



151 Martin
Birmingham, MI 48009
248.530.1800

**VIRTUAL MEETING OF THE BIRMINGHAM BROWNFIELD
REDEVELOPMENT AUTHORITY**

Thursday, May 6, 2021

1:00 p.m.

<https://zoom.us/j/93068949411>

or dial: **877-853-5247 Toll-Free, Meeting Code: 930 6894 9411**

-
1. Call to Order
 2. Approval of minutes of August 7, 2019 meeting.
 3. **856 N. Old Woodward – Brownfield Reimbursement Request**
 4. Open to the public for items not on the Agenda
 5. Adjournment

Approved minutes of the meeting are available in the Community Development Office or online at www.bhamgov.org.

Notice: Due to Building Security, public entrance during non-business hours is through the Police Department—Pierce St. Entrance only. Individuals with disabilities requiring assistance to enter the building should request aid via the intercom system at the parking lot entrance gate on Henrietta St.

Persons with disabilities that may require assistance for effective participation in this public meeting should contact the City Clerk's Office at the number (248) 530-1880, or (248) 644-5115 (for the hearing impaired) at least one day before the meeting to request help in mobility, visual, hearing, or other assistance.

Las personas con incapacidad que requieren algún tipo de ayuda para la participación en esta sesión pública deben ponerse en contacto con la oficina del escribano de la ciudad en el número (248) 530-1800 o al (248) 644-5115 (para las personas con incapacidad auditiva) por lo menos un día antes de la reunión para solicitar ayuda a la movilidad, visual, auditiva, o de otras asistencias. (Title VI of the Civil Rights Act of 1964).

**Brownfield Redevelopment Authority
MINUTES
City Commission Room
Municipal Building 151 Martin Street, Birmingham, Michigan**

**Wednesday, August 7, 2019
9:00 a.m.**

1. Chairperson Beth Gotthelf convened the meeting at 9:00 a.m., inviting all present for the discussion of the 2400 E. Lincoln case to briefly introduce themselves.

Members Present: Chairperson Beth Gotthelf
Vice Chairman Robert Runco (arrived at 9:04 a.m.)
Harry Awdey
Dani Torcolacci

Member Absent: Wendy Zabriskie

Administration: Joseph Valentine, City Manager
Jana Ecker, Planning Director
Mark Gerber, Finance Director
Jeffrey Haynes, Beier Howlett, Brownfield Attorney
Laura Eichenhorn, Transcriptionist

Also Present: Judith Miller, Attorney for 2400 E. Lincoln
Arthur Siegel, Attorney for 2400 E. Lincoln
David Cohen, Managing Member of 2400 E. Lincoln
Tom Wackerman, ASTI Environmental
Bob Borst, HM Environmental
Tony Anthony, AKT Peerless
Kirsten Hardy, AKT Peerless
Karen Pearman, 2400 E. Lincoln

2. Approval of minutes of the June 14, 2019 and June 19, 2019 meetings

Motion by Ms. Torcolacci

Seconded by Mr. Awdey to approve the June 14, 2019 minutes as presented.

Motion Carried, 3-0.

VOICE VOTE

Yeas: Gotthelf, Torcolacci, Awdey

Nays: None

The Authority decided to approve the June 19, 2019 minutes at the next Authority meeting, yet to be scheduled, since the June 19, 2019 minutes were not provided in the current meeting's

agenda packet.

3. 2400 E. Lincoln – Brownfield Reimbursement

City Attorney Haynes explained documentation dated November 16, 2005 was located regarding the grant that 2400 E. Lincoln had made to the City in the amount of \$310,205. The documentation demonstrated that the developer advanced the City money to pay AKT Peerless, which was doing work on 2400 E. Lincoln for both the developer and the City.

When the City received reimbursement from the State for that amount, the City was to pay the developer back. To date the City has paid the developer 90% of the granted amount, with a payment for 10% of the granted amount still outstanding.

City Attorney Haynes stated that while this documentation provided a basis for repaying the remaining \$31,020.50, or 10% of the original amount, the documentation made no provision for interest since it was intended that the amount would be repaid by the City immediately upon its receipt of funds from the State.

City Attorney Haynes said this payment would have to be made and approved of by the City Commission as part of any settlement with the developer, and that the Authority could recommend the City do so. He also said that “undocumented loan” in the last paragraph of the suggested resolution should be corrected to read “advances”.

Chairperson Gotthelf stated the Authority should separate the motions for recommending the Commission repay the remainder of the advance and the Authority’s own ultimate determination as to eligible Brownfield reimbursements.

City Attorney Haynes concurred with Chairperson Gotthelf.

Motion by Mr. Runco

Seconded by Mr. Awdey to recommend the City Commission pay 2400 E. Lincoln the 10% remainder on the \$310,205 advance, without interest, which totals \$31,020.50.

Motion Carried, 4-0.

VOICE VOTE

Yeas: Runco, Awdey, Gotthelf, Torcolacci

Nays: None

Mr. Siegel stated that since the Authority’s June 19, 2019 meeting documentation was located indicating that J.P. Morgan Chase, as the developer’s lender at the time of the 2400 E. Lincoln project, had a financial interest in these proceedings. He said that as a result of conversations between the developer’s team, City Attorney Haynes, and the lender’s counsel, it was determined that the developer would hold the interest to this cash flow. Mr. Siegel also explained that the developer’s team provided City Attorney Haynes with a document indemnifying the City and the Authority against any other third party attempting to seek payment from the City in regards to 2400 E. Lincoln.

City Attorney Haynes advised the Authority mention in their resolution the indemnification from the developer to the City and the Authority, a release by J. P. Morgan Chase for its claims to the reimbursement agreement, a release from the developer to the City and the Authority the \$31,020.50 grant advance, and a final judgment to be entered upon resolution of all relevant matters.

City Attorney Haynes reported that Finance Director Mark Gerber determined that the City's administrative costs for this Plan have come to around \$170,000 of the \$180,000 claimable amount as set forth in the Plan. The developer has paid about \$50,000 of that amount. As a result, the first tax captures from 2400 E. Lincoln will pay the City around \$120,000. In addition, Finance Director Gerber has determined that the 2019-2020 tax capture from 2400 E. Lincoln will be about \$180,000.

City Attorney Haynes explained that if the Authority approves the recommended amounts, the reimbursements would be paid to the developer over the course of the next seven to nine years.

City Manager Valentine said the Authority's resolution should include each mandatory condition part of the reimbursement process.

Mr. Siegel explained that the developer incurred a \$39,600.01 cost in preparing a Baseline Environment Assessment (BEA) before June 27, 2005, when the Brownfield Plan went into effect. He explained that while Section 3(a)(3) seems to indicate that expenses incurred before the Plan's effective date are ineligible unless explicitly mentioned within the Plan, Section 3(e) states that any eligible work conducted by the developer prior to the Plan's effective date "shall be considered to have been conducted by the BBRA and the owner shall be considered to have performed such eligible activity on behalf of the BBRA", and Section 5(d) states that "the BBRA may use funds retained under Section 5 to pay the costs of eligible activities for which reimbursement is available under this agreement that occurred before the effective date of the Plan only after the reimbursements described in Section 4 occur."

Section 4 addresses reimbursement-eligible expenses incurred by the developer after the effective date of the Plan.

Pursuant to this language, Mr. Siegel stated it was the developer's position that the City's administrative expenses should be paid first, the developer's eligible expenses incurred after the Plan's effective date should be paid second, and that any eligible expenses incurred before the Plan's effective date should be paid third.

Mr. Siegel also noted that BEA expenses are elsewhere mentioned as eligible expenses in the Agreement documentation.

Mr. Siegel said the developer would cease their request for any additional interest beyond the \$206,128.39 if the BBRA approved Mr. Wackerman's recommendation of a \$1,052,999.11 reimbursement, Mr. Wackerman's recommendation of a \$206,128.39 interest payment, and a payment of the \$39,600.01 for pre-plan eligible expenses.

Mr. Siegel stated he was also aware of some reticence on the part of the City Commission to reimburse the remaining \$31,020.50 of the grant. He asked the Authority to resolve that amount

as a BBRA reimbursement-eligible expense if the Commission does not approve its reimbursement. Mr. Siegel argued that the \$31,020.50 was part of eligible remedial expenses for 2400 E. Lincoln.

In reply to Chairperson Gotthelf, Mr. Siegel explained the \$310,205 was a grant to the City, from the State, to cover part of the remediation expenses for 2400 E. Lincoln. Because the City did not want to advance the \$310,205 before receiving the grant from the State, however, the developer advanced the \$310,205 instead. When the State released 90% of the grant amount to the City, the City immediately repaid the developer for that amount. The State released the 10% remainder of the grant to the City in 2009, which the City did not repay to the developer.

Mr. Siegel stated that the entirety of the grant monies was spent on the 2400 E. Lincoln and the surrounding property which included the City of Birmingham dump.

Ms. Miller clarified that the developer's offer to end pursuit of interest payments above and beyond the \$206,128.39 remained contingent on the \$31,020.50 being repaid by the City to the developer.

Doron Yitzchaki, attorney for J.P. Morgan Chase, explained that during 2400 E. Lincoln's 2009-2010 bankruptcy, 2400 E. Lincoln's bankruptcy trustee provided Chase a Bill of Sale for all of 2400 E. Lincoln's rights, which included future payments, in April 2010.

Mr. Yitzchaki stated that J.P. Morgan Chase and 2400 E. Lincoln have reached a fully-executed global resolution regarding J.P. Morgan Chase's claims to any reimbursements that will result from these proceedings. Part of that resolution includes a release of the BBRA and the City of Birmingham by Chase, and a copy of a Bill of Sale demonstrating that Chase transferred their rights regarding 2400 E. Lincoln to the developer. Those two documents are in escrow with Mr. Yitzchaki pending the Authority's approval of 2400 E. Lincoln's requested reimbursement amounts, and entry of a judgment by Judge Alexander of Oakland County. Once those two conditions are met, Mr. Yitzchaki stated he would release the documents currently in escrow to City Attorney Haynes. Mr. Yitzchaki requested that the BBRA approve 2400 E. Lincoln's requested amounts expediently, stating that time was of the essence for Chase.

In reply to Chairperson Gotthelf, Mr. Yitzchaki explained that if this process does not proceed quickly, Chase will have to intervene as a party in the current Oakland County Court case related to this matter. He said that if that were to occur the case would become vastly more complex, resulting in scheduling orders not being met and further discovery. The resolution made between 2400 E. Lincoln and Chase allows Chase to avoid the further costs that would be entailed in getting involved in the litigation. He said if the process is not complete by September 1, 2019 Mr. Yitzchaki would have to decide whether to try to reach a new agreement with 2400 E. Lincoln or whether to intervene in the litigation on behalf of Chase.

Mr. Wackerman reviewed his findings for the Authority.

Ms. Torcolacci said she would be comfortable authorizing payment for \$206,128.39 and \$1,052,999.11 and a decision on the part of the Authority not to pay the \$39,600.01. She said it was reasonable to consider the \$39,600.01 a pre-plan expense.

Mr. Runco said he would be comfortable authorizing payment solely for the \$1,052,999.11, with the understanding that the Authority requested the City Commission also pay the \$31,020.50 separately from the Authority's proceedings.

Mr. Awdey said he disagreed with authorizing payment for the \$206,128.39, and agreed with authorizing payment for the \$39,600.01.

Chairperson Gotthelf noted that payment for the \$39,600.01 in pre-plan expenses on the part of the City is discretionary according to the Plan and a cost the developer would have expected to incur. She said that because the payment is discretionary, and because the City may have proceeded differently with the project had it known the development it agreed to would not end up being built, she was in favor of not authorizing payment for the \$39,600.01.

Mr. Siegel noted that page 15 of the Plan, regarding interest, reads "interest shall begin to accrue after completion of the developer's expenditures," which was May 2006. The passage continues that "the developer shall provide the Authority with the final total, and the amount of interest payable shall be calculated on the outstanding principal balance." Mr. Siegel asserted that while payment for the pre-plan expenses may be discretionary, payment of the interest is mandatory according to the language of the Plan.

Mr. Awdey said Chairperson Gotthelf's comments regarding the \$39,600.01 were persuasive, and that he no longer thought payment for that amount should be authorized.

In reply to Chairperson Gotthelf, Finance Director Gerber confirmed that interest is accurately calculated at \$206,128.39, according to the Plan's provisions.

City Attorney Haynes clarified that, according to the first paragraph on page 15 of the Plan, interest accrued based on eligible expenses. The payment of interest was not set out in the Plan as being contingent on the completion of the project. He said it was his view that the \$206,128.39 in interest meets all the requirements for reimbursement under the Brownfield Plan.

City Manager Valentine asked that the Authority consider an amendment to the suggested resolution language, under Item Three, that would read "And be it further resolved that the following conditions must be satisfied prior to any distributions occurring:

1. Indemnification be provided from 2400 E. Lincoln to the BBRA and the City to the satisfaction of the BBRA;
2. A release on the grant advance in a form acceptable to the City Attorney;
3. A release from J.P. Morgan Chase's claims to the BBRA in a form acceptable to the City Attorney; and,
4. Entry of a judgment to resolve the litigation in the case in the Oakland County Circuit Court before Judge Alexander."

Mr. Yitzchaki communicated via Ms. Miller that paragraph I of the resolution incorrectly describes Chase's Bill of Sale and release as attached to the resolution. Those two documents, rather, will be delivered by Mr. Yitzchaki to City Attorney Haynes upon the Authority's approval of 2400 E. Lincoln's requested reimbursement amounts and entry of a judgment regarding the litigation by Judge Alexander of Oakland County.

Chairperson Gotthelf stated that the Authority should move paragraph I to Item Five in the resolution in order to address the concerns raised by Mr. Yitzchaki and Ms. Miller. She then entered \$1,052,999.11 as the amount for Item One of the resolution language, and \$206,128.39 as the amount for Item Two of the resolution language.

Mr. Runco said he would rather address interest separate from the \$1,052,999.11 amount.

Chairperson Gotthelf said that the Authority would consider the \$206,128.39 amount and the \$31,020.50 amount after resolving the issue of the \$1,052,999.11 in response to Mr. Runco's request to do so.

Motion by Mr. Runco

Seconded by Ms. Torcolacci to 1. Approve the reimbursement request for eligible expenses in the amount of \$1,052,999.11. 2. The Brownfield Authority approves the request for interest in the amount of \$206,128.39. 3. The Brownfield Authority denies the request for reimbursement of pre-plan expenses because they are not eligible costs under the Brownfield plan. 4. The Brownfield Authority requests that city staff pay the Developer \$31,020.50 as the final repayment of the undocumented loan from the Developer to the City relating to the grant from the Department of Environmental Quality. And be it further resolved that the following conditions must be satisfied prior to any distributions occurring:

- 1. Indemnification be provided from 2400 E. Lincoln to the BBRA and the City to the satisfaction of the BBRA;**
- 2. A release on the grant advance in a form acceptable to the City Attorney;**
- 3. A release from J.P. Morgan Chase's claims to the BBRA in a form acceptable to the City Attorney;**
- 4. Entry of a judgment to resolve the litigation in the case in the Oakland County Circuit Court before Judge Alexander; and**
- 5. Chase Bank has sold and transferred to the Developer all of the Bank's rights and claims under the Reimbursement Agreement and the lawsuit, as evidenced by the bill of sale and release provided to the City.**

Motion to amend by Mr. Runco

Seconded by Mr. Awdey to deny the request for interest in the amount of \$206,128.39.

Mr. Runco said he would be inclined to deny any interest payment.

Mr. Awdey said he believed paying interest would be inappropriate given the length of time that has passed, the fact that the development was never completed, and that the documentation for the completion date is a fax machine cover page.

Ms. Torcolacci said the Brownfield Agreement required the Authority to pay interest. She said that while she also would have liked better documentation than a fax cover sheet, reimbursement-eligible work was completed, which also obligates a payment of reimbursement-eligible interest. She said she understood that different dates of completion would change the amounts slightly, but that the Authority's obligation to pay interest still stood.

Chairperson Gotthelf asked if the developer would like to take a break from the proceedings to privately discuss some of the Authority's concerns regarding interest.

The developer indicated they would appreciate a brief recess.

Chairperson Gotthelf called for a brief recess of the meeting at 10:54 a.m.

Chairperson Gotthelf reconvened the meeting at 11:15 a.m.

Mr. Runco withdrew his proposed amendment to the motion.

Mr. Awdey withdrew his second of the proposed amendment.

Motion to amend by Mr. Runco

Seconded by Mr. Awdey to approve the request for interest in the amount of \$181,000 and to approve the request for the \$31,020.50 grant repayment as a reimbursable remediation expense under the Brownfield Plan if the City Commission does not authorize the \$31,020.50 repayment.

Amendment Carried, 4-0.

VOICE VOTE

Yeas: Runco, Awdey, Gotthelf, Torcolacci

Nays: None

Motion Carried, 4-0.

VOICE VOTE

Yeas: Runco, Torcolacci, Awdey, Gotthelf

Nays: None

4. Open to the Public for Items not on the Agenda

There was no public in attendance.

5. Adjournment

There being no further business, the board passed a motion to adjourn at 11:20 a.m.

Respectfully submitted,

Laura Eichenhorn

Transcriptionist



MEMORANDUM

Planning Department

DATE: April 26, 2021

TO: Brownfield Redevelopment Authority

FROM: Jana Ecker, Planning Director

SUBJECT: Request for Reimbursement – 856 N. Old Woodward Avenue

The developer of the above-captioned property submitted its first request for reimbursement on November 16, 2020, and an updated request for reimbursement on March 19, 2021. These requests are made under the Brownfield Plan for the property approved by the City Commission on October 27, 2016, and the Reimbursement Agreement approved by the City Commission on November 16, 2016.

Over the past several months, there have been ongoing discussions between the City, the developer, environmental consultants and legal counsel to review all eligible expenses for reimbursement under the terms of the Brownfield Plan for 856 N. Old Woodward. A complete review of all documentation was conducted by ASTI Environmental, the City's environmental consultants, and the City's legal counsel. Please see attached report from Mr. Wackerman of ASTI Environmental dated March 25, 2021 for your review.

Based on the review of the reimbursement request by ASTI Environmental, and Mr. Haynes, the City's Brownfield attorney, it is recommended that the BRA find that the expenses eligible for reimbursement be considered for approval in the amount of \$1,940,528.97, which includes expenses for Phase I/Phase II/BEA analysis, due care activities, and Brownfield Plan preparation.

At this time, the Brownfield Authority's attorney is recommending consideration of the attached resolution for reimbursement under the Brownfield plan for 856 N. Old Woodward.

Suggested Action:

Motion to approve the attached resolution for reimbursement under the Brownfield Plan for 856 N. Old Woodward.

**RESOLUTION APPROVING REIMBURSEMENT REQUEST
UNDER THE BROWNFIELD PLAN FOR 856 N. OLD
WOODWARD**

Moved by _____

Seconded by _____

A. WHEREAS, the Birmingham City Commission approved the Brownfield Plan for the property at 856 N. Old Woodward on October 27, 2016; and,

B. WHEREAS, the City of Birmingham, the Birmingham Brownfield Redevelopment Authority, and FLS Properties #5, LLC ("Developer") entered into a Reimbursement Agreement dated November 16, 2016; and,

C. WHEREAS, the Developer performed work and incurred eligible expenses at the site; and,

D. WHEREAS, the Developer submitted its first request for reimbursement on November 16, 2020, and submitted an updated request for reimbursement dated March 8, 2021; and,

E. WHEREAS, the Brownfield Authority consultant, ASTI Environmental, reviewed the reimbursement requests and submitted a memorandum dated March 25, 2021; and,

F. WHEREAS, the Brownfield Authority held a public hearing on the reimbursement request on May 6, 2021;

THEREFORE, BE IT HEREBY RESOLVED THAT:

The Brownfield Authority approves the reimbursement request for eligible expenses in the amount of \$_____.

AYES: _____

NAYS: _____

PRESENT: _____

ABSENT: _____

CERTIFICATION

I, Alexandra Bingham, being the duly appointed and qualified Clerk of the City of Birmingham, Oakland County, Michigan, do hereby certify and declare that the foregoing is a true and correct copy of Resolution, the original of which is on file in my office, adopted by the Birmingham Brownfield Redevelopment Authority at a regular meeting held on May 6, 2021.

I further certify that notice of the meeting was given pursuant to and in full compliance with Act No. 267, Public Acts of Michigan, 1976, as amended.

Alexandra Bingham, City Clerk

ASTI Environmental

Date: March 25, 2021

To: Thomas Markus, City of Birmingham
Jana Ecker, City of Birmingham
Jeffrey Haynes, Beier Howlett

From: Tom Wackerman

Subject: *FLS Properties #5, LLC, Brownfield Reimbursement Request Review, Property Known as 856 N Old Woodward Avenue, Birmingham, MI (ASTI Project No. 2-11666)*

As requested by City of Birmingham (the City), through its Brownfield Authority, ASTI Environmental (ASTI) has reviewed all provided documentation regarding the reimbursement request dated November 16, 2020 with revised date March 8, 2021 (the Request) from FLS Properties #5, LLC (the Developer) for eligible activities conducted on one parcel at 856 N Old Woodward Avenue, parcel number 08-19-25-328-001 (the Eligible Property). This is the first request for reimbursement for the Eligible Property, and does not include any interest costs.

The Request was submitted on November 16, 2020. Following review of the original Request, ASTI submitted five requests for additional supporting documentation to the Developer's consultant (see Attachment A). Supporting documentation was provide in response to each request, and a modified Request was submitted March 19, 2021 (cover letter dated March 8, 2021). It is this modified Request that is the subject of this review.

The purpose of this review is to determine if the Request for the Eligible Property is in compliance with the approved Brownfield Plan, the Reimbursement Agreement, the approved Act 381 Work Plan, 1996 PA 381 (Act 381) at the time of approval, the City's cost reimbursement procedures, and generally accepted practices. This review includes the following attachments.

- Table 1: This is the summary of the amounts requested and recommended for approval. The line numbers in the first column are sequential and reference the supporting documentation provided with the Request (see Attachment B). The work descriptions are from the Request. The Notes column indicates deficiencies or additional information required for review.
- Table 2: This is the summary of the reimbursement request and this review compared to the approved Brownfield Plan and 381 Work Plan approved amounts.
- Table 3: This is a breakdown of eligible expenses in the HM Environmental Invoices in order to match the Request.
- Attachment A: List of Documents Reviewed

- Attachment B: Annotated copy of the Request, providing references for line numbers in Table 1.

The Request has been provided under separate cover.

Background

The Eligible Property is the subject of a Brownfield Plan dated July 26, 2016, revised November 3, 2016, and approved by the City of Birmingham on October 27, 2016 (the Plan), a Reimbursement Agreement approved by the City on November 16, 2016 (the Agreement), and a 381 Work Plan dated October 28, 2016 and approved by the MDEQ on December 22, 2016 (the 381 Work Plan). Please note that the final Plan was amended following City Commission approval to be consistent with the requirements of the City Commission Resolution #10-321-16 dated October 27, 2016.

The Plan and 381 Work Plan request reimbursement of eligible costs estimated at \$2,656,610. The Agreement references total eligible activity costs of approximately \$2,981,610, but limits reimbursement to the line item costs in the Plan plus a maximum of 15% contingency for each line item, and adds an adjustment to the total, for a total **not to exceed amount of \$2,656,610 including interest**, with a not-to-exceed amount of **\$2,148,247 for reimbursement of eligible expenses** (refer to item #12 in Table 2 for the adjustment). The Plan anticipates a total of \$1,409,132, including interest, will be reimbursed from local taxes (Section 5).

The Plan estimates an **interest cost of \$508,364**, which is a not-to-exceed amount. Interest is simple interest at 3% of the actual outstanding balance.

The Agreement limits the time for reimbursement to the earlier of the date that all the eligible costs are fully reimbursed under the agreement, or ten years after the date the Authority begins capture. Tax capture started for the Eligible Property in 2018, so capture would end in 2028 unless reimbursement is completed earlier.

The Agreement indicates that if the state does not approve “the School Taxes component”, then reimbursement for the school tax capture amount will not be provided from local taxes, indicating that only the local proportional share of that eligible cost will be reimbursed (Section 5). School tax capture was approved when the 381 Work Plan was approved in 2016.

Request for Reimbursement under the Brownfield Plan

The **Request is for \$1,940,528.97** (or 73% of the approved Plan costs) to be reimbursed from local and school taxes. This is only a portion of the cost documentation provided in the Request. The documented costs attached in Appendix C of the Request totaled \$2,251,946.48, as indicated on the attached Table 1. Some of these costs were ineligible, were not included in the request, or were withdrawn from the application as indicated below and in Table 1.

The Request was provided in the required format (the Petition per Exhibit C of the Agreement) and included a separate Developer’s certification. Either waivers of lien or cancelled checks were provided



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for all approved amounts. In some cases, the approved amount was less than the cancelled check provided.

The following clarifications are provided to explain the Request and the attachments to this memo. Please refer to attached tables for additional information and the reference numbers listed below.

1. The HM Environmental Services, Inc. Transaction Journal (pages 14 to 17 in Attachment B) was used to obtain details for review of line items 1, and 16 to 26 on attached Table 1. Eligible costs included liners, soils management, and groundwater management, and these are noted on the Transaction Journal. Cost allocations are provided in attached Table 3 in order to compare with the costs listed in the Appendix B summary table in the Request. Refer to the number at the bottom of each column in Table 3 to reference the amounts in Appendix B. Individual costs were consistent with the Request and supported by the Transaction Journal.
2. A copy of invoice 79807 from PM Environmental for \$1,500 was included in the Request (item #5). Based on information provided in a previous submittal, this invoice was paid by Strategic Property Exchanges, LLC and is therefore ineligible for reimbursement. ASTI recommended that it be removed from the request in an email dated 1/11/21, and this was agreed to by the Applicant's consultant in an email dated 1/22/21. As such, it is marked as "Removed from Request" in Attachment B, and is listed as Ineligible on Table 1.
3. Check 1223 from FLS Properties #5 LLC to PM Environmental for \$15,000 (item #30) was included in the Request, and a review of the check register indicates that it is apparently for payment of Invoice 84128, which was not provided, but does indicate that it was for "Disposal/Soil Removal Oversight". However, this check is not included in the amount requested for reimbursement and has therefore been removed from the Request. ASTI recommended that it be removed from the request in an email dated 3/19/21, and this was agreed to by the Applicant's consultant in an email dated 3/19/21. It is marked with a red line in Attachment B, and is listed as Ineligible on Table 1.
4. Check 1230 from FLS Properties #5 LLC to PM Environmental for \$5,000 (item #31) was included in the Request, and a review of the check register indicates that it is apparently for payment of Invoice 87608, which was not provided. However, this check is not included in the amount requested for reimbursement and has therefore been removed from the Request. ASTI recommended that it be removed from the request in an email dated 3/19/21, and this was agreed to by the Applicant's consultant in an email dated 3/19/21. It is marked with a red line in Attachment B, and is listed as Ineligible on Table 1.
5. AIA Change Order 003R (item #28) was included in the Request. Item #13 in that Change Order was for the vent barrier by the Douglas Co. in the amount of \$17,900. The Request originally included a request for reimbursement of \$19,690 for this item: \$17,900 plus a 10% markup of \$1,790. However, sufficient supporting documentation was not provided. ASTI recommended that it be removed from the request in an email dated 1/26/21, and this was



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agreed to by the Applicant's consultant in an email dated 2/8/21. As such, it is marked as "Removed from Request" in Attachment B, and is listed as Ineligible on Table 1.

6. Check 1216 from FLS Properties #5 LLC to PM Environmental (item #27a) references an Invoice #95569. A copy of this invoice was not provided for review, but the description indicates that it was for financial management associated with the Plan.
7. Check 1158 from FLS Properties #5 LLC to PM Environmental (item #27b) does not provide an invoice reference. A subsequent description indicated that it was for project management services.
8. As indicated in the Request, some reimbursement requests have been adjusted to 98% of the total amount incurred to reflect that the provided Waiver of Lien indicates that only 98% of the amount was released to the Applicant. It is anticipated that once the entire amount is released, the remaining 2% of the total cost for these items will be requested for reimbursement in a subsequent application.
9. The following four line items from the Plan are overbudget as indicated in Table 2. However, overall, the Project is still \$207,718 under budget. Please note that because of the reduction in approved reimbursable expenses in the Agreement (item 12 in Table 2), there is no Contingency for this project.
 - a) Costs for Soil Excavation as Haz Waste (line 2 in Table 2) are \$355,411 over budget (131% over budget). This was due to a 50% increase in the volume of soils characterized as hazardous waste. However, it is also due to the way the costs were allocated in the Request. Some of the costs in the Request included both hazardous and non-hazardous soils, or included excavation and transportation, and therefore could not be adequately allocated between the line items "Soil Excavation as Haz Waste" (line 2) and "Soil Transportation and Disposal" (line 3) in Table 2. Therefore, the total costs for soil excavation, transportation and disposal are below budget by \$88,352.
 - b) Costs for Excavation Oversight and Sampling (line 6 in Table 2) are \$60,324 over budget (212% over budget). The descriptive text included with the Request, indicates that the additional costs for PM Environmental were due the increased amount of hazardous soils requiring removal and therefore the increase in costs for assessment, oversight, sampling, and reporting.
 - c) Costs for Project Management (line 9 in Table 2) are \$1,982 over budget (66% over budget).
 - d) Costs for the Brownfield Plan/381 Work Plan (line 11 in Table 2) are \$1,000 over budget (11% over budget).

Recommendations

Based on this review, as illustrated in Table 1, the following is a summary the recommended eligible costs for approval from this Request.

- \$310,656.97 of the amount included in the documentation for this Request is not eligible because it was not requested for reimbursement, was withdrawn, or did not meet the eligibility requirements.
- \$760.54 may be eligible (listed as Potentially Eligible in Table 1) if sufficient documentation is provided. This amount is exclusively the 2% retained for items 15a and 15b.
- \$1,940,528.97 is eligible for reimbursement because sufficient documentation was provided, and the expense was authorized under the Plan.

Next Steps

ASTI recommends approval for reimbursement of \$1,940,528.97 for eligible expenses incurred on the Eligible Property.

If you have any further questions regarding the information provided in this memo please do not hesitate to contact me at 810-599-5463 twacker@asti-env.com.



10448 Citation Drive, #100
P.O. Box 2160
Brighton, Michigan 48116
Phone: 810.225.2800 Fax: 810.225.3800

Table 1. Reimbursement Request Review															
City of Birmingham Property Located At: 856 North Old Woodward Avenue, Birmingham, MI Reimbursement Request For: FLS Properties #5, LLC Reimbursement Requested By: Elizabeth Masserang, PM Environmental (PME) Date of Review: March 25, 2021 First Request										Date of Brownfield Plan Approval: Date of Reimbursement Agreement: Date of 381 Work Plan Approval: Date of Reimbursement Request: Modified:			October 27, 2016 November 16, 2016 December 22, 2016 November 16, 2020; Revised March 8, 2021 12/16/20, 12/23/20, 1/22/21, 2/8/21, 3/11/21		
Ref No	Payee	Description of Work	Date of Invoice	Invoice Reference Number	Applicant Reference Number	Invoice Attachment No.	Cancelled Check?	Check No.	Check Date	Signed Affidavit or Waiver of Lien?	Waiver Date	Documentation Provided	Potentially Eligible - Additional Information Needed	Ineligible Amount	Total Amount Recommended For Approval
Total Amount Below												\$2,251,946.48	\$760.54	\$310,656.97	\$1,940,528.97
Baseline Environmental Assessments												\$14,015.00	\$0.00	\$0.00	\$14,015.00
2	PM Environmental	GPR, Sampling and Laboratory Services	9/21/15	73902	A1		Yes	1162	11/19/15			\$14,015.00			\$14,015.00
Soil Excavation as Haz Waste												\$0.00	\$0.00	\$0.00	\$0.00
(see B2 Below)					B1										\$0.00
Soil Transportation and Disposal												\$2,018,856.74	\$0.00	\$264,373.97	\$1,754,482.77
1	HM Environmental	Excavation, Transportation and Disposal of non-hazardous soils, excavation of hole and moving stockpile, backfill, regrading	4/6/18	24261	B2		No			Unconditional Waiver	6/26/18	\$43,903.66		\$35,754.92	\$8,148.74
16	HM Environmental	Miscellaneous site work and stone	11/17/17	23684	B3		No			Unconditional Waiver	6/26/18	\$85,990.50		\$85,990.50	\$0.00
17	HM Environmental	Excavation, Transportation and Disposal of hazardous soils	11/22/17	23707	B3		No			Unconditional Waiver	6/26/18	\$100,468.75			\$100,468.75
18	HM Environmental	Excavation, Transportation and Disposal of hazardous and non-hazardous soils, visqueen and stone	12/11/17	23764	B3		No			Unconditional Waiver	6/26/18	\$304,917.39		\$6,641.17	\$298,276.22
19	HM Environmental	Excavation, Transportation and Disposal of hazardous and non-hazardous soils, stone	1/8/18	23877	B3		No			Unconditional Waiver	6/26/18	\$565,719.09		\$17,107.71	\$548,611.38
20	HM Environmental	Excavation, Transportation and Disposal of hazardous soils, wall extension	2/2/18	24010	B3		No			Unconditional Waiver	6/26/18	\$272,195.17		\$45,000.00	\$227,195.17
21	HM Environmental	Excavation, Transportation and Disposal of hazardous soils	2/9/18	24049	B3		No			Unconditional Waiver	6/26/18	\$88,789.36			\$88,789.36
22	HM Environmental	Excavation, Transportation and Disposal of hazardous soils	2/20/18	24079	B3		No			Unconditional Waiver	6/26/18	\$159,160.92		\$23.75	\$159,137.17
23	HM Environmental	Excavation, Transportation and Disposal of hazardous soils, standby charges	2/26/18	24102	B3		No			Unconditional Waiver	6/26/18	\$53,867.35		\$3,500.00	\$50,367.35
25	HM Environmental	Excavation, Transportation and Disposal of hazardous and non-hazardous soils, water removal and disposal, standby charges	3/13/18	24184	B3		No			Unconditional Waiver	6/26/18	\$263,651.21		\$52,425.29	\$211,225.92
26	HM Environmental	Excavation, Transportation and Disposal of hazardous and non-hazardous soils, excavation of hole and moving soils, backfill, regrading	3/21/18	24222	B3		No			Unconditional Waiver	6/26/18	\$80,193.34		\$17,930.63	\$62,262.71
Equipment Decon												\$0.00	\$0.00	\$0.00	\$0.00
		(included in items 1, and 16 to 26)													
Delineation Sampling												\$5,690.00	\$0.00	\$0.00	\$5,690.00
3	PM Environmental	Sampling and Laboratory	6/27/16	77059	B5		Yes	1187	9/6/16			\$5,690.00			\$5,690.00
Excavation Oversight, and Sampling												\$88,799.74	\$0.00	\$0.00	\$88,799.74

Table 1. Reimbursement Request Review

City of Birmingham

Property Located At: 856 North Old Woodward Avenue, Birmingham, MI

Reimbursement Request For: FLS Properties #5, LLC

Reimbursement Requested By: Elizabeth Masserang, PM Environmental (PME)

Date of Review: March 25, 2021

First Request

Date of Brownfield Plan Approval:

Date of Reimbursement Agreement:

Date of 381 Work Plan Approval:

Date of Reimbursement Request:

Modified:

October 27, 2016

November 16, 2016

December 22, 2016

November 16, 2020; Revised March 8, 2021

12/16/20, 12/23/20, 1/22/21, 2/8/21, 3/11/21

		Description of Work	Date of Invoice	Invoice Reference Number	Applicant Reference Number	Invoice Attachment No.	Cancelled Check?	Check No.	Check Date	Signed Affidavit or Waiver of Lien?	Waiver Date	Documentation Provided	Potentially Eligible - Additional Information Needed	Ineligible Amount	Total Amount Recommended For Approval
Ref No Payee															
Total Amount Below												\$2,251,946.48	\$760.54	\$310,656.97	\$1,940,528.97
7	PM Environmental	Excavation Oversight, verification sampling, reporting	11/30/17	84128	B6		Yes	1244	12/12/17			\$11,595.61			\$11,595.61
8	PM Environmental	Excavation Oversight, verification sampling, reporting	1/19/18	84715	B6		Yes	1269	3/14/18			\$27,064.95			\$27,064.95
9	PM Environmental	Excavation Oversight, verification sampling, reporting	3/8/18	85166	B6		Yes	1269	3/14/18			\$28,402.73			\$28,402.73
10	PM Environmental	Excavation Oversight, verification sampling, reporting	4/6/18	85575	B6		Yes	1283	5/11/18			\$14,613.33			\$14,613.33
11	PM Environmental	Excavation Oversight, verification sampling, reporting	10/4/18	87608	B6		Yes	1010	10/10/18			\$2,173.12			\$2,173.12
12a	PM Environmental	Excavation Oversight, verification sampling, reporting	12/20/18	88529	B6 or B8		Yes	1028	1/22/19			\$4,950.00			\$4,950.00
Contaminated Groundwater												\$38,102.50	\$249.70	\$4,075.00	\$33,777.80
15a	The Douglas Co.	Contaminated groundwater discharge			B7	15a-1 to 15a-11	No			Included in waiver for Application #24, as part of line item #53 for Change Order 2R	8/24/20	\$12,485.00	\$249.70		\$12,235.30
24	HM Environmental	Water removal and disposal	3/5/18	24146	B7		No			Unconditional Waiver	6/26/18	\$18,567.50		\$4,075.00	\$14,492.50
12b	PM Environmental	WWTP Permit	12/20/18	88529	B7		Yes	1028	1/22/19			\$2,500.00			\$2,500.00
13	PM Environmental	Biennial waste report and EQP5150 Form	6/17/20	94157	B7		Yes	1082	6/24/20			\$1,250.00			\$1,250.00
14	PM Environmental	Management of contaminated groundwater	8/21/20	94762	B7		Yes	1110 and 1127	8/3/20 and 8/26/20			\$3,300.00			\$3,300.00
Vapor Barrier												\$50,000.00	\$510.84	\$20,708.00	\$28,781.16
6	PM Environmental	Work Plan and Meetings	2/23/17	80629	B8		Yes	1194	10/12/16			\$3,750.00			\$3,750.00
15b	The Douglas Co.	Vapor Barrier			B8	15b-1 to 15b-8	No			Included in waiver for Application #24, as part of line item #53 for Change Order 2R	8/24/20	\$26,560.00	\$510.84	\$1,018.00	\$25,031.16
28	The Douglas Co.	Vent Installation (Withdrawn)			B8		No			Included in waiver for Application #24, as part of line item #54 for Change Order 3R	8/24/20	\$19,690.00		\$19,690.00	\$0.00
Project Management												\$24,982.50	\$0.00	\$20,000.00	\$4,982.50
27a	PM Environmental	Financial Management		95569	B9		Yes	1216	11/13/20			\$1,678.75			\$1,678.75
27b	PM Environmental	Deposit for Proposal #01017723			B9		Yes	1158	9/22/20			\$2,500.00			\$2,500.00

Table 1. Reimbursement Request Review															
City of Birmingham Property Located At: 856 North Old Woodward Avenue, Birmingham, MI Reimbursement Request For: FLS Properties #5, LLC Reimbursement Requested By: Elizabeth Masserang, PM Environmental (PME) Date of Review: March 25, 2021 First Request										Date of Brownfield Plan Approval: Date of Reimbursement Agreement: Date of 381 Work Plan Approval: Date of Reimbursement Request: Modified:		October 27, 2016 November 16, 2016 December 22, 2016 November 16, 2020; Revised March 8, 2021 12/16/20, 12/23/20, 1/22/21, 2/8/21, 3/11/21			
Ref No	Payee	Description of Work	Date of Invoice	Invoice Reference Number	Applicant Reference Number	Invoice Attachment No.	Cancelled Check?	Check No.	Check Date	Signed Affidavit or Waiver of Lien?	Waiver Date	Documentation Provided	Potentially Eligible - Additional Information Needed	Ineligible Amount	Total Amount Recommended For Approval
Total Amount Below												\$2,251,946.48	\$760.54	\$310,656.97	\$1,940,528.97
29	PM Environmental	Preparing Reimbursement Request	2/25/21	96476	B9		Yes	1312	3/8/21			\$803.75			\$803.75
30	PM Environmental	Deposit/Soil Removal Oversight (Withdrawn)		84128 Assumed	--		Yes	1223	10/9/17			\$15,000.00		\$15,000.00	\$0.00
31	PM Environmental	Change Order #1/ Proposal #01010337 Withdrawn)		87608 Assumed	--		Yes	1230	11/3/17			\$5,000.00		\$5,000.00	\$0.00
Brownfield Plan/381 Work Plan												\$11,500.00	\$0.00	\$1,500.00	\$10,000.00
4	PM Environmental	Brownfield Plan/381 Work Plan Preparation	10/28/16	78957	C1		Yes	1198	11/4/16			\$10,000.00			\$10,000.00
5	PM Environmental	Brownfield Plan/381 Work Plan Preparation (Withdrawn)	1/4/17	79807	C1		Yes	1117	1/11/17			\$1,500.00		\$1,500.00	\$0.00
Interest															
Contingency (Not Included)															

Table 2. Project Cost Summary

City of Birmingham

Property Located At: 856 North Old Woodward Avenue, Birmingham, MI

Reimbursement Request For: FLS Properties #5, LLC

Reimbursement Requested By: Elizabeth Masserang, PM Environmental (PME)

Date of Review: March 25, 2021

First Request

Date of Brownfield Plan Approval:

October 27, 2016

Date of Reimbursement Agreement:

November 16, 2016

Date of 381 Work Plan Approval:

December 22, 2016

Date of Reimbursement Request:

November 16, 2020; Revised March 8, 2021

Modified:

12/16/20, 12/23/20, 1/22/21, 2/8/21, 3/11/21

Total Eligible Activities	Plan Approvals		Requested Reimbursement		Total Amount in Submittal	Recommended for Approval	Additional Information Required	Ineligible	Remaining Balance Based on Recommended for Approval
	Brownfield Plan	381 Work Plan	Local and State Tax Capture	Local Tax Capture Only					
1 Baseline Environmental Assessments	\$14,155	\$14,155	\$14,015.00		\$14,015.00	\$14,015.00	\$0.00	\$0.00	\$140.00
2 Soil Excavation as Haz Waste	\$270,547	\$270,547			\$674,481.55	\$625,957.80	\$0.00	\$48,523.75	-\$355,410.80
3 Soil Transportation and Disposal	\$1,572,288	\$1,572,288	\$1,733,998.01		\$1,344,375.19	\$1,128,524.97	\$0.00	\$215,850.22	\$443,763.03
4 Equipment Decon	\$7,500	\$7,500	\$15,800.00		\$0.00	\$0.00	\$0.00	\$0.00	\$7,500.00
5 Delineation Sampling	\$21,945	\$21,945	\$5,690.00		\$5,690.00	\$5,690.00	\$0.00	\$0.00	\$16,255.00
6 Excavation Oversight, and Sampling	\$28,475	\$28,475	\$88,799.74		\$88,799.74	\$88,799.74	\$0.00	\$0.00	-\$60,324.74
7 Contaminated Groundwater	\$49,260	\$49,260	\$38,462.55		\$38,102.50	\$33,777.80	\$249.70	\$4,075.00	\$15,482.20
8 Vapor Barrier	\$172,500	\$172,500	\$28,781.16		\$50,000.00	\$28,781.16	\$510.84	\$20,708.00	\$143,718.84
9 Project Management	\$3,000	\$3,000	\$4,982.50		\$24,982.50	\$4,982.50	\$0.00	\$20,000.00	-\$1,982.50
10 Post Construction Due Care Plan	\$5,000	\$5,000			\$0.00	\$0.00	\$0.00	\$0.00	\$5,000.00
11 Brownfield Plan/381 Work Plan	\$9,000	\$9,000	\$10,000.00		\$11,500.00	\$10,000.00	\$0.00	\$1,500.00	-\$1,000.00
12 Reduction Per Agreement	-\$325,000	-\$325,000			\$0.00	\$0.00	\$0.00	\$0.00	-\$325,000.00
Contingency	\$319,577	\$319,577			\$0.00	\$0.00	\$0.00	\$0.00	\$319,577.00
26 Unknown (NOS)					\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Total Eligible Activities	\$2,148,247	\$2,148,247	\$1,940,528.96	\$0.00	\$2,251,946.48	\$1,940,528.97	\$760.54	\$310,656.97	\$207,718.03

Table 3. Details for HM Environmental Transaction Journal

City of Birmingham
Property Located At: 856 North Old Woodward Avenue, Birmingham, MI
Reimbursement Request For: FLS Properties #5, LLC
Reimbursement Requested By: Elizabeth Masserang, PM Environmental (PME)
Date of Review: March 25, 2021
First Request

Date of Brownfield Plan Approval: October 27, 2016
Date of Reimbursement Agreement: November 16, 2016
Date of 381 Work Plan Approval: December 22, 2016
Date of Reimbursement Request: November 16, 2020; Revised March 8, 2021
12/16/20, 12/23/20, 1/22/21, 2/8/21, 3/11/21

Invoice Number	Memo	Invoice Amount	Eligible	Ineligible	Not Requested	Total	Line No.	Allocation to Requested Amount				
								Visqueen	Haz Soils	Non Haz Soils	Non Haz Soils Eligible	Groundwater
23684	Progress Billing 10/31/17 Through 11/16/17						16					
	Operator & Laborer to balance the site for work to be performed by Hardman Construction	\$20,000.00			\$20,000.00	\$20,000.00						
	Visqueen Rolls (3 mill)	20	\$1,500.00		\$1,500.00	\$1,500.00						
	Stone - 1X3 Crushed Concrete	80.93	\$2,100.13		\$2,100.13	\$2,100.13						
	Stone - 21AA Crushed Concrete	54.56	\$1,263.06		\$1,263.06	\$1,263.06						
	Construction	1	\$61,127.31		\$61,127.31	\$61,127.31						
	Total		\$85,990.50	\$0.00	\$0.00	\$85,990.50						
23707	1/27/17 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	\$100,468.75	\$100,468.75			\$100,468.75	17		\$100,468.75			
		\$100,468.75	\$100,468.75	\$0.00	\$0.00	\$100,468.75						
23764	11/28 Through 12/08 Excavate, Transport and Disposal of Hazardous sons to Wayne	\$260,234.96	\$260,234.96			\$260,234.96	18		\$260,234.96			
	1.1/28 Through 12/08 Excavate, Transport and Disposal of Non Haz Solis to Advanced	\$43,801.46	\$37,801.26	\$6,000.20		\$43,801.46				\$43,801.46	\$37,801.26	
	Visqueen (1) Roll (10 mill)	\$240.00	\$240.00			\$240.00		\$240.00				
	Stone - 1X3 Crushed Concrete	\$640.97			\$640.97	\$640.97						
	Total	\$304,917.39	\$298,276.22	\$6,000.20	\$640.97	\$304,917.39						
23877	Progress Billing 12/09/17 Through 12/29/17						19					
	12/09 Through 12/29 Excavate, Transport and Disposal of Hazardous Soils to Wayne	\$439,500.15	\$439,500.15			\$439,500.15			\$439,500.15			
	Demurrage at Wayne Disposal 1.1/29/17 Through 12/08/17 (Not Previously Billed)	\$498.75			\$498.75	\$498.75						
	Demurrage at Wayne Disposal 12/08/17 Through 12/29/17	\$4,085.00			\$4,085.00	\$4,085.00						
	12/09 Through 12/29 Excavate, Transport and Disposal of Non Haz Soils to Advanced	\$117,253.33	\$101,191.23	\$16,062.10		\$117,253.33				\$117,253.33	\$101,191.23	
	Stone - 1X3 Crushed Concrete	\$1,417.65			\$1,417.65	\$1,417.65						
	Truck Liners - Hazardous Loads Only	\$7,920.00	\$7,920.00			\$7,920.00		\$7,920.00				
	Credit due from Previous Inv. (1.5 Discount for Early Payment on Inv. # 23764)	-\$4,955.79			-\$4,955.79	-\$4,955.79						
24010	Total	\$565,719.09	\$ 548,611.38	\$ 16,062.10	\$ 1,045.61	\$ 565,719.09	20					
	Progress Billing12/30/17 Through 02/02/18											
	0:1/02/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	\$23,001.72	\$23,001.72			\$23,001.72			\$23,001.72			
	Northeast & Southwest Wall Extensions	\$45,000.00			\$45,000.00	\$45,000.00						
	0:1/30/18 Excavate, Transport and Disposal of Hazardous Soll to Wayne Disposal	\$46,337.80	\$46,337.80			\$46,337.80			\$46,337.80			
	0:1/3:1/18 Excavate, Transport and Disposal of Hazardous Soll to Wayne Disposal	\$48,667.06	\$48,667.06			\$48,667.06			\$48,667.06			
	02/0:1/18 Excavate, Transport and Disposal of Hazardous Soll to Wayne Disposal	\$52,277.51	\$52,277.51			\$52,277.51			\$52,277.51			
	02/02/18 Excavate, Transport and Disposal of Hazardous Soll to Wayne Disposal	\$54,671.08	\$54,671.08			\$54,671.08			\$54,671.08			
	Truck Liners - Hazardous Loads Only	\$2,240.00	\$2,240.00			\$2,240.00		\$2,240.00				
	Total	\$272,195.17	\$ 227,195.17	\$ 0.00	\$ 45,000.00	\$ 272,195.17						
24049	Progress Billing 02/03/18 Through 02/09/18						21					
	02/05/1.8 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	\$25,977.20	\$25,977.20			\$25,977.20			\$25,977.20			
	02/06/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	\$25,388.86	\$25,388.86			\$25,388.86			\$25,388.86			
	02/07/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	\$16,230.93	\$16,230.93			\$16,230.93			\$16,230.93			
	02/08/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	\$20,312.37	\$20,312.37			\$20,312.37			\$20,312.37			
	Truck Liners - Hazardous Loads Only	\$880.00	\$880.00			\$880.00		\$880.00				
	Total	\$88,789.36	\$88,789.36	\$0.00	\$0.00	\$88,789.36						
24079	02/12/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	\$26,354.96	\$26,354.96			\$26,354.96	22		\$26,354.96			
	02/13/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	\$30,404.26	\$30,404.26			\$30,404.26			\$30,404.26			
	02/14/18 Excavate, Transport and Disposal of Hazardous Soll to Wayne Disposal	\$38,334.05	\$38,334.05			\$38,334.05			\$38,334.05			
	Demurrage at Disposal - Truck # 109 (3rd Load)	\$23.75			\$23.75	\$23.75						
	02./:1.5/:1.8 Excavate, Transport and Disposal of Hazardous Soll to Wayne Disposal	\$27,353.22	\$27,353.22			\$27,353.22			\$27,353.22			
	02/16/1.8 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	\$35,210.68	\$35,210.68			\$35,210.68			\$35,210.68			
	Truck Liners - Hazardous Loads Only	\$1,480.00	\$1,480.00			\$1,480.00		\$1,480.00				
	Total	\$159,160.92	\$ 159,137.17	\$ 0.00	\$ 23.75	\$ 159,160.92						
21402	02/19/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	\$36,131.78	\$36,131.78			\$36,131.78	23		\$36,131.78			
	02/20/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	\$13,795.57	\$13,795.57			\$13,795.57			\$13,795.57			

Table 3. Details for HM Environmental Transaction Journal

City of Birmingham			Date of Brownfield Plan Approval:		October 27, 2016	
Property Located At: 856 North Old Woodward Avenue, Birmingham, MI			Date of Reimbursement Agreement:		November 16, 2016	
Reimbursement Request For: FLS Properties #5, LLC			Date of 381 Work Plan Approval:		December 22, 2016	
Reimbursement Requested By: Elizabeth Masserang, PM Environmental (PME)			Date of Reimbursement Request:		November 16, 2020; Revised March 8, 2021	
Date of Review: March 25, 2021					12/16/20, 12/23/20, 1/22/21, 2/8/21, 3/11/21	
First Request						

Invoice Number	Memo	Invoice Amount	Eligible	Ineligible	Not Requested	Total	Line No.	Allocation to Requested Amount				
								Visqueen	Haz Soils	Non Haz Soils	Non Haz Soils Eligible	Groundwater
	02/20/18 Stand By Rate 1/2 Day (Weather Related)	\$500.00			\$500.00	\$500.00						
	02/21/18 Stand By Rate (Weather Related)	\$1,000.00			\$1,000.00	\$1,000.00						
	02/22/18 Stand By Rate (Weather Related)	\$1,000.00			\$1,000.00	\$1,000.00						
	02/23/18 Stand By Rate (Weather Related)	\$1,000.00			\$1,000.00	\$1,000.00						
	Truck Liners - Hazardous Loads Only	\$440.00	\$440.00			\$440.00		\$440.00				
	Total	\$53,867.35	\$50,367.35	\$0.00	\$3,500.00	\$53,867.35						
24146	02/27/18 Delivery and Placement of Stone for Well and Pad	\$1,650.00			\$1,650.00	\$1,650.00	24					
	Excavation and Placement of Well	\$1,425.00			\$1,425.00	\$1,425.00						
	02/28/18 Site Supervisor - Load Trucks with Groundwater	\$750.00	\$750.00			\$750.00						\$750.00
	Additional Flagger for Truck Traffic	\$500.00			\$500.00	\$500.00						
	Daily Pump Rental	\$450.00	\$450.00			\$450.00						\$450.00
	Bulk Tanker w/Operator - Transport Groundwater to Disposal	\$1,610.00	\$1,610.00			\$1,610.00						\$1,610.00
	Disposal of Non Regulated Ground Water to DART - Manifest #'s 018587690JJK, 018587691.JJK	\$7,262.50	\$7,262.50			\$7,262.50						\$7,262.50
	03/0:1,/18 Supervisor Checking Excavation On Site - NO CHARGE					\$0.00						
	03/02/18 Site Supervisor - Load Trucks with Groundwater	\$750.00	\$750.00			\$750.00						\$750.00
	Additional Flagger for Truck Traffic	\$500.00			\$500.00	\$500.00						
	Daily Pump Rental	\$450.00	\$450.00			\$450.00						\$450.00
	Bulk Tanker w/Operator - Transport Groundwater to Disposal	\$770.00	\$770.00			\$770.00						\$770.00
	Disposal of Non Regulated Ground Water to DART - Manifest # 018587692JJK	\$2,450.00	\$2,450.00			\$2,450.00						\$2,450.00
	Disposal of Non Regulated Ground Water to DART - Manifest # 018587692JJK	\$18,567.50	\$14,492.50	\$0.00	\$4,075.00	\$18,567.50						
	Total											
24184	03/05/18 Excavate, Transport and Disposal of Hazardous Soll to Wayne Disposal	\$33,775.18	\$33,775.18			\$33,775.18	25		\$33,775.18			
	Bulk Tanker w/Operator - Transport Groundwater to Disposal	\$700.00	\$700.00			\$700.00						\$700.00
	Disposal of Non Regulated Ground Water to DART - Manifest # 018587704 JJK	\$1,604.75	\$1,604.75			\$1,604.75						\$1,604.75
	03/06/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	\$33,267.21	\$33,267.21			\$33,267.21			\$33,267.21			
	03/07/18 Stand By Rate (Meeting with Hardman to discuss finishing Harz. Soil Removal)	\$1,000.00			\$1,000.00	\$1,000.00						
	03/08/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	\$68,947.28	\$18,493.74		\$50,453.54	\$68,947.28			\$18,493.74			
	03/09/18 Excavate, Transport and Disposal of Hazardous Soll to Wayne Disposal	\$28,687.45	\$28,687.45			\$28,687.45			\$28,687.45			
	Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	\$32,913.56	\$32,913.56			\$32,913.56			\$32,913.56			
	Demurrage On Site - Truck # 1.29	\$50.00			\$50.00	\$50.00						
	Demurrage at Disposal - Truck # 1.29	\$50.00			\$50.00	\$50.00						
	Demurrage at Disposal - Truck # 1.09	\$100.00			\$100.00	\$100.00						
	Bulk Tanker w/Operator - Transport Groundwater to Disposal	\$770.00	\$770.00			\$770.00						\$770.00
	Disposal of Non Regulated Ground Water to DART - Manifest# 018587705 JJK	\$1,610.00	\$1,610.00			\$1,610.00						\$1,610.00
	03/1.2/18 Excavate, Transport and Disposal of Hazardous Soll to Wayne Disposal	\$38,637.87	\$38,637.87			\$38,637.87			\$38,637.87			
	03/1.3/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	\$13,744.13	\$13,744.13			\$13,744.13			\$13,744.13			
	Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	\$5,633.78	\$4,862.03	\$771.75		\$5,633.78				\$5,633.78	\$4,862.03	
	Truck Liners - Hazardous Loads Only	\$2,160.00	\$2,160.00			\$2,160.00		\$2,160.00				
	Total	\$263,651.21	\$211,225.92	\$771.75	\$51,653.54	\$263,651.21						
24222	Progress Billing 03/14/18 Through 03/20/18						26					
	03/14/18 Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	\$5,856.43	\$5,054.18	\$802.25		\$5,856.43				\$5,856.43	\$5,054.18	
	03/15/18 Excavate, Transport and Disposal of Hazardous Soll to Wayne Disposal	\$18,534.48	\$18,534.48			\$18,534.48			\$18,534.48			
	Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	\$4,127.42	\$3,562.02	\$565.40		\$4,127.42				\$4,127.42	\$3,562.02	
	03/16/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	\$19,058.52	\$19,058.52			\$19,058.52			\$19,058.52			
	Excavate, Transport and Disposal of Non Hazardous Soll to Advanced Disposal	\$2,030.13	\$1,752.03	\$278.10		\$2,030.13				\$2,030.13	\$1,752.03	
	03/19/18 Stockpile and Load out Soll on West Wall for Hardman	\$2,500.00			\$2,500.00	\$2,500.00						
	(2)55 Gallons Drums - Protect two Pyle Caps	\$112.00			\$112.00	\$112.00						
	Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	\$4,259.88	\$4,259.88			\$4,259.88			\$4,259.88			
	Backfill - 21AA Crushed Concrete (8 Loads)	\$5,218.01			\$5,218.01	\$5,218.01						
	Corner of Job Site per Hardman	\$2,500.00			\$2,500.00	\$2,500.00						
	Excavate, Transport and Disposal of Hazardous Soll to Wayne Disposal	\$9,601.60	\$9,601.60			\$9,601.60			\$9,601.60			
	Demurrage at Disposal - Truck # 1!!4	\$25.00			\$25.00	\$25.00						
	Demurrage at Disposal - Truck # 127	\$25.00			\$25.00	\$25.00						

Table 3. Details for HM Environmental Transaction Journal

City of Birmingham

Property Located At: 856 North Old Woodward Avenue, Birmingham, MI

Reimbursement Request For: FLS Properties #5, LLC

Reimbursement Requested By: Elizabeth Masserang, PM Environmental (PME)

Date of Review: March 25, 2021

First Request

Date of Brownfield Plan Approval: October 27, 2016

Date of Reimbursement Agreement: November 16, 2016

Date of 381 Work Plan Approval: December 22, 2016

Date of Reimbursement Request: November 16, 2020; Revised March 8, 2021

12/16/20, 12/23/20, 1/22/21, 2/8/21, 3/11/21

Invoice Number	Memo	Invoice Amount	Eligible	Ineligible	Not Requested	Total	Line No.	Allocation to Requested Amount				
								Visqueen	Haz Soils	Non Haz Soils	Non Haz Soils Eligible	Groundwater
	Backfill - 21AA Crushed Concrete (8 Loads)	\$5,904.87			\$5,904.87	\$5,904.87						
	Truck Liners - Hazardous Loads Only	\$440.00	\$440.00			\$440.00		\$440.00				
	Total	\$80,193.34	\$62,262.71	\$1,645.75	\$16,284.88	\$80,193.34						
24261	03/2:1,/18 Excavate Hole to Elevation and move Stockpile from South East Corner for	\$2,500.00			\$2,500.00	\$2,500.00	1					
	Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	\$4,236.56	\$3,656.21	\$580.35		\$4,236.56				\$4,236.56	\$3,656.21	
	Backfill - 21AA Crushed Concrete (6 Loads)	\$4,461.47			\$4,461.47	\$4,461.47						
	03/22/18 Stockpile Soil for Hardman & Clean up Soil Piles from Drilling	\$2,500.00			\$2,500.00	\$2,500.00						
	03/23/18 Stockpile Soil for Hardman & Clean up Soil Piles from Drilling	\$2,500.00			\$2,500.00	\$2,500.00						
	Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	\$3,167.47	\$2,733.57	\$433.90		\$3,167.47				\$3,167.47	\$2,733.57	
	03/26/18 Stockpile for Ramp, Re-grade Northeast Side of Excavation	\$2,500.00			\$2,500.00	\$2,500.00						
	Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	\$2,038.16	\$1,758.96	\$279.20		\$2,038.16				\$2,038.16	\$1,758.96	
	03/27/18 Through 03/29/18 Assist Hardman Onsite	\$7,500.00			\$7,500.00	\$7,500.00						
	03/30/18 Assist Hardman Onsite	\$1,250.00			\$1,250.00	\$1,250.00						
	03/3:1,/18 Through 04/05/18 Assist Hardman Onsite	\$10,000.00			\$10,000.00	\$10,000.00						
	04/06/18 Finish Onsite Work and Load Equipment	\$1,250.00			\$1,250.00	\$1,250.00						
	Total	\$43,903.66	\$ 8,148.74	\$ 1,293.45	\$ 34,461.47	\$ 43,903.66						
Total		\$ 2,037,424.24	\$ 1,768,975.27	\$ 25,773.25	\$ 242,675.72	\$ 2,037,424.24		\$ 15,800.00	\$ 1,571,626.53	\$ 188,144.74	\$ 162,371.49	\$ 19,177.25
	Appendix B Reference							B4	B2		B3	B7

Attachment A
List of Documents Reviewed
Attachment to Memo Dated March 22, 2021

1. Letter request for reimbursement titled *Tax Increment Financing Reimbursement Request for the Pearl Development Location at 856 North Old Woodward Avenue, Michigan 48009; Request 01* and dated November 16, 2020 to Ms. Jana Ecker, Director of Planning, City of Birmingham from Elizabeth Masserang, PM Environmental, with the following attachments:
 - a. Signed certification from Frank Simon for FLS Properties #5, LLC
 - b. Signed Exhibit C from the Agreement dated November 16, 2020
 - c. Description of Eligible Activities Conducted
 - d. Brownfield Reimbursement Request *Table 1: 856 North Old Woodward Ave, Birmingham – eligible Activities Cost Estimates (incl. School Tax Capture)*
 - e. Attachment C: Eligible Expenses Documentation
2. *Brownfield Reimbursement Agreement*, dated October 27, 2016 and signed November 16, 2016 (the Agreement)
3. *Act 381 Work Plan to Conduct Eligible DEQ Response and/or MSF Non-Environmental Activities, Mixed Use Development, 856 North Old Woodward Avenue, Oakland County, Birmingham, Michigan* dated October 28, 2016 (Act 381 Work Plan)
4. *Brownfield Plan, Mixed Use Development, Located at 856 North Old Woodward Avenue, Birmingham, Michigan* dated July 26, 2016, Revised November 3, 2016 (the Plan)
5. Email titled *RE: Request for Reimbursement for the Pearl* from Elizabeth Masserang dated December 16, 2020 in response to a December 3 email request for clarification and additional information. Including the following attachments:
 - a. Copies of PM Environmental Cancelled Checks
 - b. HM invoices for transaction journal 12
 - c. HM Pay Application #11 confirming invoice 24261
 - d. Douglas Pay Applications 4 to 6
 - e. Updated Appendix B Eligible Activity Table
6. Email titled *RE: Request for Reimbursement for the Pearl* from Elizabeth Masserang dated December 23, 2020 in response of a December 21 email request for clarification and additional information. Including the following attachments:
 - a. Updated Appendix B Eligible Activity Table
7. Email titled *RE: Request for Reimbursement for the Pearl* from Elizabeth Masserang dated January 22, 2021 in response to a January 11 email request for clarification and additional information. Including the following attachments:
 - a. Revised Dixon quote for vapor mitigation
 - b. Future Environmental worksheets
 - c. Parker-Arntz quote for vapor system materials and labor
8. Email titled *RE: Request for Reimbursement for the Pearl* from Elizabeth Masserang dated February 8, 2021 in response to a January 26 email request for clarification and additional information. Including the following attachments:
 - a. Proposed Change Order Request #2 from Dixon for vapor barrier and venting
 - b. Future Environmental invoices
 - c. Dixon Applications for Payment and checks
 - d. AIA Payment Application #24, Change Orders #002R and #003R, and Douglas Company Partial Conditional Waiver
 - e. Updated Appendix B Eligible Activity Table

9. Email titled *RE: Request for Reimbursement for the Pearl* from Elizabeth Masserang dated March 11, 2021 in response of a February 22 email request for clarification and additional information. Including the following attachments:
 - a. Modified Request for Reimbursement titled "Reimbursement Request 01_The Pearl_RV 3.8.21"
10. Email titled *RE: Request for Reimbursement for the Pearl* from Elizabeth Masserang dated March 19, 2021 in response to a March 19 email request for clarification and additional information. Including the following attachments:
 - a. Modified Request for Reimbursement titled "Reimbursement Request 01_The Pearl_RV 3.19.21"
 - b. HM Pay Application #11 confirming invoice 24261
 - c. Dixon Applications for Payment and checks
 - d. Future Environmental invoices

Attachment B
Annotated Copy of the Request
Attachment to Memo Dated March 22, 2021



10448 Citation Drive, #100
P.O. Box 2160
Brighton, Michigan 48116
Phone: 810.225.2800 Fax: 810.225.3800



Corporate Headquarters
Lansing, Michigan
3340 Ranger Road, Lansing, MI 48906
f: 877.884.6775
t: 517.321.3331

Michigan Locations
Berkley Bay City
Grand Rapids Chesterfield
Lansing

Revised March 8, 2021
November 16, 2020

Ms. Jana Ecker
Director of Planning, City of Birmingham
Birmingham Redevelopment Authority
151 Martin Street
Birmingham, Michigan 48009

**RE: Tax Increment Financing Reimbursement Request for the Pearl Development
Located at 856 North Old Woodward Avenue, Michigan 48009; Request 01**

Ms. Ecker:

Enclosed is Tax Increment Financing (TIF) Reimbursement Request 01 for the Property located at 856 North Old Woodward Avenue, Michigan.

This request is being submitted on behalf of FLS Properties #5, LLC ("Developer"). The terms for reimbursement of eligible brownfield costs were set forth in the Brownfield Reimbursement Agreement executed by the City of Birmingham's Brownfield Redevelopment Authority (BRA) and FLS Properties #5, LLC on October 27, 2016.

Enclosed is a description of each individual Eligible Activity, the associated costs of each activity, and documentation of the costs incurred including proof of payment and detailed invoices.

To the extent that this submission is approved, the BRA shall cause Developer to be paid the amounts approved as determined eligible under the Brownfield Plan and documented in the reimbursement request.

The total not to exceed cost for Eligible Activities approved in the Brownfield Plan is \$2,656,610.00. This total included an estimated \$508,364 in 3% simple interest which will be calculated based on the actual reimbursement schedule. Therefore, less interest, the total not to exceed is \$2,148,247.00.

The total amount of Eligible Activity reimbursement under this request, Request 01, is **\$1,940,528.97** resulting in a remaining balance of \$207,718.03 for future reimbursement requests.

If you have any questions related to this request, please do not hesitate to contact our office at (248) 336-9988 or email at masserang@pmenv.com.


Sincerely,
PM ENVIRONMENTAL, INC.

Elizabeth Masserang
Regional Manager – Brownfield & Economic
Incentives

I certify that the information submitted on and with this Request for Reimbursement is accurate and is an eligible cost described in the Brownfield Plan for this project approved by the City Commission of Birmingham.

Name: Frank Simon

FLS Properties #5, LLC

Signature: 

Date: 3/8/2021

Title: Owner

Address: 2950 Walnut Lake Road

W. Bloomfield, MI 48323

Exhibit C

**Brownfield Request for Cost Reimbursement
For Eligible Activities**

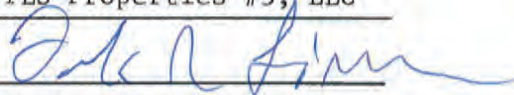
Date: 3/8/2021

Listed below are total costs expended for each eligible activity category for the expenses being submitted with this request. Attached is evidence of each cost item, including proof of payment and detailed invoices.

Eligible Activity Category		Total Cost
1.	Phase I/Phase II/BEA	\$14,015
2.	Due Care Activities	\$1,916,513.97
3.	Additional Response Activities	\$0
4.	Brownfield Plan preparation	\$10,000
5.	Interest	3% on actual unreimbursed costs
Total Cost Reimbursement Request		\$1,940,528.97 plus interest

I certify that the information submitted on and with this Request for Cost Reimbursement is accurate and is an eligible cost described in the Brownfield Plan for this project approved by the City Council of the City of Birmingham.

Developer: FLS Properties #5, LLC

Signature: 

Title: Owner

Address: 2950 Walnut Lake Road
W. Bloomfield, MI 48323

Appendix A



Description of Eligible Activities Conducted

The Eligible Activities (as defined by Section 2 of Public Act 381, as amended) that were completed as permitted under the Brownfield Redevelopment Financing Act and included in the approved Brownfield Plan are further described below and in Appendix A:

Baseline Environmental Site Assessment Activities

Baseline Environmental Site Assessment activities approved under the Brownfield Plan included a Phase I Environmental Site Assessment (ESA), Phase II ESA, Baseline Environmental Assessment (BEA), and Documentation of Due Care Compliance (DDCC) totaling \$14,155.00.

Baseline Environmental Site Assessment activities within this request included a Phase II ESA and BEA.

Costs are tabulated within Appendix B for a total cost of \$14,015.00 and associated invoice are provided in Appendix C.

Due Care Activities

PM Environmental, Inc. (PM) conducted delineation and sampling of existing Tetrachloroethylene soil concentrations in May/June 2016, prior to the excavation to better define the horizontal extent of chlorinated solvent impacts in soils and groundwater. A total of \$5,690.00 is being requested in relation to this work of the \$21,945.00 that was budgeted.

HM Environmental Services Inc. (HM) completed the removal, transport and disposal of 15,245.35 tons of contaminated soils, which more specifically included 10,090.70 tons of hazardous waste soils and 5,154.65 tons of non-hazardous waste soils. The removal was associated with the required site grading and spoils related to the installation of the new building foundations and utilities.

Contaminated soil transportation and disposal cost estimates received at the time of Brownfield Plan development was for up to 20,095 tons and were described as follows:

- “A portion of contaminated soils (approximately 6,705 of the identified 20,095 tons), located along the northern property boundary are anticipated to require disposal as a listed hazardous waste, estimated for a cost differential of \$40.35/ton.
- Transport of 20,095 tons of contaminated soil cost is estimated at \$412,553. This estimate includes both; Transport of up to 13,390 tons of soil to a Type II Landfill at \$7/ton totaling \$93,730; and Transport of up to 6,705 tons of hazardous material at \$47.55/ton totaling \$318,823.
- Disposal of 20,095 tons of contaminated soil cost is estimated at \$1,159,735. This estimate includes both; Disposal of up to 13,390 tons of soil to a Type II Landfill at \$11.50/ton totaling \$153,985 and; Disposal of up to 6,705 tons of hazardous material at \$150/ton totaling \$1,005,750.”

The actual volumes and soils incurred was as follows:

- A total of 10,090.70 tons of hazardous soils were excavated at a cost of \$10/ton which would be \$5/ton more than if the soils were non-hazardous. At a rate of \$5/ton, a total of \$50,453.50 is being requested for this line item.
- A total of 10,090.70 tons of hazardous soils were transported and disposed of at a cost of \$150.75/ton, split between transportation at \$23/ton and disposal at \$127.75/ton. At a rate of \$150.75/ton, a total of \$1,521,173.03 is being requested for this line item.
- A total of 5,154.65 tons of non-hazardous soils were transported and disposed of at a cost of \$31.50/ton, split between transportation at \$16/ton and disposal at \$15.50/ton. At a rate of \$31.50/ton, a total of \$162,371.48 is being requested for this line item.

In summary a total of \$1,733,998.02 is being requested for reimbursement, related to the excavation of hazardous soils and the transport and disposal of both hazardous and non-hazardous soils. This is documented in Appendix C.

During the transport and disposal of hazardous soils, to prevent migration of contamination off-site, trucks were lined with Visqueen, a polyethylene plastic sheeting liner. A total of \$15,800.00 was incurred for this.

Contaminated groundwater disposal cost estimates received at the time of Brownfield Plan development was for 30,000 gallons at \$1.40/gal. A total of 36,935.00 gallons of contaminated groundwater was disposed and a cost of \$19,177.25 under contract with HM Environmental. Additionally, Future Environmental, a subcontractor to The Douglas Company conducted discharge of contaminated water at a cost of \$12,485 under Change Order #02 of which 98% (\$12,235.30) is being requested based on proof of payment documentation to date. An additional \$7,050.00 was incurred with the related permitting and reporting. The related detail is included in Appendix C.

PM completed assessment, oversight and verification of soil removal. Soil removal to support construction activities was completed between November 2017 and March 2018 in compliance with applicable regulations for handling and disposal.

Assessment, oversight, verification sampling and reporting cost estimates scoped at the time of Brownfield Plan development was for \$28,475 for known site conditions. Actual costs for these services amounted to \$88,799.74. Due to the nature of the site especially with the increased amount of hazardous soils to be assessed, observed, sampled and reported, more samples and time was needed than originally estimated, explaining the higher cost incurred and provided in the request.

Since the soil removal activities were not planned to remove all contaminants of concern, a chemically resistant vapor barrier and passive ventilation system was installed along the northern sub-grade wall of the parking area and under enclosure portions of the lowest floor of the building.

The presumptive vapor intrusion concerns were mitigated by installing a vapor barrier and passive venting system in accordance with vapor barrier manufacturer's recommendations. Therefore, no additional investigation was required to further assess the vapor intrusion pathway. AKT Peerless conducted a vapor barrier inspection in June 2019, under Douglas's contract which confirmed that the vapor barrier and passive venting system was installed in accordance with the design

specifications, manufacturer requirements, and passed smoke testing conducted by the installer conducted to verify that the vapor barrier membrane system was leak free at the time it was installed. The Douglas Company oversaw this work under Change Order 02 and 03 of their contract. Costs of \$25,542.00 was incurred related to the vapor barrier and vapor barrier installation of which 98% (\$25,031.16) is being requested based on proof of payment documentation to date. The associated change orders are provided in Appendix C.

A cost of \$3,750.00 was incurred related to vapor barrier specifications and \$4,982.50 was incurred as it relates to the coordination of proper and compliant financial tracking and reporting, as required in relation to due care, additional response, and brownfield related activities being submitted for reimbursement.

These activities are eligible as they are defined by Act 381 as eligible activities and listed in the approved Brownfield Plan within the description of costs to be paid for with TIR. The Brownfield Plan approved a cost of \$2,130,515 for these activities. Costs are tabulated within Appendix C for a total cost of \$1,916,513.97 and associated documentation is provided.

Brownfield Plan Preparation

Brownfield Plan and Act 381 Work Plan Preparation were approved under the Brownfield Plan totaling \$9,000.00. Preparation of the Brownfield Plan and Act 381 Work Plan included meetings/consultations, report preparation, and associated correspondence and management activities.

Costs are tabulated within Appendix B for a total cost of \$10,000.00 for Request 01. A Change Order was issued for this item in association with additional documentation and meetings at the request of the Birmingham Brownfield Redevelopment Authority (BBRA). The associated invoice is provided in Appendix C.

Appendix B



ASTI Table 1 Line No.

Table 1: 856 North Old Woodward Ave, Birmingham - Eligible Activities Cost Estimates (incl. School Tax Capture)															
Item/Activity			Total Approved	Actual Cost	Balance	Invoice Number	Line Item	Contractor	Notes/Description						
Baseline Environmental Assessments															
A1	Phase I ESA, Phase II ESA, BEA, DCCC			\$ 14,155	\$ 2	14,015.00	\$ 140.00	73902	-	PM Environmental	Phase II ESA/BEA				
Baseline Environmental Assessments Total				\$ 14,155	\$ 14,015.00	\$ 140.00									
Due Care Activities															
B1	Excavation of hazardous material			\$ 270,547	\$ 1,571,626.55	23,492.95	Pay App 11	3.4	HM Environmental	10,900.70 tons excavated, transported and disposed of at \$155.75/ton					
B2	Transportation and Disposal of Hazardous Soils			\$ 1,324,573											
B3	Disposal of hazardous material			\$ 247,715	\$ 162,371.48	See Table 3	Pay App 11	5	HM Environmental	5,154.65 tons transport and disposal at \$31.50/ton					
B4	Excavation Equipment Decon and Decon Wastewater Handling			\$ 7,500	\$ 15,800.00	(8,300.00)	Pay App 11	2.6	HM Environmental	Viqueen truck liners					
B5	Additional delineation and sampling of Tetrachloroethylene soil concentrations			\$ 21,945	\$ 3	5,690.00	77059	-	PM Environmental	Delineation prior to excavation					
B6	Associated excavation oversight, excavation verification sampling, and reporting			\$ 28,475	\$ 7	11,595.61	84128	-	PM Environmental	11/30/17 Oversight covering 10/1/17 to 11/17/17					
				\$ 28,475	\$ 8	27,064.95	84715	-	PM Environmental	01/19/18 Oversight covering 10/01/17 to 11/17/17					
				\$ 28,475	\$ 9	28,402.73	85166	-	PM Environmental	03/08/18 Oversight covering 01/02/18 to 03/02/18					
				\$ 28,475	\$ 10	14,613.33	85575	-	PM Environmental	04/06/18 Oversight covering 03/02/18 to 3/30/2018					
				\$ 28,475	\$ 11	2,173.12	87608	-	PM Environmental	10/04/18 Oversight Services 4/2018 to 9/28/18					
				\$ 28,475	\$ 12a	4,950.00	88529	-	PM Environmental	Change order for testing					
B7	Management and disposal of up to 30,000 gallons of contaminated groundwater			\$ 19,177.25	See Table 3		Pay App 11	12, 13, 15, 16	HM Environmental	Daily Pump Rental, Site Supervisor, Bulk Tanker, Disposal					
				\$ 12,235.30	\$ 15a	12,235.30	Pay App 24, CO-2	2	The Douglas Co.	Water discharge (sub contractor was Future Environmental)					
				\$ 49,260	\$ 12b	2,500.00	88529	-	PM Environmental	Wastewater Discharge Permit					
				\$ 1,250.00	\$ 13	1,250.00	94157	-	PM Environmental	Wastewater Required Reporting to EPA					
				\$ 3,300.00	\$ 14	3,300.00	94762	-	PM Environmental	Hazardous Waste Testing and Report					
B8	Installation of a vapor barrier			\$ 172,500	\$ 6	3,750.00	80629	-	PM Environmental	Vapor Barrier Plan/Specs					
				\$ 172,500	\$ 15b	25,031.16	Pay App 24, CO-2	53	The Douglas Co.	Vapor barrier, venting install, and testing					
				\$	\$	-		-							
B9	Costs associated with project management brownfield financial management			\$ 3,000	\$ 27,293	4,982.50	(1,982.50)	95569	-	PM Environmental	Reimbursement Documentation and Reporting				
B10	Post-construction due care plan and associated management and reporting			\$ 5,000	\$	-	5,000.00								
Due Care Activities Total				\$ 2,130,515	\$ 1,916,513.97	\$ 214,000.53									
Preparation of Brownfield Plan															
C1	Brownfield Plan/381 Workplan			\$ 9,000	\$ 4	10,000.00	78957		PM Environmental						
Project Sub-Total				\$ 2,153,670	\$ 1,940,528.97	\$ 213,000.53									
15% Contingency*				\$ 319,577	\$ -										
Project Sub-Totals with Contingency				\$ 2,473,247											
Project Not to Exceed set by City				\$ 2,148,247	\$ 1,940,528.97										
3% Interest Not to Exceed				\$ 508,364											
Revised Total				\$ 2,656,610.68	\$ -										

Appendix C



HM Environmental

APPLICATION AND CERTIFICATION FOR PAYMENT

AIA DOCUMENT G702

PAGE ONE OF TWO PAGES

PROJECT: 865 North Old Woodward

11

Distribution to:

FLS Properties #5 LLC

PO Box 689

Bloomfield Hills, MI 48303

FROM CONTRACTOR:

HM Environmental Services, Inc.

42826 North Walnut

Mount Clemens, MI 48043

VIA ARCHITECT: N/A

PERIOD TO: 3/20/2018

PROJECT NOS: 77018

CONTRACT DATE:

Hazardous Material

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract. Continuation Sheet, AIA Document G703, is attached.

1 ORIGINAL CONTRACT SUM \$ 1,951,433.74
2 Net change by Change Orders \$ 0.00
3 CONTRACT SUM TO DATE (Line 1 + 2) \$ 1,951,433.74
4 TOTAL COMPLETED & STORED TO \$ 1,951,433.74

5 RETAINAGE: \$ 0.00
a. 0 % of Completed Work (Column D + E on G703) \$ n/a
b. % of Stored Material (Column F on G703) \$ n/a
Total Retainage (Lines 5a + 5b or Total in Column I of G703) \$ 0.00

6 TOTAL EARNED LESS RETAINAGE \$ 1,951,433.74
(Line 4 Less Line 5 Total)
7 LESS PREVIOUS CERTIFICATES FOR PAYMENT (Line 6 from prior Certificate) \$ 1,907,530.08
8 CURRENT PAYMENT DUE \$ 43,903.66
9 BALANCE TO FINISH, INCLUDING RETAINAGE (Line 3 less 6) \$ 0.00

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner		
Total approved this Month		
TOTALS		
NET CHANGES by Change Order		

CONTRACTOR: HM Environmental Services, Inc.

By: Dennis Heine, President Date: 04/12/18

Subscribed and sworn to before me this 12th day of April, 2018.

County of: Macomb State of: Michigan

Notary Public: Susan Elaine Maxwell

My Commission expires on: 12/22/2018

Susan Elaine Maxwell
Notary Public of Michigan
Macomb County
Expires 12/22/2018
Acting in the County of Macomb

ARCHITECT'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising the application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED\$ N/A

(Attach explanation if amount certified differs from the amount applied. Initial all figures on this Application and on the Continuation Sheet that are changed to conform with the amount certified.)

By: N/A Date: N/A

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

THE AMERICAN INSTITUTE OF ARCHITECTS, 1735 NEW YORK AVE., N.W., WASHINGTON, DC 20006-5292

AIA DOCUMENT G702 - APPLICATION AND CERTIFICATION FOR PAYMENT - 1992 EDITION - AIA - ©1992

Covers HM Invoice # 24261

AIA DOCUMENT G703

PAGE 2 OF 2 PAGES

APPLICATION NO:

APPLICATION DATE: 4/6/2018

PERIOD TO: 4/6/2018

ARCHITECT'S PROJECT NO: N/A

Annotated Submission

Attachment Page No. 13

Users may obtain validation of this document by requesting of the license a completed AIA Document D401 - Certification of Document's Authenticity

H M Environmental Services, Inc.
Transaction Journal
All Transactions

Date	Num	Memo	Qty	Sales Price	Amount
11/17/2017	23684	Progress Billing 10/31/17 Through 11/16/17			
		Operator & Laborer to balance the site for work to be performed by Hardman Construction			
		Visqueen Rolls (3 mill)	1	\$ 20,000.00	\$ 20,000.00
		Stone - 1X3 Crushed Concrete	20	\$ 75.00	\$ 1,500.00
		Stone - 21AA Crushed Concrete	80.93	\$ 25.95	\$ 2,100.13
		Construction	54.56	\$ 23.15	\$ 1,263.06
Total		FLS - 865 North Old Woodward through 11/16/17	1	\$ 61,127.31	\$ 61,127.31
					\$ 85,990.50
					\$ 16
11/22/2017	23707	Progress Billing 11/17/17 Through 11/27/17			
		11/27/17 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	✓ 625	\$ 160.75	\$ 100,468.75
Total		FLS - 865 North Old Woodward through 11/27/17			\$ 100,468.75
					\$ 17
12/11/2017	23764	Progress Billing 11/28/17 Through 12/08/17			
		11/28 Through 12/08 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	✓ 1618.88	\$ 160.75	\$ 260,234.96
		11/28 Through 12/08 Excavate, Transport and Disposal of Non Haz Soils to Advanced Disposal	✓ 1200.04	\$ 36.50	\$ 43,801.46
		Visqueen (1) Roll (10 mill)	1	\$ 240.00	\$ 240.00
		Stone - 1X3 Crushed Concrete	24.7	\$ 25.95	\$ 640.97
Total		FLS - 865 North Old Woodward through 12/08/17			\$ 304,917.39
					\$ 18
01/08/2018	23877	Progress Billing 12/09/17 Through 12/29/17			
		12/09 Through 12/29 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	✓ 2734.06	\$ 160.75	\$ 439,500.15
		Demurrage at Wayne Disposal 11/29/17 Through 12/08/17 (Not Previously Billed)	5.25	\$ 95.00	\$ 498.75
		Demurrage at Wayne Disposal 12/08/17 Through 12/29/17	43	\$ 95.00	\$ 4,085.00
		12/09 Through 12/29 Excavate, Transport and Disposal of Non Haz Soils to Advanced Disposal	✓ 3212.42	\$ 36.50	\$ 117,253.33
		Stone - 1X3 Crushed Concrete	54.63	\$ 25.95	\$ 1,417.65
		Truck Liners - Hazardous Loads Only	198	\$ 40.00	\$ 7,920.00
		Credit due from Previous Inv. (1.5 Discount for Early Payment on Inv. # 23764)	1	\$ (4,955.79)	\$ (4,955.79)
Total		FLS - 865 North Old Woodward through 12/29/17			\$ 565,719.09
					\$ 19
02/02/2018	24010	Progress Billing 12/30/17 Through 02/02/18			
		01/02/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	✓ 143.09	\$ 160.75	\$ 23,001.72
		01/03/18 Through 01/29/18 Additional Work with Hardman Construction not in the Original			
		Scope - Northeast & Southwest Wall Extensions	18.00	\$ 2,500.00	\$ 45,000.00
		01/30/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	✓ 288.26	\$ 160.75	\$ 46,337.80
		01/31/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	✓ 302.75	\$ 160.75	\$ 48,667.06
		02/01/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	✓ 325.21	\$ 160.75	\$ 52,277.51
		02/02/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	✓ 340.10	\$ 160.75	\$ 54,671.08
		Truck Liners - Hazardous Loads Only	56.00	\$ 40.00	\$ 2,240.00
Total		FLS - 865 North Old Woodward through 02/02/18			\$ 272,195.17
					\$ 20

a - visqueen

b - hazardous soils

c - non-hazardous soils

d - groundwater

H M Environmental Services, Inc.
Transaction Journal
All Transactions

Date	Num	Memo	Qty	Sales Price	Amount
2/9/2018	24049	Progress Billing 02/03/18 Through 02/09/18			
		02/05/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	✓ 161.60	\$ 160.75	\$ 25,977.20 b
		02/06/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	✓ 157.94	\$ 160.75	\$ 25,388.86 b
		02/07/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	✓ 100.97	\$ 160.75	\$ 16,230.93 b
		02/08/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	✓ 126.36	\$ 160.75	\$ 20,312.37 b
		Truck Liners - Hazardous Loads Only	22.00	\$ 40.00	\$ 880.00 a
Total		FLS - 865 North Old Woodward through 02/09/18			\$ 88,789.36 21
2/20/2018	24079	Progress Billing 02/10/18 Through 02/16/18			
		02/12/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	✓ 163.95	\$ 160.75	\$ 26,354.96 b
		02/13/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	✓ 189.14	\$ 160.75	\$ 30,404.26 b
		02/14/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	✓ 238.47	\$ 160.75	\$ 38,334.05 b
		Demurrage at Disposal - Truck # 109 (3rd Load)	0.25	\$ 95.00	\$ 23.75
		02/15/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	✓ 170.16	\$ 160.75	\$ 27,353.22 b
		02/16/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	✓ 219.04	\$ 160.75	\$ 35,210.68 b
		Truck Liners - Hazardous Loads Only	37.00	\$ 40.00	\$ 1,480.00 a
Total		FLS - 865 North Old Woodward through 02/16/18			\$ 159,160.92 22
2/26/2018	24102	Progress Billing 02/17/18 Through 02/23/18			
		02/19/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	✓ 224.77	\$ 160.75	\$ 36,131.78 b
		02/20/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	✓ 85.82	\$ 160.75	\$ 13,795.57 b
		02/20/18 Stand By Rate 1/2 Day (Weather Related)	0.50	\$ 1,000.00	\$ 500.00
		02/21/18 Stand By Rate (Weather Related)	1.00	\$ 1,000.00	\$ 1,000.00
		02/22/18 Stand By Rate (Weather Related)	1.00	\$ 1,000.00	\$ 1,000.00
		02/23/18 Stand By Rate (Weather Related)	1.00	\$ 1,000.00	\$ 1,000.00
		Truck Liners - Hazardous Loads Only	11.00	\$ 40.00	\$ 440.00 a
Total		FLS - 865 North Old Woodward through 02/23/18			\$ 53,867.35 23

a - visqueen
b - hazardous soils
c - non-hazardous soils
d - groundwater

H M Environmental Services, Inc.
Transaction Journal
All Transactions

Date	Num	Memo	Qty	Sales Price	Amount
3/5/2018	24146	Progress Billing 02/24/18 Through 03/03/18 (Dewatering of Excavation)			
		02/26/18 Supervisor met with PM to discuss Water Removal - NO CHARGE			
		02/27/18 Delivery and Placement of Stone for Well and Pad			
		Excavation and Placement of Well			
		02/28/18 Site Supervisor - Load Trucks with Groundwater	1.00	\$ 1,650.00	\$ 1,650.00
		Additional Flagger for Truck Traffic	1.00	\$ 1,425.00	\$ 1,425.00
		Daily Pump Rental	1.00	\$ 750.00	\$ 750.00
		Bulk Tanker w/ Operator - Transport Groundwater to Disposal	1.00	\$ 500.00	\$ 500.00
		Disposal of Non Regulated Ground Water to DART - Manifest #s 018587690JJK, 018587693JJK & 018587691JJK	1.00	\$ 450.00	\$ 450.00
		03/01/18 Supervisor Checking Excavation On Site - NO CHARGE	11.5	\$ 140.00	\$ 1,610.00
		03/02/18 Site Supervisor - Load Trucks with Groundwater	20750	\$ 0.35	\$ 7,262.50
		Additional Flagger for Truck Traffic	1	\$ 750.00	\$ 750.00
		Daily Pump Rental	1	\$ 500.00	\$ 500.00
		Bulk Tanker w/ Operator - Transport Groundwater to Disposal	1	\$ 450.00	\$ 450.00
		Disposal of Non Regulated Ground Water to DART - Manifest # 018587692JJK	5.5	\$ 140.00	\$ 770.00
		FLS - 865 North Old Woodward through 03/03/18	7000	\$ 0.35	\$ 2,450.00
		Total			\$ 18,567.50 24
3/13/2018	24184	Progress Billing 03/04/18 Through 03/13/18			
		03/05/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	✓ 210.11	\$ 160.75	\$ 33,775.18 b
		Bulk Tanker w/ Operator - Transport Groundwater to Disposal	5.00	\$ 140.00	\$ 700.00 d
		Disposal of Non Regulated Ground Water to DART - Manifest # 018587704 JJK	4585.00	\$ 0.35	\$ 1,604.75 d
		03/06/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	✓ 206.95	\$ 160.75	\$ 33,267.21 b
		03/07/18 Stand By Rate (Meeting with Hardman to discuss finishing Harz. Soil Removal)	1.00	\$ 1,000.00	\$ 1,000.00 b
		03/08/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	✓ 228.91	\$ 160.75	\$ 68,947.28 b
		03/09/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	✓ 178.46	\$ 160.75	\$ 28,687.45 b
		Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	✓ 204.75	\$ 160.75	\$ 32,913.56 b
		Demurrage On Site - Truck # 129	0.5	\$ 100.00	\$ 50.00
		Demurrage at Disposal - Truck # 129	0.5	\$ 100.00	\$ 50.00
		Demurrage at Disposal - Truck # 109	1	\$ 100.00	\$ 100.00
		Bulk Tanker w/ Operator - Transport Groundwater to Disposal	5.5	\$ 140.00	\$ 770.00 d
		Disposal of Non Regulated Ground Water to DART - Manifest # 018587705 JJK	4600	\$ 0.35	\$ 1,610.00 d
		03/12/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	✓ 240.36	\$ 160.75	\$ 38,637.87 b
		03/13/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	✓ 85.5	\$ 160.75	\$ 13,744.13 b
		Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	✓ 154.35	\$ 36.50	\$ 5,633.78 c
		Truck Liners - Hazardous Loads Only	54	\$ 40.00	\$ 2,160.00 a
		FLS - 865 North Old Woodward through 03/03/18			\$ 263,651.21 25
		Total			\$ 263,651.21

a - visqueen
b - hazardous soils
c - non-hazardous soils
d - groundwater

H M Environmental Services, Inc.
Transaction Journal
All Transactions

Date	Num	Memo	Qty	Sales Price	Amount
3/21/2018	24222	Progress Billing 03/14/18 Through 03/20/18			
		03/14/18 Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	160.45	36.50	5,856.43
		03/15/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	115.30	160.75	18,534.48
		Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	113.08	36.50	4,127.42
		03/16/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	118.56	160.75	19,058.52
		Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	55.62	36.50	2,030.13
		03/19/18 Stockpile and Load out Soil on West Wall for Hardman	1	2,500.00	2,500.00
		(2) 55 Gallons Drums - Protect two Pyle Caps	2	56.00	112.00
		Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	26.5	160.75	4,259.88
		Backfill - 21AA Crushed Concrete (8 Loads)	225.4	23.15	5,218.01
		03/20/18 Excavated (2) Holes to Elevation and moved Soil from Southeast Corner to Northeast Corner of Job Site per Hardman	1	2,500.00	2,500.00
		Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	59.73	160.75	9,601.60
		Demurrage at Disposal - Truck # 124	0.25	100.00	25.00
		Demurrage at Disposal - Truck # 127	0.25	100.00	25.00
		Backfill - 21AA Crushed Concrete (8 Loads)	255.07	23.15	5,904.87
		Truck Liners - Hazardous Loads Only	11	40.00	440.00
		FLS - 865 North Old Woodward through 03/20/18			80,193.34
		Total			26
4/6/2018	24261	Progress Billing 03/21/18 Through 04/06/18			
		03/21/18 Excavate Hole to Elevation and move Stockpile from South East Corner for Hardman	2500.00	1.00	2,500.00
		Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	116.07	36.50	4,236.56
		Backfill - 21AA Crushed Concrete (6 Loads)	192.72	23.15	4,461.47
		03/22/18 Stockpile Soil out of Hardman's way, Excavate Hole for Pile Caps & Clean up Soil Piles from Drilling	2500.00	1.00	2,500.00
		03/23/18 Stockpile Soil for Hardman & Clean up Soil Piles from Drilling	2500.00	1.00	2,500.00
		Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	86.78	36.50	3,167.47
		03/26/18 Stockpile for Ramp, Re-grade NorthEast Side of Excavation	2500.00	1.00	2,500.00
		Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	55.84	36.50	2,038.16
		03/27/18 Through 03/29/18 Assist Hardman Onsite	2500.00	3.00	7,500.00
		03/30/18 Assist Hardman Onsite	2500.00	0.50	1,250.00
		03/31/18 Through 04/05/18 Assist Hardman Onsite	2500.00	4.00	10,000.00
		04/06/18 Finish Onsite Work and Load Equipment	2500	0.50	1,250.00
		FLS - 865 North Old Woodward through 04/06/18			43,903.66
		Total			See #1

TOTAL ALL INVOICES THROUGH 04/06/18
LESS PAYMENTS RECEIVED
OUTSTANDING BALANCE

\$ 2,037,424.24
\$ (1,057,095.73)
\$ 980,328.51

a - visqueen
b - hazardous soils
c - non-hazardous soils
d - groundwater

FLS Properties
The Pearl Bldg

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
	11/8/2017	906629	26.65					Lou's Transport
	11/8/2017	906630	27.27					Lou's Transport
	11/13/2017	902921		27.52				Lou's Transport
	11/13/2017	902920		27.04				Lou's Transport
	11/13/2017	902919	27.01					Lou's Transport
1	11/29/2017	017834958 JJK			23.46			S & C Transport
2	11/29/2017	017834951 JJK			24.80			S & C Transport
3	11/29/2017	017834956 JJK			26.72			S & C Transport
4	11/29/2017	017834972 JJK			22.46			S & C Transport
5	11/29/2017	017834957 JJK			22.75			S & C Transport
6	11/29/2017	017834973 JJK			24.18			S & C Transport
7	11/29/2017	017834955 JJK			25.34			S & C Transport
8	11/29/2017	017834954 JJK			24.96			S & C Transport
	11/30/2017	288569	24.70					Lou's Transport
9	11/30/2017	017834953JJK			23.77			MLO Performance
10	11/30/2017	017834966JJK			25.17			MLO Performance
11	11/30/2017	017834971JJK			23.07			MLO Performance
12	11/30/2017	017834952JJK			24.49			MLO Performance
13	11/30/2017	017834967JJK			23.99			MLO Performance
14	11/30/2017	017834970JJK			24.48			MLO Performance
15	11/30/2017	017834961JJK			23.86			MLO Performance
16	11/30/2017	017834968JJK			25.56			MLO Performance
17	11/30/2017	017834964JJK			24.98			MLO Performance
18	11/30/2017	017834962JJK			23.32			MLO Performance
19	11/30/2017	017834969JJK			23.77			MLO Performance
20	12/1/2017	017834963JJK			24.84			MLO Performance
21	12/1/2017	017834979JJK			19.35			MLO Performance
22	12/1/2017	017834982JJK			22.32			MLO Performance
23	12/1/2017	017834965JJK			25.27			MLO Performance
24	12/1/2017	017834978JJK			26.90			MLO Performance
25	12/1/2017	017834981JJK			24.89			MLO Performance
26	12/1/2017	017834977JJK			26.22			MLO Performance
27	12/1/2017	017834980JJK			22.28			MLO Performance
28	12/1/2017	017834983JJK			27.49			MLO Performance
29	12/4/2017	017828060JJK			26.51			MLO Performance
30	12/4/2017	017834997JJK			25.33			MLO Performance
31	12/4/2017	017834984JJK			25.13			MLO Performance
32	12/4/2017	017834985JJK			26.54			MLO Performance
33	12/4/2017	017834998JJK			28.41			MLO Performance
34	12/4/2017	017828062JJK			26.88			MLO Performance

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
35	12/4/2017	017828061JJK			27.67			MLO Performance
36	12/4/2017	017834999JJK			26.83			MLO Performance
37	12/4/2017	017834995JJK			25.32			MLO Performance
38	12/4/2017	017835000JJK			25.59			MLO Performance
39	12/4/2017	017834996JJK			27.55			MLO Performance
40	12/4/2017	017828063JJK			26.88			MLO Performance
	12/5/2017	1851724				29.53		Lou's Transport
	12/5/2017	1851738				27.43		Lou's Transport
	12/5/2017	1851817				27.76		Lou's Transport
	12/5/2017	1851878				28.49		Lou's Transport
	12/5/2017	1851918				26.57		Lou's Transport
	12/5/2017	1851982				26.12		Lou's Transport
	12/5/2017	1852026				26.03		Lou's Transport
	12/5/2017	1852117				27.84		Lou's Transport
	12/5/2017	1852177				29.03		Lou's Transport
41	12/5/2017	017834913JJK			26.23			MLO Performance
42	12/5/2017	017828070JJK			24.76			MLO Performance
43	12/5/2017	017828065JJK			27.12			MLO Performance
44	12/5/2017	017828069JJK			24.80			MLO Performance
45	12/5/2017	017828064JJK			24.84			MLO Performance
46	12/5/2017	017834912JJK			26.37			MLO Performance
47	12/5/2017	017828071JJK			27.54			MLO Performance
48	12/5/2017	017834911JJK			27.32			MLO Performance
49	12/5/2017	017828068JJK			26.93			MLO Performance
50	12/5/2017	017828067JJK			23.94			MLO Performance
51	12/5/2017	017834915JJK			25.78			MLO Performance
52	12/5/2017	017834909JJK			28.25			MLO Performance
53	12/5/2017	017828066JJK			30.71			MLO Performance
54	12/5/2017	017834914JJK			33.82			MLO Performance
	12/6/2017	1852303				28.11		Lou's Transport
	12/6/2017	1852323				26.17		Lou's Transport
	12/6/2017	1852375				31.96		Lou's Transport
	12/6/2017	1852446				29.15		Lou's Transport
	12/6/2017	1852543				27.44		Lou's Transport
	12/6/2017	1852565				33.42		Lou's Transport
	12/6/2017	1852655				29.18		Lou's Transport
	12/6/2017	1852701				26.35		Lou's Transport
	12/6/2017	1852704				24.57		Lou's Transport
55	12/6/2017	017834910JJK			24.12			MLO Performance
56	12/6/2017	017828080JJK			24.55			MLO Performance
57	12/6/2017	017828083JJK			24.77			MLO Performance
58	12/6/2017	017828077JJK			25.80			MLO Performance
59	12/6/2017	017828081JJK			25.51			MLO Performance
60	12/6/2017	017828085JJK			25.66			MLO Performance

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
61	12/6/2017	017828082JJK			25.24			MLO Performance
62	12/6/2017	017828078JJK			26.84			MLO Performance
63	12/6/2017	017828086JJK			28.26			MLO Performance
64	12/6/2017	017828084JJK			26.22			MLO Performance
65	12/6/2017	017828079JJK			26.11			MLO Performance
	12/7/2017	1852868				29.69		Lou's Transport
	12/7/2017	1852918				25.55		Lou's Transport
	12/7/2017	1852936				26.78		Lou's Transport
	12/7/2017	1852949				28.29		Lou's Transport
	12/7/2017	1853026				31.75		Lou's Transport
	12/7/2017	1853113				35.80		Lou's Transport
	12/7/2017	1853124				30.18		Lou's Transport
	12/7/2017	1853165				28.30		Lou's Transport
	12/7/2017	1853170				27.96		Lou's Transport
	12/7/2017	1853281				27.81		Lou's Transport
	12/7/2017	1853285				23.11		Lou's Transport
	12/7/2017	1853295				25.65		Lou's Transport
66	12/7/2017	017828089JJK			25.52			MLO Performance
67	12/7/2017	017828093JJK			25.43			MLO Performance
68	12/7/2017	017828105JJK			25.84			MLO Performance
69	12/7/2017	017828088JJK			24.42			MLO Performance
70	12/7/2017	017828092JJK			25.38			MLO Performance
71	12/7/2017	017828096JJK			25.16			MLO Performance
72	12/7/2017	017828106JJK			26.43			MLO Performance
73	12/7/2017	017828094JJK			26.70			MLO Performance
74	12/7/2017	017828090JJK			26.45			MLO Performance
75	12/7/2017	017828087JJK			26.58			MLO Performance
76	12/7/2017	017828091JJK			25.21			MLO Performance
77	12/7/2017	017828095JJK			27.13			MLO Performance
	12/8/2017	1853453				24.70		Lou's Transport
	12/8/2017	1853478				32.70		Lou's Transport
	12/8/2017	1853488				24.79		Lou's Transport
	12/8/2017	1853583				26.25		Lou's Transport
	12/8/2017	1853616				33.28		Lou's Transport
	12/8/2017	1853655				28.59		Lou's Transport
	12/8/2017	1853657				30.64		Lou's Transport
	12/8/2017	1853709				26.52		Lou's Transport
	12/8/2017	1853769				32.27		Lou's Transport
	12/8/2017	1853784				34.97		Lou's Transport
	12/8/2017	1853810				28.97		Lou's Transport
	12/8/2017	1853820				30.34		Lou's Transport
78	12/8/2017	017828109JJK			23.87			MLO Performance
79	12/8/2017	017828103JJK			25.65			MLO Performance
80	12/8/2017	017828099JJK			23.85			MLO Performance

	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
81	12/8/2017	017828101JJK			25.50			MLO Performance
82	12/8/2017	017828107JJK			25.81			MLO Performance
83	12/8/2017	017828111JJK			25.12			MLO Performance
84	12/8/2017	017828104JJK			23.44			MLO Performance
85	12/8/2017	017828100JJK			23.77			MLO Performance
86	12/8/2017	017828110JJK			27.35			MLO Performance
87	12/8/2017	017828102JJK			22.10			MLO Performance
88	12/8/2017	017828108JJK			26.35			MLO Performance
89	12/11/2017	017828112JJK			25.64			MLO Performance
90	12/11/2017	017828118JJK			26.65			MLO Performance
91	12/11/2017	017828113JJK			25.28			MLO Performance
92	12/11/2017	017828117JJK			28.25			MLO Performance
93	12/11/2017	017828056JJK			28.94			MLO Performance
94	12/11/2017	017828116JJK			25.39			MLO Performance
95	12/11/2017	017828057JJK			26.59			MLO Performance
96	12/11/2017	017828115JJK			26.23			MLO Performance
	12/11/2017	1853994				27.00		Lou's Transport
	12/11/2017	1854006				26.83		Lou's Transport
	12/11/2017	1854017				34.94		Lou's Transport
	12/11/2017	1854064				26.13		Lou's Transport
	12/11/2017	1854154				28.27		Lou's Transport
	12/11/2017	1854145				29.21		Lou's Transport
	12/11/2017	1854189				37.92		Lou's Transport
	12/11/2017	1854218				30.99		Lou's Transport
	12/11/2017	1854266				27.39		Lou's Transport
	12/11/2017	1854283				35.99		Lou's Transport
97	12/12/2017	017828114JJK			25.84			MLO Performance
98	12/12/2017	017834990JJK			25.48			MLO Performance
99	12/12/2017	017828055JJK			27.18			MLO Performance
100	12/12/2017	017834991JJK			26.56			MLO Performance
101	12/12/2017	017834986JJK			25.21			MLO Performance
102	12/12/2017	017834992JJK			24.79			MLO Performance
103	12/12/2017	017834989JJK			24.57			MLO Performance
104	12/12/2017	017834993JJK			25.56			MLO Performance
	12/12/2017	1854364				29.95		Lou's Transport
	12/12/2017	1854525				30.01		Lou's Transport
	12/12/2017	1854557				30.17		Lou's Transport
	12/12/2017	1854546				28.81		Lou's Transport
	12/13/2017	1854785				25.42		Lou's Transport
	12/13/2017	1854854				33.98		Lou's Transport
	12/13/2017	1854796				32.32		Lou's Transport
	12/13/2017	859574	26.55					Lou's Transport
105	12/13/2017	017828119JJK			25.49			MLO Performance
106	12/13/2017	017828129JJK			21.49			MLO Performance

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
107	12/13/2017	017834994JJK			23.21			MLO Performance
108	12/13/2017	017928130JJK			22.01			MLO Performance
109	12/14/2017	017828143JJK			24.44			MLO Performance
110	12/14/2017	017828140JJK			23.95			MLO Performance
111	12/14/2017	017882131JJK			24.14			MLO Performance
112	12/14/2017	017828141JJK			24.16			MLO Performance
113	12/14/2017	017828144JJK			26.10			MLO Performance
114	12/14/2017	017828132JJK			23.39			MLO Performance
115	12/14/2017	017828142JJK			24.75			MLO Performance
116	12/14/2017	017828133JJK			25.17			MLO Performance
	12/15/2017	1855339				29.85		Lou's Transport
	12/15/2017	1855497				29.67		Lou's Transport
	12/15/2017	1855623				24.94		Lou's Transport
	12/15/2017	1855391				26.95		Lou's Transport
	12/15/2017	1855301				27.96		Lou's Transport
	12/15/2017	1855469				33.01		Lou's Transport
	12/15/2017	1855601				27.21		Lou's Transport
	12/15/2017	1855297				28.78		Lou's Transport
	12/15/2017	1855328				27.22		Lou's Transport
	12/15/2017	1855431				25.96		Lou's Transport
	12/15/2017	1855544				27.23		Lou's Transport
117	12/15/2017	017828146JJK			19.60			MLO Performance
118	12/15/2017	017828150JJK			23.77			MLO Performance
119	12/15/2017	017828145JJK			26.06			MLO Performance
120	12/15/2017	017828149JJK			26.74			MLO Performance
121	12/15/2017	017828147JJK			23.07			MLO Performance
122	12/15/2017	017828151JJK			22.26			MLO Performance
123	12/15/2017	017828152JJK			25.83			MLO Performance
124	12/15/2017	017828148JJK			24.20			MLO Performance
125	12/18/2017	017828155JJK			23.07			MLO Performance
126	12/18/2017	017828158JJK			26.60			MLO Performance
127	12/18/2017	017828162JJK			25.91			MLO Performance
128	12/18/2017	017828153JJK			24.69			MLO Performance
129	12/18/2017	017828157JJK			25.40			MLO Performance
130	12/18/2017	017828161JJK			26.43			MLO Performance
131	12/18/2017	017828154JJK			21.13			MLO Performance
132	12/18/2017	017828159JJK			23.60			MLO Performance
133	12/18/2017	017828163JJK			24.47			MLO Performance
134	12/18/2017	017828156JJK			26.66			MLO Performance
135	12/18/2017	017828160JJK			27.30			MLO Performance
	12/18/2017	1855853				29.28		Lou's Transport
	12/18/2017	1855857				25.99		Lou's Transport
	12/18/2017	1855870				26.27		Lou's Transport
	12/18/2017	1855937				23.93		Lou's Transport

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
	12/18/2017	1855997				27.75		Lou's Transport
	12/18/2017	1856015				33.21		Lou's Transport
	12/18/2017	1856056				26.91		Lou's Transport
	12/18/2017	1856151				27.51		Lou's Transport
	12/18/2017	1856183				32.72		Lou's Transport
	12/18/2017	1856206				27.04		Lou's Transport
	12/19/2017	861141	28.08					Lou's Transport
	12/19/2017	1856316				28.38		Lou's Transport
	12/19/2017	1856346				28.25		Lou's Transport
	12/19/2017	1856361				30.44		Lou's Transport
	12/19/2017	1856401				32.6		Lou's Transport
	12/19/2017	1856443				27.41		Lou's Transport
	12/19/2017	1856503				25.97		Lou's Transport
	12/19/2017	1856505				31.05		Lou's Transport
	12/19/2017	1856525				31.00		Lou's Transport
	12/19/2017	1856572				27.04		Lou's Transport
	12/19/2017	1856654				27.92		Lou's Transport
	12/19/2017	1856661				30.29		Lou's Transport
136	12/19/2017	017828185JJK			27.15			MLO Performance
137	12/19/2017	017828178JJK			25.41			MLO Performance
138	12/19/2017	017828184JJK			24.96			MLO Performance
139	12/19/2017	017828186JJK			25.28			MLO Performance
140	12/19/2017	017828183JJK			25.25			MLO Performance
141	12/19/2017	017828181JJK			25.18			MLO Performance
142	12/19/2017	017828187JJK			28.21			MLO Performance
143	12/19/2017	017828182JJK			25.40			MLO Performance
144	12/19/2017	017828180JJK			23.61			MLO Performance
	12/20/2017	1856788				34.86		Lou's Transport
	12/20/2017	1856797				35.58		Lou's Transport
	12/20/2017	1856830				38.53		Lou's Transport
	12/20/2017	1856834				30.42		Lou's Transport
	12/20/2017	1856840				35.40		Lou's Transport
	12/20/2017	1856846				26.12		Lou's Transport
	12/20/2017	1856860				32.46		Lou's Transport
	12/20/2017	1856926				28.26		Lou's Transport
	12/20/2017	1856941				30.78		Lou's Transport
	12/20/2017	1856945				32.47		Lou's Transport
	12/20/2017	1856967				28.65		Lou's Transport
	12/20/2017	1856969				28.03		Lou's Transport
	12/20/2017	1856978				27.47		Lou's Transport
	12/20/2017	1856984				26.67		Lou's Transport

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
	12/20/2017	1856986				25.68		Lou's Transport
	12/20/2017	1857006				25.10		Lou's Transport
	12/20/2017	1857038				28.40		Lou's Transport
	12/20/2017	1857048				29.37		Lou's Transport
	12/20/2017	1857061				31.44		Lou's Transport
	12/20/2017	1857071				30.97		Lou's Transport
	12/20/2017	1857073				21.50		Lou's Transport
	12/20/2017	1857089				25.67		Lou's Transport
	12/20/2017	1857103				27.98		Lou's Transport
	12/20/2017	1857105				25.85		Lou's Transport
	12/20/2017	1857135				29.74		Lou's Transport
	12/21/2017	1857255				31.54		Lou's Transport
	12/21/2017	1857290				23.62		Lou's Transport
	12/21/2017	1857361				33.99		Lou's Transport
	12/21/2017	1857409				31.66		Lou's Transport
	12/21/2017	1857465				35.60		Lou's Transport
	12/21/2017	1857563				32.90		Lou's Transport
	12/22/2017	1857691				31.40		Lou's Transport
	12/22/2017	1857704				29.28		Lou's Transport
	12/22/2017	1857715				29.88		Lou's Transport
	12/22/2017	1857738				32.36		Lou's Transport
	12/22/2017	1857812				27.83		Lou's Transport
	12/22/2017	1857823				26.00		Lou's Transport
	12/22/2017	1857850				27.41		Lou's Transport
	12/22/2017	1857857				31.98		Lou's Transport
	12/22/2017	1857876				29.26		Lou's Transport
	12/22/2017	1857885				27.71		Lou's Transport
	12/22/2017	1857905				30.11		Lou's Transport
	12/22/2017	1857931				28.93		Lou's Transport
	12/22/2017	1857951				26.00		Lou's Transport
	12/22/2017	1857961				34.70		Lou's Transport
	12/22/2017	1858000				30.35		Lou's Transport
	12/22/2017	1858025				26.30		Lou's Transport
	12/26/2017	1858150				32.89		Lou's Transport
	12/26/2017	1858159				29.21		Lou's Transport
	12/26/2017	1858219				35.99		Lou's Transport
	12/26/2017	1858222				26.81		Lou's Transport
	12/26/2017	1858246				32.65		Lou's Transport
	12/26/2017	1858292				28.08		Lou's Transport

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
	12/26/2017	1858307				32.94		Lou's Transport
	12/26/2017	1858331				30.39		Lou's Transport
145	12/26/2017	017828305JJK			26.51			MLO Performance
146	12/26/2017	017828301JJK			25.44			MLO Performance
147	12/26/2017	017828298JJK			23.99			MLO Performance
148	12/26/2017	017828302JJK			26.85			MLO Performance
149	12/26/2017	017828299JJK			26.26			MLO Performance
150	12/26/2017	017828303JJK			29.38			MLO Performance
151	12/26/2017	017828297JJK			25.71			MLO Performance
152	12/26/2017	017828304JJK			26.24			MLO Performance
153	12/26/2017	017828300JJK			26.55			MLO Performance
154	12/26/2017	017828296JJK			25.55			MLO Performance
155	12/27/2017	017828179JJK			25.38			MLO Performance
156	12/27/2017	017828284JJK			20.98			MLO Performance
157	12/27/2017	017828288JJK			24.77			MLO Performance
158	12/27/2017	017828295JJK			23.72			MLO Performance
159	12/27/2017	017828285JJK			24.90			MLO Performance
160	12/27/2017	017828289JJK			23.99			MLO Performance
161	12/27/2017	017828294JJK			24.14			MLO Performance
162	12/27/2017	017828286JJK			27.87			MLO Performance
163	12/27/2017	017828291JJK			24.46			MLO Performance
164	12/27/2017	017828287JJK			25.07			MLO Performance
	12/27/2017	1858402				28.13		Lou's Transport
	12/27/2017	1858447				26.58		Lou's Transport
	12/27/2017	1858479				29.81		Lou's Transport
	12/27/2017	1858533				26.86		Lou's Transport
	12/27/2017	1858550				30.80		Lou's Transport
165	12/28/2017	017828290JJK			23.94			MLO Performance
166	12/28/2017	017828194JJK			23.56			MLO Performance
167	12/28/2017	017828198JJK			22.98			MLO Performance
168	12/28/2017	017828292JJK			24.74			MLO Performance
169	12/28/2017	017828195JJK			25.78			MLO Performance
170	12/28/2017	017828199JJK			24.64			MLO Performance
171	12/28/2017	017828293JJK			20.91			MLO Performance
172	12/28/2017	017828196JJK			22.38			MLO Performance
173	12/28/2017	017828200JJK			23.16			MLO Performance
174	12/28/2017	017828193JJK			20.04			MLO Performance
175	12/28/2017	017828197JJK			24.04			MLO Performance
176	12/28/2017	017828201JJK			25.71			MLO Performance
177	12/28/2017	017828203JJK			24.96			MLO Performance
178	12/28/2017	017828207JJK			24.47			MLO Performance
179	12/28/2017	017828202JJK			22.94			MLO Performance
180	12/28/2017	017828206JJK			22.62			MLO Performance
181	12/28/2017	017828349JJK			25.34			MLO Performance

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
182	12/28/2017	017828204JJK			23.25			MLO Performance
183	12/28/2017	017828208JJK			25.09			MLO Performance
184	12/28/2017	017828348JJK			26.75			MLO Performance
185	12/28/2017	017828205JJK			24.85			MLO Performance
186	12/28/2017	017828350JJK			23.97			MLO Performance
187	12/28/2017	017828347JJK			26.12			MLO Performance
188	12/29/2017	017828203JJK			24.96			MLO Performance
189	12/29/2017	017828207JJK			24.47			MLO Performance
190	12/29/2017	017828202JJK			22.94			MLO Performance
191	12/29/2017	017828206JJK			22.62			MLO Performance
192	12/29/2017	017828349JJK			25.34			MLO Performance
193	12/29/2017	017828204JJK			23.25			MLO Performance
194	12/29/2017	017828208JJK			25.09			MLO Performance
195	12/29/2017	017828348JJK			26.75			MLO Performance
196	12/29/2017	017828205JJK			24.85			MLO Performance
197	12/29/2017	017828350JJK			23.97			MLO Performance
198	12/29/2017	017828347JJK			26.12			MLO Performance
199	1/2/2018	017828346JJK			23.88			MLO Performance
200	1/2/2018	017828344JJK			21.94			MLO Performance
201	1/2/2018	017828342JJK			24.96			MLO Performance
202	1/2/2018	017828345JJK			24.46			MLO Performance
203	1/2/2018	017828343JJK			24.36			MLO Performance
204	1/2/2018	017828341JJK			23.49			MLO Performance
205	1/30/2018	017828468JJK			28.13			HM/Pat
206	1/30/2018	017828467JJK			28.28			HM/Pat
207	1/30/2018	017828340JJK			27.18			HM/Pat
208	1/30/2018	017828449JJK			24.94			S & C Transport
209	1/30/2018	017828451JJK			27.57			S & C Transport
210	1/30/2018	017828454JJK			24.80			S & C Transport
211	1/30/2018	017828448JJK			26.01			S & C Transport
212	1/30/2018	017828453JJK			25.23			S & C Transport
213	1/30/2018	017828450JJK			26.05			S & C Transport
214	1/30/2018	017828452JJK			25.53			S & C Transport
215	1/30/2018	017828455JJK			24.54			S & C Transport
216	1/31/2018	017828471JJK			32.48			HM/Pat
217	1/31/2018	017828470JJK			28.38			HM/Pat
218	1/31/2018	017828469JJK			29.99			HM/Pat
219	1/31/2018	017828457JJK			21.58			S & C Transport

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
220	1/31/2018	017828460JJK			24.70			S & C Transport
221	1/31/2018	017828463JJK			24.95			S & C Transport
222	1/31/2018	017828458JJK			24.04			S & C Transport
223	1/31/2018	017828461JJK			22.82			S & C Transport
224	1/31/2018	017828464JJK			26.63			S & C Transport
225	1/31/2018	017828456JJK			20.89			S & C Transport
226	1/31/2018	017828459JJK			22.42			S & C Transport
227	1/31/2018	017828462JJK			23.87			S & C Transport
228	2/1/2018	017828495JJK			20.39			S & C Transport
229	2/1/2018	017828498JJK			23.76			S & C Transport
230	2/1/2018	017828499JJK			22.20			S & C Transport
231	2/1/2018	017828493JJK			22.81			S & C Transport
232	2/1/2018	017828497JJK			24.49			S & C Transport
233	2/1/2018	018587516JJK			23.33			S & C Transport
234	2/1/2018	017828494JJK			23.57			S & C Transport
235	2/1/2018	017828496JJK			22.11			S & C Transport
236	2/1/2018	017828500JJK			24.53			S & C Transport
237	2/1/2018	017828489JJK			30.06			HM/Zach
238	2/1/2018	017828490JJK			29.53			HM/Zach
239	2/1/2018	017828491JJK			28.06			HM/Pat
240	2/1/2018	017828492JJK			30.37			HM/Pat
241	2/2/2018	017828472JJK			28.13			HM/Zach
242	2/2/2018	017828474JJK			26.16			HM/Zach
243	2/2/2018	017828476JJK			26.99			HM/Zach
244	2/2/2018	017828475JJK			25.07			HM/Pat
245	2/2/2018	017828473JJK			23.63			HM/Pat
246	2/2/2018	017828488JJK			27.77			HM/Pat
247	2/2/2018	017828339JJK			22.24			S & C Transport
248	2/2/2018	017828338JJK			24.04			S & C Transport
249	2/2/2018	017828337JJK			21.82			S & C Transport
250	2/2/2018	017828336JJK			21.30			S & C Transport
251	2/2/2018	017828335JJK			23.74			S & C Transport
252	2/2/2018	017828334JJK			24.06			S & C Transport
253	2/2/2018	017828333JJK			22.94			S & C Transport
254	2/2/2018	017828332JJK			22.21			S & C Transport
255	2/5/2018	017828331JJK			21.70			S & C Transport
256	2/5/2018	017828330JJK			19.41			S & C Transport
257	2/5/2018	017828465JJK			21.91			S & C Transport
258	2/5/2018	017828477JJK			28.12			HM/Pat
259	2/5/2018	017828487JJK			26.61			HM/Pat
260	2/5/2018	017828466JJK			23.29			S & C Transport
261	2/5/2018	018587515JJK			20.56			S & C Transport
262	2/6/2018	017828486JJK			27.51			HM/Nick
263	2/6/2018	018587545JJK			25.85			HM/Nick
264	2/6/2018	018587543JJK			26.91			HM/Nick
265	2/6/2018	018587546JJK			26.34			HM/Pat
266	2/6/2018	017828485JJK			26.30			HM/Pat
267	2/6/2018	018587544JJK			25.03			HM/Pat

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
268	2/7/2018	018587542JJK			26.38			HM/Nick
269	2/7/2018	018587541JJK			28.68			HM/Nick
270	2/7/2018	018587539JJK			23.75			HM/Zach
271	2/7/2018	018587540JJK			22.16			HM/Zach
272	2/8/2018	018587538JJK			23.69			HM/Zach
273	2/8/2018	018587537JJK			27.43			HM/Nick
274	2/8/2018	018587560JJK			23.90			HM/Zach
275	2/8/2018	018587559JJK			27.09			HM/Nick
276	2/8/2018	018587558JJK			24.25			HM/Zach
277	2/12/2018	018587555JJK			27.00			HM/Nick
278	2/12/2018	018587553JJK			25.96			HM/Nick
279	2/12/2018	018587557JJK			25.36			HM/Zach
280	2/12/2018	018587554JJK			24.61			HM/Zach
281	2/12/2018	018587552JJK			35.18			HM/Paul
282	2/12/2018	018587556JJK			25.84			HM/Paul
283	2/13/2018	018587562JJK			26.46			HM/Pat
284	2/13/2018	018587585JJK			24.75			HM/Pat
285	2/13/2018	018587551JJK			26.97			HM/Nick
286	2/13/2018	018587564JJK			25.08			HM/Nick
287	2/13/2018	018587584JJK			22.71			HM/Nick
288	2/13/2018	018587583JJK			19.31			HM/Zach
289	2/13/2018	018587563JJK			22.55			HM/Zach
290	2/13/2018	018587565JJK			21.31			HM/Zach
291	2/14/2018	018587580JJK			27.04			HM/Nick
292	2/14/2018	018587577JJK			24.71			HM/Nick
293	2/14/2018	018587574JJK			31.11			HM/Nick
294	2/14/2018	018587575JJK			25.40			HM/Zach
295	2/14/2018	018587578JJK			25.87			HM/Zach
296	2/14/2018	018587581JJK			25.55			HM/Zach
297	2/14/2018	018587576JJK			25.34			HM/Pat
298	2/14/2018	018587582JJK			27.83			HM/Pat
299	2/14/2018	018587579JJK			25.62			HM/Pat
300	2/15/2018	018587573JJK			24.70			HM/Zach
301	2/15/2018	018587571JJK			26.44			HM/Zach
302	2/15/2018	018587594JJK			30.67			HM/Zach
303	2/15/2018	018587572JJK			28.14			HM/Nick
304	2/15/2018	018587593JJK			29.29			HM/Nick
305	2/15/2018	018587595JJK			30.92			HM/Nick
306	2/16/2018	018587598JJK			27.45			HM/Pat
307	2/16/2018	018587601JJK			28.95			HM/Pat
308	2/16/2018	018587596JJK			28.30			HM/Nick
309	2/16/2018	018587599JJK			28.82			HM/Nick

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
310	2/16/2018	018587602JJK			28.49			HM/Nick
311	2/16/2018	018587597JJK			26.44			HM/Zach
312	2/16/2018	018587600JJK			23.83			HM/Zach
313	2/16/2018	018587603JJK			26.76			HM/Zach
314	2/19/2018	018587611JJK			28.83			HM/Mike
315	2/19/2018	018587608JJK			26.08			HM/Mike
316	2/19/2018	018587604JJK			29.52			HM/Mike
317	2/19/2018	018587605JJK			28.07			HM/Nick
318	2/19/2018	018587607JJK			27.99			HM/Nick
319	2/19/2018	018587610JJK			27.16			HM/Nick
320	2/19/2018	018587609JJK			27.49			HM/Zach
321	2/19/2018	018587606JJK			29.63			HM/Zach
322	2/20/2018	018587612JJK			30.05			HM/Mike
323	2/20/2018	018587618JJK			28.22			HM/Nick
324	2/20/2018	018587619JJK			27.55			HM/Zach
	2/28/2018	018587690JJK					6750	HM/Nick
	2/28/2018	018587693JJK					7000	HM/Nick
	2/28/2018	018587691JJK					7000	HM/Nick
	3/2/2018	018587692JJK					7000	HM/Nick
325	3/5/2018	018587513JJK			34.67			S & C Transport
326	3/5/2018	018587514JJK			23.52			S & C Transport
	3/5/2018	018587704JJK					4585	HM/Nick
327	3/5/2018	018587625JJK			30.99			HM/Zach
328	3/5/2018	018587622JJK			23.40			HM/Zach
329	3/5/2018	018587624JJK			28.39			HM/Paul
330	3/5/2018	018587621JJK			20.10			HM/Paul
331	3/5/2018	018587623JJK			30.01			HM/Pat
332	3/5/2018	018587620JJK			19.03			HM/Pat
333	3/6/2018	018587510JJK			31.88			S & C Transport
334	3/6/2018	018587512JJK			28.78			S & C Transport
335	3/6/2018	018587509JJK			29.05			S & C Transport
336	3/6/2018	018587511JJK			29.04			S & C Transport
337	3/6/2018	018587628JJK			31.07			HM/Pat
338	3/6/2018	018587627JJK			28.39			HM/Zach
339	3/6/2018	018587626JJK			28.74			HM/Travis
340	3/8/2018	018587507JJK			29.97			S & C Transport
341	3/8/2018	018587527JJK			27.32			S & C Transport
342	3/8/2018	018587505JJK			28.97			S & C Transport
343	3/8/2018	018587508JJK			32.03			S & C Transport
344	3/8/2018	018587506JJK			31.92			S & C Transport
345	3/8/2018	018587504JJK			32.19			S & C Transport
346	3/8/2018	018587637JJK			26.92			HM/Zach
347	3/8/2018	018587634JJK			28.14			HM/Zach
348	3/8/2018	018587631JJK			26.72			HM/Zach
349	3/8/2018	018587629JJK			25.83			HM/Travis
350	3/8/2018	018587632JJK			29.00			HM/Travis
351	3/8/2018	018587635JJK			27.45			HM/Travis
352	3/8/2018	018587636JJK			28.75			HM/Pat
353	3/8/2018	018587633JJK			26.52			HM/Pat
354	3/8/2018	018587630JJK			27.18			HM/Pat

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
355	3/9/2018	018587723JJK			26.86			HM/Nick
356	3/9/2018	018587725JJK			29.53			HM/Nick
357	3/9/2018	018587724JJK			29.33			HM/Pat
358	3/9/2018	018587721JJK			28.11			HM/Pat
359	3/9/2018	018587727JJK			31.90			HM/Pat
360	3/9/2018	018587726JJK			30.87			HM/Zach
361	3/9/2018	018587722JJK			28.15			HM/Zach
362	3/9/2018	018587533JJK			30.12			S & C Transport
363	3/9/2018	018587531JJK			28.52			S & C Transport
364	3/9/2018	018587529JJK			29.52			S & C Transport
365	3/9/2018	018587532JJK			29.84			S & C Transport
366	3/9/2018	018587530JJK			31.92			S & C Transport
367	3/9/2018	018587528JJK			28.54			S & C Transport
	3/9/2018	018587705JJK					4600	HM/Paul
368	3/12/2018	018587728JJK			31.88			HM/Travis
369	3/12/2018	018587746JJK			29.44			HM/Travis
370	3/12/2018	018587744JJK			29.34			HM/Travis
371	3/12/2018	018587743JJK			32.74			HM/Paul
372	3/12/2018	018587729JJK			27.94			HM/Paul
373	3/12/2018	018587730JJK			31.10			HM/Paul
374	3/12/2018	018587745JJK			30.41			HM/Tom
375	3/12/2018	018587742JJK			27.51			HM/Tom
376	3/13/2018	018587739JJK			28.29			HM/Zach
	3/13/2018	1877728				23.64		HM/Zach
	3/13/2018	1877836				27.31		HM/Zach
377	3/13/2018	018587741JJK			29.78			HM/Paul
	3/13/2018	1877818				26.48		HM/Paul
	3/13/2018	1877721				24.16		HM/Paul
378	3/13/2018	018587740JJK			27.43			HM/Travis
	3/13/2018	1877725				25.36		HM/Travis
	3/13/2018	1877827				27.40		HM/Travis
	3/14/2018	1877959				28.34		HM/Nick
	3/14/2018	1878057				25.02		HM/Nick
	3/14/2018	1878199				26.63		HM/Nick
	3/14/2018	1877968				25.67		HM/Zach
	3/14/2018	1878075				26.87		HM/Zach
	3/14/2018	1878184				27.92		HM/Zach
379	3/15/2018	018587738JJK			27.85			HM/Pat
380	3/15/2018	018587737JJK			28.98			HM/Pat
	3/15/2018	1878401				29.44		HM/Zach
	3/15/2018	1878311				26.17		HM/Zach
381	3/15/2018	018587766JJK			30.14			HM/Zach
	3/15/2018	1878332				29.84		HM/Nick
	3/15/2018	1878428				27.63		HM/Nick
382	3/15/2018	018587758JJK			28.33			HM/Nick
	3/16/2018	1878697				27.89		HM/Zach
	3/16/2018	1878774				27.73		HM/Zach
383	3/16/2018	018587760JJK			29.70			HM/Zach
384	3/16/2018	018587757JJK			30.63			HM/Nick
385	3/16/2018	018587759JJK			28.36			HM/Nick
386	3/16/2018	018587761JJK			29.87			HM/Nick
387	3/19/2018	018587762JJK			26.50			HM/Zach

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
	3/19/2018	116379		34.54				HM/Zach
	3/19/2018	116383		32.10				HM/Zach
	3/19/2018	116387		30.08				HM/Zach
	3/19/2018	116384		27.05				HM/Tom
	3/19/2018	116382		26.07				HM/Tom
	3/19/2018	116378		28.65				HM/Tom
	3/19/2018	116376		21.84				HM/Tom
	3/19/2018	116377		25.07				HM/Tom
388	3/20/2018	018587764JJK			27.96			HM/Travis
	3/20/2018	116392		32.24				HM/Travis
	3/20/2018	116400		31.71				HM/Travis
	3/20/2018	119003		32.37				HM/Travis
	3/20/2018	119007		29.89				HM/Travis
389	3/20/2018	018587763JJK			31.77			HM/Paul
	3/20/2018	119006		32.02				HM/Paul
	3/20/2018	116398		32.87				HM/Paul
	3/20/2018	116389		31.85				HM/Paul
	3/20/2018	119002		32.12				HM/Paul
	3/21/2018	119050		33.76				HM/Tom
	3/21/2018	119043		32.26				HM/Tom
	3/21/2018	119027		29.71				HM/Tom
	3/21/2018	1879859				27.86		HM/Tom
	3/21/2018	1880083				27.55		HM/Tom
	3/21/2018	119042		33.70				HM/Paul
	3/21/2018	119049		30.97				HM/Paul
	3/21/2018	119029		32.32				HM/Paul
	3/21/2018	1879870				31.49		HM/Paul
	3/21/2018	1880074				29.17		HM/Paul
	3/23/2018	1880533				29.31		HM/Tom
	3/23/2018	1880645				28.31		HM/Tom
	3/23/2018	1880786				29.16		HM/Tom
	3/26/2018					29.48		Lou's Transport
	3/26/2018					26.36		Lou's Transport
Total:			160.26	727.75	10090.70	5154.65	36935.00	

Less Prev Billed	-105.63	-54.56	-2243.88	-1200.04	0
Progress Billing 12/09-12/29	-54.63	0.00	-2734.06	-3212.42	0.00
Progress Billing 12/30-02/02	0.00	0.00	-1399.41	0.00	0.00
Progress Billing 02/03-02/09	0.00	0.00	-546.87	0.00	0.00
Progress Billing 02/10-02/16	0.00	0.00	-980.76	0.00	0.00
Progress Billing 02/17-02/23	0.00	0.00	-310.59	0.00	0.00
Progress Billing 02/24-03/03	0.00	0.00	0.00	0.00	-27750.00
Progress Billing 03/04-03/13	0.00	0.00	-1555.04	-154.35	-9185.00
Progress Billing 03/14-03/20	0.00	-480.47	-320.09	-329.15	0.00
Progress Billing 03/21-04/06	0.00	-192.72	0.00	-258.69	0.00
Total	0.00	0.00	0.00	0.00	0.00



HM Environmental Services, Inc

Daily Service Receipt

1

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:

Generator:

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

Date: 3/21/2018

Order #:

PO #:

Approval #: K178055WDI

Waste Stream: ~~HAZARDOUS SOIL~~ Non HAZ

Disposal Site: WAYNE DISPOSAL, INC

Shop Time: 06:00 AM

Site Time: 07:00 AM

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
515 M - BOB CAT	7:00 AM	— AM	— AM	— AM	— AM	3:15 PM
519M - EXCAVATOR	11 AM	— AM	— AM	— AM	— AM	11 PM
520M - DOZER	11 AM	— AM	— AM	— AM	— AM	11 PM
17 - 2017 FORD F-250	6:00 AM	7:00 AM	3:15 PM	— AM	— AM	4:15 PM
528M - EXCAVATOR	7:00 AM	— AM	— AM	— AM	— AM	3:15 PM

Manifest #:

Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
Tom Wichman	5:30 AM	7:00 AM	3:15 PM	4:15 PM		10.75
Pat Blair II	6:00 AM	11 AM	11 AM	11 AM		10.25
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____

LOAD OUT HAZ SOIL TO WAYNE AND BACKFILL WITH 21aa.

* came in this morning to find Hardman had used our Excavator without permission.

\$ 7.00 on company card for parking

COMMENTS

- * 4 loads of non-haz soil loaded out (HM trucks) - 116.07 tons
- * 6 loads of 21AA crushed concrete delivered (HM Trucks) 192.72 tons
- * excavated last hole to elevation 731.30
- * moved stock pile of dirt (approx. 400 yards) for Hardman to have room to drill in south east corner.
- * awaiting approval from SME on soil to be hauled or left on site

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

Authorized Personnel

Attachment to ASTI Environmental Memo Dated March 28, 2021

Attachment Page No. 32

Date

3/21/18

Shipping Log

The Pearl Birmingham, MI

Date	Load #	Manifest/Ticket #	Trucker	Truck#	AMOUNT	Time
3/21/18	1	119027	HME	122	21AA stone 29 yards	8:40 AM
	2	14106274	HME	122	29T	8:20 AM
	3	119039	HME	127	21AA stone 32 yards	8:35 AM
	4	11406226	HME	127	29T	8:45 AM
	5	119042	HME	127	21AA stone 33 yards	12:05 PM
	6	119043	HME	122	21AA stone 32 yards	12:20 PM
	7	119049	HME	127	21AA stone 30 ton	2:00 PM
	8	14106277	HME	127	29T	2:10 PM
	9	119050	HME	122	21AA stone 30 ton	2:15 PM
	10	14106278	HME	122	29T	2:30 PM

NON-
HAZ

NON-
HAZ

NON-
HAZ

NON-
HAZ



HM Environmental Services, Inc

Daily Service Receipt

1

42826 N. Walnut - Mt. Clemens, MI 48043
Phone (586) 469-0041 - Fax (586) 469-1014

Customer:

Generator:

Date:

3/21/2018

Order #:

PO #:

Approval #:

K178055WDI

Waste Stream:

HAZARDOUS SOIL NON HAZ

Disposal Site:

WASTE DISPOSAL, INC

Shop Time:

06:00 AM

Site Time:

07:00 AM

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
122 - KENWORTH TRACTOR	6:00 AM	7:00 AM	7:15 AM	AM	AM	AM
340D - 30 YARD DUMP TRAILER	() AM	() AM	() AM	AM	AM	AM
	AM	8:00 AM	8:30 AM	9:15 AM	10:00 AM	AM
	AM	11:00 AM	11:30 AM	AM	AM	AM
Pearl / Wiegand	AM	12:00 PM	12:30 PM	1:00 PM	1:15 PM	AM

Manifest #:

14106274

Waste Qty:

24T

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
Tom Biscarner	6:00 AM	7:00 AM	7:15 AM	AM	AM	11.50
	AM	8:00 AM	8:30 AM	AM	AM	
	AM	11:00 AM	11:30 AM	AM	AM	
	AM	12:00 PM	12:30 PM	AM	AM	
	AM	1:00 PM	1:15 PM	AM	AM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____
Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel 89 Gal

LOAD OUT HAZ SOIL TO ~~WASTE~~ ADVANCED AND BACKFILL WITH 21aa.

COMMENTS

Haul on 21aa then haul out NONHAZ soil

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

Annotated Signature

Authorized Personnel

Date



HM Environmental Services, Inc

Daily Service Receipt

1

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:

Generator:

Date:

Order #:

PO #:

Approval #:

Waste Stream:

Disposal Site:

Shop Time:

Site Time:

Continued

Continued

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
Pearl	AM PM	2:15 AM PM	2:45 AM PM	3:30 AM PM	4:00 AM PM	5:30 AM PM
	AM PM	AM PM	AM PM	AM PM	AM PM	AM PM
	AM PM	AM PM	AM PM	AM PM	AM PM	AM PM
	AM PM	AM PM	AM PM	AM PM	AM PM	AM PM
	AM PM	AM PM	AM PM	AM PM	AM PM	AM PM
	AM PM	AM PM	AM PM	AM PM	AM PM	AM PM

Manifest #:

Waste Qty:

14106278

29T

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
Toni Biscan	AM PM	2:15 AM PM	2:45 AM PM	5:30 AM PM	AM PM	
	AM PM	AM PM	AM PM	AM PM	AM PM	
	AM PM	AM PM	AM PM	AM PM	AM PM	
	AM PM	AM PM	AM PM	AM PM	AM PM	
	AM PM	AM PM	AM PM	AM PM	AM PM	
	AM PM	AM PM	AM PM	AM PM	AM PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel 89.64

SPECIAL INSTRUCTIONS

COMMENTS

Continued Service Receipt

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

Annotated Signature

Authorized Personnel

Date

119043

WIEGAND'S
(586) 939-0840

HEREBY CERTIFY THAT AGGREGATE AS
ED MEETS SPECIFICATION REQUIREMENTS,
TED MICHIGAN SERIES AND CLASS IN QUANTITY

(Signature)

DATE

3-21-18

HM ENVIRONMENTAL
Service

ID TO

Birmingham

OF RIAL	TONS OR YARDS	AMOUNT	TOTAL
AA	32.26		
10:27		3-21-18	

53.17 TN

20.91 TN

32.26 TN

TAX

LOADED BY

KEN

122#

BY

AN EQUAL OPPORTUNITY EMPLOYER

SHIPPER'S COPY

1

119050

WIEGAND'S
(586) 939-0840

☒ I HEREBY CERTIFY THAT AGGREGATE AS
DELIVERED MEETS SPECIFICATION REQUIREMENTS,
FOR STATED MICHIGAN SERIES AND CLASS IN QUANTITY
STATED.

(Signature)

PIT NO.

50-56

DATE

3-21-18

SOLD TO

DELIVERED TO

HM ENVIRONMENTAL
Service

Birmingham

TYPE OF MATERIAL	TONS OR YARDS	AMOUNT	TOTAL
21-AA	33.76		
Spec	12:03	3-21-18	

GROSS

TARE

NET

TRUCK NO.

DRIVER

RECEIVED BY

AN EQUAL OPPORTUNITY EMPLOYER

54.67 TN

20.91 TN

33.76 TN

TAX

LOADED BY

KEN

122#

SHIPPER'S COPY

1



DELIVERED MEETS SPECIFICATION REQUIREMENTS,
FOR STATED MICHIGAN SERIES AND CLASS IN QUANTITY
STATED.

SOLD TO TIM ENVIRONMENTAL
DELIVERED TO Service

Birmingham

TYPE OF MATERIAL	TONS OR YARDS	AMOUNT	TOTAL
21" Ash	29.71		
Sped	6:20	3-21-18	

TAX 1000
LOADED BY

125#

DRIVER

RECEIVED BY-

AN EQUAL OPPORTUNITY EMPLOYER

SHIPPER'S COPY

ARBOR HILLS LANDFILL
10690 W SIX MILE RD
NORTHVILLE, MI 48168
8884431717

1

004240
HM ENVIRONMENTAL (AT)
42826 NORTH WALNUT ST
CLINTON TOWNSHIP, MI 48036

INVOICE
INBOUND

SITE	CELL	TICKET #	OPERATOR
01		1879859	43967
TRUCK		CONTAINER	LICENSE
HM122-30			
REFERENCE			IN OUT
14106274			3/21/18 9:22 am 3/21/18 9:22 am

CONTRACT: AH8807 - VACANT LOT 856 N OLD WOODWARD AVE
BOL:

GROSS 97,840.00LBS Scale In
TARE 42,120.00LBS Tare Out
NET 55,720.00 LBS

QTY	UNIT	DESCRIPTION	ORIGIN	%	RATE	TAX	TOTAL
27.86 1.00	TN	Contaminated Soils (Ext) COMPLIANCE AND BUSINESS IMPACT CHAR	OA	100.00 0.00			

I hereby certify that this load does not contain any unauthorized hazardous waste.

SIGNATURE: _____

Total
Paid
Change
Check#
Recpt #

CUSTOMER COPY



Advanced Disposal

1

NON-HAZARDOUS WASTE MANIFEST		1. Generator ID Number		2. Page 1 of	3. Emergency Response Phone	4. Waste Tracking Number 141.06274		
5. Generator's Name and Mailing Address Vacant Lot 855 N. Old Woodward Ave Birmingham MI 48009				Generator's Site Address (if different than mailing address) Same				
Generator's Phone:								
6. Transporter 1 Company Name 248 680 1401 HM Environmental - 485-454-0041				U.S. EPA ID Number				
7. Transporter 2 Company Name				U.S. EPA ID Number				
8. Designated Facility Name and Site Address ADS / Arbor Hills Landfill 10690 W. 6 Mile Road Northville, MI 48168				U.S. EPA ID Number 248-412-0691 MIK114-185-416				
Facility's Phone:								
GENERATOR	9. Waste Shipping Name and Description			10. Containers		11. Total Quantity	12. Unit Wt./Vol.	
				No.	Type			
	1. Contaminated soil			001	DT	29	T	
	2.							
	3.					27.86		
	4.					18.40		
	5.							
6.								
13. Special Handling Instructions and Additional Information MI687 181106 AH8807 515								
14. GENERATOR'S/OFFEROR'S CERTIFICATION: I hereby declare that the contents of this consignment are fully and accurately described above by the proper shipping name, and are classified, packaged, marked and labeled/placarded, and are in all respects in proper condition for transport according to applicable international and national governmental regulations.								
Generator's/Offor's Printed/Typed Name 141.06274 Arbor Hills Landfill				Signature <i>[Signature]</i>		Month Day Year 3 21 18		
TRANSPORTER	15. International Shipments <input type="checkbox"/> Import to U.S. <input type="checkbox"/> Export from U.S. Port of entry/exit:							
	Transporter Signature (for exports only): Date leaving U.S.:							
	16. Transporter Acknowledgment of Receipt of Materials							
	Transporter 1 Printed/Typed Name Tom Biscione				Signature <i>[Signature]</i>		Month Day Year 3 21 18	
Transporter 2 Printed/Typed Name				Signature		Month Day Year		
DESIGNATED FACILITY	17. Discrepancy							
	17a. Discrepancy Indication Space <input type="checkbox"/> Quantity <input type="checkbox"/> Type <input type="checkbox"/> Residue <input type="checkbox"/> Partial Rejection <input type="checkbox"/> Full Rejection							
	Manifest Reference Number:							
	17b. Alternate Facility (or Generator) U.S. EPA ID Number							
Facility's Phone:								
17c. Signature of Alternate Facility (or Generator)								
Month Day Year								
18. Designated Facility Owner or Operator: Certification of receipt of materials covered by the manifest except as noted in Item 17a								
Printed/Typed Name				Signature <i>[Signature]</i>		Month Day Year 3 21 18		

ARBOR HILLS LANDFILL
10690 W SIX MILE RD
NORTHVILLE, MI 48168
8884431717

004240
HM ENVIRONMENTAL (AT)
42826 NORTH WALNUT ST
CLINTON TOWNSHIP, MI 48036

1

INVOICE
INBOUND

SITE	CELL	TICKET #	OPERATOR
01		1880083	40219
TRUCK		CONTAINER	LICENSE
HM122-30			
REFERENCE			IN OUT
14106278			3/21/18 3:26 pm 3/21/18 3:26 pm

CONTRACT: AH8807 - VACANT LOT 856 N OLD WOODWARD AVE			GROSS	97,220.00LBS	Scale In		
BOL:			TARE	42,120.00LBS	Tare Out		
			NET	55,100.00 LBS			
QTY	UNIT	DESCRIPTION	ORIGIN	%	RATE	TAX	TOTAL
27.55	TN	Contaminated Soils (Ext)	OA	100.00			
1.00		COMPLIANCE AND BUSINESS IMPACT CHAR		0.00			

I hereby certify that this load does not contain any unauthorized hazardous waste.

Total
Paid
Change
Check#
Recpt #

SIGNATURE: _____

CUSTOMER COPY



Advanced Disposal

1

NON-HAZARDOUS WASTE MANIFEST		1. Generator ID Number	2. Page 1 of	3. Emergency Response Phone	4. Waste Tracking Number 14106278
5. Generator's Name and Mailing Address Vacant Lot 855 N. Old Woodward Ave Birmingham MI 48009		Generator's Site Address (if different than mailing address) Same			
Generator's Phone:					
6. Transporter 1 Company Name 243 680 1401 11M Environmental - 386-469-0041		U.S. EPA ID Number			
7. Transporter 2 Company Name		U.S. EPA ID Number			
8. Designated Facility Name and Site Address ADS / Arbor Hills Landfill 10690 W. 6 Mile Road Northville, MI 48168		248-412-0691		U.S. EPA ID Number MIK114-185-416	
Facility's Phone:					
9. Waste Shipping Name and Description		10. Containers		11. Total Quantity	12. Unit WL/Vol.
		No.	Type		
1.		001	DT	29	T
2.					
3.					
4.					
5.					
6.					
13. Special Handling Instructions and Additional Information MI687 181106 ANB807 515					
14. GENERATOR'S/OFFEROR'S CERTIFICATION: I hereby declare that the contents of this consignment are fully and accurately described above by the proper shipping name, and are classified, packaged, marked and labeled/placarded, and are in all respects in proper condition for transport according to applicable international and national governmental regulations.					
Generator's/Offor's Printed/Typed Name <i>William J. ...</i>		Signature <i>[Signature]</i>		Month 3	Day 21
				Year 18	
15. International Shipments <input type="checkbox"/> Import to U.S. <input type="checkbox"/> Export from U.S. Port of entry/exit: Date leaving U.S.:					
16. Transporter Acknowledgment of Receipt of Materials					
Transporter 1 Printed/Typed Name TOM B. ...		Signature <i>[Signature]</i>		Month 3	Day 21
				Year 18	
Transporter 2 Printed/Typed Name		Signature		Month	Day
				Year	
17. Discrepancy					
17a. Discrepancy Indication Space <input type="checkbox"/> Quantity <input type="checkbox"/> Type <input type="checkbox"/> Residue <input type="checkbox"/> Partial Rejection <input type="checkbox"/> Full Rejection					
Manifest Reference Number:					
17b. Alternate Facility (or Generator)		U.S. EPA ID Number			
Facility's Phone:					
17c. Signature of Alternate Facility (or Generator)		<i>[Signature]</i>		Month 3	Day 21
				Year 18	
18. Designated Facility Owner or Operator: Certification of receipt of materials covered by the manifest except as noted in Item 17a					
Printed/Typed Name		Signature <i>[Signature]</i>		Month 3	Day 21
				Year 18	



HM Environmental Services, Inc

Daily Service Receipt

1

42826 N. Walnut - Mt. Clemens, MI 48043
Phone (586) 469-0041 - Fax (586) 469-1014

Customer:

Generator:

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689836 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

Date: 3/21/2018

Order #:

PO #:

Approval #: K178055WDI

Waste Stream: HAZARDOUS SOIL NON HAZ

Disposal Site: WAYNE DISPOSAL, INC

Shop Time: 06:00 AM

Site Time: 07:00 AM

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
341D - 30 YARD DUMP TRAILER	6:00 AM	7:00 AM	AM PM	AM PM	3:30 PM	5:30 PM
127 - KENWORTH TRACTOR	AM PM	AM PM	AM PM	AM PM	AM PM	AM PM
	AM PM	AM PM	AM PM	AM PM	AM PM	AM PM
	AM PM	AM PM	AM PM	AM PM	AM PM	AM PM
	AM PM	AM PM	AM PM	AM PM	AM PM	AM PM
	AM PM	AM PM	AM PM	AM PM	AM PM	AM PM

Manifest #: 14106276
14106277

Waste Qty: 29 T x 2

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
Paul Timmreck	6:00 AM	7:00 AM	AM PM	5:30 PM	AM PM	11.50
	AM PM	AM PM	AM PM	AM PM	AM PM	
	AM PM	AM PM	AM PM	AM PM	AM PM	
	AM PM	AM PM	AM PM	AM PM	AM PM	
	AM PM	AM PM	AM PM	AM PM	AM PM	
	AM PM	AM PM	AM PM	AM PM	AM PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel 53.6

LOAD OUT HAZ SOIL TO WAYNE AND BACKFILL WITH 21aa.

COMMENTS

HAULED (3) LOADS OF STONE
(2) LOADS TO ADVANCED

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer: *John D. Smith*

Date

Annotated Signature

Authorized Personnel

Date

119049

WIEGAND'S
(586) 939-0840

HEREBY CERTIFY THAT AGGREGATE AS
DELIVERED MEETS SPECIFICATION REQUIREMENTS,
FOR STATED MICHIGAN SERIES AND CLASS IN QUANTITY

(Signature)

DATE

3-21-18

HM ENVIRONMENTAL
TO Service

Birmingham

TONS OR YARDS	AMOUNT	TOTAL
30.97		
11:54	3-21-18	

1.41 TN

2.44 TN

2.97 TN

TAX

LOADED BY

KEN

127#

AN EQUAL OPPORTUNITY EMPLOYER

SHIPPER'S COPY

119042

1

WIEGAND'S
(586) 939-0840

☒ I HEREBY CERTIFY THAT AGGREGATE AS
DELIVERED MEETS SPECIFICATION REQUIREMENTS,
FOR STATED MICHIGAN SERIES AND CLASS IN QUANTITY
STATED.

(Signature)

#

50-56

DATE

3-21-18

PIT NO.

SOLD TO HM ENVIRONMENTAL
DELIVERED TO Service

Birmingham

TYPE OF MATERIAL	TONS OR YARDS	AMOUNT	TOTAL
21-AA	33.70		
Spec	10:25	3-21-18	

GROSS

54.14 TN

TARE

20.44 TN

NET

33.70 TN

TRUCK NO.

DRIVER

RECEIVED BY

TAX

LOADED BY

KEN

127#

AN EQUAL OPPORTUNITY EMPLOYER

SHIPPER'S COPY

ARBOR HILLS LANDFILL
10690 W SIX MILE RD
NORTHVILLE, MI 48168
8884431717

004240
HM ENVIRONMENTAL (AT)
42826 NORTH WALNUT ST
CLINTON TOWNSHIP, MI 48036

1

INVOICE
INBOUND

SITE	CELL	TICKET #	OPERATOR
01		1879870	43967
TRUCK		CONTAINER	LICENSE
HM127-30			
REFERENCE			IN OUT
14106276			3/21/18 9:40 am 3/21/18 9:40 am

CONTRACT: AH8807 - VACANT LOT 856 N OLD WOODWARD AVE
BOL:

GROSS 103,920.00LBS Scale In
TARE 40,940.00LBS Tare Out
NET 62,980.00 LBS

QTY	UNIT	DESCRIPTION	ORIGIN	%	RATE	TAX	TOTAL
31.49	TN	Contaminated Soils (Ext)	WY	100.00			
1.00		COMPLIANCE AND BUSINESS IMPACT CHAR		0.00			

I hereby certify that this load does not contain any unauthorized hazardous waste.

SIGNATURE: _____

Total
Paid
Change
Check#
Recpt #

CUSTOMER COPY



Advanced Disposal

1

NON-HAZARDOUS WASTE MANIFEST		1. Generator ID Number		2. Page 1 of		3. Emergency Response Phone		4. Waste Tracking Number 141.06276	
5. Generator's Name and Mailing Address General Ltd. 856 N. Old Woodward Ave Birmingham MI 48009				Generator's Site Address (if different than mailing address) Same					
Generator's Phone:				6. Transporter 1 Company Name 242-681-1401 HIM Environmental - 585-469-8041		U.S. EPA ID Number #127			
7. Transporter 2 Company Name						U.S. EPA ID Number			
8. Designated Facility Name and Site Address ADS / Arbor Hills Landfill 10690 W. 6 Mile Road Northville, MI 48168				248-412-0691		U.S. EPA ID Number MIK114-185-415			
Facility's Phone:									
GENERATOR	9. Waste Shipping Name and Description			10. Containers		11. Total Quantity	12. Unit Wt./Vol.		
				No.	Type				
	1. Contaminated soil			001	DT	29	T		
	2.					31.49			
	3.								
	4.								
	5.					FOUR			
6.									
13. Special Handling Instructions and Additional Information MI687 181106 ANR807 515									
14. GENERATOR'S/OFFEROR'S CERTIFICATION: I hereby declare that the contents of this consignment are fully and accurately described above by the proper shipping name, and are classified, packaged, marked and labeled/placarded, and are in all respects in proper condition for transport according to applicable international and national governmental regulations.									
Generator's/Offor's Printed/Typed Name <i>Michael J. ...</i>						Signature <i>[Signature]</i>		Month Day Year 3 21 18	
15. International Shipments: <input type="checkbox"/> Import to U.S. <input type="checkbox"/> Export from U.S. Port of entry/exit: Date leaving U.S.:									
16. Transporter Acknowledgment of Receipt of Materials									
Transporter 1 Printed/Typed Name Paul Timmreck						Signature <i>[Signature]</i>		Month Day Year 3 21 18	
Transporter 2 Printed/Typed Name						Signature		Month Day Year	
17. Discrepancy									
17a. Discrepancy Indication Space <input type="checkbox"/> Quantity <input type="checkbox"/> Type <input type="checkbox"/> Residue <input type="checkbox"/> Partial Rejection <input type="checkbox"/> Full Rejection									
Manifest Reference Number:									
17b. Alternate Facility (or Generator) U.S. EPA ID Number									
Facility's Phone:									
17c. Signature of Alternate Facility (or Generator) Month Day Year									
18. Designated Facility Owner or Operator: Certification of receipt of materials covered by the manifest except as noted in Item 17a									
Printed/Typed Name						Signature <i>[Signature]</i>		Month Day Year 3 21 18	

ARBOR HILLS LANDFILL
10690 W SIX MILE RD
NORTHVILLE, MI 48168
8884431717

004240
HM ENVIRONMENTAL (AT)
42826 NORTH WALNUT ST
CLINTON TOWNSHIP, MI 48036

INVOICE
INBOUND

SITE		CELL	TICKET #	OPERATOR	
01			1880074	43967	
TRUCK			CONTAINER	LICENSE	
HM127-30					
REFERENCE				IN	OUT
14106277				3/21/18 3:05 pm	3/21/18 3:05 pm

CONTRACT: AH8807 - VACANT LOT 856 N OLD WOODWARD AVI
BOL:

GROSS 99,280.00LBS Scale In
TARE 40,940.00LBS Tare Out
NET 58,340.00 LBS

QTY	UNIT	DESCRIPTION	ORIGIN	%	RATE	TAX	TOTAL
29.17 1.00	TN	Contaminated Soils (Ext) COMPLIANCE AND BUSINESS IMPACT CHAR	WY	100.00 0.00			

I hereby certify that this load does not contain any unauthorized hazardous waste.

SIGNATURE: _____

Total
Paid
Change
Check#
Recpt #

CUSTOMER COPY



Advanced Disposal

1

NON-HAZARDOUS WASTE MANIFEST		1. Generator ID Number		2. Page 1 of		3. Emergency Response Phone		4. Waste Tracking Number	
5. Generator's Name and Mailing Address Vacant Lot 856 N. Old Woodward Ave Birmingham MI 48009				Generator's Site Address (if different than mailing address) Same					
Generator's Phone:				6. Transporter 1 Company Name 248 680 1401 TDM Environmental 386-464-0041		U.S. EPA ID Number			
				7. Transporter 2 Company Name		U.S. EPA ID Number			
8. Designated Facility Name and Site Address ADS / Arbor Hills Landfill 10690 W. 6 Mile Road Northville, MI 48168				248-412-0691		U.S. EPA ID Number MIK114-185-416		Facility's Phone:	
9. Waste Shipping Name and Description				10. Containers		11. Total Quantity	12. Unit Wt./Vol.		
				No.	Type				
1.				001	DT	29	T		
2. Contaminated soil									
3.									
4.									
5.									
6.									
13. Special Handling Instructions and Additional Information MIG87 181106 AN8807 515									
14. GENERATOR'S/OFFEROR'S CERTIFICATION: I hereby declare that the contents of this consignment are fully and accurately described above by the proper shipping name, and are classified, packaged, marked and labeled/placarded, and are in all respects in proper condition for transport according to applicable international and national governmental regulations.									
Generator's/Offor's Printed/Typed Name				Signature		Month		Day Year	
Migler, Jr. Apr 10 2018						3		21 18	
15. International Shipments <input type="checkbox"/> Import to U.S. <input type="checkbox"/> Export from U.S. Port of entry/exit: Date leaving U.S.:									
16. Transporter Acknowledgment of Receipt of Materials									
Transporter 1 Printed/Typed Name				Signature		Month		Day Year	
Paul Timmerick						3		21 18	
Transporter 2 Printed/Typed Name				Signature		Month		Day Year	
17. Discrepancy									
17a. Discrepancy Indication Space <input type="checkbox"/> Quantity <input type="checkbox"/> Type <input type="checkbox"/> Residue <input type="checkbox"/> Partial Rejection <input type="checkbox"/> Full Rejection									
Manifest Reference Number:									
17b. Alternate Facility (or Generator) U.S. EPA ID Number									
Facility's Phone:									
17c. Signature of Alternate Facility (or Generator) Month Day Year									
18. Designated Facility Owner or Operator: Certification of receipt of materials covered by the manifest except as noted in item 17a									
Printed/Typed Name				Signature		Month		Day Year	
						3		21 18	



HM Environmental Services, Inc

1

Daily Service Receipt

42826 N. Walnut - Mt. Clemens, MI 48043
Phone (586) 469-0041 - Fax (586) 469-1014

Customer:
Generator:

FLS PROPERTIES, LLC
40700 Woodward Suite 250 P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

Date: 3/22/2018

Order #:

PO #:

Approval #: M1687-181106-AH8807-515

Waste Stream: NON HAZARDOUS SOIL

Disposal Site: ADVANCED DISPOSAL

Shop Time: 06:00 AM

Site Time: 07:00 AM

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
515 M - BOB CAT	7:00 AM	— AM	— AM	— AM	— AM	3:30 PM
519M - EXCAVATOR	11 AM	— AM	— AM	— AM	— AM	11 PM
520M - DOZER	11 AM	— AM	— AM	— AM	— AM	11 PM
17 - 2017 FORD F-250	6:00 AM	7:00 AM	3:30 PM	— AM	— AM	4:45 PM
528M - EXCAVATOR	— AM	— AM	— AM	— AM	— AM	3:30 PM

Manifest #:
Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
Tom Wichman	5:30 AM	7:00 AM	3:30 PM	4:45 PM	— AM	11.25
Pat Blair II	6:00 AM	11 AM	11 AM	11 AM	— AM	10.75
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____ ✓

\$ 7.00 on company card for parking

WORK WITH HARTMAN TO MOVE STOCKPILED NON HAZ TO AN AREA THAT CAN BE LOADED OUT.

COMMENTS

- * continued to move stock pile of soil out of Hardman's way, awaiting direction on what to do with soil
- * excavated last additional depth hole for pile caps to elevation 731.30
- * moved Mats for Hardman
- * cleaned up soil piles from drilling

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

N/A

Customer

Date

Annotated Submittal

Attachment to ASTI Environmental Memo Dated March 28, 2021
Attachment Page No. 49

Thomas Wichman

3/22/18
Date



HM Environmental Services, Inc

Daily Service Receipt

1

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:

Generator:

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

Date:

3/23/2018

Order #:

PO #:

Approval #: M1687-181106-AH8807-515

Waste Stream: NON HAZARDOUS SOIL

Disposal Site: ADVANCED DISPOSAL

Shop Time: 06:00 AM

Site Time: 07:00 AM

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
515 M - BOB CAT	7:00 AM	— PM	— PM	AM	AM	8:30 PM
519M - EXCAVATOR	11 AM	— PM	— PM	AM	AM	11 PM
520M - DOZER	11 AM	— PM	— PM	AM	AM	11 PM
17 - 2017 FORD F-250	6:00 AM	7:00 AM	3:30 PM	AM	AM	3:45 PM
528M - EXCAVATOR	7:00 AM	— PM	— PM	AM	AM	2:30 PM

Manifest #:

Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
Tom Wichman	6:00 AM	7:00 AM	2:30 PM	3:45 PM		9.75
Pat Blair II	11 AM	11 AM	11 AM	3:15 PM		9.25
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____

GATHER AND LOAD OUT NON HAZ SOILS

\$ 7.00 on company card for parking

COMMENTS

* loaded 3 loads of non-haz soil (NM Trucks) 86.78 tons
* continued to move stock pile of soil out of Handman's way
* moved Mats for Handman's
* cleaned up soil piles from drilling

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

Authorized Submittal

Authorized Personnel

Date



HM Environmental Services, Inc

Daily Service Receipt

1

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:

Generator:

FLS PROPERTIES, LLC
40700 Woodward Suite 250 P.O. BOX 689856 N. OLD WOODWARD
Bloomfield Hills, MI – 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 –
JAMIE ANTONIEWICZ
810-734-0975

Date: 3/23/2018
Order #:
PO #:
Approval #: M1687-181106-AH8807-515
Waste Stream: NON HAZARDOUS SOIL
Disposal Site: ADVANCED DISPOSAL
Shop Time: 06:00 AM
Site Time: 07:00 AM

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
122 - KENWORTH TRACTOR	6:00 AM	7:00 AM	7:30 AM	8:30 AM	9:30 AM	AM
340D - 30 YARD DUMP TRAILER	6:00 AM	7:00 AM	7:30 AM	8:30 AM	9:30 AM	AM
	AM	AM	AM	AM	AM	AM
	PM	PM	PM	PM	PM	PM
	10:00 AM	10:15 AM	11:15 AM	11:45 AM		AM
	AM	AM	AM	AM	AM	AM
	PM	PM	PM	PM	PM	PM
	12:45 AM	1:00 AM	2:15 AM	3:00 AM	5:30 AM	AM
	AM	AM	AM	AM	AM	AM
	PM	PM	PM	PM	PM	PM

Manifest #: 14106279 / 14106280 / 14106281

Waste Qty: 29T

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
Tom Biscarner	6:00 AM	7:00 AM	7:30 AM	AM	AM	11.50
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____
Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel 356 gal ✓

SHUTTLE LOADS OF NON HAZ SOILS TO ADVANCED DISPOSAL.

COMMENTS

Shuttle loads of non haz soil to Advanced
Car Fine on 696 E by M10 traffic was stopped for almost 45 min

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

Annotated Submittal

Attachment to ASTI Environmental Memo Dated March 23, 2021

Attachment Page No. 51

Date

3/23/18

ARBOR HILLS LANDFILL
10690 W SIX MILE RD
NORTHVILLE, MI 48168
8884431717

004240
HM ENVIRONMENTAL (AT)
42826 NORTH WALNUT ST
CLINTON TOWNSHIP, MI 48036

INVOICE
INBOUND

SITE		CELL	TICKET #	OPERATOR	
01			1880533	40219	
TRUCK			CONTAINER	LICENSE	
HM122-30					
REFERENCE				IN	OUT
14106279				3/23/18 8:24 am	3/23/18 8:24 am

CONTRACT: AH8807 - VACANT LOT 856 N OLD WOODWARD AVE
BOL:

GROSS 100,740.00LBS Scale In
TARE 42,120.00LBS Tare Out
NET 58,620.00LBS

QTY	UNIT	DESCRIPTION	ORIGIN	%	RATE	TAX	TOTAL
29.31	TN	Contaminated Soils (Ext)	OA	100.00			
1.00		COMPLIANCE AND BUSINESS IMPACT CHAR		0.00			

I hereby certify that this load does not contain any unauthorized hazardous waste.

Total
Paid
Change
Check#
Recpt #

SIGNATURE: _____

CUSTOMER COPY



Advanced Disposal

1

NON-HAZARDOUS WASTE MANIFEST		1. Generator ID Number	2. Page 1 of	3. Emergency Response Phone	4. Waste Tracking Number
5. Generator's Name and Mailing Address Vacant Lot 856 N. Old Woodward Ave Birmingham MI 48009		Generator's Site Address (if different than mailing address) Same			
Generator's Phone:		6. Transporter 1 Company Name 248 630 1401 HM Environmental - 386-469-0041		U.S. EPA ID Number	
		7. Transporter 2 Company Name		U.S. EPA ID Number	
8. Designated Facility Name and Site Address ADS / Arbor Hills Landfill 10690 W. 6 Mile Road Northville, MI 48168		248-412-0691		U.S. EPA ID Number MIK114-185-416	
Facility's Phone:					
9. Waste Shipping Name and Description		10. Containers		11. Total Quantity	12. Unit Wt./Vol.
		No.	Type		
1.		001	DT	29	T
2.					
3.					
4.					
5.					
6.					
13. Special Handling Instructions and Additional Information MI687 181106 AHBB07 515					
14. GENERATOR'S/OFFEROR'S CERTIFICATION: I hereby declare that the contents of this consignment are fully and accurately described above by the proper shipping name, and are classified, packaged, marked and labeled/placarded, and are in all respects in proper condition for transport according to applicable international and national governmental regulations.					
Generator's/Offor's Printed/Typed Name		Signature		Month Day Year 3 12 18	
15. International Shipments <input type="checkbox"/> Import to U.S. <input type="checkbox"/> Export from U.S.		Port of entry/exit: Date leaving U.S.:			
16. Transporter Acknowledgment of Receipt of Materials					
Transporter 1 Printed/Typed Name		Signature		Month Day Year 3 23 19	
Transporter 2 Printed/Typed Name		Signature		Month Day Year	
17. Discrepancy					
17a. Discrepancy Indication Space <input type="checkbox"/> Quantity <input type="checkbox"/> Type <input type="checkbox"/> Residue <input type="checkbox"/> Partial Rejection <input type="checkbox"/> Full Rejection					
Manifest Reference Number:					
17b. Alternate Facility (or Generator)		U.S. EPA ID Number			
Facility's Phone:					
17c. Signature of Alternate Facility (or Generator)		1880533 Month Day Year			
18. Designated Facility Owner or Operator: Certification of receipt of materials covered by the manifest except as noted in item 17a					
Printed/Typed Name		Signature		Month Day Year K 032318	

ARBOR HILLS LANDFILL
10690 W SIX MILE RD
NORTHVILLE, MI 48168
8884431717

004240
HM ENVIRONMENTAL (AT)
42826 NORTH WALNUT ST
CLINTON TOWNSHIP, MI 48036

INVOICE
INBOUND

SITE		CELL	TICKET #	OPERATOR	
01			1880645	40219	
TRUCK			CONTAINER	LICENSE	
HM122-30					
REFERENCE				IN	OUT
14106280				3/23/18 11:06 am	3/23/18 11:06 am

CONTRACT: AH8807 - VACANT LOT 856 N OLD WOODWARD AVE
BOL:

GROSS 98,740.00LBS Scale In
TARE 42,120.00LBS Tare Out
NET 56,620.00 LBS

QTY	UNIT	DESCRIPTION	ORIGIN	%	RATE	TAX	TOTAL
28.31 1.00	TN	Contaminated Soils (Ext) COMPLIANCE AND BUSINESS IMPACT CHAR	OA	100.00 0.00			

I hereby certify that this load does not contain any unauthorized hazardous waste.

Total
Paid
Change
Check#
Recpt #

SIGNATURE: _____

CUSTOMER COPY



Advanced Disposal

1

NON-HAZARDOUS WASTE MANIFEST		1. Generator ID Number		2. Page 1 of		3. Emergency Response Phone		4. Waste Tracking Number 14106280			
5. Generator's Name and Mailing Address Valant Ltd 855 N. Old Woodward Ave Birmingham MI 48009				Generator's Site Address (if different than mailing address) Same							
Generator's Phone:											
6. Transporter 1 Company Name 248 680 1401 JIM Environmental +586-455-0041				U.S. EPA ID Number							
7. Transporter 2 Company Name				U.S. EPA ID Number							
8. Designated Facility Name and Site Address ADS / Arbor Hills Landfill 10690 W. 6 Mile Road Northville, MI 48168				U.S. EPA ID Number 248-412-0691 MIK114-185-416							
Facility's Phone:											
9. Waste Shipping Name and Description				10. Containers		11. Total Quantity	12. Unit Wt./Vol.				
				No.	Type						
1. Contaminated Soil				001	DT	29	T				
2.											
3.											
4.											
5.											
6.											
13. Special Handling Instructions and Additional Information MI687 181106 AHE807 515											
14. GENERATOR'S/OFFEROR'S CERTIFICATION: I hereby declare that the contents of this consignment are fully and accurately described above by the proper shipping name, and are classified, packaged, marked and labeled/placarded, and are in all respects in proper condition for transport according to applicable international and national governmental regulations.											
Generator's/Offor's Printed/Typed Name Michael J. Agnew				Signature 		Month 3		Day 23		Year 18	
15. International Shipments <input type="checkbox"/> Import to U.S. <input type="checkbox"/> Export from U.S. Port of entry/exit: Date leaving U.S.:											
16. Transporter Acknowledgment of Receipt of Materials											
Transporter 1 Printed/Typed Name Tom B. ...				Signature 		Month 3		Day 23		Year 18	
Transporter 2 Printed/Typed Name				Signature		Month		Day		Year	
17. Discrepancy											
17a. Discrepancy Indication Space <input type="checkbox"/> Quantity <input type="checkbox"/> Type <input type="checkbox"/> Residue <input type="checkbox"/> Partial Rejection <input type="checkbox"/> Full Rejection											
Manifest Reference Number:											
17b. Alternate Facility (or Generator)				U.S. EPA ID Number 1880445							
Facility's Phone:											
17c. Signature of Alternate Facility (or Generator)				Signature 		Month 3		Day 23		Year 18	
18. Designated Facility Owner or Operator: Certification of receipt of materials covered by the manifest except as noted in Item 17a											
Printed/Typed Name				Signature 		Month 3		Day 23		Year 18	

GENERATOR

TRANSPORTER INT'L

DESIGNATED FACILITY

ARBOR HILLS LANDFILL
10690 W SIX MILE RD
NORTHVILLE, MI 48168
8884431717

004240
HM ENVIRONMENTAL (AT)
42826 NORTH WALNUT ST
CLINTON TOWNSHIP, MI 48036

1

INVOICE
INBOUND

SITE	CELL	TICKET #	OPERATOR
01		1880786	43967
TRUCK		CONTAINER	LICENSE
HM122-30			
REFERENCE			IN OUT
14106281			3/23/18 2:20 pm 3/23/18 2:20 pm

CONTRACT: AH8807 - VACANT LOT 856 N OLD WOODWARD AVI
BOL:

GROSS 100,440.00LBS Scale In
TARE 42,120.00LBS Tare Out
NET 58,320.00LBS

QTY	UNIT	DESCRIPTION	ORIGIN	%	RATE	TAX	TOTAL
29.16 1.00	TN	Contaminated Soils (Ext) COMPLIANCE AND BUSINESS IMPACT CHAR	OA	100.00 0.00			

I hereby certify that this load does not contain any unauthorized hazardous waste.

Total
Paid
Change
Check#
Recpt #

SIGNATURE: _____

CUSTOMER COPY



Advanced Disposal

NON-HAZARDOUS WASTE MANIFEST		1. Generator ID Number 1	2. Page 1 of	3. Emergency Response Phone	4. Waste Tracking Number 0002	
5. Generator's Name and Mailing Address Plant Lot 856 N. Old Woodward Ave Birmingham MI 48009		Generator's Site Address (if different than mailing address) Same				
Generator's Phone:						
6. Transporter 1 Company Name 248 680 1401 HIM Environmental - 585-469-0041		U.S. EPA ID Number				
7. Transporter 2 Company Name		U.S. EPA ID Number				
8. Designated Facility Name and Site Address ADS / Arbor Hills Landfill 10690 W. 6 Mile Road Northville, MI 48168		U.S. EPA ID Number 248-412-0691 MIK114-185-416				
Facility's Phone:						
GENERATOR	9. Waste Shipping Name and Description	10. Containers		11. Total Quantity	12. Unit Wt./Vol.	
		No.	Type			
	1. Contaminated soil	001	DT	29	T	
	2.					
	3.			24.14		
	4.			1840		
	5.					
13. Special Handling Instructions and Additional Information MI687 181106 AHS807 515						
14. GENERATOR'S/OFFEROR'S CERTIFICATION: I hereby declare that the contents of this consignment are fully and accurately described above by the proper shipping name, and are classified, packaged, marked and labeled/placarded, and are in all respects in proper condition for transport according to applicable international and national governmental regulations.						
Generator's/Offor's Printed/Typed Name		Signature		Month	Day	Year
Michael J. ...		[Signature]		3	23	18
INTERNATIONAL	15. International Shipments <input type="checkbox"/> Import to U.S. <input type="checkbox"/> Export from U.S.		Port of entry/exit:			
	Transporter Signature (for exports only):		Date leaving U.S.:			
TRANSPORTER	16. Transporter Acknowledgment of Receipt of Materials		Signature			
	Transporter 1 Printed/Typed Name Tom Biscione		Signature		Month	Day
Transporter 2 Printed/Typed Name		Signature		Month	Day	Year
DESIGNATED FACILITY	17. Discrepancy					
	17a. Discrepancy Indication Space <input type="checkbox"/> Quantity <input type="checkbox"/> Type <input type="checkbox"/> Residue <input type="checkbox"/> Partial Rejection <input type="checkbox"/> Full Rejection					
	Manifest Reference Number:					
	17b. Alternate Facility (or Generator) U.S. EPA ID Number					
	Facility's Phone:					
	17c. Signature of Alternate Facility (or Generator)					
	Month Day Year					
18. Designated Facility Owner or Operator: Certification of receipt of materials covered by the manifest except as noted in Item 17a						
Printed/Typed Name		Signature		Month	Day	Year
[Signature]		[Signature]		3	23	18



HM Environmental Services, Inc

Daily Service Receipt

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:
Generator:
Date:

3/26/2018

Order #:
PO #:

Approval #: M1687-181106-AH8807-515

Waste Stream: **NON HAZARDOUS SOIL**

Disposal Site: ADVANCED DISPOSAL

Shop Time: 06:00 AM

Site Time: 07:00 AM

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
515 M - BOB CAT	7:00 AM	— AM	AM	AM	AM	3:00 PM
519M - EXCAVATOR	11 AM	— AM	AM	AM	AM	11 AM
520M - DOZER	11 AM	— AM	AM	AM	AM	11 AM
17 - 2017 FORD F-250	6:00 AM	7:00 AM	3:00 PM	AM	AM	3:45 PM
528M - EXCAVATOR	7:00 AM	— AM	AM	AM	AM	3:00 PM

Manifest #:
Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
Tom Wichman	6:00 AM	7:00 AM	3:00 PM	3:45 PM		9.75
Pat Blair II	11 AM	11 AM	11 AM	11 AM		9.75
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____ ✓

\$ 7.00 company card for parking

LOAD OUT NON HAZ SOILS TO ADVANCED DISPOSAL. 1 LOU'S LEAD RUNNING ;

COMMENTS

- * Loaded 2 loads of non-haz soil (Lou's trucking)
- * moved stock pile of soil to ramp (for base for ramp)
- * re-graded Northeast side of excavation
- * Hardman's crane is still down
- * need to cut more dirt of berm along river for pyle caps but Hardman's crane is in the way

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

N/A

Date

Annotated Signature

Authorized Personnel

Date

Attachment to ASTI Environmental Memo Dated March 25, 2021

Attachment Page No. 58

LOAD AND TIME TICKET

770351

NAME OF
CARRIER**LOU'S TRANSPORT INC.**

1780 E. Highwood

Pontiac, MI 48340

Phone: (248) 332-5687 Fax: (248) 334-9566

MATERIAL

C. Soil

PIT TICKET NO.

14106282
1881031

SECTION 1

TRUCK NO.

087

JOB NO.

17-1592

DATE

3 / 26 / 18
MONTH DAY YEAR

CUSTOMER

H.M. ENVIRONMENTAL

FROM (LOADING PLACE)

PEARL BUILDINGS

TO (UNLOADING PLACE)

ADVANCED DISPOSAL

TONS

29.48

YARDS

SEC. 2

LOAD NO.

1

LOADED MILES

1

RATE

CHARGES

SECTION 3

(FOR HOURLY RATED HAULS)

	TIME		HOURS	RATE	CHARGES
	START	FINISH			
REGULAR					
	START	FINISH			
OVERTIME					
	START	FINISH			

SECTION 4

DRIVER'S SIGNATURE

Harold Simmons

CUSTOMER SIGNATURE

R. W. II

SEE CARRIER'S M.P.S.C. TARIFF FOR INSTRUCTIONS

2-SHIPPER'S COPY

1



Advanced Disposal

NON-HAZARDOUS WASTE MANIFEST		1. Generator ID Number		2. Page 1 of		3. Emergency Response Phone		4. Waste Tracking Number 14106282	
		5. Generator's Name and Mailing Address Valent Ltd. 855 H. Old Woodward Ave Birmingham MI 48009		1		Generator's Site Address (if different than mailing address) Name		Generator's Phone: 782 681 1401	
6. Transporter 1 Company Name 782 681 1401		U.S. EPA ID Number				7. Transporter 2 Company Name 10M Environmental 306-369-0011		U.S. EPA ID Number	
Facility's Phone: 248-412-0691		U.S. EPA ID Number MIK14 18-415		9. Waste Shipping Name and Description		10. Containers No. Type		11. Total Quantity	
								12. Unit Wt./Vol.	
1.									
2.									
3.									
4.									
5.									
6.									
13. Special Handling Instructions and Additional Information MI687 181106 ARB2807 519									
14. GENERATOR'S/OFFEROR'S CERTIFICATION: I hereby declare that the contents of this consignment are fully and accurately described above by the proper shipping name, and are classified, packaged, marked and labeled/placarded, and are in all respects in proper condition for transport according to applicable international and national governmental regulations.									
Generator's/Offoror's Printed/Typed Name					Signature			Month Day Year 3 26 18	
15. International Shipments <input type="checkbox"/> Import to U.S. <input type="checkbox"/> Export from U.S. Port of entry/exit: Date leaving U.S.:									
16. Transporter Acknowledgment of Receipt of Materials									
Transporter 1 Printed/Typed Name					Signature			Month Day Year 3 26 18	
Transporter 2 Printed/Typed Name					Signature			Month Day Year	
17. Discrepancy									
17a. Discrepancy Indication Space <input type="checkbox"/> Quantity <input type="checkbox"/> Type <input type="checkbox"/> Residue <input type="checkbox"/> Partial Rejection <input type="checkbox"/> Full Rejection									
Manifest Reference Number: U.S. EPA ID Number									
17b. Alternate Facility (or Generator) Facility's Phone:									
17c. Signature of Alternate Facility (or Generator) Month Day Year									
18. Designated Facility Owner or Operator: Certification of receipt of materials covered by the manifest except as noted in Item 17a									
Printed/Typed Name					Signature			Month Day Year	

1

LOAD AND TIME TICKET**770353**NAME OF
CARRIER**LOU'S TRANSPORT INC.****1780 E. Highwood****Pontiac, MI 48340****Phone: (248) 332-5687 Fax: (248) 334-9566**

MATERIAL

C-SEIL

PIT TICKET NO.

14106203

TRUCK NO.

87

JOB NO.

17-1582

DATE

3/24/18
MONTH DAY YEAR

CUSTOMER

H.M. ENVIRONMENTAL

FROM (LOADING PLACE)

PRALL BUILDING

TO (UNLOADING PLACE)

ADVANCED DISP

TONS

YARDS

SEC. 2

LOAD NO.

LOADED MILES

RATE

CHARGES

(FOR HOURLY RATED HAULS)

SECTION 3

TIME

HOURS

RATE

CHARGES

REGULAR

START

FINISH

OVERTIME

START

FINISH

SECTION 4

DRIVER'S SIGNATURE

CUSTOMER SIGNATURE

SEE CARRIER'S M.P.S.C. TARRIFF FOR INSTRUCTIONS

2-SHIPPER'S COPY



Advanced Disposal

1

NON-HAZARDOUS WASTE MANIFEST		1. Generator ID Number		2. Page 1 of		3. Emergency Response Phone		4. Waste Tracking Number	
5. Generator's Name and Mailing Address Vaccant Ltd 855 N. Old Woodward Ave Birmingham AL 35209 Generator's Phone: 248 680 1461						Generator's Site Address (if different than mailing address) Same			
6. Transporter 1 Company Name TWM Environmental 386-459-0041						U.S. EPA ID Number			
7. Transporter 2 Company Name						U.S. EPA ID Number			
8. Designated Facility Name and Site Address ADS / Arbor Hills Landfill 10690 W. 6 Mile Road Northville, MI 48168 Facility's Phone:						U.S. EPA ID Number 248-412-0691 ANK114-135-116			
9. Waste Shipping Name and Description		10. Containers		11. Total Quantity	12. Unit Wt./Vol.				
		No.	Type						
1.		001	DT	29	T				
2.									
3.									
4.									
5.									
6.									
13. Special Handling Instructions and Additional Information MI687 121116 AMB007 515									
14. GENERATOR'S/OFFEROR'S CERTIFICATION: I hereby declare that the contents of this consignment are fully and accurately described above by the proper shipping name, and are classified, packaged, marked and labeled/placarded, and are in all respects in proper condition for transport according to applicable international and national governmental regulations.									
Generator's/Offor's Printed/Typed Name						Signature		Month Day Year 3 26 18	
15. International Shipments <input type="checkbox"/> Import to U.S. <input type="checkbox"/> Export from U.S. Port of entry/exit: Date leaving U.S.:									
16. Transporter Acknowledgment of Receipt of Materials									
Transporter 1 Printed/Typed Name						Signature		Month Day Year 3 26 18	
Transporter 2 Printed/Typed Name						Signature		Month Day Year	
17. Discrepancy									
17a. Discrepancy Indication Space <input type="checkbox"/> Quantity <input type="checkbox"/> Type <input type="checkbox"/> Residue <input type="checkbox"/> Partial Rejection <input type="checkbox"/> Full Rejection									
Manifest Reference Number:									
17b. Alternate Facility (or Generator)						U.S. EPA ID Number			
Facility's Phone:									
17c. Signature of Alternate Facility (or Generator)								Month Day Year	
18. Designated Facility Owner or Operator: Certification of receipt of materials covered by the manifest except as noted in Item 17a									
Printed/Typed Name						Signature		Month Day Year	



HM Environmental Services, Inc

Daily Service Receipt

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:**Generator:**

FLS PROPERTIES, LLC
40700 Woodward Suite 250 P.O. BOX 689856 N. OLD WOODWARD
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

Date:

3/26/2018

Order #:**PO #:****Approval #:**

M1687-181106-AH8807-515

Waste Stream: NON HAZARDOUS SOIL**Disposal Site:** ADVANCED DISPOSAL**Shop Time:** 06:00 AM**Site Time:** 07:00 AM

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
	AM	AM	AM	AM	AM	AM
	PM	PM	PM	PM	PM	PM
	AM	AM	AM	AM	AM	AM
	PM	PM	PM	PM	PM	PM
	AM	AM	AM	AM	AM	AM
	PM	PM	PM	PM	PM	PM
	AM	AM	AM	AM	AM	AM
	PM	PM	PM	PM	PM	PM
	AM	AM	AM	AM	AM	AM
	PM	PM	PM	PM	PM	PM

Manifest #:**Waste Qty:**

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
LOUIS TRUCKING	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____

SHUTTLE LOADS OF NON HAZ SOIL TO ADVANCED DISPOSAL.

COMMENTS

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

Annotated Submittal

Authorized Personnel

Date



HM Environmental Services, Inc

Daily Service Receipt

1

42826 N. Walnut - Mt. Clemens, MI 48043
Phone (586) 469-0041 - Fax (586) 469-1014

Customer:

Generator:

Date:

3/27/2018

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O.
Bloomfield Hills, MI - 48304

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWIECZ
810-734-0975

Order #:

PO #:

M1687-181106-AH8807-515

Approval #:

NON HAZARDOUS SOIL

Waste Stream: ADVANCED DISPOSAL

Disposal Site: 06:00 AM

Shop Time: 07:00 AM

Site Time:

248-680-1401

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
515 M - BOB CAT	7:00 AM	AM	AM	AM	AM	11:45 AM
519M - EXCAVATOR	AM	AM	AM	AM	AM	AM
520M - DOZER	11 AM	AM	AM	AM	AM	11 AM
17 - 2017 FORD F-250	6:00 AM	7:00 AM	11:45 AM	AM	AM	12:30 AM
528M - EXCAVATOR	7:00 PM	AM	AM	AM	AM	11:45 AM

Manifest #:

Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
Tom Wichman	5:30 AM	7:00 AM	11:45 AM	12:30 PM	AM	AM
Pat Blair II	6:00 AM	11 AM	11 AM	11 AM	AM	AM
	AM	AM	AM	AM	AM	AM
	PM	PM	PM	PM	PM	PM
	AM	AM	AM	AM	AM	AM
	PM	PM	PM	PM	PM	PM

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____ ✓

LOAD OUT NON HAZ SOILS TO ADVANCED DISPOSAL. 1 LOU'S LEAD RUNNING

COMMENTS

\$4.00 company card for parking

- * Rained out
- * Hardman's crane was still down when I left site at 11:45 am
- * site meeting about job scope

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

Authorized Personnel

Date

Attachment to ASTI Environmental Memo Dated March 25, 2021

Attachment Page No. 64

Shipping Log

[illegible]



HM Environmental Services, Inc

Daily Service Receipt

1

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:

Generator:

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

Date: 3/28/2018

Order #:

PO #:

Approval #:

Waste Stream: SITE WORK

Disposal Site: NOT APPLICABLE

Shop Time: 06:00 AM

Site Time: 07:00 AM

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
515 M - BOB CAT	7:00 AM	PM	AM	PM	AM	3:00 PM
519M - EXCAVATOR	AM	PM	AM	PM	AM	PM
520M - DOZER	11 AM	PM	AM	PM	AM	11 PM
17 - 2017 FORD F-250	6:00 AM	7:00 AM	3:00 PM	AM	PM	4:00 PM
528M - EXCAVATOR	7:00 AM	PM	AM	PM	AM	3:00 PM

Manifest #:

Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
Tom Wichman	6:00 AM	7:00 AM	3:00 PM	4:00 PM	AM	10
Pat Blair II	11 AM	11 AM	11 AM	3:30 PM	AM	9.50
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____

WORK ON SITE TO ASSIST HARTMAN

\$ 7.00 dollars on company card
for parking

COMMENTS

- * continued to move soil to ramp, grade and compacted soil
- * cleaned up soils from drilling
- * continued to grade floor

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

N/A

Date

Annotated Submittal

Authorized Personnel

Attachment to ASTI Environmental Memo Dated March 25, 2021

Attachment Page No. 66

Thomas Wichman

3/28/18

Date



HM Environmental Services, Inc

Daily Service Receipt

1

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:

Generator:

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWIECZ
810-734-0975

Date: 3/29/2018
Order #:
PO #:
Approval #:
Waste Stream: SITE WORK
Disposal Site: NOT APPLICABLE
Shop Time: 12:00 AM
Site Time: 07:00 AM

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
515 M - BOB CAT	7:00 AM	— AM	— AM	— AM	— AM	4:00 PM
519M - EXCAVATOR	— AM	— AM	— AM	— AM	— AM	— AM
520M - DOZER	11 AM	— AM	— AM	— AM	— AM	11 AM
17 - 2017 FORD F-250	11:30 AM	12:00 PM	4:00 PM	— AM	— AM	— AM
528M - EXCAVATOR	— AM	— AM	— AM	— AM	— AM	— AM

Manifest #:

Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
	AM	AM	AM	AM	AM	AM
	PM	PM	PM	PM	PM	PM
Tom Wichman	11:30 AM	12:00 PM	4:00 PM	4:00 PM	— AM	4.50
Pat Blair II	6:30 AM	— AM	11 AM	11 AM	— AM	9.50
	PM	PM	PM	PM	PM	PM
	AM	AM	AM	AM	AM	AM
	PM	PM	PM	PM	PM	PM

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____

Pat Blair Jr. drove personal truck to site

WORK ON SITE WITH HARTMAN.

COMMENTS

- * showed up to find Hartman washed out their drill Rig. making a burn a flushing with water at bottom of ramp trapping HM's excavator and dozer on ramp
- * moved excess spoils from drilling to stockpile
- * starting to accumulate a lot of extra spoils

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

N/A

Date

Annotated Summary

Authorized Personnel

Attachment to ASTI Environmental Memo Dated March 25, 2021
Attachment Page No. 67

Date

3/29/18



HM Environmental Services, Inc

Daily Service Receipt

1

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:

Generator:

Date: 3/30/2018

Order #:

PO #:

Approval #:

Waste Stream: SITE WORK

Disposal Site: NOT APPLICABLE

Shop Time: 06:00 AM

Site Time: 07:00 AM

FLS PROPERTIES, LLC
40700 Woodward Suite 250 P.O. BOX 689856 N. OLD WOODWARD
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
515 M - BOB CAT	7:00 AM	AM	AM	AM	AM	12:30 PM
519M - EXCAVATOR	11 AM	AM	AM	AM	AM	11 AM
520M - DOZER	11 AM	AM	AM	AM	AM	11 AM
17 - 2017 FORD F-250	6:00 AM	7:00 AM	12:30 PM	AM	AM	1:30 PM
528M - EXCAVATOR	7:00 AM	AM	AM	AM	AM	12:30 PM

Manifest #:

Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
Tom Wichman	6:00 AM	7:00 AM	12:30 PM	1:30 PM	AM	7.50
Pat Blair II	11 AM	11 AM	11 AM	11 AM	AM	7.50
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____

\$ 4.00 company curiel for parking

CONTINUE WORKING WITH HARDMAN MOVING SOILS.

COMMENTS

* cleaned up soil from drilling
* attempted to clean up site and grade floor from rain
* starting to run out of room for excess soil
* brought 4" pump back to yard

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

Annotated Summary

Authorized Personnel

Date

Attachment to ASTI Environmental Memo Dated March 25, 2021

Attachment Page No. 68



HM Environmental Services, Inc

Daily Service Receipt

1

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:
Generator:

Date: 4/2/2018

Order #:

PO #:

Approval #:

Waste Stream: SITE WORK

Disposal Site: NOT APPLICABLE

Shop Time: 06:00 AM

Site Time: 07:00 AM

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
515 M - BOB CAT	7:00 AM	AM	AM	AM	AM	3:00 PM
519M - EXCAVATOR	11 AM	AM	AM	AM	AM	11 AM
520M - DOZER	11 AM	AM	AM	AM	AM	11 AM
17 - 2017 FORD F-250	6:00 AM	7:00 AM	3:00 PM	AM	AM	4:00 PM
528M - EXCAVATOR	7:00 AM	AM	AM	AM	AM	3:00 PM

Manifest #:
Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
Tom Wichman	6:00 AM	7:00 AM	3:00 PM	4:00 PM	AM	10
Pat Blair II	11 AM	11 AM	11 AM	11 AM	AM	10
	PM	PM	PM	PM	PM	
	PM	PM	PM	PM	PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____

\$7.00 company card for parking

WORK ON SITE WITH HARTMAN MOVING SOILS.

COMMENTS

- * consolidated dirt from drilling
- * spread out excess dirt building up grade to try and loose some dirt
- * graded floor of excavation to keep water from ponding up
- * moved Matt's for Handmen

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

Annotated Signature

Authorized Personnel

Date



HM Environmental Services, Inc

Daily Service Receipt

1

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:

Generator:

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

Date: 4/3/2018

Order #:

PO #:

Approval #:

Waste Stream: SITE WORK

Disposal Site: NOT APPLICABLE

Shop Time: 06:00 AM

Site Time: 07:00 AM

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
515 M - BOB CAT	7:00 AM	AM	AM	AM	AM	3:15 PM
519M - EXCAVATOR	11 AM	AM	AM	AM	AM	11 AM
520M - DOZER	11 AM	AM	AM	AM	AM	11 AM
17 - 2017 FORD F-250	6:00 AM	7:00 AM	3:15 PM	AM	AM	4:30 PM
528M - EXCAVATOR	7:00 AM	AM	AM	AM	AM	3:15 PM

Manifest #:

Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
Tom Wichman	6:00 AM	7:00 AM	3:15 PM	4:30 PM	AM	10.58
Pat Blair II	11 AM	11 AM	11 AM	4:00 PM	AM	10
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____ ✓

ASSIST HARTMAN WITH MOVING SOILS ON SITE.

(\$5.00 company card for parking)

COMMENTS

- * consolidated dirt from drilling
- * moved Mat's for Hartman to position Crane for drilling
- * cleaned up grade of excavation
- * demobed Dozer off site and back to HM's yard
- * Hartman drilled in center of site, ground water started coming up out of the ground at a pretty good rate!

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

N/A

Date

Annotated Submitter

Authorized Personnel

Date



HM Environmental Services, Inc

Daily Service Receipt

1

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:

Generator:

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWIECZ
810-734-0975

Date: 4/3/2018

Order #:

PO #:

Approval #:

Waste Stream: DEMOB DOZER

Disposal Site:

Shop Time: ASAP

Site Time:

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
109 - KENWORTH TRACTOR	11:30 AM	12:45 AM	1:15 AM	AM	AM	3:00 AM
341L - LOW BOY TRAILER (RGN)	EXCAV. AM	AM	AM	AM	AM	AM
520M - DOZER	AM	AM	AM	AM	AM	AM
	AM	AM	AM	AM	AM	AM
	AM	AM	AM	AM	AM	AM
	AM	AM	AM	AM	AM	AM

Manifest #:

Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Dem
Travis Howard	11:30 AM	12:45 AM	1:15 AM	3:00 AM	AM	3.50
	AM	AM	AM	AM	AM	
	AM	AM	AM	AM	AM	
	AM	AM	AM	AM	AM	
	AM	AM	AM	AM	AM	
	AM	AM	AM	AM	AM	

Suits _____ Boots _____ Gloves 1 Overpacks _____ Labels _____ Sorbent Pads _____
Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel 27 ✓

DEMObILIZE DOZER #520 AND BRING BACK TO THE YARD.

COMMENTS

Roll-off Unit# N/A Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

4-3-18

Annotated Signature

Authorized Personnel

Date

4-3-18



HM Environmental Services, Inc

Daily Service Receipt

1

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:

Generator:

Date: 4/4/2018

Order #:

PO #:

Approval #:

Waste Stream: SITE WORK

Disposal Site: NOT APPLICABLE

Shop Time: 12:00 AM

Site Time: 07:00 AM

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
515 M - BOB CAT	7:00 AM	— AM	3:00 PM	— AM	— AM	3:00 PM
519M - EXCAVATOR	11 AM	— AM	— PM	— AM	— AM	11 AM
520M - DOZER	11 AM	— AM	— PM	— AM	— AM	11 AM
17 - 2017 FORD F-250	6:00 AM	7:00 AM	3:00 PM	— AM	— AM	3:30 PM
529M - EXCAVATOR	7:00 AM	— AM	— PM	— AM	— AM	3:00 PM

Manifest #:

Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
Tom Wichman	6:00 AM	7:00 AM	3:00 PM	3:30 PM		9.50
Pat Blair II	11 AM	11 AM	11 AM	11 AM		9.50
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____

CONTINUE TO ASSIST HARTMAN WITH MOVING SOILS ON SITE. ;

COMMENTS

- * Stack piled soil from drilling
- * continued to re-grade site to keep water from ponding up and to help dry out site
- * moved Mat's for Hardman

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

N/A

Date

Annotated Summary

Authorized Personnel

Date

4/4/18



HM Environmental Services, Inc

Daily Service Receipt

1

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:

Generator:

Date: 4/5/2018

Order #:

PO #:

Approval #:

Waste Stream: SITE WORK

Disposal Site: NOT APPLICABLE

Shop Time: 06:00 AM

Site Time: 07:00 AM

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
515 M - BOB CAT	— AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM
519M - EXCAVATOR	7:00 AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM	4:00 PM
520M - DOZER	— AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM
17 - 2017 FORD F-250	6:00 AM — PM	7:00 AM — PM	4:00 AM — PM	— AM — PM	— AM — PM	4:00 PM
528M - EXCAVATOR	7:00 AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM	11 AM — PM

Manifest #:

Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
	— AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM
Tom Wichman	6:00 AM — PM	7:00 AM — PM	4:00 AM — PM	4:00 AM — PM	— AM — PM	10
Pat Blair II	7:00 AM — PM	11 AM — PM	11 AM — PM	11 AM — PM	— AM — PM	9
	— AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM
	— AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____ ✓

CONTINUE ASSISTING HARTMAN WITH MOVING SOILS ON SITE.
Pat blair Jr drove to site
\$6.00 on company card for parking

COMMENTS

- * Stock piled soil from drilling
- * graded floor of excavation, cleaning up around Pyles
- * spread stone on ramp / compacted
- * dug up pyles under ramp and stock pile of soil on west wall due to survey forgetting to enter them for Haz-built (2 hours)

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (Int.)

All work has been completed to my satisfaction.

Customer

N/A

Date

Annotated Signature

Authorized Personnel

Date

4/5/18



HM Environmental Services, Inc

Daily Service Receipt

1

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:

Generator:

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWIECZ
810-734-0975

Date: 4/6/2018

Order #:

PO #:

Approval #:

Waste Stream: SITE WORK

Disposal Site: NOT APPLICABLE

Shop Time: 06:00 AM

Site Time: 07:00 AM

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
519M - EXCAVATOR	7:00 AM	— AM	AM	AM	AM	AM
520M - DOZER	— AM	— AM	AM	AM	AM	AM
17 - 2017 FORD F-250	7:00 AM	— AM	11:00 AM	AM	AM	12:30 PM
528M - EXCAVATOR	11 AM	— AM	AM	AM	AM	AM
		AM	AM	AM	AM	AM
		PM	PM	PM	PM	PM

Manifest #:

Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
Tom Wichman	7:00 AM	— AM	11:00 AM	12:30 PM	AM	5.5
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____ ✓

FINISH UP MOVING SOILS ON SITE

COMMENTS

- * helped Travis load 315 excavator to **demolish back to HM's Shop**
- * cleaned up HM's Tools/hoses for pump
- * **Touched up ramp**

Roll-off Unit# _____ Tarps/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

N/A

Date

Annotated Signature

Authorized Personnel

Date

4/6/18



HM Environmental Services, Inc

Daily Service Receipt

1

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:

Generator:

Date: 4/6/2018

Order #:

PO #:

Approval #:

Waste Stream: DEMOB EXCAVATOR

Disposal Site:

Shop Time: 09:00 AM

Site Time: 10:30 AM

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O. BOX 689856 N. OLD WOODWARD
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
124 - KENWORTH TRACTOR	7:30 AM	8:30 AM	9:00 AM	AM	AM	10:30 AM
341L - LOW BOY TRAILER (RGN)	EXCAV. AM	AM	AM	AM	AM	AM
519M - EXCAVATOR	AM	AM	AM	AM	AM	AM
	AM	AM	AM	AM	AM	AM
	AM	AM	AM	AM	AM	AM
	AM	AM	AM	AM	AM	AM

Manifest #:

Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
Brian Palecki	AM	AM	AM	AM	AM	
Travis Howard	7:30 AM	8:30 AM	9:00 AM	10:30 AM	AM	3
	AM	AM	AM	AM	AM	
	AM	AM	AM	AM	AM	
	AM	AM	AM	AM	AM	
	AM	AM	AM	AM	AM	

Suits _____ Boots _____ Gloves 1 _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel 11 ✓

PICK UP EXCAVATOR FROM SITE AND BRING BACK TO THE YARD.

COMMENTS

Roll-off Unit# N/A Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date 4/6/18 Authorized Personnel

Date 4-6-18



**HM
ENVIRONMENTAL
SERVICES Inc.**

42826 N. Walnut
Mt. Clemens, MI 48043
Phone (586) 469-0041
Fax (586) 469-1014

October 19, 2020

Elizabeth Masserang
PM ENVIRONMENTAL, INC.
4080 W. Eleven Mile
Berkley, MI 48072

The Pearl cost breakout

Dear Elizabeth:

HM Environmental Services is pleased to present the following estimate for your review and consideration.

HAZARDOUS SOIL

Excavation cost \$ 10,00/ton
Transport cost..... \$ 23.00/ton
Disposal cost \$127.75/ton

NON HAZ SOIL

Excavation cost \$ 5,00/ton
Transport cost..... \$ 16.00/ton
Disposal cost \$15.50/ton

Yours truly,

Bob Mackinder

Bob Mackinder
Sales Manager

Visit us at www.hmenvironmental.com

FULL UNCONDITIONAL WAIVER

My/our contract with FLS Properties #5, LLC to provide
excavation and disposal of soil for the improvement of the property described as
856 N. Old Woodward, Birmingham, Michigan (The Pearl)
_____ having been
fully paid and satisfied, all my/our construction lien rights against such property
are hereby waived and released.

HM Environmental Services, Inc.

(Printed Name of Lien Claimant)

(Signature of lien claimant)

Steve Matthes, President

Signed on: June 26, 2018

Address: 42826 N. Walnut Street

Mt. Clemens, MI 48043

Telephone: 586-469-0041

DO NOT SIGN BLANK OR INCOMPLETE FORMS. RETAIN A COPY.

Elizabeth Masserang

From: Janet Boice <JBoice@simonattys.com>
Sent: Monday, December 14, 2020 11:52 AM
To: Elizabeth Masserang
Cc: Frank Simon
Subject: FW: FLS Properties #5, 856 N. Old Woodward, Birmingham, MI
Attachments: HM Environmental invoices #23707 and #23764 (tied in with each other - paid) (00781565x9C60C).pdf

Importance: High

Hello Elizabeth,

Please see attached and email below from HM Environmental regarding the fact that these two invoices were tied together.

We are still working on payment of Douglas Company's change orders 002 and 003. I will forward that information as soon as we receive it.

Janet A. Boice,
Assistant to Frank R. Simon
FLS Properties #5, LLC
PO Box 689
Bloomfield Hills, MI 48303
248 680-1401
248 720-0293 [fax]
jboice@simonattys.com

This e-mail contains information which is confidential and/or privileged. If you are not the intended recipient, be advised that any disclosure, copying, distribution or use of this information is prohibited.

From: Sue Maxwell <sue@hmenvironmental.com>
Sent: Monday, December 14, 2020 11:09 AM
To: Janet Boice <JBoice@simonattys.com>; Bob Mackinder <bmackinder@hmenvironmental.com>
Subject: RE: FLS Properties #5, 856 N. Old Woodward, Birmingham, MI

Janet,

Attached is a copy of our Invoice # 23707 and 23764 since the (2) invoices were tied together. I am not sure if they will want a copy of 23764 or if they already have it.

Thanks,

Sue Maxwell
Office Manager
HM Environmental Services, Inc.
586.469.0041

H M Environmental Services, Inc.
42826 N. Walnut Street
Mt. Clemens, MI 48043

16

Invoice

DATE	INVOICE #
11/17/2017	23684

BILL TO
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

SHIP TO
856 North Old Woodward Birmingham, MI

P.O. No.	TERMS	REP
	Net 30	RWM

QTY	DESCRIPTION	RATE	AMOUNT
1	10/31/17 Through 11/16/17 Operator & Laborer to balance the site for work to be performed by Hardman Construction	20,000.00	20,000.00
20	Visqueen Rolls (3 mill)	75.00	1,500.00
80.93	Stone (1x3 Crushed Concrete)	25.95	2,100.13
54.56	Stone (21AA Crushed Concrete)	23.15	1,263.06
		TOTAL	\$24,863.19

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

H M Environmental Services, Inc.
42826 N. Walnut Street
Mt. Clemens, MI 48043

17

Invoice

DATE	INVOICE #
11/22/2017	23707

BILL TO	SHIP TO
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon	856 North Old Woodward Birmingham, MI

PAID
12/18/2017

P.O. No.	TERMS	REP
	Net 30	RWM

QTY	DESCRIPTION	RATE	AMOUNT
625	11/27/17 Excavate, transport and dispose of hazardous soil	160.75	100,468.75
THE 625 TONS ON THIS INVOICE WAS ALSO BILLED ON INVOICE # 23764. WE REMOVED 625 TONS ON INVOICE # 23764 AND TOOK OFF THE CREDIT OF \$75,000.00 FROM # 23764 AS WELL SINCE THAT \$75,000 WAS APPLIED TO THIS INVOICE. THEREFORE, THE PAYMENT OF \$330,386.14 WAS APPLIED TO THIS INVOICE AND # 23764. \$25,468.75 WAS USED FOR THIS INVOICE AND THE REMAINDER OF THE PAYMENT ON # 23764.			
		TOTAL	\$100,468.75

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

Payments/Credits	-\$100,468.75
Balance Due	\$0.00

H M Environmental Services, Inc.
42826 N. Walnut Street
Mt. Clemens, MI 48043

18

Invoice

DATE	INVOICE #
12/11/2017	23764

BILL TO	SHIP TO
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon	865 North Old Woodward Birmingham, MI

P.O. No.	TERMS	REP
	Net 30	RWM

QTY	DESCRIPTION	RATE	AMOUNT
	11/17/17 Through 12/08/17 (Progress Billing)		
1,618.88	Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	160.75	260,234.96
1,200.04	Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	36.50	43,801.46
1	Visqueen (1) Roll - (10 mill)	240.00	240.00
24.7	Stone (1X3) Crushed Concrete	25.95	640.97
SEE INV # 23707 FOR NOTES. ALREADY BILLED 625 TONS ON INV # 23707 AND PAYMENT OF \$75,000.00 WAS APPLIED TO INVOICE # 23707 AS WELL			
TOTAL			\$304,917.39

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

Payments/Credits	-\$304,917.39
Balance Due	\$0.00

H M Environmental Services, Inc.
42826 N. Walnut Street
Mt. Clemens, MI 48043

19

Invoice

DATE	INVOICE #
1/8/2018	23877

BILL TO
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

SHIP TO
865 North Old Woodward Birmingham, MI

P.O. No.	TERMS	REP
	Net 30	RWM

QTY	DESCRIPTION	RATE	AMOUNT
	12/09/17 Through 12/29/17 (Progress Billing)		
2,734.06	Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	160.75	439,500.15
5.25	Demurrage at Wayne Disposal 11/29/17 Through 12/08/17 (Not Prev Billed)	95.00	498.75
43	Demurrage at Wayne Disposal 12/08/17 Through 12/29/17	95.00	4,085.00
3,212.42	Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	36.50	117,253.33
			Partial
54.63	Stone (1X3) Crushed Concrete	25.95	1,417.65
198	Truck Liners - Hazardous Loads Only	40.00	7,920.00
1	Credit due from Previous Invoice (1.5% Discount for Early Payment on Invoice # 23764)	-4,955.79	-4,955.79
	Discount of \$ 8,485.79 (1.5%) if paid within 15 Days, with discount please pay \$ 557,233.30		
		TOTAL	\$565,719.09

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

H M Environmental Services, Inc.
42826 N. Walnut Street
Mt. Clemens, MI 48043

20

Invoice

DATE	INVOICE #
2/1/2018	24010

BILL TO
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

SHIP TO
865 North Old Woodward Birmingham, MI

P.O. No.	TERMS	REP
	Net 30	RWM

QTY	DESCRIPTION	RATE	AMOUNT
143.09	12/30/17 Through 02/02/18 (Progress Billing) 01/02/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	23,001.72
18	01/03/18 Through 01/29/18 Additional Work with Hardman Construction not in the Original Scope - Northeast & Southwest Wall Extensions	2,500.00	45,000.00
288.26	01/30/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	160.75	46,337.80
302.75	01/31/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	160.75	48,667.06
325.21	02/01/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	160.75	52,277.51
340.1	02/02/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	160.75	54,671.08
56	Truck Liners - Hazardous Loads Only	40.00	2,240.00
TOTAL			\$272,195.17

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

H M Environmental Services, Inc.
 42826 N. Walnut Street
 Mt. Clemens, MI 48043

21

Invoice

DATE	INVOICE #
2/9/2018	24049

BILL TO
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

SHIP TO
865 North Old Woodward Birmingham, MI

P.O. No.	TERMS	REP
	Net 30	RWM

QTY	DESCRIPTION	RATE	AMOUNT
	02/03/18 Through 02/09/18 (Progress Billing)		
161.6	02/05/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	25,977.20
157.94	02/06/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	25,388.86
100.97	02/07/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	16,230.93
126.36	02/08/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	20,312.37
22	Truck Liners - Hazardous Loads Only	40.00	880.00
TOTAL			\$88,789.36

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

H M Environmental Services, Inc.
42826 N. Walnut Street
Mt. Clemens, MI 48043

22

Invoice

DATE	INVOICE #
2/20/2018	24079

BILL To
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

SHIP To
865 North Old Woodward Birmingham, MI

P.O. No.	TERMS	REP
	Net 30	RWM

QTY	DESCRIPTION	RATE	AMOUNT
	02/10/18 Through 02/16/18 (Progress Billing)		
163.95	02/12/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	26,354.96
189.14	02/13/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	30,404.26
238.47	02/14/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	38,334.05
0.25	Demurrage at Disposal - Truck # 109 (3rd Load)	95.00	23.75
170.16	02/15/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	27,353.22
219.04	02/16/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	35,210.68
37	Truck Liners - Hazardous	40.00	1,480.00
TOTAL			\$159,160.92

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

H M Environmental Services, Inc.
42826 N. Walnut Street
Mt. Clemens, MI 48043

23

Invoice

DATE	INVOICE #
2/26/2018	24102

BILL TO
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

SHIP TO
865 North Woodward Birmingham, MI

P.O. No.	TERMS	REP
	Net 30	RWM

QTY	DESCRIPTION	RATE	AMOUNT
224.77	02/17/18 Through 02/23/18 (Progress Billing) 02/19/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	36,131.78
85.82	02/20/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	13,795.57
0.5	Stand By Rate - 1/2 Day (Weather Related)	1,000.00	500.00
1	02/21/18 Stand By Rate due to Weather	1,000.00	1,000.00
1	02/22/18 Stand By Rate due to Weather	1,000.00	1,000.00
1	02/23/18 Stand By Rate due to Weather	1,000.00	1,000.00
11	Truck Liners - Hazardous	40.00	440.00
TOTAL			\$53,867.35

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

H M Environmental Services, Inc.
42826 N. Walnut Street
Mt. Clemens, MI 48043

24

Invoice

DATE	INVOICE #
3/5/2018	24146

BILL TO
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

SHIP TO
The Pearl Bldg. 856 N. Old Woodward Birmingham, MI

P.O. No.	TERMS	REP
	Net 30	RWM

QTY	DESCRIPTION	RATE	AMOUNT
	Progress Billing 02/24/18 Through 03/03/18 (Dewatering of Excavation)		
	02/26/18 Supervisor met with PM to discuss Water Removal - NO CHARGE		
1	02/27/18 Delivery and Placement of Stone for Well and Pad	1,650.00	1,650.00
1	Excavation and Placement of Well	1,425.00	1,425.00
1	02/28/18 Site Supervisor - Load Trucks with Ground Water	750.00	750.00
1	Additional Flagger for Truck Traffic	500.00	500.00
1	Daily Pump Rental	450.00	450.00
11.5	Bulk Tanker w/Operator - Transport Ground Water to Disposal	140.00	1,610.00
20,750	Disposal of Non Regulated Ground Water to DART - Manifest #'s 018587690 JJK, 018587693 JJK & 018587691 JJK	0.35	7,262.50
	03/01/18 Supervisor Checking Excavation On Site - NO CHARGE		
TOTAL			

H M Environmental Services, Inc.
42826 N. Walnut Street
Mt. Clemens, MI 48043

Invoice

DATE	INVOICE #
3/5/2018	24146

BILL TO
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

SHIP TO
The Pearl Bldg. 856 N. Old Woodward Birmingham, MI

P.O. No.	TERMS	REP
	Net 30	RWM

QTY	DESCRIPTION	RATE	AMOUNT
1	03/02/18 Site Supervisor - Load Trucks with Ground Water	750.00	750.00
1	Additional Flagger for Truck Traffic	500.00	500.00
1	Daily Pump Rental	450.00	450.00
5.5	Bulk Tanker w/Operator - Transport Ground Water to Disposal	140.00	770.00
7,000	Disposal of Non Regulated Ground Water to DART - Manifest # 018587692 JJK	0.35	2,450.00
		TOTAL	\$18,567.50

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

H M Environmental Services, Inc.
42826 N. Walnut Street
Mt. Clemens, MI 48043

25

Invoice

DATE	INVOICE #
3/13/2018	24184

BILL TO
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

SHIP TO
The Pearl Bldg. 856 N. Old Woodward Birmingham, MI

P.O. No.	TERMS	REP
	Net 30	RWM

QTY	DESCRIPTION	RATE	AMOUNT
	Progress Billing 03/04/18 Through 03/13/18 (DeWatering & Hazardous Soil Removal)		
210.11	03/05/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	33,775.18
5	Bulk Tanker w/Operator - Transport Ground Water to Disposal	140.00	700.00
4,585	Disposal of Non Regulated Ground Water to DART - Manifest # 018587704 JJK	0.35	1,604.75
206.95	03/06/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	33,267.21
1	03/07/18 Stand By Rate (Meeting with Hardman to discuss finishing Hazardous Soil Removal)	1,000.00	1,000.00
428.91	03/08/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	68,947.28
		Amount adjusted to match request	
		TOTAL	

H M Environmental Services, Inc.
42826 N. Walnut Street
Mt. Clemens, MI 48043

Invoice

DATE	INVOICE #
3/13/2018	24184

BILL TO
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

SHIP TO
The Pearl Bldg. 856 N. Old Woodward Birmingham, MI

P.O. No.	TERMS	REP
	Net 30	RWM

QTY	DESCRIPTION	RATE	AMOUNT
178.46	03/09/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	28,687.45
204.75	Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	32,913.56
0.5	Demurrage On Site - Truck # 129	100.00	50.00
0.5	Demurrage at Disposal - Truck # 129	100.00	50.00
1	Demurrage at Disposal - Truck # 109	100.00	100.00
5.5	Bulk Tanker w/Operator - Transport Ground Water to Disposal	140.00	770.00
4,600	Disposal of Non Regulated Ground Water to DART - Manifest # 018587705 JJK	0.35	1,610.00
240.36	03/12/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	38,637.87
85.5	03/13/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	13,744.13
154.35	Excavate, Transport and Disposal of Non Hazardous Soils to Advanced Disposal	36.50	5,633.78 Partial
54	Truck Liners - Hazardous Loads Only	40.00	2,160.00
TOTAL			\$263,651.21

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

H M Environmental Services, Inc.
42826 N. Walnut Street
Mt. Clemens, MI 48043

26

Invoice

DATE	INVOICE #
3/21/2018	24222

BILL TO
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

SHIP TO
The Pearl Bldg. 856 N. Old Woodward Birmingham, MI

P.O. No.	TERMS	REP
	Net 30	RWM

QTY	DESCRIPTION	RATE	AMOUNT
	Progress Billing 03/14/18 Through 03/20/18 - (Non Hazardous & Hazardous Soil Removal)		
160.45	03/14/18 Excavate, Transport and Disposal of Non Hazardous Soils to Advanced Disposal	36.50	5,856.43 Partial
115.3	03/15/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	18,534.48
113.08	Excavate, Transport and Disposal of Non Hazardous Soils to Advanced Disposal	36.50	4,127.42 Partial
118.56	03/16/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	19,058.52
55.62	Excavate, Transport and Disposal of Hazardous Soils to Advanced Disposal Note: Listed as Non-Hazardous in Transaction Journal	36.50	2,030.13 Partial
1	03/19/18 Stockpile and Load out Soil on West Wall for Hardman	2,500.00	2,500.00
2	(2) 55 Gallon Drums - Protect to Pile Caps	56.00	112.00
		TOTAL	

H M Environmental Services, Inc.
42826 N. Walnut Street
Mt. Clemens, MI 48043

26

Invoice

DATE	INVOICE #
3/21/2018	24222

BILL TO
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

SHIP TO
The Pearl Bldg. 856 N. Old Woodward Birmingham, MI

P.O. No.	TERMS	REP
	Net 30	RWM

QTY	DESCRIPTION	RATE	AMOUNT
26.5	Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	4,259.88
225.4	Backfill - 21AA Crushed Concrete (8 Loads)	23.15	5,218.01
1	03/20/18 Excavated (2) Holes to Elevation and moved Soil from Southeast Corner to Northeast Corner of Job Site per Hardman	2,500.00	2,500.00
59.73	Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	9,601.60
0.25	Demurrage at Wayne Disposal - Truck # 124	100.00	25.00
0.25	Demurrage at Wayne Disposal - Truck # 127	100.00	25.00
255.07	Backfill - 21AA Crushed Concrete (8 Loads)	23.15	5,904.87
11	Liners - Hazardous Loads Only	40.00	440.00
TOTAL			\$80,193.34

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

H M Environmental Services, Inc.
42826 N. Walnut Street
Mt. Clemens, MI 48043

1

Invoice

DATE	INVOICE #
4/6/2018	24261

BILL TO
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

SHIP TO
The Pearl Bldg. 856 N. Old Woodward Birmingham, MI

P.O. No.	TERMS	REP
	Net 30	RWM

QTY	DESCRIPTION	RATE	AMOUNT
	Progress Billing 03/21/18 Through 04/06/18 (Non Hazardous Soil & Assist Hardman Onsite)		
1	03/21/18 Excavate Hole to Elevation and move Stockpile from South East Corner for Hardman	2,500.00	2,500.00
116.07	Excavate, Transport and Disposal of Non Hazardous Soils to Advanced Disposal	36.50	4,236.56 Partial
192.72	Backfill - 21AA Crushed Concrete (6 Loads)	23.15	4,461.47
1	03/22/18 Stockpile Soil out of Hardman's way, Excavate Hole for Pile Caps & Clean up Soil Piles from Drilling	2,500.00	2,500.00
1	03/23/18 Stockpile Soil for Hardman & Clean up Soils Piles from Drilling	2,500.00	2,500.00
86.78	Excavate, Transport and Disposal of Non Hazardous Soils to Advanced Disposal	36.50	3,167.47 Partial
1	03/26/18 Stockpile for Ramp, Re-grade NorthEast Side of Excavation	2,500.00	2,500.00
TOTAL			

H M Environmental Services, Inc.
42826 N. Walnut Street
Mt. Clemens, MI 48043

Invoice

DATE	INVOICE #
4/6/2018	24261

BILL TO
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

SHIP TO
The Pearl Bldg. 856 N. Old Woodward Birmingham, MI

P.O. No.	TERMS	REP
	Net 30	RWM

QTY	DESCRIPTION	RATE	AMOUNT
55.84	Excavate, Transport and Disposal of Non Hazardous Soils to Advanced Disposal	36.50	2,038.16 Partial
3	03/27/18 Through 03/29/18 Assist Hardman Onsite	2,500.00	7,500.00
0.5	03/30/18 Assist Hardman Onsite	2,500.00	1,250.00
4	03/31/18 Through 04/05/18 Assist Hardman Onsite	2,500.00	10,000.00
0.5	04/06/18 Finish Onsite Work and Load Equipment	2,500.00	1,250.00
TOTAL			\$43,903.66

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

PM Environmental

FLS PROPERTIES #5 LLC

P.O. BOX 689
BLOOMFIELD HILLS, MI 48303

1312

74-1431/724

DATE 3-8-21

CHECK ARMOR
FRAUD PROTECTION

PAY TO THE ORDER OF Pm Environmental, Inc.

\$ 803.75

- Eight Hundred Three Dollars 75/100 -

DOLLARS

Photo
Safe
Deposit
Details on back

 LevelOne

FOR Inv. # 96476



⑈001312⑈ ⑆072414310⑆ 1000161701⑈

29



PM ENVIRONMENTAL, INC.
3340 RANGER ROAD
LANSING, MI 48906
Phone: (517) 321-3331
Toll Free: (800) 485-0090
Fax: (877) 884-6775

29

Mr. Frank Simon
FLS Properties #5, LLC
P.O. Box 689
Bloomfield Hills, MI 48303

February 25, 2021
Project No: 01-05889-0
Invoice No: 96476

Invoice Total \$803.75

Project Manager: Elizabeth Masserang

Brownfield Activities

Service Group 0010 856 North Old Woodward Avenue, Birmingham, Michigan

Brownfield Tax Increment Revenue Reimbursement Request

Task	Fee	Percent Complete	Previous Fee Billing	Cost
Reimbursement Request	5,000.00	99.65	4,178.75	803.75
Total Fee	5,000.00		4,178.75	803.75
Subtotal				803.75
Total these Tasks				\$803.75
Total this Service				\$803.75
Total this Invoice				\$803.75

Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions will be assessed a 3% fee at time of payment.

Payments may be made electronically to:

Level One Bank
Routing ABA Number 072414310
Account Number 1000123180
Fed ID 38-3052632

Invoice Payable Upon Receipt

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

We are committed to providing you with the highest level of service and would appreciate getting feedback on our performance. Please take our brief client satisfaction survey at: <https://www.surveymonkey.com/r/pmclient>

Accounts Receivable Ledger

Monday, October 12, 2020

2:05:34 PM

PM Environmental, Inc.

Job-to-Date through 10/24/2020

Invoice	Mod/Receipt Detail	Description 2	Date	Total
Billing Client Name: FLS Properties #5, LLC				
Site Address: 856 North Old Woodward Avenue, Birmingham, Michigan				
01-05889-0 The Pearl Development / Project Manager: Masserang				
Project Type: Environmental Services				
0073902		Invoice	9/21/2015	14,015.00 See item 2
0073902	Rcpt A112315	ck # 1162	11/23/2015	-14,015.00
0077059		Invoice	6/27/2016	5,690.00 See item 3
0077059	Rcpt A090816	ck# 1187	9/8/2016	-5,690.00
0078957		Invoice	10/28/2016	10,000.00 See item 4
0078957	Rcpt A110916	ck# 1198	11/9/2016	-10,000.00
0079807		Invoice	1/4/2017	1,500.00 See item 5
0079807	Rcpt A011917	CK # 1117	1/19/2017	-1,500.00
0080629		Invoice	2/23/2017	3,750.00 See item 6
0080629	Retainer	Invoice	2/23/2017	-3,750.00
0084128		Invoice	11/30/2017	26,595.61
0084128	Retainer	Invoice	11/30/2017	-15,000.00
0084128	Rcpt A010818	ck # 1244	1/8/2018	-11,595.61 See item 7
0084715		Invoice	1/19/2018	27,064.95 See item 8
0084715	Rcpt A031918	ck # 1269	3/19/2018	-27,064.95
0085166		Invoice	3/8/2018	28,402.73 See item 9
0085166	Rcpt A031918	ck # 1269	3/19/2018	-28,402.73
0085575		Invoice	4/6/2018	14,613.33 See item 10
0085575	Rcpt A051618	Check#1283	5/16/2018	-14,613.33
0087608		Invoice	10/4/2018	7,173.12
0087608	Retainer	Invoice	10/4/2018	-5,000.00
0087608	Rcpt A101518	Check#1010	10/15/2018	-2,173.12 See item 11
0088529		Invoice	12/20/2018	7,450.00
0088529	Rcpt A012419	Check#1028	1/24/2019	-7,450.00 See item 12
0094157		Invoice	6/17/2020	1,250.00
0094157	Rcpt A071320	Check #1082	7/13/2020	-1,250.00 See item 13
0094762		Invoice	8/21/2020	3,300.00
0094762	Retainer	Invoice	8/21/2020	-1,000.00 See item 14
0094762	Rcpt A090120	Check# 1127	9/1/2020	-2,300.00

Type text

Project Billed	150,804.74
Project Received	-150,804.74
Project Retainer	2,500.00
Project Retainage	
Total for 01-05889-0	
Total Billed	150,804.74
Total Received	-150,804.74
Total Retainer	2,500.00
Total Retainage	
Total	

Type text here



PM ENVIRONMENTAL, INC.
3340 RANGER ROAD
LANSING, MI 48906
Phone (517) 321-3331
Toll Free: (800) 485-0090
Fax: (877) 884-6775

Mr. Frank Simon
 FLS Properties #5, LLC
 P.O. Box 689
 Bloomfield Hills, MI 48303

September 21, 2015
 Project No: 01-05889-0
 Invoice No: 73902
Invoice Total \$14,015.00

Task	Cost	
Mobilization, oversight, and sampling	600.00	
Consultant equipment & supplies	575.00	
Project management and report	4,250.00	
Ground penetrating radar	1,400.00	
Geoprobe drilling operations	2,700.00	
Laboratory analysis	4,490.00	
Total Fee	14,015.00	
	Subtotal	14,015.00
	Total this Invoice	\$14,015.00

Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions over \$5,000 will be assessed a 2% fee at time of payment.

Payments may be made electronically to:

PNC Bank
 Routing ABA Number 041000124
 Account Number 4244515447
 Fed ID 38-3052632

**A1 - Phase II
 ESA/Baseline
 Environmental
 Assessment**

Invoice Payable Upon Receipt

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

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3

Mr. Frank Simon
FLS Properties #5, LLC
P.O. Box 689
Bloomfield Hills, MI 48303

June 27, 2016
Project No: 01-05889-0
Invoice No: 77059
Invoice Total \$5,690.00

Project Manager: Jamie Antoniewicz

Service Group 0003 856 North Old Woodward Avenue

Task	Cost	
Mobilization, oversight sampling	725.00	
Consultant equipment and supplies	200.00	
Project management and reporting	1,950.00	
Drilling and operations	1,975.00	
Laboratory analysis	840.00	
Total Fee	5,690.00	
	Subtotal	5,690.00
	Total this Service	\$5,690.00
	Total this Invoice	\$5,690.00

Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions over \$5,000 will be assessed a 2% fee at time of payment.

Payments may be made electronically to:

PNC Bank
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B5 - Additional
Delineation

Invoice Payable Upon Receipt

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Fax: (877) 884-6775

Mr. Frank Simon
 FLS Properties #5, LLC
 P.O. Box 689
 Bloomfield Hills, MI 48303

October 28, 2016
 Project No: 01-05889-0
 Invoice No: 78957
Invoice Total \$10,000.00

Project Manager: Elizabeth Masserang

Service Group 0002 856 North Old Woodward Avenue, Birmingham, Michigan

Task	Cost	
Brownfield Plan	6,000.00	
Brownfield Plan Change Order 1	2,500.00	
381 Work Plan	1,500.00	
Total Fee	10,000.00	
	Subtotal	10,000.00
	Total this Service	\$10,000.00
	Total this Invoice	\$10,000.00

Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions over \$5,000 will be assessed a 2% fee at time of payment.

Payments may be made electronically to:

PNC Bank
 Routing ABA Number 041000124
 Account Number 4244515447
 Fed ID 38-3052632

**C1 - Brownfield
 Plan/381 Work Plan**

Invoice Payable Upon Receipt

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

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LANSING, MI 48906
Phone (517) 321-3331
Toll Free: (800) 485-0090
Fax: (877) 884-6775

5

Mr. Frank Simon
FLS Properties #5, LLC
P.O. Box 689
Bloomfield Hills, MI 48303

January 4, 2017
Project No: 01-05189-0
Invoice No: 79817
Invoice Total \$1,500.00

Project Manager: Elizabeth Masserang

Service Group 0002 856 North Old Woodward Avenue, Birmingham, Michigan

Removed from Request (see cover memo)

Task	Cost	
Brownfield Plan	0.00	
Brownfield Plan Change Order 1	0.00	
381 Work Plan	1,500.00	
Total Fee	1,500.00	
Subtotal		1,500.00
	Total this Service	\$1,500.00
	Total this Invoice	\$1,500.00

Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions over \$5,000 will be assessed a 2% fee at time of payment.

Payments may be made electronically to:

PNC Bank
Routing ABA Number 041000124
Account Number 4244515447
Fed ID 38-3052632

C1 - Brownfield
Plan/381 Work Plan

Invoice Payable Upon Receipt

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

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Fax: (877) 884-6775

Mr. Frank Simon
 FLS Properties #6, LLC
 P.O. Box 689
 Bloomfield Hills, MI 48303

February 23, 2017
 Project No: 01-05889-0
 Invoice No: 80629
Invoice Total 0.00

Project Manager: Jamie Antoniewicz

Service Group 0004 856 North Old Woodward Avenue, Birmingham, Michigan

Task	Cost	
Vapor Barrier Work Plan and Meetings	3,750.00	
Total Fee	3,750.00	
	Subtotal	3,750.00
Additional Fees		
Check # 1194 10/18/16	-3,750.00	
Total Additional Fees	-3,750.00	-3,750.00
	Total this Service	0.00
	Total this Invoice	0.00

Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions over \$5,000 will be assessed a 2% fee at time of payment.

Payments may be made electronically to:

PNC Bank
 Routing ABA Number 041000124
 Account Number 4244515447
 Fed ID 38-3052632

**B8 - Vapor Barrier
 Specs**

Invoice Payable Upon Receipt

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

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LANSING, MI 48906
Phone (517) 321-3331
Toll Free: (800) 485-0090
Fax: (877) 884-6775

7

Mr. Frank Simon
 FLS Properties #5, LLC
 P.O. Box 689
 Bloomfield Hills, MI 48303

November 30, 2017
 Project No: 01-05889-0
 Invoice No: 84128
Invoice Total \$11,595.61

Project Manager: Jamie Antoniewicz

B6 - Soils Oversight

Soil Excavation

Services from October 1, 2017 to November 17, 2017

Service Group 0005 856 North Old Woodward Avenue, Birmingham, Michigan

Professional Personnel

		Hours	Rate	Amount
Environmental Technician				
Ferreira, Olivia	10/24/2017	2.50	80.00	200.00
Ferreira, Olivia	11/7/2017	.50	80.00	40.00
Ferreira, Olivia	11/8/2017	2.50	80.00	200.00
Ferreira, Olivia	11/17/2017	.50	80.00	40.00
Project Engineer				
Antoniewicz, Jamie	11/1/2017	2.50	120.00	300.00
Antoniewicz, Jamie	11/2/2017	1.00	120.00	120.00
Antoniewicz, Jamie	11/10/2017	2.50	120.00	300.00
Regional Manager - Field Services				
Lennon, Kelly	10/31/2017	1.25	110.00	137.50
Lennon, Kelly	11/1/2017	2.50	110.00	275.00
Lennon, Kelly	11/3/2017	2.00	110.00	220.00
Lennon, Kelly	11/6/2017	7.00	110.00	770.00
Lennon, Kelly	11/7/2017	9.00	110.00	990.00
Lennon, Kelly	11/8/2017	9.00	110.00	990.00
Lennon, Kelly	11/9/2017	9.00	110.00	990.00
Lennon, Kelly	11/10/2017	7.00	110.00	770.00
Lennon, Kelly	11/13/2017	9.00	110.00	990.00
Lennon, Kelly	11/14/2017	1.50	110.00	165.00
Lennon, Kelly	11/15/2017	1.50	110.00	165.00
Lennon, Kelly	11/16/2017	9.00	110.00	990.00
Lennon, Kelly	11/17/2017	6.50	110.00	715.00
Totals		86.25		9,367.50
Total Labor				9,367.50

Reimbursable Expenses

Meals			
11/9/2017	Lennon, Kelly	Lunck KL	11.06

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

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Project	01-05889-0	The Pearl Development	Invoice	84128
11/10/2017	Lennon, Kelly	Lunch KL	11.06	
11/13/2017	Lennon, Kelly	Coffee	3.27	
Parking				
11/14/2017	Lennon, Kelly	parking Meter Fee	3.45	
11/14/2017	Lennon, Kelly	Parking Meter Fee	3.45	
11/14/2017	Lennon, Kelly	Parking Meter Fee	3.45	
11/15/2017	Lennon, Kelly	Parking Meter Fee	1.15	
11/16/2017	Lennon, Kelly	Parking Meter Fee	1.15	
11/17/2017	Lennon, Kelly	Parking Meter Fee	9.20	
Total Reimbursables			47.24	47.24

Additional Fees

ck # 1223 10/12/17	-15,000.00	
Total Additional Fees	-15,000.00	-15,000.00

Reimbursable Expenses

Environmental Supplies				
11/7/2017	Cicci, Joseph	HAZ site supplies	64.62	
Total Reimbursables			64.62	64.62

Professional Personnel

		Hours	Rate	Amount
CAD Operator				
Shinabarker, Eric	10/31/2017	.75	70.00	52.50
Director, Env Services Division				
Patton, Adam	10/18/2017	.75	200.00	150.00
Patton, Adam	10/19/2017	.75	200.00	150.00
Patton, Adam	10/23/2017	.50	200.00	100.00
Patton, Adam	10/27/2017	.50	200.00	100.00
Patton, Adam	10/30/2017	.75	200.00	150.00
Patton, Adam	10/31/2017	1.00	200.00	200.00
Patton, Adam	11/6/2017	1.50	200.00	300.00
Patton, Adam	11/7/2017	.50	200.00	100.00
Patton, Adam	11/9/2017	1.00	200.00	200.00
Patton, Adam	11/13/2017	.50	200.00	100.00
Patton, Adam	11/14/2017	1.00	200.00	200.00
Founder and CEO				
Kulka, Michael	10/1/2017	.50	200.00	100.00
Kulka, Michael	10/2/2017	1.00	200.00	200.00
Kulka, Michael	10/3/2017	1.00	200.00	200.00
Kulka, Michael	10/4/2017	1.00	200.00	200.00
Kulka, Michael	10/5/2017	1.00	200.00	200.00
Kulka, Michael	10/6/2017	1.00	200.00	200.00
Kulka, Michael	10/9/2017	2.00	200.00	400.00
Kulka, Michael	10/11/2017	1.50	200.00	300.00
Kulka, Michael	10/12/2017	2.00	200.00	400.00
Kulka, Michael	10/13/2017	1.50	200.00	300.00
Principal and Vice President				
Kulka, Michael	10/16/2017	.50	200.00	100.00
Kulka, Michael	10/17/2017	.50	200.00	100.00
Kulka, Michael	10/18/2017	.50	200.00	100.00
Kulka, Michael	10/19/2017	.50	200.00	100.00
Kulka, Michael	10/24/2017	.50	200.00	100.00
Kulka, Michael	10/25/2017	.50	200.00	100.00
Kulka, Michael	10/27/2017	3.00	200.00	600.00
Kulka, Michael	11/6/2017	.50	200.00	100.00

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

Page 2

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Project	01-05889-0	The Pearl Development		Invoice	84128
Kulka, Michael		11/7/2017	.50	200.00	100.00
Kulka, Michael		11/8/2017	.50	200.00	100.00
Kulka, Michael		11/9/2017	.50	200.00	100.00
Kulka, Michael		11/10/2017	.50	200.00	100.00
Project Engineer					
Antoniewicz, Jamie		10/5/2017	1.00	120.00	120.00
Antoniewicz, Jamie		10/6/2017	2.00	120.00	240.00
Antoniewicz, Jamie		10/9/2017	.75	120.00	90.00
Antoniewicz, Jamie		10/16/2017	1.00	120.00	120.00
Antoniewicz, Jamie		10/18/2017	.75	120.00	90.00
Antoniewicz, Jamie		10/20/2017	.50	120.00	60.00
Antoniewicz, Jamie		10/23/2017	.50	120.00	60.00
Antoniewicz, Jamie		10/26/2017	1.00	120.00	120.00
Antoniewicz, Jamie		10/27/2017	.50	120.00	60.00
Antoniewicz, Jamie		10/30/2017	4.50	120.00	540.00
Antoniewicz, Jamie		10/31/2017	3.50	120.00	420.00
Antoniewicz, Jamie		11/1/2017	1.25	120.00	150.00
Antoniewicz, Jamie		11/3/2017	1.00	120.00	120.00
Antoniewicz, Jamie		11/6/2017	4.00	120.00	480.00
Antoniewicz, Jamie		11/7/2017	1.25	120.00	150.00
Antoniewicz, Jamie		11/8/2017	4.75	120.00	570.00
Antoniewicz, Jamie		11/9/2017	2.00	120.00	240.00
Antoniewicz, Jamie		11/13/2017	2.75	120.00	330.00
Antoniewicz, Jamie		11/14/2017	1.50	120.00	180.00
Antoniewicz, Jamie		11/16/2017	1.00	120.00	120.00
Antoniewicz, Jamie		11/17/2017	1.00	120.00	120.00
Regional Manager / Senior Consultant					
Kulka, Michael		11/15/2017	.50	160.00	80.00
Kulka, Michael		11/16/2017	.50	160.00	80.00
Kulka, Michael		11/17/2017	.50	160.00	80.00
Ritchie, Jennifer		10/4/2017	.50	160.00	80.00
Ritchie, Jennifer		10/5/2017	.50	160.00	80.00
Ritchie, Jennifer		10/12/2017	.50	160.00	80.00
Ritchie, Jennifer		10/13/2017	.50	160.00	80.00
Ritchie, Jennifer		10/16/2017	.25	160.00	40.00
Technical Admin Coordinator					
Craib, Shelia		11/1/2017	.50	70.00	35.00
Project Manager Assistant I					
Durecka, Chelsea		10/13/2017	.50	65.00	32.50
Totals			71.75		11,050.00
Total Labor					11,050.00
Reimbursable Expenses					
Permits/Fees					
10/10/2017	Antoniewicz, Jamie	EPA Site ID Fee		57.50	
Total Reimbursables				57.50	57.50
Consultants					
Subs - Analytical					
11/2/2017	Merit Laboratories, Inc.	samples #84683		2,374.75	
11/13/2017	Merit Laboratories, Inc.	samples 11/08 #85013		1,380.00	
11/13/2017	Merit Laboratories, Inc.	samples 11/08 #85060		920.00	
11/13/2017	Merit Laboratories, Inc.	samples 11/08 #85066		1,334.00	
Total Consultants				6,008.75	6,008.75

Project	01-05889-0	The Pearl Development	Invoice	84128
			Total this Service	\$11,595.61
			Total this Invoice	\$11,595.61

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PNC Bank
Routing ABA Number 041000124
Account Number 4244515447
Fed ID 38-3052632

Invoice Payable Upon Receipt



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LANSING, MI 48906
Phone (517) 321-3331
Toll Free: (800) 485-0090
Fax: (877) 884-6775

8

Mr. Frank Simon
 FLS Properties #5, LLC
 P.O. Box 689
 Bloomfield Hills, MI 48303

January 19, 2018
 Project No: 01-05889-0
 Invoice No: 84715
Invoice Total \$27,064.95

Project Manager: Jamie Antoniewicz

Soil Excavation

B6 - Soils Oversight

Services from October 1, 2017 to November 17, 2017

Service Group 0005 856 North Old Woodward Avenue, Birmingham, Michigan

Professional Personnel

		Hours	Rate	Amount
Environmental Technician				
Antoniewicz, Jamie	12/8/2017	8.50	80.00	680.00
Ferreira, Olivia	11/20/2017	6.50	80.00	520.00
Ferreira, Olivia	11/21/2017	11.00	80.00	880.00
Ferreira, Olivia	11/29/2017	10.00	80.00	800.00
Ferreira, Olivia	12/4/2017	9.00	80.00	720.00
Ferreira, Olivia	12/5/2017	10.00	80.00	800.00
Ferreira, Olivia	12/6/2017	10.00	80.00	800.00
Ferreira, Olivia	12/7/2017	9.00	80.00	720.00
Ferreira, Olivia	12/11/2017	9.00	80.00	720.00
Ferreira, Olivia	12/12/2017	8.25	80.00	660.00
Ferreira, Olivia	12/13/2017	5.25	80.00	420.00
Ferreira, Olivia	12/14/2017	9.00	80.00	720.00
Ferreira, Olivia	12/15/2017	9.00	80.00	720.00
Ferreira, Olivia	12/18/2017	9.50	80.00	760.00
Ferreira, Olivia	12/19/2017	8.75	80.00	700.00
Ferreira, Olivia	12/20/2017	8.00	80.00	640.00
Ferreira, Olivia	12/21/2017	8.00	80.00	640.00
Flessner, Brett	11/22/2017	10.50	80.00	840.00
Snow, Aaron	11/20/2017	4.00	80.00	320.00
Snow, Aaron	12/22/2017	8.75	80.00	700.00
Teitsma, Christopher	12/26/2017	11.00	80.00	880.00
Teitsma, Christopher	12/27/2017	11.00	80.00	880.00
Teitsma, Christopher	12/28/2017	11.00	80.00	880.00
Teitsma, Christopher	12/29/2017	11.00	80.00	880.00
Regional Manager - Field Services				
Lennon, Kelly	11/22/2017	.50	110.00	55.00
Lennon, Kelly	11/27/2017	5.50	110.00	605.00
Lennon, Kelly	11/28/2017	9.00	110.00	990.00

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

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Project	01-05889-0	The Pearl Development		Invoice	84715
Lennon, Kelly	11/30/2017	8.50	110.00	935.00	
Lennon, Kelly	12/1/2017	7.00	110.00	770.00	
Lennon, Kelly	12/22/2017	.50	110.00	55.00	
Lennon, Kelly	12/23/2017	.50	110.00	55.00	
Totals		247.50		20,745.00	
Total Labor					20,745.00

Reimbursable Expenses

Meals

11/20/2017	Lennon, Kelly	Lunch KL	12.27
11/21/2017	Ferreira, Olivia	water for field staff	4.01
11/24/2017	Ferreira, Olivia	lunch for field staff	8.27
11/24/2017	Flessner, Brett	lunch bf	4.58
11/24/2017	Flessner, Brett	lunch bf	9.30
11/29/2017	Ferreira, Olivia	lunch for field staff - Tim hortans	9.50
11/30/2017	Lennon, Kelly	Lunch KL	10.71
12/4/2017	Ferreira, Olivia	lunch for field staff - Tim hortans	7.66
12/7/2017	Ferreira, Olivia	water for field staff	3.78
12/8/2017	Ferreira, Olivia	lunch for field staff	9.50
12/8/2017	Ferreira, Olivia	water for field staff	3.78
12/13/2017	Ferreira, Olivia	water for field staff	4.03
12/15/2017	Ferreira, Olivia	lunch for field staff	13.63
12/20/2017	Ferreira, Olivia	water for field staff	4.03
12/22/2017	Ferreira, Olivia	water for field staff	3.44
12/22/2017	Snow, Aaron	lunch for AS	8.52
12/27/2017	Teitsma, Christopher	Lunch CT	12.88

Parking

11/20/2017	Lennon, Kelly	parking meter	6.90
11/21/2017	Ferreira, Olivia	metered parking	6.33
11/21/2017	Ferreira, Olivia	metered parking	4.60
11/22/2017	Ferreira, Olivia	metered parking	9.20
11/24/2017	Flessner, Brett	meter	5.18
11/24/2017	Flessner, Brett	meter	3.45
11/28/2017	Lennon, Kelly	parking meter	2.30
11/28/2017	Lennon, Kelly	parking meter	2.30
11/29/2017	Lennon, Kelly	parking meter	9.20
11/30/2017	Ferreira, Olivia	metered parking no receipt	4.60
12/1/2017	Lennon, Kelly	Meter Parking	2.30
12/5/2017	Ferreira, Olivia	metered parking no receipt	6.90
12/7/2017	Ferreira, Olivia	metered parking - no receipt	6.90
12/8/2017	Ferreira, Olivia	metered parking - no receipt	8.05
12/14/2017	Ferreira, Olivia	metered parking - no receipt	3.45
12/15/2017	Ferreira, Olivia	metered parking - no receipt	5.75
12/19/2017	Ferreira, Olivia	metered parking - no receipt	6.90
12/20/2017	Ferreira, Olivia	metered parking - no receipt	5.75
12/21/2017	Ferreira, Olivia	metered parking - no receipt	8.63
12/22/2017	Ferreira, Olivia	metered parking no receipts	5.75

Total Reimbursables

244.33 244.33

Reimbursable Expenses

Env Equip. Rental

11/30/2017	Argus Group Inc.	10/31-11/28 rental	159.77
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Environmental Supplies

12/15/2017	Premier Safety	Auth Kelly/Jamie	159.77
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Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

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Project	01-05889-0	The Pearl Development	Invoice	84715
Meals				
12/11/2017	Antoniewicz, Jamie	Lunch	11.21	
Parking				
11/24/2017	Flessner, Brett	meter	3.45	
Total Reimbursables			334.20	334.20
Unit Billing				
Industrial Hygiene Supplies				
12/8/2017		1.0 Each @ 10.00	10.00	
Mileage				
11/20/2017		102.0 Miles @ 0.56	57.12	
11/22/2017		160.0 Miles @ 0.56	89.60	
11/29/2017		15.0 Miles @ 0.56	8.40	
12/4/2017		15.0 Miles @ 0.56	8.40	
12/5/2017		15.0 Miles @ 0.56	8.40	
12/8/2017		15.0 Miles @ 0.56	8.40	
12/12/2017		30.0 Miles @ 0.56	16.80	
12/13/2017		15.0 Miles @ 0.56	8.40	
12/18/2017		15.0 Miles @ 0.56	8.40	
12/18/2017		15.0 Miles @ 0.56	8.40	
12/20/2017		30.0 Miles @ 0.56	16.80	
12/22/2017		12.0 Miles @ 0.56	6.72	
12/26/2017		568.0 Miles @ 0.56	318.08	
PID- 10.6 V				
11/20/2017		1.0 Day @ 55.00	55.00	
12/8/2017		1.0 Day @ 55.00	55.00	
12/12/2017		1.0 Day @ 55.00	55.00	
12/13/2017		0.5 Days @ 55.00	27.50	
12/18/2017		0.5 Days @ 55.00	27.50	
12/18/2017		1.0 Day @ 55.00	55.00	
12/20/2017		1.0 Day @ 55.00	55.00	
PID- 11.7 V				
11/22/2017		1.0 Day @ 55.00	55.00	
12/26/2017		4.0 Days @ 55.00	220.00	
Total Units			1,178.92	1,178.92

Professional Personnel

		Hours	Rate	Amount
Administrative Assistant I				
Guadagni, Susan	11/30/2017	.50	50.00	25.00
Guadagni, Susan	12/6/2017	.25	50.00	12.50
Guadagni, Susan	12/11/2017	.25	50.00	12.50
Guadagni, Susan	12/13/2017	.25	50.00	12.50
Guadagni, Susan	12/19/2017	.25	50.00	12.50
Guadagni, Susan	12/21/2017	.25	50.00	12.50
Guadagni, Susan	12/28/2017	.25	50.00	12.50
Wilson, Nathan	11/30/2017	.25	50.00	12.50
Economic Incentive Staff Consultant				
Masserang, Elizabeth	10/13/2017	.50	90.00	45.00
Director, Env Services Division				
Kulka, Michael	11/27/2017	.50	200.00	100.00
Kulka, Michael	11/28/2017	.50	200.00	100.00
Kulka, Michael	11/29/2017	.50	200.00	100.00
Patton, Adam	10/2/2017	.50	200.00	100.00
Patton, Adam	10/4/2017	.50	200.00	100.00
Patton, Adam	10/6/2017	.50	200.00	100.00

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

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Project	01-05889-0	The Pearl Development		Invoice	84715
Project Engineer					
	Antoniewicz, Jamie	11/20/2017	1.50	120.00	180.00
	Antoniewicz, Jamie	11/21/2017	.50	120.00	60.00
	Antoniewicz, Jamie	11/27/2017	.50	120.00	60.00
	Antoniewicz, Jamie	11/28/2017	.75	120.00	90.00
	Antoniewicz, Jamie	11/30/2017	1.00	120.00	120.00
	Antoniewicz, Jamie	12/4/2017	1.75	120.00	210.00
	Antoniewicz, Jamie	12/5/2017	1.00	120.00	120.00
	Antoniewicz, Jamie	12/11/2017	2.00	120.00	240.00
	Antoniewicz, Jamie	12/12/2017	1.00	120.00	120.00
	Antoniewicz, Jamie	12/13/2017	1.00	120.00	120.00
	Antoniewicz, Jamie	12/14/2017	2.00	120.00	240.00
	Antoniewicz, Jamie	12/15/2017	.25	120.00	30.00
	Antoniewicz, Jamie	12/26/2017	.25	120.00	30.00
Regional Manager / Senior Consultant					
	Kulka, Michael	11/20/2017	1.00	160.00	160.00
	Kulka, Michael	11/21/2017	1.00	160.00	160.00
	Kulka, Michael	11/22/2017	1.00	160.00	160.00
	Ritchie, Jennifer	12/4/2017	.25	160.00	40.00
	Ritchie, Jennifer	12/5/2017	.25	160.00	40.00
	Ritchie, Jennifer	12/8/2017	.25	160.00	40.00
	Ritchie, Jennifer	12/14/2017	.25	160.00	40.00
Staff Scientist III					
	Snow, Aaron	12/21/2017	.50	100.00	50.00
	Snow, Aaron	12/22/2017	.50	100.00	50.00
Project Manager Assistant I					
	Durecka, Chelsea	11/20/2017	.25	65.00	16.25
	Durecka, Chelsea	11/21/2017	.25	65.00	16.25
	Durecka, Chelsea	11/30/2017	.50	65.00	32.50
	Totals		25.25		3,182.50
	Total Labor				3,182.50
Consultants					
Subs - Analytical					
11/28/2017	Merit Laboratories, Inc.	samples 11/17 #85310		460.00	
11/30/2017	Merit Laboratories, Inc.	samples 11/21 #85429		460.00	
12/5/2017	Merit Laboratories, Inc.	Samples		460.00	
	Total Consultants			1,380.00	1,380.00
				Total this Service	\$27,064.95
				Total this Invoice	\$27,064.95

Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions over \$5,000 will be assessed a 2% fee at time of payment.

Payments may be made electronically to:

PNC Bank
Routing ABA Number 041000124
Account Number 4244515447
Fed ID 38-3052632

Invoice Payable Upon Receipt



PM ENVIRONMENTAL, INC.
3340 RANGER ROAD
LANSING, MI 48906
Phone (517) 321-3331
Toll Free: (800) 485-0090
Fax: (877) 884-6775

9

Mr. Frank Simon
 FLS Properties #5, LLC
 P.O. Box 689
 Bloomfield Hills, MI 48303

March 8, 2018
 Project No: 01-05889-0
 Invoice No: 85166
Invoice Total \$28,402.73

Project Manager: Jamie Antoniewicz

B6 - Soils Oversight

Services from January 2, 2018 to March 2, 2018

Service Group 0005 856 North Old Woodward Avenue, Birmingham, Michigan

Professional Personnel

		Hours	Rate	Amount
Environmental Technician				
Antoniewicz, Jamie	2/26/2018	2.25	80.00	180.00
Cicci, Joseph	2/5/2018	9.50	80.00	760.00
Cicci, Joseph	2/7/2018	10.50	80.00	840.00
Cicci, Joseph	2/13/2018	9.00	80.00	720.00
Cicci, Joseph	2/15/2018	11.00	80.00	880.00
Cicci, Joseph	2/19/2018	9.50	80.00	760.00
Cicci, Joseph	2/20/2018	2.25	80.00	180.00
Cicci, Joseph	2/26/2018	1.00	80.00	80.00
Ferreira, Olivia	1/16/2018	.25	80.00	20.00
Flessner, Brett	2/2/2018	10.25	80.00	820.00
Kulka, Michael	2/16/2018	.50	80.00	40.00
Miller, Marcus	2/28/2018	9.50	80.00	760.00
Project Engineer				
Antoniewicz, Jamie	1/4/2018	1.50	120.00	180.00
Antoniewicz, Jamie	1/5/2018	1.25	120.00	150.00
Antoniewicz, Jamie	1/8/2018	1.00	120.00	120.00
Antoniewicz, Jamie	1/12/2018	1.50	120.00	180.00
Antoniewicz, Jamie	1/18/2018	1.00	120.00	120.00
Antoniewicz, Jamie	1/19/2018	1.00	120.00	120.00
Antoniewicz, Jamie	1/23/2018	1.00	120.00	120.00
Antoniewicz, Jamie	1/24/2018	1.00	120.00	120.00
Antoniewicz, Jamie	1/25/2018	1.00	120.00	120.00
Antoniewicz, Jamie	1/26/2018	.50	120.00	60.00
Antoniewicz, Jamie	1/29/2018	1.50	120.00	180.00
Antoniewicz, Jamie	1/30/2018	2.50	120.00	300.00
Antoniewicz, Jamie	1/31/2018	1.00	120.00	120.00
Antoniewicz, Jamie	2/2/2018	3.00	120.00	360.00
Antoniewicz, Jamie	2/5/2018	1.50	120.00	180.00
Antoniewicz, Jamie	2/6/2018	1.00	120.00	120.00
Antoniewicz, Jamie	2/7/2018	1.75	120.00	210.00

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

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Project	01-05889-0	The Pearl Development		Invoice	85166
Antoniewicz, Jamie	2/8/2018	1.00	120.00	120.00	
Antoniewicz, Jamie	2/9/2018	.50	120.00	60.00	
Antoniewicz, Jamie	2/16/2018	1.00	120.00	120.00	
Staff Scientist III					
Prowse, Benjamin	2/1/2018	.50	100.00	50.00	
Research Consultant II					
MacLean, Maureen	2/8/2018	.50	60.00	30.00	
Regional Manager - Field Services					
Kulka, Michael	2/16/2018	1.00	110.00	110.00	
Lennon, Kelly	1/2/2018	.50	110.00	55.00	
Lennon, Kelly	1/16/2018	1.00	110.00	110.00	
Lennon, Kelly	1/29/2018	.50	110.00	55.00	
Lennon, Kelly	1/30/2018	9.50	110.00	1,045.00	
Lennon, Kelly	1/31/2018	9.25	110.00	1,017.50	
Lennon, Kelly	2/1/2018	10.00	110.00	1,100.00	
Lennon, Kelly	2/2/2018	3.50	110.00	385.00	
Lennon, Kelly	2/6/2018	10.25	110.00	1,127.50	
Lennon, Kelly	2/7/2018	.75	110.00	82.50	
Lennon, Kelly	2/8/2018	9.75	110.00	1,072.50	
Lennon, Kelly	2/12/2018	10.00	110.00	1,100.00	
Lennon, Kelly	2/13/2018	2.00	110.00	220.00	
Lennon, Kelly	2/14/2018	10.50	110.00	1,155.00	
Lennon, Kelly	2/16/2018	9.00	110.00	990.00	
Lennon, Kelly	2/21/2018	3.50	110.00	385.00	
Lennon, Kelly	2/22/2018	2.00	110.00	220.00	
Lennon, Kelly	2/26/2018	1.50	110.00	165.00	
Lennon, Kelly	2/27/2018	4.25	110.00	467.50	
Lennon, Kelly	3/2/2018	1.50	110.00	165.00	
Staff Scientist I					
Ferreira, Olivia	1/2/2018	1.00	90.00	90.00	
Totals		203.25		20,297.50	
Total Labor					20,297.50
Reimbursable Expenses					
Environmental Supplies					
2/13/2018	Cicci, Joseph	Water JO		2.29	
Parking					
2/5/2018	Flessner, Brett	meter		1.15	
2/5/2018	Flessner, Brett	meter		2.59	
2/5/2018	Flessner, Brett	meter		2.88	
2/13/2018	Cicci, Joseph	Parking meter		9.78	
2/15/2018	Cicci, Joseph	Parking at Pearl		10.35	
2/20/2018	Cicci, Joseph	Parking		6.33	
Total Reimbursables				35.37	35.37
Reimbursable Expenses					
Environmental Supplies					
1/19/2018	Premier Safety	Auth Kelley/Jamie		1,219.67	
2/22/2018	Premier Safety	Rental		106.09	
Meals					
1/2/2018	Teitsma, Christopher	Lunch CT		14.72	
1/2/2018	Teitsma, Christopher	Lunch CT		12.40	
2/1/2018	Lennon, Kelly	lunch KL		6.82	
2/5/2018	Lennon, Kelly	coffee for PM and HM		11.91	
Misc OH Reimbursables					
1/2/2018	Teitsma, Christopher	Waters No rec. given CT		2.98	

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Project	01-05889-0	The Pearl Development	Invoice	85166
Parking				
1/31/2018	Lennon, Kelly	meter parking no receipt provided	9.20	
2/1/2018	Lennon, Kelly	parking	9.20	
2/2/2018	Lennon, Kelly	parking	9.20	
2/5/2018	Cicci, Joseph	Parking meter	7.48	
2/7/2018	Cicci, Joseph	Parking meter	9.20	
2/7/2018	Lennon, Kelly	parking	9.20	
2/13/2018	Lennon, Kelly	parking	9.20	
Permits/Fees				
2/9/2018	Lennon, Kelly	parking	9.20	
Total Reimbursables			1,446.47	1,446.47

Unit Billing

Industrial Hygiene Supplies

1/29/2018	5.0 Each @ 10.00	50.00
2/5/2018	1.0 Each @ 10.00	10.00
2/9/2018	5.0 Each @ 10.00	50.00
2/14/2018	2.0 Each @ 10.00	20.00

Mileage

1/29/2018	55.0 Miles @ 0.56	30.80
2/2/2018	170.0 Miles @ 0.56	95.20
2/5/2018	12.0 Miles @ 0.56	6.72
2/7/2018	12.0 Miles @ 0.56	6.72
2/9/2018	55.0 Miles @ 0.56	30.80
2/13/2018	12.0 Miles @ 0.56	6.72
2/14/2018	22.0 Miles @ 0.56	12.32
2/15/2018	11.0 Miles @ 0.56	6.16
2/20/2018	11.0 Miles @ 0.56	6.16
2/28/2018	12.0 Miles @ 0.56	6.72
3/1/2018	22.0 Miles @ 0.56	12.32

PID- 10.6 V

1/29/2018	5.0 Days @ 55.00	275.00
2/2/2018	1.0 Day @ 55.00	55.00
2/5/2018	1.0 Day @ 55.00	55.00
2/7/2018	1.0 Day @ 55.00	55.00
2/9/2018	5.0 Days @ 55.00	275.00
2/13/2018	1.0 Day @ 55.00	55.00
2/14/2018	2.0 Days @ 55.00	110.00
2/15/2018	1.0 Day @ 55.00	55.00
2/20/2018	0.5 Days @ 55.00	27.50
2/28/2018	1.0 Day @ 55.00	55.00

Total Units	1,368.14	1,368.14
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Professional Personnel

		Hours	Rate	Amount
Administrative Assistant I				
Arnett, Hannah	1/4/2018	.25	50.00	12.50
Guadagni, Susan	2/8/2018	.25	50.00	12.50
Guadagni, Susan	2/9/2018	.25	50.00	12.50
Guadagni, Susan	2/14/2018	.25	50.00	12.50
Guadagni, Susan	2/16/2018	.25	50.00	12.50
Guadagni, Susan	2/26/2018	.25	50.00	12.50
Guadagni, Susan	3/1/2018	.25	50.00	12.50
Wilson, Nathan	1/3/2018	.25	50.00	12.50

Project	01-05889-0	The Pearl Development		Invoice	85166
Director, Env Services Division					
Patton, Adam	2/20/2018	.75	200.00	150.00	
Patton, Adam	2/26/2018	.50	200.00	100.00	
Principal and Vice President					
Kulka, Michael	2/5/2018	.50	200.00	100.00	
Kulka, Michael	2/6/2018	.50	200.00	100.00	
Kulka, Michael	2/12/2018	.50	200.00	100.00	
Kulka, Michael	2/13/2018	.50	200.00	100.00	
Kulka, Michael	2/14/2018	.50	200.00	100.00	
Kulka, Michael	2/15/2018	.50	200.00	100.00	
Kulka, Michael	2/16/2018	.50	200.00	100.00	
Kulka, Michael	2/26/2018	.50	200.00	100.00	
Project Engineer					
Antoniewicz, Jamie	1/16/2018	.50	120.00	60.00	
Antoniewicz, Jamie	2/21/2018	3.25	120.00	390.00	
Antoniewicz, Jamie	2/22/2018	1.00	120.00	120.00	
Antoniewicz, Jamie	2/23/2018	.50	120.00	60.00	
Antoniewicz, Jamie	2/26/2018	.75	120.00	90.00	
Antoniewicz, Jamie	3/1/2018	1.00	120.00	120.00	
Antoniewicz, Jamie	3/2/2018	.50	120.00	60.00	
Regional Manager / Senior Consultant					
Ritchie, Jennifer	1/4/2018	.50	160.00	80.00	
Staff Scientist III					
Arnett, Hannah	2/6/2018	.25	100.00	25.00	
Arnett, Hannah	2/8/2018	1.00	100.00	100.00	
Arnett, Hannah	2/9/2018	2.00	100.00	200.00	
Arnett, Hannah	2/28/2018	.25	100.00	25.00	
Project Manager Assistant I					
Arnett, Hannah	1/23/2018	.75	65.00	48.75	
Arnett, Hannah	1/24/2018	.50	65.00	32.50	
Arnett, Hannah	1/25/2018	.25	65.00	16.25	
Blevins, Courtney	1/12/2018	.50	65.00	32.50	
Blevins, Courtney	1/18/2018	.50	65.00	32.50	
Blevins, Courtney	2/21/2018	.75	65.00	48.75	
Staff Scientist I					
Feeny, Ryan	2/1/2018	.25	90.00	22.50	
Totals		22.25		2,713.75	
Total Labor					2,713.75
Consultants					
Subs - Analytical					
1/4/2018	Merit Laboratories, Inc.	Labs		230.00	
1/4/2018	Merit Laboratories, Inc.	Labs		460.00	
1/4/2018	Merit Laboratories, Inc.	TO-15		460.00	
2/9/2018	Merit Laboratories, Inc.	Parameter		126.50	
2/19/2018	Merit Laboratories, Inc.	Labs		460.00	
2/24/2018	Merit Laboratories, Inc.	Labs		345.00	
2/26/2018	Merit Laboratories, Inc.	Labs		460.00	
Total Consultants				2,541.50	2,541.50
Total this Service					\$28,402.73
Total this Invoice					\$28,402.73

Project	01-05889-0	The Pearl Development	Invoice	85166
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Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions over \$5,000 will be assessed a 2% fee at time of payment.

Payments may be made electronically to:

PNC Bank
Routing ABA Number 041000124
Account Number 4244515447
Fed ID 38-3052632

Invoice Payable Upon Receipt



PM ENVIRONMENTAL, INC.
3340 RANGER ROAD
LANSING, MI 48906
Phone (517) 321-3331
Toll Free: (800) 485-0090
Fax: (877) 884-6775

10

Mr. Frank Simon
 FLS Properties #5, LLC
 P.O. Box 689
 Bloomfield Hills, MI 48303

April 6, 2018
 Project No: 01-05889-0
 Invoice No: 85575
Invoice Total \$14,613.33

Project Manager: Jamie Antoniewicz

B6 - Soils Oversight

Services from March 2, 2018 to March 30, 2018

 Service Group 0005 856 North Old Woodward Avenue, Birmingham, Michigan

Professional Personnel

		Hours	Rate	Amount
Environmental Technician				
Antoniewicz, Jamie	3/12/2018	8.50	80.00	680.00
Cicci, Joseph	3/5/2018	8.75	80.00	700.00
Cicci, Joseph	3/6/2018	6.00	80.00	480.00
Cicci, Joseph	3/7/2018	1.00	80.00	80.00
Lieder, Nicholas	3/16/2018	.50	80.00	40.00
Wilcox, Danielle	3/13/2018	7.00	80.00	560.00
Wilcox, Danielle	3/14/2018	11.00	80.00	880.00
Wilcox, Danielle	3/15/2018	10.00	80.00	800.00
Wilcox, Danielle	3/16/2018	9.00	80.00	720.00
Wilcox, Danielle	3/19/2018	11.00	80.00	880.00
Wilcox, Danielle	3/20/2018	10.00	80.00	800.00
Wilcox, Danielle	3/21/2018	9.50	80.00	760.00
Wilcox, Danielle	3/22/2018	3.25	80.00	260.00
Project Engineer				
Antoniewicz, Jamie	3/23/2018	1.25	140.00	175.00
Antoniewicz, Jamie	3/26/2018	1.00	140.00	140.00
Antoniewicz, Jamie	3/27/2018	1.25	140.00	175.00
Antoniewicz, Jamie	3/28/2018	1.50	140.00	210.00
Regional Manager - Field Services				
Lennon, Kelly	3/5/2018	1.50	110.00	165.00
Lennon, Kelly	3/6/2018	.50	110.00	55.00
Lennon, Kelly	3/8/2018	9.00	110.00	990.00
Lennon, Kelly	3/9/2018	9.25	110.00	1,017.50
Lennon, Kelly	3/14/2018	3.00	110.00	330.00
Totals		123.75		10,897.50
Total Labor				10,897.50

Reimbursable Expenses

Environmental Supplies			
2/28/2018	Miller, Marcus	Water for	9.06

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Project	01-05889-0	The Pearl Development	Invoice	85575
Meals				
3/12/2018	Lennon, Kelly	Lunch/Soup KL/DW	8.99	
Parking				
2/15/2018	Lennon, Kelly	Parking	9.20	
2/19/2018	Lennon, Kelly	Parking	9.20	
3/5/2018	Cicci, Joseph	Parking meter	9.20	
3/6/2018	Cicci, Joseph	Parking meter	9.20	
3/9/2018	Lennon, Kelly	Parking	9.20	
3/12/2018	Lennon, Kelly	Parking	9.20	
Total Reimbursables			73.25	73.25
Reimbursable Expenses				
Environmental Supplies				
3/9/2018	Premier Safety	Rental	6.37	
Meals				
3/14/2018	Antoniewicz, Jamie	Lunch	8.04	
Total Reimbursables			14.41	14.41
Unit Billing				
Industrial Hygiene Supplies				
3/8/2018		1.0 Each @ 10.00	10.00	
3/9/2018		1.0 Each @ 10.00	10.00	
3/13/2018		1.0 Each @ 10.00	10.00	
3/13/2018		1.0 Each @ 10.00	10.00	
3/14/2018		1.0 Each @ 10.00	10.00	
3/15/2018		1.0 Each @ 10.00	10.00	
3/16/2018		1.0 Each @ 10.00	10.00	
3/19/2018		1.0 Each @ 10.00	10.00	
3/20/2018		1.0 Each @ 10.00	10.00	
3/21/2018		1.0 Each @ 10.00	10.00	
3/23/2018		1.0 Each @ 10.00	10.00	
Mileage				
3/5/2018		12.0 Miles @ 0.56	6.72	
3/6/2018		12.0 Miles @ 0.56	6.72	
3/7/2018		12.0 Miles @ 0.56	6.72	
3/8/2018		12.0 Miles @ 0.56	6.72	
3/9/2018		12.0 Miles @ 0.56	6.72	
3/13/2018		12.0 Miles @ 0.56	6.72	
3/13/2018		26.0 Miles @ 0.56	14.56	
3/14/2018		12.0 Miles @ 0.56	6.72	
3/15/2018		12.0 Miles @ 0.56	6.72	
3/16/2018		12.0 Miles @ 0.56	6.72	
3/19/2018		12.0 Miles @ 0.56	6.72	
3/20/2018		12.0 Miles @ 0.56	6.72	
3/21/2018		12.0 Miles @ 0.56	6.72	
3/23/2018		12.0 Miles @ 0.56	6.72	
PID- 10.6 V				
3/5/2018		1.0 Day @ 55.00	55.00	
3/6/2018		1.0 Day @ 55.00	55.00	
3/8/2018		1.0 Day @ 55.00	55.00	
3/9/2018		1.0 Day @ 55.00	55.00	
3/13/2018		1.0 Day @ 55.00	55.00	
3/14/2018		1.0 Day @ 55.00	55.00	
3/15/2018		1.0 Day @ 55.00	55.00	
3/16/2018		1.0 Day @ 55.00	55.00	
3/19/2018		1.0 Day @ 55.00	55.00	

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

Page 2

We are committed to providing you with the highest level of service and would appreciate getting feedback on our performance. Please take our brief client satisfaction survey at: <https://www.surveymonkey.com/r/pmclient>

Project	01-05889-0	The Pearl Development	Invoice	85575
3/20/2018		1.0 Day @ 55.00	55.00	
3/21/2018		1.0 Day @ 55.00	55.00	
3/23/2018		1.0 Day @ 55.00	55.00	
PID- 11.7 V				
3/13/2018		1.0 Day @ 55.00	55.00	
Total Units			926.92	926.92

Professional Personnel

		Hours	Rate	Amount	
Administrative Assistant I					
Guadagni, Susan	3/9/2018	.25	50.00	12.50	
Guadagni, Susan	3/12/2018	.50	50.00	25.00	
Guadagni, Susan	3/14/2018	.25	50.00	12.50	
Guadagni, Susan	3/15/2018	.25	50.00	12.50	
Guadagni, Susan	3/19/2018	.25	50.00	12.50	
Guadagni, Susan	3/20/2018	.25	50.00	12.50	
Guadagni, Susan	3/21/2018	.25	50.00	12.50	
Guadagni, Susan	3/22/2018	.25	50.00	12.50	
Guadagni, Susan	3/23/2018	.25	50.00	12.50	
Director, Env Services Division					
Antoniewicz, Jamie	3/12/2018	.75	200.00	150.00	
Antoniewicz, Jamie	3/13/2018	1.50	200.00	300.00	
Antoniewicz, Jamie	3/14/2018	.25	200.00	50.00	
Antoniewicz, Jamie	3/16/2018	.50	200.00	100.00	
Patton, Adam	3/29/2018	.50	200.00	100.00	
Project Engineer					
Antoniewicz, Jamie	3/7/2018	2.00	120.00	240.00	
Antoniewicz, Jamie	3/9/2018	2.50	120.00	300.00	
Project Engineer					
Antoniewicz, Jamie	3/19/2018	2.00	140.00	280.00	
Antoniewicz, Jamie	3/21/2018	1.00	140.00	140.00	
Antoniewicz, Jamie	3/22/2018	.25	140.00	35.00	
Antoniewicz, Jamie	3/29/2018	1.00	140.00	140.00	
Antoniewicz, Jamie	3/30/2018	.50	140.00	70.00	
Regional Manager / Senior Consultant					
Ritchie, Jennifer	3/19/2018	.50	160.00	80.00	
Technical Admin Coordinator					
Craib, Shelia	3/8/2018	.25	70.00	17.50	
Project Manager Assistant I					
Blevins, Courtney	3/19/2018	1.25	65.00	81.25	
Totals		17.25		2,208.75	
Total Labor					2,208.75

Consultants

Subs - Analytical					
3/21/2018	Merit Laboratories, Inc.	Labs		460.00	
Total Consultants				460.00	460.00
Total this Service					\$14,580.83

Service Group 0006 856 North Old Woodward Avenue, Birmingham, Michigan

Project	01-05889-0	The Pearl Development	Invoice	85575
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Professional Personnel

		Hours	Rate	Amount	
Project Manager Assistant I					
Durecka, Chelsea	10/13/2017	.50	65.00	32.50	
SG 0006 Set-up					
Totals		.50		32.50	
Total Labor					32.50
			Total this Service		\$32.50
			Total this Invoice		\$14,613.33

Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions over \$5,000 will be assessed a 2% fee at time of payment.

Payments may be made electronically to:

PNC Bank
Routing ABA Number 041000124
Account Number 4244515447
Fed ID 38-3052632

Invoice Payable Upon Receipt



PM ENVIRONMENTAL, INC.
3340 RANGER ROAD
LANSING, MI 48906
Phone (517) 321-3331
Toll Free: (800) 485-0090
Fax: (877) 884-6775

11

Mr. Frank Simon
 FLS Properties #5, LLC
 P.O. Box 689
 Bloomfield Hills, MI 48303

October 4, 2018
 Project No: 01-05889-0
 Invoice No: 87608
Invoice Total \$2,173.12

Project Manager: Jamie Antoniewicz

Services till September 28, 2018

B6 - Soils Oversight

 Service Group 0006 856 North Old Woodward Avenue, Birmingham, Michigan

Professional Personnel

		Hours	Rate	Amount
Administrative Assistant I				
Doty, Ryan	8/15/2018	1.75	50.00	87.50
Guadagni, Susan	8/16/2018	.50	50.00	25.00
Director, Env Services Division				
Patton, Adam	8/17/2018	1.00	200.00	200.00
Patton, Adam	9/7/2018	1.00	200.00	200.00
Project Engineer				
Antoniewicz, Jamie	4/25/2018	1.00	120.00	120.00
Antoniewicz, Jamie	4/27/2018	.50	120.00	60.00
Antoniewicz, Jamie	5/16/2018	1.75	120.00	210.00
Antoniewicz, Jamie	5/17/2018	.50	120.00	60.00
Antoniewicz, Jamie	5/21/2018	.50	120.00	60.00
Antoniewicz, Jamie	5/24/2018	.25	120.00	30.00
Antoniewicz, Jamie	5/25/2018	1.00	120.00	120.00
Antoniewicz, Jamie	5/29/2018	.50	120.00	60.00
Antoniewicz, Jamie	6/21/2018	.75	120.00	90.00
Antoniewicz, Jamie	8/15/2018	1.50	120.00	180.00
Antoniewicz, Jamie	8/16/2018	.50	120.00	60.00
Antoniewicz, Jamie	8/20/2018	1.00	120.00	120.00
Antoniewicz, Jamie	8/21/2018	.75	120.00	90.00
Antoniewicz, Jamie	8/29/2018	2.00	120.00	240.00
Antoniewicz, Jamie	9/7/2018	1.75	120.00	210.00
Antoniewicz, Jamie	9/10/2018	1.00	120.00	120.00
Antoniewicz, Jamie	9/11/2018	.50	120.00	60.00
Antoniewicz, Jamie	9/12/2018	.25	120.00	30.00
Antoniewicz, Jamie	9/13/2018	.25	120.00	30.00
Antoniewicz, Jamie	9/21/2018	.25	120.00	30.00
Antoniewicz, Jamie	9/25/2018	.50	120.00	60.00
Antoniewicz, Jamie	9/28/2018	.50	120.00	60.00
Project Engineer				
Antoniewicz, Jamie	4/4/2018	.25	140.00	35.00

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

We are committed to providing you with the highest level of service and would appreciate getting feedback on our performance. Please take our brief client satisfaction survey at: <https://www.surveymonkey.com/r/pmclient>

Project	01-05889-0	The Pearl Development		Invoice	87608
Antoniewicz, Jamie	4/6/2018	.50	140.00	70.00	
Antoniewicz, Jamie	4/9/2018	1.00	140.00	140.00	
Antoniewicz, Jamie	4/10/2018	.50	140.00	70.00	
Antoniewicz, Jamie	4/12/2018	.50	140.00	70.00	
Antoniewicz, Jamie	4/14/2018	.50	140.00	70.00	
Technical Admin Coordinator					
Craib, Shelia	9/17/2018	.50	70.00	35.00	
Project Manager Assistant I					
Blevins, Courtney	4/6/2018	.50	65.00	32.50	
Blevins, Courtney	9/28/2018	.50	65.00	32.50	
Totals		26.50		3,167.50	
Total Labor					3,167.50
Consultants					
Subs - Analytical					
12/13/2017	Merit Laboratories, Inc.	Labs		920.00	
12/14/2017	Merit Laboratories, Inc.	Labs		920.00	
12/20/2017	Merit Laboratories, Inc.	Labs		460.00	
12/20/2017	Merit Laboratories, Inc.	Labs		460.00	
12/20/2017	Merit Laboratories, Inc.	Labs		460.00	
8/21/2018	Merit Laboratories, Inc.	Labs		667.00	
Total Consultants				3,887.00	3,887.00
Reimbursable Expenses					
Env Equip. Rental					
3/9/2018	Premier Safety	Rental		112.46	
Total Reimbursables				112.46	112.46
Unit Billing					
Mileage					
8/15/2018		11.0 Miles @ 0.56		6.16	
Total Units				6.16	6.16
Additional Fees					
ck # 1230 ; 11/17/17				-5,000.00	
Total Additional Fees				-5,000.00	-5,000.00
Total this Service					\$2,173.12
Total this Invoice					\$2,173.12

Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions over \$5,000 will be assessed a 2% fee at time of payment.

Payments may be made electronically to:

PNC Bank
Routing ABA Number 041000124
Account Number 4244515447
Fed ID 38-3052632

Invoice Payable Upon Receipt



Mr. Frank Simon
FLS Properties #5, LLC
P.O. Box 689
Bloomfield Hills, MI 48303

December 20, 2018
Project No: 01-05889-0
Invoice No: 88529
Invoice Total \$7,450.00

Service Group	0006	856 North Old Woodward Avenue, Birmingham, Michigan
---------------	------	---

B8 - Excavation Oversight

Task	Cost
CO1: Mobilization / Oversight / Samples	950.00
CO1: Equipment and Supplies	100.00
CO1: Project management / Consulting	3,250.00
CO1: Laboratory Analysis	650.00
Total Fee	4,950.00
Subtotal	4,950.00
Total this Service	\$4,950.00

Service Group	0007	856 NOld Woodward-Water Treatment Permit
---------------	------	--

B7 - Wastewater Disposal

Task	Cost
Water Treatment Building Permit	2,500.00
Meetings	0.00
Total Fee	2,500.00
Subtotal	2,500.00
Total this Service	\$2,500.00

12b

Total this Invoice	\$7,450.00
---------------------------	-------------------

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

We are committed to providing you with the highest level of service and would appreciate getting feedback on our performance. Please take our brief client satisfaction survey at: <https://www.surveymonkey.com/r/pmclient>

Attachment to ASTI Environmental Memo Dated March 25, 2021
Attachment Page No. 123

Project	01-05889-0	The Pearl Development	Invoice	88529
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Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions over \$5,000 will be assessed a 2% fee at time of payment.

Payments may be made electronically to:

PNC Bank
Routing ABA Number 041000124
Account Number 4244515447
Fed ID 38-3052632

Invoice Payable Upon Receipt



PM ENVIRONMENTAL, INC.
3340 RANGER ROAD
LANSING, MI 48906
Phone (517) 321-3331
Toll Free: (800) 485-0090
Fax: (877) 884-6775

13

Mr. Frank Simon
FLS Properties #5, LLC
P.O. Box 689
Bloomfield Hills, MI 48303

June 17, 2020
Project No: 01-05889-0
Invoice No: 94157
Invoice Total **\$1,250.00**

Project Manager: Sarah Marshall

Service Group 0008 856 North Old Woodward Avenue, Birmingham, Michigan

B7 - Wastewater
Disposal Reporting

Task	Cost	
Biennial Hazardous Waste Report and EQP5150 Form	1,250.00	
Total Fee	1,250.00	
	Subtotal	1,250.00
	Total this Service	\$1,250.00
	Total this Invoice	\$1,250.00

Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions will be assessed a 3% fee at time of payment.

Payments may be made electronically to:

Level One Bank
Routing ABA Number 072414310
Account Number 1000123180
Fed ID 38-3052632

Invoice Payable Upon Receipt

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

We are committed to providing you with the highest level of service and would appreciate getting feedback on our performance. Please take our brief client satisfaction survey at: <https://www.surveymonkey.com/r/pmclient>



PM ENVIRONMENTAL, INC.
3340 RANGER ROAD
LANSING, MI 48906
Phone (517) 321-3331
Toll Free: (800) 485-0090
Fax: (877) 884-6775

14

Mr. Frank Simon
FLS Properties #5, LLC
P.O. Box 689
Bloomfield Hills, MI 48303

August 21, 2020
Project No: 01-05889-0
Invoice No: 94762
Invoice Total \$2,300.00

Project Manager: Nicholas Lieder

Stormwater Testing Activities

Service Group 0009 856 North Old Woodward Avenue, Birmingham, Michigan

**B7 - Water
Discharge Testing**

Task	Cost	
Mobilization / Sampling / Equipment	750.00	
Data Eval / Project Mgmt / Summary Memo	1,750.00	
Laboratory Analysis	800.00	
Total Fee	3,300.00	
	Subtotal	3,300.00
Additional Fees		
Check #1110 08/11/20	-1,000.00	
Total Additional Fees	-1,000.00	-1,000.00
	Total this Service	\$2,300.00
	Total this Invoice	\$2,300.00

Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions will be assessed a 3% fee at time of payment.

Payments may be made electronically to:

Level One Bank
Routing ABA Number 072414310
Account Number 1000123180
Fed ID 38-3052632

Invoice Payable Upon Receipt

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

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Attachment to ASTI Environmental Memo Dated March 25, 2021
Attachment Page No. 126

Accounts Receivable Ledger

Wednesday, December 16, 2020

10:11:50 AM

PM Environmental, Inc.

Job-to-Date through 12/26/2020

Invoice	Mod/Receipt Detail	Description 2	Date	Total
Billing Client Name: FLS Properties #5, LLC				
Site Address: 856 North Old Woodward Avenue, Birmingham, Michigan				
01-05889-0 The Pearl Development / Project Manager: Masserang				
Project Type: Environmental Services				
0073902		Invoice	9/21/2015	14,015.00
0073902	Rcpt A112315	ck # 1162	11/23/2015	-14,015.00
0077059		Invoice	6/27/2016	5,690.00
0077059	Rcpt A090816	ck# 1187	9/8/2016	-5,690.00
0078957		Invoice	10/28/2016	10,000.00
0078957	Rcpt A110916	ck# 1198	11/9/2016	-10,000.00
0079807		Invoice	1/4/2017	1,500.00
0079807	Rcpt A011917	CK # 1117	1/19/2017	-1,500.00
0080629		Invoice	2/23/2017	3,750.00
0080629	Retainer	Invoice	2/23/2017	-3,750.00
0084128		Invoice	11/30/2017	26,595.61
0084128	Retainer	Invoice	11/30/2017	-15,000.00
0084128	Rcpt A010818	ck # 1244	1/8/2018	-11,595.61
0084648		Invoice	1/12/2018	
0084648	Retainer	Invoice	1/12/2018	
0084715		Invoice	1/19/2018	27,064.95
0084715	Rcpt A031918	ck # 1269	3/19/2018	-27,064.95
0085166		Invoice	3/8/2018	28,402.73
0085166	Rcpt A031918	ck # 1269	3/19/2018	-28,402.73
0085575		Invoice	4/6/2018	14,613.33
0085575	Rcpt A051618	Check#1283	5/16/2018	-14,613.33
0087568		Invoice	9/28/2018	
0087608		Invoice	10/4/2018	7,173.12
0087608	Retainer	Invoice	10/4/2018	-5,000.00
0087608	Rcpt A101518	Check#1010	10/15/2018	-2,173.12
0088529		Invoice	12/20/2018	7,450.00
0088529	Rcpt A012419	Check#1028	1/24/2019	-7,450.00
0094157		Invoice	6/17/2020	1,250.00
0094157	Rcpt A071320	Check #1082	7/13/2020	-1,250.00
0094762		Invoice	8/21/2020	3,300.00
0094762	Retainer	Invoice	8/21/2020	-1,000.00
0094762	Rcpt A090120	Check# 1127	9/1/2020	-2,300.00
0095569		Invoice	11/13/2020	4,178.75
0095569	Retainer	Invoice	11/13/2020	-2,500.00
0095569	Rcpt A111920	Check#1216	11/19/2020	-1,678.75
Project Billed				154,983.49
Project Received				-154,983.49
Project Retainer				
Project Retainage				
Total for 01-05889-0				
Total Billed				154,983.49
Total Received				-154,983.49
Total Retainer				
Total Retainage				
Total				

Removes 5

2

FLS PROPERTIES #5

2950 WALNUT LAKE RD
W BLOOMFIELD, MI 48323-3754

1162

14 347724

DATE 11/19/2015

00-0000 0000

PAY TO THE ORDER OF PM Environmental, Inc.

\$ 14,015.00

Fourteen Thousand Fifteen Dollars and 00/100 ---

DOLLARS 00

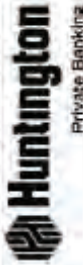



[Handwritten Signature]

FOR Invoice 73902

⑆001162⑆ ⑆072103673⑆ 01382209272⑆

Front Image

FLS PROPERTIES #5 2950 WALNUT LAKE RD W BLOOMFIELD, MI 48323-3754		3	1187 76307724
DATE <u>9/6/2016</u>		CHECK NUMBER	
PAY TO THE ORDER OF <u>PM Environmental, Inc.</u>		\$ <u>5,690.00</u>	
--- Five Thousand Six Hundred Ninety Dollars and 00/100		DOLLARS	
			
FOR Invoice <u>77059</u>		MP	
⑆001187⑆ ⑆072403473⑆ 01382209272⑆			

Back Image

Front Image

FLS PROPERTIES #5
2850 WALNUT LAKE RD
W BLOOMFIELD, MI 48323-3754

DATE 11/4/2016

1198

74347724

100 CHECK NUMBER

PAY TO THE ORDER OF PM Environmental, Inc.

\$ 10,000.00

Ten Thousand Dollars and 00/100 ---

Huntington Private Banking

FOR Invoice 78957

John

⑆001198⑆ ⑆072403473⑆ 01382209272⑆

Back Image

Annotated Submittal

Attachment to ASTI Environmental Memo Dated March 25, 2021

Attachment Page No. 130

FLS PROPERTIES #5

2950 WALNUT LAKE RD
W BLOOMFIELD, MI 48323-3754

6

1194

74-347/724

DATE 10/12/2016

CHECK AMOUNT

PAY TO THE ORDER OF PM Environmental, Inc.

\$ 3,750.00

Three Thousand Seven Hundred Fifty Dollars and 00/100---

DOLLARS



Private Banking

FOR deposit vapor barrier work plan

John C.

⑈001194⑈ ⑆072403473⑆ 01382209272⑈

01-5889-0-0004

30

FLS PROPERTIES #5
2950 WALNUT LAKE RD
W BLOOMFIELD, MI 48323-3754

Supplemental information provided 12/16/20

1228
74-347724

CHECK NUMBER

DATE 10/9/2017

PAY TO THE ORDER OF PM Environmental, Inc.

\$ 15,000.00

----- Fifteen Thousand Dollars and 00/100 -----

Huntington
Private Banking

FOR Deposit/Soil Removal Oversight

01010337

⑈001223⑈ ⑆072403473⑆ 01382209272⑈

Security Features Back

MP

This is listed for Invoice 84128 in check register but not included in eligible cost table

1244

74347724


DATE 12/12/2017

1244

FLS PROPERTIES #5
2950 WALNUT LAKE RD
W BLOOMFIELD, MI 48323-3754

PAY TO THE ORDER OF PM Environmental, Inc. \$ 11,595.61

----- Eleven Thousand Five Hundred Ninety Five Dollars & 61/100 --- DOLLARS

 **Huntington** Private Banking

FOR Invoice #84128

11001244 110724034731 013822092721

11001244 110724034731 013822092721

1269

FLS PROPERTIES #5 8 and 9

2850 WALNUT LAKE RD
W BLOOMFIELD, MI 48323-3754

74-347,724

DATE 3/14/2018

AMOUNT

PAY TO THE ORDER OF PM Environmental, Inc. \$ 55,467.68

---Fifty Five Thousand Four Hundred Sixty Seven and 68/100--- DOLLARS



FOR Invoices 84715, 85166

84715 & 85166

⑈001269⑈ ⑈072403473⑈ 01382209272⑈

Annotated Submittal

FLS PROPERTIES #5

10

2950 WALNUT LAKE RD

W BLOOMFIELD, MI 48323-3754

1283

74-347724

DATE 5/11/2018

CHECK NUMBER
74-347724

PAY
TO THE
ORDER OF

PM Environmental, Inc.

\$ 14,613.33

---Fourteen Thousand Six Hundred Thirteen Dollars and 33/100---

DOLLARS



See my
Statement
Days on
Back



Private Banking

Fuller

FOR Invoice #85575

MP

⑈001283⑈ ⑈072403473⑈ 01382209272⑈

31

Supplemental information provided 12/16/20

FLS PROPERTIES #5
2950 WALNUT LAKE RD
W BLOOMFIELD, MI 48323-3754

DATE 11/3/2017

PAY TO THE ORDER OF PM Environmental

Five Thousand Dollars and 00/100

\$ 5,000.00 DOLLARS

Huntington Private Bank

FOR Change Order #177 Proposal #Q1010337

1100123011 150724034731 0138220927211

Item Number 00000003

Front
This is listed for Invoice 87608 in check register but not included in eligible cost table

11

1010

FLS PROPERTIES #5 LLC
2950 WALNUT LAKE RD.
WEST BLOOMFIELD, MI 48323

74-1001/724
74-1001/724

DATE 10/10/2018

PAY TO THE ORDER OF PM Environmental, Inc.

\$ 2,173.12

Two Thousand One Hundred Seventy Three Dollars and 12/100 DOLLARS

CHEMICAL BANK

[Signature]

FOR Invoice #87608

⑈001010⑈ ⑆072410013⑆ 2552533578⑈

FLS PROPERTIES #5 LLC

2950 WALNUT LAKE RD.
WEST BLOOMFIELD, MI 48323

12a and 12b

1028

EMERSON Credit Fund
A Program for Business
74-1001/724

DATE 1/22/2019

PAY TO THE ORDER OF PM Environmental, Inc.

\$ 7,450.00

--- Seven Thousand Four Hundred Fifty Dollars and 00/100 ---

DOLLARS

CHEMICAL BANK

FOR Invoice #88529

[Signature]

⑈001028⑈ ⑈072410013⑈ 2552533578⑈

FLS PROPERTIES #5 LLC

2950 WALNUT LAKE RD
WEST BLOOMFIELD, MI 48323

1082

74-1431724

DATE 6/24/2020



PAY TO THE ORDER OF PM Environmental, Inc.

\$ 1,250.00

One Thousand Two Hundred Fifty Dollars and 00/100 ---

DOLLARS



Invoice #94157

FOR

⑈001082⑈ ⑆072414310⑆ 1000151701⑈



13

FLS PROPERTIES #5 LLC

2950 WALNUT LAKE RD
WEST BLOOMFIELD, MI 48323

1110

74-1431724

DATE 8/3/2020



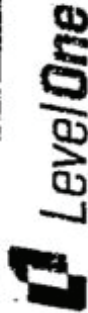
PAY TO THE ORDER OF PM Environmental, Inc.

\$1,000.00

One Thousand Dollars and 00/100 ---



DOLLARS



BANK
FOR deposit - proposal 01017437

[Signature]

⑆001110⑆ ⑆072414310⑆ 1000161701⑆

14

FLS PROPERTIES #5 LLC

2950 WALNUT LAKE RD
WEST BLOOMFIELD, MI 48323

15

1127

74-1431/724

DATE 8/26/20

CHECK AMOUNT
IN FIGURES

PAY TO THE ORDER OF PM Environmental, Inc.

\$ 2,300.00

Two Thousand Three Hundred Dollars and 00/100

DOLLARS

Photo
not
for
deposit
in
bank

LevelOne

BANK

FOR Invoice # 94/62



⑈001127⑈ ⑈072414310⑈ ⑈00151701⑈

FLS PROPERTIES #5 LLC
2950 WALNUT LAKE RD
WEST BLOOMFIELD, MI 48323

27b

1158

74-1431724

DATE 9/22/2020

CHECKS ARE
VOID WHEN
CANCELED

PAY
TO THE
ORDER OF PM Environmental

\$ 2,500.00

Two Thousand Five Hundred Dollars and 00/100 ---

DOLLARS

Photo
Safe
Deposit
Box

LevelOne

BANK
FOR Deposit for Proposal # 01017723

Frank R. Ligon

⑈001158⑈ ⑆072414310⑆ 1000161701⑈

Annotated Submittal

Attachment to ASTI Environmental Memo Dated March 25, 2021

Attachment Page No. 142

FLS PROPERTIES #5 LLC

2950 WALNUT LAKE RD
WEST BLOOMFIELD, MI 48323

27a

1216

74-1431/724

DATE 11/13/2020

CHECK NUMBER
74-1431/724

PAY
TO THE ORDER OF PM Environmental, Inc.

\$ 1,678.75

One Thousand Six Hundred Seventy Eight Dollars and 75/100

DOLLARS



FOR Invoice #95569

[Signature]

Photo
Safe
Deposit
Outside on back

⑈001216⑈ ⑆072414310⑆ 1000161701⑈

The Douglas Company

PAYMENT APPLICATION

TO: FLS PROPERTIES #5, LLC 2950 WALNUT LAKE ROAD WEST BLOOMFIELD, MI 48323		PROJECT NAME AND LOCATION: 18-022-0 THE PEARL DEVELOPMENT 856 NORTH OLD WOODWARD BIRMINGHAM, MI 48009	APPLICATION # 24	Distribution to: 08/25/2020 <input type="checkbox"/> OWNER 18-022-0 <input type="checkbox"/> ARCHITECT
FROM: THE DOUGLAS COMPANY 1716 PERRYSBURG HOLLAND ROAD HOLLAND, OHIO 43528		ARCHITECT: MARUSICH ARCHITECTURE 36880 WOODWARD AVENUE SUITE 100 BLOOMFIELD HILLS, MI 48304	DATE OF CONTRACT: 05/29/2018	CONTRACTOR <input type="checkbox"/>
FOR: GENERAL CONSTRUCTION				

CONTRACTOR'S SUMMARY OF WORK

Application is made for payment as shown below.
Continuation Page is attached.

1. CONTRACT AMOUNT	\$13,658,747.00
2. SUM OF ALL CHANGE ORDERS	\$1,356,073.35
3. CURRENT CONTRACT AMOUNT (Line 1 +/- 2)	\$15,014,820.35
4. TOTAL COMPLETED AND STORED (Column G on Continuation Page)	\$15,014,820.35
5. RETAINAGE:	
a. 0.00% of Completed Work (Columns D + E on Continuation Page)	\$0.00
b. 0.00% of Material Stored (Column F on Continuation Page)	\$0.00
Total Retainage (Line 5a + 5b or Column I on Continuation Page)	\$0.00
6. TOTAL COMPLETED AND STORED LESS RETAINAGE (Line 4 minus Line 5 Total)	\$15,014,820.35
7. LESS PREVIOUS PAYMENT APPLICATIONS	\$13,513,338.35
8. PAYMENT DUE	\$1,501,482.00
9. BALANCE TO COMPLETION (Line 3 minus Line 6)	\$0.00

SUMMARY OF CHANGE ORDERS	ADDITIONS	DEDUCTIONS
Total changes approved in previous months	\$1,382,340.70	(\$26,267.35)
Total approved this month	\$0.00	\$0.00
TOTALS	\$1,382,340.70	(\$26,267.35)
NET CHANGES	\$1,356,073.35	

PAYMENT APPLICATION

Contractor's signature below is his assurance to Owner, concerning the payment herein applied for, that: (1) the Work has been performed as required in the Contract Documents, (2) all sums previously paid to Contractor under the Contract have been used to pay Contractor's costs for labor, materials and other obligations under the Contract for Work previously paid for, and (3) Contractor is legally entitled to this payment.

CONTRACTOR: THE DOUGLAS COMPANY

By: LYNN M. MILLER ASSISTANT CONTROLLER Date: 08/24/2020

State of: Ohio

County of: Lucas

Subscribed and sworn to before

me this 24th day of August 2020



Notary Public: Kimberly Heath

My Commission Expires: 3/22/2022

ARCHITECT'S CERTIFICATION

Architect's signature below is his assurance to Owner, concerning the payment herein applied for, that: (1) Architect has inspected the Work represented by this Application, (2) such Work has been completed to the extent indicated in this Application, and the quality of workmanship and materials conforms with the Contract Documents, (3) this Application for Payment accurately states the amount of Work completed and payment due therefor, and (4) Architect knows of no reason why payment should not be made.

CERTIFIED AMOUNT: _____

(If the certified amount is different from the payment due, you should attach an explanation. Initial all the figures that are changed to match the certified amount.)

Architect: JOHN MARUSICH

By: _____ Date: _____

Neither this Application nor payment applied for herein is assignable or negotiable. Payment shall be made only to Contractor, and is without prejudice to any rights of Owner or Contractor under the Contract Documents or otherwise.

CONTINUATION PAGE

Payment Application containing Contractor's signature is attached.

PROJECT: 18-022-0
THE PEARL DEVELOPMENT

APPLICATION #: 24
DATE OF APPLICATION: 08/24/2020
PERIOD THRU: 08/25/2020
PROJECT #s: 18-022-0

A ITEM #	B WORK DESCRIPTION	C SCHEDULED AMOUNT	D COMPLETED WORK		F STORED MATERIALS (NOT IN D OR E)	G		H BALANCE TO COMPLETION (C-G)	I RETAINAGE (If Variable)
			AMOUNT PREVIOUS PERIODS	AMOUNT THIS PERIOD		TOTAL COMPLETED AND STORED (D + E + F)	% COMP. (G / C)		
01	EXCAVATION	\$162,678.00	\$162,678.00	\$0.00	\$0.00	\$162,678.00	100%	\$0.00	
02	ASPHALT PAVING	\$20,000.00	\$20,000.00	\$0.00	\$0.00	\$20,000.00	100%	\$0.00	
03	STRIPING	\$2,265.00	\$2,265.00	\$0.00	\$0.00	\$2,265.00	100%	\$0.00	
04	SITE IMPROVEMENTS	\$10,000.00	\$10,000.00	\$0.00	\$0.00	\$10,000.00	100%	\$0.00	
05	LANDSCAPING (ALLOWANCE)	\$10,000.00	\$10,000.00	\$0.00	\$0.00	\$10,000.00	100%	\$0.00	
06	SITE CONCRETE	\$53,868.00	\$53,868.00	\$0.00	\$0.00	\$53,868.00	100%	\$0.00	
07	FENCING	\$1,190.00	\$1,190.00	\$0.00	\$0.00	\$1,190.00	100%	\$0.00	
08	BUILDING SIGNAGE	\$7,481.00	\$7,481.00	\$0.00	\$0.00	\$7,481.00	100%	\$0.00	
09	CONCRETE	\$1,717,487.19	\$1,717,487.19	\$0.00	\$0.00	\$1,717,487.19	100%	\$0.00	
10	GYPCRETE	\$67,890.00	\$67,890.00	\$0.00	\$0.00	\$67,890.00	100%	\$0.00	
11	MASONRY	\$1,047,000.00	\$1,047,000.00	\$0.00	\$0.00	\$1,047,000.00	100%	\$0.00	
12	STEEL FABRICATION	\$745,200.81	\$745,200.81	\$0.00	\$0.00	\$745,200.81	100%	\$0.00	
13	MISC. STEEL	\$106,300.00	\$106,300.00	\$0.00	\$0.00	\$106,300.00	100%	\$0.00	
14	FIREPROOFING	\$40,000.00	\$40,000.00	\$0.00	\$0.00	\$40,000.00	100%	\$0.00	
15	SUN SHADE	\$72,650.00	\$72,650.00	\$0.00	\$0.00	\$72,650.00	100%	\$0.00	
16	METAL SCREENS	\$12,667.00	\$12,667.00	\$0.00	\$0.00	\$12,667.00	100%	\$0.00	
17	BALCONY RAILING	\$75,932.00	\$75,932.00	\$0.00	\$0.00	\$75,932.00	100%	\$0.00	
18	ROUGH CARPENTRY	\$844,629.00	\$844,629.00	\$0.00	\$0.00	\$844,629.00	100%	\$0.00	
19	FINISH CARPENTRY	\$595,841.00	\$595,841.00	\$0.00	\$0.00	\$595,841.00	100%	\$0.00	
20	LOBBY MILLWORK	\$35,000.00	\$35,000.00	\$0.00	\$0.00	\$35,000.00	100%	\$0.00	
21	WATERPROOFING	\$164,225.00	\$164,225.00	\$0.00	\$0.00	\$164,225.00	100%	\$0.00	
22	INSULATION	\$64,300.00	\$64,300.00	\$0.00	\$0.00	\$64,300.00	100%	\$0.00	
23	EPDM ROOFING	\$115,000.00	\$115,000.00	\$0.00	\$0.00	\$115,000.00	100%	\$0.00	
24	SIDING & TRIM	\$74,640.00	\$74,640.00	\$0.00	\$0.00	\$74,640.00	100%	\$0.00	
25	CAULKING	\$57,240.00	\$57,240.00	\$0.00	\$0.00	\$57,240.00	100%	\$0.00	
26	DOORS & FRAMES	\$147,338.00	\$147,338.00	\$0.00	\$0.00	\$147,338.00	100%	\$0.00	
27	OVERHEAD DOORS	\$8,012.00	\$8,012.00	\$0.00	\$0.00	\$8,012.00	100%	\$0.00	
28	WINDOWS	\$166,623.00	\$166,623.00	\$0.00	\$0.00	\$166,623.00	100%	\$0.00	
29	GLASS & GLAZING	\$151,775.00	\$151,775.00	\$0.00	\$0.00	\$151,775.00	100%	\$0.00	
	SUB-TOTALS	\$6,577,232.00	\$6,577,232.00	\$0.00	\$0.00	\$6,577,232.00	100%	\$0.00	

CONTINUATION PAGE

Quantum Software Solutions, Inc. Document

CONTINUATION PAGE

PROJECT: 18-022-0 THE PEARL DEVELOPMENT
 APPLICATION #: 24
 DATE OF APPLICATION: 08/24/2020
 PERIOD THRU: 08/25/2020
 PROJECT #s: 18-022-0

Payment Application containing Contractor's signature is attached.

A ITEM #	B WORK DESCRIPTION	C SCHEDULED AMOUNT	D COMPLETED WORK		F STORED MATERIALS (NOT IN D OR E)	G		H BALANCE TO COMPLETION (C-G)	I RETAINAGE (If Variable)
			AMOUNT PREVIOUS PERIODS	AMOUNT THIS PERIOD		TOTAL COMPLETED AND STORED (D + E + F)	% COMP. (G / C)		
30	DRYWALL & METAL STUDS	\$761,000.00	\$761,000.00	\$0.00	\$0.00	\$761,000.00	100%	\$0.00	
31	ACOUSTICAL CEILINGS	\$93,045.00	\$93,045.00	\$0.00	\$0.00	\$93,045.00	100%	\$0.00	
32	CERAMIC TILE FLOORING	\$360,955.00	\$360,955.00	\$0.00	\$0.00	\$360,955.00	100%	\$0.00	
33	CARPETING / WOOD	\$272,963.00	\$272,963.00	\$0.00	\$0.00	\$272,963.00	100%	\$0.00	
34	PAINTING & WALLCOVERING	\$229,950.00	\$229,950.00	\$0.00	\$0.00	\$229,950.00	100%	\$0.00	
35	PARKING GATES (ALLOWANCE)	\$13,900.00	\$13,900.00	\$0.00	\$0.00	\$13,900.00	100%	\$0.00	
36	FIRE EXTINGUISHERS	\$4,250.00	\$4,250.00	\$0.00	\$0.00	\$4,250.00	100%	\$0.00	
37	WINDOW TREATMENT	\$27,936.00	\$27,936.00	\$0.00	\$0.00	\$27,936.00	100%	\$0.00	
38	FIREPLACES	\$27,640.00	\$27,640.00	\$0.00	\$0.00	\$27,640.00	100%	\$0.00	
39	DIVISION 10 SPECIALTIES	\$95,061.00	\$95,061.00	\$0.00	\$0.00	\$95,061.00	100%	\$0.00	
40	WHITE BOX BUILD OUT	\$41,440.00	\$41,440.00	\$0.00	\$0.00	\$41,440.00	100%	\$0.00	
41	TRASH CHUTE	\$11,642.00	\$11,642.00	\$0.00	\$0.00	\$11,642.00	100%	\$0.00	
42	RESIDENTIAL APPLIANCES	\$122,000.00	\$122,000.00	\$0.00	\$0.00	\$122,000.00	100%	\$0.00	
43	ELEVATORS	\$120,000.00	\$120,000.00	\$0.00	\$0.00	\$120,000.00	100%	\$0.00	
44	HVAC	\$570,000.00	\$570,000.00	\$0.00	\$0.00	\$570,000.00	100%	\$0.00	
45	PLUMBING	\$605,373.00	\$605,373.00	\$0.00	\$0.00	\$605,373.00	100%	\$0.00	
46	FIRE PROTECTION	\$252,850.00	\$252,850.00	\$0.00	\$0.00	\$252,850.00	100%	\$0.00	
47	ELECTRICAL	\$836,400.00	\$836,400.00	\$0.00	\$0.00	\$836,400.00	100%	\$0.00	
48	GENERAL REQUIREMENTS	\$1,182,951.74	\$1,182,951.74	\$0.00	\$0.00	\$1,182,951.74	100%	\$0.00	
49	BUILDERS OVERHEAD	\$539,779.75	\$539,779.75	\$0.00	\$0.00	\$539,779.75	100%	\$0.00	
50	BUILDERS PROFIT	\$362,889.51	\$362,889.51	\$0.00	\$0.00	\$362,889.51	100%	\$0.00	
51	CRANE	\$549,489.00	\$549,489.00	\$0.00	\$0.00	\$549,489.00	100%	\$0.00	
52	CHANGE ORDER #01	\$356,136.00	\$356,136.00	\$0.00	\$0.00	\$356,136.00	100%	\$0.00	
53	CHANGE ORDER #02	\$49,381.11	\$49,381.11	\$0.00	\$0.00	\$49,381.11	100%	\$0.00	See Item 15
54	CHANGE ORDER #03	\$36,043.96	\$36,043.96	\$0.00	\$0.00	\$36,043.96	100%	\$0.00	See Item 28
55	CHANGE ORDER #04	\$19,640.10	\$19,640.10	\$0.00	\$0.00	\$19,640.10	100%	\$0.00	
56	CHANGE ORDER #05R	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	100%	\$0.00	
57	CHANGE ORDER #06	\$47,416.00	\$47,416.00	\$0.00	\$0.00	\$47,416.00	100%	\$0.00	
58	CHANGE ORDER #07	\$398,592.01	\$398,592.01	\$0.00	\$0.00	\$398,592.01	100%	\$0.00	
	SUB-TOTALS	\$14,565,956.18	\$14,565,956.18	\$0.00	\$0.00	\$14,565,956.18	100%	\$0.00	

CONTINUATION PAGE

Quantum Software Solutions, Inc. Document

CONTINUATION PAGE

Page 4 of 4

PROJECT: 18-022-0 THE PEARL DEVELOPMENT
 APPLICATION #: 24
 DATE OF APPLICATION: 08/24/2020
 PERIOD THRU: 08/25/2020
 PROJECT #s: 18-022-0

Payment Application containing Contractor's signature is attached.

A ITEM #	B WORK DESCRIPTION	C SCHEDULED AMOUNT	D COMPLETED WORK		F STORED MATERIALS (NOT IN D OR E)	G		H BALANCE TO COMPLETION (C-G)	I RETAINAGE (If Variable)
			AMOUNT PREVIOUS PERIODS	AMOUNT THIS PERIOD		TOTAL COMPLETED AND STORED (D + E + F)	% COMP. (G / C)		
59	CHANGE ORDER #08R	\$248,920.13	\$248,920.13	\$0.00	\$0.00	\$248,920.13	100%	\$0.00	
60	CHANGE ORDER #09	\$8,797.70	\$8,797.70	\$0.00	\$0.00	\$8,797.70	100%	\$0.00	
61	CHANGE ORDER #10	\$36,454.75	\$36,454.75	\$0.00	\$0.00	\$36,454.75	100%	\$0.00	
62	CHANGE ORDER #11R	\$16,586.92	\$16,586.92	\$0.00	\$0.00	\$16,586.92	100%	\$0.00	
63	CHANGE ORDER #12	\$81,879.82	\$81,879.82	\$0.00	\$0.00	\$81,879.82	100%	\$0.00	
64	CHANGE ORDER #13	\$10,322.61	\$10,322.61	\$0.00	\$0.00	\$10,322.61	100%	\$0.00	
65	CHANGE ORDER #14	(\$26,267.35)	(\$26,267.35)	\$0.00	\$0.00	(\$26,267.35)	100%	\$0.00	
66	CHANGE ORDER #15	\$22,849.05	\$22,849.05	\$0.00	\$0.00	\$22,849.05	100%	\$0.00	
67	CHANGE ORDER #16	\$27,885.97	\$27,885.97	\$0.00	\$0.00	\$27,885.97	100%	\$0.00	
68	CHANGE ORDER #17	\$3,031.95	\$3,031.95	\$0.00	\$0.00	\$3,031.95	100%	\$0.00	
69	CHANGE ORDER #18	\$18,402.62	\$18,402.62	\$0.00	\$0.00	\$18,402.62	100%	\$0.00	
	TOTALS	\$15,014,820.35	\$15,014,820.35	\$0.00	\$0.00	\$15,014,820.35	100%	\$0.00	

CONTINUATION PAGE

Quantum Software Solutions, Inc. Document

Annotated Submittal

Attachment to ASTI Environmental Memo Dated March 25, 2021

Attachment Page No. 148

AIA® Document G701™ – 2017

Change Order

PROJECT: (Name and address) Pearl Apartments 856 North Old Woodward Birmingham, MI 48009	CONTRACT INFORMATION: Contract For: General Construction Date: 05/29/2018	CHANGE ORDER INFORMATION: Change Order Number: 002R Date: 11/21/2018
OWNER: (Name and address) FLS Properties #5, LLC 2950 Walnut Lake Road West Bloomfield, MI 48323	ARCHITECT: (Name and address) Marusich Architecture 36880 Woodward Avenue Suite 100 Bloomfield Hills, MI 48304	CONTRACTOR: (Name and address) The Douglas Company 1716 Perrysburg Holland Road Holland, OH 43528

THE CONTRACT IS CHANGED AS FOLLOWS:

(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)

- Vapor barrier required below the slab per PME recommendations ...\$23,220.00 See Item 15b
- Future environmental contaminated water discharge thru 11/14/18 ...\$12,710.00 See Item 15a
- RFI #52 - ERS west wall elevation ...\$15,571.92
- Credit for plywood over auger cast piles in lieu of grout ...(\$6,000.00)
- The Douglas Company OH&P ...\$5,150.19 #15b partial \$23,220 + 10% = \$25,542 request
- Architect is to be changed from Krieger Klatt Architects to Marusich Architecture.
- Credit to remove The Douglas Company OH&P from item #2 ...(\$1,271.00)

The original Contract Sum was	\$ 13,658,747.00
The net change by previously authorized Change Orders	\$ 356,136.00
The Contract Sum prior to this Change Order was	\$ 14,014,883.00
The Contract Sum will be increased by this Change Order in the amount of	\$ 49,381.11
The new Contract Sum including this Change Order will be	\$ 14,064,264.11

The Contract Time will be unchanged by zero (0) days.
The new date of Substantial Completion will be

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Marusich Architecture
ARCHITECT (Firm name)

SIGNATURE

PRINTED NAME AND TITLE

DATE

The Douglas Company

CONTRACTOR (Firm name)

SIGNATURE

Brian J. McCarthy, Executive Vice
President

PRINTED NAME AND TITLE

DATE

FLS Properties #5, LLC

OWNER (Firm name)

SIGNATURE

Frank Simon

PRINTED NAME AND TITLE

DATE

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User Notes:

Annotated Submittal

Attachment to ASTI Environmental Memo Dated March 25, 2021

Attachment Page No. 149

(3B9ADA57)

15b and 28

11/14/18

FLS Properties #5, LLC

2950 Walnut lake Road
West Bloomfield, MI 48323

Re: Proposed Change Order Request #2
The Pearl Development

Dear Mr. Simon,

#15b - Item #1 in
Change Order 2R

Please see the cost below for the vapor mitigation required on the project.

This charge will be added to a future change order to the project.

1. Vapor Barrier required below the slab per PME recommendations ... \$23,220.00
2. Vapor Barrier venting thru building ... \$17,900.00

Subtotal ... \$41,120.00

The Douglas Company OH&P ... \$4,112.00

#28- Item #3 in Change Order 3R

Total Cost for Proposed Change Order Request #2 ... \$ 45,232.00

If you are in agreement with the above stated pricing, please sign below indicating your approval to proceed and we will process a change order accordingly.

Very truly yours,

THE DOUGLAS COMPANY

Tyler T. Brumbaugh

Tyler Brumbaugh
Project Manager

cc: Brian McCarthy
Andrew Best
Nicholas Hamilton

APPROVED TO PROCEED
FLS Properties #5, LLC

Frank Simon
Frank Simon
FLS Properties #5

AIA® Document G701™ – 2017

Change Order

Removed from Request (see cover memo)

PROJECT: (Name and address)
Pearl Apartments
856 North Old Woodward
Birmingham, MI 48009

CONTRACT INFORMATION:
Contract For: General Construction
Date: 05/29/2018

CHANGE ORDER INFORMATION:
Change Order Number: 003R
Date: 12/17/2018

OWNER: (Name and address)
FLS Properties #5, LLC
2950 Walnut Lake Road
West Bloomfield, MI 48323

ARCHITECT: (Name and address)
Marusich Architecture
36880 Woodward Avenue
Suite 100
Bloomfield Hills, MI 48304

CONTRACTOR: (Name and address)
The Douglas Company
1716 Perrysburg Holland Road
Holland, OH 43528

THE CONTRACT IS CHANGED AS FOLLOWS:

(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)

Approved items per letter dated 12/7/18 from Mr. Facca:

1. Item 3: Install metal deck and additional steel at the top of the shafts from 5/25 drawings ...\$15,481.00
2. Item 5: Install additional concrete and rebar per 5/25 structural drawings at grade beam ...\$9,289.00
3. Item 13: Vapor barrier venting thru building ...\$17,900.00
4. Item 15: Drawing revisions 5.25.18 roof parapet steel ...\$26,881.60
5. Item 16: Drawing revisions 6.22.18 drawing set ...\$6,651.50
6. Item 17: Bulletin 2 revisions made 8.29.18 - Victoris Steel only ...\$3,100.50
7. Item 20: Steel pricing reduction (detailing time & transportation costs) ...(\$2,000.00)
8. Item 6: Install wire shelving ILO plastic laminate shelving in the unit closets ...(\$4,764.00)
9. Item 7: Install interior signage as shown on plan below allowance ...(\$2,647.00)
10. Item 8: Install a single overhand width brick wall at the north elevation ILO per design ...(\$24,327.00)
11. Item 9: Eliminate the casing around all of the unit windows ...(\$5,376.00)
12. Item 10: Provide a 10 year manufacturers warranty ILO specified 20 year roof warranty ...(\$9,399.00)

Item 28

\$17,900+10%
oversight = \$19,690

Total Construction Changes	\$30,796.60
TDC OH&P on Construction Changes	\$5,253.36
Total for all changes	\$36,043.96

The original Contract Sum was	\$	13,658,747.00
The net change by previously authorized Change Orders	\$	405,517.11
The Contract Sum prior to this Change Order was	\$	14,064,264.11
The Contract Sum will be increased by this Change Order in the amount of	\$	36,043.96
The new Contract Sum including this Change Order will be	\$	14,100,308.07

The Contract Time will be unchanged by zero (0) days.
The new date of Substantial Completion will be

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Marusich Architecture
ARCHITECT (Firm name)

The Douglas Company
CONTRACTOR (Firm name)

FLS Properties #5, LLC
OWNER (Firm name)

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User Notes:

Annotated Submittal

Attachment to ASTI Environmental Memo Dated March 25, 2021

Attachment Page No. 151

SIGNATURE

PRINTED NAME AND TITLE

DATE

SIGNATURE

Brian J. McCarthy, Executive Vice
President

PRINTED NAME AND TITLE

JANUARY 23, 2019
DATE

SIGNATURE

Frank Simon

PRINTED NAME AND TITLE

1-23-19
DATE

FUTURE

15a-1

www.futureenvironmental.com

19701 SOUTH 97th AVENUE, MOKENA, IL 60448

FEIN # 36-4059612 VENDOR D6902

PO need

JOB 180220 COST CODE need

BILL TO :

THE DOUGLAS COMPANY
1716 PERRYSBURG HOLLAND RD
HOLLAND OH 43528

DATE	DUE DATE	INVOICE #
9/13/2018	10/13/2018	D25275

INVOICE TOTAL	\$1,005.00
------------------	------------

Current Account Balance : \$2,290.00

Please call for a Statement of your Account 1-866-579-6900

SITE ADDRESS:

THE PEARL
856 OLD WOODWARD
BIRMINGHAM, MI

LOAD #	RECEIPT #	MANIFEST #	DRIVER	TERMS	DUE DATE
M113638	D25275	M113638	TONM	Net 30	10/13/2018

DESCRIPTION	QUANTITY	RATE	AMOUNT
CONTAMINATED WATER	1,700	0.40	680.00
TRUCK CHARGE	1	325.00	325.00
<div>RECEIVED</div> <div>SEP 24 2018</div> <div>The Douglas Company</div>			

THANK YOU FOR YOUR BUSINESS

Billing Questions ?

1-866-579-6900

(708) 479-6900 Corporate Office

(708) 479-6890 Fax



SUBTOTAL	\$1,005.00
SALES TAX (7.5%)	\$0.00
PAYMENT APPLIED	\$0.00
BALANCE DUE	\$1,005.00

FUTURE

ENVIRONMENTAL, INC.

www.futureenvironmental.com

19701 SOUTH 97th AVENUE, MOKENA, IL 60448
FEIN # 36-4059612

15a-2

DATE	DUE DATE	INVOICE #
9/24/2018	10/24/2018	D25295

VENDOR 06902

PO need

DB 18022-0

COST CODE _____

INVOICE TOTAL	\$1,685.00
--------------------------	-------------------

BILL TO :

THE DOUGLAS COMPANY
1716 PERRYSBURG HOLLAND RD
HOLLAND OH 43528

Current Account Balance : \$3,975.00

Please call for a Statement of your Account 1-866-579-6900

SITE ADDRESS:

THE PEARL
856 OLD WOODWARD
BIRMINGHAM, MI

LOAD #	RECEIPT #	MANIFEST #	DRIVER	TERMS	DUE DATE
M113678	D25295	M113678	TONM	Net 30	10/24/2018

DESCRIPTION	QUANTITY	RATE	AMOUNT
CONTAMINATED WATER	3,400	0.40	1,360.00 ✓
TRUCK CHARGE	1	325.00	325.00
<p>RECEIVED</p> <p>SEP 08 2018</p> <p>The Douglas Company</p>			

THANK YOU FOR YOUR BUSINESS

Billing Questions ?

1-866-579-6900
(708) 479-6900 Corporate Office
(708) 479-6890 Fax



SUBTOTAL	\$1,685.00 ✓
SALES TAX (7.5%)	\$0.00
PAYMENT APPLIED	\$0.00
BALANCE DUE	\$1,685.00 ✓

FUTURE

ENVIRONMENTAL, INC.

www.futureenvironmental.com

19701 SOUTH 97th AVENUE, MOKENA, IL 60448
FEIN # 36-4059612

VENDOR 06902

PO need

15a-3

DATE	DUE DATE	INVOICE #
9/26/2018	10/26/2018	D25554

JOB 18022-0

COST CODE _____

INVOICE TOTAL	\$1,725.00
--------------------------	-------------------

BILL TO :

THE DOUGLAS COMPANY
1716 PERRYSBURG HOLLAND RD
HOLLAND OH 43528

Current Account Balance : \$5,700.00

Please call for a Statement of your Account 1-866-579-6900

SITE ADDRESS:

THE PEARL
856 OLD WOODWARD
BIRMINGHAM, MI

LOAD #	RECEIPT #	MANIFEST #	DRIVER	TERMS	DUE DATE
M113680	D25554	M113680	TONM	Net 30	10/26/2018

DESCRIPTION	QUANTITY	RATE	AMOUNT
CONTAMINATED WATER	3,500	0.40	1,400.00
TRUCK CHARGE	1	325.00	325.00
<div>RECEIVED</div> <div>09 09 2018</div> <div>The Douglas Company</div>			

THANK YOU FOR YOUR BUSINESS

Billing Questions ?

1-866-579-6900
(708) 479-6900 Corporate Office
(708) 479-6890 Fax



SUBTOTAL	\$1,725.00
SALES TAX (7.5%)	\$0.00
PAYMENT APPLIED	\$0.00
BALANCE DUE	\$1,725.00

FUTURE

ENVIRONMENTAL, INC.

www.futureenvironmental.com

19701 SOUTH 97th AVENUE, MOKENA, IL 60448
FEIN # 36-4059612 VENDOR 06902

15a-4

PO need

DATE	DUE DATE	INVOICE #
10/3/2018	11/2/2018	D25569

JOB 180820 COST CODE _____

INVOICE TOTAL	\$1,085.00
----------------------	-------------------

BILL TO :

THE DOUGLAS COMPANY
1716 PERRYSBURG HOLLAND RD
HOLLAND OH 43528

Current Account Balance : \$6,785.00

Please call for a Statement of your Account 1-866-579-6900

SITE ADDRESS:

THE PEARL
856 OLD WOODWARD
BIRMINGHAM, MI

LOAD #	RECEIPT #	MANIFEST #	DRIVER	TERMS	DUE DATE
M113707	D25569	M113707	TONM	Net 30	11/2/2018

DESCRIPTION	QUANTITY	RATE	AMOUNT
CONTAMINATED WATER	1,900	0.40	760.00
TRUCK CHARGE	1	325.00	325.00
<div>RECEIVED</div> <div>OCT 15 2018</div> <div>The Douglas Company</div>			

THANK YOU FOR YOUR BUSINESS

Billing Questions ?

1-866-579-6900
(708) 479-6900 Corporate Office
(708) 479-6890 Fax



SUBTOTAL	\$1,085.00
SALES TAX (7.5%)	\$0.00
PAYMENT APPLIED	\$0.00
BALANCE DUE	\$1,085.00



www.astienv.com

19701 SOUTH 97th AVENUE, MOKENA, IL 60448
FEIN # 36-4059612 FAX OF 06902

15a-5

PO need

DATE	DUE DATE	INVOICE #
10/8/2018	11/7/2018	D25584

180220 COST CODE _____

BILL TO :

THE DOUGLAS COMPANY
1716 PERRYSBURG HOLLAND RD
HOLLAND OH 43528

INVOICE TOTAL	\$1,725.00
----------------------	-------------------

Current Account Balance : \$8,510.00

Please call for a Statement of your Account 1-866-579-6900

SITE ADDRESS:

THE PEARL
856 OLD WOODWARD
BIRMINGHAM, MI

LOAD #	RECEIPT #	MANIFEST #	DRIVER	TERMS	DUE DATE
M113711	D25584	M113711	TONM	Net 30	11/7/2018

DESCRIPTION	QUANTITY	RATE	AMOUNT
CONTAMINATED WATER	3,500	0.40	1,400.00 ✓
TRUCK CHARGE	1	325.00	325.00
<p>RECEIVED OCT 19 2018 The Douglas Company</p>			

THANK YOU FOR YOUR BUSINESS

Billing Questions ?

1-866-579-6900
(708) 479-6900 Corporate Office
(708) 479-6890 Fax



SUBTOTAL	\$1,725.00 ✓
SALES TAX (7.5%)	\$0.00
PAYMENT APPLIED	\$0.00
BALANCE DUE	\$1,725.00 ✓

FUTURE

ENVIRONMENTAL, INC.

www.futureenvironmental.com

19701 SOUTH 97th AVENUE, MOKENA, IL 60448
FEIN # 36-4059612

15a-6

DATE	DUE DATE	INVOICE #
10/11/2018	11/10/2018	D25589

BILL TO :

THE DOUGLAS COMPANY
1716 PERRYSBURG HOLLAND RD
HOLLAND OH 43528

INVOICE TOTAL	\$1,725.00
----------------------	-------------------

Current Account Balance : \$10,235.00

Please call for a Statement of your Account 1-866-579-6900

SITE ADDRESS:

THE PEARL
856 OLD WOODWARD
BIRMINGHAM, MI

LOAD #	RECEIPT #	MANIFEST #	DRIVER	TERMS	DUE DATE
M113725	D25589	M113725	TONM	Net 30	11/10/2018

DESCRIPTION	QUANTITY	RATE	AMOUNT
CONTAMINATED WATER	3,500	0.40	1,400.00
TRUCK CHARGE	1	325.00	325.00
<div>RECEIVED OCT 24 2018 The Douglas Company</div>			

THANK YOU FOR YOUR BUSINESS

Billing Questions ?

1-866-579-6900
(708) 479-6900 Corporate Office
(708) 479-6890 Fax



SUBTOTAL	\$1,725.00
SALES TAX (7.5%)	\$0.00
PAYMENT APPLIED	\$0.00
BALANCE DUE	\$1,725.00

FUTURE

ENVIRONMENTAL, INC.

www.futureenvironmental.com

19701 SOUTH 97th AVENUE, MOKENA, IL 60448

FEIN # 36-4059612

VENDOR

06902

PO need

15a-7

DATE	DUE DATE	INVOICE #
10/17/2018	11/16/2018	D26056

JOB 180220 COST CODE _____

INVOICE TOTAL	\$645.00
----------------------	-----------------

BILL TO :

THE DOUGLAS COMPANY
1716 PERRYSBURG HOLLAND RD
HOLLAND OH 43528

Current Account Balance : \$10,880.00

Please call for a Statement of your Account 1-866-579-6900

SITE ADDRESS:

THE PEARL
856 OLD WOODWARD
BIRMINGHAM, MI

LOAD #	RECEIPT #	MANIFEST #	DRIVER	TERMS	DUE DATE
M113729	D26056	M113729	TONM	Net 30	11/16/2018

DESCRIPTION	QUANTITY	RATE	AMOUNT
CONTAMINATED WATER	800	0.40	320.00
TRUCK CHARGE	1	325.00	325.00
<div>RECEIVED</div> <div>OCT 30 2018</div> <div>The Douglas Company</div>			

THANK YOU FOR YOUR BUSINESS

Billing Questions ?

1-866-579-6900

(708) 479-6900 Corporate Office

(708) 479-6890 Fax



SUBTOTAL	\$645.00
SALES TAX (7.5%)	\$0.00
PAYMENT APPLIED	\$0.00
BALANCE DUE	\$645.00

FUTURE

ENVIRONMENTAL, INC.

www.futureenvironmental.com

19701 SOUTH 97th AVENUE, MOKENA, IL 60448
FEIN # 36-4059612

VENDOR 06902

PO need

15a-8

DATE	DUE DATE	INVOICE #
10/24/2018	11/23/2018	D26070

JOB 18022-0 COST CODE _____

INVOICE TOTAL	\$1,245.00
----------------------	-------------------

BILL TO :

THE DOUGLAS COMPANY
1716 PERRYSBURG HOLLAND RD
HOLLAND OH 43528

Current Account Balance : \$12,125.00

Please call for a Statement of your Account 1-866-579-6900

SITE ADDRESS:

THE PEARL
856 OLD WOODWARD
BIRMINGHAM, MI

LOAD #	RECEIPT #	MANIFEST #	DRIVER	TERMS	DUE DATE
M115261	D26070	M115261	TONM	Net 30	11/23/2018

DESCRIPTION	QUANTITY	RATE	AMOUNT
CONTAMINATED WATER	2,300	0.40	920.00
TRUCK CHARGE	1	325.00	325.00
<div>RECEIVED</div> <div>NOV 02 2018</div> <div>The Douglas Company</div>			

THANK YOU FOR YOUR BUSINESS

Billing Questions ?

1-866-579-6900
(708) 479-6900 Corporate Office
(708) 479-6890 Fax



SUBTOTAL	\$1,245.00
SALES TAX (7.5%)	\$0.00
PAYMENT APPLIED	\$0.00
BALANCE DUE	\$1,245.00

FUTURE

ENVIRONMENTAL, INC.

www.futureenvironmental.com

19701 SOUTH 97th AVENUE, MOKENA, IL 60448
FEIN # 36-4059612

VENDOR D6902

PO need

JOB 18022-0 COST CODE _____

BILL TO :

THE DOUGLAS COMPANY
1716 PERRYSBURG HOLLAND RD
HOLLAND OH 43528

15a-9

DATE	DUE DATE	INVOICE #
11/5/2018	12/5/2018	D26099

INVOICE TOTAL	\$1,645.00
----------------------	-------------------

Current Account Balance : \$13,770.00

Please call for a Statement of your Account 1-866-579-6900

SITE ADDRESS:

THE PEARL
856 OLD WOODWARD
BIRMINGHAM, MI

LOAD #	RECEIPT #	MANIFEST #	DRIVER	TERMS	DUE DATE
M115301	D26099	M115301	TONM	Net 30	12/5/2018

DESCRIPTION	QUANTITY	RATE	AMOUNT
CONTAMINATED WATER	3,300	0.40	1,320.00
TRUCK CHARGE	1	325.00	325.00
<p>RECEIVED</p> <p>NOV 18 2018</p> <p>The Douglas Company</p>			

THANK YOU FOR YOUR BUSINESS

Billing Questions ?

1-866-579-6900
(708) 479-6900 Corporate Office
(708) 479-6890 Fax



SUBTOTAL	\$1,645.00
SALES TAX (7.5%)	\$0.00
PAYMENT APPLIED	\$0.00
BALANCE DUE	\$1,645.00

15a-10



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THE DOUGLAS COMPANY
1716 PERRYSBURG-HOLLAND RD.
HOLLAND, OH 43528

KeyBank, N.A.
NW Ohio
6-103/410

126827

DATE: February 20, 2019

PAY ONLY **5,260** ^d/₁₀₀

\$ 5,260.00

PAY Five Thousand Two Hundred Sixty and 00/100 Dollars

TO THE ORDER OF **FUTURE ENVIRONMENTAL, INC.**
19701 SOUTH 97TH AVENUE
MOKENA, IL 60448

David M. Kelly

ADDITIONAL SECURITY FEATURES. DETAILS ON BACK.

⑈ 126827 ⑈ ⑆041001039⑆359681488094⑈

28506631 3 2019-03-20 5260.00

320001264089 032019
BMO Harris Bank N.A. 001600288<

Security Features:

- **Color Shift:** Colors to light to view watermark.
- **Fluorescent Fibers:** Fluorescent fibers only visible under UV light.
- **Chemical Reactivity:** Chemical reaction will result in color change to the serial number.
- **Blind Stamping:** Blind stamping is a raised area that can be felt by touch.
- **Microprint:** Microprint is a series of small dots that form a pattern.
- **Security Thread:** Security thread is a woven thread that runs through the paper.
- **Watermark:** Watermark is a design that is visible when held up to light.
- **Color Shift:** Colors to light to view watermark.
- **Fluorescent Fibers:** Fluorescent fibers only visible under UV light.
- **Chemical Reactivity:** Chemical reaction will result in color change to the serial number.
- **Blind Stamping:** Blind stamping is a raised area that can be felt by touch.
- **Microprint:** Microprint is a series of small dots that form a pattern.
- **Security Thread:** Security thread is a woven thread that runs through the paper.
- **Watermark:** Watermark is a design that is visible when held up to light.

The security features listed below exceed industry guidelines.

ENDORSE HERE:

PAY TO THE ORDER OF
BMO HARRIS BANK N.A.
CHICAGO, IL 60603-4032
⑆071025661⑆
FOR DEPOSIT ONLY
FUTURE ENVIRONMENTAL INC.
100426782
DO NOT SIGN / WRITE / STAMP BELOW THIS LINE
FOR FINANCIAL INSTITUTION USAGE ONLY

28506631 3 2019-03-20 5260.00

15a-11



THIS DOCUMENT IS PROTECTED BY INVISIBLE FIBERS AND CHEMICALLY REACTIVE PAPER. HOLD TO LIGHT TO VERIFY A TRUE WATERMARK

THE DOUGLAS COMPANY
1718 PERRYSBURG-HOLLAND RD.
HOLLAND, OH 43528

KeyBank, N.A.
NW Ohio
6-103/410

126609

DATE: January 29, 2019

PAY **8,510.00**
ONLY **8,510.00** CENTS

\$ 8,510.00

PAY Eight Thousand Five Hundred Ten and 00/100 Dollars

TO THE ORDER OF **FUTURE ENVIRONMENTAL, INC.**
19701 SOUTH 97TH AVENUE
MOKENA, IL 60448

Donald M. Kelley

ADDITIONAL SECURITY FEATURES

⑈ 126609 ⑈ ⑆041001039⑆359681488094⑈

61674601 4 2019-02-21 8510.00

Security Features:

- True Watermark:** - Hold to light to view watermark.
- Invisible Fibers:** - Fluorescent fibers only visible under UV light.
- Chemical Reactivity:** - Chemical alteration will result in color change to the area.
- Toner Adhesion:** - Paper contains a latent adhesive coating. Attempts to remove or alter toner will be detectable.
- Void Particulate:** - Paper contains a latent adhesive coating. Attempts to remove or alter toner will be detectable.
- Heat Sensitive Inks:** - When photocopied the word "VOID" can become visible, making it non-reproducible. This feature can be circumvented by high end color copiers & scanners.
- Temperature Sensitive Ink:** - Ink will temporarily fade when exposed to warmth. Rub or breathe on area to verify.
- Embossment:** - Embossed microprint signature lines. Small type appears as raised lines when copied.
- Redback Inks:** - Redback Inks indicate the check has security features from either of two ANSI standards.
- Security Strips:** - Strips on back with raised text printed light to prevent easy forgery.

© 1999 American Bank Note Company

61674601 4 2019-02-21 8510.00

15b-1



660 Woodward Ave. Suite 1945 Detroit, MI 48226
313/535-6534 ph. 313/535-6850 fax

bdarin@dixon99.com
8105883932 cell

9/11/18 Revised

856 N. Old Woodward
B'ham, Michigan

Provide vapor mitigation intrusion system at four different area's under concrete floor.....\$23,220.00

Quote based PM Environmental's figure 3 drawing dated 10/25/16 and Cetco's "Liquid Boot Plus" system, approx. 225' of venting, four days of smoke testing, four mobilization's and one vent riser for each area stubbed to 2' above finished floor.

Bld does not include temporary protection, substrate prep, dewatering, third party testing, inspection and engineering. No premium time or work above vent risers included.

Thank you,
Bill Darin

Note: Attached checks total \$24,2380, but include payments for Change Order (#15b-3) which is not part of the request for reimbursement.

SUBCONTRACTOR APPLICATION FOR PAYMENT

REC'D APR 22 2019

Subcontractor Company Name: Dixon, Inc.
Telephone: 313-535-6534
Project Name: The Pearl
Billing Period beginning: 4/1/2019

15b-2

Contact Person: Danielle Ebel : Debel@dixon99.com
Fax: 313-535-6850
Location: 856 North Old Woodward Ave. Birmingham, MI 48009
Through: 4/25/2019

The undersigned certifies that to the best of their knowledge, information, and belief, the Work covered by this Subcontractor Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Subcontractor for Work for which previous Applications for Payments were issued and payments received, and that current payment shown herein is now due.

	Scheduled Value	Work Completed Previous Application	Work Completed this period	Stored Materials (Attach supplier invoice)	Completed and Stored Project to Date	%
Original Contract (from page 2)	\$ 23,220.00	\$ 7,963.95	\$ 15,256.05	\$ -	\$ 23,220.00	100%

Approved Change order (from page 3)	\$ 1,018.00	\$ 1,018.00	\$ -	\$ -	\$ 1,018.00	100%
-------------------------------------	-------------	-------------	------	------	-------------	------

Total Contract and Change Orders	\$ 24,238.00	\$ 8,981.95	\$ 15,256.05	\$ -	\$ 24,238.00	
----------------------------------	--------------	-------------	--------------	------	--------------	--

Signature:  Date: 4/17/19

Less % retained: \$ 2,423.80
Total earned less retained: \$ 21,814.20
Less previous application: \$ 8083.76
Amount Due: \$ 13730.44

Printed Name: Elmer H. Dixon

Title: President

FOR DOUGLAS COMPANY USE ONLY

Notes:

Approvals:

Vendor # 04647
Job # 18022-0
Rev. Contract Amount
Balance to Complete
Curr. Ret. Bal.
Gross
Retention
Net

\$24,238.00
\$0.00
\$ 898.19
15,256.05
13730.44

Note: Provide detailed breakdown of all issued change orders by their respective change order number. Do not include unapproved change requests.

THE DOUGLAS COMPANY		04647	DIXON INC.		November 23, 2020		132633
DIXON INC.							23, 2020
DATE	JOB NO.	ACCOUNT NO.	COST CODE	DESCRIPTION	INVOICE NO.	AMOUNT	DEDUCTION
1/25/19	18-022-0	10-10-5110.00000	07100	01/01 - 0	01/25/1	226.39	.00
3/25/19	18-022-0	10-10-5110.00000	07100	03/01 - 0	03/25/1	101.80	.00
4/25/19	18-022-0	10-10-5110.00000	07100	04/01 - 0	04/25/1	1525.61	.00
12/25/18	18-022-0	10-10-5110.00000	07100	12/25/18	12/25/1	570.00	.00
12/31/19	18-022-0	10-10-5110.00000	07100	18-022-0	18022-F	.00	.00
11/23/20		132633	2423.80			.00	2423.80

15b-4

THE DOUGLAS COMPANY
1716 PERRYSBURG-HOLLAND RD.
HOLLAND, OH 43528

KeyBank, N.A.
NW Ohio
6-103/410

132633
DATE: November 23, 2020



PAY ONLY
2042380

\$ 2,423.80

PAY Two Thousand Four Hundred Twenty-Three and 80/100 Dollars

TO THE ORDER OF
DIXON INC.
660 WOODWARD AVE
SUITE 1945
DETROIT, MI 48226

** COPY **

THE DOUGLAS COMPANY

DIXON INC.

132633


November 23, 2020

DATE	JOB NO.	ACCOUNT NO.	COST CODE	DESCRIPTION	INVOICE NO.	AMOUNT	DEDUCTION
1/25/19	18-022-0	10-10-5110.00000	07100	01/01 - 0	01/25/1	226.39	.00
3/25/19	18-022-0	10-10-5110.00000	07100	03/01 - 0	03/25/1	101.80	.00
4/25/19	18-022-0	10-10-5110.00000	07100	04/01 - 0	04/25/1	1525.61	.00
12/25/18	18-022-0	10-10-5110.00000	07100	12/25/18	12/25/1	570.00	.00
12/31/19	18-022-0	10-10-5110.00000	07100	18-022-0	18022-F	.00	.00

THE DOUGLAS COMPANY
1716 PERRYSBURG-HOLLAND RD.
HOLLAND, OH 43528

KeyBank, N.A.
NW Ohio
6-103/410

132633
DATE: November 23, 2020



PAY ONLY
2042380

\$ 2,423.80

PAY Two Thousand Four Hundred Twenty-Three and 80/100 Dollars

TO THE ORDER OF
DIXON INC.
660 WOODWARD AVE
SUITE 1945
DETROIT, MI 48226

COPY

Annotated Submittal
Attachment to ASTI Environmental Memo Dated March 25, 2021
Attachment Page No. 168

15b-4

KeyBank 

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THE DOUGLAS COMPANY
1716 PERRYSBURG-HOLLAND RD.
HOLLAND, OH 43528

KeyBank, N.A.
NW Ohio
6-103/410

132633

DATE: November 23, 2020

PAY ONLY **2423 80**
Two Four Two Three Eight CENTS

\$ 2,423.80

PAY Two Thousand Four Hundred Twenty-Three and 80/100 Dollars

TO THE ORDER OF
DIXON INC.
660 WOODWARD AVE
SUITE 1945
DETROIT, MI 48226



Daniel M. Zelle

⑈ 132633 ⑈ ⑆041001039⑆359681488094⑈


ADDITIONAL SECURITY FEATURES.  DETAILS ON BACK.

38513703 3 2020-12-23 2423.80

Seq: 3
Dep: 000293
Date: 12/23/20

FOR DEPOSIT ONLY TO
Dixon Inc
Dixon Inc
Master
Deposited by: BS

☐ CHECK HERE IF MOBILE DEPOSIT
DO NOT SIGN / WRITE / STAMP BELOW THIS LINE
FOR FINANCIAL INSTITUTION USAGE ONLY.

 The security features listed below exceed industry guidelines.

Security Features:

- True Watermark:**
 - Hold to light to view watermark.
- Invisible Fibers:**
 - Fluorescent fibers only visible under UV light.
- Chemical Reactivity:**
 - Chemical alteration will result in color change to the area.
- Toner Adhesion:**
 - Paper contains a toner adhesive coating. Attempts to remove or alter toner will be detectable.
- Void Pantograph:**
 - When photocopied the word "VOID" can become visible, making it non-negotiable. This feature can be circumvented by high end color copiers & scanners.
- Heat Sensitive Icon:**
 - Temperature sensitive ink will temporarily fade when exposed to warmth. Hold or breathe on area to verify.
- Microprint (MP):**
 - Endorsement microprint signature lines. Small type appears as dotted lines when copied.
- Padiok Icon:**
 - Padiok icon indicates the check has security features that meet or exceed ANSI standards.
- Security Screen:**
 - Screen on back with reversed text printed light to prevent copying/scanning.

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38513703 3 2020-12-23 2423.80

15b-5



THIS DOCUMENT IS PROTECTED BY INVISIBLE FIBERS AND CHEMICALLY REACTIVE PAPER. HOLD TO LIGHT TO VERIFY A TRUE WATERMARK.

THE DOUGLAS COMPANY
1716 PERRYSBURG-HOLLAND RD.
HOLLAND, OH 43528

KeyBank, N.A.
NW Ohio
6-103/410

128002

DATE: June 14, 2019

PAY ONLY 44 CENTS

\$ 13,730.44

PAY Thirteen Thousand Seven Hundred Thirty and 44/100 Dollars

TO THE ORDER OF: DIXON INC.
660 WOODWARD AVE
SUITE 1945
DETROIT, MI 48226

Joseph L. Ludwig

ADDITIONAL SECURITY FEATURES. DETAILS ON BACK.

⑈ 128002 ⑈ ⑆041001039⑆359681488094⑈

65540562 5 2019-06-28 13730.44

FOR DEPOSIT ONLY TO

Dixon Inc
Dixon Inc
Master
Deposited by: BS

Seq: 2
Dep: 000188
Date: 06/28/19

DO NOT SIGN / WRITE / STAMP BELOW THIS LINE
FOR FINANCIAL INSTITUTION USAGE ONLY

Security Features:

- True Watermark:** Hold to light to view watermark.
- Invisible Fibers:** Fluorescent fibers only visible under UV light.
- Chemical Reactivity:** Chemical alteration will result in color change to the area.
- Toner Adhesion:** Paper contains a toner-repelling coating. Attempts to remove or alter toner will be detectable.
- Void Pantograph:** When photocopied the word "void" can become visible, making it non-reproducible. This feature can be circumvented by high end color copiers & scanners.
- Heat Sensitive Inks:** Temperature sensitive ink will temporarily fade when exposed to warmth. Folds or breathe on area to verify.
- Microprint (MIP):** Endorsement microprint signature lines. Small type appears as dotted lines when copied.
- Perforated Icon:** Perforated icon indicates the check has security features that meet or exceed ANSI standards.
- Security Screen:** Screen on back with reversed text printed light to prevent copying/scanning.

⑈ Padlock design is a certification mark of Check Payment Systems Association

65540562 5 2019-06-28 13730.44

15b-6



THIS DOCUMENT IS PROTECTED BY INVISIBLE FIBERS AND CHEMICALLY REACTIVE PAPER. HOLD TO LIGHT TO VERIFY A TRUE WATERMARK.

THE DOUGLAS COMPANY

1716 PERRYSBURG-HOLLAND RD.
HOLLAND, OH 43528

KeyBank, N.A.
NW Ohio
6-103/410

127359

DATE: April 10, 2019

PAY ONLY 916 20 CENTS

\$ 916.20

PAY Nine Hundred Sixteen and 20/100 Dollars

TO THE ORDER OF DIXON INC.
660 WOODWARD AVE
SUITE 1945
DETROIT, MI 48226

Donald M. Kelley

⑈ 127359 ⑈ ⑆041001039⑆359681488094⑈

65543129 5 2019-04-26 916.20

Security Features:

- True Watermark: Hold to light to view watermark.
- Invisible Fibers: Fluorescent fibers only visible under UV light.
- Chemical Reactivity: Chemical alteration will result in color change to the area.
- Toner Adhesion: Paper contains a toner adhesive coating. Attempts to remove or alter toner will be detectable.
- Void Pantograph: When photocopied the word "void" can become visible, making it non-negotiable. This feature can be circumvented by high end color copiers & scanners.
- Heat Sensitive Icon: Temperature sensitive ink will temporarily fade when exposed to warmth. Rub or breathe on area to verify.
- Microprint (MP): Endorsement microprint signature lines. Small type appears as dotted lines when copied.
- Padlock Icon: Padlock icon indicates the check has security features that meet or exceed ANSI standards.
- Security Screen: Screen on back with reversed text printed light to prevent copying/scanning.

MP Padlock design is a certification mark of Check Payment Systems Association

Seq: 1
Dep: 000177
Date: 04/26/19

DO NOT SIGN / WRITE / STAMP BELOW THIS LINE
FOR FINANCIAL INSTITUTION USAGE ONLY

FOR DEPOSIT ONLY TO
Dixon Inc
Dixon Inc
Master
Deposited by: BS
MP

65543129 5 2019-04-26 916.20

15b-7



THIS DOCUMENT IS PROTECTED BY INVISIBLE FIBERS AND CHEMICALLY REACTIVE PAPER. HOLD TO LIGHT TO VERIFY A TRUE WATERMARK.

THE DOUGLAS COMPANY
1716 PERRYSBURG HOLLAND RD
HOLLAND, OH 43528

KeyBank, N.A.
NW Ohio
6-103/410

126679

DATE: February 5, 2019

PAY ONLY **5130.00** CENTS

\$ 5,130.00

PAY Five Thousand One Hundred Thirty and 00/100 Dollars

TO THE ORDER OF **DIXON INC.
660 WOODWARD AVE
SUITE 1945
DETROIT, MI 48226**

Daniel M. Kelly

ADDITIONAL SECURITY FEATURES. DETAILS ON BACK.

⑈ 126679⑈ ⑆041001039⑆359681488094⑈

65517834 5 2019-03-15 5130.00

Seq: 4
Dep: 000172
Date: 03/15/19

FUND DEPOSIT ONLY TO

Dixon Inc
Dixon Inc
Master
Deposited by: BS

DO NOT SIGN / WRITE / STAMP BELOW THIS LINE
FOR FINANCIAL INSTITUTION USAGE ONLY.

The security features listed below exceed industry guidelines.

Security Features:

- True Watermark:**
 - Hold to light to view watermark.
- Invisible Fibers:**
 - Fluorescent fibers only visible under UV light.
- Chemical Reactivity:**
 - Chemical alteration will result in color change to the area.
- Toner Adhesion:**
 - Paper contains a toner adhesive coating. Attempts to remove or alter toner will be detectable.
- Void Pantograph:**
 - Paper contains a toner adhesive coating. Attempts to remove or alter toner will be detectable.
 - When photocopied the word "void" can become visible, making it non-negotiable. This feature can be circumvented by high end color copiers & scanners.
- Heat Sensitive Icon:**
 - Temperature sensitive ink will temporarily fade when exposed to warmth. Rub or breathe on area to verify.
- Microprint (MP):**
 - Encroachment microprint signature lines. Small type appears as dotted lines when copied.
- Padlock Icon:**
 - Padlock icon indicates the check has security features that meet or exceed ANSI standards.
- Security Screen:**
 - Screen on back with reversed text printed light to prevent copying/scanning.

® Padlock design is a certification mark of Check Payment Systems Association

65517834 5 2019-03-15 5130.00

15b-8



THIS DOCUMENT IS PROTECTED BY INVISIBLE FIBERS AND CHEMICALLY REACTIVE PAPER. HOLD TO LIGHT TO VERIFY A TRUE WATERMARK.

THE DOUGLAS COMPANY
1716 PERRYSBURG-HOLLAND RD.
HOLLAND, OH 43528

KeyBank, N.A.
NW Ohio
6-103/410

126825

DATE: February 20, 2019

PAY ONLY **2037** 56 CENTS

\$ 2,037.56

PAY Two Thousand Thirty-Seven and 56/100 Dollars

TO THE ORDER OF
DIXON INC.
660 WOODWARD AVE
SUITE 1945
DETROIT, MI 48226

Daniel M. Kelley

⑈ 1 2 6 8 2 5 ⑈ ⑆ 0 4 1 0 0 1 0 3 9 ⑆ 3 5 9 6 8 1 4 8 8 0 9 4 ⑈

28541341 5 2019-03-29 2037.56

ADDITIONAL SECURITY FEATURES. DETAILS ON BACK.

FOR DEPOSIT ONLY TO

Dixon Inc

Dixon Inc

Master

Deposited by: BS

DO NOT SIGN / WRITE / STAMP BELOW THIS LINE
FOR FINANCIAL INSTITUTION USAGE ONLY.

Seq: 6
Dep: 000174
Date: 03/29/19

The security features listed below exceed industry guidelines.

Security Features:

True Watermark:

Invisible Fibers:

Chemical Reactivity:

Toner Adhesion:

Void Pantograph:

Heat Sensitive Icon:

Microprint (MP):

Padlock Icon:

Security Screen:

• Hold to light to view watermark.

• Fluorescent fibers only visible under UV light.

• Chemical alteration will result in color change to the area.

• Paper contains a toner adhesive coating. Attempts to remove or alter toner will be detectable.

• When photocopied the word "VOID" can become visible, making it non-negotiable. This feature can be circumvented by high end color copiers & scanners.

• Temperature sensitive ink will temporarily fade when exposed to warmth. Rub or breathe on area to verify.

• Endorsement microprint signature lines. Small type appears as dotted lines when copied.

• Padlock icon indicates the check has security features that meet or exceed ANSI standards.

• Screen on back with reversed text printed light to prevent copying/scanning.

® Padlock design is a certification mark of Check Payment Systems Association

28541341 5 2019-03-29 2037.56

15a, 15b, and 28

PARTIAL CONDITIONAL WAIVER OF LIEN

Owner: FLS Properties #5, LLC

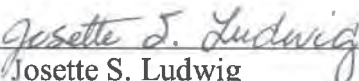
Contractor: The Douglas Company

Project: The Pearl

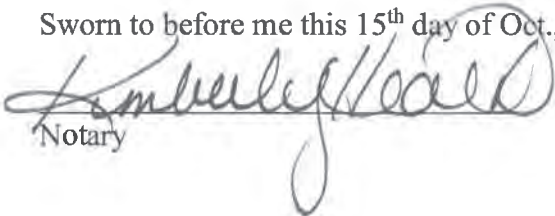
Contract: May 29, 2018

Contractor, The Douglas Company, upon the receipt of \$1,250,000.00 for Application #24 related to work through 8/25/2020 for labor, material, and services provided by Contractor in connection with the above referenced Project and Contract, Contractor will waive any and all rights that it may have to file a mechanic's lien to the extent of the sums received.

THE DOUGLAS COMPANY


By: Josette S. Ludwig
Title: Controller

Sworn to before me this 15th day of Oct., 2020


Notary



KIMBERLY HEATH
Notary Public - State of Ohio
My Commission Expires March 22, 2022

My commission expires: 3/22/2022

Additional Reference
Documents, Provided by
Applicant, but Not Included in
Final Submittal

PAYMENT APPLICATION

Page 1

TO: FLS PROPERTIES #5, LLC 2950 WALNUT LAKE ROAD WEST BLOOMFIELD, MI 48323		PROJECT 18-022-0 NAME AND LOCATION: THE PEARL DEVELOPMENT 856 NORTH OLD WOODWARD BIRMINGHAM, MI 48009	APPLICATION # 4 PERIOD THRU: 11/25/2018 PROJECT #s: 18-022-0	Distribution to: <input type="checkbox"/> OWNER <input checked="" type="checkbox"/> ARCHITECT <input type="checkbox"/> CONTRACTOR
FROM: THE DOUGLAS COMPANY 1716 PERRYSBURG HOLLAND ROAD HOLLAND, OHIO 43528		ARCHITECT: MARUSICH ARCHITECTURE 36880 WOODWARD AVENUE SUITE 100 BLOOMFIELD HILLS, MI 48304	DATE OF CONTRACT: 05/29/2018	
FOR: GENERAL CONSTRUCTION				

CONTRACTOR'S SUMMARY OF WORK

Application is made for payment as shown below. Continuation Page is attached.

1. CONTRACT AMOUNT	\$13,658,747.00
2. SUM OF ALL CHANGE ORDERS	\$356,136.00
3. CURRENT CONTRACT AMOUNT (Line 1 +/- 2)	\$14,014,883.00
4. TOTAL COMPLETED AND STORED (Column G on Continuation Page)	\$1,805,875.34
5. RETAINAGE:	
a. 10.00% of Completed Work (Columns D + E on Continuation Page)	\$155,936.00
b. 10.00% of Material Stored (Column F on Continuation Page)	\$24,592.00
Total Retainage (Line 5a + 5b or Column I on Continuation Page)	\$180,528.00
6. TOTAL COMPLETED AND STORED LESS RETAINAGE (Line 4 minus Line 5 Total)	\$1,625,287.34
7. LESS PREVIOUS PAYMENT APPLICATIONS	\$790,970.69
8. PAYMENT DUE	\$834,316.65
9. BALANCE TO COMPLETION (Line 3 minus Line 6)	\$12,389,595.66

SUMMARY OF CHANGE ORDERS	ADDITIONS	DEDUCTIONS
Total changes approved in previous months	\$356,136.00	\$0.00
Total approved this month	\$0.00	\$0.00
TOTALS	\$356,136.00	\$0.00
NET CHANGES	\$356,136.00	

PAYMENT APPLICATION

Contractor's signature below is his assurance to Owner, concerning the payment herein applied for, that: (1) the Work has been performed as required in the Contract Documents, (2) all sums previously paid to Contractor under the Contract have been used to pay Contractor's costs for labor, materials and other obligations under the Contract for Work previously paid for, and (3) Contractor is legally entitled to this payment.

CONTRACTOR: THE DOUGLAS COMPANY

By: [Signature] Date: 12/20/2018

LYNN M. MILLER, ASSISTANT CONTROLLER

State of: Ohio

County of: Lucas

Subscribed and sworn to before

me this 20th day of December



KIMBERLY HEATH

Notary Public - State of Ohio

My Commission Expires March 22, 2022

Notary Public: [Signature]

My Commission Expires: 3/22/2022

ARCHITECT'S CERTIFICATION

Architect's signature below is his assurance to Owner, concerning the payment herein applied for, that: (1) Architect has inspected the Work represented by this Application, (2) such Work has been completed to the extent indicated in this Application, and the quality of workmanship and materials conforms with the Contract Documents, (3) this Application for Payment accurately states the amount of Work completed and payment due therefor, and (4) Architect knows of no reason why payment should not be made.

CERTIFIED AMOUNT: \$834,316.65

(If the certified amount is different from the payment due, you should attach an explanation. Initial all the figures that are changed to match the certified amount.)

Architect: [Signature]

By: [Signature]

Date: 12.22.18

Neither this Application nor payment applied for herein is assignable or negotiable. Payment shall be made only to Contractor, and is without prejudice to any rights of Owner or Contractor under the Contract Documents or otherwise.

Quantum Software Solutions, Inc. Document

CONTINUATION PAGE

Page 2 of 3

Payment Application containing Contractor's signature is attached.

PROJECT: 18-022-0 THE PEARL DEVELOPMENT

APPLICATION #: 4

DATE OF APPLICATION: 11/26/2018

PERIOD THRU: 11/25/2018

PROJECT #s: 18-022-0

A	B	C	D	E		F	G	H	I
ITEM #	WORK DESCRIPTION	SCHEDULED AMOUNT	COMPLETED WORK		STORED MATERIALS (NOT IN D OR E)	TOTAL COMPLETED AND STORED (D + E + F)	% COMP. (G / C)	BALANCE TO COMPLETION (C-G)	RETAINAGE (If Variable)
			AMOUNT PREVIOUS PERIODS	AMOUNT THIS PERIOD					
01	EXCAVATION	\$162,678.00	\$32,535.60	\$0.00	\$0.00	\$32,535.60	20%	\$130,142.40	
02	ASPHALT PAVING	\$20,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$20,000.00	
03	STRIPING	\$2,265.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$2,265.00	
04	SITE IMPROVEMENTS	\$10,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$10,000.00	
05	LANDSCAPING (ALLOWANCE)	\$10,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$10,000.00	
06	SITE CONCRETE	\$53,868.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$53,868.00	
07	FENCING	\$1,190.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$1,190.00	
08	BUILDING SIGNAGE	\$7,481.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$7,481.00	
09	CONCRETE	\$1,717,487.19	\$532,421.03	\$360,672.31	\$0.00	\$893,093.34	52%	\$824,393.85	
10	GYPCRETE	\$67,890.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$67,890.00	
11	MASONRY	\$1,047,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$1,047,000.00	
12	STEEL FABRICATION	\$745,200.81	\$74,520.08	\$0.00	\$245,916.27	\$320,436.35	43%	\$424,764.46	
13	MISC. STEEL	\$106,300.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$106,300.00	
14	FIREPROOFING	\$40,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$40,000.00	
15	SUN SHADE	\$72,650.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$72,650.00	
16	METAL SCREENS	\$12,667.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$12,667.00	
17	BALCONY RAILING	\$75,932.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$75,932.00	
18	ROUGH CARPENTRY	\$844,629.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$844,629.00	
19	FINISH CARPENTRY	\$595,841.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$595,841.00	
20	LOBBY MILLWORK	\$35,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$35,000.00	
21	WATERPROOFING	\$164,225.00	\$13,138.00	\$11,495.75	\$0.00	\$24,633.75	15%	\$139,591.25	
22	INSULATION	\$64,300.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$64,300.00	
23	EPDM ROOFING	\$115,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$115,000.00	
24	SIDING & TRIM	\$74,640.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$74,640.00	
25	CAULKING	\$57,240.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$57,240.00	
26	DOORS & FRAMES	\$147,338.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$147,338.00	
27	OVERHEAD DOORS	\$8,012.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$8,012.00	
28	WINDOWS	\$166,623.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$166,623.00	
29	GLASS & GLAZING	\$151,775.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$151,775.00	
	SUB-TOTALS	\$6,577,232.00	\$652,614.71	\$372,168.06	\$245,916.27	\$1,270,699.04	19%	\$5,306,532.96	

CONTINUATION PAGE

Page 3 of 3

PROJECT: 18-022-0 THE PEARL DEVELOPMENT
 APPLICATION #: 4
 DATE OF APPLICATION: 11/26/2018
 PERIOD THRU: 11/25/2018
 PROJECT #s: 18-022-0

Payment Application containing Contractor's signature is attached.

A	B	C	D	E	F	G	H	I
ITEM #	WORK DESCRIPTION	SCHEDULED AMOUNT	COMPLETED WORK	AMOUNT THIS PERIOD	STORED MATERIALS (NOT IN D OR E)	TOTAL COMPLETED AND STORED (D + E + F)	% COMP. (G / C)	RETAINAGE (If Variable)
30	DRYWALL & METAL STUDS	\$761,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$761,000.00
31	ACOUSTICAL CEILINGS	\$93,045.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$93,045.00
32	CERAMIC TILE FLOORING	\$360,955.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$360,955.00
33	CARPETING	\$272,963.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$272,963.00
34	PAINTING & WALLCOVERING	\$229,950.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$229,950.00
35	PARKING GATES (ALLOWANCE)	\$13,900.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$13,900.00
36	FIRE EXTINGUISHERS	\$4,250.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$4,250.00
37	WINDOW TREATMENT	\$27,936.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$27,936.00
38	FIREPLACES	\$27,640.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$27,640.00
39	DIVISION 10 SPECIALTIES	\$95,061.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$95,061.00
40	WHITE BOX BUILD OUT	\$41,440.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$41,440.00
41	TRASH CHUTE	\$11,642.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$11,642.00
42	RESIDENTIAL APPLIANCES	\$122,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$122,000.00
43	ELEVATORS	\$120,000.00	\$0.00	\$0.00	\$0.00	\$0.00	35%	\$78,000.00
44	HVAC	\$570,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$570,000.00
45	PLUMBING	\$605,373.00	\$12,107.46	\$6,053.75	\$0.00	\$18,161.21	3%	\$587,211.79
46	FIRE PROTECTION	\$252,850.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$252,850.00
47	ELECTRICAL	\$836,400.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$836,400.00
48	GENERAL REQUIREMENTS	\$1,380,132.00	\$98,786.33	\$79,251.00	\$0.00	\$178,037.33	13%	\$1,202,094.67
49	BUILDERS OVERHEAD	\$650,047.00	\$40,757.47	\$43,089.00	\$0.00	\$83,846.47	13%	\$566,190.53
50	BUILDERS PROFIT	\$409,530.00	\$25,677.30	\$27,152.00	\$0.00	\$52,829.30	13%	\$356,700.70
51	CRANE	\$195,401.00	\$0.00	\$111,378.57	\$0.00	\$111,378.57	57%	\$84,022.43
52	CHANGE ORDER #01	\$356,136.00	\$48,913.42	\$0.00	\$0.00	\$48,913.42	14%	\$307,222.58
	TOTALS	\$14,014,883.00	\$878,856.69	\$681,102.38	\$245,916.27	\$1,805,875.34	13%	\$12,209,007.66

CONTINUATION PAGE

Quantum Software Solutions, Inc. Document

PARTIAL CONDITIONAL WAIVER OF LIEN

Owner: FLS Properties #5, LLC

Contractor: The Douglas Company

Project: The Pearl

Contract: May 29, 2018

Contractor, The Douglas Company, upon the receipt of \$834,316.65 for Application #04 related to work through 11/25/2018 for labor, material, and services provided by Contractor in connection with the above referenced Project and Contract, Contractor will waive any and all rights that it may have to file a mechanic's lien to the extent of the sums received.

THE DOUGLAS COMPANY

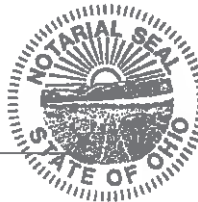


By: Lynn M. Miller
Title: Assistant Controller

Sworn to before me this 26th day of Nov., 2018


Notary

My commission expires: 3/22/2022



KIMBERLY HEATH
Notary Public - State of Ohio
My Commission Expires March 22, 2022

PAYMENT APPLICATION

Page 1

TO: FLS PROPERTIES #5, LLC 2950 WALNUT LAKE ROAD WEST BLOOMFIELD, MI 48323		PROJECT NAME AND LOCATION: 18-022-0 THE PEARL DEVELOPMENT 856 NORTH OLD WOODWARD BIRMINGHAM, MI 48009	APPLICATION # PERIOD THRU: PROJECT #s:	5 12/25/2018 18-022-0	Distribution to: <input type="checkbox"/> OWNER <input type="checkbox"/> ARCHITECT <input type="checkbox"/> CONTRACTOR
FROM: THE DOUGLAS COMPANY 1716 PERRYBURG HOLLAND ROAD HOLLAND, OHIO 43528		ARCHITECT: MARUSICH ARCHITECTURE 36880 WOODWARD AVENUE SUITE 100 BLOOMFIELD HILLS, MI 48304	DATE OF CONTRACT: 05/29/2018		
FOR: GENERAL CONSTRUCTION					

CONTRACTOR'S SUMMARY OF WORK

Application is made for payment as shown below.
Continuation Page is attached.

1. CONTRACT AMOUNT	\$13,658,747.00
2. SUM OF ALL CHANGE ORDERS	\$405,517.11
3. CURRENT CONTRACT AMOUNT (Line 1 +/- 2)	\$14,064,264.11
4. TOTAL COMPLETED AND STORED (Column G on Continuation Page)	\$2,429,057.63
5. RETAINAGE:	
a. 10.00% of Completed Work (Columns D + E on Continuation Page)	\$218,314.00
b. 10.00% of Material Stored (Column F on Continuation Page)	\$24,592.00
Total Retainage (Line 5a + 5b or Column I on Continuation Page)	\$242,906.00
6. TOTAL COMPLETED AND STORED LESS RETAINAGE (Line 4 minus Line 5 Total)	\$2,186,151.63
7. LESS PREVIOUS PAYMENT APPLICATIONS	\$1,625,287.34
8. PAYMENT DUE	\$560,864.29
9. BALANCE TO COMPLETION (Line 3 minus Line 6)	\$11,878,112.48

SUMMARY OF CHANGE ORDERS	ADDITIONS	DEDUCTIONS
Total changes approved in previous months	\$356,136.00	\$0.00
Total approved this month	\$49,381.11	\$0.00
TOTALS	\$405,517.11	\$0.00
NET CHANGES	\$405,517.11	

Contractor's signature below is his assurance to Owner, concerning the payment herein applied for, that: (1) the Work has been performed as required in the Contract Documents, (2) all sums previously paid to Contractor under the Contract have been used to pay Contractor's costs for labor, materials and other obligations under the Contract for Work previously paid for, and (3) Contractor is legally entitled to this payment.

CONTRACTOR: THE DOUGLAS COMPANY

By: John M. Miller Date: 01/31/2019

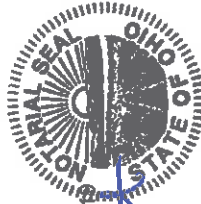
JOHN M. MILLER, ASSISTANT CONTROLLER

State of: Ohio

County of: Lucas

Subscribed and sworn to before

me this 31st day of January 2019



PAMELA M. KLATT

Notary Public - State of Ohio

My Commission Expires Feb. 3, 2023

Notary Public:

My Commission Expires:

ARCHITECT'S CERTIFICATION

Architect's signature below is his assurance to Owner, concerning the payment herein applied for, that: (1) Architect has inspected the Work represented by this Application, (2) such Work has been completed to the extent indicated in this Application, and the quality of workmanship and materials conforms with the Contract Documents, (3) this Application for Payment accurately states the amount of Work completed and payment due therefor, and (4) Architect knows of no reason why payment should not be made.

CERTIFIED AMOUNT.....

(If the certified amount is different from the payment due, you should attach an explanation. Initial all the figures that are changed to match the certified amount.)

Architect: JOHN MARUSICH

By: _____ Date: _____

Neither this Application nor payment applied for herein is assignable or negotiable. Payment shall be made only to Contractor, and is without prejudice to any rights of Owner or Contractor under the Contract Documents or otherwise.

PAYMENT APPLICATION

Quantum Software Solutions, Inc. Document

CONTINUATION PAGE

PROJECT: 18-022-0 THE PEARL DEVELOPMENT
 APPLICATION #: 5
 DATE OF APPLICATION: 01/31/2019
 PERIOD THRU: 12/25/2018
 PROJECT #s: 18-022-0

Payment Application containing Contractor's signature is attached.

A	B	C	D	E		F	G	H	I
ITEM #	WORK DESCRIPTION	SCHEDULED AMOUNT	COMPLETED WORK		STORED MATERIALS (NOT IN D OR E)	TOTAL COMPLETED AND STORED (D + E + F)	% COMP. (G / C)	BALANCE TO COMPLETION (C-G)	RETAINAGE (If Variable)
			AMOUNT PREVIOUS PERIODS	AMOUNT THIS PERIOD					
01	EXCAVATION	\$162,678.00	\$32,535.60	\$8,133.90	\$0.00	\$40,669.50	25%	\$122,008.50	
02	ASPHALT PAVING	\$20,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$20,000.00	
03	STRIPING	\$2,265.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$2,265.00	
04	SITE IMPROVEMENTS	\$10,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$10,000.00	
05	LANDSCAPING (ALLOWANCE)	\$10,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$10,000.00	
06	SITE CONCRETE	\$53,868.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$53,868.00	
07	FENCING	\$1,190.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$1,190.00	
08	BUILDING SIGNAGE	\$7,481.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$7,481.00	
09	CONCRETE	\$1,717,487.19	\$893,093.34	\$223,273.33	\$0.00	\$1,116,366.67	65%	\$601,120.52	
10	GYPCRETE	\$67,890.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$67,890.00	
11	MASONRY	\$1,047,000.00	\$0.00	\$20,940.00	\$0.00	\$20,940.00	2%	\$1,026,060.00	
12	STEEL FABRICATION	\$745,200.81	\$74,520.08	\$0.00	\$245,916.27	\$320,436.35	43%	\$424,764.46	
13	MISC. STEEL	\$106,300.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$106,300.00	
14	FIREPROOFING	\$40,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$40,000.00	
15	SUN SHADE	\$72,650.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$72,650.00	
16	METAL SCREENS	\$12,667.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$12,667.00	
17	BALCONY RAILING	\$75,932.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$75,932.00	
18	ROUGH CARPENTRY	\$844,629.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$844,629.00	
19	FINISH CARPENTRY	\$595,841.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$595,841.00	
20	LOBBY MILLWORK	\$35,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$35,000.00	
21	WATERPROOFING	\$164,225.00	\$24,633.75	\$32,845.00	\$0.00	\$57,478.75	35%	\$106,746.25	
22	INSULATION	\$64,300.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$64,300.00	
23	EPDM ROOFING	\$115,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$115,000.00	
24	SIDING & TRIM	\$74,640.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$74,640.00	
25	CAULKING	\$57,240.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$57,240.00	
26	DOORS & FRAMES	\$147,338.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$147,338.00	
27	OVERHEAD DOORS	\$8,012.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$8,012.00	
28	WINDOWS	\$166,623.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$166,623.00	
29	GLASS & GLAZING	\$151,775.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$151,775.00	
	SUB-TOTALS	\$6,577,232.00	\$1,024,782.77	\$285,192.23	\$245,916.27	\$1,555,891.27	24%	\$5,021,340.73	

CONTINUATION PAGE

CONTINUATION PAGE

Page 3 of 3

PROJECT: 18-022-0 THE PEARL DEVELOPMENT
 APPLICATION #: 5
 DATE OF APPLICATION: 01/31/2019
 PERIOD THRU: 12/25/2018
 PROJECT #s: 18-022-0

Payment Application containing Contractor's signature is attached.

A	B	C	D	E		F	G	H	I
ITEM #	WORK DESCRIPTION	SCHEDULED AMOUNT	COMPLETED WORK		STORED MATERIALS (NOT IN D OR E)	TOTAL COMPLETED AND STORED (D + E + F)	% COMP. (G / C)	BALANCE TO COMPLETION (C-G)	RETAINAGE (If Variable)
			AMOUNT PREVIOUS PERIODS	AMOUNT THIS PERIOD					
30	DRYWALL & METAL STUDS	\$761,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$761,000.00	
31	ACOUSTICAL CEILINGS	\$93,045.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$93,045.00	
32	CERAMIC TILE FLOORING	\$360,955.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$360,955.00	
33	CARPETING	\$272,963.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$272,963.00	
34	PAINTING & WALLCOVERING	\$229,950.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$229,950.00	
35	PARKING GATES (ALLOWANCE)	\$13,900.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$13,900.00	
36	FIRE EXTINGUISHERS	\$4,250.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$4,250.00	
37	WINDOW TREATMENT	\$27,936.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$27,936.00	
38	FIREPLACES	\$27,640.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$27,640.00	
39	DIVISION 10 SPECIALTIES	\$95,061.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$95,061.00	
40	WHITE BOX BUILD OUT	\$41,440.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$41,440.00	
41	TRASH CHUTE	\$11,642.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$11,642.00	
42	RESIDENTIAL APPLIANCES	\$122,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$122,000.00	
43	ELEVATORS	\$120,000.00	\$42,000.00	\$0.00	\$0.00	\$42,000.00	35%	\$78,000.00	
44	HVAC	\$570,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$570,000.00	
45	PLUMBING	\$605,373.00	\$18,161.21	\$6,053.71	\$0.00	\$24,214.92	4%	\$581,158.08	
46	FIRE PROTECTION	\$252,850.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$252,850.00	
47	ELECTRICAL	\$836,400.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$836,400.00	
48	GENERAL REQUIREMENTS	\$1,380,132.00	\$178,037.33	\$60,311.00	\$0.00	\$238,348.33	17%	\$1,141,783.67	
49	BUILDERS OVERHEAD	\$650,047.00	\$83,856.47	\$28,407.00	\$0.00	\$112,263.47	17%	\$537,783.53	
50	BUILDERS PROFIT	\$409,530.00	\$52,829.30	\$17,897.00	\$0.00	\$70,726.30	17%	\$338,803.70	
51	CRANE	\$195,401.00	\$111,378.57	\$39,080.20	\$0.00	\$150,458.77	77%	\$44,942.23	
52	CHANGE ORDER #01	\$356,136.00	\$48,913.42	\$154,961.11	\$0.00	\$203,874.53	57%	\$152,261.47	
53	CHANGE ORDER #02	\$49,381.11	\$0.00	\$31,280.04	\$0.00	\$31,280.04	63%	\$18,101.07	
	TOTALS	\$14,064,264.11	\$1,559,959.07	\$623,182.29	\$245,916.27	\$2,429,057.63	17%	\$11,635,206.48	

CONTINUATION PAGE

Quantum Software Solutions, Inc. Document

Annotated Submittal

Attachment to ASTI Environmental Memo Dated March 25, 2021

Attachment Page No. 182

PARTIAL CONDITIONAL WAIVER OF LIEN

Owner: FLS Properties #5, LLC

Contractor: The Douglas Company

Project: The Pearl

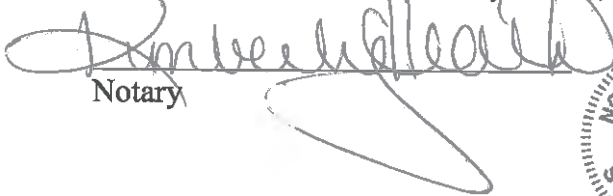
Contract: May 29, 2018

Contractor, The Douglas Company, upon the receipt of \$560,864.29 for Application #05 related to work through 12/25/2018 for labor, material, and services provided by Contractor in connection with the above referenced Project and Contract, Contractor will waive any and all rights that it may have to file a mechanic's lien to the extent of the sums received.

THE DOUGLAS COMPANY


By: Lynn M. Miller
Title: Assistant Controller

Sworn to before me this 3rd day of Jan., 2019


Notary



KIMBERLY HEATH
Notary Public - State of Ohio
My Commission Expires March 22, 2022

My commission expires: 3/22/2022

PAYMENT APPLICATION

Page 1

TO: FLS PROPERTIES #5, LLC 2950 WALNUT LAKE ROAD WEST BLOOMFIELD, MI 48323		PROJECT NAME AND LOCATION: 18-022-0 THE PEARL DEVELOPMENT 856 NORTH OLD WOODWARD BIRMINGHAM, MI 48009	APPLICATION # PERIOD THRU: PROJECT #s: DATE OF CONTRACT:	Distribution to: 01/25/2019 <input type="checkbox"/> OWNER 18-022-0 <input type="checkbox"/> ARCHITECT 05/29/2018 <input type="checkbox"/> CONTRACTOR
FROM: THE DOUGLAS COMPANY 1716 PERRYSBURG HOLLAND ROAD HOLLAND, OHIO 43528		ARCHITECT: MARUSICH ARCHITECTURE 36880 WOODWARD AVENUE SUITE 100 BLOOMFIELD HILLS, MI 48304		
FOR: GENERAL CONSTRUCTION				

CONTRACTOR'S SUMMARY OF WORK

Application is made for payment as shown below.
Continuation Page is attached.

1. CONTRACT AMOUNT	\$13,658,747.00
2. SUM OF ALL CHANGE ORDERS	\$461,201.17
3. CURRENT CONTRACT AMOUNT (Line 1 +/- 2)	\$14,119,948.17
4. TOTAL COMPLETED AND STORED (Column G on Continuation Page)	\$2,739,251.57
5. RETAINAGE:	
a. 10.00% of Completed Work (Columns D + E on Continuation Page)	\$249,334.00
b. 10.00% of Material Stored (Column F on Continuation Page)	\$24,592.00
Total Retainage (Line 5a + 5b or Column I on Continuation Page)	\$273,926.00
6. TOTAL COMPLETED AND STORED LESS RETAINAGE (Line 4 minus Line 5 Total)	\$2,465,325.57
7. LESS PREVIOUS PAYMENT APPLICATIONS	\$2,186,151.63
8. PAYMENT DUE	\$279,173.94
9. BALANCE TO COMPLETION (Line 3 minus Line 6)	\$11,654,622.60

SUMMARY OF CHANGE ORDERS	ADDITIONS	DEDUCTIONS
Total changes approved in previous months	\$405,517.11	\$0.00
Total approved this month	\$55,684.06	\$0.00
TOTALS	\$461,201.17	\$0.00
NET CHANGES	\$461,201.17	

PAYMENT APPLICATION

Contractor's signature below is his assurance to Owner, concerning the payment herein applied for, that: (1) the Work has been performed as required in the Contract Documents, (2) all sums previously paid to Contractor under the Contract have been used to pay Contractor's costs for labor, materials and other obligations under the Contract for Work previously paid for, and (3) Contractor is legally entitled to this payment.

CONTRACTOR: THE DOUGLAS COMPANY

By: Wynn M. Miller Date: 02/13/2019

WYNN M. MILLER, ASSISTANT CONTROLLER

State of: Ohio

County of: Lucas

Subscribed and sworn to before

me this 13th day of February



KIMBERLY HEATH

Notary Public - State of Ohio

My Commission Expires March 22, 2022

ARCHITECT'S CERTIFICATION

Architect's signature below is his assurance to Owner, concerning the payment herein applied for, that: (1) Architect has inspected the Work represented by this Application, (2) such Work has been completed to the extent indicated in this Application, and the quality of workmanship and materials conforms with the Contract Documents, (3) this Application for Payment accurately states the amount of Work completed and payment due therefor, and (4) Architect knows of no reason why payment should not be made.

CERTIFIED AMOUNT.....

(If the certified amount is different from the payment due, you should attach an explanation. Initial all the figures that are changed to match the certified amount.)

Architect: JOHN MARUSICH

By: _____ Date: _____

Neither this Application nor payment applied for herein is assignable or negotiable. Payment shall be made only to Contractor, and is without prejudice to any rights of Owner or Contractor under the Contract Documents or otherwise.

Quantum Software Solutions, Inc. Document

CONTINUATION PAGE

Page 2 of 3

PROJECT: 18-022-0 THE PEARL DEVELOPMENT
 APPLICATION #: 6
 DATE OF APPLICATION: 02/13/2019
 PERIOD THRU: 01/25/2019
 PROJECT #s: 18-022-0

Payment Application containing Contractor's signature is attached.

A	B	C	D		E	F	G	H	I
ITEM #	WORK DESCRIPTION	SCHEDULED AMOUNT	COMPLETED WORK		AMOUNT THIS PERIOD	STORED MATERIALS (NOT IN D OR E)	TOTAL COMPLETED AND STORED (D + E + F)	BALANCE TO COMPLETION (C-G)	RETAINAGE (If Variable)
01	EXCAVATION	\$162,678.00	\$40,669.50	\$0.00	\$0.00	\$0.00	\$40,669.50	\$122,008.50	
02	ASPHALT PAVING	\$20,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$20,000.00	
03	STRIPING	\$2,265.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$2,265.00	
04	SITE IMPROVEMENTS	\$10,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$10,000.00	
05	LANDSCAPING (ALLOWANCE)	\$10,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$10,000.00	
06	SITE CONCRETE	\$53,868.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$53,868.00	
07	FENCING	\$1,190.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$1,190.00	
08	BUILDING SIGNAGE	\$7,481.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$7,481.00	
09	CONCRETE	\$1,717,487.19	\$1,116,366.67	\$85,874.36	\$0.00	\$0.00	\$1,202,241.03	\$515,246.16	
10	GYPCRETE	\$67,890.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$67,890.00	
11	MASONRY	\$1,047,000.00	\$20,940.00	\$31,410.00	\$0.00	\$0.00	\$52,350.00	\$994,650.00	
12	STEEL FABRICATION	\$745,200.81	\$74,520.08	\$14,904.01	\$245,916.27	\$0.00	\$335,340.36	\$409,860.45	
13	MISC. STEEL	\$106,300.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$106,300.00	
14	FIREPROOFING	\$40,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$40,000.00	
15	SUN SHADE	\$72,650.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$72,650.00	
16	METAL SCREENS	\$12,667.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$12,667.00	
17	BALCONY RAILING	\$75,932.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$75,932.00	
18	ROUGH CARPENTRY	\$844,629.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$844,629.00	
19	FINISH CARPENTRY	\$595,841.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$595,841.00	
20	LOBBY MILLWORK	\$35,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$35,000.00	
21	WATERPROOFING	\$164,225.00	\$57,478.75	\$59,121.00	\$0.00	\$0.00	\$116,599.75	\$47,625.25	
22	INSULATION	\$64,300.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$64,300.00	
23	EPDM ROOFING	\$115,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$115,000.00	
24	SIDING & TRIM	\$74,640.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$74,640.00	
25	CAULKING	\$57,240.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$57,240.00	
26	DOORS & FRAMES	\$147,338.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$147,338.00	
27	OVERHEAD DOORS	\$8,012.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$8,012.00	
28	WINDOWS	\$166,623.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$166,623.00	
29	GLASS & GLAZING	\$151,775.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$151,775.00	
	SUB-TOTALS	\$6,577,232.00	\$1,309,975.00	\$191,309.37	\$245,916.27	\$1,747,200.64	\$4,830,031.36		

CONTINUATION PAGE

Quantum Software Solutions, Inc. Document

Annotated Submittal

Attachment to ASTI Environmental Memo Dated March 25, 2021

Attachment Page No. 185

CONTINUATION PAGE

PROJECT: 18-022-0 THE PEARL DEVELOPMENT
 APPLICATION #: 6
 DATE OF APPLICATION: 02/13/2019
 PERIOD THRU: 01/25/2019
 PROJECT #s: 18-022-0

Payment Application containing Contractor's signature is attached.

A	B	C	D COMPLETED WORK		E	F	G	H	I
ITEM #	WORK DESCRIPTION	SCHEDULED AMOUNT	AMOUNT PREVIOUS PERIODS	AMOUNT THIS PERIOD	STORED MATERIALS (NOT IN D OR E)	TOTAL COMPLETED AND STORED (D + E + F)	% COMP. (G / C)	BALANCE TO COMPLETION (C-G)	RETAINAGE (If Variable)
30	DRYWALL & METAL STUDS	\$761,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$761,000.00	
31	ACOUSTICAL CEILINGS	\$93,045.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$93,045.00	
32	CERAMIC TILE FLOORING	\$360,955.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$360,955.00	
33	CARPETING	\$272,963.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$272,963.00	
34	PAINTING & WALLCOVERING	\$229,950.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$229,950.00	
35	PARKING GATES (ALLOWANCE)	\$13,900.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$13,900.00	
36	FIRE EXTINGUISHERS	\$4,250.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$4,250.00	
37	WINDOW TREATMENT	\$27,936.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$27,936.00	
38	FIREPLACES	\$27,640.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$27,640.00	
39	DIVISION 10 SPECIALTIES	\$95,061.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$95,061.00	
40	WHITE BOX BUILD OUT	\$41,440.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$41,440.00	
41	TRASH CHUTE	\$11,642.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$11,642.00	
42	RESIDENTIAL APPLIANCES	\$122,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$122,000.00	
43	ELEVATORS	\$120,000.00	\$42,000.00	\$0.00	\$0.00	\$42,000.00	35%	\$78,000.00	
44	HVAC	\$570,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$570,000.00	
45	PLUMBING	\$605,373.00	\$24,214.92	\$0.00	\$0.00	\$24,214.92	4%	\$581,158.08	
46	FIRE PROTECTION	\$252,850.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$252,850.00	
47	ELECTRICAL	\$836,400.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$836,400.00	
48	GENERAL REQUIREMENTS	\$1,380,132.00	\$238,348.33	\$29,397.00	\$0.00	\$267,745.33	19%	\$1,112,386.67	
49	BUILDERS OVERHEAD	\$650,047.00	\$112,263.47	\$13,846.00	\$0.00	\$126,109.47	19%	\$523,937.53	
50	BUILDERS PROFIT	\$409,530.00	\$70,726.30	\$8,723.00	\$0.00	\$79,449.30	19%	\$330,080.70	
51	CRANE	\$195,401.00	\$150,458.77	\$35,172.18	\$0.00	\$185,630.95	95%	\$9,770.05	
52	CHANGE ORDER #01	\$356,136.00	\$203,874.53	\$14,009.03	\$0.00	\$217,883.56	61%	\$138,252.44	
53	CHANGE ORDER #02	\$49,381.11	\$31,280.04	\$2,579.51	\$0.00	\$33,859.55	69%	\$15,521.56	
54	CHANGE ORDER #03	\$36,043.96	\$0.00	\$5,337.80	\$0.00	\$5,337.80	15%	\$30,706.16	
55	CHANGE ORDER #04	\$19,640.10	\$0.00	\$9,820.05	\$0.00	\$9,820.05	50%	\$9,820.05	
	TOTALS	\$14,119,948.17	\$2,183,141.36	\$310,193.94	\$245,916.27	\$2,739,251.57	19%	\$11,380,696.60	

CONTINUATION PAGE

Quantum Software Solutions, Inc. Document



Corporate Headquarters
Lansing, Michigan
3340 Ranger Road, Lansing, MI 48906
f: 877.884.6775
t: 517.321.3331

Michigan Locations
Berkley Bay City
Grand Rapids Chesterfield
Lansing

Revised March 8, 2021
November 16, 2020

Ms. Jana Ecker
Director of Planning, City of Birmingham
Birmingham Redevelopment Authority
151 Martin Street
Birmingham, Michigan 48009

**RE: Tax Increment Financing Reimbursement Request for the Pearl Development
Located at 856 North Old Woodward Avenue, Michigan 48009; Request 01**

Ms. Ecker:

Enclosed is Tax Increment Financing (TIF) Reimbursement Request 01 for the Property located at 856 North Old Woodward Avenue, Michigan.

This request is being submitted on behalf of FLS Properties #5, LLC ("Developer"). The terms for reimbursement of eligible brownfield costs were set forth in the Brownfield Reimbursement Agreement executed by the City of Birmingham's Brownfield Redevelopment Authority (BRA) and FLS Properties #5, LLC on October 27, 2016.

Enclosed is a description of each individual Eligible Activity, the associated costs of each activity, and documentation of the costs incurred including proof of payment and detailed invoices.

To the extent that this submission is approved, the BRA shall cause Developer to be paid the amounts approved as determined eligible under the Brownfield Plan and documented in the reimbursement request.

The total not to exceed cost for Eligible Activities approved in the Brownfield Plan is \$2,656,610.00. This total included an estimated \$508,364 in 3% simple interest which will be calculated based on the actual reimbursement schedule. Therefore, less interest, the total not to exceed is \$2,148,247.00.

The total amount of Eligible Activity reimbursement under this request, Request 01, is \$1,940,528.97 resulting in a remaining balance of \$207,718.03 for future reimbursement requests.

If you have any questions related to this request, please do not hesitate to contact our office at (248) 336-9988 or email at masserang@pmenv.com.

Sincerely,
PM ENVIRONMENTAL, INC.


Elizabeth Masserang
Regional Manager – Brownfield & Economic
Incentives

856 North Old Woodward Avenue, Birmingham, Michigan
TIF Reimbursement Request
PM Project No. 01-5889-0-010; March 8, 2021

I certify that the information submitted on and with this Request for Reimbursement is accurate and is an eligible cost described in the Brownfield Plan for this project approved by the City Commission of Birmingham.

Name: Frank Simon

FLS Properties #5, LLC

Signature: 

Date: 3/8/2021

Title: Owner

Address: 2950 Walnut Lake Road

W. Bloomfield, MI 48323

Exhibit C

**Brownfield Request for Cost Reimbursement
For Eligible Activities**

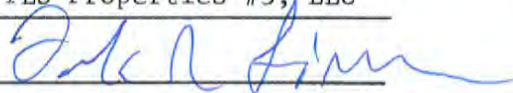
Date: 3/8/2021

Listed below are total costs expended for each eligible activity category for the expenses being submitted with this request. Attached is evidence of each cost item, including proof of payment and detailed invoices.

Eligible Activity Category		Total Cost
1.	Phase I/Phase II/BEA	\$14,015
2.	Due Care Activities	\$1,916,513.97
3.	Additional Response Activities	\$0
4.	Brownfield Plan preparation	\$10,000
5.	Interest	3% on actual unreimbursed costs
Total Cost Reimbursement Request		\$1,940,528.97 plus interest

I certify that the information submitted on and with this Request for Cost Reimbursement is accurate and is an eligible cost described in the Brownfield Plan for this project approved by the City Council of the City of Birmingham.

Developer: FLS Properties #5, LLC

Signature: 

Title: Owner

Address: 2950 Walnut Lake Road
W. Bloomfield, MI 48323

Appendix A

Description of Eligible Activities Conducted

The Eligible Activities (as defined by Section 2 of Public Act 381, as amended) that were completed as permitted under the Brownfield Redevelopment Financing Act and included in the approved Brownfield Plan are further described below and in Appendix A:

Baseline Environmental Site Assessment Activities

Baseline Environmental Site Assessment activities approved under the Brownfield Plan included a Phase I Environmental Site Assessment (ESA), Phase II ESA, Baseline Environmental Assessment (BEA), and Documentation of Due Care Compliance (DDCC) totaling \$14,155.00.

Baseline Environmental Site Assessment activities within this request included a Phase II ESA and BEA.

Costs are tabulated within Appendix B for a total cost of \$14,015.00 and associated invoice are provided in Appendix C.

Due Care Activities

PM Environmental, Inc. (PM) conducted delineation and sampling of existing Tetrachloroethylene soil concentrations in May/June 2016, prior to the excavation to better define the horizontal extent of chlorinated solvent impacts in soils and groundwater. A total of \$5,690.00 is being requested in relation to this work of the \$21,945.00 that was budgeted.

HM Environmental Services Inc. (HM) completed the removal, transport and disposal of 15,245.35 tons of contaminated soils, which more specifically included 10,090.70 tons of hazardous waste soils and 5,154.65 tons of non-hazardous waste soils. The removal was associated with the required site grading and spoils related to the installation of the new building foundations and utilities.

Contaminated soil transportation and disposal cost estimates received at the time of Brownfield Plan development was for up to 20,095 tons and were described as follows:

- “A portion of contaminated soils (approximately 6,705 of the identified 20,095 tons), located along the northern property boundary are anticipated to require disposal as a listed hazardous waste, estimated for a cost differential of \$40.35/ton.
- Transport of 20,095 tons of contaminated soil cost is estimated at \$412,553. This estimate includes both; Transport of up to 13,390 tons of soil to a Type II Landfill at \$7/ton totaling \$93,730; and Transport of up to 6,705 tons of hazardous material at \$47.55/ton totaling \$318,823.
- Disposal of 20,095 tons of contaminated soil cost is estimated at \$1,159,735. This estimate includes both; Disposal of up to 13,390 tons of soil to a Type II Landfill at \$11.50/ton totaling \$153,985 and; Disposal of up to 6,705 tons of hazardous material at \$150/ton totaling \$1,005,750.”

The actual volumes and soils incurred was as follows:

- A total of 10,090.70 tons of hazardous soils were excavated at a cost of \$10/ton which would be \$5/ton more than if the soils were non-hazardous. At a rate of \$5/ton, a total of \$50,453.50 is being requested for this line item.
- A total of 10,090.70 tons of hazardous soils were transported and disposed of at a cost of \$150.75/ton, split between transportation at \$23/ton and disposal at \$127.75/ton. At a rate of \$150.75/ton, a total of \$1,521,173.03 is being requested for this line item.
- A total of 5,154.65 tons of non-hazardous soils were transported and disposed of at a cost of \$31.50/ton, split between transportation at \$16/ton and disposal at \$15.50/ton. At a rate of \$31.50/ton, a total of \$162,371.48 is being requested for this line item.

In summary a total of \$1,733,998.02 is being requested for reimbursement, related to the excavation of hazardous soils and the transport and disposal of both hazardous and non-hazardous soils. This is documented in Appendix C.

During the transport and disposal of hazardous soils, to prevent migration of contamination off-site, trucks were lined with Visqueen, a polyethylene plastic sheeting liner. A total of \$15,800.00 was incurred for this.

Contaminated groundwater disposal cost estimates received at the time of Brownfield Plan development was for 30,000 gallons at \$1.40/gal. A total of 36,935.00 gallons of contaminated groundwater was disposed and a cost of \$19,177.25 under contract with HM Environmental. Additionally, Future Environmental, a subcontractor to The Douglas Company conducted discharge of contaminated water at a cost of \$12,485 under Change Order #02 of which 98% (\$12,235.30) is being requested based on proof of payment documentation to date. An additional \$7,050.00 was incurred with the related permitting and reporting. The related detail is included in Appendix C.

PM completed assessment, oversight and verification of soil removal. Soil removal to support construction activities was completed between November 2017 and March 2018 in compliance with applicable regulations for handling and disposal.

Assessment, oversight, verification sampling and reporting cost estimates scoped at the time of Brownfield Plan development was for \$28,475 for known site conditions. Actual costs for these services amounted to \$88,799.74. Due to the nature of the site especially with the increased amount of hazardous soils to be assessed, observed, sampled and reported, more samples and time was needed than originally estimated, explaining the higher cost incurred and provided in the request.

Since the soil removal activities were not planned to remove all contaminants of concern, a chemically resistant vapor barrier and passive ventilation system was installed along the northern sub-grade wall of the parking area and under enclosure portions of the lowest floor of the building.

The presumptive vapor intrusion concerns were mitigated by installing a vapor barrier and passive venting system in accordance with vapor barrier manufacturer's recommendations. Therefore, no additional investigation was required to further assess the vapor intrusion pathway. AKT Peerless conducted a vapor barrier inspection in June 2019, under Douglas's contract which confirmed that the vapor barrier and passive venting system was installed in accordance with the design

specifications, manufacturer requirements, and passed smoke testing conducted by the installer conducted to verify that the vapor barrier membrane system was leak free at the time it was installed. The Douglas Company oversaw this work under Change Order 02 and 03 of their contract. Costs of \$25,542.00 was incurred related to the vapor barrier and vapor barrier installation of which 98% (\$25,031.16) is being requested based on proof of payment documentation to date. The associated change orders are provided in Appendix C.

A cost of \$3,750.00 was incurred related to vapor barrier specifications and \$4,982.50 was incurred as it relates to the coordination of proper and compliant financial tracking and reporting, as required in relation to due care, additional response, and brownfield related activities being submitted for reimbursement.

These activities are eligible as they are defined by Act 381 as eligible activities and listed in the approved Brownfield Plan within the description of costs to be paid for with TIR. The Brownfield Plan approved a cost of \$2,130,515 for these activities. Costs are tabulated within Appendix C for a total cost of \$1,916,513.97 and associated documentation is provided.

Brownfield Plan Preparation

Brownfield Plan and Act 381 Work Plan Preparation were approved under the Brownfield Plan totaling \$9,000.00. Preparation of the Brownfield Plan and Act 381 Work Plan included meetings/consultations, report preparation, and associated correspondence and management activities.

Costs are tabulated within Appendix B for a total cost of \$10,000.00 for Request 01. A Change Order was issued for this item in association with additional documentation and meetings at the request of the Birmingham Brownfield Redevelopment Authority (BBRA). The associated invoice is provided in Appendix C.

Appendix B

Table 1: 856 North Old Woodward Ave, Birmingham - Eligible Activities Cost Estimates (incl. School Tax Capture)								
	Item/Activity	Total Approved	Actual Cost	Balance	Invoice Number	Line Item	Contractor	Notes/Description
Baseline Environmental Assessments								
A1	Phase I ESA, Phase II ESA, BEA, DDCC	\$ 14,155	\$ 14,015.00	\$ 140.00	73902	-	PM Environmental	Phase II ESA/BEA
Baseline Environmental Assessments Total		\$ 14,155	\$ 14,015.00	\$ 140.00				
Due Care Activities								
B1	Excavation of hazardous material	\$ 270,547						10,900.70 tons excavated, transported and disposed of at \$155.75/ton
B2	Transportation and Disposal of Hazardous Soils							
	Transport of hazardous material	\$ 1,324,573	\$ 1,571,626.55	\$ 23,492.95	Pay App 11	3,4	HM Environmental	
	Disposal of hazardous material							
B3	Disposal of contaminated soils							5,154.65 tons transport and disposal at \$31.50/ton
	Transport of soil to a Type II Landfill	\$ 247,715	\$ 162,371.48	\$ 85,343.53	Pay App 11	5	HM Environmental	
	Disposal of soil to a Type II Landfill							
B4	Excavation Equipment Decon and Decon Wastewater Handling	\$ 7,500	\$ 15,800.00	\$ (8,300.00)	Pay App 11	2,6	HM Environmental	Visqueen truck liners
B5	Additional delienation and sampling of Tetrachloroethylene soil concentrations	\$ 21,945	\$ 5,690.00	\$ 16,255.00	77059	-	PM Environmental	Delineation prior to excavation
B6	Associated excavation oversight, excavation verification sampling, and reporting		\$ 11,595.61		84128	-	PM Environmental	11/30/17 Oversight covering 10/1/17 to 11/17/17 01/19/18 Oversight covering 10/01/17 to 11/17/17 03/08/18 Oversight covering 01/02/18 to 03/02/18 04/06/18 Oversight covering 03/02/18 to 3/30/2018 10/04/18 Oversight Services 4/2018 to 9/28/18 Change order for testing
			\$ 27,064.95		84715	-	PM Environmental	
			\$ 28,402.73		85166	-	PM Environmental	
		\$ 28,475	\$ 14,613.33	\$ (60,324.74)	85575	-	PM Environmental	
			\$ 2,173.12		87608	-	PM Environmental	
			\$ 4,950.00		88529	-	PM Environmental	
B7	Management and disposal of up to 30,000 gallons of contaminated groundwater		\$ 19,177.25		Pay App 11	12, 13, 15, 16	HM Environmental	Daily Pump Rental, Site Supervisor, Bulk Tanker, Disposal Water discharge (sub contractor was Future Environmental) Wastewater Dischage Permit Wastewater Required Reporting to EPA Hazardous Waste Testing and Report
			\$ 12,235.30		Pay App 24, CO-2	2	The Douglas Co.	
		\$ 49,260	\$ 2,500.00	\$ 10,797.45	88529	-	PM Environmental	
			\$ 1,250.00		94157	-	PM Environmental	
			\$ 3,300.00		94762	-	PM Environmental	
B8	Installation of a vapor barrier		\$ 3,750.00		80629	-	PM Environmental	Vapor Barrier Plan/Specs Vapor barrier, venting install, and testing
		\$ 172,500	\$ 25,031.16	\$ 143,718.84	Pay App 24, CO-2	53	The Douglas Co.	
			\$ -					
			\$ -					
B9	Costs associated with project management brownfield financial management	\$ 3,000	\$ 4,982.50	\$ (1,982.50)	95569	-	PM Environmental	Reimbursement Documentation and Reporting
B10	Post-construction due care plan and associated management and reporting	\$ 5,000	\$ -	\$ 5,000.00				
Due Care Activities Total		\$ 2,130,515	\$ 1,916,513.97	\$ 214,000.53				
Preparation of Brownfield Plan								
C1	Brownfield Plan/381 Workplan	\$ 9,000	\$ 10,000.00	\$ (1,000.00)	78957		PM Environmental	
Project Sub-Total		\$2,153,670	\$ 1,940,528.97	\$ 213,000.53				
15% Contingency*		\$ 319,577	\$ -					
Project Sub-Totals with Contingency		\$2,473,247	\$ -					
Project Not to Exceed set by City		\$ 2,148,247	\$ 1,940,528.97					
3% Interest Not to Exceed		\$ 508,364						
Revised Total		\$ 2,656,610.68	\$ -					

Appendix C

HM Environmental

APPLICATION AND CERTIFICATION FOR PAYMENT

AIA DOCUMENT G702

PAGE ONE OF TWO PAGES

PROJECT: 865 North Old Woodward

APPLICATION NO: 11

Distribution to:

FLS Properties #5 LLC

PO Box 689

Bloomfield Hills, MI 48303

FROM CONTRACTOR:

HM Environmental Services, Inc.

42826 North Walnut

Mount Clemens, MI 48043

VIA ARCHITECT: N/A

PERIOD TO: 3/20/2018

PROJECT NOS: 77018

Hazardous Material

CONTRACT DATE:

Distribution to:

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract. Continuation Sheet, AIA Document G703, is attached.

1. ORIGINAL CONTRACT SUM	\$	1,951,433.74
2. Net change by Change Orders	\$	0.00
3. CONTRACT SUM TO DATE (Line 1 + 2)	\$	1,951,433.74
4. TOTAL COMPLETED & STORED TO DATE (Column G on G703)	\$	1,951,433.74

5. RETAINAGE:	\$	0.00
a. 0 % of Completed Work (Column D + E on G703)	\$	0.00
b. % of Stored Material (Column F on G703)	\$	n/a
Total Retainage (Lines 5a + 5b or Total in Column I of G703)	\$	0.00

6. TOTAL EARNED LESS RETAINAGE (Line 4 Less Line 5 Total)	\$	1,951,433.74
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT (Line 6 from prior Certificate)	\$	1,907,530.08
8. CURRENT PAYMENT DUE	\$	43,903.66
9. BALANCE TO FINISH, INCLUDING RETAINAGE (Line 3 less 6)	\$	0.00

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner		
Total approved this Month		
TOTALS		
NET CHANGES by Change Order		

CONTRACTOR: HM Environmental Services, Inc.

By: Dennis Heine, President

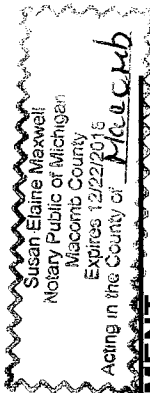
Date: 04/12/18

Subscribed and sworn to before me this 12th day of April, 2018.

County of: Macomb State of: Michigan

Notary Public: Susan Elaine Maxwell

My Commission expires on: 12/22/2018



ARCHITECT'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising the application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED \$ N/A

(Attach explanation if amount certified differs from the amount applied. Initial all figures on this Application and on the Continuation Sheet that are changed to conform with the amount certified.)

By: N/A Date: N/A

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

AIA DOCUMENT G703

APPLICATION NO:

APPLICATION DATE: 4/6/2018

PERIOD TO: 4/6/2018

N/A

Users may obtain validation of this document by requesting of the license a completed AIA Document D401 - Certification of Document's Authenticity

H M Environmental Services, Inc.
Transaction Journal
All Transactions

Date	Num	Memo	Qty	Sales Price	Amount
11/17/2017	23684	Progress Billing 10/31/17 Through 11/16/17			
		Operator & Laborer to balance the site for work to be performed by Hardman Construction			
		Visqueen Rolls (3 mill)	1	\$ 20,000.00	\$ 20,000.00
		Stone - 1X3 Crushed Concrete	20	\$ 75.00	\$ 1,500.00
		Stone - 21AA Crushed Concrete	80.93	\$ 25.95	\$ 2,100.13
		Construction	54.56	\$ 23.15	\$ 1,263.06
		FLS - 865 North Old Woodward through 11/16/17	1	\$ 61,127.31	\$ 61,127.31
Total					\$ 85,990.50
11/22/2017	23707	Progress Billing 11/17/17 Through 11/27/17			
		11/27/17 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	625	\$ 160.75	\$ 100,468.75
Total		FLS - 865 North Old Woodward through 11/27/17			\$ 100,468.75
12/11/2017	23764	Progress Billing 11/28/17 Through 12/08/17			
		11/28 Through 12/08 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	1618.88	\$ 160.75	\$ 260,234.96
		11/28 Through 12/08 Excavate, Transport and Disposal of Non Haz Soils to Advanced Disposal	1200.04	\$ 36.50	\$ 43,801.46
		Visqueen (1) Roll (10 mill)	1	\$ 240.00	\$ 240.00
		Stone - 1X3 Crushed Concrete	24.7	\$ 25.95	\$ 640.97
Total		FLS - 865 North Old Woodward through 12/08/17			\$ 304,917.39
01/08/2018	23877	Progress Billing 12/09/17 Through 12/29/17			
		12/09 Through 12/29 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	2734.06	\$ 160.75	\$ 439,500.15
		Demurrage at Wayne Disposal 11/29/17 Through 12/08/17 (Not Previously Billed)	5.25	\$ 95.00	\$ 498.75
		Demurrage at Wayne Disposal 12/08/17 Through 12/29/17	43	\$ 95.00	\$ 4,085.00
		12/09 Through 12/29 Excavate, Transport and Disposal of Non Haz Soils to Advanced Disposal	3212.42	\$ 36.50	\$ 117,253.33
		Stone - 1X3 Crushed Concrete	54.63	\$ 25.95	\$ 1,417.65
		Truck Liners - Hazardous Loads Only	198	\$ 40.00	\$ 7,920.00
		Credit due from Previous Inv. (1.5 Discount for Early Payment on Inv. # 23764)	1	\$ (4,955.79)	\$ (4,955.79)
Total		FLS - 865 North Old Woodward through 12/29/17			\$ 565,719.09
02/02/2018	24010	Progress Billing 12/30/17 Through 02/02/18			
		01/02/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	143.09	\$ 160.75	\$ 23,001.72
		01/03/18 Through 01/29/18 Additional Work with Hardman Construction not in the Original			
		Scope - Northeast & Southwest Wall Extensions	18.00	\$ 2,500.00	\$ 45,000.00
		01/30/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	288.26	\$ 160.75	\$ 46,337.80
		01/31/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	302.75	\$ 160.75	\$ 48,667.06
		02/01/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	325.21	\$ 160.75	\$ 52,277.51
		02/02/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	340.10	\$ 160.75	\$ 54,671.08
		Truck Liners - Hazardous Loads Only	56.00	\$ 40.00	\$ 2,240.00
Total		FLS - 865 North Old Woodward through 02/02/18			\$ 272,195.17

H M Environmental Services, Inc.
Transaction Journal

All Transactions

Date	Num	Memo	Qty	Sales Price	Amount
2/9/2018	24049	Progress Billing 02/03/18 Through 02/09/18			
		02/05/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	161.60	\$ 160.75	\$ 25,977.20
		02/06/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	157.94	\$ 160.75	\$ 25,388.86
		02/07/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	100.97	\$ 160.75	\$ 16,230.93
		02/08/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	126.36	\$ 160.75	\$ 20,312.37
		Truck Liners - Hazardous Loads Only	22.00	\$ 40.00	\$ 880.00
		FLS - 865 North Old Woodward through 02/09/18			\$
Total					\$ 88,789.36
2/20/2018	24079	Progress Billing 02/10/18 Through 02/16/18			
		02/12/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	163.95	\$ 160.75	\$ 26,354.96
		02/13/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	189.14	\$ 160.75	\$ 30,404.26
		02/14/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	238.47	\$ 160.75	\$ 38,334.05
		Demurrage at Disposal - Truck # 109 (3rd Load)	0.25	\$ 95.00	\$ 23.75
		02/15/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	170.16	\$ 160.75	\$ 27,353.22
		02/16/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	219.04	\$ 160.75	\$ 35,210.68
		Truck Liners - Hazardous Loads Only	37.00	\$ 40.00	\$ 1,480.00
		FLS - 865 North Old Woodward through 02/16/18			\$
Total					\$ 159,160.92
2/26/2018	24102	Progress Billing 02/17/18 Through 02/23/18			
		02/19/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	224.77	\$ 160.75	\$ 36,131.78
		02/20/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	85.82	\$ 160.75	\$ 13,795.57
		02/20/18 Stand By Rate 1/2 Day (Weather Related)	0.50	\$ 1,000.00	\$ 500.00
		02/21/18 Stand By Rate (Weather Related)	1.00	\$ 1,000.00	\$ 1,000.00
		02/22/18 Stand By Rate (Weather Related)	1.00	\$ 1,000.00	\$ 1,000.00
		02/23/18 Stand By Rate (Weather Related)	1.00	\$ 1,000.00	\$ 1,000.00
		Truck Liners - Hazardous Loads Only	11.00	\$ 40.00	\$ 440.00
		FLS - 865 North Old Woodward through 02/23/18			\$
Total					\$ 53,867.35

Transaction Journal

All Transactions

Date	Num	Memo	Qty	Sales Price	Amount
3/5/2018	24146	Progress Billing 02/24/18 Through 03/03/18 (Dewatering of Excavation)			
		02/26/18 Supervisor met with PM to discuss Water Removal - NO CHARGE			
		02/27/18 Delivery and Placement of Stone for Well and Pad			
		Excavation and Placement of Well			
		02/28/18 Site Supervisor - Load Trucks with Groundwater	1.00	\$ 1,650.00	\$ 1,650.00
		Additional Flagger for Truck Traffic	1.00	\$ 1,425.00	\$ 1,425.00
		Daily Pump Rental	1.00	\$ 750.00	\$ 750.00
		Bulk Tanker w/Operator - Transport Groundwater to Disposal	1.00	\$ 500.00	\$ 500.00
		Disposal of Non Regulated Ground Water to DART - Manifest #'s 018587690JJK, 018587693JJK & 018587691JJK	1.00	\$ 450.00	\$ 450.00
		03/01/18 Supervisor Checking Excavation On Site - NO CHARGE	11.5	\$ 140.00	\$ 1,610.00
		03/02/18 Site Supevisor - Load Trucks with Groundwater	20750	\$ 0.35	\$ 7,262.50
		Additional Flagger for Truck Traffic	1	\$ 750.00	\$ 750.00
		Daily Pump Rental	1	\$ 500.00	\$ 500.00
		Bulk Tanker w/Operator - Transport Groundwater to Disposal	1	\$ 450.00	\$ 450.00
		Disposal of Non Regulated Ground Water to DART - Manifest # 018587692JJK	5.5	\$ 140.00	\$ 770.00
		FLS - 865 North Old Woodward through 03/03/18	7000	\$ 0.35	\$ 2,450.00
		Total			\$ 18,567.50

3/13/2018	24184	Progress Billing 03/04/18 Through 03/13/18			
		03/05/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	210.11	\$ 160.75	\$ 33,775.18
		Bulk Tanker w/Operator - Transport Groundwater to Disposal	5.00	\$ 140.00	\$ 700.00
		Disposal of Non Regulated Ground Water to DART - Manifest # 018587704 JJK	4585.00	\$ 0.35	\$ 1,604.75
		03/06/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	206.95	\$ 160.75	\$ 33,267.21
		03/07/18 Stand By Rate (Meeting with Hardman to discuss finishing Harz. Soil Removal)	1.00	\$ 1,000.00	\$ 1,000.00
		03/08/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	428.91	\$ 160.75	\$ 68,947.28
		03/09/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	178.46	\$ 160.75	\$ 28,687.45
		Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	204.75	\$ 160.75	\$ 32,913.56
		Demurrage On Site - Truck # 129	0.5	\$ 100.00	\$ 50.00
		Demurrage at Disposal - Truck # 129	0.5	\$ 100.00	\$ 50.00
		Demurrage at Disposal - Truck # 109	1	\$ 100.00	\$ 100.00
		Bulk Tanker w/Operator - Transport Groundwater to Disposal	5.5	\$ 140.00	\$ 770.00
		Disposal of Non Regulated Ground Water to DART - Manifest # 018587705 JJK	4600	\$ 0.35	\$ 1,610.00
		03/12/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	240.36	\$ 160.75	\$ 38,637.87
		03/13/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	85.5	\$ 160.75	\$ 13,744.13
		Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	154.35	\$ 36.50	\$ 5,633.78
		Truck Liners - Hazardous Loads Only	54	\$ 40.00	\$ 2,160.00
		FLS - 865 North Old Woodward through 03/03/18			\$ 263,651.21
		Total			\$ 263,651.21

H M Environmental Services, Inc.
Transaction Journal
All Transactions

Date	Num	Memo	Qty	Sales Price	Amount
3/21/2018	24222	Progress Billing 03/14/18 Through 03/20/18			
		03/14/18 Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	160.45	\$ 36.50	\$ 5,856.43
		03/15/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	115.30	\$ 160.75	\$ 18,534.48
		Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	113.08	\$ 36.50	\$ 4,127.42
		03/16/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	118.56	\$ 160.75	\$ 19,058.52
		Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	55.62	\$ 36.50	\$ 2,030.13
		03/19/18 Stockpile and Load out Soil on West Wall for Hardman	1	\$ 2,500.00	\$ 2,500.00
		(2) 55 Gallons Drums - Protect two Pyle Caps	2	\$ 56.00	\$ 112.00
		Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	26.5	\$ 160.75	\$ 4,259.88
		Backfill - 21AA Crushed Concrete (8 Loads)	225.4	\$ 23.15	\$ 5,218.01
		03/20/18 Excavated (2) Holes to Elevation and moved Soil from Southeast Corner to Northeast Corner of Job Site per Hardman			
		Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	1	\$ 2,500.00	\$ 2,500.00
		Demurrage at Disposal - Truck # 124	59.73	\$ 160.75	\$ 9,601.60
		Demurrage at Disposal - Truck # 127	0.25	\$ 100.00	\$ 25.00
		Backfill - 21AA Crushed Concrete (8 Loads)	0.25	\$ 100.00	\$ 25.00
		Truck Liners - Hazardous Loads Only	255.07	\$ 23.15	\$ 5,904.87
		FLS - 865 North Old Woodward through 03/20/18	11	\$ 40.00	\$ 440.00
Total					\$ 80,193.34

4/6/2018	24261	Progress Billing 03/21/18 Through 04/06/18			
		03/21/18 Excavate Hole to Elevation and move Stockpile from South East Corner for Hardman	2500.00	\$ 1.00	\$ 2,500.00
		Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	116.07	\$ 36.50	\$ 4,236.56
		Backfill - 21AA Crushed Concrete (6 Loads)	192.72	\$ 23.15	\$ 4,461.47
		03/22/18 Stockpile Soil out of Hardman's way, Excavate Hole for Pile Caps & Clean up Soil Piles from Drilling			
		03/23/18 Stockpile Soil for Hardman & Clean up Soil Piles from Drilling	2500.00	\$ 1.00	\$ 2,500.00
		Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	86.78	\$ 36.50	\$ 3,167.47
		03/26/18 Stockpile for Ramp, Re-grade NorthEast Side of Excavation	2500.00	\$ 1.00	\$ 2,500.00
		Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	55.84	\$ 36.50	\$ 2,038.16
		03/27/18 Through 03/29/18 Assist Hardman Onsite	2500.00	\$ 3.00	\$ 7,500.00
		03/30/18 Assist Hardman Onsite	2500.00	\$ 0.50	\$ 1,250.00
		03/31/18 Through 04/05/18 Assist Hardman Onsite	2500.00	\$ 4.00	\$ 10,000.00
		04/06/18 Finish Onsite Work and Load Equipment	2500	\$ 0.50	\$ 1,250.00
Total		FLS - 865 North Old Woodward through 04/06/18			\$ 43,903.66

TOTAL ALL INVOICES THROUGH 04/06/18 \$ 2,037,424.24
 LESS PAYMENTS RECEIVED \$ (1,057,095.73)
 OUTSTANDING BALANCE \$ 980,328.51

FLS Properties
The Pearl Bldg

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
	11/8/2017	906629	26.65					Lou's Transport
	11/8/2017	906630	27.27					Lou's Transport
	11/13/2017	902921		27.52				Lou's Transport
	11/13/2017	902920		27.04				Lou's Transport
	11/13/2017	902919	27.01					Lou's Transport
1	11/29/2017	017834958 JJK			23.46			S & C Transport
2	11/29/2017	017834951 JJK			24.80			S & C Transport
3	11/29/2017	017834956 JJK			26.72			S & C Transport
4	11/29/2017	017834972 JJK			22.46			S & C Transport
5	11/29/2017	017834957 JJK			22.75			S & C Transport
6	11/29/2017	017834973 JJK			24.18			S & C Transport
7	11/29/2017	017834955 JJK			25.34			S & C Transport
8	11/29/2017	017834954 JJK			24.96			S & C Transport
	11/30/2017	288569	24.70					Lou's Transport
9	11/30/2017	017834953JJK			23.77			MLO Performance
10	11/30/2017	017834966JJK			25.17			MLO Performance
11	11/30/2017	017834971JJK			23.07			MLO Performance
12	11/30/2017	017834952JJK			24.49			MLO Performance
13	11/30/2017	017834967JJK			23.99			MLO Performance
14	11/30/2017	017834970JJK			24.48			MLO Performance
15	11/30/2017	017834961JJK			23.86			MLO Performance
16	11/30/2017	017834968JJK			25.56			MLO Performance
17	11/30/2017	017834964JJK			24.98			MLO Performance
18	11/30/2017	017834962JJK			23.32			MLO Performance
19	11/30/2017	017834969JJK			23.77			MLO Performance
20	12/1/2017	017834963JJK			24.84			MLO Performance
21	12/1/2017	017834979JJK			19.35			MLO Performance
22	12/1/2017	017834982JJK			22.32			MLO Performance
23	12/1/2017	017834965JJK			25.27			MLO Performance
24	12/1/2017	017834978JJK			26.90			MLO Performance
25	12/1/2017	017834981JJK			24.89			MLO Performance
26	12/1/2017	017834977JJK			26.22			MLO Performance
27	12/1/2017	017834980JJK			22.28			MLO Performance
28	12/1/2017	017834983JJK			27.49			MLO Performance
29	12/4/2017	017828060JJK			26.51			MLO Performance
30	12/4/2017	017834997JJK			25.33			MLO Performance
31	12/4/2017	017834984JJK			25.13			MLO Performance
32	12/4/2017	017834985JJK			26.54			MLO Performance
33	12/4/2017	017834998JJK			28.41			MLO Performance
34	12/4/2017	017828062JJK			26.88			MLO Performance

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
35	12/4/2017	017828061JJK			27.67			MLO Performance
36	12/4/2017	017834999JJK			26.83			MLO Performance
37	12/4/2017	017834995JJK			25.32			MLO Performance
38	12/4/2017	017835000JJK			25.59			MLO Performance
39	12/4/2017	017834996JJK			27.55			MLO Performance
40	12/4/2017	017828063JJK			26.88			MLO Performance
	12/5/2017	1851724				29.53		Lou's Transport
	12/5/2017	1851738				27.43		Lou's Transport
	12/5/2017	1851817				27.76		Lou's Transport
	12/5/2017	1851878				28.49		Lou's Transport
	12/5/2017	1851918				26.57		Lou's Transport
	12/5/2017	1851982				26.12		Lou's Transport
	12/5/2017	1852026				26.03		Lou's Transport
	12/5/2017	1852117				27.84		Lou's Transport
	12/5/2017	1852177				29.03		Lou's Transport
41	12/5/2017	017834913JJK			26.23			MLO Performance
42	12/5/2017	017828070JJK			24.76			MLO Performance
43	12/5/2017	017828065JJK			27.12			MLO Performance
44	12/5/2017	017828069JJK			24.80			MLO Performance
45	12/5/2017	017828064JJK			24.84			MLO Performance
46	12/5/2017	017834912JJK			26.37			MLO Performance
47	12/5/2017	017828071JJK			27.54			MLO Performance
48	12/5/2017	017834911JJK			27.32			MLO Performance
49	12/5/2017	017828068JJK			26.93			MLO Performance
50	12/5/2017	017828067JJK			23.94			MLO Performance
51	12/5/2017	017834915JJK			25.78			MLO Performance
52	12/5/2017	017834909JJK			28.25			MLO Performance
53	12/5/2017	017828066JJK			30.71			MLO Performance
54	12/5/2017	017834914JJK			33.82			MLO Performance
	12/6/2017	1852303				28.11		Lou's Transport
	12/6/2017	1852323				26.17		Lou's Transport
	12/6/2017	1852375				31.96		Lou's Transport
	12/6/2017	1852446				29.15		Lou's Transport
	12/6/2017	1852543				27.44		Lou's Transport
	12/6/2017	1852565				33.42		Lou's Transport
	12/6/2017	1852655				29.18		Lou's Transport
	12/6/2017	1852701				26.35		Lou's Transport
	12/6/2017	1852704				24.57		Lou's Transport
55	12/6/2017	017834910JJK			24.12			MLO Performance
56	12/6/2017	017828080JJK			24.55			MLO Performance
57	12/6/2017	017828083JJK			24.77			MLO Performance
58	12/6/2017	017828077JJK			25.80			MLO Performance
59	12/6/2017	017828081JJK			25.51			MLO Performance
60	12/6/2017	017828085JJK			25.66			MLO Performance

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
61	12/6/2017	017828082JJK			25.24			MLO Performance
62	12/6/2017	017828078JJK			26.84			MLO Performance
63	12/6/2017	017828086JJK			28.26			MLO Performance
64	12/6/2017	017828084JJK			26.22			MLO Performance
65	12/6/2017	017828079JJK			26.11			MLO Performance
	12/7/2017	1852868				29.69		Lou's Transport
	12/7/2017	1852918				25.55		Lou's Transport
	12/7/2017	1852936				26.78		Lou's Transport
	12/7/2017	1852949				28.29		Lou's Transport
	12/7/2017	1853026				31.75		Lou's Transport
	12/7/2017	1853113				35.80		Lou's Transport
	12/7/2017	1853124				30.18		Lou's Transport
	12/7/2017	1853165				28.30		Lou's Transport
	12/7/2017	1853170				27.96		Lou's Transport
	12/7/2017	1853281				27.81		Lou's Transport
	12/7/2017	1853285				23.11		Lou's Transport
	12/7/2017	1853295				25.65		Lou's Transport
66	12/7/2017	017828089JJK			25.52			MLO Performance
67	12/7/2017	017828093JJK			25.43			MLO Performance
68	12/7/2017	017828105JJK			25.84			MLO Performance
69	12/7/2017	017828088JJK			24.42			MLO Performance
70	12/7/2017	017828092JJK			25.38			MLO Performance
71	12/7/2017	017828096JJK			25.16			MLO Performance
72	12/7/2017	017828106JJK			26.43			MLO Performance
73	12/7/2017	017828094JJK			26.70			MLO Performance
74	12/7/2017	017828090JJK			26.45			MLO Performance
75	12/7/2017	017828087JJK			26.58			MLO Performance
76	12/7/2017	017828091JJK			25.21			MLO Performance
77	12/7/2017	017828095JJK			27.13			MLO Performance
	12/8/2017	1853453				24.70		Lou's Transport
	12/8/2017	1853478				32.70		Lou's Transport
	12/8/2017	1853488				24.79		Lou's Transport
	12/8/2017	1853583				26.25		Lou's Transport
	12/8/2017	1853616				33.28		Lou's Transport
	12/8/2017	1853655				28.59		Lou's Transport
	12/8/2017	1853657				30.64		Lou's Transport
	12/8/2017	1853709				26.52		Lou's Transport
	12/8/2017	1853769				32.27		Lou's Transport
	12/8/2017	1853784				34.97		Lou's Transport
	12/8/2017	1853810				28.97		Lou's Transport
	12/8/2017	1853820				30.34		Lou's Transport
78	12/8/2017	017828109JJK			23.87			MLO Performance
79	12/8/2017	017828103JJK			25.65			MLO Performance
80	12/8/2017	017828099JJK			23.85			MLO Performance

	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
81	12/8/2017	017828101JJK			25.50			MLO Performance
82	12/8/2017	017828107JJK			25.81			MLO Performance
83	12/8/2017	017828111JJK			25.12			MLO Performance
84	12/8/2017	017828104JJK			23.44			MLO Performance
85	12/8/2017	017828100JJK			23.77			MLO Performance
86	12/8/2017	017828110JJK			27.35			MLO Performance
87	12/8/2017	017828102JJK			22.10			MLO Performance
88	12/8/2017	017828108JJK			26.35			MLO Performance
89	12/11/2017	017828112JJK			25.64			MLO Performance
90	12/11/2017	017828118JJK			26.65			MLO Performance
91	12/11/2017	017828113JJK			25.28			MLO Performance
92	12/11/2017	017828117JJK			28.25			MLO Performance
93	12/11/2017	017828056JJK			28.94			MLO Performance
94	12/11/2017	017828116JJK			25.39			MLO Performance
95	12/11/2017	017828057JJK			26.59			MLO Performance
96	12/11/2017	017828115JJK			26.23			MLO Performance
	12/11/2017	1853994				27.00		Lou's Transport
	12/11/2017	1854006				26.83		Lou's Transport
	12/11/2017	1854017				34.94		Lou's Transport
	12/11/2017	1854064				26.13		Lou's Transport
	12/11/2017	1854154				28.27		Lou's Transport
	12/11/2017	1854145				29.21		Lou's Transport
	12/11/2017	1854189				37.92		Lou's Transport
	12/11/2017	1854218				30.99		Lou's Transport
	12/11/2017	1854266				27.39		Lou's Transport
	12/11/2017	1854283				35.99		Lou's Transport
97	12/12/2017	017828114JJK			25.84			MLO Performance
98	12/12/2017	017834990JJK			25.48			MLO Performance
99	12/12/2017	017828055JJK			27.18			MLO Performance
100	12/12/2017	017834991JJK			26.56			MLO Performance
101	12/12/2017	017834986JJK			25.21			MLO Performance
102	12/12/2017	017834992JJK			24.79			MLO Performance
103	12/12/2017	017834989JJK			24.57			MLO Performance
104	12/12/2017	017834993JJK			25.56			MLO Performance
	12/12/2017	1854364				29.95		Lou's Transport
	12/12/2017	1854525				30.01		Lou's Transport
	12/12/2017	1854557				30.17		Lou's Transport
	12/12/2017	1854546				28.81		Lou's Transport
	12/13/2017	1854785				25.42		Lou's Transport
	12/13/2017	1854854				33.98		Lou's Transport
	12/13/2017	1854796				32.32		Lou's Transport
	12/13/2017	859574	26.55					Lou's Transport
105	12/13/2017	017828119JJK			25.49			MLO Performance
106	12/13/2017	017828129JJK			21.49			MLO Performance

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
107	12/13/2017	017834994JJK			23.21			MLO Performance
108	12/13/2017	017928130JJK			22.01			MLO Performance
109	12/14/2017	017828143JJK			24.44			MLO Performance
110	12/14/2017	017828140JJK			23.95			MLO Performance
111	12/14/2017	017882131JJK			24.14			MLO Performance
112	12/14/2017	017828141JJK			24.16			MLO Performance
113	12/14/2017	017828144JJK			26.10			MLO Performance
114	12/14/2017	017828132JJK			23.39			MLO Performance
115	12/14/2017	017828142JJK			24.75			MLO Performance
116	12/14/2017	017828133JJK			25.17			MLO Performance
	12/15/2017	1855339				29.85		Lou's Transport
	12/15/2017	1855497				29.67		Lou's Transport
	12/15/2017	1855623				24.94		Lou's Transport
	12/15/2017	1855391				26.95		Lou's Transport
	12/15/2017	1855301				27.96		Lou's Transport
	12/15/2017	1855469				33.01		Lou's Transport
	12/15/2017	1855601				27.21		Lou's Transport
	12/15/2017	1855297				28.78		Lou's Transport
	12/15/2017	1855328				27.22		Lou's Transport
	12/15/2017	1855431				25.96		Lou's Transport
	12/15/2017	1855544				27.23		Lou's Transport
117	12/15/2017	017828146JJK			19.60			MLO Performance
118	12/15/2017	017828150JJK			23.77			MLO Performance
119	12/15/2017	017828145JJK			26.06			MLO Performance
120	12/15/2017	017828149JJK			26.74			MLO Performance
121	12/15/2017	017828147JJK			23.07			MLO Performance
122	12/15/2017	017828151JJK			22.26			MLO Performance
123	12/15/2017	017828152JJK			25.83			MLO Performance
124	12/15/2017	017828148JJK			24.20			MLO Performance
125	12/18/2017	017828155JJK			23.07			MLO Performance
126	12/18/2017	017828158JJK			26.60			MLO Performance
127	12/18/2017	017828162JJK			25.91			MLO Performance
128	12/18/2017	017828153JJK			24.69			MLO Performance
129	12/18/2017	017828157JJK			25.40			MLO Performance
130	12/18/2017	017828161JJK			26.43			MLO Performance
131	12/18/2017	017828154JJK			21.13			MLO Performance
132	12/18/2017	017828159JJK			23.60			MLO Performance
133	12/18/2017	017828163JJK			24.47			MLO Performance
134	12/18/2017	017828156JJK			26.66			MLO Performance
135	12/18/2017	017828160JJK			27.30			MLO Performance
	12/18/2017	1855853				29.28		Lou's Transport
	12/18/2017	1855857				25.99		Lou's Transport
	12/18/2017	1855870				26.27		Lou's Transport
	12/18/2017	1855937				23.93		Lou's Transport

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
	12/18/2017	1855997				27.75		Lou's Transport
	12/18/2017	1856015				33.21		Lou's Transport
	12/18/2017	1856056				26.91		Lou's Transport
	12/18/2017	1856151				27.51		Lou's Transport
	12/18/2017	1856183				32.72		Lou's Transport
	12/18/2017	1856206				27.04		Lou's Transport
	12/19/2017	861141	28.08					Lou's Transport
	12/19/2017	1856316				28.38		Lou's Transport
	12/19/2017	1856346				28.25		Lou's Transport
	12/19/2017	1856361				30.44		Lou's Transport
	12/19/2017	1856401				32.6		Lou's Transport
	12/19/2017	1856443				27.41		Lou's Transport
	12/19/2017	1856503				25.97		Lou's Transport
	12/19/2017	1856505				31.05		Lou's Transport
	12/19/2017	1856525				31.00		Lou's Transport
	12/19/2017	1856572				27.04		Lou's Transport
	12/19/2017	1856654				27.92		Lou's Transport
	12/19/2017	1856661				30.29		Lou's Transport
136	12/19/2017	017828185JJK			27.15			MLO Performance
137	12/19/2017	017828178JJK			25.41			MLO Performance
138	12/19/2017	017828184JJK			24.96			MLO Performance
139	12/19/2017	017828186JJK			25.28			MLO Performance
140	12/19/2017	017828183JJK			25.25			MLO Performance
141	12/19/2017	017828181JJK			25.18			MLO Performance
142	12/19/2017	017828187JJK			28.21			MLO Performance
143	12/19/2017	017828182JJK			25.40			MLO Performance
144	12/19/2017	017828180JJK			23.61			MLO Performance
	12/20/2017	1856788				34.86		Lou's Transport
	12/20/2017	1856797				35.58		Lou's Transport
	12/20/2017	1856830				38.53		Lou's Transport
	12/20/2017	1856834				30.42		Lou's Transport
	12/20/2017	1856840				35.40		Lou's Transport
	12/20/2017	1856846				26.12		Lou's Transport
	12/20/2017	1856860				32.46		Lou's Transport
	12/20/2017	1856926				28.26		Lou's Transport
	12/20/2017	1856941				30.78		Lou's Transport
	12/20/2017	1856945				32.47		Lou's Transport
	12/20/2017	1856967				28.65		Lou's Transport
	12/20/2017	1856969				28.03		Lou's Transport
	12/20/2017	1856978				27.47		Lou's Transport
	12/20/2017	1856984				26.67		Lou's Transport

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
	12/20/2017	1856986				25.68		Lou's Transport
	12/20/2017	1857006				25.10		Lou's Transport
	12/20/2017	1857038				28.40		Lou's Transport
	12/20/2017	1857048				29.37		Lou's Transport
	12/20/2017	1857061				31.44		Lou's Transport
	12/20/2017	1857071				30.97		Lou's Transport
	12/20/2017	1857073				21.50		Lou's Transport
	12/20/2017	1857089				25.67		Lou's Transport
	12/20/2017	1857103				27.98		Lou's Transport
	12/20/2017	1857105				25.85		Lou's Transport
	12/20/2017	1857135				29.74		Lou's Transport
	12/21/2017	1857255				31.54		Lou's Transport
	12/21/2017	1857290				23.62		Lou's Transport
	12/21/2017	1857361				33.99		Lou's Transport
	12/21/2017	1857409				31.66		Lou's Transport
	12/21/2017	1857465				35.60		Lou's Transport
	12/21/2017	1857563				32.90		Lou's Transport
	12/22/2017	1857691				31.40		Lou's Transport
	12/22/2017	1857704				29.28		Lou's Transport
	12/22/2017	1857715				29.88		Lou's Transport
	12/22/2017	1857738				32.36		Lou's Transport
	12/22/2017	1857812				27.83		Lou's Transport
	12/22/2017	1857823				26.00		Lou's Transport
	12/22/2017	1857850				27.41		Lou's Transport
	12/22/2017	1857857				31.98		Lou's Transport
	12/22/2017	1857876				29.26		Lou's Transport
	12/22/2017	1857885				27.71		Lou's Transport
	12/22/2017	1857905				30.11		Lou's Transport
	12/22/2017	1857931				28.93		Lou's Transport
	12/22/2017	1857951				26.00		Lou's Transport
	12/22/2017	1857961				34.70		Lou's Transport
	12/22/2017	1858000				30.35		Lou's Transport
	12/22/2017	1858025				26.30		Lou's Transport
	12/26/2017	1858150				32.89		Lou's Transport
	12/26/2017	1858159				29.21		Lou's Transport
	12/26/2017	1858219				35.99		Lou's Transport
	12/26/2017	1858222				26.81		Lou's Transport
	12/26/2017	1858246				32.65		Lou's Transport
	12/26/2017	1858292				28.08		Lou's Transport

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
	12/26/2017	1858307				32.94		Lou's Transport
	12/26/2017	1858331				30.39		Lou's Transport
145	12/26/2017	017828305JJK			26.51			MLO Performance
146	12/26/2017	017828301JJK			25.44			MLO Performance
147	12/26/2017	017828298JJK			23.99			MLO Performance
148	12/26/2017	017828302JJK			26.85			MLO Performance
149	12/26/2017	017828299JJK			26.26			MLO Performance
150	12/26/2017	017828303JJK			29.38			MLO Performance
151	12/26/2017	017828297JJK			25.71			MLO Performance
152	12/26/2017	017828304JJK			26.24			MLO Performance
153	12/26/2017	017828300JJK			26.55			MLO Performance
154	12/26/2017	017828296JJK			25.55			MLO Performance
155	12/27/2017	017828179JJK			25.38			MLO Performance
156	12/27/2017	017828284JJK			20.98			MLO Performance
157	12/27/2017	017828288JJK			24.77			MLO Performance
158	12/27/2017	017828295JJK			23.72			MLO Performance
159	12/27/2017	017828285JJK			24.90			MLO Performance
160	12/27/2017	017828289JJK			23.99			MLO Performance
161	12/27/2017	017828294JJK			24.14			MLO Performance
162	12/27/2017	017828286JJK			27.87			MLO Performance
163	12/27/2017	017828291JJK			24.46			MLO Performance
164	12/27/2017	017828287JJK			25.07			MLO Performance
	12/27/2017	1858402				28.13		Lou's Transport
	12/27/2017	1858447				26.58		Lou's Transport
	12/27/2017	1858479				29.81		Lou's Transport
	12/27/2017	1858533				26.86		Lou's Transport
	12/27/2017	1858550				30.80		Lou's Transport
165	12/28/2017	017828290JJK			23.94			MLO Performance
166	12/28/2017	017828194JJK			23.56			MLO Performance
167	12/28/2017	017828198JJK			22.98			MLO Performance
168	12/28/2017	017828292JJK			24.74			MLO Performance
169	12/28/2017	017828195JJK			25.78			MLO Performance
170	12/28/2017	017828199JJK			24.64			MLO Performance
171	12/28/2017	017828293JJK			20.91			MLO Performance
172	12/28/2017	017828196JJK			22.38			MLO Performance
173	12/28/2017	017828200JJK			23.16			MLO Performance
174	12/28/2017	017828193JJK			20.04			MLO Performance
175	12/28/2017	017828197JJK			24.04			MLO Performance
176	12/28/2017	017828201JJK			25.71			MLO Performance
177	12/28/2017	017828203JJK			24.96			MLO Performance
178	12/28/2017	017828207JJK			24.47			MLO Performance
179	12/28/2017	017828202JJK			22.94			MLO Performance
180	12/28/2017	017828206JJK			22.62			MLO Performance
181	12/28/2017	017828349JJK			25.34			MLO Performance

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
182	12/28/2017	017828204JJK			23.25			MLO Performance
183	12/28/2017	017828208JJK			25.09			MLO Performance
184	12/28/2017	017828348JJK			26.75			MLO Performance
185	12/28/2017	017828205JJK			24.85			MLO Performance
186	12/28/2017	017828350JJK			23.97			MLO Performance
187	12/28/2017	017828347JJK			26.12			MLO Performance
188	12/29/2017	017828203JJK			24.96			MLO Performance
189	12/29/2017	017828207JJK			24.47			MLO Performance
190	12/29/2017	017828202JJK			22.94			MLO Performance
191	12/29/2017	017828206JJK			22.62			MLO Performance
192	12/29/2017	017828349JJK			25.34			MLO Performance
193	12/29/2017	017828204JJK			23.25			MLO Performance
194	12/29/2017	017828208JJK			25.09			MLO Performance
195	12/29/2017	017828348JJK			26.75			MLO Performance
196	12/29/2017	017828205JJK			24.85			MLO Performance
197	12/29/2017	017828350JJK			23.97			MLO Performance
198	12/29/2017	017828347JJK			26.12			MLO Performance
199	1/2/2018	017828346JJK			23.88			MLO Performance
200	1/2/2018	017828344JJK			21.94			MLO Performance
201	1/2/2018	017828342JJK			24.96			MLO Performance
202	1/2/2018	017828345JJK			24.46			MLO Performance
203	1/2/2018	017828343JJK			24.36			MLO Performance
204	1/2/2018	017828341JJK			23.49			MLO Performance
205	1/30/2018	017828468JJK			28.13			HM/Pat
206	1/30/2018	017828467JJK			28.28			HM/Pat
207	1/30/2018	017828340JJK			27.18			HM/Pat
208	1/30/2018	017828449JJK			24.94			S & C Transport
209	1/30/2018	017828451JJK			27.57			S & C Transport
210	1/30/2018	017828454JJK			24.80			S & C Transport
211	1/30/2018	017828448JJK			26.01			S & C Transport
212	1/30/2018	017828453JJK			25.23			S & C Transport
213	1/30/2018	017828450JJK			26.05			S & C Transport
214	1/30/2018	017828452JJK			25.53			S & C Transport
215	1/30/2018	017828455JJK			24.54			S & C Transport
216	1/31/2018	017828471JJK			32.48			HM/Pat
217	1/31/2018	017828470JJK			28.38			HM/Pat
218	1/31/2018	017828469JJK			29.99			HM/Pat
219	1/31/2018	017828457JJK			21.58			S & C Transport

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
220	1/31/2018	017828460JJK			24.70			S & C Transport
221	1/31/2018	017828463JJK			24.95			S & C Transport
222	1/31/2018	017828458JJK			24.04			S & C Transport
223	1/31/2018	017828461JJK			22.82			S & C Transport
224	1/31/2018	017828464JJK			26.63			S & C Transport
225	1/31/2018	017828456JJK			20.89			S & C Transport
226	1/31/2018	017828459JJK			22.42			S & C Transport
227	1/31/2018	017828462JJK			23.87			S & C Transport
228	2/1/2018	017828495JJK			20.39			S & C Transport
229	2/1/2018	017828498JJK			23.76			S & C Transport
230	2/1/2018	017828499JJK			22.20			S & C Transport
231	2/1/2018	017828493JJK			22.81			S & C Transport
232	2/1/2018	017828497JJK			24.49			S & C Transport
233	2/1/2018	018587516JJK			23.33			S & C Transport
234	2/1/2018	017828494JJK			23.57			S & C Transport
235	2/1/2018	017828496JJK			22.11			S & C Transport
236	2/1/2018	017828500JJK			24.53			S & C Transport
237	2/1/2018	017828489JJK			30.06			HM/Zach
238	2/1/2018	017828490JJK			29.53			HM/Zach
239	2/1/2018	017828491JJK			28.06			HM/Pat
240	2/1/2018	017828492JJK			30.37			HM/Pat
241	2/2/2018	017828472JJK			28.13			HM/Zach
242	2/2/2018	017828474JJK			26.16			HM/Zach
243	2/2/2018	017828476JJK			26.99			HM/Zach
244	2/2/2018	017828475JJK			25.07			HM/Pat
245	2/2/2018	017828473JJK			23.63			HM/Pat
246	2/2/2018	017828488JJK			27.77			HM/Pat
247	2/2/2018	017828339JJK			22.24			S & C Transport
248	2/2/2018	017828338JJK			24.04			S & C Transport
249	2/2/2018	017828337JJK			21.82			S & C Transport
250	2/2/2018	017828336JJK			21.30			S & C Transport
251	2/2/2018	017828335JJK			23.74			S & C Transport
252	2/2/2018	017828334JJK			24.06			S & C Transport
253	2/2/2018	017828333JJK			22.94			S & C Transport
254	2/2/2018	017828332JJK			22.21			S & C Transport
255	2/5/2018	017828331JJK			21.70			S & C Transport
256	2/5/2018	017828330JJK			19.41			S & C Transport
257	2/5/2018	017828465JJK			21.91			S & C Transport
258	2/5/2018	017828477JJK			28.12			HM/Pat
259	2/5/2018	017828487JJK			26.61			HM/Pat
260	2/5/2018	017828466JJK			23.29			S & C Transport
261	2/5/2018	018587515JJK			20.56			S & C Transport
262	2/6/2018	017828486JJK			27.51			HM/Nick
263	2/6/2018	018587545JJK			25.85			HM/Nick
264	2/6/2018	018587543JJK			26.91			HM/Nick
265	2/6/2018	018587546JJK			26.34			HM/Pat
266	2/6/2018	017828485JJK			26.30			HM/Pat
267	2/6/2018	018587544JJK			25.03			HM/Pat

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
268	2/7/2018	018587542JJK			26.38			HM/Nick
269	2/7/2018	018587541JJK			28.68			HM/Nick
270	2/7/2018	018587539JJK			23.75			HM/Zach
271	2/7/2018	018587540JJK			22.16			HM/Zach
272	2/8/2018	018587538JJK			23.69			HM/Zach
273	2/8/2018	018587537JJK			27.43			HM/Nick
274	2/8/2018	018587560JJK			23.90			HM/Zach
275	2/8/2018	018587559JJK			27.09			HM/Nick
276	2/8/2018	018587558JJK			24.25			HM/Zach
277	2/12/2018	018587555JJK			27.00			HM/Nick
278	2/12/2018	018587553JJK			25.96			HM/Nick
279	2/12/2018	018587557JJK			25.36			HM/Zach
280	2/12/2018	018587554JJK			24.61			HM/Zach
281	2/12/2018	018587552JJK			35.18			HM/Paul
282	2/12/2018	018587556JJK			25.84			HM/Paul
283	2/13/2018	018587562JJK			26.46			HM/Pat
284	2/13/2018	018587585JJK			24.75			HM/Pat
285	2/13/2018	018587551JJK			26.97			HM/Nick
286	2/13/2018	018587564JJK			25.08			HM/Nick
287	2/13/2018	018587584JJK			22.71			HM/Nick
288	2/13/2018	018587583JJK			19.31			HM/Zach
289	2/13/2018	018587563JJK			22.55			HM/Zach
290	2/13/2018	018587565JJK			21.31			HM/Zach
291	2/14/2018	018587580JJK			27.04			HM/Nick
292	2/14/2018	018587577JJK			24.71			HM/Nick
293	2/14/2018	018587574JJK			31.11			HM/Nick
294	2/14/2018	018587575JJK			25.40			HM/Zach
295	2/14/2018	018587578JJK			25.87			HM/Zach
296	2/14/2018	018587581JJK			25.55			HM/Zach
297	2/14/2018	018587576JJK			25.34			HM/Pat
298	2/14/2018	018587582JJK			27.83			HM/Pat
299	2/14/2018	018587579JJK			25.62			HM/Pat
300	2/15/2018	018587573JJK			24.70			HM/Zach
301	2/15/2018	018587571JJK			26.44			HM/Zach
302	2/15/2018	018587594JJK			30.67			HM/Zach
303	2/15/2018	018587572JJK			28.14			HM/Nick
304	2/15/2018	018587593JJK			29.29			HM/Nick
305	2/15/2018	018587595JJK			30.92			HM/Nick
306	2/16/2018	018587598JJK			27.45			HM/Pat
307	2/16/2018	018587601JJK			28.95			HM/Pat
308	2/16/2018	018587596JJK			28.30			HM/Nick
309	2/16/2018	018587599JJK			28.82			HM/Nick

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
310	2/16/2018	018587602JJK			28.49			HM/Nick
311	2/16/2018	018587597JJK			26.44			HM/Zach
312	2/16/2018	018587600JJK			23.83			HM/Zach
313	2/16/2018	018587603JJK			26.76			HM/Zach
314	2/19/2018	018587611JJK			28.83			HM/Mike
315	2/19/2018	018587608JJK			26.08			HM/Mike
316	2/19/2018	018587604JJK			29.52			HM/Mike
317	2/19/2018	018587605JJK			28.07			HM/Nick
318	2/19/2018	018587607JJK			27.99			HM/Nick
319	2/19/2018	018587610JJK			27.16			HM/Nick
320	2/19/2018	018587609JJK			27.49			HM/Zach
321	2/19/2018	018587606JJK			29.63			HM/Zach
322	2/20/2018	018587612JJK			30.05			HM/Mike
323	2/20/2018	018587618JJK			28.22			HM/Nick
324	2/20/2018	018587619JJK			27.55			HM/Zach
	2/28/2018	018587690JJK					6750	HM/Nick
	2/28/2018	018587693JJK					7000	HM/Nick
	2/28/2018	018587691JJK					7000	HM/Nick
	3/2/2018	018587692JJK					7000	HM/Nick
325	3/5/2018	018587513JJK			34.67			S & C Transport
326	3/5/2018	018587514JJK			23.52			S & C Transport
	3/5/2018	018587704JJK					4585	HM/Nick
327	3/5/2018	018587625JJK			30.99			HM/Zach
328	3/5/2018	018587622JJK			23.40			HM/Zach
329	3/5/2018	018587624JJK			28.39			HM/Paul
330	3/5/2018	018587621JJK			20.10			HM/Paul
331	3/5/2018	018587623JJK			30.01			HM/Pat
332	3/5/2018	018587620JJK			19.03			HM/Pat
333	3/6/2018	018587510JJK			31.88			S & C Transport
334	3/6/2018	018587512JJK			28.78			S & C Transport
335	3/6/2018	018587509JJK			29.05			S & C Transport
336	3/6/2018	018587511JJK			29.04			S & C Transport
337	3/6/2018	018587628JJK			31.07			HM/Pat
338	3/6/2018	018587627JJK			28.39			HM/Zach
339	3/6/2018	018587626JJK			28.74			HM/Travis
340	3/8/2018	018587507JJK			29.97			S & C Transport
341	3/8/2018	018587527JJK			27.32			S & C Transport
342	3/8/2018	018587505JJK			28.97			S & C Transport
343	3/8/2018	018587508JJK			32.03			S & C Transport
344	3/8/2018	018587506JJK			31.92			S & C Transport
345	3/8/2018	018587504JJK			32.19			S & C Transport
346	3/8/2018	018587637JJK			26.92			HM/Zach
347	3/8/2018	018587634JJK			28.14			HM/Zach
348	3/8/2018	018587631JJK			26.72			HM/Zach
349	3/8/2018	018587629JJK			25.83			HM/Travis
350	3/8/2018	018587632JJK			29.00			HM/Travis
351	3/8/2018	018587635JJK			27.45			HM/Travis
352	3/8/2018	018587636JJK			28.75			HM/Pat
353	3/8/2018	018587633JJK			26.52			HM/Pat
354	3/8/2018	018587630JJK			27.18			HM/Pat

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
355	3/9/2018	018587723JJK			26.86			HM/Nick
356	3/9/2018	018587725JJK			29.53			HM/Nick
357	3/9/2018	018587724JJK			29.33			HM/Pat
358	3/9/2018	018587721JJK			28.11			HM/Pat
359	3/9/2018	018587727JJK			31.90			HM/Pat
360	3/9/2018	018587726JJK			30.87			HM/Zach
361	3/9/2018	018587722JJK			28.15			HM/Zach
362	3/9/2018	018587533JJK			30.12			S & C Transport
363	3/9/2018	018587531JJK			28.52			S & C Transport
364	3/9/2018	018587529JJK			29.52			S & C Transport
365	3/9/2018	018587532JJK			29.84			S & C Transport
366	3/9/2018	018587530JJK			31.92			S & C Transport
367	3/9/2018	018587528JJK			28.54			S & C Transport
	3/9/2018	018587705JJK					4600	HM/Paul
368	3/12/2018	018587728JJK			31.88			HM/Travis
369	3/12/2018	018587746JJK			29.44			HM/Travis
370	3/12/2018	018587744JJK			29.34			HM/Travis
371	3/12/2018	018587743JJK			32.74			HM/Paul
372	3/12/2018	018587729JJK			27.94			HM/Paul
373	3/12/2018	018587730JJK			31.10			HM/Paul
374	3/12/2018	018587745JJK			30.41			HM/Tom
375	3/12/2018	018587742JJK			27.51			HM/Tom
376	3/13/2018	018587739JJK			28.29			HM/Zach
	3/13/2018	1877728				23.64		HM/Zach
	3/13/2018	1877836				27.31		HM/Zach
377	3/13/2018	018587741JJK			29.78			HM/Paul
	3/13/2018	1877818				26.48		HM/Paul
	3/13/2018	1877721				24.16		HM/Paul
378	3/13/2018	018587740JJK			27.43			HM/Travis
	3/13/2018	1877725				25.36		HM/Travis
	3/13/2018	1877827				27.40		HM/Travis
	3/14/2018	1877959				28.34		HM/Nick
	3/14/2018	1878057				25.02		HM/Nick
	3/14/2018	1878199				26.63		HM/Nick
	3/14/2018	1877968				25.67		HM/Zach
	3/14/2018	1878075				26.87		HM/Zach
	3/14/2018	1878184				27.92		HM/Zach
379	3/15/2018	018587738JJK			27.85			HM/Pat
380	3/15/2018	018587737JJK			28.98			HM/Pat
	3/15/2018	1878401				29.44		HM/Zach
	3/15/2018	1878311				26.17		HM/Zach
381	3/15/2018	018587766JJK			30.14			HM/Zach
	3/15/2018	1878332				29.84		HM/Nick
	3/15/2018	1878428				27.63		HM/Nick
382	3/15/2018	018587758JJK			28.33			HM/Nick
	3/16/2018	1878697				27.89		HM/Zach
	3/16/2018	1878774				27.73		HM/Zach
383	3/16/2018	018587760JJK			29.70			HM/Zach
384	3/16/2018	018587757JJK			30.63			HM/Nick
385	3/16/2018	018587759JJK			28.36			HM/Nick
386	3/16/2018	018587761JJK			29.87			HM/Nick
387	3/19/2018	018587762JJK			26.50			HM/Zach

Number of Haz. Loads	Date	Manifest/Ticket #	Michigan Concrete 1 x 3 CC	State Crushing 21AA	Wayne Disposal Hazardous Soil	Advanced Disposal Non-Haz Soil	DART Disposal Groundwater	Driver
	3/19/2018	116379		34.54				HM/Zach
	3/19/2018	116383		32.10				HM/Zach
	3/19/2018	116387		30.08				HM/Zach
	3/19/2018	116384		27.05				HM/Tom
	3/19/2018	116382		26.07				HM/Tom
	3/19/2018	116378		28.65				HM/Tom
	3/19/2018	116376		21.84				HM/Tom
	3/19/2018	116377		25.07				HM/Tom
388	3/20/2018	018587764JJK			27.96			HM/Travis
	3/20/2018	116392		32.24				HM/Travis
	3/20/2018	116400		31.71				HM/Travis
	3/20/2018	119003		32.37				HM/Travis
	3/20/2018	119007		29.89				HM/Travis
389	3/20/2018	018587763JJK			31.77			HM/Paul
	3/20/2018	119006		32.02				HM/Paul
	3/20/2018	116398		32.87				HM/Paul
	3/20/2018	116389		31.85				HM/Paul
	3/20/2018	119002		32.12				HM/Paul
	3/21/2018	119050		33.76				HM/Tom
	3/21/2018	119043		32.26				HM/Tom
	3/21/2018	119027		29.71				HM/Tom
	3/21/2018	1879859				27.86		HM/Tom
	3/21/2018	1880083				27.55		HM/Tom
	3/21/2018	119042		33.70				HM/Paul
	3/21/2018	119049		30.97				HM/Paul
	3/21/2018	119029		32.32				HM/Paul
	3/21/2018	1879870				31.49		HM/Paul
	3/21/2018	1880074				29.17		HM/Paul
	3/23/2018	1880533				29.31		HM/Tom
	3/23/2018	1880645				28.31		HM/Tom
	3/23/2018	1880786				29.16		HM/Tom
	3/26/2018					29.48		Lou's Transport
	3/26/2018					26.36		Lou's Transport
Total:			160.26	727.75	10090.70	5154.65	36935.00	

Less Prev Billed	-105.63	-54.56	-2243.88	-1200.04	0
Progress Billing 12/09-12/29	-54.63	0.00	-2734.06	-3212.42	0.00
Progress Billing 12/30-02/02	0.00	0.00	-1399.41	0.00	0.00
Progress Billing 02/03-02/09	0.00	0.00	-546.87	0.00	0.00
Progress Billing 02/10-02/16	0.00	0.00	-980.76	0.00	0.00
Progress Billing 02/17-02/23	0.00	0.00	-310.59	0.00	0.00
Progress Billing 02/24-03/03	0.00	0.00	0.00	0.00	-27750.00
Progress Billing 03/04-03/13	0.00	0.00	-1555.04	-154.35	-9185.00
Progress Billing 03/14-03/20	0.00	-480.47	-320.09	-329.15	0.00
Progress Billing 03/21-04/06	0.00	-192.72	0.00	-258.69	0.00
Total	0.00	0.00	0.00	0.00	0.00



HM Environmental Services, Inc

Daily Service Receipt

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:
Generator:

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

Date:

3/21/2018

Order #:
PO #:

Approval #: K178055WDI

Waste Stream: HAZARDOUS SOIL Non HAZ

Disposal Site: WAYNE DISPOSAL, INC

Shop Time: 06:00 AM

Site Time: 07:00 AM

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
515 M - BOB CAT	7:00 AM	— AM	— AM	— AM	— AM	3:15 PM
519M - EXCAVATOR	11 AM	— AM	— AM	— AM	— AM	11 PM
520M - DOZER	11 AM	— AM	— AM	— AM	— AM	11 PM
17 - 2017 FORD F-250	6:00 AM	7:00 AM	3:15 PM	— AM	— AM	4:15 PM
528M - EXCAVATOR	7:00 AM	— AM	— AM	— AM	— AM	3:15 PM

Manifest #:
Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
Tom Wichman	5:30 AM	7:00 AM	3:15 PM	4:15 PM	AM	10.75
Pat Blair II	6:00 AM	11 AM	11 AM	11 AM	AM	10.25
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____

\$ 7.00 on company card for parking

LOAD OUT HAZ SOIL TO WAYNE AND BACKFILL WITH 21aa.

* came in this morning to find Hardman had used our Excavator without permission.

COMMENTS

- * 4 loads of non-haz soil loaded out (HM trucks) - 116.07 tons
- * 6 loads of 21AA crushed concrete delivered (HM Trucks) 192.72 tons
- * excavated last hole to elevation 731.30
- * moved stock pile of dirt (approx. 400 yards) for Hardman to have room to drill in south east corner.
- * awaiting approval from SME on soil to be hauled or left on site

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

Authorized Personnel

Date

N/A

Thomas Wichman

3/21/18

Shipping Log

The Pearl Birmingham, MI

Date	Load #	Manifest/Ticket #	Trucker	Truck#	AMOUNT	Time
3/21/18	1	119027	HME	122	21AA stone 29 yards	8:40 AM
	2	14106274	HME	122	29T	8:20 AM
	3	119039	HME	127	21AA stone 32 yards	8:35 AM
	4	11406226	HME	127	29T	8:45 AM
	5	119042	HME	127	21AA stone 33 yards	12:05 PM
	6	119043	HME	122	21AA stone 32 yards	12:20 PM
	7	119049	HME	127	21AA stone 30 ton	2:00 PM
	8	14106277	HME	127	29T	2:10 PM
	9	119050	HME	122	21AA stone 30 ton	2:15 PM
	10	14106278	HME	122	29T	2:30 PM

NON-
HAZ

NON-
HAZ

NON-
HAZ

NON-
HAZ



HM Environmental Services, Inc

Daily Service Receipt

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:
Generator:
Date:

3/21/2018

Order #:
PO #:
Approval #:

K178055WDI

Waste Stream:

HAZARDOUS SOIL NON HAZ

Disposal Site:

WASTE DISPOSAL, INC

Shop Time:

06:00 AM

Site Time:

07:00 AM

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
122 - KENWORTH TRACTOR	6:00 AM	7:00 AM	7:15 AM	AM	AM	AM
340D - 30 YARD DUMP TRAILER	() AM	() AM	() AM	AM	AM	AM
	AM	8:00 AM	8:30 AM	9:15 AM	10:00 AM	AM
	AM	11:00 AM	11:30 AM	AM	AM	AM
Pearl / Wiegand	AM	12:00 AM	12:30 AM	1:00 AM	1:15 AM	AM

Manifest #:

14106274

Waste Qty:

24T

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
Tom Biscarner	6:00 AM	7:00 AM	7:15 AM	AM	AM	11.50
	AM	8:00 AM	8:30 AM	AM	AM	
	AM	11:00 AM	11:30 AM	AM	AM	
	AM	12:00 AM	12:30 AM	AM	AM	
	AM	1:00 AM	1:15 AM	AM	AM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel 89 Gal

LOAD OUT HAZ SOIL TO ~~WASTE~~ ADVANCED AND BACKFILL WITH 21aa.

COMMENTS

Haul on 21aa then haul out NON HAZ SOIL

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

Authorized Personnel

Date

3/21/18



HM Environmental Services, Inc

Daily Service Receipt

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:

Generator:

Date:

Order #:

PO #:

Approval #:

Waste Stream:

Disposal Site:

Shop Time:

Site Time:

Continued

Continued

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
Pearl	AM PM	2:15 AM PM	2:45 AM PM	3:30 AM PM	4:00 AM PM	5:30 AM PM
	AM PM	AM PM	AM PM	AM PM	AM PM	AM PM
	AM PM	AM PM	AM PM	AM PM	AM PM	AM PM
	AM PM	AM PM	AM PM	AM PM	AM PM	AM PM
	AM PM	AM PM	AM PM	AM PM	AM PM	AM PM
	AM PM	AM PM	AM PM	AM PM	AM PM	AM PM

Manifest #:

Waste Qty:

14106278

29T

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
Tom Biscan	AM PM	2:15 AM PM	2:45 AM PM	5:30 AM PM	AM PM	
	AM PM	AM PM	AM PM	AM PM	AM PM	
	AM PM	AM PM	AM PM	AM PM	AM PM	
	AM PM	AM PM	AM PM	AM PM	AM PM	
	AM PM	AM PM	AM PM	AM PM	AM PM	
	AM PM	AM PM	AM PM	AM PM	AM PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel 8904

SPECIAL INSTRUCTIONS

COMMENTS

Continued Service Receipt

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

Authorized Personnel

Date

[Signature] 3/21/12

119043

WIEGAND'S
(586) 939-0840

HEREBY CERTIFY THAT AGGREGATE AS
DELIVERED MEETS SPECIFICATION REQUIREMENTS,
FOR STATED MICHIGAN SERIES AND CLASS IN QUANTITY

(Signature)

DATE

3-21-18

SOLD TO H M ENVIRONMENTAL
SERVICE

Birmingham

QUANTITY	TONS OR YARDS	AMOUNT	TOTAL
21-AA	32.26		
21-CD	10:27	3-21-18	

53.17 TN

20.91 TN

32.26 TN

TAX

LOADED BY

KEN

122#

BY

AN EQUAL OPPORTUNITY EMPLOYER

SHIPPER'S COPY

119050

WIEGAND'S
(586) 939-0840

☒ I HEREBY CERTIFY THAT AGGREGATE AS
DELIVERED MEETS SPECIFICATION REQUIREMENTS,
FOR STATED MICHIGAN SERIES AND CLASS IN QUANTITY
STATED.

(Signature)

PIT NO.

50-56

DATE

3-21-18

SOLD TO

DELIVERED TO

H M ENVIRONMENTAL
SERVICE

Birmingham

TYPE OF MATERIAL	TONS OR YARDS	AMOUNT	TOTAL
21-AA	33.76		
Spec	12:03	3-21-18	

GROSS

TARE

NET

TRUCK NO.

DRIVER

RECEIVED BY

AN EQUAL OPPORTUNITY EMPLOYER

54.67 TN

20.91 TN

33.76 TN

TAX

LOADED BY

KEN

122#

SHIPPER'S COPY

WIEGAND'S
(586) 939-0840

☒ I HEREBY CERTIFY THAT AGGREGATE AS
DELIVERED MEETS SPECIFICATION REQUIREMENTS,
FOR STATED MICHIGAN SERIES AND CLASS IN QUANTITY
STATED. _____

50-56 DATE 3-21-18
PIT NO. _____

SOLD TO T/M ENVIRONMENTAL

DELIVERED TO DE V. C. F.

B. r minham

TYPE OF MATERIAL	TONS OR YARDS	AMOUNT	TOTAL
21 740	29.71		
Spec	6:20	3-21-18	

GROSS

TAX 122N

TARE

LOADED BY

NET

TRUCK NO. _____

DRIVER

RECEIVED BY

AN EQUAL OPPORTUNITY EMPLOYER

SHIPPER'S COPY

ARBOR HILLS LANDFILL
10690 W SIX MILE RD
NORTHVILLE, MI 48168
8884431717

004240
HM ENVIRONMENTAL (AT)
42826 NORTH WALNUT ST
CLINTON TOWNSHIP, MI 48036

INVOICE
INBOUND

SITE		CELL	TICKET #	OPERATOR	
01			1879859	43967	
TRUCK			CONTAINER	LICENSE	
HM122-30					
REFERENCE				IN	OUT
14106274				3/21/18 9:22 am	3/21/18 9:22 am

CONTRACT: AH8807 - VACANT LOT 856 N OLD WOODWARD AVI
BOL:

GROSS 97,840.00LBS Scale In
TARE 42,120.00LBS Tare Out
NET 55,720.00 LBS

QTY	UNIT	DESCRIPTION	ORIGIN	%	RATE	TAX	TOTAL
27.86 1.00	TN	Contaminated Soils (Ext) COMPLIANCE AND BUSINESS IMPACT CHAR	OA	100.00 0.00			

I hereby certify that this load does not contain any unauthorized hazardous waste.

Total
Paid
Change
Check#
Recpt #

SIGNATURE: _____

CUSTOMER COPY



Advanced Disposal

NON-HAZARDOUS WASTE MANIFEST		1. Generator ID Number	2. Page 1 of	3. Emergency Response Phone	4. Waste Tracking Number 14106274
5. Generator's Name and Mailing Address Vacant Lot 855 N. Old Woodward Ave Birmingham MI 48009		Generator's Site Address (if different than mailing address) Same			
Generator's Phone:		6. Transporter 1 Company Name 248 680 1401 HM Environmental - 86-454-0041		U.S. EPA ID Number	
7. Transporter 2 Company Name				U.S. EPA ID Number	
8. Designated Facility Name and Site Address ADS / Arbor Hills Landfill 10690 W. 6 Mile Road Northville, MI 48168		248-412-0691		U.S. EPA ID Number MIK114-185-416	
Facility's Phone:					
9. Waste Shipping Name and Description		10. Containers		11. Total Quantity	12. Unit Wt./Vol.
		No.	Type		
1. Contaminated soil		001	DT	29	T
2.				27.86	
3.				18.40	
4.					
5.					
6.					
13. Special Handling Instructions and Additional Information MI687 181106 AH8807 515					
14. GENERATOR'S/OFFEROR'S CERTIFICATION: I hereby declare that the contents of this consignment are fully and accurately described above by the proper shipping name, and are classified, packaged, marked and labeled/placarded, and are in all respects in proper condition for transport according to applicable international and national governmental regulations.					
Generator's/Offor's Printed/Typed Name 14106274 Arbor Hills Landfill		Signature [Signature]		Month 3	Day 21
				Year 18	
15. International Shipments <input type="checkbox"/> Import to U.S. <input type="checkbox"/> Export from U.S. Port of entry/exit: _____ Date leaving U.S.: _____					
16. Transporter Acknowledgment of Receipt of Materials					
Transporter 1 Printed/Typed Name Tom Biscaner		Signature [Signature]		Month 3	Day 21
Transporter 2 Printed/Typed Name		Signature		Year 18	
17. Discrepancy					
17a. Discrepancy Indication Space <input type="checkbox"/> Quantity <input type="checkbox"/> Type <input type="checkbox"/> Residue <input type="checkbox"/> Partial Rejection <input type="checkbox"/> Full Rejection					
Manifest Reference Number:					
17b. Alternate Facility (or Generator) U.S. EPA ID Number					
Facility's Phone:					
17c. Signature of Alternate Facility (or Generator) Month Day Year					
1879859					
18. Designated Facility Owner or Operator: Certification of receipt of materials covered by the manifest except as noted in Item 17a					
Printed/Typed Name		Signature [Signature]		Month 3	Day 21
				Year 18	

RETURN TO OPERATOR

ARBOR HILLS LANDFILL
10690 W SIX MILE RD
NORTHVILLE, MI 48168
8884431717

004240
HM ENVIRONMENTAL (AT)
42826 NORTH WALNUT ST
CLINTON TOWNSHIP, MI 48036

INVOICE
INBOUND

SITE		CELL	TICKET #	OPERATOR	
01			1880083	40219	
TRUCK			CONTAINER	LICENSE	
HM122-30					
REFERENCE				IN	OUT
14106278				3/21/18 3:26 pm	3/21/18 3:26 pm

CONTRACT: AH8807 - VACANT LOT 856 N OLD WOODWARD AVE
BOL:

GROSS 97,220.00LBS Scale In
TARE 42,120.00LBS Tare Out
NET 55,100.00LBS

QTY	UNIT	DESCRIPTION	ORIGIN	%	RATE	TAX	TOTAL
27.55 1.00	TN	Contaminated Soils (Ext) COMPLIANCE AND BUSINESS IMPACT CHAR	OA	100.00 0.00			

I hereby certify that this load does not contain any unauthorized hazardous waste.

Total
Paid
Change
Check#
Recpt #

SIGNATURE: _____

CUSTOMER COPY



Advanced Disposal

NON-HAZARDOUS WASTE MANIFEST

1. Generator ID Number

2. Page 1 of

3. Emergency Response Phone

4. Waste Tracking Number

14106278

5. Generator's Name and Mailing Address

Generator's Site Address (if different than mailing address)

Vacant Lot

855 N. Old Woodward Ave

Same

Birmingham MI 48009

Generator's Phone:

6. Transporter 1 Company Name

243 620 1401

U.S. EPA ID Number

HAM Environmental - 586-469-0041

7. Transporter 2 Company Name

U.S. EPA ID Number

8. Designated Facility Name and Site Address

U.S. EPA ID Number

ADS / Arbor Hills Landfill

248-412-0691

10690 W. 6 Mile Road

MIK114-185-416

Northville, MI 48168

Facility's Phone:

9. Waste Shipping Name and Description

10. Containers

No.

Type

11. Total
Quantity12. Unit
Wt./Vol.

1.

001

DT

29

T

2.

Contaminated soil

3.

4.

5.

6.

13. Special Handling Instructions and Additional Information

MI687 181106 ANDRO7 515

14. GENERATOR'S/OFFEROR'S CERTIFICATION: I hereby declare that the contents of this consignment are fully and accurately described above by the proper shipping name, and are classified, packaged, marked and labeled/placarded, and are in all respects in proper condition for transport according to applicable international and national governmental regulations.

Generator's/Offor's Printed/Typed Name

Signature

Month

Day

Year

3

21

18

15. International Shipments

☐

Import to U.S.

☐

Export from U.S.

Port of entry/exit:

Date leaving U.S.:

16. Transporter Acknowledgment of Receipt of Materials

Transporter 1 Printed/Typed Name

Signature

Month

Day

Year

3

21

18

Transporter 2 Printed/Typed Name

Signature

Month

Day

Year

17. Discrepancy

17a. Discrepancy Indication Space

☐

Quantity

☐

Type

☐

Residue

☐

Partial Rejection

☐

Full Rejection

Manifest Reference Number:

17b. Alternate Facility (or Generator)

U.S. EPA ID Number

Facility's Phone:

17c. Signature of Alternate Facility (or Generator)

Month

Day

Year

18. Designated Facility Owner or Operator: Certification of receipt of materials covered by the manifest except as noted in Item 17a

Printed/Typed Name

Signature

Month

Day

Year

RETURN TO OPERATOR



HM Environmental Services, Inc

Daily Service Receipt

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:

Generator:

FLS PROPERTIES, LLC
40700 Woodward Suite 250 P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

Date: 3/21/2018

Order #:

PO #:

Approval #: K178055WDI

Waste Stream: HAZARDOUS SOIL NON HAZ

Disposal Site: WAYNE DISPOSAL, INC

Shop Time: 06:00 AM

Site Time: 07:00 AM

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
341D - 30 YARD DUMP TRAILER	6:00 AM PM	7:00 AM PM	AM PM	AM PM	3:30 AM PM	5:30 AM PM
127 - KENWORTH TRACTOR	AM PM	AM PM	AM PM	AM PM	AM PM	AM PM
	AM PM	AM PM	AM PM	AM PM	AM PM	AM PM
	AM PM	AM PM	AM PM	AM PM	AM PM	AM PM
	AM PM	AM PM	AM PM	AM PM	AM PM	AM PM

Manifest #:

14106276
14106277

Waste Qty: 29 T X 2

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
Paul Timmreck	6:00 AM PM	7:00 AM PM	AM PM	5:30 AM PM	AM PM	11.50
	AM PM	AM PM	AM PM	AM PM	AM PM	
	AM PM	AM PM	AM PM	AM PM	AM PM	
	AM PM	AM PM	AM PM	AM PM	AM PM	
	AM PM	AM PM	AM PM	AM PM	AM PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel 53.6

LOAD OUT HAZ SOIL TO WAYNE AND BACKFILL WITH 21aa.

COMMENTS

Hauled (3) Loads of stone
(2) Loads to ADVANCED

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

Authorized Personnel

Date

Noted to Sign

[Signature]

3-21-18

119049

WIEGAND'S
(586) 939-0840

HEREBY CERTIFY THAT AGGREGATE AS
DELIVERED MEETS SPECIFICATION REQUIREMENTS,
FOR STATED MICHIGAN SERIES AND CLASS IN QUANTITY

(Signature)

DATE

3-21-18

TO H M ENVIRONMENTAL
Service

Birmingham

TONS OR YARDS	AMOUNT	TOTAL
30.97		
11:54	3-21-18	

1.41 TN

2.44 TN

2.97 TN

TAX

LOADED BY

KEN

127#

AN EQUAL OPPORTUNITY EMPLOYER

SHIPPER'S COPY

119042

WIEGAND'S
(586) 939-0840

☒ I HEREBY CERTIFY THAT AGGREGATE AS
DELIVERED MEETS SPECIFICATION REQUIREMENTS,
FOR STATED MICHIGAN SERIES AND CLASS IN QUANTITY
STATED.

(Signature)

PIT NO.

DATE

3-21-18

SOLD TO

DELIVERED TO

H M ENVIRONMENTAL
Service

Birmingham

TYPE OF MATERIAL	TONS OR YARDS	AMOUNT	TOTAL
21-AA	33.70		
Spec	10:25	3-21-18	

GROSS

54.14 TN

TARE

20.44 TN

NET

33.70 TN

TRUCK NO.

DRIVER

RECEIVED BY

TAX

LOADED BY

KEN

127#

AN EQUAL OPPORTUNITY EMPLOYER

SHIPPER'S COPY

119029

WIEGAND'S
(586) 939-0840

☒ I HEREBY CERTIFY THAT AGGREGATE AS
DELIVERED MEETS SPECIFICATION REQUIREMENTS,
FOR STATED MICHIGAN SERIES AND CLASS IN QUANTITY
STATED. [Signature]
(Signature)

50-56 DATE 3-21-18
PIT NO.

SOLD TO HM ENVIRONMENTAL
DELIVERED TO Service

Birmingham

TYPE OF MATERIAL	TONS OR YARDS	AMOUNT	TOTAL
<u>21-AH</u>	<u>32.32</u>		
<u>SPEC</u>	<u>6:28</u>	<u>3-21-18</u>	

GROSS 52.76 TNTARE 20.44 TNNET 32.32 TN

TRUCK NO.

DRIVER

RECEIVED BY

TAX KEN
LOADED BY127 #

AN EQUAL OPPORTUNITY EMPLOYER

SHIPPER'S COPY

ARBOR HILLS LANDFILL
10690 W SIX MILE RD
NORTHVILLE, MI 48168
8884431717

004240
HM ENVIRONMENTAL (AT)
42826 NORTH WALNUT ST
CLINTON TOWNSHIP, MI 48036

INVOICE
INBOUND

SITE		CELL	TICKET #	OPERATOR	
01			1879870	43967	
TRUCK			CONTAINER	LICENSE	
HM127-30					
REFERENCE				IN	OUT
14106276				3/21/18 9:40 am	3/21/18 9:40 am

CONTRACT: AH8807 - VACANT LOT 856 N OLD WOODWARD AVI
BOL:

GROSS 103,920.00LBS Scale In
TARE 40,940.00LBS Tare Out
NET 62,980.00 LBS

QTY	UNIT	DESCRIPTION	ORIGIN	%	RATE	TAX	TOTAL
31.49	TN	Contaminated Soils (Ext)	WY	100.00			
1.00		COMPLIANCE AND BUSINESS IMPACT CHAR		0.00			

I hereby certify that this load does not contain any unauthorized hazardous waste.

SIGNATURE: _____

Total
Paid
Change
Check#
Recpt #

CUSTOMER COPY



Advanced Disposal

NON-HAZARDOUS WASTE MANIFEST		1. Generator ID Number		2. Page 1 of		3. Emergency Response Phone		4. Waste Tracking Number 14106276		
5. Generator's Name and Mailing Address General Lof 856 N. Old Woodward Ave Birmingham MI 48009				Generator's Site Address (if different than mailing address) Same						
Generator's Phone: 248-681-1401				U.S. EPA ID Number						
6. Transporter 1 Company Name UM Environmental - 585-469-8041				#127						
7. Transporter 2 Company Name				U.S. EPA ID Number						
8. Designated Facility Name and Site Address ADS / Arbor Hills Landfill 10690 W. 6 Mile Road Northville, MI 48168				U.S. EPA ID Number MIK114-185-416						
Facility's Phone:										
9. Waste Shipping Name and Description				10. Containers		11. Total Quantity	12. Unit Wt./Vol.			
				No.	Type					
1. Contaminated soil				001	DT	29	T			
2.										
3.						31.49				
4.										
5.										
6.										
13. Special Handling Instructions and Additional Information MI687 181106 AHR807 515										
14. GENERATOR'S/OFFEROR'S CERTIFICATION: I hereby declare that the contents of this consignment are fully and accurately described above by the proper shipping name, and are classified, packaged, marked and labeled/placarded, and are in all respects in proper condition for transport according to applicable international and national governmental regulations.										
Generator's/Offor's Printed/Typed Name Michael Lof				Signature <i>[Signature]</i>				Month 3	Day 21	Year 18
15. International Shipments: <input type="checkbox"/> Import to U.S. <input type="checkbox"/> Export from U.S. Port of entry/exit: Date leaving U.S.:										
16. Transporter Acknowledgment of Receipt of Materials										
Transporter 1 Printed/Typed Name Paul Timmerack				Signature <i>[Signature]</i>				Month 3	Day 21	Year 18
Transporter 2 Printed/Typed Name				Signature				Month	Day	Year
17. Discrepancy										
17a. Discrepancy Indication Space <input type="checkbox"/> Quantity <input type="checkbox"/> Type <input type="checkbox"/> Residue <input type="checkbox"/> Partial Rejection <input type="checkbox"/> Full Rejection										
Manifest Reference Number:										
17b. Alternate Facility (or Generator) U.S. EPA ID Number										
Facility's Phone:										
17c. Signature of Alternate Facility (or Generator) Month Day Year										
1879870										
18. Designated Facility Owner or Operator: Certification of receipt of materials covered by the manifest except as noted in Item 17a										
Printed/Typed Name				Signature <i>[Signature]</i>				Month 3	Day 21	Year 18

RETURN TO OPERATOR

ARBOR HILLS LANDFILL
10690 W SIX MILE RD
NORTHVILLE, MI 48168
8884431717

004240
HM ENVIRONMENTAL (AT)
42826 NORTH WALNUT ST
CLINTON TOWNSHIP, MI 48036

INVOICE
INBOUND

SITE		CELL	TICKET #	OPERATOR	
01			1880074	43967	
TRUCK			CONTAINER	LICENSE	
HM127-30					
REFERENCE				IN	OUT
14106277				3/21/18 3:05 pm	3/21/18 3:05 pm

CONTRACT: AH8807 - VACANT LOT 856 N OLD WOODWARD AVI
BOL:

GROSS 99,280.00LBS Scale In
TARE 40,940.00LBS Tare Out
NET 58,340.00 LBS

QTY	UNIT	DESCRIPTION	ORIGIN	%	RATE	TAX	TOTAL
29.17 1.00	TN	Contaminated Soils (Ext) COMPLIANCE AND BUSINESS IMPACT CHAR	WY	100.00 0.00			

I hereby certify that this load does not contain any unauthorized hazardous waste.

SIGNATURE: _____

Total
Paid
Change
Check#
Recpt #

CUSTOMER COPY



Advanced Disposal

NON-HAZARDOUS WASTE MANIFEST		1. Generator ID Number		2. Page 1 of	3. Emergency Response Phone	4. Waste Tracking Number	
5. Generator's Name and Mailing Address Vacant Lot 856 N. Old Woodward Ave Birmingham MI 48009		Generator's Site Address (if different than mailing address) Same					
Generator's Phone:		6. Transporter 1 Company Name ZAS 680 1401 TIM Environmental 326-459-0041				U.S. EPA ID Number	
7. Transporter 2 Company Name						U.S. EPA ID Number	
8. Designated Facility Name and Site Address ADS / Arbor Hills Landfill 10690 W. 6 Mile Road Northville, MI 48168		248-412-0691				U.S. EPA ID Number MIK114-185-416	
Facility's Phone:							
9. Waste Shipping Name and Description		10. Containers		11. Total Quantity	12. Unit Wt./Vol.		
		No.	Type				
1. Contaminated soil		001	DT	29	T		
2.							
3.				29.17			
4.							
5.							
6.							
13. Special Handling Instructions and Additional Information MIG87 181106 AN8807 515							
14. GENERATOR'S/OFFEROR'S CERTIFICATION: I hereby declare that the contents of this consignment are fully and accurately described above by the proper shipping name, and are classified, packaged, marked and labeled/placarded, and are in all respects in proper condition for transport according to applicable international and national governmental regulations.							
Generator's/Offor's Printed/Typed Name				Signature	Month	Day	Year
15. International Shipments <input type="checkbox"/> Import to U.S. <input type="checkbox"/> Export from U.S.				Port of entry/exit:	Date leaving U.S.:		
Transporter Signature (for exports only):							
16. Transporter Acknowledgment of Receipt of Materials							
Transporter 1 Printed/Typed Name				Signature	Month	Day	Year
Transporter 2 Printed/Typed Name				Signature	Month	Day	Year
17. Discrepancy							
17a. Discrepancy Indication Space <input type="checkbox"/> Quantity <input type="checkbox"/> Type <input type="checkbox"/> Residue <input type="checkbox"/> Partial Rejection <input type="checkbox"/> Full Rejection							
Manifest Reference Number:							
17b. Alternate Facility (or Generator) U.S. EPA ID Number							
Facility's Phone:							
17c. Signature of Alternate Facility (or Generator) Month Day Year							
18. Designated Facility Owner or Operator: Certification of receipt of materials covered by the manifest except as noted in Item 17a							
Printed/Typed Name				Signature	Month	Day	Year

TRANSPORTER RETAIN



HM Environmental Services, Inc

Daily Service Receipt

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:
Generator:

FLS PROPERTIES, LLC
40700 Woodward Suite 250 P.O.
Bloomfield Hills, MI - 48304

248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

Date: 3/22/2018

Order #:

PO #:

Approval #: M1687-181106-AH8807-515

Waste Stream: NON HAZARDOUS SOIL

Disposal Site: ADVANCED DISPOSAL

Shop Time: 06:00 AM

Site Time: 07:00 AM

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
515 M - BOB CAT	7:00 AM	— AM	— AM	— AM	— AM	3:30 PM
519M - EXCAVATOR	11 AM	— AM	— AM	— AM	— AM	11 PM
520M - DOZER	11 AM	— AM	— AM	— AM	— AM	11 PM
17 - 2017 FORD F-250	6:00 AM	7:00 AM	3:30 PM	— AM	— AM	4:45 PM
528M - EXCAVATOR	— AM	— AM	— AM	— AM	— AM	3:30 PM

Manifest #:
Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
Tom Wichman	5:30 AM	7:00 AM	3:30 PM	4:45 PM	— AM	11.25
Pat Blair II	6:00 AM	11 AM	11 AM	11 AM	— AM	10.75
	PM	PM	PM	PM	PM	
	PM	PM	PM	PM	PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____ ✓

\$ 7.00 on company card for parking

WORK WITH HARTMAN TO MOVE STOCKPILED NON HAZ TO AN AREA THAT CAN BE LOADED OUT.

COMMENTS

- * continued to move stock pile of soil out of Hardman's way, awaiting direction on what to do with soil
- * excavated last additional depth hole for pyle caps to elevation 731.30
- * moved Mats for Hardman
- * cleaned up soil piles from drilling

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer N/A Date _____

Authorized Personnel Thomas Wichman Date 3/22/18



HM Environmental Services, Inc

Daily Service Receipt

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:
Generator:

FLS PROPERTIES, LLC
40700 Woodward Suite 250 P.O. BOX 689856 N. OLD WOODWARD
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

Date: 3/23/2018

Order #:

PO #:

Approval #: M1687-181106-AH8807-515

Waste Stream: NON HAZARDOUS SOIL

Disposal Site: ADVANCED DISPOSAL

Shop Time: 06:00 AM

Site Time: 07:00 AM

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
515 M - BOB CAT	7:00 AM	— PM	— PM	— PM	— PM	8:30 PM
519M - EXCAVATOR	11 AM	— PM	— PM	— PM	— PM	11 PM
520M - DOZER	11 AM	— PM	— PM	— PM	— PM	11 PM
17 - 2017 FORD F-250	6:00 AM	7:00 AM	3:30 PM	— PM	— PM	3:45 PM
52AM - EXCAVATOR	7:00 AM	— PM	— PM	— PM	— PM	2:30 PM

Manifest #:
Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
	AM	AM	AM	AM	AM	AM
	PM	PM	PM	PM	PM	PM
Tom Wichman	6:00 AM	7:00 AM	2:30 PM	3:45 PM	—	9.75
Pat Blair II	11 AM	11 AM	11 AM	3:15 PM	—	9.25
	AM	AM	AM	AM	AM	AM
	PM	PM	PM	PM	PM	PM
	AM	AM	AM	AM	AM	AM
	PM	PM	PM	PM	PM	PM

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____

GATHER AND LOAD OUT NON HAZ SOILS

\$ 7.00 on company card for parking

COMMENTS

- * loaded 3 loads of non-haz soil (NM Trucks) 86.78 tons
- * continued to move stock pile of soil out of Handman's way
- * moved Mats for Handman's
- * cleaned up soil piles from drilling

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

Authorized Personnel

Date



HM Environmental Services, Inc

Daily Service Receipt

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:
Generator:

FLS PROPERTIES, LLC
40700 Woodward Suite 250 P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

Date:

3/23/2018

Order #:
PO #:
Approval #:

M1687-181106-AH8807-515

Waste Stream:

NON HAZARDOUS SOIL

Disposal Site:

ADVANCED DISPOSAL

Shop Time:

06:00 AM

Site Time:

07:00 AM

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
122 - KENWORTH TRACTOR	6:00 AM	7:00 AM	7:30 AM	8:30 AM	9:30 AM	AM
340D - 30 YARD DUMP TRAILER	C) AM	C) AM	C) AM	C) AM	C) AM	AM
	AM	10:00 AM	10:15 AM	11:15 AM	11:45 AM	AM
	AM	12:45 PM	1:00 PM	2:15 PM	3:00 PM	5:30 PM
	AM	AM	AM	AM	AM	AM
	PM	PM	PM	PM	PM	PM

Manifest #:

14106279/14106280/14106281

Waste Qty:

29T

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
Tom Biscarner	6:00 AM	7:00 AM	7:30 AM	AM	AM	11.50
	AM	10:00 AM	10:15 AM	AM	AM	
	AM	12:45 PM	1:00 PM	5:30 PM	AM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel 356 gal ✓

SHUTTLE LOADS OF NON HAZ SOILS TO ADVANCED DISPOSAL.

COMMENTS

Shuttle loads of non haz soil to Advanced
Car Fine on 696 E by M10 traffic was stopped for almost 45 min

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

Authorized Personnel

Date

3/23/18

ARBOR HILLS LANDFILL
10690 W SIX MILE RD
NORTHVILLE, MI 48168
8884431717

004240
HM ENVIRONMENTAL (AT)
42826 NORTH WALNUT ST
CLINTON TOWNSHIP, MI 48036

INVOICE
INBOUND

SITE	CELL	TICKET #	OPERATOR	
01		1880533	40219	
TRUCK		CONTAINER	LICENSE	
HM122-30				
REFERENCE			IN	OUT
14106279			3/23/18 8:24 am	3/23/18 8:24 am

CONTRACT: AH8807 - VACANT LOT 856 N OLD WOODWARD AVE
BOL:

GROSS 100,740.00LBS Scale In
TARE 42,120.00LBS Tare Out
NET 58,620.00LBS

QTY	UNIT	DESCRIPTION	ORIGIN	%	RATE	TAX	TOTAL
29.31	TN	Contaminated Soils (Ext)	OA	100.00			
1.00		COMPLIANCE AND BUSINESS IMPACT CHAR		0.00			

I hereby certify that this load does not contain any unauthorized hazardous waste.

Total
Paid
Change
Check#
Recpt #

SIGNATURE: _____

CUSTOMER COPY



Advanced Disposal

NON-HAZARDOUS WASTE MANIFEST		1. Generator ID Number	2. Page 1 of	3. Emergency Response Phone	4. Waste Tracking Number
5. Generator's Name and Mailing Address Uscant, Ltd. 856 W. Old Woodward Ave Birmingham MI 48009		Generator's Site Address (if different than mailing address) Same			
Generator's Phone:					
6. Transporter 1 Company Name 243 626 1401 HM Environmental - 586-469-0041		U.S. EPA ID Number			
7. Transporter 2 Company Name		U.S. EPA ID Number			
8. Designated Facility Name and Site Address ADS / Arbor Hills Landfill 10690 W. 6 Mile Road Northville, MI 48168		U.S. EPA ID Number 248-412-0691 MIK114-135-416			
Facility's Phone:					
9. Waste Shipping Name and Description		10. Containers No. Type		11. Total Quantity	12. Unit Wt./Vol.
1. Contaminated soil		001 DT		29	T
2. Contaminated soil					
3.					
4.					
5.					
6.					
13. Special Handling Instructions and Additional Information MI687 181106 AH5807 515					
14. GENERATOR'S/OFFEROR'S CERTIFICATION: I hereby declare that the contents of this consignment are fully and accurately described above by the proper shipping name, and are classified, packaged, marked and labeled/placarded, and are in all respects in proper condition for transport according to applicable international and national governmental regulations.					
Generator's/Offor's Printed/Typed Name		Signature		Month	Day Year
[Signature]		[Signature]		3	12/18
15. International Shipments <input type="checkbox"/> Import to U.S. <input type="checkbox"/> Export from U.S. Port of entry/exit: Date leaving U.S.:					
16. Transporter Acknowledgment of Receipt of Materials					
Transporter 1 Printed/Typed Name		Signature		Month	Day Year
[Signature]		[Signature]		3	12/18
Transporter 2 Printed/Typed Name		Signature		Month	Day Year
17. Discrepancy					
17a. Discrepancy Indication Space <input type="checkbox"/> Quantity <input type="checkbox"/> Type <input type="checkbox"/> Residue <input type="checkbox"/> Partial Rejection <input type="checkbox"/> Full Rejection					
Manifest Reference Number:					
17b. Alternate Facility (or Generator)		U.S. EPA ID Number			
Facility's Phone:					
17c. Signature of Alternate Facility (or Generator)		1880533 Month Day Year			
18. Designated Facility Owner or Operator: Certification of receipt of materials covered by the manifest except as noted in Item 17a					
Printed/Typed Name		Signature		Month	Day Year
		[Signature]		03	23/18

TRANSPORTER RETAIN

ARBOR HILLS LANDFILL
10690 W SIX MILE RD
NORTHVILLE, MI 48168
8884431717

004240
HM ENVIRONMENTAL (AT)
42826 NORTH WALNUT ST
CLINTON TOWNSHIP, MI 48036

INVOICE
INBOUND

SITE		CELL	TICKET #	OPERATOR	
01			1880645	40219	
TRUCK			CONTAINER	LICENSE	
HM122-30					
REFERENCE				IN	OUT
14106280				3/23/18 11:06 am	3/23/18 11:06 am

CONTRACT: AH8807 - VACANT LOT 856 N OLD WOODWARD AVE
BOL:

GROSS 98,740.00LBS Scale In
TARE 42,120.00LBS Tare Out
NET 56,620.00LBS

QTY	UNIT	DESCRIPTION	ORIGIN	%	RATE	TAX	TOTAL
28.31 1.00	TN	Contaminated Soils (Ext) COMPLIANCE AND BUSINESS IMPACT CHAR	OA	100.00 0.00			

I hereby certify that this load does not contain any unauthorized hazardous waste.

Total
Paid
Change
Check#
Recpt #

SIGNATURE: _____

CUSTOMER COPY



Advanced Disposal

NON-HAZARDOUS WASTE MANIFEST

1. Generator ID Number

2. Page 1 of

3. Emergency Response Phone

4. Waste Tracking Number

14106280

5. Generator's Name and Mailing Address

Generator's Site Address (if different than mailing address)

Valent Ldt
856 N. Old Woodward Ave
Birmingham MI 48009

Same

Generator's Phone:

6. Transporter 1 Company Name

243 630 1401

U.S. EPA ID Number

DM Environmental -586-459-0041

7. Transporter 2 Company Name

U.S. EPA ID Number

8. Designated Facility Name and Site Address

U.S. EPA ID Number

ADS / Arbor Hills Landfill
10690 W. 6 Mile Road
Northville, MI 48168

248-412-0691

MIK114-185-416

Facility's Phone:

9. Waste Shipping Name and Description

10. Containers

No.

Type

11. Total
Quantity12. Unit
Wt./Vol.

1.

001

DT

29

T

2.

Contaminated soil

3.

4.

5.

6.

13. Special Handling Instructions and Additional Information

MI687 181106 AH8807 515

14. GENERATOR'S/OFFEROR'S CERTIFICATION: I hereby declare that the contents of this consignment are fully and accurately described above by the proper shipping name, and are classified, packaged, marked and labeled/placarded, and are in all respects in proper condition for transport according to applicable international and national governmental regulations.

Generator's/Offor's Printed/Typed Name

Signature

Month Day Year

15. International Shipments

☐ Import to U.S.☐ Export from U.S.

Port of entry/exit:

Date leaving U.S.:

Transporter Signature (for exports only):

16. Transporter Acknowledgment of Receipt of Materials

Transporter 1 Printed/Typed Name

Signature

Month Day Year

Transporter 2 Printed/Typed Name

Signature

Month Day Year

17. Discrepancy

17a. Discrepancy Indication Space

☐ Quantity☐ Type☐ Residue☐ Partial Rejection☐ Full Rejection

Manifest Reference Number:

17b. Alternate Facility (or Generator)

U.S. EPA ID Number

Facility's Phone:

17c. Signature of Alternate Facility (or Generator)

Month Day Year

18. Designated Facility Owner or Operator: Certification of receipt of materials covered by the manifest except as noted in Item 17a

Printed/Typed Name

Signature

Month Day Year

TRANSPORTER RETAIN

ARBOR HILLS LANDFILL
10690 W SIX MILE RD
NORTHVILLE, MI 48168
8884431717

004240
HM ENVIRONMENTAL (AT)
42826 NORTH WALNUT ST
CLINTON TOWNSHIP, MI 48036

INVOICE
INBOUND

SITE		CELL	TICKET #	OPERATOR	
01			1880786	43967	
TRUCK			CONTAINER	LICENSE	
HM122-30					
REFERENCE				IN	OUT
14106281				3/23/18 2:20 pm	3/23/18 2:20 pm

CONTRACT: AH8807 - VACANT LOT 856 N OLD WOODWARD AVI

GROSS 100,440.00LBS Scale In

BOL:

TARE 42,120.00LBS Tare Out
NET 58,320.00 LBS

QTY	UNIT	DESCRIPTION	ORIGIN	%	RATE	TAX	TOTAL
29.16 1.00	TN	Contaminated Soils (Ext) COMPLIANCE AND BUSINESS IMPACT CHAR	OA	100.00 0.00			

I hereby certify that this load does not contain any unauthorized hazardous waste.

Total
Paid
Change
Check#
Recpt #

SIGNATURE: _____

CUSTOMER COPY



Advanced Disposal

NON-HAZARDOUS WASTE MANIFEST		1. Generator ID Number		2. Page 1 of		3. Emergency Response Phone		4. Waste Tracking Number	
5. Generator's Name and Mailing Address 856 N. Old Woodward Ave Birmingham MI 48009				Generator's Site Address (if different than mailing address) Same					
Generator's Phone:				6. Transporter 1 Company Name 248 681 1401 HIM Environmental - 586-459-0041				U.S. EPA ID Number	
7. Transporter 2 Company Name				U.S. EPA ID Number					
8. Designated Facility Name and Site Address ADS / Arbor Hills Landfill 10690 W. 6 Mile Road Northville, MI 48168				248-412-0691				U.S. EPA ID Number MIK114-185-416	
Facility's Phone:									
GENERATOR	9. Waste Shipping Name and Description			10. Containers		11. Total Quantity		12. Unit Wt./Vol.	
				No.	Type				
	1. Contaminated soil			001	DT	29	T		
	2.								
	3.								
	4.								
	5.								
6.									
13. Special Handling Instructions and Additional Information MIG87 181106 ANB807 515									
14. GENERATOR'S/OFFEROR'S CERTIFICATION: I hereby declare that the contents of this consignment are fully and accurately described above by the proper shipping name, and are classified, packaged, marked and labeled/placarded, and are in all respects in proper condition for transport according to applicable international and national governmental regulations.									
Generator's/Offor's Printed/Typed Name				Signature				Month Day Year	
15. International Shipments				<input type="checkbox"/> Import to U.S.		<input type="checkbox"/> Export from U.S.		Port of entry/exit:	
Transporter Signature (for exports only):				Date leaving U.S.:					
TRANSPORTER	16. Transporter Acknowledgment of Receipt of Materials				Signature		Month Day Year		
	Transporter 1 Printed/Typed Name				Signature		Month Day Year		
DESIGNATED FACILITY	Transporter 2 Printed/Typed Name				Signature		Month Day Year		
	17. Discrepancy								
17a. Discrepancy Indication Space				<input type="checkbox"/> Quantity		<input type="checkbox"/> Type		<input type="checkbox"/> Residue	
				<input type="checkbox"/> Partial Rejection		<input type="checkbox"/> Full Rejection			
17b. Alternate Facility (or Generator)				Manifest Reference Number:				U.S. EPA ID Number	
Facility's Phone:									
17c. Signature of Alternate Facility (or Generator)				Signature		Month Day Year			
18. Designated Facility Owner or Operator: Certification of receipt of materials covered by the manifest except as noted in Item 17a									
Printed/Typed Name				Signature		Month Day Year			

TRANSPORTER RETAIN



HM Environmental Services, Inc

Daily Service Receipt

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:
Generator:
Date:

3/26/2018

Order #:
PO #:
Approval #:

M1687-181106-AH8807-515

Waste Stream:

NON HAZARDOUS SOIL

Disposal Site:

ADVANCED DISPOSAL

Shop Time:

06:00 AM

Site Time:

07:00 AM

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
515 M - BOB CAT	7:00 AM	— AM	— AM	— AM	— AM	3:00 PM
519M - EXCAVATOR	11 AM	— AM	— AM	— AM	— AM	11 AM
520M - DOZER	11 AM	— AM	— AM	— AM	— AM	11 AM
17 - 2017 FORD F-250	6:00 AM	7:00 AM	3:00 PM	— AM	— AM	3:45 PM
528M - EXCAVATOR	7:00 AM	— AM	— AM	— AM	— AM	3:00 PM

Manifest #:
Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
Tom Wichman	6:00 AM	7:00 AM	3:00 PM	3:45 PM		9.75
Pat Blair II	11 AM	11 AM	11 AM	11 AM		9.75
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____ ✓

\$ 7.00 company card for parking

LOAD OUT NON HAZ SOILS TO ADVANCED DISPOSAL. 1 LOU'S LEAD RUNNING ;

COMMENTS

- * Loaded 2 loads of non-haz soil (Lou's trucking)
- * moved stock pile of soil to ramp (for base for ramp)
- * re-graded North east side of excavation
- * Hardman's crane is still down
- * need to cut more dirt of berm along river for pyle caps but Hardman's crane is in the way

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

Authorized Personnel

Date

N/A

Thomas Wichman 3/26/18

LOAD AND TIME TICKET**770351**NAME OF
CARRIER**LOU'S TRANSPORT INC.****1780 E. Highwood****Pontiac, MI 48340****Phone: (248) 332-5687 Fax: (248) 334-9566**

MATERIAL

C. Soil

PIT TICKET NO.

14106287
1881031

SECTION 1

TRUCK NO.

087

JOB NO.

17-1592

DATE

3 / 26 / 18
MONTH DAY YEAR

CUSTOMER

H.M. ENVIRONMENTAL

FROM (LOADING PLACE)

PEARL BUILDINGS

TO (UNLOADING PLACE)

ADVANCED DISPOSAL

TONS

29.48

YARDS

SEC. 2

LOAD NO.

1

LOADED MILES

RATE

CHARGES

SECTION 3

(FOR HOURLY RATED HAULS)

	TIME		HOURS	RATE	CHARGES
	START	FINISH			
REGULAR					
OVERTIME					

SECTION 4

DRIVER'S SIGNATURE

Harold Simmons

CUSTOMER SIGNATURE

R. H. II

SEE CARRIER'S M.P.S.C. TARRIFF FOR INSTRUCTIONS

2-SHIPPER'S COPY



Advanced Disposal

NON-HAZARDOUS WASTE MANIFEST		1. Generator ID Number	2. Page 1 of	3. Emergency Response Phone	4. Waste Tracking Number 14106282
5. Generator's Name and Mailing Address Valent Lot 855 N. Old Woodward Ave Birmingham MI 48009		Generator's Site Address (if different than mailing address) Name			
Generator's Phone:					
6. Transporter 1 Company Name 202 620 1401		U.S. EPA ID Number			
7. Transporter 2 Company Name TDM Environmental 506-463-0011		U.S. EPA ID Number			
8. Designated Facility Name and Site Address ADS / Arbor Hills Landfill 10690 W. 6 Mile Road Northville, MI 48168		U.S. EPA ID Number 248-412-0691 MI000185416			
Facility's Phone:					
GENERATOR	9. Waste Shipping Name and Description	10. Containers		11. Total Quantity	12. Unit Wt./Vol.
		No.	Type		
	1.	01	DT	27	T
	2.				
	3.				
	4.				
	5.				
6.					
13. Special Handling Instructions and Additional Information MIG87 181106 ARB007 515					
14. GENERATOR'S/OFFEROR'S CERTIFICATION: I hereby declare that the contents of this consignment are fully and accurately described above by the proper shipping name, and are classified, packaged, marked and labeled/placarded, and are in all respects in proper condition for transport according to applicable international and national governmental regulations.					
Generator's/Offoror's Printed/Typed Name		Signature		Month	Day Year
				3	26 18
INT'L	15. International Shipments <input type="checkbox"/> Import to U.S. <input type="checkbox"/> Export from U.S.		Port of entry/exit:		
	Transporter Signature (for exports only):		Date leaving U.S.:		
TRANSPORTER	16. Transporter Acknowledgment of Receipt of Materials				
	Transporter 1 Printed/Typed Name	Signature	Month	Day	Year
	Transporter 2 Printed/Typed Name	Signature	Month	Day	Year
DESIGNATED FACILITY	17. Discrepancy				
	17a. Discrepancy Indication Space <input type="checkbox"/> Quantity <input type="checkbox"/> Type <input type="checkbox"/> Residue <input type="checkbox"/> Partial Rejection <input type="checkbox"/> Full Rejection				
	Manifest Reference Number:				
	17b. Alternate Facility (or Generator)		U.S. EPA ID Number		
	Facility's Phone:				
17c. Signature of Alternate Facility (or Generator)		Month Day Year			
18. Designated Facility Owner or Operator: Certification of receipt of materials covered by the manifest except as noted in Item 17a					
Printed/Typed Name		Signature		Month	Day Year

GENERATOR RETAIN

LOAD AND TIME TICKET**770353**NAME OF
CARRIER**LOU'S TRANSPORT INC.****1780 E. Highwood****Pontiac, MI 48340****Phone: (248) 332-5687 Fax: (248) 334-9566**

MATERIAL

C-SEIL

PIT TICKET NO.

1A106283

TRUCK NO.

87

JOB NO.

17-1532

DATE

3/24/88
MONTH DAY YEAR

CUSTOMER

H.M. ENVIRONMENTAL

FROM (LOADING PLACE)

PRALL BUILDING

TO (UNLOADING PLACE)

ADVANCED DISP

TONS

YARDS

SEC. 2

LOAD NO.

LOADED MILES

RATE

CHARGES

SECTION 3

(FOR HOURLY RATED HAULS)

TIME

HOURS

RATE

CHARGES

REGULAR

START

FINISH

OVERTIME

START

FINISH

SECTION 4

DRIVER'S SIGNATURE

CUSTOMER SIGNATURE

SEE CARRIER'S M.P.S.C. TARRIFF FOR INSTRUCTIONS

2-SHIPPER'S COPY



Advanced Disposal

NON-HAZARDOUS WASTE MANIFEST		1. Generator ID Number	2. Page 1 of	3. Emergency Response Phone	4. Waste Tracking Number	
5. Generator's Name and Mailing Address VACANT LOT 856 N. Old Woodward Ave Birmingham AL 35209		Generator's Site Address (if different than mailing address) Same				
Generator's Phone:		6. Transporter 1 Company Name 248 680 1461			U.S. EPA ID Number	
		7. Transporter 2 Company Name			U.S. EPA ID Number	
8. Designated Facility Name and Site Address ADS / Arbor Hills Landfill 10690 W. 6 Mile Road Northville, MI 48168		248-412-0691			U.S. EPA ID Number MIK117-135-116	
Facility's Phone:						
GENERATOR	9. Waste Shipping Name and Description	10. Containers		11. Total Quantity	12. Unit Wt./Vol.	
		No.	Type			
	1.	001	DT	29	T	
	2.					
	3.					
	4.					
	5.					
6.						
13. Special Handling Instructions and Additional Information MIG87 121116 AMB007 515						
14. GENERATOR'S/OFFEROR'S CERTIFICATION: I hereby declare that the contents of this consignment are fully and accurately described above by the proper shipping name, and are classified, packaged, marked and labeled/placarded, and are in all respects in proper condition for transport according to applicable international and national governmental regulations.						
Generator's/Offor's Printed/Typed Name			Signature		Month	Day Year
					3	26 18
INT'L	15. International Shipments		<input type="checkbox"/> Import to U.S. <input type="checkbox"/> Export from U.S.		Port of entry/exit: Date leaving U.S.:	
	Transporter Signature (for exports only):					
TRANSPORTER	16. Transporter Acknowledgment of Receipt of Materials					
	Transporter 1 Printed/Typed Name		Signature		Month	Day Year
					3	26 18
	Transporter 2 Printed/Typed Name		Signature		Month	Day Year
DESIGNATED FACILITY	17. Discrepancy					
	17a. Discrepancy Indication Space <input type="checkbox"/> Quantity <input type="checkbox"/> Type <input type="checkbox"/> Residue <input type="checkbox"/> Partial Rejection <input type="checkbox"/> Full Rejection					
	Manifest Reference Number:					
	17b. Alternate Facility (or Generator)		U.S. EPA ID Number			
	Facility's Phone:					
	17c. Signature of Alternate Facility (or Generator)				Month	Day Year
18. Designated Facility Owner or Operator: Certification of receipt of materials covered by the manifest except as noted in Item 17a						
Printed/Typed Name			Signature		Month	Day Year

GENERATOR RETAIN



HM Environmental Services, Inc

Daily Service Receipt

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:**Generator:**

FLS PROPERTIES, LLC
40700 Woodward Suite 250 P.O. BOX 689856 N. OLD WOODWARD
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWIECZ
810-734-0975

Date:

3/26/2018

Order #:**PO #:****Approval #:**

M1687-181106-AH8807-515

Waste Stream:

NON HAZARDOUS SOIL

Disposal Site:

ADVANCED DISPOSAL

Shop Time:

06:00 AM

Site Time:

07:00 AM

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
	AM	AM	AM	AM	AM	AM
	PM	PM	PM	PM	PM	PM
	AM	AM	AM	AM	AM	AM
	PM	PM	PM	PM	PM	PM
	AM	AM	AM	AM	AM	AM
	PM	PM	PM	PM	PM	PM
	AM	AM	AM	AM	AM	AM
	PM	PM	PM	PM	PM	PM
	AM	AM	AM	AM	AM	AM
	PM	PM	PM	PM	PM	PM

Manifest #:**Waste Qty:**

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
LOU'S TRUCKING	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____

SHUTTLE LOADS OF NON HAZ SOIL TO ADVANCED DISPOSAL.

COMMENTS

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

Authorized Personnel

Date



HM Environmental Services, Inc

Daily Service Receipt

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:
Generator:
Date:

3/27/2018

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O.
Bloomfield Hills, MI - 48304

248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWIECZ
810-734-0975

Order #:
PO #:

M1687-181106-AH8807-515

Approval #:

NON HAZARDOUS SOIL

Waste Stream: ADVANCED DISPOSAL

Disposal Site: 06:00 AM

Shop Time: 07:00 AM

Site Time:

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
515 M - BOB CAT		AM	AM	AM	AM	AM
519M - EXCAVATOR	7:00 PM	—	—	PM	PM	11:45 PM
520M - DOZER	11 AM	—	—	PM	PM	11 PM
17 - 2017 FORD F-250	6:00 AM	7:00 AM	11:45 AM	AM	AM	12:30 PM
528M - EXCAVATOR	7:00 PM	—	—	PM	PM	11:45 PM

Manifest #:
Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
Tom Wichman	5:30 AM	7:00 AM	11:45 AM	12:30 PM		7
Pat Blair II	6:00 AM	11 AM	11 AM	1 PM		6.5
	AM	AM	AM	AM		
	PM	PM	PM	PM		
	AM	AM	AM	AM		
	PM	PM	PM	PM		

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____ ✓

LOAD OUT NON HAZ SOILS TO ADVANCED DISPOSAL. 1 LOU'S LEAD RUNNING

COMMENTS

\$4.00 company card for parking

- * Rained out
- * Hardman's crane was still down when I left site at 11:45 am
- * site meeting about job scope

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

Authorized Personnel

Date

N/A

Thomas Wichman 3/27/18

The Pearl Birmingham, MI

[illegible]



HM Environmental Services, Inc

Daily Service Receipt

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:
Generator:

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

Date: 3/28/2018
Order #:
PO #:
Approval #:
Waste Stream: SITE WORK
Disposal Site: NOT APPLICABLE
Shop Time: 06:00 AM
Site Time: 07:00 AM

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
515 M - BOB CAT	7:00 AM	— AM	— AM	— AM	— AM	3:00 PM
519M - EXCAVATOR	— AM	— AM	— AM	— AM	— AM	— AM
520M - DOZER	11 AM	— AM	— AM	— AM	— AM	11 AM
17 - 2017 FORD F-250	6:00 AM	7:00 AM	3:00 PM	— AM	— AM	4:00 PM
528M - EXCAVATOR	7:00 AM	— AM	— AM	— AM	— AM	3:00 PM

Manifest #:
Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
Tom Wichman	6:00 AM	7:00 AM	3:00 PM	4:00 PM	AM	10
Pat Blair II	11 AM	11 AM	11 AM	3:30 PM	AM	9.50
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____

WORK ON SITE TO ASSIST HARTMAN

\$ 7.00 dollars on company card
for parking

COMMENTS

- * continued to move soil to ramp, grade and compacted soil
- * cleaned up soils from drilling
- * continued to grade floor

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

N/A

Date

Authorized Personnel

Thomas Wichman 3/28/18

Date



HM Environmental Services, Inc

Daily Service Receipt

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:
Generator:

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

Date: 3/29/2018
Order #:
PO #:
Approval #:
Waste Stream: SITE WORK
Disposal Site: NOT APPLICABLE
Shop Time: 12:00 AM
Site Time: 07:00 AM

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
515 M - BOB CAT	7:00 AM	— AM	— AM	— AM	— AM	4:00 PM
519M - EXCAVATOR	— AM	— AM	— AM	— AM	— AM	— AM
520M - DOZER	11 AM	— AM	— AM	— AM	— AM	11 AM
17 - 2017 FORD F-250	11:30 AM	12:00 PM	4:00 PM	— AM	— AM	— AM
528M - EXCAVATOR	— AM	— AM	— AM	— AM	— AM	— AM

Manifest #:
Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
	— AM	— AM	— AM	— AM	— AM	— AM
Tom Wichman	11:30 AM	12:00 PM	4:00 PM	4:00 PM	— AM	4.50
Pat Blair II	6:30 AM	— AM	11 AM	11 AM	— AM	9.50
	— AM	— AM	— AM	— AM	— AM	— AM
	— AM	— AM	— AM	— AM	— AM	— AM

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____

Pat Blair Jr. drove personal truck to site

WORK ON SITE WITH HARTMAN.

COMMENTS

- * showed up to find Hartman washed out their drill Rig, making a burn a flushing with water at bottom of ramp trapping HM's excavator and dozer on ramp
- * moved excess spoils from drilling to stockpile
- * starting to accumulate a lot of extra spoils

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

N/A

Date

Authorized Personnel

Thomas Wichman

Date

3/29/18



HM Environmental Services, Inc

Daily Service Receipt

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:
Generator:

Date: 3/30/2018

Order #:

PO #:

Approval #:

Waste Stream: SITE WORK

Disposal Site: NOT APPLICABLE

Shop Time: 06:00 AM

Site Time: 07:00 AM

FLS PROPERTIES, LLC
40700 Woodward Suite 250 P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
515 M - BOB CAT	7:00 AM	AM	AM	AM	AM	12:30 PM
519M - EXCAVATOR	11 AM	AM	AM	AM	AM	11 AM
520M - DOZER	11 AM	AM	AM	AM	AM	11 AM
17 - 2017 FORD F-250	6:00 AM	7:00 AM	12:30 PM	AM	AM	1:30 PM
528M - EXCAVATOR	7:00 AM	AM	AM	AM	AM	12:30 PM

Manifest #:
Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
Tom Wichman	6:00 AM	7:00 AM	12:30 PM	1:30 PM	AM	7.50
Pat Blair II	11 AM	11 AM	11 AM	11 AM	AM	7.50
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____

\$ 4.00 company curbed for parking

CONTINUE WORKING WITH HARDMAN MOVING SOILS.

COMMENTS

* cleaned up soil from drilling
* attempted to clean up site and grade floor from rain
* starting to run out of room for excess soil
* brought 4" pump back to yard

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

Authorized Personnel

Date

Thomas Wichman 3/30/18



HM Environmental Services, Inc

Daily Service Receipt

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:
Generator:
Date: 4/2/2018

Order #:
PO #:
Approval #:
Waste Stream: SITE WORK

Disposal Site: NOT APPLICABLE

Shop Time: 06:00 AM

Site Time: 07:00 AM

FLS PROPERTIES, LLC 40700 Woodward Suite 250P.O. Bloomfield Hills, MI - 48304 248-680-1401	THE PEARL BLDG BOX 689856 N. OLD WOODWARD BIRMINGHAM, MI 48071 - JAMIE ANTONIEWICZ 810-734-0975								
EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time			
515 M - BOB CAT	7:00 AM	- AM	AM	AM	AM	3:00 AM			
519M - EXCAVATOR	11 AM	- AM	AM	AM	AM	11 AM			
520M - DOZER	11 AM	- AM	AM	AM	AM	11 AM			
17 - 2017 FORD F-250	6:00 AM	7:00 AM	3:00 PM	AM	AM	4:00 PM			
528M - EXCAVATOR	7:00 AM	- AM	AM	AM	AM	3:00 PM			

Manifest #:
Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	
Tom Wichman	6:00 AM	7:00 AM	3:00 PM	4:00 PM	AM	10
Pat Blair II	11 AM	11 AM	11 AM	11 AM	AM	10
	PM	PM	PM	PM	PM	
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____

\$7.00 company card for parking

WORK ON SITE WITH HARTMAN MOVING SOILS.

COMMENTS

- * consolidated dirt from drilling
- * spread out excess dirt building up grade to try and loose some dirt
- * graded floor of excavation to keep water from ponding up
- * moved Matt's for Handmen

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

Authorized Personnel

Date

Thomas Wichman 4/2/18



HM Environmental Services, Inc

Daily Service Receipt

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:
Generator:

Date: 4/3/2018

Order #:

PO #:

Approval #:

Waste Stream: SITE WORK

Disposal Site: NOT APPLICABLE

Shop Time: 06:00 AM

Site Time: 07:00 AM

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O.
Bloomfield Hills, MI - 48304

248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWIECZ
810-734-0975

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
515 M - BOB CAT	7:00 AM	AM	AM	AM	AM	3:15 PM
519M - EXCAVATOR	11 AM	AM	AM	AM	AM	11 AM
520M - DOZER	AM	AM	AM	AM	AM	AM
17 - 2017 FORD F-250	6:00 AM	7:00 AM	3:15 PM	AM	AM	4:30 PM
528M - EXCAVATOR	7:00 AM	AM	AM	AM	AM	3:15 PM

Manifest #:
Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
	AM	AM	AM	AM	AM	AM
Tom Wichman	6:00 AM	7:00 AM	3:15 PM	4:30 PM	AM	10.50
Pat Blair II	11 AM	11 AM	11 AM	4:00 PM	AM	10
	AM	AM	AM	AM	AM	AM
	AM	AM	AM	AM	AM	AM

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____ ✓

ASSIST HARTMAN WITH MOVING SOILS ON SITE.

(\$5.00 company card for parking)

COMMENTS

- * consolidated dirt from drilling
- * moved Mat's for Handman to position Crane for drilling
- * cleaned up grade of excavation
- * demobed Dozer off site and back to HM's yard.
- * Handman drilled in center of site, ground water started coming up out of the ground at a pretty good rate!

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

Authorized Personnel

Date

N/A

Thomas Wichman

4/3/18



HM Environmental Services, Inc

Daily Service Receipt

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:
Generator:
Date:

4/3/2018

Order #:
PO #:
Approval #:

Waste Stream: DEMOB DOZER

Disposal Site:
Shop Time:

ASAP

Site Time:

FLS PROPERTIES, LLC 40700 Woodward Suite 250P.O. Bloomfield Hills, MI - 48304 248-680-1401	THE PEARL BLDG BOX 689856 N. OLD WOODWARD BIRMINGHAM, MI 48071 - JAMIE ANTONIEWICZ 810-734-0975						
EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time	
109 - KENWORTH TRACTOR	11:30 AM	12:45 AM	1:15 AM	AM	AM	3:00 AM	AM
341L - LOW BOY TRAILER (RGN)	EXCAV. AM	AM	AM	AM	AM	AM	AM
520M - DOZER	AM	AM	AM	AM	AM	AM	AM
	AM	AM	AM	AM	AM	AM	AM
	AM	AM	AM	AM	AM	AM	AM
	AM	AM	AM	AM	AM	AM	AM

Manifest #:
Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
Travis Howard	11:30 AM	12:45 AM	1:15 AM	3:00 AM	AM	3.50
	AM	AM	AM	AM	AM	
	AM	AM	AM	AM	AM	
	AM	AM	AM	AM	AM	
	AM	AM	AM	AM	AM	
	AM	AM	AM	AM	AM	

Suits _____ Boots _____ Gloves 1 Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel 27 ✓

DEMOBILIZE DOZER #520 AND BRING BACK TO THE YARD.

COMMENTS

Roll-off Unit# N/A Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

4-3-18

Authorized Personnel

Date

4-3-18



HM Environmental Services, Inc

Daily Service Receipt

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:
Generator:
Date:

4/4/2018

Order #:
PO #:
Approval #:

Waste Stream: SITE WORK

Disposal Site: NOT APPLICABLE

Shop Time: 12:00 AM

Site Time: 07:00 AM

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O. BOX 689856 N. OLD WOODWARD
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
515 M - BOB CAT	7:00 AM	— AM	3:00 PM	— AM	— AM	3:00 PM
519M - EXCAVATOR	11 AM	— AM	— PM	— AM	— AM	11 AM
520M - DOZER	11 AM	— AM	— PM	— AM	— AM	11 AM
17 - 2017 FORD F-250	6:00 AM	7:00 AM	3:00 PM	— AM	— AM	3:30 PM
528M - EXCAVATOR	7:00 AM	— AM	— PM	— AM	— AM	3:00 PM

Manifest #:
Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
Tom Wichman	6:00 AM	7:00 AM	3:00 PM	3:30 PM	— AM	9.50
Pat Blair II	11 AM	11 AM	11 AM	11 AM	— AM	9.50
	AM	AM	AM	AM	AM	
	PM	PM	PM	PM	PM	

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____

CONTINUE TO ASSIST HARTMAN WITH MOVING SOILS ON SITE. ;

COMMENTS

- * Stock piled soil from drilling
- * continued to re-grade site to keep water from ponding up and to help dry out site
- * moved Mat's for Hartman

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

N/A

Date

Authorized Personnel

Thomas Wichman

Date

4/4/18



HM Environmental Services, Inc

Daily Service Receipt

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:
Generator:

Date: 4/5/2018

Order #:

PO #:

Approval #:

Waste Stream: SITE WORK

Disposal Site: NOT APPLICABLE

Shop Time: 06:00 AM

Site Time: 07:00 AM

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
515 M - BOB CAT	— AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM
519M - EXCAVATOR	7:00 AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM	4:00 PM
520M - DOZER	— AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM
17 - 2017 FORD F-250	6:00 AM — PM	7:00 AM — PM	4:00 AM — PM	— AM — PM	— AM — PM	4:00 PM
528M - EXCAVATOR	7:00 AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM	11 AM — PM

Manifest #:
Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
	— AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM
Tom Wichman	6:00 AM — PM	7:00 AM — PM	4:00 AM — PM	4:00 AM — PM	— AM — PM	10
Pat Blair II	7:00 AM — PM	11 AM — PM	11 AM — PM	11 AM — PM	— AM — PM	9
	— AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM
	— AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM	— AM — PM

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____ ✓

CONTINUE ASSISTING HARTMAN WITH MOVING SOILS ON SITE.

Pat blair Jr drove to site
\$6.00 on company card for parking

COMMENTS

- * Stock piled soil from drilling
- * graded floor of excavation, cleaning up around Pyles
- * spread stone on ramp / compacted
- * dug up pyles under ramp and stock pile of soil on west wall due to survey forgetting to enter them for Haz-built (2 hours)

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (Int.)

All work has been completed to my satisfaction.

Customer

Date

Authorized Personnel

Date

N/A

Thomas Wichman 4/5/18



HM Environmental Services, Inc

Daily Service Receipt

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:
Generator:

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O.
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWIECZ
810-734-0975

Date: 4/6/2018
Order #:
PO #:
Approval #:
Waste Stream: SITE WORK
Disposal Site: NOT APPLICABLE
Shop Time: 06:00 AM
Site Time: 07:00 AM

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
519M - EXCAVATOR	7:00 AM	— AM	— AM	— AM	— AM	— AM
520M - DOZER	— AM	— AM	— AM	— AM	— AM	— AM
17 - 2017 FORD F-250	7:00 AM	— AM	11:00 AM	— AM	— AM	12:30 PM
528M - EXCAVATOR	11 AM	— AM	— AM	— AM	— AM	— AM
	— AM	— AM	— AM	— AM	— AM	— AM

Manifest #:
Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
Tom Wichman	7:00 AM	— AM	11:00 AM	12:30 PM	— AM	5.5
	— AM	— AM	— AM	— AM	— AM	—
	— AM	— AM	— AM	— AM	— AM	—
	— AM	— AM	— AM	— AM	— AM	—
	— AM	— AM	— AM	— AM	— AM	—

Suits _____ Boots _____ Gloves _____ Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel _____ ✓

FINISH UP MOVING SOILS ON SITE

COMMENTS

- * helped Travis load 315 excavator to demote back to HM's shop
- * cleaned up HM's Tools/hoses for pump
- * Touched up ramp

Roll-off Unit# _____ Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

Authorized Personnel

Date

N/A

Thomas Wichman

4/6/18



HM Environmental Services, Inc

Daily Service Receipt

42826 N. Walnut – Mt. Clemens, MI 48043
Phone (586) 469-0041 – Fax (586) 469-1014

Customer:
Generator:

FLS PROPERTIES, LLC
40700 Woodward Suite 250P.O. BOX 689856 N. OLD WOODWARD
Bloomfield Hills, MI - 48304
248-680-1401

THE PEARL BLDG
BOX 689856 N. OLD WOODWARD
BIRMINGHAM, MI 48071 -
JAMIE ANTONIEWICZ
810-734-0975

Date: 4/6/2018

Order #:

PO #:

Approval #:

Waste Stream: DEMOB EXCAVATOR

Disposal Site:

Shop Time: ~~09:00 AM~~

Site Time: ~~10:30 AM~~

EQUIPMENT	Start Time	Arrive Site	Depart Site	Arrive Disposal	Depart Disposal	Finish Time
124 - KENWORTH TRACTOR	7:30 AM	8:30 AM	9:00 AM	AM	AM	10:30 AM
341L - LOW BOY TRAILER (RGN)	EXCAV. AM	AM	AM	AM	AM	AM
519M - EXCAVATOR	AM	AM	AM	AM	AM	AM
	AM	AM	AM	AM	AM	AM
	AM	AM	AM	AM	AM	AM
	AM	AM	AM	AM	AM	AM

Manifest #:
Waste Qty:

SITE PERSONNEL	Start Time	Arrive Site	Depart Site	Finish Time	Air Time	Per Diem
Brian Palecki	AM	AM	AM	AM	AM	
Travis Howard	7:30 AM	8:30 AM	9:00 AM	10:30 AM	AM	3
	AM	AM	AM	AM	AM	
	AM	AM	AM	AM	AM	
	AM	AM	AM	AM	AM	
	AM	AM	AM	AM	AM	

Suits _____ Boots _____ Gloves 1 Overpacks _____ Labels _____ Sorbent Pads _____

Drums _____ Hoses _____ Feet _____ Box Liner _____ Mileage _____ Fuel 11 ✓

PICK UP EXCAVATOR FROM SITE AND BRING BACK TO THE YARD.

COMMENTS

Roll-off Unit# N/A Tarp/Bows/Caps/Fittings received in good working order _____ (int.)

All work has been completed to my satisfaction.

Customer

Date

4/6/18

Authorized Personnel

Date

4-6-18



HM
ENVIRONMENTAL
SERVICES Inc.

42826 N. Walnut
Mt. Clemens, MI 48043
Phone (586) 469-0041
Fax (586) 469-1014

October 19, 2020

Elizabeth Masserang
PM ENVIRONMENTAL, INC.
4080 W. Eleven Mile
Berkley, MI 48072

The Pearl cost breakout

Dear Elizabeth:

HM Environmental Services is pleased to present the following estimate for your review and consideration.

HAZARDOUS SOIL

Excavation cost \$ 10,00/ton
Transport cost..... \$ 23.00/ton
Disposal cost \$127.75/ton

NON HAZ SOIL

Excavation cost \$ 5,00/ton
Transport cost..... \$ 16.00/ton
Disposal cost \$15.50/ton

Yours truly,

Bob Mackinder

Bob Mackinder
Sales Manager

Visit us at www.hmenvironmental.com

FULL UNCONDITIONAL WAIVER

My/our contract with FLS Properties #5, LLC to provide
excavation and disposal of soil for the improvement of the property described as
856 N. Old Woodward, Birmingham, Michigan (The Pearl)
_____ having been
fully paid and satisfied, all my/our construction lien rights against such property
are hereby waived and released.

HM Environmental Services, Inc.

(Printed Name of Lien Claimant)

(Signature of lien claimant)

Steve Matthes, President

Signed on: June 26, 2018

Address: 42826 N. Walnut Street

Mt. Clemens, MI 48043

Telephone: 586-469-0041

DO NOT SIGN BLANK OR INCOMPLETE FORMS. RETAIN A COPY.

Elizabeth Masserang

From: Janet Boice <JBoice@simonattys.com>
Sent: Monday, December 14, 2020 11:52 AM
To: Elizabeth Masserang
Cc: Frank Simon
Subject: FW: FLS Properties #5, 856 N. Old Woodward, Birmingham, MI
Attachments: HM Environmental invoices #23707 and #23764 (tied in with each other - paid) (00781565x9C60C).pdf

Importance: High

Hello Elizabeth,

Please see attached and email below from HM Environmental regarding the fact that these two invoices were tied together.

We are still working on payment of Douglas Company's change orders 002 and 003. I will forward that information as soon as we receive it.

Janet A. Boice,
Assistant to Frank R. Simon
FLS Properties #5, LLC
PO Box 689
Bloomfield Hills, MI 48303
248 680-1401
248 720-0293 [fax]
jboice@simonattys.com

This e-mail contains information which is confidential and/or privileged. If you are not the intended recipient, be advised that any disclosure, copying, distribution or use of this information is prohibited.

From: Sue Maxwell <sue@hmenvironmental.com>
Sent: Monday, December 14, 2020 11:09 AM
To: Janet Boice <JBoice@simonattys.com>; Bob Mackinder <bmackinder@hmenvironmental.com>
Subject: RE: FLS Properties #5, 856 N. Old Woodward, Birmingham, MI

Janet,

Attached is a copy of our Invoice # 23707 and 23764 since the (2) invoices were tied together. I am not sure if they will want a copy of 23764 or if they already have it.

Thanks,

Sue Maxwell
Office Manager
HM Environmental Services, Inc.
586.469.0041

H M Environmental Services, Inc.
42826 N. Walnut Street
Mt. Clemens, MI 48043


Invoice

DATE	INVOICE #
11/17/2017	23684

BILL TO
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

SHIP TO
856 North Old Woodward Birmingham, MI

P.O. No.	TERMS	REP
	Net 30	RWM

QTY	DESCRIPTION	RATE	AMOUNT
1	10/31/17 Through 11/16/17 Operator & Laborer to balance the site for work to be performed by Hardman Construction	20,000.00	20,000.00
20	Visqueen Rolls (3 mill)	75.00	1,500.00
80.93	Stone (1x3 Crushed Concrete)	25.95	2,100.13
54.56	Stone (21AA Crushed Concrete)	23.15	1,263.06
			
		TOTAL	\$24,863.19

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

H M Environmental Services, Inc.
 42826 N. Walnut Street
 Mt. Clemens, MI 48043

Invoice

DATE	INVOICE #
11/22/2017	23707

PAID
12/18/2017

BILL TO	SHIP TO
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon	856 North Old Woodward Birmingham, MI

P.O. No.	TERMS	REP
	Net 30	RWM

QTY	DESCRIPTION	RATE	AMOUNT
625	11/27/17 Excavate, transport and dispose of hazardous soil THE 625 TONS ON THIS INVOICE WAS ALSO BILLED ON INVOICE # 23764. WE REMOVED 625 TONS ON INVOICE # 23764 AND TOOK OFF THE CREDIT OF \$75,000.00 FROM # 23764 AS WELL SINCE THAT \$75,000 WAS APPLIED TO THIS INVOICE. THEREFORE, THE PAYMENT OF \$330,386.14 WAS APPLIED TO THIS INVOICE AND # 23764. \$25,468.75 WAS USED FOR THIS INVOICE AND THE REMAINDER OF THE PAYMENT ON # 23764.	160.75	100,468.75
		TOTAL	\$100,468.75

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

Payments/Credits	-\$100,468.75
Balance Due	\$0.00

H M Environmental Services, Inc.
 42826 N. Walnut Street
 Mt. Clemens, MI 48043

Invoice

DATE	INVOICE #
12/11/2017	23764

BILL TO	SHIP TO
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon	865 North Old Woodward Birmingham, MI

PAID
 12/18/2017

P.O. No.	TERMS	REP
	Net 30	RWM

QTY	DESCRIPTION	RATE	AMOUNT
	11/17/17 Through 12/08/17 (Progress Billing)		
1,618.88	Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	160.75	260,234.96
1,200.04	Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	36.50	43,801.46
1	Visqueen (1) Roll - (10 mill)	240.00	240.00
24.7	Stone (1X3) Crushed Concrete	25.95	640.97
	SEE INV # 23707 FOR NOTES. ALREADY BILLED 625 TONS ON INV # 23707 AND PAYMENT OF \$75,000.00 WAS APPLIED TO INVOICE # 23707 AS WELL		
		TOTAL	\$304,917.39

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

Payments/Credits	-\$304,917.39
Balance Due	\$0.00

H M Environmental Services, Inc.
 42826 N. Walnut Street
 Mt. Clemens, MI 48043

Invoice

DATE	INVOICE #
1/8/2018	23877

BILL To
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

SHIP To
865 North Old Woodward Birmingham, MI

P.O. No.	TERMS	REP
	Net 30	RWM

QTY	DESCRIPTION	RATE	AMOUNT
	12/09/17 Through 12/29/17 (Progress Billing)		
2,734.06	Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	160.75	439,500.15
5.25	Demurrage at Wayne Disposal 11/29/17 Through 12/08/17 (Not Prev Billed)	95.00	498.75
43	Demurrage at Wayne Disposal 12/08/17 Through 12/29/17	95.00	4,085.00
3,212.42	Excavate, Transport and Disposal of Non Hazardous Soil to Advanced Disposal	36.50	117,253.33
54.63	Stone (1X3) Crushed Concrete	25.95	1,417.65
198	Truck Liners - Hazardous Loads Only	40.00	7,920.00
1	Credit due from Previous Invoice (1.5% Discount for Early Payment on Invoice # 23764)	-4,955.79	-4,955.79
	Discount of \$ 8,485.79 (1.5%) if paid within 15 Days, with discount please pay \$ 557,233.30		
		TOTAL	\$565,719.09

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

H M Environmental Services, Inc.
 42826 N. Walnut Street
 Mt. Clemens, MI 48043

Invoice

<i>DATE</i>	<i>INVOICE #</i>
2/1/2018	24010

<i>BILL TO</i>
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

<i>SHIP TO</i>
865 North Old Woodward Birmingham, MI

<i>P.O. No.</i>	<i>TERMS</i>	<i>REP</i>
	Net 30	RWM

<i>QTY</i>	<i>DESCRIPTION</i>	<i>RATE</i>	<i>AMOUNT</i>
143.09	12/30/17 Through 02/02/18 (Progress Billing) 01/02/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	23,001.72
18	01/03/18 Through 01/29/18 Additional Work with Hardman Construction not in the Original Scope - Northeast & Southwest Wall Extensions	2,500.00	45,000.00
288.26	01/30/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	160.75	46,337.80
302.75	01/31/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	160.75	48,667.06
325.21	02/01/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	160.75	52,277.51
340.1	02/02/18 Excavate, Transport and Disposal of Hazardous Soil to Wayne Disposal	160.75	54,671.08
56	Truck Liners - Hazardous Loads Only	40.00	2,240.00
		TOTAL	\$272,195.17

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

H M Environmental Services, Inc.
 42826 N. Walnut Street
 Mt. Clemens, MI 48043

Invoice

<i>DATE</i>	<i>INVOICE #</i>
2/9/2018	24049

<i>BILL To</i>
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

<i>SHIP To</i>
865 North Old Woodward Birmingham, MI

<i>P.O. No.</i>	<i>TERMS</i>	<i>REP</i>
	Net 30	RWM

<i>QTY</i>	<i>DESCRIPTION</i>	<i>RATE</i>	<i>AMOUNT</i>
	02/03/18 Through 02/09/18 (Progress Billing)		
161.6	02/05/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	25,977.20
157.94	02/06/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	25,388.86
100.97	02/07/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	16,230.93
126.36	02/08/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	20,312.37
22	Truck Liners - Hazardous Loads Only	40.00	880.00
		TOTAL	\$88,789.36

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

H M Environmental Services, Inc.
 42826 N. Walnut Street
 Mt. Clemens, MI 48043

Invoice

<i>DATE</i>	<i>INVOICE #</i>
2/20/2018	24079

<i>BILL To</i>
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

<i>SHIP To</i>
865 North Old Woodward Birmingham, MI

<i>P.O. No.</i>	<i>TERMS</i>	<i>REP</i>
	Net 30	RWM

<i>QTY</i>	<i>DESCRIPTION</i>	<i>RATE</i>	<i>AMOUNT</i>
	02/10/18 Through 02/16/18 (Progress Billing)		
163.95	02/12/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	26,354.96
189.14	02/13/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	30,404.26
238.47	02/14/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	38,334.05
0.25	Demurrage at Disposal - Truck # 109 (3rd Load)	95.00	23.75
170.16	02/15/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	27,353.22
219.04	02/16/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	35,210.68
37	Truck Liners - Hazardous	40.00	1,480.00
		<i>TOTAL</i>	\$159,160.92

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

H M Environmental Services, Inc.
42826 N. Walnut Street
Mt. Clemens, MI 48043

Invoice

<i>DATE</i>	<i>INVOICE #</i>
2/26/2018	24102

<i>BILL TO</i>
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

<i>SHIP TO</i>
865 North Woodward Birmingham, MI

<i>P.O. No.</i>	<i>TERMS</i>	<i>REP</i>
	Net 30	RWM

<i>QTY</i>	<i>DESCRIPTION</i>	<i>RATE</i>	<i>AMOUNT</i>
	02/17/18 Through 02/23/18 (Progress Billing)		
224.77	02/19/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	36,131.78
85.82	02/20/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	13,795.57
0.5	Stand By Rate - 1/2 Day (Weather Related)	1,000.00	500.00
1	02/21/18 Stand By Rate due to Weather	1,000.00	1,000.00
1	02/22/18 Stand By Rate due to Weather	1,000.00	1,000.00
1	02/23/18 Stand By Rate due to Weather	1,000.00	1,000.00
11	Truck Liners - Hazardous	40.00	440.00
		<i>TOTAL</i>	\$53,867.35

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

H M Environmental Services, Inc.
 42826 N. Walnut Street
 Mt. Clemens, MI 48043

Invoice

<i>DATE</i>	<i>INVOICE #</i>
3/5/2018	24146

<i>BILL TO</i>
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

<i>SHIP TO</i>
The Pearl Bldg. 856 N. Old Woodward Birmingham, MI

<i>P.O. No.</i>	<i>TERMS</i>	<i>REP</i>
	Net 30	RWM

<i>QTY</i>	<i>DESCRIPTION</i>	<i>RATE</i>	<i>AMOUNT</i>
	Progress Billing 02/24/18 Through 03/03/18 (Dewatering of Excavation)		
	02/26/18 Supervisor met with PM to discuss Water Removal - NO CHARGE		
1	02/27/18 Delivery and Placement of Stone for Well and Pad	1,650.00	1,650.00
1	Excavation and Placement of Well	1,425.00	1,425.00
1	02/28/18 Site Supervisor - Load Trucks with Ground Water	750.00	750.00
1	Additional Flagger for Truck Traffic	500.00	500.00
1	Daily Pump Rental	450.00	450.00
11.5	Bulk Tanker w/Operator - Transport Ground Water to Disposal	140.00	1,610.00
20,750	Disposal of Non Regulated Ground Water to DART - Manifest #'s 018587690 JJK, 018587693 JJK & 018587691 JJK	0.35	7,262.50
	03/01/18 Supervisor Checking Excavation On Site - NO CHARGE		
		<i>TOTAL</i>	

H M Environmental Services, Inc.
 42826 N. Walnut Street
 Mt. Clemens, MI 48043

Invoice

DATE	INVOICE #
3/5/2018	24146

BILL TO
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

SHIP TO
The Pearl Bldg. 856 N. Old Woodward Birmingham, MI

P.O. No.	TERMS	REP
	Net 30	RWM

QTY	DESCRIPTION	RATE	AMOUNT
1	03/02/18 Site Supervisor - Load Trucks with Ground Water	750.00	750.00
1	Additional Flagger for Truck Traffic	500.00	500.00
1	Daily Pump Rental	450.00	450.00
5.5	Bulk Tanker w/Operator - Transport Ground Water to Disposal	140.00	770.00
7,000	Disposal of Non Regulated Ground Water to DART - Manifest # 018587692 JJK	0.35	2,450.00
		TOTAL	\$18,567.50

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

H M Environmental Services, Inc.
 42826 N. Walnut Street
 Mt. Clemens, MI 48043

Invoice

<i>DATE</i>	<i>INVOICE #</i>
3/13/2018	24184

<i>BILL TO</i>
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

<i>SHIP TO</i>
The Pearl Bldg. 856 N. Old Woodward Birmingham, MI

<i>P.O. No.</i>	<i>TERMS</i>	<i>REP</i>
	Net 30	RWM

<i>QTY</i>	<i>DESCRIPTION</i>	<i>RATE</i>	<i>AMOUNT</i>
	Progress Billing 03/04/18 Through 03/13/18 (DeWatering & Hazardous Soil Removal)		
210.11	03/05/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	33,775.18
5	Bulk Tanker w/Operator - Transport Ground Water to Disposal	140.00	700.00
4,585	Disposal of Non Regulated Ground Water to DART - Manifest # 018587704 JJK	0.35	1,604.75
206.95	03/06/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	33,267.21
1	03/07/18 Stand By Rate (Meeting with Hardman to discuss finishing Hazardous Soil Removal)	1,000.00	1,000.00
428.91	03/08/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	68,947.28
		<i>TOTAL</i>	

H M Environmental Services, Inc.
 42826 N. Walnut Street
 Mt. Clemens, MI 48043

Invoice

DATE	INVOICE #
3/13/2018	24184

BILL TO
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

SHIP TO
The Pearl Bldg. 856 N. Old Woodward Birmingham, MI

P.O. No.	TERMS	REP
	Net 30	RWM

QTY	DESCRIPTION	RATE	AMOUNT
178.46	03/09/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	28,687.45
204.75	Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	32,913.56
0.5	Demurrage On Site - Truck # 129	100.00	50.00
0.5	Demurrage at Disposal - Truck # 129	100.00	50.00
1	Demurrage at Disposal - Truck # 109	100.00	100.00
5.5	Bulk Tanker w/Operator - Transport Ground Water to Disposal	140.00	770.00
4,600	Disposal of Non Regulated Ground Water to DART - Manifest # 018587705 JJK	0.35	1,610.00
240.36	03/12/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	38,637.87
85.5	03/13/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	13,744.13
154.35	Excavate, Transport and Disposal of Non Hazardous Soils to Advanced Disposal	36.50	5,633.78
54	Truck Liners - Hazardous Loads Only	40.00	2,160.00
TOTAL			\$263,651.21

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

H M Environmental Services, Inc.
 42826 N. Walnut Street
 Mt. Clemens, MI 48043

Invoice

<i>DATE</i>	<i>INVOICE #</i>
3/21/2018	24222

<i>BILL TO</i>
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

<i>SHIP TO</i>
The Pearl Bldg. 856 N. Old Woodward Birmingham, MI

<i>P.O. No.</i>	<i>TERMS</i>	<i>REP</i>
	Net 30	RWM

<i>QTY</i>	<i>DESCRIPTION</i>	<i>RATE</i>	<i>AMOUNT</i>
	Progress Billing 03/14/18 Through 03/20/18 - (Non Hazardous & Hazardous Soil Removal)		
160.45	03/14/18 Excavate, Transport and Disposal of Non Hazardous Soils to Advanced Disposal	36.50	5,856.43
115.3	03/15/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	18,534.48
113.08	Excavate, Transport and Disposal of Non Hazardous Soils to Advanced Disposal	36.50	4,127.42
118.56	03/16/18 Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	19,058.52
55.62	Excavate, Transport and Disposal of Hazardous Soils to Advanced Disposal	36.50	2,030.13
1	03/19/18 Stockpile and Load out Soil on West Wall for Hardman	2,500.00	2,500.00
2	(2) 55 Gallon Drums - Protect to Pile Caps	56.00	112.00
		<i>TOTAL</i>	

H M Environmental Services, Inc.
 42826 N. Walnut Street
 Mt. Clemens, MI 48043

Invoice

<i>DATE</i>	<i>INVOICE #</i>
3/21/2018	24222

<i>BILL To</i>
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

<i>SHIP To</i>
The Pearl Bldg. 856 N. Old Woodward Birmingham, MI

<i>P.O. No.</i>	<i>TERMS</i>	<i>REP</i>
	Net 30	RWM

<i>QTY</i>	<i>DESCRIPTION</i>	<i>RATE</i>	<i>AMOUNT</i>
26.5	Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	4,259.88
225.4	Backfill - 21AA Crushed Concrete (8 Loads)	23.15	5,218.01
1	03/20/18 Excavated (2) Holes to Elevation and moved Soil from Southeast Corner to Northeast Corner of Job Site per Hardman	2,500.00	2,500.00
59.73	Excavate, Transport and Disposal of Hazardous Soils to Wayne Disposal	160.75	9,601.60
0.25	Demurrage at Wayne Disposal - Truck # 124	100.00	25.00
0.25	Demurrage at Wayne Disposal - Truck # 127	100.00	25.00
255.07	Backfill - 21AA Crushed Concrete (8 Loads)	23.15	5,904.87
11	Liners - Hazardous Loads Only	40.00	440.00
		<i>TOTAL</i>	\$80,193.34

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

H M Environmental Services, Inc.
 42826 N. Walnut Street
 Mt. Clemens, MI 48043

Invoice

<i>DATE</i>	<i>INVOICE #</i>
4/6/2018	24261

<i>BILL TO</i>
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

<i>SHIP TO</i>
The Pearl Bldg. 856 N. Old Woodward Birmingham, MI

<i>P.O. No.</i>	<i>TERMS</i>	<i>REP</i>
	Net 30	RWM

<i>QTY</i>	<i>DESCRIPTION</i>	<i>RATE</i>	<i>AMOUNT</i>
	Progress Billing 03/21/18 Through 04/06/18 (Non Hazardous Soil & Assist Hardman Onsite)		
1	03/21/18 Excavate Hole to Elevation and move Stockpile from South East Corner for Hardman	2,500.00	2,500.00
116.07	Excavate, Transport and Disposal of Non Hazardous Soils to Advanced Disposal	36.50	4,236.56
192.72	Backfill - 21AA Crushed Concrete (6 Loads)	23.15	4,461.47
1	03/22/18 Stockpile Soil out of Hardman's way, Excavate Hole for Pile Caps & Clean up Soil Piles from Drilling	2,500.00	2,500.00
1	03/23/18 Stockpile Soil for Hardman & Clean up Soils Piles from Drilling	2,500.00	2,500.00
86.78	Excavate, Transport and Disposal of Non Hazardous Soils to Advanced Disposal	36.50	3,167.47
1	03/26/18 Stockpile for Ramp, Re-grade NorthEast Side of Excavation	2,500.00	2,500.00
		TOTAL	

H M Environmental Services, Inc.
42826 N. Walnut Street
Mt. Clemens, MI 48043

Invoice

<i>DATE</i>	<i>INVOICE #</i>
4/6/2018	24261

<i>BILL TO</i>
FLS Properties #5 LLC P O Box 689 Bloomfield Hills, MI 48303 Attn: Frank Simon

<i>SHIP TO</i>
The Pearl Bldg. 856 N. Old Woodward Birmingham, MI

<i>P.O. No.</i>	<i>TERMS</i>	<i>REP</i>
	Net 30	RWM

<i>QTY</i>	<i>DESCRIPTION</i>	<i>RATE</i>	<i>AMOUNT</i>
55.84	Excavate, Transport and Disposal of Non Hazardous Soils to Advanced Disposal	36.50	2,038.16
3	03/27/18 Through 03/29/18 Assist Hardman Onsite	2,500.00	7,500.00
0.5	03/30/18 Assist Hardman Onsite	2,500.00	1,250.00
4	03/31/18 Through 04/05/18 Assist Hardman Onsite	2,500.00	10,000.00
0.5	04/06/18 Finish Onsite Work and Load Equipment	2,500.00	1,250.00
		TOTAL	\$43,903.66

Payment is net 30 days, interest of 1.5% per month there after. Additional disposal charges may be required for off-spec material, sludges and washouts. Please note if paying by Credit Card there will be a 3.75% processing fee added to invoice total. Please call with any questions 586-469-0041.

PM Environmental

FLS PROPERTIES #5 LLC

P.O. BOX 689

BLOOMFIELD HILLS, MI 48303

1312

74-1431/724

DATE 3-8-21

CHECK ARMOR
FRAUD PROTECTION

PAY
TO THE
ORDER OF

Pm Environmental, Inc.

\$ 803.75

- Eight Hundred Three Dollars 75/100 -

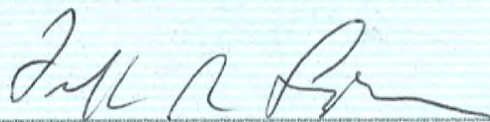
DOLLARS

Photo
Safe
Deposit
Details on back

 **LevelOne**

FOR

Inv. # 96476



⑈001312⑈ ⑆072414310⑆ 1000161701⑈



PM ENVIRONMENTAL, INC.
3340 RANGER ROAD
LANSING, MI 48906
Phone: (517) 321-3331
Toll Free: (800) 485-0090
Fax: (877) 884-6775

Mr. Frank Simon
FLS Properties #5, LLC
P.O. Box 689
Bloomfield Hills, MI 48303

February 25, 2021
Project No: 01-05889-0
Invoice No: 96476

Invoice Total \$803.75

Project Manager: Elizabeth Masserang

Brownfield Activities

Service Group 0010 856 North Old Woodward Avenue, Birmingham, Michigan

Brownfield Tax Increment Revenue Reimbursement Request

Task	Fee	Percent Complete	Previous Fee Billing	Cost
Reimbursement Request	5,000.00	99.65	4,178.75	803.75
Total Fee	5,000.00		4,178.75	803.75
Subtotal				803.75
		Total these Tasks		\$803.75
		Total this Service		\$803.75
		Total this Invoice		\$803.75

Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions will be assessed a 3% fee at time of payment.

Payments may be made electronically to:

Level One Bank
Routing ABA Number 072414310
Account Number 1000123180
Fed ID 38-3052632

Invoice Payable Upon Receipt

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

We are committed to providing you with the highest level of service and would appreciate getting feedback on our performance. Please take our brief client satisfaction survey at: <https://www.surveymonkey.com/r/pmclient>

Accounts Receivable Ledger

Monday, October 12, 2020

2:05:34 PM

PM Environmental, Inc.

Job-to-Date through 10/24/2020

Invoice	Mod/Receipt Detail	Description 2	Date	Total
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Billing Client Name: FLS Properties #5, LLC

Site Address: 856 North Old Woodward Avenue, Birmingham, Michigan

01-05889-0 The Pearl Development / Project Manager: Masserang

Project Type: Environmental Services

0073902		Invoice	9/21/2015	14,015.00
0073902	Rcpt A112315	ck # 1162	11/23/2015	-14,015.00
0077059		Invoice	6/27/2016	5,690.00
0077059	Rcpt A090816	ck# 1187	9/8/2016	-5,690.00
0078957		Invoice	10/28/2016	10,000.00
0078957	Rcpt A110916	ck# 1198	11/9/2016	-10,000.00
0079807		Invoice	1/4/2017	1,500.00
0079807	Rcpt A011917	CK # 1117	1/19/2017	-1,500.00
0080629		Invoice	2/23/2017	3,750.00
0080629	Retainer	Invoice	2/23/2017	-3,750.00
0084128		Invoice	11/30/2017	26,595.61
0084128	Retainer	Invoice	11/30/2017	-15,000.00
0084128	Rcpt A010818	ck # 1244	1/8/2018	-11,595.61
0084715		Invoice	1/19/2018	27,064.95
0084715	Rcpt A031918	ck # 1269	3/19/2018	-27,064.95
0085166		Invoice	3/8/2018	28,402.73
0085166	Rcpt A031918	ck # 1269	3/19/2018	-28,402.73
0085575		Invoice	4/6/2018	14,613.33
0085575	Rcpt A051618	Check#1283	5/16/2018	-14,613.33
0087608		Invoice	10/4/2018	7,173.12
0087608	Retainer	Invoice	10/4/2018	-5,000.00
0087608	Rcpt A101518	Check#1010	10/15/2018	-2,173.12
0088529		Invoice	12/20/2018	7,450.00
0088529	Rcpt A012419	Check#1028	1/24/2019	-7,450.00
0094157		Invoice	6/17/2020	1,250.00
0094157	Rcpt A071320	Check #1082	7/13/2020	-1,250.00
0094762		Invoice	8/21/2020	3,300.00
0094762	Retainer	Invoice	8/21/2020	-1,000.00
0094762	Rcpt A090120	Check# 1127	9/1/2020	-2,300.00

Project Billed 150,804.74

Project Received -150,804.74

Project Retainer 2,500.00

Project Retainage

Total for 01-05889-0

Total Billed 150,804.74

Total Received -150,804.74

Total Retainer 2,500.00

Total Retainage

Total



PM ENVIRONMENTAL, INC.
3340 RANGER ROAD
LANSING, MI 48906
Phone (517) 321-3331
Toll Free: (800) 485-0090
Fax: (877) 884-6775

Mr. Frank Simon
FLS Properties #5, LLC
P.O. Box 689
Bloomfield Hills, MI 48303

September 21, 2015
Project No: 01-05889-0
Invoice No: 73902
Invoice Total \$14,015.00

Task	Cost	
Mobilization, oversight, and sampling	600.00	
Consultant equipment & supplies	575.00	
Project management and report	4,250.00	
Ground penetrating radar	1,400.00	
Geoprobe drilling operations	2,700.00	
Laboratory analysis	4,490.00	
Total Fee	14,015.00	
	Subtotal	14,015.00
	Total this Invoice	\$14,015.00

Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions over \$5,000 will be assessed a 2% fee at time of payment.

Payments may be made electronically to:

PNC Bank
Routing ABA Number 041000124
Account Number 4244515447
Fed ID 38-3052632

A1 - Phase II
ESA/Baseline
Environmental
Assessment

Invoice Payable Upon Receipt

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

We are committed to providing you with the highest level of service and would appreciate getting feedback on our performance. Please take our brief client satisfaction survey at: <https://www.surveymonkey.com/r/pmclient>



PM ENVIRONMENTAL, INC.
3340 RANGER ROAD
LANSING, MI 48906
Phone (517) 321-3331
Toll Free: (800) 485-0090
Fax: (877) 884-6775

Mr. Frank Simon
FLS Properties #5, LLC
P.O. Box 689
Bloomfield Hills, MI 48303

June 27, 2016
Project No: 01-05889-0
Invoice No: 77059
Invoice Total \$5,690.00

Project Manager: Jamie Antoniewicz

Service Group 0003 856 North Old Woodward Avenue

Task	Cost	
Mobilization, oversight sampling	725.00	
Consultant equipment and supplies	200.00	
Project management and reporting	1,950.00	
Drilling and operations	1,975.00	
Laboratory analysis	840.00	
Total Fee	5,690.00	
	Subtotal	5,690.00
	Total this Service	\$5,690.00
	Total this Invoice	\$5,690.00

Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions over \$5,000 will be assessed a 2% fee at time of payment.

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PNC Bank
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**B5 - Additional
Delineation**

Invoice Payable Upon Receipt

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

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3340 RANGER ROAD
LANSING, MI 48906
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Toll Free: (800) 485-0090
Fax: (877) 884-6775

Mr. Frank Simon
FLS Properties #5, LLC
P.O. Box 689
Bloomfield Hills, MI 48303

October 28, 2016
Project No: 01-05889-0
Invoice No: 78957
Invoice Total \$10,000.00

Project Manager: Elizabeth Masserang

Service Group 0002 856 North Old Woodward Avenue, Birmingham, Michigan

Task	Cost	
Brownfield Plan	6,000.00	
Brownfield Plan Change Order 1	2,500.00	
381 Work Plan	1,500.00	
Total Fee	10,000.00	
	Subtotal	10,000.00
	Total this Service	\$10,000.00
	Total this Invoice	\$10,000.00

Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions over \$5,000 will be assessed a 2% fee at time of payment.

Payments may be made electronically to:

PNC Bank
Routing ABA Number 041000124
Account Number 4244515447
Fed ID 38-3052632

C1 - Brownfield
Plan/381 Work Plan

Invoice Payable Upon Receipt

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

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PM ENVIRONMENTAL, INC.
3340 RANGER ROAD
LANSING, MI 48906
Phone (517) 321-3331
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Fax: (877) 884-6775

Mr. Frank Simon
FLS Properties #5, LLC
P.O. Box 689
Bloomfield Hills, MI 48303

January 4, 2017
Project No: 01-05889-0
Invoice No: 79807
Invoice Total \$1,500.00

Project Manager: Elizabeth Masserang

Service Group 0002 856 North Old Woodward Avenue, Birmingham, Michigan

Task	Cost	
Brownfield Plan	0.00	
Brownfield Plan Change Order 1	0.00	
381 Work Plan	1,500.00	
Total Fee	1,500.00	
	Subtotal	1,500.00
	Total this Service	\$1,500.00
	Total this Invoice	\$1,500.00

Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions over \$5,000 will be assessed a 2% fee at time of payment.

Payments may be made electronically to:

PNC Bank
Routing ABA Number 041000124
Account Number 4244515447
Fed ID 38-3052632

**C1 - Brownfield
Plan/381 Work Plan**

Invoice Payable Upon Receipt

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PM ENVIRONMENTAL, INC.
3340 RANGER ROAD
LANSING, MI 48906
Phone (517) 321-3331
Toll Free: (800) 485-0090
Fax: (877) 884-6775

Mr. Frank Simon
FLS Properties #6, LLC
P.O. Box 689
Bloomfield Hills, MI 48303

February 23, 2017
Project No: 01-05889-0
Invoice No: 80629
Invoice Total 0.00

Project Manager: Jamie Antoniewicz

Service Group 0004 856 North Old Woodward Avenue, Birmingham, Michigan

Task	Cost
Vapor Barrier Work Plan and Meetings	3,750.00
Total Fee	3,750.00

Subtotal 3,750.00

Additional Fees

Check # 1194 10/18/16	-3,750.00	
Total Additional Fees	-3,750.00	-3,750.00

Total this Service 0.00

Total this Invoice 0.00

Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions over \$5,000 will be assessed a 2% fee at time of payment.

Payments may be made electronically to:

PNC Bank
Routing ABA Number 041000124
Account Number 4244515447
Fed ID 38-3052632

**B8 - Vapor Barrier
Specs**

Invoice Payable Upon Receipt

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

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PM ENVIRONMENTAL, INC.
3340 RANGER ROAD
LANSING, MI 48906
Phone (517) 321-3331
Toll Free: (800) 485-0090
Fax: (877) 884-6775

Mr. Frank Simon
FLS Properties #5, LLC
P.O. Box 689
Bloomfield Hills, MI 48303

November 30, 2017
Project No: 01-05889-0
Invoice No: 84128
Invoice Total \$11,595.61

Project Manager: Jamie Antoniewicz

B6 - Soils Oversight

Soil Excavation

Services from October 1, 2017 to November 17, 2017

Service Group 0005 856 North Old Woodward Avenue, Birmingham, Michigan

Professional Personnel

		Hours	Rate	Amount
Environmental Technician				
Ferreira, Olivia	10/24/2017	2.50	80.00	200.00
Ferreira, Olivia	11/7/2017	.50	80.00	40.00
Ferreira, Olivia	11/8/2017	2.50	80.00	200.00
Ferreira, Olivia	11/17/2017	.50	80.00	40.00
Project Engineer				
Antoniewicz, Jamie	11/1/2017	2.50	120.00	300.00
Antoniewicz, Jamie	11/2/2017	1.00	120.00	120.00
Antoniewicz, Jamie	11/10/2017	2.50	120.00	300.00
Regional Manager - Field Services				
Lennon, Kelly	10/31/2017	1.25	110.00	137.50
Lennon, Kelly	11/1/2017	2.50	110.00	275.00
Lennon, Kelly	11/3/2017	2.00	110.00	220.00
Lennon, Kelly	11/6/2017	7.00	110.00	770.00
Lennon, Kelly	11/7/2017	9.00	110.00	990.00
Lennon, Kelly	11/8/2017	9.00	110.00	990.00
Lennon, Kelly	11/9/2017	9.00	110.00	990.00
Lennon, Kelly	11/10/2017	7.00	110.00	770.00
Lennon, Kelly	11/13/2017	9.00	110.00	990.00
Lennon, Kelly	11/14/2017	1.50	110.00	165.00
Lennon, Kelly	11/15/2017	1.50	110.00	165.00
Lennon, Kelly	11/16/2017	9.00	110.00	990.00
Lennon, Kelly	11/17/2017	6.50	110.00	715.00
Totals		86.25		9,367.50
Total Labor				9,367.50

Reimbursable Expenses

Meals			
11/9/2017	Lennon, Kelly	Lunck KL	11.06

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

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Project	01-05889-0	The Pearl Development	Invoice	84128
11/10/2017	Lennon, Kelly	Lunch KL	11.06	
11/13/2017	Lennon, Kelly	Coffee	3.27	
Parking				
11/14/2017	Lennon, Kelly	parking Meter Fee	3.45	
11/14/2017	Lennon, Kelly	Parking Meter Fee	3.45	
11/14/2017	Lennon, Kelly	Parking Meter Fee	3.45	
11/15/2017	Lennon, Kelly	Parking Meter Fee	1.15	
11/16/2017	Lennon, Kelly	Parking Meter Fee	1.15	
11/17/2017	Lennon, Kelly	Parking Meter Fee	9.20	
Total Reimbursables			47.24	47.24
Additional Fees				
ck # 1223 10/12/17			-15,000.00	
Total Additional Fees			-15,000.00	-15,000.00
Reimbursable Expenses				
Environmental Supplies				
11/7/2017	Cicci, Joseph	HAZ site supplies	64.62	
Total Reimbursables			64.62	64.62
Professional Personnel				
		Hours	Rate	Amount
CAD Operator				
Shinabarker, Eric	10/31/2017	.75	70.00	52.50
Director, Env Services Division				
Patton, Adam	10/18/2017	.75	200.00	150.00
Patton, Adam	10/19/2017	.75	200.00	150.00
Patton, Adam	10/23/2017	.50	200.00	100.00
Patton, Adam	10/27/2017	.50	200.00	100.00
Patton, Adam	10/30/2017	.75	200.00	150.00
Patton, Adam	10/31/2017	1.00	200.00	200.00
Patton, Adam	11/6/2017	1.50	200.00	300.00
Patton, Adam	11/7/2017	.50	200.00	100.00
Patton, Adam	11/9/2017	1.00	200.00	200.00
Patton, Adam	11/13/2017	.50	200.00	100.00
Patton, Adam	11/14/2017	1.00	200.00	200.00
Founder and CEO				
Kulka, Michael	10/1/2017	.50	200.00	100.00
Kulka, Michael	10/2/2017	1.00	200.00	200.00
Kulka, Michael	10/3/2017	1.00	200.00	200.00
Kulka, Michael	10/4/2017	1.00	200.00	200.00
Kulka, Michael	10/5/2017	1.00	200.00	200.00
Kulka, Michael	10/6/2017	1.00	200.00	200.00
Kulka, Michael	10/9/2017	2.00	200.00	400.00
Kulka, Michael	10/11/2017	1.50	200.00	300.00
Kulka, Michael	10/12/2017	2.00	200.00	400.00
Kulka, Michael	10/13/2017	1.50	200.00	300.00
Principal and Vice President				
Kulka, Michael	10/16/2017	.50	200.00	100.00
Kulka, Michael	10/17/2017	.50	200.00	100.00
Kulka, Michael	10/18/2017	.50	200.00	100.00
Kulka, Michael	10/19/2017	.50	200.00	100.00
Kulka, Michael	10/24/2017	.50	200.00	100.00
Kulka, Michael	10/25/2017	.50	200.00	100.00
Kulka, Michael	10/27/2017	3.00	200.00	600.00
Kulka, Michael	11/6/2017	.50	200.00	100.00

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

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Project	01-05889-0	The Pearl Development	Invoice		84128
Kulka, Michael	11/7/2017	.50	200.00	100.00	
Kulka, Michael	11/8/2017	.50	200.00	100.00	
Kulka, Michael	11/9/2017	.50	200.00	100.00	
Kulka, Michael	11/10/2017	.50	200.00	100.00	
Project Engineer					
Antoniewicz, Jamie	10/5/2017	1.00	120.00	120.00	
Antoniewicz, Jamie	10/6/2017	2.00	120.00	240.00	
Antoniewicz, Jamie	10/9/2017	.75	120.00	90.00	
Antoniewicz, Jamie	10/16/2017	1.00	120.00	120.00	
Antoniewicz, Jamie	10/18/2017	.75	120.00	90.00	
Antoniewicz, Jamie	10/20/2017	.50	120.00	60.00	
Antoniewicz, Jamie	10/23/2017	.50	120.00	60.00	
Antoniewicz, Jamie	10/26/2017	1.00	120.00	120.00	
Antoniewicz, Jamie	10/27/2017	.50	120.00	60.00	
Antoniewicz, Jamie	10/30/2017	4.50	120.00	540.00	
Antoniewicz, Jamie	10/31/2017	3.50	120.00	420.00	
Antoniewicz, Jamie	11/1/2017	1.25	120.00	150.00	
Antoniewicz, Jamie	11/3/2017	1.00	120.00	120.00	
Antoniewicz, Jamie	11/6/2017	4.00	120.00	480.00	
Antoniewicz, Jamie	11/7/2017	1.25	120.00	150.00	
Antoniewicz, Jamie	11/8/2017	4.75	120.00	570.00	
Antoniewicz, Jamie	11/9/2017	2.00	120.00	240.00	
Antoniewicz, Jamie	11/13/2017	2.75	120.00	330.00	
Antoniewicz, Jamie	11/14/2017	1.50	120.00	180.00	
Antoniewicz, Jamie	11/16/2017	1.00	120.00	120.00	
Antoniewicz, Jamie	11/17/2017	1.00	120.00	120.00	
Regional Manager / Senior Consultant					
Kulka, Michael	11/15/2017	.50	160.00	80.00	
Kulka, Michael	11/16/2017	.50	160.00	80.00	
Kulka, Michael	11/17/2017	.50	160.00	80.00	
Ritchie, Jennifer	10/4/2017	.50	160.00	80.00	
Ritchie, Jennifer	10/5/2017	.50	160.00	80.00	
Ritchie, Jennifer	10/12/2017	.50	160.00	80.00	
Ritchie, Jennifer	10/13/2017	.50	160.00	80.00	
Ritchie, Jennifer	10/16/2017	.25	160.00	40.00	
Technical Admin Coordinator					
Craib, Shelia	11/1/2017	.50	70.00	35.00	
Project Manager Assistant I					
Durecka, Chelsea	10/13/2017	.50	65.00	32.50	
Totals		71.75		11,050.00	
Total Labor					11,050.00
Reimbursable Expenses					
Permits/Fees					
10/10/2017	Antoniewicz, Jamie	EPA Site ID Fee		57.50	
Total Reimbursables				57.50	57.50
Consultants					
Subs - Analytical					
11/2/2017	Merit Laboratories, Inc.	samples #84683		2,374.75	
11/13/2017	Merit Laboratories, Inc.	samples 11/08 #85013		1,380.00	
11/13/2017	Merit Laboratories, Inc.	samples 11/08 #85060		920.00	
11/13/2017	Merit Laboratories, Inc.	samples 11/08 #85066		1,334.00	
Total Consultants				6,008.75	6,008.75

Project	01-05889-0	The Pearl Development	Invoice	84128
			Total this Service	\$11,595.61
			Total this Invoice	\$11,595.61

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Payments may be made electronically to:

PNC Bank
Routing ABA Number 041000124
Account Number 4244515447
Fed ID 38-3052632

Invoice Payable Upon Receipt



PM ENVIRONMENTAL, INC.
3340 RANGER ROAD
LANSING, MI 48906
Phone (517) 321-3331
Toll Free: (800) 485-0090
Fax: (877) 884-6775

Mr. Frank Simon
FLS Properties #5, LLC
P.O. Box 689
Bloomfield Hills, MI 48303

January 19, 2018
Project No: 01-05889-0
Invoice No: 84715
Invoice Total \$27,064.95

Project Manager: Jamie Antoniewicz

Soil Excavation

B6 - Soils Oversight

Services from October 1, 2017 to November 17, 2017

Service Group 0005 856 North Old Woodward Avenue, Birmingham, Michigan

Professional Personnel

		Hours	Rate	Amount
Environmental Technician				
Antoniewicz, Jamie	12/8/2017	8.50	80.00	680.00
Ferreira, Olivia	11/20/2017	6.50	80.00	520.00
Ferreira, Olivia	11/21/2017	11.00	80.00	880.00
Ferreira, Olivia	11/29/2017	10.00	80.00	800.00
Ferreira, Olivia	12/4/2017	9.00	80.00	720.00
Ferreira, Olivia	12/5/2017	10.00	80.00	800.00
Ferreira, Olivia	12/6/2017	10.00	80.00	800.00
Ferreira, Olivia	12/7/2017	9.00	80.00	720.00
Ferreira, Olivia	12/11/2017	9.00	80.00	720.00
Ferreira, Olivia	12/12/2017	8.25	80.00	660.00
Ferreira, Olivia	12/13/2017	5.25	80.00	420.00
Ferreira, Olivia	12/14/2017	9.00	80.00	720.00
Ferreira, Olivia	12/15/2017	9.00	80.00	720.00
Ferreira, Olivia	12/18/2017	9.50	80.00	760.00
Ferreira, Olivia	12/19/2017	8.75	80.00	700.00
Ferreira, Olivia	12/20/2017	8.00	80.00	640.00
Ferreira, Olivia	12/21/2017	8.00	80.00	640.00
Flessner, Brett	11/22/2017	10.50	80.00	840.00
Snow, Aaron	11/20/2017	4.00	80.00	320.00
Snow, Aaron	12/22/2017	8.75	80.00	700.00
Teitsma, Christopher	12/26/2017	11.00	80.00	880.00
Teitsma, Christopher	12/27/2017	11.00	80.00	880.00
Teitsma, Christopher	12/28/2017	11.00	80.00	880.00
Teitsma, Christopher	12/29/2017	11.00	80.00	880.00
Regional Manager - Field Services				
Lennon, Kelly	11/22/2017	.50	110.00	55.00
Lennon, Kelly	11/27/2017	5.50	110.00	605.00
Lennon, Kelly	11/28/2017	9.00	110.00	990.00

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Project	01-05889-0	The Pearl Development		Invoice	84715
Lennon, Kelly	11/30/2017	8.50	110.00	935.00	
Lennon, Kelly	12/1/2017	7.00	110.00	770.00	
Lennon, Kelly	12/22/2017	.50	110.00	55.00	
Lennon, Kelly	12/23/2017	.50	110.00	55.00	
Totals		247.50		20,745.00	
Total Labor					20,745.00

Reimbursable Expenses

Meals

11/20/2017	Lennon, Kelly	Lunch KL	12.27
11/21/2017	Ferreira, Olivia	water for field staff	4.01
11/24/2017	Ferreira, Olivia	lunch for field staff	8.27
11/24/2017	Flessner, Brett	lunch bf	4.58
11/24/2017	Flessner, Brett	lunch bf	9.30
11/29/2017	Ferreira, Olivia	lunch for field staff - Tim hortans	9.50
11/30/2017	Lennon, Kelly	Lunch KL	10.71
12/4/2017	Ferreira, Olivia	lunch for field staff - Tim hortans	7.66
12/7/2017	Ferreira, Olivia	water for field staff	3.78
12/8/2017	Ferreira, Olivia	lunch for field staff	9.50
12/8/2017	Ferreira, Olivia	water for field staff	3.78
12/13/2017	Ferreira, Olivia	water for field staff	4.03
12/15/2017	Ferreira, Olivia	lunch for field staff	13.63
12/20/2017	Ferreira, Olivia	water for field staff	4.03
12/22/2017	Ferreira, Olivia	water for field staff	3.44
12/22/2017	Snow, Aaron	lunch for AS	8.52
12/27/2017	Teitsma, Christopher	Lunch CT	12.88

Parking

11/20/2017	Lennon, Kelly	parking meter	6.90
11/21/2017	Ferreira, Olivia	metered parking	6.33
11/21/2017	Ferreira, Olivia	metered parking	4.60
11/22/2017	Ferreira, Olivia	metered parking	9.20
11/24/2017	Flessner, Brett	meter	5.18
11/24/2017	Flessner, Brett	meter	3.45
11/28/2017	Lennon, Kelly	parking meter	2.30
11/28/2017	Lennon, Kelly	parking meter	2.30
11/29/2017	Lennon, Kelly	parking meter	9.20
11/30/2017	Ferreira, Olivia	metered parking no receipt	4.60
12/1/2017	Lennon, Kelly	Meter Parking	2.30
12/5/2017	Ferreira, Olivia	metered parking no receipt	6.90
12/7/2017	Ferreira, Olivia	metered parking - no receipt	6.90
12/8/2017	Ferreira, Olivia	metered parking - no receipt	8.05
12/14/2017	Ferreira, Olivia	metered parking - no receipt	3.45
12/15/2017	Ferreira, Olivia	metered parking - no receipt	5.75
12/19/2017	Ferreira, Olivia	metered parking - no receipt	6.90
12/20/2017	Ferreira, Olivia	metered parking - no receipt	5.75
12/21/2017	Ferreira, Olivia	metered parking - no receipt	8.63
12/22/2017	Ferreira, Olivia	metered parking no receipts	5.75

Total Reimbursables

244.33 244.33

Reimbursable Expenses

Env Equip. Rental

11/30/2017	Argus Group Inc.	10/31-11/28 rental	159.77
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Environmental Supplies

12/15/2017	Premier Safety	Auth Kelly/Jamie	159.77
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Project	01-05889-0	The Pearl Development	Invoice	84715
Meals				
12/11/2017	Antoniewicz, Jamie	Lunch	11.21	
Parking				
11/24/2017	Flessner, Brett	meter	3.45	
Total Reimbursables			334.20	334.20
Unit Billing				
Industrial Hygiene Supplies				
12/8/2017		1.0 Each @ 10.00	10.00	
Mileage				
11/20/2017		102.0 Miles @ 0.56	57.12	
11/22/2017		160.0 Miles @ 0.56	89.60	
11/29/2017		15.0 Miles @ 0.56	8.40	
12/4/2017		15.0 Miles @ 0.56	8.40	
12/5/2017		15.0 Miles @ 0.56	8.40	
12/8/2017		15.0 Miles @ 0.56	8.40	
12/12/2017		30.0 Miles @ 0.56	16.80	
12/13/2017		15.0 Miles @ 0.56	8.40	
12/18/2017		15.0 Miles @ 0.56	8.40	
12/18/2017		15.0 Miles @ 0.56	8.40	
12/20/2017		30.0 Miles @ 0.56	16.80	
12/22/2017		12.0 Miles @ 0.56	6.72	
12/26/2017		568.0 Miles @ 0.56	318.08	
PID- 10.6 V				
11/20/2017		1.0 Day @ 55.00	55.00	
12/8/2017		1.0 Day @ 55.00	55.00	
12/12/2017		1.0 Day @ 55.00	55.00	
12/13/2017		0.5 Days @ 55.00	27.50	
12/18/2017		0.5 Days @ 55.00	27.50	
12/18/2017		1.0 Day @ 55.00	55.00	
12/20/2017		1.0 Day @ 55.00	55.00	
PID- 11.7 V				
11/22/2017		1.0 Day @ 55.00	55.00	
12/26/2017		4.0 Days @ 55.00	220.00	
Total Units			1,178.92	1,178.92
Professional Personnel				
		Hours	Rate	Amount
Administrative Assistant I				
Guadagni, Susan	11/30/2017	.50	50.00	25.00
Guadagni, Susan	12/6/2017	.25	50.00	12.50
Guadagni, Susan	12/11/2017	.25	50.00	12.50
Guadagni, Susan	12/13/2017	.25	50.00	12.50
Guadagni, Susan	12/19/2017	.25	50.00	12.50
Guadagni, Susan	12/21/2017	.25	50.00	12.50
Guadagni, Susan	12/28/2017	.25	50.00	12.50
Wilson, Nathan	11/30/2017	.25	50.00	12.50
Economic Incentive Staff Consultant				
Masserang, Elizabeth	10/13/2017	.50	90.00	45.00
Director, Env Services Division				
Kulka, Michael	11/27/2017	.50	200.00	100.00
Kulka, Michael	11/28/2017	.50	200.00	100.00
Kulka, Michael	11/29/2017	.50	200.00	100.00
Patton, Adam	10/2/2017	.50	200.00	100.00
Patton, Adam	10/4/2017	.50	200.00	100.00
Patton, Adam	10/6/2017	.50	200.00	100.00

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Project	01-05889-0	The Pearl Development		Invoice	84715
Project Engineer					
	Antoniewicz, Jamie	11/20/2017	1.50	120.00	180.00
	Antoniewicz, Jamie	11/21/2017	.50	120.00	60.00
	Antoniewicz, Jamie	11/27/2017	.50	120.00	60.00
	Antoniewicz, Jamie	11/28/2017	.75	120.00	90.00
	Antoniewicz, Jamie	11/30/2017	1.00	120.00	120.00
	Antoniewicz, Jamie	12/4/2017	1.75	120.00	210.00
	Antoniewicz, Jamie	12/5/2017	1.00	120.00	120.00
	Antoniewicz, Jamie	12/11/2017	2.00	120.00	240.00
	Antoniewicz, Jamie	12/12/2017	1.00	120.00	120.00
	Antoniewicz, Jamie	12/13/2017	1.00	120.00	120.00
	Antoniewicz, Jamie	12/14/2017	2.00	120.00	240.00
	Antoniewicz, Jamie	12/15/2017	.25	120.00	30.00
	Antoniewicz, Jamie	12/26/2017	.25	120.00	30.00
Regional Manager / Senior Consultant					
	Kulka, Michael	11/20/2017	1.00	160.00	160.00
	Kulka, Michael	11/21/2017	1.00	160.00	160.00
	Kulka, Michael	11/22/2017	1.00	160.00	160.00
	Ritchie, Jennifer	12/4/2017	.25	160.00	40.00
	Ritchie, Jennifer	12/5/2017	.25	160.00	40.00
	Ritchie, Jennifer	12/8/2017	.25	160.00	40.00
	Ritchie, Jennifer	12/14/2017	.25	160.00	40.00
Staff Scientist III					
	Snow, Aaron	12/21/2017	.50	100.00	50.00
	Snow, Aaron	12/22/2017	.50	100.00	50.00
Project Manager Assistant I					
	Durecka, Chelsea	11/20/2017	.25	65.00	16.25
	Durecka, Chelsea	11/21/2017	.25	65.00	16.25
	Durecka, Chelsea	11/30/2017	.50	65.00	32.50
	Totals		25.25		3,182.50
	Total Labor				3,182.50
Consultants					
Subs - Analytical					
11/28/2017	Merit Laboratories, Inc.	samples 11/17 #85310		460.00	
11/30/2017	Merit Laboratories, Inc.	samples 11/21 #85429		460.00	
12/5/2017	Merit Laboratories, Inc.	Samples		460.00	
	Total Consultants			1,380.00	1,380.00
Total this Service					\$27,064.95
Total this Invoice					\$27,064.95

Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions over \$5,000 will be assessed a 2% fee at time of payment.

Payments may be made electronically to:

PNC Bank
Routing ABA Number 041000124
Account Number 4244515447
Fed ID 38-3052632

Invoice Payable Upon Receipt



PM ENVIRONMENTAL, INC.
3340 RANGER ROAD
LANSING, MI 48906
Phone (517) 321-3331
Toll Free: (800) 485-0090
Fax: (877) 884-6775

Mr. Frank Simon
FLS Properties #5, LLC
P.O. Box 689
Bloomfield Hills, MI 48303

March 8, 2018
Project No: 01-05889-0
Invoice No: 85166
Invoice Total \$28,402.73

Project Manager: Jamie Antoniewicz

B6 - Soils Oversight

Services from January 2, 2018 to March 2, 2018

Service Group 0005 856 North Old Woodward Avenue, Birmingham, Michigan

Professional Personnel

		Hours	Rate	Amount
Environmental Technician				
Antoniewicz, Jamie	2/26/2018	2.25	80.00	180.00
Cicci, Joseph	2/5/2018	9.50	80.00	760.00
Cicci, Joseph	2/7/2018	10.50	80.00	840.00
Cicci, Joseph	2/13/2018	9.00	80.00	720.00
Cicci, Joseph	2/15/2018	11.00	80.00	880.00
Cicci, Joseph	2/19/2018	9.50	80.00	760.00
Cicci, Joseph	2/20/2018	2.25	80.00	180.00
Cicci, Joseph	2/26/2018	1.00	80.00	80.00
Ferreira, Olivia	1/16/2018	.25	80.00	20.00
Flessner, Brett	2/2/2018	10.25	80.00	820.00
Kulka, Michael	2/16/2018	.50	80.00	40.00
Miller, Marcus	2/28/2018	9.50	80.00	760.00
Project Engineer				
Antoniewicz, Jamie	1/4/2018	1.50	120.00	180.00
Antoniewicz, Jamie	1/5/2018	1.25	120.00	150.00
Antoniewicz, Jamie	1/8/2018	1.00	120.00	120.00
Antoniewicz, Jamie	1/12/2018	1.50	120.00	180.00
Antoniewicz, Jamie	1/18/2018	1.00	120.00	120.00
Antoniewicz, Jamie	1/19/2018	1.00	120.00	120.00
Antoniewicz, Jamie	1/23/2018	1.00	120.00	120.00
Antoniewicz, Jamie	1/24/2018	1.00	120.00	120.00
Antoniewicz, Jamie	1/25/2018	1.00	120.00	120.00
Antoniewicz, Jamie	1/26/2018	.50	120.00	60.00
Antoniewicz, Jamie	1/29/2018	1.50	120.00	180.00
Antoniewicz, Jamie	1/30/2018	2.50	120.00	300.00
Antoniewicz, Jamie	1/31/2018	1.00	120.00	120.00
Antoniewicz, Jamie	2/2/2018	3.00	120.00	360.00
Antoniewicz, Jamie	2/5/2018	1.50	120.00	180.00
Antoniewicz, Jamie	2/6/2018	1.00	120.00	120.00
Antoniewicz, Jamie	2/7/2018	1.75	120.00	210.00

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Project	01-05889-0	The Pearl Development	Invoice		85166
Antoniewicz, Jamie	2/8/2018	1.00	120.00	120.00	
Antoniewicz, Jamie	2/9/2018	.50	120.00	60.00	
Antoniewicz, Jamie	2/16/2018	1.00	120.00	120.00	
Staff Scientist III					
Prowse, Benjamin	2/1/2018	.50	100.00	50.00	
Research Consultant II					
MacLean, Maureen	2/8/2018	.50	60.00	30.00	
Regional Manager - Field Services					
Kulka, Michael	2/16/2018	1.00	110.00	110.00	
Lennon, Kelly	1/2/2018	.50	110.00	55.00	
Lennon, Kelly	1/16/2018	1.00	110.00	110.00	
Lennon, Kelly	1/29/2018	.50	110.00	55.00	
Lennon, Kelly	1/30/2018	9.50	110.00	1,045.00	
Lennon, Kelly	1/31/2018	9.25	110.00	1,017.50	
Lennon, Kelly	2/1/2018	10.00	110.00	1,100.00	
Lennon, Kelly	2/2/2018	3.50	110.00	385.00	
Lennon, Kelly	2/6/2018	10.25	110.00	1,127.50	
Lennon, Kelly	2/7/2018	.75	110.00	82.50	
Lennon, Kelly	2/8/2018	9.75	110.00	1,072.50	
Lennon, Kelly	2/12/2018	10.00	110.00	1,100.00	
Lennon, Kelly	2/13/2018	2.00	110.00	220.00	
Lennon, Kelly	2/14/2018	10.50	110.00	1,155.00	
Lennon, Kelly	2/16/2018	9.00	110.00	990.00	
Lennon, Kelly	2/21/2018	3.50	110.00	385.00	
Lennon, Kelly	2/22/2018	2.00	110.00	220.00	
Lennon, Kelly	2/26/2018	1.50	110.00	165.00	
Lennon, Kelly	2/27/2018	4.25	110.00	467.50	
Lennon, Kelly	3/2/2018	1.50	110.00	165.00	
Staff Scientist I					
Ferreira, Olivia	1/2/2018	1.00	90.00	90.00	
Totals		203.25		20,297.50	
Total Labor					20,297.50
Reimbursable Expenses					
Environmental Supplies					
2/13/2018	Cicci, Joseph	Water JO		2.29	
Parking					
2/5/2018	Flessner, Brett	meter		1.15	
2/5/2018	Flessner, Brett	meter		2.59	
2/5/2018	Flessner, Brett	meter		2.88	
2/13/2018	Cicci, Joseph	Parking meter		9.78	
2/15/2018	Cicci, Joseph	Parking at Pearl		10.35	
2/20/2018	Cicci, Joseph	Parking		6.33	
Total Reimbursables				35.37	35.37
Reimbursable Expenses					
Environmental Supplies					
1/19/2018	Premier Safety	Auth Kelley/Jamie		1,219.67	
2/22/2018	Premier Safety	Rental		106.09	
Meals					
1/2/2018	Teitsma, Christopher	Lunch CT		14.72	
1/2/2018	Teitsma, Christopher	Lunch CT		12.40	
2/1/2018	Lennon, Kelly	lunch KL		6.82	
2/5/2018	Lennon, Kelly	coffee for PM and HM		11.91	
Misc OH Reimbursables					
1/2/2018	Teitsma, Christopher	Waters No rec. given CT		2.98	

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

Page 2

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Project	01-05889-0	The Pearl Development	Invoice	85166
Parking				
1/31/2018	Lennon, Kelly	meter parking no receipt provided	9.20	
2/1/2018	Lennon, Kelly	parking	9.20	
2/2/2018	Lennon, Kelly	parking	9.20	
2/5/2018	Cicci, Joseph	Parking meter	7.48	
2/7/2018	Cicci, Joseph	Parking meter	9.20	
2/7/2018	Lennon, Kelly	parking	9.20	
2/13/2018	Lennon, Kelly	parking	9.20	
Permits/Fees				
2/9/2018	Lennon, Kelly	parking	9.20	
Total Reimbursables			1,446.47	1,446.47
Unit Billing				
Industrial Hygiene Supplies				
1/29/2018		5.0 Each @ 10.00	50.00	
2/5/2018		1.0 Each @ 10.00	10.00	
2/9/2018		5.0 Each @ 10.00	50.00	
2/14/2018		2.0 Each @ 10.00	20.00	
Mileage				
1/29/2018		55.0 Miles @ 0.56	30.80	
2/2/2018		170.0 Miles @ 0.56	95.20	
2/5/2018		12.0 Miles @ 0.56	6.72	
2/7/2018		12.0 Miles @ 0.56	6.72	
2/9/2018		55.0 Miles @ 0.56	30.80	
2/13/2018		12.0 Miles @ 0.56	6.72	
2/14/2018		22.0 Miles @ 0.56	12.32	
2/15/2018		11.0 Miles @ 0.56	6.16	
2/20/2018		11.0 Miles @ 0.56	6.16	
2/28/2018		12.0 Miles @ 0.56	6.72	
3/1/2018		22.0 Miles @ 0.56	12.32	
PID- 10.6 V				
1/29/2018		5.0 Days @ 55.00	275.00	
2/2/2018		1.0 Day @ 55.00	55.00	
2/5/2018		1.0 Day @ 55.00	55.00	
2/7/2018		1.0 Day @ 55.00	55.00	
2/9/2018		5.0 Days @ 55.00	275.00	
2/13/2018		1.0 Day @ 55.00	55.00	
2/14/2018		2.0 Days @ 55.00	110.00	
2/15/2018		1.0 Day @ 55.00	55.00	
2/20/2018		0.5 Days @ 55.00	27.50	
2/28/2018		1.0 Day @ 55.00	55.00	
Total Units			1,368.14	1,368.14

Professional Personnel

		Hours	Rate	Amount
Administrative Assistant I				
Arnett, Hannah	1/4/2018	.25	50.00	12.50
Guadagni, Susan	2/8/2018	.25	50.00	12.50
Guadagni, Susan	2/9/2018	.25	50.00	12.50
Guadagni, Susan	2/14/2018	.25	50.00	12.50
Guadagni, Susan	2/16/2018	.25	50.00	12.50
Guadagni, Susan	2/26/2018	.25	50.00	12.50
Guadagni, Susan	3/1/2018	.25	50.00	12.50
Wilson, Nathan	1/3/2018	.25	50.00	12.50

Project	01-05889-0	The Pearl Development		Invoice	85166
Director, Env Services Division					
	Patton, Adam	2/20/2018	.75	200.00	150.00
	Patton, Adam	2/26/2018	.50	200.00	100.00
Principal and Vice President					
	Kulka, Michael	2/5/2018	.50	200.00	100.00
	Kulka, Michael	2/6/2018	.50	200.00	100.00
	Kulka, Michael	2/12/2018	.50	200.00	100.00
	Kulka, Michael	2/13/2018	.50	200.00	100.00
	Kulka, Michael	2/14/2018	.50	200.00	100.00
	Kulka, Michael	2/15/2018	.50	200.00	100.00
	Kulka, Michael	2/16/2018	.50	200.00	100.00
	Kulka, Michael	2/26/2018	.50	200.00	100.00
Project Engineer					
	Antoniewicz, Jamie	1/16/2018	.50	120.00	60.00
	Antoniewicz, Jamie	2/21/2018	3.25	120.00	390.00
	Antoniewicz, Jamie	2/22/2018	1.00	120.00	120.00
	Antoniewicz, Jamie	2/23/2018	.50	120.00	60.00
	Antoniewicz, Jamie	2/26/2018	.75	120.00	90.00
	Antoniewicz, Jamie	3/1/2018	1.00	120.00	120.00
	Antoniewicz, Jamie	3/2/2018	.50	120.00	60.00
Regional Manager / Senior Consultant					
	Ritchie, Jennifer	1/4/2018	.50	160.00	80.00
Staff Scientist III					
	Arnett, Hannah	2/6/2018	.25	100.00	25.00
	Arnett, Hannah	2/8/2018	1.00	100.00	100.00
	Arnett, Hannah	2/9/2018	2.00	100.00	200.00
	Arnett, Hannah	2/28/2018	.25	100.00	25.00
Project Manager Assistant I					
	Arnett, Hannah	1/23/2018	.75	65.00	48.75
	Arnett, Hannah	1/24/2018	.50	65.00	32.50
	Arnett, Hannah	1/25/2018	.25	65.00	16.25
	Blevins, Courtney	1/12/2018	.50	65.00	32.50
	Blevins, Courtney	1/18/2018	.50	65.00	32.50
	Blevins, Courtney	2/21/2018	.75	65.00	48.75
Staff Scientist I					
	Feeny, Ryan	2/1/2018	.25	90.00	22.50
	Totals		22.25		2,713.75
	Total Labor				2,713.75
Consultants					
Subs - Analytical					
1/4/2018	Merit Laboratories, Inc.	Labs		230.00	
1/4/2018	Merit Laboratories, Inc.	Labs		460.00	
1/4/2018	Merit Laboratories, Inc.	TO-15		460.00	
2/9/2018	Merit Laboratories, Inc.	Parameter		126.50	
2/19/2018	Merit Laboratories, Inc.	Labs		460.00	
2/24/2018	Merit Laboratories, Inc.	Labs		345.00	
2/26/2018	Merit Laboratories, Inc.	Labs		460.00	
	Total Consultants			2,541.50	2,541.50
				Total this Service	\$28,402.73
				Total this Invoice	\$28,402.73

Project	01-05889-0	The Pearl Development	Invoice	85166
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Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions over \$5,000 will be assessed a 2% fee at time of payment.

Payments may be made electronically to:

PNC Bank
Routing ABA Number 041000124
Account Number 4244515447
Fed ID 38-3052632

Invoice Payable Upon Receipt



PM ENVIRONMENTAL, INC.
3340 RANGER ROAD
LANSING, MI 48906
Phone (517) 321-3331
Toll Free: (800) 485-0090
Fax: (877) 884-6775

Mr. Frank Simon
FLS Properties #5, LLC
P.O. Box 689
Bloomfield Hills, MI 48303

April 6, 2018
Project No: 01-05889-0
Invoice No: 85575
Invoice Total \$14,613.33

Project Manager: Jamie Antoniewicz

B6 - Soils Oversight

Services from March 2, 2018 to March 30, 2018

Service Group 0005 856 North Old Woodward Avenue, Birmingham, Michigan

Professional Personnel

		Hours	Rate	Amount
Environmental Technician				
Antoniewicz, Jamie	3/12/2018	8.50	80.00	680.00
Cicci, Joseph	3/5/2018	8.75	80.00	700.00
Cicci, Joseph	3/6/2018	6.00	80.00	480.00
Cicci, Joseph	3/7/2018	1.00	80.00	80.00
Lieder, Nicholas	3/16/2018	.50	80.00	40.00
Wilcox, Danielle	3/13/2018	7.00	80.00	560.00
Wilcox, Danielle	3/14/2018	11.00	80.00	880.00
Wilcox, Danielle	3/15/2018	10.00	80.00	800.00
Wilcox, Danielle	3/16/2018	9.00	80.00	720.00
Wilcox, Danielle	3/19/2018	11.00	80.00	880.00
Wilcox, Danielle	3/20/2018	10.00	80.00	800.00
Wilcox, Danielle	3/21/2018	9.50	80.00	760.00
Wilcox, Danielle	3/22/2018	3.25	80.00	260.00
Project Engineer				
Antoniewicz, Jamie	3/23/2018	1.25	140.00	175.00
Antoniewicz, Jamie	3/26/2018	1.00	140.00	140.00
Antoniewicz, Jamie	3/27/2018	1.25	140.00	175.00
Antoniewicz, Jamie	3/28/2018	1.50	140.00	210.00
Regional Manager - Field Services				
Lennon, Kelly	3/5/2018	1.50	110.00	165.00
Lennon, Kelly	3/6/2018	.50	110.00	55.00
Lennon, Kelly	3/8/2018	9.00	110.00	990.00
Lennon, Kelly	3/9/2018	9.25	110.00	1,017.50
Lennon, Kelly	3/14/2018	3.00	110.00	330.00
Totals		123.75		10,897.50
Total Labor				10,897.50

Reimbursable Expenses

Environmental Supplies			
2/28/2018	Miller, Marcus	Water for	9.06

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

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Project	01-05889-0	The Pearl Development	Invoice	85575
Meals				
3/12/2018	Lennon, Kelly	Lunch/Soup KL/DW	8.99	
Parking				
2/15/2018	Lennon, Kelly	Parking	9.20	
2/19/2018	Lennon, Kelly	Parking	9.20	
3/5/2018	Cicci, Joseph	Parking meter	9.20	
3/6/2018	Cicci, Joseph	Parking meter	9.20	
3/9/2018	Lennon, Kelly	Parking	9.20	
3/12/2018	Lennon, Kelly	Parking	9.20	
Total Reimbursables			73.25	73.25
Reimbursable Expenses				
Environmental Supplies				
3/9/2018	Premier Safety	Rental	6.37	
Meals				
3/14/2018	Antoniewicz, Jamie	Lunch	8.04	
Total Reimbursables			14.41	14.41
Unit Billing				
Industrial Hygiene Supplies				
3/8/2018		1.0 Each @ 10.00	10.00	
3/9/2018		1.0 Each @ 10.00	10.00	
3/13/2018		1.0 Each @ 10.00	10.00	
3/13/2018		1.0 Each @ 10.00	10.00	
3/14/2018		1.0 Each @ 10.00	10.00	
3/15/2018		1.0 Each @ 10.00	10.00	
3/16/2018		1.0 Each @ 10.00	10.00	
3/19/2018		1.0 Each @ 10.00	10.00	
3/20/2018		1.0 Each @ 10.00	10.00	
3/21/2018		1.0 Each @ 10.00	10.00	
3/23/2018		1.0 Each @ 10.00	10.00	
Mileage				
3/5/2018		12.0 Miles @ 0.56	6.72	
3/6/2018		12.0 Miles @ 0.56	6.72	
3/7/2018		12.0 Miles @ 0.56	6.72	
3/8/2018		12.0 Miles @ 0.56	6.72	
3/9/2018		12.0 Miles @ 0.56	6.72	
3/13/2018		12.0 Miles @ 0.56	6.72	
3/13/2018		26.0 Miles @ 0.56	14.56	
3/14/2018		12.0 Miles @ 0.56	6.72	
3/15/2018		12.0 Miles @ 0.56	6.72	
3/16/2018		12.0 Miles @ 0.56	6.72	
3/19/2018		12.0 Miles @ 0.56	6.72	
3/20/2018		12.0 Miles @ 0.56	6.72	
3/21/2018		12.0 Miles @ 0.56	6.72	
3/23/2018		12.0 Miles @ 0.56	6.72	
PID- 10.6 V				
3/5/2018		1.0 Day @ 55.00	55.00	
3/6/2018		1.0 Day @ 55.00	55.00	
3/8/2018		1.0 Day @ 55.00	55.00	
3/9/2018		1.0 Day @ 55.00	55.00	
3/13/2018		1.0 Day @ 55.00	55.00	
3/14/2018		1.0 Day @ 55.00	55.00	
3/15/2018		1.0 Day @ 55.00	55.00	
3/16/2018		1.0 Day @ 55.00	55.00	
3/19/2018		1.0 Day @ 55.00	55.00	

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

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Project	01-05889-0	The Pearl Development	Invoice	85575
3/20/2018		1.0 Day @ 55.00	55.00	
3/21/2018		1.0 Day @ 55.00	55.00	
3/23/2018		1.0 Day @ 55.00	55.00	
PID- 11.7 V				
3/13/2018		1.0 Day @ 55.00	55.00	
Total Units			926.92	926.92

Professional Personnel

		Hours	Rate	Amount	
Administrative Assistant I					
Guadagni, Susan	3/9/2018	.25	50.00	12.50	
Guadagni, Susan	3/12/2018	.50	50.00	25.00	
Guadagni, Susan	3/14/2018	.25	50.00	12.50	
Guadagni, Susan	3/15/2018	.25	50.00	12.50	
Guadagni, Susan	3/19/2018	.25	50.00	12.50	
Guadagni, Susan	3/20/2018	.25	50.00	12.50	
Guadagni, Susan	3/21/2018	.25	50.00	12.50	
Guadagni, Susan	3/22/2018	.25	50.00	12.50	
Guadagni, Susan	3/23/2018	.25	50.00	12.50	
Director, Env Services Division					
Antoniewicz, Jamie	3/12/2018	.75	200.00	150.00	
Antoniewicz, Jamie	3/13/2018	1.50	200.00	300.00	
Antoniewicz, Jamie	3/14/2018	.25	200.00	50.00	
Antoniewicz, Jamie	3/16/2018	.50	200.00	100.00	
Patton, Adam	3/29/2018	.50	200.00	100.00	
Project Engineer					
Antoniewicz, Jamie	3/7/2018	2.00	120.00	240.00	
Antoniewicz, Jamie	3/9/2018	2.50	120.00	300.00	
Project Engineer					
Antoniewicz, Jamie	3/19/2018	2.00	140.00	280.00	
Antoniewicz, Jamie	3/21/2018	1.00	140.00	140.00	
Antoniewicz, Jamie	3/22/2018	.25	140.00	35.00	
Antoniewicz, Jamie	3/29/2018	1.00	140.00	140.00	
Antoniewicz, Jamie	3/30/2018	.50	140.00	70.00	
Regional Manager / Senior Consultant					
Ritchie, Jennifer	3/19/2018	.50	160.00	80.00	
Technical Admin Coordinator					
Craib, Shelia	3/8/2018	.25	70.00	17.50	
Project Manager Assistant I					
Blevins, Courtney	3/19/2018	1.25	65.00	81.25	
Totals		17.25		2,208.75	
Total Labor					2,208.75

Consultants

Subs - Analytical					
3/21/2018	Merit Laboratories, Inc.	Labs		460.00	
Total Consultants				460.00	460.00
Total this Service					\$14,580.83

Service Group 0006 856 North Old Woodward Avenue, Birmingham, Michigan

Project	01-05889-0	The Pearl Development	Invoice	85575
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Professional Personnel

		Hours	Rate	Amount	
Project Manager Assistant I					
Durecka, Chelsea	10/13/2017	.50	65.00	32.50	
SG 0006 Set-up					
Totals		.50		32.50	
Total Labor					32.50
			Total this Service		\$32.50
			Total this Invoice		\$14,613.33

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PNC Bank
Routing ABA Number 041000124
Account Number 4244515447
Fed ID 38-3052632

Invoice Payable Upon Receipt



PM ENVIRONMENTAL, INC.
3340 RANGER ROAD
LANSING, MI 48906
Phone (517) 321-3331
Toll Free: (800) 485-0090
Fax: (877) 884-6775

Mr. Frank Simon
FLS Properties #5, LLC
P.O. Box 689
Bloomfield Hills, MI 48303

October 4, 2018
Project No: 01-05889-0
Invoice No: 87608
Invoice Total \$2,173.12

Project Manager: Jamie Antoniewicz

Services till September 28, 2018

B6 - Soils Oversight

Service Group 0006 856 North Old Woodward Avenue, Birmingham, Michigan

Professional Personnel

		Hours	Rate	Amount
Administrative Assistant I				
Doty, Ryan	8/15/2018	1.75	50.00	87.50
Guadagni, Susan	8/16/2018	.50	50.00	25.00
Director, Env Services Division				
Patton, Adam	8/17/2018	1.00	200.00	200.00
Patton, Adam	9/7/2018	1.00	200.00	200.00
Project Engineer				
Antoniewicz, Jamie	4/25/2018	1.00	120.00	120.00
Antoniewicz, Jamie	4/27/2018	.50	120.00	60.00
Antoniewicz, Jamie	5/16/2018	1.75	120.00	210.00
Antoniewicz, Jamie	5/17/2018	.50	120.00	60.00
Antoniewicz, Jamie	5/21/2018	.50	120.00	60.00
Antoniewicz, Jamie	5/24/2018	.25	120.00	30.00
Antoniewicz, Jamie	5/25/2018	1.00	120.00	120.00
Antoniewicz, Jamie	5/29/2018	.50	120.00	60.00
Antoniewicz, Jamie	6/21/2018	.75	120.00	90.00
Antoniewicz, Jamie	8/15/2018	1.50	120.00	180.00
Antoniewicz, Jamie	8/16/2018	.50	120.00	60.00
Antoniewicz, Jamie	8/20/2018	1.00	120.00	120.00
Antoniewicz, Jamie	8/21/2018	.75	120.00	90.00
Antoniewicz, Jamie	8/29/2018	2.00	120.00	240.00
Antoniewicz, Jamie	9/7/2018	1.75	120.00	210.00
Antoniewicz, Jamie	9/10/2018	1.00	120.00	120.00
Antoniewicz, Jamie	9/11/2018	.50	120.00	60.00
Antoniewicz, Jamie	9/12/2018	.25	120.00	30.00
Antoniewicz, Jamie	9/13/2018	.25	120.00	30.00
Antoniewicz, Jamie	9/21/2018	.25	120.00	30.00
Antoniewicz, Jamie	9/25/2018	.50	120.00	60.00
Antoniewicz, Jamie	9/28/2018	.50	120.00	60.00
Project Engineer				
Antoniewicz, Jamie	4/4/2018	.25	140.00	35.00

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Project	01-05889-0	The Pearl Development		Invoice	87608
Antoniewicz, Jamie	4/6/2018	.50	140.00	70.00	
Antoniewicz, Jamie	4/9/2018	1.00	140.00	140.00	
Antoniewicz, Jamie	4/10/2018	.50	140.00	70.00	
Antoniewicz, Jamie	4/12/2018	.50	140.00	70.00	
Antoniewicz, Jamie	4/14/2018	.50	140.00	70.00	
Technical Admin Coordinator					
Craib, Shelia	9/17/2018	.50	70.00	35.00	
Project Manager Assistant I					
Blevins, Courtney	4/6/2018	.50	65.00	32.50	
Blevins, Courtney	9/28/2018	.50	65.00	32.50	
Totals		26.50		3,167.50	
Total Labor					3,167.50
Consultants					
Subs - Analytical					
12/13/2017	Merit Laboratories, Inc.	Labs		920.00	
12/14/2017	Merit Laboratories, Inc.	Labs		920.00	
12/20/2017	Merit Laboratories, Inc.	Labs		460.00	
12/20/2017	Merit Laboratories, Inc.	Labs		460.00	
12/20/2017	Merit Laboratories, Inc.	Labs		460.00	
8/21/2018	Merit Laboratories, Inc.	Labs		667.00	
Total Consultants				3,887.00	3,887.00
Reimbursable Expenses					
Env Equip. Rental					
3/9/2018	Premier Safety	Rental		112.46	
Total Reimbursables				112.46	112.46
Unit Billing					
Mileage					
8/15/2018		11.0 Miles @ 0.56		6.16	
Total Units				6.16	6.16
Additional Fees					
ck # 1230 ; 11/17/17				-5,000.00	
Total Additional Fees				-5,000.00	-5,000.00
Total this Service					\$2,173.12
Total this Invoice					\$2,173.12

Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions over \$5,000 will be assessed a 2% fee at time of payment.

Payments may be made electronically to:

PNC Bank
Routing ABA Number 041000124
Account Number 4244515447
Fed ID 38-3052632

Invoice Payable Upon Receipt



PM ENVIRONMENTAL, INC.
3340 RANGER ROAD
LANSING, MI 48906
Phone (517) 321-3331
Toll Free: (800) 485-0090
Fax: (877) 884-6775

Mr. Frank Simon
FLS Properties #5, LLC
P.O. Box 689
Bloomfield Hills, MI 48303

December 20, 2018
Project No: 01-05889-0
Invoice No: 88529
Invoice Total \$7,450.00

~~Project Manager: Jamie Antoniewicz~~

Service Group 0006 856 North Old Woodward Avenue, Birmingham, Michigan

**B8 - Excavation
Oversight**

Task	Cost	
CO1: Mobilization / Oversight / Samples	950.00	
CO1: Equipment and Supplies	100.00	
CO1: Project management / Consulting	3,250.00	
CO1: Laboratory Analysis	650.00	
Total Fee	4,950.00	
	Subtotal	4,950.00
	Total this Service	\$4,950.00

Service Group 0007 856 NOld Woodward-Water Treatment Permit

**B7 - Wastewater
Disposal**

Task	Cost	
Water Treatment Building Permit	2,500.00	
Meetings	0.00	
Total Fee	2,500.00	
	Subtotal	2,500.00
	Total this Service	\$2,500.00

Total this Invoice \$7,450.00

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

We are committed to providing you with the highest level of service and would appreciate getting feedback on our performance. Please take our brief client satisfaction survey at: <https://www.surveymonkey.com/r/pmclient>

Project	01-05889-0	The Pearl Development	Invoice	88529
---------	------------	-----------------------	---------	-------

Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions over \$5,000 will be assessed a 2% fee at time of payment.

Payments may be made electronically to:

PNC Bank
Routing ABA Number 041000124
Account Number 4244515447
Fed ID 38-3052632

Invoice Payable Upon Receipt



PM ENVIRONMENTAL, INC.
3340 RANGER ROAD
LANSING, MI 48906
Phone (517) 321-3331
Toll Free: (800) 485-0090
Fax: (877) 884-6775

Mr. Frank Simon
FLS Properties #5, LLC
P.O. Box 689
Bloomfield Hills, MI 48303

June 17, 2020
Project No: 01-05889-0
Invoice No: 94157
Invoice Total \$1,250.00

Project Manager: Sarah Marshall

Service Group 0008 856 North Old Woodward Avenue, Birmingham, Michigan

**B7 - Wastewater
Disposal Reporting**

Task	Cost	
Biennial Hazardous Waste Report and EQP5150 Form	1,250.00	
Total Fee	1,250.00	
	Subtotal	1,250.00
	Total this Service	\$1,250.00
	Total this Invoice	\$1,250.00

Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions will be assessed a 3% fee at time of payment.

Payments may be made electronically to:

Level One Bank
Routing ABA Number 072414310
Account Number 1000123180
Fed ID 38-3052632

Invoice Payable Upon Receipt

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

We are committed to providing you with the highest level of service and would appreciate getting feedback on our performance. Please take our brief client satisfaction survey at: <https://www.surveymonkey.com/r/pmclient>



PM ENVIRONMENTAL, INC.
3340 RANGER ROAD
LANSING, MI 48906
Phone (517) 321-3331
Toll Free: (800) 485-0090
Fax: (877) 884-6775

Mr. Frank Simon
FLS Properties #5, LLC
P.O. Box 689
Bloomfield Hills, MI 48303

August 21, 2020
Project No: 01-05889-0
Invoice No: 94762
Invoice Total \$2,300.00

Project Manager: Nicholas Lieder

Stormwater Testing Activities

Service Group 0009 856 North Old Woodward Avenue, Birmingham, Michigan

**B7 - Water
Discharge Testing**

Task	Cost	
Mobilization / Sampling / Equipment	750.00	
Data Eval / Project Mgmt / Summary Memo	1,750.00	
Laboratory Analysis	800.00	
Total Fee	3,300.00	
	Subtotal	3,300.00
Additional Fees		
Check #1110 08/11/20	-1,000.00	
Total Additional Fees	-1,000.00	-1,000.00
	Total this Service	\$2,300.00
	Total this Invoice	\$2,300.00

Please include invoice number or project number with your payment. For your convenience, we accept VISA, MasterCard, and American Express. Credit card transactions will be assessed a 3% fee at time of payment.

Payments may be made electronically to:

Level One Bank
Routing ABA Number 072414310
Account Number 1000123180
Fed ID 38-3052632

Invoice Payable Upon Receipt

Invoices due upon receipt. Service fee of 1.5% assessed monthly after 30 days. Accounts Receivable 248-687-7091.

We are committed to providing you with the highest level of service and would appreciate getting feedback on our performance. Please take our brief client satisfaction survey at: <https://www.surveymonkey.com/r/pmclient>

Accounts Receivable Ledger

Wednesday, December 16, 2020

10:11:50 AM

PM Environmental, Inc.

Job-to-Date through 12/26/2020

Invoice	Mod/Receipt Detail	Description 2	Date	Total
Billing Client Name: FLS Properties #5, LLC				
Site Address: 856 North Old Woodward Avenue, Birmingham, Michigan				
01-05889-0 The Pearl Development / Project Manager: Masserang				
Project Type: Environmental Services				
0073902		Invoice	9/21/2015	14,015.00
0073902	Rcpt A112315	ck # 1162	11/23/2015	-14,015.00
0077059		Invoice	6/27/2016	5,690.00
0077059	Rcpt A090816	ck# 1187	9/8/2016	-5,690.00
0078957		Invoice	10/28/2016	10,000.00
0078957	Rcpt A110916	ck# 1198	11/9/2016	-10,000.00
0079807		Invoice	1/4/2017	1,500.00
0079807	Rcpt A011917	CK # 1117	1/19/2017	-1,500.00
0080629		Invoice	2/23/2017	3,750.00
0080629	Retainer	Invoice	2/23/2017	-3,750.00
0084128		Invoice	11/30/2017	26,595.61
0084128	Retainer	Invoice	11/30/2017	-15,000.00
0084128	Rcpt A010818	ck # 1244	1/8/2018	-11,595.61
0084648		Invoice	1/12/2018	
0084648	Retainer	Invoice	1/12/2018	
0084715		Invoice	1/19/2018	27,064.95
0084715	Rcpt A031918	ck # 1269	3/19/2018	-27,064.95
0085166		Invoice	3/8/2018	28,402.73
0085166	Rcpt A031918	ck # 1269	3/19/2018	-28,402.73
0085575		Invoice	4/6/2018	14,613.33
0085575	Rcpt A051618	Check#1283	5/16/2018	-14,613.33
0087568		Invoice	9/28/2018	
0087608		Invoice	10/4/2018	7,173.12
0087608	Retainer	Invoice	10/4/2018	-5,000.00
0087608	Rcpt A101518	Check#1010	10/15/2018	-2,173.12
0088529		Invoice	12/20/2018	7,450.00
0088529	Rcpt A012419	Check#1028	1/24/2019	-7,450.00
0094157		Invoice	6/17/2020	1,250.00
0094157	Rcpt A071320	Check #1082	7/13/2020	-1,250.00
0094762		Invoice	8/21/2020	3,300.00
0094762	Retainer	Invoice	8/21/2020	-1,000.00
0094762	Rcpt A090120	Check# 1127	9/1/2020	-2,300.00
0095569		Invoice	11/13/2020	4,178.75
0095569	Retainer	Invoice	11/13/2020	-2,500.00
0095569	Rcpt A111920	Check#1216	11/19/2020	-1,678.75
Project Billed				154,983.49
Project Received				-154,983.49
Project Retainer				
Project Retainage				
Total for 01-05889-0				
Total Billed				154,983.49
Total Received				-154,983.49
Total Retainer				
Total Retainage				
Total				

FLS PROPERTIES #5

2950 WALNUT LAKE RD
W BLOOMFIELD, MI 48323-3754

1162

14 347724

DATE 11/19/2015

 CHECK ARMOR

PAY
TO THE
ORDER OF PM Environmental, Inc.

\$ 14,015.00

Fourteen Thousand Fifteen Dollars and 00/100

DOLLARS



Security
Features
Included
Here



Private Banking

FOR Invoice 73902



⑈001162⑈ ⑆072403473⑆ 01382209272⑈

Front Image

FLS PROPERTIES #5

2950 WALNUT LAKE RD
W BLOOMFIELD, MI 48323-3754

1187

74-347/124

DATE 9/6/2016

 Check Amount

PAY
TO THE
ORDER OF

PM Environmental, Inc.

\$ 5,690.00

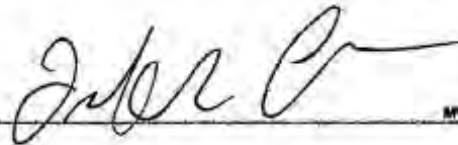
Five Thousand Six Hundred Ninety Dollars and 00/100 DOLLARS

 Security
Features
Details on
Back



Private Banking

FOR Invoice 77059



⑈001187⑈ ⑆072403473⑆ 01382209272⑈

Back Image

Front Image

FLS PROPERTIES #5

2950 WALNUT LAKE RD
W BLOOMFIELD, MI 48323-3754

1198

74-347/724

DATE 11/4/2016

CHECK AMOUNT

PAY
TO THE
ORDER OF PM Environmental, Inc.

\$ 10,000.00

--- Ten Thousand Dollars and 00/100 ---

DOLLARS



Security
Features
on
Back



Private Banking

FOR Invoice 78957

⑈001198⑈ ⑆072403473⑆ 01382209272⑈

Back Image

FLS PROPERTIES #5

2950 WALNUT LAKE RD
W BLOOMFIELD, MI 48323-3754

1194

74-347/724

DATE 10/12/2016



PAY
TO THE
ORDER OF

PM Environmental, Inc.

\$ 3,750.00

---Three Thousand Seven Hundred Fifty Dollars and 00/100---

DOLLARS



Security
Features
Details on
Back.



Private Banking

FOR deposit vapor barrier work plan

[Signature]

⑈001194⑈ ⑆072403473⑆ 01382209272⑈

01-5889-0-0004

FLS PROPERTIES #5

2950 WALNUT LAKE RD
W BLOOMFIELD, MI 48323-3754

1223

74-347/724

DATE 10/9/2017



PAY
TO THE
ORDER OF PM Environmental, Inc.

\$ 15,000.00

----- Fifteen Thousand Dollars and 00/100 -----

DOLLARS



Security
Features
Details on
Back.



Private Banking

FOR Deposit/Soil Removal Oversight

MP

01010337

⑈001223⑈ ⑆072403473⑆ 01382209272⑈

FLS PROPERTIES #5

2950 WALNUT LAKE RD
W BLOOMFIELD, MI 48323-3754

1244

24347724

DATE 12/12/2017

CHECK 68088

PAY
TO THE
ORDER OF

PM Environmental, Inc.

\$ 11,595.61

---- Eleven Thousand Five Hundred Ninety Five Dollars & 61/100 --- DOLLARS



Private Banking

FOR Invoice #84128

⑈001244⑈ ⑆072403473⑆ 01382209272⑈

Front

Item Number 0000050

FLS PROPERTIES #5

2950 WALNUT LAKE RD
W BLOOMFIELD, MI 48323-3754

1269

74347.724

DATE 3/14/2018

84715

PAY
TO THE
ORDER OF

PM Environmental, Inc.

\$ 55,467.68

---Fifty Five Thousand Four Hundred Sixty Seven and 68/100---

DOLLARS



Private Banking

FOR Invoices 84715, 85166

84715
85166
[Signature]

⑈001269⑈ ⑆072403473⑆ 01382209272⑈

FLS PROPERTIES #5

2950 WALNUT LAKE RD
W BLOOMFIELD, MI 48323-3754

1283

74-347/724

DATE 5/11/2018

CHECK AMOUNT
\$ 14,613.33

PAY
TO THE
ORDER OF PM Environmental, Inc.

\$ 14,613.33

---Fourteen Thousand Six Hundred Thirteen Dollars and 33/100--- DOLLARS



Security
Features
Back



Private Banking

FOR Invoice #85575

[Signature]

MP

⑈001283⑈ ⑆072403473⑆ 01382209272⑈

FLS PROPERTIES #5

2950 WALNUT LAKE RD
W BLOOMFIELD, MI 48323-3754

1230

74-347724

DATE 11/3/2017

ATSS stamp

PAY
TO THE
ORDER OF PM Environmental

\$ 5,000.00

----- Five Thousand Dollars and 00/100 -----

DOLLARS

ATSS stamp



Private Banking

FOR Change Order #1/Proposal #01010337

[Signature]

⑈001230⑈ ⑆072403473⑆ 01382209272⑈

Front

Item Number 0000003

FLS PROPERTIES #5 LLC

2950 WALNUT LAKE RD.
WEST BLOOMFIELD, MI 48323

1010

ETicket® Check Fraud
Protection for Business

74-1001/724

DATE 10/10/2018

PAY

TO THE

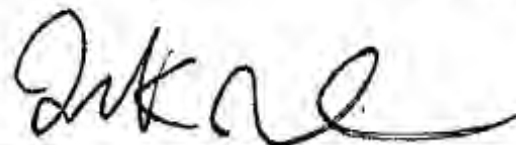
ORDER OF PM Environmental, Inc.

\$ 2,173.12

--- Two Thousand One Hundred Seventy Three Dollars and 12/100 --- DOLLARS

CHEMICAL
BANK. 

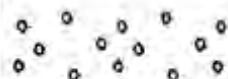
FOR Invoice #87608



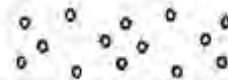


Det's a un back

Security Features



⑈001010⑈ ⑆072410013⑆ 2552533578⑈



1028

FLS PROPERTIES #5 LLC2950 WALNUT LAKE RD.
WEST BLOOMFIELD, MI 48323E-Check Fraud
Protection for Business

74-1001/724

DATE 1/22/2019

PAY
TO THE
ORDER OF

PM Environmental, Inc.

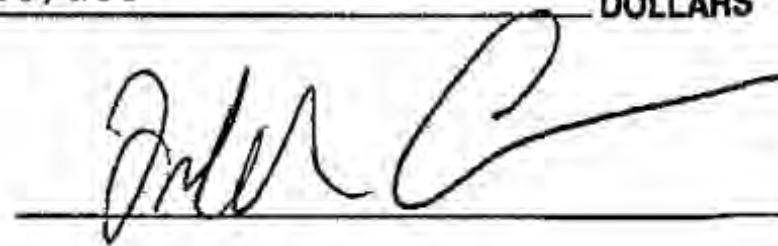
\$ 7,450.00

--- Seven Thousand Four Hundred Fifty Dollars and 00/100 ---

DOLLARS

**CHEMICAL
BANK.** 

FOR Invoice #88529

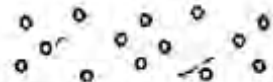


Don't sign back

Security Features



⑈001028⑈ ⑆072410013⑆ 2552533578⑈



FLS PROPERTIES #5 LLC

2950 WALNUT LAKE RD
WEST BLOOMFIELD, MI 48323

1082

74-1431-724

DATE 6/24/2020

CHECK ARMOR
- 22 - 801-CT-UP

PAY
TO THE
ORDER OF PM Environmental, Inc.

\$ 1,250.00

--- One Thousand Two Hundred Fifty Dollars and 00/100 ---

DOLLARS

Photo
Safe
Deposit
Box or Mail



FOR Invoice #94157

A handwritten signature in black ink, appearing to be 'J. [unclear]', written over a horizontal line.

⑈001082⑈ ⑆072414310⑆ 1000161701⑈

FLS PROPERTIES #5 LLC

2950 WALNUT LAKE RD
WEST BLOOMFIELD, MI 48323

1110

24-1431/724

DATE 8/3/2020

 CHECK ARMOR
FRAUD PROTECTION

PAY
TO THE
ORDER OF PM Environmental, Inc.

\$1,000.00

--- One Thousand Dollars and 00/100 ---

DOLLARS

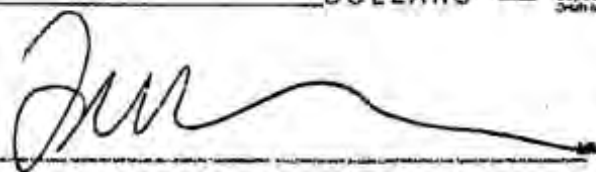
 Mobile
Safe
Deposit
Only valid



LevelOne

BANK

FOR deposit - proposal 01017437



⑈001110⑈ ⑆072414310⑆ 1000161701⑈

FLS PROPERTIES #5 LLC

2950 WALNUT LAKE RD
WEST BLOOMFIELD, MI 48323

1127

74-1431/724

DATE 8/26/20

 CHECK ARMOR
INC. • U.S. PATENT PENDING

PAY
TO THE
ORDER OF

PM Environmental, Inc.

\$ 2,300.00

--- Two Thousand Three Hundred Dollars and 00/100 ---

DOLLARS



Photo
Safe
Deposit
Boxes in bank



Level One

BANK

FOR Invoice # 94762



⑈001127⑈ ⑆072414310⑆ 1000161701⑈

FLS PROPERTIES #5 LLC

2950 WALNUT LAKE RD
WEST BLOOMFIELD, MI 48323

1158

74-1431/724

DATE 9/22/2020

 CHECK IMAGE
Printed on Demand

PAY
TO THE
ORDER OF

PM Environmental

\$ 2,500.00

Two Thousand Five Hundred Dollars and 00/100

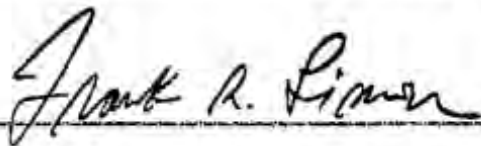
DOLLARS

 Photo
Safe
Deposit
Free & online



BANK

FOR Deposit for Proposal # 01017723



⑈001158⑈ ⑆072414310⑆ 1000161701⑈

FLS PROPERTIES #5 LLC

2950 WALNUT LAKE RD
WEST BLOOMFIELD, MI 48323

1216

74-1431/724

DATE 11/13/2020

 CHECK ARMOR
FRAUD PROTECTION

PAY
TO THE
ORDER OF PM Environmental, Inc.

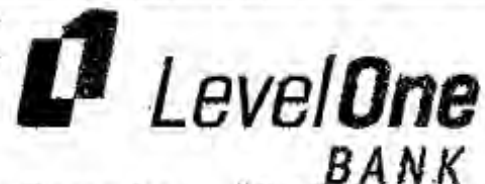
\$ 1,678.75

One Thousand Six Hundred Seventy Eight Dollars and 75/100

DOLLARS



Photo
Safe
Deposit
Details on back



FOR Invoice #95569



⑈001216⑈ ⑆072414310⑆ 1000161701⑈

The Douglas Company

PAYMENT APPLICATION

Page 1

TO: FLS PROPERTIES #5, LLC 2950 WALNUT LAKE ROAD WEST BLOOMFIELD, MI 48323	PROJECT NAME AND LOCATION: 18-022-0 THE PEARL DEVELOPMENT 856 NORTH OLD WOODWARD BIRMINGHAM, MI 48009	APPLICATION # 24 PERIOD THRU: 08/25/2020 PROJECT #s: 18-022-0 DATE OF CONTRACT: 05/29/2018	Distribution to: <input type="checkbox"/> OWNER <input type="checkbox"/> ARCHITECT <input type="checkbox"/> CONTRACTOR <input type="checkbox"/> <input type="checkbox"/>
FROM: THE DOUGLAS COMPANY 1716 PERRYSBURG HOLLAND ROAD HOLLAND, OHIO 43528	ARCHITECT: MARUSICH ARCHITECTURE 36880 WOODWARD AVENUE SUITE 100 BLOOMFIELD HILLS, MI 48304		
FOR: GENERAL CONSTRUCTION			

CONTRACTOR'S SUMMARY OF WORK

Application is made for payment as shown below.
 Continuation Page is attached.

1. CONTRACT AMOUNT	\$13,658,747.00
2. SUM OF ALL CHANGE ORDERS	\$1,356,073.35
3. CURRENT CONTRACT AMOUNT (Line 1 +/- 2)	\$15,014,820.35
4. TOTAL COMPLETED AND STORED (Column G on Continuation Page)	\$15,014,820.35
5. RETAINAGE:	
a. 0.00% of Completed Work (Columns D + E on Continuation Page)	\$0.00
b. 0.00% of Material Stored (Column F on Continuation Page)	\$0.00
Total Retainage (Line 5a + 5b or Column I on Continuation Page)	\$0.00
6. TOTAL COMPLETED AND STORED LESS RETAINAGE (Line 4 minus Line 5 Total)	\$15,014,820.35
7. LESS PREVIOUS PAYMENT APPLICATIONS	\$13,513,338.35
8. PAYMENT DUE	\$1,501,482.00
9. BALANCE TO COMPLETION (Line 3 minus Line 6)	\$0.00

SUMMARY OF CHANGE ORDERS	ADDITIONS	DEDUCTIONS
Total changes approved in previous months	\$1,382,340.70	(\$26,267.35)
Total approved this month	\$0.00	\$0.00
TOTALS	\$1,382,340.70	(\$26,267.35)
NET CHANGES	\$1,356,073.35	

Contractor's signature below is his assurance to Owner, concerning the payment herein applied for, that: (1) the Work has been performed as required in the Contract Documents, (2) all sums previously paid to Contractor under the Contract have been used to pay Contractor's costs for labor, materials and other obligations under the Contract for Work previously paid for, and (3) Contractor is legally entitled to this payment.

CONTRACTOR: THE DOUGLAS COMPANY

By: Lynn M. Miller Date: 08/24/2020
 LYNN M. MILLER ASSISTANT CONTROLLER

State of: Ohio

County of: Lucas

Subscribed and sworn to before

me this 24th day of August 2020

Notary Public: Kimberly Heath Notary Public - State of Ohio
 My Commission Expires March 22, 2022

My Commission Expires: 3/22/2022

ARCHITECT'S CERTIFICATION

Architect's signature below is his assurance to Owner, concerning the payment herein applied for, that: (1) Architect has inspected the Work represented by this Application, (2) such Work has been completed to the extent indicated in this Application, and the quality of workmanship and materials conforms with the Contract Documents, (3) this Application for Payment accurately states the amount of Work completed and payment due therefor, and (4) Architect knows of no reason why payment should not be made.

CERTIFIED AMOUNT.....

(If the certified amount is different from the payment due, you should attach an explanation. Initial all the figures that are changed to match the certified amount.)

Architect:: JOHN MARUSICH

By: _____ Date: _____

Neither this Application nor payment applied for herein is assignable or negotiable. Payment shall be made only to Contractor, and is without prejudice to any rights of Owner or Contractor under the Contract Documents or otherwise.

CONTINUATION PAGE

Page 2 of 4

PROJECT: 18-022-0
THE PEARL DEVELOPMENT

APPLICATION #: 24
DATE OF APPLICATION: 08/24/2020
PERIOD THRU: 08/25/2020
PROJECT #s: 18-022-0

Payment Application containing Contractor's signature is attached.

A	B	C	D	E	F	G		H	I
ITEM #	WORK DESCRIPTION	SCHEDULED AMOUNT	COMPLETED WORK		STORED MATERIALS (NOT IN D OR E)	TOTAL COMPLETED AND STORED (D + E + F)	% COMP. (G / C)	BALANCE TO COMPLETION (C-G)	RETAINAGE (If Variable)
			AMOUNT PREVIOUS PERIODS	AMOUNT THIS PERIOD					
01	EXCAVATION	\$162,678.00	\$162,678.00	\$0.00	\$0.00	\$162,678.00	100%	\$0.00	
02	ASPHALT PAVING	\$20,000.00	\$20,000.00	\$0.00	\$0.00	\$20,000.00	100%	\$0.00	
03	STRIPING	\$2,265.00	\$2,265.00	\$0.00	\$0.00	\$2,265.00	100%	\$0.00	
04	SITE IMPROVEMENTS	\$10,000.00	\$10,000.00	\$0.00	\$0.00	\$10,000.00	100%	\$0.00	
05	LANDSCAPING (ALLOWANCE)	\$10,000.00	\$10,000.00	\$0.00	\$0.00	\$10,000.00	100%	\$0.00	
06	SITE CONCRETE	\$53,868.00	\$53,868.00	\$0.00	\$0.00	\$53,868.00	100%	\$0.00	
07	FENCING	\$1,190.00	\$1,190.00	\$0.00	\$0.00	\$1,190.00	100%	\$0.00	
08	BUILDING SIGNAGE	\$7,481.00	\$7,481.00	\$0.00	\$0.00	\$7,481.00	100%	\$0.00	
09	CONCRETE	\$1,717,487.19	\$1,717,487.19	\$0.00	\$0.00	\$1,717,487.19	100%	\$0.00	
10	GYPCRETE	\$67,890.00	\$67,890.00	\$0.00	\$0.00	\$67,890.00	100%	\$0.00	
11	MASONRY	\$1,047,000.00	\$1,047,000.00	\$0.00	\$0.00	\$1,047,000.00	100%	\$0.00	
12	STEEL FABRICATION	\$745,200.81	\$745,200.81	\$0.00	\$0.00	\$745,200.81	100%	\$0.00	
13	MISC. STEEL	\$106,300.00	\$106,300.00	\$0.00	\$0.00	\$106,300.00	100%	\$0.00	
14	FIREPROOFING	\$40,000.00	\$40,000.00	\$0.00	\$0.00	\$40,000.00	100%	\$0.00	
15	SUN SHADE	\$72,650.00	\$72,650.00	\$0.00	\$0.00	\$72,650.00	100%	\$0.00	
16	METAL SCREENS	\$12,667.00	\$12,667.00	\$0.00	\$0.00	\$12,667.00	100%	\$0.00	
17	BALCONY RAILING	\$75,932.00	\$75,932.00	\$0.00	\$0.00	\$75,932.00	100%	\$0.00	
18	ROUGH CARPENTRY	\$844,629.00	\$844,629.00	\$0.00	\$0.00	\$844,629.00	100%	\$0.00	
19	FINISH CARPENTRY	\$595,841.00	\$595,841.00	\$0.00	\$0.00	\$595,841.00	100%	\$0.00	
20	LOBBY MILLWORK	\$35,000.00	\$35,000.00	\$0.00	\$0.00	\$35,000.00	100%	\$0.00	
21	WATERPROOFING	\$164,225.00	\$164,225.00	\$0.00	\$0.00	\$164,225.00	100%	\$0.00	
22	INSULATION	\$64,300.00	\$64,300.00	\$0.00	\$0.00	\$64,300.00	100%	\$0.00	
23	EPDM ROOFING	\$115,000.00	\$115,000.00	\$0.00	\$0.00	\$115,000.00	100%	\$0.00	
24	SIDING & TRIM	\$74,640.00	\$74,640.00	\$0.00	\$0.00	\$74,640.00	100%	\$0.00	
25	CAULKING	\$57,240.00	\$57,240.00	\$0.00	\$0.00	\$57,240.00	100%	\$0.00	
26	DOORS & FRAMES	\$147,338.00	\$147,338.00	\$0.00	\$0.00	\$147,338.00	100%	\$0.00	
27	OVERHEAD DOORS	\$8,012.00	\$8,012.00	\$0.00	\$0.00	\$8,012.00	100%	\$0.00	
28	WINDOWS	\$166,623.00	\$166,623.00	\$0.00	\$0.00	\$166,623.00	100%	\$0.00	
29	GLASS & GLAZING	\$151,775.00	\$151,775.00	\$0.00	\$0.00	\$151,775.00	100%	\$0.00	
	SUB-TOTALS	\$6,577,232.00	\$6,577,232.00	\$0.00	\$0.00	\$6,577,232.00	100%	\$0.00	

CONTINUATION PAGE

Page 3 of 4

PROJECT: 18-022-0
THE PEARL DEVELOPMENT

APPLICATION #: 24
DATE OF APPLICATION: 08/24/2020
PERIOD THRU: 08/25/2020
PROJECT #s: 18-022-0

Payment Application containing Contractor's signature is attached.

A	B	C	D	E	F	G	H	I	
ITEM #	WORK DESCRIPTION	SCHEDULED AMOUNT	COMPLETED WORK		STORED MATERIALS (NOT IN D OR E)	TOTAL COMPLETED AND STORED (D + E + F)	% COMP. (G / C)	BALANCE TO COMPLETION (C-G)	RETAINAGE (If Variable)
			AMOUNT PREVIOUS PERIODS	AMOUNT THIS PERIOD					
30	DRYWALL & METAL STUDS	\$761,000.00	\$761,000.00	\$0.00	\$0.00	\$761,000.00	100%	\$0.00	
31	ACOUSTICAL CEILINGS	\$93,045.00	\$93,045.00	\$0.00	\$0.00	\$93,045.00	100%	\$0.00	
32	CERAMIC TILE FLOORING	\$360,955.00	\$360,955.00	\$0.00	\$0.00	\$360,955.00	100%	\$0.00	
33	CARPETING / WOOD	\$272,963.00	\$272,963.00	\$0.00	\$0.00	\$272,963.00	100%	\$0.00	
34	PAINTING & WALLCOVERING	\$229,950.00	\$229,950.00	\$0.00	\$0.00	\$229,950.00	100%	\$0.00	
35	PARKING GATES (ALLOWANCE)	\$13,900.00	\$13,900.00	\$0.00	\$0.00	\$13,900.00	100%	\$0.00	
36	FIRE EXTINGUISHERS	\$4,250.00	\$4,250.00	\$0.00	\$0.00	\$4,250.00	100%	\$0.00	
37	WINDOW TREATMENT	\$27,936.00	\$27,936.00	\$0.00	\$0.00	\$27,936.00	100%	\$0.00	
38	FIREPLACES	\$27,640.00	\$27,640.00	\$0.00	\$0.00	\$27,640.00	100%	\$0.00	
39	DIVISION 10 SPECIALTIES	\$95,061.00	\$95,061.00	\$0.00	\$0.00	\$95,061.00	100%	\$0.00	
40	WHITE BOX BUILD OUT	\$41,440.00	\$41,440.00	\$0.00	\$0.00	\$41,440.00	100%	\$0.00	
41	TRASH CHUTE	\$11,642.00	\$11,642.00	\$0.00	\$0.00	\$11,642.00	100%	\$0.00	
42	RESIDENTIAL APPLIANCES	\$122,000.00	\$122,000.00	\$0.00	\$0.00	\$122,000.00	100%	\$0.00	
43	ELEVATORS	\$120,000.00	\$120,000.00	\$0.00	\$0.00	\$120,000.00	100%	\$0.00	
44	HVAC	\$570,000.00	\$570,000.00	\$0.00	\$0.00	\$570,000.00	100%	\$0.00	
45	PLUMBING	\$605,373.00	\$605,373.00	\$0.00	\$0.00	\$605,373.00	100%	\$0.00	
46	FIRE PROTECTION	\$252,850.00	\$252,850.00	\$0.00	\$0.00	\$252,850.00	100%	\$0.00	
47	ELECTRICAL	\$836,400.00	\$836,400.00	\$0.00	\$0.00	\$836,400.00	100%	\$0.00	
48	GENERAL REQUIREMENTS	\$1,182,951.74	\$1,182,951.74	\$0.00	\$0.00	\$1,182,951.74	100%	\$0.00	
49	BUILDERS OVERHEAD	\$539,779.75	\$539,779.75	\$0.00	\$0.00	\$539,779.75	100%	\$0.00	
50	BUILDERS PROFIT	\$362,889.51	\$362,889.51	\$0.00	\$0.00	\$362,889.51	100%	\$0.00	
51	CRANE	\$549,489.00	\$549,489.00	\$0.00	\$0.00	\$549,489.00	100%	\$0.00	
52	CHANGE ORDER #01	\$356,136.00	\$356,136.00	\$0.00	\$0.00	\$356,136.00	100%	\$0.00	
53	CHANGE ORDER #02	\$49,381.11	\$49,381.11	\$0.00	\$0.00	\$49,381.11	100%	\$0.00	
54	CHANGE ORDER #03	\$36,043.96	\$36,043.96	\$0.00	\$0.00	\$36,043.96	100%	\$0.00	
55	CHANGE ORDER #04	\$19,640.10	\$19,640.10	\$0.00	\$0.00	\$19,640.10	100%	\$0.00	
56	CHANGE ORDER #05R	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		\$0.00	
57	CHANGE ORDER #06	\$47,416.00	\$47,416.00	\$0.00	\$0.00	\$47,416.00	100%	\$0.00	
58	CHANGE ORDER #07	\$398,592.01	\$398,592.01	\$0.00	\$0.00	\$398,592.01	100%	\$0.00	
	SUB-TOTALS	\$14,565,956.18	\$14,565,956.18	\$0.00	\$0.00	\$14,565,956.18	100%	\$0.00	

CONTINUATION PAGE

Page 4 of 4

PROJECT: 18-022-0
THE PEARL DEVELOPMENT

APPLICATION #: 24
DATE OF APPLICATION: 08/24/2020
PERIOD THRU: 08/25/2020
PROJECT #s: 18-022-0

Payment Application containing Contractor's signature is attached.

A	B	C	D	E	F	G		H	I
ITEM #	WORK DESCRIPTION	SCHEDULED AMOUNT	COMPLETED WORK		STORED MATERIALS (NOT IN D OR E)	TOTAL COMPLETED AND STORED (D + E + F)	% COMP. (G / C)	BALANCE TO COMPLETION (C-G)	RETAINAGE (If Variable)
			AMOUNT PREVIOUS PERIODS	AMOUNT THIS PERIOD					
59	CHANGE ORDER #08R	\$248,920.13	\$248,920.13	\$0.00	\$0.00	\$248,920.13	100%	\$0.00	
60	CHANGE ORDER #09	\$8,797.70	\$8,797.70	\$0.00	\$0.00	\$8,797.70	100%	\$0.00	
61	CHANGE ORDER #10	\$36,454.75	\$36,454.75	\$0.00	\$0.00	\$36,454.75	100%	\$0.00	
62	CHANGE ORDER #11R	\$16,586.92	\$16,586.92	\$0.00	\$0.00	\$16,586.92	100%	\$0.00	
63	CHANGE ORDER #12	\$81,879.82	\$81,879.82	\$0.00	\$0.00	\$81,879.82	100%	\$0.00	
64	CHANGE ORDER #13	\$10,322.61	\$10,322.61	\$0.00	\$0.00	\$10,322.61	100%	\$0.00	
65	CHANGE ORDER #14	(\$26,267.35)	(\$26,267.35)	\$0.00	\$0.00	(\$26,267.35)	100%	\$0.00	
66	CHANGE ORDER #15	\$22,849.05	\$22,849.05	\$0.00	\$0.00	\$22,849.05	100%	\$0.00	
67	CHANGE ORDER #16	\$27,885.97	\$27,885.97	\$0.00	\$0.00	\$27,885.97	100%	\$0.00	
68	CHANGE ORDER #17	\$3,031.95	\$3,031.95	\$0.00	\$0.00	\$3,031.95	100%	\$0.00	
69	CHANGE ORDER #18	\$18,402.62	\$18,402.62	\$0.00	\$0.00	\$18,402.62	100%	\$0.00	

AIA® Document G701™ – 2017

Change Order

PROJECT: (Name and address) Pearl Apartments 856 North Old Woodward Birmingham, MI 48009	CONTRACT INFORMATION: Contract For: General Construction Date: 05/29/2018	CHANGE ORDER INFORMATION: Change Order Number: 002R Date: 11/21/2018
OWNER: (Name and address) FLS Properties #5, LLC 2950 Walnut Lake Road West Bloomfield, MI 48323	ARCHITECT: (Name and address) Marusich Architecture 36880 Woodward Avenue Suite 100 Bloomfield Hills, MI 48304	CONTRACTOR: (Name and address) The Douglas Company 1716 Perrysburg Holland Road Holland, OH 43528

THE CONTRACT IS CHANGED AS FOLLOWS:

(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)

1. Vapor barrier required below the slab per PME recommendations ...\$23,220.00
2. Future environmental contaminated water discharge thru 11/14/18 ...\$12,710.00
3. RFI #52 - ERS west wall elevation ...\$15,571.92
4. Credit for plywood over auger cast piles in lieu of grout ...(\$6,000.00)
5. The Douglas Company OH&P ...\$5,150.19
6. Architect is to be changed from Krieger Klatt Architects to Marusich Architecture.
7. Credit to remove The Douglas Company OH&P from item #2 ...(\$1,271.00)

The original Contract Sum was	\$ 13,658,747.00
The net change by previously authorized Change Orders	\$ 356,136.00
The Contract Sum prior to this Change Order was	\$ 14,014,883.00
The Contract Sum will be increased by this Change Order in the amount of	\$ 49,381.11
The new Contract Sum including this Change Order will be	\$ 14,064,264.11
The Contract Time will be unchanged by zero (0) days.	
The new date of Substantial Completion will be	

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Marusich Architecture
ARCHITECT (Firm name)

SIGNATURE

PRINTED NAME AND TITLE

DATE

The Douglas Company

CONTRACTOR (Firm name)

SIGNATURE

Brian J. McCarthy, Executive Vice
President

PRINTED NAME AND TITLE

DATE

FLS Properties #5, LLC

OWNER (Firm name)

SIGNATURE

Frank Simon

PRINTED NAME AND TITLE

DATE

11/14/18

FLS Properties #5, LLC

2950 Walnut lake Road
West Bloomfield, MI 48323

Re: Proposed Change Order Request #2
The Pearl Development

Dear Mr. Simon,

Please see the cost below for the vapor mitigation required on the project.

This charge will be added to a future change order to the project.

1. Vapor Barrier required below the slab per PME recommendations ... \$23,220.00
2. Vapor Barrier venting thru building ... \$17,900.00

Subtotal ... \$41,120.00

The Douglas Company OH&P ... \$4,112.00

Total Cost for Proposed Change Order Request #2 ... \$ 45,232.00

If you are in agreement with the above stated pricing, please sign below indicating your approval to proceed and we will process a change order accordingly.

Very truly yours,

THE DOUGLAS COMPANY

Tyler T. Brumbaugh

Tyler Brumbaugh
Project Manager

cc: Brian McCarthy
Andrew Best
Nicholas Hamilton

APPROVED TO PROCEED
FLS Properties #5, LLC

Frank Simon
Frank Simon
FLS Properties #5

AIA® Document G701™ – 2017

Change Order

PROJECT: (Name and address) Pearl Apartments 856 North Old Woodward Birmingham, MI 48009	CONTRACT INFORMATION: Contract For: General Construction Date: 05/29/2018	CHANGE ORDER INFORMATION: Change Order Number: 003R Date: 12/17/2018
OWNER: (Name and address) FLS Properties #5, LLC 2950 Walnut Lake Road West Bloomfield, MI 48323	ARCHITECT: (Name and address) Marusich Architecture 36880 Woodward Avenue Suite 100 Bloomfield Hills, MI 48304	CONTRACTOR: (Name and address) The Douglas Company 1716 Perrysburg Holland Road Holland, OH 43528

THE CONTRACT IS CHANGED AS FOLLOWS:

(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)

Approved items per letter dated 12/7/18 from Mr. Facca:

1. Item 3: Install metal deck and additional steel at the top of the shafts from 5/25 drawings ...\$15,481.00
2. Item 5: Install additional concrete and rebar per 5/25 structural drawings at grade beam ...\$9,289.00
3. Item 13: Vapor barrier venting thru building ...\$17,900.00
4. Item 15: Drawing revisions 5.25.18 roof parapet steel ...\$26,881.60
5. Item 16: Drawing revisions 6.22.18 drawing set ...\$6,651.50
6. Item 17: Bulletin 2 revisions made 8.29.18 - Victoris Steel only ...\$3,100.50
7. Item 20: Steel pricing reduction (detailing time & transportation costs) ...(\$2,000.00)
8. Item 6: Install wire shelving ILO plastic laminate shelving in the unit closets ...(\$4,764.00)
9. Item 7: Install interior signage as shown on plan below allowance ...(\$2,647.00)
10. Item 8: Install a single overhand width brick wall at the north elevation ILO per design ...(\$24,327.00)
11. Item 9: Eliminate the casing around all of the unit windows ...(\$5,376.00)
12. Item 10: Provide a 10 year manufacturers warranty ILO specified 20 year roof warranty ...(\$9,399.00)

Total Construction Changes	\$30,790.60
TDC OH&P on Construction Changes	\$5,253.36
Total for all changes	\$36,043.96

The original Contract Sum was	\$ 13,658,747.00
The net change by previously authorized Change Orders	\$ 405,517.11
The Contract Sum prior to this Change Order was	\$ 14,064,264.11
The Contract Sum will be increased by this Change Order in the amount of	\$ 36,043.96
The new Contract Sum including this Change Order will be	\$ 14,100,308.07

The Contract Time will be unchanged by zero (0) days.
The new date of Substantial Completion will be

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Marusich Architecture
ARCHITECT (Firm name)

The Douglas Company
CONTRACTOR (Firm name)

FLS Properties #5, LLC
OWNER (Firm name)


John MARUSICH

SIGNATURE

PRINTED NAME AND TITLE

DATE

SIGNATURE

Brian J. McCarthy, Executive Vice
President

PRINTED NAME AND TITLE

DATE

SIGNATURE

Frank Simon

PRINTED NAME AND TITLE

DATE

FUTURE

www.futureenvironmental.com

19701 SOUTH 97th AVENUE, MOKENA, IL 60448

FEIN # 36-4059612 VENDOR D6902

PO need

JOB 180220 COST CODE need

BILL TO :

THE DOUGLAS COMPANY
1716 PERRYSBURG HOLLAND RD
HOLLAND OH 43528

DATE	DUE DATE	INVOICE #
9/13/2018	10/13/2018	D25275

INVOICE TOTAL	\$1,005.00
------------------	------------

Current Account Balance : \$2,290.00

Please call for a Statement of your Account 1-866-579-6900

SITE ADDRESS:

THE PEARL
856 OLD WOODWARD
BIRMINGHAM, MI

LOAD #	RECEIPT #	MANIFEST #	DRIVER	TERMS	DUE DATE
M113638	D25275	M113638	TONM	Net 30	10/13/2018

DESCRIPTION	QUANTITY	RATE	AMOUNT
CONTAMINATED WATER	1,700	0.40	680.00
TRUCK CHARGE	1	325.00	325.00
<div>RECEIVED</div> <div>SEP 24 2018</div> <div>The Douglas Company</div>			

THANK YOU FOR YOUR BUSINESS

Billing Questions ?

1-866-579-6900

(708) 479-6900 Corporate Office

(708) 479-6890 Fax



SUBTOTAL	\$1,005.00
SALES TAX (7.5%)	\$0.00
PAYMENT APPLIED	\$0.00
BALANCE DUE	\$1,005.00

FUTURE

ENVIRONMENTAL, INC.

www.futureenvironmental.com

19701 SOUTH 97th AVENUE, MOKENA, IL 60448

FEIN # 36-4059612

VENDOR 06902

PO need

DB 18022-0

COST CODE _____

BILL TO :

THE DOUGLAS COMPANY
1716 PERRYSBURG HOLLAND RD
HOLLAND OH 43528

DATE	DUE DATE	INVOICE #
9/24/2018	10/24/2018	D25295

INVOICE TOTAL	\$1,685.00
--------------------------	-------------------

Current Account Balance : \$3,975.00

Please call for a Statement of your Account 1-866-579-6900

SITE ADDRESS:

THE PEARL
856 OLD WOODWARD
BIRMINGHAM, MI

LOAD #	RECEIPT #	MANIFEST #	DRIVER	TERMS	DUE DATE
M113678	D25295	M113678	TONM	Net 30	10/24/2018

DESCRIPTION	QUANTITY	RATE	AMOUNT
CONTAMINATED WATER	3,400	0.40	1,360.00
TRUCK CHARGE	1	325.00	325.00
<div>RECEIVED</div> <div>SEP 08 2018</div> <div>The Douglas Company</div>			

THANK YOU FOR YOUR BUSINESS

Billing Questions ?

1-866-579-6900

(708) 479-6900 Corporate Office

(708) 479-6890 Fax



SUBTOTAL	\$1,685.00
SALES TAX (7.5%)	\$0.00
PAYMENT APPLIED	\$0.00
BALANCE DUE	\$1,685.00

FUTURE

ENVIRONMENTAL, INC.

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19701 SOUTH 97th AVENUE, MOKENA, IL 60448
FEIN # 36-4059612

VENDOR 06902

PO need

JOB 18022-0

COST CODE _____

BILL TO :

THE DOUGLAS COMPANY
1716 PERRYSBURG HOLLAND RD
HOLLAND OH 43528

DATE	DUE DATE	INVOICE #
9/26/2018	10/26/2018	D25554

INVOICE TOTAL	\$1,725.00
--------------------------	-------------------

Current Account Balance : \$5,700.00

Please call for a Statement of your Account 1-866-579-6900

SITE ADDRESS:

THE PEARL
856 OLD WOODWARD
BIRMINGHAM, MI

LOAD #	RECEIPT #	MANIFEST #	DRIVER	TERMS	DUE DATE
M113680	D25554	M113680	TONM	Net 30	10/26/2018

DESCRIPTION	QUANTITY	RATE	AMOUNT
CONTAMINATED WATER	3,500	0.40	1,400.00
TRUCK CHARGE	1	325.00	325.00
<div>RECEIVED</div> <div>09 09 2018</div> <div>The Douglas Company</div>			

THANK YOU FOR YOUR BUSINESS

Billing Questions ?

1-866-579-6900
(708) 479-6900 Corporate Office
(708) 479-6890 Fax



SUBTOTAL	\$1,725.00
SALES TAX (7.5%)	\$0.00
PAYMENT APPLIED	\$0.00
BALANCE DUE	\$1,725.00

FUTURE

ENVIRONMENTAL, INC.

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19701 SOUTH 97th AVENUE, MOKENA, IL 60448
FEIN # 36-4059612 VENDOR 06902 PO need

JOB 180820 COST CODE _____

BILL TO :

THE DOUGLAS COMPANY
1716 PERRYSBURG HOLLAND RD
HOLLAND OH 43528

DATE	DUE DATE	INVOICE #
10/3/2018	11/2/2018	D25569

INVOICE TOTAL	\$1,085.00
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Current Account Balance : \$6,785.00

Please call for a Statement of your Account 1-866-579-6900

SITE ADDRESS:

THE PEARL
856 OLD WOODWARD
BIRMINGHAM, MI

LOAD #	RECEIPT #	MANIFEST #	DRIVER	TERMS	DUE DATE
M113707	D25569	M113707	TONM	Net 30	11/2/2018

DESCRIPTION	QUANTITY	RATE	AMOUNT
CONTAMINATED WATER	1,900	0.40	760.00
TRUCK CHARGE	1	325.00	325.00
<div>RECEIVED</div> <div>OCT 15 2018</div> <div>The Douglas Company</div>			

THANK YOU FOR YOUR BUSINESS

Billing Questions ?

1-866-579-6900
(708) 479-6900 Corporate Office
(708) 479-6890 Fax



SUBTOTAL	\$1,085.00
SALES TAX (7.5%)	\$0.00
PAYMENT APPLIED	\$0.00
BALANCE DUE	\$1,085.00

FUTURE

ENVIRONMENTAL, INC.

www.futureenvironmental.com

19701 SOUTH 97th AVENUE, MOKENA, IL 60448
FEIN # 36-4059612 FAX OF 06902

PO need

180220 COST CODE _____

BILL TO :

THE DOUGLAS COMPANY
1716 PERRYSBURG HOLLAND RD
HOLLAND OH 43528

DATE	DUE DATE	INVOICE #
10/8/2018	11/7/2018	D25584

INVOICE TOTAL	\$1,725.00
--------------------------	-------------------

Current Account Balance : \$8,510.00

Please call for a Statement of your Account 1-866-579-6900

SITE ADDRESS:

THE PEARL
856 OLD WOODWARD
BIRMINGHAM, MI

LOAD #	RECEIPT #	MANIFEST #	DRIVER	TERMS	DUE DATE
M113711	D25584	M113711	TONM	Net 30	11/7/2018

DESCRIPTION	QUANTITY	RATE	AMOUNT
CONTAMINATED WATER	3,500	0.40	1,400.00 ✓
TRUCK CHARGE	1	325.00	325.00
<div>RECEIVED</div> <div>OCT 19 2018</div> <div>The Douglas Company</div>			

THANK YOU FOR YOUR BUSINESS

Billing Questions ?

1-866-579-6900
(708) 479-6900 Corporate Office
(708) 479-6890 Fax



SUBTOTAL	\$1,725.00 ✓
SALES TAX (7.5%)	\$0.00
PAYMENT APPLIED	\$0.00
BALANCE DUE	\$1,725.00 ✓

FUTURE

ENVIRONMENTAL, INC.

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19701 SOUTH 97th AVENUE, MOKENA, IL 60448
FEIN # 36-4059612

SEND TO

06902

PO need

180220

COST CODE

BILL TO :

THE DOUGLAS COMPANY
1716 PERRYSBURG HOLLAND RD
HOLLAND OH 43528

DATE	DUE DATE	INVOICE #
10/11/2018	11/10/2018	D25589

INVOICE TOTAL	\$1,725.00
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Current Account Balance : \$10,235.00

Please call for a Statement of your Account 1-866-579-6900

SITE ADDRESS:

THE PEARL
856 OLD WOODWARD
BIRMINGHAM, MI

LOAD #	RECEIPT #	MANIFEST #	DRIVER	TERMS	DUE DATE
M113725	D25589	M113725	TONM	Net 30	11/10/2018

DESCRIPTION	QUANTITY	RATE	AMOUNT
CONTAMINATED WATER	3,500	0.40	1,400.00
TRUCK CHARGE	1	325.00	325.00
<div>RECEIVED</div> <div>OCT 24 2018</div> <div>The Douglas Company</div>			

THANK YOU FOR YOUR BUSINESS

Billing Questions ?

1-866-579-6900
(708) 479-6900 Corporate Office
(708) 479-6890 Fax



SUBTOTAL	\$1,725.00
SALES TAX (7.5%)	\$0.00
PAYMENT APPLIED	\$0.00
BALANCE DUE	\$1,725.00

FUTURE

ENVIRONMENTAL, INC.

www.futureenvironmental.com

19701 SOUTH 97th AVENUE, MOKENA, IL 60448
FEIN # 36-4059612

ENDOR

06902

PO need

JOB 180220 COST CODE

BILL TO :

THE DOUGLAS COMPANY
1716 PERRYSBURG HOLLAND RD
HOLLAND OH 43528

DATE	DUE DATE	INVOICE #
10/17/2018	11/16/2018	D26056

INVOICE TOTAL	\$645.00
------------------	----------

Current Account Balance : \$10,880.00

Please call for a Statement of your Account 1-866-579-6900

SITE ADDRESS:

THE PEARL
856 OLD WOODWARD
BIRMINGHAM, MI

LOAD #	RECEIPT #	MANIFEST #	DRIVER	TERMS	DUE DATE
M113729	D26056	M113729	TONM	Net 30	11/16/2018

DESCRIPTION	QUANTITY	RATE	AMOUNT
CONTAMINATED WATER	800	0.40	320.00
TRUCK CHARGE	1	325.00	325.00
RECEIVED OCT 30 2018 The Douglas Company			

THANK YOU FOR YOUR BUSINESS

Billing Questions ?

1-866-579-6900
(708) 479-6900 Corporate Office
(708) 479-6890 Fax



SUBTOTAL	\$645.00
SALES TAX (7.5%)	\$0.00
PAYMENT APPLIED	\$0.00
BALANCE DUE	\$645.00

FUTURE

ENVIRONMENTAL, INC.

www.futureenvironmental.com

19701 SOUTH 97th AVENUE, MOKENA, IL 60448

FEIN # 36-4059612

VENDOR

06902

PO Need

JOB 18022-0 COST CODE

BILL TO :

THE DOUGLAS COMPANY
1716 PERRYSBURG HOLLAND RD
HOLLAND OH 43528

DATE	DUE DATE	INVOICE #
10/24/2018	11/23/2018	D26070

INVOICE
TOTAL

\$1,245.00

Current Account Balance :

\$12,125.00

Please call for a Statement of your Account 1-866-579-6900

SITE ADDRESS:

THE PEARL
856 OLD WOODWARD
BIRMINGHAM, MI

LOAD #	RECEIPT #	MANIFEST #	DRIVER	TERMS	DUE DATE
M115261	D26070	M115261	TONM	Net 30	11/23/2018

DESCRIPTION	QUANTITY	RATE	AMOUNT
CONTAMINATED WATER	2,300	0.40	920.00
TRUCK CHARGE	1	325.00	325.00
<div>RECEIVED</div> <div>NOV 02 2018</div> <div>The Douglas Company</div>			

THANK YOU FOR YOUR BUSINESS

Billing Questions ?

1-866-579-6900

(708) 479-6900 Corporate Office

(708) 479-6890 Fax



SUBTOTAL \$1,245.00

SALES TAX (7.5%) \$0.00

PAYMENT APPLIED \$0.00

BALANCE DUE \$1,245.00

FUTURE

ENVIRONMENTAL, INC.

www.futureenvironmental.com

19701 SOUTH 97th AVENUE, MOKENA, IL 60448

FEIN # 36-4059612

VENDOR D6902

PO Need

JOB 18022-0 COST CODE _____

BILL TO :

THE DOUGLAS COMPANY
1716 PERRYSBURG HOLLAND RD
HOLLAND OH 43528

DATE	DUE DATE	INVOICE #
11/5/2018	12/5/2018	D26099

INVOICE TOTAL	\$1,645.00
----------------------	-------------------

Current Account Balance : \$13,770.00

Please call for a Statement of your Account 1-866-579-6900

SITE ADDRESS:

THE PEARL
856 OLD WOODWARD
BIRMINGHAM, MI

LOAD #	RECEIPT #	MANIFEST #	DRIVER	TERMS	DUE DATE
M115301	D26099	M115301	TONM	Net 30	12/5/2018

DESCRIPTION	QUANTITY	RATE	AMOUNT
CONTAMINATED WATER	3,300	0.40	1,320.00
TRUCK CHARGE	1	325.00	325.00
<p>RECEIVED</p> <p>NOV 14 2018</p> <p>The Douglas Company</p>			

THANK YOU FOR YOUR BUSINESS

Billing Questions ?

1-866-579-6900

(708) 479-6900 Corporate Office

(708) 479-6890 Fax



SUBTOTAL \$1,645.00

SALES TAX (7.5%) \$0.00

PAYMENT APPLIED \$0.00

BALANCE DUE \$1,645.00

THIS DOCUMENT IS PROTECTED BY INVISIBLE FIBERS AND CHEMICALLY REACTIVE PAPER. HOLD TO LIGHT TO VERIFY A TRUE WATERMARK

THE DOUGLAS COMPANY
1718 PERRYSBURG-HOLLAND RD.
HOLLAND, OH 43528

KeyBank, N.A.
NW Ohio
6-103/410

126827

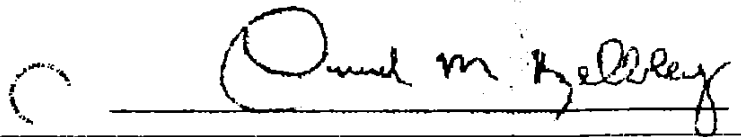
DATE: February 20, 2019

PAY ONLY **5,260** ^{00/100} _{cents}

\$ 5,260.00

PAY Five Thousand Two Hundred Sixty and 00/100 Dollars

TO THE ORDER OF
FUTURE ENVIRONMENTAL, INC.
19701 SOUTH 97TH AVENUE
MOKENA, IL 60448



⑈ 126827⑈ ⑆0410010391359681488094⑈

28506631 3 2019-03-20 5260.00

320004 204089 032019
BMO Harris Bank N.A. ⑆071000288<

The security features listed below exceed industry guidelines.

Security Features:

3-D Security Features:
• **Color Shift:** Points to light to view watermark.
• **Color Shift:** Fluorescent fibers only visible under UV light.

Chemical Features:
• **Chemical Reaction:** Chemical reaction will result in color change to the green.
• **Removal of Ink:** Removal of ink will be detectable.

Optical Features:
• **Microprint:** Which photocopiers see word "VOID" can become visible, making it non-reproducible. This feature can be circumvented by high end color copiers & scanners.
• **Temperature Sensitive Ink:** Ink will temporarily fade when exposed to heat. Rub or breathe on head to verify.

Endorsement Features:
• **Endorsement:** Endorsement micropoint signature lines. Screen type appears as dotted lines when copied.
• **Endorsement:** Endorsement micropoint signature lines. Screen type appears as dotted lines when copied.

Endorsement Features:
• **Endorsement:** Endorsement micropoint signature lines. Screen type appears as dotted lines when copied.
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Endorsement Features:
• **Endorsement:** Endorsement micropoint signature lines. Screen type appears as dotted lines when copied.
• **Endorsement:** Endorsement micropoint signature lines. Screen type appears as dotted lines when copied.

Endorsement Features:
• **Endorsement:** Endorsement micropoint signature lines. Screen type appears as dotted lines when copied.
• **Endorsement:** Endorsement micropoint signature lines. Screen type appears as dotted lines when copied.

28506631 3 2019-03-20 5260.00

ENDORSE HERE:

PAY TO THE ORDER OF
BMO HARRIS BANK N.A.
CHICAGO, IL 60603-4032
⑆071025661⑆
FOR DEPOSIT ONLY
FUTURE ENVIRONMENTAL INC.
101424782
DO NOT SIGN / WRITE / STAMP BELOW THIS LINE
FOR FINANCIAL INSTITUTION USAGE ONLY

THIS DOCUMENT IS PROTECTED BY INVISIBLE FIBERS AND CHEMICALLY REACTIVE PAPER. HOLD TO LIGHT TO VERIFY A TRUE WATERMARK

THE DOUGLAS COMPANY
1718 PERRYSBURG-HOLLAND RD.
HOLLAND, OH 43528

KeyBank, N.A.
NW Ohio
6-103/410

126609

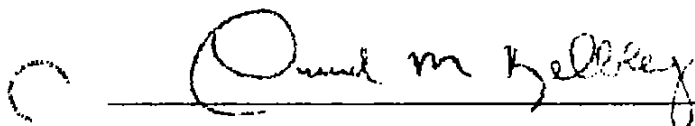
DATE: January 29, 2019

PAY ONLY **8,510.00** cents

\$ 8,510.00

PAY Eight Thousand Five Hundred Ten and 00/100 Dollars

TO THE ORDER OF **FUTURE ENVIRONMENTAL, INC.**
19701 SOUTH 97TH AVENUE
MOKENA, IL 60448



⑈ 126609⑈ ⑆041001039⑆359681488094⑈

61674601 4 2019-02-21 8510.00

Security Features:

- True Watermark:** Hold to light to view watermark.
- Invisible Fibers:** Fluorescent fibers only visible under UV light.
- Chemical Reactivity:** Chemical alteration will result in color change to the area.
- Toner Adhesion:** Paper remains a longer adhesive coating. Attempts to remove or alter toner will be detectable.
- Void Penetration:** When photocopy the word "VOID" can become visible by high end color copiers & scanners.
- Heat Sensitive Icon:** Temperature sensitive ink will temporarily fade when exposed to warmth. Rub or breathe on area to verify.
- Microprint (MP):** Endorsement microprint signature lines. Small type appears as dotted lines when copied.
- Padlock Icon:** Padlock icon indicates the check has security features that meet or exceed ANSI standards.
- Security Screen:** Screen on back with reversed text printed light to prevent copying meaning.

* Padlock design is a certification mark of Check Payment Systems Association

902970001000
DepositEdge(R)

>071000288<
BMO Harris Bank NA

DO NOT SIGN / WRITE / STAMP BELOW THIS LINE
FOR FINANCIAL INSTITUTION USAGE ONLY

ENDORSE HERE: DepositEdge(R)
FOR DEPOSIT ONLY >071000288<
BMO Harris Bank NA
For Account of Payee Named Hereon

61674601 4 2019-02-21 8510.00



660 Woodward Ave. Suite 1945 Detroit, MI 48226
313/535-6534 ph. 313/535-6850 fax

bdarin@dixon99.com
8105883932 cell

9/11/18 Revised

856 N. Old Woodward
B'ham, Michigan

Provide vapor mitigation intrusion system at four different area's under concrete floor.....\$23,220.00

Quote based PM Environmental's figure 3 drawing dated 10/25/16 and Cetco's "Liquid Boot Plus" system, approx. 225' of venting, four days of smoke testing, four mobilization's and one vent riser for each area stubbed to 2' above finished floor.

Bld does not include temporary protection, substrate prep, dewatering, third party testing, inspection and engineering. No premium time or work above vent risers included.

Thank you,
Bill Darin

SUBCONTRACTOR APPLICATION FOR PAYMENT

REC'D APR 22 2019

Subcontractor Company Name: Dixon, Inc.
Telephone: 313-535-6534
Project Name: The Pearl
Billing Period beginning: 4/1/2019

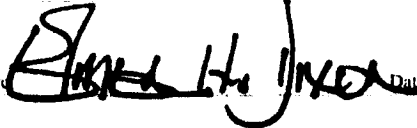
Contact Person: Danielle Ebel : Debel@dixon99.com
Fax: 313-535-6850
Location: 856 North Old Woodward Ave. Birmingham, MI 48009
Through: 4/25/2019

The undersigned certifies that to the best of their knowledge, information, and belief, the Work covered by this Subcontractor Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Subcontractor for Work for which previous Applications for Payments were issued and payments received, and that current payment shown herein is now due.

	Scheduled Value	Work Completed Previous Application	Work Completed this period	Stored Materials (Attach supplier invoice)	Completed and Stored Project to Date	%
Original Contract (from page 2)	\$ 23,220.00	\$ 7,963.95	\$ 15,256.05	\$ -	\$ 23,220.00	100%

Approved Change order (from page 3)	\$ 1,018.00	\$ 1,018.00	\$ -	\$ -	\$ 1,018.00	100%
--	-------------	-------------	------	------	-------------	------

Total Contract and Change Orders	\$ 24,238.00	\$ 8,981.95	\$ 15,256.05	\$ -	\$ 24,238.00	
---	--------------	-------------	--------------	------	--------------	--

Signature:  Date: 4/17/19

Less % retained: \$ 2,423.80
Total earned less retained: \$ 21,814.20
Less previous application: \$ 8083.76
Amount Due: \$ 13730.44

Printed Name: Elmer H. Dixon

Title: President

FOR DOUGLAS COMPANY USE ONLY

Notes:

Approvals:

Vendor # 04647
Job # 18032-0
Rev. Contract Amount
Balance to Complete
Curr. Ret. Bal.
Gross
Retention
Net

\$24,238.00
\$0.00
898.19
15,256.05
13730.44

THE DOUGLAS COMPANY				04647	DIXON INC.			132633	
DIXON INC.								November	23, 2020
DATE	JOB NO.	ACCOUNT NO.	COST CODE	DESCRIPTION	INVOICE NO.	AMOUNT	DEDUCTION		
1/25/19	18-022-0	10-10-5110.00000	07100	01/01 - 0	01/25/1	226.39	.00		
3/25/19	18-022-0	10-10-5110.00000	07100	03/01 - 0	03/25/1	101.80	.00		
4/25/19	18-022-0	10-10-5110.00000	07100	04/01 - 0	04/25/1	1525.61	.00		
12/25/18	18-022-0	10-10-5110.00000	07100	12/25/18	12/25/1	570.00	.00		
12/31/19	18-022-0	10-10-5110.00000	07100	18-022-0	18022-F	.00	.00		
11/23/20				132633	2423.80	.00	2423.80		

THE DOUGLAS COMPANY
1716 PERRYSBURG-HOLLAND RD.
HOLLAND, OH 43528

KeyBank, N.A.
NW Ohio
6-103/410

132633
DATE: November 23, 2020

PAY ONLY

242380

CENTS

\$ 2,423.80

PAY Two Thousand Four Hundred Twenty-Three and 80/100 Dollars

TO THE ORDER OF
DIXON INC.
660 WOODWARD AVE
SUITE 1945
DETROIT, MI 48226

** COPY **

THE DOUGLAS COMPANY

DIXON INC.

132633

November 23, 2020

DATE	JOB NO.	ACCOUNT NO.	COST CODE	DESCRIPTION	INVOICE NO.	AMOUNT	DEDUCTION
1/25/19	18-022-0	10-10-5110.00000	07100	01/01 - 0	01/25/1	226.39	.00
3/25/19	18-022-0	10-10-5110.00000	07100	03/01 - 0	03/25/1	101.80	.00
4/25/19	18-022-0	10-10-5110.00000	07100	04/01 - 0	04/25/1	1525.61	.00
12/25/18	18-022-0	10-10-5110.00000	07100	12/25/18	12/25/1	570.00	.00
12/31/19	18-022-0	10-10-5110.00000	07100	18-022-0	18022-F	.00	.00
11/23/20		132633	2423.80			.00	2423.80

THE DOUGLAS COMPANY
1716 PERRYSBURG-HOLLAND RD.
HOLLAND, OH 43528

KeyBank, N.A.
NW Ohio
6-103/410

132633
DATE: November 23, 2020

PAY ONLY

242380

CENTS

\$ 2,423.80

PAY Two Thousand Four Hundred Twenty-Three and 80/100 Dollars

TO THE ORDER OF
DIXON INC.
660 WOODWARD AVE
SUITE 1945
DETROIT, MI 48226

COPY

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THE DOUGLAS COMPANY
1716 PERRYSBURG-HOLLAND RD.
HOLLAND, OH 43528

KeyBank, N.A.
NW Ohio
6-103/410

132633

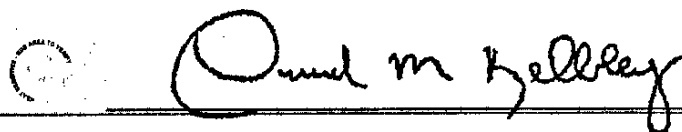
DATE: November 23, 2020

PAY ONLY 2 4 2 3 80
Two Four Two Three Eighty

\$ 2,423.80

PAY Two Thousand Four Hundred Twenty-Three and 80/100 Dollars

TO THE ORDER OF
DIXON INC.
660 WOODWARD AVE
SUITE 1945
DETROIT, MI 48226



⑈ 132633 ⑈ ⑆041001039⑆359681488094⑈

38513703 3 2020-12-23 2423.80

ADDITIONAL SECURITY FEATURES. DETAILS ON BACK.

FOR DEPOSIT ONLY to

Dixon Inc

Dixon Inc

Master

Deposited by: BS

☐ CHECK HERE IF MOBILE DEPOSITDO NOT SIGN / WRITE / STAMP BELOW THIS LINE
FOR FINANCIAL INSTITUTION USAGE ONLY

Seq: 3
Dep: 000293
Date: 12/23/20

The security features listed below exceed industry guidelines.	
Security Features:	Description:
True Watermark	Held to light to view watermark.
Invisible Fibers	Fluorescent fibers only visible under UV light.
Chemical Reactivity	Chemical alteration will result in color change to the area.
Toner Adhesion	Paper contains a toner adhesive coating. Attempts to remove or alter toner will be detectable.
Void Pantograph	When photocopied the word "void" can become visible, making it non-reproducible. This feature can be circumvented by high end color copiers & scanners.
Heat Sensitive Icon	Temperature sensitive ink will temporarily fade when exposed to warmth. Rub or breathe on area to verify.
Microprint (MP)	Endorsement microprint signature lines. Small type appears as dotted lines when copied.
Padioc Icon	Padioc icon indicates the check has security features that meet or exceed ANSI standards.
Security Screen	Screen on back with reversed text printed light to prevent copying/scanning.

© Padioc design is a certification mark of Check Payment Systems Association

38513703 3 2020-12-23 2423.80

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THE DOUGLAS COMPANY
1716 PERRYSBURG HOLLAND RD.
HOLLAND, OH 43528

KeyBank, N.A.
NW Ohio
6-103/410

128002

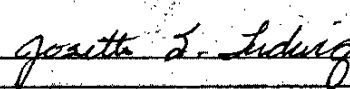
DATE: June 14, 2019

PAY ONLY  44 CENTS

\$ 13,730.44

PAY Thirteen Thousand Seven Hundred Thirty and 44/100 Dollars

TO THE ORDER OF
DIXON INC.
660 WOODWARD AVE
SUITE 1945
DETROIT, MI 48226



⑈ 128002⑈ ⑆041001039⑆359681488094⑈

65540562 5 2019-06-28 13730.44

ADDITIONAL SECURITY FEATURES. DETAILS ON BACK.

FEDERAL RESERVE NOTE Only to

Dixon Inc
Dixon Inc
Master
Deposited by: BS

DO NOT SIGN / WRITE / STAMP BELOW THIS LINE
FOR FINANCIAL INSTITUTION USAGE ONLY

Seq: 2
Dep: 000188
Date: 06/28/19



The security features listed below exceed industry guidelines.

- Security Features:**
 - True Watermark:**
 - Hold to light to view watermark.
 - Invisible Fibers:**
 - Fluorescent fibers only visible under UV light.
 - Chemical Reactivity:**
 - Chemical alteration will result in color change to the area.
 - Toner Adhesion:**
 - Paper contains a toner adhesive coating. Attempts to remove or alter toner will be detectable.
 - Void Pantograph:**
 - Paper contains a toner adhesive coating. Attempts to remove or alter toner will be detectable.
 - When photocopied the word "VOID" can become visible, making it non-negotiable. This feature can be circumvented by high end color copiers & scanners.
 - Heat Sensitive Icon:**
 - Temperature sensitive ink will temporarily fade when exposed to warmth. Rub or breathe on area to verify.
 - Microprint (MP):**
 - Endorsement microprint signature lines. Small type appears as dotted lines when copied.
 - Padlock Icon:**
 - Padlock icon indicates the check has security features that meet or exceed ANSI standards.
 - Screen on back with reversed text printed light to prevent copying/scanning.
 - Security Screen:**
 - Screen on back with reversed text printed light to prevent copying/scanning.

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65540562 5 2019-06-28 13730.44

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THE DOUGLAS COMPANY
1716 PERRYSBURG-HOLLAND RD.
HOLLAND, OH 43528

KeyBank, N.A.
NW Ohio
6-103/410

127359

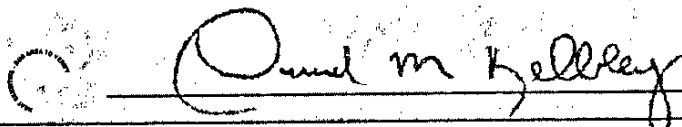
DATE: April 10, 2019

PAY **916.20**
ONLY **916.20** CENTS

\$ 916.20

PAY Nine Hundred Sixteen and 20/100 Dollars

TO THE ORDER OF
DIXON INC.
660 WOODWARD AVE
SUITE 1945
DETROIT, MI 48226



⑈ 127359⑈ ⑆041001039⑆359681488094⑈

ADDITIONAL SECURITY FEATURES.  DETAILS ON BACK.

65543129 5 2019-04-26 916.20

FOR DEPOSIT ONLY TO

Dixon Inc

Dixon Inc

Master

Deposited by: BS

DO NOT SIGN / WRITE / STAMP BELOW THIS LINE
FOR FINANCIAL INSTITUTION USAGE ONLY.

Seq: 1
Dep: 000177
Date: 04/26/19



The security features listed below exceed industry guidelines.

Security Features:

True Watermark:

- Hold to light to view watermark.

Invisible Fibers:

- Fluorescent fibers only visible under UV light.

Chemical Reactivity:

- Chemical alteration will result in color change to the area.

Toner Adhesion:

- Paper contains a toner adhesive coating. Attempts to remove or alter toner will be detectable.

Void Pantograph:

- When photocopied the word "void" can become visible, making it non-negotiable. This feature can be circumvented by high end color copiers & scanners.

Heat Sensitive Icon:

- Temperature sensitive ink will temporarily fade when exposed to warmth. Rub or breathe on area to verify.

Microprint (MP):

- Endorsement microprint signature lines. Small type appears as dotted lines when copied.

Padlock Icon:

- Padlock icon indicates the check has security features that meet or exceed ANSI standards.

Security Screen:

- Screen on back with reversed text printed light to prevent copying/scanning.

MP Padlock design is a certification mark of Check Payment Systems Association

65543129 5 2019-04-26 916.20

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THE DOUGLAS COMPANY

1716 PERRYSBURG-HOLLAND RD.
HOLLAND, OH 43528KeyBank, N.A.
NW Ohio
6-103/410

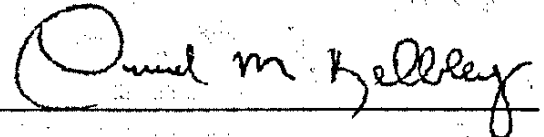
126679

DATE: February 5, 2019

PAY ONLY **5,130.00** CENTS


\$ 5,130.00

PAY Five Thousand One Hundred Thirty and 00/100 Dollars

TO THE ORDER OF
DIXON INC.
660 WOODWARD AVE
SUITE 1945
DETROIT, MI 48226

⑈ 126679 ⑈ ⑆04⑆00⑆039⑆35968⑆488094⑈

65517834 5 2019-03-15 5130.00

 The security features listed below exceed industry guidelines.

Security Features:	Description:
True Watermark	• Hold to light to view watermark.
Invisible Fibers	• Fluorescent fibers only visible under UV light.
Chemical Reactivity	• Chemical alteration will result in color change to the area.
Toner Adhesion	• Paper contains a toner adhesive coating. Attempts to remove or alter toner will be detectable.
Void Pantograph	• When photocopied the word "void" can become visible, making it non-reproducible. This feature can be circumvented by high end color copiers & scanners.
Heat Sensitive Icon	• Temperature sensitive ink will temporarily fade when exposed to warmth. Rub or breathe on area to verify.
Microprint (MP)	• Endorsement microprint signature lines. Small type appears as dotted lines when copied.
Padlock Icon	• Padlock icon indicates the check has security features that meet or exceed ANSI standards.
Security Screen	• Screen on back with reversed text printed light to prevent copying/scanning.

⑈ Padlock design is a certification mark of Check Payment Systems Association

Seq: 4
Dep: 000172
Date: 03/15/19DO NOT SIGN / WRITE / STAMP BELOW THIS LINE
FOR FINANCIAL INSTITUTION USAGE ONLY.

FOR DEPOSIT ONLY to

Dixon Inc MP

Dixon Inc MP

Master MP

Deposited by: BS MP

65517834 5 2019-03-15 5130.00

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THE DOUGLAS COMPANY
1716 PERRYSBURG-HOLLAND RD.
HOLLAND, OH 43528

KeyBank, N.A.
NW Ohio
6-103/410

126825

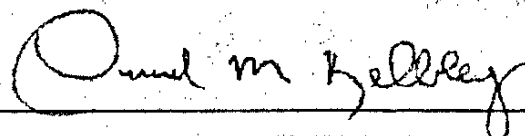
DATE: February 20, 2019

PAY  56
ONLY CENTS

\$ 2,037.56

PAY Two Thousand Thirty-Seven and 56/100 Dollars

TO THE ORDER OF
DIXON INC.
660 WOODWARD AVE
SUITE 1945
DETROIT, MI 48226



⑈ 126825⑈ ⑆041001039⑆359681488094⑈

28541341 5 2019-03-29 2037.56

ADDITIONAL SECURITY FEATURES. DETAILS ON BACK.

FUND DEPOSIT ONLY to

Dixon Inc

Dixon Inc

Master

Deposited by: BS

DO NOT SIGN / WRITE / STAMP BELOW THIS LINE
FOR FINANCIAL INSTITUTION USAGE ONLY*

Seq: 6
Dep: 000174
Date: 03/29/19



The security features listed below exceed industry guidelines.

Security Features:

Description:

- True Watermark
 - Hold to light to view watermark.
- Invisible Fibers
 - Fluorescent fibers only visible under UV light.
- Chemical Reactivity
 - Chemical alteration will result in color change to the area.
- Toner Adhesion
 - Paper contains a toner adhesive coating. Attempts to remove or alter toner will be detectable.
- Void Pantograph
 - When photocopied the word "void" can become visible, making it non-negotiable. This feature can be circumvented by high end color copiers & scanners.
- Heat Sensitive Icon
 - Temperature sensitive ink will temporarily fade when exposed to warmth. Rub or breathe on area to verify.
- Microprint (MP)
 - Endorsement microprint signature lines. Small type appears as dotted lines when copied.
- Padlock Icon
 - Padlock icon indicates the check has security features that meet or exceed ANSI standards.
- Security Screen
 - Screen on back with reversed text printed light to prevent copying/scanning.

* Padlock design is a certification mark of Check Payment Systems Association

28541341 5 2019-03-29 2037.56

PARTIAL CONDITIONAL WAIVER OF LIEN

Owner: FLS Properties #5, LLC

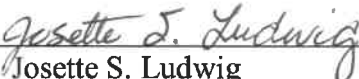
Contractor: The Douglas Company

Project: The Pearl

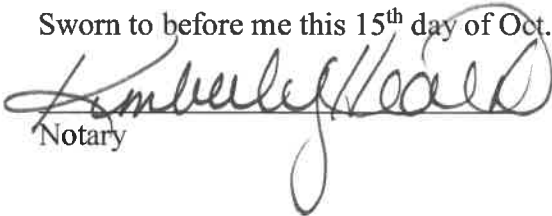
Contract: May 29, 2018

Contractor, The Douglas Company, upon the receipt of \$1,250,000.00 for Application #24 related to work through 8/25/2020 for labor, material, and services provided by Contractor in connection with the above referenced Project and Contract, Contractor will waive any and all rights that it may have to file a mechanic's lien to the extent of the sums received.

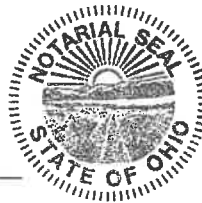
THE DOUGLAS COMPANY


By: Josette S. Ludwig
Title: Controller

Sworn to before me this 15th day of Oct., 2020


Notary

My commission expires: 3/22/2022



KIMBERLY HEATH
Notary Public - State of Ohio
My Commission Expires March 22, 2022

BROWNFIELD REIMBURSEMENT AGREEMENT

THIS AGREEMENT (the "Agreement") dated 10/27/16, is entered into between the **CITY OF BIRMINGHAM** ("City") and the **CITY OF BIRMINGHAM BROWNFIELD REDEVELOPMENT AUTHORITY** (the "Authority"), an authority established pursuant to Act 381 of Public Acts of 1996, as amended ("Act 381"), whose addresses are 151 Martin Street, Birmingham, Michigan 48009; and **FLS PROPERTIES #5 LLC** (the "Developer"), a Michigan limited liability company, whose address is 2950 Walnut Lake Road, West Bloomfield, Michigan 48323.

Recitals

A. In accordance with Act 381, the Authority has adopted a Brownfield Plan for 856 N. Old Woodward Avenue, Birmingham, Michigan, that the City Commission of the City has approved (the "Brownfield Plan").

B. The Developer owns property in the City located at 856 N. Old Woodward Avenue, Birmingham, Michigan (the "Property"), which is described on the attached Exhibit A. The Property is included in the Brownfield Plan as an eligible Property because it is a Facility due to the presence of hazardous substances on the Property as described in the Brownfield Plan.

C. The Developer plans to redevelop the Property by constructing a mixed-use residential/retail building with underground parking (the "Improvements"). The Improvements are intended to create temporary construction jobs and new full time jobs, increase the tax base of the City, and otherwise enhance the economic vitality and quality of life of the City.

D. Act 381, as amended, authorizes the Authority to reimburse a developer for the costs of Eligible Activities on Eligible Property using Tax Increment Revenues generated by the redevelopment of the property.

E. To make the Improvements on the Property, the Developer may incur costs to conduct Eligible Activities—including Baseline Environmental Assessment Activities, Due Care Activities, Additional Response Activities, and the reasonable costs to prepare the Brownfield Plan—each of which will require the services of contractors, engineers, environmental consultants, and other professionals (the “Eligible Costs”). The Developer estimates the total Eligible Costs, including contingencies, to be approximately \$2,981,610.

F. The Brownfield Plan authorizes the use of Tax Increment Revenues that are generated by Local Taxes and School Taxes imposed on the Property to reimburse the Developer for Eligible Costs.

G. The parties are entering into this Agreement to establish the procedure for reimbursing the Eligible Costs and using Tax Increment Revenues in accordance with Act 381, as amended, and the Brownfield Plan.

Accordingly, the parties agree with each other as follows:

1. The Brownfield Plan. The Brownfield Plan is attached as Exhibit B and incorporated in this Agreement. To the extent provisions of the Brownfield Plan conflict with this Agreement, this Agreement controls. To the extent provisions of the Brownfield Plan or this Agreement conflict with Act 381, as amended, Act 381 controls.

2. Term of Agreement. In accordance with the Brownfield Plan, the Authority will capture the Tax Increment Revenues generated by the Improvements on the Property to reimburse the Eligible Costs until the earlier of the date that all the Eligible Costs are fully reimbursed under this Agreement or 10 years after the date the Authority begins to capture Tax Increment Revenues under the Brownfield Plan.

3. Eligible Activities. The Authority will reimburse the Developer for Eligible Costs identified in the Brownfield Plan that were incurred before the Birmingham City Commission approves the Brownfield Plan if permitted under Act 381, as amended. The Developer must diligently pursue completion of the Eligible Activities set forth in the Brownfield Plan.

4. Reimbursement Source. During the term of this Agreement, the Authority will capture the Tax Increment Revenues generated by the Improvements from Local Taxes and School Taxes imposed on the Property and any personal property located on the Property and use those Tax Increment Revenues to reimburse the Eligible Costs (including interest) in accordance with the Brownfield Plan and this Agreement.

5. Limitations on Reimbursement. The Authority will reimburse Eligible Costs up to but not exceeding the line item costs described in the Brownfield Plan, plus a maximum of 15% contingency for each line item. The Brownfield Authority will not reimburse amounts attributable to costs of closure to residential standards estimated to be \$325,000. Reimbursable Eligible Costs will not exceed \$2,656,610, including simple interest at 3%. If relevant State of Michigan agencies do not approve the School Taxes component of the Brownfield Plan, estimated to be \$1,247,478, including simple interest at 3%, the Brownfield Authority will not reimburse the Developer for such amounts from the Local Taxes component. Reimbursement from Local Taxes will not exceed \$1,409,132, including simple interest at 3%.

6. Reimbursement Process. (a) On a quarterly basis, the Developer may submit to the Authority a request for cost reimbursement for the Eligible Costs the Developer incurred during the prior period. This request will be in the form attached as Exhibit C ("Petition"). The Petition will identify whether the Eligible Activities are: (1) Baseline Environmental Assessment Activities; (2) Due Care Activities; (3) Additional Response Activities; (4) the reasonable costs to

prepare the Brownfield Plan; or (5) interest. The Petition must describe each activity claimed as an Eligible Activity and the associated costs of that activity. Documentation of the costs incurred must be included with the Petition, including proof of payment and detailed invoices for the costs incurred sufficient to determine whether the costs incurred were for Eligible Activities. The Petition must be signed by an authorized representative of Developer.

(b) The Authority will review a Petition within 60 days after receiving the Petition. The Developer will cooperate with the Authority by providing information and documentation to supplement the Petition as requested by, and as deemed reasonable and necessary by, the Authority. Within such 60 days, the Authority will identify in writing to Developer (i) all costs approved for reimbursement, and (ii) any costs deemed ineligible for reimbursement and the basis for the determination. The Developer then has 45 days to provide supplemental information or documents to support of any costs deemed ineligible by the Authority. Within 30 days after the Developer provides the supplemental information or documents, the Authority will decide on the eligibility of the disputed cost and inform the Developer in writing of its decision. The Developer may appeal the Authority's decision pursuant to law.

(c) Twice a year, after the summer and winter taxes are collected on the Property, the Authority will capture the Tax Increment Revenues in accordance with the Brownfield Plan and will use those Tax Increment Revenues to reimburse the Developer for approved Eligible Costs (including accrued interest). The Authority is not obligated to reimburse the Developer for any approved Eligible Costs during any period of time that the Developer is delinquent in the payment of real or personal property taxes imposed on the Property or delinquent in the payment to the City for administrative, legal, or other costs invoiced to the Developer.

(d) If there are insufficient funds available from Tax Increment Revenues captured under subparagraph (c) at any time to pay all the Developer's unreimbursed Eligible Costs and accrued interest, the Authority is not required to reimburse the Developer from any other source. The Authority will, however, make additional payments toward the Developer's remaining unreimbursed Eligible Costs and accrued interest in accordance with this Agreement as Tax Increment Revenues become available under subparagraph (c).

(e) Subject to Section 5(d), payment of Eligible Costs to the Developer is not conditioned on the completion of any of the Improvements at any time or in any sequence so long as Developer is in compliance with its obligations and duties under this Agreement.

(f) The Authority will reimburse the Developer for Eligible Costs as follows:

Check shall be payable to:	FLS Properties #5 LLC
Delivered to the following address:	2950 Walnut Lake Road West Bloomfield, MI 48323 Attn: Frank Simon

By certified mail.

(g) Developer may assign its payments to any person by providing 45 days' prior notice to the Authority of such assignment. Any such assignment does not discharge or release Developer from any of its obligations and duties under this Agreement.

7. Information. The Developer will provide to the Authority any information the Authority considers necessary to fulfill any reporting obligation to the State of Michigan under Act 381, as amended.

8. Legislative Authorization. This Agreement is governed by and subject to the restrictions set forth in Act 381, as amended. If legislation is enacted in the future that alters or affects the terms of this Agreement, including, but not limited to, the amount of Tax Increment Revenues subject to capture or the definition of Eligible Property or Eligible Activity, then the

Developer's rights and the Authority's obligations under this Agreement may be modified accordingly by agreement of the parties.

9. Freedom of Information Act. All Petitions and documentation submitted by Developer are open to the public under the Freedom of Information Act, 1976 PA 442, as amended, MCL 15.231 *et seq.* The Developer will not bring any claim of trade secrets or other privilege or exception to the Freedom of Information Act related to such Petitions and documentation.

10. Plan Modification. The Brownfield Plan may be modified to the extent allowed under Act 381, as amended, by mutual agreement of the parties.

11. Notices. All notices shall be given by registered or certified mail addressed to the parties at their respective addresses as shown above. Either party may change the address by written notice sent by registered or certified mail to the other party.

12. Assignment. The interest of any party under this Agreement shall not be assignable without the other party's written consent, which shall not be unreasonably withheld, except that the Developer may assign this Agreement for purposes of securing financing for the Improvements without the prior consent of the Authority.

13. Entire Agreement; Amendment. This Agreement constitutes the entire agreement between the parties. No other agreements, written, oral, express or implied, have been made or entered into by the parties concerning the subject matter of this Agreement. This Agreement may be modified or amended only by subsequent written agreement executed by all of the parties. This Agreement has been the subject of negotiations between the parties and may not be construed against any party as drafter.

14. Non-waiver. No delay or failure by either party to exercise any right under this Agreement, and no partial or single exercise of that right, will constitute a waiver of that or any other right, unless otherwise expressly provided in this Agreement.

15. Headings. Headings in this Agreement are for convenience only and may not be used to interpret or construe its provisions.

16. Governing Law. This Agreement is to be construed in accordance with and governed by the laws of the State of Michigan.

17. Counterparts. This Agreement may be executed in two or more counterparts, each of which shall be deemed an original but all of which together constitute one and the same instrument.

18. Binding Effect. The provisions of this Agreement are binding upon and inure to the benefit of each of the parties and their respective heirs, legal representatives, successors, and assigns.

19. Definitions. Unless otherwise defined in this Agreement, the following terms have the definitions given to them by Act 381, as amended:

- (a) "Additional Response Activities" is defined by Section 2(a) of Act 381;
- (b) "Baseline Environmental Assessment" is defined by Section 2(c) of Act 381;
- (c) "Baseline Environmental Assessment Activities" is defined by Section 2(d) of Act 381;
- (d) "Brownfield Plan" is defined by Section 2(g) of Act 381;
- (e) "Due Care Activities" is defined by Section 2(l) of Act 381;
- (f) "Eligible Activities" is defined by Section 2(n) of Act 381;
- (g) "Eligible Property" is defined by Section 2(o) of Act 381;

- (h) "Facility" is defined by Section 2(q) of Act 381;
- (i) "Local Taxes" is defined by Section 2(y) of Act 381;
- (j) "School Taxes" means "taxes levied for school operating purposes" as defined by Section 2(kk) of Act 381;
- (k) "Tax Increment Revenues" is defined by Section 2(ii) of Act 381;

Subject to Section 1, if these definitions are amended during the term of this Agreement, the defined terms shall be construed to the fullest extent possible to conform to the provisions of this Agreement.

The parties have executed this Agreement of the dates set forth below.

CITY OF BIRMINGHAM

By: Racheline J. Hoff

Title: MAYOR

By: Cheryl Craft

Title: Acting City Clerk

Date: 11/16/16

**CITY OF BIRMINGHAM BROWNFIELD
REDEVELOPMENT AUTHORITY**

By: Beth Golek

Title: Chair, Brownfield Redevelopment Authority

Date: 11/15/16

FLS PROPERTIES #5 LLC

By: Jack R. Simon

Title: PRESIDENT/OWNER

Date: 11-7-16

Exhibit A

Property Description

Located in the City of Birmingham, County of Oakland, State of Michigan, and described as:

T2N, R10E, SEC 25 ASSESSOR'S PLAT NO 29 LOTS 3 & 4, ALSO PART OF NW 1/4 BEG
AT PT DIST S 88-16-00 E 10.15 FT FROM NW COR OF SD LOT 3, TH S 88-16-00 E 124.70
FT, TH N 49-21-00 W 46.41 FT, TH S 73-32-00 W 93.28 FT TO BEG

Tax ID #08-19-25-328-001

Exhibit B

Brownfield Plan

**CITY OF BIRMINGHAM
BROWNFIELD REDEVELOPMENT AUTHORITY**

BROWNFIELD PLAN

**MIXED USE DEVELOPMENT
LOCATED AT 856 NORTH OLD WOODWARD AVENUE
BIRMINGHAM, MICHIGAN**

July 26, 2016

Revised November 3, 2016

Approved by BRA: 9/27/2016

Approved by City Commission: 10/27/2016

Prepared on Behalf of:

FLS Properties #5, LLC

2950 Walnut Lake Road

Contact Person: Mr. Frank Simon

Telephone: (248) 720-0290

Prepared By:

PM Environmental, Inc.

4080 West Eleven Mile Road

Berkley, Michigan 48072

Contact Person: Elizabeth Masserang

Telephone: (248) 414-1441

PM Environmental, Inc.

4080 West Eleven Mile Road

Berkley, Michigan 48072

Contact Person: Adam Patton, CHMM

Telephone: (248) 336-9988



PROJECT SUMMARY

Project Name:	Proposed Mixed-use Development
Project Location:	The property is located at 856 North Old Woodward Avenue in Birmingham, Oakland County, Michigan.
Type of Eligible Property:	Facility
Eligible Activities:	Baseline Environmental Assessments, Due Care Activities, and Preparation of a Brownfield Plan.
Reimbursable Costs:	Up to \$2,656,610
Years to Complete Reimbursement:	Approximately 14 years is anticipated, however, the Birmingham Brownfield Redevelopment Authority (BBRA) has requested the payback period be limited to 10 years.
Estimated Capital Investment:	Approximately \$14-16 million
Project Overview:	<p>This project includes response activities for the remediation and redevelopment of a brownfield site, which currently consists of a vacant, underutilized eyesore for the city. The existing site conditions and contamination have deterred several past attempts to bring the vacant site into successful reuse.</p> <p>The proposed redevelopment entails the new construction of a mixed-use residential/retail building with underground parking. The proposed redevelopment involves significant investment. Remediation and redevelopment is anticipated to commence in late 2016/early 2017 and create 20 to 30 permanent jobs.</p>

III. BROWNFIELD PROJECT

DESCRIPTION OF THE ELIGIBLE PROPERTY AND THE PROJECT

The Eligible Property consists of one legal parcel totaling 0.57 acres with a street address of 856 North Old Woodward Avenue in Birmingham, Oakland County, Michigan and the tax ID number of 08-19-25-328-001 (the "Property").

This parcel and all tangible personal property located thereon will comprise the eligible property and is referred to herein as the "Property." The legal description is included in Appendix A.

FLS Properties #5 LLC or any affiliate, as approved by the Authority, are collectively the project developer ("Developer").

The property is currently vacant land, located between North Old Woodward Avenue and the Rouge River, south of Oak Avenue. The Property was used as a gas station from 1937 to 1940, a gift shop from 1940 to 1949, and a restaurant from 1949 to 1988, when the former building was demolished. Since that time, the property has been used as a debris and dumping site and is currently a vacant underutilized eyesore. Numerous impediments have deterred developer investment in to subject property due to known contamination and challenging geotechnical conditions.

The proposed redevelopment includes site improvements and new construction of a four story mixed-use commercial and residential property. The new building includes the creation of approximately 27 residential units with an anticipated 3,500 square feet of retail space on the first floor and underground parking. Each residential unit will range in size from 900 to 1,900 square feet. This project will result in the elimination of an eyesore in the City that has been vacant for decades. Redevelopment of this vacant underutilized property, will provide additional residential and commercial space in a key corridor, Old Woodward Avenue, as well as remediate and eliminate the existing conditions. The proposed underground parking creates a significant added cost to the developer while benefiting the surrounding area by increasing density.

Redevelopment activities are proposed for the end of 2016/early 2017. The developer will invest an estimated \$12-14 Million dollars in the redevelopment and create approximately 20-25 construction jobs, and 20-30 permanent jobs.

Appendix C includes site maps of the parcel and an eligible property boundary map. Preliminary site plans are included in Appendix D.

BASIS OF ELIGIBILITY

The Property is considered "Eligible Property" as defined by Act 381, Section 2 because: (a) the Property was previously utilized as a commercial property; and (b) the parcel comprising the Property has been determined to be a "facility."

A Baseline Environmental Assessment (BEA) was completed in September 2015 and documents the following information. A copy of the BEA text, figures, and tables are also provided in Appendix B.

- a. Excavation of up to 6,705 tons of hazardous material totaling **\$270,547**
 - i. Excavation at a cost differential of \$40.35/ton when compared to a similar excavation occurring at a greenfield site.
- b. Transport of 20,095 tons of contaminated soil totaling **\$412,553**
 - i. Transport of up to 13,390 tons of soil to a Type II Landfill at \$7/ton totaling \$93,730.
 - ii. Transport of up to 6,705 tons of hazardous material at \$47.55/ton totaling \$318,823.
- c. Disposal of 20,095 tons of contaminated soil totaling **\$1,159,735**:
 - i. Disposal of up to 13,390 tons of soil to a Type II Landfill at \$11.50/ton totaling \$153,985.
 - ii. Disposal of up to 6,705 tons of hazardous material at \$150/ton totaling \$1,005,750.
- d. Excavation equipment decon and decon waste water handling totaling **\$7,500**.
- e. Additional delineation sampling of tetrachloroethylene soil concentrations identified along the northern and eastern subject property boundaries and totaling **\$21,945**:
 - i. Mobilization, onsite labor for oversight, screening, and sample collection at an estimated \$2,550
 - ii. Consultant equipment and supplies at an estimated \$600
 - iii. Data evaluation and project management for reporting at an estimated \$3,500
 - iv. Drilling and operations at an estimated \$5,275
 - v. Lab analysis of 36 samples for VOCs at an estimated \$2,520
 - vi. Project management associated with hazardous material at an estimated \$7,500
- f. Associated excavation oversight, excavation verification sampling, and reporting accounts for the following and totaling **\$28,475**:
 - i. Mobilization, oversight, and sample collection at an estimated \$12,375.
 - ii. Consultant Equipment and Supplies at an estimated \$1,200.
 - iii. Data Evaluation, project management, and report preparation at an estimated \$4,500.
 - iv. Sampling for VOCs, PNAs, PCBs, Michigan 10 metals at an estimated \$9,800 (28 samples at \$350/sample)
 - v. Up to one sample for TCLP at an estimated \$600.
- g. Management and disposal of up to 30,000 gallons of contaminated groundwater and totaling **\$49,260**
 - i. On-site storage management at an estimated \$7,500.
 - ii. Disposal at an estimated \$1.40 per gallon, totaling \$41,760.

Plan accounts only for the added expense of proper transport and disposal of contaminated soils at a Type II Landfill. In comparison, should the soils anticipated for removal have been clean (as assumed if found on a greenfield site), the cost to the developer would be zero sum (i.e. the coordination of disposal costs negated by the successful reuse at another site). A portion of contaminated soils (approximately 6,705 of the identified 20,095 tons), located along the northern property boundary are anticipated to require disposal as a listed hazardous waste.

Excavation Equipment Decon and Decon Wastewater Handling

It will be required that all excavation equipment is decontaminated because site soils are contaminated. Costs included within this estimate account for mud mat and truck waste removal from excavation equipment which is necessary to prevent migration of contamination off-site.

Additional delineation and sampling of Tetrachloroethylene soils

Additional delineation activities are to be completed to fully define the extent of the hazardous waste concentrations to allow compliant handling and disposal and to avoid over excavation of soils at the increased hazardous waste disposal rate.

Associated excavation oversight, verification sampling, and reporting

Assessment, oversight, sampling, and reporting is also included to document and verify site conditions following soil removal activities and provide guidance for the removal of soil identified as listed hazardous waste.

Transport and disposal of contaminated groundwater

Development activities require the excavation of/handling of groundwater present within excavated areas of the subject property; therefore, the developer is required to properly to handle and dispose of contaminated media encountered/generated in association with the proposed redevelopment. This is necessary to ensure successful completion of project.

The incremental difference between clean versus dirty pumping and digging cannot be substantiated. Therefore, the requested expenses are only associated with additional costs required for the on-site storage management and disposal of contaminated groundwater.

Installation of a vapor barrier and gaskets resistant to chemical breakdown

This brownfield plan includes the installation of a chemically resistant vapor barrier with passive venting prior to occupancy. The installation of a vapor barrier will occur to control migration via potential preferential vertical migration pathways including stairwells and elevator pits covering an estimated 20,000 square feet of floor space and 1,500 square feet of the northwestern wall following the proposed soil removal. This also includes the installation of gaskets resistant to chemical breakdown by the identified contamination. PCE contaminated soils are being removed; however, PCE concentrations will not be completely remediated by the removal activities.

D. Method of Financing and Description of Advances by the Municipality

Redevelopment activities at the property will be funded by FLS Properties #5 LLC. Costs for eligible activities funded by FLS Properties #5 LLC will be repaid with incremental taxes generated by future development of the property and administered through the BBRA. No advances will be made by the BBRA for this project. All reimbursements authorized under this Brownfield Plan shall be governed by the Reimbursement Agreement.

E. Maximum Amount of Note or Bonded Indebtedness

No note or bonded indebtedness will be incurred by any local unit of government for this project.

F. Duration of Brownfield Plan

In no event shall the duration of the Plan exceed 35 years following the date of the resolution approving the Plan, nor shall the duration of the tax capture exceed the lesser of the period authorized under subsection (4) and (5) of Section 13 of Act 381 or 30 years. Further, in no event shall the beginning date of the capture of tax increment revenues be later than five years after the date of the resolution approving the Plan.

Under approval granted by the BBRA, a reimbursement period limitation of 10 years has been imposed.

G. Effective Date of Inclusion in Brownfield Plan

The Property will become part of this Plan on the date this Plan is approved by the City of Birmingham City Commission.

H. Displacement/Relocation of Individuals on Eligible Property

There will be no displacement or relocation of persons or businesses under this Plan.

I. Local Site Remediation Revolving Fund ("LSRRF")

The BBRA has not established a Local Site Remediation Revolving Fund (LSRRF), therefore, use of a Local Site Remediation Revolving Fund is not part of the scope of this project.

J. Other Material that the Authority or Governing Body Considers Pertinent

The Developer and its affiliates shall comply with all applicable laws, ordinances, executive orders, or other regulations imposed by the City or any other properly constituted governmental authority with respect to the Property and shall use the Property in accordance with this Plan.

LEGAL DESCRIPTION

T2N, R10E, SEC 25 ASSESSOR'S PLAT NO 29 LOTS 3 & 4, ALSO PART OF NW 1/4 BEG AT
PT DIST S 88-16-00 E 10.15 FT FROM NW COR OF SD LOT 3, TH S 88-16-00 E 124.70 FT, TH
N 49-21-00 W 46.41 FT, TH S 73-32-00 W 93.28 FT TO BEG



Detroit
4080 W. 11 Mile Road
Berkley, MI 48072
f: 877.884.6775
t: 248.336.9988

Lansing
3340 Ranger Road
Lansing, MI 48906
f: 877.884.6775
t: 517.321.3331

Grand Rapids
560 5th Street NW,
Suite 301
Grand Rapids, MI 49504
f: 877.884.6775
t: 616.285.8857

September 4, 2015

District Supervisor
Michigan Department of Environmental Quality
Southeastern Michigan District Office
27700 Donald Court
Warren, Michigan 48092

**RE: Baseline Environmental Assessment for the Vacant Land located at
856 North Old Woodward Avenue, Birmingham, Michigan
Parcel ID: 08-19-25-328-001
PM Environmental, Inc. Project No. 01-5889-0-001**

Dear District Supervisor:

Enclosed is a copy of the Baseline Environmental Assessment prepared for the above referenced subject property in accordance with Section 20126(1)(c) of Part 201, Environmental Remediation, of the Natural Resources and Environmental Protection Act (NREPA), P.A. 451 of 1994 (Part 201), as amended.

If you have any questions regarding the information in this report, please contact us at 248-336-9988.

Sincerely,
PM ENVIRONMENTAL, INC.

Nicole Kane
Staff Scientist

Jennifer Ritchie, CPG
Regional Site Investigation Manager

Enclosure

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1.0 INTRODUCTION AND DISCUSSION

PM Environmental, Inc. (PM) completed a Baseline Environmental Assessment (BEA) for the vacant land (Parcel ID: 08-19-25-328-001) located at 856 North Old Woodward Avenue, Birmingham, Oakland County, Michigan 48009 (hereafter referred to as the subject property). The subject property consists of one 0.57 acre parcel and is located east of North Old Woodward, west of the Rouge River and Woodward Avenue, and south of Oak Avenue (Figure 1). The subject property consists of vacant land with asphalt paved parking in the northeastern portion, remnants of a building foundation in the northern portion, and grass in the remaining portions (Figure 2). The property has a down-gradient slope from North Old Woodward Avenue east to where it adjoins the Rouge River, which is an elevation difference of approximately 15 feet.

Standard and other historical sources documented that the subject property was developed in at least 1937 with a gasoline dispensing station and one other structure, likely a residential dwelling, in the northern and eastern portions of the subject property. In 1940, the gasoline dispensing station was converted to a gift shop. By 1946, a residential dwelling was reportedly converted into a tea room and restaurant in the western portion of the subject property. The gift shop appears to have been demolished by 1949. The tea room and restaurant operated until 1988, when the commercial building was demolished.

1.1 Owner/Operator Information

FLS Properties #5, LLC, P.O. Box 689, Bloomfield Hills, Michigan 48303 purchased the property July 28, 2015.

1.2 Intended Use of the Subject Property

FLS Properties #5, LLC intends to redevelop the property for mixed commercial and residential use with no significant chemical use and storage greater than household quantities. The proposed building will consist of open underground parking, first floor parking with limited commercial space, and second, third, and fourth floor residential apartments. The intended use is consistent with a residential and nonresidential property use in accordance with Part 201.

Municipal water and sewer, as well as natural gas, and electrical utilities are available to the subject property. No water supply wells exist or will be installed in association with the subject property.

1.3 Summary of All Appropriate Inquiry Phase I Environmental Assessment

ASTI Environmental (ASTI) performed a Phase I Environmental Site Assessment (ESA) for the subject property dated April 10, 2015, in conformance with the scope and limitations of ASTM Practice E 1527-13 (i.e., the 'ASTM Standard'). A copy of the April 2015 Phase I ESA, including photographs of the subject property, is included in Appendix A.

The following onsite recognized environmental conditions (RECs) were identified in ASTI's April 2015, Phase I ESA:

- Review of historical records document that the subject property was occupied by a gasoline dispensing station from at least 1937 to 1940. No records are available documenting the presence or removal of former underground storage tanks (USTs). No documentation of site assessment activities were available for review documenting

proximity of the west adjoining property to the subject property, the potential exists that contamination has migrated onto the property.

1.3.1 Phase I ESA Exceptions or Deletions

There were no exceptions or deletions from the Federal All Appropriate Inquiry Rule under 40 CFR 312, or the ASTM Standard during the completion of the ASTI's April 2015 Phase I ESA. No special terms or conditions applied to the preparation of the Phase I ESA.

1.3.2 Phase I ESA Data Gaps

ASTI did not identify any significant data gaps during the completion of the April 2015 Phase I ESA.

1.4 Summary of Previous Site Investigations

PM reviewed the following previous environmental reports for the subject property which are included within ASTI's April 2015 Phase I ESA, which is included within Appendix A. Tables and figures from the previous subsurface investigations are included within Appendix B.

Name of Report	Date of Report	Company that Prepared Report
Phase I ESA	October 23, 2006	Soils and Materials Engineers, Inc. (SME)
BEA	November 6, 2006	SME

Phase I ESA, October 2006, SME – SME completed a Phase I ESA dated October 23, 2006. At the time of SME's Phase I ESA, the subject property was vacant land. SME identified RECs in association with the 1) debris and fill material located on the subject property; 2) the fuel oil tank identified in historical records; 3) volatile organic compounds (VOCs) and lead detected in soil and groundwater samples collected from the subject property above the Part 201 Residential and Nonresidential cleanup criteria; and, 4) the north adjoining dry cleaner.

BEA, November 2006, SME – SME completed a BEA dated November 6, 2006. The BEA summarizes subsurface investigation activities completed by SME on September 26, 2006 to assess the RECs identified in the September 2006 Phase I ESA, a Geotechnical Investigation report dated October 20, 2006 completed as part of a proposed future development at the time, and two previous subsurface investigations completed in 2002 and 2005.

On September 26, 2006 SME completed a scope of work that consisted of the advancement of seven soil borings (SP1 through SP7), the installation of four temporary monitoring wells (SP1, SP2, SP4, and SP7), and the collection of six soil samples and three groundwater samples for laboratory analysis of VOCs, polynuclear aromatic compounds (PNAs), and metals (cadmium, chromium, and lead) to assess the RECs identified in the September 2006 Phase I ESA. Concentrations of benzene, tetrachloroethene, and xylenes were detected in the soil sample collected at SP6 (7.0-8.0 feet bgs) above the Part 201 Residential and Nonresidential Drinking Water Protection (DWP) and Groundwater Surface Water Interface Protection (GSIP) cleanup criteria. Concentrations of benzene, lead, and MTBE were detected in the groundwater samples collected at SP2 and SP7 above the Part 201 Residential and Nonresidential Drinking Water (DW) and Groundwater Surface Water Interface (GSI) cleanup criteria. No other concentrations of

1.5 Current Site Investigation

Prior to the commencement of field activities, MISSDIG, a utility locating service, was contacted to locate utilities on or adjacent to the subject property. Utilities were marked by the respective utility companies where they entered or were located adjacent to the subject property. In addition, PM cleared all soil boring locations of private utilities with ground penetrating radar (GPR).

1.5.1 Geophysical Survey Investigation

On August 11, 2015 PM completed a geophysical survey utilizing GPR at the subject property (Figure 2) to investigate the presence of potential orphan USTs. The Geophysical Survey Investigation Report is included as Appendix C.

No anomalies consistent with orphan USTs were identified. A suspect fill port pipe was visually identified during PM's GPR survey in the central portion of the subject property and the pipe was traced using a PL 2000 cable locator. PM advanced a shallow hand auger to 5.0 feet bgs in the area where the pipe terminated, and no anomalies were encountered.

Based upon the results of PM's GPR survey, orphan USTs are not believed to be present at the subject property. However, the potential exists that USTs could be present and not identified by the GPR survey if the location was directly below a limitation as indicated within the GPR report, located outside of the survey area, and/or deeper than the 3.5 feet bgs physical limits of the GPR survey. If orphan USTs are identified during redevelopment activities, the UST will be properly removed in accordance with state guidelines.

1.5.2 Subsurface Investigation

On August 13, 2015 PM completed a scope of work consisting of the advancement of six soil borings (SB-1 through SB-6), the installation of two temporary monitoring wells (TMW-1 and TMW-2), the installation of six soil gas sampling points (SG-1 through SG-6), and the collection of seven soil samples, two groundwater samples, and six soil gas samples for laboratory analysis of VOCs, PNAs, polychlorinated biphenyls (PCBs), and Michigan Ten Metals (arsenic, barium, cadmium, chromium, copper, lead, mercury, selenium, silver, and zinc), and methane, or some combination thereof, to assess the RECs identified in ASTI's April 2015 Phase I ESA.

Figures 3, 4, and 5 depict the location of the soil borings/temporary monitoring wells/soil gas sampling points installed at the subject property by PM along with a summary of the analytical results.

The soil boring logs, which depicts site-specific geology, PID readings, and soil, groundwater, and soil gas sample intervals are included within Appendix D.

The table below summarizes the Phase II ESA activities conducted by PM, including location, sample depth, analysis, objective, and sample selection justification.

Location and Total Depth (feet bgs)	Sample/ Screen Depth [DTW] (feet bgs)	Analysis	Objectives	Sample Selection (Justification)
SB/SG-6 (20.0)	Soil 4.0-5.0	VOCs, PNAs, PCBs, and Michigan Ten Metals	Assess fill material and migration of contamination from northeast adjoining open LUST site	Soil: A sample was collected at concrete debris. GW: Not encountered. Soil Gas: Sampled.
	Soil Gas 5.5	Methane	Assess a potential vapor intrusion condition	

bgs – below ground surface; DTW – depth to water; GW – Groundwater

1.5.3 Investigation Techniques and Quality Control/Quality Assurance (QA/QC)

The soil borings were advanced to the desired depth using a model 6712-DT Geoprobe® drill rig. Soil sampling was performed for soil classification, verification of subsurface geologic conditions, and for investigating the potential and/or extent of soil and groundwater contamination at the subject property. Soil samples were generally collected on a continuous basis using a 5-foot long macro-core sampler.

During drilling operations, the drilling equipment was cleaned to minimize the possibility of cross contamination. These procedures included cleaning equipment with a phosphate free solution (i.e., Alkanox®) and rinsing with distilled water after each sample collection. Drilling and sampling equipment was also cleaned in this manner prior to initiating field activities. Soil collected from 1-foot sample intervals was screened using a photoionization detector (PID) to determine if VOCs were present. Soil from specific depths was placed in plastic bags and allowed to volatilize. The headspace within each bag was then monitored with the PID. The PID is able to detect trace levels of organic compounds in the air space within the plastic bag. Soil samples for VOC analysis were preserved with methanol, in accordance with U.S. Environmental Protection Agency (EPA) method 5035.

Temporary monitoring wells were installed at two of the six soil boring locations (TMW-1 and TMW-2) for groundwater sample collection. At each location, a new well assembly, consisting of a 5-foot 0.010-inch slot, schedule 40, poly-vinyl chloride (PVC) screen and PVC casing was lowered into the borehole to intersect the water table. After the screen for the well was set to the desired depth, an artificial sand pack or natural sands were allowed to collapse around the well screen. The groundwater samples were collected with care taken to avoid the potential for cross contamination between the samples and to prevent loss of volatiles to the atmosphere. The groundwater samples for laboratory analyses were transferred directly from the low-flow pump discharge line into appropriately labeled sample containers with Teflon lined lids. Purge water was maintained separate and returned to the wells.

The soil and groundwater samples were placed in appropriately labeled containers with Teflon® lined lids and/or sanitized glass jars and then placed in an ice-packed cooler and transported under chain of custody procedures for laboratory analysis within applicable holding times.

with the MDEQ Residential and Nonresidential Vapor Intrusion Screening Levels (VISLs) as presented in the Guidance Document for the Vapor Intrusion Pathway, dated May 2013.

The analytical results from the site investigation activities completed by PM are summarized in Tables 1 through 4 (including CAS#) and on Figures 3 through 5. Appendix E contains the laboratory analytical report.

Summary of Soil/Groundwater/Soil Gas Exceedances

Location and Total Depth (feet bgs)	Sample/Screen Depth [DTW] (feet bgs)	Analysis	Objectives	MDEQ Part 201 Generic Cleanup Criteria and/or VISLs Exceedances
SB/TMW/SG-1 (20.0)	Soil 5.5-6.5	VOCs, PNAs, PCBs, and Michigan Ten Metals	Assess fill material and former fuel oil tank	Arsenic: DWP, GSIP, (R) DC
	GW 5.00-10.00 [6.57]	VOCs, PNAs, and Michigan Ten Metals		Silver: GSI
	Soil Gas 5.5	Methane	Assess a potential vapor intrusion condition	NONE
SB/TMW/SG-2 (20.0)	Soil 6.0-7.0	VOCs, PNAs, PCBs, and Michigan Ten Metals	Assess fill material and former gasoline dispensing operations	Arsenic: DWP, GSIP, (R) DC Selenium: GSIP
	GW 10.00-15.00 [12.57]	VOCs, PNAs, and Michigan Ten Metals		Silver: GSI
	Soil Gas 4.5	VOCs	Assess a potential vapor intrusion condition	NONE
SB/SG-3 (20.0)	Soil: 19.0-20.0	VOCs, PNAs, PCBs, and Michigan Ten Metals	Assess fill material and potential migration of contamination from west adjoining former gasoline service station	Arsenic: DWP, GSIP, (R) DC Chromium: GSIP
	Soil Gas 3.5	VOCs and Methane	Assess a potential vapor intrusion condition	NONE
SB/SG-4 (20.0)	Soil: 7.5-8.5	VOCs, PNAs, PCBs, and Michigan Ten Metals	Assess fill material, former gasoline dispensing operations, and migration of contamination from north adjoining dry cleaner	Tetrachloroethene: DWP, GSIP Arsenic: DWP, GSIP, (R) DC Selenium: GSIP
	Soil: 13.0-14.0			Tetrachloroethene: DWP Arsenic: DWP, GSIP, (R) DC Chromium: GSIP
	Soil Gas 7.5	VOCs and Methane	Assess a potential vapor intrusion condition	NONE

above the laboratory MDLs, but below the Michigan Statewide Default Background Levels (SDBLs). No concentrations of barium, cadmium, copper, lead, mercury, silver, and zinc were detected in any of the soil samples collected from the subject property above the laboratory MDLs, the Michigan SDBLs, and/or the most restrictive Part 201 Residential cleanup criteria.

2.2 Groundwater Analytical Results

The groundwater analytical results are summarized in Table 3 and on Figure 4.

No concentrations of VOCs and PNAs were detected in any of the groundwater samples collected from the subject property above the laboratory MDLs.

Concentrations of silver were detected in both groundwater samples collected from the subject property above the Part 201 GSI cleanup criteria. No concentrations of arsenic, barium, cadmium, chromium, copper, lead, mercury, and zinc were detected in the groundwater samples collected from the subject property above the laboratory MDLs and/or the most restrictive Part 201 Residential cleanup criteria.

2.3 Soil Gas Analytical Results

The soil gas analytical results are summarized in Table 4 and on Figure 5.

A concentration of tetrachloroethylene was detected in the soil gas sample collected at SG-5 (3.5 feet bgs) above the Part 201 Residential VISLs, and not ten times below the Part 201 Nonresidential VISLs. A concentration of tetrachloroethylene was detected in the soil gas sample collected at SG-4 (7.5 feet bgs) below the Part 201 Residential and Nonresidential VISLs, but not at a concentration ten times below the Part 201 Residential VISLs. No concentrations of tetrachloroethylene were detected in the remaining soil gas samples collected from the subject property. Concentrations of m-dichlorobenzene and trichloroethylene were detected in the soil gas samples collected at SG-3 (3.5 feet bgs) and/or SG-5 (3.5 feet bgs) below the Part 201 Residential and Nonresidential VISLs, but not at concentrations ten times below the Part 201 Residential VISLs. Various concentrations of other VOCs were detected in the remaining soil gas samples collected from the subject property above the laboratory MDLs, but below the Part 201 Residential and Nonresidential VISLs and at concentrations ten times below the Residential VISLs.

No concentrations of methane were detected in the selected soil gas samples collected from the subject property above the laboratory MDLs.

Based on the planned redevelopment of the subject property for residential use, further investigation may be warranted of the soil gas concentrations detected at SG-3, SG-4, and SG-5 that are not below the Residential VISLs and/or ten times below the Residential VISLs. Further investigation would be contingent upon the future site plans and remediation activities.

2.4 Subject Property Facility Status

A location where a hazardous substance is present in excess of the concentrations, which satisfy the requirements of subsection 20120a(1)(a) or (17), is a facility pursuant to Part 201. Section 20120a(1)(a) requirements are the Cleanup Criteria for unrestricted residential usage.

4.1 Summary Data Tables

The analytical results were compared with the MDEQ cleanup criteria and Screening Levels as presented in Part 201 Rules 299.1 through 299.50, dated August 30, 2014 entitled "Cleanup Criteria Requirements for Response Activity", in accordance with Section 20120a(1) using the Residential and Nonresidential cleanup criteria. PM compared the soil gas analytical results collected during PM's August 2015 site investigation with the MDEQ Residential and Nonresidential VISLs as presented in the Guidance Document for the Vapor Intrusion Pathway, dated May 2013.

The soil, groundwater, and soil gas analytical results as compared to current cleanup criteria are summarized in Tables 1 through 4. A summary of Part 201 cleanup criteria exceedances are included in Section 2.0.

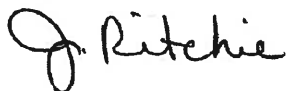
4.2 Laboratory Reports and Chain of Custody Documentation

Soil, groundwater, and soil gas samples collected were submitted to Brighton Analytical, LLC in Brighton, Michigan for chemical analysis under chain of custody procedures and within applicable holding times. Refer to the laboratory analytical in Appendix E for the associated chain of custody documentation.

5.0 IDENTIFICATION OF BEA AUTHOR

This BEA was conducted on September 4, 2015, by Ms. Nicole Kane and reviewed by Ms. Jennifer Ritchie, CPG, Regional Manager of Site Investigation Services, PM Environmental, Inc., which is prior to or within 45 days of becoming the owner or operator. Qualification statements are provided as Appendix G.

I declare that, to the best of my professional knowledge and belief, I meet the definition of *Environmental Professional* as defined in §312.10 of 40 CFR 312 and I have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property. I have developed and performed the all appropriate inquiries in conformance with the standards and practices set forth in 40 CFR Part 312.

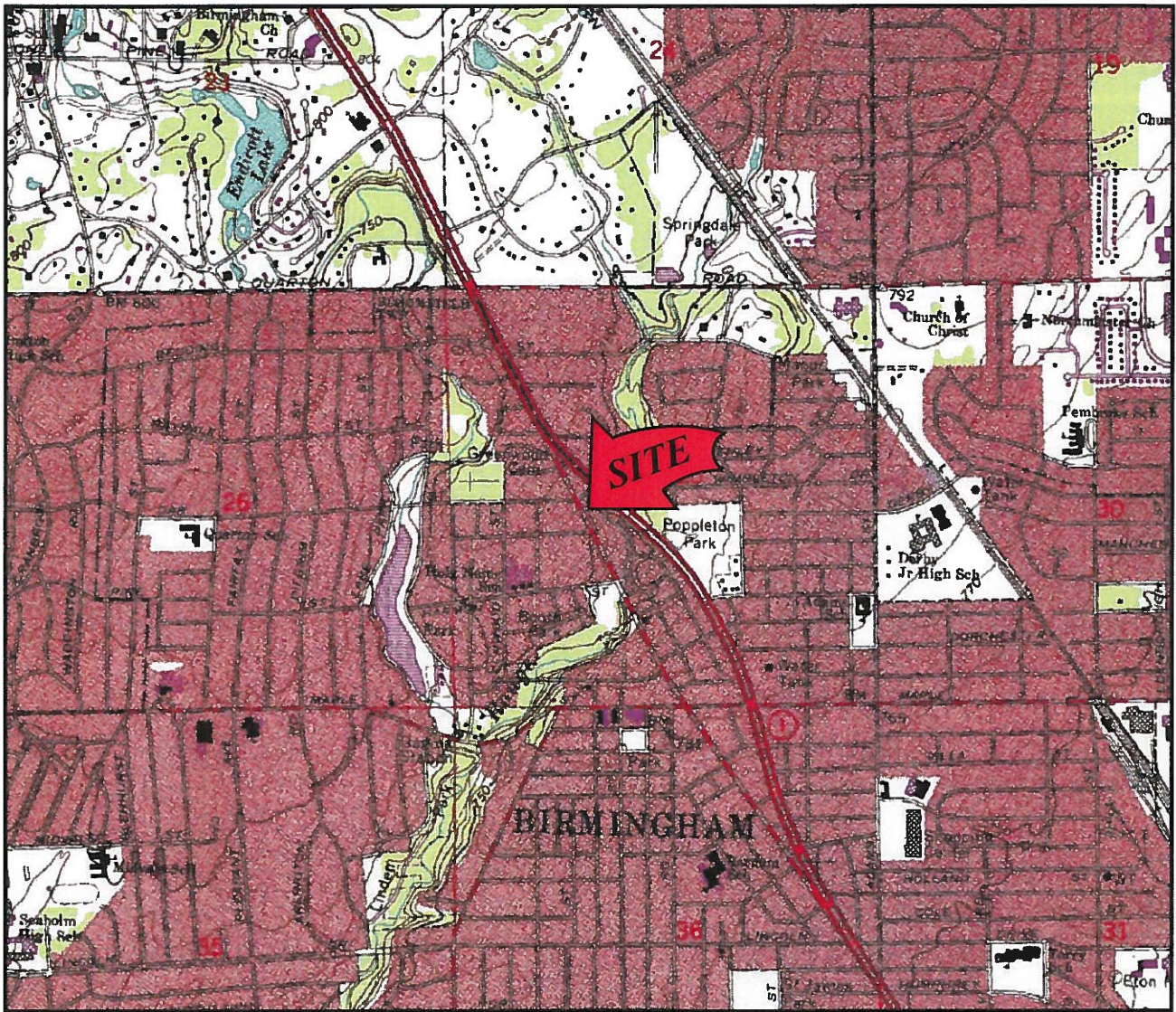


Jennifer L. Ritchie, CPG
Regional Site Investigation Manager

6.0 AAI REPORT OR ASTM PHASE I ESA

As indicated in Section 1.3, ASTI performed a Phase I ESA of the subject property dated April 10, 2015, in accordance with the United States Environmental Protection Agency (EPA) 40 CFR Part 312: Standards and Practices for All Appropriate Inquiries; Final Rule (AAI) and the scope and limitations of ASTM Practice E 1527-13 of the subject property (Parcel ID: 08-19-25-328-001) located at 856 North Old Woodward Avenue, Birmingham, Oakland County, Michigan 48009. The scope of the Phase I ESA included consideration of hazardous substances as defined in Section 20101(1)(y) of P.A 451 of 1994, as amended, and constituted the performance of an All Appropriate Inquiry in conformance with the standards and practices set forth in 40 CFR Part 312.

A copy of ASTI's April 10, 2015 Phase I ESA is included in Appendix A.



OAKLAND COUNTY



FIGURE 1
PROPERTY VICINITY MAP
USGS, 7.5 MINUTE SERIES
BIRMINGHAM, MI QUADRANGLE, 1968. PHOTO REVISED 1981.



PROJ: VACANT LAND
856 NORTH OLD
WOODWARD AVENUE
BIRMINGHAM MI

THIS IS NOT A LEGAL
SURVEY

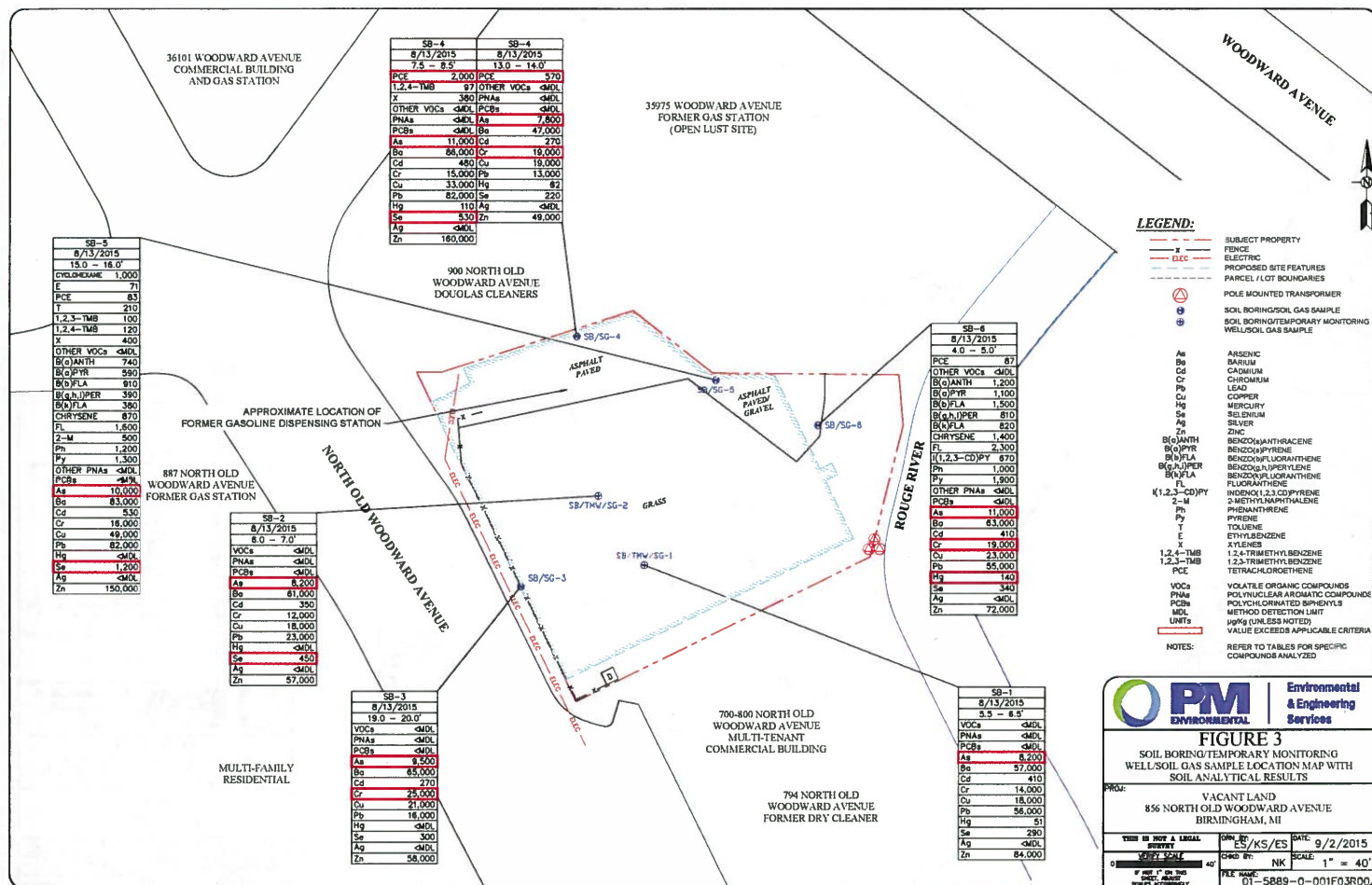
VERIFY SCALE
0 2,000'

IF NOT 1" ON THIS
SHEET, ADJUST
SCALES ACCORDINGLY.

DRN BY: ES DATE: 8/13/2015

CHKD BY: NK SCALE: 1" = 2,000'

FILE NAME: 01-5889-0-001F01R00



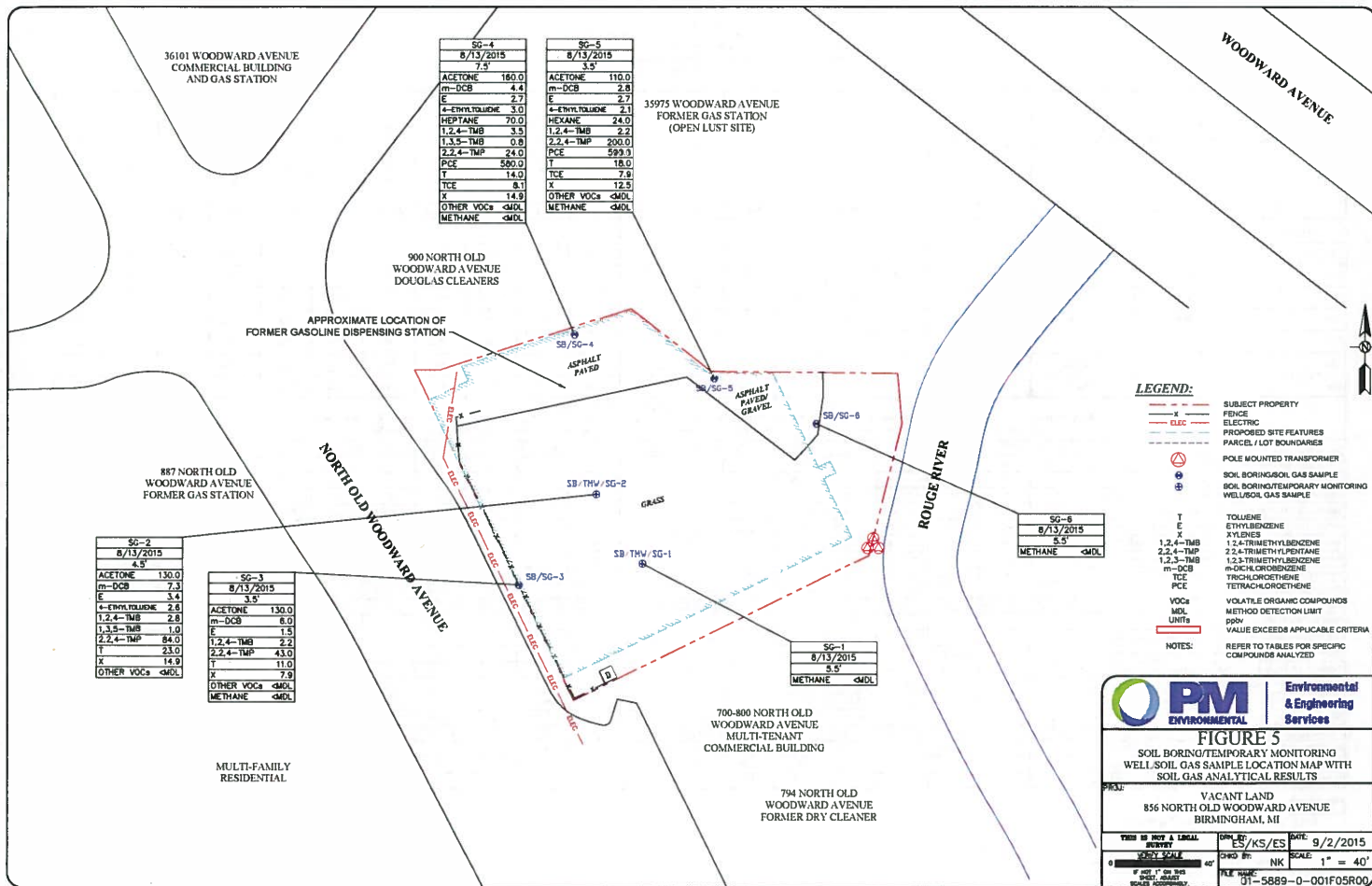


TABLE 2
SUMMARY OF SOIL ANALYTICAL RESULTS
POLYCHLORINATED BIPHENYLS AND MICHIGAN TEN METALS
856 NORTH OLD WOODWARD AVENUE, BIRMINGHAM, MICHIGAN
PM PROJECT # 01-5889-0-001

POLYCHLORINATED BIPHENYLS (PCBs) AND MICHIGAN TEN METALS (µg/Kg)			PCBs	Arsenic	Barium	Cadmium	Chromium	Copper	Lead	Mercury	Selenium	Silver	Zinc
Chemical Abstract Service Number (CAS#)			1336363	7440382	7440393	7440439	16065831	7440508	7439921	7439976	7782492	7440224	7440866
Sample ID	Sample Date	Sample Depth (feet bgs)	PCBs	Michigan Ten Metals									
SB-1	8/13/2015	5.5-6.5	ND	8,200	57,000	410	14,000	18,000	56,000	51	290	<100	84,000
SB-2	8/13/2015	6.0-7.0	ND	8,200	61,000	350	12,000	18,000	23,000	<50	450	<100	57,000
SB-3	8/13/2015	19.0-20.0	ND	9,500	65,000	270	25,000	21,000	18,000	<50	300	<100	58,000
SB-4	8/13/2015	7.5-8.5	ND	11,000	86,000	480	15,000	33,000	82,000	110	530	<100	160,000
SB-4	8/13/2015	13.0-14.0	ND	7,800	47,000	270	19,000	19,000	13,000	62	220	<100	49,000
SB-5	8/13/2015	15.0-16.0	ND	10,000	83,000	530	16,000	49,000	82,000	<50	1,200	<100	150,000
SB-6	8/13/2015	4.0-5.0	ND	11,000	63,000	410	19,000	23,000	55,000	140	340	<100	72,000
Cleanup Criteria Requirements for Response Activity (R 299.1 - R 299.50) Generic Soil Cleanup Criteria Tables 2 and 3: Residential and Non-Residential Part 201 Generic Cleanup Criteria and Screening Levels/Part 213 Risk-Based Screening Levels, December 30, 2013 MDEQ Guidance Document For The Vapor Intrusion Pathway, Policy and Procedure Number: 09-017, Appendix D Vapor Intrusion Screening Values, May 2013													
Residential (µg/Kg)													
Statewide Default Background Levels	NA	5,800	75,000	1,200	18,000	32,000	21,000	130	410	1,000	47,000		
Drinking Water Protection (Res DWP)	NLL	4,800	1.30E+06	8,000	30,000	5.80E+06	7.00E+05	1,700	4,000	4,500	2.40E+06		
Groundwater Surface Water Interface Protection (GSIP)	NLL	4,800	1.3E+06 (G)	7,700 (G)	3,300	1.8E+06 (G)	8.2E+06 (G)	50 (M); 1.2	400	100 (M); 27	3.9E+05 (G)		
Soil Volatilization to Indoor Air Inhalation (Res SVII)	3.0E+06	NLV	NLV	NLV	NLV	NLV	NLV	48,000	NLV	NLV	NLV		
Ambient Air Infinite Source Volatile Soil Inhalation (Res VSI)	2.40E+05	NLV	NLV	NLV	NLV	NLV	NLV	52,000	NLV	NLV	NLV		
Ambient Air Finite VSI for 5 Meter Source Thickness	7.9E+06	NLV	NLV	NLV	NLV	NLV	NLV	52,000	NLV	NLV	NLV		
Ambient Air Finite VSI for 2 Meter Source Thickness	7.9E+06	NLV	NLV	NLV	NLV	NLV	NLV	52,000	NLV	NLV	NLV		
Ambient Air Particulate Soil Inhalation (Res PSI)	5.2E+06	7.20E+05	3.30E+08	1.70E+06	2.80E+05	1.30E+08	1.00E+08	2.00E+07	1.30E+08	6.70E+06	ID		
Direct Contact (Res DC)	(T)	7,800	3.70E+07	5.50E+05	2.50E+06	2.00E+07	4.00E+05	1.80E+05	2.80E+06	2.50E+06	1.70E+06		
Nonresidential (µg/Kg)													
Drinking Water Protection (Nonres DWP)	NLL	4,800	1.30E+06	8,000	30,000	5.80E+06	7.00E+05	1,700	4,000	4,500	5.00E+06		
Soil Volatilization to Indoor Air Inhalation (Nonres SVII)	1.8E+07	NLV	NLV	NLV	NLV	NLV	NLV	88,000	NLV	NLV	NLV		
Ambient Air Infinite Source Volatile Soil Inhalation (Nonres VSI)	8.10E+05	NLV	NLV	NLV	NLV	NLV	NLV	82,000	NLV	NLV	NLV		
Ambient Air Finite VSI for 5 Meter Source Thickness	2.8E+07	NLV	NLV	NLV	NLV	NLV	NLV	82,000	NLV	NLV	NLV		
Ambient Air Finite VSI for 2 Meter Source Thickness	2.8E+07	NLV	NLV	NLV	NLV	NLV	NLV	82,000	NLV	NLV	NLV		
Ambient Air Particulate Soil Inhalation (Nonres PSI)	6.5E+06	9.10E+05	1.50E+08	2.20E+08	2.40E+05	5.90E+07	4.40E+07	8.80E+06	5.90E+07	2.90E+06	ID		
Direct Contact (Nonres DC)	(T)	37,000	1.30E+08	2.10E+06	9.20E+06	7.30E+07	9.0E+05 (DD)	5.80E+05	9.80E+06	9.00E+06	6.30E+06		
Screening Levels (µg/Kg)													
Soil Saturation Concentration Screening Levels (C _{sat})	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
Residential Vapor Intrusion Soil Screening Levels (S _{v,i,r})	1,900	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL
Nonresidential Vapor Intrusion Soil Screening Levels (S _{v,i,nr})	39,000	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL

Applicable Criterion/RBSL Exceeded
 BOLD Value Exceeds Applicable Criterion/RBSL
 bgs Below Ground Surface (feet)
 ND Non-detected at levels above laboratory method detection limit (MDL)
 NA/NL/ID Not Applicable/Not Listed/Insufficient Data
 NLL/NLV Not Likely to Leach/Not Likely to Volatilize
 (G) Metal GSIP Criteria for Surface Water Not Protected for Drinking Water Use based on 418 mg/L CaCO₃ Hardness: Station ID 630003, Rouge River, near Troy, MI

TABLE 4
SUMMARY OF SOIL VAPOR ANALYTICAL RESULTS
VOLATILE ORGANIC COMPOUNDS AND METHANE
856 NORTH OLD WOODWARD AVENUE, BIRMINGHAM, MICHIGAN
PM PROJECT # 01-8895-0-001

VOLATILE ORGANIC COMPOUNDS (VOCs) AND METHANE (ppbv)			Acetone	m-Dichlorobenzene	Ethylbenzene	4-Ethyltoluene	Heptane	Hexane	1,2,4-Trimethylbenzene	1,3,5-Trimethylbenzene	2,2,4-Trimethylpentane	Tetrachloroethylene	Toluene	Trichloroethylene	m,p-Xylene	o-Xylene	Xylenes (total)	Other VOCs	Methane
Chemical Abstract Service Number (CAS#)			67641	541731	100414	822988	142825	110543	95838	106678	540841	127184	108883	79018	1330207	95478	1330207	Various	74828
Sample ID	Sample Date	Sample Depth (feet bgs)	VOCs																Methane
SG-1	8/13/2015	5.5	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	ND
SG-2	8/13/2015	4.5	130.0	7.3	3.4	2.8	<0.80	<0.80	2.8	1.0	84.0	<0.18	23.0	<0.18	11.0	3.9	14.8	ND	NA
SG-3	8/13/2015	3.5	130.0	6.0	1.5	<0.80	<0.80	<0.80	2.2	<0.80	43.0	<0.18	11.0	<0.18	5.7	2.2	7.9	ND	ND
SG-4	8/13/2015	7.5	160.0	4.4	2.7	3.0	70.0	<0.80	3.5	0.8	24.0	580.0	14.0	8.1	11.0	3.9	14.9	ND	ND
SG-5	8/13/2015	3.5	110.0	2.8	2.7	2.1	<0.80	24.0	2.2	<0.80	200.0	690.0	18.0	7.8	9.3	3.2	12.5	ND	ND
SG-6	8/13/2015	5.5	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	A	NA	NA	ND
MDEQ Guidance Document For The Vapor Intrusion Pathway, Policy and Procedure Number: 08-017, Appendix D Vapor Intrusion Screening Values, May 2013																			
Residential Screening Levels (ppbv)																			
Vapor Intrusion Indoor Air Screening Levels (IA _{SL})	2,500	0.48	18	NDC	850	200	44	44	740	5.0	1,300	0.37	23	23	23	23	Various	1.25E+04 (g)	
Vapor Intrusion Shallow Sub-Slab Soil Gas Screening Levels (≤ 1.5m bgs) (SG _{V,SS})	82,000	18	840	NDC	28,000	6,800	1,500	1,500	25,000	179	44,000	12	760	760	760	760	Various	1.25E+04 (g)	
Vapor Intrusion Deep Soil Gas Screening Levels (SG _{V,D})	8.20E+05	180	8,400	NDC	2.80E+05	68,000	15,000	15,000	2.50E+05	1,700	4.40E+05	120	7,600	7,600	7,600	7,600	Various	1.25E+04 (g)	
Nonresidential Screening Levels (ppbv)																			
Vapor Intrusion Indoor Air Screening Levels (IA _{SL})	10,000	2.1	98	NDC	3,800	830	180	180	3,100	25	5,500	1.5	98	98	98	98	Various	1.25E+04 (g)	
Vapor Intrusion Shallow Sub-Slab Soil Gas Screening Levels (≤ 1.5m bgs) (SG _{V,SS})	1.40E+06	280	13,000	NDC	4.70E+05	1.10E+05	25,000	25,000	4.20E+05	3,300	7.40E+05	210	13,000	13,000	13,000	13,000	Various	1.25E+04 (g)	
Vapor Intrusion Deep Soil Gas Screening Levels (SG _{V,D})	1.40E+07	2,800	1.30E+05	NDC	4.70E+06	1.10E+06	2.50E+05	2.50E+05	4.20E+06	33,000	7.40E+06	2,100	1.30E+05	1.30E+05	1.30E+05	1.30E+05	Various	1.25E+04 (g)	
DRAFT Acute Vapor Intrusion Screening Levels for Indoor Air and Soil Gas; Residential and Nonresidential Land Use, February 2013 (ppbv)																			
IRASL Indoor Air (IA _{SL})	25,000	NDC	NDC	NDC	NDC	NDC	NDC	NDC	NDC	NDC	2,800	9,300	74,000	4,800	4,800	4,800	Various	NDC	
IRASL Soil Gas (ASG _{SL})	8.28E+05	NDC	NDC	NDC	NDC	NDC	NDC	NDC	NDC	NDC	83,000	3.10E+05	2.48E+06	1.60E+05	1.60E+05	1.60E+05	Various	NDC	

Applicable Criteria/RBSL Exceeded
BOLD Value Exceeds Applicable Criteria
 bgs Below Ground Surface (feet)
 ND Not detected at levels above the laboratory Method Detection Limit (MDL) or Minimum Quantitative Level (MQL)
 NA Not Applicable
 NDC "No Defined Criteria" by the Michigan Department of Environmental Quality (MDEQ)
 1 The IAC and SGC presented in this table are health-based values. The applicable IAC and SGC are based on the higher of the health-based value and the appropriate analytical reporting limit.
 IRASL Immediate Response Acute Vapor Intrusion Screening Levels



Detroit
607 Shelby, Suite 650
Detroit, MI 48226
f: 877.884.6775
t: 313.324.8172

Metro Detroit
4080 W. 11 Mile Road
Berkley, MI 48072
f: 877.884.6775
t: 248.336.9988

Lansing
3340 Ranger Road
Lansing, MI 48906
f: 877.884.6775
t: 517.321.3331

Grand Rapids
560 5th Street NW,
Suite 301
Grand Rapids, MI 49504
f: 877.884.6775
t: 616.285.8857

June 20, 2016

Mr. Frank R. Simon
FLS Properties #5, LLC
P.O. Box 689
Bloomfield Hills, Michigan 48303

**RE: Summary Report for the Site Investigation Activities at the
Vacant Land located at 856 North Old Woodward Avenue, Birmingham, Michigan
Parcel ID: 08-19-25-328-001
PM Environmental, Inc. Project No. 01-5889-0-001**

Dear Mr. Simon:

PM Environmental, Inc. (PM) completed site investigation activities for the vacant land (Parcel ID: 08-19-25-328-001) located at 856 North Old Woodward Avenue, Birmingham, Oakland County, Michigan 48009 (hereafter referred to as the subject property). This report summarizes the activities completed by PM in May 2016 to further define potentially listed hazardous waste soil contamination, and associated conclusions and recommendations.

THIS REPORT WAS PREPARED FOR THE EXCLUSIVE USE OF FLS PROPERTIES #5, LLC, WHO MAY RELY ON ITS CONTENTS AND CONCLUSIONS.

SITE DESCRIPTION AND BACKGROUND

The subject property consists of vacant land with asphalt paved parking in the northeastern portion, remnants of a building foundation in the northern portion, and grass in the remaining portions (Figure 2). The property has a down-gradient slope from North Old Woodward Avenue east to where it adjoins the Rouge River, which is an elevation difference of approximately 15 feet.

Standard and other historical sources documented that the subject property was developed in at least 1937 with a gasoline dispensing station and one other structure, likely a residential dwelling, in the northern and eastern portions of the subject property. In 1940, the gasoline dispensing station was converted to a gift shop. By 1946, a residential dwelling was reportedly converted into a tea room and restaurant in the western portion of the subject property. The gift shop appears to have been demolished by 1949. The tea room and restaurant operated until 1988, when the commercial building was demolished.

PREVIOUS SITE INVESTIGATION

PM reviewed the following previous environmental reports for the subject property which are included within ASTI's April 2015 Phase I Environmental Site Assessment (ESA).

Name of Report	Date of Report	Company that Prepared Report
Phase I ESA	October 23, 2006	Soils and Materials Engineers, Inc. (SME)

existing fill material as engineered fill, completing moisture conditioning for suitable compaction of the native clay, drilling piers to support the proposed building, and using standard sump and pit methods or crushed aggregate to prevent disturbance from groundwater accumulation.

A subsurface investigation was reportedly completed on the subject property in 2002, in which the scope of work consisted of the advancement of six soil borings and the installation of four monitoring wells. Concentrations of benzene, ethylbenzene, MTBE, naphthalene, and lead were detected in the samples collected from the subject property above the Part 213 Risk-Based Screening Levels (RBSLs) in the northern portion of the subject property; however, these analytical results were not available for review. The concentrations reportedly migrated onto the subject property from the northeast adjoining gasoline dispensing station and open Leaking Underground Storage Tank (LUST) site identified as 35975 Woodward Avenue.

Delta Environmental Consultants, Inc. (Delta) installed five monitoring wells (TW-1, TM3, TW-4, OW-10, and OW-11) on the subject property in 1996 as part of LUST investigation activities for the northeast adjoining open LUST site. Subsequent to installation a series of groundwater monitoring events were completed on the subject property between 1996 and 2006. The most recent documented events available for review occurred in October 2005, February 2006, and April 2006 and were completed by PM. Groundwater samples were collected from TW-1, TW-4, and OW-11 and submitted for laboratory analysis of VOCs and lead, or some combination thereof. TW-3 and OW-10 did not produce groundwater sufficient for groundwater collection. Concentrations of benzene, MTBE, vinyl chloride, and lead were detected in the groundwater samples collected at TW-1 and TW-4 above the Part 213 Residential and Nonresidential DW and/or GSI RBSLs. No concentrations of other VOCs were detected in the groundwater samples collected at TW-1 and TW-4 above the laboratory MDLs or the most restrictive Part 213 Residential RBSLs. No concentrations of VOCs were detected in the groundwater sample collected at OW-11 above the laboratory MDLs. Groundwater flow was calculated to flow southeast towards the Rouge River. PM was unable to locate the permanent monitoring wells during the August 2015 subsurface investigation, discussed below and in Section 1.5.

Phase I ESA (2015): ASTI identified RECs associated with the 1) former gasoline dispensing operations; 2) potential for orphan USTs associated with the gasoline dispensing operations and former fuel oil use; 3) existing contamination; 4) unknown fill material; and 5) the potential for migration from adjoining gasoline dispensing station and a dry cleaner.

BEA (2015): On August 11, 2015 PM completed a geophysical survey utilizing GPR at the subject property (Figure 2) to investigate the presence of potential orphan USTs.

No anomalies consistent with orphan USTs were identified. A suspect fill port pipe was visually identified during PM's GPR survey in the central portion of the subject property and the pipe was traced using a PL 2000 utility locator. PM advanced a shallow hand auger to 5.0 feet bgs in the area where the pipe terminated, and no anomalies were encountered.

On August 13, 2015 PM completed a scope of work consisting of the advancement of six soil borings (SB-1 through SB-6), the installation of two temporary monitoring wells (TMW-1 and TMW-2), the installation of six soil gas sampling points (SG-1 through SG-6), and the collection of seven soil samples, two groundwater samples, and six soil gas samples for laboratory analysis of VOCs, PNAs, polychlorinated biphenyls (PCBs), and Michigan Ten Metals (arsenic, barium, cadmium, chromium, copper, lead, mercury, selenium, silver, and zinc), and methane, or some combination thereof, to assess the RECs identified in ASTI's April 2015 Phase I ESA.

**Summary Report for Site Investigation Activities at the Vacant Land
Located at 856 North Old Woodward Avenue, Birmingham, Michigan
PM Environmental, Inc. Project No. 01-5889-0-0003; June 20, 2016**

Location and Total Depth (feet bgs)	Soil Sample Depth (feet bgs)	TMW Screen Interval and [DTW] (feet bgs)	Analysis	Objectives	Sample Selection (justification)
SB/TMW-11 (18.0)	2.5-3.5 and 10.0-11.0	13.1-18.1 [16.19]	VOCs	Delineate the horizontal extent of chlorinated solvent impacts	Soil: Samples collected from the interval with observed fill material and from the sand/clay interface. GW: Sampled.
SB-12 (20.0)	5.5-6.5 and 10.5-11.5	NA	VOCs	Delineate the horizontal extent of chlorinated solvent impacts	Soil: Intermediate and deeper sand/clay interface samples collected based on the lack of field evidence of contamination. GW: Not encountered.
SB/TMW-13 (10.0*)	2.0-3.0*	3.7-8.7 [5.93]	VOCs	Delineate the horizontal extent of chlorinated solvent impacts	Soil: Sample collected above saturated zone based on the lack of field evidence of contamination. GW: Sampled.
SB-14 (10.0*)	2.0-3.0*	NA	VOCs	Delineate the horizontal extent of chlorinated solvent impacts	Soil: Sample collected from interval with observed staining. GW: Not encountered.
SB-15 (10.0*)	2.0-3.0*	NA	VOCs	Delineate the horizontal extent of chlorinated solvent impacts	Soil: Shallow sample collected to evaluate soils for removal. GW: Not encountered.

GW – Groundwater

NA – Not Applicable

bgs – below ground surface

PID – photoionization detector

ppm – parts per million

* Depth measured from surface that is approximately 10 feet below street level elevation

Investigation Techniques and QA/QC Procedures

The soil borings were advanced to the desired depth using a direct push drill rig and/or stainless steel hand auger. Soil sampling was performed for soil classification, verification of subsurface geologic conditions, and for investigating the potential and/or extent of soil and groundwater (if encountered) contamination at the subject property.

During drilling operations, the drilling equipment was cleaned to minimize the possibility of cross contamination. These procedures included cleaning equipment with a phosphate free solution (i.e., Alconox®) and rinsing with distilled water after each sample collection. Drilling and sampling equipment was also cleaned in this manner prior to initiating field activities.

Soils collected from discrete sample intervals were screened using a PID to determine if VOCs were present. Soil from specific depths was placed in plastic bags, sealed, and allowed to volatilize. The headspace within each bag was then monitored with the PID. The PID is able to detect trace levels of organic compounds in the air space within the plastic bag. The PID utilizes a 10.6 electron volts (eV) lamp. Soil samples were collected from the soil borings based upon the highest PID reading, visual/olfactory evidence, a change in geology, surficial soil, and/or directly above saturated soil.

2013 entitled "Cleanup Criteria Requirements for Response Activity", in accordance with Section 20120a(1) using the Residential and Nonresidential cleanup criteria. Analytical results, when applicable, were compared to VISLs presented in the MDEQ May 2013 Guidance Document for the Vapor Intrusion Pathway.

The analytical results are summarized on Figures 3 and 4 and in Tables 1 through 4. The laboratory analytical reports are included in Appendix B.

Soil Analytical Results

The table below summarizes the analytical results in soil samples from site investigation activities completed between 2006 and 2016 for target analytes that may represent listed hazardous waste. Any detectable concentrations would be representative of a listed hazardous waste as the presumed source is from dry cleaning operations. All soil analytical results are summarized on Figure 3 and in Tables 1 through 3.

SUMMARY OF PCE/TCE SOIL ANALYTICAL RESULTS

Part 201 Cleanup Criteria	Target Analyte	Soil Sample Location(s)		
<MDL	PCE/TCE	SP1 (4.0-5.0) SP5 (3.0-4.0) SB-2 (6.0-7.0) SB-8 (15.0-16.0) SB-12 (10.5-11.5)	SP2 (4.5-5.5) SP7 (9.0-10.0) SB-3 (19.0-20.0) SB-10 (4.0-5.0) SB-13 (2.0-3.0)	SP3 (0.0-2.0) SB-1 (5.5-6.5) SB-8 (8.0-9.0) SB-10 (10.0-11.0) SB-15 (2.0-3.0)
>MDL and Part 201 Criteria not exceeded	PCE	SB-5 (15.0-16.0)	SB-6 (4.0-5.0)	
DWP (R/NR)	PCE	SP6 (7.0-8.0) SB-7 (5.0-6.0) SB-9 (10.0-11.0) SB-12 (5.5-6.5)	SB-4 (7.5-8.5) SB-7 (9.5-10.5) SB-11 (2.5-3.5) SB-14 (2.0-3.0)	SB-4 (13.0-14.0) SB-9 (4.0-5.0) SB-11 (10.0-11.0)
	TCE		SB-7 (9.5-10.5)	
GSIP	PCE	SP6 (7.0-8.0) SB-12 (5.5-6.5)	SB-4 (7.5-8.5)	SB-7 (9.5-10.5)

MDL – method detection limit

R – Residential

NR – Nonresidential

PCE - Tetrachloroethylene

DWP – Drinking Water Protection

GSIP – Groundwater Surface Water Interface Protection

TCE - Trichloroethylene

In addition to the summarized results above, a concentration of xylenes was identified in SB-11 (10.0-11.0 feet bgs) above Part 201 GSIP cleanup criteria in the soil samples collected in May 2016. Concentrations of various petroleum VOCs were identified in SB-8, SB-10, SB-11, and SB-13 that are below the most restrictive Part 201 cleanup criteria.

FIGURES

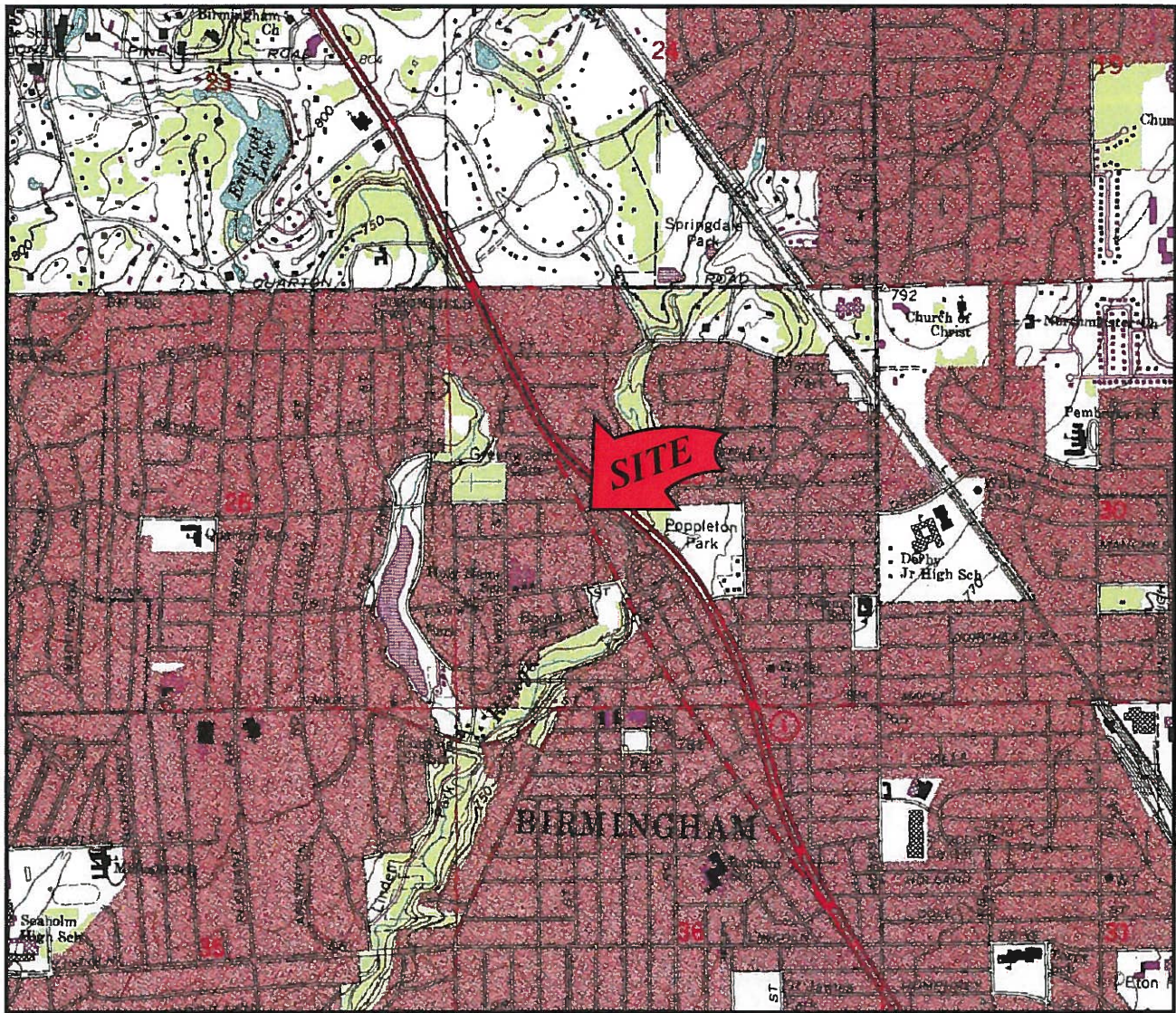
- Figure 1: Site Vicinity Diagram
Figure 2: Generalized Diagram of the Subject Property and Adjoining Properties
Figure 3: Soil Boring/Temporary Monitoring Well/Soil Gas Location Map with Soil Analytical Results
Figure 4: Soil Boring/Temporary Monitoring Well/Soil Gas Location Map with Groundwater Analytical Results
Figure 5: Soil Boring/Temporary Monitoring Well/Soil Gas Location Map with Soil Gas Analytical Results

TABLES

- Table 1: Summary of Soil Analytical Results: VOCs
Table 2: Summary of Soil Analytical Results: PNAs
Table 3: Summary of Soil Analytical Results: PCBs and Metals
Table 4: Summary of Groundwater Analytical Results: VOCs, PNAs, Michigan 10 Metals, and Methane
Table 5: Summary of Soil Gas Analytical Results: VOCs and Methane

APPENDICES

- Appendix A: Soil Boring Logs
Appendix B: Laboratory Analytical Reports



OAKLAND COUNTY

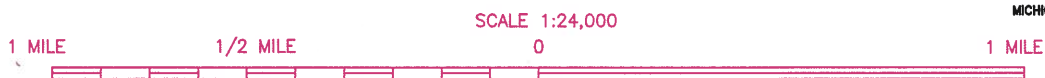
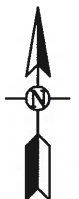


FIGURE 1

PROPERTY VICINITY MAP
USGS, 7.5 MINUTE SERIES

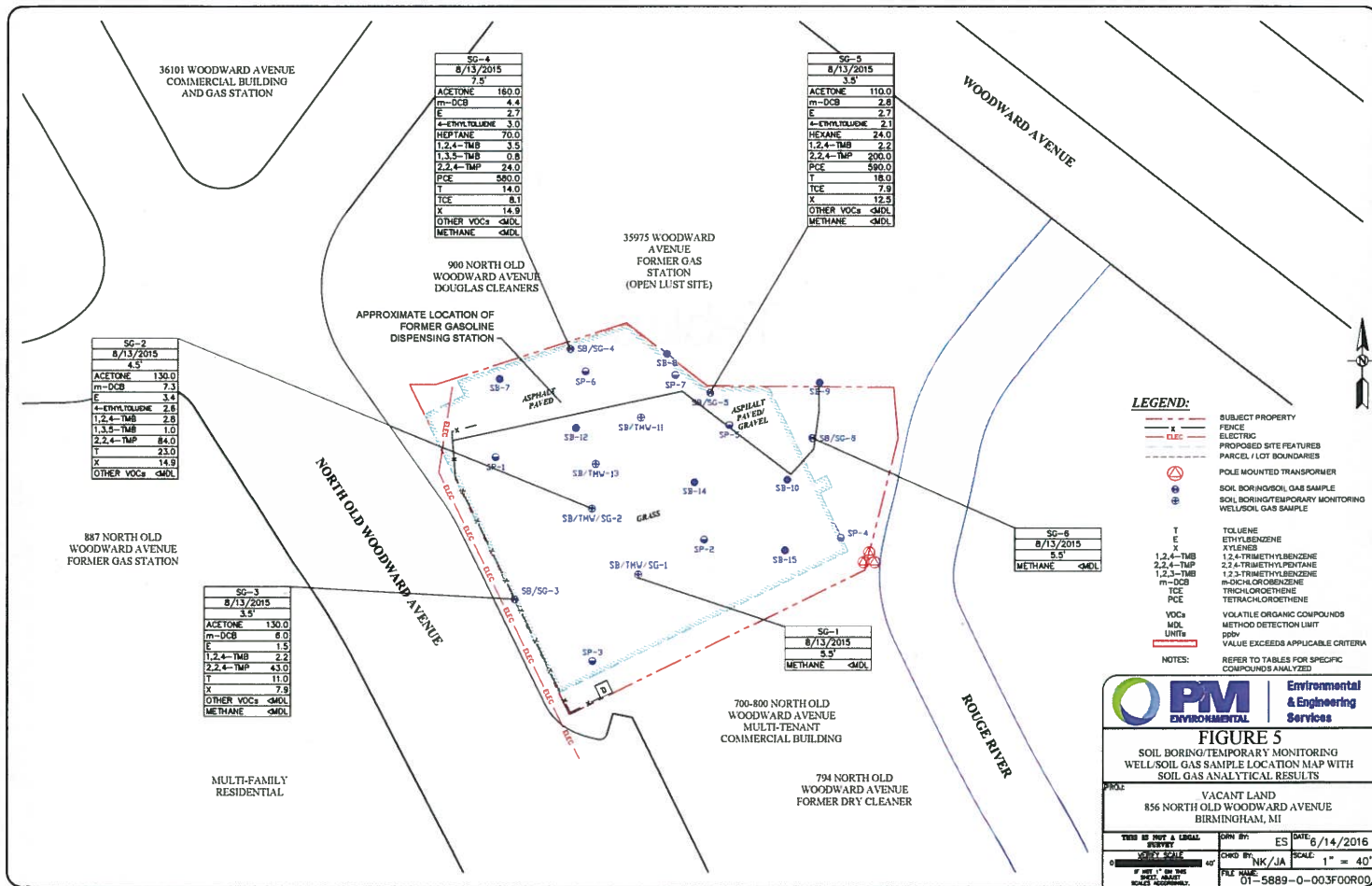
BIRMINGHAM, MI QUADRANGLE, 1968. PHOTO REVISED 1981.



PROJ: VACANT LAND
856 NORTH OLD
WOODWARD AVENUE
BIRMINGHAM MI

THIS IS NOT A LEGAL
SURVEY
VERIFY SCALE
0 2,000'
IF NOT 1" ON THIS
SHEET, ADJUST
SCALES ACCORDINGLY.

DRN BY: ES DATE: 8/13/2015
CHKD BY: NK SCALE: 1" = 2,000'
FILE NAME: 01-5889-0-001F01R00



SG-4
8/13/2015
7.5'
ACETONE 160.0
m-DCB 4.4
E 2.7
4-ETHYLTOLUENE 3.0
HEPTANE 70.0
1,2,4-TMB 3.5
1,3,5-TMB 0.8
2,2,4-TMP 24.0
PCE 580.0
T 14.0
X 8.1
OTHER VOCs <MDL
METHANE <MDL

SG-5
8/13/2015
3.5'
ACETONE 110.0
m-DCB 2.8
E 2.7
4-ETHYLTOLUENE 2.1
HEXANE 24.0
1,2,4-TMB 2.2
2,2,4-TMP 200.0
PCE 580.0
T 18.0
X 7.9
OTHER VOCs <MDL
METHANE <MDL

SG-2
8/13/2015
4.5'
ACETONE 130.0
m-DCB 7.3
E 3.4
4-ETHYLTOLUENE 2.8
1,2,4-TMB 2.8
1,3,5-TMB 1.0
2,2,4-TMP 84.0
T 21.0
X 14.9
OTHER VOCs <MDL

SG-3
8/13/2015
3.5'
ACETONE 150.0
m-DCB 6.5
E 1.5
1,2,4-TMB 2.2
2,2,4-TMP 43.0
T 11.0
X 7.9
OTHER VOCs <MDL
METHANE <MDL

SG-1
8/13/2015
5.5'
METHANE <MDL

SG-6
8/13/2015
5.5'
METHANE <MDL

TABLE 1
SUMMARY OF SOI ANALYTICAL RESULTS
888 NORTH OLD WOODWARD AVENUE, BIRMINGHAM, MICHIGAN
PM PROJECT #01-8889-8-0903

VOLATILE ORGANIC COMPOUNDS (ppb/g)		Benzene	n-Butylbenzene	Cyclohexane	m-1,2-Dichlorobenzene	Diethylbenzene	2-Methyl-2-butene	Naphthalene	n-Propylbenzene	Tetralin	Toluene	Trichlorobenzene	1,2,3-Trimethylbenzene	1,2,4,5-Tetramethylbenzene	Xylene	Other VOCs
Chemical Abstract Service Number (CAS#)		71432	106418	110627	156592	100414	91578	91203	102881	127184	106883	79016	526736	93636	1332207	Various
Sample ID	Sample Date	Sample Depth (Feet Bgs)														
SP1	9/29/2008	4.5-5.0'	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SP2	9/29/2008	4.5-5.5'	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SP3	9/29/2008	5.0-5.5'	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SP3 (DUP)	9/29/2008	5.0-5.5'	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SP4	9/29/2008	5.5-6.0'	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SP5	9/29/2008	6.0-6.5'	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SP6	9/29/2008	6.5-7.0'	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SP7	9/29/2008	7.0-7.5'	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SB-1	8/13/2015	8.0-8.5'	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SB-2	8/13/2015	8.5-9.0'	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SB-3	8/13/2015	9.0-9.5'	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SB-4	8/13/2015	10.0-10.5'	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SB-5	8/13/2015	10.5-11.0'	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SB-6	8/13/2015	11.0-11.5'	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SB-7	8/13/2015	11.5-12.0'	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SB-8	8/13/2015	12.0-12.5'	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SB-9	8/13/2015	12.5-13.0'	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SB-10	8/13/2015	13.0-13.5'	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SB-11	8/13/2015	13.5-14.0'	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SB-12	8/13/2015	14.0-14.5'	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SB-13	8/13/2015	14.5-15.0'	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SB-14	8/13/2015	15.0-15.5'	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SB-15	8/13/2015	15.5-16.0'	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
Generic Soil Cleanup Criteria Tables 2 and 3: Residential and Non-Residential Part 211 Generic Cleanup Criteria and Screening Levels/Part 213 Risk-Based Screening Levels, December 28, 2013																
Residential (ppb/g)																
Drinking Water Protection (Res DWPF)	100	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	Various
Groundwater Surface Water Interface Protection (GSIP)	4,000 (g)	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	Various
Soil Ventilation to Indoor Air Inhalation (Res SVI)	1,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	Various
Ambient Air Finite Source Volatile Soil Inhalation (Res VSI)	10,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	Various
Ambient Air Finite VSI for 8 Meter Source Thickness	34,000	340,000	340,000	340,000	340,000	340,000	340,000	340,000	340,000	340,000	340,000	340,000	340,000	340,000	340,000	Various
Ambient Air Finite VSI for 2 Meter Source Thickness	78,000	780,000	780,000	780,000	780,000	780,000	780,000	780,000	780,000	780,000	780,000	780,000	780,000	780,000	780,000	Various
Ambient Air Particulate Soil Inhalation (Res PSI)	1,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	Various
Direct Contact (Res DC)	1,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	Various
Non-Residential (ppb/g)																
Drinking Water Protection (Nonres DWPF)	100	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	Various
Groundwater Surface Water Interface Protection (Nonres GSIP)	4,000 (g)	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	Various
Soil Ventilation to Indoor Air Inhalation (Nonres SVI)	1,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	Various
Ambient Air Finite Source Volatile Soil Inhalation (Nonres VSI)	10,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	Various
Ambient Air Finite VSI for 8 Meter Source Thickness	34,000	340,000	340,000	340,000	340,000	340,000	340,000	340,000	340,000	340,000	340,000	340,000	340,000	340,000	340,000	Various
Ambient Air Finite VSI for 2 Meter Source Thickness	78,000	780,000	780,000	780,000	780,000	780,000	780,000	780,000	780,000	780,000	780,000	780,000	780,000	780,000	780,000	Various
Ambient Air Particulate Soil Inhalation (Nonres PSI)	1,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	Various
Direct Contact (Nonres DC)	1,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	10,000 (g)	Various
Screening Levels (ppb/g)																
Soil Saturation Concentration Screening Levels (CSL)	4,000 (g)	40,000 (g)	40,000 (g)	40,000 (g)	40,000 (g)	40,000 (g)	40,000 (g)	40,000 (g)	40,000 (g)	40,000 (g)	40,000 (g)	40,000 (g)	40,000 (g)	40,000 (g)	40,000 (g)	Various

BOLD Applicable Criterion/BSL Exceeded
 Italic Value Exceeds Applicable Criterion/BSL
 NA Below Ground Surface (BGS)
 1 1,2,3-Trimethylbenzene RBSLs based on the more restrictive of 1,2,4-dimethylbenzene and 1,3,5-trimethylbenzene
 MDL Laboratory method detection limit
 NA Not Applicable
 NL Not Listed
 NLL Not Likely to Leach
 NLV Not Likely to Volatilize
 ID Insufficient Data
 * Measured from a point approximately 10 feet below street elevation

TABLE 3
SUMMARY OF SOIL ANALYTICAL RESULTS
PCBS AND METALS
886 NORTH OLD WOODWARD AVENUE, BIRMINGHAM, MICHIGAN
PM PROJECT # 91-8869-8-0083

POLYCHLORINATED BIPHENYLS (PCBs) AND MICHIGAN TEN METALS (µg/Kg)			PCBs	Arsenic	Barium	Cadmium	Chromium	Copper	Lead	Manganese	Selenium	Silver	Zinc
Chemical Abstract Service Number (CAS#)			1336363	7440382	7440393	7440439	16085831	7439921	7439978	7782492	7440224	7440668	
Sample ID	Sample Date	Sample Depth (feet/ft)	Michigan Ten Metals										
SP1	9/29/2006	4 0-5 0	NA	NA	NA	220	8 000	NA	22 000	NA	NA	NA	NA
SP2	9/29/2006	4 5-5 5"	NA	NA	NA	420	10 000	NA	58 000	NA	NA	NA	NA
SP3	9/29/2006	5 0-5 0"	NA	NA	NA	230	7 000	NA	25 000	NA	NA	NA	NA
SP3 (DUP)	9/29/2006	5 0-5 0"	NA	NA	NA	230	7 000	NA	25 000	NA	NA	NA	NA
SP5	9/29/2006	3 0-4 0	NA	NA	NA	200	10 000	NA	18 000	NA	NA	NA	NA
SP8	9/29/2006	7 0-8 0	NA	NA	NA	180	7 400	NA	54 000	NA	NA	NA	NA
SP7	9/29/2006	9 0-1 0	NA	NA	NA	420	11 000	NA	72 000	NA	NA	NA	NA
SB-1	8/13/2015	5 5-6 5"	<MDL	8 298	57 000	410	14 000	18 000	56 000	51	290	<100	84 000
SB-2	8/13/2015	6 0-7 0"	<MDL	8 298	61 000	350	12 000	18 000	23 000	<50	488	<100	57 000
SB-3	8/13/2015	10 0-20 0	<MDL	8 888	65 000	270	25 898	21 000	18 000	<50	300	<100	58 000
SB-4	8/13/2015	7 5-8 5	<MDL	11 889	88 000	480	15 000	33 000	82 000	110	638	<100	160 000
SB-4	8/13/2015	13 0-14 0	<MDL	7 898	47 000	270	18 898	18 000	13 000	62	220	<100	49 000
SB-5	8/13/2015	15 0-16 0	<MDL	16 888	83 000	530	18 000	49 000	82 000	<50	1 288	<100	150 000
SB-6	8/13/2015	4 0-5 0	<MDL	11 888	83 000	410	18 888	33 000	55 000	148	340	<100	72 000

Cleanup Criteria Requirements for Response Activity (R 286.1 - R 298.58) Generic Soil Cleanup Criteria Tables 2 and 3: Residential and Non-Residential Part 201 Generic Cleanup Criteria and Screening Levels/Part 213 Risk-Based Screening Levels, December 26, 2013													
Residential (µg/Kg)													
Statewide Default Background Levels	NA	6 800	75 000	1 200	15 000	32 000	21 000	120	418	1 200	47 000		
Drinking Water Protection (Res DWP)	HL	4 800	1 30E+06	6 000	36 000	6 80E+06	7 80E+05	1 780	4 800	4 800	2 40E+08		
Groundwater Surface Water Interface Protection (GSIP)	HL	4 800	1 3E+08 (C)	7 780 (C)	3 380	1 8E+08 (C)	6 3E+08 (C)	58 (C)	1 2	488	100 (C)	27	3 8E+08 (C)
Soil Volatilization to Indoor Air Inhalation (Res SVI)	1 0E+06	HLV	HLV	HLV	HLV	HLV	HLV	48 000	HLV	HLV	HLV		
Ambient Air Inhalation Source Volatile Soil Inhalation (Res VSI)	2 40E+05	HLV	HLV	HLV	HLV	HLV	HLV	62 000	HLV	HLV	HLV		
Ambient Air Flute VSI for 5 Meter Source Thickness	7 8E+06	HLV	HLV	HLV	HLV	HLV	HLV	62 000	HLV	HLV	HLV		
Ambient Air Flute VSI for 1 Meter Source Thickness	7 8E+06	HLV	HLV	HLV	HLV	HLV	HLV	62 000	HLV	HLV	HLV		
Ambient Air Particulate Soil Inhalation (Res PSI)	5 3E+04	7 20E+05	3 30E+05	1 78E+05	2 80E+05	1 30E+05	1 80E+05	1 30E+05	1 30E+05	1 30E+05	1 30E+05		
Direct Contact (Res DC)	(7)	7 800	3 70E+07	6 80E+05	2 80E+05	2 80E+07	4 80E+05	1 80E+05	2 80E+05	2 80E+05	2 80E+05		
Non-Residential (µg/Kg)													
Drinking Water Protection (Nonres DWP)	HL	4 800	1 30E+06	6 000	36 000	6 80E+06	7 80E+05	1 780	4 800	4 800	2 40E+08		
Soil Volatilization to Indoor Air Inhalation (Nonres SVI)	1 0E+07	HLV	HLV	HLV	HLV	HLV	HLV	68 000	HLV	HLV	HLV		
Ambient Air Inhalation Source Volatile Soil Inhalation (Nonres VSI)	8 10E+05	HLV	HLV	HLV	HLV	HLV	HLV	62 000	HLV	HLV	HLV		
Ambient Air Flute VSI for 5 Meter Source Thickness	2 8E+07	HLV	HLV	HLV	HLV	HLV	HLV	62 000	HLV	HLV	HLV		
Ambient Air Flute VSI for 1 Meter Source Thickness	2 8E+07	HLV	HLV	HLV	HLV	HLV	HLV	62 000	HLV	HLV	HLV		
Ambient Air Particulate Soil Inhalation (Nonres PSI)	6 0E+05	6 10E+05	1 60E+05	2 30E+05	2 40E+05	6 80E+05	4 40E+07	8 80E+05	6 80E+05	6 80E+05	6 80E+05		
Direct Contact (Nonres DC)	(7)	37 000	1 30E+06	2 10E+05	8 20E+04	7 30E+07	8 0E+14 (D2)	6 80E+05	6 80E+05	6 80E+05	6 80E+05		
Screening Levels (µg/Kg)													
Soil Saturation Concentration Screening Levels (Cst)	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA

Applicable Criterion/RBSL Exceeded

BOLD Value Exceeds Applicable Criterion/RBSL

g/g Below Ground Surface (BGS)

MDL Laboratory method detection limit (MDL)

NA/NL/D Not Applicable/Not Listed/Insufficient Data

NL/NL/D Not Likely to Leach/Not Likely to Volatilize

(C) Worst GSIP Criteria for Surface Water Not Protected for Drinking Water Use based on 418 mg/L CaCO3 Hardness: Station ID 830003, Rouge River, near Troy, MI

Measured from a point approximately 10 feet below street elevation

TABLE 6
SUMMARY OF SOIL GAS ANALYTICAL RESULTS
 VOCs AND METHANE
 858 NORTH OLD WOODWARD AVENUE, BIRMINGHAM, MICHIGAN
 PM PROJECT # 01-0889-0-0083

VOLATILE ORGANIC COMPOUNDS (VOCs) AND METHANE (ppbv)			Acetone	m-Dichlorobenzene	Ethylbenzene	4-Ethyltoluene	Heptane	Hexane	1,2,4-Trimethylbenzene	1,3,5-Trimethylbenzene	1,2,4-Trimethylbenzene	Tetrachloroethylene	Toluene	Trichloroethylene	m,p-Xylene	o-Xylene	Xylenes (Total)	Other VOCs	Methane
Chemical Abstract Service Number (CAS#)			67641	541731	100414	822965	142825	110543	95636	108678	542841	127184	105863	79016	1330207	95476	1330207	Various	74828
Sample ID	Sample Date	Sample Depth (feet bgs)	VOCs																
SG-1	8/13/2015	5.5'	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	ND
SG-2	8/13/2015	4.5'	130.0	7.3	3.4	2.6	<0.80	<0.80	2.8	1.9	84.9	<0.16	23.0	<0.16	11.8	3.9	14.9	ND	NA
SG-3	8/13/2015	3.5'	130.0	8.0	1.5	<0.80	<0.80	<0.80	2.2	<0.80	43.9	<0.16	11.0	<0.16	3.7	2.2	7.9	ND	ND
SG-4	8/13/2015	7.5'	160.0	4.4	2.7	3.0	70.0	<0.80	3.5	0.6	24.0	560.0	14.0	8.1	11.8	3.9	14.9	ND	ND
SG-5	8/13/2015	3.5'	110.0	2.6	2.7	2.1	<0.80	24.0	2.2	<0.80	200.0	880.0	18.0	7.9	9.3	3.2	12.5	ND	ND
SG-6	8/13/2015	5.5'	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	A	NA	NA	ND

MDEQ Guidance Document For The Vapor Intrusion Pathway, Policy and Procedure Number: 09-017, Appendix D Vapor Intrusion Screening Values, May 2013

Residential Screening Levels (ppbv)																	
Vapor Intrusion Shallow Sub-Slab Soil Gas Screening Levels (± 1.5m bgs) (SG _{sh})	82,000	16	640	NDC	28,000	6,400	1,500	1,800	25,000	976	44,000	12	760	760	760	Various	1,200-4000
Vapor Intrusion Deep Soil Gas Screening Levels (SG _d)	8,200-400	180	6,400	NDC	2,800-400	68,000	18,000	18,000	2,000-400	1,700	4,400-400	120	7,600	7,600	7,600	Various	1,200-4000
Nonresidential Screening Levels (ppbv)																	
Vapor Intrusion Shallow Sub-Slab Soil Gas Screening Levels (± 1.5m bgs) (SG _{sh})	1,400-400	300	13,000	NDC	4,700-400	1,100-400	25,000	25,000	4,300-400	3,300	7,600-400	210	13,000	13,000	13,000	Various	1,200-4000
Vapor Intrusion Deep Soil Gas Screening Levels (SG _d)	1,400-400	2,800	1,300-400	NDC	4,700-400	1,100-400	2,500-400	2,500-400	4,300-400	33,000	7,600-400	2,100	1,300-400	1,300-400	1,300-400	Various	1,200-4000

Applicable Criteria/BSL Exceeded
 BGLD Value Exceeds Applicable Criteria
 bgs Below Ground Surface (feet)
 MDL Laboratory Method Detection Limit (MDL)
 NA Not Applicable
 NDC "No Defined Criteria" by the Michigan Department of Environmental Quality (MDEQ)
 * Measured from a point approximately 10 feet below street elevation



Project No.: 01-5889-0-003

Project Name: Vacant Land

Facility ID#:

Logged By: JC

Boring Log .

Boring No.: SB-7

Date Drilled: 5/26/2016

Drill Rig: 6712 DT

Sampling Method: 2 1/4"MC

SUBSURFACE PROFILE			SAMPLE		No Well Installed
Depth (ft.)	Boring Profile	Description and Comments	Sample # Depth	Blow Counts PID (ppm)	
0		Ground Surface			
		ASPHALT		-	0.0
		SP- (Loose) SAND (moist) Brown, fine, trace gravel		-	0.0
2				-	0.0
		SC- (Medium Dense) CLAYEY SAND (moist) Brown, fine		-	0.0
4				-	0.0
			SS-1 5.0 - 6.0'	-	0.0
6		CL- (Medium Stiff) CLAY (moist) Brown		-	0.0
				-	0.0
8				-	0.0
				-	0.0
10		SM- (Medium Dense) SILTY SAND (moist) Brown, fine	SS-2 9.5 - 10.5'	-	0.0
				-	0.0
		CL- (Medium Stiff) CLAY (moist) Gray		-	0.0
12				-	0.0
			SS-3 13.0 - 14.0'	-	0.0
14				-	0.0
				-	0.0
16				-	0.0
				-	0.0
18				-	0.0
				-	0.0
20					

Completion Notes: EOB @ 20' bgs. Hole filled with soil cuttings and bentonite.

- The indicated stratification lines are approximate in situ. The transitions between materials may be gradual.
- Boring backfilled with natural soils unless otherwise noted.



Project No.: 01-5889-0-003

Project Name: Vacant Land

Facility ID#:

Logged By: JC

Boring Log .

Boring No.: SB-9

Date Drilled: 5/26/2016

Drill Rig: 6712 DT

Sampling Method: 2 1/4"MC

SUBSURFACE PROFILE			SAMPLE			No Well Installed
Depth (ft.)	Boring Profile	Description and Comments	Sample # Depth	Blow Counts	PID (ppm)	
0		Ground Surface				
		ASPHALT		-	0.0	
		SP- (Loose) SAND (moist) Brown, fine, (with gravel and construction debris 0 - 9.5' bgs)		-	0.0	
2				-	0.0	
				-	0.0	
4			SS-1 4.0 - 5.0'	-	0.0	
				-	0.0	
6				-	0.0	
				-	0.0	
8				-	0.0	
				-	0.0	
10		SM- (Medium Dense) SILTY SAND (moist) Brown, fine, (with construction debris)	SS-2 10.0 - 11.0'	-	0.0	
		CL- (Stiff) CLAY (moist) Brown		-	0.0	
12				-	0.0	
				-	0.0	
14		CL- (Soft) CLAY (moist) Gray/Brown	SS-3 14.0 - 15.0'	-	0.0	
				-	0.0	
16				-	0.0	
				-	0.0	
18				-	0.0	
				-	0.0	
20						

Completion Notes: EOB @ 20' bgs. Hole filled with soil cuttings and bentonite.

1. The indicated stratification lines are approximate in situ. The transitions between materials may be gradual.
2. Boring backfilled with natural soils unless otherwise noted.



Project No.: 01-5889-0-003
Project Name: Vacant Land
Facility ID#:
Logged By: JC

Well Log .

Well No.: SB/TMW-11
Date Drilled: 5/26/2016
Drill Rig: 6712 DT
Sampling Method: 2 1/4"MC

SUBSURFACE PROFILE			SAMPLE			Groundwater Well Completion Details
Depth (ft.)	Boring Profile	Description and Comments	Sample # Depth	Blow Counts	PID (ppm)	
0		Ground Surface				<p>1" PVC Casing</p> <p>1" 10-Slot PVC Screen</p> <p>Ground Surface</p> <p>Approximate Water Level (13.06')</p> <p>18.06'</p>
		GRASS/TOP SOIL		-	0.0	
		SP- (Loose) SAND (moist) Brown, fine (with construction debris, gravel and concrete 3.5 - 4' bgs), black staining 3-3.5' and 8-11' bgs.		-	0.0	
2				-	0.0	
			SS-1	-	0.0	
		2.5 - 3.5'		-	0.0	
4				-	0.0	
				-	0.0	
6				-	0.0	
				-	0.0	
8				-	0.0	
				-	0.0	
10				-	0.0	
			SS-2	-	0.0	
		10.0 - 11.0'		-	0.0	
12		SM- (Medium Dense) SILTY SAND (moist) Brown, fine (with construction debris 11.5 - 12' bgs)		-	0.0	
		SP- (Loose) SAND (moist) Brown, fine, trace gravel		-	0.0	
14				-	0.0	
				-	0.0	
16		SP- (Loose) SAND (saturated) Brown, fine, trace gravel		-	0.0	
				-	0.0	
18		REFUSAL @ 18' bgs				

Completion Notes: EOB @ 18' bgs. Hole filled with soil cuttings and bentonite.

- The indicated stratification lines are approximate in situ. The transitions between materials may be gradual.
- Boring backfilled with natural soils unless otherwise noted



Project No.: 01-5889-0-003
Project Name: Vacant Land
Facility ID#:
Logged By: JC

Well Log .

Well No.: SB/TMW-13
Date Drilled: 5/26/2016
Drill Rig: 6712 DT
Sampling Method: 2 1/4"MC

SUBSURFACE PROFILE			SAMPLE			Groundwater Well Completion Details
Depth (ft.)	Boring Profile	Description and Comments	Sample # Depth	Blow Counts	PID (ppm)	
0		Ground Surface				<p>1" PVC Casing</p> <p>1" 10-Slot PVC Screen</p> <p>Ground Surface</p> <p>Approximate Water Level (5.93')</p> <p>3.74'</p> <p>8.74'</p>
		GRASS/TOP SOIL				
		SP- (Loose) SAND (moist) Brown, fine, trace gravel		-	0.0	
				-	0.0	
2			SS-1 2.0 - 3.0'	-	0.0	
				-	0.0	
4				-	0.0	
			SS-2 5.0 - 6.0'	-	0.0	
6		SP- (Loose) SAND (saturated) Brown, fine, trace gravel		-	0.0	
				-	0.0	
8		CL- (Soft) CLAY (moist) Gray		-	0.0	<p>NOTE: MEASUREMENTS FROM 10 FEET BELOW STREET ELEVATION</p>
				-	0.0	
		SM- (Medium Dense) SILTY SAND (moist) Brown, fine		-	0.0	
10						

Completion Notes: EOB @ 10' bgs. Hole filled with soil cuttings and bentonite.

- The indicated stratification lines are approximate in situ. The transitions between materials may be gradual.
- Boring backfilled with natural soils unless otherwise noted



Project No.: 01-5889-0-003

Project Name: Vacant Land

Facility ID#:

Logged By: JC

Boring Log .

Boring No.: SB-15

Date Drilled: 5/26/2016

Drill Rig: 6712 DT

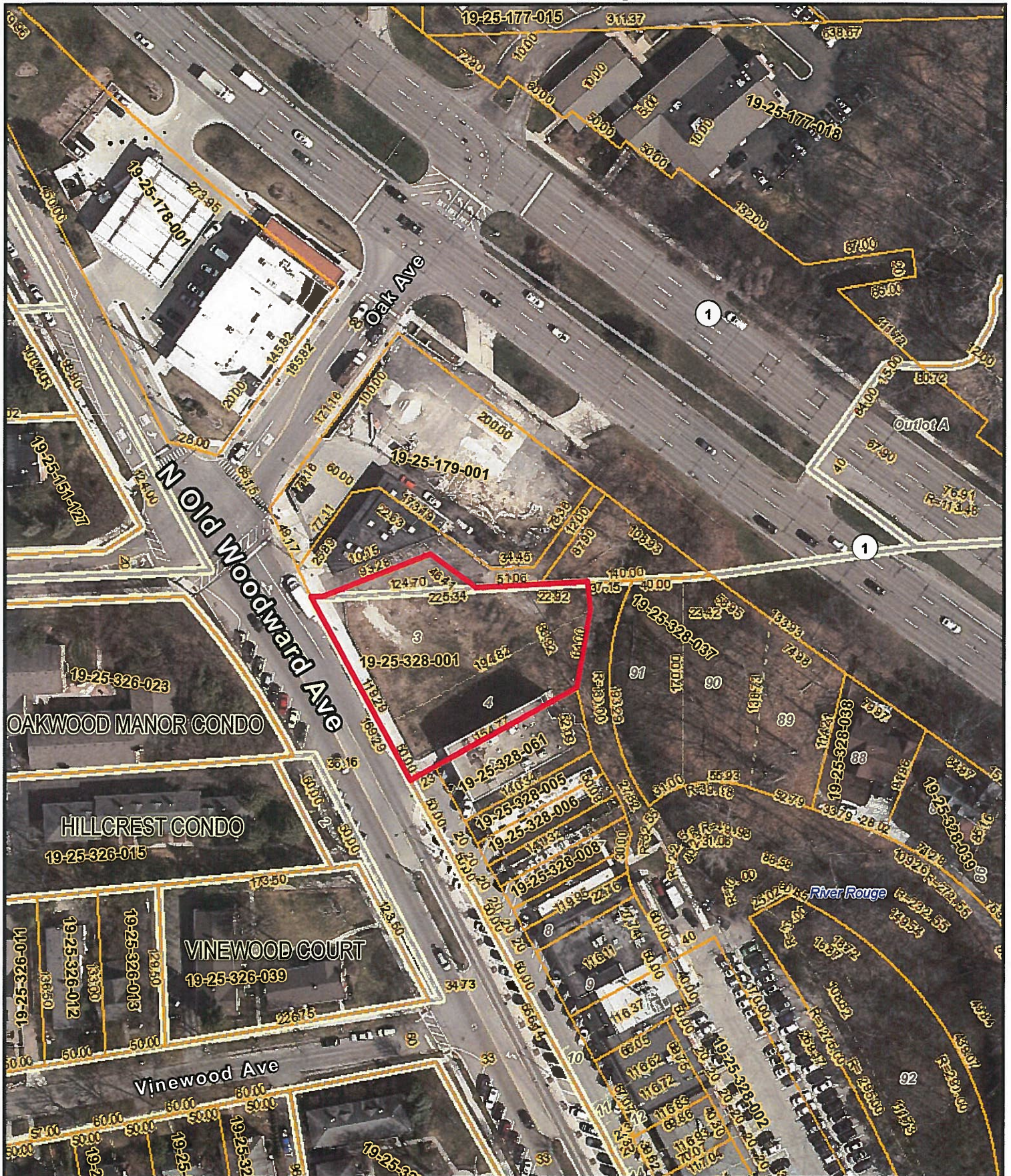
Sampling Method: 2 1/4"MC

SUBSURFACE PROFILE			SAMPLE			No Well Installed
Depth (ft.)	Boring Profile	Description and Comments	Sample # Depth	Blow Counts	PID (ppm)	
0		Ground Surface				
		GRASS/TOP SOIL				
		SC- (Medium Dense) CLAYEY SAND (moist) Brown, fine		-	0.0	
				-	0.0	
2			SS-1 2.0 - 3.0'	-	0.0	
				-	0.0	
4				-	0.0	
				-	0.0	
6		CL- (Medium Stiff) CLAY (moist) Brown (construction debris 7 - 8')		-	0.0	
				-	0.0	
			SS-2 7.0 - 8.0'	-	0.0	NOTE: MEASUREMENTS FROM 10 FEET BELOW STREET ELEVATION
8		CL- (Soft) CLAY (moist) Gray		-	0.0	
				-	0.0	
10						

Completion Notes: EOB @ 10' bgs. Hole filled with soil cuttings and bentonite.

1. The indicated stratification lines are approximate in situ. The transitions between materials may be gradual.
2. Boring backfilled with natural soils unless otherwise noted.

Assessors Map



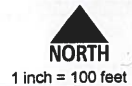
- 2 Foot Contours
- 5 Foot Contours
- FEMA Base Flood Elevations
- FEMA Cross Sections
- 100 yr - FEMA Floodplain
- 100 yr (detailed) - FEMA Floodplain
- 500 yr - FEMA Floodplain
- FLOODWAY - FEMA Floodplain

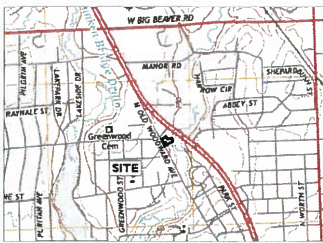
Disclaimer: The information provided herewith has been compiled from recorded deeds, plats, tax maps, surveys and other public records. It is not a legally recorded map or survey and is not intended to be used as one. Users should consult the information sources mentioned above when questions arise. FEMA Floodplain data may not always be present on the map.



L. Brooks Patterson
Oakland County Executive

Date Created: 4/20/2016





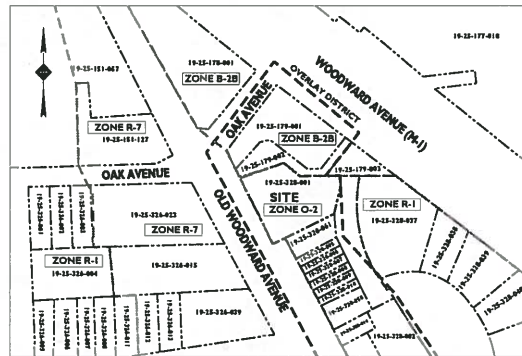
LOCATION MAP
SCALE: 1" = 2,000'



AERIAL MAP
SCALE: 1" = 100'

SITE DEVELOPMENT PLANS FOR **856 OLD NORTH WOODWARD** **PROPOSED 4 STORY MULTI-FAMILY** **BUILDING WITH RETAIL**

PARCEL ID: 19-25-328-001
856 NORTH OLD WOODWARD AVENUE
CITY OF BIRMINGHAM, OKLAHOMA COUNTY, MICHIGAN



ZONING MAP
SCALE: 1" = 100'

APPLICANT/OWNER
PLS PROPERTIES IV, LLC
285 WALNUT LAKE ROAD
WEST BLOOMFIELD, MICHIGAN 48313

SURVEYOR
KSPATRE ASSOCIATES
2234 CROFT AVENUE
BAYPORT, MICHIGAN 48021

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING BUT NOT LIMITED TO:
 - ALTAIRCHAM & TOPOGRAPHIC SURVEY PREPARED BY KENTON ASSOCIATES LAST REVISED 11/2015.
 - ARCHITECTURAL PLANS PREPARED BY PAULSLICH ARCHITECTURE
 - GEOTECHNICAL REPORT PREPARED BY G1 CONSULTING GROUP
 - TRAFFIC REPORT PREPARED BY STONEFIELD ENGINEERING & DESIGN, INC.
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH
 - BASELINE ENVIRONMENTAL PROCEEDING PREPARED BY PFM ENVIRONMENTAL
 - ADDITIONAL MAP OBTAINED FROM GOOGLE EARTH
 - ZONING MAP OBTAINED FROM THE CITY OF BIRMINGHAM
 - ADDITIONAL MAP OBTAINED FROM GOOGLE EARTH
- ALL REFERENCE MATERIALS LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONNECTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



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DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
FIRST FLOOR SITE PLAN	C-3
GRADING PLAN	C-4
UTILITY PLAN	C-5
SOIL EROSION & SEDIMENT CONTROL PLAN	C-6

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856 OLD NORTH WOODWARD
PROPOSED 4 STORY MULTI-FAMILY
BUILDING WITH RETAIL
PARCEL ID: 19-25-328-001
856 NORTH OLD WOODWARD AVENUE
CITY OF BIRMINGHAM, OKLAHOMA COUNTY, MICHIGAN

STONEFIELD
engineering & design, llc.
SCALE: AS SHOWN PROJECT NO. 84208
TITLE: COVER SHEET
DRAWING: C-1

C-5

Appendix E

Table 2: TIF Table

	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	New Est. Taxes Generated In Yrs 1-10	New Est. Taxes Generated Yrs 1 11
	YR1	YR2	YR3	YR4	YR5	YR6	YR7	YR8	YR9	YR10	YR11	YR12	YR13	YR14	YR15		
Base Taxable Value	\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450		
Estimated New Taxable Value (estimated increase of 1%/year)	\$ 2,500,000	\$ 5,000,000	\$ 5,000,000	\$ 5,000,000	\$ 5,100,500	\$ 5,101,500	\$ 5,203,020	\$ 5,254,050	\$ 5,307,001	\$ 5,360,877	\$ 5,414,254	\$ 5,468,426	\$ 5,523,111	\$ 5,578,342	\$ 5,634,125		
Incremental Difference (New Taxable Value minus Taxable Value)	\$ 2,177,550	\$ 4,677,550	\$ 4,727,550	\$ 4,778,000	\$ 4,829,050	\$ 4,880,550	\$ 4,932,600	\$ 4,984,600	\$ 5,036,426	\$ 5,088,426	\$ 5,140,426	\$ 5,192,426	\$ 5,244,426	\$ 5,296,426	\$ 5,348,426		
Local Taxes - Millage																	
City Millages (13.4630 mills)																	
City Operating	11.1943	\$ 24,354	\$ 52,315	\$ 52,874	\$ 53,433	\$ 54,010	\$ 54,588	\$ 55,166	\$ 55,750	\$ 56,340	\$ 56,949	\$ 57,554	\$ 58,160	\$ 58,763	\$ 59,371	\$ 616,789	\$ 666,868
Refuse	0.6687	\$ 1,892	\$ 4,083	\$ 4,107	\$ 4,151	\$ 4,195	\$ 4,240	\$ 4,285	\$ 4,331	\$ 4,377	\$ 4,423	\$ 4,470	\$ 4,516	\$ 4,562	\$ 4,614	\$ 46,063	\$ 51,725
Library	1.4100	\$ 3,070	\$ 6,595	\$ 6,686	\$ 6,737	\$ 6,809	\$ 6,882	\$ 6,955	\$ 7,029	\$ 7,104	\$ 7,179	\$ 7,256	\$ 7,333	\$ 7,411	\$ 7,489	\$ 68,027	\$ 73,956
Total City Millages	13.4630	\$ 28,316	\$ 62,994	\$ 63,667	\$ 64,327	\$ 65,014	\$ 65,707	\$ 66,408	\$ 67,119	\$ 67,836	\$ 68,561	\$ 69,286	\$ 70,016	\$ 70,750	\$ 71,481	\$ 629,889	\$ 692,549
County Millages (10.4059 mills)																	
County Operating	4.0400	\$ 8,797	\$ 18,897	\$ 19,099	\$ 19,303	\$ 19,509	\$ 19,718	\$ 19,928	\$ 20,140	\$ 20,354	\$ 20,571	\$ 20,790	\$ 21,011	\$ 21,234	\$ 21,459	\$ 188,317	\$ 204,564
OS Allocated	0.1985	\$ 432	\$ 928	\$ 938	\$ 948	\$ 959	\$ 969	\$ 979	\$ 990	\$ 1,000	\$ 1,011	\$ 1,021	\$ 1,032	\$ 1,043	\$ 1,054	\$ 8,164	\$ 8,819
OS Voted	3.1413	\$ 8,940	\$ 19,064	\$ 19,351	\$ 19,639	\$ 19,929	\$ 20,221	\$ 20,515	\$ 20,811	\$ 21,109	\$ 21,409	\$ 21,711	\$ 22,015	\$ 22,321	\$ 22,629	\$ 194,871	\$ 212,143
OCC Voted	1.9307	\$ 4,320	\$ 9,347	\$ 9,458	\$ 9,569	\$ 9,681	\$ 9,793	\$ 9,905	\$ 10,018	\$ 10,131	\$ 10,245	\$ 10,359	\$ 10,473	\$ 10,588	\$ 10,703	\$ 89,458	\$ 97,254
County Pl & Rec	0.2410	\$ 525	\$ 1,127	\$ 1,139	\$ 1,152	\$ 1,164	\$ 1,178	\$ 1,190	\$ 1,203	\$ 1,216	\$ 1,229	\$ 1,242	\$ 1,255	\$ 1,268	\$ 1,281	\$ 11,114	\$ 12,060
HCSA	0.2146	\$ 467	\$ 1,004	\$ 1,015	\$ 1,026	\$ 1,038	\$ 1,049	\$ 1,060	\$ 1,071	\$ 1,082	\$ 1,093	\$ 1,104	\$ 1,116	\$ 1,128	\$ 1,140	\$ 9,897	\$ 10,718
OCPTA	0.9998	\$ 2,177	\$ 4,677	\$ 4,727	\$ 4,777	\$ 4,827	\$ 4,877	\$ 4,927	\$ 4,977	\$ 5,027	\$ 5,077	\$ 5,127	\$ 5,177	\$ 5,227	\$ 5,277	\$ 46,109	\$ 50,151
Total County Millages	10.4059	\$ 22,669	\$ 48,674	\$ 49,194	\$ 49,729	\$ 50,261	\$ 50,797	\$ 51,336	\$ 51,878	\$ 52,423	\$ 52,969	\$ 53,516	\$ 54,064	\$ 54,613	\$ 55,163	\$ 478,901	\$ 518,680
Total Local Taxes (capturable)		\$ 51,976	\$ 111,668	\$ 112,861	\$ 114,047	\$ 115,284	\$ 116,484	\$ 117,738	\$ 118,990	\$ 120,257	\$ 121,536	\$ 122,826	\$ 124,134	\$ 125,462	\$ 126,784	\$ 1,108,789	\$ 1,212,229
School Taxes																	
School Operating	16.0000	\$ 36,196	\$ 84,196	\$ 85,066	\$ 85,935	\$ 86,803	\$ 87,670	\$ 88,537	\$ 89,403	\$ 90,268	\$ 91,133	\$ 91,997	\$ 92,861	\$ 93,724	\$ 94,587	\$ 836,128	\$ 1,071,778
NET	0.0000	\$ 13,095	\$ 28,095	\$ 28,355	\$ 28,615	\$ 28,875	\$ 29,135	\$ 29,395	\$ 29,655	\$ 29,915	\$ 30,175	\$ 30,435	\$ 30,695	\$ 30,955	\$ 31,215	\$ 276,796	\$ 387,288
Total School Taxes	16.0000	\$ 49,291	\$ 112,291	\$ 113,421	\$ 114,570	\$ 115,678	\$ 116,805	\$ 117,932	\$ 119,068	\$ 120,203	\$ 121,308	\$ 122,396	\$ 123,486	\$ 124,579	\$ 125,672	\$ 1,108,935	\$ 1,459,066
Non-Capturable Millages																	
School District	3.1000	\$ 8,402	\$ 18,242	\$ 18,437	\$ 18,631	\$ 18,825	\$ 19,019	\$ 19,213	\$ 19,407	\$ 19,601	\$ 19,795	\$ 19,989	\$ 20,183	\$ 20,377	\$ 20,571	\$ 179,881	\$ 232,218
City District	1.2554	\$ 2,817	\$ 6,073	\$ 6,130	\$ 6,187	\$ 6,244	\$ 6,301	\$ 6,358	\$ 6,415	\$ 6,472	\$ 6,529	\$ 6,586	\$ 6,643	\$ 6,700	\$ 6,757	\$ 59,880	\$ 64,311
Port Authority	0.0000	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0
Net Interest	0.1000	\$ 435	\$ 934	\$ 944	\$ 954	\$ 964	\$ 974	\$ 984	\$ 994	\$ 1,004	\$ 1,014	\$ 1,024	\$ 1,034	\$ 1,044	\$ 1,054	\$ 9,205	\$ 9,955
Total Non-Capturable Millages	4.4554	\$ 11,654	\$ 25,249	\$ 25,571	\$ 25,895	\$ 26,219	\$ 26,543	\$ 26,867	\$ 27,191	\$ 27,515	\$ 27,839	\$ 28,163	\$ 28,487	\$ 28,811	\$ 29,135	\$ 259,966	\$ 306,484
Total Annual Tax Incremental Revenue	3.0000	\$ 51,976	\$ 111,668	\$ 112,861	\$ 114,047	\$ 115,284	\$ 116,484	\$ 117,738	\$ 118,990	\$ 120,257	\$ 121,536	\$ 122,826	\$ 124,134	\$ 125,462	\$ 126,784		
3 Mills of NET to State Brownfields Redevelopment Fund		\$ 8,533	\$ 18,633	\$ 18,853	\$ 19,073	\$ 19,293	\$ 19,513	\$ 19,733	\$ 19,953	\$ 20,173	\$ 20,393	\$ 20,613	\$ 20,833	\$ 21,053	\$ 21,273	\$ 185,855	\$ 247,855
School Annual Tax Incremental Revenue (after State BF Fund)		\$ 43,443	\$ 93,035	\$ 94,008	\$ 94,974	\$ 95,941	\$ 96,908	\$ 97,875	\$ 98,842	\$ 99,809	\$ 100,776	\$ 101,743	\$ 102,710	\$ 103,677	\$ 104,644	\$ 912,278	\$ 1,224,923
Annual Tax Incremental Revenue		\$ 97,704	\$ 209,877	\$ 212,120	\$ 214,363	\$ 216,606	\$ 218,849	\$ 221,092	\$ 223,335	\$ 225,578	\$ 227,821	\$ 230,064	\$ 232,307	\$ 234,550	\$ 236,793		
Annual Cumulative Incremental Taxes		\$ 97,704	\$ 307,581	\$ 519,701	\$ 734,064	\$ 948,348	\$ 1,162,632	\$ 1,376,916	\$ 1,591,200	\$ 1,805,484	\$ 2,019,768	\$ 2,234,052	\$ 2,448,336	\$ 2,662,620	\$ 2,876,904	\$ 2,876,904	\$ 2,876,904
WDOE Reimbursed Expenses (Including 3% Interest)																	
Total Local Taxes		\$ 51,976	\$ 111,668	\$ 112,861	\$ 114,047	\$ 115,284	\$ 116,484	\$ 117,738	\$ 118,990	\$ 120,257	\$ 121,536	\$ 122,826	\$ 124,134	\$ 125,462	\$ 126,784		
City Contribution		\$ 29,316	\$ 62,994	\$ 63,667	\$ 64,327	\$ 65,014	\$ 65,707	\$ 66,408	\$ 67,119	\$ 67,836	\$ 68,561	\$ 69,286	\$ 70,016	\$ 70,750	\$ 71,481	\$ 794,808	\$ 854,328
County Contribution		\$ 22,669	\$ 48,674	\$ 49,194	\$ 49,729	\$ 50,261	\$ 50,797	\$ 51,336	\$ 51,878	\$ 52,423	\$ 52,969	\$ 53,516	\$ 54,064	\$ 54,613	\$ 55,163	\$ 481,320	\$ 518,680
Total School Taxes		\$ 45,729	\$ 99,229	\$ 100,339	\$ 100,339	\$ 100,339	\$ 100,339	\$ 100,339	\$ 100,339	\$ 100,339	\$ 100,339	\$ 100,339	\$ 100,339	\$ 100,339	\$ 100,339	\$ 1,276,128	\$ 1,373,008
Unreimbursed Eligible Expenses		\$ 2,666,810	\$ 2,666,810	\$ 2,666,810	\$ 2,666,810	\$ 2,666,810	\$ 2,666,810	\$ 2,666,810	\$ 2,666,810	\$ 2,666,810	\$ 2,666,810	\$ 2,666,810	\$ 2,666,810	\$ 2,666,810	\$ 2,666,810	\$ 2,666,810	\$ 2,666,810

Tax Rate	Millage	Percentage
Local Tax	22.8659	49.96%
City	13.4630	26.12%
County	10.4059	21.74%
School Tax	24.0000	50.18%
Total	47.8948	100.00%

Proposed 15.43% tax capture rate, as captured by the BSA

Exhibit C

Brownfield Request for Cost Reimbursement For Eligible Activities

Date: _____

Listed below are total costs expended for each eligible activity category for the expenses being submitted with this request. Attached is evidence of each cost item, including proof of payment and detailed invoices.

Eligible Activity Category		Total Cost
1.	Phase I/Phase II/BEA	
2.	Due Care Activities	
3.	Additional Response Activities	
4.	Brownfield Plan preparation	
5.	Interest	
	Total Cost Reimbursement Request	

I certify that the information submitted on and with this Request for Cost Reimbursement is accurate and is an eligible cost described in the Brownfield Plan for this project approved by the City Council of the City of Birmingham.

Developer: _____

Signature: _____

Title: _____

Address: _____

**CITY OF BIRMINGHAM
BROWNFIELD REDEVELOPMENT AUTHORITY**

BROWNFIELD PLAN

**MIXED USE DEVELOPMENT
LOCATED AT 856 NORTH OLD WOODWARD AVENUE
BIRMINGHAM, MICHIGAN**

**July 26, 2016
Revised November 3, 2016**

Approved by BRA: 9/27/2016
Approved by City Commission: 10/27/2016

Prepared on Behalf of:

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APPENDICES

Appendix A	Legal Description
Appendix B	“Facility” Status Documentation
Appendix C	Site Maps
Appendix D	Preliminary Site Plans
Appendix E	Tax Increment Financing Tables

PROJECT SUMMARY

Project Name:	Proposed Mixed-use Development
Project Location:	The property is located at 856 North Old Woodward Avenue in Birmingham, Oakland County, Michigan.
Type of Eligible Property:	Facility
Eligible Activities:	Baseline Environmental Assessments, Due Care Activities, and Preparation of a Brownfield Plan.
Reimbursable Costs:	Up to \$2,656,610
Years to Complete Reimbursement:	Approximately 14 years is anticipated, however, the Birmingham Brownfield Redevelopment Authority (BBRA) has requested the payback period be limited to 10 years.
Estimated Capital Investment:	Approximately \$14-16 million
Project Overview:	<p>This project includes response activities for the remediation and redevelopment of a brownfield site, which currently consists of a vacant, underutilized eyesore for the city. The existing site conditions and contamination have deterred several past attempts to bring the vacant site into successful reuse.</p> <p>The proposed redevelopment entails the new construction of a mixed-use residential/retail building with underground parking. The proposed redevelopment involves significant investment. Remediation and redevelopment is anticipated to commence in late 2016/early 2017 and create 20 to 30 permanent jobs.</p>

I. INTRODUCTION AND PURPOSE

In order to promote the revitalization of environmentally distressed areas within the boundaries of Birmingham (“the City”), the City has established the Birmingham Brownfield Redevelopment Authority (BBRA) the “Authority” pursuant to the Brownfield Redevelopment Financing Act, Michigan Public Act (PA) 381 of 1996, as amended.

The primary purpose of this Brownfield Plan (“Plan”) is to promote the redevelopment of and private investment in certain “Brownfield” properties within the City. Inclusion of property within this Plan will facilitate financing of environmental response and other eligible activities at eligible properties, and will also provide tax incentives to eligible tax payers willing to invest in revitalization of eligible sites, commonly referred to as Brownfields. By facilitating redevelopment of Brownfield properties, this Plan is intended to promote economic growth for the benefit of the residents of the City.

The Property is currently zoned O-2 Office Commercial and within the Downtown Overlay Boundary, is currently vacant property that is an underutilized eyesore, and is located at the intersection of North Old Woodward Avenue and Oak Avenue. The surrounding area is characterized by commercial and residential properties.

This Plan is intended to apply to the eligible property identified in this Plan and, to identify and authorize the eligible activities to be funded. Any change in the proposed use of the eligible property shall not necessitate an amendment to this Plan, affect the application of this Plan to the eligible property, or impair the rights available to the Authority under this Plan.

This Plan is intended to be a living document which may be modified or amended as necessary to achieve the purposes of PA 381. The applicable sections of PA 381 are noted throughout the Plan for reference purposes.

This Brownfield Plan contains information required by Section 13(1) of PA 381.

II. GENERAL DEFINITIONS AS USED IN THIS PLAN

Terms used in this Brownfield Plan are defined as provided in the following statutes, as appropriate:

The Brownfield Redevelopment Financing Act, 1996 Mich. Pub. Acts. 502 which amended Pub. Act 381, M.C.L. § 125.2651 et seq., as amended.

III. BROWNFIELD PROJECT

DESCRIPTION OF THE ELIGIBLE PROPERTY AND THE PROJECT

The Eligible Property consists of one legal parcel totaling 0.57 acres with a street address of 856 North Old Woodward Avenue in Birmingham, Oakland County, Michigan and the tax ID number of 08-19-25-328-001 (the "Property").

This parcel and all tangible personal property located thereon will comprise the eligible property and is referred to herein as the "Property." The legal description is included in Appendix A.

FLS Properties #5 LLC or any affiliate, as approved by the Authority, are collectively the project developer ("Developer").

The property is currently vacant land, located between North Old Woodward Avenue and the Rouge River, south of Oak Avenue. The Property was used as a gas station from 1937 to 1940, a gift shop from 1940 to 1949, and a restaurant from 1949 to 1988, when the former building was demolished. Since that time, the property has been used as a debris and dumping site and is currently a vacant underutilized eyesore. Numerous impediments have deterred developer investment in to subject property due to known contamination and challenging geotechnical conditions.

The proposed redevelopment includes site improvements and new construction of a four story mixed-use commercial and residential property. The new building includes the creation of approximately 27 residential units with an anticipated 3,500 square feet of retail space on the first floor and underground parking. Each residential unit will range in size from 900 to 1,900 square feet. This project will result in the elimination of an eyesore in the City that has been vacant for decades. Redevelopment of this vacant underutilized property, will provide additional residential and commercial space in a key corridor, Old Woodward Avenue, as well as remediate and eliminate the existing conditions. The proposed underground parking creates a significant added cost to the developer while benefiting the surrounding area by increasing density.

Redevelopment activities are proposed for the end of 2016/early 2017. The developer will invest an estimated \$12-14 Million dollars in the redevelopment and create approximately 20-25 construction jobs, and 20-30 permanent jobs.

Appendix C includes site maps of the parcel and an eligible property boundary map. Preliminary site plans are included in Appendix D.

BASIS OF ELIGIBILITY

The Property is considered "Eligible Property" as defined by Act 381, Section 2 because: (a) the Property was previously utilized as a commercial property; and (b) the parcel comprising the Property has been determined to be a "facility."

A Baseline Environmental Assessment (BEA) was completed in September 2015 and documents the following information. A copy of the BEA text, figures, and tables are also provided in Appendix B.

Subsurface investigations were completed on the subject property between 1996 and 2002, and in 2006 and 2015. Concentrations of benzene, tetrachloroethene, xylenes, arsenic, chromium, selenium, and mercury were detected in soil samples collected from the subject property above the Part 201 Residential and Nonresidential Drinking Water Protection (DWP), Groundwater Surface Water Interface Protection (GSIP), and/or the Residential Direct Contact (DC) cleanup criteria. Concentrations of benzene, methyl-tert-butyl ether (MTBE), vinyl chloride, lead, and silver were detected in groundwater samples collected from the subject property above the Part 201 Residential and Nonresidential Drinking Water (DW) and/or Groundwater Surface Water Interface (GSI) cleanup criteria. Concentrations of m-dichlorobenzene and tetrachloroethylene were detected in soil gas samples collected from the subject property above the Part 201 Residential Vapor Intrusion Screening Levels (VISLs). The concentrations detected are consistent with contaminants from gasoline dispensing stations, dry cleaning operations, and fill material.

A location where a hazardous substance is present in excess of the concentrations, which satisfy the requirements of subsection 20120a(1)(a) or (17), is a facility pursuant to Part 201. Section 20120a(1)(a) requirements are the Cleanup Criteria for unrestricted residential usage. Based upon the documented exceedances of the Part 201 cleanup criteria and MDEQ VISLs, the subject property is a facility under Part 201 of P.A. 451, as amended, and the rules promulgated thereunder.

A. Description of Costs to Be Paid for With Tax Increment Revenues and Summary of Eligible Activities

Tax Increment Financing revenues will be used to reimburse the costs of “eligible activities” (as defined by Section 2 of PA 381) as permitted under the Brownfield Redevelopment Financing Act that include: Due Care Activities, Additional Response Activities, and preparation of a Brownfield Plan and inclusion of interest as described in this Plan. An itemization of these activity expenses is included in Table 1 of Appendix E.

The project redevelopment activities are slated to commence late 2016/early 2017, with a completion goal of 2018.

The following eligible activities and budgeted costs are intended as part of the development of the property and are to be financed solely by the developer. The Authority is not responsible for any cost of eligible activities and will incur no debt.

1. Baseline Environmental Assessments; including a Phase I Environmental Site Assessment (ESA), Phase II ESA, BEA, and Documentation of Due Care Compliance (DDCC) at a cost of \$16,155.
2. Due Care Activities; including cost difference for the transportation and disposal of approximately 13,390 tons of soil to a Type II Landfill (in comparison to the disposal of clean soil), the additional delineation of tetrachloroethylene contamination in soil and groundwater and the excavation, transport, and disposal of approximately 6,705 tons (of the total 20,095 tons) of soil as listed hazardous waste, excavation equipment decon, the associated oversight, sampling, and reporting, the management and disposal of up to 30,000 gallons of contaminated groundwater, and costs associated with brownfield and post-due care project management, for an estimated cost of \$2,130,515.

- a. Excavation of up to 6,705 tons of hazardous material totaling **\$270,547**
 - i. Excavation at a cost differential of \$40.35/ton when compared to a similar excavation occurring at a greenfield site.
- b. Transport of 20,095 tons of contaminated soil totaling **\$412,553**
 - i. Transport of up to 13,390 tons of soil to a Type II Landfill at \$7/ton totaling \$93,730.
 - ii. Transport of up to 6,705 tons of hazardous material at \$47.55/ton totaling \$318,823.
- c. Disposal of 20,095 tons of contaminated soil totaling **\$1,159,735**:
 - i. Disposal of up to 13,390 tons of soil to a Type II Landfill at \$11.50/ton totaling \$153,985.
 - ii. Disposal of up to 6,705 tons of hazardous material at \$150/ton totaling \$1,005,750.
- d. Excavation equipment decon and decon waste water handling totaling **\$7,500**.
- e. Additional delineation sampling of tetrachloroethylene soil concentrations identified along the northern and eastern subject property boundaries and totaling **\$21,945**:
 - i. Mobilization, onsite labor for oversight, screening, and sample collection at an estimated \$2,550
 - ii. Consultant equipment and supplies at an estimated \$600
 - iii. Data evaluation and project management for reporting at an estimated \$3,500
 - iv. Drilling and operations at an estimated \$5,275
 - v. Lab analysis of 36 samples for VOCs at an estimated \$2,520
 - vi. Project management associated with hazardous material at an estimated \$7,500
- f. Associated excavation oversight, excavation verification sampling, and reporting accounts for the following and totaling **\$28,475**:
 - i. Mobilization, oversight, and sample collection at an estimated \$12,375.
 - ii. Consultant Equipment and Supplies at an estimated \$1,200.
 - iii. Data Evaluation, project management, and report preparation at an estimated \$4,500.
 - iv. Sampling for VOCs, PNAs, PCBs, Michigan 10 metals at an estimated \$9,800 (28 samples at \$350/sample)
 - v. Up to one sample for TCLP at an estimated \$600.
- g. Management and disposal of up to 30,000 gallons of contaminated groundwater and totaling **\$49,260**
 - i. On-site storage management at an estimated \$7,500.
 - ii. Disposal at an estimated \$1.40 per gallon, totaling \$41,760.

- h. The installation of chemcially resistant gaskets for sub-grade utilities to minimize degradation and installation of a chemically resistant vapor barrier with passive venting to cover the entire lower floor level to include the sub-grade vertical wall along the adjoining dry cleaner property to prevent vertical migration along preferential vertical pathways (i.e. stairwells, elevators, utilities, etc.) following the proposed soil removal and installation of gaskets resistant to chemical breakdown by the identified contamination, for an estimated cost of **\$172,500.**
 - i. Installation of chemically resistant gaskets for sub-grade utilities at an estimated \$10,000
 - ii. Design, bid specification, and coordination at an estimated \$5,000
 - iii. Vapor barrier installation and initial testing at an estimated \$125,000
 - iv. Vapor installation oversight at an estimated \$10,000
 - v. Post installation testing at an estimated \$7,500
 - vi. Project management and reporting at an estimated \$15,000
- i. Costs associated with project management and brownfield financial management, for an estimated cost of **\$3,000.**
- j. Post-construction due care plan for an estimated cost of **\$5,000.**

Under Section 7a of Part 201, the current owner has “due care” obligations to prevent unacceptable human exposures, prevent exacerbation, and take reasonable precautions against the reasonably foreseeable acts or omissions of a third party relative to existing contamination and the activities at the subject property. Contaminated soil and groundwater cannot be relocated or moved from one portion of the subject property to another without proper characterization, appropriate notices and/or the use of engineering controls (i.e., liners, surface cover, etc.), in accordance with Section 20c of Part 201, or offsite disposal at a licensed disposal facility in accordance with Parts 111 and/or 115, as applicable.

PM completed a Phase II ESA, which documented that the existing soils are contaminated (identified above Part 201 Residential and Nonresidential Drinking Water Protection (DWP), Groundwater Surface Water Interface Protection (GSIP), and/or the Residential Direct Contact (DC) cleanup criteria).

Excavation of hazardous material

Typical excavation would not be considered an eligible brownfield activity since the activity is required regardless of the environmental impact at the property. However, a portion of contaminated soils (approximately 6,705 of the identified 20,095 tons) proposed for excavation and located along the northern property boundary are anticipated to require special considerations as a listed hazardous waste. This includes additional costs associated with personal protective equipment (PPE), labor, handling, and equipment (including roll off box rental and liners). Only the cost difference associated is included in the Brownfield Plan.

Transport and disposal of contaminated soils

Based on existing soil conditions, topography, and the preliminary grading plan, approximately 20,095 tons of soils require transportation and disposal. Should this development have occurred, the same amount of clean soil removal would have been required. Therefore, this Brownfield

Plan accounts only for the added expense of proper transport and disposal of contaminated soils at a Type II Landfill. In comparison, should the soils anticipated for removal have been clean (as assumed if found on a greenfield site), the cost to the developer would be zero sum (i.e. the coordination of disposal costs negated by the successful reuse at another site). A portion of contaminated soils (approximately 6,705 of the identified 20,095 tons), located along the northern property boundary are anticipated to require disposal as a listed hazardous waste.

Excavation Equipment Decon and Decon Wastewater Handling

It will be required that all excavation equipment is decontaminated because site soils are contaminated. Costs included within this estimate account for mud mat and truck waste removal from excavation equipment which is necessary to prevent migration of contamination off-site.

Additional delineation and sampling of Tetrachloroethylene soils

Additional delineation activities are to be completed to fully define the extent of the hazardous waste concentrations to allow compliant handling and disposal and to avoid over excavation of soils at the increased hazardous waste disposal rate.

Associated excavation oversight, verification sampling, and reporting

Assessment, oversight, sampling, and reporting is also included to document and verify site conditions following soil removal activities and provide guidance for the removal of soil identified as listed hazardous waste.

Transport and disposal of contaminated groundwater

Development activities require the excavation of/handling of groundwater present within excavated areas of the subject property; therefore, the developer is required to properly to handle and dispose of contaminated media encountered/generated in association with the proposed redevelopment. This is necessary to ensure successful completion of project.

The incremental difference between clean versus dirty pumping and digging cannot be substantiated. Therefore, the requested expenses are only associated with additional costs required for the on-site storage management and disposal of contaminated groundwater.

Installation of a vapor barrier and gaskets resistant to chemical breakdown

This brownfield plan includes the installation of a chemically resistant vapor barrier with passive venting prior to occupancy. The installation of a vapor barrier will occur to control migration via potential preferential vertical migration pathways including stairwells and elevator pits covering an estimated 20,000 square feet of floor space and 1,500 square feet of the northwestern wall following the proposed soil removal. This also includes the installation of gaskets resistant to chemical breakdown by the identified contamination. PCE contaminated soils are being removed; however, PCE concentrations will not be completely remediated by the removal activities.

Brownfield project and financial management

Costs associated with brownfield project and financial management of this project are included. Activities consist of coordination of proper and compliant financial tracking and reporting, as required in relation to due care, additional response, and brownfield related activities being submitted for reimbursement.

Post-construction due care plan

Preparation of a post-construction due care plan is also included, which will document and verify site conditions and owner obligations following redevelopment activities.

3. Preparation of Brownfield Plan and 381 Work Plan and associated activities (e.g. meetings with BBRA, etc.) at a cost of approximately \$9,000.

All activities are intended to be “Eligible Activities” under the Brownfield Redevelopment Financing Act. The total estimated cost of Eligible Activities subject to reimbursement from tax increment revenues is approximately \$2,153,670. This plan as includes a 15% contingency of \$319,577 and interest (\$508,364).

Per the request made at the September 27, 2016, BBRA meeting, the total requested amount has been reduced by \$325,000. Therefore, the total no-to-exceed amount under this request is \$2,656,610.

B. Estimate of Captured Taxable Value and Tax Increment Revenues

Incremental taxes on real property included in the redevelopment project will be captured under this Brownfield Plan to reimburse eligible activity expenses. Tax increment revenue capture is estimated to begin in 2018. The taxable value of the real property for base year 2016 is \$322,450; no personal property is associated with the site. The estimated taxable value of the completed development is \$5,000,000. This assumes a one-year phase-in for completion of the redevelopment, which has been incorporated into the tax increment financing assumptions for this plan. An annual increase in taxable value of 1% has been used for calculation of future tax increments in this plan.

C. Estimated Impact of Tax Increment Financing on Revenues of Taxing Jurisdictions

The following estimates assume the limit of a 10-year reimbursement period.

Taxes will continue to be generated to taxing jurisdictions on local captured millages at the base taxable value of \$322,450 throughout the duration of this plan totaling approximately \$76,970 or \$7,697 annually.

Non-capturable millages; including debt millages, the zoo authority and art institute, will see an immediate increase in tax revenue following redevelopment and will provide anticipated new tax revenue of \$253,548 throughout the duration of this plan.

For a complete breakdown of the captured millages and developer reimbursement please see “Table 2” in Appendix E.

D. Method of Financing and Description of Advances by the Municipality

Redevelopment activities at the property will be funded by FLS Properties #5 LLC. Costs for eligible activities funded by FLS Properties #5 LLC will be repaid with incremental taxes generated by future development of the property and administered through the BBRA. No advances will be made by the BBRA for this project. All reimbursements authorized under this Brownfield Plan shall be governed by the Reimbursement Agreement.

E. Maximum Amount of Note or Bonded Indebtedness

No note or bonded indebtedness will be incurred by any local unit of government for this project.

F. Duration of Brownfield Plan

In no event shall the duration of the Plan exceed 35 years following the date of the resolution approving the Plan, nor shall the duration of the tax capture exceed the lesser of the period authorized under subsection (4) and (5) of Section 13 of Act 381 or 30 years. Further, in no event shall the beginning date of the capture of tax increment revenues be later than five years after the date of the resolution approving the Plan.

Under approval granted by the BBRA, a reimbursement period limitation of 10 years has been imposed.

G. Effective Date of Inclusion in Brownfield Plan

The Property will become part of this Plan on the date this Plan is approved by the City of Birmingham City Commission.

H. Displacement/Relocation of Individuals on Eligible Property

There will be no displacement or relocation of persons or businesses under this Plan.

I. Local Site Remediation Revolving Fund ("LSRRF")

The BBRA has not established a Local Site Remediation Revolving Fund (LSRRF), therefore, use of a Local Site Remediation Revolving Fund is not part of the scope of this project.

J. Other Material that the Authority or Governing Body Considers Pertinent

The Developer and its affiliates shall comply with all applicable laws, ordinances, executive orders, or other regulations imposed by the City or any other properly constituted governmental authority with respect to the Property and shall use the Property in accordance with this Plan.

Appendix A

LEGAL DESCRIPTION

T2N, R10E, SEC 25 ASSESSOR'S PLAT NO 29 LOTS 3 & 4, ALSO PART OF NW 1/4 BEG AT
PT DIST S 88-16-00 E 10.15 FT FROM NW COR OF SD LOT 3, TH S 88-16-00 E 124.70 FT, TH
N 49-21-00 W 46.41 FT, TH S 73-32-00 W 93.28 FT TO BEG

Appendix B



Detroit
4080 W. 11 Mile Road
Berkley, MI 48072
f: 877.884.6775
t: 248.336.9988

Lansing
3340 Ranger Road
Lansing, MI 48906
f: 877.884.6775
t: 517.321.3331

Grand Rapids
560 5th Street NW,
Suite 301
Grand Rapids, MI 49504
f: 877.884.6775
t: 616.285.8857

September 4, 2015

District Supervisor
Michigan Department of Environmental Quality
Southeastern Michigan District Office
27700 Donald Court
Warren, Michigan 48092

**RE: Baseline Environmental Assessment for the Vacant Land located at
856 North Old Woodward Avenue, Birmingham, Michigan
Parcel ID: 08-19-25-328-001
PM Environmental, Inc. Project No. 01-5889-0-001**

Dear District Supervisor:

Enclosed is a copy of the Baseline Environmental Assessment prepared for the above referenced subject property in accordance with Section 20126(1)(c) of Part 201, Environmental Remediation, of the Natural Resources and Environmental Protection Act (NREPA), P.A. 451 of 1994 (Part 201), as amended.

If you have any questions regarding the information in this report, please contact us at 248-336-9988.

Sincerely,
PM ENVIRONMENTAL, INC.

Nicole Kane
Staff Scientist

Jennifer Ritchie, CPG
Regional Site Investigation Manager

Enclosure



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Suite 301
Grand Rapids, MI 49504
f: 877.884.6775
t: 616.285.8857

September 4, 2015

Mr. Frank R. Simon
FLS Properties #5, LLC
P.O. Box 689
Bloomfield Hills, Michigan 48303

**RE: Baseline Environmental Assessment for the Vacant Land located at
856 North Old Woodward Avenue, Birmingham, Michigan
Parcel ID: 08-19-25-328-001
PM Environmental, Inc. Project No. 01-5889-0-001**

Mr. Simon:

Enclosed is a copy of the above-referenced document prepared in accordance with Section 20126(1)(c) of Part 201, Environmental Remediation, of the Natural Resources and Environmental Protection Act (NREPA), P.A. 451 of 1994 (Part 201), as amended.

THIS BASELINE ENVIRONMENTAL ASSESSMENT WAS PERFORMED FOR THE EXCLUSIVE USE OF FLS PROPERTIES #5, LLC, WHO MAY RELY ON THE REPORT'S CONTENTS.

If you have any questions regarding the information in this report, please contact our office at 248-336-9988.

Sincerely,
PM ENVIRONMENTAL, INC.

Nicole Kane
Staff Scientist

Jennifer Ritchie, CPG
Regional Site Investigation Manager

Enclosure

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- Appendix A: Phase I ESA, April 10, 2015, ASTI Environmental
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1.0 INTRODUCTION AND DISCUSSION

PM Environmental, Inc. (PM) completed a Baseline Environmental Assessment (BEA) for the vacant land (Parcel ID: 08-19-25-328-001) located at 856 North Old Woodward Avenue, Birmingham, Oakland County, Michigan 48009 (hereafter referred to as the subject property). The subject property consists of one 0.57 acre parcel and is located east of North Old Woodward, west of the Rouge River and Woodward Avenue, and south of Oak Avenue (Figure 1). The subject property consists of vacant land with asphalt paved parking in the northeastern portion, remnants of a building foundation in the northern portion, and grass in the remaining portions (Figure 2). The property has a down-gradient slope from North Old Woodward Avenue east to where it adjoins the Rouge River, which is an elevation difference of approximately 15 feet.

Standard and other historical sources documented that the subject property was developed in at least 1937 with a gasoline dispensing station and one other structure, likely a residential dwelling, in the northern and eastern portions of the subject property. In 1940, the gasoline dispensing station was converted to a gift shop. By 1946, a residential dwelling was reportedly converted into a tea room and restaurant in the western portion of the subject property. The gift shop appears to have been demolished by 1949. The tea room and restaurant operated until 1988, when the commercial building was demolished.

1.1 Owner/Operator Information

FLS Properties #5, LLC, P.O. Box 689, Bloomfield Hills, Michigan 48303 purchased the property July 28, 2015.

1.2 Intended Use of the Subject Property

FLS Properties #5, LLC intends to redevelop the property for mixed commercial and residential use with no significant chemical use and storage greater than household quantities. The proposed building will consist of open underground parking, first floor parking with limited commercial space, and second, third, and fourth floor residential apartments. The intended use is consistent with a residential and nonresidential property use in accordance with Part 201.

Municipal water and sewer, as well as natural gas, and electrical utilities are available to the subject property. No water supply wells exist or will be installed in association with the subject property.

1.3 Summary of All Appropriate Inquiry Phase I Environmental Assessment

ASTI Environmental (ASTI) performed a Phase I Environmental Site Assessment (ESA) for the subject property dated April 10, 2015, in conformance with the scope and limitations of ASTM Practice E 1527-13 (i.e., the 'ASTM Standard'). A copy of the April 2015 Phase I ESA, including photographs of the subject property, is included in Appendix A.

The following onsite recognized environmental conditions (RECs) were identified in ASTI's April 2015, Phase I ESA:

- Review of historical records document that the subject property was occupied by a gasoline dispensing station from at least 1937 to 1940. No records are available documenting the presence or removal of former underground storage tanks (USTs). No documentation of site assessment activities were available for review documenting

assessment of the former fueling and UST areas. Based on this information, the potential exists for orphan USTs to be present and/or for releases to have occurred from the UST systems and/or former fueling operations.

- Review of historical records document a permit was issued for the use of a 220-gallon fuel oil tank in May 1947 in association with the former commercial building in the western portion of the subject property. An investigation as to the presence of a buried fuel oil tank has not been conducted. The potential exists that the former commercial building was heated with fuel oil stored within an aboveground storage tank (AST) or UST. The potential exists for an orphan UST to be present on the subject property and/or for a release of fuel oil to have occurred.
- The subject property is an Inventory site and a BEA site as a result of previous site assessment activities completed between 2002 and 2006 that document soil and groundwater contamination onsite above the current Michigan Department of Environmental Quality (MDEQ) Part 201 Residential and Nonresidential cleanup criteria. Based on these analytical results, the subject property meets the definition of a “facility,” in accordance with Part 201 of P.A. 451 of the Michigan Natural Resources Environmental Protection Act (NREPA), as amended.
- Fill material was identified on the subject property ranging in depths between 5.0 feet below ground surface (bgs) to 24.0 feet bgs, containing construction-like rubble increasing in quantity toward the northern portion of the subject property. Based on this information, the potential exists for landfilling to have also occurred on the subject property and for contamination to be present from buried materials and/or leachate generated as a result of the percolation of water through waste. Additionally, landfill gas (i.e. methane) could be present due to decomposition of the waste.

The following adjoining and/or nearby RECs were identified:

- The northeast adjoining property, 35975 Woodward Avenue, was occupied by a gasoline dispensing station from at least 1960 to the early 2000s and is an open Leaking Underground Storage Tank (LUST) site. Previous site assessment activities completed in 2005 and 2006 document soil and groundwater contamination remains onsite above the current MDEQ Part 213 RBSLs. Additionally, at least four monitoring wells were installed on the subject property in association with the adjoining open LUST site. The monitoring wells were sampled in 2004 and groundwater contamination above the current MDEQ Part 213 RBSLs was documented to have migrated onto the subject property from the northeast adjoining property.
- The north adjoining property, 900 North Old Woodward Avenue, has been occupied by a dry cleaner since at least 1970. Dry cleaning operations commonly involve the usage of general hazardous substances and/or petroleum products, which, if improperly managed and/or disposed of, can be a source of contamination. The potential exists that a release has occurred on this property and migrated onto the subject property.
- The west adjoining property, 887 North Old Woodward Avenue, was occupied by a gasoline service station from at least 1930 to the early 1950s. No documentation of site assessment activities were available for review documenting assessment of the former fueling, UST, and automotive service areas. Based on this information and the close

proximity of the west adjoining property to the subject property, the potential exists that contamination has migrated onto the property.

1.3.1 Phase I ESA Exceptions or Deletions

There were no exceptions or deletions from the Federal All Appropriate Inquiry Rule under 40 CFR 312, or the ASTM Standard during the completion of the ASTI's April 2015 Phase I ESA. No special terms or conditions applied to the preparation of the Phase I ESA.

1.3.2 Phase I ESA Data Gaps

ASTI did not identify any significant data gaps during the completion of the April 2015 Phase I ESA.

1.4 Summary of Previous Site Investigations

PM reviewed the following previous environmental reports for the subject property which are included within ASTI's April 2015 Phase I ESA, which is included within Appendix A. Tables and figures from the previous subsurface investigations are included within Appendix B.

Name of Report	Date of Report	Company that Prepared Report
Phase I ESA	October 23, 2006	Soils and Materials Engineers, Inc. (SME)
BEA	November 6, 2006	SME

Phase I ESA, October 2006, SME – SME completed a Phase I ESA dated October 23, 2006. At the time of SME's Phase I ESA, the subject property was vacant land. SME identified RECs in association with the 1) debris and fill material located on the subject property; 2) the fuel oil tank identified in historical records; 3) volatile organic compounds (VOCs) and lead detected in soil and groundwater samples collected from the subject property above the Part 201 Residential and Nonresidential cleanup criteria; and, 4) the north adjoining dry cleaner.

BEA, November 2006, SME – SME completed a BEA dated November 6, 2006. The BEA summarizes subsurface investigation activities completed by SME on September 26, 2006 to assess the RECs identified in the September 2006 Phase I ESA, a Geotechnical Investigation report dated October 20, 2006 completed as part of a proposed future development at the time, and two previous subsurface investigations completed in 2002 and 2005.

On September 26, 2006 SME completed a scope of work that consisted of the advancement of seven soil borings (SP1 through SP7), the installation of four temporary monitoring wells (SP1, SP2, SP4, and SP7), and the collection of six soil samples and three groundwater samples for laboratory analysis of VOCs, polynuclear aromatic compounds (PNAs), and metals (cadmium, chromium, and lead) to assess the RECs identified in the September 2006 Phase I ESA. Concentrations of benzene, tetrachloroethene, and xylenes were detected in the soil sample collected at SP6 (7.0-8.0 feet bgs) above the Part 201 Residential and Nonresidential Drinking Water Protection (DWP) and Groundwater Surface Water Interface Protection (GSIP) cleanup criteria. Concentrations of benzene, lead, and MTBE were detected in the groundwater samples collected at SP2 and SP7 above the Part 201 Residential and Nonresidential Drinking Water (DW) and Groundwater Surface Water Interface (GSI) cleanup criteria. No other concentrations of

VOCs, PNAs, and metals were detected in the soil and groundwater samples collected from the subject property above the laboratory method detection limits (MDLs) and/or the most restrictive Part 201 Residential cleanup criteria.

SME completed a Geotechnical Investigation dated October 20, 2006, in which on September 21 and 22, 2006 SME completed a scope of work consisting of the advancement of six soil borings (B1 through B6) as part of a proposed future development. The soil stratigraphy at the subject property was identified as consisting of sand/clay fill containing concrete, brick, asphalt, and cinder fragment with trace amount of organics to 26.0 feet bgs in the northeastern portion of the subject property, 10.0 feet bgs in the southeastern portion of the subject property, 3.5 feet bgs in the northwestern and southwestern portions of the subject property, and 11.0 feet bgs in the central portion of the subject property. The fill material was identified as being underlain by native interbedded clay and sand to a depth of 74.0 feet bgs, the maximum depth explored. Perched and discontinuous groundwater was encountered at various depths between 9.0 and 29.5 feet bgs within the fill material and the native sand seams. SME recommended a partial undercut of the existing fill within the below-grade parking and other pavement areas, installing soldier piles and lagging to protect adjacent structures during construction, not using the existing fill material as engineered fill, completing moisture conditioning for suitable compaction of the native clay, drilling piers to support the proposed building, and using standard sump and pit methods or crushed aggregate to prevent disturbance from groundwater accumulation.

A subsurface investigation was reportedly completed on the subject property in 2002, in which the scope of work consisted of the advancement of six soil borings and the installation of four monitoring wells. Concentrations of benzene, ethylbenzene, methyl-tert-butyl ether (MTBE), naphthalene, and lead were detected in the samples collected from the subject property above the Part 213 Risk-Based Screening Levels (RBSLs) in the northern portion of the subject property; however, these analytical results were not available for review. The concentrations reportedly migrated onto the subject property from the northeast adjoining gasoline dispensing station and open Leaking Underground Storage Tank (LUST) site identified as 35975 Woodward Avenue.

Delta Environmental Consultants, Inc. (Delta) installed five monitoring wells (TW-1, TM3, TW-4, OW-10, and OW-11) on the subject property in 1996 as part of LUST investigation activities for the northeast adjoining open LUST site. Subsequent to installation a series of groundwater monitoring events were completed on the subject property between 1996 and 2006. The most recent documented events available for review occurred in October 2005, February 2006, and April 2006 and were completed by PM. Groundwater samples were collected from TW-1, TW-4, and OW-11 and submitted for laboratory analysis of VOCs and lead, or some combination thereof. TW-3 and OW-10 did not produce groundwater sufficient for groundwater collection. Concentrations of benzene, MTBE, vinyl chloride, and lead were detected in the groundwater samples collected at TW-1 and TW-4 above the Part 213 Residential and Nonresidential DW and/or GSI RBSLs. No concentrations of other VOCs were detected in the groundwater samples collected at TW-1 and TW-4 above the laboratory MDLs or the most restrictive Part 213 Residential RBSLs. No concentrations of VOCs were detected in the groundwater sample collected at OW-11 above the laboratory MDLs. Groundwater flow was calculated to flow southeast towards the Rouge River. PM was unable to locate the permanent monitoring wells during the August 2015 subsurface investigation, discussed below and in Section 1.5.

1.5 Current Site Investigation

Prior to the commencement of field activities, MISSDIG, a utility locating service, was contacted to locate utilities on or adjacent to the subject property. Utilities were marked by the respective utility companies where they entered or were located adjacent to the subject property. In addition, PM cleared all soil boring locations of private utilities with ground penetrating radar (GPR).

1.5.1 Geophysical Survey Investigation

On August 11, 2015 PM completed a geophysical survey utilizing GPR at the subject property (Figure 2) to investigate the presence of potential orphan USTs. The Geophysical Survey Investigation Report is included as Appendix C.

No anomalies consistent with orphan USTs were identified. A suspect fill port pipe was visually identified during PM's GPR survey in the central portion of the subject property and the pipe was traced using a PL 2000 cable locator. PM advanced a shallow hand auger to 5.0 feet bgs in the area where the pipe terminated, and no anomalies were encountered.

Based upon the results of PM's GPR survey, orphan USTs are not believed to be present at the subject property. However, the potential exists that USTs could be present and not identified by the GPR survey if the location was directly below a limitation as indicated within the GPR report, located outside of the survey area, and/or deeper than the 3.5 feet bgs physical limits of the GPR survey. If orphan USTs are identified during redevelopment activities, the UST will be properly removed in accordance with state guidelines.

1.5.2 Subsurface Investigation

On August 13, 2015 PM completed a scope of work consisting of the advancement of six soil borings (SB-1 through SB-6), the installation of two temporary monitoring wells (TMW-1 and TMW-2), the installation of six soil gas sampling points (SG-1 through SG-6), and the collection of seven soil samples, two groundwater samples, and six soil gas samples for laboratory analysis of VOCs, PNAs, polychlorinated biphenyls (PCBs), and Michigan Ten Metals (arsenic, barium, cadmium, chromium, copper, lead, mercury, selenium, silver, and zinc), and methane, or some combination thereof, to assess the RECs identified in ASTI's April 2015 Phase I ESA.

Figures 3, 4, and 5 depict the location of the soil borings/temporary monitoring wells/soil gas sampling points installed at the subject property by PM along with a summary of the analytical results.

The soil boring logs, which depicts site-specific geology, PID readings, and soil, groundwater, and soil gas sample intervals are included within Appendix D.

The table below summarizes the Phase II ESA activities conducted by PM, including location, sample depth, analysis, objective, and sample selection justification.

Description of Soil Boring/Temporary Monitoring Well/Soil Gas Locations

Location and Total Depth (feet bgs)	Sample/Screen Depth [DTW] (feet bgs)	Analysis	Objectives	Sample Selection (Justification)
SB/TMW/SG-1 (20.0)	Soil 5.5-6.5	VOCs, PNAs, PCBs, and Michigan Ten Metals	Assess fill material and former fuel oil tank	Soil: A sample was collected above crushed stone debris and saturated soil. GW: Sampled. Soil Gas: Sampled.
	GW 5.00-10.00 [6.57]	VOCs, PNAs, and Michigan Ten Metals		
	Soil Gas 5.5	Methane	Assess a potential vapor intrusion condition	
SB/TMW/SG-2 (20.0)	Soil 6.0-7.0	VOCs, PNAs, PCBs, and Michigan Ten Metals	Assess fill material and former gasoline dispensing operations	Soil: A sample was collected at the shallow sand/clay interface below concrete debris. GW: Sampled. Soil Gas: Sampled.
	GW 10.00-15.00 [12.57]	VOCs, PNAs, and Michigan Ten Metals		
	Soil Gas 4.5	VOCs	Assess a potential vapor intrusion condition	
SB/SG-3 (20.0)	Soil 19.0-20.0	VOCs, PNAs, PCBs, and Michigan Ten Metals	Assess fill material and potential migration of contamination from west adjoining former gasoline service station	Soil: Based on the absence of field evidence of impact, a sample was collected at the end of the boring. GW: Not encountered. Soil Gas: Sampled.
	Soil Gas 3.5	VOCs and Methane	Assess a potential vapor intrusion condition	
SB/SG-4 (20.0)	Soil 7.5-8.5 and 13.0-14.0	VOCs, PNAs, PCBs, and Michigan Ten Metals	Assess fill material, former gasoline dispensing operations, and migration of contamination from north adjoining dry cleaner	Soil: Samples were collected at the shallow and deeper sand/clay interfaces below concrete debris. GW: Not encountered. Soil Gas: Sampled.
	Soil Gas 7.5	VOCs and Methane	Assess a potential vapor intrusion condition	
SB/SG-5 (16.0)	Soil 15.0-16.0	VOCs, PNAs, PCBs, and Michigan Ten Metals	Assess fill material and migration of contamination from northeast adjoining open LUST site	Soil: A deep sample was collected within stained soil below concrete debris. GW: Not encountered. Soil Gas: Sampled.
	Soil Gas 3.5	VOCs and Methane	Assess a potential vapor intrusion condition	

Location and Total Depth (feet bgs)	Sample/ Screen Depth [DTW] (feet bgs)	Analysis	Objectives	Sample Selection (Justification)
SB/SG-6 (20.0)	Soil 4.0-5.0	VOCs, PNAs, PCBs, and Michigan Ten Metals	Assess fill material and migration of contamination from northeast adjoining open LUST site	Soil: A sample was collected at concrete debris. GW: Not encountered. Soil Gas: Sampled.
	Soil Gas 5.5	Methane	Assess a potential vapor intrusion condition	

bgs – below ground surface; DTW – depth to water; GW – Groundwater

1.5.3 Investigation Techniques and Quality Control/Quality Assurance (QA/QC)

The soil borings were advanced to the desired depth using a model 6712-DT Geoprobe® drill rig. Soil sampling was performed for soil classification, verification of subsurface geologic conditions, and for investigating the potential and/or extent of soil and groundwater contamination at the subject property. Soil samples were generally collected on a continuous basis using a 5-foot long macro-core sampler.

During drilling operations, the drilling equipment was cleaned to minimize the possibility of cross contamination. These procedures included cleaning equipment with a phosphate free solution (i.e., Alkanox®) and rinsing with distilled water after each sample collection. Drilling and sampling equipment was also cleaned in this manner prior to initiating field activities. Soil collected from 1-foot sample intervals was screened using a photoionization detector (PID) to determine if VOCs were present. Soil from specific depths was placed in plastic bags and allowed to volatilize. The headspace within each bag was then monitored with the PID. The PID is able to detect trace levels of organic compounds in the air space within the plastic bag. Soil samples for VOC analysis were preserved with methanol, in accordance with U.S. Environmental Protection Agency (EPA) method 5035.

Temporary monitoring wells were installed at two of the six soil boring locations (TMW-1 and TMW-2) for groundwater sample collection. At each location, a new well assembly, consisting of a 5-foot 0.010-inch slot, schedule 40, poly-vinyl chloride (PVC) screen and PVC casing was lowered into the borehole to intersect the water table. After the screen for the well was set to the desired depth, an artificial sand pack or natural sands were allowed to collapse around the well screen. The groundwater samples were collected with care taken to avoid the potential for cross contamination between the samples and to prevent loss of volatiles to the atmosphere. The groundwater samples for laboratory analyses were transferred directly from the low-flow pump discharge line into appropriately labeled sample containers with Teflon lined lids. Purge water was maintained separate and returned to the wells.

The soil and groundwater samples were placed in appropriately labeled containers with Teflon® lined lids and/or sanitized glass jars and then placed in an ice-packed cooler and transported under chain of custody procedures for laboratory analysis within applicable holding times.

The soil gas sampling was completed in general accordance with the guidelines established in the May 2013 MDEQ Guidance Document for the Vapor Intrusion Pathway.

Sampling of soil gas points consisted of using of a polyethylene implant approximately two inches in length and affixed to appropriate length tubing for sample collection. Upon completion of the bore hole, a sampling interval is established by filling the hole with bentonite to the desired lower depth, as needed, inserting the sample implant and tubing, creating a sand pack of no more than one foot with the sampling implant in the center, and filling the remainder of the bore hole with bentonite.

Prior to the collection of each soil gas sample, the sampling apparatus was determined to be leak free utilizing an isolation chamber that encompassed tubing and associated connections as well as the sampling point. The chamber was charged with helium prior to purging the sampling point of a maximum of three volumes. A helium detector was then applied to the sampling line to ensure no leaks had occurred. The sample was collected using vacuum canister methods, for laboratory analysis of VOCs. The vacuum canisters were regulated with a flow rate of 200 ml/minute, which was pre-set at the laboratory. Soil gas samples were transported under chain of custody procedures for laboratory analysis within applicable holding times.

Upon completion of the investigation, the temporary monitoring well/soil gas sampling point material was removed and the soil borings were abandoned by placing the soil cuttings back into the borehole, filling the void with bentonite chips, hydrating the chips, resurfacing and returning the area to its pre-drilling condition.

1.6 Geology and Hydrogeology

Based on review of PM's August 2015 soil boring logs, the soil stratigraphy at the subject property generally consists of sand and/or clay fill to depth ranging between 8.0 feet bgs and 18.0 feet bgs, underlain by native sand and clay lenses to a depth of at least 20.0 feet bgs, the maximum depth explored. Fill material was encountered at a depth of approximately 8.0 feet bgs at SB-1 and SB-4, 6.5 feet bgs at SB-2, 16.0 feet bgs at SB-5, and 18.0 feet bgs at SB-6. In general, the fill material increases in quantity and depth towards the northeastern portion of the subject property. Discontinuous and perched groundwater was encountered at SB-1 at a depth of approximately 7.0 feet bgs and at SB-2 at a depth of approximately 14.0 feet bgs. No groundwater was encountered in the remaining four soil borings advanced by PM. Additionally, the eastern portion of the subject property is located within a floodway area that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights. The base flood elevation is approximately 740 feet per the FEMA Flood Insurance Study (FIS). This geology is consistent with the geology encountered in previous subsurface investigations discussed in Section 1.4 above.

The soil boring logs are included in Appendix D, which consist of site specific geology, sample depths, and temporary monitoring well details.

2.0 LOCATION OF CONTAMINATED MEDIA ON THE SUBJECT PROPERTY

PM compared the soil and groundwater analytical results collected during PM's August 2015 site investigation with the MDEQ cleanup criteria as presented in Part 201 Rules 299.1 through 299.50, dated December 30, 2013 entitled "Cleanup Criteria Requirements for Response Activity", in accordance with Section 20120a(1) using the Residential and Nonresidential cleanup criteria. PM compared the soil gas analytical results collected during PM's August 2015 site investigation

with the MDEQ Residential and Nonresidential Vapor Intrusion Screening Levels (VISLs) as presented in the Guidance Document for the Vapor Intrusion Pathway, dated May 2013.

The analytical results from the site investigation activities completed by PM are summarized in Tables 1 through 4 (including CAS#) and on Figures 3 through 5. Appendix E contains the laboratory analytical report.

Summary of Soil/Groundwater/Soil Gas Exceedances

Location and Total Depth (feet bgs)	Sample/ Screen Depth [DTW] (feet bgs)	Analysis	Objectives	MDEQ Part 201 Generic Cleanup Criteria and/or VISLs Exceedances
SB/TMW/ SG-1 (20.0)	Soil 5.5-6.5	VOCs, PNAs, PCBs, and Michigan Ten Metals	Assess fill material and former fuel oil tank	Arsenic: DWP, GSIP, (R) DC
	GW 5.00-10.00 [6.57]	VOCs, PNAs, and Michigan Ten Metals		Silver: GSI
	Soil Gas 5.5	Methane	Assess a potential vapor intrusion condition	NONE
SB/TMW/ SG-2 (20.0)	Soil 6.0-7.0	VOCs, PNAs, PCBs, and Michigan Ten Metals	Assess fill material and former gasoline dispensing operations	Arsenic: DWP, GSIP, (R) DC Selenium: GSIP
	GW 10.00-15.00 [12.57]	VOCs, PNAs, and Michigan Ten Metals		Silver: GSI
	Soil Gas 4.5	VOCs	Assess a potential vapor intrusion condition	NONE
SB/SG-3 (20.0)	Soil: 19.0-20.0	VOCs, PNAs, PCBs, and Michigan Ten Metals	Assess fill material and potential migration of contamination from west adjoining former gasoline service station	Arsenic: DWP, GSIP, (R) DC Chromium: GSIP
	Soil Gas 3.5	VOCs and Methane	Assess a potential vapor intrusion condition	NONE
SB/SG-4 (20.0)	Soil: 7.5-8.5	VOCs, PNAs, PCBs, and Michigan Ten Metals	Assess fill material, former gasoline dispensing operations, and migration of contamination from north adjoining dry cleaner	Tetrachloroethene: DWP, GSIP Arsenic: DWP, GSIP, (R) DC Selenium: GSIP
	Soil: 13.0-14.0			Tetrachloroethene: DWP Arsenic: DWP, GSIP, (R) DC Chromium: GSIP
	Soil Gas 7.5	VOCs and Methane	Assess a potential vapor intrusion condition	NONE

Location and Total Depth (feet bgs)	Sample/ Screen Depth [DTW] (feet bgs)	Analysis	Objectives	MDEQ Part 201 Generic Cleanup Criteria and/or VISLs Exceedances
SB/SG-5 (16.0)	Soil: 15.0-16.0	VOCs, PNAs, PCBs, and Michigan Ten Metals	Assess fill material and migration of contamination from northeast adjoining open LUST site	Arsenic: DWP, GSIP, (R) DC Selenium: GSIP
	Soil Gas 3.5	VOCs and Methane	Assess a potential vapor intrusion condition	Tetrachloroethene: (R) VISLs
SB/SG-6 (20.0)	Soil: 4.0-5.0	VOCs, PNAs, PCBs, and Michigan Ten Metals	Assess fill material and migration of contamination from northeast adjoining open LUST site	Arsenic: DWP, GSIP, (R) DC Chromium and Mercury: GSIP
	Soil Gas 5.5	Methane	Assess a potential vapor intrusion condition	NONE

bgs – below ground surface; DTW – depth to water; (R) – Residential; DC – Direct Contact; GW – Groundwater; GSI – Groundwater Surface Water Interface; VISLs – Vapor Intrusion Screening Levels; GSIP – Groundwater Surface Water Interface Protection; (NR) - Nonresidential

2.1 Soil Analytical Results

The soil analytical results are summarized in Tables 1 and 2 and on Figure 3.

Concentrations of tetrachloroethylene were detected in the soil samples collected at SB-4 (7.5-8.5 feet bgs) and (13.0-14.0 feet bgs) above the Part 201 Residential and Nonresidential DWP and/or GSIP cleanup criteria. Concentrations of other various VOCs were detected in the soil samples collected at SB-4 (7.5-8.5 feet bgs), SB-5 (15.0-16.0 feet bgs), and SB-6 (4.0-5.0 feet bgs) above the laboratory method detection limits (MDLs), but below the most restrictive Part 201 Residential cleanup criteria. No concentrations of VOCs were detected in the remaining soil sample collected from the subject property above laboratory MDLs.

Concentrations of various PNAs were detected in the soil samples collected SB-5 (15.0-16.0 feet bgs) and SB-6 (4.0-5.0 feet bgs) above laboratory MDLs, but below the most restrictive Part 201 Residential cleanup criteria. No concentrations of PNAs were detected in the remaining soil samples collected above laboratory MDLs.

No concentrations of PCBs were detected in any of the selected soil samples collected from the subject property above the laboratory MDLs.

Concentrations of arsenic were detected in all of the soil samples collected from the subject property above the Part 201 Residential and Nonresidential DWP, GSIP and Residential DC cleanup criteria. Concentrations of chromium were detected in the soil samples collected at SB-3 (19.0-20.0 feet bgs), SB-4 (13.0-14.0 feet bgs), and SB-6 (4.0-5.0 feet bgs) above the Part 201 GSIP cleanup criteria. Concentrations of selenium were detected in the soil samples collected at SB-2 (6.0-7.0 feet bgs), SB-4 (7.5-8.5 feet bgs), and SB-5 (15.0-16.0 feet bgs) above the Part 201 GSIP cleanup criteria. A concentration of mercury was detected in the soil sample collected at SB-6 (4.0-5.0 feet bgs) above the Part 201 GSIP cleanup criteria. Concentrations of chromium and selenium were detected in the remaining soil samples collected from the subject property

above the laboratory MDLs, but below the Michigan Statewide Default Background Levels (SDBLs). No concentrations of barium, cadmium, copper, lead, mercury, silver, and zinc were detected in any of the soil samples collected from the subject property above the laboratory MDLs, the Michigan SDBLs, and/or the most restrictive Part 201 Residential cleanup criteria.

2.2 Groundwater Analytical Results

The groundwater analytical results are summarized in Table 3 and on Figure 4.

No concentrations of VOCs and PNAs were detected in any of the groundwater samples collected from the subject property above the laboratory MDLs.

Concentrations of silver were detected in both groundwater samples collected from the subject property above the Part 201 GSI cleanup criteria. No concentrations of arsenic, barium, cadmium, chromium, copper, lead, mercury, and zinc were detected in the groundwater samples collected from the subject property above the laboratory MDLs and/or the most restrictive Part 201 Residential cleanup criteria.

2.3 Soil Gas Analytical Results

The soil gas analytical results are summarized in Table 4 and on Figure 5.

A concentration of tetrachloroethylene was detected in the soil gas sample collected at SG-5 (3.5 feet bgs) above the Part 201 Residential VISLs, and not ten times below the Part 201 Nonresidential VISLs. A concentration of tetrachloroethylene was detected in the soil gas sample collected at SG-4 (7.5 feet bgs) below the Part 201 Residential and Nonresidential VISLs, but not at a concentration ten times below the Part 201 Residential VISLs. No concentrations of tetrachloroethylene were detected in the remaining soil gas samples collected from the subject property. Concentrations of m-dichlorobenzene and trichloroethylene were detected in the soil gas samples collected at SG-3 (3.5 feet bgs) and/or SG-5 (3.5 feet bgs) below the Part 201 Residential and Nonresidential VISLs, but not at concentrations ten times below the Part 201 Residential VISLs. Various concentrations of other VOCs were detected in the remaining soil gas samples collected from the subject property above the laboratory MDLs, but below the Part 201 Residential and Nonresidential VISLs and at concentrations ten times below the Residential VISLs.

No concentrations of methane were detected in the selected soil gas samples collected from the subject property above the laboratory MDLs.

Based on the planned redevelopment of the subject property for residential use, further investigation may be warranted of the soil gas concentrations detected at SG-3, SG-4, and SG-5 that are not below the Residential VISLs and/or ten times below the Residential VISLs. Further investigation would be contingent upon the future site plans and remediation activities.

2.4 Subject Property Facility Status

A location where a hazardous substance is present in excess of the concentrations, which satisfy the requirements of subsection 20120a(1)(a) or (17), is a facility pursuant to Part 201. Section 20120a(1)(a) requirements are the Cleanup Criteria for unrestricted residential usage.

Contaminant concentrations identified on the subject property in soil and groundwater indicate exceedances to the Part 201 Residential and Nonresidential DWP, GSI/GSIP and Residential DC cleanup criteria. Additionally, contaminant concentrations were identified in soil gas samples collected from the subject property above the Residential VISLs and/or not ten times below the Residential and/or Nonresidential VISLs. Therefore, the subject property is a facility under Part 201 of P.A. 451, as amended, and the rules promulgated thereunder.

3.0 PROPERTY INFORMATION

3.1 Legal Description of Subject Property

A copy of the legal description is included in Appendix F as part of the assessing information.

3.2 Map of Subject Property

Refer to Figure 1, Property Location Map; and Figure 2, Generalized Diagram of the Subject Property and Surrounding Area with GPR Survey Area which depicts the property/parcel boundaries.

3.3 Subject Location and Analytical Summary Maps

Figures 3, 4, and 5 provide scaled maps of the subject property with site structures and soil boring, temporary monitoring well, and soil gas sampling point locations with analytical results.

3.4 Subject Property Location Map

Figures 1 and 2 provide scaled area maps depicting the subject property location in relation to the surrounding area.

3.5 Subject Property Address

As indicated in Section 1.0, the subject property (Parcel ID: 08-19-25-328-001) is located at 856 North Old Woodward Avenue, Birmingham, Oakland County, Michigan 48009 (Figure 1).

3.6 Subject Spatial Data

As depicted on Figure 1, the subject property is located in township two North (T.2N), range 10 East (R.10E), section 25, northwest quarter, southeast quarter-quarter, Birmingham, Oakland County, Michigan.

According to the MDEQ Groundwater Mapping Project Website, the center of the subject property is located at latitude 42.5532 and a longitude of -83.2190.

4.0 FACILITY STATUS OF SUBJECT PROPERTY

As indicated in Section 2.1, based upon documented soil and groundwater exceedances to the Part 201 Residential and Nonresidential DWP, GSI/GSIP and Residential DC cleanup criteria. Additionally, contaminant concentrations were identified in soil gas samples collected from the subject property above the Residential VISLs and/or not ten times below the Residential and/or Nonresidential VISLs. Therefore, the subject property is a facility under Part 201 of P.A. 451, as amended, and the rules promulgated thereunder.

4.1 Summary Data Tables

The analytical results were compared with the MDEQ cleanup criteria and Screening Levels as presented in Part 201 Rules 299.1 through 299.50, dated August 30, 2014 entitled "Cleanup Criteria Requirements for Response Activity", in accordance with Section 20120a(1) using the Residential and Nonresidential cleanup criteria. PM compared the soil gas analytical results collected during PM's August 2015 site investigation with the MDEQ Residential and Nonresidential VISLs as presented in the Guidance Document for the Vapor Intrusion Pathway, dated May 2013.

The soil, groundwater, and soil gas analytical results as compared to current cleanup criteria are summarized in Tables 1 through 4. A summary of Part 201 cleanup criteria exceedances are included in Section 2.0.

4.2 Laboratory Reports and Chain of Custody Documentation

Soil, groundwater, and soil gas samples collected were submitted to Brighton Analytical, LLC in Brighton, Michigan for chemical analysis under chain of custody procedures and within applicable holding times. Refer to the laboratory analytical in Appendix E for the associated chain of custody documentation.

5.0 IDENTIFICATION OF BEA AUTHOR

This BEA was conducted on September 4, 2015, by Ms. Nicole Kane and reviewed by Ms. Jennifer Ritchie, CPG, Regional Manager of Site Investigation Services, PM Environmental, Inc., which is prior to or within 45 days of becoming the owner or operator. Qualification statements are provided as Appendix G.

I declare that, to the best of my professional knowledge and belief, I meet the definition of *Environmental Professional* as defined in §312.10 of 40 CFR 312 and I have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property. I have developed and performed the all appropriate inquiries in conformance with the standards and practices set forth in 40 CFR Part 312.



Jennifer L. Ritchie, CPG
Regional Site Investigation Manager

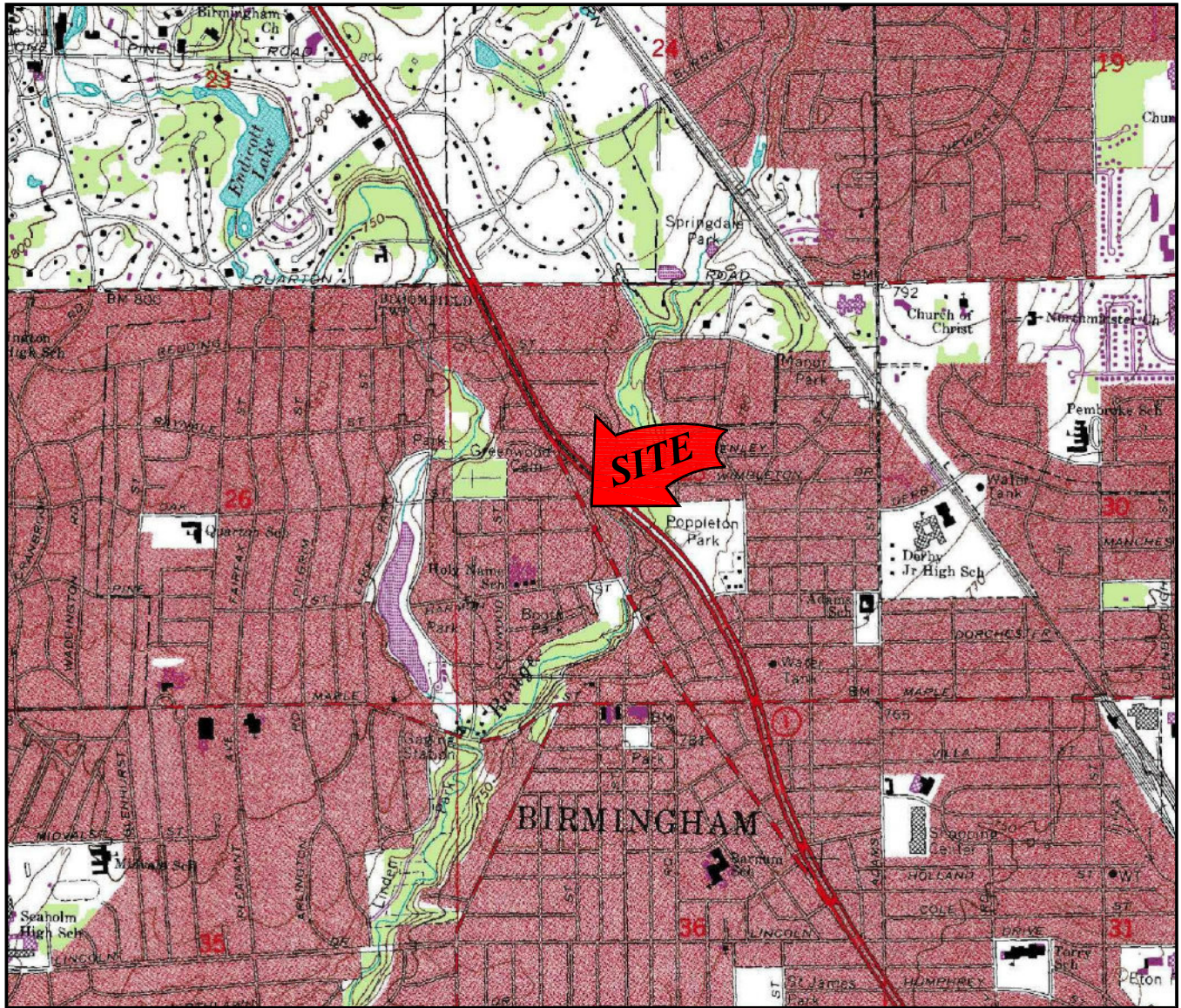
6.0 AAI REPORT OR ASTM PHASE I ESA

As indicated in Section 1.3, ASTI performed a Phase I ESA of the subject property dated April 10, 2015, in accordance with the United States Environmental Protection Agency (EPA) 40 CFR Part 312: Standards and Practices for All Appropriate Inquiries; Final Rule (AAI) and the scope and limitations of ASTM Practice E 1527-13 of the subject property (Parcel ID: 08-19-25-328-001) located at 856 North Old Woodward Avenue, Birmingham, Oakland County, Michigan 48009. The scope of the Phase I ESA included consideration of hazardous substances as defined in Section 20101(1)(y) of P.A 451 of 1994, as amended, and constituted the performance of an All Appropriate Inquiry in conformance with the standards and practices set forth in 40 CFR Part 312.

A copy of ASTI's April 10, 2015 Phase I ESA is included in Appendix A.

7.0 REFERENCES

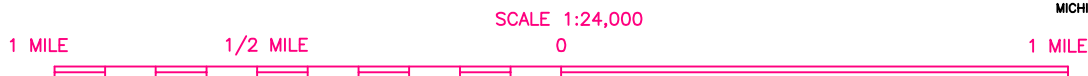
- “Part 201 Cleanup Criteria and Part 213 Risk-based Screening Levels,” Revised August 2014 and in accordance with Section 20120a(1);
- MDEQ Operational Memorandum No. 4 “Site Characterization and Remediation Verification – Attachment 10, Peer Review Draft Groundwater Not in an Aquifer,” February 2007;
- MDEQ Operational Memorandum No. 2 “Sampling and Analysis,” October 22, 2004, Revised July 5, 2007;
- MDEQ Guidance Document for the Vapor Intrusion Pathway, May 2014;
- Baseline Environmental Submittal Form (EQP 4025), February 2015;
- Phase I ESA, SME, October 23, 2006;
- BEA, SME, November 6, 2006; and,
- Phase I ESA, April 10, 2015, ASTI.



OAKLAND COUNTY



MICHIGAN QUADRANGLE LOCATION

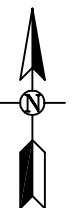


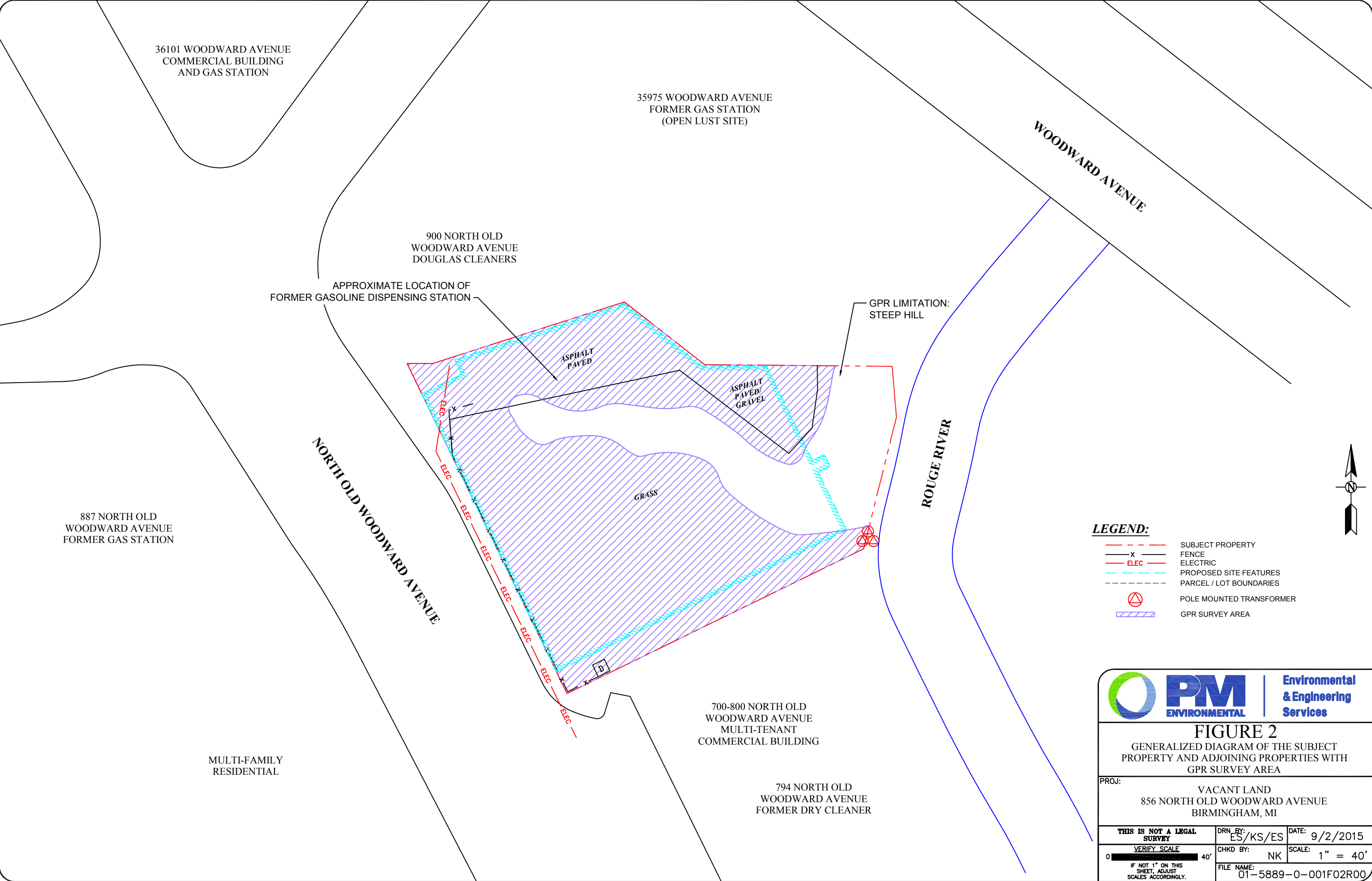
SCALE 1:24,000
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FIGURE 1

PROPERTY VICINITY MAP
USGS, 7.5 MINUTE SERIES

BIRMINGHAM, MI QUADRANGLE, 1968. PHOTO REVISED 1981.





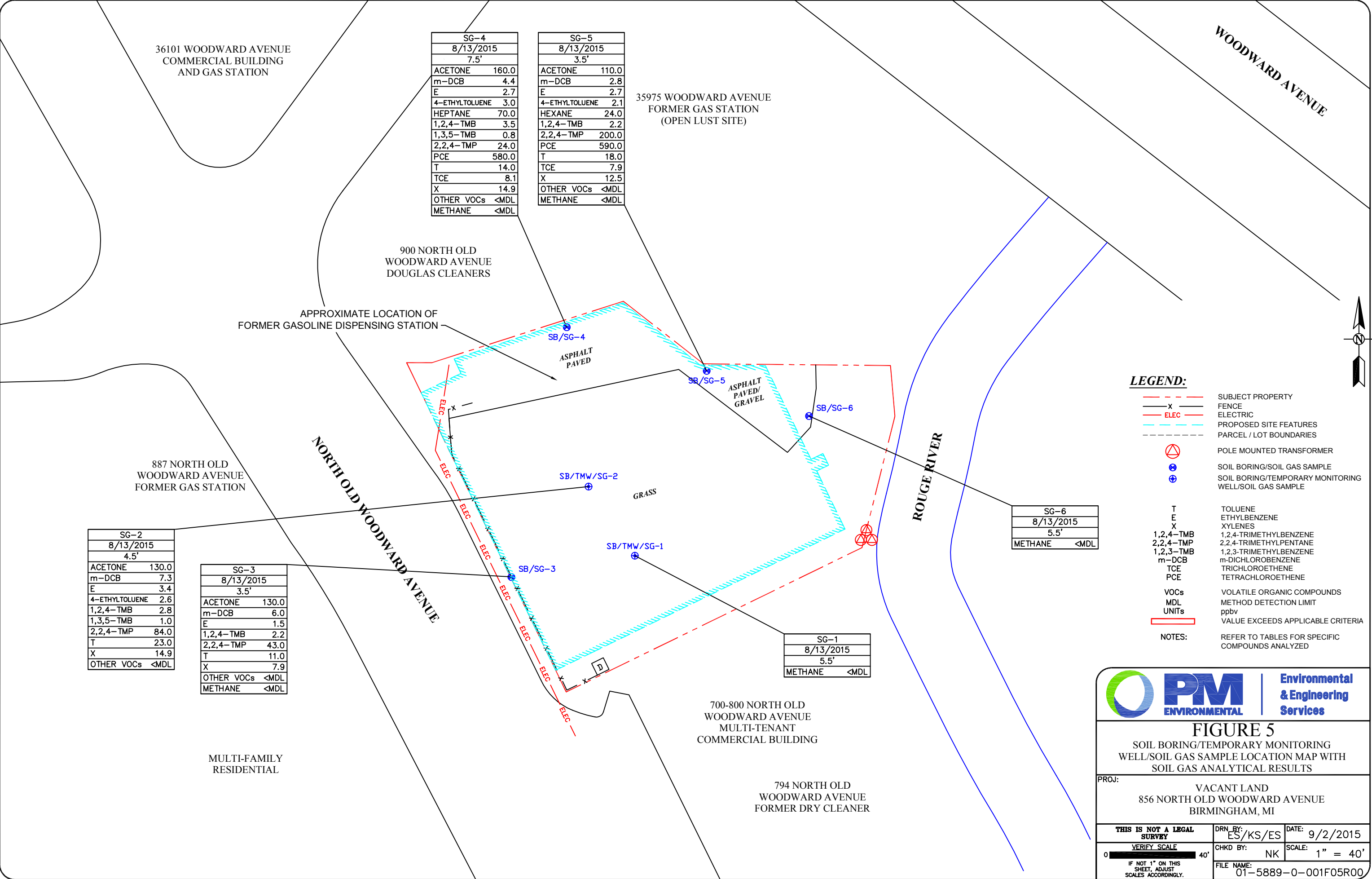


FIGURE 5

SOIL BORING/TEMPORARY MONITORING
WELL/SOIL GAS SAMPLE LOCATION MAP WITH
SOIL GAS ANALYTICAL RESULTS

PROJ: VACANT LAND 856 NORTH OLD WOODWARD AVENUE BIRMINGHAM, MI		
THIS IS NOT A LEGAL SURVEY	DRN BY: ES/KS/ES	DATE: 9/2/2015
VERIFY SCALE 0 40'	CHKD BY: NK	SCALE: 1" = 40'
IF NOT 1" ON THIS SHEET, ADJUST SCALES ACCORDINGLY.		
FILE NAME: 01-5889-0-001F05R00		

TABLE 1
SUMMARY OF SOIL ANALYTICAL RESULTS
VOLATILE ORGANIC COMPOUNDS AND POLYNUCLEAR AROMATIC COMPOUNDS
856 NORTH OLD WOODWARD AVENUE, BIRMINGHAM, MICHIGAN
PM PROJECT # 01-5889-0-001

VOLATILE ORGANIC COMPOUNDS (VOCs), POLYNUCLEAR AROMATIC COMPOUNDS (PNAs), (µg/Kg)			Cyclohexane	Ethyl benzene	Tetrachloroethene	Toluene	1,2,3-Trimethylbenzene ¹	1,2,4-Trimethylbenzene	Xylenes	Other VOCs	Benzo(a)anthracene	Benzo(a)pyrene	Benzo(b)fluoranthene	Benzo(g,h,i)perylene	Benzo(k)fluoranthene	Chrysene	Fluoranthene	Indeno(1,2,3-cd)pyrene	2-Methylnaphthalene	Phenanthrene	Pyrene
Chemical Abstract Service Number (CAS#)			110827	100414	127184	108883	526738	95636	1330207	Various	56553	50328	205992	191242	207089	218019	206440	193395	91576	85018	129000
Sample ID	Sample Date	Sample Depth (feet bgs)	VOCs								PNAs										
SB-1	8/13/2015	5.5-6.5	<500	<50	<50	<50	<50	<50	<150	ND	<330	<330	<330	<330	<330	<330	<330	<330	<330	<330	<330
SB-2	8/13/2015	6.0-7.0	<500	<50	<50	<50	<50	<50	<150	ND	<330	<330	<330	<330	<330	<330	<330	<330	<330	<330	<330
SB-3	8/13/2015	19.0-20.0	<500	<50	<50	<50	<50	<50	<150	ND	<330	<330	<330	<330	<330	<330	<330	<330	<330	<330	<330
SB-4	8/13/2015	7.5-8.5	<500	<50	2,000	<50	<50	97	380	ND	<330	<330	<330	<330	<330	<330	<330	<330	<330	<330	<330
SB-4	8/13/2015	13.0-14.0	<500	<50	570	<50	<50	<50	<150	ND	<330	<330	<330	<330	<330	<330	<330	<330	<330	<330	<330
SB-5	8/13/2015	15.0-16.0	1,000	71	83	210	100	120	400	ND	740	590	910	390	380	870	1,600	<330	500	1,200	1,300
SB-6	8/13/2015	4.0-5.0	<500	<50	87	<50	<50	<50	<150	ND	1,200	1,100	1,500	810	820	1,400	2,300	670	<330	1,000	1,900
Cleanup Criteria Requirements for Response Activity (R 299.1 - R 299.50) Generic Soil Cleanup Criteria Tables 2 and 3: Residential and Non-Residential Part 201 Generic Cleanup Criteria and Screening Levels/Part 213 Risk-Based Screening Levels, December 30, 2013 MDEQ Guidance Document For The Vapor Intrusion Pathway, Policy and Procedure Number: 09-017, Appendix D Vapor Intrusion Screening Values, May 2013																					
Residential (µg/Kg)																					
Statewide Default Background Levels	NL	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
Drinking Water Protection (Res DWP)	NL	1,500	100	16,000	1,800	2,100	5,600	Various	NLL	NLL	NLL	NLL	NLL	NLL	NLL	7.30E+05	NLL	57,000	56,000	4.80E+05	
Groundwater Surface Water Interface Protection (GSIP)	NL	360	1,200 {X}	5,400	570	570	820	Various	NLL	NLL	NLL	NLL	NLL	NLL	NLL	5,500	NLL	4,200	2,100	ID	
Soil Volatilization to Indoor Air Inhalation (Res SVII)	NL	87,000	11,000	3.3E+05 {C}	2.6E+06 {C}	4.3E+06 {C}	6.3E+06 {C}	Various	NLV	NLV	ID	NLV	NLV	ID	1.0E+9 {D}	NLV	2.70E+06	2.8E+06	1.0E+9 {D}		
Ambient Air Infinite Source Volatile Soil Inhalation (Res VSI)	NL	7.20E+05	1.70E+05	2.80E+06	1.60E+07	2.10E+07	4.60E+07	Various	NLV	NLV	ID	NLV	NLV	ID	7.40E+08	NLV	1.50E+06	1.60E+05	6.5E+08		
Ambient Air Finite VSI for 5 Meter Source Thickness	NL	1.00E+06	4.80E+05	5.10E+06	3.80E+08	5.00E+08	6.10E+07	Various	NLV	NLV	ID	NLV	NLV	ID	7.4E+08	NLV	1.50E+06	1.60E+05	6.5E+08		
Ambient Air Finite VSI for 2 Meter Source Thickness	NL	2.20E+06	1.1E+06	1.20E+07	3.80E+08	5.00E+08	1.30E+08	Various	NLV	NLV	ID	NLV	NLV	ID	7.4E+08	NLV	1.50E+06	1.60E+05	6.5E+08		
Ambient Air Particulate Soil Inhalation (Res PSI)	NL	1.00E+10	2.7E+09	2.70E+10	8.20E+10	8.20E+10	2.90E+11	Various	ID	1.5E+06	ID	8.0E+08	ID	ID	9.3E+09	ID	6.70E+08	6.7E+06	6.7E+09		
Direct Contact (Res DC)	NL	2.2E+07 {C}	2.0E+05 {C}	5.0E+07 {C}	3.2E+07 {C}	3.2E+07 {C}	4.1E+08 {C}	Various	20,000	2,000	20,000	2.5E+06	2.00E+05	2.0E+06	4.6E+07	20,000	8.10E+06	1.6E+06	2.9E+07		
Nonresidential (µg/Kg)																					
Drinking Water Protection (Nonres DWP)	NL	1,500	100	16,000	1,800	2,100	5,600	Various	NLL	NLL	NLL	NLL	NLL	NLL	NLL	7.30E+05	NLL	1.70E+05	1.60E+05	4.80E+05	
Soil Volatilization to Indoor Air Inhalation (Nonres SVII)	NL	4.6E+05 {C}	21,000	6.1E+05 {C}	4.8E+06 {C}	8.0E+06 {C}	1.2E+07 {C}	Various	NLV	NLV	ID	NLV	NLV	ID	1.0E+9 {D}	NLV	4.90E+06	5.1E+06	1.0E+9 {D}		
Ambient Air Infinite Source Volatile Soil Inhalation (Nonres VSI)	NL	2.40E+06	2.10E+05	3.30E+06	1.90E+07	2.50E+07	5.40E+07	Various	NLV	NLV	ID	NLV	NLV	ID	8.9E+08	NLV	1.80E+06	1.90E+05	7.8E+08		
Ambient Air Finite VSI for 5 Meter Source Thickness	NL	3.10E+06	4.90E+05	3.60E+07	4.60E+08	6.00E+08	6.50E+07	Various	NLV	NLV	ID	NLV	NLV	ID	8.8E+08	NLV	1.80E+06	1.90E+05	7.8E+08		
Ambient Air Finite VSI for 2 Meter Source Thickness	NL	6.50E+06	1.1E+06	3.60E+07	4.60E+08	6.00E+08	1.30E+08	Various	NLV	NLV	ID	NLV	NLV	ID	8.8E+08	NLV	1.80E+06	1.90E+05	7.8E+08		
Ambient Air Particulate Soil Inhalation (Nonres PSI)	NL	1.30E+10	1.2E+09	1.20E+10	3.60E+10	3.60E+10	1.30E+11	Various	ID	1.9E+06	ID	3.5E+08	ID	ID	4.1E+09	ID	2.90E+08	2.9E+06	2.9E+09		
Direct Contact (Nonres DC)	NL	7.1E+07 {C}	9.3E+05 {C}	1.6E+08 {C}	1.0E+08 {C}	1.0E+08 {C}	1.0E+09 {C}	Various	80,000	8,000	80,000	7.0E+06	8.00E+05	8.0E+06	1.3E+08	80,000	2.60E+07	5.2E+06	8.4E+07		
Screening Levels (µg/Kg)																					
Soil Saturation Concentration Screening Levels (Csat)	NL	1.40E+05	88,000	2.50E+05	94,000	1.10E+05	1.50E+05	Various	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
Residential Vapor Intrusion Soil Screening Levels (S _{VI-res})	NL	200	52	10,000	3,200	2,200	290	Various	NL	NL	NL	NL	NL	NL	NL	NL	NL	7,500	5,100	6.47E+07	
Nonresidential Vapor Intrusion Soil Screening Levels (S _{VI-nr})	NL	4,000	1,000	1.69E+05	53,000	37,000	4,900	Various	NL	NL	NL	NL	NL	NL	NL	NL	NL	1.26E+05	86,000	1.09E+09	

Applicable Criterion/RBSL Exceeded

BOLD Value Exceeds Applicable Criterion/RBSL

bgs Below Ground Surface (feet)

¹ 1,2,3-Trimethylbenzene RBSLs based on the more restrictive of 1,2,4-trimethylbenzene and 1,3,5-trimethylbenzene.

ND Non-detected at levels above laboratory method detection limit (MDL)

NA/NL/ID Not Applicable/Not Listed/Insufficient Data

NLL/NLV Not Likely to Leach/Not Likely to Volatilizae

TABLE 2
SUMMARY OF SOIL ANALYTICAL RESULTS
POLYCHLORINATED BIPHENYLS AND MICHIGAN TEN METALS
856 NORTH OLD WOODWARD AVENUE, BIRMINGHAM, MICHIGAN
PM PROJECT # 01-5889-0-001

POLYCHLORINATED BIPHENYLS (PCBs) AND MICHIGAN TEN METALS (µg/Kg)			PCBs	Arsenic	Barium	Cadmium	Chromium	Copper	Lead	Mercury	Selenium	Silver	Zinc
Chemical Abstract Service Number (CAS#)			1336363	7440382	7440393	7440439	16065831	7440508	7439921	7439976	7782492	7440224	7440666
Sample ID	Sample Date	Sample Depth (feet bgs)	PCBs	Michigan Ten Metals									
SB-1	8/13/2015	5.5-6.5	ND	8,200	57,000	410	14,000	18,000	56,000	51	290	<100	84,000
SB-2	8/13/2015	6.0-7.0	ND	8,200	61,000	350	12,000	18,000	23,000	<50	450	<100	57,000
SB-3	8/13/2015	19.0-20.0	ND	9,500	65,000	270	25,000	21,000	16,000	<50	300	<100	58,000
SB-4	8/13/2015	7.5-8.5	ND	11,000	86,000	480	15,000	33,000	82,000	110	530	<100	160,000
SB-4	8/13/2015	13.0-14.0	ND	7,800	47,000	270	19,000	19,000	13,000	62	220	<100	49,000
SB-5	8/13/2015	15.0-16.0	ND	10,000	83,000	530	16,000	49,000	82,000	<50	1,200	<100	150,000
SB-6	8/13/2015	4.0-5.0	ND	11,000	63,000	410	19,000	23,000	55,000	140	340	<100	72,000
Cleanup Criteria Requirements for Response Activity (R 299.1 - R 299.50) Generic Soil Cleanup Criteria Tables 2 and 3: Residential and Non-Residential Part 201 Generic Cleanup Criteria and Screening Levels/Part 213 Risk-Based Screening Levels, December 30, 2013 MDEQ Guidance Document For The Vapor Intrusion Pathway, Policy and Procedure Number: 09-017, Appendix D Vapor Intrusion Screening Values, May 2013													
Residential (µg/Kg)													
Statewide Default Background Levels	NA	5,800	75,000	1,200	18,000	32,000	21,000	130	410	1,000	47,000		
Drinking Water Protection (Res DWP)	NLL	4,600	1.30E+06	6,000	30,000	5.80E+06	7.00E+05	1,700	4,000	4,500	2.40E+06		
Groundwater Surface Water Interface Protection (GSIP)	NLL	4,600	1.3E+06 (G)	7,700 (G,X)	3,300	1.8E+05 (G)	8.2E+06 (G,X)	50 (M); 1.2	400	100 (M); 27	3.9E+05 (G)		
Soil Volatilization to Indoor Air Inhalation (Res SVII)	3.0E+06	NLV	NLV	NLV	NLV	NLV	NLV	48,000	NLV	NLV	NLV		
Ambient Air Infinite Source Volatile Soil Inhalation (Res VSI)	2.40E+05	NLV	NLV	NLV	NLV	NLV	NLV	52,000	NLV	NLV	NLV		
Ambient Air Finite VSI for 5 Meter Source Thickness	7.9E+06	NLV	NLV	NLV	NLV	NLV	NLV	52,000	NLV	NLV	NLV		
Ambient Air Finite VSI for 2 Meter Source Thickness	7.9E+06	NLV	NLV	NLV	NLV	NLV	NLV	52,000	NLV	NLV	NLV		
Ambient Air Particulate Soil Inhalation (Res PSI)	5.2E+06	7.20E+05	3.30E+08	1.70E+06	2.60E+05	1.30E+08	1.00E+08	2.00E+07	1.30E+08	6.70E+06	ID		
Direct Contact (Res DC)	(T)	7,600	3.70E+07	5.50E+05	2.50E+06	2.00E+07	4.00E+05	1.60E+05	2.60E+06	2.50E+06	1.70E+08		
Nonresidential (µg/Kg)													
Drinking Water Protection (Nonres DWP)	NLL	4,600	1.30E+06	6,000	30,000	5.80E+06	7.00E+05	1,700	4,000	4,500	5.00E+06		
Soil Volatilization to Indoor Air Inhalation (Nonres SVII)	1.6E+07	NLV	NLV	NLV	NLV	NLV	NLV	89,000	NLV	NLV	NLV		
Ambient Air Infinite Source Volatile Soil Inhalation (Nonres VSI)	8.10E+05	NLV	NLV	NLV	NLV	NLV	NLV	62,000	NLV	NLV	NLV		
Ambient Air Finite VSI for 5 Meter Source Thickness	2.8E+07	NLV	NLV	NLV	NLV	NLV	NLV	62,000	NLV	NLV	NLV		
Ambient Air Finite VSI for 2 Meter Source Thickness	2.8E+07	NLV	NLV	NLV	NLV	NLV	NLV	62,000	NLV	NLV	NLV		
Ambient Air Particulate Soil Inhalation (Nonres PSI)	6.5E+06	9.10E+05	1.50E+08	2.20E+06	2.40E+05	5.90E+07	4.40E+07	8.80E+06	5.90E+07	2.90E+06	ID		
Direct Contact (Nonres DC)	(T)	37,000	1.30E+06	2.10E+06	9.20E+06	7.30E+07	9.0E+5 (DD)	5.80E+05	9.60E+06	9.00E+06	6.30E+08		
Screening Levels (µg/Kg)													
Soil Saturation Concentration Screening Levels (C _{sat})	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
Residential Vapor Intrusion Soil Screening Levels (S _{VI-res})	1,900	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL
Nonresidential Vapor Intrusion Soil Screening Levels (S _{VI-nr})	39,000	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL

 Applicable Criterion/RBSL Exceeded
BOLD Value Exceeds Applicable Criterion/RBSL
 bgs Below Ground Surface (feet)
 ND Non-detected at levels above laboratory method detection limit (MDL)
 NA/NL/ID Not Applicable/Not Listed/Insufficient Data
 NLL/NLV Not Likely to Leach/Not Likely to Volatilize
 {G} Metal GSIP Criteria for Surface Water Not Protected for Drinking Water Use based on 418 mg/L CaCO₃ Hardness: Station ID 630003, Rouge River, near Troy, MI

TABLE 3
SUMMARY OF GROUNDWATER ANALYTICAL RESULTS
VOLATILE ORGANIC COMPOUNDS, POLYNUCLEAR AROMATIC COMPOUNDS, MICHIGAN TEN METALS, AND METHANE
856 NORTH OLD WOODWARD AVENUE, BIRMINGHAM, MICHIGAN
PM PROJECT # 01-5889-0-001

VOLATILE ORGANIC COMPOUNDS (VOCs), POLYNUCLEAR AROMATIC COMPOUNDS (PNAs), MICHIGAN TEN METALS, AND METHANE (µg/L)				VOCs	PNAs	Arsenic	Barium	Cadmium	Chromium	Copper	Lead	Mercury	Selenium	Silver	Zinc	Methane
Chemical Abstract Service Number (CAS#)				Various	Various	7440382	7440393	7440439	16065831	7440508	7439921	7439976	7782492	7440224	7440666	74828
Sample ID	Sample Date	Screen Depth (feet bgs)	Depth to Groundwater (feet bgs)	VOCs	PNAs	Michigan Ten Metals										Methane
TMW-1	8/13/2015	5.00-10.00	6.57	ND	ND	2	100	<0.2	<5	<4	<3	<0.2	<5	1.9	<10	28
TMW-2	8/13/2015	10.00-15.00	12.57	ND	ND	6	<100	<0.2	7	<4	<3	<0.2	<5	0.8	<10	98
Cleanup Criteria Requirements for Response Activity (R 299.1 - R 299.50) Generic Groundwater Cleanup Criteria Table 1: Residential and Non-Residential Part 201 Generic Cleanup Criteria and Screening Levels/Part 213 Risk-Based Screening Levels, December 30, 2013 MDEQ Guidance Document For The Vapor Intrusion Pathway, Policy and Procedure Number: 09-017, Appendix D Vapor Intrusion Screening Values, May 2013																
Residential/Nonresidential (µg/L)																
Residential Drinking Water (Res DW)				Various	Various	10 (A)	2,000 (A)	5.0 (A)	100 (A)	1,000 (E)	4.0 (L)	2.0 (A)	50 (A)	34	2,400	ID
Residential Health Based Drinking Water Values				Various	Various	NL	NL	NL	NL	1,400 (E)	NL	NL	NL	NL	NL	NL
Nonresidential Drinking Water (Nonres DW)				Various	Various	10 (A)	2,000 (A)	5.0 (A)	100 (A)	1,000 (E)	4.0 (L)	2.0 (A)	50 (A)	98	5,000 (E)	ID
Nonresidential Health Based Drinking Water Values				Various	Various	NL	NL	NL	NL	4,000 (E)	NL	NL	NL	NL	NL	NL
Groundwater Surface Water Interface (GSI)				Various	Various	10	2,000 (G)	6.4 (G,X)	11	30 (G)	47 (G,X)	0.0013	5.0	0.2 (M); 0.06	400 (G)	NA
Residential Groundwater Volatilization to Indoor Air Inhalation (Res GVII) ²				Various	Various	NLV	NLV	NLV	NLV	NLV	NLV	56 (S)	NLV	NLV	NLV	(K)
Nonresidential Groundwater Volatilization to Indoor Air Inhalation (Nonres GVII) ²				Various	Various	NLV	NLV	NLV	NLV	NLV	NLV	56 (S)	NLV	NLV	NLV	(K)
Screening Levels (µg/L)																
Residential Groundwater Vapor Intrusion Screening Levels (GW _{VI-res}) ³				Various	Various	NL	NL	NL	NL	NL	NL	ID	NL	NL	NL	520
Nonresidential Groundwater Vapor Intrusion Screening Levels (GW _{VI-nr}) ³				Various	Various	NL	NL	NL	NL	NL	NL	ID	NL	NL	NL	520
Residential Vapor Intrusion Shallow Groundwater Screening Levels (GW _{VI-sump-res}) ⁴				Various	Various	NL	NL	NL	NL	NL	NL	ID	NL	NL	NL	520
Nonresidential Vapor Intrusion Shallow Groundwater Screening Levels (GW _{VI-sump-nr}) ⁴				Various	Various	NL	NL	NL	NL	NL	NL	ID	NL	NL	NL	520
Water Solubility				Various	Various	NA	NA	NA	NA	NA	NA	56	NA	NA	NA	NA
Flammability and Explosivity Screening Level				Various	Various	ID	ID	ID	ID	ID	ID	ID	ID	ID	ID	28,000
Acute Vapor Intrusion Screening Levels for Groundwater (µg/L)																
IRASL Groundwater (AGW _{VI})				Various	Various	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL
IRASL Groundwater In Contact With Structure (AGW _{VI-sump})				Various	Various	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL

Applicable Criteria/RBSL Exceeded

BOLD Value Exceeds Applicable Criteria

bgs Below Ground Surface (feet)

ND Not detected at levels above the laboratory Method Detection Limit (MDL) or Minimum Quantitative Level (MQL)

¹ Rule 323.1057 of Part 4 Water Quality Standards

² Tier 1 GVII Criteria based on 3 meter (or greater) groundwater depth

³ (2013 Vapor Intrusion Guidance) Screening Levels based on depth to groundwater less than 1.5 meters and not in contact with building foundation

⁴ (2013 Vapor Intrusion Guidance) Screening levels based on groundwater in contact with the building foundation or within a sump

NA/NL/ID Not Applicable/Not Listed/Insufficient Data

NLV Not Likely to Volatilize

{G} Metal GSIP Criteria for Surface Water Not Protected for Drinking Water Use based on 418 mg/L CaCO₃ Hardness: Station ID 630003, Rouge River, near Troy, MI

TABLE 4
SUMMARY OF SOIL VAPOR ANALYTICAL RESULTS
VOLATILE ORGANIC COMPOUNDS AND METHANE
856 NORTH OLD WOODWARD AVENUE, BIRMINGHAM, MICHIGAN
PM PROJECT # 01-5889-0-001

VOLATILE ORGANIC COMPOUNDS (VOCs) AND METHANE (ppbv)			Acetone	m-Dichlorobenzene	Ethylbenzene	4-Ethyltoluene	Heptane	Hexane	1,2,4-Trimethylbenzene	1,3,5-Trimethylbenzene	2,2,4-Trimethylpentane	Tetrachloroethylene	Toluene	Trichloroethylene	m,p-Xylene	o-Xylene	Xylenes (total)	Other VOCs	Methane
Chemical Abstract Service Number (CAS#)			67641	541731	100414	622968	142825	110543	95636	108678	540841	127184	108883	79016	1330207	95476	1330207	Various	74828
Sample ID	Sample Date	Sample Depth (feet bgs)	VOCs																Methane
SG-1	8/13/2015	5.5	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	ND
SG-2	8/13/2015	4.5	130.0	7.3	3.4	2.6	<0.80	<0.80	2.8	1.0	84.0	<0.16	23.0	<0.16	11.0	3.9	14.9	ND	NA
SG-3	8/13/2015	3.5	130.0	6.0	1.5	<0.80	<0.80	<0.80	2.2	<0.80	43.0	<0.16	11.0	<0.16	5.7	2.2	7.9	ND	ND
SG-4	8/13/2015	7.5	160.0	4.4	2.7	3.0	70.0	<0.80	3.5	0.8	24.0	580.0	14.0	8.1	11.0	3.9	14.9	ND	ND
SG-5	8/13/2015	3.5	110.0	2.8	2.7	2.1	<0.80	24.0	2.2	<0.80	200.0	590.0	18.0	7.9	9.3	3.2	12.5	ND	ND
SG-6	8/13/2015	5.5	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	A	NA	NA	ND
MDEQ Guidance Document For The Vapor Intrusion Pathway, Policy and Procedure Number: 09-017, Appendix D Vapor Intrusion Screening Values, May 2013																			
Residential Screening Levels (ppbv)																			
Vapor Intrusion Indoor Air Screening Levels (IA _{vi})			2,500	0.49	19	NDC	850	200	44	44	740	5.0	1,300	0.37	23	23	23	Various	1.25E+04 (g)
Vapor Intrusion Shallow Sub-Slab Soil Gas Screening Levels (≤ 1.5m bgs) (SG _{vi-ss})			82,000	16	640	NDC	28,000	6,600	1,500	1,500	25,000	170	44,000	12	760	760	760	Various	1.25E+04 (g)
Vapor Intrusion Deep Soil Gas Screening Levels (SG _{vi})			8.20E+05	160	6,400	NDC	2.80E+05	66,000	15,000	15,000	2.50E+05	1,700	4.40E+05	120	7,600	7,600	7,600	Various	1.25E+04 (g)
Nonresidential Screening Levels (ppbv)																			
Vapor Intrusion Indoor Air Screening Levels (IA _{vi})			10,000	2.1	96	NDC	3,600	830	190	190	3,100	25	5,500	1.5	96	96	96	Various	1.25E+04 (g)
Vapor Intrusion Shallow Sub-Slab Soil Gas Screening Levels (≤ 1.5m bgs) (SG _{vi-ss})			1.40E+06	280	13,000	NDC	4.70E+05	1.10E+05	25,000	25,000	4.20E+05	3,300	7.40E+05	210	13,000	13,000	13,000	Various	1.25E+04 (g)
Vapor Intrusion Deep Soil Gas Screening Levels (SG _{vi})			1.40E+07	2,800	1.30E+05	NDC	4.70E+06	1.10E+06	2.50E+05	2.50E+05	4.20E+06	33,000	7.40E+06	2,100	1.30E+05	1.30E+05	1.30E+05	Various	1.25E+04 (g)
DRAFT Acute Vapor Intrusion Screening Levels for Indoor Air and Soil Gas; Residential and Nonresidential Land Use, February 2013 (ppbv)																			
IRASL Indoor Air (AIA _{vi})			25,000	NDC	NDC	NDC	NDC	NDC	NDC	NDC	NDC	2,800	9,300	74,000	4,800	4,800	4,800	Various	NDC
IRASL Soil Gas (ASG _{vi})			8.28E+05	NDC	NDC	NDC	NDC	NDC	NDC	NDC	NDC	93,000	3.10E+05	2.48E+06	1.60E+05	1.60E+05	1.60E+05	Various	NDC

Applicable Criteria/RBSL Exceeded

BOLD Value Exceeds Applicable Criteria

bgs Below Ground Surface (feet)

ND Not detected at levels above the laboratory Method Detection Limit (MDL) or Minimum Quantitative Level (MQL)

NA Not Applicable

NDC "No Defined Criteria" by the Michigan Department of Environmental Quality (MDEQ)

¹ The IAC and SGC presented in this table are health-based values. The applicable IAC and SGC are based on the higher of the health-based value and the appropriate analytical reporting limit.

IRASL Immediate Response Acute Vapor Intrusion Screening Levels



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SITE INVESTIGATION REPORT

856 North Old Woodward Avenue | Birmingham, Michigan
PM Project Number 01-5889-0-0003

Prepared for:

FLS Properties #5, LLC

P.O. Box 689

Bloomfield Hills, Michigan 48303

Prepared by:

PM Environmental, Inc.

4080 West 11 Mile Road

Berkley, Michigan 48072

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June 20, 2016

Mr. Frank R. Simon
FLS Properties #5, LLC
P.O. Box 689
Bloomfield Hills, Michigan 48303

**RE: Summary Report for the Site Investigation Activities at the
Vacant Land located at 856 North Old Woodward Avenue, Birmingham, Michigan
Parcel ID: 08-19-25-328-001
PM Environmental, Inc. Project No. 01-5889-0-001**

Dear Mr. Simon:

PM Environmental, Inc. (PM) completed site investigation activities for the vacant land (Parcel ID: 08-19-25-328-001) located at 856 North Old Woodward Avenue, Birmingham, Oakland County, Michigan 48009 (hereafter referred to as the subject property). This report summarizes the activities completed by PM in May 2016 to further define potentially listed hazardous waste soil contamination, and associated conclusions and recommendations.

THIS REPORT WAS PREPARED FOR THE EXCLUSIVE USE OF FLS PROPERTIES #5, LLC, WHO MAY RELY ON ITS CONTENTS AND CONCLUSIONS.

SITE DESCRIPTION AND BACKGROUND

The subject property consists of vacant land with asphalt paved parking in the northeastern portion, remnants of a building foundation in the northern portion, and grass in the remaining portions (Figure 2). The property has a down-gradient slope from North Old Woodward Avenue east to where it adjoins the Rouge River, which is an elevation difference of approximately 15 feet.

Standard and other historical sources documented that the subject property was developed in at least 1937 with a gasoline dispensing station and one other structure, likely a residential dwelling, in the northern and eastern portions of the subject property. In 1940, the gasoline dispensing station was converted to a gift shop. By 1946, a residential dwelling was reportedly converted into a tea room and restaurant in the western portion of the subject property. The gift shop appears to have been demolished by 1949. The tea room and restaurant operated until 1988, when the commercial building was demolished.

PREVIOUS SITE INVESTIGATION

PM reviewed the following previous environmental reports for the subject property which are included within ASTI's April 2015 Phase I Environmental Site Assessment (ESA).

Name of Report	Date of Report	Company that Prepared Report
Phase I ESA	October 23, 2006	Soils and Materials Engineers, Inc. (SME)

**Summary Report for Site Investigation Activities at the Vacant Land
Located at 856 North Old Woodward Avenue, Birmingham, Michigan
PM Environmental, Inc. Project No. 01-5889-0-0003; June 20, 2016**

Name of Report	Date of Report	Company that Prepared Report
Baseline Environmental Assessment (BEA)	November 6, 2006	SME
Phase I ESA	April 10, 2015	ASTI Environmental (ASTI)
BEA	September 4, 2015	PM

Phase I ESA, October 2006, SME: SME completed a Phase I ESA dated October 23, 2006. At the time of SME's Phase I ESA, the subject property was vacant land. SME identified RECs in association with the 1) debris and fill material located on the subject property; 2) the fuel oil tank identified in historical records; 3) volatile organic compounds (VOCs) and lead detected in soil and groundwater samples collected from the subject property above the Part 201 Residential and Nonresidential cleanup criteria; and, 4) the north adjoining dry cleaner.

BEA, November 2006, SME: SME completed a BEA dated November 6, 2006. The BEA summarizes subsurface investigation activities completed by SME on September 26, 2006 to assess the RECs identified in the September 2006 Phase I ESA, a Geotechnical Investigation report dated October 20, 2006 completed as part of a proposed future development at the time, and two previous subsurface investigations completed in 2002 and 2005.

On September 26, 2006 SME completed a scope of work that consisted of the advancement of seven soil borings (SP1 through SP7), the installation of four temporary monitoring wells (SP1, SP2, SP4, and SP7), and the collection of six soil samples and three groundwater samples for laboratory analysis of VOCs, polynuclear aromatic compounds (PNAs), and metals (cadmium, chromium, and lead) to assess the RECs identified in the September 2006 Phase I ESA. Concentrations of benzene, tetrachloroethene (PCE), and xylenes were detected in the soil sample collected at SP6 (7.0-8.0 feet bgs) above the Part 201 Residential and Nonresidential Drinking Water Protection (DWP) and Groundwater Surface Water Interface Protection (GSIP) cleanup criteria. Concentrations of benzene, lead, and methyl-tert-butyl ether (MTBE) were detected in the groundwater samples collected at SP2 and SP7 above the Part 201 Residential and Nonresidential Drinking Water (DW) and Groundwater Surface Water Interface (GSI) cleanup criteria. No other concentrations of VOCs, PNAs, or metals were detected in the soil and groundwater samples collected from the subject property above the laboratory method detection limits (MDLs) and/or the most restrictive Part 201 Residential cleanup criteria.

SME completed a Geotechnical Investigation dated October 20, 2006, in which on September 21 and 22, 2006 SME completed a scope of work consisting of the advancement of six soil borings (B1 through B6) as part of a proposed future development. The soil stratigraphy at the subject property was identified as consisting of sand/clay fill containing concrete, brick, asphalt, and cinder fragment with trace amount of organics to 26.0 feet bgs in the northeastern portion of the subject property, 10.0 feet bgs in the southeastern portion of the subject property, 3.5 feet bgs in the northwestern and southwestern portions of the subject property, and 11.0 feet bgs in the central portion of the subject property. The fill material was identified as being underlain by native interbedded clay and sand to a depth of 74.0 feet bgs, the maximum depth explored. Perched and discontinuous groundwater was encountered at various depths between 9.0 and 29.5 feet bgs within the fill material and the native sand seams. SME recommended a partial undercut of the existing fill within the below-grade parking and other pavement areas, installing soldier piles and lagging to protect adjacent structures during construction, not using the

existing fill material as engineered fill, completing moisture conditioning for suitable compaction of the native clay, drilling piers to support the proposed building, and using standard sump and pit methods or crushed aggregate to prevent disturbance from groundwater accumulation.

A subsurface investigation was reportedly completed on the subject property in 2002, in which the scope of work consisted of the advancement of six soil borings and the installation of four monitoring wells. Concentrations of benzene, ethylbenzene, MTBE, naphthalene, and lead were detected in the samples collected from the subject property above the Part 213 Risk-Based Screening Levels (RBSLs) in the northern portion of the subject property; however, these analytical results were not available for review. The concentrations reportedly migrated onto the subject property from the northeast adjoining gasoline dispensing station and open Leaking Underground Storage Tank (LUST) site identified as 35975 Woodward Avenue.

Delta Environmental Consultants, Inc. (Delta) installed five monitoring wells (TW-1, TM3, TW-4, OW-10, and OW-11) on the subject property in 1996 as part of LUST investigation activities for the northeast adjoining open LUST site. Subsequent to installation a series of groundwater monitoring events were completed on the subject property between 1996 and 2006. The most recent documented events available for review occurred in October 2005, February 2006, and April 2006 and were completed by PM. Groundwater samples were collected from TW-1, TW-4, and OW-11 and submitted for laboratory analysis of VOCs and lead, or some combination thereof. TW-3 and OW-10 did not produce groundwater sufficient for groundwater collection. Concentrations of benzene, MTBE, vinyl chloride, and lead were detected in the groundwater samples collected at TW-1 and TW-4 above the Part 213 Residential and Nonresidential DW and/or GSI RBSLs. No concentrations of other VOCs were detected in the groundwater samples collected at TW-1 and TW-4 above the laboratory MDLs or the most restrictive Part 213 Residential RBSLs. No concentrations of VOCs were detected in the groundwater sample collected at OW-11 above the laboratory MDLs. Groundwater flow was calculated to flow southeast towards the Rouge River. PM was unable to locate the permanent monitoring wells during the August 2015 subsurface investigation, discussed below and in Section 1.5.

Phase I ESA (2015): ASTI identified RECs associated with the 1) former gasoline dispensing operations; 2) potential for orphan USTs associated with the gasoline dispensing operations and former fuel oil use; 3) existing contamination; 4) unknown fill material; and 5) the potential for migration from adjoining gasoline dispensing station and a dry cleaner.

BEA (2015): On August 11, 2015 PM completed a geophysical survey utilizing GPR at the subject property (Figure 2) to investigate the presence of potential orphan USTs.

No anomalies consistent with orphan USTs were identified. A suspect fill port pipe was visually identified during PM's GPR survey in the central portion of the subject property and the pipe was traced using a PL 2000 utility locator. PM advanced a shallow hand auger to 5.0 feet bgs in the area where the pipe terminated, and no anomalies were encountered.

On August 13, 2015 PM completed a scope of work consisting of the advancement of six soil borings (SB-1 through SB-6), the installation of two temporary monitoring wells (TMW-1 and TMW-2), the installation of six soil gas sampling points (SG-1 through SG-6), and the collection of seven soil samples, two groundwater samples, and six soil gas samples for laboratory analysis of VOCs, PNAs, polychlorinated biphenyls (PCBs), and Michigan Ten Metals (arsenic, barium, cadmium, chromium, copper, lead, mercury, selenium, silver, and zinc), and methane, or some combination thereof, to assess the RECs identified in ASTI's April 2015 Phase I ESA.

Analytical results identified concentrations of PCE in various location on the property that included exceedances of Part 201 Residential and Nonresidential DWP and/or GSIP cleanup criteria. Soil gas analytical results identified concentrations of PCE above MDEQ Residential Vapor Intrusion Screening Levels (VISLs) in SG-4 and SG-5.

Due to the presence of an adjoining dry cleaner, the PCE concentrations are likely from a dry cleaning release, therefore, PCE impacted soils removed from the property during redevelopment would be a "listed" hazardous waste under Michigan Part 111 and the Federal Resource Conservation and Recovery Act (RCRA). In addition to the PCE, concentrations of xylenes and various metals were above Part 201 Residential and Nonresidential DWP, GSIP, and/or Residential DC cleanup criteria in the soil samples collected. Concentrations of silver in groundwater were above Part 201 GSI cleanup criteria.

MAY 2016 SITE INVESTIGATION ACTIVITIES

On May 26, 2016, PM completed a scope of work consisting of the advancement of nine soil borings (SB-7 through SB-15) and installation of two temporary monitoring wells (TMW-11 and TMW-13) to further define the horizontal extent of chlorinated solvent soil and/or groundwater impacts (i.e. PCE and related compounds at the subject property). Fifteen soil and two groundwater samples were collected for analysis of VOCs. Refer to Figures 3 and 4 for the locations of soil borings and temporary monitoring wells completed by PM in 2016.

The purpose of the May 2016 activities was to evaluate and document the extent of chlorinated solvent concentrations in the sampled media.

DESCRIPTION OF MAY 2016 SOIL BORING LOCATIONS

Location and Total Depth (feet bgs)	Soil Sample Depth (feet bgs)	TMW Screen Interval and [DTW] (feet bgs)	Analysis	Objectives	Sample Selection (justification)
SB-7 (20.0)	5.0-6.0 and 9.5-10.5	NA	VOCs	Delineate the horizontal extent of chlorinated solvent impacts	Soil: Intermediate and deeper sand/clay interface samples collected based on the lack of field evidence of contamination. GW: Not encountered.
SB-8 (16.0)	8.0-9.0 and 15.0-16.0	NA	VOCs	Delineate the horizontal extent of chlorinated solvent impacts	Soil: Sample collected from the interval with the highest PID reading (17.0 ppm) and from the end of the boring. GW: Not encountered.
SB-9 (20.0)	4.0-5.0 and 10.0-11.0	NA	VOCs	Delineate the horizontal extent of chlorinated solvent impacts	Soil: Samples collected from the interval with observed fill material and from the sand/clay interface. GW: Not encountered.
SB-10 (20.0)	4.0-5.0 and 10.0-11.0	NA	VOCs	Delineate the horizontal extent of chlorinated solvent impacts	Soil: Samples collected from intervals with observed fill material and from the sand/clay interface. GW: Not encountered.

**Summary Report for Site Investigation Activities at the Vacant Land
Located at 856 North Old Woodward Avenue, Birmingham, Michigan
PM Environmental, Inc. Project No. 01-5889-0-0003; June 20, 2016**

Location and Total Depth (feet bgs)	Soil Sample Depth (feet bgs)	TMW Screen Interval and [DTW] (feet bgs)	Analysis	Objectives	Sample Selection (justification)
SB/TMW-11 (18.0)	2.5-3.5 and 10.0-11.0	13.1-18.1 [16.19]	VOCs	Delineate the horizontal extent of chlorinated solvent impacts	Soil: Samples collected from the interval with observed fill material and from the sand/clay interface. GW: Sampled.
SB-12 (20.0)	5.5-6.5 and 10.5-11.5	NA	VOCs	Delineate the horizontal extent of chlorinated solvent impacts	Soil: Intermediate and deeper sand/clay interface samples collected based on the lack of field evidence of contamination. GW: Not encountered.
SB/TMW-13 (10.0*)	2.0-3.0*	3.7-8.7 [5.93]	VOCs	Delineate the horizontal extent of chlorinated solvent impacts	Soil: Sample collected above saturated zone based on the lack of field evidence of contamination. GW: Sampled.
SB-14 (10.0*)	2.0-3.0*	NA	VOCs	Delineate the horizontal extent of chlorinated solvent impacts	Soil: Sample collected from interval with observed staining. GW: Not encountered.
SB-15 (10.0*)	2.0-3.0*	NA	VOCs	Delineate the horizontal extent of chlorinated solvent impacts	Soil: Shallow sample collected to evaluate soils for removal. GW: Not encountered.

GW – Groundwater

NA – Not Applicable

bgs – below ground surface

PID – photoionization detector

ppm – parts per million

* Depth measured from surface that is approximately 10 feet below street level elevation

Investigation Techniques and QA/QC Procedures

The soil borings were advanced to the desired depth using a direct push drill rig and/or stainless steel hand auger. Soil sampling was performed for soil classification, verification of subsurface geologic conditions, and for investigating the potential and/or extent of soil and groundwater (if encountered) contamination at the subject property.

During drilling operations, the drilling equipment was cleaned to minimize the possibility of cross contamination. These procedures included cleaning equipment with a phosphate free solution (i.e., Alconox®) and rinsing with distilled water after each sample collection. Drilling and sampling equipment was also cleaned in this manner prior to initiating field activities.

Soils collected from discrete sample intervals were screened using a PID to determine if VOCs were present. Soil from specific depths was placed in plastic bags, sealed, and allowed to volatilize. The headspace within each bag was then monitored with the PID. The PID is able to detect trace levels of organic compounds in the air space within the plastic bag. The PID utilizes a 10.6 electron volts (eV) lamp. Soil samples were collected from the soil borings based upon the highest PID reading, visual/olfactory evidence, a change in geology, surficial soil, and/or directly above saturated soil.

Soil samples for VOC analysis were preserved with methanol, in accordance with USEPA method 5035. The soil samples were placed in appropriately labeled containers with Teflon lined lids and/or sanitized glass jars, placed in an ice packed cooler, and transported under chain of custody procedures for laboratory analysis within applicable holding times.

The temporary monitoring wells were installed to collect groundwater samples for chemical analysis. New well assemblies were used for the temporary wells, consisting of a 5-foot long, one-inch diameter, 0.010-inch slot, schedule 40, PVC screen and a 1-inch diameter PVC casing. After the screen for the well was set to the desired depth, natural sands were allowed to collapse around the well screen. The wells were developed using either a new disposable 0.9-inch diameter bailer or peristaltic pump equipped with new, chemically inert, 3/8-inch diameter polyethylene and silicon tubing. Well development was performed by purging until clear, turbid free groundwater was observed coming from the well.

Groundwater samples collected from the temporary monitoring wells were generally collected using low flow sampling methods and protocols using a peristaltic pump equipped with new, chemically inert, 3/8-inch diameter polyethylene and silicon tubing. The samples were collected into preserved vials or bottles or within unpreserved bottles or jars, as applicable for the analyte and/or method.

All samples collected were transported under chain of custody procedures for laboratory analysis within applicable holding times. Upon completion of the investigation, the temporary monitoring wells were removed from the soil borings and the soil borings were abandoned by placing the soil cuttings back into the borehole, filling the void with bentonite chips, hydrating the chips, resurfacing and returning the area to its pre-drilling condition.

GEOLOGY/HYDROGEOLOGY

Based on review of soil boring logs from site investigations completed between 2006 and 2016, the soil stratigraphy at the subject property generally consists of sand and/or clay fill to depth ranging between 8.0 feet bgs and 18.0 feet bgs, underlain by native sand and clay lenses (i.e. interbedded sand and clay) to a depth of at least 74.0 feet bgs, the maximum depth explored. Fill material and debris was encountered at varying thicknesses between the surface to a depth of approximately 18.0 feet bgs. In general, the fill material increases in quantity and depth towards the northeastern portion of the subject property.

Limited, discontinuous, and perched groundwater was at varying depths in four of the 15 soil borings completed by PM in 2015 and 2016 between depths of 15.0 and 25 feet below street level elevation. Additionally, the eastern portion of the subject property is located within a flood plain area that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights. The base flood elevation is approximately 740 feet per the FEMA Flood Insurance Study (FIS).

The soil boring logs for soil borings advanced by PM are included in Appendix A, which consist of site specific geology, sample depths, and temporary monitoring well details.

LOCATION OF CONTAMINATED MEDIA ON THE SUBJECT PROPERTY

The analytical results for the samples collected during site investigation activities conducted between 2006 and 2016 were compared with the MDEQ Generic Cleanup Criteria and Screening Levels as presented in Part 201 Rules 299.1 through 299.50, dated December 30,

2013 entitled “Cleanup Criteria Requirements for Response Activity”, in accordance with Section 20120a(1) using the Residential and Nonresidential cleanup criteria. Analytical results, when applicable, were compared to VISLs presented in the MDEQ May 2013 Guidance Document for the Vapor Intrusion Pathway.

The analytical results are summarized on Figures 3 and 4 and in Tables 1 through 4. The laboratory analytical reports are included in Appendix B.

Soil Analytical Results

The table below summarizes the analytical results in soil samples from site investigation activities completed between 2006 and 2016 for target analytes that may represent listed hazardous waste. Any detectable concentrations would be representative of a listed hazardous waste as the presumed source is from dry cleaning operations. All soil analytical results are summarized on Figure 3 and in Tables 1 through 3.

SUMMARY OF PCE/TCE SOIL ANALYTICAL RESULTS

Part 201 Cleanup Criteria	Target Analyte	Soil Sample Location(s)		
<MDL	PCE/TCE	SP1 (4.0-5.0) SP5 (3.0-4.0) SB-2 (6.0-7.0) SB-8 (15.0-16.0) SB-12 (10.5-11.5)	SP2 (4.5-5.5) SP7 (9.0-10.0) SB-3 (19.0-20.0) SB-10 (4.0-5.0) SB-13 (2.0-3.0)	SP3 (0.0-2.0) SB-1 (5.5-6.5) SB-8 (8.0-9.0) SB-10 (10.0-11.0) SB-15 (2.0-3.0)
>MDL and Part 201 Criteria not exceeded	PCE	SB-5 (15.0-16.0)	SB-6 (4.0-5.0)	
DWP (R/NR)	PCE	SP6 (7.0-8.0) SB-7 (5.0-6.0) SB-9 (10.0-11.0) SB-12 (5.5-6.5)	SB-4 (7.5-8.5) SB-7 (9.5-10.5) SB-11 (2.5-3.5) SB-14 (2.0-3.0)	SB-4 (13.0-14.0) SB-9 (4.0-5.0) SB-11 (10.0-11.0)
	TCE		SB-7 (9.5-10.5)	
GSIP	PCE	SP6 (7.0-8.0) SB-12 (5.5-6.5)	SB-4 (7.5-8.5)	SB-7 (9.5-10.5)

MDL – method detection limit

R – Residential

NR – Nonresidential

PCE - Tetrachloroethylene

DWP – Drinking Water Protection

GSIP – Groundwater Surface Water Interface Protection

TCE - Trichloroethylene

In addition to the summarized results above, a concentration of xylenes was identified in SB-11 (10.0-11.0 feet bgs) above Part 201 GSIP cleanup criteria in the soil samples collected in May 2016. Concentrations of various petroleum VOCs were identified in SB-8, SB-10, SB-11, and SB-13 that are below the most restrictive Part 201 cleanup criteria.

Groundwater Analytical Results

Groundwater analytical results for site investigation activities conducted between 2006 and 2016 are presented on Figure 4 and in Table 4. A concentration of benzene was identified in TMW-11 above Part 201 Residential and Nonresidential DW cleanup criteria. Concentrations of PCE and/or cis-1,2-dichloroethylene were identified in each of the two groundwater samples collected, below the most restrictive Part 201 cleanup criteria.

Soil Gas Analytical Results

Soil gas analytical results identified concentrations of PCE above MDEQ Residential Vapor Intrusion Screening Levels (VISLs) in SG-4 and SG-5. Concentrations of various VOCs were identified in the remaining samples that are below the most restrictive MDEQ VISLs. Refer to Figure 5 and Table 5 for additional information on the soil gas sample locations and results.

CONCLUSIONS AND RECOMMENDATIONS

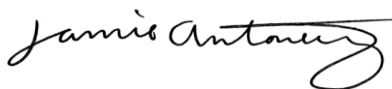
On May 26, 2016, PM completed a scope of work consisting of the advancement of nine soil borings (SB-7 through SB-15) and installation of two temporary monitoring wells (TMW-11 and TMW-13) to further define the horizontal extent of chlorinated solvent impacts in soil and groundwater at the subject property. Fifteen soil and two groundwater samples were collected for analysis of VOCs. Refer to Figures 3 and 4 for the locations of soil borings and temporary monitoring wells completed by PM in 2016.

Soil analytical results identified additional concentrations of chlorinated solvents exceeding Part 201 cleanup criteria. Limited groundwater analytical results identified concentrations of PCE in the two samples collected in 2016. The extent of soil and groundwater impact has not been fully defined. Due to the nature of the soil impacts (i.e. chlorinated solvents associated with dry cleaning operations, any soil and groundwater impacted with chlorinated solvents that are removed during development would require disposal as a listed hazardous waste. Based on the analytical results, the estimated in place volume of listed hazardous waste requiring removal as part of the development is 2,800 cubic yards that would represent approximately 4,500 tons of soils dependent on soil composition.


Listed hazardous waste requires specialized handling, disposal, and reporting related to soil and/or groundwater removal. Additional costs may also be incurred if the soil is determined to be land disposal restricted (LDR). To ensure potential development related disposal costs are well understood, PM recommends further delineation of chlorinated solvent soil impacts prior to removal. Additionally, removal of impacted soils requiring disposal as hazardous waste is to be completed prior to additional site work to minimize the volume of listed hazardous waste disposal and prevent exacerbation of the identified contamination during development activities.

If you have any questions related to this report, please do not hesitate to contact our office at (800) 313-2966.

Sincerely,
PM Environmental, Inc.



Jamie Antoniewicz, P.E.
Project Engineer



J. Adam Patton, CHMM
Manager of Site Investigation Services

FIGURES

- Figure 1: Site Vicinity Diagram
Figure 2: Generalized Diagram of the Subject Property and Adjoining Properties
Figure 3: Soil Boring/Temporary Monitoring Well/Soil Gas Location Map with Soil Analytical Results
Figure 4: Soil Boring/Temporary Monitoring Well/Soil Gas Location Map with Groundwater Analytical Results
Figure 5: Soil Boring/Temporary Monitoring Well/Soil Gas Location Map with Soil Gas Analytical Results

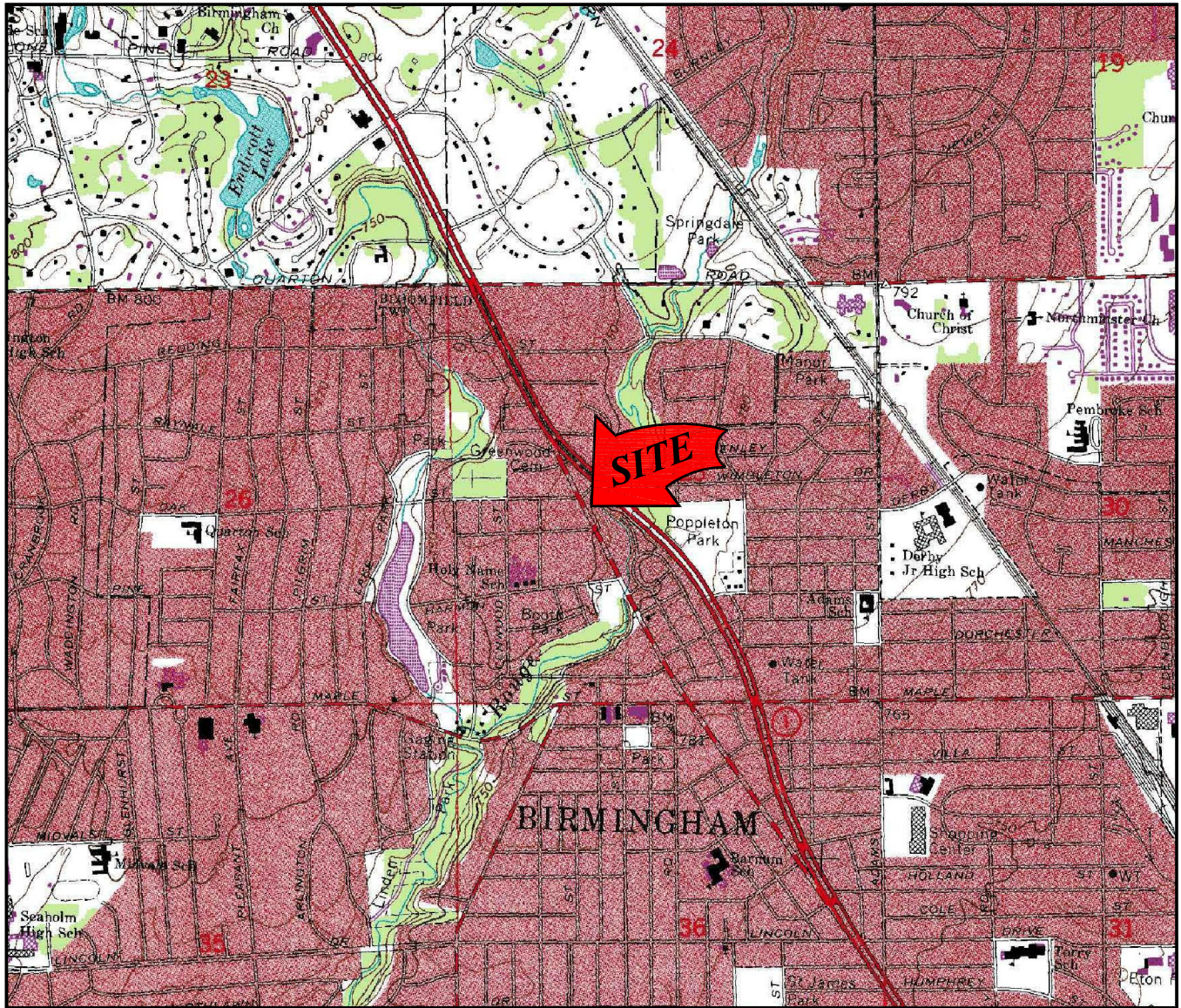
TABLES

- Table 1: Summary of Soil Analytical Results: VOCs
Table 2: Summary of Soil Analytical Results: PNAs
Table 3: Summary of Soil Analytical Results: PCBs and Metals
Table 4: Summary of Groundwater Analytical Results: VOCs, PNAs, Michigan 10 Metals, and Methane
Table 5: Summary of Soil Gas Analytical Results: VOCs and Methane

APPENDICES

- Appendix A: Soil Boring Logs
Appendix B: Laboratory Analytical Reports

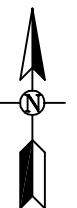
Figures

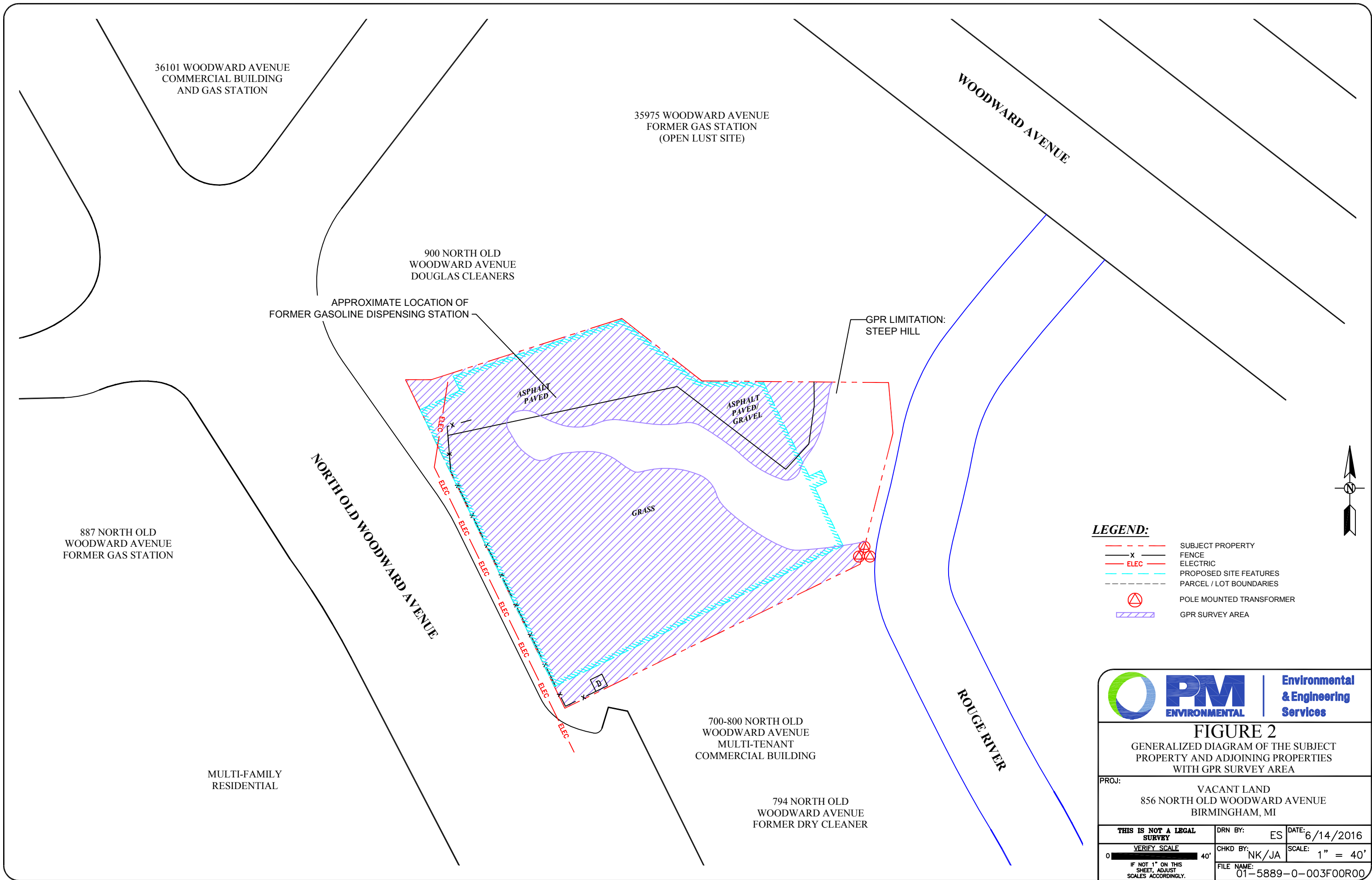


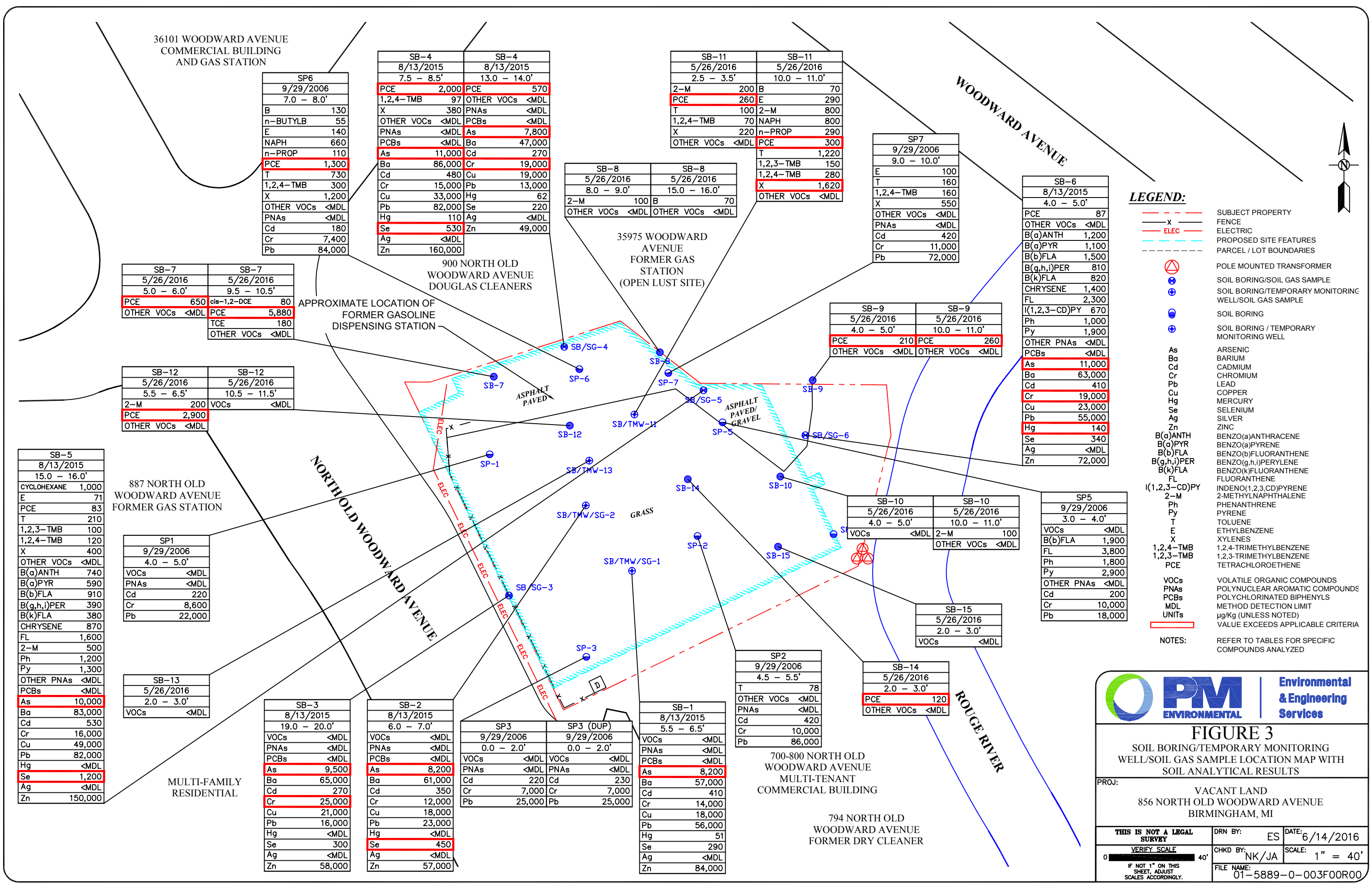
OAKLAND COUNTY



FIGURE 1
PROPERTY VICINITY MAP
USGS, 7.5 MINUTE SERIES
BIRMINGHAM, MI QUADRANGLE, 1968. PHOTO REVISED 1981.







LEGEND:

- SUBJECT PROPERTY
 - FENCE
 - ELECTRIC
 - PROPOSED SITE FEATURES
 - PARCEL / LOT BOUNDARIES
 - POLE MOUNTED TRANSFORMER
 - SOIL BORING/SOIL GAS SAMPLE
 - SOIL BORING/TEMPORARY MONITORING WELL/SOIL GAS SAMPLE
 - SOIL BORING
 - SOIL BORING / TEMPORARY MONITORING WELL
 - As ARSENIC
 - Ba BARIUM
 - Cd CADMIUM
 - Cr CHROMIUM
 - Pb LEAD
 - Cu COPPER
 - Hg MERCURY
 - Se SELENIUM
 - Ag SILVER
 - Zn ZINC
 - B(a)ANTH BENZO(a)ANTHRACENE
 - B(a)PYR BENZO(a)PYRENE
 - B(b)FLA BENZO(b)FLUORANTHENE
 - B(g,h,i)PER BENZO(g,h,i)PERYLENE
 - B(k)FLA BENZO(k)FLUORANTHENE
 - FL FLUORANTHENE
 - I(1,2,3-CD)PY INDENO(1,2,3-CD)PYRENE
 - 2-M 2-METHYLNAPHTHALENE
 - Ph PHENANTHRENE
 - Py PYRENE
 - T TOLUENE
 - E ETHYLBENZENE
 - X XYLENES
 - 1,2,4-TMB 1,2,4-TRIMETHYLBENZENE
 - 1,2,3-TMB 1,2,3-TRIMETHYLBENZENE
 - PCE TETRACHLOROETHENE
 - VOCs VOLATILE ORGANIC COMPOUNDS
 - PNAs POLYNUCLEAR AROMATIC COMPOUNDS
 - PCBs POLYCHLORINATED BIPHENYLS
 - MDL METHOD DETECTION LIMIT
 - UNITS µg/Kg (UNLESS NOTED)
 - VALUE EXCEEDS APPLICABLE CRITERIA
- NOTES: REFER TO TABLES FOR SPECIFIC COMPOUNDS ANALYZED



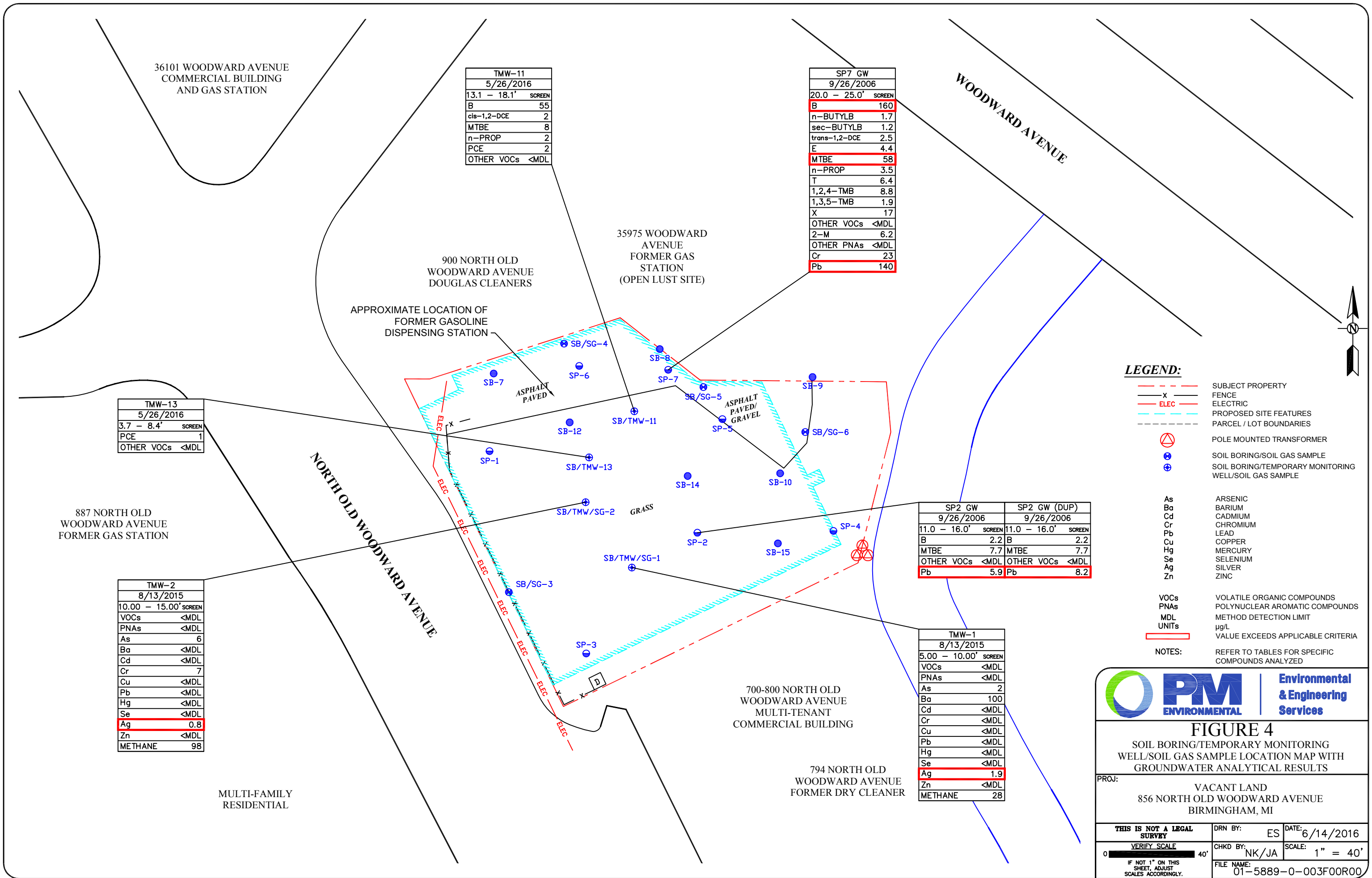
FIGURE 3
SOIL BORING/TEMPORARY MONITORING WELL/SOIL GAS SAMPLE LOCATION MAP WITH SOIL ANALYTICAL RESULTS


PROJ: VACANT LAND
856 NORTH OLD WOODWARD AVENUE
BIRMINGHAM, MI

THIS IS NOT A LEGAL SURVEY
VERIFY SCALE
0 40'

IF NOT 1" ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

DRN BY: ES DATE: 6/14/2016
CHKD BY: NK/JA SCALE: 1" = 40'
FILE NAME: 01-5889-0-003F00R00





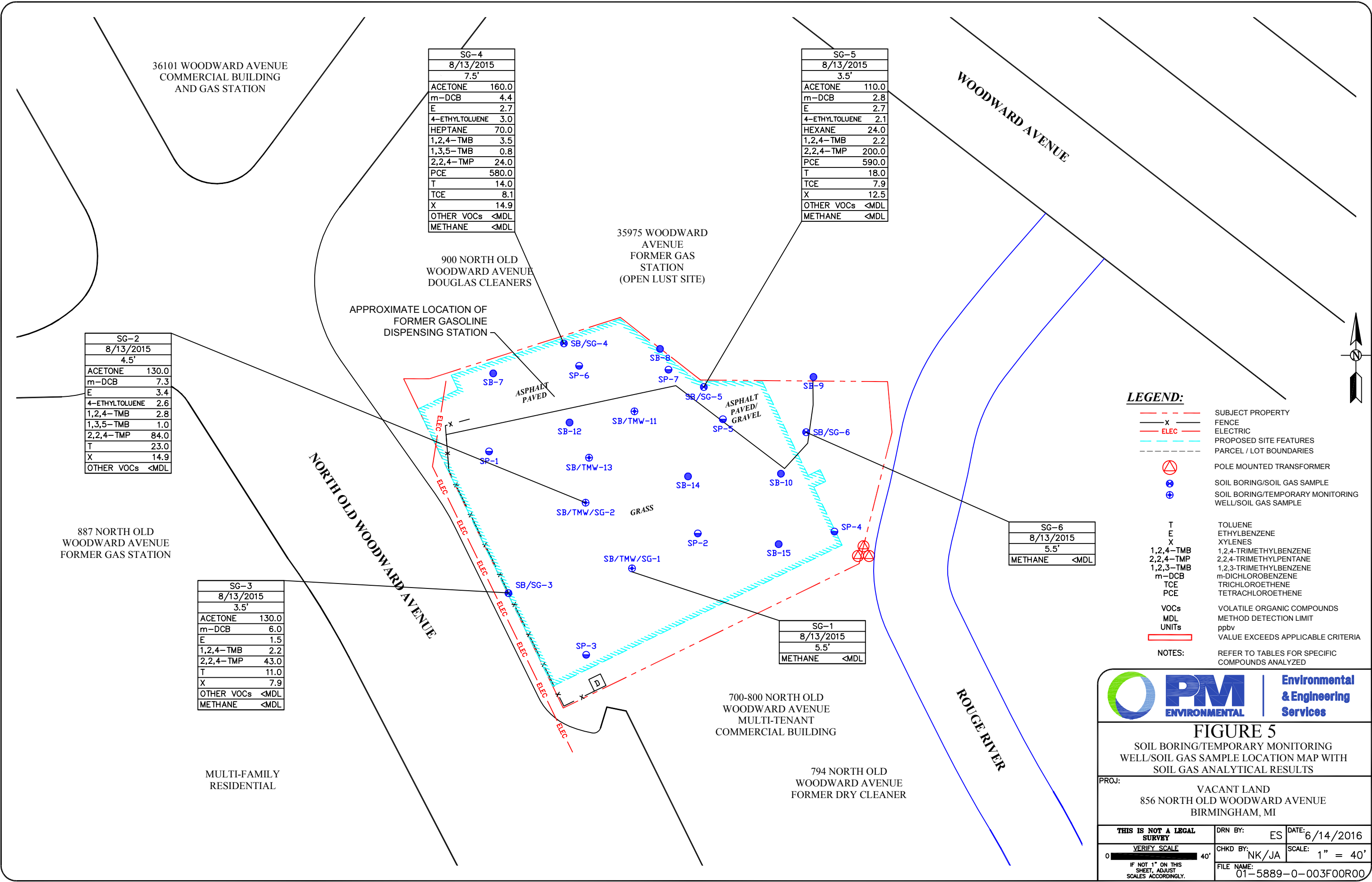
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FIGURE 4

SOIL BORING/TEMPORARY MONITORING
WELL/SOIL GAS SAMPLE LOCATION MAP WITH
GROUNDWATER ANALYTICAL RESULTS

PROJ: VACANT LAND
856 NORTH OLD WOODWARD AVENUE
BIRMINGHAM, MI

THIS IS NOT A LEGAL SURVEY	DRN BY: ES	DATE: 6/14/2016
VERIFY SCALE	CHKD BY: NK/JA	SCALE: 1" = 40'
IF NOT 1" ON THIS SHEET, ADJUST SCALES ACCORDINGLY.		
FILE NAME: 01-5889-0-003F00R00		





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FIGURE 5

SOIL BORING/TEMPORARY MONITORING
WELL/SOIL GAS SAMPLE LOCATION MAP WITH
SOIL GAS ANALYTICAL RESULTS

PROJ: VACANT LAND
856 NORTH OLD WOODWARD AVENUE
BIRMINGHAM, MI

THIS IS NOT A LEGAL SURVEY	DRN BY: ES	DATE: 6/14/2016
VERIFY SCALE	CHKD BY: NK/JA	SCALE: 1" = 40'
IF NOT 1" ON THIS SHEET, ADJUST SCALES ACCORDINGLY.	FILE NAME: 01-5889-0-003F00R00	

Tables

TABLE 1
SUMMARY OF SOIL ANALYTICAL RESULTS
VOCs
856 NORTH OLD WOODWARD AVENUE, BIRMINGHAM, MICHIGAN
PM PROJECT #01-5889-0-0003

VOLATILE ORGANIC COMPOUNDS (µg/Kg)			Benzene	n-Butylbenzene	Cyclohexane	o,s-1,2-Dichloroethene	Ethyl benzene	2-Methylnaphthalene	Naphthalene	n-Propylbenzene	Tetrachloroethene	Toluene	Trichloroethene	1,2,3-Trimethylbenzene*	1,2,4-Trimethylbenzene	Xylenes	Other VOCs
Chemical Abstract Service Number (CAS#)			71432	104518	110827	156592	100414	91576	91203	103651	127184	108883	79016	526738	95636	1330207	Various
Sample ID	Sample Date	Sample Depth (feet bgs)	VOCs														
SP1	9/29/2006	4.0-5.0	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SP2	9/29/2006	4.5-5.5*	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	78	<MDL	<MDL	<MDL	<MDL	<MDL
SP3	9/29/2006	0.0-2.0*	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SP3 (DUP)			<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SP5	9/29/2006	3.0-4.0	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SP6	9/29/2006	7.0-8.0	130	55	<MDL	<MDL	140	<MDL	660	110	1,300	730	<MDL	<MDL	300	1,200	<MDL
SP7	9/29/2006	9.0-1.0	<MDL	<MDL	<MDL	<MDL	100	<MDL	<MDL	<MDL	<MDL	160	<MDL	<MDL	160	550	<MDL
SB-1	8/13/2015	5.5-6.5*	<50	<50	<50	<50	<50	<250	<250	<50	<50	<50	<50	<50	<50	<150	<MDL
SB-2	8/13/2015	6.0-7.0*	<50	<50	<50	<50	<50	<250	<250	<50	<50	<50	<50	<50	<50	<150	<MDL
SB-3	8/13/2015	19.0-20.0	<50	<50	<50	<50	<50	<250	<250	<50	<50	<50	<50	<50	<50	<150	<MDL
SB-4	8/13/2015	7.5-8.5	<50	<50	<50	<50	<50	<250	<250	<50	2,000	<50	<50	<50	97	380	<MDL
SB-4	8/13/2015	13.0-14.0	<50	<50	<50	<50	<50	<250	<250	<50	570	<50	<50	<50	<50	<150	<MDL
SB-5	8/13/2015	15.0-16.0	<50	<50	1,000	<50	71	<250	<250	<50	83	210	<50	100	120	400	<MDL
SB-6	8/13/2015	4.0-5.0	<50	<50	<50	<50	<50	<250	<250	<50	87	<50	<50	<50	<50	<150	<MDL
SB-7	5/26/2016	5.0-6.0	<70	<70	NA	<70	<70	<100	<300	<70	650	<70	<70	<70	<70	<170	<MDL
SB-7	5/26/2016	9.5-10.5	<80	<80	NA	80	<80	<200	<400	<80	5,880	<80	180	<80	<80	<280	<MDL
SB-8	5/26/2016	8.0-9.0	<70	<70	NA	<70	<70	100	<300	<70	<70	<70	<70	<70	<70	<170	<MDL
SB-8	5/26/2016	15.0-16.0	70	<60	NA	<60	<60	<100	<300	<60	<60	<60	<60	<60	<60	<160	<MDL
SB-9	5/26/2016	4.0-5.0	<70	<70	NA	<70	<70	<100	<300	<70	210	<70	<70	<70	<70	<170	<MDL
SB-9	5/26/2016	10.0-11.0	<70	<70	NA	<70	<70	<100	<300	<70	260	<70	<70	<70	<70	<170	<MDL
SB-10	5/26/2016	4.0-5.0	<60	<60	NA	<60	<60	<100	<300	<60	<60	<60	<60	<60	<60	<160	<MDL
SB-10	5/26/2016	10.0-11.0	<60	<60	NA	<60	<60	100	<300	<60	<60	<60	<60	<60	<60	<160	<MDL
SB-11	5/26/2016	2.5-3.5	<60	<60	NA	<60	<60	200	<300	<60	260	100	<60	<60	70	220	<MDL
SB-11	5/26/2016	10.0-11.0	70	<70	NA	<70	290	800	800	290	300	1,220	<70	150	280	1,620	<MDL
SB-12	5/26/2016	5.5-6.5	<70	<70	NA	<70	<70	200	<300	<70	2,900	<70	<70	<70	<70	<170	<MDL
SB-12	5/26/2016	10.5-11.5	<70	<70	NA	<70	<70	<100	<400	<70	<70	<70	<70	<70	<70	<170	<MDL
SB-13	5/26/2016	2.0-3.0*	<60	<60	NA	<60	<60	<100	<300	<60	<60	<60	<60	<60	<60	<160	<MDL
SB-14	5/26/2016	2.0-3.0*	<60	<60	NA	<60	<60	<100	<300	<60	120	<60	<60	<60	<60	<160	<MDL
SB-15	5/26/2016	2.0-3.0*	<70	<70	NA	<70	<70	<100	<300	<70	<70	<70	<70	<70	<70	<170	<MDL
Cleanup Criteria Requirements for Response Activity (R 299.1 - R 299.50)																	
Generic Soil Cleanup Criteria Tables 2 and 3: Residential and Non-Residential Part 201 Generic Cleanup Criteria and Screening Levels/Part 213 Risk-Based Screening Levels, December 30, 2013																	
Residential (µg/Kg)																	
Drinking Water Protection (Res DWP)	100	1,600	NL	1,400	1,500	57,000	35,000	1,600		100	16,000	100	1,800	2,100	5,600	Various	
Groundwater Surface Water Interface Protection (GSIP)	4,000 {X}	ID	NL	12,000	360	4,200	730	ID		1,200 {X}	5,400	4,000 {X}	570	570	820	Various	
Soil Volatilization to Indoor Air Inhalation (Res SVII)	1,600	ID	NL	22,000	87,000	2.70E+06	2.50E+05	ID		11,000	3.3E+05 {C}	1,000	2.6E+06 {C}	4.3E+06 {C}	6.3E+06 {C}	Various	
Ambient Air Infinite Source Volatile Soil Inhalation (Res VSI)	13,000	ID	NL	1.80E+05	7.20E+05	1.50E+06	3.00E+05	ID		1.70E+05	2.80E+06	11,000	1.60E+07	2.10E+07	4.60E+07	Various	
Ambient Air Finite VSI for 5 Meter Source Thickness	34,000	ID	NL	4.20E+05	1.00E+06	1.50E+06	3.00E+05	ID		4.80E+05	5.10E+06	25,000	3.80E+08	5.00E+08	6.10E+07	Various	
Ambient Air Finite VSI for 2 Meter Source Thickness	79,000	ID	NL	9.90E+05	2.20E+06	1.50E+06	3.00E+05	ID		1.1E+06	1.20E+07	57,000	3.80E+08	5.00E+08	1.30E+08	Various	
Ambient Air Particulate Soil Inhalation (Res PSI)	3.80E+08	2.00E+09	NL	2.30E+09	1.00E+10	6.70E+08	2.00E+08	1.30E+09		2.7E+09	2.70E+10	1.30E+08	8.20E+10	8.20E+10	2.90E+11	Various	
Direct Contact (Res DC)	1.80E+05	2.50E+06	NL	2.5E+06 {C}	2.2E+07 {C}	8.10E+06	1.60E+07	2.50E+06		2.0E+05 {C}	5.0E+07 {C}	5.0E+5 {C,DD}	3.2E+07 {C}	3.2E+07 {C}	4.1E+08 {C}	Various	
Nonresidential (µg/Kg)																	
Drinking Water Protection (Nonres DWP)	100	4,600	NL	1,400	1,500	1.70E+05	1.00E+05	4,600		100	16,000	100	1,800	2,100	5,600	Various	
Soil Volatilization to Indoor Air Inhalation (Nonres SVII)	8,400	ID	NL	41,000	4.6E+05 {C}	4.90E+06	4.70E+05	ID		21,000	6.1E+05 {C}	1,900	4.8E+06 {C}	8.0E+06 {C}	1.2E+07 {C}	Various	
Ambient Air Infinite Source Volatile Soil Inhalation (Nonres VSI)	45,000	ID	NL	2.10E+05	2.40E+06	1.80E+06	3.50E+05	ID		2.10E+05	3.30E+06	14,000	1.90E+07	2.50E+07	5.40E+07	Various	
Ambient Air Finite VSI for 5 Meter Source Thickness	99,000	ID	NL	4.30E+05	3.10E+06	1.80E+06	3.50E+05	ID		4.90E+05	3.60E+07	25,000	4.60E+08	6.00E+08	6.50E+07	Various	
Ambient Air Finite VSI for 2 Meter Source Thickness	2.30E+05	ID	NL	1.00E+06	6.50E+06	1.80E+06	3.50E+05	ID		1.1E+06	3.60E+07	58,000	4.60E+08	6.00E+08	1.30E+08	Various	
Ambient Air Particulate Soil Inhalation (Nonres PSI)	4.70E+08	ID	NL	1.00E+09	1.30E+10	2.90E+08	8.80E+07	5.90E+08		1.2E+09	1.20E+10	5.90E+07	3.60E+10	3.60E+10	1.30E+11	Various	
Direct Contact (Nonres DC)	8.40E+05 {C}	8.00E+06	NL	8.0E+06 {C}	7.1E+07 {C}	2.60E+07	5.20E+07	8.00E+06		9.3E+05 {C}	1.6E+08 {C}	6.6E+05 {C,DD}	1.0E+08 {C}	1.0E+08 {C}	1.0E+09 {C}	Various	
Screening Levels (µg/Kg)																	
Soil Saturation Concentration Screening Levels (Csat)	4.00E+05	1.00E+07	NL	6.40E+05	1.40E+05	NA	NA	1.00E+07		88,000	2.50E+05	5.00E+05	94,000	1.10E+05	1.50E+05	Various	

Applicable Criterion/RBSL Exceeded
BOLD Value Exceeds Applicable Criterion/RBSL
bgs Below Ground Surface (feet)
1 1,2,3-Trimethylbenzene RBSLs based on the more restrictive of 1,2,4-trimethylbenzene and 1,3,5-trimethylbenzene.
MDL Laboratory method detection limit
NA Not Applicable
NL Not Listed
NLL Not Likely to Leach
NLV Not Likely to Volatilize
ID Insufficient Data
* Measured from a point approximately 10 feet below street elevation

TABLE 2
SUMMARY OF SOIL ANALYTICAL RESULTS
PNAs
856 NORTH OLD WOODWARD AVENUE, BIRMINGHAM, MICHIGAN
PM PROJECT # 01-5889-0-0003

POLYNUCLEAR AROMATIC COMPOUNDS (PNAs) (µg/Kg)			Benzo(a)anthracene	Benzo(a)pyrene	Benzo(b)fluoranthene	Benzo(g,h,i)perylene	Benzo(k)fluoranthene	Chrysene	Fluoranthene	Indeno(1,2,3-cd)pyrene	2-Methylnaphthalene	Phenanthrene	Pyrene
Chemical Abstract Service Number (CAS#)			56553	50328	205992	191242	207089	218019	206440	193395	91576	85018	129000
Sample ID	Sample Date	Sample Depth (feet bgs)	PNAs										
SP1	9/29/2006	4.0-5.0	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SP2	9/29/2006	4.5-5.5*	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SP3	9/29/2006	0.0-2.0*	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SP3 (DUP)			<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SP5	9/29/2006	3.0-4.0	<MDL	<MDL	1,900	<MDL	<MDL	<MDL	3,800	<MDL	<MDL	1,800	2,900
SP6	9/29/2006	7.0-8.0	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SP7	9/29/2006	9.0-1.0	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL
SB-1	8/13/2015	5.5-6.5*	<330	<330	<330	<330	<330	<330	<330	<330	<330	<330	<330
SB-2	8/13/2015	6.0-7.0*	<330	<330	<330	<330	<330	<330	<330	<330	<330	<330	<330
SB-3	8/13/2015	19.0-20.0	<330	<330	<330	<330	<330	<330	<330	<330	<330	<330	<330
SB-4	8/13/2015	7.5-8.5	<330	<330	<330	<330	<330	<330	<330	<330	<330	<330	<330
SB-4	8/13/2015	13.0-14.0	<330	<330	<330	<330	<330	<330	<330	<330	<330	<330	<330
SB-5	8/13/2015	15.0-16.0	740	590	910	390	380	870	1,600	<330	500	1,200	1,300
SB-6	8/13/2015	4.0-5.0	1,200	1,100	1,500	810	820	1,400	2,300	670	<330	1,000	1,900
Cleanup Criteria Requirements for Response Activity (R 299.1 - R 299.50) Generic Soil Cleanup Criteria Tables 2 and 3: Residential and Non-Residential Part 201 Generic Cleanup Criteria and Screening Levels/Part 213 Risk-Based Screening Levels, December 30, 2013													
Residential (µg/Kg)													
Statewide Default Background Levels	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
Drinking Water Protection (Res DWP)	NLL	NLL	NLL	NLL	NLL	NLL	NLL	7.30E+05	NLL	57,000	56,000	4.80E+05	
Groundwater Surface Water Interface Protection (GSIP)	NLL	NLL	NLL	NLL	NLL	NLL	NLL	5,500	NLL	4,200	2,100	ID	
Soil Volatilization to Indoor Air Inhalation (Res SVII)	NLV	NLV	ID	NLV	NLV	NLV	ID	1.0E+9 (D)	NLV	2.70E+06	2.8E+06	1.0E+9 (D)	
Ambient Air Infinite Source Volatile Soil Inhalation (Res VSI)	NLV	NLV	ID	NLV	NLV	NLV	ID	7.40E+08	NLV	1.50E+06	1.60E+05	6.5E+08	
Ambient Air Finite VSI for 5 Meter Source Thickness	NLV	NLV	ID	NLV	NLV	NLV	ID	7.4E+08	NLV	1.50E+06	1.60E+05	6.5E+08	
Ambient Air Finite VSI for 2 Meter Source Thickness	NLV	NLV	ID	NLV	NLV	NLV	ID	7.4E+08	NLV	1.50E+06	1.60E+05	6.5E+08	
Ambient Air Particulate Soil Inhalation (Res PSI)	ID	1.5E+06	ID	8.0E+08	ID	ID	ID	9.3E+09	ID	6.70E+08	6.7E+06	6.7E+09	
Direct Contact (Res DC)	20,000	2,000	20,000	2.5E+06	2.00E+05	2.0E+06	4.6E+07	20,000	8.10E+06	1.6E+06	2.9E+07		
Nonresidential (µg/Kg)													
Drinking Water Protection (Nonres DWP)	NLL	NLL	NLL	NLL	NLL	NLL	NLL	7.30E+05	NLL	1.70E+05	1.60E+05	4.80E+05	
Soil Volatilization to Indoor Air Inhalation (Nonres SVII)	NLV	NLV	ID	NLV	NLV	NLV	ID	1.0E+9 (D)	NLV	4.90E+06	5.1E+06	1.0E+9 (D)	
Ambient Air Infinite Source Volatile Soil Inhalation (Nonres VSI)	NLV	NLV	ID	NLV	NLV	NLV	ID	8.9E+08	NLV	1.80E+06	1.90E+05	7.8E+08	
Ambient Air Finite VSI for 5 Meter Source Thickness	NLV	NLV	ID	NLV	NLV	NLV	ID	8.8E+08	NLV	1.80E+06	1.90E+05	7.8E+08	
Ambient Air Finite VSI for 2 Meter Source Thickness	NLV	NLV	ID	NLV	NLV	NLV	ID	8.8E+08	NLV	1.80E+06	1.90E+05	7.8E+08	
Ambient Air Particulate Soil Inhalation (Nonres PSI)	ID	1.9E+06	ID	3.5E+08	ID	ID	ID	4.1E+09	ID	2.90E+08	2.9E+06	2.9E+09	
Direct Contact (Nonres DC)	80,000	8,000	80,000	7.0E+06	8.00E+05	8.0E+06	1.3E+08	80,000	2.60E+07	5.2E+06	8.4E+07		
Screening Levels (µg/Kg)													
Soil Saturation Concentration Screening Levels (Csat)	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA

Applicable Criterion/RBSL Exceeded
BOLD Value Exceeds Applicable Criterion/RBSL
bgs Below Ground Surface (feet)
MDL Laboratory method detection limit
NA/NL/ID Not Applicable/Not Listed/Insufficient Data
NLL/NLV Not Likely to Leach/Not Likely to Volatilizae
* Measured from a point approximately 10 feet below street elevation

TABLE 3
SUMMARY OF SOIL ANALYTICAL RESULTS
PCBs AND METALS
856 NORTH OLD WOODWARD AVENUE, BIRMINGHAM, MICHIGAN
PM PROJECT # 01-5889-0-0003

POLYCHLORINATED BIPHENYLS (PCBs) AND MICHIGAN TEN METALS (µg/Kg)			PCBs	Arsenic	Barium	Cadmium	Chromium	Copper	Lead	Mercury	Selenium	Silver	Zinc
Chemical Abstract Service Number (CAS#)			1336363	7440382	7440393	7440439	16065831	7440508	7439921	7439976	7782492	7440224	7440666
Sample ID	Sample Date	Sample Depth (feet bgs)	PCBs	Michigan Ten Metals									
SP1	9/29/2006	4.0-5.0	NA	NA	NA	220	8,600	NA	22,000	NA	NA	NA	NA
SP2	9/29/2006	4.5-5.5*	NA	NA	NA	420	10,000	NA	86,000	NA	NA	NA	NA
SP3 SP3 (DUP)	9/29/2006	0.0-2.0*	NA	NA	NA	220	7,000	NA	25,000	NA	NA	NA	NA
			NA	NA	NA	230	7,000	NA	25,000	NA	NA	NA	NA
SP5	9/29/2006	3.0-4.0	NA	NA	NA	200	10,000	NA	18,000	NA	NA	NA	NA
SP6	9/29/2006	7.0-8.0	NA	NA	NA	180	7,400	NA	84,000	NA	NA	NA	NA
SP7	9/29/2006	9.0-1.0	NA	NA	NA	420	11,000	NA	72,000	NA	NA	NA	NA
SB-1	8/13/2015	5.5-6.5*	<MDL	8,200	57,000	410	14,000	18,000	56,000	51	290	<100	84,000
SB-2	8/13/2015	6.0-7.0*	<MDL	8,200	61,000	350	12,000	18,000	23,000	<50	450	<100	57,000
SB-3	8/13/2015	19.0-20.0	<MDL	9,500	65,000	270	25,000	21,000	16,000	<50	300	<100	58,000
SB-4	8/13/2015	7.5-8.5	<MDL	11,000	86,000	480	15,000	33,000	82,000	110	530	<100	160,000
SB-4	8/13/2015	13.0-14.0	<MDL	7,800	47,000	270	19,000	19,000	13,000	62	220	<100	49,000
SB-5	8/13/2015	15.0-16.0	<MDL	10,000	83,000	530	16,000	49,000	82,000	<50	1,200	<100	150,000
SB-6	8/13/2015	4.0-5.0	<MDL	11,000	63,000	410	19,000	23,000	55,000	140	340	<100	72,000
Cleanup Criteria Requirements for Response Activity (R 299.1 - R 299.50) Generic Soil Cleanup Criteria Tables 2 and 3: Residential and Non-Residential Part 201 Generic Cleanup Criteria and Screening Levels/Part 213 Risk-Based Screening Levels, December 30, 2013													
Residential (µg/Kg)													
Statewide Default Background Levels	NA	5,800	75,000	1,200	18,000	32,000	21,000	130	410	1,000	47,000		
Drinking Water Protection (Res DWP)	NLL	4,600	1.30E+06	6,000	30,000	5.80E+06	7.00E+05	1,700	4,000	4,500	2.40E+06		
Groundwater Surface Water Interface Protection (GSIP)	NLL	4,600	1.3E+06 {G}	7,700 {G,X}	3,300	1.8E+05 {G}	8.2E+06 {G,X}	50 {M}; 1.2	400	100 {M}; 27	3.9E+05 {G}		
Soil Volatilization to Indoor Air Inhalation (Res SVII)	3.0E+06	NLV	NLV	NLV	NLV	NLV	NLV	48,000	NLV	NLV	NLV		
Ambient Air Infinite Source Volatile Soil Inhalation (Res VSI)	2.40E+05	NLV	NLV	NLV	NLV	NLV	NLV	52,000	NLV	NLV	NLV		
Ambient Air Finite VSI for 5 Meter Source Thickness	7.9E+06	NLV	NLV	NLV	NLV	NLV	NLV	52,000	NLV	NLV	NLV		
Ambient Air Finite VSI for 2 Meter Source Thickness	7.9E+06	NLV	NLV	NLV	NLV	NLV	NLV	52,000	NLV	NLV	NLV		
Ambient Air Particulate Soil Inhalation (Res PSI)	5.2E+06	7.20E+05	3.30E+08	1.70E+06	2.60E+05	1.30E+08	1.00E+08	2.00E+07	1.30E+08	6.70E+06	ID		
Direct Contact (Res DC)	{T}	7,600	3.70E+07	5.50E+05	2.50E+06	2.00E+07	4.00E+05	1.60E+05	2.60E+06	2.50E+06	1.70E+08		
Nonresidential (µg/Kg)													
Drinking Water Protection (Nonres DWP)	NLL	4,600	1.30E+06	6,000	30,000	5.80E+06	7.00E+05	1,700	4,000	4,500	5.00E+06		
Soil Volatilization to Indoor Air Inhalation (Nonres SVII)	1.6E+07	NLV	NLV	NLV	NLV	NLV	NLV	89,000	NLV	NLV	NLV		
Ambient Air Infinite Source Volatile Soil Inhalation (Nonres VSI)	8.10E+05	NLV	NLV	NLV	NLV	NLV	NLV	62,000	NLV	NLV	NLV		
Ambient Air Finite VSI for 5 Meter Source Thickness	2.8E+07	NLV	NLV	NLV	NLV	NLV	NLV	62,000	NLV	NLV	NLV		
Ambient Air Finite VSI for 2 Meter Source Thickness	2.8E+07	NLV	NLV	NLV	NLV	NLV	NLV	62,000	NLV	NLV	NLV		
Ambient Air Particulate Soil Inhalation (Nonres PSI)	6.5E+06	9.10E+05	1.50E+08	2.20E+06	2.40E+05	5.90E+07	4.40E+07	8.80E+06	5.90E+07	2.90E+06	ID		
Direct Contact (Nonres DC)	{T}	37,000	1.30E+08	2.10E+06	9.20E+06	7.30E+07	9.0E+5 (DD)	5.80E+05	9.60E+06	9.00E+06	6.30E+08		
Screening Levels (µg/Kg)													
Soil Saturation Concentration Screening Levels (Csat)	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA		

Applicable Criterion/RBSL Exceeded
BOLD Value Exceeds Applicable Criterion/RBSL
bgs Below Ground Surface (feet)
MDL Laboratory method detection limit (MDL)
NA/NL/ID Not Applicable/Not Listed/Insufficient Data
NLL/NLV Not Likely to Leach/Not Likely to Volatilize
{G} Metal GSIP Criteria for Surface Water Not Protected for Drinking Water Use based on 418 mg/L CaCO3 Hardness: Station ID 630003, Rouge River, near Troy, MI
* Measured from a point approximately 10 feet below street elevation

TABLE 4
SUMMARY OF GROUNDWATER ANALYTICAL RESULTS
VOCs, PNAs, METALS, AND METHANE
856 NORTH OLD WOODWARD AVENUE, BIRMINGHAM, MICHIGAN
PM PROJECT # 01-5889-0-0003

VOLATILE ORGANIC COMPOUNDS (VOCs), POLYNUCLEAR AROMATIC COMPOUNDS (PNAs), MICHIGAN TEN METALS, AND METHANE (µg/L)				Benzene	n-Butylbenzene	sec-Butylbenzene	cis-1,2-Dichloroethylene	trans-1,2-Dichloroethylene	Ethylbenzene	Methyl-tert-butyl ether (MTBE)	n-Propylbenzene	Tetrachloroethylene	Toluene	1,2,4-Trimethylbenzene	1,3,5-Trimethylbenzene	Xylenes	VOCs	2-Methylnaphthalene	Other PNAs	Arsenic	Barium	Cadmium	Chromium	Copper	Lead	Mercury	Selenium	Silver	Zinc	Methane	
Chemical Abstract Service Number (CAS#)				71432	104518	135988	156592	156605	100414	1634044	103651	127184	108883	95636	108678	1330207	Various	91576	Various	7440382	7440393	7440439	16065831	7440508	7439921	7439976	7782492	7440224	7440666	74828	
Sample ID	Sample Date	Screen Depth (feet bgs)	Depth to Groundwater (feet bgs)	VOCs														PNAs		Michigan Ten Metals										Methane	
SP2 GW	9/26/2006	11.0-16.0	12.0	2.2	<MDL	<MDL	<MDL	<MDL	<MDL	7.7	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	NA	NA	NA	NA	<MDL	<MDL	NA	5.9	NA	NA	NA	NA	NA	
SP2 GW (DUP)	9/26/2006			2.2	<MDL	<MDL	<MDL	<MDL	<MDL	7.7	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	<MDL	NA	NA	NA	NA	<MDL	<MDL	NA	8.2	NA	NA	NA	NA	NA	NA
SP7 GW	9/26/2006	20.0-25.0	20.0	160	1.7	1.2	<MDL	2.5	4.4	58	3.5	<MDL	6.4	8.8	1.9	17	<MDL	6.2	<MDL	NA	NA	<MDL	23	NA	140	NA	NA	NA	NA	NA	NA
TMW-1	8/13/2015	5.00-10.00*	6.57*	<1	<1	<1	<1	<1	<1	<1	<1	<1	<1	<1	<1	<3	<MDL	<5	<MDL	2	100	<0.2	<5	<4	<3	<0.2	<5	1.9	<10	28	
TMW-2	8/13/2015	10.00-15.00*	12.57*	<1	<1	<1	<1	<1	<1	<1	<1	<1	<1	<1	<1	<3	<MDL	<5	<MDL	6	<100	<0.2	7	<4	<3	<0.2	<5	0.8	<10	98	
TMW-11	5/26/2016	13.1-18.1	16.19	55	<1	<1	2	<1	<1	8	2	2	<1	<1	<1	<3	<MDL	<5	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
TMW-13	5/26/2016	3.7-8.7*	5.93*	<1	<1	<1	<1	<1	<1	<5	<1	1	<1	<1	<1	<3	<MDL	<5	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
Cleanup Criteria Requirements for Response Activity (R 299.1 - R 299.50) Generic Groundwater Cleanup Criteria Table 1: Residential and Non-Residential Part 201 Generic Cleanup Criteria and Screening Levels/Part 213 Risk-Based Screening Levels, December 30, 2013 MDEQ Guidance Document For The Vapor Intrusion Pathway, Policy and Procedure Number: 09-017, Appendix D Vapor Intrusion Screening Values, May 2013																															
Residential/Nonresidential (µg/L)																															
Residential Drinking Water (Res DW)				5.0 (A)	80	80	70 (A)	100 (A)	74 (E)	40 (E)	80	5.0 (A)	790 (E)	63 (E)	72 (E)	280 (E)	Various	260	Various	10 (A)	2,000 (A)	5.0 (A)	100 (A)	1,000 (E)	4.0 (L)	2.0 (A)	50 (A)	34	2,400	ID	
Nonresidential Drinking Water (Nonres DW)				5.0 (A)	230	230	70 (A)	100 (A)	74 (E)	40 (E)	230	5.0 (A)	790 (E)	63 (E)	72 (E)	280 (E)	Various	750	Various	10 (A)	2,000 (A)	5.0 (A)	100 (A)	1,000 (E)	4.0 (L)	2.0 (A)	50 (A)	98	5,000 (E)	ID	
Groundwater Surface Water Interface (GSI)				200 (X)	ID	ID	620	1,500 (X)	18	7,100 (X)	ID	60 (X)	270	17	45	41	Various	19	Various	10	2,000 (G)	6.4 (G,X)	240 (G)	30 (G)	47 (G,X)	0.0013	5.0	0.2 (M); 0.06	400 (G)	NA	
Residential Groundwater Volatilization to Indoor Air Inhalation (Res GVII) ²				5,600	ID	ID	93,000	85,000	1.10E+05	4.7E+7 (S)	ID	25,000	5.3E+5 (S)	56,000 (S)	61,000 (S)	1.9E+5 (S)	Various	25,000 (S)	Various	NLV	NLV	NLV	NLV	NLV	NLV	56 (S)	NLV	NLV	NLV	(K)	
Nonresidential Groundwater Volatilization to Indoor Air Inhalation (Nonres GVII) ²				35,000	ID	ID	2.10E+05	2.00E+05	1.7E+5 (S)	4.7E+7 (S)	ID	1.70E+05	5.3E+5 (S)	56,000 (S)	61,000 (S)	1.9E+5 (S)	Various	25,000 (S)	Various	NLV	NLV	NLV	NLV	NLV	NLV	56 (S)	NLV	NLV	NLV	(K)	
Screening Levels (µg/L)																															
Residential Groundwater Vapor Intrusion Screening Levels (GW _{VI-res}) ³				27	91	16	83	360	700	2.50E+05	92	94	36,000	1,700	1200	10,000	Various	940	Various	NL	NL	NL	NL	NL	NL	NL	ID	NL	NL	NL	520
Nonresidential Groundwater Vapor Intrusion Screening Levels (GW _{VI-nr}) ³				140	380	68	350	1,500	2600	1.00E+06	390	460	1.50E+05	7,300	5,100	10,000	Various	3,900	Various	NL	NL	NL	NL	NL	NL	NL	ID	NL	NL	NL	520
Water Solubility				1.75E+06	NA	NA	3.50E+06	6.30E+06	1.69E+05	4.68E+07	NA	2.00E+05	5.26E+05	56,000	61,000	1.86E+05	Various	25,000	Various	NA	NA	NA	NA	NA	NA	56	NA	NA	NA	NA	NA
Flammability and Explosivity Screening Level				68,000	ID	ID	5.30E+05	2.30E+05	43,000	ID	ID	ID	61,000	56,000 (S)	ID	70,000	Various	ID	Various	ID	ID	ID	ID	ID	ID	ID	ID	ID	ID	ID	28,000

- Applicable Criteria/RBSL Exceeded
- BOLD**

Value Exceeds Applicable Criteria
- bgs

Below Ground Surface (feet)
- MDL

Laboratory Method Detection Limit
- ²

Tier 1 GVII Criteria based on 3 meter (or greater) groundwater depth
- ³

(2013 Vapor Intrusion Guidance) Screening Levels based on depth to groundwater less than 3.0 meters and not in contact with building foundation
- NA/NL/ID

Not Applicable/Not Listed/Insufficient Data
- NLV

Not Likely to Volatilize
- {G}

Metal GSIP Criteria for Surface Water Not Protected for Drinking Water Use based on 418 mg/L CaCO3 Hardness: Station ID 630003, Rouge River, near Troy, MI
- *

Measured from a point approximately 10 feet below street elevation

TABLE 5
SUMMARY OF SOIL GAS ANALYTICAL RESULTS
VOCs AND METHANE
856 NORTH OLD WOODWARD AVENUE, BIRMINGHAM, MICHIGAN
PM PROJECT # 01-5889-0-0003

VOLATILE ORGANIC COMPOUNDS (VOCs) AND METHANE (ppbv)			Acetone	m-Dichlorobenzene	Ethylbenzene	4-Ethyltoluene	Heptane	Hexane	1,2,4-Trimethylbenzene	1,3,5-Trimethylbenzene	2,2,4-Trimethylpentane	Tetrachloroethylene	Toluene	Trichloroethylene	m,p-Xylene	o-Xylene	Xylenes (total)	Other VOCs	Methane
Chemical Abstract Service Number (CAS#)			67641	541731	100414	622968	142825	110543	95636	108678	540841	127184	108883	79016	1330207	95476	1330207	Various	74828
Sample ID	Sample Date	Sample Depth (feet bgs)	VOCs																Methane
SG-1	8/13/2015	5.5*	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	ND
SG-2	8/13/2015	4.5*	130.0	7.3	3.4	2.6	<0.80	<0.80	2.8	1.0	84.0	<0.16	23.0	<0.16	11.0	3.9	14.9	ND	NA
SG-3	8/13/2015	3.5	130.0	6.0	1.5	<0.80	<0.80	<0.80	2.2	<0.80	43.0	<0.16	11.0	<0.16	5.7	2.2	7.9	ND	ND
SG-4	8/13/2015	7.5	160.0	4.4	2.7	3.0	70.0	<0.80	3.5	0.8	24.0	580.0	14.0	8.1	11.0	3.9	14.9	ND	ND
SG-5	8/13/2015	3.5	110.0	2.8	2.7	2.1	<0.80	24.0	2.2	<0.80	200.0	590.0	18.0	7.9	9.3	3.2	12.5	ND	ND
SG-6	8/13/2015	5.5	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	A	NA	NA	ND
MDEQ Guidance Document For The Vapor Intrusion Pathway, Policy and Procedure Number: 09-017, Appendix D Vapor Intrusion Screening Values, May 2013																			
Residential Screening Levels (ppbv)																			
Vapor Intrusion Shallow Sub-Slab Soil Gas Screening Levels (≤ 1.5m bgs) (SG _{VI-SS})			82,000	16	640	NDC	28,000	6,600	1,500	1,500	25,000	170	44,000	12	760	760	760	Various	1.25E+04 (g)
Vapor Intrusion Deep Soil Gas Screening Levels (SG _{VI})			8.20E+05	160	6,400	NDC	2.80E+05	66,000	15,000	15,000	2.50E+05	1,700	4.40E+05	120	7,600	7,600	7,600	Various	1.25E+04 (g)
Nonresidential Screening Levels (ppbv)																			
Vapor Intrusion Shallow Sub-Slab Soil Gas Screening Levels (≤ 1.5m bgs) (SG _{VI-SS})			1.40E+06	280	13,000	NDC	4.70E+05	1.10E+05	25,000	25,000	4.20E+05	3,300	7.40E+05	210	13,000	13,000	13,000	Various	1.25E+04 (g)
Vapor Intrusion Deep Soil Gas Screening Levels (SG _{VI})			1.40E+07	2,800	1.30E+05	NDC	4.70E+06	1.10E+06	2.50E+05	2.50E+05	4.20E+06	33,000	7.40E+06	2,100	1.30E+05	1.30E+05	1.30E+05	Various	1.25E+04 (g)

- Applicable Criteria/RBSL Exceeded
- BOLD

Value Exceeds Applicable Criteria
- bgs

Below Ground Surface (feet)
- MDL

Laboratory Method Detection Limit (MDL)
- NA

Not Applicable
- NDC

"No Defined Criteria" by the Michigan Department of Environmental Quality (MDEQ)
- *

Measured from a point approximately 10 feet below street elevation

Appendix A



Boring Log .

Project No.: 01-5889-0-003

Boring No.: SB-7

Project Name: Vacant Land

Date Drilled: 5/26/2016

Facility ID#:

Drill Rig: 6712 DT

Logged By: JC

Sampling Method: 2 1/4"MC

SUBSURFACE PROFILE			SAMPLE			No Well Installed
Depth (ft.)	Boring Profile	Description and Comments	Sample # Depth	Blow Counts	PID (ppm)	
0		Ground Surface				
		ASPHALT		-	0.0	
		SP- (Loose) SAND (moist) Brown, fine, trace gravel		-	0.0	
2				-	0.0	
		SC- (Medium Dense) CLAYEY SAND (moist) Brown, fine		-	0.0	
4				-	0.0	
		CL- (Medium Stiff) CLAY (moist) Brown	SS-1 5.0 - 6.0'	-	0.0	
6				-	0.0	
				-	0.0	
8				-	0.0	
		SM- (Medium Dense) SILTY SAND (moist) Brown, fine	SS-2 9.5 - 10.5'	-	0.0	
10				-	0.0	
		CL- (Medium Stiff) CLAY (moist) Gray		-	0.0	
12				-	0.0	
			SS-3 13.0 - 14.0'	-	0.0	
14				-	0.0	
				-	0.0	
16				-	0.0	
				-	0.0	
18				-	0.0	
				-	0.0	
20						

Completion Notes: EOB @ 20' bgs. Hole filled with soil cuttings and bentonite.

- The indicated stratification lines are approximate in situ.
The transitions between materials may be gradual.
- Boring backfilled with natural soils unless otherwise noted.



Boring Log .

Project No.: 01-5889-0-003

Boring No.: SB-8

Project Name: Vacant Land

Date Drilled: 5/26/2016

Facility ID#:

Drill Rig: 6712 DT

Logged By: JC

Sampling Method: 2 1/4"MC

SUBSURFACE PROFILE			SAMPLE			No Well Installed
Depth (ft.)	Boring Profile	Description and Comments	Sample # Depth	Blow Counts	PID (ppm)	
0		Ground Surface				
		ASPHALT				
		SC- (Medium Dense) CLAYEY SAND (moist)		-	0.0	
		Brown/Gray, fine, (with glass/gravel 1 - 5' bgs)		-	0.0	
2				-	0.0	
				-	0.7	
4				-	2.9	
				-	6.2	
6				-	13.5	
				-	7.2	
8			SS-1	-	17.0	
		CL- (Medium Stiff) CLAY (moist)	8.0 - 9.0'	-	12.6	
		Gray		-	8.1	
10				-	6.4	
				-	2.7	
12				-	0.9	
				-	0.4	
14			SS-2	-	0.2	
			15.0 - 16.0'			
16		REFUSAL @ 16' bgs				

Completion Notes: EOB @ 16' bgs. Hole filled with soil cuttings and bentonite.

- The indicated stratification lines are approximate in situ.
The transitions between materials may be gradual.
- Boring backfilled with natural soils unless otherwise noted.



Boring Log .

Project No.: 01-5889-0-003

Boring No.: SB-9

Project Name: Vacant Land

Date Drilled: 5/26/2016

Facility ID#:

Drill Rig: 6712 DT

Logged By: JC

Sampling Method: 2 1/4"MC

SUBSURFACE PROFILE			SAMPLE			No Well Installed
Depth (ft.)	Boring Profile	Description and Comments	Sample # Depth	Blow Counts	PID (ppm)	
0		Ground Surface				
		ASPHALT		-	0.0	
		SP- (Loose) SAND (moist) Brown, fine, (with gravel and construction debris 0 - 9.5' bgs)		-	0.0	
2				-	0.0	
				-	0.0	
4			SS-1 4.0 - 5.0'	-	0.0	
				-	0.0	
6				-	0.0	
				-	0.0	
8				-	0.0	
				-	0.0	
10		SM- (Medium Dense) SILTY SAND (moist) Brown, fine, (with construction debris)	SS-2 10.0 - 11.0'	-	0.0	
		CL- (Stiff) CLAY (moist) Brown		-	0.0	
12				-	0.0	
				-	0.0	
14		CL- (Soft) CLAY (moist) Gray/Brown	SS-3 14.0 - 15.0'	-	0.0	
				-	0.0	
16				-	0.0	
				-	0.0	
18				-	0.0	
				-	0.0	
20						

Completion Notes: EOB @ 20' bgs. Hole filled with soil cuttings and bentonite.

- The indicated stratification lines are approximate in situ.
The transitions between materials may be gradual.
- Boring backfilled with natural soils unless otherwise noted.



Project No.: 01-5889-0-003

Project Name: Vacant Land

Facility ID#:

Logged By: JC

Boring Log .

Boring No.: SB-10

Date Drilled: 5/26/2016

Drill Rig: 6712 DT

Sampling Method: 2 1/4"MC

SUBSURFACE PROFILE			SAMPLE			No Well Installed
Depth (ft.)	Boring Profile	Description and Comments	Sample # Depth	Blow Counts	PID (ppm)	
0		Ground Surface				
		GRASS/TOP SOIL		-	0.0	
		SC- (Medium Dense) CLAYEY SAND (moist)		-	0.0	
2		Brown/Gray, fine (with gravel and construction debris)		-	0.0	
				-	0.0	
4			SS-1 4.0 - 5.0'	-	0.0	
				-	0.0	
6		SP- (Loose) SAND (moist)		-	0.0	
		Brown, fine (with gravel and construction debris), black staining 10-11' bgs.		-	0.0	
8				-	0.0	
				-	0.0	
10			SS-2 10.0 - 11.0'	-	0.0	
				-	0.0	
12				-	0.0	
				-	0.0	
14				-	0.0	
				-	0.0	
16			SS-3 16.5 - 17.5'	-	0.0	
		CL- (Medium Stiff) CLAY (moist)		-	0.0	
18		Brown		-	0.0	
				-	0.0	
20				-	0.0	

Completion Notes: EOB @ 20' bgs. Hole filled with soil cuttings and bentonite.

- The indicated stratification lines are approximate in situ.
The transitions between materials may be gradual.
- Boring backfilled with natural soils unless otherwise noted.



Well Log .

Project No.: 01-5889-0-003

Well No.: SB/TMW-11

Project Name: Vacant Land

Date Drilled: 5/26/2016

Facility ID#:

Drill Rig: 6712 DT

Logged By: JC

Sampling Method: 2 1/4"MC

SUBSURFACE PROFILE			SAMPLE			Groundwater Well Completion Details
Depth (ft.)	Boring Profile	Description and Comments	Sample # Depth	Blow Counts	PID (ppm)	
0		Ground Surface				<p>1" PVC Casing</p> <p>1" 10-Slot PVC Screen</p> <p>Ground Surface</p> <p>Approximate Water Level (16.19')</p> <p>18.06'</p>
		GRASS/TOP SOIL		-	0.0	
		SP- (Loose) SAND (moist) Brown, fine (with construction debris, gravel and concrete 3.5 - 4' bgs), black staining 3-3.5' and 8-11' bgs.		-	0.0	
2				-	0.0	
			SS-1 2.5 - 3.5'	-	0.0	
				-	0.0	
4				-	0.0	
				-	0.0	
6				-	0.0	
				-	0.0	
8				-	0.0	
				-	0.0	
10				-	0.0	
			SS-2 10.0 - 11.0'	-	0.0	
				-	0.0	
12		SM- (Medium Dense) SILTY SAND (moist) Brown, fine (with construction debris 11.5 - 12' bgs)		-	0.0	
		SP- (Loose) SAND (moist) Brown, fine, trace gravel		-	0.0	
14				-	0.0	
				-	0.0	
16		SP- (Loose) SAND (saturated) Brown, fine, trace gravel		-	0.0	
				-	0.0	
18		REFUSAL @ 18' bgs				

Completion Notes: EOB @ 18' bgs. Hole filled with soil cuttings and bentonite.

- The indicated stratification lines are approximate in situ. The transitions between materials may be gradual.
- Boring backfilled with natural soils unless otherwise noted



Project No.: 01-5889-0-003

Project Name: Vacant Land

Facility ID#:

Logged By: JC

Boring Log .

Boring No.: SB-12

Date Drilled: 5/26/2016

Drill Rig: 6712 DT

Sampling Method: 2 1/4"MC

SUBSURFACE PROFILE			SAMPLE		No Well Installed
Depth (ft.)	Boring Profile	Description and Comments	Sample # Depth	Blow Counts PID (ppm)	
0		Ground Surface			
		ASPHALT		- 0.0	
		SC- (Medium Dense) CLAYEY SAND (moist)		- 0.0	
2		Brown, fine		- 0.0	
				- 0.0	
				- 0.0	
4				- 0.0	
				- 0.0	
			SS-1	- 0.0	
6		CL- (Medium Stiff) CLAY (moist)	5.5 - 6.5'	- 0.0	
		Brown/Gray		- 0.0	
		SC- (Medium Dense) CLAYEY SAND (moist)		- 0.0	
8		Brown, fine		- 0.0	
				- 0.0	
10		SM- (Medium Dense) SILTY SAND (moist)		- 0.0	
		Brown, fine	SS-2	- 0.0	
		CL- (Medium Stiff) CLAY (moist)	10.5 - 11.5'	- 0.0	
12		Gray		- 0.0	
				- 0.0	
			SS-3	- 0.0	
14			13.0 - 14.0'	- 0.0	
				- 0.0	
				- 0.0	
16				- 0.0	
				- 0.0	
18				- 0.0	
				- 0.0	
20				- 0.0	

Completion Notes: EOB @ 20' bgs. Hole filled with soil cuttings and bentonite.

1. The indicated stratification lines are approximate in situ.
The transitions between materials may be gradual.
2. Boring backfilled with natural soils unless otherwise noted.



Well Log .

Project No.: 01-5889-0-003

Well No.: SB/TMW-13

Project Name: Vacant Land

Date Drilled: 5/26/2016

Facility ID#:

Drill Rig: 6712 DT

Logged By: JC

Sampling Method: 2 1/4"MC

SUBSURFACE PROFILE			SAMPLE			Groundwater Well Completion Details
Depth (ft.)	Boring Profile	Description and Comments	Sample # Depth	Blow Counts	PID (ppm)	
0		Ground Surface				<p>1" PVC Casing</p> <p>1" 10-Slot PVC Screen</p> <p>Ground Surface</p> <p>Approximate Water Level (5.93')</p> <p>3.74'</p> <p>8.74'</p>
		GRASS/TOP SOIL				
		SP- (Loose) SAND (moist) Brown, fine, trace gravel		-	0.0	
				-	0.0	
2			SS-1 2.0 - 3.0'	-	0.0	
				-	0.0	
4				-	0.0	
			SS-2 5.0 - 6.0'	-	0.0	
6		SP- (Loose) SAND (saturated) Brown, fine, trace gravel		-	0.0	
				-	0.0	
8		CL- (Soft) CLAY (moist) Gray		-	0.0	<p>NOTE: MEASUREMENTS FROM 10 FEET BELOW STREET ELEVATION</p>
				-	0.0	
10		SM- (Medium Dense) SILTY SAND (moist) Brown, fine		-	0.0	

Completion Notes: EOB @ 10' bgs. Hole filled with soil cuttings and bentonite.

- The indicated stratification lines are approximate in situ. The transitions between materials may be gradual.
- Boring backfilled with natural soils unless otherwise noted



Boring Log .

Project No.: 01-5889-0-003

Boring No.: SB-14

Project Name: Vacant Land

Date Drilled: 5/26/2016

Facility ID#:

Drill Rig: 6712 DT

Logged By: JC

Sampling Method: 2 1/4"MC

SUBSURFACE PROFILE			SAMPLE			No Well Installed
Depth (ft.)	Boring Profile	Description and Comments	Sample # Depth	Blow Counts	PID (ppm)	
0		Ground Surface				
		GRASS/TOP SOIL				
		SC- (Medium Dense) CLAYEY SAND (moist) Brown, fine, black staining 1.5 - 2.5' bgs		-	0.0	
				-	0.0	
2			SS-1 2.0 - 3.0'	-	0.0	
				-	0.0	
4				-	0.0	
				-	0.0	
6			SS-2 6.0 - 7.0'	-	0.0	
		CL- (Stiff) CLAY (moist) Gray		-	0.0	
8				-	0.0	
				-	0.0	
10				-	0.0	

NOTE: MEASUREMENTS
FROM 10 FEET BELOW
STREET ELEVATION

Completion Notes: EOB @ 10' bgs. Hole filled with soil cuttings and bentonite.

- The indicated stratification lines are approximate in situ.
The transitions between materials may be gradual.
- Boring backfilled with natural soils unless otherwise noted.



Boring Log .

Project No.: 01-5889-0-003

Boring No.: SB-15

Project Name: Vacant Land

Date Drilled: 5/26/2016

Facility ID#:

Drill Rig: 6712 DT

Logged By: JC

Sampling Method: 2 1/4"MC

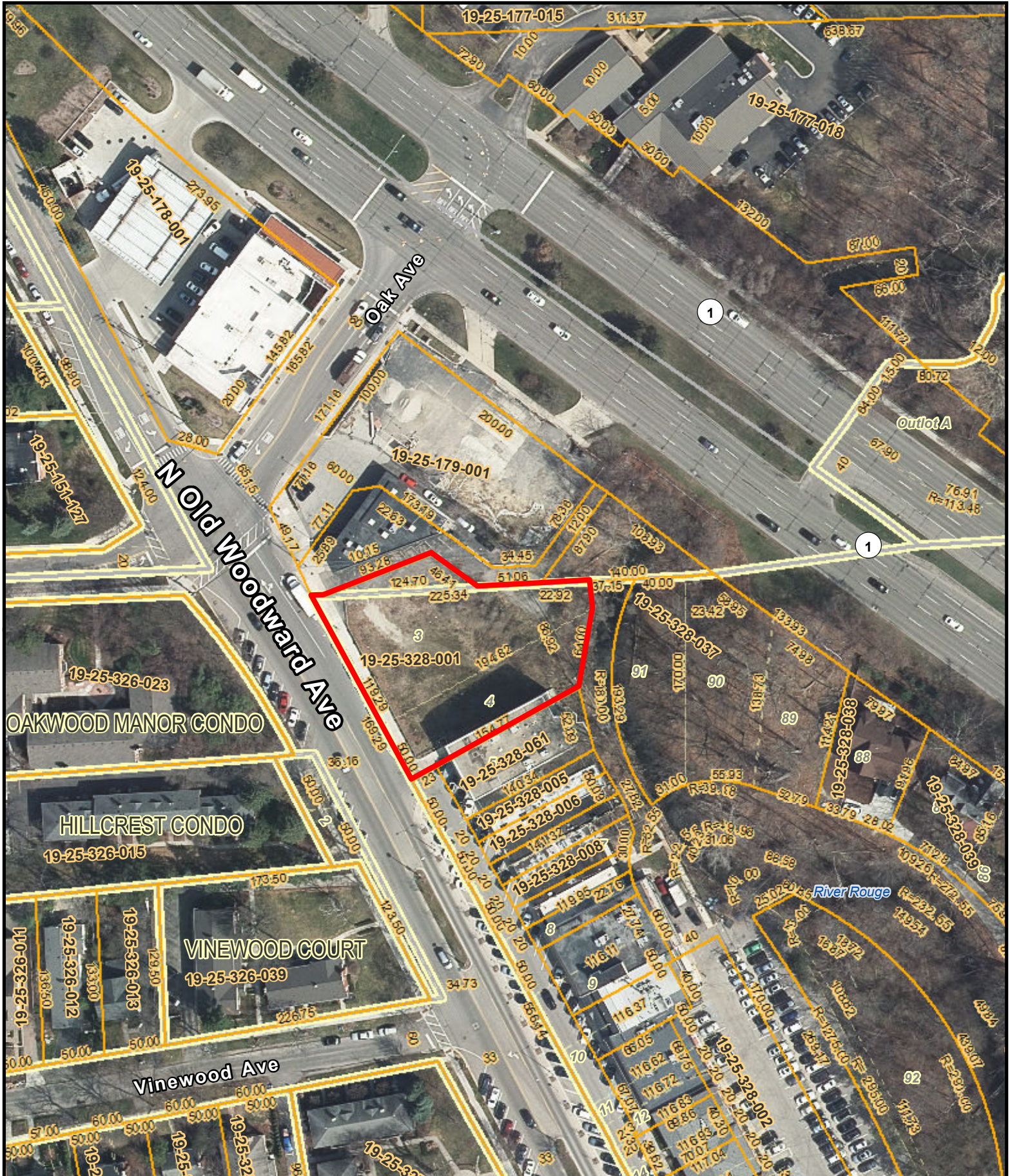
SUBSURFACE PROFILE			SAMPLE			No Well Installed
Depth (ft.)	Boring Profile	Description and Comments	Sample # Depth	Blow Counts	PID (ppm)	
0		Ground Surface				
		GRASS/TOP SOIL				
		SC- (Medium Dense) CLAYEY SAND (moist) Brown, fine		-	0.0	
				-	0.0	
2			SS-1 2.0 - 3.0'	-	0.0	
				-	0.0	
4				-	0.0	
				-	0.0	
6		CL- (Medium Stiff) CLAY (moist) Brown (construction debris 7 - 8')		-	0.0	
				-	0.0	
			SS-2 7.0 - 8.0'	-	0.0	NOTE: MEASUREMENTS FROM 10 FEET BELOW STREET ELEVATION
8		CL- (Soft) CLAY (moist) Gray		-	0.0	
				-	0.0	
10						

Completion Notes: EOB @ 10' bgs. Hole filled with soil cuttings and bentonite.

- The indicated stratification lines are approximate in situ.
The transitions between materials may be gradual.
- Boring backfilled with natural soils unless otherwise noted.

Appendix C

Assessors Map



Disclaimer: The information provided herewith has been compiled from recorded deeds, plats, tax maps, surveys and other public records. It is not a legally recorded map or survey and is not intended to be used as one. Users should consult the information sources mentioned above when questions arise. FEMA Floodplain data may not always be present on the map.

OAKLAND COUNTY
Economic Development & Community Affairs
L. Brooks Patterson
Oakland County Executive

Date Created: 4/20/2016
NORTH
1 inch = 100 feet

Appendix D



SOURCE: USGS MAPS

LOCATION MAP

SCALE: 1" = 2,000'±



SOURCE: GOOGLE EARTH PRO

AERIAL MAP

SCALE: 1" = 100'±

PLAN REFERENCE MATERIALS:

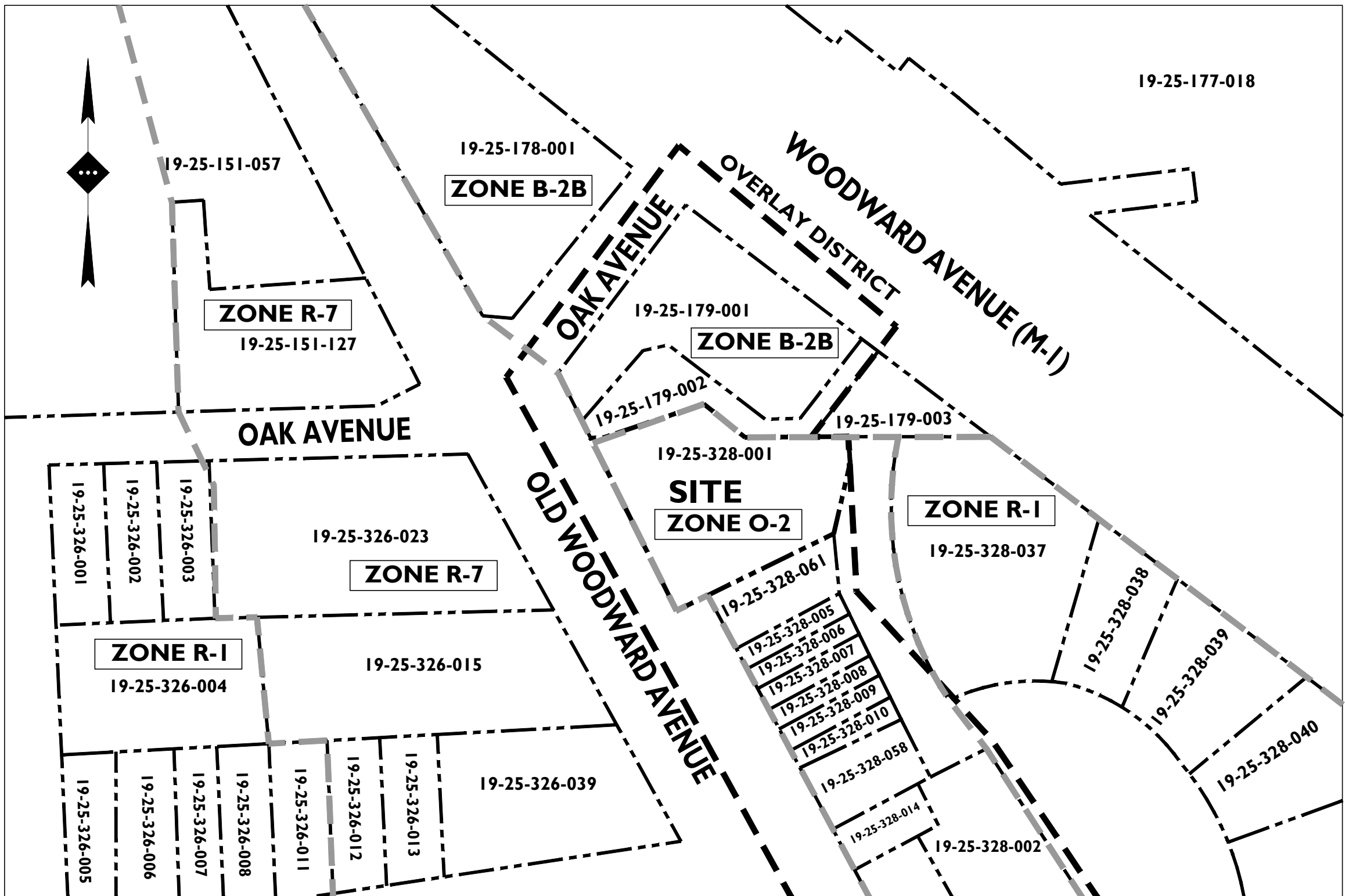
- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - ALTA/ACSM & TOPOGRAPHIC SURVEY PREPARED BY KEM-TEC ASSOCIATES, LAST REVISED 11/05/2015.
 - ARCHITECTURAL PLANS PREPARED BY MARUSICH ARCHITECTURE
 - GEOTECHNICAL REPORT PREPARED BY G2 CONSULTING GROUP
 - TRAFFIC REPORT PREPARED BY STONEFIELD ENGINEERING & DESIGN, LLC
 - BASELINE ENVIRONMENTAL ASSESSMENT PREPARED BY PM ENVIRONMENTAL
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO
 - ZONING MAP OBTAINED FROM THE CITY OF BIRMINGHAM ZONING MAP & OAKLAND COUNTY PROPERTY VIEWER
 - LOCATION MAP OBTAINED FROM USGS MAPS ONLINE
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



Know what's below
Call before you dig.

SITE DEVELOPMENT PLANS FOR 856 OLD NORTH WOODWARD PROPOSED 4 STORY MULTI-FAMILY BUILDING WITH RETAIL

PARCEL ID: 19-25-328-001
856 NORTH OLD WOODWARD AVENUE
CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN

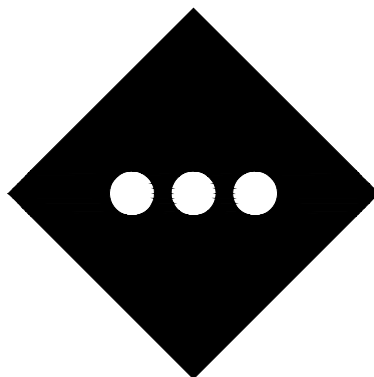


SOURCE: BIRMINGHAM ZONING MAPS & OAKLAND COUNTY PROPERTY GATEWAY

ZONING MAP

SCALE: 1" = 100'±

PLANS PREPARED BY:



STONEFIELD
engineering & design, llc.

Bloomfield Hills, MI · Rutherford, NJ · Farmingdale, NY
www.stonefieldeng.com

2350 Franklin Road, Suite 210, Bloomfield Hills, MI 48302
Phone 248.247.1115

APPLICANT/OWNER

FLS PROPERTIES #5, LLC
2950 WALNUT LAKE ROAD
WEST BLOOMFIELD, MICHIGAN 48323

SURVEYOR

KEM-TEC ASSOCIATES
22556 GRATIOT AVENUE
EASTPOINTE, MICHIGAN 48021

REVISION	DATE	BY	DESCRIPTION
5	04/12/2016	JAM	REVISED PER CITY COMMENTS & ZONING BOARD SUBMISSION
4	03/10/2016	JAM	REVISED PER CITY COMMENTS & ZONING BOARD SUBMISSION
3	02/17/2016	JAM	REVISED PER CITY COMMENTS
2	01/06/2016	JAM	REVISED PER CITY REVIEW LETTER COMMENTS
1	11/11/2015	JAM	SUBMISSION FOR PRELIMINARY SITE PLAN APPROVAL

NOT APPROVED FOR CONSTRUCTION

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2350 Franklin Road, Suite 210, Bloomfield Hills, MI 48302
Phone 248.247.1115

856 OLD NORTH WOODWARD
PROPOSED 4 STORY MULTI-FAMILY
BUILDING WITH RETAIL

PARCEL ID: 19-25-328-001
856 NORTH OLD WOODWARD ROAD
CITY OF BIRMINGHAM
OAKLAND COUNTY, MICHIGAN

MICHIGAN LICENSE No. 6201061061
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design, llc.

SCALE: AS SHOWN PROJECT ID: M-15120

TITLE:
COVER SHEET

DRAWING:
C-1

SHEET INDEX	
DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
FIRST FLOOR SITE PLAN	C-3
GRADING PLAN	C-4
UTILITY PLAN	C-5
SOIL EROSION & SEDIMENT CONTROL PLAN	C-6

V:\PROJECTS\15124\BRT-TEC\856 N. OLD WOODWARD, BIRMINGHAM, MICHIGAN\LOT20P-856NOT.DWG

PARCEL AREA

24719± SQUARE FEET = 0.57± ACRES

BASIS OF BEARING

SOUTH 23°57'44" EAST, BEING THE NORTHERLY RIGHT OF WAY LINE OF N. OLD WOODWARD AVENUE.

BENCHMARK

NORTHWEST BOLT OF STREET LIGHT, LOCATED ON THE EASTERLY SIDE OF N. OLD WOODWARD AVENUE. ELEVATION = 756.31' (CITY OF BIRMINGHAM DATUM)

FLOOD NOTE

SUBJECT PARCEL LIES WITHIN:

SPECIAL FLOOD HAZARD AREA (ZONE AE): BASE FLOOD ELEVATIONS DETERMINED.

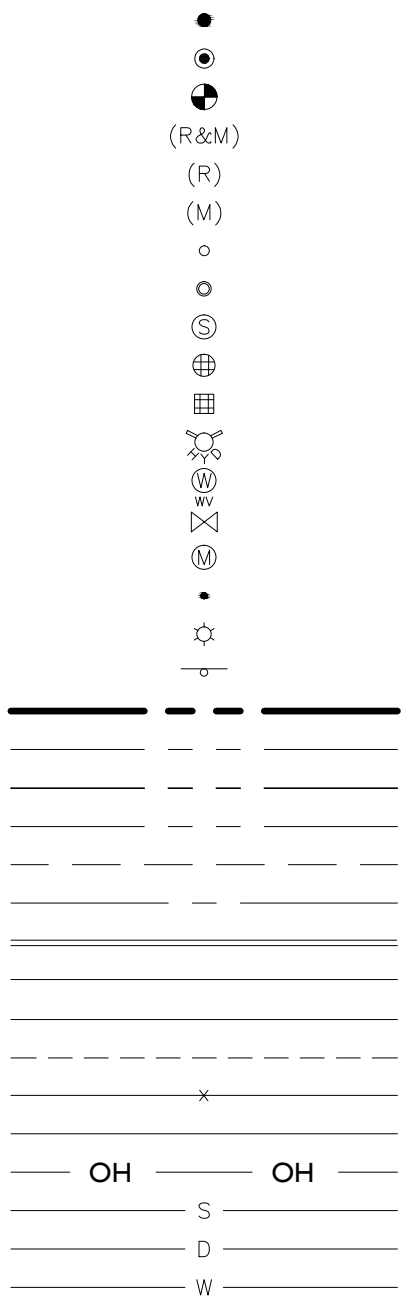
FLOODWAY AREAS IN ZONE AE: THE FLOODWAY IS THE CHANNEL OF A STREAM PLUS ANY ADJACENT FLOODPLAIN AREAS THAT MUST BE KEPT FREE OF ENCRoACHMENT SO THAT THE 1% ANNUAL CHANCE FLOOD CAN BE CARRIED WITHOUT SUBSTANTIAL INCREASES IN FLOOD HEIGHTS.

ZONE X: AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

AS SHOWN ON FLOOD INSURANCE RATE MAP: MAP NUMBER 26125C0537F, COMMUNITY - PANEL NUMBER 260168 0537 F, DATED SEPTEMBER 29, 2006, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.



SYMBOL



DESCRIPTION

SET 1/2" REBAR WITH CAP P.S. 47976
FOUND MONUMENT (AS NOTED)
FOUND SECTION CORNER (AS NOTED)
RECORD AND MEASURED DIMENSION
RECORD DIMENSION
MEASURED DIMENSION
UTILITY POLE
GAS LINE MARKER
SANITARY MANHOLE
ROUND CATCH BASIN
SQUARE CATCH BASIN
FIRE HYDRANT
WATER GATE MANHOLE
WATER VALVE
UNKNOWN MANHOLE
BOLLARD
LIGHTPOST/LAMP POST
SINGLE POST SIGN
PARCEL BOUNDARY LINE
PLATTED LOT LINE
ADJOINER PARCEL LINE
SECTION LINE
EASEMENT (AS NOTED)
EASEMENT CENTERLINE
CONCRETE CURB
EDGE OF CONCRETE (CONC.)
EDGE OF ASPHALT (ASPH.)
EDGE OF GRAVEL
FENCE (AS NOTED)
WALL (AS NOTED)
OVERHEAD UTILITY LINE
SANITARY LINE
STORM LINE
WATER LINE

PROPERTY DESCRIPTION

LAND SITUATED IN THE CITY OF BIRMINGHAM, COUNTY OF OAKLAND, STATE OF MICHIGAN IS DESCRIBED AS FOLLOWS:

LOTS 3 AND 4, ASSESSOR'S PLAT No. 29 AS RECORDED IN LIBER 6, PAGE 45 OF PLATS, OAKLAND COUNTY RECORDS. ALSO PART OF THE NORTHWEST 1/4 OF SECTION 25, TOWN 2 NORTH, RANGE 10 EAST, CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT A POINT DISTANT SOUTH 88 DEGREES 16 MINUTES 00 SECONDS EAST 10.15 FEET FROM THE NORTHWEST CORNER OF SAID LOT 3; THENCE SOUTH 88 DEGREES 16 MINUTES 00 SECONDS EAST 124.70 FEET; THENCE NORTH 49 DEGREES 21 MINUTES 00 SECONDS WEST 44.11 FEET; THENCE SOUTH 73 DEGREES 32 MINUTES 00 SECONDS WEST 93.28 FEET TO BEGINNING.

TITLE REPORT NOTE

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE LAND TITLE AGENCY, LLC COMMITMENT No. 201523630, DATED MAY 25, 2015, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.

5. TERMS AND CONDITIONS OF EASEMENT AGREEMENT AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 43760, PAGE(i) 251, OAKLAND COUNTY RECORDS. (AS SHOWN)

6. TERMS AND CONDITIONS OF AGREEMENT RESPECTING LAND AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 42730, PAGE(i) 32, OAKLAND COUNTY RECORDS. (AS SHOWN, SEE DOCUMENT FOR TERMS AND CONDITIONS)

7. BUILDING AND USE RESTRICTIONS AND OTHER PROVISIONS, BUT OMITTING RESTRICTIONS, IF ANY, BASED ON RACE, COLOR, RELIGION OR NATIONAL ORIGIN, AS CONTAINED IN THE INSTRUMENT RECORDED IN LIBER 3890, PAGE(i) 335, OAKLAND COUNTY RECORDS, WHICH APPLY SPECIFICALLY TO OTHER LANDS BUT MAY CONSTITUTE A GENERAL PLAN OF DEVELOPMENT. (DOCUMENT NOT PROVIDED AT TIME OF SURVEY)

SURVEYOR'S CERTIFICATION

TO FLS PROPERTIES #5, LLC, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY AND LAND TITLE AGENCY, LLC:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDED ITEMS 1, 2, 4, 5, 7A, 8, 9 AND 11B OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 21, 2015.

DATE OF PLAT OR MAP: AUGUST 25, 2015

SURVEY NOTES:

1. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

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www.stonefielddesign.com

2350 Franklin Road, Suite 210, Bloomfield Hills, MI 48302
Phone 248.247.1115

856 OLD NORTH WOODWARD
PROPOSED 4 STORY MULTI-FAMILY BUILDING WITH RETAIL

PARCEL ID: 19-25-328-061
856 NORTH OLD WOODWARD ROAD
CITY OF BIRMINGHAM
OAKLAND COUNTY, MICHIGAN

MICHIGAN LICENSE No. 6201061061
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design, llc.

SCALE: 1" = 20' PROJECT ID: M-15120

TITLE:
EXISTING CONDITIONS PLAN

DRAWING:

C-2



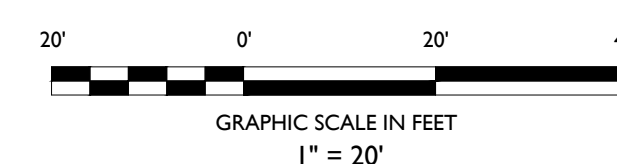
(V) VARIANCE
* THE NORTHERN ADJACENT BUILDING PROVIDES A 12.8 FT REAR YARD SETBACK PER § 3.04(B)

(V) VARIANCE



1. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND DOCUMENTS SHOWING ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, INC. PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY THE CITY OF STONEFIELD, MAINTAIN THE EXISTING UTILITIES AND DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEYS FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO THE CITY OF STONEFIELD, MAINTAIN THE EXISTING UTILITIES, CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, INC.
5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DAMAGE TO OR ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDETERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE.
8. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS TO STONEFIELD ENGINEERING & DESIGN, INC. PRIOR TO THE START OF THE SUBMITTALS IN ACCORDANCE WITH THE RESULT INTENT AS REFLECTED WITHIN THE PLAN SET.
9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE STATE AND LOCAL AUTHORITY. THE CONTRACTOR IS RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
11. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY OFFICER WITH THE CONTRACTOR AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT MEAN THE CONTRACTOR IS NOT RESPONSIBLE FOR THE MEANS AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

(V) VARIANCE

[illegible]

NOT APPROVED FOR CONSTRUCTION

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Phone 248.247.1115

PARCEL ID: 19-25-328-001
856 NORTH OLD WOODWARD ROAD
CITY OF BIRMINGHAM
OAKLAND COUNTY, MICHIGAN

SITE DEVELOPMENT PLANS

**856 OLD NORTH WOODWARD
PROPOSED 4 STORY MULTI-FAMILY
BUILDING WITH RETAIL**

MICHIGAN LICENSE No. 6201061061
LICENSED PROFESSIONAL ENGINEER



STONEFIELD
engineering & design, llc.

SCALE:	1" = 20'	PROJECT ID: M-15120
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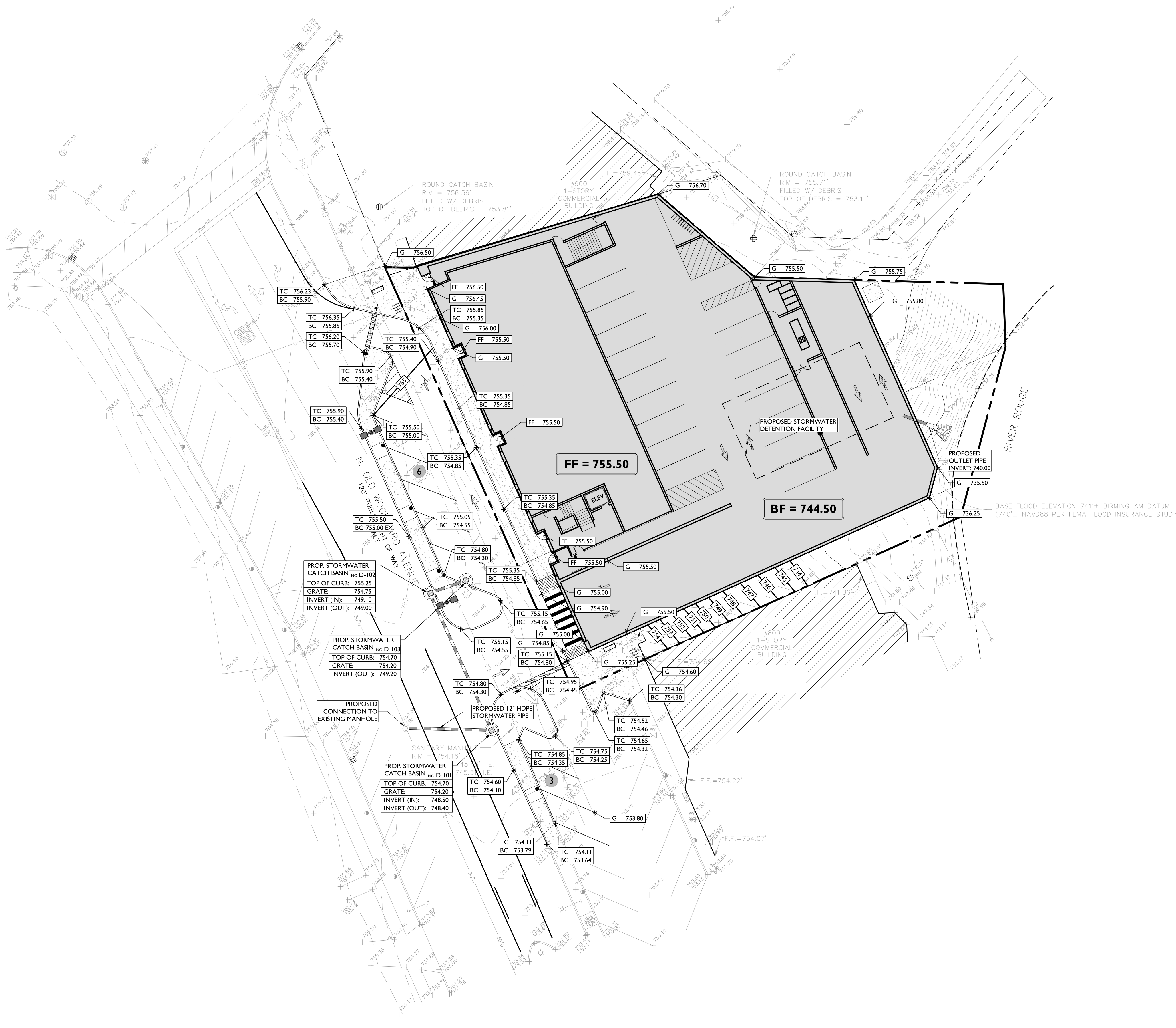
TITLE:

FIRST FLOOR SITE PLAN

DRAWING:

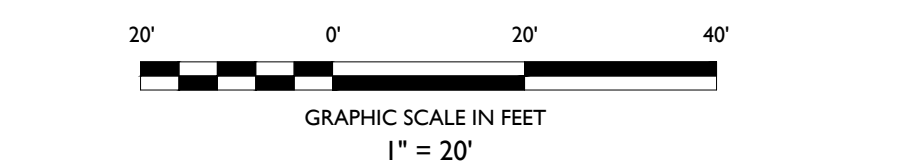
C-3

V:\PROJECTS\151324-856-TEC-856-N. OLD WOODWARD, BIRMINGHAM, MICHIGAN\OUTTOP-GRAD.DWG



SYMBOL	DESCRIPTION
	PROPERTY LINE
	PROPOSED GRADING CONTOUR
	PROPOSED GRADING RIDGELINE
	PROPOSED DIRECTION OF DRAINAGE FLOW
	PROPOSED GRADE SPOT SHOT
	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
	PROPOSED FLUSH CURB SPOT SHOT
	PROPOSED DEPRESSED CURB / BOTTOM OF CURB SPOT SHOT
	PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
 - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
 - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
 - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IF THIS CONDITION CANNOT BE MET. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.
- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
 - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALKUP PATH, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL, THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL, WHERE PROVIDED. CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
 - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30\"/>



			REVISED PER CITY COMMENTS & ZONING BOARD SUBMISSION	REVISED PER CITY COMMENTS & ZONING BOARD SUBMISSION	REVISED PER CITY COMMENTS	REVISED PER CITY REVW LETTER COMMENTS	SUBMISSION FOR PRELIMINARY SITE PLAN APPROVAL		
			JAM	JAM	JAM	JAM	JAM	BY	
			04/12/2016	03/10/2016	02/17/2016	01/06/2016	11/11/2015	DATE	
			5	4	3	2	1	ISSUE	

NOT APPROVED FOR CONSTRUCTION

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Phone 248.247.1115

SITE DEVELOPMENT PLANS

856 OLD NORTH WOODWARD
PROPOSED 4 STORY MULTI-FAMILY
BUILDING WITH RETAIL

PARCEL ID: 19-35-378-001
856 NORTH OLD WOODWARD ROAD
CITY OF BIRMINGHAM
OAKLAND COUNTY, MICHIGAN

MICHIGAN LICENSE NO. 6201061061
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design, llc.

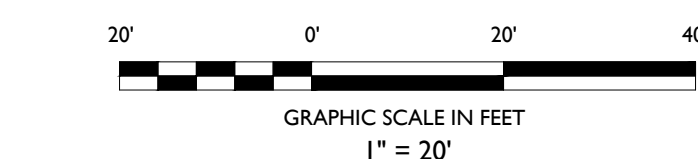
SCALE: 1" = 20' PROJECT ID: M-15120

TITLE: GRADING PLAN

DRAWING: C-4



NOT TO SCALE



DRAINAGE AND UTILITY NOTES

1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO MARK THE WORKING AREA AND THE LOCATION OF ALL UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY.
2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES OCCURRING DURING CONSTRUCTION WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF ANY SEWER ENCROACHMENT OR INTERFERENCE WITH ANY WATER LINE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY LINES BY A MINIMUM OF 18 INCHES. IF ANY SEWER ENCROACHMENT SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
6. THE CONTRACTOR SHALL CONDUCT TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE CITY OF GAITHERSBURG.
8. THE CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADIENT.
9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF THE EXISTING UTILITIES AND THE PROPOSED LOCATIONS THAT HAVE BEEN CANCELLED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

NOT APPROVED FOR CONSTRUCTION

PARCEL ID: 19-25-328-001
856 NORTH OLD WOODWARD ROAD
CITY OF BIRMINGHAM
OAKLAND COUNTY, MICHIGAN

MICHIGAN LICENSE No. 620106106
LICENSED PROFESSIONAL ENGINEER



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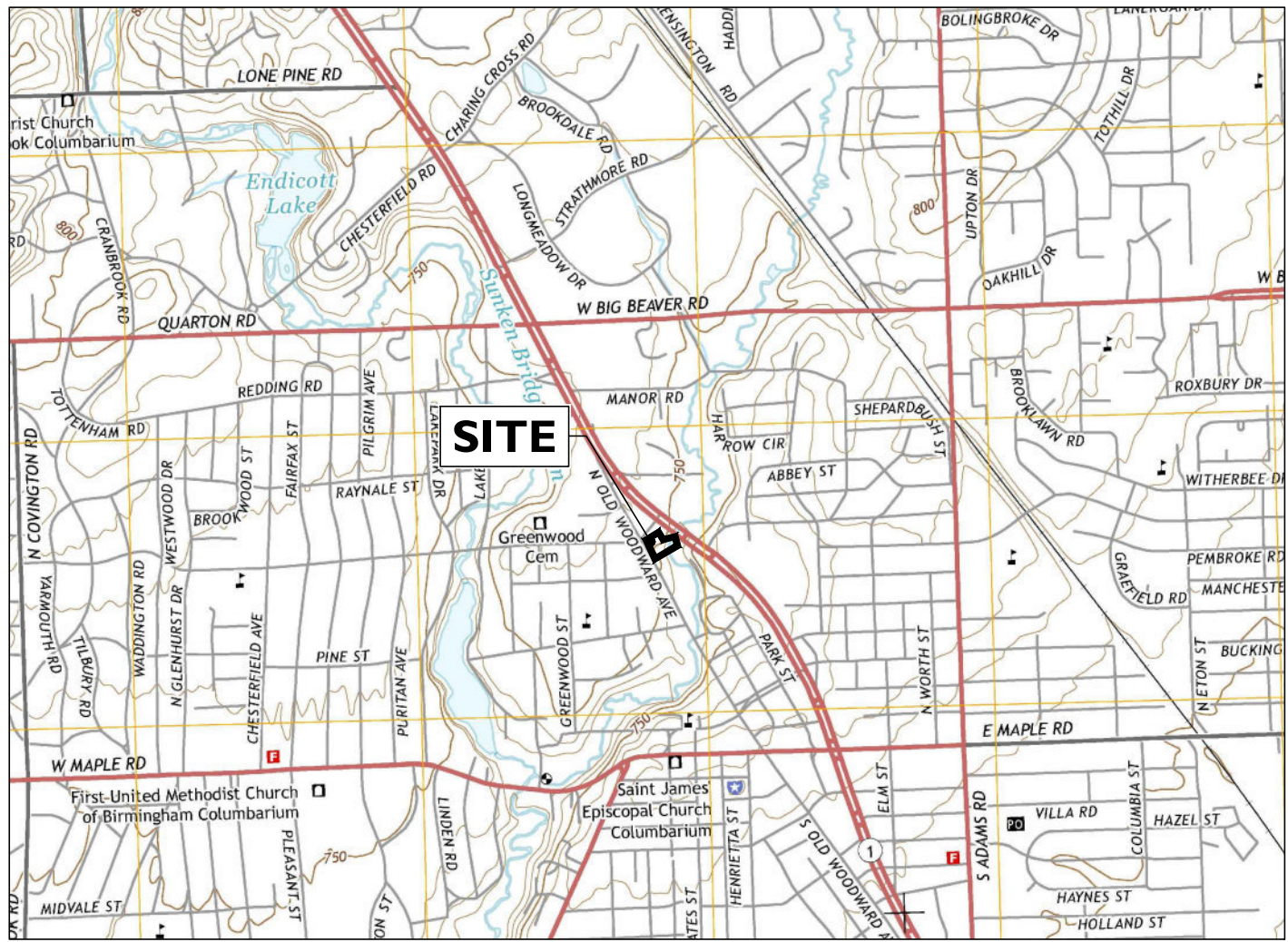
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TITLE:

UTILITY PLAN

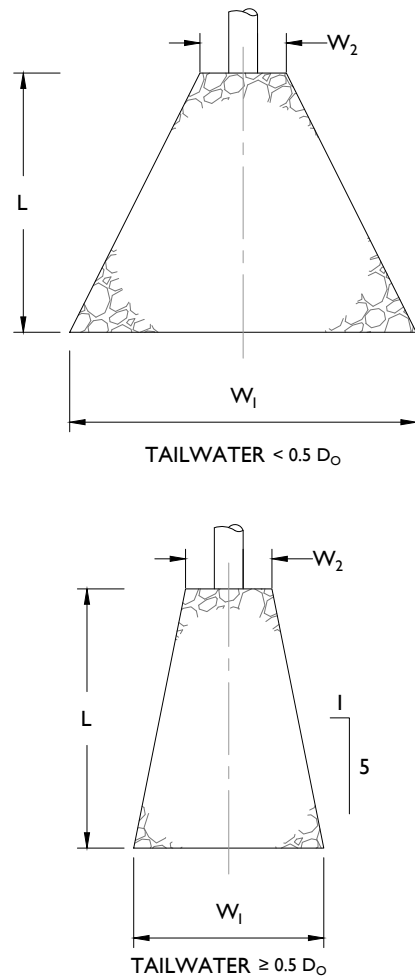
DRAWING

C-5



LOCATION MAP

SCALE: 1" = 2000'±

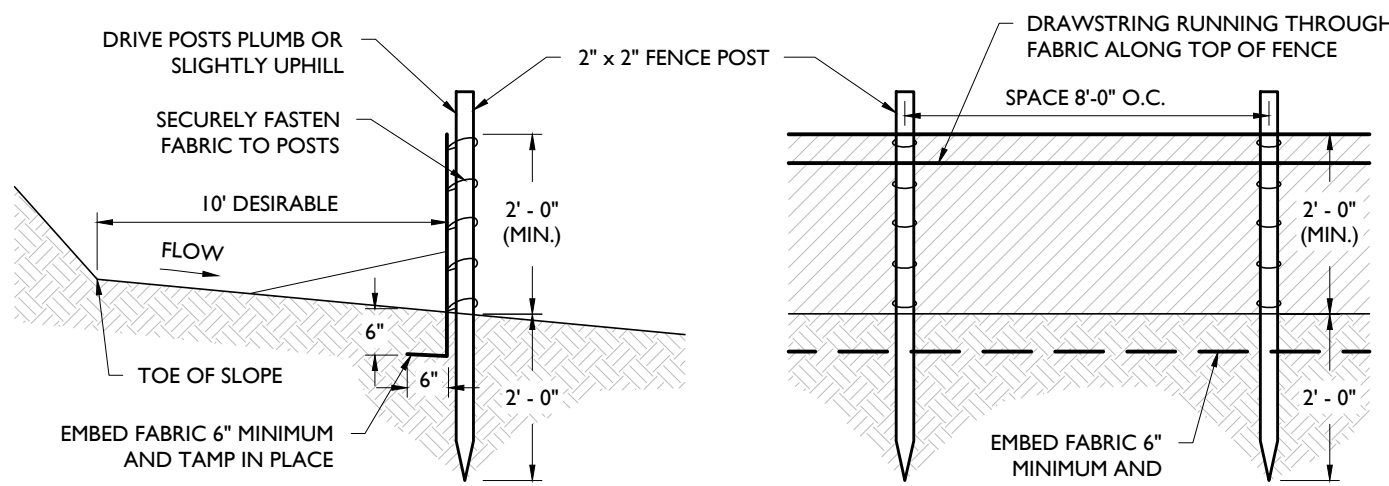
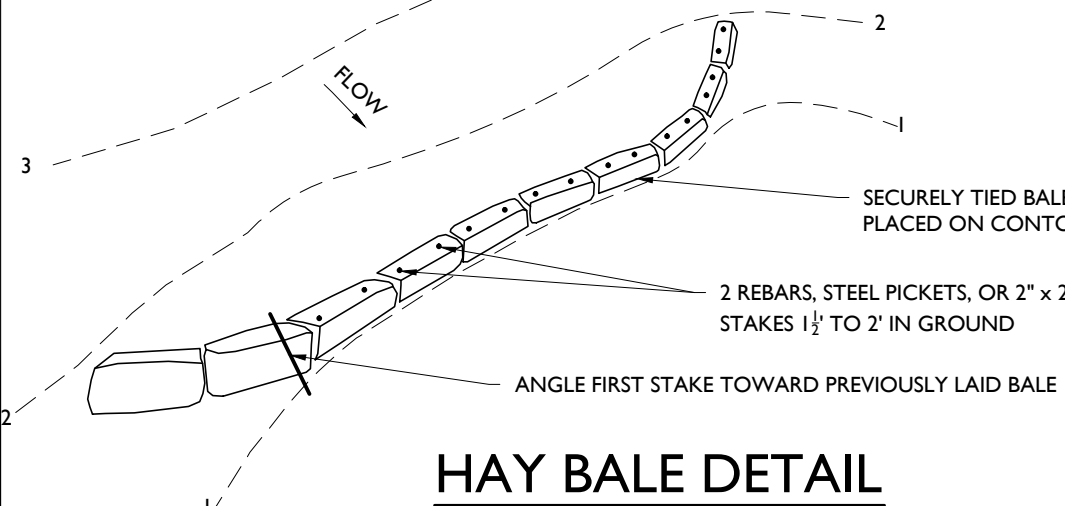
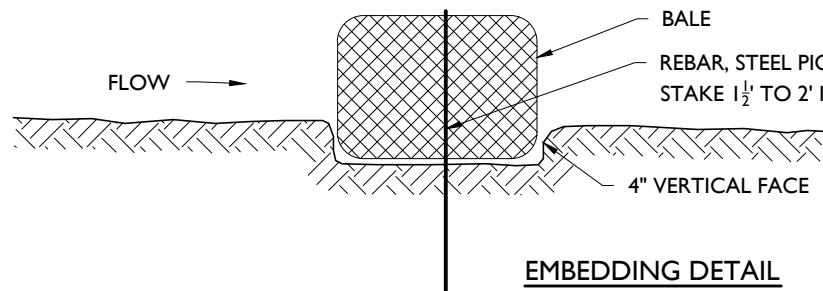


RIP-RAP SIZING CHART						
FES #	L (ft)	W1 (ft)	W2 (ft)	D50 (in)	Th (in)	
1	10.0	15.0	4.0	6.0	12.0	
2	11.0	15.0	3.0	6.0	12.0	
3	14.0	18.0	3.0	6.0	12.0	
4	14.0	16.0	5.0	6.0	12.0	

(*) = MINIMUM APRON THICKNESS SHALL BE TWO TIMES THE D50 SIZE FOR THE APRON.

RIP-RAP PAD

NOT TO SCALE

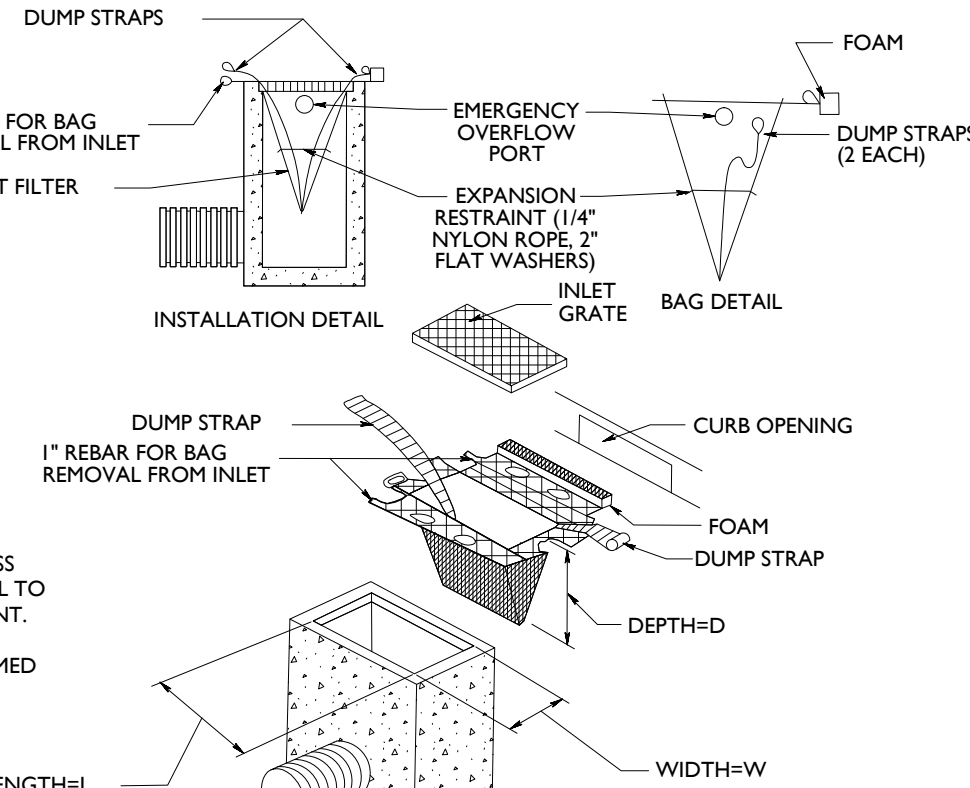


- NOTES:
1. SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOG RINGS, STAPLES OR POCKETS. FOUR TO SIX FASTENERS PER POST.
 2. GEOTEXTILE FABRIC TO BE EMBEDDED 6\"/>

SILT FENCE DETAIL

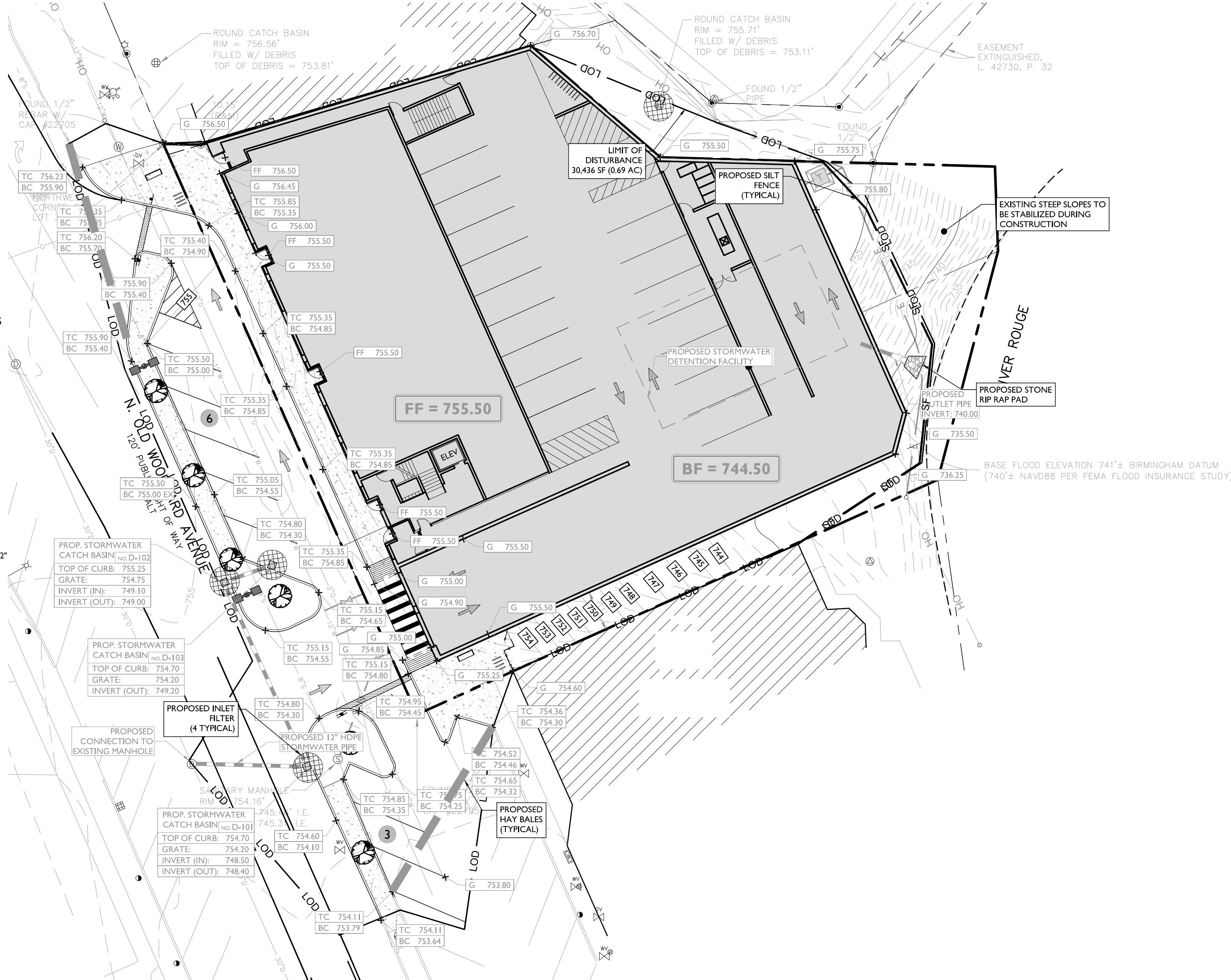
NOT TO SCALE

- NOTES:
1. THE FILTER BAG SHALL SAFELY PASS FLOWS GREATER THAN OR EQUAL TO THE 1-YEAR 24-HOUR STORM EVENT.
 2. SEDIMENT REMOVAL AND MAINTENANCE SHALL BE PERFORMED FREQUENTLY AND AFTER EVERY STORM EVENT.



INLET FILTER BAG DETAIL

NOT TO SCALE



SYMBOL DESCRIPTION

— LOD —	LIMIT OF DISTURBANCE
— SF —	SILT FENCE
	PROPOSED INLET FILTER

59 - URBAN LAND	
SOIL CHARACTERISTICS	
HYDROLOGIC SOIL GROUP	D
DEPTH TO RESTRICTIVE LAYER	MORE THAN 200 INCHES
SOIL PERMEABILITY	N/A
DEPTH TO WATER TABLE	MORE THAN 80 INCHES

SEQUENCE OF CONSTRUCTION

1. INSTALL SILT FENCE AND CONSTRUCTION ENTRANCE (2 DAYS).
2. DEMOLISH EXISTING STRUCTURES, PAVEMENT, AND GRAVEL (45 DAYS).
3. ROUGH GRADING AND TEMPORARY SEEDING (20 DAYS).
4. EXCAVATE AND INSTALL UNDERGROUND BASIN, WATER QUALITY UNIT, DRAINAGE PIPING, AND INLETS (20 DAYS).
5. INSTALL INLET FILTERS (1 DAY).
6. BUILDING CONSTRUCTION AND SITE IMPROVEMENTS (275 DAYS).
7. CONSTRUCT RIGHT OF WAY IMPROVEMENTS (180 DAYS).
8. LANDSCAPING IMPROVEMENTS AND FINAL SEEDING (7 DAYS).
9. REMOVE SOIL EROSION MEASURES (1 DAY).

NOTE: TIME DURATIONS ARE APPROXIMATE AND ARE INTENDED TO ACT AS A GENERAL GUIDE TO THE CONSTRUCTION TIMELINE. ALL DURATIONS ARE SUBJECT TO CHANGE BY CONTRACTOR. CONTRACTOR SHALL SUBMIT CONSTRUCTION SCHEDULE TO TOWNSHIP AND ENGINEER. CONTRACTOR SHALL PHASE CONSTRUCTION ACCORDINGLY.

FLOOD HAZARD AREA NOTES:

1. THERE ARE NO RIPARIAN ZONES ON SITE.
2. THERE ARE FLOODWAYS ON SITE.
3. PORTIONS OF THE SITE ARE WITHIN THE 100-YR FLOOD AREA.
4. ALL ELEVATIONS SHOWN ARE BASED ON THE CITY OF BIRMINGHAM DATUM.

ENVIRONMENTAL NOTES:

1. THERE ARE NO WETLANDS ON SITE.
2. THE ROUGE RIVER IS LOCATED ON SITE.
3. REFER TO STORMWATER MANAGEMENT REPORT FOR SOIL INFORMATION AND LAND USE FOR SURROUNDING AREA.

PARCEL AREA

24,719± SQUARE FEET = 0.57± ACRES

BASIS OF BEARING

SOUTH 23°57'44" EAST, BEING THE NORTHERLY RIGHT OF WAY LINE OF N. OLD WOODWARD AVENUE.

BENCHMARK

NORTHWEST BOLT OF STREET LIGHT, LOCATED ON THE EASTERLY SIDE OF N. OLD WOODWARD AVENUE. ELEVATION = 756.31' (CITY OF BIRMINGHAM DATUM)

FLOOD NOTE

SUBJECT PARCEL LIES WITHIN:

SPECIAL FLOOD HAZARD AREA (ZONE AE); BASE FLOOD ELEVATIONS DETERMINED.

FLOODWAY AREAS IN ZONE AE: THE FLOODWAY IS THE CHANNEL OF A STREAM PLUS ANY ADJACENT FLOODPLAIN AREAS THAT MUST BE KEPT FREE OF ENCROACHMENT SO THAT THE 1% ANNUAL CHANCE FLOOD CAN BE CARRIED WITHOUT SUBSTANTIAL INCREASES IN FLOOD HEIGHTS.

ZONE X: AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

AS SHOWN ON FLOOD INSURANCE RATE MAP: MAP NUMBER 26125C0537F, COMMUNITY - PANEL NUMBER 260168 0537 F, DATED SEPTEMBER 29, 2006, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

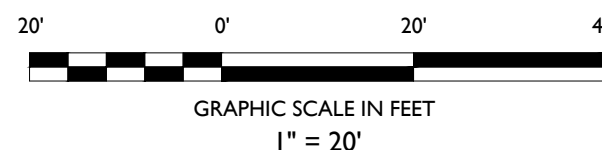
PROPERTY DESCRIPTION

LAND SITUATED IN THE CITY OF BIRMINGHAM, COUNTY OF OAKLAND, STATE OF MICHIGAN IS DESCRIBED AS FOLLOWS:

LOTS 3 AND 4, ASSESSOR'S PLAT No. 29 AS RECORDED IN LIBER 6, PAGE 45 OF PLATS, OAKLAND COUNTY RECORDS, ALSO PART OF THE NORTHWEST 1/4 OF SECTION 25, TOWN 2 NORTH, RANGE 10 EAST, CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT A POINT DISTANT SOUTH 88 DEGREES 16 MINUTES 00 SECONDS EAST 10.15 FEET FROM THE NORTHWEST CORNER OF SAID LOT 3; THENCE SOUTH 88 DEGREES 16 MINUTES 00 SECONDS EAST 124.70 FEET; THENCE NORTH 49 DEGREES 21 MINUTES 00 SECONDS WEST 46.41 FEET; THENCE SOUTH 73 DEGREES 32 MINUTES 00 SECONDS WEST 93.28 FEET TO BEGINNING.

EROSION AND SEDIMENT CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
3. THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION AS REQUIRED TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION.



SITE DEVELOPMENT PLANS

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856 OLD NORTH WOODWARD
PROPOSED 4 STORY MULTI-FAMILY BUILDING WITH RETAIL
PARCEL ID: 19-35-378-001
856 NORTH OLD WOODWARD ROAD
CITY OF BIRMINGHAM
OAKLAND COUNTY, MICHIGAN

MICHIGAN LICENSE No. 6201061061
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design, llc.

SCALE: 1" = 20' PROJECT ID: M-15120

TITLE:
SOIL EROSION & SEDIMENT CONTROL PLAN

DRAWING:

C-6

Appendix E

Table 1: 856 North Old Woodward Ave, Birmingham - Eligible Activities Cost Estimates (incl. School Tax Capture)

Item/Activity	Brownfield Quantity	Greenfield Quantity	Units	Unit Cost (Brownfield)	Unit Cost (Greenfield)	Brownfield (Contaminated) Site Cost	Greenfield (Uncontaminated) Site Cost	Eligible Brownfield Cost (cost difference)
Baseline Environmental Assessments								
(a) Phase I ESA, Phase II ESA, BEA, DDCC	1	0	ea	\$ 16,155.00	\$ 2,000.00	\$ 16,155	\$ 2,000	\$ 14,155
Due Care Activities								
(a) Excavation of hazardous material	6,705	6,705	tons	\$ 63.35	\$ 23.00	\$ 424,762	\$ 154,215	\$ 270,547
(b) Transportation of contaminated soils								
Transport of soil to a Type II Landfill	13,390	13,390	tons	\$ 7.00	\$ 0.00	\$ 93,730	\$ -	\$ 93,730
Transport of hazardous material	6,705	6,705	tons	\$ 47.55	\$ 0.00	\$ 318,823	\$ -	\$ 318,823
(c) Disposal of contaminated soils								
Disposal of soil to a Type II Landfill	13,390	13,390	tons	\$ 11.50	\$ 0.00	\$ 153,985	\$ -	\$ 153,985
Disposal of hazardous material	6,705	6,705	tons	\$ 150.00	\$ 0.00	\$ 1,005,750	\$ -	\$ 1,005,750
(d) Excavation Equipment Decon and Decon Wastewater Handling	1	-	ea	\$ 7,500.00	\$ 0.00	\$ 7,500	\$ -	\$ 7,500
(e) Additional delineation and sampling of Tetrachloroethylene soil concentrations								
Mobilization, onsite labor for oversight, screening, and sample collection	1	0	ea	\$ 2,550.00	\$ 0.00	\$ 2,550	\$ -	\$ 2,550
Consultant equipment and supplies	1	0	ea	\$ 600.00	\$ 0.00	\$ 600	\$ -	\$ 600
Data evaluation and project management for reporting	1	0	ea	\$ 3,500.00	\$ 0.00	\$ 3,500	\$ -	\$ 3,500
Drilling and operations	1	0	ea	\$ 5,275.00	\$ 0.00	\$ 5,275	\$ -	\$ 5,275
Lab analysis of 36 samples for VOCs	36	0	samples	\$ 70.00	\$ 0.00	\$ 2,520	\$ -	\$ 2,520
Project management associated with hazardous material	1	0	ea	\$ 7,500.00	\$ 0.00	\$ 7,500	\$ -	\$ 7,500
(f) Associated excavation oversight, excavation verification sampling, and reporting								
Mobilization, oversight, and sample collection	1	0	ea	\$ 12,375.00	\$ 0.00	\$ 12,375	\$ -	\$ 12,375
Consultant equipment and supplies	1	0	ea	\$ 1,200.00	\$ 0.00	\$ 1,200	\$ -	\$ 1,200
Data Evaluation, project management, and report preparation	1	0	ea	\$ 4,500.00	\$ 0.00	\$ 4,500	\$ -	\$ 4,500
Sampling for VOCs, PNAs, PCBs, Michigan 10 metals	28	0	samples	\$ 350.00	\$ 0.00	\$ 9,800	\$ -	\$ 9,800
Up to one sample for TCLP	1	0	samples	\$ 600.00	\$ 0.00	\$ 600	\$ -	\$ 600
(g) Management and disposal of up to 30,000 gallons of contaminated groundwater								
On-site storage management	1	1	ea	\$ 7,500.00	\$ 0.00	\$ 7,500	\$ -	\$ 7,500
Disposal	30,000	30,000	gallons	\$ 1.40	\$ 0.01	\$ 42,000	\$ 240	\$ 41,760
(h) Installation of a vapor barrier and gaskets resistant to chemical breakdown								
Installation of chemically resistant gaskets	10	0	ea	\$ 1,000.00	\$ 0.00	\$ 10,000	\$ -	\$ 10,000
Design, bid specification, and coordination	1	0	ea	\$ 5,000.00	\$ 0.00	\$ 5,000	\$ -	\$ 5,000
Vapor barrier installation and initial testing	1	0	ea	\$ 125,000.00	\$ 0.00	\$ 125,000	\$ -	\$ 125,000
Vapor installation oversight	1	0	ea	\$ 10,000.00	\$ 0.00	\$ 10,000	\$ -	\$ 10,000
Post installation testing	1	0	ea	\$ 7,500.00	\$ 0.00	\$ 7,500	\$ -	\$ 7,500
Project management and reporting	1	0	ea	\$ 15,000.00	\$ 0.00	\$ 15,000	\$ -	\$ 15,000
(i) Costs associated with project management brownfield financial management	1	0	ea	\$ 3,000.00	\$ 0.00	\$ 3,000	\$ -	\$ 3,000
(j) Post-construction due care plan and associated management and reporting	1	0	ea	\$ 5,000.00	\$ 0.00	\$ 5,000	\$ -	\$ 5,000
							Sub-total	\$ 2,130,515
Preparation of Brownfield Plan								
(a) Brownfield Plan/381 Workplan	1	0	ea	\$ 9,000.00	\$ -	\$ 9,000	\$ -	\$ 9,000
Project Sub-Total								\$2,153,670
15% Contingency*								\$ 319,577
Project Sub-Totals with Contingency								\$2,473,247
3% Interest								\$ 508,364
Total Cost of Developer Eligible Activities to be Funded Through TIF								\$ 2,981,610
BRA Requested Deduction								\$ 325,000
Revised Total								\$ 2,656,610

*Excludes contingencies for Baseline Environmental Assessment Activities and Brownfield Plan Preparation

Table 2: TIF Table

																		New Est.Taxes Generated in Yrs 1-10	New Est.Taxes Generated Yrs 1 13
		2017	2018 YR1	2019 YR2	2020 YR3	2021 YR4	2022 YR5	2023 YR6	2024 YR7	2025 YR8	2026 YR9	2027 YR10	2028 YR11	2029 YR12	2030 YR13	2031 YR14			
Base Taxable Value		\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450	\$ 322,450			
Estimated New Taxable Value (estimated increase of 1%/year)			\$ 2,500,000	\$ 5,000,000	\$ 5,050,000	\$ 5,100,500	\$ 5,151,505	\$ 5,203,020	\$ 5,255,050	\$ 5,307,601	\$ 5,360,677	\$ 5,414,284	\$ 5,468,426	\$ 5,523,111	\$ 5,578,342	\$ 5,634,125			
Incremental Difference (New Taxable Value <i>minus</i> Taxable Value)			\$ 2,177,550	\$ 4,677,550	\$ 4,727,550	\$ 4,778,050	\$ 4,829,055	\$ 4,880,570	\$ 4,932,600	\$ 4,985,151	\$ 5,038,227	\$ 5,091,834	\$ 5,145,976	\$ 5,200,661	\$ 5,255,892	\$ 5,311,675			
Local Taxes - Millage																			
City Millages (13.4630 mills)																			
City Operating	11.1843		\$ 24,354	\$ 52,315	\$ 52,874	\$ 53,439	\$ 54,010	\$ 54,586	\$ 55,168	\$ 55,755	\$ 56,349	\$ 56,949	\$ 57,554	\$ 58,166	\$ 58,783	\$ 59,407	\$ 515,799	\$ 665,948	
Refuse	0.8687		\$ 1,892	\$ 4,063	\$ 4,107	\$ 4,151	\$ 4,195	\$ 4,240	\$ 4,285	\$ 4,331	\$ 4,377	\$ 4,423	\$ 4,470	\$ 4,518	\$ 4,566	\$ 4,614	\$ 40,063	\$ 51,725	
Library	1.4100		\$ 3,070	\$ 6,595	\$ 6,666	\$ 6,737	\$ 6,809	\$ 6,882	\$ 6,955	\$ 7,029	\$ 7,104	\$ 7,179	\$ 7,256	\$ 7,333	\$ 7,411	\$ 7,489	\$ 65,027	\$ 83,956	
Total City Millages	13.4630		\$ 29,316	\$ 62,974	\$ 63,647	\$ 64,327	\$ 65,014	\$ 65,707	\$ 66,408	\$ 67,115	\$ 67,830	\$ 68,551	\$ 69,280	\$ 70,016	\$ 70,760	\$ 71,511	\$ 620,888	\$ 801,629	
County Millages (10.4059 mills)																			
County Operating	4.0400		\$ 8,797	\$ 18,897	\$ 19,099	\$ 19,303	\$ 19,509	\$ 19,718	\$ 19,928	\$ 20,140	\$ 20,354	\$ 20,571	\$ 20,790	\$ 21,011	\$ 21,234	\$ 21,459	\$ 186,317	\$ 240,554	
OIS Allocated	0.1985		\$ 432	\$ 928	\$ 938	\$ 948	\$ 959	\$ 969	\$ 979	\$ 990	\$ 1,000	\$ 1,011	\$ 1,021	\$ 1,032	\$ 1,043	\$ 1,054	\$ 9,154	\$ 11,819	
OIS Voted	3.1413		\$ 6,840	\$ 14,694	\$ 14,851	\$ 15,009	\$ 15,170	\$ 15,331	\$ 15,495	\$ 15,660	\$ 15,827	\$ 15,995	\$ 16,165	\$ 16,337	\$ 16,510	\$ 16,686	\$ 144,871	\$ 187,043	
OCC Voted	1.5707		\$ 3,420	\$ 7,347	\$ 7,426	\$ 7,505	\$ 7,585	\$ 7,666	\$ 7,748	\$ 7,830	\$ 7,914	\$ 7,998	\$ 8,083	\$ 8,169	\$ 8,255	\$ 8,343	\$ 72,438	\$ 93,524	
County Pk & Rec	0.2410		\$ 525	\$ 1,127	\$ 1,139	\$ 1,152	\$ 1,164	\$ 1,176	\$ 1,189	\$ 1,201	\$ 1,214	\$ 1,227	\$ 1,240	\$ 1,253	\$ 1,267	\$ 1,280	\$ 11,114	\$ 14,350	
HCMA	0.2146		\$ 467	\$ 1,004	\$ 1,015	\$ 1,025	\$ 1,036	\$ 1,047	\$ 1,059	\$ 1,070	\$ 1,081	\$ 1,093	\$ 1,104	\$ 1,116	\$ 1,128	\$ 1,140	\$ 9,897	\$ 12,778	
OCPTA	0.9998		\$ 2,177	\$ 4,677	\$ 4,727	\$ 4,777	\$ 4,828	\$ 4,880	\$ 4,932	\$ 4,984	\$ 5,037	\$ 5,091	\$ 5,145	\$ 5,200	\$ 5,255	\$ 5,311	\$ 46,109	\$ 59,531	
Total County Millages	10.4059		\$ 22,659	\$ 48,674	\$ 49,194	\$ 49,720	\$ 50,251	\$ 50,787	\$ 51,328	\$ 51,875	\$ 52,427	\$ 52,985	\$ 53,549	\$ 54,118	\$ 54,692	\$ 55,273	\$ 479,901	\$ 619,600	
Total Local Taxes (capturable)	23.8689		\$ 51,976	\$ 111,648	\$ 112,841	\$ 114,047	\$ 115,264	\$ 116,494	\$ 117,736	\$ 118,990	\$ 120,257	\$ 121,536	\$ 122,829	\$ 124,134	\$ 125,452	\$ 126,784	\$ 1,100,789	\$ 1,421,229	
School Taxes																			
School Operating	18.0000		\$ 39,196	\$ 84,196	\$ 85,096	\$ 86,005	\$ 86,923	\$ 87,850	\$ 88,787	\$ 89,733	\$ 90,688	\$ 91,653	\$ 92,628	\$ 93,612	\$ 94,606	\$ 95,610	\$ 830,126	\$ 1,071,776	
SET	6.0000		\$ 13,065	\$ 28,065	\$ 28,365	\$ 28,668	\$ 28,974	\$ 29,283	\$ 29,596	\$ 29,911	\$ 30,229	\$ 30,551	\$ 30,876	\$ 31,204	\$ 31,535	\$ 31,870	\$ 276,709	\$ 357,259	
Total School Taxes	24.0000		\$ 52,261	\$ 112,261	\$ 113,461	\$ 114,673	\$ 115,897	\$ 117,134	\$ 118,382	\$ 119,644	\$ 120,917	\$ 122,204	\$ 123,503	\$ 124,816	\$ 126,141	\$ 127,480	\$ 1,106,835	\$ 1,429,035	
Non-Capturable Millages																			
School Debt	3.9000		\$ 8,492	\$ 18,242	\$ 18,437	\$ 18,634	\$ 18,833	\$ 19,034	\$ 19,237	\$ 19,442	\$ 19,649	\$ 19,858	\$ 20,069	\$ 20,283	\$ 20,498	\$ 20,716	\$ 179,861	\$ 232,218	
City Debt	1.2984		\$ 2,827	\$ 6,073	\$ 6,138	\$ 6,204	\$ 6,270	\$ 6,337	\$ 6,404	\$ 6,473	\$ 6,542	\$ 6,611	\$ 6,682	\$ 6,753	\$ 6,824	\$ 6,897	\$ 59,880	\$ 77,311	
Zoo Authority	0.0998		\$ 217	\$ 467	\$ 472	\$ 477	\$ 482	\$ 487	\$ 492	\$ 498	\$ 503	\$ 508	\$ 514	\$ 519	\$ 525	\$ 530	\$ 4,603	\$ 5,942	
Art Institute	0.1996		\$ 435	\$ 934	\$ 944	\$ 954	\$ 964	\$ 974	\$ 985	\$ 995	\$ 1,006	\$ 1,016	\$ 1,027	\$ 1,038	\$ 1,049	\$ 1,060	\$ 9,205	\$ 11,885	
Total Non-Capturable Millages	5.4978		\$ 11,972	\$ 25,716	\$ 25,991	\$ 26,269	\$ 26,549	\$ 26,832	\$ 27,118	\$ 27,407	\$ 27,699	\$ 27,994	\$ 28,292	\$ 28,592	\$ 28,896	\$ 29,203	\$ 253,548	\$ 327,356	
Local Annual Tax Increment Revenue			\$ 51,976	\$ 111,648	\$ 112,841	\$ 114,047	\$ 115,264	\$ 116,494	\$ 117,736	\$ 118,990	\$ 120,257	\$ 121,536	\$ 122,829	\$ 124,134	\$ 125,452	\$ 126,784			
3 Mills of SET to State Brownfield Redevelopment Fund	3.0000		\$ 6,533	\$ 14,033	\$ 14,183	\$ 14,334	\$ 14,487	\$ 14,642	\$ 14,798	\$ 14,955	\$ 15,115	\$ 15,276	\$ 15,438	\$ 15,602	\$ 15,768	\$ 15,935			
School Annual Tax Increment Revenue (after State BF Fund)			\$ 45,729	\$ 98,229	\$ 99,279	\$ 100,339	\$ 101,410	\$ 102,492	\$ 103,585	\$ 104,688	\$ 105,803	\$ 106,929	\$ 108,066	\$ 109,214	\$ 110,374	\$ 111,545			
Annual Tax Increment Revenue			\$ 97,704	\$ 209,877	\$ 212,120	\$ 214,386	\$ 216,674	\$ 218,986	\$ 221,320	\$ 223,678	\$ 226,060	\$ 228,465	\$ 230,894	\$ 233,348	\$ 235,826	\$ 238,329			
Annual Cumulative Incremental Taxes			\$ 97,704	\$ 307,581	\$ 519,701	\$ 734,087	\$ 950,761	\$ 1,169,747	\$ 1,391,067	\$ 1,614,745	\$ 1,840,805	\$ 2,069,270	\$ 2,300,164	\$ 2,533,512	\$ 2,769,338	\$ 3,007,667			
MDEQ Reimbursed Expenses (including 3% interest)																			
Total Local Taxes																			
City Contribution			\$ 29,316	\$ 62,974	\$ 63,647	\$ 64,327	\$ 65,014	\$ 65,707	\$ 66,408	\$ 67,115	\$ 67,830	\$ 68,551	\$ 69,280	\$ 70,016	\$ 70,760	\$ 71,511	\$ 794,806		
County Contribution			\$ 22,659	\$ 48,674	\$ 49,194	\$ 49,720	\$ 50,251	\$ 50,787	\$ 51,328	\$ 51,875	\$ 52,427	\$ 52,985	\$ 53,549	\$ 54,118	\$ 54,692	\$ 55,273	\$ 614,326		
Total School Taxes			\$ 45,729	\$ 98,229	\$ 99,279	\$ 100,339	\$ 101,410	\$ 102,492	\$ 103,585	\$ 104,688	\$ 105,803	\$ 106,929	\$ 108,066	\$ 109,214	\$ 110,374	\$ 111,545	\$ 1,247,478		
Unreimbursed Eligible Expenses			\$ 2,656,610	\$ 2,558,906	\$ 2,349,029	\$ 2,136,909	\$ 1,922,523	\$ 1,705,849	\$ 1,486,863	\$ 1,265,543	\$ 1,041,865	\$ 815,805	\$ 587,340	\$ 356,446	\$ 123,098	\$ -	\$ 4,065,742		

Tax Ratio	Millages	Percentage
Local Tax	23.8689	49.86%
City	13.4630	28.12%
County	10.4059	21.74%
School Tax	24.0000	50.14%
Total	47.8689	100.00%

Proposed 10-year tax capture limit, as imposed by the BBRA