

**AGENDA**  
**VIRTUAL BIRMINGHAM DESIGN REVIEW BOARD MEETING**  
**WEDNESDAY – June 3<sup>rd</sup>, 2020**  
**\*\*\*\*\* 7:15 PM\*\*\*\*\***

**Link to Access Virtual Meeting:** <https://zoom.us/j/97362127124>  
**Telephone Meeting Access:** 877-853 -5247  
**Meeting Code:** 973 6212 7124

- 1) Roll Call
- 2) Approval of the DRB Minutes of April 15<sup>th</sup> and May 20<sup>th</sup>, 2020
- 3) Public Hearing
- 4) Design Review
  - A. 470 N. Old Woodward (Façade Update)
- 5) Sign Review
- 6) Study Session
  - A. The Birmingham Plan 2040
- 7) Miscellaneous Business and Communication
  - A. Staff Reports
    1. Administrative Sign Approvals
    2. Administrative Approvals
    3. Action List – 2020
- 8) Adjournment

*Notice:* Individuals requiring accommodations, such as interpreter services for effective participation in this meeting should contact the City Clerk's Office at [\(248\) 530-1880](tel:2485301880) at least one day in advance of the public meeting.

Las personas que requieren alojamiento, tales como servicios de interpretación, la participación efectiva en esta reunión deben ponerse en contacto con la Oficina del Secretario Municipal al [\(248\) 530-1880](tel:2485301880) por lo menos el día antes de la reunión pública. (Title VI of the Civil Rights Act of 1964).

**A PERSON DESIGNATED WITH THE AUTHORITY TO MAKE DECISIONS MUST BE PRESENT AT THE MEETING.**

**DESIGN REVIEW BOARD**  
**MINUTES OF APRIL 15, 2020**  
Held Remotely Via Zoom And Telephone Access

Minutes of the regular meeting of the Design Review Board ("DRB") held Wednesday, April 15, 2020. Chairman John Henke called the meeting to order at 7:54 p.m.

**1) ROLL CALL**

**Present:** Chairman John Henke; Vice-Chairman Keith Deyer; Board Members Gigi Debbrecht, Natalia Dukas, Patricia Lang, Joseph Mercurio, Michael Willoughby

**Absent:** Alternate Board Member Alexander Jerome

**Administration:** Nicholas Dupuis, City Planner  
Laura Eichenhorn, Transcriptionist

Chairman Henke thanked everyone for joining the virtual meeting and reviewed protocol for virtual meetings.

**04-29-20**

**2) Approval Of Minutes**

**Motion by Mr. Deyer**

**Seconded by Ms. Dukas to approve the DRB Minutes of March 4, 2020 as submitted.**

**Motion carried, 7-0.**

VOICE VOTE

Yeas: Deyer, Dukas, Henke, Lang, Mercurio, Willoughby, Debbrecht

Nays: None

**04-30-20**

**3) Public Hearing**

None.

**04-31-20**

**4) Design Review**

**A. 400 S. Old Woodward – The Forefront**

City Planner Dupuis and Nichole McNamara, architect, reviewed the item. Ms. McNamara outlined all proposed changes to the building for the Board members.

City Planner Dupuis confirmed for Chairman Henke that the DRB could approve the plans with conditions should they see fit.

**Motion by Mr. Willoughby**

**Seconded by Ms. Lang to approve the Design Review application for 400 S. Old Woodward with the following conditions: 1. The applicant must revise the plans to show all 1-bedroom units at a minimum of 600 sq. ft. in floor area, or obtain a variance from the Board of Zoning Appeals. 2. The applicant must submit site plans showing 38 off-street parking spaces, or obtain a variance from the Board of Zoning Appeals.**

Mr. Barbat explained that they are considering two different options for car lift logistics: either neighbors would leave their keys in their cars, since the garage is secured, so cars can be moved by other neighbors if need be, or the building would bring on a full-time valet to coordinate parking. He emphasized that it is in the building's best interest to make it as user friendly as possible so as not to inconvenience residents at all.

Ms. McNamara added that the applicant considered looking for more parking nearby or seeking a variance for less parking, but that ultimately the applicant decided it was in the residents' and the larger community's best interest for sufficient parking to be provided on-site.

**Motion carried, 7-0.**

**VOICE VOTE**

Yeas: Willoughby, Lang, Mercurio, Debbrecht, Deyer, Dukas, Henke

Nays: None

Don Amalfitano explained he is part of the operating entity of 294 E. Brown, and that they are concerned that residents of 400 S. Old Woodward will seek parking in 294 E. Brown's lot. Mr. Amalfitano asked that the applicant consider telling residents during the onboarding process that they will be towed if they park in 294 E. Brown's lot.

Mr. Barbat said he fully understood Mr. Amalfitano's concern and that he would work with him to make sure no parking conflicts arise.

**04-32-20**

**5) Sign Review**

None.

**04-33-20**

**6) Study Session**

**A. Canopy Signs**

City Planner Dupuis reviewed the item.

**Motion by Mr. Willoughby**

**Seconded by Mr. Mercurio to recommend approval to the City Commission the proposed amendments to Articles 1 and 3 of the Sign Ordinance to adjust the definition of canopy sign and canopy valence, add definitions for canopy, awning, awning sign, awning valence, and awning shed, and to amend the Permanent Business Sign Standards and Table B.**

**Motion carried, 7-0.**

**VOICE VOTE**

Yeas: Willoughby, Mercurio, Debbrecht, Deyer, Dukas, Henke, Lang

Nays: None

Members of the DRB commended City Planner Dupuis for his work on the definitions.

B. The Birmingham Plan (2040)

**04-34-20**

**7) Miscellaneous Business And Communications**

**A. Staff Reports**

**1. Administrative Sign Approvals**

**2. Administrative Approvals**

**3. Action List - 2020**

**04-35-20**

**Adjournment**

**Motion by Ms. Lang**

**Seconded by Mr. Willoughby to adjourn the DRB meeting of April 15, 2020 at 8:44 p.m.**

**Motion carried, 7-0.**

**VOICE VOTE**

Yeas: Lang, Willoughby, Debbrecht, Dukas, Deyer, Henke, Mercurio

Nays: None

Nicholas Dupuis  
City Planner

**DESIGN REVIEW BOARD  
MINUTES OF MAY 20, 2020**

Held Remotely Via Zoom And Telephone Access

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The regular meeting of the Design Review Board ("DRB"), scheduled for Wednesday, May 20, 2020, was cancelled at 7:10 p.m. due to lack of a quorum.

Nicholas Dupuis  
City Planner

DRAFT



# MEMORANDUM

Planning Division

**DATE:** June 3<sup>rd</sup>, 2020

**TO:** Design Review Board

**FROM:** Nicholas Dupuis, City Planner

**SUBJECT:** 470 N. Old Woodward – Design Review

**Zoning:** B2 (General Business) & D2 (Downtown Overlay)

**Existing Use:** 2-Story Commercial Building

## Introduction

The applicant is proposing to complete extensive façade renovations to an existing two-story commercial building in Downtown Birmingham. In addition to the Design Standards outlined in Article 7, the applicant will be required to meet the Downtown Overlay Architectural Standards in Article 3, Section 3.04 (E) which state that (among others):

1. At least 90% of the exterior finish material on all facades that face a street shall be limited to the following: glass, brick, cut stone, cast stone, coarsely textured stucco, or wood. Dryvit or E.F.I.S is prohibited.
2. The primary colors of building exteriors shall be compatible with the colors of adjacent buildings and in character with the surrounding area, although the trim may be of a contrasting color.

## Building Exterior

As described above, the applicant is proposing wholesale exterior changes to the existing building façade. The basics of the proposal include the removal of the existing EFIS and stone base, and the addition of new façade materials, new storefront doors, suspended steel planters, mesh panels, paint, a parapet extension, and some new rooftop units. The following materials are proposed for the project:

New Material (Color)	Location
Shou Sugi Ban Siding (Flame Treated Wood)	North, West, South Upper Facades
Honed Granite (Black)	North, West, South Bases
Painted Steel Rail (Southern Vine)	West Elevation Along Sidewalk
Painted Wood Door (Southern Vine)	Center of West Elevation for Vacant Space
Painted Steel Planters (Carolina Gull)	West Elevation between 1 <sup>st</sup> & 2 <sup>nd</sup> Floor
Metal Mesh Panels (Metallic Steel)	North & South Elevation
Parapet Cap (Dark Bronze)	Top of Extended Parapet
Boston Ivy (Natural)	South Facade
Concrete Steps (Unpainted)	West Elevation on North Side of Building
Copper Wrapped Shaft (Aged Copper)	West Elevation Center, partial 1 <sup>st</sup> & full 2 <sup>nd</sup> Floor

The applicant's proposal to utilize exclusively wood, stone and metal in the façade renovation meets the façade material requirements outlined above for the Downtown Overlay. Additionally, the proposed color scheme is compatible with the colors of adjacent buildings and in character with the surrounding area. The building directly to the north contains much of the same style of material such as wood and aged bronze in a darker color scheme, while the buildings further south on the block follow the same modern design. The proposal does not necessarily compliment the vacant Junior League of Birmingham building directly adjacent to the south, but it could be considered an outlier.

The plans submitted show a "rework of dark bronze and clear insulated glass storefront," which suggests that there may be a removal or replacement of glass, notwithstanding the obvious new wood entry door for the vacant tenant space. However, due to the relocation of the door on the north end of the west elevation, it is apparent that new glass will indeed need to be installed at least in that location. Additionally, the proposal *appears* to maintain adherence to the glazing requirements outlined in the Zoning Ordinance, which requires no less than 70% of a storefront/ground floor façade between 1 and 8 feet above grade to be clear glazing. However, the applicant has not submitted glazing calculations that consider the newly proposed non-glass entry door nor specifications on new glass to ensure clear glazing. In summation, **the applicant must submit material specifications for all new glass to ensure a visual light transmittance of at least 80%, as well as glazing calculations showing storefront glazing at a minimum of 70%.**

As mentioned above, the applicant is also proposing a new exhaust fan and make up air unit on the rooftop of the building. To minimize the visual impact of such equipment from other points of observation, rooftop mechanical and other equipment are required to be obscured by a screenwall composed of materials compatible with the building or by landscaping demonstrated to provide an effective permanent visual barrier. The elevation drawings show the new rooftop units (RTUs) almost entirely visible from all facades even with the small extension of the parapet wall in the front of the building. Additionally, the applicant has not submitted any specification sheets on the proposed RTUs to ensure that they will be screened from public view. Thus, **the applicant must provide specification sheets on all proposed RTUs and provide adequate screening for such.**

### **Signage**

The elevation plans submitted do not show any new signage. However, a note exists on page A201 that states "new dimensional letters suspended from soffit above." Although no signage is shown on the plan, it is imperative to state that all signage is required to be placed on the buildings sign band, with only a couple of exceptions. In any event, all signage for new or existing tenants must be approved by the Planning Division, Design Review Board or Planning Board (Special Land Use Permit) before it may be installed on the new building façade.

### **Lighting**

There is a bit of a discrepancy on the plans in regards to lighting. The building plan on sheet A101 notes 18 surface mounted low intensity LED lights underneath the suspended steel planter, while the elevation drawings on sheet A201 note 8 LED exposed accent lights underneath the suspended steel planter. The applicant has not submitted specification sheets on the new lights, nor have they submitted a photometric plan to ensure that the light levels at the property lines meet the requirements of Article 4, Section 4.21 of the Zoning Ordinance. **The applicant must**

**clarify the amount on new light fixtures proposed underneath the suspended steel planter, submit specification sheets on all new fixtures, and provide a photometric plan showing illuminance levels at all property lines all to ensure conformance with Article 4, Section 4.21 of the Zoning Ordinance.**

### **Planning and Zoning**

There are two aspects of the proposal that relate to general planning and zoning issues on site. The first issue is the extension of the existing solid waste enclosure in the rear of the building. The proposed site plan (Sheet A001) notes that the extended screening will be comprised of a wood slat gate and screen to match the existing mechanical enclosure. Article 4, Section 4.54 (B)(8) requires trash enclosures to be comprised of a masonry screenwall with wood gates. The screenwall shall match the material of the principal building. The proposal appears to propose a portion of wood slat screenwall that does not meet the Zoning Ordinance, as a masonry screenwall is required. **The applicant must revise the site plans to propose a screening extension of masonry with wood gates to match the material of the principal building.**

The second issue is in regards to the suspended steel planter and its extension into the right-of-way. Article 4, Section 4.74 (D) requires approval from the Planning Board, Design Review Board and/or Historic District Commission for all removable architectural elements such as awnings, canopies, or marquees that project into the right of way provided that they are constructed to support applicable loads without any ground mounted supports on public property. **The Design Review Board should discuss the suspended steel planter and either allow the projection into the right-of-way, or require the applicant to reduce the size to fit within the boundaries of the property.**

### **Design Recommendation**

When reviewing the project against the standards of Article 7, Section 7.09 of the City of Birmingham Zoning Ordinance, staff makes the following observations:

1. All of the materials required by this section have been submitted for review.
  - *The applicant has NOT submitted all required application materials. Specification sheets on glass, RTUs and lighting are required, as well as a photometric plan.*
2. All provisions of this Zoning Ordinance have been complied with.
  - *The applicant has not fully complied with the Zoning Ordinance in regards to RTU screening, solid waste screening, and potentially lighting and glazing.*
3. The appearance, color, texture and materials being used will preserve property values in the immediate neighborhood and will not adversely affect any property values.
  - *The proposed improvements to the building will not likely adversely affect property values.*
4. The appearance of the building exterior will not detract from the general harmony of and is compatible with other buildings already existing in the immediate neighborhood.
  - *The overall design elements proposed does not appear to detract from the general harmony of the existing buildings in the neighborhood, and is compatible with Downtown Birmingham.*
5. The appearance of the building exterior will not be garish or otherwise offensive to the sense of sight.
  - *It does not appear that the proposed design elements are garish or otherwise offensive to the sense of sight.*

6. The appearance of the building exterior will tend to minimize or prevent discordant and unsightly properties in the City.
  - *The proposed improvements to the exterior of the building are not unsightly nor discordant.*
7. The total design, including but not limited to colors and materials of all walls, screens, towers, openings, windows, lighting and signs, as well as treatment to be utilized in concealing any exposed mechanical and electrical equipment, is compatible with the intent of the urban design plan or such future modifications of that plan as may be approved by the City Commission.
  - *It appears as though the design elements proposed are compatible with the intent of the urban design plan.*

### **Recommendation**

The Planning Division recommends that the Design Review Board **POSTPONE** the Design Review application for 470 N. Old Woodward pending receipt of the following:

1. The applicant must submit material specifications for all new glass to ensure a visual light transmittance of at least 80%, as well as glazing calculations showing storefront glazing at a minimum of 70%;
2. The applicant must provide specification sheets on all proposed RTUs and provide adequate screening for such;
3. The applicant must clarify the amount on new light fixtures proposed underneath the suspended steel planter, submit specification sheets on all new fixtures, and provide a photometric plan showing illuminance levels at all property lines all to ensure conformance with Article 4, Section 4.21 of the Zoning Ordinance;
4. The applicant must revise the site plans to propose a screening extension of masonry with wood gates to match the material of the principal building; and
5. The applicant must receive approval from the Design Review Board for the suspended steel planter to project into the right-of-way, or be required to reduce the size to fit within the boundaries of the property.

### **Sample Motion Language**

Motion to **POSTPONE** the Design Review application for 470 N. Old Woodward pending receipt of the following:

1. The applicant must submit material specifications for all new glass to ensure a visual light transmittance of at least 80%, as well as glazing calculations showing storefront glazing at a minimum of 70%;
2. The applicant must provide specification sheets on all proposed RTUs and provide adequate screening for such;
3. The applicant must clarify the amount on new light fixtures proposed underneath the suspended steel planter, submit specification sheets on all new fixtures, and provide a photometric plan showing illuminance levels at all property lines all to ensure conformance with Article 4, Section 4.21 of the Zoning Ordinance;
4. The applicant must revise the site plans to propose a screening extension of masonry with wood gates to match the material of the principal building; and

5. The applicant must receive approval from the Design Review Board for the suspended steel planter to project into the right-of-way, or be required to reduce the size to fit within the boundaries of the property.

**OR**

Motion to **APPROVE** the Design Review application for 470 N. Old Woodward with the following conditions:

1. The applicant must submit material specifications for all new glass to ensure a visual light transmittance of at least 80%, as well as glazing calculations showing storefront glazing at a minimum of 70%;
2. The applicant must provide specification sheets on all proposed RTUs and provide adequate screening for such;
3. The applicant must clarify the amount on new light fixtures proposed underneath the suspended steel planter, submit specification sheets on all new fixtures, and provide a photometric plan showing illuminance levels at all property lines all to ensure conformance with Article 4, Section 4.21 of the Zoning Ordinance;
4. The applicant must revise the site plans to propose a screening extension of masonry with wood gates to match the material of the principal building; and
5. The applicant must receive approval from the Design Review Board for the suspended steel planter to project into the right-of-way, or be required to reduce the size to fit within the boundaries of the property.

**OR**

Motion to **DENY** the Design Review application for 400 N. Old Woodward; the proposal does not meet the requirements of Article 7, Section 7.09 of the Zoning Ordinance.

Deal:

Sheet Title:

Sheet Number:

1 Site Plan  
scale: 1/8" = 1'-0"



Project:

Existing Building Facade Improvements  
470 North Old Woodward, Birmingham, MI 48009

Seal:

Issue Date:

REVIEW	01.08.2020
REVIEW	03.20.2020
DRB APPLICATION	04.16.2020

Sheet Title:

Proposed Building Plan

Sheet Number:

A101

EXISTING CITY TREE  
EXISTING PARKING METER (TYP.)  
EXISTING STREET PARKING (TYP.)

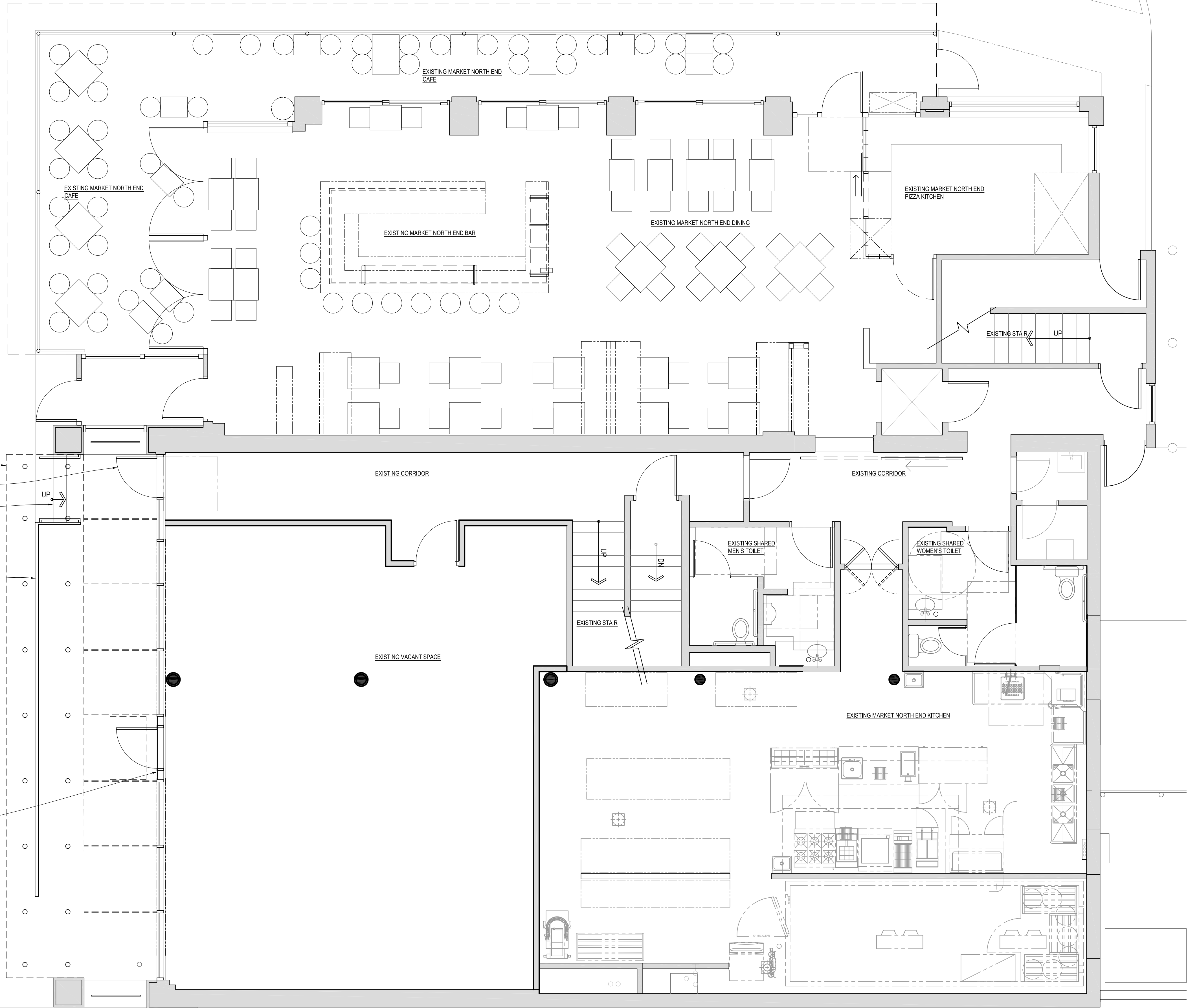
NEW SUSPENDED PAINTED METAL PLANTER  
WITH SURFACE MOUNTED LOW INTENSITY LED LIGHTS (18)

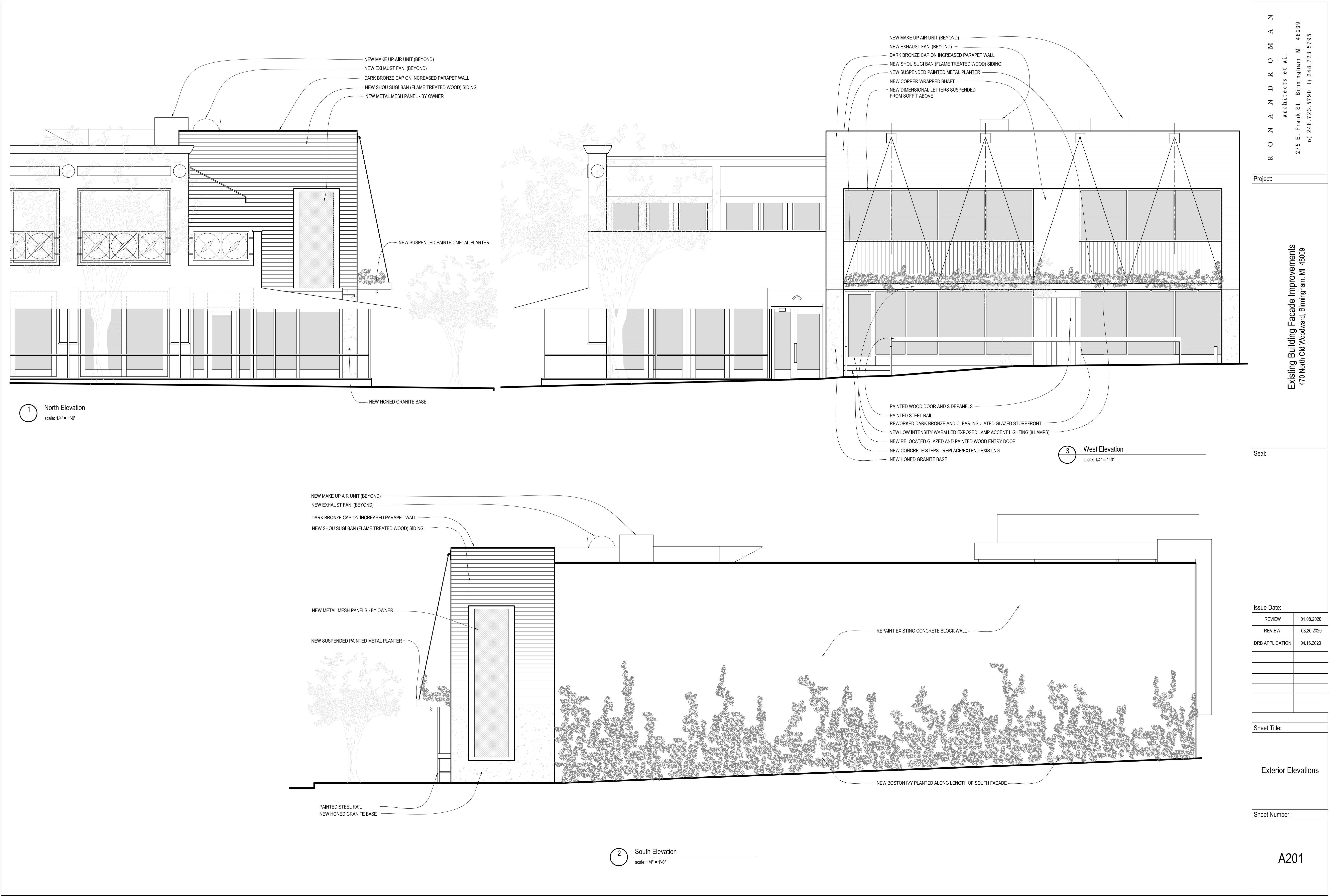
NEW RELOCATED GLAZED AND PAINTED WOOD ENTRY DOOR

NEW CONCRETE STEPS - REPLACE/EXTEND EXISTING

PAINTED STEEL RAIL

PAINTED WOOD DOOR AND SIDE PANELS IN  
REWORKED DARK BRONZE AND CLEAR INSULATED GLAZED STOREFRONT





R O N A N D R O M A N  
architects et al.  
275 E. Frank St. Birmingham, MI 48009  
o) 248.723.5790 f) 248.723.5795

Project:

Existing Building Facade Improvements  
470 North Old Woodward, Birmingham, MI 48009

Seal:

Issue Date:

REVIEW	01.08.2020
REVIEW	03.20.2020
DRB APPLICATION	04.16.2020

Sheet Title:

Exterior Elevations

Sheet Number:

A201

NEW GLAZED AND PAINTED WOOD SHARED ENTRY DOOR



NEW BRONZE CAP ON INCREASED PARAPET WALL  
NEW SHOU SUGI BAN (FLAME TREATED WOOD) SIDING

NEW METAL MESH PANELS - BY OWNER  
NEW COPPER WRAPPED SHAFT  
NEW SUSPENDED PAINTED METAL PLANTER  
PAINTED WOOD DOOR AND SIDE PANELS  
NEW HONED GRANITE BASE  
REWORKED DARK BRONZE AND CLEAR INSULATED GLAZED STOREFRONT  
PAINTED STEEL RAIL

1 Looking North from Old Woodward  
not to scale



NEW BRONZE CAP & EXTENDED FASCIA ON INCREASED PARAPET WALL  
NEW SHOU SUGI BAN (FLAME TREATED WOOD) SIDING

NEW COPPER WRAPPED SHAFT  
NEW SUSPENDED STAINLESS STEEL PLANTER WITH EXPOSED LOW INTENSITY LED LAMPS  
PAINTED WOOD DOOR AND SIDE PANELS

PAINTED STEEL RAIL  
REWORKED DARK BRONZE AND CLEAR INSULATED GLAZED STOREFRONT  
NEW CONCRETE STEPS - REPLACE/EXTEND EXISTING  
NEW HONED GRANITE BASE

2 Looking South from Old Woodward  
not to scale

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Project:

Existing Building Facade Improvements  
470 North Old Woodward, Birmingham, MI 48009

Seal:

Issue Date:

REVIEW	01.08.2020
REVIEW	03.20.2020
DRB APPLICATION	04.16.2020

Sheet Title:

Exterior Renderings

Sheet Number:

A202



1 Aerial View of Adjacent Properties



2 Old Woodward Ave. Street View Looking Northeast



3 Ravine Road Street View Looking Southeast

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Project:

Existing Building Facade Improvements  
470 North Old Woodward, Birmingham, MI 48009

Seal:

Issue Date:

REVIEW	01.08.2020
REVIEW	03.20.2020
DRB APPLICATION	04.16.2020

Sheet Title:

Aerial & Street Views

Sheet Number:

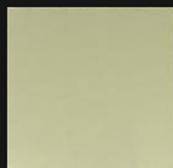
A301



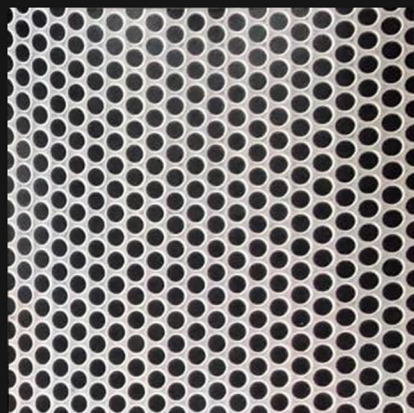
BUDG PAINT  
B-M 2138-10



STAINLESS  
PLANTER SUPPORT



METAL PLANTER  
B-M 2138-40



PERF STAINLESS  
FEATURE



AGED COPPER  
COPING &  
NEW VERT  
SHAFT @ FRONT

WOOD SIDING  
NAKAMOTO  
GENDAI NM1807



HONED GRANITE  
PIER BASES



## Final Site Plan & Design Review Application Planning Division

*Form will not be processed until it is completely filled out.*

### 1. Applicant

Name: ZERO NINE TWO SIX LLC  
Address: 470 North Old Woodward  
Birmingham, MI 48009  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email address: \_\_\_\_\_

### 3. Applicant's Attorney/Contact Person

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
w/ Copy to Thomas Lasky, 2 Corporate Drive, Ste 300, Southfield, MI 48076  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email address: \_\_\_\_\_

### 5. Required Attachments

- I. Two (2) paper copies and one (1) digital copy of all project plans including:
  - i. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject sites property lines;
  - ii. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
  - iii. A certified Land Survey;
  - iv. Interior floor plans;

### 6. Project Information

Address/Location of the property: 470 North Old Woodward,  
Birmingham, MI 48009  
Name of development: Existing Building "Park View"  
Sidwell #: 1925330001  
Current Use: Mixed Use: Salon, Pilates Studio, Kitchen for Restaurant,  
Proposed Use: Same - potential restaurant in Vacancy  
Area of Site in Acres: \_\_\_\_\_  
Current zoning: B-2, D-2 Overlay  
Is the property located in the floodplain? \_\_\_\_\_  
Name of Historic District Site is Located in: \_\_\_\_\_  
Date of Historic District Commission Approval: \_\_\_\_\_

### 2. Property Owner

Name: LPH Ventures IV, LLC  
Address: 2 Corporate Drive, Suite 300  
Southfield, MI 48076  
Phone Number: 248-613-0300  
Fax Number: 248-226-1607  
Email address: Thomas.Lasky@colliers.com

### 4. Project Designer/Developer

Name: Ron And Roman  
Address: 275 East Frank Street  
Birmingham, MI 48009  
Phone Number: 248-723-5790  
Fax Number: \_\_\_\_\_  
Email address: Darrell@ronandroman.com

- v. A Landscape Plan;
- vi. A Photometric Plan;
- vii. Colored elevation drawings for each building elevation;
- II. Specification sheets for all proposed materials, light fixtures and mechanical equipment;
- III. Samples of all proposed materials;
- IV. Photographs of existing conditions on the site including all structures, parking areas, landscaping and adjacent structures;
- V. Current aerial photographs of the site and surrounding properties;
- VI. Warranty Deed, or Consent of Property Owner if applicant is not the owner;
- VII. Any other data requested by the Planning Board, Planning Department, or other City Departments.

Date of Application for Preliminary Site Plan: \_\_\_\_\_  
Date of Preliminary Site Plan Approval: \_\_\_\_\_  
Date of Application for Final Site Plan: \_\_\_\_\_  
Date of Final Site Plan Approval: \_\_\_\_\_  
Date of Application for Revised Final Site Plan: \_\_\_\_\_  
Date of Revised Final Site Plan Approval: \_\_\_\_\_  
Date of Design Review Board Approval: \_\_\_\_\_  
Will proposed project require the division of platted lots? \_\_\_\_\_  
No  
Will proposed project require the combination of platted lots? \_\_\_\_\_  
No

## 7. Details of the Proposed Development (attach separate sheet if necessary)

Proposed improvements to exterior of existing building at Tenant's cost per agreement with Owner/Landlord.

Includes replacement of existing EIFS on Old Woodward façade with flame treated wood siding (shou sugi ban) and black granite base, stainless steel suspended planter on stainless steel cables, removal of existing stone base (replaced with painted steel rail) and extension of existing concrete steps.

Rework existing dark bronze storefront to relocate main entrance door, provide new wood entrance door to vacant space, and allow for potential ductwork to rooftop within copper clad enclosure. Please see architectural elevations and color renderings for annotation of proposed work.

Increase parapet wall approximately 1'-0" along North Old Woodward façade and wrapping north and south facades - as shown on attached drawings.

## 8. Buildings and Structures

Number of Buildings on Site: Two

Height of Buildings & # of Stories: 2 Stories, varies with grade 25'

Use of Buildings: Mixed Use

Height of Rooftop Mechanical Equipment: TBD

## 9. Floor Use and Area (in Square Feet)

### Proposed Commercial Structures:

Total basement floor area: No new space proposed

Number of square feet per upper floor: \_\_\_\_\_

Total floor area: \_\_\_\_\_

Floor area ratio (total floor area ÷ total land area): \_\_\_\_\_

Open space: \_\_\_\_\_

Percent of open space: \_\_\_\_\_

Office Space: \_\_\_\_\_

Retail Space: \_\_\_\_\_

Industrial Space: \_\_\_\_\_

Assembly Space: \_\_\_\_\_

Seating Capacity: \_\_\_\_\_

Maximum Occupancy Load: \_\_\_\_\_

### Proposed Residential Structures:

Total number of units: None

Number of one bedroom units: \_\_\_\_\_

Number of two bedroom units: \_\_\_\_\_

Number of three bedroom units: \_\_\_\_\_

Open space: \_\_\_\_\_

Percent of open space: \_\_\_\_\_

Rental units or condominiums? \_\_\_\_\_

Size of one bedroom units: \_\_\_\_\_

Size of two bedroom units: \_\_\_\_\_

Size of three bedroom units: \_\_\_\_\_

Seating Capacity: \_\_\_\_\_

Maximum Occupancy Load: \_\_\_\_\_

### Proposed Additions:

Total basement floor area, if any, of addition: None

Number of floors to be added: None

Square footage added per floor: \_\_\_\_\_

Total building floor area (including addition): \_\_\_\_\_

Floor area ratio (total floor area ÷ total land area): \_\_\_\_\_

Open Space: \_\_\_\_\_

Percent of open space: \_\_\_\_\_

Use of addition: \_\_\_\_\_

Height of addition: \_\_\_\_\_

Office space in addition: \_\_\_\_\_

Retail space in addition: \_\_\_\_\_

Industrial space in addition: \_\_\_\_\_

Assembly space in addition: \_\_\_\_\_

Maximum building occupancy load (including addition): \_\_\_\_\_

## 10. Required and Proposed Setbacks

Required front setback: 0

Required rear setback: Alley Plus 10'

Required total side setback: 0

Side setback: 0

Proposed front setback: no change

Proposed rear setback: no change

Proposed total side setback: no change

Second side setback: no change

## 11. Required and Proposed Parking

Required number of parking spaces: 0 - Downtown Overlay District

Typical angle of parking spaces: \_\_\_\_\_

Typical width of maneuvering lanes: \_\_\_\_\_

Location of parking on site: Existing Spaces in Rear

Location of parking off site: On Street Parking

Number of light standards in parking area: Building Mounted Lights

Screenwall material: Painted Concrete Block (Existing)

Proposed number of parking spaces: 5

Typical size of parking spaces: 8'-6" x 19'-0"

Number of spaces <180 sq. ft.: 5

Number of handicap spaces: \_\_\_\_\_

Shared parking agreement? \_\_\_\_\_

Height of light standards in parking area: \_\_\_\_\_

Height of screenwall: All Existing to Remain

## 12. Landscaping

Location of landscape areas:

Suspended Continuous Planter above street facade

South Façade

Proposed landscape material:

Coleus or other consistent leafy green plant in suspended planter

Boston Ivy (non-damaging) on south facade

## 13. Streetscape

Sidewalk width: Existing to Remain at 7'-0"

Number of benches:

Number of planters:

Number of existing street trees: One at 470, three at 474 (includes 1)

Number of proposed street trees:

Streetscape Plan submitted?

Description of benches or planters:

Species of existing trees:

Species of proposed trees:

## 14. Loading

Required number of loading spaces: Existing

Typical angle of loading spaces:

Screenwall material: Painted Concrete Block

Location of loading spaces on site: Rear Parking

Proposed number of loading spaces: One

Typical size of loading spaces:

Height of screenwall: Varies (Existing Screenwall)

Typical time loading spaces are used: Early Morning

## 15. Exterior Waste Receptacles

Required number of waste receptacles: One

Location of waste receptacles: Rear Parking Lot

Screenwall material: Painted Concrete Block and Stained Wood Gates

Proposed number of waste receptacles: Two

Size of waste receptacles: 6 yard dumpster

Height of screenwall: 6'-0" height minimum to match dumpster height

## 16. Mechanical Equipment

### Utilities and Transformers:

Number of ground mounted transformers: No Change Proposed

Size of transformers (L•W•H):

Number of utility easements:

Screenwall material:

Location of all utilities & easements:

Height of screenwall:

### Ground Mounted Mechanical Equipment:

Number of ground mounted units: No Change Proposed

Size of ground mounted units (L•W•H):

Screenwall material:

Location of all ground mounted units:

Height of screenwall:

### Rooftop Mechanical Equipment:

Number of rooftop units: No Change Proposed

Type of rooftop units:

Location of all rooftop units:

Size of rooftop units (L•W•H):

Percentage of rooftop covered by mechanical units:

Height of screenwall: To match any new equipment height

Distance from rooftop units to all screenwalls:

Screenwall material: Existing EIFS - any new required shall match exi

Location of screenwall:

If necessary, West section of existing roof, recessed from existing parapet

## 17. Accessory Buildings

Number of accessory buildings: None

Location of accessory buildings:

Size of accessory buildings:

Height of accessory buildings:

## 18. Building Lighting

Number of light standards on building:

Size of light fixtures (L•W•H):

Type of light standards on building:

Height from grade:

Maximum wattage per fixture: \_\_\_\_\_  
Light level at each property line: \_\_\_\_\_

### 19. Site Lighting

Number of light fixtures: 18 proposed under planter canopy  
Size of light fixtures (L•W•H): recessed with lamp exposed  
Maximum wattage per fixture: \_\_\_\_\_  
Light level at each property line: \_\_\_\_\_

### 20. Adjacent Properties

Number of properties within 200 ft.: 5

#### Property #1

Number of buildings on site: One  
Zoning district: B-2, D-2  
Use type: Office  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

#### Property #2

Number of buildings on site: One  
Zoning district: B-2, D-2  
Use type: Office  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

#### Property #3

Number of buildings on site: One  
Zoning district: O-2  
Use type: Residential  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

#### Property #4

Number of buildings on site: One  
Zoning district: R-2  
Use type: Residential  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

#### Property #5

Number of buildings on site: \_\_\_\_\_  
Zoning district: PP  
Use type: Public Park  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

#### Property #6

Number of buildings on site: \_\_\_\_\_  
Zoning district: \_\_\_\_\_  
Use type: \_\_\_\_\_  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Proposed wattage per fixture: \_\_\_\_\_

Type of light fixtures: LED low intensity  
Height from grade: varies approximately 8'-0" to 9'-0" above grade  
Proposed wattage per fixture: LED 25 watt equivalent  
Holiday tree lighting receptacles: \_\_\_\_\_

Property Description: 460 North Old Woodward - Junior League

North, south, east or west of property? South

Property Description: 450 North Old Woodward - Offices

North, south, east or west of property? South

Property Description: 501-541 Brookside

North, south, east or west of property? North

Property Description: 180 Ravine - Single Family Home

North, south, east or west of property? East

Property Description: 475 North Old Woodward - Booth Park

North, south, east or west of property? \_\_\_\_\_

Property Description: \_\_\_\_\_

North, south, east or west of property? \_\_\_\_\_

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

Signature of Owner: Thomas Lasky

Date: 4.21.20

Print Name: Thomas Lasky, Authorized Agent

Signature of Applicant: Joseph Bonislawski

Date: 4/24/20

Print Name: JOSEPH BONISLAWSKI

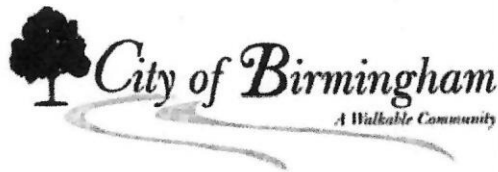
Signature of Architect: \_\_\_\_\_

Date: 04.17.2020

Print Name: Roman Bonislawski

Office Use Only		
Application #: _____	Date Received: _____	Fee: _____
Date of Approval: _____	Date of Denial: _____	Accepted by: _____

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## FINAL SITE PLAN & DESIGN REVIEW APPLICATION CHECKLIST - PLANNING DIVISION

Applicant: ZERO NINE TWO SIX, LLC Case #: \_\_\_\_\_ Date: \_\_\_\_\_  
Address: 470 N. Old Woodward Project: Façade Improvements on Existing Buil

All site plans and elevation drawings prepared for approval shall be prepared in accordance with the following specifications and other applicable requirements of the City of Birmingham. If more than one page is used, each page shall be numbered sequentially. All plans must be legible and of sufficient quality to provide for quality reproduction or recording. Plans must be no larger than 24" x 36", and must be folded and stapled together. The address of the site must be clearly noted on all plans and supporting documentation.

### Final Site Plan

A full Site Plan detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- ☒ 1. Name and address of applicant and proof of ownership;
- ☒ 2. Name of Development (if applicable);
- ☒ 3. Address of site and legal description of the real estate;
- ☒ 4. Name and address of the land surveyor;
- ☒ 5. Legend and notes, including a graphic scale, north point, and date;
- ☒ 6. A separate location map;
- ☒ 7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land;
- ☒ 8. Aerial photographs of the subject site and surrounding properties;
- ☒ 9. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
- ☒ 10. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject site's property lines;
- ☒ 11. Interior floor plans;
- ☐ 12. A chart indicating the dates of any previous approvals by the Planning Board, Board of Zoning Appeals, Design Review Board, or the Historic District Commission ("HDC");

- ☒ 13. Existing and proposed layout of streets, open space and other basic elements of the plan;
- ☒ 14. Existing and proposed utilities and easements and their purpose;
- ☒ 15. Location of natural streams, regulated drains, 100-year flood plains, floodway, water courses, marshes, wooded areas, isolated preserve-able trees, wetlands, historic features, existing structures, dry wells, utility lines, fire hydrants and any other significant feature(s) that may influence the design of the development;
- ☒ 16. General description, location, and types of structures on site;
- ☒ 17. Location of sidewalks, curb cuts, and parking lots on subject site and all sites within 200 ft. of the property line;
- ☒ 18. Details of existing or proposed lighting, signage and other pertinent development features;
- ☒ 19. Elevation drawings showing proposed design;
- ☒ 20. Screening to be utilized in concealing any exposed mechanical or electrical equipment and all trash receptacle areas;
- ☒ 21. Location of all exterior lighting fixtures;
- ☐ 22. A Photometric Plan depicting proposed illuminance levels at all property lines;
- ☒ 23. A Landscape Plan showing all existing and proposed planting and screening materials, including the number, size, and type of plantings proposed and the method of irrigation; and
- ☐ 24. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.

### **Elevation Drawings**

Complete elevation drawings detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- ☒ 25. Color elevation drawings showing the proposed design for each façade of the building;
- ☒ 26. List of all materials to be used for the building, marked on the elevation drawings;
- ☒ 27. Elevation drawings of all screenwalls to be utilized in concealing any exposed mechanical or electrical equipment, trash receptacle areas and parking areas;
- ☒ 28. Details of existing or proposed lighting, signage and other pertinent development features;
- ☒ 29. A list of any requested design changes;
- ☒ 30. Itemized list and specification sheets of all materials, light fixtures, and mechanical equipment to be used, including exact size specifications, color, style, and the name of the manufacturer;
- ☐ 31. Location of all exterior lighting fixtures, exact size specifications, color, style and the name of the manufacturer of all fixtures, and a photometric analysis of all exterior lighting fixtures showing light levels to all property lines; and
- ☐ 32. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.



## Notice Signs - Rental Application Community Development

### 1. Applicant

Name: ZERO NINE TWO SIX LLC  
Address: 470 North Old Woodward  
Birmingham, MI 48009  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email address: \_\_\_\_\_

### Property Owner

Name: LPH Ventures IV, LLC  
Address: 2 Corporate Drive, Suite 300  
Southfield, MI 48076  
Phone Number: 248-613-0300  
Fax Number: 248-226-1607  
Email address: Thomas.Lasky@colliers.com

### 2. Project Information

Address/Location of Property: 470 North Old Woodward  
Name of Development: Existing Park View Building  
Area in Acres: \_\_\_\_\_

Name of Historic District site is in, if any: \_\_\_\_\_  
Current Use: Mixed Use  
Current Zoning: B-2, D-2

### 3. Date of Board Review

Board of Building Trades Appeals: \_\_\_\_\_  
City Commission: \_\_\_\_\_  
Historic District Commission: \_\_\_\_\_  
Planning Board: \_\_\_\_\_

Board of Zoning Appeals: \_\_\_\_\_  
Design Review Board: \_\_\_\_\_  
Housing Board of Appeals: \_\_\_\_\_

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.

Signature of Applicant: \_\_\_\_\_

Date: 04.17.2020

Office Use Only		
Application #: _____	Date Received: _____	Fee: _____
Date of Approval: _____	Date of Denial: _____	Reviewed by: _____



## MEMORANDUM

Planning Division

**DATE:** April 17<sup>th</sup>, 2020  
**TO:** Jana Ecker, Planning Director  
**FROM:** Nicholas Dupuis, City Planner  
**SUBJECT:** The Birmingham Plan 2040 – Historic District Commission, Design Review Board and Historic District Study Committee

---

### Historic District Commission

The purpose of Chapter 127 (Historic Districts) of the City Code of Ordinance, and subsequently the Historic District Commission, is to (1) safeguard the heritage of the City by preserving districts that reflect elements of its history, architecture, archaeology, engineering, or culture, (2) stabilize and improve property values in each district and surrounding areas, (3) foster civic beauty, (4) strengthen the local economy, and (5) promote the use of historic districts for the education, pleasure, and welfare of the citizens of the City and of the State.

Based on a review of the first draft of the Birmingham Plan 2040, the Historic District Commission has provided the following comments related to their goals and objectives as a public board:

1. Current and future eligible contiguous historic districts may not fit nicely within the proposed neighborhood boundaries and may prove to be disadvantageous to establishing new historic districts. For example, the Bates Street Historic District is currently split between two proposed neighborhoods – the Downtown (1) and Barnum (10) neighborhoods (only one historic property is split off, but the point stands). There are neighborhoods such as the previously studied “Eco-City” area in southern Birmingham that still contains many post WWII craftsman housing units that is split between two neighborhoods – Pierce (9) and Kenning (8). It appears as though the Mill Pond Historic Neighborhood (which contains the Mill Pond Historic District) is also split between several proposed neighborhoods. In the event that potentially more empowered neighborhood organizations are on opposing sides when a historic district designation proposal comes to the table, it could get complicated.
2. There are a number of historically significant buildings located on the neighborhood seams as proposed in Figure B.1-30 (Neighborhood Seams). Encouraging higher density uses and raising the highest and best use of the land could see the removal of swaths of historically significant houses.
3. Most of the neighborhood character descriptions at least indicate that older, potentially historic homes are present in the neighborhood, but do not seem to suggest the potential

for historic preservation in the neighborhood. Historical preservation is a useful tool in combating much of the issues outlined in the Plan regarding the demolition of housing in favor of new big footprint houses. Additionally, existing homes with historical designations (or the potential for designation) are not shown on any neighborhood maps. In proposed neighborhoods such as Holy Name, The Ravines, and Barnum, the historical character is an integral part of the neighborhoods identity.

4. In Birmingham's Historic Central Business District, it is important to note that the most environmentally friendly building is a building that already exists. Many of the suggestions for enhanced LEED requirements, density and mixed use are able to be achieved in existing buildings, not always brand-new ones. Along the same lines, changing parking requirements to reduce or eliminate parking for residential uses may increase or alter the development pressures facing the City's historic buildings.
5. In the Plan's discussions of setbacks, promoting additions, building heights, and exterior design reviews for new houses.....incentives for historical preservation should be considered for eligible properties before anything related to new construction. Currently, applications for demolition are reviewed by the Historic District Commission as a "courtesy" by which time the demolition permits are already approved.
6. The Plan's recommendation to "Identify and implement preservation protection, such as a historic designation for landmark houses" is well founded, but can prove to be disadvantageous to the City's historic preservation efforts. Specifically, the Plan's suggestion to preserve *landmark* houses insinuates that only the best and brightest homes in the City should be documented and preserved. In historic preservation, it is extremely important to note that although many important houses do indeed have important architectural or contextual features, there are many homes that are just as significant that do not contain such features. An ad-hoc or increasingly selective approach to historic preservation may cause the loss of many important historic resources.
7. Adding a liner building south of City Hall along Merrill St. is not recommended. There are other ways to activate Merrill St.
8. Generally, historic preservation efforts are much more successful when they are integrated within general planning efforts, rather than a niche function operating alone under the planning umbrella. The City has made significant commitments to historical preservation, including maintaining a Certified Local Government status with the State Historic Preservation Office, supporting the Birmingham Museum and its buildings, creating the Heritage Home Program, and operating other successful preservation measures since the 1970's. The Plan does not seem to take historical preservation out of its silo and integrate it into the larger planning goals of the community.

### Design Review Board

The purpose of the Design Review is to foster attainment of those sections of the City's urban design plan which specifically refer to preservation and enhancement of the particular character

of this city and its harmonious development, through encouraging private interests to assist in their implementation.

Based on a review of the first draft of the Birmingham Plan 2040, the Design Review Board has provided the following comments related to their goals and objectives as a public board:

1. Although the Design Review Board would not be involved for the construction of new buildings in the neighborhood commercial centers, any future minor additions or exterior renovations to the buildings would fall under the purview of the Design Review Board. Consistent and appropriate design guidelines and review guidelines should be produced to ensure consistency between the Planning Board and Design Review Board.
2. As it does not appear at this time that neighborhood commercial center buildings will require a Special Land Use Permit, all signage for businesses located in such will be reviewed by the Design Review Board. Thus, additional (and more sensitive) sign requirements for Neighborhood Commercial Centers will need to be developed and added to the Sign Ordinance.
3. There are many recommendations for more public-based signage such as marketing signage for new downtown districts, bike routes, and parking structures, etc. Any new public signs should be held to many of the same standards as private signs. Specifically, any new smart signs for parking garages may conflict with the newly minted Electronic Message Center ordinances put in place for private business signs.
4. The Design Review Board should not be involved in any review process for the exterior of a single-family residential home.

#### Historic District Study Committee

The purpose of the Historic District Study Committee is to (when directed by the City Commission) provide research and documentation for the purpose of creating or proposing a historic district within the City.

Based on a review of the first draft of the Birmingham Plan 2040, the Historic District Study Committee has provided the following comments related to their goals and objectives as a public board:

1. Similar to what was described in the Historic District Commission comments, landmark buildings should not be the only buildings considered for designation in a contiguous or non-contiguous historic district. The Historic District Study Committee is empowered most when it is able to consider all appropriate structures in a historic district as opposed to only the most significant looking ones.
2. The HDSC should be more empowered to continuously research and document Birmingham's history. In situations where homes or buildings are being threatened, it is in the City's best interest to have information available, rather than remain reactive.



## Administrative Sign Approval Application Planning Division

Form will not be processed until it is completely filled out.

### 1. Applicant

Name: Araneae, Inc  
Address: 28785 Haas Rd.  
Wixom MI  
Phone Number: 248 344-8840  
Fax Number: 248 344-8841  
Email Address: mcostakes@araneagroup.com

### 2. Property Owner

Name: Matthew Shiffman  
Address: 369 N. Old Woodward  
Birmingham MI  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email Address: \_\_\_\_\_

### 3. Applicant's Attorney/Contact Person

Name: Mary Costakes  
Address: \_\_\_\_\_  
same  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email Address: \_\_\_\_\_

### 4. Project Designer/Developer

Name: Fairmont Sign Co. - Roger Briddick  
Address: 3750 East Outer Dr  
Detroit MI 48234  
Phone Number: 313-368-4000  
Fax Number: 313-368-9335  
Email Address: rbriddick@fairmontsign.com

### 5. Project Information

Address/Location of Property: 369 N. Old Woodward  
Name of Development: Brookside Residences  
Parcel ID#: 08-19-25-376-101  
Current Use: residential  
Area in Acres: \_\_\_\_\_  
Current Zoning: \_\_\_\_\_

Name of Historic District if any: N/A  
Date of HDC Approval, if any: \_\_\_\_\_  
Date of Application for Preliminary Site Plan: \_\_\_\_\_  
Date of Preliminary Site Plan Approval: \_\_\_\_\_  
Date of Application for Final Site Plan: \_\_\_\_\_  
Date of Final Site Plan Approval: \_\_\_\_\_  
Date of Revised Final Site Plan Approval: \_\_\_\_\_

### 6. Required Attachments

- Two (2) folded paper copies of plans including details of the following:
  - Dimensions of proposed sign(s)
  - Dimensions of building frontage
  - Illumination
  - Height from grade
- Location of proposed sign(s)
- Colors and materials
- Authorization from Property Owner(s) (if applicant is not the owner)
- Material Samples
- Digital Copy of Plans

### 7. Details of the Request for Administrative Approval

install two illuminated wall signs (AD6, Brookside Residences)

### 8. Location of Proposed Sign(s)

East Elevation

### 9. Type of Proposed Sign(s)

Wall: ☒  
Ground: \_\_\_\_\_  
Name Letter: \_\_\_\_\_  
Canopy: \_\_\_\_\_

Projecting (Post-Mounted): \_\_\_\_\_  
Projecting (Wall-Mounted): \_\_\_\_\_  
Building Identification: \_\_\_\_\_  
Other: \_\_\_\_\_



ADG

**10. Size of Proposed Sign**

Width: 3 5/4"  
 Depth: 3"  
 Height of Lettering: 17"

Overall Height: 17"  
 Extension from Wall: 6"  
 Total Square Feet: 4.86

**11. Existing Signs Currently on Property**

Number: 0  
 Square Feet per Sign: \_\_\_\_\_

Sign Type(s): \_\_\_\_\_  
 Total Square Feet: \_\_\_\_\_

**12. Materials/Style of Proposed Sign(s)**

Metal: stainless steel  
 Plastic: \_\_\_\_\_  
 Wood: \_\_\_\_\_  
 Glass: \_\_\_\_\_

Other: \_\_\_\_\_  
 Color #1: \_\_\_\_\_  
 Color #2: \_\_\_\_\_  
 Additional Colors: \_\_\_\_\_

**13. Content of Proposed Sign(s)**

ADG

**14. Proposed Sign Lighting**

Type of Lighting: LED - backlit  
 Size of Fixtures (LxWxH): \_\_\_\_\_  
 Maximum Wattage per Fixture: \_\_\_\_\_  
 Proposed Wattage per Fixture: \_\_\_\_\_

Location: \_\_\_\_\_  
 Number of Lights Proposed: \_\_\_\_\_  
 Height from Grade: \_\_\_\_\_  
 Lighting Style: \_\_\_\_\_

**15. Landscaping (Ground Signs Only)**

Location of Landscape Areas: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Proposed Landscape Material: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: \_\_\_\_\_

*[Signature]*

Date: \_\_\_\_\_

9/14/2020

*Office Use Only*

Application # PA20-0024

Date Received: 4/16/2020

Fee: \$100.00

Date of Approval: 4/21/2020

Date of Denial: N/A

Reviewed By: *[Signature]*

# Brookside Residences

## 10. Size of Proposed Sign

Width: 4' - 1/4" x  
Depth: 1/2  
Height of Lettering: 4"

Overall Height: 30.5"  
Extension from Wall: 1"  
Total Square Feet: 10.1

## 11. Existing Signs Currently on Property

Number: 0  
Square Feet per Sign: \_\_\_\_\_

Sign Type(s): \_\_\_\_\_  
Total Square Feet: \_\_\_\_\_

## 12. Materials/Style of Proposed Sign(s)

Metal: stainless steel  
Plastic: \_\_\_\_\_  
Wood: \_\_\_\_\_  
Glass: \_\_\_\_\_

Other: \_\_\_\_\_  
Color #1: Polished Bronze  
Color #2: \_\_\_\_\_  
Additional Colors: \_\_\_\_\_

## 13. Content of Proposed Sign(s)

Brookside Residences

## 14. Proposed Sign Lighting

Type of Lighting: N/A  
Size of Fixtures (LxWxH): \_\_\_\_\_  
Maximum Wattage per Fixture: \_\_\_\_\_  
Proposed Wattage per Fixture: \_\_\_\_\_

Location: \_\_\_\_\_  
Number of Lights Proposed: \_\_\_\_\_  
Height from Grade: \_\_\_\_\_  
Lighting Style: \_\_\_\_\_

## 15. Landscaping (Ground Signs Only)

Location of Landscape Areas: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Proposed Landscape Material: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: [Signature]

Date: 4/14/2020

### Office Use Only

Application # PA20-0684

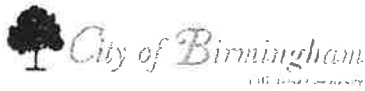
Date Received: 4/16/2020

Fee: \$ 100.00

Date of Approval: 4/21/2020

Date of Denial: N/A

Reviewed By: [Signature]



### CONSENT OF PROPERTY OWNER

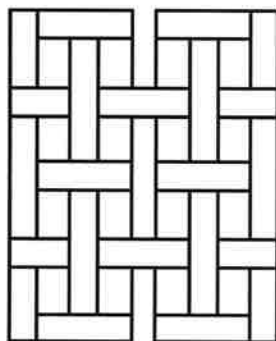
I, MATTHEW SHIFFMAN, OF THE STATE OF MICHIGAN AND  
(Name of Property Owner)  
COUNTY OF OAKLAND STATE THE FOLLOWING:

1. That I am the owner of real estate located at 369 N Old Woodward Ave;  
(Address of Affected Property)
2. That I have read and examined the Application for Administrative Approval made to the City of  
Birmingham by: AUDEN DEVELOPMENT GROUP;  
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Name of Owner (Printed): MATTHEW SHIFFMAN, AUTHORIZED SIGNER

Signature of Owner: [Signature] Date: 1/23/20



# BROOKSIDE

## RESIDENCES

369 North Old Woodward  
Birmingham, MI 48009

APPROVED  
4/11/2020  
PM 2:00-0084



**FAIRMONT**  
SIGN COMPANY

3750 East Outer Drive  
Detroit, MI 48234  
t: 313.368.4000 f: 313.368.9335  
www.fairmontsign.com

Client:



**BROOKSIDE**  
RESIDENCES

369 North Old Woodward  
Birmingham, MI 48009

Date:  
1/28/20

File:  
Accounts/Misc/ADG

Designer:  
RNB

Scale:  
NA

Job# 00000 Sheet# cover

Revision # 1 Date: 2-10-20

Revision Description:

Customer  
Approval:

THIS DRAWING REMAINS THE EXCLUSIVE PROPERTY OF  
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**ALL DIMENSIONS TO BE  
FIELD VERIFIED PRIOR TO  
INSTALLATION**

Brookside Residences | Birmingham, MI

NOTE: Renderings below utilize sample dimensions.



PROPOSED SIGNAGE A



PROPOSED SIGNAGE B



**FAIRMONT**  
SIGN COMPANY

3750 East Outer Drive  
Detroit, MI 48234  
t: 313.368.4000 f: 313.368.9335  
www.fairmontsign.com

Client:



**BROOKSIDE**  
RESIDENCES

369 North Old Woodward  
Birmingham, MI 48009

Date:  
1/28/20

File:  
Accounts/Misc/ADG

Designer:  
RNB

Scale:  
NA

Job# 00000	Sheet# 1 of 6
Revision # 1	Date: 2-10-20

Revision Description:

Customer  
Approval:

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INSTALLATION**

Brookside Residences | Birmingham, MI


NOTE: Renderings below utilize sample dimensions.



PROPOSED SIGNAGE C




PROPOSED SIGNAGE D



**FAIRMONT**  
SIGN COMPANY

3750 East Outer Drive  
Detroit, MI 48234  
t: 313.368.4000 f: 313.368.9335  
www.fairmontsign.com

Client:



**BROOKSIDE**  
RESIDENCES

369 North Old Woodward  
Birmingham, MI 48009

Date:  
1/28/20

File:  
Accounts/Misc/ADG

Designer:  
RNB

Scale:  
NA

Job# 00000	Sheet# 2 of 6
Revision # 1	Date: 2-10-20

Revision Description:

Customer  
Approval:

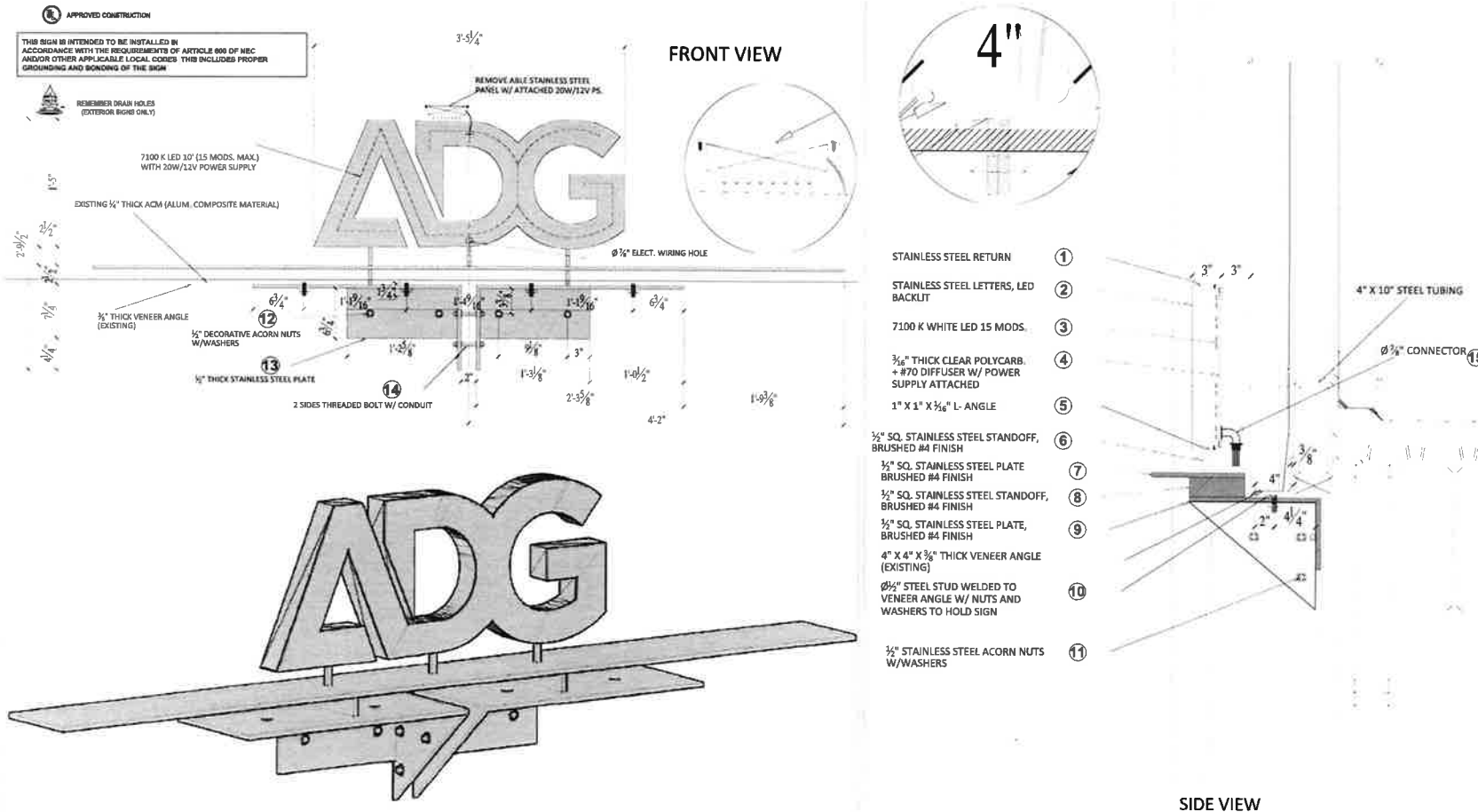
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INSTALLATION**

# Brookside Residences | Birmingham, MI

NOTE: Renderings below utilize sample dimensions.



**SIGN A: Backlit Stainless Steel Letters**

**FAIRMONT**  
SIGN COMPANY

3750 East Outer Drive  
Detroit, MI 48234

t: 313.368.4000 f: 313.368.9335  
www.fairmontsign.com

Client:

**BROOKSIDE**  
RESIDENCES

369 North Old Woodward  
Birmingham, MI 48009

Date:  
1/28/20

File:  
Accounts/Misc/ADG

Designer:  
RNB

Scale:  
NA

Job# 00000 Sheet# 3 of 6

Revision # 1 Date: 2-10-20

Revision Description:

Customer  
Approval:

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**ALL DIMENSIONS TO BE  
FIELD VERIFIED PRIOR TO  
INSTALLATION**

## Brookside Residences | Birmingham, MI

NOTE: Renderings below utilize sample dimensions.

11 $\frac{1}{8}$ "  
4"  
3 5 3

**SIGN B: ½" Thick Polished Bronze  
w/ Welded Studs**

1'-2 $\frac{7}{16}$ "  
2" 4"  
3 6 9  
5 $\frac{3}{16}$ "  
9"  
1'-6 $\frac{3}{8}$ "

**SIGN C: ½" Thick Polished Bronze Numbers  
on Polished Bronze Stand**

1'-1 $\frac{3}{4}$ "  
1'-5"  
6"  
2" 4"  
BROOKSIDE  
RESIDENCES  
1'-0 $\frac{1}{4}$ " 11 $\frac{7}{8}$ "  
2'-0 $\frac{1}{8}$ "  
4'-0 $\frac{1}{4}$ " 3 $\frac{7}{16}$ "

**SIGN D: ½" Thick Polished Bronze  
w/ Welded Studs**



**FAIRMONT**  
SIGN COMPANY

3750 East Outer Drive  
Detroit, MI 48234  
t: 313.368.4000 f: 313.368.9335  
www.fairmontsign.com

Client:



**BROOKSIDE**  
RESIDENCES

369 North Old Woodward  
Birmingham, MI 48009

Date:

1/28/20

File:

Accounts/Misc/ADG

Designer:

RNB

Scale:

NA

Job#

00000

Sheet#

4 of 6

Revision #

1

Date:

2-10-20

Revision Description:

Customer  
Approval:

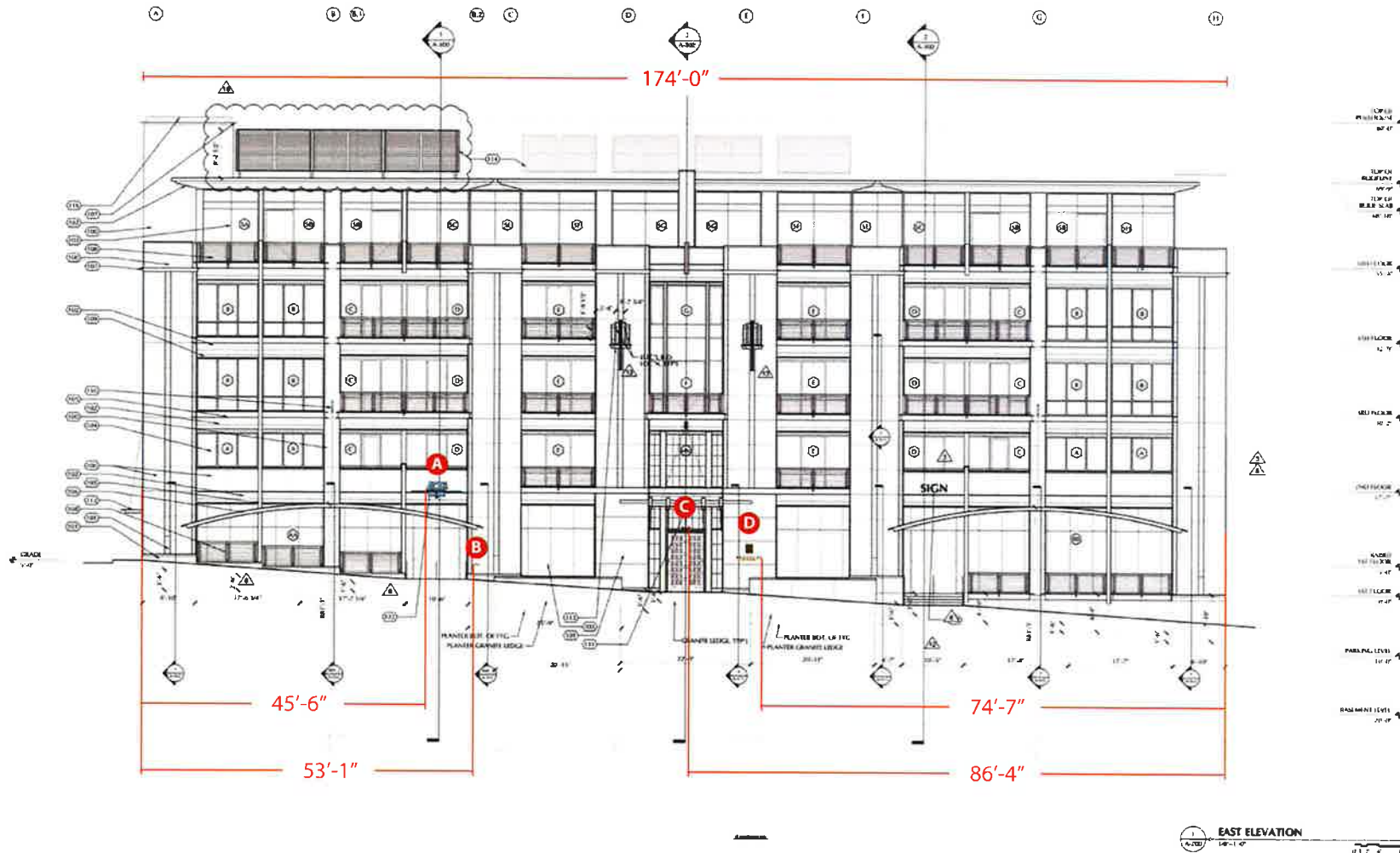
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# Brookside Residences | Birmingham, MI

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3750 East Outer Drive  
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www.fairmontsign.com

Client:



BROOKSIDE  
RESIDENCES

369 North Old Woodward  
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File:  
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Job# 00000 Sheet# 5 of 6

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## Brookside Residences | Birmingham, MI

NOTE: Renderings below utilize sample dimensions.



ADJACENT BUILDING - SOUTH



NORTH OF BUILDING



**FAIRMONT**  
SIGN COMPANY

3750 East Outer Drive  
Detroit, MI 48234  
t: 313.368.4000 f: 313.368.9335  
www.fairmontsign.com

Client:



**BROOKSIDE**  
RESIDENCES

369 North Old Woodward  
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Date:  
1/28/20

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Designer:  
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Job#  
00000

Sheet#  
6 of 6

Revision #  
1

Date:  
2-10-20

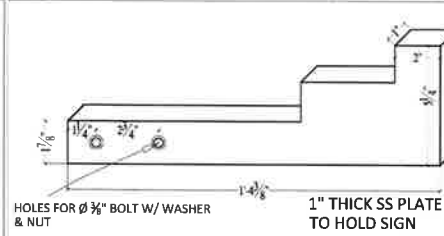
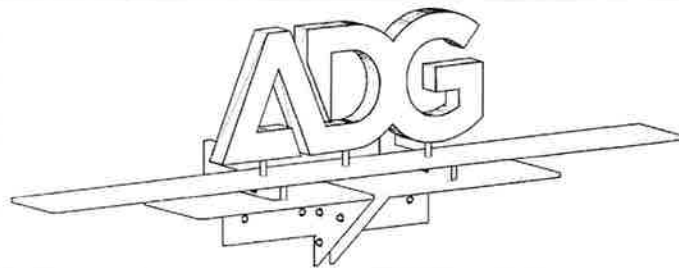
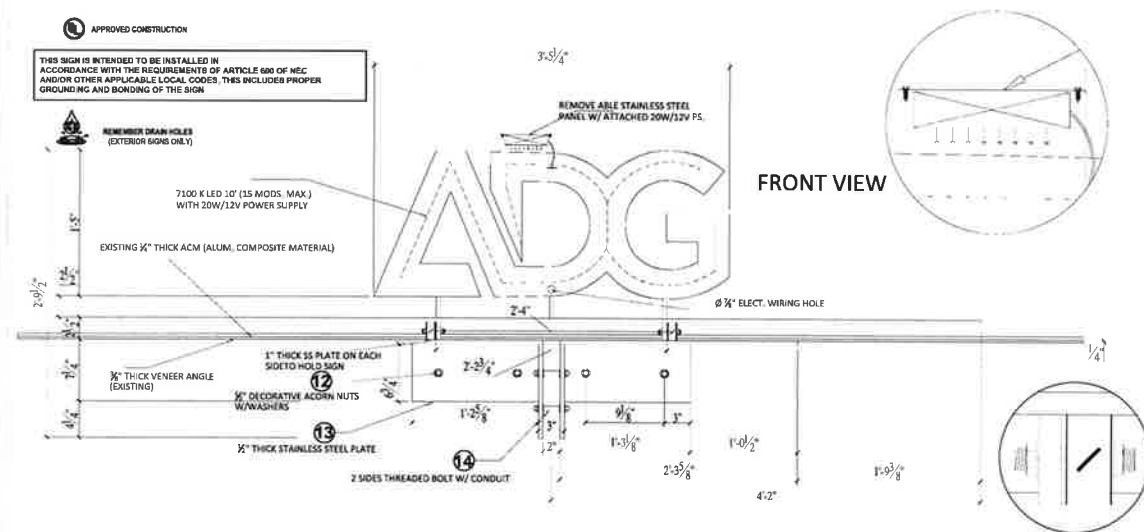
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**ALL DIMENSIONS TO BE  
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INSTALLATION**



BRUSHED STAINLESS STEEL RETURN  
BRUSHED STAINLESS STEEL LETTERS, LED BACKLIT

7100 K WHITE LED 15 MODS.

3/8" THICK CLEAR POLYCARB + #70 DIFFUSER W/ POWER SUPPLY ATTACHED

1" X 1" X 1/2" L-ANGLE

1/2" SQ. BRUSHED STAINLESS STEEL STANDOFF, #4 FINISH

1/2" SQ. BRUSHED STAINLESS STEEL PLATE #4 FINISH

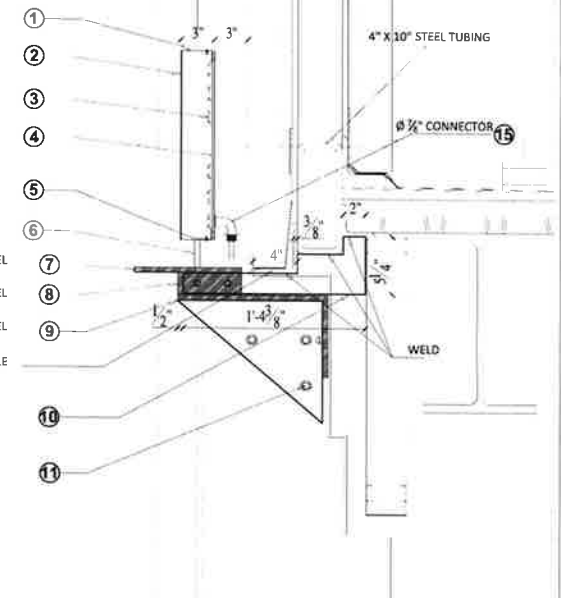
1/2" SQ. BRUSHED STAINLESS STEEL STANDOFF, #4 FINISH

1/2" SQ. BRUSHED STAINLESS STEEL PLATE, #4 FINISH

4" X 4" X 3/8" THICK VENEER ANGLE (EXISTING)

1" THICK SS PLATE EACH SIDE TO HOLD SIGN

3/8" BRUSHED STAINLESS STEEL ACORN NUTS W/WASHERS



PART LIST FOR PART # 102764-A					
BOM#	QTY	UOM	PART#	ITEM DESCRIPTION	NOTES
1	22	FT		BRUSHED STAINLESS STEEL RETURN	
2	5	SF		BRUSHED STAINLESS STEEL LETTERS	LED BACKLIT
3				7100K WHITE LED @ 10'	15 MODS.
4	5	SF		3/16" THICK CLEAR POLYCARBONATE W/ POWER SUPPLY ATTACHED	WITH #70 DIFFUSER
5				1" X 1" X 1/2" L-ANGLE	
6	1	FT		1/2" SQ. BRUSHED STAINLESS STEEL STANDOFF	BRUSHED #4 FINISH
7	9	FT		1/2" SQ. BRUSHED STAINLESS STEEL PLATE	BRUSHED #4 FINISH
8	1	FT		1/2" SQ. BRUSHED STAINLESS STEEL PLATE	BRUSHED #4 FINISH
9	10	SF		1/2" SQ. BRUSHED STAINLESS STEEL PLATE	BRUSHED #4 FINISH
10	2	EA		1" THICK SS PLATE TO HOLD SIGN	TO HOLD SIGN
11	6	EA		1/2" BRUSHED STAINLESS STEEL ACORN NUTS W/WASHERS	
12	4	EA		1/2" DECORATIVE ACORN NUTS	
13				1/2" THICK BRUSHED STAINLESS STEEL	
14				2 SIDES THREADED BOLT W/ CONDUIT	
15				DIA 2/8" SEAL TITE 90 DEGREE CONNECTOR	

**FAIRMONT**  
Sign Company  
3750 E. OUTER DR., DETROIT, MI 48234  
PHONE: 313-368-4000 FAX: 313-368-1649

CUSTOMER APPROVAL

DATE

REV-DATE

REV-BY

REVISION

CUSTOMER/LOGO

ADG

ADDRESS

369 N. OLD WOODWARD

CITY, STATE

BIRMINGHAM, MI 48009

DWG TITLE: "ADG" SIGNAGE

DESCRIPTION: 17" HIGH SS "ADG" BACK LIT LETTERS

FILE PATH: SEE TOP RIGHT CORNER

BLOCK NAME: 102764.DWG

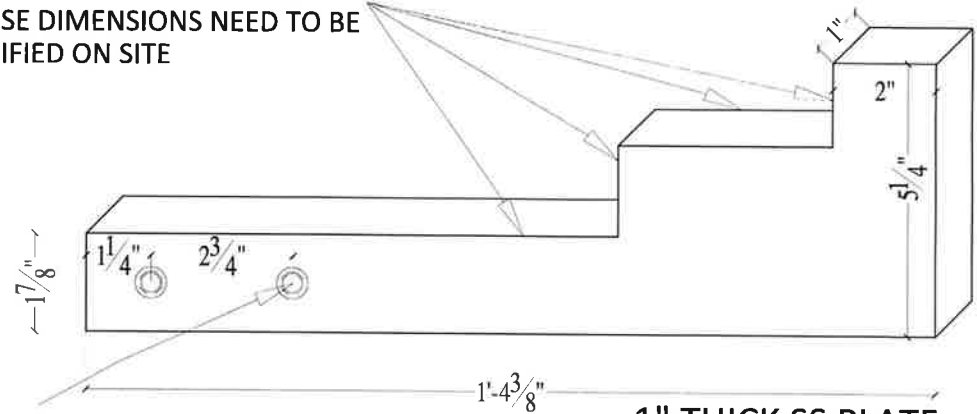
WO # 102764

PRINT DATE: 02/17/2020

DRAWN BY: SMR

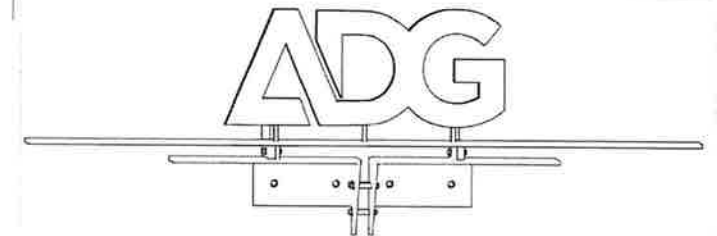
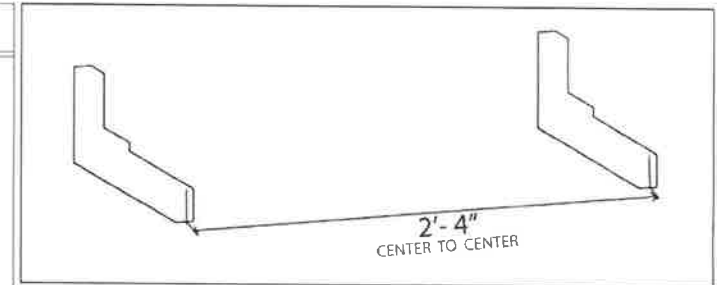
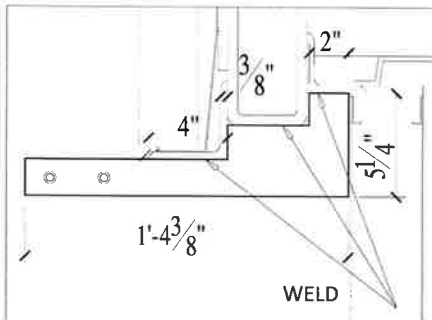
SHEET #: 1 OF #: 3

THESE DIMENSIONS NEED TO BE  
VERIFIED ON SITE



HOLE FOR  $\varnothing \frac{3}{8}$ " BOLT W/ WASHER  
& NUT

1" THICK SS PLATE  
TO HOLD SIGN



SIDE VIEW

- BRUSHED STAINLESS STEEL  
RETURN ①
- BRUSHED STAINLESS STEEL  
LETTERS, LED BACKLIT ②
- 7100 K WHITE LED 15 MODS. ③
- $\frac{3}{8}$ " THICK CLEAR POLYCARB.  
+ #70 DIFFUSER W/ POWER  
SUPPLY ATTACHED ④
- 1" X 1" X  $\frac{3}{16}$ " L- ANGLE ⑤
- $\frac{1}{2}$ " SQ. BRUSHED STAINLESS STEEL  
STANDOFF, #4 FINISH ⑥
- $\frac{1}{2}$ " SQ. BRUSHED STAINLESS STEEL  
PLATE B #4 FINISH ⑦
- $\frac{1}{2}$ " SQ. BRUSHED STAINLESS STEEL  
STANDOFF, #4 FINISH ⑧
- $\frac{1}{2}$ " SQ. BRUSHED STAINLESS STEEL  
PLATE, #4 FINISH ⑨
- 4" X 4" X  $\frac{3}{8}$ " THICK VENEER ANGLE  
(EXISTING) ⑩
- 1" THICK SS PLATE EACH SIDE  
TO HOLD SIGN ⑪
- $\frac{1}{2}$ " BRUSHED STAINLESS STEEL  
ACORN NUTS W/WASHERS ⑫

4" X 10" STEEL TUBING

$\varnothing \frac{3}{4}$ " CONNECTOR ⑬

WELD

WELD

**FAIRMONT**  
Sign Company

3750 E. OUTER DR., DETROIT, MI 48234  
PHONE: 313-368-4000 FAX: 313-368-1649

CUSTOMER APPROVAL

DATE

REV-DATE

REV-BY

REVISION

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CUSTOMER/LOGO

ADG

ADDRESS

369 N. OLD WOODWARD

CITY, STATE

BIRMINGHAM, MI 48009

DWG TITLE: "ADG" SIGNAGE

DESCRIPTION: 17" HIGH SS "ADG" BACK LIT LETTERS

FILE PATH: SEE TOP RIGHT CORNER

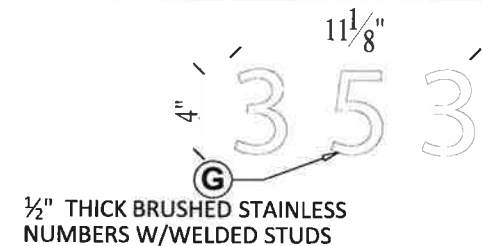
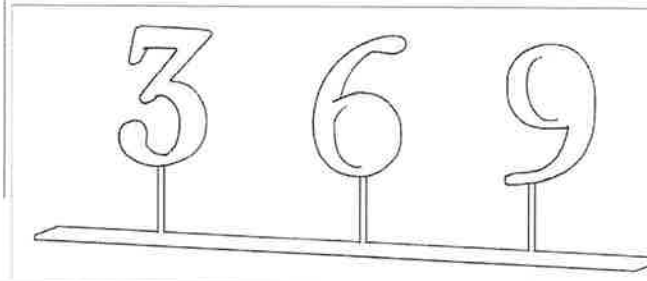
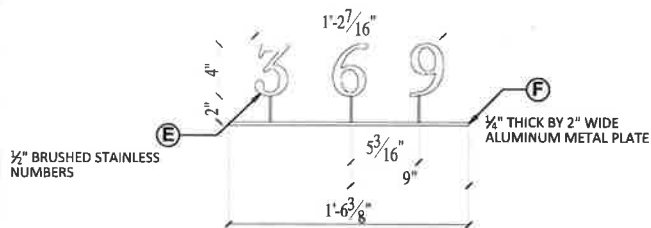
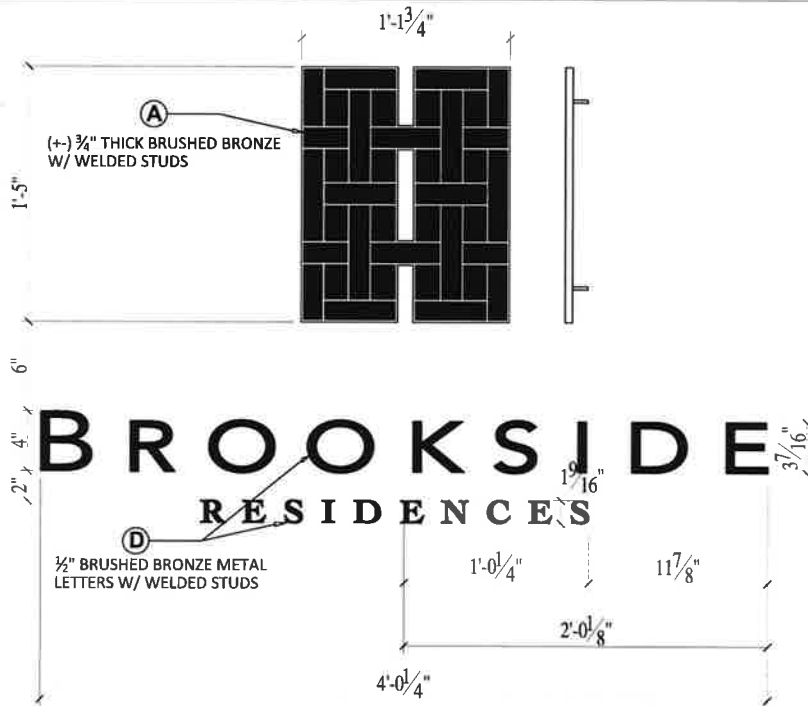
BLOCK NAME: 102764.DWG

WO # 102764

PRINT DATE: 02/17/2020

DRAWN BY: SMR

SHEET #: 2 OF #: 3



PART LIST FOR PART # 102764-B

BOM#	QTY	UOM	PART#	ITEM DESCRIPTION	NOTES
A				3/4" THICK BRUSHED BRONZE	WITH WELDED STUDS
D				1/2" THICK BRUSHED BRONZE METAL LETTERS W/ WELDED STUDS	STUDS FOR EPOXY WALL INSERTION
E				1/2" RAISED BRUSHED STAINLESS STEEL LETTERS	MOUNTED ON 3/4" THICK PLATE W/ BOTTOM STUDS
F				1/4" THICK BY 2" WIDE ALUMINUM METAL PLATE	
G				1/2" RAISED BRUSHED STAINLESS STEEL LETTERS W/ WELDED STUDS	STUDS FOR EPOXY WALL INSERTION

**FAIRMONT**  
Sign Company  
3750 E. OUTER DR., DETROIT, MI 48234  
PHONE: 313-368-4000 FAX: 313-368-1649

CUSTOMER APPROVAL

DATE

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REV-DATE REV-BY REVISION

CUSTOMER/LOGO

ADG

ADDRESS

369 N. OLD WOODWARD

CITY, STATE

BIRMINGHAM, MI 48009

DWG TITLE: "ADG" SIGNAGE

DESCRIPTION: 17" HIGH SS "ADG" BACK LIT LETTERS

FILE PATH: SEE TOP RIGHT CORNER

BLOCK NAME: 102764.DWG

WO # 102764

PRINT DATE: 02/17/2020

DRAWN BY: SMR

SHEET #: 3 OF #: 3



## Administrative Sign Approval Application Planning Division

*Form will not be processed until it is completely filled out.*

### 1. Applicant

Name: Universal Sign, Inc.  
Address: 5001 FalconView Ave., SE, Grand Rapids, MI 49512  
Phone Number: (616)554-9999  
Fax Number: (616)554-9922  
Email Address: chrish@universalsignsystems.com

### 2. Property Owner

Name: Perimeter Properties LLC  
Address: 111 S. Old Woodward Ave., STE 222  
Birmingham, MI 48009  
Phone Number:  
Fax Number:  
Email Address:

### 3. Applicant's Attorney/Contact Person

Name: N/A  
Address:  
Phone Number:  
Fax Number:  
Email Address:

### 4. Project Designer/Developer

Name: N/A  
Address:  
Phone Number:  
Fax Number:  
Email Address:

### 5. Project Information

Address/Location of Property: 980 South Old Woodward  
Name of Development:  
Parcel ID#: 08-19-36-279-008  
Current Use: Bank  
Area in Acres:  
Current Zoning: B-2B

Name of Historic District if any:  
Date of HDC Approval, if any:  
Date of Application for Preliminary Site Plan:  
Date of Preliminary Site Plan Approval:  
Date of Application for Final Site Plan:  
Date of Final Site Plan Approval:  
Date of Revised Final Site Plan Approval:

### 6. Required Attachments

- Two (2) folded paper copies of plans including details of the following:
  - Dimensions of proposed sign(s)
  - Dimensions of building frontage
  - Illumination
  - Height from grade
- Location of proposed sign(s)
- Colors and materials
- Authorization from Property Owner(s) (if applicant is not the owner)
- Material Samples
- Digital Copy of Plans

### 7. Details of the Request for Administrative Approval

Reface existing (2) wall signs

### 8. Location of Proposed Sign(s)

Front and back of building

### 9. Type of Proposed Sign(s)

Wall: ☒  
Ground:  
Name Letter:  
Canopy:

Projecting (Post-Mounted):  
Projecting (Wall-Mounted):  
Building Identification:  
Other:

CITY OF BIRMINGHAM  
Date 04/29/2020 12:04:13 PM  
Ref 00166638  
Receipt 535672  
Amount \$100.00

**10. Size of Proposed Sign**

Width: 24" x 96" front &amp; 21" x 32" back - REFACE ONLY

Depth: EXISTING

Height of Lettering: EXISTING

Overall Height: EXISTING

Extension from Wall: EXISTING

Total Square Feet: 20.7

**11. Existing Signs Currently on Property**

Number: 2

Square Feet per Sign: front = 16 sf back = 4.7 sf

Sign Type(s): Wall

Total Square Feet: 20.7

**12. Materials/Style of Proposed Sign(s)**

Metal: aluminum

Plastic:

Wood:

Glass:

Other:

Color #1:

Color #2:

Additional Colors:

**13. Content of Proposed Sign(s)**

TCF Bank

**14. Proposed Sign Lighting**

Type of Lighting:

Size of Fixtures (LxWxH):

Maximum Wattage per Fixture:

Proposed Wattage per Fixture:

Location:

Number of Lights Proposed:

Height from Grade:

Lighting Style:

**15. Landscaping (Ground Signs Only)**

Location of Landscape Areas:

Proposed Landscape Material:

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: Chris Hyink

Digitally signed by Chris Hyink  
Date: 2020.04.16 12:32:21 -0400

Date: 4/16/20

*Office Use Only*

Application # PAM20-0025

Date Received: 4/16/2020

Fee: \$100.00

Date of Approval: 5/14/2020

Date of Denial: N/A

Reviewed By: 




Date:

RE: LETTER OF AUTHORIZATION  
TO OBTAIN A SIGN/BUILDING PERMIT  
ALL CHEMICAL/TCF LOCATIONS

LOCATED AT: 980 South Old Woodward  
Birmingham, MI 48009

To Whom It May Concern:

I authorize **Universal Sign Systems** to act and sign on my behalf in obtaining the sign/building permit for all Chemical Bank/TCF locations. I certify that I am the owner/agent of the property for which the permit is to be issued.

  
Owner/Agent Signature

810 300 4202  
Phone

DARIN.KOESTER@ChemicalBank.com  
Email

**5001 FalconView SE, Grand Rapids, MI 49512 / Phone (616)554-9999**



BRANCH: BIRMINGHAM

ADDRESS: 980 SOUTH OLD WOODWARD  
BIRMINGHAM, MI 48009

Project:

Location: tcf bank

# SITEPLAN



# WORK SCOPE

- WS.1 WALL SIGN CABINET
- WS.2 WALL SIGN CABINET
- EV.1 ENTRY WINDOW VINYL
- EV.2 ENTRY WINDOW VINYL
- WV.1 WINDOW VINYL

TCF TENANT SPACE is 26' 8"

**APPROVED**  
5/14/2020  
PAA20-0025

Date: 3.13.20 B

Revision:

A  
B  
C  
D  
E  
F  
G  
H

Approval:

Name:

Sales: JV

USS Logo ☐ Yes ☐ No

Notes:

UNIVERSAL  
SIGN SYSTEMS  
5001 Falcon View SE, Grand Rapids MI 49512  
www.universal-signsystems.com  
Ph 616.554.9999 Fx 616.554.9922



**SPECIFICATIONS QTY. 1 S/F:**  
**CABINET**

EXISTING 5" ALUMINUM CABINET W/ NEW ALUMINUM ROUTED PUSH THRU FACE AND ECOSIGN #0700 EASY RETAINER PTD. TO MATCH PMS COOL GRAY 11C.

**LOGO & LETTERS**

3/4" THK. CLEAR ACRYLIC PUSH THRU. LOGO TO HAVE 1ST SURFACE TRANS 3630-125 GOLDEN YELLOW & 3630-73 DARK RED VINYL FACES. LOGO, "TCF", & "BANK" LETTERS TO HAVE 70% DIFFUSER 2ND SURFACE.

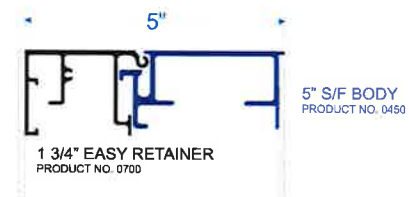
5"



EXISTING



PROPOSED



- 70% DIFFUSER 3M 3635-70
- PMS 123C/3630-125 GOLDEN YELLOW
- PMS 7621C/3630-73 DARK RED
- PMS COOL GRAY 11C

Project:

Location: **tcf bank**

Date: **3.13.20 B**

Revision:

A

B

C

D

E

F

G

H

Approval:

Name:

Sales: **JV**

USS Logo ☐ Yes ☐ No

Notes:



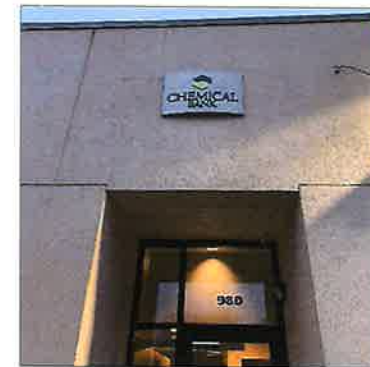
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**CABINET**

EXISTING 5" ALUMINUM CABINET W/ NEW ALUMINUM ROUTED PUSH THRU FACE AND ECOSIGN #0700 EASY RETAINER PTD. TO MATCH PMS COOL GRAY 11C.

**LOGO & LETTERS**

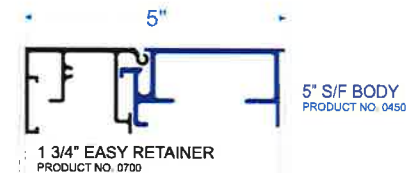
3/4" THK. CLEAR ACRYLIC PUSH THRU. LOGO TO HAVE 1ST SURFACE TRANS 3630-125 GOLDEN YELLOW & 3630-73 DARK RED VINYL FACES. LOGO, "TCF", & "BANK" LETTERS TO HAVE 70% DIFFUSER 2ND SURFACE.



EXISTING



PROPOSED



- 70% DIFFUSER 3M 3635-70
- PMS 123C/3630-125 GOLDEN YELLOW
- PMS 7621C/3630-73 DARK RED
- PMS COOL GRAY 11C

Project:

Location: tcf bank

Date: 3.13.20 B

Revision:

A

B

C

D

E

F

G

H

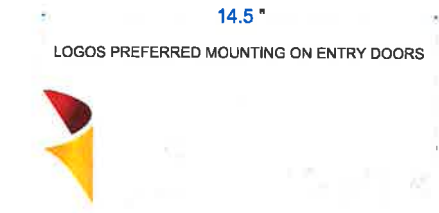
Approval:

Name:

Sales: JV

USS Logo ☐ Yes ☐ No

Notes:



QTY. 2



PROPOSED ENTRANCE WINDOWS



PROPOSED ENTRANCE WINDOWS



PROPOSED WINDOW



BOXES PREFERRED MOUNTING ON SIDELIGHT

QTY. 2



56" TO GRADE ON FRONT ENTRY



QTY. 1

**SPECIFICATIONS**  
WHITE EZ APPLY VINYL LOGOS PRINTED TO MATCH COLORS AS SHOWN.  
ENTRY DOOR LOGOS TO BE APPLIED 4' 8" A.F.F.  
HOURS ALREADY INSTALLED. ATM/WIFI DECAL PROVIDED BY OTHERS & INSTALLED BY UNIVERSAL SIGN.

- WHITE
- YELLOW GRADIENT - CMYK
- RED GRADIENT - CMYK
- PMS COOL GRAY 11C
- PMS 123 C

Project:

Location:

Date: 3.13.20 B

Revision:  
A  
B  
C  
D  
E  
F  
G  
H

Approval:

Name:

Sales: JV

USS Logo ☐ Yes ☐ No

Notes:

## Administrative Approval Application Planning Division

Form will not be processed until it is completely filled out

### 1. Applicant

Name: Sam Surrow  
Address: 320 Menden Site 100  
Birmingham, AL 35209  
Phone Number: 248-877-4000  
Fax Number: \_\_\_\_\_  
Email: Sam@Surrow.com

### Property Owner

Name: Surrow Development Co. LLC  
Address: 320 Menden Site 100  
Birmingham, AL 35209  
Phone Number: 248-877-4000  
Fax Number: \_\_\_\_\_  
Email: Sam@Surrow.com

### 2. Applicant's Attorney/Contact Person

Name: Kelli Biddison AIA  
Address: 320 Menden St. LL 10  
Birmingham, AL 35209  
Phone Number: 248-554-9500  
Fax Number: \_\_\_\_\_  
Email: k6@biddison-ad.com

### Project Designer

Name: Biddison Architectural PC  
Address: 320 Menden Site LL 10  
Birmingham, AL 35209  
Phone Number: 248-554-9500  
Fax Number: \_\_\_\_\_  
Email: k6@biddison-ad.com

### 3. Project Information

Address/Location of Property: 525 Merrill St  
Name of Development: 525 Building  
Parcel ID #: \_\_\_\_\_  
Current Use: Commercial office/residential  
Area in Acres: .15 acres  
Current Zoning: PG

Name of Historic District site is in, if any: \_\_\_\_\_  
Date of HDC Approval, if any: \_\_\_\_\_  
Date of Application for Preliminary Site Plan: \_\_\_\_\_  
Date of Preliminary Site Plan Approval: \_\_\_\_\_  
Date of Application for Final Site Plan: \_\_\_\_\_  
Date of Final Site Plan Approval: \_\_\_\_\_  
Date of Revised Final Site Plan Approval: \_\_\_\_\_

### 4. Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples
- Digital Copy of plans

- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations

### 5. Details of the Request for Administrative Approval

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The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan.

Signature of Applicant: \_\_\_\_\_

Date: 5/18/20

Application #: PAA20-0029

Office Use Only  
Date Received: 5/19/2020

Fee: \$100.00

Date of Approval: 5/22/2020

Date of Denial: N/A

Reviewed by: \_\_\_\_\_



## CONSENT OF PROPERTY OWNER

I, Surnow Development Co LLC, OF THE STATE OF Mi AND COUNTY OF

(Name of property owner)

Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 525 Merrill St;  
(Address of affected property)
2. That I have read and examined the Application for Administrative Approval made to the City of Birmingham by:  
Sam Surnow;  
(Name of applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

Dated: 5/18/20

SURNOW DEVELOPMENT COMPANY, LLC

Owner's Name (Please Print)

[Signature]

Owner's Signature

SAM SURNOW

MANAGER

## **CARPORT STYLE: FLAT TOP**

### **DESIGN CRITERIA:**

Wind Load: 90 MPH minimum

Ground Snow Load: 30 psf minimum

All Federal, State and Local codes reviewed.

**COLUMNS:** HSS ASTM A-500 Grade B A-500

Coating Options: Primed or Hot Dip Galvanized

**BEAMS:** 10" deep A-992 Grade 50 Steel.

Coating Options: Primed or Hot Dip Galvanized

**PURLINS:** 16 GA. Cold Rolled G-90 Galvanized Steel

**ROOFING:** 29 GA Roll formed, Exposed Fasteners,  
Galvanized Steel Panel with Siliconized Polyester or  
Kynar 500 Factory Applied Finish in a variety of colors  
with white underside.

### **OPTIONS:**

Roof Slope

Hot Dip Galvanizing

Site Specific Layout and Configuration

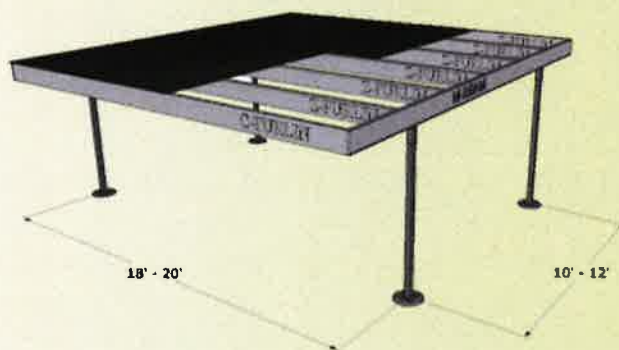
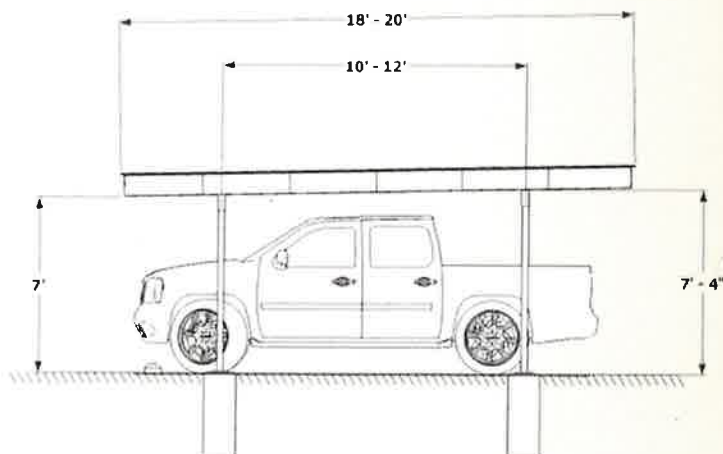
Standing Seam Roof Sheeting

Soffit Under Sheeting

Metal End Panels

End Overhangs 1'

Solar Racking



1825 Metamora Road  
Oxford, Michigan 48371  
Phone: 248-628-5571 / FAX: 248-628-5260  
Email: [info@carportstructures.com](mailto:info@carportstructures.com)  
WEB: [www.carportstructures.com](http://www.carportstructures.com)

# Shades of Distinction



BRITE WHITE / REGAL WHITE \*



ROMAN BLUE



CLAY



IVORY



SURREY BEIGE



PATRICIAN BRONZE



ASH GRAY



LIGHT STONE



AUTUMN RED



MATTE BLACK



TUDOR BROWN



CHARCOAL



TERRATONE



EVERGREEN



BRANDYWINE



HARTFORD GREEN

- ADDITIONAL COST WILL APPLY FOR DEEP TONE COLORS.
- AVAILABLE IN KYNAR 500® ONLY.



ALL COLORS ARE ENERGY STAR COMPLIANT.

\*BRITE WHITE IS SILICONIZED POLYESTER. REGAL WHITE IS KYNAR 500®

MM210

**Point**

## MASTER COIL INVENTORY

**Please Call for Available Colors**

**APPROVED**  
5/26/2020  
PAA20-0029

Project title

PROPOSED BUILD-OUT FOR  
525 W. MERRILL

525 W MERRILL ST  
BIRMINGHAM, MICHIGAN

Issued dr/ch

REVIEW	05.21.19
PRELIM BIDS	06.12.19
REVIEW	06.19.19
PRELIM BIDS	06.20.19
DESIGN REVIEW	08.05.19
BIDS & PERMITS	09.19.19
REVISIONS	11.26.19
REVISIONS	05.14.20

Sheet title

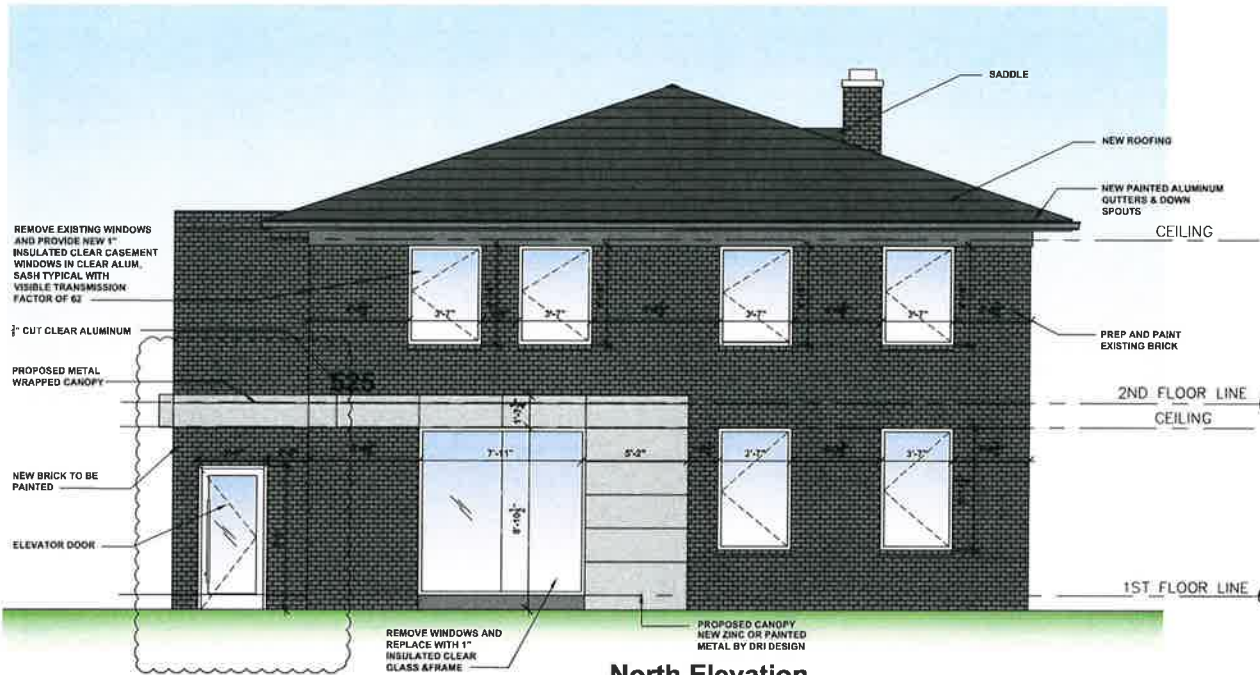
ELEVATIONS

Project no.

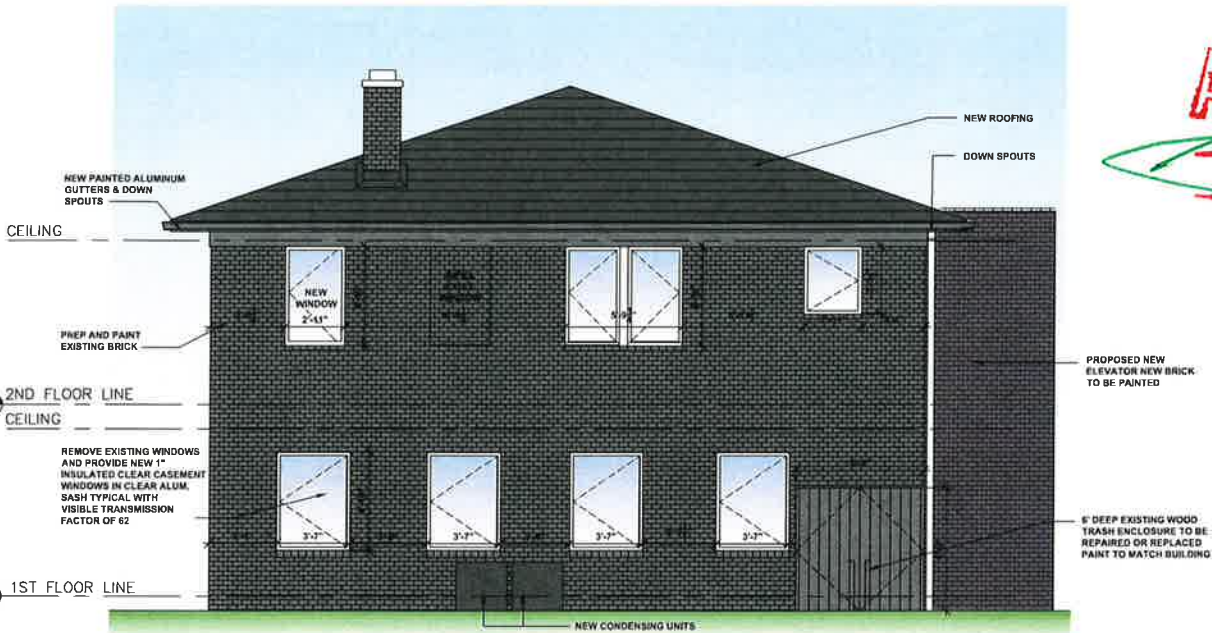
2043-19

Sheet no.

A.201



North Elevation



South Elevation



West Elevation

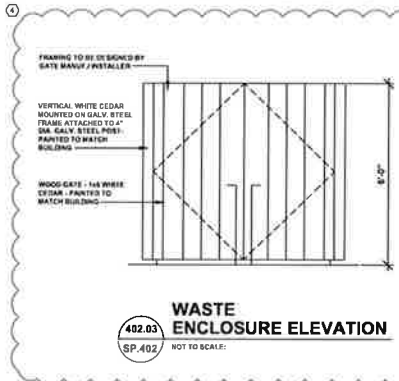


East Elevation

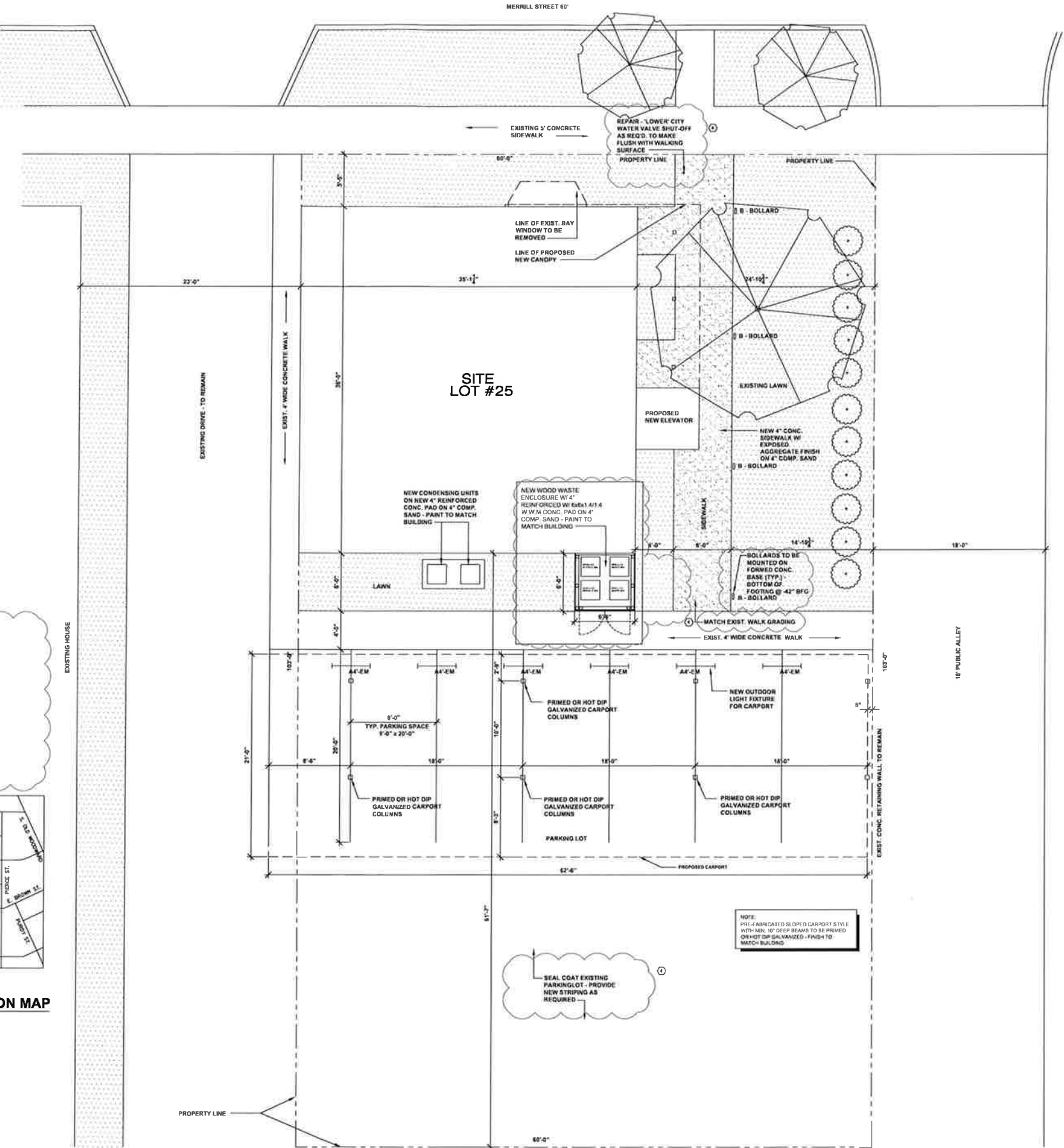
GENERAL SITE NOTES:

- NOT USED
- SIGNS SHALL BE MOUNTED ON 1 1/2" SQUARE GALVANIZED STEEL POST, WALL OR FENCE MOUNTED AS INDICATED ON THE PLANS, LOCATE AND INSTALL IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND REGULATIONS.
- PARKING STRIPES SHALL BE PAINTED AS SHOWN ON THE DRAWINGS. LINES SHALL BE 4" WIDE, APPLIED IN ONE COAT USING A STANDARD STRIPING MACHINE. PAINT SHALL BE REMARK 83 PAVLON TRAFFIC PAINT OR EQUAL. COLOR: WHITE.
- PROVIDE STRIPING AT NEW PAVEMENT AS INDICATED ON THE DRAWINGS.
- ALL SITE LIGHTING SHALL BE MOUNTED AT 90 DEGREES, SHIELDED DOWNWARD AND AWAY FROM ADJACENT PROPERTY.
- SITE IDENTIFICATION SIGNAGE SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE CITY OF BIRMINGHAM STANDARDS.
- REFER TO LANDSCAPING SHEETS FOR LANDSCAPING REQUIREMENTS & PLAN IF APPLICABLE.
- EXTERIOR CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING CRITERIA:
  - CURB RAMPS SHALL BE PROVIDED WHERE EVER AN ACCESSIBLE ROUTE CROSSES A CURB.
  - MAXIMUM SLOPE SHALL BE 1:12. THE TRANSITION FROM WALKS, GUTTERS OR DRIVEWAYS SHALL BE FLUSH.
  - THE MINIMUM WIDTH SHALL BE 36", EXCLUSIVE OF FLARES, UNLESS OTHERWISE NOTED ON THE PLANS.
  - CURB RAMPS SHALL HAVE A DETECTABLE WARNING CONSISTING OF RAISED TRUNCATED DOWNS WITH A DIAMETER OF NOMINAL 0.9 INCHES A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 INCHES AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.
  - A DETECTABLE WARNING SHALL BE PROVIDED IN SIDEWALKS WHERE A WALK CROSSES OR ADJOINS A VEHICULAR WAY, AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILINGS OR OTHER ELEMENTS. THE BOUNDARY BETWEEN THE AREAS SHALL BE DEFINED BY A CONTINUOUS DETECTABLE WARNING WHICH IS 36" WIDE MINIMUM. THE DETECTABLE WARNING SHALL COMPLY WITH THE CRITERIA STATED ABOVE FOR CURB RAMPS.
- CALL MISS DIG 72 HOURS PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF BIRMINGHAM.
- NO OUTSIDE STORAGE WILL BE PERMITTED.
- NO TRUCKS WILL BE CLEANED OR SERVICED OUTSIDE THE BUILDING.
- CONCRETE CURBING SHALL BE PROVIDED AROUND THE PERIMETER OF THE SITE, AND AROUND ALL INTERIOR LANDSCAPE AREAS AS REQUIRED (U.N.O.).
- ALL ROOF TOP AND/OR GROUND MOUNTED MECHANICAL UNITS SHALL BE SCREENED AS REQUIRED BY THE CITY OF BIRMINGHAM.
- NO SIGNS (OTHER THAN OFFICIAL TRAFFIC CONTROL SIGNS) ARE APPROVED AS PART OF THIS SITE PLAN APPROVAL. PRIOR TO ERECTION OF A SIGN, AN APPLICATION AND APPROPRIATE SUBMISSIONS SHALL BE MADE TO THE BUILDING DEPARTMENT FOR REVIEW, APPROVAL AND ISSUANCE OF A SIGN PERMIT.
- ALL EXTERIOR RECEIVING DOORS SHALL BE PROVIDED WITH LATCH PLATE PROTECTION.
- NOT USED
- SCREENING OF GARBAGE AND REFUSE AREAS ARE TO BE AT LEAST 1'-0" HIGHER THAN CONTAINER, NOT LESS THAN 5'-0" ON THREE SIDES W/ PROTECTIVE POSTS OR BUMPERS.
- ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION OF THE "MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
- DEALING DIRECTLY WITH CONSUMERS AT RETAIL IS PROHIBITED.
- TRASH ENCLOSURE TO HOUSE (1) TRASH AND (1) RECYCLING CONTAINER.
- ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES AND LIMITED OPERATIONS SHALL BE USED AFTER THE SITE'S HOURS OF OPERATION.
- NO FLASHING LIGHTING WILL BE USED ON THE SITE.
- A CITY OF BIRMINGHAM RIGHT-OF-WAY PERMIT IS REQUIRED FOR WORK WITHIN ANY PUBLIC ROAD RIGHT-OF-WAY.

REFER TO E.101 FOR EXTERIOR LIGHT SCHEDULE



SITE LOCATION MAP  
NO SCALE



SITE PLAN  
SCALE: 3/16"=1'-0"

biddison |  
architecture + design

320 North B. Suite 10  
Birmingham, AL 35209  
1.948.554.9900

Consultants

Project title

PROPOSED BUILD-OUT  
525 W. MERRILL

525 W. MERRILL ST.  
BIRMINGHAM, MICHIGAN

Issued dr/ch

DESIGN REVIEW	08.05.19
BIDS & PERMITS	09.19.19
REVISIONS	11.26.19
REVISIONS	02.04.20
REVISIONS	05.14.20

Sheet title

SITE PLAN



Project no.

2043.18

Sheet no.

SP.101

### Design Review Board Action List – 2020

Design Review Board	Quarter	Rank	Status
Redesign/Update DRB Board Applications	1 <sup>st</sup> (January-March)	1	<input type="checkbox"/>
Update Sign Ordinance	2 <sup>nd</sup> (April-June)	2	<input type="checkbox"/>
Create New Informational Artwork for Sign Ordinance	3 <sup>rd</sup> (July-September)	3	<input type="checkbox"/>
Sign Ordinance Enforcement	4 <sup>th</sup> (October-December)	4	<input type="checkbox"/>