

AGENDA
VIRTUAL BIRMINGHAM DESIGN REVIEW BOARD MEETING
WEDNESDAY – January 6th, 2021
******* 7:15 PM*******

Link to Access Virtual Meeting: <https://zoom.us/j/91282479817>
Telephone Meeting Access: 877 853 5247 US Toll-free
Meeting ID Code: 912 8247 9817

- 1) **Roll Call**
- 2) **Approval of the DRB Minutes of December 16th, 2020**
- 3) **Public Hearing**
- 4) **Design Review**
 - A. **2295 E. Lincoln – Lincoln Commerce Center**
- 5) **Sign Review**
- 6) **Study Session**
- 7) **Miscellaneous Business and Communication**
 - A. **Pre-Application Discussions**
 - B. **Draft Agenda**
 1. **January 20th, 2021**
 - C. **Staff Reports**
 1. **Administrative Sign Approvals**
 2. **Administrative Approvals**
 3. **Action List 2020/2021**
- 8) **Adjournment**

Notice: Individuals requiring accommodations, such as interpreter services for effective participation in this meeting should contact the City Clerk's Office at [\(248\) 530-1880](tel:2485301880) at least on day in advance of the public meeting.

Las personas que requieren alojamiento, tales como servicios de interpretación, la participación efectiva en esta reunión deben ponerse en contacto con la Oficina del Secretario Municipal al [\(248\) 530-1880](tel:2485301880) por lo menos el día antes de la reunión pública. (Title VI of the Civil Rights Act of 1964).

A PERSON DESIGNATED WITH THE AUTHORITY TO MAKE DECISIONS MUST BE PRESENT AT THE MEETING.

Design Review Board
Minutes Of December 16, 2020
Held Remotely Via Zoom And Telephone Access

Minutes of the regular meeting of the Design Review Board ("DRB") held Wednesday, December 16, 2020. Chairman John Henke called the meeting to order at 7:54 p.m.

1) ROLL CALL

Present: Chairman John Henke; Vice-Chairman Keith Deyer; Board Members Gigi Debbrecht, Natalia Dukas, Dustin Kolo, Patricia Lang, Michael Willoughby; Alternate Board Members Samantha Cappello, Kathleen Kriel (all located in Birmingham, MI)

Absent: None

Administration: Nicholas Dupuis, City Planner
Laura Eichenhorn, City Transcriptionist

12-101-20

2) Approval Of Minutes

Motion by Ms. Debbrecht

Seconded by Ms. Lang to approve the DRB Minutes of November 18, 2020 as submitted.

Motion carried, 6-0.

ROLL CALL VOTE

Yeas: Debbrecht, Lang, Dukas, Deyer, Henke, Willoughby

Nays: None

Abstain: Kolo

12-102-20

3) Public Hearing

None.

12-103-20

4) Design Review

A. 295 E. Lincoln - Lincoln Commerce Center

Chairman Henke noted that in light of the late clarification received regarding a number of the necessary items for this application, his recommendation would be to postpone this item to the

next DRB meeting with no penalty in order to allow the Board and the public sufficient time to review all the relevant materials.

Bert Koseck, representative for the application, said postponing the review until the next meeting would not be an issue if that was the DRB's preference.

Motion by Ms. Lang

Seconded by Ms. Dukas to postpone the Design Review application for 2259 E. Lincoln – Lincoln Commerce Center to the regular DRB meeting on January 6, 2021.

Motion carried, 7-0.

ROLL CALL VOTE

Yeas: Lang, Dukas, Kolo, Debbrecht, Deyer, Henke, Willoughby

Nays: None

12-104-20

5) Sign Review

None.

12-105-20

6) Study Session

None.

12-106-20

7) Miscellaneous Business And Communications

A. Pre-Application Discussions

B. Draft Agenda - January 6, 2021

C. Staff Reports

1. Administrative Sign Approvals

2. Administrative Approvals

3. Action List - 2020/2021

12-107-20

Adjournment

Motion by Mr. Willoughby

Seconded by Ms. Debbrecht to adjourn the DRB meeting of December 16, 2020 at 8:19 p.m.

Motion carried, 7-0.

Design Review Board
Minutes of December 16, 2020

ROLL CALL VOTE

Yeas: Willoughby, Debbrecht, Kolo, Deyer, Lang, Dukas, Henke

Nays: None

Nicholas Dupuis
City Planner

DRAFT



MEMORANDUM

Planning Division

DATE: January 6th, 2021

TO: Design Review Board

FROM: Nicholas Dupuis, City Planner

SUBJECT: Design Review – 2295 E. Lincoln – Lincoln Commerce Center (**All Updates in Blue Text**)

Zoning: MX (Mixed-Use)

Existing Use: Existing 1 & 2 Story Commercial Building

Introduction

The Planning Division has received an application for Design Review for some exterior renovations at 2295 E. Lincoln – Lincoln Commerce Center. The existing site contains two separate buildings connected by a “building link” (roughly 108 sq. ft.) connecting the two buildings, an unused/unkempt courtyard, minor site landscaping, and an associated off-street parking facility. The applicant is proposing to remove the existing building link in favor of a new and upgraded entryway and courtyard area for users of the existing facility.

On December 16th, 2020 the Design Review Board motioned to postpone the Design Review application to January 6th, 2021 to give the applicant time to revise the plans submitted based on the comments from the Planning Division.

Building Exterior

As summarized above, the proposed new entryway/courtyard will be comprised of a new canopy, doors and windows, lighting, screening, landscaping, and various façade material treatments. The following table summarizes the proposed new materials:

Material	Location	Color
Brick (Type 1)	Brick Piers at Courtyard Entrance	Black Beauty
Brick (Type 2)	Brick Piers at New Storefront	Rockford
Composite Wood Panels	Screen Wall in Courtyard	Antique Leather
Steel	Canopies	Black
Metal Coping	Brick Piers	Match Brick
Windows	Courtyard & All Facades	Black Frame/Clear
Doors	Courtyard	Black Frame/Clear
Aluminum	Sun Louver	Black
Paint	Existing Courtyard Walls	Match Existing

There are no architectural standards required for this building, as the Rail District does not contain any overlay zoning standards. However, the Eton Road Corridor Plan outlines several site design guidelines that are applicable to the proposed exterior renovation project including building design, signage and lighting:

- Introduce appropriate urban design elements such as entrance features, streetscape, lighting, and façade improvements that create a pedestrian-friendly environment.
- Encourage the use of high quality building materials.
- Utilize lighting to enhance site features or to accent landscaped areas, emphasize building textures and architectural features, highlight pedestrian walkways and building entrances, and establish a special character.
- Promote signage that is designed to enhance the building architecture and is related to the building scale.

The proposed renovations do well to meet the goals of the Eton Rd. Corridor Plan in that all of the new materials being introduced to the building façade are all high quality (brick, metal, glass) and the new entryway/courtyard is a significant improvement to the building in terms of pedestrian access and space. The lighting proposed (discussed in detail below) is designed to accentuate the new corridor and introduce a new more approachable character to the building.

Signage

The applicant has shown a proposal for one new LED back-lit name letter sign that reads "LC Center" (short for Lincoln Commerce Center) on the brick pier left (west) of the courtyard entrance. The principal building frontage measures 64 ft., thus allowing 64 sq. ft. of signage. There are no existing signs on the building or site in this area. The site plans submitted show a sign height dimension of 3 ft. but to not include a length or depth dimension. However, the scale provided on the site plans provides a rough square footage of 6.75 sq. ft., which is well within the permitted combined sign area for the building. The applicant will be required to submit revised plans with the L x W x H dimensions of the signage as well as the total projection from the wall, which may not exceed 9 in.

Additionally, the location of the proposed sign does not meet the placement requirements of the Sign Ordinance, which requires all signage to be located within the Sign Band:

Sign Band: A horizontal band extending the full width of the building facade and located between the highest first floor windows and the cornice, or if there is more than one story, the highest first floor windows and the bottom of the second floor windows.

The elevation drawings provided also do not show a measurement from grade to the bottom of the sign, which is required to be 8 ft. minimum. **The applicant must submit revised**

elevation drawings showing all proposed sign dimensions and placement in accordance with the Sign Ordinance.

Lighting

The applicant is proposing 12 new light fixtures to the property to illuminate the new entryway/courtyard. The applicant is proposing 8 downlights underneath the canopies, 3 light bollards placed within the courtyard, and 1 "light finial" to the right of the new entrance. All of the new fixtures are fully cut-off as required by Article 4, Section 4.21 (D) of the Zoning Ordinance with the exception of the light finial, where it is unclear at this time whether or not the fixture is fully cut-off. The applicant must submit specification sheets on the proposed light finial to ensure that the fixture is fully cut-off. Alternatively, if the light finial is not fully cut-off, the Design Review Board may approve the fixture citing any of the following conditions:

1. The distribution of upward light is controlled by means of refractors or shielding to the effect that it be used solely for the purpose of decorative enhancement of the luminaire itself and does not expel undue ambient light into the nighttime environment.
2. The luminaire is neither obtrusive nor distracting, nor will it create a traffic hazard or otherwise adversely impact public safety, with appropriate methods used to eliminate undesirable glare and/or reflections.
3. The luminaire is consistent with the intent of the Master Plan, Urban Design Plan(s), Triangle district plan, Rail District plan and/or Downtown Birmingham 2016 Report, as applicable.
4. The scale, color, design or material of the luminaire will enhance the site on which it is located, as well as be compatible with the surrounding buildings or neighborhood.
5. Lighting designed for architectural enhancement of building features (i.e. architectural enhancement lighting). Appropriate methods shall be used to minimize reflection and glare.
6. The site lighting meets all requirements set forth in this ordinance including, but not limited to, light trespass and nuisance violations.

Because the applicant is proposing several new light fixtures, a photometric was also required and has been prepared by the applicant. Article 4, Section 4.21 (E) of the Zoning Ordinance requires the intensity of light on a site to not exceed six-tenths (0.6) maintained foot-candles at any property line that abuts a single-family residential zoned property or one and one half (1.5) maintained foot-candles at any property line for any other zoned property. The intensity of light on a site which provides a front setback of less than 5' shall be measured from 5' beyond the front property line. The photometric plan provided shows a light intensity of 0.2 or less foot-candles 5 ft. beyond the property line at the end of the canopy. **The applicant must submit a revised photometric plan and specification sheets for any changes in light fixtures that meet the requirements of Article 4, Section 4.21 of the Zoning Ordinance.**

The updated photometric plan provided now shows a light intensity of 0.2 or less foot-candles 5 ft. beyond the property line at the end of the canopy, thus meeting the requirements.

Planning and Zoning

The exterior renovation project proposed is not associated with any changes in the building (i.e. additions), use or parking. However, the applicant is proposing to rework some of the landscaping on site. Most of the current landscaping on site is proposed to remain. The remaining existing landscape is proposed to be a row of approximately 39 "Burning Bush" shrubs split across the east and west side of the entrance/courtyard. The current landscape beds are enclosed with a timber retaining wall, and the applicant is proposing to remove the timber, but has not indicated a new retaining wall material. A small 24 ft. landscaping area in front of the existing building link is proposed to be removed and replaced with a smaller landscaped area containing 2 Burning Bush shrubs. Additionally, a smaller roughly 12 ft. section of landscape area will be removed to make way for the new entrance. Within the courtyard, the applicant is proposing 14 arborvitae at 6 ft. high in a landscaping bed with black mulch.

There are no minimum landscaping requirements associated with the project, but the overall addition to the landscaping on site appear to enhance the site and also meet the goals of the Eton Road Corridor Plan which states that "the interior area adjacent to proposed or existing structures should be developed as landscaped open space. This landscape area provides balance to site landscaping and enhances the exterior appearance of the building."

The proposed landscape plan also contains two issues. First, the Burning Bush plantings proposed are listed as a prohibited species in Article 4, Section 4.20 (D) of the Zoning Ordinance. Second, the site plans submitted show a property line that runs directly adjacent to the building face, which would suggest that the landscaping areas in front of the building are actually on City property. To perform the proposed landscaping improvements in that area, the applicant would be required to apply for a Special Treatment License through the Engineering Division.

In summary, **the applicant must submit a revised landscaping plan showing the type and location of all planting material in accordance with Article 4, Section 4.20 of the Zoning Ordinance, retaining wall specifications, and apply for a Special Treatment License for landscaping work on City property.**

A new landscaping/hardscaping plan submitted by the applicant maintains the same proposed design scheme within the courtyard and existing landscaped areas, but has removed the two newly proposed burning bush plantings. The applicant will still be required to apply for a Special Treatment License for all work performed in the City right-of-way.

In addition to the proposed landscaping, the applicant is proposing a canopy that projects into the right-of-way. Article 4, Section 4.74 (D)(4)(c)(i) states that removable architectural elements such as awnings, canopies, or marquees may be approved by the Design Review Board to project into the right of way provided that they are constructed to support applicable loads without any ground mounted supports on public property. Encroachments with less than 15 ft. of clearance above the sidewalk shall not extend into or occupy more than two-thirds of the width of the sidewalk or 5 ft., whichever is less, and must not interfere with any existing or planned streetscape elements or infrastructure. Based on the property line shown on the site plans, the proposed canopy measures 13 ft. above grade and projects 5 ft. into the right-of-way, meeting the requirements. The proposed light finial and sun louver also project into the right-of-way and should be considered in the Design Review Board's approval or disapproval of the projections into the right-of-way. The light finial is proposed to project 1 ft. 8 in. and the sun louver projects 4 ft.

Design Standards

Article 7, Section 7.09 states that the Design Review Board shall review all documents submitted pursuant to this section and shall determine the following:

1. All of the materials required by this section have been submitted for review.
2. All provisions of this Zoning Ordinance have been complied with.
3. The appearance, color, texture and materials being used will preserve property values in the immediate neighborhood and will not adversely affect any property values.
4. The appearance of the building exterior will not detract from the general harmony of and is compatible with other buildings already existing in the immediate neighborhood.
5. The appearance of the building exterior will not be garish or otherwise offensive to the sense of sight.
6. The appearance of the building exterior will tend to minimize or prevent discordant and unsightly properties in the City.
7. The total design, including but not limited to colors and materials of all walls, screens, towers, openings, windows, lighting and signs, as well as treatment to be utilized in concealing any exposed mechanical and electrical equipment, is compatible with the intent of the urban design plan or such future modifications of that plan as may be approved by the City Commission.

Recommendation

The proposed exterior renovation meets the majority of the Design Review requirements of Section 7.09. The applicant has submitted most of the required materials (all outstanding items listed in the report), and the changes to the building should be an asset to the neighborhood and complement several of the new and/or proposed developments that have been erected in the general area.

Due to the submission of revised plans and the sever issues that they remedied, the Planning Division recommends APPROVAL of the Design Review application for 2259 E. Lincoln – Lincoln Commerce Center – with the following conditions:

1. The applicant must submit revised elevation drawings showing all proposed sign dimensions and placement in accordance with the Sign Ordinance or obtain a variance from the Board of Zoning Appeals;
2. The applicant must apply for a Special Treatment License for work on City property; and
3. The Design Review Board approves the projections into the right-of-way.

Sample Motion Language

Motion to APPROVE the Design Review application for 2259 E. Lincoln – Lincoln Commerce Center – with the following conditions:

1. The applicant must submit revised elevation drawings showing all proposed sign dimensions and placement in accordance with the Sign Ordinance or obtain a variance from the Board of Zoning Appeals;
2. The applicant must apply for a Special Treatment License for work on City property; and
3. The Design Review Board approves the projections into the right-of-way.

OR

Motion to POSTPONE the Design Review application for 2259 E. Lincoln – Lincoln Commerce Center – pending receipt of the following:

1. The applicant must submit revised elevation drawings showing all proposed sign dimensions and placement in accordance with the Sign Ordinance or obtain a variance from the Board of Zoning Appeals;
2. The applicant must apply for a Special Treatment License for work on City property; and
3. The Design Review Board approves the projections into the right-of-way.

OR

Motion to **DENY** the Design Review application for 2259 E. Lincoln – Lincoln Commerce Center – for the following reasons:

1. _____
2. _____
3. _____

Project:

Lincoln Commerce Center

Building Improvements

2299 Lincoln Birmingham, Michigan

DRAWING LIST

- A.1 – SITE PLAN, ZONING REVIEW, SPECIFICATIONS
- A.2 – FLOOR PLAN – EXISTING AND DEMO
- A.3 – FLOOR PLAN – NEW IMPROVEMENTS
- A.4 – ROOF PLAN – EXISTING AND IMPROVEMENTS
- A.5 – COURTYARD – ENLARGED PLAN AND ELEVATIONS
- A.6 – EXTERIOR ELEVATIONS – EXISTING
- A.7 – EXTERIOR ELEVATIONS – NEW IMPROVEMENTS
- L.1 – SITE PLAN – NEW IMPROVEMENTS

ZONING REVIEW

REFER TO BOUNDARY/TOPOGRAPHICAL SURVEY FOR SUBJECT SITE
DETAILED INFORMATION PREPARED BY PROFESSIONAL SURVEYOR.

ZONING DISTRICT

M-X (MIXED-USE)

PERMITTED USES

ALL CURRENT AND FUTURE ANTICIPATED USES ARE PERMITTED USES

LOT AREA

MINIMUM LOT AREA – EXCEED MINIMUM REQUIRED
MINIMUM OPEN SPACE – NOT APPLICABLE
MAXIMUM LOT COVERAGE – NOT APPLICABLE

SETBACKS

MINIMUM FRONT YARD
REQUIRED – 0'
EXISTING – 0'
PROPOSED – NO CHANGE

MINIMUM REAR YARD
REQUIRED – 10' (WHEN ABUTTING MX DISTRICT)
EXISTING – 37.02' (AT SHORTEST DISTANCE)
PROPOSED – NO CHANGE

MINIMUM COMBINED FRONT AND REAR YARD SETBACK
REQUIRED – 0'
EXISTING – 0'
PROPOSED – NO CHANGE

MINIMUM SIDE YARD SETBACK
REQUIRED – 0'
EXISTING – 0'
PROPOSED – NO CHANGE

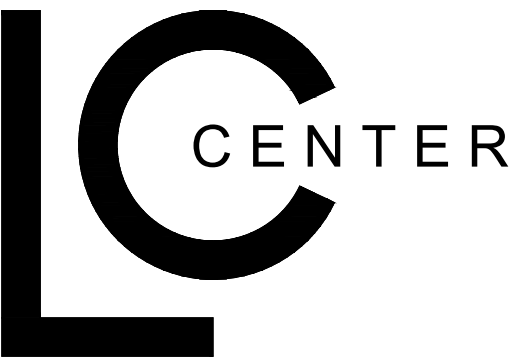
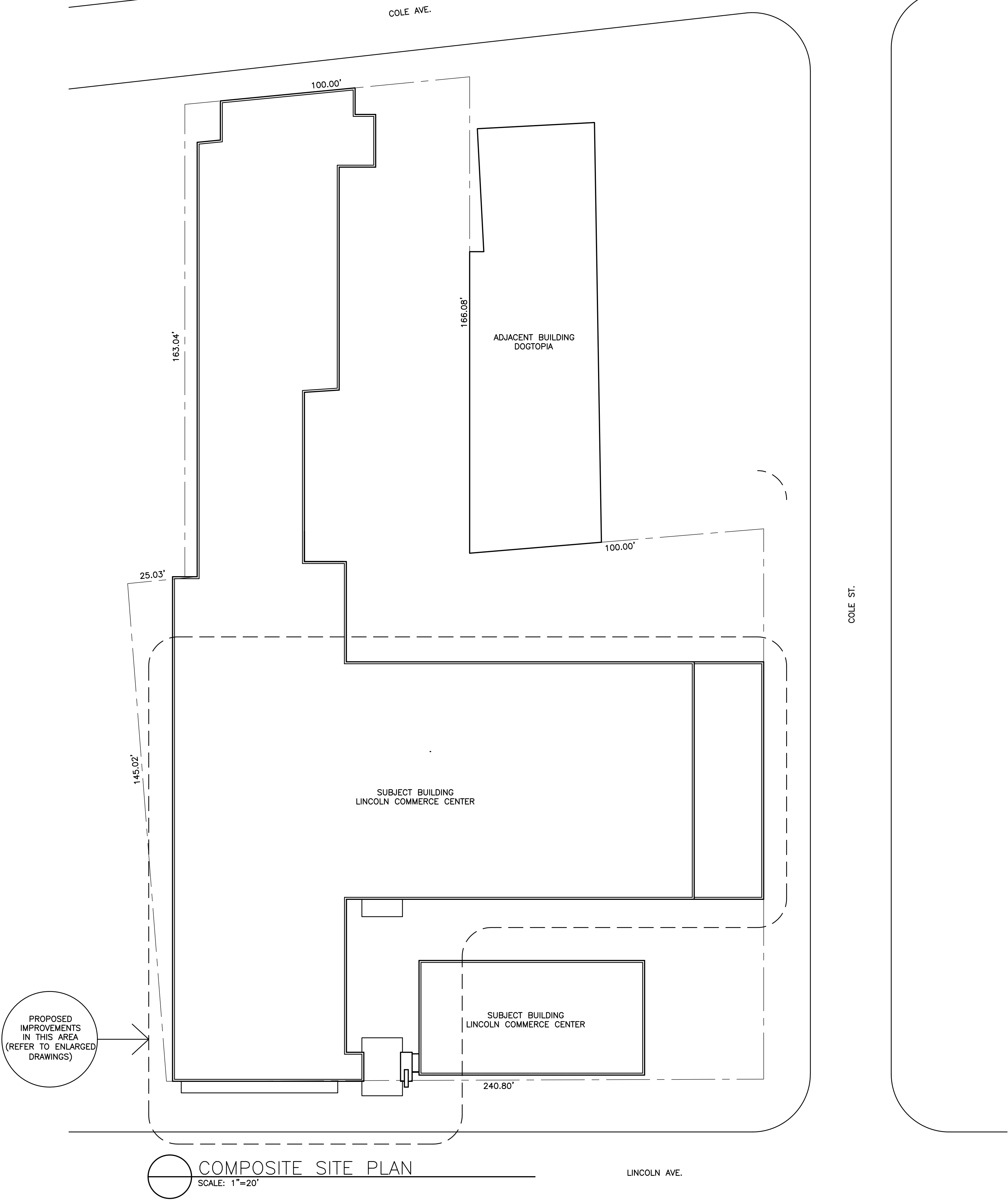
FLOOR AREA

MINIMUM
REQUIRED – NOT APPLICABLE

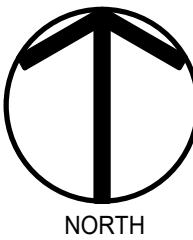
MAXIMUM
ALLOWABLE – 6,000 SF FOR COMMERCIAL, OFFICE, SERVICE USES
EXISTING AND PROPOSED – A VARIETY OF TENANT USES AND SIZES

BUILDING HEIGHT

MAXIMUM ALLOWABLE – 45' FOR FLAT ROOFS, 4-STORIES
EXISTING – +/- 24', 2-STORIES (AT HIGHEST PART OF THE BUILDING)
PROPOSED – DOES NOT EXCEED EXISTING COMPLIANT BUILDING



REVISIONS:
December 29, 2020
Based on City of Birmingham,
Community Development Department
Review Comments



SITE KEY PLAN
ZONING
SPECIFICATIONS

Project:
Lincoln
Commerce Center
Building Improvements
2299 Lincoln
Birmingham, Michigan

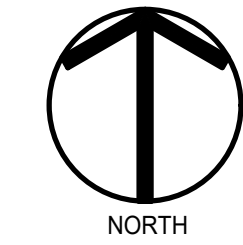
Phase:
Birmingham Design Review

Date:
December 2, 2020

Sheet:

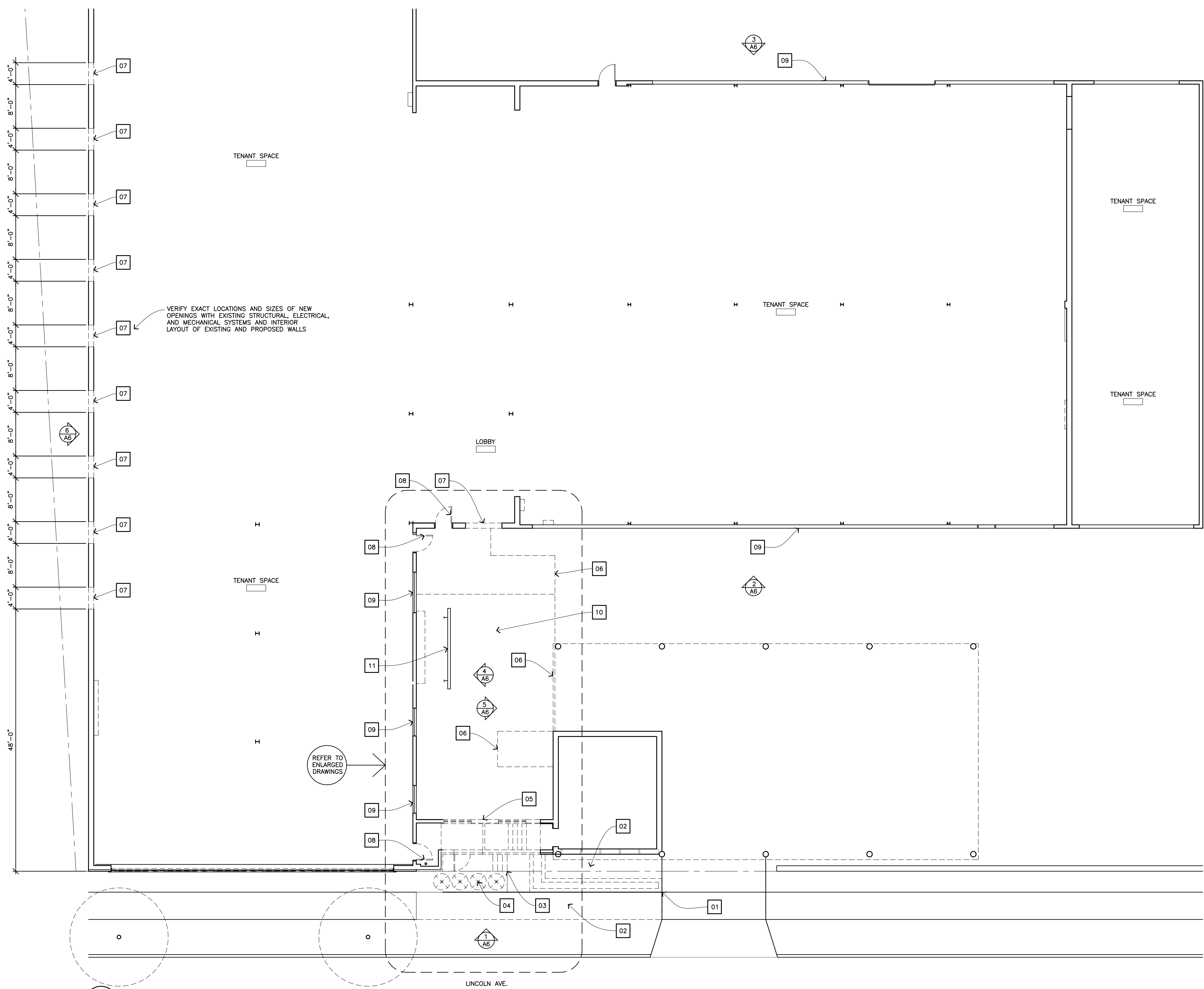
- 01 REMOVE TIMBER RETAINING WALL
- 02 REMOVE EXISTING CONCRETE SIDEWALK
- 03 REMOVE EXISTING CONCRETE STEPS
- 04 REMOVE EXISTING PLANT MATERIAL
- 05 REMOVE PART OF EXISTING LINK BUILDING
- 06 REMOVE EXISTING FENCE AND CONCRETE SLAB
- 07 REMOVE PART OF EXISTING WALL
- 08 REMOVE EXISTING DOOR AND FRAME
- 09 REMOVE EXISTING WINDOW AND FRAME
- 10 REMOVE DEBRIS
- 11 REMOVE GUARDRAIL

REVISIONS:
December 29, 2020
Based on City of Birmingham,
Community Development Department
Review Comments



FLOOR+SITE
PLAN -
EXISTING / DEMO

Project:
**Lincoln
Commerce Center
Building Improvements**
2299 Lincoln
Birmingham, Michigan
Phase:
Birmingham Design Review
Date:
December 2, 2020
Sheet:

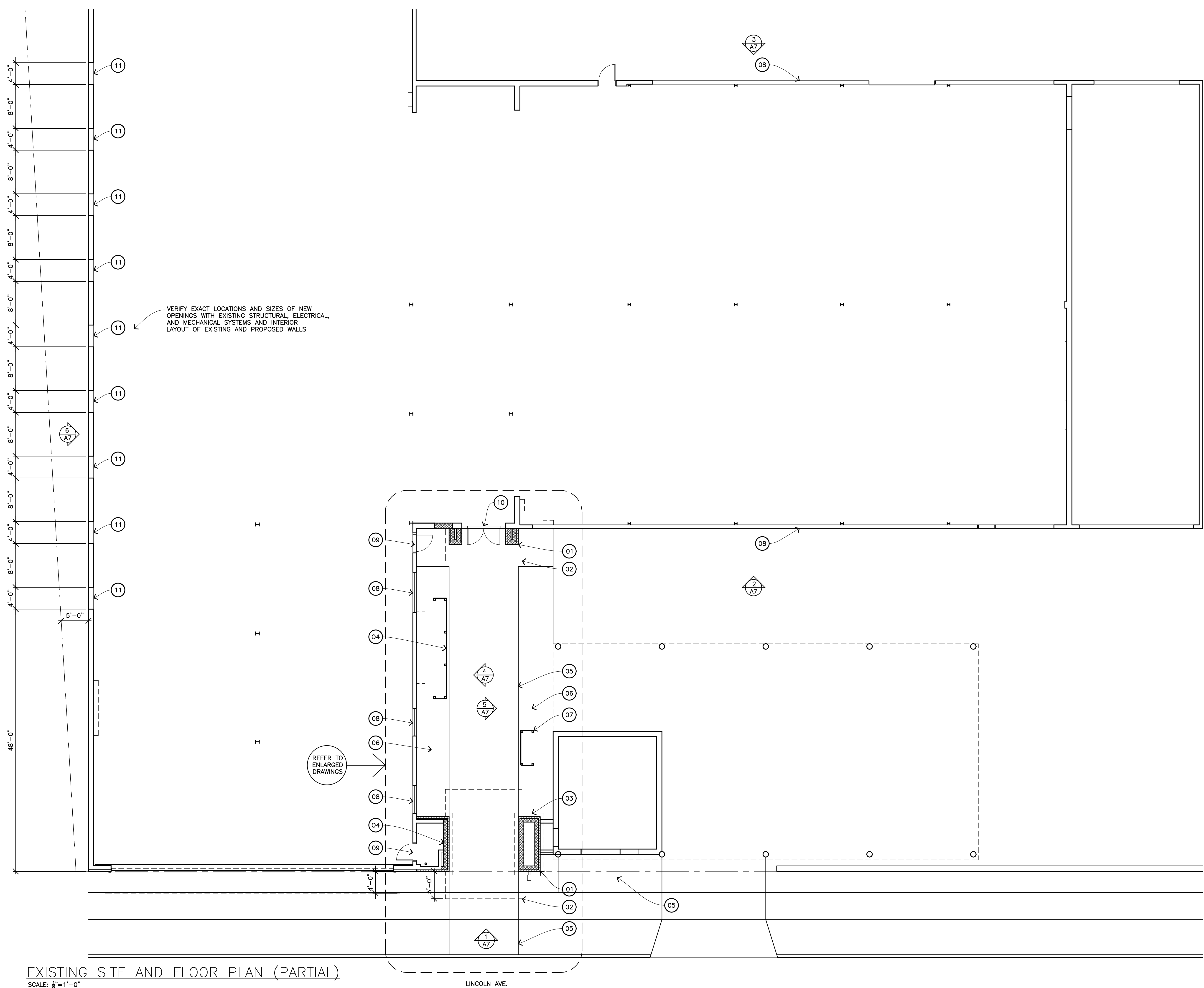


EXISTING / DEMO FLOOR PLAN
SCALE: 1/8"=1'-0"

- 01 NEW BRICK PIER
- 02 NEW CANOPY — ALUMINUM
- 03 NEW FOUNDATION BELOW
- 04 MODIFY EXISTING BRICK WALLS
- 05 NEW CONCRETE SIDEWALK
- 06 NEW LANDSCAPED AREA
- 07 NEW SCREEN WALL, COMPOSITE WOOD.
1x6 BOARDS
- 08 NEW WINDOW IN EXISTING OPENING
COLOR: BLACK FRAME, CLEAR GLASS
- 09 NEW DOOR IN EXISTING OPENING
COLOR: BLACK FRAME, CLEAR GLASS
- 10 NEW DOOR "STOREFRONT" IN NEW OPENING
- 11 NEW WINDOW IN EXISTING OPENING (WALL IS
MORE THAN 5' TO PROPERTY LINE AT THESE
LOCATIONS)
- 12 NEW ALUMINUM LED LIGHT FINIAL
- 13 EXISTING BRICK
- 14 METAL COPING — MATCH BRICK COLOR
- 15 ALUMINUM ADDRESS / DIRECTORY SIGN
- 16 SUN LOUVER — ALUMINUM
- 17 REMOVE DOOR, PATCH TO MATCH EXISTING
WALL
- 18 NEW LIGHT BOLLARD
- 19 PAINT EXISTING CONCRETE BLOCK (COLOR "1")
- 20 RECESSED LED LIGHT FIXTURE
- 21 ALUMINUM BACK-LIT DIMENSIONAL LETTERS
COLOR: SILVER

REVISIONS:
December 29, 2020
Based on City of Birmingham,
Community Development Department
Review Comments

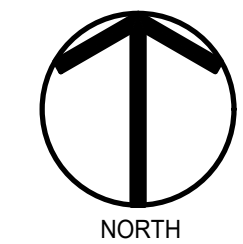
FLOOR PLAN -
PROPOSED



EXISTING SITE AND FLOOR PLAN (PARTIAL)

SCALE: 1/4"=1'-0"

REVISIONS:
December 29, 2020
Based on City of Birmingham,
Community Development Department
Review Comments



ROOF PLAN -
EXISTING AND
PROPOSED

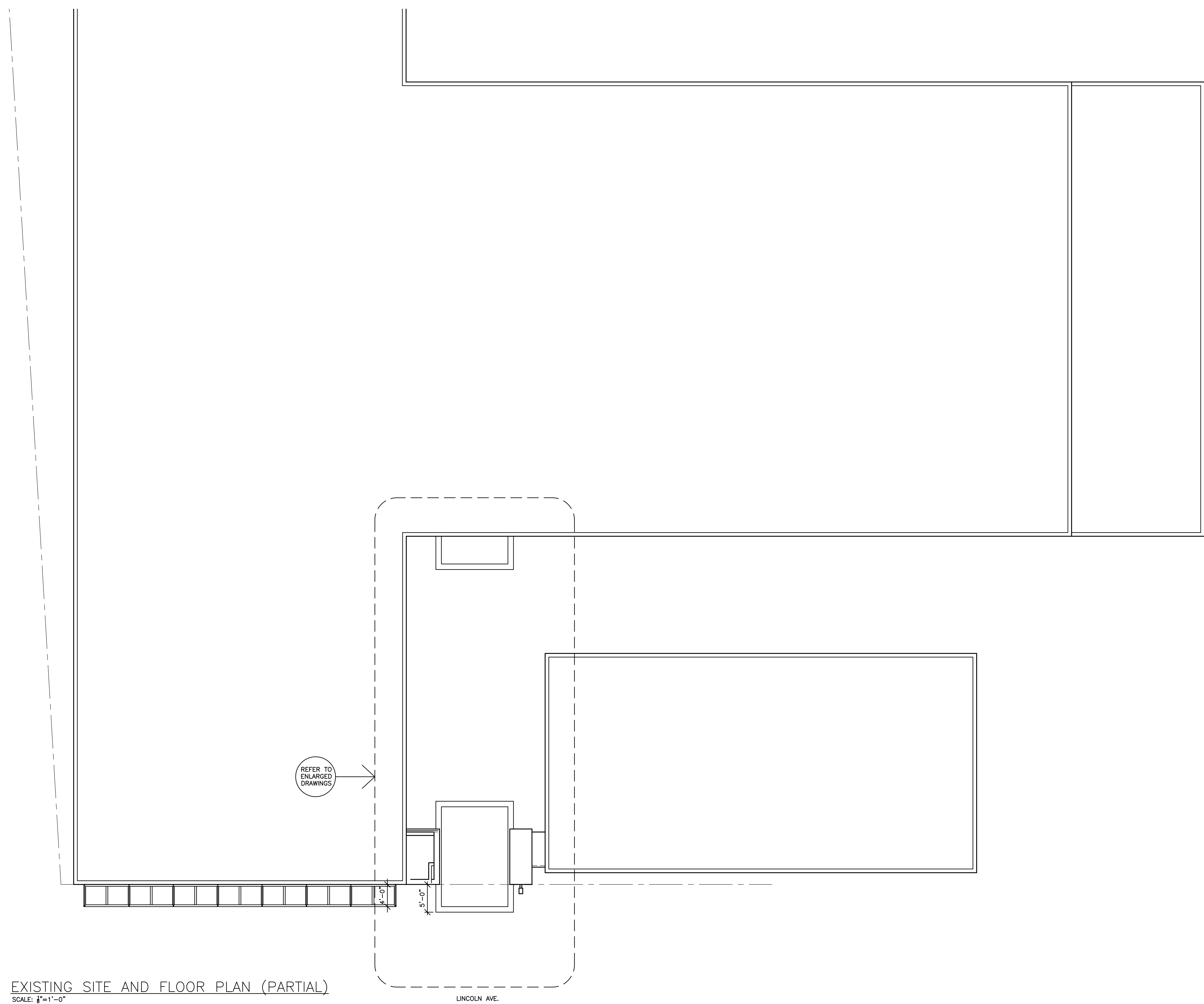
Project:
**Lincoln
Commerce Center**
Building Improvements
2299 Lincoln
Birmingham, Michigan

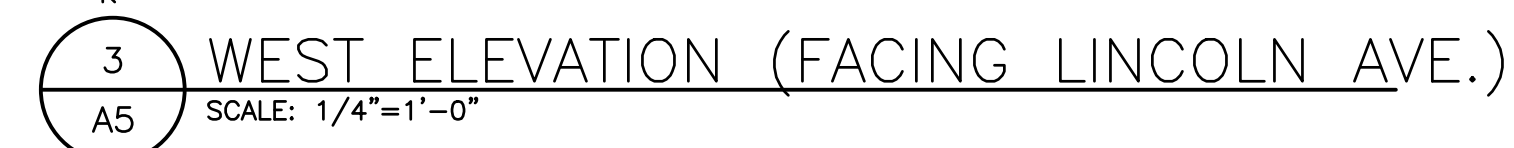
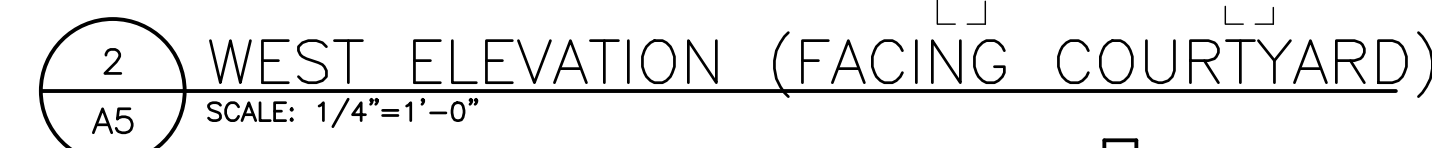
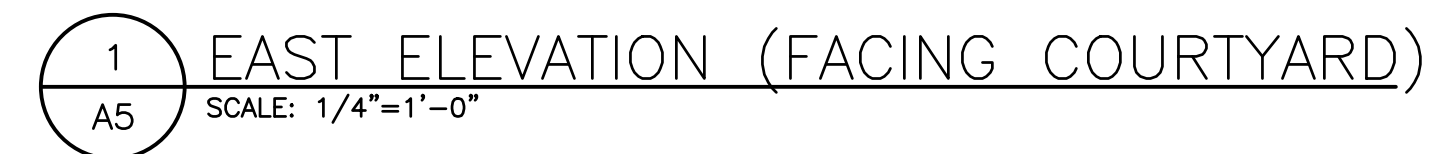
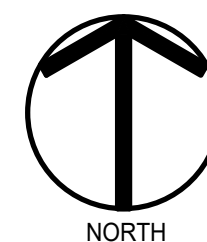
Phase:
Birmingham Design Review

Date:
December 2, 2020

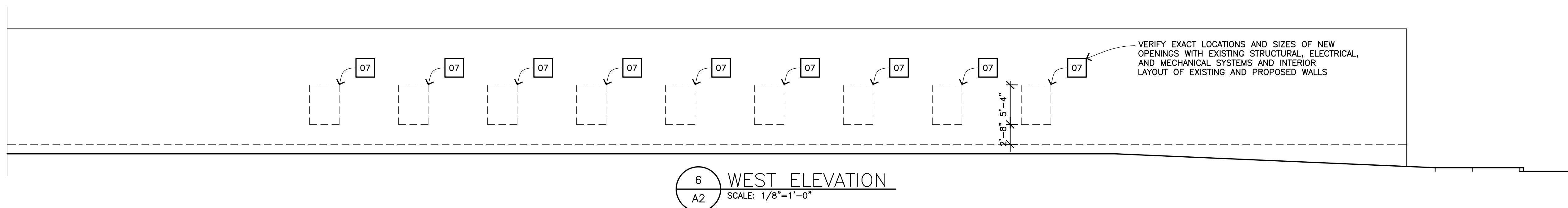
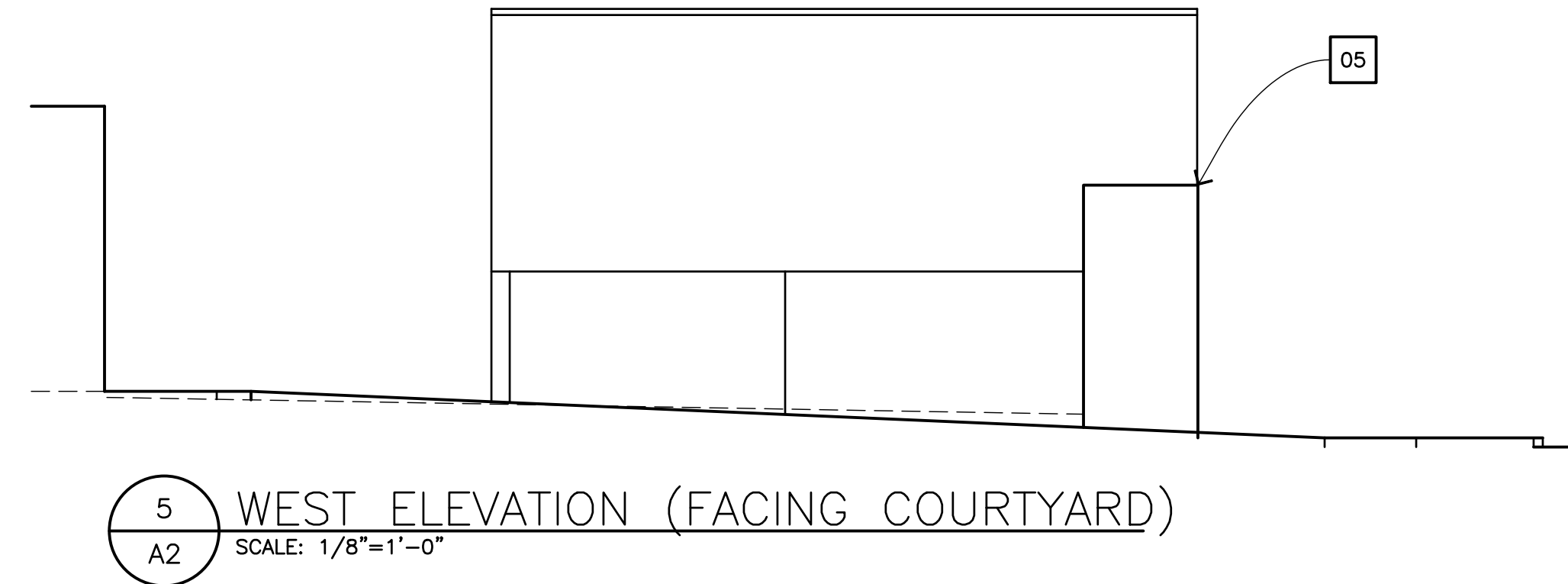
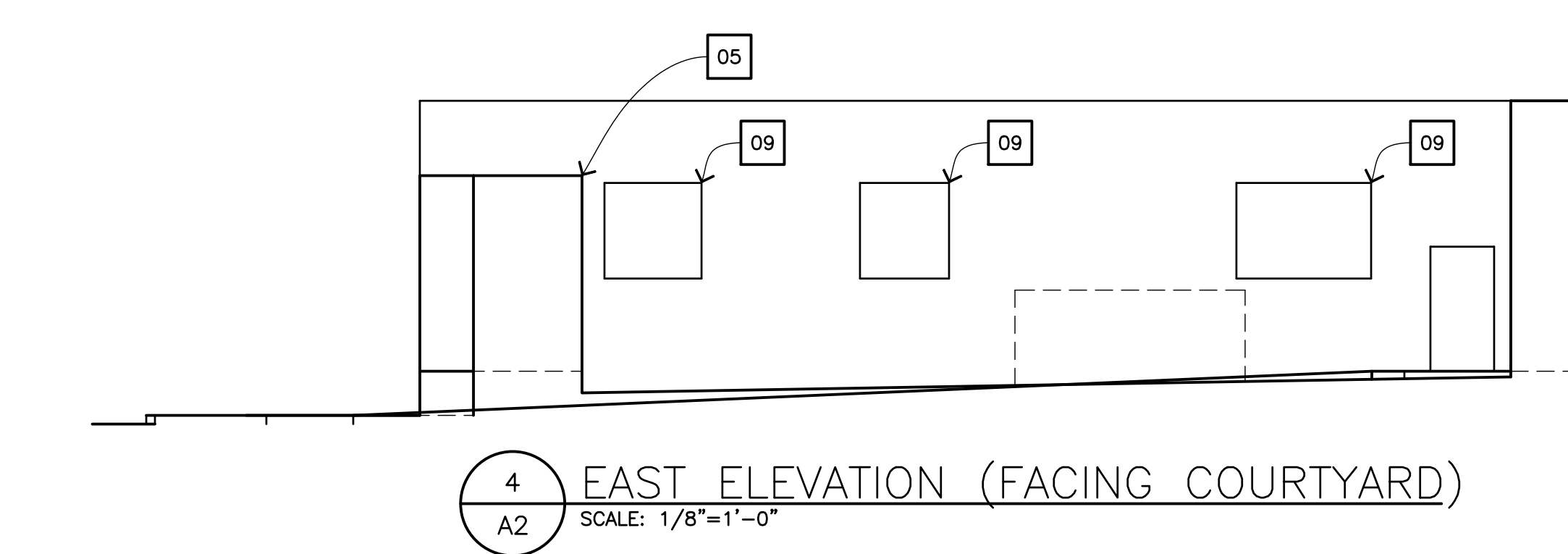
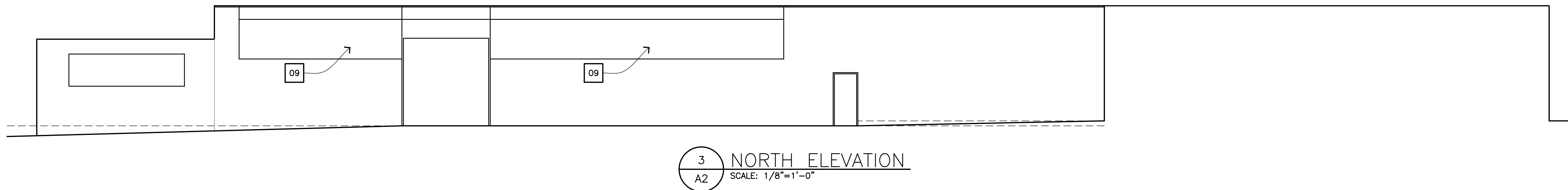
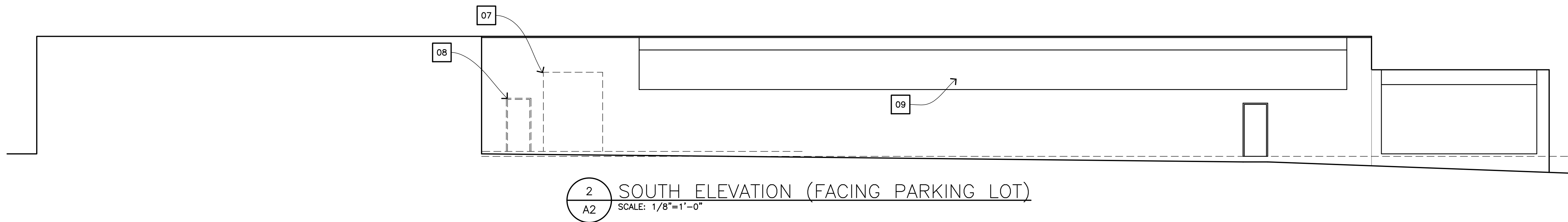
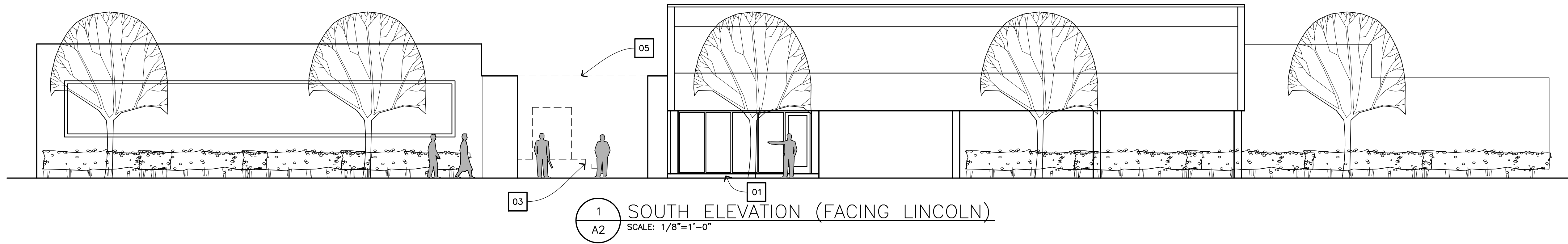
Sheet:

EXISTING SITE AND FLOOR PLAN (PARTIAL)
SCALE: 1/8"=1'-0"





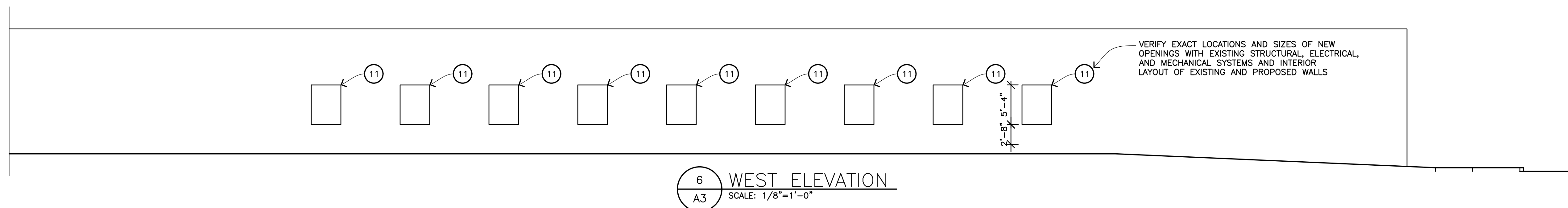
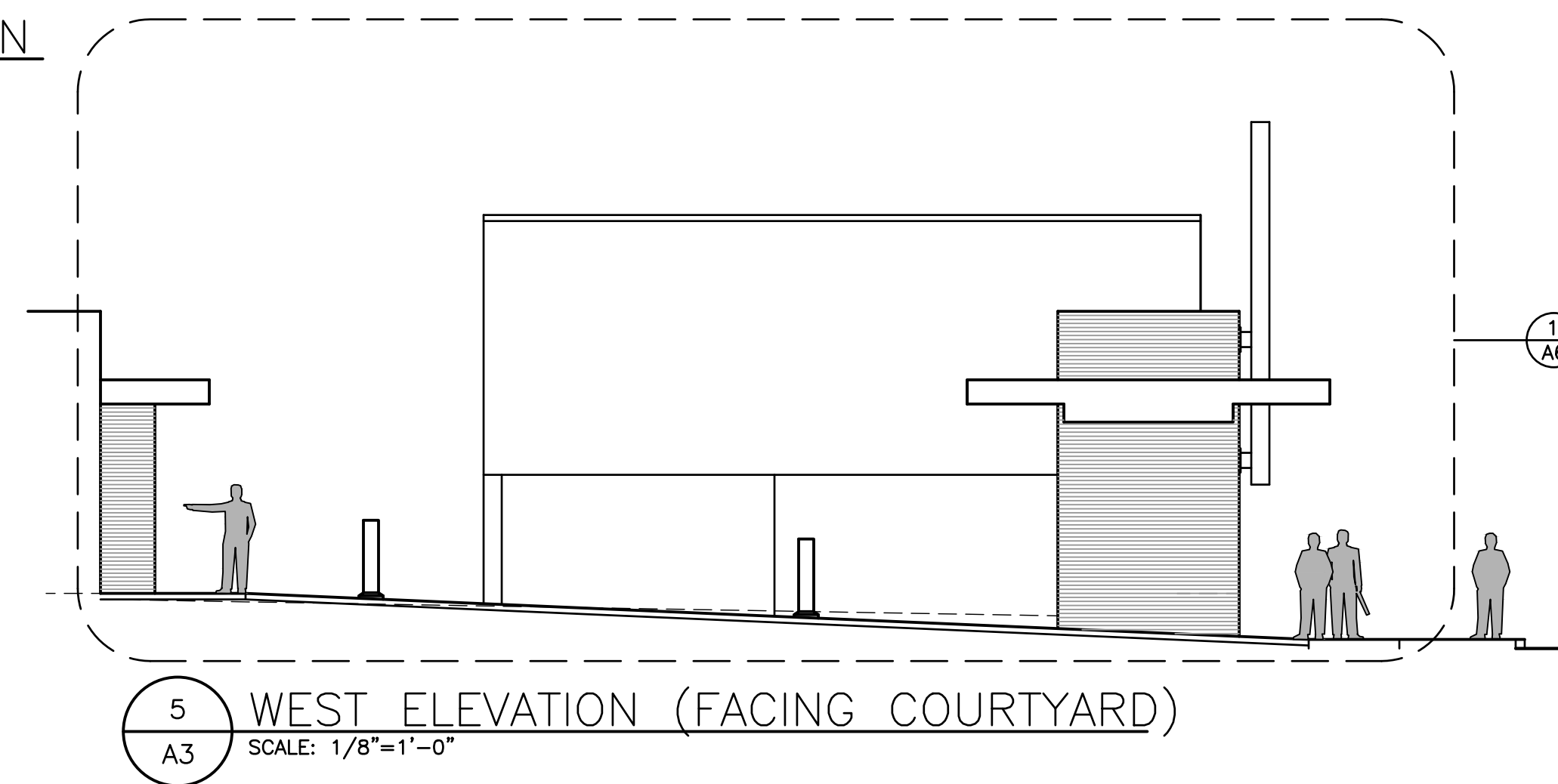
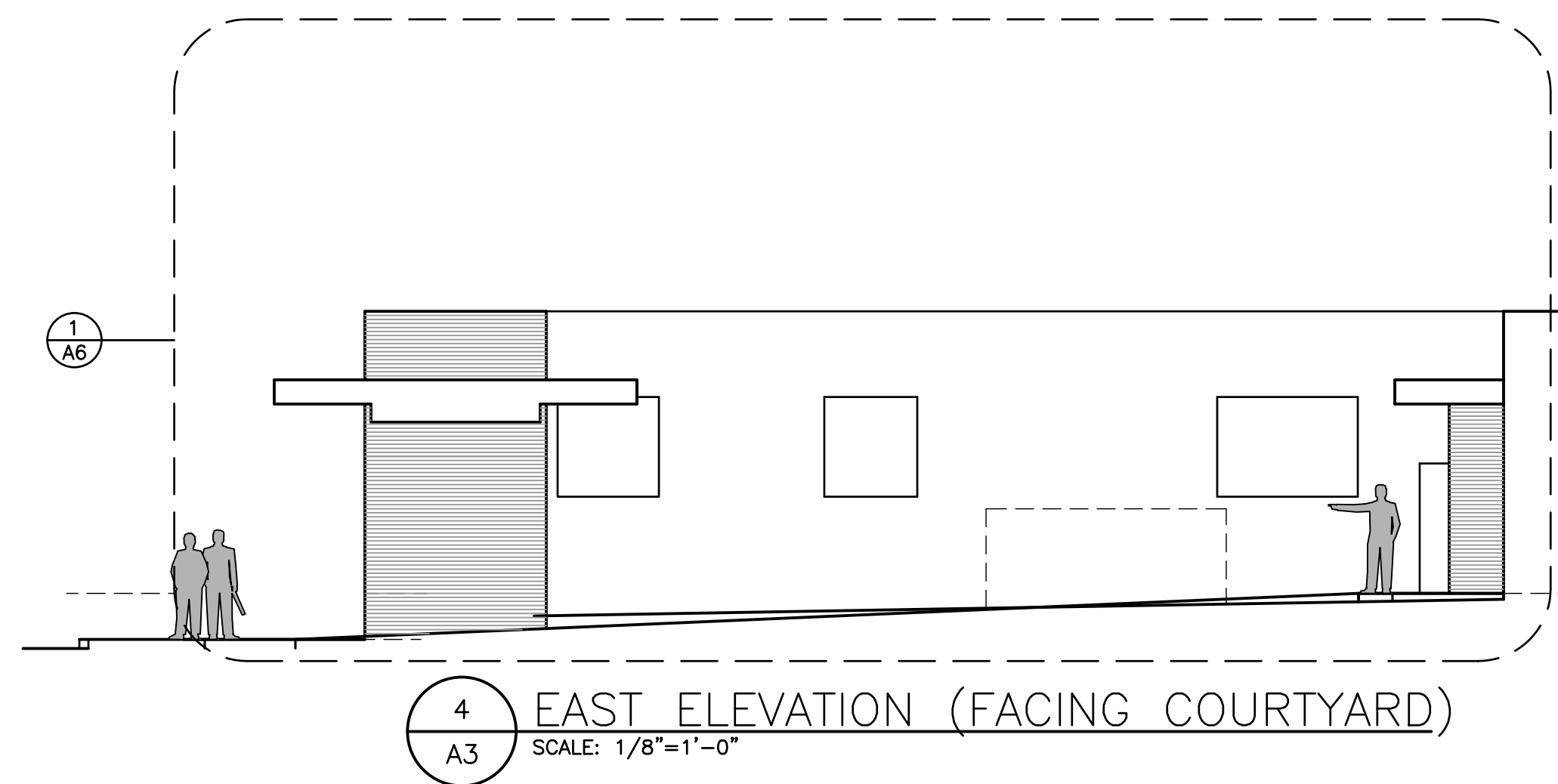
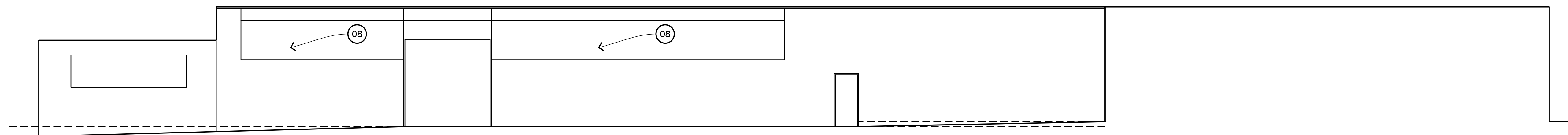
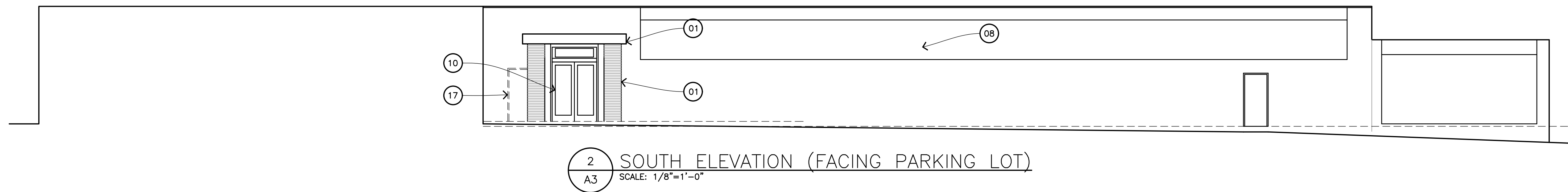
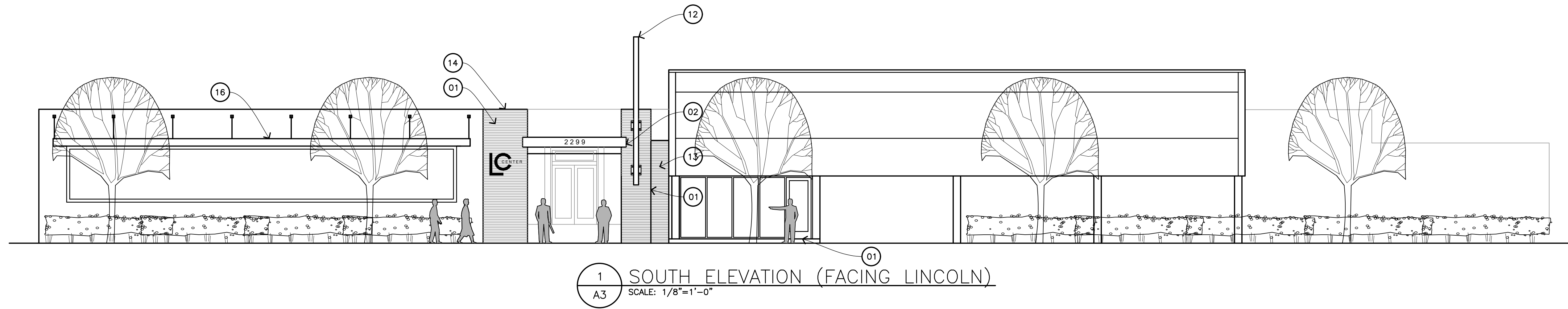
- COURTYARD
PLAN/ELEVATIONS-
ENLARGED



- 01 REMOVE TIMBER RETAINING WALL
- 02 REMOVE EXISTING CONCRETE SIDEWALK
- 03 REMOVE EXISTING CONCRETE STEPS
- 04 REMOVE EXISTING PLANT MATERIAL
- 05 REMOVE PART OF EXISTING LINK BUILDING
- 06 REMOVE EXISTING FENCE AND CONCRETE SLAB
- 07 REMOVE PART OF EXISTING WALL
- 08 REMOVE EXISTING DOOR AND FRAME
- 09 REMOVE EXISTING WINDOW AND FRAME
- 10 REMOVE DEBRIS
- 11 REMOVE GUARDRAIL

REVISIONS:
December 29, 2020
Based on City of Birmingham,
Community Development Department
Review Comments

EXTERIOR
ELEVATIONS -
EXISTING / DEMO



- 01 NEW BRICK PIER
SOUTH PIERS: GLEN-GERY BLACK BEAUTY
NORTH PIERS: GLEN-GERY ROCKFORD
- 02 NEW CANOPY — ALUMINUM
COLOR: BLACK
- 03 NEW FOUNDATION BELOW
- 04 MODIFY EXISTING BRICK WALLS
- 05 NEW CONCRETE SIDEWALK
CITY OF BIRMINGHAM STANDARD
- 06 NEW LANDSCAPED AREA
- 07 NEW SCREEN WALL, COMPOSITE WOOD.
1x6 BOARDS, TIMBERTECH ANTIQUE LEATHER
- 08 NEW WINDOW IN EXISTING OPENING
COLOR: BLACK FRAME, CLEAR GLASS
- 09 NEW DOOR IN EXISTING OPENING
COLOR: BLACK FRAME, CLEAR GLASS
- 10 NEW DOOR "STOREFRONT" IN NEW OPENING
COLOR: BLACK FRAME, CLEAR GLASS
- 11 NEW WINDOW IN EXISTING OPENING (WALL IS
MORE THAN 5' TO PROPERTY LINE)
COLOR: BLACK FRAME, CLEAR GLASS
- 12 NEW ALUMINUM LED LIGHT FINIAL
COLOR: SILVER
- 13 EXISTING BRICK
- 14 METAL COPING — MATCH BRICK COLOR
- 15 ALUMINUM ADDRESS / DIRECTORY SIGN
- 16 SUN LOUVER — ALUMINUM
COLOR: BLACK
- 17 REMOVE DOOR, PATCH TO MATCH EXISTING
WALL
- 18 NEW LIGHT BOLLARD
COLOR: BLACK
- 19 PAINT EXISTING CONCRETE BLOCK (COLOR "1")
- 20 RECESSED LED LIGHT FIXTURE
- 21 ALUMINUM BACK-LIT DIMENSIONAL LETTERS
BOTH SIDES

REVISIONS:
December 29, 2020
Based on City of Birmingham,
Community Development Department
Review Comments

EXTERIOR
ELEVATIONS -
PROPOSED

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
9' CANOPY	✖	2.0 fc	3.2 fc	1.1 fc	2.9:1	1.8:1	0.6:1
11' CANOPY	✖	1.4 fc	2.7 fc	0.1 fc	27.0:1	14.0:1	0.5:1
PL @ 6'	■	0.2 fc	0.3 fc	0.0 fc	N/A	N/A	0.7:1
WALKWAY	✖	1.1 fc	1.8 fc	0.3 fc	6.0:1	3.7:1	0.6:1

Schedule

Symbol	Label	QTY	Manufacturer	Description	Lamp	MH
	D	6	Focal Point	4.5" EXTERIOR RATED DOWNLIGHT	LED	9' AND 11' UNDER CANOPY
	B	3	Selux Corporation	4' BOLLARD	LED	4'

General Note

- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0", 6'-0" ABOVE GRADE AT PROPERTY LINE.
- LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.
- TYPE D DOWNLIGHTS ARE TO BE DIMMED TO 10% TO MAINTAIN FC LEVELS ILLUSTRATED.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

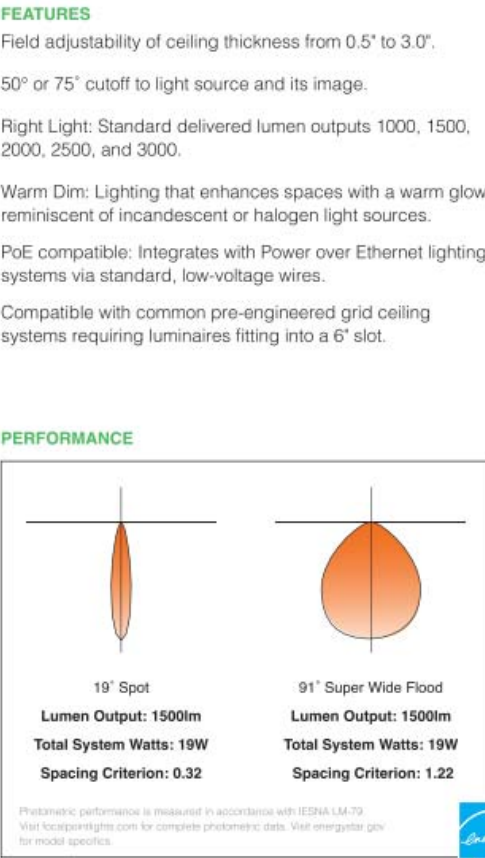
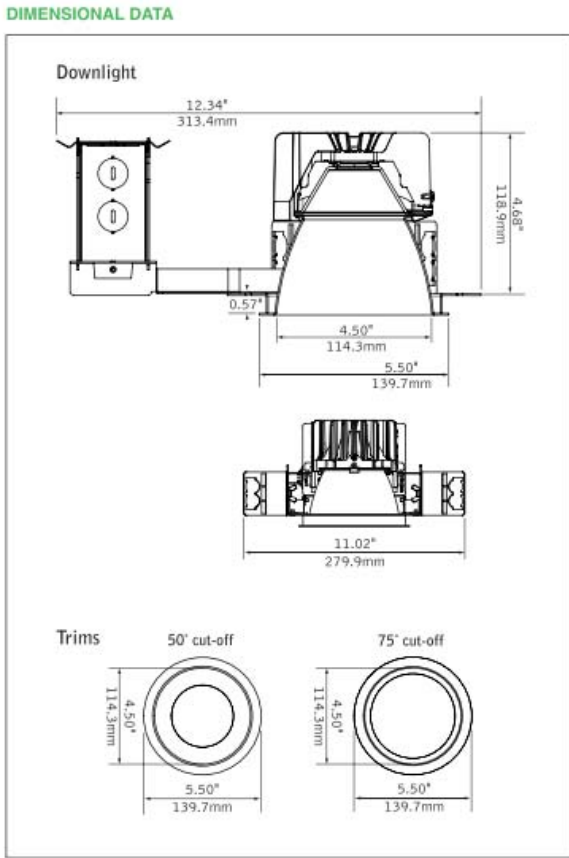
THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.



Date: _____ Customer: _____
Project: _____
Type: _____ Qty: _____

selux

Corral Bollard LED

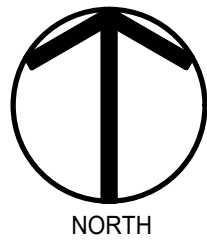


Order Code: CORL _____

CORL	Series	CORL Corral Bollard LED					
Height	2.5 2' 0"	3' 3'	3.5 3' 6"	4 4'			
Light Engine	1830	2830	3830	4830			
CCT	27 2700K	30 3000K	35 3500K	40 4000K	*Consult factory for other CCTs		
Finish	WH White	BK Black	BL Semi-Matte Black	BZ Bronze	SV Silver	SP Specify Premium Color	
Voltage	UNV* 120	120 120	208 208	240 240	277 277	347* 347 480* 480	
Options	DM Dimming (0-10V)	HL50* H1-Lit Switching	REC1* REC1* Recapable with weather proof cover	REC2* REC2* GFCI Recapable with photoelectric P-in cover	REC3* REC3* LED & Climate Recapable with weatherproof cover	REC4* REC4* LED & Climate Recapable with weatherproof photoelectric cover	
						*120V, 277V only * Requires step-down transformer * Not available with HLG * 120V, 240V, and 277V only * Only available in 3.5 ft and 4 ft heights, 500W * See page 6 for details	

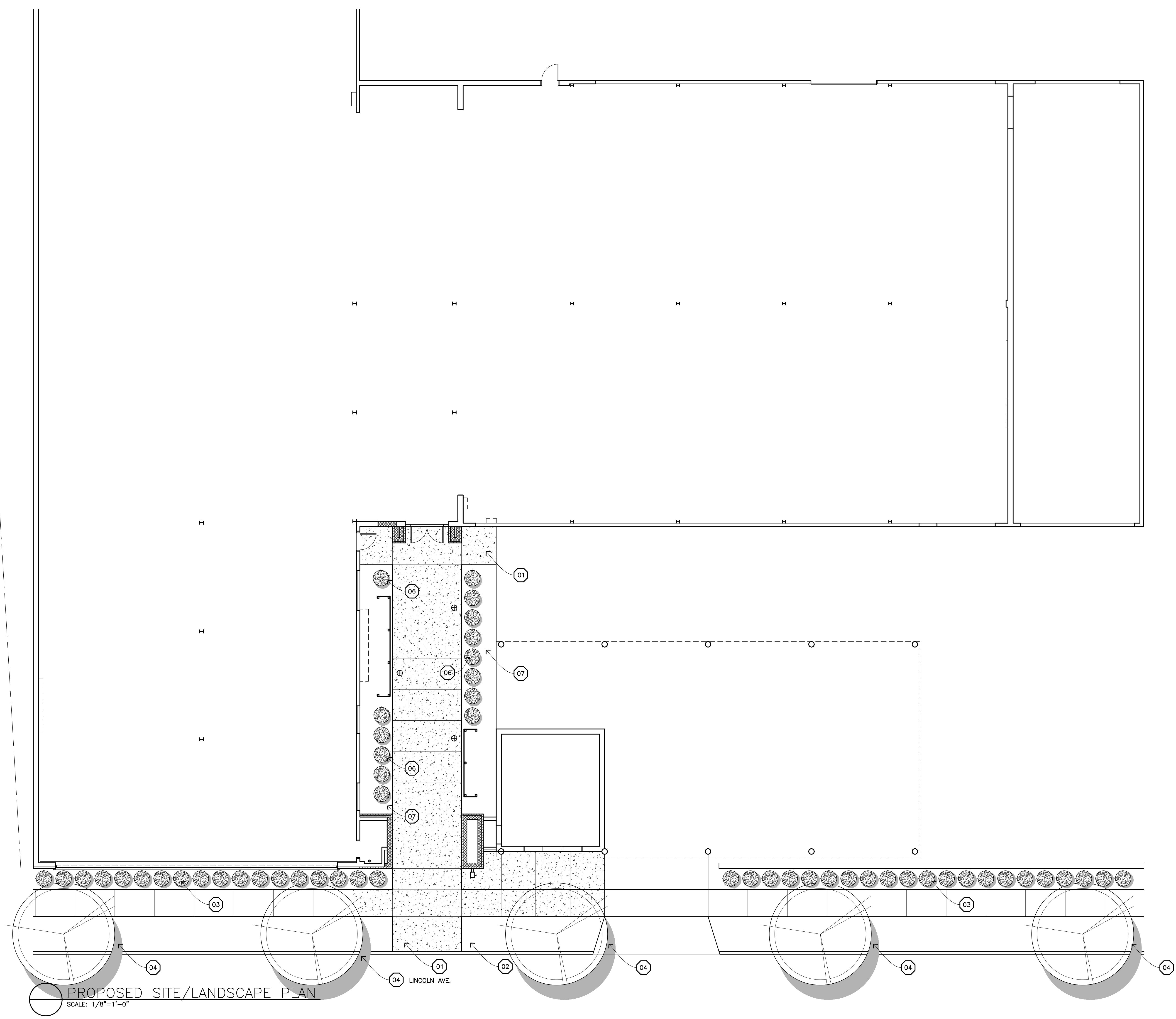
- 01 NEW CONCRETE
- 02 NEW SOD
- 03 EXISTING SCHRUBS
- 04 EXISTING TREES
- 05 NEW SCRUBS (2-COMBINED TOTAL)
MATCH EXISTING "BURNING BUSH"
- 06 NEW SCRUBS (14-COMBINED TOTAL)
ARBORVITAE, 6' HIGH (WITH IRRIGATION)
- 07 BLACK MULCH

REVISIONS:
December 29, 2020
Based on City of Birmingham,
Community Development Department
Review Comments



PROPOSED
SITE/LANDSCAPE
PLAN

Project:
**Lincoln
Commerce Center**
Building Improvements
2299 Lincoln
Birmingham, Michigan
Phase:
Birmingham Design Review
Date:
December 2, 2020
Sheet:



LCCenter

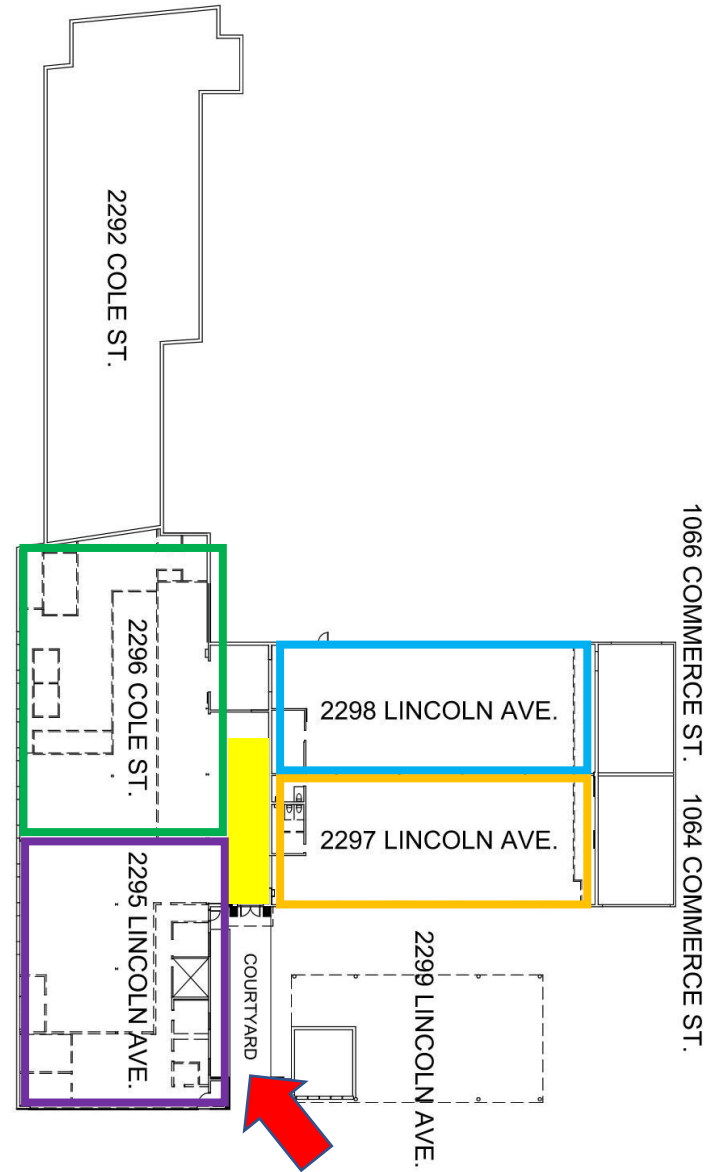
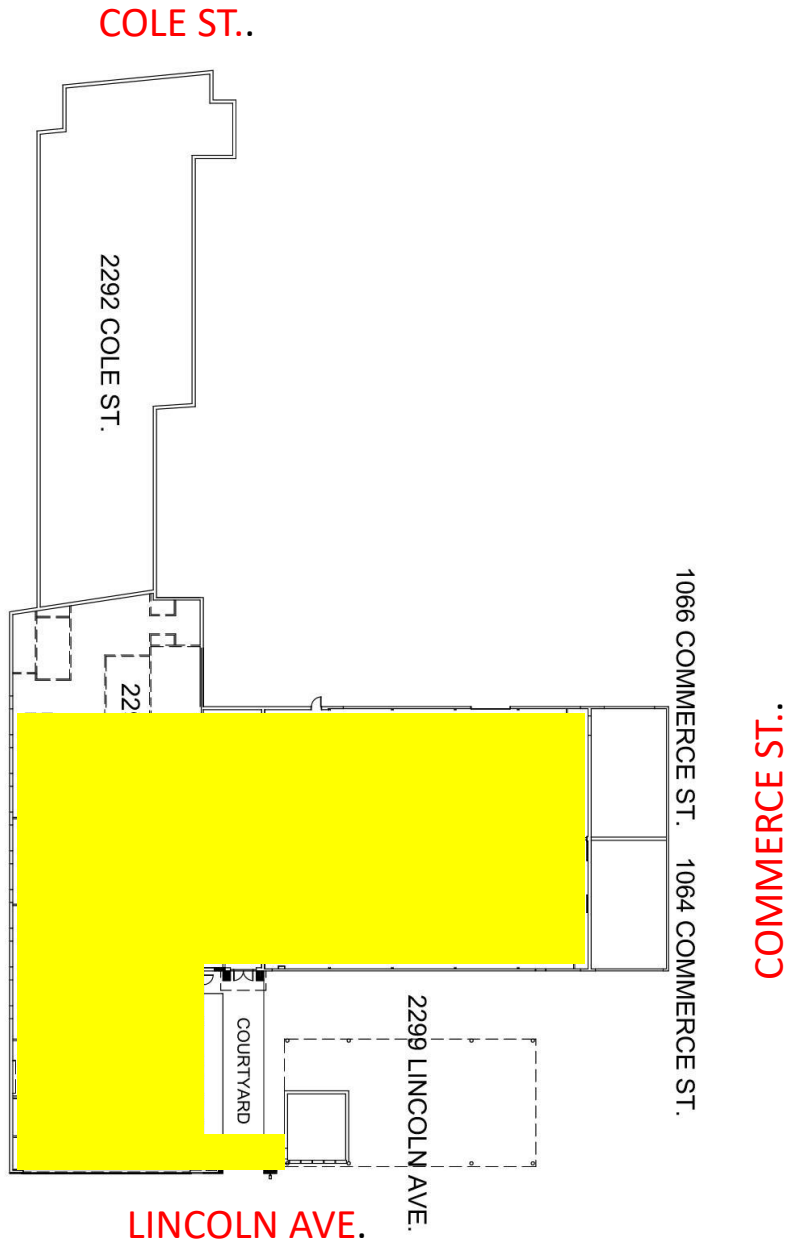
Lincoln Commerce Center, Birmingham, Michigan

Proposed Improvements:

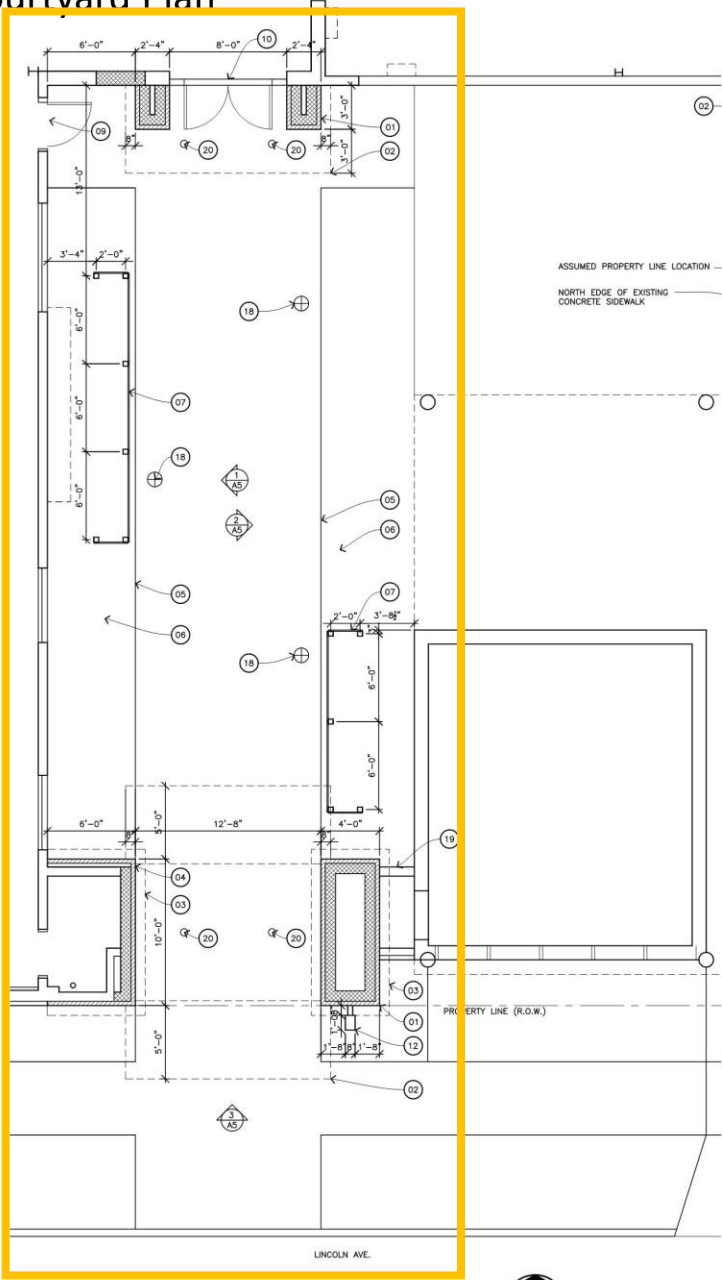
ENTRANCE GATEWAY & COURTYARD

REVISED: DECEMBER 29, 2020

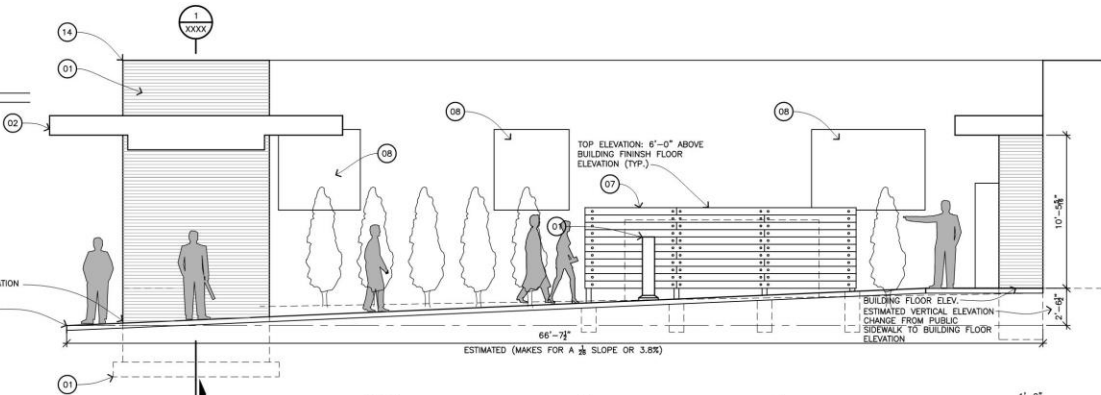
LCCenter Composite Plan



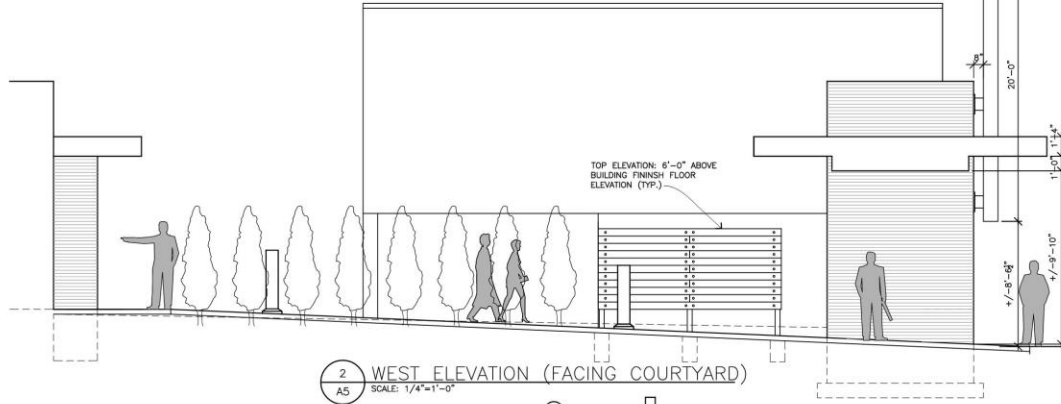
LCCenter Courtyard Plan



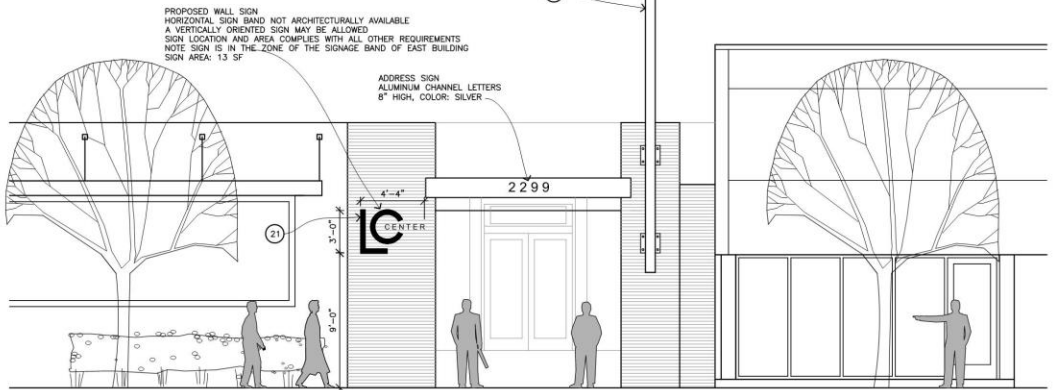
PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"



1 EAST ELEVATION (FACING COURTYARD)
SCALE: 1/4"=1'-0"



2 WEST ELEVATION (FACING COURTYARD)
SCALE: 1/4"=1'-0"



3 WEST ELEVATION (FACING LINCOLN AVE.)
SCALE: 1/4"=1'-0"

- 01 NEW BRICK PIER
- 02 NEW CANOPY - ALUMINUM
- 03 NEW FOUNDATION BELOW
- 04 MODIFY EXISTING BRICK WALLS
- 05 NEW CONCRETE SIDEWALK
- 06 NEW LANDSCAPED AREA
- 07 NEW SCREEN WALL, COMPOSITE WOOD, 1x8 BOARDS
- 08 NEW WINDOW IN EXISTING OPENING, COLOR: BLACK FRAME, CLEAR GLASS
- 09 NEW DOOR IN EXISTING OPENING, COLOR: BLACK FRAME, CLEAR GLASS
- 10 NEW DOOR "STOREFRONT" IN NEW OPENING
- 11 NEW WINDOW IN EXISTING OPENING (WALL IS MORE THAN 5' TO PROPERTY LINE AT THESE LOCATIONS)
- 12 NEW ALUMINUM LED LIGHT FINAL
- 13 EXISTING BRICK
- 14 METAL COPING - MATCH BRICK COLOR
- 15 ALUMINUM ADDRESS / DIRECTORY SIGN
- 16 SUN LOUVER - ALUMINUM
- 17 REMOVE DOOR, PATCH TO MATCH EXISTING WALL
- 18 NEW LIGHT BOLLARD
- 19 PAINT EXISTING CONCRETE BLOCK (COLOR "1")
- 20 RECESSED LED LIGHT FIXTURE
- 21 ALUMINUM BACK-LIT DIMENSIONAL LETTERS, COLOR: SILVER

COURTYARD PLAN/ELEVATIONS- ENLARGED

LCCenter Existing Conditions



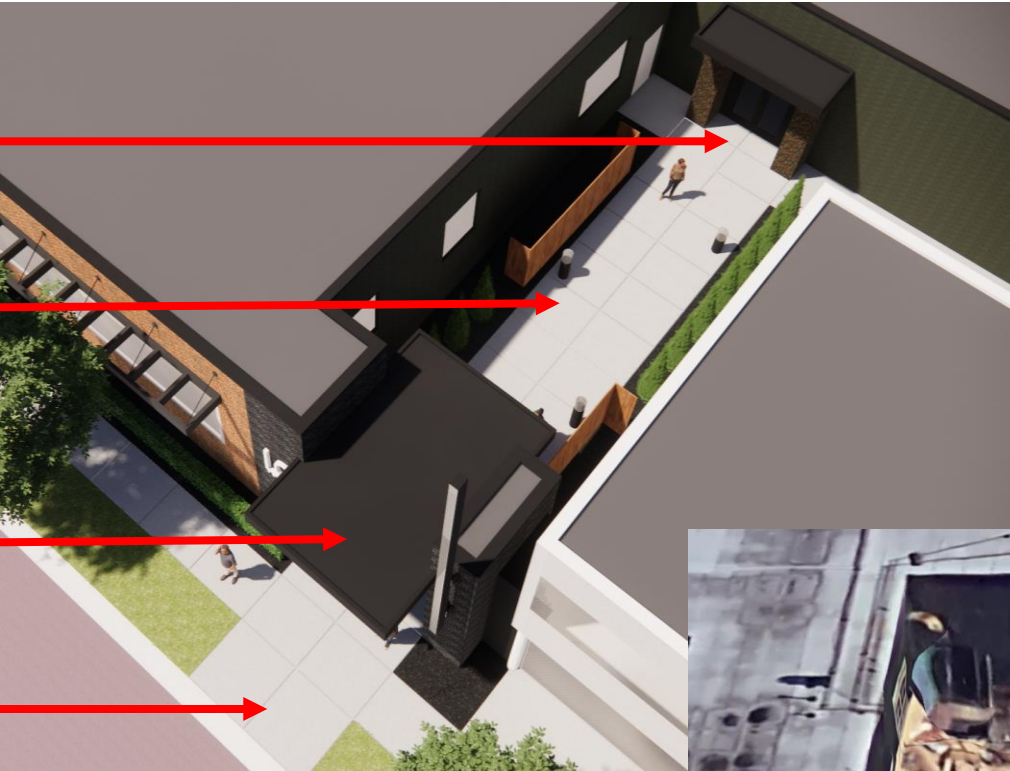
LCCenter Proposed Improvements - Courtyard

NEW COMMON
ENTRANCE

NEW
COURTYARD
Sidewalk, Screenwalls,
Lighting, Landscaping

NEW ENTRANCE
ARCHWAY

NEW ENTRANCE
PLAZA

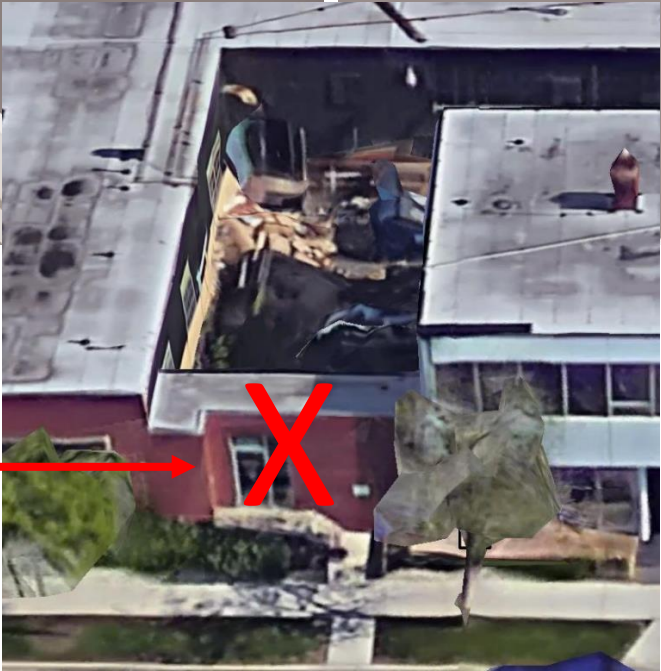


View From Above



View From Above

DEMO LINK



Existing Link / Courtyard

LCCenter View from Lincoln



Proposed



Existing

Example



LCCenter Proposed Courtyard



View of Entrance Arch From Lincoln Ave.



View of Courtyard looking toward Lincoln Ave.

LCCenter Proposed Materials



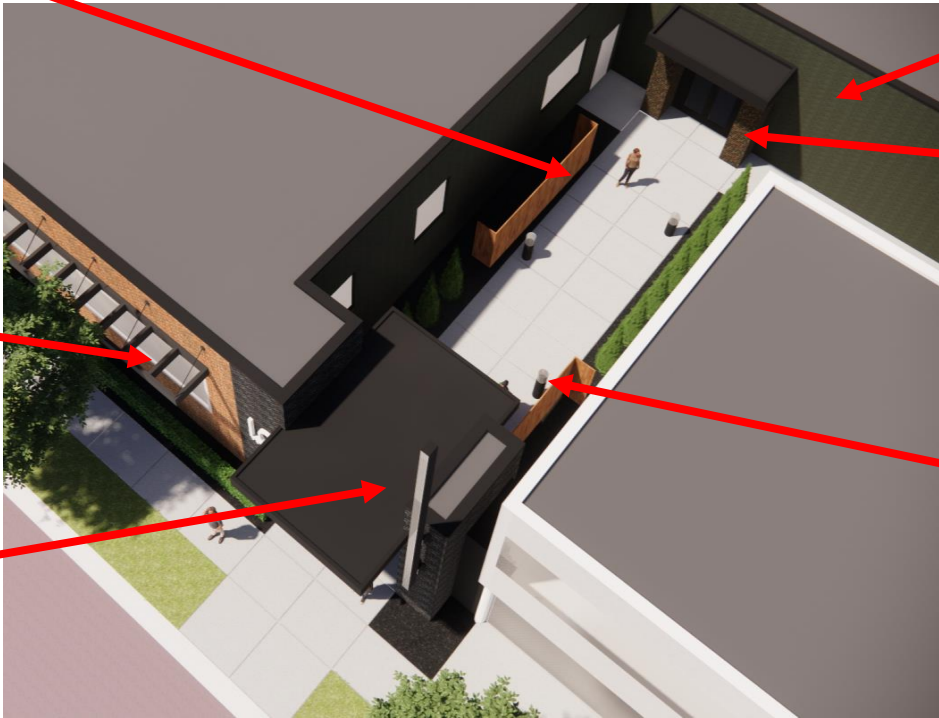
Sign
Aluminum channel letters with back-lighting



Screen Wall
Composite wood panels
TimberTech Reserve Collection, Antique Leather



Canopy
Metal, painted black



EXISTING BRICK

Brick (Type 1)
Glen-Gery, Black Beauty, Modular



EXISTING PAINT

Brick (Type 2)
Glen-Gery, Rockford, Modular

Light Bollard
Selux, Carral, Black



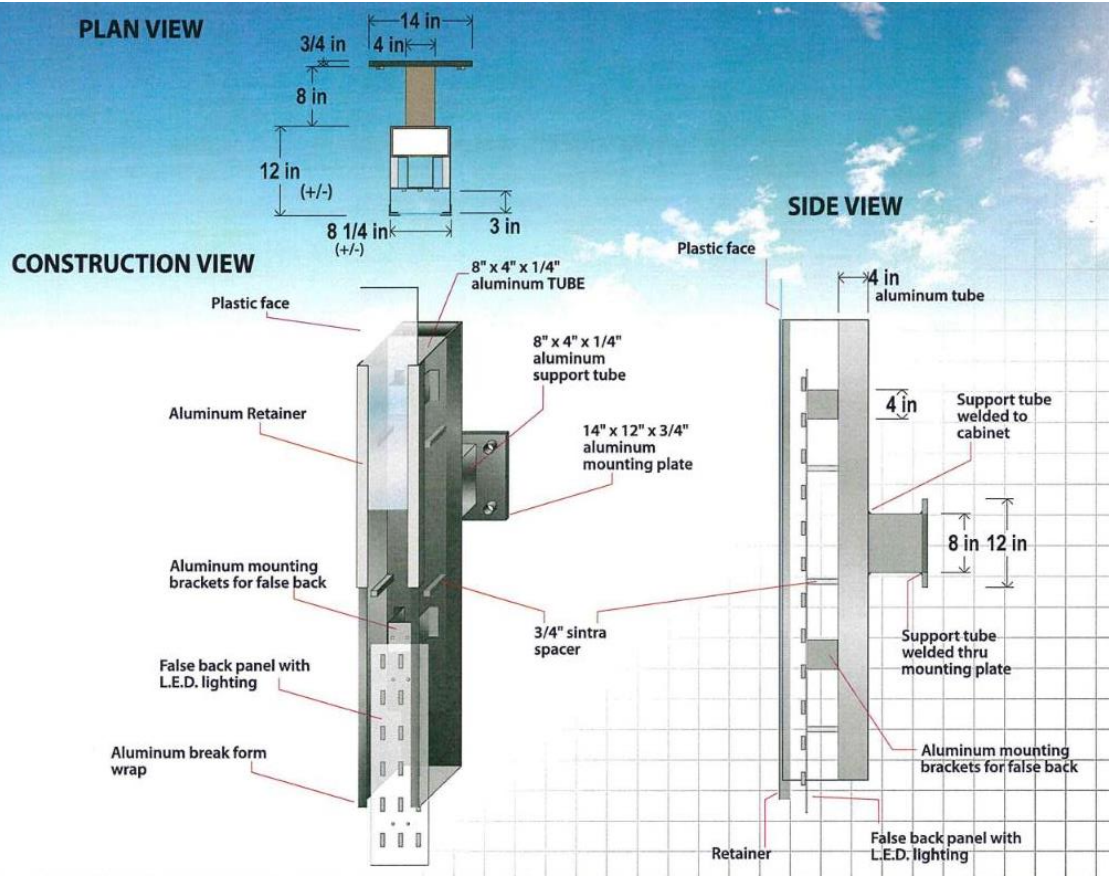
LCCenter Light Finial



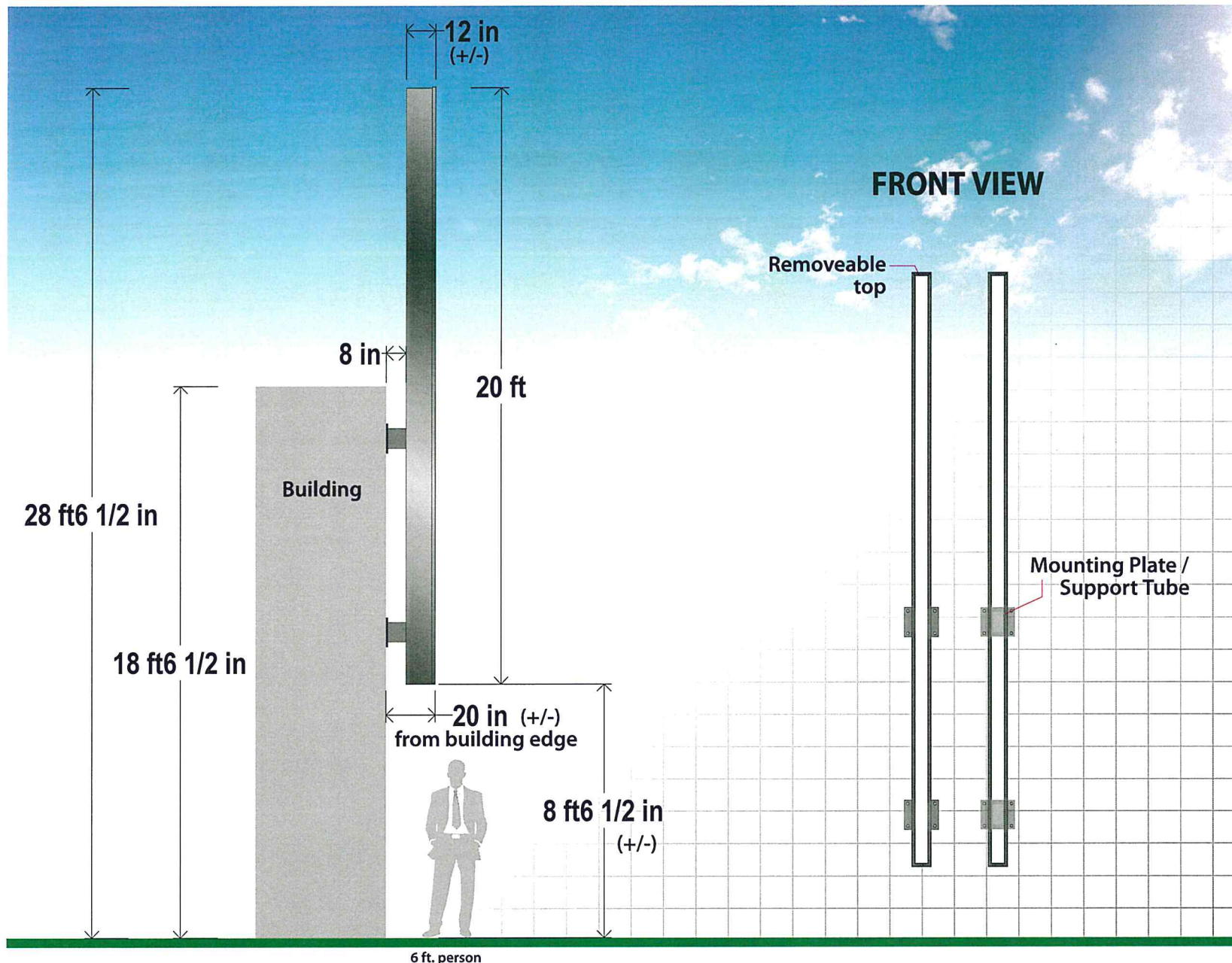
View of Entrance Arch From Lincoln Ave.



Example



SIDE VIEW



* Sizes based on Architectural Drawing. All Measurements to be field verified. Location of sign to be verified.

*PENDING ENGINEERS STRUCTURAL EXAMINATION -- SUBJECT TO CHANGE

Item #1

TOTAL SIGN AREA: 20 Sq. Ft.

Light Finial Accent
Qty: (1)

Lead #: 2011096

PROJECT: Lincoln Commerce Center
(Neumann Smith)

FILE: Lincoln Commerce Center

SITE ADDRESS: __ Birmingham, MI

LEAD: EP

LAYOUT: KP

Date:
12-4-2020

REVISION:

—

1

Designs, details and plans represented herein are the sole property of Phillips Sign & Lighting, Inc. All or any part of these designs (except registered trademarks) are protected. Attempts to duplicate designs without written consent may result in Legal Repercussions.

phillips SIGN & LIGHTING Inc.

PS&L

Ph: 586.468.7110

40920 Executive Drive
Harrison Twp., MI
48045-1363

visit us at: **phillipssign.com**

Approved: _____ Date: _____

Permit: ____ - ____

Item #1

TOTAL SIGN AREA: 20 Sq. Ft.

Light Finial Accent
Qty: (1)

Lead #: 2011096

PROJECT: Lincoln Commerce Center
(Neumann Smith)

FILE: Lincoln Commerce Center

SITE ADDRESS: __ Birmingham, MI

LEAD: EP

LAYOUT: KP

Date:
12-4-2020

REVISION:

—

- 1** Light Finial Accent:
Aluminum tube with
break form aluminum wrap &
removeable top section.
cabinet to have a (1 piece)
translucent plastic face and
internal L.E.D. lighting.
- Cabinet to have welded
support tubes and mounting
plates to secure to wall.

12-9-20

Designs, details and plans represented herein are
the sole property of Phillips Sign & Lighting, Inc.
All or any part of these designs (except registered trademarks)
are protected. Attempts to duplicate designs without
written consent may result in Legal Repercussions.

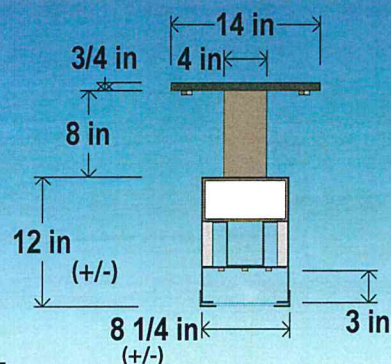
phillips SIGN & LIGHTING inc.

PS&L

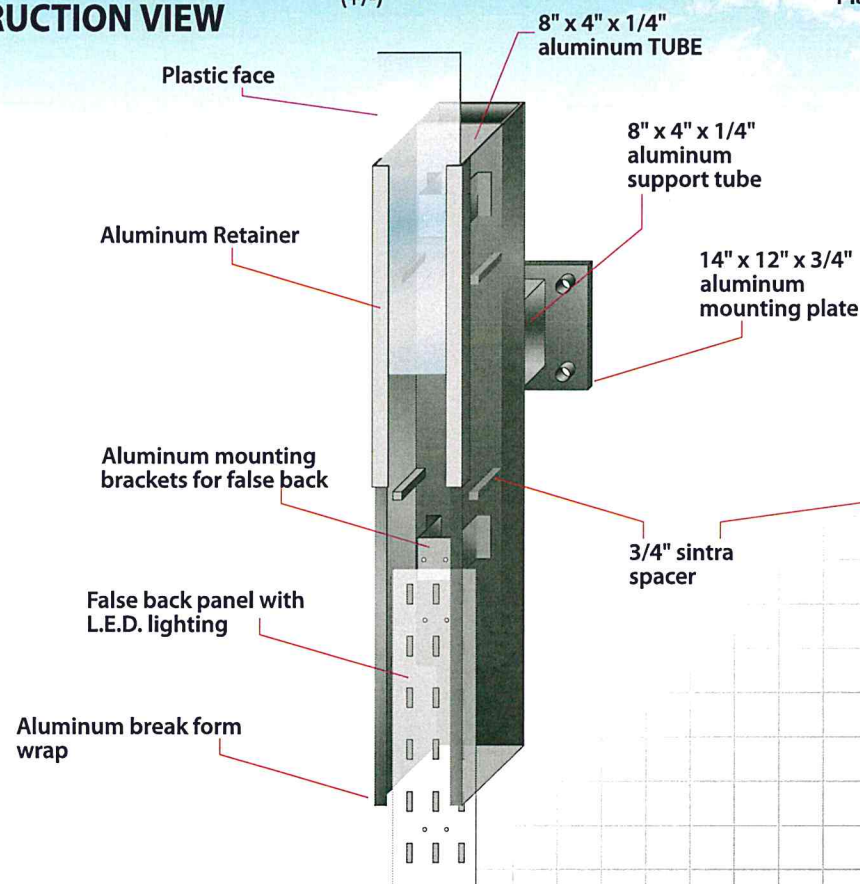
Ph: 586.468.7110

40920 Executive Drive
Harrison Twp., MI
48045-1363

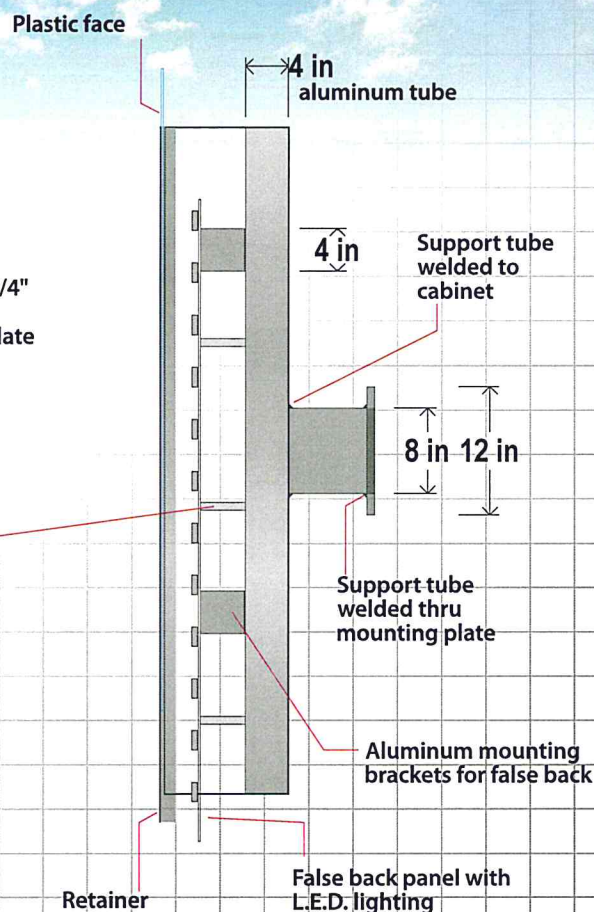
PLAN VIEW



CONSTRUCTION VIEW



SIDE VIEW



visit us at: **phillipssign.com**

Approved: _____ Date: _____

Permit: _____

phillips SIGN & LIGHTING INC.

40920 Executive Drive, Harrison Twp, MI 48045-1363

Phone: (586) 468-7110 Fax: (586) 468-7441 Visit us online at: www.phillipssign.com

Contract:

Neumann/Smith Architecture

2299 Lincoln Street, Birmingham, MI. 48009

phone: (248) 302-4018 - fax: (586) Email: Bkoseck@neumannsmith.com

contact: Bert Koseck

RE: 2299 Lincoln Street, Birmingham, MI. 48009

Item: #1

Light Accent Bar

consists of:

PS&L to fabricate (1) single faced internally illuminated light accent bar.

Bar to be about 20' tall x 8 1/4" wide x 12" deep.

Bar to consist of a 4" x 8" aluminum tube wrapped in aluminum with retainers.

Bar to have an acrylic polyurethane finish.

Bar to have a 3/16" white polycarbonate face.

Interior of bar to have a false back with sintra spacers.

Bar to be internally illuminated with White LEDs.

LEDs to be powered by high efficient energy saving electronic power supplies.

Bar to be mounted with (2) 8" x 4" aluminum tubes with baseplates painted to match.

Power supplies to be mounted inside of bar.

Bar to have a removable top.

PS&L to install @ site and verify location with client.

***Note:** Final electrical connection to be completed on a time and material basis.

Normal rates apply.

Price quoted assumes building is capable of having sign chemically anchored to wall.

Continued on next page.

Contract:
Continued from previous page.

	Item: #1				
	Light Accent				
permit cost:	per city				
sign cost:	12,348.22				
6% sales tax:					
installation:	2,307.50				
total:	14,655.72				
down payment:	7,327.86				
balance C.O.D.:	7,327.86				

• Price is subject to change after 90 days. X_____

(print)

acceptance:

date:

Ed Phillips

12-14-20

salesperson:

date:

Warranty (Materials & Labor) - 5 years on construction workmanship, 1 year on lighting & electrical components.

* Warranty excludes existing items, mdo signs, banners, acts of God and vandalism. Electrical UL listed.

EXTRAS - Sign Permit, Electrical Permit, and X_____ staff time fee (for permit procurement), as required.

- Client is responsible for landlord approval and final electrical hook-up. Installation based on normal conditions X_____
- Additional costs may be incurred if problems are encountered during excavation of footing (i.e., poor soil conditions, buried objects, sprinklers, etc.). PS&L assumes no responsibility for any sprinkler damage X_____.
- PS&L assumes no responsibility for damage to landscaping/grass due to install. X_____
- If clean art work is not provided, art work will be generated at a rate of **\$50.00** Per Hr. X_____
- Engineer sealed drawings, if required, to be provided at additional cost. X_____
- PS&L takes all precautionary steps to protect parking surfaces during installations. PS&L cannot be held liable for parking lot repairs if required. X_____
- Price quoted assumes reasonable access for installation and wiring of signage and components. X_____
- Installation quotations are estimates subject to verification of technical survey and confirmed access to signage. X_____
- No sign construction will begin prior to obtaining permits without written authorization of client. X_____
- Any additional required endorsements or changes to PS&L's current liability insurance certificate may be subject to additional costs. X_____
- Photographs and/or videos of signage may be used by PS&L for marketing purposes. X_____
- Credit Card orders over \$1,000.00 will be subject to a 3% fee. X_____
- Invoices over 30 days are subject to 2% finance charges. X_____









Nicholas Dupuis <ndupuis@bhamgov.org>

Lincoln Commerce Center - Revisions

1 message

Bert Koseck <BKoseck@neumannsmith.com>

Wed, Dec 30, 2020 at 12:07 PM

To: Nicholas Dupuis <ndupuis@bhamgov.org>

Cc: Donald Bailey <d Bailey268@aol.com>, "dkolar@kolarcommercialgroup.com" <dkolar@kolarcommercialgroup.com>

Nick,

Attached are revised drawings in response to your review of the original Design Review Board application. Modifications and clarifications are as follows:

BUILDING EXTERIOR

Colors now shown for the 4 missing elements (windows, door, sun louver, paint). Note the only anticipated paint is "touch up" of the existing concrete block walls as required to match existing "evergreen" color.

SIGNAGE

Only 2-types of signage are proposed:

Address Number -

Proposed on the front face of the main archway canopy

Wall Sign –

The intent of this project is to provide "frontage" and barrier-free access to the tenants that have no direct visibility from Lincoln. Although there is significant wall space and allowable signage area on the buildings to the east and west of the proposed gateway, we do not wish to bring attention to them and misdirect building patrons. The new wall sign must be associated and therefore positioned at the new brick arch. The design of this feature does not have a "signage band" by definition. In these circumstances, the zoning ordinance specifically states that the Design Review Board may allow "vertically oriented signs" as long as all other aspects of zoning requirements comply (height above grade, square foot area of the sign, etc.). Our interpretation of "vertically oriented" would be to place a sign on a vertical building element (pier or column) where no "horizontal" band above first floor windows exist. Note also that the two flanking building have different first floor window heights. The proposed design is placed within the allowable zone of the east building if that were extended into the area of the proposed arch. In conclusion, the proposed sign is appropriately placed and done with a scale a quality to meet the intent of the zoning ordinance.

LIGHTING

Light Finial

Details of the proposed light finial are now provided. This element is intended to be a signature feature for the building. From a zoning perspective, think of this as a large wall mount light sconce. It will have a shield at the top to crop light facing upward. The light affect is intended to be a soft accent (much like the Surnow Building at the southwest corner of Maple Road and Old Woodward). We chose to make this a "finial" in lieu of mounting it on the west face of the east building.

Right-of-Way Lighting

Type and number of canopy soffit light fixtures have been modified to comply with maximum allowable light output.

PLANNING AND ZONING

Landscaping in Public Right-of-Way

The only proposed improvements are in front of the proposed archway and adjacent entrance to the east building. New landscaping within this area has been modified to be grass area replacement only.

Special Treatment License










We would agree to obtain any required license to make modification/improvement in the public Right-of-Way.

In conclusion, please let the attached drawings, graphics, and the narrative of this email serve as the formal response regarding your review of the initial application for Lincoln Commerce Center.

Sincerely,

Bert H. Koseck AIA Architect

11 attachments

-  **AA7 LCC elevations - new REVISED-Layout1.pdf**
215K
-  **AA1 LCC site, zoning, specs-Layout1.pdf**
168K
-  **AA2 LCC floor plan - existing and demo-Layout1.pdf**
158K
-  **AA3 LCC floor plan - new-Layout1.pdf**
169K
-  **AA4 LCC roof plan - existing and new-Layout1.pdf**
109K
-  **AA5 LCC courtyard plan enlarged REVISED-Layout1.pdf**
248K
-  **AA6 LCC elevations - existing-Layout1.pdf**
174K
-  **LL1 LCC site hardscape and landscape-Layout1.pdf**
394K
-  **LCC Photometric Study #20-56422 V2.pdf**

257K



Light Finial.pdf

1586K



LCC Design Presentation 120220.pdf

2125K

AGENDA
VIRTUAL BIRMINGHAM DESIGN REVIEW BOARD MEETING
WEDNESDAY – January 20th, 2021
******* 7:15 PM*******

Link to Access Virtual Meeting: <https://zoom.us/j/91282479817>
Telephone Meeting Access: 877 853 5247 US Toll-free
Meeting ID Code: 912 8247 9817

- 1) Roll Call
- 2) **Approval of the DRB Minutes of January 6th, 2021**
- 3) Public Hearing
- 4) Design Review
 - A. **33202 Woodward – Piety Hill**
- 5) Sign Review
- 6) Study Session
- 7) Miscellaneous Business and Communication
 - A. Pre-Application Discussions
 - B. Draft Agenda
 1. **February 3rd, 2021**
 - C. Staff Reports
 1. **Administrative Sign Approvals**
 2. **Administrative Approvals**
 3. **Action List 2021**
- 8) Adjournment

Notice: Individuals requiring accommodations, such as interpreter services for effective participation in this meeting should contact the City Clerk's Office at [\(248\) 530-1880](tel:2485301880) at least one day in advance of the public meeting.

Las personas que requieren alojamiento, tales como servicios de interpretación, la participación efectiva en esta reunión deben ponerse en contacto con la Oficina del Secretario Municipal al [\(248\) 530-1880](tel:2485301880) por lo menos el día antes de la reunión pública. (Title VI of the Civil Rights Act of 1964).

A PERSON DESIGNATED WITH THE AUTHORITY TO MAKE DECISIONS MUST BE PRESENT AT THE MEETING.



City of Birmingham
A Walkable Community

APPROVED

12/29/2020

PAA-20-0119

Administrative Sign Approval Application Planning Division

Form will not be processed until it is completely filled out

1. Applicant

Name: Metro Detroit Signs
Address: 11444 Kattz Ave
Warren, MI 48089
Phone Number: 586-759-2700
Fax Number: 586-759-2703
Email: kdeters@metrodetroitsigns.com

Property Owner

Name: John Reinhart
Address: Munwood Blairfield
MI
Phone Number: 313-919-3313
Fax Number: _____
Email: JSReinhart@gmail.com

2. Applicant's Attorney/Contact Person

Name: same as applicant
Address: _____
Phone Number: _____
Fax Number: _____
Email: _____

Project Designer

Name: same as applicant
Address: _____
Phone Number: _____
Fax Number: _____
Email: _____

3. Project Information

Address/Location of Property: 555 S Old Woodward Ave, ste 21U
Name of Development: Main Street Design Build
Parcel ID #: _____
Current Use: 4 Seasons Golf (changing to Main Street Design Build)
Area in Acres: _____
Current Zoning: _____

Name of Historic District site is in, if any: N/A
Date of HDC Approval, if any: _____
Date of Application for Preliminary Site Plan: _____
Date of Preliminary Site Plan Approval: _____
Date of Application for Final Site Plan: _____
Date of Final Site Plan Approval: _____
Date of Revised Final Site Plan Approval: _____

4. Attachments

- Two (2) folded paper copies of plans
- Authorization from Owner(s) (if applicant is not owner)
- Material Samples
- Digital Copy of plans

5. Details of the Request for Administrative Approval

Install a 23" x 188" (30 sq foot) wall sign for Main Street Design Build

6. Location of Proposed Signs

Front elevation _____

7. Type of Sign(s)

Wall: Yes
Ground: _____
Projecting: _____

Canopy: _____
Building Name: _____
Post-mounted Projecting: _____



CITY OF BIRMINGHAM
Date 12/29/2020 12:09:42 PM
Ref 00175535
Receipt 558134
Amount \$100.00

8. If a wall sign, indicate wall to be used:

Front: Yes

Left side: _____

Rear: _____

Right side: _____

9. Size of Sign

Width: 188 inches

Depth: 12 inches

Height of lettering: 18.5 inches

Height: 23 inches

Total square feet: 30

10. Existing signs currently located on property

Number: 1 - 4 Seasons Golf wall sign to be replaced

Square feet per sign: 30

Type(s): Wall sign

Total square feet: 30

11. Materials/Style

Metal: Aluminum letter returns & raceway

Plastic: Plex letter faces

Color 1 (including PMS color #): Black

Additional colors (including PMS color #): _____

Wood: none

Glass: none

Color 2 (including PMS color #): White

12. Sign(s) Read(s): Main Street Design Build

13. Sign Lighting

Type of lighting proposed: LED internal illumination

Size of light fixtures (LxWxH): _____

Number proposed: _____

Height from grade: 12'-8.5"

Maximum wattage per fixture: _____

Location: Front elevation wall sign

Proposed wattage per fixture: _____


Style (include specifications): Internally illuminated channel letters

14. Landscaping (Ground signs only) N/A

Location of landscape areas: _____

Proposed landscape material: _____

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: 

Date: 12/18/20

Application #: PAA20-0119

Date Received: 12/29/2020

Fee: \$100.00

Date of Approval: 12/29/2020

Date of Denial: N/A

Reviewed by: 



CONSENT OF PROPERTY OWNER

1. John S Reinhart OF THE STATE OF MI AND COUNTY OF
(Name of property owner)

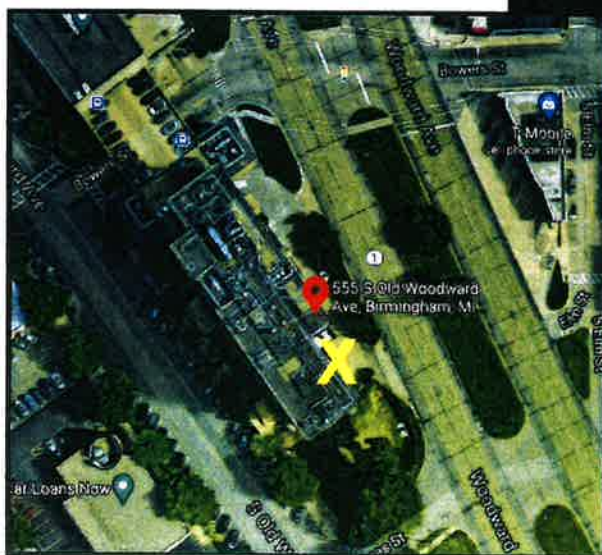
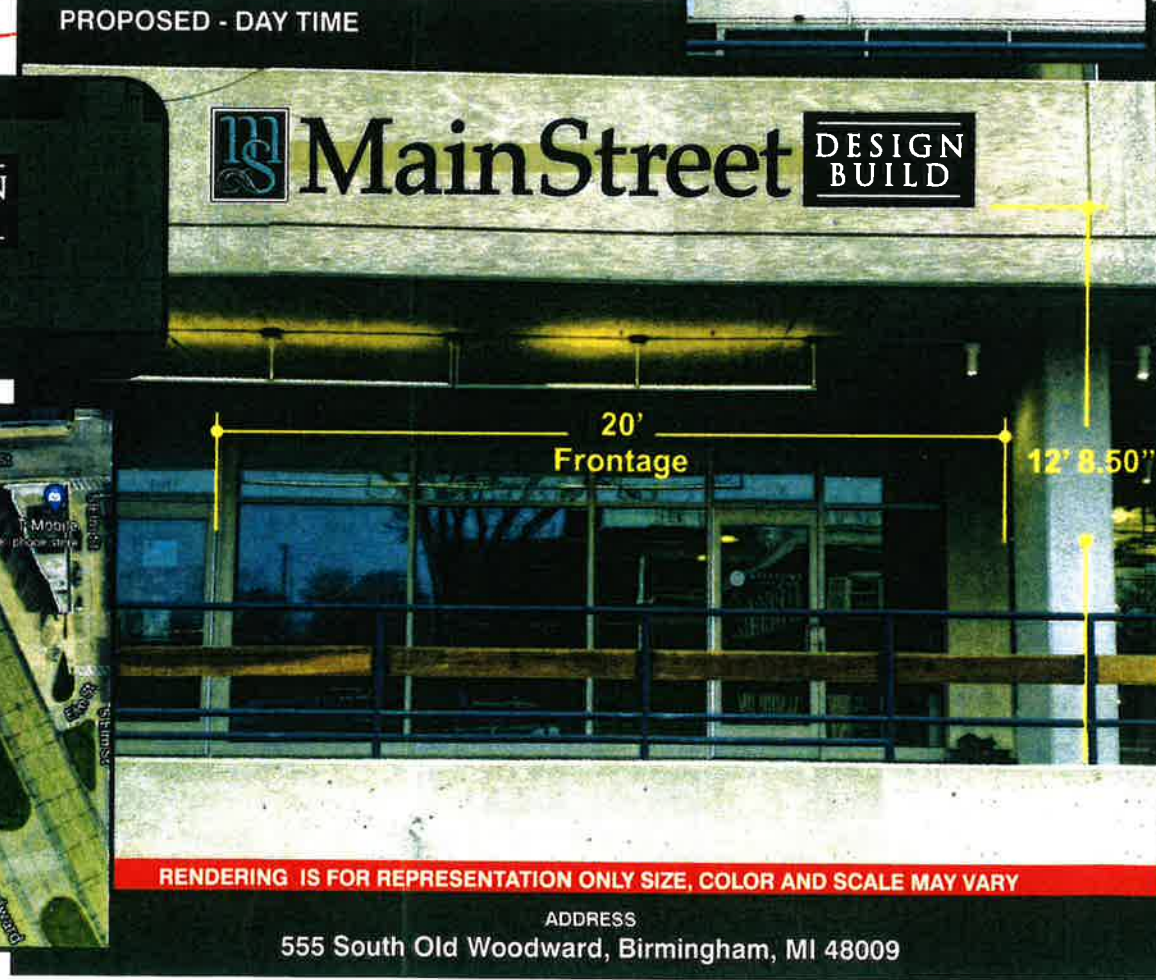
OAKLAND STATE THE FOLLOWING:

1. That I am the owner of real estate located at 555 S Old Woodward Ave, ste 21U;
(Address of affected property)
2. That I have read and examined the Application for Administrative Approval made to the City of Birmingham by:
Metro Detroit Signs;
(Name of applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

Dated: 12-21-20

JOHN S. REINHART
Owner's Name (Please Print)

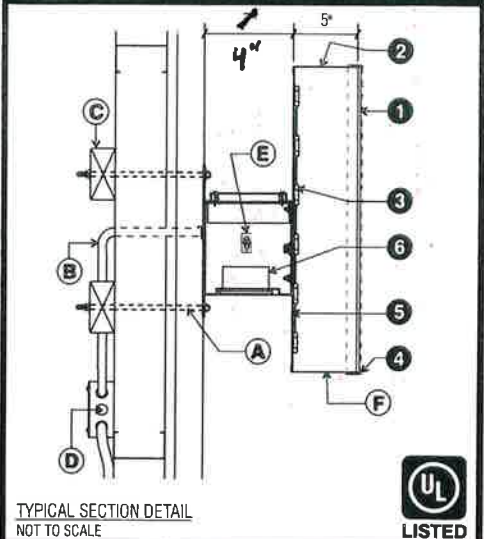
[Signature]
Owner's Signature



RENDERING IS FOR REPRESENTATION ONLY SIZE, COLOR AND SCALE MAY VARY


SIGN DIMENSIONS
23"x188" Overall - 30 Sq. Ft.

CHANNEL LETTERS ON RACEWAY



I N S T A L L

- A. Non-Corrosive Securement Using Appropriate Mounting Hardware
- B. 1/2" Flexible Conduit Whip to 120v Power
- C. Blocking as Required per Location
- D. 20 amp 120v Circuits Required (supplied by others)
- E. Disconnect Switch Provided @ Left End of Raceway
- F. 1/4" Weep Holes as Required

MOUNTING HARDWARE CHART		MASONRY	WOOD	METAL
3/8" BOLTS THRU WALL				
3/8" LAGS W/ SHIELDS				
3/8" LAG BOLTS				
3/8" TOGGLE BOLTS				
1 FACE: MATERIAL: Plexiglass 2447 COLOR: WHITE VINYL GRAPHICS: to Match PMS# 5493 Translucent Black Perforated Day/Night		2 RETURNS: MATERIAL: 5" DEEP ALUM. COLOR: Black		
3 ILLUMINATION: MATERIAL: LED COLOR: White		4 TRIMCAP: MATERIAL: JEWELITE TRIMCAP COLOR: Black		
5 BACKS: MATERIAL: XXX		6 ELECTRICAL: POWER SUPPLIES INSIDE CABINET 20 AMP CIRCUIT(S) REQUIRED @ 120 V		
RACEWAY COLOR: To Match Building				



Sales Person: MaryAnn Deters

Drawn By: Connie Fotiu

Date: 11/30/2020

File Name: Main Street Design.cdr
Channel Letters Pg 1

Revision: 12/21/2020 #2

This drawing and design layout is the property of Metro Detroit Signs. The use of which in part or in whole is not permitted without prior written consent from Metro Detroit Signs. All rights reserved. Copyright 2018

Customer Signature _____

Date _____

Work Order#: XXX



11444 Kaltz Ave
Warren, MI 48089
Phone: 586-759-2700
Fax: 586-759-2703



Administrative Sign Approval Application Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: Allied Signs, Inc.
Address: 33650 Giftos, Clinton Twp. MI 48035

Phone Number: 586-791-7900
Fax Number: 586-791-7788
Email Address: Kim@alliedsignsinc.com

2. Property Owner

Name: Hormoz Alizadeh LLC/Azar Alizadeh LLC
Address: 1416 Inwoods Circle, Bloomfield Hills, MI 48302

Phone Number: _____
Fax Number: _____
Email Address: _____

3. Applicant's Attorney/Contact Person

Name: _____
Address: _____

Phone Number: _____
Fax Number: _____
Email Address: _____

4. Project Designer/Developer

Name: Ezzi Signs
Address: 16611 West Little York Rd., Houston, TX 77084

Phone Number: 713-820-3441
Fax Number: _____
Email Address: hussain@ezzisigns.com

5. Project Information

Address/Location of Property: 670 S. Old Woodward

Name of Development: Vibe Salon Suites
Parcel ID#: 08-19-36-253-035
Current Use: _____
Area in Acres: .396
Current Zoning: BI

Name of Historic District if any: _____
Date of HDC Approval, if any: _____
Date of Application for Preliminary Site Plan: _____
Date of Preliminary Site Plan Approval: _____
Date of Application for Final Site Plan: _____
Date of Final Site Plan Approval: _____
Date of Revised Final Site Plan Approval: _____

6. Required Attachments

- Two (2) folded paper copies of plans including details of the following:
 - Dimensions of proposed sign(s)
 - Dimensions of building frontage
 - Illumination
 - Height from grade
- Location of proposed sign(s)
- Colors and materials
- Authorization from Property Owner(s) (if applicant is not the owner)
- Material Samples
- Digital Copy of Plans

7. Details of the Request for Administrative Approval

Install (1) Vibe Salon Suites illuminated wall sign

8. Location of Proposed Sign(s)

Storefront

9. Type of Proposed Sign(s)

Wall: ☒
Ground: _____
Name Letter: _____
Canopy: _____

Projecting (Post-Mounted): _____
Projecting (Wall-Mounted): _____
Building Identification: _____
Other: _____

CITY OF BIRMINGHAM
12/29/2020 8:45:01 AM
Ref: 00175104
Receipt: 55851
Amount: \$100.00

10. Size of Proposed Sign

Width: 170"

Depth: 5"

Height of Lettering: 26" and 10"

Overall Height: 48"

Extension from Wall: 5"

Total Square Feet: 56.66

11. Existing Signs Currently on Property

Number: _____

Square Feet per Sign: _____

Sign Type(s): _____

Total Square Feet: _____

12. Materials/Style of Proposed Sign(s)

Metal: X

Plastic: X

Wood: _____

Glass: _____

Other: _____

Color #1: White

Color #2: Silver

Additional Colors: _____

13. Content of Proposed Sign(s)**14. Proposed Sign Lighting**

Type of Lighting: LED

Size of Fixtures (LxWxH): _____

Maximum Wattage per Fixture: _____

Proposed Wattage per Fixture: _____

Location: Internal

Number of Lights Proposed: _____

Height from Grade: _____

Lighting Style: _____

15. Landscaping (Ground Signs Only)

Location of Landscape Areas: _____

Proposed Landscape Material: _____

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: Kim Allard

Digitally signed by Kim Allard
Date: 2020.12.08 09:34:38 -05:00

Date: 12/1/2020

Office Use Only

Application # PAA20-0114

Date Received: 12/8/2020

Fee: \$100.00

Date of Approval: _____

Date of Denial: N/A

Reviewed By: _____



CONSENT OF PROPERTY OWNER

I, HORMOZ SAZAR ALIZADEH, OF THE STATE OF Michigan AND COUNTY OF
(Name of property owner)

Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 670 S. Old Woodward, Birmingham, MI 48009 ;
(Address of affected property)
2. That I have read and examined the Application for Administrative Approval made to the City of Birmingham by:
Allied Signs, Inc. ;
(Name of applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

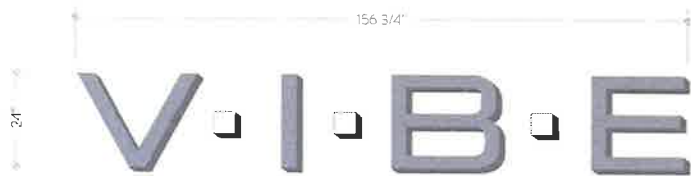
Dated: 12/3/2020

Owner's Name (Please Print)

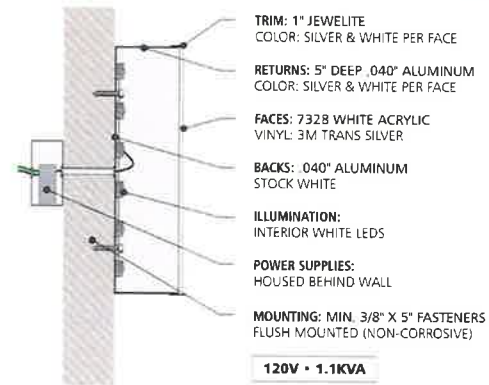
AZAR M. ALIZADEH

Owner's Signature

HORMOZ ALIZADEH
[Signature] Azar M. Alizadeh



DESIGN
SCALE: 3/8" = 1' - 0"



FACE LIT CHANNEL LETTERS - TYPICAL DETAIL
SCALE: NTS

Please Verify Dimensions



QTY: 1



16611 West Little York Rd
Houston, Texas 77084
EZZISIGNS.COM
713-232-0071

PROJECT:
VIBE SALON SUITES

ADDRESS:
670 S. OLD WOODWARD
BIRMINGHAM AL 35209

DATE: 10/26/2020

PROJECT NUMBER:
ES0555

DESIGNER:
RAMON

REVISIONS
R1: 12/18/2020
DESIGN UPDATE
R2: 12/27/2020
DESIGN UPDATE
R3: 08/08/2020
DESIGN UPDATE

APPROVALS / DATE

CLIENT:

LANDLORD:



Ⓢ Installation requirements: This sign is to be installed in accordance with the requirements of article 600 of the national electric code and other applicable local codes. This includes proper grounding and bonding of the sign.

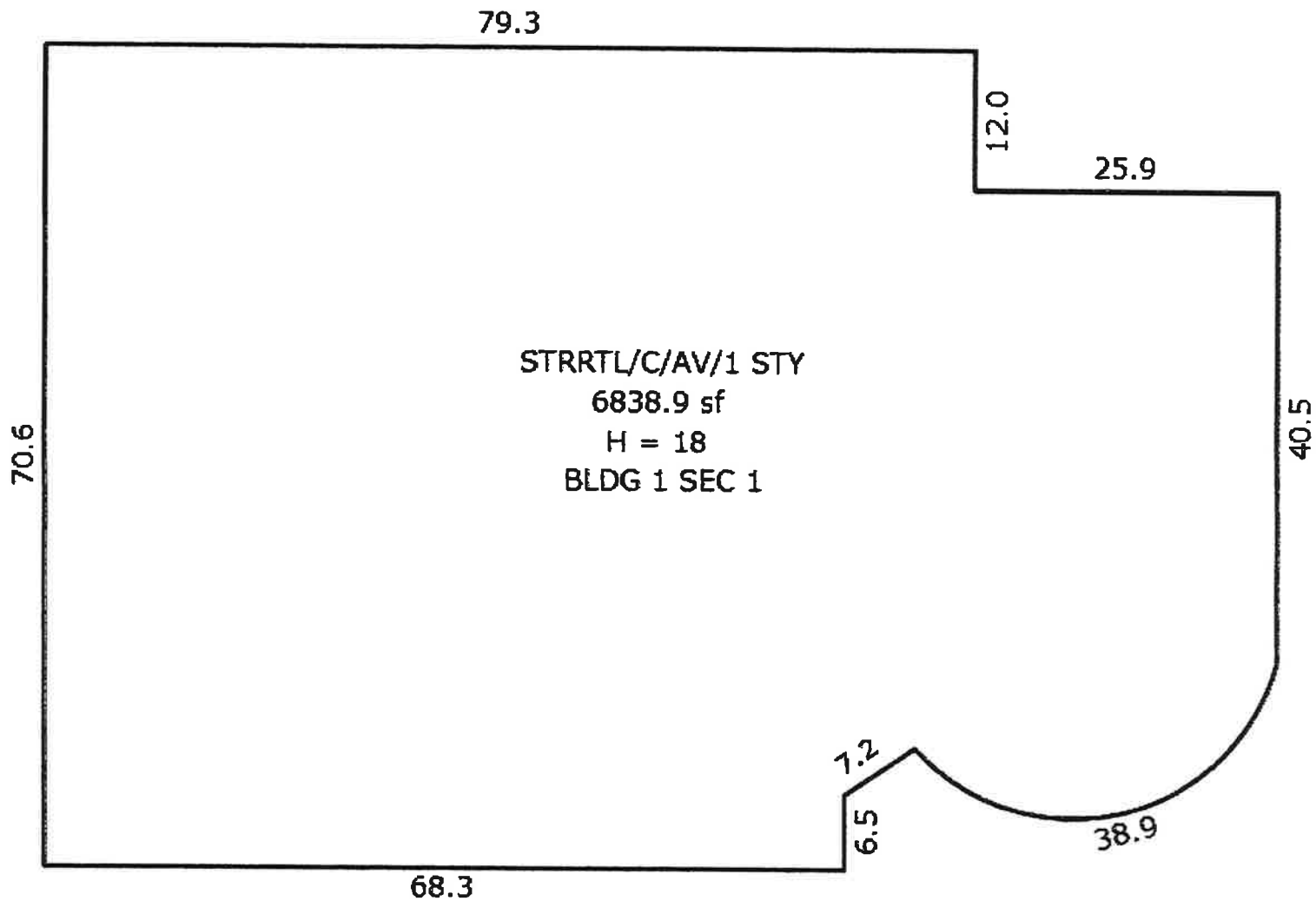
All conceptual renderings are property of Ezzi Signs. Any reproduction, exhibition or use of this drawing is strictly prohibited. ©2020. All rights reserved.



UPDATED ELEVATION
SCALE: 1/8" = 1' - 0"

APPROVED
12/29/2020
RAMON - 0114

Image/Sketch for Parcel: 08-19-36-253-035



****Disclaimer:** BS&A Software provides BS&A Online as a way for municipalities to display information online and is not responsible for the content or accuracy of the data herein. This data is provided for reference only and WITHOUT WARRANTY of any kind, expressed or inferred. Please contact your local municipality if you believe there are errors in the data.

ALLIED SIGNS INC.

December 8, 2020



City of Birmingham
Attn: Planning Department
151 Martin
P.O. Box 3001
Birmingham, MI 48009

RE: Vibe Salon Suites, 670 S. Old Woodward

Hi Ladies!

Enclosed you will find (1) sign permit application with (2) sets of drawings, (1) electrical permit application and (1) check in the amount of \$500.00 for the above mentioned location. *Please note: The administrative application was emailed to Nick Dupuis. I've included the fee for that with this check. The fee breakdown is as follows:

Administrative application fee:	\$100.00
Bond:	\$200.00
Sign permit fee:	\$100.00
Electrical:	<u>\$100.00</u>
Total:	\$500.00

Once the location is approved, please forward the permits to our office.

If you have any questions or require any additional information, please let me know. Thank you and have a wonderful day!

Sincerely,

Kim Allard
kim@alliedsignsinc.com

Enclosures Check # 39919

33650 GIFTOS DRIVE
CLINTON TOWNSHIP, MICHIGAN 48035
www.alliedsignsinc.com

(586) 791-7900
FAX (586) 791-7788

Administrative Sign Approval Application

Planning Division

Form will not be processed until it is completely filled out

1. Applicant

Name: Metro Detroit Signs
Address: 11444 Kaitz Ave
Warren, MI 48089
Phone Number: 586-759-2700
Fax Number: 586-759-2703
Email: kdeters@metrodetroitsigns.com

Property Owner

Name: Suburban Investors, LLC
Address: 6737 N. Greenwood Ave. 3 South
Chicago, IL 60626
Phone Number: (773) 603-3989
Fax Number: N/A
Email: judutch@gmail.com

2. Applicant's Attorney/Contact Person

Name: same as applicant
Address: _____
Phone Number: _____
Fax Number: _____
Email: _____

Project Designer

Name: same as applicant
Address: _____
Phone Number: _____
Fax Number: _____
Email: _____

3. Project Information

Address/Location of Property: 1740 W Maple Rd
Name of Development: Holiday Market Select
Parcel ID #: _____
Current Use: Holiday Market Select
Area in Acres: _____
Current Zoning: _____

Name of Historic District site is in, if any: _____
Date of HDC Approval, if any: _____
Date of Application for Preliminary Site Plan: _____
Date of Preliminary Site Plan Approval: _____
Date of Application for Final Site Plan: _____
Date of Final Site Plan Approval: _____
Date of Revised Final Site Plan Approval: _____

4. Attachments

- Two (2) folded paper copies of plans
- Authorization from Owner(s) (if applicant is not owner)
- Material Samples
- Digital Copy of plans

5. Details of the Request for Administrative Approval

Replace black "Select" letters on two existing wall signs with 0.375" white acrylic letters on a 1" deep purple backer panel.
Front (south) elevation "Select" panel is 9" x 56" = 3.5 sq feet. Rear (north) elevation "Select" panel is 8" x 48" = 2.66 sq feet

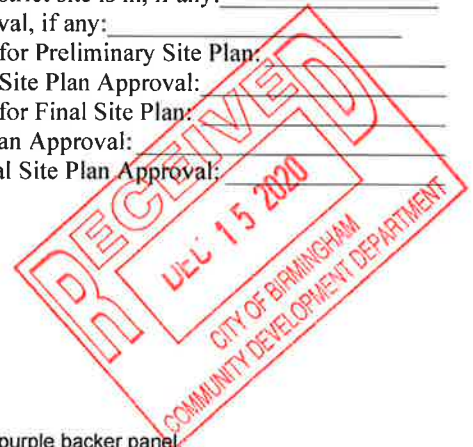
6. Location of Proposed Signs

One on the front & one on the rear elevation

7. Type of Sign(s)

Wall: Yes
Ground: _____
Projecting: _____

Canopy: _____
Building Name: _____
Post-mounted Projecting: _____



8. If a wall sign, indicate wall to be used:

Front: Yes

Left side:

Rear: Yes

Right side:

9. Size of Sign

Width: front = 56" / rear = 48"

Depth: 1.375 inches (both signs)

Height of lettering: Front = 5" / Rear = 4.62"

Height: Front sign = 9" / Rear sign = 8"

Total square feet: Front sign = 3.5 sq ft / rear sign = 2.66 sq ft

10. Existing signs currently located on property

Number: Two

Square feet per sign: Front = 18.8 sq ft / Rear = 3.2 sq ft

Type(s): Wall signs

Total square feet: 22 sq feet total (two existing wall signs)

11. Materials/Style

Metal: Aluminum backer panel

Plastic: Acrylic letters

Color 1 (including PMS color #): Purple

Additional colors (including PMS color #):

Wood:

Glass:

Color 2 (including PMS color #) White

12. Sign(s) Read(s): Select

13. Sign Lighting N/A

Type of lighting proposed:

Size of light fixtures (LxWxH):

Maximum wattage per fixture:

Location:

Number proposed:

Height from grade:

Proposed wattage per fixture:

Style (include specifications):

14. Landscaping (Ground signs only) N/A

Location of landscape areas:

Proposed landscape material:

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant:

Ben Deter

Date: 12/4/20

Application #: PA920-0117

Office Use Only

Date Received:

12/15/2020

Fee:

\$100.00

Date of Approval:

Date of Denial:

N/A

Reviewed by:



CONSENT OF PROPERTY OWNER

1. James Van Boven OF THE STATE OF Michigan AND COUNTY OF

(Name of property owner)

Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 1740 W Maple Rd;
(Address of affected property)
2. That I have read and examined the Application for Administrative Approval made to the City of Birmingham by:
Metro Detroit Signs;
(Name of applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

Dated: 12/7/20

James Van Boven
Owner's Name (Please Print)

James Van Boven
Owner's Signature

APPROVED

12/31/2020

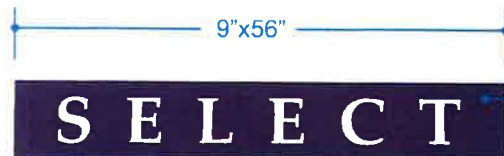
PAASO-017

RECEIVED
CITY OF BIRMINGHAM
COMMUNITY DEVELOPMENT DEPARTMENT
DEC 15 2020
UL LISTED

SIGN DIMENSIONS

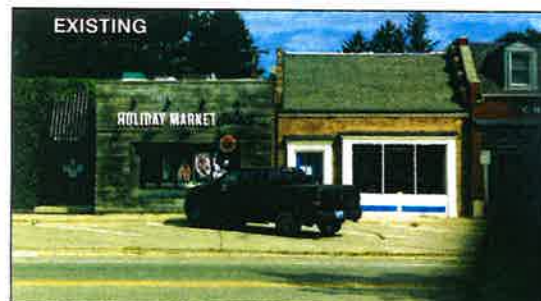
20"x136" Overall - 18.88 Sq. Ft.
9"x56" Overall - Sq. Ft.

NOTES



- South (front) elevation wall sign facing W Maple Rd
- replace black SELECT letters with 0.375" white acrylic letters on a 1" deep purple backer panel
- 9" x 56" = 3.5 sq feet

1" Deep Purple Backer
5" Tall x.375" White Acrylic Letters



HOLIDAY MARKET

Sales Person: MaryAnn Deters

Drawn By: Connie Fotiu

Date: 9/14/2020

File Name: Holiday Market Birmingham.cdr
Front Elevation Pg 1

Revision: 12/3/2020 #2

This drawing and design/layout is the property of Metro Detroit Signs. The use of which in part or in whole is not permitted without prior written consent from Metro Detroit Signs. All rights reserved. Copyright 2018

Customer Signature _____

Date _____

Work Order#: XXX



11444 Kaltz Ave
Warren, MI 48089
Phone: 586-759-2700
Fax: 586-759-2703



- North (rear) elevation wall sign
- replace black SELECT letters with 0.375" white acrylic letters on a 1" deep purple backer panel
- 8" x 48" = 2.66 sq feet

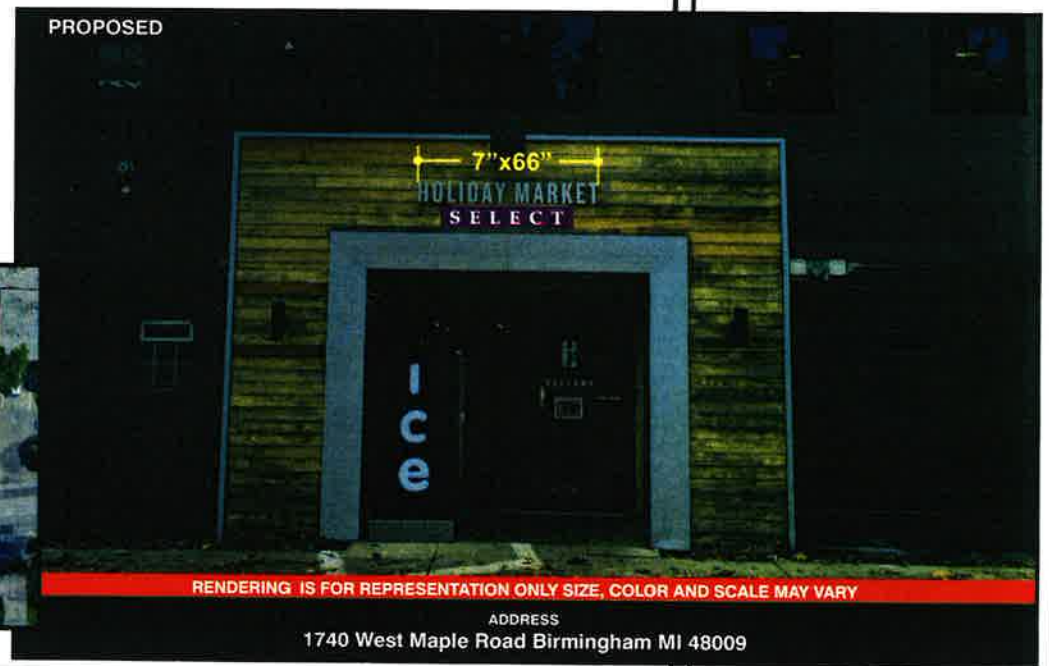
1" Deep Purple Backer
4.62" Tall x.375" White Acrylic Letters

 LISTED

SIGN DIMENSIONS

8"x48" Overall - 2.66 Sq. Ft.
7"x66" Existing - 3.20 Sq. Ft.

NOTES



**HOLIDAY
MARKET**

Sales Person: MaryAnn Deters

Drawn By: Connie Fotiu

Date: 12/3/2020

File Name: Holiday Market Birmingham.cdr
Back Elevation Pg 2

Revision: 12/3/2020 #1

This drawing and design/layout is the property of Metro Detroit Signs. The use of which in part or in whole is not permitted without prior written consent from Metro Detroit Signs. All rights reserved. Copyright 2018

Customer Signature _____

Date _____

Work Order#: XXX


METRO SIGNS
— LIGHTING —

11444 Kaltz Ave
Warren, MI 48089
Phone: 586-759-2700
Fax: 586-759-2703

Design Review Board Action List – 2020

Design Review Board	Quarter	Rank	Status
Redesign/Update DRB Board Applications	1 st (January-March)	1	<input type="checkbox"/>
Update Sign Ordinance	2 nd (April-June)	2	<input type="checkbox"/>
Create New Informational Artwork for Sign Ordinance	3 rd (July-September)	3	<input type="checkbox"/>
Sign Ordinance Enforcement	4 th (October-December)	4	<input type="checkbox"/>

Updates:

1. Updated Design Review application as of June 2020
 - a. Simplified, reformatted, and trimmed unnecessary sections
 - b. Updated PDF to be a fillable form
2. Sign Ordinance update in progress.