Address: _____
Phone Number: _____
Email: _____

4. Project Designer/Developer

Name: Same as 1
Address: _____
Phone Number: _____
Email: _____

5. Required Attachments

- Two (2) folded copies of project plans including an itemized list of all changes for which Administrative Approval is requested, with the changes marked in color on all elevations
- One (1) digital copy of project plans
- Warranty Deed with legal description of property
- Photographs of existing conditions on the site where changes are proposed
- Material samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- Completed Administrative Approval checklist

6. Project Information

Address/Location of Property: 795 East Maple
Name of Development: _____
Parcel ID#: 08-19-25-483-032
Current Use: RETAIL
Proposed Use: RETAIL
Area of Site in Acres: 1.253
Current Zoning: B2

	Yes	No
Is the property located in a floodplain? -----	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the property within a Historic District? ---	<input type="checkbox"/>	<input checked="" type="checkbox"/>
→ If so, which? <u>HDDRC</u>		
Will the project require a variance? -----	<input type="checkbox"/>	<input checked="" type="checkbox"/>
→ If so, how many? _____		
Has the project been reviewed by a Board?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
→ If so, which? <u>NA</u>		

7. Details of the Request for Administrative Approval

VERIFY EXISTING PARAPET HEIGHT AND PROVIDE CONFIRMATION THE NEW RTU WILL NOT EXCEED SAID HEIGHT.

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan. By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Applicant: Brian Lorenz, AICP, LEED AP

Date: July 2, 2021

Office Use Only

Application #: PAA-21-0070

Date Received: 7/14/21

Fee: \$ 100

Date of Approval: 8/10/21

Date of Denial: N/A

Reviewed By: _____



CONSENT OF PROPERTY OWNER

I, Warren Terrace, OF THE STATE OF Michigan AND
(Name of Property Owner)

COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 795 East Maple Street;
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of
Birmingham by: Brian Lorenz, AICP, LEED AP;
(Name of Applicant)

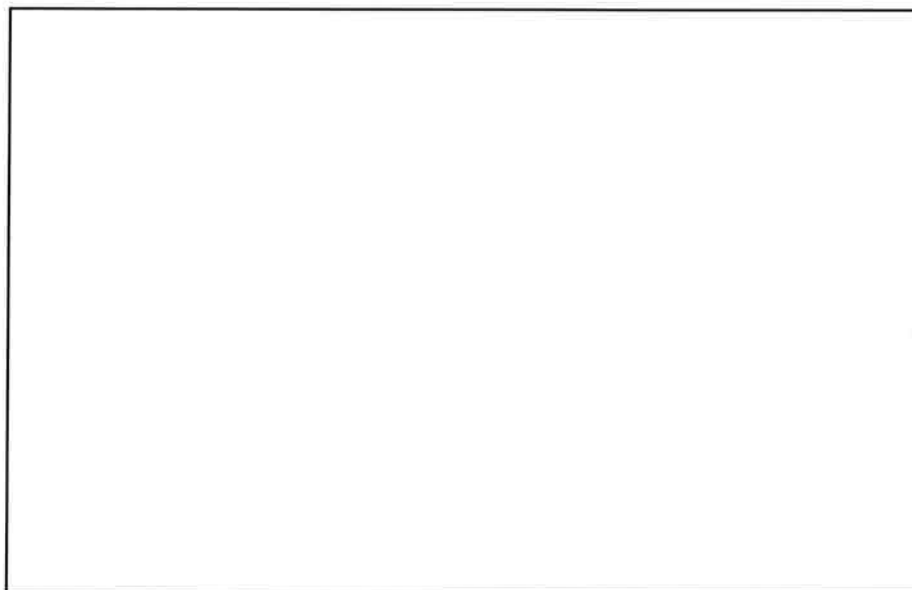
3. That I have no objections to, and consent to the request(s) described in the Application made to the
City of Birmingham.

Name of Owner (Printed): FIRST Birmingham LLC

Signature of Owner: Warren Terrace Date: July 14 2021
WARREN TERRACE

48GC 04-06 WEATHERMASTER® SERIES SINGLE PACKAGE ROOFTOP WITH ECOBBLUE™ TECHNOLOGY GAS HEAT/ELECTRIC COOLING UNITS

- PERFORMANCE DATA**
- CERTIFIED DIMENSION PRINTS**
- CERTIFIED ROOF CURB DETAILS**



PERFORMANCE DATA

Unit Operating Weight _____ lb Exhaust Fan Motor Size _____ HP
COOLING Curb Weight _____ lb
Gross Total Capacity _____ Btuh
at Condenser Air Temperature _____ °F
Gross Sensible Capacity _____ Btuh
Compressor Power Input _____ kW
Indoor Entering: db _____ °F / wb _____ °F
Airflow _____ CFM External Static Pressure _____ in. wg
Indoor Fan Motor Size _____ HP
Indoor Fan Motor Setting _____ Vdc

HEATING (GAS)

Heating Capacity:
Stage 1 _____ Btuh
Stage 2 _____ Btuh
Heating Capacity Total _____ Btuh
Stage 1 _____ kW
Stage 2 _____ kW
Heating Capacity Total _____ kW

ELECTRICAL DATA

Power Supply to Unit _____
Volts _____
Phase _____ Hz
Maximum Circuit Amps _____
Maximum Overcurrent Protection _____

SUBMITTAL DATA

Job Name _____
Architect _____
Engineer _____
Contractor _____
Unit Designation _____



FACTORY-INSTALLED OPTIONS (CONT)

- | | |
|--|---|
| <ul style="list-style-type: none"> <input type="checkbox"/> SystemVu™ controls that include: <ul style="list-style-type: none"> • Large full text - multi line display • USB Flash Port for data transfer • Built in i-Vu®, CCN and BACnet • Refrigerant pressure from display • Quick LED Status - Run, Alert, Fault • Conventional stat or sensor capabilities • Historical component runtime and starts • Supply air tempering • Equipment Touch™/ System Touch™ compatibility • Demand limiting and ZS sensor compatibility <input type="checkbox"/> RTU Open multi-protocol controller communicates to BACnet*, Modbus†, LonWorks**, and Johnson N2 protocols <input type="checkbox"/> Through the base connectors for gas and electric conduit/piping <input type="checkbox"/> Stainless steel gas heat exchanger (includes tubes, vestibule plate and collector box) <input type="checkbox"/> Humidi-MiZer® adaptive dehumidification system (This option also includes low ambient controls) <input type="checkbox"/> Low ambient head pressure controller, down to -20°F (-29°C) | <ul style="list-style-type: none"> <input type="checkbox"/> HACR circuit breaker <input type="checkbox"/> Non-fused disconnect <input type="checkbox"/> Powered 115-volt convenience outlet†† <input type="checkbox"/> Non-powered 115-volt convenience outlet <input type="checkbox"/> High static evaporator fan motor <input type="checkbox"/> Return air smoke detector <input type="checkbox"/> Supply air smoke detector <input type="checkbox"/> CO₂ sensor <input type="checkbox"/> Condenser hail guard-louvered style <input type="checkbox"/> Special coating protection for evaporator and condenser coils†† <input type="checkbox"/> Hinged panels for easy unit access <input type="checkbox"/> Foil faced insulation throughout entire cabinet <input type="checkbox"/> MERV-8 return air filters <input type="checkbox"/> Phase monitor protection (3-Phase models only) <input type="checkbox"/> Condensate overflow switch <input type="checkbox"/> Cu/Cu (indoor) coils†† |
|--|---|

Optional Warranties

- ☐ Complete unit parts only, up to 5 years
 - ☐ Complete unit parts and labor, up to 5 years
- Many other optional warranties are available. See the Commercial Start-Up and Optional Extended Warranty Price pages for further information.

* BACnet is a registered trademark of ASHRAE (American Society of Heating, Refrigerating and Air-Conditioning Engineers).

† Modbus is a registered trademark of Schneider Electric.

** LonWorks is a registered trademark of Echelon Corporation.

†† Not available on single-phase models.

FIELD-INSTALLED ACCESSORIES (CONT)

NOTE: 48GC models use two-speed indoor fan logic, the two-position damper and manual dampers are designed for single-speed motor control. See Application Tip "ROOFTOP-18-01" for further guidance when using this unit.

- ☐ Power exhaust — prop fan design
 - ☐ Two-position motorized outdoor air damper
 - ☐ Manual outside air damper 25%
 - ☐ Manual outside air damper 50%
 - ☐ Roof curb — 14 inch (356 mm) tall
 - ☐ Roof curb — 24 inch (610 mm) tall
 - ☐ Horizontal roof curb adapts to standard base unit and directs airflow horizontally
 - ☐ Thru-the-bottom connections, electrical only
 - ☐ Thru-the-bottom connections, electrical and gas
 - ☐ Thru-the-bottom electrical, control, and gas connection kit
 - ☐ Thru-the-bottom electrical and thru-the-curb gas connection kit
 - ☐ Condenser hail guard, louvered style
 - ☐ Flue shield
 - ☐ Flue discharge deflector
 - ☐ Liquid propane (LP) conversion kit
 - ☐ High altitude conversion kit
 - ☐ Phase monitor (loss of phase/phase reversal)
 - ☐ Winter start kit, down to 25°F (−4°C)
 - ☐ Low ambient head pressure controller, down to 0°F (−18°C)
 - ☐ Low ambient head pressure controller, down to −20°F (−29°C)
 - ☐ Time Guard II compressor anti-cycle protection
 - ☐ Condensate overflow switch
 - ☐ Non-powered 115-volt (20 amp) convenience outlet
 - ☐ Condensate overflow switch
 - ☐ Motor status indicator switch
 - ☐ Fan/Filter status indicator switch
 - ☐ Thermostats and sensors
- NOTE: These models have two stage cooling capability, use appropriate thermostat.

Economizer Sensors

- ☐ Single dry bulb control
- ☐ Differential dry bulb control
- ☐ Single enthalpy control
- ☐ Differential enthalpy control
- ☐ CO₂ — wall mounted
- ☐ CO₂ — duct mounted
- ☐ CO₂ — unit mounted

UNIT DIMENSION PRINT

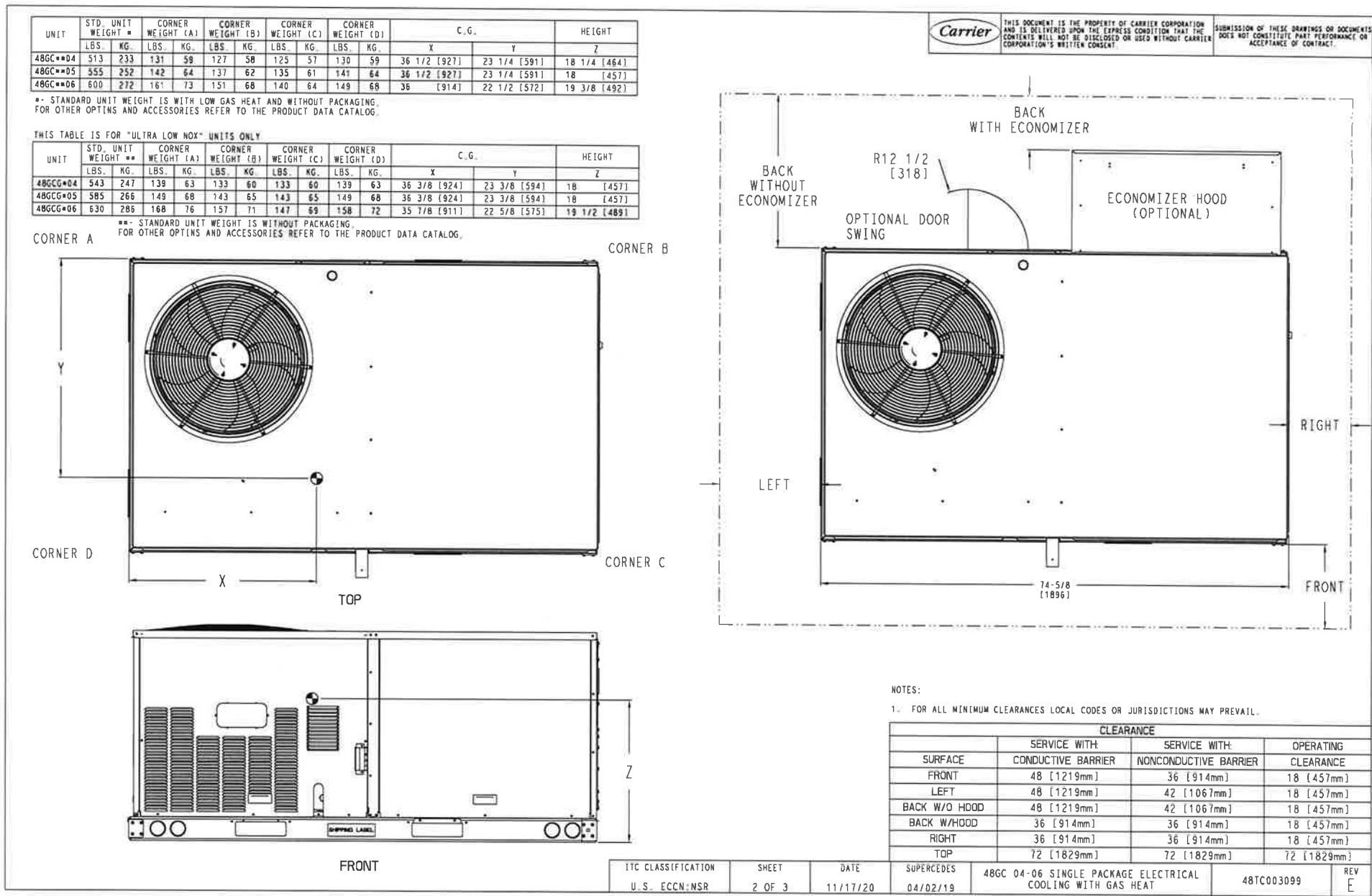



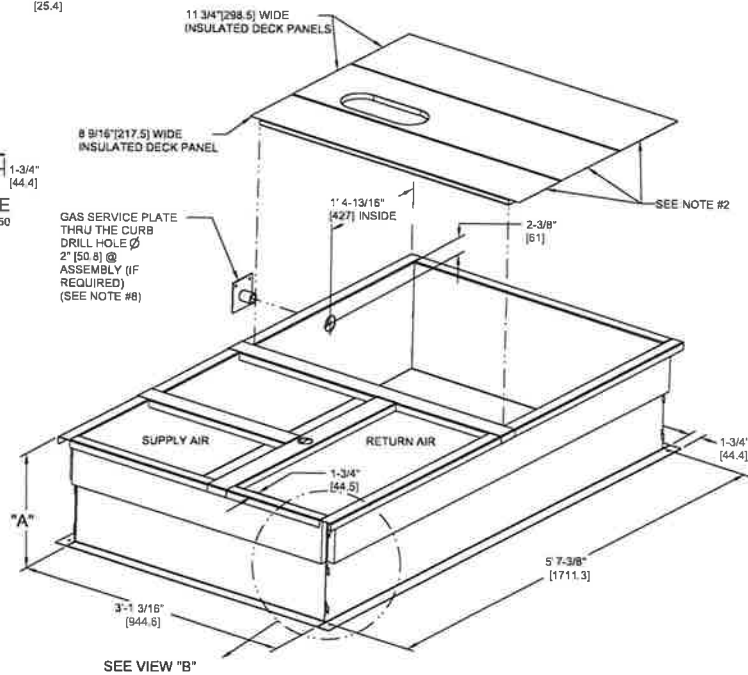
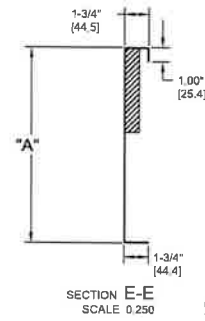
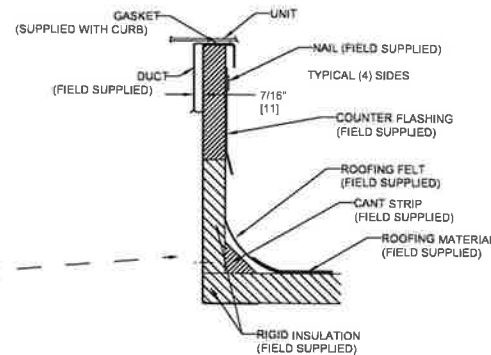
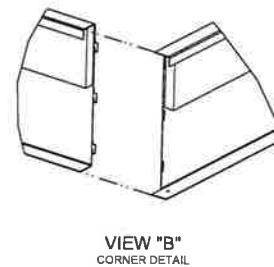
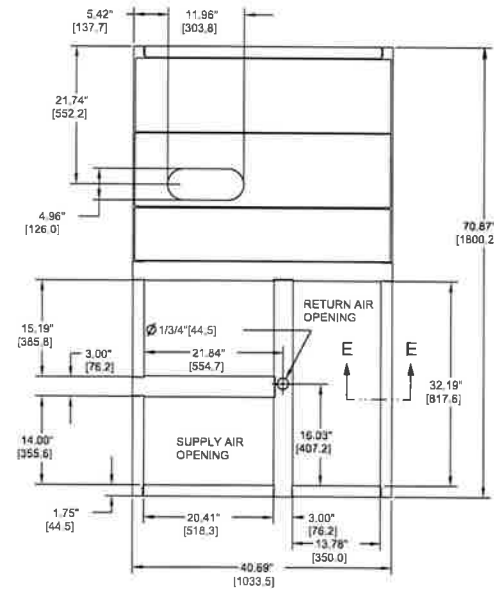
Fig. 1 — 48GC*04-06 Unit Dimensions (cont)

ACCESSORY DIMENSION PRINT

ROOF CURB ACCESSORY #	A
CRRFCURB001A01	14" [356]
CRRFCURB002A01	24" [610]

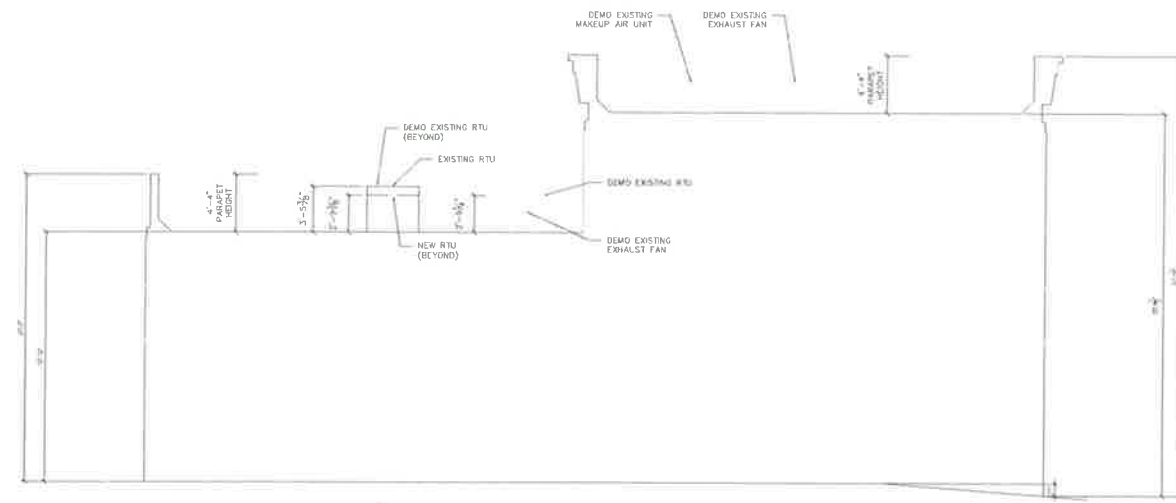
- NOTES:
 1. ROOFCURB ACCESSORY IS SHIPPED DISASSEMBLED.
 2. INSULATED PANELS: 25.4 [1"] THK. POLYURETHANE FOAM, 44.5 [1-3/4"] # DENSITY.
 3. DIMENSIONS IN [] ARE IN MILLIMETERS.
 4. ROOFCURB: 18 GAGE STEEL.
 5. ATTACH DUCTWORK TO CURB. (FLANGES OF DUCT REST ON CURB).
 6. SERVICE CLEARANCE 4 FEET ON EACH SIDE.
 7.  DIRECTION OF AIR FLOW.
 8. CONNECTOR PACKAGE CRBTMPWR001A01 IS FOR THRU-THE-CURB GAS TYPE PACKAGE CRBTMPWR003A01 IS FOR THRU-THE-BOTTOM TYPE GAS CONNECTIONS.

CONNECTOR PKG. ACC.	GAS CONNECTION TYPE	GAS FITTING	POWER WIRING FITTING	CONTROL WIRING FITTING	ACCESSORY CONVENIENCE OUTLET WIRING CONNECTOR
CRBTMPWR001A01	THRU THE CURB	3/4" [19] NPT	3/4" [19] NPT	1/2" [12.7] NPT	1/2" [12.7] NPT
CRBTMPWR003A01	THRU THE BOTTOM	1/2" [12.7] NPT			

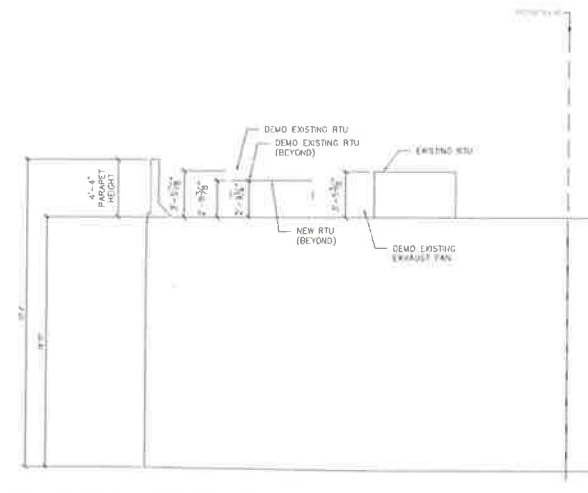


48TC400427

Fig. 2 — 48GC*04-06 Roof Curb Dimensions

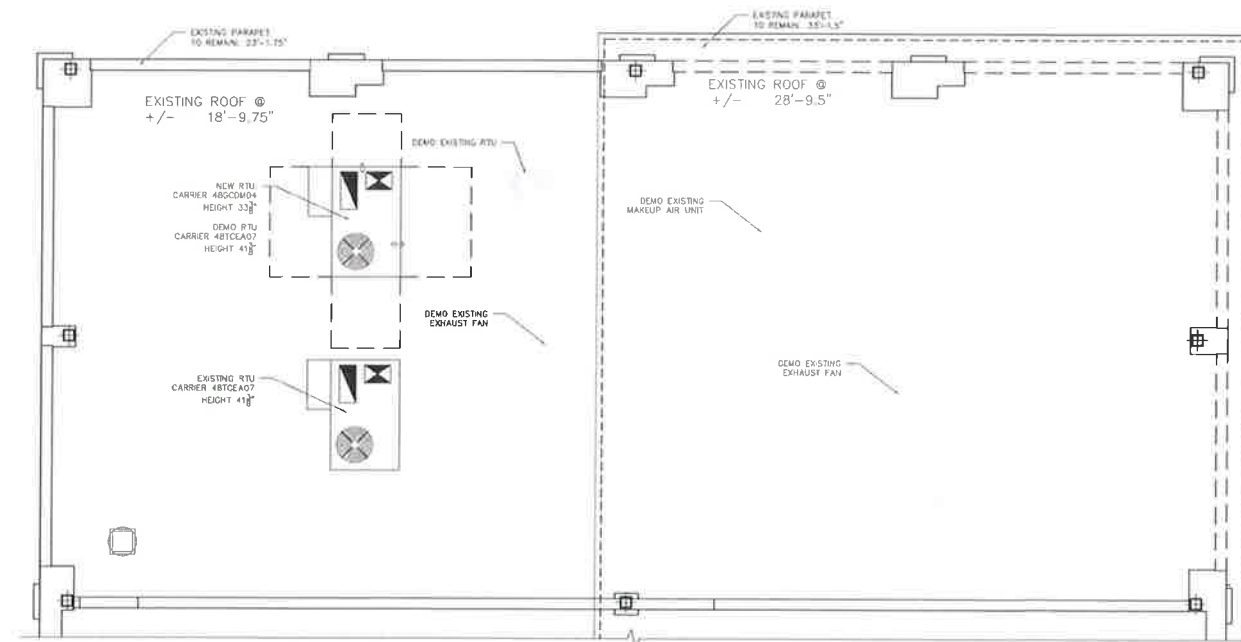


LONGITUDINAL SECTION - FACING WEST



CROSS SECTION - FACING SOUTH

ROOF SECTIONS



ROOF PLAN

APPROVED
8/2/21
PAA 21-00 20

wd

7007 DISCOVERY BLVD
DUBLIN, OH 43017
614.634.7000 T
WWW.PARTYERS.COM

Citizens Bank

Birmingham
795 E Maple Rd
Birmingham, MI
48009

ROOF PLAN

ISSUE TYPE: CONSTRUCTION DOCUMENT	REVISED: REV: 1231201
ISSUE DATE: 05/11/2021	
DRAWN BY: P. BAROCHIA	

SCALE:
1/4"=1'-0"

CITIZENS BANK

A10.03



CITY OF BIRMINGHAM
Date 07/13/2021 2:44:16 PM
Ref 00181522
Receipt \$85.00
Amount \$100.00

APPROVED
8/2/21



Administrative Approval Application Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: Jeffrey Lance Abood
Address: _____
855 Forest Ave., Birmingham MI 48009
Phone Number: 248.635.0000
Email: jeff@aboodlaw.com

2. Property Owner

Name: Jeffrey Lance Abood
Address: _____
855 Forest Ave., Birmingham MI 48009
Phone Number: 248.635.0000
Email: jeff@aboodlaw.com

3. Project Contact Person

Name: Constantine George Pappas
Address: _____
1025 S. Washington, Royal Oak MI 48067
Phone Number: 248.629.8998
Email: cgpappas@cgp-architecture.com

4. Project Designer/Developer

Name: Constantine George Pappas SAIA
Address: _____
1025 S. Washington, Royal Oak MI 48067
Phone Number: 248.629.8998
Email: cgpappas@cgp-architecture.com

5. Required Attachments

- Two (2) folded copies of project plans including an itemized list of all changes for which Administrative Approval is requested, with the changes marked in color on all elevations
- One (1) digital copy of project plans
- Warranty Deed with legal description of property
- Photographs of existing conditions on the site where changes are proposed
- Material samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- Completed Administrative Approval checklist

6. Project Information

Address/Location of Property: _____
855 Forest Ave., Birmingham MI 48009
Name of Development: 855 Forest Building
Parcel ID#: 1936227008
Current Use: Office
Proposed Use: Office
Area of Site in Acres: 0.152
Current Zoning: BI

	Yes	No
Is the property located in a floodplain? -----	<input type="checkbox"/>	<input type="checkbox"/>
Is the property within a Historic District? ---	<input type="checkbox"/>	<input type="checkbox"/>
→ If so, which? _____		
Will the project require a variance? -----	<input type="checkbox"/>	<input type="checkbox"/>
→ If so, how many? _____		
Has the project been reviewed by a Board? _____	<input type="checkbox"/>	<input type="checkbox"/>
→ If so, which? <u>Planning Commission and Design Commission</u>		

7. Details of the Request for Administrative Approval

Change in materials and entry door location based on original site plan approval

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan. By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Applicant: 1st Jeffrey Lance Abood

Date: 07/07/2021

Office Use Only			
Application #: <u>PAA21-0066</u>	Date Received: <u>7/7/21</u>	Fee: \$ <u>100.00</u>	
Date of Approval: <u>8/2/21</u>	Date of Denial: <u>N/A</u>	Reviewed By: _____	



CONSENT OF PROPERTY OWNER

Jeffrey Lance Abood Michigan
I, _____, OF THE STATE OF _____ AND
(Name of Property Owner)
Oakland
COUNTY OF _____ STATE THE FOLLOWING:

855 Forest Ave., Birmingham MI 48009

1. That I am the owner of real estate located at _____;
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of

Jeffrey Lance Abood
Birmingham by: _____;
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the
City of Birmingham.

Jeffrey Lance Abood
Name of Owner (Printed): _____

Signature of Owner: /s/ Jeffrey Lance Abood Date: 07/07/2021

letter of transmittal

date: June 28, 2021

to: Mr. Nicholas Dupuis – Planning Division
City of Birmingham – Community Development
151 Martin Street,
Birmingham, MI, 48009

project: Abood Law Firm
855 Forest Ave.,
Birmingham, MI, 48009

subject: City of Birmingham Revised Design Review Board Submittal
June 28, 2021

forward: See items below for your use

remarks:

Enclosed you will find:

1. One (1) copy of Building Permit Review Response Letter regarding Planning Division review.
2. One (1) copy of City of Birmingham Administrative Application.
3. One (1) copy of 24x36 set of drawings (City of Birmingham – Revised Design Review Board Submittal – 2021.01.22).
4. One (1) copy of 24x36 drawing (Revised Photometric – 2020.11.13)
5. One (1) copy of 24x36 set of drawings – (A1-01-Main Level Floor Plan, A2-01-Exterior Elevation, A2-02-Exterior Elevation - Revised Construction Documents – 2021.06.28).
6. One (1) copy of 8.5x11 set of perspectives (Revised Perspectives – June 28,2021).
7. One (1) copy of Glass Specification (Guardian Glass, LLC).

by: Joe Furtado - Constantine George Pappas AIA Architecture & Planning

copy: Jeff Abood & Andrew Abood – Abood Law

June 28, 2021

City of Birmingham
Community Development
151 Martin Street
Birmingham, Michigan 48012

Ref: Abood Law – Birmingham
855 Forest.
Birmingham, Michigan 48009
Building Permit Review – Planning Division Review
Subject: Building Permit Review Response Letter regarding Planning Division review:

Community Development Department,

We received the Building Permit - Planning Division Review email, dated June 23, 2021. Please find enclosed (below) the response to your Planning Division Review comments.

Building Permit Plan Review: Response to Community Development – Planning Division Review:

Concerns

1. Use Type/Zoning – The subject site is located within the O1 (Office) and ASF3 (Attached Single-Family) zoning districts.
The proposed use as a law office is permitted in the O1 district.
2. Parking – The applicant has not proposed a change in use on the property.
Thus, a parking analysis is not required.
3. Signage – The building plans submitted contain notes regarding signage that suggest that the building owner will seek signage approvals at a later date, and that signage is NOT being requested as a part of the building plans submitted. The signage was reviewed by the Design Review Board on November 18, 2020. The Design Review Board directed the applicant to resolve the sign issues presented by staff, which have not been formally resolved yet.
This item will be resolved when signage company submits for permit.
4. Exterior – There appear to be several exterior changes on the building plans submitted that do not match the approved site/design plans. These changes include entries, windows, materials, and other items that were never submitted in hard-copy format.
Per our phone conversation and email from Nicholas Dupuis, we have provided a copy of the Final Drawings approved by the Design Review Board for record. We have provided revised elevation drawings from our Construction Document set dated May 21, 2021 which show the modifications due to structure engineering items and final code review items.

Front Elevation: Items affected are as follows.

1. James Hardie Smooth Siding and new construction (See Drawings) in lieu of keeping the Existing Brick Wall - painted. Modifications due to structural items.
2. Relocation of New Entry Door (See Drawings). Modifications due to structural and Code items.

Back Elevation: Items affected are as follows.

- 1. Relocation of 1/16" Cor-Ten Steel Panels from middle of wall to bottom portion of wall (See Drawings). Modifications due to structural items and protections of material.**
- 2. Removal of Door (See Drawings). Modifications due to Code items and Security.**
5. Exterior – Per the request of the Planning Division (Nicholas Dupuis), we have provided images of the corrugated copper sun screen end panels to show the material, aesthetic appearance, and the change in material color through process of oxidation.

We trust that this letter addresses the items related to your review. If you have any questions or require further clarification, please feel free to contact our office.

Sincerely,



Evans P. Caruso

Constantine George Pappas Architecture / Planning

Evans Caruso

From: Heather Tolliver <htolliver@bhamgov.org>
Sent: Wednesday, June 23, 2021 10:33 AM
To: Evans Caruso
Subject: Review Notes

Please be advised that I have reviewed the building plans submitted for 855 Forest – Abood Law Firm. The plans depict DESCRIBE THE NATURE OF THE PLANS SUBMITTED. The Planning Division considers the following:

1. Use Type/Zoning – The subject site is located within the O1 (Office) and ASF3 (Attached Single-Family) zoning districts. The proposed use as a law office is permitted in the O1 district.
2. Parking – The applicant has not proposed a change in use on the property. Thus, a parking analysis is not required.
3. Signage – The building plans submitted contain notes regarding signage that suggest that the building owner will seek signage approvals at a later date, and that signage is NOT being requested as a part of the building plans submitted. The signage was reviewed by the Design Review Board on November 18, 2020. The Design Review Board directed the applicant to resolve the sign issues presented by staff, which have not been formally resolved yet.
4. Exterior – There appear to be several exterior changes on the building plans submitted that do not match the approved site/design plans. These changes include entries, windows, materials, and other items that were never submitted in hard-copy format.

Accordingly, the Planning Division DOES NOT APPROVE the building plan review for 855 Forest – Abood Law Firm.

--
Heather Tolliver
Office Coordinator
City of Birmingham
Community Development
248.530.1850
248.530.1294 Fax

Important Note to Residents

Let's connect! Join the Citywide Email System to receive important City updates and critical information specific to your neighborhood at www.bhamgov.org/citywideemail.

Evans Caruso

From: Nicholas Dupuis <ndupuis@bhamgov.org>
Sent: Thursday, June 24, 2021 10:25 AM
To: Evans Caruso
Subject: 855 Forest
Attachments: Administrative Approval Application - June 2020.pdf

Hi Evans!

To summarize our phone conversation today:

1. We need to finish up the Design Review application that was approved in late 2020. All that I need is one hard copy set of the plans that were approved by the Design Review Board, which were dated January 2021 we believe.
2. The changes that have been proposed after your work with the structural engineer will require Administrative Approval. I requested the building elevations and the floor plan with all changes bubbled for clarity. The application is attached.

Questions? Let me know!!

--
Nicholas J. Dupuis

Planning Department



Email: ndupuis@bhamgov.org

Office: 248-530-1856

Social: [Linkedin](#)

Important Note to Residents

Let's connect! Join the Citywide Email System to receive important City updates and critical information specific to your neighborhood at www.bhamgov.org/citywideemail.

Abood Law Firm

Birmingham, Michigan

Project No. 202017

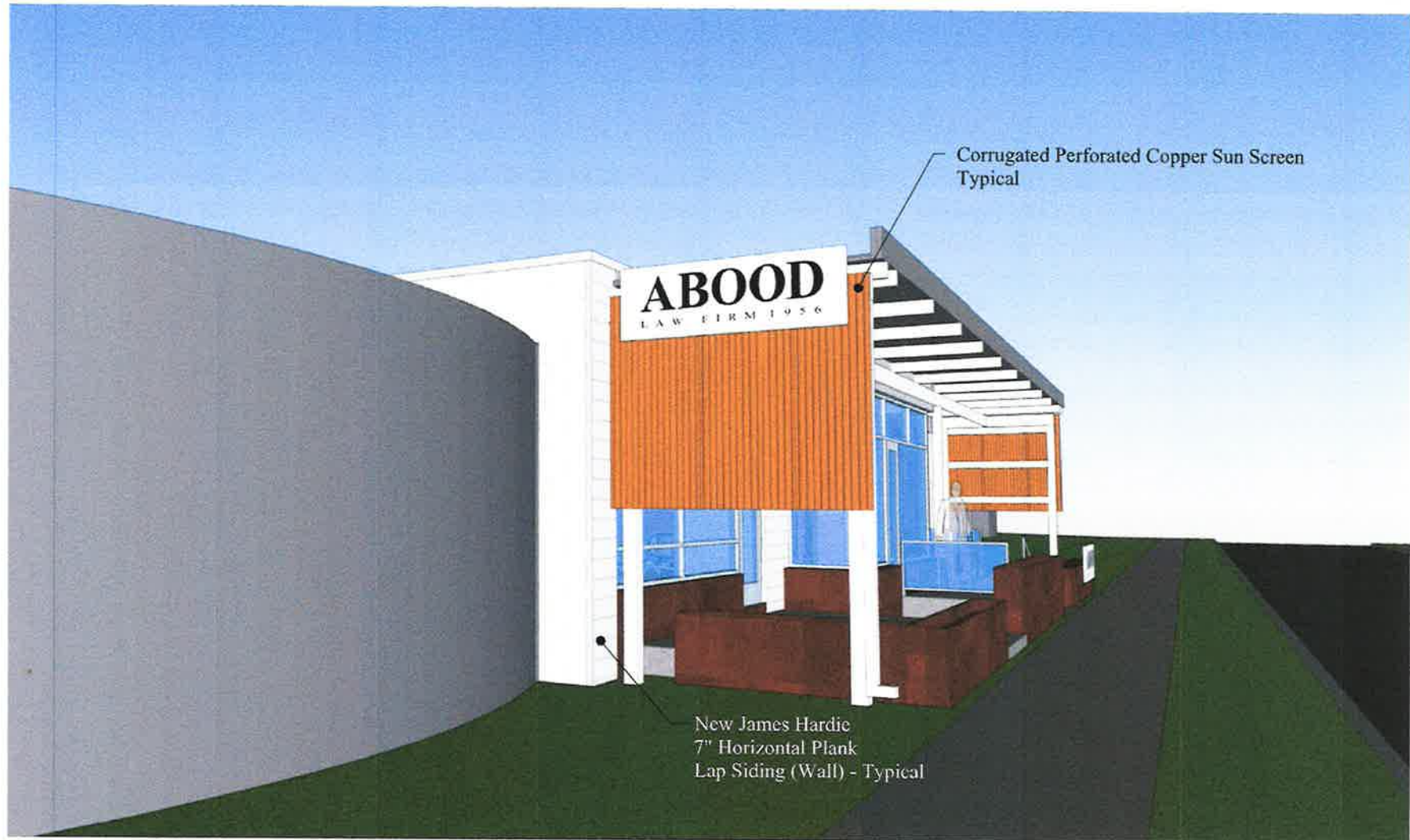
City of Birmingham

Revised Design Review Board Submittal

June 28, 2021

Note:

Items that have been modified are noted and identified on images within. All other items have remained the same based on the review submittal dated January 22, 2021.



Abood Law Firm

Birmingham, Michigan

Project No. 202017

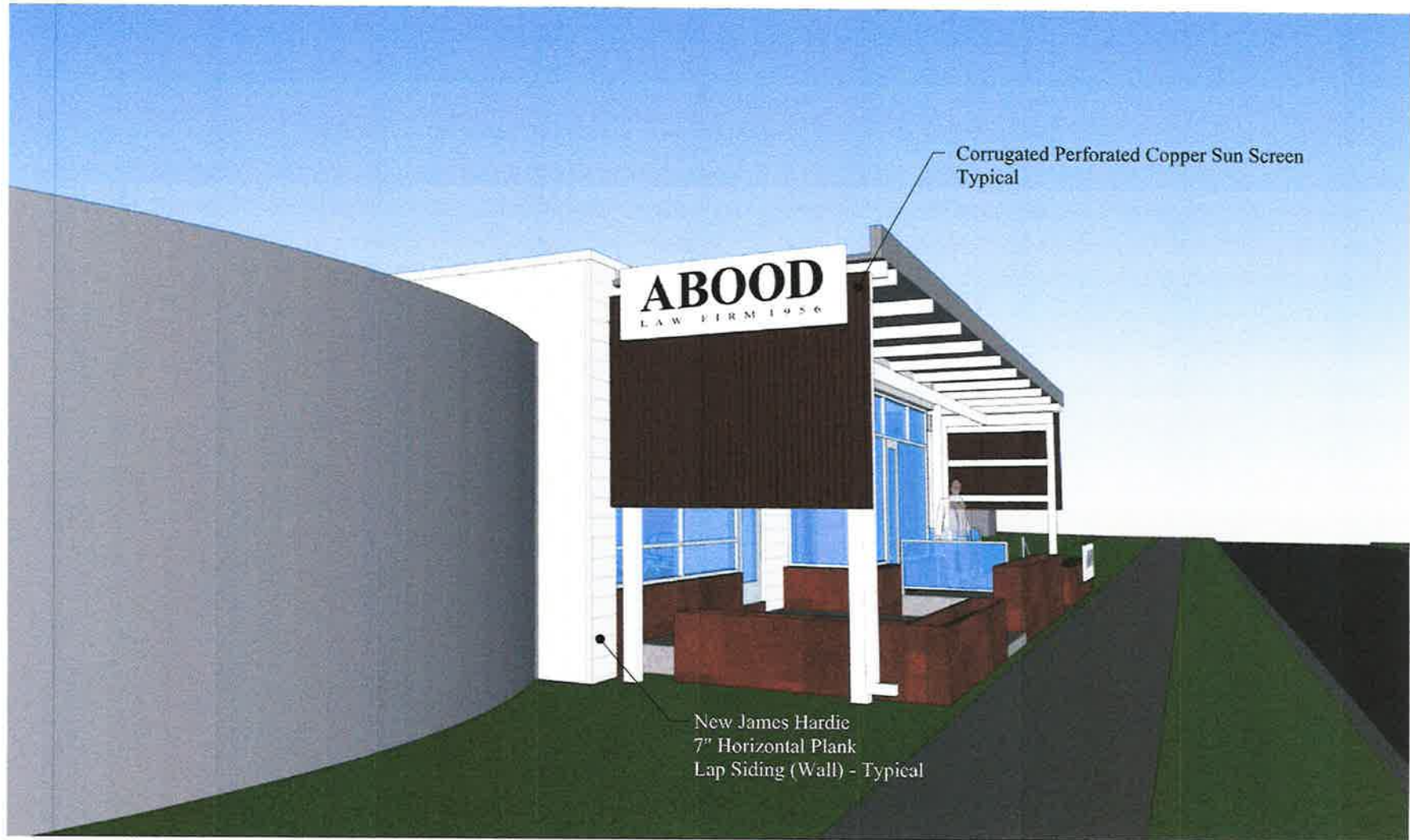
City of Birmingham

Revised Design Review Board Submittal

June 28, 2021

Note:

Items that have been modified are noted and identified on images within. All other items have remained the same based on the review submittal dated January 22, 2021.



Copyright 2021

The following design and drawings are the sole property of Constantine George Pappas AIA Architecture/Planning and cannot be used, shared, or transferred to anyone without due compensation and approval by the architect of record. Constantine George Pappas AIA Architecture/Planning.



View 2

Scale: N.T.S.

A-02

Sheet No.

Abood Law Firm

Birmingham, Michigan

Project No. 202017

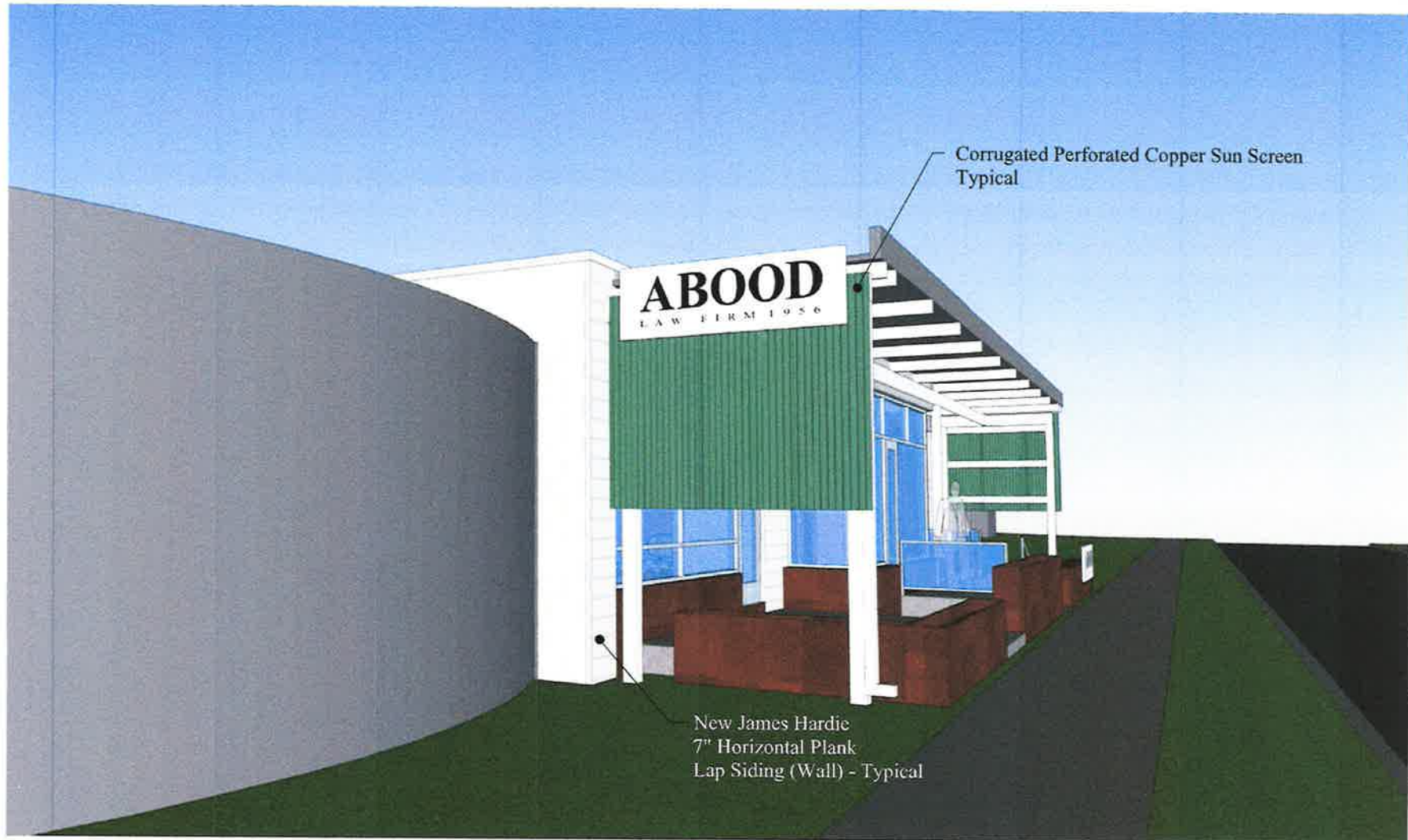
City of Birmingham

Revised Design Review Board Submittal

June 28, 2021

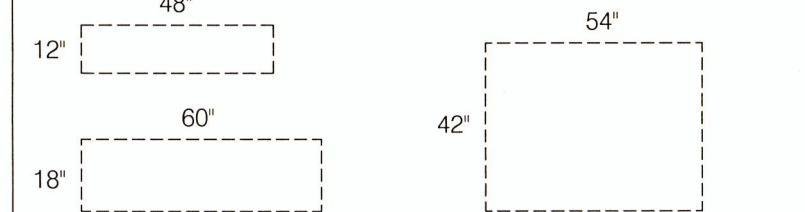
Note:

Items that have been modified are noted and identified on images within. All other items have remained the same based on the review submittal dated January 22, 2021.



LATCH SIDE CLEARANCE NOTE

INDICATES MICHIGAN BARRIER FREE LATCH SIDE CLEARANCE REQUIREMENTS WHICH MUST BE MAINTAINED. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.



NOTE: CONTRACTOR TO COORDINATE ALL EXTERIOR SIGN REQUIREMENTS W/ OWNER. THIS INCLUDES ALL STRUCTURAL, ELECTRICAL AND ANY ASSOCIATED ITEMS, TYP.

NOTE: CONTRACTOR TO COORDINATE ALL NEW STRUCTURAL STEEL W/ ALL NEW MECHANICAL DUCTWORK, TYP. SEE STRUCTURAL AND MECHANICAL DRAWINGS.

NOTE: CONTRACTOR TO INSTALL NEW 7.2 AGED COPPER FINISH PAC-CLAD PETERSEN PERFORATED PANELS ACCORDING TO MANUFACTURERS INSTRUCTIONS AND REQUIREMENTS, TYP.

INDICATES APPROXIMATE SOIL BORING LOCATION PER REPORT NO.61600 PREPARED BY TESTING ENGINEERS & CONSULTANTS, INC. (DATED 04-02-2021)

NOTE: INSTALL ALUMINUM GLASS AND GLAZING SYSTEM PER MANUFACTURERS REQUIREMENTS. ALL STOREFRONT SYSTEMS TO MEET LOCAL, STATE AND NATIONAL BUILDING CODES.

NOTE: PROVIDE SEALANT @ ALL ALUMINUM TO MASONRY, ALUMINUM TO WOOD, ALUMINUM TO METAL, ALUMINUM TO GLASS CONDITIONS, ETC. TYPICAL.

EXISTING ABUTTING SINGLE STORY BUILDING, V.I.F., TYP.

EXISTING BLOCK WALL ABOVE, ENTIRE EXISTING BLOCK WALL TO BE PAINTED, COLOR TO BE SELECTED BY OWNER & ARCHITECT, V.I.F., TYP.

CONTRACTOR TO TERMINATE JAMES HARDIE SMOOTH SIDING W/ EXISTING BLOCK WALL AND PROVIDE METAL TRIM TO MATCH SIDING, TYP.

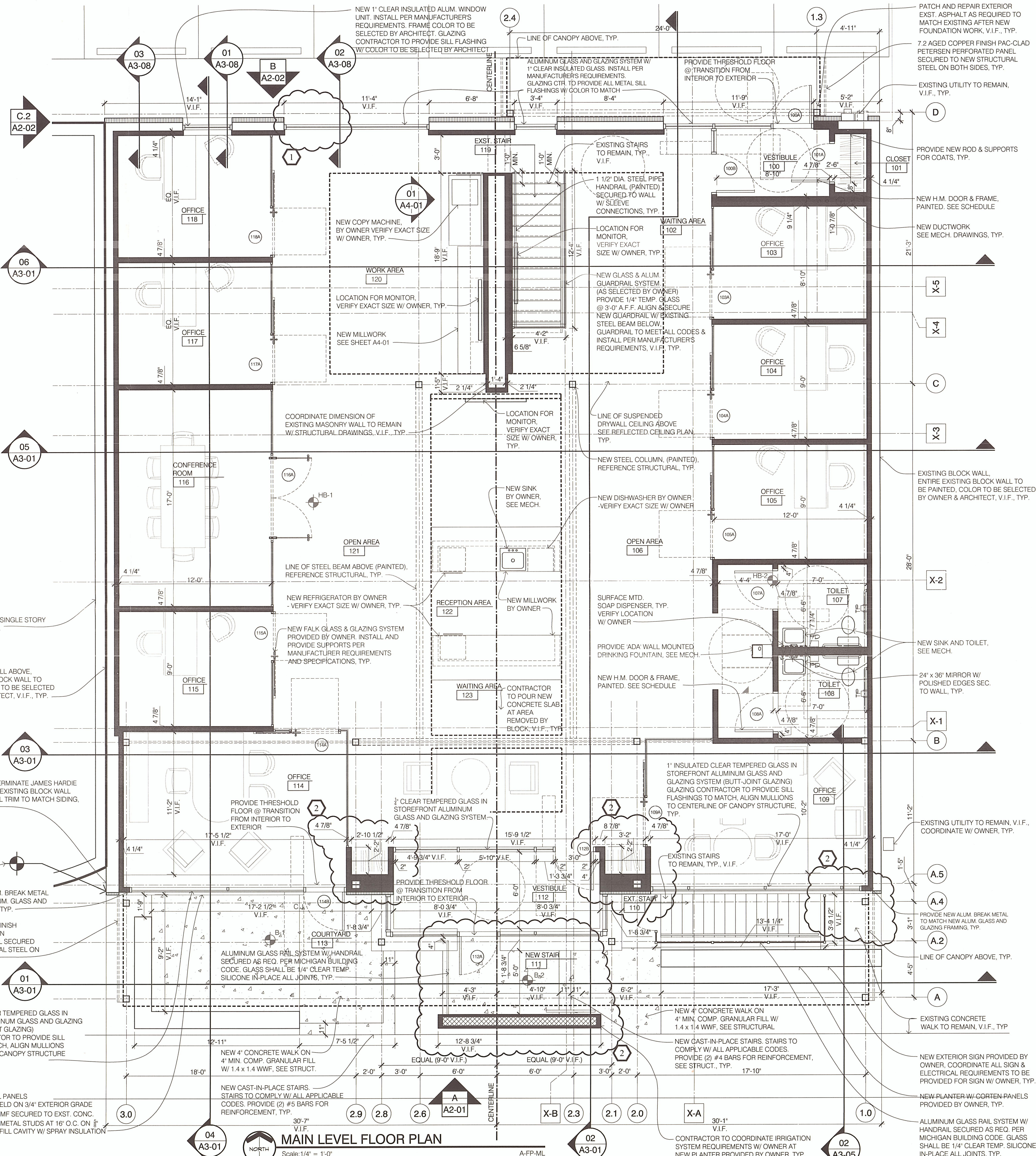
NOTE: THIS SYMBOL DENOTES THE STARTING LAYOUT POINT FOR DIMENSIONING OF THE BUILDING WHICH IS THE EXISTING CONCRETE BLOCK CORNER AT THE WEST SIDE OF THE BUILDING (CONTRACTOR TO V.I.F. & W/ ARCHITECT)

PROVIDE NEW ALUM. BREAK METAL TO MATCH NEW ALUM. GLASS AND GLAZING FRAMING, TYP.

7.2 AGED COPPER FINISH PAC-CLAD PETERSEN PERFORATED PANEL SECURED TO NEW STRUCTURAL STEEL ON BOTH SIDES, TYP.

1" INSULATED CLEAR TEMPERED GLASS IN STOREFRONT ALUMINUM GLASS AND GLAZING SYSTEM (BUTT-JOINT GLAZING) GLAZING CONTRACTOR TO PROVIDE SILL FLASHINGS TO MATCH, ALIGN MULLIONS TO CENTERLINE OF CANOPY STRUCTURE ABOVE, TYP.

1/16" COR-TEN STEEL PANELS ON ICE & WATER SHIELD ON 3/4" EXTERIOR GRADE PLYWOOD ON 1 3/8" CFMF SECURED TO EXST. CONC. BLOCK WALL ON 1 3/8" METAL STUDS AT 16" O.C. ON 3/8" DRYWALL (PAINTED) FILL CAVITY W/ SPRAY INSULATION



MAIN LEVEL FLOOR PLAN

Scale: 1/4" = 1'-0"

A-PP-ML

NOTES:
1. ALL EXPOSED STEEL TO BE GROUND SMOOTH AND PAINTED. COLOR TO BE SELECTED BY OWNER & ARCHITECT.
2. ALL EXTERIOR STEEL TO BE GROUND SMOOTH, GALVANIZED, AND PAINTED. COLOR TO BE SELECTED BY OWNER & ARCHITECT.

NOTE:
CONTRACTOR TO PROVIDE 1/2" F.R.T.W. BACKING AT ALL WALL MOUNTED ITEMS. COORDINATE ALL LOCATIONS W/ DRAWINGS AND OWNER, TYP.

NOTE:
SEE MECHANICAL, AND STRUCTURAL DRAWINGS FOR ALL RELEVANT ITEMS.

NOTE:
VERIFY ALL TOWEL BARS, HOOKS, PAPER DISPENSERS, SOAP DISPENSERS AND SINK SPACING WITH OWNER.

NOTE:
STAIRS SHALL COMPLY WITH ALL APPLICABLE CODES.

NOTE:
CONTRACTOR TO VERIFY-IN-FIELD ALL DIMENSIONS & EXISTING CONDITIONS PRIOR TO START OF WORK, TYP.

FLOOR PLAN GENERAL NOTES

- ALL CONSTRUCTION MUST COMPLY WITH LOCAL CODES AND ORDINANCES. THIS PROJECT IS GOVERNED UNDER THE 2015 MICHIGAN BUILDING CODE AND ITS CURRENT ACCEPTABLE SUPPLEMENTS TO THE CODE USED FOR THE CITY WHERE WORK IS BEING DONE.
- THE GENERAL CONTRACTOR SHALL COMPLY WITH THE STATE OF MICHIGAN BARRIER FREE DESIGN REQUIREMENTS AS DEEMED NECESSARY BY THE LOCAL BUILDING OFFICIALS.
- GENERAL CONTRACTOR TO PROVIDE 1/2" PLYWOOD BACKING FOR ALL NEW WALL HUNG SINK INSTALLATIONS. PROVIDE FIRE RETARDANT TREATED WOOD IF REQUIRED BY CODE OR LOCAL MUNICIPALITY.
- GENERAL CONTRACTOR TO PROVIDE 2X4 WOOD BLOCKING AT ALL PLASTIC LAMINATE COUNTERTOP SUPPORT BRACKETS. GENERAL CONTRACTOR TO COORDINATE WORK WITH MILLWORK CONTRACTOR. PROVIDE FIRE RETARDANT TREATED WOOD IF REQUIRED BY CODE OR LOCAL MUNICIPALITY.
- VERIFY LOCATION AND REQUIREMENTS OF ALL OWNER SUPPLIED EQUIPMENT/FURNITURE PRIOR TO CONSTRUCTION AND INSTALLATION.
- MILLWORK CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OF CABINETRY AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL. GENERAL CONTRACTOR TO PROVIDE 2X4 WOOD BLOCKING OR PLYWOOD BACKING AS REQUIRED FOR CABINET INSTALLATIONS. PROVIDE FIRE RETARDANT TREATED WOOD IF REQUIRED BY CODE OR LOCAL MUNICIPALITY.
- ALL TOILET ACCESSORIES ARE TO BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR. SUBMIT SHOP DRAWINGS FOR THE ARCHITECT'S APPROVAL. PROVIDE PLYWOOD BACKING AT ALL ACCESSORIES, GRAB BARS, ETC. PROVIDE FIRE RETARDANT TREATED WOOD IF REQUIRED BY CODE OR LOCAL MUNICIPALITY.
- ALL MIRRORS TO HAVE STAINLESS STEEL FRAMES.
- ALL GYPSUM BOARD SHALL BE INSTALLED WITH FASTENERS AT 8" O.C. AT EDGE OF BOARD AND 12" O.C. IN FIELD OR AS REQUIRED BY U.I. DESIGN SPECIFICATIONS INDICATED OR AS DEEMED REQUIRED BY LOCAL BUILDING INSPECTOR.
- ALL CARPETING SHALL BE INSTALLED PER MANUFACTURERS STANDARD INSTALLATION REQUIREMENTS.
- GENERAL CONTRACTOR TO PROVIDE CLOSET AT ALL LABELED DOORS.
- ALL FIRE RATED PARTITIONS SHALL BE CONSTRUCTED TO MAINTAIN THEIR FIRE RESISTANCE RATING AT ANY RECESSED EQUIPMENT SUCH AS FIRE EXTINGUISHER CABINETS, ETC. THE RATING SHALL BE CONTINUOUS AROUND ALL RECESSED ELEMENTS.
- ALL EXISTING DOORS AND FRAMES THAT ARE REMAINING SHALL BE RE-PAINTED (FRAMES) STRIPPED, RE-PAINTED, RE-STAINED AND SEALED (DOORS). VERIFY W/ ARCHITECT & OWNER.
- REMOVE ALL EXISTING FLOOR MATERIALS AND PREP FLOORS FOR NEW FLOOR FINISHES AS INDICATED ON THE ROOM FINISH SCHEDULE.
- ALL CEILINGS SHOWN TO REMAIN SHALL BE PAINTED. VERIFY W/ ARCHITECT & OWNER.
- PROVIDE OWENS CORNING SCAND INSULATION AT ALL NEW WALL CONSTRUCTION, CEILINGS OF NEW ROOMS, AND TOILETS THROUGHOUT WHERE NEW CEILING TILES ARE TO BE INSTALLED.
- CONTRACTOR TO PROVIDE AT ALL WALL MOUNTED ITEMS 5/8" PLYWOOD BACKING SECURED TO WOOD OR METAL STUDS @ 16" O.C. (FOR VERIFY HEIGHT WITH ARCHITECT). PROVIDE FIRE RETARDANT TREATED WOOD IF REQUIRED BY CODE OR LOCAL MUNICIPALITY.
- ALL SUPPLY AND RETURN DUCTS INTO WORKSPACE TO HAVE SOUND ATTENUATION DEVICES TO ENSURE MINIMAL SOUND LEVELS DURING OPERATION. VERIFY WITH ARCHITECT.
- ALL NEW DUCTWORK TO BE INSULATED.
- CONTRACTOR TO VERIFY AND COORDINATE ALL DUCT SIZES AND PENETRATIONS WITH MECHANICAL AND STRUCTURAL DRAWINGS.
- CONTRACTOR TO VERIFY AND COORDINATE ALL FIRE EXTINGUISHER REQUIREMENTS AND LOCATIONS WITH LOCAL FIRE DEPARTMENT AND MUNICIPALITIES.

WALL LEGEND

- EXISTING WALL FIELD VERIFY
- EXST. CONC. BLOCK WALL ON 1 3/8" OR 3 3/8" METAL STUDS AT 16" O.C. ON 3/8" DRYWALL (PAINTED) TO UNDERSIDE OF DECK W/ SPRAY INSULATION (EXTERIOR WALLS ONLY)
- JAMES HARDIE SMOOTH SIDING 7 1/4" ETW PAINTED (COLOR TO BE SELECTED BY ARCHITECT AND OWNER) ON VAPOR BARRIER (TYVEK) ON 3/4" EXTERIOR GRADE PLYWOOD ON 3 3/8" CFMF @ 16" O.C. SECURED TO EXST. CONC. BLOCK WALL ON 3 3/8" METAL STUDS AT 16" O.C. ON 3/8" DRYWALL (PAINTED) TO UNDERSIDE OF DECK W/ SPRAY INSULATION FULL WIDTH OF CAVITY (EXTERIOR WALLS ONLY)
- NEW JAMES HARDIE SMOOTH SIDING 7 1/4" ETW PAINTED (COLOR TO BE SELECTED BY ARCHITECT AND OWNER) ON VAPOR BARRIER (TYVEK) ON 3/4" EXTERIOR GRADE PLYWOOD ON 1 3/8" 3 3/8" OR 6" CFMF AT 16" O.C. ON 3/8" DRYWALL (PAINTED) TO UNDERSIDE OF DECK W/ SPRAY INSULATION FULL WIDTH OF CAVITY, TYP. (EXTERIOR WALLS ONLY)
- NEW JAMES HARDIE SMOOTH SIDING 7 1/4" ETW PAINTED (COLOR TO BE SELECTED BY ARCHITECT AND OWNER) ON VAPOR BARRIER (TYVEK) ON 3/4" EXTERIOR GRADE PLYWOOD ON 1 3/8" CFMF @ 16" O.C. SECURED TO EXST. CONC. BLOCK WALL FILL CAVITY W/ SPRAY INSULATION FULL WIDTH OF CAVITY, TYP.
- 1/16" COR-TEN STEEL PANELS ON ICE & WATER SHIELD ON 3/4" EXTERIOR GRADE PLYWOOD ON 1 3/8" CFMF (BOTH SIDES) SECURED TO 8" CONCRETE BLOCK (PROVIDE #5 BARS AT 24" O.C. VERTICALLY AND HORIZ. REINF. EVERY OTHER COURSE)
- 3/8" DRYWALL PAINTED ON 1 3/8" OR 3 3/8" METAL STUDS AT 16" O.C. ON EXST. CONC. BLOCK WALL ON 1 3/8" OR 3 3/8" METAL STUDS @ 16" O.C. ON DRYWALL (PAINTED)
- 3/8" DRYWALL PAINTED ON 3 3/8", 6", OR 8" METAL STUDS AT 16" O.C. W/ 3/8" BATT SOUND INSULATION ON DRYWALL (PAINTED) TO UNDERSIDE OF DECK. SEE DRAWINGS FOR LOCATIONS OF DRYWALL TO UNDERSIDE OF DECK

NOTE: PROVIDE SLOTTED DEFLECTION TRACK AT TOP OF INTERIOR WALLS TO CONNECT TO UNDERSIDE OF STRUCTURE (EXISTING AND NEW) TO ALLOW ROOF DEFLECTION PER BUILDING CODE.

P:\SDSK\PP0202017 - ABOOD LAW BIRMINGHAM\05 - DD_CD\03 - SHEET\A-01 MAIN LEVEL FLOOR PLAN DRWS DWG June 29, 2021

APPROVED

City of Birmingham
Revised Design Review Board Submittal
June 28, 2021

CITY OF BIRMINGHAM
COMMUNITY DEVELOPMENT DEPT.

JUL 19 2021

RECEIVED

Revisions

Architect's Seal

THIS REGISTRATION SEAL IS FOR THE ARCHITECTURAL DRAWINGS ONLY AND DOES NOT SATISFY ANY INDIVIDUAL REQUIREMENT NEEDED FOR EACH ENGINEER DISCIPLINE

Project

Abood Law Firm
855 Forest Ave., Birmingham, MI 48009

Project No. 202017

Drawn / Checked
E.P.C. / C.G.P.

Approved:
C.G.P.

Date: May 21, 2021
Issued For Permit

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Do Not Scale Print - Use Figure Dimensions

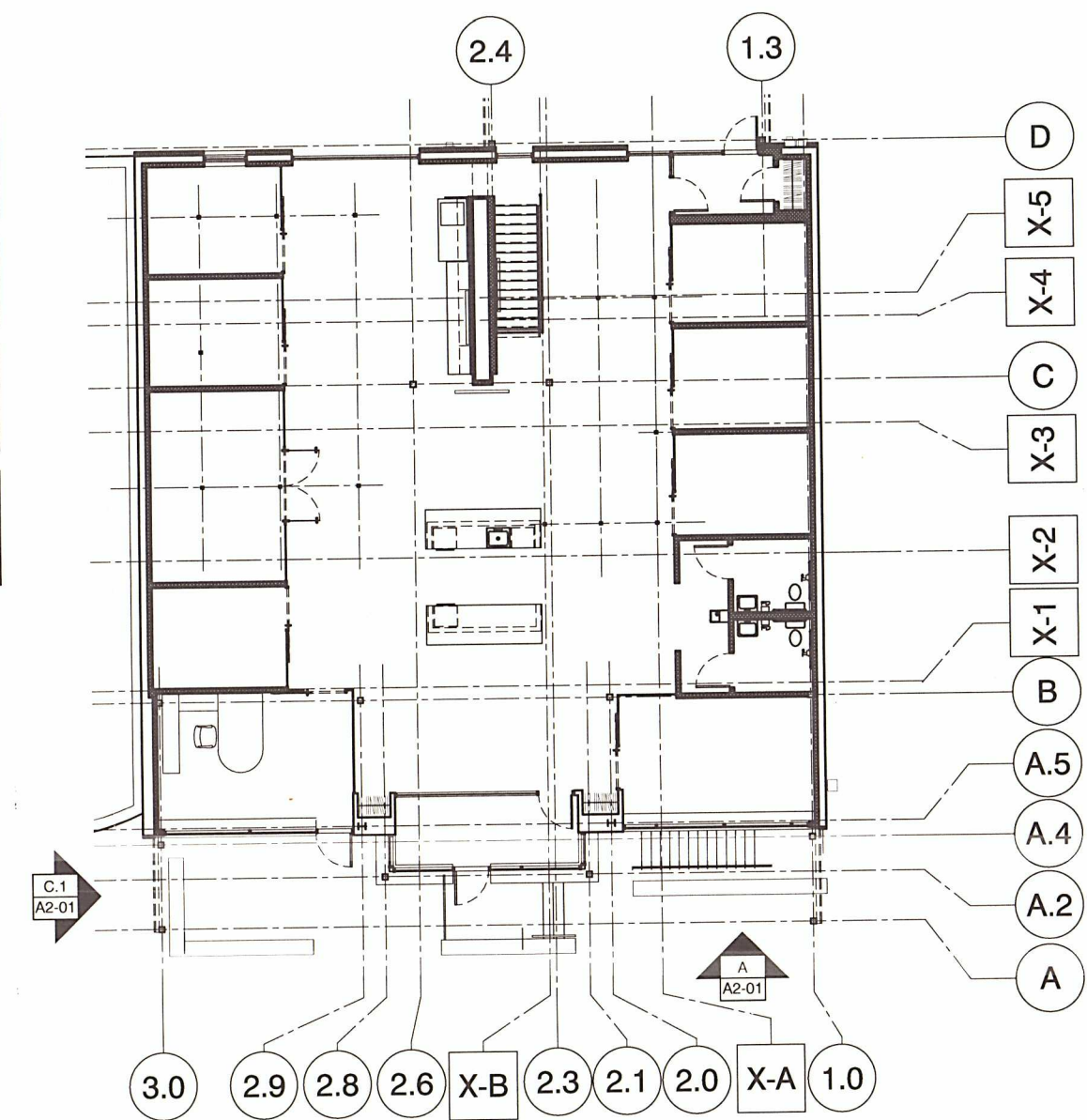
Sheet Title

Main Level Floor Plan

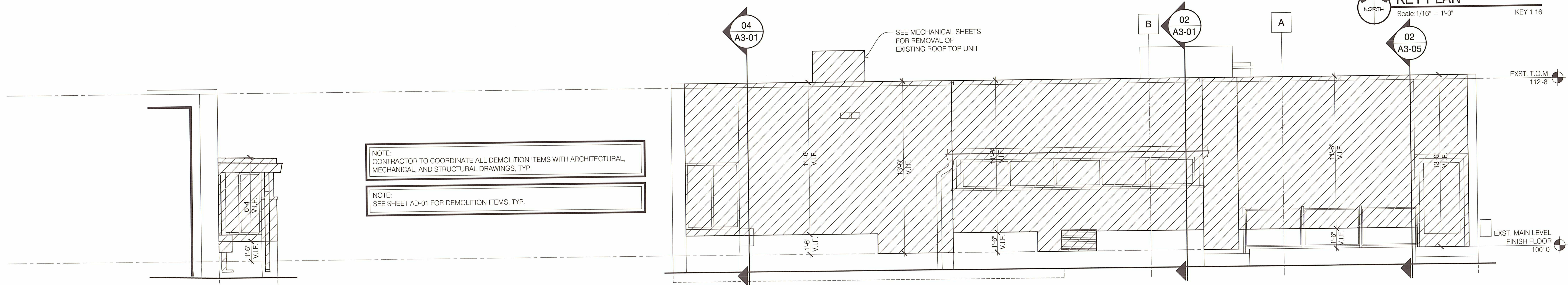
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A1-01

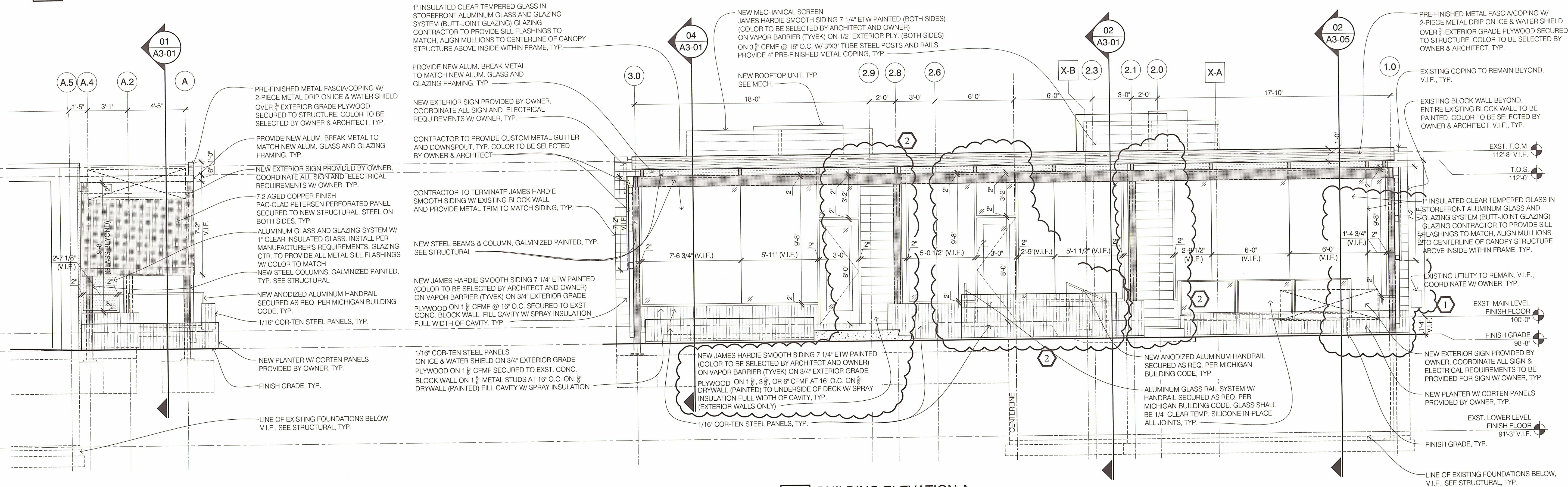
PRIOR TO START OF WORK, TYP.



 **KEY PLAN**
Scale: 1/16" = 1'-0" KEY 1 16

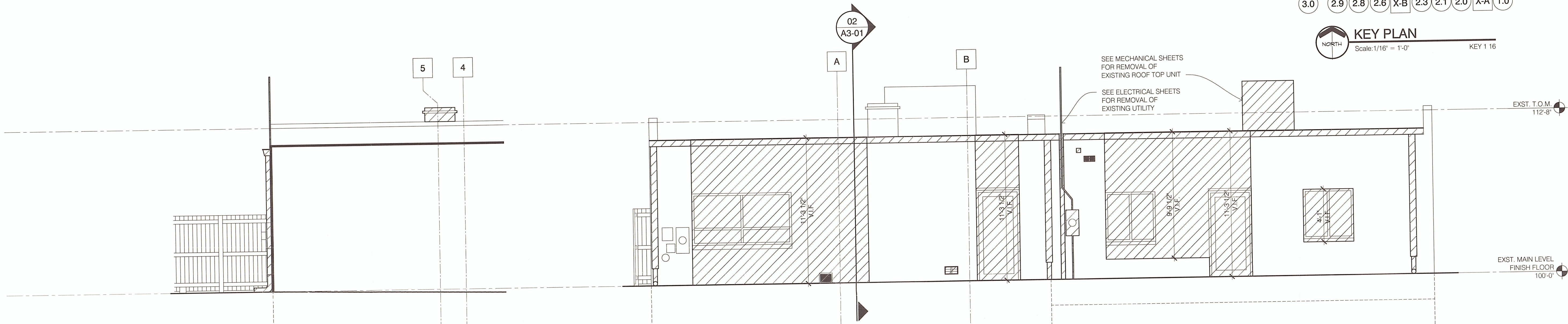


A.1	BUILDING ELEVATION A.1 - DEMOLITION	
A2-01	Scale: 1/4" = 1'-0"	A-ELEV-A-DEMO



A	BUILDING ELEVATION A	
A2-01	Scale: 1/4" = 1'-0"	A-ELEV-A

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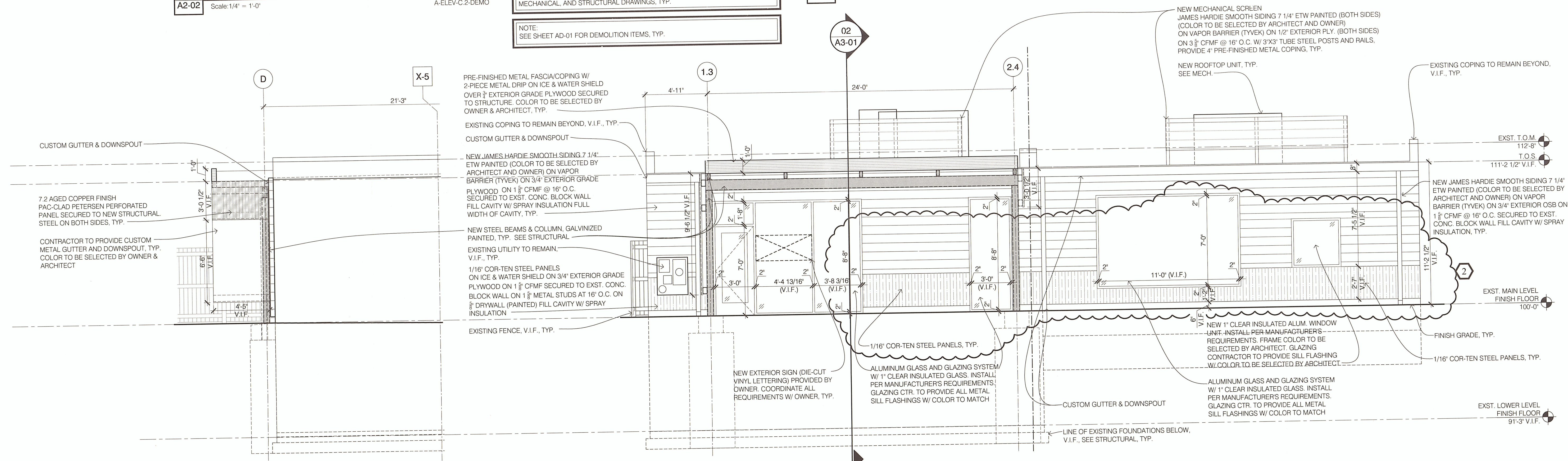


C.2.1 BUILDING ELEVATION C.2.1 - DEMOLITION
A-ELEV-C.2-DEMO
Scale: 1/4" = 1'-0"

NOTE:
CONTRACTOR TO COORDINATE ALL DEMOLITION ITEMS WITH ARCHITECTURAL, MECHANICAL, AND STRUCTURAL DRAWINGS, TYP.

NOTE:
SEE SHEET AD-01 FOR DEMOLITION ITEMS, TYP.

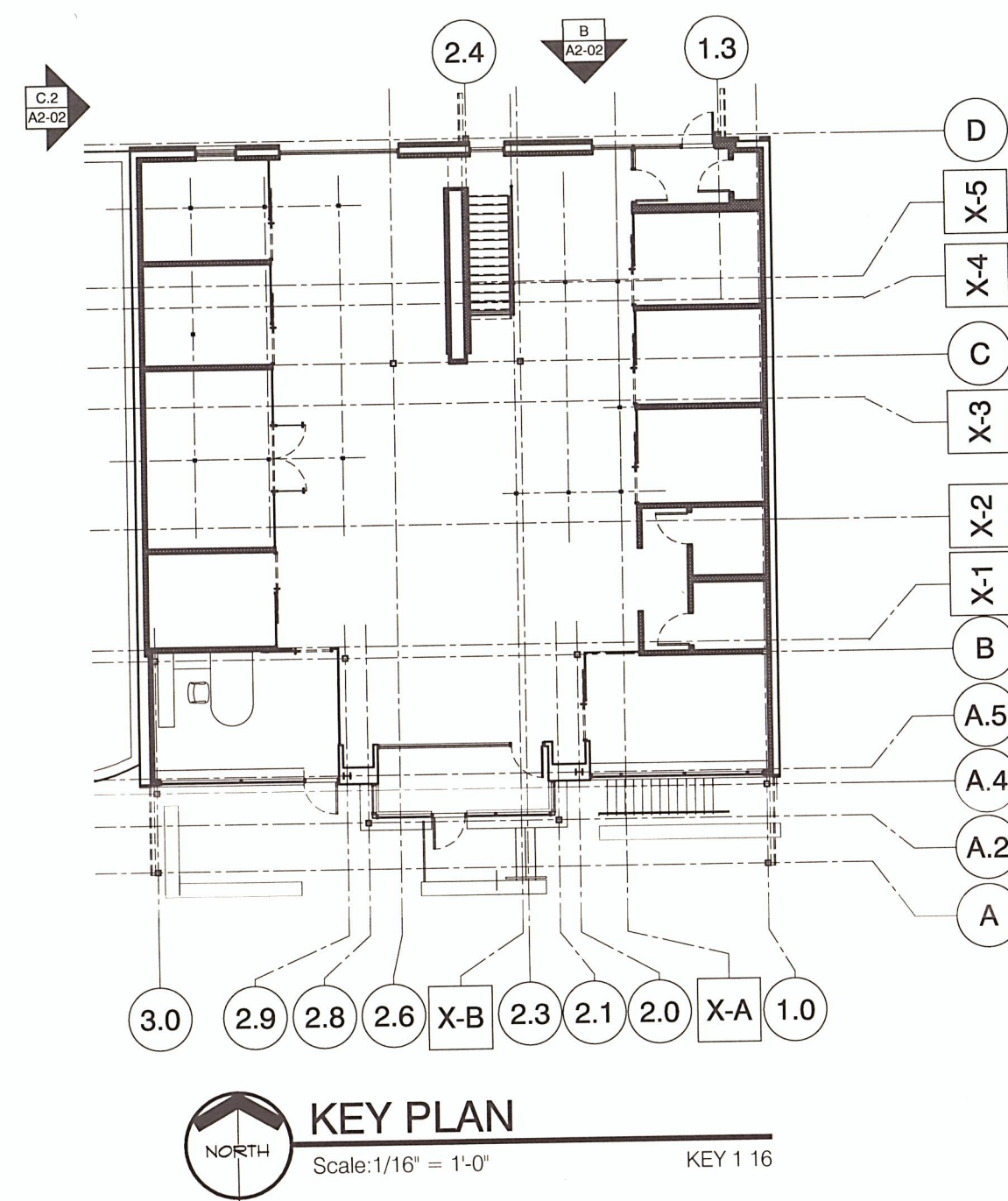
B.1 BUILDING ELEVATION B.1 - DEMOLITION
A-ELEV-B-DEMO
Scale: 1/4" = 1'-0"



C.2 BUILDING ELEVATION C.2
A-ELEV-C.2
Scale: 1/4" = 1'-0"

B BUILDING ELEVATION B
A-ELEV-B
Scale: 1/4" = 1'-0"

- NOTE:
CONTRACTOR TO COORDINATE ALL EXTERIOR SIGN REQUIREMENTS W/ OWNER. THIS INCLUDES ALL STRUCTURAL, ELECTRICAL AND ANY ASSOCIATED ITEMS, TYP.
- NOTE:
CONTRACTOR TO INSTALL NEW 7.2 AGED COPPER FINISH PAC-CLAD PETERSEN PERFORATED PANELS ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND REQUIREMENTS, TYP.
- NOTE:
INSTALL ALUMINUM GLASS AND GLAZING SYSTEM PER MANUFACTURER'S REQUIREMENTS. ALL STOREFRONT SYSTEMS TO MEET LOCAL, STATE AND NATIONAL BUILDING CODES.
- NOTE:
PROVIDE SEALANT @ ALL ALUMINUM TO MASONRY, ALUMINUM TO WOOD, ALUMINUM TO METAL, ALUMINUM TO GLASS CONDITIONS, ETC. TYPICAL.
- NOTES:
1. ALL EXPOSED STEEL TO BE GROUND SMOOTH AND PAINTED. COLOR TO BE SELECTED BY OWNER & ARCHITECT.
2. ALL EXTERIOR STEEL TO BE GROUND SMOOTH, GALVANIZED, AND PAINTED. COLOR TO BE SELECTED BY OWNER & ARCHITECT.
- NOTE:
SEE MECHANICAL, AND STRUCTURAL DRAWINGS FOR ALL RELEVANT ITEMS.
- NOTE:
STAIRS SHALL COMPLY WITH ALL APPLICABLE CODES.
- NOTE:
CONTRACTOR TO VERIFY-IN-FIELD ALL DIMENSIONS & EXISTING CONDITIONS PRIOR TO START OF WORK, TYP.



P:\SDSK\PROJ\202017 - ABOOD LAW BIRMINGHAM\05 - DD_CD03 - SHEET\A2-02 EXTERIOR ELEVATIONS.DWG June 28, 2021

Sheet Title

Exterior Elevations

Drawn / Checked
E.P.C. / C.G.P.

Approved:
C.G.P.

Date: May 21, 2021
Issued For Permit

Project

Abood Law Firm

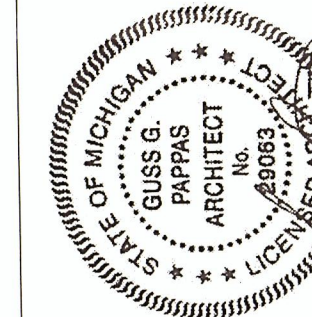
855 Forest Ave., Birmingham, MI 48009

Architecture / Planning
1025 S. Washington Ave. Royal Oak, MI 48067
P. 248.629.8998 F. 248.298.3192
www.cgp-architecture.com

George Pappas AIA

Architect's Seal

THIS REGISTRATION SEAL IS FOR THE ARCHITECT'S USE ONLY. IT DOES NOT SATISFY ANY INDIVIDUAL REQUIREMENTS NEEDED FOR EACH ENGINEER DISCIPLINE.



Revisions

2 City of Birmingham
Revised Design Review Board Submittal
June 28, 2021

Sheet No.
A2-02

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APPROVED
[Signature]
8-11-21

Administrative Approval Application Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: Sun Medical, Inc.
Address: 1938 Woodslee Court
Troy, MI 48083
Phone Number: 248-288-2270
Fax Number: 248-288-5713
Email Address: mdorfman@americaremedical.com

2. Property Owner

Woodward Properties, LLC c/o
Name: Vision Investment Partners
Address: 700 N. Old Woodward, Suite 300
Birmingham, MI 48009
Phone Number: 248-865-1515
Fax Number: 248-406-4630
Email Address: kdenha@visioninvpartners.com

3. Applicant's Attorney/Contact Person

Name: Michael R. Dorfman, Esq.
Address: 1938 Woodslee Court
Troy, Michigan 48083
Phone Number: 248-288-2270 x244
Fax Number: 248-288-5713
Email Address: mdorfman@americaremedical.com

4. Project Designer/Developer

Name: Northstar Painting
Address: 600 N. Old Woodward, Suite 305
Birmingham, Michigan 48009
Phone Number: 866-823-8583
Fax Number: 248-562-7453
Email Address: chris@northstarpainting.com

5. Project Information

Address/Location of Property: 34164 Woodward Avenue
Birmingham, MI 48009
Name of Development: _____
Parcel ID#: _____
Current Use: _____
Area in Acres: _____
Current Zoning: _____

Name of Historic District if any: _____
Date of HDC Approval, if any: _____
Date of Application for Preliminary Site Plan: _____
Date of Preliminary Site Plan Approval: _____
Date of Application for Final Site Plan: _____
Date of Final Site Plan Approval: _____
Date of Revised Final Site Plan Approval: _____

6. Required Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- One (1) digital copy of plans
- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations
- Photographs of existing conditions on the site where changes are proposed

7. Details of the Request for Administrative Approval

Exterior painting of building. Please see attached description, photos, and design.

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan.

Signature of Applicant: *[Signature]* Date: 7/28/21

Office Use Only

Application #: PAA21-0073

Date Received: 7/29/21

Fee: \$100.00

Date of Approval: 8-11-21

Date of Denial: _____

Reviewed By: *[Signature]*



CONSENT OF PROPERTY OWNER

I, Kevin Denha, OF THE STATE OF Michigan AND
(Name of Property Owner)

COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 34164 Woodward Ave.;
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of

Birmingham by: Sun Medical, Inc.;
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the City of
Birmingham.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Name of Owner (Printed): Kevin Denha

Signature of Owner: [Signature] Date: 7-29-2021

TO: City of Birmingham Planning Department

FROM: Michael R. Dorfman, Esq.
Counsel for Sun Medical

RE: Explanation of Plans to Paint Exterior of 34164 Woodward

DATE: July 28, 2021

Sun Medical would like approval from the City of Birmingham Planning Department to paint the exterior of the building located at 34164 Woodward Avenue. **Attachment 1** shows what the front of the building will look like if the plan is approved. The three colors that would be utilized to paint the three-wall exterior of the building are affixed to **Attachment 2**¹.

The front awning is currently a shade of green (**Attachment 3**). The plan, as captured in the drawing, is to paint the awning white (SW 7006, Extra White, *see Attachment 2*). The sun² on the awning will also be painted at the same time and the yellow color is (SW 6903, Cheerful, *see Attachment 2*). Please be advised that the lettering reading "SUN MEDICAL SUPPLIES" will not be painted but will be a sign being made and affixed to the awning (the sign is going through a separate approval process with the City of Birmingham by the sign company). The remaining portion of the front of the building will have the brick painted grey (SW 7664, Steely Gray, *see Attachment 2*). The illustration of one man pushing another man in a wheelchair will not be part of the décor or painting, and is merely in the rendering to demonstrate sizing. It is recommended that you compare side-by-side both Attachments 1 and 3 to visualize the "before and after" appearance of the building.

The remaining two walls of the exterior of the building will all be painted using SW 7664, Steely Gray paint³. **Attachment 4** is a photograph of the north wall of the building. The wall with the green stripe, and the brick, will be painted in Steely Gray. The portion of the awning that wraps around to face north will be painted in Extra White as part of the painting of the entire awning. **Attachment 5** is a close-up photo of the north wall, and has been included with the application to demonstrate the necessity of painting the building.

Attachment 6 is a photo of the east side (back) of the building. Approval is also requested to paint this wall and door using Steely Gray Paint so all the walls of the exterior match. **Attachment 7** is a close up of the east wall and again clearly demonstrates why painting is urgently needed.

The mock-up of the building in **Attachment 1**, demonstrates how the colors will look and that they are not unorthodox either individually, or viewed together with the other two colors of paint to be used.

¹ The paint that will be used is from Sherwin Williams. Each color has a code beginning with "SW" and the title of the color.

² The sun is important because it is on all of Sun Medical's marketing materials as the Company's logo.

³ The exterior portion of the south wall directly abuts the building to the south and is not visible.

SUN MEDICAL SUPPLIES

34164

SUN MEDICAL



SW 7006
Extra White

257-C1

SW 6903
Cheerful

134-C7

← Removed (TBC 8-11-21)

SW 7664
Steely Gray

233-C4





Attachment 4



ATTACHMENT 5



ATTACHMENT 6



ATTACHMENT 7

Design Review Board Action List – 2021

Design Review Board	Quarter	Rank	Status
Wall Art	1 st (January-March)	1	<input type="checkbox"/>
Update Sign Ordinance	2 nd (April-June)	2	<input type="checkbox"/>
Create New Informational Artwork for Sign Ordinance	3 rd (July-September)	3	<input type="checkbox"/>
Sign Ordinance Enforcement	4 th (October-December)	4	<input type="checkbox"/>

Updates:

1. Sign Ordinance update in progress.