BIRMINGHAM CITY COMMISSION AGENDA Monday, April 11, 2022 MUNICIPAL BUILDING, 151 MARTIN 7:30 P.M.

I. CALL TO ORDER AND PLEDGE OF ALLEGIANCE

Therese Longe, Mayor

II. ROLL CALL

Alexandria Bingham, City Clerk

III. PROCLAMATIONS, CONGRATULATORY RESOLUTIONS, AWARDS, APPOINTMENTS, RESIGNATIONS AND CONFIRMATIONS, ADMINISTRATION OF OATHS, INTRODUCTION OF GUESTS AND ANNOUNCEMENTS.

ANNOUNCEMENTS

- Per the CDC, COVID-19 Community Level for Oakland County is currently Low. The City continues to recommend the public wear masks while attending city meetings. These precautions are recommended while risks for COVID-19 transmission remain from new variants. All City employees, commissioners and board members must wear a mask while indoors when 6-feet of social distancing cannot be maintained. The City continues to provide KN-95 respirators for all in-person meeting attendees.
- As a reminder, the community is encouraged to submit non-emergency concerns or questions to the city via the new GovAlert mobile app. The free app is fast and userfriendly. Simply download the app, available for both iOS and Android devices, and follow the prompts. A short video that explains how to use the app is available at www.bhamgov.org/govalert.
- Happy Birthday Commissioner Schafer
- Proclamation Recognizing Armenian Genocide Remembrance Day
- Proclamation Condemning Violence and Discrimination
- The City of Birmingham received a grant through Oakland County Parks and Recreation Grant Program made possible by the Mileage that was passed by voters in November 2020. The Oakland County Parks and Recreation (OCPR) Grant Programs were created to assist local communities with planning, preliminary engineering/design, and construction costs directly related to park improvement and trail projects located in Oakland County. The City received the maximum award of \$100,000 for the Adams Park Development Project.

IV. OPEN TO THE PUBLIC FOR MATTERS NOT ON THE AGENDA

V. CONSENT AGENDA

All items listed on the consent agenda are considered to be routine and will be enacted by one motion and approved by a roll call vote. There will be no separate discussion of the items unless a Commissioner or citizen so requests, in which event the item will be removed from the general order of business and considered under the last item of new business.

- A. Resolution to approve the City Commission minutes of March 28, 2022.
- B. Resolution to approve the warrant list, including Automated Clearing House payments, dated March 30, 2022, in the amount of \$489,197.83.
- C. Resolution to approve the warrant list, including Automated Clearing House payments, dated April 6, 2022, in the amount of \$583,776.59.
- D. Resolution approving the contract with KLM Landscape for the purchase and planting of 162 trees for the "2022 Spring Tree Purchase and Plant," for a total project cost not to exceed \$70,800.00. Further, to authorize the Mayor and City Clerk to sign the agreement on behalf of the City. Funds are available from the following accounts: \$17,785.75 from the Local Streets Fund-Forestry Service Contract account #203-449.005-819.0000, \$17,785.75 from the Major Streets Fund-Forestry Service Contract account #202-449.005-819.0000, \$18,614.25 from the Local Streets Fund-Operating Supplies account #203-449.005-729.0000, and \$16,614.25 from the Major Streets Fund-Operating Supplies account #202-449.005-729.0000 for these services.
- E. Resolution to approve the purchase of the larvicide material from Clarke Mosquito Control in the amount not to exceed \$10,772.40. Further, to waive the normal bidding requirements based on the government regulated pricing for this type of material. Funds for this purchase will come from the Sewer Fund-Operating Supplies Account #590-536.002-729.0000.
- F. Resolution to set a public hearing date of May 9, 2022 to consider the Special Land Use Permit Amendment, Final Site Plan and Design Review application for 2225 E. 14 Mile Our Shepherd to allow new parking lot landscaping, signage and new covered entries at an existing religious institution in the R2 zoning district.
- G. Resolution to set a public hearing date of May 9, 2022 to consider the Special Land Use Permit Amendment, Final Site Plan and Design Review application for 220 Merrill 220 Restaurant to allow the addition of a new outdoor dining platform in the Merrill St. right-of-way.
- H. Resolution authorizing the Request for Qualifications for a professional facilitator to comprehensively guide the City's strategic planning process and complete the final strategic plan document.
- I. Resolution confirming City Manager's authorization for the emergency expenditure related to the repair of the Peabody Street Structure Emergency Shoring, Additional Column Investigation and Repair by Pullman SST Inc. for a cost not to exceed \$235,000.00 to be charged to the Automobile Parking System Fund, Peabody Parking Structure Capital Outlay Building account #585-538.004-977.0000.

VI. UNFINISHED BUSINESS

VII. NEW BUSINESS

- A. Public Hearing Confirming SAD #897S and SAD #897W S. Old Woodward Water & Sewer Lateral Special Assessment, Phase 3 Project Area
 - Resolution confirming Special Assessment Rolls 897S and 897W as indicated in the Staff Report.
- B. Public Hearing Confirming SAD #897 S. Old Woodward Sidewalk and Streetscape, Phase 3 Project Area
 - Resolution confirming special assessment roll 897 as indicated in the Staff Report.
- C. Resolution to approve the project budget and award the S. Old Woodward Phase 3 Paving Project #1-22 (P) as presented in the Staff Report.
- D. Resolution to meet in closed session to discuss the personnel evaluation of the City Manager pursuant to Section 8(a) of the Open Meetings Act.
 - (A roll call vote is required and the vote must be approved by a 2/3 majority of the commission. The commission will adjourn to closed session after all other business has been addressed in open session and reconvene to open session, after the closed session, for purposes of taking formal action resulting from the closed session and for purposes of adjourning the meeting.)
- E. Commission Items for Future Discussion. A motion is required to bring up the item for future discussion at the next reasonable agenda, no discussion on the topic will happen tonight.
- F. Commission discussion on items from prior meeting

VIII. REMOVED FROM CONSENT AGENDA

IX. COMMUNICATIONS

X. REPORTS

- A. Commissioner Reports
 - 1. Notice of Intention to Appoint to the Board of Building Trade Appeals
- B. Commissioner Comments
- C. Advisory Boards, Committees, Commissions' Reports and Agendas
- D. Legislation
- E. City Staff

1. 2021 Police Annual Report INFORMATION ONLY

XI. ADJOURN

Should you wish to participate in this meeting, you are invited to attend the meeting in person or virtually through ZOOM: https://zoom.us/j/655079760 Meeting ID: 655 079 760
You may also present your written statement to the City Commission, City of Birmingham, 151 Martin Street, P.O. Box 3001, Birmingham, Michigan 48012-3001 prior to the hearing.

NOTICE: Individuals requiring accommodations, such as mobility, visual, hearing, interpreter or other assistance, for effective participation in this meeting should contact the City Clerk's Office at (248) 530-1880 (voice), or (248) 644-5115 (TDD) at least one day in advance to request mobility, visual, hearing or other assistance. Las personas que requieren alojamiento, tales como servicios de interpretación, la participación efectiva en esta reunión deben ponerse en contacto con la Oficina del Secretario Municipal al (248) 530-1880 por lo menos el día antes de la reunión pública. (Title VI of the Civil Rights Act of 1964).

PROCLAMATION City Council of the City of Birmingham

Recognizing April 24 As Armenian Genocide Remembrance Day

WHEREAS, the Birmingham community joins human rights advocates and historians from around the world to recognize and mourn the 1.5 million Armenians who perished in the Armenian Genocide as ordered by the government of the Ottoman Empire, which began on April 24, 1915 with the arrest, exile and murder of hundreds of Armenian intellectuals, political, religious, and business leaders, and

WHEREAS, during the 1915-1923 Genocide, Armenian survivors were forced to witness the slaughter of their relatives and the loss of their ancestral land and property in what is now known as the "First Genocide of the 20th Century," and

WHEREAS, the State of Michigan declared in Act 558 of 2002 that "April 24 of each year shall be the Michigan day of remembrance of the Armenian genocide of 1915-1923 . . . in memory of the victims of the genocide and in honor of the survivors," and

WHEREAS, the failure to learn from the past allows history to repeat itself as the world saw during the 2020 Nagorno-Karabagh war when the military forces of Azerbaijan and Turkey attacked the Armenian civilian population of Nagorno-Karabagh and its churches and civic buildings, resulting in casualties and loss of ancestral land and property, motivated by the same genocidal campaign that their ancestors suffered 107 years earlier, and

WHEREAS, the City of Birmingham City Council is proud to join the Armenian-American community in its commemoration of the 107th anniversary of the Armenian Genocide in an effort to educate others about the tragic loss of life, land, and human rights of the Armenian people and the crimes of genocide committed against them, as well as Greeks and Assyrians, due to religious and political beliefs,

NOW, THEREFORE, BE IT RESOLVED that I, Therese Longe, Mayor of the City of Birmingham, on behalf of the City Council, do hereby proclaim April 24, 2022 as Armenian Genocide Remembrance Day in memory of the victims of the Armenian Genocide and in honor of the survivors and their descendants, and urge all citizens of Birmingham to join in this solemn remembrance.

| Mayor | 30 23 11 12 12 |
|-------|---------------------------------------|
| | 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 |
| | - 15 m |





City of Birmingham

Proclamation

Condemning Any and All Violence or Discrimination Against a Person Based on Race, Color, Natural Origin, Religion, Gender, Sexual Orientation, Age or Disability

WHEREAS, Recent acts of violence or discrimination against Asian Americans, people

of the Jewish faith, members of the LGBTQ community, women and other fellow Americans has further eroded our confidence as a nation that all

people are equal as citizens of the United States; and

WHEREAS, As public servants, we, the Mayor, the City Commission and City Staff,

have an even greater responsibility to prevent, respond and act against violence, discrimination, bias, hatred and racism because when the unacceptable becomes the norm in our society, the safety of all are

threatened; and

WHEREAS, The City condemns all forms of violence or discrimination and supports and

protects all residents and visitors no matter what their ethnicity, race,

religion, sexual orientation, gender or disability; and

WHEREAS, The Mayor, City Commission and City Staff wholeheartedly condemn the

actions and injustices that have again wrought division and crisis in our County, State and national communities and across our United States; and

THEREFORE BE IT RESOLVED,

That I, Therese Longe, Mayor for the City of Birmingham, Michigan, proclaim that the City will maintain constantly vigilant with regard to its own policies and actions and do everything in its power to make certain that Birmingham is and will remain a welcoming City opposed to acts of violence or discrimination against a fellow human being based on Race, Color, Natural Origin, Religion, Gender, Sexual Orientation, Age or Disability.

On Behalf of the City of Birmingham, this 11th day of April, 2022,

Therese Longe, Mayor

Birmingham City Commission Minutes March 28, 2022 Municipal Building, 151 Martin 7:30 p.m.

Vimeo Link: https://vimeo.com/688217515

I. CALL TO ORDER AND PLEDGE OF ALLEGIANCE

Therese Longe, Mayor, opened the meeting with the Pledge of Allegiance.

II. ROLL CALL

Alexandria Bingham, City Clerk, called the roll.

Present: Mayor Longe

Mayor Pro Tem Boutros Commissioner Baller Commissioner Haig Commissioner Host Commissioner McLain Commissioner Schafer

Absent: None

Administration: City Manager Markus, City Clerk Bingham, Assistant City Manager Ecker, City

Attorney Kucharek, Parks and Recreation Manager Laid, Department of Public

Services Director Wood

III. PROCLAMATIONS, CONGRATULATORY RESOLUTIONS, AWARDS, APPOINTMENTS, RESIGNATIONS AND CONFIRMATIONS, ADMINISTRATION OF OATHS, INTRODUCTION OF GUESTS AND ANNOUNCEMENTS.

Announcements

Per the CDC, COVID-19 Community Level for Oakland County is currently Low. The City continues to recommend the public wear masks while attending city meetings. These precautions are recommended while risks for COVID-19 transmission remain from new variants. All City employees, commissioners and board members must wear a mask while indoors when 6-feet of social distancing cannot be maintained. The City continues to provide KN-95 respirators for all in-person meeting attendees.

The community is encouraged to submit non-emergency concerns or questions to the city via the new GovAlert mobile app. The free app is fast and user-friendly. Simply download the app, available for both iOS and Android devices, and follow the prompts. At this time we will play a short video that explains how to use the app. You may also view this video at www.bhamgov.org/govalert.

Proclamation naming April 2022 as National Arab American Heritage Month

Orderly and Efficient Conduct of Meetings of Public Bodies by City Attorney Kucharek

Appointments

Douglas Christensen, applicant for the Parks & Recreation Board, Brian Palmeri, applicant for the Planning Board, and Maria Chirco, applicant for the Board of Review, were interviewed by the Commission. Messrs. Christensen, Palmeri, and Ms. Chirco were not nominated. The Mayor asked the applicants to keep an eye out for future opportunities to serve.

Michael Kopmeyer, applicant for the Multi-Modal Transportation Board (MMTB), was nominated by Commissioner Host. Since Messrs. Long, Zane, Peard, Hocker, St. Germain, and Doolittle were nominated before Mr. Kopmeyer, and were voted into the six available positions on the MMTB, no vote was taken on Mr. Kopmeyer's candidacy.

Since Kristy Barrett was unable to be present for an interview, the Commission agreed to interview her for a potential appointment to the Museum Board at a future meeting.

03-074-22 Appointment of Anne Lipp to the Parks & Recreation Board

The Commission interviewed Anne Lipp for the appointment.

MOTION: Nomination by MPT Boutros:

To appoint Anne Lipp to the Parks and Recreation Board as a regular member to serve a three-year term to expire March 13, 2025.

VOICE VOTE: Ayes, MPT Boutros

Commissioner Baller Commissioner McLain Commissioner Schafer

Mayor Longe

Commissioner Haig Commissioner Host

Nays, None

03-075-22 Appointment of Steve Sweeney to the Parks & Recreation Board

The Commission interviewed Steve Sweeney for the appointment.

MOTION: Nomination by Commissioner Schafer:

To appoint Steve Sweeney to the Parks and Recreation Board as a regular member to serve a three-year term to expire March 13, 2025.

VOICE VOTE: Ayes, MPT Boutros

Commissioner Baller Commissioner McLain Commissioner Schafer

Mayor Longe

Commissioner Haig Commissioner Host

Nays, None

03-076-22 Appointment of Kyle Goulding to the Parks & Recreation Board

The Commission interviewed Kyle Goulding for the appointment.

MOTION: Nomination by Commissioner Host:

To appoint Kyle Goulding to the Parks and Recreation Board as an alternate member to serve the remainder of a three-year term to expire March 13, 2023.

VOICE VOTE: Ayes, MPT Boutros

Commissioner Baller Commissioner McLain Commissioner Schafer

Mayor Longe Commissioner Haig Commissioner Host

Nays, None

03-077-22 Appointment of Anthony Long to the Multi-Modal Transportation Board

The Commission interviewed Anthony Long for the appointment.

MOTION: Nomination by MPT Boutros:

To appoint Anthony Long to the Multi-Modal Transportation Board as a regular member to serve the remainder of a three-year term to expire March 24, 2025.

VOICE VOTE: Ayes, MPT Boutros

Commissioner Baller Commissioner McLain Commissioner Schafer

Mayor Longe Commissioner Haig

Commissioner Host

Nays, None

03-078-22 Appointment of Joe Zane to the Multi-Modal Transportation Board

Joe Zane was recently interviewed by the Commission for an appointment to the Multi-Modal Transportation Board and accordingly was not present for his potential re-appointment.

MOTION: Nomination by Commissioner Baller:

To appoint Joe Zane to the Multi-Modal Transportation Board as a regular member to serve the remainder of a three-year term to expire March 24, 2025.

VOICE VOTE: Ayes, MPT Boutros

Commissioner Baller Commissioner McLain Commissioner Schafer Mayor Longe Commissioner Haig Commissioner Host

Nays, None

03-079-22 Appointment of David Hocker to the Multi-Modal Transportation Board

The Commission interviewed David Hocker for the appointment.

MOTION: Nomination by Commissioner Host:

To appoint David Hocker to the Multi-Modal Transportation Board as a regular member to serve the remainder of a three-year term to expire March 24, 2025.

VOICE VOTE: Ayes, MPT Boutros

Commissioner Baller Commissioner McLain Commissioner Schafer

Mayor Longe

Commissioner Haig Commissioner Host

Nays, None

03-080-22 Appointment of Tom Peard to the Multi-Modal Transportation Board

The Commission interviewed Tom Peard for the appointment.

MOTION: Nomination by Commissioner Host:

To appoint Tom Peard to the Multi-Modal Transportation Board as a regular member to serve the remainder of a three-year term to expire March 24, 2025.

VOICE VOTE: Ayes, MPT Boutros

Commissioner Baller Commissioner McLain Commissioner Schafer

Mayor Longe

Commissioner Haig Commissioner Host

Nays, None

03-081-22 Appointment of Michael St. Germain to the Multi-Modal Transportation Board

The Commission interviewed Michael St. Germain for the appointment.

MOTION: Nomination by Commissioner Haig:

To appoint Michael St. Germain to the Multi-Modal Transportation Board as a regular member to serve the remainder of a three-year term to expire March 24, 2023.

VOICE VOTE: Ayes, MPT Boutros

Commissioner Baller Commissioner McLain Commissioner Schafer

Mayor Longe Commissioner Haig Commissioner Host

Nays, None

03-082-22 Appointment of Mark Doolittle to the Multi-Modal Transportation Board

The Commission interviewed Mark Doolittle for the appointment.

MOTION: Nomination by Commissioner Schafer:

To appoint Mark Doolittle to the Multi-Modal Transportation Board as an alternate member to serve the remainder of a three-year term to expire October 27, 2022.

VOICE VOTE: Ayes, Commissioner Baller

Mayor Longe MPT Boutros

Commissioner Schafer

Nays, Commissioner Host

Commissioner McLain Commissioner Haig

03-083-22 Appointment of Scott Clein to the Planning Board

The Commission interviewed Scott Clein for the appointment.

MOTION: Nomination by Commissioner Schafer:

To appoint Scott Clein to the Planning Board as a regular member to serve a three-year term to expire March 28, 2025.

VOICE VOTE: Ayes, Commissioner Baller

Mayor Longe

Commissioner Host Commissioner McLain Commissioner Haig

MPT Boutros

Commissioner Schafer

Nays, None

03-084-22 Appointment of Robin Boyle to the Planning Board

The Commission interviewed Robin Boyle for the appointment.

MOTION: Nomination by MPT Boutros:

To appoint Robin Boyle to the Planning Board as a regular member to serve a three-year term to expire March 28, 2025.

VOICE VOTE: Ayes, Commissioner Baller

Mayor Longe

Commissioner Host Commissioner McLain Commissioner Haig

MPT Boutros

Commissioner Schafer

Nays, None

03-085-22 Appointment of Jim Cleary to the Cablecasting Board

The Commission interviewed Jim Cleary for the appointment.

MOTION: Nomination by Commissioner Host:

To appoint Jim Cleary to the Cablecasting Board as a regular member to serve a three-year term expiring March 30, 2025.

VOICE VOTE: Ayes, Commissioner Baller

Mayor Longe

Commissioner Host Commissioner McLain Commissioner Haig

MPT Boutros

Commissioner Schafer

Nays, None

03-086-22 Appointment of Jill Stress to the Board of Review

The Commission interviewed Jill Stress for the appointment.

MOTION: Nomination by MPT Boutros:

To appoint Jill Stress to the Board of Review as a regular member to serve the remainder of a three-year term to expire December 31, 2022.

VOICE VOTE: Ayes, Commissioner Baller

Mayor Longe

Commissioner Host Commissioner McLain Commissioner Haig

MPT Boutros

Commissioner Schafer

Nays, None

CC Bingham swore in the present appointees. It was noted that those appointees appearing virtually would be sworn in at a later date.

IV. OPEN TO THE PUBLIC FOR MATTERS NOT ON THE AGENDA

David Bloom submitted a written comment that was included in the agenda packet.

Gordon Rinschler, resident and former Commissioner, commended CA Kucharek for her memorandum on conduct at public meetings and said that the layperson's summary is that Commissioners should not be expected to endure personal slights during Commission meetings.

Charlie Cavell, Birmingham's new Oakland County Commissioner, introduced himself and summarized the Oakland County Commission's current focuses and initiatives.

Dan Marsh, executive director of the Birmingham YMCA, gave an overview of the Birmingham Y's recent successes and upcoming programming. He noted that financial assistance is available for YMCA programming.

V. CONSENT AGENDA

All items listed on the consent agenda are considered to be routine and will be enacted by one motion and approved by a roll call vote. There will be no separate discussion of the items unless a commissioner or citizen so requests, in which event the item will be removed from the general order of business and considered under the last item of new business.

03-087-22 Consent Agenda

The following items were pulled from the Consent Agenda:

Commissioner Haig: Item J – Set Public Hearing for 100 Townsend – Rugby Grille – Special Land

Use Permit, Final Site Plan & Design Review

Item L - Set Special Joint Meeting - The Birmingham Plan 2040 - Second

Draft Review

MOTION: Motion by MPT Boutros, seconded by Commissioner Host:

To approve the Consent Agenda excluding Items J and L.

ROLL CALL VOTE: Aves. MPT Boutros

Commissioner Host Commissioner McLain Commissioner Schafer

Mayor Longe

Commissioner Baller Commissioner Haig

Nays, None

- A. Resolution to approve the City Commission workshop meeting minutes of March 14, 2022.
- B. Resolution to approve the City Commission meeting minutes of March 14, 2022.

- C. Resolution to approve the warrant list, including Automated Clearing House payments, dated March 16, 2022, in the amount of \$501,146.91.
- D. Resolution to approve the warrant list, including Automated Clearing House payments, dated March 23, 2022, in the amount of \$882,073.73.
- E. Resolution to approve a Special Event Permit as requested by the Schools Offer Support to hold the Strides for SOS Race on October 9, 2022 contingent upon compliance with all permit and insurance requirements and payment of all fees and, further, pursuant to any minor modifications that may be deemed necessary by administrative staff at the time of the event, or event cancellation that may be deemed necessary by administrative staff leading up to or at the time of the event.
- F. Resolution to approve a Special Event Permit as requested by Eisenhower Dance Detroit to hold its Youth Ensemble Performance on May 26, 2022, in Shain Park contingent upon compliance with all permit and insurance requirements and payment of all fees and, further, pursuant to any minor modifications that may be deemed necessary by administrative staff at the time of the event, or event cancellation that may be deemed necessary by administrative staff leading up to or at the time of the event.
- G. Resolution to approve the purchase of one (1) Case 721G Zbar T4 (Vehicle #30), as quoted through the State of Michigan MIDEAL extendable purchasing contract #071B7700089, awarded to Southeastern Equipment Company located at 48545 Grand River, Novi, MI 48374, in the amount not to exceed \$208,341.98. Funds for this purchase are available in the FY 2021-2022 Auto Equipment Fund account #641-441.006.971.0100.
- H. Resolution to approve the purchase of one (1) 2022 Freightliner 114SD (Vehicle #160) supplied with a 2100i PD 18" vacuum and 15-yard debris combo, as quoted, from Jack Doheny Company, in the amount not to exceed \$420,030.00. Funds for this purchase are available in the FY 2021-2022 Auto Equipment Fund account #641-441.006.971.0100.
- I. Resolution approving a 3-year contract (through November 7, 2024) with Michigan Automatic Sprinkler, Inc., for irrigation services in an amount not to exceed \$61,575. In addition, to authorize the Mayor and City Clerk to sign the agreement on behalf of the City. Funding for this project has been budgeted for using funds from the following other contractual services accounts: \$25,000 in Parks (101-751.000-811.0000), \$25,000 in Property Maintenance (101-441.003-811.0000) and Major Streets (202-449.003-937.0400).
- K. Resolution of the City of Birmingham demonstrating support of the project and submittal of the application to MDOT for FY 2025 funding assistance under their Local Bridge Program, as presented.
- M. Resolution directing City staff and the Planning Board to consider allowing the operation of food trucks within the City.

AND

Resolution directing City staff and the Planning Board to consider the creation of a Social District to allow for the outdoor consumption of alcohol within a defined area adjacent to two or more licensed establishments.

03-088-22 (Item J) Set Public Hearing for 100 Townsend – Rugby Grille – Special Land Use Permit, Final Site Plan & Design Review

In reply to brief concerns raised by Commissioner Haig, Mayor Longe noted those concerns could be raised and addressed at the public hearing. She noted that the present motion was only to set the public hearing.

Commissioner Haig acknowledged the Mayor's comments and moved the motion.

CM Markus invited Commissioner Haig to also provide Staff with comments before the public hearing in order to make sure those issues are addressed at the public hearing.

MOTION: Motion by Commissioner Haig, seconded by MPT Boutros:

To set a public hearing date of April 25, 2022 to consider the Special Land Use Permit, Final Site Plan and Design Review application for 100 Townsend – Rugby Grille – to allow the addition of a new outdoor dining platform in the Townsend right-of-way.

ROLL CALL VOTE: Ayes, Commissioner Haig

MPT Boutros Commissioner Host Commissioner McLain Commissioner Schafer

Mayor Longe

Commissioner Baller

Nays, None

03-089-22 (Item L) Set Special Joint Meeting - The Birmingham Plan 2040 - Second Draft Review

Commissioner Haig noted that April 18, 2022 might be observed as Easter Monday by some Commission and Planning Board members. He suggested that the Commission consider scheduling the meeting before a regular Commission meeting.

Commissioner Baller said he was not in favor of holding the joint meeting before a regular Commission meeting. He said he was willing to attend a joint meeting held on a day other than a Monday.

After brief further Commission discussion, Commissioner Baller said he would move the resolution, suggesting that conversion about scheduling continue only if the motion failed.

MOTION: Motion by Commissioner Baller, seconded by Commissioner Schafer:

To set a special joint meeting of the City Commission and the Planning Board on April 18, 2022 to finalize the review of the second draft of the Birmingham 2040 Plan.

VOICE VOTE: Ayes, MPT Boutros

Commissioner Host Commissioner McLain Commissioner Schafer

Mayor Longe

Commissioner Baller

Nays, Commissioner Haig

VI. UNFINISHED BUSINESS

None.

VII. NEW BUSINESS

03-090-22 Special Event Application: Sanctuary Worship in the Park

CC Bingham summarized the item.

Kristin Snyder, representing the First Baptist Church, spoke on behalf of the request.

CA Kucharek explained her legal review of the request.

The Mayor noted that two letters were received in opposition to the request and would be included in the meeting minutes.

MOTION: Motion by Commissioner Baller, seconded by Commissioner Schafer:

To deny a Special Event Permit as requested by the First Baptist Church to hold the Sanctuary Worship in the Park on Sundays June 12 - September 4, 2022.

In reply to MPT Boutros, CM Markus said a conversation about the Church's alternative options could occur but should be separate and distinct from the current topic.

Public Comment

Ms. Snyder asked whether one Sunday a month during the summer or one Sunday in total during the summer might be an option. She stated that in the past she had managed two similar events in Shain Park, with one held one day out of the summer and the next held one day during the following summer. She stated that no noise complaints stemmed from either of those events.

CM Markus addressed Ms. Snyder's comments, noting that the policy of the City has moved away from allowing Shain Park to be used for private events. He explained that granting even the one-day request in this case could establish a precedent for allowing other religious organizations to hold services in Shain Park as well. He noted that Shain Park is a heavily-utilized park by the public.

ROLL CALL VOTE: Ayes, MPT Boutros

Commissioner Host Commissioner McLain Commissioner Schafer

Mayor Longe

Commissioner Baller Commissioner Haig

Nays, None

The Mayor encouraged Ms. Snyder to reach out to CM Markus to discuss other potential options.

03-091-22 Adams Park Development Project Contractor

DPSD Wood presented the item.

CM Markus addressed the cost increases between the estimates and the bids, and described some potential ways of mitigating the project's costs.

Commissioner McLain and MPT Boutros both spoke in favor of moving forward with the project.

Commissioner Haig noted that Southeast Michigan Council of Governments (SEMCOG) was offering a grant for green infrastructure and recommended Staff consider applying to get funding for the rain garden aspect of the project. He said he was in favor of moving the project forward either way, but that the grant could be helpful.

MOTION: Motion by MPT Boutros, seconded by Commissioner Host:

To approve the award of the Adams Park Improvement project contract to Michigan Recreational Construction, in the amount of \$1,046,576.00 to be funded from account number 408-751.000-979.0000, to have the Mayor sign the contract on behalf of the City, and further to approve the appropriation and amendment to the 2021-2022 budget as follows:

Park System Construction Fund:

Revenues: Draw from Fund Balance 408-000.000-400.0000 \$346,580.00 Expenditures: Land Improvements 408-751.000-979.0000 \$346,580.00

Public Comment

Geri Rinschler, Vice-President of the S. Poppleton Homeowners' Association, said many in the S. Poppleton neighborhood would be enthusiastic about the opportunity to purchase naming rights and participate in other modes of fundraising for Adams Park.

Pam Graham, member of the S. Poppleton Homeowners' Association and the Parks and Recreation Board, encouraged the Commission to approve the resolution.

Gordon Rinschler agreed with Ms. Rinschler that the neighborhoods near Adams would be enthusiastic about the opportunity to fundraise for Adams Park.

In reply to the Mayor, DPSD Wood confirmed that the naming opportunities would be priced and listed clearly on the website in short order.

Commissioner Host spoke in favor of the project.

ROLL CALL VOTE: Ayes, MPT Boutros

Commissioner Host Commissioner McLain Commissioner Schafer

Mayor Longe

Commissioner Baller Commissioner Haig

Nays, None

O3-092-22 Public Hearings of Liquor License establishments with Resolved and Outstanding Violations

11

The Mayor opened the public hearing at 9:18 p.m.

The Mayor asked ACM Ecker to begin by discussing the establishments now in compliance, with the exceptions of the Daxton and 220 Merrill.

ACM Ecker reviewed the item.

The Mayor closed the public hearing at 9:21 p.m.

Commissioners Haig and Host asked Commissioner Baller whether he has business with any of the listed establishments.

Commissioner Baller said he would have noted a conflict were there one.

MOTION: Motion by MPT Boutros, seconded by Commissioner Schafer:

To approve the renewal of liquor licenses for the 2022 licensing period, for the following establishments holding a Class B, Class C or Microbrewery Liquor License that are now in compliance with Chapter 10, Alcoholic Liquors of the City Code:

- Adachi Restaurant
- All Seasons Of Birmingham
- Bella Piatti
- Birmingham 8 Theater
- Birmingham Pub
- Churchill's Bistro/Cigar Bar
- Griffin Claw Brewing Company
- Hyde Park Prime Steakhouse
- Luxe Bar And Grill
- Mare
- Papa Joe's Gourmet Market Place Birmingham
- Phoenicia
- Salvatore Scallopini
- Slice/Shift/Sidecar
- Social Kitchen And Bar
- Tallulah Wine Bar & Bistro
- The Townsend
- Toast
- Townhouse

ROLL CALL VOTE: Ayes, MPT Boutros

Commissioner Host Commissioner McLain Commissioner Schafer

Mayor Longe

Commissioner Baller Commissioner Haig

Nays, None

03-093-22 Public Hearing of Liquor License Renewal for 220 Merrill

The Mayor recused herself from the discussion and vote on 220 Merrill at 9:23 p.m.

The Mayor Pro Tem opened the public hearing at 9:23 p.m.

ACM Ecker reviewed the item.

The Mayor Pro Tem closed the public hearing at 9:24 p.m.

MOTION: Motion by Commissioner Haig, seconded by Commissioner Schafer:

To approve the renewal of a liquor license for the 2022 licensing period for 220 Merrill as an establishment that holds a Class B, Class C or Microbrewery Liquor License and is now in compliance with Chapter 10, Alcoholic Liquors of the City Code.

ROLL CALL VOTE: Ayes, MPT Boutros

Commissioner Host Commissioner McLain Commissioner Schafer Commissioner Baller Commissioner Haig

Nays, None

03-094-22 Public Hearing of Liquor License Renewal for the Daxton

The Mayor rejoined the meeting and resumed facilitation at 9:24 p.m.

The Mayor Pro Tem recused himself from the discussion and vote on the Daxton at 9:24 p.m. citing a business relationship with the applicant.

The Mayor opened the public hearing at 9:24 p.m.

ACM Ecker reviewed the item.

The Mayor closed the public hearing at 9:25 p.m.

MOTION: Motion by Commissioner Schafer, seconded by Commissioner Haig:

To approve the renewal of a liquor license for the 2022 licensing period for the Daxton as an establishment that holds a Class B, Class C or Microbrewery Liquor License and is now in compliance with Chapter 10, Alcoholic Liquors of the City Code.

ROLL CALL VOTE: Ayes, Mayor Longe

Commissioner Host Commissioner McLain Commissioner Schafer Commissioner Baller Commissioner Haig

Nays, None

03-095-22 Public Hearing to consider the renewal of the liquor license for Dick

O'Dow's at 160 W. Maple

The Mayor Pro Tem rejoined the meeting at 9:26 p.m.

The Mayor opened the public hearing at 9:26 p.m.

ACM Ecker reviewed the item.

Mitch Black, owner of Dick O'Dow's, said it was his intent to comply with the City's requirements.

The Mayor closed the public hearing at 9:31 p.m.

In reply to Commissioner Host, CM Markus said he would recommend taking Mr. Black at his word at this point and proceeding as if the outstanding issue would be resolved within the next 25 days.

MOTION: Motion by MPT Boutros, seconded by Commissioner Host:

To approve the renewal of a liquor license for the 2022 licensing period for Dick O'Dow's as an establishment that holds a Class B, Class C or Microbrewery Liquor License and is now in compliance with Chapter 10, Alcoholic Liquors of the City Code.

Commissioner Haig said he was comfortable with the 'trust but verify' approach recommended by CM Markus at this time. He advocated, however, that establishments only be given one chance to remediate encroachment into the five-foot clear path before the matter is dealt with more severely in the future.

CM Markus noted that encroachment into the five-foot clear path could also result in liability for the City. He agreed that 'trust but verify' accurately described his recommended approach.

ROLL CALL VOTE: Ayes, Mayor Longe

Commissioner Host Commissioner McLain Commissioner Schafer Commissioner Baller Commissioner Haig MPT Boutros

Nays, None

O3-096-22 Public Hearing to consider the renewal of the liquor license for Maple Road Tap Room in Whole Foods at 2100 E. Maple

The Mayor opened the public hearing at 9:38 p.m.

ACM Ecker and CM Markus reviewed the item. CM Markus recommended that if a public hearing is scheduled that it be scheduled for the beginning of May 2022, which is when the applicant should be operational again.

Kelly Allen, attorney, was present on behalf of the applicant. She said the applicant closed down their bistro due to the pandemic, and were in the process of cleaning all the equipment and re-staffing now.

The Mayor closed the public hearing at 9:43 p.m.

In reply to MPT Boutros, CM Markus said the Commission would have the option to continue the hearing in the future if deemed necessary.

In reply to Commissioner Haig, CA Kucharek confirmed that the Commission would have the option to revoke the SLUP for the Maple Road Tap Room if desired because of the violations. CM Markus noted that the circumstances of the pandemic caused confusion for many establishments and suggested that the best course of action would be to have this bistro up and running again.

MOTION: Motion by Commissioner Baller, seconded by Commissioner McLain:

To approve the renewal of the liquor license for the 2022 licensing period for Maple Road Tap Room in Whole Foods, holding a Class B, Class C or Microbrewery Liquor License that is now in compliance with Chapter 10, Alcoholic Liquors of the City Code and to set a public hearing on the SLUP for May 9, 2022.

ROLL CALL VOTE: Ayes, Mayor Longe

Commissioner Host Commissioner McLain Commissioner Schafer Commissioner Baller Commissioner Haig MPT Boutros

Nays, None

03-097-22 Public Hearing to consider the renewal of the liquor license for Casa Pernoi at 310 E. Maple

The Mayor opened the public hearing at 9:50 p.m.

ACM Ecker reviewed the item.

Kelly Allen, attorney, and Luciano Delsignore, owner, spoke on behalf of the request.

The Mayor closed the public hearing at 9:55 p.m.

Commissioner Haig said he would support letting Casa Pernoi continue operation while a solution is sought that would satisfy all parties. He noted that part of his support was contingent on the fact that the area with the eisenglass is both on private property and out of public view.

CM Markus recommended the Commission allow the business to continue operations with the eisenglass in use as long as it commits to pursuing a SLUP amendment and a variance. He noted that the Commission retains the right to review the SLUP if the establishment does not pursue a SLUP amendment and a variance and remains out of compliance.

CM Markus added, in reply to Ms. Allen, that it may be worthwhile for the City to consider an ordinance amendment regarding the restrictions to outdoor dining on private property. He observed that the five foot clear path would still need to be maintained.

In reply to Commission inquiry, Ms. Allen stated that the SLUP amendment documentation was already filed and that she would commit to filing a variance request immediately. She said she would also work

with Staff on a potential ordinance amendment. She said she also appreciated the City Manager's offer to allow the establishment to operate with its eisenglass in place while a solution is sought.

Commissioner Baller said he was supportive of the establishment and hoped it reaches a positive conclusion.

MPT Boutros also voiced support for the establishment.

Commissioner McLain acknowledged the difficulties posed by the pandemic while also stating that contracts between the City and establishments must be respected and enforced. She added that she was supportive of Casa Pernoi.

Commissioner Haig concurred with Commissioner McLain's comment about the necessity of respecting and enforcing contracts between the City and a given establishment. He echoed his previous statement that he was interested in giving operators one chance to remedy a violation.

MOTION: Motion by MPT Boutros, seconded by Commissioner Haig:

To approve the renewal of the liquor license for the 2022 licensing period for Casa Pernoi, holding a Class B, Class C or Microbrewery Liquor License that is now in compliance with Chapter 10, Alcoholic Liquors of the City Code.

ROLL CALL VOTE: Ayes, Mayor Longe

Commissioner Host Commissioner McLain Commissioner Schafer Commissioner Baller Commissioner Haig MPT Boutros

Nays, None

CM Markus stated that the City does not seek to damage any establishments, but to ensure that they comply with their contractual obligations. He explained that when bistros were created the City made commitments to the residents to ensure compliance with the parameters of those licenses. He stated that ACM Ecker and other Staff did a superlative job making sure that all these establishments were either in compliance or returning to compliance as part of this year's liquor license renewal process.

Commissioner Haig recommended that code enforcement apply the five 'S's in order to streamline the process of inspecting an establishment.

Commission discussion on items from prior meeting

Commission Items for Future Discussion. A motion is required to bring up the item for future discussion at the next reasonable agenda, no discussion on the topic will happen tonight.

03-098-22 Filling the City Manager Position

MOTION: Motion by Commissioner Host, seconded by MPT Boutros:

To discuss, at the next reasonable agenda, the process of hiring the next City Manager.

VOICE VOTE: Ayes, Mayor Longe

Commissioner Host Commissioner McLain Commissioner Schafer Commissioner Baller Commissioner Haig

MPT Boutros

Nays, None

03-099-22 Parking Matters

MOTION: Motion by Commissioner Host, seconded by Commissioner Haig: To discuss the parking decks and the parking situation in the central business district.

VOICE VOTE: Ayes, Commissioner Haig

Commissioner Host

Nays, Mayor Longe

Commissioner McLain Commissioner Schafer Commissioner Baller

MPT Boutros

The Commission took at brief recess at 10:42 p.m.

The Commission returned from recess at 10:48 p.m.

VIII. REMOVED FROM CONSENT AGENDA

IX. COMMUNICATIONS

X. REPORTS

A. Commissioner Reports

Commissioners Schafer and Haig attended SEMCOG's general assembly meeting. Commissioner Schafer briefly summarized some of the SEMCOG resources available and some of the topics covered at the meeting.

The Mayor noted that Commissioner Schafer's notes from the meeting would be included in the next agenda packet.

B. Commissioner Comments

Commissioner McLain summarized her experience at the 2022 Michigan Municipal League Capital Conference in Lansing, noting that ACM Ecker and ATCM Fairbairn were also in attendance.

Mayor Longe thanked DPS Staff for organizing the Ice Arena ribbon cutting ceremony. She stated she and Commissioner Host attended the Birmingham Youth Assistance 'Youth in Service' awards and presented

awards and certificates to 22 Birmingham students. She also acknowledged Bella's fifth birthday. Bella is the Birmingham Police Department's Therapy Dog.

Commissioner Host said he hoped to see the Commission become more proactive about addressing residents' concerns. He also said he believes that developers in Birmingham are benefiting at the expense of Birmingham residents.

- C. Advisory Boards, Committees, Commissions' Reports and Agendas
- D. Legislation
- E. City Staff
 - 1. City Manager's Report
 - 2. Community Development Department/Planning Division Annual Report & Planning Board, Historic District Commission, and Design Review Board Action Lists for 2022-2023, submitted by Planning Director Dupuis

INFORMATION ONLY

XI. ADJOURN

Mayor Longe adjourned the meeting at 11:17 p.m.

Alexandria Bingham City Clerk

Laura Eichenhorn City Transcriptionist

City of Birmingham Warrant List Dated 03/30/2022

| Check Number | Early Release | Vendor # | Vendor | Amount |
|--------------|---------------|----------|---------------------------------|----------|
| PAPER CHECK | | | | |
| 284794 | | BDREFUND | Archadeck of Southeast Michigan | 200.00 |
| 284795 | * | 006759 | AT&T | 124.44 |
| 284796 | * | 006759 | AT&T | 252.17 |
| 284797 | * | 003703 | AT&T MOBILITY | 755.20 |
| 284799 | | 003692 | BEST TECHNOLOGY SYS INC | 1,975.00 |
| 284800 | | 003526 | BOUND TREE MEDICAL, LLC | 380.26 |
| 284802 | | BDREFUND | BRUTTELL ROOFING INC | 700.00 |
| 284804 | | 003907 | CADILLAC ASPHALT, LLC | 6,158.61 |
| 284805 | | 009078 | CANON SOLUTIONS AMERICA INC | 163.20 |
| 284806 | | BDREFUND | CEDAR PRESERVATION SYSTEMS LLC | 100.00 |
| 284807 | * | 008540 | CERTIFIED LABORATORIES | 222.39 |
| 284808 | * | 000605 | CINTAS CORPORATION | 90.85 |
| 284809 | * | 000605 | CINTAS CORPORATION | 116.58 |
| 284810 | * | 004188 | COFFEE BREAK SERVICE, INC. | 189.45 |
| 284811 | * | 008955 | COMCAST | 481.12 |
| 284813 | | 001367 | CONTRACTORS CONNECTION INC | 52.40 |
| 284814 | * | MISC | COOKIES BY DESIGN | 375.00 |
| 284815 | | 008512 | COOL THREADS EMBROIDERY | 115.99 |
| 284816 | | BDREFUND | CORNISH, JOHN | 200.00 |
| 284817 | | 007498 | RONALD L. DIX | 70.00 |
| 284818 | | 009130 | DOG WASTE DEPOT | 652.41 |
| 284819 | | 000190 | DOWNRIVER REFRIGERATION | 325.47 |
| 284821 | * | 000179 | DTE ENERGY | 1,560.81 |
| 284822 | * | 000179 | DTE ENERGY | 43.71 |
| 284823 | * | 000179 | DTE ENERGY | 341.49 |
| 284824 | * | 000179 | DTE ENERGY | 5,861.93 |
| 284825 | * | 000179 | DTE ENERGY | 1,757.60 |
| 284826 | * | 000179 | DTE ENERGY | 5,447.87 |
| 284827 | * | 000179 | DTE ENERGY | 3,443.19 |
| 284828 | * | 000179 | DTE ENERGY | 14.76 |
| 284829 | * | 000179 | DTE ENERGY | 1,792.51 |
| 284830 | * | 000179 | DTE ENERGY | 36.24 |
| 284831 | * | 000179 | DTE ENERGY | 15.53 |
| 284832 | * | 000179 | DTE ENERGY | 22.22 |
| 284833 | * | 000179 | DTE ENERGY | 531.06 |
| 284835 | * | 000179 | DTE ENERGY | 46.52 |
| 284836 | * | 000179 | DTE ENERGY | 17.46 |
| 284837 | * | 000179 | DTE ENERGY | 147.56 |
| 284838 | * | 000179 | DTE ENERGY | 150.38 |
| 284840 | | 000196 | EJ USA, INC. | 2,918.72 |
| 284841 | * | 000936 | FEDEX | 58.92 |
| 284842 | | 006654 | FLEETPRIDE INC | 137.98 |

5B

City of Birmingham Warrant List Dated 03/30/2022

| Check Number | Early Release | Vendor # | Vendor | Amount |
|--------------|---------------|----------|----------------------------------|-------------|
| 284843 | | BDREFUND | FOREST GLEN HOMES, LLC | 300.00 |
| 284844 | | 008721 | FORTIS GROUP LLC | 650.00 |
| 284845 | * | MISC | FRANK VISCUSO | 5,400.00 |
| 284846 | * | 004604 | GORDON FOOD | 537.06 |
| 284847 | * | 000245 | GREAT LAKES POPCORN CO | 143.90 |
| 284848 | * | 008007 | GREAT LAKES WATER AUTHORITY | 8,014.56 |
| 284850 | * | 001956 | HOME DEPOT CREDIT SERVICES | 1,056.46 |
| 284851 | * | 009335 | JOEL WILLIAM INGERSOLL | 225.00 |
| 284852 | | BDREFUND | JBE MANAGEMENT LLC | 100.00 |
| 284853 | * | 007244 | CHRISTOPHER JUDKINS | 141.00 |
| 284854 | * | 004088 | KGM DISTRIBUTORS INC | 169.00 |
| 284855 | | BDREFUND | LEVINE & SONS INC | 1,000.00 |
| 284856 | | BDREFUND | LYNCH CUSTOM HOMES | 2,000.00 |
| 284857 | | BDREFUND | MAINSTREET DESIGN & BUILD | 300.00 |
| 284858 | | 000230 | MIKE SAVOIE CHEVROLET INC | 1,713.47 |
| 284859 | * | 007306 | MARK MISCHLE | 145.60 |
| 284860 | * | 009456 | SHRIYA NAMA | 345.00 |
| 284861 | * | 008712 | OAKLAND COUNTY HEALTH DIVISION | 298.00 |
| 284862 | * | 000481 | OFFICE DEPOT INC | 370.05 |
| 284863 | * | 001753 | PEPSI COLA | 845.18 |
| 284864 | | 008974 | PREMIER PET SUPPLY | 15.96 |
| 284865 | * | 006625 | PTS COMMUNICATIONS, INC | 78.00 |
| 284866 | | BDREFUND | PYTIAK & COMPANY | 300.00 |
| 284867 | * | 009443 | COLIN QUACKENBUSH | 25.00 |
| 284868 | * | 008342 | RAIN MASTER CONTROL SYSTEMS | 29.85 |
| 284869 | | BDREFUND | RENEWAL BY ANDERSEN | 500.00 |
| 284870 | | 002759 | ROCKET ENTERPRISE INC | 360.00 |
| 284871 | * | 000218 | ROYAL OAK P.D.Q. LLC | 50.00 |
| 284872 | * | 006590 | SECURE DOOR, LLC | 704.74 |
| 284873 | * | 007142 | SHERWIN-WILLIAMS COMPANY | 69.20 |
| 284874 | | 007907 | SP+ CORPORATION | 3,570.00 |
| 284874 | * | 007907 | SP+ CORPORATION | 1,250.00 |
| 284875 | | BDREFUND | STERLING DEVELOPMENT CORP | 300.00 |
| 284876 | * | 001076 | TAYLOR FREEZER OF MICH INC | 325.00 |
| 284877 | | 000275 | TIRE WHOLESALERS CO INC | 177.60 |
| 284878 | * | 009378 | TRI COUNTY EQUIPMENT, INC | 146.88 |
| 284880 | * | 000293 | VAN DYKE GAS CO. | 271.22 |
| 284881 | * | 000158 | VERIZON WIRELESS | 955.31 |
| 284882 | | BDREFUND | WALLSIDE INC | 500.00 |
| | | | SUBTOTAL PAPER CHECK | \$71,430.04 |
| ACH TRANSACT | ION | | | |
| 5040 | * | 008847 | ABS- AUTOMATED BENEFIT SVCS, INC | 23,434.33 |
| 5041 | * | 002284 | ABEL ELECTRONICS INC | 23.98 |

City of Birmingham Warrant List Dated 03/30/2022

| Check Number | Early Release | Vendor # | Vendor | Amount |
|--------------|---------------|----------|-------------------------------------|--------------|
| 5042 | | 009126 | AMAZON CAPITAL SERVICES INC | 1,550.45 |
| 5042 | * | 009126 | AMAZON CAPITAL SERVICES INC | 263.29 |
| 5043 | * | 009183 | BOB ADAMS TOWING | 270.00 |
| 5044 | * | 007359 | DETROIT CHEMICAL & PAPER SUPPLY | 296.40 |
| 5045 | * | 000565 | DORNBOS SIGN & SAFETY INC | 164.25 |
| 5046 | | 007684 | ELITE TRAUMA CLEAN-UP INC. | 70.00 |
| 5047 | * | 007314 | FLEIS AND VANDENBRINK ENG. INC | 5,702.50 |
| 5048 | * | 000243 | GRAINGER | 716.22 |
| 5049 | * | 001672 | HAYES PRECISION INC | 71.50 |
| 5050 | * | 003458 | JOE'S AUTO PARTS, INC. | 256.66 |
| 5051 | | 000155 | JOHNSON CONTROLS SECURITY SOLUTIONS | 377.07 |
| 5052 | * | 007827 | HAILEY R KASPER | 322.50 |
| 5053 | * | 009370 | MICHAEL SIMON | 162.00 |
| 5055 | | 001194 | NELSON BROTHERS SEWER | 753.00 |
| 5055 | * | 001194 | NELSON BROTHERS SEWER | 2,450.00 |
| 5056 | | 001864 | NOWAK & FRAUS ENGINEERS | 78,831.00 |
| 5057 | * | 006027 | PENCHURA, LLC | 3,494.00 |
| 5058 | * | 001181 | ROSE PEST SOLUTIONS | 47.00 |
| 5059 | * | 002456 | SALES MARKETING GROUP INC | 222.63 |
| 5060 | * | 003785 | SIGNS-N-DESIGNS INC | 110.00 |
| 5061 | * | 001097 | SOCWA | 297,357.10 |
| 5062 | * | 002037 | TOTAL ARMORED CAR SERVICE, INC. | 758.36 |
| 5063 | * | 000301 | PAUL WELLS | 63.55 |
| | | | SUBTOTAL ACH TRANSACTION | \$417,767.79 |
| | | | GRAND TOTAL | \$489,197.83 |

All bills, invoices and other evidences of claim have been audited and approved for payment.

Mark Sulu.

Mark Gerber Finance Director/ Treasurer

*-Indicates checks released in advance and prior to commission approval in order to avoid penalty or to meet contractual agreement/obligation.

City of Birmingham Warrant List Dated 04/06/2022

| Check Number | Early Release | Vendor # | Vendor | Amount |
|--------------|---------------|----------|-------------------------------------|-----------|
| PAPER CHECK | | | | |
| 284883 | | 009267 | 1-2-1 MARKETING INC | 597.00 |
| 284884 | * | 006965 | 7UP DETROIT | 305.19 |
| 284885 | * | MISC | AARON KOSIBA | 565.06 |
| 284886 | * | 009346 | ACCUFORM PRINTING & GRAPHICS, INC | 4,688.00 |
| 284888 | | 009376 | TAIL ACTIVEWEAR | 427.93 |
| 284889 | | BDREFUND | ADAMS, MARY OXENDINE | 1,000.00 |
| 284890 | | 003708 | AIRGAS USA, LLC | 40.95 |
| 284891 | * | 009372 | ALLIED FIRE SALES & SERVICE | 3,067.85 |
| 284892 | | 000500 | ARTECH PRINTING INC | 126.00 |
| 284893 | * | 006759 | AT&T | 252.17 |
| 284894 | | BDREFUND | B-DRY SYSTEM OF MICHIGAN INC | 100.00 |
| 284895 | * | MISC | BERGY DARAKDJIAN | 94.48 |
| 284896 | * | 006894 | DAVID BIANCHETTE | 165.00 |
| 284897 | | BDREFUND | BLOOMFIELD CONSTRUCTION CO | 25.00 |
| 284898 | | 003526 | BOUND TREE MEDICAL, LLC | 95.98 |
| 284899 | * | MISC | BRANDON WYNN | 55.00 |
| 284900 | * | 006953 | JACQUELYN BRITO | 142.99 |
| 284901 | | 009078 | CANON SOLUTIONS AMERICA INC | 205.27 |
| 284901 | * | 009078 | CANON SOLUTIONS AMERICA INC | 1,235.29 |
| 284904 | | 008540 | CERTIFIED LABORATORIES | 415.25 |
| 284905 | | 000605 | CINTAS CORPORATION | 311.34 |
| 284906 | | 000605 | CINTAS CORPORATION | 24.15 |
| 284907 | * | 008955 | COMCAST | 176.99 |
| 284908 | | 007774 | COMCAST BUSINESS | 2,499.00 |
| 284909 | * | 000627 | CONSUMERS ENERGY | 2,921.38 |
| 284910 | | BDREFUND | COSMO TAYLOR, LLC | 5,000.00 |
| 284912 | | BDREFUND | DAVID SCHATZBERG | 500.00 |
| 284913 | | 000233 | DEAN SELLERS | 3,428.06 |
| 284914 | | 002473 | DELL MARKETING L.P. | 1,027.69 |
| 284915 | * | 000179 | DTE ENERGY | 58.49 |
| 284916 | * | 000179 | DTE ENERGY | 155.40 |
| 284917 | * | 000179 | DTE ENERGY | 55.79 |
| 284918 | * | 000179 | DTE ENERGY | 16.43 |
| 284919 | | 002704 | MICHAEL J DUL & ASSOC INC | 83,727.00 |
| 284920 | * | 009340 | DVM UTILITIES | 51,168.91 |
| 284921 | * | 003801 | JANA ECKER | 47.49 |
| 284923 | | 008848 | ELEVATORKEYS.COM | 269.98 |
| 284924 | * | 009100 | ENZO WATER SERVICE | 500.00 |
| 284925 | | BDREFUND | ESSCO OF BIRMINGHAM LLC | 200.00 |
| 284926 | | 001495 | ETNA SUPPLY | 3,000.00 |
| 284927 | * | MISC | FABIO RODI | 60.00 |
| 284928 | | BDREFUND | FACILITY MAINTENANCE & CONSTRUCTION | 200.00 |

5C

City of Birmingham Warrant List Dated 04/06/2022

| Check Number | Early Release | Vendor # | Vendor | Amount |
|--------------|---------------|----------|-------------------------------------|------------|
| 284929 | * | 009458 | MELISSA FAIRBAIRN | 162.11 |
| 284930 | | 002532 | GOLLING CHRYSLER JEEP DODGE INC | 4,363.00 |
| 284931 | * | 004604 | GORDON FOOD | 176.44 |
| 284932 | * | MISC | GREAT LAKES SOFTWASH LLC | 993.20 |
| 284933 | | 000249 | GUARDIAN ALARM | 259.05 |
| 284934 | | BDREFUND | GUARDIAN WATERPROOFING | 100.00 |
| 284935 | | 001531 | GUNNERS METER & PARTS INC | 1,000.00 |
| 284936 | | BDREFUND | HARTFORD ROOFING & WARRANTY CO LLC | 100.00 |
| 284937 | * | 001956 | HOME DEPOT CREDIT SERVICES | 843.23 |
| 284938 | | BDREFUND | HRH CONSTRUCTION LLC | 2,807.00 |
| 284939 | | 000948 | HYDROCORP | 1,381.00 |
| 284940 | | 001625 | J.B. DLCO & MULTISTATE | 1,094.49 |
| 284942 | * | 009249 | JCC CREATIVE LLC | 400.00 |
| 284943 | * | 007244 | CHRISTOPHER JUDKINS | 50.00 |
| 284944 | * | MISC | KAREN HOCK | 648.41 |
| 284945 | | 003464 | KINSMAN CO INC | 162.66 |
| 284946 | | BDREFUND | KITCHENS BY RICHARDS | 100.00 |
| 284947 | | 009375 | LITHIA MOTORS, INC SUPPORT SERVICES | 586.67 |
| 284948 | | BDREFUND | LIVE WELL CUSTOM HOME LLC | 1,400.00 |
| 284949 | * | 007521 | LUIGI FERDINANDI & SON INC | 89,583.18 |
| 284950 | | BDREFUND | MARTIN JON MIRACLE, JR | 100.00 |
| 284951 | * | 009214 | KYLE MCCANHAM | 146.22 |
| 284952 | | 008793 | MERGE MOBILE, INC. | 73.00 |
| 284953 | | MISC | METRO SIGNS & LIGHTING | 6,380.34 |
| 284954 | | 005252 | MIAM | 75.00 |
| 284955 | | MISC | MICHIGAN COMMUNICATIONS DIRECTORS | 299.00 |
| 284957 | | 008313 | MMIA | 70.00 |
| 284958 | | BDREFUND | NEST CONSTRUCTION | 100.00 |
| 284959 | | 008687 | NORTH BREATHING AIR, LLC | 529.00 |
| 284961 | | 000919 | OAKLAND COUNTY TREASURER | 19.50 |
| 284962 | * | 004370 | OCCUPATIONAL HEALTH CENTERS | 448.00 |
| 284964 | * | 000481 | OFFICE DEPOT INC | 28.49 |
| 284965 | | 007701 | ON THE TEE | 207.10 |
| 284966 | | BDREFUND | ORTIZ, AMY | 100.00 |
| 284967 | | 008852 | REDGUARD FIRE & SECURITY INC | 300.00 |
| 284968 | | BDREFUND | ROSSO DEVELOPMENT CO | 125.00 |
| 284969 | * | 007898 | JEFFREY SCHEMANSKY | 484.98 |
| 284970 | | BDREFUND | SINGLE PLY SOLUTIONS INC | 300.00 |
| 284971 | * | MISC | STATE OF MICHIGAN | 75.00 |
| 284972 | | MISC | THE DETROIT JEWISH NEWS | 800.00 |
| 284973 | * | 008585 | TODD WENZEL BUICK GMC | 120,678.30 |
| 284974 | | 005481 | TRI-COUNTY INTL TRUCKS, INC. | 440.50 |
| 284975 | | 005631 | ULTIMATE REEL GRINDING LLC | 1,830.00 |

City of Birmingham Warrant List Dated 04/06/2022

| Check Number | Early Release | Vendor # | Vendor | Amount |
|--------------|---------------|----------|-----------------------------------|--------------|
| 284977 | * | 000158 | VERIZON WIRELESS | 1,090.94 |
| 284978 | * | 000158 | VERIZON WIRELESS | 914.15 |
| 284979 | * | 000158 | VERIZON WIRELESS | 139.58 |
| 284980 | * | 000158 | VERIZON WIRELESS | 147.54 |
| 284981 | * | 001536 | JEFFREY WHIPPLE | 130.37 |
| | | | SUBTOTAL PAPER CHECK | \$411,194.96 |
| ACH TRANSACT | CION | | | |
| 5064 | * | 008847 | ABS- AUTOMATED BENEFIT SVCS, INC | 56,077.77 |
| 5065 | * | 002284 | ABEL ELECTRONICS INC | 550.00 |
| 5066 | | 009126 | AMAZON CAPITAL SERVICES INC | 257.21 |
| 5066 | * | 009126 | AMAZON CAPITAL SERVICES INC | 51.11 |
| 5067 | * | 000282 | APOLLO FIRE EQUIPMENT | 751.71 |
| 5068 | * | 001357 | ART/DESIGN GROUP LTD | 50.00 |
| 5069 | * | 007345 | BEVERLY HILLS ACE | 39.53 |
| 5070 | * | 007624 | BIRMINGHAM OIL CHANGE CENTER, LLC | 74.94 |
| 5071 | | 009431 | CITY OF BIRMINGHAM #248 | 6,685.43 |
| 5072 | * | 008044 | CLUB PROPHET | 1,120.00 |
| 5073 | * | 007807 | G2 CONSULTING GROUP LLC | 825.00 |
| 5074 | * | 008851 | INSIGHT INVESTMENT | 5,903.00 |
| 5075 | | 000261 | J.H. HART URBAN FORESTRY | 32,180.06 |
| 5076 | | 009298 | JCR SUPPLY INC | 1,239.37 |
| 5077 | * | 003458 | JOE'S AUTO PARTS, INC. | 1,080.01 |
| 5078 | * | 005550 | LEE & ASSOCIATES CO., INC. | 858.45 |
| 5080 | * | 001194 | NELSON BROTHERS SEWER | 205.00 |
| 5081 | * | 007856 | NEXT | 30,736.00 |
| 5082 | * | 006359 | NYE UNIFORM COMPANY | 2,344.00 |
| 5083 | * | 002767 | OSCAR W. LARSON CO. | 931.72 |
| 5084 | * | 008901 | PLANTE & MORAN CRESA, LLC | 2,800.00 |
| 5085 | | 006729 | QUENCH USA INC | 419.07 |
| 5086 | * | 003554 | RKA PETROLEUM | 20,349.49 |
| 5087 | * | 001181 | ROSE PEST SOLUTIONS | 71.00 |
| 5088 | * | 000254 | SOCRRA | 250.00 |
| 5089 | | 005787 | SOUTHEASTERN EQUIPMENT CO. INC | 1,874.83 |
| 5090 | | 009266 | US SIGNAL COMPANY LLC | 2,678.13 |
| 5091 | * | 007278 | WHITLOCK BUSINESS SYSTEMS, INC. | 1,849.38 |
| 5092 | | 000926 | WRIGHT TOOL COMPANY | 329.42 |
| | | | SUBTOTAL ACH TRANSACTION | \$172,581.63 |

Meeting of 04/11/2022

City of Birmingham Warrant List Dated 04/06/2022

Check Number Early Release Vendor # Vendor Amount

GRAND TOTAL

All bills, invoices and other evidences of claim have been audited and approved for payment.

Mark Suhn

Mark Gerber Finance Director/ Treasurer

^{*-}Indicates checks released in advance and prior to commission approval in order to avoid penalty or to meet contractual agreement/obligation.



MEMORANDUM

(Department of Public Services)

DATE:

March 30, 2022

TO:

Thomas M. Markus, City Manager

FROM:

Lauren Wood, Director of Public Services

Brendan McGaughey, Parks and Forestry Foreman

SUBJECT:

Spring 2022 Tree Purchase and Planting Project

INTRODUCTION:

Twice a year, the City of Birmingham plants trees in residential and major street rights-of-ways and parks as part of our tree replacement program. Sealed bids were opened on Friday, March 18, 2022 for the cost to provide and plant one hundred and sixty-two (162) trees. The Request for Proposals (RFP) was entered into the Michigan Inter-Governmental Trade Network (MITN) purchasing system. The trees will be planted along various street rights-of-way and parks during the spring of 2022.

BACKGROUND:

This purchase will include providing all trees, planting, topsoil, mulch, stakes and necessary pruning. Watering is the responsibility of the resident, and the contractor is to place watering notification flyers at every property receiving a new tree. The trees also come with a 2-year warranty. The majority of the planting will occur in the right-of-way on various residential streets, and some will be planted on major road medians and parks (which will be properly watered by the City or a contractor).

Two (2) bidders responded to the request for proposals. The result of the sealed bids follows in the table below.

| Bidder | Base Bid | Complete Bid |
|---------------------------|-------------|--------------|
| KLM Landscape | \$70,800.00 | Yes |
| Davey Tree Expert Company | \$86,865.00 | Yes |

KLM Landscape is able to supply all trees and perform all work as requested.

LEGAL REVIEW:

The City Attorney has completed a review of this RFP and contract agreement.

FISCAL IMPACT:

This project was included in the 2021-2022 Approved Budget. Funds are available from the Local Streets Fund-Forestry Service Contract account, the Major Streets Fund-Forestry Service Contract account, the Local Streets Fund-Operating Supplies account, and the Major Streets Fund-Operating Supplies account for these services. Also, DPS has received a new grant to help supplement this planting: \$15,000 from the OAKSTEM 2021 Grant Program, which is administered by Oakland County for communities within the George W. Kuhn (GWK) Drainage District.

PUBLIC COMMUNICATIONS:

The Department of Public Services (DPS) mails a postcard to all residential addresses receiving a tree as part of the spring or fall planting program. It provides details of the upcoming planting project and informs them they will be receiving a tree. As mentioned, upon the tree planting, a door hanger is provided at the residence with tree care instructions including water requirements.

SUMMARY:

The RFP requires bidders to provide references, completed projects similar in scope, size and purpose, and written plan/timeline for the project. After reviewing all submitted materials, checking references, and conducting an interview, the Department of Public Services recommends awarding the "2022 Spring Tree Purchase and Plant" project to KLM Landscape. They have worked with the city on numerous other planting projects and always complete any necessary warranty replacements. Also, they are the lowest and most responsive bidder.

Upon award, the contractor will be notified to secure the tree stock and call MISS DIG before they begin planting, and postcards will be sent out by DPS.

ATTACHMENTS:

The Agreement including the required Insurance Certificate, Bidder's Agreement, Cost Proposal, and Iran Sanctions Act Vendor Certification Form are attached for your review.

SUGGESTED COMMISSION ACTION:

Make a motion adopting a resolution approving the contract with KLM Landscape for the purchase and planting of 162 trees for the "2022 Spring Tree Purchase and Plant," for a total project cost not to exceed \$70,800.00. Further, to authorize the Mayor and City Clerk to sign the agreement on behalf of the City. Funds are available from the following accounts: \$17,785.75 from the Local Streets Fund-Forestry Service Contract account #203-449.005-819.0000, \$17,785.75 from the Major Streets Fund-Forestry Service Contract account #202-449.005-819.0000, \$18,614.25 from the Local Streets Fund-Operating Supplies account #203-449.005-729.0000, and \$16,614.25 from the Major Streets Fund-Operating Supplies account #202-449.005-729.0000 for these services.

AGREEMENT OF 2022 Spring Tree Purchase and Plant

THIS AGREEMENT is entered into this ____ day of April, 2022, by and between the **CITY OF BIRMINGHAM**, whose address is 151 Martin Street, Birmingham, MI 48009 (hereinafter referred to as the City) and KLM Landscape, a Michigan LLC, whose address is 70570 Powell, Armada, MI 48005, (hereafter referred to as Contractor, and the foregoing shall collectively be referred to as the parties).

WHEREAS, the City desires a Contractor to purchase and install (162) trees in various street right-of-ways and city parks and properties; and

WHEREAS, Contractor has qualifications that meet the project requirements and has provided a response and cost proposal to purchase and install (162) trees in various street right-of-ways and city parks and properties.

NOW, THEREFORE, in consideration of the foregoing preambles, the adequacy of which is acknowledged by and between the parties to this Agreement, the parties agree as follows:

- 1. **MUTUALLY AGREE**: It is mutually agreed by and between the parties that the City's Request for Proposal for purchase and install (162) trees in various street right-of-ways and city parks and properties, dated March 18, 2022, shall be fully incorporated herein by reference and shall become a part of this Agreement, and shall be binding upon both parties hereto (attached hereto as Attachment "A").
- 2. **TERM:** This Agreement shall have a term of 2-years from the date stated above to encompass the warranty period. The City shall have the right to unilaterally terminate this Agreement on thirty (30) days written notice. In the event of termination, the Contractor shall receive compensation for services to the date the termination takes effect and the City shall be entitled to retain and use the results of all services prepared by the Contractor through such date.
- 3. TERMS OF PAYMENT: The Contractor will invoice monthly for all labor supplied and work completed. In no event shall invoices be submitted more than 45 days after completion of services. Submitted invoices shall include the following detailed information: the type of work performed, the time spent on the work, the individual who performed the work and the per hour billing rate charged. The City may, at its sole discretion demand review and the right to request at any time further detailed accounting information for any or all bills. The right to inspection of any bill and invoice shall never be at any cost or billings to the City, nor shall preparation of said invoices be billed to the City or against the general retainer. Payment terms will be net 30 days unless otherwise specified by the City.
- **4.** Contractor shall employ personnel of good moral character and fitness in performing all services under this Agreement.
- 5. **INSURANCE SUBMISSION REQUIREMENTS:** The Contractor submitted proof to the City that it meets all City insurance requirements. Insurance, with coverage amounts at no less than the City's minimum requirements, must be held by the Contractor throughout the

term of this Agreement. Certificates of insurance as stated below will be required no later than five (5) business days from the date of Contractor acceptance of the terms of this Agreement.

- 6. CONFIDENTIAL AND OR PROPRIETARY INFORMATION: The Contractor that in performing services pursuant to this Agreement, certain confidential and/or proprietary information (including, but not limited to, internal organization, methodology, personnel and financial information, etc.) may become involved. The Contractor recognizes that unauthorized exposure of such confidential or proprietary information could irreparably damage the City. Therefore, the Contractor agrees to use reasonable care to safeguard the confidential and proprietary information and to prevent the unauthorized use or disclosure thereof. The Contractor shall inform its employees of the confidential or proprietary nature of such information and shall limit access thereto to employees rendering services pursuant to this Agreement. The Contractor further agrees to use such confidential or proprietary information only for the purpose of performing services pursuant to this Agreement.
- 7. INDEPENDENT CONTRACTOR: The Contractor and the City agree that the Contractor is acting as an independent contractor with respect to the Contractor role in providing services to the City pursuant to this Agreement, and as such, shall be liable for its own actions and neither the Contractor nor its employees shall be construed as employees of the City. Nothing contained in this Agreement shall be construed to imply a joint venture or partnership and neither party, by virtue of this Agreement, shall have any right, power or authority to act or create any obligation, express or implied, on behalf of the other party, except as specifically outlined herein. Neither the City nor the Contractor shall be considered or construed to be the agent of the other, nor shall either have the right to bind the other in any manner whatsoever, except as specifically provided in this Agreement, and this Agreement shall not be construed as a contract of agency. The Contractor shall not be considered entitled or eligible to participate in any benefits or privileges given or extended by the City, or be deemed an employee of the City for purposes of federal or state withholding taxes, FICA taxes, unemployment, workers' compensation or any other employer contributions on behalf of the City.
- 8. COMPLIANCE WITH LAWS: Contractor agrees to fully and faithfully carry out the duties of set forth herein using its best efforts in accomplishing all assignments from the City, and further, in addition to upholding all federal, and state laws and applicable codes of professional conduct to which Contractor is subject, Contractor hereby agrees to be bound by all Federal, State, or City of Birmingham ordinances, rules, regulations and policies as are amended from time to time, and including without limitation the Fair Labor Standards Act, the Equal Employment Opportunity rules and regulations, the Transportation Safety Act and the Occupational Safety and Health Acts.
- 9. NON-COMPLIANCE WITH INSURANCE REQUIREMENTS: Failure to deliver and maintain insurance in accordance with the terms of this Agreement will be cause for the City, by and through its City Manager, to terminate this Agreement, or at the City's option, the City may purchase on the open market such required insurance and shall be entitled to charge any additional cost to the Contractor, either by offset to any amounts due and owing Contractor for services provided to the City, or, by separate bill and demand for payment. Nothing in this paragraph shall be deemed to create or be interpreted as establishing a "for cause" termination; Contractor agrees and understands that its engagement is at will and may be terminated by the City Manager for any

10. INDEMNIFICATION: To the fullest extent permitted by law, the Contractor and any entity or person for whom the Contractor is legally liable, agrees to be responsible for any liability, defend, pay on behalf of, indemnify, and hold harmless the City of Birmingham, its elected and appointed officials, employees and volunteers and others working on their behalf against any and all claims, demands, suits, or loss, including all costs and reasonable attorney fees connected therewith, and for any damages which may be asserted, claimed or recovered against or from the City, its elected and appointed officials, employees, volunteers or others working on their behalf, by reason of personal injury, including bodily injury and death and/or property damage, including loss of use thereof, which arise out of the acts, errors or omissions of the Contractor including its employees and agents, in the performance of this Agreement. Such responsibility shall not be construed as liability for damage caused by or resulting from the sole act or omission of its elected or appointed officials, employees, volunteers or others working on behalf of the City.

11. STANDARD INSURANCE REQUIREMENTS:

The Contractor shall maintain during the life of this Agreement the applicable types of insurance coverage and minimum limits as set forth below:

A. Workers' Compensation Insurance:

<u>For Non-Sole Proprietorships</u>: Contractor shall procure and maintain during the life of this Agreement, Workers' Compensation Insurance, including Employers Liability Coverage, in accordance with all applicable statutes of the State of Michigan.

For Sole Proprietorships: Contractor shall complete and furnish to the City prior to the commencement of work under this Agreement a signed and notarized Sole Proprietor Form, for sole proprietors with no employees or with employees, as the case may be.

- B. <u>Commercial General Liability Insurance</u>: Contractor shall procure and maintain during the life of this Agreement, Commercial General Liability Insurance on an "Occurrence Basis" with limits of liability not less than \$1,000,000 per occurrence combined single limit, Personal Injury, Bodily Injury and Property Damage. Coverage shall include the following extensions: (A) Contractor Coverage; (D) Broad Form General Liability Extensions or equivalent; (E) Deletion of all Explosion, Collapse and Underground (XCU) Exclusions, if applicable.
- C. <u>Motor Vehicle Liability</u>: Contractor shall procure and maintain during the life of this Agreement Motor Vehicle Liability Insurance, including all applicable no-fault coverages, with limits of liability of not less than \$1,000,000 per occurrence combined single limit Bodily Injury and Property Damage.

Coverage shall include all owned vehicles, all non-owned vehicles, and all hired vehicles.

- D. Additional Insured: Commercial General Liability and Motor Vehicle Liability Insurance, as described above, shall include an endorsement stating the following Additional Insureds: The City of Birmingham, including all elected and appointed officials, all employee and volunteers, all boards, commissions and/or authorities and board members, including employees and volunteers thereof. This coverage shall be primary to any other coverage that may be available to the additional insured, whether any other available coverage by primary, contributing or excess.
- E. <u>Professional Liability</u>: If applicable, professional liability insurance with limits of not less than \$2,000,000 per claim if Contractor will provide services that are customarily subject to this type of coverage.
- F. <u>Coverage Expiration</u>: If any of the above coverages expire during the term of this Agreement, Contractor shall deliver renewal certificates and/or policies to the City at least (10) days prior to the expiration date.
- G. <u>Proof of Insurance Coverage</u>: Contractor shall provide the City of Birmingham at the time the Agreement is returned for execution, Certificates of Insurance and/or policies, acceptable to the City of Birmingham, as listed below.
 - 1) Two (2) copies of Certificate of Insurance for Workers' Compensation Insurance, or a signed and notarized copy of the Sole Proprietor Form;
 - 2) Two (2) copies of Certificate of Insurance for Commercial General Liability Insurance;
 - 3) Two (2) copies of Certificate of Insurance for Vehicle Liability Insurance;
 - 4) Two (2) copies of Certificate of Insurance for Professional Liability Insurance, if applicable;
 - 5) If so requested, Certified Copies of all policies mentioned above will be furnished.
- H. <u>Maintaining Insurance</u>: Upon failure of the Contractor to obtain or maintain such insurance coverage for the term of the Agreement, the City of Birmingham may, at its option, purchase such coverage and subtract the cost of obtaining such coverage from the Agreement amount. In obtaining such coverage, the City of Birmingham shall have no obligation to procure the most cost-effective coverage but may contract with any insurer for such coverage.

12. WRITTEN NOTICES: Written notices regarding this Agreement shall be addressed to the following:

City: City of Birmingham

P.O. Box 3001

Birmingham, Michigan 48012

Attn: Lauren Wood

Contractor: KLM Landscape and snow

Attn: Kirk Knoblach

- 13. COVID: The Contractor shall follow all of the City's COVID-19 safety protocols while on City property. Additionally, Contractor staff which will be in physical contact with city staff must have current vaccinations against COVID-19. The City, at its discretion, may ask for proof of vaccination of Contractor staff. Failure to provide proof of vaccination when requested will cause the City to request un-vaccinated personnel to leave, request alternate staff, and if the Contractor is unable to comply, this violation of safety protocols will constitute a breach of contract by the Contractor.
- **14. AMENDMENTS:** No amendment, modification or supplement to this Agreement shall be binding unless it is in writing and signed by authorized representatives of the parties.
- **15. WAIVER OF BREACH:** No waiver by either party of any breach of any of the terms, covenants or conditions herein contained by the other party shall be construed as a waiver of any succeeding breach of this same or of any other term, covenant or condition.
- 16. COMPLETE AGREEMENT: The parties agree that the conditions set forth in this Agreement sets forth all terms and conditions of Contractor agreement with the City of Birmingham. This Agreement supersedes all prior agreements or understandings between the parties. There are no promises, conditions or understandings other than those stated herein, and, that any prior negotiations, terms or conditions discussed between the City and the Contractor shall not constitute a part of this Agreement. The term "agreement" as used in this clause shall include any future written amendments, modifications, or supplements made in accordance herewith.
- 17. DIRECT OR INDIRECT INTEREST: If, after the effective date of this Agreement, any official of the City, or spouse, child, parent or in-law of such official or employee shall become directly or indirectly interested in this Agreement or the affairs of the Contractor, the City shall have the right to terminate this Agreement without further liability to the Contractor if the disqualification has not been removed within thirty (30) days after the City has given the

Contractor notice of the disqualifying interest. Ownership of less than one percent (1%) of the stock or other equity interest in a corporation or partnership shall not be a disqualifying interest. Employment shall be a disqualifying interest.

- **18. FAILURE TO PERFORM.** If Contractor fails to perform its obligations hereunder, the City may take any and all remedial actions provided by the general specifications or otherwise permitted by law.
- 19. **LEGAL PROCEEDINGS:** Any controversy or claim arising out of or relating to this Agreement, or the breach thereof, shall be settled either by commencement of a suit in Oakland County Circuit Court, the 48th District Court or by arbitration. If both parties elect to have the dispute resolved by arbitration, it shall be settled pursuant to Chapter 50 of the Revised Judicature Act for the State of Michigan and administered by the American Arbitration Association with one arbitrator being used, or three arbitrators in the event any party's claim exceeds \$1,000,000. Each party shall bear its own costs and expenses and an equal share of the arbitrator's and administrative fees of arbitration. Such arbitration shall qualify as statutory arbitration pursuant to MCL §600.5001 et seq., and the Oakland County Circuit Court or any court having jurisdiction shall render judgment upon the award of the arbitrator made pursuant to this Agreement. The laws of the State of Michigan shall govern this Agreement, and the arbitration shall take place in Oakland County, Michigan. In the event that the parties elect not to have the matter in dispute arbitrated, any dispute between the parties may be resolved by the filing of a suit in a federal or state court with jurisdiction over Oakland County, Michigan.
- **20. RESPONSE TO REQUESTS FOR PROPOSALS:** The Contractor shall be held to and bound by all terms, conditions, warranties and representations which it made to the City's Request for Proposals dated March 18, 2022, attached hereto as Attachment "B"). In the event of a conflict in any of the terms of this Agreement and the Contractor's March 18, 2022, response, the terms of this Agreement shall prevail.
- 21. **FAIR PROCUREMENT OPPORTUNITY:** Procurement for the City of Birmingham will be handled in a manner providing fair opportunity for all businesses. This will be accomplished without abrogation or sacrifice of quality and as determined to be in the best interest of the City of Birmingham.

IN WITNESS WHEREOF, the parties hereto agree to be bound by the above terms and conditions, and Contractor, by its authorized signature below, expressly accepts this Agreement upon the above provided terms and conditions contained in this Agreement as of the date first above written.

| Contractor: By: Alexandra Skurate Its: Cli Struct |
|---|
| ATE OF MICHIGAN) |
|) ss: DUNTY OF OAKLAND) |
| On this day of hard , 2012, before me personally appeared to so he/she signed this Agreement. |
| Mary a Rogers |
| Notary Public Sound Clair County, Michigan Acting in Maconb County, Michigan |
| My commission expires: 12.05-2021 |

CITY OF BIRMINGHAM:

Mark A. Gerber, Finance Director

(Approved as to Financial Obligation)

| By: | |
|--------|--------------------------------------|
| | Therese Longe, Mayor |
| By:_ | |
| | Alexandria D. Bingham, City Clerk |
| | |
| | A. Wood, Director of Public Services |
| Lauren | A. Wood, Director of Public Services |
| (Appro | oved as to substance) |
| /h | Muli Mill |

Muky M. Kucharek, City Attorney

Thomas M. Markus, City Manager (Approved as to substance)

(Approved as to form)

APPROVED:



REQUEST FOR PROPOSALS For 2022 Spring Tree Purchase and Plant

Sealed proposals endorsed "2022 Spring Tree Purchase and Plant", will be received at the Department of Public Services, 851 S. Eton Street, Birmingham, Michigan, 48009; until Friday, March 18, 2022 at 11 a.m., after which time bids will be publicly opened and read. Results will be posted on MITN. At this time bid opening attendance is by appointment only; please contact Brendan McGaughey, listed below.

The City of Birmingham, Michigan is accepting sealed bid proposals from qualified professional firms to purchase and install (162) trees in various street right-of-ways and city parks and properties. This work must be performed as specified accordance with the specifications contained in the Request For Proposals (RFP).

The RFP, including the Specifications, may be obtained online from the Michigan Intergovernmental Trade Network at http://www.mitn.info or at the City of Birmingham, 851 S. Eton, Birmingham, Michigan, ATTENTION: Brendan McGaughey.

The acceptance of any proposal made pursuant to this invitation shall not be binding upon the City until an agreement has been executed.

Submitted to MITN:

Deadline for Submissions:

Contact Person:

Wednesday, March 9, 2022

Friday, March 18, 2022 at 11 a.m.

Brendan McGaughey

851 S. Eton St.

Birmingham, MI 48009 Phone: 248-530-1715

Email: bmcgaughey@bhamgov.org



REQUEST FOR PROPOSALS For 2022 Spring Tree Purchase and Plant

Contents

| INTRODUCTION | 3 |
|--|----|
| REQUEST FOR PROPOSALS (RFP) | 3 |
| INVITATION TO SUBMIT A PROPOSAL | 3 |
| INSTRUCTIONS TO BIDDERS | 3 |
| EVALUATION PROCEDURE AND CRITERIA | 5 |
| TERMS AND CONDITIONS | 5 |
| CONTRACTOR'S RESPONSIBILITIES | 6 |
| CITY RESPONSIBILITY | 7 |
| SETTLEMENT OF DISPUTES | 7 |
| INSURANCE | 8 |
| CONTINUATION OF COVERAGE | |
| EXECUTION OF CONTRACT | 8 |
| INDEMNIFICATION | 8 |
| CONFLICT OF INTEREST | 8 |
| EXAMINATION OF PROPOSAL MATERIALS | 8 |
| PROJECT TIMELINE | 9 |
| SCOPE OF WORK | 10 |
| ATTACHMENT A- AGREEMENT OF 2022 Spring Tree Purchase and Plant | 14 |
| ATTACHMENT B - BIDDER'S AGREEMENT | |
| ATTACHMENT C - COST PROPOSAL | 23 |
| ATTACHMENT D - IRAN SANCTIONS ACT VENDOR CERTIFICATION FORM | |

INTRODUCTION

For purposes of this request for proposals the City of Birmingham will hereby be referred to as "City" and the private firm will hereby be referred to as "Contractor."

The City of Birmingham, Michigan is accepting sealed bid proposals from qualified professional contractors/firms to purchase and install (162) trees in various street right-of-ways and at city parks and properties. This work must be performed as specified accordance with the specifications outlined by the Scope of Work contained in this Request For Proposals (RFP).

During the evaluation process, the City's best interest will be served and reserves the right to request additional information or clarification from proposers, or to allow corrections of errors or omissions. At the discretion of the City, firms submitting proposals may be requested to make oral presentations as part of the evaluation.

It is anticipated the selection of a firm will be completed by April 12, 2022. An Agreement for services will be required with the selected Contractor. A copy of the Agreement is contained herein for reference. Contract services will commence upon execution of the service agreement by the City.

REQUEST FOR PROPOSALS (RFP)

The purpose of this RFP is to request sealed bid proposals from qualified parties presenting their qualifications, capabilities and costs to purchase and install (162) trees in various street right-of-ways and city parks and properties.

INVITATION TO SUBMIT A PROPOSAL

Proposals shall be submitted no later than Friday, March 18, 2022 at 11 a.m. to:

City of Birmingham Attn: Brendan McGaughey 851 S. Eton St. Birmingham, Michigan 48009

One (1) original and one (1) copy of the proposal shall be submitted. The proposal should be firmly sealed in an envelope, which shall be clearly marked on the outside, "2022 Spring Tree Purchase and Plant". Any proposal received after the due date cannot be accepted and will be rejected and returned, unopened, to the proposer. Proposer may submit more than one proposal provided each proposal meets the functional requirements.

INSTRUCTIONS TO BIDDERS

1. Any and all forms requesting information from the bidder must be completed on the attached forms contained herein (see Contractor's Responsibilities). If

more than one bid is submitted, a separate bid proposal form must be used for each.

2. Any request for clarification of this RFP shall be made <u>in writing</u> and delivered to:

Brendan McGaughey, 851 S. Eton St., Birmingham, MI 48009

OR bmcgaughey@bhamgov.org

Such request for clarification shall be delivered, in writing, <u>no later than 5 days</u> <u>prior to the deadline for submissions</u>.

- 3. All proposals must be submitted following the RFP format as stated in this document and shall be subject to all requirements of this document including the instruction to respondents and general information sections. All proposals must be regular in every respect and no interlineations, excisions, or special conditions shall be made or included in the RFP format by the respondent.
- 4. The contract will be awarded by the City of Birmingham to the most responsive and responsible bidder with the lowest price and the contract will require the completion of the work pursuant to these documents.
- 5. Each respondent shall include in his or her proposal, in the format requested, the cost of performing the work. Municipalities are exempt from Michigan State Sales and Federal Excise taxes. Do not include such taxes in the proposal figure. The City will furnish the successful company with tax exemption information when requested.
- 6. Each respondent shall include in their proposal the following information: Firm name, address, city, state, zip code, telephone number, and fax number. The company shall also provide the name, address, telephone number and e-mail address of an individual in their organization to whom notices and inquiries by the City should be directed as part of their proposal.

EVALUATION PROCEDURE AND CRITERIA

The evaluation panel will consist of City staff and any other person(s) designated by the City who will evaluate the proposals based on, but not limited to, the following criteria:

- 1. Ability to provide services as outlined.
- 2. Related experience with similar projects, Contractor background, and personnel qualifications.
- 3. Quality of materials proposed.
- 4. Overall Costs.
- References.

TERMS AND CONDITIONS

- The City reserves the right to reject any or all proposals received, waive informalities, or accept any proposal, in whole or in part, it deems best. The City reserves the right to award the contract to the next most qualified Contractor if the successful Contractor does not execute a contract within ten (10) days after the award of the proposal.
- 2. The City reserves the right to request clarification of information submitted and to request additional information of one or more Contractors.
- 3. The City reserves the right to terminate the contract at its discretion should it be determined that the services provided do not meet the specifications contained herein. The City may terminate this Agreement at any point in the process upon notice to Contractor sufficient to indicate the City's desire to do so. In the case of such a stoppage, the City agrees to pay Contractor for services rendered to the time of notice, subject to the contract maximum amount.
- 4. Any proposal may be withdrawn up until the date and time set above for the opening of the proposals. Any proposals not so withdrawn shall constitute an irrevocable offer, for a period of ninety (90) days, to provide the services set forth in the proposal.
- 5. The cost of preparing and submitting a proposal is the responsibility of the Contractor and shall not be chargeable in any manner to the City.
- 6. Each proposal must be accompanied by a certified check, bidder's bond or bank draft in an amount not less than 5% of the total bid price, payable to the City of Birmingham, Michigan, which it is agreed will be forfeited to the City of Birmingham if the undersigned fails to enter into a contract in conformity with the form of contract incorporated herein, and furnish bonds and insurance as specified within twenty-one (21) days after the contract is awarded to the undersigned or withdraws this bid within sixty (60) days of the date hereof.

No proposal shall be withdrawn for a period of Six (6) months after the date set for the opening of bids.

A single check, bond or draft may serve to cover 2 or more alternative proposals when such alternative proposals are submitted by the same bidder.

- 7. The successful bidder will be required to furnish a Performance Bond in an amount not less than 100% of the contract price in favor of the City of Birmingham, conditioned upon the faithful performance of the contract, and completion on or before the date specified.
- 8. Payment will be made within thirty (30) days after invoice. Acceptance by the City is defined as authorization by the designated City representative to this project that all the criteria requested under the Scope of Work contained herein have been provided. Invoices are to be rendered each month following the date of execution of an Agreement with the City.
- 9. The Contractor will not exceed the timelines established for the completion of this project.
- 10. The successful bidder shall enter into and will execute the contract as set forth and attached as Attachment A.

CONTRACTOR'S RESPONSIBILITIES

Each bidder shall provide the following as part of their proposal:

- Complete and sign all forms requested for completion within this RFP.
 - a. Bidder's Agreement (Attachment B p. 22)
 - b. Cost Proposal (Attachment C p. 23)
 - c. Iran Sanctions Act Vendor Certification Form (Attachment D p. 24)
 - d. Agreement (p. 12 only if selected by the City).
- Provide a description of completed projects that demonstrate the firm's ability to complete projects of similar scope, size, and purpose, and in a timely manner, and within budget.
- 3. Provide a written plan detailing the anticipated timeline for completion of the tasks set forth in the Scope of Work (p. 10).
- 4. The Contractor will be responsible for any changes necessary for the plans to be approved by the City of Birmingham.
- 5. Provide a description of the firm, including resumes and professional qualifications of the principals involved in administering the project.

- 6. Provide a list of sub-contractors and their qualifications, if applicable.
- 7. Provide three (3) client references from past projects, include current phone numbers. At least two (2) of the client references should be for projects utilizing the same materials included in the Contractor's proposal.
- 8. The Contractor will be responsible for the disposal of all material and any damages which occur as a result of any of employees or subcontractors of the Contractor during this project.
- 9. The contractor will be responsible for obtaining the building and parking permits if applicable at no cost to the contractor.
- 10. The successful bidder shall provide a Performance Bond in an amount not less than 100% of the contract price in favor of the City of Birmingham, conditioned upon the faithful performance of the contract, and completion on or before the date specified.
- 11. Provide a project timeline addressing each section within the Scope of Work and a description of the overall project approach. Include a statement that the Contractor will be available according to the proposed timeline.

CITY RESPONSIBILITY

- 1. The City will provide a designated representative to work with the Contractor to coordinate both the City's and Contractor's efforts and to inspect and verify any work performed by the Contractor.
- 2. The City will provide access to the City of Birmingham during regular business hours or during nights and weekends as approved by the City's designated representative.
- 3. The City will provide a list of planting locations following contract award so the Contractor can contact MISSDIG.

SETTLEMENT OF DISPUTES

The successful bidder agrees to certain dispute resolution avenues/limitations. Please refer to paragraph 17 of the Agreement attached as Attachment A for the details and what is required of the successful bidder.

INSURANCE

The successful bidder is required to procure and maintain certain types of insurances. Please refer to paragraph 12 of the Agreement attached as Attachment A for the details and what is required of the successful bidder.

CONTINUATION OF COVERAGE

The Contractor also agrees to provide all insurance coverages as specified. Upon failure of the Contractor to obtain or maintain such insurance coverage for the term of the agreement, the City may, at its option, purchase such coverage and subtract the cost of obtaining such coverage from the contract amount. In obtaining such coverage, Birmingham shall have no obligation to procure the most cost effective coverage but may contract with any insurer for such coverage.

EXECUTION OF CONTRACT

The bidder whose proposal is accepted shall be required to execute the contract and to furnish all insurance coverages as specified within ten (10) days after receiving notice of such acceptance. Any contract awarded pursuant to any bid shall not be binding upon the City until a written contract has been executed by both parties. Failure or refusal to execute the contract shall be considered an abandoned all rights and interest in the award and the contract may be awarded to another. The successful bidder agrees to enter into and will execute the contract as set forth and attached as Attachment A.

INDEMNIFICATION

The successful bidder agrees to indemnify the City and various associated persons. Please refer to paragraph 13 of the Agreement attached as Attachment A for the details and what is required of the successful bidder.

CONFLICT OF INTEREST

The successful bidder is subject to certain conflict of interest requirements/restrictions. Please refer to paragraph 14 of the Agreement attached as Attachment A for the details and what is required of the successful bidder.

EXAMINATION OF PROPOSAL MATERIALS

The submission of a proposal shall be deemed a representation and warranty by the Contractor that it has investigated all aspects of the RFP, that it is aware of the applicable facts pertaining to the RFP process and its procedures and requirements, and that it has read and understands the RFP. Statistical information which may be contained in the RFP or any addendum thereto is for informational purposes only.

LIQUIDATED DAMAGES:

The contractor shall pay to the City of Birmingham as liquidated damages, the sum of \$500/per day for each calendar day after the time period specified under "Time of Completion" that the work to be performed by the Contractor is not completed. Liquidated damages are established to compensate the City and the public for costs caused by the Contractor by the inconvenience of extending the work beyond the time specified.

For the purposes of determining liquidated damages, the contract time for work shall be increased proportionately to increases in contract value (if any) provided both of the following conditions are met:

- 1. Increase in contract value is greater than 10% of the base bid.
- 2. The parties have not adjusted the contract time by other mutually agreeable means such as an executed change order.

PROJECT TIMELINE

It is anticipated that this project will be completed by May 31, 2022.

The Contractor will not exceed the timelines established for the completion of this project

SCOPE OF WORK

The Contractor shall perform the following services in accordance with the requirements as defined and noted herein:

- The Contractor shall furnish all labor, materials, and equipment required to perform all required work necessary for the purchase and installation of (162) trees in various street right-of-ways and city parks and properties in accordance with the requirements as defined and noted herein.
- 2. The Contractor shall be responsible for the disposal of all materials in a safe and legal manner. All bidders will outline their procedures for dust and debris collection during working hours and all cleaning activities.
- 3. The Contractor shall be responsible for repairing any damage caused as a result of working, including grass repairs with seed and topsoil. Damage to irrigation systems must be reported immediately to the City representative. Damaged irrigation pipes should be left above ground and capped/taped off.
- 4. The Contractor shall operate in a safe manner and will observe all MIOSHA guidelines. The Contractor shall provide the City with a copy of its COVID-19 Plan required by MIOSHA
- 5. The Contractor shall provide any and all manuals and/or warranty information related to this project to the City upon completion of the project.
 - a. Contractor must guarantee workmanship for no less than 2 years and perform repairs as needed.
- 6. The Contractor shall comply will all City of Birmingham's regulations for maintaining construction sites.
- 7. This section and referenced documents shall constitute the Scope of Work for this project and as such all requirements must be met.

GENERAL GUIDELINES

Planting:

Stock shall be handled in such a manner that the roots shall remain intact, the branches unbroken, and the bark intact and not loosened from the wood.

Tree balls must be transported and unloaded in such a way as to minimize breaking of the tree ball. Rolling of tree balls down ramps is an <u>unacceptable</u> procedure. Ball carts or "tree jaws" are the preferred methods for moving trees. Loading with mechanical buckets or forks is permitted provided padding is in place to protect the tree trunks from abrasion.

All trees will be planted according to ANSI tree planting specifications. Tree holes shall be dug so root flair is at soil level. Tree holes shall be 12" wider than the root spread of the tree to be planted. On wet, poorly drained sites, the tree should be planted a few inches higher than normal. Measure the proper depth before placing the tree in the hole. All trees shall be planted plumb. All planting holes shall be at least twice the size of the root ball at the top of the planting hole. If unsure about planting in the rain, contractor shall check with City representatives. Trees are not to be placed in front of homes or businesses in advance of planting. Tree holes are not to be dug and left open overnight.

The top 2/3 of the wire basket, twine and burlap must be removed <u>after</u> the tree is firmly set in place in the planting hole. This removal shall include binding twine, burlap, wire loops and first row of wire squares. Existing root balls will be disposed of by contractor. Cut and remove the upper part of the wire basket so it will not interfere with roots as they grow. The hole shall be backfilled with topsoil (see #2 below) and watered. The surface for a radius of three (3) feet around the tree shall be slightly saucered to retain moisture.

The contractor shall remove any existing trees or stumps that may be in the planting location. Restoration of any lawn damaged during installation shall be the responsibility of the tree planting contractor.

All unused excavated material shall be removed from the location and shall be disposed of in a legal and approved manner. The planting site shall be left in a neat and clean condition.

Trees that are planted at the wrong site will be removed and replaced at the Contractor's expense, and the correct species of tree will be planted. The City of Birmingham reserves the right to reject the replanting of a tree that was planted at a wrong address if it is to be transferred to the correct address.

All planting must be completed by May 31, 2022.

Topsoil:

Backfill material shall consist of one-half native soil and no more than one-half imported topsoil. Native soil, especially clay, is NOT to be placed on top of any planted root ball. Only topsoil is to be used in this application. [NO backfill shall be placed on top of the root ball of the tree].

Topsoil for backfilling shall be fertile, friable, natural topsoil. It shall be without admixture of subsoil and shall be reasonably free of stones, lumps, plants or their roots, sticks or other extraneous matter, and shall not be delivered in a frozen condition. Soil shall contain at least five percent (5%) but not more than twenty percent (20%) by weight of organic matter determined by ignition after being dried to a constant weight at 221°F. The City reserves the right to reject any loads of topsoil which do not meet the above specifications.

Mulch:

Trees are to be mulched 3" with high quality hardwood mulch. Care should be exercised to ensure that no "mulch volcanoes" are created.

Pruning:

Trees should have a central leader and a radial branching structure. Any branches that might tend to develop into "V" crotches shall be subordinated so as not to become co-dominant. Care shall be taken in pruning to preserve the natural character of the tree. Dead, broken and badly bruised branches shall be removed with a clean cut.

Staking:

All trees must be staked, unless otherwise requested by the City.

Watering (Spring Plant Only):

Trees shall be adequately watered (10-20 gallons) immediately after planting.

Notification:

Tree care notices (supplied by the City) shall be placed at all residential locations upon completion of the planting.

Responsibility for Damage:

The Contractor shall be responsible for all damage done to sod, sidewalk, drive approaches, underground sprinkling systems, wiring, piping, etc., that may occur during the planting operation. The Contractor shall also be responsible for notifying Miss Dig of the starting date of the project far enough in advance to allow all of the utilities to respond. The Contractor will remove the Miss Dig flags and dispose of them after the tree is planted. The Contractor will repair any broken sprinkler lines within 24 hours of any breakage.

4. Specifications for Plant Materials:

Materials must be free of Insects, Disease or Damage:

All plants shall be strong, healthy, clean, well grown, free from insects, disease, rodent or mechanical injuries, disfiguring knots, sun scald, burns, frost cracks, broken bark and dead branches, broken roots, stubs, or any other objectionable features or the results of any of the above mentioned objections. All scars of former pruning shall be smooth and healed.

Sizes:

All plants shall be of the size specified. The size stated in each case being interpreted to mean dimensions of the plant as it stands in its natural position in the nursery without straightening out of the branches or removing any of its branches or leaders.

Bailed and Burlap:

Plants marked B&B are to be balled and burlapped in the original and undisturbed soil in which they are grown. Plants having earth applied in any manner to the roots after they are dug shall not be accepted. The root balls of plants should be moist and not dried out. Trees will not be accepted if the balls of earth are loosened or broken. Trees may be staked upon request by the City. The minimum diameter of the balls of earth shall be at least equal to those given in the following schedule:

| <u>Diameter of tree in Inches</u> | Diameter of Ball in Inches |
|-----------------------------------|----------------------------|
| (a) To 1.5"- 2" | Container |
| (b) To 2½ | 24 |
| (c) To 3 | 28 |
| (d) To 3½ | 32 |
| (e) To 4 | 36 |

Certificates of Inspection:

All shipments of trees must be inspected by the State Department of Agriculture or other appropriate agency, before removal from the nursery, and declared and certified free from disease and insects, subject to local, state, and federal laws relative to the shipping of plants in interstate commerce. All necessary inspection certificates must accompany each shipment.

ATTACHMENT B - BIDDER'S AGREEMENT For 2022 Spring Tree Purchase and Plant

In submitting this proposal, as herein described, the Contractor agrees that:

- 1. They have carefully examined the specifications, terms and Agreement of the Request for Proposal and all other provisions of this document and understand the meaning, intent, and requirement of it.
- 2. They will enter into a written contract and furnish the item or items in the time specified in conformance with the specifications and conditions contained therein for the price quoted by the proponent on this proposal.

| Alexandra Stewart | 3.18.9088 |
|--|---|
| PREPARED BY (Print Name) | DATE |
| Maintenance Coordinator | 3.18.2022 |
| TITLE | DATE |
| Qui Studt AUTHORIZED SIGNATURE | Saks @ Klim Landscape not E-MAIL ADDRESS |
| KLM Landscape and Snow | |
| 70570 Paucu Armoda my 48005 ADDRESS | (586) 75g - 556g PHONE |
| NAME OF PARENT COMPANY | PHONE |
| ADDRESS | |

ATTACHMENT C - COST PROPOSAL For 2022 Spring Tree Purchase and Plant

In order for the bid to be considered valid, this form must be completed in its entirety. The cost for the Scope of Work as stated in the Request for Proposal documents shall be a lump sum, as follows:

| SPECIES | QUANTITY | NURSERY STOCK PRICE W/ 2- YEAR WARRANTY | INSTALLED PRICE (W/ MULCH, INSTALLATION, ETC) | TOTAL PRICE (INSTALLED PRICE x QTY) | NOTES (VARIETY IF APPLICABLE, ETC) |
|---|--------------|---|---|-------------------------------------|---|
| Hybrid D/R ELM (Princeton, Patriot, etc. – NO SIBERIAN) | 68 @ 3"-3.5" | \$450.00 | \$450.0 | \$30,600.00 | Y |
| 'Accolade' ELM | 15 @ 3"-3.5" | \$450.00 | \$450.00 | \$6,750.00 | |
| Columnar Eastern Hophornbeam | 5 @ 3"-3.5" | \$495.00 | \$495.00 | \$2,475.00 | |
| SWAMP WHITE OAK | 4 @ 3"-3.5" | \$450.00 | \$450.00 | \$1,800.00 | |
| Linden 'Littleleaf' | 13 @ 2"-2.5" | \$435.00 | \$435.00 | \$5,655.00 | |
| Thornless Honey locust | 1 @ 3"-3.5" | \$300.00 | \$300.00 | \$300.00 | |
| IVORY SILK LILAC | 15 @ 3"-3.5" | \$450.00 | \$450.00 | \$6,750.00 | e II - |
| Zelkova | 24 @ 3"-3.5" | \$395.00 | \$395.00 | \$9,480.00 | |
| ZELKOVA 'Musashino' | 5 @ 3"-3.5" | \$450.00 | \$450.00 | \$2,250.00 | |
| SWEETGUM (Male Clone Only) | 12 @ 3"-3.5" | \$395.00 | \$395.00 | \$4,740.00 | |
| TOTAL: | 162 | \$4,270.00 | 4,270.00 | \$70,800.00 | |

Firm Name KLM Landscape and snow

ATTACHMENT D - IRAN SANCTIONS ACT VENDOR CERTIFICATION FORM For 2022 Spring Tree Purchase and Plant

Pursuant to Michigan Law and the Iran Economic Sanction Act, 2012 PA 517 ("Act"), prior to the City accepting any bid or proposal, or entering into any contract for goods or services with any prospective Vendor, the Vendor must certify that it is not an "Iran Linked Business", as defined by the Act.

By completing this form, the Vendor certifies that it is not an "Iran Linked Business", as defined by the Act and is in full compliance with all provisions of the Act and is legally eligible to submit a bid for consideration by the City.

| Alexandra Striput | 3.16.2022 |
|--------------------------|---|
| PREPARED BY (Print Name) | DATE |
| Maintenance Coordinator | 3.16.2022 |
| TITLE | DATE |
| AUTHORIZED SIGNATURE | KLM @ Limiandscape .nct E-MAIL ADDRESS |
| KLM Landscape and Snow | |
| 70570 Powell Armada mi | |
| ADDRESS | PHONE |
| NAME OF PARENT COMPANY | PHONE |
| ADDRESS | |
| 38-3304871 | |
| TAXPAYER I.D.# | |



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY) 01/11/2022

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

| REP | REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER. | | | | | | | | | |
|--|--|--------------------------|----------------------------|--|----------------------|--|---|--|--------------------|--------|
| IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(les) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on | | | | | | | | | | |
| | this certificate does not confer rights to the certificate holder in lieu of such endorsement(s). PRODUCER CONTACT Heldi Schwessler | | | | | | | | | |
| | | | | | CONTA NAME: | | | | | |
| | nsurance Group LLC | | | | PHONE IAIC. N | o. Extl: (240) 0 | 47-2673 | FA (A | IX JG, No): | |
| 50787 | Corporate Dr | | | | E-MAIL ADDRE | ss: heidis@c | oreinsured.con | n | | |
| l <u>.</u> | | | | | | CN: | SURER(8) AFFOI | RDING COVERAGE | | NAIC # |
| | Township | | | MI 48315 | INSURI | ERA: Michigar | n însurance | | | 10857 |
| INSURE | | | | | INSUR | RB: | | | | |
| | KLM Landscape dba KLM Scap | e & S | now, I | LLC. | INSUR | RC: | | | | |
| ĺ | 70570 Powell Road | | | | INSUR | RD: | | | | |
| | | | | | INSURE | RE: | | | | |
| | Armada | | | MI 48005 | INSURE | RF: | | | | |
| | | | | NUMBER: CL221110168 | | | | REVISION NUMBE | R: | |
| CERT EXCL | IS TO CERTIFY THAT THE POLICIES OF CATED. NOTWITHSTANDING ANY REQUI DIFICATE MAY BE ISSUED OR MAY PERTA JUSIONS AND CONDITIONS OF SUCH PO | REME AIN, TI LICIE | NT, TI HE IN: S. LIM | ERM OR CONDITION OF ANY SURANCE AFFORDED BY THI IITS SHOWN MAY HAVE BEEN | CONTR. E POLIC | ACT OR OTHER IES DESCRIBE CED BY PAID CI | R DOCUMENT 1 D HEREIN IS S LAIMS. | MITH RESPECT TO W | HICH THIS | |
| LTR | TYPE OF INSURANCE | ADDL | WVD | POLICY NUMBER | | POLICY EFF (MM/DD/YYYY) | POLICY EXP (MM/DD/YYYY) | | LIMITS | |
| <u> </u> ≥ | COMMERCIAL GENERAL LIABILITY | | | | | | | EACH OCCURRENCE | \$ 1,00 | 0,000 |
| | CLAIMS-MADE OCCUR | | ļ. | | | | | DAMAGE TO RENTED PREMISES (Ea occurrent | ca) \$ 100, | 000 |
| <u> </u> | AI, WOS, PNC | | | } | | | | MED EXP (Any one perso | s 5,00 | 0 |
| ^ L | | | | CPJ9481899 | | 01/11/2022 | 01/11/2023 | PERSONAL & ADV INJUI | RY 5 1,00 | 0,000 |
| GI | ENLAGGREGATE LIMIT APPLIES PER: | | | | | | 1 1 | GENERAL AGGREGATE | s 2,00 | 0,000 |
| - | POLICY PRO. | | | | | | | PRODUCTS - COMP/OP | AGG \$ 2,00 | 0.000 |
| | OTHER | _ | | | | | | | 8 | |
| AL | JTOMOBILE LIABILITY | | | | | | | COMBINED SINGLE LIM (Ea accident) | s 1,00 | 0,000 |
| . - | ANY AUTO OWNED SCHEDULED | | | | | | | BODILY INJURY (Per per | son) S | |
| ^ _ | AUTOS ONLY AUTOS | | | CCJ9481899 | | 01/11/2022 | 01/11/2023 | BODILY INJURY (Per acc | pident) S | |
| <u> ≥</u> | AUTOS ONLY NON-OWNED AUTOS ONLY | | | | | | | PROPERTY DAMAGE (Per accident) | \$ | |
| | | _ | | | | | | | \$ | |
| , > | UMBRELLA LIAB COCCUR | | | | | | | EACH OCCURRENCE | | 00,000 |
| ^ <u> </u> | EXCESS LIAB CLAIMS-MADE | | | CXJ9481899 | | 01/11/2022 | 01/11/2023 | AGGREGATE | \$ 10,0 | 00,000 |
| 1000 | DED RETENTION \$ | | | | | | | a diper | 3 | |
| AN | D EMPLOYERS' LIABILITY Y/N | | | | | | | X PER STATUTE | OTH- | |
| ^ (Of | Y PROPRIETOR/PARTNER/EXECUTIVE Y | N/A | | 3000112253 | | 01/11/2022 | 01/11/2023 | E.L. EACH ACCIDENT | | 0,000 |
| li v | endatory in NH) | | | | | | | E.L. DISEASE - EA EMPL | CALLE LA | 0,000 |
| DE | SCRIPTION OF OPERATIONS below | | | | | | _ | E.L. DISEASE - POLICY I | LIMIT \$ 1,00 | 0,000 |
| | | | | | | | | | | |
| | TION OF OPERATIONS / LOCATIONS / VEHICLE | | | | | | | | | |
| and/or a | ge as defined in policies. The City of Birn authorities and board members, including including primary non-contributing. 30 d | emp | layee: | s and volunteers thereof, are | nted offi added a | cials, all employ is additional ins | yee and volute sured in regard | ers, all boards, comm: s to General Liability a | ssions and Auto | |
| | | | | | | | | | | |
| | | | | | | | | | | |
| | | | | | | | | | | |
| CERTIFICATE HOLDER CANCELLATION | | | | | | | | | | |
| ACK ill | IVALE ROLDER | | | | CANC | ELLATION | • | | | |
| | City of Birmingham | | | | THE | | ATE THEREOF | SCRIBED POLICIES B , NOTICE WILL BE DE , PROVISIONS. | | BEFORE |
| | 851 S Eton St | | | | AUTHO | RIZED REPRESEN | ITATIVE | | | |
| | Birminchem | | | MI 48000 | | | | 2. | | |



MEMORANDUM

Department of Public Services

DATE:

April 4, 2022

TO:

Thomas M. Markus, City Manager

FROM:

Lauren A. Wood, Director of Public Services

Mike Bernal, Public Services Manager

SUBJECT:

Purchase Larvicide Material for Mosquito Control Program

INTRODUCTION:

The City currently procures its mosquito control material from Clarke Mosquito Control. The pricing on these products is government regulated by the Department of Agriculture. Clarke is the closest distributor in this area and provides these supplies to other local agencies. We have been pleased with their service and communication with staff about new trends in this area. It is determined no advantage will be gained by the City of Birmingham in bidding out this purchase. Therefore, no competitive bids were obtained for these supplies.

BACKGROUND

We have been treating the catch basins, approximately 2300, over the past eighteen seasons. This has provided us with a successful program which we continue to re-evaluate. This purchase is for 12 cases of Natular XRT Tablets at \$897.70/case. This application will destroy the mosquito larva and prevent mosquito emergence.

LEGAL REVIEW:

All documentation has been reviewed and approved by the City Attorney's Office.

FISCAL IMPACT:

Funds are available in the 2021-2022 budget for this purchase and will come from the Sewer Fund-Operating Supplies Account #590-536.002-729.0000.

PUBLIC COMMUNICATIONS:

This does not apply in this case. Information on West Nile is available on the City website

SUMMARY:

The Department of Public Services (DPS) recommends the purchase of this material from Clarke Mosquito Control at a price not to exceed \$10,772.40. The money has been budgeted in Account #590-536.002-729.0000 Sewer Fund-Operating Supplies for this purchase. Reimbursement from Oakland County for the program this year is \$2,705.23, which is an increase of \$56.84 from last year.

ATTACHMENTS:

Attached are the Manager's Report for the Mosquito Control Program, and the Clarke quote for this material purchase.

SUGGESTED COMMISSION ACTION:

Make a motion adopting a resolution to approve the purchase of the larvicide material from Clarke Mosquito Control in the amount not to exceed \$10,772.40. Further, to waive the normal bidding requirements based on the government regulated pricing for this type of material. Funds for this purchase will come from the Sewer Fund-Operating Supplies Account #590-536.002-729.0000.



QUOTATION

Page:

1(1) 675 Sidwell Ct St Charles, IL 60174 U.S.A. www.darke.com

www.clarke.com TOLL-FREE: 800-323-5727

PH: 630-894-2000 FAX: 630-443-3070 EMAIL: customercare@clarke.com

B City of Birmingham-DPS (004384)

Tim Carpenter PO Box 3001

Birmingham, MI 48012-3001

T 248-530-1800 0 248-644-5614 s City of Birmingham

H Tim Carpenter

851 S. Éton Street P Public Services (#2552)

Birmingham, MI 48009-6870

T 248-644-1800 248-644-5614

Address ID:

000001

| | | | | Addi | 933 ID. 00000 |
|------------------------|------------------------|-------------|---------------|---------------|----------------|
| Quotation # | Quote Date | Salesperson | Written by | | Valid to |
| 0002027907 | 03/25/22 | Chris Novak | Gabriela - Sa | les Associate | 04/30/22 |
| Delivery Method | | Terms | | | |
| United Parcel Po | st | Net 30 Days | | | |
| Item # | item Descripti | on | Qty Ordered | Unit Price | Extended Price |
| 11850 US EPA Cur | NATULAR XRT rent Label | TABLET | 12 cs | 897.7000/ | cs 10,772.40 |
| | | | Order Total | | 10,772.40 |
| | | | Total | | 10,772.40 |

Clarke will charge applicable sales taxes unless a valid exemption certificate is Emailed to: accountsreceivable@clarke.com or faxed to: 630-672-7439

^{*} For your convenience we also accept Visa and MasterCard

^{*} A 15% restocking fee plus freight costs may be assessed to any returned items.
Items must be returned within 120 days of shipment and in an acceptable condition.



MEMORANDUM

Planning Division

DATE: April 11, 2022

TO: Thomas Markus, City Manager

FROM: Nicholas Dupuis, Planning Director

SUBJECT: Set Public Hearing for 2225 E. 14 Mile – Our Shepherd – Special

Land Use Permit Amendment, Final Site Plan & Design Review

INTRODUCTION:

The applicant has submitted an application for a Special Land Use Permit Amendment, Final Site Plan and Design Review for extensive renovations to an existing off-street parking facility, new signage, and two new covered entries.

BACKGROUND:

On March 23, 2022, the Planning Board moved to recommend approval to the City Commission the Special Land Use Permit Amendment, Final Site Plan and Design Review application for 2225 E. 14 Mile with the following conditions

- 1. The applicant must submit revised site plans with parking lot screening that meets the requirements of Section 4.54, or obtain a variance from the Board of Zoning Appeals;
- 2. The applicant must submit revised landscaping plans replacing the prohibited Burning Bush Plantings with a permitted species.
- 3. The applicant must submit revised site plans with the required street trees on Melton and 14 Mile, obtain a variance from the Board of Zoning Appeals, or obtain a waiver from the Staff Arborist.
- 4. The applicant must submit revised photometric plans that meet the requirements of Article 4, Section 4.21 of the Zoning Ordinance;
- 5. The applicant must submit revised sign plans that meet the requirements of the Sign Ordinance, or obtain a variance from the Board of Zoning Appeals; and
- 6. The applicant must comply with the requests of all City Departments.

The Planning Division will provide amended site and design plans addressing the Planning Board comments at the Public Hearing on May 9, 2022.

LEGAL REVIEW:

The City Attorney has reviewed this request and resolution and has no objections as to form and content.

FISCAL IMPACT:

There are no fiscal impacts for this agenda item.

PUBLIC COMMUNICATIONS:

As required for Special Land Use Permit and Final Site Plan Reviews, a legal ad was placed in a newspaper of local circulation to advertise the nature of the request in advance of the March 23, 2022 Planning Board meeting, and notices were sent out to all property owners and tenants within 300 ft. of the property. In addition, a second round of notices will be sent out to advertise the public hearing at the City Commission on May 9, 2022.

SUMMARY:

The Planning Division requests that the City Commission consider the Special Land Use Permit Amendment, Final Site Plan and Design Review application for 2225 E. 14 Mile – Our Shepherd.

ATTACHMENTS:

Please find attached the following documents for your review:

- Special Land Use Permit Resolution
- Current Site/Design Plans
- Planning Division Reports
- Planning Board Review Site/Design Plans
- Application & Supporting Documents
- Meeting Minutes

SUGGESTED COMMISSION ACTION:

Make a motion adopting a resolution to set a public hearing date of May 9, 2022 to consider the Special Land Use Permit Amendment, Final Site Plan and Design Review application for 2225 E. 14 Mile – Our Shepherd – to allow new parking lot landscaping, signage and new covered entries at an existing religious institution in the R2 zoning district.

Our Shepherd Lutheran Church

2225 E. 14 Mile Special Land Use Permit Amendment 2022

WHEREAS, A Special Land Use Permit Amendment application was filed in January 2022 for approval of parking lot changes, new signage and new covered entries at 2225 E. 14 Mile;

WHEREAS, The land for which the Special Land Use Permit Amendment is sought is located on the north side of 14 Mile, east of Melton;

WHEREAS, The land is zoned R2, which permits the operation of a religious institution with a Special Land Use Permit;

WHEREAS, Article 7, section 7.34 of Chapter 126, Zoning requires a Special Land Use Permit to be considered and acted upon by the Birmingham City Commission, after receiving recommendations on the site plan and design from the Planning Board for the proposed Special Land Use;

WHEREAS, The Planning Board on March 23, 2022 reviewed the application for a Special Land Use Permit Amendment, Final Site Plan and Design Review and recommended approval to the City Commission to allow parking lot changes, new signage and new covered entries with the following conditions:

- 1. The applicant must submit revised site plans with parking lot screening that meets the requirements of Section 4.54, or obtain a variance from the Board of Zoning Appeals;
- 2. The applicant must submit revised landscaping plans replacing the prohibited Burning Bush Plantings with a permitted species.
- 3. The applicant must submit revised site plans with the required street trees on Melton and 14 Mile, obtain a variance from the Board of Zoning Appeals, or obtain a waiver from the Staff Arborist.
- 4. The applicant must submit revised photometric plans that meet the requirements of Article 4, Section 4.21 of the Zoning Ordinance;
- 5. The applicant must submit revised sign plans that meet the requirements of the Sign Ordinance, or obtain a variance from the Board of Zoning Appeals; and
- 6. The applicant must comply with the requests of all City Departments.

WHEREAS, The applicant has agreed to provide all requested information and to comply with the requests of all City departments;

WHEREAS, The Birmingham City Commission has reviewed Our Shepherd's Special Land Use Permit Amendment application and the standards for such review as set forth in Article 7, section 7.36 of Chapter 126, Zoning, of the City Code;

NOW, THEREFORE, BE IT RESOLVED, The Birmingham City Commission finds the standards imposed under the City Code have been met, subject to the conditions below, and that Our Shepherd's application for a Special Land Use Permit Amendment, Final Site Plan and Design Review at 2225 E. 14 Mile is hereby approved;

BE IT FURTHER RESOLVED, That the City Commission determines that to ensure continued compliance with Code standards and to protect public health, safety, and welfare, this Special Land Use Permit Amendment is granted subject to the following conditions:

- 1. Our Shepherd shall abide by all provisions of the Birmingham City Code;
- 2. The Special Land Use Permit may be canceled by the City Commission upon finding that the continued use is not in the public interest.

BE IT FURTHER RESOLVED, That failure to comply with any of the above conditions shall result in termination of the Special Land Use Permit.

BE IT FURTHER RESOLVED, Except as herein specifically provided, Our Shepherd and its heirs, successors, and assigns shall be bound by all ordinances of the City of Birmingham in effect at the time of the issuance of this permit, and as they may be subsequently amended. Failure of Our Shepherd to comply with all the ordinances of the City may result in the Commission revoking this Special Land Use Permit.

BE FURTHER RESOLVED that Our Shepherd is recommended for parking lot changes, new signage and new covered entries, above all others, subject to final inspection.

I, Alexandria Bingham, City Clerk of the City of Birmingham, Michigan, do hereby certify that the foregoing is a true and correct copy of the resolution adopted by the Birmingham City Commission at its regular meeting held on May 9, 2022.

Alexandria Bingham City Clerk



MEMORANDUM

Planning Division

DATE: March 23, 2022

TO: Planning Board Members

FROM: Nicholas Dupuis, Planning Director

SUBJECT: 2225 E. 14 Mile – Our Shepherd Lutheran Church – Special Land

Use Permit, Final Site Plan & Design Review

Introduction

The subject site, 2225 E. 14 Mile, is located at the southeastern boundary of Birmingham in the R2 (Single-Family Residential) zoning district. Presently, the 5.3-acre parcel contains a large 35,000 sq. ft. church building, a parking lot with roughly 224 off-street parking spaces, landscaping, and signage. The site is directly adjacent to the Clover Hill Park Cemetery to the east and the Eton Academy to the north. The current use as a religious institution is permitted as a Special Land Use in the R2 zone.

The applicant is proposing renovations of the existing parking facility, the installation of 2 new covered entries, a new dumpster enclosure, and four new signs. No other changes are proposed to the building façade or site.

1.0 Land Use and Zoning

- 1. <u>Existing Land Use</u> The existing land use is single-family residential, and is currently used as a religious institution.
- 2. <u>Zoning</u> The subject site exists within the R2 (Single-Family Residential) zoning district.
- 3. Summary of Adjacent Land Use and Zoning -

| | North | South | East | West |
|--------------------------------|---------------------------------------|-------|---------------------------------------|---|
| Existing Land Use | Single-Family Residential | N/A | Single-Family Residential | Single-Family Residential, Office |
| Existing Zoning District | R2 (Single- Family Residential) | N/A | R2 (Single- Family Residential) | R2 (Single- Family Residential), O1 (Office) |
| Overlay Zoning District | N/A | N/A | N/A | N/A |

2.0 Setback and Height Requirements

The attached zoning compliance summary analysis provides the required and proposed bulk, area, and placement regulations for the proposed project. There are no bulk, area and placement issues with the proposed Special Land Use, Final Site Plan and Design Review application submitted.

3.0 Screening and Landscaping

- 1. <u>Dumpster Screening</u> The applicant is proposing a new dumpster enclosure as a part of the parking lot renovations. The proposed enclosure is constructed of capped masonry and wood gates. The proposed height of the screen wall is roughly 7 ft. in height. Article 4, Section 4.54 (C)(7) requires a 6 ft. masonry screen wall in business, office and multifamily districts only. However, the applicant appears to be meeting the purpose of Section 4.54 in providing the barrier to contain visual disarray, debris and other factors detrimental to the health, safety and welfare of the community.
- 2. <u>Parking Lot Screening</u> Article 4, Section 4.54 requires a 32 in. capped masonry screen wall along the side or rear line of any parking facility which immediately adjoins the side line of property zoned to a residential district provided that the screen wall along the side of a parking facility located in the parking district shall not extend further than the front setback area of the abutting residential district.

In addition, screen walls are required along the front or side of any parking facility that abuts a street. When the property being utilized for the parking facility is zoned residential, the screen wall shall be placed along the setback line.

At this time, the applicant has not proposed any screen wall material in any of the locations required by Section 4.54. Currently, fencing exists on the east side of the property adjacent to the Clover Hill Park Cemetery, which consists of ordinary chain-link and some decorative fencing. There are certain aspects of the landscaping proposed that could cover a portion of the required screening, but it did not appear to be the applicant's intent to do so. The applicant will be required to submit revised site plans with parking lot screening that meets the requirements of Section 4.54, or obtain a variance from the Board of Zoning Appeals.

- 3. <u>Mechanical Equipment Screening</u> There are no new ground mounted of rooftop mechanical units proposed as a part of the application submitted.
- 4. <u>Landscaping</u> Article 7, Section 7.37 (A) states that the City Commission may impose any or all of the following conditions of approval:

- 1. Conditions to ensure that public services and facilities affected by the proposed land use will be capable of accommodating increased service and facility loads caused by the land use.
- 2. Conditions to protect the natural environment and conserve natural resources and energy.
- 3. Conditions to ensure compatibility with adjacent uses of land and to promote the use of land in a socially and economically desirable manner.
- 4. Any other condition which the City Commission deems necessary to meet the standards established in subsection (A) of this section.

Pursuant to Section 7.37 above, the Planning Division requested that the applicant comply with the Landscaping Standards in Article 4, Section 4.20 for the parking lot renovations within the R2 zoning district. Section 4.20 requires Parking lots greater than 7,500 square feet to meet the following interior landscaping requirements:

- 1. Within the parking lot, there shall be interior landscaping areas that total not less than 5% of the total parking lot interior area.
- 2. Each interior planting area shall be at least 150 square feet in size, and not less than 8 feet in any single dimension.
- 3. There shall be at least one canopy tree for each 150 square feet or fraction thereof of interior planting area required.
- 4. The interior planting areas shall be located in a manner that breaks up the expanse of paving throughout the parking lot interior.

The applicant has submitted a detailed landscaping plan that detail the location and planting types for all new landscaping proposed in the 78,361 sq. ft. off-street parking facility. In order to meet the landscaping requirements of Section 4.20, the applicant would be required to provide 3,918 sq. ft. of landscaped area (5%). Although the applicant did not include the proposed bio-garden within the square footage of their proposed interior landscaping, the Planning Division considers it as such due to its close proximity and the integral infrastructure function it performs for the parking facility. Thus, the applicant has proposed a total of roughly 17,522 sq. ft. of landscaping (22.4%, 13,633 bio-garden & 3,889 planting islands). Each of the landscaped areas is greater than 150 sq. ft. and measures not less than 8 ft. in any dimension.

Additionally, the applicant is required to provide 26 canopy trees total within the interior planting areas. 26 canopy trees have been provided on the landscaping plans proposed, and an additional 10 trees are proposed across the site. Each tree proposed appears to meet the maturity requirements at the time of planting.

A review of the plant lists provided on sheets LS-1, LS-2 and LS-3 indicate that the majority of the plantings proposed are permitted, and a majority of the plantings are native. However, the 21 Euonymus Altus (Burning Bush) plantings proposed at the southeast corner of the property are prohibited per

Section 4.20 (D)(4) of the Zoning Ordinance. The applicant must submit revised landscaping plans replacing the prohibited Burning Bush Plantings with a permitted species. The applicant is encouraged to consider evergreen arborvitae plantings to provide screening as described in the above parking lot screening section.

5. <u>Streetscape</u> – In terms of the streetscape, there are presently 9 street trees on Melton, and 8 street trees on 14 Mile. Article 4, Section 4.20 (G) requires at least 1 street tree for each 40 linear feet of frontage. The Staff Arborist may waive this requirement if there is not adequate green space in the right-of-way to support such trees. The following table outlines the street tree requirements for the site:

| Street | Frontage (ft.) | Required | Proposed |
|---------|----------------|----------|----------|
| Melton | 450 | 11 | 9 |
| 14 Mile | 515 | 13 | 10 |

In the landscaping plans submitted, it appears as though the applicant is considering several trees that are on private property as street trees, which is not permitted. At this time, the proposal is deficient by 5 street trees. The applicant must submit revised site plans with the required street trees on Melton and 14 Mile, obtain a variance from the Board of Zoning Appeals, or obtain a waiver from the Staff Arborist.

At this time, it is worth noting that the Planning Division has discussed the street tree requirements with the Staff Arborist, who is willing to work with the applicant to inspect the existing trees and the streetscape conditions to determine if there is any space for new trees based on the species and maturity of existing trees.

4.0 Parking, Loading and Circulation

1. <u>Parking</u> – As noted above, the existing parking facility contains roughly 224 off-street parking spaces. The applicant is not proposing any changes to the building or required parking, which is based on the number of seats within the religious institution:

| Use | Calculation | Required | Proposed |
|-----------------------|--------------------------|----------|----------|
| Religious Institution | 1 space for each 6 seats | 94 | 200 |

With 563 seats available, the applicant exceeds the required 94 off-street parking spaces. The proposed 200 off-street parking spaces include 7 barrier-free spaces. Additionally, the 200 parking spaces proposed appear to meet the minimum 180 sq. ft. requirement.

2. <u>Loading</u> – The religious institution use category does not require any off-street loading facilities; thus none are proposed.

- 3. <u>Vehicular Circulation and Access</u> Vehicular circulation and access will remain the same with two drive aisles locates along 14 Mile and two along Melton.
- 4. <u>Pedestrian Circulation and Access</u> Pedestrian access to the site will remain as is existing. The site currently contains a public sidewalk along 14 Mile and Melton, and contains interior sidewalks that access the building. Additionally, the applicant appears to be proposing a walkway within the large central landscaping island that will offer patrons a protected area to walk.

5.0 Lighting

The applicant has submitted detailed specifications and a photometric plan for the proposed lighting for the development. The lighting plan consists of the following luminaires:

| Luminaire Type | Location | Qty. | Manufacturer |
|---------------------|--------------------------------|------|-------------------|
| Area Luminaires | Parking lot areas | 26 | Lithonia Lighting |
| LED Bollards | Front parking area | 9 | BEGA |
| Recessed Downlights | Covered entries (front & Rear) | 18 | Lithonia Lighting |
| Wall Sconces | Rear of building | 5 | Lithonia Lighting |
| Linear Highlights | Adjacent to new signage | 14 | Hydrel |

Article 4, Section 4.21 (D) requires all proposed luminaires to be fully cut-off and positioned in a manner that does not unreasonably invade abutting or adjacent properties. Each luminaire proposed appears to be fully cut-off as defined by Article 9, Section 9.02 of the Zoning Ordinance with the exception of the linear highlights, which would appear to be directed upwards towards the signs in which they are proposed to illuminate. Exception to cutoff luminaries can be made at the discretion of the Planning Board under any of the following conditions:

- a. The distribution of upward light is controlled by means of refractors or shielding to the effect that it be used solely for the purpose of decorative enhancement of the luminaire itself and does not expel undue ambient light into the nighttime environment.
- b. The luminaire is neither obtrusive nor distracting, nor will it create a traffic hazard or otherwise adversely impact public safety, with appropriate methods used to eliminate undesirable glare and/or reflections.
- c. The luminaire is consistent with the intent of the Master Plan, Urban Design Plan(s), Triangle district plan, Rail District plan and/or Downtown Birmingham 2016 Report, as applicable.
- d. The scale, color, design or material of the luminaire will enhance the site on which it is located, as well as be compatible with the surrounding buildings or neighborhood.
- e. Lighting designed for architectural enhancement of building features (i.e. architectural enhancement lighting). Appropriate methods shall be used to minimize reflection and glare.
- f. The site lighting meets all requirements set forth in this ordinance including, but not limited to, light trespass and nuisance violations.

Furthermore, Section 4.21 (E) states that the intensity of light on a site shall not exceed six-tenths (0.6) maintained foot-candles at any property line that abuts a single-family residential zoned property or one and one half (1.5) maintained foot-candles at any property line for any other zoned property. The light intensity shall be measured at 6 ft. above ground level on a vertical plane. The photometric plan submitted shows illuminance levels that do not exceed the requirements of the Zoning Ordinance across the majority of the site. However, the area luminaires proposed along the east side of the property exceed the light intensity requirements at the property line with figures as high as 4.9 maintained foot-candles. In addition, the notes section on the photometric plan suggest that the calculations were provided at 0 ft. as opposed to the 6 ft. required. The applicant must submit a revised photometric plan with light intensity calculations shown at 6 ft. above ground level and maintained foot-candles at 0.6 or below at the eastern property line.

In addition to light intensity at the property lines, the applicant is required to provide a minimum light intensity for the parking facility of a minimum of 0.2 foot-candles. The photometric plan provided shows the entirety of the parking facility above 0.2 foot-candles, thus meeting the requirement. An additional requirement for parking lot lighting is a requirement that the maximum height for pole mounted luminaries, including a base or pedestal and pole, measured from ground level to the highest point on the luminaries shall be 13 ft. for parking lots adjacent to residential properties. **The applicant must submit revised photometric plans indicating the height of the proposed area luminaires.**

Finally, Article 4, Section 4.21 (E)(3) states that the lighting under vehicular canopies shall have a maximum point of illuminance of ten (10) maintained foot-candles measured on a horizontal plane at ground level. The photometric plan provided indicates a light intensity exceeding 10 maintained foot-candles at the new covered entries. Thus, **the applicant must submit a revised photometric plan indicating a light intensity of no greater than 10 maintained foot-candles beneath the covered entries.**

6.0 Departmental Reports

- 1. <u>Engineering Division</u> Please see the attached Engineering Division comments dated March 7, 2022.
- 2. <u>Department of Public Services</u> The Department of Public Services (DPS) has stated that they do not feel as though it is appropriate to consider private trees as a part of the street tree requirements. In addition, the DPS has indicated that they would be willing to work with the applicant to analyze the street tree conditions and provide new trees where conditions permit.
- 3. Fire Department The Fire Department has no concerns at this time.
- 4. Police Department The Police Department has no concerns at this time.

- 5. <u>Building Division</u> Please see the attached Building Division comments dated March 4, 2022.
- 6. <u>Parking Manager</u> The Parking Manager has no concerns at this time.

7.0 Design Review

As noted above, the applicant is proposing minimal changes to the building itself. At this time, the applicant is proposing two changes requiring Design Review, which are the two new covered entries and 4 new signs.

The proposed covered entries are located at the main entrances at the front and rear of the building. The front entry projects 36.5 ft. from the building and covers a walkway into the building. The rear entry projects 63.5 ft. from the building, and includes an area for vehicles to drop off patrons for service. The covered entries are proposed to be constructed of brick, asphalt shingles, metal fascia at the roofline, and a stone cap. The peak of the covered entry in the front is roughly 22 ft., and contains an aluminum cross that projects an additional roughly 4 ft. above the peak. The rear covered entry contains a flat roof and measures 15 ft. in height. Additionally, there is a freestanding metal cross located on the west side of the rear covered entry.

Signage

As far as signage, three of the proposed signs are ground signs, while the fourth is a name letter sign proposed on a column of the rear covered entry. Article 1, Table D of the Sign Ordinance permits religious institutions to have one sign at 20 sq. ft. or less if less than 500 ft. from occupied residential dwellings, or 40 square feet if more than 500 ft. from occupied residential dwellings.

The signs as designed will be attached to a new structure that is composed of brick and stone to match the principal building. At this time the Planning Division is assuming the signs to be double sided, although it is unclear in the sign plan submitted.

| Sign Type | Location | Area (sq. ft.) |
|---------------------------|----------------------------|----------------|
| Ground Sign (Sign Type A) | Entry @ SE corner | 40 |
| Ground Sign (Sign Type A) | Corner of 14 Mile & Melton | 40 |
| Ground Sign (Sigh Type B) | Drive aisle on Melton | 12 |
| Name Letter Sign | Rear covered entry | 12 |

Due to the number of signs, which exceeds the one sign permitted, the applicant also does not meet the distance requirements to obtain the larger signage area allowance. However, the total area of the signs as proposed far exceeds 40 sq. ft. at 104 sq. ft. proposed. In addition, there appears to be at least one existing sign in the lawn area in front of the building along 14 Mile, and it is unclear as to what is proposed for the existing sign. In summation, the applicant must submit revised sign plans that meet the requirements of the Sign Ordinance, or obtain a variance from the Board of Zoning Appeals.

8.0 Required Attachments

| | Submitted | Not Submitted | Not Required |
|-------------------------------|-------------|---------------|--------------|
| Existing Conditions Plan | \boxtimes | | |
| Detailed and Scaled Site Plan | \boxtimes | | |
| Certified Land Survey | \boxtimes | | |
| Interior Floor Plans | | | \boxtimes |
| Landscape Plan | \boxtimes | | |
| Photometric Plan | \boxtimes | | |
| Colored Elevations | \boxtimes | | |
| Material Specification Sheets | | | |
| Material Samples | | | \boxtimes |
| Site & Aerial Photographs | \boxtimes | | |

9.0 Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- (1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- (2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- (3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property nor diminish the value thereof.
- (4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- (5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- **(6)** The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

In addition, Article 7, Section 7.26 requires applications for a Special Land Use Permit to meet the following criteria:

(1) The use is consistent with and will promote the intent and purpose of this Zoning Ordinance.

- (2) The use will be compatible with adjacent uses of land, the natural environment, and the capabilities of public services and facilities affected by the land use.
- (3) The use is consistent with the public health, safety and welfare of the city.
- (4) The use is in compliance with all other requirements of this Zoning Ordinance.
- (5) The use will not be injurious to the surrounding neighborhood.
- (6) The use is in compliance with state and federal statutes.

10.0 Recommendation

Based on a review of the site plan submitted, the Planning Division finds that the proposed Final Site Plan meets the requirements of Article 7, section 7.27 of the Zoning Ordinance and recommends that the Planning Board recommend **APPROVAL** of the Final Site Plan and Design Review for 2225 E. 14 Mile – Our Shepherd – to the City Commission with the following conditions:

- 1. The applicant must submit revised site plans with parking lot screening that meets the requirements of Section 4.54, or obtain a variance from the Board of Zoning Appeals;
- 2. The applicant must submit revised landscaping plans replacing the prohibited Burning Bush Plantings with a permitted species.
- 3. The applicant must submit revised site plans with the required street trees on Melton and 14 Mile, obtain a variance from the Board of Zoning Appeals, or obtain a waiver from the Staff Arborist.
- 4. The applicant must submit revised photometric plans that meet the requirements of Article 4, Section 4.21 of the Zoning Ordinance;
- 5. The applicant must submit revised sign plans that meet the requirements of the Sign Ordinance, or obtain a variance from the Board of Zoning Appeals; and
- 6. The applicant must comply with the requests of all City Departments.

AND

The Planning Division finds that the proposed Final Site Plan and the Religious Institution use meets the requirements of Article 7, Section 2.26 of the Zoning Ordinance and recommends that the Planning Board recommend **APPROVAL** of the Special Land Use Permit for 2225 E. 14 Mile – Our Shepherd – to the City Commission subject to the conditions of Final Site Plan approval.

11.0 Sample Motion Language (Final Site Plan & Design Review)

Motion to recommend **APPROVAL** to the City Commission the Final Site Plan and Design Review for 2225 E. 14 Mile – Our Shepherd – subject to the following conditions:

- 1. The applicant must submit revised site plans with parking lot screening that meets the requirements of Section 4.54, or obtain a variance from the Board of Zoning Appeals;
- 2. The applicant must submit revised landscaping plans replacing the prohibited Burning Bush Plantings with a permitted species.
- 3. The applicant must submit revised site plans with the required street trees on Melton and 14 Mile, obtain a variance from the Board of Zoning Appeals, or obtain a waiver from the Staff Arborist.
- 4. The applicant must submit revised photometric plans that meet the requirements of Article 4, Section 4.21 of the Zoning Ordinance;
- 5. The applicant must submit revised sign plans that meet the requirements of the Sign Ordinance, or obtain a variance from the Board of Zoning Appeals; and
- 6. The applicant must comply with the requests of all City Departments.

OR

| Motion to | POSTPONE | the Final | Site Plan | and | Design | Review | for | 2225 | E. | 14 | Mile | – Our |
|-----------|-----------------|-------------|-------------|-----|--------|--------|-----|------|----|----|------|-------|
| Shepherd | - pending re | ceipt of th | ne followin | ıg: | | | | | | | | |

| 1. | | |
|----|----|--|
| 2 | | |
| 3 | | |
| | | |
| | OR | |

Motion to recommend **DENIAL** to the City Commission the Final Site Plan and Design Review for 2225 E. 14 Mile – Our Shepherd – for the following reasons:

| 1. | | |
|----|--|--|
| 2. | | |
| 3. | | |

12.0 Sample Motion Language (Special Land Use Permit)

Motion to recommend **APPROVAL** to the City Commission the Special Land Use Permit for 2225 E. 14 Mile – Our Shepherd – subject to the conditions of Final Site Plan approval.

OR

Motion to **POSTPONE** the Special Land Use Permit for 2225 E. 14 Mile – Our Shepherd – pending receipt of the following:

| 1. | | |
|----|--|--|
| 2. | | |
| 3. | | |

| Motion to recommend DENIAL to the City Commission the Special Land Use Permit fo | r |
|---|---|
| 2225 E. 14 Mile – Our Shepherd – for the following reasons: | |
| | |

| 1. | |
|----|--|
| 2. | |
| 3. | |

Zoning Compliance Summary Sheet Special Land Use Permit, Final Site Plan and Design Review 2225 E. 14 Mile – Our Shepherd

Existing Site: Religious Institution and associated parking facility

Zoning: R2 (Single-Family Residential)
Land Use: Institutional/Special Land Use

Existing Land Use and Zoning of Adjacent Properties:

| | North | South | East | West | |
|--------------------------------|---------------------------------------|-------|---------------------------------------|---|--|
| Existing Land Use | Single-Family Residential | N/A | Single-Family Residential | Single-Family Residential, Office | |
| Existing Zoning District | R2 (Single- Family Residential) | N/A | R2 (Single- Family Residential) | R2 (Single- Family Residential), O1 (Office) | |
| Overlay Zoning District | N/A | N/A | N/A | N/A | |

Land Area: Existing: 5.3 ac

Proposed: 5.3 ac (no changes proposed)

Dwelling Units: Existing: 0 units

Proposed: 0 units (no changes proposed)

Minimum Lot Area/Unit: Required: N/A

Proposed: N/A

Min. Floor Area /Unit: Required: 1,000 sq. ft. (one story)

1,200 sq. ft. (> one story)

Proposed: N/A

Max. Total Floor Area: Required: N/A

Proposed: N/A

Min. Open Space: Required: 40%

Proposed: 44.2%

Max. Lot Coverage: Required: 30%

Proposed: 15.6%

Front Setback: Required: 25 ft.

Proposed: 25 ft. (no changes proposed)

Side Setbacks Required: 9 feet or 10% of total lot width whichever is larger for

one side yard

14 feet or 25% of total lot width whichever is larger for

both side yards

no side yard shall be less than 5 feet

Proposed: 25 ft. on west side (no changes proposed)

77.18 on east side (no changes proposed)

Rear Setback: Required: 30 ft.

Proposed: 30 ft. (no changes proposed)

Min. Front+Rear Setback Required: N/A

Proposed: N/A

Max. Bldg. Height: Permitted: 26 feet to midpoint for sloped roofs; 24 feet for flat roofs

only; 2 stories

Proposed: ~72 ft. (no changes proposed)

Min. Eave Height: Required: 24 ft.

Proposed: 16 ft. (no changes proposed)

Floor-Floor Height: Required: N/A

Proposed: N/A

Front Entry: Required: N/A

Proposed: N/A

Absence of Bldg. Façade: Required: N/A

Proposed: N/A

Opening Width: Required: N/A

Proposed: N/A

Parking: Required: 94 off-street spaces

Proposed: 200 off-street spaces

Min. Parking Space Size: Required: 180 sq. ft.

Proposed: 180 sq. ft.

Parking in Frontage: Required: N/A

Proposed: N/A

Loading Area: Required: 0

Proposed: 0 (no changes proposed)

Screening:

<u>Parking</u>: Required: 32 in. capped masonry screen wall

Proposed: **NONE**

Loading: Required: Screened from view

Proposed: N/A

Rooftop Mechanical: Required: Screened from view

Proposed: (no changes proposed)

Elect. Transformer: Required: N/A

Proposed: N/A

<u>Dumpster</u>: Required: Masonry screen wall with wood gates

Proposed: 7 ft. masonry screen enclosure with wood gates



MEMORANDUM

Engineering Department

DATE: March 7, 2022

TO: Nicholas Dupuis, Planning Director

FROM: Scott D. Zielinski, Assistant City Engineer

SUBJECT: Preliminary Site Plan Review - 2225 E 14 Mile Rd (Our Shepherd

Lutheran Church)

The Engineering Department has completed a review of the Preliminary Site Plan prepared by Sujak Engineering PLC, dated 1/21/2022, with respect to conformance with City ordinances and engineering standards, and has the following comments:

GENERAL:

- Site plans appear to reflect the pre submission meeting in regards to storm water runoff requirements.
- Sidewalk/Drive Approach Permit will be required for any pavement installed in the public right-of-way. Inspection is required for this activity.

CITY OF BIRMINGHAM

Community Development – Building Department 151 Martin Street, Birmingham, MI 48009

March 4, 2022

RE: Final Site Plan Review Comments

2225 E. 14 Mile Rd, Our Shepherd Lutheran Church

As requested, the Building Department has examined the plans for the proposed project referenced above. The plans were provided to the Planning Department for site plan review purposes only and present conceptual elevations and floor plans. Although the plans lack sufficient detail to perform a code review, the following comments are offered for Planning Design Review purposes and applicant consideration:

Applicable Building Codes:

- **2015 Michigan Building Code.** Applies to all buildings other than those regulated by the *Michigan Residential Code.*
- 2015 Michigan Mechanical Code. (Residential requirements for mechanical construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)
- 2018 Michigan Plumbing Code. (Residential requirements for plumbing construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)
- 2017 National Electrical Code along with the Michigan Part 8 Rules. (Residential requirements for electrical construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)

Review Comments:

 No Building Codes concerns at this point. Due to the educational use within the building, the project will most likely fall under the State of Michigan Bureau of Construction Codes jurisdiction for building permits. Applicant should verify with the State before applying for a local permit.



MEMORANDUM

Department of Public Services

DATE: March 30, 2022

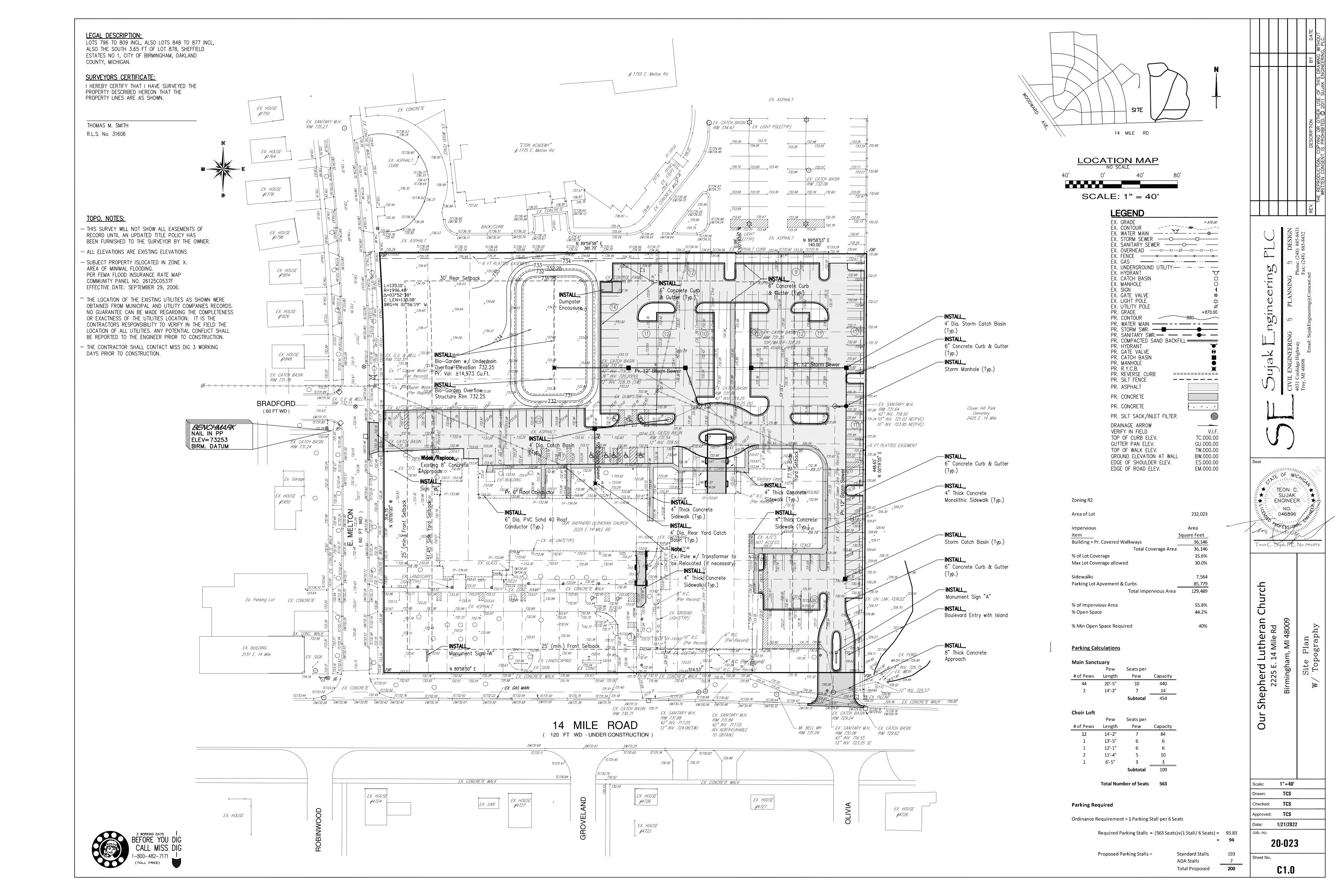
TO: Nicholas Dupuis, Planning Director

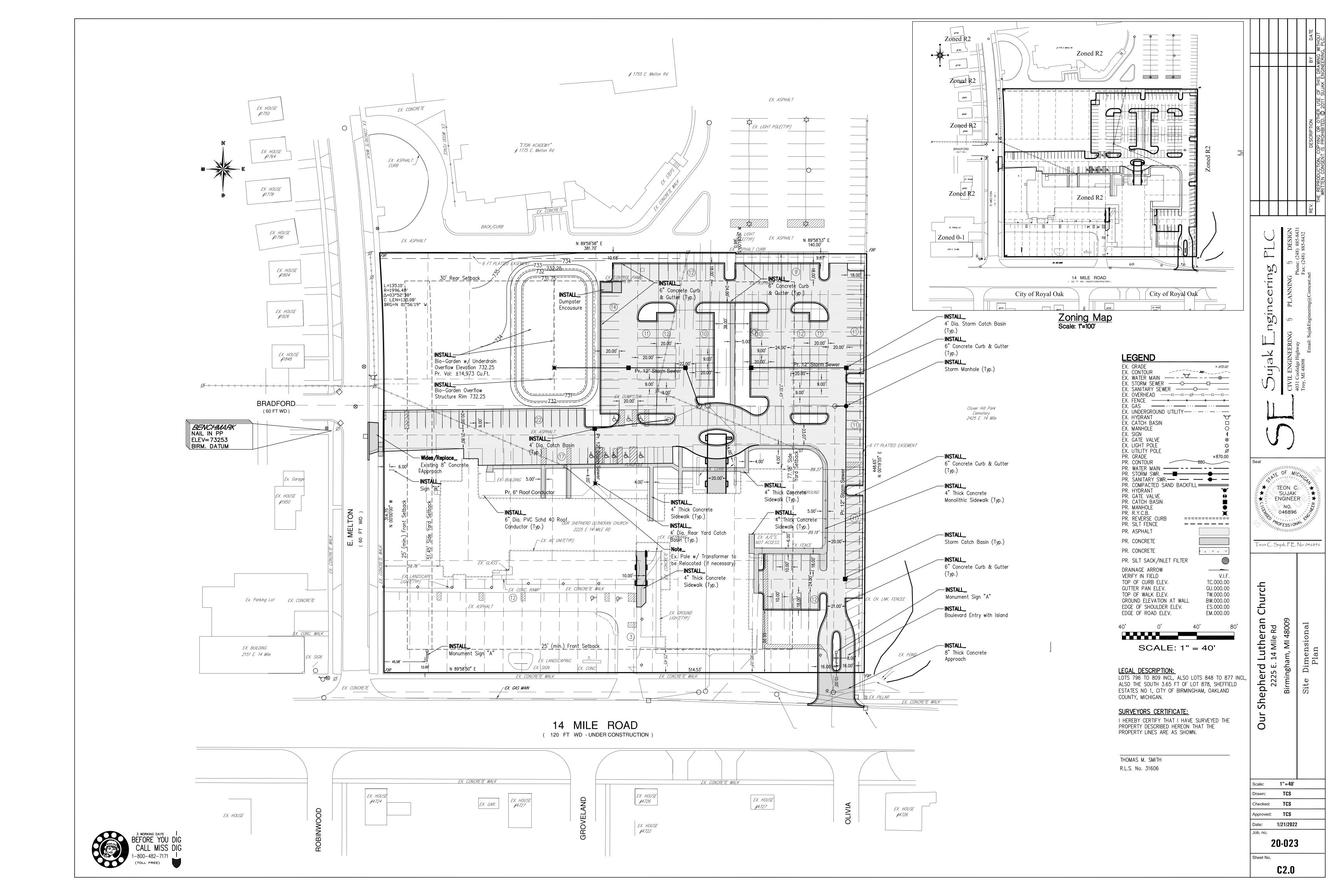
FROM: Brendan McGaughey, Parks and Forestry Foreman

Carrie A. Laird, Parks and Recreation Manager

SUBJECT: Waiver to be Granted for 2225 E. 14 Mile

A waiver from the Staff Arborist shall be granted for the elimination of 3 trees upon approval of the Final Site Plan for 2225 E. 14 Mile Rd: One (1) tree on E. Melton Street and two (2) trees on E. 14 Mile due to the limited space between existing mature and healthy trees. Applicant will install four (4) 3-3.5" DBH Ivory Silk Lilac trees on E. Melton where they will remove three (3) existing failing Sycamore trees. The existing trees to be removed are located under utility lines and have been trimmed as such, leading to their decline and current poor condition. Applicant to install three (3) 3-3.5" DBH Zelkova 'Musashino' on E. 14 Mile (species was determined by City representative). Once applicant completes development, 2225 E. 14 Mile Rd will have four (4) additional street trees (for a total of 21).





CONSTRUCTION NOTES

All construction must conform to the current standards and specifications adopted by the agency with jurisdiction.

Call Miss Dig (1-800-647-7344 / 1-800-MISS DIG) a minimum of seventy—two (72) hours prior to the start of construction.

All soil erosion and silt must be controlled and contained on—site. All excavation under or within three (3') feet of public pavement, existing or proposed, shall be backfilled and compacted with sand (Class II MDOT).

The contractor is responsible for all damage to existing utilities.

Building is to be staked using approved Architect's Foundation Plan only.

It is the contractors' responsibility to make certain that all necessary inspections have taken place post staking and prior to construction or when necessary that the inspector is on site during construction to make certain items being constructed are in compliance of standards.

Building lead locations and sizes are to be verified/coordinated with Mechanical, Architectural and Plumbing Plans.

Construction Notes

Contractor is responsible for removing and/or relocating all items needed or as shown for construction of the proposed facilities.

Contractor shall insure positive drainage for all work.

Any existing structures affected by the proposed grading or improvements shall be adjusted by the contractor to match the proposed elevations. Any structures, hydrants, poles, signs, etc. that are impacted must be adjusted or relocated at the expense and coordination

Unless otherwise specified, all disturbed areas shall be seeded and mulched and vegetation shall be restored prior to removal of Soil

Contractor is responsible for verifying all permits have been obtained and is responsible for acquiring all outstanding permits.

All Public Utilities shall be installed per the Municipal specifications.

All proposed grades shown at Match Existing (ME) are based on the available information and should be Verified in Field (VIF) by the contractor. If there is a problem with the proposed elevations, the contractor should notify the Developers Representative.

The existing utilities indicated on this plan are in accordance with available information. It shall be the contractor's obligation to verify the exact location of all existing utilities which might affect this job.

During the construction the contractor shall provide watchmen and flagmen as may be required the the safety and convenience of the public and shall furnish all barricades, signs and lights necessary to protect the public. Traffic shall be maintained at all times unless otherwise authorized by the City of Bloomfield Hills Engineer. Traffic control shall be in accordance with the Michigan Manual of Uniform Traffic Control Devices, 2005 Edition by the Michigan Department of State Highways.

All property irons and monuments disturbed or destroyed by the Contractor's operations shall be replaced by a Registered Land Surveyor provided by the contractor at the contractor's expense.

Trench backfill under existing or proposed roadways, driveways, and parking areas, unless otherwise noted, shall be consolidated to 95% maximum density as measured by modified proctor.

All utility poles in close proximity to construction shall be supported in a manner satisfactory to the utility owner.

<u>Paving Notes</u>

In general, earthwork, drive surfaces and pavement construction should be performed in accordance with the most current edition of the MDOT Standard Specifications for Construction unless otherwise noted.

In areas of proposed pavement, building or drive surfaces; remove any existing topsoil, pavements, organic soils, vegetation, trees, unsuitable fill, and deleterious materials to expose the subgrade soil. Tree roots should be completely removed.

Excavate to the depth of the final subgrade elevation to allow for grade changes and the placement of the recommended pavement

The top 12 inches of the exposed subgrade as well as individual fill layers should be compacted to achieve a minimum of 95 percent of the maximum Modified Proctor dry density.

The final subgrade should be thoroughly proof—rolled using a fully loaded tandem axle truck under the observation of a geotechnical/pavement engineer. Loose or yielding areas that cannot be mechanically stabilized should be removed and replaced with engineered fill or as dictated by field conditions.

The aggregate base and sub-base should be compacted to achieve a minimum of 95 percent of the maximum Modified Proctor dry density. The base, sub-base, and subgrade compaction should extend a minimum of 12 inches beyond the paved edge.

Traffic should not be allowed on any new Portland Concrete Cement until the concrete has reached at least 75% of the design flexural strength.

Pavement Marking Paint

Paint application shall be performed on dry and calm days when the air temperature is above 40°F. Paint shall not be applied when rain is expected.

Paint shall conform to the requirements of the Michigan Department of Transportation (MDOT) or AASHTO M248, type F and shall be yellow and white in color. Blue shall be used in barrier free spaces.

The area to be marked shall be clean and free of loose particles. Parking stall stripes shall be 5 inches wide. All markings shall present a clean cut, uniform and workman like appearance. The contractor at his expense shall correct all markings, which fail to have a uniform, satisfactory appearance, either day or night.

The contractor shall remove & replace any markings not meeting the above quality requirements or tolerances.

All markings shall be protected while drying. The contractor shall be responsible of barricading the area and placing any warning lights to keep pedestrian or vehicular traffic from entering the area. Any damage from traffic shall be repaired to the satisfaction of the owner at no additional cost.

<u>Right-of-Way Notes::</u>

ALL CURBING WITHIN THE RIGHT-OF-WAY SHALL MATCH EXISTING MDOT CURB & SHALL BE INSTALLED PER MDOT SPECIFICATIONS R-30-G.

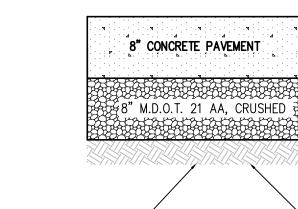
ALL CONSTRUCTED ENTRANCES ARE MEET MDOT SPECIFICATIONS FOR DETAIL M APPROACH BE MDOT DETAIL R-29-I

WHERE PROPOSED CARRY THRU GUTTER ABUTS EXISTING PAVEMENT, EXISTING PAVEMENT IS TO BE SAWCUT TO PROVIDE A CLEAN EDGE.

ALL GRADING WITHIN THE RIGHT-OF-WAY IS TO BE SEEDED AND MULCHED AFTER FINAL GRADING HAS BEEN PERFORMED.

ANY PROPOSED UTILITIES WITHIN THE RIGHT-OF-WAY SHALL BE BACKFILL AND COMPACTED WITH CLASS II SAND AND COMPACTED TO 95% (MIN.) MAXIMUM DENSITY.

ANY EXISTING SIGNS OR MAILBOXES THAT NEED TO BE EITHER TEMPORARILY OR PERMANENTLY RELOCATED WILL BE DONE SO AT THE EXPENSE OF THE CONTRACTOR AND PER THE AGENCY WITH JURISDICTION.



(SECTION TO BE SPECIFIED BY SOIL'S ENGINEER)

NORMAL SLOPE 1/4" PER FT. TOWARDS PVMT.

GRANULAR MATERIAL CLASS II

SIDEWALK APPROACHES AND BACK OF CURBS AND DRIVEWAYS.

1/2" IN WIDTH AND SHALL BE FINISHED SMOOTH AND TRUE TO LINE.

NOT TO SCALE

SUBBASE WHERE REQUIRED, 4"

8" CONCRETE PAVEMENT SECTION

Δ Δ Δ Δ

CONCRETE SIDEWALK

ONE-HALF INCH TRANSVERSE EXPANSION JOINTS SHALL BE PLACED THROUGH THE SIDEWALK

THE SIDEWALK SHALL BE DIVIDED INTO UNIT AREAS OF NOT MORE THAN 36 SQUARE FEET

AND, INSOFAR AS FEASIBLE, THE UNIT AREAS SHALL BE SQUARE AND, OR NOT LESS THAN

16 SQUARE FEET. THE UNIT AREAS SHALL BE PRODUCED BY USE OF SLAB DIVISION FORMS

CONCRETE, AFTER FLOATING, TO A DEPTH OF NOT LESS THAN ONE-FOURTH THE THICKNESS

OF THE SIDEWALK. THE CUT JOINTS SHALL BE NOT LESS THAN 1/4" NOR MORE THEN

SEALANT DETAIL

DRIVEWAY APPROACHES. ONE INCH EXPANSION JOINTS SHALL BE PLACED BETWEEN

EXTENDING TO THE FULL DEPTH OF THE CONCRETE OR BY CUTTING JOINTS IN THE

SEAL BETWEEN SIDEWALK AND BACK OF CURB WITH HOT POURED RUBBER ASPHALT

AT UNIFORM INTERVALS OF NOT MORE THAN 50'. ONE-HALF INCH EXPANSION JOINTS SHALL

ALSO BE PLACED BETWEEN THE SIDEWALK AND BACK OF ABUTTING PARALLEL CURB, BETWEEN

THE SIDEWALK AND BUILDING OR OTHER OTHER RIGID STRUCTURES, BETWEEN SIDEWALKS AND

PROOF-ROLL EX. SUBBASE-UNDERCUT, REMOVE & REPLACE ANY UNSUITABLE MATERIAL W/CRUSHED STONE

_1/4" R. (TYP.)

-REWORK 12" OF EXISTING SUBGRADE AND COMPACT TO 95% MAX. DENSITY

■ AT DRIVEWAYS AND ALLEYS A

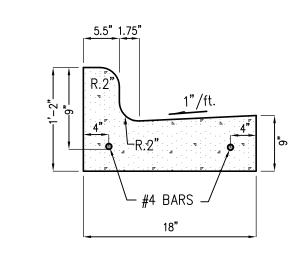
6" MIN. WILL APPLY

-CONCRETE WALK MIN SLOPE 2% PAVEMENT-COMPACTED MDOT CLASS II SAND OR 21AA CRUSHED COMPACTED SUBGRADE

INTEGRAL CURB AND WALK DETAIL

(On-Site)

NO SCALE



10" M.D.O.T. 21 AA, CRUSHED

ASPHALT PAVEMENT SECTION

(SECTION TO BE SPECIFIED BY SOIL'S ENGINEER) (On-Site)

CONCRETE CURB AND GUTTER

(REGULAR GUTTER)

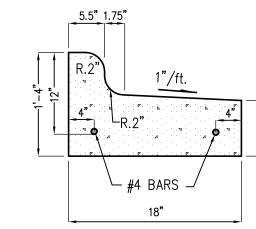
BOND COAT

PROOF-ROLL EX. SUBBASE-

REPLACE ANY UNSUITABLE

MATERIAL W/CRUSHED STONE

UNDERCUT, REMOVE &



6" CONCRETE CURB AND GUTTER

(REVERSE GUTTER)

(On-Site)

-2" M.D.O.T.

2" M.D.O.T

-REWORK 12" OF

EXISTING SUBGRADE AND COMPACT TO

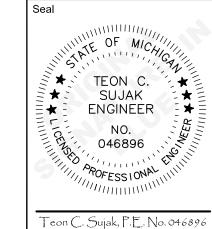
95% MAX. DENSITY

CONCRETE CURB AND GUTTER

(INTEGRAL - NTS)

Pavement Reinforcement-

NOSED DOWN CURB



Ch

Lutherar 14 Mile Rd

<u>Б</u>

, <u>p</u>

a X

Bio-Garden Calculations

Sq. Feet Acres Areas of Entire Site: 232,023 5.33 169,865 3.90 Site Area use in Bio-Garden Area Calculations:

Estimated Runoff Coefficient (C): Rainfall Depth (Channel Protection event):

0.80 1.3 Inches

Rational Method:

Volume of Bio-Garden Area based on WRC Channel Protection Volume

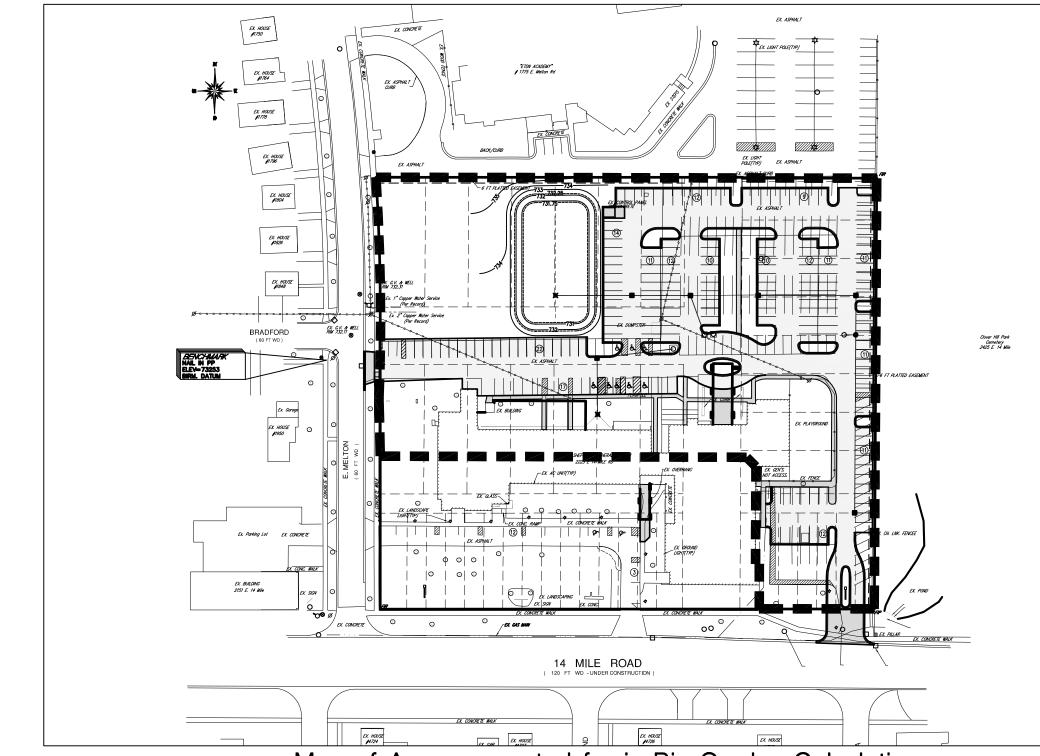
 $V_{cpvc} = (3,630) \times P \times C \times A = (3,630) \times (1.3) \times (0.80) \times (3.90) =$ 14,723 Cubic Feet

Volume of Bio-Garden Proposed

Volume (Cu.Ft.) <u> Area (Sq.Ft)</u> <u>Elevation</u>

732.25 11,760 731 8,790 12,844 730.75 8,240 2,129 14,973

14,723 Cubic Feet Required Volume: 14,973 Cubic Feet **Proposed Volume:**



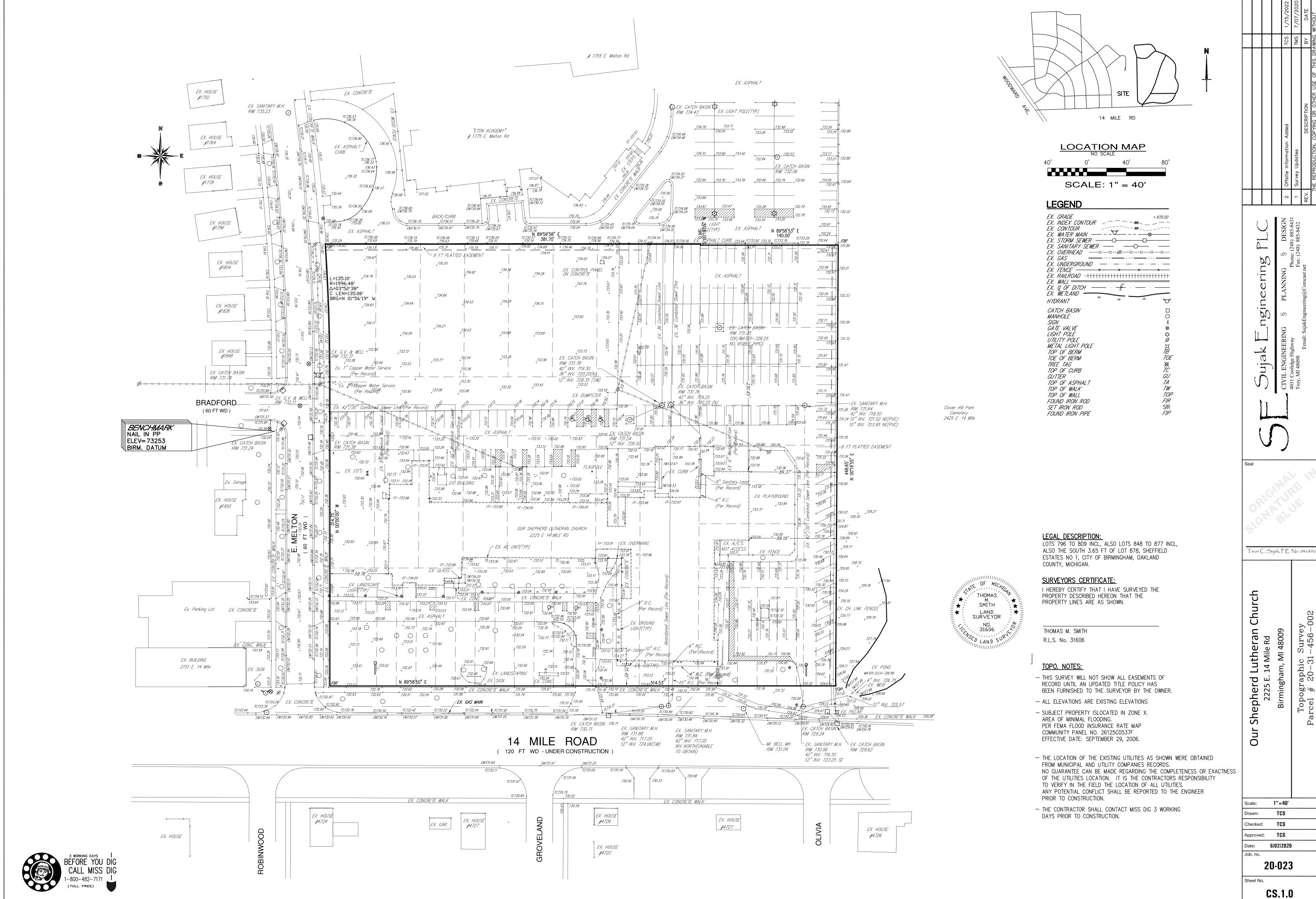
Map of Area accounted for in Bio-Garden Calculations

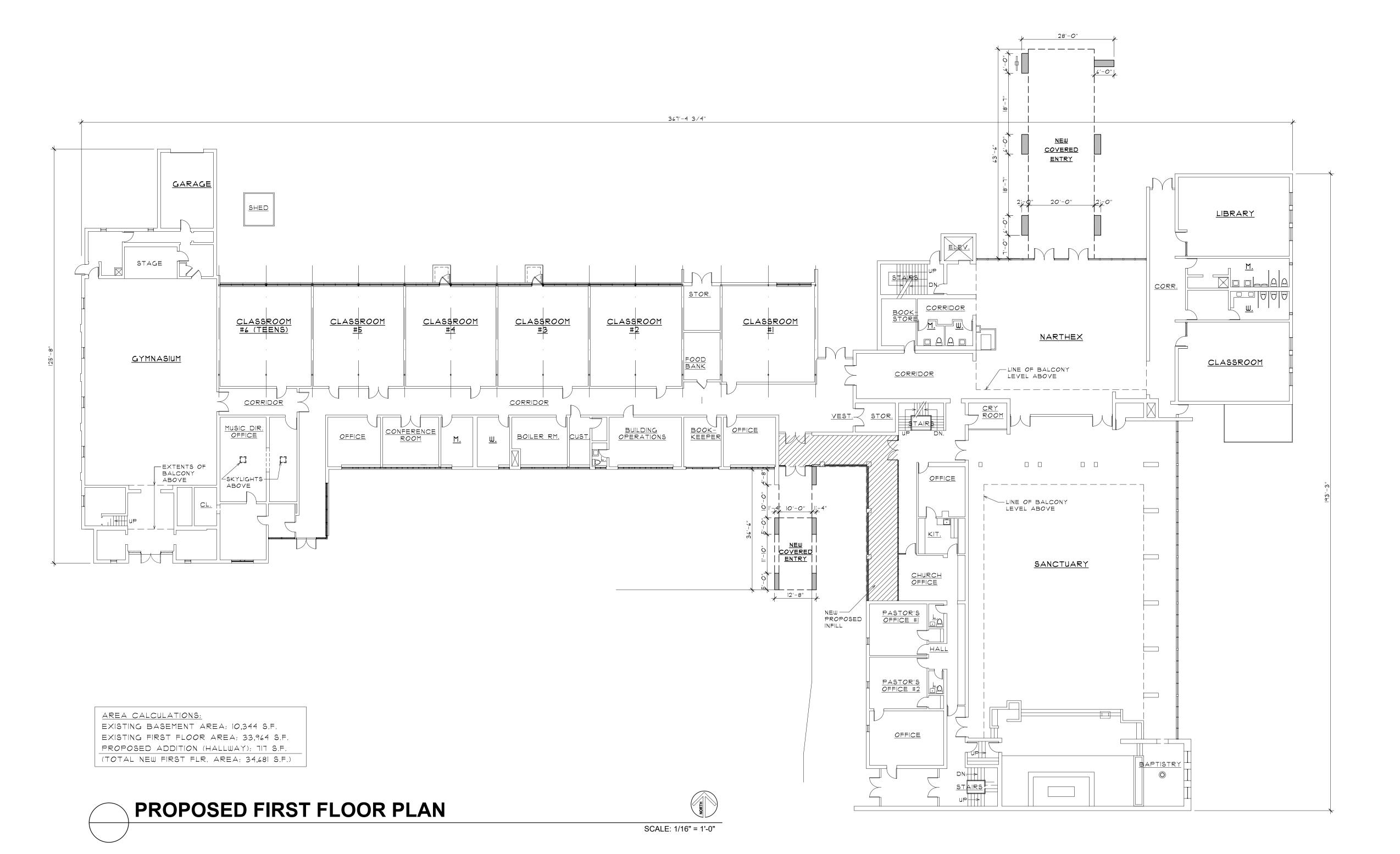
ephero 2225 Sh 0 None Checked: TCS TCS

20-023

1/21/2022

C3.0





MECHANICAL NOTE: ALL EXISTING MECH. EQUIPMENT TO REMAIN AS IS, NO NEW MECH. EQUIPMENT PROPOSED. NO NEW SCREEN-WALL PROPOSED ® EXIS. MECH. EQUIPMENT, SEE LANDSCAPE FOR DUMPSTER ENCLOSURE DETAILS.

FAR CALCS:

SITE AREA = +/- 5.3 ACRES (+/- 230,868 S.F.) TOTAL BLDG. AREA = 34,681 S.F.

F.A.R. = 0.15

LIST OF PROP. DESIGN CHANGES: 1. NEW PARKING LOT DESIGN ON NORTH & EAST SIDE OF BLDG, W/ NEW LANDSCAPE & PEDESTRIAN ENTRY WALKS.

- 2. NEW PORTE COCHERE ENTRY ADDITION ® NORTH ELEV. 3. NEW COVERED ENTRY 9
- SOUTH ELEV. NEW INFILL/ ADDITION TO EXIS, BRICK COLUMN LINE @ SOUTH ELEV. ADJACENT TO NEW COVERED ENTRYWAY. 4. NEW ADDITIONAL FOUNDATION
- LANDSCAPE AROUND BLDG. 5. NEW SITE & BLDG. LIGHTING. 6. THREE NEW GROUND SIGNS: 6.1. AT N-W DRIVE ENTRY OFF OF MELTON RD.
- 6.2. AT S-W CORNER OF SITE (MELTON & 14 MILE RD.) 6.3. AT NEW BLVD, DRIVE ENTRY ® S-E CORNER

OF SITE. *SMALL IDENTIFICATION SIGN ® NEW PORTE COCHERE.

400 Architea

OUR COPYRIGHT 2021 BOGAERTS + ASSOC.

HERAN

 $\overline{Q} \circ O$

 $0 \tilde{m} >$

 $\simeq \infty \cup$

m

 $\frac{B}{O}$

 $\frac{1}{2}$

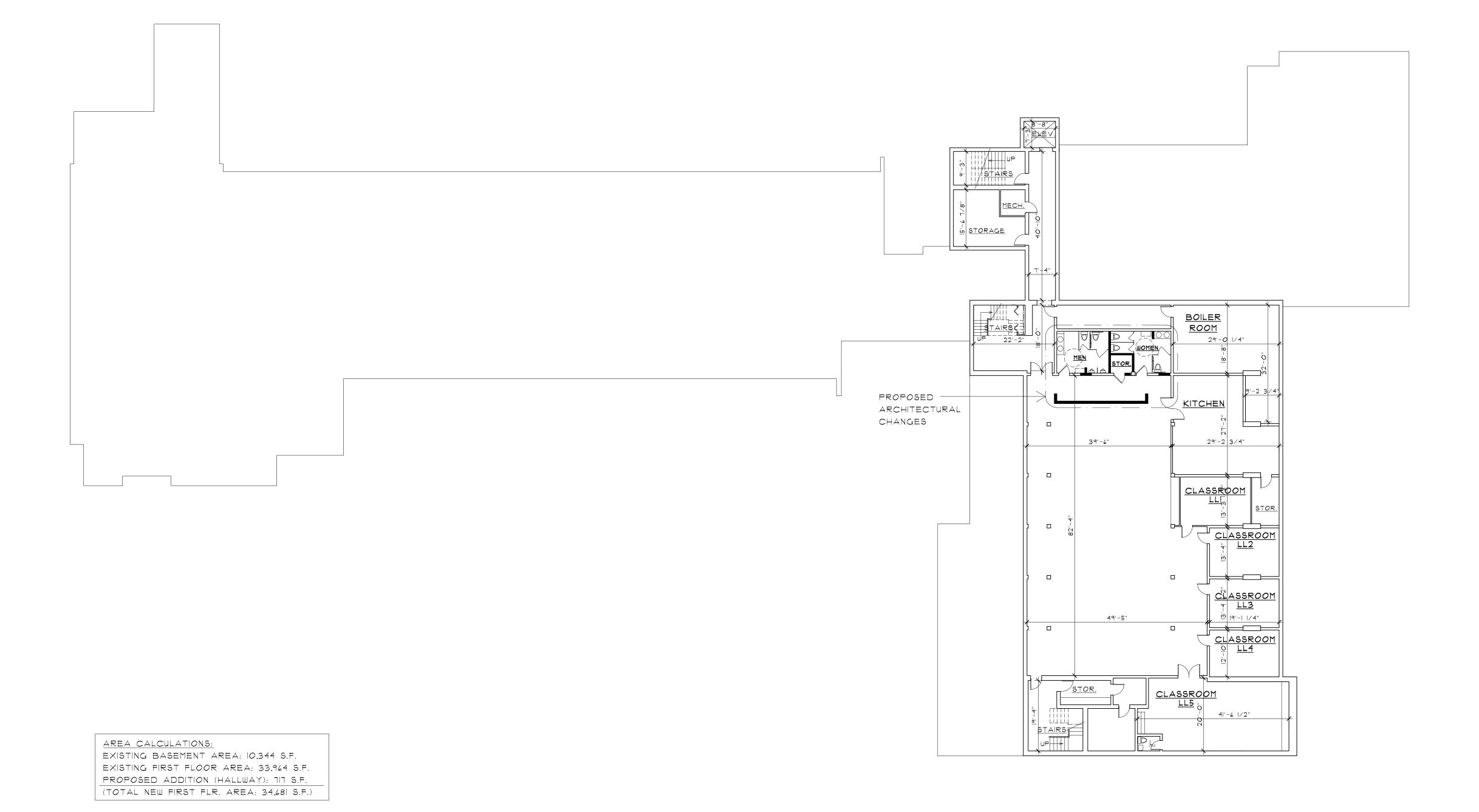
■ PRELIMINARY 06.01.21

■ CONSTRUCTION 06.01.21 06-10-2020 ADD. #1 SLUP PB SUBMSN.

 \bigcap CAD FILENAME —

1949OSLC_ JOB NUMBER -00-00-2016 SHEET NUMBER -

ALEXANDER ' BOGAERTS I ARCHITECT 1301068995 A100



SCALE: 1/16" = 1'-0"

EXISTING BASEMENT PLAN



MECHANICAL NOTE: ALL EXISTING MECH. EQUIPMENT TO REMAIN AS IS, NO NEW MECH. EQUIPMENT PROPOSED. NO NEW SCREEN-WALL PROPOSED @ EXIS. MECH. EQUIPMENT, SEE LANDSCAPE FOR DUMPSTER ENCLOSURE DETAILS. LIST OF PROP. DESIGN CHANGES: 1. NEW PARKING LOT DESIGN ON NORTH & EAST SIDE OF BLDG, W/ NEW LANDSCAPE # PEDESTRIAN ENTRY WALKS.

2. NEW PORTE COCHERE ENTRY ADDITION © NORTH ELEV. 3. NEW COVERED ENTRY ® SOUTH ELEV. NEW INFILL/ ADDITION TO EXIS, BRICK

COLUMN LINE @ SOUTH ELEV. ADJACENT TO NEW COVERED ENTRYWAY. 4. NEW ADDITIONAL FOUNDATION

LANDSCAPE AROUND BLDG. 5. NEW SITE & BLDG, LIGHTING, 6. THREE NEW GROUND SIGNS:

6.1. AT N-W DRIVE ENTRY OFF OF MELTON RD. 6.2. AT S-W CORNER OF SITE

(MELTON & 14 MILE RD.) 6.3. AT NEW BLVD. DRIVE ENTRY ® S-E CORNER OF SITE,

> *SMALL IDENTIFICATION SIGN ® NEW PORTE COCHERE.

• **4rchitecture**

Planning

Design

 $0 \overset{\sim}{\approx} \overset{\sim}{\sim}$

M

 $\frac{B}{O}$

SHEPHERD LUTHERAN ciates OUR N SS O COPYRIGHT 2021 BOGAERTS + ASSOC.

ഗ

■ PRELIMINARY 06.01.21

06.01.21 ■ PERMITS 06.01.21 ■ CONSTRUCTION

06.01.21

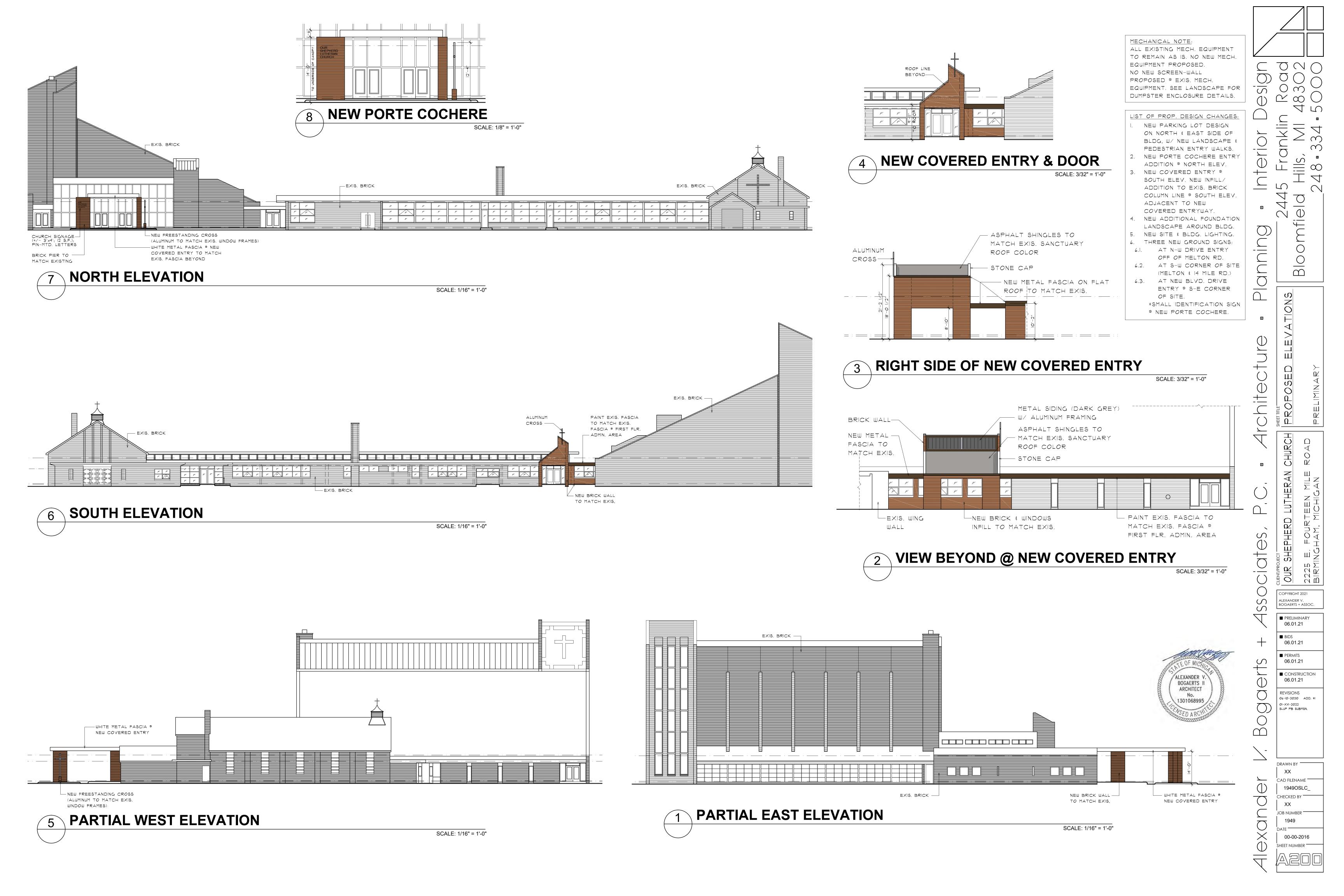
01-XX-2022

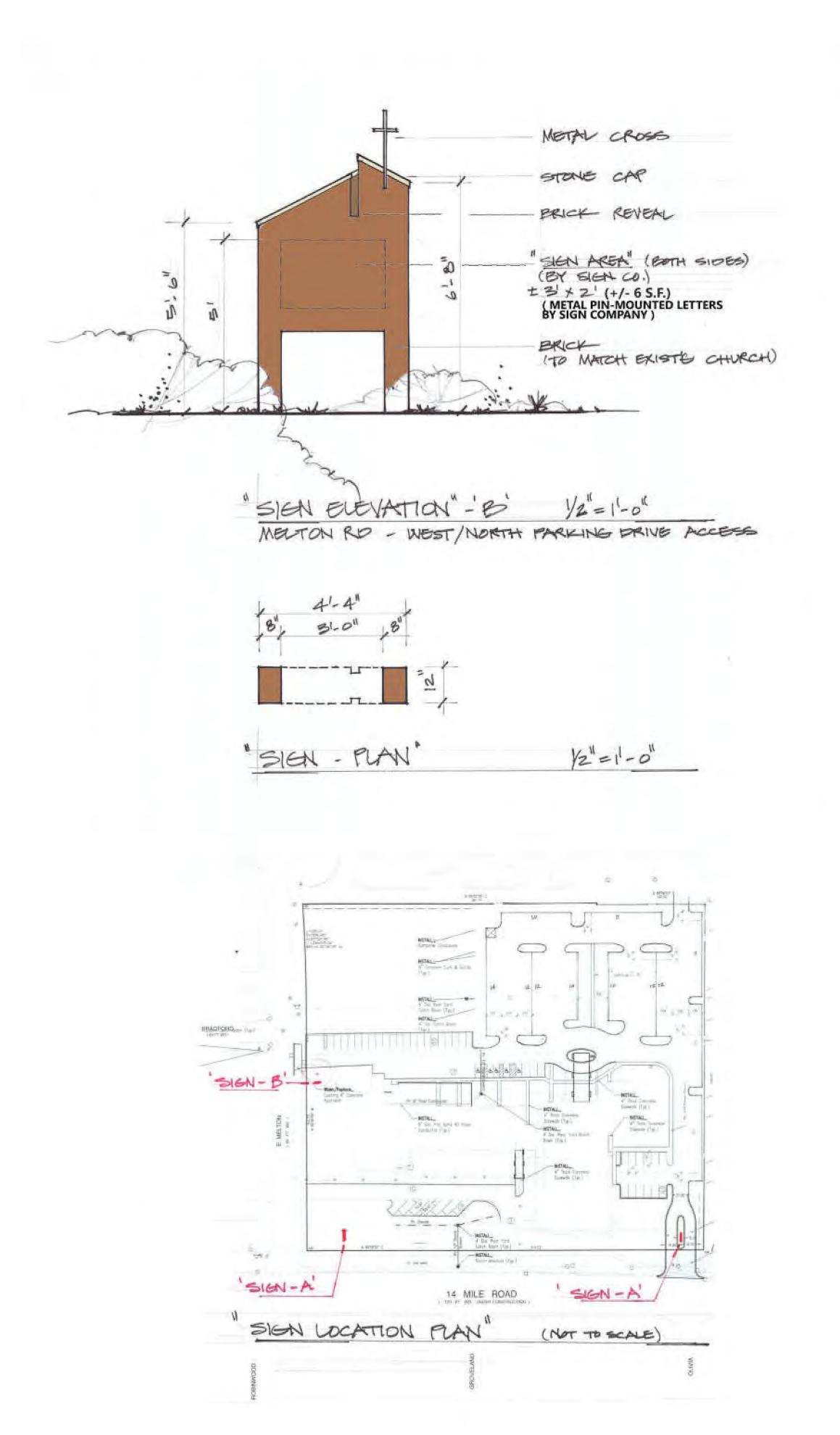
XX CAD FILENAME -

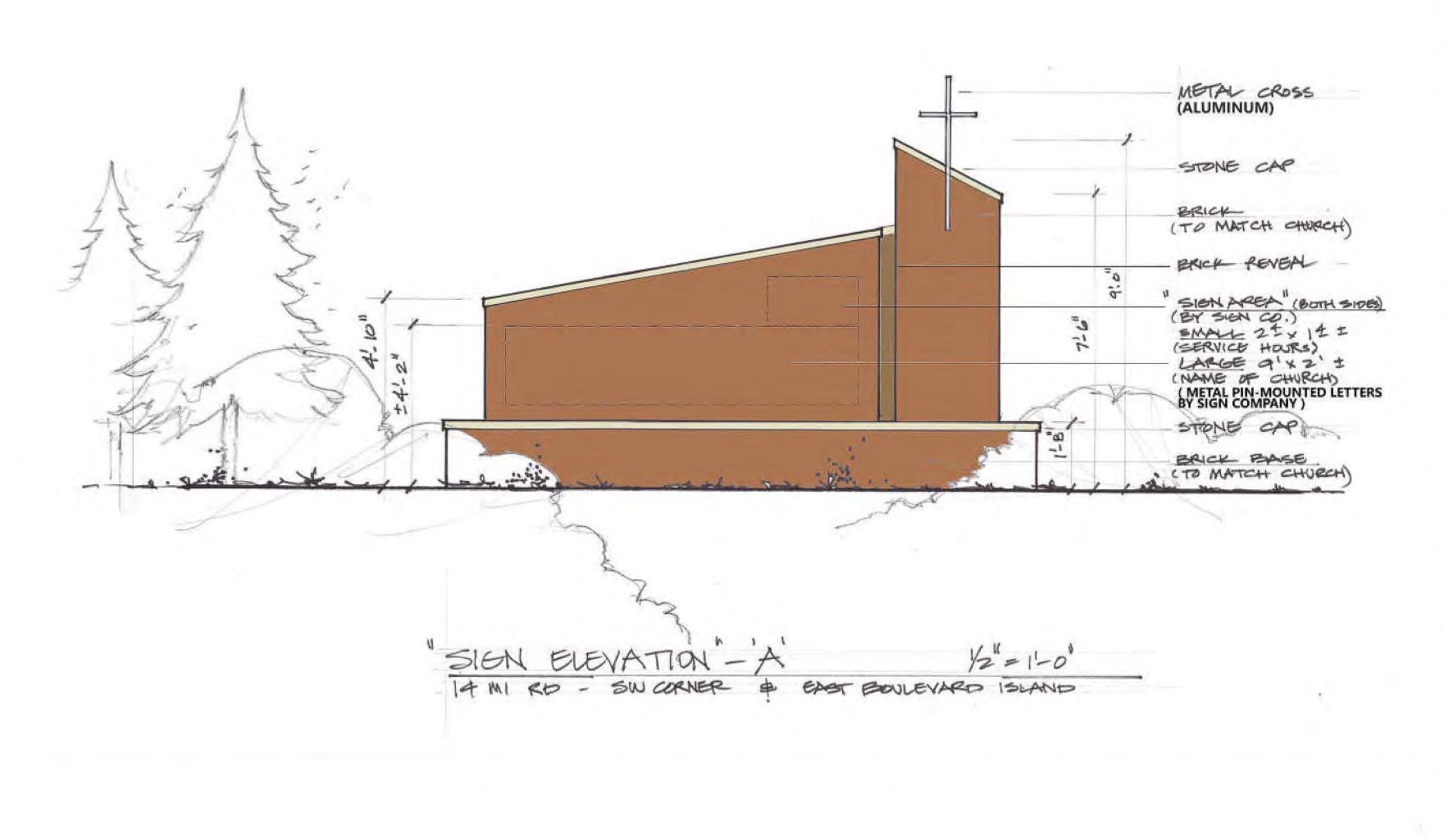
 $\stackrel{\text{O}}{\longrightarrow}$

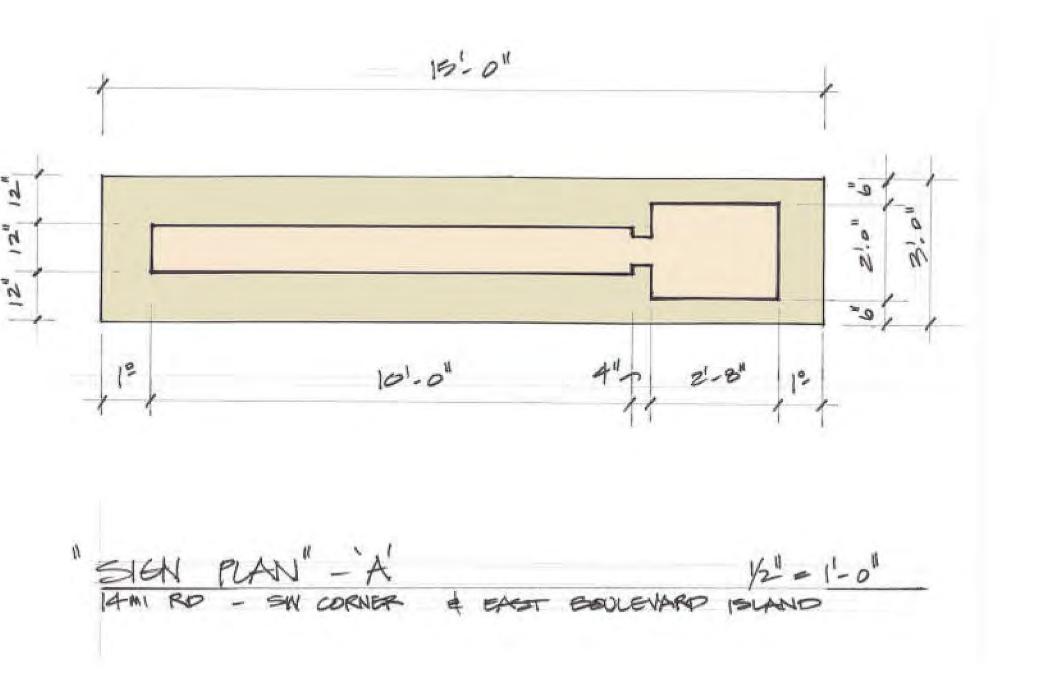
1949OSLC_ JOB NUMBER -

00-00-2016 Sheet number —







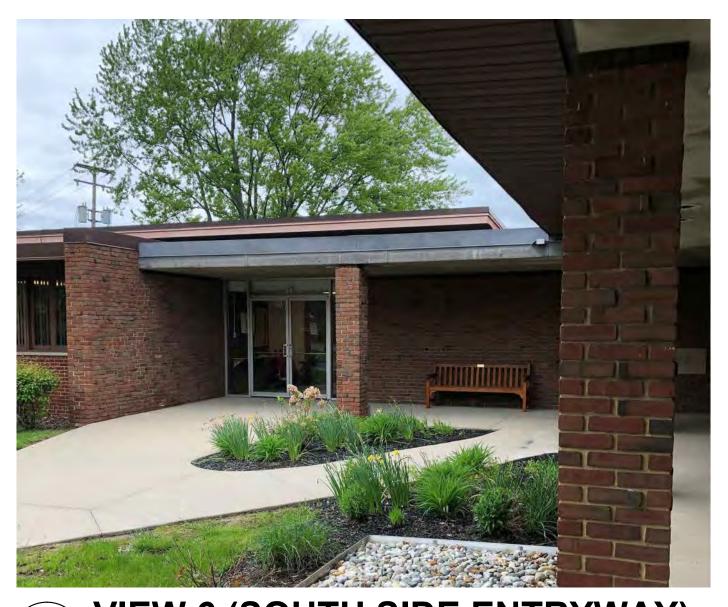




Design Road 48302 5000 45 Franklin 4 Hills, MI 248-334-5 Interior 2445 Bloomfield Planning **Architecture** SIGNAGE OUR SHEPHERD LUTHERAN CHURCH
2225 E. FOURTEEN MILE ROAD
BIRMINGHAM, MICHIGAN P.O. 4ssociates, COPYRIGHT 2021 ALEXANDER V. BOGAERTS + ASSOC. ■ PRELIMINARY 06.01.21 ■ BIDS 06.01.21 ■ PERMITS 06.01.21 Bogaerts ■ CONSTRUCTION 06.01.21 REVISIONS

OI-XX-2022
SLUP PB SUBMSN. DRAWN BY 41exander 1949OSLC_ CHECKED BY 1949 SHEET NUMBER A201

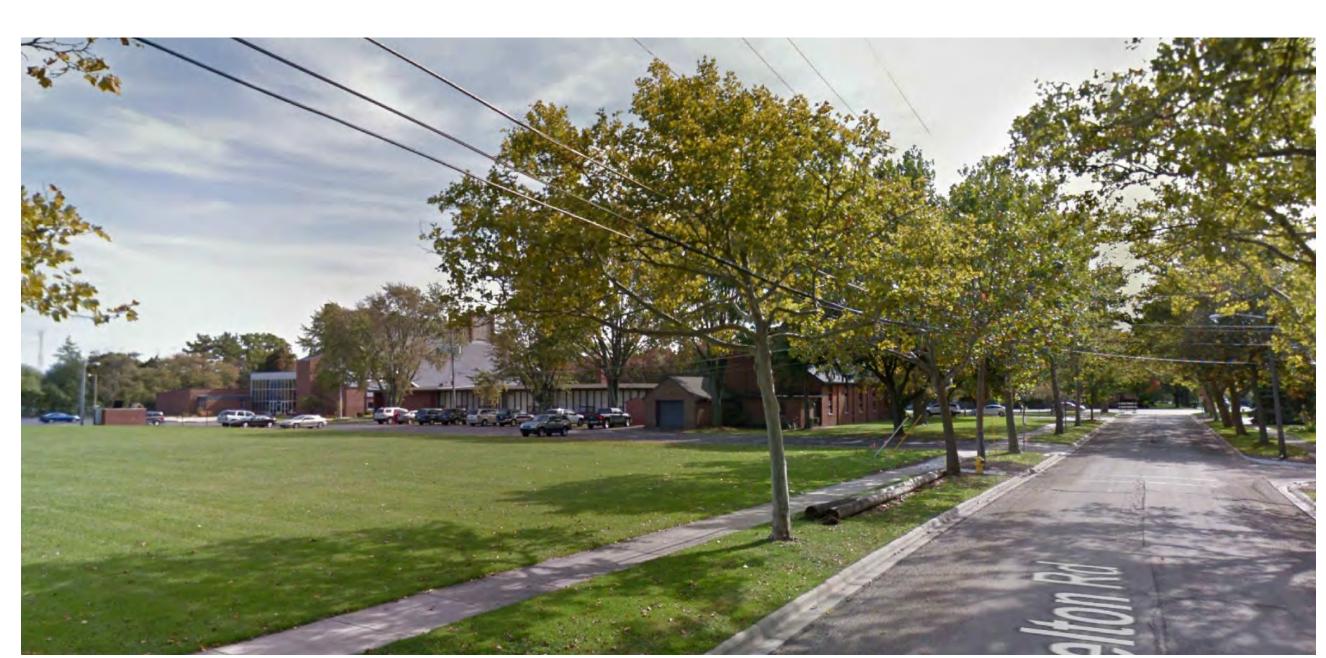




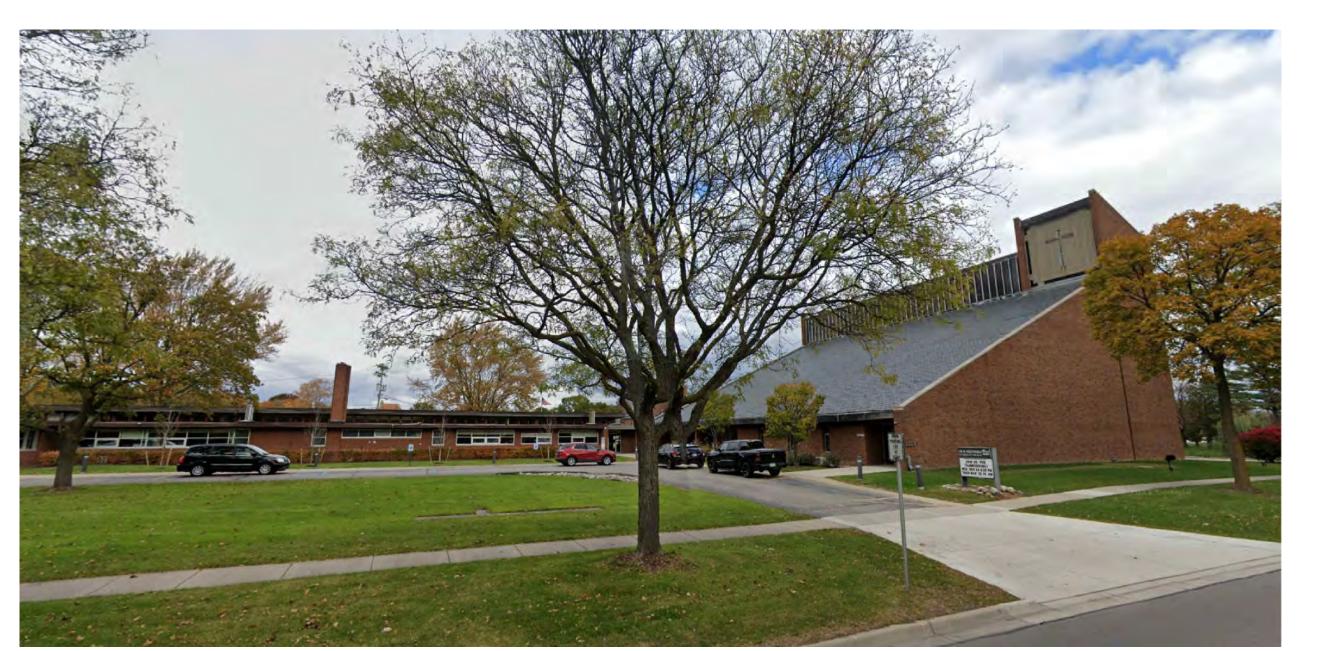
6 VIEW 6 (SOUTH SIDE ENTRYWAY)



3 VIEW 3 (ENTRANCE FROM MELTON RD)



VIEW 5 (NORTH FACADE OF CHURCH BUILDING)

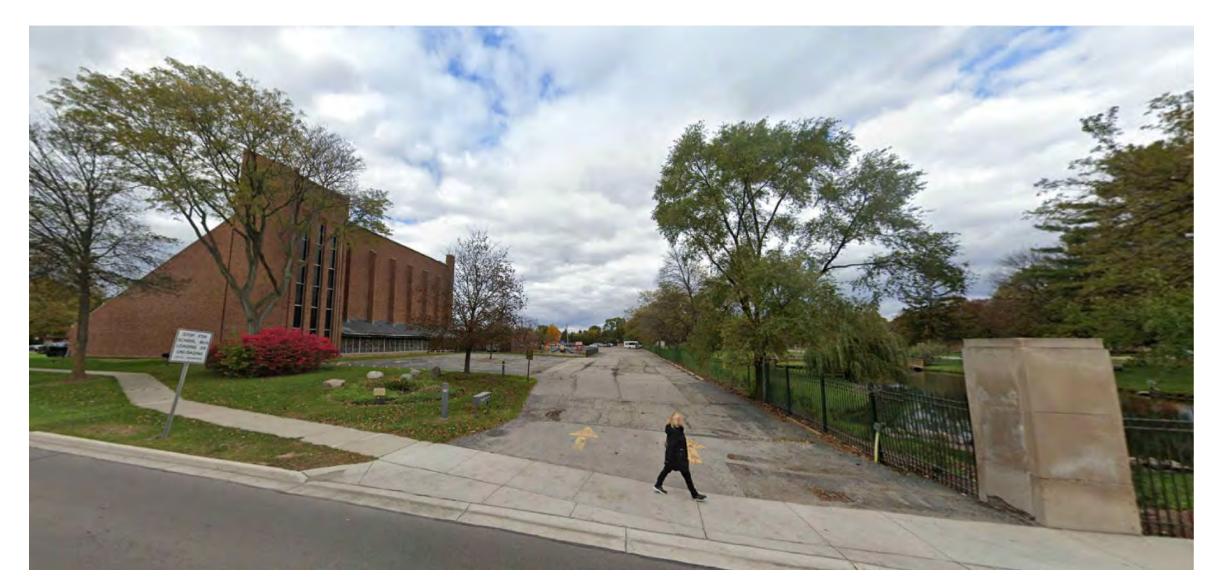


VIEW 2 (SOUTH ENTRANCE)

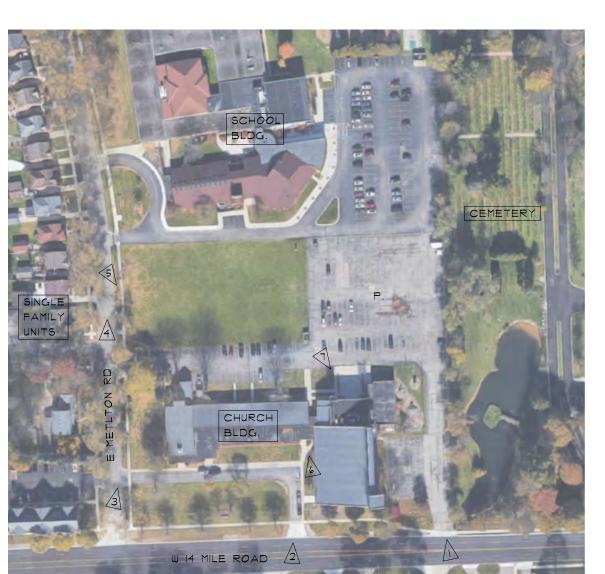


VIEW 4 (E MELTON RD)

SHOWING SINGLE-FAMILY RESIDENCES IN CONTEXT WITH SCHOOL BUILDING



1 VIEW 1 (SOUTH ENTRANCE)



SITE MAP

06.01.21

BIDS
06.01.21

PERMITS
06.01.21

CONSTRUCTION
06.01.21

REVISIONS
OI-XX-2022
SLUP PB SUBMSN.

DRAWN BY

XX

CAD FILENAME

1949OSLC_

CHECKED BY

XX

CHECKED BY

XX

JOB NUMBER

1949

DATE

00-00-2016
HEET NUMBER

A300





FELINO A. PASCUAL and ASSOCIATES

Community Land Planner and registered Landscape Architect
24333 Orchard Lake Rd, Suite G Farmington Hills, MI 48336 ph. (248) 557-5588 fax. (248) 557-5416

seal:

OF MICHAELING

FELINO

A. PASCUAL

ARCHITECT

ANDSCAPE

ARCHITECT

ANDSCAPE

AN

Our Shepherd Lutheran Church

2225 14 Mile Rd Birmingham, Michigan

project:

Our Shepherd Lutheran Church

project location:

City of Birmingham, Michigan 14 Mile Road

sheet title:

COLOR LANDSCAPE PLAN

job no./issue/revision date:

LS21.073.05 review 5-13-2021 LS21.073.10 review 11-12-2021 LS22.010.01 city 1-31-2022

drawn by:
JP, DK, HP

checked by:

TP date: 1-2-2022

notice:
Copyright © 2022

This document and the subject matter contained therein is proprietary and is not to be used or reproduced without the written permission of Felino Pascual

Do Not scale drawings. Use figured dimensions only



The location and elevations of existing underground utilities as shown on this drawing are only approximate. no guarantee is either expressed or implied as to the completeness of accuracy. contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction

project no:

LS22.010.01

sheet no:

LSR-1

landscape plan for:
Our Shepherd Lutheran Church
City of Birmingham, Michigan

note:

unless noted otherwise, numerical value on landscape quantities specified on plan take precedence over graphic representation.

1" = 40'- 0"

landscape requirements:

| street tree (14 mile road) | | REQUIRED | PROVIDED |
|--|-----------------|----------|---------------|
| TOTAL LN.FT. OF GREENBELT FRONTAGE | 5 5.88 <u>+</u> | | |
| ONE (1) 3"DECIDUOUS OR EVERGREEN TREE PER 40 LN.FT. | | 3 | 3 + 10 EXISTI |
| (5 5.88 LN.FT. / 40 LN.FT. = 2.9 TREES) Street tree (E. melton road) | | REQUIRED | PROVIDED |
| TOTAL LN.FT. OF GREENBELT FRONTAGE | 449.85 <u>+</u> | | |
| ONE (1) 3"DECIDUOUS OR EVERGREEN TREE PER 40 LN.FT. | | | 12 EXISTING |
| (449.85 LN.FT. / 40 LN.FT. = 11.25 TREES) parking | | REQUIRED | PROVIDED |
| TOTAL SQ.FT OF PARKING AREA PROVIDED | T 8 | 3,361 | |
| TOTAL SQ.FT OF LANDSCAPE AREA REQUIRED | Э, | 888.79 | |
| ONE (1) 3"DECIDUOUS OR EVERGREEN TREE PER 150 SQ.FT (3,918 SQ.FT / 150 SQ.FT = 26.12 TREES) | | 26 | 26 |

plant material list

| key | quant. LS-1 | botanical name | common name | size | comments |
|-----|----------------|----------------------------------|------------------------------|-----------|----------|
| GT | 4 | GLEDITSIA TRI. INERMIS 'SKYCOLE' | SKYLINE LOCUST | 2 1/2" BB | |
| AF | 8 | ACER X FREEMANII 'JEFFERGRED' | AUTUMN BLAZE RED MAPLE | 2 1/2" BB | |
| tc | 11 | TILIA CORDATA 'GREENSPIRE' | GREENSPIRE LINDEN | 2 1/2" BB | |
| İR | 3 | TILIA AMERICANA 'REDMOND' | REDMOND LINDEN | 2 1/2" BB | |
| ARA | 2 | ACER R. 'ARMSTRONG' | ARMSTRONG RED MAPLE | 3" BB | |
| СВ | 1 | CARPINUS BETULUS 'FASTIGIATA' | PYRAMIDAL EUROPENAN HORNBEAN | 3" BB | |
| LS | 2 | LIQUIDAMBAR STYRACIFLUA | AMERICAN SWEETGUM | 2 1/2" BB | |
| AR | 3 | CARPINUS BETULUS 'FASTIGIATA' | RED MAPLE | 2 1/2" BB | |
| AC | 1 | AMELANCHIER CANADENSIS | SHADBLOW SERVICEBERRY | 8' BB | |
| CK | 1 | CORNUS KOUSA | KOUSA DOGWOOD | 2" BB | |
| MJ | 1 | MAGNOLIA LILLIFLORA 'JANE' | JANE MAGNOLIA | 8' BB | |
| AP | 1 | ACER P. 'BLOODGOOD' | BLOODGOOD JAPANESE MAPLE | #1 CONT | |
| MR | 2 | MALUS 'RED BARRON' | RED BARRON CRABAPPLE | 2" BB | |
| | | | | | |
| PP | 2 | PICEA PUNGENS | COLORADO SPRUCE | 8' BB | |
| PPL | 1 | PICEA PUNGENS | COLORADO SPRUCE | 10' BB | |

general landscape notes:

1. LANDSCAPE CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISITING CONDITIONS, REVIEW PROPOSED PLANTINGS AND RELATED WORK. CONTACT THE OWNER AND/OR LANDSCAPE ARCHITECT WITH ANY CONCERNS OR DISCREPANCY BETWEEN THE PLAN, PLANT MATERIAL LIST, AND/OR SITE CONDITIONS.

2. PRIOR TO BEGINNING OF CONSTRUCTION ON ANY WORK, CONTRACTORS SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES, GAS, ELECTRIC, TELEPHONE, CABLE TO BE LOCATED BY CONTACTING MISS DIG 1-800-482-1111. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, COORDINATE ALL RELATED WORK ACTIVITIES WITH OTHER TRADES AND REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER PRIOR TO COMMENCING

3. NUMERICAL VALUE ON THE LANDSCAPE QUANTITIES SPECIFIED ON THE PLAN TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION. VERIFY ANY CONCERN-DISCREPANCY WITH LANDSCAPE ARCHITECT.

4. ALL CONSTRUCTION AND PLANT MATERIAL LOCATION TO BE ADJUSTED ON SITE IF NECESSARY

5. ALL SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED BY CITY OF BIRMINGHAM AND LANDSCAPE ARCHITECT 6. ALL LARGE TREES AND EVERGREENS TO BE STAKED, GUYED AND WRAPPED AS DETAILED, SHOWN ON PLAN.

7. PLANT BEDS TO BE DRESSED WITH MIN. 4" OF FINELY DOUBLE SHREDDED HARDBARK MULCH.

8. DIG SHRUB PITS I' LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2' LARGER THAN ROOT BALL. BACK FILL WITH ONE PART TOP SOIL AND ONE PART SOIL FROM EXCAVATED PLANTING HOLE.

9. NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK MULCH REQUIRED FOR ALL PLANTINGS.

10. REMOVE ALL TWINE, WIRE AND BURLAP FROM TREE AND SHRUB EARTH BALLS, AND FROM TREE TRUNKS. 4" THICK BARK MULCH FOR TREES IN 4' DIA. CIRCLE WITH 3" PULLED AWAY FROM TRUNK . 4" THICK BARK MULCH FOR

SHRUBS AND 4" THICK BARK MULCH FOR PERENNIALS.

11. PLANT MATERIAL QUALITY & INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS.

12. PROVIDE PEAT SOD FOR ALL NEW AND DISTURBED LAWN AREAS UNLESS NOTED OTHERWISE.

13. ALL PLANTING AREAS TO BE PREPARED WITH APPROPRIATE SOIL MIXTURES AND FERTILIZER BEFORE PLANT INSTALLATION.

14. PLANT TREES AND SHRUBS GENERALLY NO CLOSER THAN THE FOLLOWING

EXISTING TREES TO BE

EXISTING EVERGREENS IN

THIS LOCATION TO BE

5' WIDE CONC. PUBLIC

zoned R-2

zoned

0-

PROPOSED SIGN

TREE REQUIREMENT

EXISTING SHRUBS HEDGE TO

EXISTING TREES TO BE CREDITED

TOWARD 14-MILE ROAD STREET

MONUMENT

REMAIN

PROPOSED SIGN

ROAD STREET TREE

REQUIREMENT

RETAINED.

MONUMENT

WALK, TYP.

CREDITED TOWARD MELTON

DISTANCES FROM SIDEWALKS, CURBS AND PARKING STALLS: a). SHADE TREES b). ORNAMENTAL AND EVERGREEN TREES (CRAB, PINE, SPRUCE, ETC.)

c). SHRUBS THAT ARE LESS THAN I FOOT TALL AND WIDE AT MATURITY_

15. NO TREES OR EVERGREENS TO BE INSTALLED OVER ANY PROPOSED OR EXISTING UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN. SEE ENGINEERING PLANS FOR LOCATION AND DETAILS.

AUTOMATIC UNDERGROUND SYSTEM, IRRIGATION SYSTEM TO HAVE SEPARTE ZONES FOR LAWN AREAS, PARKING ISLANDS, AND SHRUB BEDS WITH DIFFERENT CONTROL MOISTURE LEVEL ADJUSTMENT PER ZONE AS REQUIRED IT. UNLESS NOTED OTHERWISE, LANDSCAPE BEDS ADJACENT TO LAWN TO

16. ALL LAWN AREAS AND LANDSCAPE BEDS TO BE FULLY IRRIGATED WITH AN

OR APPROVED EQUAL AND TO BE INSTALLED WITH HORIZONTAL METAL STAKES AT 32" O.C. OR PER MANUFACTERER'S SPECIFICATION. 18. ALL NEW PARKING ISLANDS AND LANDSCAPE BEDS ADJACENT AND NEXT TO BUILDING SHALL BE EXCAYATED OF ALL BUILDING MATERIALS AND POOR SOILS A MIN. OF 16"-18" DEPTH. BACK FILL WITH GOOD, MEDIUM TEXTURED

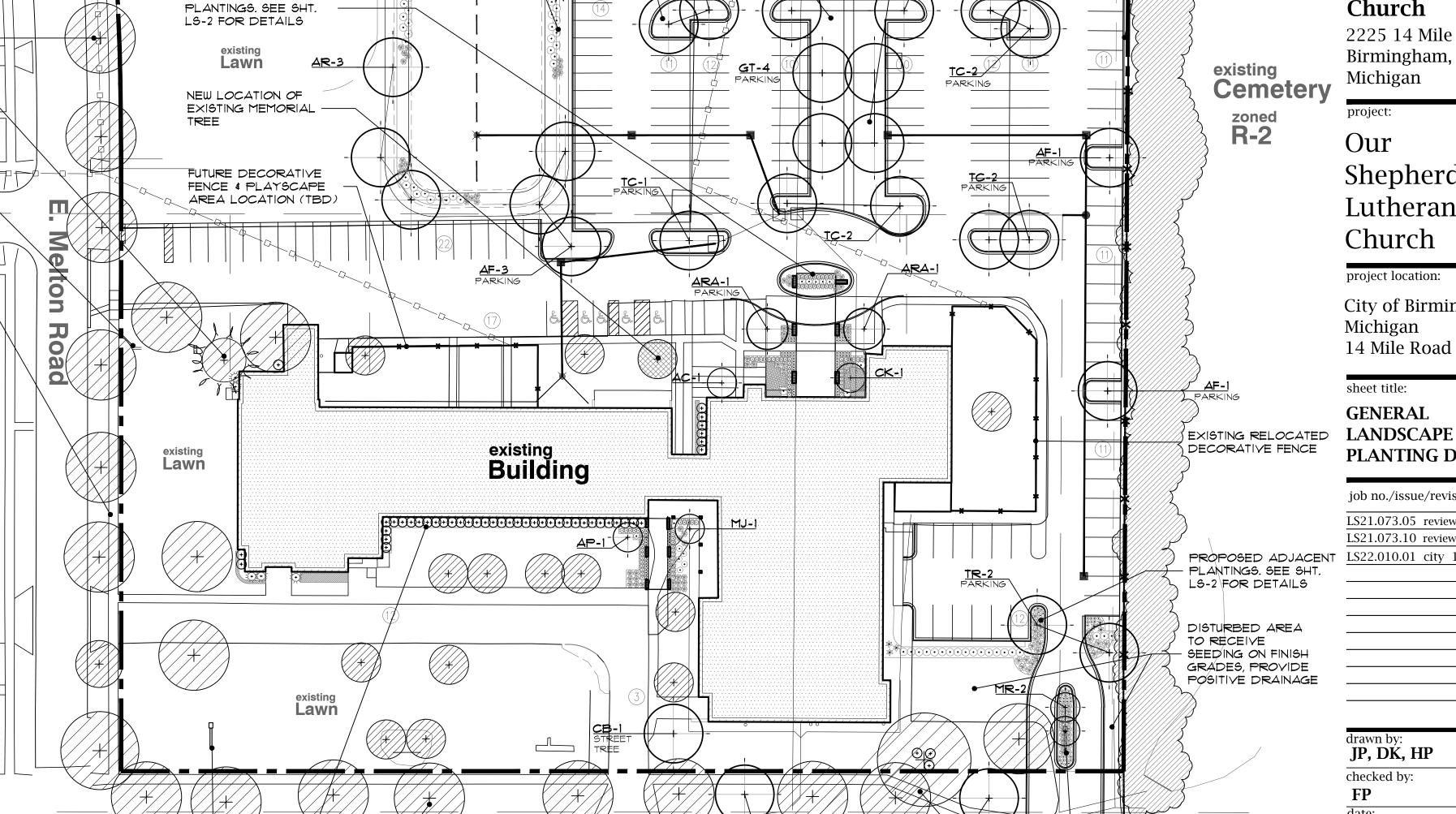
RECIEVE EDGING, EDGING SHALL BE 4" imes 1/8" METAL (FINISH BLACK OR GREEN)

PLANTING SOILS. ADD A MIN. 4" OF TOPSOIL OVERFILL TO FINISH GRADE. PROVIDE POSITIVE DRAINAGE. 19. WATERING OF ALL PLANTS AND TREES TO BE PROVIDED IMMEDIATELY AND

MULCHING WITHIN 24 HOURS AFTER INSTALLATION. 20. ALL TREE PITS TO BE TESTED FOR PROPER DRAINAGE PRIOR TO TREE PLANTING. PROVIDE APPROPRIATE DRAINAGE SYSTEM AS REQUIRED IF THE

TREE PIT DOES NOT DRAIN SUFFICIENTLY.

21. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE PLANT MATERIALS AND IRRIGATION INSTALLATION FOR A PERIOD OF TWO YEAR BEGINNING AFTER THE COMPLETION OF LANDSCAPE INSTALLTION DATE APPROVED BY THE CITY OR LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE DURING AND AT THE END OF THE GUARANTEE PERIOD, ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE TOWNSHIP OR LANDSCAPE ARCHITECT, WITHOUT COST TO THE OWNER.



14 Mile Road

general landscape planting detail

Eton Academy

zoned

TR-1 STREET TREE

NEW PARKING LOT ISLANDS TO BE EXCAVATED OF PAVEMENT MATERIALS AND POOR SOILS TO A MINIMUM DEPTH OF 12" TO 16"AND BACKFILLED WITH A

GOOD MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY). ISLAND TO BE CROWDED A MINIMUM OF 12" HIGHER THAN ADJACENT CURBS AND

PROVIDE 4"-6" OF TOP SOIL

DISTURBED AREA TO RECEIVE

SEEDING ON FINISH GRADES,

PROVIDE POSITIVE DRAINAGE

PROPOSED ADJACENT

FELINO A. PASCUA and ASSOCIATES Community Land Planner and registered Landscape Architect 24333 Orchard Lake Rd, Suite G Farmington Hills, MI 48336 ph. (248) 557-5588 fax. (248) 557-5416

DISTURBED AREA SEEDING ON FINISH GRADES, PROVIDE POSITIVE DRAINAGE

LAWN AREAS TO RECEIVE

DRAINAGE

IRRIGATION AND SOD ON FINISH

TO RECEIVE

GRADES, PROVIDE POSITIVE

Our Shepherd Lutheran Church

2225 14 Mile Rd Birmingham Michigan

project: Our Shepherd Lutheran Church

project location:

City of Birmingham, Michigan 14 Mile Road

sheet title:

GENERAL PLANTING DETAIL

job no./issue/revision date:

LS21.073.05 review 5-13-2021 LS21.073.10 review 11-12-2021 PROPOSED ADJACENT LS22.010.01 city 1-31-2022

JP, DK, HP

checked by:

1-2-2022 notice:

PROPOSED SIGN

HATCHING DENOTES EXISTING

MONUMENT

TREES TO BE RETAINED.

Copyright This document and the subject matter contained therein is proprietary and is not to be used or reproduced without the written permission of Felino Pascual and Associates

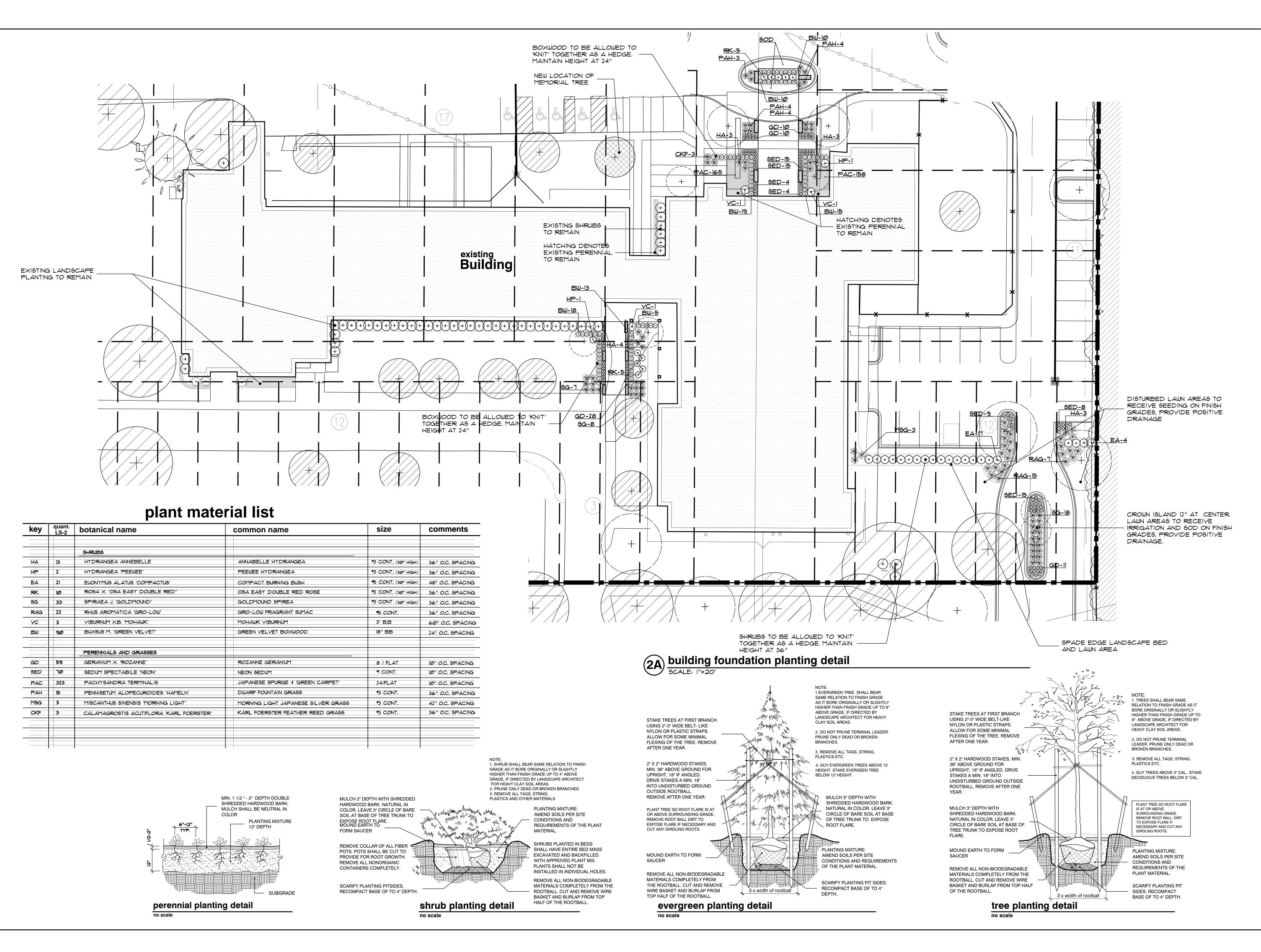
> Do Not scale drawings. Use figured dimensions only



The location and elevations of existing underground utilities as shown on this drawing are only approximate. no guarante is either expressed or implied as to the completeness of accuracy, contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction

project no: LS22.010.01

sheet no:





seal:

OF MICHAILING

FELINO

A. PASCUAL

LANDSCAPE

ARCHITECT

ANDSCAPE

AN

Our Shepherd Lutheran Church

2225 14 Mile Rd Birmingham, Michigan

project:

Our Shepherd Lutheran Church

project location:

City of Birmingham, Michigan 14 Mile Road

sheet title:

FOUNDATION PLANTING DETAIL

job no./issue/revision date:

LS21.073.05 review 5-13-2021 LS21.073.10 review 11-12-2021 LS22.010.01 city 1-31-2022

drawn by: JP, DK, HP

checked by:

date: 1-2-2022

notice:
Copyright © 2022

This document and the subject matter contained therein is proprietary and is not to be used or reproduced without the written permission of Felino Pascual

and Associates

Do Not scale drawings. Use figured dimensions only

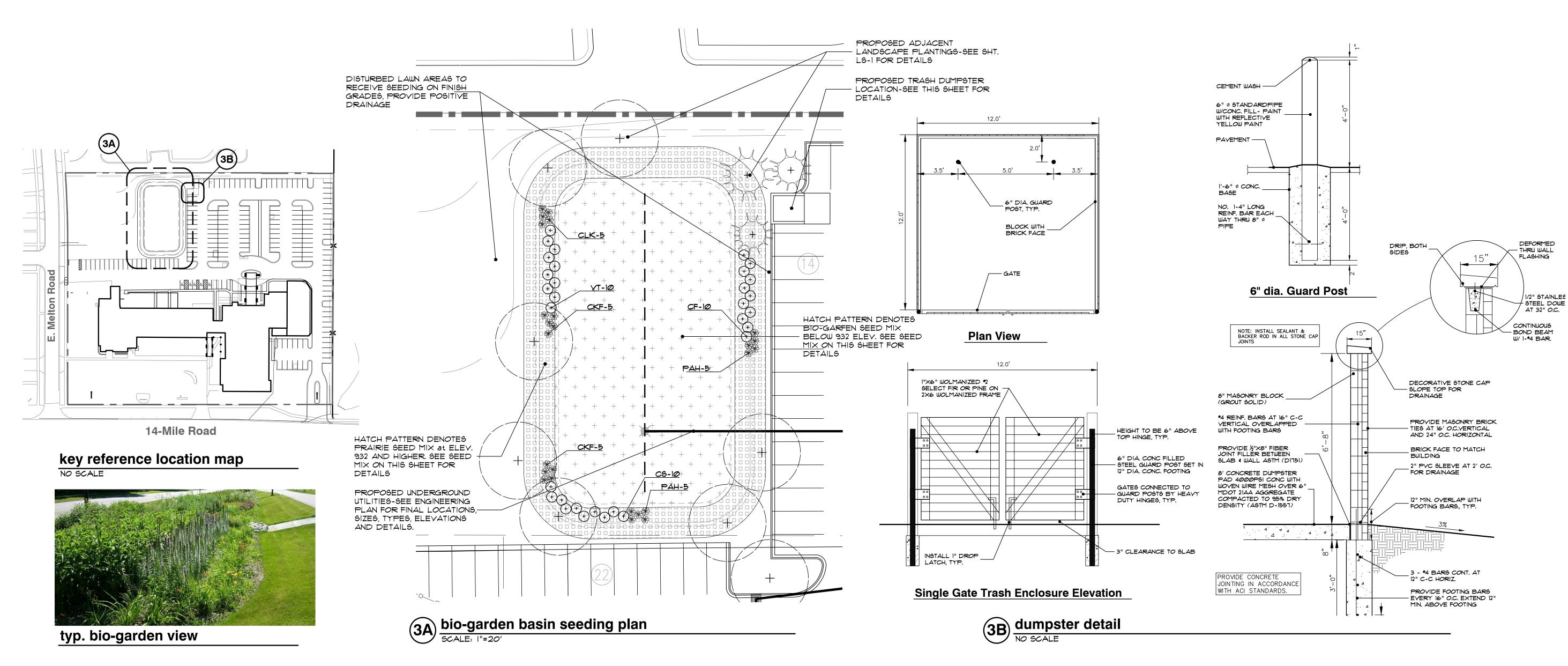


The location and elevations of existing underground utilities as shown on this drawing are only approximate. no guarantee is either expressed or implied as to the completeness of accuracy. contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction

project no:

LS22.010.01

sheet no:



bio-garden basin seed mix:

A wetland seed mix for saturated soils in a detention pond or for seeding a saturated basin, this mix will tolerate highly fluctuating water levels and poor water quality associated with urban stormwater wetlands and ponds. For detention basins that experience long, dry periods, use the Economy Prairie seed mix in the upper third to half of the basin area in combination with this mix. This seed mix includes at least 10 of 12 native permanent grass and sedge species and 13 of 17 native forb species. Apply at 32.97 PLS pounds per acre.

| Botanical Name | | PLS @z/Acra |
|--------------------------------|--------------------|-------------|
| Permanent Grasses/Sedges | | |
| Bolboschoenus fluviatilis | River Bulrush | 1.00 |
| Carex cristatella | Crested Oval Sedge | 0.50 |
| Carex lurida | Bottlebrush Sedge | 3.00 |
| Carex vulpinoidea | Brown Fox Sedge | 2.00 |
| Elymus virginicus | Virginia Wild Rye | 24.00 |
| Glyceria striata | Fowl Manna Grass | 1.00 |
| Juncus effusus | Common Rush | 1.00 |
| Leersia oryzoides | Rice Cut Grass | 1.00 |
| Panicum virgatum | Switch Grass | 2.00 |
| Schoenoplectus tabernaemontani | Great Bulrush | 3.00 |
| Scirpus atrovirens | Dark Green Rush | 2.00 |
| Scirpus cyperinus | Wool Grass | 1,00 |
| | Total | 4150 |
| Temporary Cover | | |
| Avena sativa | Common Oat | 360,00 |
| Lolium multiflorum | Annual Rye | 100.00 |
| | Total | 460.00 |

| Forbs | | |
|------------------------------|------------------------|-------|
| Alisma subcordatum | Common Water Plantain | 2.50 |
| Asclepias incarnata | Swamp Milkweed | 2.00 |
| Bīdens spp. | Bidens Species | 2.00 |
| Eupatorium perfoliatum | Common Boneset | 1.00 |
| Helenium autumnale | Sneezeweed | 2.00 |
| Iris virginica v. shrevei | Blue Flag | 4.00 |
| Lycopus americanus | Common Water Horehound | 0.50 |
| Mimulus ringens | Monkey Flower | 1.00 |
| Penthorum sedoides | Ditch Stonecrop | 0.50 |
| Persicaria spp. | Pinkweed Species | 2.00 |
| Rudbeckia subtomentosa | Sweet Black-Eyed Susan | 1.00 |
| Rudbeckia triloba | Brown-Eyed Susan | 1.50 |
| Sagittaria latifolia | Common Arrowhead | 1.00 |
| Senna hebecarpa | Wild Senna | 2.00 |
| Symphyotrichum lanceolatum | Panicled Aster | 0.50 |
| Symphyotrichum novae-angliae | New England Aster | 0.50 |
| Thalictrum dasycarpum | Purple Meadow Rue | 2.00 |
| | Testal | 58.00 |

prairie seed mix:

This prairie seed mix offers an economical way to establish a prairie. In addition to native prairie grasses, flowering species provide color throughout the growing season and food sources for birds and butterflies. Adding seed or plant plugs at a later date is a wonderful way to increase a prairie's richness and diversity. This seed mix includes at least 6 of 7 native permanent grass and sedge species and 10 of 13 native forb species. Apply at 37.70 PLS pounds per acre.

| Botanical Name | Common Nama | PLS Dz/Ac |
|------------------------------|--------------------------------|-----------|
| Permanent Grasses/Sedges | | |
| Andropogon gerardii | Big Bluestem | 12. |
| Bouteloua curtipendula | Side-Oats Grama | 16. |
| Carex spp. | Prairie Sedge Species | 3. |
| Elymus canadensis | Canada Wild Rye | 24. |
| Panicum virgatum | Switch Grass | 2. |
| Schizachyrium scoparium | Little Bluestem | 32. |
| Sorghastrum nutans | Indian Grass | 12. |
| | lotal | 101 |
| Temporary Cover | | |
| Avena sativa | Common Oat | 360. |
| Lolium multiflorum | Annual Rye | 100. |
| | Total | |
| Forbs | | |
| Asclepías syriaca | Common Milkweed | 1. |
| Asclepias tuberosa | Butterfly Weed | 1. |
| Chamaecrista fasciculata | Partridge Pea | 10. |
| Coreopsis lanceolata | Sand Coreopsis | 6. |
| Echinacea purpurea | Broad-Leaved Purple Coneflower | 8. |
| Heliopsis helianthoides | False Sunflower | 0. |
| Monarda fistulosa | Wild Bergamot | 0. |
| Penstemon digitalis | Foxglove Beard Tongue | 1. |
| Ratibida pinnata | Yellow Coneflower | 4. |
| Rudbeckia hirta | Black-Eyed Susan | 8. |
| Solidago speciosa | Showy Goldenrod | 0. |
| Symphyotrichum laeve | Smooth Blue Aster | 1. |
| Symphyotrichum novae-angliae | New England Aster | 0. |
| | Total | 41 |

Cardno Native Plant Nursery 128 Sunset Drive Walkerton, Indiana 46574 Phone: 574-586-2412 Fax: 574-586-2718 nurserysales@cardno.com

plant material list (bio-garden)

| key | quant. | botanical name | common name | size | comments |
|-----|--------|--|----------------------------------|----------|------------------|
| | | | | | |
| CS | 10 | CORNUS STOLONIFERA | REDTWIG DOGWOOD | 3' B.B | 60" O.C. SPACING |
| CF | 10 | CORNUS SERICEA 'FLAVIRAMEA' | YELLOW TWIG DOGWOOD | 3' B.B | 60" O.C. SPACING |
| VT | 10 | VIBURNUM TRILOBUM 'COMPACTUM' | COMPACT CRANBERRYBUDH VIBURNUM | 3' B.B | 60" O.C. SPACING |
| PAH | 10 | PENNISETUM ALOPECUROIDES 'HAMELN' | DWARF FOUNTAIN GRASS | #3 CONT. | 36" O.C. SPACING |
| CKF | 15 | CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' | KARL FOERSTER FEATHER REED GRASS | #3 CONT. | 36" O.C. SPACING |

planting landscape notes:

GENERAL NOTES:

- 1) PLANT MATERIALS TO BE INSTALLED ACCORDING TO THE GREEN OAK TOWNSHIP AND CURRENT AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
- 2) PLANT MATERIALS TO BE GUARANTEED FOR 2 YEARS. REPLACE FALLING MATERIAL WITHIN 1 YEAR, OR THE NEXT APPROPRIATE PLANTING PERIOD.
- 3) PLANT MATERIALS TO BE OF PREMIUM QUALITY, NO. I GRADE NORTHERN NURSURY GROWN, IN HEALTHY CONDITION, FREE OF PESTS AND DISEASES.
- 4)MULCH IS TO BE NATURAL COLORED, FINELY SHREDDED HARDWOOD BARK OF 4" THICK BARK MULCH FOR TREES IN 4' DIA. CIRCLE W/3" PULLED AWAY FROM TRUNK, 3" THICK BARK MULCH FOR SHRUBS AND 2" THICK BARK MULCH FOR PERRENIALS.
 5)CALL MISS DIG AT 1-800-482-TITI PRIOR TO ANY CONSTRUCTION.

DECIDUOUS & EVERGREEN TREE: 1) TREE SHALL BE INSTALLED SAME RELATIONSHIP TO FINISH GRADE

BROKEN BRANCHES.

- AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.
- 2) DO NOT PRUNE TERMINAL LEADER, PRUNE ONLY DEAD OR BROKEN BRANCHES.
- 3) REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSLIGHTLY AND COULD CAUSE GIRDLING.
 4) REMOVE TREE STAKES, GUY WIRES AND TREE WRAP AFTER ONE WINTER SEASON.
- 1) SHRUB SHALL BE INSTALLED SAME RELATIONSHIP TO FINISH
 GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH
 GRADE UP TO 4" ABOVE GRADE, IF DIRECTED BY LANDSCAPE
- ARCHITECT FOR HEAVY CLAY SOIL AREAS.

 2) DO NOT PRUNE TERMINAL LEADER, PRUNE ONLY DEAD OR
- 3) REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSLIGHTLY AND COULD CAUSE GIRDLING.

'

landscape maintenance notes:

LANDSCAPE MAINTENANCE PROCEDURES AND FREQUENCIES TO BE FOLLOWED SHALL BE SPECIFIED ON THE LANDSCAPE PLAN, ALONG WITH THE MANNER IN WHICH THE EFFECTIVENESS, HEALTH AND INTENDED FUNCTIONS OF THE VARIOUS LANDSCAPE AREAS ON THE SITE WILL BE ENSURED.

1. LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBRIS AND REFUSE.

2. PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION, ONLY TO REMOVE DEAD OR DISEASED BRANCHES. SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE.

3. ALL DEAD OR DISEASED PLANT MATERIAL SHALL BE REMOVED AND REPLACED WITHIN SIX (6) MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST. THE PLANTING SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH IS AND NOVEMBER IS OR UNTIL THE PREPARED SOIL BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH I AND JUNE I. PLANT MATERIAL INSTALLED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF THE MATERIAL IT IS INTENDED TO REPLACE.

lawn area:

SOD LAWN AREAS SHALL BE KENTUCKY BLUE GRASS BLEND GRASS IN A SOD NURSERY ON LOAM SOIL. SOD TO BE INSTALLED ON MINIMUM 4" TOPSOIL.

SEEDED LAWN AREAS SHALL CONSIST OF THE FOLLOWING TYPES AND PROPORTIONS:

5% PERENNIAL RYE GRASS 10% RED FESCUE 25% CHEWING FESCUE 60% KENTUCKY BLUE GRASS

SEED MIX SHALL BE APPLIED AT A RATE OF 200 POUNDS PER ACRE AND WEED CONTENT SHALL NOT EXCEED 1%. SEED. PROVIDE A MINIMUM 4" TOP SOIL ON ALL



seal:

OF MICALINATION

FELINO

A. PASCUAL

ARCHITECT

ANDSCAPE

AN

Our Shepherd Lutheran Church

2225 14 Mile Rd Birmingham, Michigan

Our Shepherd Lutheran Church

project:

project location:

City of Birmingham, Michigan 14 Mile Road

sheet title:

BIO-GARDEN PLANTING DETAIL

job no./issue/revision date:

LS21.073.05 review 5-13-2021 LS21.073.10 review 11-12-2021

LS22.010.01 city 1-31-2022

dwarm bry

JP, DK, HP checked by:

date: 1-2-2022

notice:
Copyright © 2022
This document and the subject matter contained therein is proprietary and is not to be used or reproduced without the written permission of Felino Pascual

nd Associates

Do Not scale drawings. Use figured dimensions only

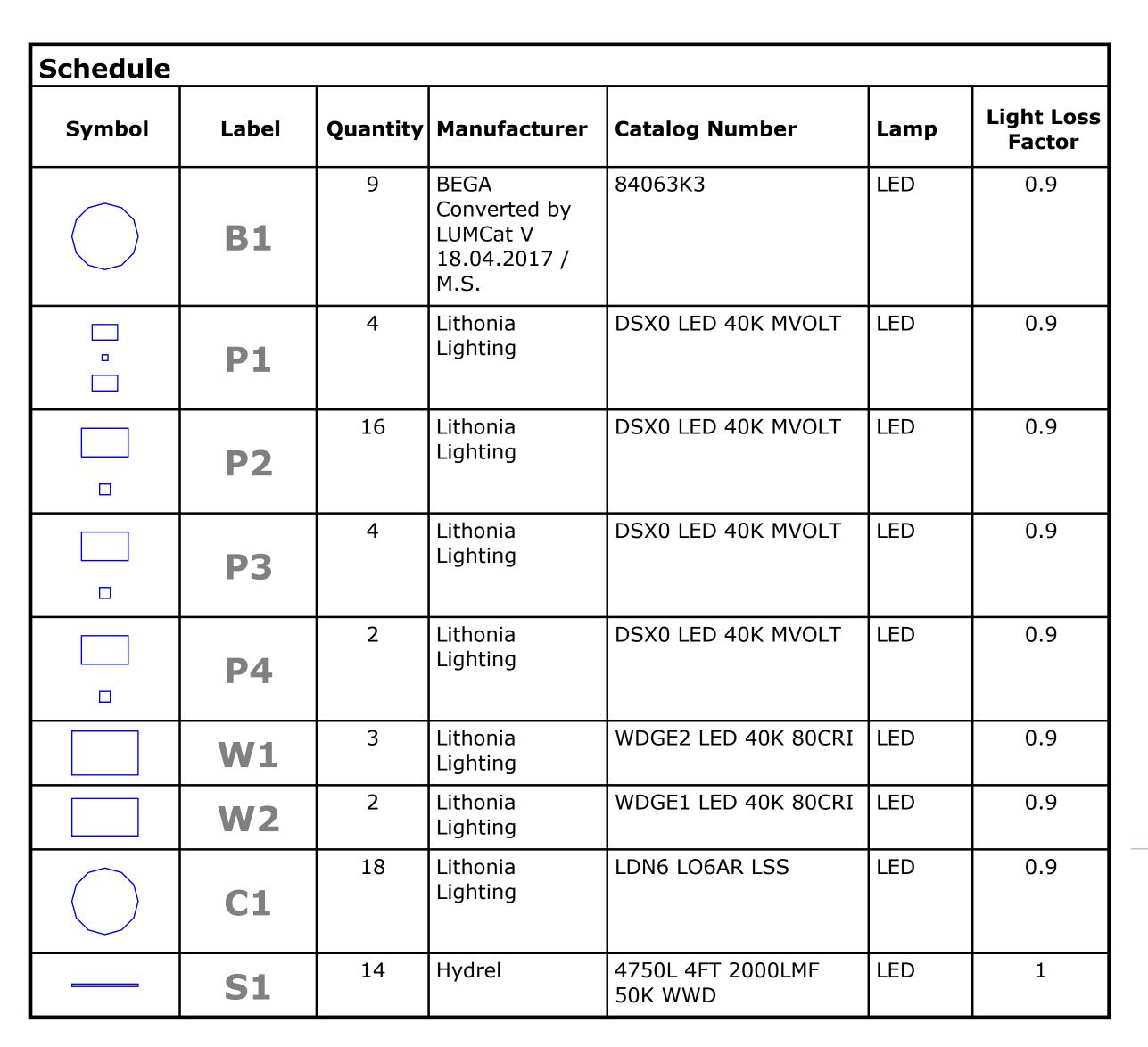


The location and elevations of existing underground utilities as shown on this drawing are only approximate. no guarantee is either expressed or implied as to the completeness of accuracy. contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction

project no:

LS22.010.01

3-3 of 3



| Statistics | | | | | | | |
|-------------------------|--------|--------|---------|--------|---------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min | Avg/Max |
| Grade @ 0' | + | 0.6 fc | 26.7 fc | 0.0 fc | N/A | N/A | 0.0:1 |
| MAIN PARKING AND DRIVES | Ж | 2.3 fc | 10.7 fc | 0.4 fc | 26.8:1 | 5.8:1 | 0.2:1 |
| PROPERTY LINE | + | 0.1 fc | 0.9 fc | 0.0 fc | N/A | N/A | 0.1:1 |
| Front Drive | Ж | 3.9 fc | 5.5 fc | 0.8 fc | 6.9:1 | 4.9:1 | 0.7:1 |

General Note

- 1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- 2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' 0"
- 3. LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.



 $\frac{*}{1.0}$ $\frac{*}{1.3}$ $\frac{*}{1.8}$ $\frac{*}{2.2}$ $\frac{*}{2.3}$ $\frac{*}{2.3}$ $\frac{*}{2.4}$ $\frac{*}{3.0}$ $\frac{+}{4.0}$ $\frac{+}{2.8}$ $\frac{+}{0.5}$ $\frac{+}{0.2}$ $\frac{+}{0.1}$ $\frac{+}{0.0}$ $\frac{+}{0.0}$ $\frac{+}{0.0}$ $\frac{+}{0.0}$ $\frac{+}{0.0}$ $\frac{+}{0.0}$ *1.5 *2.3 *3.2 *4.9 *3.9 *3.0 *3.5 *5.7 *38 *6.32 *0.1 *0.1 *0.0 *0.0 *0.0 *0.0 *0.0 W2 @ 8.5' $^{+}0.0 \quad ^{+}0.0 \quad ^{+}0.0 \quad ^{+}0.0 \quad ^{+}0.0 \quad ^{+}0.0 \quad ^{+}0.0 \quad ^{=}0.0 \quad ^{+}0.0 \quad ^{+}0.0 \quad ^{+}0.1 \quad ^{+}0.5 \quad ^{+}0.0 \quad ^{+}$ | W1 @ 10' $^{+}0.1$ $^{+}0.1$ $^{+}0.1$ $^{+}0.1$ $^{+}0.5$ $^{*}6.6$ $^{*}3.0$ $^{+}1.5$ $^{+}0.1$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{-}0.0$ OUR SHEPHERD LUTHERAN CHURCH $^{+}0.2$ $^{+}0.2$ $^{+}0.2$ $^{+}0.2$ $^{+}0.5$ $^{*}2.3$ $^{*}4.6$ $^{+}12.2$ $^{+}00.10$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ 2225 E 14 MILE RD $0.5 \quad {}^{+}0.6 \quad {}^{+}0.4 \quad {}^{+}0.8$ **9.**0 | **0.**0 | **0.**0 | **0.**0 | **0.**0 | **0.**0 FEX. OVERHANG - EX. AC UNIT(TYP) C1 @ 10' 11 C1 @ 010' $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{-}0.0$ $^{-}0.0$ EX. GLASS -+0|7|+|.4 *2.4 |*3.6| *3.9|-|3||@*|16|*1.8 *2.8|+|.3||+|2.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0.0||+|0. $[0.0 \quad {}^{+}0.0] \quad {}^{+}0.0] \quad {}^{+}0.0 \quad {}^{+}0.0 \quad {}^{+}0.0 \quad {}^{2}0.0 \quad {}^{2}0.0 \quad {}^{+}0.0 \quad {}^{+}0.0 \quad {}^{+}0.1 \quad {}^{+}0.0 \quad {}^{+}0.0 \quad {}^{2}0.0 \quad {}^{2}0$ 10.B1.6 3.13 0.8B1.6 3.3 9.9B1.4 3.3 1.9 B1 6 3.3 1 1+0.6 +1.1 *2.0 *3.1 *4.3 *3.5 *2.4 *1.8 *3.0 +5.8 *3.2 *0 *1.6 *0.0 +0.0 $^{+}0.4|$ $^{+}0.8$ $^{+}1.5$ $^{+}2.5$ $^{+}4.8$ $\stackrel{+}{\cancel{>}3}$ $\stackrel{+}{\cancel{o}}$ $\stackrel{+}{\cancel{o}}$ $\stackrel{*}{\cancel{o}}$ $\stackrel{*$ $^{+}0.1$ $^{-}0.1$ $^{+}0.3$ $^{+}0.5$ $^{+}1.2$ $^{+}0.7$ $^{+}0.5$ $^{*}0.9$ $^{*}1.7$ $\sqrt[8]{2.0}$ $| \stackrel{+}{0.8}$ $| \stackrel{+}{0.0}$ $| \stackrel{+}{0.0}$ **Plan View**

Designer Date 10/12/2021 REV. 11/2/21 Scale Not to Scale Drawing No. #21-67602 V3 Specifications

yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits

of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

| DSX0 LED | | | _ | | | | | | |
|---|---|--|---|---|---|----------|--|--|--|
| ierle: | LEDC | Color temperature | Distribution | | Voltage | Mounting | | | |
| D5XO LEO | Forward optics P1 P47 P71 P2 P5 P3 P6 Rotated optics P102 P122 P111 P1333 | 30K 3000 K 40K 4000 K 50K 5000 K | T1S Type I short (Automotive) T2S Type II short T2M Iype II medium T3S Type III short T3M Type III medium T4M Iype IV medium TFTM Forward throw medium T5VS Type V very short | MVOLT3* 120° 208° 240° 277° 347° 480° | Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall finackes SPUMBA Square pole universal mounting adaptor RPUMBA Round pole universal mounting adaptor Shipped separately KMA8 DD8XD U Mest arm mounting bracket adaptor (specify finish) | | | | |
| intro/ apt | loft\ | | | | Other omic | ж | Finish | | |
| Shipped installed NLTAIR2 nLight AIR generation z enabled "" PERHN Network, high vlow motion/umbient sensor " PER: NEMA twist-link receptable only (control ordered separate) " PERS Thre-printed perhaps and become deparate) "" | | | PIRM High/low, no helgn, amble | height, ambient sensor enabled at 56 mill PIRH High/low, motion/ambient sensor, 15-37 mounting height, ambient sensor, enabled at 5k mill PIRTFG3V High/low, motion/ambient sensor, 5-15 millioning | | | DOBXID Dark bringge DBLXD Black DNAXD Motoral aleminism DWHXD White DDBTXD Textured dark bring | | |

LITHONIA LIGHTING COMMERCIAL OUTDOOM

DMG 6-10V dimming extend out back of housing for external control FAO

One Lithonia Way . Convers, Georgia 30012 . Phone: 1-800-705-SERV (7378) . © 2011-2020 Acuity Brends Lighting, Inc., All rights reserved

Seven-princeptacle only fleads exit finance) (control ordered: PIRHTFC3V High/low, multion/ambient sensor, 15-30 marating R90 Right intated optics

DSX0-LED Rev 07/30/20 Page 1 of 6

LDN6

6" Open and WallWash LED

New Construction Downlight

DBLBXD Textured black DNATXD (extured natural

DWHGXD Textimed white

LITHONIA LIGHTING Grales further INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices. CONSTRUCTION — Galvanized steel mounting/plaster frame; galvanized steel junction bux with Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment.

DOL Elittuyed drug lens *

Shipped separately BS Bird spiloes EGS External glare shield

HA 50°C amblem operations

Two combination 15"-3/4" and four 15" knockouts for straight-through conduit runs. Capacity: 8 (4 in. 4 out). No. 12 AWG conductors, rated for 90°C. Accommodates 12"-24" joist spacing. Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below celling. Max ceiling thickness 1-1/2". OPTICS — LEDs are binned to a 3-step SDCM; 80 CRI minimum. 90 CRI optional.

bottom-hinged access covers and spring latches. Reflectors are retained by torsion springs.

LED light source concealed with diffusing optical lens. General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image. Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in ELECTRICAL — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers maunted to junction box, 10%

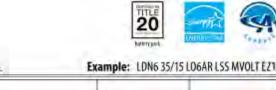
0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled. 70% Jumen maintenance at 60,000 hours. LISTINGS — Certified to US and Canadian safety standards. Wet location standard (covered ceiling). IP55 rated, ENERGY STAR* certified product.

WARRANTY - 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

DOWNLIGHTING

FEATURES & SPECIFICATIONS



| LDN6 | | | | | | |
|---------------|---|--|---|--|---|--|
| Series | Color temperature | Lumens' | Aperture/Trim Color | Finish | Voltage | |
| LDNG 6" round | 27/ 2700K 30/ 3000K 35/ 3500K 40/ 4000K 50/ 5000K | 05 500 lumens 25 2500 lumens 07 750 lumens 30 3000 lumens 10 1000 lumens 40 4000 lumens 15 1500 lumens 50 5000 lumens 20 2000 lumens | LUG Downlight AR Clear LWG Wallwash WR? White BR? Black | LSS Semi-specular LD Matte diffuse LS Specular | MVOLT Multi-volt 120 120V 277 277V 347 ³ 347V | |

| Driver | Options | | | |
|---|--|---|--|---|
| G210 0-10V driver dams to 10% G21 0-10V driver dams to 1% D10 Minimum damming 10% driver for use with JOT D11 Minimum damming 1% driver for use with JOT E210 0-10V eldoLED driver with smooth and flicker- free deep dimming performance down to 10% E21 0-10V eldoLED driver with smooth and flicker- free deep dimming performance down to 10% E21 0-10V eldoLED driver with smooth and flicker- free deep dimming performance down to 1% EDAB eldoLED DALI SOLDRIVE dim to dark | TRW TRBL EL* ELR* ELSD* ELRSD* E10WCP* E10WCPR* NPP160/ NPP160/ER/ | Single fuse White painted flange Black painted flange Black painted flange Emergency battery pack with integral test switch. 10W Constant Pr Not Certified in CA Title 20 MAEDBS Emergency battery pack with remote test switch. 10W Constant Po Not Certified in CA Title 20 MAEDBS Emergency battery pack with self-diagnostics, integral test switch Constant Power, Not Certified in CA Title 20 MAEDBS Emergency battery pack with self-diagnostics, remote test switch. Constant Power, Not Certified in CA Title 20 MAEDBS Emergency battery pack, 10W Constant Power with integral test sw Certified in CA Title 20 MAEDB Emergency battery pack, 10W Constant Power with remote test sw Certified in CA Title 20 MAEDB nLight" network power/relay pack with 0-10V dimming for non-el- drivers (GZ10, GZ1). ER controls fixtures on emergency circuit. | PRE HAO " CP P RRL OW IRCh. NLTAIR28 ** NLTAIRER28 ** NLTAIRER28 ** NLTAIRER28 ** | nLight" Lumen Compensation Wireless room control with "Just One Touch" pairing nLight" dimming pack controls 0-10V eldoLED drivers (EZ10, it is controls fixtures on emergency circuit. High ambient uption Chicago Plenum RELOC" ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brar Available only in RRLA, RRLB, RRLAE, and RRLC12S. Refer to specifications. nLight" Air enabled nLight" Air Enabled nLight" Air Dimming Pack Wireless Controls. Controls fixturemergency circuit, not available with battery pack options nLight" AIR Dimming Pack Wireless Controls. U.924 Emerge Operation, via power Interrupt detection. Available with ba pack options. US point of manufacture High CRI (90+) |

Overall height varies based on lumen package, refer to dimen- 9 Not available with CP, NPS80EZ, NPS80EZER, NPP16D, NPP-16 DER or M80 options, 10 NLTAIR2, NLTAIRER2 and NLTAIREM2 not recommended for stonal chart on page 3. Accessories: Order as separate catalog number. Not available with emergency option PS1055CP FMC Power Sentry batterypack, T20 compliant, Must specify voltage 120V or 277V Available with clear (AR) reflector only. 1 Fixture height is 5 d" for all lumen packages with HAO field installable, 10w constant power 12 Must specify wiltage for 30001m and above, 50001m with EACISSM 375 Compact Interruptible emergency AC power system 12.5" of plenum depth or top access required for battery pack marked spacing 24 L x 24 W x 14 H. Not available with emer-EACISSM 125 Compact interruptible emergency AC power system Specify voltage, ER for one with generator supply EM power

Will require an emergency hot feed and normal hot feed.

13 Must specify D10 or D1 driver, float available with cl. sphil
options. Not available with CP. Not recommended for metal GRA68 IZ Oversized trim ring with 8" outside diameter Fixture begins at 80% light level. Must be specified with NP-S80EZ or NPS80EZ ER. Only available with EZ10 and EZ1 drivers. ceiling installation. Not for use with emergency backup power systems other than buttery packs.



11.5"

Ordering Information

13,5 lbs

Specifications

Depth (D1):

Depth (D2):

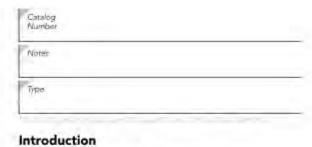
Weight: (without options)

Height:

Width:

WDGE2 LED Architectural Wall Sconce





The WDGE LED family is designed to meet

specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance. WDGE2 delivers up to 6,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. When combined with multiple integrated emergency battery backup

options, including an 18W cold temperature option, the WDGE2 becomes the ideal wallmounted lighting solution for pedestrian scale applications in any environment.

EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

| WDGE L | D Family O | verview | | | | | | | | | |
|---------------|------------------|--------------|---------------------|-----------------|--------|--------|--------|--------|--------|--|--|
| la-market and | | And Pal. Sam | | Liumens (4000X) | | | | | | | |
| Luminaire | Standard EM, D'C | CONTEM, 2010 | Sensor | 121 | 67 | 壁 | P4 | PS | 26 | | |
| WDGE) LED | AW | 0-0 | - | 1,200 | 2,000 | - | - | | - | | |
| WDGE2 LED | 10W | 18W | Standalone / nLight | 1,200 | 2,000 | 3,000 | 4,500 | 6,000 | ~ | | |
| WDGE3.LED | 15W | 18W | Standalone / nLight | 7,500 | 8,500 | 10,000 | 12,000 | | 1000 | | |
| WDGE4 LED | - | | Standalone / nLight | 12,000 | 16,000 | 18,000 | 20,000 | 22,000 | 25,000 | | |

| Series | Package | | Color t | emperaturo | 601 | Distri | риноп | Voltage | Mean | Mounting | | | | |
|-----------|----------------|---|--|---|----------------|--------|---|---|---------------------|--|------------------------------|--|--|--|
| WDGEZ LED | P1 P2 P3 P4 P5 | P1SW P2SW P3SW Deer with small window [SW] is required to accommodate sension, See page 2 for more details; | 27K 30K 35K 40K 50K ¹ | 2700K 3000K 3500K 4000K 5000H | 80CRI 90CRI | VF | Visual comfort ferward throw Visual comfort wide | MVOLT 347 ³ 480 ³ | Shipp SRM ICW | Surface mounting bracket indirect Canopy/Ceiling Washer bracket (dry/ damp locations only) | Shippe AWS BBW PBBW | ed separately 3/8inch Architectural wall spacer Surface-mounted back box Premium surface-mounted back box (top, left, right conduit entry). | | |

| lptions: | | | | Finish | |
|---|--|--|--|--|--|
| E4WH E10WH E20WC PE ⁴ DS ⁵ DMG ⁴ BCE | Emergency battery backup, CEC compliant (4W, 0°C min) Emergency battery backup, CEC compliant (16W, 5°C min) Emergency battery backup, CEC compliant (18W, -20°C min) Photocell, Button Type Dual switching (comes with 2 divers and 2 bytt engines see page 1 for details) 0-10V dimming wires pulled outside fixture (for use with an external control ordered separately) Borsum conduit entry for premium back box (PBBN): Total of 4 entry points. | PIR PIRH PIR1FC3V PIRH1FC3V Networked Sonitairs PIRH NITAIRS PIRH | ensors/Controls (oil) waitable with P15W, P25W 6 P35W) Bi-level (100/35%) motion sensor for 8-15' mounting fieldhis, inrended for use on switched circuits with external dusk to dawn switching. Bi-level (100/35%) motion sensor for 15-30' mounting heights, intended for use on switching. Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocoll preparamented for dusk to dawn operation. Bi-level (100/35%) motion sensor for 15-30' mounting fielghts with photocoll preparamented for dusk to dawn operation. Bi-level (100/35%) motion sensor for 15-30' mounting fielghts with photocoll preparament for dusk to dawn operation. ensors/Controls (only available with P15W P25W & P35W) nlight/All Wireless enabled bi-level motion/ambrent sensor for 8-15' mounting heights of box to prevails. | DDBXD DBLXD DNAXD DWHXD DSSXD DDBTXD DBLBXD DNATXD DWHGXD DSSTXD | Dark bronze Black Natural aluminum Write Sandstone Textured dark bronze Textured black Textured white Textured sandstone |

LITHONIA COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • WDGE2 LED © 2019-2020 Aculty Brands Lighting, Inc. All rights reserved

LED bollards - rotationally symmetrical light distribution

LED bollards with rotationally symmetrical light distribution designed to

provide glare-free Illumination perfect for squares, pathways and entrances.

Lurninaire housing and posts constructed of die-cast and extruded marine

grade, copper free (≤0,3% copper content) A360.0 aluminum alloy

Silicone applied robotically to casting, plasma treated for increased

NRTL listed to North American Standards, suitable for well locations.

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

All BEGA standard linishes are matte, textured polyester powder coal with

Bronze (BRZ) Silver (SLV) CUS:

Available colors Black (BLK) White (WHT) FIAL:

120-277VAC

0-10V, TRIAC, and ELV dimmable

1,371 lumens (3000K)

286,000 h (L70) 117,000 h (L70)

-30° C

19.4W

23.0W

Provided with incunting system that allows the luminaire to be adjusted

independent of anchor bolt orientation.

High temperature silicone gasket

Protection class IP65

Weight: 23.8 lbs

Operating voltage

System wattage

Luminaire lumens

Controllability -

LED module wattage

Calor rendering index

Lifetime at Ta = 15°C Lifetime at Ta=30°C LED color temperature

Minimum start temperature

4000K - Product number # K4 3500K - Product number # K35 3000K - Product number + K3

2700K - Product number * K27

minimum 3 mil thickness.

Electrical

Reflector made of pure anodized aluminum

Mechanically captive stainless steel fasteners

Anchorage constructed of galvanized steel

Rev. 04/15/20

BEGA Product: Project: Modified:



BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 584-0533 info@bega-us.com Gue to the synomic nature of agreeing products and the associated technologies. Environmental on this sheet is subject to change of this discretion in EBGA North America. For the most current fections dots, phase faller to begin use companies of the property BEGA 2018.

WDGE1 LED Architectural Wall Sconce

Specifications Depth (D1): Depth (D2): Width:

(without options)

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

| NDGE LI | ED Family O | verview | | | | | | | | | |
|------------|------------------|----------------|---------------------|----------------|--------|--------|--------|--------|--------|--|--|
| Annahara . | | Annual Control | | Dansen (4000X) | | | | | | | |
| Luminaire | Standard EM, D°C | Cold EM, -20 T | Semoy: | 10 | 92 | | PAI | 15 | 76 | | |
| WDGE1 LED | 4W | | - | 1,200 | 2,000 | | | | - | | |
| WDGE2 LED | 10W | 18W | Standalone / nLight | 1,200 | 2,000 | 3,000 | 4,500 | 6,000 | - 30 | | |
| WDGE3 LED | 15W | 18W | Standalone / nLight | 7,500 | 8,500 | 30,000 | 12,000 | - | | | |
| WDGE4 LED | 100 | | Standalone / nLight | 12,000 | 16,000 | 18,000 | 20,000 | 22,000 | 25,000 | | |

| Ordering | Inform: | ation | | EXA | MPLE: V | VDGE1 LE | D P2 40 | K 80CRI | VF MVOLT SRI | M PE DDBX |
|--|--|--|--|--|---|---|-------------------------------|--|---|---|
| Series . | Parkage | Color Temperature | CH) | Ostribution | | Voltage | Mounting | | | |
| WDGE1 LED | P1 P2 | 27K 2700K 30K 3000K 35K 1500K 40K 4000K 50K 5000K | 80CRI 90CRI | VF Visual comfort forward VW Visual comfort wide | | MVOLT 347 ⁷ | Shipped sep AWS 3 BBW 5 | urface mounting l ndirect Canopy/Ce warately /Sinch Architectu lurface-mounted b | Hing Washer bracker (dry/din ral wall spacer | |
|)ptions | | | | | Finish | | | | | |
| PE ⁴ Photo DS Dvals DMG 0-10V | cell, Button Type witching (comes w dimming wires pul | p, CEC compliant (4W, O'C min with 2 drivers and 2 light engin led outside fixture (for use wit premium back box (POBW), To | es, see page 3 for thun external co | ntrol, ordered separately) | DDBXD DBLXD DNAXD DWHXD DSSXD | Dark bronze Black Natural aluminu White Sandstone | m | DOBTXO DBLBXD DWATXD DWHGXD DSSTXD | Textured black Textured black Textured natural aluminum Textured white Textured sandstone | n |
| DGSAWS DOBOD U | | | | | | | 2 347V E4VV 3 E4VV | not available in / not available : H, DS or PE. H not available r DS. | with 5 Not qu availab | available with DS. Jalified for DLC. No le with E4WH. |

| | 4750L STATIC WHITE |
|---------|-----------------------|
| TIDICLE | τ¥πε |
| HYDREL | NOTE: |
| | EMTALISTS. BLAMBER |

Linear



Weight: 4: 17.5lbs

DIMENSIONS

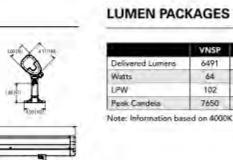
HIGHLIGHTS

 The The 4750L delivers industry leading durability, performance and lumen output

 Superior water resistance IP67 with Hydrel "Flow-Thru" technology, water flows around the independently sealed integral driver module and sealed LED module Aiming integrity with a fully adjustable and rugged knuckle design using Taper-Lock technology

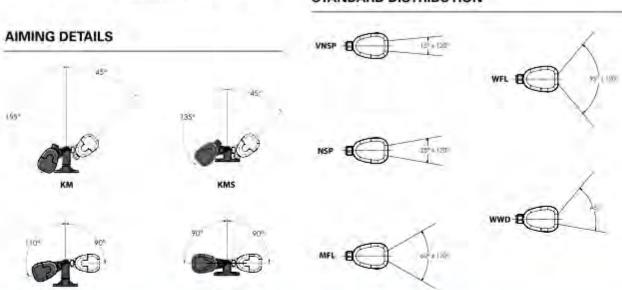
 Long life in the most demanding environments with low copper content housing materials, stainless steel fasteners, and durable powder coat finish options for Coastal Regions and Natatoriums

3G vibration rated per ANCI C136.31



VNSP NSP MFL WFL WWD Note: Information based on 4000K @ 2000LMF on 4FT fixture

STANDARD DISTRIBUTION



© 2018-2021 Acuity Brands Lighting, Inc. • One Lithonia Way. Conyers GA 30012 Phone: 800-705-SERV (7378) - www.hydrol.com

4750L Static White | Rev. 05/07/21

OUR

Designer Date

#21-67602 V3

10/12/2021 REV. 11/2/21 Scale Not to Scale Drawing No.

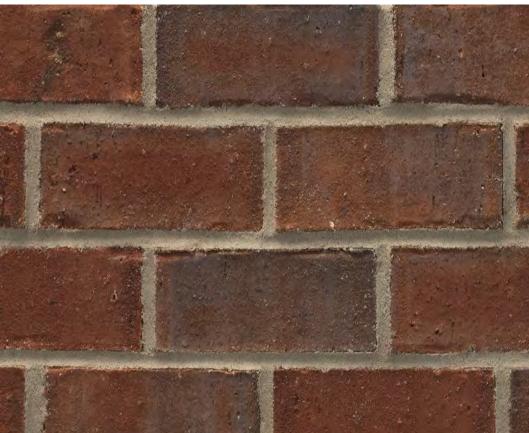
OUR SHEPARD LUTHERAN CHURCH: EXTERIOR MATERIALS AND FINISHES FOR NEW ADDITIONS



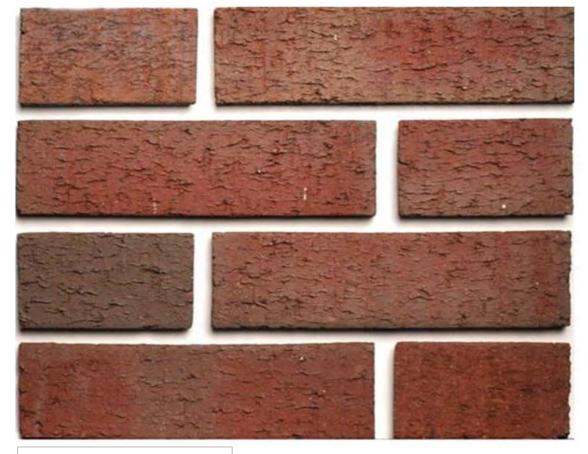
ROOF SHINGLE: COLOR AND STYLE TO MATCH



LIMESTONE CAP TO MATCH EXISTING LIMESTONE CAP



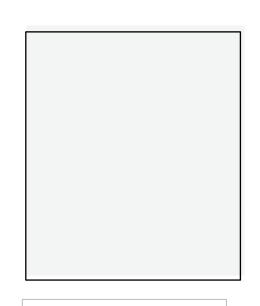
NEW BRICK TO MATCH EXISITNG AT NEW COVERED ENTRANCE



NEW PORTE COCHERE BRICK



BUILDING AND FREESTANDING CROSS FINISH, ALUMINUM FRAMING FOR METAL SIDING PANELS (MATCH EXISTING)



WHITE METAL FASCIA @ NEW COVERERED ENTRY.
ALTERNATE MATERIAL: FIBER CEMENT BOARD-PAINTED



METAL FASCIA ON FLAT ROOF TO MATCH EXISTING FASCIA



METAL SIDING (TO MATCH EXISTING) IN ALUMINUM FRAMING, PIN-MOUNTED CHURCH SIGNAGE







ALEXANDER V. BOGAERTS & ASSOCIATES, P.C.

Architecture Planning Interior Design

2445 Franklin Rd. Bloomfield Hills, MI 48302 248/ 334-5000

March 16, 2022

OUR SHEPARD LUTHERAN CHURCH

EXTERIOR MATERIALS AND FINISHES FOR NEW ADDITIONS

(selections represent samples on board submitted to city. All selections to be verified with existing building materials). All materials to be similar/equal.

Porte Cochere Brick: Bowerston Brick (Friendship)

#1300 Valley Blend Wirecut Modular

Covered entry Brick: Acme Brick (Friendship)

(to match existing) Manewa

Limestone Cap: Indiana Buff Limestone to match existing stone cap.

Building & Freestanding

Cross finish, Aluminum Framing for metal siding

Panels (match existing)

Clear Anodized #70

Atas

White Metal Fascia: Atas

(match existing color) Ascot White #01

Alternate Material: Cement Fiber-board, painted

Clerestory Panels, Atas

Pin-Mounted Signage Matte Black #32

Metal Fascia on Flat Atas

Roof Classic Bronze #10

(match existing color)

Shingles IKO

(match existing color Cambridge & style) Dual Gray



RECEIVED

FEB **01** 2022

CITY OF BIRMINGHAM

Will proposed project require the combination of platted lots?

Special Land Use Permit Application MUNITY DEVELOPMENT DEPT.

Planning Division

Form will not be processed until it is completely filled out.

| 1. | Applicant | | 2. Property Owner | | | |
|----|---|-------------|---|----------------|---|--|
| | Name: Our Shepherd Lutheran Church | | | Our Shepherd I | | |
| | Address: 2225 E 14 Mile Rd. Birmingham, MI 48009 Phone Number: 248-646-6100 | | Address: 2225 E 14 Mile Rd. Birmingham, MI 48009 Phone Number: 248-646-6100 | | | |
| | | | | | | |
| | Fax Number: | | | Jumber: | | |
| | Email address: churchoffice@ourshepherd.net | | | | rchoffice@ourshepherd.net | |
| 3. | Applicant's Attorney/Contact Person Name: David Priskorn Address: 2225 E 14 Mile Rd. Birmingham, MI 48009 | | 4. Project Designer/Developer Name: Alexander V Bogaerts + Associates, P.C. Address: 2445 Franklin Rd, Bloomfield Hills, MI 48302 | | | |
| | | | | | | |
| | Phone Number: 248-705-7874 | | Dham | No. 1 | P 224 5000 | |
| | Fax Number: | | Phone Number: 248-334-5000 | | | |
| | Email address: priskhorn@ourshepherd.net | Fax Number: | | | | |
| | Eman address. | | Ema1 | address: mad | anatna@oogaerts.us | |
| 5. | Required Attachments | | | | | |
| | I. Two (2) paper copies and one (1) digital copy of all | | | | A Landscape Plan; | |
| | project plans including: | | | | A Photometric Plan; | |
| | A detailed Existing Conditions Plan including the subject site in its entirety, | | | | Colored elevation drawings for each building elevation; | |
| | including all property lines, buildings, | | II. | | tion sheets for all proposed materials, light | |
| | structures, curb cuts, sidewalks, drives, | | 11. | | and mechanical equipment; | |
| | ramps and all parking on site and on the | | III. | | | |
| | street(s) adjacent to the site, and must | | IV. | Samples | of all proposed materials; | |
| | show the same detail for all adjacent | | IV. | Photogra | phs of existing conditions on the site | |
| | | | | | all structures, parking areas, landscaping | |
| | properties within 200 ft. of the subject | | * * * | | ent structures; | |
| | site's property lines; | | V. | | erial photographs of the site and | |
| | ii. A detailed and scaled Site Plan depicting | | | | ng properties; | |
| | accurately and in detail the proposed | | VI. | | Deed, or Consent of Property Owner if | |
| | construction, alteration or repair; | | | | is not the owner; | |
| | A certified Land Survey; | | VII. | | r data requested by the Planning Board, | |
| | iv. Interior floor plans; | | | Planning | Department, or other City Departments. | |
| 6. | Project Information | | | | | |
| | Address/Location of the property: | | Date of | of Application | n for Final Site Plan: | |
| | 2225 E 14 Mile Rd. Birmingham, MI 48009 | | Date of Final Site Plan Approval: | | Plan Approval: | |
| | Name of development: Our Shepherd Lutheran Church | | Date of Application for Revised Final Site Plan: | | | |
| | Sidwell #: 20-31-455-005, 20-31-456-002, 20-31-401-000 | | Date of Revised Final Site Plan Approval: | | | |
| | Current Use: Religious | | Date of Design Review Board Approval: | | | |
| | Proposed Use: same | | Is there a current SLUP in effect for this site? yes | | | |
| | Area of Site in Acres: +- 5.3 ac | | Date of Application for SLUP: | | | |
| | Current zoning: R-2 | | Date of SLUP Approval: | | | |
| | Is the property located in the floodplain? | | Date of Last SLUP Amendment: | | | |
| | Name of Historic District Site is located in: NA | | Will proposed project require the division of platted lots? | | | |
| | Date of Historic District Commission Approval: NA | | no no | roposeu proj | con require the division of platted fots? | |
| | Date of Historic District Collinasion Approval. "" | | 110 | | | |

Date of Application for Preliminary Site Plan:

Date of Preliminary Site Plan Approval:

| New porte cochere entry addition on the north elevation | | | | |
|--|--|--|--|--|
| New covered entry on the south elevation. New infill/addition to existing brick column line on the south elevation adjacent to new covered entry. | | | | |
| New additional foundation landscape around building | on the country covering the form covering charge | | | |
| New site and building lighting | | | | |
| (3) new ground signs - (1) at the NW drive entry off of Mellon Rd, (1) at the SW corner of the site (Melton & 14 mile rd), (1) at new boulevard drive entry on SE corner of site, small identification sign on new porte cochere col | | | | |
| Buildings and Ot and | | | | |
| Buildings and Structures | | | | |
| Number of Buildings on Site: Main bldg & small storage bldg | Use of Buildings: church and ancillary uses | | | |
| Height of Buildings & # of Stories: 1 story w/ balcony (see elevations) | Height of Rooftop Mechanical Equipment: existing to remain a | | | |
| Floor Use and Area (in Square Feet) | | | | |
| Proposed Commercial Structures: | | | | |
| Total basement floor area: see floor plan | Office Space: | | | |
| Number of square feet per upper floor; see floor plan | Retail Space: | | | |
| Total floor area: see floor plan | Industrial Space: | | | |
| Floor area ratio (total floor area ÷ total land area): | Assembly Space: | | | |
| See floor plan | Seating Capacity: (pew seating for reqd parking calcs see site plan) | | | |
| Open space: See site plan | Maximum Occupancy Load: existg to remain | | | |
| Open space: See site plan Percent of open space: See site plan | | | | |
| Proposed Residential Structures: | | | | |
| Total number of units: | Rental units or condominiums? | | | |
| Number of one bedroom units: | Size of one bedroom units: | | | |
| Number of two bedroom units: | Size of two bedroom units: | | | |
| Number of three bedroom units: | Size of three bedroom units: | | | |
| Open space: | Seating Capacity: | | | |
| Percent of open space: | Maximum Occupancy Load: | | | |
| Proposed Additions: | | | | |
| Total basement floor area, if any, of addition: none | Use of addition; see site & floor plans | | | |
| Number of floors to be added: none | Height of addition: see elevations | | | |
| Square footage added per floor: see floor plan | Office space in addition: | | | |
| Total building floor area (including addition): see floor plan | Retail space in addition: | | | |
| Floor area ratio (total floor area ÷ total land area): | Industrial space in addition: | | | |
| see floor plan | Assembly space in addition: | | | |
| Open Space: See site plan | Maximum building occupancy load (including addition): | | | |
| Percent of open space: See site plan | existg to remain | | | |
| Required and Proposed Setbacks | | | | |
| Required front setback: See site plan | Proposed front setback: See site plan | | | |
| Required rear setback: See sile plan | Proposed rear setback See site plan | | | |
| Required total side setback: See site plan | Proposed total side setback: See site plan | | | |
| Side setback: See site plan | Second side setback: See site plan | | | |
| Required and Proposed Parking | | | | |
| Required number of parking spaces: See site plan | Proposed number of parking spaces: See site plan | | | |
| Typical angle of parking spaces: none | Typical size of parking spaces: See site plan | | | |
| Typical width of maneuvering lanes: See site plan | Number of spaces <180 sq. ft.: 0 | | | |
| Location of parking on site: See site plan | Number of handicap spaces: See site plan | | | |
| Location of parking off site: See site plan (understood agreement w/ property to the north) | Shared parking agreement? nothing formal, implied with property to | | | |
| Number of light standards in parking area: see site lighting plan | Height of light standards in parking area: see site lighting plan | | | |
| Screenwall material: see landscape plan for TR screen | Height of screenwall: see landscape plan for TR screen | | | |

| Location of landscape areas: see landscape plan | Proposed landscape material: see landscape plan |
|---|---|
| | • |
| | |
| | |
| | 4 |
| | |
| | |
| | |
| | |
| | |
| 2 Chartenan | |
| 3. Streetscape | Description of the state of the |
| Sidewalk width: See civil site plan | Description of benches or planters: |
| Number of benches: | |
| | Species of existing trees: see landscape plan |
| Number of planters: Number of existing street trees: see landscape plan | |
| Number of proposed street trees: see landscape plan | Species of proposed trees: see landscape plan |
| Streetscape plan submitted? | |
| 4. Loading | |
| Required number of loading spaces: NA | Proposed number of loading spaces: NA |
| Typical angle of loading spaces: | Typical size of loading spaces: |
| Screenwall material: | Height of screenwall: |
| Screenwall material: Location of loading spaces on site: | Height of screenwall: Typical time loading spaces are used: |
| Location of loading spaces on site. | Typical time loading spaces are used |
| 5. Exterior Waste Receptacles | |
| Required number of waste receptacles: 1 existing to be relocated see site plan | Proposed number of waste receptacles: 1 |
| Location of waste receptacles: See civil site plan | Size of waste receptacles: See civil site plan |
| Screenwall material: see landscape plan | Height of screenwall: see landscape plan |
| 6. Mechanical Equipment Utilities and Transformers: Number of ground mounted transformers: See civil site plan | Location of all utilities & easements: See civil site plan |
| Size of transformers (L•W•H): | |
| Number of utility easements: | |
| Screenwall material: existing to remain as is | Height of screenwall: |
| Ground Mounted Mechanical Equipment: | |
| Number of ground mounted units: See civil site plan | Location of all ground mounted units: See civil site plan |
| Size of ground mounted units (L•W•H): existing to remain as is | |
| Screenwall material: existing to remain as is | Height of screenwall: existing to remain as is |
| Rooftop Mechanical Equipment: | |
| Number of rooftop units: existing to remain as is | Location of all rooftop units: existing to remain as is |
| Type of rooftop units: | Size of rooftop units (L•W•H): |
| 1, po of toottop units. | |
| Caracanyvall matarial | Percentage of rooftop covered by mechanical units: |
| Screenwall material: Location of screenwall: existing to remain as is | Height of screenwall: existing to remain as is |
| Location of screenwall: existing to remain as is | Distance from rooftop units to all screenwalls: |
| | existing to remain as is |
| 7. Accessory Buildings | |
| Number of accessory buildings: 1 | Size of accessory buildings: see civil |
| Location of accessory buildings: north side of bldg (existg to remain as is) | Height of accessory buildings: see existing photos |
| Double of decessory buildings, | Transfer of accessory buildings. |
| B. Building Lighting | |
| Number of light standards on building: see photometric plan & cut sheets | Type of light standards on building: |
| | see photometric plan & cut sheets |

| Size of light fixtures (L•W•H): see photometric plan & cut sheets | Height from grade: see photometric plan & cut sheets |
|---|---|
| Maximum wattage per fixture: see photometric plan & cut sheets | Proposed wattage per fixture: see photometric plan & cut sheets |
| Light level at each property line: see photometric plan & cut sheets | |
| | |
| 9. Site Lighting | |
| Number of light fixtures: see photometric plan & cut sheets | Type of light fixtures: see photometric plan & cul sheets |
| Size of light fixtures (L•W•H): see photometric plan & cut sheets | Height from grade: see photometric plan & cut sheets |
| Maximum wattage per fixture: see photometric plan & cut sheets | Proposed wattage per fixture: see photometric plan & cut sheets |
| Light level at each property line: see photometric plan & cut sheets | Holiday tree lighting receptacles: |
| | |
| 0. Adjacent Properties | |
| Number of properties within 200 ft.: see civil plans | |
| D444 | |
| Property #1 | |
| Number of buildings on site: see civil plans - cemetery | Property Description: see civil plans |
| Zoning district: see civil plans | |
| Use type: see civil plans | |
| Square footage of principal building: see civil plans | |
| Square footage of accessory buildings: see civil plans | |
| Number of parking spaces: See civil plans | North, south, east or west of property? East |
| Property #2 | |
| Number of buildings on site: see civil plans - school | Pure and a Descript for a constitution |
| Zoning district; see civil plans | Property Description: see civil plans |
| Use type: see civil plans | |
| | |
| Square footage of principal building: see civil plans | |
| Square footage of accessory buildings: see civil plans | |
| Number of parking spaces: see civil plans | North, south, east or west of property? North |
| Property #3 | |
| Number of buildings on site: see civil plans - med office | Property Description: see civil plans |
| Zoning district: see civil plans | Property Bescription, |
| Use type: see civil plans | |
| Square footage of principal building: see civil plans | |
| Square footage of accessory buildings: see civil plans | |
| Number of parking spaces: see civil plans | North, south, east or west of property? West |
| Trained of parking spaces. | North, south, east of west of property: |
| Property #4 | |
| Number of buildings on site: balance of of properties are single family homes | Property Description: see civil plans |
| Zoning district: | |
| Use type: | |
| Square footage of principal building: | |
| Square footage of accessory buildings: | |
| Number of parking spaces: | North, south, east or west of property? West & South |
| | |
| Property #5 | |
| Number of buildings on site: | Property Description: |
| Zoning district: | |
| Use type: | - |
| Square footage of principal building: | |
| Square footage of accessory buildings: | |
| Number of parking spaces: | North, south, east or west of property? |

.

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

| Signature of Owner: | NA | Date: |
|------------------------|---|-----------------|
| Print Name: | | |
| Signature of Applicant | Priskorn | Date: 1/31/2022 |
| | Mark Ahanatha Digitally signed by Mark Aban | Date: 1-17-22 |
| Signature of Architect | | Date: |
| Print Name: Mark | Abanatha | |
| | Office Use Only | |
| Application #: | Date Received: | Fee: |
| Date of Approval: | Date of Denial;A | ccepted by: |



SPECIAL LAND USE PERMIT APPLICATION CHECKLIST – PLANNING DIVISION

| Applica | nt:_ | Our Shepherd Lutheran Church Case #: Date: |
|---------------------|----------------|--|
| Address | : | 25 E 14 Mile Rd. Birmingham, MI 48009 Project: Building addition |
| applicab plans m | le re ist b | s and elevation drawings prepared for approval shall be prepared in accordance with the following specifications and other quirements of the City of Birmingham. If more than one page is used, each page shall be numbered sequentially. All e legible and of sufficient quality to provide for quality reproduction or recording. Plans must be no larger than 24" x st be folded and stapled together. The address of the site must be clearly noted on all plans and supporting documentation. |
| A full S | ite I | For Special Land Use Permit Plan detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than unless the drawing will not fit on one 24" X 36" sheet) and shall include: |
| \checkmark | 1. | Name and address of applicant and proof of ownership; |
| \checkmark | 2. | Name of Development (if applicable); |
| \checkmark | 3. | Address of site and legal description of the real estate; |
| \checkmark | 4. | Name and address of the land surveyor; |
| \checkmark | 5. | Legend and notes, including a graphic scale, north point, and date; |
| \checkmark | 6. | A separate location map; |
| ✓ | 7. | A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land; |
| \checkmark | 8. | Aerial photographs of the subject site and surrounding properties; |
| ✓ | 9. | A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair; |
| ✓ | 10 | A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject site's property lines; |
| \checkmark | 11. | Interior floor plans; |
| \checkmark | 12. | A chart indicating the dates of any previous approvals by the Planning Board, Board of Zoning Appeals, Design Review Board, or the Historic District Commission ("HDC"); |

| \checkmark | 13. Existing and proposed layout of streets, open space and other basic elements of the plan; | | | |
|------------------|--|--|--|--|
| \checkmark | 14. Existing and proposed utilities and easements and their purpose; | | | |
| \checkmark | 15. Location of natural streams, regulated drains, 100-year flood plains, floodway, water courses, marshe wooded areas, isolated preserve-able trees, wetlands, historic features, existing structures, dry wells, and the structures is the structure of the structu | | | |
| ✓ | lines, fire hydrants and any other significant feature(s) that may influence the design of the development; 16. General description, location, and types of structures on site; | | | |
| \checkmark | 17. Location of sidewalks, curb cuts, and parking lots on subject site and all sites within 200 ft. of the property line; | | | |
| \checkmark | 18. Details of existing or proposed lighting, signage and other pertinent development features; | | | |
| √ | 19. Elevation drawings showing proposed design; | | | |
| \checkmark | Screening to be utilized in concealing any exposed mechanical or electrical equipment and all trash receptacle areas; | | | |
| \checkmark | 21. Location of all exterior lighting fixtures; | | | |
| √ | 22. A Photometric Plan depicting proposed illuminance levels at all property lines; | | | |
| √ | 23. A Landscape Plan showing all existing and proposed planting and screening materials, including the number, size, and type of plantings proposed and the method of irrigation; and | | | |
| \checkmark | 24. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development. | | | |
| Elevation | on Drawings | | | |
| Complete smaller | te elevation drawings detailing the proposed changes for which approval is requested shall be drawn at a scale not than $1" = 100$ ' (unless the drawing will not fit on one 24" X 36" sheet) and shall include: | | | |
| \checkmark | 25. Color elevation drawings showing the proposed design for each façade of the building; | | | |
| \checkmark | 26. List of all materials to be used for the building, marked on the elevation drawings; | | | |
| \checkmark | 27. Elevation drawings of all screenwalls to be utilized in concealing any exposed mechanical or electrical equipment, trash receptacle areas and parking areas; | | | |
| \checkmark | 28. Details of existing or proposed lighting, signage and other pertinent development features; | | | |
| \checkmark | 29. A list of any requested design changes; | | | |
| \checkmark | 30. Itemized list and specification sheets of all materials, light fixtures and mechanical equiptment to be used, including exact size specifications, color, style, and the name of the manufacturer; | | | |
| \checkmark | 31. Location of all exterior lighting fixtures, exact size specifications, color, style and the name of the manufacturer of all fixtures, and a photometric analysis of all exterior lighting fixtures showing light levels to all property lines; and | | | |

32. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.



Notice Signs - Rental Application Community Development

| 1. Applicant | | Property Owner | | | |
|--|--|--|--|--|--|
| Name: Our Shepherd Lutheran Church | | Name: Our Shepherd Lutheran | | | |
| Address: 2225 E 14 Mile Rd, Birmingham, N | dress: 2225 E 14 Mile Rd. Birmingham, MI 48009 | | Address: 2225 E 14 Mile Rd. Birmingham, MI 48009 | | |
| Phone Number: 248-646-6100 | | Phone Number: 248-646-610 | 00 | | |
| East Marmhan | | D NT 1 | | | |
| Email address: churchoffice@ourshephero | d.net | Email address: churchoffice@ | | | |
| 2. Project Information | | | | | |
| Address/Location of Property: 2222 | 5 E 14 Mile Rd. Birmingham, MI 48009 | Name of Historic District | site is in, if any: | | |
| Name of Development: Our Shepherd | Lutheran Church | CI ATT Observe | | | |
| Area in Acres: +- 5.3 ac | | Current Zoning: R-2 | | | |
| 3. Date of Board Review | | | | | |
| Board of Building Trades Appeals: | | Board of Zoning Appeals | | | |
| City Commission: | | Design Review Roard | | | |
| Historic District Commission: | | Housing Board of Appeal | s: | | |
| Planning Board: | | 0 11 | | | |
| remains posted during the pay a rental fee and securit | entire 15 day mandator ty deposit for the Notice date of the hearing at w Notice Sign(s) are return urn the Notice Sign(s) a | ry posting period. The e Sign(s), and to removerhich the project was rended undamaged to the | viewed. The security deposit Community Development | | |
| Signature of Applicant: | 3-11 | Date: | 1/31/2022 | | |
| Application #: | | e Use Only Fee: | | | |
| Date of Approval: | Date of Denial: | | wed by: | | |



MEMORANDUM

Planning Division

DATE: April 11, 2022

TO: Thomas Markus, City Manager

FROM: Nicholas Dupuis, Planning Director

SUBJECT: Set Public Hearing for 220 Merrill – 220 Restaurant – Special Land

Use Permit Amendment, Final Site Plan & Design Review

INTRODUCTION:

The applicant has submitted an application for a Special Land Use Permit Amendment, Final Site Plan and Design Review for a new outdoor dining platform at an existing food and drink establishment in Downtown Birmingham. The applicant is also proposing minor changes to the existing outdoor dining patio private property, but is not requesting any interior or building façade changes at this time.

BACKGROUND:

On March 31, 2022, the Planning Board moved to recommend approval to the City Commission the Special Land Use Permit Amendment , Final Site Plan and Design Review application for 220 Merrill with the following conditions

- 1. The applicant must obtain an Outdoor Dining Permit and enter into a contract with the City for the SLUP Amendment;
- 2. All outdoor activity must cease at the close of business;
- 3. The applicant must obtain a favorable recommendation from the Advisory Parking Committee prior to City Commission review;
- 4. The applicant must submit a Design Review application to the Historic District Commission prior to City Commission review;
- 5. The applicant must comply with the requests of all City Departments; and
- 6. The applicant must submit revised site plans addressing Planning Board comments prior to City Commission review.

In addition to the review at the Planning Board, the applicant will also be required to submit a Design Review application to the Historic District Commission, as the proposed platform is located within the Central Business Historic District and adjacent to the historic Detroit Edison Building in which 220 Restaurant resides. The Design Review is currently scheduled at the Historic District Commission on May 4, 2022.

Finally, due to the proposed outdoor dining platforms location within three public parking spaces, the proposal must be reviewed by the Advisory Parking Committee (APC). The proposal is scheduled to appear before the Advisory Parking Committee on April 6, 2022.

The Planning Division will provide amended site and design plans addressing the Planning Board, Historic District Commission and/or Advisory Parking Committee comments at the Public Hearing on May 9, 2022.

LEGAL REVIEW:

The City Attorney has reviewed this request and resolution and has no objections as to form and content.

FISCAL IMPACT:

There are no fiscal impacts for this agenda item.

PUBLIC COMMUNICATIONS:

As required for Special Land Use Permit and Final Site Plan Reviews, a legal ad was placed in a newspaper of local circulation to advertise the nature of the request in advance of the March 31, 2022 Planning Board meeting, and notices were sent out to all property owners and tenants within 300 ft. of the property. In addition, a second round of notices will be sent out to advertise the public hearing at the City Commission on May 9, 2022.

SUMMARY:

The Planning Division requests that the City Commission consider the Special Land Use Permit, Final Site Plan and Design Review application for 220 Merrill – 220 Restaurant.

ATTACHMENTS:

Please find attached the following documents for your review:

- Special Land Use Permit Resolution
- Current Site/Design Plans
- Planning Division Reports
- Planning Board Review Site/Design Plans
- Application & Supporting Documents
- Meeting Minutes

SUGGESTED COMMISSION ACTION:

Make a motion adopting a resolution to set a public hearing date of May 9, 2022 to consider the Special Land Use Permit Amendment, Final Site Plan and Design Review application for 220 Merrill – 220 Restaurant – to allow the addition of a new outdoor dining platform in the Merrill St. right-of-way.

220 Restaurant

220 Merrill St. Special Land Use Permit Amendment 2022

WHEREAS, A Special Land Use Permit Amendment application was filed in January 2022 for approval of a new outdoor dining platform in the Merrill right-of-way at 220 Merrill;

WHEREAS, The land for which the Special Land Use Permit Amendment is sought is located on the south side of Merrill, east of Pierce and West of S. Old Woodward;

WHEREAS, The land is zoned B4, which permits the operation of food and drink establishments serving alcoholic beverages for on premise consumption with a Special Land Use Permit:

WHEREAS, Article 7, section 7.34 of Chapter 126, Zoning requires a Special Land Use Permit to be considered and acted upon by the Birmingham City Commission, after receiving recommendations on the site plan and design from the Planning Board for the proposed Special Land Use:

WHEREAS, The Planning Board on March 31, 2022 reviewed the application for a Special Land Use Permit Amendment, Final Site Plan and Design Review and recommended approval to the City Commission to allow a new outdoor dining platform in the Merrill right-of-way with the following conditions:

- 1. The applicant must obtain an Outdoor Dining Permit and enter into a contract with the City for the SLUP Amendment;
- 2. All outdoor activity must cease at the close of business;
- 3. The applicant must obtain a favorable recommendation from the Advisory Parking Committee prior to City Commission review;
- 4. The applicant must submit a Design Review application to the Historic District Commission prior to City Commission review;
- 5. The applicant must comply with the requests of all City Departments; and
- 6. The applicant must submit revised site plans addressing Planning Board comments prior to City Commission review.

| WHEREAS, The Advisory Parking Committee on April 6, 2022 reviewed the application for |
|--|
| a Special Land Use Permit Amendment, Final Site Plan and Design Review and recommended |
| to the City Commission to allow a new outdoor dining platform in the Merrill right-of- |
| way and to utilize three public parking spaces; |

WHEREAS, The Historic District Commission on May 4, 2022 ______ a Design Review application to allow a new outdoor dining platform in the Merrill right-of-way and the Central Business Historic District with the following condition:

1. The applicant obtain full approval from the City Commission prior to installation.

WHEREAS, The applicant has agreed to provide all requested information and to comply with the requests of all City departments;

WHEREAS, The Birmingham City Commission has reviewed 220 Restaurant's Special Land Use Permit Amendment application and the standards for such review as set forth in Article 7, section 7.36 of Chapter 126, Zoning, of the City Code;

NOW, THEREFORE, BE IT RESOLVED, The Birmingham City Commission finds the standards imposed under the City Code have been met, subject to the conditions below, and that 220 Restaurant's application for a Special Land Use Permit Amendment, Final Site Plan and Design Review at 220 Merrill is hereby approved;

BE IT FURTHER RESOLVED, That the City Commission determines that to ensure continued compliance with Code standards and to protect public health, safety, and welfare, this Special Land Use Permit Amendment is granted subject to the following conditions:

- 1. 220 Restaurant shall abide by all provisions of the Birmingham City Code;
- 2. 220 Restaurant must maintain a valid Outdoor Dining Permit and enter into a Lease Agreement for the use of public property; and
- 3. The Special Land Use Permit may be canceled by the City Commission upon finding that the continued use is not in the public interest.

BE IT FURTHER RESOLVED, That failure to comply with any of the above conditions shall result in termination of the Special Land Use Permit.

BE IT FURTHER RESOLVED, Except as herein specifically provided, 220 Restaurant and its heirs, successors, and assigns shall be bound by all ordinances of the City of Birmingham in effect at the time of the issuance of this permit, and as they may be subsequently amended. Failure of 220 Restaurant to comply with all the ordinances of the City may result in the Commission revoking this Special Land Use Permit.

BE FURTHER RESOLVED that 220 Restaurant is recommended for the operation of a new outdoor dining platform in the Merrill right-of-way, above all others, subject to final inspection.

I, Alexandria Bingham, City Clerk of the City of Birmingham, Michigan, do hereby certify that the foregoing is a true and correct copy of the resolution adopted by the Birmingham City Commission at its regular meeting held on May 9, 2022.

Alexandria Bingham City Clerk



MEMORANDUM

Planning Division

DATE: March 31, 2022

TO: Planning Board Members

FROM: Nicholas Dupuis, Planning Director

SUBJECT: 220 Merrill - 220 Restaurant - Special Land Use Permit

Amendment, Final Site Plan & Design Review

The subject site, 220 Merrill, is currently used as a restaurant within an existing 2-story commercial building fronting Merrill St. The applicant has submitted a Special Land Use Permit Amendment and Final Site Plan/Design Review (SLUP) application requesting the addition of a dining platform in the Merrill St. right-of-way to their outdoor dining plan. The existing outdoor dining patio for 220 resides on private property adjacent to the building, and contains 78 seats at 23 tables.

In April 2021, 220 was approved for expanded outdoor dining pursuant to the Temporary Outdoor Dining expansion allowanced adopted by the City Commission on May 11th, 2020 and extended on March 8th, 2021. The expansion involved the addition of a 480 sq. ft. platform within the parking area in front of the property that contains 3 metered parking spaces. The applicant has submitted the SLUP application seeking permanent approval of this area.

In addition to the required review at the Planning Board, the building in which 220 Restaurant resides as a designated historic resource. The applicant will be required to submit a Design Review application to the Historic District Commission prior to City Commission review.

The Birmingham Code of Ordinances states that a contract for transfer and a Special Land Use Permit are required for all licenses approved under Chapter 10 – Alcoholic Liquors. The licensee must comply with all provisions of the contract and Special Land Use Permit, and any amendments thereto as a condition of granting of a requested transfer. Accordingly, the applicant must obtain a recommendation from the Planning Board on the Special Land Use and Final Site Plan/Design Review application, which is then reviewed for final consideration by the City Commission.

1.0 Land Use and Zoning

1.1 Existing Land Use – 2-story multi-tenant commercial building.

- 1.2 <u>Zoning</u> B4 (Business-Residential) & D4 (Downtown Overlay)
- 1.3 <u>Summary of Adjacent Land Use and Zoning</u> –

| | North | South | East | West |
|-------------------------------|------------------------------|------------------------------|------------------------------|-------------------------|
| Existing Land Use | Mixed-Use | Commercial | Commercial | Parking |
| Existing Zoning District | B4 (Business Residential) | B4 (Business Residential) | B4 (Business Residential) | PP (Public Property) |
| Overlay Zoning District | D5 | D4 | D4 | P/D3 |

2.0 Setback and Height Requirements

Please see the attached zoning compliance summary sheet for details on setback and height requirements. There are currently no issues with bulk, height or placement with the Special Land Use Permit, Final Site Plan/Design Review application submitted.

3.0 Screening and Landscaping

- 3.1 <u>Dumpster Screening</u> There are no changes proposed to the dumpster or screening on site.
- 3.2 <u>Parking Lot Screening</u> There are no changes proposed to the parking lot or associated screening.
- 3.3 <u>Mechanical Equipment Screening</u> There are no changes proposed to the mechanical equipment or screening on site.
- 3.4 <u>Landscaping</u> There are no changes proposed to the landscaping on site.
- 3.5 Streetscape There are no changes proposed to the streetscape.

4.0 Parking, Loading and Circulation

- 4.1 <u>Parking</u> There are no changes to the parking requirements on site.
- 4.2 <u>Loading</u> There are no changes proposed to the loading requirements.

- 4.3 <u>Vehicular Circulation and Access</u> There are no changes proposed to the vehicular circulation and access.
- 4.4 <u>Pedestrian Circulation and Access</u> There are no changes to pedestrian circulation and access on the site.

5.0 Lighting

There are no new light fixtures or changes in lighting proposed that will significantly alter the light intensity on the site at this time.

6.0 Departmental Reports

- 6.1 <u>Engineering Department</u> Please see attached Engineering Department comments dated 3/24/22.
- 6.2 <u>Department of Public Services</u> The Department of Public Services has no concerns at this time.
- 6.3 <u>Fire Department</u> Please see attached Fire Department comments.
- 6.4 <u>Police Department</u> Please see attached Police Department comments dated 3/15/22.
- 6.5 <u>Building Division</u> Please see attached Building Division comments dated 3/21/22.
- 6.6 <u>Parking Manager</u> Please see attached Parking Manager comments dated 3/15/22.

7.0 Design Review

There are no changes proposed to the building at this time. However, the new dining platform is subject to several design requirements found in Article 4, Section 4.44 of the Zoning Ordinance. In accordance with Article 4, Section 4.44 of the Zoning Ordinance, the following outdoor dining standards apply:

- A. <u>Outdoor Dining</u>: Outdoor dining is permitted immediately next to the <u>principal</u> use, subject to Site Plan Review, and the following conditions:
 - 1. Outdoor dining areas shall provide and service refuse containers within the outdoor dining area and maintain the area in good order.
 - 2. All outdoor activity must cease at the close of business or as noted in subsection 3 below.
 - 3. When an outdoor dining area is immediately adjacent to any single-family or multiple-family residential district, all outdoor activity must cease at the close of business or 10:00 p.m., whichever is earlier.

- 4. Outdoor dining may be permitted on the sidewalk throughout the year with a valid Outdoor Dining License, provided that all outdoor dining fixtures and furnishings must be stored indoors each night between November 16 and March 31 to allow for snow removal.
- 5. All tables and chairs provided in the outdoor dining area shall be constructed primarily of metal, wood, or material of comparable quality.
- 6. Table umbrellas shall be considered under Site Plan Review and shall not impede sight lines into a retail establishment, pedestrian flow in the outdoor dining area, or pedestrian or vehicular traffic flow outside the outdoor dining area.
- 7. For outdoor dining located in the public <u>right-of-way</u>:
 - a. All such uses shall be subject to a license from the city, upon forms provided by the Community <u>Development</u> Department, contingent on compliance with all city codes, including any conditions required by the Planning Board in conjunction with Site Plan approval.
 - b. In order to safeguard the flow of pedestrians on the public sidewalk, such uses shall maintain an unobstructed sidewalk width as required by the Planning Board, but in no case less than 5 feet.
 - c. Outdoor dining is permitted to extend in the right-of-way in front of neighboring properties, with the written permission of the property owner(s) and with Planning Board approval, if such property is vacant or the first floor storefront(s) is/are vacant. Outdoor dining areas may extend up to 50% of the width of the neighboring lot(s) storefront(s), or up to 50% of the lot(s) frontage, if such lot is vacant.
 - d. City Commission approval is also required for outdoor dining extensions onto neighboring property if the establishment making such a request holds a <u>bistro</u> license.
 - e. An elevated, ADA compliant, enclosed platform may be erected on the <u>street</u> in front of an eating establishment to create an outdoor dining area from April 1 through November 15 only if the Engineering Department determines there is sufficient space available for this purpose given <u>parking</u> and traffic conditions.
 - f. No such facility shall erect or install permanent fixtures in the public right-of-way.
- 8. Outdoor dining is permitted in a B1 District at a rate of 4 seats for every 12 linear feet of store frontage, with no more than 12 seats total per <u>building</u>; no elevated enclosed platforms on the street are permitted in a B1 District.

As noted above, the applicant is proposing to install a new 480 sq. ft. dining platform in the off street parking area in the public right-of-way in front of the existing restaurant. The platform as proposed contains 9 tables and 36 additional seats. The proposed deck would add to an existing outdoor dining plan, which contains 23 tables and 78 chairs on private property. The proposed plans include two trash receptacles within the platform, umbrellas, railings, and an access ramp.

In accordance with section 4.44, all outdoor activity must cease at the close of business.

The applicant is proposing 36 Burt Stacking Patio Dining side polypropylene chairs in pink for use on the outdoor dining platform, as well as 9 Laine Metal 4-person dining tables constructed of white painted metal. In addition, the applicant is proposing a 36 in. black decorative railing system. As far as the chair material, the ordinance requires tables and chairs to be constructed of wood, metal, or a material of comparable quality. The Planning Board should discuss the pink polypropylene chairs and determine whether or not polypropylene is a material of comparable quality.

The applicant is also proposing 3 yellow Vueve Cliquot umbrellas. The umbrellas are proposed to be fully contained within the new outdoor dining platform. The proposed table umbrellas do not block pedestrian or vehicular traffic flow, nor do they block the view into the interior of the restaurant.

As for the platform structure itself, it is proposed to be constructed of wood with green turn floor covering at 10 in. total height. The existing curb on Merrill St. in that area is around 5-7 in. in height, thus necessitating the ramp as proposed.

As the proposed platform is located in the public right-of-way, the applicant will be required to enter into a license agreement with the City, as well as an Outdoor Dining permit. The proposed platform location does provide the required 5' wide pedestrian walkway on the sidewalk between the private outdoor seating and obstructions within the furnishing zone such as tree boxes, light poles, and parking meters.

The platform proposed by the applicant is proposed to cover 3 on-street parking spaces. The applicant will be required to pay for the use of all parking spaces partially or fully obstructed by the dining platform. The applicant will be required to comply with the comments of the Engineering Department and to receive a favorable recommendation from the Advisory Parking Committee prior to review by the City Commission.

8.0 Required Attachments

(see next page)

| | Submitted | Not Submitted | Not Required |
|-------------------------------|-------------|---------------|--------------|
| Existing Conditions Plan | | | |
| Detailed and Scaled Site Plan | \boxtimes | | |
| Certified Land Survey | | | \boxtimes |
| Interior Floor Plans | | | \boxtimes |
| Landscape Plan | | | \boxtimes |
| Photometric Plan | | | \boxtimes |
| Colored Elevations | | | \boxtimes |
| Material Specification Sheets | \boxtimes | | |
| Material Samples | \boxtimes | | |
| Site & Aerial Photographs | \boxtimes | | |

9.0 Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- (1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- (2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- (3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property nor diminish the value thereof.
- (4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- (5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- **(6)** The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

In addition, Article 7, Section 7.26 requires applications for a Special Land Use Permit to meet the following criteria:

- (1) The use is consistent with and will promote the intent and purpose of this Zoning Ordinance.
- (2) The use will be compatible with adjacent uses of land, the natural environment, and the capabilities of public services and facilities affected by the land use.
- (3) The use is consistent with the public health, safety and welfare of the city.
- **(4)** The use is in compliance with all other requirements of this Zoning Ordinance.
- (5) The use will not be injurious to the surrounding neighborhood.
- **(6)** The use is in compliance with state and federal statutes.

10.0 Recommendation

Based on a review of the site and design plans submitted, and the various departmental concerns raised, the Planning Division recommends that the Planning Board recommend **DENIAL** to the City Commission the Special Land Use Permit Amendment and Final Site Plan and Design Review for 220 Merrill – 220 Restaurant.

11.0 Sample Motion Language

Motion to recommend **DENIAL** to the City Commission the Special Land Use Permit Amendment and the Final Site Plan & Design Review for 220 Merrill – 220 Restaurant – for the following reasons:

| 1. | |
|----|--|
| 2. | |
| 3. | |

OR

Motion to recommend **APPROVAL** to the City Commission the Special Land Use Permit Amendment for 220 Merrill – 220 Restaurant – subject to the conditions of Final Site Plan and Design Review.

AND

Motion to recommend **APPROVAL** to the City Commission the Final Site Plan and Design Review for 220 Merrill – 220 Restaurant – with the following conditions:

- 1. The applicant must obtain an Outdoor Dining Permit and enter into a contract with the City for the SLUP Amendment;
- 2. All outdoor activity must cease at the close of business;
- 3. The applicant must obtain a favorable recommendation from the Advisory Parking Committee prior to City Commission review;

- 4. The applicant must submit a Design Review application to the Historic District Commission prior to City Commission review; and
- 5. The applicant must comply with the requirements of all departments.

| $\boldsymbol{\sim}$ | п |
|---------------------|---|
| | к |

| Motion | to POSTPON | E the Spec | ial Land I | Use Permit | Amendment | and Final | Site Plan 8 | Š |
|--------|-------------------|-------------|------------|-------------|---------------|-------------|-------------|---|
| Design | Review for 220 |) Merrill – | 220 Resta | aurant – pe | nding receipt | of the foll | lowing: | |

| 1. | | |
|----|--|--|
| 2. | | |
| | | |



CITY OF BIRMINGHAM FIRE DEPARTMENT

572 South Adams • Birmingham, Michigan 48009 • 248.530.1900 Fax 248.530.1950

220 East Merrill

New Outdoor Dining Plan

The following comments are for the new proposed outdoor dining plan.

- 1. Provide mounted fire extinguisher on outdoor dining structure. A 3A:40B:C, 5 lb. fire extinguisher shall be mounted to this structure.
- 2. Do not install structure to impede thru lane of traffic.
- 3. Fuel for portable heating devices shall be stored in a storage cage and placed in an area to prevent vehicle strikes. Loose fuel tanks prohibited.
- 4. Egress to outdoor dining shall not to be obstructed by tables, chairs or other. Fueled equipment to be a minimum of 5 feet from ingress/egress.

If you have any questions please contact my office.

Jack D. Pesha

Fire Marshal

Birmingham Fire Department



MEMORANDUM

(Engineering Department)

DATE: 3/24/2022

TO: Nicholas Dupuis, Planning Director

FROM: Scott D. Zielinski, Assistant City Engineer

SUBJECT: 220 E. Merrill - SLUP - Review Comments

The Engineering Department has completed a review of the drawings issued for SLUP Review.

East Merrill Street is approximately 39' Wide Street, with approximately 6'-6" wide parking spaces on both sides of the road. Directly across from 220 E Merrill is an entrance to basement parking for the property across the street. A driveway is adjacent to either side of the proposed location. Based on provided drawings the Engineering Department has the following comments;

- In the interest of health and safety
 - o to limit additional congestion of the street, the patio should be limited in width to extend no further then approximately 7'-4" from the Back of the existing curb line (edge of Patio should not extend farther then the edge of the existing marked parking locations)
 - o The patio is constructed in a manner in which water is able to flow along the curb line to the catch basin along the curb.
 - o The planned ramp for accessing the patio should be constructed to ADA compliance, as the exposed aggregate concrete is not a primary walking surface the ramp should be extended to the edge of the regular concrete walkway.

This concludes the Engineering Department comments.



Nicholas Dupuis <ndupuis@bhamgov.org>

220 Merrill - SLUP Application

Ryan Weingartz < rweingartz@bhamgov.org> To: Nicholas Dupuis <ndupuis@bhamgov.org> Tue, Mar 15, 2022 at 1:35 PM

My biggest concern is that they are taking the valet lane away for the patio. From what I understand they do not use the alley for valet, they use the 3 spaces in front. So if they take the 3 away for the patio they will then need to move the valet to another location which then takes more on street parking away. I almost think they need to decide one or the other, not both.

[Quoted text hidden]



Nicholas Dupuis <ndupuis@bhamgov.org>

220 Merrill - SLUP Application

Scott Grewe <Sgrewe@bhamgov.org> To: Nicholas Dupuis <ndupuis@bhamgov.org> Tue, Mar 15, 2022 at 1:15 PM

Thanks

In the proposed outdoor dining language didn't it state that the ramp could not extend beyond the curb?

Also, I would echo the concerns of Ryan. This valet has been an issue in the past and with adding the extra seating on top of what they already have for outdoor dining, I would think they would need to not only relocate their valet stand but would also need to extend it and/or require additional personnel to staff it. [Quoted text hidden]

CITY OF BIRMINGHAM

Community Development – Building Department 151 Martin Street, Birmingham, MI 48009

March 21, 2022

RE: Special Land Use Permit Review Comments

220 Merrill, Dining Deck

As requested, the Building Department has examined the plans for the proposed project referenced above. The plans were provided to the Planning Department for site plan review purposes only and present conceptual elevations and floor plans. Although the plans lack sufficient detail to perform a code review, the following comments are offered for Planning Design Review purposes and applicant consideration:

Applicable Building Codes:

- **2015 Michigan Building Code.** Applies to all buildings other than those regulated by the *Michigan Residential Code.*
- **2015 Michigan Residential Code.** Applies to all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures.
- 2015 Michigan Mechanical Code. (Residential requirements for mechanical construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)
- 2018 Michigan Plumbing Code. (Residential requirements for plumbing construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)
- 2017 National Electrical Code along with the Michigan Part 8 Rules. (Residential requirements for electrical construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)

Review Comments:

- 1. The plumbing code requires the occupant load for seasonal outdoor seating areas shall be included when determining the minimum number of toilet room facilities for the establishment. Compliance must be documented on the plans. (MPC Table 403.1 Note d)
- 2. Construction details must be provided for the proposed platform showing how it will be constructed including sections with material list.



Birmingham

Location Map

Birmingham City Hall

W Merrill St

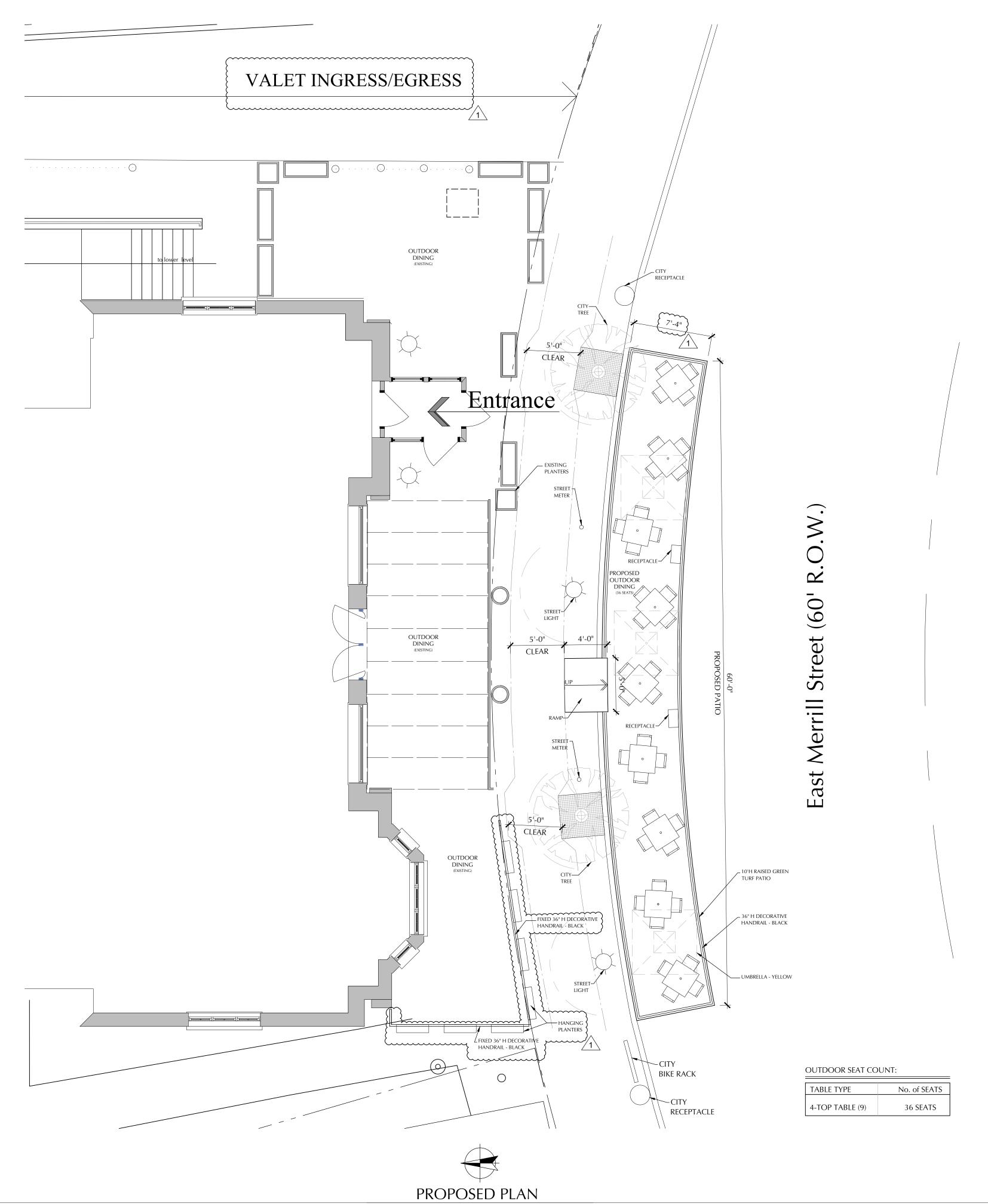
David Klein Gallery

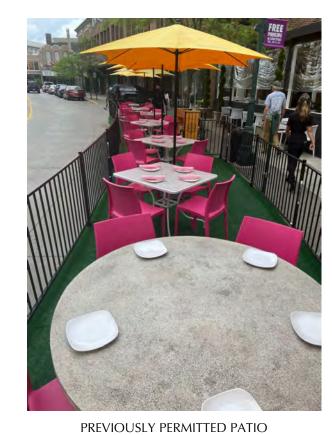












UMBRELLA: VEUVE CLIQUOT - YELLOW





TABLES: LAINE METAL 4 - PERSON DINING TABLE - WHITE SIZE: 28.75'' H X 35.5'' L X 35.5'' W



WASTE RECEPTACLES STAINLESS STEEL RECTANGULAR WASTE RECEPTACLE WITH PLASTIC TOP SIZE: 11"D X 20"W X 29" H



Special Land Use Permit Application Planning Division Form will not be processed until it is completely filled out.

| 1. | Applicant | . Property Owner | |
|----|--|--|----------------|
| | Name: 220 Merces | Name: Brangwayram limbe Place L | 17 |
| | Address: 220 E MERREIL | Address: 124 S. Olo Wassumo | |
| | 18009 | 4 300 9 | |
| | Phone Number: 313-530-1454 | Phone Number: 248-645-7997 | |
| | Fax Number: | Fax Number: | |
| | Email address: BEGAN & THE day GROUP.com | Email address: ZAD @ Theel Da GROUP .com | |
| 27 | | | |
| 3. | Applicant's Attorney/Contact Person | . Project Designer/Developer | |
| | Name: Brantono ELAN | Name: CHAES CONGE | |
| | Address: 124 S. 10 Wesewano | Address: 124 Penlocky | - |
| | | Birmyskum MI 4009 | 5.— <u>—</u> |
| | Phone Number: 313-530-1456 | Phone Number: 246 258 6940 | |
| | The Control of the Co | Fax Number: | |
| | Fax Number: | Email address: CILOME @ CILOMETERS | |
| | Email address: BCGRN & HE COS CHOUP. COM | Elifali addiess. | or. |
| 5 | Required Attachments | | |
| • | 1. Two (2) paper copies and one (1) digital copy of all | v. A Landscape Plan; | |
| | project plans including: | vi A Photometric Plan; | |
| | A Paris Discount of the Control of t | vii. Colored elevation drawings for | each |
| | i. A detailed Existing Conditions Plan | building elevation; | |
| | including the subject site in its entirety, | | miala liabt |
| | including all property lines, buildings, | | eriais, iigni |
| | structures, curb cuts, sidewalks, drives, | fixtures and mechanical equipment; | |
| | ramps and all parking on site and on the | Samples of all proposed materials; | |
| | street(s) adjacent to the site, and must | Photographs of existing conditions on the | site |
| | street(s) adjacent to the site, and thust | including all structures, parking areas, las | |
| | show the same detail for all adjacent | and adjacent structures; | rescaping |
| | properties within 200 ft. of the subject | | |
| | site's property lines; | V. Current aerial photographs of the site and | L |
| | ii. A detailed and scaled Site Plan depicting | surrounding properties; | |
| | accurately and in detail the proposed | VI. Warranty Deed, or Consent of Property C | Jwner if |
| | construction, alteration or repair: | applicant is not the owner; | |
| | | VII. Any other data requested by the Planning | Board |
| | iii. A certified Land Survey; | Planning Department, or other City Depa | |
| | iv. Interior floor plans; | raming peparating of other only peparating | a distribution |
| 6 | Project Information 220 5 Margell | | |
| ψ. | Address/Location of the property: 220 E Manuell | Date of Application for Final Site Plan: | |
| | Address Location of the property. | Date of Final Site Plan Approval: | |
| | Name of development: 220 | Date of Application for Revised Final Site Plan: | |
| | Name of development. | Date of Revised Final Site Plan Approval: | |
| | Sidwell #: 11-70-202-017 Current Use: Restrucent | Date of Design Review Board Approval: Is there a current SLUP in effect for this site? | |
| | Current Use: | Is there a current SLUP in effect for this site? | |
| | Proposed Use: Restaurner w STREET INTO | Date of Application for SLUP: | |
| | Area of Site in Acres: | Date of SLUP Approval: | |
| | Current zoning: | Date of SLOP Approval. | |
| | Is the property located in the floodplain? | Date of Last SLUP Amendment: | 11.40 |
| | Name of Historic District Site is located in: | Will proposed project require the division of platte | ed lots? |
| | Date of Historic District Commission Approval: | with the second and the second | alastad lasta |
| | Date of Application for Preliminary Site Plan: | Will proposed project require the combination of | matted tots: |
| | Date of Proliminary Site Plan Approval: | No | |

| DON DRAWENS | a spaces in thank of 220 Mangall |
|---|--|
| | |
| | |
| | |
| | |
| | |
| Buildings and Structures | 3-11-22-2-2-2-2-2-2-2-2-2-2-2-2-2-2-2-2- |
| Think as of Buildings on Site: | Use of Buildings: Restractors Height of Rooftop Mechanical Equipment: |
| leight of Buildings & # of Stories: 2 5 more | Height of Rooftop Mechanical Equipment: United Section 1 |
| | |
| Floor Use and Area (in Square Feet) | |
| Proposed Commercial Structures: | |
| Total basement floor area: Number of square feet per upper floor: | Office Space: |
| Number of square feet per upper floor: | Retail Space: |
| Total floor area: | Industrial Space: Assembly Space: Seating Capacity: 36 50001 |
| Total floor area: Floor area ratio (total floor area + total land area): | Assembly Space. |
| | Maximum Occupancy Load: |
| Open space: | Maximum Occupancy Load. |
| Open space: | |
| | |
| Proposed Residential Structures: | Rental units or condominiums? |
| Total number of units: | Size of one bedroom units: |
| Number of two bedroom units: Number of three bedroom units: Number of three bedroom units: | Size of two bedroom units: |
| Number of two bedroom units: | |
| Number of three bedroom units: | C. Canalina |
| Open space: Percent of open space: | Maximum Occupancy Load: |
| Percent of open space: | |
| - Venezada Auditiones | |
| Proposed Additions: Total basement floor area, if any, of addition: | Use of addition: |
| Total basement floor area, if any, or addition | Height of addition: |
| Number of floors to be added: Square footage added per floor: | Height of addition: Office space in addition: Retail space in addition: |
| | Retail space in addition: |
| Floor area ratio (total floor area + total land area): | Industrial space in addition: Assembly space in addition: |
| | Assembly space in addition: Maximum building occupancy load (including addition |
| Onen Space | Maximum building occupancy toad (including addition |
| Open Space: | |
| | |
| . Required and Proposed Setbacks | Proposed front setback: |
| Required front setback: | Proposed rear setback |
| Required rear setback: | Proposed front setback: Proposed rear setback: Proposed total side setback: |
| Required front setback: Required rear setback: Required total side setback: | Second side setback: |
| Side setback: | |
| | |
| . Required and Proposed Parking | Proposed number of parking spaces: |
| n | |
| Typical angle of parking spaces: | Number of spaces <180 sq. ft.: |
| Typical width of maneuvering lanes: | Number of spaces < 180 sq. ft.: Number of handicap spaces: |
| Typical angle of parking spaces: Typical width of maneuvering lanes: Location of parking on site: | Shared parking agreement? |
| I continue of parking off sile: | Height of light standards in parking area: |
| Number of light standards in parking area. | Height of screenwall: |
| Screenwall material: | |

| Location of landscape areas: | Proposed landscape material: |
|---|---|
| | |
| | |
| | 12/F |
| | |
| PLA | |
| | |
| 2 Character (200 | Description of benches or planters: |
| Sidewalk width: No CHANG TO GETY SEDEMALK | |
| Number of henches: | Species of existing trees: |
| Number of planters: Number of existing street trees: | |
| Number of existing street frees: | Species of proposed trees: |
| Number of proposed street trees: Streetscape plan submitted? | |
| 4. Loading | Proposed number of loading spaces: |
| Required number of loading spaces: | Tomical ciae of loading spaces: |
| Typical angle of loading spaces | Height of screenwall: Typical time loading spaces are used: |
| a | Typical time loading spaces are used: |
| Location of loading spaces on site: | Lypical date tooonig special |
| 5. Exterior Waste Receptacles | Proposed number of waste receptacles: |
| | Size of waste receptacles: |
| | Height of screenwall: |
| Screenwall material: | |
| 6. Mechanical Equipment | |
| Utilities and Transformers: | Location of all utilities & easements: |
| to the committed transformers' | Location of all utilities & easements |
| Number of ground mounted | |
| Size of transformers (L•W•H): Number of utility easements: | *** |
| Screenwall material: | Height of screenwall: |
| Ground Mounted Mechanical Equipment: | Location of all ground mounted units: |
| Number of ground mounted units: Size of ground mounted units (L•W•H): | PLA |
| Size of ground mounted units (L+W+H): | Height of screenwall: |
| Screenwall material: | |
| Rooftop Mechanical Equipment: | Location of all rooftop units |
| Number of roofton units: | |
| | n and another covered by mechanical units: |
| 1110 | Height of screenwall: |
| II - steriel | Height of screenwall: Distance from rooftop units to all screenwalls: |
| Location of screenwall: | Distance noise to the second |
| Puildings | Eu/14ber |
| 17. Accessory Buildings | Size of accessory buildings: |
| Number of accessory buildings: Location of accessory buildings: | Height of accessory buildings: |
| Location of accessory buildings | |
| 18. Building Lighting | Type of light standards on building: |
| 18. Building Lighting Number of light standards on building: Number of light standards on building: | Type of fight standards on ourself. |
| | |

| \\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\ | Height from grade: |
|--|---|
| Size of light fixtures (L•W•H): Maximum wattage per fixture: | Proposed wattage per fixture: |
| Maximum wattage per fixture | |
| Light level at each property line | |
| 19. Site Lighting | - all 1. C |
| Number of light fixtures: 2 Cary Street Carts Size of light fixtures (L-W-H): | Type of light fixtures: |
| Ci - Cliche Gunnes (LeWeH): | Height from grade: Proposed wattage per fixture: |
| Maximum wattage per fixture: | Proposed wattage per fixture: |
| Light level at each property line: | Holiday tree lighting receptacles: |
| Light level at each property fine. | |
| 20. Adjacent Properties | |
| Number of properties within 200 ft.: | |
| Property #1 | Property Description: |
| No about of buildings on site: | Property Description |
| Zoning district: | |
| Lise type: | |
| Square footage of principal building: | |
| Square footage of accessory buildings: | North, south, east or west of property? |
| Number of parking spaces: | North, south, east of west of property. |
| rumoe. or parangers | |
| Property #2 | Property Description: |
| Number of buildings on site: | Troperty Description |
| Zoning district: | |
| a a construction of the co | |
| Sauge Stateme of principal building: | |
| Saures footner of accessory buildings: | North, south, east or west of property? |
| Number of parking spaces: | North, South Cast of Wast |
| Property #3 | Property Description: |
| Number of huildings on site: | Property Description. |
| Zoning district: | |
| • • I I I I I I I I I I I I I I I I I I | |
| Square footage of principal building: Square footage of accessory buildings: | |
| Square lootage of accessory buildings: | North, south, east or west of property? |
| Number of parking spaces: | North, south, east or west of property: |
| Number of parking spaces. | |
| Property #4 | Property Description: |
| Number of buildings on site: | |
| Zoning district | |
| | |
| Savara footage of principal building: | |
| Savara footage of accessory buildings: | the section was of property? |
| Number of parking spaces: | Total Country of the |
| Property #5 | Property Description: |
| C1 1125 on provider | |
| Number of buildings of site. Zoning district: | |
| | |
| Same footnes of principal building: | |
| Square footage of accessory buildings: | North, south, east or west of property? |
| Number of parking spaces: | North, south, east or west or property. |
| Number of parking spaces | |

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

| By providing your e-mail to th receive these messages, you r | e City, you agree to receive news notificat nay unsubscribe at any time. | A STATE OF THE STA |
|--|---|--|
| Signature of Owner: | A | Date: 1/24/22 |
| Print Name: | os Elga | Date: 1/24/22 |
| Signature of Applicant: Print Name: | plays Eum | |
| Signature of Architect: | allerge. | Date: 1.28.22 . |
| Print Name: | GILDINING MICE. | |
| | Office Use Only | |
| Application #: | Date Received: | Fee: |
| Date of Approval | Date of Denial: | Accepted by: |



Notice Signs - Rental Application Community Development

| 1. Applicant Name: Z20 Merry | |
|--|--|
| vanie. | |
| Address: 220 E ME | Address: 124 5. ole houanne |
| 48009 | 48005 |
| Phone Number: 317-516- | Phone Number: 248-645-7777 |
| Fax Number | Fax Number. |
| Email address: Reum @ Th | Email address: ZAID @ The lea Loup. com |
| 2. Project Information | Name of Historic District site is in, if any: |
| Address/Location of Property: 22 | |
| Name of Development: 220 | Current Use: Current Zoning: 8-4 |
| Area in Acres: | Current Zorung: |
| 3. Date of Board Review | Board of Zoning Appeals: |
| Board of Building Trades Appeals: | Design Review Board: |
| City Commission' | |
| Historic District Commission: | Housing Board of Appears |
| Planning Board: | |
| | above information is true and correct, and understands that it is the nt to post the Notice Sign(s) at least 15 days prior to the date on which |
| responsibility of the applica project will be reviewed by t remains posted during the e pay a rental fee and security immediately following the d | to post the Notice Sign(s) at least 10 days prior to the Notice Sign the appropriate board or commission, and to ensure that the Notice Sign tire 15 day mandatory posting period. The undersigned further agree deposit for the Notice Sign(s), and to remove all such signs on the date of the hearing at which the project was reviewed. The security depotice Sign(s) are returned undamaged to the Community Development on the Notice Sign(s) and/or damage to the Notice Sign(s) will result in |
| responsibility of the applica project will be reviewed by t remains posted during the e pay a rental fee and security immediately following the di will be refunded when the N Department. Failure to return | the appropriate board or commission, and to ensure that the Notice Signer appropriate board or commission, and to ensure that the Notice Signer appropriate 15 day mandatory posting period. The undersigned further agree of deposit for the Notice Sign(s), and to remove all such signs on the date of the hearing at which the project was reviewed. The security depotice Sign(s) are returned undamaged to the Community Development on the Notice Sign(s) and/or damage to the Notice Sign(s) will result in posit. **Date: 1/24/22** **Office Use Only** |
| responsibility of the applica project will be reviewed by tremains posted during the epay a rental fee and security immediately following the dwill be refunded when the N Department. Failure to return forfeiture of the security de Signature of Applicant: | the appropriate board or commission, and to ensure that the Notice Signet appropriate board or commission, and to ensure that the Notice Signet it is 15 day mandatory posting period. The undersigned further agreed deposit for the Notice Sign(s), and to remove all such signs on the day attention of the hearing at which the project was reviewed. The security deposition of the Notice Sign(s) are returned undamaged to the Community Development on the Notice Sign(s) and/or damage to the Notice Sign(s) will result in specific the Notice Sign(s). |



SPECIAL LAND USE PERMIT APPLICATION CHECKLIST - PLANNING DIVISION

| Applicant | : 220 Marrell | Case #: | Da | ite: 1/08/10 |
|-------------|--|---|--|---------------------------------|
| Address: | 220 Morrell | Project:S | TREET PATES | - |
| applicable | lans and elevation drawings prepared for e requirements of the City of Birmingha st be legible and of sufficient quality to must be folded and stapled together. Th | m_ If more than one page provide for quality repro | e is used, each page shall duction or recording. Pla | ns must be no larger than 24" x |
| A full Si | nn for Special Land Use Permit te Plan detailing the proposed chang ' (unless the drawing will not fit on | es for which approval | is requested shall be di and shall include: | rawn at a scale no smaller than |
| \boxtimes | 1. Name and address of applicant | and proof of ownersh | ip; | |
| X | 2. Name of Development (if appl | icable); | | |
| X | 3. Address of site and legal descri | iption of the real estate |) ; | |
| | 4. Name and address of the land | surveyor; | | |
| A | 5. Legend and notes, including a | graphic scale, north p | oint, and date: | |
| A | 6. A separate location map; | | | |
| | A map showing the boundary developed as well as the adjace | lines of adjacent land ent land; | and the existing zoning | of the area proposed to be |
| | 8. Aerial photographs of the subj | ect site and surrounding | ng properties; | |
| | A detailed and scaled Site Plan repair; | | | |
| | A detailed Existing Conditions buildings, structures, curb cuts adjacent to the site, and must site's property lines: | a ordervalve drives to | mns and all parking on | SHE BING OH THE SHEEKING |
| | 11. Interior floor plans; | | | |
| | 12. A chart indicating the dates of Design Review Board, or the | fany previous approva Historic District Com | ils by the Planning Boa mission ("HDC"); | rd, Board of Zoning Appeals, |

| 1 | | |
|-------------------|------|--|
| X | 13. | Existing and proposed layout of streets, open space and other basic elements of the plan: |
| | 14. | Existing and proposed utilities and easements and their purpose: |
| | 15. | Location of natural streams, regulated drains, 100-year flood plains, floodway, water courses, marshes, wooded areas, isolated preserve-able trees, wetlands, historic features, existing structures, dry wells, utility lines, fire hydrants and any other significant feature(s) that may influence the design of the development: |
| | 16. | General description, location, and types of structures on site; |
| | | Location of sidewalks, curb cuts, and parking lots on subject site and all sites within 200 ft of the property line; |
| | 18. | Details of existing or proposed lighting, signage and other pertinent development features: |
| | 19 | Elevation drawings showing proposed design: |
| | 20 | Screening to be utilized in concealing any exposed mechanical or electrical equipment and all trash receptacle areas: |
| | 21 | . Location of all exterior lighting fixtures: |
| | 22 | . A Photometric Plan depicting proposed illuminance levels at all property lines: |
| | | A Landscape Plan showing all existing and proposed planting and screening materials, including the number, size, and type of plantings proposed and the method of irrigation; and |
| | 24 | Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development. |
| Elevatio | n D | Prawings |
| Comple smaller | e el | evation drawings detailing the proposed changes for which approval is requested shall be drawn at a scale no 1" = 100" (unless the drawing will not fit on one 24" X 36" sheet) and shall include |
| | 25 | . Color elevation drawings showing the proposed design for each façade of the building: |
| | 26 | . List of all materials to be used for the building, marked on the elevation drawings: |
| | | Elevation drawings of all screenwalls to be utilized in concealing any exposed mechanical or electrical equipment, trash receptacle areas and parking areas: |
| | 28 | 3. Details of existing or proposed lighting, signage and other pertinent development features: |
| | |). A list of any requested design changes; |
| | | Itemized list and specification sheets of all materials, light fixtures and mechanical equiptment to be used, including exact size specifications, color, style, and the name of the manufacturer; |
| | | Location of all exterior lighting fixtures, exact size specifications, color, style and the name of the manufacturer of all fixtures, and a photometric analysis of all exterior lighting fixtures showing light levels to all property lines; and |
| | 32 | 2 Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development. |



Birmingham

Location Map

Birmingham City Hall

W Merrill St

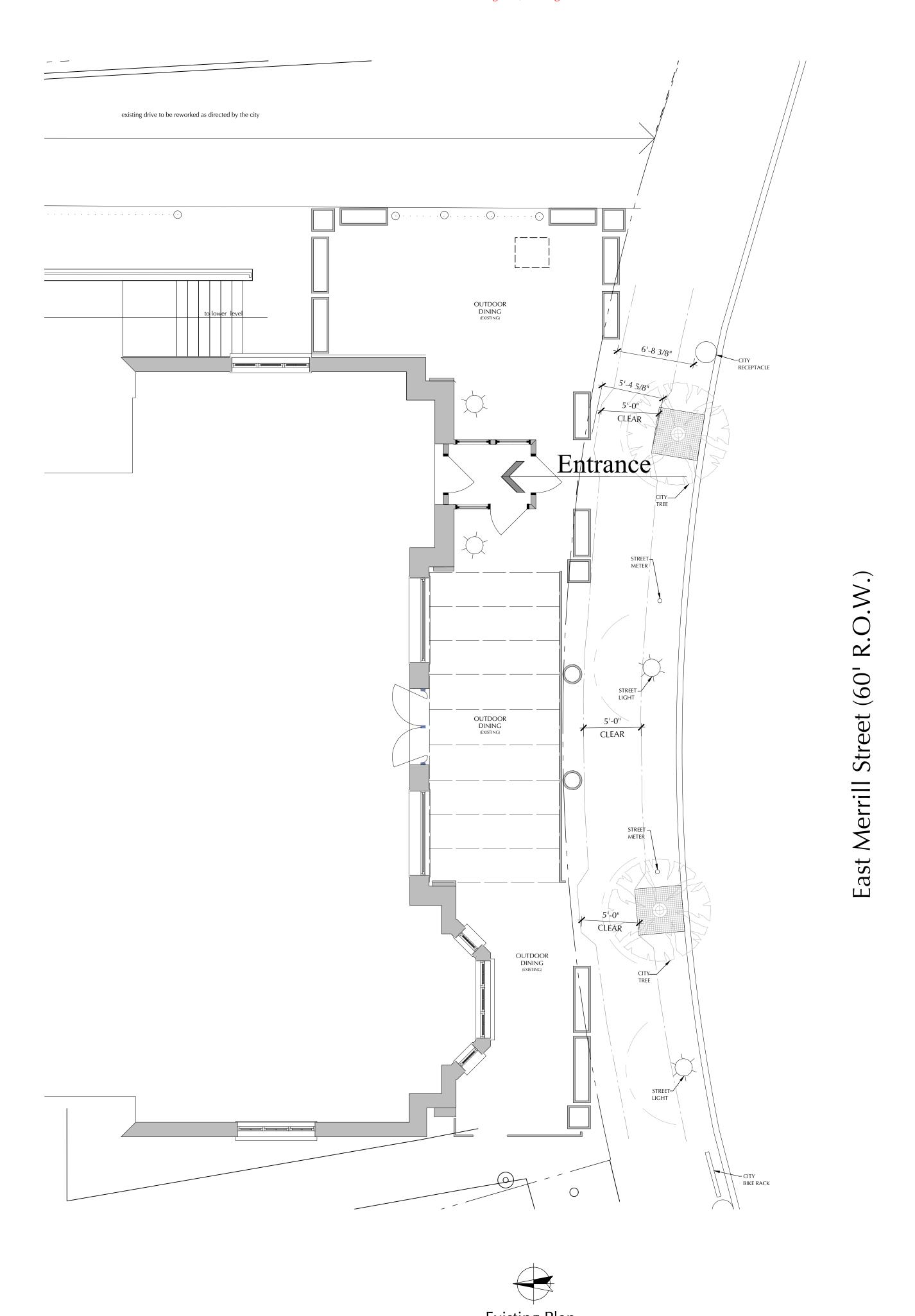
David Klein Gallery

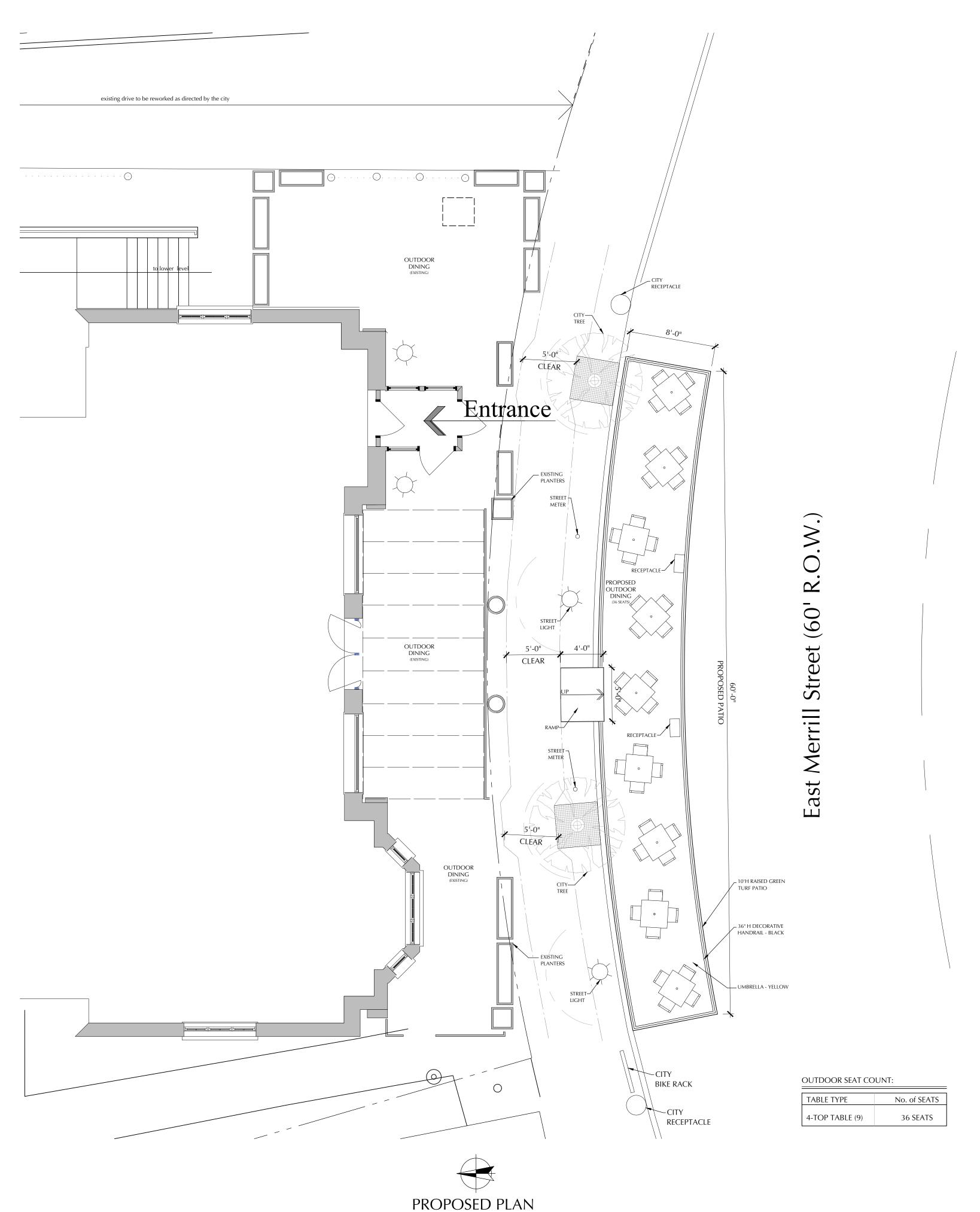














PREVIOUSLY PERMITTED PATIO

UMBRELLA - YELLOW VEUVE CLIQUOT 36"H - BLACK DECORATIVE HANDRAIL 10"H RAISED PATIO - GREEN TURF



TABLES: LAINE METAL 4 - PERSON DINING TABLE - WHITE SIZE: 28.75'' H X 35.5'' L X 35.5'' W



CHAIRS:

- BURT STACKING PATIO DINING SIDE CHAIR - PINK
100% POLYPROPYLENE
SIZE: 32" H X 17.3" W X 20" D



WASTE RECEPTACLES
STAINLESS STEEL RECTANGULAR WASTE RECEPTACLE
WITH PLASTIC TOP
SIZE: 11"D X 20"W X 29" H



124 S. Old Woodward • Suite A • Birmingham, MI 48009 • 248.645.7777(P h o n e) • 248.645.7771(F a x)

March 30, 2022

Mr. Nick Dupuis Planning Director City of Birmingham

Via: Email to ndupuis@bhamgov.org

RE: 220 Merrill - Special Land Use Permit for Dining Platform: Updated Plans

Dear Mr. Dupuis:

Pursuant to our most recent discussion, please find below changes made to our initial plan and clarification points regarding the valet lane.

Please note the following changes have been made:

- 1) The patio chair color is changed to white.
- 2) The width of the patio deck has been reduced from 8' to 7' 4".
- 3) The planters located on the eastern side of our property line will be removed and a black fence, as illustrated in the attached revised drawings, will be installed. Please note it matches the current fence that is already located on that end of the property.
- 4) Increase Valet Staff during working hours.

As it relates to the valet service, 220 Merrill utilizes our private drive lane located immediately West of the building. Our goal with valet service has always been to provide First Class convenience to our customers and the community, while reducing the congestion on the public streets.

As it relates to the loading and unloading of the product to 220 Merrill, 220 Merrill utilizes our drive lane located immediately West of the building.

As you know our customers greatly enjoy the outdoor patio that we have had the privilege of using the past two summers. We appreciate your consideration of these changes for the approval of the proposed deck. While this patio was in place, we did not experience any issues with this patio or the surrounding area. In addition, it is critical for our business to garner approval of this patio as it will also help drive revenue that was substantially decreased during COVID. Thank you.

Sincerely,

Zaid Elia

Owner - 220 Merrill Restaurant





MEMORANDUM

City Manager's Office

DATE: March 25, 2022

TO: Thomas M. Markus, City Manager

FROM: Melissa Fairbairn, Assistant to the City Manager

SUBJECT: Strategic Planning RFQ

INTRODUCTION:

Strategic planning is a process in which organizations define their direction for the future. As a part of the process, stakeholders collaborate to define the organization's mission, vision, and both long- and short-term goals and objectives. The City of Birmingham has not conducted a strategic planning process in recent years.

BACKGROUND:

At the January 22, 2022 Long Range Planning meeting, the City Manager's Office presented information about strategic planning to the Commission. To move forward in creating a strategic plan for the City, a request for qualifications (RFQ) will be posted to MITN for a professional firm to lead the City through the process. Respondent firms will be interviewed in May 2022 and the respondent determined by the City to be the most qualified will be invited to enter into a professional services agreement with the City.

LEGAL REVIEW:

The City Attorney has reviewed the proposed Request for Qualifications (RFQ) and has no concerns with form or content.

FISCAL IMPACT:

The City has budgeted for professional services for the strategic planning process in FY 2021-2022.

PUBLIC COMMUNICATIONS:

The professional facilitator or firm that is selected will recommend a community engagement process including public meetings, workshop sessions, and online outreach.

SUMMARY:

The City Manager's Office requests that the City Commission consider and approve the issuance of the proposed RFQ to select a professional facilitator to guide the City's strategic planning process and create the final strategic plan document.

ATTACHMENTS:

- Request for Qualifications for Strategic Planning
- January 22, 2022 Strategic Planning Memo

SUGGESTED COMMISSION ACTION:

Make a motion authorizing the Request for Qualifications for a professional facilitator to comprehensively guide the City's strategic planning process and complete the final strategic plan document.



Request for Qualifications STRATEGIC PLAN Birmingham, Michigan

INTRODUCTION

The City of Birmingham, Michigan seeks to develop a Strategic Plan, utilizing a process that comprehensively and equitably evaluates the organization, and the community it serves, and develops a vision for the future. The vision should connect with short and long-term strategic goals and objectives for the City of Birmingham, with measurable performance indicators that will guide the annual budget process. To design, facilitate, and guide this process, the City is looking for professionals with extensive experience and expertise in strategic planning for local governments.

The proposer determined by the City to be most qualified will be invited to enter into a professional services agreement with the City.

BACKGROUND

The 1933 Charter provides that all powers are vested in the Commission, consisting of seven members, all elected at large on a non-partisan basis. Commissioners serve staggered terms of four years and elect from their own members each year a Mayor who is a voting member of the Commission. A Mayor Pro-Tem is also elected to serve in the absence of the Mayor. The City Manager oversees the administrative functions of the City, including the operations of all City Departments. Department Directors are all

appointed by the City Manager, while the City Clerk is appointed by the Commissioners and then reports to the City Manager.

Birmingham, Michigan is a vibrant and prosperous community with a population of just over 20,000. Covering only 4.73 square miles, it is able to maintain the atmosphere of a small town, while experiencing the benefits and amenities of an affluent urban area. Birmingham, is a wealthy suburb of Detroit located halfway between Detroit and Pontiac with a high average household income and high home values. Residents are very active in their local government and share their opinions regarding the development and redevelopment of the City.

The City does annual budget forecasting and an annual long-term planning process but has not conducted the Strategic Planning process in recent memory.

The City anticipates that it may take some months to provide adequate time for participation by the project team and the City Commissioners in addition to review by key community stakeholders. The outcome of the process will be a written strategic plan document that presents the planning process, the research, the analysis, opportunities and strategies along with an implementation plan that will guide the City for the next three (3) to five (5) years. The City is aware that there are a variety of perspectives, models, and approaches available to develop a strategic planning document; therefore, the successful firm should be able to discern which model or model(s) will best enable the City of Birmingham to complete its organizational and programmatic goals. The successful firm will be required to demonstrate its ability to meet these requirements.

WHAT THE CITY IS LOOKING FOR

The City of Birmingham is seeking sealed proposals from qualified persons or firms to contract for consulting services to guide a Strategic Planning process for the City. Consultants are invited to submit a proposal which includes an outline of their experience and qualifications in performing work directly related to the services required.

Strategic planning determines where an organization is going and how it's going to get there. This Strategic Plan is intended to help the City direct its efforts and resources toward a clearly defined vision for its future. The plan should include benchmarks or milestones that measure the City's progress along the way.

The City is interested in having this plan completed proactively and transparently with community acceptance. The process should allow for both active and passive involvement ensuring diverse and extensive community participation.

This strategic plan should be a "living document" and should undergo periodic review and adjustment to reflect progress towards achievement of goals and/or modifications of goals.

SCOPE OF SERVICES

Although the City is allowing for great flexibility in the proposals, it is expected that the process and product include at a minimum, the following:

- 1. The consultant will facilitate a community visioning process. This process will consist of public meetings, stakeholder group sessions, outreach forums, online survey(s), social media, discussions with City staff and other forums appropriate for outreach and public input. The result of these efforts will result in a robust array of suggestions from members of our community.
- 2. The consultant will conduct orientation and briefing sessions for the City Commission and employees at all levels to educate them on the goals of the project and the potential outcomes.
- 3. The consultant must also be available for any necessary presentations to the City Commission and/or project team to include but not limited to a final strategic plan presentation to the Commission.
- 4. Conducting a situational analysis and identify and assess the strengths, weaknesses, opportunities, and threats of the City of Birmingham organization.
- 5. Based on the assessment data, the consultant will facilitate the revision of the Vision, Values, and Mission for the City.
- 6. The consultant must facilitate the development of goals and objectives that support the Vision, Values, and Mission of the City and facilitate the development of performance metrics for inclusion in the annual budget process.
- 7. Submit recommendations for appropriate implementation measures that City staff will need to take. Including proposed policies and administrative guidelines that need to be in place to administer the strategic plan. These policies and administrative guidelines should be as specific in nature as possible.
- 8. Develop a system to measure the effectiveness of City activities in meeting the objectives of the strategic plan. Ensure the measures are linked to the overall vision, mission and goals of the City as a whole.

RFQ PROCESS

It is expected that one (1) consultant will be selected as a result of this RFQ, although the City is under no obligation to award a contract as a result of the selection process. Based on the proposals received, the selection committee will select individuals/firms to be interviewed. As a result of those interviews the top-rated consultant will be selected for contract negotiations.

The Selection Committee will consider the following factors and requirements based on submittals and interviews:

1. Professional Qualifications.

The education, training, and amount of relevant experience of the proposed key project personnel.

2. Specialized Experience of Team.

The team's experience with strategic plans for similar cities, or comparable projects. There will be a strong preference during the selection process for those proposers with the most relevant, successful experience.

3. Creativity and Suitability of Proposed Scope of Services.

The degree to which the proposed scope of services is suitable to the City and compelling to the selection committee.

4. Demonstrated Interest in and Understanding of the Project.

Clear understanding of the nature of the services and a clear and detailed proposed scope of services.

5. References.

The provided references relate to the proposer's work on similar projects.

6. Communication and Public Interaction.

Demonstrated ability and experience to engage in positive communication through multiple channels with City staff, the governing body and the public.

7. Ability to work within the desired timetable.

The team's capacity to accomplish the desired timetable, or provision of alternative timetable that is acceptable to the City.

8. Compensation

Respondents must provide their proposed fee to perform the services identified in this RFO.

GENERAL INFORMATION

*The City of Birmingham, as an Equal Opportunity Employer, requires all consultants to affirm that they do not discriminate against individuals or firms because of their race, color, marital status, age, sex, national origin, handicap, creed or sexual orientation.

*All proposals submitted become public information and may be reviewed by anyone requesting to do so at the conclusion of the evaluation process.

- *All proposals received by the City in response to this RFQ shall remain valid for ninety (90) days from the date of submittal.
- *The City reserves the right to cancel or reissue the RFQ or to revise the timeline at any time. The City reserves the right to reject any and all proposals and to waive minor irregularities in the proposal process. The City may accept any proposal if such action is believed to be in the best interest of the City.
- *The City is not liable for any cost incurred by the proposer prior to execution of a contract.
- *The City holds its consultants responsible for the process and outcome of the contractual agreement. The contract between the successful proposer and Birmingham shall include all agreed upon documents specified in the RFQ, and be consistent with, the provisions stated in the RFQ.
- *The prime consultant will be required to assume the responsibility for all services offered in the proposal whether or not directly performed by the prime consultant. Further, the prime consultant will be the sole point of contact for the City of Birmingham with regard to contractual matters.
- *The project team shall be approved by the City of Birmingham. The City must approve any changes in the project team.

Estimated RFQ Schedule

RFQ Issued: April 13, 2022
Final Date for Questions Related to RFQ: April 27, 2022
Proposal Deadline: May 4, 2022
Applicant Interviews: May 9, 2022

Selection of Consultant

and Contract Development: Week of May 16, 2022

Any interested individual may request to be on an email list to receive updates on the RFQ process, including addenda to the RFQ if any are issued.

INFORMATION AND QUESTIONS:

Each proposal that is received by the deadline will be evaluated on its merit and completeness of all requested information. If you plan on submitting a proposal to this RFQ, please notify mfairbairn@bhamgov.org so that any questions or clarifications can be sent to you. In preparing proposals, consultants are advised to rely only upon the contents of this RFQ and accompanying documents and any written clarifications or

^{*}Exact dates are subject to change at the CITY's discretion

addenda issued by the City of Birmingham. If a consultant finds a discrepancy, error, or omission in the RFQ package, or requires any written addendum thereto, the consultant is requested to notify the City Manager's office at the same email address so that written clarification may be sent to all prospective proposing consultants. **THE CITY WILL NOT RESPOND TO ANY ORAL INQUIRIES ON THIS RFQ.** No contact regarding this document with other City employees is permitted. All answers will be issued in the form of an addendum.

Submittal Instructions

Written proposals must be received by the City of Birmingham no later than 3PM EST on May 4, 2022. Proposals received after this deadline will not be accepted or considered.

To be considered, three (3) copies of the proposal must be prepared in the manner and detail specified in this RFQ.

- a) Proposals must be submitted to the City of Birmingham drop box located at, 151 Martin St. Birmingham MI 48009, by May 4, 2022 at 3PM EST.
- b) Responses received after the deadline will not be accepted.
- c) Proposals must be enclosed in a sealed envelope, box or package, and clearly marked on the outside with the following: "STRATEGIC PLANNING PROPOSAL", Date of submittal, Respondent's name, address, phone, and contact name.
- d) Proposals sent by electronic means will not be considered.
- e) All costs incurred in the preparation and presentation of the proposal are the Respondent's sole responsibility; no proposal costs will be reimbursed to any Respondent. All documentation submitted with the proposal will become the property of the City.
- f) Proposals must be signed by an authorized official of the Respondent.

Send any questions regarding the RFP to: Melissa Fairbairn
Assistant to the City Manager
City of Birmingham
mfairbairn@bhamgov.org
248-530-1807

AGREEMENT For Professional Strategic Planning Services

THIS AGREEMENT is entered into this ____ day of _____, 2021, by and between

| the CITY OF BIRMINGHAM , whose address is 151 Martin Street, Birmingham, MI 48009 (hereinafter referred to as the City) and (name of party) a Michigan |
|---|
| (hereinafter referred to as the City) and(name of party) a Michigan, (hereafter, (hereafter, corporation, P.C., LLC, etc.), whose address is, (hereafter, corporation, P.C., LLC, etc.) |
| referred to as Consultant) and the foregoing shall collectively be referred to as the parties. |
| WHEREAS, the City desires for the City's, |
| and in connection therewith has requested qualifications for professional strategic planning services; and |
| WHEREAS , Consultant has qualifications that meet the project requirements and has provided a response and cost proposal to perform strategic planning services including designing, facilitating, and drafting a strategic plan for the City as outlined in the Request for Qualifications. |
| NOW, THEREFORE, in consideration of the foregoing preambles, the adequacy of which is acknowledged by and between the parties to this Agreement, the parties agree as follows: |
| 1. MUTUALLY AGREE : It is mutually agreed by and between the parties that the City's Request for Qualifications for professional strategic planning services dated April 13, 2022, which includes the facilitation of the community engagement process, development of the City's Strategic Plan including mission, vision, and goals and objectives, and recommendations for implementation of the Strategic Plan shall be fully incorporated herein by reference and shall become a part of this Agreement, and shall be binding upon both parties hereto (attached hereto as Attachment "A"). |
| 2. TERM: This Agreement shall have a term of () years from the date stated above. The City shall have the right to unilaterally terminate this Agreement on thirty (30) days written notice. In the event of termination, the Consultant shall receive compensation for services to the date the termination takes effect and the City shall be entitled to retain and use the results of all services, documents, and other materials prepared by the Consultant through such date. |
| 3. TERMS OF PAYMENT: The Consultant_will invoice monthly for all labor supplied and work completed. In no event shall invoices be submitted more than 45 days after completion of services. Submitted invoices shall include the following detailed information: the type of work performed, the time spent on the work, the individual who performed the work and the per hour billing rate |

specified by the City.

charged. The City may, at its sole discretion demand review and the right to request at any time further detailed accounting information for any or all bills. The right to inspection of any bill and invoice shall never be at any cost or billings to the City, nor shall preparation of said invoices be billed to the City or against the general retainer. Payment terms will be net 30 days unless otherwise

- **4.** Consultant shall employ personnel of good moral character and fitness in performing all services under this Agreement.
- 5. INSURANCE SUBMISSION REQUIREMENTS: The Consultant has submitted proof to the City that it meets all City insurance requirements. Insurance, with coverage amounts at no less than the City's minimum requirements, must be held by the Consultant throughout the term of this Agreement. Certificates of insurance as stated below will be required no later than five (5) business days from the date of Consultant's_acceptance of the terms of this Agreement.
- 6. CONFIDENTIAL AND OR PROPRIETARY INFORMATION: The Consultant acknowledges that in performing services pursuant to this Agreement, certain confidential and/or proprietary information (including, but not limited to, internal organization, methodology, personnel and financial information, etc.) may become involved. The Consultant recognizes that unauthorized exposure of such confidential or proprietary information could irreparably damage the City. Therefore, the Consultant agrees to use reasonable care to safeguard the confidential and proprietary information and to prevent the unauthorized use or disclosure thereof. The Consultant shall inform its employees of the confidential or proprietary nature of such information and shall limit access thereto to employees rendering services pursuant to this Agreement. The Consultant further agrees to use such confidential or proprietary information only for the purpose of performing services pursuant to this Agreement.
- 7. **INDEPENDENT** Consultant: The Consultant and the City agree that the Consultant is acting as an independent contractor with respect to the Consultant role in providing services to the City pursuant to this Agreement, and as such, shall be liable for its own actions and neither the Consultant nor its employees shall be construed as employees of the City. Nothing contained in this Agreement shall be construed to imply a joint venture or partnership and neither party, by virtue of this Agreement, shall have any right, power or authority to act or create any obligation, express or implied, on behalf of the other party, except as specifically outlined herein. Neither the City nor the Consultant shall be considered or construed to be the agent of the other, nor shall either have the right to bind the other in any manner whatsoever, except as specifically provided in this Agreement, and this Agreement shall not be construed as a contract of agency. The Consultant shall not be considered entitled or eligible to participate in any benefits or privileges given or extended by the City, or be deemed an employee of the City for purposes of federal or state withholding taxes, FICA taxes, unemployment, workers' compensation or any other employer contributions on behalf of the City.
- 8. COMPLIANCE WITH LAWS: Consultant agrees to fully and faithfully carry out the duties of set forth herein using its best efforts in accomplishing all assignments from the City, and further, in addition to upholding all federal, and state laws and applicable codes of professional conduct to which Consultant is subject, Consultant hereby agrees to be bound by all Federal, State, or City of Birmingham ordinances, rules, regulations and policies as are amended from time to time, and including without limitation the Fair Labor Standards Act, the Equal Employment Opportunity rules and regulations, the Transportation Safety Act and the Occupational Safety and Health Acts.

- 9. NON-COMPLIANCE WITH INSURANCE REQUIREMENTS: Failure to deliver and maintain insurance in accordance with the terms of this Agreement will be cause for the City, by and through its City Manager, to terminate this Agreement, or at the City's option, the City may purchase on the open market such required insurance and shall be entitled to charge any additional cost to the Consultant, either by offset to any amounts due and owing Consultant for services provided to the City, or, by separate bill and demand for payment. Nothing in this paragraph shall be deemed to create or be interpreted as establishing a "for cause" termination; Consultant agrees and understands that its engagement is at will and may be terminated by the City Manager for any cause or no cause.
- **10. INDEMNIFICATION:** To the fullest extent permitted by law, the Consultant and any entity or person for whom the Consultant is legally liable, agrees to be responsible for any liability, defend, pay on behalf of, indemnify, and hold harmless the City of Birmingham, its elected and appointed officials, employees and volunteers and others working on their behalf against any and all claims, demands, suits, or loss, including all costs and reasonable attorney fees connected therewith, and for any damages which may be asserted, claimed or recovered against or from the City, its elected and appointed officials, employees, volunteers or others working on their behalf, by reason of personal injury, including bodily injury and death and/or property damage, including loss of use thereof, which arise out of the acts, errors or omissions of the Consultant including its employees and agents, in the performance of this Agreement. Such responsibility shall not be construed as liability for damage caused by or resulting from the sole act or omission of its elected or appointed officials, employees, volunteers or others working on behalf of the City.

11. STANDARD INSURANCE REQUIREMENTS:

The Consultant shall maintain during the life of this Agreement the applicable types of insurance coverage and minimum limits as set forth below:

A. <u>Workers' Compensation Insurance</u>:

<u>For Non-Sole Proprietorships</u>: Consultant shall procure and maintain during the life of this Agreement, Workers' Compensation Insurance, including Employers Liability Coverage, in accordance with all applicable statutes of the State of Michigan.

<u>For Sole Proprietorships</u>: Consultant shall complete and furnish to the City prior to the commencement of work under this Agreement a signed and notarized Sole Proprietor Form, for sole proprietors with no employees or with employees, as the case may be.

B. <u>Commercial General Liability Insurance</u>: Consultant shall procure and maintain during the life of this Agreement, Commercial General Liability Insurance on an "Occurrence Basis" with limits of liability not less than **\$1,000,000** per occurrence combined single limit, Personal Injury, Bodily Injury and Property Damage. Coverage shall include the following extensions: (A)

Contractual Liability; (B) Products and Completed Operations; (C) Independent Consultant Coverage; (D) Broad Form General Liability Extensions or equivalent; (E) Deletion of all Explosion, Collapse and Underground (XCU) Exclusions, if applicable.

- C. <u>Motor Vehicle Liability</u>: Consultant shall procure and maintain during the life of this Agreement Motor Vehicle Liability Insurance, including all applicable no-fault coverages, with limits of liability of not less than \$1,000,000 per occurrence combined single limit Bodily Injury and Property Damage. Coverage shall include all owned vehicles, all non-owned vehicles, and all hired vehicles.
- D. Additional Insured: Commercial General Liability and Motor Vehicle Liability Insurance, as described above, shall include an endorsement stating the following Additional Insureds: The City of Birmingham, including all elected and appointed officials, all employee and volunteers, all boards, commissions and/or authorities and board members, including employees and volunteers thereof. This coverage shall be primary to any other coverage that may be available to the additional insured, whether any other available coverage by primary, contributing or excess.
- E. <u>Professional Liability</u>: If applicable, professional liability insurance with limits of not less than \$2,000,000 per claim if Consultant will provide services that are customarily subject to this type of coverage.
- F. <u>Coverage Expiration</u>: If any of the above coverages expire during the term of this Agreement, Consultant shall deliver renewal certificates and/or policies to the City at least (10) days prior to the expiration date.
- G. <u>Proof of Insurance Coverage</u>: Consultant shall provide the City of Birmingham at the time the Agreement is returned for execution, Certificates of Insurance and/or policies, acceptable to the City of Birmingham, as listed below.
 - 1) Two (2) copies of Certificate of Insurance for Workers' Compensation Insurance, or a signed and notarized copy of the Sole Proprietor Form;
 - 2) Two (2) copies of Certificate of Insurance for Commercial General Liability Insurance;
 - Two (2) copies of Certificate of Insurance for Vehicle Liability Insurance;
 - Two (2) copies of Certificate of Insurance for Professional Liability Insurance, if applicable;
 - 5) If so requested, Certified Copies of all policies mentioned above will be furnished.

- H. <u>Maintaining Insurance</u>: Upon failure of the Consultant to obtain or maintain such insurance coverage for the term of the Agreement, the City of Birmingham may, at its option, purchase such coverage and subtract the cost of obtaining such coverage from the Agreement amount. In obtaining such coverage, the City of Birmingham shall have no obligation to procure the most cost-effective coverage but may contract with any insurer for such coverage.
- **12. WRITTEN NOTICES:** Written notices regarding this Agreement shall be addressed to the following:

| City: | City of Birmingham P.O. Box 3001 Birmingham, Michigan 48012 Attn: (insert department head) |
|-------|--|
| | Consultant |
| | Δttn· |

- **13. COVID**: The Consultant shall follow all of the City's COVID-19 safety protocols while on City property. Additionally, Consultant staff which will be in physical contact with city staff must have current vaccinations against COVID-19. The City, at its discretion, may ask for proof of vaccination of Consultant staff. Failure to provide proof of vaccination when requested will cause the City to request un-vaccinated personnel to leave, request alternate staff, and if the Consultant is unable to comply, this violation of safety protocols will constitute a breach of contract by the Consultant.
- **14. AMENDMENTS:** No amendment, modification or supplement to this Agreement shall be binding unless it is in writing and signed by authorized representatives of the parties.
- **15. WAIVER OF BREACH:** No waiver by either party of any breach of any of the terms, covenants or conditions herein contained by the other party shall be construed as a waiver of any succeeding breach of this same or of any other term, covenant or condition.
- **16. COMPLETE AGREEMENT:** The parties agree that the conditions set forth in this Agreement sets forth all terms and conditions of Consultant agreement with the City of Birmingham. This Agreement supersedes all prior agreements or understandings between the

parties. There are no promises, conditions or understandings other than those stated herein, and, that any prior negotiations, terms or conditions discussed between the City and the Consultant shall not constitute a part of this Agreement. The term "agreement" as used in this clause shall include any future written amendments, modifications, or supplements made in accordance herewith.

- 17. DIRECT OR INDIRECT INTEREST: If, after the effective date of this Agreement, any official of the City, or spouse, child, parent or in-law of such official or employee shall become directly or indirectly interested in this Agreement or the affairs of the Consultant the City shall have the right to terminate this Agreement without further liability to the Consultant if the disqualification has not been removed within thirty (30) days after the City has given the Consultant notice of the disqualifying interest. Ownership of less than one percent (1%) of the stock or other equity interest in a corporation or partnership shall not be a disqualifying interest. Employment shall be a disqualifying interest.
- **18. FAILURE TO PERFORM.** If Consultant fails to perform its obligations hereunder, the City may take any and all remedial actions provided by the general specifications or otherwise permitted by law.
- 19. **LEGAL PROCEEDINGS:** Any controversy or claim arising out of or relating to this Agreement, or the breach thereof, shall be settled either by commencement of a suit in Oakland County Circuit Court, the 48th District Court or by arbitration. If both parties elect to have the dispute resolved by arbitration, it shall be settled pursuant to Chapter 50 of the Revised Judicature Act for the State of Michigan and administered by the American Arbitration Association with one arbitrator being used, or three arbitrators in the event any party's claim exceeds \$1,000,000. Each party shall bear its own costs and expenses and an equal share of the arbitrator's and administrative fees of arbitration. Such arbitration shall qualify as statutory arbitration pursuant to MCL §600.5001 et seg., and the Oakland County Circuit Court or any court having jurisdiction shall render judgment upon the award of the arbitrator made pursuant to this Agreement. The laws of the State of Michigan shall govern this Agreement, and the arbitration shall take place in Oakland County, Michigan. In the event that the parties elect not to have the matter in dispute arbitrated, any dispute between the parties may be resolved by the filing of a suit in a federal or state court with jurisdiction over Oakland County, Michigan.

| 20. F | RESPONSE | TO REQUESTS | FOR PROPOSAL | S: The Consulta | ant shall be | e held to |
|------------------|--------------|------------------------|---------------------|------------------------|--------------|-----------|
| and bound by a | II terms, co | nditions, warrant | ies and representa | ations which it m | nade in its | written |
| response dated | | , to the City's | Request for Propos | als dated | (2 | attached |
| hereto as Attacl | nment "B"). | In the event of | a conflict in any o | f the terms of th | nis Agreem | ent and |
| the Consultant _ | | (date of response) res | sponse, the terms | of this Agreeme | nt shall pre | evail. |

21. FAIR PROCUREMENT OPPORTUNITY: Procurement for the City of Birmingham will be handled in a manner providing fair opportunity for all businesses. This will be accomplished without abrogation or sacrifice of quality and as determined to be in the best interest of the City of Birmingham.

IN WITNESS WHEREOF, the parties hereto agree to be bound by the above terms and conditions, and Consultant, by its authorized signature below, expressly accepts this Agreement upon the above provided terms and conditions contained in this Agreement as of the date first above written.

| | Consultant | |
|---|---|--|
| | By: Its: | |
| TATE OF MICHIGAN)) ss: DUNTY OF OAKLAND) | | |
| n thisday of , who acknowledged that with | _, 20, before me personally appeared n authority on behalf of to | |
| so he/she signed this Agreement. | | |
| County, Mi Acting inCounty, N My commission expires: | Michigan —– | |
| | CITY OF BIRMINGHAM: By: | |
| | Therese Longe, Mayor By: Alexandria D. Bingham, City Clerk | |
| APPROVED: | | |
| Thomas M. Markus, City Manager (Approved as to substance) | Melissa Fairbairn, Assistant to the City Manager (Approved as to substance) | |
| | | |
| Mary M. Kucharek, City Attorney (Approved as to form) | | |



MEMORANDUM

City Manager's Office

DATE:

TO: Thomas M. Markus, City Manager

FROM: Melissa Fairbairn, Assistant to the City Manager

SUBJECT: Strategic Planning

Strategic planning is a process in which organizations define their direction for the future. As a part of the process, stakeholders collaborate to define the organization's mission, vision, and both long- and short-term goals and objectives. The administration can use the resulting strategic plan to prioritize projects and allocate staff time and resources. Performance indicators derived from the strategic plan can be used as a tool to measure the effectiveness of staff at completing the stated goals.

The City has implemented an annual long range planning meeting in which each department's plans for the coming year are discussed with the Commission and the public. Rather than replacing the long range planning meeting, the City's strategic plan would act as an overarching framework for administration, the Commission, and staff to determine whether proposed projects move the City closer to its stated short- and long-term goals. The Commission could also use the strategic plan as a tool to use to evaluate the performance of the City's administration towards reaching those goals.

In recent years, local organizations such as the Baldwin Public Library, NEXT, and Birmingham Public Schools have created strategic plans specific to their organizational needs. For example, in 2016 NEXT created a strategic plan that defined their mission statement, guiding principles, and strategies of focus. NEXT's plan was purposefully developed to be broad so as to act as a guide for the future that remained evergreen rather than a checklist of individual tasks and projects.

To create a strategic plan, the City should seek a professional facilitator to comprehensively guide the process. To do so, staff will post a request for qualifications (RFQ) from interested firms on MITN. The firm will be expected to hold public meetings and workshop sessions with City officials, staff, and residents and produce a strategic plan that clearly develops a stated vision for the City's future.

ATTACHMENTS:

- NEXT 2016 Strategic Plan
- Birmingham Public Schools 2014-2018 Strategic Plan
- Baldwin Public Library 2021 Strategic Plan Work Plan

City of Birmingham

MEMORANDUM

Parking Department

DATE: April 5, 2022

TO: Thomas M. Markus, City Manager

FROM: Ryan Weingartz, Parking System Manager

SUBJECT: Peabody Street Parking Structure – Emergency Shoring,

Additional Column Investigation and Repair

INTRODUCTION:

Staff was notified on February 15, 2022 that during the ongoing structural repair project at the Peabody Structure, two (2) lower level support columns were found to have significant concrete cracking and distress. This required immediate shoring to assist supporting the load of the structure. After this discovery it was recommended to investigate six (6) additional columns.

BACKGROUND:

Wiss, Janney, Elstner Associates (WJE), was hired to assess all five (5) parking structures. Per the final assessment report provided to City of Birmingham in April 2021 it was recommended that two (2) lower level columns in the southwest end of the Peabody Structure be investigated further during the 2021-2022 construction period (pg 12&13 of final Structural Assessment Report). On February 15, 2022 Pullman Contractors, who were awarded the contract for the 2021-2022 construction period, removed the brick veneer at the two (2) lower level columns for WJE to investigate. During WJE's investigation, they found the following issues with the two (2) columns in question.

Column 10A and 11A

The investigation recommended by WJE based on column 10A and 11A exposed significant concrete cracking and distress within the two Lower Level columns.

- i. The embedded reinforcing steel did not exhibit surface corrosion at several of the exposed regions and, where present, the exposed surface corrosion was minor; therefore, the observed cracked conditions do not appear to be associated with corrosion-related deterioration.
- ii. The observed cracking is attributed to the lateral forces imparted by the beam post-tensioning tendons and the barrier cables, the apparent inadequate detailing of the reinforcing steel stirrups, and the lack of ductility and accommodation for movement in the short column (the portion of the Lower Level columns which extends between the relatively rigid retaining wall and beam-slab system above).
- iii. The brick veneer and concrete block infill at Column 11A did not exhibit evidence of previous replacement. Thus, the observed sealant beads over cracked concrete surfaces at Column 11A may be original to the garage construction.
- iv. As discussed below and because the capacity of the columns has been significantly reduced due to the noted deterioration and potentially inadequate reinforcement detailing, immediate shoring and repairs are recommended at the two columns.

Additional Investigation

Based on the structurally significant conditions found at Columns 10A and 11A, and based on verbal approval from the City during the project team meeting onsite, Pullman was to remove and replace localized areas of brick veneer at the following additional locations to facilitate WJE's investigation. The objective of these additional investigative openings is to determine if other column locations exhibit similar concrete or brick masonry deterioration. Pullman will issue a change order for the associated work to create these inspection openings for WJE's review; shoring of the associated beams are not anticipated at this time.

- a. Column 12A Level 1 beam end
- b. Column 13A Level 1 beam end
- c. Column 15A Level 1 beam end
- d. Column 19A Level 2 beam end
- e. Column 13E Level 6 beam end
- f. Column 10J Level 1 beam end

The brick veneer was removed and was investigated by WJE on March 9, 2022 at these additional locations. Based on WJE observations, no structurally significant distress conditions were found; imminent repairs are not required at the 6 additional locations. One inspection opening, at Column 13E supporting Level 6, was created at an unsound previous patch repair at an interior concrete column, the exposed conditions do not represent an imminently hazardous structural condition. However, WJE recommends repairing this column for improved durability and protection of the existing steel reinforcement.

LEGAL REVIEW:

All documents have been reviewed and approved by the City Attorney

FISCAL IMPACT:

The budget amendment request for the 2021-2022 Peabody construction repairs was approved for \$146,664.00 at the September 20, 2021 commission meeting. The column shoring, additional column investigation and repairs are not included in the \$146,664.00. There is sufficient fund balance in the Automobile Parking System (APS) for the work associated with this proposed contract. The additional column investigation proposal provided by Pullman SST INC, is \$23,750.00. And The Emergency Shoring proposal provided by Pullman SST INC, is \$59,150.00 with an additional \$12,000.00 per month rental fee of shoring equipment. Estimated repair cost for column 10A and 11A is \$75,000.00. Estimated repair costs for column 13E is \$6,000.00. Proposed repair cost to permanently relocate a fire sprinkler line is \$3,000.00. The scope of service cost provided by WJE is \$47,000.00.

An additional budget amendment is requested for the 2021-2022 APS Fund for these repairs in the amount of \$235,000.00. Total costs for the Peabody Parking Structure construction repairs will be \$381,644.00.

The current APS fund balance is \$21,975,533.21

PUBLIC COMMUNICATIONS:

None

SUMMARY

The capacity of the columns has been significantly reduced due to the noted deterioration and potentially inadequate reinforcement detailing, immediate shoring was installed and immediate repairs are recommended at two columns. Additional investigation efforts at other locations of the garage have been completed and determined no additional work is needed.

ATTACHMENTS:

- 1. Site Visit Report #7-8 provided by WJE
- 2. Memorandum Peabody Parking Structure Column Repair Scope provided by WJE
- 3. Emergency Shoring proposal change order 5 provided by Pullman SST Inc.
- 4. Additional Column Investigation proposal change order 6 provided by Pullman SST Inc.
- 5. Additional Column investigation quantities proposal change order 7 provided by Pullman SST Inc.
- 6. Permanently relocate fire sprinkler line proposal provide by Wm Crook
- 7. Emergency Column Shoring and Repairs proposal provided by WJE

SUGGESTED COMMISSION ACTION:

A. Make a motion adopting a resolution **confirming City Manager's authorization for the** emergency expenditure related to the repair of the Peabody Street Structure Emergency Shoring, Additional Column Investigation and Repair by Pullman SST Inc. for a cost not to exceed \$235,000.00 to be charged to the Automobile Parking System Fund, Peabody Parking Structure Capital Outlay Building account #585-538.004-977.0000

<u>Automobile Parking System Fund</u>

Revenues:

| Draw from Fund Balance | \$235,000.00 |
|--|--------------|
| (Account #585-000.000-400.0000) | |
| Total Revenues | \$235,000.00 |
| Expenditures: | |
| Peabody Structure - Capital Outlay Buildings (Account #585-538.004-977.0000) | \$235,000.00 |
| Total Expenditures | \$235,000.00 |



30700 Telegraph Road, Suite 3580 Bingham Farms, Michigan 48025 248.593.0900 tel www.wje.com

SITE VISIT REPORT No. 7 | February 15, 21, & 23, 2022

City of Birmingham - 2021 3PT Parking Structure Repairs

Peabody Parking Structure Column Assessment

| REPORT DATE | March 1, 2022 | WJE PROJECT NO. | 2019.6318.2 |
|------------------|---|------------------|--|
| REPORTED BY | Sarah Rush | WJE PROJECT MGR. | Matthew Lewis, P.E. |
| | Meredith Thibodeaux | CONTRACTOR/ | Pullman SST, Inc. (Pullman) |
| OWNER/ CLIENT | City of Birmingham (City) | PROJECT NO. | |
| WORK IN PROGRESS | Inspection openings, shoring, and | WEATHER | Overcast, 25°F |
| WORK IN PROURESS | assessment of the two Peabody Lower Level columns | DISTRIBUTION | Ryan Weingartz (Birmingham) Jim Travnik (Pullman) |
| PRESENT AT SITE | Sarah Rush Meredith Thibodeaux - 2/15, 2/21 Matt Lewis - 2/23 | | Matthew Lewis (WJE) Sarah Rush (WJE) Meredith Thibodeaux (WJE) |

This site visit report documents pertinent items from our site visits on February 15, 21, & 23, 2022 to investigate the two Lower Level columns, Columns 10A and 11A, at the Peabody Parking Structure (Peabody) as part of the base bid scope of work. Refer to the Construction Documents and our original condition assessment report dated April 30, 2021 for more information.

1. Shoring for Preliminary Investigation Efforts. WJE reviewed the installed shoring at the Lower Level of the southwest corner of the parking structure on February 15 and February 21, which was installed as part of the base bid scope of work to facilitate WJE's investigation efforts (Figure 1 and Figure 2). WJE requested modifications to Pullman's original shoring configuration and the barricading of parking stalls on the floor levels above, which were implemented prior to WJE's February 21 site visit.

2. Investigation Findings:

- **a.** *Column 10A.* On February 15, Pullman had removed a localized area of brick veneer at Column 10A, nearest the southwest stair tower, and WJE assessed the visible areas of the column (Figure 3).
 - i. Previous trowel-applied concrete patch repairs were present at the end of the post-tensioned Level 1 beam (Figure 4). Originally a 22-inch square column, the patch material did not restore the original cross-section, which created an irregular shape and reduced concrete cover around the embedded steel elements. The majority of this previous repair material was cracked and unsound. Sealant materials and evidence of epoxy injection repair attempts were observed behind (inboard) of the patch material at crack locations. Using handheld hammers, WJE removed the loose unsound concrete to expose the reinforcing steel and help determine the depth and extent of the observed cracks.
 - ii. A No. 11 longitudinal reinforcing bar was exposed at two of the column corners. Stirrups were not present within the column-beam intersection (or did not properly engage the longitudinal steel), resulting in an unsupported 24-inch length of longitudinal bar (Figure 5, Figure 6). This unsupported condition is atypical and does not meet the requirements of the original

WJE

City of Birmingham - 2021 3PT Parking Structure Repairs

- construction drawings. Three of the beam's seven-wire PT tendon anchorages and three PT anchorages for the vehicle barrier cables were exposed (Figure 7). The majority of the exposed steel elements exhibited surface corrosion, apart from the north corner longitudinal bar.
- **b.** *Column 11A.* On February 21, Pullman had removed a localized area of brick veneer and concrete block infill (interior wythe) at the base of Column 11A, and WJE assessed the visible areas of the column (Figure 8).
 - i. Previous concrete patch repairs and sealant beads applied over cracked regions were present at multiple faces of the column and at the beam-column interface (Figure 9, Figure 10). Using handheld hammers, WJE removed localized loose and unsound concrete and sealant material.
 - ii. Wide diagonal cracks in the west and south faces of the columns extend toward a converging point at the southwest corner of the column near the slab to column interface (Figure 11 to Figure 15). Cracks on the south and west faces of the column propagate through the patch repair material and the original concrete with maximum crack widths ranging between 75 mils and 150 mils. A large portion of the south column corner was delaminated and displaced outward up to ¼ inch with the observed cracks extending through the column section.
 - iii. A No. 11 longitudinal reinforcing bar was exposed at the north corner following WJE's removal of unsound concrete, which did not exhibit surface corrosion. Stirrups were not found at the beam-column intersection where exposed (at the concrete spall) or by using a handheld ground penetrating radar (GPR) device.
 - iv. An approximate 4-inch-deep void is present at the cold joint on the north face of the column between the top of a formed previous repair and the supported beam, reducing the bearing area between these structural concrete elements by over 30 percent when considered in conjunction with the spalled concrete (Figure 16).
- **c. Summary of Column 10A and 11A Findings.** The investigation recommended by WJE based on the brick and concrete distress in the region exposed significant concrete cracking and distress within the two Lower Level columns.
 - i. The embedded reinforcing steel did not exhibit surface corrosion at several of the exposed regions and, where present, the exposed surface corrosion was minor; therefore, the observed cracked conditions do not appear to be associated with corrosion-related deterioration.
 - ii. The observed cracking is attributed to the lateral forces imparted by the beam post-tensioning tendons and the barrier cables, the apparent inadequate detailing of the reinforcing steel stirrups, and the lack of ductility and accommodation for movement in the short column (the portion of the Lower Level columns which extends between the relatively rigid retaining wall and beam-slab system above).
 - *iii.* The brick veneer and concrete block infill at Column 11A did not exhibit evidence of previous replacement. Thus, the observed sealant beads over cracked concrete surfaces at Column 11A may be original to the garage construction.
 - iv. As discussed below and because the capacity of the columns has been significantly reduced due to the noted deterioration and potentially inadequate reinforcement detailing, immediate shoring and repairs are recommended at the two columns. Additional investigation efforts at

WJE

City of Birmingham - 2021 3PT Parking Structure Repairs

Peabody Parking Structure Column Assessment

other locations of the garage are also recommended. These recommendations and additional investigation efforts will exceed the \$20,000 base bid allowance for this work item.

- **3. Structural Shoring and Barricades at Parking Stalls.** Based on the concealed conditions uncovered during our investigation efforts, WJE recommends shoring of all levels supported by Columns 10A and 11A and barricading parking stalls tributary to those columns as soon as possible.
 - **a.** Refer to the shoring and barricade requirements submitted by WJE via email on February 22 (Appendix A). Fixed barricades must be installed and maintained to prohibit parking within the stalls in the area tributary to the columns. The recommended shoring and barricades shall remain in-place until structural repairs are completed.
 - **b.** WJE met with Pullman and City of Birmingham representatives on February 23 to discuss our findings and recommendations. Based on verbal approval from the City during the project team meeting onsite, Pullman is to submit a formal quote to the City for the shoring plan outlined in Appendix A and begin scheduling manpower and materials accordingly. WJE is to review and approve shop drawings prior to installation.
- 4. Additional Investigation. Based on the structurally significant conditions found at Columns 10A and 11A, and based on verbal approval from the City during the project team meeting onsite, Pullman is to remove and replace localized areas of brick veneer at the following locations to facilitate WJE's additional investigation. The objective of these additional investigation openings is to determine if other column locations that exhibit similar concrete or brick masonry deterioration contain concealed structurally significant cracking or distress. Pullman to issue a change order for the associated work to create these inspection openings for WJE's review; shoring of the associated beams are not anticipated at this time.
 - a. Column 12A Level 1 beam end
 - **b.** Column 13A Level 1 beam end
 - c. Column 15A Level 1 beam end
 - d. Column 19A Level 2 beam end
 - e. Column 13E Level 6 beam end
 - f. Column 10J Level 1 beam end
- **5. WJE Repair Design**. To reduce rental costs associated with the structural shoring installation, and per the verbal approval from the City during the project team meeting onsite, WJE will commence with development of a repair design and drawings to address the observed distress conditions on a time and expense basis. WJE will submit a formal proposal for this work once the conceptual repair approach is known.

Enclosure: Figure 1 to Figure 17

Peabody Column 10A and 11A Shoring Requirements

FIGURES



Figure 1. Shoring installed at the west end of the Level 1 beam supported by Column 11A.



Figure 2. Shoring posts installed at the west end of the Level 1 beam supported by Column 10A.



Figure 3. Brick veneer removed from the base of Column 10A. A steel shelf angle supporting the brick veneer indicated with red arrow.

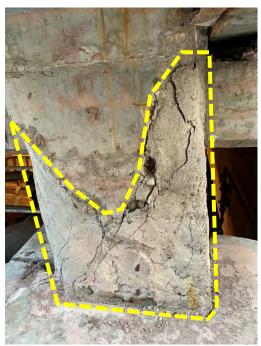


Figure 4. Cracked and unsound previous concrete repair at Column 10A. Eight grout pockets are visible at the ends of the beam PT tendons.



Figure 5. #11 longitudinal bars at corner of Column 10A are indicated with red arrows. Stirrup indicated with yellow arrow.



Figure 6. 24 inches from curb to first exposed stirrup at Column 10A.



Figure 7. Three of the eight PT tendons were visible at deteriorated grout pockets at Column 10A.



Figure 8. Brick veneer removed at Column 11A (west face) and supported by wood framing indicated with red arrows.



Figure 9. Previous concrete repair at beam to column interface at south face of column.



Figure 10. Previous concrete repair at Column 11A below beam at the north face of the column. 4-inch deep cold joint between the concrete repair and the bottom face of the column indicated with red arrow.



Figure 11. Cracks throughout concrete at Column 11A. Crack propagates through original concrete above as indicated with red arrow. Note the displacement across the crack in the original concrete where the concrete material has spalled.



Figure 12. Approximately 1/4" displacement across crack in original concrete at Column 11A.



Figure 13. Cracks throughout original concrete at Column 11A.



Figure 14. Cracks in west and south faces of Column 11A extend toward a converging point.



Figure 15. Crack in original concrete at south face of Column 11A extends along slab edge bearing at column. Slab indicated with red arrow and shelf angle indicated with yellow arrow.



Figure 16. Wide cold joint at north face of Column 11A between original concrete and concrete repair. Joint is approximately four inches deep.



City of Birmingham - 2021 3PT Parking Structure Repairs



Figure 17. Cracks propagating through previous sealant repairs in the brick veneer at Column 11A.

SECTION 02 01 11 SHORING

PART 1 GENERAL

1.1 SUMMARY

- A. Section Includes: Supply, installation, and removal of temporary shoring to vertically support structural elements during demolition and construction operations.
- B. Related Sections include the following:
 - 1. Section 03 01 31 Concrete Removal and Surface Preparation

1.2 REFERENCES

- A. Reference Standards: All standards latest edition as of the date of the Specification:
 - 1. American Association of State Highway and Transportation Officials (AASHTO)
 - a. Guide Design Specification for Bridge Temporary Works
 - 2. American Concrete Institute (ACI)
 - a. ACI 301 Specifications for Structural Concrete for Buildings
 - b. ACI 318 Building Code Requirements for Structural Concrete
 - c. ACI 347 Guide to Formwork for Concrete
 - d. ACI 563 Specifications for Repair of Concrete in Buildings
 - 3. American Institute of Steel Construction (AISC)
 - a. Specification for Structural Steel Buildings Allowable Stress Design

1.3 PAYMENT

- A. Include one floor level of shoring within Peaboody Street Parking Structure base bid scope of work:
 - 1. Contractor is responsible for design of shoring, developing shoring procedures, preparing shoring submittals, and providing and installing shoring.

1.4 COORDINATION

- A. Coordinate with Owner's Representative and with other trades to ensure that shoring does not interfere with Owner use of Site or work of other trades.
- B. The Contractor shall be responsible for means and methods of shoring and temporary support and for the sequences and procedure being used.

1.5 SUBMITTALS

- A. Product Data: Manufacturer's literature and technical data indicating type of shoring proposed for use and safe load-carrying capacity of shoring for heights and lengths of shoring components to be used.
- B. Shop Drawings: Shop drawings showing locations, distribution, and quantity of shoring. Include connection and bearing details.

1.6 DELIVERY, STORAGE, AND HANDLING

- A. Store shoring materials in approved storage area at Site, such that materials do not interfere with Owner's continued use of facility.
- B. Limit stored materials on structure to safe loading capacity of structure at time materials are stored, so as to preclude damage to materials and structures.

1.7 PROJECT CONDITIONS

- A. Verify existing dimensions and details prior to start of Work. Promptly notify Architect/Engineer of conditions found to be different than those indicated in the Contract Documents. Architect/Engineer will review situation and inform Contractor and Installer how to proceed.
- B. Comply with Owner's limitations and restrictions for Site use and accessibility.

PART 2 PRODUCTS

2.1 MANUFACTURED ASSEMBLIES

- A. Design Criteria:
 - 1. Design for dead load and minimum 20-pound-per-square-foot construction load over tributary area of member being repaired, as follows:
 - a. Design shall include a minimum factor of safety of 2.0.
 - b. Design spreaders to distribute load over an effective area to result in a 2,500 psf or less bearing pressure on the concrete slab.
 - c. Consider removal of loads from member and transfer of loads into structure below, without overloading structural members.
 - d. Detail shoring to avoid interference with Owner operations.
 - e. Consider shoring stiffness relative to stiffness of members being shored.
- B. Shoring: Steel posts, steel frames, or other steel assemblies with sufficient capacity to support calculated shoring loads at spacing and positioning shown on shop drawings.
 - 1. Adjustable through positive means, such as screw jacks, to achieve tight fit to structure above and below and to compensate for elastic shortening of shores during loading and service.
 - 2. Use undamaged components, including bracing, supplied by shoring manufacturer.

2.2 ACCESSORIES

- A. Spreaders:
 - 1. At bottom of shores: steel or timber cribbing with minimum a minimum cross section of 3-1/2 inches by 3-1/2 inches, 2x wood bearing pads, or other material; with sufficient bearing area and length to distribute shoring reactions into supporting structural element below.
 - 2. At top of shores: Timber or steel spreader beams or wood bearing pads; to fully support member being shored without damage to member surface.
- B. Shims: Wood or steel; at bearing points above shores to ensure tight contact with shored member.

PART 3 EXECUTION

3.1 EXAMINATION

- A. Examine substrates and conditions for compliance with requirements and other conditions affecting installation or performance of shoring Work.
 - 1. Ensure that work done by other trades is complete and ready for shoring Work.
 - 2. Notify Engineer in writing of conditions which may adversely affect installation or performance of shoring Work and recommend corrections.
 - 3. Do not proceed with shoring Work until adverse conditions have been corrected and reviewed by Engineer.
 - 4. Commencing shoring Work constitutes acceptance of Work surfaces and conditions.

3.2 INSTALLATION

- A. Install shoring at locations designated by Architect/Engineer, before repair work begins.
 - 1. Notify Architect/Engineer of any additional locations identified where extent of deterioration or suspect existing construction indicates that shoring may be necessary.
- B. Install shoring in accordance with manufacturer's recommendations and approved shop drawings at designated locations and at additional locations designated by Engineer. Installed assembly shall be of such quality that assembly will support imposed loads without excessive settlement or deflection.
 - 1. Position to avoid interference with Owner operations.
 - 2. Install snug, plumb, and square. Install cross-bracing recommended by shoring manufacturer and shoring designer to prevent buckling failure of individual members and overall shoring stability failure. Extend shoring above and below level of repair work as required by shoring design.
 - 3. Install spreader beams or bearing pads and shims as necessary, and adjust shores to ensure tight, uniform fit against structural element to be supported. Minimize differential loading of vertical shoring members.
 - 4. Install timber cribbing wood or wood bearing pads as necessary to distribute loads into supporting elements. If more than 1 layer of cribbing is required, install each successive layer perpendicular to preceding layer.
 - 5. If shoring is to be placed on coated or finished surface, protect surface from damage with plywood, plastic sheets, or other means.
- C. Preload shores with screw jacks to bring shoring into a uniform, snug-tight condition.
- D. Protect shores from damage from construction activities, Owner use of facility, and other causes.
- E. Check shores daily and adjust as necessary to maintain snug condition, plumbness, and full effectiveness.
- F. Modify and adjust shoring as required to meet conditions of work and to ensure Project safety.

3.3 REMOVAL OF SHORES

A. Remove shores when compressive strength of repair concrete exceeds 75 percent of its specified 28-day strength. Contractor may elect to have additional concrete strength tests performed at his own expense, to confirm when repair concrete meets removal requirements.

B. Store shoring materials in approved storage area at Site, such that materials do not interfere with Owner's continued use of facility. Promptly remove shoring materials from Site when no longer needed for work.

END OF SECTION 03 01 01



30700 Telegraph Road, Suite 3580 Bingham Farms, MI 48025 248.593.0900 248.593.8532 (Fax) wje.com
 Made By
 MM □

 Checked By
 5√2

 Project Number
 2019.6318.2

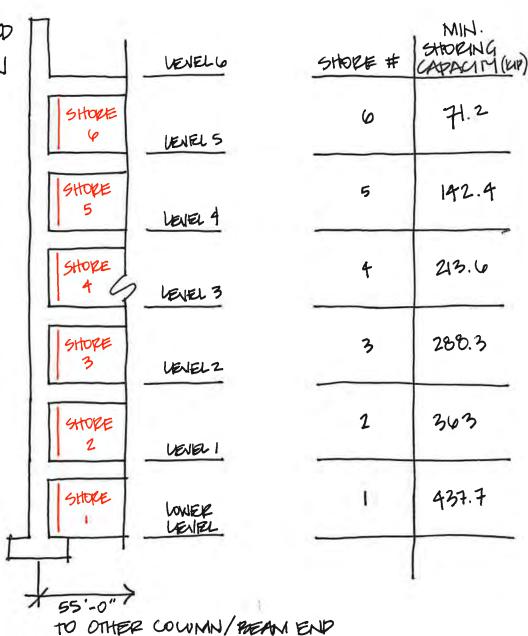
 Sheet Number
 1

 Date
 2/22/2022

PEARDODY PARKING GARAGE

SHOPING LOADS

- · THE PURPOSE OF THIS STOPING IS TO BEMOVE THE LOAD FROM COLUMNS AID 6. All AND TO FACILITATE FUTURE REPAIRS.
- · TYPICAL POOY WIDTH = 18'-6"
- · SHOPING WADS ARE GENERALLY CALWLATED BASSED ON LARGIER TRIBUTARY AREA OF COUMN All FOR BOTH SUBJECT COLUMNS.
- · PRECAUSE THE POPULIS SPACES WITHIN THE SHOPED TRIBUTARY AREA ARE BLOCKED, A CONSTRUCTION WE WAD OF 20 PSF IS CONSIDERED
- · MINIMUM SHORING CAPACITIES PROVIDED ARE UNFACTORE D+L WADS, INCUMDING THE UNE LOAD DESCRIPTED APPENDE AND APPLICABLE MATERIAL WEIGHTS.





30700 Telegraph Road, Suite 3580 Bingham Farms, Michigan 48025 248.593.0900 tel www.wje.com

SITE VISIT REPORT No. 8 | March 9, 2022

City of Birmingham - 2021 3PT Parking Structure Repairs

Peabody Parking Structure Column Assessment

| REPORT DATE | April 4, 2022 | WJE PROJECT NO. | 2019.6318.2 |
|------------------|--------------------------------------|----------------------------------|--|
| REPORTED BY | Sarah Rush | WJE PROJECT MGR. | Matthew Lewis, P.E. |
| OWNER/ CLIENT | City of Birmingham (City) | CONTRACTOR/ PROJECT NO. | Pullman SST, Inc. (Pullman) |
| WORK IN PROGRESS | Inspection openings at add'l columns | WEATHER | Partly cloudy, 32°F |
| PRESENT AT SITE | Sarah Rush | DISTRIBUTION | Ryan Weingartz (Birmingham) Jim Travnik (Pullman) Matthew Lewis (WJE) Sarah Rush (WJE) Meredith Thibodeaux (WJE) |

This site visit report documents pertinent items from our site visit on March 9, 2022 to observe the inspection openings created at six additional columns following the structurally significant conditions found at Columns 10A and 11A. This report also discusses the shoring status of Columns 10A and 11A. Refer to Site Visit Report #7 for more information.

1. Structural Shoring and Barricades at Parking Stalls (Columns 10A and 11A).

- **a.** Structural shoring is being provided by Sunbelt Rentals as a subcontractor to Pullman SST. Pullman submitted a quote for the shoring via Change Order Request No. 05. Pullman and WJE are in-process of reviewing Sunbelt's shop drawings for the shoring. Once approved, the shop drawings will be submitted to the City for review and project record.
- 2. Additional Investigation of Six Columns. Pullman removed localized brick veneer or distressed concrete patch materials at six locations to facilitate WJE's additional investigation of the concealed conditions (Figures 1-5). The objective of the investigation openings was to determine if other columns that exhibited similar concrete or brick masonry distress contain concealed structurally significant conditions. Based on our observations, no structurally significant distress conditions were found; imminent repairs are not required at other locations within the garage. WJE's investigative work is complete.
 - **a.** As requested in Site Visit Report #7, Pullman issued Change Order Request No. 06 for the associated work to create these inspection openings for WJE's review.
 - **b.** Brick Openings: The masonry cladding may be replaced at the brick clad inspection openings.
 - i. Wall ties are to be installed at replacement brick masonry at 16 inches on center (max). Where concrete block (CMU) infill is present, wall ties are to be installed between both the concrete columns and concrete block and between the concrete block and clay brick masonry.
 - ii. Where replacement brick abuts a bed joint containing an existing steel shelf angle, install new closed-cell backer rod and joint sealant to create a soft movement joint along the horizontal plane below the shelf angle.



City of Birmingham - 2021 3PT Parking Structure Repairs

Peabody Parking Structure Column Assessment

- iii. WJE and the City are to review and approve mock-ups for the replacement brick units and mortar. Mock-ups are in-progress, final approval needed following cleaning work.
- iv. Based on the additional work outlined below, Pullman issued Change Order Request No. 7:
 - 1) WJE acknowledges the inspection openings at the five brick clad column locations are larger than the 10 SF outlined in Change Order Request No. 06.
 - 2) Where masonry distress is present adjacent to the inspection openings, particularly at Column 19A (Figures 6-8), WJE recommends repair of the masonry as part of the cladding replacement, including replacement of localized cracked brick units and repointing distressed mortar.
 - 3) At Column 12A, minor concrete distress is present in the existing retaining wall. WJE recommends a partial-depth concrete repair be performed at this location prior to brick replacement (Figure 2).
- **c.** <u>Concrete Opening:</u> One inspection opening, at Column 13E supporting Level 6, was created at an unsound previous patch repair at an interior concrete column (Figures 9-10). The exposed conditions do not represent an imminently hazardous structural condition. However, we recommend repairing this column for improved durability and protection of the existing steel reinforcing.
 - i. Pullman to submit a quote to perform concrete repairs at Column 13E in conjunction with the repairs at Column 10A and 11A for the City's review and approval. Refer to the project specifications and repair details on Sheet S501 for more information. WJE is in-progress of developing additional repair design information to address this condition. Based on our discussions with Pullman, we understand that the cost for shoring at this repair will be minor since the rental costs associated with the shoring are already captured by the repairs for Columns 10A and 11A.

Enclosure: Figure 1 to Figure 10



FIGURES

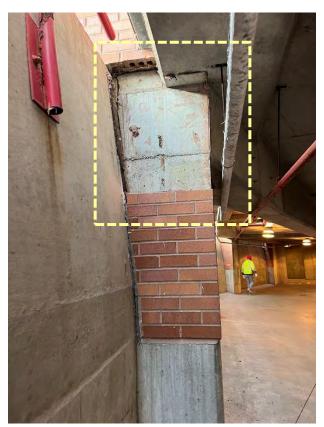


Figure 1. Column 10J inspection opening at Level 1 PT beam end (brick veneer removed).



Figure 2. Column 12A inspection opening at Level 1 PT beam end (brick veneer removed, wood 2x installed as temporary support for brick). Note the concrete distress at the retaining wall.

WJE



Figure 3. Column 19A inspection opening at Level 2 PT beam end (brick veneer at concrete block infill removed).



Figure 4. Column 19A inspection opening at Level 2 PT beam end (brick veneer at concrete block infill removed).

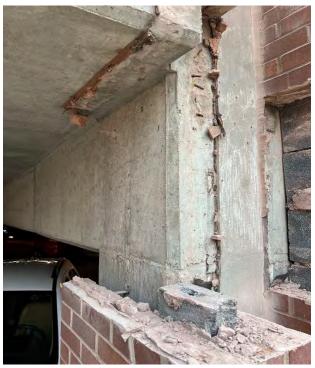


Figure 5. Column 19A inspection opening at Level 2 PT beam end (brick veneer at concrete block infill removed).



Figure 6. Brick distress below the existing inspection opening at Column 19A.

WJE



Figure 7. Distress at Column 19A prior to brick removal.

Figure 8. Distress at Column 19A prior to brick removal.



Figure 9. Column 13E inspection opening at Level 6 PT beam end (unsound previous patch repair removed).



Figure 10. Exposed corroded reinforcing steel and diagonal concrete crack.

Wiss, Janney, Elstner Associates, Inc.



30700 Telegraph Road, Suite 3580 Bingham Farms, Michigan 48025 248.593.0900 tel www.wje.com

MEMORANDUM | April 4, 2022

Peabody Parking Structure

Column Repair Scope

| WJE PROJECT NO. 2019.6318.3 | | |
|------------------------------------|-----------------|--|
| то | Jim Travnik | |
| | Project Manager | |
| | Pullman SST | |
| FROM | Sarah V. Rush | |

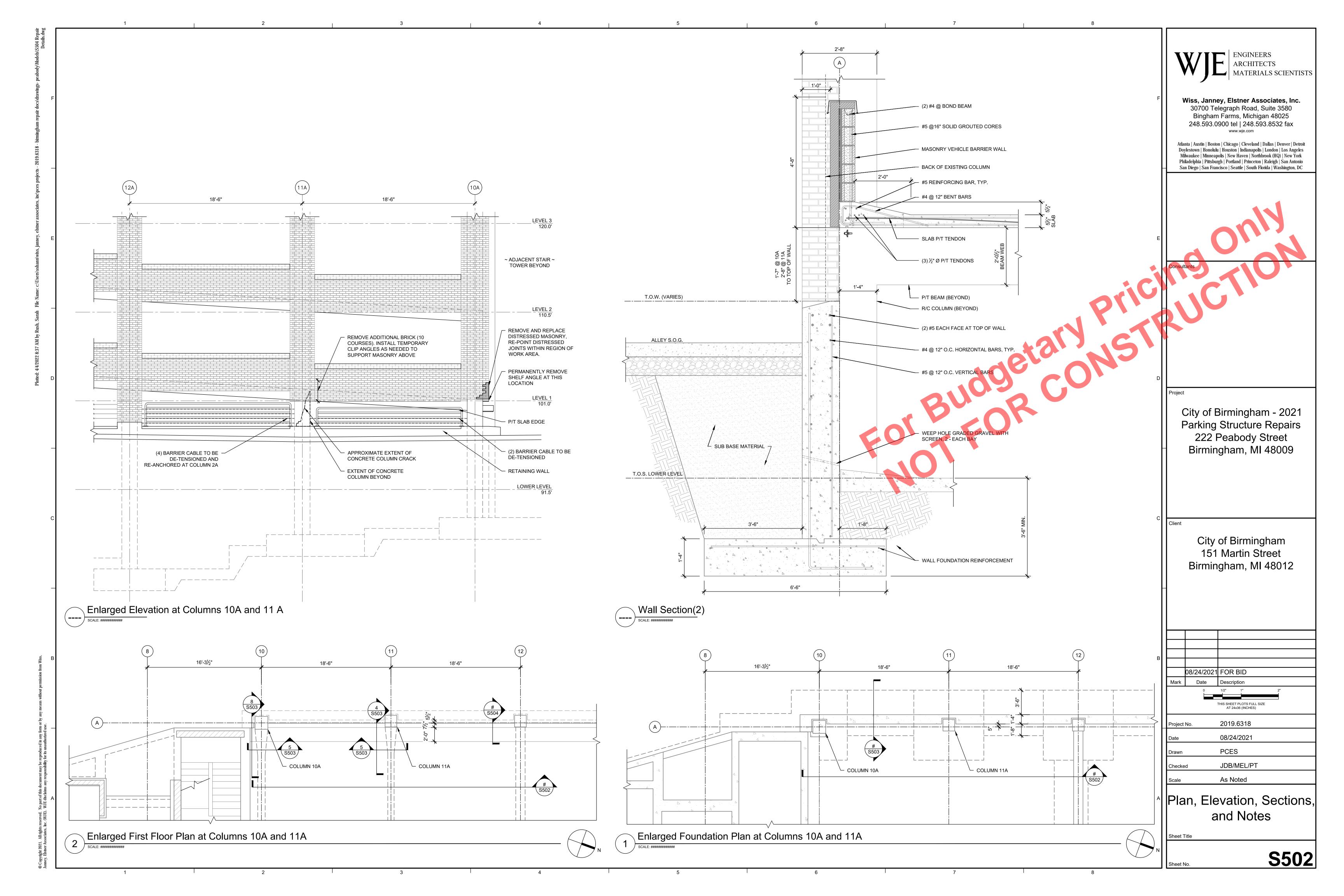
As discussed during our project team meeting on April 1, 2022, the following outlines the anticipated scope of work associated with the column repairs at the Peabody Street Parking Structure in Birmingham, MI. Refer to the project specifications and the "For Pricing" drawing set for more information.

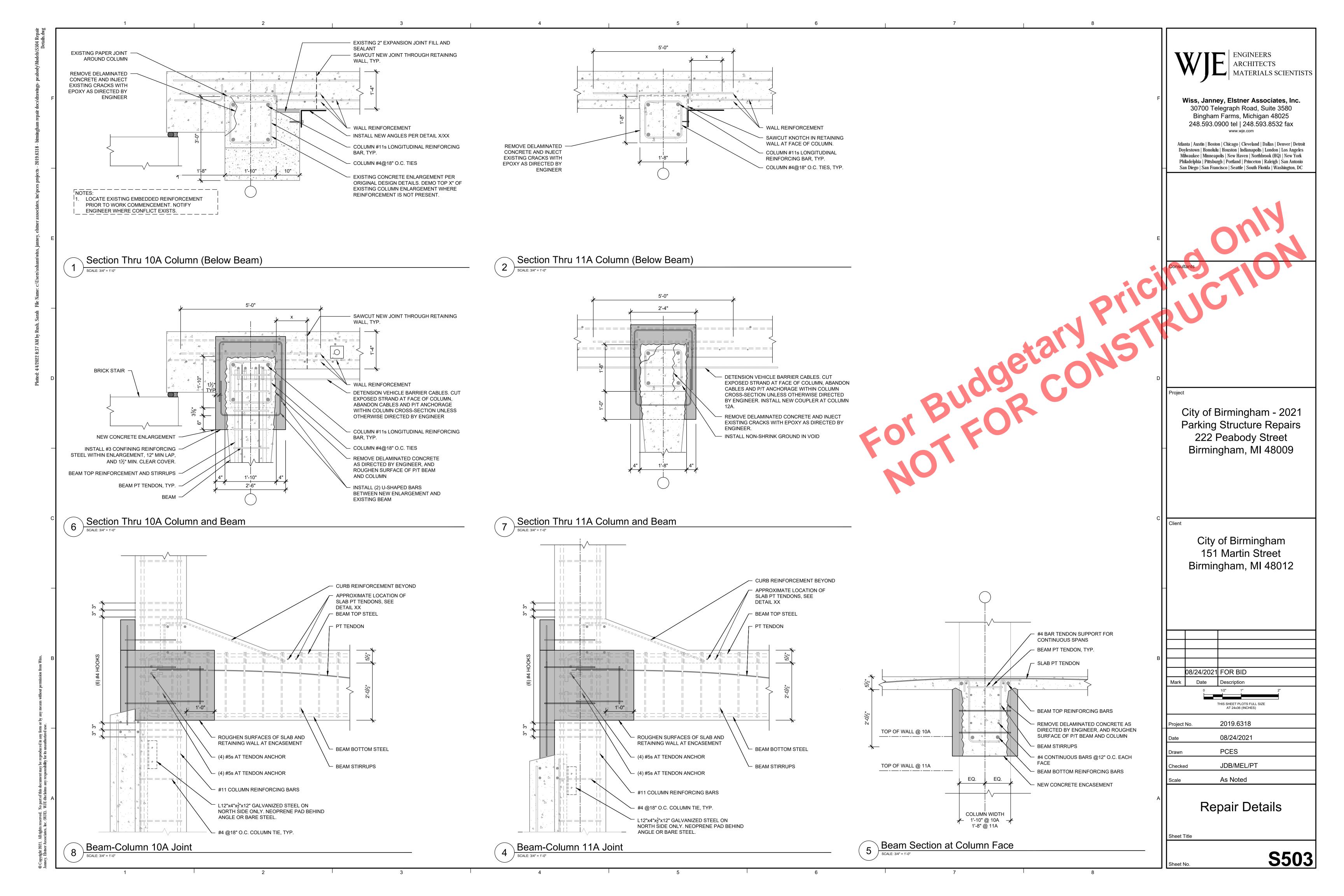
Column 10A and 11A

- Remove existing tensioned guardrail cables between Columns 10A and 12A. Install new surface-mounted anchors at Column 12A as needed to maintain the guardrail system north of Column 12A. Install new steel guardrails between Columns 10A and 12A, to be surface-mounted to the top of the retaining wall.
- Temporarily remove and replace the 30 inch HVAC duct near Column 10A to facilitate the repairs. Fire sprinkler line near Column 10A to be permanently relocated by others.
- Sawcut joint through entire retaining wall thickness adjacent to Column 10A, joint to extend full height of retaining wall and be approximately 1 inch wide. Sawcut partial-depth joint through retaining wall at Column 11A, joint to extend full height of retaining wall and be approximately ½ inch wide. Install waterstop at Column 10A with backer and joint sealant at both columns. Install a galvanized steel angle with ¾ inch threaded rods at each column for bearing of the retaining wall, install angles before full height of joint cuts are completed.
- Remove additional brick masonry above work area to expose additional unsound concrete and to gravity-feed concrete repair material, install clip angles to support existing masonry as needed. Note Column 11A brick masonry includes concrete block back-up. Following concrete repairs, replace brick masonry on west column face, install backer and sealant at extents of veneer replacement.
- Remove loose concrete within column cross-section, epoxy inject remaining cracks as directed by WJE. Install supplemental column ties and encasement reinforcing, some encasement reinforcing bars are to be epoxy anchored into the existing concrete retaining wall or slab edge. Form and pour new concrete encasement, approximately 4 inches thick beyond original column cross-section, approximately 25 SF each column.

Column 13E – Alternate Add

- Relocate upper 4 levels of shoring from 10A or 11A to Column 13E.
- Remove unsound concrete at Column 13E supporting Level 6, install wire ties as needed to brace corner vertical bars to stirrups. Perform epoxy-injection in diagonal crack as directed by WJE. Perform partial-depth concrete repairs, depth of concrete removal to expose full bar diameter, approximately 12 SF. Note vehicle barrier cables and conduit adjacent to repair area.







Detroit Branch 280 West Jefferson Trenton, MI 48183 Phone 734-282-7760 www.pullman-services.com

February 28, 2022

City of Birmingham 151 Martin Street Birmingham, Michigan 48009

Wiss, Janney, Elstner Associates, Inc. 30700 Telegraph Road, Ste, 3580 Bingham Farms, Michigan 48025

RE: 2021 PARKING STRUCTURE REPAIR PROJECTS
PEABODY STREET -- EMERGENCY SHORING
REQUEST FOR CHANGE ORDER 05

This correspondence is related to a request by Wiss, Janney, Elstner Associates, Inc. (WJE), to provide "emergency shoring" at column lines A.10 and A.11 at the Peabody Street Parking Garage, per specifications and notes provided in their 2/22/22 shoring load detail, as well the significant distress found upon completion of their investigation (included in original base contract). This work is recommended by WJE to relieve the columns of load in order to facilitate future repairs, which shall include shoring of all levels at both columns.

As such, Pullman SST, Inc. is pleased to present the following:

SCOPE OF WORK: EMERGENCY SHORING INSTALLATION

- Core four (4) 4" holes in slab on grade to confirm existing base integrity and construction load requirements
- Install steel barricades with anchoring at all work areas for public safety
- Install MAT 125 shoring and spread beams at all levels at columns A.10 and A.11
 - o Includes wood timber at all wash areas associated with column A.10
- Includes equipment rental cost for one (1) twenty-eight (28)-day cycle
- Tear-down and remove all shoring
- Includes motor freight of all equipment
- Includes PE stamped Submittal for WJE review, and one set of reasonable revisions/comments.
 - Submittal shall be limited to drawings and calculations to show the capacity of temporary shoring equipment only

TOTAL LUMP SUM COST: \$ 59,150.00

SCOPE OF WORK: EMERGENCY SHORING RENTAL

- Includes equipment rental cost for additional twenty-eight (28)-day rental cycle(s)
- Includes weekly site-visit of Pullman staff to inspect all shoring and barricading and provide maintenance as required

TOTAL MONTHLY COST: \$ 12,000.00

2/28/2022 Page 2

WORKING CONDITIONS

1. Workdays / Workhours: M – F, 7:00am – 5:00pm, Saturday 7:00am to 5:00pm as required

SUPPORT BY OTHERS (at no cost to PULLMAN SST) SHALL INCLUDE THE FOLLOWING:

- 1. Parking for service vehicles.
- 2. Storage area for equipment and materials
- 3. Restroom Facilities
- 4. Temporary heat or cold weather protection
- 5. 110V Electric
- 6. Potable Water
- 7. Testing and inspection
- 8. Hazardous material and/or abatement
- 9. Unobstructed access to work area
- 10. Inspections and/or permits

SCHEDULE:

Work would commence immediately upon approval.

We appreciate the opportunity to work with you on this project and please contact us at 734.282.7760 (office) with any questions that you may have.

Sincerely,

Pullman SST, Inc.

James Travnik Project Manager John Schuster Division Manager



Detroit Branch 280 West Jefferson Trenton, MI 48183 Phone 734-282-7760 www.pullman-services.com

March 3, 2022

City of Birmingham 151 Martin Street Birmingham, Michigan 48009

Wiss, Janney, Elstner Associates, Inc. 30700 Telegraph Road, Ste, 3580 Bingham Farms, Michigan 48025

RE: 2021 PARKING STRUCTURE REPAIR PROJECTS

PEABODY STREET - ADDITIONAL COLUMN INVESTIGATION

REQUEST FOR CHANGE ORDER 06

This correspondence is related to a request by Wiss, Janney, Elstner Associates, Inc. (WJE), to provide additional inspection services at various columns at the Peabody Street Parking Garage, per specifications and notes provided in their Site Visit Report #7, dated March 1, 2022. These column investigations shall include the removal of the brick veneer in order to expose the structural column(s) and allow WJE clear access. Once WJE has completed their assessment, the brick veneer will be replaced.

As such, Pullman SST, Inc. is pleased to present the following, inclusive of Project Management, Supervision, General Conditions and equipment:

SCOPE OF WORK: COLUMN INVESTIGATION

- Remove brick veneer (up to 10 SF each) at the following locations:
 - o Column 12A Level 1 beam end
 - o Column 13A Level 1 beam end
 - o Column 15A Level 1 beam end
 - o Column 19A Level 2 beam end
 - o Column 13E Level 6 beam end
 - o Column 10J Level 1 beam end
- Assist WJE with access to all locations as necessary
- Replace brick veneer at above locations
- Final job-site clean-up

TOTAL LUMP SUM COST: \$ 11,750.00

3/3/2022 Page 2

WORKING CONDITIONS

1. Workdays / Workhours: M – F, 7:00am – 5:00pm, Saturday 7:00am to 5:00pm as required

SUPPORT BY OTHERS (at no cost to PULLMAN SST) SHALL INCLUDE THE FOLLOWING:

- 1. Parking for service vehicles.
- 2. Storage area for equipment and materials
- 3. Restroom Facilities
- 4. Temporary heat or cold weather protection
- 5. 110V Electric
- 6. Potable Water
- 7. Testing and inspection
- 8. Hazardous material and/or abatement
- 9. Unobstructed access to work area in alleys and city sidewalks
- 10. City of Birmingham Inspections and/or permits are not included

SCHEDULE:

Work would commence immediately upon approval.

We appreciate the opportunity to work with you on this project and please contact us at 734.282.7760 (office) with any questions that you may have.

Sincerely,

Pullman SST, Inc.

James Travnik Project Manager John Schuster Division Manager



Detroit Branch 280 West Jefferson Trenton, MI 48183 Phone 734-282-7760 www.pullman-services.com

March 31, 2022

City of Birmingham 151 Martin Street Birmingham, Michigan 48009

Wiss, Janney, Elstner Associates, Inc. 30700 Telegraph Road, Ste, 3580 Bingham Farms, Michigan 48025

RE: 2021 PARKING STRUCTURE REPAIR PROJECTS

PEABODY STREET - ADDITIONAL COLUMN INVESTIGATION QUANTITES

REQUEST FOR CHANGE ORDER 07

This correspondence is related to a request by Wiss, Janney, Elstner Associates, Inc. (WJE), to provide additional inspection services at various columns at the Peabody Street Parking Garage, per specifications and notes provided in their Site Visit Report #7, dated March 1, 2022. These column investigations shall include the removal of the brick veneer in order to expose the structural column(s) and allow WJE clear access. Once WJE has completed their assessment, the brick veneer will be replaced.

During WJE's site visits, additional distress was noted at columns 10J, 11 and 12, which resulted in additional brick to be removed at the request of WJE. Additional brick beyond the original quantity of 60 SF was provided. In addition, Column 19A grew an additional 20 SF, and 13E added an additional 10 SF. Additional resources were incurred to better match the mortar design and brick procurement.

As such, Pullman SST, Inc. is pleased to present the following, inclusive of Project Management, Supervision, General Conditions and equipment:

SCOPE OF WORK: COLUMN INVESTIGATION

- Remove and replacement of brick veneer for an additional 60 SF
- Assist WJE with access to all locations as necessary
- Additional duration for rental equipment for access to 2nd floor column
- Final job-site clean-up

TOTAL LUMP SUM COST - NOT-TO-EXCEED BASIS: \$ 12,000.00

4/4/2022

Page 2

WORKING CONDITIONS

1. Workdays / Workhours: M – F, 7:00am – 5:00pm, Saturday 7:00am to 5:00pm as required

SUPPORT BY OTHERS (at no cost to PULLMAN SST) SHALL INCLUDE THE FOLLOWING:

- 1. Parking for service vehicles.
- 2. Storage area for equipment and materials
- 3. Restroom Facilities
- 4. Temporary heat or cold weather protection
- 5. 110V Electric
- 6. Potable Water
- 7. Testing and inspection
- 8. Hazardous material and/or abatement
- 9. Unobstructed access to work area in alleys and city sidewalks
- 10. City of Birmingham Inspections and/or permits are not included

SCHEDULE:

Work would commence immediately upon approval.

We appreciate the opportunity to work with you on this project and please contact us at 734.282.7760 (office) with any questions that you may have.

Sincerely,

Pullman SST, Inc.

James Travnik Project Manager John Schuster Division Manager



FW: Peabody Columns - 75% Drawing Set and Scope Document

2 messages

Rush, Sarah <srush@wje.com>

Mon, Apr 4, 2022 at 11:51 AM

To: Ryan Weingartz < rweingartz@bhamgov.org >

Cc: "Lewis, Matthew" <mlewis@wje.com>, "Thibodeaux, Meredith" <MThibodeaux@wje.com>

Ryan,

Please find Pullman's cost estimate for the column repairs in the email thread below, which is based on the attached in-progress repair documents. I've also attached a simple Excel document which tabulates the anticipated contractor-related costs, including the fire sprinkler line re-routing.

I look forward to our meeting this afternoon.

Kind Regards,

Sarah V. Rush, P.E.

Senior Associate

Wiss, Janney, Elstner Associates, Inc.

Engineers | Architects | Materials Scientists 30700 Telegraph Rd. Suite 3580, Bingham Farms, MI 48025 tel 248.594.0153 | mobile 248.508.1544 | fax 248.593.8532 www.wje.com_srush@wje.com

From: Zach Carroll <zcarroll@pullman-services.com>

Sent: Monday, April 4, 2022 11:18 AM

To: Rush, Sarah <srush@wje.com>; Jim Travnik <jtravnik@pullman-services.com>; John Schuster@pullman-services.

com>

Subject: RE: Peabody Columns - 75% Drawing Set and Scope Document

Sarah,

That's correct. The shoring cost in your spreadsheet is accurate, and would cover the duration of the base bid and alternate repairs.

Thanks!

Zach Carroll

Estimator



We Make Structures Stronger & Last Longer

280 W. Jefferson Ave.

Trenton, MI 48183

Mobile: 734-752-9266

zcarroll@pullman-services.com

www.pullman-services.com/detroit

From: Rush, Sarah <srush@wje.com> Sent: Monday, April 4, 2022 11:06 AM

To: Zach Carroll <zcarroll@pullman-services.com>; Jim Travnik <jtravnik@pullman-services.com>; John Schuster

<jschuster@pullman-services.com>

Subject: RE: Peabody Columns - 75% Drawing Set and Scope Document

Thank you, Zach! Can you please confirm your estimates assume a total of 2 months of shoring (1 month included in base installation cost and 1 add'l month of rental), which was discussed with John and Jim on Friday.

Thank you,

Sarah V. Rush. P.E.

Senior Associate

Wiss, Janney, Elstner Associates, Inc.

Engineers | Architects | Materials Scientists 30700 Telegraph Rd. Suite 3580, Bingham Farms, MI 48025 tel 248.594.0153 | mobile 248.508.1544 | fax 248.593.8532 www.wje.com_srush@wje.com

From: Zach Carroll <zcarroll@pullman-services.com>

Sent: Monday, April 4, 2022 11:01 AM

To: Rush, Sarah <srush@wje.com>; Jim Travnik <jtravnik@pullman-services.com>; John Schuster <j<mark>schuster@pullman-services.</mark>

com>

Subject: RE: Peabody Columns - 75% Drawing Set and Scope Document

Good Morning Sarah,

Based on the work scope and 75% drawings, our budgetary price for the 10A and 11A Column repairs is \$75,000.

For the add alternate at column 13E, we would be looking at a budget of \$6,000.

Let us know if you have any questions.

Thanks!

Zach Carroll

Estimator



We Make Structures Stronger & Last Longer

280 W. Jefferson Ave.

Trenton, MI 48183

Mobile: 734-752-9266

zcarroll@pullman-services.com

www.pullman-services.com/detroit

From: Rush, Sarah <srush@wje.com> Sent: Monday, April 4, 2022 8:48 AM

To: Jim Travnik <itravnik@pullman-services.com>; John Schuster <ischuster@pullman-services.com>; Zach Carroll

<zcarroll@pullman-services.com>

Subject: Peabody Columns - 75% Drawing Set and Scope Document

Hi Jim, John, and Zach,

Please find the attached scoping document and our 75% complete "For Budgetary Pricing" drawing set. Please don't hesitate to call if you have any questions.

My meeting with Ryan is today at 3pm. It would be best if we can receive your pricing information between 12-2pm if possible. See the yellow highlighted cells in the attached excel document for the pricing information requested for Pullman, which I've updated from our meeting on Friday.

Kind Regards,

Sarah V. Rush, P.E.

Senior Associate

Wiss, Janney, Elstner Associates, Inc.

Engineers | Architects | Materials Scientists 30700 Telegraph Rd. Suite 3580, Bingham Farms, MI 48025 tel 248.594.0153 | mobile 248.508.1544 | fax 248.593.8532 www.wje.com_srush@wje.com

The information contained in this transmission and any attachments are for the sole use of the intended recipient(s) and may be confidential, privileged, copyrighted or may constitute intellectual property. Any unauthorized review, use, disclosure or distribution of this transmission and any attachments is strictly prohibited. If you have received this transmission in error, please contact the sender and destroy all paper and/or electronic copies of this transmission.

The information contained in this transmission and any attachments are for the sole use of the intended recipient(s) and may be confidential, privileged, copyrighted or may constitute intellectual property. Any unauthorized review, use, disclosure or distribution of this transmission and any attachments is strictly prohibited. If you have received this transmission in error, please contact the sender and destroy all paper and/or electronic copies of this transmission.

3 attachments



2022-04-04_PeabodyColumn-Scope_MEMO.pdf



2022-04-04_PeabodyColumns_75%Set.pdf 1146K



Cost-Impacts_WJE-Estimate.xlsx 12K

Rush, Sarah <srush@wje.com> To: Ryan Weingartz <rweingartz@bhamgov.org>

[Quoted text hidden]

Mon, Apr 4, 2022 at 3:25 PM



Wiss, Janney, Elstner Associates, Inc.

30700 Telegraph Road, Suite 3580 Bingham Farms, Michigan 48025 248.593.0900 tel www.wje.com

March 24, 2022

Ryan Weingartz Parking Systems Manager City of Birmingham 151 Martin Street Birmingham, MI 48009

Emergency Column Shoring and Repairs

WJE No. 2019.6318.3

Dear Ryan Weingartz:

As requested, Wiss, Janney, Elstner Associates, Inc. (WJE) has prepared this proposal to outline emergency column shoring and repair work at the Peabody Street Parking Structure in Detroit, Michigan. This letter summarizes are understanding of the project objectives, outlines our recommended scope of services, and provides our terms and conditions to perform our services.

BACKGROUND

WJE performed a condition assessment of the parking structure in early 2021. As part of this assessment, we identified two columns on the Lower Level of the parking structure that were identified for further investigation due to the extent of cracking near the beam-column intersection. These two columns are located at Column Lines 10-A (10A) and 11-A (11A) on the southwest end of the garage. The further investigation work was performed as part of the base bid scope of work during the ongoing 2021-2022 construction repair projects at the Peabody, Chester, and Park Street garages. The base bid scope included shoring the Level 1 beams framing into the subject columns, removal of the brick masonry cladding on the exterior surfaces of the columns, and a \$20,000 base bid allowance for concrete repair work.

Based on the exposed, previously concealed conditions, WJE determined that the structural capacity of the two columns (Columns 10A and 11A) have been significantly reduced and recommended immediate shoring and repairs for the two columns. WJE also recommended additional investigation efforts be performed at other locations of the garage, which have since been completed. As a result of the additional investigation locations, and although the exposed conditions do not represent an imminently hazardous structural concern, concrete repairs at Column 13E supporting Level 6 are recommended directly following the repairs at Columns 10A and 11A due to the shoring materials that will be onsite.

For more information, please refer to the current project Construction Documents, Site Visit Reports No. 7 and No. 8, and our original condition assessment report dated April 30, 2021.



SCOPE OF SERVICES

Based on the known conditions at the site thus far, and as outlined in Site Visit Report No. 7 and No.8, WJE proposes the following scope of services to address the deteriorated and distressed columns – Column 10A, 11A, and 13E:

- 1. **Shoring (In Progress, 90% Complete).** Coordinate emergency shoring at Columns 10A and 11A. This includes coordination with Pullman SST, the contractor on the project, and their shoring supplier and designer, Sunbelt Rentals, as well as review of the shoring shop drawings (inclusive of re-submissions) and review of the shoring assembly, once installed.
- 2. **Additional Investigation Locations (Completed).** Identify and review beam-column intersections at other locations within the garage to determine if similar distress is present, and issuance of a site visit report to document our findings and recommendations.
- 3. **Structural Analysis and Repair Design Development (In Progress, 75% Complete).** Develop conceptual approach and detailing for the durable repair of the columns. This includes the necessary structural analysis, repair detail development, and general notes and material specifications. This item also considers the evaluation of the existing conflicting stair tower, fire suppression lines, and utilities in the region of the repair.
- 4. **Bidding Assistance (In Progress).** Coordinate change order requests from Pullman SST to perform the work, including the review and comment on the received quote.
- 5. **Construction Period Services.** For the purposes of this proposal, we anticipate performing 6 site visits during and following the repairs to verify the work is completed in accordance with the intent of the repair details. Each site visit will be documented in a written site visit report. We will also review relevant material and product data submittals as needed.

TERMS AND CONDITIONS

WJE will perform the above Scope of Services for a fixed fee of \$47,000 inclusive of related expenses. All of WJE's work will be performed in accordance with the previously agreed upon Terms and Conditions.

CLOSING

Thank you for the continued opportunity to assist with the repair and restoration of the City of Birmingham parking structures.

Sincerely,

WISS, JANNEY, ELSTNER ASSOCIATES, INC.

Sarah V. Rush

Senior Associate and Project Manager

Sarah V Rush

PROPOSAL

#4282

Date: April 5, 2022

To: City of Birmingham

Attention: Ryan Weingartz

Email: rweingartz@bhamgov.org

Location: Peabody Garage

Project: Rework Low Point Drain

From: Garrett Crook, Jr.

We propose to provide all engineering, fabrication, labor, materials, equipment and facilities required to rework the piping interfering with the structural concrete reinforcing,

For the NOT TO EXCEED sum of:

Three Thousand Dollars

\$3,000.00

Our proposal **does not** include the following items:

- -Permits
- -Overtime labor

We appreciate this opportunity to quote and would be happy to answer any questions regarding our proposal.

AGREEMENT FOR EMERGENCY PEABODY STREET SHORING AND ADDITONAL COLUMN INVESTIGATION

| THIS AGREEMENT is entered into this day of | , 2022, by and between |
|---|----------------------------------|
| the CITY OF BIRMINGHAM, whose address is 151 Martin | Street, Birmingham, MI 48009 |
| (hereinafter referred to as the City) and PULLMAN SST., INC. | a Michigan, whose address is 280 |
| West Jefferson Avenue, Trenton, MI 48183 (hereafter referred to | as Contractor) and the foregoing |
| shall collectively be referred to as the parties. | , 3 |

WHEREAS, the City requires to have emergency shoring and additional column investigation to the Peabody Street Parking Structure; and

WHEREAS, Contractor has qualifications that meet the project requirements and has provided a response and cost proposal to perform the needed emergency repairs.

NOW, THEREFORE, in consideration of the foregoing preambles, the adequacy of which is acknowledged by and between the parties to this Agreement, the parties agree as follows:

- 1. MUTUALLY AGREE: It is mutually agreed by and between the parties that the City's Request for Proposal and Scope of Work dated February 28, 2022 shall be fully incorporated herein by reference and shall become a part of this Agreement, and shall be binding upon both parties hereto mutually agree that the cost for emergency shoring known as change order 5 shall not exceed \$71,150 (attached hereto as Attachment "A"). It is mutually agreed by and between the parties that the City's Request for Proposal and Scope of Work dated March 3, 2022 shall be fully incorporated herein by reference and shall become a part of this Agreement, and shall be binding upon both parties hereto mutually agree that the cost for additional column investigation known as change order 6 shall not exceed \$11,750 (attached hereto as Attachment "B"). It is mutually agreed by and between the parties that the City's Request for Proposal and Scope of Work dated March 31, 2022 shall be fully incorporated herein by reference and shall become a part of this Agreement, and shall be binding upon both parties hereto mutually agree that the cost for additional column investigation known as change order 7 shall not exceed \$12,000 (attached hereto as Attachment "C"). It is mutually agreed by and between the parties that the City's Request for Proposal and Scope of Work email dated April 4, 2022 that column repairs will not exceed \$90,000 \$ (attached hereto as Attachment "D").
- **2. TERM:** This Agreement shall commence immediately as it is urgent, and when all necessary work is complete to the city satisfaction or at any time without cause by city after 30-day notice is required. In the event of termination, the Contractor shall receive compensation for

services to the date the termination takes effect and the City shall be entitled to retain and use the results of all goods and services prepared by the Contractor through such date.

- 3. **TERMS OF PAYMENT:** The Contractor will invoice monthly for all labor supplied and work completed. In no event shall invoices be submitted more than 45 days after completion of services. Submitted invoices shall include the following detailed information: the type of work performed, the time spent on the work, the individual who performed the work and the per hour billing rate charged. The City may, at its sole discretion demand review and the right to request at any time further detailed accounting information for any or all bills. The right to inspection of any bill and invoice shall never be at any cost or billings to the City, nor shall preparation of said invoices be billed to the City or against the general retainer. Payment terms will be net 30 days unless otherwise specified by the City.
- **4.** Contractor shall employ personnel of good moral character and fitness in performing all services under this Agreement.
- 5. INSURANCE SUBMISSION REQUIREMENTS: The Contractor has submitted proof to the City that it meets all City insurance requirements. Insurance, with coverage amounts at no less than the City's minimum requirements, must be held by the Contractor throughout the term of this Agreement. Certificates of insurance as stated below will be required no later than five (5) business days from the date of Contractor's acceptance of the terms of this Agreement.
- 6. CONFIDENTIAL AND OR PROPRIETARY INFORMATION: The Contractor acknowledges that in performing services pursuant to this Agreement, certain confidential and/or proprietary information (including, but not limited to, internal organization, methodology, personnel and financial information, etc.) may become involved. The Contractor recognizes that unauthorized exposure of such confidential or proprietary information could irreparably damage the City. Therefore, the Contractor agrees to use reasonable care to safeguard the confidential and proprietary information and to prevent the unauthorized use or disclosure thereof. The Contractor shall inform its employees of the confidential or proprietary nature of such information and shall limit access thereto to employees rendering services pursuant to this Agreement. The Contractor further agrees to use such confidential or proprietary information only for the purpose of performing services pursuant to this Agreement.
- 7. INDEPENDENT CONTRACTOR: The Contractor the City agree that the Contractor is acting as an independent contractor with respect to the Contractor role in providing services to the City pursuant to this Agreement, and as such, shall be liable for its own actions and neither the Contractor nor its employees shall be construed as employees of the City. Nothing contained in this Agreement shall be construed to imply a joint venture or partnership and neither party, by virtue of this Agreement, shall have any right, power or authority to act or create any obligation, express or implied, on behalf of the other party, except as specifically outlined herein. Neither the City nor the Contractor shall be considered or construed to be the agent of the other, nor shall either have the right to bind the other in any manner whatsoever, except as specifically provided in this Agreement, and this Agreement shall not be construed as a contract of agency.

The Contractor shall not be considered entitled or eligible to participate in any benefits or privileges given or extended by the City, or be deemed an employee of the City for purposes of federal or state withholding taxes, FICA taxes, unemployment, workers' compensation or any other employer contributions on behalf of the City.

- 8. COMPLIANCE WITH LAWS: Contractor agrees to fully and faithfully carry out the duties of set forth herein using its best efforts in accomplishing all assignments from the City, and further, in addition to upholding all federal, and state laws and applicable codes of professional conduct to which Contractor is subject, Contractor hereby agrees to be bound by all Federal, State, or City of Birmingham ordinances, rules, regulations and policies as are amended from time to time, and including without limitation the Fair Labor Standards Act, the Equal Employment Opportunity rules and regulations, the Transportation Safety Act and the Occupational Safety and Health Acts.
- **9. NON-COMPLIANCE WITH INSURANCE REQUIREMENTS:** Failure to deliver and maintain insurance in accordance with the terms of this Agreement will be cause for the City, by and through its City Manager, to terminate this Agreement, or at the City's option, the City may purchase on the open market such required insurance and shall be entitled to charge any additional cost to the Contractor, either by offset to any amounts due and owing Contractor for services provided to the City, or, by separate bill and demand for payment. Nothing in this paragraph shall be deemed to create or be interpreted as establishing a "for cause" termination; Contractor agrees and understands that its engagement is at will and may be terminated by the City Manager for any cause or no cause.
- any entity or person for whom the Contractor is legally liable, agrees to be responsible for any liability, defend, pay on behalf of, indemnify, and hold harmless the City of Birmingham, its elected and appointed officials, employees and volunteers and others working on their behalf against any and all claims, demands, suits, or loss, including all costs and reasonable attorney fees connected therewith, and for any damages which may be asserted, claimed or recovered against or from the City, its elected and appointed officials, employees, volunteers or others working on their behalf, by reason of personal injury, including bodily injury and death and/or property damage, including loss of use thereof, which arise out of the acts, errors or omissions of the Contractor including its employees and agents, in the performance of this Agreement. Such responsibility shall not be construed as liability for damage caused by or resulting from the sole act or omission of its elected or appointed officials, employees, volunteers or others working on behalf of the City.

11. STANDARD INSURANCE REQUIREMENTS:

The Contractor shall maintain during the life of this Agreement the applicable types of insurance coverage and minimum limits as set forth below:

A. Workers' Compensation Insurance:

<u>For Non-Sole Proprietorships</u>: Contractor shall procure and maintain during the life of this Agreement, Workers' Compensation

Insurance, including Employers Liability Coverage, in accordance with all applicable statutes of the State of Michigan.

<u>For Sole Proprietorships</u>: Contractor shall complete and furnish to the City prior to the commencement of work under this Agreement a signed and notarized Sole Proprietor Form, for sole proprietors with no employees or with employees, as the case may be.

- B. <u>Commercial General Liability Insurance</u>: Contractor shall procure and maintain during the life of this Agreement, Commercial General Liability Insurance on an "Occurrence Basis" with limits of liability not less than \$1,000,000 per occurrence combined single limit, Personal Injury, Bodily Injury and Property Damage. Coverage shall include the following extensions: (A) Contractual Liability; (B) Products and Completed Operations; (C) Independent Contractor Coverage; (D) Broad Form General Liability Extensions or equivalent; (E) Deletion of all Explosion, Collapse and Underground (XCU) Exclusions, if applicable.
- C. *Motor Vehicle Liability: Contractor shall procure and maintain during the life of this Agreement Motor Vehicle Liability Insurance, including all applicable no-fault coverages, with limits of liability of not less than \$1,000,000 per occurrence combined single limit Bodily Injury and Property Damage. Coverage shall include all owned vehicles, all non-owned vehicles, and all hired vehicles.
- D. <u>*Pollution Liability Insurance</u>: Contractor shall procure and maintain during the life of this Agreement Pollution Liability Insurance, with limits of liability of \$1,000,000, per occurrence preferred, but claims made accepted.
- E. Additional Insured: Commercial General Liability and Motor Vehicle Liability Insurance, as described above, shall include an endorsement stating the following Additional Insureds: The City of Birmingham, including all elected and appointed officials, all employee and volunteers, all boards, commissions and/or authorities and board members, including employees and volunteers thereof. This coverage shall be primary to any other coverage that may be available to the additional insured, whether any other available coverage by primary, contributing or excess.
- F. <u>Professional Liability</u>: If applicable, professional liability insurance with limits of not less than \$2,000,000 per claim if Contractor) will provide services that are customarily subject to this type of coverage.

- G. <u>Coverage Expiration</u>: If any of the above coverages expire during the term of this Agreement, Contractor shall deliver renewal certificates and/or policies to the City at least (10) days prior to the expiration date.
- H. <u>Proof of Insurance Coverage</u>: Contractor shall provide the City of Birmingham at the time the Agreement is returned for execution, Certificates of Insurance and/or policies, acceptable to the City of Birmingham, as listed below.
 - 1) Two (2) copies of Certificate of Insurance for Workers' Compensation Insurance, or a signed and notarized copy of the Sole Proprietor Form;
 - 2) Two (2) copies of Certificate of Insurance for Commercial General Liability Insurance;
 - Two (2) copies of Certificate of Insurance for Vehicle Liability Insurance:
 - 4) Two (2) copies of Certificate of Insurance for Professional Liability Insurance, if applicable;
 - 5) If so requested, Certified Copies of all policies mentioned above will be furnished.
- I. <u>Maintaining Insurance</u>: Upon failure of the Contractor to obtain or maintain such insurance coverage for the term of the Agreement, the City of Birmingham may, at its option, purchase such coverage and subtract the cost of obtaining such coverage from the Agreement amount. In obtaining such coverage, the City of Birmingham shall have no obligation to procure the most cost-effective coverage but may contract with any insurer for such coverage.
- **12. WRITTEN NOTICES:** Written notices regarding this Agreement shall be addressed to the following:

City: City of Birmingham

P.O. Box 3001

Birmingham, Michigan 48012

Attn: Ryan Weingartz, Parking Systems Manager

Contractor: Pullman SST, Inc.

280 West Jefferson Ave. Trenton, MI 48183 (734) 282-7760

Attn: James Travnik, Project Manager

- **13. COVID:** The Contractor shall follow all of the City's COVID-19 safety protocols while on City property. Additionally, Contractor's staff which will be in physical contact with city staff must have current vaccinations against COVID-19. The City, at its discretion, may ask for proof of vaccination of Contractor's staff. Failure to provide proof of vaccination when requested will cause the City to request un-vaccinated personnel to leave, request alternate staff, and if the Contractor is unable to comply, this violation of safety protocols will constitute a breach of contract by the Contractor.
- **14. AMENDMENTS:** No amendment, modification or supplement to this Agreement shall be binding unless it is in writing and signed by authorized representatives of the parties.
- **15. WAIVER OF BREACH:** No waiver by either party of any breach of any of the terms, covenants or conditions herein contained by the other party shall be construed as a waiver of any succeeding breach of this same or of any other term, covenant or condition.
- 16. COMPLETE AGREEMENT: The parties agree that the conditions set forth in this Agreement sets forth all terms and conditions of Contractor agreement with the City of Birmingham. This Agreement supersedes all prior agreements or understandings between the parties. There are no promises, conditions or understandings other than those stated herein, and, that any prior negotiations, terms or conditions discussed between the City and the Contractor shall not constitute a part of this Agreement. The term "agreement" as used in this clause shall include any future written amendments, modifications, or supplements made in accordance herewith.
- 17. DIRECT OR INDIRECT INTEREST: If, after the effective date of this Agreement, any official of the City, or spouse, child, parent or in-law of such official or employee shall become directly or indirectly interested in this Agreement or the affairs of the Contractor, the City shall have the right to terminate this Agreement without further liability to the Contractor if the disqualification has not been removed within thirty (30) days after the City has given the Contractor notice of the disqualifying interest. Ownership of less than one percent (1%) of the stock or other equity interest in a corporation or partnership shall not be a disqualifying interest. Employment shall be a disqualifying interest.
- **18. FAILURE TO PERFORM.** If Contractor fails to perform its obligations hereunder, the City may take any and all remedial actions provided by the general specifications or otherwise permitted by law.
- 19. **LEGAL PROCEEDINGS:** Any controversy or claim arising out of or relating to this Agreement, or the breach thereof, shall be settled either by commencement of a suit in Oakland County Circuit Court, the 48th District Court or by arbitration. If both parties elect to have the dispute resolved by arbitration, it shall be settled pursuant to Chapter 50 of the Revised Judicature Act for the State of Michigan and administered by the American Arbitration Association with one arbitrator being used, or three arbitrators in the event any party's claim exceeds \$1,000,000. Each party shall bear its own costs and expenses and an equal share of the arbitrator's and administrative fees of arbitration. Such arbitration shall qualify as statutory arbitration pursuant to MCL §600.5001 et seq., and the Oakland County Circuit Court or any court having jurisdiction

shall render judgment upon the award of the arbitrator made pursuant to this Agreement. The laws of the State of Michigan shall govern this Agreement, and the arbitration shall take place in Oakland County, Michigan. In the event that the parties elect not to have the matter in dispute arbitrated, any dispute between the parties may be resolved by the filing of a suit in a federal or state court with jurisdiction over Oakland County, Michigan.

- **21. RESPONSE FOR EMERGENCY:** The Contractor shall be held to and bound by all terms, conditions, warranties and representations which it made in its written response dated February 28, 2022 and March 3, 2022, and attached hereto as Attachment "A" and Attachment "B".
- **22. FAIR PROCUREMENT OPPORTUNITY:** Procurement for the City of Birmingham will be handled in a manner providing fair opportunity for all businesses. This will be accomplished without abrogation or sacrifice of quality and as determined to be in the best interest of the City of Birmingham.

IN WITNESS WHEREOF, the parties hereto agree to be bound by the above terms and conditions, and Contractor, by its authorized signature below, expressly accepts this Agreement upon the above provided terms and conditions contained in this Agreement as of the date first above written.

STATE OF MICHIGAN

STATE OF MICHIGAN

STATE OF MICHIGAN

SS:

COUNTY OF OAKLAND

On this day of form the county of
do so he/she signed this Agreement.

Notary Public County, Michigan aume County, Michigan My commission expires: 02

TANJA BEGEMAN NOTARY PUBLIC, STATE OF MI **COUNTY OF WAYNE** MY COMMISSION EXPIRES Feb 27, 2027 ACTING IN COUNTY OF Way

CITY OF BIRMINGHAM:

| By: | |
|-----|-----------------------------------|
| | Therese Longe, Mayor |
| By: | |
| | Alexandria D. Bingham, City Clerk |

APPROVED:

Thomas M. Markus, City Manager (Approved as to substance)

Ryan Weingartz, Parking Manager (Approved as to substance)

(If applicable)

Mary M. Kucharek, City Attorney (Approved as to form)

Mark A. Gerber, Finance Director (Approved as to Financial Obligation)

ATTACHMENT A



Detroit Branch 280 West Jefferson Trenton, MI 48183 Phone 734-282-7760 www.pullman-services.com

February 28, 2022

City of Birmingham 151 Martin Street Birmingham, Michigan 48009

Wiss, Janney, Elstner Associates, Inc. 30700 Telegraph Road, Ste, 3580 Bingham Farms, Michigan 48025

RE:

2021 PARKING STRUCTURE REPAIR PROJECTS
PEABODY STREET -- EMERGENCY SHORING
REQUEST FOR CHANGE ORDER 05

This correspondence is related to a request by Wiss, Janney, Elstner Associates, Inc. (WJE), to provide "emergency shoring" at column lines A.10 and A.11 at the Peabody Street Parking Garage, per specifications and notes provided in their 2/22/22 shoring load detail, as well the significant distress found upon completion of their investigation (included in original base contract). This work is recommended by WJE to relieve the columns of load in order to facilitate future repairs, which shall include shoring of all levels at both columns.

As such, Pullman SST, Inc. is pleased to present the following:

SCOPE OF WORK: EMERGENCY SHORING INSTALLATION

- Core four (4) 4" holes in slab on grade to confirm existing base integrity and construction load requirements
- Install steel barricades with anchoring at all work areas for public safety
- Install MAT 125 shoring and spread beams at all levels at columns A.10 and A.11
 - o Includes wood timber at all wash areas associated with column A.10
- Includes equipment rental cost for one (1) twenty-eight (28)-day cycle
- Tear-down and remove all shoring
- Includes motor freight of all equipment
- Includes PE stamped Submittal for WJE review, and one set of reasonable revisions/comments.
 - Submittal shall be limited to drawings and calculations to show the capacity of temporary shoring equipment only

TOTAL LUMP SUM COST:

\$ 59,150.00

SCOPE OF WORK: EMERGENCY SHORING RENTAL

- Includes equipment rental cost for additional twenty-eight (28)-day rental cycle(s)
- Includes weekly site-visit of Pullman staff to inspect all shoring and barricading and provide maintenance as required

TOTAL MONTHLY COST:

\$ 12,000.00

WORKING CONDITIONS

1. Workdays / Workhours: M – F, 7:00am – 5:00pm, Saturday 7:00am to 5:00pm as required

SUPPORT BY OTHERS (at no cost to PULLMAN SST) SHALL INCLUDE THE FOLLOWING:

- 1. Parking for service vehicles.
- 2. Storage area for equipment and materials
- 3. Restroom Facilities
- 4. Temporary heat or cold weather protection
- 5. 110V Electric
- 6. Potable Water
- 7. Testing and inspection
- 8. Hazardous material and/or abatement
- 9. Unobstructed access to work area
- 10. Inspections and/or permits

SCHEDULE:

Work would commence immediately upon approval.

We appreciate the opportunity to work with you on this project and please contact us at 734.282.7760 (office) with any questions that you may have.

Sincerely,

Pullman SST, Inc.

James Travnik Project Manager John Schuster Division Manager

ATTACHMENT B



Detroit Branch 280 West Jefferson Trenton, MI 48183 Phone 734-282-7760 www.pullman-services.com

March 3, 2022

City of Birmingham 151 Martin Street Birmingham, Michigan 48009

Wiss, Janney, Elstner Associates, Inc. 30700 Telegraph Road, Ste, 3580 Bingham Farms, Michigan 48025

RE:

2021 PARKING STRUCTURE REPAIR PROJECTS
PEABODY STREET – ADDITIONAL COLUMN INVESTIGATION
REQUEST FOR CHANGE ORDER 06

This correspondence is related to a request by Wiss, Janney, Elstner Associates, Inc. (WJE), to provide additional inspection services at various columns at the Peabody Street Parking Garage, per specifications and notes provided in their Site Visit Report #7, dated March 1, 2022. These column investigations shall include the removal of the brick veneer in order to expose the structural column(s) and allow WJE clear access. Once WJE has completed their assessment, the brick veneer will be replaced.

As such, Pullman SST, Inc. is pleased to present the following, inclusive of Project Management, Supervision, General Conditions and equipment:

SCOPE OF WORK: COLUMN INVESTIGATION

- Remove brick veneer (up to 10 SF each) at the following locations:
 - o Column 12A Level 1 beam end
 - o Column 13A Level 1 beam end
 - o Column 15A Level 1 beam end
 - Column 19A Level 2 beam end
 - o Column 13E Level 6 beam end
 - o Column 10J Level 1 beam end
- Assist WJE with access to all locations as necessary
- Replace brick veneer at above locations
- Final job-site clean-up

\$ 11,750.00

WORKING CONDITIONS

1. Workdays / Workhours: M – F, 7:00am – 5:00pm, Saturday 7:00am to 5:00pm as required

SUPPORT BY OTHERS (at no cost to PULLMAN SST) SHALL INCLUDE THE FOLLOWING:

- 1. Parking for service vehicles.
- 2. Storage area for equipment and materials
- 3. Restroom Facilities
- 4. Temporary heat or cold weather protection
- 5. 110V Electric
- 6. Potable Water
- 7. Testing and inspection
- 8. Hazardous material and/or abatement
- 9. Unobstructed access to work area in alleys and city sidewalks
- 10. City of Birmingham Inspections and/or permits are not included

SCHEDULE:

Work would commence immediately upon approval.

We appreciate the opportunity to work with you on this project and please contact us at 734.282.7760 (office) with any questions that you may have.

Sincerely,

Pullman SST, Inc.

James Travnik Project Manager John Schuster Division Manager

ATTACHMENT C



Detroit Branch 280 West Jefferson Trenton, MI 48183 Phone 734-282-7760 www.pullman-services.com

March 31, 2022

City of Birmingham 151 Martin Street Birmingham, Michigan 48009

Wiss, Janney, Elstner Associates, Inc. 30700 Telegraph Road, Ste, 3580 Bingham Farms, Michigan 48025

RE:

2021 PARKING STRUCTURE REPAIR PROJECTS
PEABODY STREET – ADDITIONAL COLUMN INVESTIGATION QUANTITES
REQUEST FOR CHANGE ORDER 07

This correspondence is related to a request by Wiss, Janney, Elstner Associates, Inc. (WJE), to provide additional inspection services at various columns at the Peabody Street Parking Garage, per specifications and notes provided in their Site Visit Report #7, dated March 1, 2022. These column investigations shall include the removal of the brick veneer in order to expose the structural column(s) and allow WJE clear access. Once WJE has completed their assessment, the brick veneer will be replaced.

During WJE's site visits, additional distress was noted at columns 10J, 11 and 12, which resulted in additional brick to be removed at the request of WJE. Additional brick beyond the original quantity of 60 SF was provided. In addition, Column 19A grew an additional 20 SF, and 13E added an additional 10 SF. Additional resources were incurred to better match the mortar design and brick procurement.

As such, Pullman SST, Inc. is pleased to present the following, inclusive of Project Management, Supervision, General Conditions and equipment:

SCOPE OF WORK: COLUMN INVESTIGATION

- Remove and replacement of brick veneer for an additional 60 SF
- Assist WJE with access to all locations as necessary
- Additional duration for rental equipment for access to 2nd floor column
- Final job-site clean-up

TOTAL LUMP SUM COST - NOT-TO-EXCEED BASIS:

\$ 12,000.00

4/4/2022

Page 2

WORKING CONDITIONS

1. Workdays / Workhours: M – F, 7:00am – 5:00pm, Saturday 7:00am to 5:00pm as required

SUPPORT BY OTHERS (at no cost to PULLMAN SST) SHALL INCLUDE THE FOLLOWING:

- 1. Parking for service vehicles.
- 2. Storage area for equipment and materials
- 3. Restroom Facilities
- 4. Temporary heat or cold weather protection
- 5. 110V Electric
- 6. Potable Water
- 7. Testing and inspection
- 8. Hazardous material and/or abatement
- 9. Unobstructed access to work area in alleys and city sidewalks
- 10. City of Birmingham Inspections and/or permits are not included

SCHEDULE:

Work would commence immediately upon approval.

We appreciate the opportunity to work with you on this project and please contact us at 734.282.7760 (office) with any questions that you may have.

Sincerely,

Pullman SST, Inc.

James Travnik Project Manager John Schuster Division Manager

ATTACHMENT D



FW: Peabody Columns - 75% Drawing Set and Scope Document

2 messages

Rush, Sarah <srush@wje.com>

Mon, Apr 4, 2022 at 11:51 AM

To: Ryan Weingartz <rweingartz@bhamgov.org>

Cc: "Lewis, Matthew" <mlewis@wje.com>, "Thibodeaux, Meredith" <MThibodeaux@wje.com>

Ryan,

Please find Pullman's cost estimate for the column repairs in the email thread below, which is based on the attached in-progress repair documents. I've also attached a simple Excel document which tabulates the anticipated contractor-related costs, including the fire sprinkler line re-routing.

I look forward to our meeting this afternoon.

Kind Regards,

Sarah V. Rush, P.E. Senior Associate

Wiss, Janney, Elstner Associates, Inc.
Engineers | Architects | Materials Scientists
30700 Telegraph Rd. Suite 3580, Bingham Farms, MI 48025
tel 248.594.0153 | mobile 248.508.1544 | fax 248.593.8532
www.wje.com_
srush@wje.com

From: Zach Carroll <zcarroll@pullman-services.com>

Sent: Monday, April 4, 2022 11:18 AM

To: Rush, Sarah <srush@wje.com>; Jim Travnik <jtravnik@pullman-services.com>; John Schuster <jschuster@pullman-services.

com>

Subject: RE: Peabody Columns - 75% Drawing Set and Scope Document

Sarah,

That's correct. The shoring cost in your spreadsheet is accurate, and would cover the duration of the base bid and alternate repairs.

Thanks!

Zach Carroll

Estimator



We Make Structures Stronger & Last Longer

280 W. Jefferson Ave.

Trenton, MI 48183

Mobile: 734-752-9266

zcarroll@pullman-services.com

www.pullman-services.com/detroit

From: Rush, Sarah <srush@wje.com> Sent: Monday, April 4, 2022 11:06 AM

To: Zach Carroll <zcarroll@pullman-services.com>; Jim Travnik <jtravnik@pullman-services.com>; John Schuster

<jschuster@pullman-services.com>

Subject: RE: Peabody Columns - 75% Drawing Set and Scope Document

Thank you, Zach! Can you please confirm your estimates assume a total of 2 months of shoring (1 month included in base installation cost and 1 add'l month of rental), which was discussed with John and Jim on Friday.

Thank you,

Sarah V. Rush, P.E.

Senior Associate

Wiss, Janney, Elstner Associates, Inc.

Engineers | Architects | Materials Scientists 30700 Telegraph Rd. Suite 3580, Bingham Farms, MI 48025 tel 248.594.0153 | mobile 248.508.1544 | fax 248.593.8532 www.wje.com_srush@wje.com

From: Zach Carroll <zcarroll@pullman-services.com>

Sent: Monday, April 4, 2022 11:01 AM

To: Rush, Sarah <srush@wje.com>; Jim Travnik <jtravnik@pullman-services.com>; John Schuster <jschuster@pullman-services.

com>

Subject: RE: Peabody Columns - 75% Drawing Set and Scope Document

Good Morning Sarah,

Based on the work scope and 75% drawings, our budgetary price for the 10A and 11A Column repairs is \$75,000.

For the add alternate at column 13E, we would be looking at a budget of \$6,000.

Let us know if you have any questions.

Thanks!

Zach Carroll

Estimator



We Make Structures Stronger & Last Longer

280 W. Jefferson Ave.

Trenton, MI 48183

Mobile: 734-752-9266

zcarroll@pullman-services.com

www.pullman-services.com/detroit

From: Rush, Sarah <srush@wje.com> Sent: Monday, April 4, 2022 8:48 AM

To: Jim Travnik jiravnik@pullman-services.com; Zach Carroll

<zcarroll@pullman-services.com>

Subject: Peabody Columns - 75% Drawing Set and Scope Document

Hi Jim, John, and Zach,

Please find the attached scoping document and our 75% complete "For Budgetary Pricing" drawing set. Please don't hesitate to call if you have any questions.

My meeting with Ryan is today at 3pm. It would be best if we can receive your pricing information between 12-2pm if possible. See the yellow highlighted cells in the attached excel document for the pricing information requested for Pullman, which I've updated from our meeting on Friday.

Kind Regards,

Sarah V. Rush, P.E.

Senior Associate

Wiss, Janney, Elstner Associates, Inc.

Engineers | Architects | Materials Scientists 30700 Telegraph Rd. Suite 3580, Bingham Farms, MI 48025 tel 248.594.0153 | mobile 248.508.1544 | fax 248.593.8532 www.wje.com_ srush@wje.com

The information contained in this transmission and any attachments are for the sole use of the intended recipient(s) and may be confidential, privileged, copyrighted or may constitute intellectual property. Any unauthorized review, use, disclosure or distribution of this transmission and any attachments is strictly prohibited. If you have received this transmission in error, please contact the sender and destroy all paper and/or electronic copies of this transmission.

The information contained in this transmission and any attachments are for the sole use of the intended recipient(s) and may be confidential, privileged, copyrighted or may constitute intellectual property. Any unauthorized review, use, disclosure or distribution of this transmission and any attachments is strictly prohibited. If you have received this transmission in error, please contact the sender and destroy all paper and/or electronic copies of this transmission.

3 attachments

2022-04-04_PeabodyColumn-Scope_MEMO.pdf

2022-04-04_PeabodyColumns_75%Set.pdf 1146K

Cost-Impacts_WJE-Estimate.xlsx 12K

Rush, Sarah <srush@wje.com>
To: Ryan Weingartz <rweingartz@bhamgov.org>

[Quoted text hidden]

Mon, Apr 4, 2022 at 3:25 PM



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY) 10/07/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

| this certificate does not confer i | rights to the certificate holder in lieu of s | 2.1 | | |
|------------------------------------|---|--|--------------------------|----------|
| PRODUCER | | CONTACT Willis Towers Watson Certificat | e Center | |
| Willis Towers Watson Southeast, | , Inc. | PHONE (A/C, No, Ext): 1-877-945-7378 | FAX (A/C, No): 1-888- | 467-2378 |
| c/o 26 Century Blvd | | CHAIL | (A/C, No): | |
| P.O. Box 305191 | | ADDRESS: certificates@willis.com | | |
| Nashville, TN 372305191 USA | | INSURER(S) AFFORDING COVERAGE | | NAIC# |
| | | INSURER A: National Union Fire Insurance | Company of P | 19445 |
| INSURED Pullman SST, Inc. | | INSURER B: XL Specialty Insurance Company | 7 | 37885 |
| 10150 Old Columbia Road | | INSURER C: AIU Insurance Company | | 19399 |
| Columbia, MD 21046 | | INSURER D: | | |
| | | INSURER E : | | |
| | | INSURER F: | | |
| 0.01/2014.000 | | The same and the s | | |

COVERAGES

CERTIFICATE NUMBER: W22437557

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

| NSR LTR | TYPE OF INSURANCE | ADDL | SUBR | POLICY NUMBER | POLICY EFF (MM/DD/YYYY) | (MM/DD/YYYY) | LIMIT | S | |
|------------|---|------|----------------|-------------------|----------------------------|---|--|----|-----------|
| | COMMERCIAL GENERAL LIABILITY | | | | | 100000000000000000000000000000000000000 | EACH OCCURRENCE | \$ | 2,000,00 |
| | CLAIMS-MADE X OCCUR | | | | | | DAMAGE TO RENTED PREMISES (Ea occurrence) | \$ | 1,000,00 |
| A | | | | | | | MED EXP (Any one person) | \$ | 10,00 |
| | | Y | | 693-89-32 | 07/01/2021 | | PERSONAL & ADV INJURY | \$ | 2,000,00 |
| | GEN'L AGGREGATE LIMIT APPLIES PER: | | | | | | GENERAL AGGREGATE | \$ | 4,000,00 |
| | POLICY X PRO- | | | | | | PRODUCTS - COMP/OP AGG | \$ | 4,000,00 |
| _ (| OTHER: | | | | | | A CONTRACTOR OF THE SECONDARY | \$ | |
| Ξij | AUTOMOBILE LIABILITY | | 111)- | | | | COMBINED SINGLE LIMIT (Ea accident) | \$ | 2,000,00 |
| | X ANY AUTO | | | | | 07/01/2022 | BODILY INJURY (Per person) | \$ | |
| A | OWNED SCHEDULED AUTOS ONLY | | | 286-74-23 | 07/01/2021 | | BODILY INJURY (Per accident) | \$ | |
| | X HIRED AUTOS ONLY X NON-OWNED AUTOS ONLY | | | | | | PROPERTY DAMAGE (Per sccident) | \$ | |
| | | | | | 4 | | | \$ | |
| В | X UMBRELLA LIAB X OCCUR | | | | | | EACH OCCURRENCE | \$ | 10,000,00 |
| | EXCESS LIAB CLAIMS-MADE | | | US00062096LI21A | 07/01/2021 | 07/01/2022 | AGGREGATE | \$ | 10,000,00 |
| | DED X RETENTION \$ 10,000 | | | | | | | \$ | |
| | WORKERS COMPENSATION | | | | | | X PER STATUTE ER | | |
| c | ANYPROPRIETOR/PARTNER/EXECUTIVE | N/A | WC 063-72-4479 | WC 063-72-4479 07 | 07 (01 (0001 | 07/01/0000 | E.L. EACH ACCIDENT | \$ | 1,000,00 |
| | (Mandatory In NH) | N/A | | | 07/01/2021 | 07/01/2022 | E.L. DISEASE - EA EMPLOYEE | \$ | 1,000,00 |
| | If yes, describe under DESCRIPTION OF OPERATIONS below | | | | | | E.L. DISEASE - POLICY LIMIT | \$ | 1,000,00 |
| | | | | | | | | | |

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

COI # : IC-0505443

Proposal / Job # 612519

Birmingham Park, Peabody, and Chester Parking Structure

When required by written contract, The City of Birmingham, including all elected and appointed officials, all employee and volunteers, all boards, commissions and/or authorities and board members, including employees and volunteers

| CERTIFICATE HOLDER | CANCELLATION |
|-----------------------|--|
| | SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. |
| City of Birmingham MI | AUTHORIZED REPRESENTATIVE |
| 151 Martin Street | arlyn meunha |
| Birmingham, MI 48009 | wayn muma |

© 1988-2016 ACORD CORPORATION. All rights reserved.

| AGENCY CUSTOMER ID: | |
|---------------------|--|
| 1.00 # | |



ADDITIONAL REMARKS SCHEDULE

Page 2 of 2

| AGENCY Willis Towers Watson Southeast, I | nc. | NAMED INSURED Pullman SST, Inc. 10150 Old Columbia Road | |
|---|------------|---|--|
| POLICY NUMBER | | Columbia, MD 21046 | |
| See Page 1 | | | |
| CARRIER | NAIC CODE | | |
| See Page 1 | See Page 1 | EFFECTIVE DATE: See Page 1 | |

| VARINER | NAIC CODE | |
|--|--------------|--|
| See Page 1 | See Page 1 | EFFECTIVE DATE: See Page 1 |
| ADDITIONAL REMARKS | | |
| THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO AC | ORD FORM | |
| | | Insurance |
| | | |
| thereof are included as Additional Insureds with | h respect to | General Liability. |
| | | |
| | | surance is primary and non-contributory with other General |
| Liability insurance maintained by the Additional | I insureds. | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

ACORD 101 (2008/01)

© 2008 ACORD CORPORATION. All rights reserved.

CERT: W22437557



Treasurer's Office

DATE:

4/11/2022

TO:

Thomas M. Markus, City Manager

FROM:

Jack Todd, Deputy Treasurer

Mark Gerber, Finance Director/Treasurer

SUBJECT:

Resolution for Confirming S.A.D. #897S and S.A.D #897W

S. Old Woodward Water & Sewer Lateral Special Assessment

INTRODUCTION:

A public hearing on the confirmation of the special assessment roll for sewer and water lateral improvements on S. Old Woodward from Brown St. to Landon St. is being held on April 11th, 2022. The special assessment will defray the costs to the City for public improvements made to sewer and water laterals on S. Old Woodward from Brown St. to Landon St. If the City Commission confirms the roll, the property owners who proportionally benefit from these improvements will be assessed for the cost of the improvements.

Due to an increase in cost between the engineers' estimate, presented at the Hearing of Necessity, and the as submitted bid result for items associated with water and sewer lateral replacement prices, the City has revised the estimated costs associated with S.A.D. #897S and S.A.D. #897W. Attached is an updated estimate cost spreadsheet for the confirmation of the roll, and a spreadsheet that compares estimated costs presented at the Hearing of Necessity based on the engineers' estimate for the project and the updated costs based on the bid costs for the project. Project items have increased approximately 70.6% per linear foot for sewer lateral work and approximately 46.7% per linear foot for water lateral work.

Comments during the hearing of confirmation are limited to those questions or objections submitted in writing or orally specifically addressing the assessment roll pursuant to Section 94-9 of the City Code.

BACKGROUND:

At the City Commission meeting held on March 14, 2022, the City Commission determined the necessity of the S. Old Woodward Water and Sewer Lateral project and a Hearing of Confirmation of the Special Assessment Roll was set for April 11th, 2022.

There are two (2) special assessment rolls being confirmed. One (1) is for the sewer improvements (SAD 897S), and one is for the water improvements (SAD 897W). These rolls are being separated because they will be defraying the costs of two (2) public improvements and from two (2) separate funds. Our accounting system requires separate accounts.

LEGAL REVIEW:

The purpose of this hearing is to review and hear any objections, either in writing or orally, to the special assessment roll. The special assessment roll is a listing of all of the properties and lots to be assessed for the public improvements to the property. Pursuant to the City Code at Sec. 94-9, whenever a special assessment roll shall be confirmed by the Commission, it should be final and conclusive.

FISCAL IMPACT:

If confirmed, the special assessments will defray the costs to the Sewer Fund \$52,925 and to the Water Fund \$2,640. Property owners will have ten (10) years to pay the special assessment at four and one-half percent (4.5%) interest rate, billed annually.

PUBLIC COMMUNICATIONS:

Property owners were notified by first class mail of the public hearing dates. If the City Commission confirms the special assessment rolls, the Treasurer's office will notify the property owners in the special assessment district of the confirmation and the lien on their property by first class mail.

SUMMARY:

The Treasurer's office recommends that the City Commission conduct the public hearing of confirmation of special assessment districts 897S and 897W and further to confirm the rolls as attached to this memo.

ATTACHMENTS:

- Proposed Special Assessment Rolls
- Comparison of Engineering Estimate and Bid Results
- Memorandum: Hearing of Necessity for S. Old Woodward Water and Sewer SAD
- Memorandum: Clerk's Confirmation of Public Hearing Notice: Necessity & Confirmation: Old Woodward Water & Sewer Special Assessment District
- Letter of Protest of Special Assessment from The New 555 Residential, LLC; The New 555 Commercial, LLC; and Manorwood Properties, LLC dated March 14, 2022

SUGGESTED COMMISSION ACTION:

Make a motion adopting a resolution confirming Special Assessment Rolls 897S and 897W as follows:

WHEREAS, Special Assessment Roll, designated Roll No. 897S and Roll No. 897W, has heretofore been estimated by the City Engineer, and prepared for collection by the City Treasurer; and

WHEREAS, notice was given pursuant to Section 94-7 of the City Code, to each owner or party-in-interest of property and lots to be assessed contained in this Roll, by first class mail, and by publication in the newspaper and generally circulated in the City; and

WHEREAS, at said hearing held on April 11, 2022, all those property owners and/or lot owners, or their representatives have been given an opportunity to be heard for any objections to the roll and costs thereof for said special assessment roll; and,

WHEREAS, the Commission, after considering all objections before them, either orally or in writing, to the special assessment roll, and having made such a record, the Commission determines that it is satisfied with said special assessment roll; and

WHEREAS, the Commission, after hearing all objections and making a record, has deemed that such assessments are in proportion to the benefits received; and

WHEREAS, the Commission directs the City Manager to spread the various sums in amounts appearing thereon as prepared by the City Engineer to be placed on the special assessment roll; and

WHEREAS, the placement of the special assessment roll shall be on file in the City Clerk's Office; and

WHEREAS, the City Commission directs the City Clerk to attach his/her warrant to a certified copy of the special assessment roll within ten (10) days; and

WHEREAS, the City Commission commands the City Treasurer to bill and collect the special assessments to be due within sixty (60) days of billing; and

WHEREAS, the City Commission further directs the Treasurer to give notice by first class mail to each property owner on the special assessment roll that the roll has been confirmed on this date; and

WHEREAS, the Treasurer is directed to notify by first class mail each property owner or lot owner on the special assessment roll of their obligation to pay the amount assessed; and

WHEREAS, the Special Assessment Notice will include the amount to be paid, the time to be paid, and any interest obligated for the installment payments; and

WHEREAS, when the special assessment will be paid in installments, the notice shall state the due date of the first installment and the date from which interest will be charged on all future installments.

NOW, THEREFORE, BE IT RESOLVED, that Special Assessment Roll No. 897S and Roll No. 897W be in all things ratified and confirmed, and that the City Clerk be and is hereby instructed to endorse said roll, showing the date of confirmation thereof, and to certify said assessment roll to the City Treasurer for collection at or near the time of construction of the improvement.

BE IT FURTHER RESOLVED, that special assessment shall be payable in ten (10) payments as provided in Section 94-10 of the Code of the City of Birmingham, with an annual interest rate of four and one-half percent (4.5%) on all unpaid installments.

| | Sewer Special Assessment SAD897S and Water Special Assessment 897W Roll | | | | | | |
|------------------|---|--------------|-------------|-----------------|-----------------|--------------|--|
| Sidwell | Street Address | Service Type | Est. length | Bid Sewer \$/ft | Bid Water \$/ft | Bid Est Cost | |
| 08-19-36-204-027 | 300 S Old Woodward | Sewer | 44 | 145 | | \$ 6,380.00 | |
| 08-19-36-208-016 | 355 S Old Woodward | Sewer | 41 | 145 | | \$ 5,945.00 | |
| 08-19-36-205-041 | 444 S Old Woodward | Sewer | 14 | 145 | | \$ 2,030.00 | |
| 08-19-36-253-028 | 588 S Old Woodward | Sewer | 42 | 145 | | \$ 6,090.00 | |
| 08-19-36-253-029 | 608 S Old woodward | Sewer | 42 | 145 | | \$ 6,090.00 | |
| 08-19-36-253-034 | 690 S Old Woodward | Sewer | 42 | 145 | | \$ 6,090.00 | |
| 08-19-36-253-025 | 750 S Old Woodward | Water | 24 | | 110 | \$ 2,640.00 | |
| 08-19-36-253-025 | 750 S Old Woodward | Sewer | 42 | 145 | | \$ 6,090.00 | |
| 08-19-36-278-012 | 808 S Old Woodward | Sewer | 42 | 145 | | \$ 6,090.00 | |
| 08-19-36-279-005 | 950 S Old Woodward | Sewer | 56 | 145 | | \$ 8,120.00 | |
| | | | | | | | |
| | | | | | Sewer | \$ 52,925.00 | |
| | | | | | Water | \$ 2,640.00 | |

| | | Comparison o | f Engineeri | ng Estimate | and Final 6 | Bid | | | |
|------------------|--------------------|--------------|----------------|--------------------|--------------------|-------------------------|-----------------------|-----------------------|-----------------|
| Sidwell | Street Address | Service Type | Est. length | Sewer Est \$/ft | Water Est \$/ft | Eng. Est. Total Cost | Bid Sewer \$/ft | Bid Water \$/ft | Bid Est Cost |
| 08-19-36-204-027 | 300 S Old Woodward | Sewer | 44 | \$ 85.00 | | \$ 3,740.00 | \$145.00 | | \$6,380.00 |
| 08-19-36-208-016 | 355 S Old Woodward | Sewer | 41 | \$ 85,00 | | \$ 3,485.00 | \$145.00 | | \$5,945.00 |
| 08-19-36-205-041 | 444 S Old Woodward | Sewer | 14 | \$ 85,00 | | \$ 1,190.00 | \$145.00 | | \$2,030.00 |
| 08-19-36-253-028 | 588 S Old Woodward | Sewer | 42 | \$ 85.00 | | \$ 3,570.00 | \$145.00 | | \$6,090.00 |
| 08-19-36-253-029 | 608 S Old woodward | Sewer | 42 | \$ 85,00 | | \$ 3,570.00 | \$145.00 | | \$6,090.00 |
| 08-19-36-253-034 | 690 S Old Woodward | Sewer | 42 | \$ 85.00 | | \$ 3,570.00 | \$145.00 | | \$6,090.00 |
| 08-19-36-253-025 | 750 S Old Woodward | Water | 24 | | \$ 75.00 | \$ 1,800.00 | | \$110.00 | \$2,640.00 |
| 08-19-36-253-025 | 750 S Old Woodward | Sewer | 42 | \$ 85.00 | | \$ 3,570.00 | \$145.00 | | \$6,090.00 |
| 08-19-36-278-012 | 808 S Old Woodward | Sewer | 42 | \$ 85.00 | | \$ 3,570.00 | \$145.00 | | \$6,090.00 |
| 08-19-36-279-005 | 950 S Old Woodward | Sewer | 56 | \$ 85.00 | | \$ 4,760.00 | \$145.00 | | \$8,120.00 |
| | | | | | | | | | |
| | | | | | | | | Sewer | \$52,925.00 |
| | | | | | | | | Water | \$2,640.00 |



(Engineering)

DATE:

March 9, 2022

TO:

Thomas M. Markus, City Manager

FROM:

Scott D. Zielinski, Assistant City Engineer

SUBJECT:

Hearing of Necessity for S. Old Woodward Water and Sewer SAD

INTRODUCTION:

A number of water and sewer leads will be replaced this summer as part of the Engineering Department's planned downtown area Phase 3 reconstruction project along South Old Woodward between Brown Street and Landon Street. This project is similar to work that was completed in 2018 for Phase 1 of Old Woodward from Oakland Ave to Brown St., and in 2020 for Phase 2 work completed on Maple Rd from Southfield Road to Pierce St., and from Old Woodward Ave. to Woodward Ave where the City also replaced sewer and water leads. The City intends to replace Sewer and Water leads meeting certain "useful life" criteria in the Right-Of-Way (ROW) in an effort to protect the road improvement investment.

BACKGROUND:

In accordance with current City policy established to protect the public investment being made when reconstructing roadways, as part of the project, we intend to replace all sewer laterals that are 50 years of age or older, as well as all water services less than 1 inch diameter. All unsuitable sewer services will be replaced with 6" schedule 40 PVC, and water services less than 1 inch in diameter will be replaced with a new 1 inch diameter service, for service lengths located underneath the new planned pavement.

In accordance with rules from the Michigan Dept. of Environmental, Great Lakes, and Energy (EGLE) requiring the complete removal of lead water services from the water main to the water meter on private property, any such water service will also be replaced as part of the project. Per EGLE, the City is not allowed to charge a property owner for costs associated with replacement of an existing lead water service.

The parcels within the project zone that are subject to the Sewer & Water Lateral Special Assessment are highlighted on the attached map. Appended to this report is a list of properties that the department plans to include in the assessment district, along with estimated construction costs to be assessed at the Hearing of Necessity.

LEGAL REVIEW:

Chapter 94 — Special Assessments of the Birmingham City Code outlines the process by which a special assessment is conducted in the City of Birmingham. This project will follow the prescribed City Code procedures.

FISCAL IMPACT:

Revenue generated from the Water and Sewer Lateral SAD for the Phase 3 Old Woodward Reconstruction project will defray the costs incurred by the City for construction of these improvements.

PUBLIC COMMUNICATIONS:

Notice for the Confirmation of Roll is to be distributed by the Clerk's Office. The Engineering Department has sent all property owners a letter explaining the associated work. The design team held an informational meeting regarding the project on Monday, Fébruary 21, 2022 from 5:30-7:00 p.m. at City Hall in the Commission Room (a zoom link was also provided on the City website for remote viewing). The team discussed the project overview, traffic access during construction, Birmingham Shopping District initiatives during construction, and special assessments related to the project. A recording of this meeting is available on the city's website at www.bhamqov.org/oldwoodwardphase3.

SUMMARY:

The Engineering Department recommends that the commission declare necessity and approve a Special Assessment District for the replacement of Water and Sewer leads as part of the Phase 3 South Old Woodward Reconstruction. Should the Commission form the Special Assessment District, a Public Hearing for Confirmation of the Roll should be set on April 11, 2022.

ATTACHMENTS:

Map of proposed Special Assessment District

Spread Sheet with Estimated Costs of Services

Clerk's Confirmation of Public Hearing Notice

SUGGESTED COMMISSION ACTION:

Make a motion adopting a resolution declaring necessity and approving a Special Assessment District with special assessments levied in accordance with benefits against the properties within such assessment district. The special assessment district shall include all properties within the following district of **10** parcels (listed below), and the City Commission will meet on Monday, April 11, 2022 at 7:30 P.M. for the purpose of conducting the Public Hearing to Confirm the Assessment Roll for the water and sewer lateral replacements for properties within the project area on South Old Woodward Avenue, between Brown Street and Landon Street.

| Parcel ID | Street Address |
|------------|--------------------|
| 1936204027 | 300 S Old Woodward |
| 1936208016 | 355 S Old Woodward |

| 1936205041 | 444 S Old Woodward |
|------------|---------------------------------|
| 1936210001 | 555 S Old Woodward (N building) |
| 1936210001 | 555 S Old Woodward (S Building) |
| 1936253028 | 588 S Old Woodward |
| 1936253029 | 608 S Old Woodward |
| 1936253034 | 690 S Old Woodward |
| 1936253025 | 750 S Old Woodward |
| 1936278012 | 808 S Old Woodward |
| 1936279005 | 950 S Old Woodward |

Property ID's and Estimated Costs

| Parcel ID | Street Address | Service For SAD | Esti | mated Cost |
|------------|---------------------------------|-----------------|------|------------|
| 1936204027 | 300 S Old Woodward | Sewer | \$ | 3,740.00 |
| 1936208016 | 355 S Old Woodward | Sewer | \$ | 3,485.00 |
| 1936205041 | 444 S Old Woodward | Sewer | \$ | 1,190.00 |
| 1936210001 | 555 S Old Woodward (N building) | Sewer | \$ | 3,400.00 |
| 1936210001 | 555 S Old Woodward (S Building) | Sewer | \$ | 3,400.00 |
| 1936253028 | 588 S Old Woodward | Sewer | \$ | 3,570.00 |
| 1936253029 | 608 S Old Woodward | Sewer | \$ | 3,570.00 |
| 1936253034 | 690 S Old Woodward | Sewer | \$ | 3,570.00 |
| 1936253025 | 750 S Old Woodward | Water & Sewer | \$ | 5,370.00 |
| 1936278012 | 808 S Old Woodward | Sewer | \$ | 3,570.00 |
| 1936279005 | 950 S Old Woodward | Sewer | \$ | 4,760.00 |



Legend

Property ID's and Estimated Costs

| Parcel ID | Street Address | Service For SAD | Esti | mated Cost |
|------------|---------------------------------|-----------------|------|------------|
| 1936204027 | 300 S Old Woodward | Sewer | \$ | 3,740.00 |
| 1936208016 | 355 S Old Woodward | Sewer | \$ | 3,485.00 |
| 1936205041 | 444 S Old Woodward | Sewer | \$ | 1,190.00 |
| 1936210001 | 555 S Old Woodward (N building) | Sewer | \$ | 3,400.00 |
| 1936210001 | 555 S Old Woodward (S Building) | Sewer | \$ | 3,400.00 |
| 1936253028 | 588 S Old Woodward | Sewer | \$ | 3,570.00 |
| 1936253029 | 608 S Old Woodward | Sewer | \$ | 3,570.00 |
| 1936253034 | 690 S Old Woodward | Sewer | \$ | 3,570.00 |
| 1936253025 | 750 S Old Woodward | Water & Sewer | \$ | 5,370.00 |
| 1936278012 | 808 S Old Woodward | Sewer | \$ | 3,570.00 |
| 1936279005 | 950 S Old Woodward | Sewer | \$ | 4,760.00 |



Clerk's Office

DATE:

Thursday, March 10, 2022

TO:

Scott Zielinski, Assistant City Engineer

FROM:

Christina Woods, Deputy Clerk

SUBJECT:

Clerk's Confirmation of Public Hearing Notice: Necessity &

Confirmation: Old Woodward Water & Sewer Special Assessment

District

The public hearing of necessity and confirmation notice process has been completed for the Old Woodward Water & Sewer Special Assessment District. Please see attachments for further confirmation.

Mailing Date: March 4, 2022

Publishing Dates in the Birmingham Eccentric: February 27 & March 6 2022

Also posted on www.bhamgov.org/publicnotices

Attachments:

- 1. Public Hearing Notice
- 2. Addresses
- 3. Mailing Letter
- 4. Affidavit of publishing

| | NOTICE OF PUBLIC HEARINGS | | | | | | | |
|---|--|--|--|--|--|--|--|--|
| BIRMINGHAM CITY COMMISSION | | | | | | | | |
| PUBLIC HEARING OF NECESSITY | | | | | | | | |
| | PUBLIC HEARING OF CONFIRMATION | | | | | | | |
| Meeting Date, Time, Location: HEARING OF NECESSITY FOR SPECIAL ASSESSMEN DISTRICT | | | | | | | | |
| | Monday, Monday, March 14, 2022, 7:30 PM | | | | | | | |
| | Municipal Building, 151 Martin, Birmingham, MI 48009 | | | | | | | |
| Meeting Date, Time, Location: HEARING OF CONFIRMATION FOR SPECIA ASSESSMENT DISTRICT | | | | | | | | |
| | Monday, April 11, 2022, 7:30 PM | | | | | | | |
| | Municipal Building, 151 Martin, Birmingham, MI 48009 | | | | | | | |
| Project Location: | S. Old Woodward Avenue, from Brown St. to Landon St. | | | | | | | |
| Nature of Improvement: | Replacement and improvement of water and sewer leads meeting the requirements for assessment, for all properties within project area | | | | | | | |
| City Staff Contact: | Scott Zielinski, Assistant City Engineer szielinski@bhamgov.org, (248)530-1838 | | | | | | | |
| Notice Requirements: Mail to affected property owners Publish February 27, 2022 & March 6, 2022 | | | | | | | | |
| Approved minutes may be reviewed at: | City Clerk's Office | | | | | | | |

Should you have any statement regarding the above, you are invited to attend the meeting in person or virtually through ZOOM: https://zoom.us/j/655079760 Meeting ID: 655 079 760

You or your agent may appear at the hearings to express your views; however, if you fail to protest either in person or by letter received on or before the date of the hearing, you cannot appeal the amount of the special assessment to the Michigan Tax Tribunal. Mail any correspondence to: City Clerk, P.O. Box 3001, Birmingham, MI 48012.

The property owner may file a written appeal of the special assessment with the State Tax Tribunal within 30 days after the confirmation of the special assessment roll if that special assessment was protested at the hearing held for the purpose of confirming the roll.

All special assessments, including installment payments, shall, from the date of the confirmation thereof, constitute a lien on the respective lots or parcels assessed, and until paid shall be charged against the respective owners of the lots or parcels assessed.

Persons with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk's Office at 248.530.1880 (voice) or 248.644.5115 (TDD) at least one day in advance to request mobility, visual, hearing or other assistance.

| Parcel | Name | Address | City | State | 7in |
|------------|------------------------------------|--|--------------------------|-------|----------------|
| | WOODWARD DEVELOPMENT LLC | 15 KOCH RĐ | CORTE MADERA | CA | 94925 |
| 1936205026 | FLORENCE SHARE | 333 W FORT ST FL 12TH | DETROIT | MI | 48226 |
| | GALYN ASSOCIATES LTD PTNSHP | 1435 N GLENGARRY RD | BLOOMFIELD HILLS | MI | 48301 |
| 1936205043 | NBNS LLC | 180 HIGH OAK RD | BLOOMFIELD HILLS | MI | 48304 |
| 1936208015 | 325 S OLD WOODWARD LLC | 330 HAMILTON ROW STE 300 | BIRMINGHAM | MI | 48009 |
| 1936208016 | FULLER CENTRAL PARK PRPRTS | 112 PEABODY ST | BIRMINGHAM | MI | 48009 |
| 1936208017 | HANA ALJOUR | 411 S OLD WOODWARD AVE # 906 | BIRMINGHAM | М | 48009 |
| 1936208017 | LISA M HUSSMAN | 11070 RESORT RD STE 307 | ELLICOTT CITY | MD | 21042 |
| 1936208017 | PETER SAROTTE | 411 S OLD WOODWARD AVE # 515 | BIRMINGHAM | MI | 48009 |
| 1936208017 | WAAD INVESTMENTS LLC | 4805 BANTRY DR | WEST BLOOMFIELD | MI | 48322 |
| 1936208017 | NIKOLE L FINE | 883 EMMONS AVE | BIRMINGHAM | MI | 48009 |
| 1936208017 | TONI STREIT | 411 S OLD WOODWARD AVE # 523 | BIRMINGHAM | MI | 48009 |
| 1936208017 | CORCORAN STREET PROPERTIES LLC | 3560 ROLAND DR | BLOOMFIELD HILLS | MI | 48301 |
| 1936208017 | STEVEN H MUSKOVITZ | 16146 BELFORD DR | MILTON | GA | 30004 |
| 1936208017 | LORNA G WESTFALL | 28347 CHATHAM RD | GROSSE ILE | MI | 48138 |
| 1936208017 | ROBERT P LEVIN | 411 S OLD WOODWARD AVE # 510 | BIRMINGHAM | MI | 48009 |
| 1936208017 | VALERIE A FOLEY | 411 S OLD WOODWARD AVE # 508 | BIRMINGHAM | MI | 48009 |
| 1936208017 | KEVIN COOPER | 3847 BOULDER DR | TROY | MI | 48084 |
| 1936208017 | GEORGIANNA STEUDLE | 1149 HILLPOINTE CIR | BLOOMFIELD HILLS | MI | 48304 |
| 1936208017 | | 411 S OLD WOODWARD AVE # 500 | BIRMINGHAM | MI | 48009 |
| | STACIE JILL LEIB | 411 S OLD WOODWARD AVE # 601 | BIRMINGHAM | MI | 48009 |
| | KAM PROPERTIES LLC | 511 OLDE TOWNE RD UNIT 81515 | ROCHESTER | MI | 48308 |
| | FRANCIS A ENGELHARDT | 411 S OLD WOODWARD AVE # 904 | BIRMINGHAM | MI | 48009 |
| | EUNICE GALPERIN REVOC TRUST | 411 S OLD WOODWARD AVE # 902 | BIRMINGHAM | MI | 48009 |
| | DAVID A ROBINSON | 28145 GREENFIELD RD STE 100 | SOUTHFIELD | MI | 48076 |
| | GERALD F REINHART | 390 PARK ST STE 222 | BIRMINGHAM | MI | 48009 |
| | STUART D SHERR | 31300 ORCHARD LAKE RD STE 200 | FARMINGTON HILLS | MI | 48334 |
| | GERALD F REINHART | 32700 BINGHAM LN | BINGHAM FARMS | MI | 48025 |
| 1936208017 | | 411 S OLD WOODWARD AVE # 1007 | BIRMINGHAM | МІ | 48009 |
| | MARY LOU GILDERS | 8600 95TH AVE | EVART | MI | 49631 |
| | CARINE VAN LANDSCHOOT | 411 S OLD WOODWARD AVE # 607 | BIRMINGHAM | MI | 48009 |
| | EUGENE I WITTSTOCK | 411 S OLD WOODWARD AVE # 621 | BIRMINGHAM | MI | 48009 |
| | GREGORY W GEIGER | 628 WOODLAND ST | BIRMINGHAM | MI | 48009 |
| | DORIS A HANNA REVOC TRUST | 3755 WALNUT BROOK DR | ROCHESTER HILLS | MI | 48309 |
| | RAMA K P PINNAMANENI | 411 S OLD WOODWARD AVE # 622 | BIRMINGHAM | MI | 48009 |
| | DAVID SZCZUPAK | 28870 GIRARD TER | NAPLES | FL | 34119 |
| | TANZANITE 61 LLC SHIRLEY NAKASH | 3041 HERON POINTE DR | BLOOMFIELD HILLS | MI | 48302 |
| | MARIA A CHIRCO | PO BOX 7137 | BLOOMFIELD HILLS | MI | 48302 |
| 1936208017 | | 411 S OLD WOODWARD AVE # 929 | BIRMINGHAM | MI | 48009 |
| | ESTELLE MILLER REVOC TRUST | 411 5 OLD WOODWARD AVE # 931 | BIRMINGHAM BIRMINGHAM | MI | 48009 48009 |
| | MUNE GOWDA | 411 S OLD WOODWARD AVE # 924 | BIRMINGHAM | | |
| 1936208017 | | 411 S OLD WOODWARD AVE # 922 239 N GLENHURST DR | BLOOMFIELD HILLS | MI | 48009 48301 |
| | EDWIN B SHAW | 411 5 OLD WOODWARD AVE # 910 | BIRMINGHAM | MI | 48009 |
| | SUSAN WINSHALL REVOC TRUST | 411 5 OLD WOODWARD AVE # 910 | BIRMINGHAM | MI | 48009 |
| | VANGELOFF PROPERTIES LLC | 411 S OLD WOODWARD AVE UNIT 718 | BIRMINGHAM | MI | 48009 |
| | SAMUEL MCKNIGHT | 411 S OLD WOODWARD AVE ON 1718 | BIRMINGHAM | MI | 48009 |
| 1936208017 | CHRISTOPOHER P AMMANN TRUST | 411 S OLD WOODWARD AVE # 1025 | BIRMINGHAM | MI | 48009 |
| 1936208017 | FREDERICK C YEAGER REVOC TRUST | 411 S OLD WOODWARD AVE # 506 | BIRMINGHAM | MI | 48009 |
| 1936208017 | ALEX S PAUL | 411 S OLD WOODWARD AVE # 606 | BIRMINGHAM | MI | 48009 |
| 1936208017 | SUSAN A MASCIA | 411 S OLD WOODWARD AVE # 706 | BIRMINGHAM | MI | 48009 |
| 1936208017 | SILVIO COZZETTO | 411 5 OLD WOODWARD AVE # 806 | BIRMINGHAM | MI | 48009 |
| 1936208017 | SHIRLEY NAKASH REVOC TRUST | PO BOX 7137 | BLOOMFIELD HILLS | MI | 48302 |
| 1936208017 | MTM INVESTMENTS HOLDINGS LLC | 325 S OLD WOODWARD AVE STE 2 | BIRMINGHAM | MI | 48009 |
| 1936208017 | STEVE LINTON | 55 S MAIN ST STE 345 | NAPERVILLE | IL | 60540 |
| 1936208017 | 9003 ASSOCIATES LLC | 5480 CORPORATE DR STE 230 | TROY | MI | 48098 |
| 1936208017 | STEVEN H MUSKOVITZ | 16146 BELFORD DR | MILTON | GA | 30004 |
| 1936208017 | FREDERICK A FROMM | 411 S OLD WOODWARD AVE # 1006 | BIRMINGHAM | MI | 48009 |
| 1936208017 | ROBERT SLOAN | 411 S OLD WOODWARD AVE # 630 | BIRMINGHAM | MI | 48009 |
| 1936208017 | MICHEL M HANNA | 2894 MEADOWOOD LN | BLOOMFIELD HILLS | М | 48302 |
| 1936208017 | JEFFREY M FRATARCANGELI | 558 STANLEY BLVD | BIRMINGHAM | MI | 48009 |
| 1936208017 | KAREN ZACK | 411 S OLD WOODWARD AVE # 625 | BIRMINGHAM | МІ | 48009 |
| | | | | | |

| 40040000 | | *** | | | | |
|------------|------------------------------------|---|-------------------------|----|-------|--|
| | 7 GERALD F BAKER III | 411 S OLD WOODWARD AVE # 629 | BIRMINGHAM | MI | 48009 | |
| | 7 OLD WOODWARD 631 LLC | 39475 W 13 MILE RD STE 203 | NOVI | MI | 48377 | |
| | 7 ANN ELIZABETH MILLER COHEN TRUST | 411 S OLD WOODWARD AVE # 610 | BIRMINGHAM | MI | 48009 | |
| | 7 SHANDA RUMBLE REVOC TRUST | 411 S OLD WOODWARD AVE # 608 | BIRMINGHAM | MI | 48009 | |
| | 7 CAROLINE DANESHVAR | 411 S OLD WOODWARD AVE # 604 | BIRMINGHAM | MI | 48009 | |
| 1936208017 | 7 DANA ABNER | 121 W LONG LAKE RD STE 300 | BLOOMFIELD HILLS | MI | 48304 | |
| 1936208017 | 7 MAX A SURNOW | 320 MARTIN ST STE 100 | BIRMINGHAM | MI | 48009 | |
| 1936208017 | 7 JASON R LUCKOFF IRR TRUST | 411 S OLD WOODWARD AVE # 701 | BIRMINGHAM | MI | 48009 | |
| 1936208017 | 7 DEBRA JO ELSHOLZ | 411 S OLD WOODWARD AVE # 703 | BIRMINGHAM | MI | 48009 | |
| 1936208017 | 7 411 BIRMINGHAM PLACE LLC | 6609 QUEEN ANNE DR | WEST BLOOMFIELD | MI | 48322 | |
| 1936208017 | 7 RENEE LOSSIA ACHO | 3467 SUTTON PL | BLOOMFIELD HILLS | MI | 48301 | |
| 1936208017 | 7 LISA GROFFSKY ARONSON | 1823 N HONORE ST | CHICAGO | IL | 60622 | |
| 1936208017 | 7 MARY NALBANDIAN | 3015 BROCKMAN BLVD | ANN ARBOR | М | 48104 | |
| 1936208017 | 7-WILLIAM D KOLB LIVING TRUST | 411 S OLD WOODWARD AVE # 518 | BIRMINGHAM | MI | 48009 | |
| 1936208017 | 7 ANDREW RUST | 411 S OLD WOODWARD AVE # 514 | BIRMINGHAM | MI | 48009 | |
| 1936208017 | 7 CHRISTOPHER M AMBROSE | 146 S WASHINGTON ST | OXFORD | MI | 48371 | |
| 1936208017 | 7 KAREN REINHART | 32700 BINGHAM LN | BINGHAM FARMS | MI | 48025 | |
| | 7 VINAY PALLEGAR | 411 S OLD WOODWARD AVE # 507 | BIRMINGHAM | MI | 48009 | |
| 1936208017 | 7 SAMANTHA TULLIO | 411 S OLD WOODWARD AVE # 1011 | BIRMINGHAM | MI | 48009 | |
| | 7 GAYLE S GOODMAN | 411 5 OLD WOODWARD AVE # 912 | BIRMINGHAM | MI | 48009 | |
| | 7 BARBARA A ZAGUROLI | 411 S OLD WOODWARD AVE # 707 | | | | |
| | 7 ANDREW RICH | 411 S OLD WOODWARD AVE # 707 | BIRMINGHAM | MI | 48009 | |
| | 7 TRG BP LLC | 390 PARK ST STE 222 | BIRMINGHAM | MI | 48009 | |
| | | | BIRMINGHAM | MI | 48009 | |
| | 7 ERIN LEIGH MELLOTT | 411 5 OLD WOODWARD AVE # 730 | BIRMINGHAM | MI | 48009 | |
| | 7 MICHIGAN-MR LLC | PO BOX 2585 | PALM BEACH | FL | 33480 | |
| | 7 ANVITA SINHA | 10224 FOX BOROUGH DR | OAKDALE | CA | 95361 | |
| | 7 JUDY M JENNINGS | 411 S OLD WOODWARD AVE # 722 | BIRMINGHAM | MI | 48009 | |
| | 7 SHIRLEY VANGELOFF | 6278 N FEDERAL HWY # 414 | FORT LAUDERDALE | FL | 33308 | |
| | 7 CYNTHIA M VAKHARIYA | 142 WESTCHESTER WAY | BIRMINGHAM | MI | 48009 | |
| 1936208017 | 7 WILLY CHWANG | 27 ARTISAN WAY | MENLO PARK | CA | 94025 | |
| | 7 LOUIS P ROCHKIND | 411 5 OLD WOODWARD AVE # 710 | BIRMINGHAM | MI | 48009 | |
| 1936208017 | 7 GREGORY A CARNAGO | 667 E BIG BEAVER RD STE 201 | TROY | MI | 48083 | |
| 1936208017 | 7 BRADLEY STEEL | 411 S OLD WOODWARD AVE # 704 | BIRMINGHAM | Mi | 48009 | |
| 1936208017 | 7 THOMAS BEELER TRUSTEE | 258 GOLDEN GATE PT # 801 | SARASOTA | FL | 34236 | |
| 1936208017 | 7 BP SPS LLC | 1829 WESTRIDGE DR | ROCHESTER HILLS | MI | 48306 | |
| 1936208017 | 7 MERI BARASH | 500 NE 15TH AVE | FORT LAUDERDALE | FL | 33301 | |
| 1936208017 | MELVYN C STERNFELD | 411 S OLD WOODWARD AVE # 802 | BIRMINGHAM | MI | 48009 | |
| 1936208017 | 7 ALAN TUNG | 411 S OLD WOODWARD AVE # 800 | BIRMINGHAM | MI | 48009 | |
| 1936208017 | 7 801 BIRMINGHAM PLACE TRUST | 25800 NORTHWESTERN HWY # 515 | SOUTHFIELD | МІ | 48035 | |
| 1936208017 | FATON AND MORE MANAGEMENT LLC | 2463 HERONWOOD DR | BLOOMFIELD HILLS | MI | 48302 | |
| 1936208017 | 7 JOSEPH LOPEZ | 411 5 OLD WOODWARD AVE # 905 | BIRMINGHAM | MI | 48009 | |
| 1936208017 | PATRICK W ROBERTS | PO BOX 9037 | MIRAMAR BEACH | FL | 32550 | |
| | 7 ALISSA CZISNY | 411 S OLD WOODWARD AVE # 911 | BIRMINGHAM | MI | 48009 | |
| | WAAD INVESTMENTS LLC | 4805 BANTRY DR | WEST BLOOMFIELD | MI | 48322 | |
| | ADELHEID SEIDENSTICKER | 666 BALDWIN CT | BIRMINGHAM | MI | 48009 | |
| | ADELHEID F SEIDENSTICKER | 666 BALDWIN CT | BIRMINGHAM | | | |
| | 7 DANIEL J O'BRIEN TRUST | 1818 ARGOSY CT | | ML | 48009 | |
| | KAREN REINHART | 32700 BINGHAM LN | BLOOMFIELD HILLS | MI | 48302 | |
| | 7 MOUSSA HANNA | 411 5 OLD WOODWARD AVE # 1000 | BINGHAM FARMS | MI | 48025 | |
| | 7 KA L CHANG | | BIRMINGHAM | MI | 48009 | |
| | | 3171 W SHORE DR | ORCHARD LAKE | MI | 48324 | |
| | THE BOYLL FAMILY LIVING TRUST | 411 5 OLD WOODWARD AVE # 725 | BIRMINGHAM | MI | 48009 | |
| | CAROL BARNETT KOZLOW REVOC TRUST | 411 5 OLD WOODWARD AVE # 729 | BIRMINGHAM | MI | 48009 | |
| | THOMAS HARDY | 411 5 OLD WOODWARD AVE # 829 | BIRMINGHAM | MI | 48009 | |
| | DJF LAM GROUP LLC | 3803 KAELEAF RD | LAKE ORION | MI | 48360 | |
| | DORIS HANNA | 3755 WALNUT BROOK DR | ROCHESTER HILLS | MŁ | 48309 | |
| | 411 S OLD WOODWARD LLC | 3467 SUTTON PL | BLOOMFIELD HILLS | MI | 48301 | |
| | SUSAN M SOSNICK REVOC TRUST | 300 SEMINOLE AVE APT 68 II LUGANO CONDO | PALM BEACH | FL | 33480 | |
| | TERRY MANN . | 411 S OLD WOODWARD AVE # 813 | BIRMINGHAM | MI | 48009 | |
| 1936208017 | ' EVELYN CHAN REVOCABLE TRUST | 5234 BREEZE HILL PL | TROY | MI | 48098 | |
| 1936208017 | ' EMILY KAY BELCHER | 411 S OLD WOODWARD AVE # 817 | BIRMINGHAM | MI | 48009 | |
| 1936208017 | GREGORY L HARVEY | 411 5 OLD WOODWARD AVE # 821 | BIRMINGHAM | MI | 48009 | |
| 1936208017 | RICK LEE HAMILTON | 411 S OLD WOODWARD AVE # 823 | BIRMINGHAM | MI | 48009 | |
| 1936208017 | ISAAC INVESTMENT COMPANY LLC | 5295 MIDDLEBELT RD | WEST BLOOMFIELD | MI | 48323 | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |

| 1936208017 | KENNETH M KOROTKIN | 411 S OLD WOODWARD AVE # 822 | BIRMINGHAM | MI | 48009 |
|------------|--------------------------------------|--------------------------------|---------------------|----|-------|
| 1936208017 | JEFF ROBERTS | 411 S OLD WOODWARD AVE # 818 | BIRMINGHAM | MI | 48009 |
| 1936208017 | MARIA N CLEMENTE | 411 S OLD WOODWARD AVE # 705 | BIRMINGHAM | MI | 48009 |
| 1936208017 | CARLOS MAIDAGAN | 3098 RESEARCH DR | ROCHESTER HILLS | MI | 48309 |
| 1936208017 | BIRMINGHAM PLACE REALTY LLC | 411 S OLD WOODWARD AVE # 1024 | BIRMINGHAM | MI | 48009 |
| 1936208017 | PONNAPPA PANDIKUTHIRA | 4215 TOPAZ CT NW | CEDAR RAPIDS | IA | 52405 |
| 1936208017 | CAROL J MITRI | 411 S OLD WOODWARD AVE # 1018 | BIRMINGHAM | MI | 48009 |
| 1936208017 | JOSEPH W WRONSKI | 411 S OLD WOODWARD AVE # 1014 | BIRMINGHAM | MI | 48009 |
| 1936208017 | CATHERINE M BROZEK REAL ESTATE TRUST | 411 5 OLD WOODWARD AVE # 1012 | BIRMINGHAM | MI | 48009 |
| 1936208017 | VANDAD RAOFI | 411 S OLD WOODWARD AVE # 1010 | BIRMINGHAM | MI | 48009 |
| 1936208017 | NEDA MIRAFZALI | 310 CORRIE RD | ANN ARBOR | MI | 48105 |
| 1936208017 | JULIE A WOLFE | 411 S OLD WOODWARD AVE # 1021 | BIRMINGHAM | MI | 48009 |
| 1936208017 | BRENDA KNIGHT | 11426 N JUSTIN DR | MEQUON | WI | 53092 |
| 1936208017 | ALICE K LEZOTTE TRUSTEE | 411 5 OLD WOODWARD AVE # 511 | BIRMINGHAM | MI | 48009 |
| 1936208017 | ALEXANDER PFAU | 411 5 OLD WOODWARD AVE # 611 | BIRMINGHAM | MI | 48009 |
| 1936208017 | JANIS E STERLING REVOCTRUST | 4212 WOODLANE CT | WESTLAKE VILLAGE | CA | 91362 |
| 1936208017 | NISREEN K MURAD | 411 S OLD WOODWARD AVE # 715 | BIRMINGHAM | MI | 48009 |
| 1936208017 | BAVAND HAMIDI | 31 LARKMEAD | ALISO VIEJO | CA | 92656 |
| 1936208017 | MICHAEL FREZZA | 411 S OLD WOODWARD AVE # 812 | BIRMINGHAM | MI | 48009 |
| 1936208017 | LEE STEINBERG | 411 S OLD WOODWARD AVE # 810 | BIRMINGHAM | MI | 48009 |
| 1936208017 | JORDAN BRODER | 411 S OLD WOODWARD AVE # 808 | BIRMINGHAM | MI | 48009 |
| 1936208017 | JOHN W HOEFFLER REVOC TRUST | 411 S OLD WOODWARD AVE # 804 | BIRMINGHAM | MI | 48009 |
| 1936208017 | CYNTHIA K NEAL | 24100 SORREL CT | BEAR VALLEY SPRINGS | CA | 93561 |
| 1936208017 | JOLIE GOLDBERG | 411 S OLD WOODWARD AVE # 901 | BIRMINGHAM | MI | 48009 |
| 1936208207 | BIRMINGHAM TOWER PARTNERS LLC | 251 E MERRILL ST STE 205 | BIRMINGHAM | MI | 48009 |
| 1936210003 | ASSOCIATES OF 555 LTD PARTNERSHIP | 555 S OLD WOODWARD AVE | BIRMINGHAM | MI | 48009 |
| 1936210009 | MANORWOOD PROPERTIES LLC | 555 S OLD WOODWARD AVE STE 705 | BIRMINGHAM | MI | 48009 |
| 1936253029 | GRC ASSETS LLC | 750 S OLD WOODWARD AVE | BIRMINGHAM | MI | 48009 |
| 1936253026 | WOODWARD & GEORGE LLC | 784 S OLD WOODWARD AVE | BIRMINGHAM | MI | 48009 |
| 1936253028 | EID PROPERTIES LLC | 588 S OLD WOODWARD AVE | BIRMINGHAM | MI | 48009 |
| 1936253029 | BITONTI REAL ESTATE LLC | 709 ANN ST | BIRMINGHAM | MI | 48009 |
| 1936253030 | ICG REAL ESTATE COMPANY LLC | 500 S OLD WOODWARD AVE | BIRMINGHAM | MI | 48009 |
| 1936253034 | 690 S OLD WOODWARD LLC | 112 PEABODY ST | BIRMINGHAM | MI | 48009 |
| 1936253035 | HORMOZ ALIZADEH LLC | 1416 INWOODS CIR | BLOOMFIELD HILLS | MI | 48302 |
| 1936278012 | GLOBAL REAL ESTATE INVESTMENTS LLC | 808 S OLD WOODWARD AVE | BIRMINGHAM | MI | 48009 |
| 1936278013 | WOODWARD VIEW LLC | 251 E MERRILL ST FL 2ND | BIRMINGHAM | MI | 48009 |
| 1936278014 | WOODWARD VIEW LLC | 251 E MERRILL ST FL 2ND | BIRMINGHAM | MI | 48009 |
| 1936278017 | BEIER FAMILY REAL ESTATE | 43223 W 12 MILE RD | NOVI | MI | 48377 |
| 1936278018 | PERIMETER PROPERTIES LLC | 112 PEABODY ST | BIRMINGHAM | MI | 48009 |
| | | | | | |

«Name» «Address» «City», «State» «Zip»

February 22, 2022

TO: Property Owners

RE: S. Old Woodward Phase 3 Paving Project

Water & Sewer Lateral Replacement and Street Scape Assessments

Phase three of the City of Birmingham's downtown infrastructure improvements will take place during the 2022 construction season. Significant work will occur on South Old Woodward between Brown and Landon. Upgrades to the sidewalk streetscape along with the water and sewer system, and complete street pavement replacement are planned.

With this letter you are receiving **two (2)** notifications of public hearings (Hearing of Necessity) scheduled to occur on **Monday, March 14, 2022** at the regularly scheduled City Commission meeting at 7:30 p.m. The first is to consider a Special Assessment District (SAD) for sidewalk and streetscape upgrades. The second is to consider an SAD for replacing certain water and sewer laterals to individual properties within the project area. All property owners in the project area will be assessed for sidewalk and streetscape upgrades. Some, but not all, will be assessed for water and sewer laterals. The following information will help clarify what is being assessed for each SAD.

For the **first** SAD for sidewalks and streetscape, as with previous projects of this nature, it has been the City's policy to assess 75% of the streetscape improvements to the properties that share frontage with the improvements. Improvement items include:

- All new concrete and exposed aggregate sidewalks from the building face to the back of curbs.
- Removal and replacement of all street trees, including excavation and replacement with approximately 1,000 cu.ft. of specially formulated soil designed to encourage tree growth.
- Enlarged, raised planter beds around each new street tree, framed by a 6 inch high exposed aggregate curb, with irrigation, and professionally designed landscaping.
- Granite seating areas where space permits.
- Installation of underground electrical system to provide new lighting opportunities for trees along the sidewalk and in the proposed median.

The cost per property will be assessed as an average cost per linear foot of frontage for the improvements. The properties with multiple owners will share the cost of the frontage, and the amount will be based on the square footage of building area owned. The City will bill one-tenth of the assessment (as would be done on

other special assessment districts) plus approximately 5% interest annually on the remaining balance, to make the cost more manageable for the property owners. The City plans to provide an estimate of costs associated with this SAD at the March 14th Hearing of Necessity.

The **second** SAD is for water and sewer laterals. As previously stated, some but not all property owners in the project area will be assessed for water and sewer laterals. Since water and sewer services only benefit one property, they are not considered a part of the City's public system. Therefore, the maintenance and repair of the services from the building to the connection at the public main is the responsibility of each individual property owner. City policy dictates that these replacements are completed at the property owner's expense. Only those who qualify as outlined below will have their sewer and/or water service replaced and receive an assessment.

The City's policy outlined in section 114-30 of the city code is to replace any water service that is less than 1 inch in diameter, and outlined in section 114-171 of the city code is to replace any sewer service that is 50 or more years old, in poor condition, or is made of materials that do not meet city standards (e.g. "Orangeburg" pipe). Replacement during a road construction project protects the City's investment in the road by reducing the chance of failure by a lateral within the right-of-way area.

The actual cost of replacing the section of the water and/or sewer lateral charged to you will vary depending on the actual location of the City mains, and any other obstacles, such as trees, that are in the way. Property owners are only charged for the actual length of service replaced if their service qualifies for assessment as described above.

After the work is completed, an invoice will be generated and sent to the property owner of record for the length of service(s) replaced. Payment in full will be expected within 30 days of receipt. As with the first assessment, if you are not in a position to pay off the charge in one payment, it can be broken into as many as 10 annual payments. An annual interest charge on the remaining balance, currently about 5%, will apply. It is anticipated that property owners will see a total charge of \$1,600 to \$5,000 for water and/or sewer lateral work related to this project. Official estimates will be provided at the Hearing for Necessity.

If you have any questions or concerns, please contact the Engineering Office at (248) 530-1850. You have the opportunity to speak directly to the City Commission at the Public Hearing of Necessity that will be held on March 14, 2022.

Residents and businesses are encouraged to sign up for the South Old Woodward Reconstruction Phase 3 Constant Contact group at bit.ly/bhamnews to receive updates throughout the project. Learn more about the project at www.bhamgov.org/oldwoodwardphase3.

Sincerely,

Scott D. Zielinski, P.E. Assistant City Engineer szielinski@bhamgov.org (248)530-1838



MICHIGAN.COM – Serving the OBSERVER & ECCENTRIC and HOMETOWN WEEKLY NEWSPAPERS 6200 Metropolitan Pkwy, Sterling Heights, MI 48312

BE IT MADE KNOWN THAT THE FOLLOWING ADVERTISMENT APPEARED IN:

Publication: Birmingham Eccentric
Placed By: City of Birmingham
Subject: Old Woodward Sewer Levels
Date of Publication: February 27 & March 6, 2022

And says that the advertising illustrated above/attached was published in the Birmingham Eccentric on the following date/s/: February 27 & March 6, 2022, INVOICE number 361429, and as an authorized employee of the Observer and Eccentric Media, she knows well the facts stated/herein. Cost: \$260.64.

STATE OF MICHIGAN

NOTARIZED BY:

March 7, 2022

DATED:

Acting in County of Macomb

GINA ANNE HUFF NOTARY PUBLIC - STATE OF MICHIGAN COUNTY OF LIVINGSTON My Commission Expires March 09, 2023

STATE OF MICHIGAN COUNTY OF OAKLAND VILLAGE OF FRANKLIN 32325 Franklin Road, Franklin, Michigan 48025

Villago Grass and Nuxious Weeds Orden Property Owners and or Parties of Inter

Notice is hereby given is all persons occupying or owning any property within the Village of Franklin that pursuant to Chapter 1479 01, as amended in the Village Gode of Ordinances, it shall be the duty of such womers or occupants to keep all graes and weed rear the bloom height of eight (61 under. If the provisions of the Ordinance are not complied with, the Village shall cause used grease to be nut. The actual cost of such citting, plus twenty percent (200% for administration charge, shall be charged to and pead by the owner If necessary, the Village shall call have a lies for the cutting plus appress, custs and twenty percent [20%] administration charge, which hen shall be enforced in the manner presembed by state law for the ordinance and the suppression of the control of the line.

Heather Mydloski Villago Clerk

| NOTI | CE OF PUBLIC HEARING | | | | | | | |
|--------------------------------------|---|--|--|--|--|--|--|--|
| CITY OF BIRMINGHAM | | | | | | | | |
| PUBLIC I | C HEARING OF NECESSITY HEARING OF CONFIRMATION | | | | | | | |
| Meeting Date, Time, Lecation: | HEARING OF NECESSITY FOR SPECIAL ASSESSMENT DISTRICT Mondor, Mondor March 14, 2022, 7:30 PM Municipal Building, 151 Martin, Brimingham, MI 48029 | | | | | | | |
| Mosting Date Time, Location: | REARING OF CONFIRMATION FOR SPECIAL ASSESSMENT DISTRICT Monday, April 11, 2022, 7 Jul PM Munsepal Building, 151 Martin, Bermingham, MI 48009 | | | | | | | |
| Project Location: | S. Old Wandward Avenue, from Brown St. to Landon St. | | | | | | | |
| Nature of Improvement: | Construction of sud-walk and atvertecape improvements adjacent to all properties within the project area | | | | | | | |
| City Staff Contact: | Scott Zielinski, Assistant Crty Engineer azielinski@bhamguv.ncg, (248)830-1836 | | | | | | | |
| Notice Requirements: | Mail to affected property owners Publish Fubruary 27 2022 & March 6, 2022 | | | | | | | |
| Approved minutes may be reviewed at: | City Clerk's Office | | | | | | | |

Should you have any statement regarding the above, you are invited to attend the meeting in person or virtually through 2001s; https://geom.us/1655878789 Meeting ID: 655 079 788

You or your agont may appear at the hearings to express your views, however, if you fait to protest sifter to presen or by letter received on or before the date of the hearing, you cannot appeal the amount of the spectal assessment to the Michigan Tax Tribunal. Mail any correspondence to: City Clerk, P.O. Bex 3901, Birmingham, MI 48012.

The property owner mer file a written appeal of the special assessment with the S Tribunal within 30 days after the confirmation of the special assessment roll of that assessment was protected at the hearing held for the purpose of confirming the roll.

All special assessments, including installment payment, shall, from the date of the confirmation thereof, constitute a lien on the respective lots or parvels assessed, and until paid shall be charged against the respective owners of the lots or parvels assessed.

Persons with deabilities reading accommodations for effective participation in this swerting should contact the City Clerk's Diffice at 248.530 1880 (veince) or 248.844.5115 (TDD) at least one day in advance to request mobility, visual, hearing or other assistance.

| NOTICE OF | PUBLIC HEARINGS | | | | | | | |
|--------------------------------------|---|--|--|--|--|--|--|--|
| BIRMINGHAM CITY COMMISSION | | | | | | | | |
| PUBLIC HEA | ARING OF NECESSITY | | | | | | | |
| PUBLIC HEAR | ING OF CONFIRMATION | | | | | | | |
| Meeting Dete, Time, Location: | HEARING OF NECESSITY FOR SPECIAL ASSESSMENT DISTRICT Monday, Monday, March 14, 2022, 7 30 PM Municipal Building, 151 Martin, Birmingham, MI 48009 | | | | | | | |
| Meeting Date, Time, Location: | HEARING OF CONFIRMATION FOR SPECIAL ASSESSMENT DISTRICT Mondoy, April 11, 2022, 7-30 PM Municipal Building, 151 Martin, Birmingham, MI 48009 | | | | | | | |
| Project Location | S. Old Woodward Avenue, from Brewn St. te Landon St | | | | | | | |
| Nature of Improvement: | Replacement and improvement of water and sever leads meeting the requirements for ameasment, for all properties within project area | | | | | | | |
| City Staff Contact: | Scott Zielinski, Assistant City Engineer ezielinski@bhameny.erg (248)530-1838 | | | | | | | |
| Notice Requirements: | Mail to affected property owners Publish February 27, 2022 & March 6, 2022 | | | | | | | |
| Approved minutes may be reviewed at: | City Clerk's Office | | | | | | | |

Approved munutes may be reviewed at: [Circ Clerk's Office
Should you have any statement regarding the above, you are invited to attend the meeting
in person or virtually through ZOOM. https://boom.us/9855679768 Meeting ID: 655 879

You or your agent may appear at the hearings to express your vires; hewever, if you fail to protest either in person or by letter received on or before the date of the hearing, you cannot appeal the amount of the special assessment to the Michagan Tax Tribunal Mail any correspondence to: City Clerk, P.O. Box 3001 Birmingham, MI 48012.

operty owner may file a written appeal of the special assessment with the State Ta at writinn 30 days after the confirmation of the special assessment red if that specia each was protested at the bearing held for the purpose of confirming the roll.

All special assessments, including installment payments, shall, from the date of the confirmation thereof, constitute a lieu on the respective lots or parcels assessed, and until paid shall be charged against the respective corners of the lots or parcels assessed.

Persons with disabilities meading accommodations for effective participation in this meeting should contact the City Civils 2 Office at 248 330 1880 Potion 3st 248 644 5115 (TDD) at least one day in advance to request mobility visual, hearing or other sesistance.

Poblish Polymery 27 & March 6, 2022



INVITATION TO BID BID NO. 9941 ERGOTRON LEARN FIT SIT-STAND DESK TROY SCHOOL DISTRICT

The Troy School District will receive firm social bids for furnishing, delivering, and assembling/ installing town Experim Learn Fit bit-Stand Desks to 12 different locations within the Troy School District.

Specifications and proposal forms can be obtained online at http://www.trcy.ki2.ml.u From the main page click the "Busines Services" tab listed under "Departments" then clic "Fastchading and scrull down to locate and acrees the bud documents

Your proposal and two copies marked "Bid 8841 Ergotron Deaks" must be delivered no later than 1020 a.m., Theoday, March 15, 2022, Troy School District, Services Building Technology Department, 4420 Livernoss Road, Troy, Mt. 4609 ATTN: Beth Sogra, Tachnology Director, at which thin sail lads will be publishy opened and read sloud immediately thereafter Bid proposals received after this time will not be considered or accepted

All questions regarding the bid specified, or the bid terms and conditions will be accepted in writing (NMA) and subsequently answared through an addendam is all interested parties (eventions must be received no later than noon. Wednesday, Marris 9, 2022, and may be enabled to beogge@frey.hid.m.ius At no other time prior to the hid opening will questions/coveren

All bidders must provide familial disclasure in compliance with MCL 380.1267 and attach this information to the hird proposal. The bid proposal will be accompanied by a swern and mutarised statement disclosure any familiar relationship that wrists between the owner or any suppleyer of the bidder and any nepsher of the Troy School Bustrate Speprintendent. Also, a swern and notarised Affidavit of compliance for the fram Economic Spartine and Centrifying the vendor dues and will comply with Public Act 217 of 2012 shall acrompany all proposals Both forms will be enclosed in the specification's booklet that shall be used for this purpose. The Plantict will not accept a bid proposal that does not include these swern and not arised disclosure statement.

The Troy Board of Education reserves the right to accept or reject any or all bids, either in whole or in part, to sward contract to other than the low bidder; to wairs any irregularities and/or informalities, and an general to make awards in any manner deemed to be in the best intervet of the owner.

Technology Department Trvy School Dutrict 4420 Livernoss Road Troy, MI 48098

INVITATION TO BID BID NO. 9942 AVER DOCUMENT CAMERAS TROY SCHOOL DISTRICT

The Trey School Instrict will receive firm, souled bide for furnishing and delivering new Aver document cameras.

Specifications and proposal forms can be obtained online at http://www.trgy.kll.m.l.us From the main page click the "Business Sarvices" tab listed under "Pepartneents" then click "Purtnessing" and stroll down in locate and serves the bid documents.

Your proposal and two cupies marked "Bid 9943 Aver Document Cameras" must be delivered no later Bans 10:00 a.m., Tuseday, Blarch 13, 2022, Tros School Bustict Services Studing Fair-Inchago Department, 4420 Liverenis Raad, Troy, M 48994 ATTN. Beth Sogra, Studing Bustict Studing
All questions regarding the but specified, at the but seem and conditions will be neverted writing UNLY and subsequently answered through an addendum to all interested parties. Questions must be received to later than soon, Wednesday, March 9, 2022, and may be emailed to begggg@ffruyhili.mh.us At no other time prior to the bid opening will questions?

concerns he addressed or accepted
All bidders must precede familial disclosure in compliance with MCL 180 1257 and attach
this information to the bid proposal. The bid proposal will be accompanied by a sworn and
netarized attachment disclosing any familial relationship that visits between the owner or any
supleyer of the bidder and any member of the Trop School Bustries
Superintendent Alio, a sworn and necessive Affidavit of compliance for the fran Economic
Sanctions Act certifying the vender does and will comply with Public Act C17 of 2012 shall
accompany all proposals. Bold forms will be enclosed in the specification's busklat that shall
be used for this purposa. The District will not accept a hid preposal that does not include those
swarn and notarized disclosure attacount.

The Tray Beard of Education receives the right in accept or reject any or all bids, either in whole or in part; to award contract to other than the low bidder to warve any irregularities and/or informalities, and in general to make awards in any manner deemed to be in the best universal of the owner.

Technology Department Trey School District 4420 Livernos Road Trey, MI 48038

all March 6 3022



Baldwin Public Labrary 300 W. Merrill Street Birmingham, MI 48009 248-647-1700

NOTICE OF PUBLIC HEARING

Monday, March 21, 2022 at 7:30 p.m. 2022-2023 Budget Hearing

The Baldwin Public Library Board of Brectors will hold a public bearing on dendas, March 21, 2022, at 7 Jup m., in the Rotary Tribute and Donor Rooms of the Baldwin Public Library, 300 W. Mervill, Birmingham, Mi. Members of the gubble may attend in person or rid Zoom.

This public hearing is being build to consider the 2022-2023 budget for the Baldwin Public Library.

The property tax millage rate proposed to be levied to support the proposed budget will be a subject of this hearing.

Topic: Baldwin Public Library 2022-2023 Budget Hearing
Time: Mar 21, 2023 07:30 PM Eastern Time
The public may participate via Zaura
Join Zuom Meeting Bilipe/McGVPW-Leasuna un/P80933134233
Meeting III: 460 3315 8253
One tap mobile, 953178 5692, 890331852934 US (Chargo)
413 126296799, 890331852634 US (Chargo)

Public comments may be presented either in person or in writing

By 5 00 p.m on Fridey. March 18, 2022 ros may obtain a copy of the proposed budget by ong to the Library's wrbs to farmw.baldwinlib.org/. asking at the Library's Adult Servic Reference Dock. 2486'r4-48-0, or contacting Robert Stratton 248-554-4844

Approved minutes of the hearing may be reviewed on the Library's website or at its Rust ness Office.

THIS NOTICE IS GIVEN in accordance with Act 251, 1968 Public Act 267 DATE PONTED: February 18, 2022

remeated disabilizes their require annotance for effective participates in the point teaching should emiss the resyst. So number 1949-46-1700, or 1240-1644-115 fee the hearing impaired in least one der before the meeting to your before architic recool, increase, entaile remains 6. Pipos arbiblis, Trinol, barring, estabre promiser a con la consensation of the control of the control pero la participation of the control period of the promise period of the control of



March 14, 2022



Williams Williams Rattner & Plunkett, P.C. Attorneys and Counselors

380 North Old Woodward Avenue Suite 300 Birmingham, Michigan 48009

Tel: (248) 642-0333 Fax: (248) 642-0856

Via hand delivery

Clerk City of Birmingham 151 Martin St. Birmingham, MI 48009

RE:

Protest of Special Assessment on Behalf of

The New 555 Residential, LLC The New 555 Commercial, LLC Manorwood Properties, LLC

Dear Clerk:

We represent The New 555 Residential, LLC, The New 555 Commercial, LLC, and Manorwood Properties, LLC. The New 555 Residential, LLC, The New 555 Commercial, LLC, own properties commonly known as 555 S. Old Woodward Avenue in Birmingham, and identified as Parcel Nos. 08-19-36-210-001 and 08-19-36-210-002. Manorwood Properties, LLC, owns property commonly known as 555 S. Old Woodward Avenue, Suite 100, and identified as Parcel No. 08-19-36-210-005.

We are submitting this letter in protest of the creation of and inclusion of these properties in a proposed special assessment district concerning water and sewer leads. In brief, these properties receive no special benefit from the proposed improvements that the special assessment will finance, there will be no increase in the properties' values, the amount of the assessments against the properties is not proportionate to the expected benefit, and the proposed special assessment does not otherwise comply with Michigan law.

With respect, we protest the City's proposed special assessment district and these properties' inclusion in the district, and request that the City decline to adopt the special assessment district.

Clerk's Office City of Birmingham, MI

MAR 1 4 2022

4:59 pm

51

RECEIVED

Jason C. Long

Respectfully Submitted

RECEIVED OF BIRMINGS



Treasurer's Office

DATE:

4/11/2022

TO:

Thomas M. Markus, City Manager

FROM:

Jack Todd, Deputy Treasurer

Mark Gerber, Finance Director/Treasurer

SUBJECT:

Resolution for Confirming S.A.D. #897

S. Old Woodward Sidewalk and Streetscape

INTRODUCTION:

A public hearing on the confirmation of the special assessment roll for streetscape and sidewalk improvements on S. Old Woodward from Brown Street to Landon Street is being held on April 11th, 2022. The special assessment will defray the costs to the City for public improvements made to City streetscape and sidewalks on S. Old Woodward from Brown Street to Landon Street. If the City Commission confirms the roll, the property owners who proportionally benefit from these improvements will be assessed for the cost of the improvements.

Due to an increase in cost between the engineers' estimate presented at the Hearing of Necessity and the bid result actual item prices, the City has revised the estimated costs associated with S.A.D. #897. Attached is both an updated estimate cost spreadsheet for the confirmation of the roll for S.A.D. #897 and the spreadsheet for the estimated costs that was presented at the Hearing of Necessity based on the engineers' estimate for the project. Project items associated with the streetscape work have increased approximately 25.1% in cost per linear foot of assessable street frontage between the engineers' estimates to the as bid estimate.

Comments during the hearing of confirmation are limited to those questions or objections submitted in writing or orally specifically addressing the assessment roll pursuant to Section 94-9 of the City Code.

BACKGROUND:

At the City Commission meeting held on March 14, 2022, the City Commission determined the necessity of the S. Old Woodward Sidewalk and Streetscape project and a Hearing of Confirmation of the Special Assessment Roll was set for April 11th, 2022.

LEGAL REVIEW:

The purpose of this hearing is to review and hear any objections, either in writing or orally, to the special assessment roll. The special assessment roll is a listing of all of the properties and lots to be assessed for the public improvements to the property. Pursuant to the City Code at Sec. 94-9, whenever a special assessment roll shall be confirmed by the Commission, it should be final and conclusive.

FISCAL IMPACT:

If confirmed, the City would collect \$2,048,568.37 from the Sidewalk Streetscape SAD. Property owners have ten (10) years to pay the special assessment.

PUBLIC COMMUNICATIONS:

Property owners were notified by first class mail of the public hearing dates. If the City Commission confirms the special assessment rolls, the Treasurer's office will notify the property owners in the special assessment district of the confirmation and the lien on their property by first class mail.

SUMMARY:

The Treasurer's office recommends that the City Commission conduct the public hearing of confirmation of special assessment district 897 and further to confirm the rolls as attached to this memo.

ATTACHMENTS:

- Proposed Special Assessment Roll
- Pre-Bid Estimate for Proposed SAD
- Memorandum: Hearing of Necessity for S. Old Woodward Sidewalk and Streetscape SAD
- Memorandum: Clerk's Office Confirmation of Public Hearing of Necessity and Confirmation: Old Woodward Streetscape Special Assessment District
- Letter of Protest of Special Assessment from The New 555 Residential, LLC; The New 555 Commercial, LLC; and Manorwood Properties, LLC dated March 14, 2022

SUGGESTED COMMISSION ACTION:

Make a motion adopting a resolution confirming special assessment roll 897 as follows:

WHEREAS, Special Assessment Roll, designated Roll No. 897, has heretofore been estimated by the City Engineer, and prepared for collection by the City Treasurer; and

WHEREAS, notice was given pursuant to Section 94-7 of the City Code, to each owner or party-in-interest of property and lots to be assessed contained in this roll, by first class mail, and by publication in the newspaper and generally circulated in the City; and

WHEREAS, at said hearing held on April 11, 2022, all those property owners and/or lot owners, or their representatives have been given an opportunity to be heard for any objections to the roll and costs thereof for said special assessment roll; and

WHEREAS, the Commission, after considering all objections before them, either orally or in writing, to the special assessment roll, and having made such a record, the Commission determines that it is satisfied with said special assessment roll; and

WHEREAS, the Commission, after hearing all objections and making a record, has deemed that such assessments are in proportion to the benefits received; and

WHEREAS, the Commission directs the City Manager to spread the various sums in amounts appearing thereon as prepared by the City Engineer to be placed on the special assessment roll; and

WHEREAS, the placement of the special assessment roll shall be on file in the City Clerk's Office; and

WHEREAS, the City Commission directs the City Clerk to attach his/her warrant to a certified copy of the special assessment roll within ten (10) days; and

WHEREAS, the City Commission commands the City Treasurer to bill and collect the special assessments to be due within sixty (60) days of billing; and

WHEREAS, the City Commission further directs the Treasurer to give notice by first class mail to each property owner on the special assessment roll that the roll has been confirmed on this date; and

WHEREAS, the Treasurer is directed to notify by first class mail each property owner or lot owner on the special assessment roll of their obligation to pay the amount assessed; and

WHEREAS, the Special Assessment Notice will include the amount to be paid, the time to be paid, and any interest obligated for the installment payments; and

WHEREAS, when the special assessment will be paid in installments, the notice shall state the due date of the first installment and the date from which interest will be charged on all future installments.

NOW, THEREFORE, BE IT RESOLVED, that Special Assessment Roll No. 897 be in all things ratified and confirmed, and that the City Clerk be and is hereby instructed to endorse said roll, showing the date of confirmation thereof, and to certify said assessment roll to the City Treasurer for collection at or near the time of construction of the improvement.

BE IT FURTHER RESOLVED, that special assessment shall be payable in ten (10) payments as provided in Section 94-10 of the Code of the City of Birmingham, with an annual interest rate of four and one-half percent (4.5%) on all unpaid installments.

| | | Stree | tscape Special Assessment 8 | 97 Roll | | | | | | | | |
|-----------------------|-----|----------|-----------------------------|---------|---------|----------|------------|--|--|--|--|--|
| Estimate Based on Bid | | | | | | | | | | | | |
| Parcel No. | | | Property Address | | Sq Ft | <u> </u> | Total | | | | | |
| 00.40.00.004.007 | 200 | | | - 3 | | | | | | | | |
| 08-19-36-204-027 | 300 | S | OLD WOODWARD AVE | | | \$ | 65,160.93 | | | | | |
| 08-19-36-205-026 | 442 | 5 | OLD WOODWARD AVE | | | \$ | 55,386.79 | | | | | |
| 08-19-36-205-041 | 444 | S | OLD WOODWARD AVE | | ļ | \$ | 55,680.01 | | | | | |
| 08-19-36-205-043 | 400 | S | OLD WOODWARD AVE | #100 | | \$ | 85,425.98 | | | | | |
| 08-19-36-208-016 | 355 | S | OLD WOODWARD AVE | | | \$ | 94,613.67 | | | | | |
| 08-19-36-208-017 | 401 | S | OLD WOODWARD AVE | | 236,140 | \$ | 103,714.52 | | | | | |
| 08-19-36-208-019 | 411 | S | OLD WOODWARD AVE | #501 | 753 | \$ | 330.72 | | | | | |
| 08-19-36-208-020 | 411 | S | OLD WOODWARD AVE | #503 | 713 | \$ | 313.16 | | | | | |
| 08-19-36-208-021 | 411 | S | OLD WOODWARD AVE | #505 | 713 | \$ | 313.16 | | | | | |
| 08-19-36-208-022 | 411 | S | OLD WOODWARD AVE | #507 | 615 | \$ | 270.11 | | | | | |
| 08-19-36-208-025 | 411 | S | OLD WOODWARD AVE | #515 | 519 | \$ | 227.95 | | | | | |
| 08-19-36-208-026 | 411 | S | OLD WOODWARD AVE | #517 | 519 | \$ | 227.95 | | | | | |
| 08-19-36-208-027 | 411 | S | OLD WOODWARD AVE | #521 | 645 | \$ | 283.29 | | | | | |
| 08-19-36-208-028 | 411 | S | OLD WOODWARD AVE | #523 | 699 | \$ | 307.01 | | | | | |
| 08-19-36-208-029 | 411 | <u> </u> | OLD WOODWARD AVE | #525 | 699 | \$ | 307.01 | | | | | |
| 08-19-36-208-030 | 411 | S | OLD WOODWARD AVE | #527 | 699 | \$ | 307.01 | | | | | |
| 08-19-36-208-031 | 411 | S | OLD WOODWARD AVE | #529 | 699 | \$ | 307.01 | | | | | |
| 08-19-36-208-032 | 411 | S | OLD WOODWARD AVE | #531 | 702 | \$ | 308.32 | | | | | |
| 08-19-36-208-033 | 411 | S | OLD WOODWARD AVE | #530 | 804 | \$ | 353.12 | | | | | |
| 08-19-36-208-034 | 411 | <u> </u> | OLD WOODWARD AVE | #528 | 1,120 | \$ | 491.91 | | | | | |
| 08-19-36-208-035 | 411 | S | OLD WOODWARD AVE | #524 | 1,120 | \$ | 491.91 | | | | | |
| 08-19-36-208-036 | 411 | S | OLD WOODWARD AVE | #522 | 1,454 | \$ | 638.61 | | | | | |
| 08-19-36-208-037 | 411 | S | OLD WOODWARD AVE | #518 | 1,860 | \$ | 816.93 | | | | | |
| 08-19-36-208-038 | 411 | <u>S</u> | OLD WOODWARD AVE | #514 | 793 | \$ | 348.29 | | | | | |
| 08-19-36-208-039 | 411 | S | OLD WOODWARD AVE | #512 | 825 | \$ | 362.35 | | | | | |
| 08-19-36-208-040 | 411 | S | OLD WOODWARD AVE | #510 | 2,665 | \$ | 1,170.49 | | | | | |
| 08-19-36-208-041 | 411 | S | OLD WOODWARD AVE | #508 | 995 | \$ | 437.01 | | | | | |
| 08-19-36-208-043 | 411 | S | OLD WOODWARD AVE | #504 | 995 | \$ | 437.01 | | | | | |
| 08-19-36-208-044 | 411 | <u> </u> | OLD WOODWARD AVE | #502 | 995 | \$ | 437.01 | | | | | |
| 08-19-36-208-045 | 411 | S | OLD WOODWARD AVE | #500 | 995 | \$ | 437.01 | | | | | |
| 08-19-36-208-046 | 411 | S | OLD WOODWARD AVE | #601 | 753 | \$ | 330.72 | | | | | |
| 08-19-36-208-047 | 411 | S | OLD WOODWARD AVE | #603 | 713 | \$ | 313.16 | | | | | |
| 08-19-36-208-048 | 411 | S | OLD WOODWARD AVE | #605 | 713 | \$ | 313.16 | | | | | |
| 08-19-36-208-049 | 411 | S | OLD WOODWARD AVE | #607 | 615 | \$ | 270.11 | | | | | |
| 08-19-36-208-054 | 411 | S | OLD WOODWARD AVE | #621 | 645 | \$ | 283.29 | | | | | |
| 08-19-36-208-055 | 411 | S | OLD WOODWARD AVE | #623 | 699 | \$ | 307.01 | | | | | |
| 08-19-36-208-062 | 411 | S | OLD WOODWARD AVE | #624 | 1,120 | \$ | 491.91 | | | | | |
| 08-19-36-208-063 | 411 | S | OLD WOODWARD AVE | #622 | 1,454 | \$ | 638.61 | | | | | |
| 08-19-36-208-064 | 411 | S | OLD WOODWARD AVE | #618 | 1,860 | \$ | 816.93 | | | | | |
| 08-19-36-208-065 | 411 | S | OLD WOODWARD AVE | #614 | 793 | \$ | 348.29 | | | | | |
| 08-19-36-208-066 | 411 | 5 | OLD WOODWARD AVE | #612 | 825 | \$ | 362.35 | | | | | |
| 08-19-36-208-067 | 411 | S | OLD WOODWARD AVE | #610 | 2,665 | \$ | 1,170.49 | | | | | |
| 08-19-36-208-068 | 411 | S | OLD WOODWARD AVE | #608 | 995 | \$ | 437.01 | | | | | |

| 08-19-36-208-069 | 411 | S | OLD WOODWARD AVE | #604 | 995 | \$ 437.01 |
|------------------|-----|----------|------------------|------|-------|----------------|
| 08-19-36-208-070 | 411 | S | OLD WOODWARD AVE | #602 | 995 | \$ 437.01 |
| 08-19-36-208-071 | 411 | S | OLD WOODWARD AVE | #600 | 995 | \$ 437.01 |
| 08-19-36-208-072 | 411 | S | OLD WOODWARD AVE | #701 | 753 | \$ 330.72 |
| 08-19-36-208-073 | 411 | S | OLD WOODWARD AVE | #703 | 713 | \$ 313.16 |
| 08-19-36-208-074 | 411 | S | OLD WOODWARD AVE | #705 | 713 | \$ 313.16 |
| 08-19-36-208-075 | 411 | S | OLD WOODWARD AVE | #707 | 615 | \$ 270.11 |
| 08-19-36-208-080 | 411 | S | OLD WOODWARD AVE | #721 | 645 | \$ 283.29 |
| 08-19-36-208-081 | 411 | S | OLD WOODWARD AVE | #723 | 699 | \$ 307.01 |
| 08-19-36-208-086 | 411 | S | OLD WOODWARD AVE | #730 | 804 | \$ 353.12 |
| 08-19-36-208-087 | 411 | S | OLD WOODWARD AVE | #728 | 1,120 | \$ 491.91 |
| 08-19-36-208-088 | 411 | S | OLD WOODWARD AVE | #724 | 1,120 | \$ 491.91 |
| 08-19-36-208-089 | 411 | S | OLD WOODWARD AVE | #722 | 1,454 | \$ 638.61 |
| 08-19-36-208-090 | 411 | S | OLD WOODWARD AVE | #718 | 1,860 | \$ 816.93 |
| 08-19-36-208-091 | 411 | S | OLD WOODWARD AVE | #714 | 793 | \$ 348.29 |
| 08-19-36-208-092 | 411 | S | OLD WOODWARD AVE | #712 | 825 | \$ 362.35 |
| 08-19-36-208-093 | 411 | S | OLD WOODWARD AVE | #710 | 2,665 | \$ 1,170.49 |
| 08-19-36-208-094 | 411 | 5 | OLD WOODWARD AVE | #708 | 995 | \$ 437.01 |
| 08-19-36-208-096 | 411 | S | OLD WOODWARD AVE | #704 | 995 | \$ 437.01 |
| 08-19-36-208-097 | 411 | S | OLD WOODWARD AVE | #702 | 995 | \$ 437.01 |
| 08-19-36-208-098 | 411 | S | OLD WOODWARD AVE | #700 | 995 | \$ 437.01 |
| 08-19-36-208-099 | 411 | S | OLD WOODWARD AVE | #801 | 753 | \$ 330.72 |
| 08-19-36-208-100 | 411 | S | OLD WOODWARD AVE | #803 | 713 | \$ 313.16 |
| 08-19-36-208-101 | 411 | S | OLD WOODWARD AVE | #805 | 713 | \$ 313.16 |
| 08-19-36-208-102 | 411 | S | OLD WOODWARD AVE | #807 | 615 | \$ 270.11 |
| 08-19-36-208-103 | 411 | 5 | OLD WOODWARD AVE | #811 | 519 | \$ 227.95 |
| 08-19-36-208-104 | 411 | <u> </u> | OLD WOODWARD AVE | #813 | 519 | \$ 227.95 |
| 08-19-36-208-105 | 411 | S | OLD WOODWARD AVE | #815 | 519 | \$ 227.95 |
| 08-19-36-208-106 | 411 | S | OLD WOODWARD AVE | #817 | 519 | \$ 227.95 |
| 08-19-36-208-107 | 411 | <u> </u> | OLD WOODWARD AVE | #821 | 645 | \$ 283.29 |
| 08-19-36-208-108 | 411 | S | OLD WOODWARD AVE | #823 | 699 | \$ 307.01 |
| 08-19-36-208-115 | 411 | <u> </u> | OLD WOODWARD AVE | #824 | | \$ 491.91 |
| 08-19-36-208-116 | 411 | <u> </u> | OLD WOODWARD AVE | #822 | 1,454 | \$ 638.61 |
| 08-19-36-208-117 | 411 | <u> </u> | OLD WOODWARD AVE | #818 | 1,860 | \$ 816.93 |
| 08-19-36-208-118 | 411 | S | OLD WOODWARD AVE | #814 | 793 | \$ 348.29 |
| 08-19-36-208-119 | 411 | <u> </u> | OLD WOODWARD AVE | #812 | 825 | \$ 362.35 |
| 08-19-36-208-120 | 411 | S | OLD WOODWARD AVE | #810 | 2,665 | \$ 1,170.49 |
| 08-19-36-208-121 | 411 | <u> </u> | OLD WOODWARD AVE | #808 | 995 | \$ 437.01 |
| 08-19-36-208-122 | 411 | <u>s</u> | OLD WOODWARD AVE | #804 | 995 | \$ 437.01 |
| 08-19-36-208-123 | 411 | S | OLD WOODWARD AVE | #802 | 995 | \$ |
| 08-19-36-208-124 | 411 | S | OLD WOODWARD AVE | #800 | 995 | \$ 437.01 |
| 08-19-36-208-125 | 411 | S | OLD WOODWARD AVE | | | 437.01 |
| 08-19-36-208-126 | 411 | S | OLD WOODWARD AVE | #901 | 753 | \$ 330.72 |
| 08-19-36-208-127 | 411 | S | OLD WOODWARD AVE | #903 | 713 | 313.16 |
| 08-19-36-208-128 | 411 | S | OLD WOODWARD AVE | #905 | 713 | \$ 313.16 |
| <u> </u> | | S | | #907 | 615 | \$ 270.11 |
| 08-19-36-208-129 | 411 | | OLD WOODWARD AVE | #911 | | \$ 227.95 |
| 08-19-36-208-130 | 411 | <u> </u> | OLD WOODWARD AVE | #913 | 519 | \$ 227.95 |

| | | , | | | | T . | |
|------------------|-----|----|------------------|-------|-------|-----|----------|
| 08-19-36-208-133 | 411 | S | OLD WOODWARD AVE | #921 | 645 | \$ | 283.29 |
| 08-19-36-208-134 | 411 | S | OLD WOODWARD AVE | #923 | 699 | \$ | 307.01 |
| 08-19-36-208-135 | 411 | S | OLD WOODWARD AVE | #925 | 699 | \$ | 307.01 |
| 08-19-36-208-136 | 411 | S | OLD WOODWARD AVE | #927 | 699 | \$ | 307.01 |
| 08-19-36-208-137 | 411 | S | OLD WOODWARD AVE | #929 | 699 | \$ | 307.01 |
| 08-19-36-208-138 | 411 | S | OLD WOODWARD AVE | #931 | 702 | \$ | 308.32 |
| 08-19-36-208-141 | 411 | S | OLD WOODWARD AVE | #924 | 1,120 | \$ | 491.91 |
| 08-19-36-208-142 | 411 | S | OLD WOODWARD AVE | #922 | 1,454 | \$ | 638.61 |
| 08-19-36-208-143 | 411 | S | OLD WOODWARD AVE | #918 | 1,860 | \$ | 816.93 |
| 08-19-36-208-146 | 411 | S | OLD WOODWARD AVE | #910 | 2,665 | \$ | 1,170.49 |
| 08-19-36-208-147 | 411 | S | OLD WOODWARD AVE | #908 | 995 | \$ | 437.01 |
| 08-19-36-208-149 | 411 | S | OLD WOODWARD AVE | #904 | 995 | \$ | 437.01 |
| 08-19-36-208-150 | 411 | S | OLD WOODWARD AVE | #902 | 995 | \$ | 437.01 |
| 08-19-36-208-151 | 411 | S | OLD WOODWARD AVE | #900 | 995 | \$ | 437.01 |
| 08-19-36-208-152 | 411 | S | OLD WOODWARD AVE | #1001 | 754 | \$ | 331.16 |
| 08-19-36-208-153 | 411 | S | OLD WOODWARD AVE | #1003 | 714 | \$ | 313.59 |
| 08-19-36-208-154 | 411 | S | OLD WOODWARD AVE | #1005 | 714 | \$ | 313.59 |
| 08-19-36-208-155 | 411 | S | OLD WOODWARD AVE | #1007 | 616 | \$ | 270.55 |
| 08-19-36-208-156 | 411 | S | OLD WOODWARD AVE | #1011 | 519 | \$ | 227.95 |
| 08-19-36-208-157 | 411 | \$ | OLD WOODWARD AVE | #1013 | 519 | \$ | 227.95 |
| 08-19-36-208-168 | 411 | S | OLD WOODWARD AVE | #1024 | 1,120 | \$ | 491.91 |
| 08-19-36-208-169 | 411 | S | OLD WOODWARD AVE | #1022 | 1,454 | \$ | 638.61 |
| 08-19-36-208-170 | 411 | S | OLD WOODWARD AVE | #1018 | 1,860 | \$ | 816.93 |
| 08-19-36-208-171 | 411 | S | OLD WOODWARD AVE | #1014 | 793 | \$ | 348.29 |
| 08-19-36-208-172 | 411 | S | OLD WOODWARD AVE | #1012 | 826 | \$ | 362.79 |
| 08-19-36-208-173 | 411 | S | OLD WOODWARD AVE | #1010 | 2,665 | \$ | 1,170.49 |
| 08-19-36-208-174 | 411 | S | OLD WOODWARD AVE | #1008 | 994 | \$ | 436.57 |
| 08-19-36-208-175 | 411 | S | OLD WOODWARD AVE | #1004 | 994 | \$ | 436.57 |
| 08-19-36-208-176 | 411 | S | OLD WOODWARD AVE | #1002 | 994 | \$ | 436.57 |
| 08-19-36-208-177 | 411 | 5 | OLD WOODWARD AVE | #1000 | 995 | \$ | 437.01 |
| 08-19-36-208-178 | 411 | S | OLD WOODWARD AVE | #711 | 1,065 | \$ | 467.76 |
| 08-19-36-208-179 | 411 | S | OLD WOODWARD AVE | #725 | | \$ | 627.19 |
| 08-19-36-208-180 | 411 | S | OLD WOODWARD AVE | #729 | 1,432 | \$ | 628.95 |
| 08-19-36-208-181 | 411 | S | OLD WOODWARD AVE | #829 | 1,432 | \$ | 628.95 |
| 08-19-36-208-182 | 411 | S | OLD WOODWARD AVE | #828 | 1,956 | \$ | 859.09 |
| 08-19-36-208-183 | 411 | S | OLD WOODWARD AVE | #1015 | 1,065 | \$ | 467.76 |
| 08-19-36-208-184 | 411 | S | OLD WOODWARD AVE | #1021 | 1,373 | \$ | 603.03 |
| 08-19-36-208-185 | 411 | S | OLD WOODWARD AVE | #1029 | 1,432 | \$ | 628.95 |
| 08-19-36-208-186 | 411 | S | OLD WOODWARD AVE | #511 | 1,065 | \$ | 467.76 |
| 08-19-36-208-187 | 411 | S | OLD WOODWARD AVE | #611 | 1,065 | \$ | 467.76 |
| 08-19-36-208-188 | 411 | S | OLD WOODWARD AVE | #615 | 1,065 | \$ | 467.76 |
| 08-19-36-208-189 | 411 | S | OLD WOODWARD AVE | #715 | 1,065 | \$ | 467.76 |
| 08-19-36-208-190 | 411 | S | OLD WOODWARD AVE | #912 | 1,648 | \$ | 723.81 |
| 08-19-36-208-191 | 411 | S | OLD WOODWARD AVE | #1028 | | \$ | 859.09 |
| 08-19-36-208-192 | 411 | S | OLD WOODWARD AVE | #825 | | \$ | 627.19 |
| 08-19-36-208-193 | 411 | S | OLD WOODWARD AVE | #1025 | | \$ | 627.19 |
| 08-19-36-208-194 | 411 | S | OLD WOODWARD AVE | #506 | | \$ | 437.01 |

| 08-19-36-208-195 | 411 | S | OLD WOODWARD AVE | #606 | 995 | \$ | 437.01 |
|------------------|---------|---|------------------|-------|-------|----------|--------------|
| 08-19-36-208-196 | 411 | S | OLD WOODWARD AVE | #706 | 995 | \$ | 437.01 |
| 08-19-36-208-197 | 411 | S | OLD WOODWARD AVE | #806 | 995 | \$ | 437.01 |
| 08-19-36-208-198 | 411 | S | OLD WOODWARD AVE | #906 | 995 | \$ | 437.01 |
| 08-19-36-208-199 | 411 | S | OLD WOODWARD AVE | #1006 | 995 | \$ | 437.01 |
| 08-19-36-208-200 | 411 | S | OLD WOODWARD AVE | #630 | 1,956 | \$ | 859.09 |
| 08-19-36-208-201 | 411 | S | OLD WOODWARD AVE | #915 | 1,065 | \$ | 467.76 |
| 08-19-36-208-202 | 411 | S | OLD WOODWARD AVE | #928 | 1,956 | \$ | 859.09 |
| 08-19-36-208-203 | 411 | S | OLD WOODWARD AVE | #625 | 1,428 | \$ | 627.19 |
| 08-19-36-208-205 | 411 | S | OLD WOODWARD AVE | #629 | 699 | \$ | 307.01 |
| 08-19-36-208-206 | 411 | S | OLD WOODWARD AVE | #631 | 702 | \$ | 308.32 |
| 08-19-36-208-207 | 469/479 | S | OLD WOODWARD AVE | | | \$ | 52,493.64 |
| 08-19-36-210-001 | 555 | S | OLD WOODWARD AVE | | | \$ | 371,391.23 |
| 08-19-36-210-003 | 555 | S | OLD WOODWARD AVE | | | \$ | 42,354.60 |
| 08-19-36-210-005 | 555 | S | OLD WOODWARD AVE | | | \$ | 40,087.00 |
| 08-19-36-211-001 | 400 | S | OLD WOODWARD AVE | #208 | | \$ | 85,425.98 |
| 08-19-36-253-025 | 750 | S | OLD WOODWARD AVE | | | \$ | 32,580.46 |
| 08-19-36-253-026 | 772 | S | OLD WOODWARD AVE | | | \$ | 52,780.35 |
| 08-19-36-253-028 | 588 | S | OLD WOODWARD AVE | | | \$ | 97,741.39 |
| 08-19-36-253-029 | 608 | S | OLD WOODWARD AVE | | | \$ | 65,160.93 |
| 08-19-36-253-030 | 500 | S | OLD WOODWARD AVE | | | \$ | 96,438.17 |
| 08-19-36-253-034 | 690 | S | OLD WOODWARD AVE | | | \$ | 97,741.39 |
| 08-19-36-253-035 | 670 | S | OLD WOODWARD AVE | | | \$ | 97,741.39 |
| 08-19-36-278-012 | 808 | S | OLD WOODWARD AVE | | | \$ | 62,424.17 |
| 08-19-36-278-013 | 820 | S | OLD WOODWARD AVE | | | \$ | 32,580.46 |
| 08-19-36-278-014 | 832 | S | OLD WOODWARD AVE | | | \$ | 32,580.46 |
| 08-19-36-278-017 | 850 | S | OLD WOODWARD AVE | | | \$ | 97,741.39 |
| 08-19-36-278-018 | 880 | S | OLD WOODWARD AVE | | | \$ | 166,160.37 |
| | | | | | | | |
| | | | | | | \$ 2 | 2,048,568.37 |
| | | | | | | <u> </u> | • |

| Streetscape Special Assessment 897 | | | | | | | | | | | |
|------------------------------------|-------|----------|------------------|----------|---------|--------------|------------------|--|--|--|--|
| Parcel No. | i i | | Property Address | | Sq Ft | SAD897 Roll | Pre-Bid Estimate | | | | |
| 08-19-36-204-027 | 300 | S | OLD WOODWARD AVE | | | \$65,160.93 | \$52,076.20 | | | | |
| 08-19-36-205-026 | 442 | 5 | OLD WOODWARD AVE | <u> </u> | | \$55,386.79 | \$44,264.77 | | | | |
| 08-19-36-205-041 | 444 | S | OLD WOODWARD AVE | | 1 | \$55,680.01 | \$44,499.11 | | | | |
| 08-19-36-205-043 | 400 | S | OLD WOODWARD AVE | #100 | 1 1 | \$85,425.98 | \$68,271.90 | | | | |
| 08-19-36-208-016 | 355 | S | OLD WOODWARD AVE | | | \$94,613.67 | \$75,614.64 | | | | |
| 08-19-36-208-017 | 401 | S | OLD WOODWARD AVE | <u> </u> | 236,140 | \$103,714.52 | \$82,887.98 | | | | |
| 08-19-36-208-019 | 411 | S | OLD WOODWARD AVE | #501 | 753 | \$330.72 | \$264.31 | | | | |
| 08-19-36-208-020 | 411 | S | OLD WOODWARD AVE | #503 | 713 | \$313.16 | \$250.27 | | | | |
| 08-19-36-208-021 | 411 | S | OLD WOODWARD AVE | #505 | 713 | \$313.16 | \$250.27 | | | | |
| 08-19-36-208-022 | 411 | S | OLD WOODWARD AVE | #507 | 615 | \$270.11 | \$215.87 | | | | |
| 08-19-36-208-025 | 411 | \$ | OLD WOODWARD AVE | #515 | 519 | \$227.95 | \$182.18 | | | | |
| 08-19-36-208-026 | 411 | S | OLD WOODWARD AVE | #517 | 519 | \$227.95 | \$182.18 | | | | |
| 08-19-36-208-027 | 411 | S | OLD WOODWARD AVE | #521 | 645 | \$283.29 | \$226.40 | | | | |
| 08-19-36-208-028 | 411 | 5 | OLD WOODWARD AVE | #523 | 699 | \$307.01 | \$245.36 | | | | |
| 08-19-36-208-029 | 411 | 5 | OLD WOODWARD AVE | #525 | 699 | \$307.01 | \$245.36 | | | | |
| 08-19-36-208-030 | 411 | S | OLD WOODWARD AVE | #527 | 699 | \$307.01 | \$245.36 | | | | |
| 8-19-36-208-031 | 411 | S | OLD WOODWARD AVE | #529 | 699 | \$307.01 | \$245.36 | | | | |
| 8-19-36-208-032 | 411 | 5 | OLD WOODWARD AVE | #531 | 702 | \$308.32 | \$246.41 | | | | |
| 8-19-36-208-033 | 411 | S | OLD WOODWARD AVE | #530 | 804 | \$353.12 | \$282.21 | | | | |
| 8-19-36-208-034 | 411 | S | OLD WOODWARD AVE | #528 | 1,120 | \$491.91 | \$393.13 | | | | |
| 8-19-36-208-035 | 411 | S | OLD WOODWARD AVE | #524 | 1,120 | \$491.91 | \$393.13 | | | | |
| 8-19-36-208-036 | 411 | 5 | OLD WOODWARD AVE | #522 | 1,454 | \$638.61 | \$510.37 | | | | |
| 8-19-36-208-037 | 411 | 5 | OLD WOODWARD AVE | #518 | 1,860 | \$816.93 | \$652.88 | | | | |
| 8-19-36-208-038 | 411 | 5 | OLD WOODWARD AVE | #514 | 793 | \$348.29 | \$278.35 | | | | |
| 8-19-36-208-039 | 411 | 5 | OLD WOODWARD AVE | #S12 | 825 | \$348.25 | | | | | |
| 8-19-36-208-040 | 411 | <u> </u> | OLD WOODWARD AVE | #510 | 2,665 | | \$289.58 | | | | |
| 8-19-36-208-041 | 411 | s | OLD WOODWARD AVE | #508 | 995 | \$1,170.49 | \$935.45 | | | | |
| 08-19-36-208-043 | 411 | S | OLD WOODWARD AVE | #504 | 995 | \$437.01 | \$349.26 | | | | |
| 8-19-36-208-044 | 411 | S | OLD WOODWARD AVE | | | \$437.01 | \$349.26 | | | | |
| 8-19-36-208-045 | 411 | S | OLD WOODWARD AVE | #502 | 995 | \$437.01 | \$349.26 | | | | |
| 8-19-36-208-046 | 411 | S | | #500 | 995 | \$437.01 | \$349.26 | | | | |
| 8-19-36-208-047 | | | OLD WOODWARD AVE | #601 | 753 | \$330.72 | \$264.31 | | | | |
| | 411 | 5 | OLD WOODWARD AVE | #603 | 713 | \$313.16 | \$250.27 | | | | |
| 8-19-36-208-048 | 411 | 5 | OLD WOODWARD AVE | #605 | 713 | \$313.16 | \$250.27 | | | | |
| 8-19-36-208-049 | 411 | 5 | OLD WOODWARD AVE | #607 | 615 | \$270.11 | \$215.87 | | | | |
| 8-19-36-208-054 | 411 | S | OLD WOODWARD AVE | #621 | 645 | \$283.29 | \$226.40 | | | | |
| 8-19-36-208-055 | 411 | <u> </u> | OLD WOODWARD AVE | #623 | 699 | \$307.01 | \$245.36 | | | | |
| 8-19-36-208-062 | 411 | S | OLD WOODWARD AVE | #624 | 1,120 | \$491.91 | \$393.13 | | | | |
| 8-19-36-208-063 | 411 | <u>S</u> | OLD WOODWARD AVE | #622 | 1,454 | \$638.61 | \$510.37 | | | | |
| 8-19-36-208-064 | 411 | S | OLD WOODWARD AVE | #618 | 1,860 | \$816.93 | \$652.88 | | | | |
| 8-19-36-208-065 | 411 | S | OLD WOODWARD AVE | #614 | 793 | \$348.29 | \$278.35 | | | | |
| 8-19-36-208-066 | 411 | S | OLD WOODWARD AVE | #612 | 825 | \$362.35 | \$289.58 | | | | |
| 8-19-36-208-067 | 411 | S | OLD WOODWARD AVE | #610 | 2,665 | \$1,170.49 | \$935.45 | | | | |
| 8-19-36-208-068 | 411 | <u> </u> | OLD WOODWARD AVE | #608 | 995 | \$437.01 | \$349.26 | | | | |
| 8-19-36-208-069 | 411 | 5 | OLD WOODWARD AVE | #604 | 995 | \$437.01 | \$349.26 | | | | |
| 8-19-36-208-070 | 411 | S | OLD WOODWARD AVE | #602 | 995 | \$437.01 | \$349.26 | | | | |
| 8-19-36-208-071 | 411 | S | OLD WOODWARD AVE | #600 | 995 | \$437.01 | \$349.26 | | | | |
| 8-19-36-208-072 | : 411 | S | OLD WOODWARD AVE | #701 | 753 | \$330.72 | \$264.31 | | | | |
| 8-19-36-208-073 | 411 | S | OLD WOODWARD AVE | #703 | 713 | \$313.16 | \$250.27 | | | | |
| 8-19-36-208-074 | 411 | S | OLD WOODWARD AVE | #705 | 713 | \$313.16 | \$250.27 | | | | |
| 3-19-36-208-075 | 411 | S | OLD WOODWARD AVE | #707 | 615 | \$270.11 | \$215.87 | | | | |
| 8-19-36-208-080 | 411 | S | OLD WOODWARD AVE | #721 | 645 | \$283.29 | \$226.40 | | | | |
| 8-19-36-208-081 | 411 | S | OLD WOODWARD AVE | #723 | 699 | \$307.01 | \$245.36 | | | | |
| 3-19-36-208-086 | 411 | S | OLD WOODWARD AVE | #730 | 804 | \$353.12 | \$282.21 | | | | |
| 8-19-36-208-087 | 411 | 5 | OLD WOODWARD AVE | #728 | 1,120 | \$491.91 | \$393.13 | | | | |
| 8-19-36-208-088 | 411 | S | OLD WOODWARD AVE | #724 | 1,120 | \$491.91 | \$393.13 | | | | |

| <u> </u> | | | 1 | | | | |
|------------------|-----|----------|-------------------|-------|-------|------------|-------------|
| 08-19-36-208-089 | 411 | S | OLD WOODWARD AVE | #722 | 1,454 | \$638.61 | \$510.37 |
| 08-19-36-208-090 | 411 | 5 | OLD WOODWARD AVE | #718 | 1,860 | \$816.93 | \$652.88 |
| 08-19-36-208-091 | 411 | S | OLD WOODWARD AVE | #714 | 793 | \$348.29 | \$278.35 |
| 08-19-36-208-092 | 411 | S | OLD WOODWARD AVE | #712 | 825 | \$362.35 | \$289.58 |
| 08-19-36-208-093 | 411 | S | OLD WOODWARD AVE | #710 | 2,665 | \$1,170.49 | \$935.45 |
| 08-19-36-208-094 | 411 | S | OLD WOODWARD AVE | #708 | 995 | \$437.01 | \$349.26 |
| 08-19-36-208-096 | 411 | S | OLD WOODWARD AVE | #704 | 995 | \$437.01 | \$349.26 |
| 08-19-36-208-097 | 411 | S | OLD WOODWARD AVE | #702 | 995 | \$437.01 | \$349.26 |
| 08-19-36-208-098 | 411 | S | OLD WOODWARD AVE | #700 | 995 | \$437.01 | \$349.26 |
| 08-19-36-208-099 | 411 | 5 | OLD WOODWARD AVE | #801 | 753 | \$330.72 | \$264.31 |
| 08-19-36-208-100 | 411 | S | OLD WOODWARD AVE | #803 | 713 | \$313.16 | \$250.27 |
| 08-19-36-208-101 | 411 | S | OLD WOODWARD AVE | #805 | 713 | \$313.16 | \$250.27 |
| 08-19-36-208-102 | 411 | 5 | OLD WOODWARD AVE | #807 | 615 | \$270.11 | \$215.87 |
| 08-19-36-208-103 | 411 | S | OLD WOODWARD AVE | #811 | 519 | \$227.95 | \$182.18 |
| 08-19-36-208-104 | 411 | S | OLD WOODWARD AVE | #813 | 519 | \$227.95 | \$182.18 |
| 08-19-36-208-105 | 411 | S | OLD WOODWARD AVE | #815 | 519 | \$227.95 | \$182.18 |
| 08-19-36-208-106 | 411 | S | OLD WOODWARD AVE | #817 | 519 | \$227.95 | \$182.18 |
| 08-19-36-208-107 | 411 | S | OLD WOODWARD AVE | #821 | 645 | \$283.29 | \$226.40 |
| 08-19-36-208-108 | 411 | 5 | OLD WOODWARD AVE | #823 | 699 | \$307.01 | \$245.36 |
| 08-19-36-208-115 | 411 | 5 | OLD WOODWARD AVE | #824 | 1,120 | \$491.91 | \$393.13 |
| 08-19-36-208-116 | 411 | S | OLD WOODWARD AVE | #822 | 1,454 | \$638.61 | \$510.37 |
| 08-19-36-208-117 | 411 | S | OLD WOODWARD AVE | #818 | 1,860 | \$816.93 | \$652.88 |
| 08-19-36-208-118 | 411 | 5 | OLD WOODWARD AVE | #814 | 793 | \$348.29 | \$278.35 |
| 08-19-36-208-119 | 411 | 5 | OLD WOODWARD AVE | #812 | 825 | \$362.35 | \$289.58 |
| 08-19-36-208-120 | 411 | S | OLD WOODWARD AVE | #810 | 2,665 | \$1,170.49 | \$935.45 |
| 08-19-36-208-121 | 411 | S | OLD WOODWARD AVE | #808 | 995 | \$437.01 | \$349.26 |
| 08-19-36-208-122 | 411 | S | OLD WOODWARD AVE | #804 | 995 | \$437.01 | \$349.26 |
| 08-19-36-208-123 | 411 | 5 | OLD WOODWARD AVE | #802 | 995 | \$437.01 | \$349.26 |
| 08-19-36-208-124 | 411 | S | OLD WOODWARD AVE | #800 | 995 | \$437.01 | \$349.26 |
| 08-19-36-208-125 | 411 | S | OLD WOODWARD AVE | #901 | 753 | \$330.72 | \$264.31 |
| 08-19-36-208-126 | 411 | S | OLD WOODWARD AVE | #903 | 713 | \$313.16 | \$250.27 |
| 08-19-36-208-127 | 411 | S | OLD WOODWARD AVE | #905 | 713 | \$313.16 | \$250.27 |
| 08-19-36-208-128 | 411 | S | OLD WOODWARD AVE | #907 | 615 | \$270.11 | \$215.87 |
| 08-19-36-208-129 | 411 | S | OLD WOODWARD AVE | #911 | 519 | \$227.95 | \$182.18 |
| 08-19-36-208-130 | 411 | 5 | OLD WOODWARD AVE | #913 | 519 | \$227.95 | \$182.18 |
| 08-19-36-208-133 | 411 | 5 | OLD WOODWARD AVE | #921 | 645 | \$283.29 | \$226.40 |
| 08-19-36-208-134 | 411 | 5 | OLD WOODWARD AVE | #923 | 699 | \$307.01 | \$245.36 |
| 08-19-36-208-135 | 411 | S | OLD WOODWARD AVE | #925 | 699 | \$307.01 | \$245.36 |
| 08-19-36-208-136 | 411 | 5 | OLD WOODWARD AVE | #927 | 699 | \$307.01 | \$245.36 |
| 08-19-36-208-137 | 411 | S | OLD WOODWARD AVE | #929 | 699 | \$307.01 | \$245.36 |
| 08-19-36-208-138 | 411 | <u> </u> | OLD WOODWARD AVE | #931 | 702 | \$308.32 | \$246.41 |
| 08-19-36-208-141 | 411 | S | OLD WOODWARD AVE | #924 | 1,120 | \$491.91 | \$393.13 |
| 08-19-36-208-142 | 411 | 5 | OLD WOODWARD AVE | #922 | 1,454 | \$638.61 | \$510.37 |
| 08-19-36-208-143 | 411 | <u>5</u> | OLD WOODWARD AVE | #918 | 1,860 | \$816.93 | \$652.88 |
| 08-19-36-208-146 | 411 | S | OLD WOODWARD AVE | #910 | 2,665 | \$1,170.49 | \$935.45 |
| 08-19-36-208-147 | 411 | S | OLD WOODWARD AVE | #908 | 995 | \$437.01 | \$349.26 |
| 08-19-36-208-149 | 411 | 5 | OLD WOODWARD AVE | #904 | 995 | \$437.01 | \$349.26 |
| 08-19-36-208-150 | 411 | 5 | OLD WOODWARD AVE | #902 | 995 | \$437.01 | \$349.26 |
| 08-19-36-208-151 | 411 | S | OLD WOODWARD AVE | #900 | 995 | \$437.01 | \$349.26 |
| 08-19-36-208-152 | 411 | S | OLD WOODWARD AVE | #1001 | 754 | \$331.16 | \$264.66 |
| 08-19-36-208-153 | 411 | \$ | OLD WOODWARD AVE | #1001 | 714 | \$313.59 | \$250.62 |
| 08-19-36-208-154 | 411 | <u> </u> | OLD WOODWARD AVE | #1005 | 714 | \$313.59 | \$250.62 |
| 08-19-36-208-155 | 411 | <u> </u> | OLD WOODWARD AVE | #1003 | 616 | \$270.55 | |
| 08-19-36-208-156 | 411 | <u> </u> | OLD WOODWARD AVE | #1007 | 519 | | \$216.22 |
| 08-19-36-208-157 | 411 | <u>s</u> | OLD WOODWARD AVE | | | \$227.95 | \$182.18 |
| 08-19-36-208-168 | 411 | | | #1013 | 519 | \$227.95 | \$182.18 |
| 08-19-36-208-169 | 411 | S | OLD WOODWARD AVE | #1024 | 1,120 | \$491.91 | \$393.13 |
| 08-19-36-208-170 | | <u> </u> | OLD WOODWARD AVE | #1022 | 1,454 | \$638.61 | \$510.37 |
| 08-19-36-208-171 | 411 | S | OLD WOODWARD AVE | #1018 | 1,860 | \$816.93 | \$652.88 |
| 09-13-30-509-1/1 | 411 | 2 | TOTO MOODWAKD AVE | #1014 | 793 | \$348.29 | \$278.35 |

| 00 10 26 200 172 | 244 | - | OLD MOODINGS AND | 44000 | | A | 4 |
|------------------|---------|-----------|-------------------|--|-------|----------------------|----------------|
| 08-19-36-208-172 | 411 | | OLD WOODWARD AVE | #1012 | 826 | \$362.79 | \$289.94 |
| 08-19-36-208-173 | 411 | S | OLD WOODWARD AVE | #1010 | 2,665 | \$1,170.49 | \$935.45 |
| 08-19-36-208-174 | 411 | S | OLD WOODWARD AVE | #1008 | 994 | \$436.57 | \$348.91 |
| 08-19-36-208-175 | 411 | 5 | OLD WOODWARD AVE | #1004 | 994 | \$436.57 | \$348.91 |
| 08-19-36-208-176 | 411 | S | OLD WOODWARD AVE | #1002 | 994 | \$436.57 | \$348.91 |
| 08-19-36-208-177 | 411 | 5 | OLD WOODWARD AVE | #1000 | 995 | \$437.01 | \$349.26 |
| 08-19-36-208-178 | 411 | S | OLD WOODWARD AVE | #711 | 1,065 | \$467.76 | \$373.83 |
| 08-19-36-208-179 | 411 | 5 | OLD WOODWARD AVE | #725 | 1,428 | \$627.19 | \$501.25 |
| 08-19-36-208-180 | 411 | S | OLD WOODWARD AVE | #729 | 1,432 | \$628.95 | \$502.65 |
| 08-19-36-208-181 | 411 | S | OLD WOODWARD AVE | #829 | 1,432 | \$628.95 | \$502.65 |
| 08-19-36-208-182 | 411 | 5 | OLD WOODWARD AVE | #828 | 1,956 | \$859.09 | \$686.58 |
| 08-19-36-208-183 | 411 | S | OLD WOODWARD AVE | #1015 | 1,065 | \$467.76 | \$373.83 |
| 08-19-36-208-184 | 411 | S | OLD WOODWARD AVE | #1021 | 1,373 | \$603.03 | \$481.94 |
| 08-19-36-208-185 | 411 | S | OLD WOODWARD AVE | #1029 | 1,432 | \$628.95 | \$502.65 |
| 08-19-36-208-186 | 411 | 5 | OLD WOODWARD AVE | #511 | 1,065 | \$467.76 | \$373.83 |
| 08-19-36-208-187 | 411 | \$ | OLD WOODWARD AVE | #611 | 1,065 | \$467.76 | \$373.83 |
| 08-19-36-208-188 | 411 | S | OLD WOODWARD AVE | #615 | 1,065 | \$467.76 | \$373.83 |
| 08-19-36-208-189 | 411 | S | OLD WOODWARD AVE | #715 | 1,065 | \$467.76 | \$373.83 |
| 08-19-36-208-190 | 411 | 5 | OLD WOODWARD AVE | #912 | 1,648 | \$723.81 | \$578.47 |
| 08-19-36-208-191 | 411 | 5 | OLD WOODWARD AVE | #1028 | 1.956 | \$859.09 | \$686.58 |
| 08-19-36-208-192 | 411 | S | OLD WOODWARD AVE | #825 | 1,428 | \$627.19 | |
| 08-19-36-208-193 | 411 | S | OLD WOODWARD AVE | #1025 | 1,428 | \$627.19 | \$501.25 |
| 08-19-36-208-194 | 411 | S | OLD WOODWARD AVE | #506 | 995 | | \$501.25 |
| 08-19-36-208-195 | 411 | S | OLD WOODWARD AVE | #606 | | \$437.01 | \$349.26 |
| 08-19-36-208-196 | | S | | | 995 | \$437.01 | \$349.26 |
| | 411 | | OLD WOODWARD AVE | #706 | 995 | \$437.01 | \$349.26 |
| 08-19-36-208-197 | 411 | S | OLD WOODWARD AVE | #806 | 995 | \$437.01 | \$349.26 |
| 08-19-36-208-198 | 411 | S | OLD WOODWARD AVE | #906 | 995 | \$437.01 | \$349.26 |
| 08-19-36-208-199 | 411 | <u> </u> | OLD WOODWARD AVE | #1006 | 995 | \$437.01 | \$349.26 |
| 08-19-36-208-200 | 411 | \$ | OLD WOODWARD AVE | #630 | 1,956 | \$859.09 | \$686.58 |
| 08-19-36-208-201 | 411 | <u>\$</u> | OLD WOODWARD AVE | #915 | 1,065 | \$467.76 | \$373.83 |
| 08-19-36-208-202 | 411 | S | OLD WOODWARD AVE | #928 | 1,956 | \$859.09 | \$686.58 |
| 08-19-36-208-203 | 411 | s | OLD WOODWARD AVE | #625 | 1,428 | \$627.19 | \$501.25 |
| 08-19-36-208-205 | 411 | S | OLD WOODWARD AVE | #629 | 699 | \$307.01 | \$245.36 |
| 08-19-36-208-206 | 411 | 5 | OLD WOODWARD AVE | #631 | 702 | \$308.32 | \$246.41 |
| 08-19-36-208-207 | 469/479 | 5 | OLD WOODWARD AVE | | | \$ <u>5</u> 2,493.64 | \$41,952.59 |
| 08-19-36-210-001 | 555 | S | OLD WOODWARD AVE | | | \$371,391.23 | \$296,813.50 |
| 08-19-36-210-003 | 555 | S | OLD WOODWARD AVE | | | \$42,354.60 | \$33,849.53 |
| 08-19-36-210-005 | 555 | 5 | OLD WOODWARD AVE | | | \$40,087.00 | \$32,037.28 |
| 08-19-36-211-001 | 400 | S | OLD WOODWARD AVE | #208 | | \$85,425.98 | \$68,271.90 |
| 08-19-36-253-025 | 750 | S | OLD WOODWARD AVE | | | \$32,580.46 | \$26,038.10 |
| 08-19-36-253-026 | 772 | S | OLD WOODWARD AVE | | | \$52,780.35 | \$42,181.72 |
| 08-19-36-253-028 | 588 | S | OLD WOODWARD AVE | | | \$97,741.39 | \$78,114.30 |
| 08-19-36-253-029 | 608 | S | OLD WOODWARD AVE | 1 1 | | \$65,160.93 | \$52,076.20 |
| 08-19-36-253-030 | 500 | S | OLD WOODWARD AVE | | | \$96,438.17 | \$77,072.77 |
| 08-19-36-253-034 | 690 | S | OLD WOODWARD AVE | | | \$97,741.39 | \$78,114.30 |
| 08-19-36-253-035 | 670 | S | OLD WOODWARD AVE | | | \$97,741.39 | \$78,114.30 |
| 08-19-36-278-012 | 808 | \$ | OLD WOODWARD AVE | 1 | | \$62,424.17 | \$49,889.00 |
| 08-19-36-278-013 | 820 | <u> </u> | OLD WOODWARD AVE | + | | \$32,580.46 | \$26,038.10 |
| 08-19-36-278-014 | 832 | <u> </u> | OLD WOODWARD AVE | | | \$32,580.46 | |
| 08-19-36-278-017 | 850 | S | OLD WOODWARD AVE | 1 | | \$97,741.39 | \$26,038.10 |
| 08-19-36-278-018 | 880 | S | OLD WOODWARD AVE | + | | | \$78,114.30 |
| 00 25 50-270-018 | 380 | 3 | JOED HOODWARD AVE | | _ | \$166,160.37 | \$132,794.31 |
| | | | | | | \$2,048,568.37 | \$1,637,202.79 |



(Engineering)

DATE:

March 8, 2022

TO:

Thomas M. Markus, City Manager

FROM:

Scott D. Zielinski, Assistant City Engineer

SUBJECT:

Hearing of Necessity for S. Old Woodward Sidewalk and

Streetscape SAD

INTRODUCTION:

The city's streetscape and sidewalks will be improved this summer as part of the Engineering Department's planned downtown area Phase 3 reconstruction project along South Old Woodward between Brown Street and Landon Street. Work will be similar to previous phases of work completed in 2018 for Phase 1 on Old Woodward from Oakland Avenue to Brown Street, and in 2020 for Phase 2 work completed on Maple Road from Southfield Road to Pierce Street, and from Old Woodward Avenue to Woodward Avenue. The completed work included upgrades to all streetscape features from building face to building face across the road. The Engineering Department is recommending the Sidewalk and Streetscape Special Assessment District (SAD) be set at this time.

BACKGROUND:

Phase 1 and Phase 2 portions of the downtown reconstruction projects (completed in 2018 and 2020), included complete replacement of the sidewalks, and provided certain landscape enhancements and pedestrian-oriented amenities within the project areas. The costs to the city for construction of these improvements in Phase 1 and Phase 2 were partially defrayed by way of Special Assessment to the property owners adjoining that project area. In the same way, the city intends to assess a portion of the costs for the streetscape improvements that are planned to be constructed with the Phase 3 project.

The new streetscape will consist of an enhanced version of the downtown standard sawcut concrete sidewalk with exposed aggregate sidewalk between the main pedestrian path and the street curb. Elements of the new streetscape design to be included in this project include:

- All new concrete and exposed aggregate sidewalks from the building face to the back of curbs.
- Removal and replacement of all street trees, including excavation and replacement with approximately 1,000 cubic feet of specially formulated soil designed to encourage tree growth.
- Enlarged, raised planter beds around each new street tree, framed by a 6 inch high exposed aggregate curb, with irrigation, and professionally designed landscaping.
- Granite seating areas where space permits.

• Installation of underground electrical system to provide new lighting opportunities for trees along the sidewalk and in the proposed median.

On previous projects of this nature, it has been the City's policy to assess 75% of the streetscape improvements to the properties that share frontage with the improvements. The cost per property will be assessed as an average cost per linear foot of frontage for the improvements. The properties with multiple owners will share the cost of the frontage, and the amount will be based on the square footage of building area owned. The City will bill one-tenth of the assessment, as is standard on other special assessment districts, plus interest, on an annual basis, to make the cost more manageable for the property owners. The attached map highlights property frontages subject to a sidewalk streetscape assessment.

For purposes of the assessment district, the properties on the west side of South Old Woodward from East Brown Street to Daines Street (the RH development property) have been included in the district in case current development plans change and the City elects to proceed with improvements in this area. However, if the development project begins as planned, about the same time as the City's project (as the developer is currently indicating), then the cost for streetscape improvements in this area will not be expended by the City, nor charged to the property owner as they will be completed by the development.

The Engineering Department plans to provide a detailed spreadsheet with estimated assessment values based off the engineer's estimate at the Hearing of Necessity.

LEGAL REVIEW:

Chapter 94 – Special Assessments of the Birmingham City Code outlines the process by which a special assessment is conducted in the City of Birmingham. This project will follow the prescribed City Code procedures.

FISCAL IMPACT:

Revenue generated from the Sidewalk and Streetscape SAD for the Phase 3 Old Woodward Reconstruction project will defray the costs incurred by the city for construction of these improvements and has been considered as an integral part of the financial forecasting for the General Fund in future years.

PUBLIC COMMUNICATIONS:

Notice for the Confirmation of Roll is to be distributed by the Clerk's Office. The Engineering Department has sent all property owners a letter explaining the associated work. The design team held an informational meeting regarding the project on Monday, February 21, 2022 from 5:30-7:00 p.m. at City Hall in the Commission Room (a zoom link was also provided on the City website for remote viewing). The team discussed the project overview, traffic access during construction, Birmingham Shopping District initiatives during construction, and special assessments related to the project. A recording of this meeting is available on the city's website at www.bhamgov.org/oldwoodwardphase3.

SUMMARY:

The Engineering Department recommends that the commission declare necessity and approve a Special Assessment District for the improvement of sidewalk and streetscape as part of the Phase 3 South Old Woodward Reconstruction. Should the Commission form the Special Assessment District, a Public Hearing for Confirmation of the Roll should be set on April 11, 2022.

ATTACHMENTS:

Map of proposed Special Assessment District

Spreadsheet of properties with estimated costs and associated lengths

Clerk's Confirmation of Public Hearing Notice

SUGGESTED COMMISSION ACTION:

Make a motion adopting a resolution declaring necessity and approving a Special Assessment District with special assessments levied in accordance with benefits against the properties within such assessment district. The special assessment district shall include all properties within the following district of **165** parcels (listed below), and the City Commission will meet on Monday, April 11, 2022 at 7:30 P.M. for the purpose of conducting the Public Hearing to Confirm the Assessment Roll for the sidewalk and streetscape improvements adjacent to all properties within the project area on South Old Woodward Avenue, between Brown Street and Landon Street.

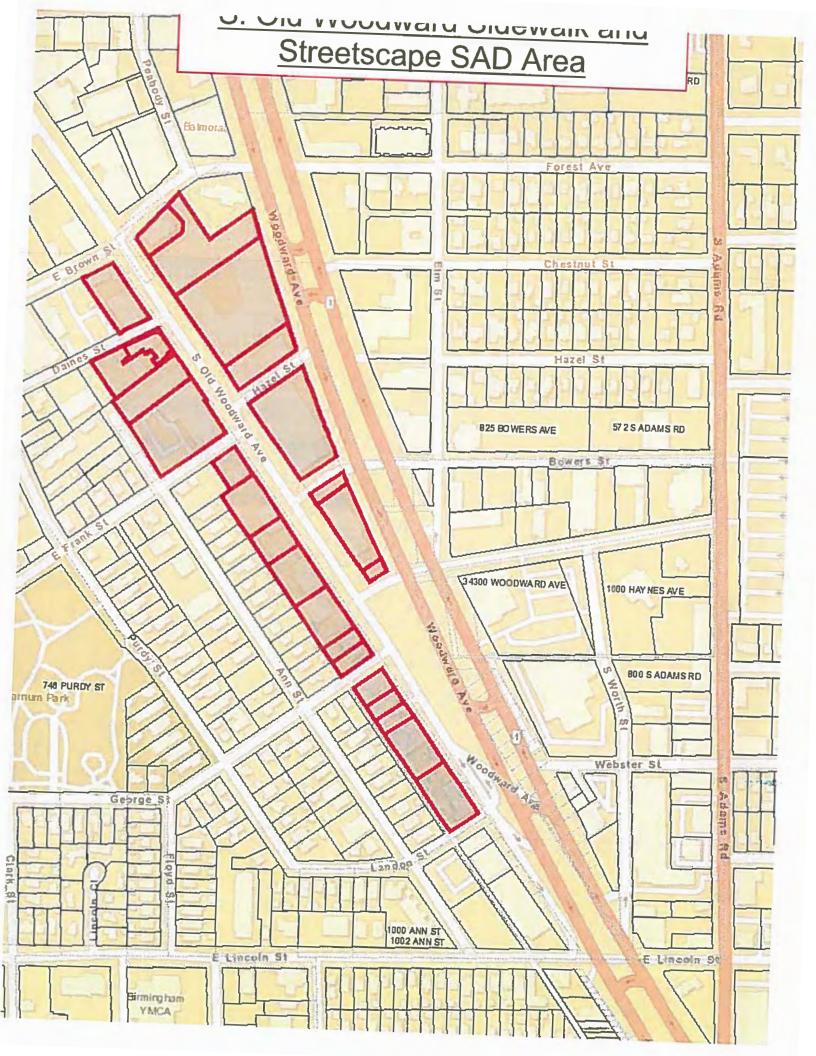
| Parcel No. | Property Address | | |
|------------------|------------------|---|------------------|
| | | | |
| 08-19-36-204-027 | 300 | S | OLD WOODWARD AVE |
| 08-19-36-205-026 | 442 | S | OLD WOODWARD AVE |
| 08-19-36-205-041 | 444 | S | OLD WOODWARD AVE |
| 08-19-36-205-043 | 400 | S | OLD WOODWARD AVE |
| 08-19-36-208-016 | 355 | S | OLD WOODWARD AVE |
| 08-19-36-208-017 | 401 | S | OLD WOODWARD AVE |
| 08-19-36-208-019 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-020 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-021 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-022 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-025 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-026 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-027 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-028 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-029 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-030 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-031 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-032 | 411 | S | OLD WOODWARD AVE |

| 1 | | | |
|------------------|-------|----|------------------|
| 08-19-36-208-033 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-034 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-035 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-036 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-037 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-038 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-039 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-040 | 411 | \$ | OLD WOODWARD AVE |
| 08-19-36-208-041 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-043 | - 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-044 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-045 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-046 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-047 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-048 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-049 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-054 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-055 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-062 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-063 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-064 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-065 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-066 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-067 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-068 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-069 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-070 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-071 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-072 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-073 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-074 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-075 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-080 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-081 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-086 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-087 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-088 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-089 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-090 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-091 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-092 | 411 | 5 | OLD WOODWARD AVE |
| 00 40 35 300 003 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-093 | | | |

| | I | | |
|--|--|--|---|
| 08-19-36-208-096 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-097 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-098 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-099 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-100 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-101 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-102 | 411 | \$ | OLD WOODWARD AVE |
| 08-19-36-208-103 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-104 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-105 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-106 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-107 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-108 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-115 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-116 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-117 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-118 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-119 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-120 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-121 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-122 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-123 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-124 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-125 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-126 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-127 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-128 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-129 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-130 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-133 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-134 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-135 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-136 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-137 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-138 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-141 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-142 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-143 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-146 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-147 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-149 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-150 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-151 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-134 08-19-36-208-135 08-19-36-208-136 08-19-36-208-137 08-19-36-208-138 08-19-36-208-141 08-19-36-208-142 08-19-36-208-143 08-19-36-208-146 08-19-36-208-147 08-19-36-208-147 08-19-36-208-149 08-19-36-208-150 | 411 411 411 411 411 411 411 411 411 411 | 5 5 5 5 5 5 5 5 5 5 | OLD WOODWARD AVE |

| 08-19-36-208-152 | 411 | c | OLD WOODWARD AVE |
|------------------|-----|----------|------------------|
| | | | OLD WOODWARD AVE |
| 08-19-36-208-153 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-154 | 411 | <u> </u> | OLD WOODWARD AVE |
| 08-19-36-208-155 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-156 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-157 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-168 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-169 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-170 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-171 | 411 | - 5 | OLD WOODWARD AVE |
| 08-19-36-208-172 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-173 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-174 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-175 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-176 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-177 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-178 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-179 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-180 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-181 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-182 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-183 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-184 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-185 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-186 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-187 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-188 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-189 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-190 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-191 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-192 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-193 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-194 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-195 | 411 | s | OLD WOODWARD AVE |
| 08-19-36-208-196 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-197 | 411 | | OLD WOODWARD AVE |
| | 411 | <u> </u> | |
| 08-19-36-208-198 | | | OLD WOODWARD AVE |
| 08-19-36-208-199 | 411 | <u>S</u> | OLD WOODWARD AVE |
| 08-19-36-208-200 | 411 | <u>s</u> | OLD WOODWARD AVE |
| 08-19-36-208-201 | 411 | _ 5 | OLD WOODWARD AVE |
| 08-19-36-208-202 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-203 | 411 | 5 | OLD WOODWARD AVE |
| 08-19-36-208-205 | 411 | 5 | OLD WOODWARD AVE |

| 1 | | | |
|------------------|---------|---|------------------|
| 08-19-36-208-206 | 411 | S | OLD WOODWARD AVE |
| 08-19-36-208-207 | 469/479 | 5 | OLD WOODWARD AVE |
| 08-19-36-210-001 | 555 | S | OLD WOODWARD AVE |
| 08-19-36-210-003 | 555 | S | OLD WOODWARD AVE |
| 08-19-36-210-005 | 555 | s | OLD WOODWARD AVE |
| 08-19-36-211-001 | 400 | s | OLD WOODWARD AVE |
| 08-19-36-253-025 | 750 | S | OLD WOODWARD AVE |
| 08-19-36-253-026 | 772 | s | OLD WOODWARD AVE |
| 08-19-36-253-028 | 588 | S | OLD WOODWARD AVE |
| 08-19-36-253-029 | 608 | 5 | OLD WOODWARD AVE |
| 08-19-36-253-030 | 500 | 5 | OLD WOODWARD AVE |
| 08-19-36-253-034 | 690 | s | OLD WOODWARD AVE |
| 08-19-36-253-035 | 670 | s | OLD WOODWARD AVE |
| 08-19-36-278-012 | 808 | s | OLD WOODWARD AVE |
| 08-19-36-278-013 | 820 | 5 | OLD WOODWARD AVE |
| 08-19-36-278-014 | 832 | 5 | OLD WOODWARD AVE |
| 08-19-36-278-017 | 850 | 5 | OLD WOODWARD AVE |
| 08-19-36-278-018 | 880 | 5 | OLD WOODWARD AVE |
| | | | |





MEMORANDUM

Clerk's Office

DATE:

Thursday, March 10, 2022

TO:

Scott Zielinski, Assistant City Engineer

FROM:

Christina Woods, Deputy Clerk

SUBJECT:

Clerk's Office Confirmation of Public Hearing of Necessity and

Confirmation: Old Woodward Streetscape Special Assessment

District

The public hearing of necessity and confirmation notice process has been completed for the Old Woodward Streetscape Special Assessment District. Please see attachments for further confirmation.

Mailing Date: March 4, 2022

Publishing Dates in the Birmingham Eccentric: February 27 & March 6 2022

Also posted on www.bhamgov.org/publicnotices

Attachments:

- 1. Public Hearing Notice
- 2. Addresses
- 3. Mailing Letter
- 4. Affidavit of publishing

| LTON NOT | NOTICE OF PUBLIC HEARINGS | | | | |
|---|--|--|--|--|--|
| BIRM | BIRMINGHAM CITY COMMISSION | | | | |
| PUBL | IC HEARING OF NECESSITY | | | | |
| PUBLIC | HEARING OF CONFIRMATION | | | | |
| Meeting Date, Time, Location: HEARING OF NECESSITY FOR SPECIAL ASSESS | | | | | |
| | DISTRICT | | | | |
| | Monday, Monday, March 14, 2022, 7:30 PM | | | | |
| | Municipal Building, 151 Martin, Birmingham, MI 48009 | | | | |
| Meeting Date, Time, Location: | HEARING OF CONFIRMATION FOR SPECIAL | | | | |
| | ASSESSMENT DISTRICT | | | | |
| | Monday, April 11, 2022, 7:30 PM | | | | |
| | Municipal Building, 151 Martin, Birmingham, MI 48009 | | | | |
| Project Location: | S. Old Woodward Avenue, from Brown St. to Landon St. | | | | |
| Nature of Improvement: | Construction of sidewalk and streetscape improvements | | | | |
| | adjacent to all properties within the project area | | | | |
| City Staff Contact: | Scott Zielinski, Assistant City Engineer | | | | |
| | szielinski@bhamgov.org, (248)530-1838 | | | | |
| Notice Requirements: | Mail to affected property owners | | | | |
| | Publish February 27, 2022 & March 6, 2022 | | | | |
| Approved minutes may be | City Clerk's Office | | | | |
| reviewed at: | | | | | |
| | If all the second secon | | | | |

Should you have any statement regarding the above, you are invited to attend the meeting in person or virtually through ZOOM: https://zoom.us/j/655079760 Meeting ID: 655 079 760

You or your agent may appear at the hearings to express your views; however, if you fail to protest either in person or by letter received on or before the date of the hearing, you cannot appeal the amount of the special assessment to the Michigan Tax Tribunal. Mail any correspondence to: City Clerk, P.O. Box 3001, Birmingham, MI 48012.

The property owner may file a written appeal of the special assessment with the State Tax Tribunal within 30 days after the confirmation of the special assessment roll if that special assessment was protested at the hearing held for the purpose of confirming the roll.

All special assessments, including installment payments, shall, from the date of the confirmation thereof, constitute a lien on the respective lots or parcels assessed, and until paid shall be charged against the respective owners of the lots or parcels assessed.

Persons with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk's Office at 248.530.1880 (voice) or 248.644.5115 (TDD) at least one day in advance to request mobility, visual, hearing or other assistance.

| Parcel | Name | Address | City | State | 7in |
|------------|--|--|-----------------------------------|----------|-------------------|
| 1936204027 | WOODWARD DEVELOPMENT LLC | 15 KOCH RD | CORTE MADERA | CA | 94925 |
| 1936205026 | FLORENCE SHARE | 333 W FORT ST FL 12TH | DETROIT | MI | 48226 |
| 1936205041 | GALYN ASSOCIATES LTD PTNSHP | 1435 N GLENGARRY RD | BLOOMFIELD HILLS | MI | 48301 |
| 1936205043 | NBNS LLC | 180 HIGH OAK RD | BLOOMFIELD HILLS | MI | 48304 |
| 1936208015 | 325 S OLD WOODWARD LLC | 330 HAMILTON ROW STE 300 | BIRMINGHAM | Mt | 48009 |
| 1936208016 | FULLER CENTRAL PARK PRPRTS | 112 PEABODY ST | BIRMINGHAM | MI | 48009 |
| 1936208017 | HANA AJJOUR | 411 S OLD WOODWARD AVE # 906 | BIRMINGHAM | MI | 48009 |
| 1936208017 | LISA M HUSSMAN | 11070 RESORT RD STE 307 | ELLICOTT CITY | MD | 21042 |
| 1936208017 | PETER SAROTTE | 411 S OLD WOODWARD AVE # 515 | BIRMINGHAM | MI | 48009 |
| | WAAD INVESTMENTS LLC | 4805 BANTRY DR | WEST BLOOMFIELD | MI | 48322 |
| | NIKOLE L FINE | 883 EMMONS AVE | BIRMINGHAM | MI | 48009 |
| 1936208017 | | 411 S OLD WOODWARD AVE # 523 | BIRMINGHAM | MI | 48009 |
| | CORCORAN STREET PROPERTIES LLC | 3560 ROLAND DR | BLOOMFIELD HILLS | MI | 48301 |
| | STEVEN H MUSKOVITZ | 16146 BELFORD DR | MILTON | GA | 30004 |
| | LORNA G WESTFALL | 28347 CHATHAM RD | GROSSE ILE | MI | 48138 |
| | ROBERT P LEVIN | 411 S OLD WOODWARD AVE # 510 | BIRMINGHAM | MI | 48009 |
| | VALERIE A FOLEY | 411 S OLD WOODWARD AVE # 508 | BIRMINGHAM | MI | 4800 9 |
| | KEVIN COOPER | 3847 BOULDER DR | TROY | MI | 48084 |
| | GEORGIANNA STEUDLE | 1149 HILLPOINTE CIR | BLOOMFIELD HILLS | MI | 48304 |
| 1936208017 | | 411 S OLD WOODWARD AVE # 500 | BIRMINGHAM | MI | 48009 |
| | STACIE JILL LEIB KAM PROPERTIES LLC | 411 S OLD WOODWARD AVE # 601 | BIRMINGHAM | MI | 48009 |
| | FRANCIS A ENGELHARDT | 511 OLDE TOWNE RD UNIT 81515 | ROCHESTER | MI | 48308 |
| | EUNICE GALPERIN REVOC TRUST | 411 S OLD WOODWARD AVE # 904 411 S OLD WOODWARD AVE # 902 | BIRMINGHAM | MI | 48009 |
| | DAVID A ROBINSON | 28145 GREENFIELD RD STE 100 | BIRMINGHAM | MI | 48009 |
| | GERALD F REINHART | 390 PARK ST STE 222 | SOUTHFIELD | MI | 48076 |
| | STUART D SHERR | 31300 ORCHARD LAKE RD STE 200 | BIRMINGHAM | MI | 48009 |
| | GERALD F REINHART | 32700 BINGHAM LN | FARMINGTON HILLS BINGHAM FARMS | MI | 48334 |
| 1936208017 | | 411 S OLD WOODWARD AVE # 1007 | BIRMINGHAM | MI MI | 48025 48009 |
| | MARY LOU GILDERS | 8600 95TH AVE | EVART | MI | 49631 |
| | CARINE VAN LANDSCHOOT | 411 5 OLD WOODWARD AVE # 607 | BIRMINGHAM | MI | 48009 |
| | EUGENE J WITTSTOCK | 411 S OLD WOODWARD AVE # 621 | BIRMINGHAM | MI | 48009 |
| | GREGORY W GEIGER | 628 WOODLAND ST | BIRMINGHAM | MI | 48009 |
| | DORIS A HANNA REVOC TRUST | 3755 WALNUT BROOK DR | ROCHESTER HILLS | MI | 48309 |
| | RAMA K P PINNAMANENI | 411 S OLD WOODWARD AVE # 622 | BIRMINGHAM | MI | 48009 |
| 1936208017 | DAVID SZCZUPAK | 28870 GIRARD TER | NAPLES | FL | 34119 |
| 1936208017 | TANZANITE 61 LLC | 3041 HERON POINTE DR | BLOOMFIELD HILLS | MI | 48302 |
| 1936208017 | SHIRLEY NAKASH | PO BOX 7137 | BLOOMFIELD HILLS | MI | 48302 |
| 1936208017 | MARIA A CHIRCO | 411 S OLD WOODWARD AVE # 929 | BIRMINGHAM | MI | 48009 |
| 1936208017 | ALANA GUN | 411 S OLD WOODWARD AVE # 931 | BIRMINGHAM | МІ | 48009 |
| 1936208017 | ESTELLE MILLER REVOC TRUST | 411 S OLD WOODWARD AVE # 924 | BIRMINGHAM | MI | 48009 |
| 1936208017 | MUNE GOWDA | 411 S OLD WOODWARD AVE # 922 | BIRMINGHAM | MI | 48009 |
| 1936208017 | BETTY BILLIG | 239 N GLENHURST DR | BLOOMFIELD HILLS | MI | 48301 |
| 1936208017 | EDWIN B SHAW | 411 S OLD WOODWARD AVE # 910 | BIRMINGHAM | MI | 48009 |
| 1936208017 | SUSAN WINSHALL REVOC TRUST | 411 S OLD WOODWARD AVE # 828 | BIRMINGHAM | MI | 48009 |
| 1936208017 | VANGELOFF PROPERTIES LLC | 411 S OLD WOODWARD AVE UNIT 718 | BIRMINGHAM | MI | 48009 |
| | SAMUEL MCKNIGHT | 411 S OLD WOODWARD AVE # 825 | BIRMINGHAM | MI | 48009 |
| | CHRISTOPOHER P AMMANN TRUST | 411 S OLD WOODWARD AVE # 1025 | BIRMINGHAM | MI | 48009 |
| | FREDERICK C YEAGER REVOC TRUST | 411 S OLD WOODWARD AVE # 506 | BIRMINGHAM | MI | 48009 |
| 1936208017 | | 411 S OLD WOODWARD AVE # 606 | BIRMINGHAM | MI | 48009 |
| | SUSAN A MASCIA | 411 S OLD WOODWARD AVE # 706 | BIRMINGHAM | MI | 48009 |
| | SILVIO COZZETTO | 411 S OLD WOODWARD AVE # 806 | BIRMINGHAM | MI | 48009 |
| _ | SHIRLEY NAKASH REVOC TRUST | PO BOX 7137 | BLOOMFIELD HILLS | MI | 48302 |
| | MTM INVESTMENTS HOLDINGS LLC | 325 S OLD WOODWARD AVE STE 2 | BIRMINGHAM | MI | 48009 |
| | STEVE LINTON | 55 S MAIN ST STE 345 | NAPERVILLE | IL. | 60540 |
| | 9003 ASSOCIATES LLC | 5480 CORPORATE DR STE 230 | TROY | MI | 48098 |
| | STEVEN H MUSKOVITZ | 16146 BELFORD DR | MILTON | GA | 30004 |
| | FREDERICK A FROMM ROBERT SLOAN | 411 S OLD WOODWARD AVE # 570 | BIRMINGHAM | MI | 48009 |
| | MICHEL M HANNA | 411 S OLD WOODWARD AVE # 630 | BIRMINGHAM | MI | 48009 |
| | JEFFREY M FRATARCANGELI | 2894 MEADOWOOD LN 558 STANLEY BLVD | BLOOMFIELD HILLS | MI | 48302 |
| 1936208017 | | 411 S OLD WOODWARD AVE # 625 | BIRMINGHAM BIRMINGHAM | MI MI | 48009 |
| | And the second of the second s | -22 0 OLD HOODWAILD AVE II 023 | PHIMINGHAM | МІ | 48009 |

| 1936208017 | GERALD F BAKER III | 411 S OLD WOODWARD AVE # 629 | BIRMINGHAM | ML | 48009 |
|------------|----------------------------------|---|------------------|------|---------|
| 1936208017 | OLD WOODWARD 631 LLC | 39475 W 13 MILE RD STE 203 | NOVI | MI | 48377 |
| 1936208017 | ANN ELIZABETH MILLER COHEN TRUST | 411 5 OLD WOODWARD AVE # 610 | BIRMINGHAM | MI | 48009 |
| 1936208017 | SHANDA RUMBLE REVOC TRUST | 411 S OLD WOODWARD AVE # 608 | BIRMINGHAM | MI | 48009 |
| 1936208017 | CAROLINE DANESHVAR | 411 S OLD WOODWARD AVE # 604 | BIRMINGHAM | MI | 48009 |
| 1936208017 | DANA ABNER | 121 W LONG LAKE RD STE 300 | BLOOMFIELD HILLS | MI | 48304 |
| 1936208017 | MAX A SURNOW | 320 MARTIN ST STE 100 | BIRMINGHAM | MI | 48009 |
| 1936208017 | JASON R LUCKOFF IRR TRUST | 411 S OLD WOODWARD AVE # 701 | BIRMINGHAM | MI | 48009 |
| 1936208017 | DEBRA JO ELSHOLZ | 411 S OLD WOODWARD AVE # 703 | BIRMINGHAM | М | 48009 |
| 1936208017 | 411 BIRMINGHAM PLACE LLC | 6609 QUEEN ANNE DR | WEST BLOOMFIELD | MI | 48322 |
| 1936208017 | RENEE LOSSIA ACHO | 3467 SUTTON PL | BLOOMFIELD HILLS | MI | 48301 |
| | LISA GROFFSKY ARONSON | 1823 N HONORE ST | CHICAGO | īL. | 60622 |
| 1936208017 | MARY NALBANDIAN | 3015 BROCKMAN BLVD | ANN ARBOR | MI | 48104 |
| | WILLIAM D KOLB LIVING TRUST | 411 S OLD WOODWARD AVE # 518 | BIRMINGHAM | MI - | 48009 |
| | ANDREW RUST | 411 5 OLD WOODWARD AVE # 514 | BIRMINGHAM | MI | 48009 |
| | CHRISTOPHER M AMBROSE | 146 S WASHINGTON ST | OXFORD | MI | 48371 |
| | KAREN REINHART | 32700 BINGHAM LN | BINGHAM FARMS | | |
| | VINAY PALLEGAR | 411 S OLD WOODWARD AVE # 507 | · · · · · · | MI | 48025 |
| | | | BIRMINGHAM | MI | 48009 |
| | SAMANTHA TULLIO | 411 S OLD WOODWARD AVE # 1011 | BIRMINGHAM | MI | 48009 |
| | GAYLE S GOODMAN | 411 S OLD WOODWARD AVE # 912 | BIRMINGHAM | MI | 48009 |
| | BARBARA A ZAGUROLI | 411 S OLD WOODWARD AVE # 707 | BIRMINGHAM | MI | 48009 |
| | ANDREW RICH | 411 S OLD WOODWARD AVE # 721 | BIRMINGHAM | MI | 48009 |
| 1936208017 | | 390 PARK ST STE 222 | BIRMINGHAM | MI | 48009 |
| | ERIN LEIGH MELLOTT | 411 S OLD WOODWARD AVE # 730 | BIRMINGHAM | ML | 48009 |
| 1936208017 | MICHIGAN-MR LLC | PO BOX 2585 | PALM BEACH | FL | 33480 |
| 1936208017 | ANVITA SINHA | 10224 FOX BOROUGH DR | OAKDALE | CA | 95361 |
| 1936208017 | JUDY M JENNINGS | 411 S OLD WOODWARD AVE # 722 | BIRMINGHAM | MI | 48009 |
| 1936208017 | SHIRLEY VANGELOFF | 6278 N FEDERAL HWY # 414 | FORT LAUDERDALE | FL | 33308 |
| 1936208017 | CYNTHIA M VAKHARIYA | 142 WESTCHESTER WAY | BIRMINGHAM | MI | 48009 |
| 1936208017 | WILLY CHWANG | 27 ARTISAN WAY | MENLO PARK | CA | 94025 |
| 1936208017 | LOUIS P ROCHKIND | 411 S OLD WOODWARD AVE # 710 | BIRMINGHAM | М | 48009 |
| 1936208017 | GREGORY A CARNAGO | 667 E BIG BEAVER RD STE 201 | TROY | MI | 48083 |
| 1936208017 | BRADLEY STEEL | 411 S OLD WOODWARD AVE # 704 | BIRMINGHAM | MI | 48009 |
| 1936208017 | THOMAS BEELER TRUSTEE | 258 GOLDEN GATE PT # 801 | SARASOTA | FL | 34236 |
| 1936208017 | BP SPS LLC | 1829 WESTRIDGE DR | ROCHESTER HILLS | Mi | 48306 |
| 1936208017 | MERI BARASH | 500 NE 15TH AVE | FORT LAUDERDALE | FL | 33301 |
| | MELVYN C STERNFELD | 411 S OLD WOODWARD AVE # 802 | BIRMINGHAM | MI | 48009 |
| 1936208017 | | 411 S OLD WOODWARD AVE # 800 | BIRMINGHAM | MI | 48009 |
| | 801 BIRMINGHAM PLACE TRUST | 25800 NORTHWESTERN HWY # 515 | SOUTHFIELD | MI | 48035 |
| | EATON AND MORE MANAGEMENT LLC | 2463 HERONWOOD DR | BLOOMFIELD HILLS | MI | 48302 |
| | JOSEPH LOPEZ | 411 S OLD WOODWARD AVE # 905 | BIRMINGHAM | MI | 48009 |
| | PATRICK W ROBERTS | PO BOX 9037 | | | |
| | ALISSA CZISNY | | MIRAMAR BEACH | FL | 32550 |
| | WAAD INVESTMENTS LLC | 411 S OLD WOODWARD AVE # 911 | BIRMINGHAM | MI | 48009 |
| | ADELHEID SEIDENSTICKER | 4805 BANTRY DR | WEST BLOOMFIELD | MI | 48322 |
| | ADELHEID F SEIDENSTICKER | 666 BALDWIN CT | BIRMINGHAM | MI | 48009 |
| | | 666 BALDWIN CT | BIRMINGHAM | MI | 48009 |
| | DANIEL J O'BRIEN TRUST | 1818 ARGOSY CT | BLOOMFIELD HILLS | MI | 48302 |
| | KAREN REINHART | 32700 BINGHAM LN | BINGHAM FARMS | MI | 48025 |
| | MOUSSA HANNA | 411 S OLD WOODWARD AVE # 1000 | BIRMINGHAM | MI | 48009 |
| 1936208017 | | 3171 W SHORE DR | ORCHARD LAKE | MI | 48324 |
| | THE BOYLL FAMILY LIVING TRUST | 411 S OLD WOODWARD AVE # 725 | BIRMINGHAM | MI | 48009 |
| 1936208017 | CAROL BARNETT KOZLOW REVOC TRUST | 411 S OLD WOODWARD AVE # 729 | BIRMINGHAM | MI | 48009 - |
| 1936208017 | THOMAS HARDY | 411 5 OLD WOODWARD AVE # 829 | BIRMINGHAM | MI | 48009 |
| 1936208017 | DJF LAM GROUP LLC | 3803 KAELEAF RD | LAKE ORION | MI | 48360 |
| 1936208017 | DORIS HANNA | 3755 WALNUT BROOK DR | ROCHESTER HILLS | MI | 48309 |
| 1936208017 | 411 S OLD WOODWARD LLC | 3467 SUTTON PL | BLOOMFIELD HILLS | MI | 48301 |
| 1936208017 | SUSAN M SOSNICK REVOC TRUST | 300 SEMINOLE AVE APT 6B II LUGANO CONDO | PALM BEACH | FL | 33480 |
| 1936208017 | TERRY MANN | 411 S OLD WOODWARD AVE # 813 | BIRMINGHAM | MI | 48009 |
| 1936208017 | EVELYN CHAN REVOCABLE TRUST | 5234 BREEZE HILL PL | TROY | MI | 48098 |
| 1936208017 | EMILY KAY BELCHER | 411 S OLD WOODWARD AVE # 817 | BIRMINGHAM | MI | 48009 |
| 1936208017 | GREGORY L HARVEY | 411 S OLD WOODWARD AVE # 821 | BIRMINGHAM | MI | 48009 |
| 1936208017 | RICK LEE HAMILTON | 411 S OLD WOODWARD AVE # 823 | BIRMINGHAM | MI | 48009 |
| | ISAAC INVESTMENT COMPANY LLC | 5295 MIDDLEBELT RD | WEST BLOOMFIELD | MI | 48323 |
| | | | | | |

| 1936208017 | KENNETH M KOROTKIN | 411 S OLD WOODWARD AVE # 822 | BIRMINGHAM | MI | 48009 |
|------------|--------------------------------------|--------------------------------|---------------------|------|-------|
| 1936208017 | JEFF ROBERTS | 411 S OLD WOODWARD AVE # 818 | BIRMINGHAM | MI | 48009 |
| 1936208017 | MARIA N CLEMENTE | 411 S OLD WOODWARD AVE # 705 | BIRMINGHAM | MI | 48009 |
| 1936208017 | CARLOS MAIDAGAN | 3098 RESEARCH DR | ROCHESTER HILLS | MI | 48309 |
| 1936208017 | BIRMINGHAM PLACE REALTY LLC | 411 S OLD WOODWARD AVE # 1024 | BIRMINGHAM | MI | 48009 |
| 1936208017 | PONNAPPA PANDIKUTHIRA | 4215 TOPAZ CT NW | CEDAR RAPIDS | IA | 52405 |
| 1936208017 | CAROL J MITRI | 411 S OLD WOODWARD AVE # 1018 | BIRMINGHAM | MI | 48009 |
| 1936208017 | JOSEPH W WRONSKI | 411 S OLD WOODWARD AVE # 1014 | BIRMINGHAM | MI | 48009 |
| 1936208017 | CATHERINE M BROZEK REAL ESTATE TRUST | 411 S OLD WOODWARD AVE # 1012 | BIRMINGHAM | MI | 48009 |
| 1936208017 | VANDAD RAOFI | 411 5 OLD WOODWARD AVE # 1010 | BIRMINGHAM | MI | 48009 |
| 1936208017 | NEDA MIRAFZALI | 310 CORRIE RD | ANN ARBOR | MI | 48105 |
| 1936208017 | JULIE A WOLFE | 411 S OLD WOODWARD AVE # 1021 | BIRMINGHAM | MI | 48009 |
| 1936208017 | BRENDA KNIGHT | 11426 N JUSTIN DR | MEQUON | WI | 53092 |
| 1936208017 | ALICE K LEZOTTE TRUSTEE | 411 S OLD WOODWARD AVE # 511 | BIRMINGHAM | MI » | 48009 |
| 1936208017 | ALEXANDER PFAU | 411 5 OLD WOODWARD AVE # 611 | BIRMINGHAM | MI | 48009 |
| 1936208017 | JANIS E STERLING REVOC TRUST | 4212 WOODLANE CT | WESTLAKE VILLAGE | CA | 91362 |
| 1936208017 | NISREEN K MURAD | 411 S OLD WOODWARD AVE # 715 | BIRMINGHAM | MI | 48009 |
| 1936208017 | BAVAND HAMIDI | 31 LARKMEAD | ALISO VIEJO | CA | 92656 |
| 1936208017 | MICHAEL FREZZA | 411 S OLD WOODWARD AVE # 812 | BIRMINGHAM | MI | 48009 |
| 1936208017 | LEE STEINBERG | 411 S OLD WOODWARD AVE # 810 | BIRMINGHAM | MI | 48009 |
| 1936208017 | JORDAN BRODER | 411 S OLD WOODWARD AVE # 808 | BIRMINGHAM | MI | 48009 |
| 1936208017 | JOHN W HOEFFLER REVOC TRUST | 411 S OLD WOODWARD AVE # 804 | BIRMINGHAM | MI | 48009 |
| 1936208017 | CYNTHIA K NEAL | 24100 SORREL CT | BEAR VALLEY SPRINGS | CA | 93561 |
| 1936208017 | JOLIE GOLDBERG | 411 S OLD WOODWARD AVE # 901 | BIRMINGHAM | Mt | 48009 |
| 1936208207 | BIRMINGHAM TOWER PARTNERS LLC | 251 E MERRILL ST STE 205 | BIRMINGHAM | MI | 48009 |
| 1936210003 | ASSOCIATES OF 555 LTD PARTNERSHIP | 555 S OLD WOODWARD AVE | BIRMINGHAM | MI | 48009 |
| 1936210005 | MANORWOOD PROPERTIES LLC | 555 S OLD WOODWARD AVE STE 705 | BIRMINGHAM | MI | 48009 |
| 1936253025 | GRC ASSETS LLC | 750 S OLD WOODWARD AVE | BIRMINGHAM | MI | 48009 |
| 1936253026 | WOODWARD & GEORGE LLC | 784 S OLD WOODWARD AVE | BIRMINGHAM | MI | 48009 |
| 1936253028 | EID PROPERTIES LLC | 588 S OLD WOODWARD AVE | BIRMINGHAM | MI | 48009 |
| 1936253029 | BITONTI REAL ESTATE LLC | 709 ANN ST | BIRMINGHAM | MI | 48009 |
| 1936253030 | ICG REAL ESTATE COMPANY LLC | 500 S OLD WOODWARD AVE | BIRMINGHAM | MI | 48009 |
| 1936253034 | 690 S OLD WOODWARD LLC | 112 PEABODY ST | BIRMINGHAM | MI | 48009 |
| 1936253035 | HORMOZ ALIZADEH LLC | 1416 INWOODS CIR | BLOOMFIELD HILLS | MI | 48302 |
| 1936278012 | GLOBAL REAL ESTATE INVESTMENTS LLC | 808 S OLD WOODWARD AVE | BIRMINGHAM | MI | 48009 |
| 1936278013 | WOODWARD VIEW LLC | 251 E MERRILL ST FL 2ND | BIRMINGHAM | MI | 48009 |
| 1936278014 | WOODWARD VIEW LLC | 251 E MERRILL ST FL 2ND | BIRMINGHAM | MI | 48009 |
| | BEIER FAMILY REAL ESTATE | 43223 W 12 MILE RD | NOVI | MI | 48377 |
| 1936278018 | PERIMETER PROPERTIES LLC | 112 PEABODY ST | BIRMINGHAM | MI | 48009 |
| | | | | | |

«Name» «Address» «City», «State» «Zip»

February 22, 2022

TO: Property Owners

RE: S. Old Woodward Phase 3 Paving Project

Water & Sewer Lateral Replacement and Street Scape Assessments

Phase three of the City of Birmingham's downtown infrastructure improvements will take place during the 2022 construction season. Significant work will occur on South Old Woodward between Brown and Landon. Upgrades to the sidewalk streetscape along with the water and sewer system, and complete street pavement replacement are planned.

With this letter you are receiving **two (2)** notifications of public hearings (Hearing of Necessity) scheduled to occur on **Monday, March 14, 2022** at the regularly scheduled City Commission meeting at 7:30 p.m. The first is to consider a Special Assessment District (SAD) for sidewalk and streetscape upgrades. The second is to consider an SAD for replacing certain water and sewer laterals to individual properties within the project area. All property owners in the project area will be assessed for sidewalk and streetscape upgrades. Some, but not all, will be assessed for water and sewer laterals. The following information will help clarify what is being assessed for each SAD.

For the **first** SAD for sidewalks and streetscape, as with previous projects of this nature, it has been the City's policy to assess 75% of the streetscape improvements to the properties that share frontage with the improvements. Improvement items include:

- All new concrete and exposed aggregate sidewalks from the building face to the back of curbs.
- Removal and replacement of all street trees, including excavation and replacement with approximately 1,000 cu.ft. of specially formulated soil designed to encourage tree growth.
- Enlarged, raised planter beds around each new street tree, framed by a 6 inch high exposed aggregate curb, with irrigation, and professionally designed landscaping.
- · Granite seating areas where space permits.
- Installation of underground electrical system to provide new lighting opportunities for trees along the sidewalk and in the proposed median.

The cost per property will be assessed as an average cost per linear foot of frontage for the improvements. The properties with multiple owners will share the cost of the frontage, and the amount will be based on the square footage of building area owned. The City will bill one-tenth of the assessment (as would be done on

other special assessment districts) plus approximately 5% interest annually on the remaining balance, to make the cost more manageable for the property owners. The City plans to provide an estimate of costs associated with this SAD at the March 14th Hearing of Necessity.

The **second** SAD is for water and sewer laterals. As previously stated, some but not all property owners in the project area will be assessed for water and sewer laterals. Since water and sewer services only benefit one property, they are not considered a part of the City's public system. Therefore, the maintenance and repair of the services from the building to the connection at the public main is the responsibility of each individual property owner. City policy dictates that these replacements are completed at the property owner's expense. Only those who qualify as outlined below will have their sewer and/or water service replaced and receive an assessment.

The City's policy outlined in section 114-30 of the city code is to replace any water service that is less than 1 inch in diameter, and outlined in section 114-171 of the city code is to replace any sewer service that is 50 or more years old, in poor condition, or is made of materials that do not meet city standards (e.g. "Orangeburg" pipe). Replacement during a road construction project protects the City's investment in the road by reducing the chance of failure by a lateral within the right-of-way area.

The actual cost of replacing the section of the water and/or sewer lateral charged to you will vary depending on the actual location of the City mains, and any other obstacles, such as trees, that are in the way. Property owners are only charged for the actual length of service replaced if their service qualifies for assessment as described above.

After the work is completed, an invoice will be generated and sent to the property owner of record for the length of service(s) replaced. Payment in full will be expected within 30 days of receipt. As with the first assessment, if you are not in a position to pay off the charge in one payment, it can be broken into as many as 10 annual payments. An annual interest charge on the remaining balance, currently about 5%, will apply. It is anticipated that property owners will see a total charge of \$1,600 to \$5,000 for water and/or sewer lateral work related to this project. Official estimates will be provided at the Hearing for Necessity.

If you have any questions or concerns, please contact the Engineering Office at (248) 530-1850. You have the opportunity to speak directly to the City Commission at the Public Hearing of Necessity that will be held on March 14, 2022.

Residents and businesses are encouraged to sign up for the South Old Woodward Reconstruction Phase 3 Constant Contact group at bit.ly/bhamnews to receive updates throughout the project. Learn more about the project at www.bhamgov.org/oldwoodwardphase3.

Sincerely,

Scott D. Zielinski, P.E. Assistant City Engineer szielinski@bhamgov.org (248)530-1838



MICHIGAN.COM – Serving the OBSERVER & ECCENTRIC and HOMETOWN WEEKLY NEWSPAPERS 6200 Metropolitan Pkwy, Sterling Heights, MI 48312

BE IT MADE KNOWN THAT THE FOLLOWING ADVERTISMENT APPEARED IN:

Publication: Birmingham Eccentric
Placed By: City of Birmingham
Subject: Old Woodward SAD Streetscape
Date of Publication: February 27 & March 6, 2022

(Susan Totoraitis), being duly sworn, deposes and says that the advertising illustrated above/attached was published in the Birmingham Eccentric Newspaper following date/s/: Feb. 27 & March 6, 2022, INVOICE number 361430, and as an authorized employee of the Observer and Eccentric Media, she knows well the facts stated/herein. Cost: \$260.64.

STATE OF MICHIGAN

NOTARIZED BY:

March 8, 2022

DATED:

Acting in County of Macomb

GINA ANNE HUFF
NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF LIVINGSTON
My Commission Expires March 09, 2023

STATE OF MICHIGAN COUNTY OF OAKLAND VILLAGE OF FRANKLIN 32325 Franklin Road, Franklin, Michigan 48025

Village Grass and Novious Words Ordinance Property Owners and or Parties of Interest:

Notice is hereby given to all persons occupying or owning any property within the Village of Franklin that pursuant to Chapter 1479 01, as amended in the Village Code of Ordinances, it shall be the duty of such owners or excupants to keep all grass and weed out below a height of eight (8) under. If the provisions of the Ordinance are not complied with, the Village shall cause such grass to be cut. The atrual cost of auth cutting, plus twenty percent COVI) for administration charge, shall be charged to and pead by the owner if necessary. The Village shall call have a lent for the cutting spaces, costs and twenty percent (20%) administration charge, which here shall be enforced in the manner presented by state law for the enforcement of tall lies.

Heather Mydlonki

Publish Blurck 68, 20

| _ | | | | | |
|--|--------------------------------------|--|--|--|--|
| | NOTICE OF PUBLIC HEARING | | | | |
| | CITY OF BIRMINGHAM | | | | |
| PUBLIC HEARING OF NECESSITY PUBLIC HEARING OF CONFIRMATION | | | | | |
| | Mouting Date, Time, Location: | HEARING OF NECESSITY FOR SPECIAL ASSESSMENT DISTRICT Monday, Monday, March 14, 2022, 7,30 PM Municipal Building, 161 Martin, Birmingham, MI 48009 | | | |
| | Meeting Date, Time, Location: | HEARING OF CONFIRMATION FOR SPECIAL. ASSERSMENT DISTRICT Monday, April 11, 2022, 7, 30 PM Municipal Building, 151 Martin, Burmingham, MI 48009 | | | |
| | Project Location: | S. Old Woodward Avenue, from Brown St. to Landon St. | | | |
| | Nature of Improvement: | Construction of eidewalk and streetscape improvements adjacent to all properties within the project area | | | |
| | City Staff Contact: | Scott Zielitseki, Assistant City Engineer axielinaki@hhamguy.org. (248)530-1635 | | | |
| | Notice Requirements: | Mail to affected property owners Publish February 27, 2022 & March 5, 2022 | | | |
| | Approved minutes may be reviewed at: | City Clerk's Office | | | |

Should you have any statement regarding the above, you are invited to attend the meeting in person or variously through ZOUM: https://mem.mag/%35277720 Meeting ID: 633.079 708 Vot or your acret may appear at the hearings to express your years, however if your fail

You or your agent may appear at the hearings to express your views, however, if you fail to protest wither in person or by letter received on or before the date of the hearing, you cannot appeal the amount of the openel assessment to the Michigan Tar Tribunal. Mail any correspondence to City Clerk, P.O. Box 3001, Birmingham, MI 48012.

The property owner may file a written appeal of the special assessment with the State Tay Tribunal within 30 days after the confirmation of the special assessment relif if that special assessment was preferred at the bearing held for the purpose of confirming the roll. All special assessments, including installment payments, shall, from the date of the confirmation thereof, constitute a lien on the respective lots or parcels assessed, and until pand shall be charged against the respective owners of the lates or purcels assessed.

shall be charged against the respective owners of the loss or parcels assessed.

Persons with disabilities needing accumulations for offertive participation in this meeting should contact the City Clerk's Office at 248 533,1880 (vsice) or 248 644,5115 (TDD) at least one day in advance to request mobility, visual, bearing or other assistance.

Publish Primary 27 & Harris 6, 202

Princeton all Lefts

| NOTICE OF | PUBLIC HEARINGS | |
|--------------------------------------|---|--|
| BIRMINGHAM CITY COMMISSION | | |
| PUBLIC HEA | RING OF NECESSITY | |
| | NG OF CONFIRMATION | |
| Morting Date, Time, Location: | HEARING OF NECESSITY FOR SPECIAL ASSESSMENT DISTRICT Neuday, Meaday, Marth 14, 2022, 7.30 PM Muncipal Building, 151 Martin. Birmingham, MI 49009. | |
| M-wing Date, Time, Location: | HEARING OF CONFIRMATION FOR SPECIAL ASSESSMENT DISTRICT Mendey, April 11, 2022, 7-30 PM Municipal Building, 151 Martin, Birmingham, MI 48009 | |
| Project Location | 8. Old Woodward Avenue, from Brown St. to Landon St. | |
| Nature of Improvement: | Replacement and improvement of water and sewer leads meeting the requirements for amesament, for all proporties within project area | |
| City Staff Centact: | Scott Zielmeki, Assistant Ulty Engineer gelelingki@bhumgov.org 245/830-1834 | |
| Notice Requirements: | Mail to affected property owners Publish February 27, 2022 & March 8, 2022 | |
| Approved minutes may be reviewed at: | City Clerk's Office | |

Should you have any sixtement regarding the above, you are invited to stiend the meeting in person as variably through ZOOM, https://noom.me/j#555679780 Meeting ID: 655 679 760

You or your agont may appear at the hearings to express your views, hewever, if you feil to protest either in person or by letter resirved on or before the date of the hearing, you cannot agreed the amount of the special ansessment to the Michigan Tax Tribunal Mail any correspondence to: City Clerk, P.O. Bex 3001. Birmingham, MI 46012.

The property swiper may file a written appeal of the special assessment with the State Tax Tribunal within 30 days after the confirmation of the special assessment roll if that special assessment was protested at the hearing heal for the purpose of confirming the roll.

All opecial assessments, including installment payments, shall, from the date of the confirmation thereof, constitute a ben on the respective lets or parvels assessed, and until paid shall be charged against the respective owners of the lots or parvels assessed.

Persons with disabilities needing accommodations for effective participation in this meeting should contact the Uity Clerk's Office at 248.530 1880 (voice) or 248.644.5115 (TDD) at least one day in advance to request mobility visual, hearing or other neesstance

Publish Polymary ST & March 6, 2022

.



INVITATION TO BID BID NO. 9941 ERGOTRON LEARN FIT SIT-STAND DESK TROY SCHOOL DISTRICT

The Troy School Datrict will receive firm, sealed bids for furnishing, delivering, and assembling installing new Expotron Learn Fit Sit-Stand Deeks to 12 different locations within the Truy School Datrick.

Specifications and proposal forms can be obtained online at http://www.truy.kt2.mi.us From the main page click the "Business Services" tab listed under "Departments", then click "Furnhasing" and seroll does a to locate and acrees the bad decuments.

Year proposal and two copies marked "Bid \$941 Fegotron Beaks" must be delivered no later than 10:00 n.m., Tuesday, March 15, 2022, Troy School Dathit, Servare Building Technology Iepariment, 4220 Livernous Rood, Troy, MI 4509 ATTN Beth Boggs, Technology Director, at which time all load will be publicly uponed and read about mimodiately thereafter. Bid proposals received after this time will not be considered at assepted.

All questions regarding the bid specified, or the bid terms and conditions will be accepted in writing (MMX and subsequently answered through an addendum to all internated parties Questions must be received no later than none, wicknessely after 19, 2022, and may be enabled to beoggreftruy.kif.anl.us. At no other language prior to the bid opening will questions democrate the bid opening will questions democrate.

All hidders must provide familial disclosure in compliance with MCL 340 1287 and strach the information to the bod proposal. The bid proposal will be accompanied by a sworn and notarized statement disclosured any familial relationship that which between the swence or any employe of the hidder and any member of the Troy School Barrier Special Constraints of the Prop. School District Superintendent. Also, a sworn and notarized Affident of toroppiance for the Iran Economic Sanctions Act certifying the vender does mad will comply with Public Act 517 of 2012 shall acrompany all proposals Both forms will be enclosed in the specification's banklet that shall be used for this purpose The Histrict will not accept a bid proposal that does not include these sworn and notarized disclosure statement.

The Trey Board of Education reserves the right to accept or reject any or all bids, either in whole or in part; to sward contract to other than the low bidder; to waive any irregularities and/or informalities, and in general to make awards in any manner deemed to be in the leaf interest of the owner.

Technology Department Troy School Dutrict 4420 Livernois Road Troy, MI 48098

Poblack State (6.0) 1022

-

INVITATION TO BID BID NO. 9942 AVER DOCUMENT CAMERAS TROY SCHOOL DISTRICT

The Truy School District will receive firm, sealed hids for furnishing and delivering new Aver Josument cameras.

Specifications and proposal forms can be obtained online at http://www.truy.ht2.ml.us From the main page click the "Rusiness Services" tak listed under "Departments", then click "Purchasing" and serul down to locate and access the bid downsents.

Your proposal and two color marked "Bild 9942 Aver Document Cameras" must be delivered no later than 10:00 a.m., Tuesday, March 13, 3922, Truy School District, Services Bushing-To-baskegy Department, 4220 Liverson Road, Truy, Mi 48099 ATTN, Berth Sogna, Technology District, as which time all bids will be publicly aponed and road about immediately theresider Bild opposate received after this time will not be condidered or accepted

All questions regarding the bid specified, as the bid isrms and conditions will be accepted in writing ONLY and subsequently answered through an addendum to all interested partica. Questions must be received to later than soon, Walnesday, March 9, 2022, and may be smalled its beoggs@ftrys.klizm.hus At no other time prior to the bid opening will questioned concruse be addressed or necessed.

concrens be addressed or accepted. All bishers must provide familial dischasirs in compliance with MCL 380 1267 and attach this information to the hid proposel. This bid proposel will be accompanied by a sworn and notarized statement disclosing any familial relationship that visits between the owner or any employe of the bidder and any needber of the Tray School Board or the Tray School Districts Superintendent. Also, a sworn and notarized Affidavis of compliance for the Iran Economic Sanctions Act certificing the vender does and will comply with Public Act CT of 2012 shall accompany all proposals. Both forms will be exclosed in the specification's booklet that shall be used for this purposes. The District will not accept a hid proposal that does not include these events and notarized disclosure statement.

The Troy Board of Education reserves the right to accept or exject any or all lads, either in whole or in part, to sward contract to other than the low balder, to warso any irregulatities and/or informalities, and in general to make awards in any manner deemed to be in the best unterest of the owner.

Technology Department Troy School District 4420 Livernois Road Troy, MI 48098

Publish March 4 9022

_--



Baldwin Public Labrary 300 W Merrill Street Birmingham, MI 48009 248-847-1700

NOTICE OF PUBLIC HEARING

Monday, March 21, 2022 at 7:30 p.m. 2022-2023 Budget Hearing

The Baldwin Public Library Beard of Directors will held a public bearing on Menday, March 21, 2022, at 7 30 pm., in the Rotary Tribute and Denor Rooms of the Baldwin Public Library, 300 W. Merrill, Brimingham. MI Members of the public rany attend in person or via Zoom.

This public waring is being wild to consider the 2017 Fifth budget for the Bakkwin Public

The property tex millage rate proposed to be levied to support the proposed budget will be a subject of this hearing.

Propose a Land Public Library 2023-2023 Budget Hearing Times Mar 21, 3022 07:30 PM Eastern Time The public may participate via Zoom.

Join Zeom Meviling: https://midiZweb.novem.tm/789033154283 Meviling 112:864-31158253 Meviling 112:864-31158254 US (Washington DC) +13126266799.8803315628)# US (Chicago)

Public commonts may be presented either in person or in writing

By 5 00 p.m. on Friday March 18, 2022 you may obtain a copy of the proposed budget by
poing to the Library's we haste (www.balldwigith.org), soliting at the Library's Adult Services

Reference Deak 248-554-4550; or contacting Robert Stratum (246-554-4584).

Approved minutes of this hearing may be reviewed on the Labrary's website or at its Business Office.

THIS NOTICE IS GIVEN in accordance with Act 261, 1986 Public Act 287 DATE PUNTED February 18, 2022

Pyrone with disabilities that they require posterious for effective portingation in this public towards, disabilities that they require a posterious for the interest (24) 18/17/16, or 2,819.46.1131 for the interest imported at bear one day before the post ing to expect the law installation variety, knowing or other interesting.

Las primate year comported of our requirement at most of orando passe is primategorism or not arready public distribution of the posterior primategorism and the second primategorism and the public properties are not on the public primategorism and the public primat

Publish March 6, 2022

Productions and 6



March 14, 2022



Williams Williams Rattner & Plunkett, P.C.

Attorneys and Counselors

380 North Old Woodward Avenue Suite 300 Birmingham, Michigan 48009

Tel: (248) 642-0333 Fax: (248) 642-0856

Via hand delivery

Clerk City of Birmingham 151 Martin St. Birmingham, MI 48009

RE:

Protest of Special Assessment on Behalf of

The New 555 Residential, LLC The New 555 Commercial, LLC Manorwood Properties, LLC

Dear Clerk:

We represent The New 555 Residential, LLC, The New 555 Commercial, LLC, and Manorwood Properties, LLC. The New 555 Residential, LLC, The New 555 Commercial, LLC, own properties commonly known as 555 S. Old Woodward Avenue in Birmingham, and identified as Parcel Nos. 08-19-36-210-001 and 08-19-36-210-002. Manorwood Properties, LLC, owns property commonly known as 555 S. Old Woodward Avenue, Suite 100, and identified as Parcel No. 08-19-36-210-005.

We are submitting this letter in protest of the creation of and inclusion of these properties in a proposed special assessment district concerning proposed streetscape and sidewalk construction. In brief, these properties receive no special benefit from the proposed improvements that the special assessment will finance, there will be no increase in the properties' values, the amount of the assessments against the properties is not proportionate to the expected benefit, and the proposed special assessment does not otherwise comply with Michigan law.

With respect, we protest the City's proposed special assessment district and these properties' inclusion in the district, and request that the City decline to adopt the special assessment district.

Respectfully Submitted,

Clerk's Office City of Birmingham, MI

MAR 1 4 2022

4:59pm

RECEIVED

Jason C. Long

OIN PERSONS
OF BIRMING

City of Birmingham A Walkable Community

MEMORANDUM

(Engineering)

DATE: April 7, 2022

TO: Thomas M. Markus, City Manager

FROM: Scott Zielinski, Assistant City Engineer,

Jim Surhigh, Consulting City Engineer

SUBJECT: South Old Woodward Phase 3 Paving Project

Contract #1-22 (P) Contract Award

INTRODUCTION:

Bids for the S. Old Woodward Phase 3 Paving Project Contract #1-22 (P) were opened on March 23, 2022. The City received one bid submitted by Angelo Iafrate Construction Company (AICC). Two bidders attended the mandatory pre-bid meeting however only one of the two submitted a bid.

BACKGROUND:

The South Old Woodward Phase 3 Reconstruction is a continuation of Phase 1 and Phase 2 portions of the downtown reconstruction projects (completed in 2018 and 2020 respectively). Phase 3 includes S. Old Woodward between Brown Street and Landon Street.

Project plans have been prepared following the conceptual design for the Phase 3 project which was approved by City Commission on October 25, 2021. Similar to the first two phases, Phase 3 will consist of reconstructing the pavement and sidewalks across the entire right-of-way (from nearly building face to building face in many areas). Features of the project include: new concrete pavement, curbs, sidewalks, exposed-aggregate sidewalks, granite benches, exposed-aggregate curbed planter boxes, trees and other plantings, landscaping, irrigation, and new street lighting. Planned utility work needed for the project includes: new storm sewers and catch basins, replacement of aging water mains and fire hydrants, extension of the new fiber optic conduit system from Phase 1, and new underground electric conduit and related equipment for powering street-level outlets and future electric vehicle charging stations.

Planning and design for the project began in 2021, with MKSK, Inc. leading the consultant team for conceptual design of the project and public engagement. After the conceptual plan was approved by the City Commission, the final design effort began with Nowak & Fraus Engineers leading the design team, which includes MKSK (landscaping & public engagement), Fleis & Vandenbrink (traffic engineering), and G2 Consultants (geotechnical engineering). Attached for reference are select plan sheets from the bid set illustrating the major components of work for the planned project.

AICC's bid was opened on March 23, 2022, in the amount of \$10,120,538.95. The summary of the bid is attached for reference. The bid was approximately \$1,852,000 higher (22.4%), than the engineers estimate provided prior to the project being advertised for bidding. Factors that influence the bid pricing include rising fuel and material costs, and the uncertainty for how that may continue during the course of the project. The letter of recommendation for award from our engineering consultant, Nowak & Fraus Engineers, is attached for reference.

A pre-award interview was conducted with Angelo Iafrate Construction Company (AICC) to review the details of their bid and discuss the project requirements and expectations. AICC was confident in their ability to complete the project by the contract completion date. A number of potential means or measures that could reduce costs to some degree were also discussed, but the overall impact would be relatively minor. AICC would be agreeable to pursue some of these possible changes during construction. AICC demonstrated considerable knowledge and understanding of the project design, requirements and expectations. AICC was the contractor for the previous two phases of the downtown reconstruction effort, and the City was very satisfied with their performance. The Engineering Department is confident that they are fully qualified to perform the work required for the Phase 3 Project.

As is required for all of the City's construction projects, AICC has submitted a 5% bid security with their bid which will be forfeited if they do not provide the signed contracts, bonds and insurance required by the contract following the award by the City Commission.

LEGAL REVIEW:

The City's standard construction contract was used for this project. Legal review is ongoing.

FISCAL IMPACT:

The total cost of the project is estimated to be \$12,003,000.00 which includes the construction cost of \$10,120,538.95, a 5% construction contingency and the estimates for professional and other services related to the project.

The costs of the project will be charged to the following accounts:

| Budget Fund | Fund ID Number | Budget Amount |
|---------------------|----------------------|-----------------|
| MAJOR STREETS | 202-449.001-981.0100 | \$3,006,000.00 |
| SIDEWALKS | 101-444.001-981.0100 | \$4,339,000.00 |
| FIBER OPTIC CONDUIT | 101-444.003-981.0100 | \$588,000.00 |
| SEWER PUBLIC IMPROV | 590-536.001-981.0100 | \$2,442,000.00 |
| WATER PUBLIC IMPROV | 591-537.004-981.0100 | \$903,000.00 |
| STREET LIGHTS | 401-901.010-981.0100 | \$725,000.00 |
| | | |
| | Total Costs | \$12,003,000.00 |

Currently, the City has \$1,000,000.00 budgeted in fiscal year 2021-2022 in the Major Street Fund for pre-construction and beginning construction costs, with the remainder of

the construction costs to be budgeted in fiscal year 2022-2023. These costs have been included in the proposed budget which will be presented to the City Commission on May 7^{th} and is scheduled to be adopted on June 13^{th} .

PUBLIC COMMUNICATIONS:

Throughout the preliminary design and final design stages of the project, the property owners, businesses, and residents as well as the public at large in the project area, were notified of opportunities to attend a series of informational meetings, as well as when the project was brought before the Multi-Modal Transportation Board, the Planning Board, and the City Commission meetings. A project information page has been established on the City's website, and has been regularly updated as the design progressed. A recording of an informational meeting that was conducted at City Hall in February 2022 available on the city's www.bhamgov.org/oldwoodwardphase3. Items discussed included a project overview, traffic access during construction, Birmingham Shopping District initiatives during construction, and special assessments related to the project.

The City will continue to communicate with properties and businesses within the project area as the project proceeds. Communication with the owners, businesses and residents in the project area will include the project announcement, project start date and regular updates. Property owners, businesses and residents in and around the project area will be encouraged to sign up for the City's Constant Contact to receive additional information during the project.

SUMMARY:

Bids were opened for the S. Old Woodward Phase 3 Paving Project #1-22 (P) on March 23, 2022. One bid was submitted by Angelo Iafrate Construction Company in the amount of \$10,120,538.95. Based on review of the bid, and the **contractor's experience and** qualifications, we recommend that the project be awarded to Angelo Iafrate Construction Company in the amount of \$10,120,538.95.

ATTACHMENTS:

Select Plans Sheets from Bid Set Engineers Bid Review Letter Project Budget/Expenditure Summary worksheet

SUGGESTED COMMISSION ACTION:

Make a motion adopting a resolution to approve the project budget and award the S. Old Woodward Phase 3 Paving Project #1-22 (P) as follows:

| Budget Fund | Fund ID Number | Budget Amount |
|---------------------|----------------------|-----------------|
| MAJOR STREETS | 202-449.001-981.0100 | \$3,006,000.00 |
| SIDEWALKS | 101-444.001-981.0100 | \$4,339,000.00 |
| FIBER OPTIC CONDUIT | 101-444.003-981.0100 | \$588,000.00 |
| SEWER PUBLIC IMPROV | 590-536.001-981.0100 | \$2,442,000.00 |
| WATER PUBLIC IMPROV | 591-537.004-981.0100 | \$903,000.00 |
| STREET LIGHTS | 401-901.010-981.0100 | \$725,000.00 |
| | | |
| | Total Costs | \$12,003,000.00 |

And to award the S. Old Woodward Phase 3 Paving Project #1-22 (P) to Angelo Iafrate Construction Company In the amount of \$10,120,538.95, contingent upon execution of the agreement and meeting all insurance and bonding requirements.

C11 SEWER PROFILES (2 OF 2) C12 WATER MAIN PLAN & PROFILES (1 OF 4) C13 WATER MAIN PLAN & PROFILES (2 OF 4) C14 WATER MAIN PLAN & PROFILES (3 OF 4)

C10 SEWER PROFILES (1 OF 2)

C15 WATER MAIN PLAN & PROFILES (4 OF 4) C16 GRADING PLAN - S. OLD WOODWARD AVE P.O.B. TO 4+00 C17 GRADING PLAN - S. OLD WOODWARD AVE 4+00 TO 8+00

C18 GRADING PLAN - S. OLD WOODWARD AVE 8+00 TO 12+00 C19 GRADING PLAN - S. OLD WOODWARD AVE 12+00 TO 16+00 C20 GRADING PLAN - S. OLD WOODWARD AVE 16+00 TO 20+00 C21 GRADING PLAN - S. OLD WOODWARD AVE 20+00 TO 24+00

C22 GRADING DETAIL AREAS (1 OF 3) C23 GRADING DETAIL AREAS (2 OF 3) C24 GRADING DETAIL AREAS (3 OF 3)

C25 PAVING PLAN - S. OLD WOODWARD AVE P.O.B. TO 8+00 C26 PAVING PLAN - S. OLD WOODWARD AVE 8+00 TO 16+00

C27 PAVING PLAN - S. OLD WOODWARD AVE. 16+00 TO 24+00 C28 OLD WOODWARD AVENUE EXISTING & PROPOSED CROSS-SECTIONS C29 STREET LIGHT, PARKING METER POST & UNDERDRAIN PLAN P.O.B. TO 8+00

C30 STREET LIGHT, PARKING METER POST & UNDERDRAIN PLAN 8+00 TO 16+00 C31 STREET LIGHT, PARKING METER POST & UNDERDRAIN PLAN 16+00 TO 24+00

C32 STREET SIGN PLAN (1 OF 3) C33 STREET SIGN PLAN (2 OF 3) C34 STREET SIGN PLAN (3 OF 3)

C35 ADVANCED WARNING SIGNAGE DIAGRAM - PHASE C36 ADVANCED WARNING SIGNAGE DIAGRAM - PHASE 2

C37 PEDESTRIAN FENCE DIAGRAM (1 OF 2) C38 PEDESTRIAN FENCE DIAGRAM (2 OF 2) C39 PEDESTRIAN FENCE DIAGRAM (3 OF 3)

C40 PHASING & TRAFFIC MAINTENANCE PLAN (1 OF 3) C41 PHASING & TRAFFIC MAINTENANCE PLAN (2 OF 3) C42 PHASING & TRAFFIC MAINTENANCE PLAN (3 OF 3)

C43 NOTES & DETAILS (1 OF 3) C44 NOTES & DETAILS (2 OF 3)

C45 NOTES & DETAILS (3 OF 3) COVER/ KEYMAP/ SYMBOL SHEET 1/ SYMBOL SHEET 2 DETAIL SHEET 1-3/ PROPOSED ROUTE 1

PROPOSED ROUTE 2-5

E-1 ELECTRICAL COMPOSITE PLAN AND SCHEDULES

E-3 PARTIAL ELECTRICAL PLAN E-4 PARTIAL ELECTRICAL PLAN E-5 PARTIAL ELECTRICAL PLAN

E-6 PARTIAL ELECTRICAL PLAN E-6A PARTIAL ELECTRICAL PLAN E-7 DETAILS AND DIAGRAMS

E-8 DETAILS AND DIAGRAMS E-9 DETAILS AND DIAGRAMS

E-10 POWER RISER DIAGRAMS AND SCHEDULES IR-1 IRRIGATION DESIGN

IR-2 IRRIGATION DESIGN IR-3 IRRIGATION DETAILS SHEET

L0.0 PLANT SCHEDULE & NOTES L1.0A OVERALL LANDSCAPE PLAN

L1.0 LANDSCAPE PLAN L1.1 LANDSCAPE PLAN L1.2 LANDSCAPE PLAN L1.3 LANDSCAPE PLAN

L1.4 LANDSCAPE PLAN L1.5 LANDSCAPE PLAN L1.6 LANDSCAPE PLAN

L1.7 LANDSCAPE DETAILS L1.8 LANDSCAPE DETAILS

L2.0A OVERALL SOILS PLAN L2.0 SOILS PLAN L2.1 SOILS PLAN

L2.2 SOILS PLAN L2.3 SOILS PLAN L2.4 SOILS PLAN

L2.5 SOILS PLAN L2.6 SOILS PLAN L2.7 SOILS DETAILS

Q1 QUANTITIES

CBD STREETSCAPE STANDARD DETAILS OLD BRICK PAVER SIDEWALK DETAILS* SEWER STANDARD DETAILS WATER MAIN STANDARD DETAILS



BENCHMARK NOTE BENCHMARKS SET AND SHOWN PER SHEET WERE ESTABLISHED OFF OF THE CITY OF BIRMINGHAM BENCHMARK DATUM.

CIVIL ENGINEER

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVENUE PONTIAC. MI 48342 CONTACT: MR. BRETT BUCHHOLZ, P.E. CONTACT: MR. PAUL TULIKANGAS, P.E. PHONE: (248) 332-7931 EMAIL: BBUCHHOLZ@NFE-ENGR.COM

EMAIL: PTULIKANGAS@NFE-ENGR.COM

LANDSCAPE ARCHITECT

ENDSLEIGH DR.

WINTHROP

FAIRVIEW

4219 WOODWARD AVE., STE. 305 DETROIT, MI 48201 CONTACT: MS. HALEY WOLFE PHONE: (313) 652-1101 EMAIL: HWOLFE@MKSKSTUDIOS.COM

CITY ELECTRICAL

SOUTHLAWN

City of Birmingham

BERBIGLIA ASSOCIATES, INC. 36400 W. TWELVE MILE RD. FARMINGTON HILLS, MI 48331 CONTACT: MR. JOHN BERBIGLIA, P.E., LEED AP PHONE: (248) 489-3100 EMAIL: JBERBIGLIA@BERBIGLIAASSOC.COM EMAIL: TGLASS@TKNS.NET

CITY FIBER CONDUIT

TURNKEY NETWORK SOLUTIONS 7020 SOUTHBELT DRIVE SE CALEDONIA, MI 49316 CONTACT: MR. TOM GLASS PHONE: (616) 455-9840

ENGINEERING DEPARTMENT SOUTH OLD WOODWARD AVENUE RECONSTRUCTION PROJECT (PHASE 3)

A Walkable Community

16 MILE ROAD

TOTTENHAM

RIVENOAK

CONTRACT #1-22(P) These notes shall apply for all work within this contract:

WEBSTER

MANCHESTER

BUCKINGHAM

DORCHESTER

YORKSHIRE

PROJECT

AREA

1. The contractor shall notify MISS DIG 1-800-482-7171 at least 3 working days excluding Saturday, Sunday, and Holidays before making any excavations and notify the City of Birmingham Engineering Department a minimum of 24 hours prior to the start of construction (248-530-1850).

2. See the City of Birmingham drawings "Sewer Standard Details" and "Water Main Standard Details" for details of manholes, catch basins, inlets, and related sewer

3. All excavation under or within three feet of pavement, public or private, shall be backfilled and compacted with sand.

4. The joints at the edges of all excavations in the pavement shall be sawcut, or pavement will be removed to existing joints, as directed by the Engineer. There is no separate pay item for saw cutting pavements.

5. The contractor shall be responsible for damage to existing utilities, pavement, trees, landscaping, gravel, etc., whether located on public or private property.

6. Catch basin and inlet castings scheduled for replacement, or new construction shall be EJIW 5000Z4 DI / 5000M4 DI Hinged Assembly unless specified otherwise. Manhole castings shall be EJIW 1040-A cover as noted on the detail sheets and plans, unless otherwise specified.

7. Storm, sewer and water main trench shall be backfilled with MDOT Class II sand and properly compacted to 95% of modified proctor density.

8. A permit from the Michigan Department of Environmental Quality (MDEQ) is required for all new water main installations. No work shall be allowed on the combined sewer system until appropriate permits have been received by the Michigan Department of Environmental Quality (MDEQ).

9. The contractor shall coordinate and cooperate with all other utility companies working in the same area, project related or not, during the same allotted

10. Allowable trucking routes for this project are as shown on the City map this sheet. Trucks for this project shall not be permitted elsewhere in the City.

ALL WATER MAIN, STORM AND SEWER TRENCH SHALL BE BACKFILLED WITH COMPACTED GRANULAR CLASS II (SAND) MATERIAL.

CAUTION!!! LIVE WATER MAIN PRIOR TO CUTTING IN NEW MAIN FITTINGS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE EXISTING WATER MAIN SHUT-DOWN WITH THE CITY. MORE IMPORTANTLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY ENSURING THAT PRESSURES DO NOT EXIST IN THE MAIN AFTER SHUT-DOWN & PRIOR TO CUTTING THE MAIN. IF REQUIRED, THE CONTRACTOR SHALL UTILIZE A HYDRO-STOP DEVICE TO CLOSE OFF FLOW WHILE CUTTING IN NEW TEE.

WATER / SEWER SERVICE NOTE ALL WATER AND SEWER SERVICE LATERAL INFORMATION IS SHOWN PER RECORD, WITHIN THE PUBLIC RIGHT OF WAY. THE CONTRACTOR SHALL COORDINATE WITH CITY FOR ALL PRIVATE-SIDE WATER AND SEWER LATERAL INFORMATION, AS REQUIRED, TO CONSTRUCT THE PROJECT (INC.).

UTILITY NOTE

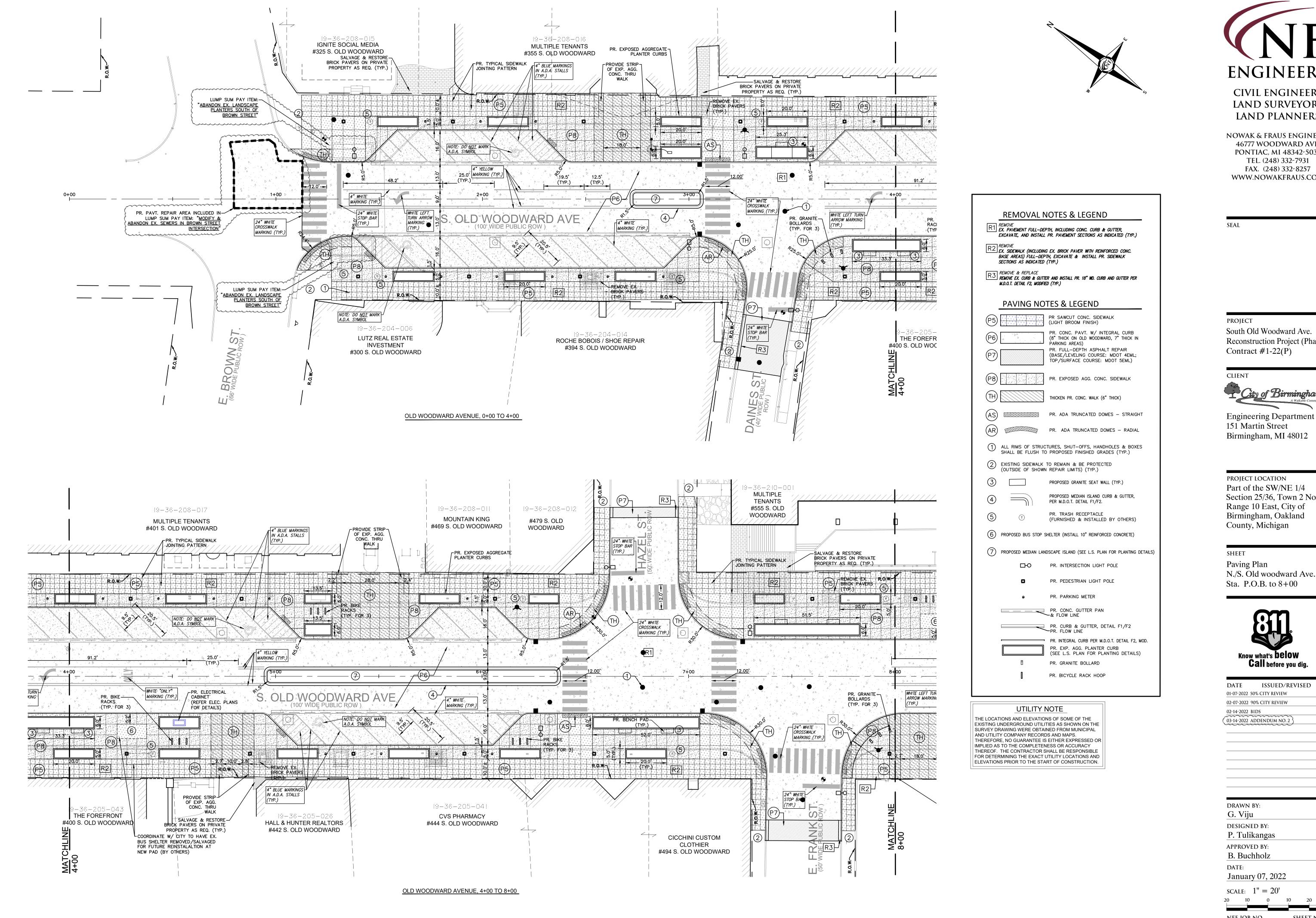
THE LOCATIONS AND ELEVATIONS OF SOME OF THE EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE SURVEY DRAWING WERE OBTAINED FROM MUNICIPAL AND UTILITY COMPANY RECORDS AND MAPS. THEREFORE, NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

S **PRO** NO L TRUC' ONS \circ WOODWARD OLD

3

APPROVED

MARCH 17, 2022 ADDENDUM NO.3



ENGINEERS

CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM

South Old Woodward Ave. Reconstruction Project (Phase 3

City of Birmingham

Birmingham, MI 48012

Part of the SW/NE 1/4 Section 25/36, Town 2 North, Range 10 East, City of Birmingham, Oakland

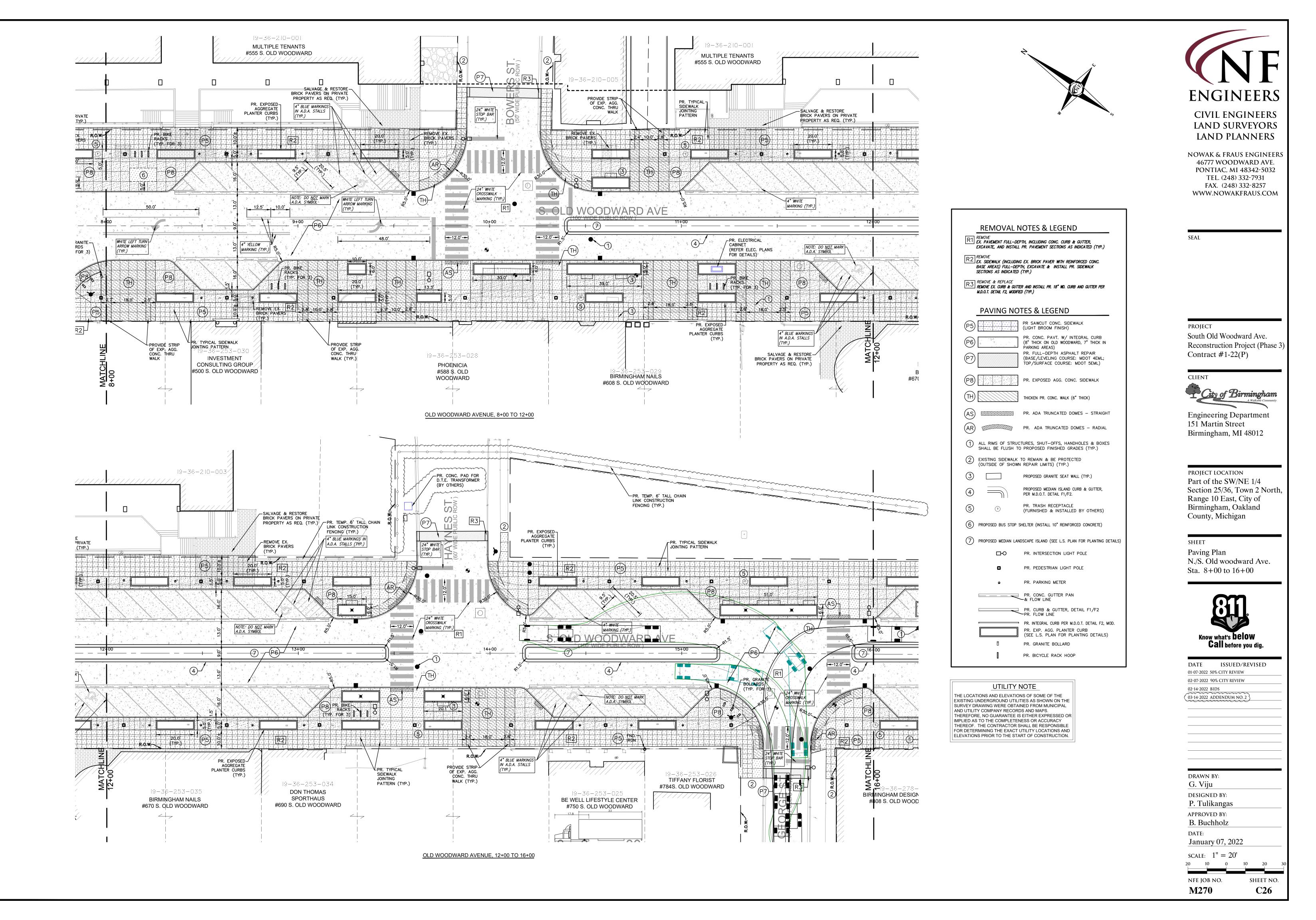
N./S. Old woodward Ave.

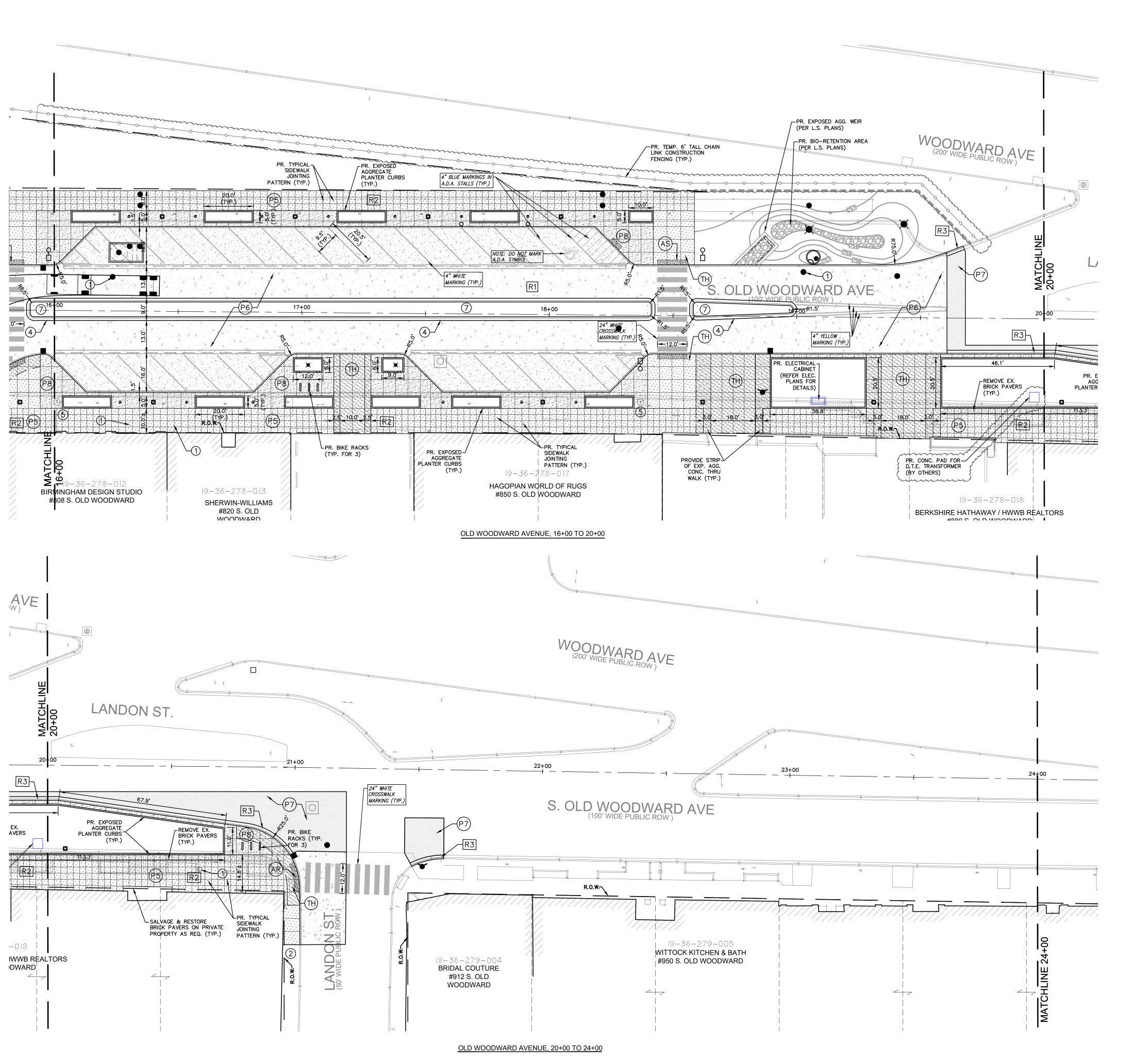


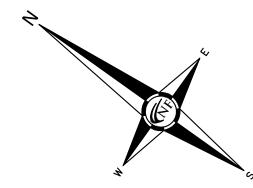
DATE ISSUED/REVISED

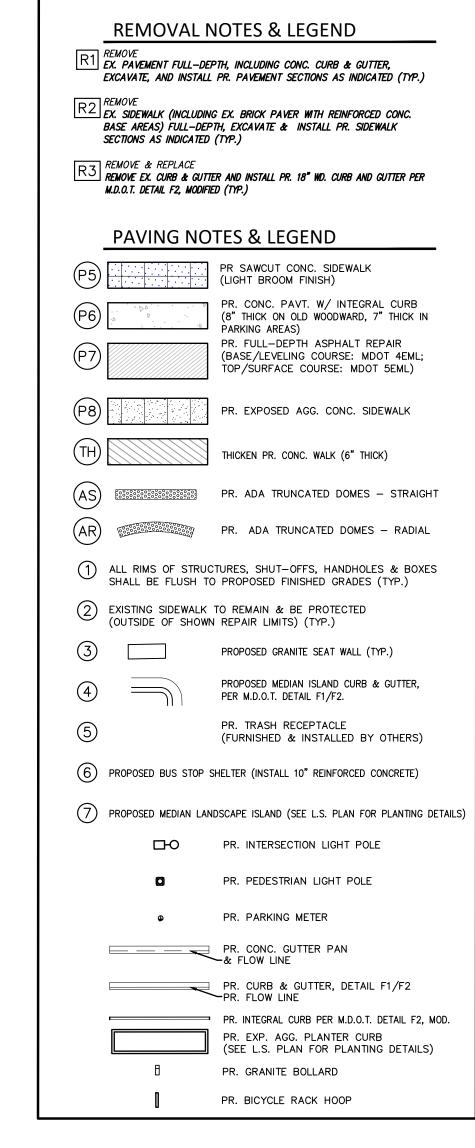
NFE JOB NO. M270

SHEET NO. C25







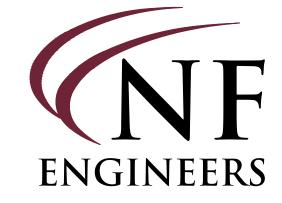


UTILITY NOTE

THE LOCATIONS AND ELEVATIONS OF SOME OF THE EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE SURVEY DRAWING WERE OBTAINED FROM MUNICIPAL

THEREFORE, NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

AND UTILITY COMPANY RECORDS AND MAPS.



CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM

PROJECT

South Old Woodward Ave. Reconstruction Project (Phase 3) Contract #1-22(P)

CLIENT

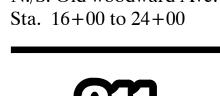
City of Birmingham

A Walkable Community

Engineering Department 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION
Part of the SW/NE 1/4
Section 25/36, Town 2 North,
Range 10 East, City of
Birmingham, Oakland
County, Michigan

SHEET
Paving Plan
N./S. Old woodward Ave.



Know what's below Call before you dig.

DATE ISSUED/REVISED
01-07-2022 50% CITY REVIEW
02-07-2022 90% CITY REVIEW
02-14-2022 BIDS
03-14-2022 ADDENDUM NO. 2

DRAWN BY:
G. Viju
DESIGNED BY:
P. Tulikangas
APPROVED BY:
B. Buchholz

B. Buchholz

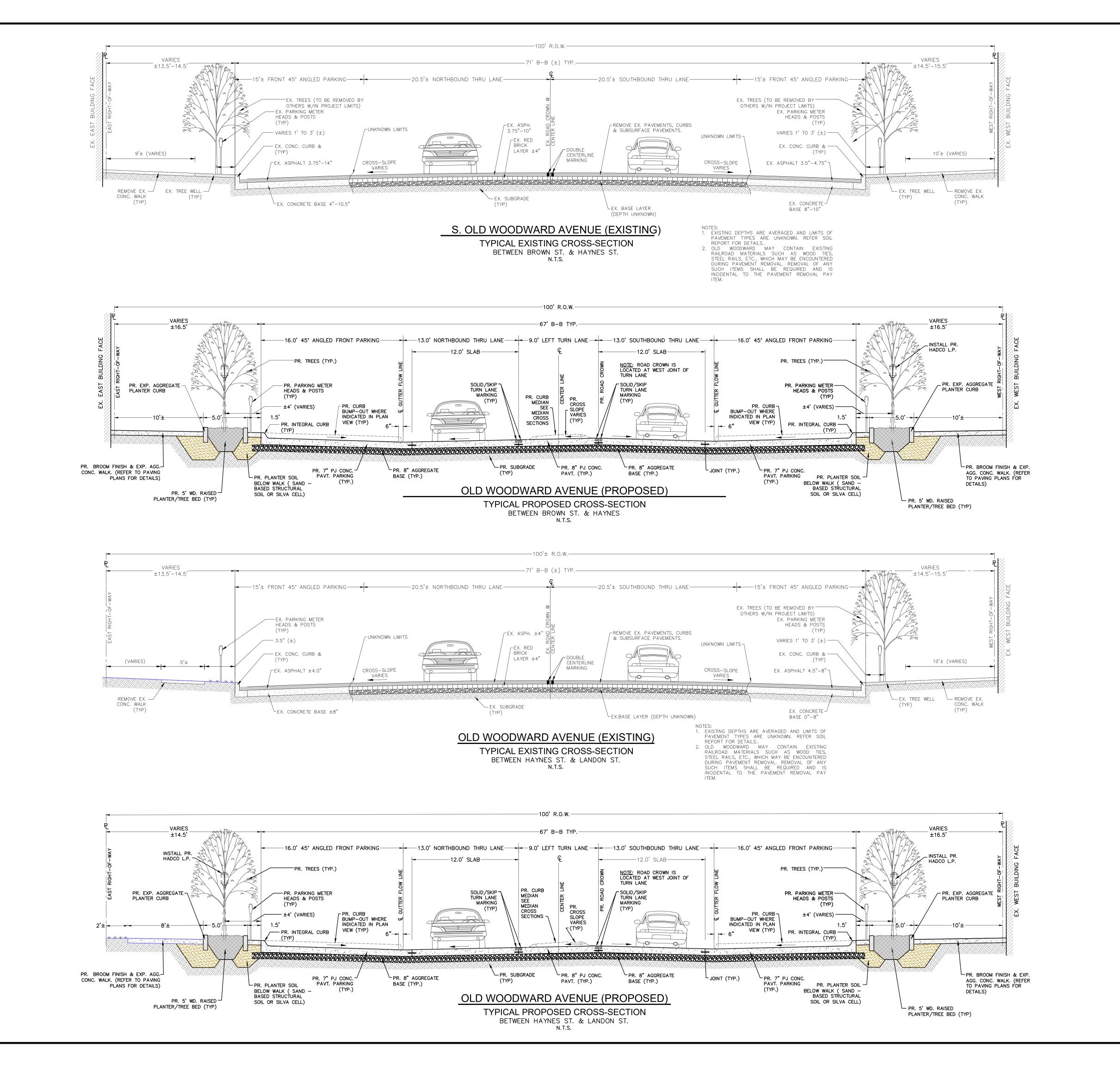
DATE:

January 07, 2022

SCALE: 1" = 20'
20 10 0 10

NFE JOB NO. S

NFE JOB NO. SHEET NO. **M270 C27**





NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257

PROJECT

South Old Woodward Ave. Reconstruction Project (Phase 3) Contract #1-22(P)

CLIENT



Engineering Department 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION

Part of the Southeast \(\frac{1}{4} \) of Section 36, Town 2 North, Range 10 East, City of Birmingham, Oakland County, Michigan

SHEET

Existing & Proposed Road Cross-Sections



DATE ISSUED/REVISED
01-07-22 50% CITY REVIEW
02-07-22 90% CITY REVIEW
02-14-22 BIDS

DRAWN BY:

G. Viju

DESIGNED BY:

P. Tulikangas

APPROVED BY:

B. Buchholz

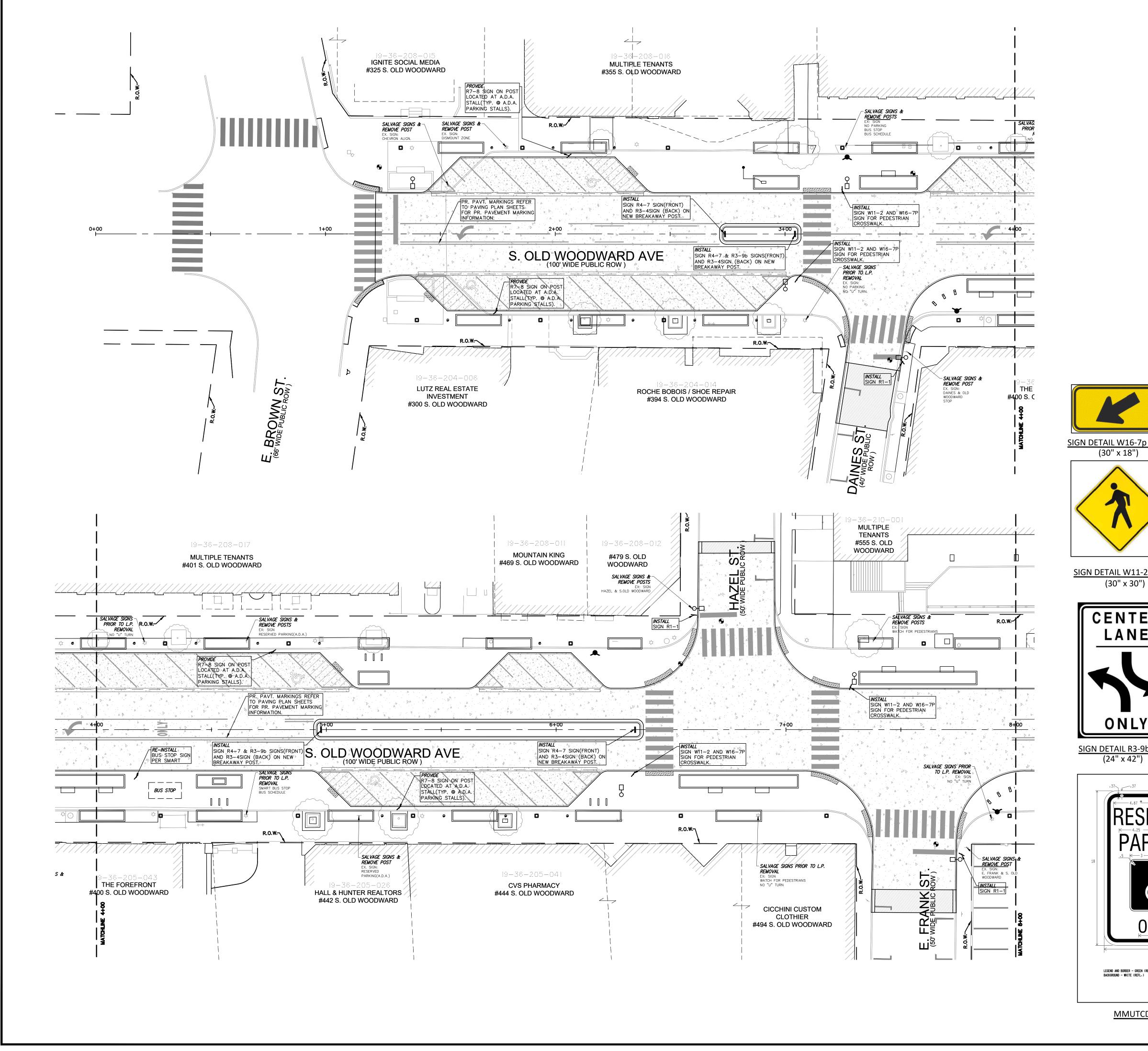
DATE:

January 07, 2022

SCALE: N.T.S.

NFE JOB NO. SH **M270**

SHEET NO. **C28**





SIGN DETAIL W16-7p DETAIL



SIGN DETAIL W11-2 DETAIL



SIGN DETAIL R3-9b DETAIL (24" x 42")



MMUTCD R7-8 DETAIL



NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM

LAND PLANNERS

PROJECT

South Old Woodward Ave. Reconstruction Project (Phase #3) Contract 1-22(P)



Engineering Department 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION Part of the SW/NE 1/4 Section 25/36, Town 2 North, Range 10 East, City of Birmingham, Oakland County, Michigan

SHEET Street Sign Plan

(1 of 3)





SIGN DETAIL-R4-7 (24" x 30")

SIGN DETAIL-R1-1

(30" x 30")

NOTE:
ALL SIGN BACKS & U-CHANNEL
POSTS SHALL BE PAINTED

BIRMINGHAM GREEN



SIGN DETAIL-R3-4 (24" x 24")

DATE ISSUED/REVISED 02-07-2022 90% CITY REVIEW

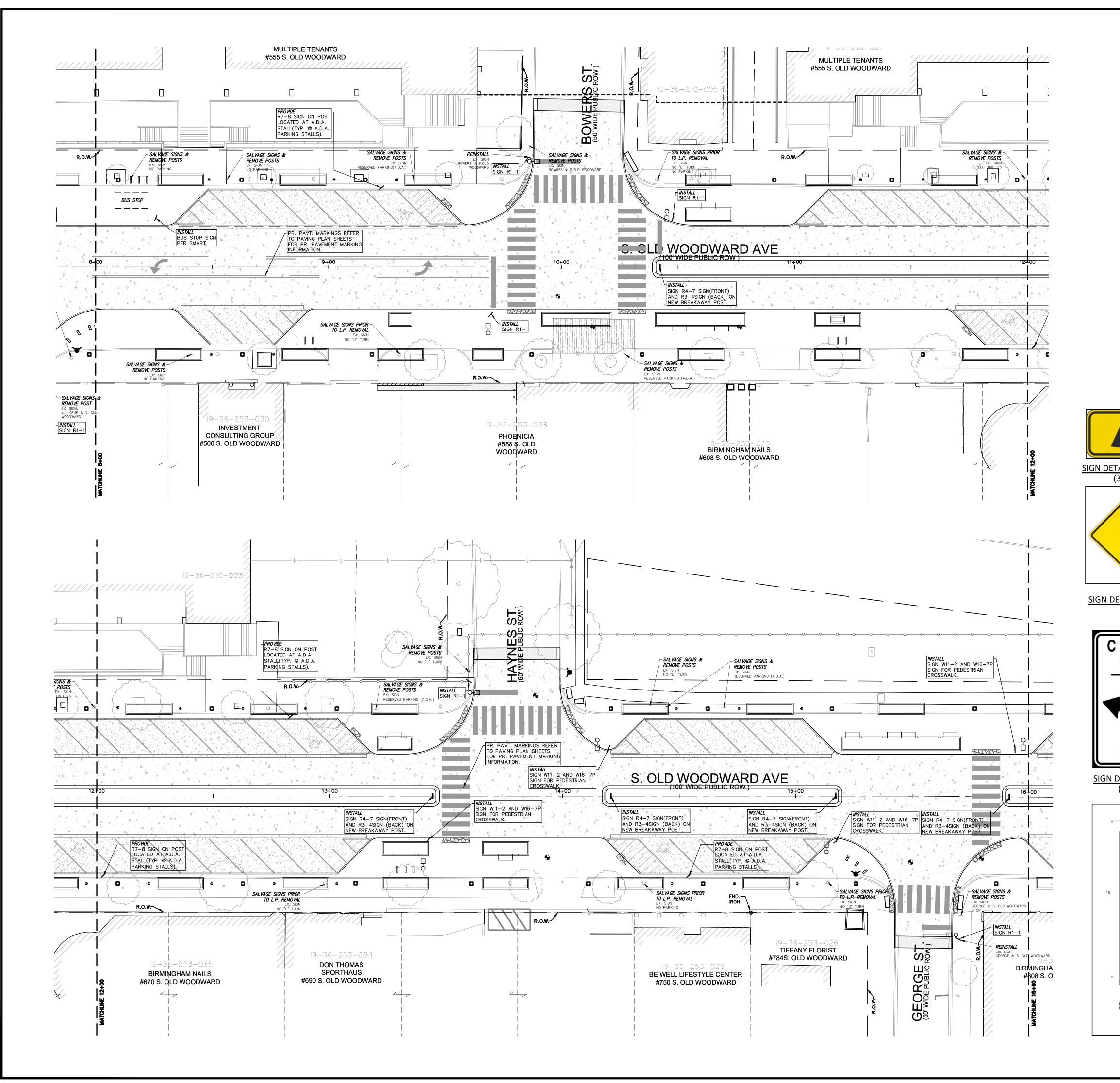
DRAWN BY: G. Viju

DESIGNED BY: P. Tulikangas APPROVED BY: B. Buchholz

DATE: January 24, 2022

SCALE: 1'' = 20'NFE JOB NO.

SHEET NO. M270**32**





SIGN DETAIL W16-7p DETAIL (30" x 18")



SIGN DETAIL W11-2 DETAIL (30" x 30")



SIGN DETAIL R3-9b DETAIL (24" x 42")



MMUTCD R7-8 DETAIL



NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM

LAND PLANNERS

CTAI

PROJECT

South Old Woodward Ave. Reconstruction Project (Phase #3) Contract 1-22(P)

CLIENT



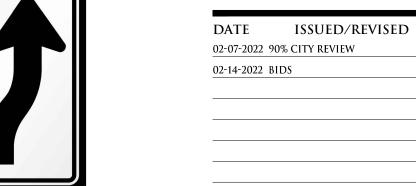
Engineering Department 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION
Part of the SW/NE 1/4
Section 25/36, Town 2 North,
Range 10 East, City of
Birmingham, Oakland
County, Michigan

SHEET
Street Sign Plan

Street Sign Plan (2 of 3)





SIGN DETAIL-R4-7 (24" x 30")

SIGN DETAIL-R1-1 (30" x 30")

NOTE: ALL SIGN BACKS & U-CHANNEL POSTS SHALL BE PAINTED

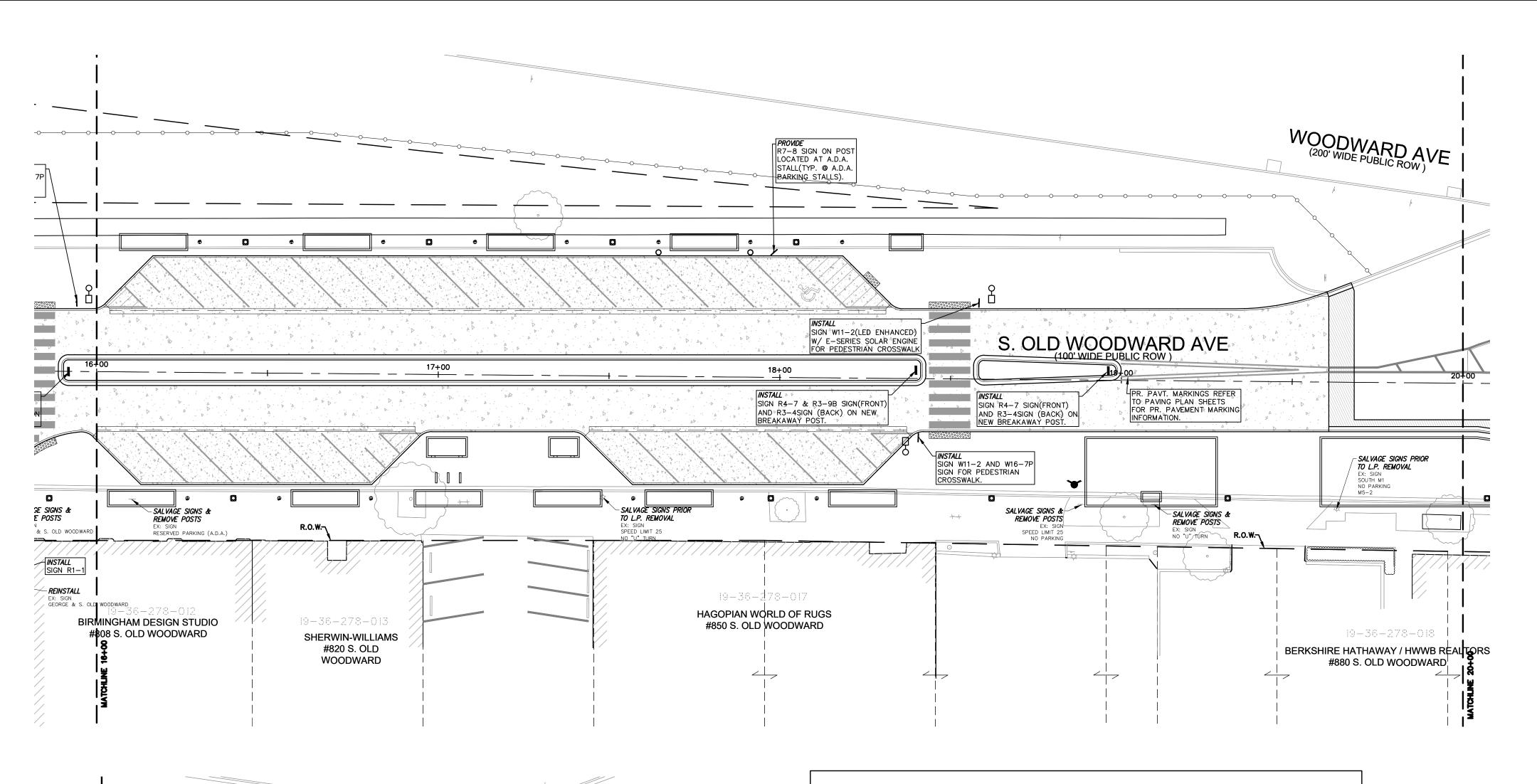
BIRMINGHAM GREEN

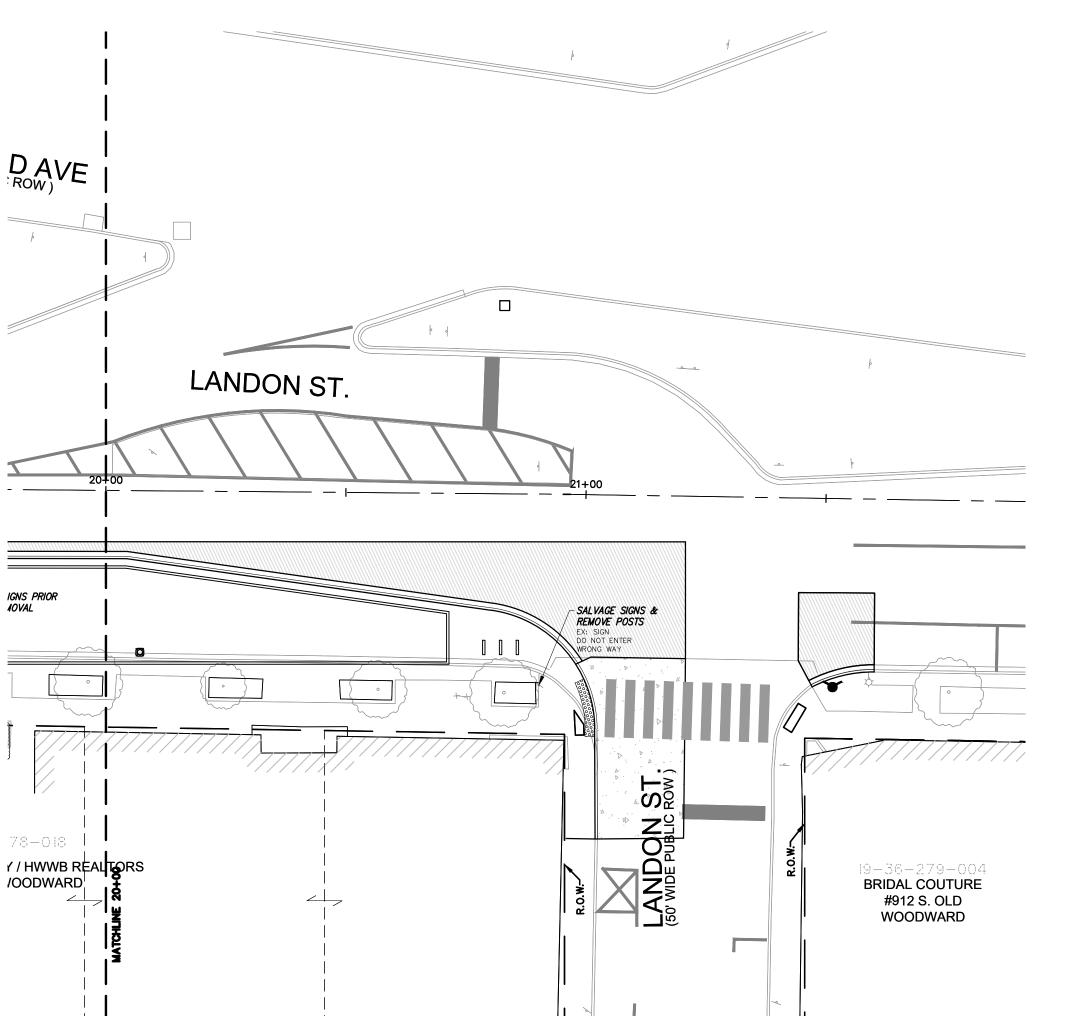


SIGN DETAIL-R3-4 (24" x 24")

| D D . I | | , | |
|-------------|--------|------|--|
| | NN BY | : | |
| G. V | √iju | | |
| DESI | GNED | BY: | |
| Р. Т | `ulika | ngas | |
| | | | |
| APPR | OVED | BY: | |
| B. E | Buchh | ıolz | |
| | | | |

DATE: January 24, 2022







W11-2 (LED ENHANCED) DETAIL



SIGN DETAIL W16-7p DETAIL (30" x 18")



SIGN DETAIL W11-2 DETAIL



SIGN DETAIL R3-9b DETAIL (24" x 42")



MMUTCD R7-8 DETAIL



NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM

PROJECT

South Old Woodward Ave. Reconstruction Project (Phase #3) Contract 1-22(P)

CLIENT



Engineering Department 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION Part of the SW/NE 1/4 Section 25/36, Town 2 North, Range 10 East, City of Birmingham, Oakland County, Michigan

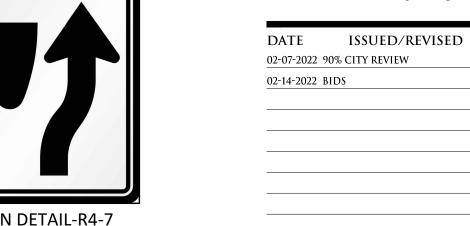
SHEET

Street Sign Plan (3 of 3)



SHEET NO.

34



SIGN DETAIL-R4-(24" x 30")

SIGN DETAIL-R1-1

(30" x 30")

NOTE: ALL SIGN BACKS & U-CHANNEL POSTS SHALL BE PAINTED

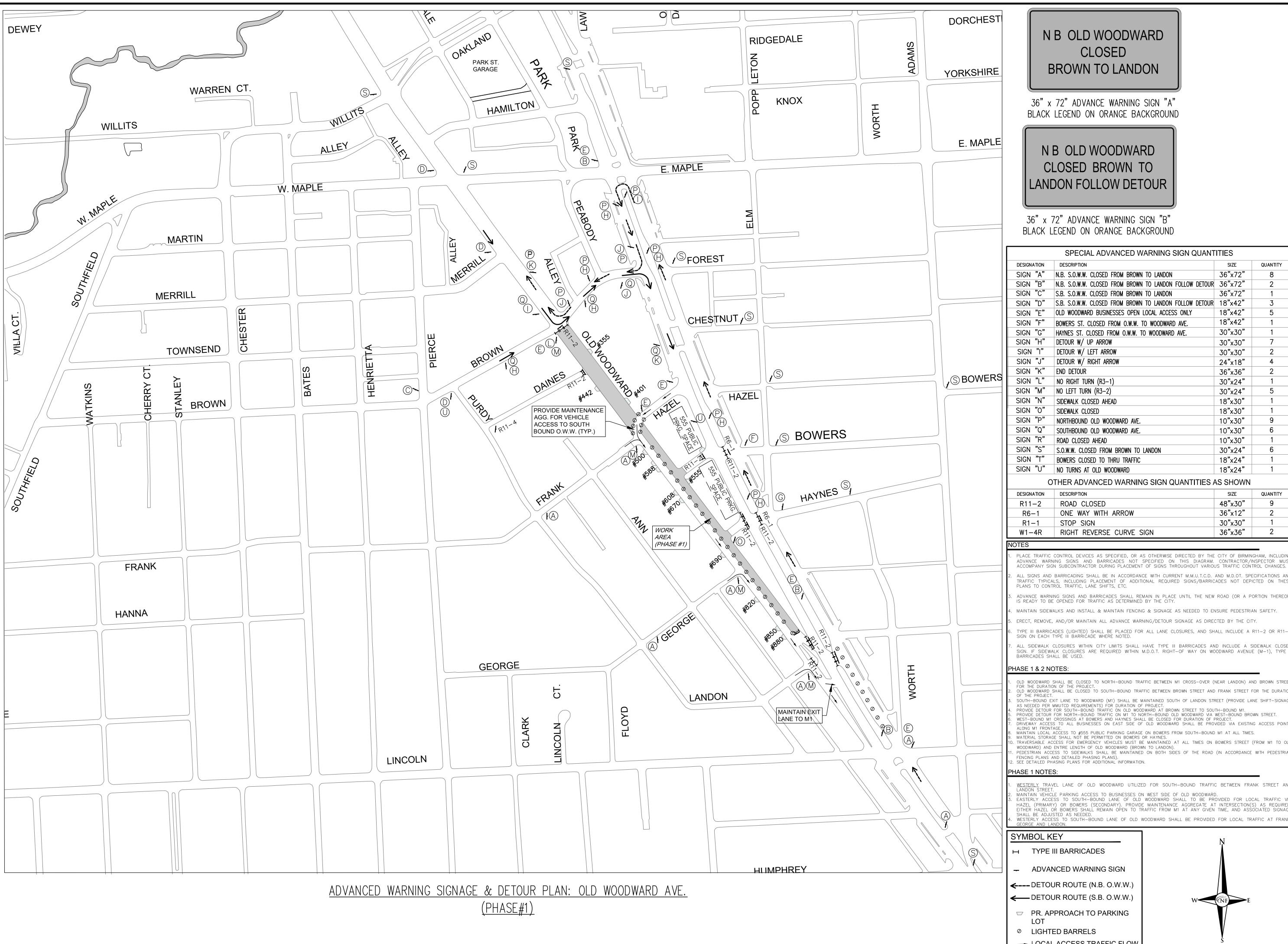
BIRMINGHAM GREEN



SIGN DETAIL-R3-4 (24" x 24")

| <u> </u> | |
|----------|--------------------------------|
| | DRAWN BY: G. Viju DESIGNED BY: |
| | P. Tulikangas |
| | APPROVED BY: |
| | B. Buchholz |
| | DATE: |
| | January 24, 202 |

M270



N B OLD WOODWARD CLOSED **BROWN TO LANDON**

36" x 72" ADVANCE WARNING SIGN "A" BLACK LEGEND ON ORANGE BACKGROUND

N B OLD WOODWARD CLOSED BROWN TO LANDON FOLLOW DETOUR

36" x 72" ADVANCE WARNING SIGN "B" BLACK LEGEND ON ORANGE BACKGROUND

SPECIAL ADVANCED WARNING SIGN QUANTITIES

ENGINEERS CIVIL ENGINEERS LAND SURVEYORS

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931

FAX. (248) 332-8257

of Birmingham

A Walkable Community

LAND PLANNERS

SEAL

| B. S.O.W.W. CLOSED FROM BROWN TO LANDON | 36"x72" | 8 | | |
|---|---------|---|------------------------|--|
| B. S.O.W.W. CLOSED FROM BROWN TO LANDON FOLLOW DETOUR | 36"x72" | 2 | | |
| B. S.O.W.W. CLOSED FROM BROWN TO LANDON | 36"x72" | 1 | | |
| B. S.O.W.W. CLOSED FROM BROWN TO LANDON FOLLOW DETOUR | 18"x42" | 3 | | |
| LD WOODWARD BUSINESSES OPEN LOCAL ACCESS ONLY | 18"x42" | 5 | | |
| OWERS ST. CLOSED FROM O.W.W. TO WOODWARD AVE. | 18"x42" | 1 | | |
| AYNES ST. CLOSED FROM O.W.W. TO WOODWARD AVE. | 30"x30" | 1 | PROJECT | |
| ETOUR W/ UP ARROW | 30"x30" | 7 | Old Woodward Ave. | |
| ETOUR W/ LEFT ARROW | 30"x30" | 2 | | |
| ETOUR W/ RIGHT ARROW | 24"x18" | 4 | Reconstruction Project | |
| ND DETOUR | 36"x36" | 2 | Contract #1-22(P) | |
| O RIGHT TURN (R3—1) | 30"x24" | 1 | | |
| 0 LEFT TURN (R3-2) | 30"x24" | 5 | CLIENT | |
| DEWALK CLOSED AHEAD | 18"x30" | 1 | A 55-73 | |
| DEWALK CLOSED | 18"x30" | 1 | City of Birminghan | |
| ORTHBOUND OLD WOODWARD AVE. | 10"x30" | 9 | A Walkable Commun. | |
| OUTHBOUND OLD WOODWARD AVE. | 10"x30" | 6 | Engineering Department | |
| OAD CLOSED AHEAD | 10"x30" | 1 | 151 Martin Street | |
| O.W.W. CLOSED FROM BROWN TO LANDON | 30"x24" | 6 | Birmingham, MI 48012 | |
| OWERS CLOSED TO THRU TRAFFIC | 18"x24" | 1 | | |
| | | | | |

SIZE

18"x24"

SIZE

36"x12"

30"x30"

36"x36"

QUANTITY

QUANTITY

RIGHT REVERSE CURVE SIGN

ONE WAY WITH ARROW

ROAD CLOSED

PLACE TRAFFIC CONTROL DEVICES AS SPECIFIED, OR AS OTHERWISE DIRECTED BY THE CITY OF BIRMINGHAM, INCLUDI ADVANCE WARNING SIGNS AND BARRICADES NOT SPECIFIED ON THIS DIAGRAM. CONTRACTOR/INSPECTOR MUS ACCOMPANY SIGN SUBCONTRACTOR DURING PLACEMENT OF SIGNS THROUGHOUT VARIOUS TRAFFIC CONTROL CHANGES. ALL SIGNS AND BARRICADING SHALL BE IN ACCORDANCE WITH CURRENT M.M.U.T.C.D. AND M.D.OT. SPECIFICATIONS AN TRAFFIC TYPICALS, INCLUDING PLACEMENT OF ADDITIONAL REQUIRED SIGNS/BARRICADES NOT DEPICTED ON THESI PLANS TO CONTROL TRAFFIC, LANE SHIFTS, ETC.

OTHER ADVANCED WARNING SIGN QUANTITIES AS SHOWN

ADVANCE WARNING SIGNS AND BARRICADES SHALL REMAIN IN PLACE UNTIL THE NEW ROAD (OR A PORTION THEREOF IS READY TO BE OPENED FOR TRAFFIC AS DETERMINED BY THE CITY.

MAINTAIN SIDEWALKS AND INSTALL & MAINTAIN FENCING & SIGNAGE AS NEEDED TO ENSURE PEDESTRIAN SAFETY. ERECT, REMOVE, AND/OR MAINTAIN ALL ADVANCE WARNING/DETOUR SIGNAGE AS DIRECTED BY THE CITY.

TYPE III BARRICADES (LIGHTED) SHALL BE PLACED FOR ALL LANE CLOSURES, AND SHALL INCLUDE A R11-2 OR R11-

SIGN ON EACH TYPE III BARRICADE WHERE NOTED. ALL SIDEWALK CLOSURES WITHIN CITY LIMITS SHALL HAVE TYPE III BARRICADES AND INCLUDE A SIDEWALK CLOSEI

OLD WOODWARD SHALL BE CLOSED TO NORTH-BOUND TRAFFIC BETWEEN M1 CROSS-OVER (NEAR LANDON) AND BROWN STREE FOR THE DURATION OF THE PROJECT. OLD WOODWARD SHALL BE CLOSED TO SOUTH-BOUND TRAFFIC BETWEEN BROWN STREET AND FRANK STREET FOR THE DURATH OF THE PROJECT. SOUTH-BOUND EXIT LANE TO WOODWARD (M1) SHALL BE MAINTAINED SOUTH OF LANDON STREET (PROVIDE LANE SHIFT-SIGNA AS NEEDED PER MMUTCD REQUIREMENTS) FOR DURATION OF PROJECT.

PROVIDE DETOUR FOR SOUTH-BOUND TRAFFIC ON OLD WOODWARD AT BROWN STREET TO SOUTH-BOUND M1.

PROVIDE DETOUR FOR NORTH-BOUND TRAFFIC ON M1 TO NORTH-BOUND OLD WOODWARD VIA WEST-BOUND BROWN STREET.

WEST-BOUND M1 CROSSINGS AT BOWERS AND HAYNES SHALL BE CLOSED FOR DURATION OF PROJECT.

DRIVEWAY ACCESS TO ALL BUSINESSES ON EAST SIDE OF OLD WOODWARD SHALL BE PROVIDED VIA EXISTING ACCESS POIN ALONG M1 FRONTAGE. MAINTAIN LOCAL ACCESS TO #555 PUBLIC PARKING GARAGE ON BOWERS FROM SOUTH-BOUND M1 AT ALL TIMES. MATERIAL STORAGE SHALL NOT BE PERMITTED ON BOWERS OR HAYNES TRAVERSABLE ACCESS FOR EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES ON BOWERS STREET (FROM M1 TO C

WOODWARD) AND ENTIRE LENGTH OF OLD WOODWARD (BROWN TO LANDON). PEDESTRIAN ACCESS TO SIDEWALKS SHALL BE MAINTAINED ON BOTH SIDES OF THE ROAD (IN ACCORDANCE WITH PEDESTRIAN FENCING PLANS AND DETAILED PHASING PLANS). SEE DETAILED PHASING PLANS FOR ADDITIONAL INFORMATION.

PHASE 1 NOTES:

<u>WESTERLY</u> TRAVEL LANE OF OLD WOODWARD UTILIZED FOR SOUTH—BOUND TRAFFIC BETWEEN FRANK STREET AND LANDON STREET. MAINTAIN VEHICLE PARKING ACCESS TO BUSINESSES ON WEST SIDE OF OLD WOODWARD.

EASTERLY ACCESS TO SOUTH—BOUND LANE OF OLD WOODWARD SHALL TO BE PROVIDED FOR LOCAL TRAFFIC '

HAZEL (PRIMARY) OR BOWERS (SECONDARY). PROVIDE MAINTENANCE AGGREGATE AT INTERSECTION(S) AS REQUIRED EITHER HAZEL OR BOWERS SHALL REMAIN OPEN TO TRAFFIC FROM M1 AT ANY GIVEN TIME, AND ASSOCIATED SIGNAGI WESTERLY ACCESS TO SOUTH-BOUND LANE OF OLD WOODWARD SHALL BE PROVIDED FOR LOCAL TRAFFIC AT FRAN

SYMBOL KEY

H TYPE III BARRICADES

ADVANCED WARNING SIGN

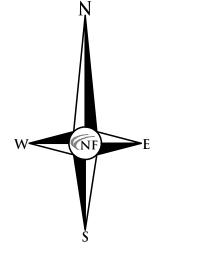
←−−− DETOUR ROUTE (N.B. O.W.W.)

← DETOUR ROUTE (S.B. O.W.W.)

PR. APPROACH TO PARKING

Ø LIGHTED BARRELS

→ LOCAL ACCESS TRAFFIC FLOW



Call before you dig.

PROJECT LOCATION

of Section 25

Town 2 North,

Range 10 East,

City of Birmingham,

Advanced Warning

Plan (1 of 2)

Oakland County, Michigan

Signage & Traffic Detour

Part of the Southeast $\frac{1}{4}$

DATE ISSUED/REVISED 01-07-22 - ISSUED FOR REVIEW 01-31-22 - ISSUED FOR REVIEW 02-07-22 - 90% CITY REVIEW 02-14-22 - BIDS

DRAWN BY: G. Viju **DESIGNED BY:** P. Tulikangas

APPROVED BY: B. Buchholz DATE: 01-07-2022

SCALE: N.T.S.

SHEET NO. NFE JOB NO.

M270

S B OLD WOODWARD CLOSED **BROWN TO LANDON**

36" x 72" ADVANCE WARNING SIGN "C" BLACK LEGEND ON ORANGE BACKGROUND

S B OLD WOODWARD CLOSED BROWN TO LANDON FOLLOW DETOUR

36" x 72" ADVANCE WARNING SIGN "D" BLACK LEGEND ON ORANGE BACKGROUND

OLD WOODWARD **BUSINESSES OPEN** LOCAL ACCESS ONLY

36" x 72" ADVANCE WARNING SIGN "E" BLACK LEGEND ON ORANGE BACKGROUND

BOWERS CLOSED AT WOODWARD AVE.

18"x42" ADVANCE WARNING SIGN "F" BLACK LEGEND ON ORANGE BACKGROUND

HAYNES CLOSED AT WOODWARD AVE.

18"x42" ADVANCE WARNING SIGN "G" BLACK LEGEND ON ORANGE BACKGROUND

END DETOUR

24" x 18" ADVANCED WARNING SIGN "K" BLACK LEGEND ON ORANGE BACKGROUND

SIDEWALK CLOSED AHEAD

18" x 30" ADVANCE WARNING SIGN "N" BLACK LEGEND ON ORANGE BACKGROUND

10" x 30" ADVANCED WARNING SIGN "P" BLACK LEGEND ON ORANGE BACKGROUND

N.B. OLD WOODWARD

10" x 30" ADVANCED WARNING SIGN "Q" BLACK LEGEND ON ORANGE BACKGROUND

S.B. WOODWARD



30" x 30" ADVANCED WARNING SIGN "H" BLACK LEGEND ON ORANGE BACKGROUND (MOUNT BELOW WARNING SIGN "P/Q" WHERE INDICATED)

ADVANCED WARNING SIGN "L"

BOWERS CLOSED TO THRU TRAFFIC

18"x42" ADVANCE WARNING SIGN "T" BLACK LEGEND ON ORANGE BACKGROUND

10" x 30" ADVANCED WARNING SIGN "P" BLACK LEGEND ON ORANGE BACKGROUND

N.B. OLD WOODWARD

10" x 30" ADVANCED WARNING SIGN Q BLACK LEGEND ON ORANGE BACKGROUND

S.B. WOODWARD



30" x 30" ADVANCED WARNING SIGN "I" BLACK LEGEND ON ORANGE BACKGROUND (MOUNT BELOW WARNING SIGN "P/Q" WHERE INDICATED)

ADVANCED WARNING SIGN "M"

NO TURNS AT OLD WOODWARD

18"x42" ADVANCE WARNING SIGN "U" BLACK LEGEND ON ORANGE BACKGROUND

> 10" x 30" ADVANCED WARNING SIGN "P" BLACK LEGEND ON ORANGE BACKGROUND

N.B. OLD WOODWARD

10" x 30" ADVANCED WARNING SIGN "Q BLACK LEGEND ON ORANGE BACKGROUND

S.B. WOODWARD



30" x 30" ADVANCED WARNING SIGN "J" BLACK LEGEND ON ORANGE BACKGROUND (MOUNT BELOW WARNING SIGN "P/Q" WHERE INDICATED)

OLD WOODWARD CLOSED

BROWN TO LANDON

36" x 72" ADVANCE WARNING SIGN "S"

BLACK LEGEND ON ORANGE BACKGROUND

SYMBOL KEY

ICOLN

D-

PROVIDE MAINTENANCE AGG. FOR VEHICLE ACCESS TO SOUTH

BOUND O.W.W. (TYP.)

- H TYPE III BARRICADES
- ADVANCED WARNING SIGN

GEORGE

- **←---** DETOUR ROUTE (N.B. O.W.W.) **←** DETOUR ROUTE (S.B. O.W.W.)
- PR. APPROACH TO PARKING
- Ø LIGHTED BARRELS
- → LOCAL TRAFFIC FLOW

SIDEWALK CLOSED

18" x 30" ADVANCE WARNING SIGN "O" BLACK LEGEND ON ORANGE BACKGROUND

ADVANCED WARNING SIGNAGE & DETOUR PLAN: OLD WOODWARD AVE.

LANDON

(PHASE #2)

E. MAPLE

FOREST

CHE\$TNUT,\$

HAZEL

S BOWERS

HAYNES S,

MAINTAIN



36" x 36" ADVANCE WARNING SIGN "R" BLACK LEGEND ON ORANGE BACKGROUND

MAINTAIN ÈXIT

LANE TO MY

WARNING SIGNS AND BARRICADES NOT SPECIFIED ON THIS DIAGRAM. CONTRACTOR/INSPECTOR MUST ACCOMPANY S SUBCONTRACTOR DURING PLACEMENT OF SIGNS THROUGHOUT VARIOUS TRAFFIC CONTROL CHANGES.

ALL SIGNS AND BARRICADING SHALL BE IN ACCORDANCE WITH CURRENT M.M.U.T.C.D. AND M.D.OT. SPECIFICATIONS AND TRAFF TYPICALS, INCLUDING PLACEMENT OF ADDITIONAL REQUIRED SIGNS/BARRICADES NOT DEPICTED ON THESE PLANS TO CONTROL ADVANCE WARNING SIGNS AND BARRICADES SHALL REMAIN IN PLACE UNTIL THE NEW ROAD (OR A PORTION THEREOF) IS READY

BE OPENED FOR TRAFFIC AS DETERMINED BY THE CITY. MAINTAIN SIDEWALKS AND INSTALL & MAINTAIN FENCING & SIGNAGE AS NEEDED TO ENSURE PEDESTRIAN SAFETY.

ERECT, REMOVE, AND/OR MAINTAIN ALL ADVANCE WARNING/DETOUR SIGNAGE AS DIRECTED BY THE CITY. TYPE III BARRICADES (LIGHTED) SHALL BE PLACED FOR ALL LANE CLOSURES, AND SHALL INCLUDE A R11-2 OR R11-4 SIGN (EACH TYPE III BARRICADE WHERE NOTED.

ALL SIDEWALK CLOSURES WITHIN CITY LIMITS SHALL HAVE TYPE III BARRICADES AND INCLUDE A SIDEWALK CLOSED SIGN. IF SIDEWA CLOSURES ARE REQUIRED WITHIN M.D.O.T. RIGHT-OF WAY ON WOODWARD AVENUE (M-1), TYPE II BARRICADES SHALL BE USED.

PHASE 1 & 2 NOTES:

OLD WOODWARD SHALL BE CLOSED TO NORTH-BOUND TRAFFIC BETWEEN M1 CROSS-OVER (NEAR LANDON) AND BROWN STREET FOR OLD WOODWARD SHALL BE CLOSED TO SOUTH-BOUND TRAFFIC BETWEEN BROWN STREET AND FRANK STREET FOR THE DURATION OF SOUTH-BOUND EXIT LANE TO WOODWARD (M1) SHALL BE MAINTAINED SOUTH OF LANDON STREET (PROVIDE LANE SHIFT-SIGNAGE AS NEEDE PER MMUTCD REQUIREMENTS) FOR DURATION OF PROJECT.

PROVIDE DETOUR FOR SOUTH—BOUND TRAFFIC ON OLD WOODWARD AT BROWN STREET TO SOUTH—BOUND M1.

PROVIDE DETOUR FOR NORTH—BOUND TRAFFIC ON M1 TO NORTH—BOUND OLD WOODWARD VIA WEST—BOUND BROWN STREET.

WEST—BOUND M1 CROSSINGS AT BOWERS AND HAYNES SHALL BE CLOSED FOR DURATION OF PROJECT.

DRIVEWAY ACCESS TO ALL BUSINESSES ON EAST SIDE OF OLD WOODWARD SHALL BE PROVIDED VIA EXISTING ACCESS POINTS ALONG I MAINTAIN LOCAL ACCESS TO #555 PUBLIC PARKING GARAGE ON BOWERS FROM SOUTH-BOUND M1 AT ALL TIMES.

MATERIAL STORAGE SHALL NOT BE PERMITTED ON BOWERS OR HAYNES. TRAVERSABLE ACCESS FOR EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES ON BOWERS STREET (FROM M1 TO OLD WOODWARD) A ENTIRE LENGTH OF OLD WOODWARD (BROWN TO LANDON). PEDESTRIAN ACCESS TO SIDEWALKS SHALL BE MAINTAINED ON BOTH SIDES OF THE ROAD (IN ACCORDANCE WITH PEDESTRIAN FENCING PLAN AND DETAILED PHASING PLANS).
2. SEE DETAILED PHASING PLANS FOR ADDITIONAL INFORMATION

PHASE 2 NOTES

EASTERLY TRAVEL LANE OF OLD WOODWARD UTILIZED FOR SOUTH—BOUND TRAFFIC BETWEEN FRANK STREET AND LANDON STREET. MAINTAIN VEHICLE PARKING ACCESS TO BUSINESSES ON WEST SIDE OF OLD WOODWARD. PROVIDE MAINTENANCE AGGREGATE F DRIVEWAY ACCESS AS REQUIRED. EASTERLY ACCESS TO SOUTH-BOUND LANE OF OLD WOODWARD SHALL TO BE PROVIDED FOR LOCAL TRAFFIC VIA HAZEL (PRIMA OR BOWERS (SECONDARY). EITHER HAZEL OR BOWERS SHALL REMAIN OPEN TO TRAFFIC FROM M1 AT ANY GIVEN TIME, ASSOCIATED SIGNAGE SHALL BE ADJUSTED AS NEEDED. WESTERLY ACCESS TO SOUTH-BOUND LANE OF OLD WOODWARD SHALL BE PROVIDED FOR LOCAL TRAFFIC AT FRANK AND LAND (PROVIDE MAINTENANCE AGGREGATE AT INTERSECTIONS AS REQUIRED). ACCESS AT GEORGE SHALL BE CLOSED.

ENGINEERS CIVIL ENGINEERS

LAND PLANNERS **NOWAK & FRAUS ENGINEERS** 46777 WOODWARD AVE. PONTIAC, MI 48342-5032

TEL. (248) 332-7931

FAX. (248) 332-8257

LAND SURVEYORS

BOWERS

PROJECT Old Woodward Ave. Reconstruction Project Contract #1-22(P)

CLIENT



Engineering Department 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION

Part of the Southeast $\frac{1}{4}$ of Section 25 Town 2 North, Range 10 East, City of Birmingham, Oakland County, Michigan

Advanced Warning Signage & Traffic Detour Plan (2 of 2)



DATE ISSUED/REVISED 01-07-22 - ISSUED FOR REVIEW 01-31-22 - ISSUED FOR REVIEW 02-07-22 - 90% CITY REVIEW 02-14-22 - BIDS

DRAWN BY: G. Viju **DESIGNED BY:** P. Tulikangas APPROVED BY: B. Buchholz

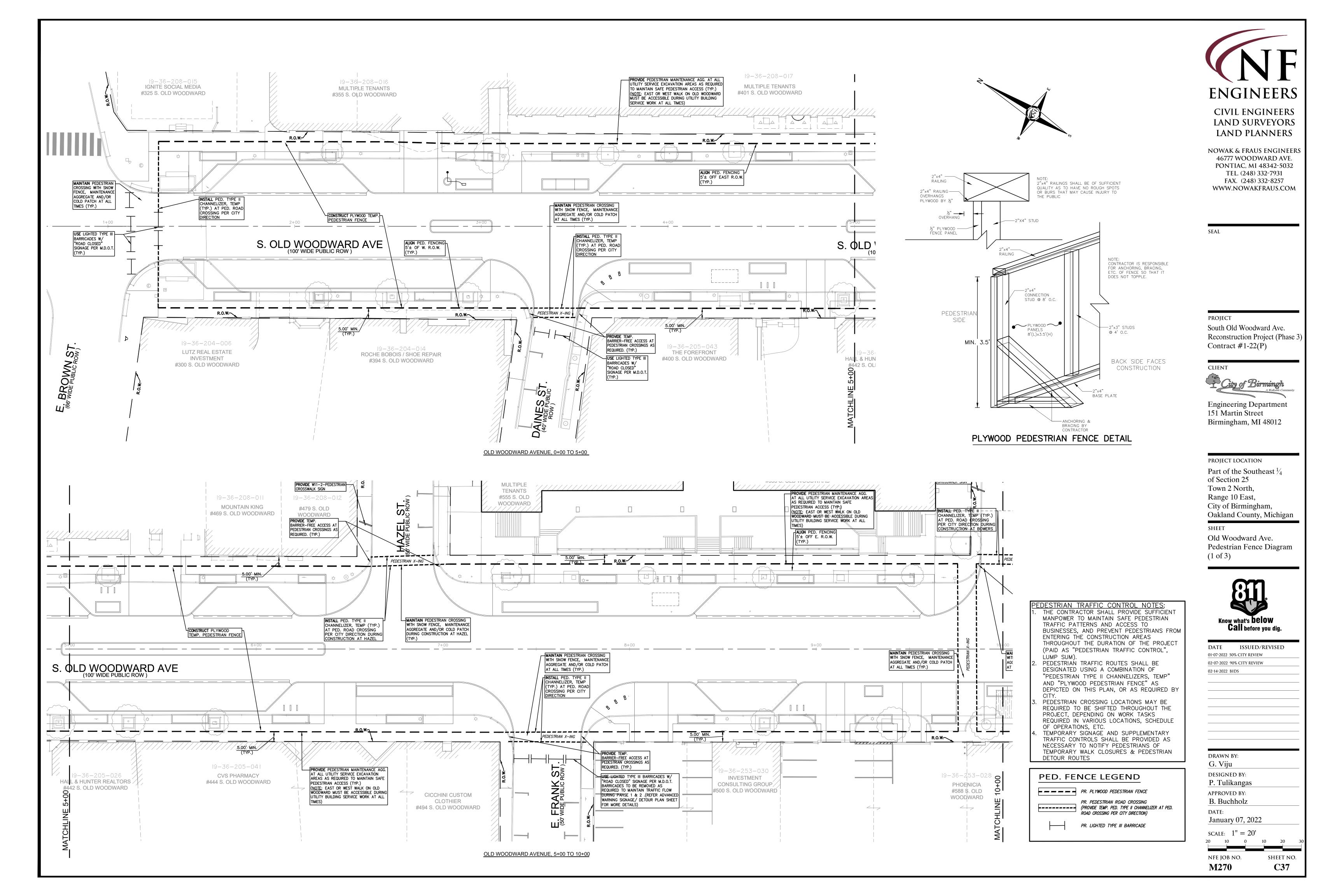
DATE: 01-07-2022

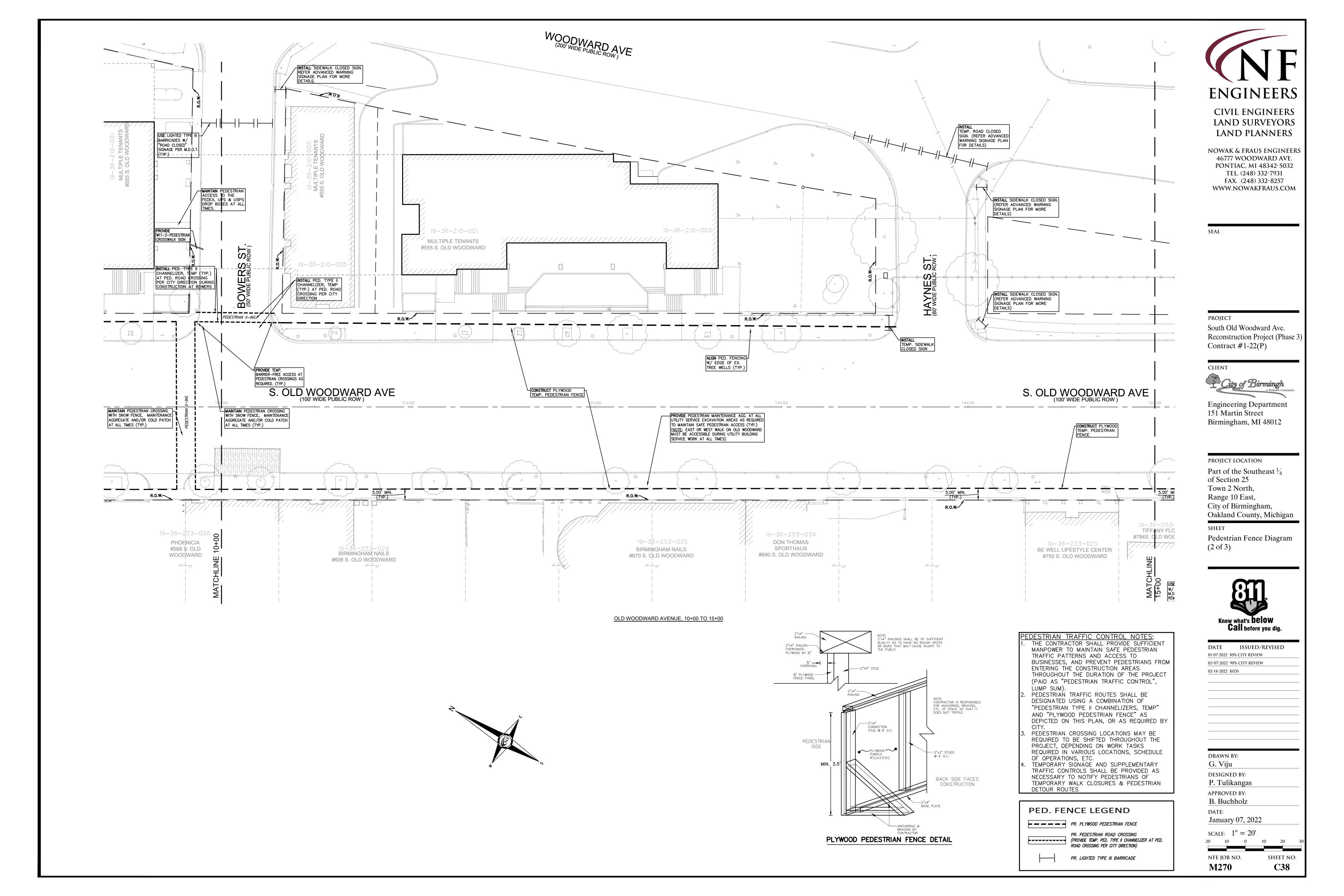
SCALE: N.T.S.

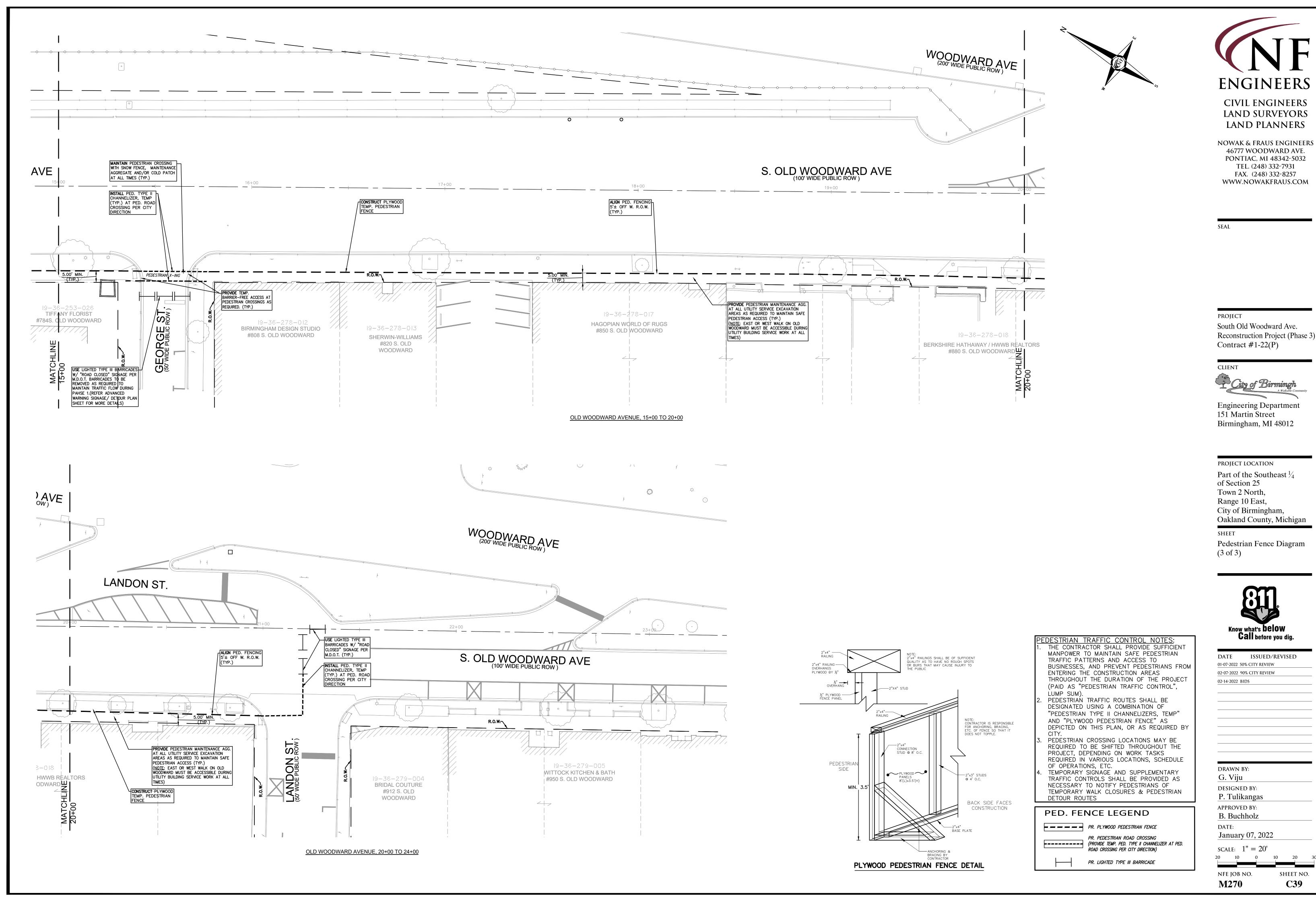
NFE JOB NO.

SHEET NO. **C36**

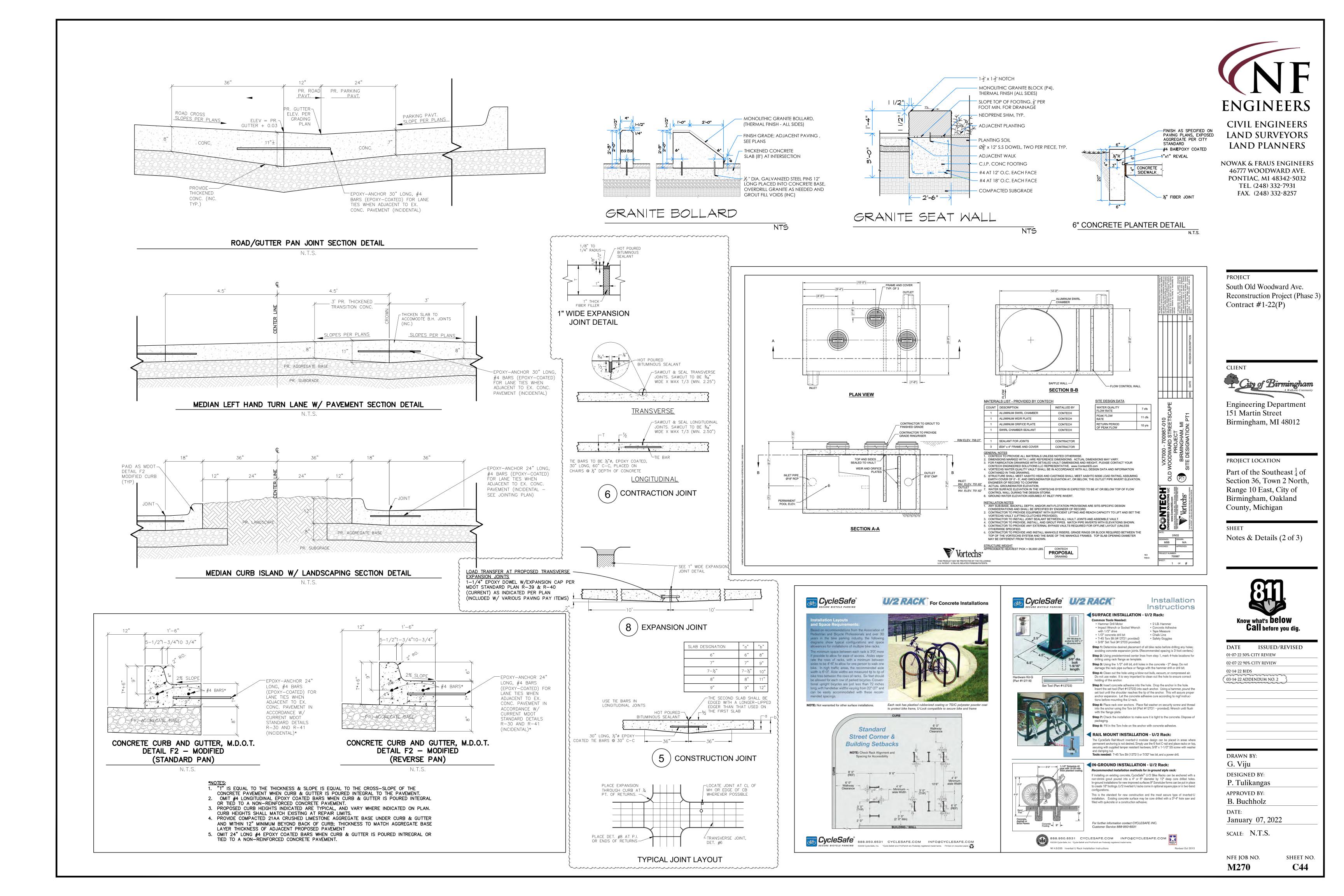
M270

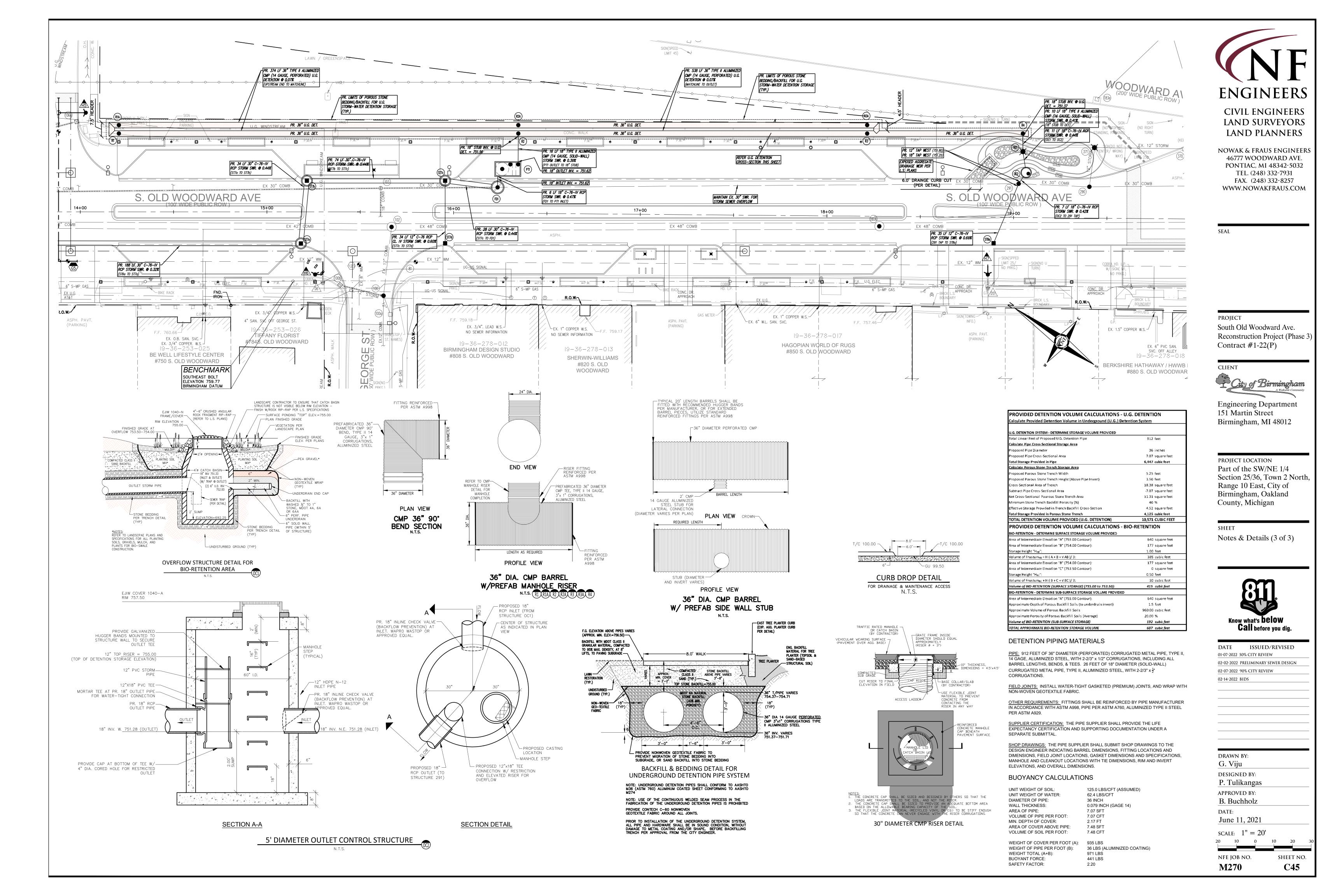


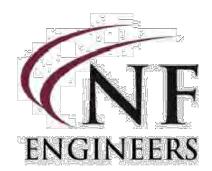




ENGINEERS







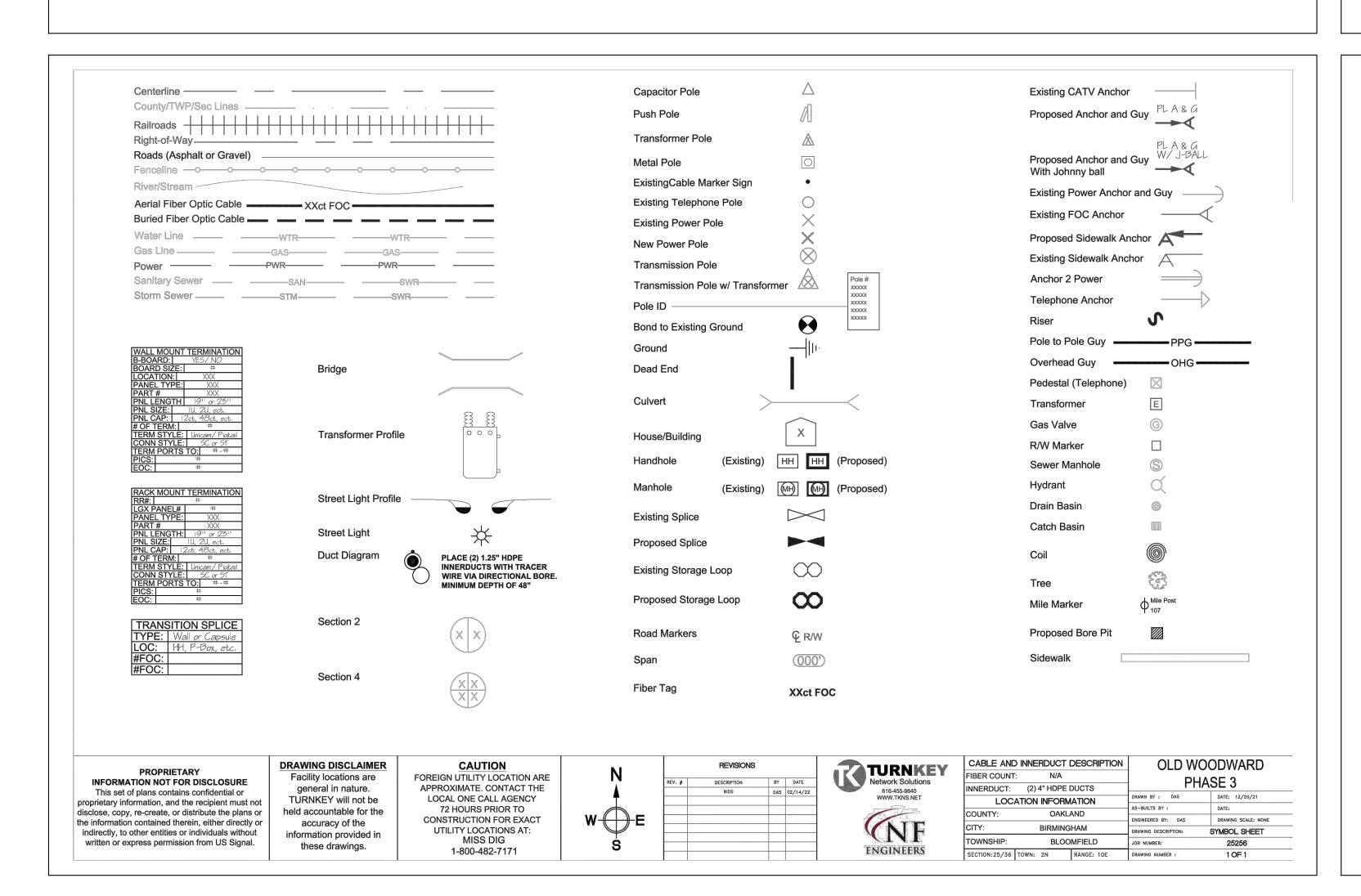
OLD WOODWARD PHASE 3

BIRMINGHAM, MI

S. OLD WOODWARD AVE. E. BROWN ST. TO LANDON ST.

OUTSIDE PLANT SCHEMATIC
FIBER OPTIC CABLE ROUTE
TKNS PROJECT #25256







PROPRIETARY
INFORMATION NOT FOR DISCLOSURE
This set of plans contains confidential or proprietary information, and the recipient must not disclose, copy, re-create, or distribute the plans or the information contained therein, either directly or indirectly, to other entities or individuals without written or express permission from US Signal.

PRAWING DISCLAIMER
Facility locations are general in nature.
TURNKEY will not be held accountable for the accuracy of the information provided in

CAUTION

FOREIGN UTILITY LOCATION ARE
APPROXIMATE. CONTACT THE
LOCAL ONE CALL AGENCY
72 HOURS PRIOR TO
CONSTRUCTION FOR EXACT
UTILITY LOCATIONS AT:
MISS DIG
1-800-482-7171

REVISIONS

REV. # DESCRIPTION BY DATE

BIDS DAS 02/14/22

Network Solutions
616-455-9840
WWW.TKNS.NET

COUNTY:

COU

MATERIAL LIST DESCRIPTION 4" S-40 PVC CONDUIT **EACH** 4" S-40 PVC DOME CAP 4'x4'x4' STANDARD TERMINATOR **EACH** MANHOLE, FRAME & COVER EACH 4" CONDUIT SPACER - BASE 4" CONDUIT SPACER -**EACH** INTERMEDIATE 24" CABLE RACK **EACH** (1) 1" SDR-11 INNERDUCT (1) $1\frac{1}{4}$ " SDR-11 INNERDUCT FOOT 1.64" (7) WAY MICRODUCT #14 AWG TRACER WIRE

PROPRIETARY
INFORMATION NOT FOR DISCLOSURE
This set of plans contains confidential or
proprietary information, and the recipient must not
disclose, copy, re-create, or distribute the plans or
the information contained therein, either directly or
indirectly, to other entities or individuals without

written or express permission from US Signal.

Pacility locations are general in nature.
TURNKEY will not be held accountable for the accuracy of the information provided in these drawings.

CAUTION

FOREIGN UTILITY LOCATION ARE
APPROXIMATE. CONTACT THE
LOCAL ONE CALL AGENCY
72 HOURS PRIOR TO
CONSTRUCTION FOR EXACT
UTILITY LOCATIONS AT:
MISS DIG

1-800-482-7171

W E

REVISIONS

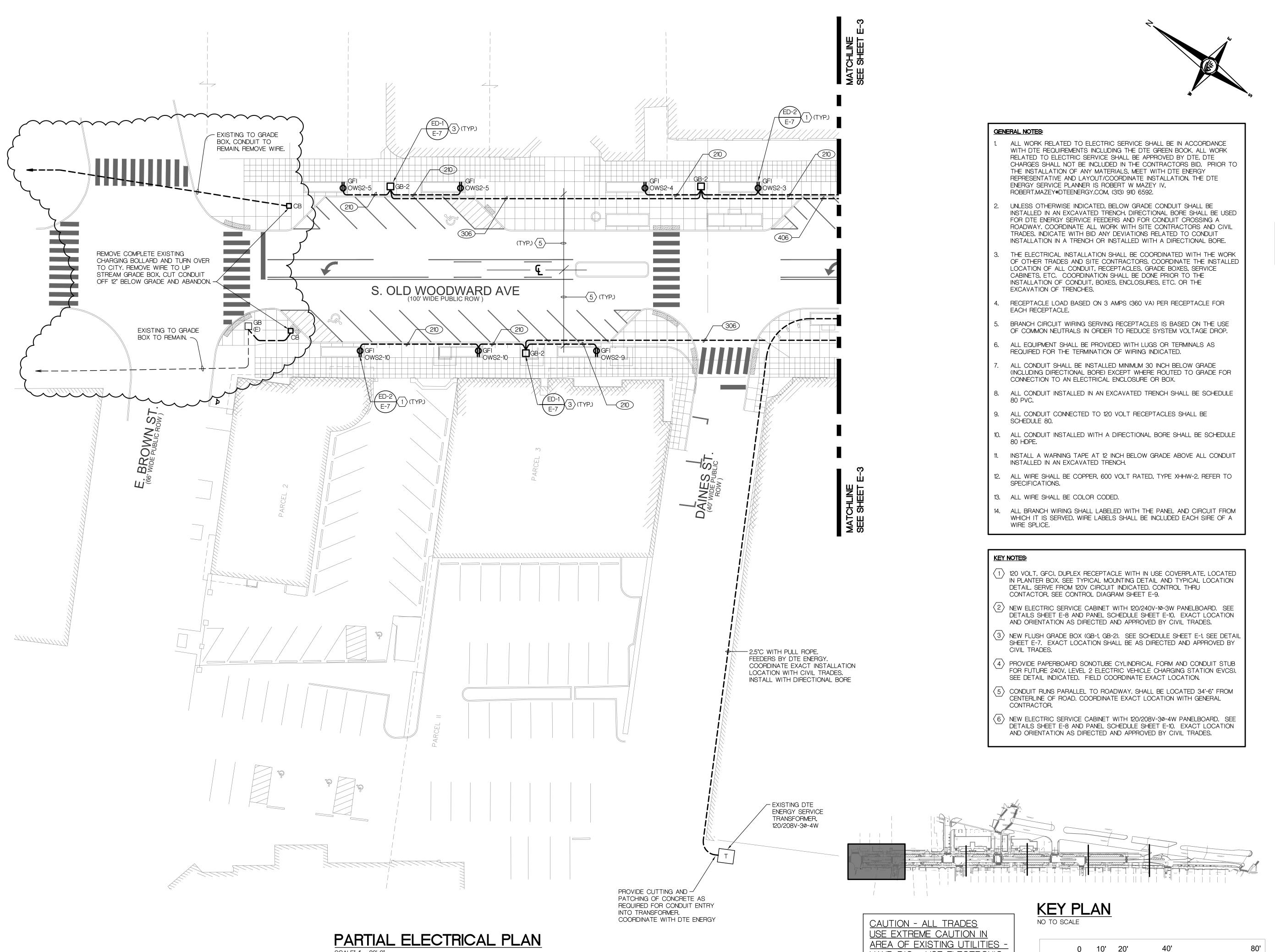
DESCRIPTION BY DATE
BIDS DAS 02/14/22

BIDS DAS 02/14/22

WWW.TKNS.NET

CABLE AND INNERDUCT DESCRIPTION
FIBER COUNT: N/A
INNERDUCT: (2) 4" HDPE DUCTS

LOCATION INFORMATION
COUNTY: OAKLAND
CITY: BIRMINGHAM
DRAWING DESCRIPTION: SYMBOL SHEET
TOWNSHIP: BLOOMFIELD
JOB NUMBER: 25256
SECTION: 25/36 TOWN: 2N RANGE: 10E DRAWING NUMBER: 1 OF 1



SCALE" 1" - 20"-0"

ENGINEERS

civil Engineers Land Surveyors Land Planners

NOWAK & FRAUS ENGINEERS 46777 Woodward Ave. Pontiac, MI 48342-5032 Tel. (248) 332-7931 Fax. (248) 332-8257



BERBIGLIA ASSOCIATES INC. 36400 West 12 Mile Road Farmington Hills, Michigan 48331

PROJECT

Old Woodward Ave. Reconstruction Project Contract #1-22(P)

B.A.I. No. 21-5001

Engineering Department 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION Part of the SW/NE 1/4 Section 25/36, Town 2 North, Range 10 East, City of Birmingham, Oakland County, Michigan

Partial Electrical Plan



Call before you dig. REVISIONS 01-07-22 50% City Review

02-14-22 03-14-22 Addendum No. 2

DRAWN BY:

VK/MV DESIGNED BY:

J. Berbiglia APPROVED BY:

J. Berbiglia DATE:

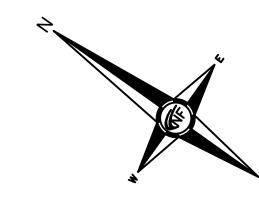
June 11, 2021

SCALE: 1'' = 20'sheet no.

WHEN USING THIS DRAWING - PLOT OR PRINT FULL SIZE TO ENSURE CORRECT SCALE. NOTE REDUCED SIZE DRAWINGS ARE NOT TO SCALE

HAND DIG - USE ELECTRONIC DETECTION PRIOR TO DIGGING

E-2





civil Engineers Land Surveyors Land Planners

NOWAK & FRAUS ENGINEERS 46777 Woodward Ave. Pontiac, MI 48342—5032 Tel. (248) 332—7931 Fax. (248) 332—8257



PROJECT

Old Woodward Ave. Reconstruction Project Contract #1-22(P)



Engineering Department 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION Part of the SW/NE 1/4 Section 25/36, Town 2 North, Range 10 East, City of Birmingham, Oakland County, Michigan

Partial Electrical Plan



REVISIONS 01-07-22 50% City Review 02-14-22 Bids

DRAWN BY: VK/MV

DESIGNED BY: J. Berbiglia

APPROVED BY: J. Berbiglia

DATE: June 11, 2021

KEY PLAN

10' 20'

WHEN USING THIS DRAWING - PLOT OR PRINT FULL SIZE TO ENSURE

CORRECT SCALE. NOTE REDUCED SIZE DRAWINGS ARE NOT TO SCALE

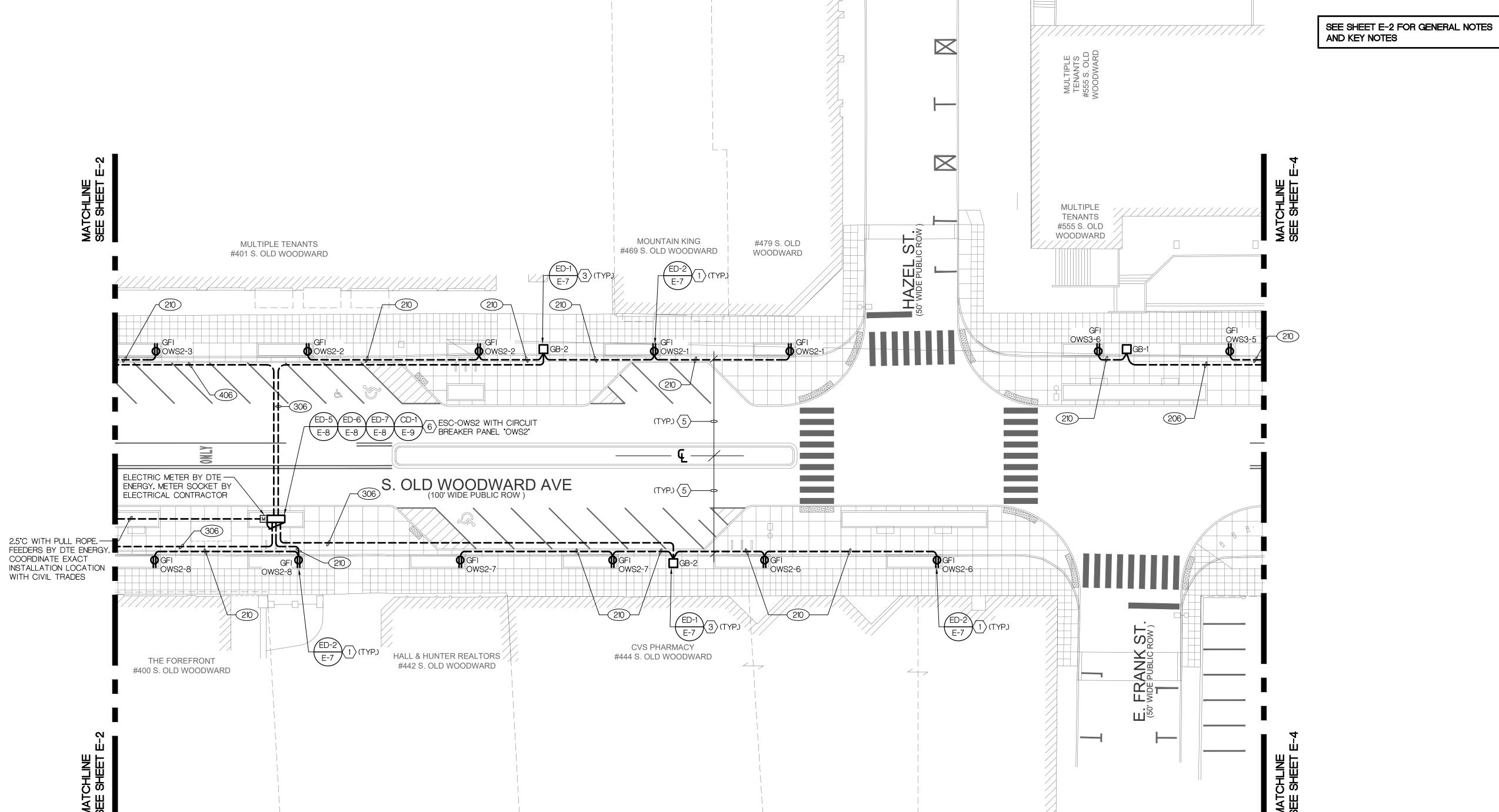
NO TO SCALE

CAUTION - ALL TRADES USE EXTREME CAUTION IN

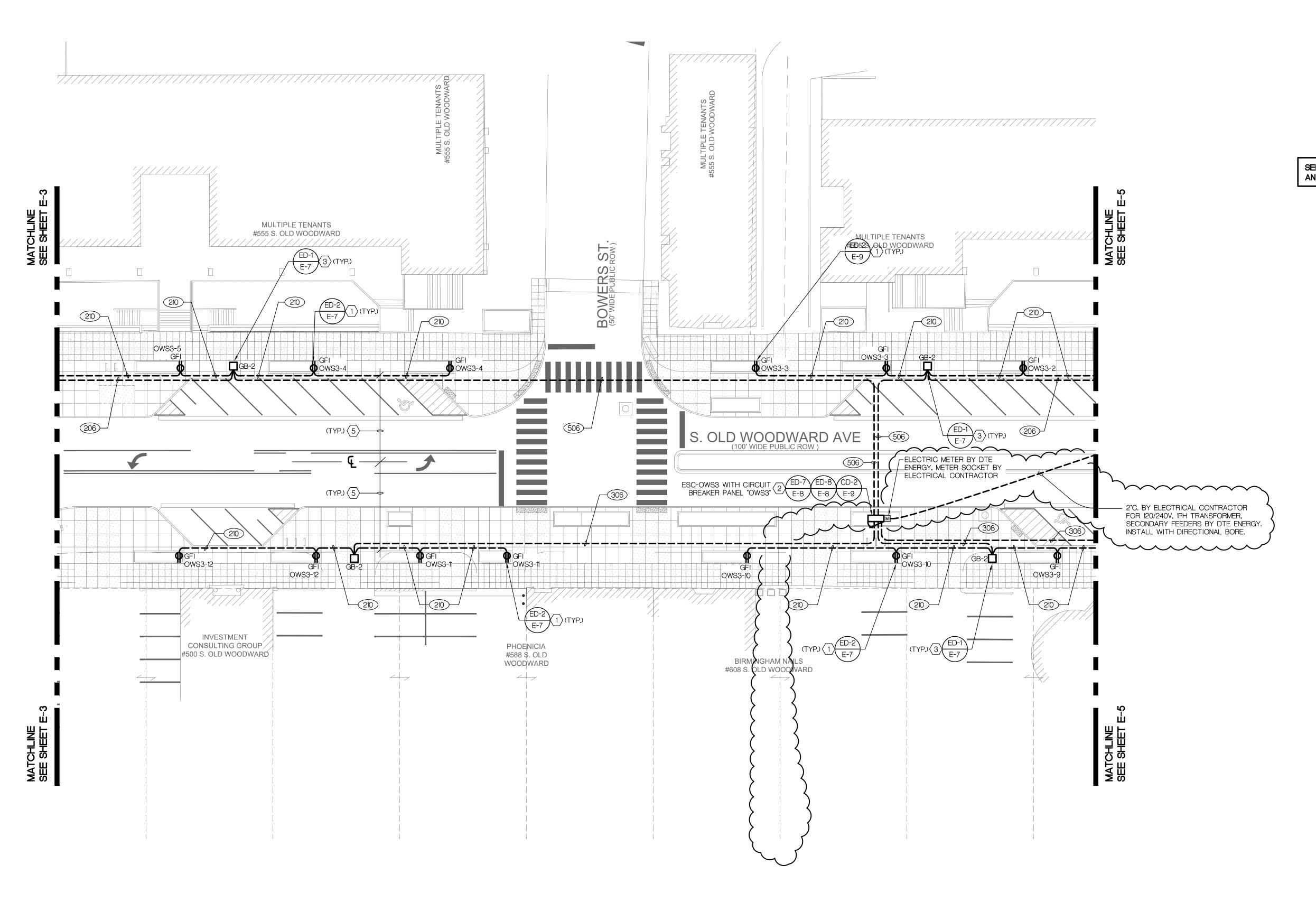
AREA OF EXISTING UTILITIES

HAND DIG - USE ELECTRONIC DETECTION PRIOR TO DIGGING SCALE: 1'' = 20'

sheet no. M270**E-3**



PARTIAL ELECTRICAL PLAN



ENGINEERS

civil Engineers Land Surveyors Land Planners

NOWAK & FRAUS ENGINEERS 46777 Woodward Ave. Pontiac, MI 48342—5032 Tel. (248) 332—7931 Fax. (248) 332—8257

BERBIGLIA ASSOCIATES INC.

Farmington Hills, Michigan 48331 (248) 489–3100 • FAX (248) •489–3161 B.A.I. No. 21–5001

PROJECT

Old Woodward Ave. Reconstruction Project Contract #1-22(P)



Engineering Department 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION Part of the SW/NE 1/4 Section 25/36, Town 2 North, Range 10 East, City of Birmingham, Oakland County, Michigan

Partial Electrical Plan



REVISIONS 01-07-22 50% City Review 02-14-22 03-14-22 Addendum No. 2

> DRAWN BY: VK/MV DESIGNED BY: J. Berbiglia APPROVED BY: J. Berbiglia

DATE:

June 11, 2021 SCALE: 1'' = 20'sheet no.

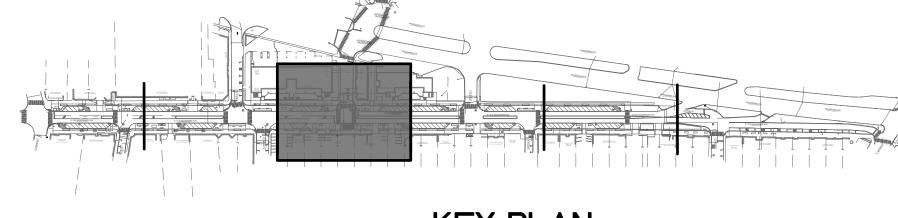
E-4

M270

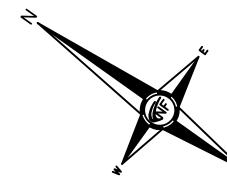
KEY PLAN NO TO SCALE

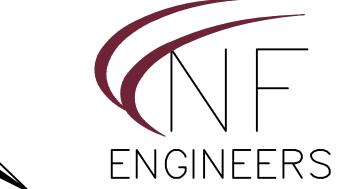
> 10' 20' WHEN USING THIS DRAWING - PLOT OR PRINT FULL SIZE TO ENSURE CORRECT SCALE. NOTE REDUCED SIZE DRAWINGS ARE NOT TO SCALE

PARTIAL ELECTRICAL PLAN SCALE" 1" - 20'-0"



CAUTION - ALL TRADES USE EXTREME CAUTION IN AREA OF EXISTING UTILITIES -HAND DIG - USE ELECTRONIC DETECTION PRIOR TO DIGGING





civil Engineers Land Surveyors Land Planners

NOWAK & FRAUS ENGINEERS 46777 Woodward Ave. Pontiac, MI 48342-5032 Tel. (248) 332-7931 Fax. (248) 332-8257



PROJECT

Old Woodward Ave. Reconstruction Project Contract #1-22(P)



Engineering Department 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION Part of the SW/NE 1/4 Section 25/36, Town 2 North, Range 10 East, City of Birmingham, Oakland County, Michigan

Partial Electrical Plan

Know what's **below Call** before you dig.

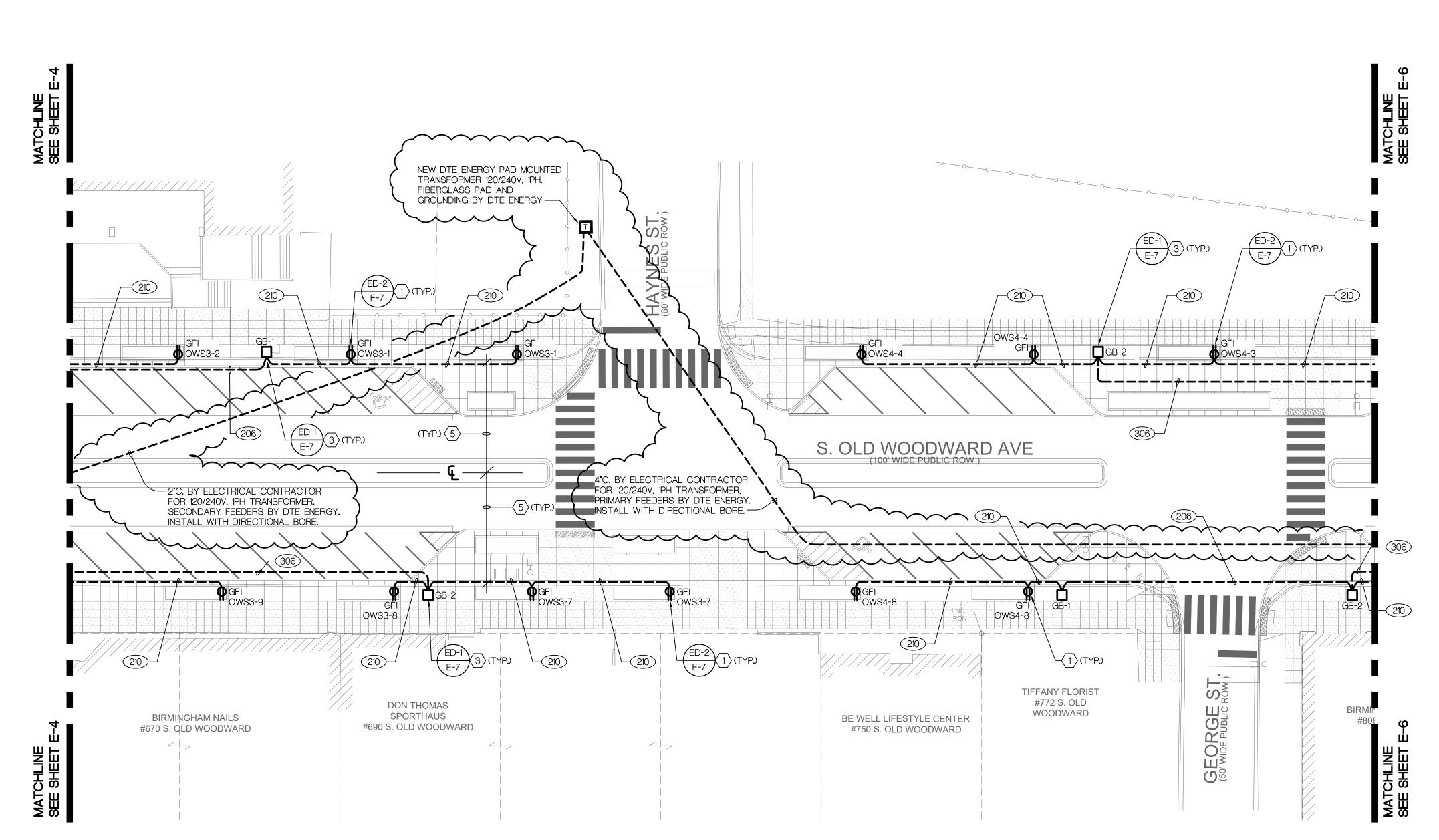
REVISIONS 01-07-22 50% City Review 02-14-22 03-14-22 Addendum No. 2

DRAWN BY:

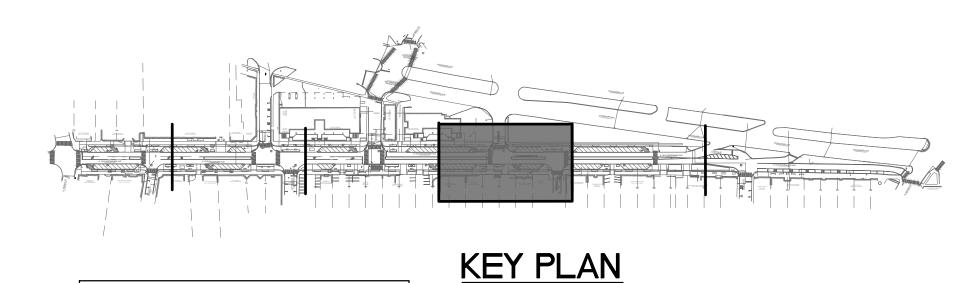
VK/MV DESIGNED BY: J. Berbiglia

NFE JOB NO. M270

APPROVED BY: J. Berbiglia DATE: June 11, 2021 SCALE: 1'' = 20'sheet no. E-5



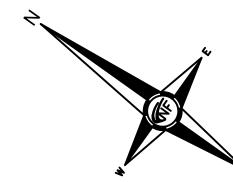
PARTIAL ELECTRICAL PLAN

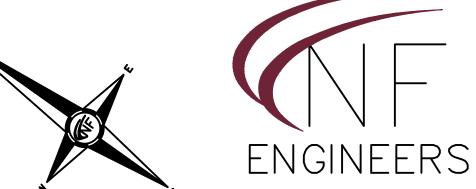


NO TO SCALE

CAUTION - ALL TRADES USE EXTREME CAUTION IN AREA OF EXISTING UTILITIES -HAND DIG - USE ELECTRONIC DETECTION PRIOR TO DIGGING

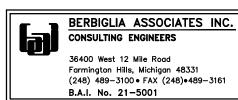
10' 20' WHEN USING THIS DRAWING - PLOT OR PRINT FULL SIZE TO ENSURE CORRECT SCALE. NOTE REDUCED SIZE DRAWINGS ARE NOT TO SCALE





civil Engineers Land Surveyors Land Planners

NOWAK & FRAUS ENGINEERS 46777 Woodward Ave. Pontiac, MI 48342-5032 Tel. (248) 332-7931 Fax. (248) 332-8257



PROJECT

Old Woodward Ave. Reconstruction Project Contract #1-22(P)



Engineering Department 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION Part of the SW/NE 1/4 Section 25/36, Town 2 North, Range 10 East, City of Birmingham, Oakland County, Michigan

Partial Electrical Plan

Know what's **below Call** before you dig.

REVISIONS 01-07-22 50% City Review 02-14-22

03-14-22 Addendum No. 2

DRAWN BY:

VK/MV DESIGNED BY: J. Berbiglia

APPROVED BY: J. Berbiglia DATE:

June 11, 2021

SCALE: 1'' = 20'sheet no.

E-6

NFE JOB NO. M270

10' 20' WHEN USING THIS DRAWING - PLOT OR PRINT FULL SIZE TO ENSURE CORRECT SCALE. NOTE REDUCED SIZE DRAWINGS ARE NOT TO SCALE

KEY PLAN

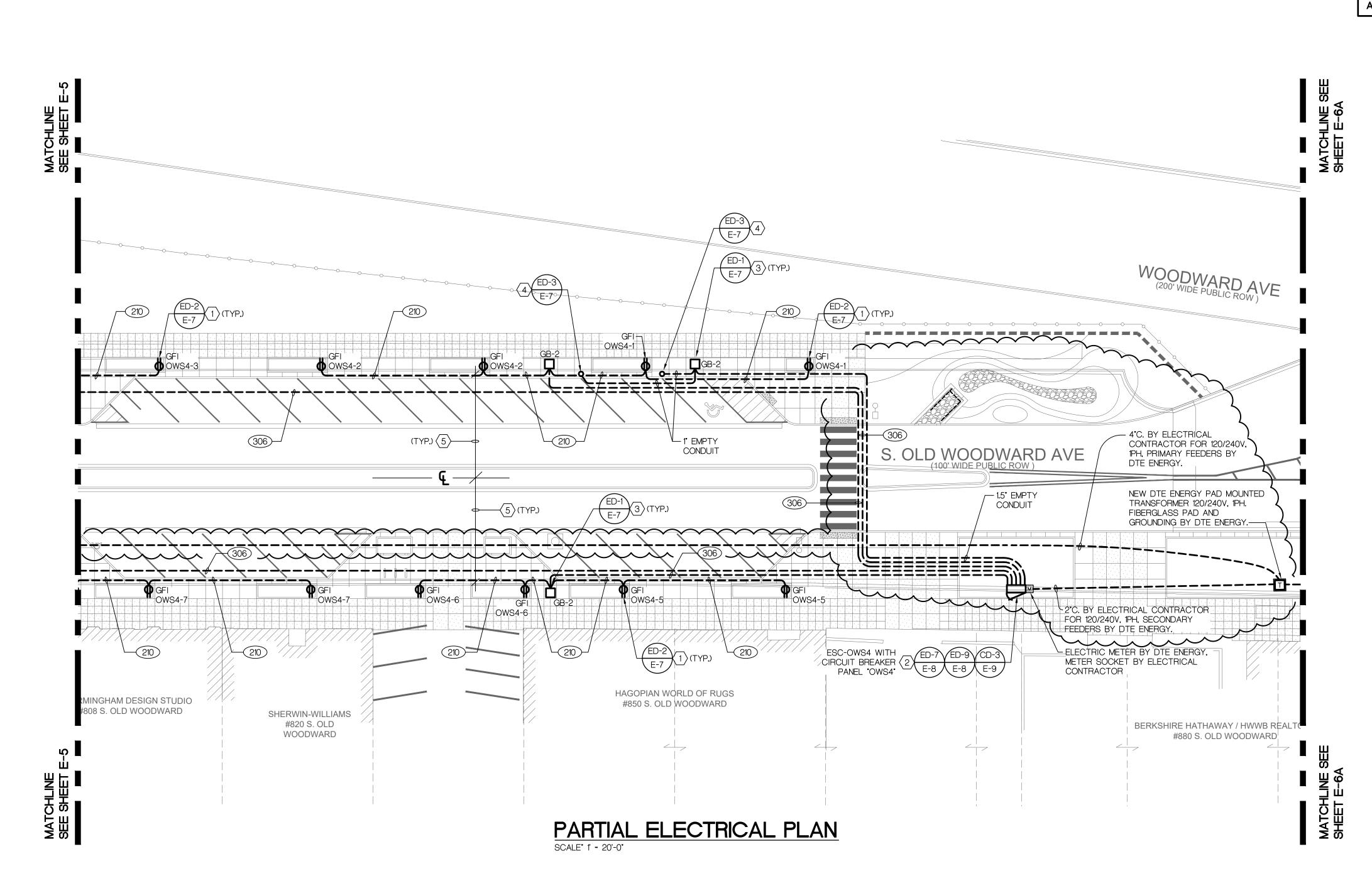
NO TO SCALE

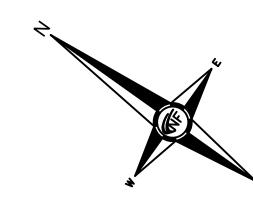
CAUTION - ALL TRADES

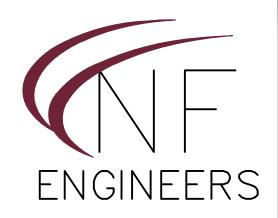
USE EXTREME CAUTION IN

AREA OF EXISTING UTILITIES

HAND DIG - USE ELECTRONIC DETECTION PRIOR TO DIGGING







civil Engineers Land Surveyors Land Planners

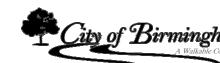
NOWAK & FRAUS ENGINEERS 46777 Woodward Ave. Pontiac, MI 48342-5032 Tel. (248) 332-7931 Fax. (248) 332-8257



BERBIGLIA ASSOCIATES INC. CONSULTING ENGINEERS 36400 West 12 Mile Road Farmington Hills, Michigan 48331 (248) 489-3100 • FAX (248) • 489-3161 B.A.I. No. 21-5001

PROJECT

Old Woodward Ave. Reconstruction Project Contract #1-22(P)



Engineering Department 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION Part of the SW/NE 1/4 Section 25/36, Town 2 North, Range 10 East, City of Birmingham, Oakland County, Michigan

Partial Electrical Plan



REVISIONS 01-07-22 50% City Review 02-14-22 03-14-22 Addendum No. 2

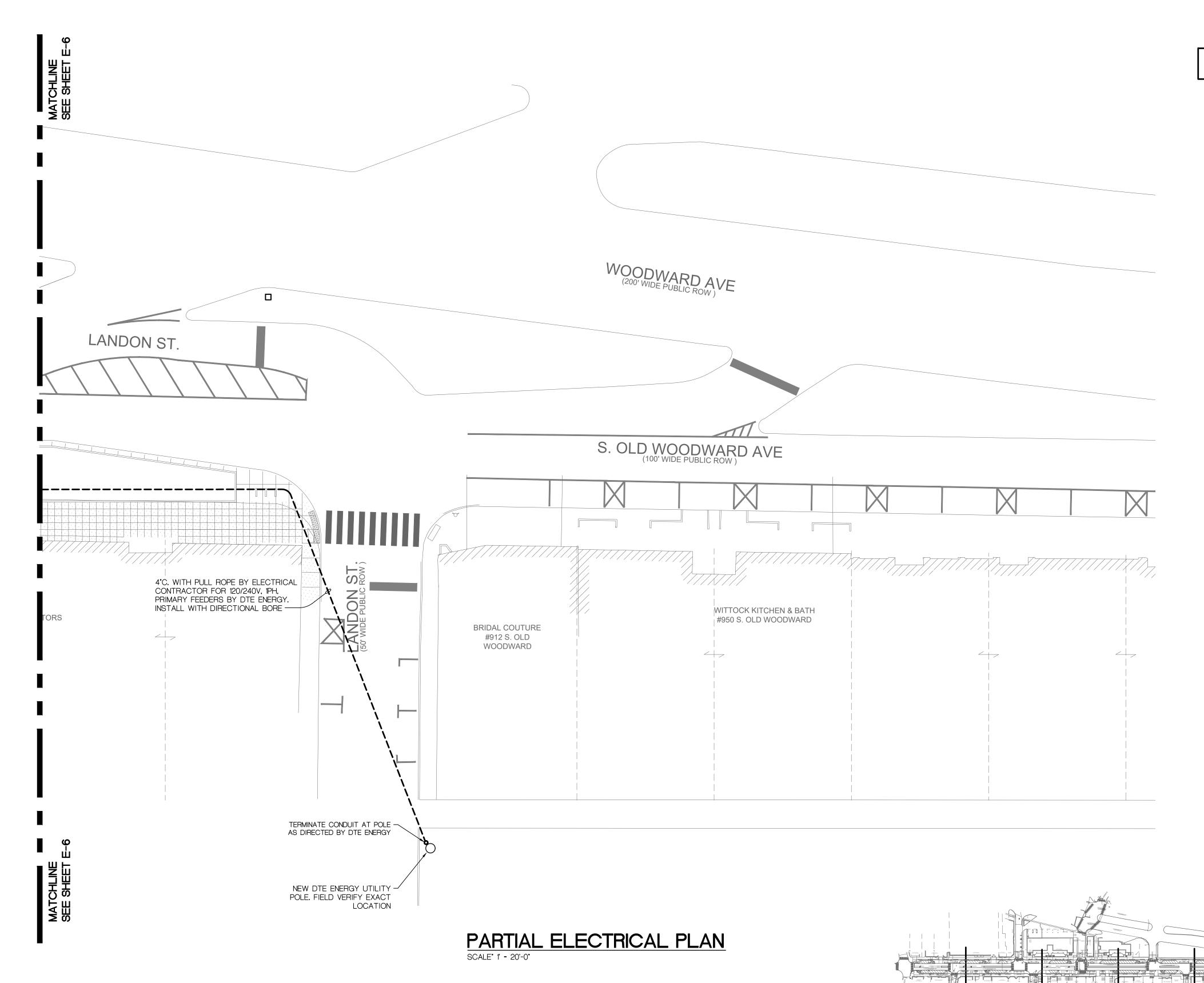
DRAWN BY: VK/MV DESIGNED BY: J. Berbiglia

APPROVED BY: J. Berbiglia

DATE: June 11, 2021

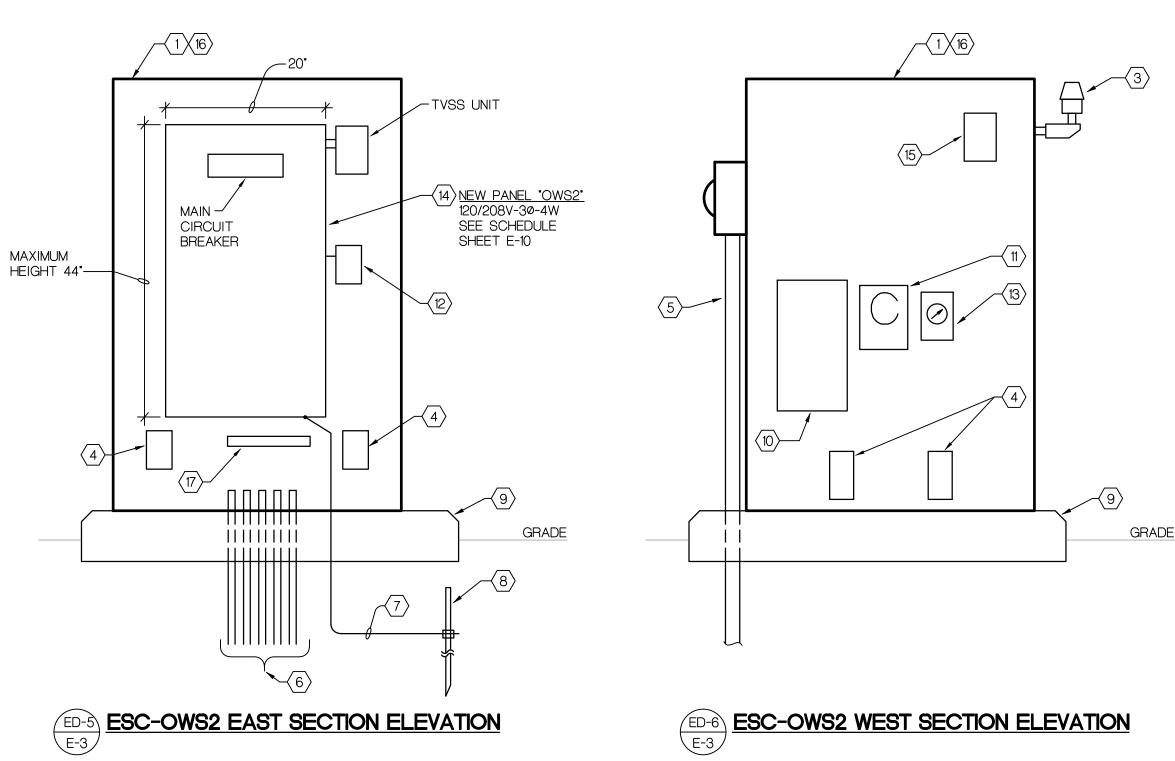
SCALE: 1'' = 20'

E-6A

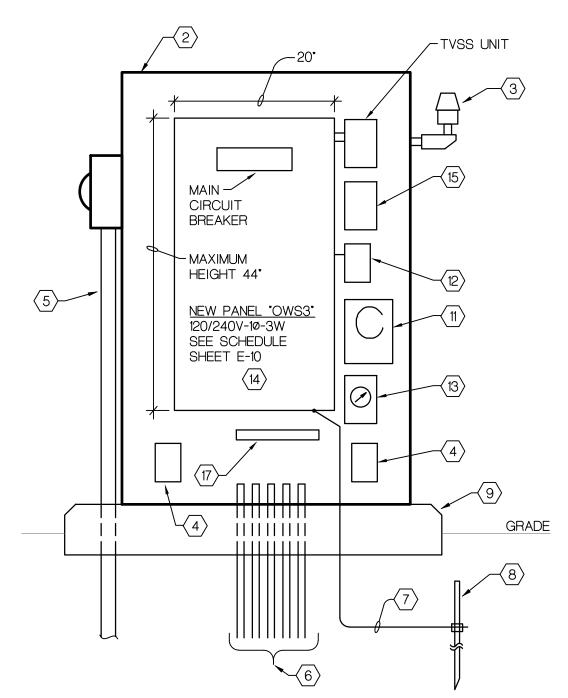


CAUTION - ALL TRADES USE EXTREME CAUTION IN AREA OF EXISTING UTILITIES -HAND DIG - USE ELECTRONIC DETECTION PRIOR TO DIGGING **KEY PLAN** NO TO SCALE

10' 20' WHEN USING THIS DRAWING - PLOT OR PRINT FULL SIZE TO ENSURE CORRECT SCALE. NOTE REDUCED SIZE DRAWINGS ARE NOT TO SCALE

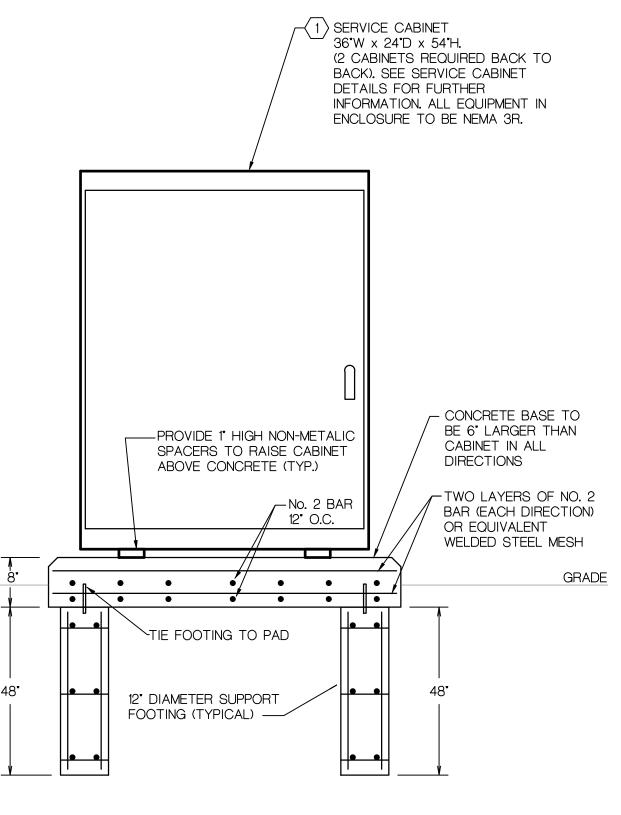


OLD WOODWARD SOUTH NEW ELECTRIC SERVICE CABINET ESC-OWS2



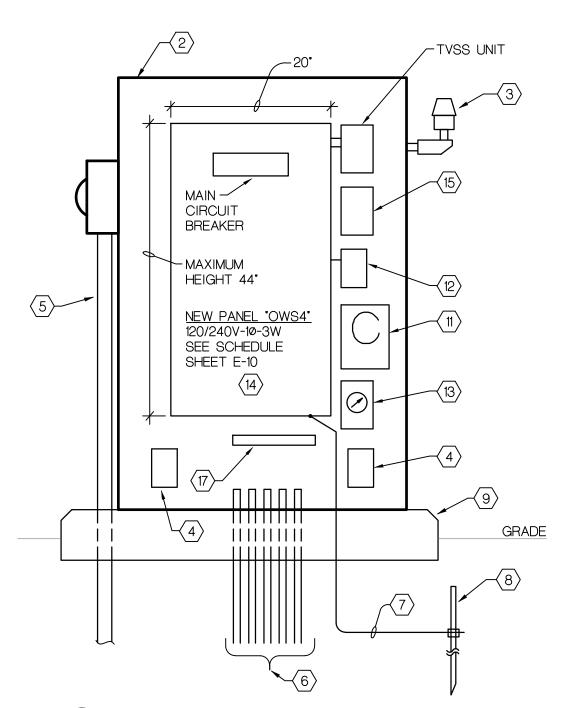
ESC-OWS3 EAST SECTION ELEVATION

OLD WOODWARD SOUTH NEW ELECTRIC SERVICE CABINET ESC-OWS3 NO SCALE



ELECTRIC SERVICE CABINET CONCRETE BASE DETAIL

NO SCALE



ESC-OWS4 EAST SECTION ELEVATION

OLD WOODWARD SOUTH NEW ELECTRIC SERVICE CABINET ESC-OWS4 NO SCALE

RISER DIAGRAM / SERVICE CABINET KEY NOTES

- \langle 1 \rangle SERVICE CABINET. NOMINAL 36" WIDE x 54" HIGH x 18" DEEP. 2 CABINETS REQUIRED MOUNTED BACK TO BACK. FINAL SIZE TO BE BASED ON EQUIPMENT SHOP DRAWINGS FOR EQUIPMENT WITHIN. SUBMIT FOR APPROVAL LAYOUT SHOP DRAWING SHOWING INTERNAL EQUIPMENT AND CABINET DIMENSIONS.
- 2 SERVICE CABINET. NOMINAL 36" WIDE x 54" HIGH x 18" DEEP. FINAL SIZE TO BE BASED ON EQUIPMENT SHOP DRAWINGS FOR EQUIPMENT WITHIN. SUBMIT FOR APPROVAL LAYOUT SHOP DRAWING SHOWING INTERNAL EQUIPMENT AND CABINET DIMENSIONS.
- 3 PHOTO CELL NIPPLED TO TOP SIDE OF SERVICE CABINET ENCLOSURE. ENCLOSE IN SHOCK RESISTANT GLASS GLOBE.
- 4 STRIP HEATER, 300 WATT, 120 VOLT, HEATREX *276-7, LOCATED IN EQUIPMENT ENCLOSURE.
- 5 SERVICE CONDUIT. SEE SITE PLAN AND POWER RISER DIAGRAM.
- 6 WIRING SERVING RECEPTACLES. SEE RECEPTACLE WIRING DIAGRAM AND SITE PLAN FOR QUANTITY OF WIRES AND FURTHER INFORMATION. INCLUDE (2) 2°C SPARE STUBBED OUT AND CAPPED FOR FUTURE USE.
- $\langle 7 \rangle$ 1 *4/0(G) IN 1°C. (PVC) SERVICE GROUND.
- (8) GROUND ROD, 5/8' COPPER X 10'-0' LONG.
- 9 FOR CONCRETE BASE REQUIREMENTS, SEE SERVICE CABINET CONCRETE BASE DETAIL AND FIXTURE WIRING DIAGRAMS.
- (10) IRRIGATION CONTROL PANEL FURNISHED AND INSTALLED BY IRRIGATION CONTRACTOR, 10"H x 9"W x 5"D. PROVIDE HARD WIRED 120 VOLT ELECTRIC CONNECTION. CIRCUIT #13. VERIFY DIMENSIONS WITH SHOP DRAWINGS.
- (11) CONTACTOR. 120 VOLT COIL, ELECTRICALLY HELD. PROVIDE NEMA 3R ENCLOSURE, SEE WIRING DIAGRAM.
- (12) GFI TYPE DUPLEX RECEPTACLE WITHIN CABINET. NIPPLE TO PANEL. PROVIDE WEATHERPROOF COVERPLATE AND CAST
- (13) "H-O-A" SELECTOR SWITCH. PROVIDE NEMA 3R CAST BOX. LABEL TO INDICATE LOAD CONTROLLED.
- PROVIDE PANEL DIRECTORY INDICATING ALL USED AND SPARE BREAKERS.
- (15) THERMOSTAT. WIRE TO CONTROL HEATERS.
- (16) PROVIDE CONDUIT CONNECTIONS BETWEEN WEST AND EAST SECTIONS AS REQUIRED FOR WIRING CONNECTIONS.
- TERMINAL STRIP (TO TRANSITION FROM WIRING SERVING SITE RECEPTACLES TO #12 TO ENABLE CONNECTION TO CIRCUIT BREAKERS).

DETECTION PRIOR TO DIGGING



civil Engineers Land Surveyors Land Planners

NOWAK & FRAUS ENGINEERS 46777 Woodward Ave. Pontiac, MI 48342-5032 Tel. (248) 332-7931 Fax. (248) 332-8257



36400 West 12 Mile Road Farmington Hills, Michigan 48331 (248) 489-3100 • FAX (248) • 489-3161

PROJECT

Old Woodward Ave. Reconstruction Project Contract #1-22(P)

B.A.I. No. 21-5001



Engineering Department 151 Martin Street Birmingham, MI 48012

PROJECT LOCATION Part of the SW/NE 1/4 Section 25/36, Town 2 North, Range 10 East, City of Birmingham, Oakland County, Michigan

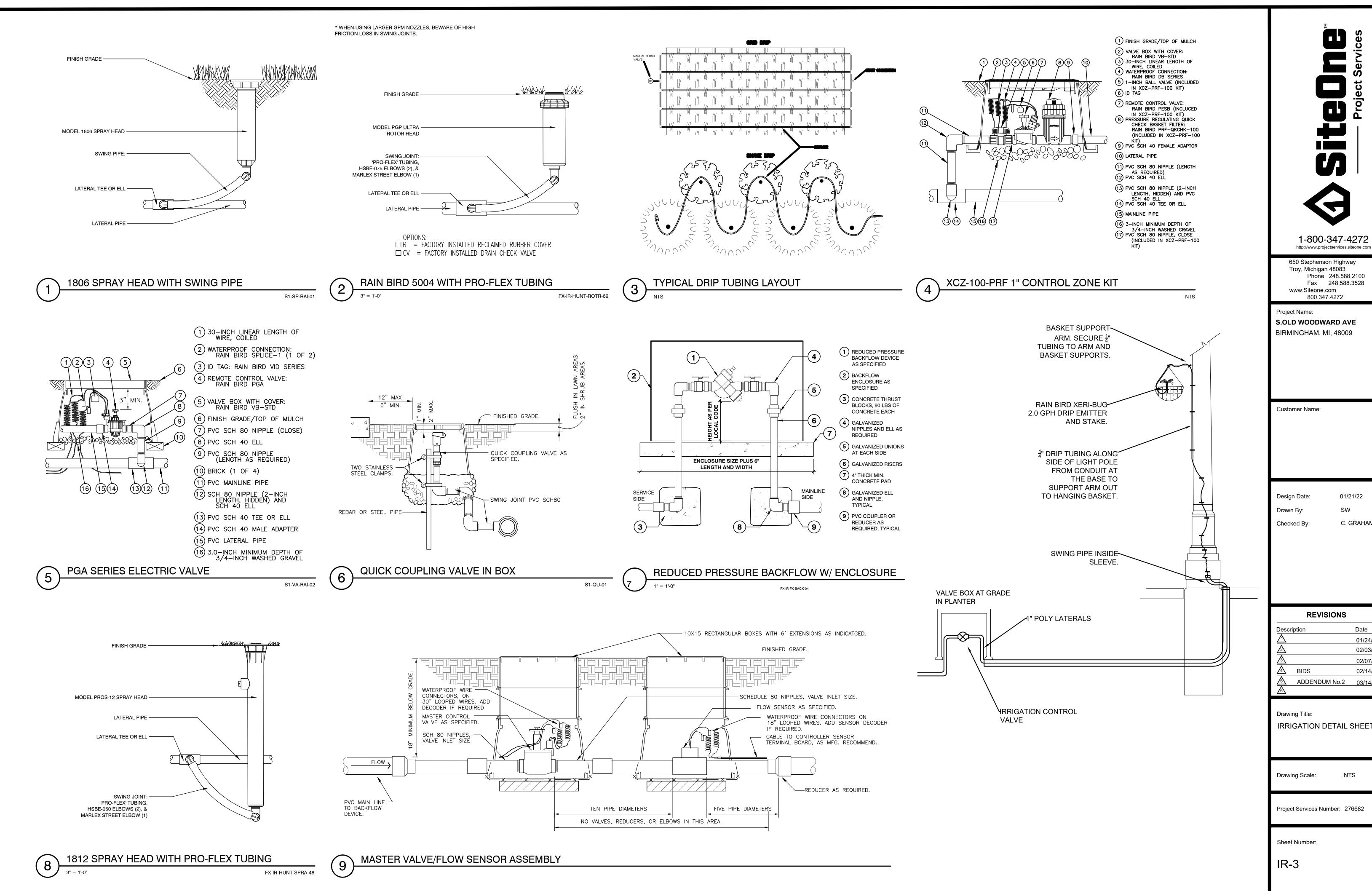
DETAILS AND DIAGRAMS



| | REVISIONS | |
|----------------------------------|-------------|-----------------|
| | 01-07-22 | 50% City Review |
| | 02-14-22 | Bids |
| | 02 11 22 | Dido |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | DRAWN BY: | |
| | VK / MV | |
| | | |
| | DESIGNED B | |
| | J. Berbigli | a |
| | APPROVED | BY: |
| | J. Berbigli | a |
| | DATE: | |
| | June 11, 2 | 021 |
| CAUTION - ALL TRADES | | |
| USE EXTREME CAUTION IN | SCALE: 1": | = 20' |
| AREA OF EXISTING UTILITIES - | 20 10 | 0 10 20 3 |
| | | |
| <u>HAND DIG - USE ELECTRONIC</u> | NEE IOR NO |) shoot no |

sheet no.

E-8



Ser oje

1-800-347-4272

650 Stephenson Highway Troy, Michigan 48083 Phone 248.588.2100 Fax 248.588.3528 www.Siteone.com 800.347.4272

Project Name: S.OLD WOODWARD AVE BIRMINGHAM, MI, 48009

01/21/22

SW

C. GRAHAM

REVISIONS Date 01/24/22 02/03/22 02/07/22 02/14/22 ADDENDUM No.2 03/14/22

Drawing Title: IRRIGATION DETAIL SHEET

NTS

Project Services Number: 276682

PLANTING NOTES

- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN THE FIELD. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING PLANTING.
- 3. ALL PLANTS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO THEIR INSTALLATION AT THE SITE.
- 4. CONTRACTOR SHALL STAKE ALL TREE LOCATIONS AND LAYOUT SHRUBS PLANTINGS IN THE FIELD. OBTAIN APPROVAL OF LANDSCAPE ARCHITECT BEFORE STARTING PLANTING INSTALLATION.
- 5. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.
- 6. CONTRACTOR SHALL LEAVE THE SITE CLEAN AND ORDERLY DURING THE CONSTRUCTION PROCESS. REMOVE FROM SITE ALL EXCESS MATERIALS, SOIL, DEBRIS AND EQUIPMENT. STORE MATERIALS IN AN APPROVED LOCATION.
- 7. SHOVEL-CUT EDGING: SEPARATE MULCHED AREAS FROM TURF AREAS WITH A 45-DEGREE, 4- TO 6-INCH-DEEP, SHOVEL-CUT EDGE, PROVIDE CONTINUOUS SMOOTH EDGE.

OVERALL PLANT LIST - L0.0

10 9 8 7 1 6 5

6 5 4 3

| SYMBOL | QTY | BOTANICAL NAME | COMMON NAME | SIZE | ROOT | REMARK |
|--|--|---|---|---|----------|---|
| DECIDUO | OUS TRI | EES | <u></u> | | | |
| GI BI | 21 | GINKGO BILOBA 'AUTUMN GOLD' | AUTUMN GOLD GINKGO | 3-3.5" Cal. | B&B | MALE CLONE |
| LI ST | 21 | LIQUIDAMBAR STYRADIFLUA | FRUITLESS SWEETGRUM | 3-3.5" Cal. | B&B | MATCH FORM |
| PL AC | 17 | PLATANUS X ACERIFOLIA | LONDON PLANE TREE | 3.5-4" Cal. | B&B | MATCH FORM |
| TI CO | 18 | TILIA CORDATA 'GREENSPIRE' | LITTLE LEAF LINDEN | 3.5-4" Cal. | B&B | MATCH FORM |
| ORNAME | ENTAL T | REES | | | | |
| AM GR | 29 | AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' | AUTUMN BRILLIANCE SERVICEBERRY | 6' HT. | B&B | MULTI-STEM |
| CR LA | 17 | CRATAEGUS LAEVIGATA 'CRIMSON CLOUD' | CRIMSON CLOUD ENGLISH HAWTHORN | 2" Cal. | B&B | SINGLE TRUNK TREE FOR |
| HY PA | 7 | HYDRANGEA PANICULATA ' TARDIVA' | TARDIVA HYDRANGEA | #7 CONT. | B&B | SINGLE TRUNK TREE FOR |
| PERENN | | | | | | |
| AS NO | 244 | ASTER NOVAE-ANGLIAE | NEW ENGLAND ASTER | #1 CONT. | | |
| CO VE | 250 | COREOPSIS VERTICILLATA 'MOONBEAM' | MOONBEAM COREOPSIS | #1 CONT. | | |
| GE RO | 32 | GERANIUM X 'ROZANNE' | ROZANNE GERANIUM | #1 CONT. | | |
| НЕ НА | 288 | HEMEROCALLIS X 'HAPPY RETURNS' | HAPPY RETURNS DAYLILY | #1 CONT. | | |
| IR VE | 252 | IRIS VERSICOLOR | BLUE FLAG IRIS | #2 CONT. | | |
| LE SU | 450 | LEUCANTHEMUM X SUPERBUM ' SNOW LADY' | SNOW LADY SHASTA DAISY | #1 CONT. | | |
| LI MU | 757 | LIRIOPE MUSCARI 'VARIEGATA' | VARIEGATED LILYTURF | #1 CONT. | | |
| PH VI | 88 | PHYSOSTEGIA VIRGINIANA | OBEDIENT PLANT | #2 CONT. | | |
| RU FU | 48 | RUDBECKIA FULGIDA 'LITTLE GOLDSTAR' | LITTLE GOLDSTAR BLACK EYED SUSAN | #1 CONT. | | |
| SA SY | 32 | SALVIA X SYLVESTRIS 'MAY NIGHT' | MAY NIGHT SALVIA | #1 CONT. | | |
| GRASSE | | WITH THE TOTAL OF | THE THE THE TENT | # 1 55M | | |
| CA AC | 241 | CALAMAGROSTIŞ X ACUTIFLORA 'KARL FOERSTER' | FEATHER REED GRASS | #3 <u>C</u> ONT. | | |
| CA VU | 348 | CAREX VULPINOIDEA | FOX SEDGE | #1 CONT. | <u> </u> | EVENLY DISTRIBUTED |
| FE OV | 144 | FESTUCA OVINA 'ELIJAH BLUE' | DWARF BLUE FESCUE | #1 CONT. | | EVENET BIOTHIBOTES |
| | | | | | | EVENILY DIOTOIDUTED |
| JU TE | 168 | JUNCUS TENUIS | PATH RUSH | #1 CONT. | | EVENLY DISTRIBUTED |
| PEAL | 707 | PENNISETUM ALOPECURORES 'LUTTLE BUNNM' | LITTLE BUNNY FOUNTAIN CRASS | #2 CONT. | | |
| SE AU | 539 | SESLERIA AUTUMNALIS | AUTUMN MOOR GRASS | #1 CONT. | | |
| SHRUBS | | | | <u> </u> | | |
| CO ST | 145 | CORNUS STOLONIFERA 'FARROW' | ARCTIC FIRE RED TWIG DOGWOOD | #5 CONT. | | |
| | | | | | | |
| HY PA | 84 | HYDRANGEA PANICULATA 'LITTLE QUICKFIRE' | LITTLE QUICKFIRE HYDRANGEA | #5 CONT. | | |
| HY PA | 48 | HYDRANGEA PANICULATA 'LITTLE QUICKFIRE' ILEX GLABRA 'SHAMROCK' | SHAMROCK INKBERRY HOLLY | #5 CONT. | | GLABRA 'CHAMZIN' PER |
| | | ILEX GLABRA 'SHAMROCK' | | | | ` ' |
| IL GL | 48 | · | SHAMROCK INKBERRY HOLLY | #3 CONT. | | GLABRA 'CHAMZIN' PER |
| IL GL | 48 | ILEX GLABRA 'SHAMROCK' JUNIPERUS HONZONTALIS 'LIMEGLOW' | SHAMROCK INKBERRY HOLLY | #3 CONT. | | GLABRA 'CHAMZIN' PER (|
| JU HO | 48 140 102 | ILEX GLABRA 'SHAMROCK' JUNIPERUS HONZONTALIS 'LIMEGLOW' JUNIPERUS VIRGINIANA 'GREY OWL' | SHAMROCK INKBERRY HOLLY LIMEGLOW JUNIPER GREY OWL JUNIPER | #3 CONT. #3 CONT. | | GLABRA 'CHAMZIN' PER |
| JU HO JU VI | 48 140 102 148 | ILEX GLABRA 'SHAMROCK' JUNIPERUS HONZONTALIS 'LIMEGLOW' JUNIPERUS VIRGINIANA 'GREY OWL' PINUS MUCO HONEYCOMB | SHAMROCK INKBERRY HOLLY LIMEGLOW JUNIPER GREY OWL JUNIPER HONEYCOMB MUSO RINE | #3 CONT. #3 CONT. #3 CONT. | | GLABRA 'CHAMZIN' PER |
| JU HO JU VI PLMU SP JA | 48 140 102 148 | ILEX GLABRA 'SHAMROCK' JUNIPERUS HONZONTALIS 'LIMEGLOW' JUNIPERUS VIRGINIANA 'GREY OWL' PINUS MUCO HONEYCOMB | SHAMROCK INKBERRY HOLLY LIMEGLOW JUNIPER GREY OWL JUNIPER HONEYCOMB MUSO RINE | #3 CONT. #3 CONT. #3 CONT. | | GLABRA 'CHAMZIN' PER |
| JU HO JU VI PLMI SP JA BULBS NA | 48 140 102 148 36 282 | ILEX GLABRA 'SHAMROCK' JUNIPERUS HONZONTALIS 'LIMEGLOW' JUNIPERUS VIRGINIANA 'GREY OWL' PINUS MUCO HONEYCOMB SPIREA JAPONICA 'DOUBLE PLAY CANDY CORN' NARCISSUS 'ICE FOLLIES' | SHAMROCK INKBERRY HOLLY LIMEGLOW JUNIPER GREY OWL JUNIPER HONEYCOMB MILGORINE DOUBLE PLAY CANDY CORN SPIREA ICE FOLLIES DAFFODIL | #3 CONT. #3 CONT. #3 CONT. #3 CONT. #3 CONT. | | GLABRA 'CHAMZIN' PER ('SHAMROCK' |
| IL GL JU HO JU VI PLMU SP JA BULBS NA NA | 48 140 102 148 36 282 282 | ILEX GLABRA 'SHAMROCK' JUNIPERUS HOFIZONTALIS 'LIMEGLOW' JUNIPERUS VIRGINIANA 'GREY OWL' PINUS MUSO HONEYCOMB SPIREA JAPONICA 'DOUBLE PLAY CANDY CORN' NARCISSUS 'ICE FOLLIES' NARCISSUS 'KING ALFRED' | SHAMROCK INKBERRY HOLLY LIMEGLOW JUNIPER GREY OWL JUNIPER HONEYCOMB MILEO RINE DOUBLE PLAY CANDY CORN SPIREA ICE FOLLIES DAFFODIL KING ALFRED DAFFODIL | #3 CONT. #3 CONT. #5 CONT. #3 CONT. #3 CONT. BULBS | | GLABRA 'CHAMZIN' PER ('SHAMROCK' |
| JU HO JU VI PLMI SP JA BULBS NA | 48 140 102 148 36 282 | ILEX GLABRA 'SHAMROCK' JUNIPERUS HONZONTALIS 'LIMEGLOW' JUNIPERUS VIRGINIANA 'GREY OWL' PINUS MUCO HONEYCOMB SPIREA JAPONICA 'DOUBLE PLAY CANDY CORN' NARCISSUS 'ICE FOLLIES' | SHAMROCK INKBERRY HOLLY LIMEGLOW JUNIPER GREY OWL JUNIPER HONEYCOMB MILGORINE DOUBLE PLAY CANDY CORN SPIREA ICE FOLLIES DAFFODIL | #3 CONT. #3 CONT. #3 CONT. #3 CONT. #3 CONT. | | GLABRA 'CHAMZIN' PER I'SHAMROCK' |
| IL GL JU HO JU VI PLMU SP JA BULBS NA NA | 48 140 102 148 36 282 282 282 | ILEX GLABRA 'SHAMROCK' JUNIPERUS HOFIZONTALIS 'LIMEGLOW' JUNIPERUS VIRGINIANA 'GREY OWL' PINUS MUSO HONEYCOMB SPIREA JAPONICA 'DOUBLE PLAY CANDY CORN' NARCISSUS 'ICE FOLLIES' NARCISSUS 'KING ALFRED' | SHAMROCK INKBERRY HOLLY LIMEGLOW JUNIPER GREY OWL JUNIPER HONEYCOMB MILGORINE DOUBLE PLAY CANDY CORN SPIREA ICE FOLLIES DAFFODIL KING ALFRED DAFFODIL RED DEVON DAFFODIL | #3 CONT. #3 CONT. #5 CONT. #3 CONT. #3 CONT. BULBS | | PROVIDE MINIMUM (1) ILI GLABRA 'CHAMZIN' PER ('SHAMROCK' EVENLY DISTRIBUTED |

MKSK

4219 WOODWARD AVE, SUITE 305 DETROIT, MICHIGAN 48201 313 652.1101 MKSKSTUDIOS.COM

client / owner

City of Birmingham

project name

Birmingham, MI

SOUTH OLD WOODWARD PH. 3

consultant 1

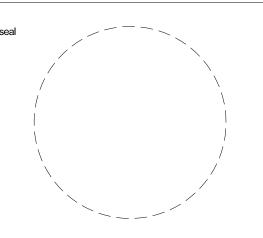
Nowak & Frauss Engineers 46777 Woodward Ave. Pontiac, MI 48342 p 248.332.7931

BIDSNot For Construction

revision date issued

4 03.14.2022 Addendum 2
3 02.14.2022 Bids
2 02.07.2022 90% City Review

1 01.07.2022 50% City Review 50% City Review



issue date 01.07.2022

project number d21105

sheet name

PLANT SCHEDULE
AND NOTES

L0.0

S. OLD WOODWARD AVE (100' WIDE PUBLIC ROW) S. OLD WOODWARD AVE , u » (IIII) , u DAINES ST. (40' WIDE PUBLIC ROW.) S. OLD WOODWARD AVE

4219 WOODWARD AVE, SUITE 305 DETROIT, MICHIGAN 48201 313 652.1101 MKSKSTUDIOS.COM

City of Birmingham project name SOUTH OLD WOODWARD PH. 3 project address Birmingham, MI

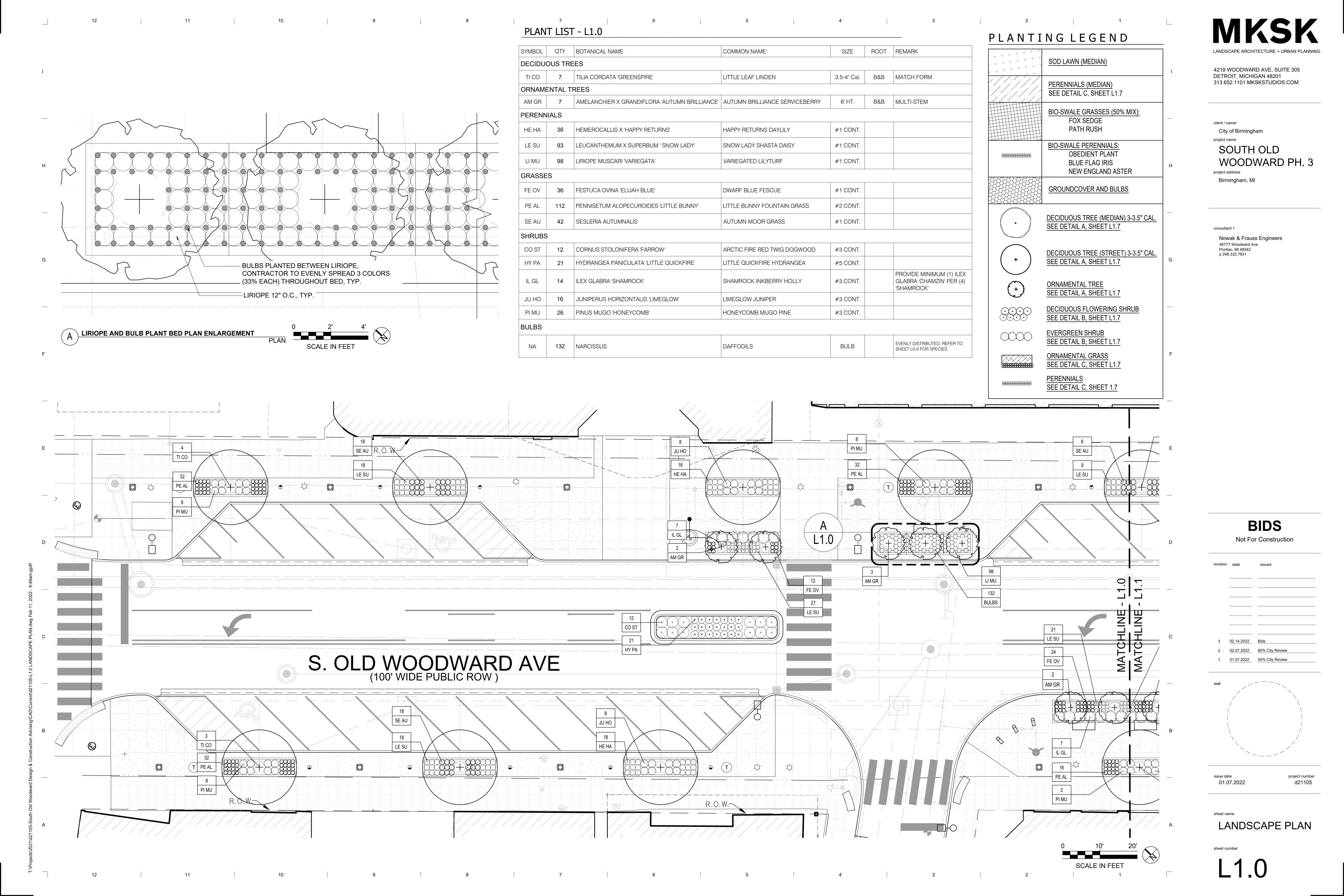
Nowak & Frauss Engineers 46777 Woodward Ave. Pontiac, MI 48342 p 248.332.7931

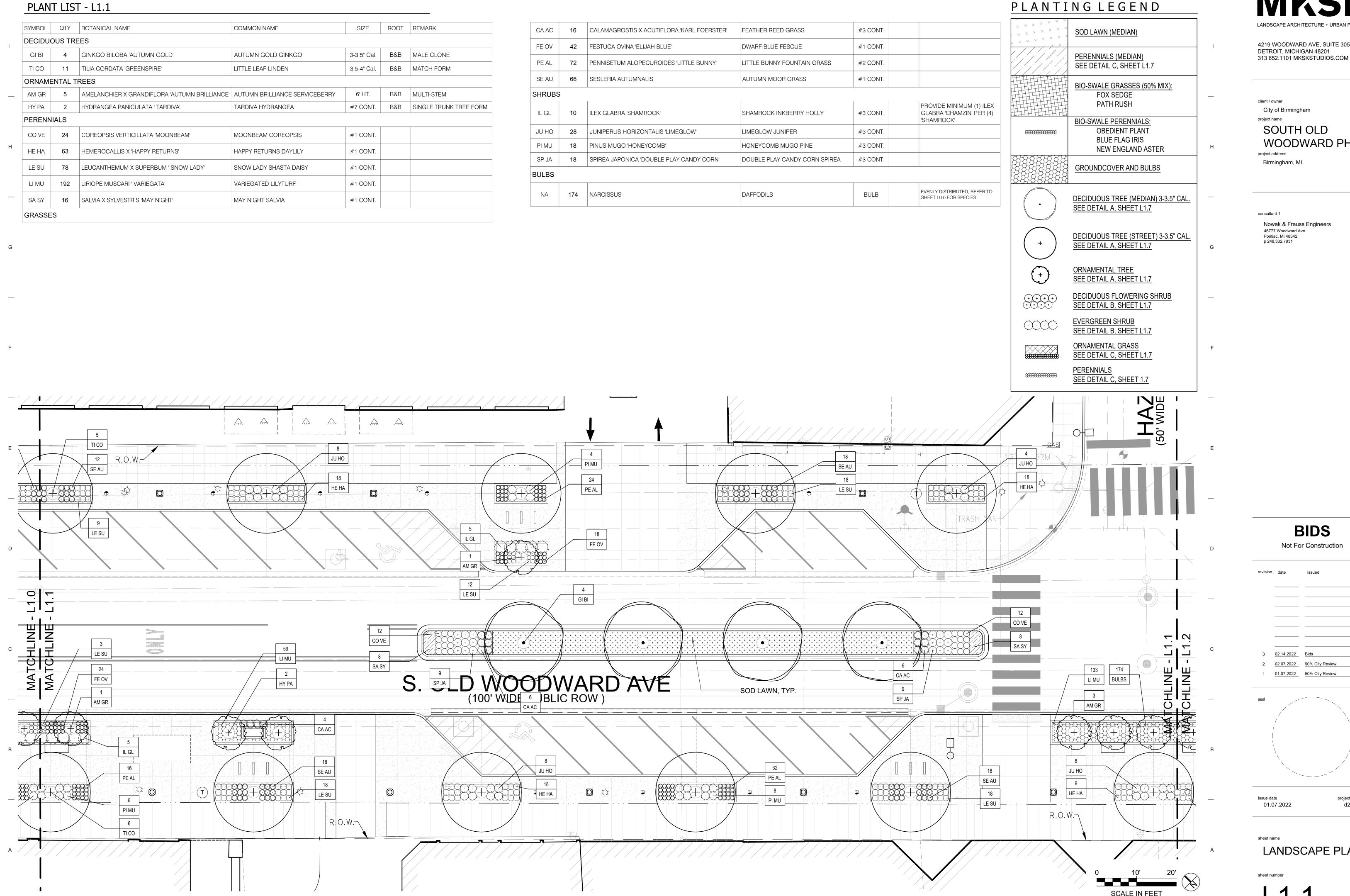
> **BIDS** Not For Construction

1 <u>01.07.2022</u> <u>50% City Review</u>

issue date 01.07.2022

OVERALL LANDSCAPE PLAN





11 10 9 8 7 6 5 4 3 2 1

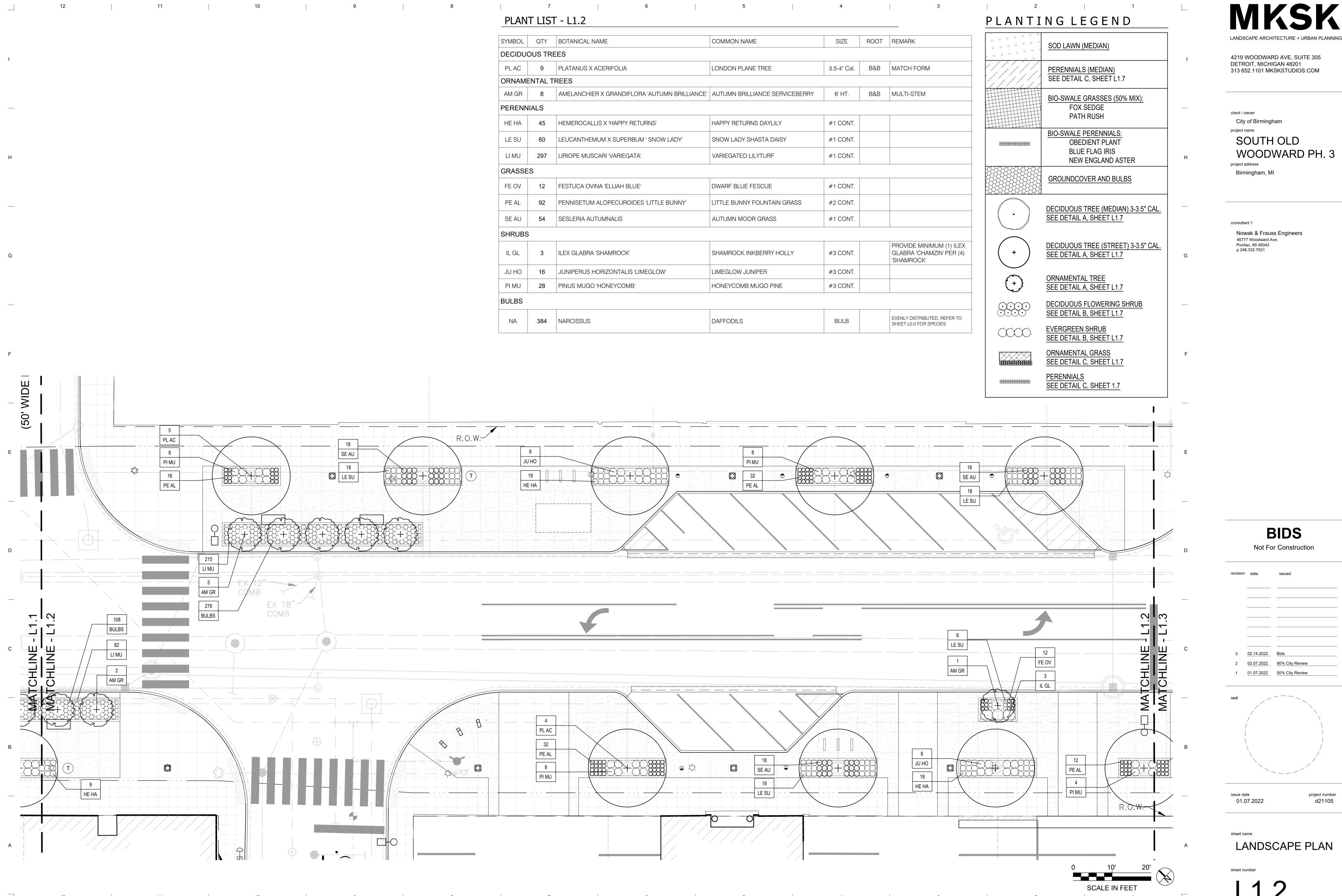
12

4219 WOODWARD AVE, SUITE 305 DETROIT, MICHIGAN 48201

SOUTH OLD WOODWARD PH. 3

Nowak & Frauss Engineers

BIDS



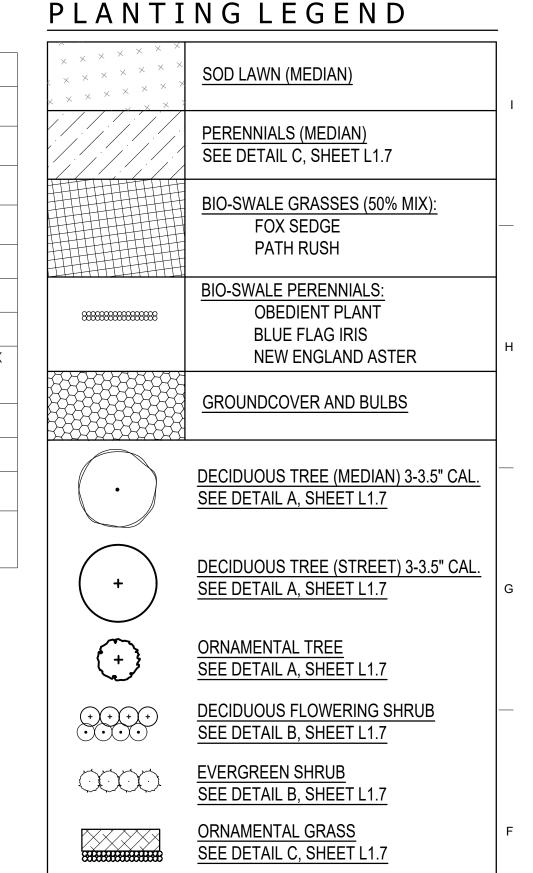
PLANT LIST - L1.3

| SYMBOL | QTY | BOTANICAL NAME | COMMON NAME | SIZE | ROOT | REMARK | | |
|---------|---------|---|---|-------------|------|---------------------------|--|--|
| DECIDUC | DUS TRI | EES | | | | | | |
| GI BI | 5 | GINKGO BILOBA 'AUTUMN GOLD' | AUTUMN GOLD GINKGO 3-3.5" Cal. B&B MALE CLO | | | | | |
| PL AC | 8 | PLATANUS X ACERIFOLIA | LONDON PLANE TREE | 3.5-4" Cal. | B&B | MATCH FORM | | |
| ORNAME | NTAL T | REES | | | | | | |
| AM GR | 9 | AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' | AUTUMN BRILLIANCE SERVICEBERRY | 6' HT. | B&B | MULTI-STEM | | |
| CR LA | 3 | CRATAEGUS LAEVIGATA 'CRIMSON CLOUD' | CRIMSON CLOUD ENGLISH HAWTHORN | 2" Cal. | B&B | SINGLE TRUNK TREE FORM | | |
| HY PA | 2 | HYDRANGEA PANICULATA ' TARDIVA' | TARDIVA HYDRANGEA | #7 CONT. | B&B | &B SINGLE TRUNK TREE FORM | | |
| PERENN | IALS | | | | | | | |
| GE RO | 8 | GERANIUM X 'ROZANNE' | ROZANNE GERANIUM | #1 CONT. | | | | |
| НЕ НА | 54 | HEMEROCALLIS X 'HAPPY RETURNS' | HAPPY RETURNS DAYLILY | #1 CONT. | | | | |
| LE SU | 111 | LEUCANTHEMUM X SUPERBUM ' SNOW LADY' | SNOW LADY SHASTA DAISY | #1 CONT. | | | | |
| LI MU | 170 | LIRIOPE MUSCARI ' VARIEGATA' | VARIEGATED LILYTURF | #1 CONT. | | | | |
| RU FU | 12 | RUDBECKIA FULGIDA 'LITTLE GOLDSTAR' | LITTLE GOLDSTAR BLACK EYED SUSAN | #1 CONT. | | | | |
| | | | | | | 1 | | |

| GRASSE | ES | | | | |
|--------|-----|--|------------------------------|----------|--|
| CA AC | 4 | CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' | FEATHER REED GRASS | #3 CONT. | |
| FE OV | 54 | FESTUCA OVINA 'ELIJAH BLUE' | DWARF BLUE FESCUE | #1 CONT. | |
| PE AL | 76 | PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' | LITTLE BUNNY FOUNTAIN GRASS | #2 CONT. | |
| SE AU | 54 | SESLERIA AUTUMNALIS | AUTUMN MOOR GRASS | #1 CONT. | |
| SHRUBS | 6 | • | | | |
| CO ST | 16 | CORNUS STOLONIFERA 'FARROW' | ARCTIC FIRE RED TWIG DOGWOOD | #3 CONT. | |
| HY PA | 27 | HYDRANGEA PANICULATA 'LITTLE QUICKFIRE' | LITTLE QUICKFIRE HYDRANGEA | #5 CONT. | |
| IL GL | 21 | ILEX GLABRA 'SHAMROCK' | SHAMROCK INKBERRY HOLLY | #3 CONT. | PROVIDE MINIMUM (1) ILEX GLABRA 'CHAMZIN' PER (4) 'SHAMROCK' |
| JU HO | 24 | JUNIPERUS HORIZONTALIS 'LIMEGLOW' | LIMEGLOW JUNIPER | #3 CONT. | |
| PI MU | 16 | PINUS MUGO 'HONEYCOMB' | HONEYCOMB MUGO PINE | #3 CONT. | |
| BULBS | | | | | |
| NA | 156 | NARCISSUS | DAFFODILS | BULB. | EVENLY DISTRIBUTED, REFER TO SHEET LO.0 FOR SPECIES |

9 8 7 6 5 4 3 2

PLANTING LEGEND



<u>PERENNIALS</u>



4219 WOODWARD AVE, SUITE 305 DETROIT, MICHIGAN 48201

313 652.1101 MKSKSTUDIOS.COM

City of Birmingham

project name SOUTH OLD WOODWARD PH. 3

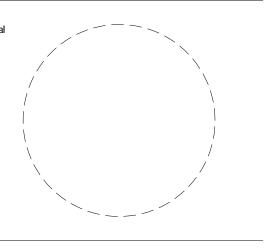
Birmingham, MI

Nowak & Frauss Engineers 46777 Woodward Ave. Pontiac, MI 48342 p 248.332.7931

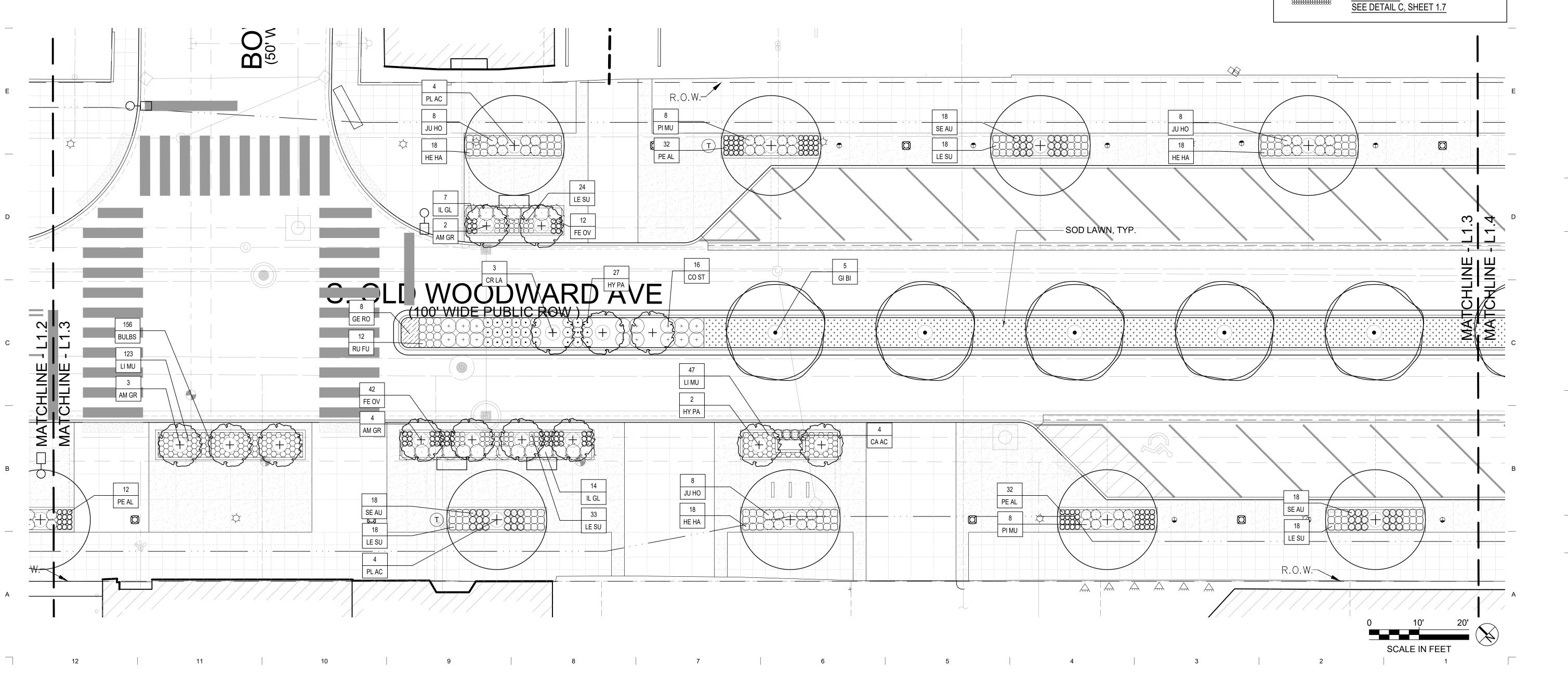


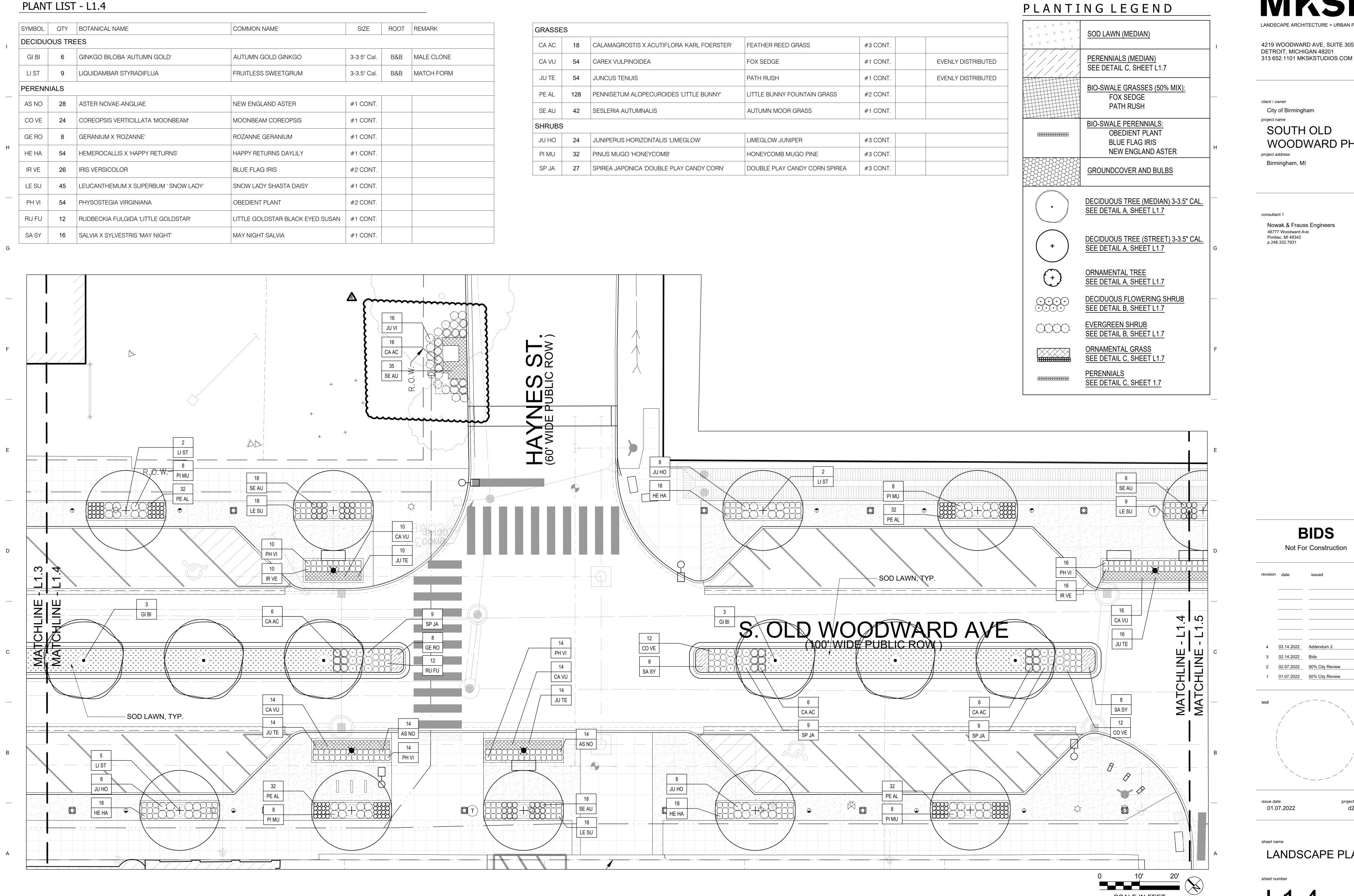
| vision | date | issued |
|--------|------------|--------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| 3 | 02.14.2022 | Bids |
| | | |

2 <u>02.07.2022</u> <u>90% City Review</u>



issue date 01.07.2022





11 10 9 8 7 6 5 4 3 2

12

4219 WOODWARD AVE, SUITE 305 DETROIT, MICHIGAN 48201

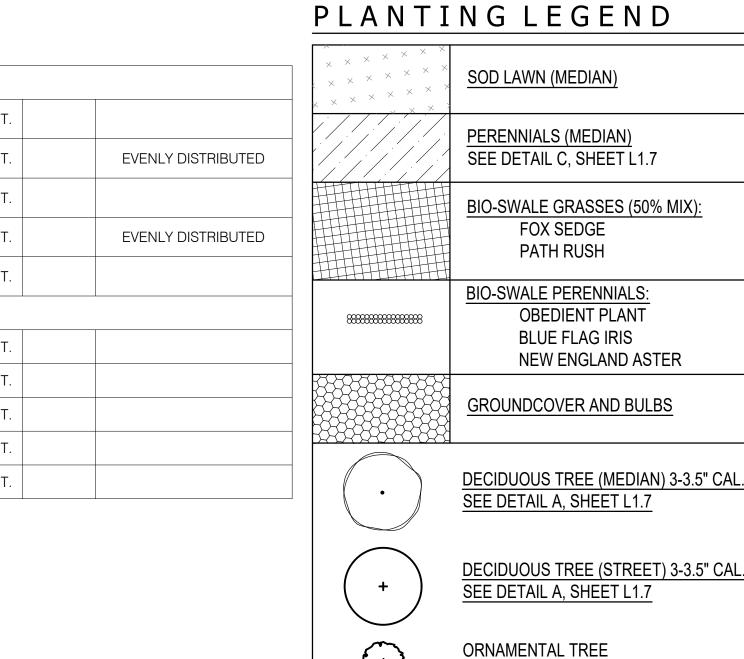
SOUTH OLD WOODWARD PH. 3

BIDS

PLANT LIST - L1.5

| SYMBOL | QTY | BOTANICAL NAME | COMMON NAME | SIZE | ROOT | REMARK |
|---------|--------|--------------------------------------|----------------------------------|-------------|------|------------------------|
| DECIDUC | DUS TR | EES | | | | |
| GI BI | 6 | GINKGO BILOBA 'AUTUMN GOLD' | AUTUMN GOLD GINKGO | 3-3.5" Cal. | B&B | MALE CLONE |
| LI ST | 11 | LIQUIDAMBAR STYRADIFLUA | FRUITLESS SWEETGRUM | 3-3.5" Cal. | B&B | MATCH FORM |
| ORNAME | NTAL T | REES | | 1 | 1 | |
| CR LA | 3 | CRATAEGUS LAEVIGATA 'CRIMSON CLOUD' | CRIMSON CLOUD ENGLISH HAWTHORN | 2" Cal. | B&B | SINGLE TRUNK TREE FORM |
| PERENN | IALS | | | | | |
| AS NO | 34 | ASTER NOVAE-ANGLIAE | NEW ENGLAND ASTER | #1 CONT. | | |
| GE RO | 8 | GERANIUM X 'ROZANNE' | ROZANNE GERANIUM | #1 CONT. | | |
| НЕ НА | 72 | HEMEROCALLIS X 'HAPPY RETURNS' | HAPPY RETURNS DAYLILY | #1 CONT. | | |
| IR VE | 34 | IRIS VERSICOLOR | BLUE FLAG IRIS | #2 CONT. | | |
| LE SU | 63 | LEUCANTHEMUM X SUPERBUM ' SNOW LADY' | SNOW LADY SHASTA DAISY | #1 CONT. | | |
| PH VI | 34 | PHYSOSTEGIA VIRGINIANA | OBEDIENT PLANT | #2 CONT. | | |
| RU FU | 12 | RUDBECKIA FULGIDA 'LITTLE GOLDSTAR' | LITTLE GOLDSTAR BLACK EYED SUSAN | #1 CONT. | | |

| CA AC | 6 | CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' | FEATHER REED GRASS | #3 CONT. | |
|--------|----|--|-------------------------------|----------|--------------------|
| CA VU | 34 | CAREX VULPINOIDEA | FOX SEDGE | #1 CONT. | EVENLY DISTRIBUTED |
| PE AL | 80 | PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' | LITTLE BUNNY FOUNTAIN GRASS | #2 CONT. | |
| JU TE | 34 | JUNCUS TENUIS | PATH RUSH | #1 CONT. | EVENLY DISTRIBUTED |
| SE AU | 66 | SESLERIA AUTUMNALIS | AUTUMN MOOR GRASS | #1 CONT. | |
| SHRUBS | | | | | 1 |
| CO ST | 12 | CORNUS STOLONIFERA 'FARROW' | ARCTIC FIRE RED TWIG DOGWOOD | #3 CONT. | |
| HY PA | 27 | HYDRANGEA PANICULATA 'LITTLE QUICKFIRE' | LITTLE QUICKFIRE HYDRANGEA | #5 CONT. | |
| JU HO | 32 | JUNIPERUS HORIZONTALIS 'LIMEGLOW' | LIMEGLOW JUNIPER | #3 CONT. | |
| PI MU | 22 | PINUS MUGO 'HONEYCOMB' | HONEYCOMB MUGO PINE | #3 CONT. | |
| SP JA | 9 | SPIREA JAPONICA 'DOUBLE PLAY CANDY CORN' | DOUBLE PLAY CANDY CORN SPIREA | #3 CONT. | |



SEE DETAIL A, SHEET L1.7

SEE DETAIL B, SHEET L1.7

SEE DETAIL B, SHEET L1.7

EVERGREEN SHRUB

ORNAMENTAL GRASS SEE DETAIL C, SHEET L1.7

SEE DETAIL C, SHEET 1.7

<u>PERENNIALS</u>

DECIDUOUS FLOWERING SHRUB



4219 WOODWARD AVE, SUITE 305 DETROIT, MICHIGAN 48201 313 652.1101 MKSKSTUDIOS.COM

City of Birmingham

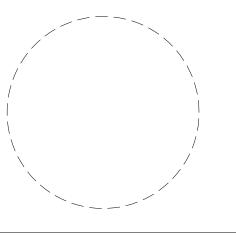
project name SOUTH OLD WOODWARD PH. 3

Birmingham, MI

Nowak & Frauss Engineers 46777 Woodward Ave. Pontiac, MI 48342 p 248.332.7931

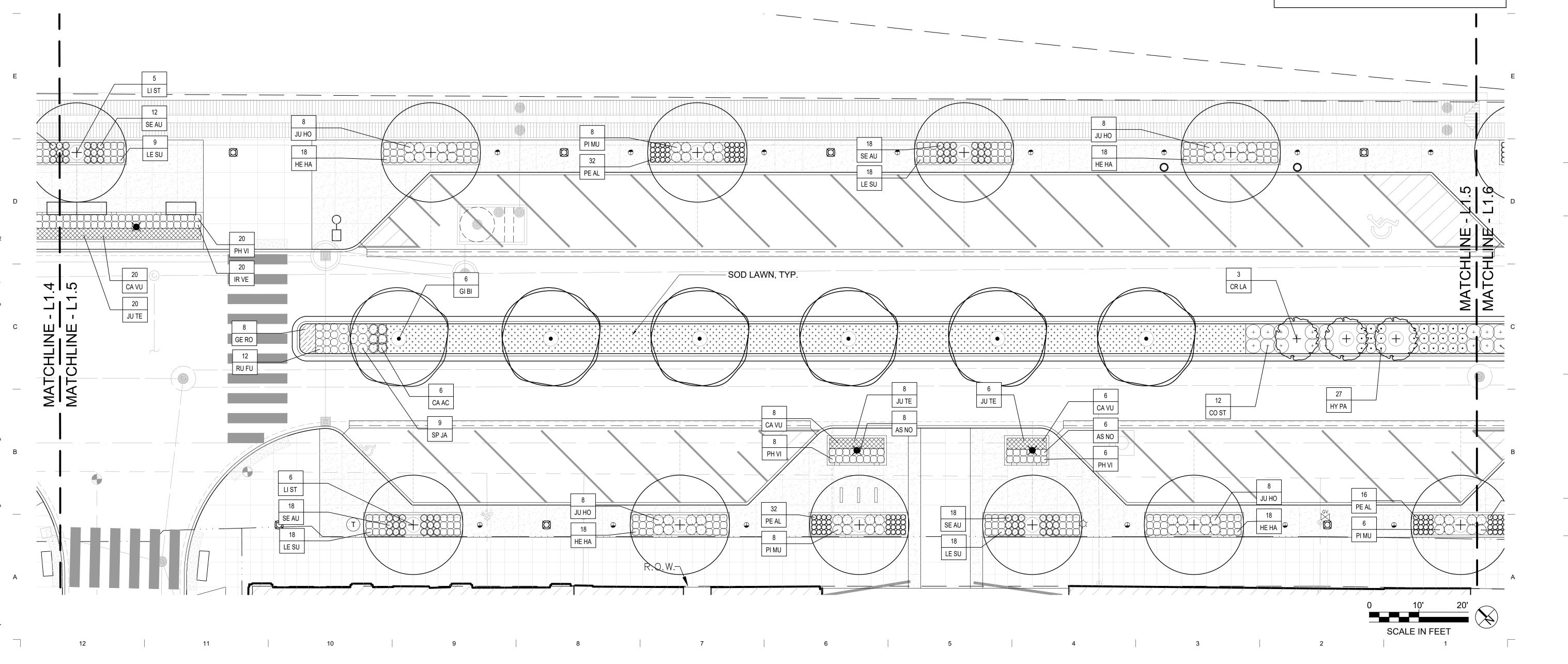


| evision | date | issued |
|---------|------|--------|
| | | |
| | | |
| | | |



issue date 01.07.2022

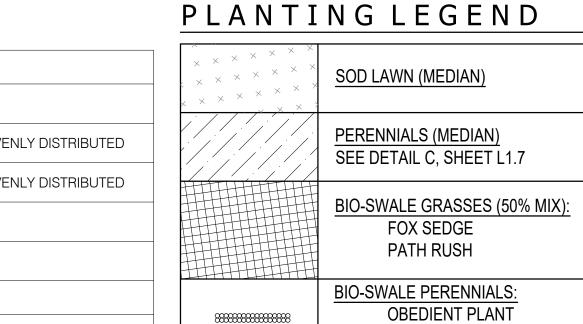
LANDSCAPE PLAN



12 | 11 | 10 | 9 | 8 | 7 | 1 | 6 | 5 |

11 10 9 8 7 6 5 4 3 2 1 12 PLANT LIST - L1.6 SYMBOL QTY BOTANICAL NAME COMMON NAME SIZE ROOT REMARK GRASSES DECIDUOUS TREES CA AC 181 CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' LI ST | 1 | LIQUIDAMBAR STYRADIFLUA FRUITLESS SWEETGRUM 3-3.5" Cal. B&B MATCH FORM CA VU 260 CAREX VULPINOIDEA ORNAMENTAL TREES 80 JUNCUS TENUIS CR LA 11 | CRATAEGUS LAEVIGATA 'CRIMSON CLOUD' CRIMSON CLOUD ENGLISH HAWTHORN 2" Cal. B&B | SINGLE TRUNK TREE FORM 207 PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' #7 CONT. HY PA 3 HYDRANGEA PANICULATA ' TARDIVA' TARDIVA HYDRANGEA B&B SINGLE TRUNK TREE FORM PERENNIALS SE AU 180 SESLERIA AUTUMNALIS AS NO 202 ASTER NOVAE-ANGLIAE NEW ENGLAND ASTER #1 CONT. EVENLY DISTRIBUTED SHRUBS CO VE | 202 | COREOPSIS VERTICILLATA 'MOONBEAM' MOONBEAM COREOPSIS #1 CONT. **EVENLY DISTRIBUTED** CO ST | 105 | CORNUS STOLONIFERA 'FARROW' HYDRANGEA PANICULATA 'LITTLE QUICKFIRE' GE RO 8 GERANIUM X 'ROZANNE' ROZANNE GERANIUM #1 CONT. JUNIPERUS VIRGINIANA 'GREY OWL' **EVENLY DISTRIBUTED** IR VE 206 IRIS VERSICOLOR BLUE FLAG IRIS #2 CONT. PI MU 6 PINUS MUGO 'HONEYCOMB' RU FU 12 RUDBECKIA FULGIDA 'LITTLE GOLDSTAR' LITTLE GOLDSTAR BLACK EYED SUSAN #1 CONT. IR VE IR VE 50 IR VE LI ST CA AC AS NO AS NO CO ST 9 37 50 16 AS NO PI MU PE AL CO VE CO VE JU VI JU VI 16 CO VE PE AL CA VU







4219 WOODWARD AVE, SUITE 305

313 652.1101 MKSKSTUDIOS.COM

DETROIT, MICHIGAN 48201

City of Birmingham

Birmingham, MI

SOUTH OLD

Nowak & Frauss Engineers

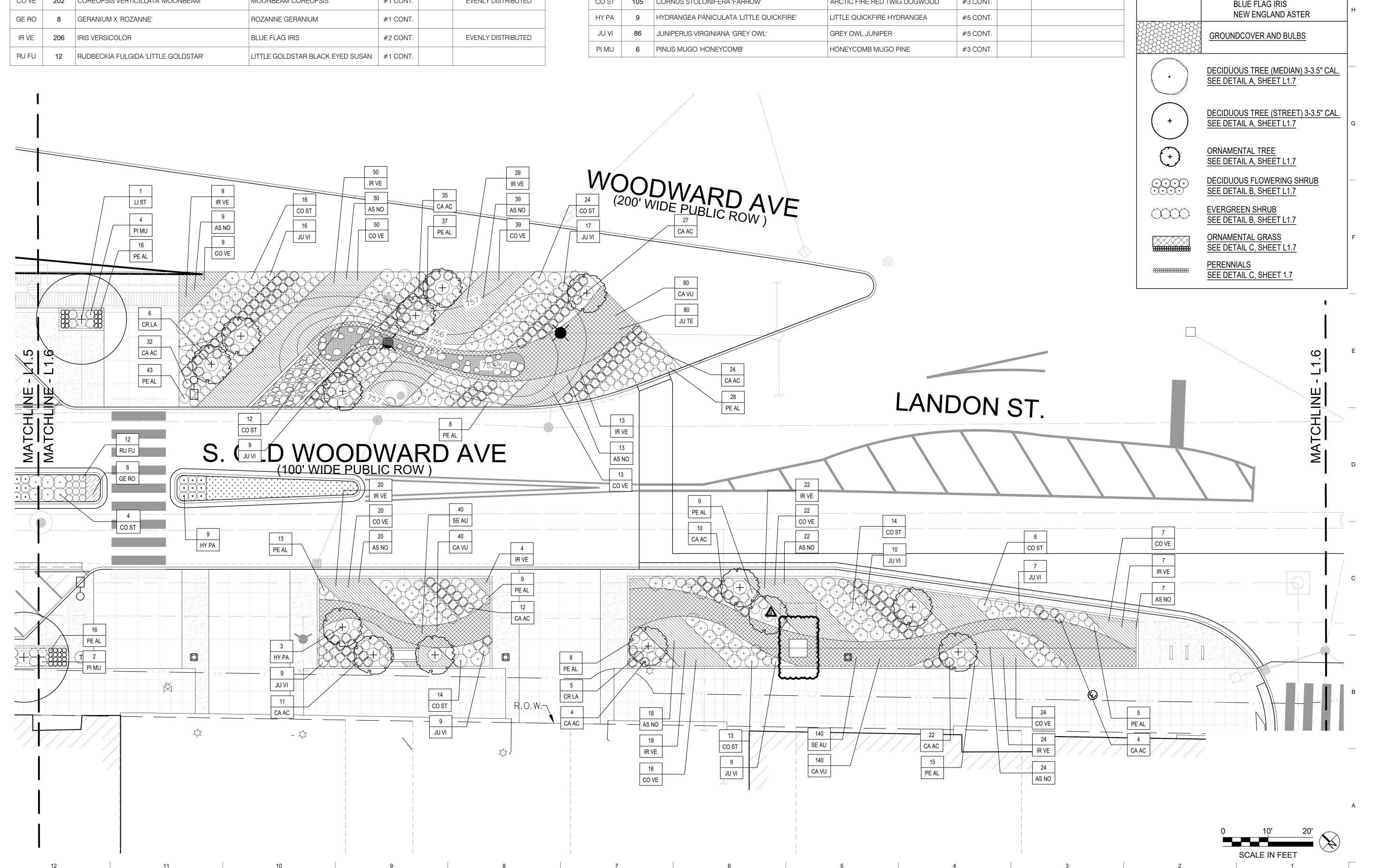
46777 Woodward Ave. Pontiac, MI 48342

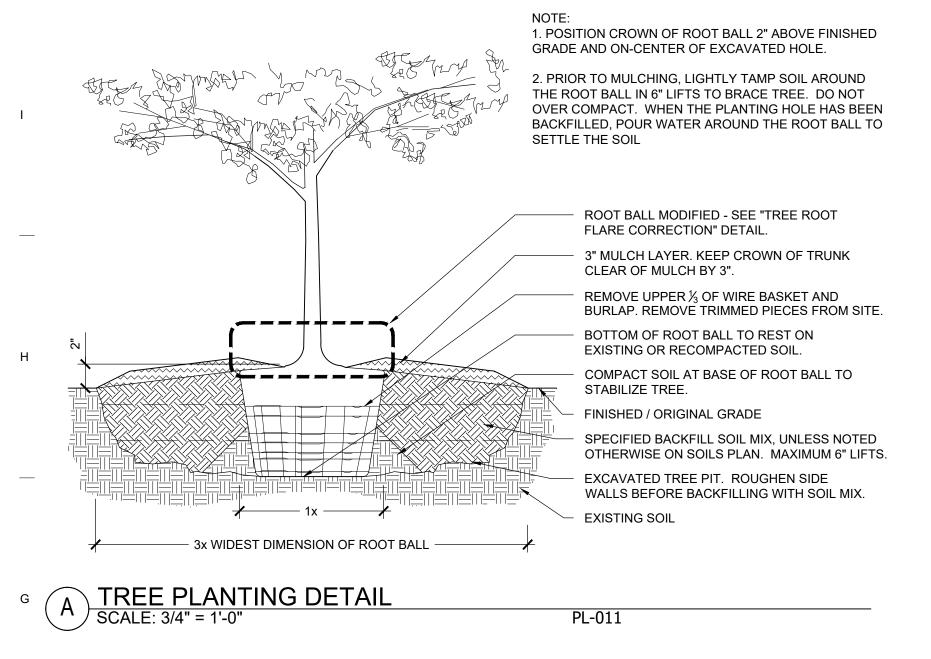
p 248.332.7931

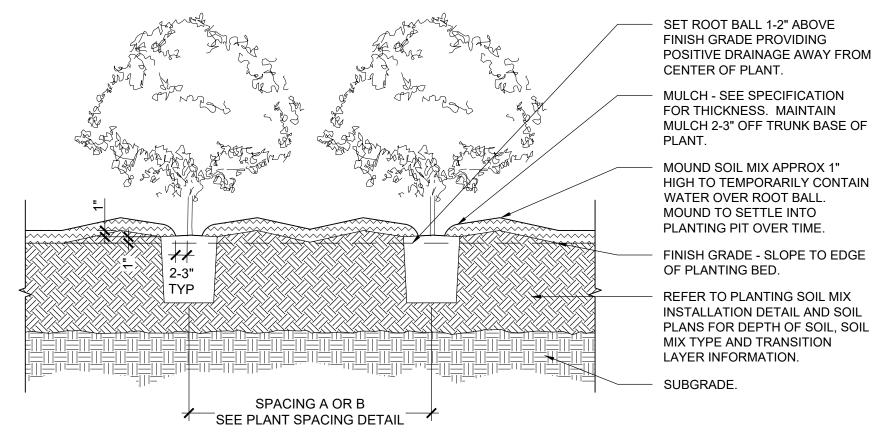
WOODWARD PH. 3

Not For Construction

issue date 01.07.2022

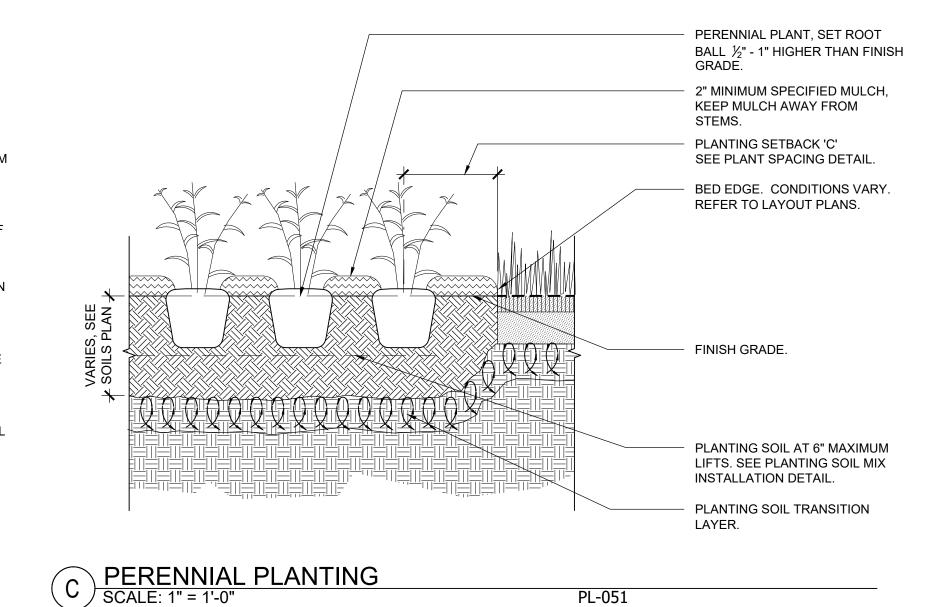


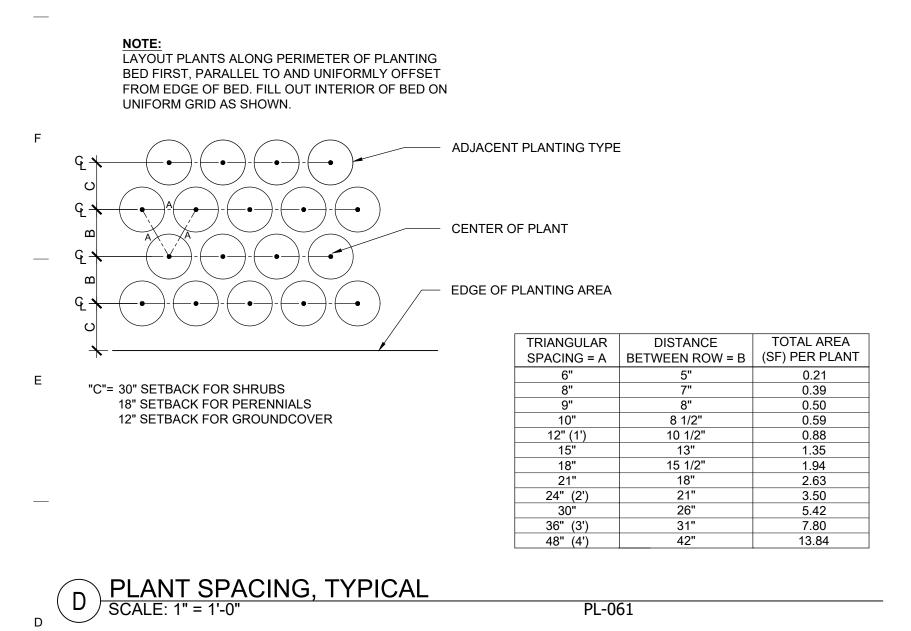




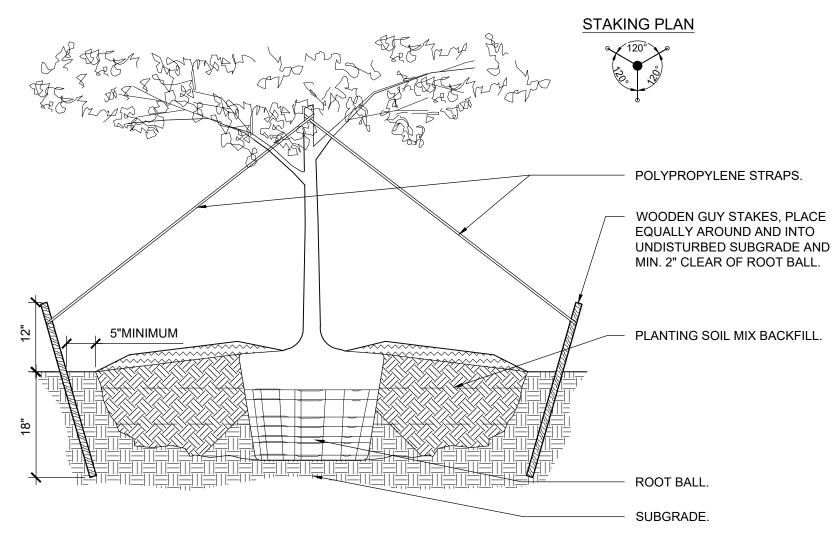
B SHRUB PLANTING DETAIL (MASS PLANTING AND HEDGES)
SCALE: 1" = 1'-0"

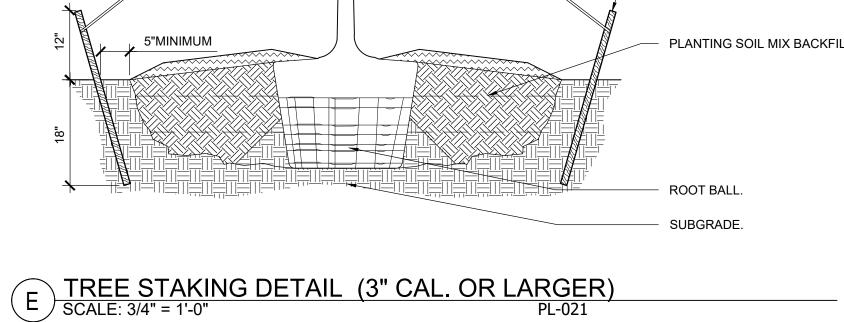
9 5 5 1





PL-061





11 10 9 8 7 6 5 4 1 3 1



4219 WOODWARD AVE, SUITE 305

313 652.1101 MKSKSTUDIOS.COM

DETROIT, MICHIGAN 48201

City of Birmingham

Birmingham, MI

SOUTH OLD

Nowak & Frauss Engineers

46777 Woodward Ave. Pontiac, MI 48342

p 248.332.7931

WOODWARD PH. 3

project name

consultant 1

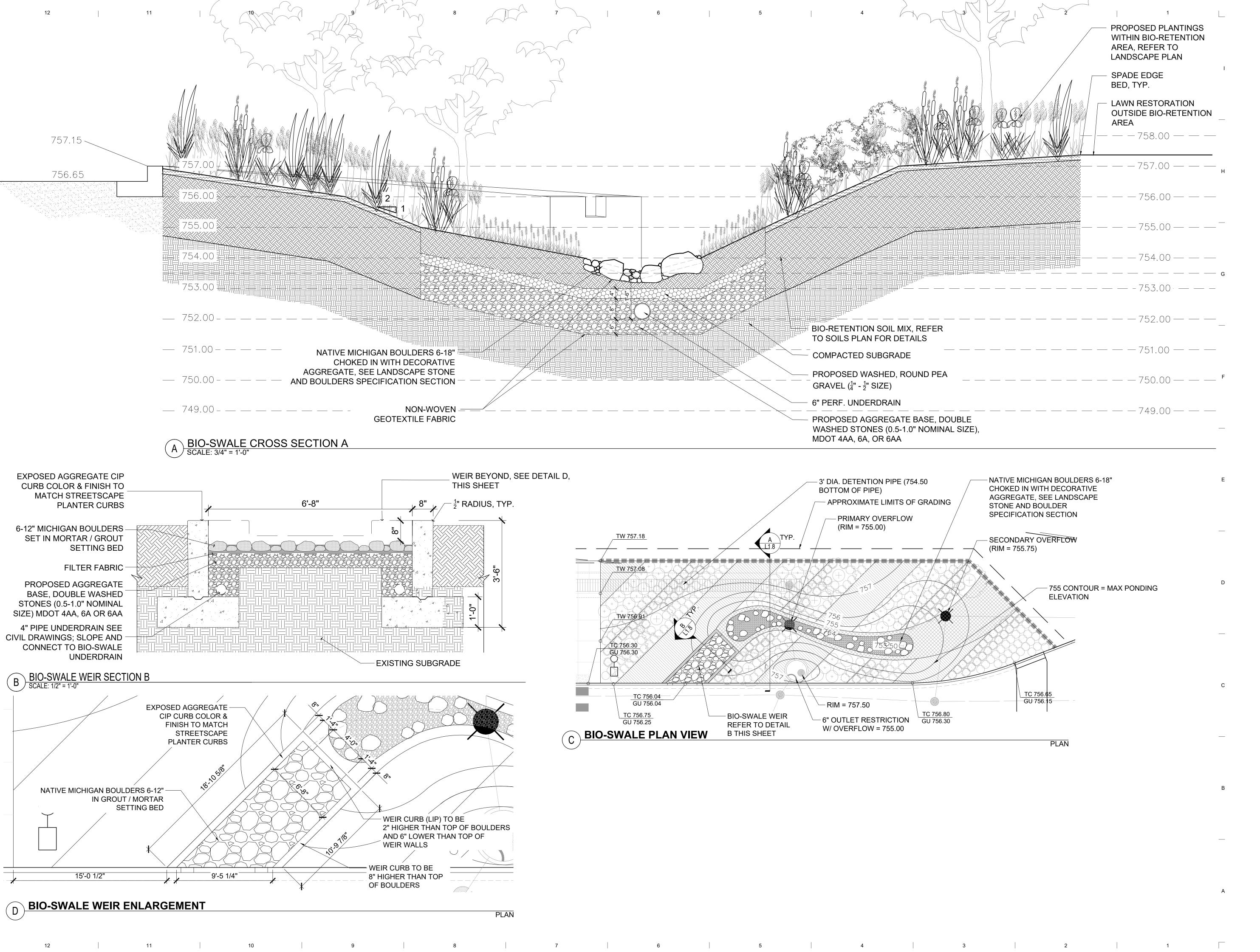
3 <u>02.14.2022</u> <u>Bids</u> 2 <u>02.07.2022</u> <u>90% City Review</u> 1 <u>01.07.2022</u> <u>50% City Review</u>

project number

d21105

issue date 01.07.2022

LANDSCAPE **DETAILS**



MASSA PROBLECTIVE + LIBRAN BLANNING

4219 WOODWARD AVE, SUITE 305 DETROIT, MICHIGAN 48201 313 652.1101 MKSKSTUDIOS.COM

client / owner

City of Birmingham

SOUTH OLD WOODWARD PH. 3

project address

Birmingham, MI

sultant 1

Nowak & Frauss Engineers 46777 Woodward Ave. Pontiac, MI 48342 p 248.332.7931

BIDS

Not For Construction

date issued

02.14.2022 Bids

2 02.07.2022 90% City Review 01.07.2022 50% City Review

issue date 01.07.2022

d21105

project number

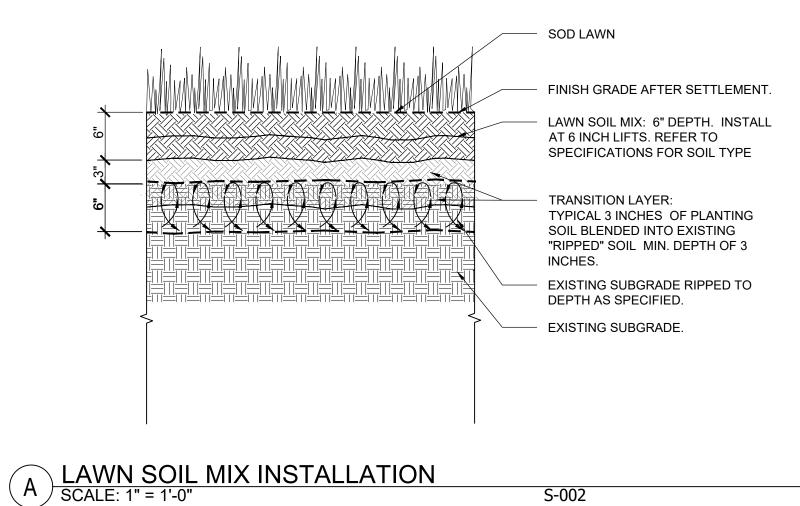
LANDSCAPE DETAILS

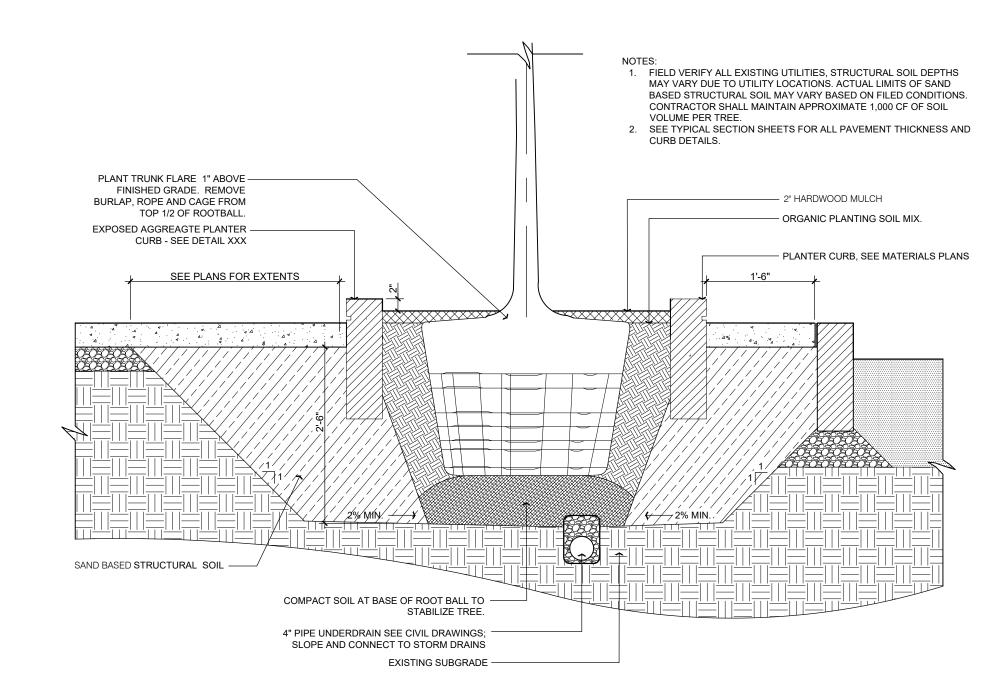
_1.8

SOILS NOTES

- 1. DO NOT EXCAVATE WITHIN SOIL PRESERVATION/TREE PROTECTION AREAS UNLESS OTHERWISE INDICATED. REFER TO DEMOLITION PLAN AND/OR TREE PROTECTION PLANS FOR ADDITIONAL INFORMATION.
- 2. SITE SALVAGED SOILS SCHEDULED FOR REDISTRIBUTION, MUST BE TESTED AND AMENDED OFF-SITE PRIOR TO OWNER'S REPRESENTATIVE ACCEPTANCE FOR USE AND REDISTRIBUTION.
- 3. SUBGRADE SOILS FOR TURFGRASS AND PLANTING AREAS MUST BE DECOMPACTED BY RIPPING SOILS AS DESCRIBED IN EACH PLANTING SOIL MIX SPECIFICATION.
- 4. AREAS WITHIN GRADING LIMITS OR DISTURBED BY CONSTRUCTION ACTIVITIES SHALL HAVE EXISTING SOILS DECOMPACTED AND REPAIRED TO ORIGINAL STATE OR PROPOSED PROJECT CONDITIONS. OWNER'S REPRESENTATIVE TO REVIEW AND APPROVE SOILS AND REPAIRS PRIOR TO REPAIR WORK COMMENCING.
- 5. PLANTING SOIL MIX DEPTHS INDICATED ARE POST COMPACTION AND SETTLEMENT DEPTHS REPRESENTING FINAL GRADE WITHIN SPECIFIED COMPACTION AND GRADING TOLERANCES. COMPENSATE FOR SETTLING AND COMPACTION AS NECESSARY.
- 6. EXCAVATE AND CONFIRM PLANTING AREA SUBGRADES ARE TO THE DEPTHS NOTED ON SOIL DRAWINGS AND DETAILS. WHERE EXCAVATION IS TOO DEEP, BACKFILL WITH EXISTING SOILS AND COMPACT TO 85 - 90% PROCTOR. DO NOT START THE SOIL MIX INSTALLATION UNTIL SUB-GRADE CONDITIONS HAVE BEEN CORRECTED AND APPROVED BY THE LANDSCAPE ARCHITECT.
- 7. PROJECT MANUAL SPECIFICATIONS FOR PLANTING SOIL MIX AND FINISH GRADING APPLY.

TRANSITION LAYER NOTE: DEPTH OF PLANTING SOIL MIX TYPE AND BLENDING DEPTHS OF PLANTING MIX INTO RIPPED SUBGRADE MAY VARY. REFER TO SPECIFICATIONS.





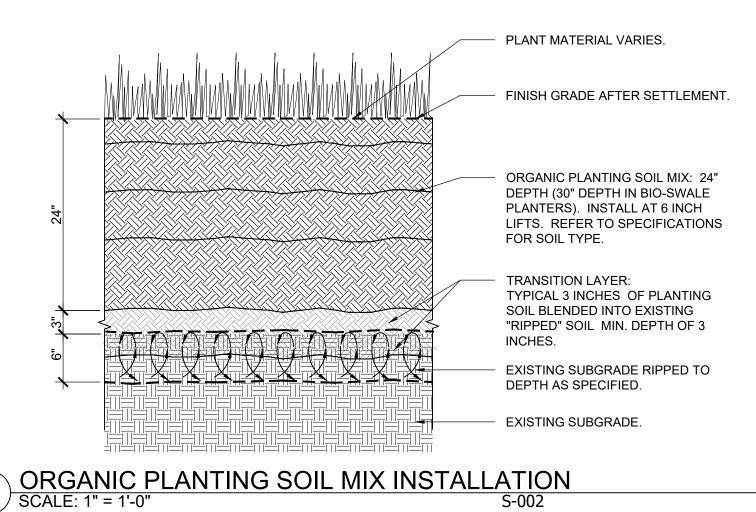
S-002

12 | 11 | 10 | 9 | 8 | 7 | 1 | 5 | 4 | 1 | 1

C TREE PLANTING IN STRUCTURAL SOIL SCALE: 1/2" = 1'-0"

TRANSITION LAYER NOTE: DEPTH OF PLANTING SOIL MIX TYPE AND BLENDING DEPTHS OF PLANTING MIX INTO RIPPED SUBGRADE MAY VARY. REFER TO SPECIFICATIONS.

8 7 6 5 4 3 2



HOLD SOIL ELEVATION 6" BELOW - BIO-SWALE PLANTERS DO NOT RECIEVE TOP OF CURB. FINISH BACKSIDE OF HARDWOOD MULCH. 2. SEE CIVIL SHEETS FOR ALL PAVEMENT THICKNESS AND CURB DETAILS. SEE PLANS FOR PLANTER WIDTH EXPOSED AGGREAGTE PLANTER -CURB - SEE DETAIL XXX ORGANIC PLANTING SOIL MIX -FILTER FABRIC -PROPOSED AGGREGATE BASE.-DOUBLE WASHED STONES (0.5-1.0" NOMINAL SIZE) MDOT 4AA, 6A, OR 6AA 4" PIPE UNDERDRAIN SEE CIVIL

D BIO-SWALE PLANTER SECTION SCALE: 1/2" = 1'-0"

4219 WOODWARD AVE, SUITE 305 DETROIT, MICHIGAN 48201 313 652.1101 MKSKSTUDIOS.COM

City of Birmingham

project name SOUTH OLD WOODWARD PH. 3

Birmingham, MI

consultant 1

Nowak & Frauss Engineers 46777 Woodward Ave. Pontiac, MI 48342 p 248.332.7931

BIDS

Not For Construction

3 <u>02.14.2022</u> <u>Bids</u>

2 <u>02.07.2022</u> <u>90% City Review</u> 1 <u>01.07.2022</u> <u>50% City Review</u>

issue date 01.07.2022

project number

d21105

SOILS DETAILS

sheet number

VOICE: 248.332.7931

FAX: 248.332.8257



April 5, 2022

City of Birmingham 151 Martin Street Birmingham, MI 48012

Attn: Mr. James Surhigh, P.E.

Consulting City Engineer

Re: Recommendation for Bid Award

South Old Woodward Avenue Reconstruction Project (Phase 3) – Contract #1-22P

NFE Job #M270

Dear Mr. Surhigh,

A bid opening for this project has held on Monday, March 21, 2022, at City Hall, where bids were received, opened, and read aloud. A single bid was received from Angelo Iafrate Construction Company (Iafrate), in the amount of \$10,120,538.95. The bid values were tabulated, checked for accuracy, and compared to the Engineer's Opinion of Probable Cost, which totaled \$8,268,446.00. The bid total received represents an overage of \$1,852,092.95, or approximately 22.4% above the estimated construction cost for the project.

The bid was also evaluated using the "Selection of Successful Bidder Calculation Methodology", which is part of the contract specifications for this project:

- 1. Factor #1 Total Cost (75%) 75 points awarded
- 2. Factor #2 Time of Road Closure (20%) 20 points awarded based on 150 days bid.
- 3. <u>Factor #3 Experience of Contractor (5%) 5 points awarded.</u> TOTAL POINTS AWARDED = 100 POINTS

Since lafrate's bid was the sole bid received, they received the maximum of 100 total points. Understanding this calculation methodology is scarcely relevant with just a single bidder, we also independently examined lafrate's bid for road closure days and their overall experience. Assuming the project is awarded and constructed this year, we find the bid of 150 days for the "Road Closure Assessment" item to be reasonable, based on a projected start date of late May to early June, and the substantial completion date of 10/14/22. With regards to previous experience, lafrate was the general contractor on the first two phases of Birmingham's downtown projects (Old Woodward Phase 1 in 2018 and Maple Phase 2 in 2020), which had a very similar overall scope. Iafrate has also completed other successful projects in both Birmingham and other surrounding communities. We have reviewed the references included with the lafrate's bid and find them to be reputable and acceptable.

A post-bid interview was conducted with representatives from lafrate on Friday, April 1, 2022, at City Hall. During this interview, lafrate confirmed their understanding of the project scope and schedule requirements and reiterated their previous experience in the city would be beneficial. lafrate emphasized several reasons for higher than anticipated bid prices, including inflation, high oil prices (which affect many material prices), labor cost increases, and general uncertainty of current financial markets. The city, NFE, and lafrate also identified and discussed several value-engineering concepts during the interview. These concepts will be further evaluated to confirm viability for this specific project but may potentially help the city realize

Mr. James Surhigh, P.E.

RE: South Old Woodward Avenue Reconstruction Project (Phase 3) - Contract #1-22P

April 5, 2022 Page - 2 - of 2

some cost reductions. Furthermore, it should be re-iterated that the previously mentioned pay item "Road Closure Assessment" (with a total associated cost of \$1,500,000.00), is primarily included in the contract as a bid evaluation and scheduling management tool. This item will serve a scheduling metric for potential incentive/penalty payments, but at most only a fraction of the total cost for this item will be actually paid by the city.

In summary, in our capacity as Design and Consulting Engineers for the City of Birmingham, we have evaluated the bid pricing and contractor qualifications received from lafrate. Based on their previous experience, we are confident in lafrate's ability to perform the scope of work for this project. Although the total bid cost was substantially higher than the estimated cost, we believe it reflects current market conditions, and due to the volatility of the current economic conditions, there is no indication that overall construction costs will decline in the foreseeable future. Understanding the City of Birmingham's desire to complete this project, we therefore recommend that Contract #1-22P for the South Old Woodward Avenue Reconstruction Project (Phase 3) be awarded to Angleo lafrate Construction Company in the amount of \$10,120,538.95.

Please do not hesitate to contact our office if you have any questions or comments.

Sincerely,

Paul Tulikangas, P.E.

Associate / Engineering Manager

D-7-0

Brett Buchholz, P.E.,

Principal

| | F | BUDGET SUMMAR | 202-449.001-981.0100 MAJOR STREETS | 101-444.001-981.0100 SIDEWALKS | 101-444.003-981.0100 FIBER OPTIC CONDUIT | 401-901.010-981.0100 STREET LIGHTS | 590-536.001-981.0100 SEWER PUBLIC IMPROV | 591-537.004-981.0100 WATER PUBLIC IMPROV | TOTAL |
|---|------------------------------|--|---------------------------------------|-----------------------------------|---|---------------------------------------|---|---|-----------|
| 2004/2002 | | JODGET JOWNVIAN | T (ALTROVED 2 | 1,22 0000 | L., | | | | |
| 2021/2022 | | | | | | | | | |
| S OLD WOODWARD DESIGN/PRELIM CONST | NFE | Jul 21-Jun 22 | 1,000,000 | | | | | | |
| 2022/2023 S OLD WOODWARD PHASE 3 OLD WOODWARD - PH III (Brown - Landon) S OLD WOODWARD STREET LIGHT REPLACEMENT S OLD WOODWARD FIBER OPTICS OLD WOODWARD PHASE 4 S. OLD WOODWARD - S END (Landon - Lincoln) | NFE/OHM NFE NFE NFE | Jun-Nov 2022 Jun-Nov 2022 Jun-Nov 2022 | 3,000,000 | 2,470,000 | 270,000 | 525,000 | 200,000 | 125,000 | |
| | TOTAL CURF | RENT BUDGET | 4,000,000 | 2,470,000 | 270,000 | 525,000 | 700,000 | 125,000 | 8,090,000 |

| | | ESTI | MATED EX | PENDITURI | ES (ACTUAL | S AS OF 3/4 | 4/22) | | | |
|--------------------------------------|-----------|---------|----------|--------------|------------|-------------|-------|--------|--------|--|
| Prelim & Design Engineering Costs | | To Date | Remain | <u>Total</u> | | | | | | |
| MKSK | | 149,442 | 28,938 | 178,380 | 178,380 | | | | | |
| F&V | | 26,050 | 13,950 | 40,000 | 40,000 | | | | | |
| NFE | | 270,142 | 34,922 | 306,104 | 91,831 | 91,831 | | 61,221 | 61,221 | |
| G2 | | 17,238 | 1,040 | 18,278 | 5,483 | 5,483 | | 3,656 | 3,656 | |
| | Subtotal: | 462,871 | 78,850 | 542,761 | | | | | | |
| | | | | | | | | | | |
| Other Contractual Costs | | | | | | | | | | |
| M-1 Studios Pre-Con Video | | - | 27,000 | 27,000 | 27,000 | | | | | |
| DVM Utilities - Sewer Lateral Invest | | - | 73,448 | 73,448 | 73,448 | | | | | |
| HRC - Admin of Sewer Lateral Invest | | - | 15,000 | 15,000 | 15,000 | | | | | |
| JH Hart - tree removals (estimate) | | - | 30,000 | 30,000 | 30,000 | | | | | |
| Orkin | | | 4,320 | 4,320 | | | | 4,320 | | |
| | Subtotal: | - | 149,768 | 149,768 | | | | | | |
| Construction Costs | | | | | | | | | | |

| | | | | 202-449.001-981.0100 MAJOR STREETS | 101-444.001-981.0100 SIDEWALKS | 101-444.003-981.0100 FIBER OPTIC CONDUIT | 401-901.010-981.0100 STREET LIGHTS | 590-536.001-981.0100 SEWER PUBLIC IMPROV | 591-537.004-981.0100 WATER PUBLIC IMPROV | TOTAL |
|---|-----------|---------------|--------------|---------------------------------------|-----------------------------------|---|---------------------------------------|---|---|-------------|
| AICC Bid Amount (excl General Items) | | | 7,305,481 | 1,794,521 | 2,755,984 | 503,759 | - | 1,686,859 | 564,359 | Total |
| AICC Bid Amount General Items | | | 2,815,058 | 587,793 | 1,331,820 | - | 24,975 | 623,936 | 246,534 | 10,120,539 |
| "Credit" for Road Closure Assessment* | | | (1,300,000) | (336,180) | (530,400) | - | | (324,740) | (108,680) | (1,300,000) |
| Construction Contingency (5%) | | | 506,027 | 119,116 | 204,390 | 25,188 | 1,249 | 115,540 | 40,545 | 506,027 |
| DTE Service/Transformers | | | 100,000 | 100,000 | | | | | | |
| DTE Street Lighting | | | 699,000 | | | | 699,000 | | | |
| | | Subtotal: | 10,125,566 | | | | | | | |
| Construction Engineering (11.7% total) | To Date | <u>Remain</u> | <u>Total</u> | | | | | | | |
| OHM (contr admin, const engin, inspection) [6.5%] | - | 659,700 | 659,700 | 155,674 | 267,120 | 32,918 | - | 151,000 | 52,988 | |
| NFE (shop drawings, survey/layout) [1.8%] | - | 183,178 | 183,178 | 43,226 | 74,171 | 9,140 | - | 41,928 | 14,713 | |
| G2 (materials testing) [1.2%] | - | 120,000 | 120,000 | 28,317 | 48,589 | 5,988 | - | 27,467 | 9,639 | |
| Labor Transfer for City Personnel | - | 178,904 | 178,904 | 42,217 | 72,440 | 8,927 | - | 40,950 | 14,370 | |
| Labor Transfer for City Personnel - OT | | 43,054 | 43,054 | 10,160 | 17,433 | 2,148 | - | 9,855 | 3,458 | |
| Subtotal: | - | 1,184,836 | 1,184,836 | | | | | | | |
| TOTAL ES | TIMATED E | XPENDITURES | | 3,006,000 | 4,339,000 | 588,000 | 725,000 | 2,442,000 | 903,000 | 12,003,000 |
| | | | | | | | | | | |

BUDGET SURPLUS/(SHORTFALL)

(318,000)

| | | 01- | 101 | 10 |
|------------|------------|---------|---------|-------|
| <u>591</u> | <u>590</u> | 444.003 | 444.001 | 202 |
| 0.084 | 0.250 | 0.000 | 0.408 | 0.259 |

(200,000) (1,742,000)

(778,000) (3,913,000)

994,000

(1,869,000)

^{*} Road Closure Assessment Item:

⁻ contractor bids # of days to complete project, total days is used in evaluating bid result. Contractor will only be paid if project completed early - assuming potential 30 day "bonus"

Percentage of Total Eng Estim minus General Items



MEMORANDUM

Office of the City Manager

DATE: April 5, 2022

TO: City Commission

FROM: Thomas M. Markus, City Manager

SUBJECT: Request for Closed Session to discuss a periodic personnel

evaluation of the City Manager

It is requested that the City Commission meet in closed session to:

Consider the periodic personnel evaluation of the City Manager if the named individual requests a closed hearing. I hereby request a closed hearing pursuant to the Open Meetings Act.

SUGGESTED COMMISSION ACTION:

Make a motion to meet in closed session to discuss the personnel evaluation of the City Manager pursuant to Section 8(a) of the Open Meetings Act.

(A roll call vote is required and the vote must be approved by a 2/3 majority of the commission. The commission will adjourn to closed session after all other business has been addressed in open session and reconvene to open session, after the closed session, for purposes of taking formal action resulting from the closed session and for purposes of adjourning the meeting.)

OPEN MEETINGS ACT (EXCERPT) Act 267 of 1976

15.268 Closed sessions; permissible purposes; applicability to independent citizens redistricting commission.

- Sec. 8. (1) Except as otherwise provided in subsection (2), a public body may meet in a closed session only for the following purposes:
- (a) To consider the dismissal, suspension, or disciplining of, or to hear complaints or charges brought against, or to consider a periodic personnel evaluation of, a public officer, employee, staff member, or individual agent, if the named individual requests a closed hearing. An individual requesting a closed hearing may rescind the request at any time, in which case the matter at issue must be considered after the rescission only in open sessions.
- (b) To consider the dismissal, suspension, or disciplining of a student if the public body is part of the school district, intermediate school district, or institution of higher education that the student is attending, and if the student or the student's parent or guardian requests a closed hearing.
- (c) For strategy and negotiation sessions connected with the negotiation of a collective bargaining agreement if either negotiating party requests a closed hearing.
- (d) To consider the purchase or lease of real property up to the time an option to purchase or lease that real property is obtained.
- (e) To consult with its attorney regarding trial or settlement strategy in connection with specific pending litigation, but only if an open meeting would have a detrimental financial effect on the litigating or settlement position of the public body.
- (f) To review and consider the contents of an application for employment or appointment to a public office if the candidate requests that the application remain confidential. However, except as otherwise provided in this subdivision, all interviews by a public body for employment or appointment to a public office must be held in an open meeting pursuant to this act. This subdivision does not apply to a public office described in subdivision (j).
 - (g) Partisan caucuses of members of the state legislature.
 - (h) To consider material exempt from discussion or disclosure by state or federal statute.
- (i) For a compliance conference conducted under section 16231 of the public health code, 1978 PA 368, MCL 333.16231, before a complaint is issued.
- (j) In the process of searching for and selecting a president of an institution of higher education established under section 4, 5, or 6 of article VIII of the state constitution of 1963, to review the specific contents of an application, to conduct an interview with a candidate, or to discuss the specific qualifications of a candidate if the particular process of searching for and selecting a president of an institution of higher education meets all of the following requirements:
- (i) The search committee in the process, appointed by the governing board, consists of at least 1 student of the institution, 1 faculty member of the institution, 1 administrator of the institution, 1 alumnus of the institution, and 1 representative of the general public. The search committee also may include 1 or more members of the governing board of the institution, but the number does not constitute a quorum of the governing board. However, the search committee must not be constituted in such a way that any 1 of the groups described in this subparagraph constitutes a majority of the search committee.
- (ii) After the search committee recommends the 5 final candidates, the governing board does not take a vote on a final selection for the president until at least 30 days after the 5 final candidates have been publicly identified by the search committee.
- (iii) The deliberations and vote of the governing board of the institution on selecting the president take place in an open session of the governing board.
- (k) For a school board to consider security planning to address existing threats or prevent potential threats to the safety of the students and staff. As used in this subdivision, "school board" means any of the following:
 - (i) That term as defined in section 3 of the revised school code, 1976 PA 451, MCL 380.3.
- (ii) An intermediate school board as that term is defined in section 4 of the revised school code, 1976 PA 451, MCL 380.4.
- (iii) A board of directors of a public school academy as described in section 502 of the revised school code, 1976 PA 451, MCL 380.502.
- (iv) The local governing board of a public community or junior college as described in section 7 of article VIII of the state constitution of 1963.
- (*l*) For a county veteran services committee to interview a veteran or a veteran's spouse or dependent regarding that individual's application for benefits or financial assistance and discuss that individual's Rendered Thursday, March 31, 2022

 Page 1

 Michigan Compiled Laws Complete Through PA 52 of 2022

application for benefits or financial assistance, if the applicant requests a closed hearing. This subdivision does not apply to a county veteran services committee voting on whether to grant or deny an individual's application for benefits or financial assistance. As used in this subdivision, "county veteran services committee" means a committee created by a county board of commissioners under section 1 of 1953 PA 192, MCL 35.621, or a soldiers' relief commission created under section 2 of 1899 PA 214, MCL 35.22.

(2) This act does not permit the independent citizens redistricting commission to meet in closed session for any purpose. As used in this subsection, "independent citizens redistricting commission" means the independent citizens redistricting commission for state legislative and congressional districts created in section 6 of article IV of the state constitution of 1963.

History: 1976, Act 267, Eff. Mar. 31, 1977;—Am. 1984, Act 202, Imd. Eff. July 3, 1984;—Am. 1993, Act 81, Eff. Apr. 1, 1994;—Am. 1996, Act 464, Imd. Eff. Dec. 26, 1996;—Am. 2018, Act 467, Eff. Mar. 27, 2019;—Am. 2021, Act 31, Imd. Eff. June 24, 2021;—Am. 2021, Act 166, Imd. Eff. Dec. 27, 2021.

Compiler's note: Enacting section 1 of Act 166 of 2021 provides:

"Enacting section 1. This amendatory act is intended to clarify that the independent citizens redistricting commission for state legislative and congressional districts, since its establishment under section 6 of article IV of the state constitution of 1963, has been required to conduct all of its business at open meetings, without exception and in a manner that invites wide public participation throughout this state, as provided in section 6(10) of article IV of the state constitution of 1963, and that the commission continues to be subject to this unqualified open meetings requirement."

City of Birmingham A Walkable Community

MEMORANDUM

City Manager's Office

DATE: March 8, 2022

TO: City Commission

FROM: Thomas M. Markus, City Manager

SUBJECT: Second Six Months City Manager Performance Update

Throughout the past six months, in addition to the day-to-day activities associated with managing the city, we have accomplished the items listed below. I am pleased with progress made thus far and look forward to continued achievements.

- Selected an Assistant City Manager and created a succession and mentorship plan for the future City Manager.
- Created and hired for the position of Parking Services Manager to holistically address the needs of the City's parking system.
- Hired staff for key positions including Construction Engineer, City Planner, Public Services Manager, Deputy City Clerk, and six first responders.
- Created a contract agreement with Beier Howlett for legal services following a comprehensive RFQ process.
- Created an improved system to ensure that all City contracts have been properly executed and filed.
- Completed a comprehensive review of the City's accounts receivable process and created an improved workflow and approval process for two particular billing areas, outdoor dining and special assessments.
- Negotiated a new healthcare broker contract, saving the City \$110,000 annually over its prior firm.
- Launched the City's new, more accessible website.
- Initiated the creation of a comprehensive City Commission code of conduct.
- Completed the Ice Arena renovation project that included remodeled and expanded locker rooms, a new observation area and meeting room space, and an upgraded concession area
- Collaborated with MDOT to make pedestrian safety upgrades on Woodward Avenue a priority.
- Encouraged proactive enforcement of the City's snow emergency and snow removal ordinances.
- Supported the Clerk's Office efforts in running the November 2021 City Commission election.
- Introduced the GovPilot citizen request app to streamline resident requests for service
- Implemented employee trainings including citywide sensitivity training and a COVID vaccination information session with an emergency room physician.
- Recouped over \$1.2 million dollars in state and federal reimbursements and grants for the City's Emergency Management response throughout the COVID-19 pandemic.

- Conducted the Long Range Planning meeting featuring 33 presentations from 16 City departments.
- Introduced the process for a strategic planning effort.

As my employment agreement states, "the Commission agrees that it shall establish certain goals and objectives upon which the Employee's performance may be evaluated." At the June 28, 2021 meeting, the Commission evaluated my performance over my first six months as City Manager. I request a closed session performance review for the second sixth period in my role as City Manager pursuant to the OMA at MCL §15.268(a) which states that public bodies such as the City Commission are permitted to meet in closed session "to consider a periodic personnel evaluation of, a public officer, employee, staff member, or individual agent, if the named individual requests a closed hearing."

The Commission is requested to determine a date and format to be used for the next City Manager performance review. Examples of City Manager evaluation instruments are included for the Commission's consideration.

ATTACHMENTS

- Six Month City Manager Performance Update memo, June 10, 2021
- City Manager's Employment Agreement, January 20, 2021
- Examples of City Manager evaluation instruments from Bristol, Tennessee; Columbia, Tennessee; ICMA; Klamath Falls, Oregon; MTAS; San Carlos, California; and Dover, New Hampshire



MEMORANDUM

City Manager's Office

DATE: June 10, 2021

TO: City Commission

FROM: Thomas M. Markus, City Manager

SUBJECT: Six Month City Manager Performance Update

Throughout the past six months, in addition to the day-to-day activities associated with managing the city, we have accomplished the items listed below. I am pleased with progress made thus far and look forward to continued achievements.

- Instituted the Manager's Report to provide Commissioners with a greater level of insight into the daily operations of the city.
- Established workshop sessions to provide Commissioners with time to deeply discuss and understand issues and projects they vote on.
- Moved Parks & Recreation Bond projects forward, such as the Ice Sports Arena renovation/addition project.
- Improved morale among city staff members and fostered a positive working environment.
- Advertised for the Assistant City Manager and Parking System Manager positions. Filled numerous roles including: Human Resources Manager, Human Resources Generalist, Deputy City Clerk, two police officers, part-time clerical assistant, and seasonal laborers.
- Developed a Request for Qualifications for legal services.
- Guided a special review of unimproved streets at a City Commission Workshop. Directed staff to study Commissioner comments and recommendations by the Ad Hoc Unimproved Street Study Committee, and to create a recommended policy.
- Reviewed the Parking Assessment Districts and Triangle District. Directed staff to prepare a report on possible changes to special assessment policies and ordinances, and resume meetings regarding the Triangle District.
- Guided staff through the extension of COVID-19 relief initiatives that benefited residents, visitors and businesses.
- Transitioned City facilities and operations from the COVID-19 restrictions to a more open environment.
- The City and other control units of the 48th District Court agreed that Birmingham would serve as the primary contact for indigent defense counsel pursuant to MCL 780.985.
- Made recommendations regarding the City's use of American Rescue Plan Act funds.
- Guided staff in preparation for the second draft of the Citywide Master Plan for 2040.
- Started the review and preliminary design phase for the South Old Woodward project.
- Entered into Mental Health Co-Response Team interlocal agreement with the Auburn Hills Police Department, Bloomfield Township Police Department and the Oakland County Health Network.
- Contract negotiations with BFFA and AFSCME approved by the Commission.
- Transformed Code Enforcement into Code Assistance to signify that they help individuals understand how to comply with the City's rules and regulations.

- Launched Engage Birmingham as a public engagement tool to better connect residents with their city.
- Guided the review and approval of the 2021-2022 city budget.
- Birmingham rated AAA by the S&P Global Ratings for the nineteenth consecutive year.



NOTICE OF INTENTION TO APPOINT TO BOARD OF BUILDING TRADES APPEALS

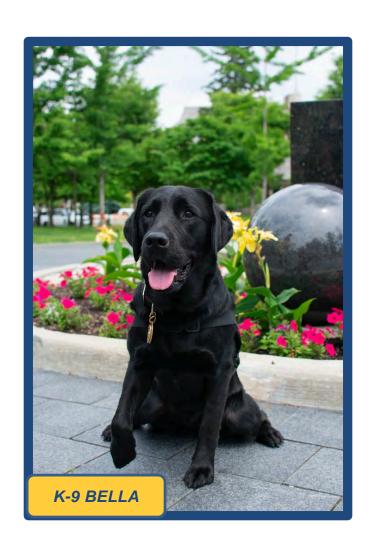
At the regular meeting of Monday, May 23, 2022, the Birmingham City Commission intends to appoint to the Board of Building Trades Appeals three regular members to serve three-year terms to expire May 23, 2025. Applicants shall be qualified by experience or training in fields such as architecture, engineering, mechanical engineering, building, electrical plumbing, heating or refrigeration.

Interested citizens may submit an application available at the City Clerk's office or online at www.bhamgov.org/boardopportunities. Applications must be submitted to the City Clerk's office on or before noon on Wednesday, May 18, 2022. These documents will appear in the public agenda for the regular meeting at which time the City Commission will discuss recommendations, and may make nominations and vote on appointments.

The Board of Building Trades Appeal hears and grants or denies requests for variances from strict application of the provisions of the Michigan Building, Residential, Mechanical and Plumbing Codes and the National Electrical Code. The board will decide on matters pertaining to specific code requirements related to the construction or materials to be used in the erection, alteration or repair of a building or structure.

All members of boards and commissions are subject to the provisions of City of Birmingham City Code Chapter 2, Article IX, Ethics and the filing of the Affidavit and Disclosure Statement.

| Criteria/Qualifications of Open Position | Date Applications Due (by noon) | Date of Interview |
|---|---------------------------------|----------------------|
| Members shall be qualified by experience or training. (such as architect, engineer, mechanical engineer, building contractor, electrical contractor, plumbing contractor, heating contractor, and refrigeration contractor) | 05/18/2022 | 05/23/2022 |



BIRMINGHAM POLICE DEPARTMENT

2021 ANNUAL REPORT

10E1

TABLE OF CONTENTS

| | Page |
|--|------|
| Chiefs Message | 2-6 |
| Organizational Chart | 7 |
| Personnel Changes | |
| Distribution | 8 |
| Register | 9-11 |
| Changes | 12 |
| Seniority Distribution | 13 |
| Summary of Offenses, Arrests, and Violations | 14 |
| Summary of Offenses-Three Year Trend | 15 |
| Crime Analysis | |
| Adult Arrest by Comparison Report | 16 |
| Adult Arrest by Month Report | 17 |
| Traffic | |
| Accident Summaries/Trends | 18 |
| Parking Violation Summaries | 19 |
| Moving Violation Summaries | 20 |
| Calls for Service | 21 |
| Juvenile Arrest Disposition Report | 22 |
| Auxiliary | 23 |



CHIEF'S MESSAGE

March 2022

Birmingham City Commissioners

Thomas M. Markus, City Manager

As Chief of Police for the City of Birmingham, I am proud to present the 2021 edition of the annual report. In 2021, the Birmingham Police Department continued to grow and develop into one of the most progressive departments in the State of Michigan. While the novel coronavirus (COVID-19) pandemic continued to influence our daily lives, the police department continued moving forward and successfully accomplished all of its goals outlined in the 2020 annual report.

The men and women of the police department work diligently to keep Birmingham a safe and welcoming community. Officers of the department are highly trained, educated and professional individuals. The department holds all officers to the highest level of conduct and demands honesty, respect and integrity from all. As chief, I have strived to create and maintain a culture in the department that encourages officers to exercise compassion, empathy and a sense of duty to the service of others. I will continue to work together with the community and the public at large to build a future for all people that ensures fairness, respect, dignity, security and justice for all. I am also committed to meeting community expectations of officer professionalism, responsiveness and department operational transparency.

The department continually re-evaluates itself to ensure that we as an agency meet or exceed our community's expectations, embrace change in order to improve ourselves and continue to evolve as an agency to meet new and changing roles and demands of the law enforcement profession. We are very proud of our accomplishments in 2021. These accomplishments included the following:

- Completed a two-year process to become an accredited agency through the Michigan Association of Chiefs of Police Accreditation Program. Less than 6% of the police departments in the State of Michigan have achieved accredited status.
- Created an interlocal agreement with the Township of Bloomfield, the City of Auburn Hills and the Oakland County Health Network (OCHN) to create a mental health co-response program (CoRe). The CoRe program is a unique, one of a kind program that partners a contracted social worker to co-respond with officers when possible on calls involving individuals suffering a mental health crisis. In addition to the co-response, our social worker also follows-up on cases that have a mental health component, connecting individuals and families with available resources and services to assist with their mental health needs.
- Obtained a \$75,000 grant from the Community Foundation of Southeast Michigan to fund the start of the CoRe program
- Trained 20% of the department's officers in advanced crisis intervention (40-hour training course). The most comprehensive mental health training program is "Crisis Intervention Training" or "CIT." CIT is a community partnership of law enforcement, mental health and addiction professionals, individuals who live with mental illness and/or addiction disorders, their families and other advocates. It is an innovative first responder model of police-based crisis intervention training to help persons with mental disorders and/or addictions access medical treatment rather than place them in the criminal justice system due to illness related behaviors. It also promotes officer safety and the safety of the individual in crisis. The police department is committed to training 20% of the department each year until all officers have received the advanced CIT training.

The police department has planned several new projects in 2021 for 2022 that include:

• Over the course of the year in 2022 and in January of 2023, the police department will have three of its four command staff members retiring (chief of police/two commanders) and one civilian services coordinator. Succession planning is a critical component to ensuring that the police's departments command staff is prepared to continue a legacy of outstanding service and commitment to our community. The department has worked diligently to prepare the next generation of police supervisors to meet the needs of our community and the ever-changing landscape of the law enforcement role in society. Proper training and foresight is necessary to identify future leaders and empower them to become a part of the department's future. By January of 2023, seven of the department's eight command level positions will have new personnel in place. These command level officers will have all gone through an extensive promotional process and received training commensurate with their rank provided by the department.

• As mentioned earlier, the police department successfully completed the Michigan Association of Chiefs of Police (MACP) Law Enforcement Accreditation Program. As part of the program, the police department had to pass a final on-site assessment. The MACP Law Enforcement Accreditation Program wrote a comprehensive evaluation report that covered all aspects of the department. The police department met or exceeded standards in every category but one, the safety and security of the police department physical plant. If you have not read the report, I would strongly encourage you to do so. It is very informative report and covers a broad range of topics. The report can be found at the following internet web link:

https://bhamgov.org/about_birmingham/city_departments/police_department/accredited_agency.php

The police department has discussed these security concerns with the City Manager, Assistant City Manager, Finance Director, Building Official and the City Commission. All have indicated support for making safety and security upgrades to the police department and to City Hall.

Safety and security upgrades to the police department are critical components to maintaining a safe working environment for police department officers and staff members, the public and individuals in custody. The scope of this project will be determined by professional architects/design professionals and could range anywhere from internal construction modifications, major renovations or a possible addition to City Hall.

The City Manager has directed the Police Administration to provide initial oversight for the upgrades to the City Hall and Police Department quarters. The City Administration will provide regular updates on the progress of these improvements.

• The police department will continue to seek out grant opportunities to continue to fund the CoRe program.

As for crime statistics, the City showed a 16% increase in the number of crimes compared to 2020. However, crime statistics for 2020 were dramatically affected by the COVID-19 pandemic, artificially lowering the crime statistics. Using a three-year analysis of the average number of crimes, the 2021 crime statistics are 1.5% below the three-year average. The 2021 crime statistics are in line with the City's average number of crimes from an historical perspective. The efforts of all police department staff, including officers, auxiliary officers, non-sworn personnel and the community itself should be recognized for continuing to work together to keep our City safe.

The mission statement of the Department reflects our agency's commitment to the safety and security of all our residents and visitors:

The Birmingham Police Department is committed to fairness, compassion and excellence in providing services sensitive to the priorities and needs of the community: the protection of life and property, the apprehension of criminal perpetrators and the prevention of crime in accordance with the law.

The chart below summarizes this report, delineating calls for service, major crime categories and arrest categories. For historical perspective, included in this chart are crime statistics from 25 and 50 years ago. While any crime is unacceptable to the police department, the citizens of Birmingham should be very proud of a crime rate that has been consistently low over the course of the past several years.

| | 2021 | 2020 | 2019 | 1996 | 1971 |
|-------------------------|--------|--------|--------|--------|--------|
| Total calls for service | 20,022 | 21,167 | 20,537 | 20,094 | 15,348 |
| Number of sworn | 33 | 33 | 33 | 35 | 41 |
| officers | | | | | |
| | | | | | |
| Homicide | 0 | 0 | 0 | 0 | 1 |
| Criminal Sexual Conduct | 0 | 0 | 3 | 7 | 0 |
| 1, 111 | | | | | |
| Robbery | 2 | 1 | 1 | 9 | 17 |
| Vandalism | 47 | 33 | 33 | 185 | N/A |
| Burglary | 8 | 14 | 20 | 73 | 196 |
| Larceny | 99 | 80 | 94 | 585 | 906 |
| Vehicle theft | 18 | 10 | 8 | 38 | 56 |
| Operating While | 44 | 27 | 95 | 122 | 33 |
| Impaired | | | | | |
| Fraud | 72 | 89 | 110 | 98 | 69 |
| Adult arrests | 212 | 172 | 441 | 488 | 532 |
| Juvenile arrests | 13 | 12 | 9 | 62 | 305 |

Despite our relatively small size, the police department's footprint in Oakland County's law enforcement community is broad. The department is a participating member of several multi-jurisdictional task forces organized under cooperative agreements with numerous neighboring law enforcement agencies. These task forces address specialized and complex crime and service related issues. Currently, the department participates in eight of these task forces/cooperative agreements:

CLEMIS (Courts and Law Enforcement Management Information System): CLEMIS provides records management, computer aided dispatch systems and criminal data base records for Oakland County police agencies and other local, state and federal agencies. By serving as a technical link among multiple members, CLEMIS promotes communication and sharing of criminal justice information.

PSAP (Public Safety Answering Point): The City has provided dispatch services to the Village of Beverly Hills since 2012.

MCAT (Major Case Assistance Team): 9 local law enforcement agencies that provide experienced investigators to work on major and complex criminal investigations.

NET (Narcotics Enforcement Team): 16 local law enforcement agencies and two federal partners (Drug Enforcement Administration and the Department of Homeland Security) that conduct narcotics investigations throughout Oakland County and other areas. The Oakland County Sherriff's Office supervises the team.

SIU (Special Investigations Unit): 5 local law enforcement agencies that target organized criminals/criminal enterprises utilizing undercover operations and surveillance. The team also assist in wanted fugitive apprehensions. The City of Troy Police Department supervises the team.

OAKTAC (Oakland County Tactical Unit): 40 local law enforcement agencies throughout Oakland County trained in the area of crowd management and civil unrest events. The team can also assist with active shooter and hostage tactical situations.

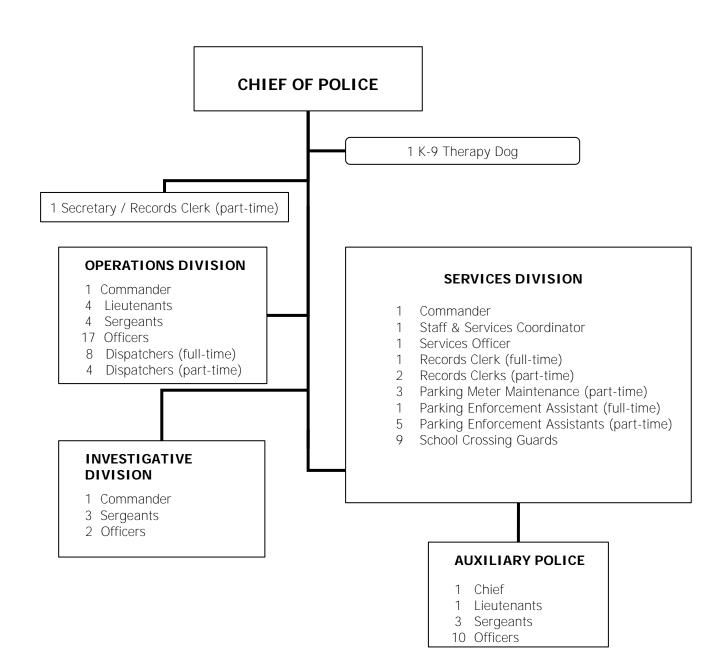
Federal Bureau of Investigation Financial Crimes Task Force (FBI): Cooperative agreement with the Federal Bureau of Investigation to assign local law enforcement officers to the FBI in order to work on local fraud cases at the federal level to enhance investigatory capabilities and address large scale fraud cases crossing local, state and federal jurisdictions.

SOCCIT (South Oakland County Crash Investigation Team): 5 local law enforcement agencies that provide highly trained officers in the field of accident investigation/reconstruction. The team conducts accident investigations involving serious or fatal vehicle and/or pedestrian traffic related incidents.

It is my hope that this message provides a well-rounded view of the commitment and dedication of the men and women of the Birmingham Police Department. The department could not do the important work of providing for the safety and well-being of the community without the assistance and support we receive from the City Manager, the City Commission and our residents.

2021 ORGANIZATIONAL CHART





BIRMINGHAM POLICE DEPARTMENT PERSONNEL DISTRIBUTION AUTHORIZED POSITIONS 2021

| FULL TIME SWORN POSITIONS | 2021 | 2020 | 2019 | 2018 | 2017 |
|-------------------------------|------|------|------|------|------|
| CHIEF OF POLICE | 1 | 1 | 1 | 1 | 1 |
| COMMANDER | 3 | 3 | 3 | 3 | 3 |
| LIEUTENANT | 4 | 4 | 4 | 4 | 4 |
| SERGEANT | 7 | 6 | 6 | 6 | 7 |
| POLICE OFFICER | 19 | 19 | 19 | 18 | 17 |
| SWORN OFFICER TOTAL | 34 | 33 | 33 | 32 | 32 |
| FULL TIME CIVILIAN POSITIONS | 2021 | 2020 | 2019 | 2018 | 2017 |
| PARKING ENFORCEMENT ASSISTANT | 1 | 1 | 1 | 1 | 1 |
| STAFF & SERVICES COORDINATOR | 1 | 1 | 1 | 1 | 1 |
| DISPATCHER | 8 | 8 | 8 | 8 | 8 |
| RECORDS CLERK | 1 | 1 | 1 | 1 | 1 |
| FULL TIME CIVILIAN TOTAL | 10 | 11 | 11 | 11 | 11 |
| FULL TIME EMPLOYEE TOTAL | 42 | 44 | 44 | 43 | 43 |
| PART TIME CIVILIAN POSITIONS | 2021 | 2020 | 2019 | 2018 | 2017 |
| PARKING METER MAINTENANCE | 2 | 3 | 3 | 3 | 3 |
| SCHOOL CROSSING GUARD | 9 | 9 | 9 | 9 | 9 |
| CLERK / SECRETARY | 3 | 3 | 3 | 3 | 3 |
| PARKING ENFORCEMENT ASSISTANT | 5 | 5 | 5 | 5 | 5 |

BIRMINGHAM POLICE DEPARTMENT PERSONNEL REGISTER PRESENT FOR DUTY DECEMBER 31 2021

CHIEF OF POLICE Mark H. Clemence

COMMANDERS SERVICES DIVISION Michael Albrecht

INVESTIGATIVE Chris Busen

DIVISION

OPERATIONS DIVISION Scott Grewe

LIEUTENANTS PLATOON A Christopher Koch

PLATOON B Greg Wald
PLATOON C Raymond Faes
PLATOON D Ryan Kearney

SERGEANTS PLATOON A Joseph Bunting

PLATOON B Michael Lyon Josh Husted

PLATOON D Michael Romanowski

INVESTIGATORS Rebekah Springer

Michael Simpson David Buttigieg Alex Linke Jeff Whipple

POLICE OFFICERS Seth Barone

Josh Bouchard Christopher Bukoski Nichole Cordero Nicholas Hill Josh Husted Nicholas Krumm Brent Macumber Michael Manzo Kyle McCanham Scott McIntyre Gina Moody

Anthony Paredes Michael Pranger Evan Rothe Stefan Syts Lisa Wayner Jordan Zale

DISPATCHERS FULL TIME

Sharon Blair Joya Davis Jamie Irwin

Steven Lemiere-Bozynski

Antoinette Licari Joseph Misiak Daniel Ruby Melissa Toole

DISPATCHERS PART TIME Janice Delinko

Maria Kaminske Sarah Wiggins

Vacant

STAFF & SERVICES FULL TIME

COORDINATOR

Ellen DeView

RECORDS CLERK FULL TIME Jennifer Davis

SECRETARY RECORDS CLERK PART TIME

Michelle Hiser Brandi Ljungvall

Vacant

PARKING FULL TIME ENFORCEMENT PART TIME ASSISTANTS

James Lotridge Kenneth Hitchcock Howard Jacobs Robert Prew Linda Rodriguez

Christine Williams

PARKING METER

METER PART TIME

MAINTENANCE

AND

COLLECTION

GUARDS

Rick Waynick Cheryl Vassallo

Vacant

SCHOOL P CROSSING

PART TIME

Rick Argus Evan Berns * Tanalee Casey Suann Darmody Alexandra Harris

Laura Keaton
Thomas Lynch
George Oltman, Jr.
Iris Poole *
Audrey Reed
Steffanie Rhymes
Mary Sczesny *

* SUBSTITUTE

2021 PERSONNEL CHANGES

PROMOTED

Josh Husted to Sergeant Alex Linke to Sergeant

POSITION ELIMINATED

None

RECRUITED

Nichole Cordero, Police Officer Shane Konkol, Police Officer Anthony Paredes, Police Officer Michael Pranger, Police Officer Lisa Wayner, Police Officer Maria Kaminske, Dispatcher (part time) Sarah Wiggins, Dispatcher (part time)

RESIGNED

Shane Konkol, Police Officer Yacoub Iseid, Police Officer Casey Pedersen, Police Officer Kristen Longtine, Dispatcher (part time) David Sharick, Dispatcher (part time) Kenneth McQuillan, Crossing Guard

RETIRED

Darlene St. Charles, Records Clerk (part time) Terez Willis, Dispatcher

TRANSFERRED

Officer Gina Moody to Services Officer Gwynn Duffy to Finance Department

2021 SENIORITY DISTRIBUTION

| OFFICER / SERGEANT 00-04 years of service 05-09 years of service 10-14 years of service 15-19 years of service | | 10 9 2 1 3 |
|--|-------|----------------------------|
| 20-24 years of service 25-30 years of service | | 3 |
| | Total | 26 |
| 05-09 years of service 10-14 years of service 15-19 years of service 20-24 years of service 25-30 years of service 31-35 years of service | ER | 0 0 2 3 2 0 |
| CHIEF | Total | 7 |
| 35 + years of service | | 1 |
| | Total | 1 |
| 00-04 years of service 05-09 years of service 10-14 years of service 15-19 years of service 20-24 years of service 25-29 years of service 30-35 years of service | | 7 3 1 0 0 0 |
| | Total | 12 |
| SWORN OFFICER SENIORITY AVERAGE | , | 11.43 YEARS |
| DISPATCHER SENIORITY AVERAGE (FULL TIME) | , | 10.62 YEARS |
| DISPATCHER SENIORITY AVERAGE (PART TIME) | | 1.57 YEARS |

SUMMARY OF OFFENSES, ARRESTS, AND VIOLATIONS

The primary goal of the department is protection of life and property, prevention of crime, and apprehension of criminal perpetrators. We strive to deliver the best possible police service in a professional, courteous manner to the residents of the city and to those who work, travel, and shop here.

In 2021, we responded to 20,022 calls for police service, a decrease of 5.41% from the previous year. These calls are classified into three separate groups:

- Group A includes: Robbery, forcible sexual assaults, larceny, burglary, damage to property, etc.
- Group B includes: Operating While Intoxicated (OWI), disorderly conduct, liquor law violations, misdemeanor sex offenses, non-violent family offenses, etc.
- Group C includes: Traffic offenses, traffic crashes, juvenile offenses, warrant arrests, general patrol activity, etc.
- Group A incidents were up 15.58% 2020 = 308 2021 = 356
- Group A arrests were up 63.33% 2020 = 30 2021 = 49
- Group B incidents were down 5.26% 2020 = 133 2021 = 126
- Group B arrests were up 24.19% 2020 = 62 2021 = 77
- Group C incidents were down 5.59% 2020 = 20,728 2021 = 19,569
- Group C arrests were down 5.63% 2020 = 71 2021 = 67
- Traffic citations were up 23.64% 2020 = 2,859 2021 = 3,535
- Total parking violations were up 27.71% 2020 = 28,052 2021 = 35.825

SUMMARY OF OFFENSES THREE YEAR TREND

| OFFENSES | 2021 | 2020 | 2019 | 3 YEAR |
|--------------------------------|------|------|------|---------|
| | | | | AVERAGE |
| CRIMINAL HOMICIDE | 0 | 0 | 0 | 0 |
| CRIMINAL SEXUAL CONDUCT I, III | 0 | 0 | 3 | 1.00 |
| ROBBERY | 2 | 1 | 1 | 1.33 |
| ASSAULT ALL | 51 | 34 | 46 | 43.66 |
| BURGLARY | 8 | 14 | 20 | 14.00 |
| LARCENY | 99 | 80 | 94 | 91.00 |
| MOTOR VEHICLE THEFT | 18 | 10 | 8 | 12.00 |
| ARSON | 0 | 0 | 0 | 0 |
| CRIMINAL SEXUAL CONDUCT II, IV | 2 | 1 | 2 | 1.66 |
| FORGERY / COUNTERFEITING | 7 | 4 | 5 | 5.33 |
| FRAUD | 72 | 89 | 110 | 90.33 |
| EMBEZZLEMENT | 2 | 3 | 8 | 4.33 |
| VANDALISM | 47 | 33 | 33 | 37.66 |
| OPERATING WHILE INTOXICATED | 44 | 27 | 95 | 55.33 |
| | | | | |
| TOTALS | 352 | 296 | 425 | 357.66 |

ADULT ARREST COMPARISON REPORT

| OFFENSES | 2021 | 2020 | 2019 | 3 YEAR AVERAGE |
|---|-----------------|-----------------|-------------------|------------------------|
| CRIMINAL SEXUAL CONDUCT I, III | 0 | 0 | 1 | .33 |
| HOMICIDE | 0 | 0 | 0 | 0.00 |
| ROBBERY | 0 | 0 | 0 | 0.00 |
| ASSAULT | 33 | 15 | 25 | 24.33 |
| BURGLARY | 1 | 3 | 0 | 1.33 |
| LARCENY | 15 | 9 | 21 | 15.00 |
| MOTOR VEHICLE THEFT | 0 | 2 | 1 | 1.00 |
| ARSON TOTAL PART A | 0 49 | 0 29 | 0 48 | 1.00 42.00 |
| IOIAL PARTA | 49 | 29 | 40 | 42.00 |
| CRIMINAL SEXUAL CONDUCT II, IV | 0 | 1 | 0 | .33 |
| FORGERY / COUNTERFEITING | 0 | 0 | 0 | 0.00 |
| FRAUD | 3 | 5 | 10 | 6.00 |
| EMBEZZLEMENT | 2 | 1 | 4 | 2.33 |
| VANDALISM | 7 | 4 | 3 | 4.66 |
| OPERATING WHILE INTOXICATED | 39 | 26 | 86 | 50.33 |
| OTHER PART B *TOTAL PART B | 25 76 | 26 63 | 23 126 | 24.66 88.33 |
| WARRANT ARRESTS | 15 | 25 | 85 | 41.66 |
| MISCELLANEOUS DRIVING OFFENSES TOTAL PART C | 52 67 | 46 71 | 155 240 | 84.33 126.00 |
| | | | | |
| GRAND TOTAL | 192 | 163 | 414 | 256.33 |

ADULT ARREST BY MONTH REPORT

| MONTH | 2021 | 2020 | 2019 | 3 YEAR AVERAGE |
|-----------|------|------|------|----------------|
| JANUARY | 5 | 32 | 41 | 26.00 |
| FEBRUARY | 5 | 32 | 46 | 27.66 |
| MARCH | 8 | 20 | 43 | 23.66 |
| APRIL | 7 | 0 | 34 | 13.66 |
| MAY | 17 | 5 | 29 | 17.00 |
| JUNE | 7 | 7 | 38 | 17.33 |
| JULY | 14 | 3 | 36 | 17.66 |
| AUGUST | 16 | 9 | 27 | 17.33 |
| SEPTEMBER | 15 | 8 | 33 | 18.66 |
| OCTOBER | 12 | 14 | 24 | 16.66 |
| NOVEMBER | 8 | 6 | 23 | 12.33 |
| DECEMBER | 12 | 9 | 24 | 15.00 |
| TOTAL | 126 | 145 | 398 | 223.00 |

ACCIDENT SUMMARIES / TRENDS

| ACCIDENT TYPE | 2021 TOTAL | 2020 TOTAL | 2019 TOTAL | 3 YEAR AVERAGE |
|---------------------|------------|------------|------------|----------------|
| FATAL INJURY | 1 | 2 | 0 | 1 .00 |
| PERSONAL INJURY | 46 | 43 | 83 | 57.33 |
| PROPERTY DAMAGE | 573 | 466 | 743 | 594.00 |
| TOTAL ACCIDENTS | 620 | 511 | 826 | 652.33 |
| # PERSONS KILLED | 1 | 2 | 0 | 1.00 |

2021 PARKING VIOLATIONS SUMMARY

| PARKING VIOLATIONS | TOTAL |
|------------------------|--------|
| 2021 | 35,825 |
| 2020 | 28,052 |
| 2019 | 45,691 |
| 2018 | 40,637 |
| 2017 | 37,278 |
| 2016 | 34,078 |
| 2015 | 25,010 |
| 2014 | 34,127 |
| 2013 | 31,535 |
| 2012 | 30,182 |
| 2011 | 31,844 |
| 2010 | 27,695 |
| 2009 | 33,827 |
| 2008 | 34,592 |
| METER VIOLATIONS | TOTAL |
| 2021 | 33,775 |
| 2020 | 26,438 |
| 2019 | 42,110 |
| 2018 | 36,612 |
| 2017 | 32,691 |
| 2016 | 29,633 |
| 2015 | 20,842 |
| 2014 | 29,629 |
| 2013 | 28,162 |
| 2012 | 27,935 |
| 2011 | 29,737 |
| 2010 | 25,252 |
| 2009 | 30,314 |
| 2008 | 30,584 |
| NON - METER VIOLATIONS | TOTAL |
| 2021 | 2,050 |
| 2020 | 1,614 |
| 2019 | 3,581 |
| 2018 | 4,025 |
| 2017 | 4,587 |
| 2016 | 4,445 |
| 2015 | 4,168 |
| 2014 | 4,498 |
| 2013 | 3,373 |
| 2012 | 2,247 |
| 2011 | 2,107 |
| 2010 | 2,443 |
| 2009 | 3,508 |
| 2008 | 4,008 |

2021 MOVING VIOLATIONS SUMMARY

| MOVING HAZARDOUS VIOLATIONS | TOTAL |
|--|--|
| 2021 | 2,225 |
| 2020 | 1,672 |
| 2019 | 4,096 |
| 2018 | 3,512 |
| 2017 | 3,784 |
| 2016 | 3,637 |
| 2015 | 3,355 |
| 2014 | 3,707 |
| 2013 | 4,039 |
| 2012 | 2,285 |
| 2011 | 2,040 |
| 2010 | 2,275 |
| 2009 | 2,429 |
| 2008 | 3,100 |
| 2007 | 4,320 |
| 2006 | 4,739 |
| 2005 | 3,846 |
| 2004 | 3,637 |
| 2003 | 2,725 |
| | |
| MOVING NON-HAZARDOUS VIOLATIONS | TOTAL |
| MOVING NON-HAZARDOUS VIOLATIONS 2021 | TOTAL 1,310 |
| | |
| 2021 2020 2019 | 1,310 1,187 3,383 |
| 2021 2020 | 1,310 1,187 |
| 2021 2020 2019 2018 2017 | 1,310 1,187 3,383 3,645 3,176 |
| 2021 2020 2019 2018 | 1,310 1,187 3,383 3,645 |
| 2021 2020 2019 2018 2017 | 1,310 1,187 3,383 3,645 3,176 |
| 2021 2020 2019 2018 2017 2016 2015 | 1,310 1,187 3,383 3,645 3,176 2,795 3,464 4,280 |
| 2021 2020 2019 2018 2017 2016 2015 | 1,310 1,187 3,383 3,645 3,176 2,795 3,464 |
| 2021 2020 2019 2018 2017 2016 2015 | 1,310 1,187 3,383 3,645 3,176 2,795 3,464 4,280 |
| 2021 2020 2019 2018 2017 2016 2015 2014 | 1,310 1,187 3,383 3,645 3,176 2,795 3,464 4,280 4,525 |
| 2021 2020 2019 2018 2017 2016 2015 2014 2013 2012 | 1,310 1,187 3,383 3,645 3,176 2,795 3,464 4,280 4,525 4,325 |
| 2021 2020 2019 2018 2017 2016 2015 2014 2013 2012 2011 | 1,310 1,187 3,383 3,645 3,176 2,795 3,464 4,280 4,525 4,325 3,082 3,054 4,551 |
| 2021 2020 2019 2018 2017 2016 2015 2014 2013 2012 2011 2010 | 1,310 1,187 3,383 3,645 3,176 2,795 3,464 4,280 4,525 4,325 3,082 3,054 |
| 2021 2020 2019 2018 2017 2016 2015 2014 2013 2012 2011 2010 2009 | 1,310 1,187 3,383 3,645 3,176 2,795 3,464 4,280 4,525 4,325 3,082 3,054 4,551 |
| 2021 2020 2019 2018 2017 2016 2015 2014 2013 2012 2011 2010 2009 2008 | 1,310 1,187 3,383 3,645 3,176 2,795 3,464 4,280 4,525 4,325 3,082 3,054 4,551 2,378 |
| 2021 2020 2019 2018 2017 2016 2015 2014 2013 2012 2011 2010 2009 2008 2007 | 1,310 1,187 3,383 3,645 3,176 2,795 3,464 4,280 4,525 4,325 3,082 3,054 4,551 2,378 2,119 2,390 |
| 2021 2020 2019 2018 2017 2016 2015 2014 2013 2012 2011 2010 2009 2008 2007 2006 | 1,310 1,187 3,383 3,645 3,176 2,795 3,464 4,280 4,525 4,325 3,082 3,054 4,551 2,378 2,119 |



CALLS FOR SERVICE

| 2021 | 20,022 |
|------|--------|
| 2020 | 21,167 |
| 2019 | 20,537 |
| 2018 | 21,032 |
| 2017 | 17,945 |
| 2016 | 14,863 |
| 2015 | 16,771 |
| 2014 | 17,678 |
| 2013 | 18,372 |
| 2012 | 16,571 |
| 2011 | 16,983 |
| 2010 | 17,713 |
| 2009 | 16,031 |
| 2008 | 20,104 |
| 2007 | 18,749 |
| 2006 | 19,997 |
| 2005 | 20,003 |
| 2004 | 20,004 |
| 2003 | 19,628 |
| 2002 | 20,978 |
| 2001 | 19,276 |
| 2000 | 19,469 |
| 1999 | 21,150 |
| 1998 | 21,250 |
| 1997 | 20,950 |
| 1996 | 20,094 |
| 1995 | 19,269 |
| 1994 | 18,864 |
| 1993 | 19,900 |
| 1992 | 18,579 |
| | |

2021 JUVENILE ARRESTS / DISPOSITIONS

| | 2021 | 2020 | 2019 |
|--|------|------|------|
| ARRESTS MALE FEMALE TOTAL | 5 | 6 | 6 |
| | 8 | 6 | 3 |
| | 13 | 12 | 9 |
| FELONY * | 3 | 3 | 1 |
| MISDEMEANOR * | 12 | 14 | 15 |
| DISPOSITIONS PARENTAL CONFERENCE YOUTH ASSISTANCE JUVENILE COURT | 0 | 0 | 2 |
| | 11 | 8 | 6 |
| | 2 | 4 | 1 |

^{*} MAY REPRESENT MULTIPLE CHARGES



AUXILIARY POLICE REPORT

The Auxiliary Police is comprised of dedicated volunteers who either live or work in the City of Birmingham.

Each member has been trained through the Police Academy Reserve Officer Training Program.

Auxiliaries assist regular officers during many special events held throughout the year and act as back up to the regular officers on patrol. Members of the Auxiliary Police are perhaps most visible while providing crowd, traffic control, and security for high school sporting events and also while participating in foot patrol assignments in the downtown area throughout summer.

AUXILIARY POLICE ROSTER AS OF DECEMBER 31, 2021

CHIEF

Kurt Gerber

LIEUTENANTS

Timothy Griswold

SERGEANTS

Berge Avesian Robert Denton Brian Fitzerman

OFFICERS

Alex Calderone
Brian Farrar
James Glavin
Brennan Hamilton
David Jevahirian
Robert Prew
Kyle Ramfos
Michel Saikalis
Thomas Stroble
Charles Tallinger
Michael Wooley



Fwd: Phone Call - Pat Andrews

1 message

Tom Markus <tmarkus@bhamgov.org>
To: Alex Bingham <abingham@bhamgov.org>

Tue, Apr 5, 2022 at 1:25 PM

----- Forwarded message ------

From: Lauren Wood <Lwood@bhamgov.org>

Date: Tue, Apr 5, 2022 at 11:57 AM Subject: Re: Phone Call - Pat Andrews To: Brad Host

Shost@bhamgov.org>

Cc: Tom Markus <tmarkus@bhamgov.org>

Hi Brad.

This item for a potential location of site amenities on the vacant space at Fire Station #2 has not had any further action.

In fact, we have been working on getting a "draft" concept plan to foster discussion with the Parks and Recreation Board.

We continue to keep this item on our radar for future discussions.

We will provide further updates on this matter, as they become available.

Lauren

Lauren Wood

Director of Public Services

City of Birmingham

Department of Public Services

851 S. Eton, Birmingham, MI 48009

Direct Dial: 248.530.1702

On Tue, Apr 5, 2022 at 11:11 AM Brad Host bhamgov.org> wrote:

Dear Lauren,

Can you update me on Parks and Rec Board's consideration of pocket park East of Fire Station #2?

Thanks in advance,

Brad

Sent from my iPhone

On Apr 5, 2022, at 10:57 AM, Lauren Wood < Lwood@bhamgov.org > wrote:

Hi Brad,

I was out of the office yesterday, but heard your voice message.

Today, I am busy catching up now, so please send me an email about the reason for your call.

It will be more efficient, if you can let me know via email and I will get back to you.

Hope all is well!

Information Only

Lauren

Lauren Wood

Director of Public Services

City of Birmingham **Department of Public Services**851 S. Eton, Birmingham, MI 48009

Direct Dial: 248.530.1702



Fwd: SEMCOG General Assembly notes for the Monday 3/28 meeting record

1 message

Tom Markus <tmarkus@bhamgov.org>
To: Alex Bingham <abingham@bhamgov.org>

Mon, Mar 28, 2022 at 8:34 AM

----- Forwarded message -----

From: Andrew Haig <ahaig@bhamgov.org>

Date: Mon, Mar 28, 2022 at 7:28 AM

Subject: SEMCOG General Assembly notes for the Monday 3/28 meeting record To: Jana Ecker <Jecker@bhamgov.org>, Tom Markus <tmarkus@bhamgov.org> Co: Therese Longe <tlonge@bhamgov.org>, Katie Schafer <kschafer@bhamgov.org>

Summary notes I took at the SEMCOG mee ng last week for sharing with the community.

Andrew

SEMCOG General Assembly notes:

General news:

- The region is flourishing & starting a major ad campaign "Detroit wins"
- Orion Township is investing heavily in EV infrastructure after the GM plant announcement. Numerous other communities are looking into this, but takeup is slow at this time.
- SEMCOG have an online EV toolkit to help communities plan appropriately.
- Ordinances need updating to the new needs.

Legislature news:

- The recent Omnibus package included over \$150M for EM MI communities, however Birmingham is not one of the ones listed as receiving any of these funds
- \$4.7B bill has been passed by the legislature, however \$3.1B of the funds are Covid related and are not part of normal budget allocations. Has no additional stormwater or road infrastructure funds in it
- Census 2020 results are negatively impacting revenue sharing indicating regional population shrinkage.
- The Infrastructure act has increased local funds available over the next 5 years (amount not specified)
- Statewide, 45% of local roads are rated in poor condition, needs additional funding support
- Traffic safety, water & infrastructure taskforces are starting this year
- Transportation Alternative Program (TAP) funding is available: Planning assistance & Stormwater is also an eligible item
- There is a Green Infrastructure allocation of \$1M available for the whole region perhaps Birmingham can apply for partial funding for the Adams Park rain garden cost
- Social Districts have been made permanent & the 2024 expiration date is no longer in force



Christina Woods < cwoods@bhamgov.org>

Fwd: Oakland County Parks and Recreation Community Grants Program - Congratulations!

1 message

Tom Markus <tmarkus@bhamgov.org>

Thu, Apr 7, 2022 at 6:31 AM

To: Alex Bingham <abingham@bhamgov.org>, Christina Woods <cwoods@bhamgov.org>

Place in this agenda under info only.

----- Forwarded message -----

From: Carrie Laird <Claird@bhamgov.org>

Date: Wed, Apr 6, 2022 at 7:47 PM

Subject: Fwd: Oakland County Parks and Recreation Community Grants Program - Congratulations!

To: Wood, Lauren <Lwood@bhamgov.org>, Tom Markus <tmarkus@bhamgov.org>

Great news!

----- Forwarded message ------

Date: Wed, Apr 6, 2022, 17:54

Subject: Oakland County Parks and Recreation Community Grants Program - Congratulations!

To: claird@bhamgov.org <claird@bhamgov.org>

Carrie -

Congratulations! At its regular meeting on April 6, 2022 the Oakland County Parks and Recreation Commission awarded the City of Birmingham a grant of \$100,000 for the City of Birmingham Adams Park Development project.

You'll be receiving a more formal announcement and award letter from the Parks Commission and County Board of Commissioners likely by Friday, with the grant agreement to follow within a couple weeks. But we didn't want to hold up letting folks know – we know you've been patiently waiting as we've worked through this first grant cycle. We'll also be putting out a press release for each grant, in partnership with your county commissioner(s). If you're able to send us a quote from your community to include in the release that would be fantastic – you can send to Jane Peterson (cc'd in this e-mail) or just feel free to reply all.

Thank you for submitting such a great project – we look forward to working with you!

Melissa

Melissa Prowse, CPRP

Manager – Parks and Recreation / ADA Coordinator

Planning & Community Services

Information Only

prowsem@oakgov.com

(248) 249-2801

My work schedule is Monday – Friday, 8:30 a.m. – 5:00 p.m.

cid:image001.png@01D812C7.5B345DA0

2 attachments



image001.jpg 26K



image001.jpg 26K



March 31, 2022

Oakland County 1200 N. Telegraph Road Pontiac, MI 48341

Re: Local Government Critical Infrastructure Grant

Dear Grant Application Review Team,

On behalf of the City of Birmingham, I would like to express our sincere gratitude for the opportunity to apply for this grant being offered by Oakland County. Budgets for all communities, just like the County's, are stretched thin as we balance providing the high level of service to our citizens that they expect and deserve, against the rising costs to provide those services. A common adage in government is to try to "make due with less", which tends to lead us to be in a reactionary stance with respect to maintaining and managing our critical infrastructure systems. We see this grant opportunity as a "helping hand" towards strengthening our water and sewer system asset management plans, and providing clear direction and costs for implementing the much needed rehabilitation, repair and maintenance efforts in the near future for our most critical infrastructure systems that provide safe, clean drinking water and disposal of sanitary waste.

In review of the goals that were stated for this grant, we believe the projects we selected strongly meet all of the criteria stated, namely:

- Protecting Public Health
- Preserving Natural Resources and a Healthy Environment
- Maintaining Reliable, High Quality Service
- ➤ Assuring Value for Investment
- ➤ Contribute to Economic Prosperity

Water and sewer systems by their nature are paramount to protecting public health, and maintaining the reliability and functionality of these systems is one of the most important functions of City government. This grant will assist the City with not just continuing, but advancing our efforts to plan for future repair, rehabilitation and improvement of the system. The costs for addressing our infrastructure needs can be seen as staggering, but comprehensive planning at this time will guide budgeting and utility rate-setting decisions in the future to spend the available funding as wisely as possible. Managing our infrastructure systems well is crucial to the economic prosperity of the City, as failure to maintain reliable, high quality services will lead to Birmingham being a much less desirable place to live or do business.

Information Only

The City has asked its consulting engineer, Hubbell, Roth & Clark, Inc. (HRC) to assist with the grant application and compilation of supporting materials. HRC has provided their expertise and assistance to the City for more than 25 years for all things related to the water distribution, combined/sanitary sewer system, storm drainage system, and storm water/Rouge River regulatory compliance. In the past, HRC has helped the City develop a long term plan for addressing critical sewer infrastructure deficiencies, which led to the public approval for a bond issue to complete improvements. HRC was instrumental in development of a Storm Water Utility in the City to appropriately apportion sewage disposal charges related to storm water in the combined sewer system.

The City of Birmingham is requesting the maximum grant amount of \$100,000 to leverage a matching investment by the City to make significant strides in our planning efforts with respect to our water distribution and sewage disposal systems. The initiatives that we propose to pursue with the assistance of the grant funding will include:

- further developing our current asset management plans for water and sewer systems;
- integrating the assets into CMMS software system (Cartegraph) that the City has recently invested in:
- continuing evaluation of the condition and remaining life of those assets;
- analyzing the water and sewer system models to determine improvement needs considering climate change and resiliency principles;
- evaluating potential sites for implementation of "green" infrastructure to reduce peak flows in the combined sewer system (both GWK and EF Drain districts);
- prioritizing the repair, rehabilitation and improvement of the assets going into the future;
- analyzing the current funding structure through water and sewer rates, and exploring scenarios for funding future repair, rehabilitation and improvements of the assets;
- developing multi-year programs for replacing undersized water mains and addressing needed sewer repair, rehabilitation and improvements; and
- updating annual maintenance programs for both the water and sewer system.

Work on these programs would be by City staff and consultants. These efforts will build on and advance the investments made by the City for ongoing infrastructure planning efforts, which include water system asset management plans and reliability studies required by EGLE, SAW grant effort for the combined/sanitary and storm sewer systems, and Cartegraph CMMS software implementation to water and sewer system assets.

We thank you again for making the opportunity available to apply for this grant to assist us with critical infrastructure planning. If you have any questions about the application or require additional information, please feel free to contact me by phone at email at 248-530-1839 (office), 248-535-3493 (cell), or by email at cityengineer@bhamgov.org

Very truly yours,

James J. Surhigh, P.E. Consulting City Engineer

pc: WRC – Mr. Jim Nash, Oakland County Water Resources Commissioner Birmingham – Thomas Markus, Jana Ecker, Lauren Wood, Scott Ziel**inski**