

**AGENDA**  
**VIRTUAL BIRMINGHAM DESIGN REVIEW BOARD MEETING**  
**WEDNESDAY – August 19<sup>th</sup>, 2020**  
**\*\*\*\*\* 7:15 PM\*\*\*\*\***

**Link to Access Virtual Meeting:** <https://zoom.us/j/97458531959>  
**Telephone Meeting Access:** 877-853 -5247  
**Meeting ID Code:** 974 5853 1959

- 1) Roll Call
- 2) Approval of the DRB Minutes of July 1<sup>st</sup>, 2020
- 3) Public Hearing
- 4) Design Review
- 5) Sign Review
- 6) Study Session
  - A. Murals & Art (Private)
- 7) Miscellaneous Business and Communication
  - A. Staff Reports
    1. Administrative Sign Approvals
    2. Administrative Approvals
    3. Action List – 2020
- 8) Adjournment

*Notice:* Individuals requiring accommodations, such as interpreter services for effective participation in this meeting should contact the City Clerk's Office at [\(248\) 530-1880](tel:2485301880) at least on day in advance of the public meeting.

Las personas que requieren alojamiento, tales como servicios de interpretación, la participación efectiva en esta reunión deben ponerse en contacto con la Oficina del Secretario Municipal al [\(248\) 530-1880](tel:2485301880) por lo menos el día antes de la reunión pública. (Title VI of the Civil Rights Act of 1964).

**A PERSON DESIGNATED WITH THE AUTHORITY TO MAKE DECISIONS MUST BE PRESENT AT THE MEETING.**

**DESIGN REVIEW BOARD  
MINUTES OF JULY 1, 2020**

Held Remotely Via Zoom And Telephone Access

Minutes of the regular meeting of the Design Review Board ("DRB") held Wednesday, July 1, 2020. Chairman John Henke called the meeting to order at 7:36 p.m.

**1) ROLLCALL**

**Present:** Chairman John Henke; Vice-Chairman Keith Deyer; Board Members Gigi Debbrecht, Natalia Dukas, Michael Willoughby

**Absent:** Board Members Patricia Lang, Joseph Mercurio; Alternate Board Member Alexander Jerome

**Administration:** Nicholas Dupuis, City Planner  
Laura Eichenhorn, Transcriptionist

Chairman Henke thanked everyone for joining the virtual meeting and reviewed protocol for virtual meetings.

**07-43-20**

**2) Approval Of Minutes**

**Motion by Mr. Willoughby**

**Seconded by Ms. Dukas to approve the DRB Minutes of June 3, 2020 as submitted.**

**Motion carried, 5-0.**

VOICE VOTE

Yeas: Willoughby, Dukas, Debbrecht, Deyer, Henke

Nays: None

**07-44-20**

**3) Public Hearing**

None.

**07-45-20**

**4) Design Review**

**A. 470 N. Old Woodward – Facade Update**

City Planner Dupuis reviewed the item. Roman Bonislowski and Joseph Bongiovanni were present on behalf of the application.

Mr. Deyer asked why it was being called a pergola rather than an awning. He opined that the suspension wires coming down from the top were essentially a design element. He also voiced concern that the pergola may not be able to withstand inclement weather given the way it would lay.

Mr. Bonislowski said the ties that hold up the canopy structure were intended as a design component. He said that there are scalloped pieces that would go into the pergola that would drain during inclement weather onto the sidewalk. Mr. Bonislowski confirmed that the pergola was designed with to meet the loading requirements. He expressed confidence in both the aesthetics and engineering of the design.

Mr. Willoughby said he liked the design.

Ms. Debbrecht said she also liked the design.

Ms. Dukas said she agreed with Mr. Deyer that the design seemed to be more of an awning than a pergola. She said she had concerns about the longevity of the scallop design in terms of maintenance.

Chairman Henke told the Board that an approval of these designs would require the building owner to maintain the pergola.

Mr. Willoughby noted that two aspects of the design would protect the pergola from rapid deterioration: that the pergola was designed to drain water onto the sidewalk, and that the upper roof area of the building actually would protect the pergola from inclement weather. He said he was fully supportive of the application.

**Motion by Mr. Willoughby**

**Seconded by Ms. Debbrecht to approve the Design Review application for 470 N. Old Woodward with the following conditions:**

**1. The Design Review Board approves the suspended steel pergola to project into the right-of-way.**

**Motion carried, 5-0.**

VOICE VOTE

Yeas: Willoughby, Debbrecht, Dukas, Deyer, Henke

Nays: None

**B. 1740 W. Maple – Holiday Market Select – Façade Renovations**

City Planner Dupuis presented the item. Jason Krieger was present on behalf of the application.

In reply to Mr. Willoughby, Mr. Krieger said the roof could be painted black to draw less attention to it.

In reply to Mr. Deyer, Mr. Krieger explained the light at the top of the railing was being proposed as a design element to add interest to the lighting a pedestrian would experience from directly below it. He said he understood Mr. Deyer's hesitance regarding the light and said he could incorporate that feedback into the design.

Mr. Willoughby agreed that the light at the top of the railing should be reconsidered.

Mr. Krieger said it was his team's intent to comply with all City requirements.

Ms. Dukas stated that she lives in the neighborhood and that the project was a welcome addition.

**Motion by Mr. Willoughby**

**Seconded by Ms. Debbrecht to the Design Review application for 1740 W. Maple – Holiday Market Select – with the following conditions: 1. This approval does NOT include any changes to the signage on the property; 2. The applicant must submit revised site & photometric plans showing consistent lighting information and illumination levels that do not exceed 1.5 foot-candles at the east/west property lines and 5 ft. beyond the front (south) property line; 3. The applicant must submit revised drawings showing a canopy that projects no more than 4 ft. into the ROW; 4. The Design Review Board APPROVES the projection into the right-of-way; and, 5. That the light fixture at the top of the railing would be removed.**

**Motion carried, 5-0.**

VOICE VOTE

Yeas: Willoughby, Debbrecht, Dukas, Deyer, Henke

Nays: None

**07-46-20**

**5) Sign Review**

None.

**07-47-20**

**6) Study Session**

**A. Murals & Public Art – Sign Ordinance**

City Planner Dupuis reviewed the item.

In reply to Mr. Deyer, City Planner Dupuis suggested the DRB could conduct a courtesy review so that the Planning Board would have a record of the DRB's perspective and concerns.

Mr. Deyer and Chairman Henke said it would be their preference to keep murals and public art as a subsection of the sign ordinance so the DRB could maintain jurisdiction.



Chairman Henke said he would be willing to consult with City Attorney Tim Currier to see if there would be a way to make that possible.

City Planner Dupuis clarified that the consent of the property owner would be required for any mural painted on the side of a building. He said he would look into options for increasing and maintaining the DRB's input regarding murals and public art.

**07-48-20**

**7) Miscellaneous Business And Communications**

**A. Staff Reports**

- 1. Administrative Sign Approvals**
- 2. Administrative Approvals**
- 3. Action List - 2020**

**07-49-20**

**Adjournment**

**Motion by Ms. Dukas**

**Seconded by Ms. Debbrecht to adjourn the DRB meeting of July 1, 2020 at 8:29 p.m.**

**Motion carried, 5-0.**

VOICE VOTE

Yeas: Dukas, Debbrecht, Willoughby, Deyer, Henke

Nays: None

Nicholas Dupuis  
City Planner

**DATE:** August 19<sup>th</sup>, 2020

**TO:** Design Review Board





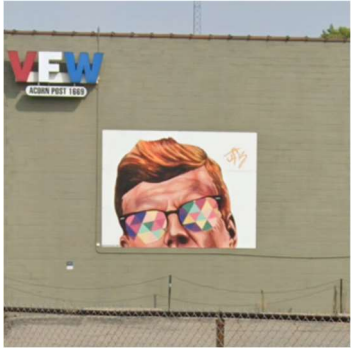
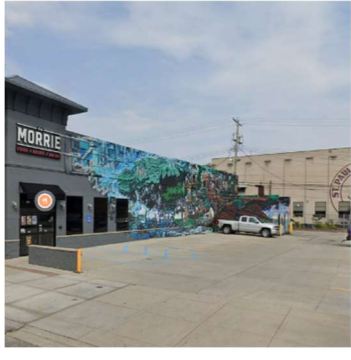
**FROM:** Nicholas Dupuis, City Planner

**SUBJECT:** Murals & Art (Private) – Study Session #2

The Planning Division has received several requests recently for the installation of murals on private buildings. Traditionally, the City has considered a mural as a type of sign, and uses the Sign Ordinance (and the definition of Sign) to justify that stance:

..."Any object, device, logo, display or structure, or part thereof, which is intended to advertise, identify, display, or direct or attract attention to an object, person, institution, organization, business, product, service, event or location by any means."

As murals have begun to proliferate themselves as a valid art form, numerous cities and downtowns have utilized murals to activate dead space, express cultural heritage, foster civic pride, and provide an enhanced urban experience for residents and visitors alike.

<p><b>FERNDALE, MI</b></p>			
<p><b>ROYAL OAK, MI</b></p>			



The City's stance that a mural is a form of signage essentially rules them out all together for the following reasons:

1. Buildings are allowed a combined sign area that may not exceed 1 sq. ft. (1.5 sq. ft. for Woodward addresses) per 1 ln. ft. of principal building frontage. With murals considered a sign, the combined sign area would be exceeded, and in most cases exceeded generously.
2. The Sign Ordinance does not permit signs to be painted directly onto the building surface.

At this time, City Staff feels as though murals should be reconsidered and separated from signage within the Sign Ordinance. The attached amendments to the Sign Ordinance are changes proposed to do just that, addressing several different sections relevant to the issue.

Aside from separating murals from the restrictions within the Sign Ordinance, it is also important to address the proposal within the Zoning Ordinance and take the opportunity to regulate the location, size, content, and media of murals and other art placed on private buildings. The proposed ordinance amendments below take the general tactic of adding murals and public art to the list of accessory permitted uses in the specific Zoning Districts. This will allow regulations to be tailored to each Zoning District, some of which may be more sensitive than others.

There is also room to make minor adjustments to the language in the Via Activation Overlay District (VAOD) to create consistent terminology throughout the Zoning Ordinance. The VAOD currently permits art display and encourages design standards that utilize bold colors and enhanced character.

### **Suggested Action:**

To recommend approval to the City Commission the proposed amendments to Articles 1 and 3 of the Sign Ordinance to amend the Sign Requirements and add the definitions of Mural and Art (Private).

AND

To recommend approval to the Planning Board the proposed amendments to Articles 2, 3, 5, and 9 of the Zoning Ordinance to add art (private) and murals as an accessory permitted use, define the new terminology, and update the Via Activation Overlay District with new terminology.

CITY OF BIRMINGHAM

ORDINANCE NO. \_\_\_\_\_

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND THE SIGN ORDINANCE OF THE CITY OF BIRMINGHAM:

TO AMEND ARTICLE 1, SECTION 1.03 (D), SIGN REQUIREMENTS, TO AMEND PAINTED SIGNS.

**1.03 Sign Requirements**

This Sign Requirements section applies to the following districts:

PP R1A R1 R2 R3 R4 R5 R6 R7 R8 O1 O2 B1 B2 B2B B2C B3 B4 MX

The following sign requirements apply:

- A. Illumination. ...(*no changes*)
- B. Obscene Matter. ...(*no changes*)
- C. Obstructions. ...(*no changes*)
- D. Painted Signs. No sign may be painted directly onto any building surface. **For the purposes of this Chapter, murals and other forms of art (private) are not considered signs.**

ORDAINED this \_\_\_\_\_ day of \_\_\_\_\_, 2020 to become effective upon publication.

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Pierre Boutros, Mayor

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Alexandria Bingham, City Clerk Appointee

CITY OF BIRMINGHAM

ORDINANCE NO. \_\_\_\_\_

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND THE SIGN ORDINANCE OF THE CITY OF BIRMINGHAM:

TO AMEND ARTICLE 3, SECTION 3.02, DEFINITIONS, TO AMEND THE LIST OF DEFINITIONS TO INCLUDE A NEW DEFINITION FOR MURAL AND PUBLIC ART.

**3.02 Definitions**

**Art (Private): Works of art in any media, which are exhibited in a private space and visible from the public right-of-way.**

Ascenders: The portion of a lowercase letter that rises above the main body of the letter as found in the letters b, d, f, h, k, l, and t.

...

Light Box Sign: A permanent wall mounted sign with an exposed frame, a translucent face, and internal illumination

Monument Sign: See Ground Sign.

**Mural: A painting or other work of art executed directly on a wall that contains no advertisements, products, service offerings or other messages for any business or organization.**

Name Letter Sign: A sign composed of individually constructed and applied letters, numbers, or characters, which may or may not include an electrical raceway.

...

Projecting Sign: A sign which extends beyond the building wall, where the horizontal sign surface is not parallel to the building wall.

ORDAINED this \_\_\_\_\_ day of \_\_\_\_\_, 2020 to become effective upon publication.

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Pierre Boutros, Mayor

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Alexandria Bingham, City Clerk Appointee

CITY OF BIRMINGHAM

ORDINANCE NO. \_\_\_\_\_

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND THE ZONING ORDINANCE OF THE CITY OF BIRMINGHAM:

TO AMEND ARTICLE 2, SECTION 2.21 (C)(1), ACCESSORY PERMITTED USES, TO ADD MURALS AND PUBLIC ART AS AN ACCESSORY PERMITTED USE.

**2.21 01 (Office) District Intent, Permitted Uses, and Special Uses**

- A. District Intent (*no changes*)
- B. Permitted Uses (*no changes*)
- C. Other Use Regulations
  - 1. Accessory Permitted Uses
    - a. Art (Private)\***
    - ~~a.~~ **b. Kennel\***
    - ~~b.~~ **c. Laboratory – Medical/Dental\***
    - ~~c.~~ **d. Loading Facility Off-Street\***
    - ~~d.~~ **e. Murals\***
    - ~~e.~~ **f. Parking Facility – Off-Street\***
    - ~~f.~~ **g. Pharmacy\***
    - ~~g.~~ **h. Outdoor Café\***

ORDAINED this \_\_\_\_\_ day of \_\_\_\_\_, 2020 to become effective upon publication.

\_\_\_\_\_  
Pierre Boutros, Mayor

\_\_\_\_\_  
Alexandria Bingham, City Clerk Appointee

CITY OF BIRMINGHAM

ORDINANCE NO. \_\_\_\_\_

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND THE ZONING ORDINANCE OF THE CITY OF BIRMINGHAM:

TO AMEND ARTICLE 5, SECTION 5.06, O1 DISTRICT, TO ADD REQUIREMENTS FOR MURALS AND PUBLIC ART AS AN ACCESSORY PERMITTED USE.

**5.06 O1 District**

- A. **Art (Private)**: Art installations such as canvas, sculpture, ceramics, photography, metal work or other forms of art are permitted on sites and structures (principal and accessory) and are subject to the Development Standards outlined in Articles 2 and 4 of the Zoning Ordinance.
- A- **B. Bistros**: *(no change)*
- B- **C. Kennel**: *(no change)*
- C- **D. Laboratory**: *(no change)*
- D- **E. Loading Facility**: *(no change)*
- E. **F. Murals**: Murals are permitted on any building or structure provided:
1. Murals must be painted directly onto the building face and may be placed on the side or rear building facades only. Murals on the principle building frontage are not permitted.
  2. Murals may not contain advertisements, products, service offerings or any other message for any business or organization.
  3. All murals are subject to a review by the Design Review Board or Historic District Commission.
- E- **G. Parking Facility – Off-Street**: *(no changes)*
- F- **H. Pharmacy**: *(no changes)*
- G- **I. Rooftop Use Standards**: *(no changes)*
- H- **J. Veterinary Clinic**: *(no changes)*

ORDAINED this \_\_\_\_\_ day of \_\_\_\_\_, 2020 to become effective upon publication.

\_\_\_\_\_  
Pierre Boutros, Mayor

\_\_\_\_\_  
Alexandria Bingham, City Clerk Appointee

CITY OF BIRMINGHAM

ORDINANCE NO. \_\_\_\_\_

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND THE ZONING ORDINANCE OF THE CITY OF BIRMINGHAM:

TO AMEND ARTICLE 3, SECTION 3.16, SPECIFIC STANDARDS TO UPDATE TERMINOLOGY FOR ART (PRIVATE) AND MURALS.

**3.16 Specific Standards**

A. Permitted and Prohibited Uses: To enhance the amenity and character of vias, to enhance visual interest and encourage surveillance of urban spaces, active uses should be provided at the ground floor level along the majority of the edges of buildings located adjacent to vias. While buildings should accommodate these uses, care must be taken to avoid conflict with pedestrian movement in the via. To specifically encourage the activation of vias, the following uses are permitted within Active, Connecting, and Destination Vias:

1. Retail sales and display;
2. Public plazas and informal gathering spaces;
3. ~~Art display~~ **Art (private) and mural display**; and
4. Community Gardens.

ORDAINED this \_\_\_\_\_ day of \_\_\_\_\_, 2020 to become effective upon publication.

\_\_\_\_\_  
Pierre Boutros, Mayor

\_\_\_\_\_  
Alexandria Bingham, City Clerk Appointee



CITY OF BIRMINGHAM

ORDINANCE NO. \_\_\_\_\_

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND THE ZONING ORDINANCE OF THE CITY OF BIRMINGHAM:

TO AMEND ARTICLE 9, SECTION 9.02, DEFINITIONS, TO ADD DEFINITIONS FOR ART (PRIVATE) AND MURALS.

**9.02 Definitions**

**Active Via:** An alley with a mix of uses and activities used by pedestrians/bicyclists for travel, some commercial activities, pausing for respite, outdoor dining etc. with shared use by service vehicles (deliveries, trash removal etc.).

...

**Art (Private):** Works of art in any media, which are exhibited in a private space and visible from the public right-of-way.

...

**Motel:** A series of attached, semi-attached, or detached apartments, each composed of bedroom, bathroom and closet space, but without cooking facilities, with each apartment having an entrance leading directly from the outside of the building with the apartment units, with the exception of the unit occupied by the management staff, being used only for the accommodation of transients and no cooking being permitted therein.

**Mural:** A painting or other work of art executed directly on a wall that contains no advertisements, products, service offerings or other messages for any business or organization.

**New Construction:** Structures for which the start of construction commenced on or after the effective date of Ordinance No. 1096.

...

ORDAINED this \_\_\_\_\_ day of \_\_\_\_\_, 2020 to become effective upon publication.

\_\_\_\_\_  
Pierre Boutros, Mayor

\_\_\_\_\_  
Alexandria Bingham, City Clerk Appointee



City of Birmingham  
A World-Class Community



## Administrative Sign Approval Application Planning Division

Form will not be processed until it is completely filled out

### 1. Applicant

Name: Metro Detroit Signs  
Address: 11444 Kaitz Ave  
Warren, MI 48089  
Phone Number: 586-759-2700  
Fax Number: 586-759-2703  
Email: kdeters@metrodetroitsigns.com

### Property Owner

Name: JFK Property Group A, L.L.C.  
Address: 4325 Woodward Ave, Suite 210  
Bloomfield Hills, MI 48302  
Phone Number: 248-333-2373  
Fax Number: 248-333-2573  
Email: tom.kosik@jfkinv.com

### 2. Applicant's Attorney/Contact Person

Name: same as applicant  
Address: \_\_\_\_\_  
\_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email: \_\_\_\_\_

### Project Designer

Name: same as applicant  
Address: \_\_\_\_\_  
\_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email: \_\_\_\_\_

### 3. Project Information

Address/Location of Property: 280 N Old Woodward, Ste 100  
\_\_\_\_\_  
Name of Development: Work Co  
Parcel ID #: \_\_\_\_\_  
Current Use: Vacant  
Area in Acres: \_\_\_\_\_  
Current Zoning: \_\_\_\_\_

Name of Historic District site is in, if any: \_\_\_\_\_  
Date of HDC Approval, if any: \_\_\_\_\_  
Date of Application for Preliminary Site Plan: \_\_\_\_\_  
Date of Preliminary Site Plan Approval: \_\_\_\_\_  
Date of Application for Final Site Plan: \_\_\_\_\_  
Date of Final Site Plan Approval: \_\_\_\_\_  
Date of Revised Final Site Plan Approval: \_\_\_\_\_

### 4. Attachments

- Two (2) folded paper copies of plans
- Authorization from Owner(s) (if applicant is not owner)
- Material Samples
- Digital Copy of plans

### 5. Details of the Request for Administrative Approval

Install two identical halo lit wall signs for Work Co. Sign measurements are 20.5 " x 94 " (13.38 sq feet) each

### 6. Location of Proposed Signs

Front and side elevations

### 7. Type of Sign(s)

Wall: Yes (two)  
Ground: \_\_\_\_\_  
Projecting: \_\_\_\_\_



CITY OF BIRMINGHAM  
Date: 07/07/2020 2:34:25 PM  
Ref: 00170536  
Receipt: 536128  
Amount: \$100.00

**8. If a wall sign, indicate wall to be used:**

Front: Yes - west elevation facing Old Woodward  
Left side: Yes - north elevation facing Oakland Ave

Rear: \_\_\_\_\_  
Right side: \_\_\_\_\_

**9. Size of Sign**

Width: 94 inches  
Depth: 4.5 inches  
Height of lettering: 12.5 inches

Height: 20.5 inches  
Total square feet: 13.38

**10. Existing signs currently located on property** N/A

Number: \_\_\_\_\_ Type(s): \_\_\_\_\_  
Square feet per sign: \_\_\_\_\_ Total square feet: \_\_\_\_\_

**11. Materials/Style**

Metal: Aluminum  
Plastic: \_\_\_\_\_  
Color 1 (including PMS color #): Black  
Additional colors (including PMS color #): \_\_\_\_\_

Wood: \_\_\_\_\_  
Glass: \_\_\_\_\_  
Color 2 (including PMS color #): \_\_\_\_\_

**12. Sign(s) Read(s):** Work Co

**13. Sign Lighting**

Type of lighting proposed: Halo illumination  
Size of light fixtures (LxWxH): \_\_\_\_\_

Maximum wattage per fixture: \_\_\_\_\_  
Location: Front and side elevation wall signs

Number proposed: 2 wall signs  
Height from grade: 97.75" - west elevation  
117.75" - north elevation  
Proposed wattage per fixture: \_\_\_\_\_  
Style (include specifications): Halo - let w/ LEDs


**14. Landscaping (Ground signs only)** N/A

Location of landscape areas: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Proposed landscape material: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant:  Date: 7-2-20

Office Use Only		
Application #: <u>PAA 20-0063</u>	Date Received: <u>7/7/2020</u>	Fee: <u>\$100.00</u>
Date of Approval: <u>7/7/2020</u>	Date of Denial: <u>N/A</u>	Reviewed by: <u></u>



## CONSENT OF PROPERTY OWNER

I, Thomas H. Kosik, manager of JFK Property Group A, L.L.C. OF THE STATE OF Michigan AND COUNTY OF

(Name of property owner)

Oakland STATE THE FOLLOWING:

1. That JFK Property Group A, L.L.C. is the owner of real estate located at 280 N Old Woodward, Ste 100;  
(Address of affected property)
2. That I have read and examined the Application for Administrative Approval made to the City of Birmingham by:  
Metro Detroit Signs;  
(Name of applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

Dated: 7/2/20

JFK Property Group A, L.L.C.  
Owner's Name (Please Print)

Thomas H. Kosik, Manager  
Owner's Signature Thomas H. Kosik



11444 Kaltz Ave. Warren, MI 48089

P: (586)759-2700 F: (586)759-2703

[kdeters@metrodetroitsigns.com](mailto:kdeters@metrodetroitsigns.com)

DATE: 7/2/20

TO: Birmingham Community Development Dept.

FROM: Kevin Deters  
Metro Detroit Signs

RE: Work Co – 280 N Old Woodward, Ste 100  
Admin app for two halo-lit wall signs

We are applying for two halo-lit wall signs. Here is our admin app with two copies of the drawings. I have also included a copy of our licenses and a \$100 check for the admin fee.

Feel free to call me at (586)759-2700 if anything else is needed. Thank you for your assistance.

West elevation facing Old Woodward Ave

**APPROVED**

7/7/2020

PAA20-0063

**WEST ELEVATION**

20.50" 12.50" 94" **WORK | CO**



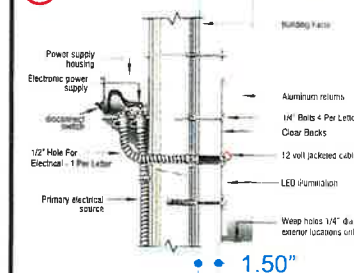
**SIGN DIMENSIONS**

20.50"x94" Overall - 13.38 Sq. Ft.

**CHANNEL LETTERS HALO-LIT**

**UL LISTED**

4.50"



**Letter Faces**

**Color**

Fabricated Metal

Black

**Letter Returns**

3"

**Halo-Illumination**

White LED

**Wire Leads**

Default 6'

-Brushed Aluminum Sheet Facade  
Over 2 layers of plywood/ 7" Void  
Interior Drywall.  
- 12" Thick Total Facade

**WORK | CO**

Sales Person: Paul Deters

Drawn By: Connie Fotiu

Date: 3/9/2020

File Name: Work Co.cdr  
West Elevation Pg 1

Revision: 6/29/2020 #2

Work Order#: XXX

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Customer Signature

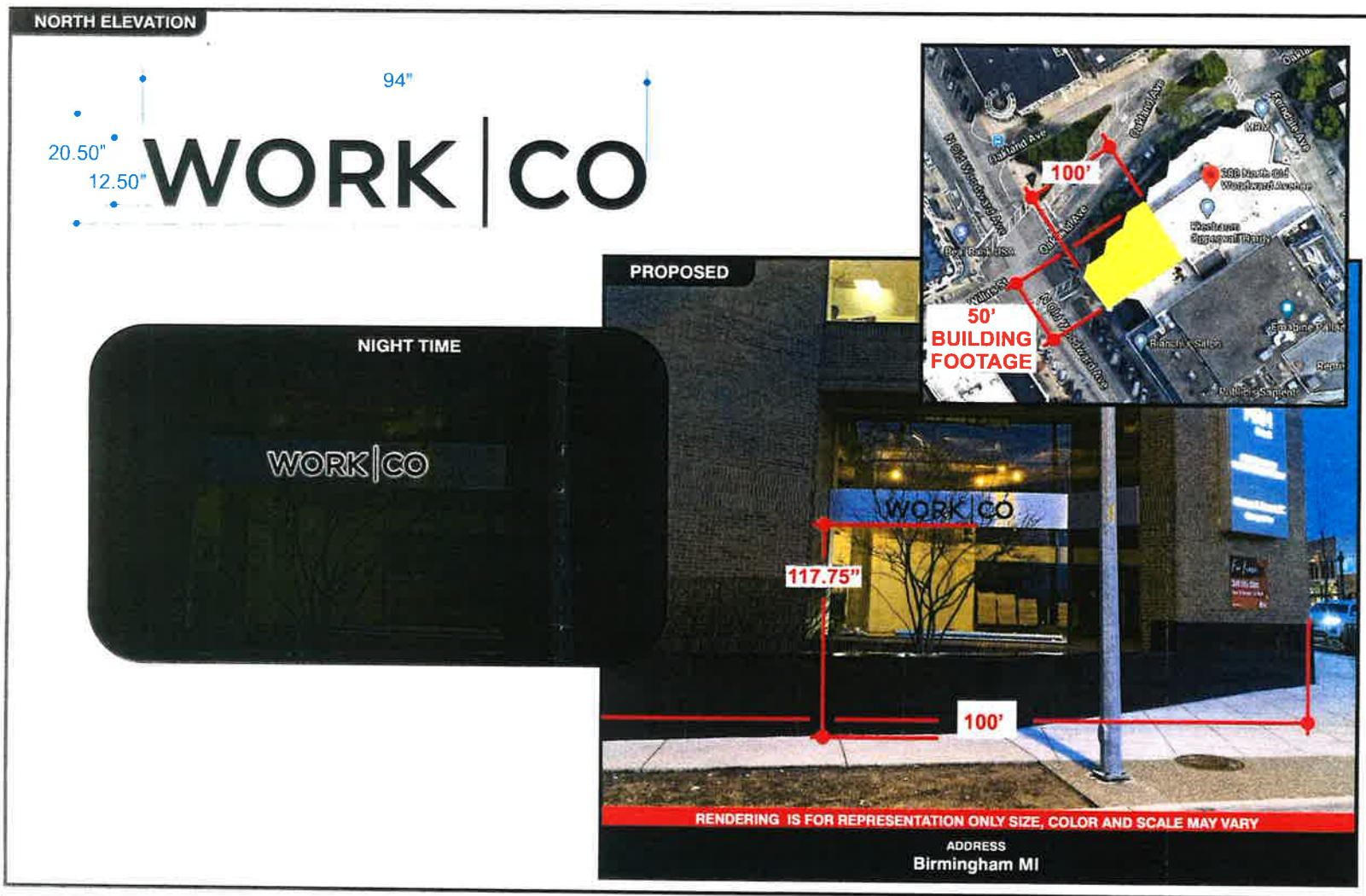
Date

**METRO SIGNS**  
ILLUMINATION

11444 Kaltz Ave  
Warren, MI 48069  
Phone: 586-759-2700  
Fax: 586-759-2703



North elevation facing Oakland Ave.



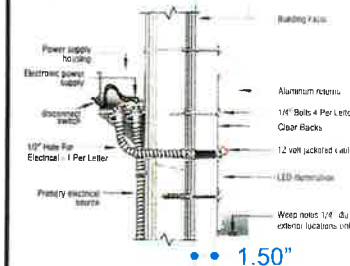
#### SIGN DIMENSIONS

20.50"x94" Overall - 13.38 Sq. Ft.

#### CHANNEL LETTERS HALO-LIT

**UL LISTED**

4.50"



#### Letter Faces

#### Color

Fabricated  
Metal

Black

#### Letter Returns

#### Halo-Illumination

3"

White LED

#### Wire Leads

Default 6'

-Brushed Aluminum Sheet Facade  
Over 2 layers of plywood/ 7" Void  
Interior Drywall.  
- 12" Thick Total Facade

WORK | CO

Sales Person: Paul Deters

Drawn By: Connie Fotiu

Date: 3/9/2020

File Name: Work Co.cdr  
North Elevation Pg 3

Revision: 6/29/2020 #2

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Customer Signature

Date

Work Order#: XXX



11444 Kaltz Ave  
Warren, MI 48089  
Phone: 586-759-2700  
Fax: 586-759-2703



## Administrative Sign Approval Application Planning Division

Form will not be processed until it is completely filled out.

**APPROVED**

7/13/2020

PAA20-0060

### 1. Applicant

Name: Aver Sign Company  
Address: 359 Livernois St.  
Ferndale, MI 48220  
Phone Number: (248) 542-0678  
Fax Number: (248) 542-2023  
Email Address: Jennifer@aversign.com

### 2. Property Owner

Name: FLS Properties #5  
Address: 856 N. Old Woodward  
Birmingham, MI 48009  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email Address: \_\_\_\_\_

### 3. Applicant's Attorney/Contact Person

Name: Jennifer Glover  
Address: 359 Livernois St.  
Ferndale, MI 48220  
Phone Number: (248) 542-0678  
Fax Number: (248) 542-2023  
Email Address: Jennifer@aversign.com

### 4. Project Designer/Developer

Name: Everbrite  
Address: Greenfield, WI  
Phone Number: (414) 529-3500  
Fax Number: \_\_\_\_\_  
Email Address: adebroux@everbrite.com

### 5. Project Information

Address/Location of Property: 856 N. Old Woodward  
Name of Development: Lash Lounge  
Parcel ID#: 08-19-25-328-001  
Current Use: Office  
Area in Acres: 0.568  
Current Zoning: BV

Name of Historic District if any: N/A  
Date of HDC Approval, if any: N/A  
Date of Application for Preliminary Site Plan: N/A  
Date of Preliminary Site Plan Approval: N/A  
Date of Application for Final Site Plan: N/A  
Date of Final Site Plan Approval: N/A  
Date of Revised Final Site Plan Approval: N/A

### 6. Required Attachments

- Two (2) folded paper copies of plans including details of the following:
  - Dimensions of proposed sign(s)
  - Dimensions of building frontage
  - Illumination
  - Height from grade
- Location of proposed sign(s)
- Colors and materials
- Authorization from Property Owner(s) (if applicant is not the owner)
- Material Samples
- Digital Copy of Plans

### 7. Details of the Request for Administrative Approval

Erect new "The Lash Lounge" wall sign on new building facade

### 8. Location of Proposed Sign(s)

Frontage of Suite

### 9. Type of Proposed Sign(s)

Wall: 24" inline LED Channel letters  
Ground: \_\_\_\_\_  
Name Letter: \_\_\_\_\_  
Canopy: \_\_\_\_\_  
Projecting (Post-Mounted): \_\_\_\_\_  
Projecting (Wall-Mounted): \_\_\_\_\_  
Building Identification: \_\_\_\_\_  
Other: \_\_\_\_\_



**10. Size of Proposed Sign**

Width: 24"  
Depth: Flush mounted  
Height of Lettering: 16.64"

Overall Height: 18'  
Extension from Wall: 5"  
Total Square Feet: 23.54

**11. Existing Signs Currently on Property**

Number: 0  
Square Feet per Sign: \_\_\_\_\_

Sign Type(s): \_\_\_\_\_  
Total Square Feet: \_\_\_\_\_

**12. Materials/Style of Proposed Sign(s)**

Metal: Aluminum  
Plastic: Acrylic  
Wood: None  
Glass: none

Other: \_\_\_\_\_  
Color #1: Amethyst (PMS 7448C)  
Color #2: White  
Additional Colors: \_\_\_\_\_

**13. Content of Proposed Sign(s)**

The Lash LOUNGE

**14. Proposed Sign Lighting**

Type of Lighting: interior LED  
Size of Fixtures (LxWxH): \_\_\_\_\_  
Maximum Wattage per Fixture: LED  
Proposed Wattage per Fixture: \_\_\_\_\_

Location: interior of sign  
Number of Lights Proposed: 1  
Height from Grade: 16.64'  
Lighting Style: LED (internal)

**15. Landscaping (Ground Signs Only)**

Location of Landscape Areas: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Proposed Landscape Material: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: \_\_\_\_\_

Date: 6-30-20

**Office Use Only**

Application # PAA-20-0060

Date Received: 6/30/2020

Fee: \$100.00

Date of Approval: \_\_\_\_\_

Date of Denial: N/A

Reviewed By: \_\_\_\_\_



## CONSENT OF PROPERTY OWNER

I, FLS Properties #5, LLC/Frank Simon OF THE STATE OF MICHIGAN AND COUNTY OF  
(Name of property owner)

OAKLAND STATE THE FOLLOWING:

1. That I am the owner of real estate located at 856 N. Old Woodward, Birmingham, MI;  
(Address of affected property)
2. That I have read and examined the Application for Administrative Approval made to the City of Birmingham by:  
The Lash Lounge;  
(Name of applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

Dated: 6/18/2020

FLS Properties #5, LLC  
Owner's Name (Please Print)

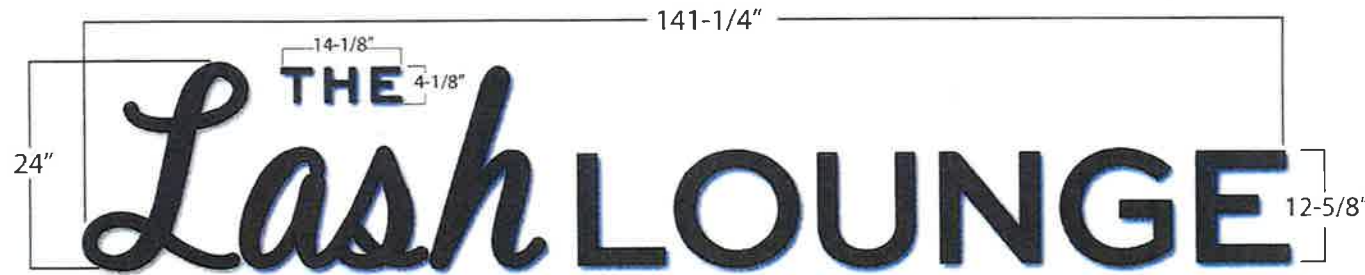
Frank R. Simon  
Owner's Signature Frank R. Simon

APPROVED  
7/13/2026  
PA420-0060



Illumination not to exceed 1.5 foot candles.

NOTE: Power within 2' of sign and blocking is the responsibility of the franchisee.

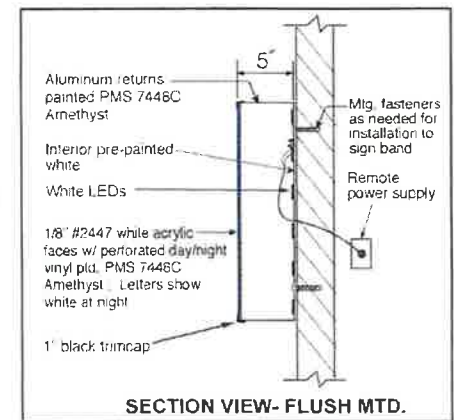


24" INLINE LED CHANNEL LETTERS, AMETHYST, FLUSH MTD.

NOTE: Specifications apply to "Lash LOUNGE" LED illuminated letters.

Exception: "THE" is non-illum'd flat cut out 1" Sintra painted Amethyst (PMS 7448C);

Letters are flush mtd.



Everbrite

DISCLAIMER: Renderings are for graphic purposes only and not intended for actual construction dimensions. For windload requirements, actual dimensions and mounting detail, please refer to engineering specifications and install drawings. These drawings and designs are the exclusive property of Everbrite LLC. Use of, or duplication in any manner without express written permission of Everbrite LLC is prohibited.

Customer: THE LASH LOUNGE

Project No: 431177

Scale:

Date: 05/29/2020

Drawn By: ERJ

Location & Site No: 856 N. OLD WOODWARD AVE  
BIRMINGHAM, MI 48009 TLL856ADR

Description: LTR, TLL 24" LED LOGO A

Revision:

Revision:

Customer Approval: Unless specified by customer, all depth of embossing will be determined by Everbrite Engineering or existing customer specifications on file. Colors and graphics on file will be used unless otherwise specified by customer.

Please read carefully, check appropriate box and fax back to Everbrite: ☐ Sketch OK as is ☐ New sketch required

CUSTOMER SIGNATURE

DATE

LANDLORD SIGNATURE

DATE



CITY OF BIRMINGHAM  
Date 06/29/2020 9:37:44 AM  
Ref 00170272  
Receipt 535755  
Amount \$100.00 X

## Administrative Sign Approval Application Planning Division

Form will not be processed until it is completely filled out.

**APPROVED**  
6/29/2020  
PA120-0055

### 1. Applicant

Name: KSI KITCHEN & BATH  
Address: 1020 OLD WOODWARD AVE  
BIRMINGHAM MI 48009  
Phone Number: 313-647-5326  
Fax Number:  
Email Address: Btolles@teamksi.com

### 2. Property Owner

Name: PERIMETER PROPERTIES LLC  
Address: 1020 OLD WOODWARD AVE  
BIRMINGHAM MI 48009  
Phone Number:  
Fax Number:  
Email Address:

### 3. Applicant's Attorney/Contact Person

Name: STEVE BRETZ/PHILLIPS SIGN & LIGHTING  
Address: 40920 EXECUTIVE DR  
HARRISON TWP MI 48045  
Phone Number: 586-468-7110  
Fax Number: 586-468-7441  
Email Address: janet@phillipssign.com

### 4. Project Designer/Developer

Name: PHILLIPS SIGN & LIGHTING  
Address: 40920 EXECUTIVE DR  
HARRISON TWP MI 48045  
Phone Number: 586-468-7110  
Fax Number: 586-468-7441  
Email Address: janet@phillipssign.com

### 5. Project Information

Address/Location of Property: 1020 OLD WOODWARD AVE  
Name of Development: KSI KITCHEN & BATH  
Parcel ID#:  
Current Use: KITCHEN & BATH SHOWROOM  
Area in Acres:  
Current Zoning:

Name of Historic District if any:  
Date of HDC Approval, if any:  
Date of Application for Preliminary Site Plan:  
Date of Preliminary Site Plan Approval:  
Date of Application for Final Site Plan:  
Date of Final Site Plan Approval:  
Date of Revised Final Site Plan Approval:

### 6. Required Attachments

- Two (2) folded paper copies of plans including details of the following:
  - Dimensions of proposed sign(s)
  - Dimensions of building frontage
  - Illumination
  - Height from grade

- Location of proposed sign(s)
- Colors and materials
- Authorization from Property Owner(s) (if applicant is not the owner)
- Material Samples
- Digital Copy of Plans

### 7. Details of the Request for Administrative Approval

INSTALLATION OF (2) SINGLE FACED EXTERNALLY ILLUMINATED WALL SIGNS AND (8) GOOSENECK FIXTURES

### 8. Location of Proposed Sign(s)

FRONT ELEVATION OF BUILDING

### 9. Type of Proposed Sign(s)

Wall: 2  
Ground:  
Name Letter:  
Canopy:

Projecting (Post-Mounted):  
Projecting (Wall-Mounted): X  
Building Identification:  
Other:



CITY OF BIRMINGHAM  
Date 07/13/2020 8:54:20 AM  
Ref 00170272  
Receipt 536439  
Amount \$100.00

**10. Size of Proposed Sign**

Width: SEE ATTACHED DRAWINGS  
Depth: \_\_\_\_\_  
Height of Lettering: \_\_\_\_\_

Overall Height: \_\_\_\_\_  
Extension from Wall: \_\_\_\_\_  
Total Square Feet: \_\_\_\_\_

**11. Existing Signs Currently on Property**

Number: 1 (MAISON BIRMINGHAM) SIGN TO BE REMOVED PRIOR  
Square Feet per Sign: TO INSTALLATION OF PROPOSED SIGNAGE

Sign Type(s): \_\_\_\_\_  
Total Square Feet: \_\_\_\_\_

**12. Materials/Style of Proposed Sign(s)**

Metal: \_\_\_\_\_  
Plastic: ACRYLIC  
Wood: \_\_\_\_\_  
Glass: \_\_\_\_\_

Other: \_\_\_\_\_  
Color #1: WHITE  
Color #2: \_\_\_\_\_  
Additional Colors: \_\_\_\_\_

**13. Content of Proposed Sign(s)**

SIGN (1) COPY TO READ: MAISON BIRMINGHAM

SIGN (2) COPY TO READ: KSI KITCHEN & BATH

**14. Proposed Sign Lighting**

Type of Lighting: GOOSENECK FIXTURES  
Size of Fixtures (LxWxH): \_\_\_\_\_  
Maximum Wattage per Fixture: 15  
Proposed Wattage per Fixture: 10

Location: \_\_\_\_\_  
Number of Lights Proposed: 8  
Height from Grade: \_\_\_\_\_  
Lighting Style: \_\_\_\_\_

**15. Landscaping (Ground Signs Only)**

Location of Landscape Areas: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Proposed Landscape Material: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: Ed Phillips

Date: 06/19/2020

Office Use Only

Application # PAA20-0055

Date Received: 6/26/2020

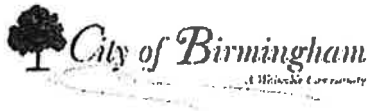
Fee: \$100.00

Date of Approval: 6/29/2020

Date of Denial: N/A

Reviewed By: [Signature]





**CONSENT OF PROPERTY OWNER**

I, Perimeter Properties, LLC OF THE STATE OF Michigan AND  
(Name of Property Owner)  
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 1020 S OLD WOODWARD AVE;  
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of  
Birmingham by: ED PHILLIPS/PHILLIPS SIGN & LIGHTING;  
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

Name of Owner (Printed): Steven G. Quintal

Signature of Owner:  Date: 6/18/20

Item #2

TOTAL SIGN AREA: 39 Sq. Ft.

Acrylic Letters  
Qty: 1

Lead #: 2006006-37767

PROJECT: KSI-Birmingham

FILE: KSI-Maison-Wall Sign-6-18-20-PERMIT

SITE ADDRESS: 1020 S. Old Woodward Ave.,  
Birmingham, 48009

LEAD: SB

REVISION:  
DM 6-18-20

LAYOUT: DM

Date:  
6-9-20

1 1/2" Acrylic letter with  
pigmented finish.  
Stud Mounted.  
Externally illuminated with  
goose neck light fixtures.

Color: 7508 White  
Finish: Gloss

APPROVED  
6/18/20  
5500-0255  
PAA20-0055

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the sole property of Phillips Sign & Lighting, Inc.  
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are protected. Attempts to duplicate designs without  
written consent may result in Legal Repercussions.

phillips SIGN & LIGHTING inc.

PS&L

Ph: 586.468.7110

40920 Executive Drive  
Harrison Twp., MI  
48045-1363

ENLARGED SIDE VIEW



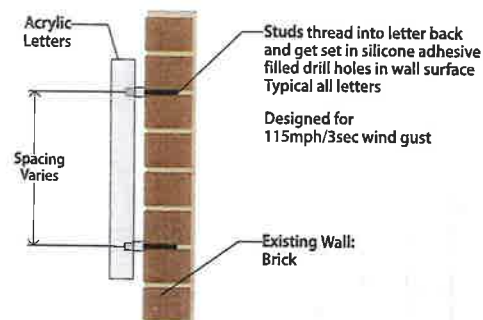
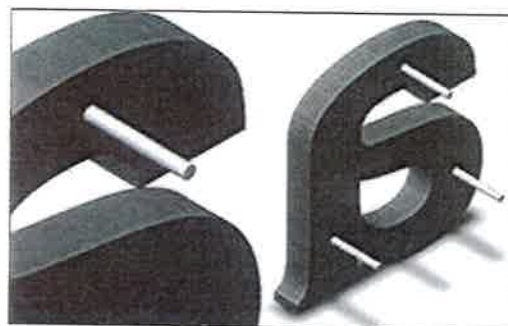
1/2" Acrylic

16 ft 10 1/2 in  
77 7/8 in  
9 ft 6 1/2 in  
12 in  
MAISON BIRMINGHAM  
11 in

SIGN AREA: 17 sq. ft.

13 ft 7 in  
21 7/8 in  
11 ft 3 in  
19 1/4 in  
17 in  
KSI KITCHEN & BATH  
11 in

SIGN AREA: 22 sq. ft.



### Typical Silicone Adhesive Properties

Method	Test	Unit	Result
As Supplied	Color		Black, gray, white
	Tack-Free Time, 50% RH	minutes	65
	Curing Time 25°C (77°F) at 50% RH	days	7-14
	Full Adhesion	days	14-21
	Flow, Sag, or Slump	inches	0.1
	Working Time	minutes	10-20
	Specific Gravity		1.339
	VOC Content <sup>1</sup>	g/L	30
As Cured - After 7 days at 25°C (77°F), 50% RH	ASTM <sup>2</sup> D2240	Durometer Hardness, Shore A	points 40
	ASTM D0412	Ultimate Tensile Strength	Psi (MPa) 350 (2.41)
		Ultimate Elongation	% 525
	ASTM D0624	Tear Strength, die B	ppi 49
	ASTM C0794	Peel Strength	ppi 40
	ASTMC1135	Tensile at 25% Elongation	psi (MPa) 43 (0.30)
	ASTMC1135	Tensile at 50% Elongation	psi (MPa) 65 (0.43)
As Cured - After 21 days at 25°C (77°F), 50% RH		Ultimate Tensile Strength	psi (MPa) 170 (1.17)
	ASTM C719	Joint Movement Capability	% ±50

visit us at: [phillipssign.com](http://phillipssign.com)

Approved: *[Signature]*

Date: 6/18/20

Permit: DM 6-18-20



## SIMULATED ELEVATION

\*Tree removed for simulation purposes



## EXISTING AT SITE



## Item #2

TOTAL SIGN AREA: 39 Sq. Ft.

Acrylic Letters  
Qty: 1

Lead #: 2006006-37767

PROJECT: KSI-Birmingham

FILE: KSI-Maison-Wall Sign-6-18-20-PERMIT

SITE ADDRESS: 1020 S. Old Woodward Ave.,  
Birmingham, 48009

LEAD: SB

REVISION:  
DM 6-18-20

LAYOUT: DM

Date:  
6-9-20

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phillips SIGN & LIGHTING inc.

**PS&L**

Ph: 586.468.7110

40920 Executive Drive  
Harrison Twp., MI  
48045-1363

visit us at: **phillipssign.com**

Approved: *[Signature]*

Date: *6/18/20*

Permit: DM 6-18-20



## SIMULATED NIGHT VIEW

\*Tree removed for simulation purposes



**Item #2**

TOTAL SIGN AREA: 39 Sq. Ft.

**Acrylic Letters**

Qty: 1

Lead #: 2006006-37767

PROJECT: KSI-Birmingham

FILE: KSI-Maison-Wall Sign-6-18-20  
PERMIT

SITE ADDRESS: 1020 S. Old Woodward Ave.,  
Birmingham, 48009

LEAD: SB

REVISION:  
DM 6-18-20

LAYOUT: DM

Date:  
6-9-20

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written consent may result in Legal Repercussions.

phillips **SIGN & LIGHTING** inc.

**PS&L**

Ph: 586.468.7110

visit us at: **phillipssign.com**

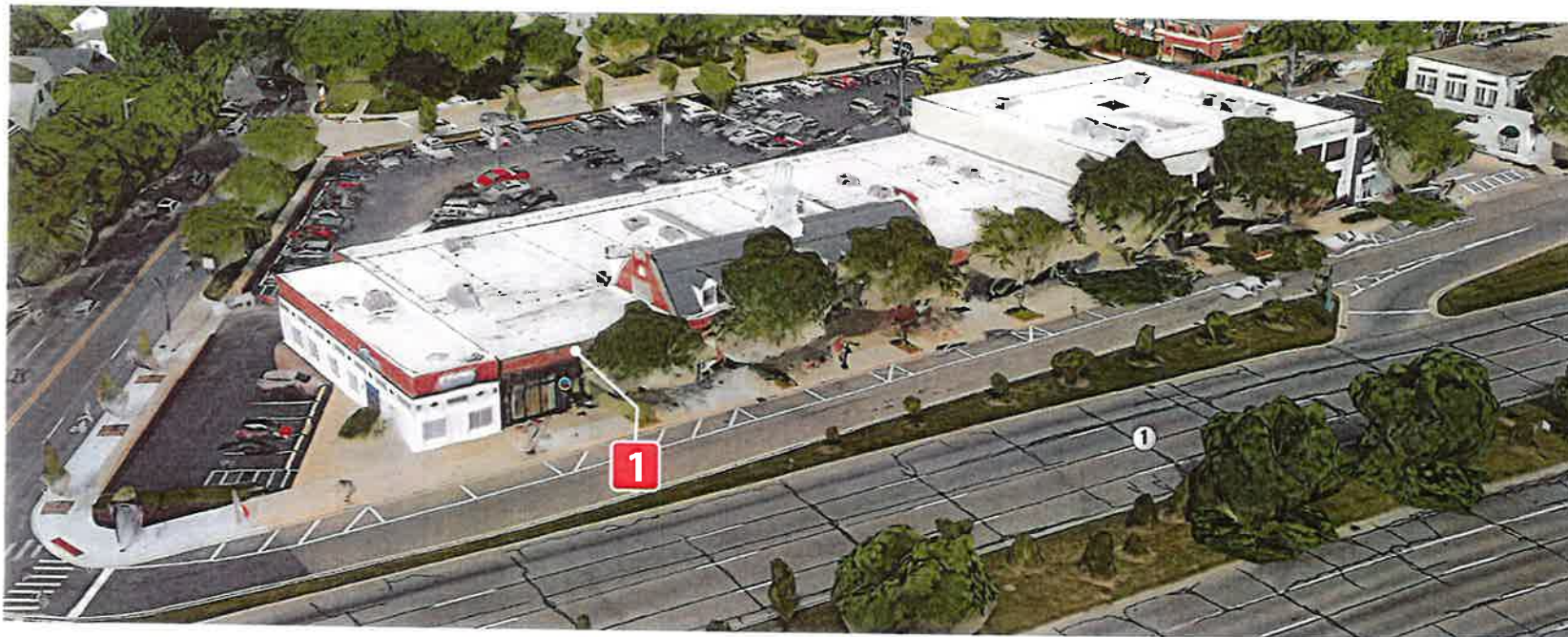
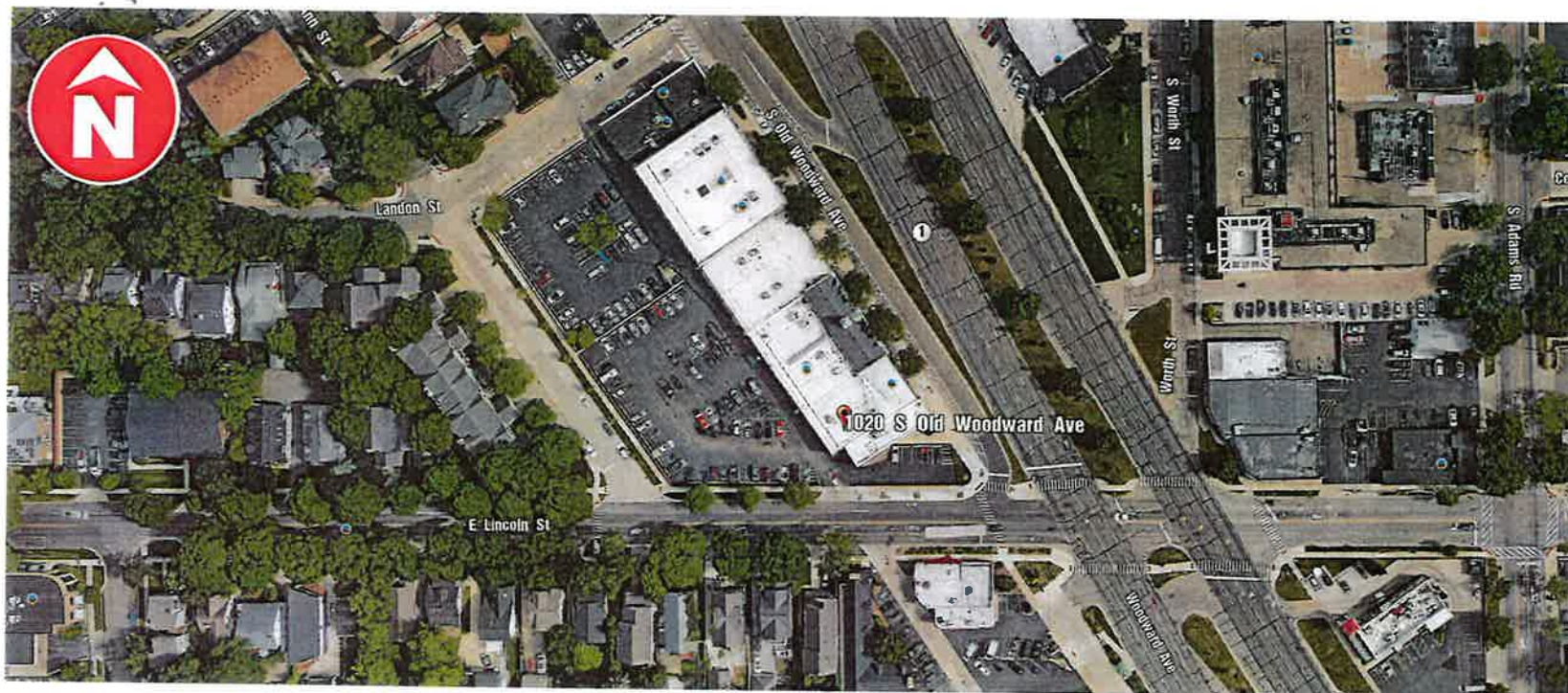
Approved: Bret

Date: 6/18/20

Permit: DM 6-18-20

40920 Executive Drive  
Harrison Twp., MI  
48045-1363





## SITE PLAN

1020 S. Old Woodward Ave.

Lead #: 2006006-37767

PROJECT: KSI-Birmingham

FILE: KSI-Maison-Wall Sign-6-18-20-PERMIT

SITE ADDRESS: 1020 S. Old Woodward Ave.,  
Birmingham, 48009

LEAD: SB

REVISION:

LAYOUT: DM

DM 6-18-20

Date:  
6-9-20

- 1** Location of proposed wall sign to be installed per the elevation drawings

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phillips SIGN & LIGHTING inc.

**PS&L**

Ph: 586.468.7110

visit us at: **phillipssign.com**

Approved: *AB*

Date: 6/18/20

Permit: DM 6-18-20

40920 Executive Drive  
Harrison Twp., MI  
48045-1363



**APPROVED**



7/17/2020  
PAA20-0062

**Administrative Approval Application  
Planning Division**

*Form will not be processed until it is completely filled out.*



**1. Applicant**

Name: BELLE ISLE Awning  
Address: 13701 EAST 9 MILE RD  
WARREN, MI 48089  
Phone Number: 586-294-6050  
Fax Number: 586-294-2487  
Email Address: INFO@BELLEISLEAWNING.COM

**2. Property Owner**

Name: Merrillwood Collection  
Address: 251 E. Merrill  
Birmingham, MI 48009  
Phone Number: 248-647-8590  
Fax Number: 248-647-3038  
Email Address: jah@glawfirm.com

**3. Applicant's Attorney/Contact Person**

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email Address: \_\_\_\_\_

**4. Project Designer/Developer**

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email Address: \_\_\_\_\_

**5. Project Information**

Address/Location of Property: 251 E. Merrill Street  
Birmingham, MI 48009  
Name of Development: Merrillwood Building  
Parcel ID#: 08-19-36-201-018  
Current Use: Mixed Use  
Area in Acres: 0.679 acres (29,565 sq ft)  
Current Zoning: B-4

Name of Historic District if any: \_\_\_\_\_  
Date of HDC Approval, if any: \_\_\_\_\_  
Date of Application for Preliminary Site Plan: \_\_\_\_\_  
Date of Preliminary Site Plan Approval: \_\_\_\_\_  
Date of Application for Final Site Plan: \_\_\_\_\_  
Date of Final Site Plan Approval: \_\_\_\_\_  
Date of Revised Final Site Plan Approval: \_\_\_\_\_

**6. Required Attachments**

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- One (1) digital copy of plans
- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations
- Photographs of existing conditions on the site where changes are proposed

**7. Details of the Request for Administrative Approval**

Approval request for the addition and/or replacement of existing exterior awnings to the first and second floors of 251 E. Merrill along the Merrill and Old Woodward elevations.

AWNING INSTALLATION. SEE ATTACHED PLANS.

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan.

Signature of Applicant: Scott R. Hunt

Date: 06-29-2020

Application #: PAA20-0062

Office Use Only  
Date Received: 7/16/2020

Fee: \$100.00

Date of Approval: 7/17/2020

Date of Denial: N/A

Reviewed By: [Signature]



**CONSENT OF PROPERTY OWNER**

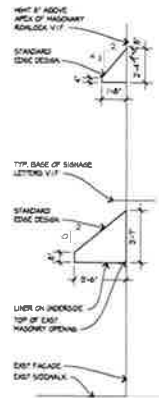
I, Merrillwood Collection, OF THE STATE OF Michigan AND  
(Name of Property Owner)  
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 251 E. Merrill Street;  
(Address of Affected Property)
2. That I have read and examined the Application for Administrative Approval made to the City of  
Birmingham by: \_\_\_\_\_;  
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

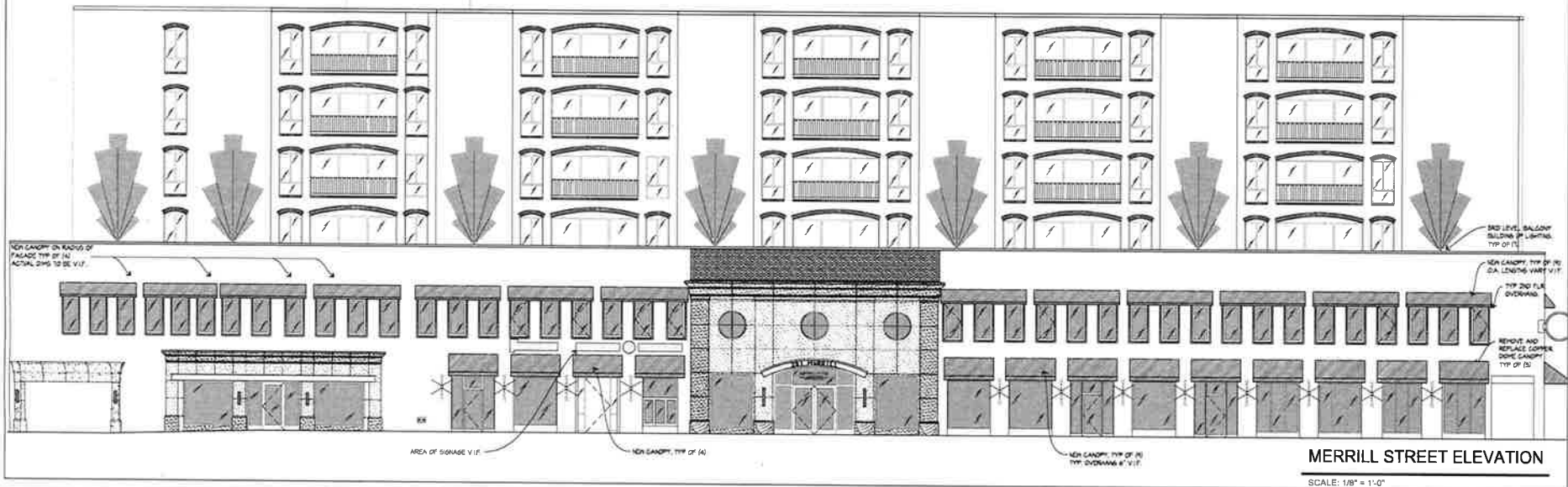
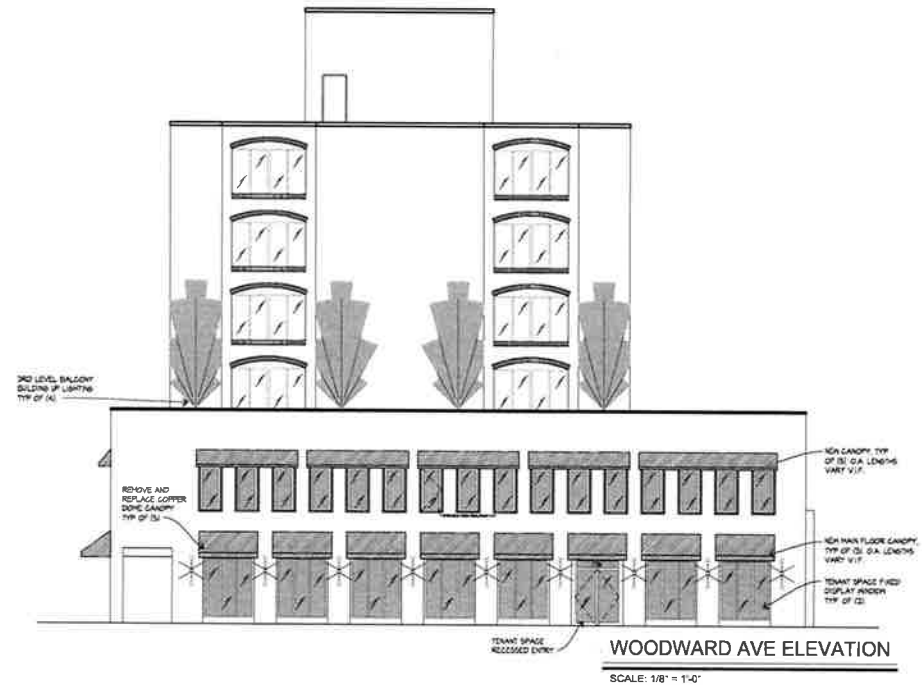
Name of Owner (Printed): Jeffrey A. Ishbia, manager  
Merrillwood Investments LLC  
d/b/a Merrillwood Collection

Signature of Owner: \_\_\_\_\_ Date: 06.25.20.



### CANOPY PROFILE

SCALE: 1/4" = 1'-0"



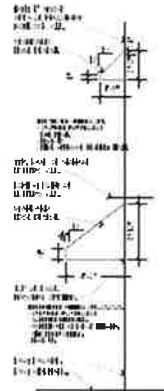
**HELLER ASSOCIATES**  
DESIGN + BUILD  
7000 FIRST STREET, SUITE 200, BIRMINGHAM, AL 35203 • 205.988.1100

**MERRILLWOOD BUILDING**  
225 E. MERRILL STREET BIRMINGHAM, MI 48009

**CA BLDG EXTERIOR ELEVATIONS**  
COPYRIGHT 2019

DESIGN BY	HELLER ASSOCIATES
DATE	10/1/2019
BY	J. HELLER
CHECKED BY	J. HELLER
APPROVED BY	J. HELLER
SCALE	1/8" = 1'-0"
PAGE NO.	8





SCALE: 1" = 1'0"



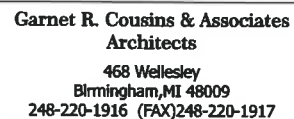
● 圖書分類法 1977  
● 圖書分類法 1977  
● 圖書分類法 1977



SCALE: 1" = 1' 0"

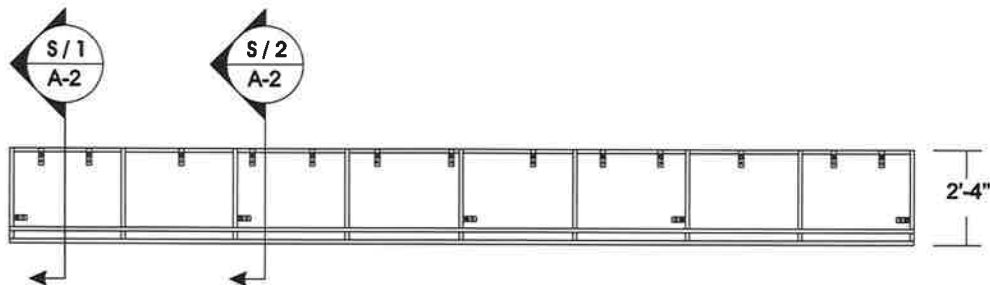


SCALE: 1 CM = 150

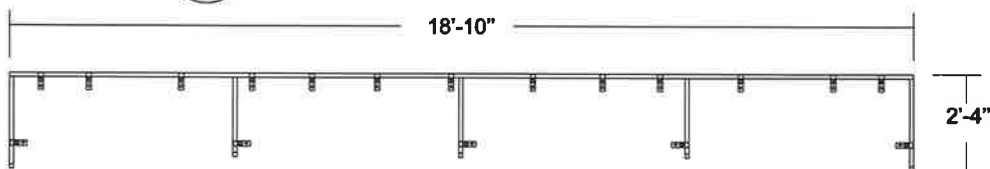


**PROJECT:**  
**MERRILLWOOD BUILDING**  
**225 E. MERRILL STREET**  
**BIRMINGHAM, MI 48009**

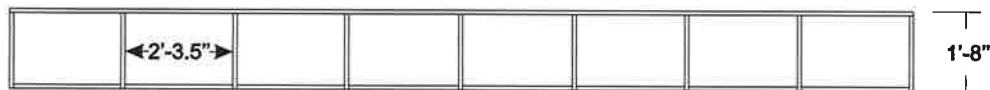
SHEET NO: A-1	DATE: 6 / 12 / 2020
SALES REP: BLAIR	REVISED: 6 / 23 / 2020



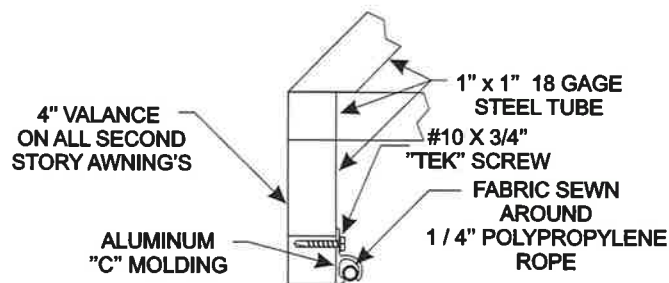
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A-2 SCALE 1/4" = 1'0"



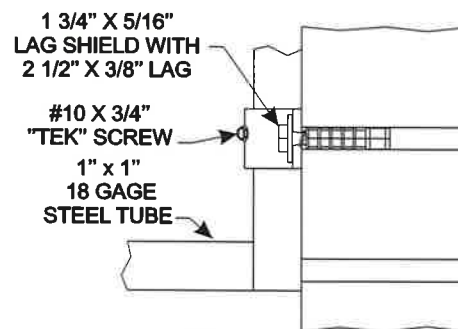
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A-2 SCALE 1/4" = 1'0"



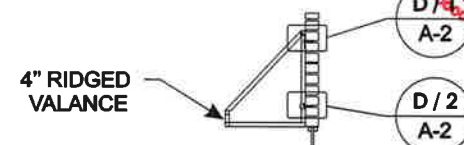
3 TOP VIEW FRAME "A"  
A-2 SCALE 1/4" = 1'0"



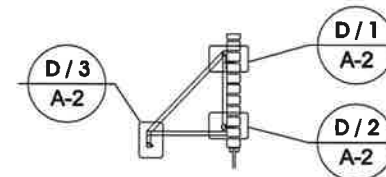
D/3 DETAIL  
A-2 SCALE 1/4" = 1"



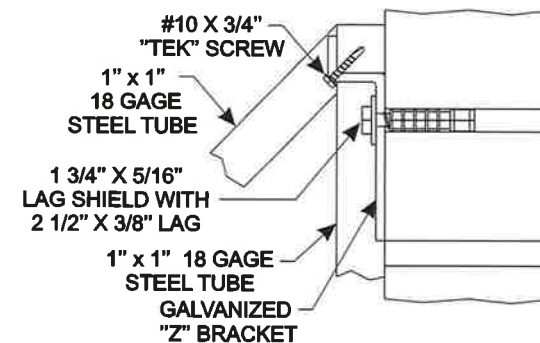
D/2 DETAIL  
A-2 SCALE 1/4" = 1"



4 INSIDE OF WING  
A-2 SCALE 1/4" = 1'0"



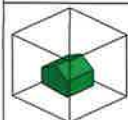
5 RAFTER & TIE BAR  
A-2 SCALE 1/4" = 1'0"



D/1 DETAIL  
A-2 SCALE 1/4" = 1"



*Garnet R. Cousins*



Garnet R. Cousins & Associates  
Architects  
468 Wellesley  
Birmingham, MI 48009  
248-220-1916 (FAX) 248-220-1917

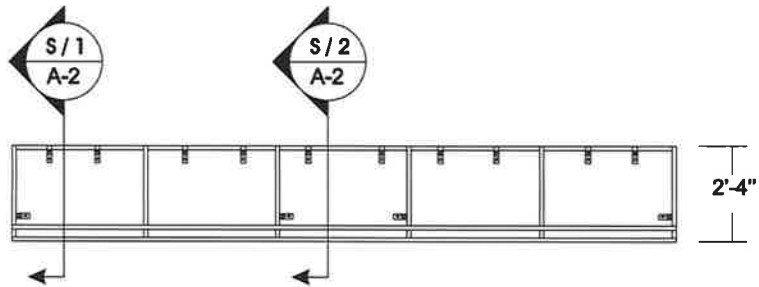
CLIENT:  
MERRILLWOOD BUILDING  
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PROJECT:  
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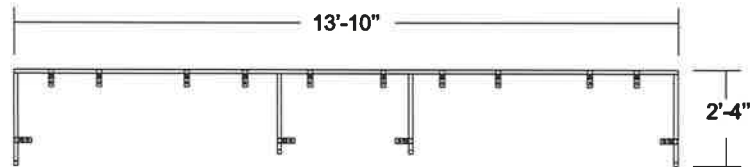
SHEET TITLE:  
FRAME A AND DETAIL  
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SHEET NO:  
A-2  
SALES REP:  
BLAIR

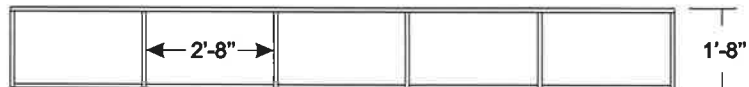
DATE:  
6 / 12 / 2020  
REVISED:  
6 / 24 / 2020



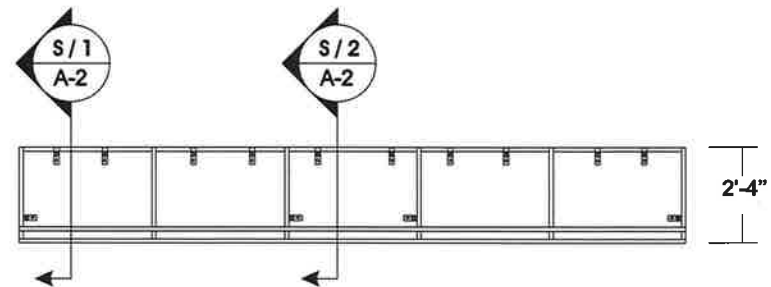
1 FRONT VIEW FRAME "B" QUANTITY 12  
A-3 SCALE 1/4" = 1'0"



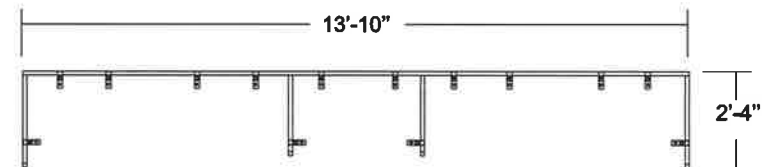
2 FRAME AT WALL "B"  
A-3 SCALE 1/4" = 1'0"



3 TOP VIEW FRAME "B"  
A-3 SCALE 1/4" = 1'0"



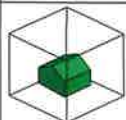
4 FRONT VIEW FRAME "C" QUANTITY 1  
A-3 SCALE 1/4" = 1'0"



5 FRAME AT WALL "C"  
A-3 SCALE 1/4" = 1'0"



6 TOP VIEW FRAME "C"  
A-3 SCALE 1/4" = 1'0"



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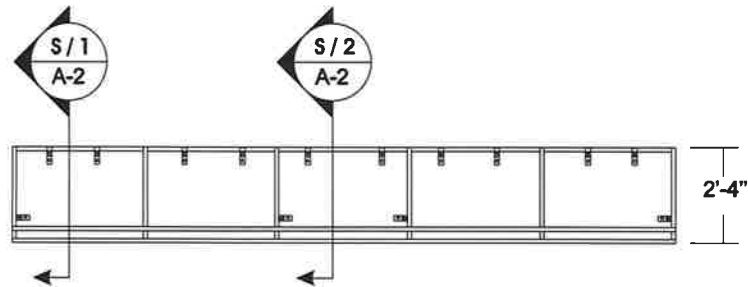
SHEET TITLE:  
FRAME'S B AND C  
DO NOT SCALE DRAWINGS  
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SHEET NO:  
A-3  
SALES REP:  
BLAIR

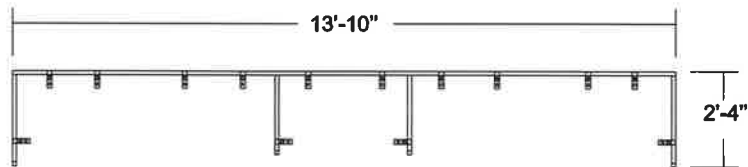
DATE:  
6 / 12 / 2020  
REVISED:  
6 / 24 / 2020







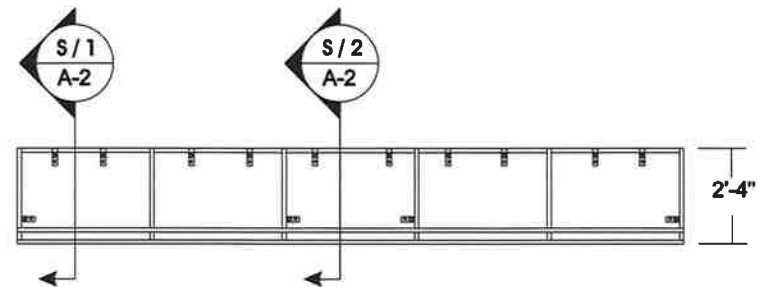
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A-4 SCALE 1/4" = 1'0"



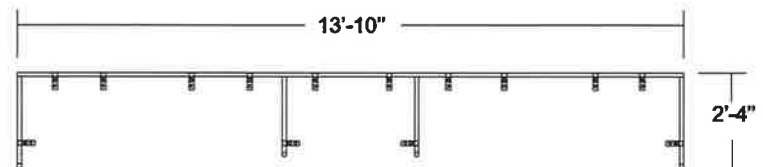
2 FRAME AT WALL "D"  
A-4 SCALE 1/4" = 1'0"



3 TOP VIEW FRAME "D"  
A-4 SCALE 1/4" = 1'0"



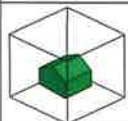
4 FRONT VIEW FRAME "E" QUANTITY 1  
A-4 SCALE 1/4" = 1'0"



5 FRAME AT WALL "E"  
A-4 SCALE 1/4" = 1'0"



6 TOP VIEW FRAME "E"  
A-4 SCALE 1/4" = 1'0"



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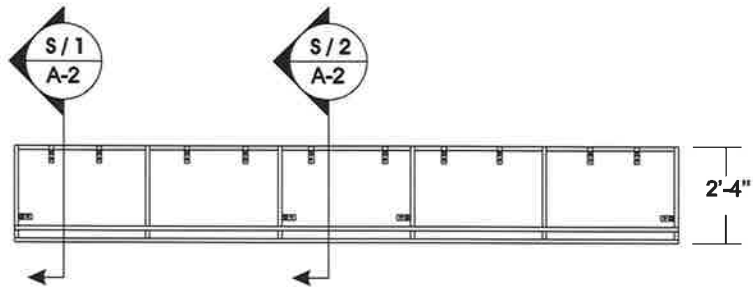
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SHEET TITLE:  
FRAMES D AND E  
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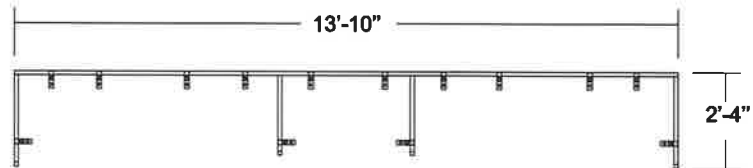
SHEET NO:  
A-4  
SALES REP:  
BLAIR

DATE:  
6 / 12 / 2020  
REVISED:  
6 / 24 / 2020





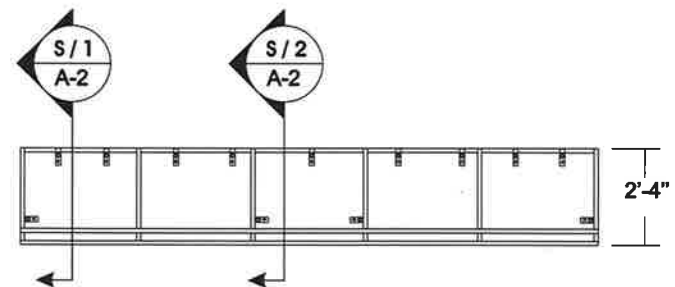
4 FRONT VIEW FRAME "F" QUANTITY 1  
A-4 SCALE 1/4" = 1'0"



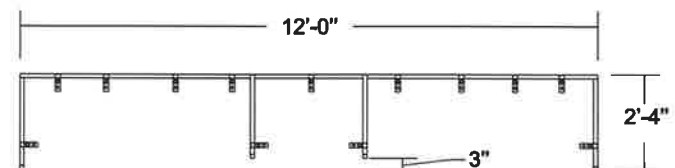
5 FRAME AT WALL "F"  
A-4 SCALE 1/4" = 1'0"



6 TOP VIEW FRAME "F"  
A-4 SCALE 1/4" = 1'0"



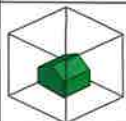
1 FRONT VIEW FRAME "G" QUANTITY 1  
A-5 SCALE 1/4" = 1'0"



2 FRAME AT WALL "G"  
A-5 SCALE 1/4" = 1'0"



3 TOP VIEW FRAME "G"  
A-5 SCALE 1/4" = 1'0"



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SHEET TITLE:  
FRAMES F AND G

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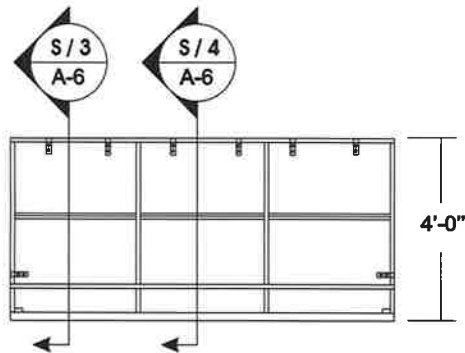
SHEET NO:  
A-5

SALES REP:  
BLAIR

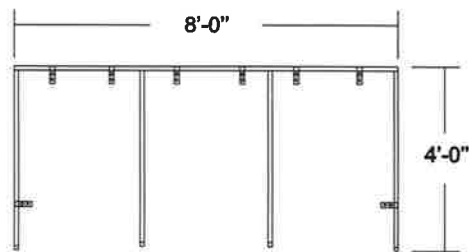
DATE:  
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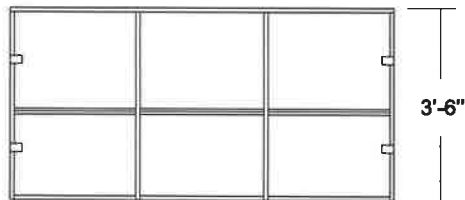




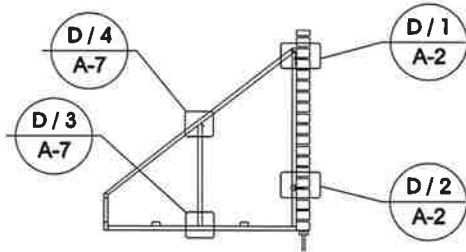
1 FRONT VIEW FRAME "H" QUANTITY 21  
A-6 SCALE 1/4" = 1'0"



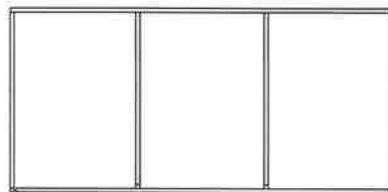
2 FRAME AT WALL "H"  
A-6 SCALE 1/4" = 1'0"



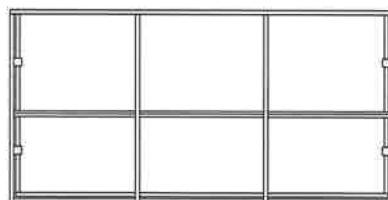
3 TOP VIEW FRAME "H"  
A-6 SCALE 1/4" = 1'0"



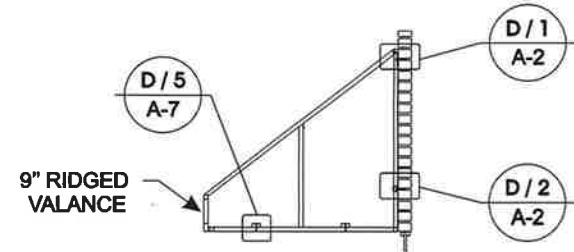
4 INSIDE OF WING  
A-6 S/3 A-6 SCALE 1/4" = 1'0"



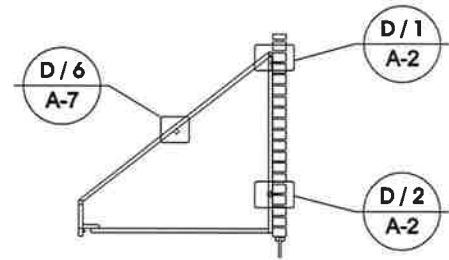
5 FRAME AT WALL "H" WITH LINER  
A-6 S/3 A-6 SCALE 1/4" = 1'0"



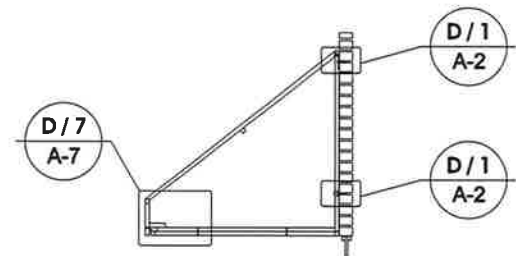
6 TOP VIEW FRAME "H" WITH LINER  
A-6 S/3 A-6 SCALE 1/4" = 1'0"



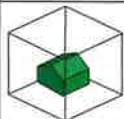
7 INSIDE OF WING WITH LINER  
A-6 S/4 A-6 SCALE 1/4" = 1'0"



8 RAFTER & TIE BAR  
A-6 S/2 A-6 SCALE 1/4" = 1'0"



8 RAFTER & TIE BAR WITH LINER  
A-6 S/2 A-6 SCALE 1/4" = 1'0"



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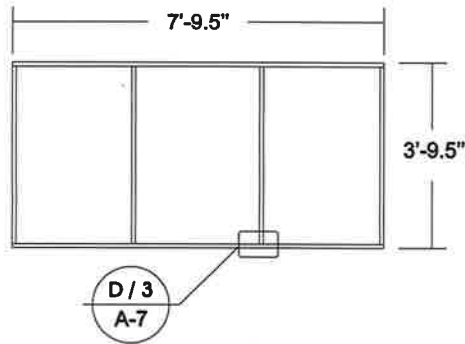
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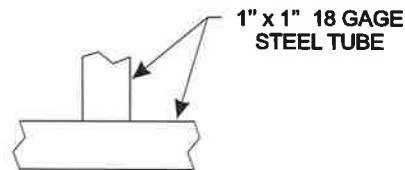
SHEET TITLE:  
FRAME H  
DO NOT SCALE DRAWINGS  
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SHEET NO:  
A-6  
SALES REP:  
BLAIR  
DATE:  
6 / 12 / 2020  
REVISED:  
6 / 24 / 2020

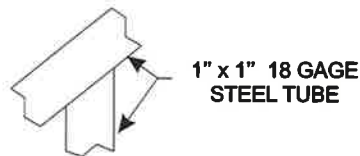




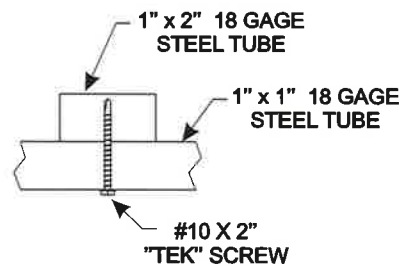
**1 TOP VIEW LINER "I"**  
A-7 SCALE 1/4" = 1'0"



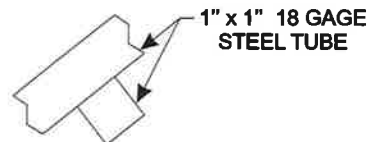
**D/3 DETAIL**  
A-7 SCALE 1/4" = 1"



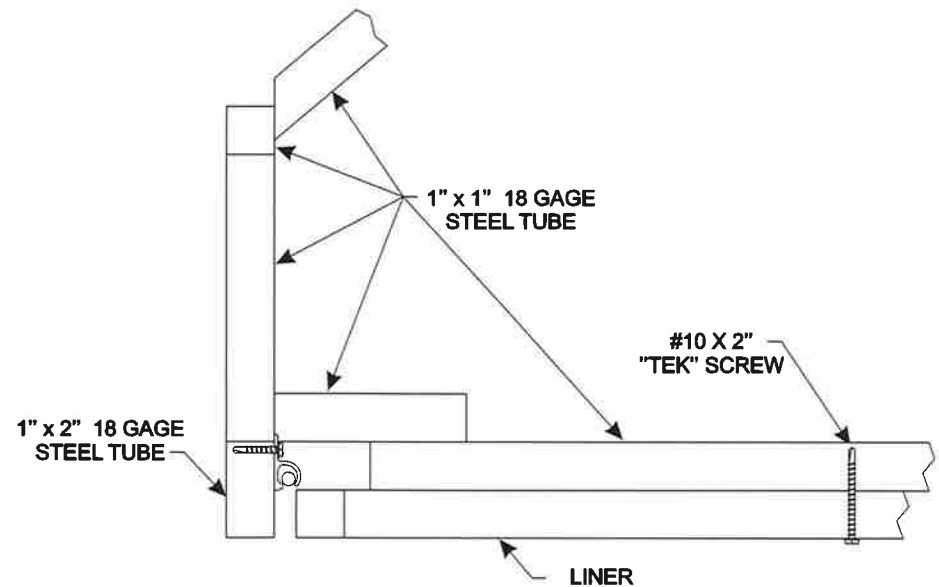
**D/4 DETAIL**  
A-7 SCALE 1/4" = 1"



**D/5 DETAIL**  
A-7 SCALE 1/4" = 1"



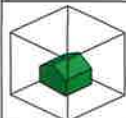
**D/6 DETAIL**  
A-7 SCALE 1/4" = 1"



**D/7 DETAIL**  
A-7 SCALE 1/4" = 1"

**General Notes:**

- Inspect all connection points at existing material prior to proceeding to insure that connections are into solid material.
- Inspect behind areas of awning placement to verify that the building has been constructed as per the approved plans and industry standards.
- At brick veneer construction verify that there are brick ties every third course.
- All connectors shall be minimum 1/4" diameter (unless larger is called for), galvanized or stainless steel.
- Maximum spacing of connectors to be 32 inches.
- Provide minimum of 2" penetration when connecting into solid material. Provide minimum of 1/2" penetration beyond connection substrate for connectors receiving washer and nut. Washers to have lock washers.
- Provide lead anchors or equal when connecting into masonry or similar material.
- Provide machine bolts or equal for connection to steel substrate.
- Provide lag bolts or equal for connection into wood or similar materials.
- Provide steel spacers at connectors when tightening the connection may cause collapse of adjacent materials.
- Provide washers, steel angles or 5/8" thick plywood backers at materials that are insufficient to withstand pullout.



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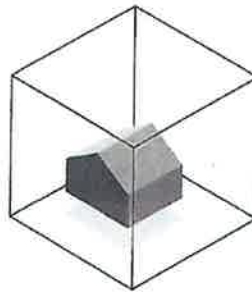
**PROJECT:**  
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**SHEET TITLE:**  
LINER I AND DETAILS  
  
**DO NOT SCALE DRAWINGS**  
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**SHEET NO:**  
A-7  
  
**SALES REP:**  
BLAIR  
  
**DATE:**  
6 / 12 / 2020  
  
**REVISED:**  
6 / 23 / 2020



AWNING FOR  
MERRILLWOOD BLDG.  
225 E. MERRILL ST.  
BIRMINGHAM, MI  
48009  
BELLE ISLE AWNING CO.



468 Wellesley  
Birmingham, MI  
48009  
Ph: 248 220 1916  
garcous@wowway.com



Garnet R. Cousins & Associates  
registered architect

6.23.20

SNOW  
SNOW LOAD  
25 LB./SQ.FT.  
+ 5 LB. MATERIALS  
30 LB./SQ.FT.

WORST CASE AWNINGS

B, C, D, E, F A & G SHORTER RAFTER  
SPANS WITH LOWER  
MOMENTS

LOAD PER L.F. =

$$2.0 \times 30 \text{ LB./SQ.FT.} = \frac{79.8 \text{ LB}}{\text{LF}}$$

$$\text{MOMENT} = \frac{WL^2}{12}$$

$$= \frac{79.8 \text{ LB}}{\text{FT.}} \times (1.66)^2 / 12$$

$$= \text{LB.}$$

"S" REQUIRED = IN. LB. MOMENT / ALLOWABLE STRESS

$$= 18.3 \text{ LB.} \times 12 / 24,000 \text{ P.S.I.} = .009$$

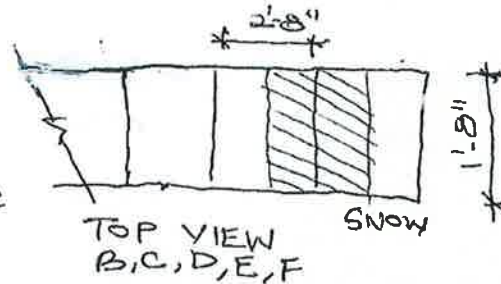
"S" PROVIDED BY:

$$1 \times 1 \times 184 \text{ RAFTER} = .056 > .009 \text{ OK}$$

WIND AT 150 MPH

= 16 LB./SQ.FT. LEEWARD, 16 LB./SQ.FT. WINDWARD

= 32 LB./SQ.FT. TOTAL WORST CASE





# MOMENT DUE TO WIND

AREA AT RECTANGLE

$$.33' \times 2.33' = .77 \text{ SQ. FT.}$$

AREA AT TRIANGLE

$$1' \times 2.33' = 2.33 \text{ SQ. FT.}$$

FORCE AT TRIANGLE =

$$2.33 \text{ SQ. FT.} \times 32 \frac{\text{LB}}{\text{SQ. FT.}} = 74.6 \text{ LB.}$$

FORCE AT RECTANGLE =

$$.33 \times .16 = .0528 \text{ SQ. FT.} \times 32 = 1.69 \text{ LB.}$$

$$\square \text{ MOMENT} = 1.69 \text{ LB.} \times 7.8' = 13.2 \text{ LB.}$$

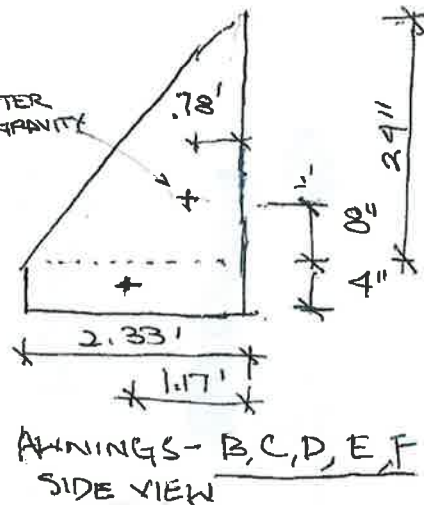
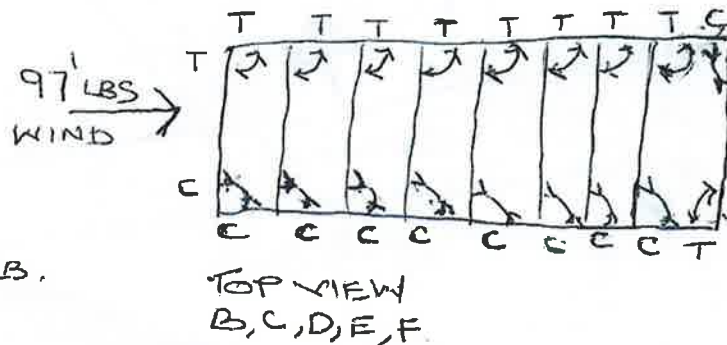
$$\triangle \text{ MOMENT} = 74.6 \text{ LB.} \times 1.17' = 87.3 \text{ LB.}$$

TOTAL MOMENT = 97' LB.

## RESISTING MOMENT

AWNING HAS 9 WELDED CONNECTIONS ACROSS  
FRONT AND BACK = 18 PT. EACH FRAME  
RESISTS MOMENT

$$\frac{97' \text{ LB.}}{18} = 5.4 \text{ LB.}$$



$$''S'' \text{ REQUIRED} = 5.4' \text{ LB.} \times 12 / 24,000 \text{ P.S.I.}$$

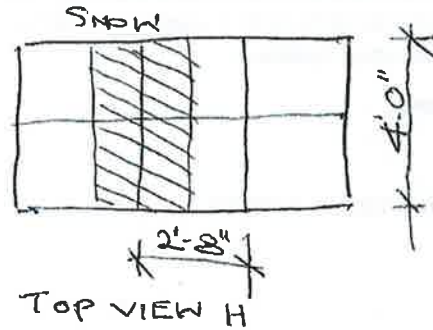
$$= .0027$$

$$''S'' \text{ PROVIDED BY } 1 \times 1 \times 18 \text{ GA} = .056 > .0027 \text{ OK}$$

AWNING H  
LOAD PER L.F.  
 $2.44' \times 30 \text{ LB.} / \text{SQ FT.} = 79.8 \text{ LB.} / \text{LF}$   
 $W L^2 / 12$

$$= \frac{79.8 \text{ LB.} \times (4')^2}{12}$$

$$= 106.4 \text{ LB.}$$



$$''S'' \text{ REQUIRED} = 106.4' \text{ LB.} \times 12 / 24,000 \text{ P.S.I.}$$

$$''S'' \text{ PROVIDED} = .053$$

$$''S'' \text{ PROVIDED BY } 1 \times 1 \times 18 \text{ GA} = .056 > .053 \text{ OK}$$

WIND AT 150 MPH  
32 LB./SQ FT.

$$\text{AREA} = 3.5 \times 1.75 = 2.63 \text{ SQ. FT.}$$

$$= 1.63 \times 3.5 = 5.69 \text{ SQ. FT.}$$

FORCE

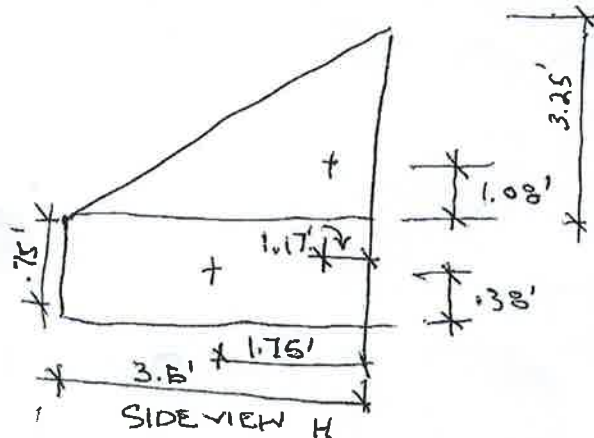
$$\text{RECTANGLE} = 2.63 \text{ SQ. FT.} \times 32 = 84 \text{ LB.}$$

$$\text{TRIANGLE} = 5.69 \text{ SQ. FT.} \times 32 = 182 \text{ LB.}$$

$$\text{MOMENT } \square = 84 \text{ LB.} \times 1.75' = 147 \text{ LB.}$$

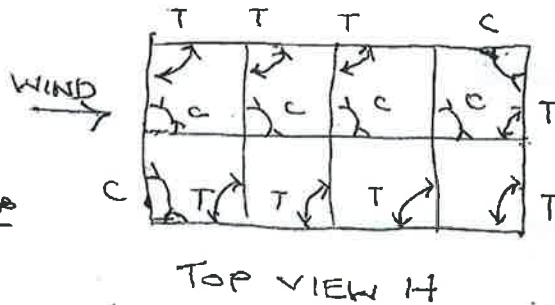
$$\text{MOMENT } \triangle = 182 \text{ LB.} \times 1.17' = 213 \text{ LB.}$$

$$\text{TOTAL} = 360 \text{ LB.}$$



FRAME HAS 15  
WELDED CONNECTIONS  
ACROSS FRONT & BACK

$$\text{MOMENT AT EACH} = \frac{360 \text{ LB}}{15} \\ = 24 \text{ LB.}$$



$$"S" \text{ REQUIRED} = 24 \text{ LB.} \times 12 / 24000 \text{ P.S.I.}$$

$$= .012$$

$$"S" \text{ PROVIDED} = .056 > .012, \text{ OK}$$

PULL OUT B, C, D, E, F

WEIGHT AT EA. RAFTER  
FROM SNOW

$$\text{AREA } 2.66' \times 2.33' = 6.2 \text{ SQ. FT.} \\ = 6.2 \text{ SQ. FT.} \times 30 \text{ LB. / SQ. FT.} \\ \text{WT.} = 186 \text{ LB.}$$

$$\text{MOMENT} = 186 \text{ LB.} \times 1.16' \\ = 216 \text{ LB.}$$

$$\text{FORCE AT WALL} = \frac{216 \text{ LB.}}{1.83}$$

$$= 118 \text{ LB. AT INNER RAFTERS, } 118/2 \text{ AT ENDS}$$

$$\text{PULL OUT VALUE FOR} \\ \text{LAG SHIELD } 1 \frac{3}{4}" \times 5/16" = 281 \text{ LBS } 281/4 = \text{ALLOWABLE} = 70.25 \text{ LBS}$$

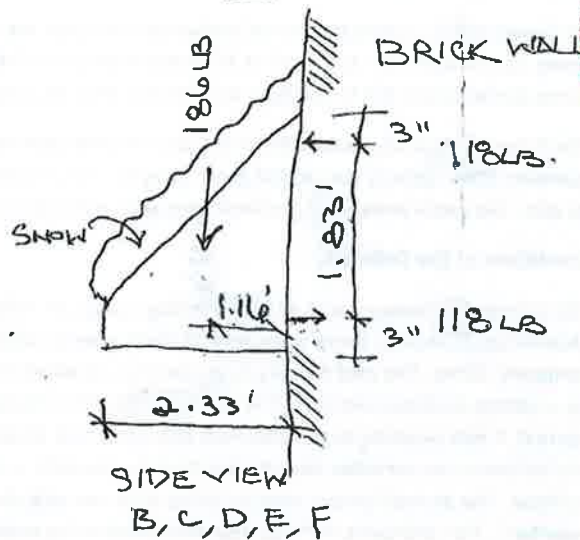
$$4 \text{ RAFTERS @ } 118 \text{ LB.} = 472 \text{ LBS.}$$

$$2 \text{ RAFTERS @ } 118/2 \text{ LB.} = 118 \text{ LBS}$$

$$\text{TOTAL} = 690 \text{ LBS AT WALL}$$

$$690 \text{ LBS} / 10 \text{ CONNECTIONS AT WALL} = 69 \text{ LBS} < 70.25 \text{ OK}$$

4 of 5





## PULL OUT H

$$\text{AREA} = 4' \times 2.66' \\ = 10.6 \text{ SQ. FT.}$$

$$\text{WT.} = 10.6 \text{ SQ. FT.} \times 30 \text{ LB./SQ. FT.}$$

$$\text{MOMENT} = 318 \text{ LBS}$$

$$\text{FORCE AT WALL} = \frac{318 \text{ LBS}}{3.51}$$

$$= 90.9 \text{ LBS}$$

$$\text{END RAFTERS} = 90.9 \text{ LBS} / 2$$

$$\text{PULL OUT VALUE} = 281 \text{ LBS}$$

FOR LAG SHIELD,  $1\frac{3}{4}'' \times \frac{5}{16}''$

$$281 / 4 \text{ SAFETY FACTOR} = \text{ALLOWABLE} = 70.25 \text{ LBS}$$

$$2 @ 90.9 \text{ LBS RAFTER CONNECTIONS} = 181.8 \text{ LB.}$$

$$2 @ 90.9 \text{ LBS RAFTER CONNECTIONS} = 90.9 \text{ LB.}$$

$$\text{TOTAL} = 272.7 \text{ LBS AT WALL}$$

$$272.7 / 6 \text{ CONNECTIONS AT WALL} = 45.45 \text{ LBS} < 70.25, \text{ OK}$$

## PULL-OUT VALUE FOR A

$$\text{AREA} = 2.33' \times 2.29' = 5.33 \text{ SQ. FT.}$$

$$\text{WT.} = 5.33 \text{ SQ. FT.} \times 30 \text{ LB./SQ. FT.} = 160 \text{ LB.}$$

$$\text{MOMENT} = 160 \text{ LB.} \times 1.16' = 185.6 \text{ LB.}$$

$$\text{FORCE AT WALL AT INNER RAFTERS} = \frac{185.6}{1.83} = 101 \text{ LBS}$$

$$\text{OUTER RAFTERS} = 101 / 2 \text{ LBS}$$

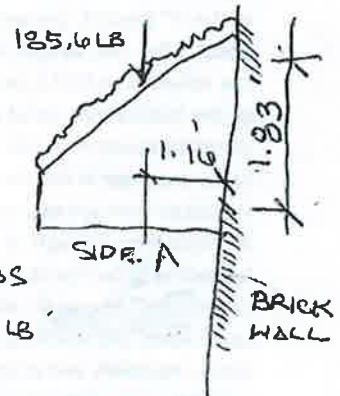
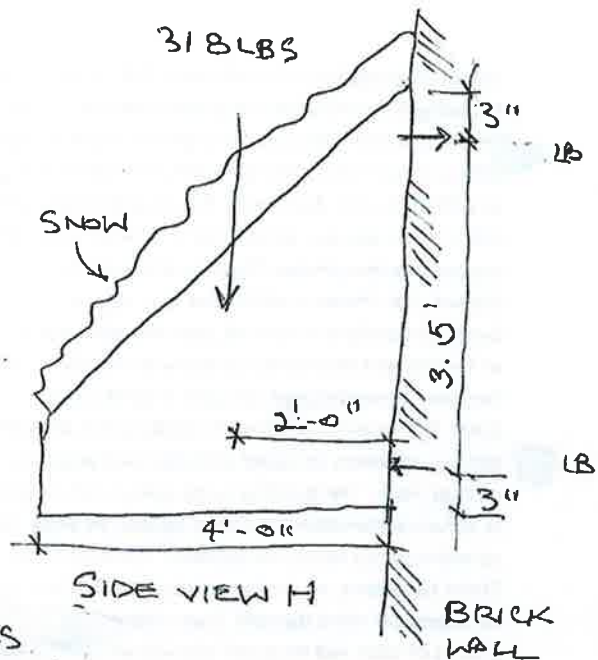
$$\text{PULL-OUT FOR } 1\frac{3}{4}'' \times \frac{5}{16}'' \text{ LAG SHIELD} = 70.25 \text{ LB.}$$

$$7 \text{ CONNECTIONS @ } 101 \text{ LBS} = 707 \text{ LBS}$$

$$2 \text{ CONNECTIONS @ } 101 \text{ LBS} = 101$$

$$\text{TOTAL} = 808 \text{ LBS}$$

$$808 \text{ LB.} / 13 \text{ CONNECTIONS} = 62 \text{ LBS} < 70.25, \text{ OK}$$



**APPROVED**  
7/20/2020  
PAA20-0065

## Administrative Approval Application Planning Division

*Form will not be processed until it is completely filled out.*

### 1. Applicant

Name: Our Shepherd Lutheran School  
Address: 1658 E Lincoln St, Birmingham, MI 48009  
  
Phone Number: (248) 645-0551  
Fax Number: \_\_\_\_\_  
Email Address: churchoffice@our shepherd.net

### 2. Property Owner

Name: Our Shepherd Lutheran School  
Address: 1658 E Lincoln St, Birmingham, MI 48009  
  
Phone Number: (248) 645-0551  
Fax Number: \_\_\_\_\_  
Email Address: churchoffice@our shepherd.net

### 3. Applicant's Attorney/Contact Person

Name: David Priskorn  
Address: 1658 E Lincoln St, Birmingham, MI 48009  
  
Phone Number: (248) 705-7874  
Fax Number: \_\_\_\_\_  
Email Address: priskorn@our shepherd.net

### 4. Project Designer/Developer

Name: Alexander V. Bogaerts + Associates, P.C.  
Address: 2445 Franklin Road, Bloomfield Hills, MI 48302  
  
Phone Number: (248) 334-5000  
Fax Number: \_\_\_\_\_  
Email Address: abogaerts@bogaerts.us

### 5. Project Information

Address/Location of Property: 1658 E Lincoln St, Birmingham, MI 48009  
  
Name of Development: Our Shepherd Lutheran School  
Parcel ID#: 20-31-326-003  
Current Use: Educational  
Area in Acres: 8.91 acres  
Current Zoning: R-2

Name of Historic District if any: N/A  
Date of HDC Approval, if any: N/A  
Date of Application for Preliminary Site Plan: \_\_\_\_\_  
Date of Preliminary Site Plan Approval: \_\_\_\_\_  
Date of Application for Final Site Plan: \_\_\_\_\_  
Date of Final Site Plan Approval: \_\_\_\_\_  
Date of Revised Final Site Plan Approval: \_\_\_\_\_

### 6. Required Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment

- One (1) digital copy of plans
- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations
- Photographs of existing conditions on the site where changes are proposed

### 7. Details of the Request for Administrative Approval

Renovations to the school include; window replacement for classrooms and office area at first floor only (not clerestory)

**The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan.**

Signature of Applicant: \_\_\_\_\_

Date: July 7, 2020

#### Office Use Only

Application #: PAA20-0065

Date Received: 7/16/2020

Fee: \$100.00

Date of Approval: 7/20/2020

Date of Denial: N/A

Reviewed By: \_\_\_\_\_



**CONSENT OF PROPERTY OWNER**

I, Our Shepherd Lutheran School, OF THE STATE OF Michigan AND  
(Name of Property Owner)  
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 1658 E Lincoln St, Birmingham, MI 48009;  
(Address of Affected Property)
2. That I have read and examined the Application for Administrative Approval made to the City of  
Birmingham by: Our Shepherd Lutheran School;  
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

**By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.**

Name of Owner (Printed): David J. Priskorn

Signature of Owner:  Date: July 7, 2020

# OUR SHEPHERD LUTHERAN SCHOOL

## PHASE I RENOVATION

## BIRMINGHAM, MICHIGAN

### GENERAL DEMOLITION NOTES

SHUT OFF UTILITIES AS REQUIRED TO MAINTAIN SAFE CONDITIONS DURING DEMOLITION. ALL ELECTRICAL, GAS AND WATER LINES SHALL BE SAFELY CAPPED PRIOR TO RESTORING SERVICE.

CONSULT WITH ARCHITECT PRIOR TO PERFORMING DEMOLITION WHICH MAY AFFECT STRUCTURAL ELEMENTS OF THE BUILDING.

CAREFULLY HANDLE AND SAVE ALL MATERIALS WANTED BY OWNER AND STORE IN ARE PROVIDED BY OWNER.

CONTRACTOR SHALL DISPOSE OF ALL MATERIAL TO BE REMOVED FROM SITE.

LOCATION OF IN SLAB, UNDER SLAB ELECTRICAL, PLUMBING, ETC. ARE UNKNOWN. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS.

TEMPORARILY CALL ALL FLOOR DRAINS DURING DEMOLITION.

SAWCUT CONCRETE SLAB AS REQUIRED FOR UNDER SLAB CONSTRUCTION.

REMOVE ELECTRICAL WIRING, CONDUIT, LIGHT FIXTURES AND ACCESSORIES AS DETERMINED BY THE ELECTRICAL CONTRACTOR.

CONTRACTOR SHALL VERIFY ALL SITE DIMENSIONS AND LOCATIONS OF EXISTING STRUCTURES FOR COMPLIANCE TO NEW CONSTRUCTION SET BACK REQUIREMENTS.

CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS FOR BOTH NEW AND EXISTING CONSTRUCTION PRIOR TO COMMENCING ANY WORK ON THE SITE.

CONTRACTOR SHALL VERIFY ALL EXISTING BEARING WALL LOCATIONS AND FRAMING DIRECTIONS AND SHALL NOTIFY ARCHITECT OF ANY CHANGES OF VARIATION FROM THOSE SHOWN OR ASSUMED.

ALL EXISTING CONSTRUCTION SHALL BE ADEQUATELY AND PROPERLY BRACED AND/OR SHORED PRIOR TO DEMOLITION IN ORDER TO MAINTAIN THE INTEGRITY OF THE EXISTING CONSTRUCTION.

ALL NEW CONSTRUCTION BEING CONNECTED TO EXISTING CONSTRUCTION SHALL BE FINISHED TO MATCH SAME.

ALL NEW EXTERIOR MATERIALS AND FINISHES SHALL MATCH EXISTING MATERIALS (UNLESS NOTED OTHERWISE ON CONSTRUCTION DRAWINGS) FOR SIZE, COLOR AND TEXTURES.

### PROJECT SPECIFICATIONS

WINDOW SYSTEM:  
KAWNEER GLASSVENT® UT (ULTRA THERMAL) WINDOWS OR SIM.  
3 1/8" DEPTH  
CLEAR GLASS (TYP.)  
SPANDREL GLASS COLOR: CHARCOAL #5X3521E808  
FRAME COLOR: LIGHT SATIN  
DOOR SYSTEM: EXTERIOR CLASSROOM ENTRY DOORS ONLY  
190 NARROW STILE ENTRANCE - FULL LITE  
CLEAR GLASS  
FRAME COLOR: LIGHT SATIN  
DOOR HARDWARE: EXTERIOR CLASSROOM ENTRY DOORS ONLY  
VERTICAL HANDLE ON EXTERIOR  
HORIZONTAL HANDLE ON INTERIOR  
PUSH/PULL WITH THUMB LOCK  
FLASHING MATERIAL:  
PRE-FORMED MILL FINISH ALUMINUM WINDOW SILL FLASHING  
FLASHING COLOR:  
MATCH WINDOW CASING - MILL FINISH ALUMINUM  
CAULK COLOR:  
DAP DYNAPLEX ULTRA IN COLOR: LIGHT GRAY  
SPIRAL DUCT COLOR:  
SHERWIN WILLIAMS PAINT #SW 1004 EXTRA WHITE  
EXISTING COLUMNS TO BE WOOD CLAD & PAINTED COLOR:  
SHERWIN WILLIAMS PAINT #SW 1004 EXTRA WHITE

PHASE I RENOVATION:  
NEW INDIVIDUAL MECHANICAL UNITS FOR CLASSROOMS #1 - #11  
MEP SERVICES FOR REMOVAL OF EXISTING BASEBOARD HEAT  
MEP SERVICES FOR NEW GAS, ELECTRIC AND DUCTWORK  
ALL GLASS FOR CLASSROOMS #12 - #20 MUST BE PREPPED FOR FUTURE  
NEW INDIVIDUAL MECHANICAL UNITS  
NO GAS, ELECTRIC AND DUCTWORK FOR CLASSROOMS #12 - #20  
BATHROOM EXPANSIONS FOR CLASSROOMS #5 AND #6, INCLUDING  
CORRIDOR REPAIR WORK  
NEW INTERIOR FINISHES, CABINETRY AND FURNITURE FOR CLASSROOM #6

### SHEET INDEX

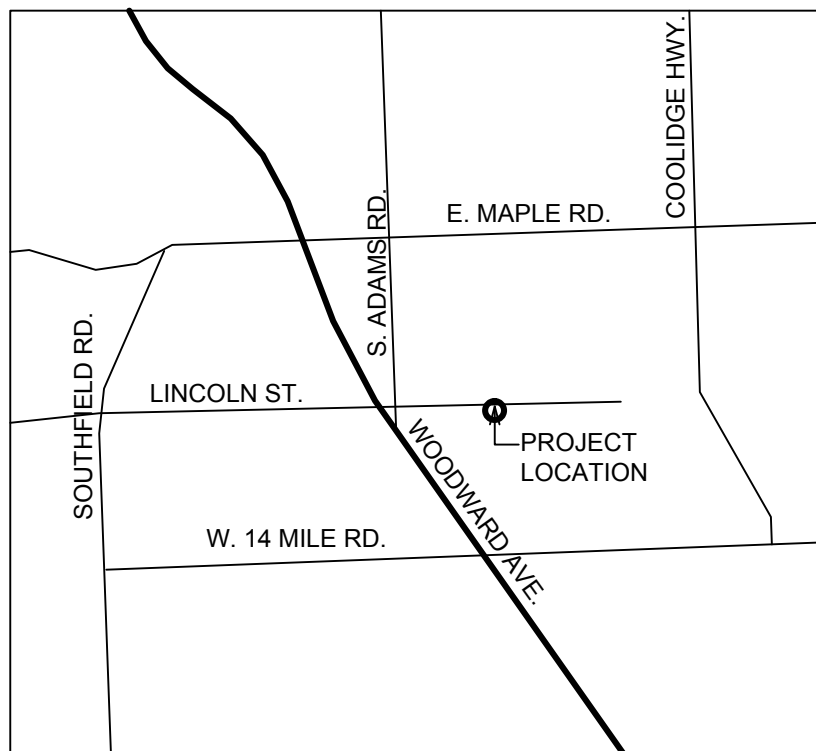
T-1	TITLE SHEET
N-1	ACCESSIBILITY GUIDELINES
A-1	OVERALL FLOOR PLAN
A-2	PARTIAL FLOOR PLAN - PRESCHOOL WEST WING
A-3	PARTIAL FLOOR PLAN - ELEMENTARY/OFFICE CENTER WING
A-4	PARTIAL FLOOR PLAN - MIDDLE SCHOOL EAST WING
	EXISTING CONSTRUCTION - NOTED FOR DEMOLITION
A-5	EXISTING ELEVATIONS
A-6	EXISTING BUILDING & WALL SECTIONS - PRESCHOOL WEST WING
A-7	EXISTING BUILDING & WALL SECTIONS - ELEMENTARY/OFFICE CENTER WING
A-8	EXISTING BUILDING & WALL SECTIONS - MIDDLE SCHOOL EAST WING
	PROPOSED RENOVATION CONSTRUCTION
A-9	PROPOSED ELEVATIONS
A-10	PROPOSED BUILDING & WALL SECTIONS - PRESCHOOL WEST WING
A-11	PROPOSED BUILDING & WALL SECTIONS - ELEMENTARY CENTER WING
A-12	PROPOSED BUILDING & WALL SECTIONS - MIDDLE SCHOOL EAST WING
A-13	PROPOSED BUILDING & WALL SECTIONS - OFFICE CENTER WING - DOOR SCHEDULE
A-14	PROPOSED WALL SECTIONS - MECHANICAL UNIT

### CODE SUMMARY

CODE: 2015 MI REHABILITATION CODE FOR EXISTING BUILDINGS  
CLASSIFICATION OF WORK: LEVEL 2 - SECTIONS 504 AND CHAPTER 8  
BUILDING ELEMENTS & MATERIALS (803): NA  
FIRE SUPPRESSIONS (804.2.2): NA  
EXCEPTION #2: WORK AREA DOES NOT EXCEED 50% OF THE FLOOR AREA  
MEANS OF EGRESS (805): NA  
NO EXITS OR CORRIDOR INCLUDED IN THE WORK AREAS  
ACCESSIBILITY (806): ALTERED SINGLE OCCUPANT TOILET ROOMS TO COMPLY WITH THE ICC A117J  
STRUCTURAL (807): NA - NO STRUCTURAL ELEMENTS TO BE MODIFIED  
ALTERATIONS DO NOT REDUCE THE CAPACITY OF GRAVITY LOAD-CARRYING MEMBERS  
ELECTRICAL (808): SEE MEP DRAWINGS (BY OTHERS)  
MECHANICAL (809): SEE MEP DRAWINGS (BY OTHERS)  
PLUMBING (810): NO INCREASE IN OCCUPANT LOAD  
ENERGY CONSERVATION (811): NEW GLAZING TO COMPLY WITH MI ENERGY CONSERVATION CODE

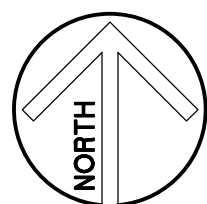
ARCHITECT:

**ALEXANDER V. BOGAERTS + ASSOCIATES, P.C.**  
2445 FRANKLIN ROAD  
BLOOMFIELD HILLS, MI 48302  
248.334.5000 (P) 248.334.0092 (F)



### LOCATION MAP

NOT TO SCALE



NOTE TO BUILDING OFFICIAL:  
THIS DRAWING IS NOT VALID  
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SEAL ARE IN BLUE INK.

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OUR SHEPHERD LUTHERAN SCHOOL

TITLE SHEET

BIRMINGHAM, MICHIGAN

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CONSTRUCTION

REVISIONS

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JOB NUMBER

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SHEET NUMBER

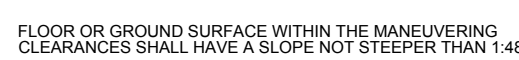
T-1

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Bloomfield Hills, MI 48302  
248 • 334 • 5000

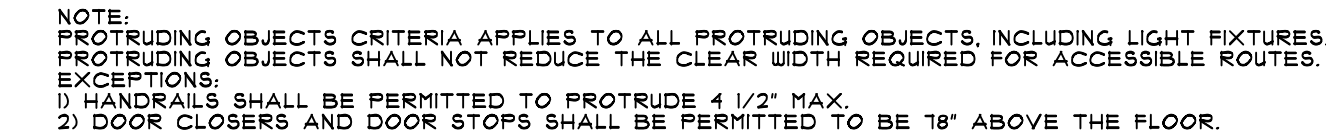




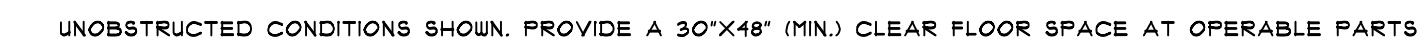
CHILDREN PROVISIONS SHOWN FOR BATHROOM FACILITIES



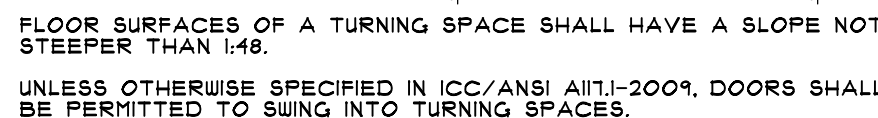
## TOE & KNEE CLEARANCE



## LIMITS OF PROTRUDING OBJECTS ON CIRCULATION PATHS



**SWITCH & ENVIRONMENTAL CONTROL** PROVIDED FOR GENERAL REFERENCE ONLY. SEE MECHANICAL/ELECTRICAL DOCUMENTS FOR JOB SPECIFIC CRITERIA.




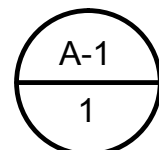
CIRCULAR AND T-SHAPED TURNING SPACES MAY INCLUDE KNEE AND TOE CLEARANCE



## GRAB BARS

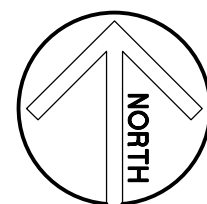
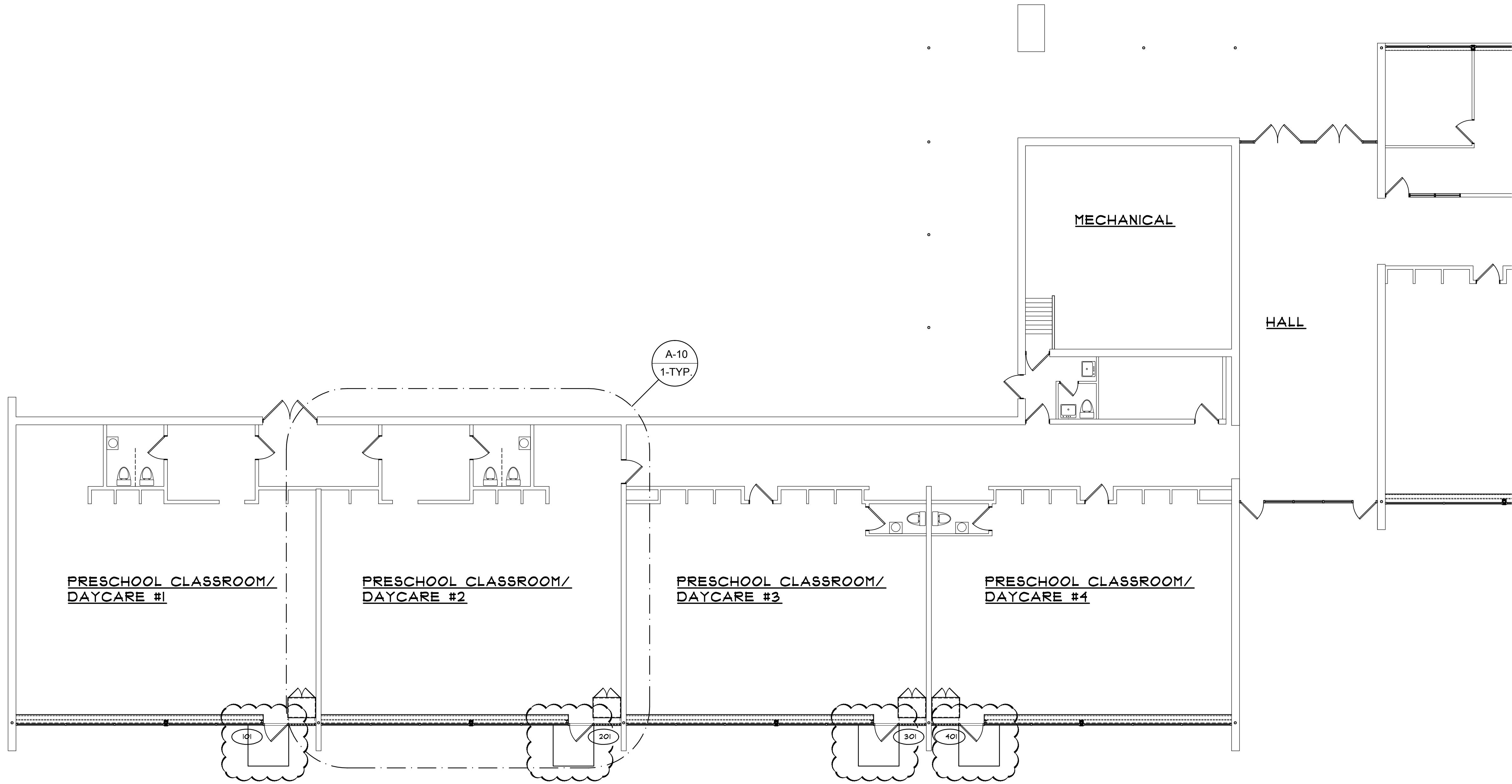
NOTE TO BUILDING OFFICIAL:  
THIS DRAWING IS NOT VALID  
UNLESS THE SIGNATURE AND  
SEAL ARE IN BLUE INK.

	<h1 style="margin: 0;">Alexander V. Bogaerts + Associates, P.C. • Architecture • Planning • Interior Design</h1>	<div style="border: 1px solid black; padding: 5px;">                 2445 Franklin Road                  Bloomfield Hills, MI 48302                  248 • 334 • 5000             </div>
	<div style="border: 1px solid black; padding: 5px;">                 SHEET TITLE  <b>ACCESSIBILITY GUIDELINES</b> </div>	
<div style="border: 1px solid black; padding: 5px;">                 CLIENT/PROJECT  <b>OUR SHEPHERD LUTHERAN SCHOOL</b> </div>	<div style="border: 1px solid black; padding: 5px;">                 BIRMINGHAM, MICHIGAN             </div>	
<div style="border: 1px solid black; padding: 5px;">                 COPYRIGHT 2019                  ALEXANDER V.                  BOGAERTS + ASSOC.             </div>		
<div style="border: 1px solid black; padding: 5px;"> <div style="display: flex; justify-content: space-between;"> <div> <input checked="" type="checkbox"/> PRELIMINARY 10-01-19                             </div> <div> <input checked="" type="checkbox"/> BIDS 06-01-2020                             </div> </div> <div style="margin-top: 10px;"> <input type="checkbox"/> PERMITS                             <input type="checkbox"/> CONSTRUCTION                         </div> </div>		
<div style="border: 1px solid black; padding: 5px;">                 REVISIONS             </div>		
<div style="border: 1px solid black; padding: 5px;">                 DRAWN BY EAF                  CAD FILENAME OSLS.DWG                  CHECKED BY                   JOB NUMBER                   DATE             </div>	<div style="border: 1px solid black; padding: 5px;">                 SHEET NUMBER  <div style="font-size: 2em; font-weight: bold; text-align: center;">211</div> </div>	



SCALE: 1/16" = 1'-0"

A-1



A-2  
1

## PARTIAL FIRST FLOOR PLAN WEST WING

SCALE: 1/8" = 1'-0"

ALL INTERIOR PARTITION DIMENSIONS ARE  
3 1/2" UNLESS NOTED OTHERWISE.

BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH  
OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS.  
IF VARIATIONS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.

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CLIENT/PROJECT

OUR SHEPHERD LUTHERAN SCHOOL  
PARTIAL FIRST FLOOR PLAN  
WEST WING

BIRMINGHAM, MICHIGAN

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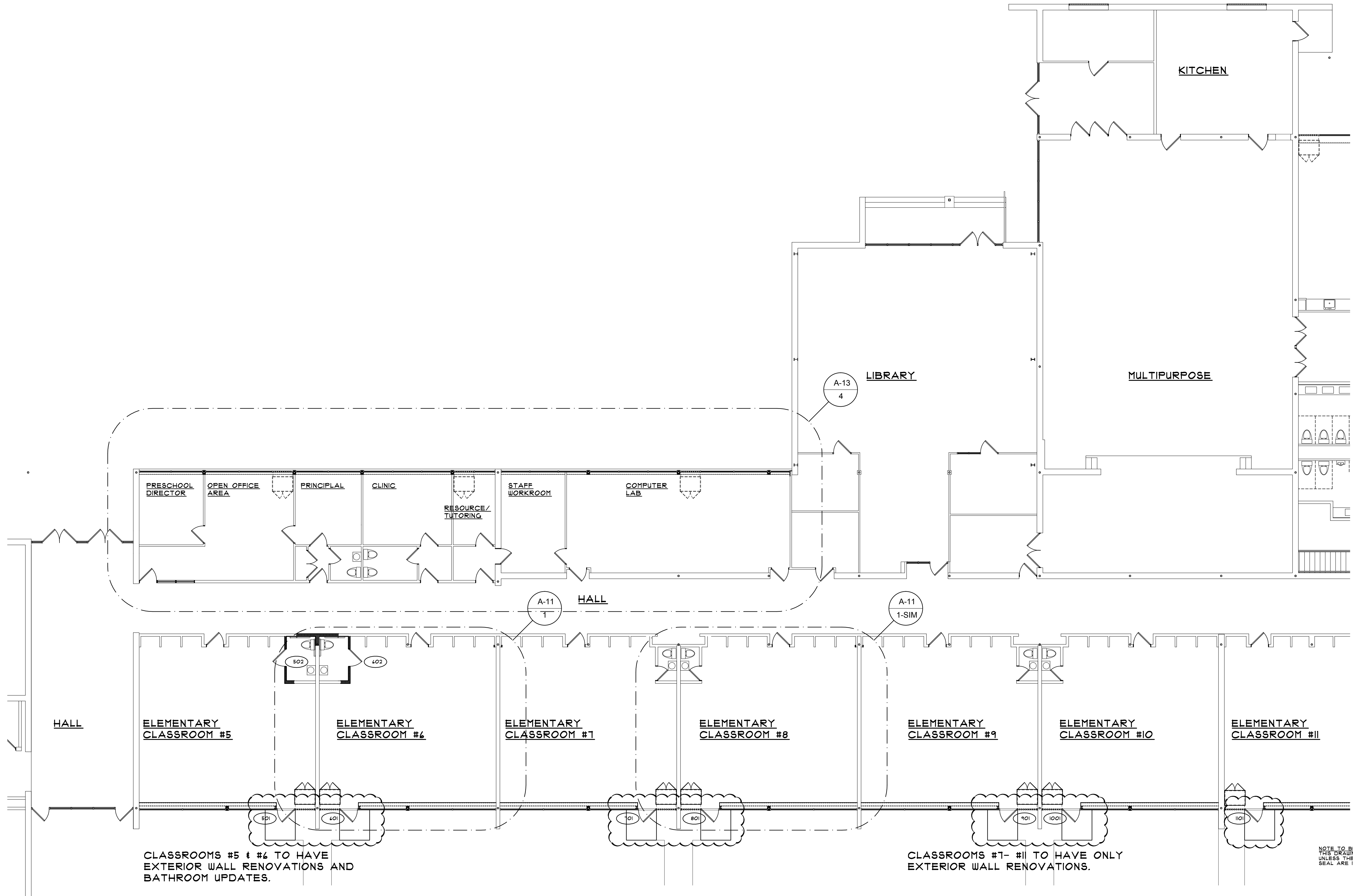
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DATE

SHEET NUMBER

A-2

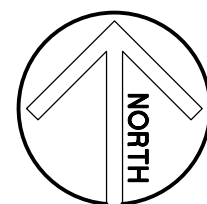




CLASSROOMS #5 & #6 TO HAVE  
EXTERIOR WALL RENOVATIONS AND  
BATHROOM UPDATES.

CLASSROOMS #7- #11 TO HAVE ONLY  
EXTERIOR WALL RENOVATIONS.

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A-3  
1


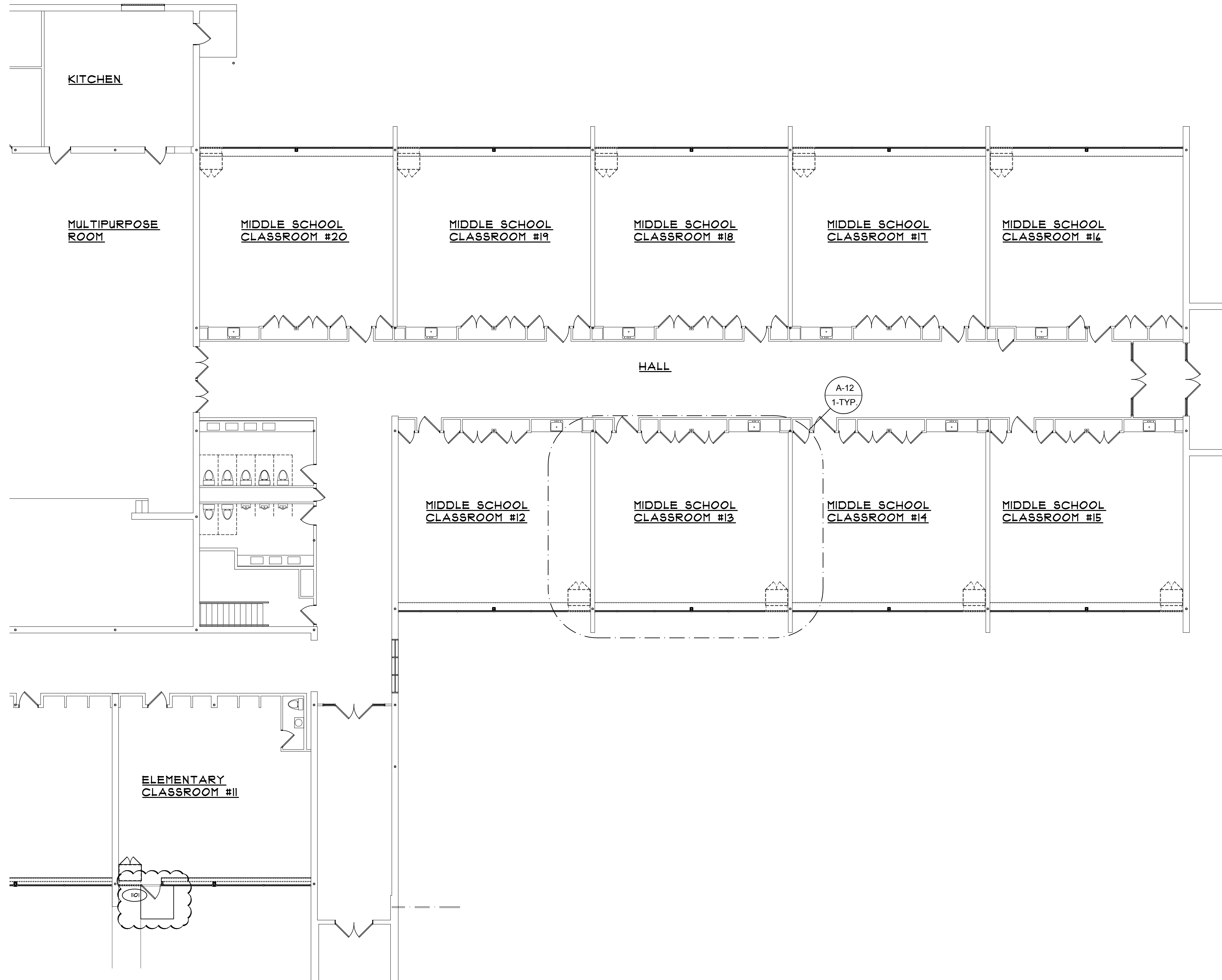
## PARTIAL FIRST FLOOR PLAN CENTER WING

SCALE: 1/8" = 1'-0"

ALL INTERIOR PARTITION DIMENSIONS ARE  
3 1/2" UNLESS NOTED OTHERWISE.

BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH  
OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS.  
IF VARIATIONS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.



## PARTIAL FIRST FLOOR PLAN EAST WING

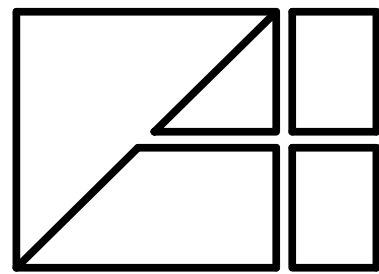
SCALE: 1/8" = 1'-0"

ALL INTERIOR PARTITION DIMENSIONS ARE  
3 1/2" UNLESS NOTED OTHERWISE.

BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH  
OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

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IF VARIATIONS OCCUR CONTACT ARCHITECT FOR CLARIFICATION

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unning • Interior Design  
2445 Franklin Road  
Bloomfield Hills, MI 48302  
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SHEET TITLE PARTIAL FIRST FLOOR PLAN  
EAST WING

CLIENT/PROJECT **OUR SHEPHERD LUTHERAN SCHOOL**  
**BIRMINGHAM, MICHIGAN**

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06-01-2020

#### PERMITS

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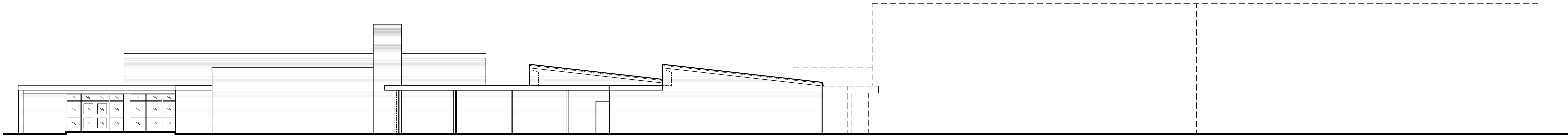
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JOB NUMBER

DATA

SHEET NUMBER

A-4



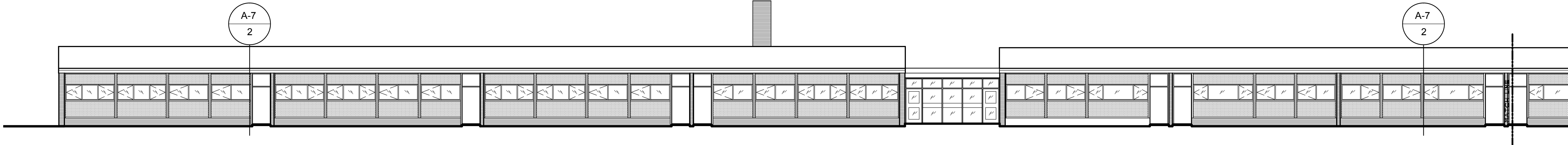
A-5  
6  
RIGHT SIDE ELEVATION - WEST

SCALE: 3/32" = 1'-0"



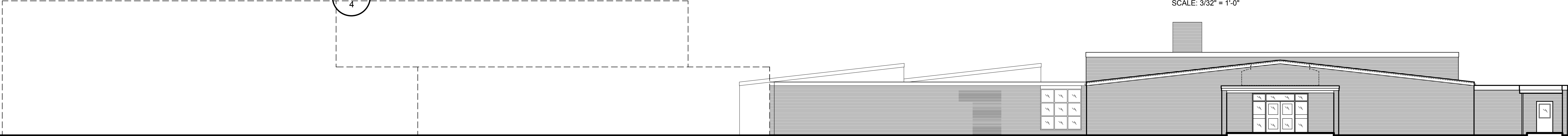
A-5  
5  
PARTIAL REAR ELEVATION - SOUTH

SCALE: 3/32" = 1'-0"



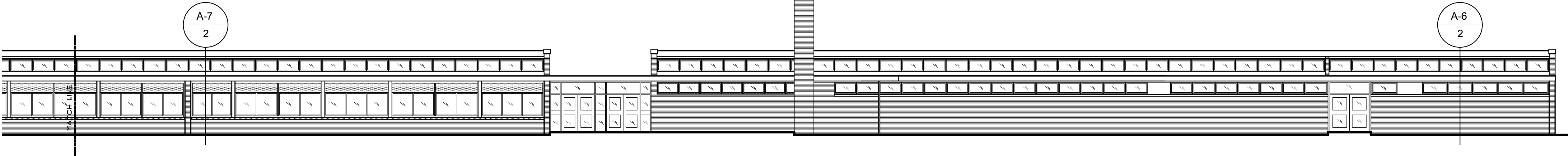
A-5  
4  
PARTIAL REAR ELEVATION - SOUTH

SCALE: 3/32" = 1'-0"



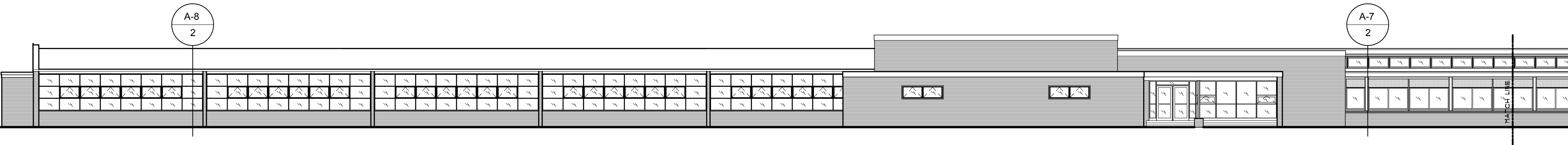
A-5  
3  
LEFT SIDE ELEVATION - EAST

SCALE: 3/32" = 1'-0"



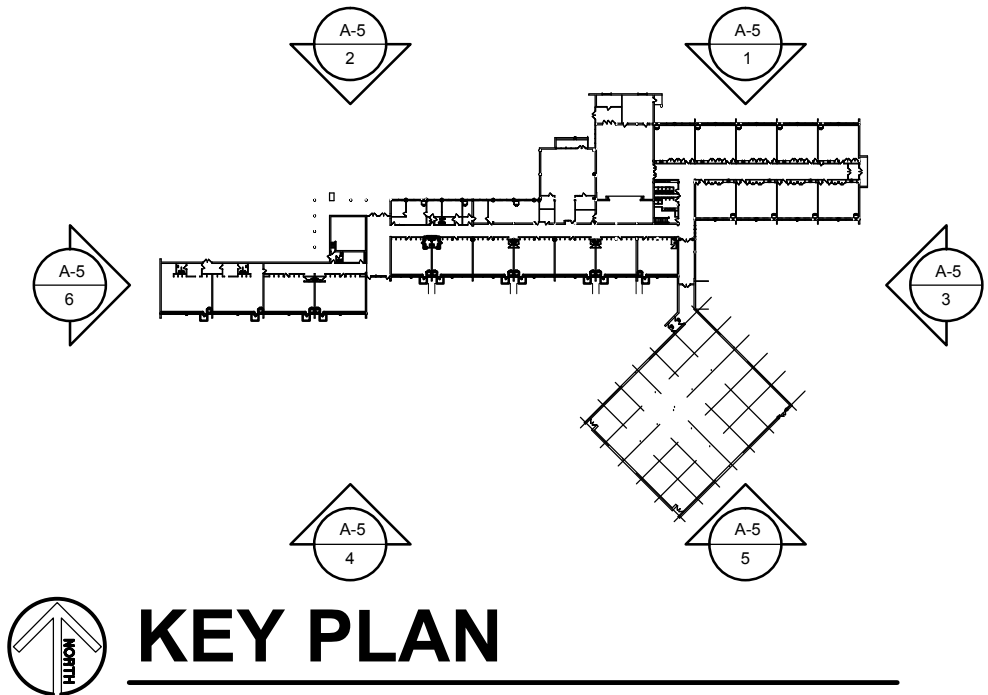
A-5  
2  
PARTIAL FRONT ELEVATION - NORTH

SCALE: 3/32" = 1'-0"

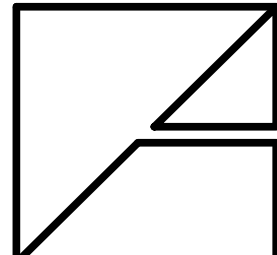


A-5  
1  
PARTIAL FRONT ELEVATION - NORTH

SCALE: 3/32" = 1'-0"



NOTE TO BUILDING OFFICIAL:  
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OUR SHEPHERD LUTHERAN SCHOOL

EXISTING ELEVATIONS

BIRMINGHAM, MICHIGAN

☒ PRELIMINARY  
10-01-19

☒ BIDS  
06-01-2020

☐ PERMITS

☐ CONSTRUCTION

REVISIONS

DRAWN BY  
EAF

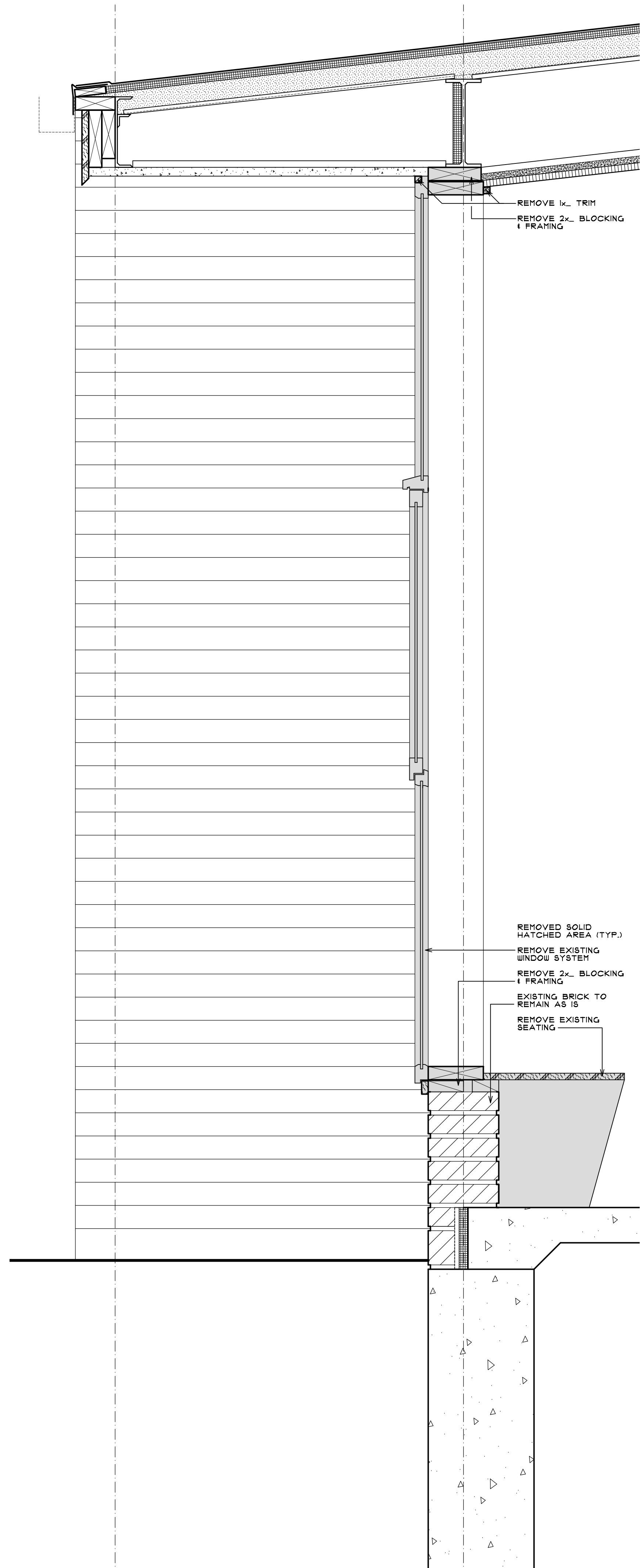
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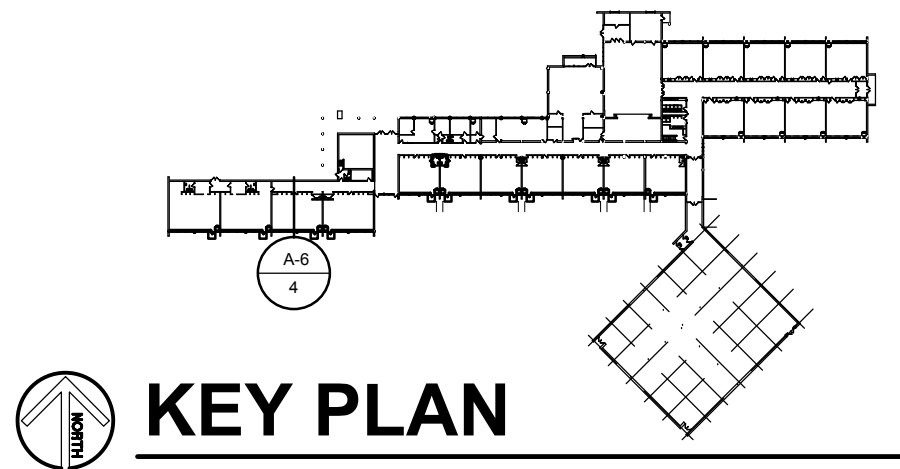
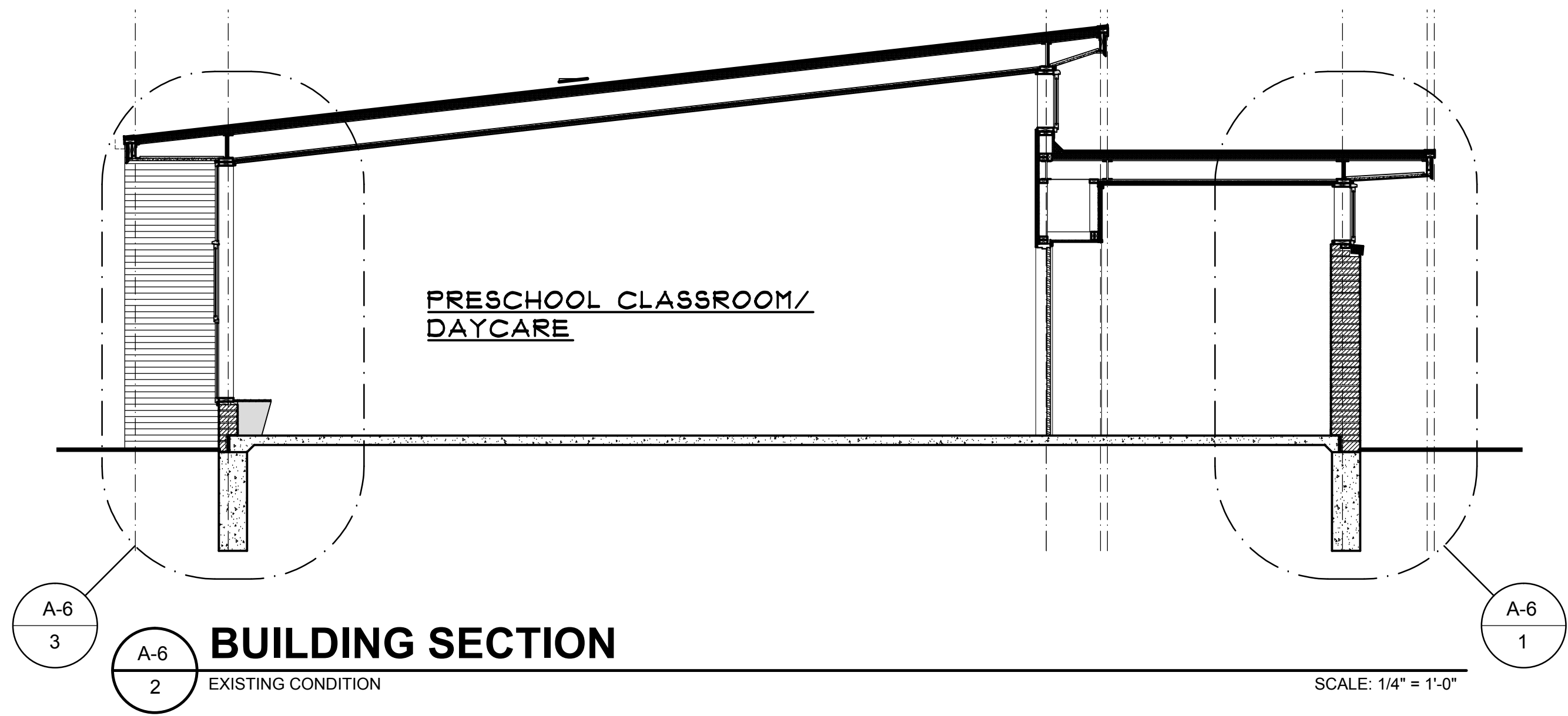
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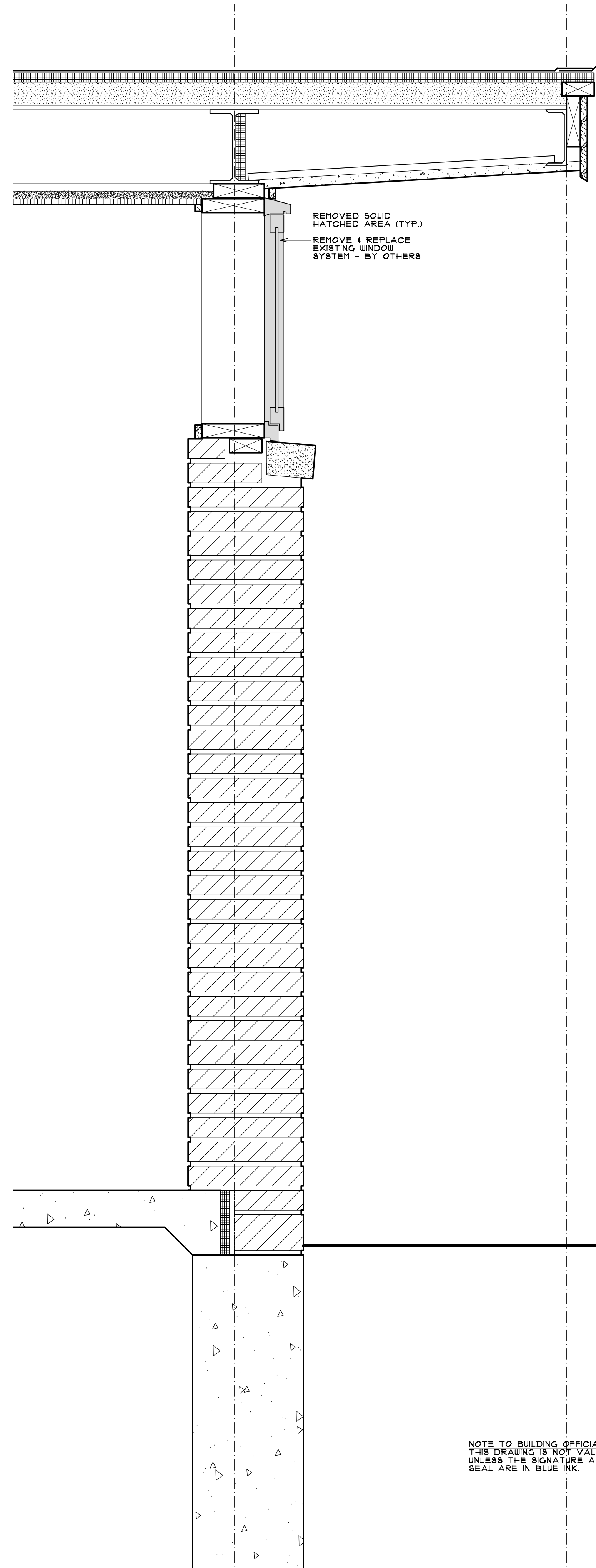
SHEET NUMBER  
A-5



**WALL SECTION**  
A-6  
3  
EXISTING CONDITION  
SCALE: 1 1/2" = 1'-0"



**KEY PLAN**



**WALL SECTION**  
A-6  
1  
EXISTING CONDITION  
SCALE: 1 1/2" = 1'-0"

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OUR SHEPHERD LUTHERAN SCHOOL

EXISTING WALL SECTIONS  
WEST WING

BIRMINGHAM, MICHIGAN

CLIENT/PROJECT

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CAD FILENAME  
OSLS.DWG

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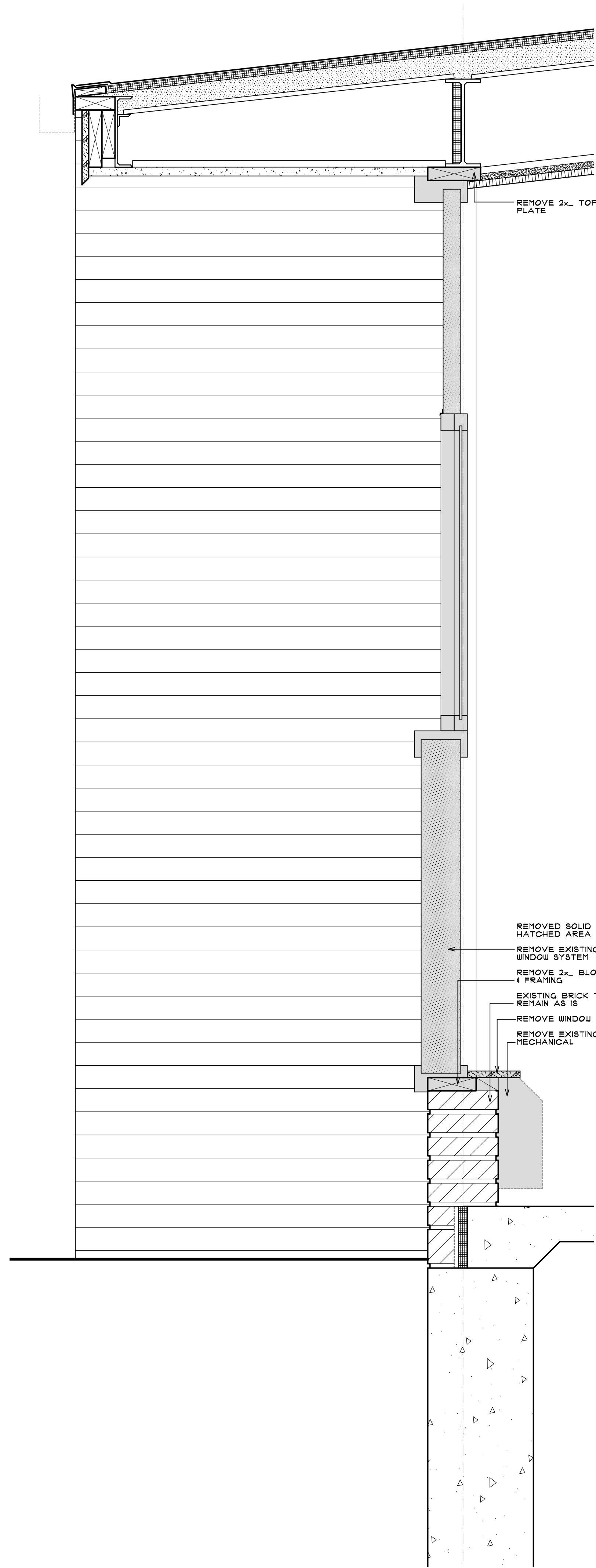
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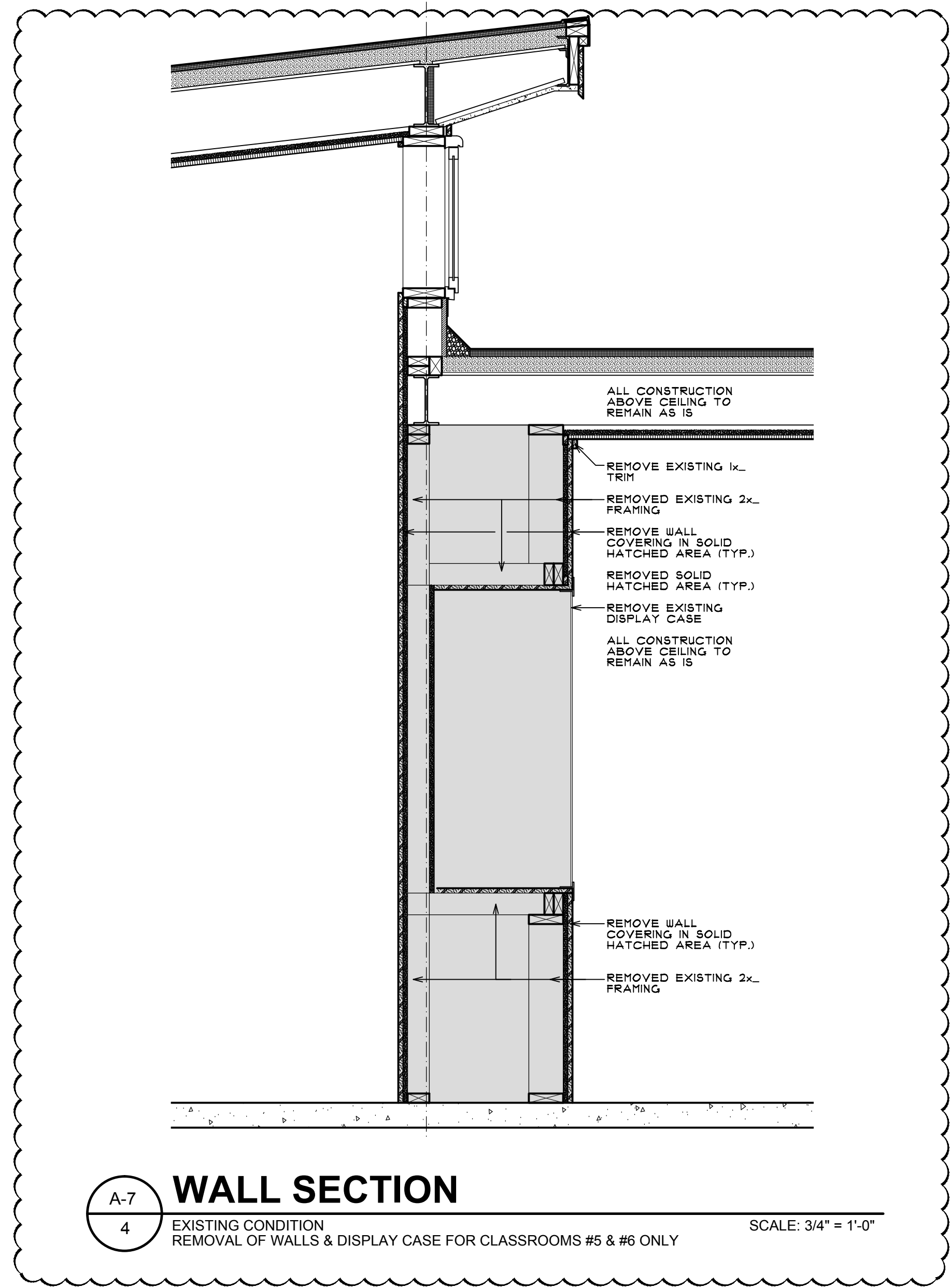
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A-6

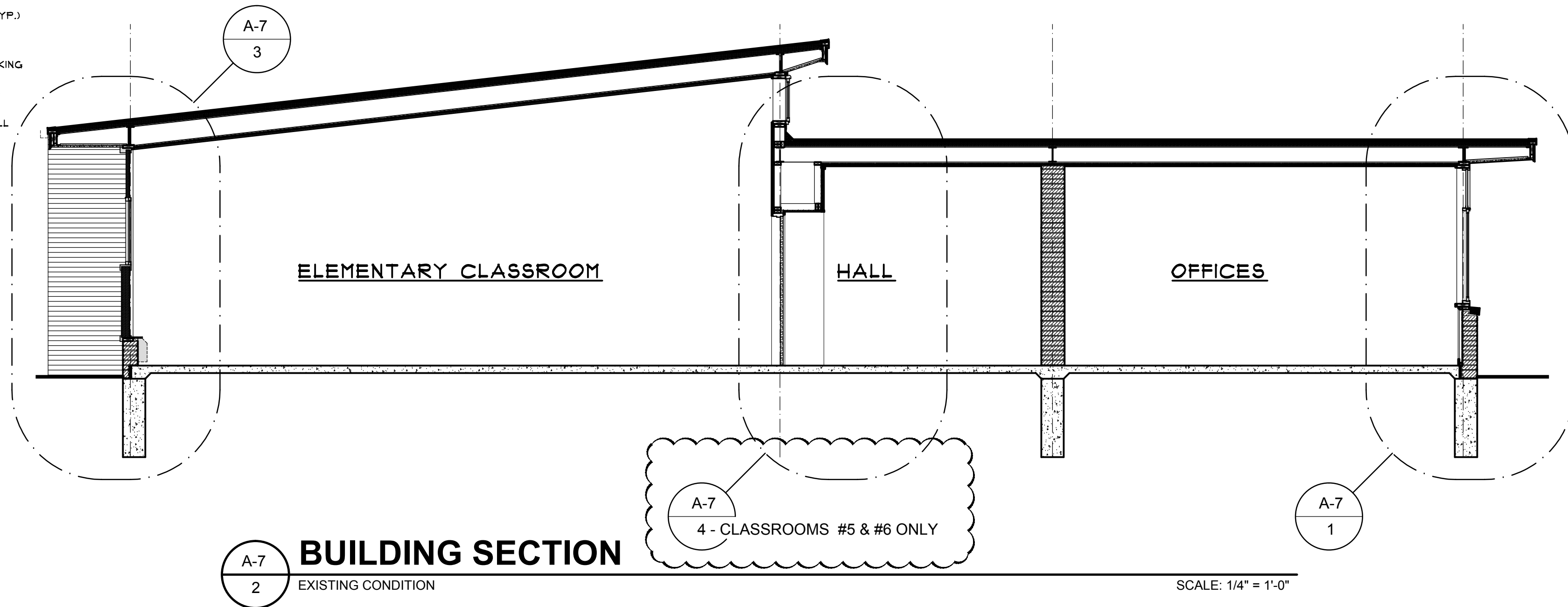
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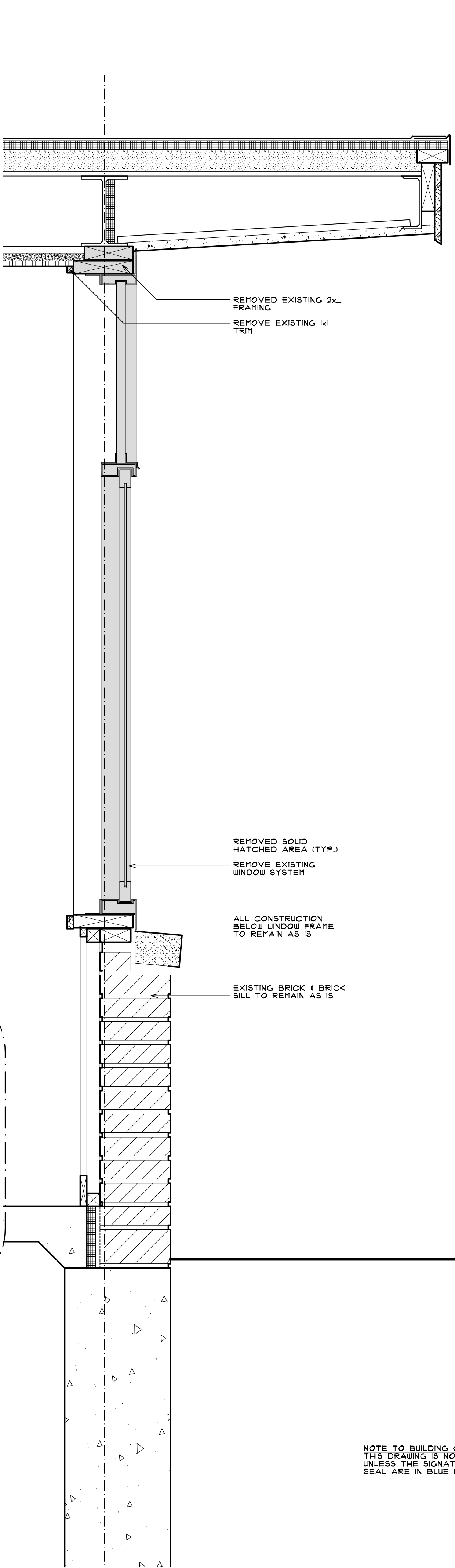
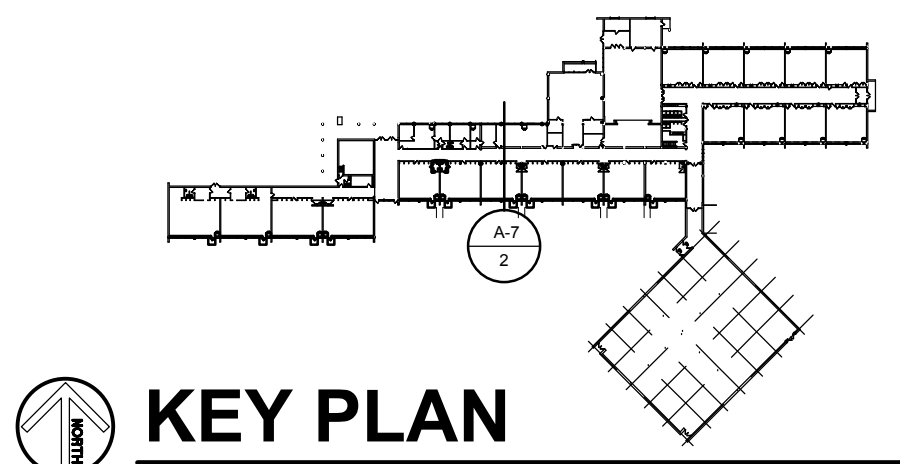
**WALL SECTION**  
A-7 3  
EXISTING CONDITION  
SCALE: 1 1/2" = 1'-0"



**WALL SECTION**  
A-7 4  
EXISTING CONDITION  
REMOVAL OF WALLS & DISPLAY CASE FOR CLASSROOMS #5 & #6 ONLY  
SCALE: 3/4" = 1'-0"



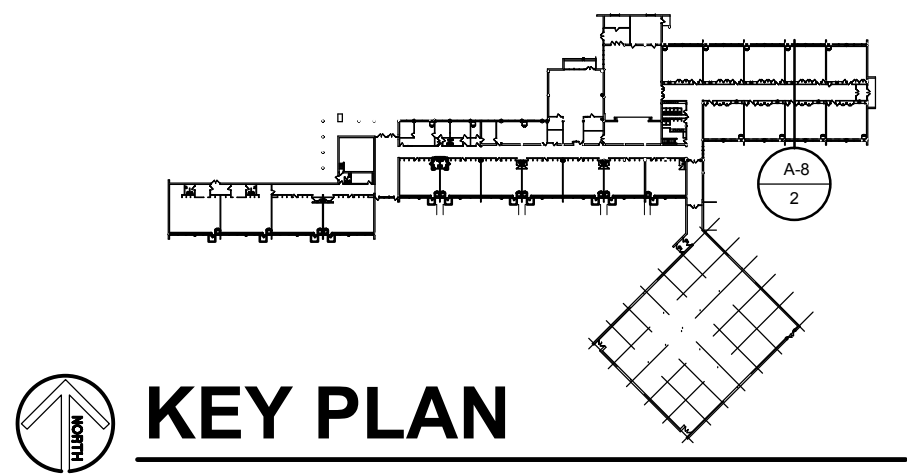
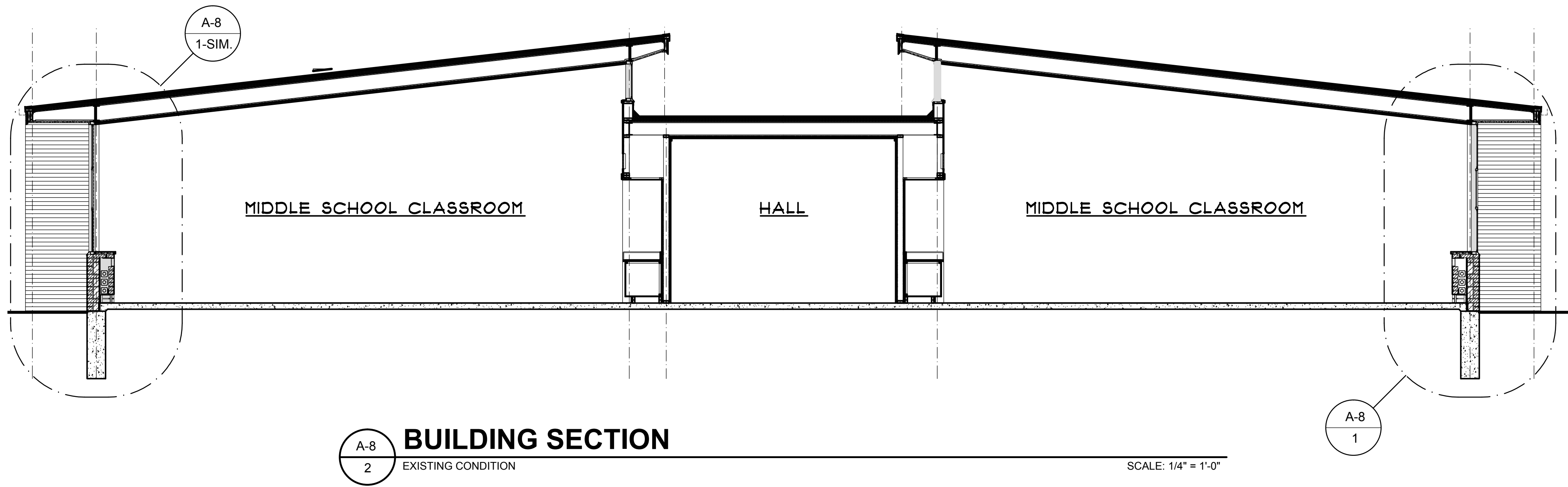
**BUILDING SECTION**  
A-7 2  
EXISTING CONDITION



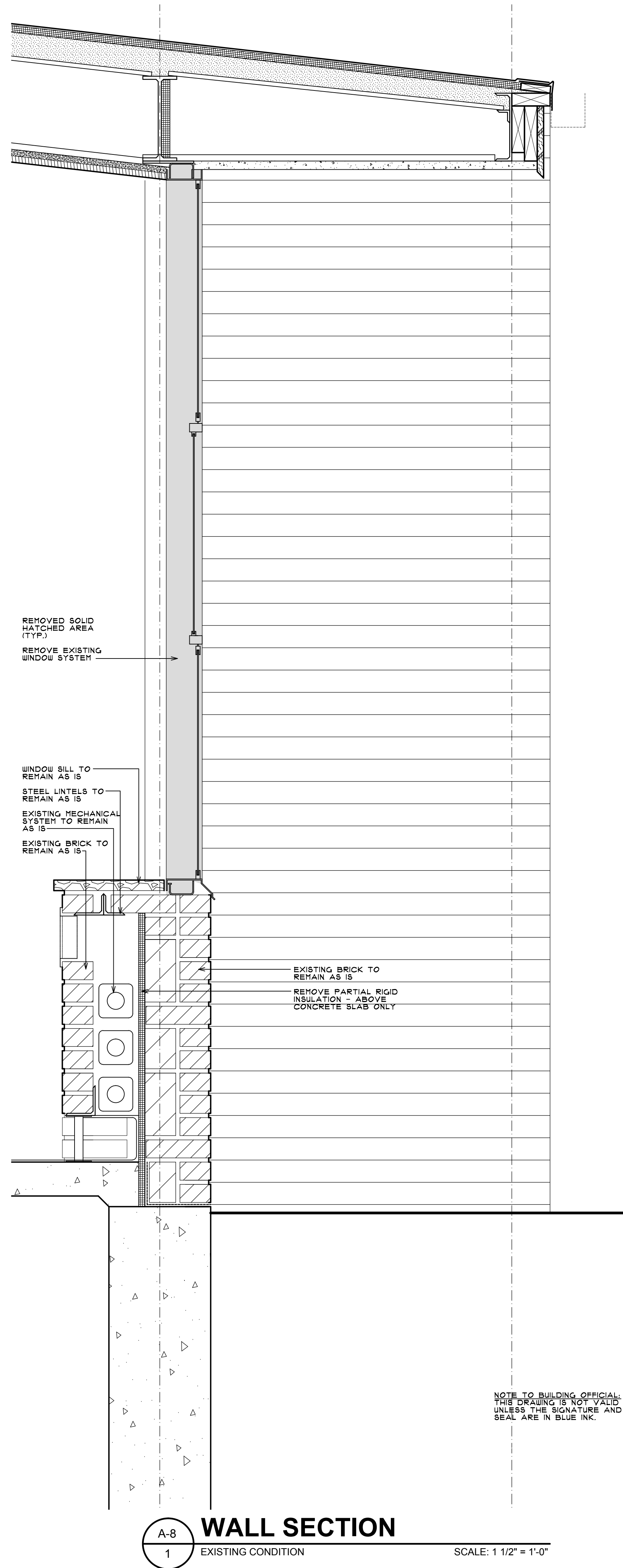
**WALL SECTION**  
A-7 1  
EXISTING CONDITION  
SCALE: 1 1/2" = 1'-0"

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KEY PLAN



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OUR SHEPHERD LUTHERAN SCHOOL

EXISTING WALL SECTIONS  
EAST WING

BIRMINGHAM, MICHIGAN

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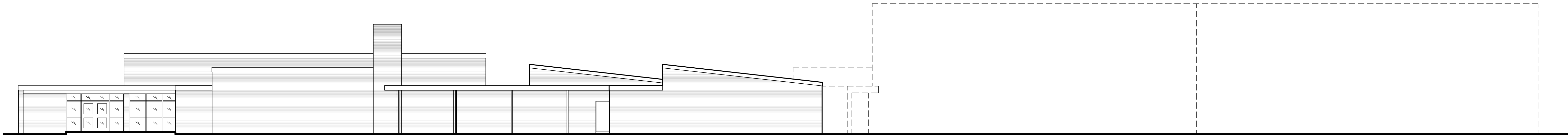
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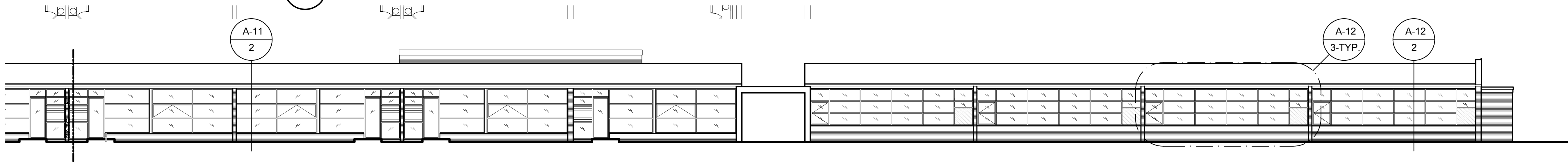
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SHEET NUMBER  
A-8



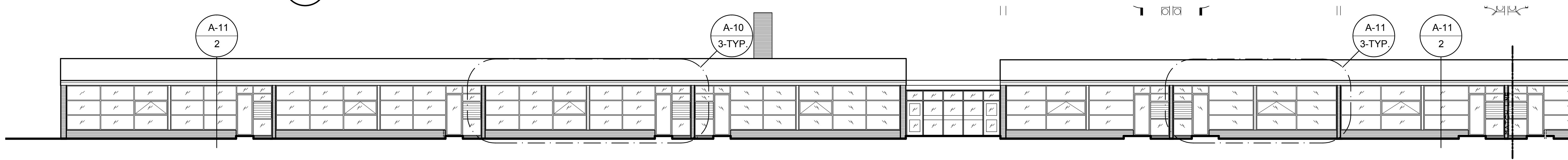
A-9  
6  
**RIGHT SIDE ELEVATION - WEST**

SCALE: 3/32" = 1'-0"



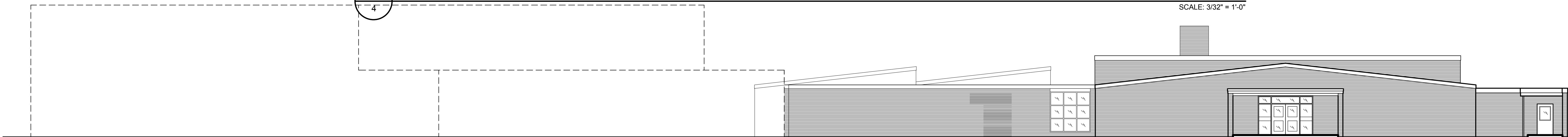
A-9  
5  
**PARTIAL REAR ELEVATION - SOUTH**

SCALE: 3/32" = 1'-0"



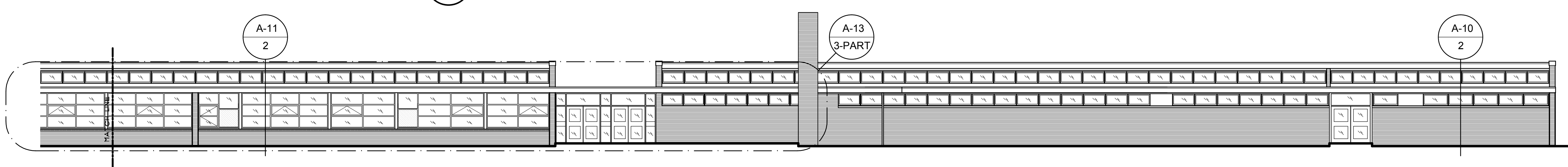
A-9  
4  
**PARTIAL REAR ELEVATION - SOUTH**

SCALE: 3/32" = 1'-0"



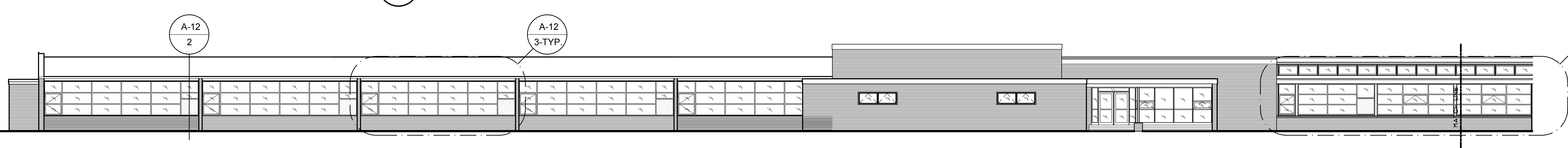
A-9  
3  
**LEFT SIDE ELEVATION - EAST**

SCALE: 3/32" = 1'-0"



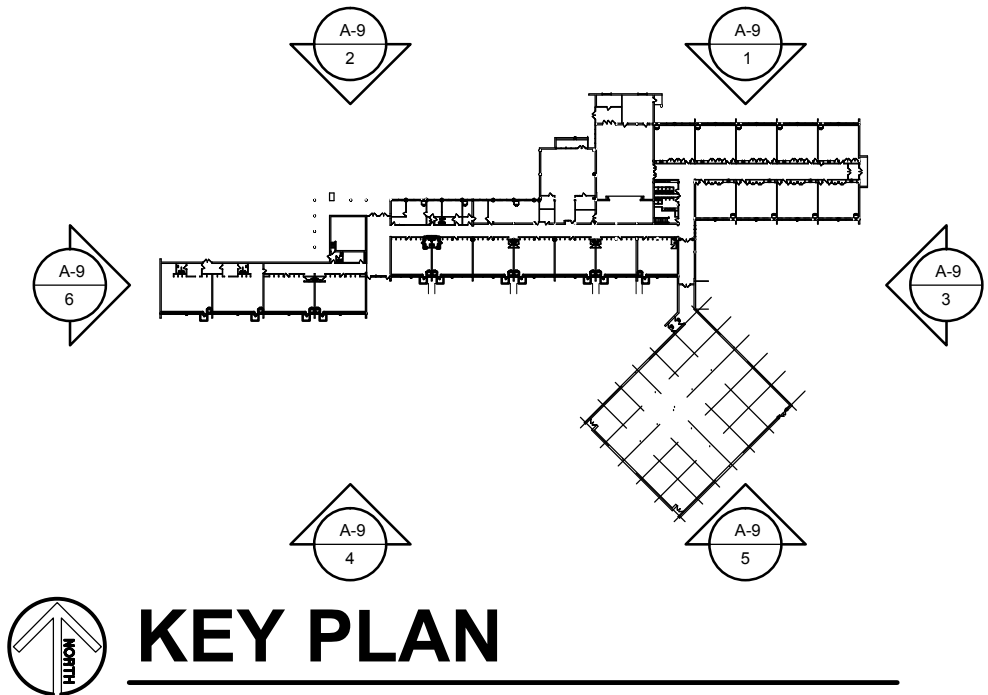
A-9  
2  
**PARTIAL FRONT ELEVATION - NORTH**

SCALE: 3/32" = 1'-0"

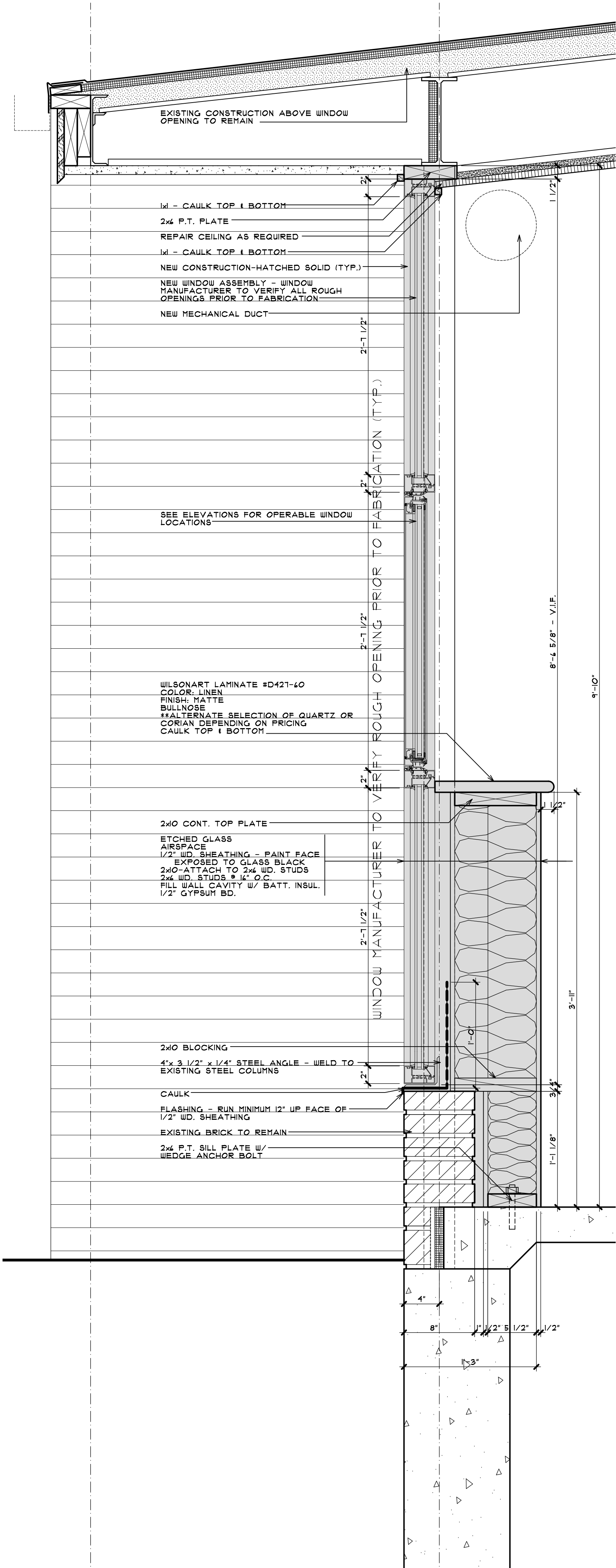


A-9  
1  
**PARTIAL FRONT ELEVATION - NORTH**

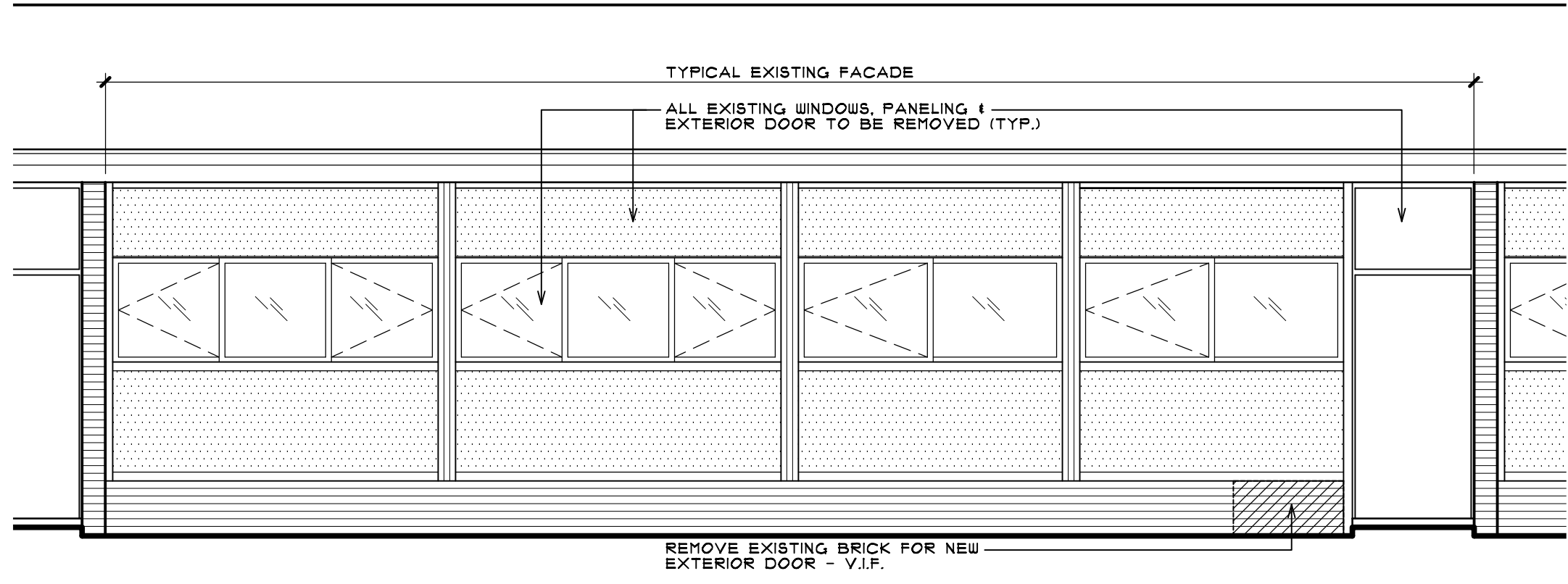
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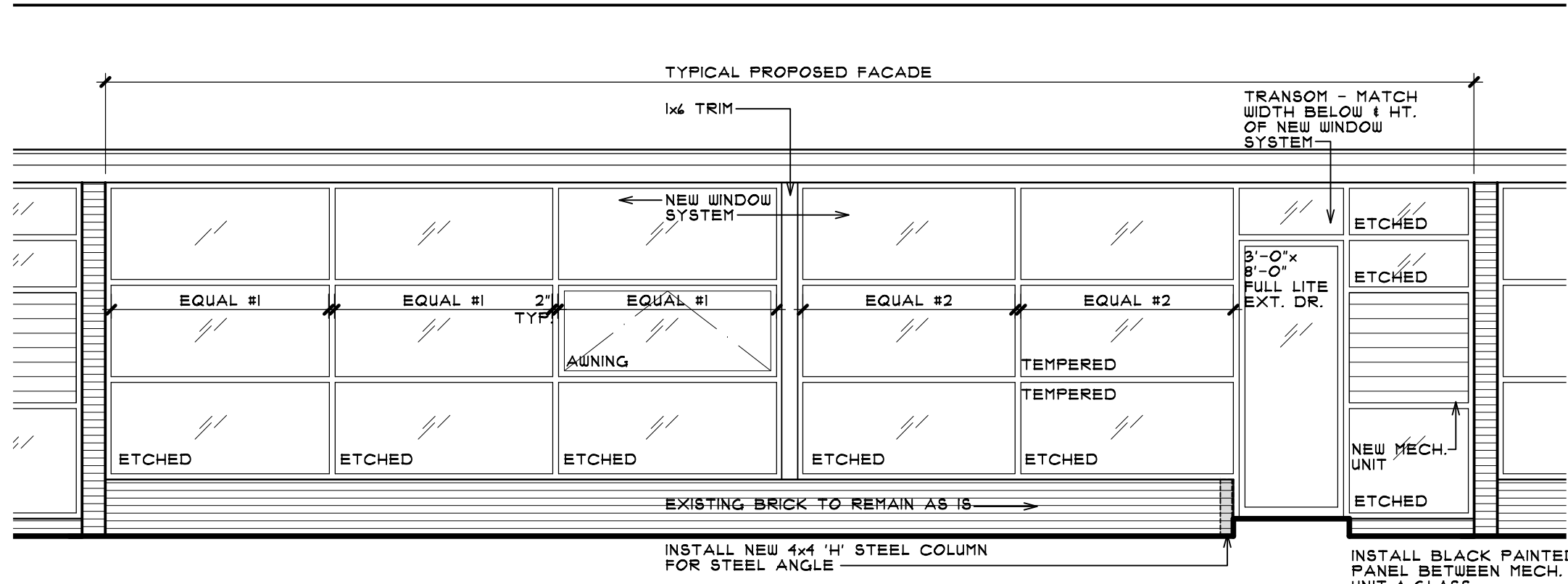
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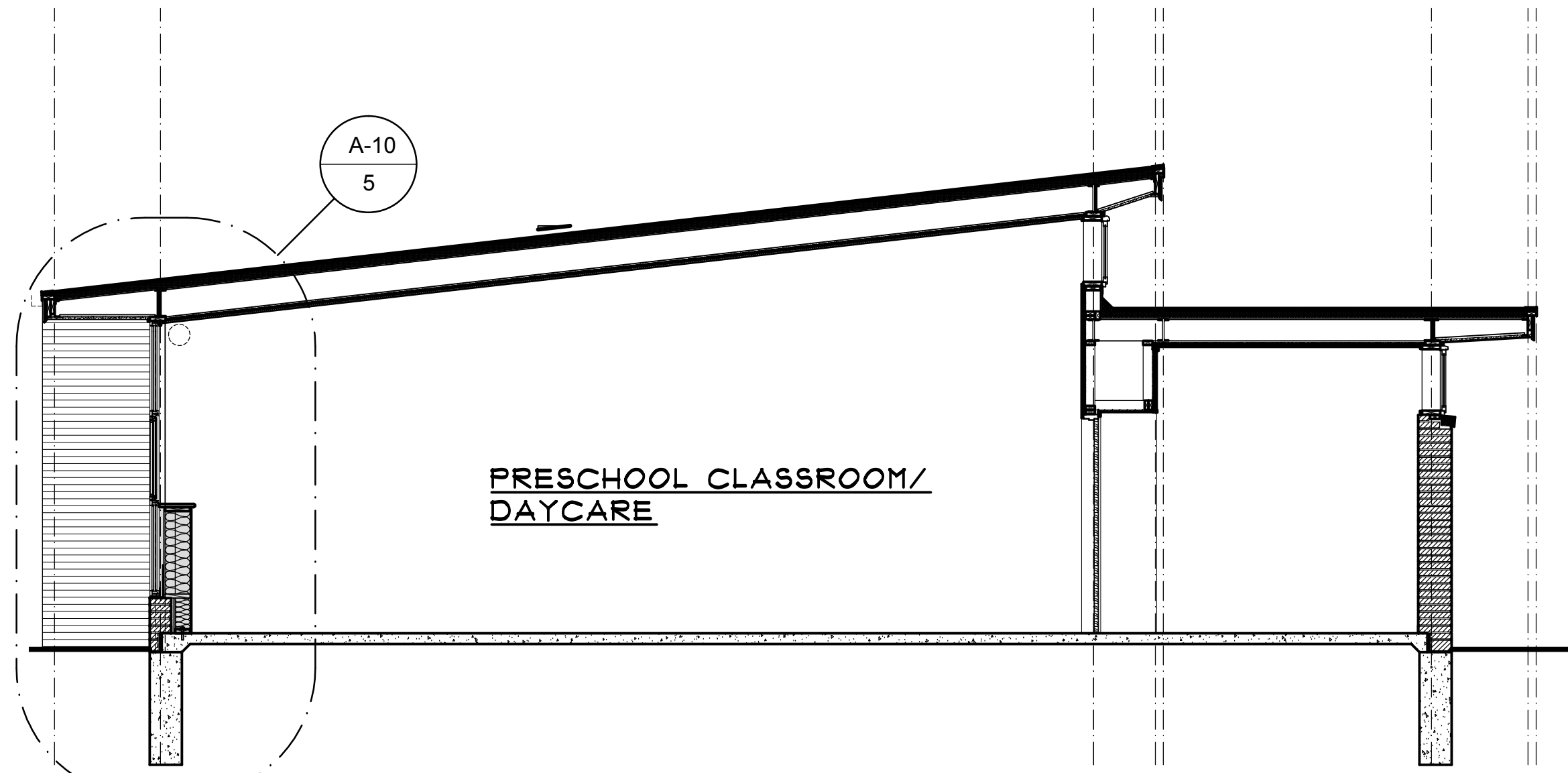
A-10  
5  
**WALL SECTION**  
SCALE: 1 1/2" = 1'-0"



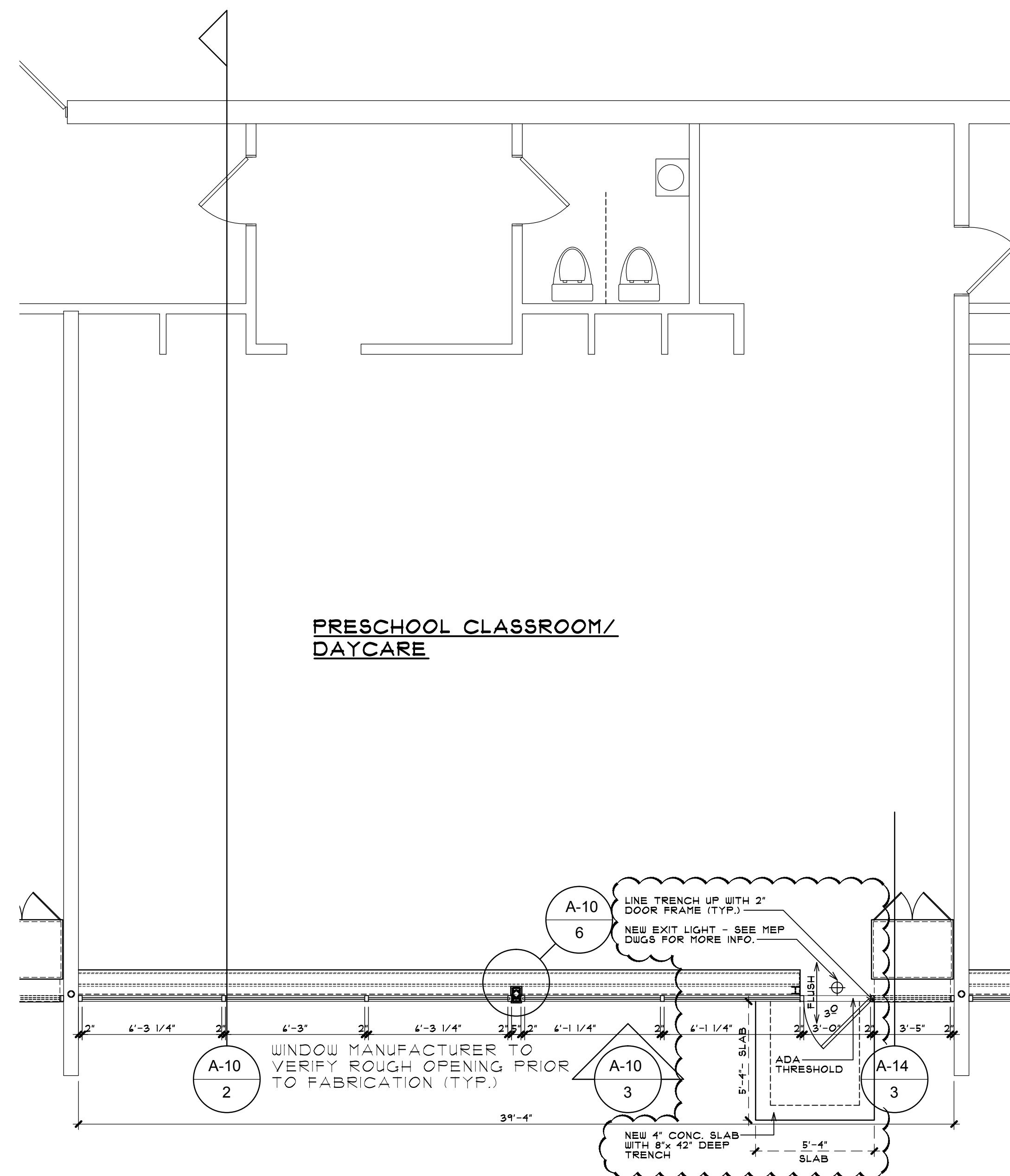
A-10  
4  
**EXISTING PARTIAL REAR ELEVATION - SOUTH**  
SCALE: 1/4" = 1'-0"



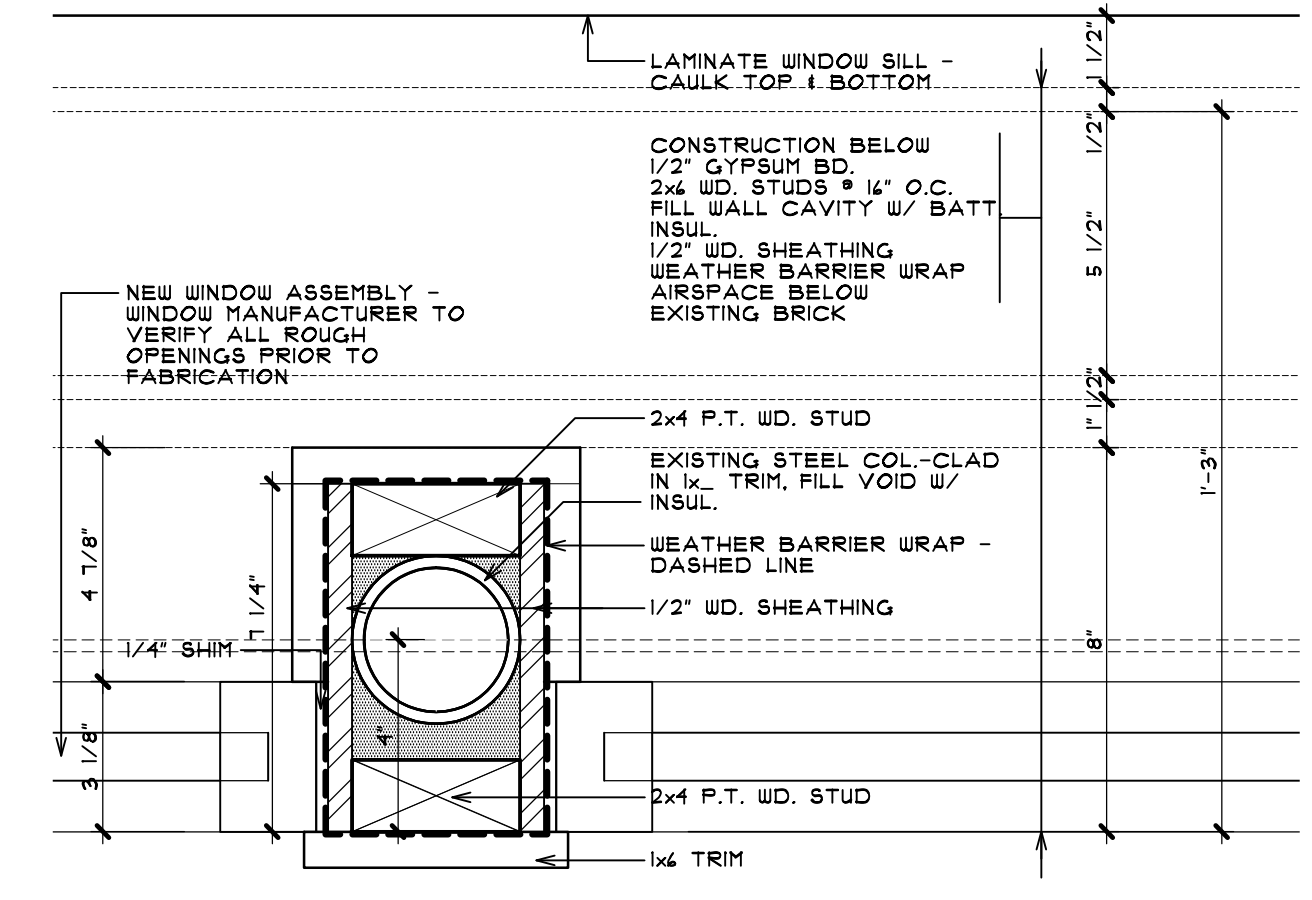
A-10  
3  
**PROPOSED PARTIAL REAR ELEVATION - SOUTH**  
SCALE: 1/4" = 1'-0"



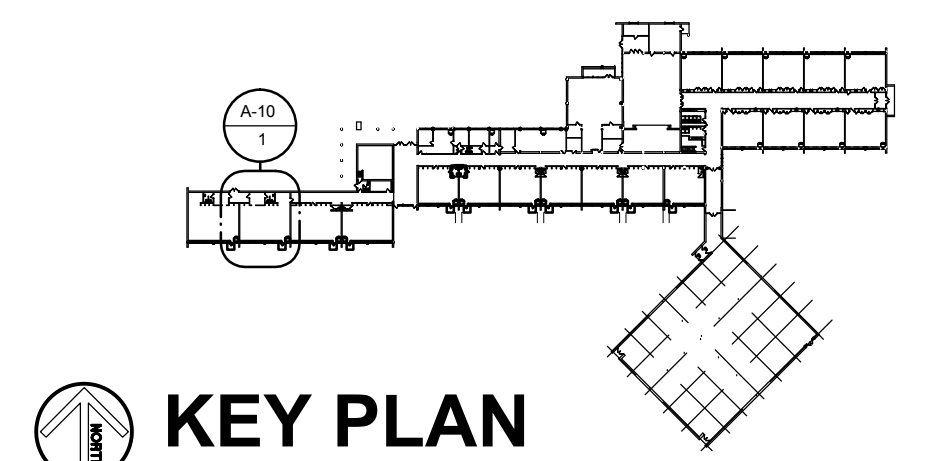
A-10  
2  
**BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



A-10  
1  
**PARTIAL FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



A-10  
6  
**DETAIL**  
SCALE: 3" = 1'-0"

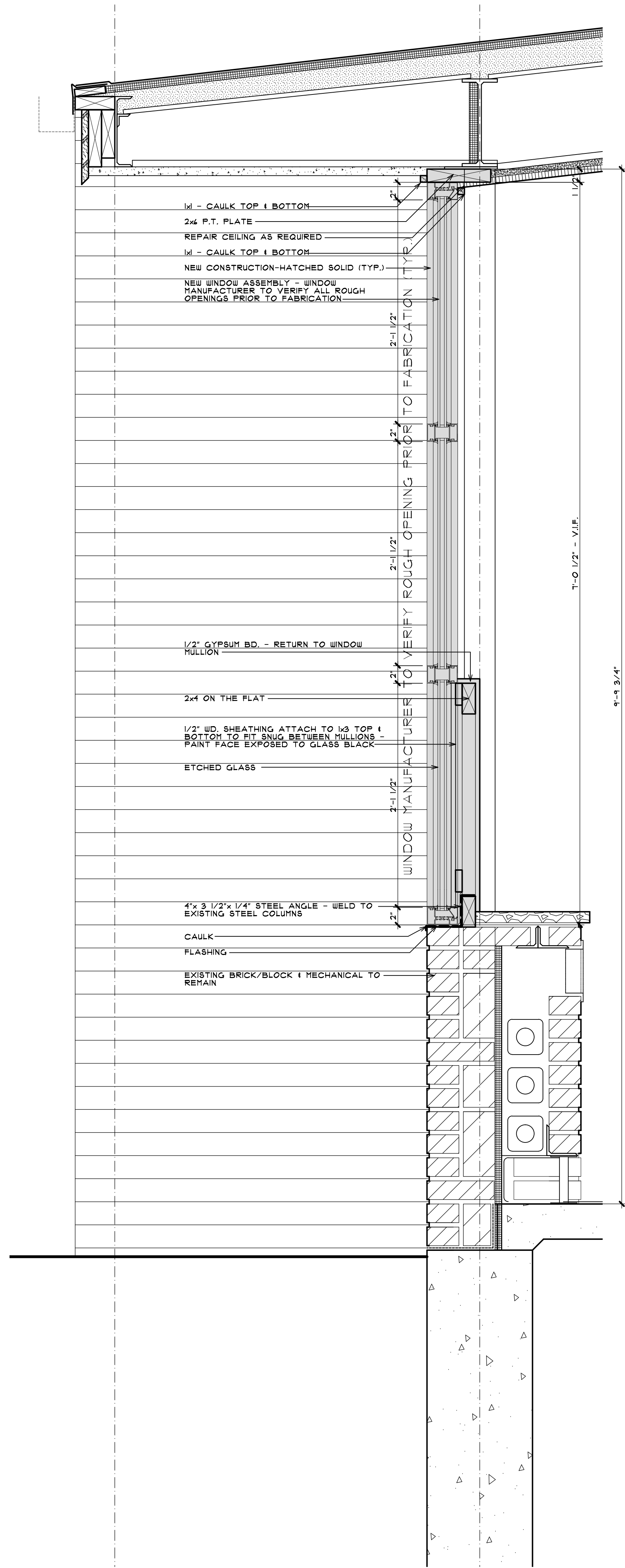


**KEY PLAN**

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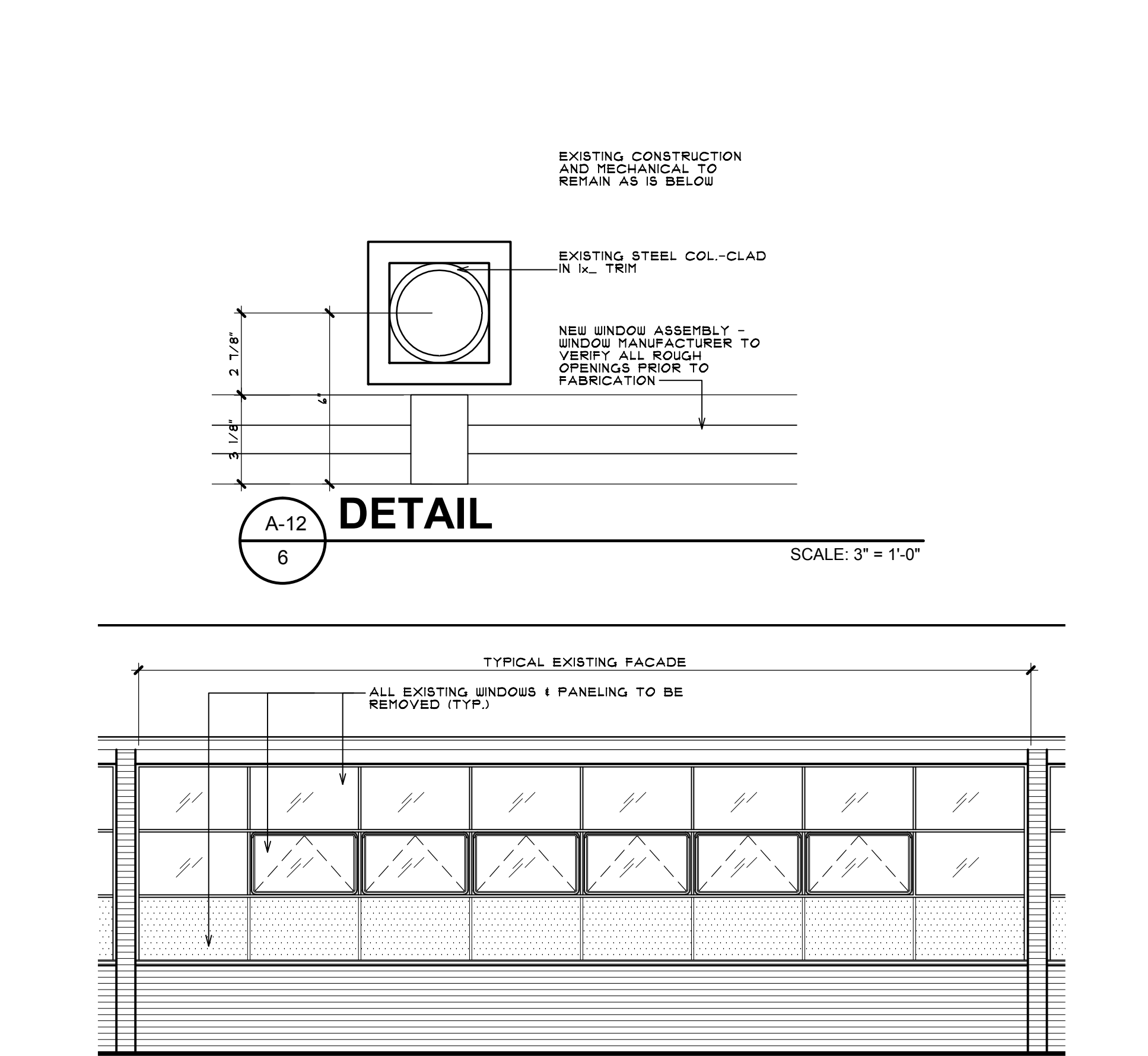




A-12  
5

**WALL SECTION**

SCALE: 1 1/2" = 1'-0"



A-12  
6

**DETAIL**

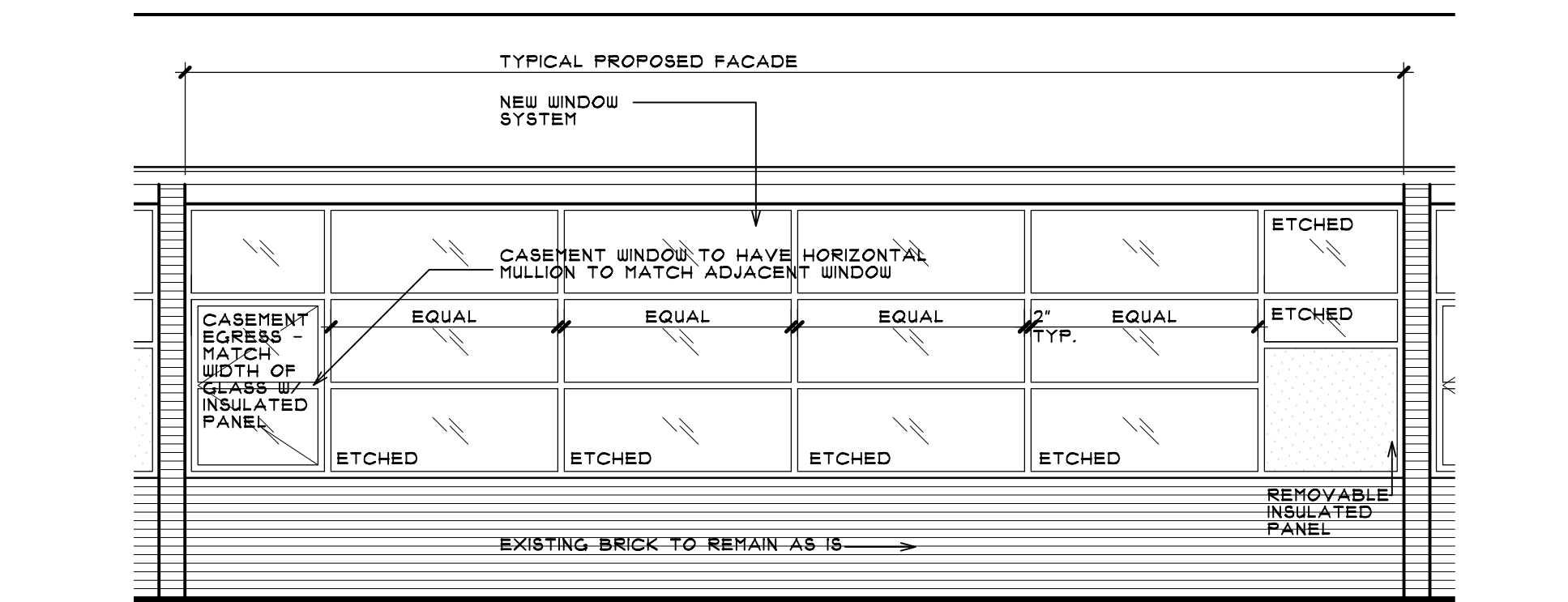
SCALE: 3" = 1'-0"

A-12  
4

**EXISTING PARTIAL REAR ELEVATION - SOUTH**

FRONT ELEVATION SIMILAR

SCALE: 1/4" = 1'-0"

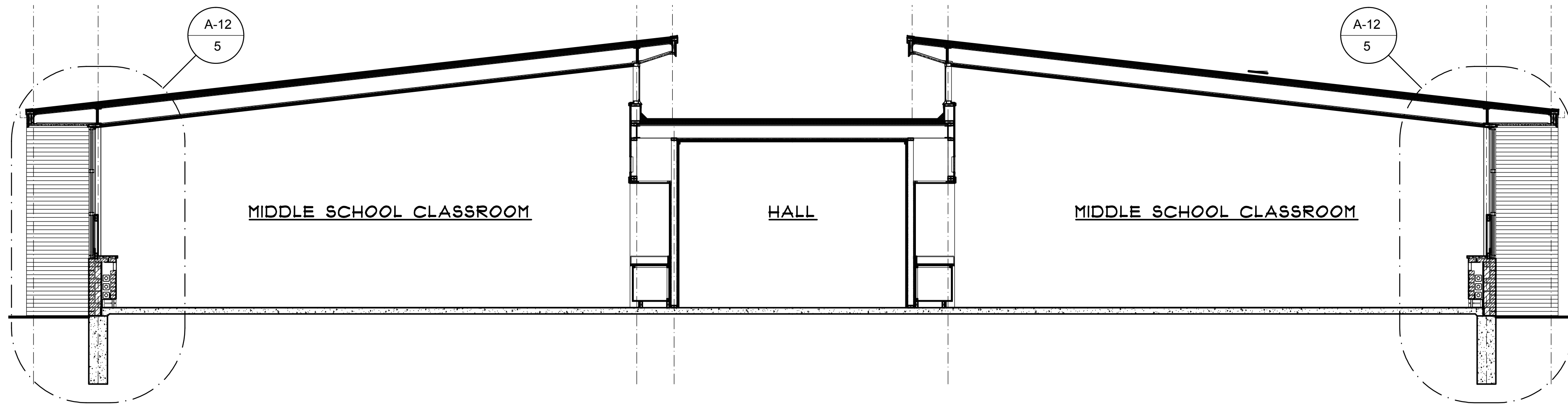


A-12  
3

**PROPOSED PARTIAL REAR ELEVATION - SOUTH**

FRONT ELEVATION SIMILAR

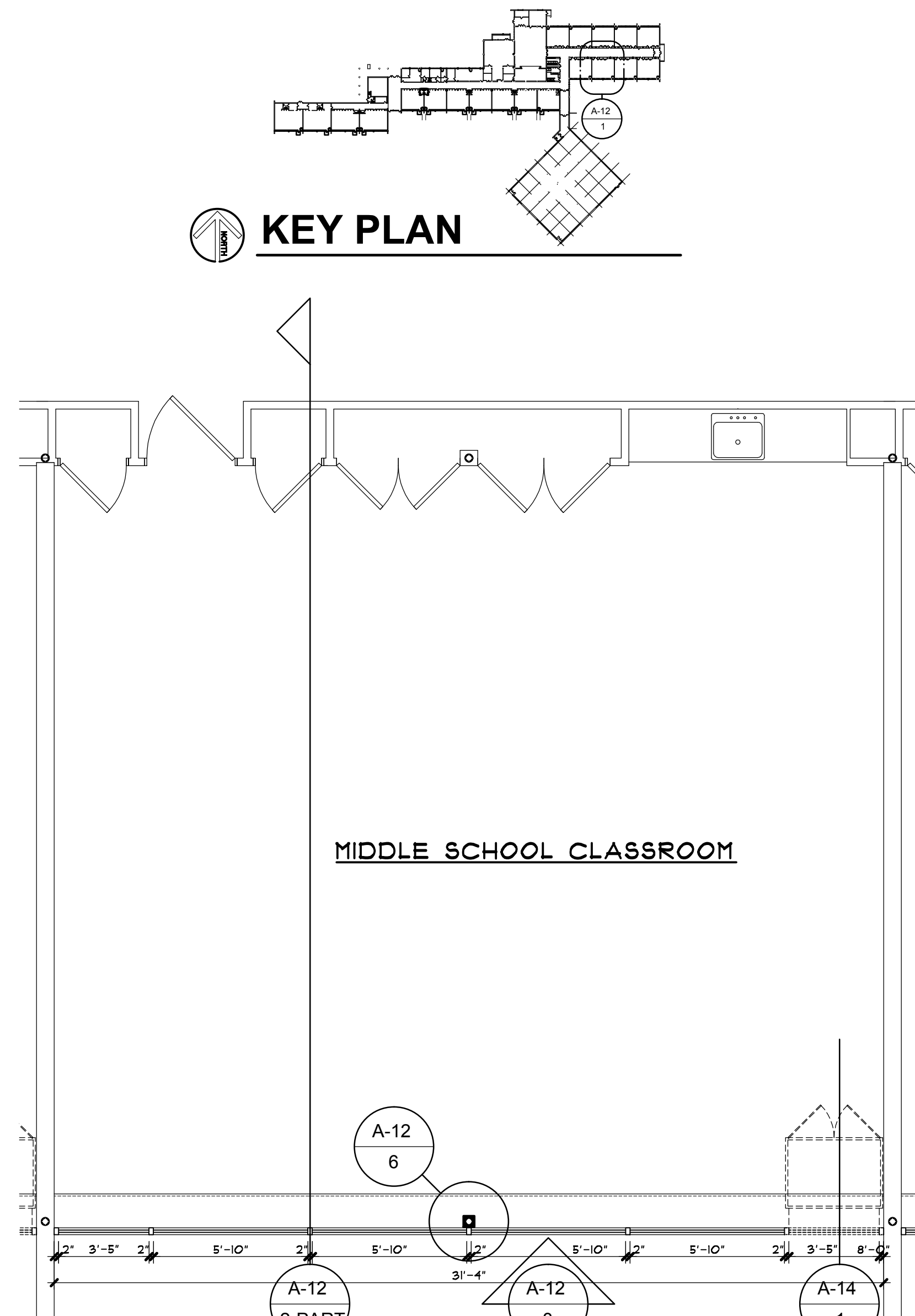
SCALE: 1/4" = 1'-0"



A-12  
2

**BUILDING SECTION**

SCALE: 1/4" = 1'-0"

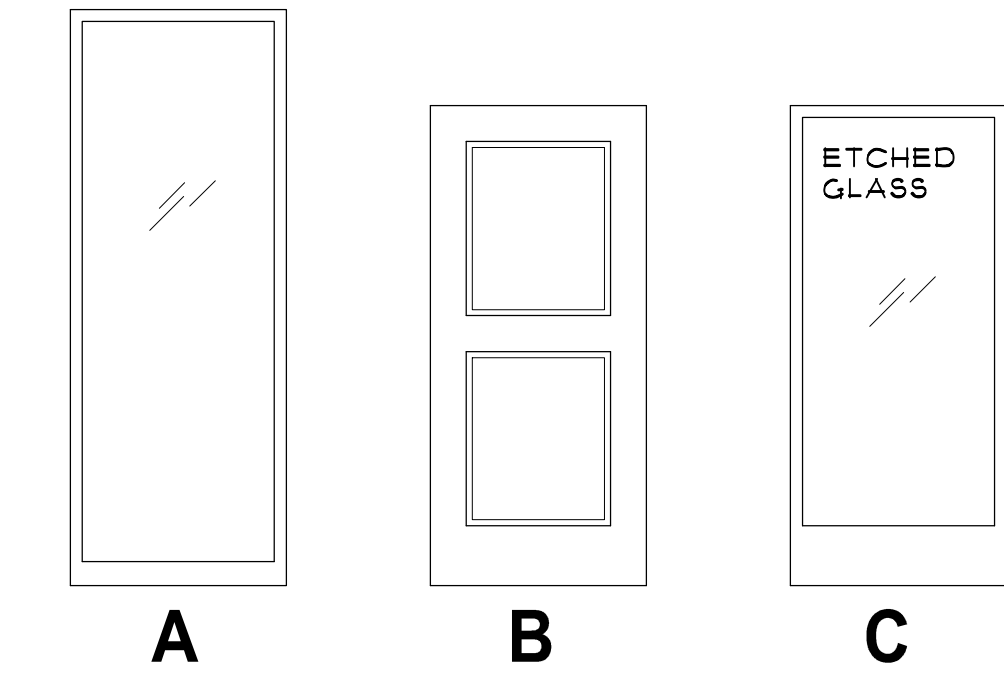
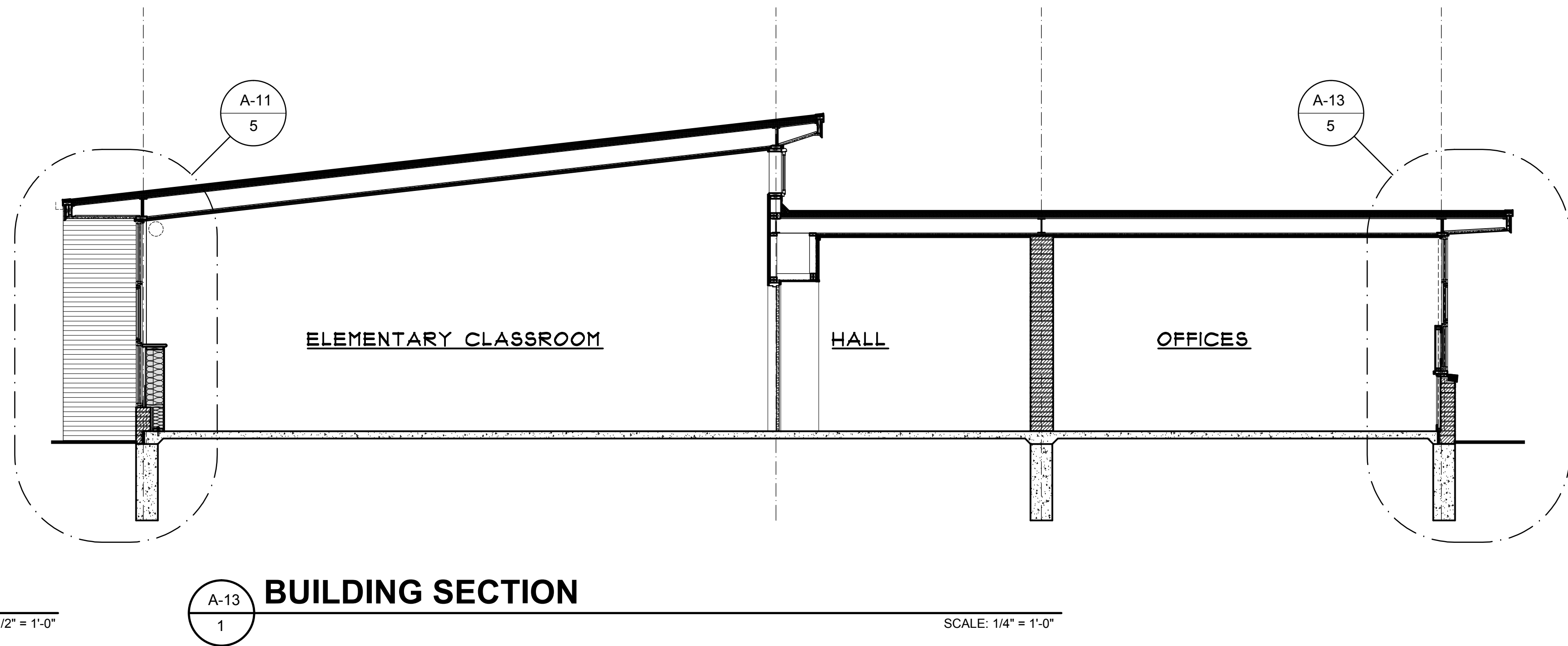
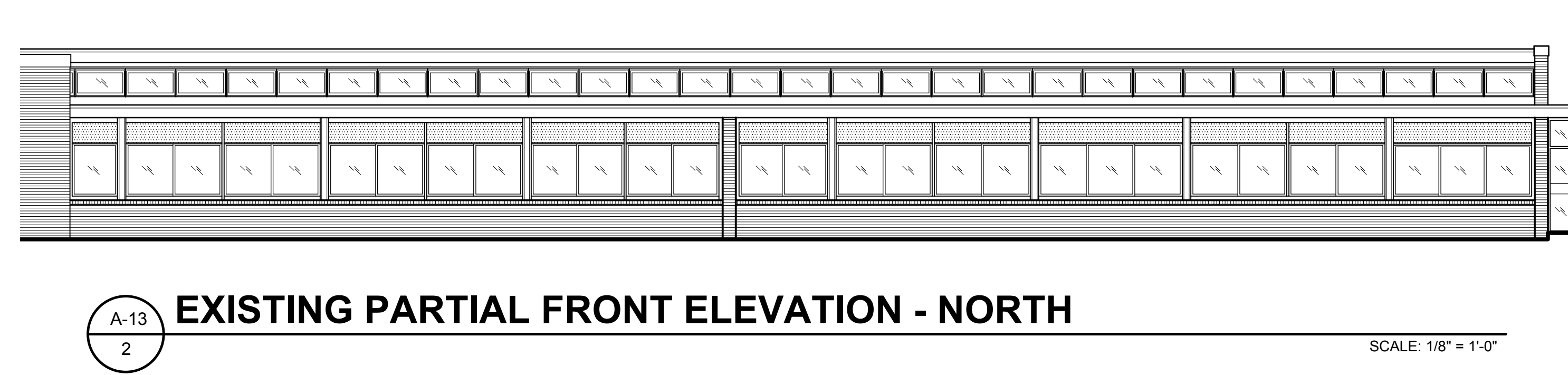
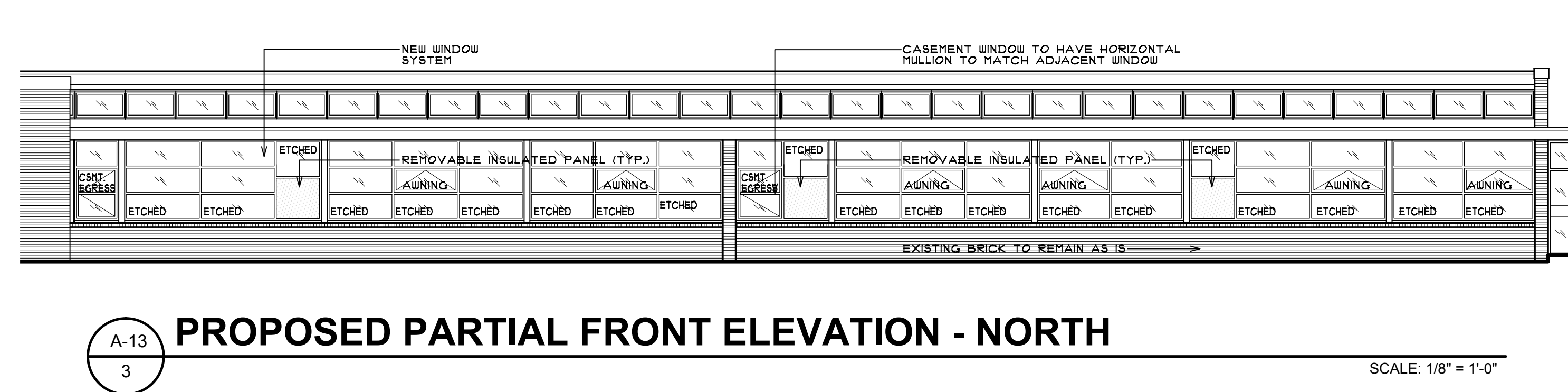
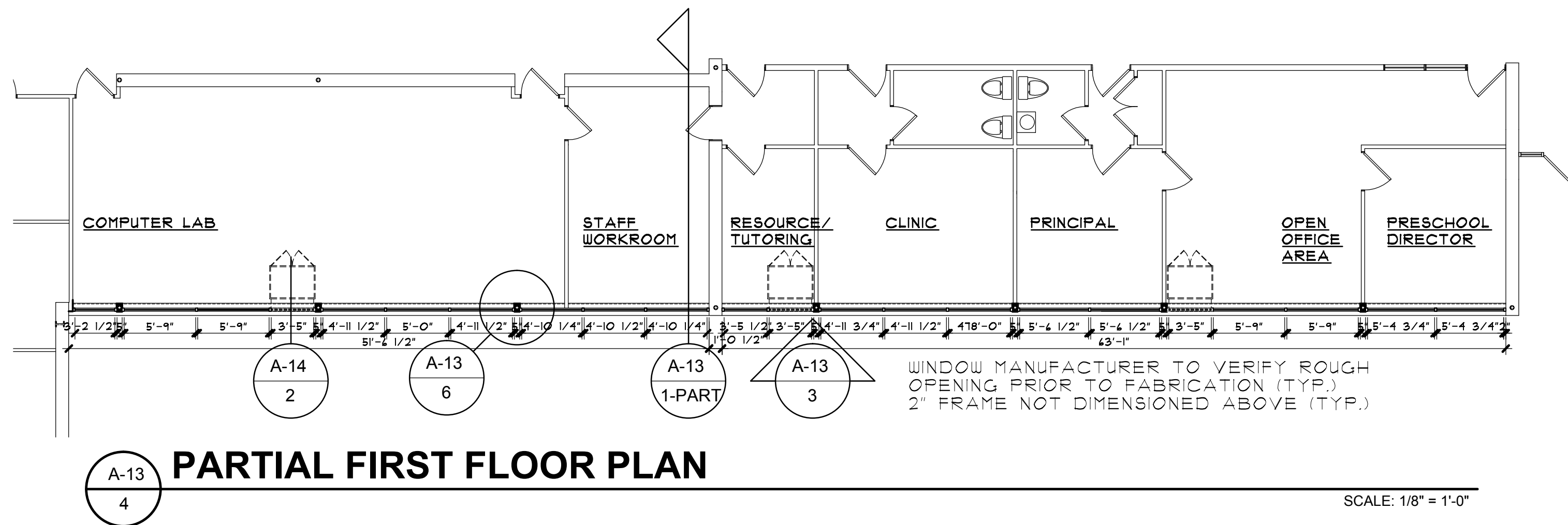
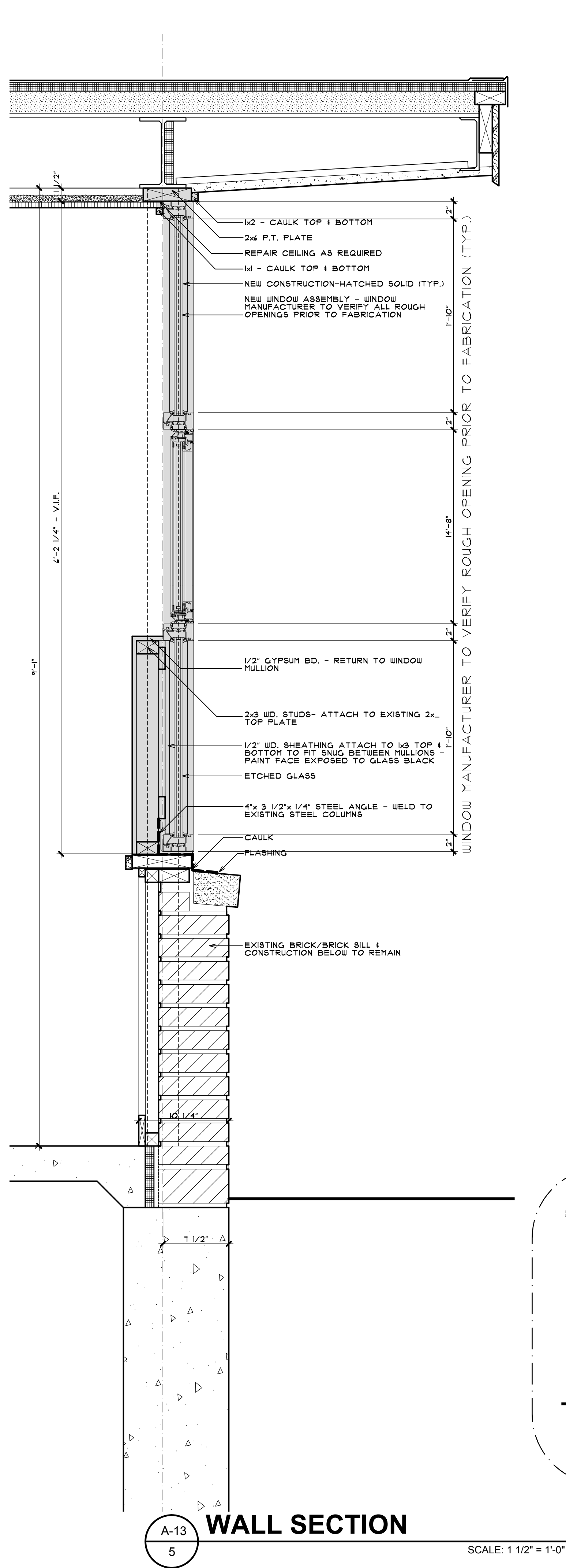


A-12  
1

**PARTIAL FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

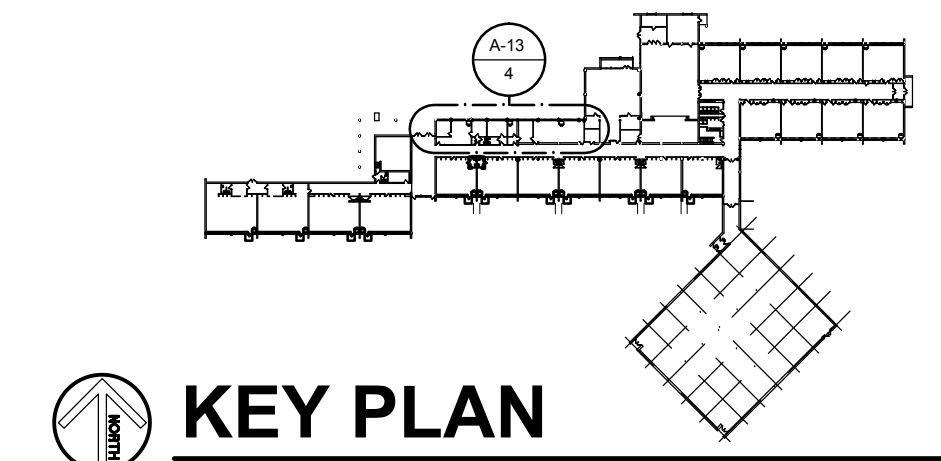
**KEY PLAN**



DOOR HARDWARE:  
EXT. CLASSROOM ENTRY DOORS ONLY  
VERTICAL HANDLE ON EXTERIOR  
HORIZONTAL HANDLE ON INTERIOR  
PUSH/PULL WITH THUMB TURN LOCK & CLOSER  
PUSH/PULL WITH THUMB TURN LOCK  
INT. CLASSROOM BATHROOM DOORS ONLY  
PUSH/PULL WITH THUMB TURN LOCK

DOOR	SIZE	MATERIAL	STYLE
101	3'-0" X 8'-0"	NOTE #1	A
201	3'-0" X 8'-0"	NOTE #1	A
301	3'-0" X 8'-0"	NOTE #1	A
401	3'-0" X 8'-0"	NOTE #1	A
501	3'-0" X 8'-0"	NOTE #1	A
502	3'-0" X 4'-8"	SOLID WD. CORE	B, OPT. C
601	3'-0" X 8'-0"	NOTE #1	A
602	3'-0" X 4'-8"	SOLID WD. CORE	B, OPT. C
701	3'-0" X 8'-0"	NOTE #1	A
801	3'-0" X 8'-0"	NOTE #1	A
901	3'-0" X 8'-0"	NOTE #1	A
1001	3'-0" X 8'-0"	NOTE #1	A
1001	3'-0" X 8'-0"	NOTE #1	A

NOTE #1:  
EXT. DOOR SYSTEM: EXT. CLASSROOM ENTRY DOORS ONLY  
190 NARROW STILE ENTRANCE - FULL LITE  
CLEAR GLASS  
FRAME COLOR: LIGHT SATIN



KEY PLAN





### Design Review Board Action List – 2020

Design Review Board	Quarter	Rank	Status
Redesign/Update DRB Board Applications	1 <sup>st</sup> (January-March)	1	<input type="checkbox"/>
Update Sign Ordinance	2 <sup>nd</sup> (April-June)	2	<input type="checkbox"/>
Create New Informational Artwork for Sign Ordinance	3 <sup>rd</sup> (July-September)	3	<input type="checkbox"/>
Sign Ordinance Enforcement	4 <sup>th</sup> (October-December)	4	<input type="checkbox"/>

#### Updates:

1. Updated Design Review application as of June 2020
  - a. Simplified, reformatted, and trimmed unnecessary sections
  - b. Updated PDF to be a fillable form