#### BIRMINGHAM CITY COMMISSION AGENDA AMENDED (2) Monday, April 11, 2022 MUNICIPAL BUILDING, 151 MARTIN 7:30 P.M.

#### I. CALL TO ORDER AND PLEDGE OF ALLEGIANCE

Therese Longe, Mayor

#### II. ROLL CALL

Alexandria Bingham, City Clerk

III. PROCLAMATIONS, CONGRATULATORY RESOLUTIONS, AWARDS, APPOINTMENTS, RESIGNATIONS AND CONFIRMATIONS, ADMINISTRATION OF OATHS, INTRODUCTION OF GUESTS AND ANNOUNCEMENTS.

#### **ANNOUNCEMENTS**

- Per the CDC, COVID-19 Community Level for Oakland County is currently Low. The City continues to recommend the public wear masks while attending city meetings. These precautions are recommended while risks for COVID-19 transmission remain from new variants. All City employees, commissioners and board members must wear a mask while indoors when 6-feet of social distancing cannot be maintained. The City continues to provide KN-95 respirators for all in-person meeting attendees.
- As a reminder, the community is encouraged to submit non-emergency concerns or questions to the city via the new GovAlert mobile app. The free app is fast and userfriendly. Simply download the app, available for both iOS and Android devices, and follow the prompts. A short video that explains how to use the app is available at www.bhamgov.org/govalert.
- Happy Birthday Commissioner Schafer
- Proclamation Recognizing Armenian Genocide Remembrance Day
- Proclamation Condemning Violence and Discrimination
- The City of Birmingham received a grant through Oakland County Parks and Recreation Grant Program made possible by the Mileage that was passed by voters in November 2020. The Oakland County Parks and Recreation (OCPR) Grant Programs were created to assist local communities with planning, preliminary engineering/design, and construction costs directly related to park improvement and trail projects located in Oakland County. The City received the maximum award of \$100,000 for the Adams Park Development Project.

#### IV. OPEN TO THE PUBLIC FOR MATTERS NOT ON THE AGENDA

#### V. CONSENT AGENDA

All items listed on the consent agenda are considered to be routine and will be enacted by one motion and approved by a roll call vote. There will be no separate discussion of the items unless a Commissioner or citizen so requests, in which event the item will be removed from the general order of business and considered under the last item of new business.

- A. Resolution to approve the City Commission minutes of March 28, 2022.
- B. Resolution to approve the warrant list, including Automated Clearing House payments, dated March 30, 2022, in the amount of \$489,197.83.
- C. Resolution to approve the warrant list, including Automated Clearing House payments, dated April 6, 2022, in the amount of \$583,776.59.
- D. Resolution approving the contract with KLM Landscape for the purchase and planting of 162 trees for the "2022 Spring Tree Purchase and Plant," for a total project cost not to exceed \$70,800.00. Further, to authorize the Mayor and City Clerk to sign the agreement on behalf of the City. Funds are available from the following accounts: \$17,785.75 from the Local Streets Fund-Forestry Service Contract account #203-449.005-819.0000, \$17,785.75 from the Major Streets Fund-Forestry Service Contract account #202-449.005-819.0000, \$18,614.25 from the Local Streets Fund-Operating Supplies account #203-449.005-729.0000, and \$16,614.25 from the Major Streets Fund-Operating Supplies account #202-449.005-729.0000 for these services.
- E. Resolution to approve the purchase of the larvicide material from Clarke Mosquito Control in the amount not to exceed \$10,772.40. Further, to waive the normal bidding requirements based on the government regulated pricing for this type of material. Funds for this purchase will come from the Sewer Fund-Operating Supplies Account #590-536.002-729.0000.
- F. Resolution to set a public hearing date of May 9, 2022 to consider the Special Land Use Permit Amendment, Final Site Plan and Design Review application for 2225 E. 14 Mile Our Shepherd to allow new parking lot landscaping, signage and new covered entries at an existing religious institution in the R2 zoning district.
- G. Resolution to set a public hearing date of May 9, 2022 to consider the Special Land Use Permit Amendment, Final Site Plan and Design Review application for 220 Merrill 220 Restaurant to allow the addition of a new outdoor dining platform in the Merrill St. right-of-way.
- H. Resolution authorizing the Request for Qualifications for a professional facilitator to comprehensively guide the City's strategic planning process and complete the final strategic plan document.
- I. Resolution confirming City Manager's authorization for the emergency expenditure related to the repair of the Peabody Street Structure Emergency Shoring, Additional Column Investigation and Repair by Pullman SST Inc. for a cost not to exceed \$235,000.00 to be charged to the Automobile Parking System Fund, Peabody Parking Structure Capital Outlay Building account #585-538.004-977.0000.

#### VI. UNFINISHED BUSINESS

#### **VII. NEW BUSINESS**

- A. Public Hearing Confirming SAD #897S and SAD #897W S. Old Woodward Water & Sewer Lateral Special Assessment, Phase 3 Project Area
  - Resolution confirming Special Assessment Rolls 897S and 897W as indicated in the Staff Report.
- B. Public Hearing Confirming SAD #897 S. Old Woodward Sidewalk and Streetscape, Phase 3 Project Area
  - 1. Resolution confirming special assessment roll 897 as indicated in the Staff Report.

AMENDED – Additional items regarding new business items A&B for the South Old Woodward Project – Phase 3<sup>1</sup>

C. Resolution to approve the project budget and award the S. Old Woodward Phase 3 Paving Project #1-22 (P) as presented in the Staff Report.

AMENDED – Additional items regarding new business item C for the South Old Woodward Project – Phase  $3^2$ 

- D. Resolution to meet in closed session to discuss the personnel evaluation of the City Manager pursuant to Section 8(a) of the Open Meetings Act.
  - (A roll call vote is required and the vote must be approved by a 2/3 majority of the commission. The commission will adjourn to closed session after all other business has been addressed in open session and reconvene to open session, after the closed session, for purposes of taking formal action resulting from the closed session and for purposes of adjourning the meeting.)
- E. Commission Items for Future Discussion. A motion is required to bring up the item for future discussion at the next reasonable agenda, no discussion on the topic will happen tonight.
- F. Commission discussion on items from prior meeting

-

<sup>&</sup>lt;sup>1</sup> Included Friday, 4/8/2022 4:54 pm

<sup>&</sup>lt;sup>2</sup> Moved additional communications under item 7C and added communication Monday, 4/11/2022 2:23 pm

#### VIII. REMOVED FROM CONSENT AGENDA

#### IX. COMMUNICATIONS

#### X. REPORTS

- A. Commissioner Reports
  - 1. Notice of Intention to Appoint to the Board of Building Trade Appeals
- B. Commissioner Comments
- C. Advisory Boards, Committees, Commissions' Reports and Agendas
- D. Legislation
- E. City Staff
  - 1. 2021 Police Annual Report

INFORMATION ONLY

#### XI. ADJOURN

Should you wish to participate in this meeting, you are invited to attend the meeting in person or virtually through ZOOM: <a href="https://zoom.us/j/655079760">https://zoom.us/j/655079760</a> Meeting ID: 655 079 760
You may also present your written statement to the City Commission, City of Birmingham, 151 Martin Street, P.O. Box 3001, Birmingham, Michigan 48012-3001 prior to the hearing.

NOTICE: Individuals requiring accommodations, such as mobility, visual, hearing, interpreter or other assistance, for effective participation in this meeting should contact the City Clerk's Office at (248) 530-1880 (voice), or (248) 644-5115 (TDD) at least one day in advance to request mobility, visual, hearing or other assistance. Las personas que requieren alojamiento, tales como servicios de interpretación, la participación efectiva en esta reunión deben ponerse en contacto con la Oficina del Secretario Municipal al (248) 530-1880 por lo menos el día antes de la reunión pública. (Title VI of the Civil Rights Act of 1964).

### PROCLAMATION City Council of the City of Birmingham

#### Recognizing April 24 As Armenian Genocide Remembrance Day

WHEREAS, the Birmingham community joins human rights advocates and historians from around the world to recognize and mourn the 1.5 million Armenians who perished in the Armenian Genocide as ordered by the government of the Ottoman Empire, which began on April 24, 1915 with the arrest, exile and murder of hundreds of Armenian intellectuals, political, religious, and business leaders, and

WHEREAS, during the 1915-1923 Genocide, Armenian survivors were forced to witness the slaughter of their relatives and the loss of their ancestral land and property in what is now known as the "First Genocide of the 20<sup>th</sup> Century," and

WHEREAS, the State of Michigan declared in Act 558 of 2002 that "April 24 of each year shall be the Michigan day of remembrance of the Armenian genocide of 1915-1923 . . . in memory of the victims of the genocide and in honor of the survivors," and

WHEREAS, the failure to learn from the past allows history to repeat itself as the world saw during the 2020 Nagorno-Karabagh war when the military forces of Azerbaijan and Turkey attacked the Armenian civilian population of Nagorno-Karabagh and its churches and civic buildings, resulting in casualties and loss of ancestral land and property, motivated by the same genocidal campaign that their ancestors suffered 107 years earlier, and

WHEREAS, the City of Birmingham City Council is proud to join the Armenian-American community in its commemoration of the 107<sup>th</sup> anniversary of the Armenian Genocide in an effort to educate others about the tragic loss of life, land, and human rights of the Armenian people and the crimes of genocide committed against them, as well as Greeks and Assyrians, due to religious and political beliefs,

NOW, THEREFORE, BE IT RESOLVED that I, Therese Longe, Mayor of the City of Birmingham, on behalf of the City Council, do hereby proclaim April 24, 2022 as Armenian Genocide Remembrance Day in memory of the victims of the Armenian Genocide and in honor of the survivors and their descendants, and urge all citizens of Birmingham to join in this solemn remembrance.

Mayor	THE WAY THE CONTRACT OF THE PARTY OF THE PAR
	T TO THE POOL OF THE PARTY OF T
	O O D A E
	3 In (1.2182) 3   5
	S TO THE SECOND SECOND



#### **City of Birmingham**

#### **Proclamation**

Condemning Any and All Violence or Discrimination Against a Person Based on Race, Color, Natural Origin, Religion, Gender, Sexual Orientation, Age or Disability

WHEREAS, Recent acts of violence or discrimination against Asian Americans, people

of the Jewish faith, members of the LGBTQ community, women and other fellow Americans has further eroded our confidence as a nation that all

people are equal as citizens of the United States; and

**WHEREAS,** As public servants, we, the Mayor, the City Commission and City Staff,

have an even greater responsibility to prevent, respond and act against violence, discrimination, bias, hatred and racism because when the unacceptable becomes the norm in our society, the safety of all are

threatened; and

WHEREAS, The City condemns all forms of violence or discrimination and supports and

protects all residents and visitors no matter what their ethnicity, race,

religion, sexual orientation, gender or disability; and

WHEREAS, The Mayor, City Commission and City Staff wholeheartedly condemn the

actions and injustices that have again wrought division and crisis in our County, State and national communities and across our United States; and

#### THEREFORE BE IT RESOLVED,

That I, Therese Longe, Mayor for the City of Birmingham, Michigan, proclaim that the City will maintain constantly vigilant with regard to its own policies and actions and do everything in its power to make certain that Birmingham is and will remain a welcoming City opposed to acts of violence or discrimination against a fellow human being based on Race, Color, Natural Origin, Religion, Gender, Sexual Orientation, Age or Disability.

On Behalf of the City of Birmingham, this 11<sup>th</sup> day of April, 2022,

Therese Longe, Mayor

#### Birmingham City Commission Minutes March 28, 2022 Municipal Building, 151 Martin 7:30 p.m.

Vimeo Link: https://vimeo.com/688217515

#### I. CALL TO ORDER AND PLEDGE OF ALLEGIANCE

Therese Longe, Mayor, opened the meeting with the Pledge of Allegiance.

#### II. ROLL CALL

Alexandria Bingham, City Clerk, called the roll.

Present: Mayor Longe

Mayor Pro Tem Boutros Commissioner Baller Commissioner Haig Commissioner Host Commissioner McLain Commissioner Schafer

Absent: None

Administration: City Manager Markus, City Clerk Bingham, Assistant City Manager Ecker, City

Attorney Kucharek, Parks and Recreation Manager Laid, Department of Public

Services Director Wood

III. PROCLAMATIONS, CONGRATULATORY RESOLUTIONS, AWARDS, APPOINTMENTS, RESIGNATIONS AND CONFIRMATIONS, ADMINISTRATION OF OATHS, INTRODUCTION OF GUESTS AND ANNOUNCEMENTS.

#### Announcements

Per the CDC, COVID-19 Community Level for Oakland County is currently Low. The City continues to recommend the public wear masks while attending city meetings. These precautions are recommended while risks for COVID-19 transmission remain from new variants. All City employees, commissioners and board members must wear a mask while indoors when 6-feet of social distancing cannot be maintained. The City continues to provide KN-95 respirators for all in-person meeting attendees.

The community is encouraged to submit non-emergency concerns or questions to the city via the new GovAlert mobile app. The free app is fast and user-friendly. Simply download the app, available for both iOS and Android devices, and follow the prompts. At this time we will play a short video that explains how to use the app. You may also view this video at <a href="https://www.bhamgov.org/govalert">www.bhamgov.org/govalert</a>.

Proclamation naming April 2022 as National Arab American Heritage Month

Orderly and Efficient Conduct of Meetings of Public Bodies by City Attorney Kucharek

#### **Appointments**

Douglas Christensen, applicant for the Parks & Recreation Board, Brian Palmeri, applicant for the Planning Board, and Maria Chirco, applicant for the Board of Review, were interviewed by the Commission. Messrs. Christensen, Palmeri, and Ms. Chirco were not nominated. The Mayor asked the applicants to keep an eye out for future opportunities to serve.

Michael Kopmeyer, applicant for the Multi-Modal Transportation Board (MMTB), was nominated by Commissioner Host. Since Messrs. Long, Zane, Peard, Hocker, St. Germain, and Doolittle were nominated before Mr. Kopmeyer, and were voted into the six available positions on the MMTB, no vote was taken on Mr. Kopmeyer's candidacy.

Since Kristy Barrett was unable to be present for an interview, the Commission agreed to interview her for a potential appointment to the Museum Board at a future meeting.

#### 03-074-22 Appointment of Anne Lipp to the Parks & Recreation Board

The Commission interviewed Anne Lipp for the appointment.

**MOTION:** Nomination by MPT Boutros:

To appoint Anne Lipp to the Parks and Recreation Board as a regular member to serve a three-year term to expire March 13, 2025.

VOICE VOTE: Ayes, MPT Boutros

Commissioner Baller Commissioner McLain Commissioner Schafer

Mayor Longe

Commissioner Haig Commissioner Host

Nays, None

#### 03-075-22 Appointment of Steve Sweeney to the Parks & Recreation Board

The Commission interviewed Steve Sweeney for the appointment.

**MOTION:** Nomination by Commissioner Schafer:

To appoint Steve Sweeney to the Parks and Recreation Board as a regular member to serve a three-year term to expire March 13, 2025.

VOICE VOTE: Ayes, MPT Boutros

Commissioner Baller Commissioner McLain Commissioner Schafer

Mayor Longe

Commissioner Haig Commissioner Host

Nays, None

#### 03-076-22 Appointment of Kyle Goulding to the Parks & Recreation Board

The Commission interviewed Kyle Goulding for the appointment.

**MOTION:** Nomination by Commissioner Host:

To appoint Kyle Goulding to the Parks and Recreation Board as an alternate member to serve the remainder of a three-year term to expire March 13, 2023.

VOICE VOTE: Ayes, MPT Boutros

Commissioner Baller Commissioner McLain Commissioner Schafer

Mayor Longe Commissioner Haig Commissioner Host

Nays, None

#### 03-077-22 Appointment of Anthony Long to the Multi-Modal Transportation Board

The Commission interviewed Anthony Long for the appointment.

**MOTION:** Nomination by MPT Boutros:

To appoint Anthony Long to the Multi-Modal Transportation Board as a regular member to serve the remainder of a three-year term to expire March 24, 2025.

VOICE VOTE: Ayes, MPT Boutros

Commissioner Baller Commissioner McLain Commissioner Schafer

Mayor Longe Commissioner Haig

Commissioner Host

Nays, None

#### 03-078-22 Appointment of Joe Zane to the Multi-Modal Transportation Board

Joe Zane was recently interviewed by the Commission for an appointment to the Multi-Modal Transportation Board and accordingly was not present for his potential re-appointment.

**MOTION:** Nomination by Commissioner Baller:

To appoint Joe Zane to the Multi-Modal Transportation Board as a regular member to serve the remainder of a three-year term to expire March 24, 2025.

VOICE VOTE: Ayes, MPT Boutros

Commissioner Baller Commissioner McLain Commissioner Schafer

Mayor Longe

Commissioner Haig Commissioner Host

Nays, None

#### 03-079-22 Appointment of David Hocker to the Multi-Modal Transportation Board

The Commission interviewed David Hocker for the appointment.

**MOTION:** Nomination by Commissioner Host:

To appoint David Hocker to the Multi-Modal Transportation Board as a regular member to serve the remainder of a three-year term to expire March 24, 2025.

VOICE VOTE: Ayes, MPT Boutros

Commissioner Baller Commissioner McLain Commissioner Schafer

Mayor Longe

Commissioner Haig Commissioner Host

Nays, None

#### 03-080-22 Appointment of Tom Peard to the Multi-Modal Transportation Board

The Commission interviewed Tom Peard for the appointment.

**MOTION:** Nomination by Commissioner Host:

To appoint Tom Peard to the Multi-Modal Transportation Board as a regular member to serve the remainder of a three-year term to expire March 24, 2025.

VOICE VOTE: Ayes, MPT Boutros

Commissioner Baller Commissioner McLain Commissioner Schafer

Mayor Longe Commissioner Haig Commissioner Host

Nays, None

#### 03-081-22 Appointment of Michael St. Germain to the Multi-Modal Transportation Board

The Commission interviewed Michael St. Germain for the appointment.

**MOTION:** Nomination by Commissioner Haig:

To appoint Michael St. Germain to the Multi-Modal Transportation Board as a regular member to serve the remainder of a three-year term to expire March 24, 2023.

VOICE VOTE: Ayes, MPT Boutros

Commissioner Baller Commissioner McLain Commissioner Schafer

Mayor Longe Commissioner Haig Commissioner Host

Nays, None

#### 03-082-22 Appointment of Mark Doolittle to the Multi-Modal Transportation Board

The Commission interviewed Mark Doolittle for the appointment.

**MOTION:** Nomination by Commissioner Schafer:

To appoint Mark Doolittle to the Multi-Modal Transportation Board as an alternate member to serve the remainder of a three-year term to expire October 27, 2022.

VOICE VOTE: Ayes, Commissioner Baller

Mayor Longe MPT Boutros

Commissioner Schafer

Nays, Commissioner Host

Commissioner McLain Commissioner Haig

#### 03-083-22 Appointment of Scott Clein to the Planning Board

The Commission interviewed Scott Clein for the appointment.

**MOTION:** Nomination by Commissioner Schafer:

To appoint Scott Clein to the Planning Board as a regular member to serve a three-year term to expire March 28, 2025.

VOICE VOTE: Ayes, Commissioner Baller

Mayor Longe

Commissioner Host Commissioner McLain Commissioner Haig

MPT Boutros

Commissioner Schafer

Nays, None

#### 03-084-22 Appointment of Robin Boyle to the Planning Board

The Commission interviewed Robin Boyle for the appointment.

**MOTION:** Nomination by MPT Boutros:

To appoint Robin Boyle to the Planning Board as a regular member to serve a three-year term to expire March 28, 2025.

VOICE VOTE: Ayes, Commissioner Baller

Mayor Longe

Commissioner Host Commissioner McLain Commissioner Haig

**MPT Boutros** 

Commissioner Schafer

Nays, None

#### 03-085-22 Appointment of Jim Cleary to the Cablecasting Board

The Commission interviewed Jim Cleary for the appointment.

**MOTION:** Nomination by Commissioner Host:

To appoint Jim Cleary to the Cablecasting Board as a regular member to serve a three-year term expiring March 30, 2025.

VOICE VOTE: Ayes, Commissioner Baller

Mayor Longe

Commissioner Host Commissioner McLain Commissioner Haig

MPT Boutros

Commissioner Schafer

Nays, None

#### 03-086-22 Appointment of Jill Stress to the Board of Review

The Commission interviewed Jill Stress for the appointment.

**MOTION:** Nomination by MPT Boutros:

To appoint Jill Stress to the Board of Review as a regular member to serve the remainder of a three-year term to expire December 31, 2022.

VOICE VOTE: Ayes, Commissioner Baller

Mayor Longe

Commissioner Host Commissioner McLain Commissioner Haig

MPT Boutros

#### Commissioner Schafer

Nays, None

CC Bingham swore in the present appointees. It was noted that those appointees appearing virtually would be sworn in at a later date.

#### IV. OPEN TO THE PUBLIC FOR MATTERS NOT ON THE AGENDA

David Bloom submitted a written comment that was included in the agenda packet.

Gordon Rinschler, resident and former Commissioner, commended CA Kucharek for her memorandum on conduct at public meetings and said that the layperson's summary is that Commissioners should not be expected to endure personal slights during Commission meetings.

Charlie Cavell, Birmingham's new Oakland County Commissioner, introduced himself and summarized the Oakland County Commission's current focuses and initiatives.

Dan Marsh, executive director of the Birmingham YMCA, gave an overview of the Birmingham Y's recent successes and upcoming programming. He noted that financial assistance is available for YMCA programming.

#### V. CONSENT AGENDA

All items listed on the consent agenda are considered to be routine and will be enacted by one motion and approved by a roll call vote. There will be no separate discussion of the items unless a commissioner or citizen so requests, in which event the item will be removed from the general order of business and considered under the last item of new business.

#### 03-087-22 Consent Agenda

The following items were pulled from the Consent Agenda:

Commissioner Haig: Item J – Set Public Hearing for 100 Townsend – Rugby Grille – Special Land

Use Permit, Final Site Plan & Design Review

Item L - Set Special Joint Meeting - The Birmingham Plan 2040 - Second

**Draft Review** 

**MOTION:** Motion by MPT Boutros, seconded by Commissioner Host:

To approve the Consent Agenda excluding Items J and L.

ROLL CALL VOTE: Ayes, MPT Boutros

Commissioner Host Commissioner McLain Commissioner Schafer

Mayor Longe

Commissioner Baller Commissioner Haig

Nays, None

- A. Resolution to approve the City Commission workshop meeting minutes of March 14, 2022.
- B. Resolution to approve the City Commission meeting minutes of March 14, 2022.

- C. Resolution to approve the warrant list, including Automated Clearing House payments, dated March 16, 2022, in the amount of \$501,146.91.
- D. Resolution to approve the warrant list, including Automated Clearing House payments, dated March 23, 2022, in the amount of \$882,073.73.
- E. Resolution to approve a Special Event Permit as requested by the Schools Offer Support to hold the Strides for SOS Race on October 9, 2022 contingent upon compliance with all permit and insurance requirements and payment of all fees and, further, pursuant to any minor modifications that may be deemed necessary by administrative staff at the time of the event, or event cancellation that may be deemed necessary by administrative staff leading up to or at the time of the event.
- F. Resolution to approve a Special Event Permit as requested by Eisenhower Dance Detroit to hold its Youth Ensemble Performance on May 26, 2022, in Shain Park contingent upon compliance with all permit and insurance requirements and payment of all fees and, further, pursuant to any minor modifications that may be deemed necessary by administrative staff at the time of the event, or event cancellation that may be deemed necessary by administrative staff leading up to or at the time of the event.
- G. Resolution to approve the purchase of one (1) Case 721G Zbar T4 (Vehicle #30), as quoted through the State of Michigan MIDEAL extendable purchasing contract #071B7700089, awarded to Southeastern Equipment Company located at 48545 Grand River, Novi, MI 48374, in the amount not to exceed \$208,341.98. Funds for this purchase are available in the FY 2021-2022 Auto Equipment Fund account #641-441.006.971.0100.
- H. Resolution to approve the purchase of one (1) 2022 Freightliner 114SD (Vehicle #160) supplied with a 2100i PD 18" vacuum and 15-yard debris combo, as quoted, from Jack Doheny Company, in the amount not to exceed \$420,030.00. Funds for this purchase are available in the FY 2021-2022 Auto Equipment Fund account #641-441.006.971.0100.
- I. Resolution approving a 3-year contract (through November 7, 2024) with Michigan Automatic Sprinkler, Inc., for irrigation services in an amount not to exceed \$61,575. In addition, to authorize the Mayor and City Clerk to sign the agreement on behalf of the City. Funding for this project has been budgeted for using funds from the following other contractual services accounts: \$25,000 in Parks (101-751.000-811.0000), \$25,000 in Property Maintenance (101-441.003-811.0000) and Major Streets (202-449.003-937.0400).
- K. Resolution of the City of Birmingham demonstrating support of the project and submittal of the application to MDOT for FY 2025 funding assistance under their Local Bridge Program, as presented.
- M. Resolution directing City staff and the Planning Board to consider allowing the operation of food trucks within the City.

#### AND

Resolution directing City staff and the Planning Board to consider the creation of a Social District to allow for the outdoor consumption of alcohol within a defined area adjacent to two or more licensed establishments.

03-088-22 (Item J) Set Public Hearing for 100 Townsend – Rugby Grille – Special Land Use Permit, Final Site Plan & Design Review

In reply to brief concerns raised by Commissioner Haig, Mayor Longe noted those concerns could be raised and addressed at the public hearing. She noted that the present motion was only to set the public hearing.

Commissioner Haig acknowledged the Mayor's comments and moved the motion.

CM Markus invited Commissioner Haig to also provide Staff with comments before the public hearing in order to make sure those issues are addressed at the public hearing.

**MOTION:** Motion by Commissioner Haig, seconded by MPT Boutros:

To set a public hearing date of April 25, 2022 to consider the Special Land Use Permit, Final Site Plan and Design Review application for 100 Townsend – Rugby Grille – to allow the addition of a new outdoor dining platform in the Townsend right-of-way.

ROLL CALL VOTE: Ayes, Commissioner Haig

MPT Boutros Commissioner Host Commissioner McLain Commissioner Schafer

Mayor Longe

Commissioner Baller

Nays, None

03-089-22 (Item L) Set Special Joint Meeting - The Birmingham Plan 2040 - Second Draft Review

Commissioner Haig noted that April 18, 2022 might be observed as Easter Monday by some Commission and Planning Board members. He suggested that the Commission consider scheduling the meeting before a regular Commission meeting.

Commissioner Baller said he was not in favor of holding the joint meeting before a regular Commission meeting. He said he was willing to attend a joint meeting held on a day other than a Monday.

After brief further Commission discussion, Commissioner Baller said he would move the resolution, suggesting that conversion about scheduling continue only if the motion failed.

**MOTION:** Motion by Commissioner Baller, seconded by Commissioner Schafer:

To set a special joint meeting of the City Commission and the Planning Board on April 18, 2022 to finalize the review of the second draft of the Birmingham 2040 Plan.

VOICE VOTE: Ayes, MPT Boutros

Commissioner Host Commissioner McLain Commissioner Schafer

Mayor Longe

Commissioner Baller

Nays, Commissioner Haig

#### VI. UNFINISHED BUSINESS

None.

#### VII. NEW BUSINESS

#### 03-090-22

**Special Event Application: Sanctuary Worship in the Park** 

CC Bingham summarized the item.

Kristin Snyder, representing the First Baptist Church, spoke on behalf of the request.

CA Kucharek explained her legal review of the request.

The Mayor noted that two letters were received in opposition to the request and would be included in the meeting minutes.

**MOTION:** Motion by Commissioner Baller, seconded by Commissioner Schafer:

To deny a Special Event Permit as requested by the First Baptist Church to hold the Sanctuary Worship in the Park on Sundays June 12 - September 4, 2022.

In reply to MPT Boutros, CM Markus said a conversation about the Church's alternative options could occur but should be separate and distinct from the current topic.

#### **Public Comment**

Ms. Snyder asked whether one Sunday a month during the summer or one Sunday in total during the summer might be an option. She stated that in the past she had managed two similar events in Shain Park, with one held one day out of the summer and the next held one day during the following summer. She stated that no noise complaints stemmed from either of those events.

CM Markus addressed Ms. Snyder's comments, noting that the policy of the City has moved away from allowing Shain Park to be used for private events. He explained that granting even the one-day request in this case could establish a precedent for allowing other religious organizations to hold services in Shain Park as well. He noted that Shain Park is a heavily-utilized park by the public.

ROLL CALL VOTE: Ayes, MPT Boutros

Commissioner Host Commissioner McLain Commissioner Schafer

Mayor Longe

Commissioner Baller Commissioner Haig

Nays, None

The Mayor encouraged Ms. Snyder to reach out to CM Markus to discuss other potential options.

#### 03-091-22 Adams Park Development Project Contractor

DPSD Wood presented the item.

CM Markus addressed the cost increases between the estimates and the bids, and described some potential ways of mitigating the project's costs.

Commissioner McLain and MPT Boutros both spoke in favor of moving forward with the project.

Commissioner Haig noted that Southeast Michigan Council of Governments (SEMCOG) was offering a grant for green infrastructure and recommended Staff consider applying to get funding for the rain garden aspect of the project. He said he was in favor of moving the project forward either way, but that the grant could be helpful.

**MOTION:** Motion by MPT Boutros, seconded by Commissioner Host:

To approve the award of the Adams Park Improvement project contract to Michigan Recreational Construction, in the amount of \$1,046,576.00 to be funded from account number 408-751.000-979.0000, to have the Mayor sign the contract on behalf of the City, and further to approve the appropriation and amendment to the 2021-2022 budget as follows:

Park System Construction Fund:

Revenues: Draw from Fund Balance 408-000.000-400.0000 \$346,580.00 Expenditures: Land Improvements 408-751.000-979.0000 \$346,580.00

#### **Public Comment**

Geri Rinschler, Vice-President of the S. Poppleton Homeowners' Association, said many in the S. Poppleton neighborhood would be enthusiastic about the opportunity to purchase naming rights and participate in other modes of fundraising for Adams Park.

Pam Graham, member of the S. Poppleton Homeowners' Association and the Parks and Recreation Board, encouraged the Commission to approve the resolution.

Gordon Rinschler agreed with Ms. Rinschler that the neighborhoods near Adams would be enthusiastic about the opportunity to fundraise for Adams Park.

In reply to the Mayor, DPSD Wood confirmed that the naming opportunities would be priced and listed clearly on the website in short order.

Commissioner Host spoke in favor of the project.

ROLL CALL VOTE: Ayes, MPT Boutros

Commissioner Host Commissioner McLain Commissioner Schafer

Mayor Longe

Commissioner Baller Commissioner Haig

Nays, None

### O3-092-22 Public Hearings of Liquor License establishments with Resolved and Outstanding Violations

The Mayor opened the public hearing at 9:18 p.m.

The Mayor asked ACM Ecker to begin by discussing the establishments now in compliance, with the exceptions of the Daxton and 220 Merrill.

ACM Ecker reviewed the item.

The Mayor closed the public hearing at 9:21 p.m.

Commissioners Haig and Host asked Commissioner Baller whether he has business with any of the listed establishments.

Commissioner Baller said he would have noted a conflict were there one.

#### **MOTION:** Motion by MPT Boutros, seconded by Commissioner Schafer:

To approve the renewal of liquor licenses for the 2022 licensing period, for the following establishments holding a Class B, Class C or Microbrewery Liquor License that are now in compliance with Chapter 10, Alcoholic Liquors of the City Code:

- Adachi Restaurant
- All Seasons Of Birmingham
- Bella Piatti
- Birmingham 8 Theater
- Birmingham Pub
- Churchill's Bistro/Cigar Bar
- Griffin Claw Brewing Company
- Hyde Park Prime Steakhouse
- Luxe Bar And Grill
- Mare
- Papa Joe's Gourmet Market Place Birmingham
- Phoenicia
- Salvatore Scallopini
- Slice/Shift/Sidecar
- Social Kitchen And Bar
- Tallulah Wine Bar & Bistro
- The Townsend
- Toast
- Townhouse

ROLL CALL VOTE: Ayes, MPT Boutros

Commissioner Host Commissioner McLain Commissioner Schafer

Mayor Longe

Commissioner Baller Commissioner Haig

Nays, None

#### 03-093-22 Public Hearing of Liquor License Renewal for 220 Merrill

The Mayor recused herself from the discussion and vote on 220 Merrill at 9:23 p.m.

The Mayor Pro Tem opened the public hearing at 9:23 p.m.

ACM Ecker reviewed the item.

The Mayor Pro Tem closed the public hearing at 9:24 p.m.

**MOTION:** Motion by Commissioner Haig, seconded by Commissioner Schafer:

To approve the renewal of a liquor license for the 2022 licensing period for 220 Merrill as an establishment that holds a Class B, Class C or Microbrewery Liquor License and is now in compliance with Chapter 10, Alcoholic Liquors of the City Code.

ROLL CALL VOTE: Ayes, MPT Boutros

Commissioner Host Commissioner McLain Commissioner Schafer Commissioner Baller Commissioner Haig

Nays, None

#### 03-094-22 Public Hearing of Liquor License Renewal for the Daxton

The Mayor rejoined the meeting and resumed facilitation at 9:24 p.m.

The Mayor Pro Tem recused himself from the discussion and vote on the Daxton at 9:24 p.m. citing a business relationship with the applicant.

The Mayor opened the public hearing at 9:24 p.m.

ACM Ecker reviewed the item.

The Mayor closed the public hearing at 9:25 p.m.

**MOTION:** Motion by Commissioner Schafer, seconded by Commissioner Haig:

To approve the renewal of a liquor license for the 2022 licensing period for the Daxton as an establishment that holds a Class B, Class C or Microbrewery Liquor License and is now in compliance with Chapter 10, Alcoholic Liquors of the City Code.

ROLL CALL VOTE: Ayes, Mayor Longe

Commissioner Host Commissioner McLain Commissioner Schafer Commissioner Baller Commissioner Haig

Nays, None

03-095-22 Public Hearing to consider the renewal of the liquor license for Dick

O'Dow's at 160 W. Maple

The Mayor Pro Tem rejoined the meeting at 9:26 p.m.

The Mayor opened the public hearing at 9:26 p.m.

ACM Ecker reviewed the item.

Mitch Black, owner of Dick O'Dow's, said it was his intent to comply with the City's requirements.

The Mayor closed the public hearing at 9:31 p.m.

In reply to Commissioner Host, CM Markus said he would recommend taking Mr. Black at his word at this point and proceeding as if the outstanding issue would be resolved within the next 25 days.

**MOTION:** Motion by MPT Boutros, seconded by Commissioner Host:

To approve the renewal of a liquor license for the 2022 licensing period for Dick O'Dow's as an establishment that holds a Class B, Class C or Microbrewery Liquor License and is now in compliance with Chapter 10, Alcoholic Liquors of the City Code.

Commissioner Haig said he was comfortable with the 'trust but verify' approach recommended by CM Markus at this time. He advocated, however, that establishments only be given one chance to remediate encroachment into the five-foot clear path before the matter is dealt with more severely in the future.

CM Markus noted that encroachment into the five-foot clear path could also result in liability for the City. He agreed that 'trust but verify' accurately described his recommended approach.

ROLL CALL VOTE: Ayes, Mayor Longe

Commissioner Host Commissioner McLain Commissioner Schafer Commissioner Baller Commissioner Haig MPT Boutros

Nays, None

O3-096-22 Public Hearing to consider the renewal of the liquor license for Maple Road Tap Room in Whole Foods at 2100 E. Maple

The Mayor opened the public hearing at 9:38 p.m.

ACM Ecker and CM Markus reviewed the item. CM Markus recommended that if a public hearing is scheduled that it be scheduled for the beginning of May 2022, which is when the applicant should be operational again.

Kelly Allen, attorney, was present on behalf of the applicant. She said the applicant closed down their bistro due to the pandemic, and were in the process of cleaning all the equipment and re-staffing now.

14

The Mayor closed the public hearing at 9:43 p.m.

In reply to MPT Boutros, CM Markus said the Commission would have the option to continue the hearing in the future if deemed necessary.

In reply to Commissioner Haig, CA Kucharek confirmed that the Commission would have the option to revoke the SLUP for the Maple Road Tap Room if desired because of the violations. CM Markus noted that the circumstances of the pandemic caused confusion for many establishments and suggested that the best course of action would be to have this bistro up and running again.

**MOTION:** Motion by Commissioner Baller, seconded by Commissioner McLain:

To approve the renewal of the liquor license for the 2022 licensing period for Maple Road Tap Room in Whole Foods, holding a Class B, Class C or Microbrewery Liquor License that is now in compliance with Chapter 10, Alcoholic Liquors of the City Code and to set a public hearing on the SLUP for May 9, 2022.

ROLL CALL VOTE: Ayes, Mayor Longe

Commissioner Host Commissioner McLain Commissioner Schafer Commissioner Baller Commissioner Haig MPT Boutros

Nays, None

### 03-097-22 Public Hearing to consider the renewal of the liquor license for Casa Pernoi at 310 E. Maple

The Mayor opened the public hearing at 9:50 p.m.

ACM Ecker reviewed the item.

Kelly Allen, attorney, and Luciano Delsignore, owner, spoke on behalf of the request.

The Mayor closed the public hearing at 9:55 p.m.

Commissioner Haig said he would support letting Casa Pernoi continue operation while a solution is sought that would satisfy all parties. He noted that part of his support was contingent on the fact that the area with the eisenglass is both on private property and out of public view.

CM Markus recommended the Commission allow the business to continue operations with the eisenglass in use as long as it commits to pursuing a SLUP amendment and a variance. He noted that the Commission retains the right to review the SLUP if the establishment does not pursue a SLUP amendment and a variance and remains out of compliance.

CM Markus added, in reply to Ms. Allen, that it may be worthwhile for the City to consider an ordinance amendment regarding the restrictions to outdoor dining on private property. He observed that the five foot clear path would still need to be maintained.

In reply to Commission inquiry, Ms. Allen stated that the SLUP amendment documentation was already filed and that she would commit to filing a variance request immediately. She said she would also work

with Staff on a potential ordinance amendment. She said she also appreciated the City Manager's offer to allow the establishment to operate with its eisenglass in place while a solution is sought.

Commissioner Baller said he was supportive of the establishment and hoped it reaches a positive conclusion.

MPT Boutros also voiced support for the establishment.

Commissioner McLain acknowledged the difficulties posed by the pandemic while also stating that contracts between the City and establishments must be respected and enforced. She added that she was supportive of Casa Pernoi.

Commissioner Haig concurred with Commissioner McLain's comment about the necessity of respecting and enforcing contracts between the City and a given establishment. He echoed his previous statement that he was interested in giving operators one chance to remedy a violation.

**MOTION:** Motion by MPT Boutros, seconded by Commissioner Haig:

To approve the renewal of the liquor license for the 2022 licensing period for Casa Pernoi, holding a Class B, Class C or Microbrewery Liquor License that is now in compliance with Chapter 10, Alcoholic Liquors of the City Code.

ROLL CALL VOTE: Ayes, Mayor Longe

Commissioner Host Commissioner McLain Commissioner Schafer Commissioner Baller Commissioner Haig MPT Boutros

Nays, None

CM Markus stated that the City does not seek to damage any establishments, but to ensure that they comply with their contractual obligations. He explained that when bistros were created the City made commitments to the residents to ensure compliance with the parameters of those licenses. He stated that ACM Ecker and other Staff did a superlative job making sure that all these establishments were either in compliance or returning to compliance as part of this year's liquor license renewal process.

Commissioner Haig recommended that code enforcement apply the five 'S's in order to streamline the process of inspecting an establishment.

#### Commission discussion on items from prior meeting

**Commission Items for Future Discussion.** A motion is required to bring up the item for future discussion at the next reasonable agenda, no discussion on the topic will happen tonight.

03-098-22 Filling the City Manager Position

**MOTION:** Motion by Commissioner Host, seconded by MPT Boutros:

To discuss, at the next reasonable agenda, the process of hiring the next City Manager.

VOICE VOTE: Ayes, Mayor Longe

Commissioner Host Commissioner McLain Commissioner Schafer Commissioner Baller Commissioner Haig

**MPT Boutros** 

Nays, None

#### 03-099-22 Parking Matters

**MOTION:** Motion by Commissioner Host, seconded by Commissioner Haig: To discuss the parking decks and the parking situation in the central business district.

VOICE VOTE: Ayes, Commissioner Haig

Commissioner Host

Nays, Mayor Longe

Commissioner McLain Commissioner Schafer Commissioner Baller

**MPT Boutros** 

The Commission took at brief recess at 10:42 p.m.

The Commission returned from recess at 10:48 p.m.

#### VIII. REMOVED FROM CONSENT AGENDA

#### IX. COMMUNICATIONS

#### X. REPORTS

#### A. Commissioner Reports

Commissioners Schafer and Haig attended SEMCOG's general assembly meeting. Commissioner Schafer briefly summarized some of the SEMCOG resources available and some of the topics covered at the meeting.

The Mayor noted that Commissioner Schafer's notes from the meeting would be included in the next agenda packet.

#### B. Commissioner Comments

Commissioner McLain summarized her experience at the 2022 Michigan Municipal League Capital Conference in Lansing, noting that ACM Ecker and ATCM Fairbairn were also in attendance.

Mayor Longe thanked DPS Staff for organizing the Ice Arena ribbon cutting ceremony. She stated she and Commissioner Host attended the Birmingham Youth Assistance 'Youth in Service' awards and presented

awards and certificates to 22 Birmingham students. She also acknowledged Bella's fifth birthday. Bella is the Birmingham Police Department's Therapy Dog.

Commissioner Host said he hoped to see the Commission become more proactive about addressing residents' concerns. He also said he believes that developers in Birmingham are benefiting at the expense of Birmingham residents.

- C. Advisory Boards, Committees, Commissions' Reports and Agendas
- D. Legislation
- E. City Staff
  - 1. City Manager's Report
  - 2. Community Development Department/Planning Division Annual Report & Planning Board, Historic District Commission, and Design Review Board Action Lists for 2022-2023, submitted by Planning Director Dupuis

#### INFORMATION ONLY

#### XI. ADJOURN

Mayor Longe adjourned the meeting at 11:17 p.m.

Alexandria Bingham City Clerk

Laura Eichenhorn City Transcriptionist

## City of Birmingham Warrant List Dated 03/30/2022

Check Number	Early Release	Vendor #	Vendor	Amount
PAPER CHECK				
284794		BDREFUND	Archadeck of Southeast Michigan	200.00
284795	*	006759	AT&T	124.44
284796	*	006759	AT&T	252.17
284797	*	003703	AT&T MOBILITY	755.20
284799		003692	BEST TECHNOLOGY SYS INC	1,975.00
284800		003526	BOUND TREE MEDICAL, LLC	380.26
284802		BDREFUND	BRUTTELL ROOFING INC	700.00
284804		003907	CADILLAC ASPHALT, LLC	6,158.61
284805		009078	CANON SOLUTIONS AMERICA INC	163.20
284806		BDREFUND	CEDAR PRESERVATION SYSTEMS LLC	100.00
284807	*	008540	CERTIFIED LABORATORIES	222.39
284808	*	000605	CINTAS CORPORATION	90.85
284809	*	000605	CINTAS CORPORATION	116.58
284810	*	004188	COFFEE BREAK SERVICE, INC.	189.45
284811	*	008955	COMCAST	481.12
284813		001367	CONTRACTORS CONNECTION INC	52.40
284814	*	MISC	COOKIES BY DESIGN	375.00
284815		008512	COOL THREADS EMBROIDERY	115.99
284816		BDREFUND	CORNISH, JOHN	200.00
284817		007498	RONALD L. DIX	70.00
284818		009130	DOG WASTE DEPOT	652.41
284819		000190	DOWNRIVER REFRIGERATION	325.47
284821	*	000179	DTE ENERGY	1,560.81
284822	*	000179	DTE ENERGY	43.71
284823	*	000179	DTE ENERGY	341.49
284824	*	000179	DTE ENERGY	5,861.93
284825	*	000179	DTE ENERGY	1,757.60
284826	*	000179	DTE ENERGY	5,447.87
284827	*	000179	DTE ENERGY	3,443.19
284828	*	000179	DTE ENERGY	14.76
284829	*	000179	DTE ENERGY	1,792.51
284830	*	000179	DTE ENERGY	36.24
284831	*	000179	DTE ENERGY	15.53
284832	*	000179	DTE ENERGY	22.22
284833	*	000179	DTE ENERGY	531.06
284835	*	000179	DTE ENERGY	46.52
284836	*	000179	DTE ENERGY	17.46
284837	*	000179	DTE ENERGY	147.56
284838	*	000179	DTE ENERGY	150.38
284840		000196	EJ USA, INC.	2,918.72
284841	*	000936	FEDEX	58.92
284842		006654	FLEETPRIDE INC	137.98

**5B** 

## City of Birmingham Warrant List Dated 03/30/2022

Check Number	Early Release	Vendor #	Vendor	Amount
284843		BDREFUND	FOREST GLEN HOMES, LLC	300.00
284844		008721	FORTIS GROUP LLC	650.00
284845	*	MISC	FRANK VISCUSO	5,400.00
284846	*	004604	GORDON FOOD	537.06
284847	*	000245	GREAT LAKES POPCORN CO	143.90
284848	*	008007	GREAT LAKES WATER AUTHORITY	8,014.56
284850	*	001956	HOME DEPOT CREDIT SERVICES	1,056.46
284851	*	009335	JOEL WILLIAM INGERSOLL	225.00
284852		BDREFUND	JBE MANAGEMENT LLC	100.00
284853	*	007244	CHRISTOPHER JUDKINS	141.00
284854	*	004088	KGM DISTRIBUTORS INC	169.00
284855		BDREFUND	LEVINE & SONS INC	1,000.00
284856		BDREFUND	LYNCH CUSTOM HOMES	2,000.00
284857		BDREFUND	MAINSTREET DESIGN & BUILD	300.00
284858		000230	MIKE SAVOIE CHEVROLET INC	1,713.47
284859	*	007306	MARK MISCHLE	145.60
284860	*	009456	SHRIYA NAMA	345.00
284861	*	008712	OAKLAND COUNTY HEALTH DIVISION	298.00
284862	*	000481	OFFICE DEPOT INC	370.05
284863	*	001753	PEPSI COLA	845.18
284864		008974	PREMIER PET SUPPLY	15.96
284865	*	006625	PTS COMMUNICATIONS, INC	78.00
284866		BDREFUND	PYTIAK & COMPANY	300.00
284867	*	009443	COLIN QUACKENBUSH	25.00
284868	*	008342	RAIN MASTER CONTROL SYSTEMS	29.85
284869		BDREFUND	RENEWAL BY ANDERSEN	500.00
284870		002759	ROCKET ENTERPRISE INC	360.00
284871	*	000218	ROYAL OAK P.D.Q. LLC	50.00
284872	*	006590	SECURE DOOR, LLC	704.74
284873	*	007142	SHERWIN-WILLIAMS COMPANY	69.20
284874		007907	SP+ CORPORATION	3,570.00
284874	*	007907	SP+ CORPORATION	1,250.00
284875		BDREFUND	STERLING DEVELOPMENT CORP	300.00
284876	*	001076	TAYLOR FREEZER OF MICH INC	325.00
284877		000275	TIRE WHOLESALERS CO INC	177.60
284878	*	009378	TRI COUNTY EQUIPMENT, INC	146.88
284880	*	000293	VAN DYKE GAS CO.	271.22
284881	*	000158	VERIZON WIRELESS	955.31
284882		BDREFUND	WALLSIDE INC	500.00
			SUBTOTAL PAPER CHECK	\$71,430.04
ACH TRANSACT	ION			
5040	*	008847	ABS- AUTOMATED BENEFIT SVCS, INC	23,434.33
5041	*	002284	ABEL ELECTRONICS INC	23.98

### City of Birmingham Warrant List Dated 03/30/2022

Check Number	Early Release	Vendor #	Vendor	Amount
5042		009126	AMAZON CAPITAL SERVICES INC	1,550.45
5042	*	009126	AMAZON CAPITAL SERVICES INC	263.29
5043	*	009183	BOB ADAMS TOWING	270.00
5044	*	007359	DETROIT CHEMICAL & PAPER SUPPLY	296.40
5045	*	000565	DORNBOS SIGN & SAFETY INC	164.25
5046		007684	ELITE TRAUMA CLEAN-UP INC.	70.00
5047	*	007314	FLEIS AND VANDENBRINK ENG. INC	5,702.50
5048	*	000243	GRAINGER	716.22
5049	*	001672	HAYES PRECISION INC	71.50
5050	*	003458	JOE'S AUTO PARTS, INC.	256.66
5051		000155	JOHNSON CONTROLS SECURITY SOLUTIONS	377.07
5052	*	007827	HAILEY R KASPER	322.50
5053	*	009370	MICHAEL SIMON	162.00
5055		001194	NELSON BROTHERS SEWER	753.00
5055	*	001194	NELSON BROTHERS SEWER	2,450.00
5056		001864	NOWAK & FRAUS ENGINEERS	78,831.00
5057	*	006027	PENCHURA, LLC	3,494.00
5058	*	001181	ROSE PEST SOLUTIONS	47.00
5059	*	002456	SALES MARKETING GROUP INC	222.63
5060	*	003785	SIGNS-N-DESIGNS INC	110.00
5061	*	001097	SOCWA	297,357.10
5062	*	002037	TOTAL ARMORED CAR SERVICE, INC.	758.36
5063	*	000301	PAUL WELLS	63.55
			SUBTOTAL ACH TRANSACTION	\$417,767.79
			GRAND TOTAL	\$489,197.83

All bills, invoices and other evidences of claim have been audited and approved for payment.



Mark Gerber Finance Director/ Treasurer

 $\star$ -Indicates checks released in advance and prior to commission approval in order to avoid penalty or to meet contractual agreement/obligation.

## City of Birmingham Warrant List Dated 04/06/2022

Check Number	Early Release	Vendor #	Vendor	Amount
PAPER CHECK				
284883		009267	1-2-1 MARKETING INC	597.00
284884	*	006965	7UP DETROIT	305.19
284885	*	MISC	AARON KOSIBA	565.06
284886	*	009346	ACCUFORM PRINTING & GRAPHICS, INC	4,688.00
284888		009376	TAIL ACTIVEWEAR	427.93
284889		BDREFUND	ADAMS, MARY OXENDINE	1,000.00
284890		003708	AIRGAS USA, LLC	40.95
284891	*	009372	ALLIED FIRE SALES & SERVICE	3,067.85
284892		000500	ARTECH PRINTING INC	126.00
284893	*	006759	AT&T	252.17
284894		BDREFUND	B-DRY SYSTEM OF MICHIGAN INC	100.00
284895	*	MISC	BERGY DARAKDJIAN	94.48
284896	*	006894	DAVID BIANCHETTE	165.00
284897		BDREFUND	BLOOMFIELD CONSTRUCTION CO	25.00
284898		003526	BOUND TREE MEDICAL, LLC	95.98
284899	*	MISC	BRANDON WYNN	55.00
284900	*	006953	JACQUELYN BRITO	142.99
284901		009078	CANON SOLUTIONS AMERICA INC	205.27
284901	*	009078	CANON SOLUTIONS AMERICA INC	1,235.29
284904		008540	CERTIFIED LABORATORIES	415.25
284905		000605	CINTAS CORPORATION	311.34
284906		000605	CINTAS CORPORATION	24.15
284907	*	008955	COMCAST	176.99
284908		007774	COMCAST BUSINESS	2,499.00
284909	*	000627	CONSUMERS ENERGY	2,921.38
284910		BDREFUND	COSMO TAYLOR, LLC	5,000.00
284912		BDREFUND	DAVID SCHATZBERG	500.00
284913		000233	DEAN SELLERS	3,428.06
284914		002473	DELL MARKETING L.P.	1,027.69
284915	*	000179	DTE ENERGY	58.49
284916	*	000179	DTE ENERGY	155.40
284917	*	000179	DTE ENERGY	55.79
284918	*	000179	DTE ENERGY	16.43
284919		002704	MICHAEL J DUL & ASSOC INC	83,727.00
284920	*	009340	DVM UTILITIES	51,168.91
284921	*	003801	JANA ECKER	47.49
284923		008848	ELEVATORKEYS.COM	269.98
284924	*	009100	ENZO WATER SERVICE	500.00
284925		BDREFUND	ESSCO OF BIRMINGHAM LLC	200.00
284926		001495	ETNA SUPPLY	3,000.00
284927	*	MISC	FABIO RODI	60.00
284928		BDREFUND	FACILITY MAINTENANCE & CONSTRUCTION	200.00

**5C** 

## City of Birmingham Warrant List Dated 04/06/2022

Check Number	Early Release	Vendor #	Vendor	Amount
284929	*	009458	MELISSA FAIRBAIRN	162.11
284930		002532	GOLLING CHRYSLER JEEP DODGE INC	4,363.00
284931	*	004604	GORDON FOOD	176.44
284932	*	MISC	GREAT LAKES SOFTWASH LLC	993.20
284933		000249	GUARDIAN ALARM	259.05
284934		BDREFUND	GUARDIAN WATERPROOFING	100.00
284935		001531	GUNNERS METER & PARTS INC	1,000.00
284936		BDREFUND	HARTFORD ROOFING & WARRANTY CO LLC	100.00
284937	*	001956	HOME DEPOT CREDIT SERVICES	843.23
284938		BDREFUND	HRH CONSTRUCTION LLC	2,807.00
284939		000948	HYDROCORP	1,381.00
284940		001625	J.B. DLCO & MULTISTATE	1,094.49
284942	*	009249	JCC CREATIVE LLC	400.00
284943	*	007244	CHRISTOPHER JUDKINS	50.00
284944	*	MISC	KAREN HOCK	648.41
284945		003464	KINSMAN CO INC	162.66
284946		BDREFUND	KITCHENS BY RICHARDS	100.00
284947		009375	LITHIA MOTORS, INC SUPPORT SERVICES	586.67
284948		BDREFUND	LIVE WELL CUSTOM HOME LLC	1,400.00
284949	*	007521	LUIGI FERDINANDI & SON INC	89,583.18
284950		BDREFUND	MARTIN JON MIRACLE, JR	100.00
284951	*	009214	KYLE MCCANHAM	146.22
284952		008793	MERGE MOBILE, INC.	73.00
284953		MISC	METRO SIGNS & LIGHTING	6,380.34
284954		005252	MIAM	75.00
284955		MISC	MICHIGAN COMMUNICATIONS DIRECTORS	299.00
284957		008313	MMIA	70.00
284958		BDREFUND	NEST CONSTRUCTION	100.00
284959		008687	NORTH BREATHING AIR, LLC	529.00
284961		000919	OAKLAND COUNTY TREASURER	19.50
284962	*	004370	OCCUPATIONAL HEALTH CENTERS	448.00
284964	*	000481	OFFICE DEPOT INC	28.49
284965		007701	ON THE TEE	207.10
284966		BDREFUND	ORTIZ, AMY	100.00
284967		008852	REDGUARD FIRE & SECURITY INC	300.00
284968		BDREFUND	ROSSO DEVELOPMENT CO	125.00
284969	*	007898	JEFFREY SCHEMANSKY	484.98
284970		BDREFUND	SINGLE PLY SOLUTIONS INC	300.00
284971	*	MISC	STATE OF MICHIGAN	75.00
284972		MISC	THE DETROIT JEWISH NEWS	800.00
284973	*	008585	TODD WENZEL BUICK GMC	120,678.30
284974		005481	TRI-COUNTY INTL TRUCKS, INC.	440.50
284975		005631	ULTIMATE REEL GRINDING LLC	1,830.00

# City of Birmingham Warrant List Dated 04/06/2022

Check Number	Early Release	Vendor #	Vendor	Amount
284977	*	000158	VERIZON WIRELESS	1,090.94
284978	*	000158	VERIZON WIRELESS	914.15
284979	*	000158	VERIZON WIRELESS	139.58
284980	*	000158	VERIZON WIRELESS	147.54
284981	*	001536	JEFFREY WHIPPLE	130.37
			SUBTOTAL PAPER CHECK	\$411,194.96
ACH TRANSACT	CION			
5064	*	008847	ABS- AUTOMATED BENEFIT SVCS, INC	56,077.77
5065	*	002284	ABEL ELECTRONICS INC	550.00
5066		009126	AMAZON CAPITAL SERVICES INC	257.21
5066	*	009126	AMAZON CAPITAL SERVICES INC	51.11
5067	*	000282	APOLLO FIRE EQUIPMENT	751.71
5068	*	001357	ART/DESIGN GROUP LTD	50.00
5069	*	007345	BEVERLY HILLS ACE	39.53
5070	*	007624	BIRMINGHAM OIL CHANGE CENTER, LLC	74.94
5071		009431	CITY OF BIRMINGHAM #248	6,685.43
5072	*	008044	CLUB PROPHET	1,120.00
5073	*	007807	G2 CONSULTING GROUP LLC	825.00
5074	*	008851	INSIGHT INVESTMENT	5,903.00
5075		000261	J.H. HART URBAN FORESTRY	32,180.06
5076		009298	JCR SUPPLY INC	1,239.37
5077	*	003458	JOE'S AUTO PARTS, INC.	1,080.01
5078	*	005550	LEE & ASSOCIATES CO., INC.	858.45
5080	*	001194	NELSON BROTHERS SEWER	205.00
5081	*	007856	NEXT	30,736.00
5082	*	006359	NYE UNIFORM COMPANY	2,344.00
5083	*	002767	OSCAR W. LARSON CO.	931.72
5084	*	008901	PLANTE & MORAN CRESA, LLC	2,800.00
5085		006729	QUENCH USA INC	419.07
5086	*	003554	RKA PETROLEUM	20,349.49
5087	*	001181	ROSE PEST SOLUTIONS	71.00
5088	*	000254	SOCRRA	250.00
5089		005787	SOUTHEASTERN EQUIPMENT CO. INC	1,874.83
5090		009266	US SIGNAL COMPANY LLC	2,678.13
5091	*	007278	WHITLOCK BUSINESS SYSTEMS, INC.	1,849.38
5092		000926	WRIGHT TOOL COMPANY	329.42
			SUBTOTAL ACH TRANSACTION	\$172,581.63

Meeting of 04/11/2022

### City of Birmingham Warrant List Dated 04/06/2022

Check Number Early Release Vendor # Vendor Amount

GRAND TOTAL

\$583,776.59

All bills, invoices and other evidences of claim have been audited and approved for payment.

Mark Suhn

Mark Gerber Finance Director/ Treasurer

<sup>\*-</sup>Indicates checks released in advance and prior to commission approval in order to avoid penalty or to meet contractual agreement/obligation.



### **MEMORANDUM**

(Department of Public Services)

DATE:

March 30, 2022

TO:

Thomas M. Markus, City Manager

FROM:

**Lauren Wood, Director of Public Services** 

Brendan McGaughey, Parks and Forestry Foreman

SUBJECT:

**Spring 2022 Tree Purchase and Planting Project** 

#### INTRODUCTION:

Twice a year, the City of Birmingham plants trees in residential and major street rights-of-ways and parks as part of our tree replacement program. Sealed bids were opened on Friday, March 18, 2022 for the cost to provide and plant one hundred and sixty-two (162) trees. The Request for Proposals (RFP) was entered into the Michigan Inter-Governmental Trade Network (MITN) purchasing system. The trees will be planted along various street rights-of-way and parks during the spring of 2022.

#### **BACKGROUND:**

This purchase will include providing all trees, planting, topsoil, mulch, stakes and necessary pruning. Watering is the responsibility of the resident, and the contractor is to place watering notification flyers at every property receiving a new tree. The trees also come with a 2-year warranty. The majority of the planting will occur in the right-of-way on various residential streets, and some will be planted on major road medians and parks (which will be properly watered by the City or a contractor).

Two (2) bidders responded to the request for proposals. The result of the sealed bids follows in the table below.

Bidder	Base Bid	Complete Bid
KLM Landscape	\$70,800.00	Yes
Davey Tree Expert Company	\$86,865.00	Yes

KLM Landscape is able to supply all trees and perform all work as requested.

#### LEGAL REVIEW:

The City Attorney has completed a review of this RFP and contract agreement.

#### FISCAL IMPACT:

This project was included in the 2021-2022 Approved Budget. Funds are available from the Local Streets Fund-Forestry Service Contract account, the Major Streets Fund-Forestry Service Contract account, the Local Streets Fund-Operating Supplies account, and the Major Streets Fund-Operating Supplies account for these services. Also, DPS has received a new grant to help supplement this planting: \$15,000 from the OAKSTEM 2021 Grant Program, which is administered by Oakland County for communities within the George W. Kuhn (GWK) Drainage District.

#### **PUBLIC COMMUNICATIONS:**

The Department of Public Services (DPS) mails a postcard to all residential addresses receiving a tree as part of the spring or fall planting program. It provides details of the upcoming planting project and informs them they will be receiving a tree. As mentioned, upon the tree planting, a door hanger is provided at the residence with tree care instructions including water requirements.

#### **SUMMARY:**

The RFP requires bidders to provide references, completed projects similar in scope, size and purpose, and written plan/timeline for the project. After reviewing all submitted materials, checking references, and conducting an interview, the Department of Public Services recommends awarding the "2022 Spring Tree Purchase and Plant" project to KLM Landscape. They have worked with the city on numerous other planting projects and always complete any necessary warranty replacements. Also, they are the lowest and most responsive bidder.

Upon award, the contractor will be notified to secure the tree stock and call MISS DIG before they begin planting, and postcards will be sent out by DPS.

#### **ATTACHMENTS:**

The Agreement including the required Insurance Certificate, Bidder's Agreement, Cost Proposal, and Iran Sanctions Act Vendor Certification Form are attached for your review.

#### SUGGESTED COMMISSION ACTION:

Make a motion adopting a resolution approving the contract with KLM Landscape for the purchase and planting of 162 trees for the "2022 Spring Tree Purchase and Plant," for a total project cost not to exceed \$70,800.00. Further, to authorize the Mayor and City Clerk to sign the agreement on behalf of the City. Funds are available from the following accounts: \$17,785.75 from the Local Streets Fund-Forestry Service Contract account #203-449.005-819.0000, \$17,785.75 from the Major Streets Fund-Forestry Service Contract account #202-449.005-819.0000, \$18,614.25 from the Local Streets Fund-Operating Supplies account #203-449.005-729.0000, and \$16,614.25 from the Major Streets Fund-Operating Supplies account #202-449.005-729.0000 for these services.

#### **AGREEMENT OF 2022 Spring Tree Purchase and Plant**

**THIS AGREEMENT** is entered into this \_\_\_\_ day of April, 2022, by and between the **CITY OF BIRMINGHAM**, whose address is 151 Martin Street, Birmingham, MI 48009 (hereinafter referred to as the City) and KLM Landscape, a Michigan LLC, whose address is 70570 Powell, Armada, MI 48005, (hereafter referred to as Contractor, and the foregoing shall collectively be referred to as the parties).

**WHEREAS**, the City desires a Contractor to purchase and install (162) trees in various street right-of-ways and city parks and properties; and

**WHEREAS**, Contractor has qualifications that meet the project requirements and has provided a response and cost proposal to purchase and install (162) trees in various street right-of-ways and city parks and properties.

**NOW, THEREFORE,** in consideration of the foregoing preambles, the adequacy of which is acknowledged by and between the parties to this Agreement, the parties agree as follows:

- 1. **MUTUALLY AGREE**: It is mutually agreed by and between the parties that the City's Request for Proposal for purchase and install (162) trees in various street right-of-ways and city parks and properties, dated March 18, 2022, shall be fully incorporated herein by reference and shall become a part of this Agreement, and shall be binding upon both parties hereto (attached hereto as Attachment "A").
- 2. **TERM:** This Agreement shall have a term of 2-years from the date stated above to encompass the warranty period. The City shall have the right to unilaterally terminate this Agreement on thirty (30) days written notice. In the event of termination, the Contractor shall receive compensation for services to the date the termination takes effect and the City shall be entitled to retain and use the results of all services prepared by the Contractor through such date.
- 3. TERMS OF PAYMENT: The Contractor will invoice monthly for all labor supplied and work completed. In no event shall invoices be submitted more than 45 days after completion of services. Submitted invoices shall include the following detailed information: the type of work performed, the time spent on the work, the individual who performed the work and the per hour billing rate charged. The City may, at its sole discretion demand review and the right to request at any time further detailed accounting information for any or all bills. The right to inspection of any bill and invoice shall never be at any cost or billings to the City, nor shall preparation of said invoices be billed to the City or against the general retainer. Payment terms will be net 30 days unless otherwise specified by the City.
- **4.** Contractor shall employ personnel of good moral character and fitness in performing all services under this Agreement.
- 5. **INSURANCE SUBMISSION REQUIREMENTS:** The Contractor submitted proof to the City that it meets all City insurance requirements. Insurance, with coverage amounts at no less than the City's minimum requirements, must be held by the Contractor throughout the

term of this Agreement. Certificates of insurance as stated below will be required no later than five (5) business days from the date of Contractor acceptance of the terms of this Agreement.

- 6. CONFIDENTIAL AND OR PROPRIETARY INFORMATION: The Contractor that in performing services pursuant to this Agreement, certain confidential and/or proprietary information (including, but not limited to, internal organization, methodology, personnel and financial information, etc.) may become involved. The Contractor recognizes that unauthorized exposure of such confidential or proprietary information could irreparably damage the City. Therefore, the Contractor agrees to use reasonable care to safeguard the confidential and proprietary information and to prevent the unauthorized use or disclosure thereof. The Contractor shall inform its employees of the confidential or proprietary nature of such information and shall limit access thereto to employees rendering services pursuant to this Agreement. The Contractor further agrees to use such confidential or proprietary information only for the purpose of performing services pursuant to this Agreement.
- 7. INDEPENDENT CONTRACTOR: The Contractor and the City agree that the Contractor is acting as an independent contractor with respect to the Contractor role in providing services to the City pursuant to this Agreement, and as such, shall be liable for its own actions and neither the Contractor nor its employees shall be construed as employees of the City. Nothing contained in this Agreement shall be construed to imply a joint venture or partnership and neither party, by virtue of this Agreement, shall have any right, power or authority to act or create any obligation, express or implied, on behalf of the other party, except as specifically outlined herein. Neither the City nor the Contractor shall be considered or construed to be the agent of the other, nor shall either have the right to bind the other in any manner whatsoever, except as specifically provided in this Agreement, and this Agreement shall not be construed as a contract of agency. The Contractor shall not be considered entitled or eligible to participate in any benefits or privileges given or extended by the City, or be deemed an employee of the City for purposes of federal or state withholding taxes, FICA taxes, unemployment, workers' compensation or any other employer contributions on behalf of the City.
- 8. COMPLIANCE WITH LAWS: Contractor agrees to fully and faithfully carry out the duties of set forth herein using its best efforts in accomplishing all assignments from the City, and further, in addition to upholding all federal, and state laws and applicable codes of professional conduct to which Contractor is subject, Contractor hereby agrees to be bound by all Federal, State, or City of Birmingham ordinances, rules, regulations and policies as are amended from time to time, and including without limitation the Fair Labor Standards Act, the Equal Employment Opportunity rules and regulations, the Transportation Safety Act and the Occupational Safety and Health Acts.
- 9. NON-COMPLIANCE WITH INSURANCE REQUIREMENTS: Failure to deliver and maintain insurance in accordance with the terms of this Agreement will be cause for the City, by and through its City Manager, to terminate this Agreement, or at the City's option, the City may purchase on the open market such required insurance and shall be entitled to charge any additional cost to the Contractor, either by offset to any amounts due and owing Contractor for services provided to the City, or, by separate bill and demand for payment. Nothing in this paragraph shall be deemed to create or be interpreted as establishing a "for cause" termination; Contractor agrees and understands that its engagement is at will and may be terminated by the City Manager for any

**10. INDEMNIFICATION:** To the fullest extent permitted by law, the Contractor and any entity or person for whom the Contractor is legally liable, agrees to be responsible for any liability, defend, pay on behalf of, indemnify, and hold harmless the City of Birmingham, its elected and appointed officials, employees and volunteers and others working on their behalf against any and all claims, demands, suits, or loss, including all costs and reasonable attorney fees connected therewith, and for any damages which may be asserted, claimed or recovered against or from the City, its elected and appointed officials, employees, volunteers or others working on their behalf, by reason of personal injury, including bodily injury and death and/or property damage, including loss of use thereof, which arise out of the acts, errors or omissions of the Contractor including its employees and agents, in the performance of this Agreement. Such responsibility shall not be construed as liability for damage caused by or resulting from the sole act or omission of its elected or appointed officials, employees, volunteers or others working on behalf of the City.

#### 11. STANDARD INSURANCE REQUIREMENTS:

The Contractor shall maintain during the life of this Agreement the applicable types of insurance coverage and minimum limits as set forth below:

#### A. Workers' Compensation Insurance:

For Non-Sole Proprietorships: Contractor shall procure and maintain during the life of this Agreement, Workers' Compensation Insurance, including Employers Liability Coverage, in accordance with all applicable statutes of the State of Michigan.

For Sole Proprietorships: Contractor shall complete and furnish to the City prior to the commencement of work under this Agreement a signed and notarized Sole Proprietor Form, for sole proprietors with no employees or with employees, as the case may be.

- B. <u>Commercial General Liability Insurance</u>: Contractor shall procure and maintain during the life of this Agreement, Commercial General Liability Insurance on an "Occurrence Basis" with limits of liability not less than \$1,000,000 per occurrence combined single limit, Personal Injury, Bodily Injury and Property Damage. Coverage shall include the following extensions: (A) Contractor Coverage; (D) Broad Form General Liability Extensions or equivalent; (E) Deletion of all Explosion, Collapse and Underground (XCU) Exclusions, if applicable.
- C. <u>Motor Vehicle Liability</u>: Contractor shall procure and maintain during the life of this Agreement Motor Vehicle Liability Insurance, including all applicable no-fault coverages, with limits of liability of not less than \$1,000,000 per occurrence combined single limit Bodily Injury and Property Damage.

Coverage shall include all owned vehicles, all non-owned vehicles, and all hired vehicles.

- D. Additional Insured: Commercial General Liability and Motor Vehicle Liability Insurance, as described above, shall include an endorsement stating the following Additional Insureds: The City of Birmingham, including all elected and appointed officials, all employee and volunteers, all boards, commissions and/or authorities and board members, including employees and volunteers thereof. This coverage shall be primary to any other coverage that may be available to the additional insured, whether any other available coverage by primary, contributing or excess.
- E. <u>Professional Liability</u>: If applicable, professional liability insurance with limits of not less than \$2,000,000 per claim if Contractor will provide services that are customarily subject to this type of coverage.
- F. <u>Coverage Expiration</u>: If any of the above coverages expire during the term of this Agreement, Contractor shall deliver renewal certificates and/or policies to the City at least (10) days prior to the expiration date.
- G. <u>Proof of Insurance Coverage</u>: Contractor shall provide the City of Birmingham at the time the Agreement is returned for execution, Certificates of Insurance and/or policies, acceptable to the City of Birmingham, as listed below.
  - 1) Two (2) copies of Certificate of Insurance for Workers' Compensation Insurance, or a signed and notarized copy of the Sole Proprietor Form;
  - 2) Two (2) copies of Certificate of Insurance for Commercial General Liability Insurance;
  - 3) Two (2) copies of Certificate of Insurance for Vehicle Liability Insurance;
  - 4) Two (2) copies of Certificate of Insurance for Professional Liability Insurance, if applicable;
  - 5) If so requested, Certified Copies of all policies mentioned above will be furnished.
- H. <u>Maintaining Insurance</u>: Upon failure of the Contractor to obtain or maintain such insurance coverage for the term of the Agreement, the City of Birmingham may, at its option, purchase such coverage and subtract the cost of obtaining such coverage from the Agreement amount. In obtaining such coverage, the City of Birmingham shall have no obligation to procure the most cost-effective coverage but may contract with any insurer for such coverage.

**12. WRITTEN NOTICES:** Written notices regarding this Agreement shall be addressed to the following:

City: City of Birmingham

P.O. Box 3001

Birmingham, Michigan 48012

Attn: Lauren Wood

Contractor: KLM Landscape and snow

Attn: Kirk Knoblach

- 13. COVID: The Contractor shall follow all of the City's COVID-19 safety protocols while on City property. Additionally, Contractor staff which will be in physical contact with city staff must have current vaccinations against COVID-19. The City, at its discretion, may ask for proof of vaccination of Contractor staff. Failure to provide proof of vaccination when requested will cause the City to request un-vaccinated personnel to leave, request alternate staff, and if the Contractor is unable to comply, this violation of safety protocols will constitute a breach of contract by the Contractor.
- **14. AMENDMENTS:** No amendment, modification or supplement to this Agreement shall be binding unless it is in writing and signed by authorized representatives of the parties.
- **15. WAIVER OF BREACH:** No waiver by either party of any breach of any of the terms, covenants or conditions herein contained by the other party shall be construed as a waiver of any succeeding breach of this same or of any other term, covenant or condition.
- 16. COMPLETE AGREEMENT: The parties agree that the conditions set forth in this Agreement sets forth all terms and conditions of Contractor agreement with the City of Birmingham. This Agreement supersedes all prior agreements or understandings between the parties. There are no promises, conditions or understandings other than those stated herein, and, that any prior negotiations, terms or conditions discussed between the City and the Contractor shall not constitute a part of this Agreement. The term "agreement" as used in this clause shall include any future written amendments, modifications, or supplements made in accordance herewith.
- 17. DIRECT OR INDIRECT INTEREST: If, after the effective date of this Agreement, any official of the City, or spouse, child, parent or in-law of such official or employee shall become directly or indirectly interested in this Agreement or the affairs of the Contractor, the City shall have the right to terminate this Agreement without further liability to the Contractor if the disqualification has not been removed within thirty (30) days after the City has given the

Contractor notice of the disqualifying interest. Ownership of less than one percent (1%) of the stock or other equity interest in a corporation or partnership shall not be a disqualifying interest. Employment shall be a disqualifying interest.

- **18. FAILURE TO PERFORM.** If Contractor fails to perform its obligations hereunder, the City may take any and all remedial actions provided by the general specifications or otherwise permitted by law.
- 19. **LEGAL PROCEEDINGS:** Any controversy or claim arising out of or relating to this Agreement, or the breach thereof, shall be settled either by commencement of a suit in Oakland County Circuit Court, the 48th District Court or by arbitration. If both parties elect to have the dispute resolved by arbitration, it shall be settled pursuant to Chapter 50 of the Revised Judicature Act for the State of Michigan and administered by the American Arbitration Association with one arbitrator being used, or three arbitrators in the event any party's claim exceeds \$1,000,000. Each party shall bear its own costs and expenses and an equal share of the arbitrator's and administrative fees of arbitration. Such arbitration shall qualify as statutory arbitration pursuant to MCL §600.5001 et seq., and the Oakland County Circuit Court or any court having jurisdiction shall render judgment upon the award of the arbitrator made pursuant to this Agreement. The laws of the State of Michigan shall govern this Agreement, and the arbitration shall take place in Oakland County, Michigan. In the event that the parties elect not to have the matter in dispute arbitrated, any dispute between the parties may be resolved by the filing of a suit in a federal or state court with jurisdiction over Oakland County, Michigan.
- **20. RESPONSE TO REQUESTS FOR PROPOSALS:** The Contractor shall be held to and bound by all terms, conditions, warranties and representations which it made to the City's Request for Proposals dated March 18, 2022, attached hereto as Attachment "B"). In the event of a conflict in any of the terms of this Agreement and the Contractor's March 18, 2022, response, the terms of this Agreement shall prevail.
- 21. **FAIR PROCUREMENT OPPORTUNITY:** Procurement for the City of Birmingham will be handled in a manner providing fair opportunity for all businesses. This will be accomplished without abrogation or sacrifice of quality and as determined to be in the best interest of the City of Birmingham.

**IN WITNESS WHEREOF,** the parties hereto agree to be bound by the above terms and conditions, and Contractor, by its authorized signature below, expressly accepts this Agreement upon the above provided terms and conditions contained in this Agreement as of the date first above written.

	Contractor: By: Alexandra Skuralt Its: Chi shurt
STATE OF MICHIGAN )	
) ss: COUNTY OF OAKLAND )	
On this day of who acknowledged that with audo so he/she signed this Agreement.	_, 2012, before me personally appeared uthority on behalf of to
Many a Rogers Notary	Public
Sound Clar County, Michigan	
Acting in Melonb County, Michigan 12, 25-20	
My commission expires: 12.05.202	

# **CITY OF BIRMINGHAM:**

By:
Therese Longe, Mayor
By:
Alexandria D. Bingham, City Clerk
Jame a. Wood
Lauren A. Wood, Director of Public Services
(Approved as to substance)
Allul Illi
Mark A. Gerber, Finance Director
(Approved as to Financial Obligation)

Thomas M. Markus, City Manager (Approved as to substance)

Mary M. Kucharek, City Attorney (Approved as to form)



# REQUEST FOR PROPOSALS For 2022 Spring Tree Purchase and Plant

Sealed proposals endorsed "2022 Spring Tree Purchase and Plant", will be received at the Department of Public Services, 851 S. Eton Street, Birmingham, Michigan, 48009; until Friday, March 18, 2022 at 11 a.m., after which time bids will be publicly opened and read. Results will be posted on MITN. At this time bid opening attendance is by appointment only; please contact Brendan McGaughey, listed below.

The City of Birmingham, Michigan is accepting sealed bid proposals from qualified professional firms to purchase and install (162) trees in various street right-of-ways and city parks and properties. This work must be performed as specified accordance with the specifications contained in the Request For Proposals (RFP).

The RFP, including the Specifications, may be obtained online from the Michigan Intergovernmental Trade Network at <a href="http://www.mitn.info">http://www.mitn.info</a> or at the City of Birmingham, 851 S. Eton, Birmingham, Michigan, ATTENTION: Brendan McGaughey.

The acceptance of any proposal made pursuant to this invitation shall not be binding upon the City until an agreement has been executed.

Submitted to MITN:

Wednesday, March 9, 2022

Deadline for Submissions:

Friday, March 18, 2022 at 11 a.m.

Contact Person:

Brendan McGaughey

851 S. Eton St.

Birmingham, MI 48009 Phone: 248-530-1715

Email: bmcgaughey@bhamgov.org



# REQUEST FOR PROPOSALS For 2022 Spring Tree Purchase and Plant

# **Contents**

INTRODUCTION	3
REQUEST FOR PROPOSALS (RFP)	
INVITATION TO SUBMIT A PROPOSAL	3
INSTRUCTIONS TO BIDDERS	3
EVALUATION PROCEDURE AND CRITERIA	
TERMS AND CONDITIONS	5
CONTRACTOR'S RESPONSIBILITIES	6
CITY RESPONSIBILITY	7
SETTLEMENT OF DISPUTES	7
INSURANCE	8
CONTINUATION OF COVERAGE	
EXECUTION OF CONTRACT	8
INDEMNIFICATION	8
CONFLICT OF INTEREST	8
EXAMINATION OF PROPOSAL MATERIALS	8
PROJECT TIMELINE	9
SCOPE OF WORK	10
ATTACHMENT A- AGREEMENT OF 2022 Spring Tree Purchase and Plant	14
ATTACHMENT B - BIDDER'S AGREEMENT	22
ATTACHMENT C - COST PROPOSAL	
ATTACHMENT D. ID AN CANCETONG ACTIVISMOOD CERTIFICATION FORM	7.1

### INTRODUCTION

For purposes of this request for proposals the City of Birmingham will hereby be referred to as "City" and the private firm will hereby be referred to as "Contractor."

The City of Birmingham, Michigan is accepting sealed bid proposals from qualified professional contractors/firms to purchase and install (162) trees in various street right-of-ways and at city parks and properties. This work must be performed as specified accordance with the specifications outlined by the Scope of Work contained in this Request For Proposals (RFP).

During the evaluation process, the City's best interest will be served and reserves the right to request additional information or clarification from proposers, or to allow corrections of errors or omissions. At the discretion of the City, firms submitting proposals may be requested to make oral presentations as part of the evaluation.

It is anticipated the selection of a firm will be completed by April 12, 2022. An Agreement for services will be required with the selected Contractor. A copy of the Agreement is contained herein for reference. Contract services will commence upon execution of the service agreement by the City.

# REQUEST FOR PROPOSALS (RFP)

The purpose of this RFP is to request sealed bid proposals from qualified parties presenting their qualifications, capabilities and costs to purchase and install (162) trees in various street right-of-ways and city parks and properties.

### **INVITATION TO SUBMIT A PROPOSAL**

Proposals shall be submitted no later than Friday, March 18, 2022 at 11 a.m. to:

City of Birmingham Attn: Brendan McGaughey 851 S. Eton St. Birmingham, Michigan 48009

One (1) original and one (1) copy of the proposal shall be submitted. The proposal should be firmly sealed in an envelope, which shall be clearly marked on the outside, "2022 Spring Tree Purchase and Plant". Any proposal received after the due date cannot be accepted and will be rejected and returned, unopened, to the proposer. Proposer may submit more than one proposal provided each proposal meets the functional requirements.

### **INSTRUCTIONS TO BIDDERS**

 Any and all forms requesting information from the bidder must be completed on the attached forms contained herein (see Contractor's Responsibilities). If more than one bid is submitted, a separate bid proposal form must be used for each.

2. Any request for clarification of this RFP shall be made <u>in writing</u> and delivered to:

Brendan McGaughey, 851 S. Eton St., Birmingham, MI 48009

OR bmcgaughey@bhamgov.org

Such request for clarification shall be delivered, in writing, <u>no later than 5 days</u> <u>prior to the deadline for submissions</u>.

- 3. All proposals must be submitted following the RFP format as stated in this document and shall be subject to all requirements of this document including the instruction to respondents and general information sections. All proposals must be regular in every respect and no interlineations, excisions, or special conditions shall be made or included in the RFP format by the respondent.
- 4. The contract will be awarded by the City of Birmingham to the most responsive and responsible bidder with the lowest price and the contract will require the completion of the work pursuant to these documents.
- 5. Each respondent shall include in his or her proposal, in the format requested, the cost of performing the work. Municipalities are exempt from Michigan State Sales and Federal Excise taxes. Do not include such taxes in the proposal figure. The City will furnish the successful company with tax exemption information when requested.
- 6. Each respondent shall include in their proposal the following information: Firm name, address, city, state, zip code, telephone number, and fax number. The company shall also provide the name, address, telephone number and e-mail address of an individual in their organization to whom notices and inquiries by the City should be directed as part of their proposal.

# **EVALUATION PROCEDURE AND CRITERIA**

The evaluation panel will consist of City staff and any other person(s) designated by the City who will evaluate the proposals based on, but not limited to, the following criteria:

- 1. Ability to provide services as outlined.
- 2. Related experience with similar projects, Contractor background, and personnel qualifications.
- 3. Quality of materials proposed.
- 4. Overall Costs.
- References.

### TERMS AND CONDITIONS

- The City reserves the right to reject any or all proposals received, waive informalities, or accept any proposal, in whole or in part, it deems best. The City reserves the right to award the contract to the next most qualified Contractor if the successful Contractor does not execute a contract within ten (10) days after the award of the proposal.
- 2. The City reserves the right to request clarification of information submitted and to request additional information of one or more Contractors.
- 3. The City reserves the right to terminate the contract at its discretion should it be determined that the services provided do not meet the specifications contained herein. The City may terminate this Agreement at any point in the process upon notice to Contractor sufficient to indicate the City's desire to do so. In the case of such a stoppage, the City agrees to pay Contractor for services rendered to the time of notice, subject to the contract maximum amount.
- 4. Any proposal may be withdrawn up until the date and time set above for the opening of the proposals. Any proposals not so withdrawn shall constitute an irrevocable offer, for a period of ninety (90) days, to provide the services set forth in the proposal.
- 5. The cost of preparing and submitting a proposal is the responsibility of the Contractor and shall not be chargeable in any manner to the City.
- 6. Each proposal must be accompanied by a certified check, bidder's bond or bank draft in an amount not less than 5% of the total bid price, payable to the City of Birmingham, Michigan, which it is agreed will be forfeited to the City of Birmingham if the undersigned fails to enter into a contract in conformity with the form of contract incorporated herein, and furnish bonds and insurance as specified within twenty-one (21) days after the contract is awarded to the undersigned or withdraws this bid within sixty (60) days of the date hereof.

No proposal shall be withdrawn for a period of Six (6) months after the date set for the opening of bids.

A single check, bond or draft may serve to cover 2 or more alternative proposals when such alternative proposals are submitted by the same bidder.

- 7. The successful bidder will be required to furnish a Performance Bond in an amount not less than 100% of the contract price in favor of the City of Birmingham, conditioned upon the faithful performance of the contract, and completion on or before the date specified.
- 8. Payment will be made within thirty (30) days after invoice. Acceptance by the City is defined as authorization by the designated City representative to this project that all the criteria requested under the Scope of Work contained herein have been provided. Invoices are to be rendered each month following the date of execution of an Agreement with the City.
- 9. The Contractor will not exceed the timelines established for the completion of this project.
- 10. The successful bidder shall enter into and will execute the contract as set forth and attached as Attachment A.

# **CONTRACTOR'S RESPONSIBILITIES**

Each bidder shall provide the following as part of their proposal:

- Complete and sign all forms requested for completion within this RFP.
  - a. Bidder's Agreement (Attachment B p. 22)
  - b. Cost Proposal (Attachment C p. 23)
  - c. Iran Sanctions Act Vendor Certification Form (Attachment D p. 24)
  - d. Agreement (p. 12 only if selected by the City).
- Provide a description of completed projects that demonstrate the firm's ability to complete projects of similar scope, size, and purpose, and in a timely manner, and within budget.
- 3. Provide a written plan detailing the anticipated timeline for completion of the tasks set forth in the Scope of Work (p. 10).
- 4. The Contractor will be responsible for any changes necessary for the plans to be approved by the City of Birmingham.
- 5. Provide a description of the firm, including resumes and professional qualifications of the principals involved in administering the project.

- 6. Provide a list of sub-contractors and their qualifications, if applicable.
- 7. Provide three (3) client references from past projects, include current phone numbers. At least two (2) of the client references should be for projects utilizing the same materials included in the Contractor's proposal.
- 8. The Contractor will be responsible for the disposal of all material and any damages which occur as a result of any of employees or subcontractors of the Contractor during this project.
- 9. The contractor will be responsible for obtaining the building and parking permits if applicable at no cost to the contractor.
- 10. The successful bidder shall provide a Performance Bond in an amount not less than 100% of the contract price in favor of the City of Birmingham, conditioned upon the faithful performance of the contract, and completion on or before the date specified.
- 11. Provide a project timeline addressing each section within the Scope of Work and a description of the overall project approach. Include a statement that the Contractor will be available according to the proposed timeline.

# CITY RESPONSIBILITY

- 1. The City will provide a designated representative to work with the Contractor to coordinate both the City's and Contractor's efforts and to inspect and verify any work performed by the Contractor.
- 2. The City will provide access to the City of Birmingham during regular business hours or during nights and weekends as approved by the City's designated representative.
- 3. The City will provide a list of planting locations following contract award so the Contractor can contact MISSDIG.

### **SETTLEMENT OF DISPUTES**

The successful bidder agrees to certain dispute resolution avenues/limitations. Please refer to paragraph 17 of the Agreement attached as Attachment A for the details and what is required of the successful bidder.

### INSURANCE

The successful bidder is required to procure and maintain certain types of insurances. Please refer to paragraph 12 of the Agreement attached as Attachment A for the details and what is required of the successful bidder.

### **CONTINUATION OF COVERAGE**

The Contractor also agrees to provide all insurance coverages as specified. Upon failure of the Contractor to obtain or maintain such insurance coverage for the term of the agreement, the City may, at its option, purchase such coverage and subtract the cost of obtaining such coverage from the contract amount. In obtaining such coverage, Birmingham shall have no obligation to procure the most cost effective coverage but may contract with any insurer for such coverage.

### **EXECUTION OF CONTRACT**

The bidder whose proposal is accepted shall be required to execute the contract and to furnish all insurance coverages as specified within ten (10) days after receiving notice of such acceptance. Any contract awarded pursuant to any bid shall not be binding upon the City until a written contract has been executed by both parties. Failure or refusal to execute the contract shall be considered an abandoned all rights and interest in the award and the contract may be awarded to another. The successful bidder agrees to enter into and will execute the contract as set forth and attached as Attachment A.

### INDEMNIFICATION

The successful bidder agrees to indemnify the City and various associated persons. Please refer to paragraph 13 of the Agreement attached as Attachment A for the details and what is required of the successful bidder.

### **CONFLICT OF INTEREST**

The successful bidder is subject to certain conflict of interest requirements/restrictions. Please refer to paragraph 14 of the Agreement attached as Attachment A for the details and what is required of the successful bidder.

### **EXAMINATION OF PROPOSAL MATERIALS**

The submission of a proposal shall be deemed a representation and warranty by the Contractor that it has investigated all aspects of the RFP, that it is aware of the applicable facts pertaining to the RFP process and its procedures and requirements, and that it has read and understands the RFP. Statistical information which may be contained in the RFP or any addendum thereto is for informational purposes only.

# **LIQUIDATED DAMAGES:**

The contractor shall pay to the City of Birmingham as liquidated damages, the sum of \$500/per day for each calendar day after the time period specified under "Time of Completion" that the work to be performed by the Contractor is not completed. Liquidated damages are established to compensate the City and the public for costs caused by the Contractor by the inconvenience of extending the work beyond the time specified.

For the purposes of determining liquidated damages, the contract time for work shall be increased proportionately to increases in contract value (if any) provided both of the following conditions are met:

- 1. Increase in contract value is greater than 10% of the base bid.
- 2. The parties have not adjusted the contract time by other mutually agreeable means such as an executed change order.

# PROJECT TIMELINE

It is anticipated that this project will be completed by May 31, 2022.

The Contractor will not exceed the timelines established for the completion of this project

### SCOPE OF WORK

The Contractor shall perform the following services in accordance with the requirements as defined and noted herein:

- The Contractor shall furnish all labor, materials, and equipment required to perform all required work necessary for the purchase and installation of (162) trees in various street right-of-ways and city parks and properties in accordance with the requirements as defined and noted herein.
- 2. The Contractor shall be responsible for the disposal of all materials in a safe and legal manner. . All bidders will outline their procedures for dust and debris collection during working hours and all cleaning activities.
- 3. The Contractor shall be responsible for repairing any damage caused as a result of working, including grass repairs with seed and topsoil. Damage to irrigation systems must be reported immediately to the City representative. Damaged irrigation pipes should be left above ground and capped/taped off.
- 4. The Contractor shall operate in a safe manner and will observe all MIOSHA guidelines. The Contractor shall provide the City with a copy of its COVID-19 Plan required by MIOSHA
- 5. The Contractor shall provide any and all manuals and/or warranty information related to this project to the City upon completion of the project.
  - a. Contractor must guarantee workmanship for no less than 2 years and perform repairs as needed.
- 6. The Contractor shall comply will all City of Birmingham's regulations for maintaining construction sites.
- 7. This section and referenced documents shall constitute the Scope of Work for this project and as such all requirements must be met.

### **GENERAL GUIDELINES**

### **Planting:**

Stock shall be handled in such a manner that the roots shall remain intact, the branches unbroken, and the bark intact and not loosened from the wood.

Tree balls must be transported and unloaded in such a way as to minimize breaking of the tree ball. Rolling of tree balls down ramps is an <u>unacceptable</u> procedure. Ball carts or "tree jaws" are the preferred methods for moving trees. Loading with mechanical buckets or forks is permitted provided padding is in place to protect the tree trunks from abrasion.

All trees will be planted according to ANSI tree planting specifications. Tree holes shall be dug so root flair is at soil level. Tree holes shall be 12" wider than the root spread of the tree to be planted. On wet, poorly drained sites, the tree should be planted a few inches higher than normal. Measure the proper depth before placing the tree in the hole. All trees shall be planted plumb. All planting holes shall be at least twice the size of the root ball at the top of the planting hole. If unsure about planting in the rain, contractor shall check with City representatives. Trees are not to be placed in front of homes or businesses in advance of planting. Tree holes are not to be dug and left open overnight.

The top 2/3 of the wire basket, twine and burlap must be removed <u>after</u> the tree is firmly set in place in the planting hole. This removal shall include binding twine, burlap, wire loops and first row of wire squares. Existing root balls will be disposed of by contractor. Cut and remove the upper part of the wire basket so it will not interfere with roots as they grow. The hole shall be backfilled with topsoil (see #2 below) and watered. The surface for a radius of three (3) feet around the tree shall be slightly saucered to retain moisture.

The contractor shall remove any existing trees or stumps that may be in the planting location. Restoration of any lawn damaged during installation shall be the responsibility of the tree planting contractor.

All unused excavated material shall be removed from the location and shall be disposed of in a legal and approved manner. The planting site shall be left in a neat and clean condition.

Trees that are planted at the wrong site will be removed and replaced at the Contractor's expense, and the correct species of tree will be planted. The City of Birmingham reserves the right to reject the replanting of a tree that was planted at a wrong address if it is to be transferred to the correct address.

All planting must be completed by May 31, 2022.

### Topsoil:

Backfill material shall consist of one-half native soil and no more than one-half imported topsoil. Native soil, especially clay, is NOT to be placed on top of any planted root ball. Only topsoil is to be used in this application. [NO backfill shall be placed on top of the root ball of the tree].

Topsoil for backfilling shall be fertile, friable, natural topsoil. It shall be without admixture of subsoil and shall be reasonably free of stones, lumps, plants or their roots, sticks or other extraneous matter, and shall not be delivered in a frozen condition. Soil shall contain at least five percent (5%) but not more than twenty percent (20%) by weight of organic matter determined by ignition after being dried to a constant weight at 221°F. The City reserves the right to reject any loads of topsoil which do not meet the above specifications.

### Mulch:

Trees are to be mulched 3" with high quality hardwood mulch. Care should be exercised to ensure that no "mulch volcanoes" are created.

# Pruning:

Trees should have a central leader and a radial branching structure. Any branches that might tend to develop into "V" crotches shall be subordinated so as not to become co-dominant. Care shall be taken in pruning to preserve the natural character of the tree. Dead, broken and badly bruised branches shall be removed with a clean cut.

### Staking:

All trees must be staked, unless otherwise requested by the City.

# Watering (Spring Plant Only):

Trees shall be adequately watered (10-20 gallons) immediately after planting.

#### Notification:

Tree care notices (supplied by the City) shall be placed at all residential locations upon completion of the planting.

# Responsibility for Damage:

The Contractor shall be responsible for all damage done to sod, sidewalk, drive approaches, underground sprinkling systems, wiring, piping, etc., that may occur during the planting operation. The Contractor shall also be responsible for notifying Miss Dig of the starting date of the project far enough in advance to allow all of the utilities to respond. The Contractor will remove the Miss Dig flags and dispose of them after the tree is planted. The Contractor will repair any broken sprinkler lines within 24 hours of any breakage.

### 4. Specifications for Plant Materials:

### Materials must be free of Insects, Disease or Damage:

All plants shall be strong, healthy, clean, well grown, free from insects, disease, rodent or mechanical injuries, disfiguring knots, sun scald, burns, frost cracks, broken bark and dead branches, broken roots, stubs, or any other objectionable features or the results of any of the above mentioned objections. All scars of former pruning shall be smooth and healed.

### Sizes:

All plants shall be of the size specified. The size stated in each case being interpreted to mean dimensions of the plant as it stands in its natural position in the nursery without straightening out of the branches or removing any of its branches or leaders.

# Balled and Burlap:

Plants marked B&B are to be balled and burlapped in the original and undisturbed soil in which they are grown. Plants having earth applied in any manner to the roots after they are dug shall not be accepted. The root balls of plants should be moist and not dried out. Trees will not be accepted if the balls of earth are loosened or broken. Trees may be staked upon request by the City. The minimum diameter of the balls of earth shall be at least equal to those given in the following schedule:

Diameter of tree in Inches	Diameter of Ball in Inches
(a) To 1.5"- 2"	Container
(b) To 2½	24
(c) To 3	28
(d) To 3½	32
(e) To 4	36

# **Certificates of Inspection:**

All shipments of trees must be inspected by the State Department of Agriculture or other appropriate agency, before removal from the nursery, and declared and certified free from disease and insects, subject to local, state, and federal laws relative to the shipping of plants in interstate commerce. All necessary inspection certificates must accompany each shipment.

# ATTACHMENT B - BIDDER'S AGREEMENT

# For 2022 Spring Tree Purchase and Plant

In submitting this proposal, as herein described, the Contractor agrees that:

- 1. They have carefully examined the specifications, terms and Agreement of the Request for Proposal and all other provisions of this document and understand the meaning, intent, and requirement of it.
- 2. They will enter into a written contract and furnish the item or items in the time specified in conformance with the specifications and conditions contained therein for the price quoted by the proponent on this proposal.

Alexandra Stewart	3.18.9089
PREPARED BY	DATE
(Print Name)	Diameter and District Control of the
Maintenance Coordinator	3.18.202a
TITLE	DATE
AUTHORIZED SIGNATURE	Saks @ Klim Landscape not E-MAIL ADDRESS
KLM Landscape and Snow	
70570 Pavell Armoda m 48005	(586) 752-5562
ADDRESS	PHONE
NAME OF PARENT COMPANY	PHONE
ADDRESS	

# ATTACHMENT C - COST PROPOSAL For 2022 Spring Tree Purchase and Plant

In order for the bid to be considered valid, this form must be completed in its entirety. The cost for the Scope of Work as stated in the Request for Proposal documents shall be a lump sum, as follows:

the Scope of Work as stated in the Request for Proposal documents shall be a lump sum, as follows:					
SPECIES	QUANTITY	NURSERY STOCK PRICE W/ 2- YEAR WARRANTY	INSTALLED PRICE (W/ MULCH, INSTALLATION, ETC)	TOTAL PRICE (INSTALLED PRICE x QTY)	NOTES (VARIETY IF APPLICABLE, ETC)
Hybrid D/R ELM (Princeton, Patriot, etc. – NO SIBERIAN)	68 @ 3"-3.5"	\$450.00	\$450.0	\$30,600.00	
'Accolade' ELM	15 @ 3"-3.5"	\$450.00	\$450.00	\$6,750.00	
Columnar Eastern Hophornbeam	5 @ 3"-3.5"	\$495.00	\$495.00	\$2,475.00	
SWAMP WHITE OAK	4 @ 3"-3.5"	\$450.00	\$450.00	\$1,800.00	
Linden 'Littleleaf'	13 @ 2"-2.5"	\$435.00	\$435.00	\$5,655.00	
Thornless Honey locust	1 @ 3"-3.5"	\$300.00	\$300.00	\$300.00	
IVORY SILK LILAC	15 @ 3"-3.5"	\$450.00	\$450.00	\$6,750.00	0
Zelkova	24 @ 3"-3.5"	\$395.00	\$395.00	\$9,480.00	
ZELKOVA 'Musashino'	5 @ 3"-3.5"	\$450.00	\$450.00	\$2,250.00	
SWEETGUM (Male Clone Only)	12 @ 3"-3.5"	\$395.00	\$395.00	\$4,740.00	
TOTAL:	162	\$4,270.00	4,270.00	\$70,800.00	

Firm Name KLM Landscape and snow

# ATTACHMENT D - IRAN SANCTIONS ACT VENDOR CERTIFICATION FORM For 2022 Spring Tree Purchase and Plant

Pursuant to Michigan Law and the Iran Economic Sanction Act, 2012 PA 517 ("Act"), prior to the City accepting any bid or proposal, or entering into any contract for goods or services with any prospective Vendor, the Vendor must certify that it is not an "Iran Linked Business", as defined by the Act.

By completing this form, the Vendor certifies that it is not an "Iran Linked Business", as defined by the Act and is in full compliance with all provisions of the Act and is legally eligible to submit a bid for consideration by the City.

Alexandra Stawart	3.16.2022
PREPARED BY (Print Name)	DATE
Maintenance Coordinator	3.16.2022
TITLE	DATE
AUTHORIZED SIGNATURE	KLM @ KIMlandscape.nct E-MAIL ADDRESS
KLM Landscape and Snow	
70570 Powell Armada mi	4805 (586) 752-5562
ADDRESS	PHONE
NAME OF PARENT COMPANY	PHONE
ADDRESS	
38-3304871	
TAXPAYER I.D.#	



# **CERTIFICATE OF LIABILITY INSURANCE**

DATE (MM/DD/YYYY) 01/11/2022

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

	EPRESENTATIVE OR PRODUCER, AN									
IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(les) must have ADDITIONAL INSURED provisions or be endorsed.  If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).										
	DUCER	) CHE	cerur	icate noider in lieu of suc				<u></u>		
					CONYA NAME:					
	e Insurance Group LLC				PHONE IAIC. N	o. Extl: (240) 0	47-2673	FAX (AJC, No):		
50787 Corporate Dr				E-MAIL ADDRE	ss: heidis@c	oreinsured.con	n			
She	elby Township			MI 48315		0.01-0-1	SURER(S) AFFOI 1 Însurance	ROING COVERAGE		NAIC #
-	RED			40313	INSURE		I Insulance			10857
	KLM Landscape dba KLM Sca	xe & S	now. I	LLC	INSURE					
	70570 Powell Road				INSURE				-	
					INSURE			<del></del>	$\overline{}$	
	Armada			MI 48005	INSURE	121				
				NUMBER: CL221110168				REVISION NUMBER:		-
П	HIS IS TO CERTIFY THAT THE POLICIES OF	INSUF	RANCE	USTED BELOW HAVE BEEN	ISSUE	TO THE INSU	RED NAMED A	BOVE FOR THE POLICY PERI	OD	
C	IDICATED. NOTWITHSTANDING ANY REQU ERTIFICATE MAY BE ISSUED OR MAY PERT XCLUSIONS AND CONDITIONS OF SUCH PO	AIN, T	HE IN:	SURANCE AFFORDED BY THI	E POLIC	IES DESCRIBE	D HEREIN IS S	MITH RESPECT TO WHICH THUBJECT TO ALL THE TERMS,	HS.	
INSA LTR	TYPE OF INSURANCE	AUDI	SUBR			POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITE	4	
	COMMERCIAL GENERAL LIABILITY	1	T			Treatment of the Land	(mm/phittit)		_	0,000
	CLAIMS-MADE OCCUR							DAMAGE TO RENTED PREMISES (Ea occurrence)	s 100,	000
	X AI, WOS, PNC		l						\$ 5,00	0
Α				CPJ9481899		01/11/2022	01/11/2023	PERSONAL & ADV INJURY	1,00	0,000
	GEN'L AGGREGATE LIMIT APPLIES PER							GENERAL AGGREGATE	\$ 2,000,000	
	POLICY X PRO.	l						PRODUCTS - COMP/OP AGG	\$ 2,00	0.000
	OTHER	<b> </b>						L—.	\$	
	AUTOMOBILE LIABILITY							COMBINED SINGLE LIMIT (Ea accident)	\$ 1,00	0,000
	ANY AUTO OWNED SCHEDULED							BODILY INJURY (Per person)	5	
Α	AUTOS ONLY AUTOS			CCJ9481899		01/11/2022	01/11/2023		5	
	AUTOS ONLY NON-OWNED AUTOS ONLY							PROPERTY DAMAGE (Per accident)	\$	
	S transport		_			_			\$	
Α	UMBRELLA LIAB OCCUR	l		CV 10404000				EACH OCCURRENCE	-	00,000
-	CLAIMS-MADE	-		CXJ9481899		01/11/2022	01/11/2023	AGGREGATE	\$ 10,0	00,000
	OED   RETENTION \$	-	-						\$	
	AND EMPLOYERS' LIABILITY YAN							X PER STATUTE ER	4.00	0.000
Α	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? [Mandatory in NH]	N/A		3000112253		01/11/2022	01/11/2023	E.L. EACH ACCIDENT	4.00	0,000
	If yes, describe under								s 1,000	0,000
	DESCRIPTION OF OPERATIONS below	╁─						E.L. DISEASE - POLICY LIMIT	\$ 1,00	5,000
	CRIPTION OF OPERATIONS / LOCATIONS / VEHICL									
Cov	erage as defined in policies. The City of Bin	ningh	am, in	cluding all elected and appoin	nted offic	cials, all employ	ea and volute	ers, all boards, commissions		
Liab	or authorities and board members, including illity including primary non-contributing. 30 c	lay ca	ncella	s and volunteers thereof, are tion:	acded 8	is additional ins	inted iti tegard	s to General Liebliny and Aut	a	
		-								
CEF	RTIFICATE HOLDER				CANC	ELLATION				
	City of Birmingham				THE		ATE THEREOF	SCRIBED POLICIES BE CANO , NOTICE WILL BE DELIVERE / PROVISIONS.		BEFORE
	851 S Eton St				AUTHO	RIZED REPRESEN	ITATIVE			
						nerneath		2.		
	Birmingham			MI 48009			126			



# **MEMORANDUM**

**Department of Public Services** 

DATE:

April 4, 2022

TO:

Thomas M. Markus, City Manager

FROM:

Lauren A. Wood, Director of Public Services

Mike Bernal, Public Services Manager

SUBJECT:

**Purchase Larvicide Material for Mosquito Control Program** 

### INTRODUCTION:

The City currently procures its mosquito control material from Clarke Mosquito Control. The pricing on these products is government regulated by the Department of Agriculture. Clarke is the closest distributor in this area and provides these supplies to other local agencies. We have been pleased with their service and communication with staff about new trends in this area. It is determined no advantage will be gained by the City of Birmingham in bidding out this purchase. Therefore, no competitive bids were obtained for these supplies.

### BACKGROUND

We have been treating the catch basins, approximately 2300, over the past eighteen seasons. This has provided us with a successful program which we continue to re-evaluate. This purchase is for 12 cases of Natular XRT Tablets at \$897.70/case. This application will destroy the mosquito larva and prevent mosquito emergence.

### **LEGAL REVIEW:**

All documentation has been reviewed and approved by the City Attorney's Office.

### FISCAL IMPACT:

Funds are available in the 2021-2022 budget for this purchase and will come from the Sewer Fund-Operating Supplies Account #590-536.002-729.0000.

# **PUBLIC COMMUNICATIONS:**

This does not apply in this case. Information on West Nile is available on the City website

### **SUMMARY:**

The Department of Public Services (DPS) recommends the purchase of this material from Clarke Mosquito Control at a price not to exceed \$10,772.40. The money has been budgeted in Account #590-536.002-729.0000 Sewer Fund-Operating Supplies for this purchase. Reimbursement from Oakland County for the program this year is \$2,705.23, which is an increase of \$56.84 from last year.

### **ATTACHMENTS:**

Attached are the Manager's Report for the Mosquito Control Program, and the Clarke quote for this material purchase.

# SUGGESTED COMMISSION ACTION:

Make a motion adopting a resolution to approve the purchase of the larvicide material from Clarke Mosquito Control in the amount not to exceed \$10,772.40. Further, to waive the normal bidding requirements based on the government regulated pricing for this type of material. Funds for this purchase will come from the Sewer Fund-Operating Supplies Account #590-536.002-729.0000.



QUOTATION

Page: 1(1)

675 Sidwell Ct St Charles, IL 60174 U.S.A. www.darke.com TOLL-FREE: 800-323-5727

PH: 630-894-2000 FAX: 630-443-3070 EMAIL: customercare@clarke.com

B City of Birmingham-DPS (004384)

Tim Carpenter PO Box 3001

Birmingham, MI 48012-3001

T 248-530-1800 0 248-644-5614 S City of Birmingham

H Tim Carpenter
851 S. Eton Str

P Public Services (#2552)

Birmingham, MI 48009-6870

248-644-1800 248-644-5614

Address ID: 000001

			7401	033 ID.	000001
Quote Date	Salesperson	Written by			Valid to
03/25/22	Chris Novak	Gabriela - Sa	les Associate		04/30/22
	Terms				Y'U. I
st	Net 30 Days				
item Descripti	on	Qty Ordered	Unit Price	Exten	ded Price
NATULAR XRT	TABLET	12 cs	897.7000/	cs	10,772.40
		Order Total			10,772.40
		Total		i	10,772.40
	03/25/22  st Item Descripti NATULAR XRT	03/25/22 Chris Novak Terms  st Net 30 Days Item Description  NATULAR XRT TABLET	O3/25/22 Chris Novak Gabriela - Sa  Terms  Ist Net 30 Days  Item Description Qty Ordered  NATULAR XRT TABLET 12 cs  Trent Label Order Total	Quote Date Salesperson Written by  03/25/22 Chris Novak Gabriela - Sales Associate  Terms  Ist Net 30 Days  Item Description Qty Ordered Unit Price  NATULAR XRT TABLET 12 cs 897.7000/ Trent Label  Order Total	O3/25/22 Chris Novak Gabriela - Sales Associate  Terms  Ist Net 30 Days  Item Description Qty Ordered Unit Price Exten  NATULAR XRT TABLET Tent Label  Order Total

Clarke will charge applicable sales taxes unless a valid exemption certificate is Emailed to: accountsreceivable@clarke.com or faxed to: 630-672-7439

<sup>\*</sup> For your convenience we also accept Visa and MasterCard

<sup>\*</sup> A 15% restocking fee plus freight costs may be assessed to any returned items.
Items must be returned within 120 days of shipment and in an acceptable condition.



# **MEMORANDUM**

**Planning Division** 

DATE: April 11, 2022

TO: Thomas Markus, City Manager

FROM: Nicholas Dupuis, Planning Director

SUBJECT: Set Public Hearing for 2225 E. 14 Mile – Our Shepherd – Special

Land Use Permit Amendment, Final Site Plan & Design Review

#### INTRODUCTION:

The applicant has submitted an application for a Special Land Use Permit Amendment, Final Site Plan and Design Review for extensive renovations to an existing off-street parking facility, new signage, and two new covered entries.

### **BACKGROUND:**

On March 23, 2022, the Planning Board moved to recommend approval to the City Commission the Special Land Use Permit Amendment, Final Site Plan and Design Review application for 2225 E. 14 Mile with the following conditions

- 1. The applicant must submit revised site plans with parking lot screening that meets the requirements of Section 4.54, or obtain a variance from the Board of Zoning Appeals;
- 2. The applicant must submit revised landscaping plans replacing the prohibited Burning Bush Plantings with a permitted species.
- 3. The applicant must submit revised site plans with the required street trees on Melton and 14 Mile, obtain a variance from the Board of Zoning Appeals, or obtain a waiver from the Staff Arborist.
- 4. The applicant must submit revised photometric plans that meet the requirements of Article 4, Section 4.21 of the Zoning Ordinance;
- 5. The applicant must submit revised sign plans that meet the requirements of the Sign Ordinance, or obtain a variance from the Board of Zoning Appeals; and
- 6. The applicant must comply with the requests of all City Departments.

The Planning Division will provide amended site and design plans addressing the Planning Board comments at the Public Hearing on May 9, 2022.

### **LEGAL REVIEW:**

The City Attorney has reviewed this request and resolution and has no objections as to form and content.

# FISCAL IMPACT:

There are no fiscal impacts for this agenda item.

### PUBLIC COMMUNICATIONS:

As required for Special Land Use Permit and Final Site Plan Reviews, a legal ad was placed in a newspaper of local circulation to advertise the nature of the request in advance of the March 23, 2022 Planning Board meeting, and notices were sent out to all property owners and tenants within 300 ft. of the property. In addition, a second round of notices will be sent out to advertise the public hearing at the City Commission on May 9, 2022.

#### SUMMARY:

The Planning Division requests that the City Commission consider the Special Land Use Permit Amendment, Final Site Plan and Design Review application for 2225 E. 14 Mile – Our Shepherd.

### ATTACHMENTS:

Please find attached the following documents for your review:

- Special Land Use Permit Resolution
- Current Site/Design Plans
- Planning Division Reports
- Planning Board Review Site/Design Plans
- Application & Supporting Documents
- Meeting Minutes

### SUGGESTED COMMISSION ACTION:

Make a motion adopting a resolution to set a public hearing date of May 9, 2022 to consider the Special Land Use Permit Amendment, Final Site Plan and Design Review application for 2225 E. 14 Mile – Our Shepherd – to allow new parking lot landscaping, signage and new covered entries at an existing religious institution in the R2 zoning district.

### **Our Shepherd Lutheran Church**

2225 E. 14 Mile Special Land Use Permit Amendment 2022

WHEREAS, A Special Land Use Permit Amendment application was filed in January 2022 for approval of parking lot changes, new signage and new covered entries at 2225 E. 14 Mile;

WHEREAS, The land for which the Special Land Use Permit Amendment is sought is located on the north side of 14 Mile, east of Melton;

WHEREAS, The land is zoned R2, which permits the operation of a religious institution with a Special Land Use Permit;

WHEREAS, Article 7, section 7.34 of Chapter 126, Zoning requires a Special Land Use Permit to be considered and acted upon by the Birmingham City Commission, after receiving recommendations on the site plan and design from the Planning Board for the proposed Special Land Use;

WHEREAS, The Planning Board on March 23, 2022 reviewed the application for a Special Land Use Permit Amendment, Final Site Plan and Design Review and recommended approval to the City Commission to allow parking lot changes, new signage and new covered entries with the following conditions:

- 1. The applicant must submit revised site plans with parking lot screening that meets the requirements of Section 4.54, or obtain a variance from the Board of Zoning Appeals;
- 2. The applicant must submit revised landscaping plans replacing the prohibited Burning Bush Plantings with a permitted species.
- 3. The applicant must submit revised site plans with the required street trees on Melton and 14 Mile, obtain a variance from the Board of Zoning Appeals, or obtain a waiver from the Staff Arborist.
- 4. The applicant must submit revised photometric plans that meet the requirements of Article 4, Section 4.21 of the Zoning Ordinance;
- 5. The applicant must submit revised sign plans that meet the requirements of the Sign Ordinance, or obtain a variance from the Board of Zoning Appeals; and
- 6. The applicant must comply with the requests of all City Departments.

WHEREAS, The applicant has agreed to provide all requested information and to comply with the requests of all City departments;

WHEREAS, The Birmingham City Commission has reviewed Our Shepherd's Special Land Use Permit Amendment application and the standards for such review as set forth in Article 7, section 7.36 of Chapter 126, Zoning, of the City Code;

NOW, THEREFORE, BE IT RESOLVED, The Birmingham City Commission finds the standards imposed under the City Code have been met, subject to the conditions below, and that Our Shepherd's application for a Special Land Use Permit Amendment, Final Site Plan and Design Review at 2225 E. 14 Mile is hereby approved;

BE IT FURTHER RESOLVED, That the City Commission determines that to ensure continued compliance with Code standards and to protect public health, safety, and welfare, this Special Land Use Permit Amendment is granted subject to the following conditions:

- 1. Our Shepherd shall abide by all provisions of the Birmingham City Code;
- 2. The Special Land Use Permit may be canceled by the City Commission upon finding that the continued use is not in the public interest.

BE IT FURTHER RESOLVED, That failure to comply with any of the above conditions shall result in termination of the Special Land Use Permit.

BE IT FURTHER RESOLVED, Except as herein specifically provided, Our Shepherd and its heirs, successors, and assigns shall be bound by all ordinances of the City of Birmingham in effect at the time of the issuance of this permit, and as they may be subsequently amended. Failure of Our Shepherd to comply with all the ordinances of the City may result in the Commission revoking this Special Land Use Permit.

BE FURTHER RESOLVED that Our Shepherd is recommended for parking lot changes, new signage and new covered entries, above all others, subject to final inspection.

I, Alexandria Bingham, City Clerk of the City of Birmingham, Michigan, do hereby certify that the foregoing is a true and correct copy of the resolution adopted by the Birmingham City Commission at its regular meeting held on May 9, 2022.

Alexandria Bingham City Clerk



# **MEMORANDUM**

**Planning Division** 

DATE: March 23, 2022

TO: Planning Board Members

FROM: Nicholas Dupuis, Planning Director

SUBJECT: 2225 E. 14 Mile – Our Shepherd Lutheran Church – Special Land

Use Permit, Final Site Plan & Design Review

### Introduction

The subject site, 2225 E. 14 Mile, is located at the southeastern boundary of Birmingham in the R2 (Single-Family Residential) zoning district. Presently, the 5.3-acre parcel contains a large 35,000 sq. ft. church building, a parking lot with roughly 224 off-street parking spaces, landscaping, and signage. The site is directly adjacent to the Clover Hill Park Cemetery to the east and the Eton Academy to the north. The current use as a religious institution is permitted as a Special Land Use in the R2 zone.

The applicant is proposing renovations of the existing parking facility, the installation of 2 new covered entries, a new dumpster enclosure, and four new signs. No other changes are proposed to the building façade or site.

### 1.0 Land Use and Zoning

- 1. <u>Existing Land Use</u> The existing land use is single-family residential, and is currently used as a religious institution.
- 2. <u>Zoning</u> The subject site exists within the R2 (Single-Family Residential) zoning district.
- 3. Summary of Adjacent Land Use and Zoning -

	North	South	East	West
Existing Land Use	Single-Family Residential	N/A	Single-Family Residential	Single-Family Residential, Office
Existing Zoning District	R2 (Single- Family Residential)	N/A	R2 (Single- Family Residential)	R2 (Single- Family Residential), O1 (Office)
Overlay Zoning District	N/A	N/A	N/A	N/A

# 2.0 Setback and Height Requirements

The attached zoning compliance summary analysis provides the required and proposed bulk, area, and placement regulations for the proposed project. There are no bulk, area and placement issues with the proposed Special Land Use, Final Site Plan and Design Review application submitted.

# 3.0 Screening and Landscaping

- 1. <u>Dumpster Screening</u> The applicant is proposing a new dumpster enclosure as a part of the parking lot renovations. The proposed enclosure is constructed of capped masonry and wood gates. The proposed height of the screen wall is roughly 7 ft. in height. Article 4, Section 4.54 (C)(7) requires a 6 ft. masonry screen wall in business, office and multifamily districts only. However, the applicant appears to be meeting the purpose of Section 4.54 in providing the barrier to contain visual disarray, debris and other factors detrimental to the health, safety and welfare of the community.
- 2. Parking Lot Screening Article 4, Section 4.54 requires a 32 in. capped masonry screen wall along the side or rear line of any parking facility which immediately adjoins the side line of property zoned to a residential district provided that the screen wall along the side of a parking facility located in the parking district shall not extend further than the front setback area of the abutting residential district.

In addition, screen walls are required along the front or side of any parking facility that abuts a street. When the property being utilized for the parking facility is zoned residential, the screen wall shall be placed along the setback line.

At this time, the applicant has not proposed any screen wall material in any of the locations required by Section 4.54. Currently, fencing exists on the east side of the property adjacent to the Clover Hill Park Cemetery, which consists of ordinary chain-link and some decorative fencing. There are certain aspects of the landscaping proposed that could cover a portion of the required screening, but it did not appear to be the applicant's intent to do so. The applicant will be required to submit revised site plans with parking lot screening that meets the requirements of Section 4.54, or obtain a variance from the Board of Zoning Appeals.

- 3. <u>Mechanical Equipment Screening</u> There are no new ground mounted of rooftop mechanical units proposed as a part of the application submitted.
- 4. <u>Landscaping</u> Article 7, Section 7.37 (A) states that the City Commission may impose any or all of the following conditions of approval:

- 1. Conditions to ensure that public services and facilities affected by the proposed land use will be capable of accommodating increased service and facility loads caused by the land use.
- 2. Conditions to protect the natural environment and conserve natural resources and energy.
- 3. Conditions to ensure compatibility with adjacent uses of land and to promote the use of land in a socially and economically desirable manner.
- 4. Any other condition which the City Commission deems necessary to meet the standards established in subsection (A) of this section.

Pursuant to Section 7.37 above, the Planning Division requested that the applicant comply with the Landscaping Standards in Article 4, Section 4.20 for the parking lot renovations within the R2 zoning district. Section 4.20 requires Parking lots greater than 7,500 square feet to meet the following interior landscaping requirements:

- 1. Within the parking lot, there shall be interior landscaping areas that total not less than 5% of the total parking lot interior area.
- 2. Each interior planting area shall be at least 150 square feet in size, and not less than 8 feet in any single dimension.
- 3. There shall be at least one canopy tree for each 150 square feet or fraction thereof of interior planting area required.
- 4. The interior planting areas shall be located in a manner that breaks up the expanse of paving throughout the parking lot interior.

The applicant has submitted a detailed landscaping plan that detail the location and planting types for all new landscaping proposed in the 78,361 sq. ft. off-street parking facility. In order to meet the landscaping requirements of Section 4.20, the applicant would be required to provide 3,918 sq. ft. of landscaped area (5%). Although the applicant did not include the proposed bio-garden within the square footage of their proposed interior landscaping, the Planning Division considers it as such due to its close proximity and the integral infrastructure function it performs for the parking facility. Thus, the applicant has proposed a total of roughly 17,522 sq. ft. of landscaping (22.4%, 13,633 bio-garden & 3,889 planting islands). Each of the landscaped areas is greater than 150 sq. ft. and measures not less than 8 ft. in any dimension.

Additionally, the applicant is required to provide 26 canopy trees total within the interior planting areas. 26 canopy trees have been provided on the landscaping plans proposed, and an additional 10 trees are proposed across the site. Each tree proposed appears to meet the maturity requirements at the time of planting.

A review of the plant lists provided on sheets LS-1, LS-2 and LS-3 indicate that the majority of the plantings proposed are permitted, and a majority of the plantings are native. However, the 21 Euonymus Altus (Burning Bush) plantings proposed at the southeast corner of the property are prohibited per

Section 4.20 (D)(4) of the Zoning Ordinance. The applicant must submit revised landscaping plans replacing the prohibited Burning Bush Plantings with a permitted species. The applicant is encouraged to consider evergreen arborvitae plantings to provide screening as described in the above parking lot screening section.

5. <u>Streetscape</u> – In terms of the streetscape, there are presently 9 street trees on Melton, and 8 street trees on 14 Mile. Article 4, Section 4.20 (G) requires at least 1 street tree for each 40 linear feet of frontage. The Staff Arborist may waive this requirement if there is not adequate green space in the right-of-way to support such trees. The following table outlines the street tree requirements for the site:

Street	Frontage (ft.)	Required	Proposed
Melton	450	11	9
14 Mile	515	13	10

In the landscaping plans submitted, it appears as though the applicant is considering several trees that are on private property as street trees, which is not permitted. At this time, the proposal is deficient by 5 street trees. The applicant must submit revised site plans with the required street trees on Melton and 14 Mile, obtain a variance from the Board of Zoning Appeals, or obtain a waiver from the Staff Arborist.

At this time, it is worth noting that the Planning Division has discussed the street tree requirements with the Staff Arborist, who is willing to work with the applicant to inspect the existing trees and the streetscape conditions to determine if there is any space for new trees based on the species and maturity of existing trees.

# 4.0 Parking, Loading and Circulation

1. <u>Parking</u> – As noted above, the existing parking facility contains roughly 224 off-street parking spaces. The applicant is not proposing any changes to the building or required parking, which is based on the number of seats within the religious institution:

Use	Calculation	Required	Proposed
Religious Institution	1 space for each 6 seats	94	200

With 563 seats available, the applicant exceeds the required 94 off-street parking spaces. The proposed 200 off-street parking spaces include 7 barrier-free spaces. Additionally, the 200 parking spaces proposed appear to meet the minimum 180 sq. ft. requirement.

2. <u>Loading</u> – The religious institution use category does not require any off-street loading facilities; thus none are proposed.

- 3. <u>Vehicular Circulation and Access</u> Vehicular circulation and access will remain the same with two drive aisles locates along 14 Mile and two along Melton.
- 4. <u>Pedestrian Circulation and Access</u> Pedestrian access to the site will remain as is existing. The site currently contains a public sidewalk along 14 Mile and Melton, and contains interior sidewalks that access the building. Additionally, the applicant appears to be proposing a walkway within the large central landscaping island that will offer patrons a protected area to walk.

# 5.0 Lighting

The applicant has submitted detailed specifications and a photometric plan for the proposed lighting for the development. The lighting plan consists of the following luminaires:

Luminaire Type	Location	Qty.	Manufacturer
Area Luminaires	Parking lot areas	26	Lithonia Lighting
LED Bollards	Front parking area	9	BEGA
Recessed Downlights	Covered entries (front & Rear)	18	Lithonia Lighting
Wall Sconces	Rear of building	5	Lithonia Lighting
Linear Highlights	Adjacent to new signage	14	Hydrel

Article 4, Section 4.21 (D) requires all proposed luminaires to be fully cut-off and positioned in a manner that does not unreasonably invade abutting or adjacent properties. Each luminaire proposed appears to be fully cut-off as defined by Article 9, Section 9.02 of the Zoning Ordinance with the exception of the linear highlights, which would appear to be directed upwards towards the signs in which they are proposed to illuminate. Exception to cutoff luminaries can be made at the discretion of the Planning Board under any of the following conditions:

- a. The distribution of upward light is controlled by means of refractors or shielding to the effect that it be used solely for the purpose of decorative enhancement of the luminaire itself and does not expel undue ambient light into the nighttime environment.
- b. The luminaire is neither obtrusive nor distracting, nor will it create a traffic hazard or otherwise adversely impact public safety, with appropriate methods used to eliminate undesirable glare and/or reflections.
- c. The luminaire is consistent with the intent of the Master Plan, Urban Design Plan(s), Triangle district plan, Rail District plan and/or Downtown Birmingham 2016 Report, as applicable.
- d. The scale, color, design or material of the luminaire will enhance the site on which it is located, as well as be compatible with the surrounding buildings or neighborhood.
- e. Lighting designed for architectural enhancement of building features (i.e. architectural enhancement lighting). Appropriate methods shall be used to minimize reflection and glare.
- f. The site lighting meets all requirements set forth in this ordinance including, but not limited to, light trespass and nuisance violations.

Furthermore, Section 4.21 (E) states that the intensity of light on a site shall not exceed six-tenths (0.6) maintained foot-candles at any property line that abuts a single-family residential zoned property or one and one half (1.5) maintained foot-candles at any property line for any other zoned property. The light intensity shall be measured at 6 ft. above ground level on a vertical plane. The photometric plan submitted shows illuminance levels that do not exceed the requirements of the Zoning Ordinance across the majority of the site. However, the area luminaires proposed along the east side of the property exceed the light intensity requirements at the property line with figures as high as 4.9 maintained foot-candles. In addition, the notes section on the photometric plan suggest that the calculations were provided at 0 ft. as opposed to the 6 ft. required. The applicant must submit a revised photometric plan with light intensity calculations shown at 6 ft. above ground level and maintained foot-candles at 0.6 or below at the eastern property line.

In addition to light intensity at the property lines, the applicant is required to provide a minimum light intensity for the parking facility of a minimum of 0.2 foot-candles. The photometric plan provided shows the entirety of the parking facility above 0.2 foot-candles, thus meeting the requirement. An additional requirement for parking lot lighting is a requirement that the maximum height for pole mounted luminaries, including a base or pedestal and pole, measured from ground level to the highest point on the luminaries shall be 13 ft. for parking lots adjacent to residential properties. **The applicant must submit revised photometric plans indicating the height of the proposed area luminaires.** 

Finally, Article 4, Section 4.21 (E)(3) states that the lighting under vehicular canopies shall have a maximum point of illuminance of ten (10) maintained foot-candles measured on a horizontal plane at ground level. The photometric plan provided indicates a light intensity exceeding 10 maintained foot-candles at the new covered entries. Thus, the applicant must submit a revised photometric plan indicating a light intensity of no greater than 10 maintained foot-candles beneath the covered entries.

### 6.0 Departmental Reports

- 1. <u>Engineering Division</u> Please see the attached Engineering Division comments dated March 7, 2022.
- 2. <u>Department of Public Services</u> The Department of Public Services (DPS) has stated that they do not feel as though it is appropriate to consider private trees as a part of the street tree requirements. In addition, the DPS has indicated that they would be willing to work with the applicant to analyze the street tree conditions and provide new trees where conditions permit.
- 3. Fire Department The Fire Department has no concerns at this time.
- 4. Police Department The Police Department has no concerns at this time.

- 5. <u>Building Division</u> Please see the attached Building Division comments dated March 4, 2022.
- 6. <u>Parking Manager</u> The Parking Manager has no concerns at this time.

### 7.0 Design Review

As noted above, the applicant is proposing minimal changes to the building itself. At this time, the applicant is proposing two changes requiring Design Review, which are the two new covered entries and 4 new signs.

The proposed covered entries are located at the main entrances at the front and rear of the building. The front entry projects 36.5 ft. from the building and covers a walkway into the building. The rear entry projects 63.5 ft. from the building, and includes an area for vehicles to drop off patrons for service. The covered entries are proposed to be constructed of brick, asphalt shingles, metal fascia at the roofline, and a stone cap. The peak of the covered entry in the front is roughly 22 ft., and contains an aluminum cross that projects an additional roughly 4 ft. above the peak. The rear covered entry contains a flat roof and measures 15 ft. in height. Additionally, there is a freestanding metal cross located on the west side of the rear covered entry.

### <u>Signage</u>

As far as signage, three of the proposed signs are ground signs, while the fourth is a name letter sign proposed on a column of the rear covered entry. Article 1, Table D of the Sign Ordinance permits religious institutions to have one sign at 20 sq. ft. or less if less than 500 ft. from occupied residential dwellings, or 40 square feet if more than 500 ft. from occupied residential dwellings.

The signs as designed will be attached to a new structure that is composed of brick and stone to match the principal building. At this time the Planning Division is assuming the signs to be double sided, although it is unclear in the sign plan submitted.

Sign Type	Location	Area (sq. ft.)
Ground Sign (Sign Type A)	Entry @ SE corner	40
Ground Sign (Sign Type A)	Corner of 14 Mile & Melton	40
Ground Sign (Sigh Type B)	Drive aisle on Melton	12
Name Letter Sign	Rear covered entry	12

Due to the number of signs, which exceeds the one sign permitted, the applicant also does not meet the distance requirements to obtain the larger signage area allowance. However, the total area of the signs as proposed far exceeds 40 sq. ft. at 104 sq. ft. proposed. In addition, there appears to be at least one existing sign in the lawn area in front of the building along 14 Mile, and it is unclear as to what is proposed for the existing sign. In summation, the applicant must submit revised sign plans that meet the requirements of the Sign Ordinance, or obtain a variance from the Board of Zoning Appeals.

#### 8.0 Required Attachments

	Submitted	Not Submitted	Not Required
Existing Conditions Plan	$\boxtimes$		
Detailed and Scaled Site Plan	$\boxtimes$		
Certified Land Survey	$\boxtimes$		
Interior Floor Plans			$\boxtimes$
Landscape Plan	$\boxtimes$		
Photometric Plan	$\boxtimes$		
Colored Elevations	$\boxtimes$		
Material Specification Sheets			
Material Samples			$\boxtimes$
Site & Aerial Photographs	$\boxtimes$		

## 9.0 Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- (1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- (2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- (3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property nor diminish the value thereof.
- (4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- (5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- (6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

In addition, Article 7, Section 7.26 requires applications for a Special Land Use Permit to meet the following criteria:

(1) The use is consistent with and will promote the intent and purpose of this Zoning Ordinance.

- (2) The use will be compatible with adjacent uses of land, the natural environment, and the capabilities of public services and facilities affected by the land use.
- (3) The use is consistent with the public health, safety and welfare of the city.
- (4) The use is in compliance with all other requirements of this Zoning Ordinance.
- (5) The use will not be injurious to the surrounding neighborhood.
- (6) The use is in compliance with state and federal statutes.

### 10.0 Recommendation

Based on a review of the site plan submitted, the Planning Division finds that the proposed Final Site Plan meets the requirements of Article 7, section 7.27 of the Zoning Ordinance and recommends that the Planning Board recommend **APPROVAL** of the Final Site Plan and Design Review for 2225 E. 14 Mile – Our Shepherd – to the City Commission with the following conditions:

- 1. The applicant must submit revised site plans with parking lot screening that meets the requirements of Section 4.54, or obtain a variance from the Board of Zoning Appeals;
- 2. The applicant must submit revised landscaping plans replacing the prohibited Burning Bush Plantings with a permitted species.
- 3. The applicant must submit revised site plans with the required street trees on Melton and 14 Mile, obtain a variance from the Board of Zoning Appeals, or obtain a waiver from the Staff Arborist.
- 4. The applicant must submit revised photometric plans that meet the requirements of Article 4, Section 4.21 of the Zoning Ordinance;
- 5. The applicant must submit revised sign plans that meet the requirements of the Sign Ordinance, or obtain a variance from the Board of Zoning Appeals; and
- 6. The applicant must comply with the requests of all City Departments.

#### AND

The Planning Division finds that the proposed Final Site Plan and the Religious Institution use meets the requirements of Article 7, Section 2.26 of the Zoning Ordinance and recommends that the Planning Board recommend **APPROVAL** of the Special Land Use Permit for 2225 E. 14 Mile – Our Shepherd – to the City Commission subject to the conditions of Final Site Plan approval.

#### 11.0 Sample Motion Language (Final Site Plan & Design Review)

Motion to recommend **APPROVAL** to the City Commission the Final Site Plan and Design Review for 2225 E. 14 Mile – Our Shepherd – subject to the following conditions:

- 1. The applicant must submit revised site plans with parking lot screening that meets the requirements of Section 4.54, or obtain a variance from the Board of Zoning Appeals;
- 2. The applicant must submit revised landscaping plans replacing the prohibited Burning Bush Plantings with a permitted species.
- 3. The applicant must submit revised site plans with the required street trees on Melton and 14 Mile, obtain a variance from the Board of Zoning Appeals, or obtain a waiver from the Staff Arborist.
- 4. The applicant must submit revised photometric plans that meet the requirements of Article 4, Section 4.21 of the Zoning Ordinance;
- 5. The applicant must submit revised sign plans that meet the requirements of the Sign Ordinance, or obtain a variance from the Board of Zoning Appeals; and
- 6. The applicant must comply with the requests of all City Departments.

#### OR

Motion	to	POSTPON	E the	Final	Site	Plan	and	Design	Review	for	2225	E.	14	Mile	<ul><li>Our</li></ul>
Shephe	rd ·	<ul><li>pending r</li></ul>	eceip	t of th	ne fol	lowin	ıg:								

1.	
2.	
3.	
	OR

Motion to recommend **DENIAL** to the City Commission the Final Site Plan and Design Review for 2225 E. 14 Mile – Our Shepherd – for the following reasons:

## 12.0 Sample Motion Language (Special Land Use Permit)

Motion to recommend **APPROVAL** to the City Commission the Special Land Use Permit for 2225 E. 14 Mile – Our Shepherd – subject to the conditions of Final Site Plan approval.

#### OR

Motion to **POSTPONE** the Special Land Use Permit for 2225 E. 14 Mile – Our Shepherd – pending receipt of the following:

1.	
2.	
3.	

Motion to recommend <b>DENIAL</b> to the City Commission the Special Land Use Permit for
2225 E. 14 Mile – Our Shepherd – for the following reasons:

1.	
2.	
3.	
٠.	

## Zoning Compliance Summary Sheet Special Land Use Permit, Final Site Plan and Design Review 2225 E. 14 Mile – Our Shepherd

**Existing Site:** Religious Institution and associated parking facility

Zoning: R2 (Single-Family Residential)
Land Use: Institutional/Special Land Use

### **Existing Land Use and Zoning of Adjacent Properties:**

	North	South	East	West
Existing Land Use	Single-Family Residential	N/A	Single-Family Residential	Single-Family Residential, Office
Existing Zoning District	R2 (Single- Family Residential)	N/A	R2 (Single- Family Residential)	R2 (Single- Family Residential), O1 (Office)
Overlay Zoning District	N/A	N/A	N/A	N/A

**Land Area:** Existing: 5.3 ac

Proposed: 5.3 ac (no changes proposed)

**Dwelling Units:** Existing: 0 units

Proposed: 0 units (no changes proposed)

Minimum Lot Area/Unit: Required: N/A

Proposed: N/A

Min. Floor Area /Unit: Required: 1,000 sq. ft. (one story)

1,200 sq. ft. (> one story)

Proposed: N/A

Max. Total Floor Area: Required: N/A

Proposed: N/A

Min. Open Space: Required: 40%

Proposed: 44.2%

Max. Lot Coverage: Required: 30%

Proposed: 15.6%

Front Setback: Required: 25 ft.

Proposed: 25 ft. (no changes proposed)

**Side Setbacks** Required: 9 feet or 10% of total lot width whichever is larger for

one side yard

14 feet or 25% of total lot width whichever is larger for

both side yards

no side yard shall be less than 5 feet

Proposed: 25 ft. on west side (no changes proposed)

77.18 on east side (no changes proposed)

**Rear Setback:** Required: 30 ft.

Proposed: 30 ft. (no changes proposed)

Min. Front+Rear Setback Required: N/A

Proposed: N/A

Max. Bldg. Height: Permitted: 26 feet to midpoint for sloped roofs; 24 feet for flat roofs

only; 2 stories

Proposed: ~72 ft. (no changes proposed)

Min. Eave Height: Required: 24 ft.

Proposed: 16 ft. (no changes proposed)

Floor-Floor Height: Required: N/A

Proposed: N/A

Front Entry: Required: N/A

Proposed: N/A

Absence of Bldg. Façade: Required: N/A

Proposed: N/A

**Opening Width:** Required: N/A

Proposed: N/A

**Parking:** Required: 94 off-street spaces

Proposed: 200 off-street spaces

Min. Parking Space Size: Required: 180 sq. ft.

Proposed: 180 sq. ft.

Parking in Frontage: Required: N/A

Proposed: N/A

**Loading Area:** Required: 0

Proposed: 0 (no changes proposed)

Screening:

<u>Parking</u>: Required: 32 in. capped masonry screen wall

Proposed: **NONE** 

Loading: Required: Screened from view

Proposed: N/A

Rooftop Mechanical: Required: Screened from view

Proposed: (no changes proposed)

Elect. Transformer: Required: N/A

Proposed: N/A

<u>Dumpster</u>: Required: Masonry screen wall with wood gates

Proposed: 7 ft. masonry screen enclosure with wood gates



## **MEMORANDUM**

## **Engineering Department**

**DATE:** March 7, 2022

TO: Nicholas Dupuis, Planning Director

FROM: Scott D. Zielinski, Assistant City Engineer

SUBJECT: Preliminary Site Plan Review - 2225 E 14 Mile Rd (Our Shepherd

**Lutheran Church)** 

The Engineering Department has completed a review of the Preliminary Site Plan prepared by Sujak Engineering PLC, dated 1/21/2022, with respect to conformance with City ordinances and engineering standards, and has the following comments:

#### **GENERAL**:

- Site plans appear to reflect the pre submission meeting in regards to storm water runoff requirements.
- Sidewalk/Drive Approach Permit will be required for any pavement installed in the public right-of-way. Inspection is required for this activity.

# CITY OF BIRMINGHAM Community Development – Building Department 151 Martin Street, Birmingham, MI 48009

March 4, 2022

RE: Final Site Plan Review Comments 2225 E. 14 Mile Rd, Our Shepherd Lutheran Church

As requested, the Building Department has examined the plans for the proposed project referenced above. The plans were provided to the Planning Department for site plan review purposes only and present conceptual elevations and floor plans. Although the plans lack sufficient detail to perform a code review, the following comments are offered for Planning Design Review purposes and applicant consideration:

#### **Applicable Building Codes:**

- **2015 Michigan Building Code**. Applies to all buildings other than those regulated by the *Michigan Residential Code*.
- 2015 Michigan Mechanical Code. (Residential requirements for mechanical construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)
- 2018 Michigan Plumbing Code. (Residential requirements for plumbing construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)
- 2017 National Electrical Code along with the Michigan Part 8 Rules. (Residential requirements for electrical construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)

#### **Review Comments:**

 No Building Codes concerns at this point. Due to the educational use within the building, the project will most likely fall under the State of Michigan Bureau of Construction Codes jurisdiction for building permits. Applicant should verify with the State before applying for a local permit.



## **MEMORANDUM**

#### **Department of Public Services**

DATE: March 30, 2022

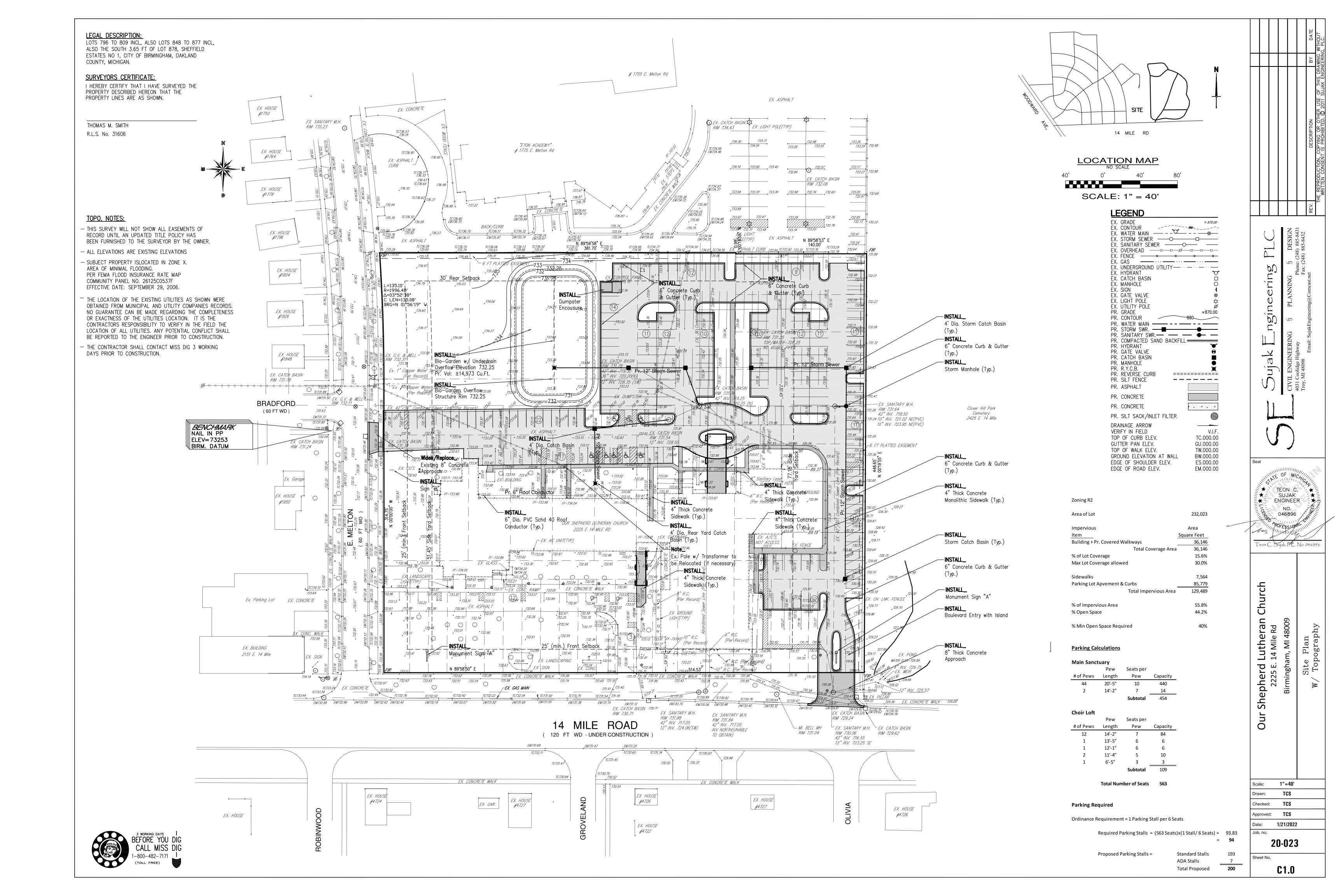
TO: Nicholas Dupuis, Planning Director

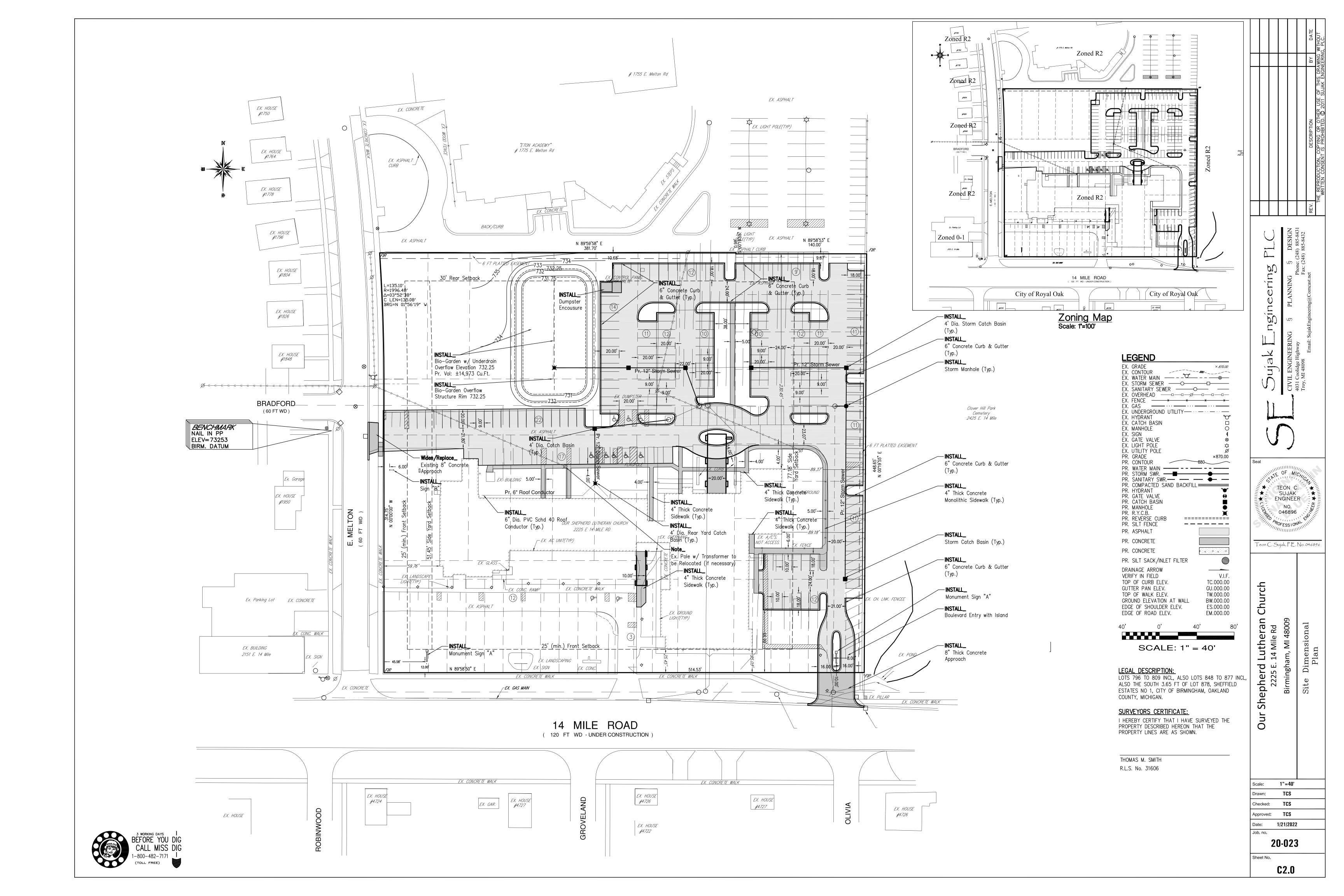
FROM: Brendan McGaughey, Parks and Forestry Foreman

Carrie A. Laird, Parks and Recreation Manager

SUBJECT: Waiver to be Granted for 2225 E. 14 Mile

A waiver from the Staff Arborist shall be granted for the elimination of 3 trees upon approval of the Final Site Plan for 2225 E. 14 Mile Rd: One (1) tree on E. Melton Street and two (2) trees on E. 14 Mile due to the limited space between existing mature and healthy trees. Applicant will install four (4) 3-3.5" DBH Ivory Silk Lilac trees on E. Melton where they will remove three (3) existing failing Sycamore trees. The existing trees to be removed are located under utility lines and have been trimmed as such, leading to their decline and current poor condition. Applicant to install three (3) 3-3.5" DBH Zelkova 'Musashino' on E. 14 Mile (species was determined by City representative). Once applicant completes development, 2225 E. 14 Mile Rd will have four (4) additional street trees (for a total of 21).





## CONSTRUCTION NOTES

All construction must conform to the current standards and specifications adopted by the agency with jurisdiction.

Call Miss Dig (1-800-647-7344 / 1-800-MISS DIG) a minimum of seventy—two (72) hours prior to the start of construction.

All soil erosion and silt must be controlled and contained on—site. All excavation under or within three (3') feet of public pavement, existing or proposed, shall be backfilled and compacted with sand (Class II MDOT).

The contractor is responsible for all damage to existing utilities.

Building is to be staked using approved Architect's Foundation Plan only.

It is the contractors' responsibility to make certain that all necessary inspections have taken place post staking and prior to construction or when necessary that the inspector is on site during construction to make certain items being constructed are in compliance of standards.

Building lead locations and sizes are to be verified/coordinated with Mechanical, Architectural and Plumbing Plans.

## Construction Notes

Contractor is responsible for removing and/or relocating all items needed or as shown for construction of the proposed facilities.

Contractor shall insure positive drainage for all work.

Any existing structures affected by the proposed grading or improvements shall be adjusted by the contractor to match the proposed elevations. Any structures, hydrants, poles, signs, etc. that are impacted must be adjusted or relocated at the expense and coordination

Unless otherwise specified, all disturbed areas shall be seeded and mulched and vegetation shall be restored prior to removal of Soil

Contractor is responsible for verifying all permits have been obtained and is responsible for acquiring all outstanding permits.

All Public Utilities shall be installed per the Municipal specifications.

All proposed grades shown at Match Existing (ME) are based on the available information and should be Verified in Field (VIF) by the contractor. If there is a problem with the proposed elevations, the contractor should notify the Developers Representative.

The existing utilities indicated on this plan are in accordance with available information. It shall be the contractor's obligation to verify the exact location of all existing utilities which might affect this job.

During the construction the contractor shall provide watchmen and flagmen as may be required the the safety and convenience of the public and shall furnish all barricades, signs and lights necessary to protect the public. Traffic shall be maintained at all times unless otherwise authorized by the City of Bloomfield Hills Engineer. Traffic control shall be in accordance with the Michigan Manual of Uniform Traffic Control Devices, 2005 Edition by the Michigan Department of State Highways.

All property irons and monuments disturbed or destroyed by the Contractor's operations shall be replaced by a Registered Land Surveyor provided by the contractor at the contractor's expense.

Trench backfill under existing or proposed roadways, driveways, and parking areas, unless otherwise noted, shall be consolidated to 95% maximum density as measured by modified proctor.

All utility poles in close proximity to construction shall be supported in a manner satisfactory to the utility owner.

## <u>Paving Notes</u>

In general, earthwork, drive surfaces and pavement construction should be performed in accordance with the most current edition of the MDOT Standard Specifications for Construction unless otherwise noted.

In areas of proposed pavement, building or drive surfaces; remove any existing topsoil, pavements, organic soils, vegetation, trees, unsuitable fill, and deleterious materials to expose the subgrade soil. Tree roots should be completely removed.

Excavate to the depth of the final subgrade elevation to allow for grade changes and the placement of the recommended pavement

The top 12 inches of the exposed subgrade as well as individual fill layers should be compacted to achieve a minimum of 95 percent of the maximum Modified Proctor dry density.

The final subgrade should be thoroughly proof—rolled using a fully loaded tandem axle truck under the observation of a geotechnical/pavement engineer. Loose or yielding areas that cannot be mechanically stabilized should be removed and replaced with engineered fill or as dictated by field conditions.

The aggregate base and sub-base should be compacted to achieve a minimum of 95 percent of the maximum Modified Proctor dry density. The base, sub-base, and subgrade compaction should extend a minimum of 12 inches beyond the paved edge.

Traffic should not be allowed on any new Portland Concrete Cement until the concrete has reached at least 75% of the design flexural strength.

## Pavement Marking Paint

Paint application shall be performed on dry and calm days when the air temperature is above 40°F. Paint shall not be applied when rain is expected.

Paint shall conform to the requirements of the Michigan Department of Transportation (MDOT) or AASHTO M248, type F and shall be yellow and white in color. Blue shall be used in barrier free spaces.

The area to be marked shall be clean and free of loose particles. Parking stall stripes shall be 5 inches wide. All markings shall present a clean cut, uniform and workman like appearance. The contractor at his expense shall correct all markings, which fail to have a uniform, satisfactory appearance, either day or night.

The contractor shall remove & replace any markings not meeting the above quality requirements or tolerances.

All markings shall be protected while drying. The contractor shall be responsible of barricading the area and placing any warning lights to keep pedestrian or vehicular traffic from entering the area. Any damage from traffic shall be repaired to the satisfaction of the owner at no additional cost.

## <u>Right-of-Way Notes::</u>

ALL CURBING WITHIN THE RIGHT-OF-WAY SHALL MATCH EXISTING MDOT CURB & SHALL BE INSTALLED PER MDOT SPECIFICATIONS R-30-G.

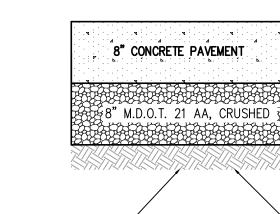
ALL CONSTRUCTED ENTRANCES ARE MEET MDOT SPECIFICATIONS FOR DETAIL M APPROACH BE MDOT DETAIL R-29-I

WHERE PROPOSED CARRY THRU GUTTER ABUTS EXISTING PAVEMENT, EXISTING PAVEMENT IS TO BE SAWCUT TO PROVIDE A CLEAN EDGE.

ALL GRADING WITHIN THE RIGHT-OF-WAY IS TO BE SEEDED AND MULCHED AFTER FINAL GRADING HAS BEEN PERFORMED.

ANY PROPOSED UTILITIES WITHIN THE RIGHT-OF-WAY SHALL BE BACKFILL AND COMPACTED WITH CLASS II SAND AND COMPACTED TO 95% (MIN.) MAXIMUM DENSITY.

ANY EXISTING SIGNS OR MAILBOXES THAT NEED TO BE EITHER TEMPORARILY OR PERMANENTLY RELOCATED WILL BE DONE SO AT THE EXPENSE OF THE CONTRACTOR AND PER THE AGENCY WITH JURISDICTION.



(SECTION TO BE SPECIFIED BY SOIL'S ENGINEER)

NORMAL SLOPE 1/4" PER FT. TOWARDS PVMT.

GRANULAR MATERIAL CLASS II

SUBBASE WHERE REQUIRED, 4"

PROOF-ROLL EX. SUBBASE-UNDERCUT, REMOVE & REPLACE ANY UNSUITABLE MATERIAL W/CRUSHED STONE

\_1/4" R. (TYP.)

-REWORK 12" OF EXISTING SUBGRADE AND COMPACT TO 95% MAX. DENSITY

## -CONCRETE WALK MIN SLOPE 2% PAVEMENT-COMPACTED MDOT CLASS II SAND OR 21AA CRUSHED COMPACTED SUBGRADE

# INTEGRAL CURB AND WALK DETAIL

(On-Site)

NO SCALE



■ AT DRIVEWAYS AND ALLEYS A

6" MIN. WILL APPLY

ONE-HALF INCH TRANSVERSE EXPANSION JOINTS SHALL BE PLACED THROUGH THE SIDEWALK AT UNIFORM INTERVALS OF NOT MORE THAN 50'. ONE-HALF INCH EXPANSION JOINTS SHALL ALSO BE PLACED BETWEEN THE SIDEWALK AND BACK OF ABUTTING PARALLEL CURB, BETWEEN THE SIDEWALK AND BUILDING OR OTHER OTHER RIGID STRUCTURES, BETWEEN SIDEWALKS AND DRIVEWAY APPROACHES. ONE INCH EXPANSION JOINTS SHALL BE PLACED BETWEEN SIDEWALK APPROACHES AND BACK OF CURBS AND DRIVEWAYS.

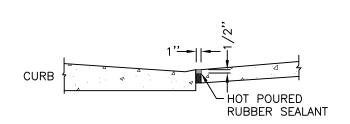
8" CONCRETE PAVEMENT SECTION

Δ Δ Δ Δ

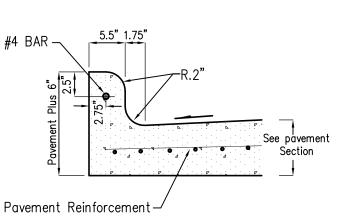
CONCRETE SIDEWALK

THE SIDEWALK SHALL BE DIVIDED INTO UNIT AREAS OF NOT MORE THAN 36 SQUARE FEET AND, INSOFAR AS FEASIBLE, THE UNIT AREAS SHALL BE SQUARE AND, OR NOT LESS THAN 16 SQUARE FEET. THE UNIT AREAS SHALL BE PRODUCED BY USE OF SLAB DIVISION FORMS EXTENDING TO THE FULL DEPTH OF THE CONCRETE OR BY CUTTING JOINTS IN THE CONCRETE, AFTER FLOATING, TO A DEPTH OF NOT LESS THAN ONE-FOURTH THE THICKNESS OF THE SIDEWALK. THE CUT JOINTS SHALL BE NOT LESS THAN 1/4" NOR MORE THEN 1/2" IN WIDTH AND SHALL BE FINISHED SMOOTH AND TRUE TO LINE.

SEAL BETWEEN SIDEWALK AND BACK OF CURB WITH HOT POURED RUBBER ASPHALT



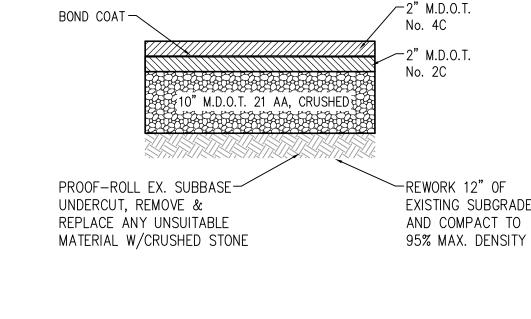
**SEALANT DETAIL** NOT TO SCALE



CONCRETE CURB AND GUTTER (INTEGRAL - NTS)

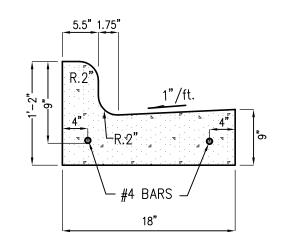


NOSED DOWN CURB



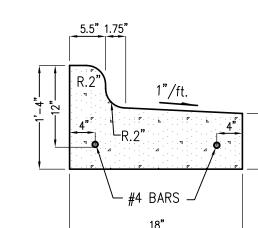
## ASPHALT PAVEMENT SECTION

(SECTION TO BE SPECIFIED BY SOIL'S ENGINEER) (On-Site)



## CONCRETE CURB AND GUTTER

(REGULAR GUTTER)

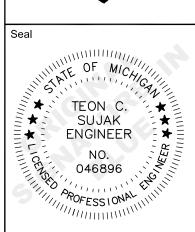


6" CONCRETE CURB AND GUTTER

EX. ASPHALT

(REVERSE GUTTER)

(On-Site)



, <u>p</u>

a X

Feon C. Sujak, P.E. No. 046896

Ch Lutherar 14 Mile Rd <u>Б</u>

ephero 2225 Sh

0 None

Checked: TCS TCS 1/21/2022

20-023

C3.0

**Bio-Garden Calculations** Areas of Entire Site: Site Area use in Bio-Garden Area Calculations:

Estimated Runoff Coefficient (C): Rainfall Depth (Channel Protection event): 0.80 1.3 Inches

Sq. Feet Acres

232,023 5.33

169,865 3.90

Rational Method:

Volume of Bio-Garden Area based on WRC Channel Protection Volume

 $V_{cpvc} = (3,630) \times P \times C \times A = (3,630) \times (1.3) \times (0.80) \times (3.90) =$ 14,723 Cubic Feet

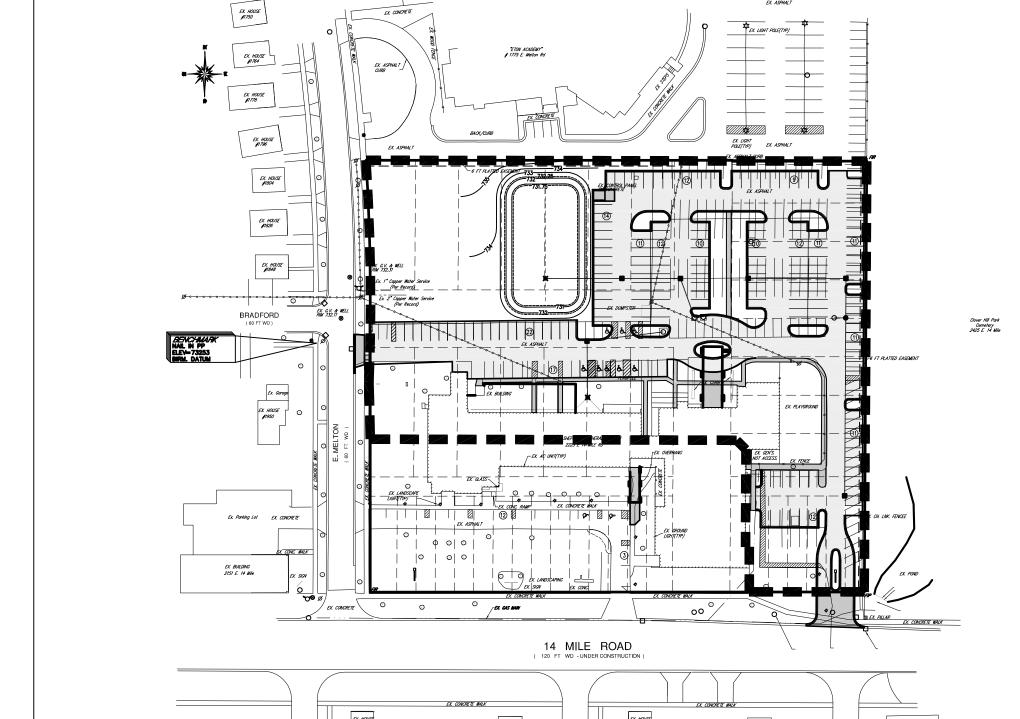
14,973

## Volume of Bio-Garden Proposed

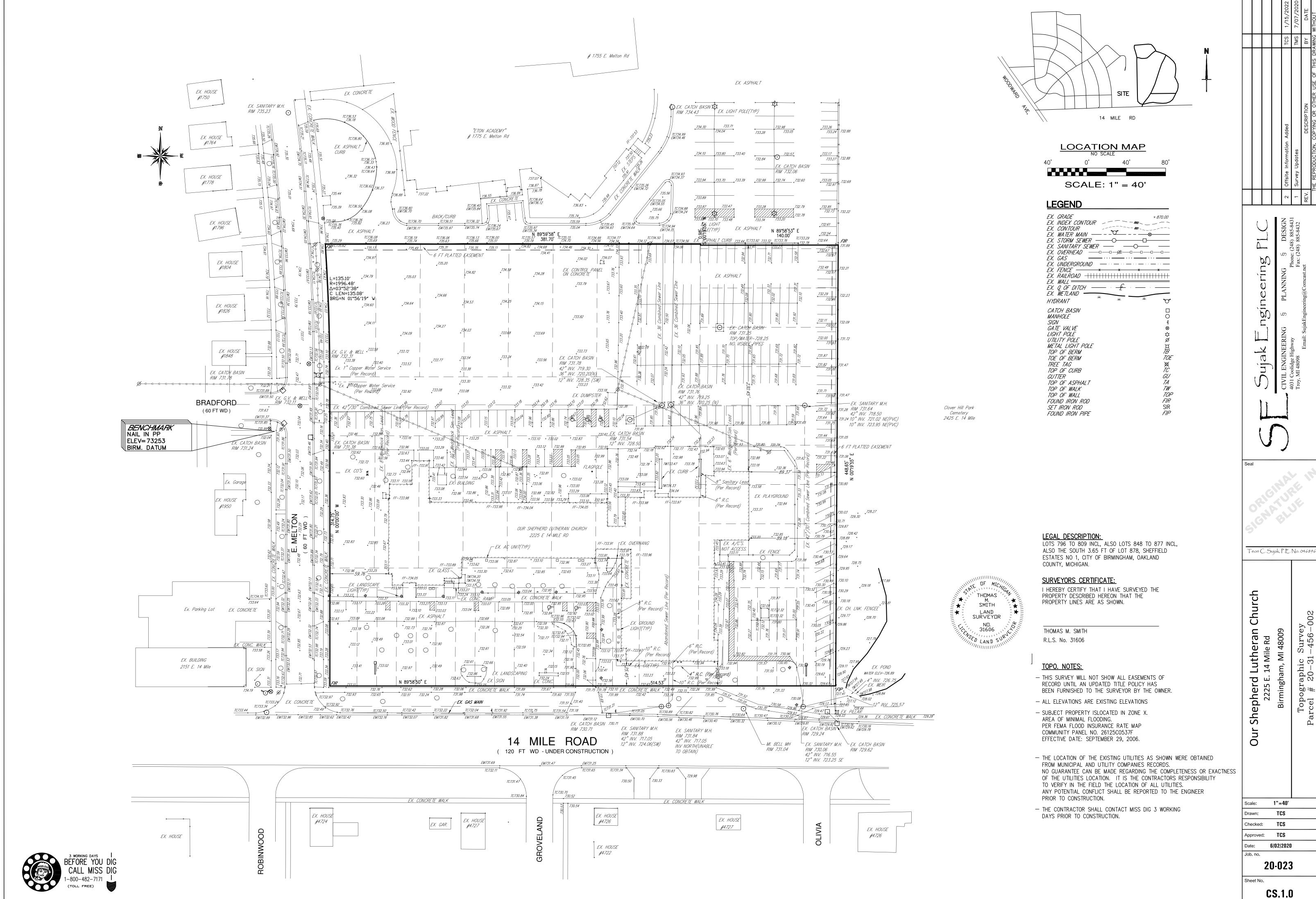
Volume <u>(Cu.Ft.)</u> <u> Area (Sq.Ft)</u> <u>Elevation</u>

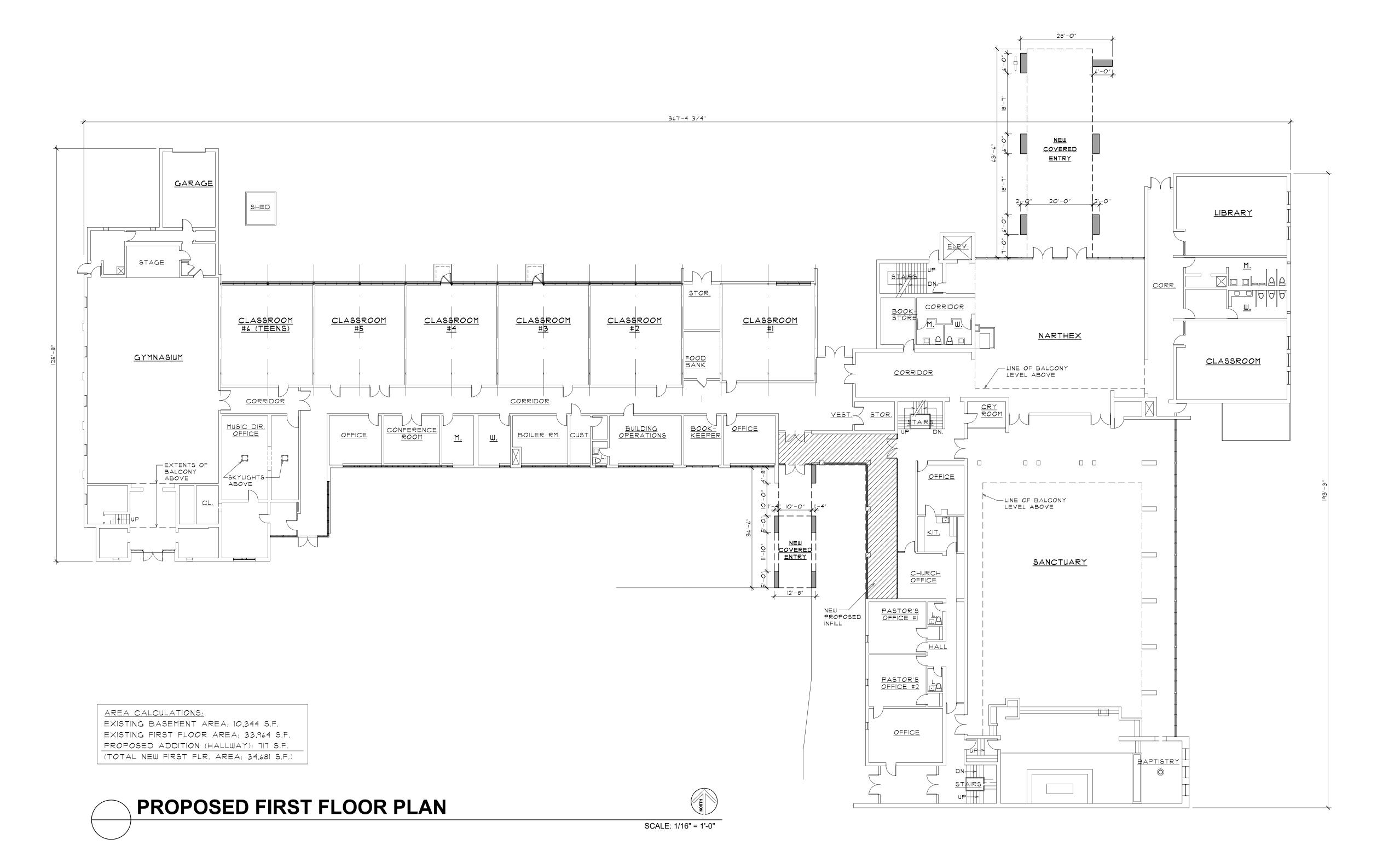
732.25 11,760 731 8,790 12,844 730.75 8,240 2,129

14,723 Cubic Feet Required Volume: 14,973 Cubic Feet **Proposed Volume:** 



Map of Area accounted for in Bio-Garden Calculations





MECHANICAL NOTE: ALL EXISTING MECH. EQUIPMENT TO REMAIN AS IS, NO NEW MECH. EQUIPMENT PROPOSED. NO NEW SCREEN-WALL PROPOSED ® EXIS. MECH. EQUIPMENT, SEE LANDSCAPE FOR DUMPSTER ENCLOSURE DETAILS.

## FAR CALCS:

SITE AREA = +/- 5.3 ACRES (+/- 230,868 S.F.) TOTAL BLDG. AREA = 34,681 S.F.

F.A.R. = 0.15

LIST OF PROP. DESIGN CHANGES: 1. NEW PARKING LOT DESIGN ON NORTH & EAST SIDE OF BLDG, W/ NEW LANDSCAPE & PEDESTRIAN ENTRY WALKS.

- 2. NEW PORTE COCHERE ENTRY ADDITION ® NORTH ELEV.
- 3. NEW COVERED ENTRY 9 SOUTH ELEV. NEW INFILL/ ADDITION TO EXIS, BRICK COLUMN LINE @ SOUTH ELEV. ADJACENT TO NEW COVERED ENTRYWAY.
- 4. NEW ADDITIONAL FOUNDATION LANDSCAPE AROUND BLDG. 5. NEW SITE & BLDG. LIGHTING. 6. THREE NEW GROUND SIGNS: 6.1. AT N-W DRIVE ENTRY OFF OF MELTON RD.
- 6.2. AT S-W CORNER OF SITE (MELTON & 14 MILE RD.) 6.3. AT NEW BLVD, DRIVE ENTRY ® S-E CORNER

OF SITE. \*SMALL IDENTIFICATION SIGN ® NEW PORTE COCHERE.

400 Architea

OUR COPYRIGHT 2021 BOGAERTS + ASSOC. ■ PRELIMINARY

HERAN

 $\overline{Q} \circ O$ 

 $0 \tilde{m} >$ 

 $\simeq \infty \cup$ 

m

 $\frac{B}{O}$ 

 $\frac{1}{2}$ 

06.01.21

■ CONSTRUCTION 06.01.21 06-10-2020 ADD. #1

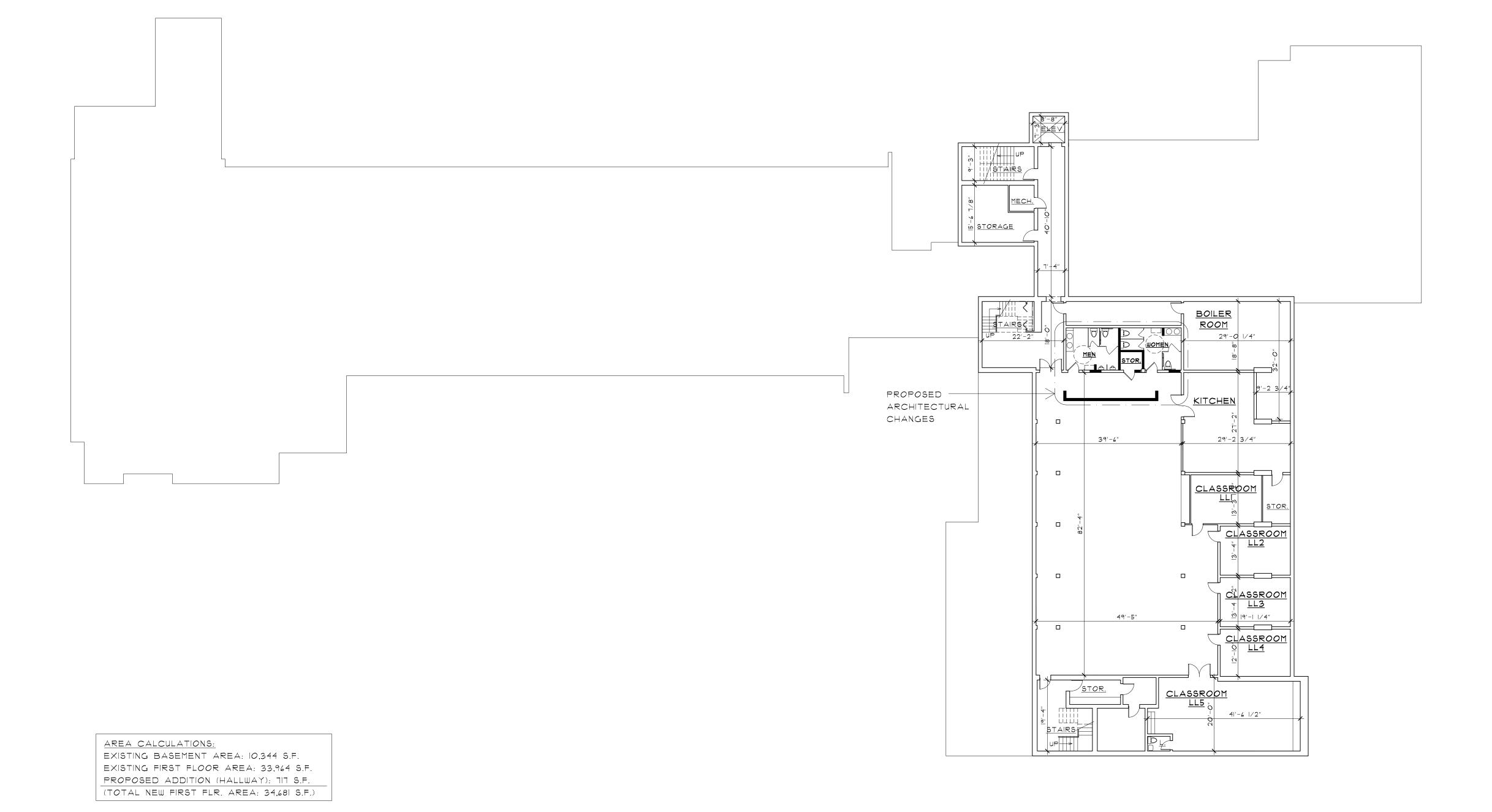
SLUP PB SUBMSN.  $\bigcap$ 

CAD FILENAME — 1949OSLC\_

ALEXANDER ' BOGAERTS I ARCHITECT

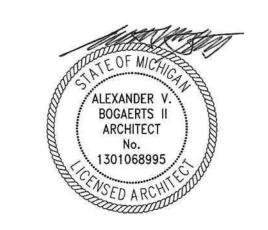
1301068995

JOB NUMBER -00-00-2016 SHEET NUMBER -A100



SCALE: 1/16" = 1'-0"

**EXISTING BASEMENT PLAN** 



MECHANICAL NOTE: ALL EXISTING MECH. EQUIPMENT TO REMAIN AS IS, NO NEW MECH. EQUIPMENT PROPOSED. NO NEW SCREEN-WALL PROPOSED @ EXIS. MECH. EQUIPMENT, SEE LANDSCAPE FOR DUMPSTER ENCLOSURE DETAILS. LIST OF PROP. DESIGN CHANGES: 1. NEW PARKING LOT DESIGN ON NORTH & EAST SIDE OF BLDG, W/ NEW LANDSCAPE # PEDESTRIAN ENTRY WALKS. 2. NEW PORTE COCHERE ENTRY ADDITION © NORTH ELEV.

3. NEW COVERED ENTRY ® SOUTH ELEV. NEW INFILL/ ADDITION TO EXIS, BRICK COLUMN LINE @ SOUTH ELEV. ADJACENT TO NEW COVERED ENTRYWAY.

4. NEW ADDITIONAL FOUNDATION LANDSCAPE AROUND BLDG. 5. NEW SITE & BLDG, LIGHTING,

6.1. AT N-W DRIVE ENTRY OFF OF MELTON RD. 6.2. AT S-W CORNER OF SITE

(MELTON & 14 MILE RD.)

OF SITE,

® NEW PORTE COCHERE.

6. THREE NEW GROUND SIGNS: 6.3. AT NEW BLVD. DRIVE ENTRY ® S-E CORNER \*SMALL IDENTIFICATION SIGN

Planning

•

Design

 $0 \overset{\sim}{\approx} \overset{\sim}{\sim}$ 

M

 $\frac{B}{O}$ 

**4rchitecture** ഗ SHEPHERD LUTHERAN ciates OUR N SS O

COPYRIGHT 2021 BOGAERTS + ASSOC.

■ PRELIMINARY 06.01.21 06.01.21 ■ PERMITS

06.01.21 ■ CONSTRUCTION 06.01.21

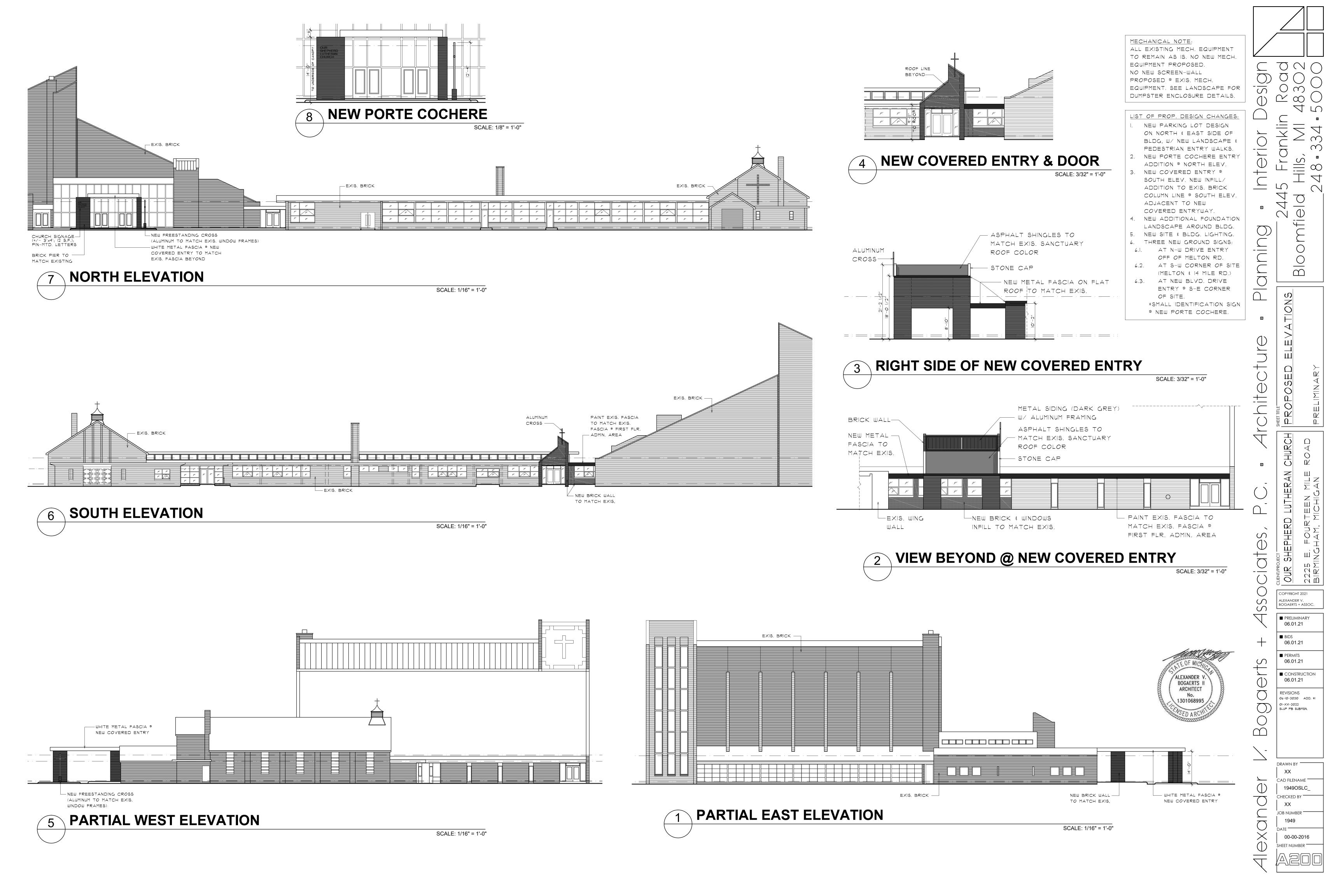
01-XX-2022

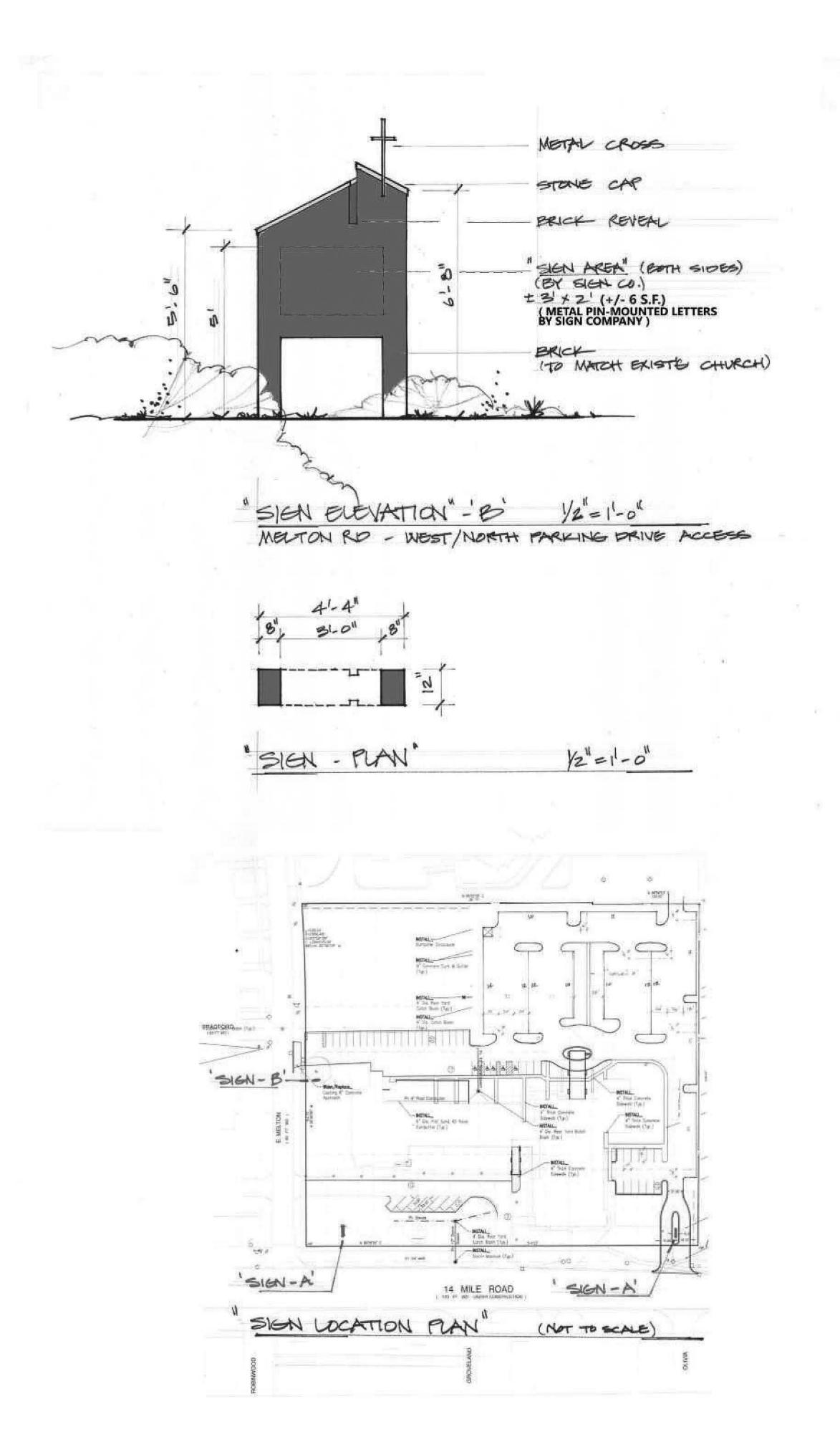
XX CAD FILENAME -

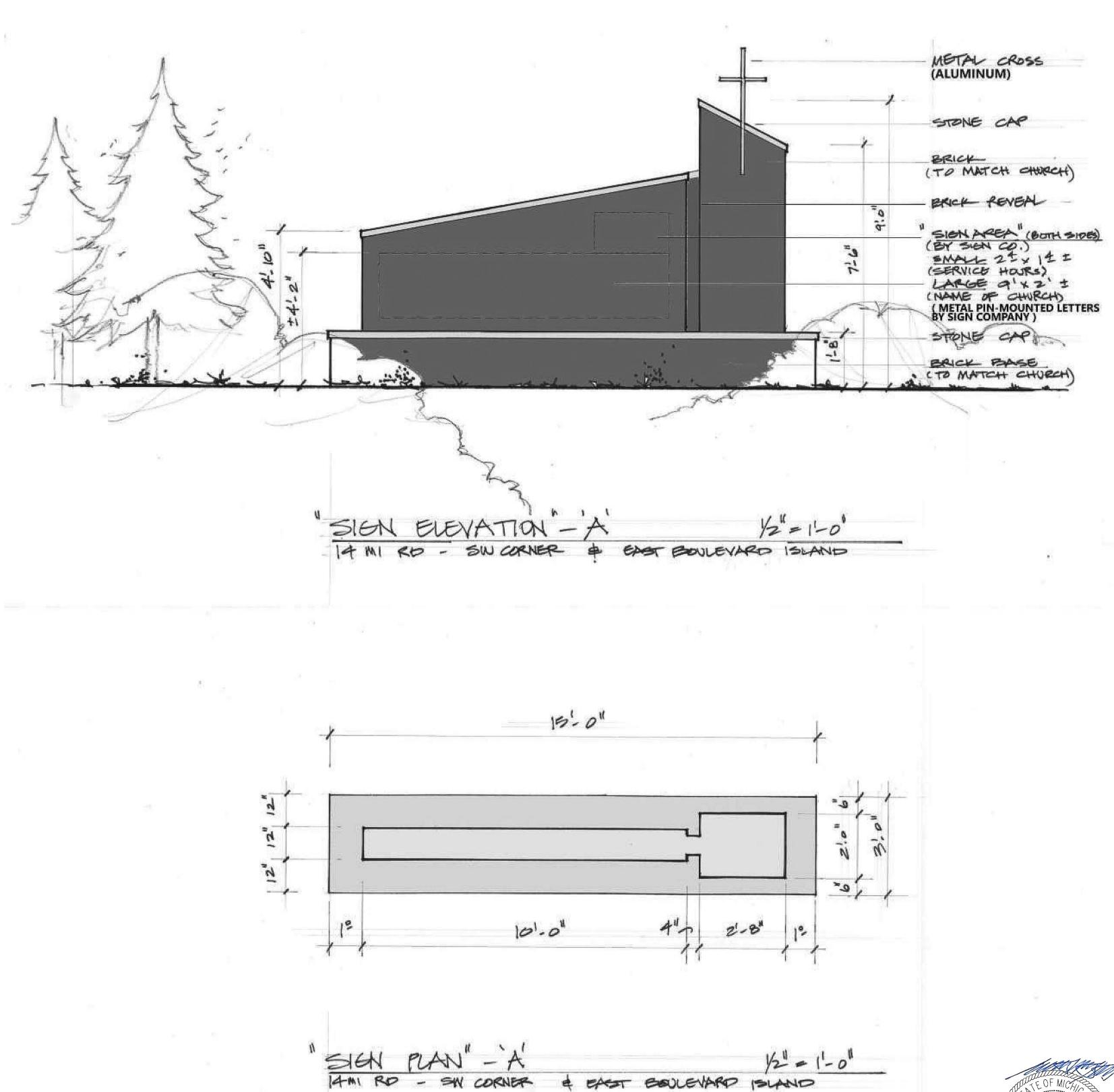
 $\stackrel{\text{O}}{\longrightarrow}$ 

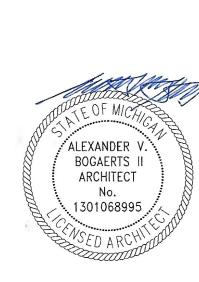
1949OSLC\_ JOB NUMBER -

00-00-2016 Sheet number —









Road 48302 5000 esign Franklin Hills, 248 2445 Bloomfield Planning **4rchitecture** SIGNA Δ. 4ssociates, ■ BIDS 06.01.21 ■ PERMITS 06.01.21 Bogaerts 41exander 1949

OUR SHEPHERD LUTHERAN CHURCH
2225 E. FOURTEEN MILE ROAD
BIRMINGHAM, MICHIGAN

COPYRIGHT 2021 ALEXANDER V. BOGAERTS + ASSOC. ■ PRELIMINARY 06.01.21

■ CONSTRUCTION 06.01.21 REVISIONS

OI-XX-2022
SLUP PB SUBMSN.

DRAWN BY

CHECKED BY

1949OSLC\_

A201





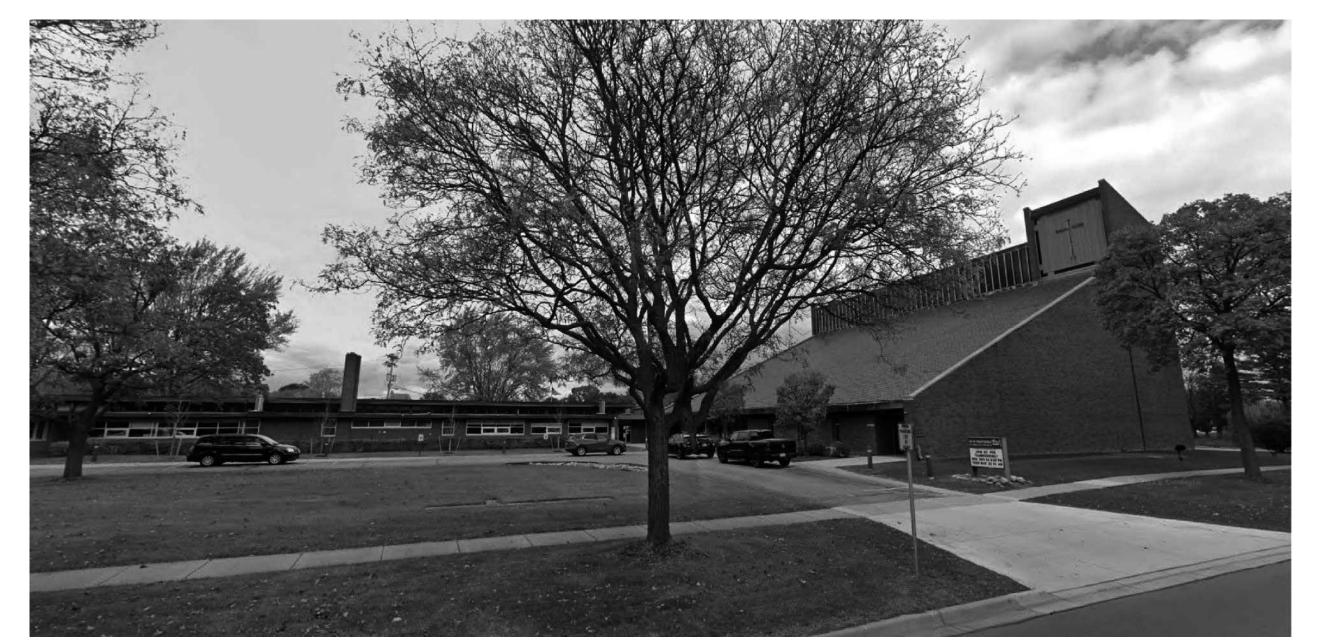
**VIEW 6 (SOUTH SIDE ENTRYWAY)** 



VIEW 3 (ENTRANCE FROM MELTON RD)



VIEW 5 (NORTH FACADE OF CHURCH BUILDING)



**VIEW 2 (SOUTH ENTRANCE)** 



**VIEW 4 (E MELTON RD)** 

SHOWING SINGLE-FAMILY RESIDENCES IN CONTEXT WITH SCHOOL BUILDING



**VIEW 1 (SOUTH ENTRANCE)** 



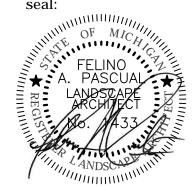
SITE MAP

■ CONSTRUCTION





FELINO A. PASCUAL and ASSOCIATES Community Land Planner and registered Landscape Architect 24333 Orchard Lake Rd, Suite G Farmington Hills, MI 48336 ph. (248) 557-5588 fax. (248) 557-5416



## Our Shepherd Lutheran Church

2225 14 Mile Rd Birmingham, Michigan

project:

## Our Shepherd Lutheran Church

project location:

City of Birmingham, Michigan 14 Mile Road

sheet title:

COLOR LANDSCAPE PLAN

job no./issue/revision date:

LS21.073.05 review 5-13-2021 LS21.073.10 review 11-12-2021 LS22.010.01 city 1-31-2022

JP, DK, HP

checked by:

notice: Copyright This document and the subject matter contained therein is proprietary and is not to be used or reproduced without the written permission of Felino Pascual

Do Not scale drawings. Use figured dimensions only



The location and elevations of existing underground utilities as shown on this is either expressed or implied as to the completeness of accuracy. contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction

project no:

LS22.010.01

sheet no: LSR- Our Shepherd Lutheran Church City of Birmingham, Michigan

note:

unless noted otherwise, numerical value on landscape quantities specified on plan take precedence over graphic representation.

# 1" = 40'- 0"

## landscape requirements:

street tree (14 mile road)		REQUIRED	PROVIDED
TOTAL LN.FT. OF GREENBELT FRONTAGE	5 5.88 <u>+</u>		
ONE (I) 3"DECIDUOUS OR EVERGREEN TREE PER 40 LN.FT.		I3	3 + 10 EXISTIN
(5 5.88 LN.FT. / 40 LN.FT. =  2.9 TREES)  Street tree (E. melton road)		REQUIRED	PROVIDED
TOTAL LN.FT. OF GREENBELT FRONTAGE	449.85 <u>+</u>		
ONE (I) 3"DECIDUOUS OR EVERGREEN TREE PER 40 LN.FT.			12 EXISTING
(449.85 LN.FT. / 40 LN.FT. = 11.25 TREES)		REQUIRED	PROVIDED
TOTAL SQ.FT OF PARKING AREA PROVIDED	<b>_</b>	3,361	
TOTAL SQ.FT OF LANDSCAPE AREA REQUIRED	3,	888.79	
ONE (1) 3"DECIDUOUS OR EVERGREEN TREE PER 150 SQ.FT (3,918 SQ.FT / 150 SQ.FT = 26.12 TREES)		26	26

## plant material list

key	<b>quant.</b> LS-1	botanical name	common name	size	comments
GT	4	GLEDITSIA TRI. INERMIS 'SKYCOLE'	SKYLINE LOCUST	2 1/2" BB	
<b>AF</b>	8	ACER X FREEMANII 'JEFFERSRED'	AUTUMN BLAZE RED MAPLE	2 1/2" BB	
tc	11	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	2 1/2" BB	
TR	3	TILIA AMERICANA 'REDMOND'	REDMOND LINDEN	2 1/2" BB	
ARA	2	ACER R. 'ARMSTRONG'	ARMSTRONG RED MAPLE	3" BB	
СВ	1	CARPINUS BETULUS 'FASTIGIATA'	PYRAMIDAL EUROPENAN HORNBEAN	3" BB	
LS	2	LIQUIDAMBAR STYRACIFLUA	AMERICAN SWEETGUM	2 1/2" BB	
AR	3	CARPINUS BETULUS 'FASTIGIATA'	RED MAPLE	2 1/2" BB	
AC	1	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	8' BB	
CK	1	CORNUS KOUSA	KOUSA DOGWOOD	2" BB	
MJ	1	MAGNOLIA LILLIFLORA 'JANE'	JANE MAGNOLIA	8' BB	
AP	1	ACER P. 'BLOODGOOD'	BLOODGOOD JAPANESE MAPLE	#1 CONT	
MR	2	MALUS 'RED BARRON'	RED BARRON CRABAPPLE	2" BB	
PP	2	PICEA PUNGENS	COLORADO SPRUCE	8' BB	
PPL	1	PICEA PUNGENS	COLORADO SPRUCE	10' BB	

## general landscape notes:

1. LANDSCAPE CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISITING CONDITIONS, REVIEW PROPOSED PLANTINGS AND RELATED WORK. CONTACT THE OWNER AND/OR LANDSCAPE ARCHITECT WITH ANY CONCERNS OR DISCREPANCY BETWEEN THE PLAN, PLANT MATERIAL LIST, AND/OR SITE CONDITIONS.

2. PRIOR TO BEGINNING OF CONSTRUCTION ON ANY WORK, CONTRACTORS SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES, GAS, ELECTRIC, TELEPHONE, CABLE TO BE LOCATED BY CONTACTING MISS DIG 1-800-482-1111. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE ALL RELATED WORK ACTIVITIES WITH OTHER TRADES AND REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER

3. NUMERICAL VALUE ON THE LANDSCAPE QUANTITIES SPECIFIED ON THE PLAN TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION. VERIFY ANY CONCERN-DISCREPANCY WITH LANDSCAPE ARCHITECT.

4. ALL CONSTRUCTION AND PLANT MATERIAL LOCATION TO BE ADJUSTED ON SITE IF NECESSARY

5. ALL SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED BY CITY OF BIRMINGHAM AND LANDSCAPE ARCHITECT

6. ALL LARGE TREES AND EVERGREENS TO BE STAKED, GUYED AND WRAPPED AS DETAILED, SHOWN ON PLAN.

7. PLANT BEDS TO BE DRESSED WITH MIN. 4" OF FINELY DOUBLE SHREDDED HARDBARK MULCH.

8. DIG SHRUB PITS I' LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2' LARGER THAN ROOT BALL. BACK FILL WITH ONE PART TOP SOIL AND ONE PART SOIL FROM EXCAVATED PLANTING HOLE.

9. NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK MULCH REQUIRED FOR ALL PLANTINGS.

10. REMOVE ALL TWINE, WIRE AND BURLAP FROM TREE AND SHRUB EARTH BALLS, AND FROM TREE TRUNKS. 4" THICK BARK MULCH FOR TREES IN 4' DIA.

CIRCLE WITH 3" PULLED AWAY FROM TRUNK . 4" THICK BARK MULCH FOR

SHRUBS AND 4" THICK BARK MULCH FOR PERENNIALS.

11. PLANT MATERIAL QUALITY & INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE

12. PROVIDE PEAT SOD FOR ALL NEW AND DISTURBED LAWN AREAS UNLESS NOTED OTHERWISE.

13. ALL PLANTING AREAS TO BE PREPARED WITH APPROPRIATE SOIL MIXTURES AND FERTILIZER BEFORE PLANT INSTALLATION.

14. PLANT TREES AND SHRUBS GENERALLY NO CLOSER THAN THE FOLLOWING

EXISTING TREES TO BE

EXISTING EVERGREENS IN

THIS LOCATION TO BE

5' WIDE CONC. PUBLIC

**R-2** 

zoned

PROPOSED SIGN

ROAD STREET TREE

REQUIREMENT

RETAINED.

MONUMENT

WALK, TYP.

CREDITED TOWARD MELTON

DISTANCES FROM SIDEWALKS, CURBS AND PARKING STALLS: a). SHADE TREES b). ORNAMENTAL AND EVERGREEN TREES (CRAB, PINE, SPRUCE, ETC.)

c). SHRUBS THAT ARE LESS THAN I FOOT TALL AND WIDE AT MATURITY\_

15. NO TREES OR EVERGREENS TO BE INSTALLED OVER ANY PROPOSED OR EXISTING UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN. SEE ENGINEERING PLANS FOR LOCATION AND DETAILS.

16. ALL LAWN AREAS AND LANDSCAPE BEDS TO BE FULLY IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM, IRRIGATION SYSTEM TO HAVE SEPARTE ZONES FOR LAWN AREAS, PARKING ISLANDS, AND SHRUB BEDS WITH DIFFERENT CONTROL MOISTURE LEVEL ADJUSTMENT PER ZONE AS REQUIRED

RECIEVE EDGING, EDGING SHALL BE 4" imes 1/8" METAL (FINISH BLACK OR GREEN) OR APPROVED EQUAL AND TO BE INSTALLED WITH HORIZONTAL METAL STAKES AT 32" O.C. OR PER MANUFACTERER'S SPECIFICATION.

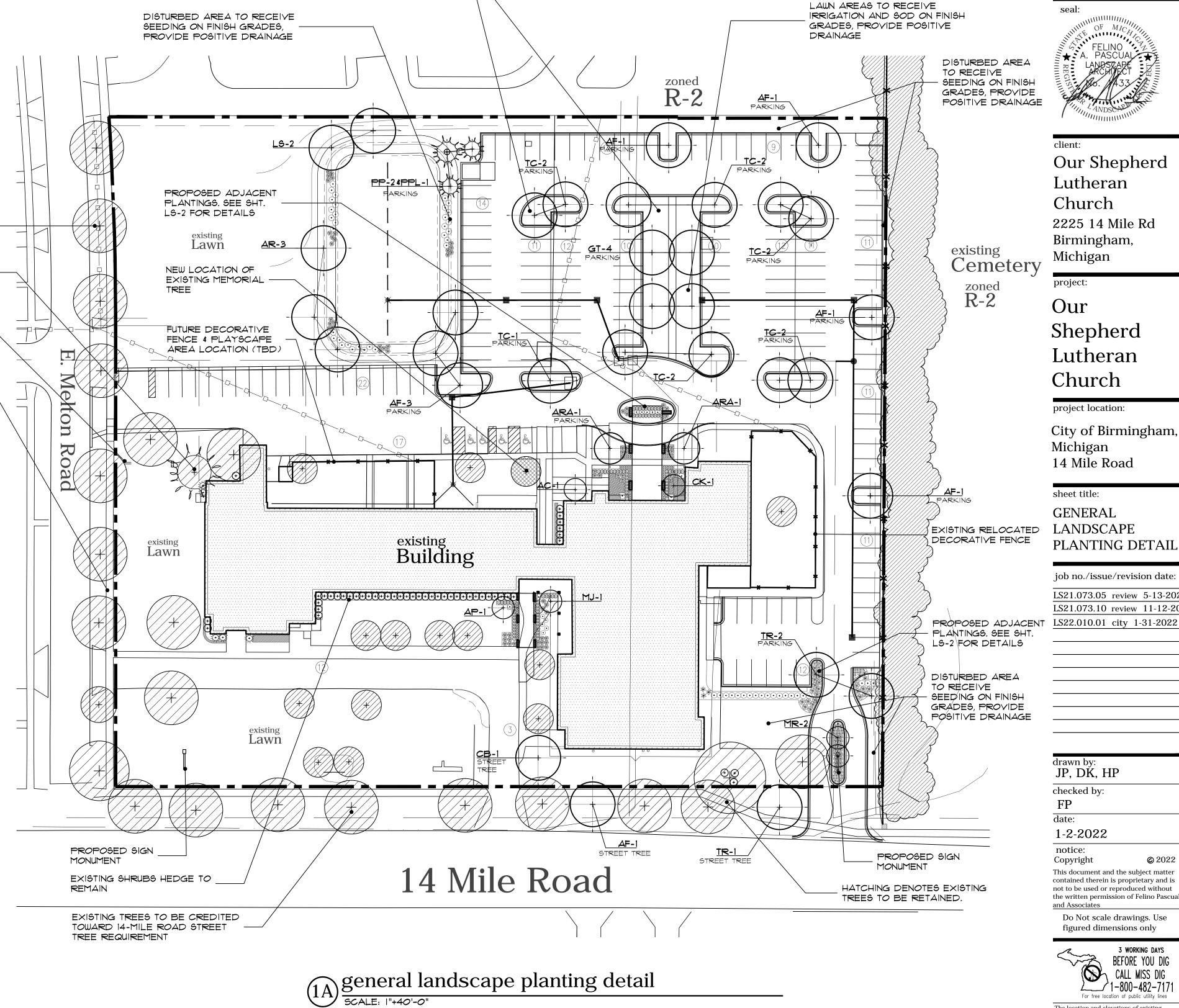
IT. UNLESS NOTED OTHERWISE, LANDSCAPE BEDS ADJACENT TO LAWN TO

18. ALL NEW PARKING ISLANDS AND LANDSCAPE BEDS ADJACENT AND NEXT TO BUILDING SHALL BE EXCAYATED OF ALL BUILDING MATERIALS AND POOR SOILS A MIN. OF 16"-18" DEPTH. BACK FILL WITH GOOD, MEDIUM TEXTURED PLANTING SOILS. ADD A MIN. 4" OF TOPSOIL OVERFILL TO FINISH GRADE. PROVIDE POSITIVE DRAINAGE.

19. WATERING OF ALL PLANTS AND TREES TO BE PROVIDED IMMEDIATELY AND MULCHING WITHIN 24 HOURS AFTER INSTALLATION.

20. ALL TREE PITS TO BE TESTED FOR PROPER DRAINAGE PRIOR TO TREE PLANTING. PROVIDE APPROPRIATE DRAINAGE SYSTEM AS REQUIRED IF THE TREE PIT DOES NOT DRAIN SUFFICIENTLY.

21. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE PLANT MATERIALS AND IRRIGATION INSTALLATION FOR A PERIOD OF TWO YEAR BEGINNING AFTER THE COMPLETION OF LANDSCAPE INSTALLTION DATE APPROVED BY THE CITY OR LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE DURING AND AT THE END OF THE GUARANTEE PERIOD, ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE TOWNSHIP OR LANDSCAPE ARCHITECT, WITHOUT COST TO THE OWNER.



**Eton Academy** 

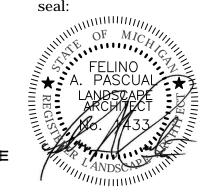
NEW PARKING LOT ISLANDS TO BE EXCAVATED OF PAVEMENT MATERIALS AND POOR SOILS TO A MINIMUM DEPTH OF 12" TO 16"AND BACKFILLED WITH A

GOOD MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY), ISLAND TO BE CROWDED A MINIMUM OF 12" HIGHER THAN ADJACENT CURBS AND

PROVIDE 4"-6" OF TOP SOIL

FELINO A. PASCUAI and ASSOCIATES Community Land Planner and registered Landscape Architect 24333 Orchard Lake Rd, Suite G

Farmington Hills, MI 48336 ph. (248) 557-5588 fax. (248) 557-5416



## Our Shepherd Lutheran Church

2225 14 Mile Rd Birmingham, Michigan

project: Our

Shepherd Lutheran Church

project location:

City of Birmingham, Michigan 14 Mile Road

sheet title:

**GENERAL** PLANTING DETAIL

job no./issue/revision date: LS21.073.05 review 5-13-2021 LS21.073.10 review 11-12-2021

JP, DK, HP

checked by:

1-2-2022 notice:

Copyright This document and the subject matter contained therein is proprietary and is not to be used or reproduced without the written permission of Felino Pascual and Associates

> Do Not scale drawings. Use figured dimensions only

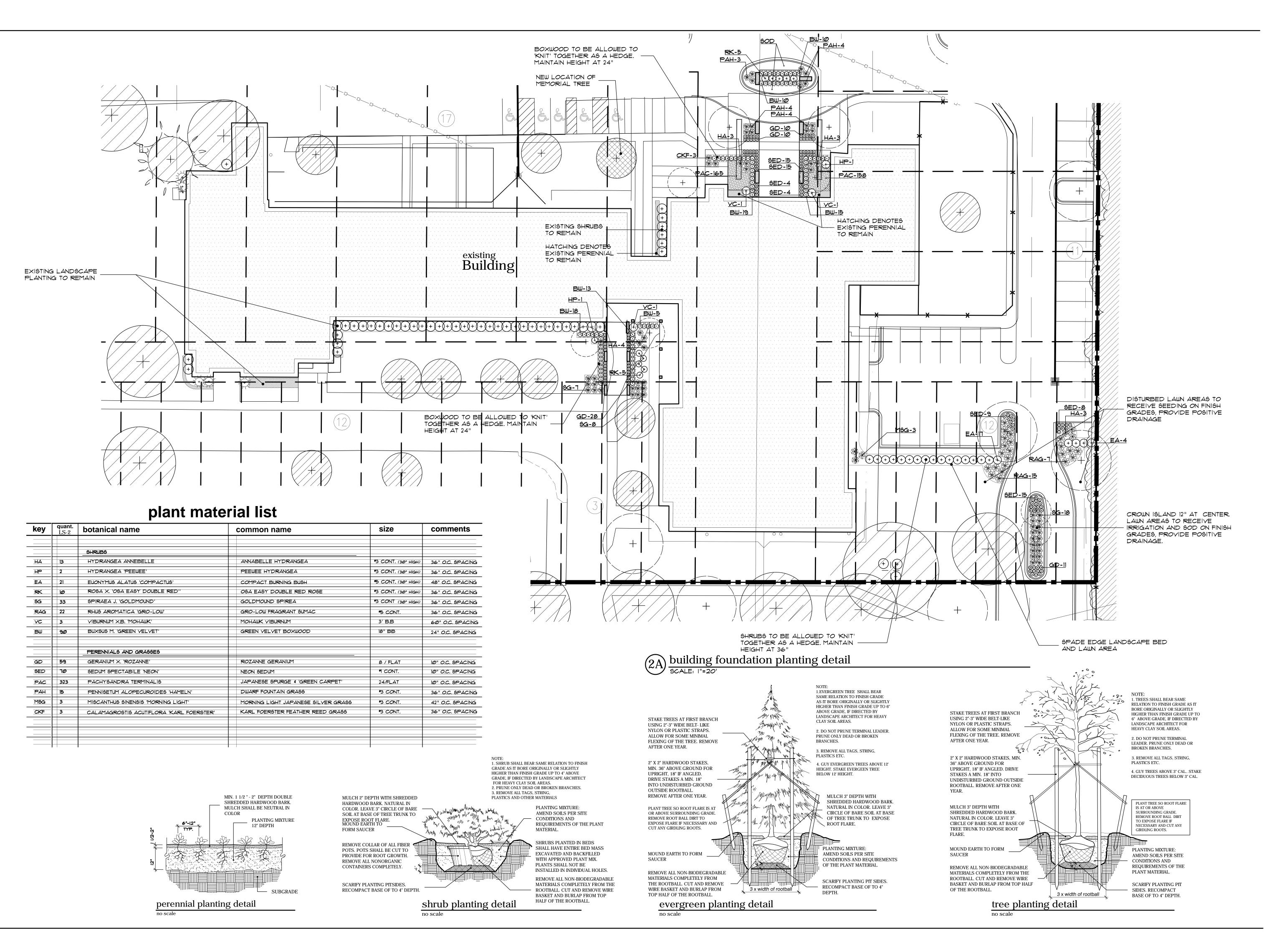


The location and elevations of existing is either expressed or implied as to the completeness of accuracy. contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction

project no:

LS22.010.01

sheet no:





registered Landscape Architect 24333 Orchard Lake Rd, Suite G Farmington Hills, MI 48336 ph. (248) 557-5588 fax. (248) 557-5416

seal:

OF MICHAELING

FELINO

A. PASCUAL

ARCHITECT

ARCHITECT

ANDSCAPE

ARCHITECT

ANDSCAPE

A

## Our Shepherd Lutheran Church

2225 14 Mile Rd Birmingham, Michigan

project:

## Our Shepherd Lutheran Church

project location:

City of Birmingham, Michigan 14 Mile Road

sheet title:

FOUNDATION
PLANTING DETAIL

job no./issue/revision date:

LS21.073.05 review 5-13-2021 LS21.073.10 review 11-12-2021 LS22.010.01 city 1-31-2022

drawn by: JP, DK, HP

checked by:

date: 1-2-2022

notice:
Copyright © 2022

This document and the subject matter contained therein is proprietary and is not to be used or reproduced without the written permission of Felino Pascual

and Associates

Do Not scale drawings. Use figured dimensions only

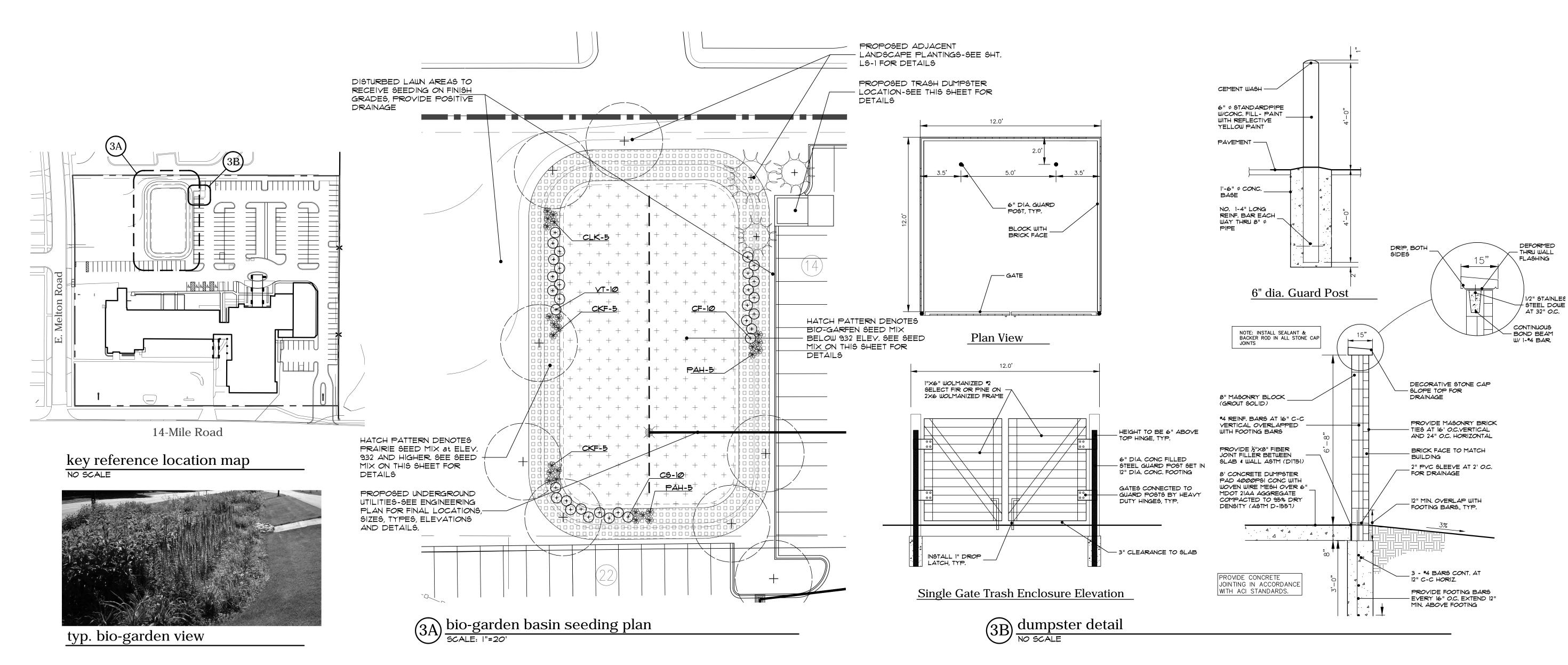


The location and elevations of existing underground utilities as shown on this drawing are only approximate, no guarantee is either expressed or implied as to the completeness of accuracy, contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction

project no:

LS22.010.0

sheet no:
LS-2 of 3



## bio-garden basin seed mix:

A wetland seed mix for saturated soils in a detention pond or for seeding a saturated basin, this mix will tolerate highly fluctuating water levels and poor water quality associated with urban stormwater wetlands and ponds. For detention basins that experience long, dry periods, use the Economy Prairie seed mix in the upper third to half of the basin area in combination with this mix. This seed mix includes at least 10 of 12 native permanent grass and sedge species and 13 of 17 native forb species. Apply at 32.97 PLS pounds per acre.

Botanical Name	Common Name	PLS Oz/Acre
Permanent Grasses/Sedges		
Bolboschoenus fluviatilis	River Bulrush	1.00
Carex cristatella	Crested Oval Sedge	0.50
Carex Iurida	Bottlebrush Sedge	3.00
Carex vulpinoidea	Brown Fox Sedge	2.00
Elymus virginicus	Virginia Wild Rye	24.00
Glyceria striata	Fowl Manna Grass	1.00
Juncus effusus	Common Rush	1.00
Leersia oryzoides	Rice Cut Grass	1.00
Panicum virgatum	Switch Grass	2.00
Schoenoplectus tabernaemontani	Great Bulrush	3.00
Scirpus atrovirens	Dark Green Rush	2.00
Scirpus cyperinus	Wool Grass	1.00
	Total	41.50
Temporary Cover		
Avena sativa	Common Oat	360,00
Lolium multiflorum	Annual Rye	100.00
	Total	460.00

Forbs		
Alisma subcordatum	Common Water Plantain	2.50
Asclepias incarnata	Swamp Milkweed	2.00
Bidens spp.	Bidens Species	2.00
Eupatorium perfoliatum	Common Boneset	1.00
Helenium autumnale	Sneezeweed	2.00
Iris virginica v. shrevei	Blue Flag	4.00
Lycopus americanus	Common Water Horehound	0.50
Mimulus ringens	Monkey Flower	1.00
Penthorum sedoides	Ditch Stonecrop	0.50
Persicaria spp.	Pinkweed Species	2.00
Rudbeckia subtomentosa	Sweet Black-Eyed Susan	1.00
Rudbeckia triloba	Brown-Eyed Susan	1.50
Sagittaria latifolia	Common Arrowhead	1.00
Senna hebecarpa	Wild Senna	2.00
Symphyotrichum lanceolatum	Panicled Aster	0.50
Symphyotrichum novae-angliae	New England Aster	0.50
Thalictrum dasycarpum	Purple Meadow Rue	2.00
	Total	20.00

## prairie seed mix:

This prairie seed mix offers an economical way to establish a prairie. In addition to native prairie grasses, flowering species provide color throughout the growing season and food sources for birds and butterflies. Adding seed or plant plugs at a later date is a wonderful way to increase a prairie's richness and diversity. This seed mix includes at least 6 of 7 native permanent grass and sedge species and 10 of 13 native forb species. Apply at 37.70 PLS pounds per acre.

Botanical Name	Common Name	PLS Oz/Acre
Permanent Grasses/Sedges		
Andropogon gerardii	Big Bluestem	12.00
Bouteloua curtipendula	Side-Oats Grama	16.00
Carex spp.	Prairie Sedge Species	3.00
Elymus canadensis	Canada Wild Rye	24.00
Panicum virgatum	Switch Grass	2.50
Schizachyrium scoparium	Little Bluestem	32.00
Sorghastrum nutans	Indian Grass	12.00
	Total	101.50
Temporary Cover		
Avena sativa	Common Oat	360.00
Lolium multiflorum	Annual Rye	100.00
	Total	460.00
Forbs		
Asclepias syriaca	Common Milkweed	1.00
Asclepias tuberosa	Butterfly Weed	1.00
Chamaecrista fasciculata	Partridge Pea	10.00
Coreopsis lanceolata	Sand Coreopsis	6.00
Echinacea purpurea	Broad-Leaved Purple Coneflower	8.00
Heliopsis helianthoides	False Sunflower	0.25
Monarda fistulosa	Wild Bergamot	0.50
Penstemon digitalis	Foxglove Beard Tongue	1.00
Ratibida pinnata	Yellow Coneflower	4.00
Rudbeckia hirta	Black-Eyed Susan	8.00
Solidago speciosa	Showy Goldenrod	0.50
Symphyotrichum laeve	Smooth Blue Aster	1.00
Symphyotrichum novae-angliae	New England Aster	0.50
	Total	41.75

Cardno Native Plant Nursery 128 Sunset Drive Walkerton, Indiana 46574 Phone: 574-586-2412 Fax: 574-586-2718 nurserysales@cardno.com

## plant material list (bio-garden)

key	quant.	botanical name	common name	size	comments
CS	10	CORNUS STOLONIFERA	REDTWIG DOGWOOD	3' B.B	60" O.C. SPACING
CF	10	CORNUS SERICEA 'FLAVIRAMEA'	YELLOW TWIG DOGWOOD	3' B.B	60" O.C. SPACING
VT	10	VIBURNUM TRILOBUM 'COMPACTUM'	COMPACT CRANBERRYBUDH VIBURNUM	3' B.B	60" O.C. SPACING
PAH	10	PENNISETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN GRASS	*3 CONT.	36" O.C. SPACING
CKF	15	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#3 CONT.	36" O.C. SPACING

## planting landscape notes:

GENERAL NOTES:

PLANT MATERIALS TO BE INSTALLED ACCORDING TO THE GREEN OAK TOWNSHIP AND CURRENT AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.

2) PLANT MATERIALS TO BE GUARANTEED FOR 2 YEARS. REPLACE FALLING MATERIAL WITHIN 1 YEAR, OR THE NEXT APPROPRIATE PLANTING PERIOD.

3) PLANT MATERIALS TO BE OF PREMIUM QUALITY, NO. I GRADE NORTHERN NURSURY GROWN, IN HEALTHY CONDITION, FREE OF PESTS AND DISEASES.

4)MULCH IS TO BE NATURAL COLORED, FINELY SHREDDED HARDWOOD BARK OF 4" THICK BARK MULCH FOR TREES IN 4' DIA. CIRCLE W/3" PULLED AWAY FROM TRUNK, 3" THICK BARK MULCH FOR SHRUBS AND 2" THICK BARK MULCH FOR PERRENIALS.
5)CALL MISS DIG AT 1-800-482-7171 PRIOR TO ANY CONSTRUCTION.

## DECIDUOUS & EVERGREEN TREE: 1) TREE SHALL BE INSTALLED SAME RELATIONSHIP TO FINISH GRADE

AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.

2) DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.

3) REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSLIGHTLY AND COULD CAUSE GIRDLING.
4) REMOVE TREE STAKES, GUY WIRES AND TREE WRAP AFTER ONE WINTER SEASON.

1) SHRUB SHALL BE INSTALLED SAME RELATIONSHIP TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 4" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.

2) DO NOT PRUNE TERMINAL LEADER, PRUNE ONLY DEAD OR BROKEN BRANCHES.

3) REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSLIGHTLY AND COULD CAUSE GIRDLING.

## EN FEATHER REED GRADO

landscape maintenance notes:

LANDSCAPE MAINTENANCE PROCEDURES AND FREQUENCIES TO BE FOLLOWED SHALL BE SPECIFIED ON THE LANDSCAPE PLAN, ALONG WITH THE MANNER IN WHICH THE EFFECTIVENESS, HEALTH AND INTENDED FUNCTIONS OF THE VARIOUS LANDSCAPE AREAS ON THE SITE WILL BE ENSURED.

1. LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBRIS AND REFUSE.

2. PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION, ONLY TO REMOVE DEAD OR DISEASED BRANCHES. SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE.

3. ALL DEAD OR DISEASED PLANT MATERIAL SHALL BE REMOVED AND REPLACED WITHIN SIX (6) MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST. THE PLANTING SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH IS AND NOVEMBER IS OR UNTIL THE PREPARED SOIL BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH I AND JUNE I. PLANT MATERIAL INSTALLED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF THE MATERIAL IT IS INTENDED TO REPLACE.

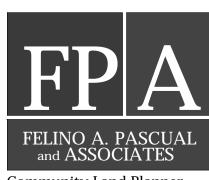
## lawn area:

SOD LAWN AREAS SHALL BE KENTUCKY BLUE GRASS BLEND GRASS IN A SOD NURSERY ON LOAM SOIL. SOD TO BE INSTALLED ON MINIMUM 4" TOPSOIL.

SEEDED LAWN AREAS SHALL CONSIST OF THE FOLLOWING TYPES AND PROPORTIONS:

5% PERENNIAL RYE GRASS 10% RED FESCUE 25% CHEWING FESCUE 60% KENTUCKY BLUE GRASS

SEED MIX SHALL BE APPLIED AT A RATE OF 200 POUNDS PER ACRE AND WEED CONTENT SHALL NOT EXCEED 1%. SEED, PROVIDE A MINIMUM 4" TOP SOIL ON ALL



Community Land Planner and registered Landscape Architect 24333 Orchard Lake Rd, Suite G Farmington Hills, MI 48336 ph. (248) 557-5588 fax. (248) 557-5416

seal:

OF MICHAELING

FELINO

A. PASCUAL

ARCHIFCT

ANDSCAPE

ANDS

Our Shepherd Lutheran Church

2225 14 Mile Rd Birmingham, Michigan

project:

Our Shepherd Lutheran Church

project location:

City of Birmingham, Michigan 14 Mile Road

sheet title:

BIO-GARDEN PLANTING DETAIL

job no./issue/revision date:

LS21.073.05 review 5-13-2021
LS21.073.10 review 11-12-2021

LS22.010.01 city 1-31-2022

drawn by:

JP, DK, HP
checked by:
FP

date: 1-2-2022

notice:
Copyright © 2022

This document and the subject matter contained therein is proprietary and is not to be used or reproduced without the written permission of Felino Pascual and Associates

Do Not scale drawings. Use figured dimensions only



For free location of public utility lines

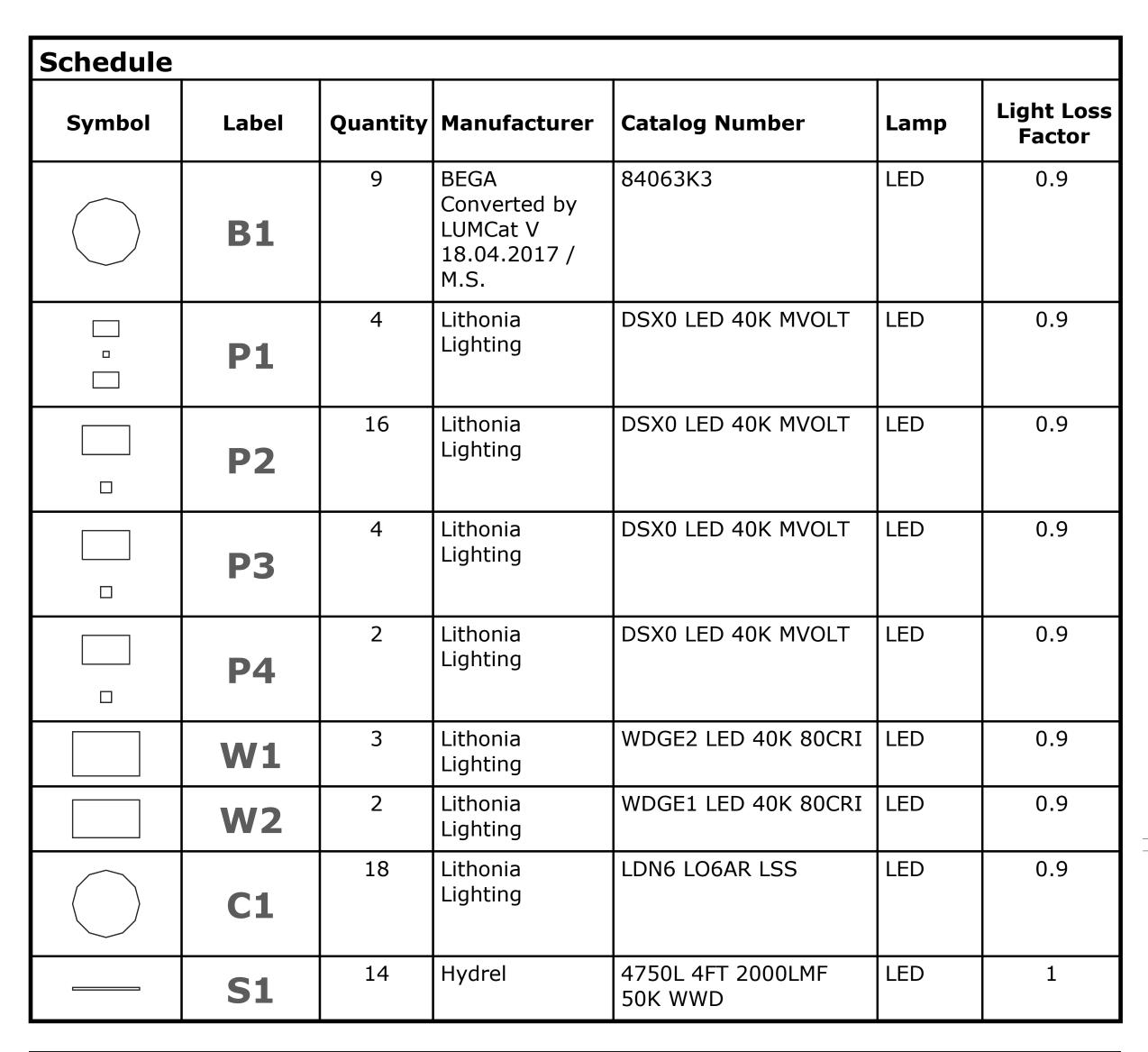
The location and elevations of existing underground utilities as shown on this drawing are only approximate. no guarantee is either expressed or implied as to the completeness of accuracy. contractor shall be exclusively responsible for determining the exact location and elevation prior to the start

project no:

LS22.010.01

of construction

sheet no: LS-3 of 3



Statistics											
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max				
Grade @ 0'	+	0.6 fc	26.7 fc	0.0 fc	N/A	N/A	0.0:1				
MAIN PARKING AND DRIVES	Ж	2.3 fc	10.7 fc	0.4 fc	26.8:1	5.8:1	0.2:1				
PROPERTY LINE	+	0.1 fc	0.9 fc	0.0 fc	N/A	N/A	0.1:1				
Front Drive	Ж	3.9 fc	5.5 fc	0.8 fc	6.9:1	4.9:1	0.7:1				

## **General Note**

- 1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' 0"
   LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKE UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

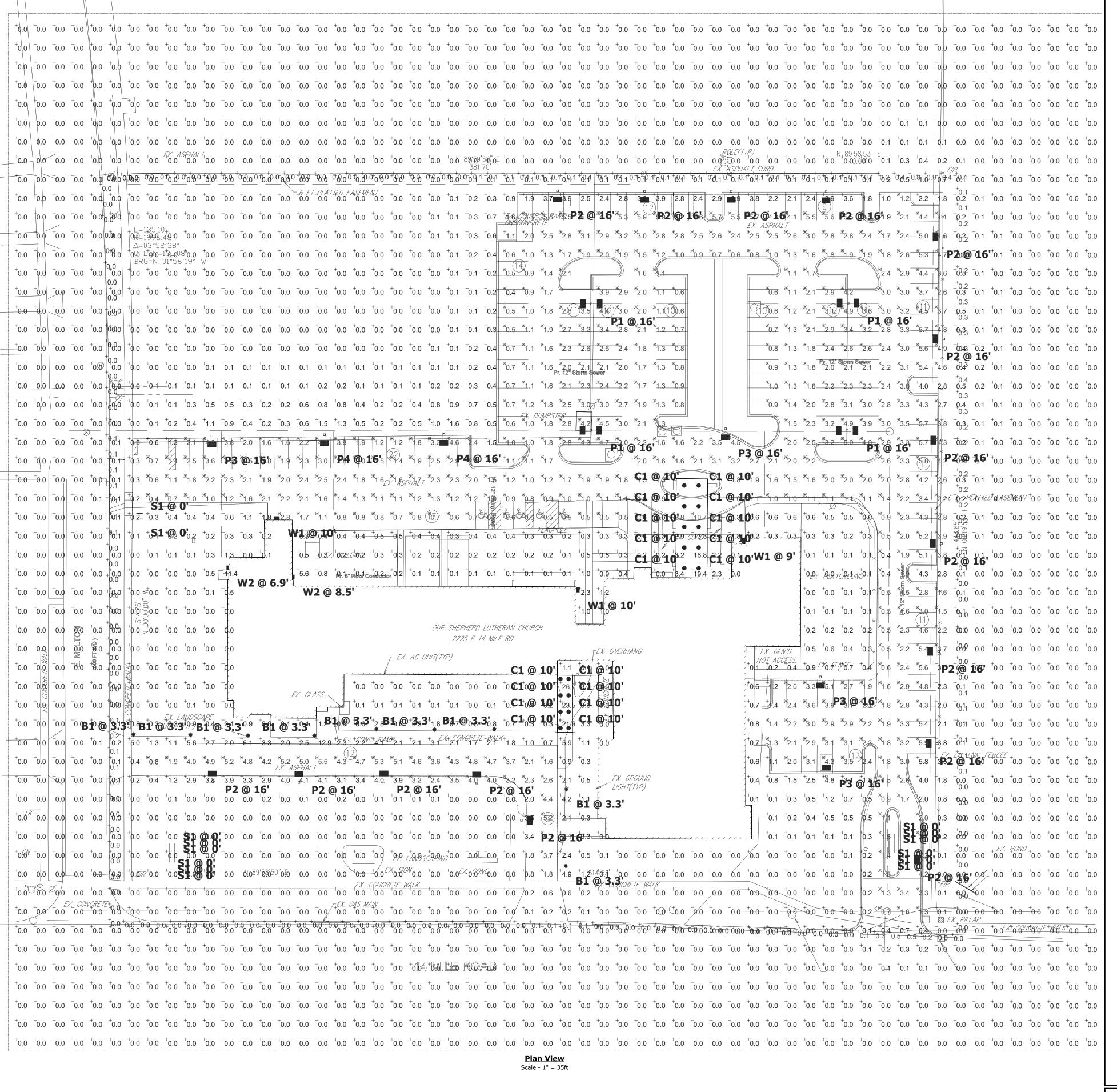
UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.





Designer
DS
Date
10/12/2021
REV. 11/2/21
Scale
Not to Scale
Drawing No.
#21-67602 V3

## Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance

results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

Width:	13* (33.0 cm)			$\supset$		
Height,:	3* (7.62 an)		_ L	Н. А		
Height <sub>2</sub> : Weight	7° (17.8 cm)			<u> </u>	77/	Н,
Weight (max):	16 lbs (7.25 kg)	1			<u>\</u>	
				85	w -	
-	The second	W750.00				

Order	ing Informatio	n	EXAMPLE: DSX0 LED	P6 40K T3M	MVOLT SPA NLTAIR2 PIRHN DDB)
DSX0 LED					
Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSXIO LED	Porward optics P1 P4 P7 P7 P2 P5 P3 P6 Rotated optics P10 P12 P12 P11 P13 L2	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I short (Automotive) T2S Type II short T2M Type II short T3M Type II short T3M Type III short T3M Type III short T3M Type III medium T4M Type IV medium T5VS Type IV very short 2  T5S Type II short T6D Backlight control RCCO Right corner cutof	208° 240° 277°	Shipped included  SPA Square pole mounting  RPA Round pole mounting?  WBA Wall bracket*  SPUMBA Square pole universal mounting adaptor*  RPUMBA Round pole universal mounting adaptor*  Shipped separately  KMAS DDBXD U Mast arm mounting bracket adaptor (specify finish)?

	P2 P5 P3 P6 Rotated optics P10 <sup>2</sup> P12 <sup>2</sup> P11 <sup>2</sup> P13 <sup>1,2</sup>	50K 5000 K	T2M Type II med T3S Type III sho T3M Type III med T4M Type IV med TFTM Forward the T5VS Type V very	rt BLC dium LCC dium RCC row medium	Backlight control *  Left corner cutoff*	208* 240* 277* 347* 480*	WBA N SPUMBA S RPUMBA F Shipped separatel KMA8 DDBXD U	ound pole mount Vall bracket <sup>1</sup> quare pole univers ound pole univers y fast arm mountin specify finish)?	sal mounting ac
Control op	otions					Other opti	ons	Finish	we.
Shipped i NLTAIR2 PIRHN PER PERS PER7 DMG	installed  nLight AIR generation 2 enabled <sup>18</sup> Network, high/low motion/ambien NEMA twist-lock receptacle only (control or Seven-pin receptacle only (leads er separate) <sup>18,94</sup> 0-10V dimming extend out back or (control ordered separate) <sup>15</sup>	t sensor <sup>10</sup> control ordered separate) <sup>13</sup> idered separate) <sup>13,14</sup> skt fixture) (control ordered	PIR PIRH PIR1FG3V PIRH1FG3V FAO	height, ambient sens High/low, motion/an height, ambient sens High/low, motion/an height, ambient sens	bient sensor, 15-30' mounting or enabled at 56' %.17' shient sensor, 8-15' mounting or enabled at 16' %.17' shient sensor, 15-30' mounting or enabled at 16' %.17'	SF Sin DF Do L90 Lef R90 Rig DDL Dif HA 50' Shipped's BS Bin	nstalled use-side shield <sup>19</sup> ugle fuse (120, 277, 347V) <sup>8</sup> uble fuse (208, 240, 480V) <sup>6</sup> It rotated optics <sup>1</sup> ght rotated optics <sup>1</sup> fused drop lens <sup>19</sup> <sup>9</sup> C ambient operations <sup>1</sup> separately d spikes <sup>21</sup> ternal glare shield	DDBXD DBLXD DNAXD DWHXD DDBTXD DBLBXD DNATXD DWHGXD	Dark bronze Black Natural alumi White Textured dark Textured blac Textured natu aluminum Textured white

LITHONIA LIGHTINE
COMMERCIAL OUTDOOR

Specifications

One Lithonia Way . Conyers, Georgia 30012 . Phone: 1-800-705-SERV (7378) . www.lithonia.com © 2011-2020 Acuity Brands Lighting, Inc. All rights reserved.



# LITHONIA LIGHTING Cotalog Number

## **FEATURES & SPECIFICATIONS**

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices. CONSTRUCTION — Galvanized steel mounting/plaster frame; galvanized steel junction box with Type bottom-hinged access covers and spring latches. Reflectors are retained by torsion springs. Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment. Two combination ½"-3/4" and four ½" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4

out). No. 12 AWG conductors, rated for 90°C. Accommodates 12"-24" joist spacing. Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below celling. Max ceiling thickness 1-1/2".

OPTICS — LEDs are binned to a 3-step SDCM; 80 CRI minimum. 90 CRI optional. LED light source concealed with diffusing optical lens.

General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image. Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in ELECTRICAL — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10%

0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled. 70% lumen maintenance at 60,000 hours. LISTINGS — Certified to US and Canadian safety standards. Wet location standard (covered ceiling). IPS5 rated. ENERGY STAR\* certified product.

WARRANTY --- 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice. A+ Capable options indicated by this color background.



" Open and WallWash LED

ORDERING INFORMATION Lead times will vary depending on options selected. Consult with your sales representative. Example: LDN6 35/15 LO6AR L								
LDN6 Series	Color temperature	Lumens <sup>1</sup>	Aperture/Trim Color	Finish	Voltage			
LDN6 6" round	27/ 2700K 30/ 3000K 35/ 3500K 40/ 4000K 50/ 5000K	05 500 lumens 25 2500 lumens 30 3000 lumens 10 1000 lumens 40 4000 lumens 15 1500 lumens 50 5000 lumens 20 2000 lumens	LO6 Downlight AR Clear LW6 Wallwash WR <sup>2</sup> White BR <sup>2</sup> Black	LSS Semi-specular LD Matte diffuse LS Specular	MVOLT Multi-volt 120 120V 277 277V 347 <sup>3</sup> 347V			

Driver	Options							
GZ10 0-10V driver dims to 10% GZ1 0-10V driver dims to 10% D10 Minimum dimming 10% driver for use with JOT D1 Minimum dimming 1% driver for use with JOT EZ10 0-10V eldoLED driver with smooth and flicker- free deep dimming performance down to 10% EZ1 0-10V eldoLED driver with smooth and flicker- free deep dimming performance down to 1% EDAB eldoLED DALI SOLDRIVE dim to dark	SF* Single fuse TRW5 White painted flange TRBL5 Black painted flange EL6 Emergency battery pack with integral test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS ELS0 Emergency battery pack with remote test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS ELSD6 Emergency battery pack with self-diagnostics, integral test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS ELRSD6 Emergency battery pack with self-diagnostics, remote test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS E10WCP6 Emergency battery pack, 10W Constant Power with integral test switch. Certified in CA Title 20 MAEDB E10WCP7 Emergency battery pack, 10W Constant Power with remote test switch. Certified in CA Title 20 MAEDB NPP16D7 Inlight6 network power/relay pack with 0-10V dimming for non-eldoLEC drivers (GZ10, GZ1). ER controls fixtures on emergency circuit.	sistent factory installed option across all ABL luminaire brands. Available only in RRLA, RRLB, RRLAE, and RRLC12S. Refer to RRL spec sheet on www.acuitybrands.com for the RELOC product specifications.  NLTAIR24.11  NLTAIRER25.10  NLTAIRER25.10  NLTAIRER25.10  NLTAIREM25.10  NLTAIREM25.10						

Accessories: 0	rder as separate catalog number.
PS1055CP	FMC Power Sentry batterypack, T20 compliant, field installable, 10w constant power
EAC ISSM 375	Compact interruptible emergency AC power system
EAC ISSM 125	Compact interruptible emergency AC power system
GRA68 JZ	Oversized trim ring with 8" outside diameter 1

DOWNLIGHTING

Overall height varies based on lumen package; refer to dimen- 9 Not available with CP, NPSBOEZ, NPSBOEZR, NPP16D, NPPsional chart on page 3. Not available with finishes. 16DER or N80 options.

10 NLTAIR2, NLTAIRER2 and NLTAIREM2 not recommended for Not available with emergency option Must specify voltage 120V or 277V. Available with clear (AR) reflector only.

1 Fixture height is 6.5" for all lumen packages with HAO. 12 Must specify voltage for 3000lm and above, 5000lm with marked spacing 24 L x 24 W x 14 H. Not available with emer-12.5" of plenum depth or top access required for battery pack Must specify D10 or D1 driver. Not available with nLight options. Not available with CP. Not recommended for metal Specify voltage. ER for use with generator supply EM power. Will require an emergency hot feed and normal hot feed. Fixture begins at 80% light level. Must be specified with NP-S80EZ or NPS80EZ ER. Only available with EZ10 and EZ1 drivers. ceiling installation. Not for use with emergency backup power systems other than battery packs.



11.5"

**Specifications** 

Depth (D1):

Depth (D2):

Weight: (without options)

WDGE2 LED Architectural Wall Sconce





The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE2 delivers up to 6,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wallmounted lighting solution for pedestrian scale applications in any environment.

DGE LED Family Overview	1

Luminaire	50-1-150 CT	Cold EM, -20°C		Lumens (4000K)							
	Standard EM, 0°C	C0:0 Em, -20 C	Sensor	P1	P2	P3	P4	P5	P6		
WDGE1 LED	4W	-	-	1,200	2,000		8-	-	700		
WDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	1 320		
WDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000		572		
WDGE4 LED	-	-	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000		

Ordering I	nformatio	n /		E	(AMPLE: W	DGE2 LED P	3 40K 80CRI	VF MVOLT	SRM DDB
WDGE4 LED	80	-	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000
WDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000		572
WDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	5400
THE SECTION S.	0.5546/11	107	47	1,100		0.000			92790

Series	Packag		Color 1	emperature	CRI	Distri	bution	Voltage	Mour	ting		_
WDGE2 LED	P1 <sup>1</sup> P2 <sup>1</sup> P3 <sup>1</sup> P4 <sup>1</sup> P5 <sup>1</sup>	P1SW P2SW P3SW Door with small window (SW) is required to accommodate services. See page 2 for more details.	27K 30K 35K 40K 50K <sup>2</sup>	2700K 3000K 3500K 4000K 5000K	80CRI 90CRI	VF VW	Visual comfort forward throw Visual comfort wide	MVOLT 347 <sup>1</sup> 480 <sup>3</sup>	Ship SRM ICW	ped included  Surface mounting bracket Indirect Canopy/Ceiling Washer bracket (dry/damp locations only)*	Shippe AWS BBW PBBW	d separately  3/8inch Architectural wall spacer Surface-mounted back box Premium surface-mounted back box (top, left, right conduit entry)

Options				Finish	
E4WH	Emergency battery backup, CEC compliant (4W, 0°C min)	Standalone S	ensors/Controls (only available with P1SW, P2SW & P3SW)	DDBXD	Dark bronze
E10WH E20WC PE <sup>1</sup> DS <sup>3</sup> DMG <sup>4</sup>	Emergency battery backup, CEC compliant (10W, 5°C min) Emergency battery backup, CEC compliant (18W, -20°C min) Photocell, Button Type Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details) 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	PIR PIRH PIR1FG3V PIRH1FG3V	Bi-level (100/35%) motion sensor for 8-15' mounting heights, intended for use on switched circuits with external dusk to dawn switching.  Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching  Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell prepagaramed for dusk to dawn operation.  Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell prepagaramed for dusk to dawn operation.	DBLXD DNAXD DWHXD DSSXD DDBTXD DBLBXD DNATXD	Black Natural aluminum White Sandstone Textured dark bronze Textured black Textured natural alumin
BCE	Bottom conduit entry for premium back box (PBBW). Total of 4 entry points.	NLTAIR2 PIR NLTAIR2 PIRH	ensors/Controls (only available with P1SW, P2SW & P3SW).  nLightAIR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights.  nLightAIR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights.  of box functionality	DSSTXD	Textured white Textured sandstone

LITHONIA

LED bollards - rotationally symmetrical light distribution

Application
LED bollards with rotationally symmetrical light distribution designed to

independent of anchor bolt orientation.

Reflector made of pure anodized aluminum

Mechanically captive stainless steel fasteners

Anchorage constructed of galvanized steel

High temperature silicone gasket

Protection class IP65

Weight: 23.8 lbs

Operating voltage

System wattage

Luminaire lumens

Controllability

LED module wattage

Color rendering index

Lifetime at Ta = 15°C

Lifetime at Ta=30°C LED color temperature

minimum 3 mil thickness.

Bollard · rotationally symmetrical

4000K - Product number + K4 3500K - Product number + K35 3000K - Product number + K3 2700K - Product number + K27

Minimum start temperature

Electrical

provide glare-free illumination perfect for squares, pathways and entrances.

Provided with mounting system that allows the luminaire to be adjusted

Luminaire housing and posts constructed of die-cast and extruded marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy

Silicone applied robotically to casting, plasma treated for increased

NRTL listed to North American Standards, suitable for wet locations

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

All BEGA standard finishes are matte, textured polyester powder coat with

Bronze (BRZ) Silver (SLV) CUS:

6% 39%

Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bego-us, com © copyright BEGA 2018

Undated 03/15/19

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com

Available colors Black (BLK) White (WHT) RAL:

120-277VAC

0-10V, TRIAC, and ELV dimmable

1,371 lumens (3000K)

286,000 h (L70) 117,000 h (L70)

19.4W

COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com © 2019-2020 Acuity Brands Lighting, Inc. All rights reserved.

BEGA Product:

Project:

Modified:

WDGE2 LED Rev. 04/15/20

**Specifications** 

5.5"

WDGE LED Family Overview

Depth (D1):

Depth (D2):

(without options)

WDGE1 LED

WDGE1 LED

Architectural Wall Sconce

1,200

1,200

7,500

80CRI VF Visual comfort forward throw

VW Visual comfort wide

COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com

© 2019-2020 Acuity Brands Lighting, Inc. All rights reserved.

18W Standalone / nLight

18W Standalone / nLight

90CRI

27K 2700K

30K 3000K

35K 3500K 40K 4000K 50K1 5000K

Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details)

BCE Bottom conduit entry for premium back box (PBBW). Total of 4 entry points.

DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)

E4WH<sup>3</sup> Emergency battery backup, CEC compliant (4W, 0°C min)

Accessories

WDGEAWS DDBXD U WDGE 3/8inch Architectural Wall Spacer (specify finish) WDGE1PB8W DDBXD U WDGE1 Premium surface-mounted back box (specify finish)

WSBBW DORXD U Surface - mounted back box (specify finish)

PE<sup>4</sup> Photocell, Button Type

Standalone / nLight

2,000

8,500

16,000

MVOLT

DBLXD Black

DWHXD White

DNAXD Natural aluminum

The WDGE LED family is designed to meet

specifier's every wall-mounted lighting need in

architecture. The clean rectilinear design comes

in four sizes with lumen packages ranging from

1,200 to 25,000 lumens, providing true site-wide

WDGE1 delivers up to 2,000 lumens with a soft,

comfortable environment. The compact size of

WDGE1, with its integrated emergency battery

backup option, makes it an ideal over-the-door

wall-mounted lighting solution.

4,500

20,000

ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only)<sup>5</sup>

PBBW Premium surface-mounted back box (top, left, right conduit entry)

DOBTXO Textured dark bronze

DBLBXD Textured black DNATXD Textured natural aluminum

DWHGXD Textured white

DSSTXD Textured sandstone

1 50K not available in 90CRI. 4 PE not available with DS.

Not qualified for DLC. Not available with E4WH.

WDGE1 LED

Rev. 04/15/20

12,000

**EXAMPLE:** WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

SRM Surface mounting bracket

AWS 3/8inch Architectural wall spacer BBW Surface-mounted back box

347V not available with E4WH, DS or PE.

3 E4WH not available with PE or DS.

non-pixelated light source, creating a visually

solution.

10,000

18,000

a widely accepted shape that blends with any

## Weight: 4' 17.5lbs 2' 12.5lbs

DIMENSIONS

## HIGHLIGHTS The The 4750L delivers industry leading durability,

performance and lumen output Superior water resistance IP67 with Hydrel "Flow-Thru" technology, water flows around the independently sealed

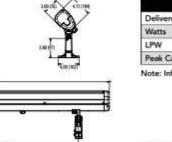
**4750L STATIC WHITE** 

integral driver module and sealed LED module Aiming integrity with a fully adjustable and rugged knuckle design using Taper-Lock technology

 Long life in the most demanding environments with low copper content housing materials, stainless steel fasteners, and durable powder coat finish options for Coastal Regions and Natatoriums

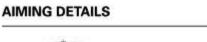
3G vibration rated per ANCI C136.31

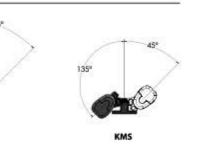
**LUMEN PACKAGES** 

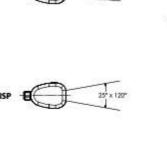


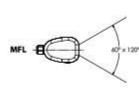
	VNSP	NSP	MFL	WFL	WWE
Delivered Lumens	6491	6646	7200	7286	6592
Watts	64	64	64	64	64
LPW	102	104	113	114	103
Peak Candela	7650	5961	4242	2683	3998

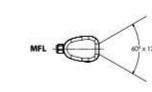
## STANDARD DISTRIBUTION

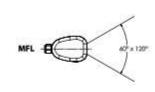












© 2018-2021 Acuity Brands Lighting, Inc. • One Lithonia Way Conyers GA 30012 Phone: 800-705-SERV (7378) • www.hydrel.com

4750L Static White | Rev. 05/07/21

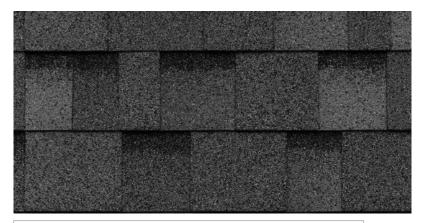
OUR

Designer Date

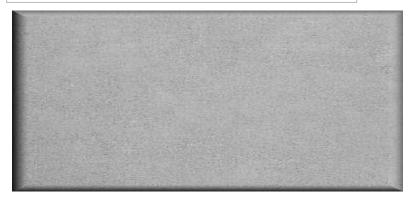
#21-67602 V3

10/12/2021 REV. 11/2/21 Scale Not to Scale Drawing No.

## OUR SHEPARD LUTHERAN CHURCH: EXTERIOR MATERIALS AND FINISHES FOR NEW ADDITIONS



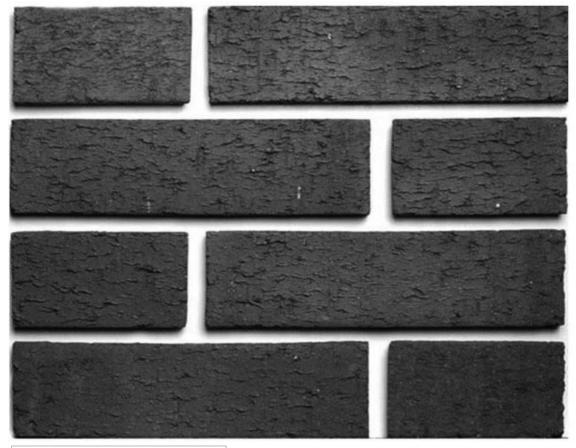
ROOF SHINGLE: COLOR AND STYLE TO MATCH



LIMESTONE CAP TO MATCH EXISTING LIMESTONE CAP



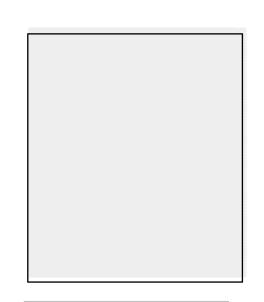
NEW BRICK TO MATCH EXISITNG AT NEW COVERED ENTRANCE



NEW PORTE COCHERE BRICK



BUILDING AND FREESTANDING CROSS FINISH, ALUMINUM FRAMING FOR METAL SIDING PANELS (MATCH EXISTING)



WHITE METAL FASCIA @ NEW COVERERED ENTRY.
ALTERNATE MATERIAL: FIBER CEMENT BOARD-PAINTED



METAL FASCIA ON FLAT ROOF TO MATCH EXISTING FASCIA



METAL SIDING (TO MATCH EXISTING) IN ALUMINUM FRAMING, PIN-MOUNTED CHURCH SIGNAGE

Alexander V. Bogaerts + Associates, P.C. Architecture • Planning • Interior Design 2445 Franklin Road Bloomfield Hills, MI 48302 248•334•5000





#### ALEXANDER V. BOGAERTS & ASSOCIATES, P.C.

Architecture Planning Interior Design

2445 Franklin Rd. Bloomfield Hills, MI 48302 248/ 334-5000

March 16, 2022

### OUR SHEPARD LUTHERAN CHURCH

EXTERIOR MATERIALS AND FINISHES FOR NEW ADDITIONS

(selections represent samples on board submitted to city. All selections to be verified with existing building materials). All materials to be similar/equal.

Porte Cochere Brick: Bowerston Brick (Friendship)

#1300 Valley Blend Wirecut Modular

Covered entry Brick: Acme Brick (Friendship)

(to match existing) Manewa

Limestone Cap: Indiana Buff Limestone to match existing stone cap.

Building & Freestanding

Cross finish, Aluminum Framing for metal siding

Panels (match existing)

Atas

Clear Anodized #70

White Metal Fascia: Atas

(match existing color) Ascot White #01

Alternate Material: Cement Fiber-board, painted

Clerestory Panels, Atas

Pin-Mounted Signage Matte Black #32

Metal Fascia on Flat Atas

Roof Classic Bronze #10

(match existing color)

Shingles IKO

(match existing color Cambridge

& style) Dual Gray



## RECEIVED

FEB 01 2022

CITY OF BIRMINGHAM

## Special Land Use Permit Application MUNITY DEVELOPMENT DEPT.

**Planning Division** 

Form will not be processed until it is completely filled out.

1.	Applicant		2. Pro	perty O	wner
	Name: Our Shephe	erd Lutheran Church			herd Lutheran Church
	Address: 2225 E	14 Mile Rd. Birmingham, MI 48009			14 Mile Rd. Bìrmingham, MI 48009
	Phone Number	248-646-6100	Phot	ne Numbe	r: 248-646-6100
	Fax Number:			Number:	
	Email address:	churchoffice@ourshepherd.net	Ema	il address	churchoffice@ourshepherd.net
2	A	A44 10 1 . 1 D			
3.	Applicant's Name: David Prisko	Attorney/Contact Person			signer/Developer V Bogaerts + Associates, P.C.
	Address: 2225 E 1	4 Mile Rd. Birmingham, MI 48009			ranklin Rd, Bloomfield Hills, MI 48302
	Dlaga Niverslaga	. 249 705 7974	0:		
	Phone Number:	246-705-7674			r: <sup>248-334-5000</sup>
	Fax Number:	priskhorn@ourshepherd.nel	Fax	Number:_	
	Eman address:	prisknotti e duistreprietu.net	Ema	il address	mabanatha@bogaerts.us
5.	Required At	tachments			
		2) paper copies and one (1) digital copy of all		v.	A Landscape Plan;
		t plans including:		vi.	A Photometric Plan;
	i.	A detailed Existing Conditions Plan		vii.	Colored elevation drawings for each
		including the subject site in its entirety,		,	building elevation;
		including all property lines, buildings,	II.	Speci	fication sheets for all proposed materials, light
		structures, curb cuts, sidewalks, drives,	***		es and mechanical equipment;
		ramps and all parking on site and on the	III.		ples of all proposed materials;
		street(s) adjacent to the site, and must	IV.	-	
		show the same detail for all adjacent	1 V .		graphs of existing conditions on the site
		properties within 200 ft. of the subject			ding all structures, parking areas, landscaping
			17		djacent structures;
	ii.	site's property lines;	V.		nt aerial photographs of the site and
	11.	A detailed and scaled Site Plan depicting	T 11		anding properties;
		accurately and in detail the proposed	VI.	Warra	anty Deed, or Consent of Property Owner if
	:::	construction, alteration or repair;	~ ~~~		cant is not the owner;
	iii.	A certified Land Survey;	VII.		other data requested by the Planning Board,
	iv.	Interior floor plans;		Plann	ing Department, or other City Departments.
6.	<b>Project Infor</b>	mation			
	Address/Location	on of the property:	Date	of Applic	ation for Final Site Plan:
	2225 E 14 Mile Rd. Bi				lite Plan Approval:
		pment: Our Shepherd Lutheran Church			cation for Revised Final Site Plan:
	Sidwell #: 20-31-	455-005, 20-31-456-002, 20-31-401-000	Date	of Revise	d Final Site Plan Approval:
	Current Use: Re	ligious			Review Board Approval:
	Proposed Use: sa	ame			nt SLUP in effect for this site? yes
	Area of Site in A				ation for SLUP:
	Current zoning:		Date	of SLUP	Approval:
		ocated in the floodplain?			LUP Amendment:
		c District Site is located in: NA			project require the division of platted lots?
		District Commission Approval: NA	no	F. SPODOG	project require the division of planted lots:
		tion for Preliminary Site Plan:	Will	proposed :	project require the combination of platted lots?
	1.4	y =		F 226 7	FJ

Date of Preliminary Site Plan Approval:

	New porte cochere entry addition on the north elevation	
	New covered entry on the south elevation. New infill/addition to existing brick column line o	n the south elevation adjacent to new covered entry.
	New additional foundation landscape around building	
	New site and building lighting	
	(3) new ground signs - (1) at the NW drive entry off of Mellon Rd, (1) at the SW corner of the site (Melton & 14 m	ile rd), (1) at new boulevard drive entry on SE comer of site, small identification sign on new porte cochere o
	Duildings and Charactures	
	Buildings and Structures	TT 672 11 11 11 11 11
	Number of Buildings on Site: Main bldg & small storage bldg Height of Buildings & # of Stories: 1 story w/ balcony (see elevations)	Use of Buildings: church and ancillary uses Height of Rooftop Mechanical Equipment: existing to remain a
	Floor Use and Area (in Square Feet)	
	Proposed Commercial Structures:	
	Total basement floor area: see floor plan	Office Space:
	Number of square feet per upper floor: see floor plan	Retail Space:
	Total floor area: see floor plan	Industrial Space:
	Floor area ratio (total floor area ÷ total land area):	Assembly Space:
	See floor plan	Seating Capacity: (pew seating for reqd parking calcs see site plan)
	Open space: See site plan Percent of open space: See site plan	Maximum Occupancy Load: existg to remain
	Percent of open space: See site plan	
	Proposed Residential Structures:	
	Total number of units:	Rental units or condominiums?
	Number of one bedroom units:	Size of one bedroom units:
	Number of two bedroom units:	Size of two bedroom units:
	Number of three bedroom units:	Size of three bedroom units:
	Open space:	Seating Capacity:
•	Percent of open space:	Maximum Occupancy Load:
	Proposed Additions:	
,	Total basement floor area, if any, of addition: none	Use of addition: see site & floor plans
]	Number of floors to be added: none	Height of addition: see elevations
	Square footage added per floor: see floor plan	Office space in addition:
	Total building floor area (including addition): see floor plan	Retail space in addition:
]	Floor area ratio (total floor area ÷ total land area):	Industrial space in addition:
- 04	see floor plan	Assembly space in addition:
	Open Space: See site plan Percent of open space: See site plan	Maximum building occupancy load (including addition):
	refectit of open space.	existg to remain
	Required and Proposed Setbacks Required front setback: See site plan	Proposed front setback: See site plan
	Required rear setback: See site plan	Proposed rear setback See site plan
	Required total side setback: See site plan	Proposed total side setback: See site plan
	Side setback: See site plan	Second side setback: See site plan
	orde betoder.	Second side Setodek.
	Required and Proposed Parking Required number of parking spaces: See site plan	Proposed number of parking apaces. See site plan
	Typical angle of parking spaces: none	Proposed number of parking spaces: See site plan
		Typical size of parking spaces: See site plan
	Typical width of maneuvering lanes: See site plan	Number of spaces <180 sq. ft.: 0
	Location of parking on site: See site plan	Number of handicap spaces; See site plan
	Location of parking off site: See site plan (understood agreement w/ property to the north)	Shared parking agreement? nothing formal, implied with property to
	Number of light standards in parking area: see site lighting plan  Screenwall material: see landscape plan for TR screen	Height of light standards in parking area: see site lighting plan Height of screenwall: see landscape plan for TR screen

2. Landscaping	D. III I and I and I
Location of landscape areas: see landscape plan	Proposed landscape material: see landscape plan
	-
	<del></del>
3. Streetscape	
Sidewalk width: See civil site plan	Description of benches or planters:
Number of benches:	
Number of planters:  Number of existing street trees: see landscape plan	Species of existing trees: see landscape plan
Number of existing street trees: see landscape plan	
Number of proposed street trees: see landscape plan	Species of proposed trees: see landscape plan
Streetscape plan submitted?	
4. Loading  Paying number of leading spaces NA	Dronged number of loading age NA
Required number of loading spaces; NA	Proposed number of loading spaces: NA
Typical angle of loading spaces:	Typical size of loading spaces:
Screenwall material:	Height of screenwall:
Location of loading spaces on site:	Height of screenwall:  Typical time loading spaces are used:
5. Exterior Waste Receptacles	
Required number of waste receptacles: 1 existing to be relocated see site plan	Proposed number of waste receptacles: 1
Location of waste recentacles: See civil site plan	Size of waste receptacles: See civil site plan
Location of waste receptacles: See civil site plan Screenwall material: see landscape plan	Height of screenwall: see landscape plan
6. Mechanical Equipment  Utilities and Transformers: Number of ground mounted transformers; See civil site plan Size of transformers (L•W•H):	Location of all utilities & easements: See civil site plan
Number of utility easements:	
Screenwall material: existing to remain as is	Height of screenwall:
Ground Mounted Mechanical Equipment:	
Number of ground mounted units: See civil site plan	Location of all ground mounted units: See civil site plan
Size of ground mounted units (L•W•H): existing to remain as is	<del></del>
Screenwall material: existing to remain as is	Height of screenwall: existing to remain as is
Rooftop Mechanical Equipment:	
Number of rooftop units: existing to remain as is	Location of all rooftop units: existing to remain as is
Type of rooftop units:	
Type of foottop units	Size of rooftop units (L•W•H):
S	Percentage of rooftop covered by mechanical units:
Screenwall material:  Location of screenwall: existing to remain as is	Height of screenwall: existing to remain as is
Location of screenwall: existing to remain as is	Distance from rooftop units to all screenwalls:
	existing to remain as is
7. Accessory Buildings	
Number of accessory buildings: 1	Size of accessory buildings: see civil
Location of accessory buildings: north side of bldg (existg to remain as is)	Height of accessory buildings: see existing photos
	-0
8. Building Lighting	Transaction to the state of the
Number of light standards on building: see photometric plan & cut sheets	Type of light standards on building:
	see photometric plan & cut sheets

.

Size of light fixtures (L•W•H): see photometric plan & cut sheets	Height from grade: see photometric plan & cut sheets
Maximum wattage per fixture: see photometric plan & cut sheets	Proposed wattage per fixture: see photometric plan & cut sheets
Light level at each property line: see pholometric plan & cut sheets	
01/2 11 14	
Site Lighting	
Number of light fixtures: see photometric plan & cut sheets	Type of light fixtures: see photometric plan & cut sheets
Size of light fixtures (L•W•H): see photometric plan & cut sheets	Height from grade: see photometric plan & cut sheets
Maximum wattage per fixture: see photometric plan & cut sheets	Proposed wattage per fixture: see photometric plan & cut sheets
Light level at each property line: see photometric plan & cut sheets	Holiday tree lighting receptacles:
Adjacent Properties	
Number of properties within 200 ft.: see civil plans	
Property #4	
Property #1	
Number of buildings on site: see civil plans - cemetery	Property Description: see civil plans
Zoning district: see civil plans	
Use type: see civil plans	
Square footage of principal building: see civil plans	<del></del>
Square footage of accessory buildings: see civil plans	
Number of parking spaces: see civil plans	North, south, east or west of property? East
Property #2	
Number of buildings on site: see civil plans - school	Property Description; see civil plans
Zoning district: see civil plans	
Use type: see civil plans	
Square footage of principal building: see civil plans	
Square footage of accessory buildings: see civil plans	
Number of parking spaces: see civil plans	North, south, east or west of property? North
Property #3	
Number of buildings on site: see civil plans - med office	Property Description: see civil plans
Zoning district: see civil plans	Troperty Description,
Use type: see civil plans	1)
Square footage of principal building: see civil plans	
Square footage of accessory buildings: see civil plans	<del></del>
Number of parking spaces: see civil plans	North poutly and arrest of arrest O West
Number of parking spaces.	North, south, east or west of property? West
Property #4	
Number of buildings on site: balance of of properties are single family homes	Property Description: see civil plans
Zoning district:	
Use type:	
Square footage of principal building:	
Square footage of accessory buildings:	
Number of parking spaces:	North, south, east or west of property? West & South
Property #5	
Number of buildings on site:	Property Description:
Zoning district:	
I lan tamar	
Square footage of principal building:	
Square footage of accessory buildings:	
Number of parking spaces:	North, south, east or west of property?
tumoer or purking spuces.	riorui, souui, casi oi west oi property?

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner:	NA	Date:
Print Name:		- , ,
Signature of Applicant:		Date: 1/3/ 2022
Print Name: Dave F	Priskorn '/	
Signature of Architect:	Mark Abanatha Digitally signed by Mark Abanatha Date: 2022.01.17 13:28:57 -05'00'	Date: 1-17-22
Print Name: Mark A	Abanatha	_
	Office Use Only	
Application #:	Date Received:	Fee:
Date of Approval:	Date of Denial: Acces	nted by:



## SPECIAL LAND USE PERMIT APPLICATION CHECKLIST – PLANNING DIVISION

Applica	$_{ m nt:}$ Our Shepherd Lutheran Church $_{ m Case}$ #:	Date:
Address	2225 E 14 Mile Rd. Birmingham, MI 48009 Project: Build	ding addition
applicab plans mu	plans and elevation drawings prepared for approval shall be preparely requirements of the City of Birmingham. If more than one page ust be legible and of sufficient quality to provide for quality reprodumust be folded and stapled together. The address of the site must	e is used, each page shall be numbered sequentially. All duction or recording. Plans must be no larger than 24" x
A full S	an for Special Land Use Permit  Site Plan detailing the proposed changes for which approval is  0' (unless the drawing will not fit on one 24" X 36" sheet) and	s requested shall be drawn at a scale no smaller than
$\checkmark$	1. Name and address of applicant and proof of ownership	o;
$\checkmark$	2. Name of Development (if applicable);	
$\checkmark$	3. Address of site and legal description of the real estate;	
$\checkmark$	4. Name and address of the land surveyor;	
$\checkmark$	5. Legend and notes, including a graphic scale, north poin	nt, and date;
$\checkmark$	6. A separate location map;	
<b>√</b>	7. A map showing the boundary lines of adjacent land and developed as well as the adjacent land;	d the existing zoning of the area proposed to be
$\checkmark$	8. Aerial photographs of the subject site and surrounding	properties;
<b>✓</b>	9. A detailed and scaled Site Plan depicting accurately an repair;	d in detail the proposed construction, alteration or
<b>√</b>	10. A detailed Existing Conditions Plan including the subjection buildings, structures, curb cuts, sidewalks, drives, rampadjacent to the site, and must show the same detail for a site's property lines;	os and all parking on site and on the street(s)
$\checkmark$	11. Interior floor plans;	
$\checkmark$	12. A chart indicating the dates of any previous approvals begin Review Board, or the Historic District Commission.	by the Planning Board, Board of Zoning Appeals, sion ("HDC");

$\checkmark$	13. Existing and proposed layout of streets, open space and other basic elements of the plan;
$\checkmark$	14. Existing and proposed utilities and easements and their purpose;
$\checkmark$	15. Location of natural streams, regulated drains, 100-year flood plains, floodway, water courses, marshes, wooded areas, isolated preserve-able trees, wetlands, historic features, existing structures, dry wells, utility
$\checkmark$	lines, fire hydrants and any other significant feature(s) that may influence the design of the development;  16. General description, location, and types of structures on site;
$\checkmark$	17. Location of sidewalks, curb cuts, and parking lots on subject site and all sites within 200 ft. of the property line;
$\checkmark$	18. Details of existing or proposed lighting, signage and other pertinent development features;
<b>✓</b>	19. Elevation drawings showing proposed design;
<b>√</b>	<ol> <li>Screening to be utilized in concealing any exposed mechanical or electrical equipment and all trash receptacle areas;</li> </ol>
$\checkmark$	21. Location of all exterior lighting fixtures;
$\checkmark$	22. A Photometric Plan depicting proposed illuminance levels at all property lines;
<b>√</b>	23. A Landscape Plan showing all existing and proposed planting and screening materials, including the number, size, and type of plantings proposed and the method of irrigation; and
$\checkmark$	24. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.
Elevation	on Drawings
Complete smaller	the elevation drawings detailing the proposed changes for which approval is requested shall be drawn at a scale not than $1" = 100$ " (unless the drawing will not fit on one 24" X 36" sheet) and shall include:
$\checkmark$	25. Color elevation drawings showing the proposed design for each façade of the building;
$\checkmark$	26. List of all materials to be used for the building, marked on the elevation drawings;
<b>✓</b>	27. Elevation drawings of all screenwalls to be utilized in concealing any exposed mechanical or electrical equipment, trash receptacle areas and parking areas;
$\checkmark$	28. Details of existing or proposed lighting, signage and other pertinent development features;
$\checkmark$	29. A list of any requested design changes;
<b>✓</b>	30. Itemized list and specification sheets of all materials, light fixtures and mechanical equiptment to be used, including exact size specifications, color, style, and the name of the manufacturer;
$\checkmark$	31. Location of all exterior lighting fixtures, exact size specifications, color, style and the name of the manufacturer of all fixtures, and a photometric analysis of all exterior lighting fixtures showing light levels to all property lines; and

32. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.



# Notice Signs - Rental Application Community Development

1. Applicant	Property Owner
Name: Our Shepherd Lutheran Church	Name: Our Shepherd Lutheran Church
Address: 2225 E 14 Mile Rd. Birmingham, MI 48009	Address: 2225 E 14 Mile Rd, Birmingham, MI 48009
Phone Number: 248-646-6100	Phone Number: 248-646-6100
Fax Number:	Fax Number:
Email address: churchoffice@ourshepherd.net	Email address: churchoffice@ourshepherd.net
2. Project Information	
Address/Location of Property: 2225 E 14 Mile Re	1. Birmingham, MI 48009 Name of Historic District site is in, if any:
Name of Development: Our Shepherd Lutheran Chu	and the state of t
Area in Acres: +- 5.3 ac	
3. Date of Board Review	
·	D 1.07 1 1
Board of Building Trades Appeals:	Board of Zoning Appeals:
City Commission:	Design Review Board:
Historic District Commission:Planning Board:	Housing Board of Appeals:
project will be reviewed by the apprending posted during the entire 1 pay a rental fee and security deposimmediately following the date of twill be refunded when the Notice S	ost the Notice Sign(s) at least 15 days prior to the date on which the propriate board or commission, and to ensure that the Notice Sign(s) 5 day mandatory posting period. The undersigned further agrees to sit for the Notice Sign(s), and to remove all such signs on the day the hearing at which the project was reviewed. The security deposit sign(s) are returned undamaged to the Community Development Notice Sign(s) and/or damage to the Notice Sign(s) will result in
Signature of Applicant:	7 11
Signature of Applicant.	Date: 1/31/2022
Application #:	Office Use Only



## **MEMORANDUM**

**Planning Division** 

DATE: April 11, 2022

TO: Thomas Markus, City Manager

FROM: Nicholas Dupuis, Planning Director

SUBJECT: Set Public Hearing for 220 Merrill – 220 Restaurant – Special Land

Use Permit Amendment, Final Site Plan & Design Review

#### INTRODUCTION:

The applicant has submitted an application for a Special Land Use Permit Amendment, Final Site Plan and Design Review for a new outdoor dining platform at an existing food and drink establishment in Downtown Birmingham. The applicant is also proposing minor changes to the existing outdoor dining patio private property, but is not requesting any interior or building façade changes at this time.

#### **BACKGROUND:**

On March 31, 2022, the Planning Board moved to recommend approval to the City Commission the Special Land Use Permit Amendment , Final Site Plan and Design Review application for 220 Merrill with the following conditions

- 1. The applicant must obtain an Outdoor Dining Permit and enter into a contract with the City for the SLUP Amendment;
- 2. All outdoor activity must cease at the close of business;
- 3. The applicant must obtain a favorable recommendation from the Advisory Parking Committee prior to City Commission review;
- 4. The applicant must submit a Design Review application to the Historic District Commission prior to City Commission review;
- 5. The applicant must comply with the requests of all City Departments; and
- 6. The applicant must submit revised site plans addressing Planning Board comments prior to City Commission review.

In addition to the review at the Planning Board, the applicant will also be required to submit a Design Review application to the Historic District Commission, as the proposed platform is located within the Central Business Historic District and adjacent to the historic Detroit Edison Building in which 220 Restaurant resides. The Design Review is currently scheduled at the Historic District Commission on May 4, 2022.

Finally, due to the proposed outdoor dining platforms location within three public parking spaces, the proposal must be reviewed by the Advisory Parking Committee (APC). The proposal is scheduled to appear before the Advisory Parking Committee on April 6, 2022.

The Planning Division will provide amended site and design plans addressing the Planning Board, Historic District Commission and/or Advisory Parking Committee comments at the Public Hearing on May 9, 2022.

### LEGAL REVIEW:

The City Attorney has reviewed this request and resolution and has no objections as to form and content.

## FISCAL IMPACT:

There are no fiscal impacts for this agenda item.

# PUBLIC COMMUNICATIONS:

As required for Special Land Use Permit and Final Site Plan Reviews, a legal ad was placed in a newspaper of local circulation to advertise the nature of the request in advance of the March 31, 2022 Planning Board meeting, and notices were sent out to all property owners and tenants within 300 ft. of the property. In addition, a second round of notices will be sent out to advertise the public hearing at the City Commission on May 9, 2022.

### SUMMARY:

The Planning Division requests that the City Commission consider the Special Land Use Permit, Final Site Plan and Design Review application for 220 Merrill – 220 Restaurant.

### ATTACHMENTS:

Please find attached the following documents for your review:

- Special Land Use Permit Resolution
- Current Site/Design Plans
- Planning Division Reports
- Planning Board Review Site/Design Plans
- Application & Supporting Documents
- Meeting Minutes

#### SUGGESTED COMMISSION ACTION:

Make a motion adopting a resolution to set a public hearing date of May 9, 2022 to consider the Special Land Use Permit Amendment, Final Site Plan and Design Review application for 220 Merrill – 220 Restaurant – to allow the addition of a new outdoor dining platform in the Merrill St. right-of-way.

### 220 Restaurant

# 220 Merrill St. Special Land Use Permit Amendment 2022

WHEREAS, A Special Land Use Permit Amendment application was filed in January 2022 for approval of a new outdoor dining platform in the Merrill right-of-way at 220 Merrill;

WHEREAS, The land for which the Special Land Use Permit Amendment is sought is located on the south side of Merrill, east of Pierce and West of S. Old Woodward;

WHEREAS, The land is zoned B4, which permits the operation of food and drink establishments serving alcoholic beverages for on premise consumption with a Special Land Use Permit:

WHEREAS, Article 7, section 7.34 of Chapter 126, Zoning requires a Special Land Use Permit to be considered and acted upon by the Birmingham City Commission, after receiving recommendations on the site plan and design from the Planning Board for the proposed Special Land Use:

WHEREAS, The Planning Board on March 31, 2022 reviewed the application for a Special Land Use Permit Amendment, Final Site Plan and Design Review and recommended approval to the City Commission to allow a new outdoor dining platform in the Merrill right-of-way with the following conditions:

- 1. The applicant must obtain an Outdoor Dining Permit and enter into a contract with the City for the SLUP Amendment;
- 2. All outdoor activity must cease at the close of business;
- 3. The applicant must obtain a favorable recommendation from the Advisory Parking Committee prior to City Commission review;
- 4. The applicant must submit a Design Review application to the Historic District Commission prior to City Commission review;
- 5. The applicant must comply with the requests of all City Departments; and
- 6. The applicant must submit revised site plans addressing Planning Board comments prior to City Commission review.

WHEREAS, The Advisory Parking Committee on April 6, 2022 reviewed the ap	plication for
a Special Land Use Permit Amendment, Final Site Plan and Design Review and re	commended
to the City Commission to allow a new outdoor dining platform in the Me	rrill right-of-
way and to utilize three public parking spaces;	J

WHEREAS, The Historic District Commission on May 4, 2022 \_\_\_\_\_ a Design Review application to allow a new outdoor dining platform in the Merrill right-of-way and the Central Business Historic District with the following condition:

1. The applicant obtain full approval from the City Commission prior to installation.

WHEREAS, The applicant has agreed to provide all requested information and to comply with the requests of all City departments;

WHEREAS, The Birmingham City Commission has reviewed 220 Restaurant's Special Land Use Permit Amendment application and the standards for such review as set forth in Article 7, section 7.36 of Chapter 126, Zoning, of the City Code;

NOW, THEREFORE, BE IT RESOLVED, The Birmingham City Commission finds the standards imposed under the City Code have been met, subject to the conditions below, and that 220 Restaurant's application for a Special Land Use Permit Amendment, Final Site Plan and Design Review at 220 Merrill is hereby approved;

BE IT FURTHER RESOLVED, That the City Commission determines that to ensure continued compliance with Code standards and to protect public health, safety, and welfare, this Special Land Use Permit Amendment is granted subject to the following conditions:

- 1. 220 Restaurant shall abide by all provisions of the Birmingham City Code;
- 2. 220 Restaurant must maintain a valid Outdoor Dining Permit and enter into a Lease Agreement for the use of public property; and
- 3. The Special Land Use Permit may be canceled by the City Commission upon finding that the continued use is not in the public interest.

BE IT FURTHER RESOLVED, That failure to comply with any of the above conditions shall result in termination of the Special Land Use Permit.

BE IT FURTHER RESOLVED, Except as herein specifically provided, 220 Restaurant and its heirs, successors, and assigns shall be bound by all ordinances of the City of Birmingham in effect at the time of the issuance of this permit, and as they may be subsequently amended. Failure of 220 Restaurant to comply with all the ordinances of the City may result in the Commission revoking this Special Land Use Permit.

BE FURTHER RESOLVED that 220 Restaurant is recommended for the operation of a new outdoor dining platform in the Merrill right-of-way, above all others, subject to final inspection.

I, Alexandria Bingham, City Clerk of the City of Birmingham, Michigan, do hereby certify that the foregoing is a true and correct copy of the resolution adopted by the Birmingham City Commission at its regular meeting held on May 9, 2022.

Alexandria Bingham City Clerk



# **MEMORANDUM**

**Planning Division** 

DATE: March 31, 2022

TO: Planning Board Members

FROM: Nicholas Dupuis, Planning Director

SUBJECT: 220 Merrill - 220 Restaurant - Special Land Use Permit

Amendment, Final Site Plan & Design Review

The subject site, 220 Merrill, is currently used as a restaurant within an existing 2-story commercial building fronting Merrill St. The applicant has submitted a Special Land Use Permit Amendment and Final Site Plan/Design Review (SLUP) application requesting the addition of a dining platform in the Merrill St. right-of-way to their outdoor dining plan. The existing outdoor dining patio for 220 resides on private property adjacent to the building, and contains 78 seats at 23 tables.

In April 2021, 220 was approved for expanded outdoor dining pursuant to the Temporary Outdoor Dining expansion allowanced adopted by the City Commission on May 11<sup>th</sup>, 2020 and extended on March 8<sup>th</sup>, 2021. The expansion involved the addition of a 480 sq. ft. platform within the parking area in front of the property that contains 3 metered parking spaces. The applicant has submitted the SLUP application seeking permanent approval of this area.

In addition to the required review at the Planning Board, the building in which 220 Restaurant resides as a designated historic resource. The applicant will be required to submit a Design Review application to the Historic District Commission prior to City Commission review.

The Birmingham Code of Ordinances states that a contract for transfer and a Special Land Use Permit are required for all licenses approved under Chapter 10 – Alcoholic Liquors. The licensee must comply with all provisions of the contract and Special Land Use Permit, and any amendments thereto as a condition of granting of a requested transfer. Accordingly, the applicant must obtain a recommendation from the Planning Board on the Special Land Use and Final Site Plan/Design Review application, which is then reviewed for final consideration by the City Commission.

# 1.0 Land Use and Zoning

1.1 <u>Existing Land Use</u> – 2-story multi-tenant commercial building.

- 1.2 Zoning B4 (Business-Residential) & D4 (Downtown Overlay)
- 1.3 <u>Summary of Adjacent Land Use and Zoning</u> –

	North	South	East	West	
Existing Land Use	Mixed-Use	Commercial	Commercial	Parking	
Existing Zoning District	B4 (Business Residential)	B4 (Business Residential)	B4 (Business Residential)	PP (Public Property)	
Overlay Zoning District	D5	D4	D4	P/D3	

# 2.0 Setback and Height Requirements

Please see the attached zoning compliance summary sheet for details on setback and height requirements. There are currently no issues with bulk, height or placement with the Special Land Use Permit, Final Site Plan/Design Review application submitted.

# 3.0 Screening and Landscaping

- 3.1 <u>Dumpster Screening</u> There are no changes proposed to the dumpster or screening on site.
- 3.2 <u>Parking Lot Screening</u> There are no changes proposed to the parking lot or associated screening.
- 3.3 <u>Mechanical Equipment Screening</u> There are no changes proposed to the mechanical equipment or screening on site.
- 3.4 <u>Landscaping</u> There are no changes proposed to the landscaping on site.
- 3.5 Streetscape There are no changes proposed to the streetscape.

# 4.0 Parking, Loading and Circulation

- 4.1 <u>Parking</u> There are no changes to the parking requirements on site.
- 4.2 <u>Loading</u> There are no changes proposed to the loading requirements.

- 4.3 <u>Vehicular Circulation and Access</u> There are no changes proposed to the vehicular circulation and access.
- 4.4 <u>Pedestrian Circulation and Access</u> There are no changes to pedestrian circulation and access on the site.

# 5.0 Lighting

There are no new light fixtures or changes in lighting proposed that will significantly alter the light intensity on the site at this time.

# 6.0 Departmental Reports

- 6.1 <u>Engineering Department</u> Please see attached Engineering Department comments dated 3/24/22.
- 6.2 <u>Department of Public Services</u> The Department of Public Services has no concerns at this time.
- 6.3 <u>Fire Department</u> Please see attached Fire Department comments.
- 6.4 <u>Police Department</u> Please see attached Police Department comments dated 3/15/22.
- 6.5 <u>Building Division</u> Please see attached Building Division comments dated 3/21/22.
- 6.6 <u>Parking Manager</u> Please see attached Parking Manager comments dated 3/15/22.

# 7.0 Design Review

There are no changes proposed to the building at this time. However, the new dining platform is subject to several design requirements found in Article 4, Section 4.44 of the Zoning Ordinance. In accordance with Article 4, Section 4.44 of the Zoning Ordinance, the following outdoor dining standards apply:

- A. <u>Outdoor Dining</u>: Outdoor dining is permitted immediately next to the <u>principal</u> use, subject to Site Plan Review, and the following conditions:
  - 1. Outdoor dining areas shall provide and service refuse containers within the outdoor dining area and maintain the area in good order.
  - 2. All outdoor activity must cease at the close of business or as noted in subsection 3 below.
  - 3. When an outdoor dining area is immediately adjacent to any single-family or multiple-family residential district, all outdoor activity must cease at the close of business or 10:00 p.m., whichever is earlier.

- 4. Outdoor dining may be permitted on the sidewalk throughout the year with a valid Outdoor Dining License, provided that all outdoor dining fixtures and furnishings must be stored indoors each night between November 16 and March 31 to allow for snow removal.
- 5. All tables and chairs provided in the outdoor dining area shall be constructed primarily of metal, wood, or material of comparable quality.
- 6. Table umbrellas shall be considered under Site Plan Review and shall not impede sight lines into a retail establishment, pedestrian flow in the outdoor dining area, or pedestrian or vehicular traffic flow outside the outdoor dining area.
- 7. For outdoor dining located in the public <u>right-of-way</u>:
  - a. All such uses shall be subject to a license from the city, upon forms provided by the Community <u>Development</u> Department, contingent on compliance with all city codes, including any conditions required by the Planning Board in conjunction with Site Plan approval.
  - b. In order to safeguard the flow of pedestrians on the public sidewalk, such uses shall maintain an unobstructed sidewalk width as required by the Planning Board, but in no case less than 5 feet.
  - c. Outdoor dining is permitted to extend in the right-of-way in front of neighboring properties, with the written permission of the property owner(s) and with Planning Board approval, if such property is vacant or the first floor <a href="storefront(s">storefront(s</a>) is/are vacant. Outdoor dining areas may extend up to 50% of the width of the neighboring <a href="lot(s">lot(s)</a>) storefront(s), or up to 50% of the lot(s) frontage, if such lot is vacant.
  - d. City Commission approval is also required for outdoor dining extensions onto neighboring property if the establishment making such a request holds a <u>bistro</u> license.
  - e. An elevated, ADA compliant, enclosed platform may be erected on the <u>street</u> in front of an eating establishment to create an outdoor dining area from April 1 through November 15 only if the Engineering Department determines there is sufficient space available for this purpose given <u>parking</u> and traffic conditions.
  - f. No such facility shall erect or install permanent fixtures in the public right-of-way.
- 8. Outdoor dining is permitted in a B1 District at a rate of 4 seats for every 12 linear feet of store frontage, with no more than 12 seats total per <u>building</u>; no elevated enclosed platforms on the street are permitted in a B1 District.

As noted above, the applicant is proposing to install a new 480 sq. ft. dining platform in the off street parking area in the public right-of-way in front of the existing restaurant. The platform as proposed contains 9 tables and 36 additional seats. The proposed deck would add to an existing outdoor dining plan, which contains 23 tables and 78 chairs on private property. The proposed plans include two trash receptacles within the platform, umbrellas, railings, and an access ramp.

In accordance with section 4.44, all outdoor activity must cease at the close of business.

The applicant is proposing 36 Burt Stacking Patio Dining side polypropylene chairs in pink for use on the outdoor dining platform, as well as 9 Laine Metal 4-person dining tables constructed of white painted metal. In addition, the applicant is proposing a 36 in. black decorative railing system. As far as the chair material, the ordinance requires tables and chairs to be constructed of wood, metal, or a material of comparable quality. The Planning Board should discuss the pink polypropylene chairs and determine whether or not polypropylene is a material of comparable quality.

The applicant is also proposing 3 yellow Vueve Cliquot umbrellas. The umbrellas are proposed to be fully contained within the new outdoor dining platform. The proposed table umbrellas do not block pedestrian or vehicular traffic flow, nor do they block the view into the interior of the restaurant.

As for the platform structure itself, it is proposed to be constructed of wood with green turn floor covering at 10 in. total height. The existing curb on Merrill St. in that area is around 5-7 in. in height, thus necessitating the ramp as proposed.

As the proposed platform is located in the public right-of-way, the applicant will be required to enter into a license agreement with the City, as well as an Outdoor Dining permit. The proposed platform location does provide the required 5' wide pedestrian walkway on the sidewalk between the private outdoor seating and obstructions within the furnishing zone such as tree boxes, light poles, and parking meters.

The platform proposed by the applicant is proposed to cover 3 on-street parking spaces. The applicant will be required to pay for the use of all parking spaces partially or fully obstructed by the dining platform. The applicant will be required to comply with the comments of the Engineering Department and to receive a favorable recommendation from the Advisory Parking Committee prior to review by the City Commission.

# 8.0 Required Attachments

(see next page)

	Submitted	Not Submitted	Not Required
Existing Conditions Plan			
Detailed and Scaled Site Plan	$\boxtimes$		
Certified Land Survey			$\boxtimes$
Interior Floor Plans			$\boxtimes$
Landscape Plan			
Photometric Plan			
Colored Elevations			
Material Specification Sheets	$\boxtimes$		
Material Samples	$\boxtimes$		
Site & Aerial Photographs	$\boxtimes$		

# 9.0 Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- (1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- (2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- (3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property nor diminish the value thereof.
- (4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- (5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- (6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

In addition, Article 7, Section 7.26 requires applications for a Special Land Use Permit to meet the following criteria:

- (1) The use is consistent with and will promote the intent and purpose of this Zoning Ordinance.
- (2) The use will be compatible with adjacent uses of land, the natural environment, and the capabilities of public services and facilities affected by the land use.
- (3) The use is consistent with the public health, safety and welfare of the city.
- (4) The use is in compliance with all other requirements of this Zoning Ordinance.
- (5) The use will not be injurious to the surrounding neighborhood.
- (6) The use is in compliance with state and federal statutes.

# 10.0 Recommendation

Based on a review of the site and design plans submitted, and the various departmental concerns raised, the Planning Division recommends that the Planning Board recommend **DENIAL** to the City Commission the Special Land Use Permit Amendment and Final Site Plan and Design Review for 220 Merrill – 220 Restaurant.

# 11.0 Sample Motion Language

Motion to recommend **DENIAL** to the City Commission the Special Land Use Permit Amendment and the Final Site Plan & Design Review for 220 Merrill – 220 Restaurant – for the following reasons:

1.	
2.	
3.	

OR

Motion to recommend **APPROVAL** to the City Commission the Special Land Use Permit Amendment for 220 Merrill – 220 Restaurant – subject to the conditions of Final Site Plan and Design Review.

### **AND**

Motion to recommend **APPROVAL** to the City Commission the Final Site Plan and Design Review for 220 Merrill – 220 Restaurant – with the following conditions:

- 1. The applicant must obtain an Outdoor Dining Permit and enter into a contract with the City for the SLUP Amendment;
- 2. All outdoor activity must cease at the close of business;
- 3. The applicant must obtain a favorable recommendation from the Advisory Parking Committee prior to City Commission review;

- 4. The applicant must submit a Design Review application to the Historic District Commission prior to City Commission review; and
- 5. The applicant must comply with the requirements of all departments.

-		_
•	1	
ı	,	к

Motion t	to <b>POSTPO</b>	ONE the	Special	Land l	Jse Perm	it Amer	ndment	and	Final	Site	Plan	&
Design F	Review for	220 Mer	rill – 220	) Resta	iurant – p	ending	receipt	of th	e foll	owing	g:	

2	



# CITY OF BIRMINGHAM FIRE DEPARTMENT

572 South Adams • Birmingham, Michigan 48009 • 248.530.1900 Fax 248.530.1950

# 220 East Merrill

# **New Outdoor Dining Plan**

The following comments are for the new proposed outdoor dining plan.

- 1. Provide mounted fire extinguisher on outdoor dining structure. A 3A:40B:C, 5 lb. fire extinguisher shall be mounted to this structure.
- 2. Do not install structure to impede thru lane of traffic.
- 3. Fuel for portable heating devices shall be stored in a storage cage and placed in an area to prevent vehicle strikes. Loose fuel tanks prohibited.
- 4. Egress to outdoor dining shall not to be obstructed by tables, chairs or other. Fueled equipment to be a minimum of 5 feet from ingress/egress.

If you have any questions please contact my office.

Jack D. Pesha

Fire Marshal

Birmingham Fire Department



# **MEMORANDUM**

(Engineering Department)

DATE: 3/24/2022

TO: Nicholas Dupuis, Planning Director

FROM: Scott D. Zielinski, Assistant City Engineer

SUBJECT: 220 E. Merrill - SLUP - Review Comments

The Engineering Department has completed a review of the drawings issued for SLUP Review.

East Merrill Street is approximately 39' Wide Street, with approximately 6'-6" wide parking spaces on both sides of the road. Directly across from 220 E Merrill is an entrance to basement parking for the property across the street. A driveway is adjacent to either side of the proposed location. Based on provided drawings the Engineering Department has the following comments;

- In the interest of health and safety
  - o to limit additional congestion of the street, the patio should be limited in width to extend no further then approximately 7'-4" from the Back of the existing curb line (edge of Patio should not extend farther then the edge of the existing marked parking locations)
  - The patio is constructed in a manner in which water is able to flow along the curb line to the catch basin along the curb.
  - The planned ramp for accessing the patio should be constructed to ADA compliance, as the exposed aggregate concrete is not a primary walking surface the ramp should be extended to the edge of the regular concrete walkway.

This concludes the Engineering Department comments.



# Nicholas Dupuis <ndupuis@bhamgov.org>

# 220 Merrill - SLUP Application

Ryan Weingartz < rweingartz@bhamgov.org> To: Nicholas Dupuis <ndupuis@bhamgov.org> Tue, Mar 15, 2022 at 1:35 PM

My biggest concern is that they are taking the valet lane away for the patio. From what I understand they do not use the alley for valet, they use the 3 spaces in front. So if they take the 3 away for the patio they will then need to move the valet to another location which then takes more on street parking away. I almost think they need to decide one or the other, not both.

[Quoted text hidden]



# Nicholas Dupuis <ndupuis@bhamgov.org>

# 220 Merrill - SLUP Application

Scott Grewe <Sgrewe@bhamgov.org> To: Nicholas Dupuis <ndupuis@bhamgov.org> Tue, Mar 15, 2022 at 1:15 PM

Thanks

In the proposed outdoor dining language didn't it state that the ramp could not extend beyond the curb?

Also, I would echo the concerns of Ryan. This valet has been an issue in the past and with adding the extra seating on top of what they already have for outdoor dining, I would think they would need to not only relocate their valet stand but would also need to extend it and/or require additional personnel to staff it. [Quoted text hidden]

# CITY OF BIRMINGHAM Community Development – Building Department 151 Martin Street, Birmingham, MI 48009

March 21, 2022

RE: Special Land Use Permit Review Comments

220 Merrill, Dining Deck

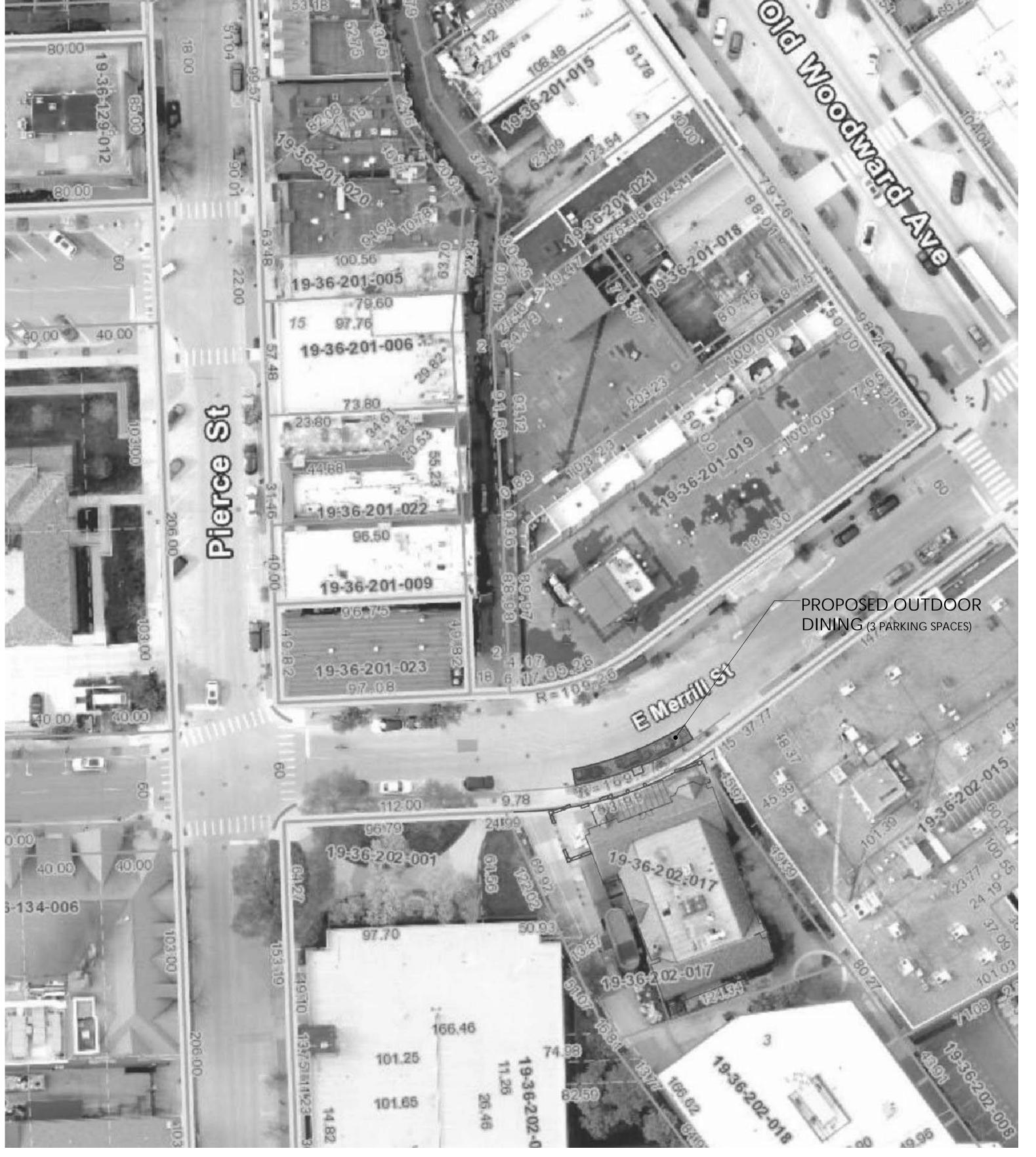
As requested, the Building Department has examined the plans for the proposed project referenced above. The plans were provided to the Planning Department for site plan review purposes only and present conceptual elevations and floor plans. Although the plans lack sufficient detail to perform a code review, the following comments are offered for Planning Design Review purposes and applicant consideration:

# **Applicable Building Codes:**

- **2015 Michigan Building Code**. Applies to all buildings other than those regulated by the *Michigan Residential Code*.
- 2015 Michigan Residential Code. Applies to all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures.
- 2015 Michigan Mechanical Code. (Residential requirements for mechanical construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)
- 2018 Michigan Plumbing Code. (Residential requirements for plumbing construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)
- 2017 National Electrical Code along with the Michigan Part 8 Rules. (Residential requirements for electrical construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)

# **Review Comments:**

- 1. The plumbing code requires the occupant load for seasonal outdoor seating areas shall be included when determining the minimum number of toilet room facilities for the establishment. Compliance must be documented on the plans. (MPC Table 403.1 Note d)
- 2. Construction details must be provided for the proposed platform showing how it will be constructed including sections with material list.









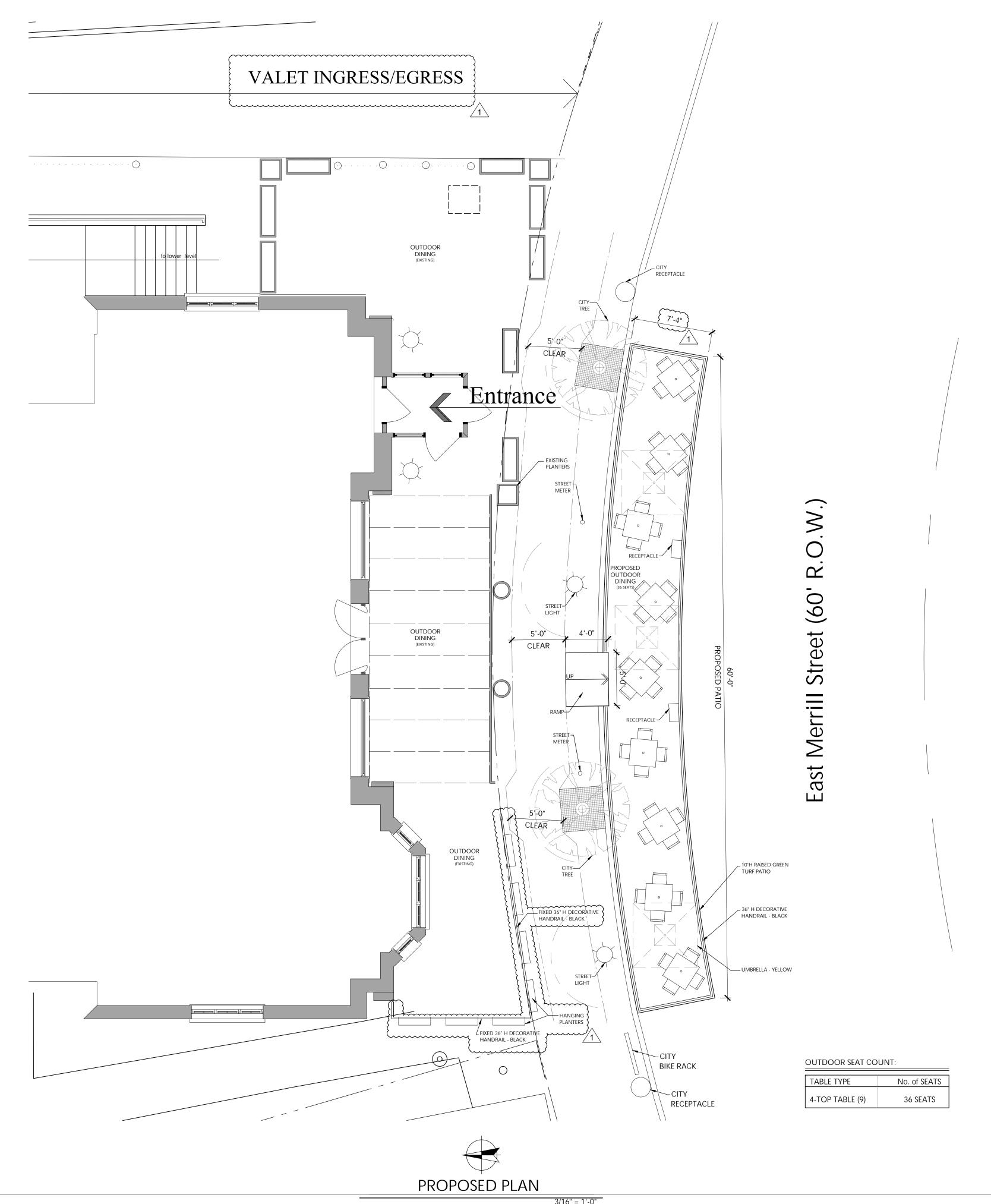
Birmingham

Location Map

Birmingham City Hall

W Merrill St

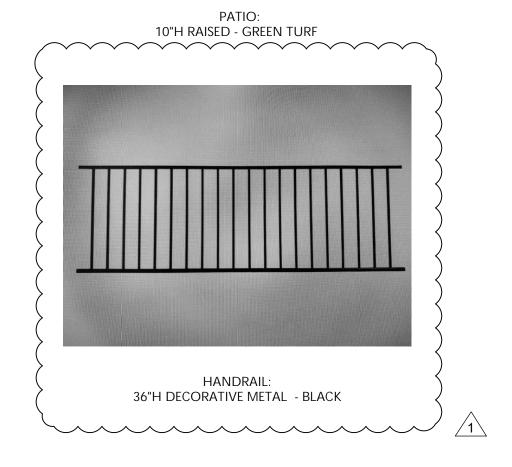
David Klein Gallery 220 EAST MERRILL
220 EAST MERRILL STREET
Zoned: B-4
Overlay: D-4





LIMBDELL A

UMBRELLA: VEUVE CLIQUOT - YELLOW

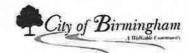




TABLES: LAINE METAL 4 - PERSON DINING TABLE - WHITE SIZE: 28.75" H X 35.5" L X 35.5" W



CHRISTOPHER J LONGE AIA ARCHITECTURE INTERIORS 124 Peabody, Birmingham, Michigan 48009 248.258.6940



# Special Land Use Permit Application Planning Division Form will not be processed until it is completely filled out.

1.	Applicant	2. Property Owner Name: Brommyson link flow (1)
	Name: 220 Merce	Name: Diew Continue more lines Coc
	Address: 220 E MERREIL	Address: 124 S. Olo Werowano
	18069	48008
	Phone Number: 313-530-1454	Phone Number: 248 - 645 - 7007
	Fax Number:	Fax Number:
1	Email address: BEGAN & THERE GROUP.COM	Email address: ZAD @ Theel a croup com
3.	Applicant's Attorney/Contact Person Name: Brandone Esan	4. Project Designer/Developer Name: CHASS CONGE
	Address: 124 S. No Wesswano	Address: 124 Penlocky
	Address: 124 5. Flo Meridian	Picmer from M. de or 3
		Birmistan MI 42007 Phone Number: 248 258 6940
	Phone Number: 313-530-1456	Phone Number. 240 0-0 0170
	Fax Number:	Fax Number: CILOMGE & CILOMGENEA COM
	Email address: REGAN @ THE Elon Group. COM	Email address: Citange & Citangenta - Cam
5.	Required Attachments	
J.	1. Two (2) paper copies and one (1) digital copy of all	v. A Landscape Plan;
	project plans including:	VI. A Photometric Plan;
	i. A detailed Existing Conditions Plan	vii. Colored elevation drawings for each
	including the subject site in its entirety,	building elevation;
	including all property lines, buildings,	<ol> <li>Specification sheets for all proposed materials, light</li> </ol>
		fixtures and mechanical equipment;
	structures, curb cuts, sidewalks, drives,	
	ramps and all parking on site and on the	
	street(s) adjacent to the site, and must	<ol> <li>Photographs of existing conditions on the site</li> </ol>
	show the same detail for all adjacent	including all structures, parking areas, landscaping
	properties within 200 ft. of the subject	and adjacent structures;
	site's property lines;	<ul> <li>V. Current aerial photographs of the site and</li> </ul>
	ii. A detailed and scaled Site Plan depicting	surrounding properties;
	accurately and in detail the proposed	<ul> <li>VI. Warranty Deed, or Consent of Property Owner if applicant is not the owner;</li> </ul>
	construction, alteration or repair:	
	iii. A certified Land Survey;	
	<ol><li>iv. Interior floor plans;</li></ol>	Planning Department, or other City Departments.
6	Project Information	
Ų.	Address/Location of the property: 220 E Manuell	Date of Application for Final Site Plan:
	Address Location of the property.	Date of Final Site Plan Approval:
		Date of Application for Revised Final Site Plan:
		Date of Revised Final Site Plan Approval:
	Sidwell #: 11.76 - 202 - 017	Date of Design Review Board Approval:
	Current Use: RESTAURANT	Is there a current SLUP in effect for this site?
	Proposed Use: RestAvance # STREET PATES	Date of Application for SLUP:
	Area of Site in Acres:	Date of SLUP Approval:
	Current zoning:	Date of Last SLUP Amendment:
	Is the property located in the floodplain?	Date of Last SLUP Attendment.
	Name of Historic District Site is located in:	Will proposed project require the division of platted lots?
	Date of Application for Preliminary Site Plan:	Will proposed project require the combination of platted lot
	Date of Preliminary Site Plan Approval:	

LIGA ALLEGA	a spaces on them of 220 Menney
pen oransva	
Buildings and Structures	Use of Buildings: Restaurant
Number of Buildings on Site: Height of Buildings & # of Stories: 2 space	Height of Rooftop Mechanical Equipment:
Floor Use and Area (in Square Feet)	
Proposed Commercial Structures:	Office Space:
Total basement floor area:  Number of square feet per upper floor:	Retail Space:
Number of square feet per upper floor:	Industrial Space:
Total floor area: Floor area ratio (total floor area - total land area):	Municipal Space
Floor area ratio (total floor area + total land area):	Assembly Space: Seating Capacity: 30 50471
	Maximum Occupancy Load:
Open space:	(vidAttilulit Cocupants)
Open space: Percent of open space:	
Proposed Residential Structures:	1 (1) - 0
Total number of units:	Rental units or condominiums?
Total number of units:  Number of one bedroom units:	Size of one bedroom units: Size of two bedroom units:
Number of two bedroom units: Number of three bedroom units:	Size of two bedroom units:
Number of three bedroom units:	Size of three bedroom units:
Chan chare.	Seating Capacity:
Percent of open space:	Maximum Occupancy Load:
Percent of open space.	
Proposed Additions:	
Total basement floor area, if any, of addition:	Use of addition:
· · · · · · · · · · · · · · · · · · ·	Height of addition:
Square footage added per floor:	Office space in addition:
Total building floor area (including addition):	
Floor area ratio (total floor area + total land area):	Industrial space in addition:
Floor area ratio (total floor area - total fair	Assembly space in addition:
Open Space:	Maximum building occupancy load (including addition)
Percent of open space:	
0. Required and Proposed Setbacks	Proposed front setback:
Required front setback:	Proposed rear setback
Required rear setback:	Proposed total side setback:
Required total side setback:	Second side setback:
Side setback:	24-90-17-10-1-10-1-10-1-10-1-10-1-10-1-10-
1. Required and Proposed Parking	Proposed number of parking spaces:
Paguired number of parking spaces:	Table of parking spaces:
Tomical angle of parking spaces:	Typical size of parking spaces.
Typical width of mancuvering lanes:  Location of parking on site:	Number of spaces < 180 sq. ft.: Number of handicap spaces:
Location of parking on site:	Shared parking agreement?  Height of light standards in parking area:
I	Shared barking agreement.
Number of light standards in parking area:	Height of light standards in parking area.
Screenwall material:	Height of screenwall:

Location of landscape areas:	Proposed landscape material:
Location of landscape areas.	
	N/L
A JU	
2.27	, A
Streetscape Sidewalk width: No CHANGE TO DETY SEDEMALK	Description of benches or planters: V/
Number of benches:	Species of existing trees
Number of planters:	
Number of existing street trees:	Species of proposed trees:
Number of proposed street trees	ATRICANCE C
Streetscape plan submitted?	
	a
4. Loading	Proposed number of loading spaces:
Required number of loading spaces:	Typical size of loading spaces:
Typical angle of loading spaces:	Height of screenwall: Typical time loading spaces are used:
Screenwall material: Location of loading spaces on site:	Typical time loading spaces are used:
Location of loading spaces on and	
5. Exterior Waste Receptacles	Proposed number of waste receptacles:
	Gine of practe recentacles:
	Height of screenwall:
Screenwall material:	ricigit of scientification
6. Mechanical Equipment	
Utilities and Transformers:	Location of all utilities & easements:
Number of ground mounted transformers:	NIA -
Size of transformers (L+W+H):	
Size of transformers (L•W•H):  Number of utility easements:	Height of screenwall:
Screenwall material:	Treight of south
Ground Mounted Mechanical Equipment:	Location of all ground mounted units:
to the of around mounted units:	Location of all ground mounted units.
Size of ground mounted units (L-W-H):	PIP P
Size of ground mounted difficults (2	Height of screenwall:
Rooftop Mechanical Equipment:	Location of all rooftop units
Nimber of cooffen units:	
	and the covered by mechanical units
W112	Height of screenwall: Distance from rooftop units to all screenwalls:
Screenwall material:	Distance from roofton units to all screenwalls:
Location of screenwall:	Distance non rossey
o statuto	214/0
17. Accessory Buildings	Size of accessory buildings:
Number of accessory buildings:	Height of accessory buildings:
Location of accessory buildings	
18. Building Lighting	Type of light standards on building:
Number of light standards on building	Type of right standards on building.
Number of light Standards of Date	

Size of light fixtures (L•W•H):  Maximum wattage per fixture:  Light level at each property line:	Proposed wattage per fixture:
19. Site Lighting Number of light fixtures: 2 Cary Street Layers	Type of light fixtures:
Cincollable Garbaras (LeWeH)	Height from grade: Proposed waitage per fixture:
Size of light fixtures (L•W•H):  Maximum wattage per fixture:	Proposed wattage per fixture:
Light level at each property line:	Holiday tree lighting receptacles:
20. Adjacent Properties	
Number of properties within 200 ft.:	
Property #1	Property Description:
Number of buildings on site:	Tropaco managraphical
Zoning district:	
Use type:	
Use type: Square footage of principal building:	
Course toolage of accessory outlanes.	North, south, east or west of property?
Number of parking spaces:	Worth, South, Cast of The Property
Property #2	Property Description:
Number of buildings on site:	
Zoning district:	A TOTAL CONTRACTOR OF THE STATE
**************************************	
Square footage of principal building:	
Square footage of accessory buildings:	North, south, east or west of property?
Number of parking spaces:	10127734-7-27 4
Property #3	Property Description:
Number of buildings on site:	
Zoning district:	CHROTO
Use type:	
Square footage of principal building:	
Square footage of accessory buildings:	North, south, east or west of property?
Number of parking spaces:	
Property #4	Property Description:
Number of buildings on site:	
Zoning district:	
Use type:	
Square footage of principal building:	
Square footage of accessory buildings:	North, south, east or west of property?
Number of parking spaces:	1990/1999
Property #5	Property Description:
Number of buildings on site:	
Zoning district:	
Use type:	
contract of principal building:	
Square footage of accessory buildings:	North, south, east or west of property?
Number of parking spaces:	\$300/m(0.5 <u>==0</u> )

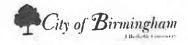
The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

By providing your e-mail to receive these messages, you	the City, you agree to receive news notificate may unsubscribe at any time.	/ /
Signature of Owner:	A-	Date: 1/24/22
Print Name: 2	11/11	Date: 1/21/22
Print Name:	molays Euron	Date: 1.28.22 .
Signature of Architect: Print Name:	SHIPTOTHE LANGE.	Date:
THE COST	Office Use Only	
Application #:	Date Received:	Fee:
Date of Approval:	Date of Denial:	Accepted by:



# Notice Signs - Rental Application Community Development

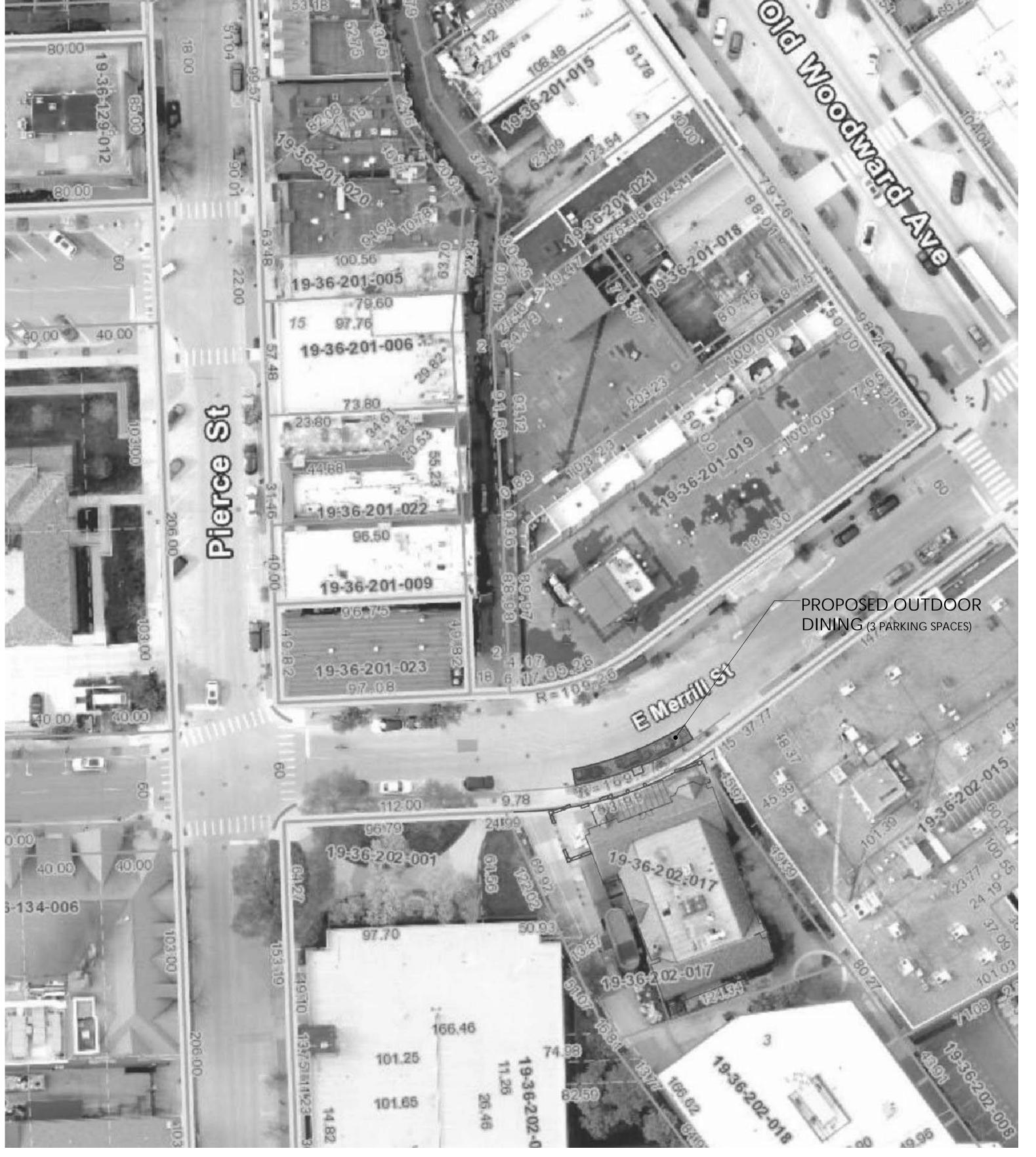
Name: 200 Mentall Address: 124 5. 010 Woodman Address: 124	1. Applicant	Prop	erty Owner
Address: 220 E Marcell 48005 Phone Number: 317-530-1450 Phone Number: 317-530-1450 Phone Number: 317-530-1450 Phone Number: Email address: Reverse niver a factor for the following following the date of the hearing at which the project was reviewed. The socurity deposit in forfeiture of Applicant:  Address: 2ATO @ The lea Lawy-Lam Phone Number: 2420 Phone Nu	Vame LEO MERM	Name:	to the franchistan
Phone Number: 317-536-1450   Phone Number: 248-645-1717   Fax Number: Email address: Recent @ District of Property: 220 @ Metal   Name of Historic District site is in, if any: Current Use: Paragraph   Current Use: Paragra	Address: 220 E ME	1.0	48015
Fax Number: Email address: Return @ Director Group Com    Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Email address: Return @ Director Group Com   Sax Number: Park @ Director Group Com   Sax Numbe			Number 248 - 645 - 1717
Email address: Recurry @ New Lond Annual Commission: Structure Design Review Board: Historic District Side is in, if any:    Current Use: Current Us	Phone Number: 3:7-536-		
2. Project Information Address/Location of Property: Name of Development: 220 Current Use: Current Use: Current Zoning: Adams of Board Review Board of Building Trades Appeals: Design Review Board: Historic District Commission: Helanning Board:  The understigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) are remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit mediately following the date of the hearing at which the project was reviewed. The security deposit mediately following the oreturn the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.  Date:  Date:	Fax Number:	1441	moer:
Address/Location of Property: 220   Mane of Development: 220   Current Use: Current	Email address: RELAN @ Th	Ectog Group Loss Email	address: ZHIII & ITE III LILLUY - 47
Address/Location of Property: 220   Mane of Development: 220   Current Use: Current	2. Project Information		CVV and District city is in 16 and
Name of Development: 220  Area in Acres: Current Zoning: 6-4    Current Zoning: 6-4	Address/Location of Property:	0 - 1	of Historic District site is in, if any
Area in Acres:  3. Date of Board Review  Board of Building Trades Appeals:  City Commission:  Historic District Commission:  Planning Board:  The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.  Signature of Applicant:  Date:  Da	Name of Development: 220	Сште	it Use:
Board of Building Trades Appeals:  City Commission:  Historic District Commission:  Planning Board:  The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.  Office Use Only:  Date:  Date:  Date:  Date:  Date:  Date:  Description:  Descriptio	Area in Acres:	Сште	nt Zoning:
Design Review Board:  City Commission:  Historic District Commission:  Planning Board:  The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.  Date: 1/2 u/2 2  Office Use Only:  Date: Fee:  Date Received:  Date Received:  Date Received:  Date Received:  Design Review Board:  Housing Board of Appeals:  Housing Boar	3. Date of Board Review		STaning Aspeals:
City Commission:  Historic District Commission:  Housing Board of Appeals:  Housing Board of Appeals:  Housing Board of Appeals:  The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.  Date:  Office Use Only:  Date:  Date:  Fee:  Date:  D	Board of Building Trades Appeals:	Board	Of Zoning Appeals.
Historic District Commission:	Cin Commission		Pand of America
Planning Board:  The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.    Date: 1/2 u/2 2   Date: 1/2 u/2 u/2 u/2 u/2 u/2 u/2 u/2 u/2 u/2 u	Historic District Commission:	Housi	ng Board of Appears.
The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.    Date: 1/2 u/2 2	Planning Board:		
Signature of Applicant: Date: 1/24/22  Office Use Only: Fee: Fee:	project will be reviewed by the remains posted during the expay a rental fee and security immediately following the dewill be refunded when the N Department, Failure to return	the appropriate board of com- entire 15 day mandatory posting deposit for the Notice Sign(s ate of the hearing at which the lotice Sign(s) are returned und the Notice Sign(s) and/or de-	insperiod. The undersigned further agrees to ), and to remove all such signs on the day e project was reviewed. The security deposit
Application #: Date Received: Fee:	Signature of Applicant:	4	Date: 1/24/22
Date of Denial: Reviewed by:	Application #:		
		Date Received:	Fee:



# SPECIAL LAND USE PERMIT APPLICATION CHECKLIST - PLANNING DIVISION

Applicant		220 Marrell	Ca	15e #:		Date:	1/28/22
		20 Mergerll	Project:	STREET	PATES		
applicable	requ	and elevation drawings prepared for uirements of the City of Birmingha legible and of sufficient quality to be folded and stapled together. The	am. If more than or provide for quality	ne page is used reproduction	1. each page or recording	snati de nun . Plans mus	t be no larger than 24" x
A full Sit	te Pl	or Special Land Use Permit an detailing the proposed chang lless the drawing will not fit on	ges for which app	roval is requ	ested shall l ll include:	be drawn at	a scale no smaller than
$\boxtimes$	1.	Name and address of applican	t and proof of ow	nership;			
$\boxtimes$	2.	Name of Development (if app.	licable);				
X	3.	Address of site and legal descri	ription of the real	estate:			
	4.	Name and address of the land	surveyor;				
A	5.	Legend and notes, including a	graphic scale, no	orth point, and	d date:		
A	6.	A separate location map;					
		A map showing the boundary developed as well as the adjac	ent land;			ning of the	area proposed to be
		Aerial photographs of the sub	ject site and surro				
		A detailed and scaled Site Pla repair;					
	10.	A detailed Existing Condition buildings, structures, curb cut adjacent to the site, and must site's property lines:	a cidaminisc arti	es ramps an	n an barkin	E OH SHE BE	Off the Street, St
		Interior floor plans;					
	12	A chart indicating the dates o Design Review Board, or the	f any previous ap Historic District	provals by th Commission	e Planning ("HDC");	Board, Boa	ard of Zoning Appeals,

1	
X	13. Existing and proposed layout of streets, open space and other basic elements of the plan:
	14. Existing and proposed utilities and easements and their purpose:
	15. Location of natural streams, regulated drains, 100-year flood plains, floodway, water courses, marshes, wooded areas, isolated preserve-able trees, wetlands, historic features, existing structures, dry wells, utility lines, fire hydrants and any other significant feature(s) that may influence the design of the development:
	16. General description, location, and types of structures on site;
	<ol> <li>Location of sidewalks, curb cuts, and parking lots on subject site and all sites within 200 ft. of the property line;</li> </ol>
	18. Details of existing or proposed lighting, signage and other pertinent development features:
	19. Elevation drawings showing proposed design:
	20. Screening to be utilized in concealing any exposed mechanical or electrical equipment and all trash receptacle areas:
	21. Location of all exterior lighting fixtures:
	22. A Photometric Plan depicting proposed illuminance levels at all property lines:
	23. A Landscape Plan showing all existing and proposed planting and screening materials, including the number, size, and type of plantings proposed and the method of irrigation; and
	24. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.
Elevatio	on Drawings
Comple smaller	to elevation drawings detailing the proposed changes for which approval is requested shall be drawn at a scale no than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:
	25. Color elevation drawings showing the proposed design for each façade of the building:
	26. List of all materials to be used for the building, marked on the elevation drawings:
	27. Elevation drawings of all screenwalls to be utilized in concealing any exposed mechanical or electrical equipment, trash receptacle areas and parking areas:
	28. Details of existing or proposed lighting, signage and other pertinent development features;
	29. A list of any requested design changes:
	30. Itemized list and specification sheets of all materials, light fixtures and mechanical equiptment to be used, including exact size specifications, color, style, and the name of the manufacturer;
	31. Location of all exterior lighting fixtures, exact size specifications, color, style and the name of the manufacturer of all fixtures, and a photometric analysis of all exterior lighting fixtures showing light levels to all property lines; and
	32. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.









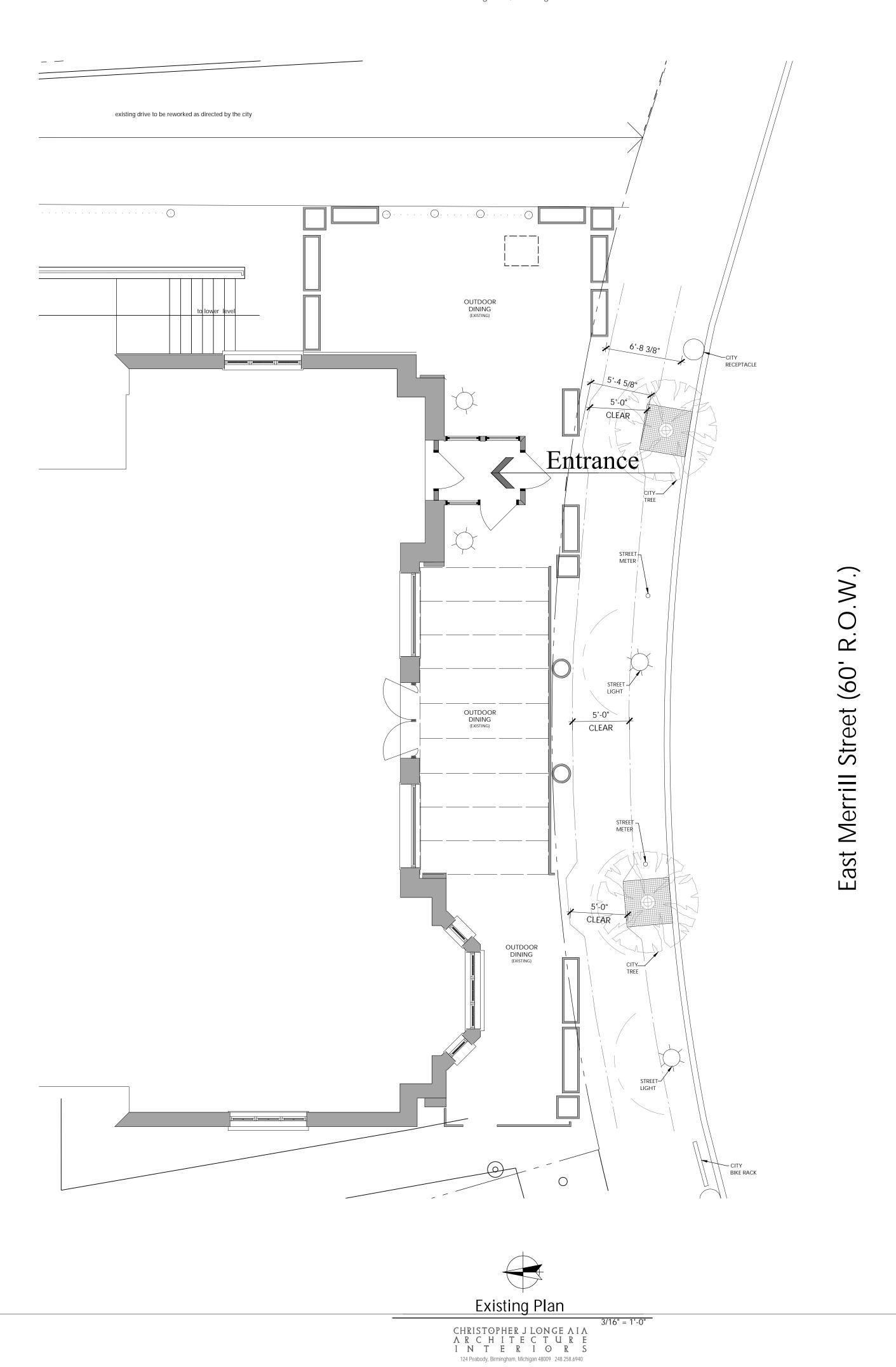
Birmingham

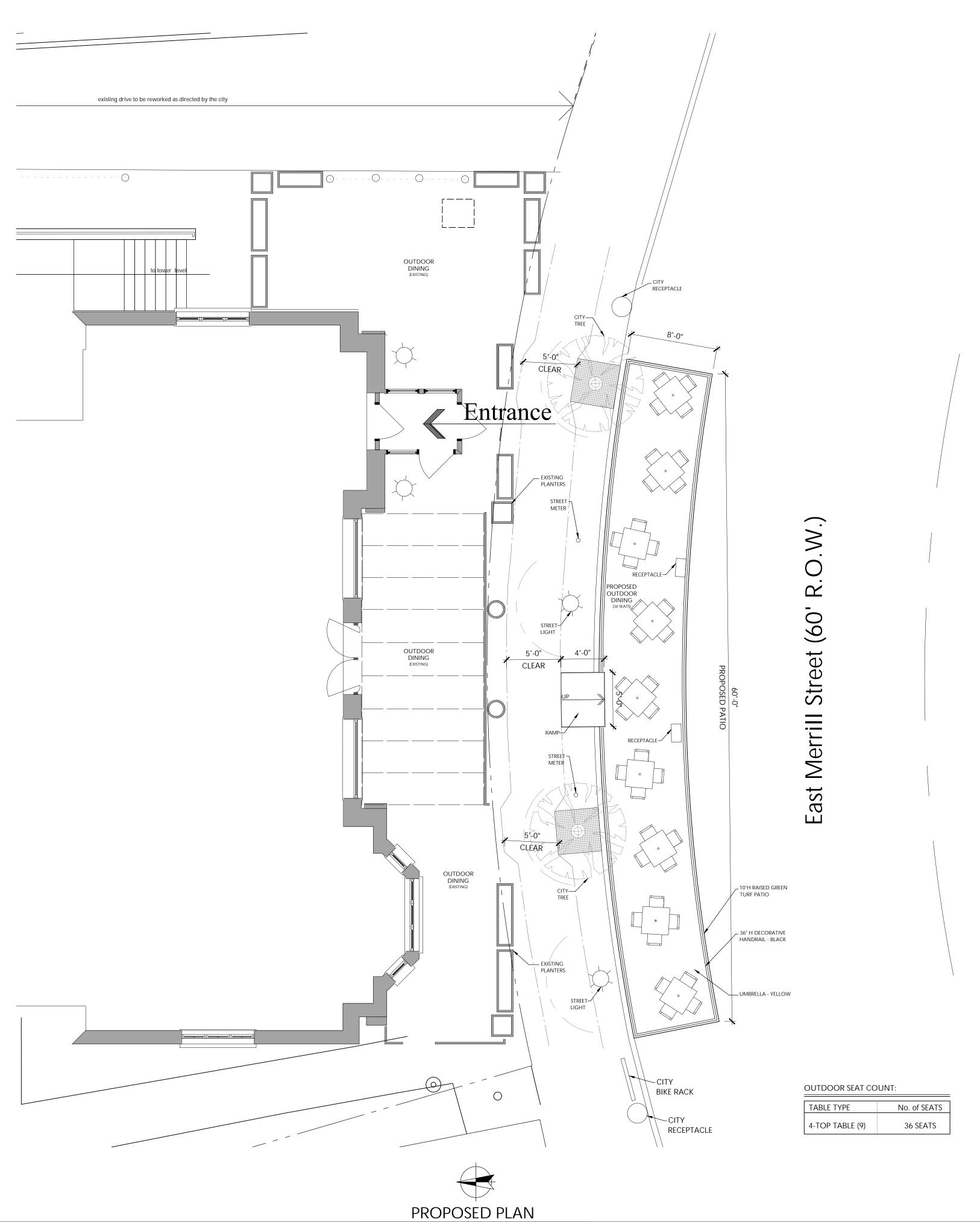
Location Map

Birmingham City Hall

W Merrill St

David Klein Gallery 220 EAST MERRILL
220 EAST MERRILL STREET
Zoned: B-4
Overlay: D-4







PREVIOUSLY PERMITTED PATIO

UMBRELLA - YELLOW VEUVE CLIQUOT 36"H - BLACK DECORATIVE HANDRAIL 10"H RAISED PATIO - GREEN TURF



TABLES: LAINE METAL 4 - PERSON DINING TABLE - WHITE SIZE: 28.75'' H X 35.5'' L X 35.5'' W



CHAIRS:
- BURT STACKING PATIO DINING SIDE CHAIR - PINK
100% POLYPROPYLENE
SIZE: 32" H X 17.3" W X 20" D



WASTE RECEPTACLES
STAINLESS STEEL RECTANGULAR WASTE RECEPTACLE
WITH PLASTIC TOP
SIZE: 11"D X 20"W X 29" H



124 S. Old Woodward Suite A Birmingham, MI 48009 248.645.7777 (Phone) 248.645.7771 (Fax)

March 30, 2022

Mr. Nick Dupuis Planning Director City of Birmingham

Via: Email to ndupuis@bhamgov.org

RE: 220 Merrill - Special Land Use Permit for Dining Platform: Updated Plans

Dear Mr. Dupuis:

Pursuant to our most recent discussion, please find below changes made to our initial plan and clarification points regarding the valet lane.

Please note the following changes have been made:

- 1) The patio chair color is changed to white.
- 2) The width of the patio deck has been reduced from 8' to 7' 4".
- 3) The planters located on the eastern side of our property line will be removed and a black fence, as illustrated in the attached revised drawings, will be installed. Please note it matches the current fence that is already located on that end of the property.
- 4) Increase Valet Staff during working hours.

As it relates to the valet service, 220 Merrill utilizes our private drive lane located immediately West of the building. Our goal with valet service has always been to provide First Class convenience to our customers and the community, while reducing the congestion on the public streets.

As it relates to the loading and unloading of the product to 220 Merrill, 220 Merrill utilizes our drive lane located immediately West of the building.

As you know our customers greatly enjoy the outdoor patio that we have had the privilege of using the past two summers. We appreciate your consideration of these changes for the approval of the proposed deck. While this patio was in place, we did not experience any issues with this patio or the surrounding area. In addition, it is critical for our business to garner approval of this patio as it will also help drive revenue that was substantially decreased during COVID. Thank you.

Sincerely,

Zaid Elia

Owner - 220 Merrill Restaurant





# **MEMORANDUM**

City Manager's Office

DATE: March 25, 2022

TO: Thomas M. Markus, City Manager

FROM: Melissa Fairbairn, Assistant to the City Manager

SUBJECT: Strategic Planning RFQ

### INTRODUCTION:

Strategic planning is a process in which organizations define their direction for the future. As a part of the process, stakeholders collaborate to define the organization's mission, vision, and both long- and short-term goals and objectives. The City of Birmingham has not conducted a strategic planning process in recent years.

#### BACKGROUND:

At the January 22, 2022 Long Range Planning meeting, the City Manager's Office presented information about strategic planning to the Commission. To move forward in creating a strategic plan for the City, a request for qualifications (RFQ) will be posted to MITN for a professional firm to lead the City through the process. Respondent firms will be interviewed in May 2022 and the respondent determined by the City to be the most qualified will be invited to enter into a professional services agreement with the City.

# **LEGAL REVIEW:**

The City Attorney has reviewed the proposed Request for Qualifications (RFQ) and has no concerns with form or content.

### FISCAL IMPACT:

The City has budgeted for professional services for the strategic planning process in FY 2021-2022.

# PUBLIC COMMUNICATIONS:

The professional facilitator or firm that is selected will recommend a community engagement process including public meetings, workshop sessions, and online outreach.

### SUMMARY:

The City Manager's Office requests that the City Commission consider and approve the issuance of the proposed RFQ to select a professional facilitator to guide the City's strategic planning process and create the final strategic plan document.

# ATTACHMENTS:

- Request for Qualifications for Strategic Planning
- January 22, 2022 Strategic Planning Memo

# SUGGESTED COMMISSION ACTION:

Make a motion authorizing the Request for Qualifications for a professional facilitator to comprehensively guide the City's strategic planning process and complete the final strategic plan document.



# Request for Qualifications STRATEGIC PLAN Birmingham, Michigan

### INTRODUCTION

The City of Birmingham, Michigan seeks to develop a Strategic Plan, utilizing a process that comprehensively and equitably evaluates the organization, and the community it serves, and develops a vision for the future. The vision should connect with short and long-term strategic goals and objectives for the City of Birmingham, with measurable performance indicators that will guide the annual budget process. To design, facilitate, and guide this process, the City is looking for professionals with extensive experience and expertise in strategic planning for local governments.

The proposer determined by the City to be most qualified will be invited to enter into a professional services agreement with the City.

### **BACKGROUND**

The 1933 Charter provides that all powers are vested in the Commission, consisting of seven members, all elected at large on a non-partisan basis. Commissioners serve staggered terms of four years and elect from their own members each year a Mayor who is a voting member of the Commission. A Mayor Pro-Tem is also elected to serve in the absence of the Mayor. The City Manager oversees the administrative functions of the City, including the operations of all City Departments. Department Directors are all

appointed by the City Manager, while the City Clerk is appointed by the Commissioners and then reports to the City Manager.

Birmingham, Michigan is a vibrant and prosperous community with a population of just over 20,000. Covering only 4.73 square miles, it is able to maintain the atmosphere of a small town, while experiencing the benefits and amenities of an affluent urban area. Birmingham, is a wealthy suburb of Detroit located halfway between Detroit and Pontiac with a high average household income and high home values. Residents are very active in their local government and share their opinions regarding the development and redevelopment of the City.

The City does annual budget forecasting and an annual long-term planning process but has not conducted the Strategic Planning process in recent memory.

The City anticipates that it may take some months to provide adequate time for participation by the project team and the City Commissioners in addition to review by key community stakeholders. The outcome of the process will be a written strategic plan document that presents the planning process, the research, the analysis, opportunities and strategies along with an implementation plan that will guide the City for the next three (3) to five (5) years. The City is aware that there are a variety of perspectives, models, and approaches available to develop a strategic planning document; therefore, the successful firm should be able to discern which model or model(s) will best enable the City of Birmingham to complete its organizational and programmatic goals. The successful firm will be required to demonstrate its ability to meet these requirements.

# WHAT THE CITY IS LOOKING FOR

The City of Birmingham is seeking sealed proposals from qualified persons or firms to contract for consulting services to guide a Strategic Planning process for the City. Consultants are invited to submit a proposal which includes an outline of their experience and qualifications in performing work directly related to the services required.

Strategic planning determines where an organization is going and how it's going to get there. This Strategic Plan is intended to help the City direct its efforts and resources toward a clearly defined vision for its future. The plan should include benchmarks or milestones that measure the City's progress along the way.

The City is interested in having this plan completed proactively and transparently with community acceptance. The process should allow for both active and passive involvement ensuring diverse and extensive community participation.

This strategic plan should be a "living document" and should undergo periodic review and adjustment to reflect progress towards achievement of goals and/or modifications of goals.

# **SCOPE OF SERVICES**

Although the City is allowing for great flexibility in the proposals, it is expected that the process and product include at a minimum, the following:

- 1. The consultant will facilitate a community visioning process. This process will consist of public meetings, stakeholder group sessions, outreach forums, online survey(s), social media, discussions with City staff and other forums appropriate for outreach and public input. The result of these efforts will result in a robust array of suggestions from members of our community.
- 2. The consultant will conduct orientation and briefing sessions for the City Commission and employees at all levels to educate them on the goals of the project and the potential outcomes.
- 3. The consultant must also be available for any necessary presentations to the City Commission and/or project team to include but not limited to a final strategic plan presentation to the Commission.
- 4. Conducting a situational analysis and identify and assess the strengths, weaknesses, opportunities, and threats of the City of Birmingham organization.
- 5. Based on the assessment data, the consultant will facilitate the revision of the Vision, Values, and Mission for the City.
- 6. The consultant must facilitate the development of goals and objectives that support the Vision, Values, and Mission of the City and facilitate the development of performance metrics for inclusion in the annual budget process.
- 7. Submit recommendations for appropriate implementation measures that City staff will need to take. Including proposed policies and administrative guidelines that need to be in place to administer the strategic plan. These policies and administrative guidelines should be as specific in nature as possible.
- 8. Develop a system to measure the effectiveness of City activities in meeting the objectives of the strategic plan. Ensure the measures are linked to the overall vision, mission and goals of the City as a whole.

# **RFQ PROCESS**

It is expected that one (1) consultant will be selected as a result of this RFQ, although the City is under no obligation to award a contract as a result of the selection process. Based on the proposals received, the selection committee will select individuals/firms to be interviewed. As a result of those interviews the top-rated consultant will be selected for contract negotiations.

The Selection Committee will consider the following factors and requirements based on submittals and interviews:

### 1. Professional Qualifications.

The education, training, and amount of relevant experience of the proposed key project personnel.

# 2. Specialized Experience of Team.

The team's experience with strategic plans for similar cities, or comparable projects. There will be a strong preference during the selection process for those proposers with the most relevant, successful experience.

# 3. Creativity and Suitability of Proposed Scope of Services.

The degree to which the proposed scope of services is suitable to the City and compelling to the selection committee.

# 4. Demonstrated Interest in and Understanding of the Project.

Clear understanding of the nature of the services and a clear and detailed proposed scope of services.

### 5. References.

The provided references relate to the proposer's work on similar projects.

# 6. Communication and Public Interaction.

Demonstrated ability and experience to engage in positive communication through multiple channels with City staff, the governing body and the public.

# 7. Ability to work within the desired timetable.

The team's capacity to accomplish the desired timetable, or provision of alternative timetable that is acceptable to the City.

# 8. Compensation

Respondents must provide their proposed fee to perform the services identified in this RFO.

# **GENERAL INFORMATION**

\*The City of Birmingham, as an Equal Opportunity Employer, requires all consultants to affirm that they do not discriminate against individuals or firms because of their race, color, marital status, age, sex, national origin, handicap, creed or sexual orientation.

\*All proposals submitted become public information and may be reviewed by anyone requesting to do so at the conclusion of the evaluation process.

- \*All proposals received by the City in response to this RFQ shall remain valid for ninety (90) days from the date of submittal.
- \*The City reserves the right to cancel or reissue the RFQ or to revise the timeline at any time. The City reserves the right to reject any and all proposals and to waive minor irregularities in the proposal process. The City may accept any proposal if such action is believed to be in the best interest of the City.
- \*The City is not liable for any cost incurred by the proposer prior to execution of a contract.
- \*The City holds its consultants responsible for the process and outcome of the contractual agreement. The contract between the successful proposer and Birmingham shall include all agreed upon documents specified in the RFQ, and be consistent with, the provisions stated in the RFQ.
- \*The prime consultant will be required to assume the responsibility for all services offered in the proposal whether or not directly performed by the prime consultant. Further, the prime consultant will be the sole point of contact for the City of Birmingham with regard to contractual matters.
- \*The project team shall be approved by the City of Birmingham. The City must approve any changes in the project team.

#### **Estimated RFQ Schedule**

RFQ Issued: April 13, 2022
Final Date for Questions Related to RFQ: April 27, 2022
Proposal Deadline: May 4, 2022
Applicant Interviews: May 9, 2022

Selection of Consultant

and Contract Development: Week of May 16, 2022

Any interested individual may request to be on an email list to receive updates on the RFQ process, including addenda to the RFQ if any are issued.

#### **INFORMATION AND QUESTIONS:**

Each proposal that is received by the deadline will be evaluated on its merit and completeness of all requested information. If you plan on submitting a proposal to this RFQ, please notify <a href="mailto:mfairbairn@bhamgov.org">mfairbairn@bhamgov.org</a> so that any questions or clarifications can be sent to you. In preparing proposals, consultants are advised to rely only upon the contents of this RFQ and accompanying documents and any written clarifications or

<sup>\*</sup>Exact dates are subject to change at the CITY's discretion

addenda issued by the City of Birmingham. If a consultant finds a discrepancy, error, or omission in the RFQ package, or requires any written addendum thereto, the consultant is requested to notify the City Manager's office at the same email address so that written clarification may be sent to all prospective proposing consultants. **THE CITY WILL NOT RESPOND TO ANY ORAL INQUIRIES ON THIS RFQ.** No contact regarding this document with other City employees is permitted. All answers will be issued in the form of an addendum.

#### **Submittal Instructions**

Written proposals must be received by the City of Birmingham no later than 3PM EST on May 4, 2022. Proposals received after this deadline will not be accepted or considered.

To be considered, three (3) copies of the proposal must be prepared in the manner and detail specified in this RFQ.

- a) Proposals must be submitted to the City of Birmingham drop box located at, 151 Martin St. Birmingham MI 48009, by May 4, 2022 at 3PM EST.
- b) Responses received after the deadline will not be accepted.
- c) Proposals must be enclosed in a sealed envelope, box or package, and clearly marked on the outside with the following: "STRATEGIC PLANNING PROPOSAL", Date of submittal, Respondent's name, address, phone, and contact name.
- d) Proposals sent by electronic means will not be considered.
- e) All costs incurred in the preparation and presentation of the proposal are the Respondent's sole responsibility; no proposal costs will be reimbursed to any Respondent. All documentation submitted with the proposal will become the property of the City.
- f) Proposals must be signed by an authorized official of the Respondent.

Send any questions regarding the RFP to: Melissa Fairbairn
Assistant to the City Manager
City of Birmingham
<a href="mairbairn@bhamgov.org">mfairbairn@bhamgov.org</a>
248-530-1807

# AGREEMENT For Professional Strategic Planning Services

THIS AGREEMENT is entered into this \_\_\_\_ day of \_\_\_\_\_\_, 2021, by and between

the CITY OF BIRMINGHAM, whose address is 151 Martin Street, Birmingham, MI 48009 (hereinafter referred to as the City) and(name of party) a Michigan
(Corporation, P.C., LLC, etc.), whose address is, (hereafter
referred to as Consultant) and the foregoing shall collectively be referred to as the parties.
WHEREAS, the City desires for the City's,
and in connection therewith has requested qualifications for professional strategic planning services; and
WHEREAS, Consultant has qualifications that meet the project requirements and has provided a response and cost proposal to perform strategic planning services including designing, facilitating, and drafting a strategic plan for the City as outlined in the Request for Qualifications.
<b>NOW, THEREFORE,</b> in consideration of the foregoing preambles, the adequacy of which is acknowledged by and between the parties to this Agreement, the parties agree as follows:
1. <b>MUTUALLY AGREE</b> : It is mutually agreed by and between the parties that the City's Request for Qualifications for professional strategic planning services dated April 13, 2022, which includes the facilitation of the community engagement process, development of the City's Strategic Plan including mission, vision, and goals and objectives, and recommendations for implementation of the Strategic Plan shall be fully incorporated herein by reference and shall become a part of this Agreement, and shall be binding upon both parties hereto (attached hereto as Attachment "A").
<b>2. TERM:</b> This Agreement shall have a term of () years from the date stated above. The City shall have the right to unilaterally terminate this Agreement on thirty (30) days written notice. In the event of termination, the Consultant shall receive compensation for services to the date the termination takes effect and the City shall be entitled to retain and use the results of all services, documents, and other materials prepared by the Consultant through such date.
3. <b>TERMS OF PAYMENT:</b> The Consultant_will invoice monthly for all labor supplied and work completed. In no event shall invoices be submitted more than 45 days after completion of services. Submitted invoices shall include the following detailed information: the type of work performed, the time spent on the work, the individual who performed the work and the per hour billing rate charged. The City may, at its sole discretion demand review and the right to request at any time

further detailed accounting information for any or all bills. The right to inspection of any bill and invoice shall never be at any cost or billings to the City, nor shall preparation of said invoices be billed to the City or against the general retainer. Payment terms will be net 30 days unless otherwise

specified by the City.

- **4.** Consultant shall employ personnel of good moral character and fitness in performing all services under this Agreement.
- 5. INSURANCE SUBMISSION REQUIREMENTS: The Consultant has submitted proof to the City that it meets all City insurance requirements. Insurance, with coverage amounts at no less than the City's minimum requirements, must be held by the Consultant throughout the term of this Agreement. Certificates of insurance as stated below will be required no later than five (5) business days from the date of Consultant's\_acceptance of the terms of this Agreement.
- 6. CONFIDENTIAL AND OR PROPRIETARY INFORMATION: The Consultant acknowledges that in performing services pursuant to this Agreement, certain confidential and/or proprietary information (including, but not limited to, internal organization, methodology, personnel and financial information, etc.) may become involved. The Consultant recognizes that unauthorized exposure of such confidential or proprietary information could irreparably damage the City. Therefore, the Consultant agrees to use reasonable care to safeguard the confidential and proprietary information and to prevent the unauthorized use or disclosure thereof. The Consultant shall inform its employees of the confidential or proprietary nature of such information and shall limit access thereto to employees rendering services pursuant to this Agreement. The Consultant further agrees to use such confidential or proprietary information only for the purpose of performing services pursuant to this Agreement.
- 7. INDEPENDENT Consultant: The Consultant and the City agree that the Consultant is acting as an independent contractor with respect to the Consultant role in providing services to the City pursuant to this Agreement, and as such, shall be liable for its own actions and neither the Consultant nor its employees shall be construed as employees of the City. Nothing contained in this Agreement shall be construed to imply a joint venture or partnership and neither party, by virtue of this Agreement, shall have any right, power or authority to act or create any obligation, express or implied, on behalf of the other party, except as specifically outlined herein. Neither the City nor the Consultant shall be considered or construed to be the agent of the other, nor shall either have the right to bind the other in any manner whatsoever, except as specifically provided in this Agreement, and this Agreement shall not be construed as a contract of agency. The Consultant shall not be considered entitled or eligible to participate in any benefits or privileges given or extended by the City, or be deemed an employee of the City for purposes of federal or state withholding taxes, FICA taxes, unemployment, workers' compensation or any other employer contributions on behalf of the City.
- 8. COMPLIANCE WITH LAWS: Consultant agrees to fully and faithfully carry out the duties of set forth herein using its best efforts in accomplishing all assignments from the City, and further, in addition to upholding all federal, and state laws and applicable codes of professional conduct to which Consultant is subject, Consultant hereby agrees to be bound by all Federal, State, or City of Birmingham ordinances, rules, regulations and policies as are amended from time to time, and including without limitation the Fair Labor Standards Act, the Equal Employment Opportunity rules and regulations, the Transportation Safety Act and the Occupational Safety and Health Acts.

- 9. NON-COMPLIANCE WITH INSURANCE REQUIREMENTS: Failure to deliver and maintain insurance in accordance with the terms of this Agreement will be cause for the City, by and through its City Manager, to terminate this Agreement, or at the City's option, the City may purchase on the open market such required insurance and shall be entitled to charge any additional cost to the Consultant, either by offset to any amounts due and owing Consultant for services provided to the City, or, by separate bill and demand for payment. Nothing in this paragraph shall be deemed to create or be interpreted as establishing a "for cause" termination; Consultant agrees and understands that its engagement is at will and may be terminated by the City Manager for any cause or no cause.
- any entity or person for whom the Consultant is legally liable, agrees to be responsible for any liability, defend, pay on behalf of, indemnify, and hold harmless the City of Birmingham, its elected and appointed officials, employees and volunteers and others working on their behalf against any and all claims, demands, suits, or loss, including all costs and reasonable attorney fees connected therewith, and for any damages which may be asserted, claimed or recovered against or from the City, its elected and appointed officials, employees, volunteers or others working on their behalf, by reason of personal injury, including bodily injury and death and/or property damage, including loss of use thereof, which arise out of the acts, errors or omissions of the Consultant including its employees and agents, in the performance of this Agreement. Such responsibility shall not be construed as liability for damage caused by or resulting from the sole act or omission of its elected or appointed officials, employees, volunteers or others working on behalf of the City.

#### 11. STANDARD INSURANCE REQUIREMENTS:

The Consultant shall maintain during the life of this Agreement the applicable types of insurance coverage and minimum limits as set forth below:

#### A. <u>Workers' Compensation Insurance</u>:

<u>For Non-Sole Proprietorships</u>: Consultant shall procure and maintain during the life of this Agreement, Workers' Compensation Insurance, including Employers Liability Coverage, in accordance with all applicable statutes of the State of Michigan.

<u>For Sole Proprietorships</u>: Consultant shall complete and furnish to the City prior to the commencement of work under this Agreement a signed and notarized Sole Proprietor Form, for sole proprietors with no employees or with employees, as the case may be.

B. <u>Commercial General Liability Insurance</u>: Consultant shall procure and maintain during the life of this Agreement, Commercial General Liability Insurance on an "Occurrence Basis" with limits of liability not less than **\$1,000,000** per occurrence combined single limit, Personal Injury, Bodily Injury and Property Damage. Coverage shall include the following extensions: (A)

Contractual Liability; (B) Products and Completed Operations; (C) Independent Consultant Coverage; (D) Broad Form General Liability Extensions or equivalent; (E) Deletion of all Explosion, Collapse and Underground (XCU) Exclusions, if applicable.

- C. <u>Motor Vehicle Liability</u>: Consultant shall procure and maintain during the life of this Agreement Motor Vehicle Liability Insurance, including all applicable no-fault coverages, with limits of liability of not less than \$1,000,000 per occurrence combined single limit Bodily Injury and Property Damage. Coverage shall include all owned vehicles, all non-owned vehicles, and all hired vehicles.
- D. Additional Insured: Commercial General Liability and Motor Vehicle Liability Insurance, as described above, shall include an endorsement stating the following Additional Insureds: The City of Birmingham, including all elected and appointed officials, all employee and volunteers, all boards, commissions and/or authorities and board members, including employees and volunteers thereof. This coverage shall be primary to any other coverage that may be available to the additional insured, whether any other available coverage by primary, contributing or excess.
- E. <u>Professional Liability</u>: If applicable, professional liability insurance with limits of not less than \$2,000,000 per claim if Consultant will provide services that are customarily subject to this type of coverage.
- F. <u>Coverage Expiration</u>: If any of the above coverages expire during the term of this Agreement, Consultant shall deliver renewal certificates and/or policies to the City at least (10) days prior to the expiration date.
- G. <u>Proof of Insurance Coverage</u>: Consultant shall provide the City of Birmingham at the time the Agreement is returned for execution, Certificates of Insurance and/or policies, acceptable to the City of Birmingham, as listed below.
  - 1) Two (2) copies of Certificate of Insurance for Workers' Compensation Insurance, or a signed and notarized copy of the Sole Proprietor Form;
  - 2) Two (2) copies of Certificate of Insurance for Commercial General Liability Insurance;
  - Two (2) copies of Certificate of Insurance for Vehicle Liability Insurance;
  - Two (2) copies of Certificate of Insurance for Professional Liability Insurance, if applicable;
  - 5) If so requested, Certified Copies of all policies mentioned above will be furnished.

- H. <u>Maintaining Insurance</u>: Upon failure of the Consultant to obtain or maintain such insurance coverage for the term of the Agreement, the City of Birmingham may, at its option, purchase such coverage and subtract the cost of obtaining such coverage from the Agreement amount. In obtaining such coverage, the City of Birmingham shall have no obligation to procure the most cost-effective coverage but may contract with any insurer for such coverage.
- **12. WRITTEN NOTICES:** Written notices regarding this Agreement shall be addressed to the following:

City:	City of Birmingham P.O. Box 3001 Birmingham, Michigan 48012 Attn: (insert department head)
	Consultant
	Attn·

- **13. COVID**: The Consultant shall follow all of the City's COVID-19 safety protocols while on City property. Additionally, Consultant staff which will be in physical contact with city staff must have current vaccinations against COVID-19. The City, at its discretion, may ask for proof of vaccination of Consultant staff. Failure to provide proof of vaccination when requested will cause the City to request un-vaccinated personnel to leave, request alternate staff, and if the Consultant is unable to comply, this violation of safety protocols will constitute a breach of contract by the Consultant.
- **14. AMENDMENTS:** No amendment, modification or supplement to this Agreement shall be binding unless it is in writing and signed by authorized representatives of the parties.
- **15. WAIVER OF BREACH:** No waiver by either party of any breach of any of the terms, covenants or conditions herein contained by the other party shall be construed as a waiver of any succeeding breach of this same or of any other term, covenant or condition.
- **16. COMPLETE AGREEMENT:** The parties agree that the conditions set forth in this Agreement sets forth all terms and conditions of Consultant agreement with the City of Birmingham. This Agreement supersedes all prior agreements or understandings between the

parties. There are no promises, conditions or understandings other than those stated herein, and, that any prior negotiations, terms or conditions discussed between the City and the Consultant shall not constitute a part of this Agreement. The term "agreement" as used in this clause shall include any future written amendments, modifications, or supplements made in accordance herewith.

- 17. DIRECT OR INDIRECT INTEREST: If, after the effective date of this Agreement, any official of the City, or spouse, child, parent or in-law of such official or employee shall become directly or indirectly interested in this Agreement or the affairs of the Consultant the City shall have the right to terminate this Agreement without further liability to the Consultant if the disqualification has not been removed within thirty (30) days after the City has given the Consultant notice of the disqualifying interest. Ownership of less than one percent (1%) of the stock or other equity interest in a corporation or partnership shall not be a disqualifying interest. Employment shall be a disqualifying interest.
- **18. FAILURE TO PERFORM.** If Consultant fails to perform its obligations hereunder, the City may take any and all remedial actions provided by the general specifications or otherwise permitted by law.
- 19. **LEGAL PROCEEDINGS:** Any controversy or claim arising out of or relating to this Agreement, or the breach thereof, shall be settled either by commencement of a suit in Oakland County Circuit Court, the 48th District Court or by arbitration. If both parties elect to have the dispute resolved by arbitration, it shall be settled pursuant to Chapter 50 of the Revised Judicature Act for the State of Michigan and administered by the American Arbitration Association with one arbitrator being used, or three arbitrators in the event any party's claim exceeds \$1,000,000. Each party shall bear its own costs and expenses and an equal share of the arbitrator's and administrative fees of arbitration. Such arbitration shall qualify as statutory arbitration pursuant to MCL §600.5001 et seg., and the Oakland County Circuit Court or any court having jurisdiction shall render judgment upon the award of the arbitrator made pursuant to this Agreement. The laws of the State of Michigan shall govern this Agreement, and the arbitration shall take place in Oakland County, Michigan. In the event that the parties elect not to have the matter in dispute arbitrated, any dispute between the parties may be resolved by the filing of a suit in a federal or state court with jurisdiction over Oakland County, Michigan.

20.	<b>RESPONSE</b>	TO REQUESTS I	FOR PROPOSALS	: The Consultant sha	ll be held to
and bound by	all terms, co	nditions, warrantie	es and representation	ons which it made in	its written
response dated	t	, to the City's R	equest for Proposals	dated	(attached
hereto as Atta	chment "B").	In the event of a	conflict in any of t	he terms of this Agre	eement and
the Consultant		(date of response) resp	onse, the terms of	this Agreement shall	prevail.

**21. FAIR PROCUREMENT OPPORTUNITY:** Procurement for the City of Birmingham will be handled in a manner providing fair opportunity for all businesses. This will be accomplished without abrogation or sacrifice of quality and as determined to be in the best interest of the City of Birmingham.

**IN WITNESS WHEREOF**, the parties hereto agree to be bound by the above terms and conditions, and Consultant, by its authorized signature below, expressly accepts this Agreement upon the above provided terms and conditions contained in this Agreement as of the date first above written.

	Consultant
	By: Its:
TATE OF MICHIGAN ) ) ss: DUNTY OF OAKLAND )	
n thisday of , who acknowledged that with	, 20, before me personally appeared authority on behalf of to
so he/she signed this Agreement.	
County, Mic Acting in County, Mi My commission expires:	ichigan
	By: Therese Longe, Mayor
	By:
APPROVED:	
Thomas M. Markus, City Manager (Approved as to substance)	Melissa Fairbairn, Assistant to the City Manager (Approved as to substance)
Mary M. Kucharek, City Attorney (Approved as to form)	



### **MEMORANDUM**

City Manager's Office

DATE:

TO: Thomas M. Markus, City Manager

FROM: Melissa Fairbairn, Assistant to the City Manager

SUBJECT: Strategic Planning

Strategic planning is a process in which organizations define their direction for the future. As a part of the process, stakeholders collaborate to define the organization's mission, vision, and both long- and short-term goals and objectives. The administration can use the resulting strategic plan to prioritize projects and allocate staff time and resources. Performance indicators derived from the strategic plan can be used as a tool to measure the effectiveness of staff at completing the stated goals.

The City has implemented an annual long range planning meeting in which each department's plans for the coming year are discussed with the Commission and the public. Rather than replacing the long range planning meeting, the City's strategic plan would act as an overarching framework for administration, the Commission, and staff to determine whether proposed projects move the City closer to its stated short- and long-term goals. The Commission could also use the strategic plan as a tool to use to evaluate the performance of the City's administration towards reaching those goals.

In recent years, local organizations such as the Baldwin Public Library, NEXT, and Birmingham Public Schools have created strategic plans specific to their organizational needs. For example, in 2016 NEXT created a strategic plan that defined their mission statement, guiding principles, and strategies of focus. NEXT's plan was purposefully developed to be broad so as to act as a guide for the future that remained evergreen rather than a checklist of individual tasks and projects.

To create a strategic plan, the City should seek a professional facilitator to comprehensively guide the process. To do so, staff will post a request for qualifications (RFQ) from interested firms on MITN. The firm will be expected to hold public meetings and workshop sessions with City officials, staff, and residents and produce a strategic plan that clearly develops a stated vision for the City's future.

#### ATTACHMENTS:

- NEXT 2016 Strategic Plan
- Birmingham Public Schools 2014-2018 Strategic Plan
- Baldwin Public Library 2021 Strategic Plan Work Plan

# City of Birmingham A Walkable Community

### MEMORANDUM

Parking Department

DATE: April 5, 2022

TO: Thomas M. Markus, City Manager

FROM: Ryan Weingartz, Parking System Manager

SUBJECT: Peabody Street Parking Structure - Emergency Shoring,

Additional Column Investigation and Repair

#### INTRODUCTION:

Staff was notified on February 15, 2022 that during the ongoing structural repair project at the Peabody Structure, two (2) lower level support columns were found to have significant concrete cracking and distress. This required immediate shoring to assist supporting the load of the structure. After this discovery it was recommended to investigate six (6) additional columns.

#### **BACKGROUND:**

Wiss, Janney, Elstner Associates (WJE), was hired to assess all five (5) parking structures. Per the final assessment report provided to City of Birmingham in April 2021 it was recommended that two (2) lower level columns in the southwest end of the Peabody Structure be investigated further during the 2021-2022 construction period (pg 12&13 of final Structural Assessment Report). On February 15, 2022 Pullman Contractors, who were awarded the contract for the 2021-2022 construction period, removed the brick veneer at the two (2) lower level columns for WJE to investigate. During WJE's investigation, they found the following issues with the two (2) columns in question.

#### Column 10A and 11A

The investigation recommended by WJE based on column 10A and 11A exposed significant concrete cracking and distress within the two Lower Level columns.

- i. The embedded reinforcing steel did not exhibit surface corrosion at several of the exposed regions and, where present, the exposed surface corrosion was minor; therefore, the observed cracked conditions do not appear to be associated with corrosion-related deterioration.
- ii. The observed cracking is attributed to the lateral forces imparted by the beam post-tensioning tendons and the barrier cables, the apparent inadequate detailing of the reinforcing steel stirrups, and the lack of ductility and accommodation for movement in the short column (the portion of the Lower Level columns which extends between the relatively rigid retaining wall and beam-slab system above).
- iii. The brick veneer and concrete block infill at Column 11A did not exhibit evidence of previous replacement. Thus, the observed sealant beads over cracked concrete surfaces at Column 11A may be original to the garage construction.
- iv. As discussed below and because the capacity of the columns has been significantly reduced due to the noted deterioration and potentially inadequate reinforcement detailing, immediate shoring and repairs are recommended at the two columns.

#### Additional Investigation

Based on the structurally significant conditions found at Columns 10A and 11A, and based on verbal approval from the City during the project team meeting onsite, Pullman was to remove and replace localized areas of brick veneer at the following additional locations to facilitate WJE's investigation. The objective of these additional investigative openings is to determine if other column locations exhibit similar concrete or brick masonry deterioration. Pullman will issue a change order for the associated work to create these inspection openings for WJE's review; shoring of the associated beams are not anticipated at this time.

- a. Column 12A Level 1 beam end
- b. Column 13A Level 1 beam end
- c. Column 15A Level 1 beam end
- d. Column 19A Level 2 beam end
- e. Column 13E Level 6 beam end
- f. Column 10J Level 1 beam end

The brick veneer was removed and was investigated by WJE on March 9, 2022 at these additional locations. Based on WJE observations, no structurally significant distress conditions were found; imminent repairs are not required at the 6 additional locations. One inspection opening, at Column 13E supporting Level 6, was created at an unsound previous patch repair at an interior concrete column, the exposed conditions do not represent an imminently hazardous structural condition. However, WJE recommends repairing this column for improved durability and protection of the existing steel reinforcement.

#### LEGAL REVIEW:

All documents have been reviewed and approved by the City Attorney

#### FISCAL IMPACT:

The budget amendment request for the 2021-2022 Peabody construction repairs was approved for \$146,664.00 at the September 20, 2021 commission meeting. The column shoring, additional column investigation and repairs are not included in the \$146,664.00. There is sufficient fund balance in the Automobile Parking System (APS) for the work associated with this proposed contract. The additional column investigation proposal provided by Pullman SST INC, is \$23,750.00. And The Emergency Shoring proposal provided by Pullman SST INC, is \$59,150.00 with an additional \$12,000.00 per month rental fee of shoring equipment. Estimated repair cost for column 10A and 11A is \$75,000.00. Estimated repair costs for column 13E is \$6,000.00. Proposed repair cost to permanently relocate a fire sprinkler line is \$3,000.00. The scope of service cost provided by WJE is \$47,000.00.

An additional budget amendment is requested for the 2021-2022 APS Fund for these repairs in the amount of \$235,000.00. Total costs for the Peabody Parking Structure construction repairs will be \$381,644.00.

The current APS fund balance is \$21,975,533.21

PUBLIC COMMUNICATIONS:

None

#### **SUMMARY**

The capacity of the columns has been significantly reduced due to the noted deterioration and potentially inadequate reinforcement detailing, immediate shoring was installed and immediate repairs are recommended at two columns. Additional investigation efforts at other locations of the garage have been completed and determined no additional work is needed.

#### ATTACHMENTS:

- 1. Site Visit Report #7-8 provided by WJE
- 2. Memorandum Peabody Parking Structure Column Repair Scope provided by WJE
- 3. Emergency Shoring proposal change order 5 provided by Pullman SST Inc.
- 4. Additional Column Investigation proposal change order 6 provided by Pullman SST Inc.
- 5. Additional Column investigation quantities proposal change order 7 provided by Pullman SST Inc.
- 6. Permanently relocate fire sprinkler line proposal provide by Wm Crook
- 7. Emergency Column Shoring and Repairs proposal provided by WJE

#### SUGGESTED COMMISSION ACTION:

A. Make a motion adopting a resolution confirming City Manager's authorization for the emergency expenditure related to the repair of the Peabody Street Structure Emergency Shoring, Additional Column Investigation and Repair by Pullman SST Inc. for a cost not to exceed \$235,000.00 to be charged to the Automobile Parking System Fund, Peabody Parking Structure Capital Outlay Building account #585-538.004-977.0000

#### Automobile Parking System Fund

#### Revenues:

Draw from Fund Balance	\$235,000.00
(Account #585-000.000-400.0000)	
Total Revenues	\$235,000.00
Expenditures:	
Peabody Structure – Capital Outlay Buildings (Account #585-538.004-977.0000)	\$235,000.00
Total Expenditures	\$235,000.00





SITE VISIT REPORT No. 7 | February 15, 21, & 23, 2022 City of Birmingham - 2021 3PT Parking Structure Repairs Peabody Parking Structure Column Assessment

REPORT DATE	March 1, 2022	WJE PROJECT NO.	2019.6318.2
REPORTED BY	Sarah Rush	WJE PROJECT MGR.	Matthew Lewis, P.E.
	Meredith Thibodeaux	CONTRACTOR/	Pullman SST, Inc. (Pullman)
OWNER/ CLIENT	City of Birmingham (City)	PROJECT NO.	rullinan 331, inc. (rullinan)
		WFATHER	Overcast, 25°F
WORK IN PROGRESS	Inspection openings, shoring, and	WLATTILK	Overcast, 23 1
	assessment of the two Peabody	DISTRIBUTION	Ryan Weingartz (Birmingham)
	Lower Level columns		Jim Travnik (Pullman)
PRESENT AT SITE	Sarah Rush		Matthew Lewis (WJE)
	Meredith Thibodeaux - 2/15, 2/21		Sarah Rush (WJE)
	Matt Lewis - 2/23		Meredith Thibodeaux (WJE)

This site visit report documents pertinent items from our site visits on February 15, 21, & 23, 2022 to investigate the two Lower Level columns, Columns 10A and 11A, at the Peabody Parking Structure (Peabody) as part of the base bid scope of work. Refer to the Construction Documents and our original condition assessment report dated April 30, 2021 for more information.

- 1. Shoring for Preliminary Investigation Efforts. WJE reviewed the installed shoring at the Lower Level of the southwest corner of the parking structure on February 15 and February 21, which was installed as part of the base bid scope of work to facilitate WJE's investigation efforts (Figure 1 and Figure 2). WJE requested modifications to Pullman's original shoring configuration and the barricading of parking stalls on the floor levels above, which were implemented prior to WJE's February 21 site visit.
- 2. Investigation Findings:
  - a. Column 10A. On February 15, Pullman had removed a localized area of brick veneer at Column 10A, nearest the southwest stair tower, and WJE assessed the visible areas of the column (Figure 3).
    - i. Previous trowel-applied concrete patch repairs were present at the end of the post-tensioned Level 1 beam (Figure 4). Originally a 22-inch square column, the patch material did not restore the original cross-section, which created an irregular shape and reduced concrete cover around the embedded steel elements. The majority of this previous repair material was cracked and unsound. Sealant materials and evidence of epoxy injection repair attempts were observed behind (inboard) of the patch material at crack locations. Using handheld hammers, WJE removed the loose unsound concrete to expose the reinforcing steel and help determine the depth and extent of the observed cracks.
    - ii. A No. 11 longitudinal reinforcing bar was exposed at two of the column corners. Stirrups were not present within the column-beam intersection (or did not properly engage the longitudinal steel), resulting in an unsupported 24-inch length of longitudinal bar (Figure 5, Figure 6). This unsupported condition is atypical and does not meet the requirements of the original



### City of Birmingham - 2021 3PT Parking Structure Repairs Peabody Parking Structure Column Assessment

- construction drawings. Three of the beam's seven-wire PT tendon anchorages and three PT anchorages for the vehicle barrier cables were exposed (Figure 7). The majority of the exposed steel elements exhibited surface corrosion, apart from the north corner longitudinal bar.
- b. *Column 11A*. On February 21, Pullman had removed a localized area of brick veneer and concrete block infill (interior wythe) at the base of Column 11A, and WJE assessed the visible areas of the column (Figure 8).
  - i. Previous concrete patch repairs and sealant beads applied over cracked regions were present at multiple faces of the column and at the beam-column interface (Figure 9, Figure 10). Using handheld hammers, WJE removed localized loose and unsound concrete and sealant material.
  - ii. Wide diagonal cracks in the west and south faces of the columns extend toward a converging point at the southwest corner of the column near the slab to column interface (Figure 11 to Figure 15). Cracks on the south and west faces of the column propagate through the patch repair material and the original concrete with maximum crack widths ranging between 75 mils and 150 mils. A large portion of the south column corner was delaminated and displaced outward up to ¼ inch with the observed cracks extending through the column section.
  - iii. A No. 11 longitudinal reinforcing bar was exposed at the north corner following WJE's removal of unsound concrete, which did not exhibit surface corrosion. Stirrups were not found at the beam-column intersection where exposed (at the concrete spall) or by using a handheld ground penetrating radar (GPR) device.
  - iv. An approximate 4-inch-deep void is present at the cold joint on the north face of the column between the top of a formed previous repair and the supported beam, reducing the bearing area between these structural concrete elements by over 30 percent when considered in conjunction with the spalled concrete (Figure 16).
- c. Summary of Column 10A and 11A Findings. The investigation recommended by WJE based on the brick and concrete distress in the region exposed significant concrete cracking and distress within the two Lower Level columns.
  - i. The embedded reinforcing steel did not exhibit surface corrosion at several of the exposed regions and, where present, the exposed surface corrosion was minor; therefore, the observed cracked conditions do not appear to be associated with corrosion-related deterioration.
  - ii. The observed cracking is attributed to the lateral forces imparted by the beam post-tensioning tendons and the barrier cables, the apparent inadequate detailing of the reinforcing steel stirrups, and the lack of ductility and accommodation for movement in the short column (the portion of the Lower Level columns which extends between the relatively rigid retaining wall and beam-slab system above).
  - *iii.* The brick veneer and concrete block infill at Column 11A did not exhibit evidence of previous replacement. Thus, the observed sealant beads over cracked concrete surfaces at Column 11A may be original to the garage construction.
  - iv. As discussed below and because the capacity of the columns has been significantly reduced due to the noted deterioration and potentially inadequate reinforcement detailing, immediate shoring and repairs are recommended at the two columns. Additional investigation efforts at



## City of Birmingham - 2021 3PT Parking Structure Repairs Peabody Parking Structure Column Assessment

other locations of the garage are also recommended. These recommendations and additional investigation efforts will exceed the \$20,000 base bid allowance for this work item.

- 3. Structural Shoring and Barricades at Parking Stalls. Based on the concealed conditions uncovered during our investigation efforts, WJE recommends shoring of all levels supported by Columns 10A and 11A and barricading parking stalls tributary to those columns as soon as possible.
  - a. Refer to the shoring and barricade requirements submitted by WJE via email on February 22 (Appendix A). Fixed barricades must be installed and maintained to prohibit parking within the stalls in the area tributary to the columns. The recommended shoring and barricades shall remain in-place until structural repairs are completed.
  - b. WJE met with Pullman and City of Birmingham representatives on February 23 to discuss our findings and recommendations. Based on verbal approval from the City during the project team meeting onsite, Pullman is to submit a formal quote to the City for the shoring plan outlined in Appendix A and begin scheduling manpower and materials accordingly. WJE is to review and approve shop drawings prior to installation.
- 4. Additional Investigation. Based on the structurally significant conditions found at Columns 10A and 11A, and based on verbal approval from the City during the project team meeting onsite, Pullman is to remove and replace localized areas of brick veneer at the following locations to facilitate WJE's additional investigation. The objective of these additional investigation openings is to determine if other column locations that exhibit similar concrete or brick masonry deterioration contain concealed structurally significant cracking or distress. Pullman to issue a change order for the associated work to create these inspection openings for WJE's review; shoring of the associated beams are not anticipated at this time.
  - a. Column 12A Level 1 beam end
  - b. Column 13A Level 1 beam end
  - c. Column 15A Level 1 beam end
  - d. Column 19A Level 2 beam end
  - e. Column 13E Level 6 beam end
  - f. Column 10J Level 1 beam end
- 5. WJE Repair Design. To reduce rental costs associated with the structural shoring installation, and per the verbal approval from the City during the project team meeting onsite, WJE will commence with development of a repair design and drawings to address the observed distress conditions on a time and expense basis. WJE will submit a formal proposal for this work once the conceptual repair approach is known.

Enclosure: Figure 1 to Figure 17

Peabody Column 10A and 11A Shoring Requirements



#### **FIGURES**



Figure 1. Shoring installed at the west end of the Level 1 beam supported by Column 11A.



Figure 2. Shoring posts installed at the west end of the Level 1 beam supported by Column 10A.





Figure 3. Brick veneer removed from the base of Column 10A. A steel shelf angle supporting the brick veneer indicated with red arrow.

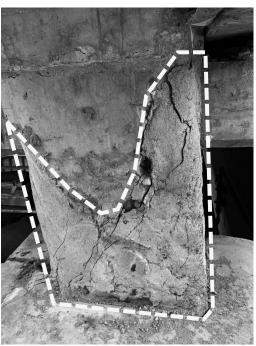


Figure 4. Cracked and unsound previous concrete repair at Column 10A. Eight grout pockets are visible at the ends of the beam PT tendons.





Figure 5. #11 longitudinal bars at corner of Column 10A are indicated with red arrows. Stirrup indicated with yellow arrow.



Figure 6. 24 inches from curb to first exposed stirrup at Column 10A.





Figure 7. Three of the eight PT tendons were visible at deteriorated grout pockets at Column 10A.



Figure 8. Brick veneer removed at Column 11A (west face) and supported by wood framing indicated with red arrows.





Figure 9. Previous concrete repair at beam to column interface at south face of column.

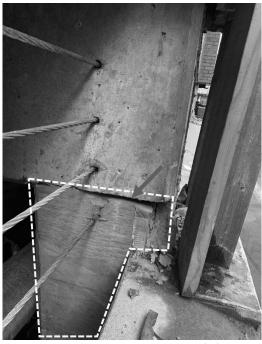


Figure 10. Previous concrete repair at Column 11A below beam at the north face of the column. 4-inch deep cold joint between the concrete repair and the bottom face of the column indicated with red arrow.





Figure 11. Cracks throughout concrete at Column 11A. Crack propagates through original concrete above as indicated with red arrow. Note the displacement across the crack in the original concrete where the concrete material has spalled.



Figure 12. Approximately 1/4" displacement across crack in original concrete at Column 11A.





Figure 13. Cracks throughout original concrete at Column 11A.



Figure 14. Cracks in west and south faces of Column 11A extend toward a converging point.





Figure 15. Crack in original concrete at south face of Column 11A extends along slab edge bearing at column. Slab indicated with red arrow and shelf angle indicated with yellow arrow.



Figure 16. Wide cold joint at north face of Column 11A between original concrete and concrete repair. Joint is approximately four inches deep.





Figure 17. Cracks propagating through previous sealant repairs in the brick veneer at Column 11A.

#### SECTION 02 01 11 SHORING

#### **PART 1 GENERAL**

#### 1.1 SUMMARY

- A. Section Includes: Supply, installation, and removal of temporary shoring to vertically support structural elements during demolition and construction operations.
- B. Related Sections include the following:
  - 1. Section 03 01 31 Concrete Removal and Surface Preparation

#### 1.2 REFERENCES

- A. Reference Standards: All standards latest edition as of the date of the Specification:
  - 1. American Association of State Highway and Transportation Officials (AASHTO)
    - a. Guide Design Specification for Bridge Temporary Works
  - 2. American Concrete Institute (ACI)
    - a. ACI 301 Specifications for Structural Concrete for Buildings
    - b. ACI 318 Building Code Requirements for Structural Concrete
    - c. ACI 347 Guide to Formwork for Concrete
    - d. ACI 563 Specifications for Repair of Concrete in Buildings
  - 3. American Institute of Steel Construction (AISC)
    - a. Specification for Structural Steel Buildings Allowable Stress Design

#### 1.3 PAYMENT

- A. Include one floor level of shoring within Peaboody Street Parking Structure base bid scope of work:
  - 1. Contractor is responsible for design of shoring, developing shoring procedures, preparing shoring submittals, and providing and installing shoring.

#### 1.4 COORDINATION

- A. Coordinate with Owner's Representative and with other trades to ensure that shoring does not interfere with Owner use of Site or work of other trades.
- B. The Contractor shall be responsible for means and methods of shoring and temporary support and for the sequences and procedure being used.

#### 1.5 SUBMITTALS

- A. Product Data: Manufacturer's literature and technical data indicating type of shoring proposed for use and safe load-carrying capacity of shoring for heights and lengths of shoring components to be used.
- B. Shop Drawings: Shop drawings showing locations, distribution, and quantity of shoring. Include connection and bearing details.

#### 1.6 DELIVERY, STORAGE, AND HANDLING

- A. Store shoring materials in approved storage area at Site, such that materials do not interfere with Owner's continued use of facility.
- B. Limit stored materials on structure to safe loading capacity of structure at time materials are stored, so as to preclude damage to materials and structures.

#### 1.7 PROJECT CONDITIONS

- A. Verify existing dimensions and details prior to start of Work. Promptly notify Architect/Engineer of conditions found to be different than those indicated in the Contract Documents. Architect/Engineer will review situation and inform Contractor and Installer how to proceed.
- B. Comply with Owner's limitations and restrictions for Site use and accessibility.

#### **PART 2 PRODUCTS**

#### 2.1 MANUFACTURED ASSEMBLIES

- A. Design Criteria:
  - 1. Design for dead load and minimum 20-pound-per-square-foot construction load over tributary area of member being repaired, as follows:
    - a. Design shall include a minimum factor of safety of 2.0.
    - b. Design spreaders to distribute load over an effective area to result in a 2,500 psf or less bearing pressure on the concrete slab.
    - c. Consider removal of loads from member and transfer of loads into structure below, without overloading structural members.
    - d. Detail shoring to avoid interference with Owner operations.
    - e. Consider shoring stiffness relative to stiffness of members being shored.
- B. Shoring: Steel posts, steel frames, or other steel assemblies with sufficient capacity to support calculated shoring loads at spacing and positioning shown on shop drawings.
  - 1. Adjustable through positive means, such as screw jacks, to achieve tight fit to structure above and below and to compensate for elastic shortening of shores during loading and service.
  - 2. Use undamaged components, including bracing, supplied by shoring manufacturer.

#### 2.2 ACCESSORIES

- A. Spreaders:
  - 1. At bottom of shores: steel or timber cribbing with minimum a minimum cross section of 3-1/2 inches by 3-1/2 inches, 2x wood bearing pads, or other material; with sufficient bearing area and length to distribute shoring reactions into supporting structural element below.
  - 2. At top of shores: Timber or steel spreader beams or wood bearing pads; to fully support member being shored without damage to member surface.
- B. Shims: Wood or steel; at bearing points above shores to ensure tight contact with shored member.

#### **PART 3 EXECUTION**

#### 3.1 EXAMINATION

- A. Examine substrates and conditions for compliance with requirements and other conditions affecting installation or performance of shoring Work.
  - 1. Ensure that work done by other trades is complete and ready for shoring Work.
  - 2. Notify Engineer in writing of conditions which may adversely affect installation or performance of shoring Work and recommend corrections.
  - 3. Do not proceed with shoring Work until adverse conditions have been corrected and reviewed by Engineer.
  - 4. Commencing shoring Work constitutes acceptance of Work surfaces and conditions.

#### 3.2 INSTALLATION

- A. Install shoring at locations designated by Architect/Engineer, before repair work begins.
  - 1. Notify Architect/Engineer of any additional locations identified where extent of deterioration or suspect existing construction indicates that shoring may be necessary.
- B. Install shoring in accordance with manufacturer's recommendations and approved shop drawings at designated locations and at additional locations designated by Engineer. Installed assembly shall be of such quality that assembly will support imposed loads without excessive settlement or deflection.
  - 1. Position to avoid interference with Owner operations.
  - 2. Install snug, plumb, and square. Install cross-bracing recommended by shoring manufacturer and shoring designer to prevent buckling failure of individual members and overall shoring stability failure. Extend shoring above and below level of repair work as required by shoring design.
  - 3. Install spreader beams or bearing pads and shims as necessary, and adjust shores to ensure tight, uniform fit against structural element to be supported. Minimize differential loading of vertical shoring members.
  - 4. Install timber cribbing wood or wood bearing pads as necessary to distribute loads into supporting elements. If more than 1 layer of cribbing is required, install each successive layer perpendicular to preceding layer.
  - 5. If shoring is to be placed on coated or finished surface, protect surface from damage with plywood, plastic sheets, or other means.
- C. Preload shores with screw jacks to bring shoring into a uniform, snug-tight condition.
- D. Protect shores from damage from construction activities, Owner use of facility, and other causes.
- E. Check shores daily and adjust as necessary to maintain snug condition, plumbness, and full effectiveness.
- F. Modify and adjust shoring as required to meet conditions of work and to ensure Project safety.

#### 3.3 REMOVAL OF SHORES

A. Remove shores when compressive strength of repair concrete exceeds 75 percent of its specified 28-day strength. Contractor may elect to have additional concrete strength tests performed at his own expense, to confirm when repair concrete meets removal requirements.

B. Store shoring materials in approved storage area at Site, such that materials do not interfere with Owner's continued use of facility. Promptly remove shoring materials from Site when no longer needed for work.

END OF SECTION 03 01 01



30700 Telegraph Road, Suite 3580 Bingham Farms, MI 48025 248.593.0900 248.593.8532 (Fax) wje.com 
 Made By
 MM □

 Checked By
 5√2

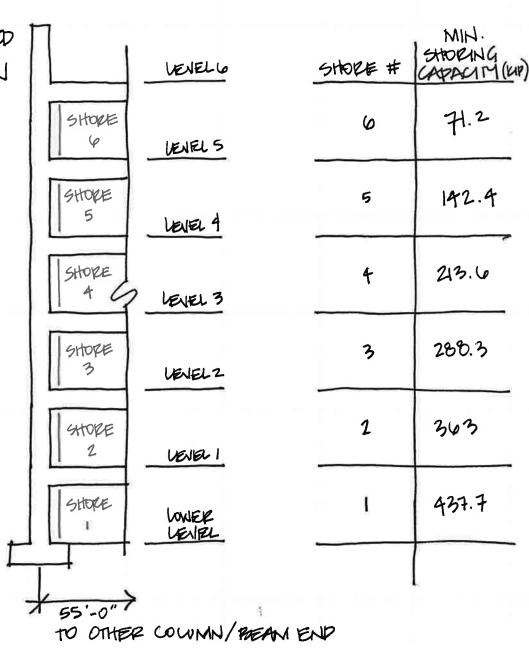
 Project Number
 2019.6318.2

 Sheet Number
 1

 Date
 2/22/2022

PEARSORY PARKING GARAGE SHORING LOADS

- · THE PURPOSE OF THIS STOPING IS TO BEMOVE THE LOAD FROM COLUMNS AID 6. All AND TO FACILITATE FUTURE REPAIRS.
- · TYPICAL POOM WIDTH = 18'-6"
- · SHOPING WADS ARE GENERALLY CALWLATED BASSED ON LARGIER TRIBUTARY AREA OF COUMN All FOR BOTH SUBJECT COLUMNS.
- · PRECAUSE THE PAPKING SPACES WITHIN THE SHOPED TRIBUTARY AREA ARE BLOCKED, A CONSTRUCTION WE WAD OF 20 PSF IS CONSIDERED
- MINIMUM STORING CAPACITIES PROVIDED ARE UNFACTORE D+L LOADS, INCUMDING THE LIVE LOAD DESCRIBED APPONE AND APPLICABLE MATERIAL WEIGHTS.







SITE VISIT REPORT No. 8 | March 9, 2022 City of Birmingham - 2021 3PT Parking Structure Repairs Peabody Parking Structure Column Assessment

REPORT DATE	April 4, 2022	WJE PROJECT NO.	2019.6318.2
REPORTED BY	Sarah Rush	WJE PROJECT MGR.	Matthew Lewis, P.E.
OWNER/ CLIENT	City of Birmingham (City)	CONTRACTOR/ PROJECT NO.	Pullman SST, Inc. (Pullman)
WORK IN PROGRESS	Inspection openings at add'l columns	WEATHER	Partly cloudy, 32°F
PRESENT AT SITE	Sarah Rush	- DISTRIBUTION	Ryan Weingartz (Birmingham) Jim Travnik (Pullman) Matthew Lewis (WJE) Sarah Rush (WJE) Meredith Thibodeaux (WJE)

This site visit report documents pertinent items from our site visit on March 9, 2022 to observe the inspection openings created at six additional columns following the structurally significant conditions found at Columns 10A and 11A. This report also discusses the shoring status of Columns 10A and 11A. Refer to Site Visit Report #7 for more information.

- 1. Structural Shoring and Barricades at Parking Stalls (Columns 10A and 11A).
  - a. Structural shoring is being provided by Sunbelt Rentals as a subcontractor to Pullman SST. Pullman submitted a quote for the shoring via Change Order Request No. 05. Pullman and WJE are in-process of reviewing Sunbelt's shop drawings for the shoring. Once approved, the shop drawings will be submitted to the City for review and project record.
- 2. Additional Investigation of Six Columns. Pullman removed localized brick veneer or distressed concrete patch materials at six locations to facilitate WJE's additional investigation of the concealed conditions (Figures 1-5). The objective of the investigation openings was to determine if other columns that exhibited similar concrete or brick masonry distress contain concealed structurally significant conditions. Based on our observations, no structurally significant distress conditions were found; imminent repairs are not required at other locations within the garage. WJE's investigative work is complete.
  - a. As requested in Site Visit Report #7, Pullman issued Change Order Request No. 06 for the associated work to create these inspection openings for WJE's review.
  - b. <u>Brick Openings</u>: The masonry cladding may be replaced at the brick clad inspection openings.
    - i. Wall ties are to be installed at replacement brick masonry at 16 inches on center (max). Where concrete block (CMU) infill is present, wall ties are to be installed between both the concrete columns and concrete block and between the concrete block and clay brick masonry.
    - ii. Where replacement brick abuts a bed joint containing an existing steel shelf angle, install new closed-cell backer rod and joint sealant to create a soft movement joint along the horizontal plane below the shelf angle.



## City of Birmingham - 2021 3PT Parking Structure Repairs Peabody Parking Structure Column Assessment

- iii. WJE and the City are to review and approve mock-ups for the replacement brick units and mortar. Mock-ups are in-progress, final approval needed following cleaning work.
- iv. Based on the additional work outlined below, Pullman issued Change Order Request No. 7:
  - 1) WJE acknowledges the inspection openings at the five brick clad column locations are larger than the 10 SF outlined in Change Order Request No. 06.
  - 2) Where masonry distress is present adjacent to the inspection openings, particularly at Column 19A (Figures 6-8), WJE recommends repair of the masonry as part of the cladding replacement, including replacement of localized cracked brick units and repointing distressed mortar.
  - 3) At Column 12A, minor concrete distress is present in the existing retaining wall. WJE recommends a partial-depth concrete repair be performed at this location prior to brick replacement (Figure 2).
- c. <u>Concrete Opening</u>: One inspection opening, at Column 13E supporting Level 6, was created at an unsound previous patch repair at an interior concrete column (Figures 9-10). The exposed conditions do not represent an imminently hazardous structural condition. However, we recommend repairing this column for improved durability and protection of the existing steel reinforcing.
  - i. Pullman to submit a quote to perform concrete repairs at Column 13E in conjunction with the repairs at Column 10A and 11A for the City's review and approval. Refer to the project specifications and repair details on Sheet S501 for more information. WJE is in-progress of developing additional repair design information to address this condition. Based on our discussions with Pullman, we understand that the cost for shoring at this repair will be minor since the rental costs associated with the shoring are already captured by the repairs for Columns 10A and 11A.

Enclosure: Figure 1 to Figure 10



#### **FIGURES**

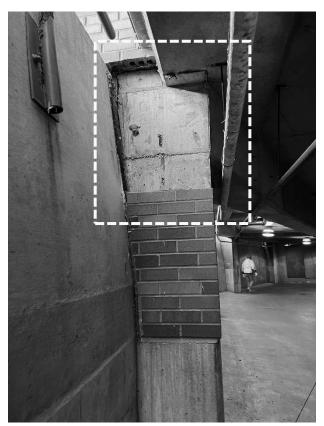


Figure 1. Column 10J inspection opening at Level 1 PT beam end (brick veneer removed).

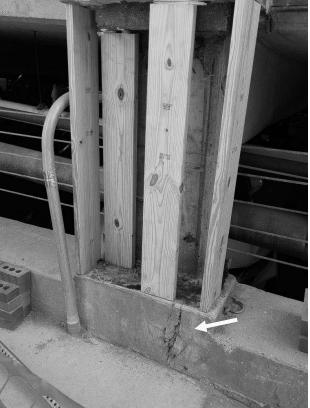


Figure 2. Column 12A inspection opening at Level 1 PT beam end (brick veneer removed, wood 2x installed as temporary support for brick). Note the concrete distress at the retaining wall.





Figure 3. Column 19A inspection opening at Level 2 PT beam end (brick veneer at concrete block infill removed).



Figure 4. Column 19A inspection opening at Level 2 PT beam end (brick veneer at concrete block infill removed).



Figure 5. Column 19A inspection opening at Level 2 PT beam end (brick veneer at concrete block infill removed).



Figure 6. Brick distress below the existing inspection opening at Column 19A.



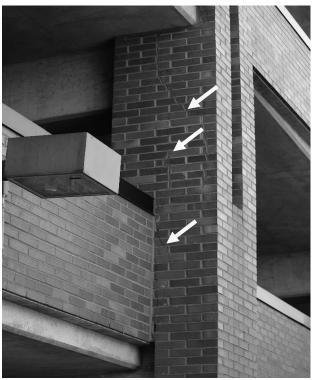


Figure 7. Distress at Column 19A prior to brick removal.



Figure 8. Distress at Column 19A prior to brick removal.



Figure 9. Column 13E inspection opening at Level 6 PT beam end (unsound previous patch repair removed).



Figure 10. Exposed corroded reinforcing steel and diagonal concrete crack.





MEMORANDUM | April 4, 2022 Peabody Parking Structure Column Repair Scope

WJE PROJEC	CT NO. 2019.6318.3	
TO	Jim Travnik	
	Project Manager	
	Pullman SST	
FROM	Sarah V. Rush	

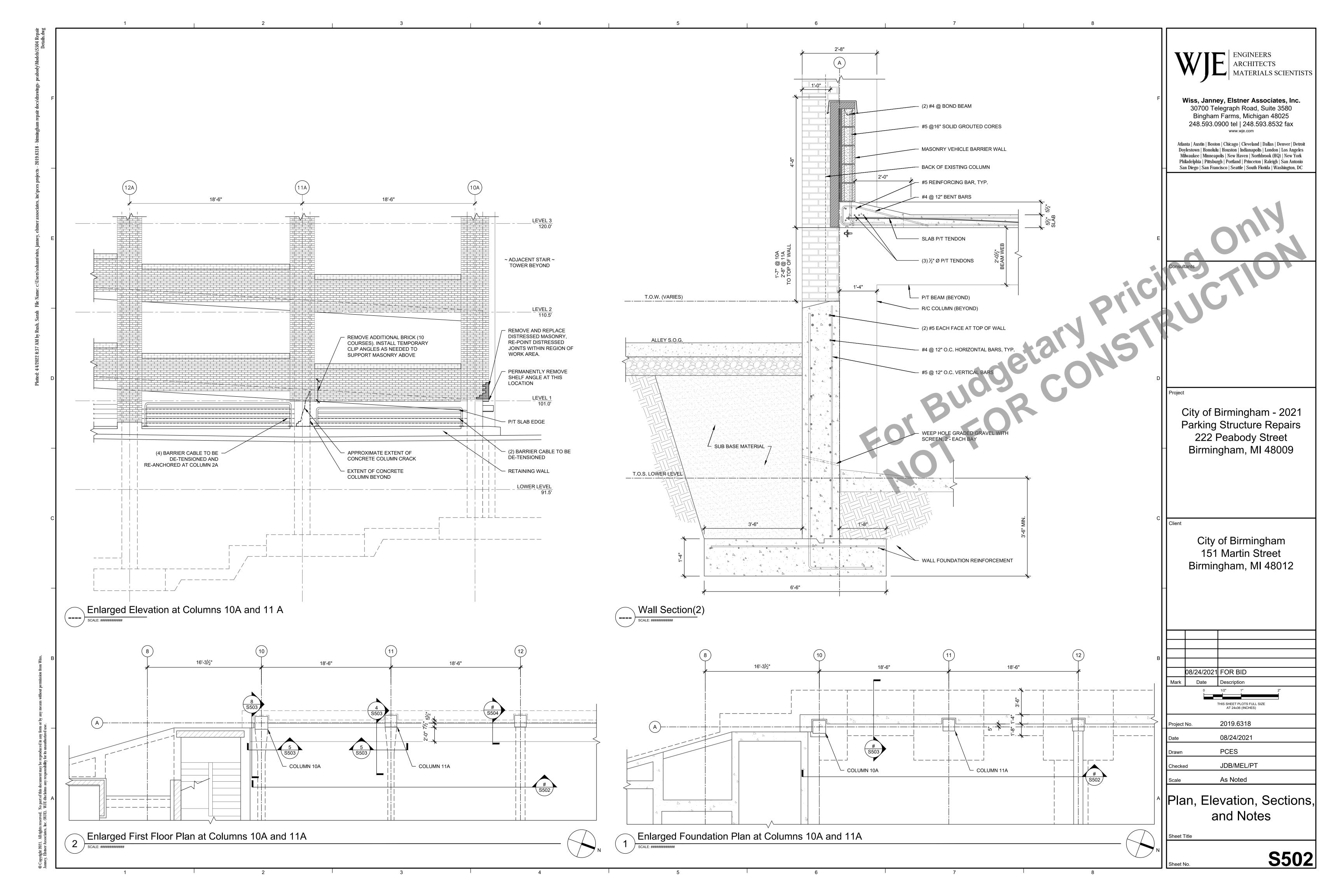
As discussed during our project team meeting on April 1, 2022, the following outlines the anticipated scope of work associated with the column repairs at the Peabody Street Parking Structure in Birmingham, MI. Refer to the project specifications and the "For Pricing" drawing set for more information.

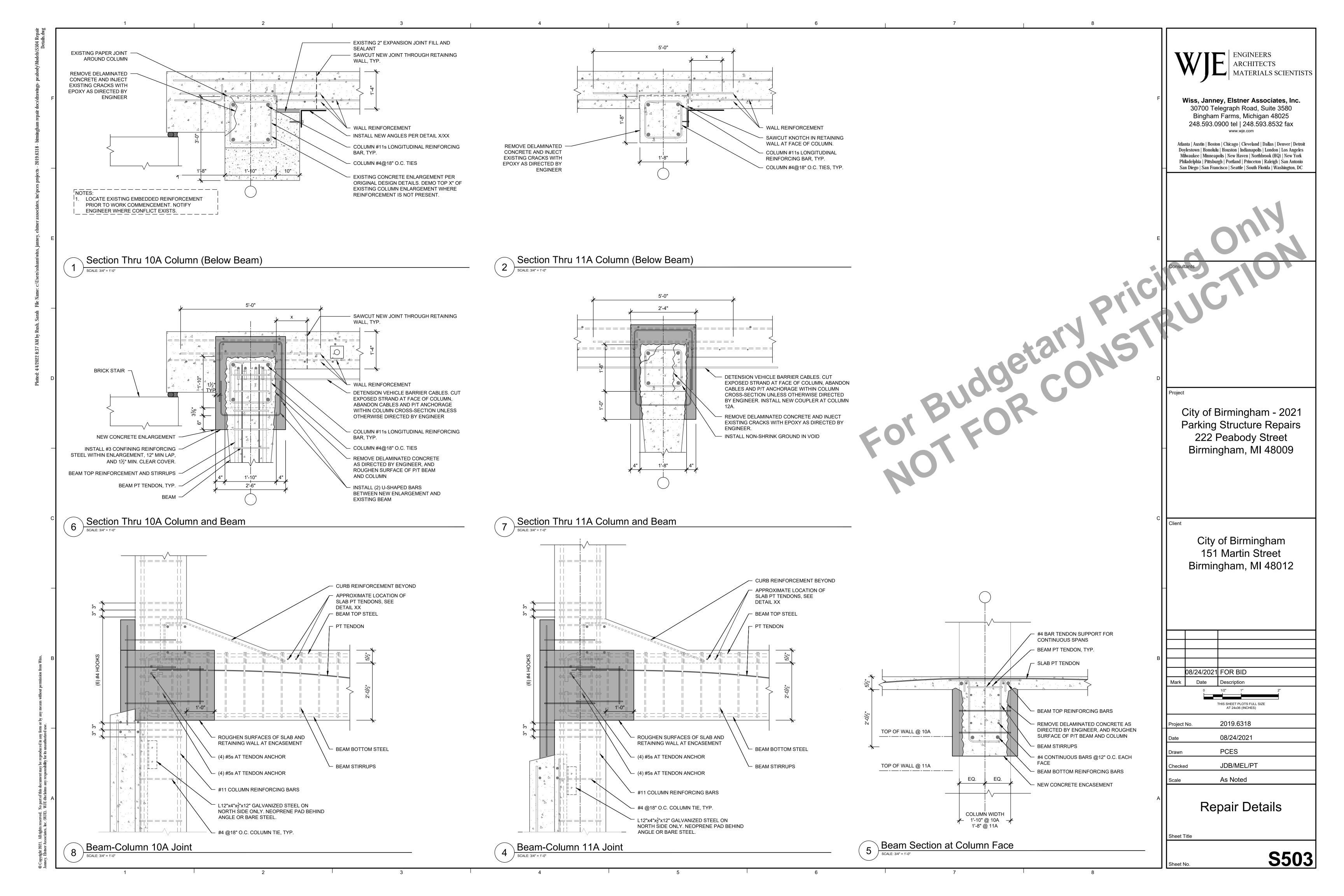
#### Column 10A and 11A

- Remove existing tensioned guardrail cables between Columns 10A and 12A. Install new surface-mounted anchors at Column 12A as needed to maintain the guardrail system north of Column 12A. Install new steel guardrails between Columns 10A and 12A, to be surface-mounted to the top of the retaining wall.
- Temporarily remove and replace the 30 inch HVAC duct near Column 10A to facilitate the repairs. Fire sprinkler line near Column 10A to be permanently relocated by others.
- Sawcut joint through entire retaining wall thickness adjacent to Column 10A, joint to extend full height of retaining wall and be approximately 1 inch wide. Sawcut partial-depth joint through retaining wall at Column 11A, joint to extend full height of retaining wall and be approximately ½ inch wide. Install waterstop at Column 10A with backer and joint sealant at both columns. Install a galvanized steel angle with ¾ inch threaded rods at each column for bearing of the retaining wall, install angles before full height of joint cuts are completed.
- Remove additional brick masonry above work area to expose additional unsound concrete and to gravity-feed concrete repair material, install clip angles to support existing masonry as needed. Note Column 11A brick masonry includes concrete block back-up. Following concrete repairs, replace brick masonry on west column face, install backer and sealant at extents of veneer replacement.
- Remove loose concrete within column cross-section, epoxy inject remaining cracks as directed by WJE. Install supplemental column ties and encasement reinforcing, some encasement reinforcing bars are to be epoxy anchored into the existing concrete retaining wall or slab edge. Form and pour new concrete encasement, approximately 4 inches thick beyond original column cross-section, approximately 25 SF each column.

#### Column 13E - Alternate Add

- Relocate upper 4 levels of shoring from 10A or 11A to Column 13E.
- Remove unsound concrete at Column 13E supporting Level 6, install wire ties as needed to brace corner vertical bars to stirrups. Perform epoxy-injection in diagonal crack as directed by WJE. Perform partial-depth concrete repairs, depth of concrete removal to expose full bar diameter, approximately 12 SF. Note vehicle barrier cables and conduit adjacent to repair area.







Detroit Branch 280 West Jefferson Trenton, MI 48183 Phone 734-282-7760 www.pullman-services.com

February 28, 2022

City of Birmingham 151 Martin Street Birmingham, Michigan 48009

Wiss, Janney, Elstner Associates, Inc. 30700 Telegraph Road, Ste, 3580 Bingham Farms, Michigan 48025

RE: 2021 PARKING STRUCTURE REPAIR PROJECTS PEABODY STREET -- EMERGENCY SHORING REQUEST FOR CHANGE ORDER 05

This correspondence is related to a request by Wiss, Janney, Elstner Associates, Inc. (WJE), to provide "emergency shoring" at column lines A.10 and A.11 at the Peabody Street Parking Garage, per specifications and notes provided in their 2/22/22 shoring load detail, as well the significant distress found upon completion of their investigation (included in original base contract). This work is recommended by WJE to relieve the columns of load in order to facilitate future repairs, which shall include shoring of all levels at both columns.

As such, Pullman SST, Inc. is pleased to present the following:

#### SCOPE OF WORK: EMERGENCY SHORING INSTALLATION

- Core four (4) 4" holes in slab on grade to confirm existing base integrity and construction load requirements
- Install steel barricades with anchoring at all work areas for public safety
- Install MAT 125 shoring and spread beams at all levels at columns A.10 and A.11
  - o Includes wood timber at all wash areas associated with column A.10
- Includes equipment rental cost for one (1) twenty-eight (28)-day cycle
- Tear-down and remove all shoring
- Includes motor freight of all equipment
- Includes PE stamped Submittal for WJE review, and one set of reasonable revisions/comments.
  - Submittal shall be limited to drawings and calculations to show the capacity of temporary shoring equipment only

TOTAL LUMP SUM COST: \$ 59,150.00

#### SCOPE OF WORK: EMERGENCY SHORING RENTAL

- Includes equipment rental cost for additional twenty-eight (28)-day rental cycle(s)
- Includes weekly site-visit of Pullman staff to inspect all shoring and barricading and provide maintenance as required

TOTAL MONTHLY COST: \$ 12,000.00

# 2/28/2022 Page 2

#### WORKING CONDITIONS

1. Workdays / Workhours: M – F, 7:00am – 5:00pm, Saturday 7:00am to 5:00pm as required

# SUPPORT BY OTHERS (at no cost to PULLMAN SST) SHALL INCLUDE THE FOLLOWING:

- 1. Parking for service vehicles.
- 2. Storage area for equipment and materials
- 3. Restroom Facilities
- 4. Temporary heat or cold weather protection
- 5. 110V Electric
- 6. Potable Water
- 7. Testing and inspection
- 8. Hazardous material and/or abatement
- 9. Unobstructed access to work area
- 10. Inspections and/or permits

#### SCHEDULE:

Work would commence immediately upon approval.

We appreciate the opportunity to work with you on this project and please contact us at 734.282.7760 (office) with any questions that you may have.

Sincerely,

Pullman SST, Inc.

James Travnik Project Manager John Schuster Division Manager



Detroit Branch 280 West Jefferson Trenton, MI 48183 Phone 734-282-7760 www.pullman-services.com

March 3, 2022

City of Birmingham 151 Martin Street Birmingham, Michigan 48009

Wiss, Janney, Elstner Associates, Inc. 30700 Telegraph Road, Ste, 3580 Bingham Farms, Michigan 48025

RE: 2021 PARKING STRUCTURE REPAIR PROJECTS

PEABODY STREET - ADDITIONAL COLUMN INVESTIGATION

REQUEST FOR CHANGE ORDER 06

This correspondence is related to a request by Wiss, Janney, Elstner Associates, Inc. (WJE), to provide additional inspection services at various columns at the Peabody Street Parking Garage, per specifications and notes provided in their Site Visit Report #7, dated March 1, 2022. These column investigations shall include the removal of the brick veneer in order to expose the structural column(s) and allow WJE clear access. Once WJE has completed their assessment, the brick veneer will be replaced.

As such, Pullman SST, Inc. is pleased to present the following, inclusive of Project Management, Supervision, General Conditions and equipment:

# SCOPE OF WORK: COLUMN INVESTIGATION

- Remove brick veneer (up to 10 SF each) at the following locations:
  - o Column 12A Level 1 beam end
  - o Column 13A Level 1 beam end
  - o Column 15A Level 1 beam end
  - o Column 19A Level 2 beam end
  - o Column 13E Level 6 beam end
  - o Column 10J Level 1 beam end
- Assist WJE with access to all locations as necessary
- Replace brick veneer at above locations
- Final job-site clean-up

TOTAL LUMP SUM COST: \$ 11,750.00

# 3/3/2022 Page 2

#### WORKING CONDITIONS

1. Workdays / Workhours: M – F, 7:00am – 5:00pm, Saturday 7:00am to 5:00pm as required

SUPPORT BY OTHERS (at no cost to PULLMAN SST) SHALL INCLUDE THE FOLLOWING:

- 1. Parking for service vehicles.
- 2. Storage area for equipment and materials
- 3. Restroom Facilities
- 4. Temporary heat or cold weather protection
- 5. 110V Electric
- 6. Potable Water
- 7. Testing and inspection
- 8. Hazardous material and/or abatement
- 9. Unobstructed access to work area in alleys and city sidewalks
- 10. City of Birmingham Inspections and/or permits are not included

#### SCHEDULE:

Work would commence immediately upon approval.

We appreciate the opportunity to work with you on this project and please contact us at 734.282.7760 (office) with any questions that you may have.

Sincerely,

Pullman SST, Inc.

James Travnik Project Manager John Schuster Division Manager



Detroit Branch 280 West Jefferson Trenton, MI 48183 Phone 734-282-7760 www.pullman-services.com

March 31, 2022

City of Birmingham 151 Martin Street Birmingham, Michigan 48009

Wiss, Janney, Elstner Associates, Inc. 30700 Telegraph Road, Ste, 3580 Bingham Farms, Michigan 48025

RE: 2021 PARKING STRUCTURE REPAIR PROJECTS

PEABODY STREET - ADDITIONAL COLUMN INVESTIGATION QUANTITES

REQUEST FOR CHANGE ORDER 07

This correspondence is related to a request by Wiss, Janney, Elstner Associates, Inc. (WJE), to provide additional inspection services at various columns at the Peabody Street Parking Garage, per specifications and notes provided in their Site Visit Report #7, dated March 1, 2022. These column investigations shall include the removal of the brick veneer in order to expose the structural column(s) and allow WJE clear access. Once WJE has completed their assessment, the brick veneer will be replaced.

During WJE's site visits, additional distress was noted at columns 10J, 11 and 12, which resulted in additional brick to be removed at the request of WJE. Additional brick beyond the original quantity of 60 SF was provided. In addition, Column 19A grew an additional 20 SF, and 13E added an additional 10 SF. Additional resources were incurred to better match the mortar design and brick procurement.

As such, Pullman SST, Inc. is pleased to present the following, inclusive of Project Management, Supervision, General Conditions and equipment:

#### SCOPE OF WORK: COLUMN INVESTIGATION

- Remove and replacement of brick veneer for an additional 60 SF
- Assist WJE with access to all locations as necessary
- Additional duration for rental equipment for access to 2<sup>nd</sup> floor column
- Final job-site clean-up

TOTAL LUMP SUM COST - NOT-TO-EXCEED BASIS: \$ 12,000.00

#### 4/4/2022

## Page 2

#### WORKING CONDITIONS

1. Workdays / Workhours: M – F, 7:00am – 5:00pm, Saturday 7:00am to 5:00pm as required

## SUPPORT BY OTHERS (at no cost to PULLMAN SST) SHALL INCLUDE THE FOLLOWING:

- 1. Parking for service vehicles.
- 2. Storage area for equipment and materials
- 3. Restroom Facilities
- 4. Temporary heat or cold weather protection
- 5. 110V Electric
- 6. Potable Water
- 7. Testing and inspection
- 8. Hazardous material and/or abatement
- 9. Unobstructed access to work area in alleys and city sidewalks
- 10. City of Birmingham Inspections and/or permits are not included

## SCHEDULE:

Work would commence immediately upon approval.

We appreciate the opportunity to work with you on this project and please contact us at 734.282.7760 (office) with any questions that you may have.

Sincerely,

Pullman SST, Inc.

James Travnik Project Manager John Schuster Division Manager



# FW: Peabody Columns - 75% Drawing Set and Scope Document

2 messages

Rush, Sarah <srush@wje.com>

Mon, Apr 4, 2022 at 11:51 AM

To: Ryan Weingartz < rweingartz@bhamgov.org >

Cc: "Lewis, Matthew" <mlewis@wje.com>, "Thibodeaux, Meredith" <MThibodeaux@wje.com>

Ryan,

Please find Pullman's cost estimate for the column repairs in the email thread below, which is based on the attached in-progress repair documents. I've also attached a simple Excel document which tabulates the anticipated contractor-related costs, including the fire sprinkler line re-routing.

I look forward to our meeting this afternoon.

Kind Regards,

Sarah V. Rush, P.E.

Senior Associate

Wiss, Janney, Elstner Associates, Inc.

Engineers | Architects | Materials Scientists 30700 Telegraph Rd. Suite 3580, Bingham Farms, MI 48025 tel 248.594.0153 | mobile 248.508.1544 | fax 248.593.8532 www.wje.com\_srush@wje.com

From: Zach Carroll <zcarroll@pullman-services.com>

Sent: Monday, April 4, 2022 11:18 AM

To: Rush, Sarah <srush@wje.com>; Jim Travnik <jtravnik@pullman-services.com>; John Schuster <jschuster@pullman-services.

com>

Subject: RE: Peabody Columns - 75% Drawing Set and Scope Document

Sarah,

That's correct. The shoring cost in your spreadsheet is accurate, and would cover the duration of the base bid and alternate repairs.

Thanks!

**Zach Carroll** 

**Estimator** 



#### We Make Structures Stronger & Last Longer

280 W. Jefferson Ave.

Trenton, MI 48183

Mobile: 734-752-9266

zcarroll@pullman-services.com

www.pullman-services.com/detroit

From: Rush, Sarah <srush@wje.com> Sent: Monday, April 4, 2022 11:06 AM

<jschuster@pullman-services.com>

Subject: RE: Peabody Columns - 75% Drawing Set and Scope Document

Thank you, Zach! Can you please confirm your estimates assume a total of 2 months of shoring (1 month included in base installation cost and 1 add'l month of rental), which was discussed with John and Jim on Friday.

Thank you,

#### Sarah V. Rush, P.E.

Senior Associate

#### Wiss, Janney, Elstner Associates, Inc.

Engineers | Architects | Materials Scientists 30700 Telegraph Rd. Suite 3580, Bingham Farms, MI 48025 tel 248.594.0153 | mobile 248.508.1544 | fax 248.593.8532 www.wje.com\_srush@wje.com

From: Zach Carroll <zcarroll@pullman-services.com>

Sent: Monday, April 4, 2022 11:01 AM

To: Rush, Sarah <srush@wje.com>; Jim Travnik <itravnik@pullman-services.com>; John Schuster <ischuster@pullman-services.

com>

Subject: RE: Peabody Columns - 75% Drawing Set and Scope Document

Good Morning Sarah,

Based on the work scope and 75% drawings, our budgetary price for the 10A and 11A Column repairs is \$75,000.

For the add alternate at column 13E, we would be looking at a budget of \$6,000.

Let us know if you have any questions.

Thanks!

#### **Zach Carroll**

#### **Estimator**



#### We Make Structures Stronger & Last Longer

280 W. Jefferson Ave.

Trenton, MI 48183

Mobile: 734-752-9266

zcarroll@pullman-services.com

www.pullman-services.com/detroit

From: Rush, Sarah <srush@wje.com> Sent: Monday, April 4, 2022 8:48 AM

To: Jim Travnik <itravnik@pullman-services.com>; John Schuster <ischuster@pullman-services.com>; Zach Carroll

<zcarroll@pullman-services.com>

Subject: Peabody Columns - 75% Drawing Set and Scope Document

Hi Jim, John, and Zach,

Please find the attached scoping document and our 75% complete "For Budgetary Pricing" drawing set. Please don't hesitate to call if you have any questions.

My meeting with Ryan is today at 3pm. It would be best if we can receive your pricing information between 12-2pm if possible. See the yellow highlighted cells in the attached excel document for the pricing information requested for Pullman, which I've updated from our meeting on Friday.

Kind Regards,

# Sarah V. Rush, P.E.

Senior Associate

#### Wiss, Janney, Elstner Associates, Inc.

Engineers | Architects | Materials Scientists 30700 Telegraph Rd. Suite 3580, Bingham Farms, MI 48025 tel 248.594.0153 | mobile 248.508.1544 | fax 248.593.8532 www.wje.com\_srush@wje.com

The information contained in this transmission and any attachments are for the sole use of the intended recipient(s) and may be confidential, privileged, copyrighted or may constitute intellectual property. Any unauthorized review, use, disclosure or distribution of this transmission and any attachments is strictly prohibited. If you have received this transmission in error, please contact the sender and destroy all paper and/or electronic copies of this transmission.

The information contained in this transmission and any attachments are for the sole use of the intended recipient(s) and may be confidential, privileged, copyrighted or may constitute intellectual property. Any unauthorized review, use, disclosure or distribution of this transmission and any attachments is strictly prohibited. If you have received this transmission in error, please contact the sender and destroy all paper and/or electronic copies of this transmission.

#### 3 attachments

[Quoted text hidden]



2022-04-04\_PeabodyColumn-Scope\_MEMO.pdf



2022-04-04\_PeabodyColumns\_75%Set.pdf 1146K



Cost-Impacts\_WJE-Estimate.xlsx 12K

Rush, Sarah <srush@wje.com> To: Ryan Weingartz <rweingartz@bhamgov.org>

Mon, Apr 4, 2022 at 3:25 PM



Wiss, Janney, Elstner Associates, Inc. 30700 Telegraph Road, Suite 3580 Bingham Farms, Michigan 48025 248.593.0900 tel www.wje.com

March 24, 2022

Ryan Weingartz
Parking Systems Manager
City of Birmingham
151 Martin Street
Birmingham, MI 48009

Emergency Column Shoring and Repairs WJE No. 2019.6318.3

#### Dear Ryan Weingartz:

As requested, Wiss, Janney, Elstner Associates, Inc. (WJE) has prepared this proposal to outline emergency column shoring and repair work at the Peabody Street Parking Structure in Detroit, Michigan. This letter summarizes are understanding of the project objectives, outlines our recommended scope of services, and provides our terms and conditions to perform our services.

#### **BACKGROUND**

WJE performed a condition assessment of the parking structure in early 2021. As part of this assessment, we identified two columns on the Lower Level of the parking structure that were identified for further investigation due to the extent of cracking near the beam-column intersection. These two columns are located at Column Lines 10-A (10A) and 11-A (11A) on the southwest end of the garage. The further investigation work was performed as part of the base bid scope of work during the ongoing 2021-2022 construction repair projects at the Peabody, Chester, and Park Street garages. The base bid scope included shoring the Level 1 beams framing into the subject columns, removal of the brick masonry cladding on the exterior surfaces of the columns, and a \$20,000 base bid allowance for concrete repair work.

Based on the exposed, previously concealed conditions, WJE determined that the structural capacity of the two columns (Columns 10A and 11A) have been significantly reduced and recommended immediate shoring and repairs for the two columns. WJE also recommended additional investigation efforts be performed at other locations of the garage, which have since been completed. As a result of the additional investigation locations, and although the exposed conditions do not represent an imminently hazardous structural concern, concrete repairs at Column 13E supporting Level 6 are recommended directly following the repairs at Columns 10A and 11A due to the shoring materials that will be onsite.

For more information, please refer to the current project Construction Documents, Site Visit Reports No. 7 and No. 8, and our original condition assessment report dated April 30, 2021.



#### SCOPE OF SERVICES

Based on the known conditions at the site thus far, and as outlined in Site Visit Report No. 7 and No.8, WJE proposes the following scope of services to address the deteriorated and distressed columns – Column 10A, 11A, and 13E:

- 1. Shoring (In Progress, 90% Complete). Coordinate emergency shoring at Columns 10A and 11A. This includes coordination with Pullman SST, the contractor on the project, and their shoring supplier and designer, Sunbelt Rentals, as well as review of the shoring shop drawings (inclusive of re-submissions) and review of the shoring assembly, once installed.
- 2. Additional Investigation Locations (Completed). Identify and review beam-column intersections at other locations within the garage to determine if similar distress is present, and issuance of a site visit report to document our findings and recommendations.
- 3. Structural Analysis and Repair Design Development (In Progress, 75% Complete). Develop conceptual approach and detailing for the durable repair of the columns. This includes the necessary structural analysis, repair detail development, and general notes and material specifications. This item also considers the evaluation of the existing conflicting stair tower, fire suppression lines, and utilities in the region of the repair.
- 4. *Bidding Assistance (In Progress)*. Coordinate change order requests from Pullman SST to perform the work, including the review and comment on the received quote.
- 5. Construction Period Services. For the purposes of this proposal, we anticipate performing 6 site visits during and following the repairs to verify the work is completed in accordance with the intent of the repair details. Each site visit will be documented in a written site visit report. We will also review relevant material and product data submittals as needed.

#### **TERMS AND CONDITIONS**

WJE will perform the above Scope of Services for a fixed fee of \$47,000 inclusive of related expenses. All of WJE's work will be performed in accordance with the previously agreed upon Terms and Conditions.

#### **CLOSING**

Thank you for the continued opportunity to assist with the repair and restoration of the City of Birmingham parking structures.

Sincerely,

WISS, JANNEY, ELSTNER ASSOCIATES, INC.

Sarah V. Rush

Senior Associate and Project Manager

# **PROPOSAL**

#4282

**Date:** April 5, 2022

*To:* City of Birmingham

**Attention:** Ryan Weingartz

*Email:* rweingartz@bhamgov.org

**Location:** Peabody Garage

**Project:** Rework Low Point Drain

From: Garrett Crook, Jr.

We propose to provide all engineering, fabrication, labor, materials, equipment and facilities required to rework the piping interfering with the structural concrete reinforcing,

# For the NOT TO EXCEED sum of:

Three Thousand Dollars

\$3,000.00

Our proposal **does not** include the following items:

- -Permits
- -Overtime labor

We appreciate this opportunity to quote and would be happy to answer any questions regarding our proposal.

# AGREEMENT FOR EMERGENCY PEABODY STREET SHORING AND ADDITONAL COLUMN INVESTIGATION

THIS AGREEMENT is entered into this	day of	, 2022, by	and between
the CITY OF BIRMINGHAM, whose address	is 151 Martin	Street, Birmingha	m, MI 48009
(hereinafter referred to as the City) and PULLN	MAN SST., INC.	a Michigan, whose	address is 280
West Jefferson Avenue, Trenton, MI 48183 (here	after referred to	as Contractor) and	the foregoing
shall collectively be referred to as the parties.		,	3 0

**WHEREAS**, the City requires to have emergency shoring and additional column investigation to the Peabody Street Parking Structure; and

**WHEREAS**, Contractor has qualifications that meet the project requirements and has provided a response and cost proposal to perform the needed emergency repairs.

**NOW, THEREFORE,** in consideration of the foregoing preambles, the adequacy of which is acknowledged by and between the parties to this Agreement, the parties agree as follows:

- 1. MUTUALLY AGREE: It is mutually agreed by and between the parties that the City's Request for Proposal and Scope of Work dated February 28, 2022 shall be fully incorporated herein by reference and shall become a part of this Agreement, and shall be binding upon both parties hereto mutually agree that the cost for emergency shoring known as change order 5 shall not exceed \$71,150 (attached hereto as Attachment "A"). It is mutually agreed by and between the parties that the City's Request for Proposal and Scope of Work dated March 3, 2022 shall be fully incorporated herein by reference and shall become a part of this Agreement, and shall be binding upon both parties hereto mutually agree that the cost for additional column investigation known as change order 6 shall not exceed \$11,750 (attached hereto as Attachment "B"). It is mutually agreed by and between the parties that the City's Request for Proposal and Scope of Work dated March 31, 2022 shall be fully incorporated herein by reference and shall become a part of this Agreement, and shall be binding upon both parties hereto mutually agree that the cost for additional column investigation known as change order 7 shall not exceed \$12,000 (attached hereto as Attachment "C"). It is mutually agreed by and between the parties that the City's Request for Proposal and Scope of Work email dated April 4, 2022 that column repairs will not exceed \$90,000 \$ (attached hereto as Attachment "D").
- **2. TERM:** This Agreement shall commence immediately as it is urgent, and when all necessary work is complete to the city satisfaction or at any time without cause by city after 30-day notice is required. In the event of termination, the Contractor shall receive compensation for

services to the date the termination takes effect and the City shall be entitled to retain and use the results of all goods and services prepared by the Contractor through such date.

- **3. TERMS OF PAYMENT:** The Contractor will invoice monthly for all labor supplied and work completed. In no event shall invoices be submitted more than 45 days after completion of services. Submitted invoices shall include the following detailed information: the type of work performed, the time spent on the work, the individual who performed the work and the per hour billing rate charged. The City may, at its sole discretion demand review and the right to request at any time further detailed accounting information for any or all bills. The right to inspection of any bill and invoice shall never be at any cost or billings to the City, nor shall preparation of said invoices be billed to the City or against the general retainer. Payment terms will be net 30 days unless otherwise specified by the City.
- **4.** Contractor shall employ personnel of good moral character and fitness in performing all services under this Agreement.
- 5. **INSURANCE SUBMISSION REQUIREMENTS:** The Contractor has submitted proof to the City that it meets all City insurance requirements. Insurance, with coverage amounts at no less than the City's minimum requirements, must be held by the Contractor throughout the term of this Agreement. Certificates of insurance as stated below will be required no later than five (5) business days from the date of Contractor's acceptance of the terms of this Agreement.
- 6. CONFIDENTIAL AND OR PROPRIETARY INFORMATION: The Contractor acknowledges that in performing services pursuant to this Agreement, certain confidential and/or proprietary information (including, but not limited to, internal organization, methodology, personnel and financial information, etc.) may become involved. The Contractor recognizes that unauthorized exposure of such confidential or proprietary information could irreparably damage the City. Therefore, the Contractor agrees to use reasonable care to safeguard the confidential and proprietary information and to prevent the unauthorized use or disclosure thereof. The Contractor shall inform its employees of the confidential or proprietary nature of such information and shall limit access thereto to employees rendering services pursuant to this Agreement. The Contractor further agrees to use such confidential or proprietary information only for the purpose of performing services pursuant to this Agreement.
- 7. INDEPENDENT CONTRACTOR: The Contractor the City agree that the Contractor is acting as an independent contractor with respect to the Contractor role in providing services to the City pursuant to this Agreement, and as such, shall be liable for its own actions and neither the Contractor nor its employees shall be construed as employees of the City. Nothing contained in this Agreement shall be construed to imply a joint venture or partnership and neither party, by virtue of this Agreement, shall have any right, power or authority to act or create any obligation, express or implied, on behalf of the other party, except as specifically outlined herein. Neither the City nor the Contractor shall be considered or construed to be the agent of the other, nor shall either have the right to bind the other in any manner whatsoever, except as specifically provided in this Agreement, and this Agreement shall not be construed as a contract of agency.

The Contractor shall not be considered entitled or eligible to participate in any benefits or privileges given or extended by the City, or be deemed an employee of the City for purposes of federal or state withholding taxes, FICA taxes, unemployment, workers' compensation or any other employer contributions on behalf of the City.

- 8. COMPLIANCE WITH LAWS: Contractor agrees to fully and faithfully carry out the duties of set forth herein using its best efforts in accomplishing all assignments from the City, and further, in addition to upholding all federal, and state laws and applicable codes of professional conduct to which Contractor is subject, Contractor hereby agrees to be bound by all Federal, State, or City of Birmingham ordinances, rules, regulations and policies as are amended from time to time, and including without limitation the Fair Labor Standards Act, the Equal Employment Opportunity rules and regulations, the Transportation Safety Act and the Occupational Safety and Health Acts.
- **9. NON-COMPLIANCE WITH INSURANCE REQUIREMENTS:** Failure to deliver and maintain insurance in accordance with the terms of this Agreement will be cause for the City, by and through its City Manager, to terminate this Agreement, or at the City's option, the City may purchase on the open market such required insurance and shall be entitled to charge any additional cost to the Contractor, either by offset to any amounts due and owing Contractor for services provided to the City, or, by separate bill and demand for payment. Nothing in this paragraph shall be deemed to create or be interpreted as establishing a "for cause" termination; Contractor agrees and understands that its engagement is at will and may be terminated by the City Manager for any cause or no cause.
- any entity or person for whom the Contractor is legally liable, agrees to be responsible for any liability, defend, pay on behalf of, indemnify, and hold harmless the City of Birmingham, its elected and appointed officials, employees and volunteers and others working on their behalf against any and all claims, demands, suits, or loss, including all costs and reasonable attorney fees connected therewith, and for any damages which may be asserted, claimed or recovered against or from the City, its elected and appointed officials, employees, volunteers or others working on their behalf, by reason of personal injury, including bodily injury and death and/or property damage, including loss of use thereof, which arise out of the acts, errors or omissions of the Contractor including its employees and agents, in the performance of this Agreement. Such responsibility shall not be construed as liability for damage caused by or resulting from the sole act or omission of its elected or appointed officials, employees, volunteers or others working on behalf of the City.

# 11. STANDARD INSURANCE REQUIREMENTS:

The Contractor shall maintain during the life of this Agreement the applicable types of insurance coverage and minimum limits as set forth below:

# A. Workers' Compensation Insurance:

<u>For Non-Sole Proprietorships</u>: Contractor shall procure and maintain during the life of this Agreement, Workers' Compensation

Insurance, including Employers Liability Coverage, in accordance with all applicable statutes of the State of Michigan.

<u>For Sole Proprietorships</u>: Contractor shall complete and furnish to the City prior to the commencement of work under this Agreement a signed and notarized Sole Proprietor Form, for sole proprietors with no employees or with employees, as the case may be.

- B. <u>Commercial General Liability Insurance</u>: Contractor shall procure and maintain during the life of this Agreement, Commercial General Liability Insurance on an "Occurrence Basis" with limits of liability not less than \$1,000,000 per occurrence combined single limit, Personal Injury, Bodily Injury and Property Damage. Coverage shall include the following extensions: (A) Contractual Liability; (B) Products and Completed Operations; (C) Independent Contractor Coverage; (D) Broad Form General Liability Extensions or equivalent; (E) Deletion of all Explosion, Collapse and Underground (XCU) Exclusions, if applicable.
- C. \*Motor Vehicle Liability: Contractor shall procure and maintain during the life of this Agreement Motor Vehicle Liability Insurance, including all applicable no-fault coverages, with limits of liability of not less than \$1,000,000 per occurrence combined single limit Bodily Injury and Property Damage. Coverage shall include all owned vehicles, all non-owned vehicles, and all hired vehicles.
- D. <u>\*Pollution Liability Insurance</u>: Contractor shall procure and maintain during the life of this Agreement Pollution Liability Insurance, with limits of liability of \$1,000,000, per occurrence preferred, but claims made accepted.
- E. Additional Insured: Commercial General Liability and Motor Vehicle Liability Insurance, as described above, shall include an endorsement stating the following Additional Insureds: The City of Birmingham, including all elected and appointed officials, all employee and volunteers, all boards, commissions and/or authorities and board members, including employees and volunteers thereof. This coverage shall be primary to any other coverage that may be available to the additional insured, whether any other available coverage by primary, contributing or excess.
- F. <u>Professional Liability</u>: If applicable, professional liability insurance with limits of not less than \$2,000,000 per claim if Contractor) will provide services that are customarily subject to this type of coverage.

- G. <u>Coverage Expiration</u>: If any of the above coverages expire during the term of this Agreement, Contractor shall deliver renewal certificates and/or policies to the City at least (10) days prior to the expiration date.
- H. <u>Proof of Insurance Coverage</u>: Contractor shall provide the City of Birmingham at the time the Agreement is returned for execution, Certificates of Insurance and/or policies, acceptable to the City of Birmingham, as listed below.
  - 1) Two (2) copies of Certificate of Insurance for Workers' Compensation Insurance, or a signed and notarized copy of the Sole Proprietor Form;
  - 2) Two (2) copies of Certificate of Insurance for Commercial General Liability Insurance;
  - Two (2) copies of Certificate of Insurance for Vehicle Liability Insurance;
  - 4) Two (2) copies of Certificate of Insurance for Professional Liability Insurance, if applicable;
  - 5) If so requested, Certified Copies of all policies mentioned above will be furnished.
- I. <u>Maintaining Insurance</u>: Upon failure of the Contractor to obtain or maintain such insurance coverage for the term of the Agreement, the City of Birmingham may, at its option, purchase such coverage and subtract the cost of obtaining such coverage from the Agreement amount. In obtaining such coverage, the City of Birmingham shall have no obligation to procure the most cost-effective coverage but may contract with any insurer for such coverage.
- **12. WRITTEN NOTICES:** Written notices regarding this Agreement shall be addressed to the following:

City:

City of Birmingham

P.O. Box 3001

Birmingham, Michigan 48012

Attn: Ryan Weingartz, Parking Systems Manager

Contractor:

Pullman SST, Inc.

280 West Jefferson Ave. Trenton, MI 48183

(734) 282-7760

Attn: James Travnik, Project Manager

- **13. COVID:** The Contractor shall follow all of the City's COVID-19 safety protocols while on City property. Additionally, Contractor's staff which will be in physical contact with city staff must have current vaccinations against COVID-19. The City, at its discretion, may ask for proof of vaccination of Contractor's staff. Failure to provide proof of vaccination when requested will cause the City to request un-vaccinated personnel to leave, request alternate staff, and if the Contractor is unable to comply, this violation of safety protocols will constitute a breach of contract by the Contractor.
- **14. AMENDMENTS:** No amendment, modification or supplement to this Agreement shall be binding unless it is in writing and signed by authorized representatives of the parties.
- **15. WAIVER OF BREACH:** No waiver by either party of any breach of any of the terms, covenants or conditions herein contained by the other party shall be construed as a waiver of any succeeding breach of this same or of any other term, covenant or condition.
- 16. COMPLETE AGREEMENT: The parties agree that the conditions set forth in this Agreement sets forth all terms and conditions of Contractor agreement with the City of Birmingham. This Agreement supersedes all prior agreements or understandings between the parties. There are no promises, conditions or understandings other than those stated herein, and, that any prior negotiations, terms or conditions discussed between the City and the Contractor shall not constitute a part of this Agreement. The term "agreement" as used in this clause shall include any future written amendments, modifications, or supplements made in accordance herewith.
- 17. DIRECT OR INDIRECT INTEREST: If, after the effective date of this Agreement, any official of the City, or spouse, child, parent or in-law of such official or employee shall become directly or indirectly interested in this Agreement or the affairs of the Contractor, the City shall have the right to terminate this Agreement without further liability to the Contractor if the disqualification has not been removed within thirty (30) days after the City has given the Contractor notice of the disqualifying interest. Ownership of less than one percent (1%) of the stock or other equity interest in a corporation or partnership shall not be a disqualifying interest. Employment shall be a disqualifying interest.
- **18. FAILURE TO PERFORM.** If Contractor fails to perform its obligations hereunder, the City may take any and all remedial actions provided by the general specifications or otherwise permitted by law.
- 19. **LEGAL PROCEEDINGS:** Any controversy or claim arising out of or relating to this Agreement, or the breach thereof, shall be settled either by commencement of a suit in Oakland County Circuit Court, the 48<sup>th</sup> District Court or by arbitration. If both parties elect to have the dispute resolved by arbitration, it shall be settled pursuant to Chapter 50 of the Revised Judicature Act for the State of Michigan and administered by the American Arbitration Association with one arbitrator being used, or three arbitrators in the event any party's claim exceeds \$1,000,000. Each party shall bear its own costs and expenses and an equal share of the arbitrator's and administrative fees of arbitration. Such arbitration shall qualify as statutory arbitration pursuant to MCL §600.5001 et seq., and the Oakland County Circuit Court or any court having jurisdiction

shall render judgment upon the award of the arbitrator made pursuant to this Agreement. The laws of the State of Michigan shall govern this Agreement, and the arbitration shall take place in Oakland County, Michigan. In the event that the parties elect not to have the matter in dispute arbitrated, any dispute between the parties may be resolved by the filing of a suit in a federal or state court with jurisdiction over Oakland County, Michigan.

- **21. RESPONSE FOR EMERGENCY:** The Contractor shall be held to and bound by all terms, conditions, warranties and representations which it made in its written response dated February 28, 2022 and March 3, 2022, and attached hereto as Attachment "A" and Attachment "B".
- **22. FAIR PROCUREMENT OPPORTUNITY:** Procurement for the City of Birmingham will be handled in a manner providing fair opportunity for all businesses. This will be accomplished without abrogation or sacrifice of quality and as determined to be in the best interest of the City of Birmingham.

**IN WITNESS WHEREOF,** the parties hereto agree to be bound by the above terms and conditions, and Contractor, by its authorized signature below, expressly accepts this Agreement upon the above provided terms and conditions contained in this Agreement as of the date first above written.

STATE OF MICHIGAN

STATE OF MICHIGAN

SS:

COUNTY OF OAKLAND

On this day of form the personally appeared to the county on behalf of the county of the county of the county on behalf of the county of the county on behalf of the county of the county on behalf of the county of the cou

do so he/she signed this Agreement. TANJA BEGEMAN NOTARY PUBLIC, STATE OF MI COUNTY OF WAYNE MY COMMISSION EXPIRES Feb 27, 2027 ABTING IN COUNTY OF Was Notary Public County, Michigan aume County, Michigan My commission expires: 02 **CITY OF BIRMINGHAM:** Therese Longe, Mayor Alexandria D. Bingham, City Clerk **APPROVED:** Ryan Weingartz, Parking Manager Thomas M. Markus, City Manager (Approved as to substance) (Approved as to substance)

Mary M. Kucharek, City Attorney (Approved as to form)

Mark A. Gerber, Finance Director (Approved as to Financial Obligation)

(If applicable)

# ATTACHMENT A



Detroit Branch 280 West Jefferson Trenton, MI 48183 Phone 734-282-7760 www.pullman-services.com

February 28, 2022

City of Birmingham 151 Martin Street Birmingham, Michigan 48009

Wiss, Janney, Elstner Associates, Inc. 30700 Telegraph Road, Ste, 3580 Bingham Farms, Michigan 48025

RE:

2021 PARKING STRUCTURE REPAIR PROJECTS
PEABODY STREET -- EMERGENCY SHORING
REQUEST FOR CHANGE ORDER 05

This correspondence is related to a request by Wiss, Janney, Elstner Associates, Inc. (WJE), to provide "emergency shoring" at column lines A.10 and A.11 at the Peabody Street Parking Garage, per specifications and notes provided in their 2/22/22 shoring load detail, as well the significant distress found upon completion of their investigation (included in original base contract). This work is recommended by WJE to relieve the columns of load in order to facilitate future repairs, which shall include shoring of all levels at both columns.

As such, Pullman SST, Inc. is pleased to present the following:

#### SCOPE OF WORK: EMERGENCY SHORING INSTALLATION

- Core four (4) 4" holes in slab on grade to confirm existing base integrity and construction load requirements
- Install steel barricades with anchoring at all work areas for public safety
- Install MAT 125 shoring and spread beams at all levels at columns A.10 and A.11
  - o Includes wood timber at all wash areas associated with column A.10
- Includes equipment rental cost for one (1) twenty-eight (28)-day cycle
- Tear-down and remove all shoring
- Includes motor freight of all equipment
- Includes PE stamped Submittal for WJE review, and one set of reasonable revisions/comments.
  - Submittal shall be limited to drawings and calculations to show the capacity of temporary shoring equipment only

TOTAL LUMP SUM COST:

\$ 59,150.00

#### SCOPE OF WORK: EMERGENCY SHORING RENTAL

- Includes equipment rental cost for additional twenty-eight (28)-day rental cycle(s)
- Includes weekly site-visit of Pullman staff to inspect all shoring and barricading and provide maintenance as required

TOTAL MONTHLY COST:

\$ 12,000.00

#### **WORKING CONDITIONS**

1. Workdays / Workhours: M – F, 7:00am – 5:00pm, Saturday 7:00am to 5:00pm as required

# SUPPORT BY OTHERS (at no cost to PULLMAN SST) SHALL INCLUDE THE FOLLOWING:

- 1. Parking for service vehicles.
- 2. Storage area for equipment and materials
- 3. Restroom Facilities
- 4. Temporary heat or cold weather protection
- 5. 110V Electric
- 6. Potable Water
- 7. Testing and inspection
- 8. Hazardous material and/or abatement
- 9. Unobstructed access to work area
- 10. Inspections and/or permits

## SCHEDULE:

Work would commence immediately upon approval.

We appreciate the opportunity to work with you on this project and please contact us at 734.282.7760 (office) with any questions that you may have.

Sincerely,

Pullman SST, Inc.

James Travnik Project Manager John Schuster Division Manager

# ATTACHMENT B



Detroit Branch 280 West Jefferson Trenton, MI 48183 Phone 734-282-7760 www.pullman-services.com

March 3, 2022

City of Birmingham 151 Martin Street Birmingham, Michigan 48009

Wiss, Janney, Elstner Associates, Inc. 30700 Telegraph Road, Ste, 3580 Bingham Farms, Michigan 48025

RE:

2021 PARKING STRUCTURE REPAIR PROJECTS
PEABODY STREET – ADDITIONAL COLUMN INVESTIGATION
REQUEST FOR CHANGE ORDER 06

This correspondence is related to a request by Wiss, Janney, Elstner Associates, Inc. (WJE), to provide additional inspection services at various columns at the Peabody Street Parking Garage, per specifications and notes provided in their Site Visit Report #7, dated March 1, 2022. These column investigations shall include the removal of the brick veneer in order to expose the structural column(s) and allow WJE clear access. Once WJE has completed their assessment, the brick veneer will be replaced.

As such, Pullman SST, Inc. is pleased to present the following, inclusive of Project Management, Supervision, General Conditions and equipment:

#### SCOPE OF WORK: COLUMN INVESTIGATION

- Remove brick veneer (up to 10 SF each) at the following locations:
  - o Column 12A Level 1 beam end
  - o Column 13A Level 1 beam end
  - o Column 15A Level 1 beam end
  - Column 19A Level 2 beam end
  - o Column 13E Level 6 beam end
  - o Column 10J Level 1 beam end
- Assist WJE with access to all locations as necessary
- Replace brick veneer at above locations
- Final job-site clean-up

TOTAL LUMP	SUM COST:	

\$ 11,750.00

#### **WORKING CONDITIONS**

1. Workdays / Workhours: M – F, 7:00am – 5:00pm, Saturday 7:00am to 5:00pm as required

# SUPPORT BY OTHERS (at no cost to PULLMAN SST) SHALL INCLUDE THE FOLLOWING:

- 1. Parking for service vehicles.
- 2. Storage area for equipment and materials
- 3. Restroom Facilities
- 4. Temporary heat or cold weather protection
- 5. 110V Electric
- 6. Potable Water
- 7. Testing and inspection
- 8. Hazardous material and/or abatement
- 9. Unobstructed access to work area in alleys and city sidewalks
- 10. City of Birmingham Inspections and/or permits are not included

#### SCHEDULE:

Work would commence immediately upon approval.

We appreciate the opportunity to work with you on this project and please contact us at 734.282.7760 (office) with any questions that you may have.

Sincerely,

Pullman SST, Inc.

James Travnik Project Manager John Schuster Division Manager

# ATTACHMENT C



Detroit Branch 280 West Jefferson Trenton, MI 48183 Phone 734-282-7760 www.pullman-services.com

March 31, 2022

City of Birmingham 151 Martin Street Birmingham, Michigan 48009

Wiss, Janney, Elstner Associates, Inc., 30700 Telegraph Road, Ste, 3580 Bingham Farms, Michigan 48025

RE:

2021 PARKING STRUCTURE REPAIR PROJECTS
PEABODY STREET – ADDITIONAL COLUMN INVESTIGATION QUANTITES
REQUEST FOR CHANGE ORDER 07

This correspondence is related to a request by Wiss, Janney, Elstner Associates, Inc. (WJE), to provide additional inspection services at various columns at the Peabody Street Parking Garage, per specifications and notes provided in their Site Visit Report #7, dated March 1, 2022. These column investigations shall include the removal of the brick veneer in order to expose the structural column(s) and allow WJE clear access. Once WJE has completed their assessment, the brick veneer will be replaced.

During WJE's site visits, additional distress was noted at columns 10J, 11 and 12, which resulted in additional brick to be removed at the request of WJE. Additional brick beyond the original quantity of 60 SF was provided. In addition, Column 19A grew an additional 20 SF, and 13E added an additional 10 SF. Additional resources were incurred to better match the mortar design and brick procurement.

As such, Pullman SST, Inc. is pleased to present the following, inclusive of Project Management, Supervision, General Conditions and equipment:

#### SCOPE OF WORK: COLUMN INVESTIGATION

- Remove and replacement of brick veneer for an additional 60 SF
- Assist WJE with access to all locations as necessary
- Additional duration for rental equipment for access to 2<sup>nd</sup> floor column
- Final job-site clean-up

TOTAL LUMP SUM COST - NOT-TO-EXCEED BASIS:

\$ 12,000.00

4/4/2022

Page 2

#### **WORKING CONDITIONS**

1. Workdays / Workhours: M – F, 7:00am – 5:00pm, Saturday 7:00am to 5:00pm as required

## SUPPORT BY OTHERS (at no cost to PULLMAN SST) SHALL INCLUDE THE FOLLOWING:

- 1. Parking for service vehicles.
- 2. Storage area for equipment and materials
- 3. Restroom Facilities
- 4. Temporary heat or cold weather protection
- 5. 110V Electric
- 6. Potable Water
- 7. Testing and inspection
- 8. Hazardous material and/or abatement
- 9. Unobstructed access to work area in alleys and city sidewalks
- 10. City of Birmingham Inspections and/or permits are not included

#### **SCHEDULE:**

Work would commence immediately upon approval.

We appreciate the opportunity to work with you on this project and please contact us at 734.282.7760 (office) with any questions that you may have.

Sincerely,

Pullman SST, Inc.

James Travnik Project Manager John Schuster Division Manager

# ATTACHMENT D



# FW: Peabody Columns - 75% Drawing Set and Scope Document

2 messages

Rush, Sarah <srush@wje.com>

Mon, Apr 4, 2022 at 11:51 AM

To: Ryan Weingartz <rweingartz@bhamgov.org>

Cc: "Lewis, Matthew" <mlewis@wje.com>, "Thibodeaux, Meredith" <MThibodeaux@wje.com>

Ryan,

Please find Pullman's cost estimate for the column repairs in the email thread below, which is based on the attached in-progress repair documents. I've also attached a simple Excel document which tabulates the anticipated contractor-related costs, including the fire sprinkler line re-routing.

I look forward to our meeting this afternoon.

Kind Regards,

Sarah V. Rush, P.E. Senior Associate

Wiss, Janney, Elstner Associates, Inc.
Engineers | Architects | Materials Scientists
30700 Telegraph Rd. Suite 3580, Bingham Farms, MI 48025
tel 248.594.0153 | mobile 248.508.1544 | fax 248.593.8532
www.wje.com\_
srush@wje.com

From: Zach Carroll <zcarroll@pullman-services.com>

Sent: Monday, April 4, 2022 11:18 AM

To: Rush, Sarah <srush@wje.com>; Jim Travnik <jtravnik@pullman-services.com>; John Schuster <jschuster@pullman-services.

com>

Subject: RE: Peabody Columns - 75% Drawing Set and Scope Document

Sarah,

That's correct. The shoring cost in your spreadsheet is accurate, and would cover the duration of the base bid and alternate repairs.

Thanks!

**Zach Carroll** 

**Estimator** 



#### We Make Structures Stronger & Last Longer

280 W. Jefferson Ave.

Trenton, MI 48183

Mobile: 734-752-9266

zcarroll@pullman-services.com

www.pullman-services.com/detroit

From: Rush, Sarah <srush@wje.com> Sent: Monday, April 4, 2022 11:06 AM

To: Zach Carroll <zcarroll@pullman-services.com>; Jim Travnik <jtravnik@pullman-services.com>; John Schuster

<jschuster@pullman-services.com>

Subject: RE: Peabody Columns - 75% Drawing Set and Scope Document

Thank you, Zach! Can you please confirm your estimates assume a total of 2 months of shoring (1 month included in base installation cost and 1 add'l month of rental), which was discussed with John and Jim on Friday.

Thank you,

#### Sarah V. Rush, P.E.

Senior Associate

## Wiss, Janney, Elstner Associates, Inc.

Engineers | Architects | Materials Scientists 30700 Telegraph Rd. Suite 3580, Bingham Farms, MI 48025 tel 248.594.0153 | mobile 248.508.1544 | fax 248.593.8532 www.wje.com\_srush@wje.com

From: Zach Carroll <zcarroll@pullman-services.com>

Sent: Monday, April 4, 2022 11:01 AM

To: Rush, Sarah <srush@wje.com>; Jim Travnik <jtravnik@pullman-services.com>; John Schuster <jschuster@pullman-services.

com>

Subject: RE: Peabody Columns - 75% Drawing Set and Scope Document

Good Morning Sarah,

Based on the work scope and 75% drawings, our budgetary price for the 10A and 11A Column repairs is \$75,000.

For the add alternate at column 13E, we would be looking at a budget of \$6,000.

Let us know if you have any questions.

Thanks!

#### Zach Carroll

#### **Estimator**



#### We Make Structures Stronger & Last Longer

280 W. Jefferson Ave.

Trenton, MI 48183

Mobile: 734-752-9266

zcarroll@pullman-services.com

www.pullman-services.com/detroit

From: Rush, Sarah <srush@wje.com> Sent: Monday, April 4, 2022 8:48 AM

To: Jim Travnik <a href="mailto:jtravnik@pullman-services.com">jtravnik@pullman-services.com</a>; John Schuster <a href="mailto:jschuster@pullman-services.com">jschuster@pullman-services.com</a>; Zach Carroll

<zcarroll@pullman-services.com>

Subject: Peabody Columns - 75% Drawing Set and Scope Document

Hi Jim, John, and Zach,

Please find the attached scoping document and our 75% complete "For Budgetary Pricing" drawing set. Please don't hesitate to call if you have any questions.

My meeting with Ryan is today at 3pm. It would be best if we can receive your pricing information between 12-2pm if possible. See the yellow highlighted cells in the attached excel document for the pricing information requested for Pullman, which I've updated from our meeting on Friday.

Kind Regards,

Sarah V. Rush, P.E. Senior Associate

Wiss, Janney, Elstner Associates, Inc.

Engineers | Architects | Materials Scientists 30700 Telegraph Rd. Suite 3580, Bingham Farms, MI 48025 tel 248.594.0153 | mobile 248.508.1544 | fax 248.593.8532 www.wje.com\_ srush@wje.com

The information contained in this transmission and any attachments are for the sole use of the intended recipient(s) and may be confidential, privileged, copyrighted or may constitute intellectual property. Any unauthorized review, use, disclosure or distribution of this transmission and any attachments is strictly prohibited. If you have received this transmission in error, please contact the sender and destroy all paper and/or electronic copies of this transmission.

The information contained in this transmission and any attachments are for the sole use of the intended recipient(s) and may be confidential, privileged, copyrighted or may constitute intellectual property. Any unauthorized review, use, disclosure or distribution of this transmission and any attachments is strictly prohibited. If you have received this transmission in error, please contact the sender and destroy all paper and/or electronic copies of this transmission.

### 3 attachments

2022-04-04\_PeabodyColumn-Scope\_MEMO.pdf

2022-04-04\_PeabodyColumns\_75%Set.pdf 1146K

Cost-Impacts\_WJE-Estimate.xlsx 12K

Rush, Sarah <srush@wje.com>
To: Ryan Weingartz <rweingartz@bhamgov.org>

Mon, Apr 4, 2022 at 3:25 PM

[Quoted text hidden]



### CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY) 10/07/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

this certificate does not confer i	rights to the certificate holder in lieu of s	uch endorsement(s).				
PRODUCER		CONTACT Willis Towers Watson Certificate Center				
Willis Towers Watson Southeast,	Inc.	PHONE (A/C, No, Ext): 1-877-945-7378 (A/C, No): 1-88				
c/o 26 Century Blvd						
P.O. Box 305191		ADDRESS: certificates@willis.com				
Nashville, TN 372305191 USA		INSURER(S) AFFORDING COVERAGE	NAIC#			
		INSURER A: National Union Fire Insurance Company of P	19445			
INSURED Pullman SST, Inc.		INSURER B: XL Specialty Insurance Company 37885				
10150 Old Columbia Road		INSURER C: AIU Insurance Company	19399			
Columbia, MD 21046		INSURER D:				
		INSURER E:				
		INSURER F:				
OOMED A OFO	ACATICIOATE MILLER MANAGET	The same of the Land of the La				

COVERAGES

**CERTIFICATE NUMBER: W22437557** 

**REVISION NUMBER:** 

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE		SUBR	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP	LIMIT	S	
	COMMERCIAL GENERAL LIABILITY						EACH OCCURRENCE	\$	2,000,00
	CLAIMS-MADE X OCCUR						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$	1,000,00
A							MED EXP (Any one person)	\$	10,000
		Y		693-89-32	07/01/2021	07/01/2022	PERSONAL & ADV INJURY	\$	2,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER:						GENERAL AGGREGATE	\$	4,000,000
	POLICY X PRO-						PRODUCTS - COMP/OP AGG	\$	4,000,000
	OTHER:							\$	
	AUTOMOBILE LIABILITY						COMBINED SINGLE LIMIT (Ea accident)	\$	2,000,000
	X ANY AUTO						BODILY INJURY (Per person)	\$	
A	OWNED SCHEDULED AUTOS			286-74-23	3 07/01/2021	1 07/01/2022	BODILY INJURY (Per accident)	\$	
	X HIRED AUTOS ONLY X NON-OWNED AUTOS ONLY						PROPERTY DAMAGE (Per accident)	\$	
								\$	
В	X UMBRELLA LIAB X OCCUR						EACH OCCURRENCE	\$	10,000,000
-	EXCESS LIAB CLAIMS-MADE			US00062096LI21A	07/01/2021	07/01/2022	AGGREGATE	\$	10,000,000
	DED X RETENTION \$ 10,000							\$	
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY						★ PER STATUTE OTH-ER		
c	ANYPROPRIETOR/PARTNER/EXECUTIVE	N/A	WC 063-72-4479	VIO 060 70 4470		07 /01 /0000	E.L. EACH ACCIDENT	\$	1,000,000
	(Mandatory In NH)	N/A		WC 063-72-	WC 063-72-4479	07/01/2021	07/01/2022	E.L. DISEASE - EA EMPLOYEE	\$
	If yes, describe under DESCRIPTION OF OPERATIONS below						E.L. DISEASE - POLICY LIMIT	\$	1,000,000
							v.		

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

COI # : IC-0505443

Proposal / Job # 612519

Birmingham Park, Peabody, and Chester Parking Structure

When required by written contract, The City of Birmingham, including all elected and appointed officials, all employee and volunteers, all boards, commissions and/or authorities and board members, including employees and volunteers

CERTIFICATE HOLDER	CANCELLATION
×	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
City of Birmingham MI	AUTHORIZED REPRESENTATIVE
151 Martin Street	arlyn meunhar
Birmingham, MI 48009	word manner

© 1988-2016 ACORD CORPORATION. All rights reserved.

AGENCY CUSTOMER ID:	
1.00 #.	



# **ADDITIONAL REMARKS SCHEDULE**

Page 2 of 2

AGENCY Willis Towers Watson Southeast, Inc.		NAMED INSURED Pullman SST, Inc. 10150 Old Columbia Road
POLICY NUMBER		Columbia, MD 21046
See Page 1		
CARRIER	NAIC CODE	
See Page 1	See Page 1	EFFECTIVE DATE: See Page 1
ADDITIONAL DEMARKS		•

See Page 1	See Page 1 EFFECTIVE DATE: See Page 1
ADDITIONAL REMARKS	
THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACC	ORD FORM,
FORM NUMBER: 25 FORM TITLE: Certificate of	f Liability Insurance
thereof are included as Additional Insureds with	n respect to General Liability.
When required by written contract, the General L	Liability insurance is primary and non-contributory with other General
Liability insurance maintained by the Additional	

ACORD 101 (2008/01)

SR ID: 21686587

BATCH: 2264500

CERT: W22437557



Treasurer's Office

DATE:

4/11/2022

TO:

Thomas M. Markus, City Manager

FROM:

**Jack Todd, Deputy Treasurer** 

Mark Gerber, Finance Director/Treasurer

SUBJECT:

Resolution for Confirming S.A.D. #897S and S.A.D #897W

S. Old Woodward Water & Sewer Lateral Special Assessment

### INTRODUCTION:

A public hearing on the confirmation of the special assessment roll for sewer and water lateral improvements on S. Old Woodward from Brown St. to Landon St. is being held on April 11<sup>th</sup>, 2022. The special assessment will defray the costs to the City for public improvements made to sewer and water laterals on S. Old Woodward from Brown St. to Landon St. If the City Commission confirms the roll, the property owners who proportionally benefit from these improvements will be assessed for the cost of the improvements.

Due to an increase in cost between the engineers' estimate, presented at the Hearing of Necessity, and the as submitted bid result for items associated with water and sewer lateral replacement prices, the City has revised the estimated costs associated with S.A.D. #897S and S.A.D. #897W. Attached is an updated estimate cost spreadsheet for the confirmation of the roll, and a spreadsheet that compares estimated costs presented at the Hearing of Necessity based on the engineers' estimate for the project and the updated costs based on the bid costs for the project. Project items have increased approximately 70.6% per linear foot for sewer lateral work and approximately 46.7% per linear foot for water lateral work.

Comments during the hearing of confirmation are limited to those questions or objections submitted in writing or orally specifically addressing the assessment roll pursuant to Section 94-9 of the City Code.

### **BACKGROUND:**

At the City Commission meeting held on March 14, 2022, the City Commission determined the necessity of the S. Old Woodward Water and Sewer Lateral project and a Hearing of Confirmation of the Special Assessment Roll was set for April 11<sup>th</sup>, 2022.

There are two (2) special assessment rolls being confirmed. One (1) is for the sewer improvements (SAD 897S), and one is for the water improvements (SAD 897W). These rolls are being separated because they will be defraying the costs of two (2) public improvements and from two (2) separate funds. Our accounting system requires separate accounts.

### **LEGAL REVIEW:**

The purpose of this hearing is to review and hear any objections, either in writing or orally, to the special assessment roll. The special assessment roll is a listing of all of the properties and lots to be assessed for the public improvements to the property. Pursuant to the City Code at Sec. 94-9, whenever a special assessment roll shall be confirmed by the Commission, it should be final and conclusive.

### FISCAL IMPACT:

If confirmed, the special assessments will defray the costs to the Sewer Fund \$52,925 and to the Water Fund \$2,640. Property owners will have ten (10) years to pay the special assessment at four and one-half percent (4.5%) interest rate, billed annually.

### PUBLIC COMMUNICATIONS:

Property owners were notified by first class mail of the public hearing dates. If the City Commission confirms the special assessment rolls, the Treasurer's office will notify the property owners in the special assessment district of the confirmation and the lien on their property by first class mail.

### **SUMMARY:**

The Treasurer's office recommends that the City Commission conduct the public hearing of confirmation of special assessment districts 897S and 897W and further to confirm the rolls as attached to this memo.

### ATTACHMENTS:

- Proposed Special Assessment Rolls
- Comparison of Engineering Estimate and Bid Results
- Memorandum: Hearing of Necessity for S. Old Woodward Water and Sewer SAD
- Memorandum: Clerk's Confirmation of Public Hearing Notice: Necessity & Confirmation: Old Woodward Water & Sewer Special Assessment District
- Letter of Protest of Special Assessment from The New 555 Residential, LLC; The New 555 Commercial, LLC; and Manorwood Properties, LLC dated March 14, 2022

### SUGGESTED COMMISSION ACTION:

Make a motion adopting a resolution confirming Special Assessment Rolls 897S and 897W as follows:

**WHEREAS**, Special Assessment Roll, designated Roll No. 897S and Roll No. 897W, has heretofore been estimated by the City Engineer, and prepared for collection by the City Treasurer; and

**WHEREAS**, notice was given pursuant to Section 94-7 of the City Code, to each owner or party-in-interest of property and lots to be assessed contained in this Roll, by first class mail, and by publication in the newspaper and generally circulated in the City; and

**WHEREAS**, at said hearing held on April 11, 2022, all those property owners and/or lot owners, or their representatives have been given an opportunity to be heard for any objections to the roll and costs thereof for said special assessment roll; and,

**WHEREAS,** the Commission, after considering all objections before them, either orally or in writing, to the special assessment roll, and having made such a record, the Commission determines that it is satisfied with said special assessment roll; and

**WHEREAS,** the Commission, after hearing all objections and making a record, has deemed that such assessments are in proportion to the benefits received; and

**WHEREAS,** the Commission directs the City Manager to spread the various sums in amounts appearing thereon as prepared by the City Engineer to be placed on the special assessment roll; and

**WHEREAS,** the placement of the special assessment roll shall be on file in the City Clerk's Office; and

**WHEREAS,** the City Commission directs the City Clerk to attach his/her warrant to a certified copy of the special assessment roll within ten (10) days; and

**WHEREAS,** the City Commission commands the City Treasurer to bill and collect the special assessments to be due within sixty (60) days of billing; and

**WHEREAS,** the City Commission further directs the Treasurer to give notice by first class mail to each property owner on the special assessment roll that the roll has been confirmed on this date; and

**WHEREAS,** the Treasurer is directed to notify by first class mail each property owner or lot owner on the special assessment roll of their obligation to pay the amount assessed; and

**WHEREAS,** the Special Assessment Notice will include the amount to be paid, the time to be paid, and any interest obligated for the installment payments; and

**WHEREAS,** when the special assessment will be paid in installments, the notice shall state the due date of the first installment and the date from which interest will be charged on all future installments.

**NOW, THEREFORE, BE IT RESOLVED**, that Special Assessment Roll No. 897S and Roll No. 897W be in all things ratified and confirmed, and that the City Clerk be and is hereby instructed to endorse said roll, showing the date of confirmation thereof, and to certify said assessment roll to the City Treasurer for collection at or near the time of construction of the improvement.

**BE IT FURTHER RESOLVED**, that special assessment shall be payable in ten (10) payments as provided in Section 94-10 of the Code of the City of Birmingham, with an annual interest rate of four and one-half percent (4.5%) on all unpaid installments.

	Sewer Special Assessment SAD8975 and Water Special Assessment 897W Roll								
Sidwell	Street Address Service Type Est. length Bid Sewer \$/ft Bid Water \$/ft Bid Est Cos								
08-19-36-204-027	300 S Old Woodward	Sewer	44	145		\$ 6,380.00			
08-19-36-208-016	355 S Old Woodward	Sewer	41	145		\$ 5,945.00			
08-19-36-205-041	444 S Old Woodward	Sewer	14	145		\$ 2,030.00			
08-19-36-253-028	588 S Old Woodward	Sewer	42	145		\$ 6,090.00			
08-19-36-253-029	608 S Old woodward	Sewer	42	145		\$ 6,090.00			
08-19-36-253-034	690 S Old Woodward	Sewer	42	145		\$ 6,090.00			
08-19-36-253-025	750 S Old Woodward	Water	24		110	\$ 2,640.00			
08-19-36-253-025	750 S Old Woodward	Sewer	42	145		\$ 6,090.00			
08-19-36-278-012	808 S Old Woodward	Sewer	42	145		\$ 6,090.00			
08-19-36-279-005	950 S Old Woodward	Sewer	56	145		\$ 8,120.00			
					Sewer	\$ 52,925.00			
					Water	\$ 2,640.00			

	Comparison of Engineering Estimate and Final Bid								
Sidwell	Street Address	Service Type	Est. length	Sewer Est \$/ft	Water Est \$/ft	Eng. Est. Total Cost	Bid Sewer \$/ft	Bid Water \$/ft	Bid Est Cost
08-19-36-204-027	300 S Old Woodward	Sewer	44	\$ 85.00		\$ 3,740.00	\$145.00		\$6,380.00
08-19-36-208-016	355 S Old Woodward	Sewer	41	\$ 85,00		\$ 3,485.00	\$145.00		\$5,945.00
08-19-36-205-041	444 S Old Woodward	Sewer	14	\$ 85.00		\$ 1,190.00	\$145.00		\$2,030.00
08-19-36-253-028	588 S Old Woodward	Sewer	42	\$ 85,00		\$ 3,570.00	\$145.00		\$6,090.00
08-19-36-253-029	608 S Old woodward	Sewer	42	\$ 85,00		\$ 3,570.00	\$145.00		\$6,090.00
08-19-36-253-034	690 S Old Woodward	Sewer	42	\$ 85,00		\$ 3,570.00	\$145.00		\$6,090.00
08-19-36-253-025	750 S Old Woodward	Water	24		\$ 75,00	\$ 1,800.00		\$110.00	\$2,640.00
08-19-36-253-025	750 S Old Woodward	Sewer	42	\$ 85.00		\$ 3,570.00	\$145.00		\$6,090.00
08-19-36-278-012	808 S Old Woodward	Sewer	42	\$ 85.00		\$ 3,570.00	\$145.00		\$6,090.00
08-19-36-279-005	950 S Old Woodward	Sewer	56	\$ 85.00		\$ 4,760.00	\$145.00		\$8,120.00
								Sewer	\$52,925.00
								Water	\$2,640.00

× 2



(Engineering)

DATE:

March 9, 2022

TO:

Thomas M. Markus, City Manager

FROM:

Scott D. Zielinski, Assistant City Engineer

SUBJECT:

Hearing of Necessity for S. Old Woodward Water and Sewer SAD

### INTRODUCTION:

A number of water and sewer leads will be replaced this summer as part of the Engineering Department's planned downtown area Phase 3 reconstruction project along South Old Woodward between Brown Street and Landon Street. This project is similar to work that was completed in 2018 for Phase 1 of Old Woodward from Oakland Ave to Brown St., and in 2020 for Phase 2 work completed on Maple Rd from Southfield Road to Pierce St., and from Old Woodward Ave. to Woodward Ave where the City also replaced sewer and water leads. The City intends to replace Sewer and Water leads meeting certain "useful life" criteria in the Right-Of-Way (ROW) in an effort to protect the road improvement investment.

### BACKGROUND:

In accordance with current City policy established to protect the public investment being made when reconstructing roadways, as part of the project, we intend to replace all sewer laterals that are 50 years of age or older, as well as all water services less than 1 inch diameter. All unsuitable sewer services will be replaced with 6" schedule 40 PVC, and water services less than 1 inch in diameter will be replaced with a new 1 inch diameter service, for service lengths located underneath the new planned pavement.

In accordance with rules from the Michigan Dept. of Environmental, Great Lakes, and Energy (EGLE) requiring the complete removal of lead water services from the water main to the water meter on private property, any such water service will also be replaced as part of the project. Per EGLE, the City is not allowed to charge a property owner for costs associated with replacement of an existing lead water service.

The parcels within the project zone that are subject to the Sewer & Water Lateral Special Assessment are highlighted on the attached map. Appended to this report is a list of properties that the department plans to include in the assessment district, along with estimated construction costs to be assessed at the Hearing of Necessity.

### **LEGAL REVIEW:**

Chapter 94 — Special Assessments of the Birmingham City Code outlines the process by which a special assessment is conducted in the City of Birmingham. This project will follow the prescribed City Code procedures.

### FISCAL IMPACT:

Revenue generated from the Water and Sewer Lateral SAD for the Phase 3 Old Woodward Reconstruction project will defray the costs incurred by the City for construction of these improvements.

### PUBLIC COMMUNICATIONS:

Notice for the Confirmation of Roll is to be distributed by the Clerk's Office. The Engineering Department has sent all property owners a letter explaining the associated work. The design team held an informational meeting regarding the project on Monday, February 21, 2022 from 5:30-7:00 p.m. at City Hall in the Commission Room (a zoom link was also provided on the City website for remote viewing). The team discussed the project overview, traffic access during construction, Birmingham Shopping District initiatives during construction, and special assessments related to the project. A recording of this meeting is available on the city's website at <a href="https://www.bhamqov.org/oldwoodwardphase3">www.bhamqov.org/oldwoodwardphase3</a>.

### SUMMARY:

The Engineering Department recommends that the commission declare necessity and approve a Special Assessment District for the replacement of Water and Sewer leads as part of the Phase 3 South Old Woodward Reconstruction. Should the Commission form the Special Assessment District, a Public Hearing for Confirmation of the Roll should be set on April 11, 2022.

### **ATTACHMENTS:**

Map of proposed Special Assessment District

Spread Sheet with Estimated Costs of Services

Clerk's Confirmation of Public Hearing Notice

### SUGGESTED COMMISSION ACTION:

Make a motion adopting a resolution declaring necessity and approving a Special Assessment District with special assessments levied in accordance with benefits against the properties within such assessment district. The special assessment district shall include all properties within the following district of **10** parcels (listed below), and the City Commission will meet on Monday, April 11, 2022 at 7:30 P.M. for the purpose of conducting the Public Hearing to Confirm the Assessment Roll for the water and sewer lateral replacements for properties within the project area on South Old Woodward Avenue, between Brown Street and Landon Street.

Parcel ID	Street Address
1936204027	300 S Old Woodward
1936208016	355 S Old Woodward

1936205041	444 S Old Woodward
1936210001	555 S Old Woodward (N building)
1936210001	555 S Old Woodward (S Building)
1936253028	588 S Old Woodward
1936253029	608 S Old Woodward
1936253034	690 S Old Woodward
1936253025	750 S Old Woodward
1936278012	808 S Old Woodward
1936279005	950 S Old Woodward

# Property ID's and Estimated Costs

Parcel ID	Street Address	Service For SAD	Esti	mated Cost
1936204027	300 S Old Woodward	Sewer	\$	3,740.00
1936208016	355 S Old Woodward	Sewer	\$	3,485.00
1936205041	444 S Old Woodward	Sewer	\$	1,190.00
1936210001	555 S Old Woodward (N building)	Sewer	\$	3,400.00
1936210001	555 S Old Woodward (S Building)	Sewer	\$	3,400.00
1936253028	588 S Old Woodward	Sewer	\$	3,570.00
1936253029	608 S Old Woodward	Sewer	\$	3,570.00
1936253034	690 S Old Woodward	Sewer	\$	3,570.00
1936253025	750 S Old Woodward	Water & Sewer	\$	5,370.00
1936278012	808 S Old Woodward	Sewer	\$	3,570.00
1936279005	950 S Old Woodward	Sewer	\$	4,760.00



# Legend

# Property ID's and Estimated Costs

Parcel ID	Street Address	Service For SAD	Esti	imated Cost
1936204027	300 S Old Woodward	Sewer	\$	3,740.00
1936208016	355 S Old Woodward	Sewer	\$	3,485.00
1936205041	444 S Old Woodward	Sewer	\$	1,190.00
1936210001	555 S Old Woodward (N building)	Sewer	\$	3,400.00
1936210001	555 S Old Woodward (S Building)	Sewer	\$	3,400.00
1936253028	588 S Old Woodward	Sewer	\$	3,570.00
1936253029	608 S Old Woodward	Sewer	\$	3,570.00
1936253034	690 S Old Woodward	Sewer	\$	3,570.00
1936253025	750 S Old Woodward	Water & Sewer	\$	5,370.00
1936278012	808 S Old Woodward	Sewer	\$	3,570.00
1936279005	950 S Old Woodward	Sewer	\$	4,760.00



Clerk's Office

DATE:

Thursday, March 10, 2022

TO:

Scott Zielinski, Assistant City Engineer

FROM:

**Christina Woods, Deputy Clerk** 

SUBJECT:

Clerk's Confirmation of Public Hearing Notice: Necessity &

**Confirmation: Old Woodward Water & Sewer Special Assessment** 

**District** 

The public hearing of necessity and confirmation notice process has been completed for the Old Woodward Water & Sewer Special Assessment District. Please see attachments for further confirmation.

Mailing Date: March 4, 2022

Publishing Dates in the Birmingham Eccentric: February 27 & March 6 2022

Also posted on www.bhamgov.org/publicnotices

### Attachments:

- 1. Public Hearing Notice
- 2. Addresses
- 3. Mailing Letter
- 4. Affidavit of publishing

7/ 2/ 2/ 2/ 2/ 2/ 2/ 2/ 2/ 2/ 2/ 2/ 2/ 2/									
NOT	NOTICE OF PUBLIC HEARINGS								
BIRM	BIRMINGHAM CITY COMMISSION								
PUBL	IC HEARING OF NECESSITY								
PUBLIC	HEARING OF CONFIRMATION								
Meeting Date, Time, Location:	HEARING OF NECESSITY FOR SPECIAL ASSESSMENT DISTRICT								
	Monday, Monday, March 14, 2022, 7:30 PM								
	Municipal Building, 151 Martin, Birmingham, MI 48009								
Meeting Date, Time, Location:	HEARING OF CONFIRMATION FOR SPECIAL								
	ASSESSMENT DISTRICT								
Î	Monday, April 11, 2022, 7:30 PM								
	Municipal Building, 151 Martin, Birmingham, MI 48009								
Project Location:	S. Old Woodward Avenue, from Brown St. to Landon St.								
Nature of Improvement:	Replacement and improvement of water and sewer leads								
ĺ	meeting the requirements for assessment, for all properties within project area								
City Staff Contact:	Scott Zielinski, Assistant City Engineer								
	szielinski@bhamgov.org, (248)530-1838								
Notice Requirements:	Mail to affected property owners								
-	Publish February 27, 2022 & March 6, 2022								
Approved minutes may be reviewed at:									

Should you have any statement regarding the above, you are invited to attend the meeting in person or virtually through ZOOM: <a href="https://zoom.us/j/655079760">https://zoom.us/j/655079760</a> Meeting ID: 655 079 760

You or your agent may appear at the hearings to express your views; however, if you fail to protest either in person or by letter received on or before the date of the hearing, you cannot appeal the amount

of the special assessment to the Michigan Tax Tribunal. Mail any correspondence to: City Clerk, P.O. Box 3001, Birmingham, MI 48012.

The property owner may file a written appeal of the special assessment with the State Tax Tribunal within 30 days after the confirmation of the special assessment roll if that special assessment was protested at the hearing held for the purpose of confirming the roll.

All special assessments, including installment payments, shall, from the date of the confirmation thereof, constitute a lien on the respective lots or parcels assessed, and until paid shall be charged against the respective owners of the lots or parcels assessed.

Persons with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk's Office at 248.530.1880 (voice) or 248.644.5115 (TDD) at least one day in advance to request mobility, visual, hearing or other assistance.

Dancel	Alaman		City	Ex-x-	71
Parcel	WOODWARD DEVELOPMENT LLC	Address	City	State	•
		15 KOCH RD	CORTE MADERA	CA	94925
	FLORENCE SHARE	333 W FORT ST FL 12TH	DETROIT	MI	48226
	GALYN ASSOCIATES LTD PTN5HP	1435 N GLENGARRY RD	BLOOMFIELD HILLS	MI	48301
1936205043		180 HIGH OAK RD	BLOOMFIELD HILLS	MI	48304
	325 S OLD WOODWARD LLC	330 HAMILTON ROW STE 300	BIRMINGHAM	MI	48009
	FULLER CENTRAL PARK PRPRTS	112 PEABODY ST	BIRMINGHAM	MI	48009
	HANA AJJOUR	411 5 OLD WOODWARD AVE # 906	BIRMINGHAM	MI	48009
1936208017	LISA M HUSSMAN	11070 RESORT RD STE 307	ELLICOTT CITY	MD	21042
1936208017	PETER SAROTTE	411 5 OLD WOODWARD AVE # 515	BIRMINGHAM	MI	48009
1936208017	WAAD INVESTMENTS LLC	4805 BANTRY DR	WEST BLOOMFIELD	MI	48322
1936208017	NIKOLE L FINE	883 EMMONS AVE	BIRMINGHAM	MI	48009
1936208017	TONI STREIT	411 S OLD WOODWARD AVE # 523	BIRMINGHAM	MI	48009
1936208017	CORCORAN STREET PROPERTIES LLC	3560 ROLAND DR	BLOOMFIELD HILLS	MI	48301
1936208017	STEVEN H MUSKOVITZ	16146 BELFORD DR	MILTON	GA	30004
1936208017	LORNA G WESTFALL	28347 CHATHAM RD	GROSSE ILE	MI	48138
1936208017	ROBERT P LEVIN	411 S OLD WOODWARD AVE # 510	BIRMINGHAM	MI	48009
1936208017	VALERIE A FOLEY	411 S OLD WOODWARD AVE # 508	BIRMINGHAM	MI	48009
1936208017	KEVIN COOPER	3847 BOULDER DR	TROY	MI	48084
1936208017	GEORGIANNA STEUDLE	1149 HILLPOINTE CIR	BLOOMFIELD HILLS	MI	48304
1936208017		411 S OLD WOODWARD AVE # 500	BIRMINGHAM	MI	48009
	STACIE JILL LEIB	411 S OLD WOODWARD AVE # 500	BIRMINGHAM	MI	48009
1.0	KAM PROPERTIES LLC	511 OLDE TOWNE RD UNIT 81515	ROCHESTER	MI	48308
	FRANCIS A ENGELHARDT		BIRMINGHAM		
	EUNICE GALPERIN REVOC TRUST	411 S OLD WOODWARD AVE # 904		MI	48009
		411 5 OLD WOODWARD AVE # 902	BIRMINGHAM	MI	48009
	DAVID A ROBINSON	28145 GREENFIELD RD STE 100	SOUTHFIELD	MI	48076
	GERALD F REINHART	390 PARK ST STE 222	BIRMINGHAM	MI	48009
	STUART D SHERR	31300 ORCHARD LAKE RD STE 200	FARMINGTON HILLS	MI	48334
	GERALD F REINHART	32700 BINGHAM LN	BINGHAM FARMS	MI	48025
1936208017		411 S OLD WOODWARD AVE # 1007	BIRMINGHAM	МІ	48009
	MARY LOU GILDERS	8600 95TH AVE	EVART	MI	49631
	CARINE VAN LANDSCHOOT	411 S OLD WOODWARD AVE # 607	BIRMINGHAM	MI	48009
1936208017	EUGENE J WITTSTOCK	411 S OLD WOODWARD AVE # 621	BIRMINGHAM	MI	48009
1936208017	GREGORY W GEIGER	628 WOODLAND ST	BIRMINGHAM	MI	48009
1936208017	DORIS A HANNA REVOC TRUST	3755 WALNUT BROOK DR	ROCHESTER HILLS	MI	48309
1936208017	RAMA K P PINNAMANENI	411 S OLD WOODWARD AVE # 622	BIRMINGHAM	MI	48009
1936208017	DAVID SZCZUPAK	28870 GIRARD TER	NAPLES	FL	34119
1936208017	TANZANITE 61 LLC	3041 HERON POINTE DR	BLOOMFIELD HILLS	MI	48302
1936208017	SHIRLEY NAKASH	PO BOX 7137	BLOOMFIELD HILLS	MI	48302
1936208017	MARIA A CHIRCO	411 S OLD WOODWARD AVE # 929	BIRMINGHAM	MI	48009
1936208017	ALANA GUN	411 5 OLD WOODWARD AVE # 931	BIRMINGHAM	MI	48009
1936208017	ESTELLE MILLER REVOC TRUST	411 S OLD WOODWARD AVE # 924	BIRMINGHAM	ME	48009
1936208017	MUNE GOWDA	411 S OLD WOODWARD AVE # 922	BIRMINGHAM	ME	48009
1936208017	BETTY BILLIG	239 N GLENHURST DR	BLOOMFIELD HILLS	МІ	48301
1936208017	EDWIN B SHAW	411 5 OLD WOODWARD AVE # 910	BIRMINGHAM	МІ	48009
1936208017	SUSAN WINSHALL REVOC TRUST	411 5 OLD WOODWARD AVE # 828	BIRMINGHAM	MI	48009
1936208017	VANGELOFF PROPERTIES LLC	411 S OLD WOODWARD AVE UNIT 718	BIRMINGHAM	MI	48009
	SAMUEL MCKNIGHT	411 S OLD WOODWARD AVE 0N11 718	BIRMINGHAM	MI	48009
	CHRISTOPOHER P AMMANN TRUST	411 S OLD WOODWARD AVE # 825	BIRMINGHAM	MI	48009
	FREDERICK C YEAGER REVOC TRUST	411 S OLD WOODWARD AVE # 1025	BIRMINGHAM	MI	48009
1936208017		411 S OLD WOODWARD AVE # 506	BIRMINGHAM	MI	48009
	SUSAN A MASCIA	411 S OLD WOODWARD AVE # 606 411 S OLD WOODWARD AVE # 706	BIRMINGHAM	MI	48009
	SILVIO COZZETTO		BIRMINGHAM		
	SHIRLEY NAKASH REVOC TRUST	411 5 OLD WOODWARD AVE # 806		MI	48009
	MTM INVESTMENTS HOLDINGS LLC	PO BOX 7137	BLOOMFIELD HILLS	MI	48302
	STEVE LINTON	325 S OLD WOODWARD AVE STE 2	BIRMINGHAM	MI	48009
		55 S MAIN ST STE 345	NAPERVILLE	IL.	60540
	9003 ASSOCIATES LLC	5480 CORPORATE DR STE 230	TROY	MI	48098
	STEVEN H MUSKOVITZ	16146 BELFORD DR	MILTON	GA	30004
	FREDERICK A FROMM	411 S OLD WOODWARD AVE # 1006	BIRMINGHAM	MI	48009
	ROBERT SLOAN	411 S OLD WOODWARD AVE # 630	BIRMINGHAM	MI	48009
	MICHEL M HANNA	2894 MEADOWOOD LN	BLOOMFIELD HILLS	MI	48302
	JEFFREY M FRATARCANGELI	558 STANLEY BLVD	BIRMINGHAM	MI	48009
1936208017	KAREN ZACK	411 S OLD WOODWARD AVE # 625	BIRMINGHAM	М	48009

1936208017	GERALD F BAKER III	411 S OLD WOODWARD AVE # 629	BIRMINGHAM	MI	48009
1936208017	OLD WOODWARD 631 LLC	39475 W 13 MILE RD STE 203	NOVI	MI	48377
1936208017	ANN ELIZABETH MILLER COHEN TRUST	411 S OLD WOODWARD AVE # 610	BIRMINGHAM	MI	48009
1936208017	7 SHANDA RUMBLE REVOC TRUST	411 S OLD WOODWARD AVE # 608	BIRMINGHAM	MI	48009
1936208017	CAROLINE DANESHVAR	411 S OLD WOODWARD AVE # 604	BIRMINGHAM	MI	48009
1936208017	DANA ABNER	121 W LONG LAKE RD STE 300	BLOOMFIELD HILLS	MI	48304
1936208017	MAX A SURNOW	320 MARTIN ST STE 100	BIRMINGHAM	MI	48009
1936208017	JASON R LUCKOFF IRR TRUST	411 S OLD WOODWARD AVE # 701	BIRMINGHAM	МІ	48009
1936208017	DEBRA JO ELSHOLZ	411 S OLD WOODWARD AVE # 703	BIRMINGHAM	MI	48009
1936208017	411 BIRMINGHAM PLACE LLC	6609 QUEEN ANNE DR	WEST BLOOMFIELD	MI	48322
1936208017	RENEE LOSSIA ACHO	3467 SUTTON PL	BLOOMFIELD HILLS	MI	48301
	LISA GROFFSKY ARONSON	1823 N HONORE ST	CHICAGO	IL	60622
1936208017	MARY NALBANDIAN	3015 BROCKMAN BLVD	ANN ARBOR	MI	48104
	- WILLIAM D KOLB LIVING TRUST	411 5 OLD WOODWARD AVE # 518	BIRMINGHAM	MI	48009
	ANDREW RUST	411 5 OLD WOODWARD AVE # 514	BIRMINGHAM	MI	48009
	CHRISTOPHER M AMBROSE	146 S WASHINGTON ST	OXFORD		
	KAREN REINHART	32700 BINGHAM LN		MI	48371
	VINAY PALLEGAR	<del>-</del>	BINGHAM FARMS	MI	48025
		411 S OLD WOODWARD AVE # 507	BIRMINGHAM	MI	48009
	SAMANTHA TULLIO	411 \$ OLD WOODWARD AVE # 1011	BIRMINGHAM	MI	48009
	GAYLE S GOODMAN	411 S OLD WOODWARD AVE # 912	BIRMINGHAM	MI	48009
	BARBARA A ZAGUROLI	411 S OLD WOODWARD AVE # 707	BIRMINGHAM	MI	48009
	ANDREW RICH	411 S OLD WOODWARD AVE # 721	BIRMINGHAM	MI	48009
	TRG BP LLC	390 PARK ST STE 222	BIRMINGHAM	MI	48009
	ERIN LEIGH MELLOTT	411 5 OLD WOODWARD AVE # 730	BIRMINGHAM	MI	48009
1936208017	MICHIGAN-MR LLC	PO BOX 2585	PALM BEACH	FL	33480
1936208017	ANVITA SINHA	10224 FOX BOROUGH DR	OAKDALE	CA	95361
1936208017	JUDY M JENNINGS	411 S OLD WOODWARD AVE # 722	BIRMINGHAM	MI	48009
1936208017	SHIRLEY VANGELOFF	6278 N FEDERAL HWY # 414	FORT LAUDERDALE	FL	33308
1936208017	CYNTHIA M VAKHARIYA	142 WESTCHESTER WAY	BIRMINGHAM	MI	48009
1936208017	WILLY CHWANG	27 ARTISAN WAY	MENLO PARK	CA	94025
1936208017	LOUIS P ROCHKIND	411 5 OLD WOODWARD AVE # 710	BIRMINGHAM	МІ	48009
1936208017	GREGORY A CARNAGO	667 E BIG BEAVER RD STE 201	TROY	MI	48083
1936208017	BRADLEY STEEL	411 S OLD WOODWARD AVE # 704	BIRMINGHAM	MI	48009
1936208017	THOMAS BEELER TRUSTEE	258 GOLDEN GATE PT # 801	SARASOTA	FL	34236
1936208017	BP SPS LLC	1829 WESTRIDGE DR	ROCHESTER HILLS	MI	48306
1936208017	MERI BARASH	500 NE 15TH AVE	FORT LAUDERDALE	FL	33301
1936208017	MELVYN C STERNFELD	411 S OLD WOODWARD AVE # 802	BIRMINGHAM	MI	48009
	ALAN TUNG	411 S OLD WOODWARD AVE # 800	BIRMINGHAM	MI	48009
	801 BIRMINGHAM PLACE TRUST	25800 NORTHWESTERN HWY # 515	SOUTHFIELD	MI	48035
	EATON AND MORE MANAGEMENT LLC	2463 HERONWOOD DR	BLOOMFIELD HILLS	MI	48302
	JOSEPH LOPEZ	411 S OLD WOODWARD AVE # 905	BIRMINGHAM		48009
	PATRICK W ROBERTS	PO BOX 9037		MI	
	ALISSA CZISNY	411 S OLD WOODWARD AVE # 911	MIRAMAR BEACH	FL	32550
	WAAD INVESTMENTS LLC		BIRMINGHAM	MI	48009
		4805 BANTRY DR	WEST BLOOMFIELD	MI	48322
	ADELHEID SEIDENSTICKER	666 BALDWIN CT	BIRMINGHAM	MI	48009
	ADELHEID F SEIDENSTICKER	666 BALDWIN CT	BIRMINGHAM	MI	48009
	DANIEL J O'BRIEN TRUST	1818 ARGOSY CT	BLOOMFIELD HILLS	MI	48302
	KAREN REINHART	32700 BINGHAM LN	BINGHAM FARMS	MI	48025
	MOUSSA HANNA	411 5 OLD WOODWARD AVE # 1000	BIRMINGHAM	MI	48009
	KA L CHANG	3171 W SHORE DR	ORCHARD LAKE	MI	48324
	THE BOYLL FAMILY LIVING TRUST	411 S OLD WOODWARD AVE # 725	BIRMINGHAM	MI	48009
	CAROL BARNETT KOZLOW REVOC TRUST	411 S OLD WOODWARD AVE # 729	BIRMINGHAM	MI	48009
	THOMAS HARDY	411 S OLD WOODWARD AVE # 829	BIRMINGHAM	MI	48009
	DJF LAM GROUP LLC	3803 KAELEAF RD	LAKE ORION	MI	48360
1936208017	DORIS HANNA	3755 WALNUT BROOK DR	ROCHESTER HILLS	MŁ	48309
	411 S OLD WOODWARD LLC	3467 SUTTON PL	BLOOMFIELD HILLS	ML	48301
1936208017	SUSAN M SOSNICK REVOC TRUST	300 SEMINOLE AVE APT 68 II LUGANO CONDO	PALM BEACH	FL	33480
1936208017	TERRY MANN .	411 5 OLD WOODWARD AVE # 813	BIRMINGHAM	MI	48009
1936208017	EVELYN CHAN REVOCABLE TRUST	5234 BREEZE HILL PL	TROY	М	48098
1936208017	EMILY KAY BELCHER	411 S OLD WOODWARD AVE # 817	BIRMINGHAM	MI	48009
1936208017	GREGORY L HARVEY	411 5 OLD WOODWARD AVE # 821	BIRMINGHAM	MI	48009
1936208017	RICK LEE HAMILTON	411 S OLD WOODWARD AVE # 823	BIRMINGHAM	MI	48009
1936208017	ISAAC INVESTMENT COMPANY LLC	5295 MIDDLEBELT RD	WEST BLOOMFIELD	MI	48323
				,	

1936208017	KENNETH M KOROTKIN	411 S OLD WOODWARD AVE # 822	BIRMINGHAM	MI	48009
1936208017	JEFF ROBERTS	411 S OLD WOODWARD AVE # 818	BIRMINGHAM	MI	48009
1936208017	MARIA N CLEMENTE	411 S OLD WOODWARD AVE # 705	BIRMINGHAM	MI	48009
1936208017	CARLOS MAIDAGAN	3098 RESEARCH DR	ROCHESTER HILLS	MI	48309
1936208017	BIRMINGHAM PLACE REALTY LLC	411 S OLD WOODWARD AVE # 1024	BIRMINGHAM	MI	48009
1936208017	PONNAPPA PANDIKUTHIRA	4215 TOPAZ CT NW	CEDAR RAPIDS	IA	52405
1936208017	CAROL J MITRI	411 S OLD WOODWARD AVE # 1018	BIRMINGHAM	MI	48009
1936208017	JOSEPH W WRONSKI	411 S OLD WOODWARD AVE # 1014	BIRMINGHAM	MI	48009
1936208017	CATHERINE M BROZEK REAL ESTATE TRUST	411 5 OLD WOODWARD AVE # 1012	BIRMINGHAM	MI	48009
1936208017	VANDAD RAOFI	411 5 OLD WOODWARD AVE # 1010	BIRMINGHAM	MI	48009
1936208017	NEDA MIRAFZALI	310 CORRIE RD	ANN ARBOR	MI	48105
1936208017	JULIE A WOLFE	411 S OLD WOODWARD AVE # 1021	BIRMINGHAM	MI	48009
1936208017	BRENDA KNIGHT	11426 N JUSTIN DR	MEQUON	WI	53092
1936208017	ALICE K LEZOTTE TRUSTEE	411 5 OLD WOODWARD AVE # 511	BIRMINGHAM	MI	48009
1936208017	ALEXANDER PFAU	411 5 OLD WOODWARD AVE # 611	BIRMINGHAM	MI	48009
1936208017	JANIS E STERLING REVOC TRUST	4212 WOODLANE CT	WESTLAKE VILLAGE	CA	91362
1936208017	NISREEN K MURAD	411 S OLD WOODWARD AVE # 715	BIRMINGHAM	MI	48009
1936208017	BAVAND HAMIDI	31 LARKMEAD	ALISO VIEJO	CA	92656
1936208017	MICHAEL FREZZA	411 S OLD WOODWARD AVE # 812	BIRMINGHAM	MI	48009
1936208017	LEE STEINBERG	411 S OLD WOODWARD AVE # 810	BIRMINGHAM	MI	48009
1936208017	JORDAN BRODER	411 S OLD WOODWARD AVE # 808	BIRMINGHAM	MI	48009
1936208017	JOHN W HOEFFLER REVOC TRUST	411 S OLD WOODWARD AVE # 804	BIRMINGHAM	MI	48009
1936208017	CYNTHIA K NEAL	24100 SORREL CT	BEAR VALLEY SPRINGS	CA	93561
1936208017	JOLIE GOLDBERG	411 S OLD WOODWARD AVE # 901	BIRMINGHAM	MI	48009
1936208207	BIRMINGHAM TOWER PARTNERS LLC	251 E MERRILL ST STE 205	BIRMINGHAM	MI	48009
1936210003	ASSOCIATES OF 555 LTD PARTNERSHIP	555 S OLD WOODWARD AVE	BIRMINGHAM	MI	48009
1936210005	MANORWOOD PROPERTIES LLC	555 S OLD WOODWARD AVE STE 705	BIRMINGHAM	MI	48009
1936253025	GRC ASSETS LLC	750 S OLD WOODWARD AVE	BIRMINGHAM	MI	48009
1936253026	WOODWARD & GEORGE LLC	784 S OLD WOODWARD AVE	BIRMINGHAM	MI	48009
1936253028	EID PROPERTIES LLC	588 S OLD WOODWARD AVE	BIRMINGHAM	MI	48009
1936253029	BITONTI REAL ESTATE LLC	709 ANN ST	BIRMINGHAM	MI	48009
1936253030	ICG REAL ESTATE COMPANY LLC	500 S OLD WOODWARD AVE	BIRMINGHAM	MI	48009
1936253034	690 S OLD WOODWARD LLC	112 PEABODY ST	BIRMINGHAM	MI	48009
1936253035	HORMOZ ALIZADEH LLC	1416 INWOODS CIR	BLOOMFIELD HILLS	MI	48302
1936278012	GLOBAL REAL ESTATE INVESTMENTS LLC	808 S OLD WOODWARD AVE	BIRMINGHAM	MI	48009
1936278013	WOODWARD VIEW LLC	251 E MERRILL ST FL 2ND	BIRMINGHAM	MI	48009
1936278014	WOODWARD VIEW LLC	251 E MERRILL ST FL 2ND	BIRMINGHAM	MI	48009
1936278017	BEIER FAMILY REAL ESTATE	43223 W 12 MILE RD	NOVI	MI	48377
1936278018	PERIMETER PROPERTIES LLC	112 PEABODY ST	BIRMINGHAM	MI	48009

«Name» «Address» «City», «State» «Zip»

February 22, 2022

TO: Property Owners

RE: S. Old Woodward Phase 3 Paving Project

Water & Sewer Lateral Replacement and Street Scape Assessments

Phase three of the City of Birmingham's downtown infrastructure improvements will take place during the 2022 construction season. Significant work will occur on South Old Woodward between Brown and Landon. Upgrades to the sidewalk streetscape along with the water and sewer system, and complete street pavement replacement are planned.

With this letter you are receiving **two (2)** notifications of public hearings (Hearing of Necessity) scheduled to occur on **Monday, March 14, 2022** at the regularly scheduled City Commission meeting at 7:30 p.m. The first is to consider a Special Assessment District (SAD) for sidewalk and streetscape upgrades. The second is to consider an SAD for replacing certain water and sewer laterals to individual properties within the project area. All property owners in the project area will be assessed for sidewalk and streetscape upgrades. Some, but not all, will be assessed for water and sewer laterals. The following information will help clarify what is being assessed for each SAD.

For the **first** SAD for sidewalks and streetscape, as with previous projects of this nature, it has been the City's policy to assess 75% of the streetscape improvements to the properties that share frontage with the improvements. Improvement items include:

- All new concrete and exposed aggregate sidewalks from the building face to the back of curbs.
- Removal and replacement of all street trees, including excavation and replacement with approximately 1,000 cu.ft. of specially formulated soil designed to encourage tree growth.
- Enlarged, raised planter beds around each new street tree, framed by a 6 inch high exposed aggregate curb, with irrigation, and professionally designed landscaping.
- Granite seating areas where space permits.
- Installation of underground electrical system to provide new lighting opportunities for trees along the sidewalk and in the proposed median.

The cost per property will be assessed as an average cost per linear foot of frontage for the improvements. The properties with multiple owners will share the cost of the frontage, and the amount will be based on the square footage of building area owned. The City will bill one-tenth of the assessment (as would be done on

other special assessment districts) plus approximately 5% interest annually on the remaining balance, to make the cost more manageable for the property owners. The City plans to provide an estimate of costs associated with this SAD at the March 14<sup>th</sup> Hearing of Necessity.

The **second** SAD is for water and sewer laterals. As previously stated, some but not all property owners in the project area will be assessed for water and sewer laterals. Since water and sewer services only benefit one property, they are not considered a part of the City's public system. Therefore, the maintenance and repair of the services from the building to the connection at the public main is the responsibility of each individual property owner. City policy dictates that these replacements are completed at the property owner's expense. Only those who qualify as outlined below will have their sewer and/or water service replaced and receive an assessment.

The City's policy outlined in section 114-30 of the city code is to replace any water service that is less than 1 inch in diameter, and outlined in section 114-171 of the city code is to replace any sewer service that is 50 or more years old, in poor condition, or is made of materials that do not meet city standards (e.g. "Orangeburg" pipe). Replacement during a road construction project protects the City's investment in the road by reducing the chance of failure by a lateral within the right-of-way area.

The actual cost of replacing the section of the water and/or sewer lateral charged to you will vary depending on the actual location of the City mains, and any other obstacles, such as trees, that are in the way. Property owners are only charged for the actual length of service replaced if their service qualifies for assessment as described above.

After the work is completed, an invoice will be generated and sent to the property owner of record for the length of service(s) replaced. Payment in full will be expected within 30 days of receipt. As with the first assessment, if you are not in a position to pay off the charge in one payment, it can be broken into as many as 10 annual payments. An annual interest charge on the remaining balance, currently about 5%, will apply. It is anticipated that property owners will see a total charge of \$1,600 to \$5,000 for water and/or sewer lateral work related to this project. Official estimates will be provided at the Hearing for Necessity.

If you have any questions or concerns, please contact the Engineering Office at (248) 530-1850. You have the opportunity to speak directly to the City Commission at the Public Hearing of Necessity that will be held on March 14, 2022.

Residents and businesses are encouraged to sign up for the South Old Woodward Reconstruction Phase 3 Constant Contact group at <a href="https://doi.org/oldwoodwardphase3">bit.ly/bhamnews</a> to receive updates throughout the project. Learn more about the project at <a href="https://www.bhamgov.org/oldwoodwardphase3">www.bhamgov.org/oldwoodwardphase3</a>.

Sincerely,

Scott D. Zielinski, P.E. Assistant City Engineer szielinski@bhamgov.org (248)530-1838



# MICHIGAN.COM – Serving the OBSERVER & ECCENTRIC and HOMETOWN WEEKLY NEWSPAPERS 6200 Metropolitan Pkwy, Sterling Heights, MI 48312

### BE IT MADE KNOWN THAT THE FOLLOWING ADVERTISMENT APPEARED IN:

Publication: Birmingham Eccentric
Placed By: City of Birmingham
Subject: Old Woodward Sewer Levels
Date of Publication: February 27 & March 6, 2022

And says that the advertising illustrated above/attached was published in the Birmingham Eccentric on the following date/s/: February 27 & March 6, 2022, INVOICE number 361429, and as an authorized employee of the Observer and Eccentric Media, she knows well the facts stated/herein. Cost: \$260.64.

STATE OF MICHIGAN

**NOTARIZED BY:** 

March 7, 2022

**DATED:** 

**Acting in County of Macomb** 

GINA ANNE HUFF NOTARY PUBLIC - STATE OF MICHIGAN COUNTY OF LIVINGSTON My Commission Expires March 09, 2023

### STATE OF MICHIGAN COUNTY OF OAKLAND VILLAGE OF FRANKLIN 32325 Franklin Road, Franklin, Michigan 48025

Villago Grass and Nuxious Weeds Orden Property Owners and or Parties of Inter

Notice is hereby given is all persons occupring or owning any property within the Village of Franklin that pursuant to Chapter 1479 01, as amended in the Village Gole of Ordinances, it shall be the duty of such womers or occupants to keep all graes and weed rear the bloom beight of eight (61 under. If the provisions of the Ordinance are not complied with, the Village shall cause used grease to be nut. The actual cost of such citting, plus twenty percent (2004) for administration charge, shall be charged to and pead by the owner If necessary. It will be village shall continue the village shall continue the village shall never be percent (2004) for administration charge, which hen shall be enforced in the manner presenbed by state law for the ordinance and the village shall have a lies for the cutting sharperse, cuts and twenty percent (2008) administration charge, which hen shall be enforced in the manner presembed by state law for the ordinance and the little of the little of the cutting shall be charged in the manner presembed by state law for the ordinance and the little of t

Heather Mydloski Villago Clerk

NOTICE OF PUBLIC HEARING									
C	CITY OF BIRMINGHAM								
PUBLIC I	C HEARING OF NECESSITY TEARING OF CONFIRMATION								
Meeting Date, Time, Lesstion:	REARING OF NECESSITY FOR SPECIAL ASSESSMENT DISTRICT Mondox, Mondox March 14, 2022, 7.30 PM Municipal Building, 151 Martin, Brimingham, MI 48005								
Mosting Date Time, Lecution:	REARING OF CONFIRMATION FOR SPECIAL ASSESSMENT DISTRUT Monday, April 11, 2022, 7.30 PM Municipal Building, 151 Martin, Burmingham, MJ 48009								
Project Location:	S. Old Wandward Avenue, from Brown St. to Landon St.								
Nature of Improvement:	Construction of sudewalk and atvestscape improvements adjacent to all properties within the project area								
City Staff Contact:	Scott Zielinaki, Assistant Crty Engineer azielinaki?!bhamguv.urg, (248)830-1838								
Notice Requirementa:	Mail to affected property owners Publish February 27, 2022 & March 6, 2022								
Approved minutes may be reviewed at:	City Clerk's Office								

Should you have any statement regarding the above, you are invited to attend the meeting in person or virtually through 2001s; https://geom.us/1655678790 Meeting ID: 655 079 768

You or your agont may appear at the hearings to express your views, however, if you fail to protest sifter in preca or by letter received on or hefers the date of the hearing, you cannot appeal the amount of the spectal assessment to the Michigan Tax Tribunal. Mail any correspondence to: City Clerk, P.O. Bex 3361, Birmingham, MI 48012.

The property owner mer file a written appeal of the special assessment with the S Tribunal within 30 days after the confirmation of the special assessment roll of that assessment was protected at the hearing held for the purpose of confirming the roll.

All special assessments, including installment payment, shall, from the date of the confirmation thereof, constitute a lien on the respective lots or parvels assessed, and until paid shall be charged against the respective owners of the lots or parvels assessed.

Persons with deabilities needing accommodations for effective participation in this meeting should contact the City Clerk's Diffice at 248-320 1880 (veince) or 246-844-5115 (TDD) at least one day in advance to request mobility visual, hearing or other nesistance.

	PUBLIC HEARINGS
	M CITY COMMISSION
PUBLIC HEA	ARING OF NECESSITY
PUBLIC HEAR	ING OF CONFIRMATION
Meeting Dete, Time, Location:	HEARING OF NECESSITY FOR SPECIAL, ASSESSMENT DISTRICT Monday, Monday, March 14, 2022, 7 30 PM Municipal Building, 151 Martin, Birmingham, MI 48009
Meeting Date, Time, Location:	HEARING OF CONFIRMATION FOR SPECIAL ASSESSMENT DISTRICT Monday, April 11, 2022, 7:30 PM Municipal Building, 151 Martin, Birmingham, MI 48099
Project Location	S. Old Woodward Avenue, from Brewn St. to Landon St.
Nature of Improvement:	Replacement and improvement of water and sewer leads meeting the requirements for assessment, for all properties within project area
City Staff Contact:	Scott Zielinaki, Assistant City Engineer exielinaki@bhassrav.erg (248)530-1838
Notice Requirements:	Mail to affected property owners Publish February 27, 2022 & March 6, 2022
Approved minutes may be reviewed at:	City Clerk's Office

Should you have any statement regarding the above, you are invited to attend the meeting in person or virtually through ZOOM, https://soom.us/#555679769 Meeting ID: 655 879

You or your agent may appear at the hearings to express your vires; hewever, if you fail to protest either in person or by letter received on or before the date of the hearing, you cannot appeal the amount of the special assessment to the Michagan Tax Tribunal Mail any correspondence to: City Clerk, P.O. Box 3001. Birmingham, MI 48012.

s property owner may file a written appeal of the special assessment with the State Tab bunal within 30 days after the confirmation of the special assessment red if that special assessment was protested at the bearing hold for the purpose of confirming the roll.

All special assessments, including installment payments, shall, from the date of the confirmation thereof, constitute a lieu on the respective lots or parcels assessed, and until paid shall be charged against the respective owners of the lots or parcels assessed.

Persons with disabilities meading accommodations for effective participation in this meeting should contact the City Civils 2 Office at 248 330 1860 recins) at 246 644 5115 (TDD) at least one day in advance to request mobility visual, hearing or other sesistance.

Poblish Polymery 27 & March 6, 2022



# INVITATION TO BID BID NO. 9941 ERGOTRON LEARN FIT SIT-STAND DESK TROY SCHOOL DISTRICT

The Troy School District will receive firm scaled bids for farmaling, delivering, and secenbling, installing new Experien Learn Fit hit Stand Desks to 12 different locations within the Troy Schwell District.

Specifications and proposal forms can be obtained unline at http://www.tropikill.mi.us From the main page click the "Business Services" tab listed under "Departments", then clic "Aurthusing" and acroll down to locate and across the bul documents

Your proposal and two copies marked "Bid 9841 Ergotron Deaks" must be delivered no later than 1020 a.m., Theoday, March 15, 2022, Troy School District, Services Building Technology Department, 4420 Livernoss Road, Troy Mit 4609 ATTN: Beth Sogra, Tachnology Director, at which thin sail lads will be publishy opened and read sloud immediately thereafter Bid proposals received after this time will not be considered or accepted

All questions regarding the bid specified, or the bid terms and conditions will be accepted in writing (NIA) and subsequently answared through an addendam is all interested parties (eventions must be received no later than none. Wednesday, Marris 9, 2022, and may be enabled to beogge@trey.hid.m.ius Al no other time prior to the hid opening will questions/coverns

All bidders must provide familial disclasure in compliance with MCL 380.1267 and attach this information to the bid proposal. The bid proposal will be accompanied by a swern and nod-arrised statement disclasure any familiar relationship that exists between the owner or any suppleyee of the hadder and my number of the Troy School Butrate of the Troy School Butrate Spermittendent. Also, a sworn and notarised Affidavit of compliance for the fram Economic Spartintendent. Also, as sworn and notarised Affidavit of compliance for the fram Economic Spartine and the state of the

The Troy Board of Education reserves the right to accept or reject any or all bids, either in whole or in part, to sward contract to other than the low bidder; to wairs any irregularities and/or informalities, and an general to make awards in any manner deemed to be in the best intervet of the owner.

Technology Department Troy School District 4420 Livernoss Road Troy, MI 48098

### INVITATION TO BID BID NO. 9942 AVER DOCUMENT CAMERAS TROY SCHOOL DISTRICT

The Trey School Instrict will receive firm, souled bide for furnishing and delivering new Aver document cameras.

Specifications and proposal forms can be obtained online at http://www.trgy.kll.m.l.us From the main page click the "Business Sarvices" tab listed under "Pepartneents"; then click "Purtnessing" and stroll down in locate and serves the bid documents.

Your proposal and two cupies marked "Bid 3943 Aver Document Cameras" must be delivered no later Bans 10:00 a.m., Tuseday, Blarch 13, 2022, Tros School Bustict, Services Studings Eurobedgy Department, 4420 Liverenis Raad, Troy, M 48994 ATTN. Beth Sogga, Studings Direction, at which time all bids will be publicly spend and twad about immediately benefits and proposals reversed after this time will not be considered on excepted.

Intervalve that proposals reverted after this time will not be considered or screpted. All questions reperfung this byt specified, or the bid terms and canditions will be accepted in writing ONLY and subsequently answered through an addendum to all interested parties. Questions must be received no later than sooth, Westerday, Marris 9, 2012, and may be examined to lineager@ffirefile.him.but as it no other time price to the bid opening will questions' concerns he addressed or accepted.

concerns he addressed or accepted
All bidders must precede familial disclosure in compliance with MCL 180 1257 and attach
this information to the bid proposal. The bid proposal will be accompanied by a sworn and
netarized attachment disclosing any familial relationship that visits between the owner or any
supleyer of the bidder and any members of the Trop School Bustries
Superintendent Alio, a sworn and necessive Affidavit of compliance for the fran Economic
Sanctions Act certifying the vender does and will comply with Public Act C17 of 2012 shall
accompany all proposals. Bold forms will be enclosed in the specification's busklat that shall
be used for this purposa. The District will not accept a bid preposal that does not include those
swarn and notarized disclosure attacount.

The Tray Beard of Education receives the right in accept or reject any or all bids, either in whole or in part; to award contract to other than the low bidder; to warve any irregularities and/or informalities, and in general to make awards in any manner deemed to be in the best universit if the owner.

Technology Department Trey School District 4420 Livernos Road Trey, MI 48038



Baldwin Public Labrary 300 W. Merrill Street Birmingham, MI 48009 248-647-1700

#### NOTICE OF PUBLIC HEARING

Monday, March 21, 2022 at 7:30 p.m. 2022-2023 Budget Hearing

he Baldwin Public Library Board of Directors will hold a public hearing on modax March 21, 2022, at 7-30 pm., in the Rotary Tribute and Pener Rooms of the Baldwin Public Library, 2000 W. Mervill, Birmingham, MI. Members of the gublic may attend in person of via Zoom.

This public hearing is bong built to consider the 2022-2023 budget for the Baldwin Public Library.

The property tax millage rate proposed to be levied to support the proposed budget will be a subject of this hearing.

Topics Baldwin Public Library 2022-2023 Budget Hearing Times Mar 21, 2023 07:30 PM Eastern Time The public may participate via Zaura: Join Zuem Medicine Bilippind/Servitacema. mg/P80931(3423) Medicine Library 16, 460-315 5255 One tap mobile, +5, 1917 16: 6042, p80321623245 US (Uhashington DC) +13 126296799, 88033162624 US (Chicago)

Public comments may be presented either in person or in writing

By 5 00 pm on Fridey, March 18, 2022 you may obtain a copy of the proposed budget by orng in the Library's wrbsi is (symw.baidwinlib.org), asking at the Library's Adult Servic Reference Deek: 2485/4-4850, or contacting Robert Stratton 1248-554-4844

Approved minutes of this hearing may be reviewed on the Library's website or at its Rust ness Office.

THIS NOTICE IS GIVEN in accordance with Act 251, 1968 Public Act 267 DATE PONTED: February 18, 2022

reminerals dissistance. Distance require manufactor for effective portorquises in this public results about demand the state of the public product of the public product of the public public product of the public o architis Tread, busines, evidenc promism o one sengended que requerre olyan que de recede para la paranquerem — una u la "flemação corpinam de la hibitatea um di nomero (56) 647 1700 m² (11) 648 8113 rama los per militores por la meira um des antes dels remanos pero enterior avada a la membroda, sevad, audense del Vila feli Cali Rajalas de y fila se



### March 14, 2022



Williams Williams Rattner & Plunkett, P.C. Attorneys and Counselors

380 North Old Woodward Avenue Suite 300 Birmingham, Michigan 48009

Tel: (248) 642-0333 Fax: (248) 642-0856

Via hand delivery

Clerk City of Birmingham 151 Martin St. Birmingham, MI 48009

BE.

Protest of Special Assessment on Behalf of

The New 555 Residential, LLC The New 555 Commercial, LLC Manorwood Properties, LLC

Dear Clerk:

We represent The New 555 Residential, LLC, The New 555 Commercial, LLC, and Manorwood Properties, LLC. The New 555 Residential, LLC, The New 555 Commercial, LLC, own properties commonly known as 555 S. Old Woodward Avenue in Birmingham, and identified as Parcel Nos. 08-19-36-210-001 and 08-19-36-210-002. Manorwood Properties, LLC, owns property commonly known as 555 S. Old Woodward Avenue, Suite 100, and identified as Parcel No. 08-19-36-210-005.

We are submitting this letter in protest of the creation of and inclusion of these properties in a proposed special assessment district concerning water and sewer leads. In brief, these properties receive no special benefit from the proposed improvements that the special assessment will finance, there will be no increase in the properties' values, the amount of the assessments against the properties is not proportionate to the expected benefit, and the proposed special assessment does not otherwise comply with Michigan law.

With respect, we protest the City's proposed special assessment district and these properties' inclusion in the district, and request that the City decline to adopt the special assessment district.

Clerk's Office City of Birmingham, MI

MAR 1 4 2022

4:59 pm

51

RECEIVED

Jason C. Long

Respectfully Submitted





Treasurer's Office

DATE:

4/11/2022

TO:

Thomas M. Markus, City Manager

FROM:

**Jack Todd, Deputy Treasurer** 

Mark Gerber, Finance Director/Treasurer

SUBJECT:

**Resolution for Confirming S.A.D. #897** 

S. Old Woodward Sidewalk and Streetscape

### INTRODUCTION:

A public hearing on the confirmation of the special assessment roll for streetscape and sidewalk improvements on S. Old Woodward from Brown Street to Landon Street is being held on April 11<sup>th</sup>, 2022. The special assessment will defray the costs to the City for public improvements made to City streetscape and sidewalks on S. Old Woodward from Brown Street to Landon Street. If the City Commission confirms the roll, the property owners who proportionally benefit from these improvements will be assessed for the cost of the improvements.

Due to an increase in cost between the engineers' estimate presented at the Hearing of Necessity and the bid result actual item prices, the City has revised the estimated costs associated with S.A.D. #897. Attached is both an updated estimate cost spreadsheet for the confirmation of the roll for S.A.D. #897 and the spreadsheet for the estimated costs that was presented at the Hearing of Necessity based on the engineers' estimate for the project. Project items associated with the streetscape work have increased approximately 25.1% in cost per linear foot of assessable street frontage between the engineers' estimates to the as bid estimate.

Comments during the hearing of confirmation are limited to those questions or objections submitted in writing or orally specifically addressing the assessment roll pursuant to Section 94-9 of the City Code.

### **BACKGROUND:**

At the City Commission meeting held on March 14, 2022, the City Commission determined the necessity of the S. Old Woodward Sidewalk and Streetscape project and a Hearing of Confirmation of the Special Assessment Roll was set for April 11th, 2022.

### LEGAL REVIEW:

The purpose of this hearing is to review and hear any objections, either in writing or orally, to the special assessment roll. The special assessment roll is a listing of all of the properties and lots to be assessed for the public improvements to the property. Pursuant to the City Code at Sec. 94-9, whenever a special assessment roll shall be confirmed by the Commission, it should be final and conclusive.

### FISCAL IMPACT:

If confirmed, the City would collect \$2,048,568.37 from the Sidewalk Streetscape SAD. Property owners have ten (10) years to pay the special assessment.

### PUBLIC COMMUNICATIONS:

Property owners were notified by first class mail of the public hearing dates. If the City Commission confirms the special assessment rolls, the Treasurer's office will notify the property owners in the special assessment district of the confirmation and the lien on their property by first class mail.

### SUMMARY:

The Treasurer's office recommends that the City Commission conduct the public hearing of confirmation of special assessment district 897 and further to confirm the rolls as attached to this memo.

### ATTACHMENTS:

- Proposed Special Assessment Roll
- Pre-Bid Estimate for Proposed SAD
- Memorandum: Hearing of Necessity for S. Old Woodward Sidewalk and Streetscape SAD
- Memorandum: Clerk's Office Confirmation of Public Hearing of Necessity and Confirmation: Old Woodward Streetscape Special Assessment District
- Letter of Protest of Special Assessment from The New 555 Residential, LLC; The New 555 Commercial, LLC; and Manorwood Properties, LLC dated March 14, 2022

### SUGGESTED COMMISSION ACTION:

Make a motion adopting a resolution confirming special assessment roll 897 as follows:

**WHEREAS**, Special Assessment Roll, designated Roll No. 897, has heretofore been estimated by the City Engineer, and prepared for collection by the City Treasurer; and

**WHEREAS**, notice was given pursuant to Section 94-7 of the City Code, to each owner or party-in-interest of property and lots to be assessed contained in this roll, by first class mail, and by publication in the newspaper and generally circulated in the City; and

**WHEREAS**, at said hearing held on April 11, 2022, all those property owners and/or lot owners, or their representatives have been given an opportunity to be heard for any objections to the roll and costs thereof for said special assessment roll; and

**WHEREAS,** the Commission, after considering all objections before them, either orally or in writing, to the special assessment roll, and having made such a record, the Commission determines that it is satisfied with said special assessment roll; and

**WHEREAS,** the Commission, after hearing all objections and making a record, has deemed that such assessments are in proportion to the benefits received; and

**WHEREAS,** the Commission directs the City Manager to spread the various sums in amounts appearing thereon as prepared by the City Engineer to be placed on the special assessment roll; and

WHEREAS, the placement of the special assessment roll shall be on file in the City Clerk's Office; and

**WHEREAS,** the City Commission directs the City Clerk to attach his/her warrant to a certified copy of the special assessment roll within ten (10) days; and

**WHEREAS,** the City Commission commands the City Treasurer to bill and collect the special assessments to be due within sixty (60) days of billing; and

**WHEREAS,** the City Commission further directs the Treasurer to give notice by first class mail to each property owner on the special assessment roll that the roll has been confirmed on this date; and

**WHEREAS,** the Treasurer is directed to notify by first class mail each property owner or lot owner on the special assessment roll of their obligation to pay the amount assessed; and

**WHEREAS,** the Special Assessment Notice will include the amount to be paid, the time to be paid, and any interest obligated for the installment payments; and

**WHEREAS,** when the special assessment will be paid in installments, the notice shall state the due date of the first installment and the date from which interest will be charged on all future installments.

**NOW, THEREFORE, BE IT RESOLVED**, that Special Assessment Roll No. 897 be in all things ratified and confirmed, and that the City Clerk be and is hereby instructed to endorse said roll, showing the date of confirmation thereof, and to certify said assessment roll to the City Treasurer for collection at or near the time of construction of the improvement.

**BE IT FURTHER RESOLVED**, that special assessment shall be payable in ten (10) payments as provided in Section 94-10 of the Code of the City of Birmingham, with an annual interest rate of four and one-half percent (4.5%) on all unpaid installments.

		Stree	tscape Special Assessment 8	97 Roll			
			Estimate Based on Bid				
Parcel No.			Property Address		Sq Ft		Total
08-19-36-204-027	300	S	OLD WOODWARD AVE			\$	65,160.93
08-19-36-205-026	442	S	OLD WOODWARD AVE			\$	55,386.79
08-19-36-205-041	444	S	OLD WOODWARD AVE			\$	55,680.01
08-19-36-205-043	400	S	OLD WOODWARD AVE	#100		\$	85,425.98
08-19-36-208-016	355	S	OLD WOODWARD AVE			\$	94,613.67
08-19-36-208-017	401	S	OLD WOODWARD AVE		236,140	\$	103,714.52
08-19-36-208-019	411	S	OLD WOODWARD AVE	#501	753	\$	330.72
08-19-36-208-020	411	S	OLD WOODWARD AVE	#503	713	\$	313.16
08-19-36-208-021	411	S	OLD WOODWARD AVE	#505	713	\$	313.16
08-19-36-208-022	411	S	OLD WOODWARD AVE	#507	615	\$	270.11
08-19-36-208-025	411	S	OLD WOODWARD AVE	#515	519	\$	227.95
08-19-36-208-026	411	S	OLD WOODWARD AVE	#517	519	\$	227.95
08-19-36-208-027	411	S	OLD WOODWARD AVE	#521	645	\$	283.29
08-19-36-208-028	411	S	OLD WOODWARD AVE	#523	699	\$	307.01
08-19-36-208-029	411	\$	OLD WOODWARD AVE	#525	699	\$	307.01
08-19-36-208-030	411	S	OLD WOODWARD AVE	#527	699	\$	307.01
08-19-36-208-031	411	S	OLD WOODWARD AVE	#529	699	\$	307.01
08-19-36-208-032	411	S	OLD WOODWARD AVE	#531	702	\$	308.32
08-19-36-208-033	411	S	OLD WOODWARD AVE	#530	804	\$	353.12
08-19-36-208-034	411	S	OLD WOODWARD AVE	#528	1,120	\$	491.91
08-19-36-208-035	411	S	OLD WOODWARD AVE	#524	1,120	\$	491.91
08-19-36-208-036	411	S	OLD WOODWARD AVE	#522	1,454	\$	638.61
08-19-36-208-037	411	S	OLD WOODWARD AVE	#518	1,860	\$	816.93
08-19-36-208-038	411	S	OLD WOODWARD AVE	#514	793	\$	348.29
08-19-36-208-039	411	S	OLD WOODWARD AVE	#512	825	\$	362.35
08-19-36-208-040	411	S	OLD WOODWARD AVE	#510	2,665	\$	1,170.49
08-19-36-208-041	411	S	OLD WOODWARD AVE	#508	995	Ś	437.01
08-19-36-208-043	411	S	OLD WOODWARD AVE	#504	995	\$	437.01
08-19-36-208-044	411	S	OLD WOODWARD AVE	#502	995	\$	437.01
08-19-36-208-045	411	S	OLD WOODWARD AVE	#500	995	\$	437.01
08-19-36-208-046	411	S	OLD WOODWARD AVE	#601	753	\$	330.72
08-19-36-208-047	411	S	OLD WOODWARD AVE	#603	713	\$	313.16
08-19-36-208-048	411	S	OLD WOODWARD AVE	#605	713	\$	313.16
08-19-36-208-049	411	S	OLD WOODWARD AVE	#607	615	\$	270.11
08-19-36-208-054	411	S	OLD WOODWARD AVE	#621	645	\$	283.29
08-19-36-208-055	411	S	OLD WOODWARD AVE	#623		\$	307.01
08-19-36-208-062	411	5	OLD WOODWARD AVE	#624	1,120	\$	491.91
08-19-36-208-063	411	S	OLD WOODWARD AVE	#622	<del></del>	\$	638.61
08-19-36-208-064	411	<u> </u>	OLD WOODWARD AVE	#618	1,860	\$	816.93
08-19-36-208-065	411	<u>s</u>	OLD WOODWARD AVE	#614	793	\$	348.29
08-19-36-208-066	411	5	OLD WOODWARD AVE	#612		\$	362.35
08-19-36-208-067	411	<del></del>	OLD WOODWARD AVE	#610		\$	1,170.49
08-19-36-208-068	411	Ş	OLD WOODWARD AVE	#608		\$	437.01

				<del></del>	-r	_	
08-19-36-208-069	411	S	OLD WOODWARD AVE	#604	995	\$	437.01
08-19-36-208-070	411	S	OLD WOODWARD AVE	#602	995	\$	437.01
08-19-36-208-071	411	S	OLD WOODWARD AVE	#600	995	\$	437.01
08-19-36-208-072	411	S	OLD WOODWARD AVE	#701	753	\$	330.72
08-19-36-208-073	411	S	OLD WOODWARD AVE	#703	713	\$	313.16
08-19-36-208-074	411	S	OLD WOODWARD AVE	#705	713	\$	313.16
08-19-36-208-075	411	\$	OLD WOODWARD AVE	#707	615	\$	270.11
08-19-36-208-080	411	S	OLD WOODWARD AVE	#721	645	\$	283.29
08-19-36-208-081	411	S	OLD WOODWARD AVE	#723	699	\$	307.01
08-19-36-208-086	411	S	OLD WOODWARD AVE	#730	804	\$	353.12
08-19-36-208-087	411	S	OLD WOODWARD AVE	#728	1,120	\$	491.91
08-19-36-208-088	411	S	OLD WOODWARD AVE	#724	1,120	\$	491.91
08-19-36-208-089	411	S	OLD WOODWARD AVE	#722	1,454	\$	638.61
08-19-36-208-090	411	S	OLD WOODWARD AVE	#718	1,860	\$	816.93
08-19-36-208-091	411	S	OLD WOODWARD AVE	#714	793	\$	348.29
08-19-36-208-092	411	S	OLD WOODWARD AVE	#712	825	\$	362.35
08-19-36-208-093	411	S	OLD WOODWARD AVE	#710	2,665	\$	1,170.49
08-19-36-208-094	411	S	OLD WOODWARD AVE	#708	995	\$	437.01
08-19-36-208-096	411	S	OLD WOODWARD AVE	#704	995	\$	437.01
08-19-36-208-097	411	S	OLD WOODWARD AVE	#702	995	\$	437.01
08-19-36-208-098	411	S	OLD WOODWARD AVE	#700	995	\$	437.01
08-19-36-208-099	411	<u> </u>	OLD WOODWARD AVE	#801	753	\$	330.72
08-19-36-208-100	411	S	OLD WOODWARD AVE	#803	713	\$	313.16
08-19-36-208-101	411	<u> </u>	OLD WOODWARD AVE	#805	713	\$	313.16
08-19-36-208-102	411	S	OLD WOODWARD AVE	#807	615	\$	270.11
08-19-36-208-103	411	S	OLD WOODWARD AVE	#811	519	\$	227.95
08-19-36-208-104	411	<u> </u>	OLD WOODWARD AVE	#813	519	\$	227.95
08-19-36-208-105	411	S	OLD WOODWARD AVE	#815	519	\$	
08-19-36-208-106	411	<u>s</u>	OLD WOODWARD AVE	#817			227.95
08-19-36-208-107	411	S	OLD WOODWARD AVE	#821	519	\$	227.95
08-19-36-208-107	411	S	OLD WOODWARD AVE		645	\$	283.29
08-19-36-208-115	411			#823	699		307.01
08-19-36-208-116			OLD WOODWARD AVE	#824	1,120	\$	491.91
08-19-36-208-117	411	<u>S</u>	OLD WOODWARD AVE	#822	1,454	\$	638.61
	411	S	OLD WOODWARD AVE	#818	1,860	\$	816.93
08-19-36-208-118	411	S	OLD WOODWARD AVE	#814	793	\$	348.29
08-19-36-208-119	411	<u>S</u>	OLD WOODWARD AVE	#812	825	\$	362.35
08-19-36-208-120	411	S	OLD WOODWARD AVE	#810	2,665	\$	1,170.49
08-19-36-208-121	411	<u>S</u>	OLD WOODWARD AVE	#808	995	\$	437.01
08-19-36-208-122	411	S	OLD WOODWARD AVE	#804	995	\$	437.01
08-19-36-208-123	411	S	OLD WOODWARD AVE	#802	995	\$	437.01
08-19-36-208-124	411	S	OLD WOODWARD AVE	#800	995	\$	437.01
08-19-36-208-125	411	S	OLD WOODWARD AVE	#901	753	\$	330.72
08-19-36-208-126	411	S	OLD WOODWARD AVE	#903	713	\$	313.16
08-19-36-208-127	411	S	OLD WOODWARD AVE	#905	713	\$	313.16
08-19-36-208-128	411	S	OLD WOODWARD AVE	#907	615	\$	270.11
08-19-36-208-129	411	S	OLD WOODWARD AVE	#911	519	\$	227.95
08-19-36-208-130	411	S	OLD WOODWARD AVE	#913	519	\$	227.95

		,				,	
08-19-36-208-133	411	S	OLD WOODWARD AVE	#921	645	\$	283.29
08-19-36-208-134	411	S	OLD WOODWARD AVE	#923	699	\$	307.01
08-19-36-208-135	411	S	OLD WOODWARD AVE	#925	699	\$	307.01
08-19-36-208-136	411	S	OLD WOODWARD AVE	#927	699	\$	307.01
08-19-36-208-137	411	S	OLD WOODWARD AVE	#929	699	\$	307.01
08-19-36-208-138	411	S	OLD WOODWARD AVE	#931	702	\$	308.32
08-19-36-208-141	411	S	OLD WOODWARD AVE	#924	1,120	\$	491.91
08-19-36-208-142	411	S	OLD WOODWARD AVE	#922	1,454	\$	638.61
08-19-36-208-143	411	S	OLD WOODWARD AVE	#918	1,860	\$	816.93
08-19-36-208-146	411	S	OLD WOODWARD AVE	#910	2,665	\$	1,170.49
08-19-36-208-147	411	S	OLD WOODWARD AVE	#908	995	\$	437.01
08-19-36-208-149	411	S	OLD WOODWARD AVE	#904	995	\$	437.01
08-19-36-208-150	411	S	OLD WOODWARD AVE	#902	995	\$	437.01
08-19-36-208-151	411	S	OLD WOODWARD AVE	#900	995	\$	437.01
08-19-36-208-152	411	S	OLD WOODWARD AVE	#1001	754	\$	331.16
08-19-36-208-153	411	S	OLD WOODWARD AVE	#1003	714	\$	313.59
08-19-36-208-154	411	S	OLD WOODWARD AVE	#1005	714	\$	313.59
08-19-36-208-155	411	S	OLD WOODWARD AVE	#1007	616	\$	270.55
08-19-36-208-156	411	S	OLD WOODWARD AVE	#1011	519	\$	227.95
08-19-36-208-157	411	S	OLD WOODWARD AVE	#1013	519	\$	227.95
08-19-36-208-168	411	S	OLD WOODWARD AVE	#1024	1,120	\$	491.91
08-19-36-208-169	411	S	OLD WOODWARD AVE	#1022	1,454	\$	638.61
08-19-36-208-170	411	S	OLD WOODWARD AVE	#1018	1,860	\$	816.93
08-19-36-208-171	411	S	OLD WOODWARD AVE	#1014	793	\$	348.29
08-19-36-208-172	411	S	OLD WOODWARD AVE	#1012	826	\$	362.79
08-19-36-208-173	411	S	OLD WOODWARD AVE	#1010	2,665	\$	1,170.49
08-19-36-208-174	411	S	OLD WOODWARD AVE	#1008	994	\$	436.57
08-19-36-208-175	411	5	OLD WOODWARD AVE	#1004	994	\$	436.57
08-19-36-208-176	411	S	OLD WOODWARD AVE	#1002	994	\$	436.57
08-19-36-208-177	411	5	OLD WOODWARD AVE	#1000	995	\$	437.01
08-19-36-208-178	411	S	OLD WOODWARD AVE	#711	1,065	\$	467.76
08-19-36-208-179	411	S	OLD WOODWARD AVE	#725		\$	627.19
08-19-36-208-180	411	S	OLD WOODWARD AVE	#729	1,432	\$	628.95
08-19-36-208-181	411	S	OLD WOODWARD AVE	#829	1,432	\$	628.95
08-19-36-208-182	411	S	OLD WOODWARD AVE	#828		\$	859.09
08-19-36-208-183	411	S	OLD WOODWARD AVE	#1015	1,065	\$	467.76
08-19-36-208-184	411	S	OLD WOODWARD AVE	#1021	1,373	\$	603.03
08-19-36-208-185	411	S	OLD WOODWARD AVE	#1029	1,432	\$	628.95
08-19-36-208-186	411	S	OLD WOODWARD AVE	#511	1,065	\$	467.76
08-19-36-208-187	411	S	OLD WOODWARD AVE	#611	1,065	\$	467.76
08-19-36-208-188	411	S	OLD WOODWARD AVE	#615	1,065	\$	467.76
08-19-36-208-189	411	S	OLD WOODWARD AVE	#715	1,065	\$	467.76
08-19-36-208-190	411	S	OLD WOODWARD AVE	#912	1,648	\$	723.81
08-19-36-208-191	411	S	OLD WOODWARD AVE	#1028		\$	859.09
08-19-36-208-192	411	<u> </u>	OLD WOODWARD AVE	#825		\$	627.19
08-19-36-208-193	411	S	OLD WOODWARD AVE	#1025		\$	627.19
08-19-36-208-194	411	<u> </u>	OLD WOODWARD AVE	#506		\$	437.01
00 10-00-200-104	411		TOTO WOODWAND AVE	טטכיוון	333	Ą	437.01

08-19-36-208-195	411	S	OLD WOODWARD AVE	#606	995	\$	437.01
08-19-36-208-196	411	S	OLD WOODWARD AVE	#706	995	\$	437.01
08-19-36-208-197	411	S	OLD WOODWARD AVE	#806	995	\$	437.01
08-19-36-208-198	411	S	OLD WOODWARD AVE	#906	995	\$	437.01
08-19-36-208-199	411	S	OLD WOODWARD AVE	#1006	995	\$	437.01
08-19-36-208-200	411	S	OLD WOODWARD AVE	#630	1,956	\$	859.09
08-19-36-208-201	411	S	OLD WOODWARD AVE	#915	1,065	\$	467.76
08-19-36-208-202	411	S	OLD WOODWARD AVE	#928	1,956	\$	859.09
08-19-36-208-203	411	S	OLD WOODWARD AVE	#625	1,428	\$	627.19
08-19-36-208-205	411	S	OLD WOODWARD AVE	#629	699	\$	307.01
08-19-36-208-206	411	S	OLD WOODWARD AVE	#631	702	\$	308.32
08-19-36-208-207	469/479	S	OLD WOODWARD AVE			\$	52,493.64
08-19-36-210-001	555	S	OLD WOODWARD AVE			\$	371,391.23
08-19-36-210-003	555	S	OLD WOODWARD AVE			\$	42,354.60
08-19-36-210-005	555	S	OLD WOODWARD AVE			\$	40,087.00
08-19-36-211-001	400	S	OLD WOODWARD AVE	#208		\$	85,425.98
08-19-36-253-025	750	S	OLD WOODWARD AVE			\$	32,580.46
08-19-36-253-026	772	S	OLD WOODWARD AVE			\$	52,780.35
08-19-36-253-028	588	S	OLD WOODWARD AVE			\$	97,741.39
08-19-36-253-029	608	S	OLD WOODWARD AVE			\$	65,160.93
08-19-36-253-030	500	S	OLD WOODWARD AVE			\$	96,438.17
08-19-36-253-034	690	S	OLD WOODWARD AVE			\$	97,741.39
08-19-36-253-035	670	S	OLD WOODWARD AVE			\$	97,741.39
08-19-36-278-012	808	S	OLD WOODWARD AVE			\$	62,424.17
08-19-36-278-013	820	S	OLD WOODWARD AVE			\$	32,580.46
08-19-36-278-014	832	S	OLD WOODWARD AVE			\$	32,580.46
08-19-36-278-017	850	S	OLD WOODWARD AVE			\$	97,741.39
08-19-36-278-018	880	S	OLD WOODWARD AVE			\$	166,160.37
						\$ 2	2,048,568.37
						_	<u> </u>

Streetscape Special Assessment 897										
Parcel No.			Property Address		Sq Ft	SAD897 Roll	Pre-Bid Estimate			
		1			1					
08-19-36-204-027	300	S	OLD WOODWARD AVE			\$65,160.93	\$52,076.20			
08-19-36-205-026	442	5	OLD WOODWARD AVE			\$55,386.79	\$44,264.77			
08-19-36-205-041	444	S	OLD WOODWARD AVE		i i	\$55,680.01	\$44,499.11			
08-19-36-205-043	400	S	OLD WOODWARD AVE	#100	1	\$85,425.98	\$68,271.90			
08-19-36-208-016	355	S	OLD WOODWARD AVE			\$94,613.67	\$75,614.64			
08-19-36-208-017	401	. s	OLD WOODWARD AVE		236,140	\$103,714.52	\$82,887.98			
08-19-36-208-019	411	. 5	OLD WOODWARD AVE	#501	753	\$330.72	\$264.31			
08-19-36-208-020	411	_	OLD WOODWARD AVE	#503	713	\$313.16	\$250.27			
08-19-36-208-021	411	S	OLD WOODWARD AVE	#505	713	\$313.16	\$250.27			
08-19-36-208-022	411	S	OLD WOODWARD AVE	#507	615	\$270.11	\$215.87			
08-19-36-208-025	411	S	OLD WOODWARD AVE	#515	519	\$227.95	\$182.18			
08-19-36-208-026	411		OLD WOODWARD AVE	#517	519	\$227.95	\$182.18			
08-19-36-208-027	411		OLD WOODWARD AVE	#521	645	\$283.29	\$226.40			
08-19-36-208-028	411	5	OLD WOODWARD AVE	#523	699	\$307.01	\$245.36			
08-19-36-208-029	411	5	OLD WOODWARD AVE	#525	699	\$307.01	\$245.36			
08-19-36-208-030	411	S	OLD WOODWARD AVE	#527	699	\$307.01	\$245.36			
08-19-36-208-031	411	S	OLD WOODWARD AVE	#529	699	\$307.01				
08-19-36-208-032	411	5	OLD WOODWARD AVE	#531	702		\$245.36			
08-19-36-208-033	411	S	OLD WOODWARD AVE	#530	804	\$308.32	\$246.41			
08-19-36-208-034	411	S	OLD WOODWARD AVE	_		\$353.12	\$282.21			
08-19-36-208-035	411	S		#528	1,120	\$491.91	\$393.13			
			OLD WOODWARD AVE	#524	1,120	\$491.91	\$393.13			
08-19-36-208-036	411	S	OLD WOODWARD AVE	#522	1,454	\$638.61	\$510.37			
08-19-36-208-037	411	S	OLD WOODWARD AVE	#518	1,860	\$816.93	\$652.88			
08-19-36-208-038	411	S	OLD WOODWARD AVE	#514	793	\$348.29	\$278.35			
08-19-36-208-039	411	5	OLD WOODWARD AVE	#512	825	\$362.35	\$289.58			
08-19-36-208-040	411		OLD WOODWARD AVE	#510	2,665	\$1,170.49	\$935.45			
08-19-36-208-041	411	S	OLD WOODWARD AVE	#508	995	\$437.01	\$349.26			
08-19-36-208-043	411	S	OLD WOODWARD AVE	#504	995	\$437.01	\$349.26			
08-19-36-208-044	411	S	OLD WOODWARD AVE	#502	995	\$437.01	\$349.26			
08-19-36-208-045	411	5	OLD WOODWARD AVE	#500	995	\$437.01	\$349.26			
08-19-36-208-046	411	S	OLD WOODWARD AVE	#601	753	\$330.72	\$264.31			
08-19-36-208-047	411	S	OLD WOODWARD AVE	#603	713	\$313.16	\$250.27			
08-19-36-208-048	411	S	OLD WOODWARD AVE	#605	713	\$313.16	\$250.27			
08-19-36-208-049	411	S	OLD WOODWARD AVE	#607	615	\$270.11	\$215.87			
08-19-36-208-054	411	S	OLD WOODWARD AVE	#621	645	\$283.29	\$226.40			
08-19-36-208-055	411	S	OLD WOODWARD AVE	#623	699	\$307.01	\$245.36			
08-19-36-208-062	411	S	OLD WOODWARD AVE	#624	1,120	\$491.91	\$393.13			
08-19-36-208-063	411	S	OLD WOODWARD AVE	#622	1,454	\$638.61	\$510.37			
08-19-36-208-064	411	S	OLD WOODWARD AVE	#618	1,860	\$816.93	\$652.88			
08-19-36-208-065	411	S	OLD WOODWARD AVE	#614	793	\$348.29	\$278.35			
08-19-36-208-066	411	S	OLD WOODWARD AVE	#612	825	\$362.35	\$289.58			
08-19-36-208-067	411	S	OLD WOODWARD AVE	#610	2,665	\$1,170.49	\$935.45			
08-19-36-208-068	411	\$	OLD WOODWARD AVE	#608	995	\$437.01	\$349.26			
08-19-36-208-069	411	5	OLD WOODWARD AVE	#604	995	\$437.01	\$349.26			
08-19-36-208-070	411	S	OLD WOODWARD AVE	#602	995	\$437.01	\$349.26			
08-19-36-208-071	411	\$	OLD WOODWARD AVE	#600	995	\$437.01	\$349.26			
08-19-36-208-072	411	S	OLD WOODWARD AVE	#701	753	\$330.72	\$264.31			
08-19-36-208-073	411	S	OLD WOODWARD AVE	#703	713	\$313.16	\$250.27			
08-19-36-208-074	411	S	OLD WOODWARD AVE	#705	713	\$313.16	\$250.27			
08-19-36-208-075	411	S	OLD WOODWARD AVE	#707	615	\$270.11	\$215.87			
08-19-36-208-080	411	S	OLD WOODWARD AVE	#721	645	\$283.29	\$226.40			
08-19-36-208-081	411	<u> </u>	OLD WOODWARD AVE	#723	699	\$307.01	\$245.36			
08-19-36-208-086	411	S	OLD WOODWARD AVE	#730	804					
08-19-36-208-087	411	S	OLD WOODWARD AVE	#728	1,120	\$353.12 \$491.91	\$282.21			
08-19-36-208-088	411	S	OLD WOODWARD AVE	#724			\$393.13			
10-T3-30-500-000	411	3	TOTO MOODAAWD WAS	11724	1,120	\$491.91	\$393.13			

08-19-56-208-090	Fréderica						. 1	<del></del>
08.19.8-028-091   411   S	08-19-36-208-089		S			+		·
08-19-36-208-092						+		
08-193-6208-093		1			_	<del> </del>	\$348.29	
08-193-6208-094				OLD WOODWARD AVE	#712	825	\$362.35	\$289.58
0e.19-36-208-096			<del></del>	OLD WOODWARD AVE	#710	2,665	\$1,170.49	\$935.45
08-19-36-208-097		<del></del>		OLD WOODWARD AVE	#708	995	\$437.01	\$349.26
08-19-36-208-098	08-19-36-208-096	411	S	OLD WOODWARD AVE	#704	995	\$437.01	\$349.26
08-19-36-208-109		411		OLD WOODWARD AVE	#702	995	\$437.01	\$349.26
08-19-36-208-100	08-19-36-208-098	411	S	OLD WOODWARD AVE	#700	995	\$437.01	\$349.26
08-19-36-208-101	08-19-36-208-099	411	5	OLD WOODWARD AVE	#801	753	\$330.72	\$264.31
08-19-36-208-102	08-19-36-208-100	411	S	OLD WOODWARD AVE	#803	713	\$313.16	\$250.27
08-19-36-208-104	08-19-36-208-101	411	S	OLD WOODWARD AVE	#805	713	\$313.16	\$250.27
08-19-36-208-104	08-19-36-208-102	411	S	OLD WOODWARD AVE	#807	615	\$270.11	\$215.87
08-19-36-208-105	08-19-36-208-103	411	S	OLD WOODWARD AVE	#811	519	\$227.95	\$182.18
08-19-36-208-105	08-19-36-208-104	411	S	OLD WOODWARD AVE	$\overline{}$	+		
08-19-36-208-106	08-19-36-208-105	411	S	OLD WOODWARD AVE	#815	519	-	
Deligo   D	08-19-36-208-106	411	S	<u> </u>	_	+	-	
09-19-36-208-108		-				+		
08-19-36-208-115						<del>                                     </del>		
08-19-36-208-116						<del> </del>		
08-19-36-208-117								<del></del>
08-19-36-208-118								
18-19-36-208-119								
198-19-36-208-120								
1981-9-36-208-121								
18-19-36-208-122								
08-19-36-208-123		_				-		<del>-                                    </del>
08-19-36-208-124 411 \$ OLD WOODWARD AVE #800 995 \$437.01 \$349.26   08-19-36-208-125 411 \$ OLD WOODWARD AVE #901 753 \$330.72 \$264.31   08-19-36-208-126 411 \$ OLD WOODWARD AVE #901 753 \$330.72 \$264.31   08-19-36-208-126 411 \$ OLD WOODWARD AVE #903 713 \$313.16 \$250.27   08-19-36-208-127 411 \$ OLD WOODWARD AVE #905 713 \$313.16 \$250.27   08-19-36-208-128 411 \$ OLD WOODWARD AVE #907 615 \$270.11 \$215.87   08-19-36-208-128 411 \$ OLD WOODWARD AVE #907 615 \$270.11 \$215.87   08-19-36-208-129 411 \$ OLD WOODWARD AVE #911 519 \$227.95 \$182.18   08-19-36-208-130 411 \$ OLD WOODWARD AVE #913 519 \$227.95 \$182.18   08-19-36-208-133 411 \$ OLD WOODWARD AVE #913 519 \$227.95 \$182.18   08-19-36-208-134 411 \$ OLD WOODWARD AVE #921 645 \$283.29 \$226.40   08-19-36-208-135 411 \$ OLD WOODWARD AVE #923 699 \$307.01 \$245.36   08-19-36-208-135 411 \$ OLD WOODWARD AVE #927 699 \$307.01 \$245.36   08-19-36-208-136 411 \$ OLD WOODWARD AVE #927 699 \$307.01 \$245.36   08-19-36-208-136 411 \$ OLD WOODWARD AVE #929 699 \$307.01 \$245.36   08-19-36-208-138 411 \$ OLD WOODWARD AVE #929 699 \$307.01 \$245.36   08-19-36-208-134 411 \$ OLD WOODWARD AVE #929 699 \$307.01 \$245.36   08-19-36-208-134 411 \$ OLD WOODWARD AVE #929 699 \$307.01 \$245.36   08-19-36-208-134 411 \$ OLD WOODWARD AVE #929 699 \$307.01 \$245.36   08-19-36-208-134 411 \$ OLD WOODWARD AVE #929 699 \$307.01 \$245.36   08-19-36-208-141 411 \$ OLD WOODWARD AVE #929 699 \$307.01 \$245.36   08-19-36-208-143 411 \$ OLD WOODWARD AVE #929 699 \$307.01 \$245.36   08-19-36-208-144 411 \$ OLD WOODWARD AVE #929 699 \$307.01 \$245.36   08-19-36-208-144 411 \$ OLD WOODWARD AVE #924 \$1,120 \$491.91 \$393.13   08-19-36-208-144 411 \$ OLD WOODWARD AVE #924 \$1,120 \$491.91 \$393.13   08-19-36-208-144 411 \$ OLD WOODWARD AVE #908 995 \$307.01 \$349.26   08-19-36-208-149 411 \$ OLD WOODWARD AVE #908 995 \$307.01 \$349.26   08-19-36-208-149 411 \$ OLD WOODWARD AVE #908 995 \$307.01 \$349.26   08-19-36-208-149 411 \$ OLD WOODWARD AVE #908 995 \$307.01 \$349.26   08-19-36-208-151 411 \$ OLD WOODWARD AVE #908 995 \$307.01 \$349.26   08-19-36-208-154 411 \$ OLD WOO								
08-19-36-208-125				<del></del>				
08-19-36-208-126				<del>                                     </del>				\$349.26
08-19-36-208-127								
08-19-36-208-128						713		\$250.27
08-19-36-208-130					#905	713		\$250.27
08-19-36-208-130		411		OLD WOODWARD AVE	#907	615	\$270.11	\$215.87
08-19-36-208-133		411	\$		#911	519	\$227.95	\$182.18
08-19-36-208-134		411	_ 5		#913	519	\$227.95	\$182.18
08-19-36-208-135	08-19-36-208-133	411	. 5	OLD WOODWARD AVE	#921	645	\$283.29	\$226.40
08-19-36-208-136	08-19-36-208-134	411	5	OLD WOODWARD AVE	#923	699	\$307.01	\$245.36
08-19-36-208-136	08-19-36-208-135	411	S		#925	699	\$307.01	\$245.36
08-19-36-208-137	08-19-36-208-136	411	5	OLD WOODWARD AVE	#927	699		
08-19-36-208-141	08-19-36-208-137	411	S	OLD WOODWARD AVE	#929	699		
08-19-36-208-141         411         S         OLD WOODWARD AVE         #924         1,120         \$491.91         \$393.13           08-19-36-208-142         411         S         OLD WOODWARD AVE         #922         1,454         \$638.61         \$510.37           08-19-36-208-143         411         S         OLD WOODWARD AVE         #918         1,860         \$816.93         \$652.88           08-19-36-208-146         411         S         OLD WOODWARD AVE         #910         2,665         \$1,170.49         \$935.45           08-19-36-208-147         411         S         OLD WOODWARD AVE         #908         995         \$437.01         \$349.26           08-19-36-208-149         411         S         OLD WOODWARD AVE         #904         995         \$437.01         \$349.26           08-19-36-208-150         411         S         OLD WOODWARD AVE         #902         995         \$437.01         \$349.26           08-19-36-208-151         411         S         OLD WOODWARD AVE         #900         995         \$437.01         \$349.26           08-19-36-208-152         411         S         OLD WOODWARD AVE         #1001         754         \$331.16         \$264.66           08-19-36-208-153 <t< td=""><td>08-19-36-208-138</td><td>411</td><td>S</td><td>OLD WOODWARD AVE</td><td></td><td><del></del></td><td></td><td></td></t<>	08-19-36-208-138	411	S	OLD WOODWARD AVE		<del></del>		
08-19-36-208-142         411         S         OLD WOODWARD AVE         #922         1,454         \$638.61         \$510.37           08-19-36-208-143         411         S         OLD WOODWARD AVE         #918         1,860         \$816.93         \$652.88           08-19-36-208-146         411         S         OLD WOODWARD AVE         #910         2,665         \$1,170.49         \$935.45           08-19-36-208-147         411         S         OLD WOODWARD AVE         #908         995         \$437.01         \$349.26           08-19-36-208-149         411         S         OLD WOODWARD AVE         #904         995         \$437.01         \$349.26           08-19-36-208-150         411         S         OLD WOODWARD AVE         #902         995         \$437.01         \$349.26           08-19-36-208-151         411         S         OLD WOODWARD AVE         #900         995         \$437.01         \$349.26           08-19-36-208-152         411         S         OLD WOODWARD AVE         #1001         754         \$331.16         \$264.66           08-19-36-208-153         411         S         OLD WOODWARD AVE         #1003         714         \$313.59         \$250.62           08-19-36-208-154 <td< td=""><td>08-19-36-208-141</td><td>411</td><td>5</td><td>OLD WOODWARD AVE</td><td></td><td>-</td><td></td><td></td></td<>	08-19-36-208-141	411	5	OLD WOODWARD AVE		-		
08-19-36-208-143	08-19-36-208-142	411				-		
08-19-36-208-146	08-19-36-208-143					<del></del>		
08-19-36-208-147	08-19-36-208-146			<del></del>		<del></del>		
08-19-36-208-150				i				
08-19-36-208-150				-				
08-19-36-208-151						<del></del>		
08-19-36-208-152         411         S         OLD WOODWARD AVE         #1001         754         \$331.16         \$264.66           08-19-36-208-153         411         S         OLD WOODWARD AVE         #1003         714         \$313.59         \$250.62           08-19-36-208-154         411         S         OLD WOODWARD AVE         #1005         714         \$313.59         \$250.62           08-19-36-208-155         411         S         OLD WOODWARD AVE         #1007         616         \$270.55         \$216.22           08-19-36-208-156         411         S         OLD WOODWARD AVE         #1011         \$19         \$227.95         \$182.18           08-19-36-208-157         411         S         OLD WOODWARD AVE         #1013         \$19         \$227.95         \$182.18           08-19-36-208-168         411         S         OLD WOODWARD AVE         #1024         1,120         \$491.91         \$393.13           08-19-36-208-169         411         S         OLD WOODWARD AVE         #1022         1,454         \$638.61         \$510.37           08-19-36-208-170         411         S         OLD WOODWARD AVE         #1018         1,860         \$816.93         \$652.88								
08-19-36-208-153         411         S         OLD WOODWARD AVE         #1003         714         \$313.59         \$250.62           08-19-36-208-154         411         S         OLD WOODWARD AVE         #1005         714         \$313.59         \$250.62           08-19-36-208-155         411         S         OLD WOODWARD AVE         #1007         616         \$270.55         \$216.22           08-19-36-208-156         411         S         OLD WOODWARD AVE         #1011         519         \$227.95         \$182.18           08-19-36-208-157         411         S         OLD WOODWARD AVE         #1013         519         \$227.95         \$182.18           08-19-36-208-168         411         S         OLD WOODWARD AVE         #1024         1,120         \$491.91         \$393.13           08-19-36-208-169         411         S         OLD WOODWARD AVE         #1022         1,454         \$638.61         \$510.37           08-19-36-208-170         411         S         OLD WOODWARD AVE         #1018         1,860         \$816.93         \$652.88								
08-19-36-208-154         411         S         OLD WOODWARD AVE         #1005         714         \$313.59         \$250.62           08-19-36-208-155         411         S         OLD WOODWARD AVE         #1007         616         \$270.55         \$216.22           08-19-36-208-156         411         S         OLD WOODWARD AVE         #1011         519         \$227.95         \$182.18           08-19-36-208-157         411         S         OLD WOODWARD AVE         #1013         519         \$227.95         \$182.18           08-19-36-208-168         411         S         OLD WOODWARD AVE         #1024         1,120         \$491.91         \$393.13           08-19-36-208-169         411         S         OLD WOODWARD AVE         #1022         1,454         \$638.61         \$510.37           08-19-36-208-170         411         S         OLD WOODWARD AVE         #1018         1,860         \$816.93         \$652.88								<del></del>
08-19-36-208-155         411         S         OLD WOODWARD AVE         #1007         616         \$270.55         \$216.22           08-19-36-208-156         411         S         OLD WOODWARD AVE         #1011         519         \$227.95         \$182.18           08-19-36-208-157         411         S         OLD WOODWARD AVE         #1013         519         \$227.95         \$182.18           08-19-36-208-168         411         S         OLD WOODWARD AVE         #1024         1,120         \$491.91         \$393.13           08-19-36-208-169         411         S         OLD WOODWARD AVE         #1022         1,454         \$638.61         \$510.37           08-19-36-208-170         411         S         OLD WOODWARD AVE         #1018         1,860         \$816.93         \$652.88								
08-19-36-208-156         411         S         OLD WOODWARD AVE         #1011         519         \$227.95         \$182.18           08-19-36-208-157         411         S         OLD WOODWARD AVE         #1013         519         \$227.95         \$182.18           08-19-36-208-168         411         S         OLD WOODWARD AVE         #1024         1,120         \$491.91         \$393.13           08-19-36-208-169         411         S         OLD WOODWARD AVE         #1022         1,454         \$638.61         \$510.37           08-19-36-208-170         411         S         OLD WOODWARD AVE         #1018         1,860         \$816.93         \$652.88								<del></del>
08-19-36-208-157     411     S     OLD WOODWARD AVE     #1013     519     \$227.95     \$182.18       08-19-36-208-168     411     S     OLD WOODWARD AVE     #1024     1,120     \$491.91     \$393.13       08-19-36-208-169     411     S     OLD WOODWARD AVE     #1022     1,454     \$638.61     \$510.37       08-19-36-208-170     411     S     OLD WOODWARD AVE     #1018     1,860     \$816.93     \$652.88								
08-19-36-208-168 411 S OLD WOODWARD AVE #1024 1,120 \$491.91 \$393.13 08-19-36-208-169 411 S OLD WOODWARD AVE #1022 1,454 \$638.61 \$510.37 08-19-36-208-170 411 S OLD WOODWARD AVE #1018 1,860 \$816.93 \$652.88								
08-19-36-208-169 411 S OLD WOODWARD AVE #1022 1,454 \$638.61 \$510.37 08-19-36-208-170 411 S OLD WOODWARD AVE #1018 1,860 \$816.93 \$652.88				<del></del>	_			
08-19-36-208-170 411 S OLD WOODWARD AVE #1018 1,860 \$816.93 \$652.88				<del></del>	_			
	08-19-36-208-169					1,454	\$638.61	\$510.37
08-19-36-208-171 411 S OLD WOODWARD AVE #1014 702 6349 30 6379 35	08-19-36-208-170			OLD WOODWARD AVE		1,860	\$816.93	\$652.88
2/8.35   340.23   \$2/8.35	08-19-36-208-171	411	S	OLD WOODWARD AVE	#1014	793	\$348.29	\$278.35

08-19-36-208-172	411	S	OLD WOODWARD AVE	#1012	826	\$362.79	\$289.94
08-19-36-208-173	411	S	OLD WOODWARD AVE	#1010	2,665	\$1,170.49	\$935.45
08-19-36-208-174	411	S	OLD WOODWARD AVE	#1008	994	\$436.57	\$348.91
08-19-36-208-175	411	S	OLD WOODWARD AVE	#1004	994	\$436.57	\$348.91
08-19-36-208-176	411	S	OLD WOODWARD AVE	#1002	994	\$436.57	\$348.91
08-19-36-208-177	411	5	OLD WOODWARD AVE	#1000	995	\$437.01	\$349.26
08-19-36-208-178	411	S	OLD WOODWARD AVE	#711	1,065	\$467.76	\$373.83
08-19-36-208-179	411	5	OLD WOODWARD AVE	#725	1,428	\$627.19	\$501.25
08-19-36-208-180	411	S	OLD WOODWARD AVE	#729	1,432	\$628.95	\$502.65
08-19-36-208-181	411	5	OLD WOODWARD AVE	#829	1,432	\$628.95	\$502.65
08-19-36-208-182	411	5	OLD WOODWARD AVE	#828	1,956	\$859.09	\$686.58
08-19-36-208-183	411	5	OLD WOODWARD AVE	#1015	1,065	\$467.76	\$373.83
08-19-36-208-184	411	S	OLD WOODWARD AVE	#1021	1,373	\$603.03	\$481.94
08-19-36-208-185	411	<u>-</u>	OLD WOODWARD AVE	#1029	1,432	\$628.95	\$502.65
08-19-36-208-186	411	5	OLD WOODWARD AVE	#511	1,065	\$467.76	\$373.83
08-19-36-208-187	411	S	OLD WOODWARD AVE	#611	1,065	\$467.76	\$373.83
08-19-36-208-188	411	S	OLD WOODWARD AVE	#615	1,065	\$467.76	
08-19-36-208-189	411	5	OLD WOODWARD AVE	#715	1,065		\$373.83
08-19-36-208-190	411	5	OLD WOODWARD AVE	#912	1,648	\$467.76 \$723.81	\$373.83
08-19-36-208-191	411					· · · · · · · · · · · · · · · · · · ·	\$578.47
08-19-36-208-191	411	S	OLD WOODWARD AVE	#1028	1,956	\$859.09	\$686.58
08-19-36-208-193	3 411	S		_	1,428	\$627.19	\$501.25
08-19-36-208-194	411	S	OLD WOODWARD AVE	#1025	1,428	\$627.19	\$501.25
08-19-36-208-195		S	OLD WOODWARD AVE	#506	995	\$437.01	\$349.26
	411		OLD WOODWARD AVE	#606	995	\$437.01	\$349.26
08-19-36-208-196	411	S	OLD WOODWARD AVE	#706	995	\$437.01	\$349.26
08-19-36-208-197	411	<u>S</u>	OLD WOODWARD AVE	#806	995	\$437.01	\$349.26
08-19-36-208-198	411	5	OLD WOODWARD AVE	#906	995	\$437.01	\$349.26
08-19-36-208-199	411	S	OLD WOODWARD AVE	#1006	995	\$437.01	\$349.26
08-19-36-208-200	411	<u>\$</u>	OLD WOODWARD AVE	#630	1,956	\$859.09	\$686.58
08-19-36-208-201	411	<u>\$</u>	OLD WOODWARD AVE	#915	1,065	\$467.76	\$373.83
08-19-36-208-202	411		OLD WOODWARD AVE	#928	1,956	\$859.09	\$686.58
08-19-36-208-203	411	<u>s</u>	OLD WOODWARD AVE	#625	1,428	\$627.19	\$501.25
08-19-36-208-205	411	S	OLD WOODWARD AVE	#629	699	\$307.01	\$245.36
08-19-36-208-206	411		OLD WOODWARD AVE	#631	702	\$308.32	\$246.41
08-19-36-208-207	469/479	5	OLD WOODWARD AVE			\$52,493.64	\$41,952.59
<u>08-19-</u> 36-210-001	555	S	OLD WOODWARD AVE			\$371,391.23	\$296,813.50
08-19-36-210-003	555	S	OLD WOODWARD AVE			\$42,354.60	\$33,849.53
08-19-36-210-005	555	5	OLD WOODWARD AVE			\$40,087.00	\$32,037.28
08-19-36-211-001	400	S	OLD WOODWARD AVE	#208		\$85,425.98	\$68,271.90
08-19-36-253-025	750	5	OLD WOODWARD AVE			\$32,580.46	\$26,038.10
08-19-36-253-026	772	S	OLD WOODWARD AVE			\$52,780.35	\$42,181.72
08-19-36-253-028	588	5	OLD WOODWARD AVE			\$97,741.39	\$78,114.30
08-19-36-253-029	608	S	OLD WOODWARD AVE			\$65,160.93	\$52,076.20
08-19-36-253-030	500	S	OLD WOODWARD AVE			\$96,438.17	\$77,072.77
08-19-36-253-034	690	S	OLD WOODWARD AVE			\$97,741.39	\$78,114.30
08-19-36-253-035	670	S	OLD WOODWARD AVE			\$97,741.39	\$78,114.30
08-19-36-278-012	808	S	OLD WOODWARD AVE			\$62,424.17	\$49,889.00
08-19-36-278-013	820	\$	OLD WOODWARD AVE			\$32,580.46	\$26,038.10
08-19-36-278-014	832	S	OLD WOODWARD AVE			\$32,580.46	\$26,038.10
08-19-36-278-017	850	S	OLD WOODWARD AVE			\$97,741.39	\$78,114.30
08-19-36-278-018	880	S	OLD WOODWARD AVE			\$166,160.37	\$132,794.31
	-		100000000000000000000000000000000000000		_	\$100,100.37	7132,734.31
				+		\$2,048,568.37	\$1,637,202.79
			<u> </u>			32,040,300.37	\$1,057,202.75



(Engineering)

DATE:

March 8, 2022

TO:

Thomas M. Markus, City Manager

FROM:

Scott D. Zielinski, Assistant City Engineer

**SUBJECT:** 

Hearing of Necessity for S. Old Woodward Sidewalk and

Streetscape SAD

### INTRODUCTION:

The city's streetscape and sidewalks will be improved this summer as part of the Engineering Department's planned downtown area Phase 3 reconstruction project along South Old Woodward between Brown Street and Landon Street. Work will be similar to previous phases of work completed in 2018 for Phase 1 on Old Woodward from Oakland Avenue to Brown Street, and in 2020 for Phase 2 work completed on Maple Road from Southfield Road to Pierce Street, and from Old Woodward Avenue to Woodward Avenue. The completed work included upgrades to all streetscape features from building face to building face across the road. The Engineering Department is recommending the Sidewalk and Streetscape Special Assessment District (SAD) be set at this time.

### BACKGROUND:

Phase 1 and Phase 2 portions of the downtown reconstruction projects (completed in 2018 and 2020), included complete replacement of the sidewalks, and provided certain landscape enhancements and pedestrian-oriented amenities within the project areas. The costs to the city for construction of these improvements in Phase 1 and Phase 2 were partially defrayed by way of Special Assessment to the property owners adjoining that project area. In the same way, the city intends to assess a portion of the costs for the streetscape improvements that are planned to be constructed with the Phase 3 project.

The new streetscape will consist of an enhanced version of the downtown standard sawcut concrete sidewalk with exposed aggregate sidewalk between the main pedestrian path and the street curb. Elements of the new streetscape design to be included in this project include:

- All new concrete and exposed aggregate sidewalks from the building face to the back of curbs.
- Removal and replacement of all street trees, including excavation and replacement with approximately 1,000 cubic feet of specially formulated soil designed to encourage tree growth.
- Enlarged, raised planter beds around each new street tree, framed by a 6 inch high exposed aggregate curb, with irrigation, and professionally designed landscaping.
- Granite seating areas where space permits.

• Installation of underground electrical system to provide new lighting opportunities for trees along the sidewalk and in the proposed median.

On previous projects of this nature, it has been the City's policy to assess 75% of the streetscape improvements to the properties that share frontage with the improvements. The cost per property will be assessed as an average cost per linear foot of frontage for the improvements. The properties with multiple owners will share the cost of the frontage, and the amount will be based on the square footage of building area owned. The City will bill one-tenth of the assessment, as is standard on other special assessment districts, plus interest, on an annual basis, to make the cost more manageable for the property owners. The attached map highlights property frontages subject to a sidewalk streetscape assessment.

For purposes of the assessment district, the properties on the west side of South Old Woodward from East Brown Street to Daines Street (the RH development property) have been included in the district in case current development plans change and the City elects to proceed with improvements in this area. However, if the development project begins as planned, about the same time as the City's project (as the developer is currently indicating), then the cost for streetscape improvements in this area will not be expended by the City, nor charged to the property owner as they will be completed by the development.

The Engineering Department plans to provide a detailed spreadsheet with estimated assessment values based off the engineer's estimate at the Hearing of Necessity.

### LEGAL REVIEW:

Chapter 94 – Special Assessments of the Birmingham City Code outlines the process by which a special assessment is conducted in the City of Birmingham. This project will follow the prescribed City Code procedures.

### FISCAL IMPACT:

Revenue generated from the Sidewalk and Streetscape SAD for the Phase 3 Old Woodward Reconstruction project will defray the costs incurred by the city for construction of these improvements and has been considered as an integral part of the financial forecasting for the General Fund in future years.

### PUBLIC COMMUNICATIONS:

Notice for the Confirmation of Roll is to be distributed by the Clerk's Office. The Engineering Department has sent all property owners a letter explaining the associated work. The design team held an informational meeting regarding the project on Monday, February 21, 2022 from 5:30-7:00 p.m. at City Hall in the Commission Room (a zoom link was also provided on the City website for remote viewing). The team discussed the project overview, traffic access during construction, Birmingham Shopping District initiatives during construction, and special assessments related to the project. A recording of this meeting is available on the city's website at <a href="https://www.bhamgov.org/oldwoodwardphase3">www.bhamgov.org/oldwoodwardphase3</a>.

### SUMMARY:

The Engineering Department recommends that the commission declare necessity and approve a Special Assessment District for the improvement of sidewalk and streetscape as part of the Phase 3 South Old Woodward Reconstruction. Should the Commission form the Special Assessment District, a Public Hearing for Confirmation of the Roll should be set on April 11, 2022.

### **ATTACHMENTS:**

Map of proposed Special Assessment District

Spreadsheet of properties with estimated costs and associated lengths

Clerk's Confirmation of Public Hearing Notice

### SUGGESTED COMMISSION ACTION:

Make a motion adopting a resolution declaring necessity and approving a Special Assessment District with special assessments levied in accordance with benefits against the properties within such assessment district. The special assessment district shall include all properties within the following district of **165** parcels (listed below), and the City Commission will meet on Monday, April 11, 2022 at 7:30 P.M. for the purpose of conducting the Public Hearing to Confirm the Assessment Roll for the sidewalk and streetscape improvements adjacent to all properties within the project area on South Old Woodward Avenue, between Brown Street and Landon Street.

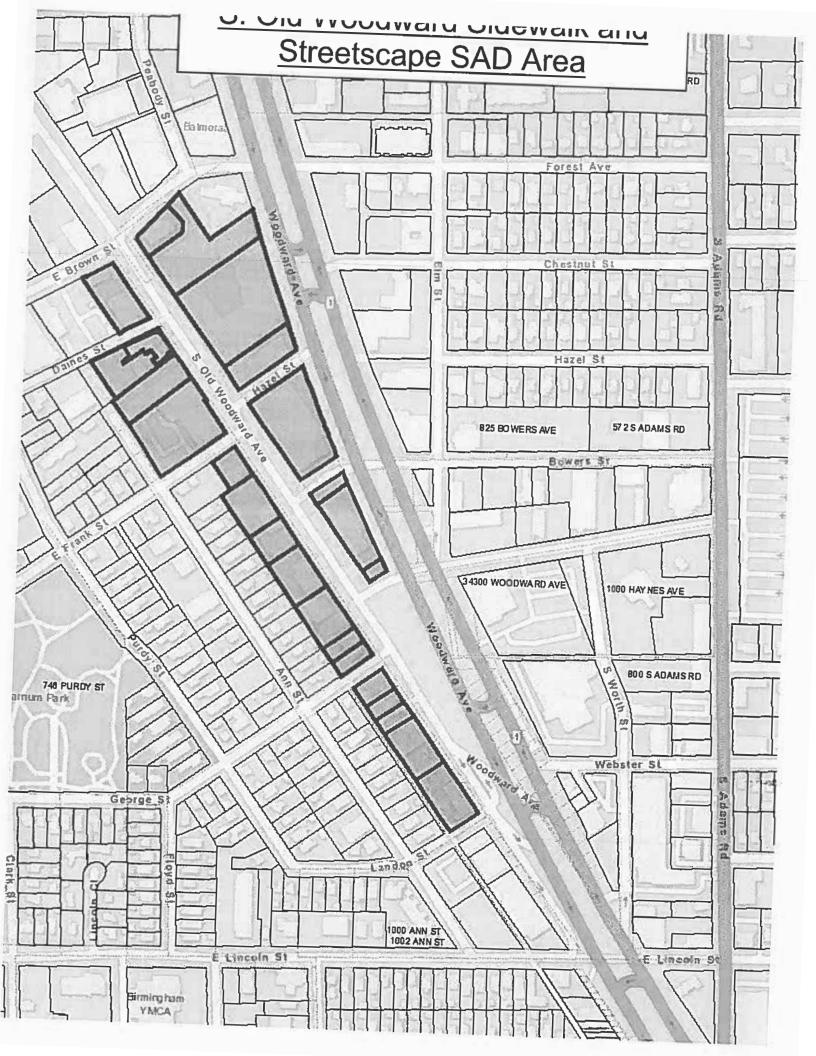
Parcel No.		Property Address		
08-19-36-204-027	300	s	OLD WOODWARD AVE	
08-19-36-205-026	442	S	OLD WOODWARD AVE	
08-19-36-205-041	444	S	OLD WOODWARD AVE	
08-19-36-205-043	400	S	OLD WOODWARD AVE	
08-19-36-208-016	355	5	OLD WOODWARD AVE	
08-19-36-208-017	401	S	OLD WOODWARD AVE	
08-19-36-208-019	411	5	OLD WOODWARD AVE	
08-19-36-208-020	411	s	OLD WOODWARD AVE	
08-19-36-208-021	411	S	OLD WOODWARD AVE	
08-19-36-208-022	411	S	OLD WOODWARD AVE	
08-19-36-208-025	411	5	OLD WOODWARD AVE	
08-19-36-208-026	411	5	OLD WOODWARD AVE	
08-19-36-208-027	411	5	OLD WOODWARD AVE	
08-19-36-208-028	411	s	OLD WOODWARD AVE	
08-19-36-208-029	411	s	OLD WOODWARD AVE	
08-19-36-208-030	411	S	OLD WOODWARD AVE	
08-19-36-208-031	411	s	OLD WOODWARD AVE	
08-19-36-208-032	411	S	OLD WOODWARD AVE	

1			
08-19-36-208-033	411	S	OLD WOODWARD AVE
08-19-36-208-034	411	S	OLD WOODWARD AVE
08-19-36-208-035	411	S	OLD WOODWARD AVE
08-19-36-208-036	411	5	OLD WOODWARD AVE
08-19-36-208-037	411	5	OLD WOODWARD AVE
08-19-36-208-038	411	S	OLD WOODWARD AVE
08-19-36-208-039	411	S	OLD WOODWARD AVE
08-19-36-208-040	411	\$	OLD WOODWARD AVE
08-19-36-208-041	411	S	OLD WOODWARD AVE
08-19-36-208-043	— 411 ·	5	OLD WOODWARD AVE
08-19-36-208-044	411	5	OLD WOODWARD AVE
08-19-36-208-045	411	S	OLD WOODWARD AVE
08-19-36-208-046	411	S	OLD WOODWARD AVE
08-19-36-208-047	411	5	OLD WOODWARD AVE
08-19-36-208-048	411	s	OLD WOODWARD AVE
08-19-36-208-049	411	5	OLD WOODWARD AVE
08-19-36-208-054	411	5	OLD WOODWARD AVE
08-19-36-208-055	411	S	OLD WOODWARD AVE
08-19-36-208-062	411	5	OLD WOODWARD AVE
08-19-36-208-063	411	5	OLD WOODWARD AVE
08-19-36-208-064	411	5	OLD WOODWARD AVE
08-19-36-208-065	411	5	OLD WOODWARD AVE
08-19-36-208-066	411	5	OLD WOODWARD AVE
08-19-36-208-067	411	5	OLD WOODWARD AVE
08-19-36-208-068	411	S	OLD WOODWARD AVE
08-19-36-208-069	411	5	OLD WOODWARD AVE
08-19-36-208-070	411	5	OLD WOODWARD AVE
08-19-36-208-071	411	5	OLD WOODWARD AVE
08-19-36-208-072	411	S	OLD WOODWARD AVE
08-19-36-208-073	411	5	OLD WOODWARD AVE
08-19-36-208-074	411	5	OLD WOODWARD AVE
08-19-36-208-075	411	5	OLD WOODWARD AVE
08-19-36-208-080	411	s	OLD WOODWARD AVE
08-19-36-208-081	411	s	OLD WOODWARD AVE
08-19-36-208-086	411	5	OLD WOODWARD AVE
08-19-36-208-087	411	5	OLD WOODWARD AVE
08-19-36-208-088	411	5	OLD WOODWARD AVE
08-19-36-208-089	411	<u>-</u>	OLD WOODWARD AVE
08-19-36-208-090	411	5	OLD WOODWARD AVE
08-19-36-208-091	411	<u>s</u>	OLD WOODWARD AVE
08-19-36-208-092	411	5	OLD WOODWARD AVE
08-19-36-208-093	411	<u> </u>	OLD WOODWARD AVE
-3 10 DO 100 030	411	s	OLD WOODWARD AVE

08-19-36-208-097         411         S OLD WOODWARD AVE           08-19-36-208-098         411         S OLD WOODWARD AVE           08-19-36-208-099         411         S OLD WOODWARD AVE           08-19-36-208-100         411         S OLD WOODWARD AVE           08-19-36-208-101         411         S OLD WOODWARD AVE           08-19-36-208-102         411         S OLD WOODWARD AVE           08-19-36-208-103         411         S OLD WOODWARD AVE           08-19-36-208-104         411         S OLD WOODWARD AVE           08-19-36-208-105         411         S OLD WOODWARD AVE           08-19-36-208-106         411         S OLD WOODWARD AVE           08-19-36-208-107         411         S OLD WOODWARD AVE           08-19-36-208-108         411         S OLD WOODWARD AVE           08-19-36-208-118         411         S OLD WOODWARD AVE           08-19-36-208-117         411         S OLD WOODWARD AVE           08-19-36-208-118         411         S OLD WOODWARD AVE           08-19-36-208-119         411         S OLD WOODWARD AVE           08-19-36-208-120         411         S OLD WOODWARD AVE           08-19-36-208-121         411         S OLD WOODWARD AVE           08-19-36-208-123         411	08-19-36-208-096	411	s	OLD WOODWARD AVE
08-19-36-208-098         411         SOLD WOODWARD AVE           08-19-36-208-099         411         SOLD WOODWARD AVE           08-19-36-208-100         411         SOLD WOODWARD AVE           08-19-36-208-101         411         SOLD WOODWARD AVE           08-19-36-208-102         411         SOLD WOODWARD AVE           08-19-36-208-103         411         SOLD WOODWARD AVE           08-19-36-208-104         411         SOLD WOODWARD AVE           08-19-36-208-105         411         SOLD WOODWARD AVE           08-19-36-208-106         411         SOLD WOODWARD AVE           08-19-36-208-107         411         SOLD WOODWARD AVE           08-19-36-208-108         411         SOLD WOODWARD AVE           08-19-36-208-118         411         SOLD WOODWARD AVE           08-19-36-208-118         411         SOLD WOODWARD AVE           08-19-36-208-119         411         SOLD WOODWARD AVE           08-19-36-208-119         411         SOLD WOODWARD AVE           08-19-36-208-120         411         SOLD WOODWARD AVE           08-19-36-208-121         411         SOLD WOODWARD AVE           08-19-36-208-122         411         SOLD WOODWARD AVE           08-19-36-208-123         411         SOLD W				
08-19-36-208-099         411         S OLD WOODWARD AVE           08-19-36-208-100         411         S OLD WOODWARD AVE           08-19-36-208-101         411         S OLD WOODWARD AVE           08-19-36-208-102         411         S OLD WOODWARD AVE           08-19-36-208-103         411         S OLD WOODWARD AVE           08-19-36-208-104         411         S OLD WOODWARD AVE           08-19-36-208-105         411         S OLD WOODWARD AVE           08-19-36-208-106         411         S OLD WOODWARD AVE           08-19-36-208-107         411         S OLD WOODWARD AVE           08-19-36-208-115         411         S OLD WOODWARD AVE           08-19-36-208-115         411         S OLD WOODWARD AVE           08-19-36-208-116         411         S OLD WOODWARD AVE           08-19-36-208-117         411         S OLD WOODWARD AVE           08-19-36-208-118         411         S OLD WOODWARD AVE           08-19-36-208-119         411         S OLD WOODWARD AVE           08-19-36-208-120         411         S OLD WOODWARD AVE           08-19-36-208-121         411         S OLD WOODWARD AVE           08-19-36-208-123         411         S OLD WOODWARD AVE           08-19-36-208-124         411				
08-19-36-208-100         411         S OLD WOODWARD AVE           08-19-36-208-101         411         S OLD WOODWARD AVE           08-19-36-208-102         411         S OLD WOODWARD AVE           08-19-36-208-103         411         S OLD WOODWARD AVE           08-19-36-208-104         411         S OLD WOODWARD AVE           08-19-36-208-105         411         S OLD WOODWARD AVE           08-19-36-208-106         411         S OLD WOODWARD AVE           08-19-36-208-107         411         S OLD WOODWARD AVE           08-19-36-208-118         411         S OLD WOODWARD AVE           08-19-36-208-115         411         S OLD WOODWARD AVE           08-19-36-208-116         411         S OLD WOODWARD AVE           08-19-36-208-117         411         S OLD WOODWARD AVE           08-19-36-208-118         411         S OLD WOODWARD AVE           08-19-36-208-119         411         S OLD WOODWARD AVE           08-19-36-208-120         411         S OLD WOODWARD AVE           08-19-36-208-121         411         S OLD WOODWARD AVE           08-19-36-208-122         411         S OLD WOODWARD AVE           08-19-36-208-123         411         S OLD WOODWARD AVE           08-19-36-208-124         411				
08-19-36-208-101         411         S OLD WOODWARD AVE           08-19-36-208-102         411         S OLD WOODWARD AVE           08-19-36-208-103         411         S OLD WOODWARD AVE           08-19-36-208-104         411         S OLD WOODWARD AVE           08-19-36-208-105         411         S OLD WOODWARD AVE           08-19-36-208-106         411         S OLD WOODWARD AVE           08-19-36-208-107         411         S OLD WOODWARD AVE           08-19-36-208-115         411         S OLD WOODWARD AVE           08-19-36-208-115         411         S OLD WOODWARD AVE           08-19-36-208-116         411         S OLD WOODWARD AVE           08-19-36-208-117         411         S OLD WOODWARD AVE           08-19-36-208-118         411         S OLD WOODWARD AVE           08-19-36-208-119         411         S OLD WOODWARD AVE           08-19-36-208-120         411         S OLD WOODWARD AVE           08-19-36-208-121         411         S OLD WOODWARD AVE           08-19-36-208-122         411         S OLD WOODWARD AVE           08-19-36-208-123         411         S OLD WOODWARD AVE           08-19-36-208-124         411         S OLD WOODWARD AVE           08-19-36-208-125         411				
08-19-36-208-102         411         S OLD WOODWARD AVE           08-19-36-208-103         411         S OLD WOODWARD AVE           08-19-36-208-104         411         S OLD WOODWARD AVE           08-19-36-208-105         411         S OLD WOODWARD AVE           08-19-36-208-106         411         S OLD WOODWARD AVE           08-19-36-208-107         411         S OLD WOODWARD AVE           08-19-36-208-108         411         S OLD WOODWARD AVE           08-19-36-208-115         411         S OLD WOODWARD AVE           08-19-36-208-116         411         S OLD WOODWARD AVE           08-19-36-208-117         411         S OLD WOODWARD AVE           08-19-36-208-118         411         S OLD WOODWARD AVE           08-19-36-208-120         411         S OLD WOODWARD AVE           08-19-36-208-121         411         S OLD WOODWARD AVE           08-19-36-208-122         411         S OLD WOODWARD AVE           08-19-36-208-123         411         S OLD WOODWARD AVE           08-19-36-208-124         411         S OLD WOODWARD AVE           08-19-36-208-125         411         S OLD WOODWARD AVE           08-19-36-208-126         411         S OLD WOODWARD AVE           08-19-36-208-128         411				·
08-19-36-208-103         411         S OLD WOODWARD AVE           08-19-36-208-104         411         S OLD WOODWARD AVE           08-19-36-208-105         411         S OLD WOODWARD AVE           08-19-36-208-106         411         S OLD WOODWARD AVE           08-19-36-208-107         411         S OLD WOODWARD AVE           08-19-36-208-108         411         S OLD WOODWARD AVE           08-19-36-208-115         411         S OLD WOODWARD AVE           08-19-36-208-116         411         S OLD WOODWARD AVE           08-19-36-208-117         411         S OLD WOODWARD AVE           08-19-36-208-118         411         S OLD WOODWARD AVE           08-19-36-208-119         411         S OLD WOODWARD AVE           08-19-36-208-120         411         S OLD WOODWARD AVE           08-19-36-208-121         411         S OLD WOODWARD AVE           08-19-36-208-122         411         S OLD WOODWARD AVE           08-19-36-208-123         411         S OLD WOODWARD AVE           08-19-36-208-124         411         S OLD WOODWARD AVE           08-19-36-208-125         411         S OLD WOODWARD AVE           08-19-36-208-127         411         S OLD WOODWARD AVE           08-19-36-208-133         411				
08-19-36-208-104         411         S         OLD WOODWARD AVE           08-19-36-208-105         411         S         OLD WOODWARD AVE           08-19-36-208-106         411         S         OLD WOODWARD AVE           08-19-36-208-107         411         S         OLD WOODWARD AVE           08-19-36-208-108         411         S         OLD WOODWARD AVE           08-19-36-208-115         411         S         OLD WOODWARD AVE           08-19-36-208-116         411         S         OLD WOODWARD AVE           08-19-36-208-117         411         S         OLD WOODWARD AVE           08-19-36-208-118         411         S         OLD WOODWARD AVE           08-19-36-208-119         411         S         OLD WOODWARD AVE           08-19-36-208-120         411         S         OLD WOODWARD AVE           08-19-36-208-121         411         S         OLD WOODWARD AVE           08-19-36-208-122         411         S         OLD WOODWARD AVE           08-19-36-208-123         411         S         OLD WOODWARD AVE           08-19-36-208-124         411         S         OLD WOODWARD AVE           08-19-36-208-125         411         S         OLD WOODWARD AVE				
08-19-36-208-105         411         S OLD WOODWARD AVE           08-19-36-208-106         411         S OLD WOODWARD AVE           08-19-36-208-107         411         S OLD WOODWARD AVE           08-19-36-208-108         411         S OLD WOODWARD AVE           08-19-36-208-115         411         S OLD WOODWARD AVE           08-19-36-208-116         411         S OLD WOODWARD AVE           08-19-36-208-117         411         S OLD WOODWARD AVE           08-19-36-208-118         411         S OLD WOODWARD AVE           08-19-36-208-119         411         S OLD WOODWARD AVE           08-19-36-208-120         411         S OLD WOODWARD AVE           08-19-36-208-121         411         S OLD WOODWARD AVE           08-19-36-208-122         411         S OLD WOODWARD AVE           08-19-36-208-123         411         S OLD WOODWARD AVE           08-19-36-208-123         411         S OLD WOODWARD AVE           08-19-36-208-124         411         S OLD WOODWARD AVE           08-19-36-208-125         411         S OLD WOODWARD AVE           08-19-36-208-126         411         S OLD WOODWARD AVE           08-19-36-208-128         411         S OLD WOODWARD AVE           08-19-36-208-130         411				
08-19-36-208-106         411         S OLD WOODWARD AVE           08-19-36-208-107         411         S OLD WOODWARD AVE           08-19-36-208-108         411         S OLD WOODWARD AVE           08-19-36-208-115         411         S OLD WOODWARD AVE           08-19-36-208-116         411         S OLD WOODWARD AVE           08-19-36-208-117         411         S OLD WOODWARD AVE           08-19-36-208-118         411         S OLD WOODWARD AVE           08-19-36-208-119         411         S OLD WOODWARD AVE           08-19-36-208-120         411         S OLD WOODWARD AVE           08-19-36-208-121         411         S OLD WOODWARD AVE           08-19-36-208-122         411         S OLD WOODWARD AVE           08-19-36-208-123         411         S OLD WOODWARD AVE           08-19-36-208-124         411         S OLD WOODWARD AVE           08-19-36-208-125         411         S OLD WOODWARD AVE           08-19-36-208-126         411         S OLD WOODWARD AVE           08-19-36-208-127         411         S OLD WOODWARD AVE           08-19-36-208-130         411         S OLD WOODWARD AVE           08-19-36-208-133         411         S OLD WOODWARD AVE           08-19-36-208-134         411				
08-19-36-208-107         411         S OLD WOODWARD AVE           08-19-36-208-108         411         S OLD WOODWARD AVE           08-19-36-208-115         411         S OLD WOODWARD AVE           08-19-36-208-116         411         S OLD WOODWARD AVE           08-19-36-208-117         411         S OLD WOODWARD AVE           08-19-36-208-118         411         S OLD WOODWARD AVE           08-19-36-208-119         411         S OLD WOODWARD AVE           08-19-36-208-120         411         S OLD WOODWARD AVE           08-19-36-208-121         411         S OLD WOODWARD AVE           08-19-36-208-122         411         S OLD WOODWARD AVE           08-19-36-208-123         411         S OLD WOODWARD AVE           08-19-36-208-124         411         S OLD WOODWARD AVE           08-19-36-208-125         411         S OLD WOODWARD AVE           08-19-36-208-126         411         S OLD WOODWARD AVE           08-19-36-208-127         411         S OLD WOODWARD AVE           08-19-36-208-128         411         S OLD WOODWARD AVE           08-19-36-208-130         411         S OLD WOODWARD AVE           08-19-36-208-133         411         S OLD WOODWARD AVE           08-19-36-208-134         411				<del></del>
08-19-36-208-108         411         S OLD WOODWARD AVE           08-19-36-208-115         411         S OLD WOODWARD AVE           08-19-36-208-116         411         S OLD WOODWARD AVE           08-19-36-208-117         411         S OLD WOODWARD AVE           08-19-36-208-118         411         S OLD WOODWARD AVE           08-19-36-208-119         411         S OLD WOODWARD AVE           08-19-36-208-120         411         S OLD WOODWARD AVE           08-19-36-208-121         411         S OLD WOODWARD AVE           08-19-36-208-122         411         S OLD WOODWARD AVE           08-19-36-208-123         411         S OLD WOODWARD AVE           08-19-36-208-123         411         S OLD WOODWARD AVE           08-19-36-208-124         411         S OLD WOODWARD AVE           08-19-36-208-125         411         S OLD WOODWARD AVE           08-19-36-208-126         411         S OLD WOODWARD AVE           08-19-36-208-127         411         S OLD WOODWARD AVE           08-19-36-208-129         411         S OLD WOODWARD AVE           08-19-36-208-130         411         S OLD WOODWARD AVE           08-19-36-208-133         411         S OLD WOODWARD AVE           08-19-36-208-135         411				
08-19-36-208-115         411         S OLD WOODWARD AVE           08-19-36-208-116         411         S OLD WOODWARD AVE           08-19-36-208-117         411         S OLD WOODWARD AVE           08-19-36-208-118         411         S OLD WOODWARD AVE           08-19-36-208-119         411         S OLD WOODWARD AVE           08-19-36-208-120         411         S OLD WOODWARD AVE           08-19-36-208-121         411         S OLD WOODWARD AVE           08-19-36-208-122         411         S OLD WOODWARD AVE           08-19-36-208-123         411         S OLD WOODWARD AVE           08-19-36-208-124         411         S OLD WOODWARD AVE           08-19-36-208-125         411         S OLD WOODWARD AVE           08-19-36-208-126         411         S OLD WOODWARD AVE           08-19-36-208-127         411         S OLD WOODWARD AVE           08-19-36-208-128         411         S OLD WOODWARD AVE           08-19-36-208-129         411         S OLD WOODWARD AVE           08-19-36-208-130         411         S OLD WOODWARD AVE           08-19-36-208-133         411         S OLD WOODWARD AVE           08-19-36-208-134         411         S OLD WOODWARD AVE           08-19-36-208-135         411				
08-19-36-208-116         411         S         OLD WOODWARD AVE           08-19-36-208-117         411         S         OLD WOODWARD AVE           08-19-36-208-118         411         S         OLD WOODWARD AVE           08-19-36-208-119         411         S         OLD WOODWARD AVE           08-19-36-208-120         411         S         OLD WOODWARD AVE           08-19-36-208-121         411         S         OLD WOODWARD AVE           08-19-36-208-122         411         S         OLD WOODWARD AVE           08-19-36-208-123         411         S         OLD WOODWARD AVE           08-19-36-208-124         411         S         OLD WOODWARD AVE           08-19-36-208-125         411         S         OLD WOODWARD AVE           08-19-36-208-126         411         S         OLD WOODWARD AVE           08-19-36-208-127         411         S         OLD WOODWARD AVE           08-19-36-208-128         411         S         OLD WOODWARD AVE           08-19-36-208-130         411         S         OLD WOODWARD AVE           08-19-36-208-133         411         S         OLD WOODWARD AVE           08-19-36-208-134         411         S         OLD WOODWARD AVE				
08-19-36-208-117         411         5         OLD WOODWARD AVE           08-19-36-208-118         411         5         OLD WOODWARD AVE           08-19-36-208-119         411         5         OLD WOODWARD AVE           08-19-36-208-120         411         5         OLD WOODWARD AVE           08-19-36-208-121         411         5         OLD WOODWARD AVE           08-19-36-208-122         411         5         OLD WOODWARD AVE           08-19-36-208-123         411         5         OLD WOODWARD AVE           08-19-36-208-124         411         5         OLD WOODWARD AVE           08-19-36-208-125         411         5         OLD WOODWARD AVE           08-19-36-208-126         411         5         OLD WOODWARD AVE           08-19-36-208-127         411         5         OLD WOODWARD AVE           08-19-36-208-128         411         5         OLD WOODWARD AVE           08-19-36-208-129         411         5         OLD WOODWARD AVE           08-19-36-208-130         411         5         OLD WOODWARD AVE           08-19-36-208-133         411         5         OLD WOODWARD AVE           08-19-36-208-134         411         5         OLD WOODWARD AVE				
08-19-36-208-118         411         S OLD WOODWARD AVE           08-19-36-208-119         411         S OLD WOODWARD AVE           08-19-36-208-120         411         S OLD WOODWARD AVE           08-19-36-208-121         411         S OLD WOODWARD AVE           08-19-36-208-122         411         S OLD WOODWARD AVE           08-19-36-208-123         411         S OLD WOODWARD AVE           08-19-36-208-124         411         S OLD WOODWARD AVE           08-19-36-208-125         411         S OLD WOODWARD AVE           08-19-36-208-125         411         S OLD WOODWARD AVE           08-19-36-208-126         411         S OLD WOODWARD AVE           08-19-36-208-127         411         S OLD WOODWARD AVE           08-19-36-208-128         411         S OLD WOODWARD AVE           08-19-36-208-129         411         S OLD WOODWARD AVE           08-19-36-208-130         411         S OLD WOODWARD AVE           08-19-36-208-133         411         S OLD WOODWARD AVE           08-19-36-208-134         411         S OLD WOODWARD AVE           08-19-36-208-135         411         S OLD WOODWARD AVE           08-19-36-208-137         411         S OLD WOODWARD AVE           08-19-36-208-141         411				OLD WOODWARD AVE
08-19-36-208-119         411         S OLD WOODWARD AVE           08-19-36-208-120         411         S OLD WOODWARD AVE           08-19-36-208-121         411         S OLD WOODWARD AVE           08-19-36-208-122         411         S OLD WOODWARD AVE           08-19-36-208-123         411         S OLD WOODWARD AVE           08-19-36-208-124         411         S OLD WOODWARD AVE           08-19-36-208-125         411         S OLD WOODWARD AVE           08-19-36-208-126         411         S OLD WOODWARD AVE           08-19-36-208-127         411         S OLD WOODWARD AVE           08-19-36-208-128         411         S OLD WOODWARD AVE           08-19-36-208-129         411         S OLD WOODWARD AVE           08-19-36-208-130         411         S OLD WOODWARD AVE           08-19-36-208-133         411         S OLD WOODWARD AVE           08-19-36-208-134         411         S OLD WOODWARD AVE           08-19-36-208-135         411         S OLD WOODWARD AVE           08-19-36-208-136         411         S OLD WOODWARD AVE           08-19-36-208-137         411         S OLD WOODWARD AVE           08-19-36-208-141         411         S OLD WOODWARD AVE           08-19-36-208-144         411	08-19-36-208-117	411	_5	OLD WOODWARD AVE
08-19-36-208-120         411         S OLD WOODWARD AVE           08-19-36-208-121         411         S OLD WOODWARD AVE           08-19-36-208-122         411         S OLD WOODWARD AVE           08-19-36-208-123         411         S OLD WOODWARD AVE           08-19-36-208-124         411         S OLD WOODWARD AVE           08-19-36-208-125         411         S OLD WOODWARD AVE           08-19-36-208-126         411         S OLD WOODWARD AVE           08-19-36-208-127         411         S OLD WOODWARD AVE           08-19-36-208-128         411         S OLD WOODWARD AVE           08-19-36-208-128         411         S OLD WOODWARD AVE           08-19-36-208-130         411         S OLD WOODWARD AVE           08-19-36-208-133         411         S OLD WOODWARD AVE           08-19-36-208-134         411         S OLD WOODWARD AVE           08-19-36-208-135         411         S OLD WOODWARD AVE           08-19-36-208-136         411         S OLD WOODWARD AVE           08-19-36-208-137         411         S OLD WOODWARD AVE           08-19-36-208-141         411         S OLD WOODWARD AVE           08-19-36-208-142         411         S OLD WOODWARD AVE           08-19-36-208-143         411	08-19-36-208-118	411	5	OLD WOODWARD AVE
08-19-36-208-121         411         S         OLD WOODWARD AVE           08-19-36-208-122         411         S         OLD WOODWARD AVE           08-19-36-208-123         411         S         OLD WOODWARD AVE           08-19-36-208-124         411         S         OLD WOODWARD AVE           08-19-36-208-125         411         S         OLD WOODWARD AVE           08-19-36-208-126         411         S         OLD WOODWARD AVE           08-19-36-208-127         411         S         OLD WOODWARD AVE           08-19-36-208-128         411         S         OLD WOODWARD AVE           08-19-36-208-129         411         S         OLD WOODWARD AVE           08-19-36-208-130         411         S         OLD WOODWARD AVE           08-19-36-208-133         411         S         OLD WOODWARD AVE           08-19-36-208-134         411         S         OLD WOODWARD AVE           08-19-36-208-135         411         S         OLD WOODWARD AVE           08-19-36-208-136         411         S         OLD WOODWARD AVE           08-19-36-208-137         411         S         OLD WOODWARD AVE           08-19-36-208-141         411         S         OLD WOODWARD AVE	08-19-36-208-119	411	5	OLD WOODWARD AVE
08-19-36-208-122         411         S         OLD WOODWARD AVE           08-19-36-208-123         411         S         OLD WOODWARD AVE           08-19-36-208-124         411         S         OLD WOODWARD AVE           08-19-36-208-125         411         S         OLD WOODWARD AVE           08-19-36-208-126         411         S         OLD WOODWARD AVE           08-19-36-208-127         411         S         OLD WOODWARD AVE           08-19-36-208-128         411         S         OLD WOODWARD AVE           08-19-36-208-129         411         S         OLD WOODWARD AVE           08-19-36-208-130         411         S         OLD WOODWARD AVE           08-19-36-208-133         411         S         OLD WOODWARD AVE           08-19-36-208-134         411         S         OLD WOODWARD AVE           08-19-36-208-135         411         S         OLD WOODWARD AVE           08-19-36-208-136         411         S         OLD WOODWARD AVE           08-19-36-208-138         411         S         OLD WOODWARD AVE           08-19-36-208-141         411         S         OLD WOODWARD AVE           08-19-36-208-143         411         S         OLD WOODWARD AVE	08-19-36-208-120	411	5	OLD WOODWARD AVE
08-19-36-208-123         411         S         OLD WOODWARD AVE           08-19-36-208-124         411         S         OLD WOODWARD AVE           08-19-36-208-125         411         S         OLD WOODWARD AVE           08-19-36-208-126         411         S         OLD WOODWARD AVE           08-19-36-208-127         411         S         OLD WOODWARD AVE           08-19-36-208-128         411         S         OLD WOODWARD AVE           08-19-36-208-129         411         S         OLD WOODWARD AVE           08-19-36-208-130         411         S         OLD WOODWARD AVE           08-19-36-208-133         411         S         OLD WOODWARD AVE           08-19-36-208-134         411         S         OLD WOODWARD AVE           08-19-36-208-135         411         S         OLD WOODWARD AVE           08-19-36-208-136         411         S         OLD WOODWARD AVE           08-19-36-208-137         411         S         OLD WOODWARD AVE           08-19-36-208-141         411         S         OLD WOODWARD AVE           08-19-36-208-142         411         S         OLD WOODWARD AVE           08-19-36-208-143         411         S         OLD WOODWARD AVE	08-19-36-208-121	411	5	OLD WOODWARD AVE
08-19-36-208-124         411         S         OLD WOODWARD AVE           08-19-36-208-125         411         S         OLD WOODWARD AVE           08-19-36-208-126         411         S         OLD WOODWARD AVE           08-19-36-208-127         411         S         OLD WOODWARD AVE           08-19-36-208-128         411         S         OLD WOODWARD AVE           08-19-36-208-129         411         S         OLD WOODWARD AVE           08-19-36-208-130         411         S         OLD WOODWARD AVE           08-19-36-208-133         411         S         OLD WOODWARD AVE           08-19-36-208-134         411         S         OLD WOODWARD AVE           08-19-36-208-135         411         S         OLD WOODWARD AVE           08-19-36-208-136         411         S         OLD WOODWARD AVE           08-19-36-208-137         411         S         OLD WOODWARD AVE           08-19-36-208-138         411         S         OLD WOODWARD AVE           08-19-36-208-141         411         S         OLD WOODWARD AVE           08-19-36-208-143         411         S         OLD WOODWARD AVE           08-19-36-208-146         411         S         OLD WOODWARD AVE	08-19-36-208-122	411	S	OLD WOODWARD AVE
08-19-36-208-125         411         S OLD WOODWARD AVE           08-19-36-208-126         411         S OLD WOODWARD AVE           08-19-36-208-127         411         S OLD WOODWARD AVE           08-19-36-208-128         411         S OLD WOODWARD AVE           08-19-36-208-129         411         S OLD WOODWARD AVE           08-19-36-208-130         411         S OLD WOODWARD AVE           08-19-36-208-133         411         S OLD WOODWARD AVE           08-19-36-208-134         411         S OLD WOODWARD AVE           08-19-36-208-135         411         S OLD WOODWARD AVE           08-19-36-208-136         411         S OLD WOODWARD AVE           08-19-36-208-137         411         S OLD WOODWARD AVE           08-19-36-208-138         411         S OLD WOODWARD AVE           08-19-36-208-141         411         S OLD WOODWARD AVE           08-19-36-208-142         411         S OLD WOODWARD AVE           08-19-36-208-143         411         S OLD WOODWARD AVE           08-19-36-208-146         411         S OLD WOODWARD AVE           08-19-36-208-147         411         S OLD WOODWARD AVE           08-19-36-208-149         411         S OLD WOODWARD AVE           08-19-36-208-150         411	08-19-36-208-123	411	S	OLD WOODWARD AVE
08-19-36-208-126         411         S         OLD WOODWARD AVE           08-19-36-208-127         411         S         OLD WOODWARD AVE           08-19-36-208-128         411         S         OLD WOODWARD AVE           08-19-36-208-129         411         S         OLD WOODWARD AVE           08-19-36-208-130         411         S         OLD WOODWARD AVE           08-19-36-208-133         411         S         OLD WOODWARD AVE           08-19-36-208-134         411         S         OLD WOODWARD AVE           08-19-36-208-135         411         S         OLD WOODWARD AVE           08-19-36-208-136         411         S         OLD WOODWARD AVE           08-19-36-208-137         411         S         OLD WOODWARD AVE           08-19-36-208-138         411         S         OLD WOODWARD AVE           08-19-36-208-141         411         S         OLD WOODWARD AVE           08-19-36-208-142         411         S         OLD WOODWARD AVE           08-19-36-208-146         411         S         OLD WOODWARD AVE           08-19-36-208-146         411         S         OLD WOODWARD AVE           08-19-36-208-147         411         S         OLD WOODWARD AVE	08-19-36-208-124	411	S	OLD WOODWARD AVE
08-19-36-208-127         411         S         OLD WOODWARD AVE           08-19-36-208-128         411         S         OLD WOODWARD AVE           08-19-36-208-129         411         S         OLD WOODWARD AVE           08-19-36-208-130         411         S         OLD WOODWARD AVE           08-19-36-208-133         411         S         OLD WOODWARD AVE           08-19-36-208-134         411         S         OLD WOODWARD AVE           08-19-36-208-135         411         S         OLD WOODWARD AVE           08-19-36-208-136         411         S         OLD WOODWARD AVE           08-19-36-208-137         411         S         OLD WOODWARD AVE           08-19-36-208-138         411         S         OLD WOODWARD AVE           08-19-36-208-141         411         S         OLD WOODWARD AVE           08-19-36-208-142         411         S         OLD WOODWARD AVE           08-19-36-208-143         411         S         OLD WOODWARD AVE           08-19-36-208-146         411         S         OLD WOODWARD AVE           08-19-36-208-147         411         S         OLD WOODWARD AVE           08-19-36-208-149         411         S         OLD WOODWARD AVE	08-19-36-208-125	411	S	OLD WOODWARD AVE
08-19-36-208-128         411         S         OLD WOODWARD AVE           08-19-36-208-129         411         S         OLD WOODWARD AVE           08-19-36-208-130         411         S         OLD WOODWARD AVE           08-19-36-208-133         411         S         OLD WOODWARD AVE           08-19-36-208-134         411         S         OLD WOODWARD AVE           08-19-36-208-135         411         S         OLD WOODWARD AVE           08-19-36-208-136         411         S         OLD WOODWARD AVE           08-19-36-208-137         411         S         OLD WOODWARD AVE           08-19-36-208-138         411         S         OLD WOODWARD AVE           08-19-36-208-141         411         S         OLD WOODWARD AVE           08-19-36-208-142         411         S         OLD WOODWARD AVE           08-19-36-208-143         411         S         OLD WOODWARD AVE           08-19-36-208-146         411         S         OLD WOODWARD AVE           08-19-36-208-147         411         S         OLD WOODWARD AVE           08-19-36-208-149         411         S         OLD WOODWARD AVE           08-19-36-208-150         411         S         OLD WOODWARD AVE	08-19-36-208-126	411	5	OLD WOODWARD AVE
08-19-36-208-129         411         S OLD WOODWARD AVE           08-19-36-208-130         411         S OLD WOODWARD AVE           08-19-36-208-133         411         S OLD WOODWARD AVE           08-19-36-208-134         411         S OLD WOODWARD AVE           08-19-36-208-135         411         S OLD WOODWARD AVE           08-19-36-208-136         411         S OLD WOODWARD AVE           08-19-36-208-137         411         S OLD WOODWARD AVE           08-19-36-208-138         411         S OLD WOODWARD AVE           08-19-36-208-141         411         S OLD WOODWARD AVE           08-19-36-208-142         411         S OLD WOODWARD AVE           08-19-36-208-143         411         S OLD WOODWARD AVE           08-19-36-208-146         411         S OLD WOODWARD AVE           08-19-36-208-147         411         S OLD WOODWARD AVE           08-19-36-208-149         411         S OLD WOODWARD AVE           08-19-36-208-150         411         S OLD WOODWARD AVE	08-19-36-208-127	411	5	OLD WOODWARD AVE
08-19-36-208-130         411         S         OLD WOODWARD AVE           08-19-36-208-133         411         S         OLD WOODWARD AVE           08-19-36-208-134         411         S         OLD WOODWARD AVE           08-19-36-208-135         411         S         OLD WOODWARD AVE           08-19-36-208-136         411         S         OLD WOODWARD AVE           08-19-36-208-137         411         S         OLD WOODWARD AVE           08-19-36-208-138         411         S         OLD WOODWARD AVE           08-19-36-208-141         411         S         OLD WOODWARD AVE           08-19-36-208-142         411         S         OLD WOODWARD AVE           08-19-36-208-143         411         S         OLD WOODWARD AVE           08-19-36-208-146         411         S         OLD WOODWARD AVE           08-19-36-208-147         411         S         OLD WOODWARD AVE           08-19-36-208-149         411         S         OLD WOODWARD AVE           08-19-36-208-150         411         S         OLD WOODWARD AVE	08-19-36-208-128	411	S	OLD WOODWARD AVE
08-19-36-208-133         411         S         OLD WOODWARD AVE           08-19-36-208-134         411         S         OLD WOODWARD AVE           08-19-36-208-135         411         S         OLD WOODWARD AVE           08-19-36-208-136         411         S         OLD WOODWARD AVE           08-19-36-208-137         411         S         OLD WOODWARD AVE           08-19-36-208-138         411         S         OLD WOODWARD AVE           08-19-36-208-141         411         S         OLD WOODWARD AVE           08-19-36-208-142         411         S         OLD WOODWARD AVE           08-19-36-208-143         411         S         OLD WOODWARD AVE           08-19-36-208-146         411         S         OLD WOODWARD AVE           08-19-36-208-147         411         S         OLD WOODWARD AVE           08-19-36-208-149         411         S         OLD WOODWARD AVE           08-19-36-208-150         411         S         OLD WOODWARD AVE	08-19-36-208-129	411	S	OLD WOODWARD AVE
08-19-36-208-134         411         S         OLD WOODWARD AVE           08-19-36-208-135         411         S         OLD WOODWARD AVE           08-19-36-208-136         411         S         OLD WOODWARD AVE           08-19-36-208-137         411         S         OLD WOODWARD AVE           08-19-36-208-138         411         S         OLD WOODWARD AVE           08-19-36-208-141         411         S         OLD WOODWARD AVE           08-19-36-208-142         411         S         OLD WOODWARD AVE           08-19-36-208-143         411         S         OLD WOODWARD AVE           08-19-36-208-146         411         S         OLD WOODWARD AVE           08-19-36-208-147         411         S         OLD WOODWARD AVE           08-19-36-208-149         411         S         OLD WOODWARD AVE           08-19-36-208-150         411         S         OLD WOODWARD AVE	08-19-36-208-130	411	S	OLD WOODWARD AVE
08-19-36-208-135         411         S         OLD WOODWARD AVE           08-19-36-208-136         411         S         OLD WOODWARD AVE           08-19-36-208-137         411         S         OLD WOODWARD AVE           08-19-36-208-138         411         S         OLD WOODWARD AVE           08-19-36-208-141         411         S         OLD WOODWARD AVE           08-19-36-208-142         411         S         OLD WOODWARD AVE           08-19-36-208-143         411         S         OLD WOODWARD AVE           08-19-36-208-146         411         S         OLD WOODWARD AVE           08-19-36-208-147         411         S         OLD WOODWARD AVE           08-19-36-208-149         411         S         OLD WOODWARD AVE           08-19-36-208-150         411         S         OLD WOODWARD AVE	08-19-36-208-133	411	S	OLD WOODWARD AVE
08-19-36-208-136         411         S         OLD WOODWARD AVE           08-19-36-208-137         411         S         OLD WOODWARD AVE           08-19-36-208-138         411         S         OLD WOODWARD AVE           08-19-36-208-141         411         S         OLD WOODWARD AVE           08-19-36-208-142         411         S         OLD WOODWARD AVE           08-19-36-208-143         411         S         OLD WOODWARD AVE           08-19-36-208-146         411         S         OLD WOODWARD AVE           08-19-36-208-147         411         S         OLD WOODWARD AVE           08-19-36-208-149         411         S         OLD WOODWARD AVE           08-19-36-208-150         411         S         OLD WOODWARD AVE	08-19-36-208-134	411	S	OLD WOODWARD AVE
08-19-36-208-137         411         S         OLD WOODWARD AVE           08-19-36-208-138         411         S         OLD WOODWARD AVE           08-19-36-208-141         411         S         OLD WOODWARD AVE           08-19-36-208-142         411         S         OLD WOODWARD AVE           08-19-36-208-143         411         S         OLD WOODWARD AVE           08-19-36-208-146         411         S         OLD WOODWARD AVE           08-19-36-208-147         411         S         OLD WOODWARD AVE           08-19-36-208-149         411         S         OLD WOODWARD AVE           08-19-36-208-150         411         S         OLD WOODWARD AVE	08-19-36-208-135	411	S	OLD WOODWARD AVE
08-19-36-208-138         411         S         OLD WOODWARD AVE           08-19-36-208-141         411         S         OLD WOODWARD AVE           08-19-36-208-142         411         S         OLD WOODWARD AVE           08-19-36-208-143         411         S         OLD WOODWARD AVE           08-19-36-208-146         411         S         OLD WOODWARD AVE           08-19-36-208-147         411         S         OLD WOODWARD AVE           08-19-36-208-149         411         S         OLD WOODWARD AVE           08-19-36-208-150         411         S         OLD WOODWARD AVE	08-19-36-208-136	411	S	OLD WOODWARD AVE
08-19-36-208-141         411         S         OLD WOODWARD AVE           08-19-36-208-142         411         S         OLD WOODWARD AVE           08-19-36-208-143         411         S         OLD WOODWARD AVE           08-19-36-208-146         411         S         OLD WOODWARD AVE           08-19-36-208-147         411         S         OLD WOODWARD AVE           08-19-36-208-149         411         S         OLD WOODWARD AVE           08-19-36-208-150         411         S         OLD WOODWARD AVE	08-19-36-208-137	411	5	OLD WOODWARD AVE
08-19-36-208-142         411         S         OLD WOODWARD AVE           08-19-36-208-143         411         S         OLD WOODWARD AVE           08-19-36-208-146         411         S         OLD WOODWARD AVE           08-19-36-208-147         411         S         OLD WOODWARD AVE           08-19-36-208-149         411         S         OLD WOODWARD AVE           08-19-36-208-150         411         S         OLD WOODWARD AVE	08-19-36-208-138	411	5	OLD WOODWARD AVE
08-19-36-208-143         411         S         OLD WOODWARD AVE           08-19-36-208-146         411         S         OLD WOODWARD AVE           08-19-36-208-147         411         S         OLD WOODWARD AVE           08-19-36-208-149         411         S         OLD WOODWARD AVE           08-19-36-208-150         411         S         OLD WOODWARD AVE	08-19-36-208-141	411	s	OLD WOODWARD AVE
08-19-36-208-146         411         S         OLD WOODWARD AVE           08-19-36-208-147         411         S         OLD WOODWARD AVE           08-19-36-208-149         411         S         OLD WOODWARD AVE           08-19-36-208-150         411         S         OLD WOODWARD AVE	08-19-36-208-142	411	S	OLD WOODWARD AVE
08-19-36-208-147         411         S         OLD WOODWARD AVE           08-19-36-208-149         411         S         OLD WOODWARD AVE           08-19-36-208-150         411         S         OLD WOODWARD AVE	08-19-36-208-143	411	S	OLD WOODWARD AVE
08-19-36-208-149         411         S         OLD WOODWARD AVE           08-19-36-208-150         411         S         OLD WOODWARD AVE	08-19-36-208-146	411	S	OLD WOODWARD AVE
08-19-36-208-150 411 5 OLD WOODWARD AVE	08-19-36-208-147	411	S	OLD WOODWARD AVE
	08-19-36-208-149	411	s	OLD WOODWARD AVE
08-19-36-208-151 411 S OLD WOODWARD AVE	08-19-36-208-150	411	5	OLD WOODWARD AVE
	08-19-36-208-151	411	s	OLD WOODWARD AVE

08-19-36-208-152	411	5	OLD WOODWARD AVE
08-19-36-208-153	411	5	OLD WOODWARD AVE
08-19-36-208-154	411	5	OLD WOODWARD AVE
08-19-36-208-155	411	5	OLD WOODWARD AVE
08-19-36-208-156	411	<u>s</u>	OLD WOODWARD AVE
08-19-36-208-157	411	<u>s</u>	OLD WOODWARD AVE
08-19-36-208-168	411	<u>s</u>	OLD WOODWARD AVE
08-19-36-208-169	411	<u>S</u>	OLD WOODWARD AVE
08-19-36-208-170	411	<u> </u>	OLD WOODWARD AVE
08-19-36-208-171	411		OLD WOODWARD AVE
08-19-36-208-172	411	5	OLD WOODWARD AVE
08-19-36-208-173	411	5	OLD WOODWARD AVE
08-19-36-208-174	411	S	OLD WOODWARD AVE
08-19-36-208-175	411	5	OLD WOODWARD AVE
08-19-36-208-176	411	S	OLD WOODWARD AVE
08-19-36-208-177	411	5	OLD WOODWARD AVE
08-19-36-208-178	411	S	OLD WOODWARD AVE
08-19-36-208-179	411	S	OLD WOODWARD AVE
08-19-36-208-180	411	S	OLD WOODWARD AVE
08-19-36-208-181	411	S	OLD WOODWARD AVE
08-19-36-208-182	411	S	OLD WOODWARD AVE
08-19-36-208-183	411	S	OLD WOODWARD AVE
08-19-36-208-184	411	S	OLD WOODWARD AVE
08-19-36-208-185	411	S	OLD WOODWARD AVE
08-19-36-208-186	411	S	OLD WOODWARD AVE
08-19-36-208-187	411	\$	OLD WOODWARD AVE
08-19-36-208-188	411	S	OLD WOODWARD AVE
08-19-36-208-189	411	S	OLD WOODWARD AVE
08-19-36-208-190	411	S	OLD WOODWARD AVE
08-19-36-208-191	411	S	OLD WOODWARD AVE
08-19-36-208-192	411	S	OLD WOODWARD AVE
08-19-36-208-193	411	S	OLD WOODWARD AVE
08-19-36-208-194	411	S	OLD WOODWARD AVE
08-19-36-208-195	411	S	OLD WOODWARD AVE
08-19-36-208-196	411	5	OLD WOODWARD AVE
08-19-36-208-197	411	5	OLD WOODWARD AVE
08-19-36-208-198	411	5	OLD WOODWARD AVE
08-19-36-208-199	411	s	OLD WOODWARD AVE
08-19-36-208-200	411	s	OLD WOODWARD AVE
08-19-36-208-201	411	5	OLD WOODWARD AVE
08-19-36-208-202	411	5	OLD WOODWARD AVE
08-19-36-208-203	411	5	OLD WOODWARD AVE
08-19-36-208-205	411	5	OLD WOODWARD AVE
00-13-30-500-503	411		OTD MADODAAWED WAS

	i		
08-19-36-208-206	411	S	OLD WOODWARD AVE
08-19-36-208-207	469/479	S	OLD WOODWARD AVE
08-19-36-210-001	555	S	OLD WOODWARD AVE
08-19-36-210-003	555	S	OLD WOODWARD AVE
08-19-36-210-005	555	S	OLD WOODWARD AVE
08-19-36-211-001	400	S	OLD WOODWARD AVE
08-19-36-253-025	750	S	OLD WOODWARD AVE
08-19-36-253-026	772	S	OLD WOODWARD AVE
08-19-36-253-028	588	5	OLD WOODWARD AVE
08-19-36-253-029	608	5	OLD WOODWARD AVE
08-19-36-253-030	500	5	OLD WOODWARD AVE
08-19-36-253-034	690	S	OLD WOODWARD AVE
08-19-36-253-035	670	s	OLD WOODWARD AVE
08-19-36-278-012	808	Ş	OLD WOODWARD AVE
08-19-36-278-013	820	S	OLD WOODWARD AVE
08-19-36-278-014	832	s	OLD WOODWARD AVE
08-19-36-278-017	850	5	OLD WOODWARD AVE
08-19-36-278-018	880	5	OLD WOODWARD AVE





### **MEMORANDUM**

Clerk's Office

DATE:

Thursday, March 10, 2022

TO:

Scott Zielinski, Assistant City Engineer

FROM:

**Christina Woods, Deputy Clerk** 

SUBJECT:

Clerk's Office Confirmation of Public Hearing of Necessity and

**Confirmation: Old Woodward Streetscape Special Assessment** 

**District** 

The public hearing of necessity and confirmation notice process has been completed for the Old Woodward Streetscape Special Assessment District. Please see attachments for further confirmation.

Mailing Date: March 4, 2022

Publishing Dates in the Birmingham Eccentric: February 27 & March 6 2022

Also posted on www.bhamgov.org/publicnotices

### Attachments:

- 1. Public Hearing Notice
- 2. Addresses
- 3. Mailing Letter
- 4. Affidavit of publishing

	CE OF PUBLIC HEARINGS					
BIRMINGHAM CITY COMMISSION						
PUBL	IC HEARING OF NECESSITY					
PUBLIC	HEARING OF CONFIRMATION					
Meeting Date, Time, Location:	HEARING OF NECESSITY FOR SPECIAL ASSESSMENT					
	DISTRICT					
	Monday, Monday, March 14, 2022, 7:30 PM					
	Municipal Building, 151 Martin, Birmingham, MI 48009					
Meeting Date, Time, Location:	HEARING OF CONFIRMATION FOR SPECIAL					
ASSESSMENT DISTRICT						
Monday, April 11, 2022, 7:30 PM						
Municipal Building, 151 Martin, Birmingham, MI 48009						
Project Location:	S. Old Woodward Avenue, from Brown St. to Landon St.					
Nature of Improvement:	Construction of sidewalk and streetscape improvements					
	adjacent to all properties within the project area					
City Staff Contact:	Scott Zielinski, Assistant City Engineer					
	szielinski@bhamgov.org, (248)530-1838					
Notice Requirements:	Mail to affected property owners					
	Publish February 27, 2022 & March 6, 2022					
Approved minutes may be	City Clerk's Office					
reviewed at:	•					

Should you have any statement regarding the above, you are invited to attend the meeting in person or virtually through ZOOM: https://zoom.us/j/655079760 Meeting ID: 655 079 760

You or your agent may appear at the hearings to express your views; however, if you fail to protest either in person or by letter received on or before the date of the hearing, you cannot appeal the amount of the special assessment to the Michigan Tax Tribunal. Mail any correspondence to: City Clerk, P.O. Box 3001, Birmingham, MI 48012.

The property owner may file a written appeal of the special assessment with the State Tax Tribunal within 30 days after the confirmation of the special assessment roll if that special assessment was protested at the hearing held for the purpose of confirming the roll.

All special assessments, including installment payments, shall, from the date of the confirmation thereof, constitute a lien on the respective lots or parcels assessed, and until paid shall be charged against the respective owners of the lots or parcels assessed.

Persons with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk's Office at 248.530.1880 (voice) or 248.644.5115 (TDD) at least one day in advance to request mobility, visual, hearing or other assistance.

Parcel	Name	Address	City	Ctoto	7:
	WOODWARD DEVELOPMENT LLC	15 KOCH RD	City CORTE MADERA	State CA	21p 94925
	FLORENCE SHARE	333 W FORT ST FL 12TH	DETROIT	MI	48226
1936205041	GALYN ASSOCIATES LTD PTNSHP	1435 N GLENGARRY RD	BLOOMFIELD HILLS	MI	48301
1936205043		180 HIGH OAK RD	BLOOMFIELD HILLS	MI	48304
1936208015	325 S OLD WOODWARD LLC	330 HAMILTON ROW STE 300	BIRMINGHAM	MI	48009
1936208016	FULLER CENTRAL PARK PRPRTS	112 PEABODY ST	BIRMINGHAM	MI	48009
1936208017	HANA AJJOUR	411 S OLD WOODWARD AVE # 906	BIRMINGHAM	MI	48009
1936208017	LISA M HUSSMAN	11070 RESORT RD STE 307	ELLICOTT CITY	MD	21042
1936208017	PETER SAROTTE	411 S OLD WOODWARD AVE # 515	BIRMINGHAM	MI	48009
1936208017	WAAD INVESTMENTS LLC	4805 BANTRY DR	WEST BLOOMFIELD	МІ	48322
1936208017	NIKOLE L FINE	883 EMMONS AVE	BIRMINGHAM	MI	48009
1936208017	TONI STREIT	411 S OLD WOODWARD AVE # 523	BIRMINGHAM	MI	48009
1936208017	CORCORAN STREET PROPERTIES LLC	3560 ROLAND DR	BLOOMFIELD HILLS	MI	48301
1936208017	STEVEN H MUSKOVITZ	16146 BELFORD DR	MILTON	GA	30004
1936208017	LORNA G WESTFALL	28347 CHATHAM RD	GROSSE ILE	MI	48138
1936208017	ROBERT P LEVIN	411 S OLD WOODWARD AVE # 510	BIRMINGHAM	MI	48009
1936208017	VALERIE A FOLEY	411 S OLD WOODWARD AVE # 508	BIRMINGHAM	MI	48009
1936208017	KEVIN COOPER	3847 BOULDER DR	TROY	MI	48084
1936208017	GEORGIANNA STEUDLE	1149 HILLPOINTE CIR	BLOOMFIELD HILLS	MI	48304
1936208017	LAURIE SALL	411 S OLD WOODWARD AVE # 500	BIRMINGHAM	MI	48009
1936208017	STACIE JILL LEIB	411 S OLD WOODWARD AVE # 601	BIRMINGHAM	MI	48009
1936208017	KAM PROPERTIES LLC	511 OLDE TOWNE RD UNIT 81515	ROCHESTER	MI	48308
1936208017	FRANCIS A ENGELHARDT	411 S OLD WOODWARD AVE # 904	BIRMINGHAM	MI	48009
	EUNICE GALPERIN REVOC TRUST	411 S OLD WOODWARD AVE # 902	BIRMINGHAM	MI	48009
1936208017	DAVID A ROBINSON	28145 GREENFIELD RD STE 100	SOUTHFIELD	MI	48076
	GERALD F REINHART	390 PARK ST STE 222	BIRMINGHAM	MI	48009
	STUART D SHERR	31300 ORCHARD LAKE RD STE 200	FARMINGTON HILLS	MI	48334
	GERALD F REINHART	32700 BINGHAM LN	BINGHAM FARMS	MI	48025
1936208017		411 S OLD WOODWARD AVE # 1007	BIRMINGHAM	MI	48009
	MARY LOU GILDERS	8600 95TH AVE	EVART	MI	49631
	CARINE VAN LANDSCHOOT	411 5 OLD WOODWARD AVE # 607	BIRMINGHAM	MI	48009
	EUGENE J WITTSTOCK	411 5 OLD WOODWARD AVE # 621	BIRMINGHAM	MI	48009
	GREGORY W GEIGER	628 WOODLAND ST	BIRMINGHAM	М	48009
	DORIS A HANNA REVOC TRUST	3755 WALNUT BROOK DR	ROCHESTER HILLS	М	48309
	RAMA K P PINNAMANENI	411 S OLD WOODWARD AVE # 622	BIRMINGHAM	MI	48009
	DAVID SZCZUPAK	28870 GIRARD TER	NAPLES	FL	34119
	TANZANITE 61 LLC SHIRLEY NAKASH	3041 HERON POINTE DR	BLOOMFIELD HILLS	MI	48302
	MARIA A CHIRCO	PO BOX 7137	BLOOMFIELD HILLS	MI	48302
1936208017		411 S OLD WOODWARD AVE # 929 411 S OLD WOODWARD AVE # 931	BIRMINGHAM	MI	48009
	ESTELLE MILLER REVOC TRUST		BIRMINGHAM	MI	48009
	MUNE GOWDA	411 S OLD WOODWARD AVE # 924 411 S OLD WOODWARD AVE # 922	BIRMINGHAM	MI	48009
1936208017		239 N GLENHURST DR	BIRMINGHAM	MI	48009
	EDWIN B SHAW	411 S OLD WOODWARD AVE # 910	BLOOMFIELD HILLS BIRMINGHAM	MI	48301
	SUSAN WINSHALL REVOC TRUST	411 S OLD WOODWARD AVE # 828	BIRMINGHAM	MI MI	48009 48009
	VANGELOFF PROPERTIES LLC	411 S OLD WOODWARD AVE UNIT 718	BIRMINGHAM	MI	48009
	SAMUEL MCKNIGHT	411 S OLD WOODWARD AVE # 825	BIRMINGHAM	MI	48009
	CHRISTOPOHER P AMMANN TRUST	411 5 OLD WOODWARD AVE # 1025	BIRMINGHAM	MI	48009
	FREDERICK C YEAGER REVOC TRUST	411 S OLD WOODWARD AVE # 506	BIRMINGHAM	MI	48009
1936208017		411 S OLD WOODWARD AVE # 606	BIRMINGHAM	MI	48009
	SUSAN A MASCIA	411 S OLD WOODWARD AVE # 706	BIRMINGHAM	MI	48009
1936208017	SILVIO COZZETTO	411 S OLD WOODWARD AVE # 806	BIRMINGHAM	MI	48009
1936208017	SHIRLEY NAKASH REVOC TRUST	PO BOX 7137	BLOOMFIELD HILLS	MI	48302
	MTM INVESTMENTS HOLDINGS LLC	325 S OLD WOODWARD AVE STE 2	BIRMINGHAM	MI	48009
1936208017	STEVE LINTON	55 S MAIN ST STE 345	NAPERVILLE	IL	60540
1936208017	9003 ASSOCIATES LLC	5480 CORPORATE DR STE 230	TROY	ML	48098
1936208017	STEVEN H MUSKOVITZ	16146 BELFORD DR	MILTON	GA	30004
1936208017	FREDERICK A FROMM	411 S OLD WOODWARD AVE # 1006	BIRMINGHAM	MI	48009
1936208017	ROBERT SLOAN	411 S OLD WOODWARD AVE # 630	BIRMINGHAM	MI	48009
1936208017	MICHEL M HANNA	2894 MEADOWOOD LN	BLOOMFIELD HILLS	MI	48302
1936208017	JEFFREY M FRATARCANGELI	558 STANLEY BLVD	BIRMINGHAM	МІ	48009
1936208017	KAREN ZACK	411 S OLD WOODWARD AVE # 625	BIRMINGHAM	MI	48009

1936208017	GERALD F BAKER III	411 S OLD WOODWARD AVE # 629	BIRMINGHAM	ML	48009
1936208017	OLD WOODWARD 631 LLC	39475 W 13 MILE RD STE 203	NOVI	MI	48377
1936208017	ANN ELIZABETH MILLER COHEN TRUST	411 5 OLD WOODWARD AVE # 610	BIRMINGHAM	MI	48009
1936208017	SHANDA RUMBLE REVOC TRUST	411 S OLD WOODWARD AVE # 608	BIRMINGHAM	MI	48009
1936208017	CAROLINE DANESHVAR	411 S OLD WOODWARD AVE # 604	BIRMINGHAM	MI	48009
1936208017	DANA ABNER	121 W LONG LAKE RD STE 300	BLOOMFIELD HILLS	MI	48304
1936208017	MAX A SURNOW	320 MARTIN ST STE 100	BIRMINGHAM	MI	48009
1936208017	JASON R LUCKOFF IRR TRUST	411 S OLD WOODWARD AVE # 701	BIRMINGHAM	MI	48009
1936208017	DEBRA JO ELSHOLZ	411 S OLD WOODWARD AVE # 703	BIRMINGHAM	MI	48009
	411 BIRMINGHAM PLACE LLC	6609 QUEEN ANNE DR	WEST BLOOMFIELD	MI	48322
	RENEE LOSSIA ACHO	3467 SUTTON PL	BLOOMFIELD HILLS	MI	48301
	LISA GROFFSKY ARONSON	1823 N HONORE ST	CHICAGO	IL	60622
	MARY NALBANDIAN	3015 BROCKMAN BLVD	ANN ARBOR	MI	48104
	WILLIAM D KOLB LIVING TRUST	411 S OLD WOODWARD AVE # 518	BIRMINGHAM	MI =	48009
	ANDREW RUST	411 S OLD WOODWARD AVE # 514	BIRMINGHAM	MI	48009
	CHRISTOPHER M AMBROSE	146 S WASHINGTON ST			
			OXFORD	MI	48371
	KAREN REINHART	32700 BINGHAM LN	BINGHAM FARMS	MI	48025
	VINAY PALLEGAR	411 S OLD WOODWARD AVE # 507	BIRMINGHAM	MI	48009
	SAMANTHA TULLIO	411 S OLD WOODWARD AVE # 1011	BIRMINGHAM	MI	48009
	GAYLE S GOODMAN	411 S OLD WOODWARD AVE # 912	BIRMINGHAM	MI	48009
	BARBARA A ZAGUROLI	411 S OLD WOODWARD AVE # 707	BIRMINGHAM	MI	48009
	ANDREW RICH	411 S OLD WOODWARD AVE # 721	BIRMINGHAM	MI	48009
1936208017	TRG BP LLC	390 PARK ST STE 222	BIRMINGHAM	MI	48009
1936208017	ERIN LEIGH MELLOTT	411 S OLD WOODWARD AVE # 730	BIRMINGHAM	ML	48009
1936208017	MICHIGAN-MR LLC	PO BOX 2585	PALM BEACH	FL	33480
1936208017	ANVITA SINHA	10224 FOX BOROUGH DR	OAKDALE	CA	95361
1936208017	JUDY M JENNINGS	411 S OLD WOODWARD AVE # 722	BIRMINGHAM	MI	48009
1936208017	SHIRLEY VANGELOFF	6278 N FEDERAL HWY # 414	FORT LAUDERDALE	FL	33308
1936208017	CYNTHIA M VAKHARIYA	142 WESTCHESTER WAY	BIRMINGHAM	MI	48009
1936208017	WILLY CHWANG	27 ARTISAN WAY	MENLO PARK	CA	94025
1936208017	LOUIS P ROCHKIND	411 S OLD WOODWARD AVE # 710	BIRMINGHAM	М	48009
1936208017	GREGORY A CARNAGO	667 E BIG BEAVER RD STE 201	TROY	MI	48083
1936208017	BRADLEY STEEL	411 S OLD WOODWARD AVE # 704	BIRMINGHAM	MI	48009
1936208017	THOMAS BEELER TRUSTEE	258 GOLDEN GATE PT # 801	SARASOTA	FL	34236
1936208017		1829 WESTRIDGE DR	ROCHESTER HILLS	MI	48306
	MERI BARASH	500 NE 15TH AVE	FORT LAUDERDALE	FL	33301
	MELVYN C STERNFELD	411 S OLD WOODWARD AVE # 802	BIRMINGHAM	MI	48009
1936208017		411 S OLD WOODWARD AVE # 800	BIRMINGHAM	MI	48009
	801 BIRMINGHAM PLACE TRUST	25800 NORTHWESTERN HWY # 515	SOUTHFIELD	MI	48035
	EATON AND MORE MANAGEMENT LLC	2463 HERONWOOD DR	BLOOMFIELD HILLS	MI	48302
	JOSEPH LOPEZ	411 S OLD WOODWARD AVE # 905	BIRMINGHAM		
	PATRICK W ROBERTS	PO BOX 9037		ML	48009
	ALISSA CZISNY		MIRAMAR BEACH	FL	32550
		411 S OLD WOODWARD AVE # 911	BIRMINGHAM	MI	48009
	WAAD INVESTMENTS LLC	4805 BANTRY DR	WEST BLOOMFIELD	MI	48322
	ADELHEID SEIDENSTICKER	666 BALDWIN CT	BIRMINGHAM	MI	48009
	ADELHEID F SEIDENSTICKER	666 BALDWIN CT	BIRMINGHAM	MI	48009
	DANIEL J O'BRIEN TRUST	1818 ARGOSY CT	BLOOMFIELD HILLS	MI	48302
	KAREN REINHART	32700 BINGHAM LN	BINGHAM FARMS	MI	48025
	MOUSSA HANNA	411 S OLD WOODWARD AVE # 1000	BIRMINGHAM	MI	48009
1936208017		3171 W SHORE DR	ORCHARD LAKE	MI	48324
	THE BOYLL FAMILY LIVING TRUST	411 S OLD WOODWARD AVE # 725	BIRMINGHAM	MI	48009
1936208017	CAROL BARNETT KOZLOW REVOC TRUST	411 S OLD WOODWARD AVE # 729	BIRMINGHAM	MI	48009 -
1936208017	THOMAS HARDY	411 S OLD WOODWARD AVE # 829	BIRMINGHAM	MI	48009
1936208017	DJF LAM GROUP LLC	3803 KAELEAF RD	LAKE ORION	MI	48360
1936208017	DORIS HANNA	3755 WALNUT BROOK DR	ROCHESTER HILLS	MI	48309
1936208017	411 S OLD WOODWARD LLC	3467 SUTTON PL	BLOOMFIELD HILLS	MI	48301
1936208017	SUSAN M SOSNICK REVOC TRUST	300 SEMINOLE AVE APT 6B II LUGANO CONDO	PALM BEACH	FL	33480
1936208017	TERRY MANN	411 S OLD WOODWARD AVE # 813	BIRMINGHAM	MI	48009
1936208017	EVELYN CHAN REVOCABLE TRUST	5234 BREEZE HILL PL	TROY	MI	48098
1936208017	EMILY KAY BELCHER	411 S OLD WOODWARD AVE # 817	BIRMINGHAM	М	48009
1936208017	GREGORY L HARVEY	411 S OLD WOODWARD AVE # 821	BIRMINGHAM	ML	48009
1936208017	RICK LEE HAMILTON	411 S OLD WOODWARD AVE # 823	BIRMINGHAM	MI	48009
1936208017	ISAAC INVESTMENT COMPANY LLC	5295 MIDDLEBELT RD	WEST BLOOMFIELD	MI	48323

1936208017	KENNETH M KOROTKIN	411 S OLD WOODWARD AVE # 822		BIRMINGHAM	МІ	48009
1936208017	JEFF ROBERTS	411 S OLD WOODWARD AVE # 818		BIRMINGHAM	MI	48009
1936208017	MARIA N CLEMENTE	411 S OLD WOODWARD AVE # 705		BIRMINGHAM	MI	48009
1936208017	CARLOS MAIDAGAN	3098 RESEARCH DR		ROCHESTER HILLS	MI	48309
1936208017	BIRMINGHAM PLACE REALTY LLC	411 S OLD WOODWARD AVE # 1024		BIRMINGHAM	MI	48009
1936208017	PONNAPPA PANDIKUTHIRA	4215 TOPAZ CT NW		CEDAR RAPIDS	IA	52405
1936208017	CAROL J MITRI	411 S OLD WOODWARD AVE # 1018		BIRMINGHAM	MI	48009
1936208017	JOSEPH W WRONSKI	411 S OLD WOODWARD AVE # 1014		BIRMINGHAM	MI	48009
1936208017	CATHERINE M BROZEK REAL ESTATE TRUST	411 S OLD WOODWARD AVE # 1012		BIRMINGHAM	MI	48009
1936208017	VANDAD RAOFI	411 S OLD WOODWARD AVE # 1010		BIRMINGHAM	MI	48009
1936208017	NEDA MIRAFZALI	310 CORRIE RD		ANN ARBOR	MI	48105
1936208017	JULIE A WOLFE	411 S OLD WOODWARD AVE # 1021		BIRMINGHAM	MI	48009
1936208017	BRENDA KNIGHT	11426 N JUSTIN DR		MEQUON	WI	53092
1936208017	ALICE K LEZOTTE TRUSTEE	411 S OLD WOODWARD AVE # 511		BIRMINGHAM	MI ×	48009
1936208017	ALEXANDER PFAU	411 S OLD WOODWARD AVE # 611		BIRMINGHAM	MI	48009
1936208017	JANIS E STERLING REVOC TRUST	4212 WOODLANE CT		WESTLAKE VILLAGE	CA	91362
1936208017	NISREEN K MURAD	411 S OLD WOODWARD AVE # 715		BIRMINGHAM	ML	48009
1936208017	BAVAND HAMIDI	31 LARKMEAD		ALISO VIEJO	CA	92656
1936208017	MICHAEL FREZZA	411 S OLD WOODWARD AVE # 812		BIRMINGHAM	MI	48009
1936208017	LEE STEINBERG	411 S OLD WOODWARD AVE # 810		BIRMINGHAM	MI	48009
1936208017	JORDAN BRODER	411 S OLD WOODWARD AVE # 808		BIRMINGHAM	MI	48009
1936208017	JOHN W HOEFFLER REVOC TRUST	411 S OLD WOODWARD AVE # 804	70	BIRMINGHAM	MI	48009
1936208017	CYNTHIA K NEAL	24100 SORREL CT		BEAR VALLEY SPRINGS	CA	93561
1936208017	JOLIE GOLDBERG	411 S OLD WOODWARD AVE # 901		BIRMINGHAM	Mt	48009
1936208207	BIRMINGHAM TOWER PARTNERS LLC	251 E MERRILL ST STE 205		BIRMINGHAM	MI	48009
1936210003	ASSOCIATES OF 555 LTD PARTNERSHIP	555 S OLD WOODWARD AVE		BIRMINGHAM	MI	48009
1936210005	MANORWOOD PROPERTIES LLC	555 S OLD WOODWARD AVE STE 705		BIRMINGHAM	MI	48009
1936253025	GRC ASSETS LLC	750 S OLD WOODWARD AVE		BIRMINGHAM	MI	48009
1936253026	WOODWARD & GEORGE LLC	784 S OLD WOODWARD AVE		BIRMINGHAM	MI	48009
1936253028	EID PROPERTIES LLC	588 S OLD WOODWARD AVE		BIRMINGHAM	MI	48009
1936253029	BITONTI REAL ESTATE LLC	709 ANN ST		BIRMINGHAM	MI	48009
1936253030	ICG REAL ESTATE COMPANY LLC	500 S OLD WOODWARD AVE		BIRMINGHAM	MI	48009
1936253034	690 S OLD WOODWARD LLC	112 PEABODY ST		BIRMINGHAM	MI	48009
1936253035	HORMOZ ALIZADEH LLC	1416 INWOODS CIR		BLOOMFIELD HILLS	MI	48302
1936278012	GLOBAL REAL ESTATE INVESTMENTS LLC	808 S OLD WOODWARD AVE		BIRMINGHAM	MI	48009
1936278013	WOODWARD VIEW LLC	251 E MERRILL ST FL 2ND		BIRMINGHAM	MI	48009
1936278014	WOODWARD VIEW LLC	251 E MERRILL ST FL 2ND		BIRMINGHAM	MI	48009
1936278017	BEIER FAMILY REAL ESTATE	43223 W 12 MILE RD		NOVI	MI	48377
1936278018	PERIMETER PROPERTIES LLC	112 PEABODY ST		BIRMINGHAM	MI	48009

«Name» «Address» «City», «State» «Zip»

February 22, 2022

TO: Property Owners

RE: S. Old Woodward Phase 3 Paving Project

Water & Sewer Lateral Replacement and Street Scape Assessments

Phase three of the City of Birmingham's downtown infrastructure improvements will take place during the 2022 construction season. Significant work will occur on South Old Woodward between Brown and Landon. Upgrades to the sidewalk streetscape along with the water and sewer system, and complete street pavement replacement are planned.

With this letter you are receiving **two (2)** notifications of public hearings (Hearing of Necessity) scheduled to occur on **Monday, March 14, 2022** at the regularly scheduled City Commission meeting at 7:30 p.m. The first is to consider a Special Assessment District (SAD) for sidewalk and streetscape upgrades. The second is to consider an SAD for replacing certain water and sewer laterals to individual properties within the project area. All property owners in the project area will be assessed for sidewalk and streetscape upgrades. Some, but not all, will be assessed for water and sewer laterals. The following information will help clarify what is being assessed for each SAD.

For the **first** SAD for sidewalks and streetscape, as with previous projects of this nature, it has been the City's policy to assess 75% of the streetscape improvements to the properties that share frontage with the improvements. Improvement items include:

- All new concrete and exposed aggregate sidewalks from the building face to the back of curbs.
- Removal and replacement of all street trees, including excavation and replacement with approximately 1,000 cu.ft. of specially formulated soil designed to encourage tree growth.
- Enlarged, raised planter beds around each new street tree, framed by a 6 inch high exposed aggregate curb, with irrigation, and professionally designed landscaping.
- · Granite seating areas where space permits.
- Installation of underground electrical system to provide new lighting opportunities for trees along the sidewalk and in the proposed median.

The cost per property will be assessed as an average cost per linear foot of frontage for the improvements. The properties with multiple owners will share the cost of the frontage, and the amount will be based on the square footage of building area owned. The City will bill one-tenth of the assessment (as would be done on

other special assessment districts) plus approximately 5% interest annually on the remaining balance, to make the cost more manageable for the property owners. The City plans to provide an estimate of costs associated with this SAD at the March 14<sup>th</sup> Hearing of Necessity.

The **second** SAD is for water and sewer laterals. As previously stated, some but not all property owners in the project area will be assessed for water and sewer laterals. Since water and sewer services only benefit one property, they are not considered a part of the City's public system. Therefore, the maintenance and repair of the services from the building to the connection at the public main is the responsibility of each individual property owner. City policy dictates that these replacements are completed at the property owner's expense. Only those who qualify as outlined below will have their sewer and/or water service replaced and receive an assessment.

The City's policy outlined in section 114-30 of the city code is to replace any water service that is less than 1 inch in diameter, and outlined in section 114-171 of the city code is to replace any sewer service that is 50 or more years old, in poor condition, or is made of materials that do not meet city standards (e.g. "Orangeburg" pipe). Replacement during a road construction project protects the City's investment in the road by reducing the chance of failure by a lateral within the right-of-way area.

The actual cost of replacing the section of the water and/or sewer lateral charged to you will vary depending on the actual location of the City mains, and any other obstacles, such as trees, that are in the way. Property owners are only charged for the actual length of service replaced if their service qualifies for assessment as described above.

After the work is completed, an invoice will be generated and sent to the property owner of record for the length of service(s) replaced. Payment in full will be expected within 30 days of receipt. As with the first assessment, if you are not in a position to pay off the charge in one payment, it can be broken into as many as 10 annual payments. An annual interest charge on the remaining balance, currently about 5%, will apply. It is anticipated that property owners will see a total charge of \$1,600 to \$5,000 for water and/or sewer lateral work related to this project. Official estimates will be provided at the Hearing for Necessity.

If you have any questions or concerns, please contact the Engineering Office at (248) 530-1850. You have the opportunity to speak directly to the City Commission at the Public Hearing of Necessity that will be held on March 14, 2022.

Residents and businesses are encouraged to sign up for the South Old Woodward Reconstruction Phase 3 Constant Contact group at <a href="https://bit.ly/bhamnews">bit.ly/bhamnews</a> to receive updates throughout the project. Learn more about the project at <a href="https://www.bhamgov.org/oldwoodwardphase3">www.bhamgov.org/oldwoodwardphase3</a>.

Sincerely,

Scott D. Zielinski, P.E. Assistant City Engineer szielinski@bhamgov.org (248)530-1838



# MICHIGAN.COM – Serving the OBSERVER & ECCENTRIC and HOMETOWN WEEKLY NEWSPAPERS 6200 Metropolitan Pkwy, Sterling Heights, MI 48312

### BE IT MADE KNOWN THAT THE FOLLOWING ADVERTISMENT APPEARED IN:

Publication: Birmingham Eccentric
Placed By: City of Birmingham
Subject: Old Woodward SAD Streetscape
Date of Publication: February 27 & March 6, 2022

(Susan Totoraitis), being duly sworn, deposes and says that the advertising illustrated above/attached was published in the Birmingham Eccentric Newspaper following date/s/: Feb. 27 & March 6, 2022, INVOICE number 361430, and as an authorized employee of the Observer and Eccentric Media, she knows well the facts stated/herein. Cost: \$260.64.

STATE OF MICHIGAN

**NOTARIZED BY:** 

March 8, 2022

DATED:

**Acting in County of Macomb** 

GINA ANNE HUFF
NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF LIVINGSTON
My Commission Expires March 09, 2023

### STATE OF MICHIGAN COUNTY OF OAKLAND VILLAGE OF FRANKLIN 32325 Franklin Road, Franklin, Michigan 48025

Village Grass and Nexious Words Ordinance Property Owners and or Parties of Interest:

Notice is hereby given to all persons occupring or owning any property within the Village of Franklin that jurisuant to Chapter 1479 01, as amended in the Village Code of Ordinances, it shall be the duty of such owners or excupant to keep all grass and weed out below a height of eight (8) unders. If the provisions of the Ordinance are not compiled with, the Village shall cause such greats to be cut. The actual cost of such cutting, plus twenty percent (COVI) for administration charge, shall be charged to and paul by the owner If necessary, the Village shall call have a lies for the cutting appearance, costs and twenty percent (20%) administration charge, which less shall be charged to and paul by the owner If necessary, the Village shall have a lies for the cutting appearance, costs and twenty percent (20%) administration charge, which less shall be enforced in the manner presented by state law for the enforcement of stat liens.

Heather Mydlock

Publish Murch 98, 202

-

NOTICE OF PUBLIC HEARING						
CITY OF BIRMINGHAM						
	HEARING OF NECESSITY LEARING OF CONFIRMATION					
Meeting Date, Time, Location:	HEARING OF NECESSITY FOR SPECIAL ASSESSMENT DISTRICT Monday, Monday, March 14, 2022, 7.30 PM Municipul Building, 101 Martin, Birmingham, MI 48009					
Meeting Date, Time, Location:	HEARING OF CONFIRMATION FOR SPECIAL ASSESSMENT DISTRICT Monday, April 11, 2022, 7.30 PM Municipal Building, 151 Martin, Birmingham, MI 48009					
Project Location:	S. Old Woodward Avenue, from Brown St. to Landon St.					
Nature of Improvement:	Construction of sidewalk and attretscape improvements adjacent to all properties within the project area					
City Staff Contact:	Scott Ziehneki, Assistant City Engineer exichinaki@bhamgov.org. (248)530-1638					
Notice Requirements:	Mail to affected property owners Publish February 27, 2022 & March 6, 2022					
Approved minutes may be reviewed at:	City Clerk's Office					

Should you have any statement regarding the above, you are myticd to attend the meeting in person or virtually through ZOUM: https://genrm.us/1455272720 Mosting ID: 633-679-786

You or your agent may appear at the hearings to express your views, however, if you fail to protest wither in person or by letter received an or before the date of the hearing, you cannot appeal the amount of the special assessment to the Michigan Tar Tribunal. Mail any correspondence to: City Clerk, P.O. Box 3001, Birmingham, MI 48012.

The property owner may file a written appeal of the special assessment with the State Tax Tribunal within 30 days after the confirmation of the special assessment roll if that special assessment was preferred at the hearing held for the purpose of confirming the roll

All special assessments, including installment payments, shall, from the date of the unfirmation thereof, contitute a lien on the respective lots or parcels assessed, and until peak shall be charged against the respective workers of the late or parcels assessed.

Persons with disabilities needing accummodations for effective participation in this meeting should contact the City Clerk's Office at 248 533.1880 (vsice) or 248 644.5115 (TDD) at least one day in advance to request mobility, visual, hearing or other assistance.

Publish Primary 27 & Marsh 6, 202

Physical ab. 450

NOTICE OF	PUBLIC HEARINGS				
BIRMINGHAM CITY COMMISSION					
PUBLIC HEA	RING OF NECESSITY				
PUBLIC HEARI	NG OF CONFIRMATION				
Morting Date, Time, Location:	HEARING OF NECESSITY FOR SPECIAL ASSESSMENT DISTRICT Monday, Monday, Marth 14, 2022, 7.30 PM Nuncipal Building, 151 Martin. Birmingham, MI 48009.				
Meeting Date, Time, Location:	HEARING OF CONFIRMATION FOR SPECIAL ASSESSMENT DISTRICT Menday, April 11, 2022, 7-30 PM Municipal Building, 151 Martin, Birmingham, MI 48009				
Project Location	8. Old Woodward Avenue, from Brown St. to Landon St.				
Nature of Improvement:	Replacement and improvement of water and sewer leads meeting the requirements for amount of all proporties within project area				
City Staff Contact:	Scott Zielmeki, Amistant City Engineer etielineki@hamron.org   245/530-1834				
Notice Requirements:	Mail to affected property owners Publish February 27, 2022 & March 8, 2022				
	City Clerk's Office				
Should you have now etstement econodi-	no the above your one invited to attend the meeting				

Controvers mirrors may be reviewed at: [LIV Liest & Line | Live Liest & Control | Line | Line

You or your agent may appear at the hearings to express your views, however, if you fail to protest either in person or by letter reserved on or before the date of the hearing, you cannot appeal the amount of the special ansessment to the Michigan Tax Tribunal Mad any correspondence to: City Clerk, P.O. Ber 3001, Birmingham, MI 46012.

The property owner may file a written appeal of the special assessment with the State Tax Tribural within 30 days after the confirmation of the special assessment relift that special assessment was protested at the hearing belif for the purpose of confirming the reli

All opecial assessments, including installment payments, shall, from the date of the confirmation thereof, ronatitate a hen on the respective lots or parcels assessed, and until paid shall be charged against the respective owners of the lots or parcels assessed.

Persons with disabilities needing accommodations for effective participation in this meeting should contact the Uity Clerk's Office at 248.530 1880 (voice) or 248.644.5115 (TDD) at least one day in advance to request mobility, visual, hearing or other neestance

Publish Polymary ST & March 6, 2022

.



# INVITATION TO BID BID NO. 9941 ERGOTRON LEARN FIT SIT-STAND DESK TROY SCHOOL DISTRICT

The Troy School Datrict will receive firm, sealed bids for furnishing, delivering, and assembling installing new Expotron Learn Fit Sit-Stand Deeks to 12 different locations within the Truy School Datrick.

Specifications and proposal forms can be obtained online at http://www.trzy.kt2.mi.us From the main page click the "Business Services" tab listed under "Departments", then click "Furnhasing" and seroll does a to locate and acrees the bad decuments.

Year proposal and two copies marked "Bid \$941 Fegotron Beaks" must be delivered no later than 10:00 n.m., Tuesday, March 15, 2022, Troy School Dather, Servare Building Technology Iepariment, 4220 Livernous Rood, Troy, MI 45098 ATTN Beth Boggs, Technology Director, at which time all load will be publicly uponed and read about mmodiately thereafter. Bid proposals received after this time will not be considered at asymptod.

All questions regarding the bid specified, or the bid terms and conditions will be accepted in writing (MMX and subsequently answered through an addendum to all internated parties (vourtions must be received no later than none, wicknessely, Marin 9, 2022, and may be vanished to beoggrefitray, killaniss Al ng other Limp prior to the bid opening will questions/concerns the addressed of uncontined.

All hidders must provide Insulal disclosure in compliance with MCL 380 1287 and attach the information to the bid proposal. The bid proposal will be accompanied by a sworn and notatized statement disclosing any familial relationship that visits between the swene or any employee of the hidder and any nember of the Tray School Italiand or the Tray School Italian Superintendent. Also, a sworn and notarised Affidavit of compliance for the Iran Economic Sanctions Act certifient the vender does made will comply with Public Act 157 of 2012 shall acrompany all proposals Both forms will be enclosed to the specification's backlet that shall be used for the purpose The Publicit will shall be seen to the superintendent of the same of the sa

The Trey Board of Education reserves the right to accept or reject any or all bids, either in whole or in part; to sward contract to other than the low bidder to waive any irregularities and/or informalities, and in general to make awards in any manner deemed to be in the leaf interest of the owner.

Technology Departmen Troy School Dutrict 4420 Livernois Road Troy, MI 48098

Poblack March 6, 1923

-

### INVITATION TO BID BID NO. 9942 AVER DOCUMENT CAMERAS TROY SCHOOL DISTRICT

The Truy School District will receive firm, sealed hids for furnishing and delivering new Aver Josument cameras.

Specifications and proposal forms can be obtained online at http://www.truy.ht2.ml.us From the main page click the "Rusiness Services" tak listed under "Departments", then click "Purchasing" and serul down to locate and access the bid documents.

Your proposal and two color marked "Bild 9942 Aver Document Cameras" must be delivered no later than 10:00 a.m., Tuesday, March 13, 3022, Truy School District, Services Bushing-Technology District, and the color of the color o

All questions regarding the bid specified, as the bid isrms and conditions will be accepted in writing ONLY and subsequently answered through an addendum to all interested partica. Questions must be received no later than soon, Walnesday, March 9, 2022, and frary be smalled its beoggs@ftrys.kl.Zam.has At no other time prior to the bid opening will questioned concruse be addressed or necepted.

concrens be addressed or neersted.
All bidders must provide familial dischasire in campliance with MCL 380 1267 and attach
this information to the hid proposel. This bid proposel will be accompanied by a sworn and
notarized statement disclosing any familial relationship that visits between the owner or any
employee of the bidder and any needber of the Tray School Board or the Tray School Districts
Superintendent. Also, a sworn and notarized Affidavis of compliance for the Iran Economic
Sanctions Act certificing the vender does and will comply with Public Act CT of 2012 shall
accompany all proposals. Both forms will be exclosed in the specification's booklet that shall
be used for this purposes. The District will not accept a bid proposal that does not include these
were and noterized disclosure statement.

The Troy Board of Education reserves the right to accept or exject any or all lads, either in whole or in part, to sward contract to other than the low balder, to warso any irregulatities and/or informalities, and in general to make awards in any manner deemed to be in the best unterest of the owner.

Technology Department Troy School District 4420 Livernois Road Troy, MI 48098

Poblah Nama 4 1022

\_--



Baldwin Public Labrary 300 W M-rrill 81:---t Barmungham, MI 48009 248-847-1780

### NOTICE OF PUBLIC HEARING

Monday, March 21, 2022 at 7:30 p.m. 2022-2023 Budget Hearing

The Boldwin Publis Library Beard of Directors will hold a public bearing on Menday, March 21, 2022, at 7 30 pm., in the Rotary Tribute and Denor Rooms of the Baldwin Public Library, 300 W. Merrill, Brimingham, M. Members of the public may attend in person or via Zoom.

This pull is maring is being held to consider the 2011 2011 budget for the Baldwin Public

Library

The property tax millage rate proposed to be levied to support the proposed budget will be a subject of this hearing.

Topic: Baldwin Public Library 2022-2023 Budget Hearing
Times Mar 21, 2022 07:36 PM Eastern Time
The public may participate via Zoom:
Jein Zoom Meving. BiggarfundZweb.noven.tom/89033158283
Meving 11::863 31318283
One tap mobile -13017138672.8903216220-US (Washington DC)
+13129286799\_88033158283# US (Chicago)

Public comments may be presented either in person or in writing

By 5.00 p.m. on Friday, March 16, 2022 you may obtain a copy of the proposed budget by
poing to the Library's we batter (www.baid.wight.byogg..ashing at the Library's Abulis Services

Reference Deak | 246-554-4550, or matering Robert Stratton (248-554-4684).

Approved minutes of this hearing may be reviewed on the Labrary's website or at its Business Office.

THIS NOTICE IS GIVEN in accordance with Act 261, 1966 Public Act 267 DATE PONTED February 18, 2022

Persons with disabilities that their irreprise passagane for effective portragation in this policy marting about matter that Labrary 4 the treature (241 Set (1718), or 2,810 Set (1718) for the lowering imported at lines one day before the sourcing trapped ladge in models, varied, however, or whose resolution. Las primition per compression of our reported is to the source of the

Publish Morels 6, 2022

Productions and d



### March 14, 2022



Williams Williams Rattner & Plunkett, P.C. Attorneys and Counselors

380 North Old Woodward Avenue Suite 300 Birmingham, Michigan 48009

Tel: (248) 642-0333 Fax: (248) 642-0856

Via hand delivery

Clerk City of Birmingham 151 Martin St. Birmingham, MI 48009

RE:

Protest of Special Assessment on Behalf of

The New 555 Residential, LLC The New 555 Commercial, LLC Manorwood Properties, LLC

Dear Clerk:

We represent The New 555 Residential, LLC, The New 555 Commercial, LLC, and Manorwood Properties, LLC. The New 555 Residential, LLC, The New 555 Commercial, LLC, own properties commonly known as 555 S. Old Woodward Avenue in Birmingham, and identified as Parcel Nos. 08-19-36-210-001 and 08-19-36-210-002. Manorwood Properties, LLC, owns property commonly known as 555 S. Old Woodward Avenue, Suite 100, and identified as Parcel No. 08-19-36-210-005.

We are submitting this letter in protest of the creation of and inclusion of these properties in a proposed special assessment district concerning proposed streetscape and sidewalk construction. In brief, these properties receive no special benefit from the proposed improvements that the special assessment will finance, there will be no increase in the properties' values, the amount of the assessments against the properties is not proportionate to the expected benefit, and the proposed special assessment does not otherwise comply with Michigan law.

With respect, we protest the City's proposed special assessment district and these properties' inclusion in the district, and request that the City decline to adopt the special assessment district.

Clerk's Office City of Birmingham, MI

MAR 1 4 2022

4:59pm

RECEIVED

Respectfully Submitted,

Jason C Long



# City of Birmingham A Walkable Community

### **MEMORANDUM**

(Engineering)

DATE: April 7, 2022

TO: Thomas M. Markus, City Manager

FROM: Scott Zielinski, Assistant City Engineer,

Jim Surhigh, Consulting City Engineer

SUBJECT: South Old Woodward Phase 3 Paving Project

Contract #1-22 (P) Contract Award

### INTRODUCTION:

Bids for the S. Old Woodward Phase 3 Paving Project Contract #1-22 (P) were opened on March 23, 2022. The City received one bid submitted by Angelo Iafrate Construction Company (AICC). Two bidders attended the mandatory pre-bid meeting however only one of the two submitted a bid.

### BACKGROUND:

The South Old Woodward Phase 3 Reconstruction is a continuation of Phase 1 and Phase 2 portions of the downtown reconstruction projects (completed in 2018 and 2020 respectively). Phase 3 includes S. Old Woodward between Brown Street and Landon Street.

Project plans have been prepared following the conceptual design for the Phase 3 project which was approved by City Commission on October 25, 2021. Similar to the first two phases, Phase 3 will consist of reconstructing the pavement and sidewalks across the entire right-of-way (from nearly building face to building face in many areas). Features of the project include: new concrete pavement, curbs, sidewalks, exposed-aggregate sidewalks, granite benches, exposed-aggregate curbed planter boxes, trees and other plantings, landscaping, irrigation, and new street lighting. Planned utility work needed for the project includes: new storm sewers and catch basins, replacement of aging water mains and fire hydrants, extension of the new fiber optic conduit system from Phase 1, and new underground electric conduit and related equipment for powering street-level outlets and future electric vehicle charging stations.

Planning and design for the project began in 2021, with MKSK, Inc. leading the consultant team for conceptual design of the project and public engagement. After the conceptual plan was approved by the City Commission, the final design effort began with Nowak & Fraus Engineers leading the design team, which includes MKSK (landscaping & public engagement), Fleis & Vandenbrink (traffic engineering), and G2 Consultants (geotechnical engineering). Attached for reference are select plan sheets from the bid set illustrating the major components of work for the planned project.

AICC's bid was opened on March 23, 2022, in the amount of \$10,120,538.95. The summary of the bid is attached for reference. The bid was approximately \$1,852,000 higher (22.4%), than the engineers estimate provided prior to the project being advertised for bidding. Factors that influence the bid pricing include rising fuel and material costs, and the uncertainty for how that may continue during the course of the project. The letter of recommendation for award from our engineering consultant, Nowak & Fraus Engineers, is attached for reference.

A pre-award interview was conducted with Angelo Iafrate Construction Company (AICC) to review the details of their bid and discuss the project requirements and expectations. AICC was confident in their ability to complete the project by the contract completion date. A number of potential means or measures that could reduce costs to some degree were also discussed, but the overall impact would be relatively minor. AICC would be agreeable to pursue some of these possible changes during construction. AICC demonstrated considerable knowledge and understanding of the project design, requirements and expectations. AICC was the contractor for the previous two phases of the downtown reconstruction effort, and the City was very satisfied with their performance. The Engineering Department is confident that they are fully qualified to perform the work required for the Phase 3 Project.

As is required for all of the City's construction projects, AICC has submitted a 5% bid security with their bid which will be forfeited if they do not provide the signed contracts, bonds and insurance required by the contract following the award by the City Commission.

### LEGAL REVIEW:

The City's standard construction contract was used for this project. Legal review is ongoing.

### FISCAL IMPACT:

The total cost of the project is estimated to be \$12,003,000.00 which includes the construction cost of \$10,120,538.95, a 5% construction contingency and the estimates for professional and other services related to the project.

The costs of the project will be charged to the following accounts:

Budget Fund	Fund ID Number	Budget Amount
MAJOR STREETS	202-449.001-981.0100	\$3,006,000.00
SIDEWALKS	101-444.001-981.0100	\$4,339,000.00
FIBER OPTIC CONDUIT	101-444.003-981.0100	\$588,000.00
SEWER PUBLIC IMPROV	590-536.001-981.0100	\$2,442,000.00
WATER PUBLIC IMPROV	591-537.004-981.0100	\$903,000.00
STREET LIGHTS	401-901.010-981.0100	\$725,000.00
	Total Costs	\$12,003,000.00

Currently, the City has \$1,000,000.00 budgeted in fiscal year 2021-2022 in the Major Street Fund for pre-construction and beginning construction costs, with the remainder of

the construction costs to be budgeted in fiscal year 2022-2023. These costs have been included in the proposed budget which will be presented to the City Commission on May 7<sup>th</sup> and is scheduled to be adopted on June 13<sup>th</sup>.

### PUBLIC COMMUNICATIONS:

Throughout the preliminary design and final design stages of the project, the property owners, businesses, and residents as well as the public at large in the project area, were notified of opportunities to attend a series of informational meetings, as well as when the project was brought before the Multi-Modal Transportation Board, the Planning Board, and the City Commission meetings. A project information page has been established on the City's website, and has been regularly updated as the design progressed. A recording of an informational meeting that was conducted at City Hall in February 2022 available on the city's www.bhamgov.org/oldwoodwardphase3. Items discussed included a project overview, traffic access during construction, Birmingham Shopping District initiatives during construction, and special assessments related to the project.

The City will continue to communicate with properties and businesses within the project area as the project proceeds. Communication with the owners, businesses and residents in the project area will include the project announcement, project start date and regular updates. Property owners, businesses and residents in and around the project area will be encouraged to sign up for the City's Constant Contact to receive additional information during the project.

### SUMMARY:

Bids were opened for the S. Old Woodward Phase 3 Paving Project #1-22 (P) on March 23, 2022. One bid was submitted by Angelo Iafrate Construction Company in the amount of \$10,120,538.95. Based on review of the bid, and the contractor's experience and qualifications, we recommend that the project be awarded to Angelo Iafrate Construction Company in the amount of \$10,120,538.95.

### ATTACHMENTS:

Select Plans Sheets from Bid Set Engineers Bid Review Letter Project Budget/Expenditure Summary worksheet

### SUGGESTED COMMISSION ACTION:

Make a motion adopting a resolution to approve the project budget and award the S. Old Woodward Phase 3 Paving Project #1-22 (P) as follows:

Budget Fund	Fund ID Number	Budget Amount
MAJOR STREETS	202-449.001-981.0100	\$3,006,000.00
SIDEWALKS	101-444.001-981.0100	\$4,339,000.00
FIBER OPTIC CONDUIT	101-444.003-981.0100	\$588,000.00
SEWER PUBLIC IMPROV	590-536.001-981.0100	\$2,442,000.00
WATER PUBLIC IMPROV	591-537.004-981.0100	\$903,000.00
STREET LIGHTS	401-901.010-981.0100	\$725,000.00
	Total Costs	\$12,003,000.00

And to award the S. Old Woodward Phase 3 Paving Project #1-22 (P) to Angelo Iafrate Construction Company In the amount of \$10,120,538.95, contingent upon execution of the agreement and meeting all insurance and bonding requirements.

UTILITY PLAN - S. OLD WOODWARD AVE 4+00 TO 8+00 UTILITY PLAN - S. OLD WOODWARD AVE 8+00 TO 12+00 UTILITY PLAN - S. OLD WOODWARD AVE 12+00 TO 16+00

UTILITY PLAN - S. OLD WOODWARD AVE 16+00 TO 20+00 UTILITY PLAN - S. OLD WOODWARD AVE 20+00 TO 24+00 SEWER SERVICE PLAN - S. OLD WOODWARD AVE P.O.B. TO 8+00

SEWER SERVICE PLAN - S. OLD WOODWARD AVE 8+00 TO 16+00 SEWER SERVICE PLAN - S. OLD WOODWARD AVE. 16+00 TO 24+00

C10 SEWER PROFILES (1 OF 2)

C11 SEWER PROFILES (2 OF 2) C12 WATER MAIN PLAN & PROFILES (1 OF 4)

C13 WATER MAIN PLAN & PROFILES (2 OF 4) C14 WATER MAIN PLAN & PROFILES (3 OF 4)

C15 WATER MAIN PLAN & PROFILES (4 OF 4)

C16 GRADING PLAN - S. OLD WOODWARD AVE P.O.B. TO 4+00 C17 GRADING PLAN - S. OLD WOODWARD AVE 4+00 TO 8+00 C18 GRADING PLAN - S. OLD WOODWARD AVE 8+00 TO 12+00

C19 GRADING PLAN - S. OLD WOODWARD AVE 12+00 TO 16+00 C20 GRADING PLAN - S. OLD WOODWARD AVE 16+00 TO 20+00

C21 GRADING PLAN - S. OLD WOODWARD AVE 20+00 TO 24+00 C22 GRADING DETAIL AREAS (1 OF 3)

C23 GRADING DETAIL AREAS (2 OF 3)

C24 GRADING DETAIL AREAS (3 OF 3) C25 PAVING PLAN - S. OLD WOODWARD AVE P.O.B. TO 8+00

C26 PAVING PLAN - S. OLD WOODWARD AVE 8+00 TO 16+00

C27 PAVING PLAN - S. OLD WOODWARD AVE. 16+00 TO 24+00 C28 OLD WOODWARD AVENUE EXISTING & PROPOSED CROSS-SECTIONS

C29 STREET LIGHT, PARKING METER POST & UNDERDRAIN PLAN P.O.B. TO 8+00 C30 STREET LIGHT, PARKING METER POST & UNDERDRAIN PLAN 8+00 TO 16+00

C31 STREET LIGHT, PARKING METER POST & UNDERDRAIN PLAN 16+00 TO 24+00

C32 STREET SIGN PLAN (1 OF 3) C33 STREET SIGN PLAN (2 OF 3)

C34 STREET SIGN PLAN (3 OF 3)

C35 ADVANCED WARNING SIGNAGE DIAGRAM - PHASE

C36 ADVANCED WARNING SIGNAGE DIAGRAM - PHASE 2 C37 PEDESTRIAN FENCE DIAGRAM (1 OF 2)

C38 PEDESTRIAN FENCE DIAGRAM (2 OF 2)

C39 PEDESTRIAN FENCE DIAGRAM (3 OF 3)

C40 PHASING & TRAFFIC MAINTENANCE PLAN (1 OF 3) C41 PHASING & TRAFFIC MAINTENANCE PLAN (2 OF 3)

C42 PHASING & TRAFFIC MAINTENANCE PLAN (3 OF 3)

C43 NOTES & DETAILS (1 OF 3)

C44 NOTES & DETAILS (2 OF 3) C45 NOTES & DETAILS (3 OF 3)

COVER/ KEYMAP/ SYMBOL SHEET 1/ SYMBOL SHEET 2

DETAIL SHEET 1-3/ PROPOSED ROUTE 1 PROPOSED ROUTE 2-5

E-1 ELECTRICAL COMPOSITE PLAN AND SCHEDULES

E-3 PARTIAL ELECTRICAL PLAN E-4 PARTIAL ELECTRICAL PLAN

E-5 PARTIAL ELECTRICAL PLAN E-6 PARTIAL ELECTRICAL PLAN

E-6A PARTIAL ELECTRICAL PLAN

E-7 DETAILS AND DIAGRAMS E-8 DETAILS AND DIAGRAMS

E-9 DETAILS AND DIAGRAMS

E-10 POWER RISER DIAGRAMS AND SCHEDULES

IR-1 IRRIGATION DESIGN IR-2 IRRIGATION DESIGN

IR-3 IRRIGATION DETAILS SHEET

L0.0 PLANT SCHEDULE & NOTES

L1.0A OVERALL LANDSCAPE PLAN

L1.0 LANDSCAPE PLAN L1.1 LANDSCAPE PLAN

L1.2 LANDSCAPE PLAN

L1.3 LANDSCAPE PLAN L1.4 LANDSCAPE PLAN

L1.5 LANDSCAPE PLAN

L1.6 LANDSCAPE PLAN L1.7 LANDSCAPE DETAILS

L1.8 LANDSCAPE DETAILS L2.0A OVERALL SOILS PLAN

L2.0 SOILS PLAN L2.1 SOILS PLAN

L2.2 SOILS PLAN L2.3 SOILS PLAN

L2.4 SOILS PLAN L2.5 SOILS PLAN

L2.6 SOILS PLAN L2.7 SOILS DETAILS

Q1 QUANTITIES

CBD STREETSCAPE STANDARD DETAILS OLD BRICK PAVER SIDEWALK DETAILS\* SEWER STANDARD DETAILS WATER MAIN STANDARD DETAILS



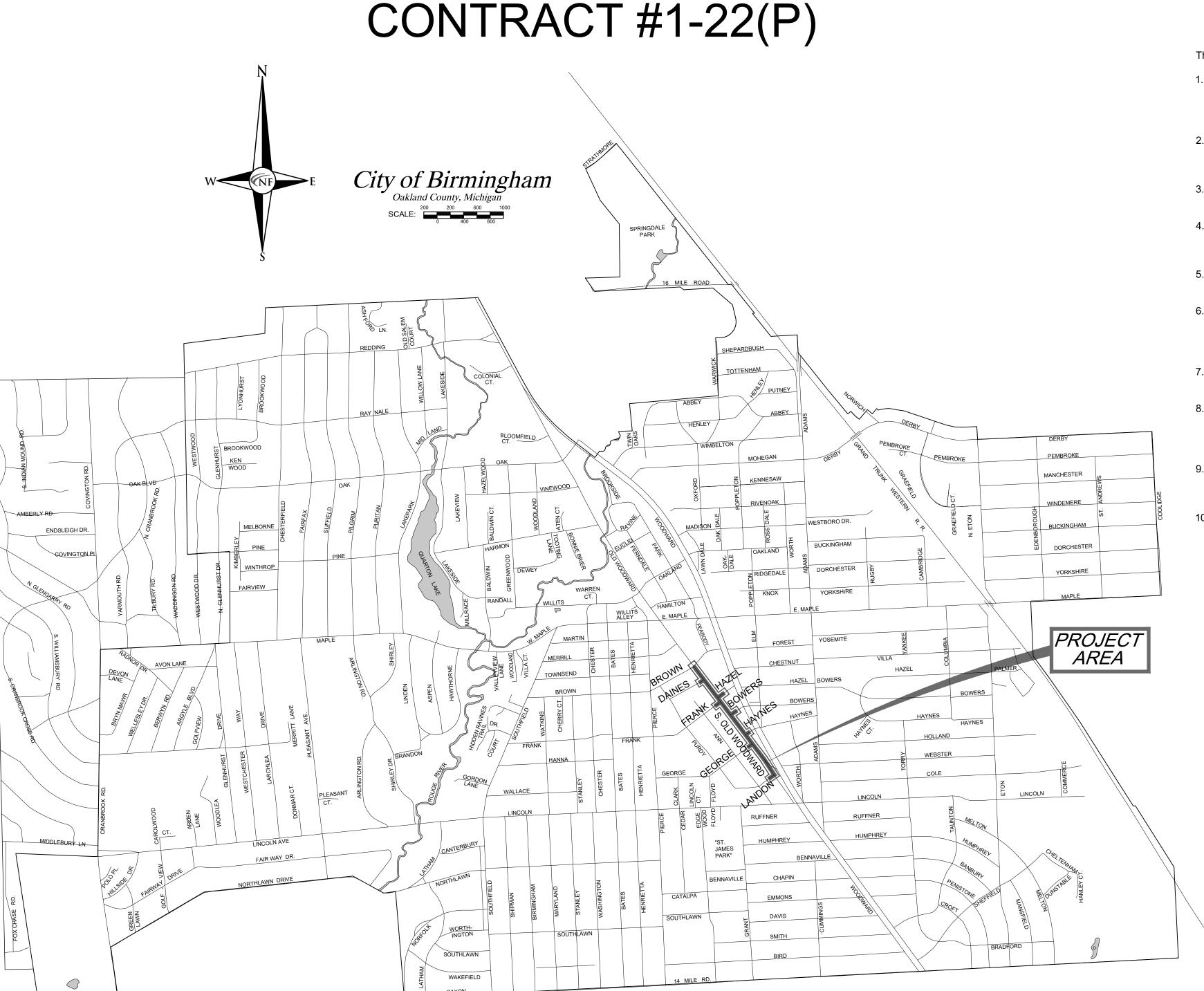
BENCHMARK NOTE BENCHMARKS SET AND SHOWN PER SHEET WERE ESTABLISHED OFF OF THE CITY OF BIRMINGHAM BENCHMARK DATUM.

# **CIVIL ENGINEER**

**NOWAK & FRAUS ENGINEERS** 46777 WOODWARD AVENUE

**ENGINEERING DEPARTMENT** SOUTH OLD WOODWARD AVENUE RECONSTRUCTION PROJECT (PHASE 3)

A Walkable Community



These notes shall apply for all work within this contract:

1. The contractor shall notify MISS DIG 1-800-482-7171 at least 3 working days excluding Saturday, Sunday, and Holidays before making any excavations and notify the City of Birmingham Engineering Department a minimum of 24 hours prior to the start of construction (248-530-1850).

2. See the City of Birmingham drawings "Sewer Standard Details" and "Water Main Standard Details" for details of manholes, catch basins, inlets, and related sewer

3. All excavation under or within three feet of pavement, public or private, shall be backfilled and compacted with sand.

4. The joints at the edges of all excavations in the pavement shall be sawcut, or pavement will be removed to existing joints, as directed by the Engineer. There is no separate pay item for saw cutting pavements.

5. The contractor shall be responsible for damage to existing utilities, pavement, trees, landscaping, gravel, etc., whether located on public or private property.

6. Catch basin and inlet castings scheduled for replacement, or new construction shall be EJIW 5000Z4 DI / 5000M4 DI Hinged Assembly unless specified otherwise. Manhole castings shall be EJIW 1040-A cover as noted on the detail sheets and plans, unless otherwise specified.

7. Storm, sewer and water main trench shall be backfilled with MDOT Class II sand and properly compacted to 95% of modified proctor density.

8. A permit from the Michigan Department of Environmental Quality (MDEQ) is required for all new water main installations. No work shall be allowed on the combined sewer system until appropriate permits have been received by the Michigan Department of Environmental Quality (MDEQ).

9. The contractor shall coordinate and cooperate with all other utility companies working in the same area, project related or not, during the same allotted

10. Allowable trucking routes for this project are as shown on the City map this sheet. Trucks for this project shall not be permitted elsewhere in the City.

ALL WATER MAIN, STORM AND SEWER TRENCH SHALL BE BACKFILLED WITH COMPACTED GRANULAR CLASS II (SAND) MATERIAL

CAUTION!!! LIVE WATER MAIN PRIOR TO CUTTING IN NEW MAIN FITTINGS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE EXISTING WATER MAIN SHUT-DOWN WITH THE CITY. MORE IMPORTANTLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY ENSURING THAT PRESSURES DO NOT EXIST IN THE MAIN AFTER SHUT-DOWN & PRIOR TO CUTTING THE MAIN. IF REQUIRED, THE CONTRACTOR SHALL UTILIZE A HYDRO-STOP DEVICE TO CLOSE OFF FLOW WHILE CUTTING IN NEW TEE.

WATER / SEWER SERVICE NOTE ALL WATER AND SEWER SERVICE LATERAL INFORMATION IS SHOWN PER RECORD, WITHIN THE PUBLIC RIGHT OF WAY. THE CONTRACTOR SHALL COORDINATE WITH CITY FOR ALL PRIVATE-SIDE WATER AND SEWER LATERAL INFORMATION, AS REQUIRED, TO CONSTRUCT THE PROJECT (INC.).

UTILITY NOTE

THE LOCATIONS AND ELEVATIONS OF SOME OF THE EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE SURVEY DRAWING WERE OBTAINED FROM MUNICIPAL AND UTILITY COMPANY RECORDS AND MAPS. THEREFORE, NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



PONTIAC. MI 48342 CONTACT: MR. BRETT BUCHHOLZ, P.E. CONTACT: MR. PAUL TULIKANGAS, P.E. PHONE: (248) 332-7931 EMAIL: BBUCHHOLZ@NFE-ENGR.COM

EMAIL: PTULIKANGAS@NFE-ENGR.COM

# LANDSCAPE ARCHITECT

4219 WOODWARD AVE., STE. 305 DETROIT, MI 48201 CONTACT: MS. HALEY WOLFE PHONE: (313) 652-1101 EMAIL: HWOLFE@MKSKSTUDIOS.COM

## CITY ELECTRICAL

BERBIGLIA ASSOCIATES, INC.

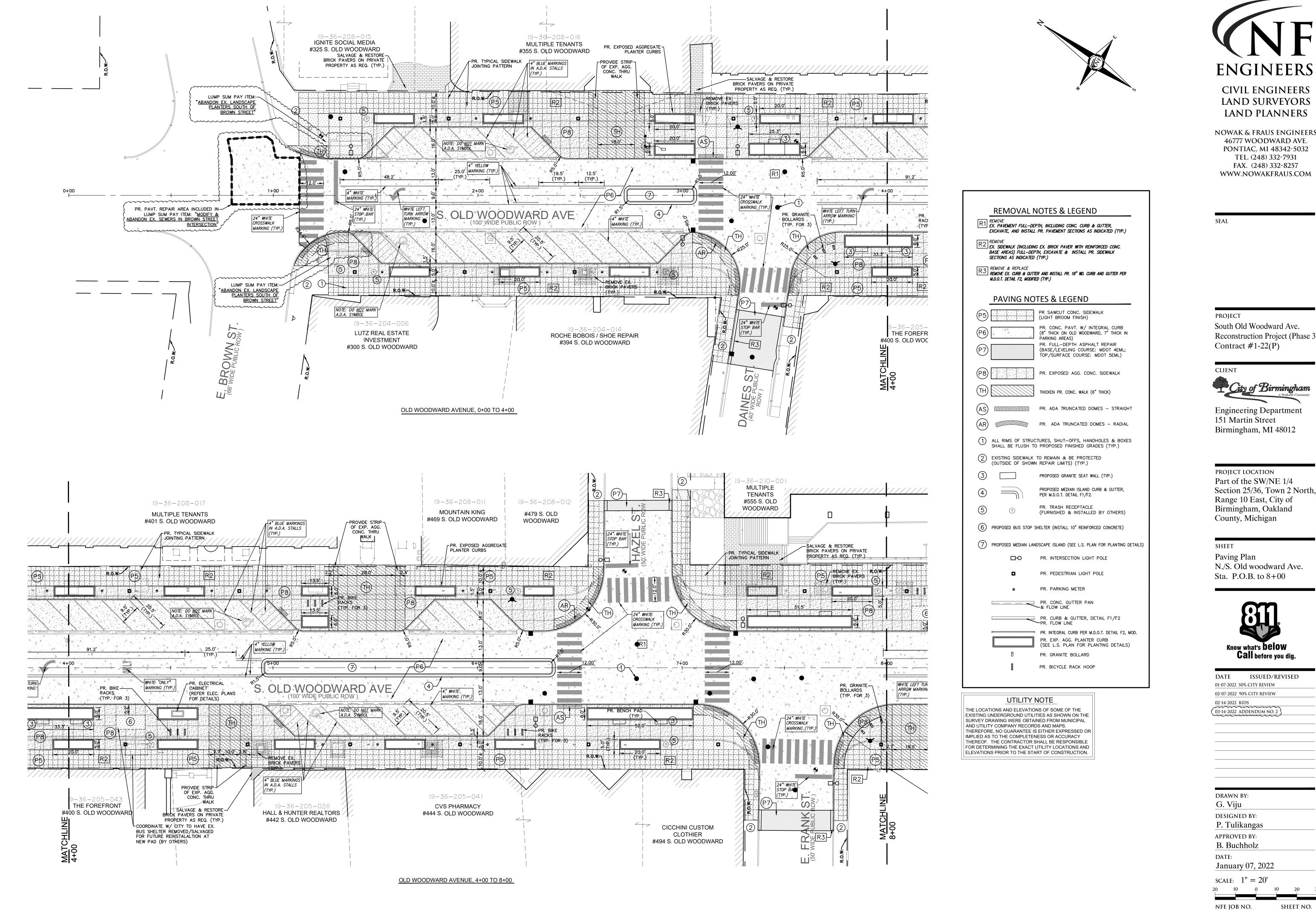
36400 W. TWELVE MILE RD. FARMINGTON HILLS, MI 48331 CONTACT: MR. JOHN BERBIGLIA, P.E., LEED AP PHONE: (248) 489-3100 EMAIL: JBERBIGLIA@BERBIGLIAASSOC.COM EMAIL: TGLASS@TKNS.NET

# CITY FIBER CONDUIT

TURNKEY NETWORK SOLUTIONS 7020 SOUTHBELT DRIVE SE CALEDONIA, MI 49316 CONTACT: MR. TOM GLASS PHONE: (616) 455-9840

**APPROVED** 

MARCH 17, 2022 ADDENDUM NO.3



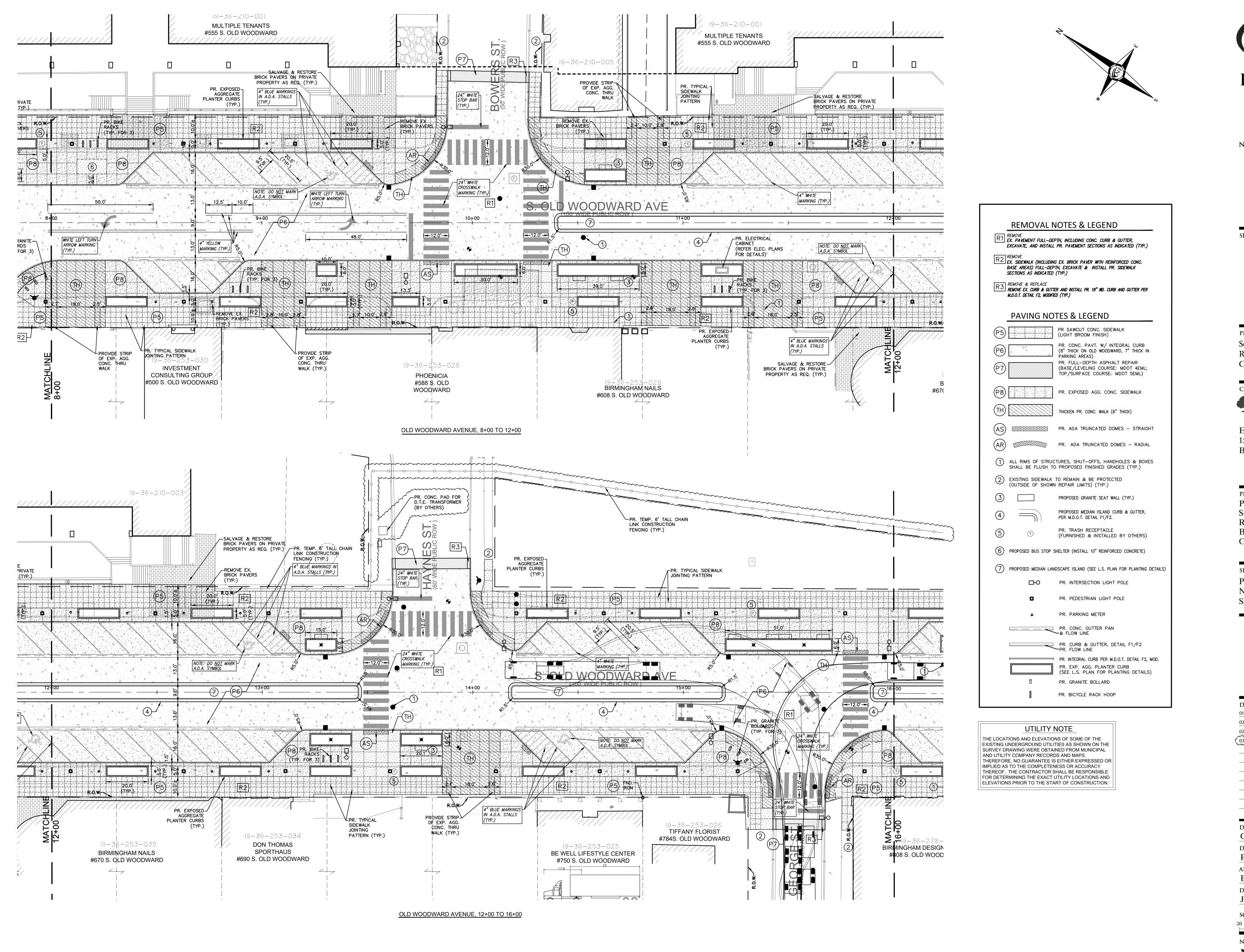
**ENGINEERS** 

**NOWAK & FRAUS ENGINEERS** WWW.NOWAKFRAUS.COM

Reconstruction Project (Phase 3

M270

C25



(NF ENGINEERS

CIVIL ENGINEERS Land Surveyors Land Planners

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM

CEAI

PROJECT

South Old Woodward Ave. Reconstruction Project (Phase 3) Contract #1-22(P)

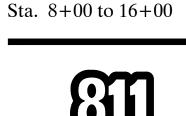
CLIENT

City of Birmingham
A Walkable Community

Engineering Department 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION
Part of the SW/NE 1/4
Section 25/36, Town 2 North,
Range 10 East, City of
Birmingham, Oakland
County, Michigan

SHEET
Paving Plan
N./S. Old woodward Ave.



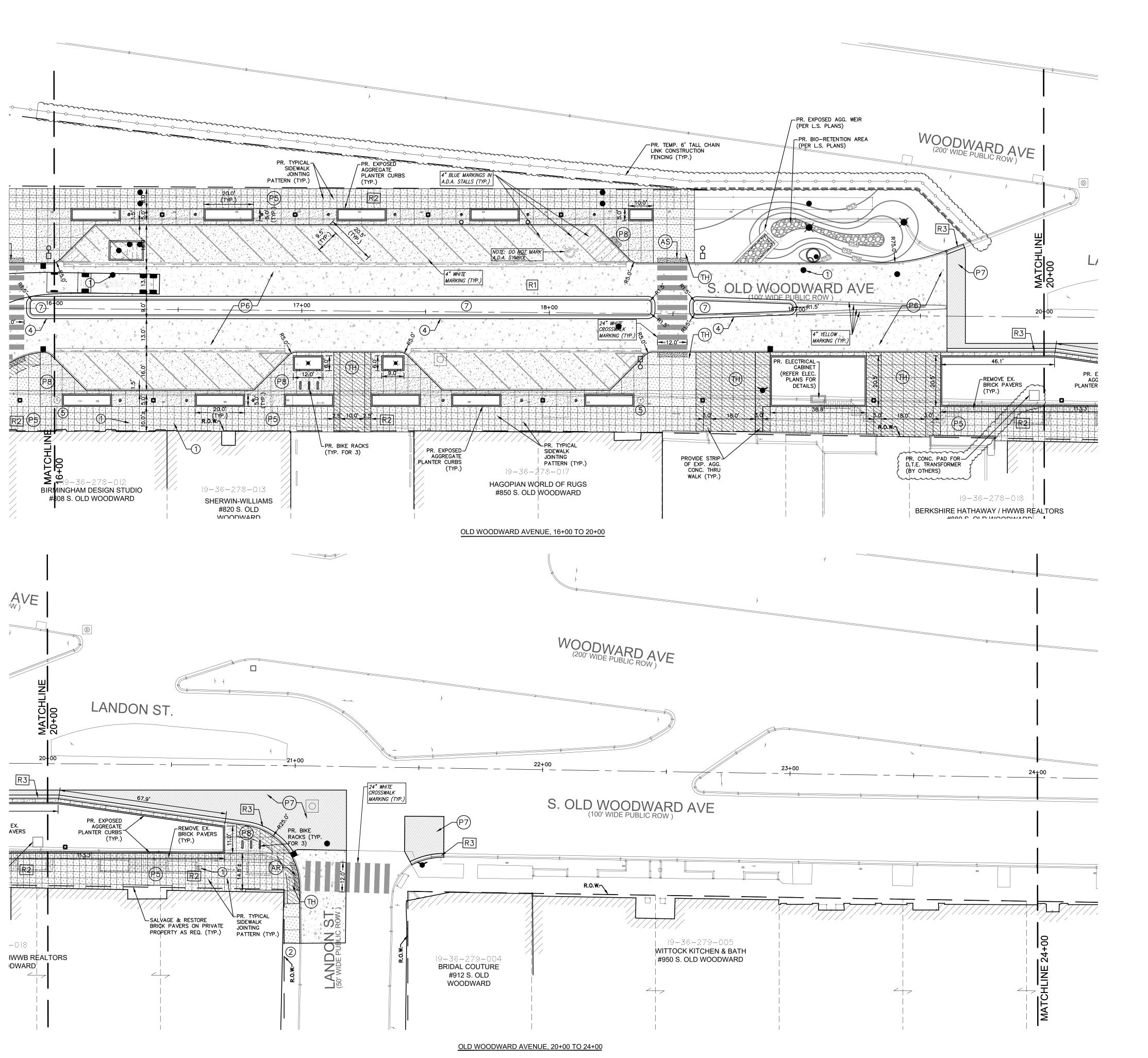
Know what's below Call before you dig.

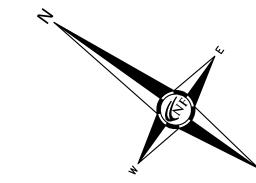
DATE ISSUED/REVISED
01-07-2022 50% CITY REVIEW
02-07-2022 90% CITY REVIEW
02-14-2022 BIDS
03-14-2022 ADDENDUM NO. 2

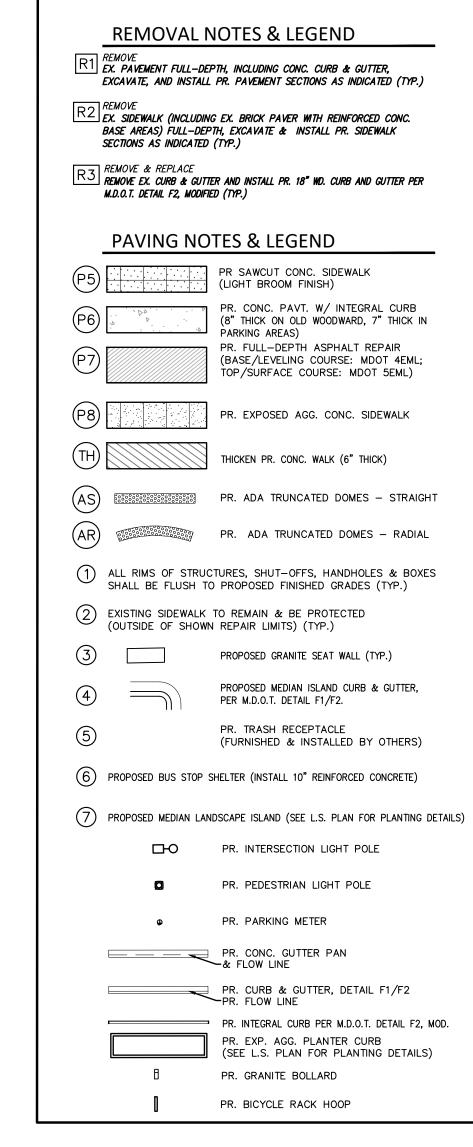
DRAWN BY:
G. Viju
DESIGNED BY:
P. Tulikangas
APPROVED BY:
B. Buchholz
DATE:

January 07, 2022 SCALE: 1'' = 20'

NFE JOB NO. SHEET NO. **M270 C26** 





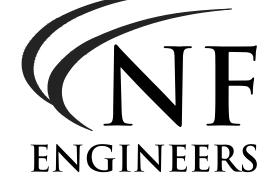


UTILITY NOTE

THE LOCATIONS AND ELEVATIONS OF SOME OF THE EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE SURVEY DRAWING WERE OBTAINED FROM MUNICIPAL

THEREFORE, NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

AND UTILITY COMPANY RECORDS AND MAPS.



CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM

PROJECT

South Old Woodward Ave. Reconstruction Project (Phase 3) Contract #1-22(P)

CLIENT

City of Birmingham

A Walkable Community

Engineering Department 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION
Part of the SW/NE 1/4
Section 25/36, Town 2 North,
Range 10 East, City of
Birmingham, Oakland
County, Michigan

SHEET
Paving Plan
N./S. Old woodward Ave.

Sta. 16+00 to 24+00



DATE ISSUED/REVISED
01-07-2022 50% CITY REVIEW
02-07-2022 90% CITY REVIEW
02-14-2022 BIDS
03-14-2022 ADDENDUM NO. 2

DRAWN BY:
G. Viju

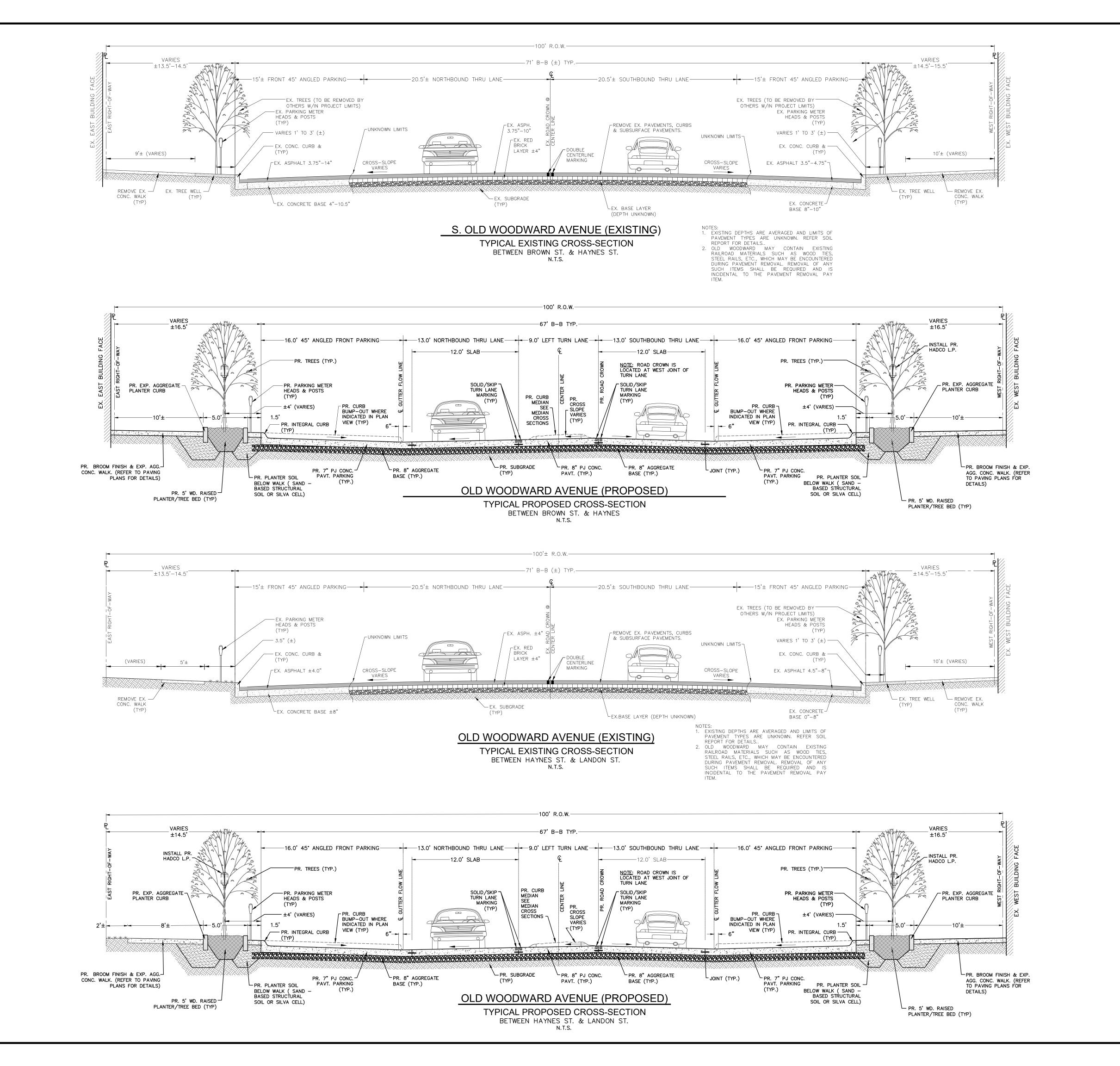
DESIGNED BY:
P. Tulikangas

APPROVED BY:
B. Buchholz

DATE:
January 07, 2022

SCALE: 1" = 20'

NFE JOB NO. SHEET NO. **M270 C27** 





NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257

PROJECT

South Old Woodward Ave. Reconstruction Project (Phase 3) Contract #1-22(P)

CLIENT



Engineering Department 151 Martin Street Birmingham, MI 48012

### PROJECT LOCATION

Part of the Southeast <sup>1</sup>/<sub>4</sub> of Section 36, Town 2 North, Range 10 East, City of Birmingham, Oakland County, Michigan

SHEET

Existing & Proposed Road Cross-Sections



DATE ISSUED/REVISED
01-07-22 50% CITY REVIEW
02-07-22 90% CITY REVIEW
02-14-22 BIDS

DRAWN BY:
G. Viju
DESIGNED BY:

P. Tulikangas

APPROVED BY:

B. Buchholz
DATE:

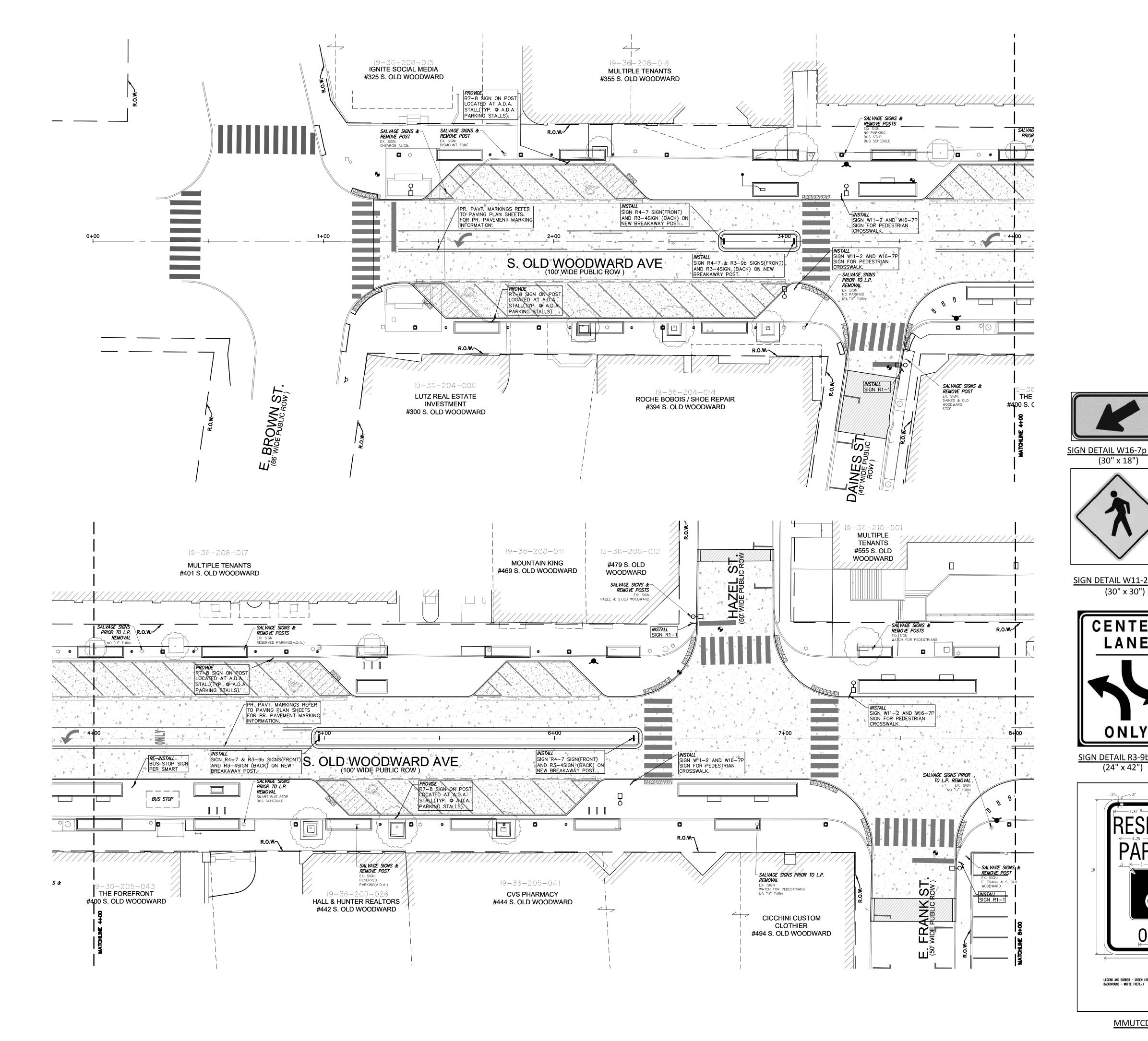
January 07, 2022

SCALE: N.T.S.

NFE JOB NO. **M270** 

SHEET NO.

C28





SIGN DETAIL W16-7p DETAIL



SIGN DETAIL W11-2 DETAIL



SIGN DETAIL R3-9b DETAIL (24" x 42")



MMUTCD R7-8 DETAIL



NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM

PROJECT

South Old Woodward Ave. Reconstruction Project (Phase #3) Contract 1-22(P)



**Engineering Department** 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION Part of the SW/NE 1/4 Section 25/36, Town 2 North, Range 10 East, City of Birmingham, Oakland County, Michigan

SHEET Street Sign Plan

(1 of 3)



DATE ISSUED/REVISED

02-07-2022 90% CITY REVIEW

02-14-2022 BIDS



SIGN DETAIL-R1-1

(30" x 30")

NOTE:
ALL SIGN BACKS & U-CHANNEL
POSTS SHALL BE PAINTED

BIRMINGHAM GREEN

SIGN DETAIL-R4-7 (24" x 30")

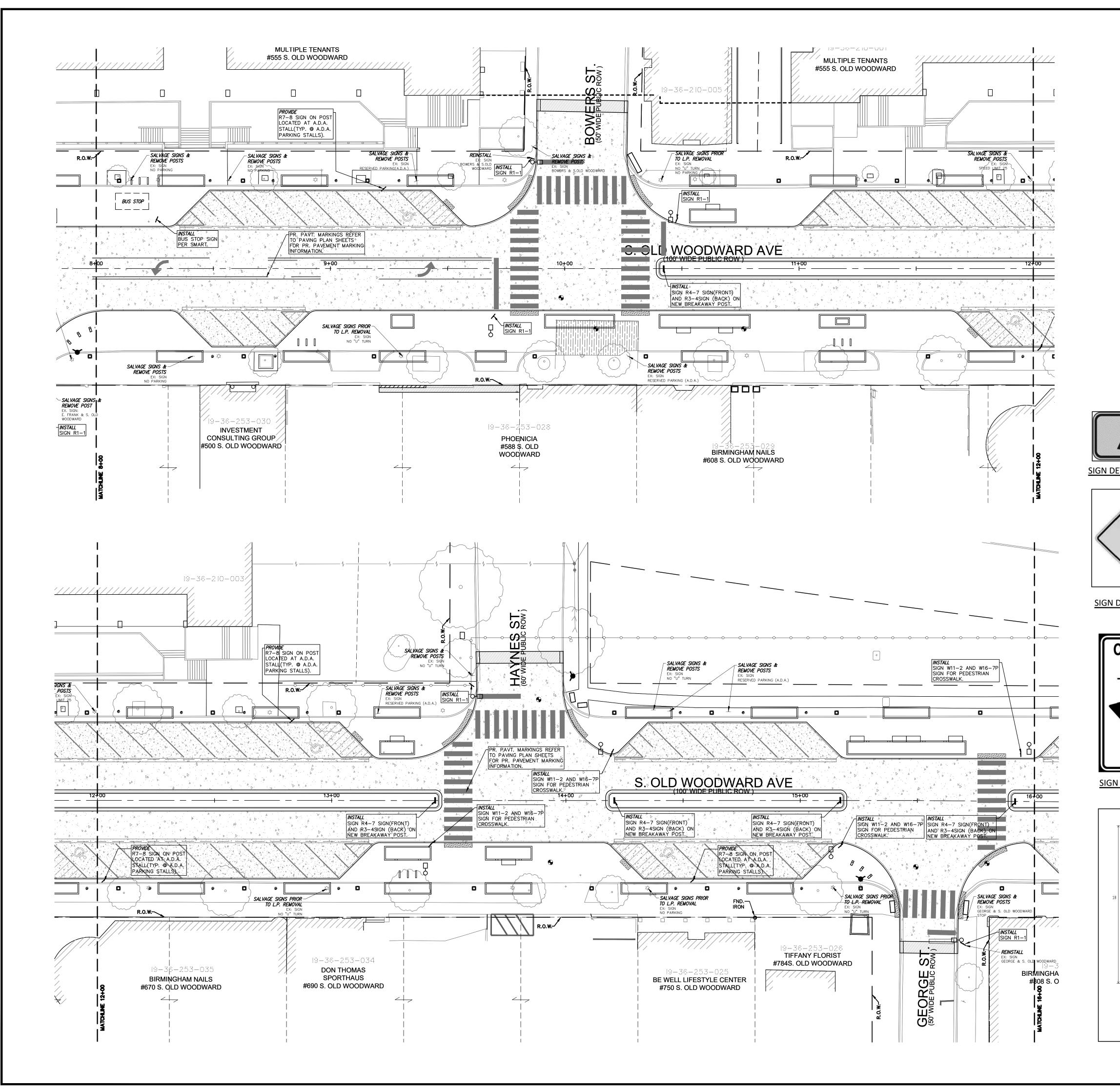


SIGN DETAIL-R3-4 (24" x 24")

DRAWN BY:	
G. Viju	
DESIGNED BY:	
P. Tulikangas	
APPROVED BY:	
B. Buchholz	

DATE: January 24, 2022

SCALE: 1'' = 20'SHEET NO. M270**32** 





SIGN DETAIL W16-7p DETAIL (30" x 18")



SIGN DETAIL W11-2 DETAIL (30" x 30")



SIGN DETAIL R3-9b DETAIL (24" x 42")



MMUTCD R7-8 DETAIL



PROJECT

South Old Woodward Ave. Reconstruction Project (Phase #3) Contract 1-22(P)

**ENGINEERS** 

**CIVIL ENGINEERS** 

LAND SURVEYORS

LAND PLANNERS

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032

TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM

CLIENT



Engineering Department 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION
Part of the SW/NE 1/4
Section 25/36, Town 2 North,
Range 10 East, City of
Birmingham, Oakland
County, Michigan

SHEET
Street Sign Plan

(2 of 3)



Know what's below Call before you dig.



SIGN DETAIL-R1-1 (30" x 30")

NOTE: ALL SIGN BACKS & U-CHANNEL POSTS SHALL BE PAINTED

BIRMINGHAM GREEN

SIGN DETAIL-R4-7 (24" x 30")

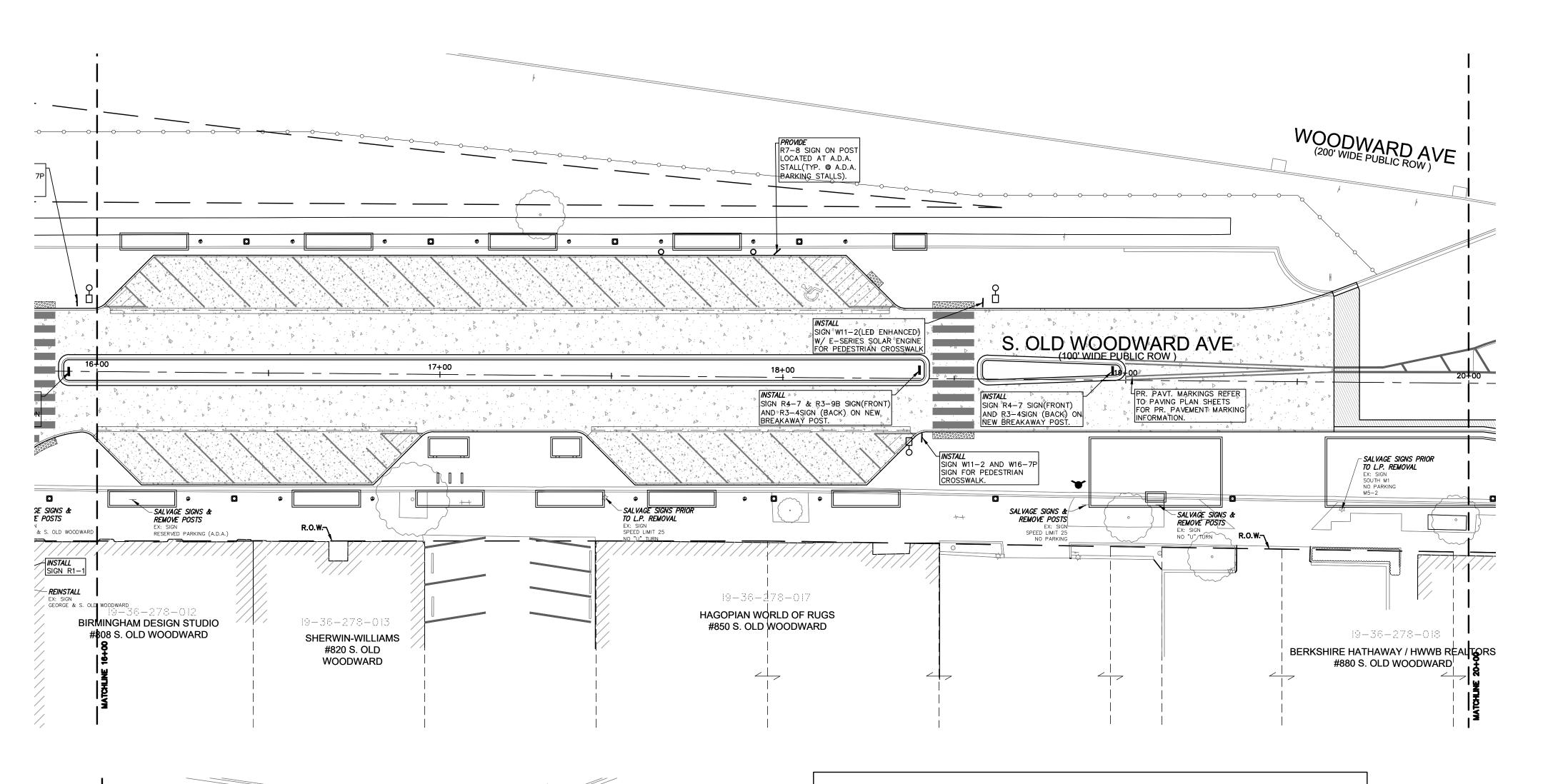


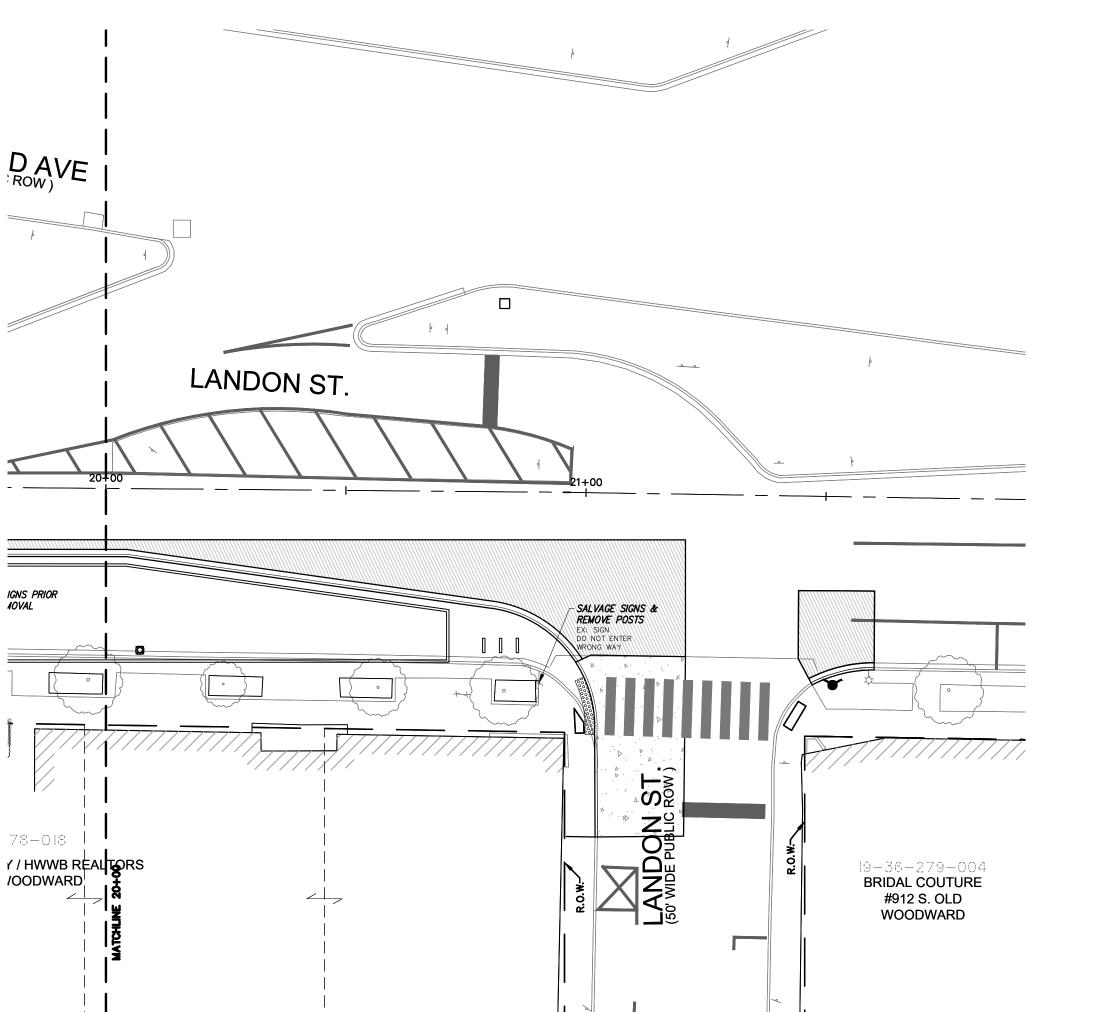
SIGN DETAIL-R3-4 (24" x 24")

DATE	ISSUED/REVISED
02-07-2022	90% CITY REVIEW
02-14-2022	BIDS

drawn by: G. Viju
Designed by: P. Tulikangas
PPROVED BY:  B. Buchholz
ATE

DATE: January 24, 2022







W11-2 (LED ENHANCED) DETAIL



SIGN DETAIL W16-7p DETAIL (30" x 18")



SIGN DETAIL W11-2 DETAIL



SIGN DETAIL R3-9b DETAIL (24" x 42")



MMUTCD R7-8 DETAIL





SIGN DETAIL-R1-1 (30" x 30")



SIGN DETAIL-R4-7 (24" x 30")



SIGN DETAIL-R3-4 (24" x 24")



NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM

LAND PLANNERS

PROJECT

South Old Woodward Ave. Reconstruction Project (Phase #3) Contract 1-22(P)



**Engineering Department** 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION Part of the SW/NE 1/4 Section 25/36, Town 2 North, Range 10 East, City of Birmingham, Oakland County, Michigan

SHEET Street Sign Plan

(3 of 3)



Know what's **below Call** before you dig.

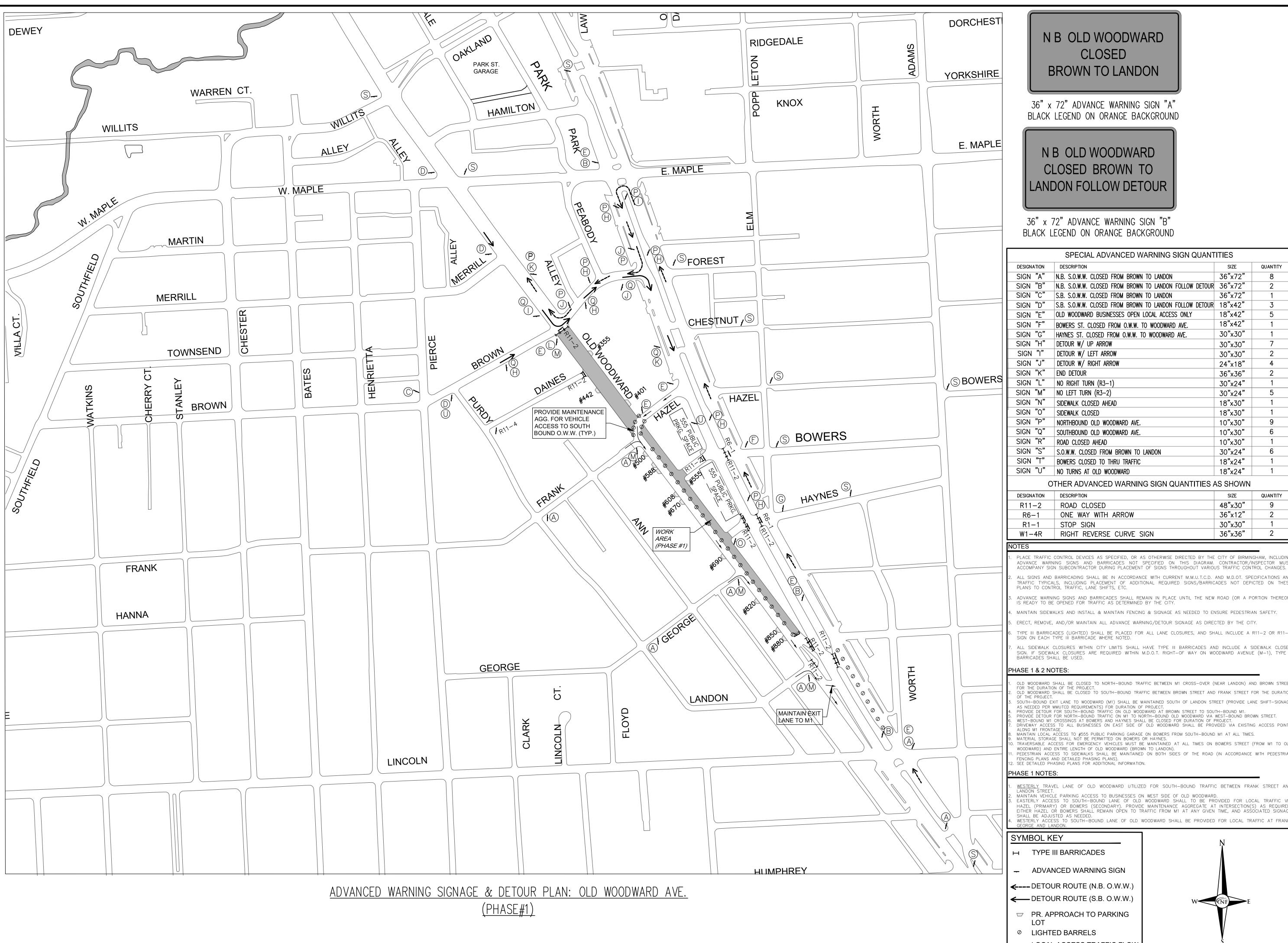
DATE	ISSUED/REVISED
02-07-2022	90% CITY REVIEW
02-14-2022	BIDS

G. Viju **DESIGNED BY:** P. Tulikangas APPROVED BY: B. Buchholz

DATE: January 24, 2022

SCALE: 1'' = 20'NFE JOB NO.

SHEET NO. M270**34** 



# N B OLD WOODWARD CLOSED **BROWN TO LANDON**

36" x 72" ADVANCE WARNING SIGN "A" BLACK LEGEND ON ORANGE BACKGROUND

N B OLD WOODWARD CLOSED BROWN TO LANDON FOLLOW DETOUR

36" x 72" ADVANCE WARNING SIGN "B" BLACK LEGEND ON ORANGE BACKGROUND

**ÈNGINEERS CIVIL ENGINEERS** LAND SURVEYORS

**NOWAK & FRAUS ENGINEERS** 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257

LAND PLANNERS

SEAL

	SPECIAL ADVANCED WARNING SIGN QUANT	TITIES	
DESIGNATION	DESCRIPTION	SIZE	QUANTITY
SIGN "A"	N.B. S.O.W.W. CLOSED FROM BROWN TO LANDON	36"x72"	8
SIGN "B"	N.B. S.O.W.W. CLOSED FROM BROWN TO LANDON FOLLOW DETOUR	36"x72"	2
SIGN "C"	S.B. S.O.W.W. CLOSED FROM BROWN TO LANDON	36"x72"	1
SIGN "D"	S.B. S.O.W.W. CLOSED FROM BROWN TO LANDON FOLLOW DETOUR	18"x42"	3
SIGN "E"	OLD WOODWARD BUSINESSES OPEN LOCAL ACCESS ONLY	18"x42"	5
SIGN "F"	BOWERS ST. CLOSED FROM O.W.W. TO WOODWARD AVE.	18"x42"	1
SIGN "G"	HAYNES ST. CLOSED FROM O.W.W. TO WOODWARD AVE.	30"x30"	1
SIGN "H"	DETOUR W/ UP ARROW	30"x30"	7
SIGN "I"	DETOUR W/ LEFT ARROW	30"x30"	2
SIGN "J"	DETOUR W/ RIGHT ARROW	24"x18"	4
SIGN "K"	END DETOUR	36"x36"	2
SIGN "L"	NO RIGHT TURN (R3-1)	30"x24"	1
SIGN "M"	NO LEFT TURN (R3-2)	30"x24"	5
SIGN "N"	SIDEWALK CLOSED AHEAD	18"x30"	1
SIGN "O"	SIDEWALK CLOSED	18"x30"	1
SIGN "P"	NORTHBOUND OLD WOODWARD AVE.	10"x30"	9
SIGN "Q"	SOUTHBOUND OLD WOODWARD AVE.	10"x30"	6
SIGN "R"	ROAD CLOSED AHEAD	10"x30"	1
SIGN "S"	S.O.W.W. CLOSED FROM BROWN TO LANDON	30"x24"	6
SIGN "T"	BOWERS CLOSED TO THRU TRAFFIC	18"x24"	1
SIGN "U"	NO TURNS AT OLD WOODWARD	18"x24"	1

ı	OTHER ADVANCED WARNING SIGN QUANTITIES AS SHOWN			
ı	DESIGNATION	DESCRIPTION	SIZE	QUANTITY
ı	R11-2	ROAD CLOSED	48"x30"	9
ı	R6-1	ONE WAY WITH ARROW	36"x12"	2
ı	R1-1	STOP SIGN	30"x30"	1
	W1-4R	RIGHT REVERSE CURVE SIGN	36"x36"	2

PLACE TRAFFIC CONTROL DEVICES AS SPECIFIED, OR AS OTHERWISE DIRECTED BY THE CITY OF BIRMINGHAM, INCLUDIN ADVANCE WARNING SIGNS AND BARRICADES NOT SPECIFIED ON THIS DIAGRAM. CONTRACTOR/INSPECTOR MUS ACCOMPANY SIGN SUBCONTRACTOR DURING PLACEMENT OF SIGNS THROUGHOUT VARIOUS TRAFFIC CONTROL CHANGES. ALL SIGNS AND BARRICADING SHALL BE IN ACCORDANCE WITH CURRENT M.M.U.T.C.D. AND M.D.OT. SPECIFICATIONS AN TRAFFIC TYPICALS, INCLUDING PLACEMENT OF ADDITIONAL REQUIRED SIGNS/BARRICADES NOT DEPICTED ON THESE PLANS TO CONTROL TRAFFIC, LANE SHIFTS, ETC.

ADVANCE WARNING SIGNS AND BARRICADES SHALL REMAIN IN PLACE UNTIL THE NEW ROAD (OR A PORTION THEREOF IS READY TO BE OPENED FOR TRAFFIC AS DETERMINED BY THE CITY.

MAINTAIN SIDEWALKS AND INSTALL & MAINTAIN FENCING & SIGNAGE AS NEEDED TO ENSURE PEDESTRIAN SAFETY.

TYPE III BARRICADES (LIGHTED) SHALL BE PLACED FOR ALL LANE CLOSURES, AND SHALL INCLUDE A R11-2 OR R11-

SIGN ON EACH TYPE III BARRICADE WHERE NOTED. ALL SIDEWALK CLOSURES WITHIN CITY LIMITS SHALL HAVE TYPE III BARRICADES AND INCLUDE A SIDEWALK CLOSEI

OLD WOODWARD SHALL BE CLOSED TO NORTH-BOUND TRAFFIC BETWEEN M1 CROSS-OVER (NEAR LANDON) AND BROWN STREE FOR THE DURATION OF THE PROJECT. OLD WOODWARD SHALL BE CLOSED TO SOUTH-BOUND TRAFFIC BETWEEN BROWN STREET AND FRANK STREET FOR THE DURATH OF THE PROJECT. SOUTH-BOUND EXIT LANE TO WOODWARD (M1) SHALL BE MAINTAINED SOUTH OF LANDON STREET (PROVIDE LANE SHIFT-SIGNAL AS NEEDED PER MMUTCD REQUIREMENTS) FOR DURATION OF PROJECT.

PROVIDE DETOUR FOR SOUTH-BOUND TRAFFIC ON OLD WOODWARD AT BROWN STREET TO SOUTH-BOUND M1.

PROVIDE DETOUR FOR NORTH-BOUND TRAFFIC ON M1 TO NORTH-BOUND OLD WOODWARD VIA WEST-BOUND BROWN STREET.

WEST-BOUND M1 CROSSINGS AT BOWERS AND HAYNES SHALL BE CLOSED FOR DURATION OF PROJECT. DRIVEWAY ACCESS TO ALL BUSINESSES ON EAST SIDE OF OLD WOODWARD SHALL BE PROVIDED VIA EXISTING ACCESS POIN ALONG M1 FRONTAGE. MAINTAIN LOCAL ACCESS TO #555 PUBLIC PARKING GARAGE ON BOWERS FROM SOUTH-BOUND M1 AT ALL TIMES. MATERIAL STORAGE SHALL NOT BE PERMITTED ON BOWERS OR HAYNES

TRAVERSABLE ACCESS FOR EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES ON BOWERS STREET (FROM M1 TO C WOODWARD) AND ENTIRE LENGTH OF OLD WOODWARD (BROWN TO LANDON). PEDESTRIAN ACCESS TO SIDEWALKS SHALL BE MAINTAINED ON BOTH SIDES OF THE ROAD (IN ACCORDANCE WITH PEDESTRIAN . SEE DETAILED PHASING PLANS FOR ADDITIONAL INFORMATION.

### PHASE 1 NOTES:

<u>WESTERLY</u> TRAVEL LANE OF OLD WOODWARD UTILIZED FOR SOUTH—BOUND TRAFFIC BETWEEN FRANK STREET AND LANDON STREET. MAINTAIN VEHICLE PARKING ACCESS TO BUSINESSES ON WEST SIDE OF OLD WOODWARD.

EASTERLY ACCESS TO SOUTH—BOUND LANE OF OLD WOODWARD SHALL TO BE PROVIDED FOR LOCAL TRAFFIC '

HAZEL (PRIMARY) OR BOWERS (SECONDARY). PROVIDE MAINTENANCE AGGREGATE AT INTERSECTION(S) AS REQUIRE EITHER HAZEL OR BOWERS SHALL REMAIN OPEN TO TRAFFIC FROM M1 AT ANY GIVEN TIME, AND ASSOCIATED SIGNAGI SHALL BE ADJUSTED AS NEEDED. WESTERLY ACCESS TO SOUTH-BOUND LANE OF OLD WOODWARD SHALL BE PROVIDED FOR LOCAL TRAFFIC AT FRAN

### SYMBOL KEY

H TYPE III BARRICADES

ADVANCED WARNING SIGN

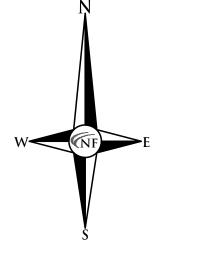
**←---** DETOUR ROUTE (N.B. O.W.W.)

DETOUR ROUTE (S.B. O.W.W.)

□ PR. APPROACH TO PARKING

Ø LIGHTED BARRELS

→ LOCAL ACCESS TRAFFIC FLOW



PROJECT Old Woodward Ave. Reconstruction Project Contract #1-22(P)

CLIENT



151 Martin Street Birmingham, MI 48012

PROJECT LOCATION Part of the Southeast  $\frac{1}{4}$ of Section 25 Town 2 North, Range 10 East, City of Birmingham, Oakland County, Michigan

Advanced Warning Signage & Traffic Detour

Plan (1 of 2)



DATE ISSUED/REVISED 01-07-22 - ISSUED FOR REVIEW

01-31-22 - ISSUED FOR REVIEW 02-07-22 - 90% CITY REVIEW 02-14-22 - BIDS

DRAWN BY: G. Viju **DESIGNED BY:** P. Tulikangas APPROVED BY: B. Buchholz

DATE: 01-07-2022 SCALE: N.T.S.

SHEET NO. NFE JOB NO.

M270

# S B OLD WOODWARD CLOSED BROWN TO LANDON

36" x 72" ADVANCE WARNING SIGN "C" BLACK LEGEND ON ORANGE BACKGROUND

# S B OLD WOODWARD CLOSED BROWN TO LANDON FOLLOW DETOUR

36" x 72" ADVANCE WARNING SIGN "D" BLACK LEGEND ON ORANGE BACKGROUND

OLD WOODWARD **BUSINESSES OPEN** LOCAL ACCESS ONLY

36" x 72" ADVANCE WARNING SIGN "E" BLACK LEGEND ON ORANGE BACKGROUND

# **BOWERS CLOSED** AT WOODWARD AVE.

18"x42" ADVANCE WARNING SIGN "F" BLACK LEGEND ON ORANGE BACKGROUND

# HAYNES CLOSED AT WOODWARD AVE.

18"x42" ADVANCE WARNING SIGN "G" BLACK LEGEND ON ORANGE BACKGROUND

# END DETOUR

24" x 18" ADVANCED WARNING SIGN "K" BLACK LEGEND ON ORANGE BACKGROUND

# SIDEWALK CLOSED AHEAD

18" x 30" ADVANCE WARNING SIGN "N" BLACK LEGEND ON ORANGE BACKGROUND 10" x 30"

ADVANCED WARNING SIGN "P" BLACK LEGEND ON ORANGE BACKGROUND

# N.B. OLD WOODWARI

10" x 30" ADVANCED WARNING SIGN "Q" BLACK LEGEND ON ORANGE BACKGROUND

# S.B. WOODWARD



30" x 30" ADVANCED WARNING SIGN "H" BLACK LEGEND ON ORANGE BACKGROUND (MOUNT BELOW WARNING SIGN "P/Q" WHERE INDICATED)

# BOWERS CLOSED TO THRU TRAFFIC

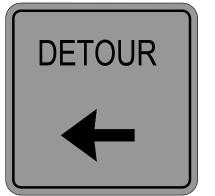
18"x42" ADVANCE WARNING SIGN "T" BLACK LEGEND ON ORANGE BACKGROUND

10" x 30" ADVANCED WARNING SIGN "P" BLACK LEGEND ON ORANGE BACKGROUND

# N.B. OLD WOODWARD

10" x 30" ADVANCED WARNING SIGN Q BLACK LEGEND ON ORANGE BACKGROUND

# S.B. WOODWARD



30" x 30" ADVANCED WARNING SIGN "I" BLACK LEGEND ON ORANGE BACKGROUND (MOUNT BELOW WARNING SIGN "P/Q" WHERE INDICATED)

# NO TURNS AT OLD WOODWARD

18"x42" ADVANCE WARNING SIGN "U" BLACK LEGEND ON ORANGE BACKGROUND

> 10" x 30" ADVANCED WARNING SIGN "P" BLACK LEGEND ON ORANGE BACKGROUND

# N.B. OLD WOODWARD

10" x 30" ADVANCED WARNING SIGN "Q BLACK LEGEND ON ORANGE BACKGROUND

# S.B. WOODWARD



30" x 30" ADVANCED WARNING SIGN "J" BLACK LEGEND ON ORANGE BACKGROUND (MOUNT BELOW WARNING SIGN "P/Q" WHERE INDICATED)

SYMBOL KEY

ICOLN

D-

PROVIDE MAINTENANCE AGG. FOR VEHICLE ACCESS TO SOUTH BOUND O.W.W. (TYP.)

- H TYPE III BARRICADES
- ADVANCED WARNING SIGN

**GEORGE** 

- **←---** DETOUR ROUTE (N.B. O.W.W.) **←** DETOUR ROUTE (S.B. O.W.W.)
- □ PR. APPROACH TO PARKING
- Ø LIGHTED BARRELS
- → LOCAL TRAFFIC FLOW

# SIDEWALK CLOSED

18" x 30" ADVANCE WARNING SIGN "O" BLACK LEGEND ON ORANGE BACKGROUND

# ADVANCED WARNING SIGNAGE & DETOUR PLAN: OLD WOODWARD AVE.

LANDON

E. MAPLE

**FOREST** 

CHE\$TNUT, S

HAZEL

,S BOWERS

HAYNES S,

MAINTAIN



36" x 36" ADVANCE WARNING SIGN "R" BLACK LEGEND ON ORANGE BACKGROUND

# (PHASE #2)

MAINTAIN ÈXIT

LANE TO MY

WARNING SIGNS AND BARRICADES NOT SPECIFIED ON THIS DIAGRAM. CONTRACTOR/INSPECTOR MUST ACCOMPANY S SUBCONTRACTOR DURING PLACEMENT OF SIGNS THROUGHOUT VARIOUS TRAFFIC CONTROL CHANGES.

TYPICALS, INCLUDING PLACEMENT OF ADDITIONAL REQUIRED SIGNS/BARRICADES NOT DEPICTED ON THESE PLANS TO CONTROL ADVANCE WARNING SIGNS AND BARRICADES SHALL REMAIN IN PLACE UNTIL THE NEW ROAD (OR A PORTION THEREOF) IS READY BE OPENED FOR TRAFFIC AS DETERMINED BY THE CITY.

ALL SIGNS AND BARRICADING SHALL BE IN ACCORDANCE WITH CURRENT M.M.U.T.C.D. AND M.D.OT. SPECIFICATIONS AND TRAFF

MAINTAIN SIDEWALKS AND INSTALL & MAINTAIN FENCING & SIGNAGE AS NEEDED TO ENSURE PEDESTRIAN SAFETY.

ERECT, REMOVE, AND/OR MAINTAIN ALL ADVANCE WARNING/DETOUR SIGNAGE AS DIRECTED BY THE CITY. TYPE III BARRICADES (LIGHTED) SHALL BE PLACED FOR ALL LANE CLOSURES, AND SHALL INCLUDE A R11-2 OR R11-4 SIGN ( EACH TYPE III BARRICADE WHERE NOTED.

ALL SIDEWALK CLOSURES WITHIN CITY LIMITS SHALL HAVE TYPE III BARRICADES AND INCLUDE A SIDEWALK CLOSED SIGN. IF SIDEWA CLOSURES ARE REQUIRED WITHIN M.D.O.T. RIGHT-OF WAY ON WOODWARD AVENUE (M-1), TYPE II BARRICADES SHALL BE USED.

### PHASE 1 & 2 NOTES:

- OLD WOODWARD SHALL BE CLOSED TO NORTH-BOUND TRAFFIC BETWEEN M1 CROSS-OVER (NEAR LANDON) AND BROWN STREET FOR OLD WOODWARD SHALL BE CLOSED TO SOUTH-BOUND TRAFFIC BETWEEN BROWN STREET AND FRANK STREET FOR THE DURATION OF SOUTH-BOUND EXIT LANE TO WOODWARD (M1) SHALL BE MAINTAINED SOUTH OF LANDON STREET (PROVIDE LANE SHIFT-SIGNAGE AS NEEDE PER MMUTCD REQUIREMENTS) FOR DURATION OF PROJECT.
- PROVIDE DETOUR FOR SOUTH—BOUND TRAFFIC ON OLD WOODWARD AT BROWN STREET TO SOUTH—BOUND M1.

  PROVIDE DETOUR FOR NORTH—BOUND TRAFFIC ON M1 TO NORTH—BOUND OLD WOODWARD VIA WEST—BOUND BROWN STREET.

  WEST—BOUND M1 CROSSINGS AT BOWERS AND HAYNES SHALL BE CLOSED FOR DURATION OF PROJECT.

  DRIVEWAY ACCESS TO ALL BUSINESSES ON EAST SIDE OF OLD WOODWARD SHALL BE PROVIDED VIA EXISTING ACCESS POINTS ALONG I
- MAINTAIN LOCAL ACCESS TO #555 PUBLIC PARKING GARAGE ON BOWERS FROM SOUTH-BOUND M1 AT ALL TIMES. MATERIAL STORAGE SHALL NOT BE PERMITTED ON BOWERS OR HAYNES. TRAVERSABLE ACCESS FOR EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES ON BOWERS STREET (FROM M1 TO OLD WOODWARD) A ENTIRE LENGTH OF OLD WOODWARD (BROWN TO LANDON). PEDESTRIAN ACCESS TO SIDEWALKS SHALL BE MAINTAINED ON BOTH SIDES OF THE ROAD (IN ACCORDANCE WITH PEDESTRIAN FENCING PLAN AND DETAILED PHASING PLANS).
  2. SEE DETAILED PHASING PLANS FOR ADDITIONAL INFORMATION

# PHASE 2 NOTES

EASTERLY TRAVEL LANE OF OLD WOODWARD UTILIZED FOR SOUTH—BOUND TRAFFIC BETWEEN FRANK STREET AND LANDON STREET. MAINTAIN VEHICLE PARKING ACCESS TO BUSINESSES ON WEST SIDE OF OLD WOODWARD. PROVIDE MAINTENANCE AGGREGATE F DRIVEWAY ACCESS AS REQUIRED EASTERLY ACCESS TO SOUTH-BOUND LANE OF OLD WOODWARD SHALL TO BE PROVIDED FOR LOCAL TRAFFIC VIA HAZEL (PRIMA OR BOWERS (SECONDARY). EITHER HAZEL OR BOWERS SHALL REMAIN OPEN TO TRAFFIC FROM M1 AT ANY GIVEN TIME, ASSOCIATED SIGNAGE SHALL BE ADJUSTED AS NEEDED. WESTERLY ACCESS TO SOUTH-BOUND LANE OF OLD WOODWARD SHALL BE PROVIDED FOR LOCAL TRAFFIC AT FRANK AND LAND (PROVIDE MAINTENANCE AGGREGATE AT INTERSECTIONS AS REQUIRED). ACCESS AT GEORGE SHALL BE CLOSED.

# **ENGINEERS**

**CIVIL ENGINEERS** LAND SURVEYORS LAND PLANNERS

**NOWAK & FRAUS ENGINEERS** 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257

BOWERS

PROJECT Old Woodward Ave. Reconstruction Project Contract #1-22(P)

CLIENT



**Engineering Department** 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION

Part of the Southeast  $\frac{1}{4}$ of Section 25 Town 2 North, Range 10 East, City of Birmingham, Oakland County, Michigan

Advanced Warning Signage & Traffic Detour Plan (2 of 2)



DATE ISSUED/REVISED 01-07-22 - ISSUED FOR REVIEW 01-31-22 - ISSUED FOR REVIEW 02-07-22 - 90% CITY REVIEW 02-14-22 - BIDS

DRAWN BY: G. Viju **DESIGNED BY:** P. Tulikangas APPROVED BY:

B. Buchholz DATE: 01-07-2022

SCALE: N.T.S.

NFE JOB NO. M270

SHEET NO.

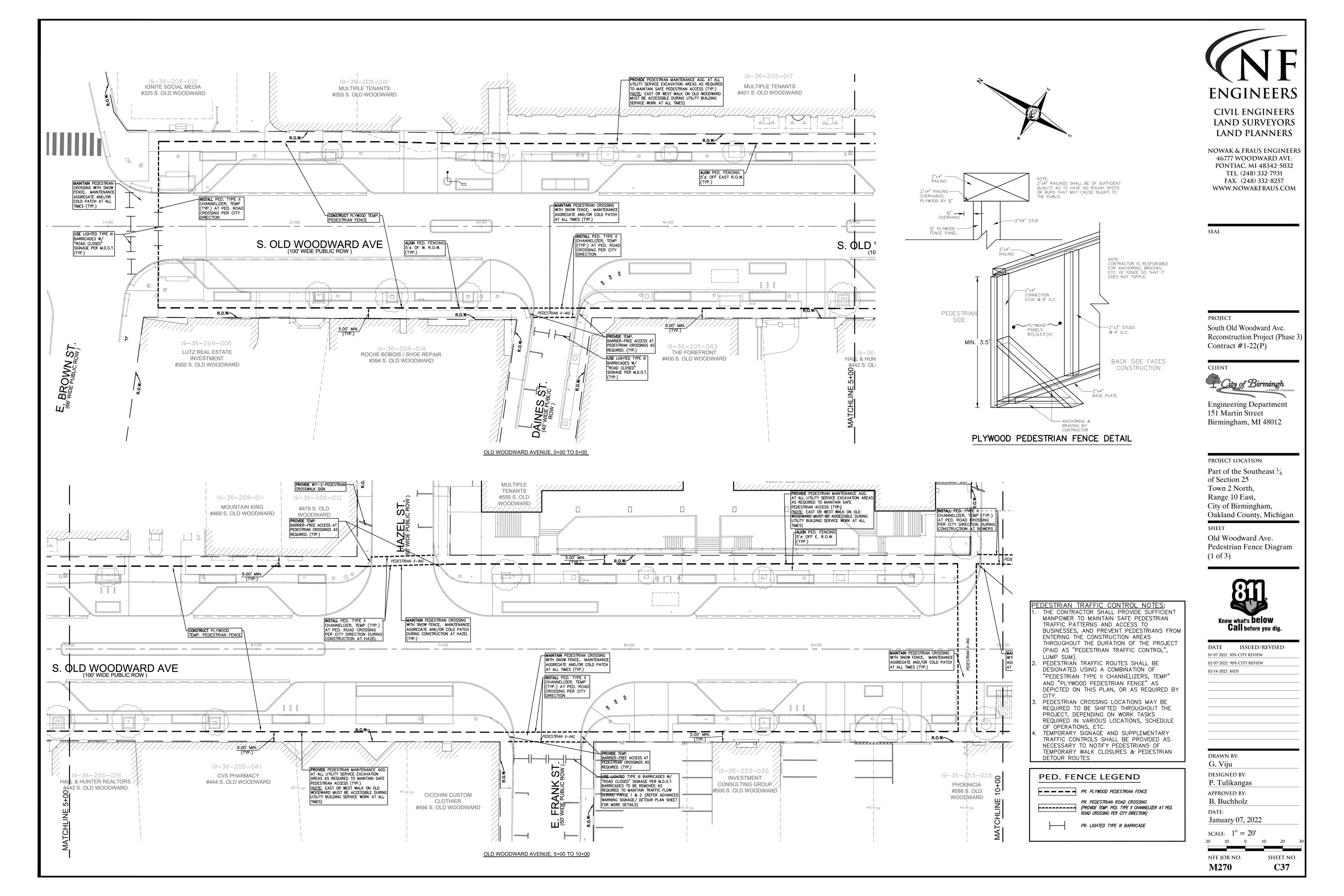
**C36** 

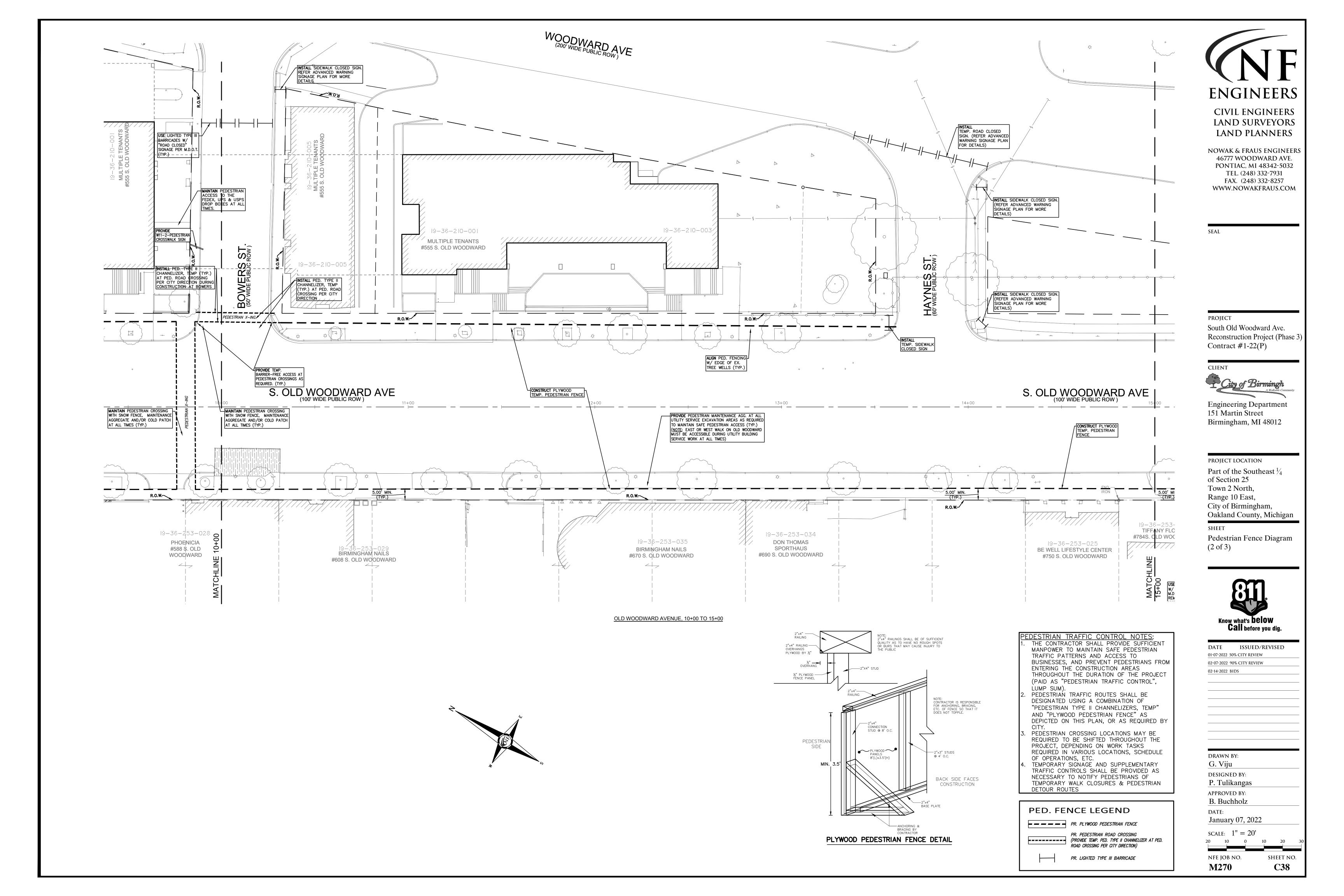
ADVANCED WARNING SIGN "L"

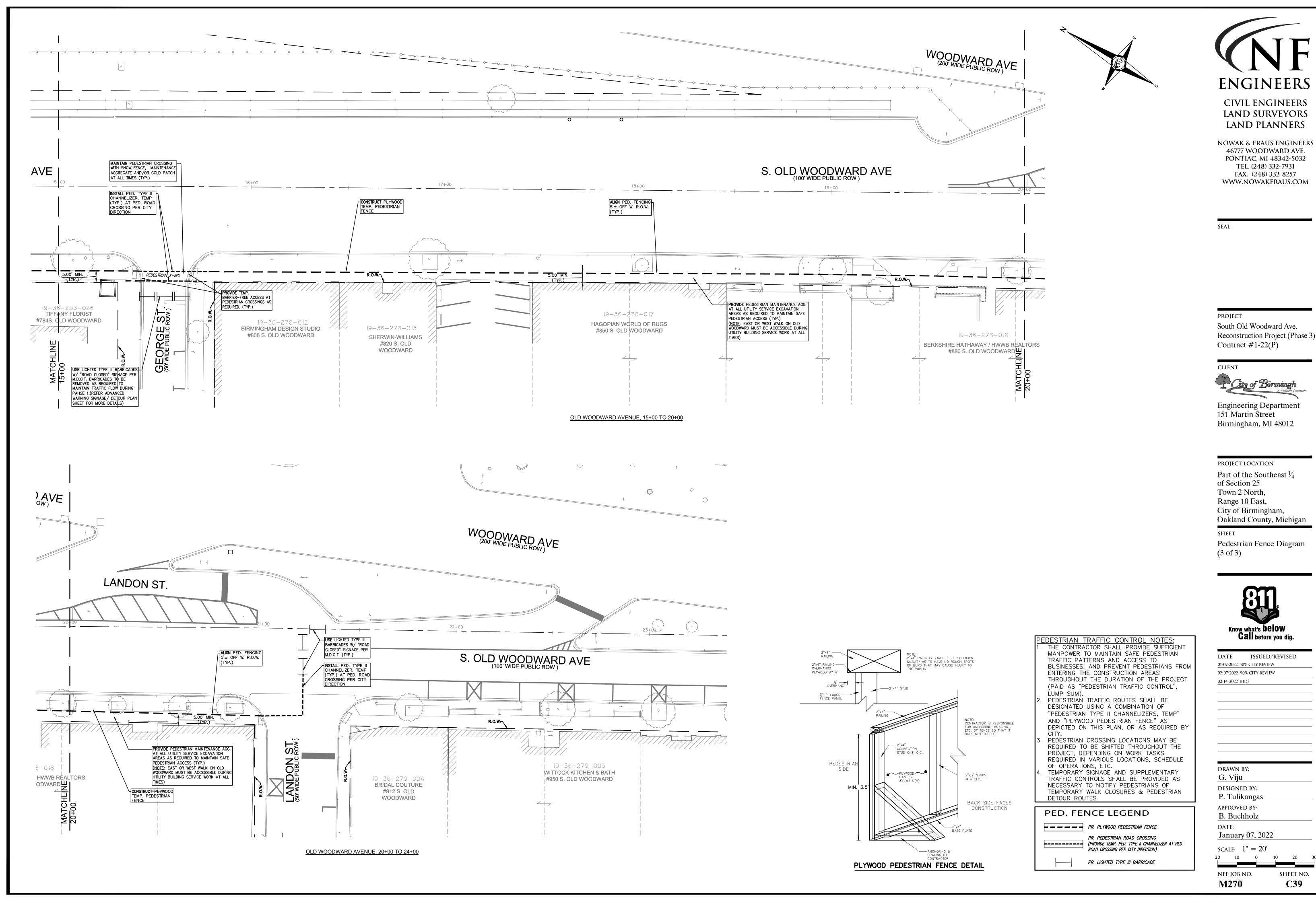
ADVANCED WARNING SIGN "M"

OLD WOODWARD CLOSED **BROWN TO LANDON** 

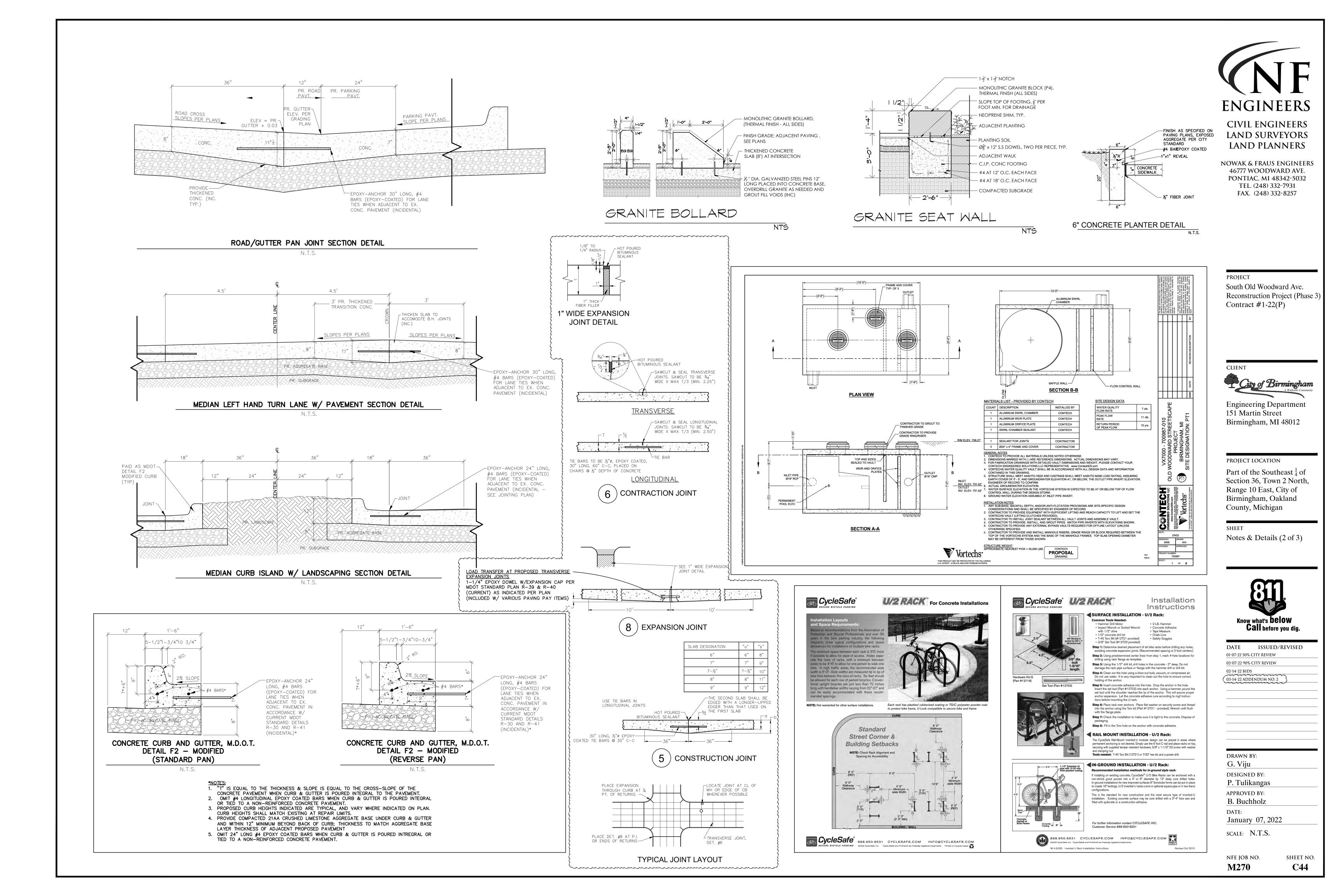
36" x 72" ADVANCE WARNING SIGN "S" BLACK LEGEND ON ORANGE BACKGROUND

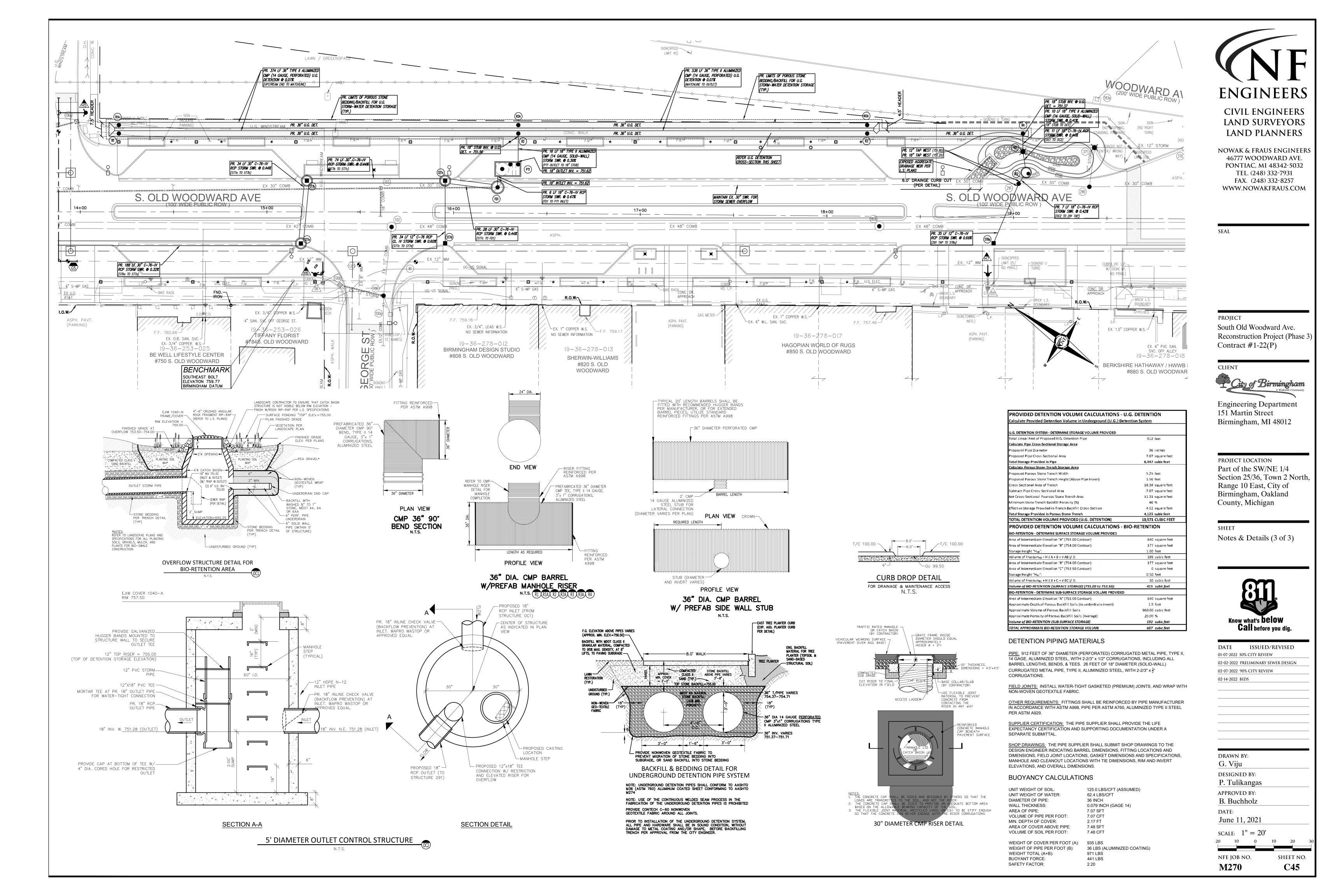


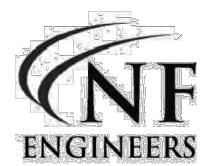




**ENGINEERS** 







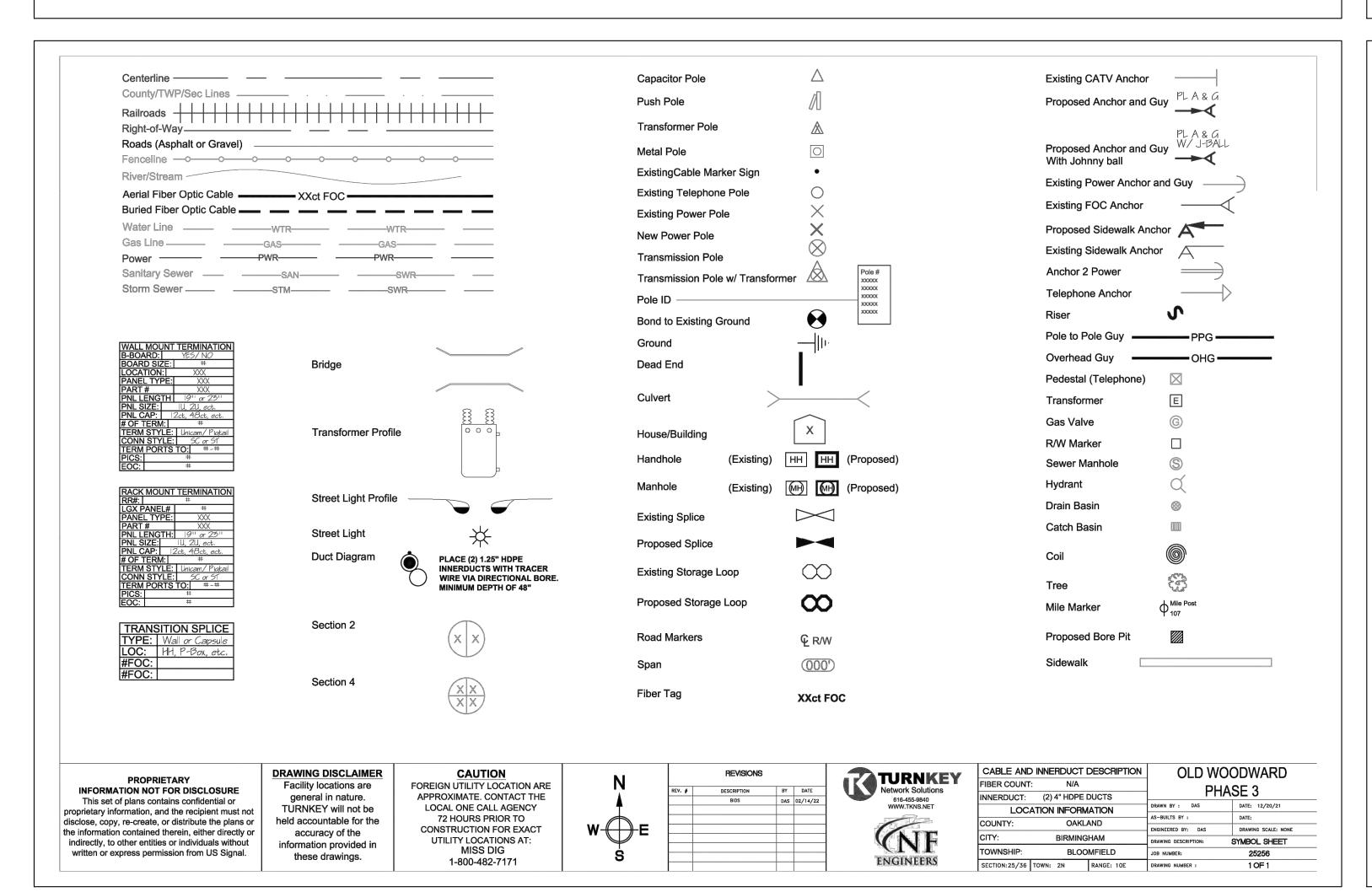
# **OLD WOODWARD PHASE 3**

BIRMINGHAM, MI

S. OLD WOODWARD AVE. E. BROWN ST. TO LANDON ST.

OUTSIDE PLANT SCHEMATIC
FIBER OPTIC CABLE ROUTE
TKNS PROJECT #25256







MATERIAL LIST			
DESCRIPTION	TOTAL	UNIT	
4" S-40 PVC CONDUIT	14792	FOOT	
4" S-40 PVC DOME CAP	44	EACH	
4'x4'x4' STANDARD TERMINATOR MANHOLE, FRAME & COVER	15	EACH	
4" CONDUIT SPACER - BASE	1440	EACH	
4" CONDUIT SPACER - INTERMEDIATE	720	EACH	
24" CABLE RACK	120	EACH	
(1) 1" SDR-11 INNERDUCT	3602	FOOT	
(1) 1 ½" SDR-11 INNERDUCT	3602	FOOT	
1.64" (7) WAY MICRODUCT	3602	FOOT	
#14 AWG TRACER WIRE	3602	FOOT	

PROPRIETARY
INFORMATION NOT FOR DISCLOSURE
This set of plans contains confidential or
proprietary information, and the recipient must not
disclose, copy, re-create, or distribute the plans or
the information contained therein, either directly or
indirectly, to other entities or individuals without

written or express permission from US Signal.

Pacility locations are general in nature.
TURNKEY will not be held accountable for the accuracy of the information provided in these drawings.

CAUTION
FOREIGN UTILITY LOCATION ARE
APPROXIMATE. CONTACT THE
LOCAL ONE CALL AGENCY
72 HOURS PRIOR TO
CONSTRUCTION FOR EXACT
UTILITY LOCATIONS AT:
MISS DIG

1-800-482-7171

APPROXIMATE. CONTACT THE

LOCAL ONE CALL AGENCY

72 HOURS PRIOR TO

CONSTRUCTION FOR EXACT

UTILITY LOCATIONS AT:

MISS DIG 1-800-482-7171

general in nature.

TURNKEY will not be

held accountable for the

accuracy of the

information provided in

This set of plans contains confidential or

proprietary information, and the recipient must not

disclose, copy, re-create, or distribute the plans or

the information contained therein, either directly or

indirectly, to other entities or individuals without

W E

REVISIONS

DESCRIPTION BY DATE
BIDS DAS 02/14/22

BIDS DAS 02/14/22

TURNKEY
Network Solutions
616-455-9840
WWW.TKNS.NET

CABLE AND INNERDUCT DESCRIPTION
FIBER COUNT:

N/A
INNERDUCT:

(2) 4" HDPE DUCTS

LOCATION INFORMATION
COUNTY:

OAKLAND
CITY:

BIRMINGHAM
DRAWING DESCRIPTION:

DRAWING DESCRIPTION:

SYMBOL SHEET

TOWNSHIP:

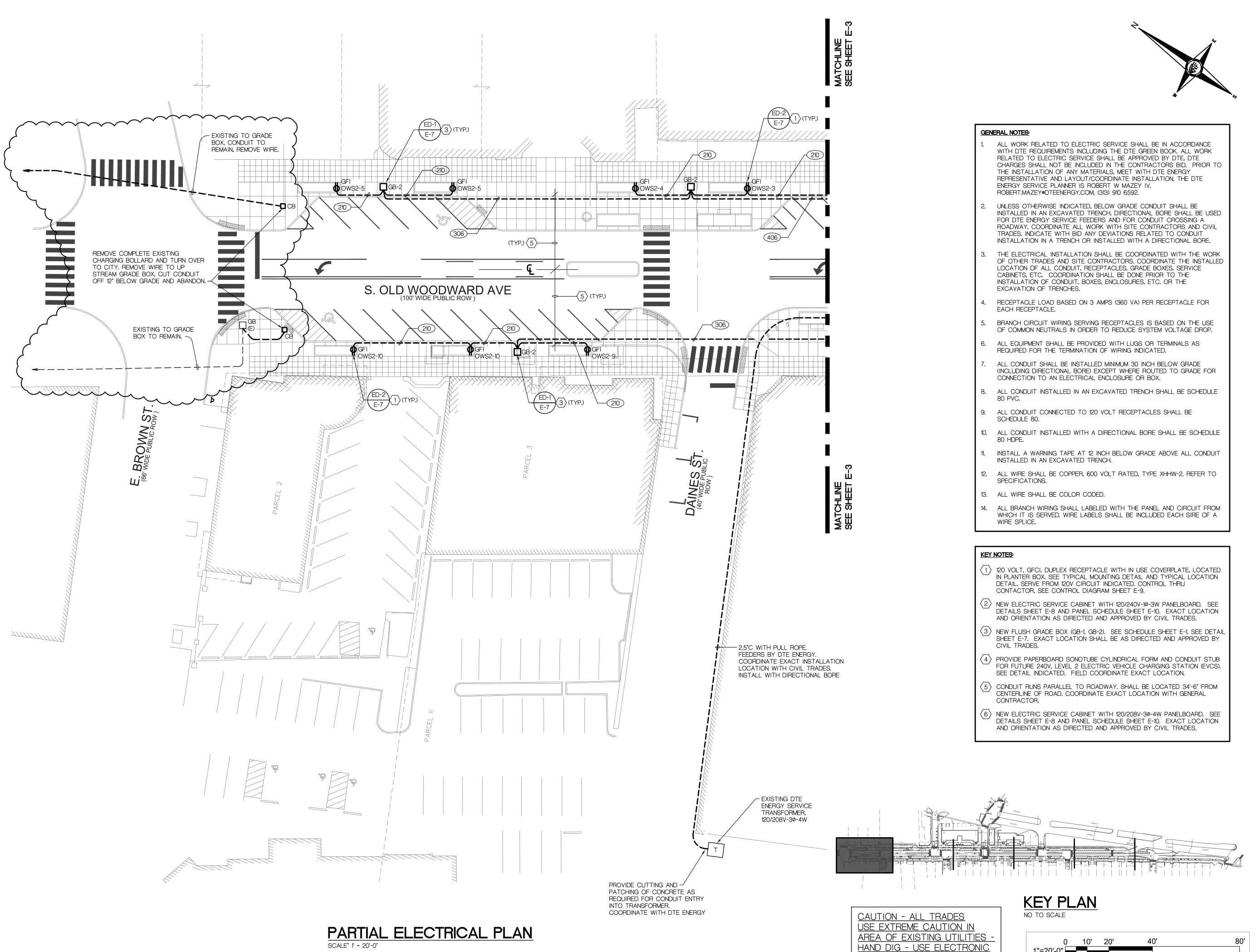
BLOOMFIELD
DRAWING NUMBER:

25256

SECTION: 25/36 TOWN: 2N RANGE: 10E

DRAWING NUMBER:

1 OF 1



ENGINEERS

civil Engineers Land Surveyors Land Planners

NOWAK & FRAUS ENGINEERS 46777 Woodward Ave. Pontiac, MI 48342-5032 Tel. (248) 332-7931 Fax. (248) 332-8257



BERBIGLIA ASSOCIATES INC.
CONSULTING ENGINEERS

36400 West 12 Mile Road Farmington Hills, Michigan 48331 (248) 489-3100 • FAX (248) •489-3161 B.A.I. No. 21-5001

PROJECT

Old Woodward Ave. Reconstruction Project Contract #1-22(P)

CLIENT



Engineering Department 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION

Part of the SW/NE 1/4

Section 25/36, Town 2 North,

Range 10 East, City of

Birmingham, Oakland

County, Michigan

SHEET
Partial Electrical Plan



REVISIONS
01-07-22 50% City Review
02-14-22 Bids
03-14-22 Addendum No. 2

DRAWN BY:

VK / MV

DESIGNED BY:

J. Berbiglia

APPROVED BY:

J. Berbiglia

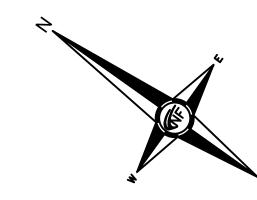
DATE:

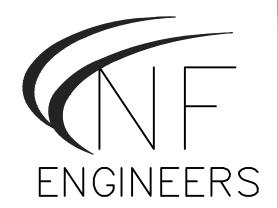
June 11, 2021

NFE JOB NO. sheet no. **E-2** 

WHEN USING THIS DRAWING - PLOT OR PRINT FULL SIZE TO ENSURE CORRECT SCALE. NOTE REDUCED SIZE DRAWINGS ARE NOT TO SCALE

DETECTION PRIOR TO DIGGING





civil Engineers Land Surveyors Land Planners

NOWAK & FRAUS ENGINEERS 46777 Woodward Ave. Pontiac, MI 48342—5032 Tel. (248) 332—7931 Fax. (248) 332—8257



PROJECT

Old Woodward Ave. Reconstruction Project Contract #1-22(P)



**Engineering Department** 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION Part of the SW/NE 1/4 Section 25/36, Town 2 North, Range 10 East, City of Birmingham, Oakland County, Michigan

Partial Electrical Plan



REVISIONS 01-07-22 50% City Review 02-14-22 Bids

> DRAWN BY: VK/MV

DESIGNED BY: J. Berbiglia APPROVED BY:

J. Berbiglia

DATE: June 11, 2021

SCALE: 1'' = 20'

sheet no. **M270** 

**E-3** 

KEY PLAN NO TO SCALE CAUTION - ALL TRADES USE EXTREME CAUTION IN AREA OF EXISTING UTILITIES 10' 20'

WHEN USING THIS DRAWING - PLOT OR PRINT FULL SIZE TO ENSURE

CORRECT SCALE. NOTE REDUCED SIZE DRAWINGS ARE NOT TO SCALE

HAND DIG - USE ELECTRONIC DETECTION PRIOR TO DIGGING

206

FRANK ST.

Щ. (50'

**TENANTS** 

#555 S. OLD WOODWARD

 $\boxtimes$ 

OW\$2-6

MOUNTAIN KING

210

ED-5 ED-6 ED-7 CD-1 6 ESC-OWS2 WITH CIRCUIT E-8 E-8 E-8 E-9 6 BREAKER PANEL 'OWS2'

ED-2 1 (TYP.)

S. OLD WOODWARD AVE

HALL & HUNTER REALTORS / #442 S. OLD WOODWARD

GFI OW\$2-7 OW\$2-7

#469 S. OLD WOODWARD

(TYP.) (5)

(TYP.) (5)

CVS PHARMACY #444 S. OLD WOODWARD

PARTIAL ELECTRICAL PLAN

#479 S. OLD

WOODWARD

GFI OWS2-6

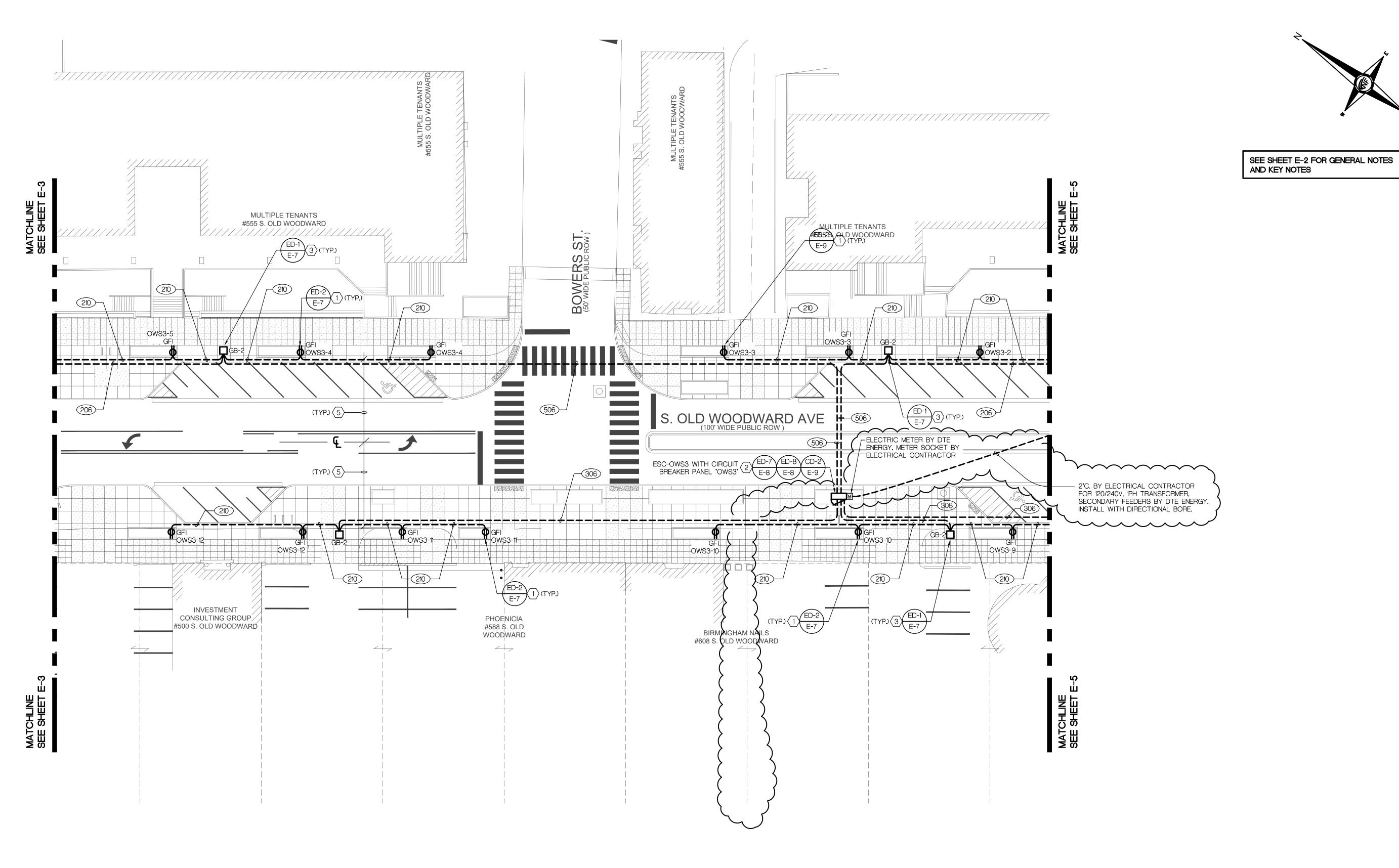
MULTIPLE TENANTS #401 S. OLD WOODWARD

ELECTRIC METER BY DTE — ENERGY, METER SOCKET BY ELECTRICAL CONTRACTOR

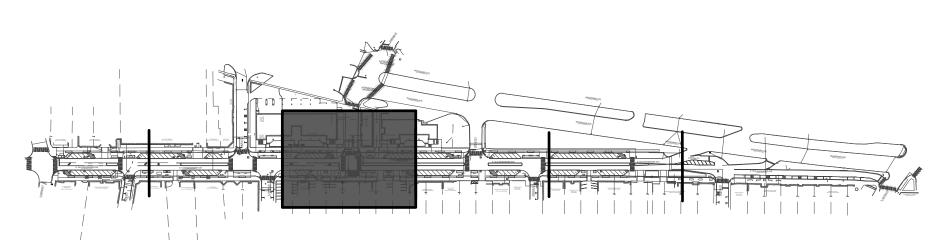
**Ø**GFI OW\$2-8

THE FOREFRONT #400 S. OLD WOODWARD

2.5°C WITH PULL ROPE.
FEEDERS BY DTE ENERGY.
COORDINATE EXACT
INSTALLATION LOCATION
WITH CIVIL TRADES



PARTIAL ELECTRICAL PLAN
SCALE' 1' - 20'-0"



KEY PLAN

NO TO SCALE

CAUTION - ALL TRADES
USE EXTREME CAUTION IN
AREA OF EXISTING UTILITIES HAND DIG - USE ELECTRONIC
DETECTION PRIOR TO DIGGING

0 10' 20' 40' 80'

1"=20'-0" WHEN USING THIS DRAWING - PLOT OR PRINT FULL SIZE TO ENSURE CORRECT SCALE. NOTE REDUCED SIZE DRAWINGS ARE NOT TO SCALE

ENGINEERS

civil Engineers Land Surveyors Land Planners

NOWAK & FRAUS ENGINEERS 46777 Woodward Ave. Pontiac, MI 48342—5032 Tel. (248) 332—7931 Fax. (248) 332—8257



PROJECT

Old Woodward Ave. Reconstruction Project Contract #1-22(P)

CLIENT



Engineering Department 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION
Part of the SW/NE 1/4
Section 25/36, Town 2 North,
Range 10 East, City of
Birmingham, Oakland
County, Michigan

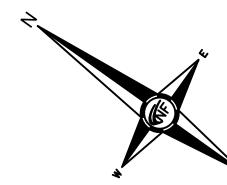
SHEET

Partial Flectrical Plan

Partial Electrical Plan



REVISIONS		
01-07-22	50% City Re	eview
02-14-22	Bids	
03-14-22	Addendum	No. 2
-		
DRAWN BY:		
VK/MV		
DESIGNED B	\\·	
J. Berbigli		
APPROVED		
J. Berbigli	la	
DATE:		
June 11, 2	021	
COME. 1" :	= 20'	
00112		20
20 10	0 10	20
NFE JOB NO	) of	neet n
NACE OF THE	٥. ١	
		$\mathbf{F}_{-4}$





civil Engineers Land Surveyors Land Planners

NOWAK & FRAUS ENGINEERS 46777 Woodward Ave. Pontiac, MI 48342—5032 Tel. (248) 332—7931 Fax. (248) 332—8257



PROJECT

Old Woodward Ave. Reconstruction Project Contract #1-22(P)

**Engineering Department** 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION Part of the SW/NE 1/4 Section 25/36, Town 2 North, Range 10 East, City of Birmingham, Oakland County, Michigan

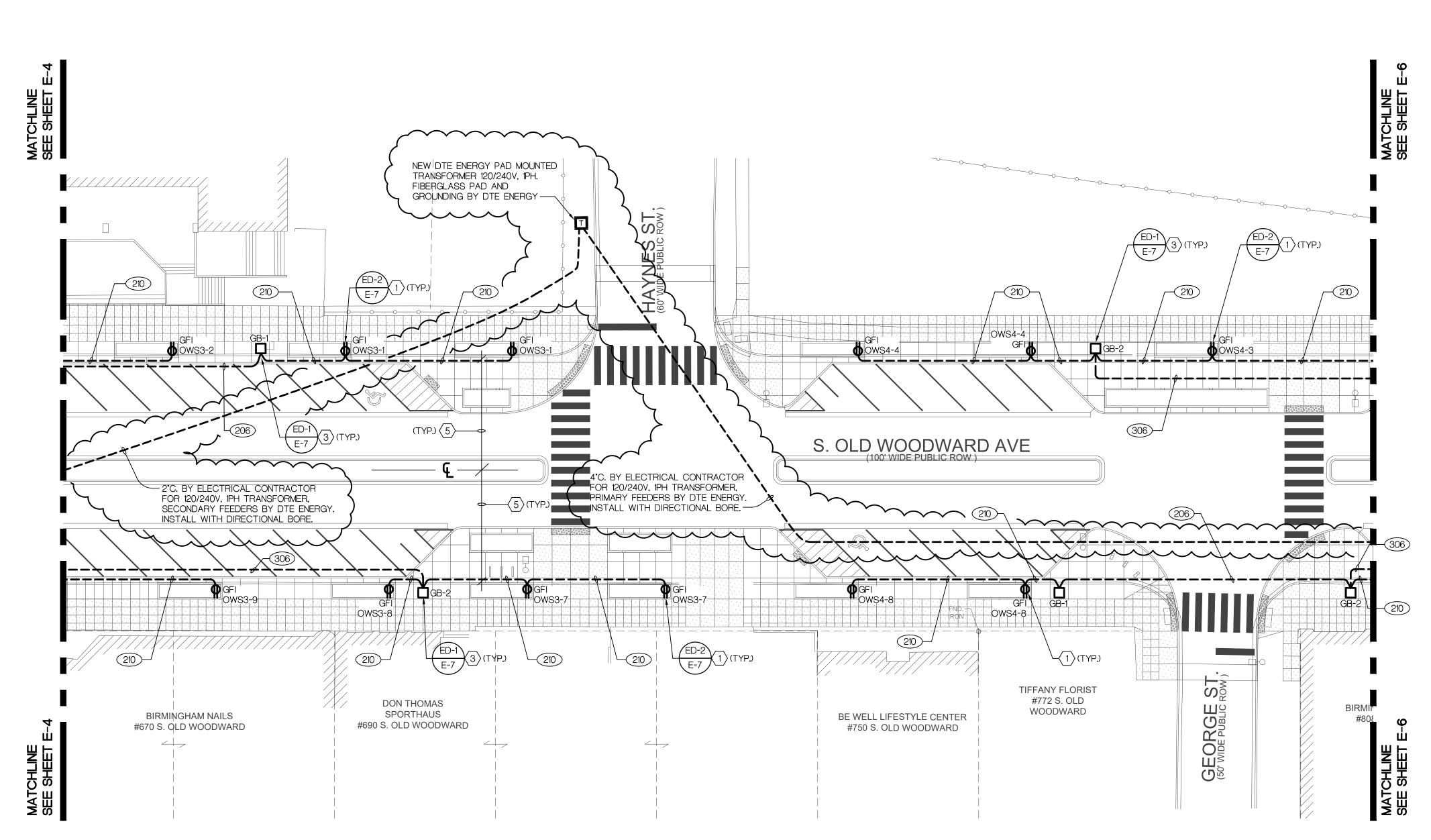
Partial Electrical Plan



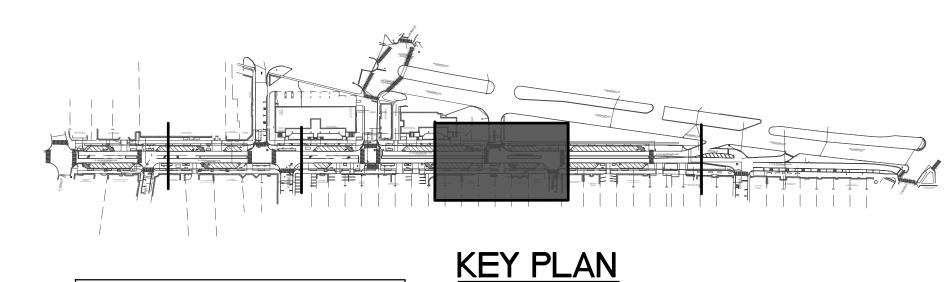
01-07-22 50% City Review

REVISIONS

<b>■</b> 77 m	01 07 22	30 % City Review
<b>□</b>	02-14-22	Bids
MATO SEE S	03-14-22	Addendum No. 2
**Dillioner*		
**State of the state of the sta		
	DRAWN BY:	
	VK / MV	
	DESIGNED E	
	J. Berbigl	ia
	APPROVED	BY:
VEV DI ANI	J. Berbigl	ia
KEY PLAN	DATE:	
NO TO SCALE	June 11, 2	2021
	SCALE: 1"	= 20'
0 10' 20' 40' 80'	20 10	0 10 20
1"=20'-0"		
WHEN USING THIS DRAWING - PLOT OR PRINT FULL SIZE TO ENSURE	NFE JOB N	O. sheet no.
CORRECT SCALE. NOTE REDUCED SIZE DRAWINGS ARE NOT TO SCALE	M270	E-5

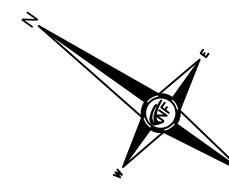


PARTIAL ELECTRICAL PLAN



CAUTION - ALL TRADES USE EXTREME CAUTION IN AREA OF EXISTING UTILITIES -HAND DIG - USE ELECTRONIC DETECTION PRIOR TO DIGGING

40' 10' 20' WHEN USING THIS DRAWING - PLOT OR PRINT FULL SIZE TO ENSURE





ENGINEERS civil Engineers Land Surveyors Land Planners

NOWAK & FRAUS ENGINEERS 46777 Woodward Ave. Pontiac, MI 48342—5032 Tel. (248) 332—7931 Fax. (248) 332—8257



PROJECT

Old Woodward Ave. Reconstruction Project Contract #1-22(P)



**Engineering Department** 151 Martin Street Birmingham, MI 48012

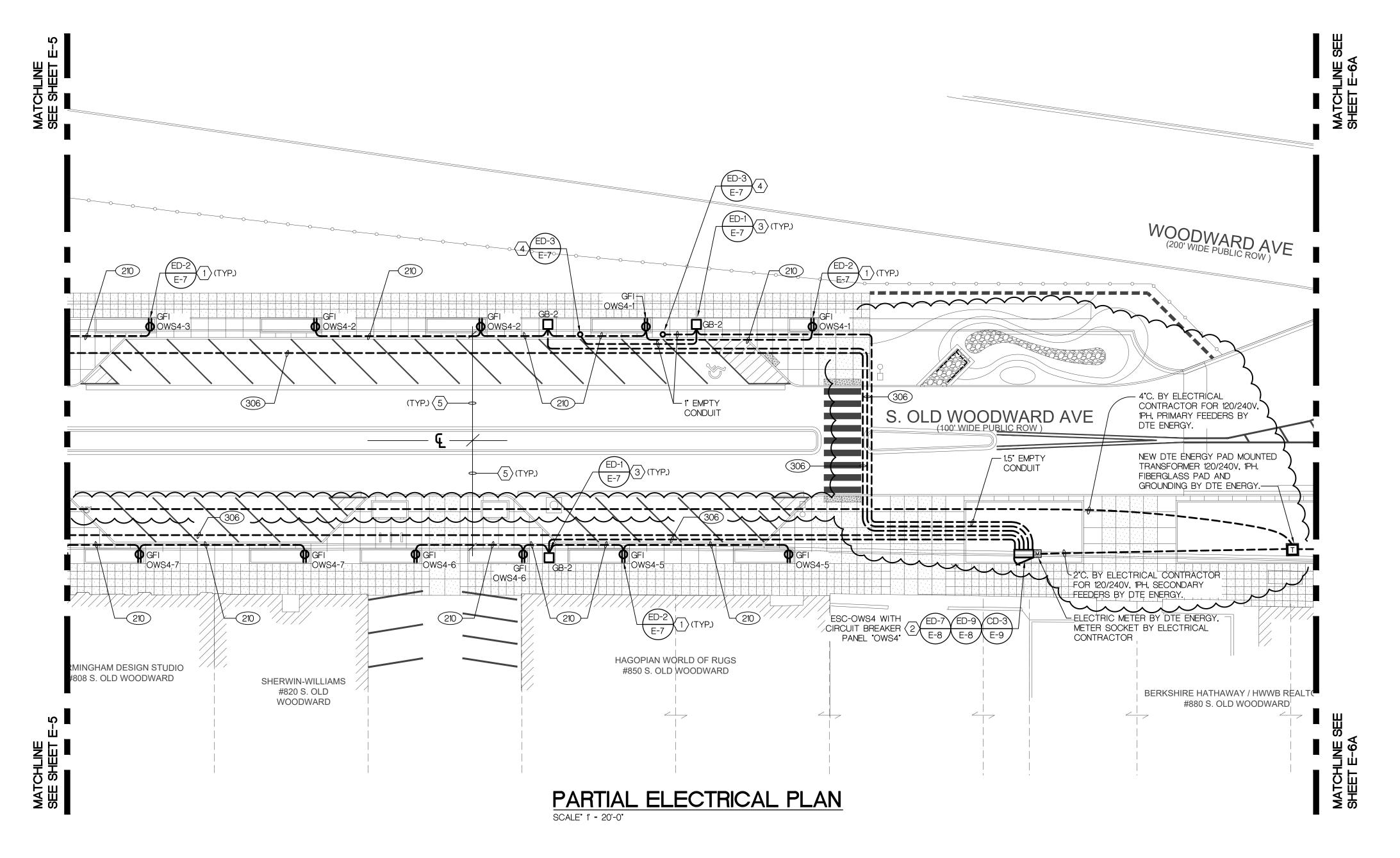
PROJECT LOCATION Part of the SW/NE 1/4 Section 25/36, Town 2 North, Range 10 East, City of Birmingham, Oakland County, Michigan

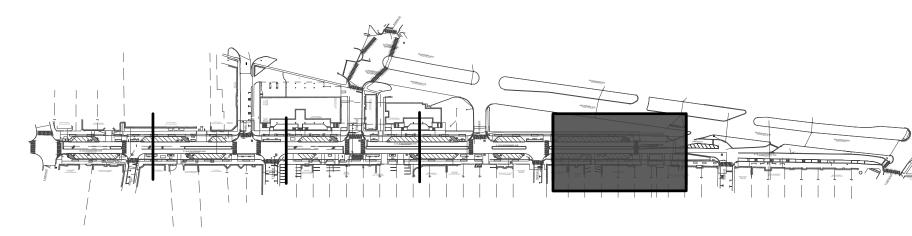
Partial Electrical Plan



	REVISIONS	#0% G!: B	
	01-07-22	50% City Re	eview
	02-14-22	Bids	
	03-14-22	Addendum	No. 2
	<del></del>		
	DRAWN BY:		
72) 2 <b>1</b>	VK / MV		
	DESIGNED E	3Y:	
	J. Berbigl	ia	
	APPROVED	BY:	
	J. Berbigl	ia	
	DATE:		
	June 11, 2	2021	
	SCALE: 1"	= 20'	
001	20 10		20 3
80'	20 10	0 10	ZU .
	NEE JOD N	<u> </u>	
RE	NFE JOB N	u. sr	neet no.

**E-6** 





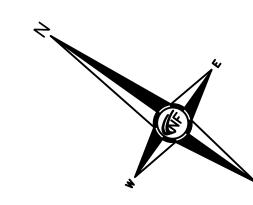
CAUTION - ALL TRADES USE EXTREME CAUTION IN AREA OF EXISTING UTILITIES HAND DIG - USE ELECTRONIC

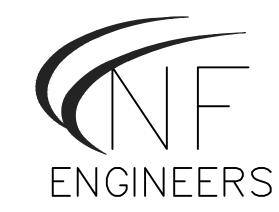
DETECTION PRIOR TO DIGGING

NO TO SCALE

KEY PLAN

40' 10' 20' WHEN USING THIS DRAWING - PLOT OR PRINT FULL SIZE TO ENSURE CORRECT SCALE. NOTE REDUCED SIZE DRAWINGS ARE NOT TO SCALE





civil Engineers Land Surveyors Land Planners

NOWAK & FRAUS ENGINEERS 46777 Woodward Ave. Pontiac, MI 48342—5032 Tel. (248) 332—7931 Fax. (248) 332—8257



BERBIGLIA ASSOCIATES INC.
CONSULTING ENGINEERS

36400 West 12 Mile Road
Farmington Hills, Michigan 48331
(248) 489-3100 • FAX (248) • 489-3161
B.A.I. No. 21-5001

PROJECT

Old Woodward Ave. Reconstruction Project Contract #1-22(P)

### CLIENT



Engineering Department 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION
Part of the SW/NE 1/4
Section 25/36, Town 2 North,
Range 10 East, City of
Birmingham, Oakland
County, Michigan

SHEET

Partial Electrical Plan



 REVISIONS

 01-07-22
 50% City Review

 02-14-22
 Bids

 03-14-22
 Addendum No. 2

DRAWN BY:
VK / MV

DESIGNED BY:
J. Berbiglia

J. Berbiglia

APPROVED BY:

J. Berbiglia

J. Berbiglia
DATE:

**KEY PLAN** 

10' 20'

WHEN USING THIS DRAWING - PLOT OR PRINT FULL SIZE TO ENSURE

CORRECT SCALE. NOTE REDUCED SIZE DRAWINGS ARE NOT TO SCALE

NO TO SCALE

CAUTION - ALL TRADES

USE EXTREME CAUTION IN

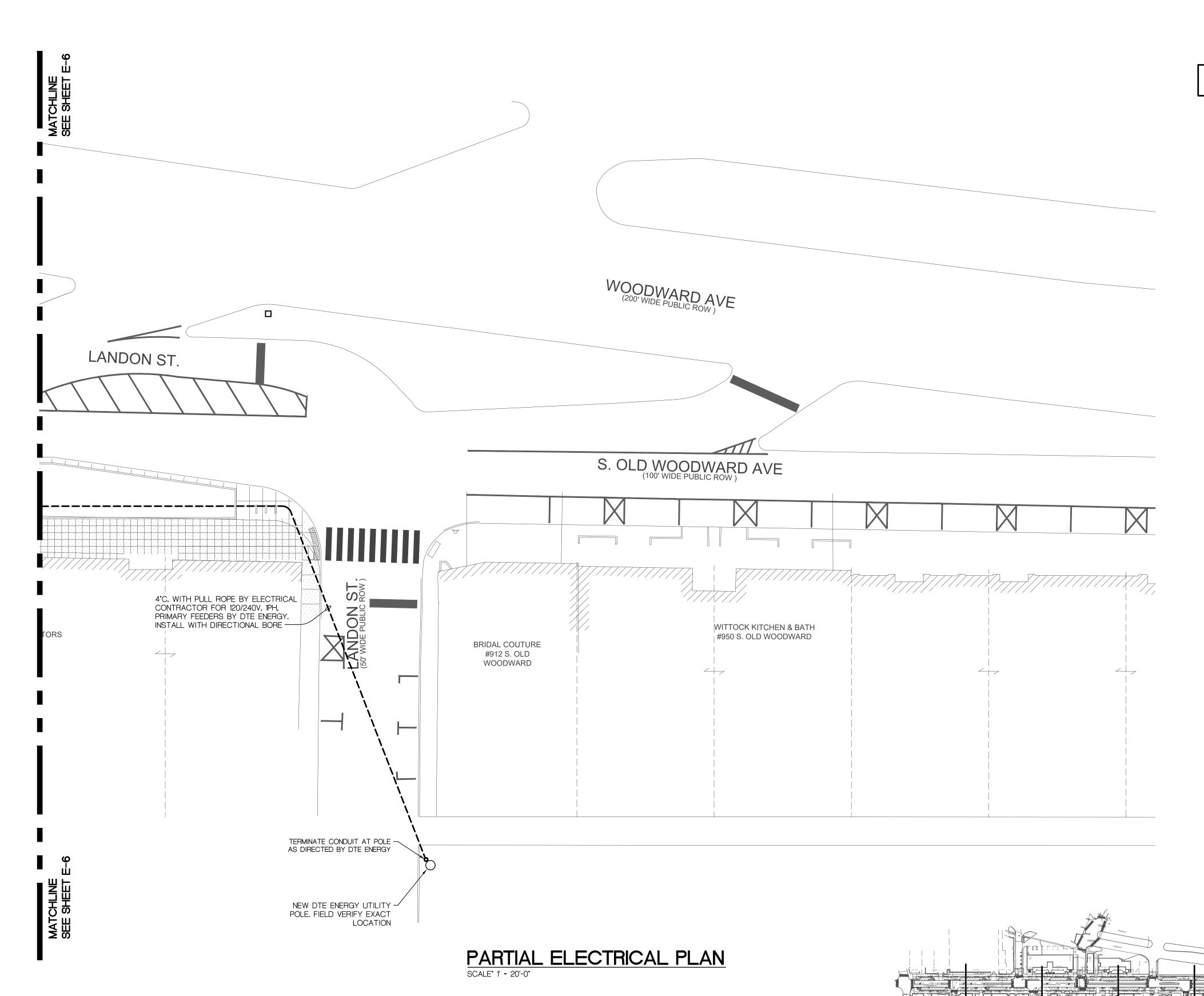
AREA OF EXISTING UTILITIES -

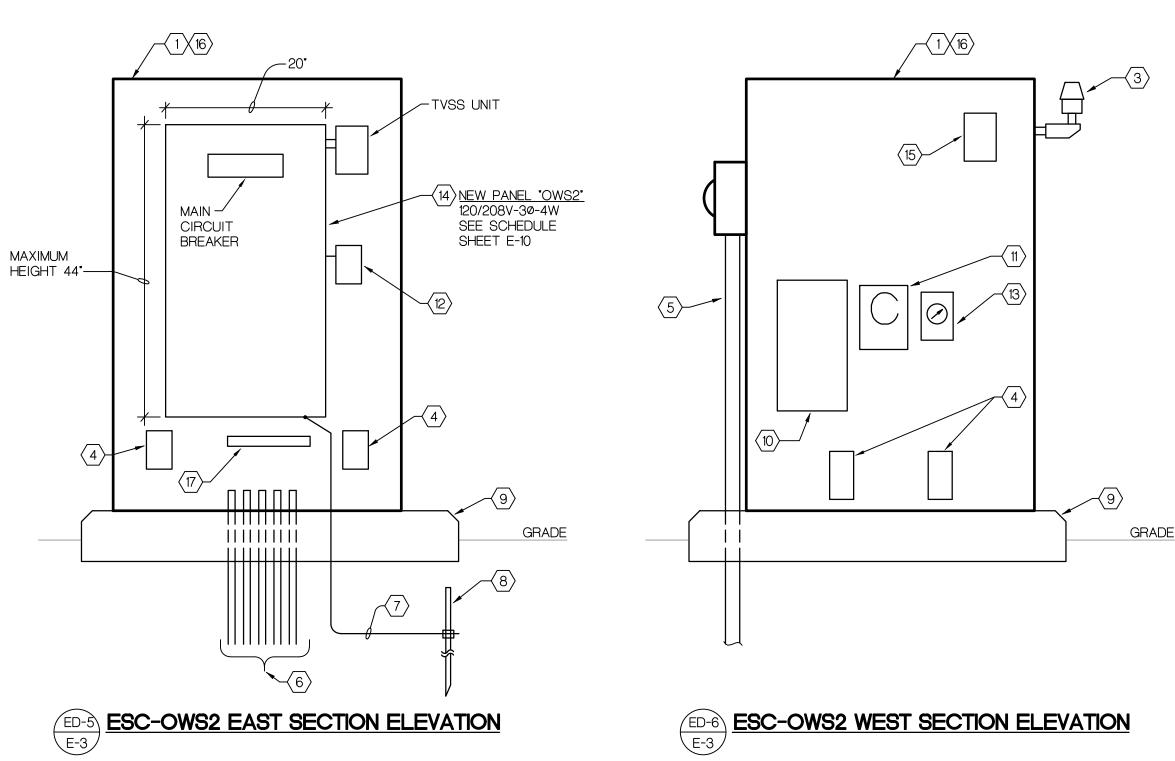
HAND DIG - USE ELECTRONIC DETECTION PRIOR TO DIGGING

June 11, 2021

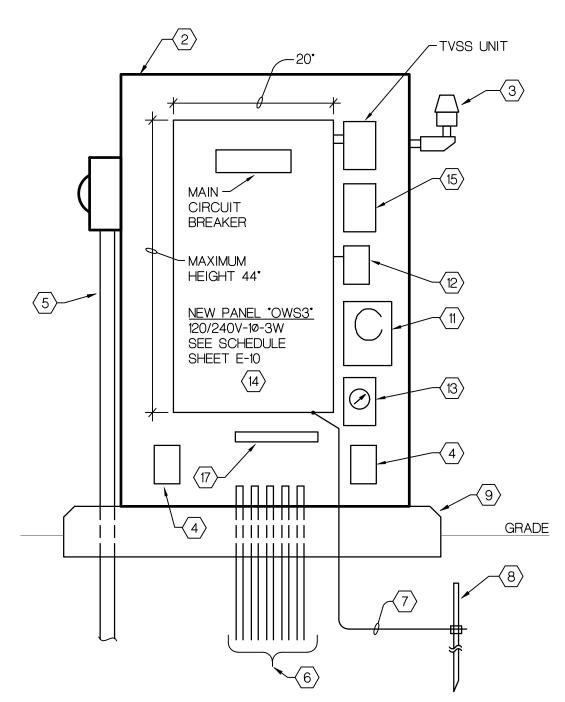
SCALE: 1" = 20'
20 10 0 10

FE JOB NO. Sheet no. E-6A



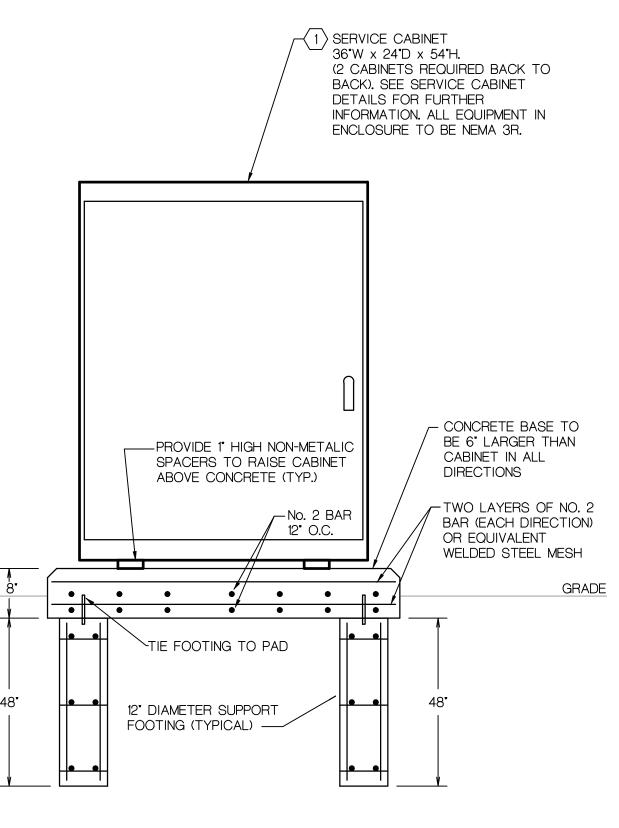


OLD WOODWARD SOUTH NEW ELECTRIC SERVICE CABINET ESC-OWS2



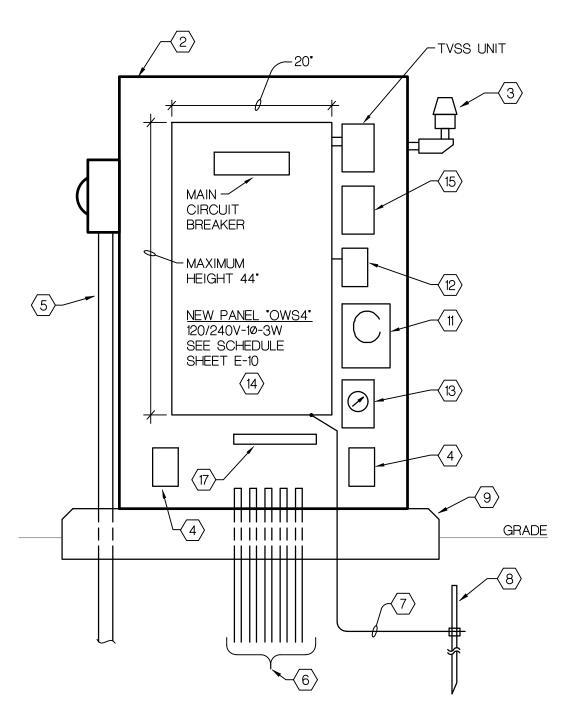
**ESC-OWS3 EAST SECTION ELEVATION** 

OLD WOODWARD SOUTH NEW ELECTRIC SERVICE CABINET ESC-OWS3 NO SCALE



ELECTRIC SERVICE CABINET CONCRETE BASE DETAIL

NO SCALE



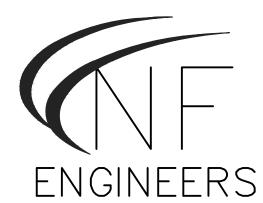
ESC-OWS4 EAST SECTION ELEVATION

OLD WOODWARD SOUTH NEW ELECTRIC SERVICE CABINET ESC-OWS4 NO SCALE

### RISER DIAGRAM / SERVICE CABINET KEY NOTES

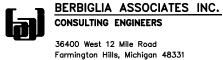
- $\langle$  1  $\rangle$  SERVICE CABINET. NOMINAL 36" WIDE x 54" HIGH x 18" DEEP. 2 CABINETS REQUIRED MOUNTED BACK TO BACK. FINAL SIZE TO BE BASED ON EQUIPMENT SHOP DRAWINGS FOR EQUIPMENT WITHIN. SUBMIT FOR APPROVAL LAYOUT SHOP DRAWING SHOWING INTERNAL EQUIPMENT AND CABINET DIMENSIONS.
- 2 SERVICE CABINET. NOMINAL 36" WIDE x 54" HIGH x 18" DEEP. FINAL SIZE TO BE BASED ON EQUIPMENT SHOP DRAWINGS FOR EQUIPMENT WITHIN. SUBMIT FOR APPROVAL LAYOUT SHOP DRAWING SHOWING INTERNAL EQUIPMENT AND CABINET DIMENSIONS.
- 3 PHOTO CELL NIPPLED TO TOP SIDE OF SERVICE CABINET ENCLOSURE. ENCLOSE IN SHOCK RESISTANT GLASS GLOBE.
- 4 STRIP HEATER, 300 WATT, 120 VOLT, HEATREX #276-7, LOCATED IN EQUIPMENT ENCLOSURE.
- 5 SERVICE CONDUIT. SEE SITE PLAN AND POWER RISER DIAGRAM.
- 6 WIRING SERVING RECEPTACLES. SEE RECEPTACLE WIRING DIAGRAM AND SITE PLAN FOR QUANTITY OF WIRES AND FURTHER INFORMATION. INCLUDE (2) 2°C SPARE STUBBED OUT AND CAPPED FOR FUTURE USE.
- $\langle 7 \rangle$  1 \*4/0(G) IN 1°C. (PVC) SERVICE GROUND.
- $\langle 8 \rangle$  GROUND ROD, 5/8' COPPER X 10'-0' LONG.
- 9 FOR CONCRETE BASE REQUIREMENTS, SEE SERVICE CABINET CONCRETE BASE DETAIL AND FIXTURE WIRING DIAGRAMS.
- (10) IRRIGATION CONTROL PANEL FURNISHED AND INSTALLED BY IRRIGATION CONTRACTOR, 10"H x 9"W x 5"D. PROVIDE HARD WIRED 120 VOLT ELECTRIC CONNECTION. CIRCUIT #13. VERIFY DIMENSIONS WITH SHOP DRAWINGS.
- (11) CONTACTOR. 120 VOLT COIL, ELECTRICALLY HELD. PROVIDE NEMA 3R ENCLOSURE, SEE WIRING DIAGRAM.
- (12) GFI TYPE DUPLEX RECEPTACLE WITHIN CABINET. NIPPLE TO PANEL. PROVIDE WEATHERPROOF COVERPLATE AND CAST
- (13) "H-O-A" SELECTOR SWITCH. PROVIDE NEMA 3R CAST BOX. LABEL TO INDICATE LOAD CONTROLLED.
- PROVIDE PANEL DIRECTORY INDICATING ALL USED AND SPARE BREAKERS.
- (15) THERMOSTAT. WIRE TO CONTROL HEATERS.
- (16) PROVIDE CONDUIT CONNECTIONS BETWEEN WEST AND EAST SECTIONS AS REQUIRED FOR WIRING CONNECTIONS.
- TERMINAL STRIP (TO TRANSITION FROM WIRING SERVING SITE RECEPTACLES TO #12 TO ENABLE CONNECTION TO CIRCUIT BREAKERS).

DETECTION PRIOR TO DIGGING



civil Engineers Land Surveyors Land Planners

**NOWAK & FRAUS ENGINEERS** 46777 Woodward Ave. Pontiac, MI 48342-5032 Tel. (248) 332-7931 Fax. (248) 332-8257



36400 West 12 Mile Road Farmington Hills, Michigan 48331 (248) 489-3100 • FAX (248) • 489-3161 B.A.I. No. 21-5001

PROJECT

Old Woodward Ave. Reconstruction Project Contract #1-22(P)



**Engineering Department** 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION Part of the SW/NE 1/4 Section 25/36, Town 2 North, Range 10 East, City of Birmingham, Oakland County, Michigan

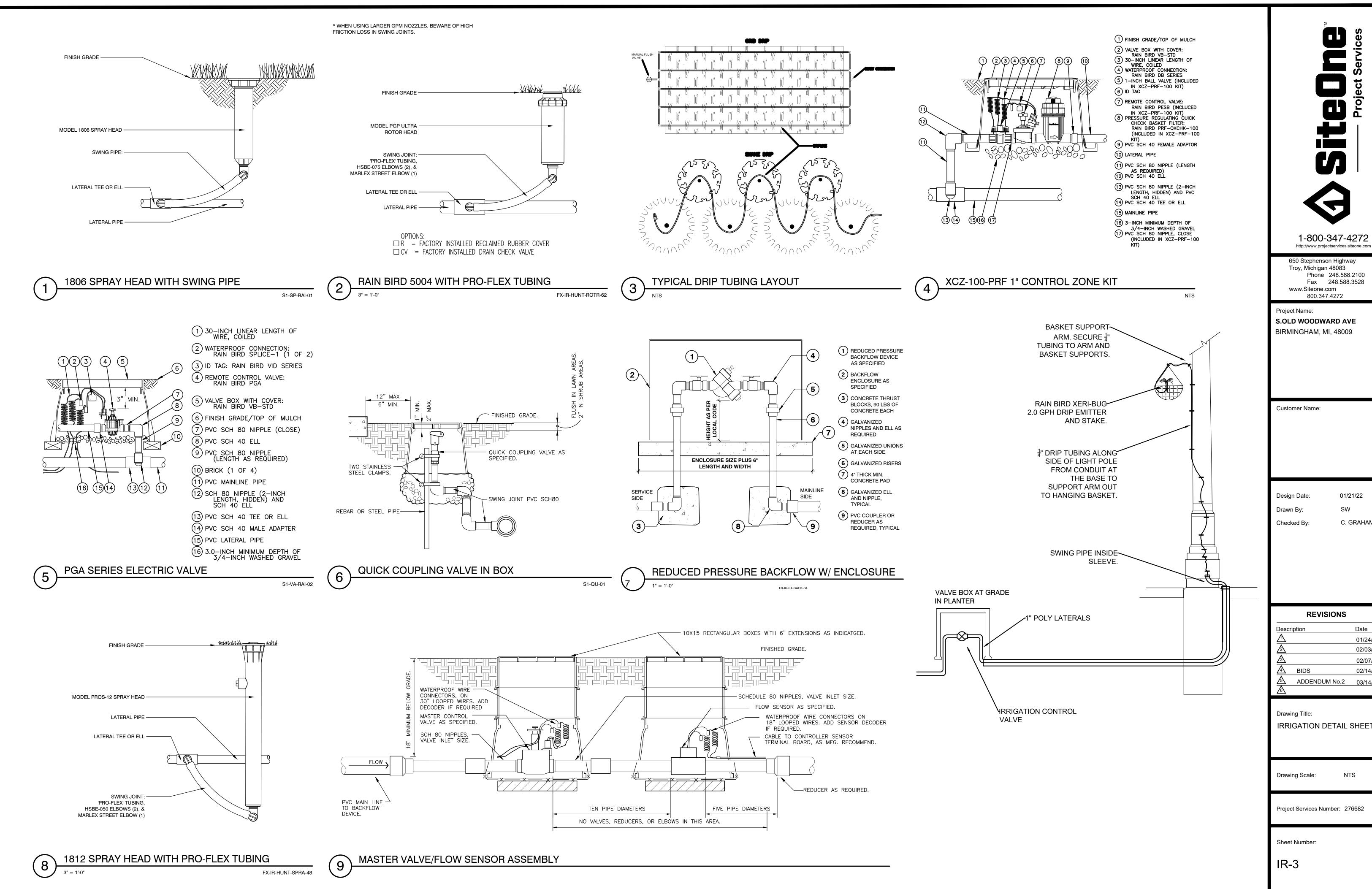
**DETAILS AND DIAGRAMS** 



	REVISIONS	
	01-07-22 50% City Re	eview
	02-14-22 Bids	
	DRAWN BY:	
	VK/MV	
	DESIGNED BY:	
	J. Berbiglia	
	APPROVED BY:	
	J. Berbiglia	
	DATE:	
	June 11, 2021	
CAUTION - ALL TRADES		
USE EXTREME CAUTION IN	SCALE: $1'' = 20'$	
AREA OF EXISTING UTILITIES -	20 10 0 10	20 3
HAND DIG - USE ELECTRONIC		
INTINO DIA COL LLLO INDINO	NEE IOD NO - ah	oot no

sheet no.

**E-8** 



Ser oje

1-800-347-4272

650 Stephenson Highway Troy, Michigan 48083 Phone 248.588.2100

Fax 248.588.3528 www.Siteone.com 800.347.4272

Project Name: S.OLD WOODWARD AVE BIRMINGHAM, MI, 48009

01/21/22 SW

C. GRAHAM

**REVISIONS** Date 01/24/22 02/03/22 02/07/22 02/14/22 ADDENDUM No.2 03/14/22

Drawing Title: IRRIGATION DETAIL SHEET

NTS

Project Services Number: 276682

Sheet Number:

## PLANTING NOTES

- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
- 2. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN THE FIELD. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING PLANTING.
- 3. ALL PLANTS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO THEIR INSTALLATION AT THE SITE.
- 4. CONTRACTOR SHALL STAKE ALL TREE LOCATIONS AND LAYOUT SHRUBS PLANTINGS IN THE FIELD. OBTAIN APPROVAL OF LANDSCAPE ARCHITECT BEFORE STARTING PLANTING INSTALLATION.
- 5. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.
- 6. CONTRACTOR SHALL LEAVE THE SITE CLEAN AND ORDERLY DURING THE CONSTRUCTION PROCESS. REMOVE FROM SITE ALL EXCESS MATERIALS, SOIL, DEBRIS AND EQUIPMENT. STORE MATERIALS IN AN APPROVED LOCATION.
- 7. SHOVEL-CUT EDGING: SEPARATE MULCHED AREAS FROM TURF AREAS WITH A 45-DEGREE, 4- TO 6-INCH-DEEP, SHOVEL-CUT EDGE, PROVIDE CONTINUOUS SMOOTH EDGE.

11 10 9 8 7 1 6 5

### OVERALL PLANT LIST - L0.0

6 | 5 | 4 | 3

GI BI	21	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO	3-3.5" Cal.	B&B	MALE CLONE
LI ST	21	LIQUIDAMBAR STYRADIFLUA	FRUITLESS SWEETGRUM	3-3.5" Cal.	B&B	MATCH FORM
PL AC	17	PLATANUS X ACERIFOLIA	LONDON PLANE TREE	3.5-4" Cal.	B&B	MATCH FORM
TI CO	18	TILIA CORDATA 'GREENSPIRE'	LITTLE LEAF LINDEN	3.5-4" Cal.	B&B	MATCH FORM
ORNAM	ENTAL T	REES				
AM GR	29	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	6' HT.	B&B	MULTI-STEM
CR LA	17	CRATAEGUS LAEVIGATA 'CRIMSON CLOUD'	CRIMSON CLOUD ENGLISH HAWTHORN	2" Cal.	B&B	SINGLE TRUNK TREE FOR
HY PA	7	HYDRANGEA PANICULATA ' TARDIVA'	TARDIVA HYDRANGEA	#7 CONT.	B&B	SINGLE TRUNK TREE FOR
PERENN	IIALS					
AS NO	244	ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	#1 CONT.		
CO VE	250	COREOPSIS VERTICILLATA 'MOONBEAM'	MOONBEAM COREOPSIS	#1 CONT.		
GE RO	32	GERANIUM X 'ROZANNE'	ROZANNE GERANIUM	#1 CONT.		
НЕ НА	288	HEMEROCALLIS X 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	#1 CONT.		
IR VE	252	IRIS VERSICOLOR	BLUE FLAG IRIS	#2 CONT.		
LE SU	450	LEUCANTHEMUM X SUPERBUM ' SNOW LADY'	SNOW LADY SHASTA DAISY	#1 CONT.		
LI MU	757	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LILYTURF	#1 CONT.		
PH VI	88	PHYSOSTEGIA VIRGINIANA	OBEDIENT PLANT	#2 CONT.		
RU FU	48	RUDBECKIA FULGIDA 'LITTLE GOLDSTAR'	LITTLE GOLDSTAR BLACK EYED SUSAN	#1 CONT.		
SA SY	32	SALVIA X SYLVESTRIS 'MAY NIGHT'	MAY NIGHT SALVIA	#1 CONT.		
GRASSE						
CA AC	241	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#3 CONT.	•	
CA VU	348	CAREX VULPINOIDEA	FOX SEDGE	#1 CONT.		EVENLY DISTRIBUTED
FE OV	144	FESTUCA OVINA 'ELIJAH BLUE'	DWARF BLUE FESCUE	#1 CONT.		
JU TE	168	JUNCUS TENUIS	PATH RUSH	#1 CONT.		EVENLY DISTRIBUTED
PEAI	707	PENNISETUM ALOPECURORES 'LITTLE RUNNY'	LITTLE BUNNY FOUNTAIN CRASS	#2 CONIT		
CE ALL	539			#2 OGNIT		
SE AU		SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	#1 CONT.	<b>^</b>	~ ~
CO ST	145	CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	#5 CONT.		
HY PA	84	HYDRANGEA PANICULATA 'LITTLE QUICKFIRE'	LITTLE QUICKFIRE HYDRANGEA	#5 CONT.		
						PROVIDE MINIMUM (1) ILEX
IL GL	48	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	#3 CONT.		GLABRA 'CHAMZIN' PER (4) 'SHAMROCK'
JU HO	140	JUNIPERUS HONZONTALIS 'LIMEGLOW'	LIMEGLOWJUNIPER	#3 CON		
JU VI	102	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	#5 CONT.	•	<b>A A</b>
PLM	148	PINUS MUCO HONEYCOMB	HONEYCOMB MUSO RINE	#3 CONT.		
SP JA	36	SPIREA JAPONICA 'DOUBLE PLAY CANDY CORN'	DOUBLE PLAY CANDY CORN SPIREA	#3 CONT.		
BULBS				Г		
NA	282	NARCISSUS 'ICE FOLLIES'	ICE FOLLIES DAFFODIL	BULBS		
NA	282	NARCISSUS 'KING ALFRED'	KING ALFRED DAFFODIL	BULBS		EVENLY DISTRIBUTED
NA	282	NARCISSUS 'RED DEVON'	RED DEVON DAFFODIL	BULBS		
	* <b>Ε</b> ΟΙΙΔΙ	AMOUNTS OF EACH SPECIES PER PLANTER, DISTRIB	RITE EVENLY			
		AMOUNTO OF EACH OF ECILOT ENTERS BIBLIONS				



4219 WOODWARD AVE, SUITE 305 DETROIT, MICHIGAN 48201

313 652.1101 MKSKSTUDIOS.COM

client / owner

City of Birmingham

SOUTH OLD WOODWARD PH. 3

roject address Birmingham, MI

consultant 1

Nowak & Frauss Engineers
46777 Woodward Ave.

Pontiac, MI 48342 p 248.332.7931

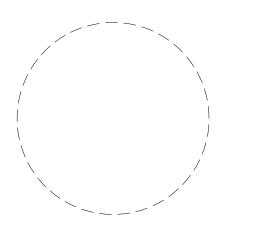
**BIDS** 

Not For Construction

sion date issued

4 03.14.2022 Addendum 2
3 02.14.2022 Bids

2 02.07.2022 90% City Review
1 01.07.2022 50% City Review



issue date 01.07.2022

project number d21105

sheet name

PLANT SCHEDULE AND NOTES

L0.0

S. OLD WOODWARD AVE = S. OLD WOODWARD AVE 9 BOW • O, **183+318** • 0 • **183+1811** • 10 • ST.WOW. S. OLD WOODWARD AVE

MKSKAPE ARCHITECTURE + LIRRAN PLANNING

4219 WOODWARD AVE, SUITE 305 DETROIT, MICHIGAN 48201 313 652.1101 MKSKSTUDIOS.COM

client / owner
City of Birmingham
project name
SOUTH OLD
WOODWARD PH. 3
project address
Birmingham, MI

Nowak & Frauss Engineers 46777 Woodward Ave. Pontiac, MI 48342 p 248.332.7931

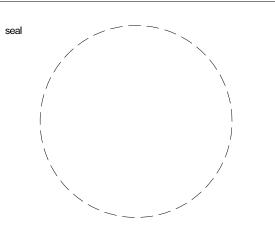
**BIDS**Not For Construction

date issued

03.14.2022 Addendum 2

03.14.2022 Addendum 2
02.14.2022 Bids
02.07.2022 90% City Review

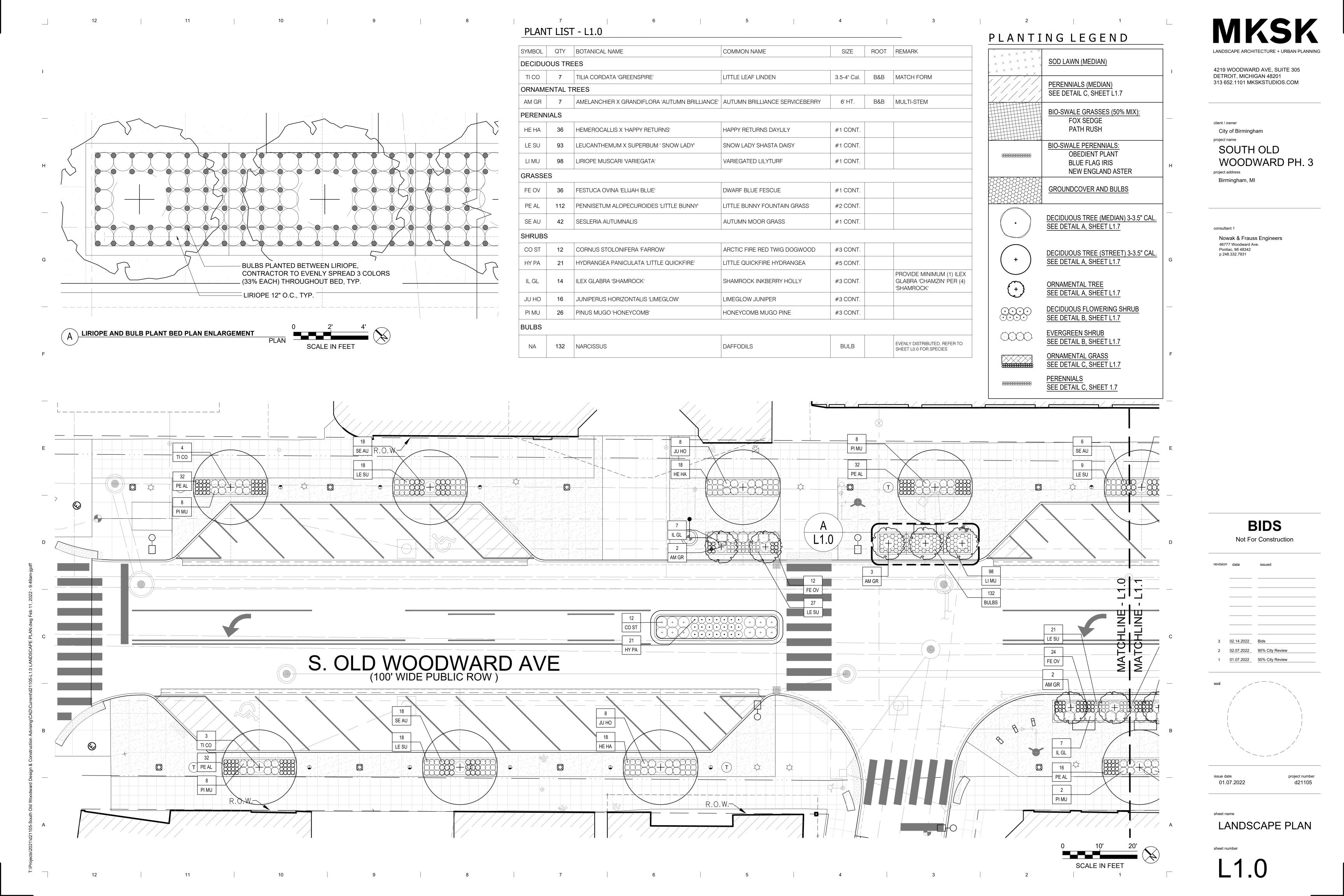
2 <u>02.07.2022</u> <u>90% City Review</u> 1 <u>01.07.2022</u> <u>50% City Review</u>

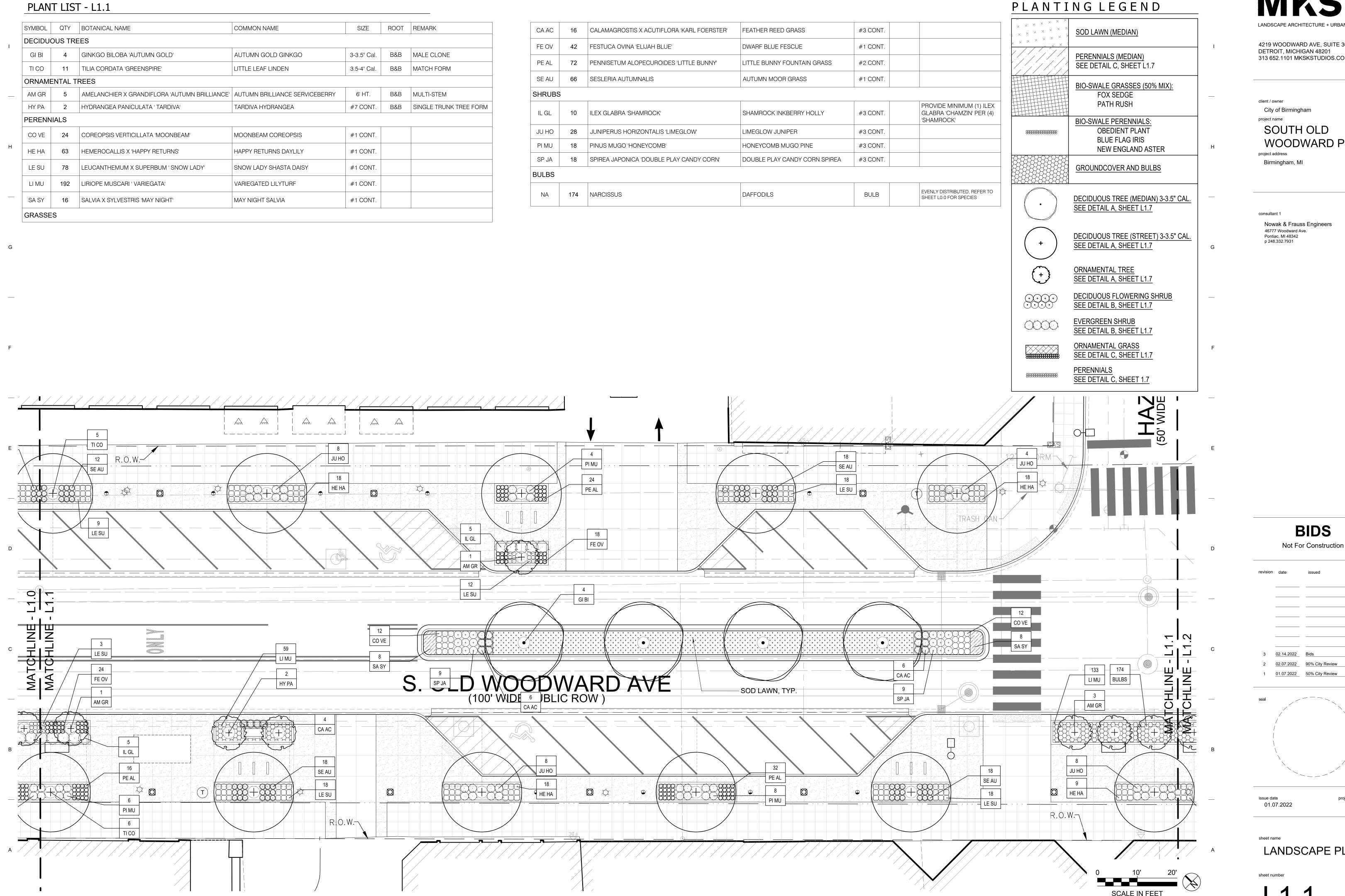


issue date 01.07.2022

OVERALL
LANDSCAPE PLAN

1 OA





11 10 9 8 7 6 5 4 3 2 1

12

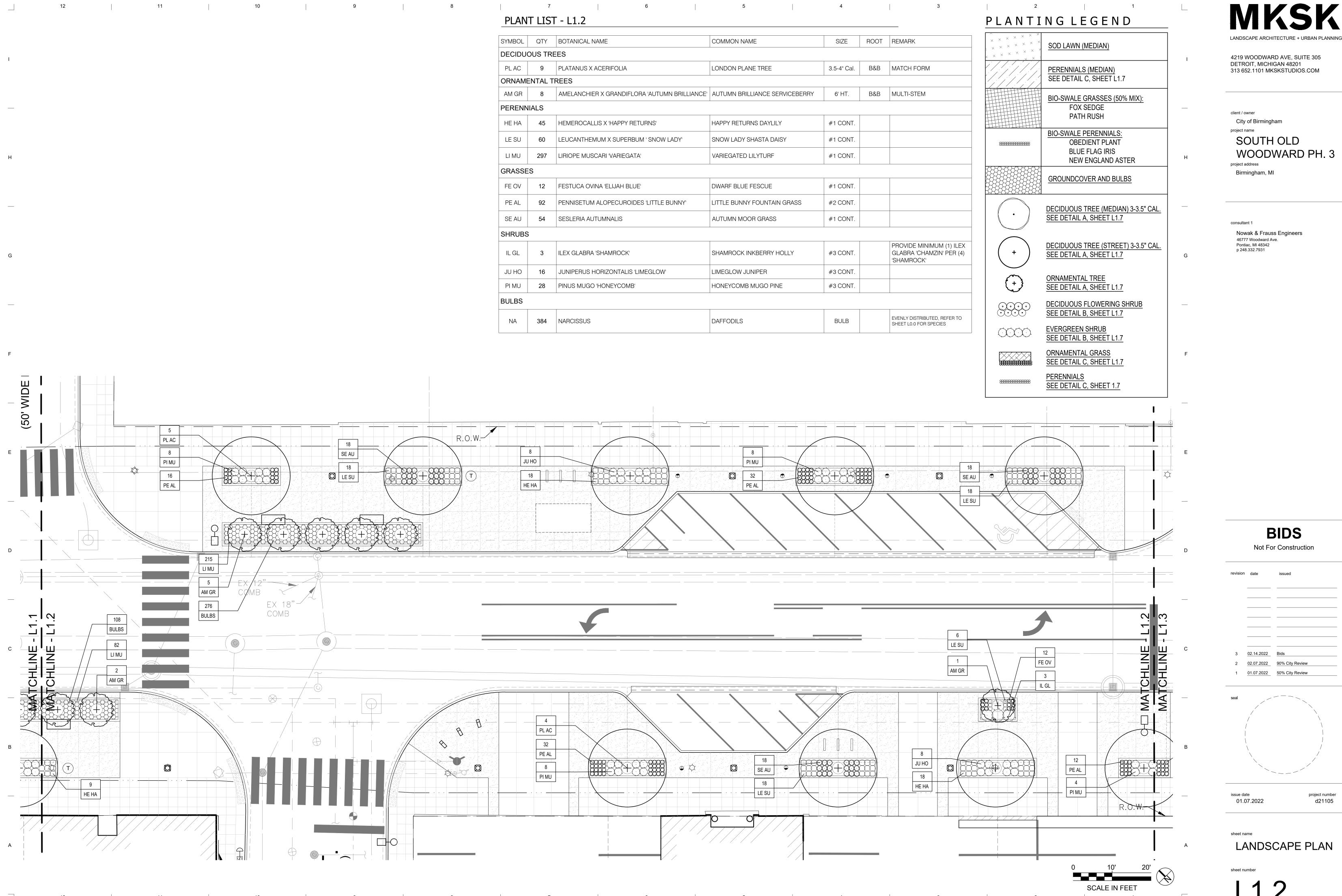
4219 WOODWARD AVE, SUITE 305 DETROIT, MICHIGAN 48201 313 652.1101 MKSKSTUDIOS.COM

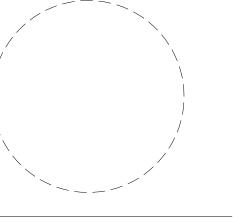
City of Birmingham

SOUTH OLD WOODWARD PH. 3

Nowak & Frauss Engineers 46777 Woodward Ave.

**BIDS** 





## PLANT LIST - L1.3

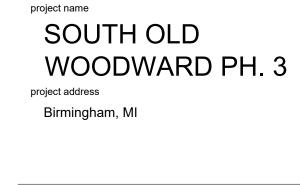
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARK
DECIDU	OUS TRI	EES		,		
GI BI	5	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO	3-3.5" Cal.	B&B	MALE CLONE
PL AC	8	PLATANUS X ACERIFOLIA	LONDON PLANE TREE	3.5-4" Cal.	B&B	MATCH FORM
ORNAME	ENTAL T	REES		,		
AM GR	9	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	6' HT.	B&B	MULTI-STEM
CR LA	3	CRATAEGUS LAEVIGATA 'CRIMSON CLOUD'	CRIMSON CLOUD ENGLISH HAWTHORN	2" Cal.	B&B	SINGLE TRUNK TREE FORM
HY PA	2	HYDRANGEA PANICULATA ' TARDIVA'	TARDIVA HYDRANGEA	#7 CONT.	B&B	SINGLE TRUNK TREE FORM
PERENN	IIALS					
GE RO	8	GERANIUM X 'ROZANNE'	ROZANNE GERANIUM	#1 CONT.		
НЕ НА	54	HEMEROCALLIS X 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	#1 CONT.		
LE SU	111	LEUCANTHEMUM X SUPERBUM ' SNOW LADY'	SNOW LADY SHASTA DAISY	#1 CONT.		
LI MU	170	LIRIOPE MUSCARI ' VARIEGATA'	VARIEGATED LILYTURF	#1 CONT.		
RU FU	12	RUDBECKIA FULGIDA 'LITTLE GOLDSTAR'	LITTLE GOLDSTAR BLACK EYED SUSAN	#1 CONT.		
	<u> </u>			l		

GRASSE	S				
CA AC	4	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#3 CONT.	
FE OV	54	FESTUCA OVINA 'ELIJAH BLUE'	DWARF BLUE FESCUE	#1 CONT.	
PE AL	76	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	#2 CONT.	
SE AU	54	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	#1 CONT.	
SHRUBS	3				
CO ST	16	CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	#3 CONT.	
HY PA	27	HYDRANGEA PANICULATA 'LITTLE QUICKFIRE'	LITTLE QUICKFIRE HYDRANGEA	#5 CONT.	
IL GL	21	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	#3 CONT.	PROVIDE MINIMUM (1) ILEX GLABRA 'CHAMZIN' PER (4) 'SHAMROCK'
JU HO	24	JUNIPERUS HORIZONTALIS 'LIMEGLOW'	LIMEGLOW JUNIPER	#3 CONT.	
PIMU	16	PINUS MUGO 'HONEYCOMB'	HONEYCOMB MUGO PINE	#3 CONT.	
BULBS					
NA	156	NARCISSUS	DAFFODILS	BULB.	EVENLY DISTRIBUTED, REFER TO SHEET LO.0 FOR SPECIES

10 9 8 7 6 5 4 3

# DIANTING LEGEND

	<u>PLANTI</u>	NG LEGEND	_
	× × × × × × × × × × × × × × × × × × ×	SOD LAWN (MEDIAN)	
		PERENNIALS (MEDIAN) SEE DETAIL C, SHEET L1.7	
		BIO-SWALE GRASSES (50% MIX): FOX SEDGE PATH RUSH	_
ILEX	**************************************	BIO-SWALE PERENNIALS: OBEDIENT PLANT BLUE FLAG IRIS NEW ENGLAND ASTER	Н
₹ (4)		GROUNDCOVER AND BULBS	
R TO		DECIDUOUS TREE (MEDIAN) 3-3.5" CAL. SEE DETAIL A, SHEET L1.7	_
	+	DECIDUOUS TREE (STREET) 3-3.5" CAL. SEE DETAIL A, SHEET L1.7	G
	( <del>+</del> )	ORNAMENTAL TREE SEE DETAIL A, SHEET L1.7	
	++++	DECIDUOUS FLOWERING SHRUB SEE DETAIL B, SHEET L1.7	
	0000	EVERGREEN SHRUB SEE DETAIL B, SHEET L1.7	
	***************************************	ORNAMENTAL GRASS SEE DETAIL C, SHEET L1.7	F
	**************************************	PERENNIALS SEE DETAIL C, SHEET 1.7	



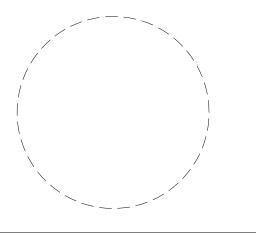
City of Birmingham

4219 WOODWARD AVE, SUITE 305 DETROIT, MICHIGAN 48201 313 652.1101 MKSKSTUDIOS.COM

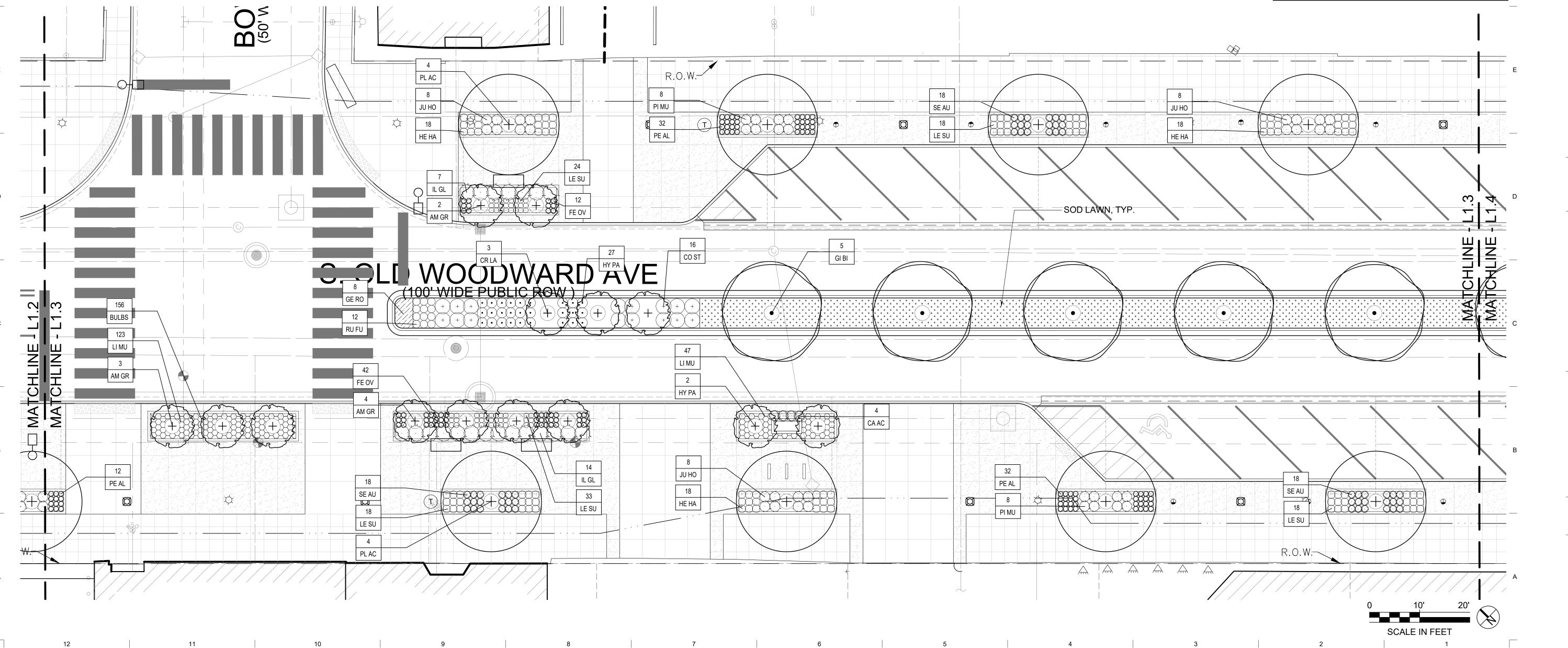
consultant 1 Nowak & Frauss Engineers 46777 Woodward Ave. Pontiac, MI 48342 p 248.332.7931

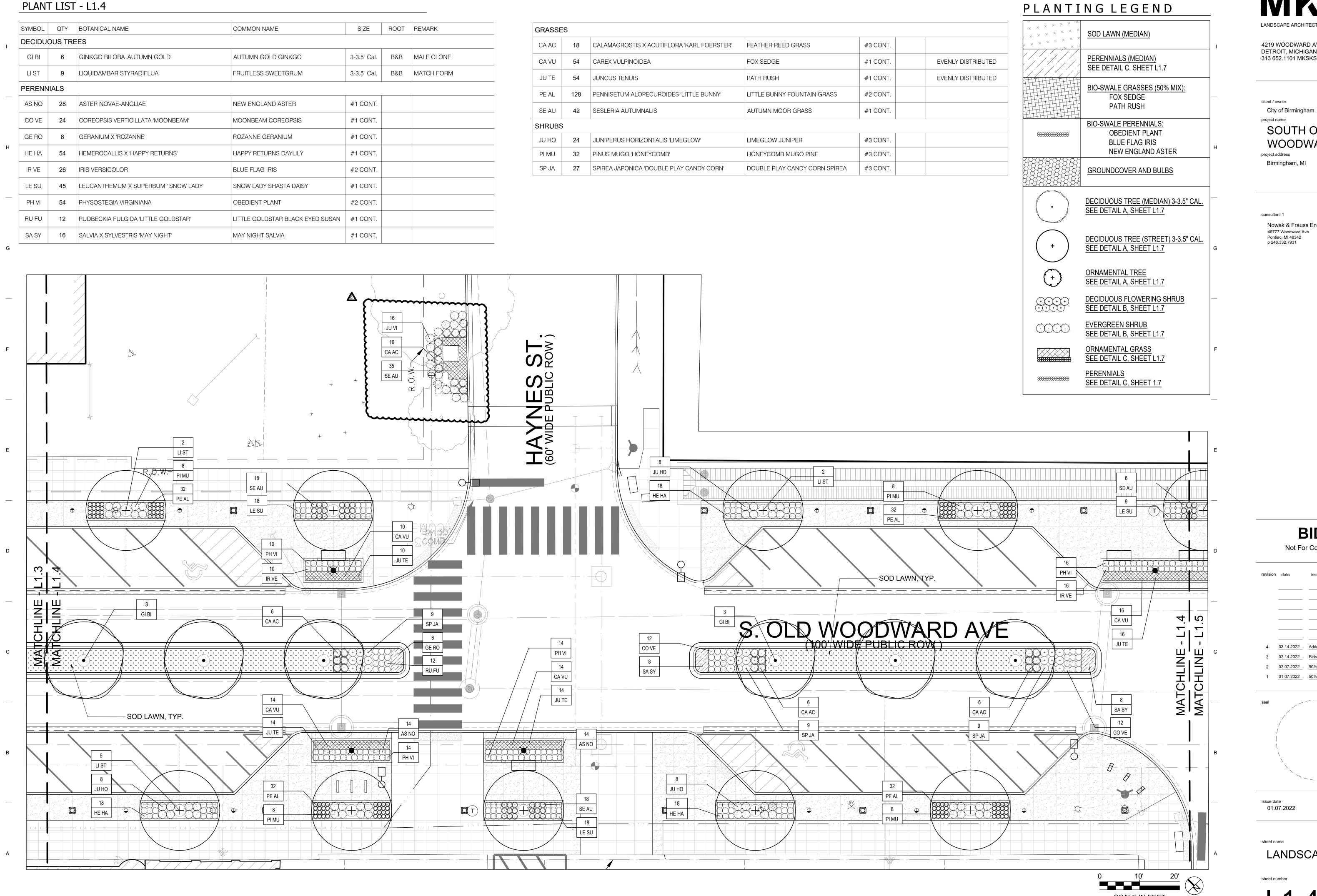


revision	date	issued
2	02.14.2022	Bids
3	02.14.2022	90% City Review
1	01.07.2022	50% City Review



issue date 01.07.2022





11 10 9 8 7 6 5 4 3 2

12

4219 WOODWARD AVE, SUITE 305 DETROIT, MICHIGAN 48201 313 652.1101 MKSKSTUDIOS.COM

SOUTH OLD WOODWARD PH. 3

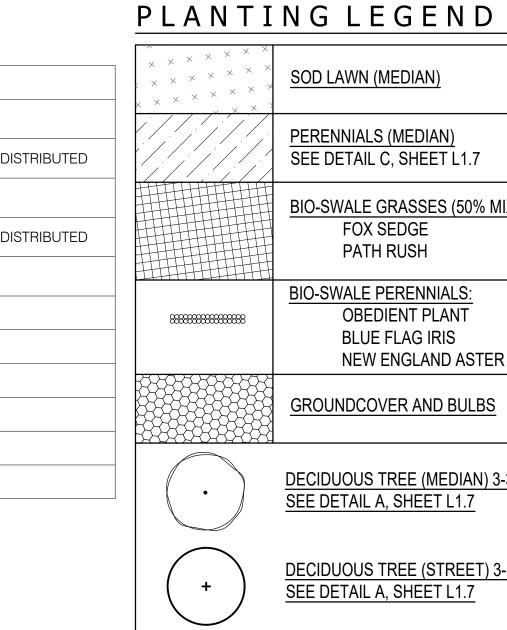
Nowak & Frauss Engineers 46777 Woodward Ave.

> **BIDS** Not For Construction

### PLANT LIST - L1.5

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARK
DECIDUC	DUS TR	EES				
GI BI	6	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO	3-3.5" Cal.	B&B	MALE CLONE
LI ST	11	LIQUIDAMBAR STYRADIFLUA	FRUITLESS SWEETGRUM	3-3.5" Cal.	B&B	MATCH FORM
ORNAME	NTAL T	REES				
CR LA	3	CRATAEGUS LAEVIGATA 'CRIMSON CLOUD'	CRIMSON CLOUD ENGLISH HAWTHORN	2" Cal.	B&B	SINGLE TRUNK TREE FORM
PERENN	IALS					
AS NO	34	ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	#1 CONT.		
GE RO	8	GERANIUM X 'ROZANNE'	ROZANNE GERANIUM	#1 CONT.		
НЕ НА	72	HEMEROCALLIS X 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	#1 CONT.		
IR VE	34	IRIS VERSICOLOR	BLUE FLAG IRIS	#2 CONT.		
LE SU	63	LEUCANTHEMUM X SUPERBUM ' SNOW LADY'	SNOW LADY SHASTA DAISY	#1 CONT.		
PH VI	34	PHYSOSTEGIA VIRGINIANA	OBEDIENT PLANT	#2 CONT.		
RU FU	12	RUDBECKIA FULGIDA 'LITTLE GOLDSTAR'	LITTLE GOLDSTAR BLACK EYED SUSAN	#1 CONT.		

GRASSE	S				
CA AC	6	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#3 CONT.	
CA VU	34	CAREX VULPINOIDEA	FOX SEDGE	#1 CONT.	EVENLY DISTRIBUTED
PE AL	80	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	#2 CONT.	
JU TE	34	JUNCUS TENUIS	PATH RUSH	#1 CONT.	EVENLY DISTRIBUTED
SE AU	66	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	#1 CONT.	
SHRUBS					
CO ST	12	CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	#3 CONT.	
HY PA	27	HYDRANGEA PANICULATA 'LITTLE QUICKFIRE'	LITTLE QUICKFIRE HYDRANGEA	#5 CONT.	
JU HO	32	JUNIPERUS HORIZONTALIS 'LIMEGLOW'	LIMEGLOW JUNIPER	#3 CONT.	
PI MU	22	PINUS MUGO 'HONEYCOMB'	HONEYCOMB MUGO PINE	#3 CONT.	
SP JA	9	SPIREA JAPONICA 'DOUBLE PLAY CANDY CORN'	DOUBLE PLAY CANDY CORN SPIREA	#3 CONT.	



ORNAMENTAL TREE

**EVERGREEN SHRUB** 

ORNAMENTAL GRASS SEE DETAIL C, SHEET L1.7

SEE DETAIL C, SHEET 1.7

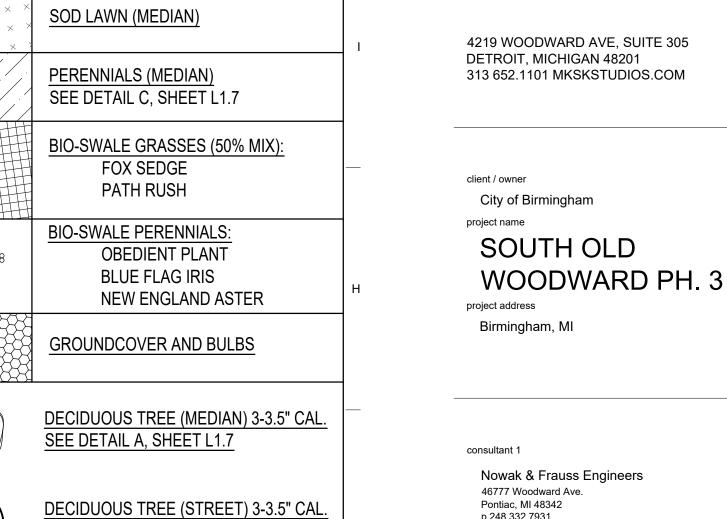
<u>PERENNIALS</u>

SEE DETAIL A, SHEET L1.7

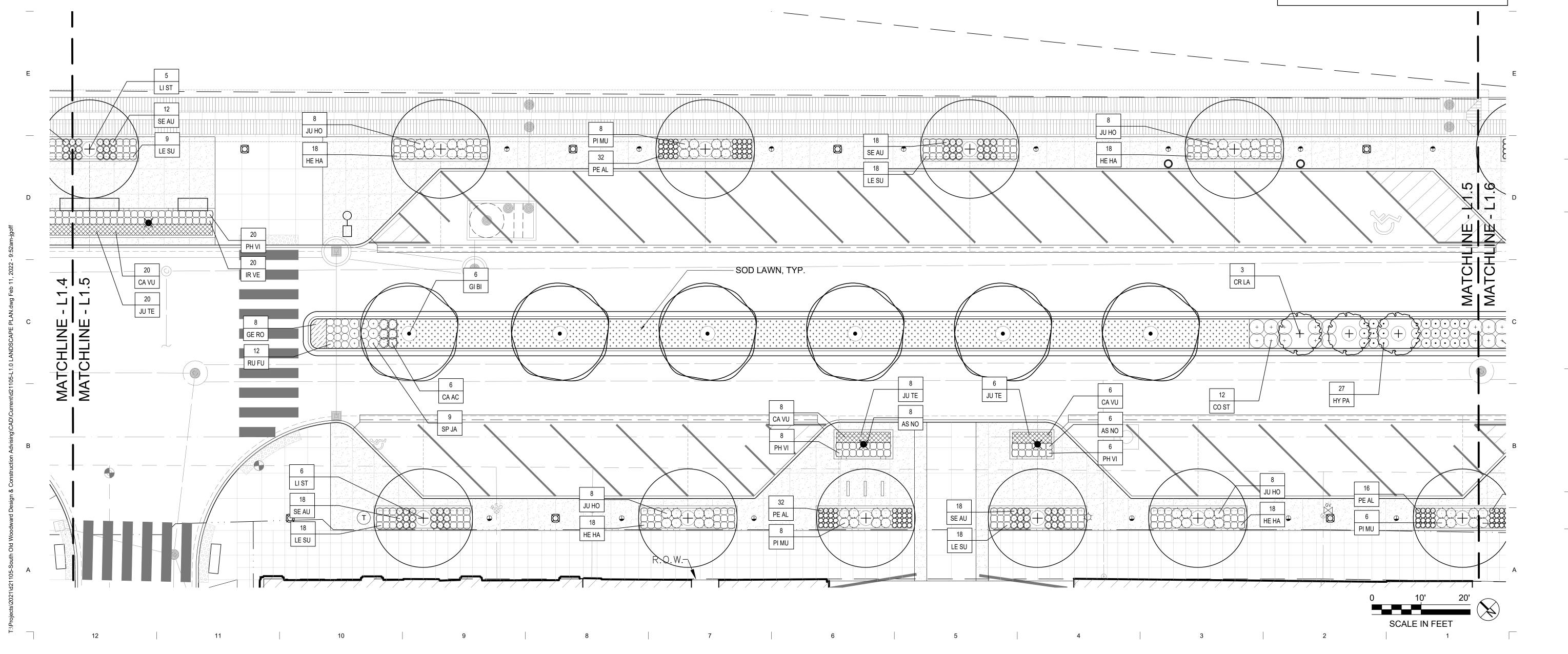
SEE DETAIL B, SHEET L1.7

SEE DETAIL B, SHEET L1.7

DECIDUOUS FLOWERING SHRUB



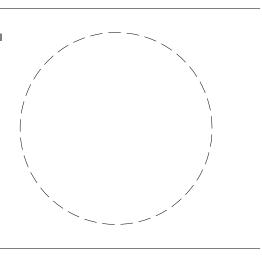
p 248.332.7931



12 | 11 | 10 | 9 | 8 | 7 | 1 | 6 | 5 |



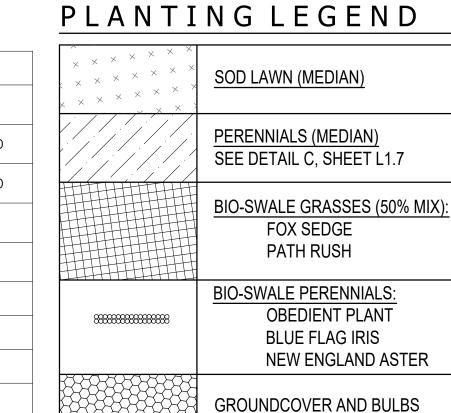
revision	date	issued
3	02.14.2022	Bids
2	02.07.2022	90% City Review
1	01.07.2022	50% City Review



issue date 01.07.2022

### 11 10 9 8 7 1 6 5 12 PLANT LIST - L1.6 SYMBOL | QTY | BOTANICAL NAME COMMON NAME SIZE ROOT REMARK **DECIDUOUS TREES** LI ST | 1 | LIQUIDAMBAR STYRADIFLUA FRUITLESS SWEETGRUM B&B MATCH FORM 3-3.5" Cal. ORNAMENTAL TREES CR LA 11 CRATAEGUS LAEVIGATA 'CRIMSON CLOUD' CRIMSON CLOUD ENGLISH HAWTHORN 2" Cal. B&B | SINGLE TRUNK TREE FORM HY PA 3 HYDRANGEA PANICULATA ' TARDIVA' #7 CONT. B&B SINGLE TRUNK TREE FORM TARDIVA HYDRANGEA PERENNIALS **EVENLY DISTRIBUTED** AS NO 202 ASTER NOVAE-ANGLIAE NEW ENGLAND ASTER #1 CONT. CO VE 202 COREOPSIS VERTICILLATA 'MOONBEAM' MOONBEAM COREOPSIS #1 CONT. **EVENLY DISTRIBUTED** GE RO 8 GERANIUM X 'ROZANNE' ROZANNE GERANIUM #1 CONT. EVENLY DISTRIBUTED IR VE 206 IRIS VERSICOLOR BLUE FLAG IRIS #2 CONT. RU FU | 12 | RUDBECKIA FULGIDA 'LITTLE GOLDSTAR' LITTLE GOLDSTAR BLACK EYED SUSAN #1 CONT.

GRASSE	S				
CA AC	181	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#3 CONT.	
CA VU	260	CAREX VULPINOIDEA	FOX SEDGE	#1 CONT.	EVENLY DISTRIBUTED
JU TE	80	JUNCUS TENUIS	PATH RUSH	#1 CONT.	EVENLY DISTRIBUTED
PE AL	207	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	#2 CONT.	
SE AU	180	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	#1 CONT.	
SHRUBS					
CO ST	105	CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	#3 CONT.	
HY PA	9	HYDRANGEA PANICULATA 'LITTLE QUICKFIRE'	LITTLE QUICKFIRE HYDRANGEA	#5 CONT.	
JU VI	86	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	#5 CONT.	
PI MU	6	PINUS MUGO 'HONEYCOMB'	HONEYCOMB MUGO PINE	#3 CONT.	





4219 WOODWARD AVE, SUITE 305

313 652.1101 MKSKSTUDIOS.COM

DETROIT, MICHIGAN 48201

City of Birmingham

Birmingham, MI

SOUTH OLD

Nowak & Frauss Engineers

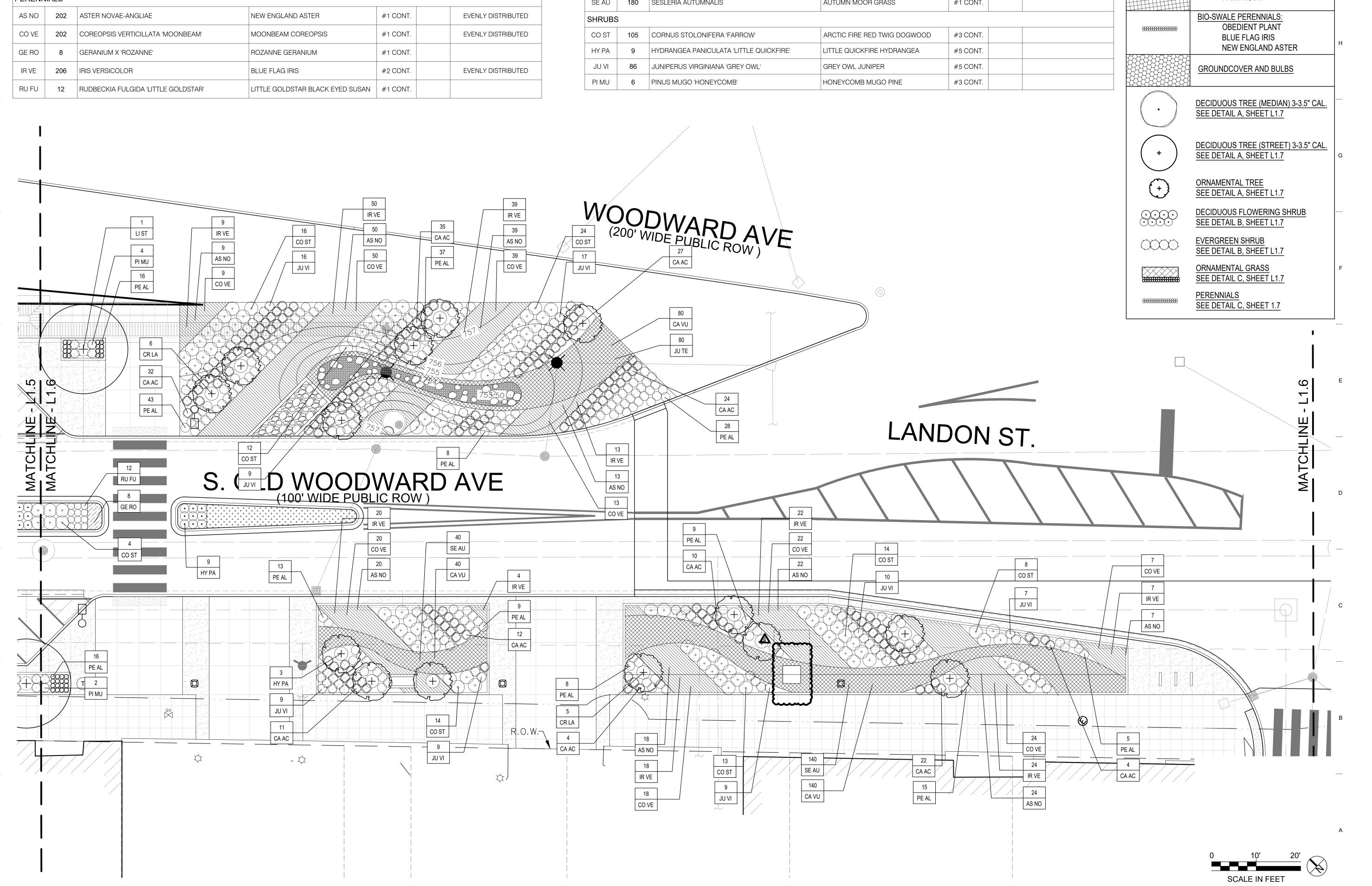
46777 Woodward Ave. Pontiac, MI 48342

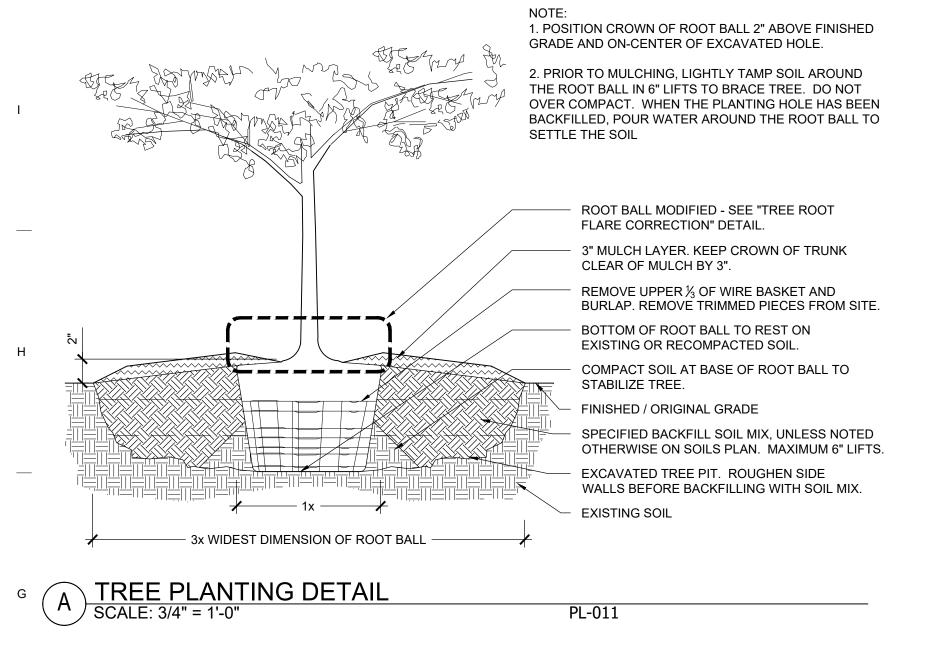
p 248.332.7931

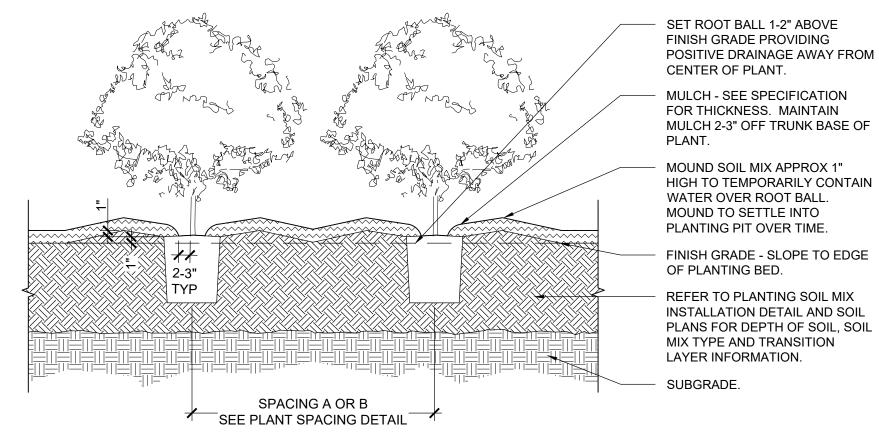
WOODWARD PH. 3

d21105

issue date 01.07.2022

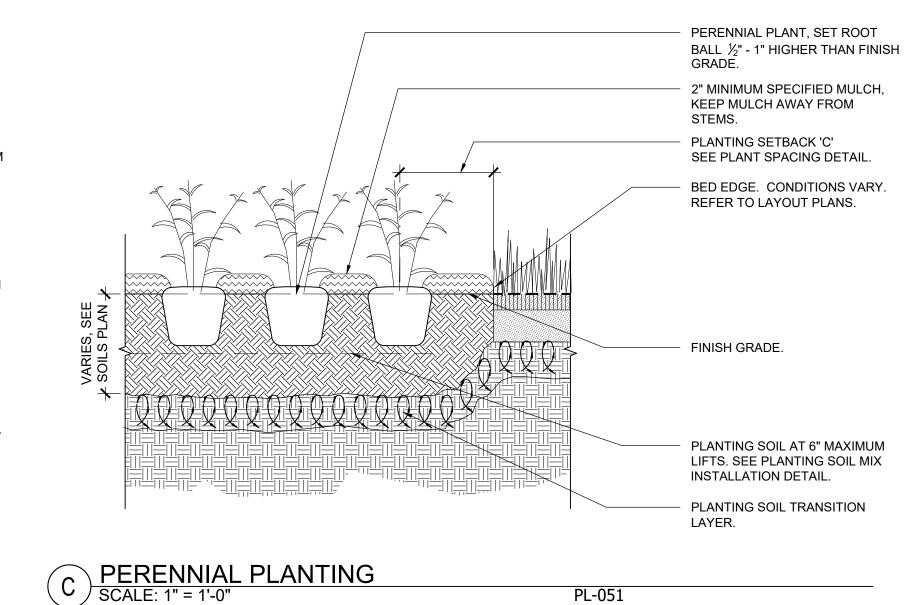






B SHRUB PLANTING DETAIL (MASS PLANTING AND HEDGES)
SCALE: 1" = 1'-0"

9 5 5 1



NOTE:
LAYOUT PLANTS ALONG PERIMETER OF PLANTING
BED FIRST, PARALLEL TO AND UNIFORMLY OFFSET
FROM EDGE OF BED. FILL OUT INTERIOR OF BED ON
UNIFORM GRID AS SHOWN.

ADJACENT PLANTING TYPE

CENTER OF PLANT

CENTER OF PLANT

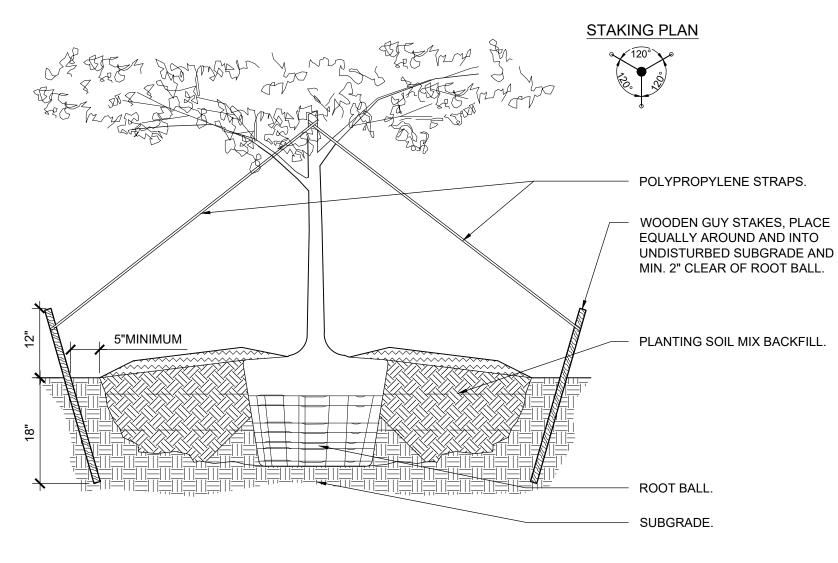
EDGE OF PLANTING AREA

\*C"= 30" SETBACK FOR SHRUBS
18" SETBACK FOR GROUNDCOVER

TRIANGULAR
SPACING = A
BETWEEN ROW = B
S"
7"
0.39
8"
7"
0.39
10"
8 1/2"
0.59
12" (1)
10 10/2"
0.88
15"
15"
13"
15"
15"
13"
1.35
18"
15 1/2"
1.94
21"
18"
2.63
24"
(2)
21"
3.50
30"
26"
5.42
36"
(3)
31"
7.80
46"
(42"
42"
13.84

PL-061

D PLANT SPACING, TYPICAL SCALE: 1" = 1'-0"



11 10 9 8 7 6 5 4 1 3 1

E TREE STAKING DETAIL (3" CAL. OR LARGER)
SCALE: 3/4" = 1'-0"
PL-021

BIDS
Not For Construction

4219 WOODWARD AVE, SUITE 305

313 652.1101 MKSKSTUDIOS.COM

DETROIT, MICHIGAN 48201

City of Birmingham

Birmingham, MI

SOUTH OLD

Nowak & Frauss Engineers

46777 Woodward Ave. Pontiac, MI 48342

p 248.332.7931

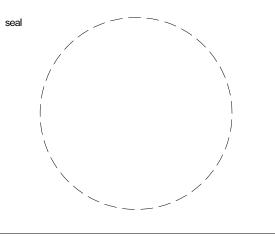
WOODWARD PH. 3

project name

consultant 1

revision date issued

3 02.14.2022 Bids
2 02.07.2022 90% City Review
1 01.07.2022 50% City Review



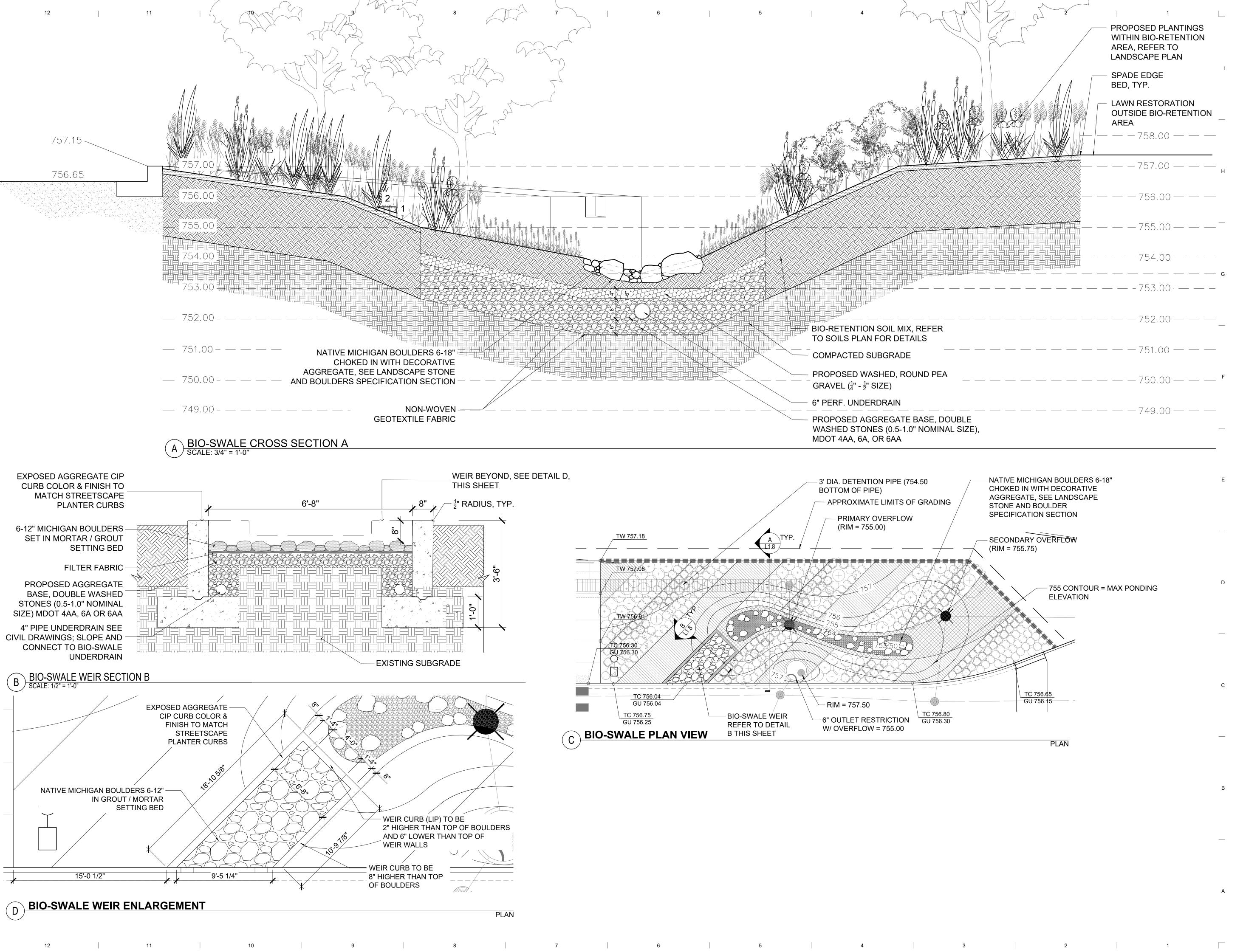
issue date 01.07.2022

project number

d21105

LANDSCAPE DETAILS

L1.7



MKSK

4219 WOODWARD AVE, SUITE 305 DETROIT, MICHIGAN 48201 313 652.1101 MKSKSTUDIOS.COM

client / owner

City of Birmingham

SOUTH OLD WOODWARD PH. 3

project address

Birmingham, MI

sultant 1

Nowak & Frauss Engineers 46777 Woodward Ave. Pontiac, MI 48342 p 248.332.7931

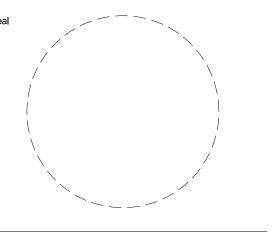
BIDS

Not For Construction

date issued

02.14.2022 Bids 02.07.2022 90% City Review

01.07.2022 50% City Review



issue date 01.07.2022

d21105

project number

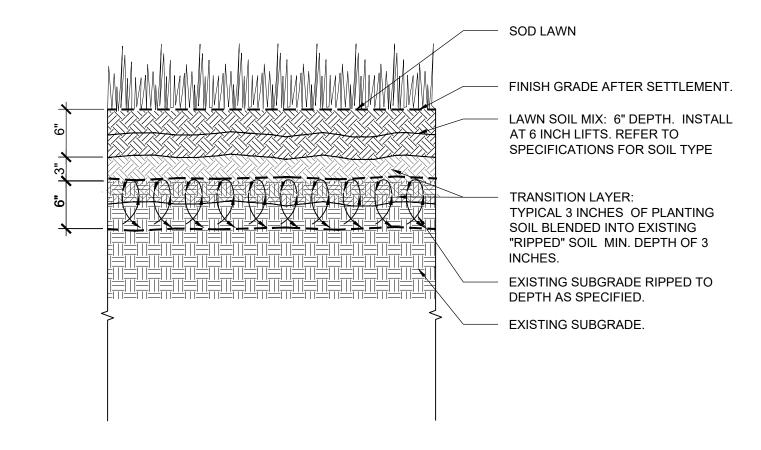
LANDSCAPE DETAILS

\_1.8

### SOILS NOTES

- DO NOT EXCAVATE WITHIN SOIL PRESERVATION/TREE
  PROTECTION AREAS UNLESS OTHERWISE INDICATED. REFER TO
  DEMOLITION PLAN AND/OR TREE PROTECTION PLANS FOR
  ADDITIONAL INFORMATION.
- 2. SITE SALVAGED SOILS SCHEDULED FOR REDISTRIBUTION, MUST BE TESTED AND AMENDED OFF-SITE PRIOR TO OWNER'S REPRESENTATIVE ACCEPTANCE FOR USE AND REDISTRIBUTION.
- 3. SUBGRADE SOILS FOR TURFGRASS AND PLANTING AREAS MUST BE DECOMPACTED BY RIPPING SOILS AS DESCRIBED IN EACH PLANTING SOIL MIX SPECIFICATION.
- 4. AREAS WITHIN GRADING LIMITS OR DISTURBED BY CONSTRUCTION ACTIVITIES SHALL HAVE EXISTING SOILS DECOMPACTED AND REPAIRED TO ORIGINAL STATE OR PROPOSED PROJECT CONDITIONS. OWNER'S REPRESENTATIVE TO REVIEW AND APPROVE SOILS AND REPAIRS PRIOR TO REPAIR WORK COMMENCING.
- 5. PLANTING SOIL MIX DEPTHS INDICATED ARE POST COMPACTION AND SETTLEMENT DEPTHS REPRESENTING FINAL GRADE WITHIN SPECIFIED COMPACTION AND GRADING TOLERANCES. COMPENSATE FOR SETTLING AND COMPACTION AS NECESSARY.
- 6. EXCAVATE AND CONFIRM PLANTING AREA SUBGRADES ARE TO THE DEPTHS NOTED ON SOIL DRAWINGS AND DETAILS. WHERE EXCAVATION IS TOO DEEP, BACKFILL WITH EXISTING SOILS AND COMPACT TO 85 90% PROCTOR. DO NOT START THE SOIL MIX INSTALLATION UNTIL SUB-GRADE CONDITIONS HAVE BEEN CORRECTED AND APPROVED BY THE LANDSCAPE ARCHITECT.
- 7. PROJECT MANUAL SPECIFICATIONS FOR PLANTING SOIL MIX AND FINISH GRADING APPLY.

TRANSITION LAYER NOTE:
DEPTH OF PLANTING SOIL MIX TYPE AND BLENDING DEPTHS OF PLANTING
MIX INTO RIPPED SUBGRADE MAY VARY. REFER TO SPECIFICATIONS.



1. FIELD VERIFY ALL EXISTING UTILITIES, STRUCTURAL SOIL DEPTHS MAY VARY DUE TO UTILITY LOCATIONS. ACTUAL LIMITS OF SAND BASED STRUCTURAL SOIL MAY VARY BASED ON FILED CONDITIONS. CONTRACTOR SHALL MAINTAIN APPROXIMATE 1,000 CF OF SOIL VOLUME PER TREE. 2. SEE TYPICAL SECTION SHEETS FOR ALL PAVEMENT THICKNESS AND CURB DETAILS. PLANT TRUNK FLARE 1" ABOVE -FINISHED GRADE. REMOVE - 2" HARDWOOD MULCH BURLAP, ROPE AND CAGE FROM TOP 1/2 OF ROOTBALL ORGANIC PLANTING SOIL MIX. EXPOSED AGGREAGTE PLANTER — CURB - SEE DETAIL XXX — PLANTER CURB, SEE MATERIALS PLANS SEE PLANS FOR EXTENTS SAND BASED STRUCTURAL SOIL -COMPACT SOIL AT BASE OF ROOT BALL TO -4" PIPE UNDERDRAIN SEE CIVIL DRAWINGS;

SLOPE AND CONNECT TO STORM DRAINS

EXISTING SUBGRADE -

S-002

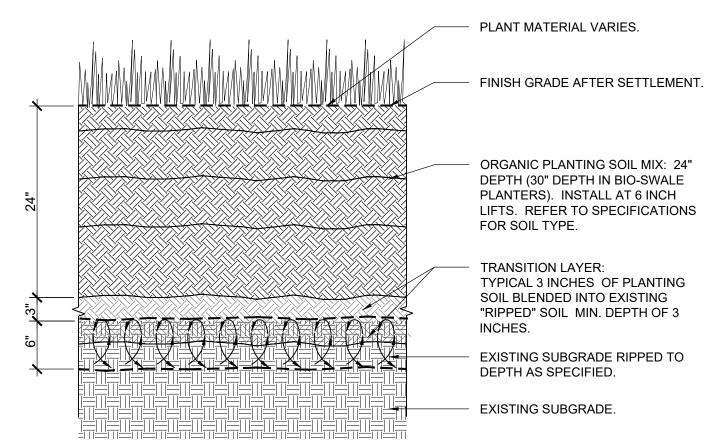
12 | 11 | 10 | 9 | 8 | 7 | 1 | 5 | 4 | 1 | 1

C TREE PLANTING IN STRUCTURAL SOIL SCALE: 1/2" = 1'-0"

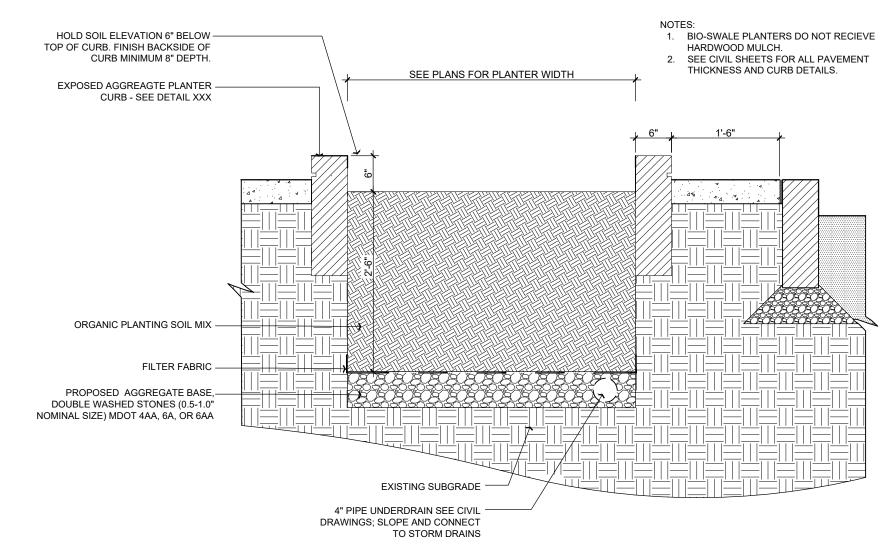
A LAWN SOIL MIX INSTALLATION SCALE: 1" = 1'-0"

TRANSITION LAYER NOTE:
DEPTH OF PLANTING SOIL MIX TYPE AND BLENDING DEPTHS OF PLANTING
MIX INTO RIPPED SUBGRADE MAY VARY. REFER TO SPECIFICATIONS.

8 7 6 5 4 3 2



B ORGANIC PLANTING SOIL MIX INSTALLATION S-002



D BIO-SWALE PLANTER SECTION SCALE: 1/2" = 1'-0"

MKSK

4219 WOODWARD AVE, SUITE 305 DETROIT, MICHIGAN 48201 313 652.1101 MKSKSTUDIOS.COM

client / owner

City of Birmingham

SOUTH OLD WOODWARD PH. 3

Birmingham, MI

consultant 1

Nowak & Frauss Engineers 46777 Woodward Ave. Pontiac, MI 48342 p 248.332.7931

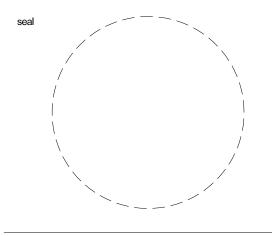
BIDS

Not For Construction

evision date issued

3 <u>02.14.2022</u> <u>Bids</u>
2 <u>02.07.2022</u> 90% City Review

1 <u>01.07.2022</u> <u>50% City Review</u>



issue date 01.07.2022

project number

d21105

SOILS DETAILS

sheet number

2.7

LAND PLANNERS

April 5, 2022

City of Birmingham 151 Martin Street Birmingham, MI 48012

Attn: Mr. James Surhigh, P.E.

Consulting City Engineer

Re: Recommendation for Bid Award

South Old Woodward Avenue Reconstruction Project (Phase 3) – Contract #1-22P

NFE Job #M270

Dear Mr. Surhigh,

A bid opening for this project has held on Monday, March 21, 2022, at City Hall, where bids were received, opened, and read aloud. A single bid was received from Angelo Iafrate Construction Company (Iafrate), in the amount of \$10,120,538.95. The bid values were tabulated, checked for accuracy, and compared to the Engineer's Opinion of Probable Cost, which totaled \$8,268,446.00. The bid total received represents an overage of \$1,852,092.95, or approximately 22.4% above the estimated construction cost for the project.

The bid was also evaluated using the "Selection of Successful Bidder Calculation Methodology", which is part of the contract specifications for this project:

- 1. Factor #1 Total Cost (75%) 75 points awarded
- 2. Factor #2 Time of Road Closure (20%) 20 points awarded based on 150 days bid.
- 3. <u>Factor #3 Experience of Contractor (5%) 5 points awarded.</u> TOTAL POINTS AWARDED = 100 POINTS

Since lafrate's bid was the sole bid received, they received the maximum of 100 total points. Understanding this calculation methodology is scarcely relevant with just a single bidder, we also independently examined lafrate's bid for road closure days and their overall experience. Assuming the project is awarded and constructed this year, we find the bid of 150 days for the "Road Closure Assessment" item to be reasonable, based on a projected start date of late May to early June, and the substantial completion date of 10/14/22. With regards to previous experience, lafrate was the general contractor on the first two phases of Birmingham's downtown projects (Old Woodward Phase 1 in 2018 and Maple Phase 2 in 2020), which had a very similar overall scope. lafrate has also completed other successful projects in both Birmingham and other surrounding communities. We have reviewed the references included with the lafrate's bid and find them to be reputable and acceptable.

A post-bid interview was conducted with representatives from lafrate on Friday, April 1, 2022, at City Hall. During this interview, lafrate confirmed their understanding of the project scope and schedule requirements and reiterated their previous experience in the city would be beneficial. lafrate emphasized several reasons for higher than anticipated bid prices, including inflation, high oil prices (which affect many material prices), labor cost increases, and general uncertainty of current financial markets. The city, NFE, and lafrate also identified and discussed several value-engineering concepts during the interview. These concepts will be further evaluated to confirm viability for this specific project but may potentially help the city realize

Mr. James Surhigh, P.E.

RE: South Old Woodward Avenue Reconstruction Project (Phase 3) - Contract #1-22P

April 5, 2022 Page - 2 - of 2

some cost reductions. Furthermore, it should be re-iterated that the previously mentioned pay item "Road Closure Assessment" (with a total associated cost of \$1,500,000.00), is primarily included in the contract as a bid evaluation and scheduling management tool. This item will serve a scheduling metric for potential incentive/penalty payments, but at most only a fraction of the total cost for this item will be actually paid by the city.

In summary, in our capacity as Design and Consulting Engineers for the City of Birmingham, we have evaluated the bid pricing and contractor qualifications received from lafrate. Based on their previous experience, we are confident in lafrate's ability to perform the scope of work for this project. Although the total bid cost was substantially higher than the estimated cost, we believe it reflects current market conditions, and due to the volatility of the current economic conditions, there is no indication that overall construction costs will decline in the foreseeable future. Understanding the City of Birmingham's desire to complete this project, we therefore recommend that Contract #1-22P for the South Old Woodward Avenue Reconstruction Project (Phase 3) be awarded to Angleo lafrate Construction Company in the amount of \$10,120,538.95.

Please do not hesitate to contact our office if you have any questions or comments.

Sincerely,

Paul Tulikangas, P.E.

Associate / Engineering Manager

D-7-e

Brett Buchholz, P.E.,

Principal

		BUDGET SUMM <i>A</i>	APV (AP	202-449.001-981.0100 MAJOR STREETS	101-444.001-981.0100 SIDEWALKS	101-444.003-981.0100 FIBER OPTIC CONDUIT	401-901.010-981.0100 STREET LIGHTS	590-536.001-981.0100 SEWER PUBLIC IMPROV	591-537.004-981.0100 WATER PUBLIC IMPROV	TOTAL
2024/2022		SODGET SOIVIIVIA	ART (AP	PROVED Z	1/22 0000	E1)				
2021/2022 S OLD WOODWARD DESIGN/PRELIM CONST	NFE	Jul 21-Jun 22		1 000 000						
3 OLD WOODWARD DESIGN/PRELIIVI CONST	INFE	Jul 21-Juli 22		1,000,000						
2022/2023										
S OLD WOODWARD PHASE 3										
OLD WOODWARD - PH III (Brown - Landon)	NFE/OHM	Jun-Nov 2022		3,000,000	2,470,000	270,000	525,000	200,000	125,000	
S OLD WOODWARD STREET LIGHT REPLACEMENT	NFE	Jun-Nov 2022								
S OLD WOODWARD FIBER OPTICS	NFE	Jun-Nov 2022								
OLD WOODWARD PHASE 4										
S. OLD WOODWARD - S END (Landon - Lincoln)	NFE			-				500,000	-	
	TOTAL CURI	RENT BUDGET		4,000,000	2,470,000	270,000	525,000	700,000	125,000	8,090,000

		ESTI	MATED EX	PENDITUR	ES (ACTUAI	LS AS OF 3/4	4/22)			
Prelim & Design Engineering Costs		To Date	<u>Remain</u>	<u>Total</u>						
MKSK		149,442	28,938	178,380	178,380					
F&V		26,050	13,950	40,000	40,000					
NFE		270,142	34,922	306,104	91,831	91,831		61,221	61,221	
G2		17,238	1,040	18,278	5,483	5,483		3,656	3,656	
	Subtotal:	462,871	78,850	542,761						
Other Contractual Costs										
M-1 Studios Pre-Con Video		-	27,000	27,000	27,000					
DVM Utilities - Sewer Lateral Invest		-	73,448	73,448	73,448					
HRC - Admin of Sewer Lateral Invest		-	15,000	15,000	15,000					
JH Hart - tree removals (estimate)		-	30,000	30,000	30,000					
Orkin			4,320	4,320				4,320		
	Subtotal:	-	149,768	149,768						
Construction Costs										

				202-449.001-981.0100 MAJOR STREETS	101-444.001-981.0100 SIDEWALKS	101-444.003-981.0100 FIBER OPTIC CONDUIT	401-901.010-981.0100 STREET LIGHTS	590-536.001-981.0100 SEWER PUBLIC IMPROV	591-537.004-981.0100 WATER PUBLIC IMPROV	TOTAL
AICC Bid Amount (excl General Items)			7,305,481	1,794,521	2,755,984	503,759	-	1,686,859	564,359	Total
AICC Bid Amount General Items			2,815,058	587,793	1,331,820	-	24,975	623,936	246,534	10,120,539
"Credit" for Road Closure Assessment*			(1,300,000)	(336,180)	(530,400)	-		(324,740)	(108,680)	(1,300,000)
Construction Contingency (5%)			506,027	119,116	204,390	25,188	1,249	115,540	40,545	506,027
DTE Service/Transformers			100,000	100,000						
DTE Street Lighting			699,000				699,000			
		Subtotal:	10,125,566							
Construction Engineering (11.7% total)	To Date	<u>Remain</u>	<u>Total</u>							
OHM (contr admin, const engin, inspection) [6.5%]	-	659,700	659,700	155,674	267,120	32,918	-	151,000	52,988	
NFE (shop drawings, survey/layout) [1.8%]	-	183,178	183,178	43,226	74,171	9,140	-	41,928	14,713	
G2 (materials testing) [1.2%]	-	120,000	120,000	28,317	48,589	5,988	-	27,467	9,639	
Labor Transfer for City Personnel	-	178,904	178,904	42,217	72,440	8,927	-	40,950	14,370	
Labor Transfer for City Personnel - OT		43,054	43,054	10,160	17,433	2,148	-	9,855	3,458	
Subtotal:	-	1,184,836	1,184,836							
TOTAL ES	TIMATED E	XPENDITURES		3,006,000	4,339,000	588,000	725,000	2,442,000	903,000	12,003,000
_										

**BUDGET SURPLUS/(SHORTFALL)** 

#### Percentage of Total Eng Estim minus General Items

(318,000)

(1,869,000)

994,000

			101-	101-
<u>591</u>	<u>590</u>	444.003	444.001	<u>202</u>
0.084	0.250	0.000	0.408	0.259

(200,000) (1,742,000)

(778,000) (3,913,000)

<sup>\*</sup> Road Closure Assessment Item:

<sup>-</sup> contractor bids # of days to complete project, total days is used in evaluating bid result. Contractor will only be paid if project completed early - assuming potential 30 day "bonus"

### AMENDED - ADDITIONAL INFO



### **MEMORANDUM**

City Clerk's Office

**DATE:** April 11, 2022

TO: Thomas M. Markus, City Manager

FROM: Alexandria Bingham, City Clerk

SUBJECT: Additional Communications regarding Phase 3 of the South Old

**Woodward Project** 

#### INTRODUCTION:

The following is a list of the attached communications regarding Phase 3 of the South Old Woodward Project received after the original agenda was posted at the end of the business day Thursday, April 7, 2022.

#### ATTACHMENTS:

- 1. Memo from Scott D. Zielinski, Assistant City Engineer Dated April 8, 2022
- 2. Letter received April 8, 2022 Dated April 6, 2022 from Brown
- 3. Letter received April 8, 2022 Dated April 7, 2022 from Reinhart
- 4. Letter received April 8, 2022 Dated April 6, 2022 from Russo
- 5. Letter received April 8, 2022 Dated April 7, 2022 from Signature Associates
- 6. Letter received April 8, 2022 Dated April 7, 2022 from Wenzel
- 7. Slides submitted by Jack Reinhart Dated April 8, 2022 4:35pm
  - \*The items above were all included in the Friday, April 8, 2022 Amended Agenda
  - \*The items *below* were received after the Friday, April 8, 2022 Amended Agenda was issued
- 8. LZG Letter dated April 8, 2022
- 9. Kathy Wilson email Dated Sunday April 10, 2022 9:36am
- 10. Kathys email chain Dated Sunday, April 10, 2022 2:16pm
- 11. Email from Brad Host to Jana Ecker and Tom Markus Regarding Conversation with Reinhart Sunday, April 10, 2022
- 12. Communication from Reinhart Dated Sunday, April 10, 2022 at 5:33pm
  - a. Letter from Mayor Longe Dated Monday, April 11, 2022
- 13. Statement from Chris Habbo Dated Monday, April 11, 2022
- 14. Slides from Jack Reinhart Dated April 11, 2022 at 2:31pm
- 15. Email from Jake German Dated April 11, 2022 at 3:09pm

7Ca - AMENDED - ADDITIONAL INFO



### **MEMORANDUM**

(Engineering)

**DATE:** April 8, 2022

TO: Thomas M. Markus, City Manager

FROM: Scott D. Zielinski, Assistant City Engineer

SUBJECT: Communications with tenants and response to Jack Reinhart,

related to the Phase 3 Project

The attached memo dated today is my response to various communications from various persons associated with the 555 building. The more lengthy communication from Jack Reinhart which was both mailed to commissioner's homes and sent to the clerk's office to be distributed to the city commissioners came in after Engineering started responding to the earlier communications.

I have additionally attached all email correspondences sent by businesses of the 555.

#### Attached:

Memo Response to Jack Reinhart Emails to set in person meeting with Jack Reinhart Email from Molly Baron of Molly Pilates Email and Letter from Nicole Kiernan of Blo Blow Dry Bar



### **MEMORANDUM**

(Engineering)

**DATE:** April 8, 2022

TO: Jack Reinhart

FROM: Scott Zielinski, P.E. – City of Birmingham Assistant City Engineer

**SUBJECT:** Response to items of concern related to S. Old Woodward project.

Per your request the City has looked into items associated with the planned 3<sup>rd</sup> phase of the City's downtown redevelopment project. The City is also providing a response to comments and questions by your property manager and business tenants that you have brought to our attention. Comments and questions addressed in this memo included the following:

- 1. An overlay comparison of City parking spaces in front of the 555 buildings between Hazel and Haynes both before and after the City project.
- 2. A count of City parking spaces being eliminated and the reasoning for this decision.
- 3. A final count of City parking spaces that will be available after construction.
- 4. Parking during construction including:
  - a. Construction Worker Parking, and
  - b. Tenant client parking.
- 5. Construction occurring along the 555 building's retaining walls.
- 6. Why the 555 buildings part of the SAD for sewer lead work.
- 7. The traffic plan for maintaining some traffic on S. Old Woodard during construction why it is southbound.
- 8. Explanation for placement of the bus stop on Old Woodward from Bowers and addressing concerns that have been expressed regarding the new location.

The City has conducted review of these items and provides the following responses:

• In response to item #1:

The City has appended the requested drawing. The provided drawing shows the City parking spaces that are being eliminated based on the current traffic safety standard requirements of the Michigan Vehicle Code, the Michigan Manual on Uniform Traffic

Control Devices, and the Americans with Disabilities Act, in addition to general industry standard safety practices for general street parking, bus stop areas, in relation to pedestrian crossings, and for handicap compliant spaces as designed by the City Consulting professionals.

#### In response to items #2 and #3:

30 full-size City parking spaces exist currently in front of the 555 building's between Hazel and Haynes along the east side of S. Old Woodward. As required or recommended by the current traffic safety standard requirements of the Michigan Vehicle Code, the Michigan Manual on Uniform Traffic Control Devices, and the Americans with Disabilities Act, in addition to general industry standard safety practices for general street parking, bus stop areas, parking in relation to pedestrian crossings and for Handicap compliant spaces the following number of spaces are planned in removal as follows:

- Two (2) City parking spaces are being removed as the City increases the size of the City handicap parking spaces to provide adequate and legal spacing for ADA compliant handicap parking spaces and ADA compliant access to the sidewalk.
- Seven (7) City parking spaces are being removed for traffic and pedestrian safety measures (due to items such as proximity to intersections and to pedestrian crossings)
- Three (3) City parking spaces are being removed due to the planned placement of the bus stop.

As the City plans to construct nineteen ( $\mathbf{19}$ ) full-size parking spaces between Hazel and Haynes [Two (2) of which are handicap parking spaces] this results in a net loss of eleven (11) full-size parking spaces. The City also plans to install four (4) moped/motorcycle parking spaces in this area in  $\frac{1}{2}$  size spaces.

#### • In response to item #4:

- Item A: The contractor will have the ability to park within the closed section of the work zone or will be required to park in a City structure (Pierce or Peabody structures)
- Item B: BSD is working on concept ideas, and the City is hopeful during construction that the ownership of the 555 would be willing to work on an agreement with the City for the tenant business of the 555 to use the 555's decks to help support them through the construction.

#### In response to item #5:

The City has reviewed the project items that relate to work adjacent to the 555 property's retaining wall. Originally the City was to remove the existing 30" sewer in the Right-of-Way (ROW), the excavation was to be nearly 8ft deep. After consideration of concerns brought forth by the 555 property in relation to the retaining wall, the City is evaluating options for elimination of this work.

At this time the City only intends to replace streetscape items within 10 feet of the retaining wall. Depths of work will be limited in the 10 ft area adjacent to the retaining

wall. At this time the anticipated deepest excavation is less than 4 ft and will be limited in occurrence. Work immediately adjacent to the retaining wall in the ROW will be held to approximately 2 ft or less and is intended for sidewalk replacement activities.

#### • In response to item #6:

As stated at the Public Hearing of Necessity for S Old Woodward Water and Sewer Special Assessment District on March 14<sup>th</sup> the City had not been able to complete the inspection of the 555 building's sewer leads and therefore was required to include them in the proposed special assessment district for sewer and water laterals. Based on the City's completion of inspection of the 555 building's sewer leads, the City has been able to determine the 555 buildings sewer leads do not meet the requirements for assessment associated with the required criteria for; material type, quality or age. Therefore the 555 properties are not being included in the Confirmation of Roll associated with the special assessment district for the sewer and water laterals. The 555 property will not be charged for work associated with the sewer or water laterals in the Right-of-Way.

#### In response to item #7:

As previously discussed, the City intends to allow traffic to use one lane on the south bound travel direction starting at Hazel. Frank and George will also be accessible to the south bound travel lane. Logistically in order to limit outside traffic from the construction zone we are limiting the entry to the area so vehicles only looking to reach businesses in the construction zone will enter the area. The less traffic in the work zone the safer the area will be.

#### • In response to Item #8:

The City is looking to improve the safety of the bus stop location. The current area on Bowers is poorly lit, and the location's proximity to Woodward provides a risk of incident with vehicles turning off of southbound Woodward onto eastbound Bowers St.

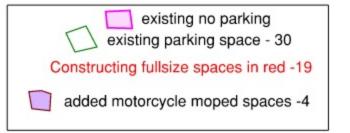
The location in front of the northern 555 building as determined by the City Engineering Consultants, meets the design criteria related to the distance from an intersection while maintaining the bus stop along SMART's current bus loop. Additional consideration was given to parking locations along the entirety of Bowers to Brown for the daily utilization rates as they compared to spaces where the City is required to remove to meet current safety standards set forth by the Michigan Vehicle Code, the Michigan Manual on Uniform Traffic Control Devices, and the Americans with Disabilities Act, in addition to general industry standard safety practices for bus stop locations in regards to street intersections and pedestrian crossings. In general the closer to Brown the higher the utilization is for the street as a whole.

The 555 ownership management and business tenants have expressed concerns of the bus stop in proximity to the cross walk that crosses Old Woodward on the north side of Frank St. The planned bus shelter is approximately 85ft south of the planned crosswalk, and as part of our project we are also planning to increase crosswalk lighting. The City notes the concern from the 555 that people may violate traffic laws to drive around the bus in the left turn lane, unfortunately the City does not have the ability to make drivers

follow traffic laws through design. The City's Police Department will enforce all appropriate traffic laws.

The designed bus stop, crosswalks, and decisions to eliminate City parking spaces, were all design items reviewed by the City's traffic engineering consultants and all necessary changes are a safety improvement over the current condition of S. Old Woodward.

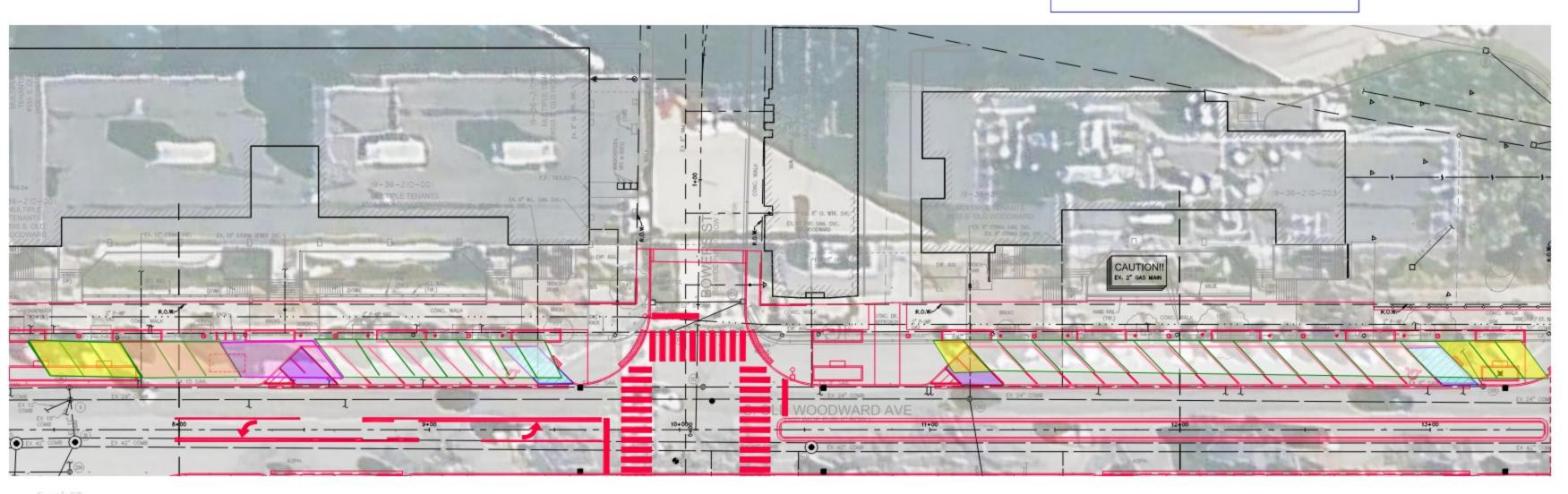




30 existing City Spaces in front of the 555 prior to construction.

City Plans to Construct 19 full-size spaces and 4 motorcycle/ moped spaces

Resulting in a net loss of 11 full size City spaces



FrankSI



#### Scott Zielinski <szielinski@bhamgov.org>

#### S. Old Woodward project concerns and project discussion

Scott Zielinski <szielinski@bhamgov.org>

Thu, Mar 24, 2022 at 4:56 PM

To: jireinhart@gmail.com

Cc: Sean Kammer < kammersk@bhamgov.org>

Hello Mr. Reinhart.

I got your voicemail, my apologies that I didn't get a chance to call you back. I had a couple emergencies to deal with today.

I'm unfortunately off tomorrow, but based on your voicemail, Sean and I will get together on Monday and provide you with some various times we can meet to have a discussion.

Again, Thank you for your time

On Thu, Mar 24, 2022 at 2:32 PM Scott Zielinski <szielinski@bhamgov.org> wrote:

Mr. Reinhart.

The City would like to take time to discuss more with you your concerns regarding the project and our BSD is trying to do what they can to accommodate the needs of businesses during the project, so we would like to spend some more time with you.

In addition to parking, it has come to my attention that you have concerns about your retaining wall along the building as well.

I was wondering if you can share with us the property drawings associated with those walls and the building construction, as the City does not appear to have a copy of the drawings associated with it. We very much would like to ensure no complications arise in relation to it.

Please let me know what days would work best for a meeting,

We thank you for your time associated with these items.

Scott D. Zielinski, PE Assistant City Engineer City of Birmingham

Tel: 248-530-1838

Scott D. Zielinski, PE Assistant City Engineer City of Birmingham

Tel: 248-530-1838



#### Scott Zielinski <szielinski@bhamgov.org>

#### **Response coming**

7 messages

#### Scott Zielinski <szielinski@bhamgov.org>

Wed, Apr 6, 2022 at 11:44 AM

To: jjreinhart@gmail.com

Jack,

I've received your messages (I've been in meetings all morning), however I have not had time to prepare the items that you are requesting about the City spaces that are tentatively planned to be removed during the project.

As for your last message regarding the tenant of your building. Other than yourself and Michelle, I have not received any communications from anyone in the 555 buildings. To the best of my knowledge neither has the building department or the rest of engineering.

BSD hasn't received any complaint information to their knowledge but have been speaking about farmers market items with some of your tenants.

Can you please clarify which business and who we should be looking for communications from? It's possible they have been reaching out to a completely wrong department who didn't know where to direct them. But I would assume a message would be going around City departments if that's the case.

\_\_

Scott D. Zielinski, PE Assistant City Engineer City of Birmingham Tel: 248-530-1838

#### Jack Reinhart < jjreinhart@gmail.com>

Wed, Apr 6, 2022 at 12:45 PM

To: Scott Zielinski <szielinski@bhamgov.org>

Cc: "Richard D. Rattner" <rdr@wwrplaw.com>, Jason Long <jlong@wwrplaw.com>, Michelle Russo <michelle@555luxuryapts.com>, Dan <dan@555luxuryapts.com>, molly baran <mollypilates@att.net>

Scott I have talked with Molly Barron who owns Pilates on a number of occasions and she has said she has sent a number of emails and never got one response. I think the same goes for Yoga . I will check with Molly to see where she is sending the emails and some of the other tenants that have been in my office complaining. get back to you. What are the best addresses to send the objections and concerns to. My maintenance manager has also been doing his own due diligence and is very concerned about Safety, I will make sure he knows where to send his concerns to

[Quoted text hidden]

--

John J. Reinhart, CPA 555 S. Old Woodward Ave. Suite 705 Birmingham, MI 48009 248-792-5085 office 248-792-5086 fax 313-919-3313 cell jireinhart@gmail.com

#### Scott Zielinski <szielinski@bhamgov.org>

Wed, Apr 6, 2022 at 3:05 PM

To: Jack Reinhart < jjreinhart@gmail.com>

Cc: "Richard D. Rattner" <rdr@wwrplaw.com>, Jason Long <jlong@wwrplaw.com>, Michelle Russo <michelle@555luxuryapts.com>, Dan <dan@555luxuryapts.com>, molly baran <mollypilates@att.net>

They may either e-mail me formal letters of concern to be recorded, or deliver hard copy letters to the Clerk's Office at City Hall.

[Quoted text hidden]

#### Jack Reinhart <jjreinhart@gmail.com>

Wed, Apr 6, 2022 at 3:49 PM

To: Scott Zielinski <szielinski@bhamgov.org>

Cc: "Richard D. Rattner" <rdr@wwrplaw.com>, Jason Long <jlong@wwrplaw.com>, Michelle Russo <michelle@555luxuryapts.com>, Dan <dan@555luxuryapts.com>, molly baran <mollypilates@att.net>

Great Thank You. Scott can you also send me Sean's email address and the women who attended our meeting I never got her email or name. TY

[Quoted text hidden]

#### Scott Zielinski <szielinski@bhamgov.org>

Wed, Apr 6, 2022 at 4:03 PM

To: Jack Reinhart < jjreinhart@gmail.com>

Cc: Dan <dan@555luxuryapts.com>, Jason Long <jlong@wwrplaw.com>, Michelle Russo <michelle@555luxuryapts.com>, "Richard D. Rattner" <rdr@wwrplaw.com>, molly baran <mollypilates@att.net>

Thanks for the information on Molly's contact, I did not receive her corespondents directly (hence why I couldn't find it when I searched) a record of her concerns was made available to me. Apparently there were items the City couldn't respond to at the time, which was the direct response given. The City did take her comments into consideration. Hence the work BSD is working towards for trying to help businesses.

[Quoted text hidden]

#### Scott Zielinski <szielinski@bhamgov.org>

Wed, Apr 6, 2022 at 4:13 PM

To: Jack Reinhart < jjreinhart@gmail.com>

Cc: Mary Kucharek <mkucharek@bhlaw.us.com>, Sean Kammer <kammersk@bhamgov.org>

Jack as requested,

Mary and Sean are CC'ed on this email so you have there contact info.

[Quoted text hidden]

#### Jack Reinhart < jjreinhart@gmail.com>

Thu, Apr 7, 2022 at 4:11 PM

To: Scott Zielinski <szielinski@bhamgov.org>

Cc: Dan <dan@555luxuryapts.com>, Jason Long <jlong@wwrplaw.com>, Michelle Russo <michelle@555luxuryapts.com>, "Richard D. Rattner" <rdr@wwrplaw.com>, molly baran <mollypilates@att.net>

Scott,

Can you tell me how many parking spots were from Brown Street to Haynes Street?

Jack

[Quoted text hidden]



#### Scott Zielinski <szielinski@bhamgov.org>

#### Questions for Phase 3 meeting 4/11

1 message

molly baran <mollypilates@att.net> Reply-To: molly baran <mollypilates@att.net> To: Scott Zielinski <szielinski@bhamgov.org> Wed, Apr 6, 2022 at 8:24 PM

Hello Scott,

I am resending my questions and conserns for the meeting on Monday 4/11.

I am the owner of Studio M Pilates in the 555 Building. My business is on the lower level North End. I have been here for over 13 years. I attended the last meeting for the Phase 3 project. I will be attending the next meeting Monday 4/11. I have listed below some concerns and questions. I thought it would be good to send them on to you before the meeting.

Thank you for your time

#### Parking Before and After Construction,

The businesses in my building on the lower level are mostly Fitness based. Pilates Studio, Yoga and 2 separate Personal group training Studios. We all have group classes from approximately 5:50am through 1:00pm and again 3:30pm through 9pm.

Between all businesses we could be 40-60 cars needing parking all at the same time on the hour. As the second wave of cars is leaving another comes. *All at the same time, double.* Add to that the other businesses that have customers. This is going to be a problem especially during construction. Parking in our structure is not an option at \$6.50 and hour.

Birmingham Shopping District said they will provide Valet Parking. That is not going to work with volume of 60 cars all at once. How are they planning on handling that for us? Clients will not come if it is a hassle to get here on time for a class/session.

CVS is on alert to our customers parking in their lot and will Tow cars. They have warned our clients.

Where will the Construction workers be parking? Will that be monitored?

#### **Handicapped Access**

My Studio has some post rehab and Elderly clients needing Handicapped access. How is that going to be handled during construction? Parking in my building parking structure is not an option for a client with limited mobility issues. They have to pass through 3 Doors that are not automatic, negotiate the one Elevator that goes to the bottom floor, then walk a distance to the end where my Studio is. The cost to park in the structure is also \$6.50 hour.

#### Crossover

At the last meeting it was stated that clients and customers of buisnesses can park in the west neighborhood on Ann etc. It was mentioned the only crossover from the East side is at Brown St. This is not a practical solution. We need another crossover midway.

#### **Post Construction**

Bus Stop - If you look at the view of the North End of our building, you will see the rendering for a Bus Stop on the corner at Hazel. It is placed at the crosswalk toward CVS. It shows a left hand turn lane to Frank. Cars will use that lane to pass the bus. Dangerous! Cars drive across from Frank to Hazel to get to Woodward not

stopping or looking. It is illegal to cross at an angle like that. It is a very dangerous crosswalk already. I have had a client get hit by a car there. Having a bus there with cars passing it with low visibility is dangerous. The City use to have an orange pylon there that got driven over so many times they just removed it. There is a tremendous amount of foot traffic at that crosswalk to go to CVS. Probably the busiest at this end because of CVS. The Bus stop should not be placed there. It is an accident waiting to happen.

Where is handicapped parking for our building? I see a space for a motorcycle. That should be a Handicapped space.

Will there still be parallel parking on Hazel and Frank?

It is imperative that parking is addressed now so I can prepare my clients. If we make parking easy and clear for all we can get through the construction. If I loose money again over this summer I will have to close after having a thriving buisiness in Birmingham for 13 years. I was shut down for 6 months just 18 months ago. My business has just started to make money again. I am a reasonable person and understand it needs to be done. We need a solid plan for our unique businesses in this area.

Thank you!

Molly Baran Studio M Pilates 248/721-0033 http://studio-m-pilates.com



### Scott Zielinski <szielinski@bhamgov.org>

# A letter in reards to S. Old Woodward Construction phase3

Nicole Kiernan <nicolekiernanashley@gmail.com>

Thu, Apr 7, 2022 at 1:51 PM

To: szielinski@bhamgov.org

Cc: Amanda Fraifogl <amanda@blomedry.com>, "Nicole K. Ashley" <nicole@blomedry.com>

Dear Mr. Zielinski,

My name is Nicole Ashley and I am co-owner of blo blow dry bar located in the 555 building. Please find attached my thoughts on the phase 3 reconstruction project. I thank you in advance for your consideration.

Very Best Regards,

Nicole Ashley Co-Owner blo blow dry bar 555 S. Old Woodward Birmingham, MI (248) 731-7373 (586) 764-5406 cell



Statement of Nicole Ashley regarding S. Old Woodward construction phase 3.docx 15K

Statement of Nicole Ashley regarding Safety Issues; elimination of parking; creation of the bus stop and cost to businesses.

Date April 7, 2022

I, Nicole Ashley make the statement being as follows:

I am the co-owner of blo blow dry bar located at the S. Old Woodward in the 555 Building and have been a business tenant at this address since 2016.

I have reviewed in detail the City's plans for the redevelopment of South Old Woodward. In my opinion, this plan is first and foremost highly unsafe to pedestrians and adds a bus stop that makes the Frank Street and Ann Street crossing much more dangerous than it already is.

The plan unnecessarily removes parking that is critical to the survival of my business as well as the other lifestyle tenants of Birmingham. This is the area that is zoned for Lifestyle Tenants.

The 555 building was chosen by my partner Amanda Fraifogl and myself specifically because of the parking located directly in front of our store front. This is critical to our business. Our clients are generally in and out within an hour. We have wedding parties, Ladies preparing for special events, prom and homecoming clients...none of which will be interested in hiking 3 blocks up the street in the rain, snow or humidity.

Perhaps if the city would like to subsidize the 555 building for parking, a solution may be obtainable, as there are many free city parking areas that would otherwise suffice for our clientele if they were not so far away. As is, we are desperate to hang on to these few spots.

Furthermore, businesses such as mine are barely scraping by. We have all been decimated by Covid and to suggest any type of assessment for landscaping is ludicrous and may very well be the straw that breaks the camel's back. If we must pay for it, we unequivocally do not want it.

Lastly, we implore you to keep one side of S. old Woodward traffic moving during this construction phase. I recall what happened to Birmingham during the last construction. It became a ghost town. People purposely stayed away. It was a joke to all who did not have businesses affected during that time. And under the current supply chain shortages this closure could last 2x or even 3x longer than the previous phases. Businesses were forced to close as I fear ours may be if you don't revamp your plans and find a better way to support your business residents.

Cordially,

Nicole Ashley

Co-owner

Blo Blow Dry Bar

(586) 764-5406cell

Statement of Daniel Brown regarding major Safety Issues elimination of parking creation of the bus stop and the need for cross over at Bowers

Clerk's Office City of Birmingham, MI

Date April 6, 2022

APR - 8 2022

I Daniel Brown make the statement being as follows:

RECEIVED 12:35

I am the maintenance supervisor for the 555 Building and have held this position for the last three years.

I am on the 555 property and the surrounding area every day by approximately 8:00am to 5:00pm on an average five to six days a week.

I have reviewed in detail the City's plans for the redevelopment of South Old Woodward. In my option, this plan is first and foremost highly unsafe to pedestrians and adds a bus stop that makes the Frank Street and Ann Street cross overall much more dangerous than it already is. Lastly it unnecessarily removes parking that is critical to the survival of lifestyle tenants of Birmingham. This is the area that is zoned for Lifestyle Tenants. The loss of the parking alone, based on my estimated effects over 1000 Lifestyle Tenants. Furthermore, these tenants will be driven into the CVS parking lot and Ann Street to park on.

Upsetting those city residents. They will have nowhere else place to park.

The City has relied on the parking meters for its parking utilization study. The parking meters are not picking up the utilization from 6:00am until 9:00am. This is the peak time for utilization of the street parking. Accordingly, any parking study utilizing the parking meters is inherently defective. On top of that most of the parking spots south of Hayes are barely used at all. Scott Zielinski City engineer told Jack Reinhart and Michelle Russo that there is only 40% of utilization of parking South of Brown. This study is fallacious and flawed from inception based on basic common sense. There are 95 parking spots south of Hayes that are vacant most of the time. This along with not metering the parking from 6:00am-9:00 skews the utilization study making it totally unreliable and cannot be used to eliminate parking spots where all the lifestyle tenants depend on them for the viability of their business. Furthermore, the study give no consideration to peak parking times that currently drives the overflow from the Lifestyle tenants into CVS private lot and the street parking of the residents on Ann Street.

At 8:00am, all the street parking is fully utilized due to Our Lifestyle Center tenants. We have tenants such as:

- 555 Fitness Center
- Birmingham Ultimate Fitness

- Justin Anderson's fitness
- Pilates
- Community Yoga
- Beauty Fusion
- Eyedolize & Massages

The patrons of these tenants begin using the street parking as early as 5:00am, the spaces are fully occupied between 6:00am and 11:00am.

Again, starting approximately 4:00pm, the street parking again is fully utilized until approximately 8:00pm.

I frequently visit CVS on Old Woodward, just north of Hazel Street, on the west side of the Old Woodward on a daily basis. I cross at the crosswalk at Old Woodward and Hazel. I can attest that on many occasions, at least four, to my immediate recollection, I have almost gotten hit by cars at the crosswalk. There is very poor visibility here without the bus stop, it will get much much worst with the bus stop.

The reason why it is so dangerous is the cars going eastbound on Frank Street cross diagonally to Hazel to get to Big Woodward. Correspondingly, cars going westbound on Hazel again cross diagonally to get to Frank Street, where the CVS parking lot is or it is a shortcut to Southfield Road, rather than to go through the center of town.

I have looked at the City's plans and have observed, they are placing a bus stop right in front of the 555 Building. Considering the insanity that goes on at the crosswalk at Hazel Street and Old Woodward and Frank Street and Old Woodward. This bus stop will further significantly complicate not only the traffic but most importantly the safety of The City of Birmingham pedestrians.

Like I said I've almost got hit at least four times at the crosswalk and now the bus stop is going to block the visibility of the pedestrian being able to look southbound on Old Woodward. In my opinion this is creating a much, much higher risk for pedestrians and is unnecessarily inherently dangerous. In short, in my opinion, this is an accident waiting to happen.

Knowing Birmingham, I am aware that there is a bus stop directly north in front of Birmingham Place. It's been there for years. It is in a much safer location. I measured how far north it is and it is only 360 feet north of the proposed new bus stop. That bus stop is in the heart of City where most of people that use the bus work. The current location is clearly in a much safer location for the pedestrians of the City of Birmingham.

As part of the community, I can only question why would the city move the bus stop in front of the 555 Building and take out six or seven parking spots, when these parking spots are so critical to the viability of the tenants of the 555 Building. These parking spots are the lifeline and life

blood of these small business.

l also did measure the distance from where construction is commencing at Brown Street down to where the construction ends on Lincoln Street. It is a total of 2640 feet in each direction for a total of 5280 total feet the 555 building is 450 linear feet on Old Woodward. Based on the linear feet the 555 should only lose a maximum of 4 parking spots (computed as follows 450/5280 = 8% and 8% x 60spots= 4.8 parking spots). The City study shows the 555 losing 11 parking spots. The loss of 11 parking spots in front of 555 is inherently unfair and totally unequitable. Especially since the 95 parking spots South of Hayes are hardly used at all. In my opinion, based on the special recreational zoning and handicap issue and the important of the Lifestyle Center of Birmingham and the important to the citizens of Birmingham, the 555 should lose no parking spots. Take them from South of Hayes on North of Hazel.

As important as this project is to the City and its business and tenants, no one has interviewed me to access my intimate daily knowledge of South Old Woodward, or to my knowledge of any South Old Woodward Business owners or tenants that I talk with every day.

Very Truly Yours,

Daniel Brown

555 Maintenance Supervisor Linear

Statement of Daniel Brown regarding major Safety Issues elimination of parking creation of the bus stop and the need for cross over at Bowers

Date April 6, 2022

I Daniel Brown make the statement being as follows:

I am the maintenance supervisor for the 555 Building and have held this position for the last three years.

I am on the 555 property and the surrounding area every day by approximately 8:00am to 5:00pm on an average five to six days a week.

I have reviewed in detail the City's plans for the redevelopment of South Old Woodward. In my option, this plan is first and foremost highly unsafe to pedestrians and adds a bus stop that makes the Frank Street and Ann Street cross overall much more dangerous than it already is. Lastly it unnecessarily removes parking that is critical to the survival of lifestyle tenants of Birmingham. This is the area that is zoned for Lifestyle Tenants. The loss of the parking alone, based on my estimated effects over 1000 Lifestyle Tenants. Furthermore, these tenants will be driven into the CVS parking lot and Ann Street to park on.

Upsetting those city residents. They will have nowhere else place to park.

The City has relied on the parking meters for its parking utilization study. The parking meters are not picking up the utilization from 6:00am until 9:00am. This is the peak time for utilization of the street parking. Accordingly, any parking study utilizing the parking meters is inherently defective. On top of that most of the parking spots south of Hayes are barely used at all. Scott Zielinski City engineer told Jack Reinhart and Michelle Russo that there is only 40% of utilization of parking South of Brown. This study is fallacious and flawed from inception based on basic common sense. There are 95 parking spots south of Hayes that are vacant most of the time. This along with not metering the parking from 6:00am-9:00 skews the utilization study making it totally unreliable and cannot be used to eliminate parking spots where all the lifestyle tenants depend on them for the viability of their business. Furthermore, the study give no consideration to peak parking times that currently drives the overflow from the Lifestyle tenants into CVS private lot and the street parking of the residents on Ann Street.

At 8:00am, all the street parking is fully utilized due to Our Lifestyle Center tenants. We have tenants such as:

- 555 Fitness Center
- Birmingham Ultimate Fitness

- Justin Anderson's fitness
- Pilates
- Community Yoga
- Beauty Fusion
- Eyedolize & Massages

The patrons of these tenants begin using the street parking as early as 5:00am, the spaces are fully occupied between 6:00am and 11:00am.

Again, starting approximately 4:00pm, the street parking again is fully utilized until approximately 8:00pm.

I frequently visit CVS on Old Woodward, just north of Hazel Street, on the west side of the Old Woodward on a daily basis. I cross at the crosswalk at Old Woodward and Hazel. I can attest that on many occasions, at least four, to my immediate recollection, I have almost gotten hit by cars at the crosswalk. There is very poor visibility here without the bus stop, it will get much much worst with the bus stop.

The reason why it is so dangerous is the cars going eastbound on Frank Street cross diagonally to Hazel to get to Big Woodward. Correspondingly, cars going westbound on Hazel again cross diagonally to get to Frank Street, where the CVS parking lot is or it is a shortcut to Southfield Road, rather than to go through the center of town.

I have looked at the City's plans and have observed, they are placing a bus stop right in front of the 555 Building. Considering the insanity that goes on at the crosswalk at Hazel Street and Old Woodward and Frank Street and Old Woodward. This bus stop will further significantly complicate not only the traffic but most importantly the safety of The City of Birmingham pedestrians.

Like I said I've almost got hit at least four times at the crosswalk and now the bus stop is going to block the visibility of the pedestrian being able to look southbound on Old Woodward. In my opinion this is creating a much, much higher risk for pedestrians and is unnecessarily inherently dangerous. In short, in my opinion, this is an accident waiting to happen.

Knowing Birmingham, I am aware that there is a bus stop directly north in front of Birmingham Place. It's been there for years. It is in a much safer location. I measured how far north it is and it is only 360 feet north of the proposed new bus stop. That bus stop is in the heart of City where most of people that use the bus work. The current location is clearly in a much safer location for the pedestrians of the City of Birmingham.

As part of the community, I can only question why would the city move the bus stop in front of the 555 Building and take out six or seven parking spots, when these parking spots are so critical to the viability of the tenants of the 555 Building. These parking spots are the lifeline and life

blood of these small business.

l also did measure the distance from where construction is commencing at Brown Street down to where the construction ends on Lincoln Street. It is a total of 2640 feet in each direction for a total of 5280 total feet the 555 building is 450 linear feet on Old Woodward. Based on the linear feet the 555 should only lose a maximum of 4 parking spots (computed as follows 450/5280 = 8% and 8% x 60spots= 4.8 parking spots). The City study shows the 555 losing 11 parking spots. The loss of 11 parking spots in front of 555 is inherently unfair and totally unequitable. Especially since the 95 parking spots South of Hayes are hardly used at all. In my opinion, based on the special recreational zoning and handicap issue and the important of the Lifestyle Center of Birmingham and the important to the citizens of Birmingham, the 555 should lose no parking spots. Take them from South of Hayes on North of Hazel.

As important as this project is to the City and its business and tenants, no one has interviewed me to access my intimate daily knowledge of South Old Woodward, or to my knowledge of any South Old Woodward Business owners or tenants that I talk with every day.

Very Truly Yours,

Daniel Brown

555 Maintenance Supervisor Linear

# 555 Residential LLC

555 S Old Woodward Ave \* Birmingham MI 48009 Phone: 313.919.3313 Email: Jjreinhart@gmail.com

Date: April 7, 2022

Clerk's Office City of Birmingham, MI

Alexandria Bingham 151 Martin St Birmingham MI 48009 APR - 8 2022

RECEIVED

RE: 555 Objection to South Old Woodward Ave Development

Dear Ms. Bingham,

Enclosed please find the objections of the 555 Residential LLC to Birmingham South Old Woodward development for filing in your normal procedure.

Please see that all commissioners get a copy of this as soon as possible. Many of these objections I put on the record on March 14th 2022. My attorneys also filed an objection on March 14th 2022. My attorneys are Richard Rattner and Jason Long Esq.

Please also distributed copies to any other interested parties at the City. I have also enclosed letters from the interested partied that I have enclosed as well.

Should you have any questions or need any additional information please call me at 313.919.3313 or email me at <u>JJreinhart@gmail.com</u>.

Very Truly Yours,

Date: April 6, 2022

OBJECTIONS TO MAJOR ISSUES REGARDING THE SOUTH OLD WOODWARD DEVELOPMENT BASED ON SIGNIFICANT SAFETY ISSUES, ELIMINATION OF PARKING IN FRONT OF THE 555 BUILDING, ADA ISSUES AND THE NEED FOR A CROSSWALK AT BOWER STREET. OBJECTIONS ALSO WITH RESPECT TO THE SPECIAL ASSESMENT DISTRICT FOR THE CERTAIN COST OF THE SOUTH OLD WOODWARD DEVELOPMENT

My name is Jack Reinhart I am the owner of Manorwood Properties LLC the real estate where Birmingham Pub resides. I am also the general partner and responsible for the day-to-day management of the 555Building complex.

I was on the city zoom call on February 21<sup>st</sup> 2022, that was the first time that I ever heard of the elimination of 60 parking spots on Old Woodward. At that meeting, there was no mention of the relocation of the bus stop from in front of Birmingham Place down to the 555 Building, in front of possibly the most dangerous pedestrian crossing in the city.

I also attended the meeting on March 14<sup>th</sup> 2022. I spoke at in that meeting quite extensively. I raised many issues having to do with safety, the loss of the parking spots in front of 555, objected to the special assessment district and still did not know about the bus stop being relocated so I did not speak about that particular issue.

When I completed my presentation, I asked if there were any questions fully expecting a number of questions. The commissioners had no questions for me whatsoever. What happened immediately after was somewhat shocking to me. The cities consultants got up basically reaffirmed everything in their plan no one addressing the comments and concerns of any of the citizens and business owners like Joe Vicari, who owns the Birmingham Pub. Then each or most members the commissioner made very positive statements for the record saying how important this was for the city and the City had to get it done now and basically gave no consideration to any of the issues that I raised and many of the other citizens of the City of Birmingham raised. Summarizing their statements on the record it was basically "Come hell or high water this is getting done".

The City Commissioners have a duty to look into realistic issues, that are raised especially if they deal with the safety of the citizens of the City especially pedestrians potential ADA issues, and the City's invitees to their City.

I'm sending my revised statements now that I know much more, directly to all the commissioners so they'll have plenty of time to review what concerns 555 and Manorwood Properties, prior to the meeting on April 11<sup>th</sup> 2022. Perhaps this may generate some questions.

Last week I met with Sean Kammer and Scott Zielinski the City Engineer and another city official. I have asked for an overlay so that I know exactly what spots 555 is going to lose. I also

objected vehemently to locating and moving the bus stop in front of Birmingham Place to the front of 555 due to extreme safety concerns. At that meeting, I told him that was totally unacceptable to me and I would never agree to it. Sean Kammer said they would look into moving the bus stop and get back to me.

I have at least three phone calls into Scott Zielinski and he has yet to call me back on these important matters. I also left a voicemail for Sean Krammer.

I recognize that there's a functional requirement and that the city water and sewage drainage system needs to be replaced because it is in excess of 50 years old. However, much of this includes the beautification of the city with additional landscaping and a center median strip. All very nice, looks beautiful but from my perspective does not justify some of the reductions in functionality and costs for adjacent property owners, that have no interest in paying for the beautification of the city for which the entire city and all of its residence and visitors benefit.

This is a very important project to the City of Birmingham. They planned this for several years. Phase 1 and Phase 2 are completed north of South Old Woodward.

I would submit to the Commission that as important as this is to the City, it is every bit as important, even much more important to the tenants and the building owners and the residents on Ann Street and to CVS. The tenants, the property owners as well as the neighbors on Ann Street, which will take the overflow and CVS which is already taking the overflow will be significantly and dramatically adversely affected.

For the past two years the tenants of 555, especially the lifestyle tenants, have gotten their businesses ruined and destroyed because of COVID-19. Even today we do not know whether or not COVID-19 is over with or will continue to adversely affect these businesses. In fact, China shut down the entire city of Shanghai and many others due to Covid just last week.

As I said this will be more important to the tenants of the 555 building and adjacent building owners because this represents their livelihood and their life blood and possibly even the existence of these businesses which are still struggling because of COVID-19.

From my perspective, a significant project such as this to be successful and be in harmony with the City and the Community it requires communication. Personally, I must admit I am disappointed with the communication of the city and the Commission has had with the tenants and property owners in in South-old Woodward.

No one has talked to me no one has called me on the phone I've checked with my tenants no one has talked with any of them. In fact, some of them have sent emails to the city the city 's response we will get back to you and they never do.

Sure we've all seen a lot of this in the newspaper and heard about it. However, I know that no

one has ever sat down and met with me face-to-face or even so much just called me on the phone to discuss this. I find it very difficult so many of these decisions are being made without dealing with those that are directly affected and have the direct pragmatic and practical understandings of the logistics that all of this is going to cost. Let alone the hardship on these businesses. This does not represent good government community cooperation.

It appears that this is all been done by outside consulting firms I know there's been some informal meetings. But from my perspective nobody's got their boots on the ground and kicked the tires of what's really going to happen and how are they are going to affect the economics of the City and the redevelopment of South old Woodward so that the tenants of and property owners of the City remain viable.

### **NOTICE:**

First and foremost, I object to the entire plan that effects the 555 Residence, LLC in that never did we get any formal notices, never did anyone meet with the 555 residences owners or its employees, no one even called the 555 on the phone. This plan has a very significant reduction on the value of the 555 Building and its tenants. The 555 Building was entitled to be given FORMAL NOTICE if you intended to materially decrease the value of building and decreased the value of the 555 tenants' business. The 555 Building that has been here in Birmingham for 48 years and we just invested at the insistence of the City over \$30,000,000.00 in this property.

### PARKING:

Although it is nowhere in the written presentation of February 21<sup>st</sup> 2022, I now understand that there are 60 street parking spots south of Brown that are proposed to be eliminated.

This is really quite incredible especially since the city openly acknowledges they have a major parking problem within the city, where it is my understanding that a separate study indicates the city needs more than 3,000 parking spots. The most valuable parking spots in the City especially to support a viable retail community and restaurants are its street parking.

I ask, "Why was this not in the written presentation on February 21st 2022"?

The presentation makes a big point that this is being done because of ADA requirements that have to be met. I have looked at the plan and there may be a few ADA requirements, but nowhere would ADA requirements require the elimination of 60 street parking spots. I also believe there may be some grandfathering arguments allow us to meet some of those requirements but possibly not all of them.

One matter that is not dealt with at all in the study is that due to the nature of the lifestyle tenants that focus on exercise, physical therapy, and rehabilitation. The street parking at the 555

Building is paramount for the citizens of the City of Birmingham to follow their doctors' directions to use alternative methods to increase their mobility such as Pilates, yoga and supervised physical exercise. The alternative to physical therapy in many cases is very high-risk surgery.

I, myself have three fractured lumbar vertebrae. Plus, I have one fractured thoracic vertebra. The head of neurological surgery at Providence Hospital Dr. Tech Soo, has advised me to go to Pilates twice a week and other physical exercise in order to prevent high risk back surgery. I have been going to Pilates four (4) years and Birmingham Ultimate Fitness for eleven (11) years based on Dr. Soo's advice. Literally if I don't go to this physical therapy, I would not be able to walk upright.

I am not the only one that goes to Pilates, yoga and Birmingham Ultimate Fitness and Justin Anderson's fitness to assist me in maintaining my mobility without major high-risk surgery. There are many others, and they depend on street parking to go rehabilitation because of their limited mobility. surprisingly the proposed plan illuminates all of the street parking in front of these tenants and substitutes a bus stop. The only way this could happen is that whoever put the study together never talked to the lifestyle tenants or investigated who frequents the building and how important straight parking is to these residents of the City of Birmingham.

In talking with Pilates, Yoga, Justin Anderson and Birmingham Ultimate Fitness, they estimate that on some days well over 400 people patronize these establishments on a daily basis and literally 1,000's on a weekly basis.

#### BUS STOP:

The bus stop relocation from Birmingham Place to the 555 was never mentioned in the presentation on February 21st 2022.

I have never heard of it being talked about in meetings before the commission. The first I became aware of it was when I discovered it on the last page of the February 21<sup>st</sup> 2022, presentation materials.

The 555 Building has been probably the most iconic building in the City of Birmingham for over 48 years. Years back the city constantly urged and cajoled 555 to spend significant money to rehabilitate and re-develop the 555 Building. At the time some of the City fathers referred to it as "The Pigsty of Birmingham".

In 2014, 555 commenced a complete redevelopment of the property. We replaced the curtain walls of the residence and in the commercial building. We put over \$3 million into the parking structure. We redesigned and updated all of the interior space hallways and common areas. On top of that we redid all the hard scape on the upper and lower levels of the retail. 555 invested over \$30 million in this redevelopment. We are extremely pleased on how it came out and how

well it's been received by the community.

Now for the City of Birmingham to now propose putting a bus stop in front of The 555 Building and to eliminate 36% of the 555 street parking is totally unacceptable to us. This will have a material significant decrease in the value of the 555 Building and our tenants' businesses which the city urged and cajoled us and insisted that we redevelop. How is that fair?

I can assure you the partners of 555 will not accept this unequivocally.

However, much more important than the effects that this can have on the value and the financial matters and the leasing of the 555 Building, let me assure you placing the bus stop where it is proposed causes significant and I mean very significant pedestrian safety risks and significant liability risks to the City of Birmingham.

Hazel and Frank Street on Old Woodward crosswalks are perhaps the most dangerous in the entire City of Birmingham. They are not symmetrical, and cars constantly take a diagonal route from Frank to get to big Woodward from Hazel to get to Frank so they can go to the CVS store or take a shortcut over to Southfield Road in order to avoid the congestion in the heart of the City of Birmingham.

One of Molly Baran's patrons got hit by a car at that cross-section. She will speak to that. On top of that many people have told me that they have almost gotten hit by cars at that crosswalk.

Now the City proposes to block the visibility site lines down South Old Woodward where currently cars go 35 to 45 miles an hour. I know this plan is intending to slow down northbound traffic. All I can say is don't count on it. More importantly, the bus stop takes out the northbound lane. There is now only a left turn lane when the bus is there. Let me assure you when the bus is there car traffic will go around the bus violating the left turn lane with no ability to see any pedestrians crossing Old Woodward at Hazel, let alone the diagonal traffic coming from Frank to Hazel.

### WHO PAYS FOR IT?

I'm not going to spend a lot of time on all the issues that are there with respect to who should pay for these improvements. We do not believe that this would qualify as a special assessment district due the significant detrimental loss of value due to the taking of 60 street parking spots. On top of that at a minimum the city should talk to the property owners and the tenants that would be asked to pay for this. I can assure you they will all tell you if they have to pay for it they don't want it. This beautification project benefits the entire City. This is the gateway to the City of Birmingham all residents patrons and visitors benefit from this. If this is what The City wants to do then the City of Birmingham's property taxes should pay for.

### LOGISTICS:

At the meeting on February 21<sup>st</sup> 2022, a number of property owners or tenants expressed deep concern over the logistics as planned by the city having a direct effect on their businesses. Some of them receive freight daily, semi-trucks and there was no provision what's the plan on how to make sure that these businesses can continue to receive these deliveries necessary for to keep them in business or to operate during this construction period.

My understanding is that the only traffic on Old Woodward will be southbound on the west side of Old Woodward. How is this fair to all the tenants on the east side of old Woodward? 555 has 18 retail tenants on the east side of old Woodward more than any other building on Old Woodward. I was told that the only crosswalk would be at Brown. This is so unfair in so many of the tenants will not be capable walking a quarter of a mile north to get to the east side of Woodward at Brown Street.

This should be solved by having an elevated crosswalk at Bower Street which is midway from Brown Street down to the South end of old Woodward. If this cannot be accomplished, it will be discrimination against the east side tenants of Old Woodward including the Birmingham Pub which is a restaurant. This would be totally discriminatory.

Another concern I have that was not discussed to date at the meetings are what is The City going to do with the snow in the winter. Right now when we have even a relatively small snow it ends up exactly where the proposed median strip is supposed to be with your proposed new developments. I don't know how they're going to be able to put it there without ruining the landscaping, busting up the concrete and curbs.

I hope they don't plan on pushing it into the remaining parking spots that they have left which would create more and further significant hardship and parking problems for all South Woodward businesses and tenants!

In a very significant snow it would create monumental problems not having the ability to push the snow to the center of old Woodward. Logistically I have no idea how they would deal with this.

Currently they push it to the center of the street, and it stays there for a couple days until they can get the front loaders to remove it. This problem is getting compounded throughout the city because they now have to remove the snow throughout the city with front loaders. The problem I have here though is there's no place to put the snow in the interim. From the initial plowing of the street until the front loaders get around to moving it.

Perhaps the City has figure this out, but it has never been discussed and it's not in the presentation and when I asked Scott Zielinski about it he said well we will deal with it, we'll figure out how to deal with it later. I believe this issue must be dealt with before proceeding.

### STRUCTURAL:

My understanding is that all the sidewalks are going to be torn up and replaced. With respect to the 555 Building, this is within 2 feet of a major retaining wall of the building.

The 555 has hired engineers to evaluate the structural integrity of our retaining wall that runs the entire length of our property. Measurements are being made and will be delivered to the city so that if any damage is caused by the excavation so close to our retaining wall clearly it will be the responsibility of the city.

We had to hire two sets of engineers to get a baseline to protect the integrity of the 555 from this construction. We have given the City the names of our engineers and hopefully they have reached out and contacted them so they can work together on this.

The 555 expects the city will pay for all these professional expenses because but for the construction of this project none of this would ever have taken place and there would be no concerns to the 555 building and the existence of our retaining wall.

As I mentioned in the beginning, this is a very important project for the City of Birmingham. Additionally, first and foremost I am dearly concerned about the safety of the pedestrians, especially moving perfectly safe bus stop to a very high-risk location with significant federal ADA ramifications and possibly lawsuits by patrons of the lifestyle center. I believe it is much more important for the property owners and the tenants on S. Old Woodward Ave. The existence of the lifestyle center and lifestyle tenants is what has allowed 555 to lease up over 90% of the retail space which was 60% vacant for over 20 years.

If the City really does want the City to develop to the south end of Old Woodward. I do not think you want to take away all the street parking, put a bus stop there that creates significant safety hazards for pedestrians and then on top of it make these small businesses pay for a major part of the Beautification and redevelopment. That benefits the entire city.

Very Truly Yours,

John J. Reinhart



Jack Reinhart <jjreinhart@gmail.com>

# Fwd: Phase 3 Old Woodward Project

1 message

molly baran <mollypilates@att.net>

To: Jack Reinhart <jjreinhart@gmail.com>, Scott Zielinski <szielinski@bhamgov.org>

Wed, Apr 6, 2022 at 3:54 PM

See my below emails from February. Thank you Sent from my iPhone

Begin forwarded message:

From: molly baran <mollypilates@att.net> Date: March 11, 2022 at 7:02:04 PM EST To: Jim Surhigh <cityengineer@bhamgov.org> Subject: Re: Phase 3 Old Woodward Project Reply-To: molly baran <mollypilates@att.net>

Thank you Jim.

All the Businesses up in this corridor appreciate consideration to the other issues.

### Molly Baran

248/721-0033

http://studio-m-pilates.com

On Friday, March 11, 2022, 05:30:21 PM EST, Jim Surhigh <cityengineer@bhamgov.org> wrote:

Molly,

You're message has been received, and sorry that we haven't responded yet. We don't have answers to all of your questions yet about use of properties that the City does not own, but please note that there will not be any public street parking allowed in the work zone during construction.

Sincerely,

Jim Surhigh, P.E. Consulting City Engineer

On Fri, Mar 11, 2022 at 5:04 PM molly baran <mollypilates@att.net> wrote:

Please confirm you recieved my email below? I have no response from anyone.

Thank you,

# Molly Baran

248/721-0033

http://studio-m-pilates.com

On Tuesday, February 22, 2022, 09:56:46 AM EST, molly baran <mollypilates@att.net> wrote:

### Good Morning,

I am the owner of Studio M Pilates in the 555 building. I am located at the North/West corner lower level. I attended the informational meeting last evening. Some thoughts regarding parking during and after the project. As discussed we are in a very different retail dynamic on the East side of the street.

My Pilates Studio has small group classes through the morning and evening hours. We may have 8-10 cars (clients) coming in at the same time for a class starting on the hour. The Yoga Studio has the same scenario with larger numbers, maybe 15-20. Valet can not handle that number all at once at our corner. Between Community Yoga and our Pilates Studio we can have a total of 40 cars needing parking all at once. If participants can't in on time they will go elsewhere.

Valet works well for shoppers, not groups coming in and out all at once.

I am planning on getting them to park in our building. The cost for parking in the 555 is expensive. I should not have to absorb the cost. The structure capacity may also be a problem since it is already filled with residents and employees in the building.

- -Could the empty Bank building on Hazel be used for parking?
- -Where will the construction workers park? It was pointed out parking available west on Ann etc. that will not work if the construction workers are taking spaces.

There is an ongoing problem with constructions workers taking up spaces all along Old Woodward. I was frustrated last week at 9am not able to find a space North of Brown because of trucks taking up spaces. My clients complain now about trucks taking parking spaces.

Is Parking enforcement going to take control of that? We will also be dealing with the New construction of Restoration hardware.

Thank your for your consideration. I realize the project needs to be completed and we all need to work together.

### Molly Baran

248/721-0033 http://studio-m-pilates.com Statement of Michelle Russo:

Major Safety Issues, Elimination of Parking, Creation of the Bus Stop

Clerk's Office City of Birmingham, MI

Date April 6, 2022

APR - 8 2022

12:35 P

I Michelle Russo make the statement being as follows:

RECEIVED

I am the General Manager of the 555 Property and have held the position since 2006.

When I stated on the 555 property, it was struggling to fill its retail spaces. My professional point of view of this was due to the overall lack of business in the area overall and any interest in the South End of Old Woodward. I have always found this very odd, after all, it is the Gateway to Birmingham. The only business on a daily bases that use the majority of the street parking in this area at that time was The Center of Yoga. Now many years later, the parking spaces have become even significant. This is mainly due to the Lifestyle Center of Birmingham and the interest in the South End.

The Landlords had a vision back then to create something that not only would sustain new Tenants of the 555 Property but would bring more traffic to the south end of Old Woodward. Through this vision they created The Lifestyle Center of Birmingham which today is flourishing.

In the 16 years that I have managed the property, the Landlords, the Lifestyle Tenants successes, and their client base have helped create more traffic and interest in the South End of Old Woodward than anything else I have witnessed.

This plan unnecessarily removes street parking that is critical to the survival of Lifestyle Tenants. Furthermore, the area is zoned for Lifestyle Tenants and the loss of the street parking alone, based on the 555 Staff findings is estimated to effect over 2000 Lifestyle Tenants Client Base weekly. As well-known as they are "The Lifestyle Tenants" for their services, they are as equally known for the relief they give to those who use their services because injury and or illness.

There is a large amount of these patrons that utilize the services of the Lifestyle Tenants just to stay healthy however, due to illness and or injury there are those that do because of relief they get because of these services/therapy/workouts, they receive that are crucial to their health and well-being. These very same people walk with canes and or need the help from another's to move about and cannot walk the distances that will be required once the street parking is taken away. Being able to walk the short distance will mean the difference between being able to continue with their therapy or not, with the people they have work with for years in many cases.

It is not unusual at I am on the 555 property and the surrounding area by 6am and leave as late as 8:30/9am. At these early hours all the street parking especially in front of the Commercial Building, where the Bus Stop is planned, the street parking spots are fully utilized due to Our Lifestyle Center tenants.

#### These are the Tenants:

- 555 Fitness Center
- Birmingham Ultimate Fitness
- Justin Anderson's fitness
- Pilates
- Community Yoga
- Beauty Fusion
- Eyedolize & Massages

The patrons of these Tenants begin using the street parking as early as 6:00am and the spaces are fully occupied. There can be as many as 40-60 cars needing parking all at the same time on the hour as the second wave of cars is leaving another comes. *All at the same time*. The Fitness related businesses have groups of people from approximately 6am -11:00 and again 4:00 through as late as 9:00 every day. After 9am those street parking is utilized by all of the other Retail Tenants, Howard Hanna, Nails 07, Mainstreet Design, Oakland Blo, Willoughby Architects, and Ziegelman and Gardner Associates. After 11am adding to the list is the Birmingham Pub and Phoenicia Restaurant.

The City has relied on the parking meters for its parking utilization study. The parking meters are not picking up the utilization from 6:00am until 9:00am. This is the peak time for utilization of the street parking by the 555 Tenants patrons. Accordingly, any parking study utilizing the parking meters is inherently defective. On top of that most of the parking spots south of Hayes are barely used at all. Scott Zielinski City engineer told Jack Reinhart and me that there is only 40% of utilization of parking South of Brown. This study is flawed. There are 95 parking spots south of Hayes that are vacant most of the time. This skews the utilization study making it totally unreliable and cannot be used to eliminate parking spots where all the lifestyle tenants and the other Tenants depend on them for the sustainability of their business.

I have reviewed in detail the City's plans for the redevelopment of South Old Woodward. It is my opinion, this plan is first and foremost highly unsafe to pedestrians by adding a bus stop that makes the Frank Street and Ann Street cross overall much more dangerous than it already is. Like many of us at the 555 I frequently visit CVS. Crossing at the crosswalk at Old Woodward and Hazel. I can confirm that I am not the only one on many occasions have almost gotten hit by a car at the crosswalk. There is very poor visibility here without the bus stop. Seeing the insanity that goes on going eastbound on Frank Street cross diagonally to Hazel to get to Big Woodward, Correspondingly, cars going westbound on Hazel again cross diagonally to get to Frank Street, where the CVS parking lot or shortcuting to Southfield Road, rather than to go through the center of town is crazy! This bus stop will significantly complicate not only the traffic but most importantly the safety of The City of Birmingham pedestrians.

The placement of a bus stop right in front of the 555 Building will create a much, much higher risk for pedestrians and is without cause, fundamentally dangerous.

I am aware that there is a bus stop directly north in front of Birmingham Place and in a much safer location. We measured how far north it is and it is only 360 feet north of the proposed new bus stop. That bus stop is closer to the heart of City where most of people that use the bus work.

The current location is clearly in a much safer location for the pedestrians of the City of Birmingham.

Based on the linear feet the 555 should only lose a maximum of 4 parking spots. The City study shows the 555 losing 11 parking spots. The loss of 11 parking spots in front of 555 is inherently one-sided and totally unequitable. Especially since the street parking South of Hayes are hardly used at all. Based on the zoning, the significant of the Lifestyle Center of Birmingham, and the importance to the citizens of Birmingham, the 555 should not lose any street parking spots. Take them from South of Hayes.

The vibrancy of the Tenants makes the City, if we lose these 555 Tenants the City will have a hard time developing south of Frank Street.

I question why would the city move the bus stop in front of the 555 Building and take out the street parking when these parking spots are as critical to the viability of the Tenants of the 555 Building, especially the Lifestyles Center of Birmingham Tenants, and just as crucial to the surrounding Businesses.

Sincerely,

Michelle Russo General Manager

The New555 Commercial LLC Then New 555 Residential LLC

Statement of Michelle Russo:

Major Safety Issues, Elimination of Parking, Creation of the Bus Stop

Date April 6, 2022

I Michelle Russo make the statement being as follows:

I am the General Manager of the 555 Property and have held the position since 2006.

When I stated on the 555 property, it was struggling to fill its retail spaces. My professional point of view of this was due to the overall lack of business in the area overall and any interest in the South End of Old Woodward. I have always found this very odd, after all, it is the Gateway to Birmingham. The only business on a daily bases that use the majority of the street parking in this area at that time was The Center of Yoga. Now many years later, the parking spaces have become even significant. This is mainly due to the Lifestyle Center of Birmingham and the interest in the South End.

The Landlords had a vision back then to create something that not only would sustain new Tenants of the 555 Property but would bring more traffic to the south end of Old Woodward. Through this vision they created The Lifestyle Center of Birmingham which today is flourishing.

In the 16 years that I have managed the property, the Landlords, the Lifestyle Tenants successes, and their client base have helped create more traffic and interest in the South End of Old Woodward than anything else I have witnessed.

This plan unnecessarily removes street parking that is critical to the survival of Lifestyle Tenants. Furthermore, the area is zoned for Lifestyle Tenants and the loss of the street parking alone, based on the 555 Staff findings is estimated to effect over 2000 Lifestyle Tenants Client Base weekly. As well-known as they are "The Lifestyle Tenants" for their services, they are as equally known for the relief they give to those who use their services because injury and or illness.

There is a large amount of these patrons that utilize the services of the Lifestyle Tenants just to stay healthy however, due to illness and or injury there are those that do because of relief they get because of these services/therapy/workouts, they receive that are crucial to their health and well-being. These very same people walk with canes and or need the help from another's to move about and cannot walk the distances that will be required once the street parking is taken away. Being able to walk the short distance will mean the difference between being able to continue with their therapy or not, with the people they have work with for years in many cases.

It is not unusual at I am on the 555 property and the surrounding area by 6am and leave as late as 8:30/9am. At these early hours all the street parking especially in front of the Commercial Building, where the Bus Stop is planned, the street parking spots are fully utilized due to Our Lifestyle Center tenants.

#### These are the Tenants:

- 555 Fitness Center
- Birmingham Ultimate Fitness
- Justin Anderson's fitness
- Pilates
- Community Yoga
- Beauty Fusion
- Eyedolize & Massages

The patrons of these Tenants begin using the street parking as early as 6:00am and the spaces are fully occupied. There can be as many as 40-60 cars needing parking all at the same time on the hour as the second wave of cars is leaving another comes. *All at the same time*. The Fitness related businesses have groups of people from approximately 6am -11:00 and again 4:00 through as late as 9:00 every day. After 9am those street parking is utilized by all of the other Retail Tenants, Howard Hanna, Nails 07, Mainstreet Design, Oakland Blo, Willoughby Architects, and Ziegelman and Gardner Associates. After 11am adding to the list is the Birmingham Pub and Phoenicia Restaurant.

The City has relied on the parking meters for its parking utilization study. The parking meters are not picking up the utilization from 6:00am until 9:00am. This is the peak time for utilization of the street parking by the 555 Tenants patrons. Accordingly, any parking study utilizing the parking meters is inherently defective. On top of that most of the parking spots south of Hayes are barely used at all. Scott Zielinski City engineer told Jack Reinhart and me that there is only 40% of utilization of parking South of Brown. This study is flawed. There are 95 parking spots south of Hayes that are vacant most of the time. This skews the utilization study making it totally unreliable and cannot be used to eliminate parking spots where all the lifestyle tenants and the other Tenants depend on them for the sustainability of their business.

I have reviewed in detail the City's plans for the redevelopment of South Old Woodward. It is my opinion, this plan is first and foremost highly unsafe to pedestrians by adding a bus stop that makes the Frank Street and Ann Street cross overall much more dangerous than it already is. Like many of us at the 555 I frequently visit CVS. Crossing at the crosswalk at Old Woodward and Hazel. I can confirm that I am not the only one on many occasions have almost gotten hit by a car at the crosswalk. There is very poor visibility here without the bus stop. Seeing the insanity that goes on going eastbound on Frank Street cross diagonally to Hazel to get to Big Woodward, Correspondingly, cars going westbound on Hazel again cross diagonally to get to Frank Street, where the CVS parking lot or short cuting to Southfield Road, rather than to go through the center of town is crazy! This bus stop will significantly complicate not only the traffic but most importantly the safety of The City of Birmingham pedestrians.

The placement of a bus stop right in front of the 555 Building will create a much, much higher risk for pedestrians and is without cause, fundamentally dangerous.

I am aware that there is a bus stop directly north in front of Birmingham Place and in a much safer location. We measured how far north it is and it is only 360 feet north of the proposed new bus stop. That bus stop is closer to the heart of City where most of people that use the bus work.

The current location is clearly in a much safer location for the pedestrians of the City of Birmingham.

Based on the linear feet the 555 should only lose a maximum of 4 parking spots. The City study shows the 555 losing 11 parking spots. The loss of 11 parking spots in front of 555 is inherently one-sided and totally unequitable. Especially since the street parking South of Hayes are hardly used at all. Based on the zoning, the significant of the Lifestyle Center of Birmingham, and the importance to the citizens of Birmingham, the 555 should not lose any street parking spots. Take them from South of Hayes.

The vibrancy of the Tenants makes the City, if we lose these 555 Tenants the City will have a hard time developing south of Frank Street.

I question why would the city move the bus stop in front of the 555 Building and take out the street parking when these parking spots are as critical to the viability of the Tenants of the 555 Building, especially the Lifestyles Center of Birmingham Tenants, and just as crucial to the surrounding Businesses.

Sincerely,

Michelle Russo General Manager

The New 555 Commercial LLC Then New 555 Residential LLC

(248) 948 9000 signatureassociates.com Clerk's Office City of Birmingham, MI

APR - 8 2022

RECEIVED 12:35 Cwoods

April 7, 2022

My name is Dan Morrow, I'm with Signature Associates in Southfield, and I represent ownership of 555 South Old Woodward regarding the leasing of their retail and office space. I have been at the building several times a week since taking over listing responsibilities in January 2020. I am also a Birmingham resident.

When reviewing the plan for the South Old Woodward portion of the redesign project, I have several concerns about the design as presented.

- Pedestrian safety
- Immediate parking needs
- Long term parking needs

### Pedestrian safety

According to the presentation from February 21, 2022, one of the primary goals of the project is to "Reduce vehicle speeds, improve pedestrian safety". I feel the plan as presented will not accomplish this goal.

Adding a bus stop to the northern portion of the block between Bowers and Hazel will make this already perilous intersection even more so. The meeting of 3 streets in one small area, which I understand cannot be changed, is dangerous enough. This bus stop will obstruct the view of all parties, making it even more dangerous.

Surely there must a way to move this bus stop to an area where pedestrians won't have to contend with vehicles coming from a variety of blind angles.

#### Immediate parking needs

It's well documented that street parking in Birmingham is at a premium. The plan will eliminate over 60 spaces from this area of South Old Woodward, many of those coming at the expense of parking in front of the 555 Building for the bus stop.

Retail in this section of Old Woodward is not like that north of Brown. This is very much destination retail, such as salons, yoga, Pilates, and personal trainers, all of which are tenants at 555. Since this portion of South Old Woodward isn't a walkable retail area, customers can park their cars, run in for their hour-long workout or beauty appointment, then be on their way. Further, our trainers, Pilates and yoga tenants often work with clients who are in need of physical therapy, nursing injuries, or even disabilities, making the accessibility of street parking essential. Street parking has also been instrumental in our success leasing retail space at the 555 Building.

If we are to keep retail tenants' best interest in mind, accessible parking in front of the building is what's best for these small business owners.

#### Long term parking needs



As we've seen with the exciting RH development, older single- and two-story buildings will be torn down to accommodate larger scale development. In addition to these types of buildings, there are also privately owned surface parking lots in this section of Old Woodward, which it's safe to say will be facing a similar transformation in the coming years.

The redevelopment of the former Mountain King site illustrates the challenge this aggressive parking reduction will present. Mixed use developments with ground floor retail will need parking. Where will customers park, if not at metered spaces?

This is not a short-term decision – the existing street has been in place for over 50 years. Accommodating future development needs to be factored into the decision-making process, which at this point does not seem to be the case.

Thank you for your time.

Dan Morrow

Signature Associates

dmorrow@signatureassociates.com



April 7, 2022

My name is Dan Morrow, I'm with Signature Associates in Southfield, and I represent ownership of 555 South Old Woodward regarding the leasing of their retail and office space. I have been at the building several times a week since taking over listing responsibilities in January 2020. I am also a Birmingham resident.

When reviewing the plan for the South Old Woodward portion of the redesign project, I have several concerns about the design as presented.

- Pedestrian safety
- Immediate parking needs
- Long term parking needs

### Pedestrian safety

According to the presentation from February 21, 2022, one of the primary goals of the project is to "Reduce vehicle speeds, improve pedestrian safety". I feel the plan as presented will not accomplish this goal.

Adding a bus stop to the northern portion of the block between Bowers and Hazel will make this already perilous intersection even more so. The meeting of 3 streets in one small area, which I understand cannot be changed, is dangerous enough. This bus stop will obstruct the view of all parties, making it even more dangerous.

Surely there must a way to move this bus stop to an area where pedestrians won't have to contend with vehicles coming from a variety of blind angles.

#### Immediate parking needs

It's well documented that street parking in Birmingham is at a premium. The plan will eliminate over 60 spaces from this area of South Old Woodward, many of those coming at the expense of parking in front of the 555 Building for the bus stop.

Retail in this section of Old Woodward is not like that north of Brown. This is very much destination retail, such as salons, yoga, Pilates, and personal trainers, all of which are tenants at 555. Since this portion of South Old Woodward isn't a walkable retail area, customers can park their cars, run in for their hour-long workout or beauty appointment, then be on their way. Further, our trainers, Pilates and yoga tenants often work with clients who are in need of physical therapy, nursing injuries, or even disabilities, making the accessibility of street parking essential. Street parking has also been instrumental in our success leasing retail space at the 555 Building.

If we are to keep retail tenants' best interest in mind, accessible parking in front of the building is what's best for these small business owners.

#### Long term parking needs



As we've seen with the exciting RH development, older single- and two-story buildings will be torn down to accommodate larger scale development. In addition to these types of buildings, there are also privately owned surface parking lots in this section of Old Woodward, which it's safe to say will be facing a similar transformation in the coming years.

The redevelopment of the former Mountain King site illustrates the challenge this aggressive parking reduction will present. Mixed use developments with ground floor retail will need parking. Where will customers park, if not at metered spaces?

This is not a short-term decision – the existing street has been in place for over 50 years. Accommodating future development needs to be factored into the decision-making process, which at this point does not seem to be the case.

Thank you for your time.

Dan Morrow

Signature Associates

dmorrow@signatureassociates.com

Statement of Dustin Wenzel regarding major Safety Issues, elimination of parking by the creation of the bus stop and the effect on the small businesses of the 555 Building

Clerk's Office City of Birmingham, MI

Date April 7, 2022

APR - 8 2022

I Dustin Wenzel make the statement being as follows:

RECEIVED 12:35 P

I am the Owner of Birmingham Ultimate Fitness Located in residential side of 555 Building and have been at this location for almost 12 years.

I have reviewed in detail the City's plans for the redevelopment of South Old Woodward. With a great amount of attention being paid to the recently released plans for phase three of the project. First and foremost, I would like to express a strong concern for the timing of this project. The Covid-19 Virus has hurt many small businesses over the last two years Birmingham Ultimate Fitness and I'm sure other tenants of the 555-lifestyle center were not Immune. My Issue is that many of us are only recently getting back on our feet and I have great concerns that the timing of this project is going to disrupt much needed and continued growth for recovery. Considerations need to be made for the survival of many of the small business effected by Phase Three.

In addition I have concerns for pedestrians that make the Frank Street and Ann Street cross a much more dangerous route to travel because of "in my opinion" a very poorly placed Bus station. This also raises additional concerns as it unnecessarily removes parking that is critical to the lifestyle tenants of Birmingham.

Birmingham Ultimate Fitness opens at 5/6 am, street parking is fully utilized at this time and remains utilized by all Birmingham Ultimate Fitness Clients until and after 9am. With some of our heaviest times being between 4:00pm and 8:00pm. I have been informed that the City has relied on the parking meters for its parking utilization study. The parking meters are not picking up the utilization from 5:00am until 9:00am. This is the peak time for utilization of the street parking. Accordingly, any parking study utilizing the parking meters is inherently defective. On top of that most of the parking spots south of Hayes are barely used at all. This skews the utilization study making it totally unreliable and cannot be used to eliminate parking spots where all the lifestyle tenants depend on them for the viability of their business.

I used to walk to the CVS on Old Woodward, just north of Hazel Street, on the west side of the Old Woodward. I crossed at the crosswalk at Old Woodward and Hazel. I have sincerely lost count how many times I have almost been hit by car crossing here. After two very scary almost accidents I have decide to drive ever since. My Concern after looking at the City's plans and after what I have experienced, they are placing a bus stop right in front of the 555 Building. Considering the insanity that goes on at the crosswalk at Hazel Street and Old Woodward and Frank Street and Old Woodward. This bus stop will further significantly complicate not only the traffic but most importantly the safety of The City of Birmingham pedestrians.

"You are essentially putting a blind spot in front of a crosswalk that is already dangerous."

In regard to the construction and parking. Some of the clients of Birmingham Ultimate Fitness have physical and mobility limitations. Some require walking support or can only walk short distances. This project would eliminate the ability for these specialized clientele to continue with us. While the City is looking at parking, I believe the handicap parking spots at the South of 555 should be move to the North side of the apartment building directly in front of Birmingham Ultimate Fitness.

To Close, I would like to express that I understand that there are certain infrastructural needs that need to be done. But I sincerely don't believe that a proper amount of research has gone into the effect it is going to have on the small businesses, specifically to the 555 Lifestyle Ctr INCLUDING Birmingham Ultimate Fitness. The timing of this project, the placement of the bus stop, and the loss of parking spots immediately adjacent to the 555 building, show a disheartening lack of concern not only for the businesses but for the citizens of the city of Birmingham.

Very Truly Yours,

Dustin Wenzel

Owner

Birmingham Ultimate Fitness

Statement of Dustin Wenzel regarding major Safety Issues, elimination of parking by the creation of the bus stop and the effect on the small businesses of the 555 Building

Date April 7, 2022

I Dustin Wenzel make the statement being as follows:

I am the Owner of Birmingham Ultimate Fitness Located in residential side of 555 Building and have been at this location for almost 12 years.

I have reviewed in detail the City's plans for the redevelopment of South Old Woodward. With a great amount of attention being paid to the recently released plans for phase three of the project. First and foremost, I would like to express a strong concern for the timing of this project. The Covid-19 Virus has hurt many small businesses over the last two years Birmingham Ultimate Fitness and I'm sure other tenants of the 555-lifestyle center were not Immune. My Issue is that many of us are only recently getting back on our feet and I have great concerns that the timing of this project is going to disrupt much needed and continued growth for recovery. Considerations need to be made for the survival of many of the small business effected by Phase Three.

In addition I have concerns for pedestrians that make the Frank Street and Ann Street cross a much more dangerous route to travel because of "in my opinion" a very poorly placed Bus station. This also raises additional concerns as it unnecessarily removes parking that is critical to the lifestyle tenants of Birmingham.

Birmingham Ultimate Fitness opens at 5/6 am, street parking is fully utilized at this time and remains utilized by all Birmingham Ultimate Fitness Clients until and after 9am. With some of our heaviest times being between 4:00pm and 8:00pm. I have been informed that the City has relied on the parking meters for its parking utilization study. The parking meters are not picking up the utilization from 5:00am until 9:00am. This is the peak time for utilization of the street parking. Accordingly, any parking study utilizing the parking meters is inherently defective. On top of that most of the parking spots south of Hayes are barely used at all. This skews the utilization study making it totally unreliable and cannot be used to eliminate parking spots where all the lifestyle tenants depend on them for the viability of their business.

I used to walk to the CVS on Old Woodward, just north of Hazel Street, on the west side of the Old Woodward. I crossed at the crosswalk at Old Woodward and Hazel. I have sincerely lost count how many times I have almost been hit by car crossing here. After two very scary almost accidents I have decide to drive ever since. My Concern after looking at the City's plans and after what I have experienced, they are placing a bus stop right in front of the 555 Building. Considering the insanity that goes on at the crosswalk at Hazel Street and Old Woodward and Frank Street and Old Woodward. This bus stop will further significantly complicate not only the traffic but most importantly the safety of The City of Birmingham pedestrians.

"You are essentially putting a blind spot in front of a crosswalk that is already dangerous."

In regard to the construction and parking. Some of the clients of Birmingham Ultimate Fitness have physical and mobility limitations. Some require walking support or can only walk short distances. This project would eliminate the ability for these specialized clientele to continue with us. While the City is looking at parking, I believe the handicap parking spots at the South of 555 should be move to the North side of the apartment building directly in front of Birmingham Ultimate Fitness.

To Close, I would like to express that I understand that there are certain infrastructural needs that need to be done. But I sincerely don't believe that a proper amount of research has gone into the effect it is going to have on the small businesses, specifically to the 555 Lifestyle Ctr INCLUDING Birmingham Ultimate Fitness. The timing of this project, the placement of the bus stop, and the loss of parking spots immediately adjacent to the 555 building, show a disheartening lack of concern not only for the businesses but for the citizens of the city of Birmingham.

Very Truly Yours,

Dustin Wenzel

Owner

Birmingham Ultimate Fitness



# **Phase 3 Development- Pictures- Reinhart**

Jack Reinhart <jjreinhart@gmail.com> To: clerk@bhamgov.org

Fri, Apr 8, 2022 at 4:35 PM

Please see attached. I would like to show these three pictures (slide show) in the meeting on April 11th in regards to the Phase 3 Development.

Thank You,

Jack

John J. Reinhart, CPA 555 S. Old Woodward Ave. Suite 705 Birmingham, MI 48009 248-792-5085 office 248-792-5086 fax 313-919-3313 cell jjreinhart@gmail.com



Phase Three Slide Show (2).pptx



Bus Stop In front of Birmingham Place 360 Feet North of the 555 Building







### Fwd: South Old Woodward Phase 3 Plan - Observations

Tom Markus <tmarkus@bhamgov.org>

Sat, Apr 9, 2022 at 4:41 PM

To: City Commission <city-commission@bhamgov.org>, Department Heads <departmentheads@bhamgov.org>

FYI

----- Forwarded message ------

From: john gardner <gardner-arch1@sbcglobal.net>

Date: Sat, Apr 9, 2022 at 4:37 PM

Subject: South Old Woodward Phase 3 Plan - Observations

To: tlonge@bhamgov.org <tlonge@bhamgov.org>, tmarkus@bhamgov.org <tmarkus@bhamgov.org>, Scott Zielinski

<szielinski@bhamgov.org>, Robert Ziegelman <rziegelman@lzarch.com>

Dear Mayor Longe, Mr. Markus and Mr. Zielinski,

Concerning the South Old Woodward Phase 3 - Road and Steetscape Renovation / Beautification Plan.

Please find the attached observations for your review.

Thank you for your consideration.

Regards,

John Gardner and Bob Ziegelman

John H. Gardner, AIA Robert L. Ziegelman, FAIA

L|Z|G

Luckenbach|Ziegelman|Gardner Architects 555 South Old Woodward / Birmingham, Michigan 49009 248.642.3990 gardner-arch1@sbcglobal.net

You received this message because you are subscribed to the Google Groups "DepartmentHeads" group. To unsubscribe from this group and stop receiving emails from it, send an email to departmentheads+unsubscribe@bhamgov.org.

To view this discussion on the web visit https://groups.google.com/a/bhamgov.org/d/msgid/departmentheads/CALPLqCizGG6%3DB-u4Cu-OQ%3DLo1U0gNr1t48-zHF%2Bcq95PVpaRDg%40mail.gmail.com.





### Letter of Ziegelman and Associates architects

1 message

Jack Reinhart < jjreinhart@gmail.com>

Sun, Apr 10, 2022 at 1:00 PM

To: Scott Zielinski <szielinski@bhamgov.org>, tlonge@bhamgov.org, pboutros@bhamgov.org, cballer@bhamgov.org, bhost@bhamgov.org, ahaig@bhamgov.org, emclain@bhamgov.org, kschafer@bhamgov.org, Mary Kucharek <mkucharek@bhlaw.us.com>, Sean Kammer <kammersk@bhamgov.org>, clerk@bhamgov.org
Cc: Ira Jaffe <Ira@irajaffeconsulting.com>, Jason Long <jlong@wwrplaw.com>, "Richard D. Rattner" <rdr@wwrplaw.com>

Received a copy of this letter yesterday, I believe it is appropriate to distribute it to all involved for your information.

Very truly yours,

jack

John J. Reinhart, CPA 555 S. Old Woodward Ave. Suite 705 Birmingham, MI 48009 248-792-5085 office 248-792-5086 fax 313-919-3313 cell jjreinhart@gmail.com

555 STREETSCAPE PLAN COMMENTS COMBINED 4.8.2022 p001.pdf

### Luckenbach|Ziegelaman|Gardner Architects

555 South Old Woodward Avenue 27L Birmingham, Michigan 48009

To Ms. Therese Longe, Mayor Mr. Tom Markus, City Manager

Mr. Scott Zielinski, Assistant City Engineer

City of Birmingham Municipal Building 151 Martin Street Birmingham, Michigan

**Date** April 8, 2022

### **Subject**

City of Birmingham Phase 3: South Old Woodward - Roadway and Streetscape Renovation Project

### **Project Observations**

Dear Mayor Longe, Mr. Markus and Mr. Zielinski,

As long time residents of Birmingham and tenants of the 555 Office Building, we have reviewed the City of Birmingham Renderings and Site Plans concerning the Phase 3 – South Old Woodward Street / Roadway & Streetscape Renovation Project.

Out of curiosity, we were interested in reviewing our LZG Architects Design Proposal made to the 555 Commercial Partners back in September of 2014 for the 555 Apartment & Office Building Complex "Master Plan & Streetscape Concepts". Please See the Attachment.

At that time, LZG envisioned South Old Woodward would be narrowed and sidewalks widened as the City is proposing in today. In the 2014 - 555 plan, we maintained the diagonal parking concept, incorporating "point of arrival peninsulas" at each significant 555 building entry point for the Office, Restaurant & Apartment Building(s). At the time we were exploring an expansion to the 555 Apartment Building with an extension to the south with it's own entry point, separate from the current 555 Bowers area entry location, which served to both identify the key entry locations and to brake up the long expanse of diagonal parking and hardscape. We too sacrificed some street parking, but nowhere near half of the spaces currently located in front of the 555 Office Building, as proposed by the current plan, most of which is sacrificed due to moving the current bus stop located in front of Birmingham Place, 350 feet +/- south to in front of the 555 Office Building.

The proposed South Old Woodward Plan strikes us as particularly odd, in the sense it does not incorporate street parking on the west side of South Old Woodward across from 555, but removes it entirely. In our view (as both architects and landscape architects), one would think some parking spaces should be provided and interspersed among "landscape islands" for both short term customer convenience and handicap accessibility which is extremely important on the west side of the street. Street parking also serves as a signal to retail customers that shopping and services are present behind our "walkable city" building facades, Some street parking is at the very least a visual cue that multi-modal (pedestrian, auto, bicycle, moped) access is present and convenient. Even if a parking space may not be available on the street, the opportunity (albeit may be slight) conveys a message to customers who arrive to the area by automobile- that there is shopping or services available.

Due to the congestion and amount of "moving parts" present at the South Old Woodward / Frank Street and Hazel Street intersection, we believe that the proposed bus stop location placed in front of the 555 Office Building just south of Hazel is a "tragedy waiting to happen". Currently pedestrian crossings along South Old

Woodward at both Bowers and the slightly jogging Hazel / Frank intersections are both exceedingly dangerous and scary. Placing a large opaque object such as a bus stopped in the northbound lane of Old Woodward, blocking vehicular views of the crosswalk at Hazel/Frank, conceivably could lead to even more vehicular-pedestrian near misses or worse. Bob, I and many of our 555 neighbors have all encountered multiple "near death" experiences while attempting to walk over to CVS and return. We believe this particular issue is life threatening and requires serious multi-modal transportation exploration.

A Bus Stop viable alternative location, given the abundance of land and sporadically utilized parking south of the 555 Apartment Building and adjacent to the existing vacant "green space" area, would be a 2<sup>nd</sup> bus stop, in conjunction with the current stop at Birmingham Place. We believe an excellent design opportunity exists for a new plan for a "New Public Green Space / Gateway to Birmingham" Concept such as LZG and Michael J. Dul Landscape Architects proposed to 555 back in 2014, A new, more generous, comfortable bus stop shelter could be planned and integrated into that area along with a new park/green space design. Unfortunately, this open South End Green Space appears to have been completely ignored in the Phase 3 Plan.

Other key components essential to any design would be to create a safe and significant multi-modal ways of crossing South Old Woodward within the South Old Woodward Commercial District as well as similarly safe and significant way(s) of crossing Woodward Avenue to the East and linking the South Old Woodward Commercial Area with the Triangle District. We suspect linking concepts and crossings have been discussed by Planning & Triangle District Boards and Committees, however at this particular time, we are not aware of what is being contemplated or if anything is available for public view and comment. It would be wonderful if these plans were comprehensive and integrated with the Phase 3 Plan, to make sure all bases are covered and be certain everything is in sync.

Regarding public notification concerning this project. We have not observed any City of Birmingham "Public Notice" Signage Boards along South Old Woodward around the 555 vicinity in the past year alerting the public to hearings and/or public planning sessions. In contrast, recently there have been numerous Public Notification Signage Boards along Adams Road concerning proposed development projects along Adams Road.

As Residential City of Birmingham Citizens and 555 Commercial tenants, we are also very interested in the financial implications of this project as it relates to the potential special assessments to property owners and to the tenants in our neighborhood. It would seem full transparency, disclosure and discussion concerning that aspect of the project would take place as well prior to City Government approval and moving ahead with construction.

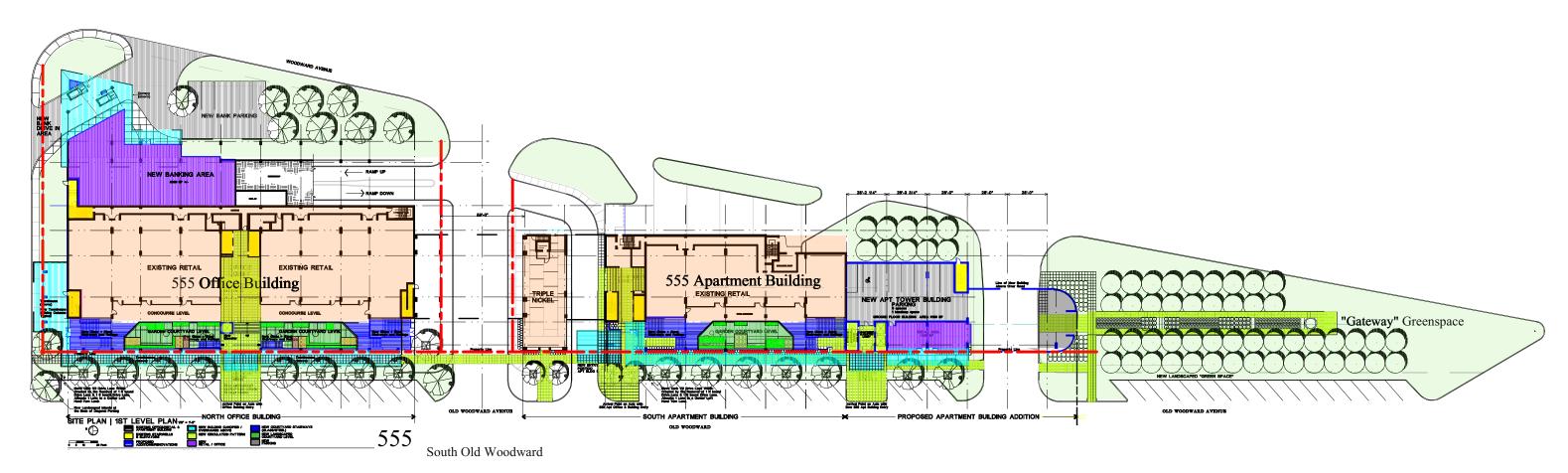
Thank you for your time and consideration.

Sincerely,

John H. Gardner, AIA

Jams H. GADONER

Robert L. Ziegelman, FAIA



Luckenbach|Ziegelman|Gardner Architects

MICHAEL J. DUL & ASSOCIATES, INC



### New city project on South Old Woodward

'KW Team' via Clerk <clerk@bhamgov.org>

Sun, Apr 10, 2022 at 9:36 AM

Reply-To: KW Team < kwteam@hwwbrealtors.com>

To: "kammersk@bhamgov.org" <kammersk@bhamgov.org>, "mkucharek@bhlaw.us.com" <mkucharek@bhlaw.us.com>, "clerk@bhamgov.org" <clerk@bhamgov.org>, "szielinski@bhamgov.org" <szielinski@bhamgov.org>

Hello,

My name is Kathy Wilson and I have enjoyed living and working in downtown Birmingham in excess of 40 years. I am disappointed to only just hear about the proposed project. I can't even imagine where people will park on the south end of town. I travel on Old Woodward from the Harmon to the end of South Old Woodward, where I work more than 4 times a day. I stop at CVS at least twice a week and only park in front of it. I understand that parking is being removed. I also now see that there will be a bus stop going north in front of the 555 building. I am stopped so many times driving to work going South at the bus stops due to the time the bus is stopped and often am in the middle of an intersection while waiting, creating a traffic jam going east and west. Same thing at Maple and Old Woodward. When the bus stops there is NO way to go around it. So the new bus stop going north is worse as you will have to get in a left turning lane to go around the bus, which is illegal, however everyone will do it. Drivers hardly ever stop at the "white lined" pedestrian walkways. Frank street drivers attempting to get on Woodward cross 3 walkways. This is very dangerous...North bound traffic that attempts to go around a stopped bus will definitely cause an accident.

When the snow is piled in the center of the street and I pull out of my driveway from work at 880 S.OLD Woodward it is almost impossible to go North due to heavy snow in the center. Now with this island coming down the middle of the street, I will be forced to go south and drive thru a neighborhood to get home. Not to mention where will the snow go?

It seems that whomever is designing this has no concern over the business on south Old Woodward. Of the 60 spots that I understand are being eliminated, how many are "handicapped" parking. Our customers definitely use the handicapped parking in front of my office. I don't feel there is enough THOUGHT in this project and should be reconsidered.

I pay in excess of \$50,000 property taxes in Birmingham and have promoted Birmingham in my business for over 40 years, but don't understand who are making these decisions creating such dangerous changes along Old Woodward. This is only going to create more traffic problems and no places to park....I, for one, do not like parking in a structure, but even if I did, where would I park in the south end of Old Woodward? There is no municipal parking deck south of Brown and now the City wants to remove 60 street parking?.. These are such valuable parking spots for business, including our Real Estate office and few restaurants on the south end.

I really believe this plan is taking away too many parking spots, especially on the west side. I believe this is a major Error for the city of Birmingham. Parking is one of the BIGGEST complaints in downtown Birmingham!!!

Kathy Wilson, BHHS-Kee Realty

Associate Broker

248-321-8700 cell

248-646-6203 Office



#### **Kathys**

2 messages

Jack Reinhart <jjreinhart@gmail.com>

To: Scott Zielinski <szielinski@bhamgov.org>, tlonge@bhamgov.org, pboutros@bhamgov.org, cballer@bhamgov.org, bhost@bhamgov.org, ahaig@bhamgov.org, emclain@bhamgov.org, kschammer <kammersk@bhamgov.org>, clerk@bhamgov.org

Cc: Ira Jaffe <Ira@irajaffeconsulting.com>, Jason Long <jiong@wwrplaw.com>, "Richard D. Rattner" <rdr@wwrplaw.com>

I received this late yesterday from Kathy Wildson a resident and business owner in the City of Birmingham, I thought it appropriate to distribute it to all involved as soon as possible since the hearing is tomorrow evening.

Thank You,

Very truly yours,

Jack

Hello, my name is Kathy Wilson and I have enjoyed living and working in downtown Birmingham in excess of 40 years. I am disappointed to only just hear about the proposed project. I can't even imagine where people will park on the the south end of town. I travel on Old Woodward from the Harmon to the end of South Old Woodward, where I work more than 4 times a day. I stop at CVS at least twice a week and only park in front of it. I understand that parking is being removed. I also now see that there will be a bus stop going north in front of the 555 building. I am stopped so many times driving to work going South at the bus stops due to the time the bus is stopped and often am in the middle of an intersection while waiting, creating a traffic jam going east and west. Same thing at Maple and Old woodward. When the bus stops there is NO way to go around it. So the new bus stop going north is worse as you will have to get in a left turning lane to go around the buss, which is illegal, however everyone will do it. Drivers hardly ever stop at the "white lined" pedestrian walk ways. Frank street drivers attempting to get on Woodward cross 3 walkways. This is very dangerous...North bound traffic that attempts to go around a stopped bus will definitely cause an accident.

- > When the snow is piled in the center of the street and I pull out of my driveway from work at 880 S.OLD Woodward it is almost impossible to go North due to heavy snow in the center. Now with this island coming down the middle of the street, I will be forced to go south and drive thru a neighborhood to get home. Not to mention where will the snow go?
- > It seems that whomever is designing this has no concern over the business's on south Old Woodward. I am referring to the 60 street Parking spots that I understand are being eliminated. I just Don't understand, these are the most valuable spots we have for future development and are hopefully future tenants. I don't feel there is enough THOUGHT in this project and should be reconsidered.

John J. Reinhart, CPA 555 S. Old Woodward Ave. Suite 705 Birmingham, MI 48009 248-792-5085 office 248-792-5086 fax 313-919-3313 cell iireinhart@cmail.com

Ira Jaffe < Ira@iraiaffeconsulting.com>

Sun, Apr 10, 2022 at 2:16 PM

To: Jack Reinhart < jjreinhart@gmail.com>
Cc: Scott Zielinski eszielinski@bhamgov.org>, "tlonge@bhamgov.org" < tlonge@bhamgov.org", "pboutros@bhamgov.org" < pboutros@bhamgov.org>, "cballer@bhamgov.org" < cballer@bhamgov.org", "ahaig@bhamgov.org", "ahaig@bhamgov.org", "emclain@bhamgov.org", "emclain@bhamgov.org", "emclain@bhamgov.org", "kschafer@bhamgov.org", "kschafer@bhamgov.org", "kschafer@bhamgov.org>, "ksch

These problems and letters etc should be at all the newspapers !!!

Sent from my iPhone

On Apr 10, 2022, at 1:04 PM, Jack Reinhart <i reinhart@gmail.com> wrote:

[Quoted text hidden]



### Fwd: 555 Noticing

2 messages

### Tom Markus <tmarkus@bhamgov.org>

Sun, Apr 10, 2022 at 10:55 AM

To: Brad Host <br/>
shost@bhamgov.org>, City Commission <city-commission@bhamgov.org>, Department Heads <br/>
<departmentheads@bhamgov.org>

Brad: Tell me more about your conversation: 1. How did this conversation come about? In other words who initiated the conversation? 2. Did Mr. Reinhardt state that he is a property owner and as a property owner subject to assessments that he did not receive notice? 3. We follow state law in noticing requirements for noticing the property owners who are subject to assessments for the SOW improvements. 4. We will address pertinent questions during the course of the hearing. 5. Did you express any views or other options to Mr. Reinhardt during the course of your conversation? Tom

----- Forwarded message -----

From: **Brad Host** <<u>bhost@bhamgov.org</u>>
Date: Sun, Apr 10, 2022 at 10:39 AM

Subject: 555 Noticing

To: Jana Ecker < Jecker@bhamgov.org >, Tom Markus < tmarkus@bhamgov.org >

Dear Jana and Tom, Had long talk with Jack Reinhart who says he did not receive any notices for Phase 3. Do you have information to the contrary? Best safe wishes, Brad

Sent from my iPhone

--

You received this message because you are subscribed to the Google Groups "DepartmentHeads" group. To unsubscribe from this group and stop receiving emails from it, send an email to departmentheads+unsubscribe@bhamgov.org.

To view this discussion on the web visit https://groups.google.com/a/bhamgov.org/d/msgid/departmentheads/CALPLqCjOduk0jVFGZTkY9aqGk0r8Xd0Gf3SLsYqzONgODu7gvg%40mail.gmail.com.

### 

Sun, Apr 10, 2022 at 11:24 AM

Brad: Not receiving notice before mid February is not the same as saying he did not get notice. As I said before we will address the questions that are pertinent to the specific agenda item when that item is opened for discussion.

On Sun, Apr 10, 2022 at 11:06 AM Brad Host <br/>
<a href="mailto:bhost@bhamgov.org">bhost@bhamgov.org</a>> wrote:

Dear Tom,

He called me and willingly stated he did not know about this until mid February. Further, he said he did not receive any noticing before mid February. Told him I would ask you about his noticing.

Brad

Sent from my iPhone

On Apr 10, 2022, at 10:55 AM, Tom Markus <tmarkus@bhamgov.org> wrote:

Brad: Tell me more about your conversation: 1. How did this conversation come about? In other words who initiated the conversation? 2. Did Mr. Reinhardt state that he is a property owner and as a property

owner subject to assessments that he did not receive notice? 3. We follow state law in noticing requirements for noticing the property owners who are subject to assessments for the SOW improvements. 4. We will address pertinent questions during the course of the hearing. 5. Did you express any views or other options to Mr. Reinhardt during the course of your conversation? Tom

------ Forwarded message ------From: **Brad Host** <br/>
bhost@bhamgov.org><br/>
Date: Sun, Apr 10, 2022 at 10:39 AM

Subject: 555 Noticing

To: Jana Ecker < Jecker@bhamgov.org >, Tom Markus < tmarkus@bhamgov.org >

Dear Jana and Tom, Had long talk with Jack Reinhart who says he did not receive any notices for Phase 3. Do you have information to the contrary? Best safe wishes, Brad

Sent from my iPhone

You received this message because you are subscribed to the Google Groups "DepartmentHeads" group.
To unsubscribe from this group and stop receiving emails from it, send an email to departmentheads+unsubscribe@

bhamgov.org.

To view this discussion on the web visit https://groups.google.com/a/bhamgov.org/d/msgid/departmentheads/CALPLqCiNmi3wqT-jRL%2BysG%3D\_Qq5OwsdNcWP616L%3D4UYK0gV4og%40mail.gmail.com.



## Fwd: The cities south old waters reconstruction phase 3 in his input from property owners in tenants

1 message

Tom Markus <tmarkus@bhamgov.org>

Mon, Apr 11, 2022 at 11:22 AM

To: City Commission <city-commission@bhamgov.org>, DepartmentHeads <departmentheads@bhamgov.org>

Info only please, no comment. Thanks

----- Forwarded message ------

From: Therese Longe <tlonge@bhamgov.org>

Date: Mon, Apr 11, 2022 at 11:05 AM

Subject: Re: The cities south old waters reconstruction phase 3 in his input from property owners in tenants

To: Jack Reinhart < jjreinhart@gmail.com>

Cc: Tom Markus <tmarkus@bhamgov.org>, Mary Kucharek <mkucharek@bhlaw.us.com>

Dear Mr. Reinhart,

Please see the attached letter.

Thank you,

Therese Longe Mayor Clty of Birmingham

On Sun, Apr 10, 2022 at 5:33 PM Jack Reinhart <i reinhart@gmail.com > wrote:

Honorable Longe, please see my request for a personal meeting tomorrow. Even if it is brief. I think this is very important to the City, its Commissioner's and its business owners and residents.

Thank You So Much.

Jack.

----- Forwarded message -----

From: Jack Reinhart < jjreinhart@gmail.com>

Date: Sun, Apr 10, 2022 at 5:12 PM

Subject: The cities south old waters reconstruction phase 3 in his input from property owners in tenants

To: <mlayne@marxlayne.com>

Cc: Ira Jaffe < Ira@irajaffeconsulting.com >, RICHARD RATTNER < rdrattner@wwrplaw.com >

Honorable Mayor Teresese Longe, City Of Birmingham,

My name is Jack Reinhart I am the The general partner and responsible for the day-to-day management of the 555 building complex on S. Old Ward Ave. This complex comprises office space, retail, lifestyle businesses and luxury residence (the Lifestyle Center, Birmingham).

The 555 building has been Birmingham's most iconic building over the past 50 years. I am also the owner of Manorwood Properties LLC the real estate entity that owns where Birmingham Pub resides.

We have over 150 residential commercial, and retail tenants in the 555 complex that make Birmingham their home and many of them depend on the City Of Birmingham for their livelihood and the support of their families.

The redevelopment of South old Woodward has significant and pernicious consequences for not only the City Of Birmingham but especially those residences and businesses that reside south of Brown Street.

I am sure it's for no fault of any particular person, but, what may look workable in a theoretical study without community input even progressive on a planning design concept can be totally disruptive in the practicalities of real world living and practice.

555 as the largest commercial property owner in South old Woodward Birmingham I am formally requesting that the city and the commissioners thoroughly review their design plan for the south old Woodward reconstruction phase 3 project.

Specifically it is so devastating for all retail to lose this amount of parking spots that is being proposed. On top of that I do not think there's been proper input from the tenants of the 555 building with respect to handicap requirements and safety.

Even More importantly is the dangerous relocation of the bus stop that is completely uncomprehensive and unnecessary and obviously dangerous to any and all pedestrian in the Frank/Hazel crosswalk.

I have reviewed this with a number of professionals and urban planners and no one can understand how this could ever have been proposed.

On top of that the notice that has been given to the property owners, the tenants, and the community is wholly inadequate for this major of a redevelopment and changes in our street scape.

I am sure everyone on the commissioner realizes that south of Brown is a completely different animal than north of Brown. Specifically I am referring to the fact that there are no Municipal parking structures South of Brown-and parking is already at a premium and a nightmare.

In many instances the public park in private parking lots upsetting tax paying property owners of those parking lots. Or even more problematic They park on Ann Street.

555 Building Complex As the most significant property owner south of

Brown and I'm sure pays the most taxes I am totally shocked that no one ever called me or met with me with regarding the far reaching pernicious consequences of the redevelopment of South Old Woodward.

The notice which is really nonexistent that has been given to the property owners and the business owners of S. Old Word Avenue is not adequate for such a major redevelopment and change in our street scape and the livelihoods of the businesses of South Old Woodward Ave.

Property owners and business owners have not been allerted and have no understanding of how drastic the changes are that are being proposed on the streetscape, the safety and the parking of South Old Woodward Avenue.

555 fully understands the need for the replacement of the waterlines and sewage lines in this part of the city. However this does not give the city a Carte blanc license to do whatever they want to do and affect all these property owners and businesses especially without their input and giving them the opportunity to be properly represented with significant qualified counsel from their own professional engineers and traffic consultants.

555 was not nor were any of the tenants of South old Woodward and neighborhood businesses properly notified regarding this transformational project.

Accordingly, with all due respect, 555 Building, the tenants of 555 and the property owners south of Brown Street respectfully request in person meetings with the cities professionals who designed these concepts and allow South Old Woodward to hire qualified professionals and engineers to advise South old Woodward property owners and tenants in order to reach the most effective plan for South Old Woodward.

A plan that gives consideration to not only immediate considerations and demands that the city may have but also to be so consistent with and congruent with the 2040 plan.

I am available at any time to meet subject to the availability of my counsel, Richard Rattner and Jason Long, Esq.

I can be reached at 313-919-3313.

Thank you so very much,

Very truly yours

Jack Reinhart

### Sent from my

--

John J. Reinhart, CPA 555 S. Old Woodward Ave. Suite 705 Birmingham, MI 48009 248-792-5085 office 248-792-5086 fax 313-919-3313 cell jjreinhart@gmail.com

--

You received this message because you are subscribed to the Google Groups "DepartmentHeads" group. To unsubscribe from this group and stop receiving emails from it, send an email to departmentheads+unsubscribe@bhamgov.org.

To view this discussion on the web visit https://groups.google.com/a/bhamgov.org/d/msgid/departmentheads/CALPLqCiJK6OGni4C36wEEJggNHzXejPuJnLwJOZiNSOTgNa92w%40mail.gmail.com.

7

2022.04.11 Ltr to J. Reinhart Re Phase III Project - Mayor Longe.pdf  $344\mbox{\ensuremath{K}}$ 



April 11, 2022

\*\*Via Email: jjreinhart@gmail.com\*\*

Mr. Jack Reinhart 555 S. Old Woodward Avenue Suite #705 Birmingham, MI 48009

Dear Mr. Reinhart:

I am in receipt of your request to meet today regarding your concerns of the Old Woodward Phase III Project. I am aware of the numerous letters you have provided to the City and which have been forwarded to the entire City Commission. The City Commission is in receipt of not only your letters, but all the letters from other persons as well. This issue is on the agenda this evening in connection with the awarding of the contract for the Phase III Project. Therefore, meeting one-on-one today would not be appropriate. Instead, you should address the City Commission during the meeting when the contract item comes up on the agenda. Your communication should be directed to the entire City Commission and not just one (1) Commissioner during the public meeting.

Sincerely yours,

CITY OF BIRMINGHAM

Therese Longe

Mayor

cc: Thomas M. Markus, City Manager Mary M. Kucharek, City Attorney



### FW: Statement from Chris Habbo Located in 555 Building Ste 11L

1 message

Mary Kucharek < Mkucharek@bhlaw.us.com>

Mon, Apr 11, 2022 at 1:24 PM

To: Tom Markus <tmarkus@bhamgov.org>, Alex Bingham <abingham@bhamgov.org>

For distribution

From: Chris Habbo [mailto:chris@caremtg.com]

Sent: Monday, April 11, 2022 11:33 AM

To: szielinski@bhamgov.org; Mary Kucharek < Mkucharek@bhlaw.us.com>; kammersk@bhamgov.org

Subject: Statement from Chris Habbo Located in 555 Building Ste 11L

To Whom it May concern,

My name is Chris Habbo, owner of Care Mortgage located in the 555 building in the south tower.

I understand the concept and vision of the new development and how it can be good for the city as we whole however, I have concerns about the implementation/location of the bus stop, as well as the elimination of very crucial parking spots in front of the building.

In addition to my business, all the of the parking in front of the retail spaces in the 555 building are vital to the accessibility of our clients/customers for our businesses. Moving or eliminating them would be harmful to our businesses and effectively cause us to lose clientele. Obviously the clients we've had for years would remain loyal but having a more inconvenient parking situation would make things unnecessarily difficult to new or relatively new clientele.

I would think a better spot for the bus stop would be on the island located south of the 555 building, just south of Haynes street. Those spots are usually empty and there would be minimal impact on the busier area where the parking spots are being removed in the current proposal from the city.

Thank you.





- 248-712-3924
- 248-242-1016
- □ chris@caremtg.com
- www.caremtg.com
- 555 S Old Woodward Ave, Suite 11L, Birmingham, MI 48009





### **Reinhart Pictures/Slide Show**

Jack Reinhart <jjreinhart@gmail.com>
To: clerk@bhamgov.org

Mon, Apr 11, 2022 at 2:31 PM

Please see attached would it be okay to bring these pictures to the meeting tonight?

John J. Reinhart, CPA 555 S. Old Woodward Ave. Suite 705 Birmingham, MI 48009 248-792-5085 office 248-792-5086 fax 313-919-3313 cell jjreinhart@gmail.com

Phase Three Slide Show.pptx 7064K

# April 5<sup>th</sup> 2022, at 8:10am North Commercial 555 Building All Parking All Occupied

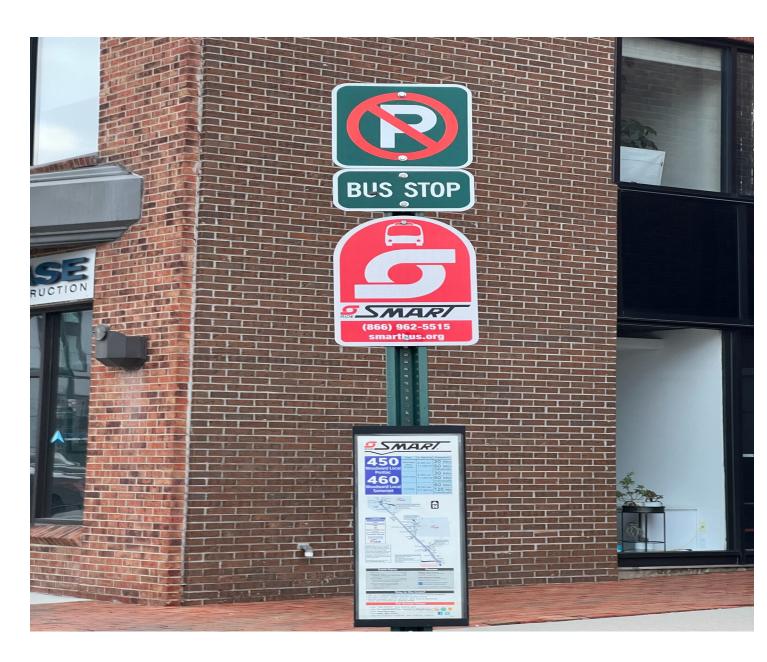


## Monday April 11<sup>th</sup> 2022, at 7:55am All Street Parking spots occupied

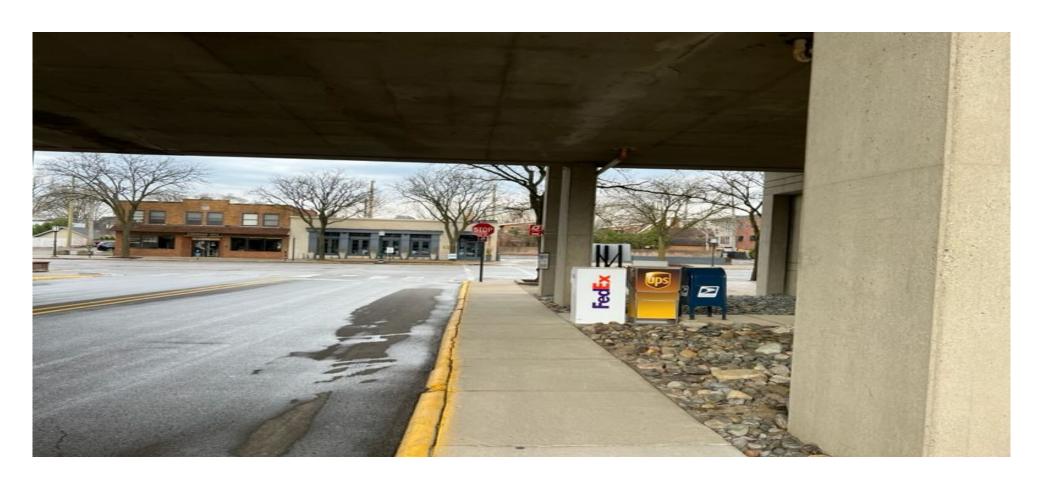




Bus Stop In front of Birmingham Place 360 Feet North of the 555 Building



## Bus Spot Currently on Bowers Street



# Same spot as the bus stop looking North into the 555 Parking Deck



## This is Woodward where you turn right on Bowers to get into the 555 Parking Deck



Pedestrians Crosswalk in Stuart Florida





### Fwd: Approval of South Old Woodward Phase 3 Project

**Tom Markus** <tmarkus@bhamgov.org> To: Alex Bingham <abingham@bhamgov.org> Mon, Apr 11, 2022 at 3:09 PM

Please share with the commissioners

----- Forwarded message ------

From: Therese Longe <tlonge@bhamgov.org>

Date: Mon, Apr 11, 2022 at 3:04 PM

Subject: Fwd: Approval of South Old Woodward Phase 3 Project

To: Tom Markus <tmarkus@bhamgov.org>, Mary Kucharek <mkucharek@bhlaw.us.com>

FYI

----- Forwarded message ------

From: Jake German <jake@dunaskiss.biz>

Date: Mon, Apr 11, 2022 at 2:57 PM

Subject: Approval of South Old Woodward Phase 3 Project

To: <tlonge@bhamgov.org>, <pboutros@bhamgov.org>, <cballer@bhamgov.org>, Brad Host <br/>bhost@bhamgov.org>,

<ahaig@bhamgov.org>, <emclain@bhamgov.org>, <kschafer@bhamgov.org>

Dear Mayor Longe & City Commissioners:

I write to urge you to approve the paving project budget before you this evening as item 7C in the packet.

As you all know, this is the fourth in a series of significant infrastructure improvements that have been required to upgrade the downtown area. I have been in support of and very pleased with the progress of the previous projects: North Old Woodward, Central Old Woodward, Maple Road, and now this project. This final phase of infrastructure upgrades is critical to firmly establish our downtown area for decades to come.

Let's consider some facts on which we can all agree. This portion of South Old Woodward is in dire need of an upgrade and reconstruction. The street condition is terrible and is physically falling apart. As someone who is in downtown Birmingham many times each week to frequent local businesses and restaurants, it is obvious that the street is generally unsafe, aesthetically unpleasing, and unpleasant to traverse as a pedestrian. Not to mention that the underground utilities are antiquated and in significant need of upgrading.

I understand, of course, that the cost of the project is significant, however, this infrastructure rebuilding is absolutely necessary for our city. Moreover, as an individual who consults frequently on development projects, I believe that waiting, or postponing this project in any way, will most likely lead to a notable increase in the overall cost.

The construction industry is very challenged at this time with supply chain issues, increased material costs, product availability, &c. and there is no indication that there will be an easing--leading to lower costs--anytime in the near future. Moving forward on the final phase of this project immediately is in the best interest of the city and is fiscally prudent and sound.

The downtown district in our city is of incredible value and a significant asset to ALL residents; it is the reason that I moved to Birmingham almost 18 years ago. The upkeep and enhancement of the infrastructure in our downtown *benefits* every one of us.

This project has been carefully and thoughtfully planned for years; it incorporates all of the necessary elements that will make it a safer street, more efficient, and an asset to the downtown and the surrounding neighborhoods.

The time to act is now. I encourage all of you to support ALL Birmingham residents by moving this project forward tonight.

Cordially,

Jake German 475 South Adams Road, #18 Birmingham



### **MEMORANDUM**

Office of the City Manager

DATE: April 5, 2022

TO: City Commission

FROM: Thomas M. Markus, City Manager

SUBJECT: Request for Closed Session to discuss a periodic personnel

evaluation of the City Manager

It is requested that the City Commission meet in closed session to:

Consider the periodic personnel evaluation of the City Manager if the named individual requests a closed hearing. I hereby request a closed hearing pursuant to the Open Meetings Act.

#### SUGGESTED COMMISSION ACTION:

Make a motion to meet in closed session to discuss the personnel evaluation of the City Manager pursuant to Section 8(a) of the Open Meetings Act.

(A roll call vote is required and the vote must be approved by a 2/3 majority of the commission. The commission will adjourn to closed session after all other business has been addressed in open session and reconvene to open session, after the closed session, for purposes of taking formal action resulting from the closed session and for purposes of adjourning the meeting.)

### OPEN MEETINGS ACT (EXCERPT) Act 267 of 1976

### 15.268 Closed sessions; permissible purposes; applicability to independent citizens redistricting commission.

- Sec. 8. (1) Except as otherwise provided in subsection (2), a public body may meet in a closed session only for the following purposes:
- (a) To consider the dismissal, suspension, or disciplining of, or to hear complaints or charges brought against, or to consider a periodic personnel evaluation of, a public officer, employee, staff member, or individual agent, if the named individual requests a closed hearing. An individual requesting a closed hearing may rescind the request at any time, in which case the matter at issue must be considered after the rescission only in open sessions.
- (b) To consider the dismissal, suspension, or disciplining of a student if the public body is part of the school district, intermediate school district, or institution of higher education that the student is attending, and if the student or the student's parent or guardian requests a closed hearing.
- (c) For strategy and negotiation sessions connected with the negotiation of a collective bargaining agreement if either negotiating party requests a closed hearing.
- (d) To consider the purchase or lease of real property up to the time an option to purchase or lease that real property is obtained.
- (e) To consult with its attorney regarding trial or settlement strategy in connection with specific pending litigation, but only if an open meeting would have a detrimental financial effect on the litigating or settlement position of the public body.
- (f) To review and consider the contents of an application for employment or appointment to a public office if the candidate requests that the application remain confidential. However, except as otherwise provided in this subdivision, all interviews by a public body for employment or appointment to a public office must be held in an open meeting pursuant to this act. This subdivision does not apply to a public office described in subdivision (j).
  - (g) Partisan caucuses of members of the state legislature.
  - (h) To consider material exempt from discussion or disclosure by state or federal statute.
- (i) For a compliance conference conducted under section 16231 of the public health code, 1978 PA 368, MCL 333.16231, before a complaint is issued.
- (j) In the process of searching for and selecting a president of an institution of higher education established under section 4, 5, or 6 of article VIII of the state constitution of 1963, to review the specific contents of an application, to conduct an interview with a candidate, or to discuss the specific qualifications of a candidate if the particular process of searching for and selecting a president of an institution of higher education meets all of the following requirements:
- (i) The search committee in the process, appointed by the governing board, consists of at least 1 student of the institution, 1 faculty member of the institution, 1 administrator of the institution, 1 alumnus of the institution, and 1 representative of the general public. The search committee also may include 1 or more members of the governing board of the institution, but the number does not constitute a quorum of the governing board. However, the search committee must not be constituted in such a way that any 1 of the groups described in this subparagraph constitutes a majority of the search committee.
- (ii) After the search committee recommends the 5 final candidates, the governing board does not take a vote on a final selection for the president until at least 30 days after the 5 final candidates have been publicly identified by the search committee.
- (iii) The deliberations and vote of the governing board of the institution on selecting the president take place in an open session of the governing board.
- (k) For a school board to consider security planning to address existing threats or prevent potential threats to the safety of the students and staff. As used in this subdivision, "school board" means any of the following:
  - (i) That term as defined in section 3 of the revised school code, 1976 PA 451, MCL 380.3.
- (ii) An intermediate school board as that term is defined in section 4 of the revised school code, 1976 PA 451, MCL 380.4.
- (iii) A board of directors of a public school academy as described in section 502 of the revised school code, 1976 PA 451, MCL 380.502.
- (iv) The local governing board of a public community or junior college as described in section 7 of article VIII of the state constitution of 1963.
- (*l*) For a county veteran services committee to interview a veteran or a veteran's spouse or dependent regarding that individual's application for benefits or financial assistance and discuss that individual's Rendered Thursday, March 31, 2022

  Page 1

  Michigan Compiled Laws Complete Through PA 52 of 2022

application for benefits or financial assistance, if the applicant requests a closed hearing. This subdivision does not apply to a county veteran services committee voting on whether to grant or deny an individual's application for benefits or financial assistance. As used in this subdivision, "county veteran services committee" means a committee created by a county board of commissioners under section 1 of 1953 PA 192, MCL 35.621, or a soldiers' relief commission created under section 2 of 1899 PA 214, MCL 35.22.

(2) This act does not permit the independent citizens redistricting commission to meet in closed session for any purpose. As used in this subsection, "independent citizens redistricting commission" means the independent citizens redistricting commission for state legislative and congressional districts created in section 6 of article IV of the state constitution of 1963.

**History:** 1976, Act 267, Eff. Mar. 31, 1977;—Am. 1984, Act 202, Imd. Eff. July 3, 1984;—Am. 1993, Act 81, Eff. Apr. 1, 1994;—Am. 1996, Act 464, Imd. Eff. Dec. 26, 1996;—Am. 2018, Act 467, Eff. Mar. 27, 2019;—Am. 2021, Act 31, Imd. Eff. June 24, 2021;—Am. 2021, Act 166, Imd. Eff. Dec. 27, 2021.

### Compiler's note: Enacting section 1 of Act 166 of 2021 provides:

"Enacting section 1. This amendatory act is intended to clarify that the independent citizens redistricting commission for state legislative and congressional districts, since its establishment under section 6 of article IV of the state constitution of 1963, has been required to conduct all of its business at open meetings, without exception and in a manner that invites wide public participation throughout this state, as provided in section 6(10) of article IV of the state constitution of 1963, and that the commission continues to be subject to this unqualified open meetings requirement."

# City of Birmingham A Walkable Community

### **MEMORANDUM**

City Manager's Office

DATE: March 8, 2022

TO: City Commission

FROM: Thomas M. Markus, City Manager

SUBJECT: Second Six Months City Manager Performance Update

Throughout the past six months, in addition to the day-to-day activities associated with managing the city, we have accomplished the items listed below. I am pleased with progress made thus far and look forward to continued achievements.

- Selected an Assistant City Manager and created a succession and mentorship plan for the future City Manager.
- Created and hired for the position of Parking Services Manager to holistically address the needs of the City's parking system.
- Hired staff for key positions including Construction Engineer, City Planner, Public Services Manager, Deputy City Clerk, and six first responders.
- Created a contract agreement with Beier Howlett for legal services following a comprehensive RFQ process.
- Created an improved system to ensure that all City contracts have been properly executed and filed.
- Completed a comprehensive review of the City's accounts receivable process and created an improved workflow and approval process for two particular billing areas, outdoor dining and special assessments.
- Negotiated a new healthcare broker contract, saving the City \$110,000 annually over its prior firm.
- Launched the City's new, more accessible website.
- Initiated the creation of a comprehensive City Commission code of conduct.
- Completed the Ice Arena renovation project that included remodeled and expanded locker rooms, a new observation area and meeting room space, and an upgraded concession area.
- Collaborated with MDOT to make pedestrian safety upgrades on Woodward Avenue a priority.
- Encouraged proactive enforcement of the City's snow emergency and snow removal ordinances.
- Supported the Clerk's Office efforts in running the November 2021 City Commission election.
- Introduced the GovPilot citizen request app to streamline resident requests for service
- Implemented employee trainings including citywide sensitivity training and a COVID vaccination information session with an emergency room physician.
- Recouped over \$1.2 million dollars in state and federal reimbursements and grants for the City's Emergency Management response throughout the COVID-19 pandemic.

- Conducted the Long Range Planning meeting featuring 33 presentations from 16 City departments.
- Introduced the process for a strategic planning effort.

As my employment agreement states, "the Commission agrees that it shall establish certain goals and objectives upon which the Employee's performance may be evaluated." At the June 28, 2021 meeting, the Commission evaluated my performance over my first six months as City Manager. I request a closed session performance review for the second sixth period in my role as City Manager pursuant to the OMA at MCL §15.268(a) which states that public bodies such as the City Commission are permitted to meet in closed session "to consider a periodic personnel evaluation of, a public officer, employee, staff member, or individual agent, if the named individual requests a closed hearing."

The Commission is requested to determine a date and format to be used for the next City Manager performance review. Examples of City Manager evaluation instruments are included for the Commission's consideration.

### **ATTACHMENTS**

- Six Month City Manager Performance Update memo, June 10, 2021
- City Manager's Employment Agreement, January 20, 2021
- Examples of City Manager evaluation instruments from Bristol, Tennessee; Columbia, Tennessee; ICMA; Klamath Falls, Oregon; MTAS; San Carlos, California; and Dover, New Hampshire



### **MEMORANDUM**

City Manager's Office

DATE: June 10, 2021

TO: City Commission

FROM: Thomas M. Markus, City Manager

SUBJECT: Six Month City Manager Performance Update

Throughout the past six months, in addition to the day-to-day activities associated with managing the city, we have accomplished the items listed below. I am pleased with progress made thus far and look forward to continued achievements.

- Instituted the Manager's Report to provide Commissioners with a greater level of insight into the daily operations of the city.
- Established workshop sessions to provide Commissioners with time to deeply discuss and understand issues and projects they vote on.
- Moved Parks & Recreation Bond projects forward, such as the Ice Sports Arena renovation/addition project.
- Improved morale among city staff members and fostered a positive working environment.
- Advertised for the Assistant City Manager and Parking System Manager positions. Filled numerous roles including: Human Resources Manager, Human Resources Generalist, Deputy City Clerk, two police officers, part-time clerical assistant, and seasonal laborers.
- Developed a Request for Qualifications for legal services.
- Guided a special review of unimproved streets at a City Commission Workshop. Directed staff to study Commissioner comments and recommendations by the Ad Hoc Unimproved Street Study Committee, and to create a recommended policy.
- Reviewed the Parking Assessment Districts and Triangle District. Directed staff to prepare
  a report on possible changes to special assessment policies and ordinances, and resume
  meetings regarding the Triangle District.
- Guided staff through the extension of COVID-19 relief initiatives that benefited residents, visitors and businesses.
- Transitioned City facilities and operations from the COVID-19 restrictions to a more open environment.
- The City and other control units of the 48<sup>th</sup> District Court agreed that Birmingham would serve as the primary contact for indigent defense counsel pursuant to MCL 780.985.
- Made recommendations regarding the City's use of American Rescue Plan Act funds.
- Guided staff in preparation for the second draft of the Citywide Master Plan for 2040.
- Started the review and preliminary design phase for the South Old Woodward project.
- Entered into Mental Health Co-Response Team interlocal agreement with the Auburn Hills Police Department, Bloomfield Township Police Department and the Oakland County Health Network.
- Contract negotiations with BFFA and AFSCME approved by the Commission.
- Transformed Code Enforcement into Code Assistance to signify that they help individuals understand how to comply with the City's rules and regulations.

- Launched Engage Birmingham as a public engagement tool to better connect residents with their city.
- Guided the review and approval of the 2021-2022 city budget.
- Birmingham rated AAA by the S&P Global Ratings for the nineteenth consecutive year.



### NOTICE OF INTENTION TO APPOINT TO BOARD OF BUILDING TRADES APPEALS

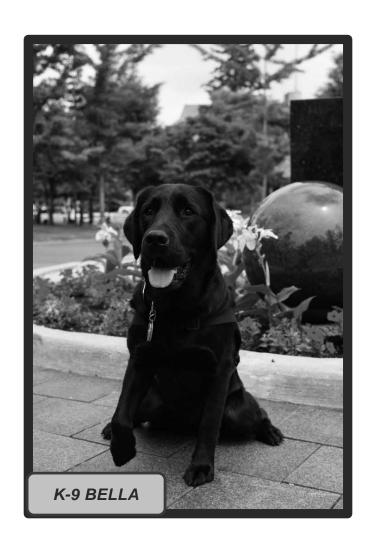
At the regular meeting of Monday, May 23, 2022, the Birmingham City Commission intends to appoint to the Board of Building Trades Appeals three regular members to serve three-year terms to expire May 23, 2025. Applicants shall be qualified by experience or training in fields such as architecture, engineering, mechanical engineering, building, electrical plumbing, heating or refrigeration.

Interested citizens may submit an application available at the City Clerk's office or online at <a href="https://www.bhamgov.org/boardopportunities.">www.bhamgov.org/boardopportunities.</a> Applications must be submitted to the City Clerk's office on or before noon on Wednesday, May 18, 2022. These documents will appear in the public agenda for the regular meeting at which time the City Commission will discuss recommendations, and may make nominations and vote on appointments.

The Board of Building Trades Appeal hears and grants or denies requests for variances from strict application of the provisions of the Michigan Building, Residential, Mechanical and Plumbing Codes and the National Electrical Code. The board will decide on matters pertaining to specific code requirements related to the construction or materials to be used in the erection, alteration or repair of a building or structure.

All members of boards and commissions are subject to the provisions of City of Birmingham City Code Chapter 2, Article IX, Ethics and the filing of the Affidavit and Disclosure Statement.

Criteria/Qualifications of Open Position	Date Applications Due (by noon)	Date of Interview
Members shall be qualified by experience or training. (such as architect, engineer, mechanical engineer, building contractor, electrical contractor, plumbing contractor, heating contractor, and refrigeration contractor)	05/18/2022	05/23/2022



## BIRMINGHAM POLICE DEPARTMENT

# 2021 ANNUAL REPORT

**10E1** 

### **TABLE OF CONTENTS**

	Page
Chiefs Message	2-6
Organizational Chart	7
Personnel Changes	
Distribution	8
Register	9-11
Changes	12
Seniority Distribution	13
Summary of Offenses, Arrests, and Violations	14
Summary of Offenses-Three Year Trend	15
Crime Analysis	
Adult Arrest by Comparison Report	16
Adult Arrest by Month Report	17
Traffic	
Accident Summaries/Trends	18
Parking Violation Summaries	19
Moving Violation Summaries	20
Calls for Service	21
Juvenile Arrest Disposition Report	22
Auxiliary	23



### **CHIEF'S MESSAGE**

March 2022

Birmingham City Commissioners

Thomas M. Markus, City Manager

As Chief of Police for the City of Birmingham, I am proud to present the 2021 edition of the annual report. In 2021, the Birmingham Police Department continued to grow and develop into one of the most progressive departments in the State of Michigan. While the novel coronavirus (COVID-19) pandemic continued to influence our daily lives, the police department continued moving forward and successfully accomplished all of its goals outlined in the 2020 annual report.

The men and women of the police department work diligently to keep Birmingham a safe and welcoming community. Officers of the department are highly trained, educated and professional individuals. The department holds all officers to the highest level of conduct and demands honesty, respect and integrity from all. As chief, I have strived to create and maintain a culture in the department that encourages officers to exercise compassion, empathy and a sense of duty to the service of others. I will continue to work together with the community and the public at large to build a future for all people that ensures fairness, respect, dignity, security and justice for all. I am also committed to meeting community expectations of officer professionalism, responsiveness and department operational transparency.

The department continually re-evaluates itself to ensure that we as an agency meet or exceed our community's expectations, embrace change in order to improve ourselves and continue to evolve as an agency to meet new and changing roles and demands of the law enforcement profession. We are very proud of our accomplishments in 2021. These accomplishments included the following:

- Completed a two-year process to become an accredited agency through the Michigan Association of Chiefs of Police Accreditation Program. Less than 6% of the police departments in the State of Michigan have achieved accredited status.
- Created an interlocal agreement with the Township of Bloomfield, the City of Auburn Hills and the Oakland County Health Network (OCHN) to create a mental health co-response program (CoRe). The CoRe program is a unique, one of a kind program that partners a contracted social worker to co-respond with officers when possible on calls involving individuals suffering a mental health crisis. In addition to the co-response, our social worker also follows-up on cases that have a mental health component, connecting individuals and families with available resources and services to assist with their mental health needs.
- Obtained a \$75,000 grant from the Community Foundation of Southeast Michigan to fund the start of the CoRe program
- Trained 20% of the department's officers in advanced crisis intervention (40-hour training course). The most comprehensive mental health training program is "Crisis Intervention Training" or "CIT." CIT is a community partnership of law enforcement, mental health and addiction professionals, individuals who live with mental illness and/or addiction disorders, their families and other advocates. It is an innovative first responder model of police-based crisis intervention training to help persons with mental disorders and/or addictions access medical treatment rather than place them in the criminal justice system due to illness related behaviors. It also promotes officer safety and the safety of the individual in crisis. The police department is committed to training 20% of the department each year until all officers have received the advanced CIT training.

The police department has planned several new projects in 2021 for 2022 that include:

• Over the course of the year in 2022 and in January of 2023, the police department will have three of its four command staff members retiring (chief of police/two commanders) and one civilian services coordinator. Succession planning is a critical component to ensuring that the police's departments command staff is prepared to continue a legacy of outstanding service and commitment to our community. The department has worked diligently to prepare the next generation of police supervisors to meet the needs of our community and the ever-changing landscape of the law enforcement role in society. Proper training and foresight is necessary to identify future leaders and empower them to become a part of the department's future. By January of 2023, seven of the department's eight command level positions will have new personnel in place. These command level officers will have all gone through an extensive promotional process and received training commensurate with their rank provided by the department.

As mentioned earlier, the police department successfully completed the Michigan Association of Chiefs of Police (MACP) Law Enforcement Accreditation Program. As part of the program, the police department had to pass a final on-site assessment. The MACP Law Enforcement Accreditation Program wrote a comprehensive evaluation report that covered all aspects of the department. The police department met or exceeded standards in every category but one, the safety and security of the police department physical plant. If you have not read the report, I would strongly encourage you to do so. It is very informative report and covers a broad range of topics. The report can be found at the following internet web link:

https://bhamgov.org/about\_birmingham/city\_departments/police\_department/accredited\_agency.php

The police department has discussed these security concerns with the City Manager, Assistant City Manager, Finance Director, Building Official and the City Commission. All have indicated support for making safety and security upgrades to the police department and to City Hall.

Safety and security upgrades to the police department are critical components to maintaining a safe working environment for police department officers and staff members, the public and individuals in custody. The scope of this project will be determined by professional architects/design professionals and could range anywhere from internal construction modifications, major renovations or a possible addition to City Hall.

The City Manager has directed the Police Administration to provide initial oversight for the upgrades to the City Hall and Police Department quarters. The City Administration will provide regular updates on the progress of these improvements.

• The police department will continue to seek out grant opportunities to continue to fund the CoRe program.

As for crime statistics, the City showed a 16% increase in the number of crimes compared to 2020. However, crime statistics for 2020 were dramatically affected by the COVID-19 pandemic, artificially lowering the crime statistics. Using a three-year analysis of the average number of crimes, the 2021 crime statistics are 1.5% below the three-year average. The 2021 crime statistics are in line with the City's average number of crimes from an historical perspective. The efforts of all police department staff, including officers, auxiliary officers, non-sworn personnel and the community itself should be recognized for continuing to work together to keep our City safe.

The mission statement of the Department reflects our agency's commitment to the safety and security of all our residents and visitors:

The Birmingham Police Department is committed to fairness, compassion and excellence in providing services sensitive to the priorities and needs of the community: the protection of life and property, the apprehension of criminal perpetrators and the prevention of crime in accordance with the law.

The chart below summarizes this report, delineating calls for service, major crime categories and arrest categories. For historical perspective, included in this chart are crime statistics from 25 and 50 years ago. While any crime is unacceptable to the police department, the citizens of Birmingham should be very proud of a crime rate that has been consistently low over the course of the past several years.

	2021	2020	2019	1996	1971
Total calls for service	20,022	21,167	20,537	20,094	15,348
Number of sworn officers	33	33	33	35	41
Homicide	0	0	0	0	1
Criminal Sexual Conduct	0	0	3	7	0
I, III					
Robbery	2	1	1	9	17
Vandalism	47	33	33	185	N/A
Burglary	8	14	20	73	196
Larceny	99	80	94	585	906
Vehicle theft	18	10	8	38	56
Operating While	44	27	95	122	33
Impaired					
Fraud	72	89	110	98	69
Adult arrests	212	172	441	488	532
Juvenile arrests	13	12	9	62	305

Despite our relatively small size, the police department's footprint in Oakland County's law enforcement community is broad. The department is a participating member of several multi-jurisdictional task forces organized under cooperative agreements with numerous neighboring law enforcement agencies. These task forces address specialized and complex crime and service related issues. Currently, the department participates in eight of these task forces/cooperative agreements:

**CLEMIS** (Courts and Law Enforcement Management Information System): CLEMIS provides records management, computer aided dispatch systems and criminal data base records for Oakland County police agencies and other local, state and federal agencies. By serving as a technical link among multiple members, CLEMIS promotes communication and sharing of criminal justice information.

**PSAP** (Public Safety Answering Point): The City has provided dispatch services to the Village of Beverly Hills since 2012.

**MCAT** (Major Case Assistance Team): 9 local law enforcement agencies that provide experienced investigators to work on major and complex criminal investigations.

**NET** (Narcotics Enforcement Team): 16 local law enforcement agencies and two federal partners (Drug Enforcement Administration and the Department of Homeland Security) that conduct narcotics investigations throughout Oakland County and other areas. The Oakland County Sherriff's Office supervises the team.

**SIU** (Special Investigations Unit): 5 local law enforcement agencies that target organized criminals/criminal enterprises utilizing undercover operations and surveillance. The team also assist in wanted fugitive apprehensions. The City of Troy Police Department supervises the team.

**OAKTAC** (Oakland County Tactical Unit): 40 local law enforcement agencies throughout Oakland County trained in the area of crowd management and civil unrest events. The team can also assist with active shooter and hostage tactical situations.

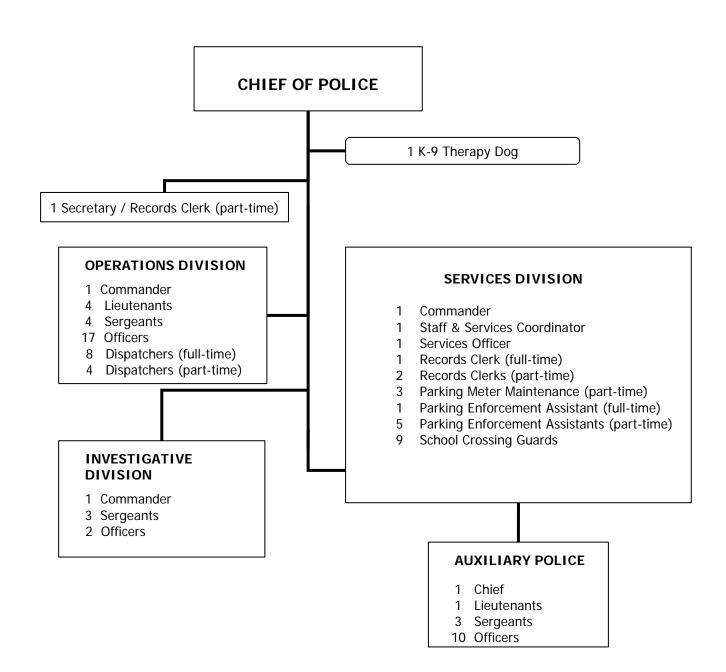
**Federal Bureau of Investigation Financial Crimes Task Force** (FBI): Cooperative agreement with the Federal Bureau of Investigation to assign local law enforcement officers to the FBI in order to work on local fraud cases at the federal level to enhance investigatory capabilities and address large scale fraud cases crossing local, state and federal jurisdictions.

**SOCCIT** (South Oakland County Crash Investigation Team): 5 local law enforcement agencies that provide highly trained officers in the field of accident investigation/reconstruction. The team conducts accident investigations involving serious or fatal vehicle and/or pedestrian traffic related incidents.

It is my hope that this message provides a well-rounded view of the commitment and dedication of the men and women of the Birmingham Police Department. The department could not do the important work of providing for the safety and well-being of the community without the assistance and support we receive from the City Manager, the City Commission and our residents.

### **2021 ORGANIZATIONAL CHART**





### BIRMINGHAM POLICE DEPARTMENT PERSONNEL DISTRIBUTION AUTHORIZED POSITIONS 2021

FULL TIME SWORN POSITIONS	2021	2020	2019	2018	2017
CHIEF OF POLICE	1	1	1	1	1
COMMANDER	3	3	3	3	3
LIEUTENANT	4	4	4	4	4
SERGEANT	7	6	6	6	7
POLICE OFFICER	19	19	19	18	17
SWORN OFFICER TOTAL	34	33	33	32	32
FULL TIME CIVILIAN POSITIONS	2021	2020	2019	2018	2017
PARKING ENFORCEMENT ASSISTANT	1	1	1	1	1
STAFF & SERVICES COORDINATOR	1	1	1	1	1
DISPATCHER	8	8	8	8	8
RECORDS CLERK	1	1	1	1	1
FULL TIME CIVILIAN TOTAL	10	11	11	11	11
FULL TIME EMPLOYEE TOTAL	42	44	44	43	43
PART TIME CIVILIAN POSITIONS	2021	2020	2019	2018	2017
PARKING METER MAINTENANCE	2	3	3	3	3
SCHOOL CROSSING GUARD	9	9	9	9	9
CLERK / SECRETARY	3	3	3	3	3
PARKING ENFORCEMENT ASSISTANT	5	5	5	5	5

# BIRMINGHAM POLICE DEPARTMENT PERSONNEL REGISTER PRESENT FOR DUTY DECEMBER 31 2021

CHIEF OF POLICE Mark H. Clemence

COMMANDERS SERVICES DIVISION Michael Albrecht

INVESTIGATIVE Chris Busen

DIVISION

OPERATIONS DIVISION Scott Grewe

LIEUTENANTS PLATOON A Christopher Koch

PLATOON B Greg Wald
PLATOON C Raymond Faes
PLATOON D Ryan Kearney

SERGEANTS PLATOON A Joseph Bunting

PLATOON B Michael Lyon
PLATOON C Josh Husted

PLATOON D Michael Romanowski

INVESTIGATORS Rebekah Springer

Michael Simpson David Buttigieg Alex Linke Jeff Whipple

POLICE OFFICERS Seth Barone

Josh Bouchard Christopher Bukoski Nichole Cordero Nicholas Hill Josh Husted Nicholas Krumm Brent Macumber Michael Manzo Kyle McCanham Scott McIntyre Gina Moody

Anthony Paredes Michael Pranger Evan Rothe Stefan Syts Lisa Wayner Jordan Zale

DISPATCHERS FULL TIME

Sharon Blair Joya Davis Jamie Irwin

Steven Lemiere-Bozynski

Antoinette Licari Joseph Misiak Daniel Ruby Melissa Toole

**DISPATCHERS** PART TIME Janice Delinko

Maria Kaminske Sarah Wiggins

Ellen DeView

Vacant

STAFF & SERVICES FULL TIME

COORDINATOR

**RECORDS CLERK** FULL TIME Jennifer Davis

SECRETARY PART TIME Michelle Hiser
RECORDS CLERK Brandi Ljungvall

Vacant

PARKING FULL TIME James Lotridge
ENFORCEMENT PART TIME Kenneth Hitchcock
ASSISTANTS Howard Jacobs

Howard Jacobs Robert Prew Linda Rodriguez Christine Williams

PARKING METER PART TIME Rick Waynick
MAINTENANCE Cheryl Vassallo

**AND** Vacant

COLLECTION

SCHOOL PART TIME Rick Argus
CROSSING Evan Berns \*

GUARDS Tanalee Casey
Suppression

Suann Darmody Alexandra Harris

Laura Keaton Thomas Lynch George Oltman, Jr. Iris Poole \* Audrey Reed Steffanie Rhymes Mary Sczesny \*

\* SUBSTITUTE

### **2021 PERSONNEL CHANGES**

#### **PROMOTED**

Josh Husted to Sergeant Alex Linke to Sergeant

#### POSITION ELIMINATED

None

#### RECRUITED

Nichole Cordero, Police Officer Shane Konkol, Police Officer Anthony Paredes, Police Officer Michael Pranger, Police Officer Lisa Wayner, Police Officer Maria Kaminske, Dispatcher (part time) Sarah Wiggins, Dispatcher (part time)

#### **RESIGNED**

Shane Konkol, Police Officer Yacoub Iseid, Police Officer Casey Pedersen, Police Officer Kristen Longtine, Dispatcher (part time) David Sharick, Dispatcher (part time) Kenneth McQuillan, Crossing Guard

#### **RETIRED**

Darlene St. Charles, Records Clerk (part time) Terez Willis, Dispatcher

### **TRANSFERRED**

Officer Gina Moody to Services Officer Gwynn Duffy to Finance Department

### **2021 SENIORITY DISTRIBUTION**

OFFICER / SERGEANT  00-04 years of service 05-09 years of service 10-14 years of service 15-19 years of service		10 9 2 1 3
20-24 years of service 25-30 years of service		3 1
	Total	26
05-09 years of service 10-14 years of service 15-19 years of service 20-24 years of service 25-30 years of service 31-35 years of service	ER	0 0 2 3 2 0
CHIEF	Total	7
35 + years of service		1
	Total	1
00-04 years of service 05-09 years of service 10-14 years of service 15-19 years of service 20-24 years of service 25-29 years of service 30-35 years of service		7 3 1 0 0 0
	Total	12
SWORN OFFICER SENIORITY AVERAGE	,	11.43 YEARS
DISPATCHER SENIORITY AVERAGE (FULL TIME)	,	10.62 YEARS
DISPATCHER SENIORITY AVERAGE (PART TIME)		1.57 YEARS

### SUMMARY OF OFFENSES, ARRESTS, AND VIOLATIONS

The primary goal of the department is protection of life and property, prevention of crime, and apprehension of criminal perpetrators. We strive to deliver the best possible police service in a professional, courteous manner to the residents of the city and to those who work, travel, and shop here.

In 2021, we responded to 20,022 calls for police service, a decrease of 5.41% from the previous year. These calls are classified into three separate groups:

- Group A includes: Robbery, forcible sexual assaults, larceny, burglary, damage to property, etc.
- Group B includes: Operating While Intoxicated (OWI), disorderly conduct, liquor law violations, misdemeanor sex offenses, non-violent family offenses, etc.
- Group C includes: Traffic offenses, traffic crashes, juvenile offenses, warrant arrests, general patrol activity, etc.
- Group A incidents were up 15.58% 2020 = 308 2021 = 356
- Group A arrests were up 63.33% 2020 = 30 2021 = 49
- Group B incidents were down 5.26% 2020 = 133 2021 = 126
- Group B arrests were up 24.19% 2020 = 62 2021 = 77
- Group C incidents were down 5.59% 2020 = 20,728 2021 = 19,569
- Group C arrests were down 5.63% 2020 = 71 2021 = 67
- Traffic citations were up 23.64% 2020 = 2,859 2021 = 3,535
- Total parking violations were up 27.71% 2020 = 28,052 2021 = 35.825

### SUMMARY OF OFFENSES THREE YEAR TREND

OFFENSES	2021	2020	2019	3 YEAR AVERAGE
CRIMINAL HOMICIDE	0	0	0	0
CRIMINAL SEXUAL CONDUCT I, III	0	0	3	1.00
ROBBERY	2	1	1	1.33
ASSAULT ALL	51	34	46	43.66
BURGLARY	8	14	20	14.00
LARCENY	99	80	94	91.00
MOTOR VEHICLE THEFT	18	10	8	12.00
ARSON	0	0	0	0
CRIMINAL SEXUAL CONDUCT II, IV	2	1	2	1.66
FORGERY / COUNTERFEITING	7	4	5	5.33
FRAUD	72	89	110	90.33
EMBEZZLEMENT	2	3	8	4.33
VANDALISM	47	33	33	37.66
OPERATING WHILE INTOXICATED	44	27	95	55.33
TOTALS	352	296	425	357.66

### ADULT ARREST COMPARISON REPORT

OFFENSES	2021	2020	2019	3 YEAR AVERAGE
CRIMINAL SEXUAL CONDUCT I, III	0	0	1	.33
HOMICIDE	0	0	0	0.00
ROBBERY	0	0	0	0.00
ASSAULT	33	15	25	24.33
BURGLARY	1	3	0	1.33
LARCENY	15	9	21	15.00
MOTOR VEHICLE THEFT	0	2	1	1.00
ARSON TOTAL PART A	0 <b>49</b>	0 <b>29</b>	0 <b>48</b>	1.00 <b>42.00</b>
IOIAL PARTA	49	29	40	42.00
CRIMINAL SEXUAL CONDUCT II, IV	0	1	0	.33
FORGERY / COUNTERFEITING	0	0	0	0.00
FRAUD	3	5	10	6.00
EMBEZZLEMENT	2	1	4	2.33
VANDALISM	7	4	3	4.66
OPERATING WHILE INTOXICATED	39	26	86	50.33
OTHER PART B *TOTAL PART B	25 <b>76</b>	26 <b>63</b>	23 <b>126</b>	24.66 <b>88.33</b>
WARRANT ARRESTS	15	25	85	41.66
MISCELLANEOUS DRIVING OFFENSES TOTAL PART C	52 <b>67</b>	46 <b>71</b>	155 <b>240</b>	84.33 <b>126.00</b>
GRAND TOTAL	192	163	414	256.33

### **ADULT ARREST BY MONTH REPORT**

MONTH	2021	2020	2019	3 YEAR AVERAGE
JANUARY	5	32	41	26.00
FEBRUARY	5	32	46	27.66
MARCH	8	20	43	23.66
APRIL	7	0	34	13.66
MAY	17	5	29	17.00
JUNE	7	7	38	17.33
JULY	14	3	36	17.66
AUGUST	16	9	27	17.33
SEPTEMBER	15	8	33	18.66
OCTOBER	12	14	24	16.66
NOVEMBER	8	6	23	12.33
DECEMBER	12	9	24	15.00
TOTAL	126	145	398	223.00

### **ACCIDENT SUMMARIES / TRENDS**

ACCIDENT TYPE	2021 TOTAL	2020 TOTAL	2019 TOTAL	3 YEAR AVERAGE
FATAL INJURY	1	2	0	1 .00
PERSONAL INJURY	46	43	83	57.33
PROPERTY DAMAGE	573	466	743	594.00
TOTAL ACCIDENTS	620	511	826	652.33
# PERSONS KILLED	1	2	0	1.00

### **2021 PARKING VIOLATIONS SUMMARY**

PARKING VIOLATIONS	TOTAL
2021	35,825
2020	28,052
2019	45,691
2018	40,637
2017	37,278
2016	34,078
2015	25,010
2014	34,127
2013	31,535
2012	30,182
2011	31,844
2010	27,695
2009	33,827
2008	34,592
METER VIOLATIONS	TOTAL
2021	33,775
2020	26,438
2019	42,110
2018	36,612
2017	32,691
2016	29,633
2015	20,842
2014	29,629
2013	28,162
2012	27,935
2011	29,737
2010	25,252
2009	30,314
2008	30,584
NON - METER VIOLATIONS	TOTAL
2021	2,050
2020	1,614
2019	3,581
2018	4,025
2017	4,587
2016	4,445
2015	4,168
2014	4,498
2013	3,373
2012	2,247
2011	2,107
2010	2,443
2009	3,508
2008	4,008

### **2021 MOVING VIOLATIONS SUMMARY**

MOVING HAZARDOUS VIOLATIONS	TOTAL
2021	2,225
2020	1,672
2019	4,096
2018	3,512
2017	3,784
2016	3,637
2015	3,355
2014	3,707
2013	4,039
2012	2,285
2011	2,040
2010	2,275
2009	2,429
2008	3,100
2007	4,320
2006	4,739
2005	3,846
2004	3,637
2003	2,725
MOVING NON-HAZARDOUS VIOLATIONS	TOTAL
2021	1,310
2021 2020	1,310 1,187
2021 2020 2019	1,310 1,187 3,383
2021 2020 2019 2018	1,310 1,187 3,383 3,645
2021 2020 2019 2018 2017	1,310 1,187 3,383 3,645 3,176
2021 2020 2019 2018 2017 2016	1,310 1,187 3,383 3,645 3,176 2,795
2021 2020 2019 2018 2017 2016 2015	1,310 1,187 3,383 3,645 3,176 2,795 3,464
2021 2020 2019 2018 2017 2016 2015 2014	1,310 1,187 3,383 3,645 3,176 2,795 3,464 4,280
2021 2020 2019 2018 2017 2016 2015 2014 2013	1,310 1,187 3,383 3,645 3,176 2,795 3,464 4,280 4,525
2021 2020 2019 2018 2017 2016 2015 2014 2013 2012	1,310 1,187 3,383 3,645 3,176 2,795 3,464 4,280 4,525 4,325
2021 2020 2019 2018 2017 2016 2015 2014 2013 2012 2011	1,310 1,187 3,383 3,645 3,176 2,795 3,464 4,280 4,525 4,325 3,082
2021 2020 2019 2018 2017 2016 2015 2014 2013 2012 2011 2010	1,310 1,187 3,383 3,645 3,176 2,795 3,464 4,280 4,525 4,325 3,082 3,054
2021 2020 2019 2018 2017 2016 2015 2014 2013 2012 2011 2010 2009	1,310 1,187 3,383 3,645 3,176 2,795 3,464 4,280 4,525 4,325 3,082 3,054 4,551
2021 2020 2019 2018 2017 2016 2015 2014 2013 2012 2011 2010 2009 2008	1,310 1,187 3,383 3,645 3,176 2,795 3,464 4,280 4,525 4,325 3,082 3,054 4,551 2,378
2021 2020 2019 2018 2017 2016 2015 2014 2013 2012 2011 2010 2009 2008 2007	1,310 1,187 3,383 3,645 3,176 2,795 3,464 4,280 4,525 4,325 3,082 3,054 4,551 2,378 2,119
2021 2020 2019 2018 2017 2016 2015 2014 2013 2012 2011 2010 2009 2008 2007 2006	1,310 1,187 3,383 3,645 3,176 2,795 3,464 4,280 4,525 4,325 3,082 3,054 4,551 2,378 2,119 2,390
2021       2020       2019       2018       2017       2016       2015       2014       2013       2012       2011       2010       2009       2008       2007       2006       2005	1,310 1,187 3,383 3,645 3,176 2,795 3,464 4,280 4,525 4,325 3,082 3,054 4,551 2,378 2,119 2,390 2,816
2021 2020 2019 2018 2017 2016 2015 2014 2013 2012 2011 2010 2009 2008 2007 2006	1,310 1,187 3,383 3,645 3,176 2,795 3,464 4,280 4,525 4,325 3,082 3,054 4,551 2,378 2,119 2,390



### **CALLS FOR SERVICE**

2021	20,022
2020	21,167
2019	20,537
2018	21,032
2017	17,945
2016	14,863
2015	16,771
2014	17,678
2013	18,372
2012	16,571
2011	16,983
2010	17,713
2009	16,031
2008	20,104
2007	18,749
2006	19,997
2005	20,003
2004	20,004
2003	19,628
2002	20,978
2001	19,276
2000	19,469
1999	21,150
1998	21,250
1997	20,950
1996	20,094
1995	19,269
1994	18,864
1993	19,900
1992	18,579

### **2021 JUVENILE ARRESTS / DISPOSITIONS**

	2021	2020	2019
ARRESTS MALE FEMALE TOTAL	5	6	6
	8	6	3
	13	12	9
FELONY *	3	3	1
MISDEMEANOR *	12	14	15
DISPOSITIONS PARENTAL CONFERENCE YOUTH ASSISTANCE JUVENILE COURT	0	0	2
	11	8	6
	2	4	1

<sup>\*</sup> MAY REPRESENT MULTIPLE CHARGES



### **AUXILIARY POLICE REPORT**

The Auxiliary Police is comprised of dedicated volunteers who either live or work in the City of Birmingham.

Each member has been trained through the Police Academy Reserve Officer Training Program.

Auxiliaries assist regular officers during many special events held throughout the year and act as back up to the regular officers on patrol. Members of the Auxiliary Police are perhaps most visible while providing crowd, traffic control, and security for high school sporting events and also while participating in foot patrol assignments in the downtown area throughout summer.

### **AUXILIARY POLICE ROSTER AS OF DECEMBER 31, 2021**

#### **CHIEF**

Kurt Gerber

#### **LIEUTENANTS**

Timothy Griswold

#### **SERGEANTS**

Berge Avesian Robert Denton Brian Fitzerman

#### **OFFICERS**

Alex Calderone
Brian Farrar
James Glavin
Brennan Hamilton
David Jevahirian
Robert Prew
Kyle Ramfos
Michel Saikalis
Thomas Stroble
Charles Tallinger
Michael Wooley



### Fwd: Phone Call - Pat Andrews

1 message

Tom Markus <tmarkus@bhamgov.org>
To: Alex Bingham <abingham@bhamgov.org>

Tue, Apr 5, 2022 at 1:25 PM

----- Forwarded message ------

From: Lauren Wood <Lwood@bhamgov.org>

Date: Tue, Apr 5, 2022 at 11:57 AM Subject: Re: Phone Call - Pat Andrews To: Brad Host <br/>
Shost@bhamgov.org><br/>
Cc: Tom Markus <tmarkus@bhamgov.org>

Hi Brad.

This item for a potential location of site amenities on the vacant space at Fire Station #2 has not had any further action.

In fact, we have been working on getting a "draft" concept plan to foster discussion with the Parks and Recreation Board.

We continue to keep this item on our radar for future discussions.

We will provide further updates on this matter, as they become available.

Lauren

#### Lauren Wood

Director of Public Services

City of Birmingham

#### **Department of Public Services**

851 S. Eton, Birmingham, MI 48009

Direct Dial: 248.530.1702

On Tue, Apr 5, 2022 at 11:11 AM Brad Host <a href="mailto:short@bhamgov.org">bhamgov.org</a> wrote:

Dear Lauren,

Can you update me on Parks and Rec Board's consideration of pocket park East of Fire Station #2?

Thanks in advance,

Brad

Sent from my iPhone

On Apr 5, 2022, at 10:57 AM, Lauren Wood <Lwood@bhamgov.org> wrote:

Hi Brad,

I was out of the office yesterday, but heard your voice message.

Today, I am busy catching up now, so please send me an email about the reason for your call.

It will be more efficient, if you can let me know via email and I will get back to you.

Hope all is well!

Lauren

### **Lauren Wood**

Director of Public Services

City of Birmingham **Department of Public Services**851 S. Eton, Birmingham, MI 48009

Direct Dial: 248.530.1702



### Fwd: SEMCOG General Assembly notes for the Monday 3/28 meeting record

1 message

**Tom Markus** <tmarkus@bhamgov.org>
To: Alex Bingham <abingham@bhamgov.org>

Mon, Mar 28, 2022 at 8:34 AM

----- Forwarded message ------

From: **Andrew Haig** <ahaig@bhamgov.org>

Date: Mon, Mar 28, 2022 at 7:28 AM

Subject: SEMCOG General Assembly notes for the Monday 3/28 meeting record To: Jana Ecker <Jecker@bhamgov.org>, Tom Markus <tmarkus@bhamgov.org> Cc: Therese Longe <tlonge@bhamgov.org>, Katie Schafer <kschafer@bhamgov.org>

Summary notes I took at the SEMCOG mee ng last week for sharing with the community.

Andrew

**SEMCOG General Assembly notes:** 

General news:

- The region is flourishing & starting a major ad campaign "Detroit wins"
- Orion Township is investing heavily in EV infrastructure after the GM plant announcement. Numerous other communities are looking into this, but takeup is slow at this time.
- SEMCOG have an online EV toolkit to help communities plan appropriately.
- Ordinances need updating to the new needs.

#### Legislature news:

- The recent Omnibus package included over \$150M for EM MI communities, however Birmingham is not one of the ones listed as receiving any of these funds
- \$4.7B bill has been passed by the legislature, however \$3.1B of the funds are Covid related and are not part of normal budget allocations. Has no additional stormwater or road infrastructure funds in it
- Census 2020 results are negatively impacting revenue sharing indicating regional population shrinkage.
- The Infrastructure act has increased local funds available over the next 5 years (amount not specified)
- Statewide, 45% of local roads are rated in poor condition, needs additional funding support
- Traffic safety, water & infrastructure taskforces are starting this year
- Transportation Alternative Program (TAP) funding is available: Planning assistance & Stormwater is also an eligible item
- There is a Green Infrastructure allocation of \$1M available for the whole region perhaps Birmingham can apply for partial funding for the Adams Park rain garden cost
- Social Districts have been made permanent & the 2024 expiration date is no longer in force



#### Christina Woods <cwoods@bhamgov.org>

## Fwd: Oakland County Parks and Recreation Community Grants Program - Congratulations!

1 message

Tom Markus <tmarkus@bhamgov.org>

Thu, Apr 7, 2022 at 6:31 AM

To: Alex Bingham <abingham@bhamgov.org>, Christina Woods <cwoods@bhamgov.org>

Place in this agenda under info only.

----- Forwarded message -----

From: Carrie Laird < Claird@bhamgov.org>

Date: Wed, Apr 6, 2022 at 7:47 PM

Subject: Fwd: Oakland County Parks and Recreation Community Grants Program - Congratulations!

To: Wood, Lauren <Lwood@bhamgov.org>, Tom Markus <tmarkus@bhamgov.org>

#### Great news!

----- Forwarded message ------

Date: Wed, Apr 6, 2022, 17:54

Subject: Oakland County Parks and Recreation Community Grants Program - Congratulations!

To: claird@bhamgov.org <claird@bhamgov.org>

Carrie -

Congratulations! At its regular meeting on April 6, 2022 the Oakland County Parks and Recreation Commission awarded the City of Birmingham a grant of \$100,000 for the City of Birmingham Adams Park Development project.

You'll be receiving a more formal announcement and award letter from the Parks Commission and County Board of Commissioners likely by Friday, with the grant agreement to follow within a couple weeks. But we didn't want to hold up letting folks know – we know you've been patiently waiting as we've worked through this first grant cycle. We'll also be putting out a press release for each grant, in partnership with your county commissioner(s). If you're able to send us a quote from your community to include in the release that would be fantastic – you can send to Jane Peterson (cc'd in this e-mail) or just feel free to reply all.

Thank you for submitting such a great project – we look forward to working with you!

Melissa

Melissa Prowse, CPRP

Manager – Parks and Recreation / ADA Coordinator

Planning & Community Services

**Information Only** 

prowsem@oakgov.com

(248) 249-2801

My work schedule is Monday – Friday, 8:30 a.m. – 5:00 p.m.

cid:image001.png@01D812C7.5B345DA0

#### 2 attachments



image001.jpg 26K



image001.jpg 26K



March 31, 2022

Oakland County 1200 N. Telegraph Road Pontiac, MI 48341

Re: Local Government Critical Infrastructure Grant

Dear Grant Application Review Team,

On behalf of the City of Birmingham, I would like to express our sincere gratitude for the opportunity to apply for this grant being offered by Oakland County. Budgets for all communities, just like the County's, are stretched thin as we balance providing the high level of service to our citizens that they expect and deserve, against the rising costs to provide those services. A common adage in government is to try to "make due with less", which tends to lead us to be in a reactionary stance with respect to maintaining and managing our critical infrastructure systems. We see this grant opportunity as a "helping hand" towards strengthening our water and sewer system asset management plans, and providing clear direction and costs for implementing the much needed rehabilitation, repair and maintenance efforts in the near future for our most critical infrastructure systems that provide safe, clean drinking water and disposal of sanitary waste.

In review of the goals that were stated for this grant, we believe the projects we selected strongly meet all of the criteria stated, namely:

- Protecting Public Health
- > Preserving Natural Resources and a Healthy Environment
- Maintaining Reliable, High Quality Service
- Assuring Value for Investment
- Contribute to Economic Prosperity

Water and sewer systems by their nature are paramount to protecting public health, and maintaining the reliability and functionality of these systems is one of the most important functions of City government. This grant will assist the City with not just continuing, but advancing our efforts to plan for future repair, rehabilitation and improvement of the system. The costs for addressing our infrastructure needs can be seen as staggering, but comprehensive planning at this time will guide budgeting and utility rate-setting decisions in the future to spend the available funding as wisely as possible. Managing our infrastructure systems well is crucial to the economic prosperity of the City, as failure to maintain reliable, high quality services will lead to Birmingham being a much less desirable place to live or do business.

### **Information Only**

The City has asked its consulting engineer, Hubbell, Roth & Clark, Inc. (HRC) to assist with the grant application and compilation of supporting materials. HRC has provided their expertise and assistance to the City for more than 25 years for all things related to the water distribution, combined/sanitary sewer system, storm drainage system, and storm water/Rouge River regulatory compliance. In the past, HRC has helped the City develop a long term plan for addressing critical sewer infrastructure deficiencies, which led to the public approval for a bond issue to complete improvements. HRC was instrumental in development of a Storm Water Utility in the City to appropriately apportion sewage disposal charges related to storm water in the combined sewer system.

The City of Birmingham is requesting the maximum grant amount of \$100,000 to leverage a matching investment by the City to make significant strides in our planning efforts with respect to our water distribution and sewage disposal systems. The initiatives that we propose to pursue with the assistance of the grant funding will include:

- further developing our current asset management plans for water and sewer systems;
- integrating the assets into CMMS software system (Cartegraph) that the City has recently invested in;
- continuing evaluation of the condition and remaining life of those assets;
- analyzing the water and sewer system models to determine improvement needs considering climate change and resiliency principles;
- evaluating potential sites for implementation of "green" infrastructure to reduce peak flows in the combined sewer system (both GWK and EF Drain districts);
- prioritizing the repair, rehabilitation and improvement of the assets going into the future;
- analyzing the current funding structure through water and sewer rates, and exploring scenarios for funding future repair, rehabilitation and improvements of the assets;
- developing multi-year programs for replacing undersized water mains and addressing needed sewer repair, rehabilitation and improvements; and
- updating annual maintenance programs for both the water and sewer system.

Work on these programs would be by City staff and consultants. These efforts will build on and advance the investments made by the City for ongoing infrastructure planning efforts, which include water system asset management plans and reliability studies required by EGLE, SAW grant effort for the combined/sanitary and storm sewer systems, and Cartegraph CMMS software implementation to water and sewer system assets.

We thank you again for making the opportunity available to apply for this grant to assist us with critical infrastructure planning. If you have any questions about the application or require additional information, please feel free to contact me by phone at email at 248-530-1839 (office), 248-535-3493 (cell), or by email at <a href="mailto:cityengineer@bhamgov.org">cityengineer@bhamgov.org</a>

Very truly yours,

Jame's J. Surhigh, P.E. Consulting City Engineer

pc: WRC – Mr. Jim Nash, Oakland County Water Resources Commissioner Birmingham – Thomas Markus, Jana Ecker, Lauren Wood, Scott Zielinski