

AGENDA
BIRMINGHAM HISTORIC DISTRICT COMMISSION
MUNICIPAL BUILDING-COMMISSION ROOM-151 MARTIN STREET
WEDNESDAY – July 19, 2017
*******7:00 PM*******

- 1) **Roll Call**
- 2) **Approval of the HDC Minutes of May 3, 2017**
- 3) **Approval of the HDC Minutes of June 21, 2017**
- 4) **Historic Design Review**
 - **607 Bates – Major Jones House (requested to be postponed)**
 - **100 S. Old Woodward – Architectural lighting**
 - **277 Pierce – 5 story mixed use building**
 - **535 Merrill – Daisy Benedict House**
 - **556 W. Maple – Allen House**
 - **Mill Pond Historic District public art project**
- 5) **Miscellaneous Business and Communication**
 - A. Staff Reports
 - **Administrative Approvals**
 - **Violation Notices**
 - **Demolition Applications**
 - B. Communications
 - **Commissioners Comments**
- 6) **Adjournment**

Notice: Individuals requiring accommodations, such as interpreter services, for effective participation in this meeting should contact the City Clerk's Office at [\(248\) 530-1880](tel:2485301880) at least on day in advance of the public meeting.

Las personas que requieren alojamiento, tales como servicios de interpretación, la participación efectiva en esta reunión deben ponerse en contacto con la Oficina del Secretario Municipal al [\(248\) 530-1880](tel:2485301880) por lo menos el día antes de la reunión pública. (Title VI of the Civil Rights Act of 1964).

A PERSON DESIGNATED WITH THE AUTHORITY TO MAKE DECISIONS MUST BE PRESENT AT THE MEETING.

**BIRMINGHAM HISTORIC DISTRICT COMMISSION
MINUTES OF MAY 3, 2017**

Municipal Building Commission Room
151 Martin, Birmingham, Michigan

Minutes of the regular meeting of the Historic District Commission ("HDC") held Wednesday, May 3, 2017. Vice Chairperson Shelli Weisberg called the meeting to order at 7 p.m.

Present: Vice Chairperson Shelli Weisberg, Board Members Mark Coir, Natalia Dukas, Thomas Trapnell, Michael Willoughby; Alternate Board Member Dulce Fuller; Student Representatives Josh Chapnick, Griffin Pfaff

Absent: Chairman John Henke; Board Member Keith Deyer; Alternate Board Member Adam Charles

Administration: Matthew Baka, Sr. Planner
Carole Salutes, Recording Secretary

05-18-17

**APPROVAL OF MINUTES
HDC Minutes of April 19, 2017**

Motion by Mr. Willoughby

Seconded by Mr. Coir to approve the HDC Minutes of April 19, 2017 as presented.

Motion carried, 6-0.

VOICE VOTE

Yeas: Willoughby, Coir, Dukas, Fuller, Trapnell, Weisberg

Nays: None

Absent: Deyer, Henke

As almost a full board was present, Mr. Long opted to go forward with his hearing.

05-19-17

HISTORIC DESIGN REVIEW

160 W. Maple Rd.

Dick O'Dow's

CBD Historic District

Zoning: B-4 Business-Residential

Proposal: Mr. Baka explained the applicant is proposing to renovate the rear façade of the property at 160 W. Maple, Dick O Dow's. The building is a non-contributing resource in the Central Business District Historic District. The applicant is proposing to install a large roll-up door, eliminate the dumpster enclosure and reduce the existing double entrance door down to a single door. The applicant is also proposing extensive renovation to the interior of the building.

Rear Facade: The proposed roll-up door would be 20 ft. x 11 ft. with insulated glass in an aluminum frame on bi-fold steel strap by "Schweiss Doors." The double door at the west end of the rear façade is proposed to be replaced with a single wood and glass door that will be accented with a small steel canopy above constructed on a steel tube frame. The remainder of the rear façade is concrete block which is proposed to be painted BM2126-20 "Raccoon Fur."

Interior changes: The back half of the building interior is proposed to be demolished and rearranged to create a second bar and seating area. The new bar is proposed to have 18 seats and the table seating is proposed to total 62 seats. In addition to the new bar and seating area the applicant is proposing to install two new walk-in refrigeration units and to relocate the staircase to the basement.

Signage: No new signage is proposed at this time.

Illumination: One small light fixture is proposed to be mounted to the new canopy over the single man door.

Mr. Christopher Longe, Architect, spoke for the business owner, Mr. Mitch Black who was present. In response to board members' inquiry, he replied the dumpster is being relocated to a concealed niche inside the alley. Mr. Baka recalled that the Planning Board specifically said the tables will remain on private property and not migrate out into the alley.

Everyone agreed the beer/restaurant plan is very lovely.

Motion by Mr. Willoughby

Seconded by Ms. Fuller to approve the Historic Design Review for 160 W. Maple Rd., Dick O'Dow's, as submitted.

There was no further discussion.

Motion carried, 6-0.

VOICE VOTE

Yeas: Willoughby, Fuller, Coir, Dukas, Trapnell, Weisberg

Nays: None

Absent: Deyer, Henke

Mr. Baka noted that there were a lot of people from the Willits at the Planning Board meeting and they were worried about the noise. The Planning Board determined that the back door will be required to be closed at midnight every night.

HDC members agreed that noise is part of what can be expected when living Downtown.

05-20-17

MISCELLANEOUS BUSINESS AND COMMUNICATIONS

A. Staff Reports

-- Administrative Approvals

- 126 S. Old Woodward Ave., Polpetta - New outdoor cafe; four tables, eight chairs.
- 300 W. Merrill, Birmingham Library - 6 in. diameter exhaust fan diffuser to be located on south side of 1927 Library above 1961 addition roof. Metal diffuser is bronze aluminum color to match existing metal doors and metal frames on the library.

-- Demolition Applications

- 140 Northlawn
- 264 Catalpa
- 797 Glenhurst
- 983 Wimbleton
- 1392 Humphrey
- 939 Larchlea
- 1530 Pilgrim

B. Communications

-- Commissioners' Comments (none)

05-21-17

ADJOURNMENT

No further business being evident, the commissioners motioned to adjourn the meeting at 7:15 p.m.

Matthew Baka
Sr. Planner

**BIRMINGHAM HISTORIC DISTRICT COMMISSION
MINUTES OF JUNE 21, 2017**

Municipal Building Commission Room
151 Martin, Birmingham, Michigan

Minutes of the regular meeting of the Historic District Commission ("HDC") held Wednesday, June 21, 2017. Chairman John Henke called the meeting to order at 7 p.m.

Present: Chairman John Henke, Board Members Keith Deyer, Natalia Dukas, Vice Chairperson Shelli Weisberg, Michael Willoughby; Alternate Board Member Dulce Fuller

Absent: Board Members Mark Coir, Thomas Trapnell; Alternate Board Member Adam Charles; Student Representatives Josh Chapnick, Griffin Pfaff

Administration: Matthew Baka, Sr. Planner
Carole Salutes, Recording Secretary

06-22-17

**APPROVAL OF MINUTES
HDC Minutes of May 3, 2017**

Approval of the minutes was postponed to the next HDC meeting because there was not a quorum of those present at the May 3 meeting.

06-23-17

**HISTORIC DESIGN REVIEW
607 Bates
Major Jones House
Bates St. Historic District**

Zoning: R-3 Single-Family Residential

History: The house was designated historic in 1978 and the Bates St. Historic District designation came into effect in January of 1998. The house has been sold several times and reviewed by the HDC for potential renovations. However, none of those approved plans were executed, and the current owner is seeking to renovate the property with a new proposal.

Proposal: The existing two-story portion of the 1865 structure is proposed to be fully restored, with all architectural detail retained and preserved. The single-story

691 sq. ft. non-contributing rear portion of the house is proposed to be removed. A large wing addition is planned for the rear and the south elevations. Also, a recently constructed, non-contributing canopy over an existing basement door on the north side is proposed be removed.

West (Front) Elevation

The applicant proposes to retain the historic house on the west elevation. The existing enclosed front porch will be removed to allow for a wraparound porch that will connect the historic structure with the proposed addition. The proposed addition will extend out towards the south property line and feature two gable ends side by side and a cupola. The cupola exceeds the maximum height permitted. **Accordingly, the applicant must obtain approval from the Board of Zoning Appeals for the construction of the cupola. Also they will have to go before the City Commission to combine the lots again.**

South-West (Side) Elevation

Moving west to east, the south elevation will feature a row of eight 1/1 double hung windows with single transom windows above. There will then be a chimney constructed of Michigan fieldstone. To the east of the chimney is proposed another bank of windows which include two single-pane windows at ground level with two additional double-hung windows and transoms above that will match the eight windows to the west of the chimney. On the second floor of the south elevation the applicant is proposing four single-pane windows to the west of the chimney and two double windows to the east of the chimney.

East (Rear) Elevation

The applicant proposes to renovate the existing one-story rear addition into a two-story addition. The east (rear) elevation is proposed to feature extensive glazing with two sets of sliding glass doors opening out to a first floor deck. At the second story the applicant is proposing to construct a balcony space accessible from glass doors located on the second story. At the north end of the east elevation are two windows and a single man door to access the two-car attached garage.

North (Side) Elevation

The north elevation of the proposed addition will consist predominately of the entrance to the two-car garage. Above the western most garage door is a single gable end dormer. Between the garage and the historic portion of the house are two double-hung windows.

Differentiation

The new addition is proposed to be located fully behind the house, recessed 26 ft. farther away from the street. This has been done with the intent of respecting the historic resource and establishing its prominence over the addition. The eave height of the addition matches the existing house, the roof pitches match and the same roof height has been maintained. The use of cross gables attempts to

further break down the scale and relates it directly to the existing house. The new construction will be compatible with the old house in size, scale and architectural features but the new and the old will be clearly distinguished one from the other. The existing house is sided with wood clapboard lap-siding with a 3 ft. exposure and 3 1/2+ in. corner boards. The addition is proposed to have Hardiplank cement board clapboard lap-siding with a 5 in. exposure and mitered corners.

The details of the original portion of the house, such as the eaves and window headers, will be restored. The addition will have trim that matches the original in scale but without the ornamentation. The windows will be rectangular and vertically oriented but will vary in size (due to egress window requirements). The existing windows will retain their decorative sash and colored glass, the new windows will be clear glass, without mullions. The wrap-around porch unifies the old and new by defining the entrance, and it also distinguishes the addition from the old house by breaking down the scale of the addition. The porch roof is a horizontal element that contrasts with the historic facade's verticality.

The Building Dept. had the comment that the dormers on the north and south elevations are too wide. ***The applicant may have to apply to the Board of Zoning Appeals ("BZA") for a variance on the width of the dormers.*** Mr. Willoughby maintained that a dormer sits on the base of the roof and these do not, so they are gable ends.

Mr. Deyer commented that at least from the drawings the original house almost disappears. There is so much going on that he would not recognize it as a historic home and he thinks the wrap-around porch adds to the confusion.. They are adding almost two-thirds of a house to the remaining one-third. The addition seems out of scale with the historic home.

Mr. Bill Finnicum, Finnicum Brownlee Architects, the project architect, provided a three dimensional view and stated the historic resource is only 23 ft. and the new addition is 23 ft. behind it. It actually decreases the density that is allowable on that property. If they put in the roof that is allowed, it would be 38 ft. high and they are only under 26 ft. high for the entire building. The wrap-around porch doesn't enlarge the scale of the building; it cuts it down because it is a horizontal element interrupting the verticality, allowing the historic resource to come from the ground up to the ridge and dominating the composition of the building. The idea for the cupola is because his clients asked for a quiet and contemplative space.

Ms. Weisberg observed this is one of the best plans the HDC has seen for this house. However, she hates the cupola and wouldn't mind if it went away. Mr. Deyer said the view from the southwest doesn't recognize the historic home. Chairman Henke added that the concern is the new wraparound porch. The last section disguises what was the original portion of the historic house. Mr. Finnicum noted another way to put it is that it pulls and old and the new together.

Mr. Willoughby didn't know of anything that says an addition to a historic home cannot be larger than the original home. He thinks the simplicity of the detail is quite appropriate. To him the cupola on the addition isn't a problem. It is clearly more contemporary, plus he doesn't think the height is an issue. The only thing that bothers him is not restoring the front porch.

Ms. Dukas liked the design. However she is not a big fan of the cupola and would not have a problem if the roofline of the addition was higher. To her the cupola seems to take away from the roofline of the original house. Further, she is concerned that the southeast corner of original house gets lost because of the wraparound porch element.

Ms. Fuller stated this is not a beautiful historic house and she feels the new addition is appropriate.

Motion by Mr. Willoughby

Seconded by Ms. Weisberg to approve the Historic Design Review for 607 Bates, Major Jones House, except that the porch is postponed for further study. The dormers (which are really not dormers but gable ends) are approved. Further, the foundation on the west facade should be stucco to distinguish it from the original stone.

There were no comments from the public on the motion at 8 p.m.

Motion carried, 6-0.

VOICE VOTE

Yeas: Willoughby, Weisberg, Deyer, Dukas, Fuller, Henke

Nays: None

Absent: Coir, Trapnell

Mr. Steve Lemberg, 648 S. Bates, said he and his wife are very pleased with the plans for such a nice house. They are not opposed to the cupola.

Ms. Lee Zak, 630 Henrietta, said she and her husband also welcome the project because it looks absolutely beautiful and they don't have a problem with the cupola.

In response to Mr. Willoughby, Mr. Baka explained the cupola must go to the BZA because mid-point is above 28 ft. measuring from the eave of the cupola to the top. Mr. Finnicum added the cupola is scaled properly in relationship to the ground and the front face of it is 53 ft. back from the street. It is a contemporary element of Queen Anne homes which is appropriate.

Mr. Willoughby noted the cupola sits on the addition and because of its contemporary nature it really does distinguish from the historical portion. He thinks it reinforces the standards. The fact that it pops up above the roof is irrelevant. That is why he is in favor of it and feels this commission shouldn't impede the process with the BZA.

Mr. Deyer observed that just because something meets the Ordinance doesn't necessarily mean it would be approved by this commission. Also, if it exceeds the Ordinance, then the commission can't approve it.

Mr. Joseph Angileri, the property owner, said they are trying to maintain the integrity of the neighborhood that says a home similar to this is needed in order to fit into the context of the area. They came up with the cupola idea to separate the old from the new. It doesn't impact the scale of the neighborhood and if they had raised the roof it would literally be a dormer.

Chairman Henke said it sounds to him the cupola portion may be a scale and massing issue. Therefore he suggested the applicant do an elevation drawing that shows the relationship to the other two homes on the block. It may give the commission a better sense that this isn't as intrusive as it appears to be on a two-dimensional drawing.

Motion by Mr. Willoughby

Seconded by Ms. Weisberg to recommend to the BZA that they accept the design of the cupola because it reinforces what the Secretary of Interior Standards asks to be done to historic homes when an addition is put on.

Comments from the public on the motion were taken at 8:23 p.m.

Ms. Barbara Connolly, 648 S. Bates, said she is very much in favor of going forward with the plans for this beautiful house.

Mr. Bruce Zak, 630 Henrietta, indicated he and his wife, Lee, are totally in favor of the plans for this wonderful addition to their neighborhood.

Mr. Steve Lemberg, neighbor across the street, added he hopes the commission would have a holistic view of this because the applicant is taking something that is a mess and making it something wonderful. It will be a blessing to have that kind of house on the street.

Ms. Barbara Connolly observed it is notable that the neighbors are here pleading with the commission to support this requested design review.

Motion carried, 4-2.

VOICE VOTE

Yeas: Willoughby, Weisberg, Dukas, Fuller
Nays: Deyer, Henke
Absent: Coir, Trapnell.

06-24-17

HISTORIC DESIGN REVIEW

298 S. Old Woodward Ave.
Boutique Hotel
CBD Historic District

Zoning: B-4/D-4

Proposal: This non-contributing resource is located at the corner of S. Old Woodward Ave. and Brown St. The property consists of one vacant single-story commercial building and a surface parking lot. The applicant is proposing to demolish the existing structure and parking lot to replace it with a five-story boutique hotel and residential units. Because it is located in the CBD Historic District, the HDC is asked to review the design of the development and its adherence to the historical character of the other areas in the District with regard to massing, scale and design.

Design: The applicant is proposing to construct a five-story mixed-use commercial building with two levels of underground parking. Levels one through four will be a restaurant and hotel, and the fifth floor is to be residential. The development adheres to the building standards envisioned in the Downtown Birmingham 2016 Plan as it is designed with an attractive façade, is built to the property line, and has a pedestrian scale featuring coated metal canopies, extensive window glazing and tasteful streetscape landscaping.

East (Front) Elevation

The east elevation along S. Old Woodward Ave. is home to the hotel entrance, general entrance and the underground parking exit. The plan for the front facade shows a granite base and limestone cladding being the principal façade elements. The limestone is grey ("Madison Café" from Quarrastone); the granite base will be dark grey ("Wisp Granite" from Quarrastone); and the painted aluminum metal panels, window frames and metal screening will be Ascher Bronze. Some other features on the façade are an aluminum window system and the use of coated metal on window surrounds, coping along the roofline, and some cladding for the staircases. An interesting feature visible along the east elevation is an inset at around 22 ft. above grade with aluminum and glass skylights over the hotel lobby. The plans depict a pyramidal shape with a green roof surrounding them. The residential fifth floor is recessed and the mechanical units on the roof are screened with coated metal.

West (Rear) Elevation

The building materials along the west elevation are consistent with those described for the east elevation. The rear of the building will directly abut the parking lot of the adjoining property. There is one entrance for the staff on the rear accessible from the via on the north side of the property.

South (Side) Elevation

There will be no change in building material on the south elevation. The south elevation fronts Brown St. and the loading entry and underground parking entry are present on the western-most side of this elevation. Proper window glazing is present, and the ground level plans show another entrance to the restaurant on this side.

North (Side) Elevation

Lastly, the north elevation fronts a new via that will be used for the development. The via contains landscaping and will be paved with stone pavers. Building materials on this elevation again are consistent with the rest of the building. There is one centrally located entrance/exit that will be used for the wine bar.

Chairman Henke announced that because the drawings were not in the packets it presents a problem for him as he is not comfortable doing a full review without having a set of drawings that he can study for a couple of hours.

Mr. Rick Rattner, 380 N. Old Woodward Ave., hoped this would not hold the commission up tonight. The proposed hotel is a non-contributing resource that has been under scrutiny for months. Consideration will not be given to its historical significance, but rather to how it fits into the pattern of design in the area. It is located in the Downtown Overlay District which is form based. That means it is not concentrated on use. This design fits within the form of the District. He introduced Mr. Charlie Stetson with Booth Hansen Architects in Chicago, the architects for the hotel. Mr. Stetson advised the project received Community Impact Study ("CIS") and Preliminary Site Plan approval on May 24. They are on the agenda for Final Site Plan Review for July 26. He went on to give a brief PowerPoint overview of the project.

- The development adheres to the building standards as envisioned in the Downtown Plan and they have worked very hard to make it fit as part of the Historic District;
- There is a two-level below-grade parking garage containing 56 spaces. That far exceeds the required parking for the 17 residential units at the top;
- The ground floor along Old Woodward Ave. and Brown will contain retail with glass facades that will engage pedestrians;
- The main entrance opens into a pre-function room and banquet room with a series of skylights and a green roof above;
- A pedestrian scaled via cuts through the property. It serves as the entrance to a wine bar. Bollard light fixtures, ground lighting and raised planters will make it inviting;

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- The mezzanine houses meeting rooms. The second, third and fourth levels contain 143 hotel rooms;
 - The fifth floor steps back 10 ft. and contains residential units;
 - The rooftop mechanicals are pushed back and screened with a metal panel system and will not be perceived from the street.
 - Another design feature is that the corner of Brown and Old Woodward Ave. is all glass which draws attention to the corner and helps the pedestrian activity.

At this time Mr. Stetson passed around the materials board and described the materials along with where they will be used. He walked the group through the landscape plan. Exterior lighting will be minimal.

Chairman Henke reiterated he would abstain from the vote only because he wants more time to look at the drawings, This is a huge project in the City and it will have a large impact on that corner. His biggest concern is the via and how it works with the Plaza next door, and the lighting.

Mr. Willoughby talked about what he sees as some really positive things the applicant has done. This is a contemporary building that has the principals of historic architecture. All four sides are being clad the same way with noble materials. The glass is excellent in terms of energy use. The building has been stepped back. The light fixtures they have selected are top notch. He sees quality everywhere. So, he is very much in support of the project.

Ms. Weisberg said she has no problem going forward at this time. Ms. Fuller agreed and thought the hotel could use a few more suites.

Motion by Mr. Deyer

Seconded by Ms. Fuller to approve the Historic Design Review for 298 S. Old Woodward Ave., Boutique Hotel as submitted.

There was no public at 9:30 p.m.

Motion carried, 5-0.

VOICE VOTE

Yeas: Deyer, Fuller, Dukus, Weisberg, Willoughby

Nays: None

Abstain: Henke

Absent: Coir, Trapnell

The commissioners listed the following questions they would like to have addressed at Final Site Plan review:

- The whole alley issue in terms of lighting identification of the door in whatever manner the architect thinks is appropriate;

- The landscaping plan in total with the selection of plantings;
- Lighting in total - where the fixtures are and what their effect is on the building;
- What happens if the City doesn't get around to redoing N. Old Woodward Ave. for a while. That wipes out the entrance for some period of time.

06-25-17

REVIEW OF PROPOSED LOCATIONS FOR PUBLIC ART

On April 19, 2017 the Public Arts Board ("PAB") reviewed a map and list of potential sites for public art. The PAB discussed each location on the map and determined whether each one is of low, medium, or high priority.

On May 2, 2017, the Public Arts Board prioritizations were presented to the Parks and Recreation Board who formally voted to accept the map of locations and stipulated that any sculptures proposed within public parks would require their review and approval.

Staff has found that six proposed sites are located within the Mill Pond Historic District. Of the six sites, three are low priority, two are medium priority and one is high priority. The HDC must review and approve any sites the board recommends for public art installations.

Ms. Dukas felt the locations are too concentrated. Board members did not fully understand the information that was provided. Consensus was that every piece of art is situational and this matter should be postponed to a future agenda.

06-26-17

MISCELLANEOUS BUSINESS AND COMMUNICATIONS

A. Staff Reports

-- Administrative Approvals

- 101 N. Old Woodward Ave -
 - Remove existing roofing, install new EPOM rubber roof, fully adhered;
 - Remove and re-install existing skylights;
 - Replace some skylights in like kind;
 - Remove one condensing unit and re-install with new unit in like kind in same location.

- 176 S. Old Woodward Ave., Mediterranean Street Food - Installation of reverse illuminated channel letters mounted to existing masonry, front side of building.
- 148 Pierce, Lindamood Bell - Replace existing limestone band below cornice with new limestone band anchors with new stainless steel anchors to replicate the one being replaced.
- 200 Chester, Baldwin House - Replace existing fixture with LED Acorn bulb.

-- Demolition Applications

- 1597 Maryland
- 1252 Chesterfield
- 425 Bird
- 956 Westwood
- 2650 Yorkshire

B. Communications

- Commissioners' Comments (none)

06-27-17

ADJOURNMENT

No further business being evident, the commissioners motioned to adjourn the meeting at 9:40 p.m.

Matthew Baka
Sr. Planner



MEMORANDUM

Community Development

DATE: July 13, 2017

TO: Historic District Commission

FROM: Matthew Baka, Senior Planner

SUBJECT: Historic Design Review – 100 S. Old Woodward – Wachler Building lighting

Zoning: B4, Business Residential

Existing Use: Commercial

Proposal

On February 04, 2015 the applicant was approved to renovate the exterior of 100 S. Old Woodward. This approval included the conditional approval of the accent light around the parapet of the building and the decorative fin lights attached to the façade. The Commission granted the approval with the caveat that once the renovation was completed the applicant must return to the Commission for a final review and approval of the lighting. Accordingly, the renovations have been completed and the property owner is now requesting that the HDC grant full approval of the light so that they may obtain a full certificate of Occupancy from the City. The applicant have provided photographs demonstrating the subdued level of intensity provided by the lighting. In addition the Commission members were encouraged to make a site visit in the evening hours to observe the new lighting in person. The minutes from the 2015 meeting are attached for your review.

Lighting

The applicant installed 20' 8" decorative backlit aluminum fins that is mounted vertically on the newly clad granite pillars along the north and west elevations. The fins are mounted near the top of the first floor windows and extend upwards to just above the roof line. Along the top of the roof line the applicant installed accent lighting that runs the length of the building. All lighting is LED.

Sec. 127-11. Design review standards and guidelines.

1. (a) In reviewing plans, the commission shall follow the U.S. secretary of the interior's standards for rehabilitation and guidelines for rehabilitating historic buildings as set forth in 36 C.F.R. part 67. Design review standards and guidelines that address special design characteristics of historic districts administered by the commission may be followed if they are equivalent in guidance to the secretary of interior's standards and guidelines and are established or approved by the state historic preservation office of the Michigan Historical Center.

- (b) In reviewing plans, the commission shall also consider all of the following:
- (1) The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area.
 - (2) The relationship of any architectural features of the resource to the rest of the resource and to the surrounding area.
 - (3) The general compatibility of the design, arrangement, texture, and materials proposed to be used.
 - (4) Other factors, such as aesthetic value, that the commission finds relevant.

RECOMMENDATION

The Planning Division recommends that the Commission issue a Certificate of Approval for the sign review application for 100 S. Old Woodward.

The work meets The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, standard number 9, "New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, scale, and architectural features to protect the historic integrity of the property and its environment."

WORDING FOR MOTIONS

I move that the Commission issue a Certificate of Appropriateness for _____. The work as proposed meets "The Secretary of the Interior's Standards for Rehabilitation" standard number_____.

I move that the Commission issue a Certificate of Appropriateness for _____, provided *the* following conditions are met: (List Conditions). "The Secretary of the Interior's Standards for Rehabilitation" standard number_____.

I move that the Commission deny application number_____. Because of _____ the work does not meet "The Secretary of the Interior's Standards for Rehabilitation" standard number_____.

"THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION AND GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS"

The U. S. secretary of the interior standards for rehabilitation are as follows:

- (1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
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- (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- (3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- (4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- (5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
- (6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- (7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
- (8) Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Notice to Proceed

I move the Commission issue a Notice to Proceed for application number _____. The work is not appropriate, however the following condition prevails: _____ and the proposed application will materially correct the condition.

Choose from one of these conditions:

- a) The resource constitutes hazard to the safety of the public or the structure's occupants.
- b) The resource is a deterrent to a major improvement program that will be of substantial benefit to the community and the applicant proposing the work has obtained all necessary planning and zoning approvals, financing, and environmental clearances.
- c) Retaining the resource will cause undue financial hardship to the owner when a governmental action, an act of God, or other events beyond the owner's control created the hardship, and all feasible alternatives to eliminate the financial hardship, which may include offering the resource for sale at its fair market value or moving the resource to a vacant site within the historic district. have been attempted and exhausted by the owner.
- d) Retaining the resource is not in the best of the majority of the community.

HISTORIC DISTRICT COMMISSION
MINUTES OF FEBRUARY 4, 2015
Municipal Building Commission Room
151 Martin, Birmingham, Michigan

Minutes of the regular meeting of the Historic District Commission ("HDC") held Wednesday, February 4, 2015. Chairman John Henke called the meeting to order at 7:05 p.m.

Present: Chairman John Henke; Board Members Keith Deyer, Vice Chairperson Shelli Weisberg, Michael Willoughby

Absent: Board Members Mark Coir, Natalia Dukas; Student Representatives Mitch Boorstein, Cambria Rush

Administration: Matthew Baka, Sr. Planner
Carole Salutes, Recording Secretary

Since four affirmative votes are needed to pass a motion, and there are only four board members present, the chairman offered petitioners the opportunity to postpone their hearing to the next meeting when a full board might be present. Mr. Surnow indicated they would like to proceed this evening.

02-13-15

HISTORIC DESIGN REVIEW
100 S. Old Woodward Ave.
Wachler Building
CBD Historic District

Zoning: B-4 Business Residential

Proposal: The applicant is seeking approval to renovate the exterior of the two-story, multi-tenant building. The property is a non-contributing resource in the Central Business District Historic District. The proposal includes removing the entire existing façade and window system on all sides and installing new storefront window and doors systems, as well as re-cladding the façade with a combination of honed marble, flamed and brushed granite, zinc panels and cor-ten steel accents. In addition, the proposal calls for accent lighting and zinc clad entrance canopies on the W. Maple Rd. and Pierce elevations.

Design:
East (S. Old Woodward Ave). Elevation

The petitioner proposes to replace the existing windows and doors with clear glass in anodized aluminum frames and clad the front elevation of the building in black flamed

and brushed granite. A 5 ft. tall cor-ten steel panel will separate the glazing of the first and second floor. To the north of the granite pillars the remainder of the east face will be clad in zinc panels and honed marble cladding that will wrap around from the north elevation of the building.

North (W. Maple) Elevation

The petitioner proposes to replace the existing windows and doors with clear glass in anodized aluminum frames. The pillars separating each bay of windows will be clad in dark gray honed granite. A dark gray flamed and brushed granite base is proposed to run the length of the north elevation. Zinc panel cladding is proposed to separate the glazing systems of the first and second floor as well as to accent the roof line as a cap. Above the second floor windows will be a 5 ft. 3 in. section of white honed marble cladding that extends the length of the building. At the west end of the north elevation a vertical section of marble cladding will extend from the ground level to the roof cap.

In the approximate center of the north elevation there are two clear glass single doors proposed. A 23 ft. 9 in. wide zinc clad entrance canopy is proposed to be installed above the doors. The plans as submitted indicate that there will be three cor-ten steel panels mounted to the north elevation.

West (Pierce) Elevation

The proposed treatment of the west elevation is very similar in style and materials to the north elevation. The petitioner proposes to replace the existing windows and doors with clear glass in anodized aluminum frames. The pillars separating each bay of windows will be clad in dark gray honed granite. A dark gray flamed and brushed granite base is proposed to run the length of the west elevation. Zinc panel cladding is proposed to separate the glazing systems of the first and second floor as well as to accent the roof line as a cap. Above the second floor windows will be a 5 ft. 3 in. section of white honed marble cladding that extends the length of the building. At the north end of the west elevation a vertical section of marble cladding will extend from the ground level to the roof cap.

At the north end of the west elevation there is one clear glass single door proposed in the approximate location of the current door. A 14 ft. 6 in. wide zinc clad entrance canopy is proposed to be installed above the door. The plans as submitted indicate that there will be three cor-ten steel panels mounted to the west elevation.

South (Alley) Elevation

A portion of the south elevation is treatment in the same fashion as the existing face on the elevations of the building that face a street. In this area the old façade will be removed and replaced with a dark gray brick on the majority of the elevation. At the corner of the building at Pierce the honed marble will wrap the corner from the west elevation. Between the marble and dark grey brick will be a 4 ft. wide three section window that extends vertically the full height of the building. The elevation will also have one large clear glass window and retain the existing steel door, which will be painted dark grey.

Glazing Requirement: The Downtown Overlay standards require that all buildings must have a minimum of 70% glazing on the first floor between 1 and 8 ft. above grade and a maximum of 35% glazing on all upper floors. Based on the plans as submitted, the first floor provides approximately 79% glazing which easily meets the requirements. In order to maximize the glazing, and therefore natural light, on the second floor the applicant is proposing the maximum amount of glazing.

Lighting: The applicant is proposing to install 20 ft. 8 in. decorative backlit aluminum fins that will be installed vertically on the newly clad granite pillars along the north and west elevations. The fins will be mounted near the top of the first floor windows and extend upwards to just above the roof line. Along the top of the roof line the applicant is proposing to install accent lighting that will run the length of the building. All proposed lighting is LED.

Signage: The applicant is not proposing signage at this time. However, they are proposing to install address numbers that exceed the 8 in. maximum height permitted by the Sign Ordinance. This provision of the Sign Ordinance allows for address numbers up to 8 in. in height to be permitted in addition to the total allowable signage of the site. Accordingly, the applicant has been advised that if they wish to move forward with the oversized address letters then the area of those letters will be counted against the total allowable signage for the building.

Mr. Deyer prefaced his comments by saying he likes everything the architect has done. However, there are two items that are questionable in his mind:

- Lighting along the roof - he is not sure that is totally appropriate in the CBD;
- Two black pincer columns on the east side. He is not as concerned about the verticality as he is about the section along the roof that raises the roof line. It seems too much for that corner.

Mr. Jeffrey Surnow, 320 Martin, the building owner, described how the white lighting would wash the building. Ms. Weisberg liked the building and lighting. Mr. Willoughby said he would like to see more people use light to highlight the architectural details of a building. He loves the layering and the stepping back from the facade to the roof to this element that pops up in the dark granite. He received confirmation that the mechanicals will be hidden behind the granite.

Motion by Mr. Willoughby

Seconded by Ms. Weisberg to approve the Historic Design Review for 100 S. Old Woodward Ave., Wachler Building, as submitted.

Mr. Deyer expressed his intention to vote against the motion.

Chairman Henke took comments on the motion from members of the public at 7:33 p.m.

Mr. Surnow described how very important it is for him to keep the integrity of this city as much as he can. In his opinion this is the best corner in the City of Birmingham and it is the best corner in Oakland County. So, he doesn't want to do something that is just about daytime Birmingham. He wanted anybody that visits this area to be able to see the building and appreciate it 24/7. That is why the proposal has the vertical light and the accent light. The look and the lighting are important to him because he wants to keep the retail and office at the highest level and the highest integrity he can. This building will do that for them. He went on to explain how every little detail has been very carefully thought out.

Mr. Kevin Bittison, Bittison Architecture, said that drawing from the Ordinance, part of their initial thought was to create an architectural feature that would visually bring people to that intersection. Mr. Willoughby agreed that the east facade needs a vertical element.

Mr. Deyer said what bothers him more than anything is the black section that is extended half way across the roof of the building. Mr. Bittison explained how that section becomes a massing element. As well, it creates space within the building and anchors the building to the corner by creating additional dimension to the overall building height. Mr. Willoughby suggested the black element will become less visible as one approaches the building.

Mr. Deyer indicated he is willing to trust the architect's judgment based on the previous things he has done. However, he is bothered by the roof lighting because it hasn't been done anywhere else in town. Mr. Bittison explained it will be a very low-level exterior strip LED that will emit a small white glow in order to provide dimension. Mr. Deyer then said he would vote yes because he doesn't see any reason to delay the project or re-design it. However, his compromise would be to leave the roof lighting to be considered before a full board at another time.

Mr. Surnow affirmed he wants to make sure that whatever he does is very subtle and very first class. That is what this corner deserves and what the rest of the city deserves.

Amended to his motion by Mr. Willoughby

Seconded by Ms. Weisberg that the Historic Design Review for

100 S. Old Woodward Ave., Wachler Building, is approved as proposed except the rooftop perimeter lighting is approved conceptually to subtly light the zinc panels above the roof, subject to HDC further review based upon City Zoning Ordinance lighting standards. Once rooftop lighting is constructed, petitioner will return to HDC for approval.

There were no comments from the public on the amended motion at 8:15 p.m.

Motion carried, 4-0.

VOICE VOTE

Yeas: Willoughby, Weisberg, Deyer, Henke
Nays: None
Absent: Coir, Dukas







MEMORANDUM

Planning Division

DATE: June 16, 2017
TO: Historic District Commission
FROM: Nicholas Dupuis, Planning Intern
SUBJECT: Final Historic Design Review – 277 Pierce

Zoning: B-4/D-4

Existing Use: Vacant Commercial

Proposal

This non-contributing resource located in the central business district historic district is located at the corner of E. Merrill and Pierce, the address is 277 Pierce. The property consists of one vacant single story commercial building, formerly the Varsity Shop. The applicant is proposing to demolish the existing structure to replace it with a 5-story, 27,000 ft² mixed use development with 5th floor residential units. The applicant is seeking design review approval from the HDC regarding the proposal to demolish and develop the property. The design review application for the HDC was received on June 30th, 2017.

The property and building upon the property are non-contributing resources, but are located in the Central Business District Historic District. Because it is located in this district, the Historic District Commission is being asked to review the design of the development and its adherence to the historical character of the other areas in the district in regards to massing scale and design.

On August 3rd, 2016 the Historic District Commission approved the demolition of the existing building.

Design

The applicant is proposing to construct a five story mixed use commercial building. Level 1 will be used for retail, levels 2-4 will be commercial office spaces, and the fifth floor is to be residential. The development adheres to the building standards envisioned in the Downtown Birmingham 2016 plan as it is designed with an attractive façade, is built to the property line, and has a pedestrian scale featuring steel and glass canopies, extensive window glazing, stainless steel cladding and tasteful streetscape landscaping.

South (Side) Elevation

The south elevation for the proposed development fronts 97 feet along E. Merrill. The façade begins with a stone base and continues upward to the 5th floor with brick. The windows and doors will be clad in aluminum. The pedestrian entrance lies near the alley and features a stainless steel and glass canopy and a doorway surrounded by stainless steel cladding. The south elevation also features a section of the steel and glass canopy that wraps around the corner at Pierce. The recessed 5th floor is protected by a metal

guardrail with a metal canopy over the windows. There will be signage present for the retail tenant along this façade when the tenant is determined.

As required in Article 3, Section 3.01 of the zoning ordinance, storefronts must have transparent areas , equal to 70% of its portion of the façade, between one and eight feet from the ground. The glazed area of a facade above the first floor shall not exceed 35% of the total area, with each facade being calculated independently. The applicant has provided glazing calculations proposing the required 70 percent glazing on the first floor and 33 as the highest percent glazing on the upper floors.

East (Front) Elevation

The east elevation for the proposed development will be facing an alley. The two car garage for the residential unit is proposed to open up into the alley, along with two service doors. The building materials present will be brick with several aluminum clad windows. A few of these windows will be operable with an awning window at the center.

West (Rear) Elevation

The building materials and design along the west elevation are consistent with those described for the south elevation. The west elevation fronts Pierce and also features a pedestrian entrance and the steel and glass canopy that wrapped around from the south elevation.

Again, as required in Article 3, Section 3.01 of the zoning ordinance, storefronts must have transparent areas , equal to 70% of its portion of the façade, between one and eight feet from the ground. The glazed area of a facade above the first floor shall not exceed 35% of the total area, with each facade being calculated independently. The applicant has provided glazing calculations exceeding the required 70 percent glazing on the first floor (72.4 percent) and 34.7 as the highest percent glazing on the upper floors for this elevation.

North (Side) Elevation

Lastly, the north elevation abuts the adjacent property, Streetside Seafood. This elevation is required to be left blank, or have fire rated windows based on fire codes for the City. Thus, the building material is brick all the way to the roofline of the 5th floor with no windows. The only architectural feature is the recessing of some brick.

Sec. 127-11. Design review standards and guidelines.

1. (a) In reviewing plans, the commission shall follow the U.S. secretary of the interior's standards for rehabilitation and guidelines for rehabilitating historic buildings as set forth in 36 C.F.R. part 67. Design review standards and guidelines that address special design characteristics of historic districts administered by the commission may be followed if they are equivalent in guidance to the secretary of interior's standards and guidelines and are established or approved by the state historic preservation office of the Michigan Historical Center.

(b) In reviewing plans, the commission shall also consider all of the following:

- (1) The historic or architectural value and significance of the resource and its

relationship to the historic value of the surrounding area.

- (2) The relationship of any architectural features of the resource to the rest of the resource and to the surrounding area.
- (3) The general compatibility of the design, arrangement, texture, and materials proposed to be used.
- (4) Other factors, such as aesthetic value, that the commission finds relevant.

RECOMMENDATION

The Planning Division recommends that the Commission issue a Certificate of Approval for the design review application for 277 Pierce.

The work meets The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, standard number 9, "New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, scale, and architectural features to protect the historic integrity of the property and its environment."

"THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION AND GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS"

The U. S. secretary of the interior standards for rehabilitation are as follows:

- (1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- (3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- (4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- (5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
- (6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be

substantiated by documentary, physical, or pictorial evidence.

- (7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
- (8) Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Notice To Proceed

I move the Commission issue a Notice to Proceed for number _____. The work is not appropriate, however the following condition prevails: _____ and the proposed application will materially correct the condition.

Choose from one of these conditions:

- a) The resource constitutes hazard to the safety of the public or the structure's occupants.
- b) The resource is a deterrent to a major improvement program that will be of substantial benefit to the community and the applicant proposing the work has obtained all necessary planning and zoning approvals, financing, and environmental clearances.
- c) Retaining the resource will cause undue financial hardship to the owner when a governmental action, an act of God, or other events beyond the owner's control created the hardship, and all feasible alternatives to eliminate the financial hardship, which may include offering the resource for sale at its fair market value or moving the resource to a vacant site within the historic district. have been attempted and exhausted by the owner.
- d) Retaining the resource is not in the best of the majority of the community.

KOJAIAN MIXED-USE

277 Pierce Street
Birmingham, MI 48009

Owner:
Kojaian Management Corporation
39400 Woodward Avenue, Suite 250
Bloomfield Hills, MI 48304
T: 248.644.7600
Contact: Tony Antone

Architect:
Saroki Architecture
430 N. Old Woodward Avenue, Suite 300
Birmingham, MI 48009
T: 248.258.5707
Contact: Victor Saroki, FAIA

Civil Engineer:
PEA
2430 Rochester Court, Suite 100
Troy, MI 48083
T: 248.689.9090
Contact: James P. Butler, PE

Zoning Information:
Zoning District: B-4, D-4 Overlay
Zoning of Adjacent Properties: B-4 (North), PP (South), B-4 (East), PP (West)

Site Area: 0.111 Acres

Setbacks:	Required:	Proposed:
Front Yard Setback:	0 Feet (Frontage Line)	0 Feet
Side Yard Setback:	0 Feet	0 Feet
Rear Yard Setback:	10 Feet minimum from midpoint of alley or equal to that of an adjacent preexisting building	10 Feet

Building Height:	Max. Allowable:	Proposed:
Stories	5	5
Eave Height	58'-0" Feet	55'-6"
Building Height	Variable of height & setback	69'-0"
Total Height	80'-0" Feet (including mechanical screen)	75'-0" (including mechanical screen)

Building Area:	
Lower Level:	4,800 G.S.F.
First Level:	4,600 G.S.F. (includes garage)
Second Level:	4,800 G.S.F.
Third Level:	4,800 G.S.F.
Fourth Level:	4,800 G.S.F.
Fifth Level:	3,200 G.S.F.
Total Building Area:	27,000 G.S.F.

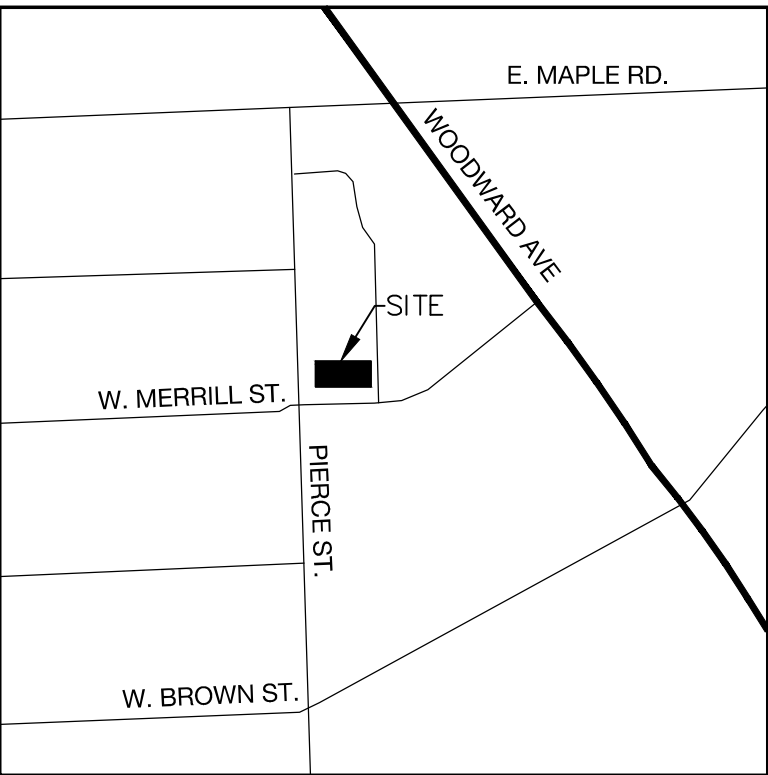
Parking:
Commercial: None Required, None Provided (Downtown Parking Assessment District)
Residential: Two (2) parking spaces have been provided for the Residential Unit

Loading: 2 Required, 1 Provided (Allowable reduction of 1 loading space at alley - Section 4.24,C,2)

Landscape Requirements: Per City of Birmingham Streetscape Standards (Existing to remain or be replaced)

Occupant Load:	Use:	Calculation:	Occupants:
Lower Level:	Storage / Mechanical	3,826 G.S.F. / 300 G.S.F. =	13
First Level:	Mercantile	2,867 G.S.F. / 60 G.S.F. =	48
	Business Areas	145 G.S.F. / 100 G.S.F. =	2
Second Level:	Business Areas	3,800 G.S.F. / 100 G.S.F. =	38
Third Level:	Business Areas	3,800 G.S.F. / 100 G.S.F. =	38
Fourth Level:	Business Areas	3,800 G.S.F. / 100 G.S.F. =	38
Fifth Level:	Residential	2,522 G.S.F. / 200 G.S.F. =	13
Total Occupant Load			190

Glazing Calculations:
See Sheet 204 & 205 for glazing calculations



Location Map
Not to Scale

Drawing Index: <div><div></div><div>● DRAWING ISSUED</div><div>○ DRAWING ISSUED FOR REFERENCE ONLY</div><div>□ DRAWING NOT ISSUED</div></div>													
		09-10-2017: PRELIMINARY SITE PLAN REVIEW 06-28-2017: HDC & FINAL SITE PLAN REVIEW											
GENERAL													
G000	COVER SHEET & DRAWING INDEX		●	●									
CIVIL													
C-1.0	TOPOGRAPHIC SURVEY		●	●									
C-3.0	SITE PLAN		●	●									
C-6.0	PRELIMINARY UTILITY PLAN		●	●									
C-8.1	NOTES AND DETAILS		●	●									
ARCHITECTURAL													
A010	ARCHITECTURAL SITE PLAN		●	●									
A100	LOWER LEVEL FLOOR PLAN		●	●									
A110	FIRST LEVEL FLOOR PLAN		●	●									
A120	SECOND LEVEL FLOOR PLAN		●	●									
A130	THIRD LEVEL FLOOR PLAN		●	●									
A140	FOURTH LEVEL FLOOR PLAN		●	●									
A150	FIFTH LEVEL FLOOR PLAN		●	●									
A160	ROOF PLAN		●	●									
A200	EXTERIOR ELEVATIONS		●	●									
A201	EXTERIOR ELEVATIONS		●	●									
A202	EXTERIOR ELEVATIONS		●	●									
A203	EXTERIOR ELEVATIONS		●	●									
A204	GLAZING CALCULATIONS		●	●									
A205	GLAZING CALCULATIONS		●	●									
A210	3D VIEWS		●	●									
A211	3D VIEWS		●	●									
A212	3D VIEWS		●	●									
A213	3D VIEWS		●	●									
A214	3D VIEWS			●									

Approvals:
City of Birmingham Planning Commission
(Preliminary Site Plan & CIS Approval - May 24, 2017)

SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Kojaian Mixed-Use
277 Pierce
Birmingham, Michigan 48009

Date:	Issued For:
09-10-2017	PRELIMINARY SITE PLAN REVIEW
06-28-2017	HDC & FINAL SITE PLAN REVIEW

Sheet No.:

G000
COVER SHEET &
DRAWING INDEX

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X'. AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125005377, DATED SEPTEMBER 28, 2006.

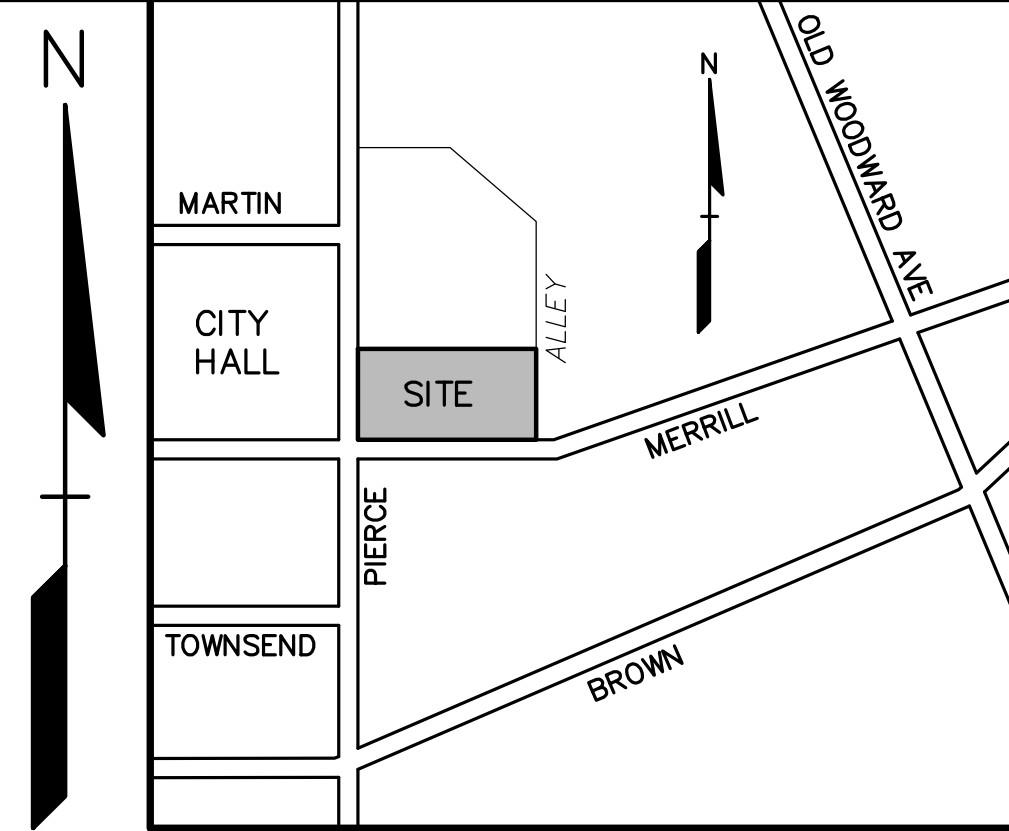
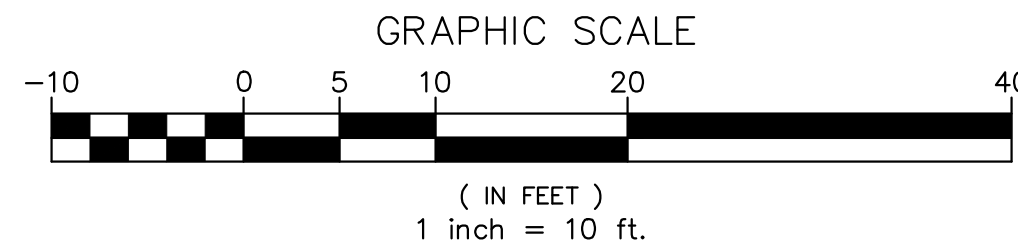
BENCHMARKS
(GPS DERIVED - NAVD88)

BM #300
ARROW ON HYDRANT LOCATED APPROX. 5'± WEST OF THE CURB ON THE WEST SIDE OF PIERCE STREET AND APPROX. 47'± FROM THE INTERSECTION OF PIERCE STREET & MERRILL STREET.
ELEV. - 780.56

LEGAL DESCRIPTION
(PER ATA NATIONAL TITLE GROUP, LLC., COMMITMENT #63-16498839-SCM, EFFECTIVE DATE SEPT. 16, 2016)

THE LAND REFERRED TO IN THIS COMMITMENT IS SITUATED IN THE CITY OF BIRMINGHAM, COUNTY OF OAKLAND COUNTY, STATE OF MICHIGAN, AS FOLLOWS:

LOT 10, ASSESSOR'S PLAN NO. 24, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 54A OF PLATS, PAGE 72, OAKLAND COUNTY RECORDS.



NO.	BY	CHK	DESCRIPTION	DATE
1	JPB	PRELIMINARY SITE PLAN REVIEW		03-10-17

LOCATION MAP - NOT TO SCALE

LEGEND

- IRON FOUND
✕ IRON SET
● NAIL FOUND
✕ NAIL & CAP SET
- BRASS PLUG SET
● MONUMENT FOUND
● MONUMENT SET
- SEC. CORNER FOUND
R RECORDED
M MEASURED
C CALCULATED

- EXISTING
- OH-ELEC — W — ELEC. PHONE OR CABLE TV G.H. LINE, POLE & GUY WIRE
— UG-CATV — TELEPHONE UG CABLE, POSTAL & MANHOLE
— UG-UG-PHONE — TELEPHONE UG CABLE, MANHOLE & MANHOLE
— UG-ELEC — ELEC. UG CABLE, MANHOLE, METER & MANHOLE
— GAS — GAS MAIN, VALVE & GAS LINE MARKER
— WATER — WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
— SANITARY — SANITARY SEWER, CLEANOUT & MANHOLE
— STORM — STORM SEWER, CLEANOUT & MANHOLE
— COMBINED — COMBINED SEWER & MANHOLE
— SWALE — SWALE, ROAD & BEDDING CATCH BASIN, YARD DRAIN
— VALVE — WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
— MAILBOX — MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
— UNIDENTIFIED — UNIDENTIFIED STRUCTURE
— SPOT ELEVATION — SPOT ELEVATION
— CONTOUR LINE — CONTOUR LINE
— FENCE — FENCE
— GUARD RAIL — GUARD RAIL
— STREET LIGHT — STREET LIGHT
— SIGN — SIGN
- CONC. — CONCRETE
ASPH. — ASPHALT

REFERENCE DRAWINGS

- WATER MAIN — CITY OF BIRMINGHAM ON-LINE GIS MAP
SANITARY SEWER — CITY OF BIRMINGHAM ON-LINE GIS MAP
STORM SEWER — CITY OF BIRMINGHAM ON-LINE GIS MAP
ELECTRIC — DTE ELECTRIC FACILITY MAP #301-362, DATED 10/24/2016
TELEPHONE — GAS MAP SKETCH DATED 4/5/93
GAS — A1&T MAP DATED 10-24-16
CONSUMERS' ENERGY QUARTER SECTION MAP 02-60-36-1, DATED 07-3-16

EXISTING UTILITY NOTE:
UTILITY LOCATIONS SHOWN ON THIS PLAN ARE BASED ON SURVEYED LOCATIONS AND ELEVATIONS WHERE POSSIBLE. OTHER UTILITY LOCATIONS ARE SHOWN BASED ON AVAILABLE REFERENCE PLANS (REF) AND/OR MISS DIG LOCATIONS (PAINT). THE CONTRACTOR IS RESPONSIBLE TO VERIFY UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES AS SOON AS POSSIBLE.

CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

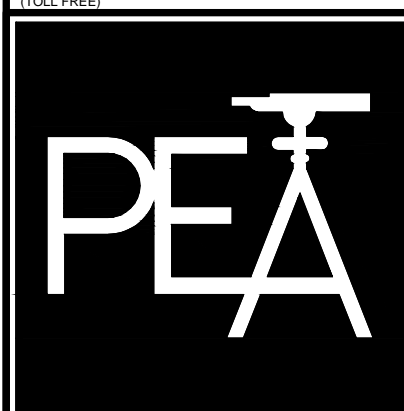
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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY TO CONTRACTORS AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR PARTNER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

3 FULL WORKING DAYS BEFORE YOU DIG CALL

811
Know what's below
Call before you dig
MISS DIG System, Inc.

1-800-482-7171 www.missdig.net



PEA, Inc.

2430 Rochester Ct, Ste 100
Troy, MI 48063-1872
t: 248.689.9090
f: 248.689.1044
www.peainc.com

KOJAIA MANAGEMENT COMPANY
39400 WOODWARD AVENUE, SUITE #250
BLOOMFIELD HILLS, MICHIGAN 48304

TOPOGRAPHIC SURVEY
277 PIERCE AVENUE
PART OF THE NE 1/4 OF SECTION 36, T2N, R4E
CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN 48009

DES: JPB
PLOT: JPB
DN: JPB
SUR: JPB
KTR: JPB
P.M.: JPB

ORIGINAL ISSUE DATE:
MARCH 10, 2017

PEA JOB NO. 2016-279

SCALE: 1" = 10'

DRAWING NUMBER:

C-1.0

NOT FOR CONSTRUCTION

XREF: S:\PROJECTS\2016\2016279\DWG\16279-TOPOBASE.DWG
REF: S:\PROJECTS\2016\2016279\DWG\16279-SITE PLAN V04-05-16279.DWG
XREF: S:\PROJECTS\2016\2016279\DWG\16279-SITE PLAN V04-05-16279.DWG

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X'. AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125005377, DATED SEPTEMBER 29, 2006.

BENCHMARKS
(GPS DERIVED - NAVD88)

BM #300
ARROW ON HYDRANT LOCATED APPROX. 5'± WEST OF THE CURB ON THE WEST SIDE OF PIERCE STREET AND APPROX. 47'± FROM THE INTERSECTION OF PIERCE STREET & MERRILL STREET.
ELEV. - 780.56

LEGAL DESCRIPTION
(PER ATA NATIONAL TITLE GROUP, LLC., COMMITMENT #63-16498839-SCM, EFFECTIVE DATE SEPT. 16, 2016)

THE LAND REFERRED TO IN THIS COMMITMENT IS SITUATED IN THE CITY OF BIRMINGHAM, COUNTY OF OAKLAND COUNTY, STATE OF MICHIGAN, AS FOLLOWS:

LOT 10, ASSESSOR'S PLAN NO. 24, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 54A OF PLATS, PAGE 72, OAKLAND COUNTY RECORDS.

SIDEWALK RAMP LEGEND:

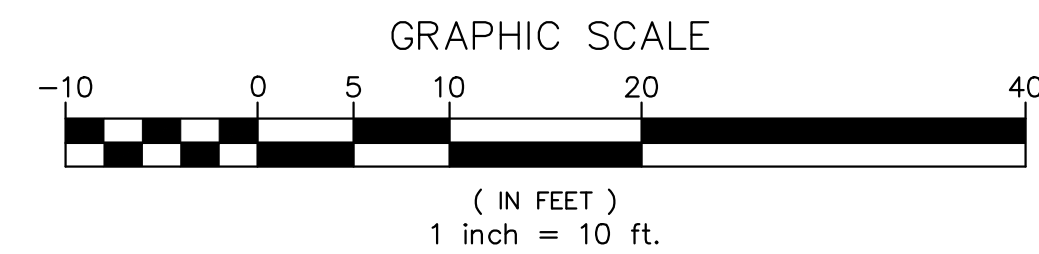
SIDEWALK RAMP 'TYPE D' ®

REFER TO LATEST M.D.O.T. R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS AND CITY OF BIRMINGHAM CBD STREETSCAPE DETAILS FOR SIDEWALK RAMP DETAILS

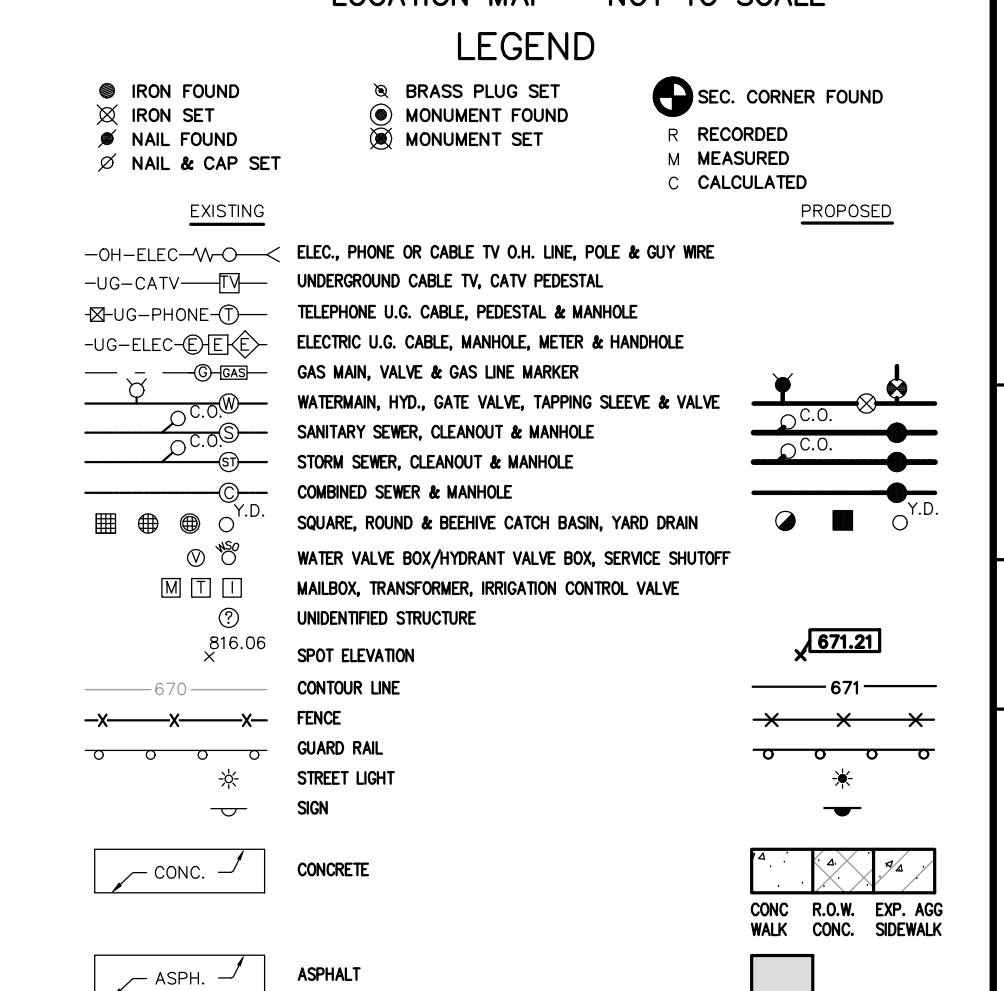
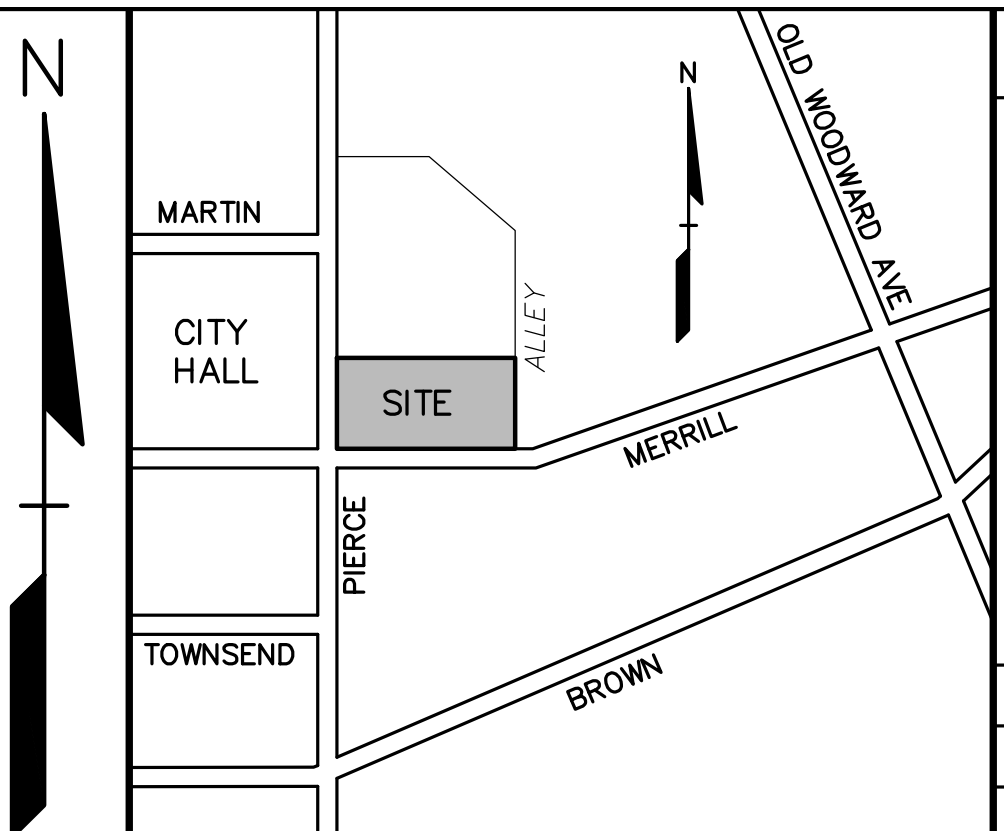
SIGN LEGEND:

'NO PARKING TO CORNER' SIGN ①
'STOP' SIGN ②

REFER TO SHEETS C-8.1 FOR SIGN DETAILS



- GENERAL NOTES:**
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
 - REFER TO SHEET C-8.1 FOR ON-SITE PAVING DETAILS.
 - 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF BIRMINGHAM CURRENT STANDARDS AND REGULATIONS.
 - THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
 - ANY WORK WITHIN THE STREET OR HIGHWAY RIGHTS-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITHIN GRADED AND /OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.



REFERENCE DRAWINGS

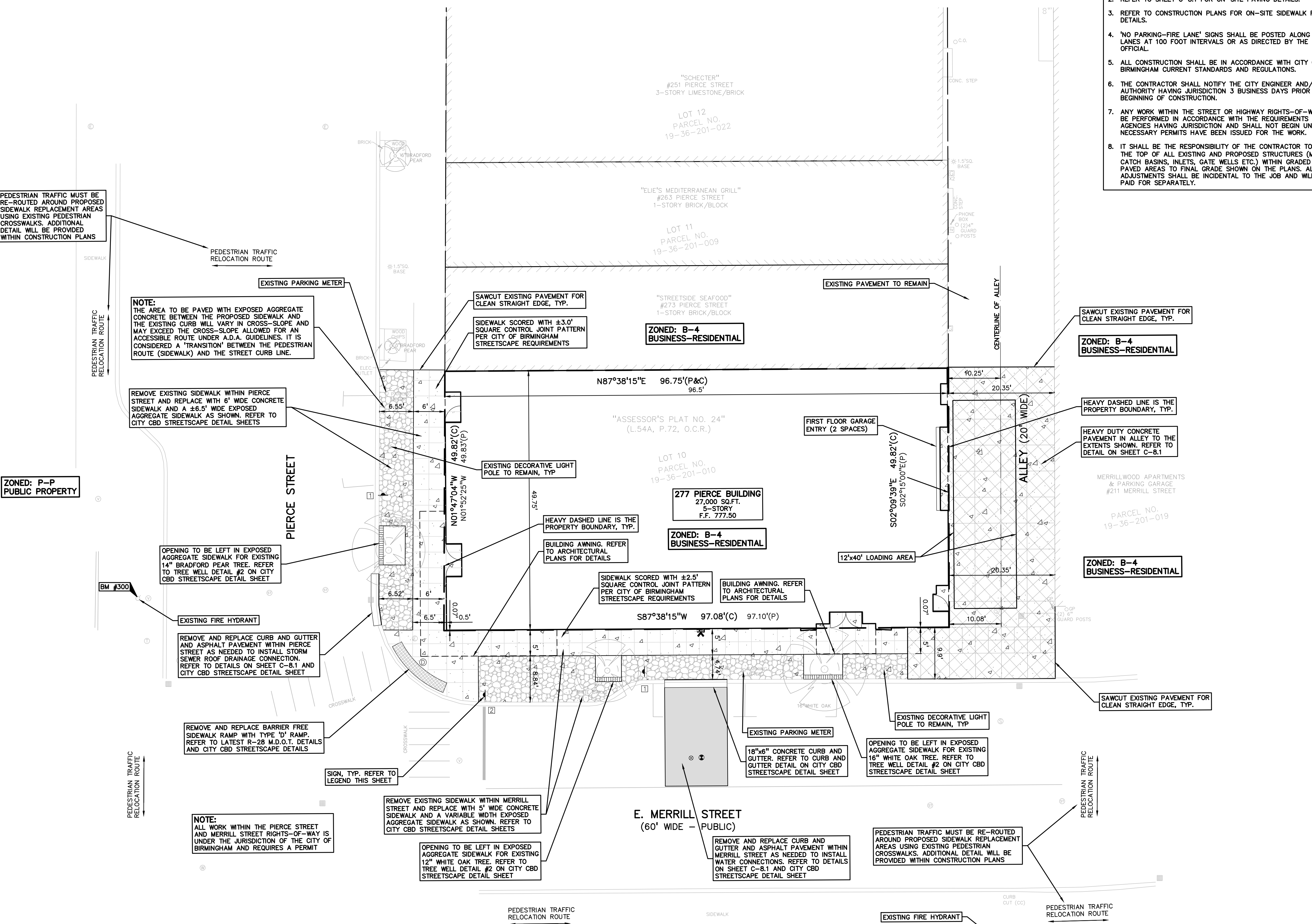
WATER MAIN
SANITARY SEWER
STORM SEWER
ELECTRIC
TELEPHONE
GAS

CITY OF BIRMINGHAM ON-LINE GIS MAP
CITY OF BIRMINGHAM ON-LINE GIS MAP
CITY OF BIRMINGHAM ON-LINE GIS MAP
DTE ELECTRIC FACILITY MAP #301-382, DATED 10/24/2016
DTE CONDUIT MAP BLM 99-1
GAS MAP SKETCH DATED 4/5/93
AT&T MAP DATED 10-24-16
CONSUMERS ENERGY QUARTER SECTION MAP 02-60-36-1, DATED 07-31-16

EXISTING UTILITY NOTE:
UTILITY LOCATIONS SHOWN ON THIS PLAN ARE BASED ON SURVEYED LOCATIONS AND ELEVATIONS WHERE POSSIBLE. OTHER UTILITY LOCATIONS ARE SHOWN BASED ON AVAILABLE REFERENCE PLANS (REF) AND/OR MISS DIG LOCATIONS (PAINT). THE CONTRACTOR IS RESPONSIBLE TO VERIFY UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES AS SOON AS POSSIBLE.

SITE DATA TABLE:

SITE AREA:	0.111 ACRES (4,828 SQ.FT.) NET AND GROSS
ZONING:	B-4, BUSINESS-RESIDENTIAL, D-4 OVERLAY
PROPOSED USE:	FIRST FLOOR COMMERCIAL, SECOND-THIRD-FOURTH FLOORS OFFICE, FIFTH FLOOR RESIDENTIAL
BUILDING INFORMATION:	
MAXIMUM ALLOWABLE BUILDING HEIGHT =	60 FEET (5 STORIES)
MINIMUM ALLOWABLE BUILDING HEIGHT =	20 FEET TO EAVES
PROPOSED BUILDING HEIGHT =	55'-6" TO EAVE
69'-0" BUILDING HEIGHT	
75'-0" TOTAL HEIGHT (INC. MECH. SCREEN)	
BUILDING FOOTPRINT AREA =	4,800 SQ.FT.
GROSS BUILDING AREA =	27,000 SQ.FT.
SETBACK REQUIREMENTS:	
B-4 ZONING DISTRICT:	
FRONT SETBACK (SOUTH AND WEST):	0 FEET REQUIRED 0.07' PROVIDED
SIDE SETBACK (NORTH):	0 FEET REQUIRED 0' PROVIDED
REAR SETBACK (EAST):	10 FEET REQUIRED 10.08' PROVIDED*
*REAR SETBACK MEASURED TO CENTERLINE OF ADJACENT ALLEY	
PARKING CALCULATIONS:	
PARKING PROVIDED FOR COMMERCIAL AND OFFICE USES THROUGH THE SPECIAL PARKING DISTRICT	
RESIDENTIAL UNIT HAS 2 SPACES WITHIN A FIRST FLOOR GARAGE	
LOADING CALCULATIONS:	
LOADING REQUIRED =	TWO LOADING SPACES REQUIRED
A REDUCTION OF ONE LOADING SPACE IS ALLOWED PER 40' OF ALLEY FRONTAGE THEREFORE ONE LOADING SPACE IS REQUIRED.	
ONE LOADING SPACE IS PROVIDED IN THE ADJACENT ALLEY	



REVISIONS

NO.	BY	CHK.	DESCRIPTION	DATE
1	JPB	JPB	REVISED PER CITY REVIEW COMMENTS	06/29/17
2	JPB	JPB	PRELIMINARY SITE PLAN REVIEW	03/10/17

CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

THIS DRAWING AND DESIGN ARE THE PROPERTY OF PEA, INC. THEY ARE SUBMITTED ON THE CONDITION THAT THEY ARE NOT TO BE USED, REPRODUCED, OR COPIED, IN WHOLE OR IN PART, OR USED FOR FURNISHING INFORMATION TO OTHERS, WITHOUT THE PRIOR WRITTEN CONSENT OF PEA, INC. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED. © 2017 PEA, INC.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY TO CONTRACTORS AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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KOJAIA MANAGEMENT COMPANY

39400 WOODWARD AVENUE, SUITE #250
BLOOMFIELD HILLS, MICHIGAN 48304

SITE PLAN

277 PIERCE AVENUE

PART OF THE NE 1/4 OF SECTION 36, T2N, R10E
CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN 48009

JDES JPB DN PB SUR KTR JPB

3/27/2017 3:00 PM

ORIGINAL ISSUE DATE:
MARCH 10, 2017

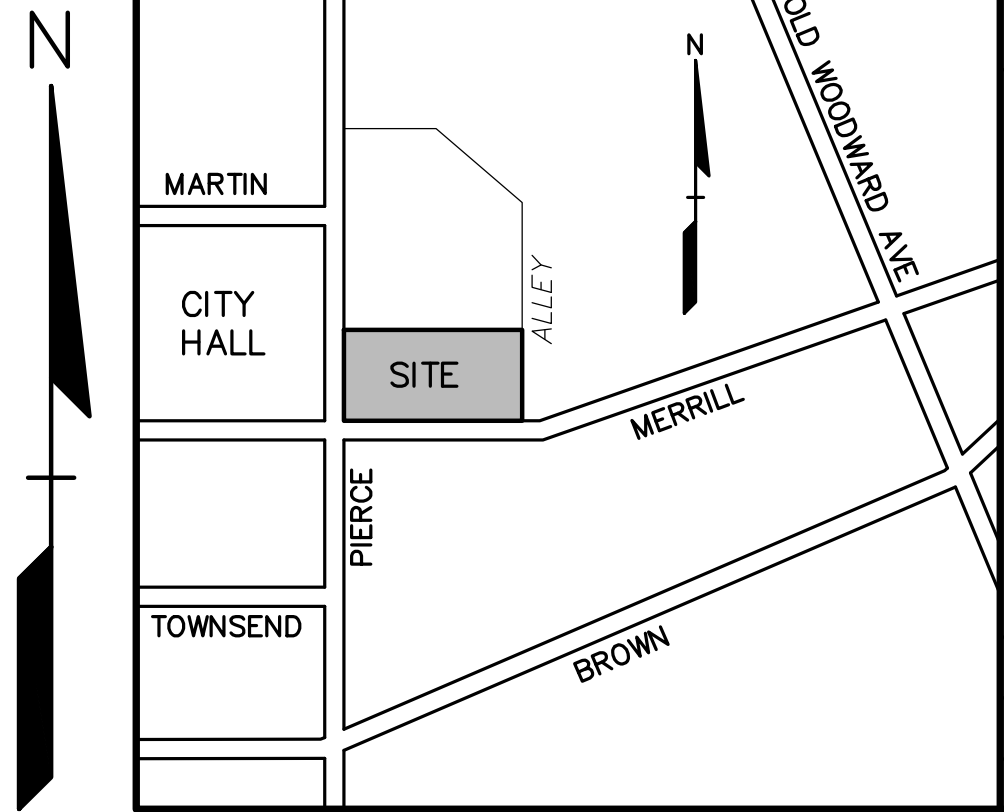
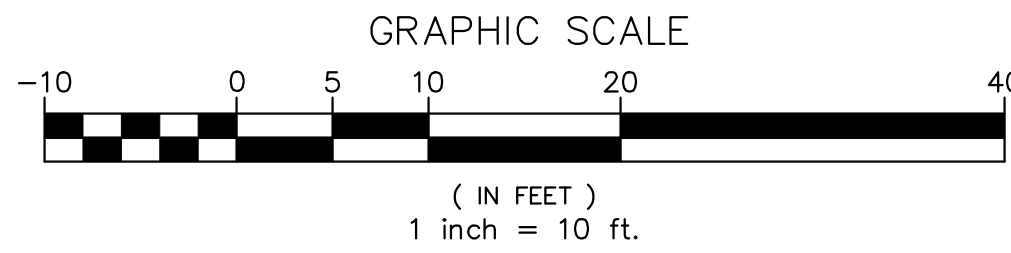
PEA JOB NO. 2016-279

SCALE: 1" = 10'

DRAWING NUMBER:
C-3.0

FLOODPLAIN NOTE:
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BENCHMARKS
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ELEV. - 780.56



REVISIONS	
NO.	DESCRIPTION
1	PRELIMINARY SITE PLAN REVIEW
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3	REVISED PER CITY REVIEW COMMENTS
4	REVISED PER CITY REVIEW COMMENTS
5	REVISED PER CITY REVIEW COMMENTS
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100	REVISED PER CITY REVIEW COMMENTS

CITY OF BIRMINGHAM
STORM WATER RUNOFF CONTROL

Project Location: 277 Pierce Street (at Merrill Street)
Designed by: Paul Bater, PEA

Permit No. _____
Date: _____

PE: Yes No

	(A) Exist. *	(B) Proposed	
(1) Affected Area	0.111	0.111	acres
(2) Area of Impervious Surface	0.111	0.111	acres
(3) Percent Impervious	100	100	%
(4) Runoff Factor	2.40	2.40	cfs/acre
(5) Unrestricted Runoff Rate	0.266	0.266	cfs
(6) Maximum Permitted Runoff Rate	-	0.266	cfs
(7) Uncontrolled Runoff Area	-	-	acres
(8) Area of Impervious Surfaces - Uncontrolled Runoff Area	-	-	acres
(9) Runoff Factor - Uncontrolled Runoff Area	-	-	%
(10) Runoff Factor - Uncontrolled Runoff Area	-	-	cfs/acre
(11) Runoff Rate - Uncontrolled Runoff Area	-	-	cfs
(12) Maximum Permitted Runoff Rate via Sewer Service Connection	-	-	cfs
(13) Runoff Rate per Acre	-	-	cfs/acre
(14) Required Storage per Acre	-	-	cu.ft./acre
(15) Required Storage for Parcel	-	-	cu.ft.

PROPOSED DESIGN

(16) Design Storage	-	cu.ft.
(17) Design Outlet Capacity to Sewer Service	-	cfs

Approved by: _____
City Engineer

* Existing Prior to Re-Development

NOTE:
BASED ON THE CITY OF BIRMINGHAM STORM WATER DETENTION WORKSHEET, THIS SITE WILL NOT REQUIRE STORM WATER DETENTION AS THE POST-DEVELOPMENT RUNOFF RATE WILL BE THE SAME AS THE EXISTING RUNOFF RATE.

LEGEND

● IRON FOUND
✕ IRON SET
● NAIL FOUND
✕ NAIL & CAP SET

● BRASS PLUG SET
● MONUMENT FOUND
● MONUMENT SET

● SEC. CORNER FOUND
R RECORDED
M MEASURED
C CALCULATED

EXISTING
-OH-ELEC-W- O ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
-UG-CATV- UG UNDERGROUND CABLE TV, CATV PEDESTAL
-UG-PHONE- UG TELEPHONE U.S. CABLE, PEDESTAL & MANHOLE
-UG-ELEC- UG ELECTRIC U.S. CABLE, MANHOLE, METER & MANHOLE
-GAS- GAS MAIN, VALVE & GAS LINE MARKER
-WATER- WATERMAIN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE
-SEWER- COMBINED SEWER, CLEANOUT & MANHOLE
-STORM- STORM SEWER, CLEANOUT & MANHOLE
-SINK- SINK, BATH, WASH, CATCH BASIN, YARD DRAIN
-WATER- WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
-MAIL- MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
-UNIDENT- UNIDENTIFIED STRUCTURE
-SPOT- SPOT ELEVATION
-CONTOUR- CONTOUR LINE
-FENCE- FENCE
-GUARD- GUARD RAIL
-STREET- STREET LIGHT
-SIGN- SIGN

PROPOSED
-OH-ELEC-W- O ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
-UG-CATV- UG UNDERGROUND CABLE TV, CATV PEDESTAL
-UG-PHONE- UG TELEPHONE U.S. CABLE, PEDESTAL & MANHOLE
-UG-ELEC- UG ELECTRIC U.S. CABLE, MANHOLE, METER & MANHOLE
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-STREET- STREET LIGHT
-SIGN- SIGN

CONC. CONCRETE
ASPH. ASPHALT

CONC. R.O.W. EXP. AGG. WALK CONC. SIDEWALK R.O.W. ASPHALT

REFERENCE DRAWINGS

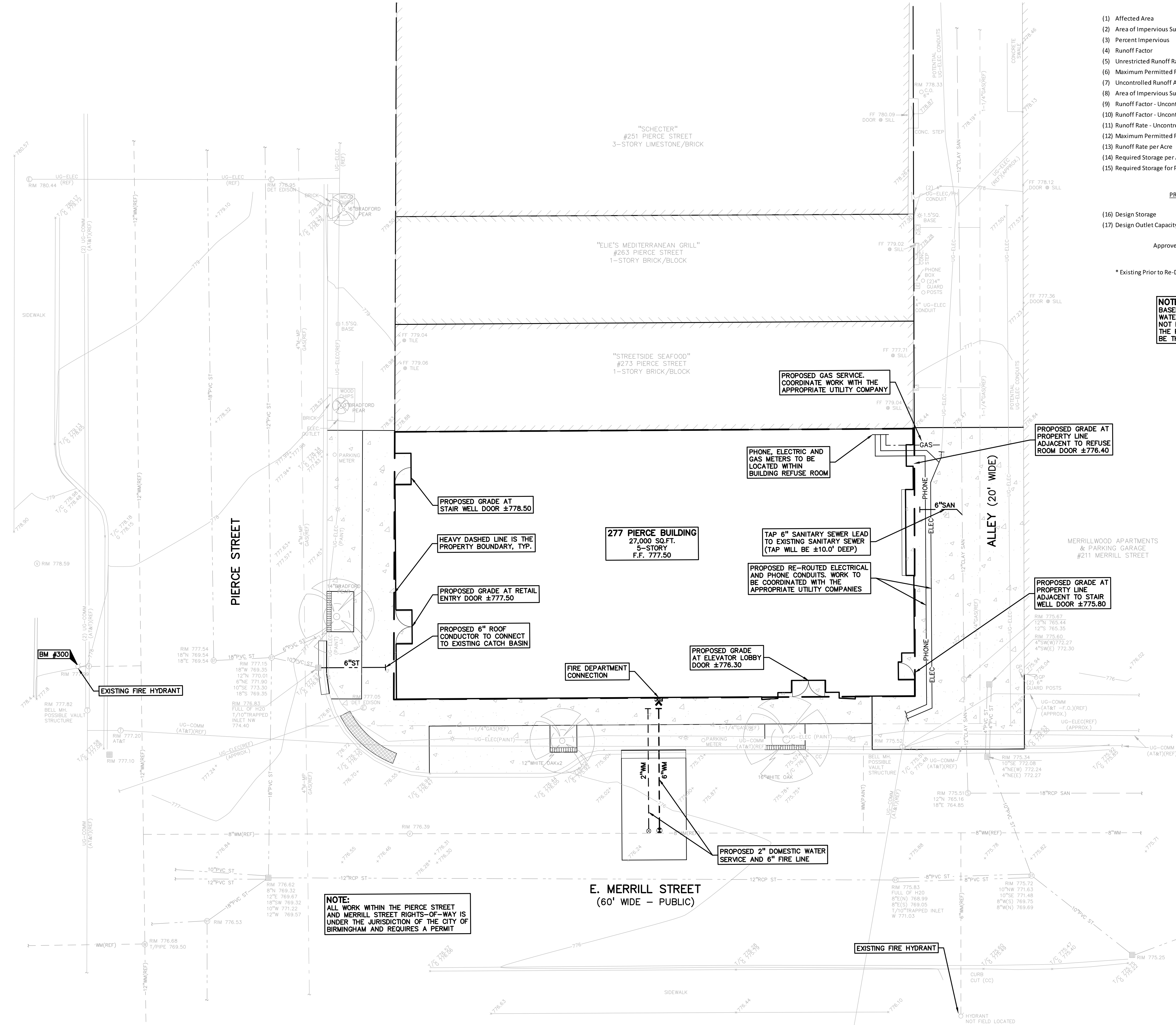
WATER MAIN: CITY OF BIRMINGHAM ON-LINE GIS MAP
SANITARY SEWER: CITY OF BIRMINGHAM ON-LINE GIS MAP
STORM SEWER: CITY OF BIRMINGHAM ON-LINE GIS MAP
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TELEPHONE: GAS MAP SKETCH DATED 4/5/93
GAS: A1&T MAP DATED 10-24-16
CONSUMERS' ENERGY QUARTER SECTION MAP 02-60-36-1, DATED 07-31-16

EXISTING UTILITY NOTE:
UTILITY LOCATIONS SHOWN ON THIS PLAN ARE BASED ON SURVEYED LOCATIONS AND ELEVATIONS WHERE POSSIBLE. OTHER UTILITY LOCATIONS ARE SHOWN BASED ON AVAILABLE REFERENCE PLANS (REF) AND/OR MISS DIG LOCATIONS (PAINT). THE CONTRACTOR IS RESPONSIBLE TO VERIFY UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES AS SOON AS POSSIBLE.

GENERAL UTILITY NOTES:

- ALL UTILITY LINES, STRUCTURES AND TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE CITY OF BIRMINGHAM.
- NO PHYSICAL CONNECTION TO THE EXISTING WATER MAIN CAN BE MADE UNTIL ALL NEW WATER MAIN PASSES PRESSURE AND BACTERIOLOGICAL TESTS TO THE SATISFACTION OF THE CITY.
- REFER TO DETAIL SHEET C-8.1 FOR ADDITIONAL UTILITY DETAILS AND NOTES.
- ALL WATER MAIN AND FITTINGS (3" DIAMETER AND LARGER) SHALL BE DUCTILE IRON, CLASS 54.
- WATER MAIN SERVICE LEADS SHALL BE TYPE "K" ANNEALED SEAMLESS COPPER WITH FLARED FITTINGS, UNLESS OTHERWISE NOTED.
- ALL WATER MAIN SHALL BE PROVIDED WITH 5.5' OF COVER UNLESS OTHERWISE NOTED.
- ALL NECESSARY FITTINGS, THRUST BLOCKS, RESTRAINING GLANDS, BLOW OFFS, ETC. FOR WATER MAIN ARE CONSIDERED INCIDENTAL TO THIS PROJECT. THE CONTRACTOR SHALL INSTALL THESE ITEMS AS NECESSARY AND AS REQUIRED BY THE CITY OF BIRMINGHAM.
- ALL SANITARY SEWER LEADS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 23.5 PIPE AND FITTINGS. ALL JOINTS TO BE ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED.
- SANITARY LEADS SHALL BE PROVIDED WITH CLEANOUTS EVERY 100 FEET AND AT EVERY BEND AS SHOWN. ALL CLEANOUTS TO BE PROVIDED WITH E.J.W. #565 BOX OR EQUAL.
- ALL STORM SEWER LEADS SHALL BE PVC SCHEDULE 40 WITH GLUED JOINTS UNLESS OTHERWISE NOTED.
- PIPE LENGTHS ARE GIVEN FROM CENTER OF STRUCTURE AND TO END OF FLARED END SECTION UNLESS NOTED OTHERWISE.
- THE CITY OF BIRMINGHAM STANDARD DETAIL SHEETS ARE INCORPORATED INTO AND MADE A PART OF THESE PLANS. CONTRACTOR TO REFER TO THE CITY OF BIRMINGHAM STANDARD DETAIL SHEETS FOR ALL STRUCTURE, PIPE MATERIALS, BEDDING, TESTING, ETC. NOTES AND DETAILS.

SAND BACKFILL NOTE:
ALL UTILITIES UNDER PAVEMENT OR WITHIN 3' OF THE EDGE OF PAVEMENT (OR WITHIN THE 45° LINE OF INFLUENCE OF PAVEMENT) SHALL HAVE M.D.O.T. CLASS II GRANULAR BACKFILL COMPACTED TO 95% MAX. DRY DENSITY (ASTM D-1557).



NOT FOR CONSTRUCTION

XREF: S:\PROJECTS\2016\2016279\DWG\16279-TOPBASE.DWG
XREF: S:\PROJECTS\2016\2016279\DWG\16279-SITE PLAN VBASE-16279.DWG
XREF: S:\PROJECTS\2016\2016279\DWG\16279-SITE PLAN\BLK-16279.DWG

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f: 248.689.1044
www.peainc.com

KOJAIA MANAGEMENT COMPANY
39400 WOODWARD AVENUE, SUITE #250
BLOOMFIELD HILLS, MICHIGAN 48304

PRELIMINARY UTILITY PLAN
277 PIERCE AVENUE
PART OF THE NE 1/4 OF SECTION 36, T2N, R10E
CITY OF BIRMINGHAM, OKLAHOMA COUNTY, MICHIGAN 48009

DES: JPB
SUR: JPB
KTR: JPB
DN: JPB
PB: JPB
SUR: JPB
KTR: JPB
DN: JPB
PB: JPB

ORIGINAL ISSUE DATE:
MARCH 10, 2017

PEA JOB NO. 2016-279

SCALE: 1" = 10'

DRAWING NUMBER:
C-6.0

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF BIRMINGHAM AND M.D.O.T.
2. THE CONTRACTOR MUST CONTACT THE ENGINEER SHOULD THEY ENCOUNTER ANY DESIGN ISSUES DURING CONSTRUCTION. IF THE CONTRACTOR MAKES DESIGN MODIFICATIONS WITHOUT THE WRITTEN DIRECTION OF THE DESIGN ENGINEER, THE CONTRACTOR DOES SO AT HIS OWN RISK.
3. ALL NECESSARY PERMITS, TESTING, BONDS AND INSURANCES ETC., SHALL BE PAID FOR BY THE CONTRACTOR. THE OWNER SHALL PAY FOR ALL CITY INSPECTION FEES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE PERIODS OF CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO THE JOB.
5. THE CONTRACTOR SHALL NOTIFY MISS DIG (811) AND REPRESENTATIVES OF OTHER UTILITIES IN THE VICINITY OF THE WORK A MINIMUM OF 72 HOURS PRIOR TO START OF CONSTRUCTION (EXCLUDING WEEKENDS AND HOLIDAYS) FOR LOCATION AND STAKING OF ON-SITE UTILITY LINES. IF NO NOTIFICATION IS GIVEN AND DAMAGE TO RESULTING UTILITIES WILL BE REPAIRED AT SOLE EXPENSE OF THE CONTRACTOR. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
6. CONTRACTOR TO VERIFY THAT THE PLANS AND SPECIFICATIONS ARE THE VERY LATEST PLANS AND SPECIFICATIONS AND FURTHERMORE, VERIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN APPROVED. ALL ITEMS CONSTRUCTED BY THE CONTRACTOR PRIOR TO RECEIVING FINAL APPROVAL, HAVING TO BE REMOVED OR RE-DOED SHALL BE AT THE CONTRACTORS EXPENSE. SHOULD THE CONTRACTOR ENCOUNTER A CONFLICT BETWEEN THESE PLANS AND/OR SPECIFICATIONS, THEY SHALL SEEK CLARIFICATION IN WRITING FROM THE ENGINEER BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
7. ALL PROPERTIES OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DESTROYED OR OTHERWISE DISTURBED DUE TO CONSTRUCTION, SHALL BE REPLACED AND/OR RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR.
8. MANHOLE, CATCH BASIN, GATE VALVES AND HYDRANT FINISH GRADES MUST BE CLOSELY CHECKED AND APPROVED BY THE ENGINEER BEFORE THE CONTRACTOR'S WORK IS CONSIDERED COMPLETE.
9. CONTRACTOR SHALL REMOVE AND DISPOSE OF OFF-SITE ANY TREES, BRUSH, STUMPS, TRASH OR OTHER UNWANTED DEBRIS AT THE OWNER'S DIRECTION, INCLUDING OLD BUILDING FOUNDATIONS AND FLOORS. BURNING OF TRASH, STUMPS OR OTHER DEBRIS SHALL NOT BE PERMITTED.
10. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADING, SIGNAGE, LIGHTS AND TRAFFIC CONTROL DEVICES TO PROTECT THE WORK AND MAINTAIN TRAFFIC IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (EIGHTH EDITION). THE DESIGN ENGINEER, OWNER, CITY AND STATE SHALL NOT BE HELD LIABLE FOR ANY CLAIMS RESULTING FROM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTOR'S FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.
11. ALL EXCAVATIONS SHALL BE SLOPED, SHORED OR BRACED IN ACCORDANCE WITH MI-OSHA REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE AN ADEQUATELY CONSTRUCTED AND BRACED SHORING SYSTEM FOR ALL DEEP WORKING IN AN EXCAVATION THAT MAY EXPOSE EMPLOYEES TO THE DANGER OF MOVING GROUND.

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF BIRMINGHAM AND M.D.O.T.
2. IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
3. ON-SITE FILL CAN BE USED IF THE SPECIFIED COMPACTION REQUIREMENTS CAN BE ACHIEVED. IF ON-SITE SOIL IS USED, IT SHOULD BE CLEAN AND FREE OF FROZEN SOIL ORGANICS, OR OTHER DELETERIOUS MATERIALS.
4. THE FINAL SUBGRADE/EXISTING AGGREGATE BASE SHOULD BE THOROUGHLY PROOFGOLLED USING A FULLY LOADED TANDEM AXLE TRUCK OR FRONT END LOADER UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REINFORCED USING GEORGRIDS OR REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
5. SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUSCEPTIBLE TO FROST HEAVING AND UNSTABLE SOIL CONDITIONS. ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FILL SECTIONS OR BELOW SUBGRADE IN CUT SECTIONS, WILL BE CLASSIFIED AS SUBGRADE UNDERCUTTING.
6. SUBGRADE UNDERCUTTING SHALL BE PERFORMED WHERE NECESSARY AND THE EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ANY SUBGRADE UNDERCUTTING SHALL BE BACKFILLED WITH SAND OR OTHER STABLE APPROVED MATERIAL. BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM UNIT WEIGHT (PER ASTM D-1557) UNLESS OTHERWISE SPECIFIED.
7. BACKFILL UNDER PAVED AREAS SHALL BE AS SPECIFIED ON DETAILS.
8. ANY SUB-GRADE WATERING REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE CONSIDERED INCIDENTAL TO THE JOB.
9. FINAL PAVEMENT ELEVATIONS SHOULD BE SO DESIGNED TO PROVIDE POSITIVE SURFACE DRAINAGE. A MINIMUM SURFACE SLOPE OF 1.0 PERCENT IS RECOMMENDED.
10. CONSTRUCTION TRAFFIC SHOULD BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE INITIAL FILL THICKNESS COULD BE INCREASED AND PLACEMENT OF THE FINAL FILL COULD BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURE, IF ANY DOES OCCUR, AS WELL AS REDUCE LOAD DAMAGE ON THE PAVEMENT SYSTEM.

11. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF BIRMINGHAM.
12. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
13. WHENEVER EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND PERIMETER OF OPENING TO CREATE A PLANE OF WEAKNESS JUST BEFORE BREAKING SECTION OUT.
14. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING UTILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE DESIGN ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. CONTRACTOR TO FIELD VERIFY UTILITIES.
15. THE CONTRACTOR MUST COORDINATE TO ENSURE ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED FOR THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, IRRIGATION, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO THE PLACEMENT OF THE PROPOSED PAVEMENT AND LANDSCAPING.
16. REFER TO CITY OF BIRMINGHAM, STANDARD DETAILS FOR PIPE BEDDING DETAILS.
17. REFER TO CITY OF BIRMINGHAM STANDARD DETAIL SHEETS FOR ADDITIONAL INFORMATION.

1. ALL STORM SEWER 12" AND LARGER SHALL BE RCP CLASS IV UNLESS OTHERWISE NOTED. REFER TO CITY STANDARD DETAILS SHEETS FOR STANDARD BEDDING DETAILS.
2. JOINTS FOR ALL STORM SEWER 12" AND LARGER SHALL BE MODIFIED TONGUE AND GROOVE JOINT WITH RUBBER GASKETS UNLESS SPECIFIED OTHERWISE (ASTM C-443)
3. ALL STORM SEWER LEADS SHALL BE CONSTRUCTED OF PVC SCHEDULE 40 PIPE AT 1.00% MINIMUM SLOPE WITH GLUED JOINTS, UNLESS OTHERWISE NOTED.

1. ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 5.5' BELOW FINISH GRADE. WHEN WATER MAINS MUST DIP TO PASS UNDER A STORM SEWER OR SANITARY SEWER, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE KEPT TO A MINIMUM LENGTH BY THE USE OF VERTICAL TWENTY TWO AND A HALF (22.5") DEGREE BENDS, PROPERLY ANCHORED.
2. ALL TEE'S, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.
3. PHYSICAL CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS UNTIL TESTING IS SATISFACTORILY COMPLETED.
4. MAINTAIN 10' HORIZONTAL CLEARANCE BETWEEN OUTER EDGE OF WATERMAIN AND ANY SANITARY SEWER OR STRUCTURE.
5. ALL WATER MAIN SHALL BE DUCTILE IRON CLASS 54 WITH POLYETHYLENE WRAP.

1. DOWNSPOUTS, WEEP TILE, FOOTING DRAINS OR ANY CONDUIT THAT CARRIES STORM OR GROUND WATER SHALL NOT BE ALLOWED TO DISCHARGE INTO A SANITARY SEWER.
2. ALL SANITARY LEADS SHALL BE CONSTRUCTED OF PVC SDR 23.5 AT 1.00% MINIMUM SLOPE.
3. JOINTS FOR P.V.C. SOLID WALL PIPE SHALL BE ELASTOMERIC (RUBBER GASKET) AS SPECIFIED IN A.S.T.M. DESIGNATION D-3212.

[illegible]

CAUTION!!

THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ON THESE AS-BUILT DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.

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KOJAIAN MANAGEMENT COMPANY

39400 WOODWARD AVENUE, SUITE #250
BLOOMFIELD HILLS, MICHIGAN 48304

NOTES AND DETAILS

277 PIERCE AVENUE

PART OF THE NE 1/4 OF SECTION 36, T2N, R10E
CITY OF BIRMINGHAM, OKLAHOMA COUNTY, MICHIGAN, 48009

DES.	PB	DN	JRB	KTR	JPB	F.M.
V.ARGENTAS/DAVIDSON-277-277 PIERCE (VARSITY SARGY) SURFACING/GRASS REMOV./CUT V.PT#74/LS=16279/mg						

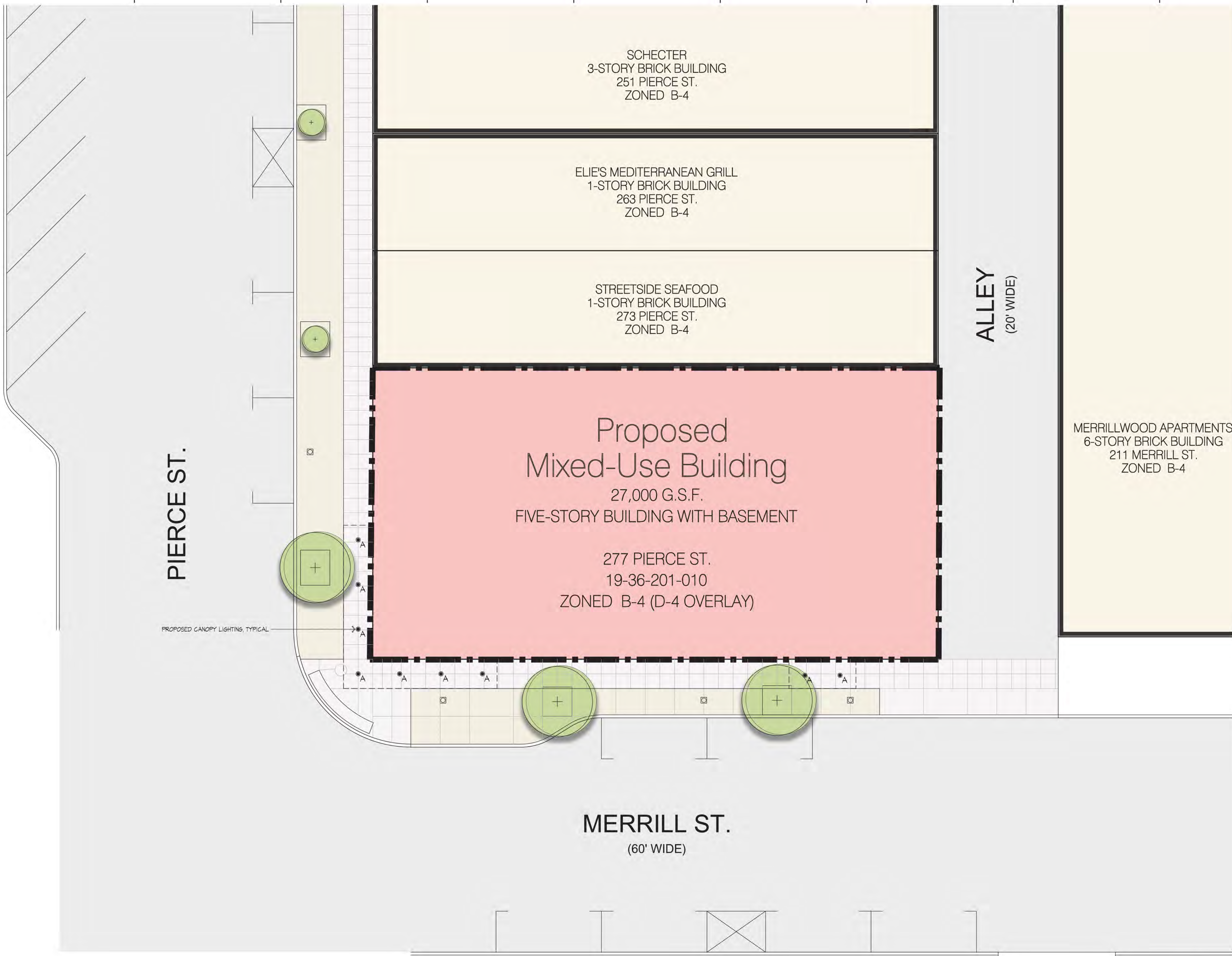
ORIGINAL ISSUE DATE: MARCH 10, 2017
PEA JOB NO. 2016-279
SCALE: NONE
DRAWING NUMBER:

C-8.1

NOT FOR CONSTRUCTION

XREF: S:PROJECTS\2016\2016279\DWG\16279-TOPBASE.DWG
XREF: S:PROJECTS\2016\2016279\DWG\SITE PLAN\CBASE-16279.DWG
XREF: S:PROJECTS\2016\2016279\DWG\SITE PLAN\TBLK-16279.DWG

C-8.1



PIERCE ST.

Proposed
Mixed-Use Building

27,000 G.S.F.
FIVE-STORY BUILDING WITH BASEMENT

277 PIERCE ST.
19-36-201-010
ZONED B-4 (D-4 OVERLAY)

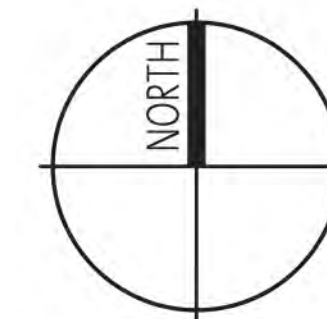
ALLEY
(20' WIDE)

MERRILLWOOD APARTMENTS
6-STORY BRICK BUILDING
211 MERRILL ST.
ZONED B-4

MERRILL ST.
(60' WIDE)

PROPOSED CANOPY LIGHTING, TYPICAL

H6
A010
Architectural Site Plan
SCALE: 1/8" = 1'-0"



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ARCHITECTURE

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F. 248.258.5515

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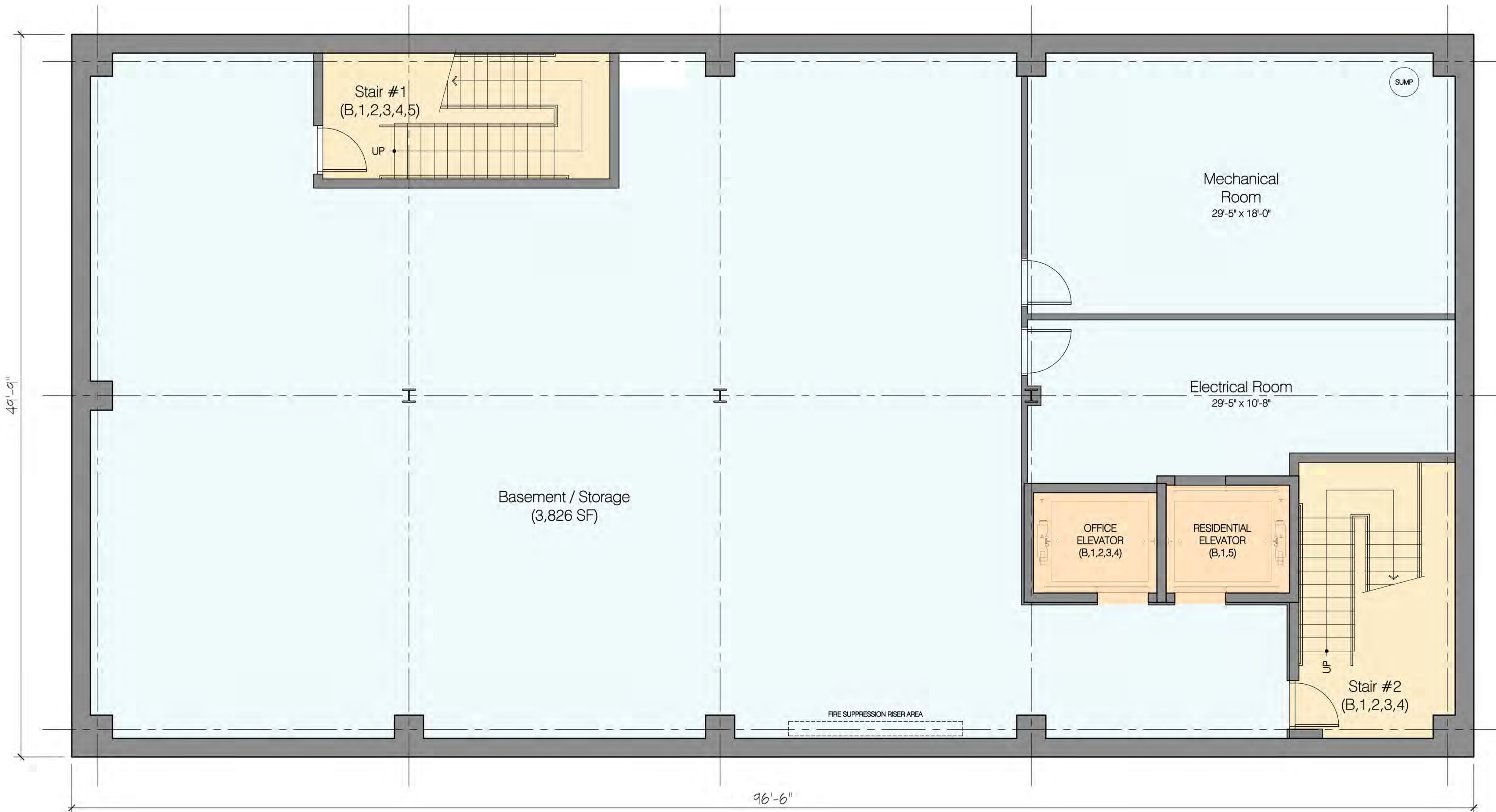
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Kojaian Mixed-Use
277 Pierce
Birmingham, Michigan 48009

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Sheet No.:

A010

ARCHITECTURAL SITE PLAN



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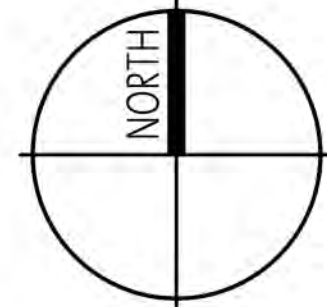
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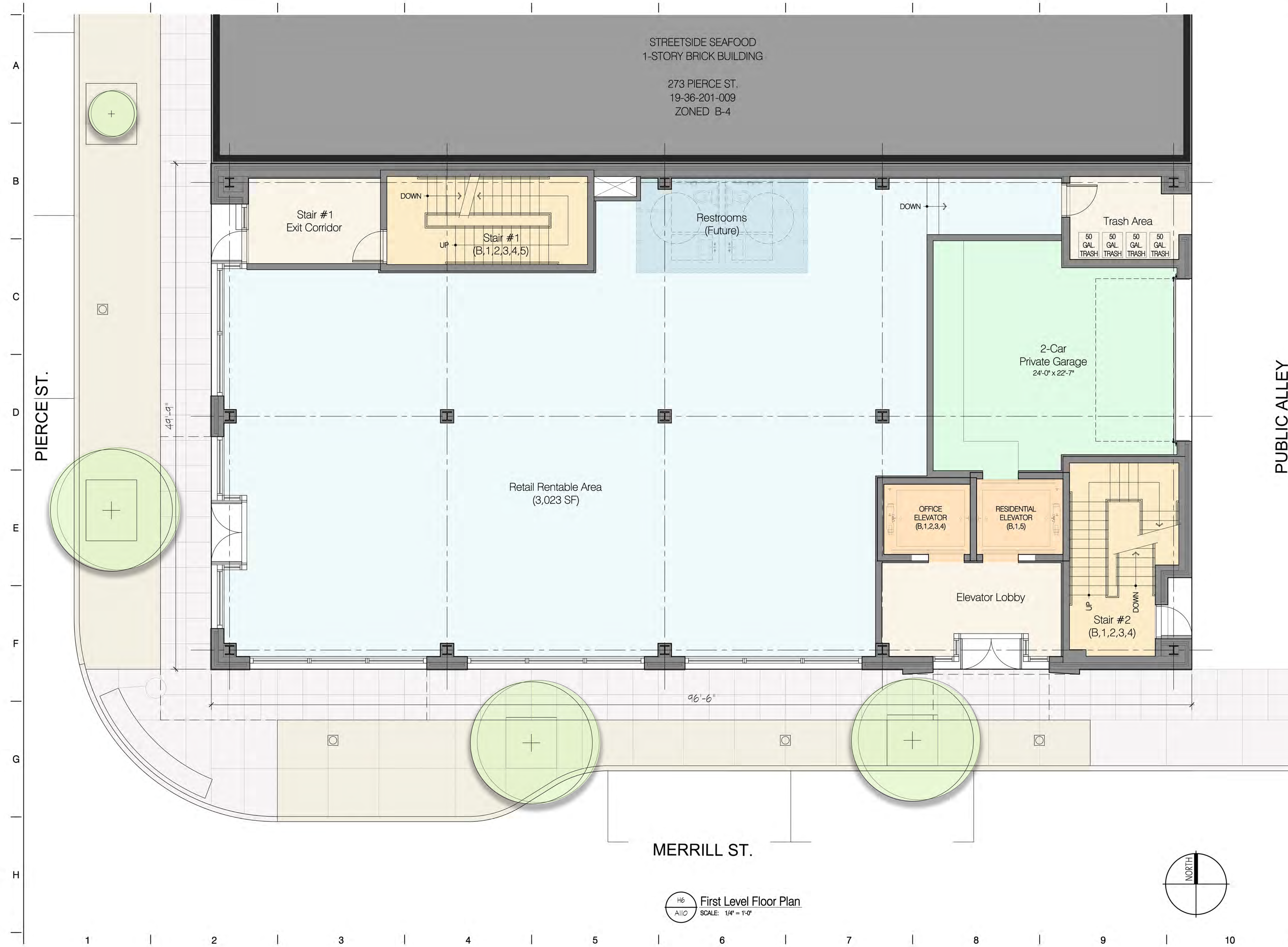
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Sheet No.:

A100
LOWER LEVEL FLOOR PLAN

H6
A100
Lower Level Floor Plan
SCALE: 1/4" = 1'-0"





PUBLIC ALLEY

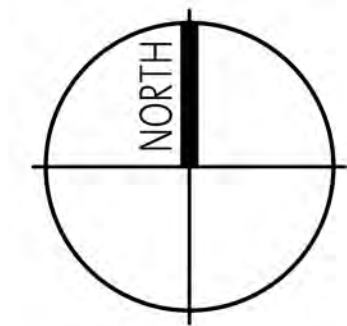
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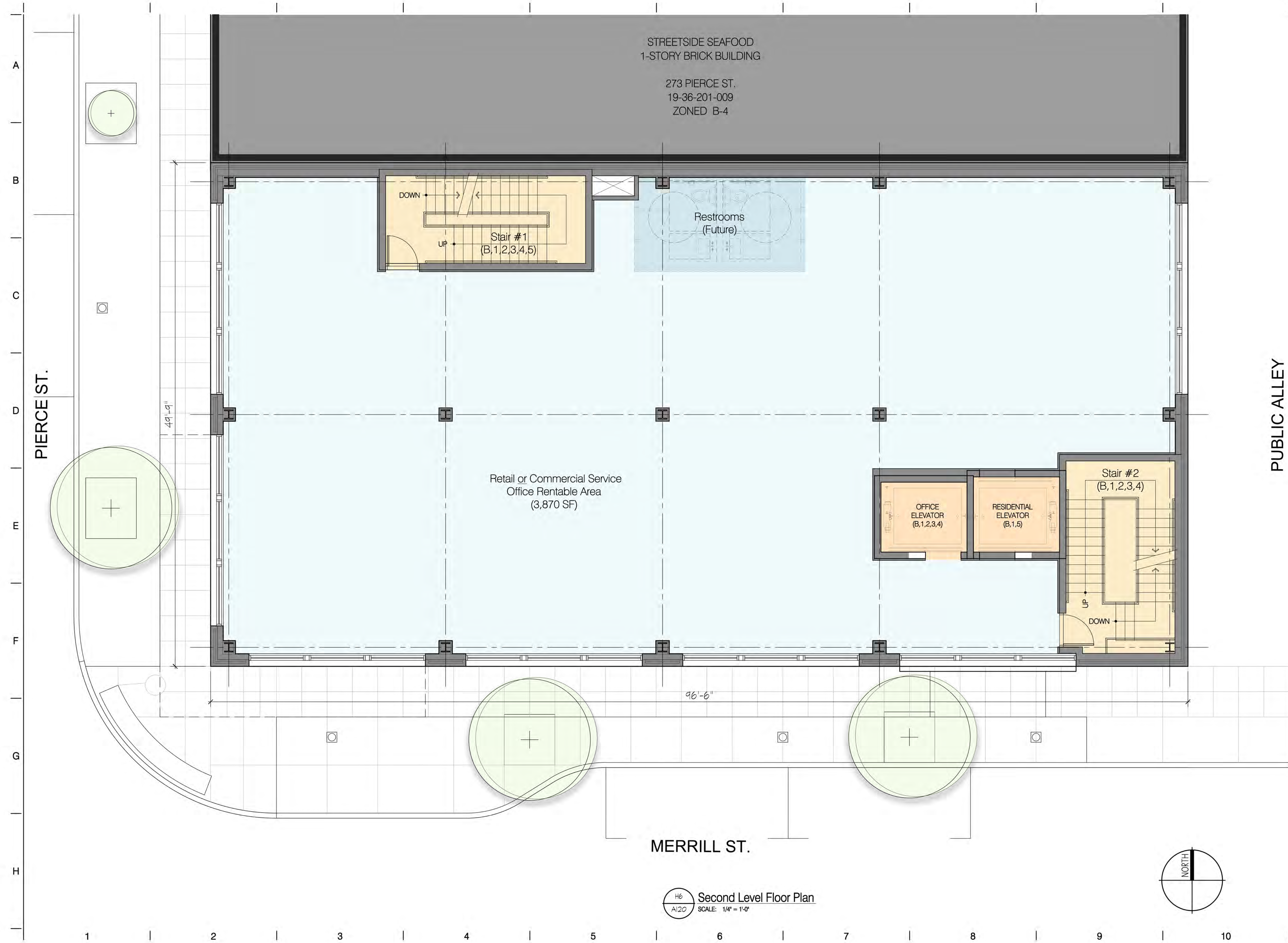
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Sheet No.:
A110
FIRST LEVEL FLOOR PLAN

First Level Floor Plan
SCALE: 1/4" = 1'-0"





STREETSIDE SEAFOOD
1-STORY BRICK BUILDING

273 PIERCE ST.
19-36-201-009
ZONED B-4

Retail or Commercial Service
Office Rentable Area
(3,870 SF)

DOWN
UP
Stair #1
(B,1,2,3,4,5)

Restrooms
(Future)

OFFICE
ELEVATOR
(B,1,2,3,4)

RESIDENTIAL
ELEVATOR
(B,1,5)

Stair #2
(B,1,2,3,4)

DOWN

MERRILL ST.

PUBLIC ALLEY

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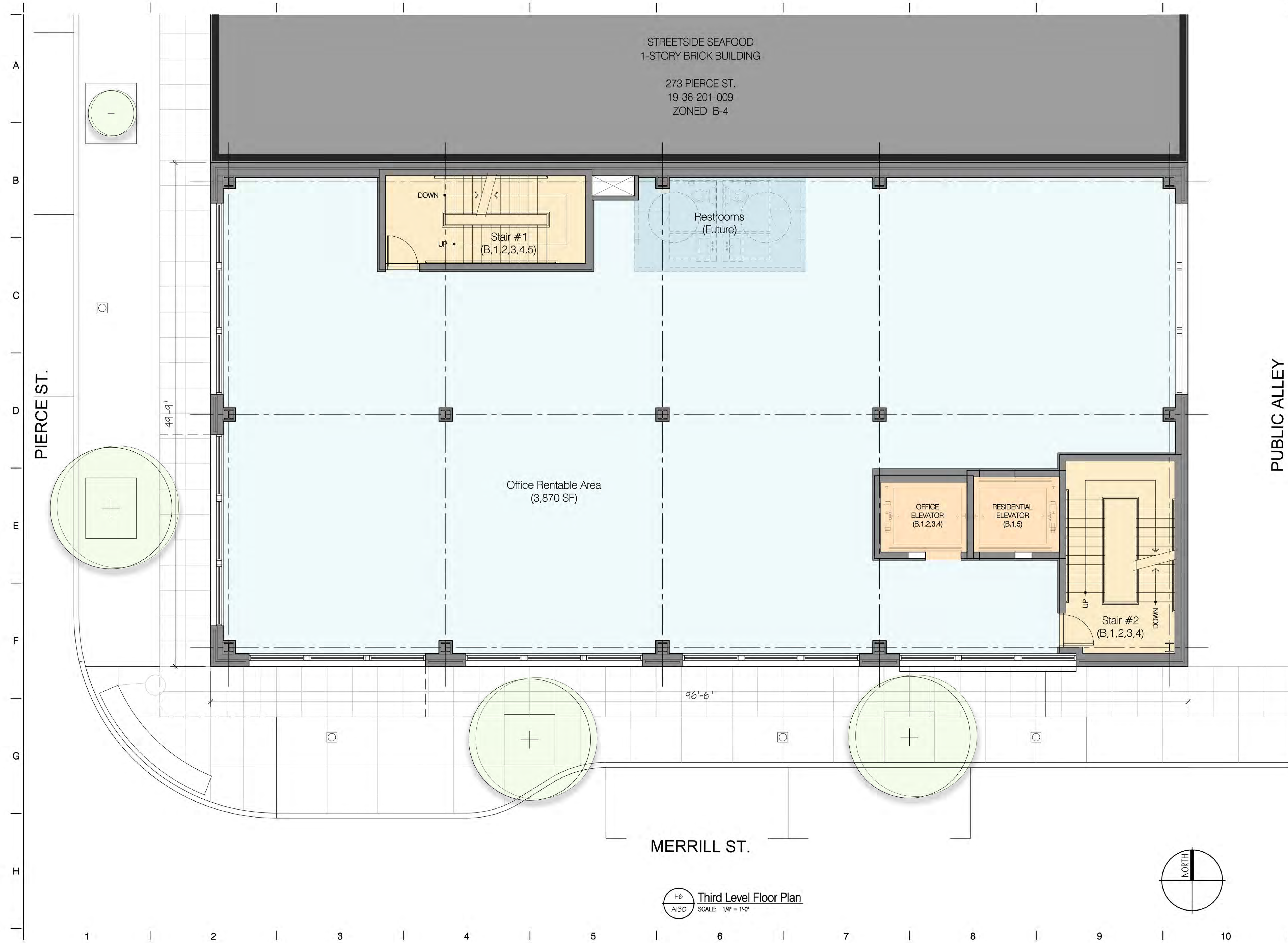
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06-28-2017	SITE PLAN REVIEW

Sheet No.:

A120
SECOND LEVEL FLOOR PLAN

H6
A120
Second Level Floor Plan
SCALE: 1/4" = 1'-0"



H6
A130
Third Level Floor Plan
SCALE: 1/4" = 1'-0"

PUBLIC ALLEY

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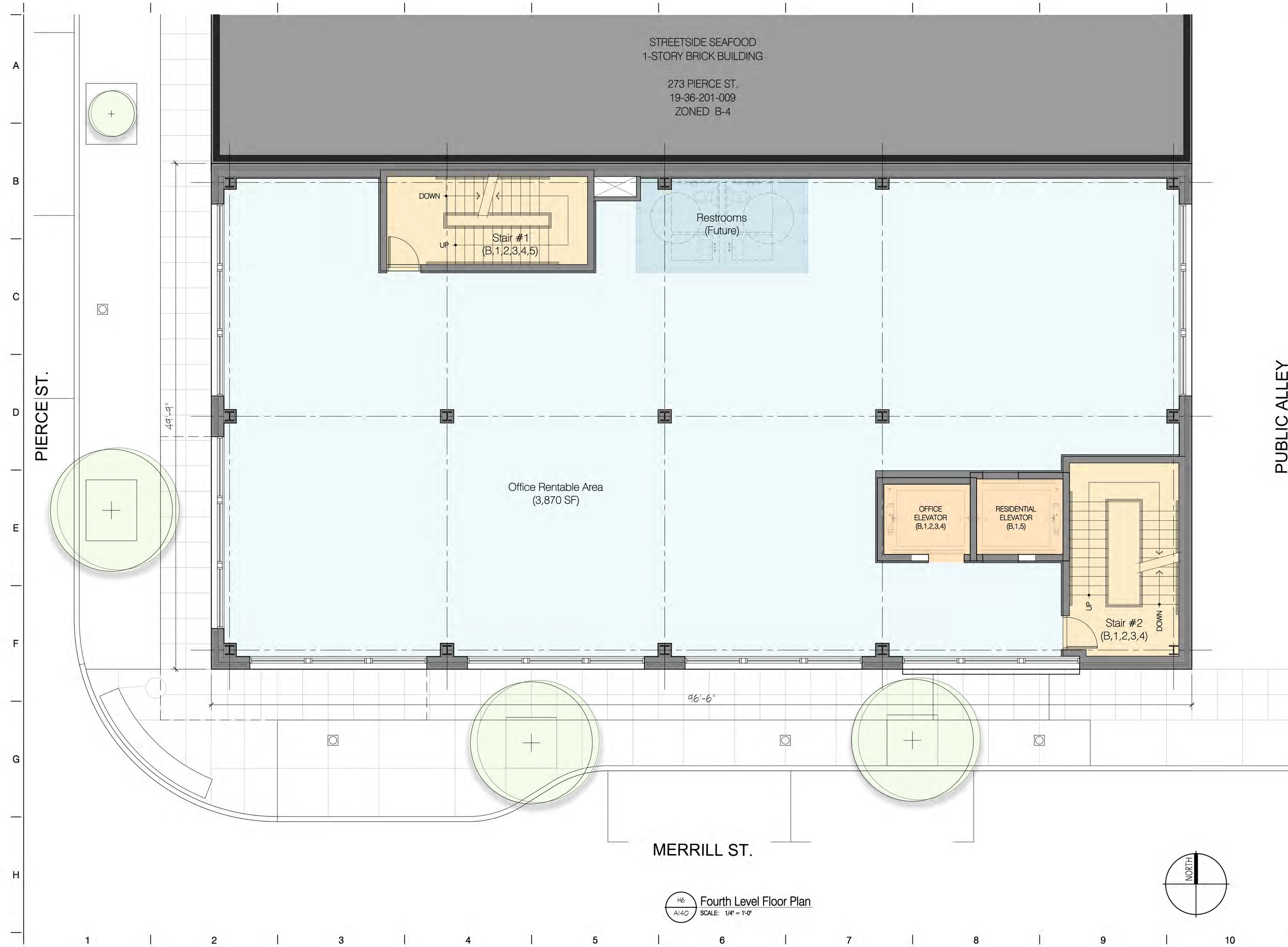
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Sheet No.:

A130
THIRD LEVEL FLOOR PLAN



H6
A140
Fourth Level Floor Plan
SCALE: 1/4" = 1'-0"

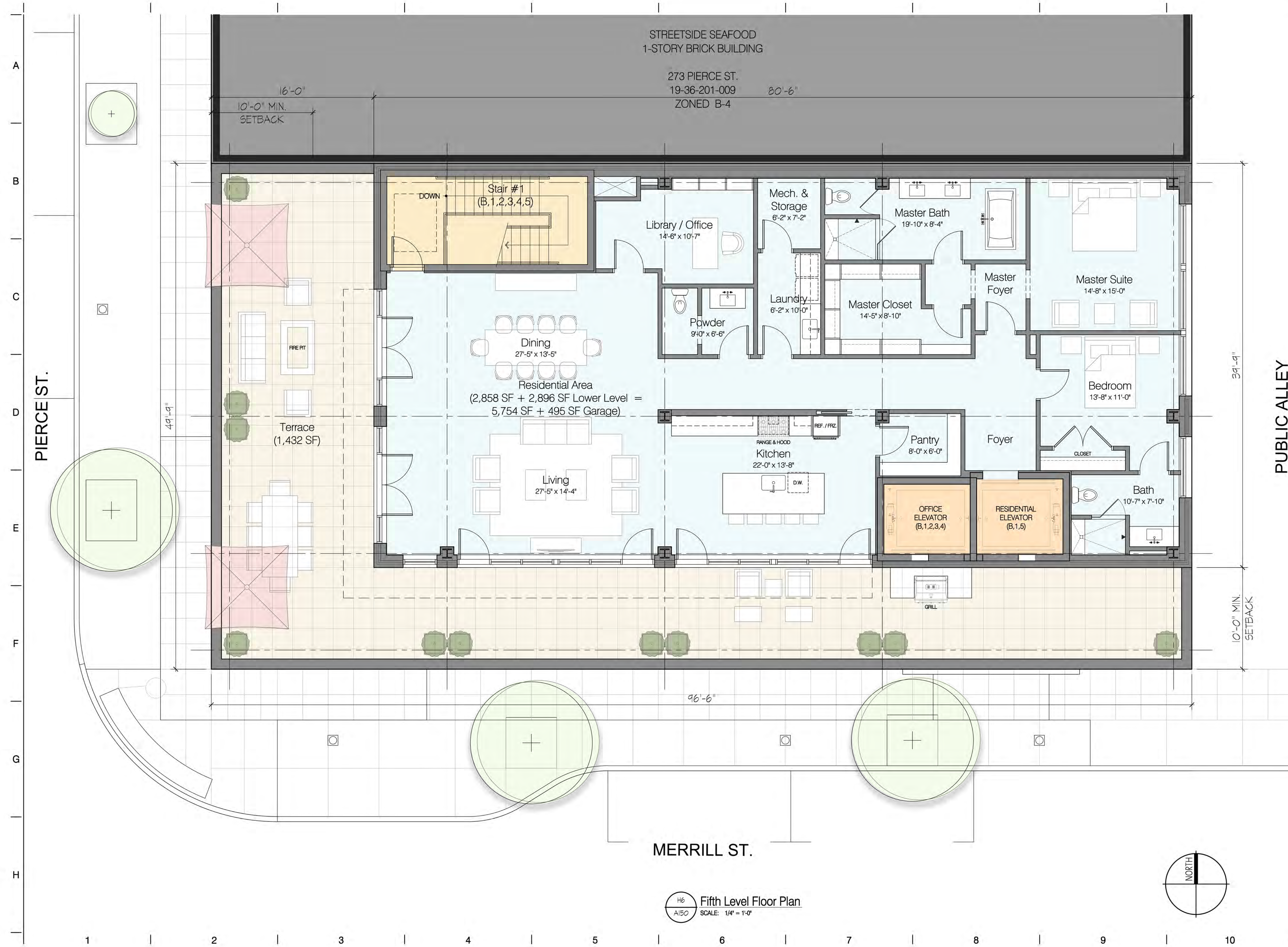
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Sheet No.:
A140
FOURTH LEVEL FLOOR PLAN



STREETSIDE SEAFOOD
1-STORY BRICK BUILDING

273 PIERCE ST.
19-36-201-009
ZONED B-4

Stair #1
(B,1,2,3,4,5)

Library / Office
14'-6" x 10'-7"

Mech. & Storage
6'-2" x 7'-2"

Master Bath
19'-10" x 8'-4"

Master Suite
14'-8" x 15'-0"

Master Foyer

Master Closet
14'-5" x 8'-10"

Laundry
6'-2" x 10'-0"

Powder
9'-0" x 6'-6"

Dining
27'-5" x 13'-5"

Residential Area
(2,858 SF + 2,896 SF Lower Level =
5,754 SF + 495 SF Garage)

Terrace
(1,432 SF)

Living
27'-5" x 14'-4"

Kitchen
22'-0" x 13'-8"

Pantry
8'-0" x 6'-0"

Foyer

Bedroom
13'-8" x 11'-0"

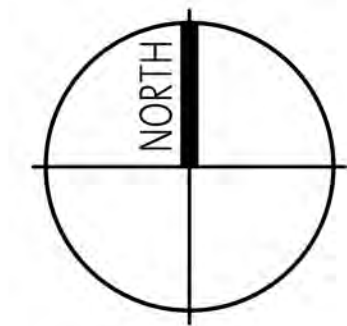
Bath
10'-7" x 7'-10"

OFFICE
ELEVATOR
(B,1,2,3,4)

RESIDENTIAL
ELEVATOR
(B,1,5)

MERRILL ST.

H6
A150
Fifth Level Floor Plan
SCALE: 1/4" = 1'-0"

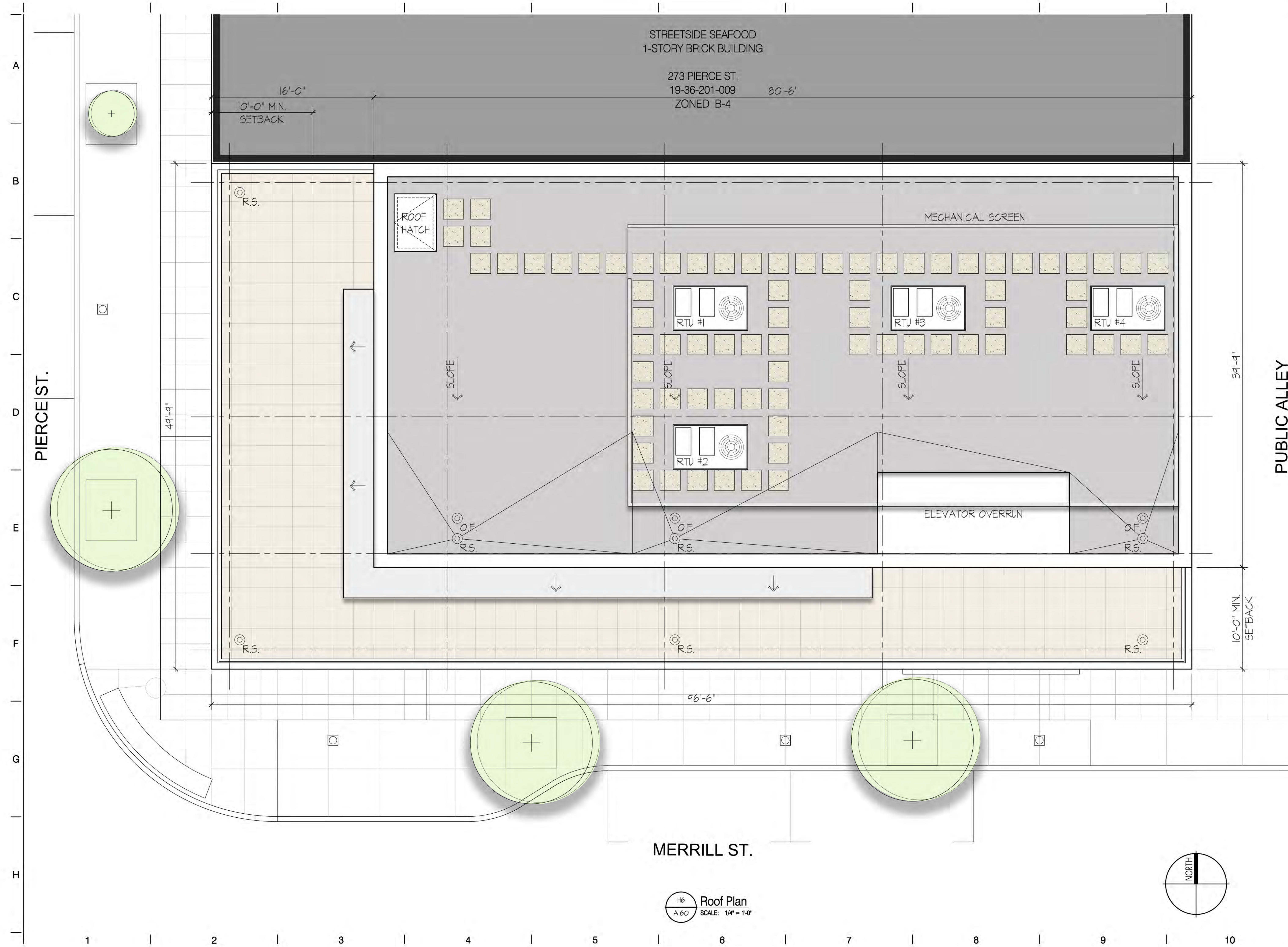


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A150
FIFTH LEVEL FLOOR PLAN



PUBLIC ALLEY

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Sheet No.:
A160
ROOF PLAN

Roof Plan
SCALE: 1/4" = 1'-0"

A


E

C

[

E

F

CH

A200

EXTERIOR ELEVATION

A

E

C

[

E



A0001

H

SCALE: 3/16" = 1'-0"

1	2	3	4	5	6	7	8	9	10
---	---	---	---	---	---	---	---	---	----

A
B
C
D
E
F
G
H



H6
A202
East Elevation (Alley)
SCALE: 3/16" = 1'-0"

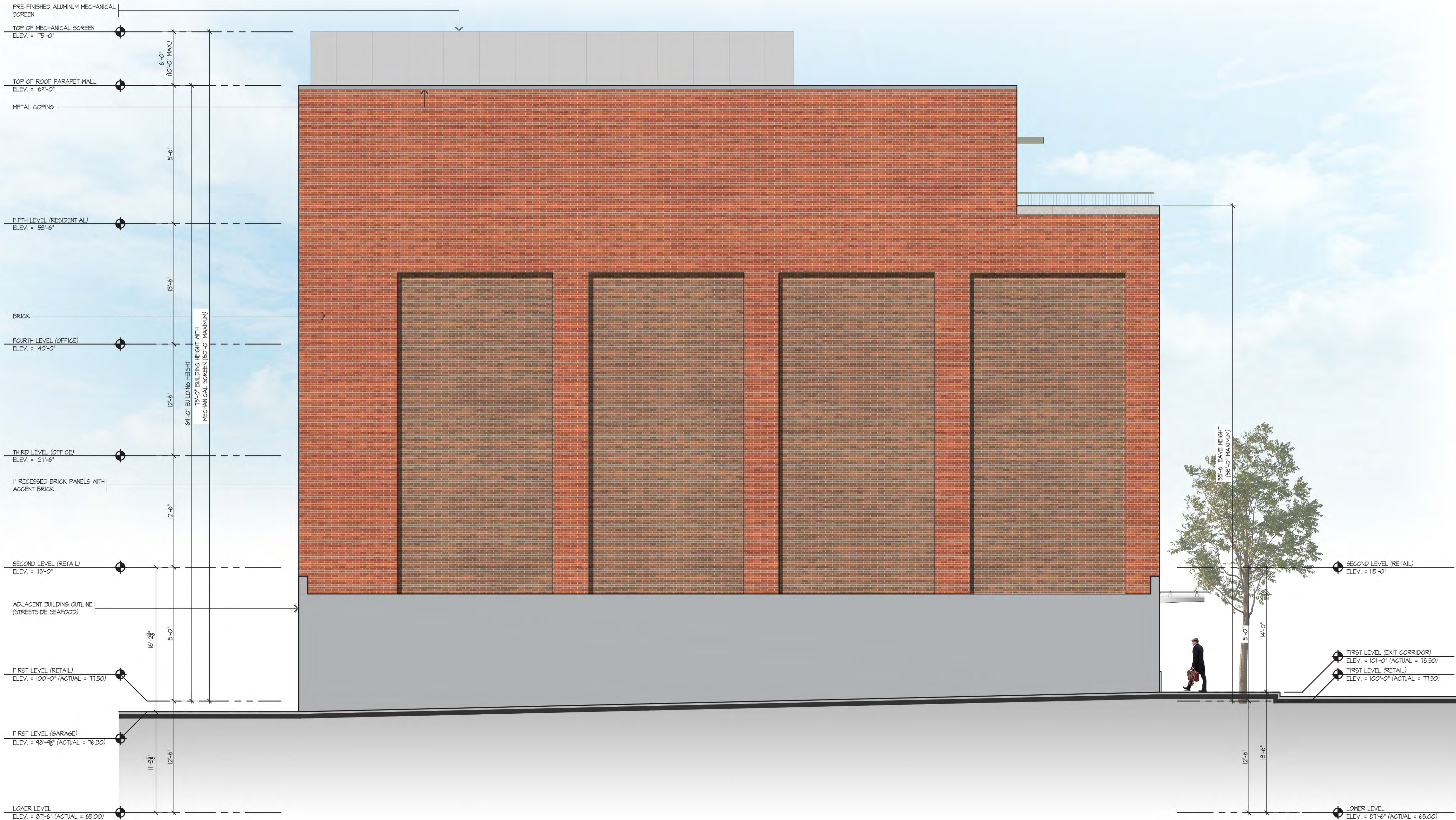
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Sheet No.:
A202
EXTERIOR ELEVATION

A
B
C
D
E
F
G
H



H6
A203
North Elevation
SCALE: 3/16" = 1'-0"

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Sheet No.:

A203
EXTERIOR ELEVATION

Merrill Street:

70% Min.

70%

$$\frac{466 \text{ SF (glazing)}}{670 \text{ SF (facade area between 1' \& 8')}} = \frac{466 \text{ SF}}{670 \text{ SF}} = 0.695 = 70\%$$

32.8%

$$\frac{396 \text{ SF (glazing)}}{1,206 \text{ SF (second level facade)}} = \frac{396 \text{ SF}}{1,206 \text{ SF}} = 0.328 = 32.8\%$$

32.8%

$$\frac{396 \text{ SF (glazing)}}{1,206 \text{ SF (third level facade)}} = \frac{396 \text{ SF}}{1,206 \text{ SF}} = 0.328 = 32.8\%$$

30.4%

$$396 \text{ SF (glazing)} / 1,302 \text{ SF (fourth level facade)} = 396 \text{ SF} / 1,302 \text{ SF} = 0.304 = 30.4\%$$

23.6%

$$295 \text{ SF (glazing)} / 1,247 \text{ SF (fifth level facade)} = 295 \text{ SF} / 1,247 \text{ SF} = 0.236 = 23.6\%$$

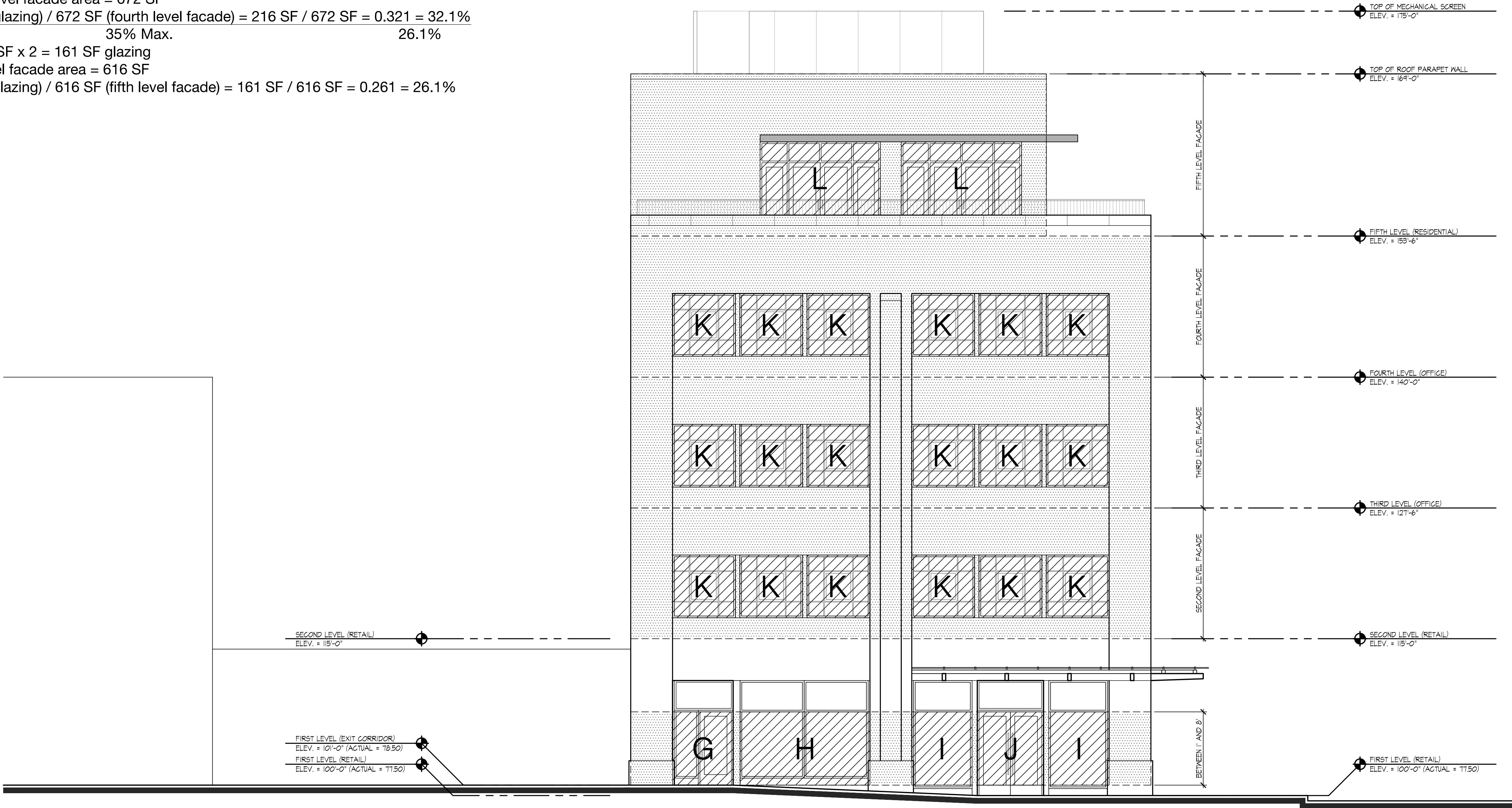

Glazing Calculations:

Pierce Street:

Required:

Proposed:

First Level (between 1' & 8')	70% Min.	72.4%
G = 41 SF		
H = 87 SF		
I = 40 SF x 2 = 80 SF		
J = 44 SF		
G + H + I + J = 41 SF + 87 SF + 80 SF + 44 SF = 252 SF glazing		
Facade area between 1' & 8' = 348 SF		
$252 \text{ SF (glazing)} / 348 \text{ SF (facade area between 1' \& 8')} = 252 \text{ SF} / 348 \text{ SF} = 0.724 = 72.4\%$		
Second Level	35% Max.	34.7%
K = 36 SF x 6 = 216 SF glazing		
Second Level facade area = 622 SF		
$216 \text{ SF (glazing)} / 622 \text{ SF (second level facade)} = 216 \text{ SF} / 622 \text{ SF} = 0.347 = 34.7\%$		
Third Level	35% Max.	34.7%
K = 36 SF x 6 = 216 SF glazing		
Second Level facade area = 622 SF		
$216 \text{ SF (glazing)} / 622 \text{ SF (third level facade)} = 216 \text{ SF} / 622 \text{ SF} = 0.347 = 34.7\%$		
Fourth Level	35% Max.	32.1%
K = 36 SF x 6 = 216 SF glazing		
Fourth Level facade area = 672 SF		
$216 \text{ SF (glazing)} / 672 \text{ SF (fourth level facade)} = 216 \text{ SF} / 672 \text{ SF} = 0.321 = 32.1\%$		
Fifth Level	35% Max.	26.1%
L = 80.5 SF x 2 = 161 SF glazing		
Fifth Level facade area = 616 SF		
$161 \text{ SF (glazing)} / 616 \text{ SF (fifth level facade)} = 161 \text{ SF} / 616 \text{ SF} = 0.261 = 26.1\%$		



H6
A205 West Elevation (Pierce Street)
SCALE: 3/16" = 1'-0"

SAROKI
ARCHITECTURE

430 N. OLD WOODWARD
BIRMINGHAM, MI 48009

P. 248.258.5707
F. 248.258.5515

SarokiArchitecture.com

Project:

Kojaian Mixed-Use
277 Pierce
Birmingham, Michigan 48009

Date:

03-10-2017 PRELIMINARY
06-28-2017 SITE PLAN REVIEW
HDC & FINAL
SITE PLAN REVIEW

Issued For:

PRELIMINARY
SITE PLAN REVIEW
HDC & FINAL
SITE PLAN REVIEW

Sheet No.:

A205

GLAZING CALCULATIONS

A
B
C
D
E
F
G
H



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Project:
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277 Pierce
Birmingham, Michigan 48009

Date:	Issued For:
03-10-2017	PRELIMINARY SITE PLAN REVIEW
06-28-2017	HDC & FINAL SITE PLAN REVIEW

Sheet No.:
A210
3D VIEWS

A
B
C
D
E
F
G
H



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F. 248.258.5515
SarokiArchitecture.com

Project:
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Birmingham, Michigan 48009

Date:	Issued For:
09-10-2017	PRELIMINARY SITE PLAN REVIEW
06-28-2017	HDC & FINAL SITE PLAN REVIEW

Sheet No.:
A211
3D VIEWS

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10

A
B
C
D
E
F
G
H



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Sheet No.:
A212
3D VIEWS

1 2 3 4 5 6 7 8 9 10

A
B
C
D
E
F
G
H



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06-28-2017	HDC & FINAL SITE PLAN REVIEW

Sheet No.:

A213
3D VIEWS

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10

A

B

C

D

E

F

G

H



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430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515

SarokiArchitecture.com

Project:
Kojaian Mixed-Use
277 Pierce
Birmingham, Michigan 48009

Date:	Issued For:
06-28-2017	HDC & FINAL SITE PLAN REVIEW

Sheet No.:

A214
3D VIEWS

277 Pierce - Material Selections

June 28, 2017

Brick:

Manufacturer: PCB
Color: Flashed Red Velour
Size: Modular
Mortar: Standard gray
Contact: Kim Mehl, Brick Tech Architectural, 248-548-0777

Accent Brick:

Manufacturer: THB
Color: Flashed Manganese Velour
Size: Modular
Mortar: Standard gray
Contact: Kim Mehl, Brick Tech Architectural, 248-548-0777

Limestone:

Manufacturer: Indiana Limestone
Color: Buff
Finish: Standard
Contact: Danielle Smith, Indiana Limestone, 812-275-3341

Granite:

Manufacturer: PMP Marble & Granite
Color: Cambrian Black
Finish: Leathered
Contact: PMP Marble & Granite, 248-740-1400

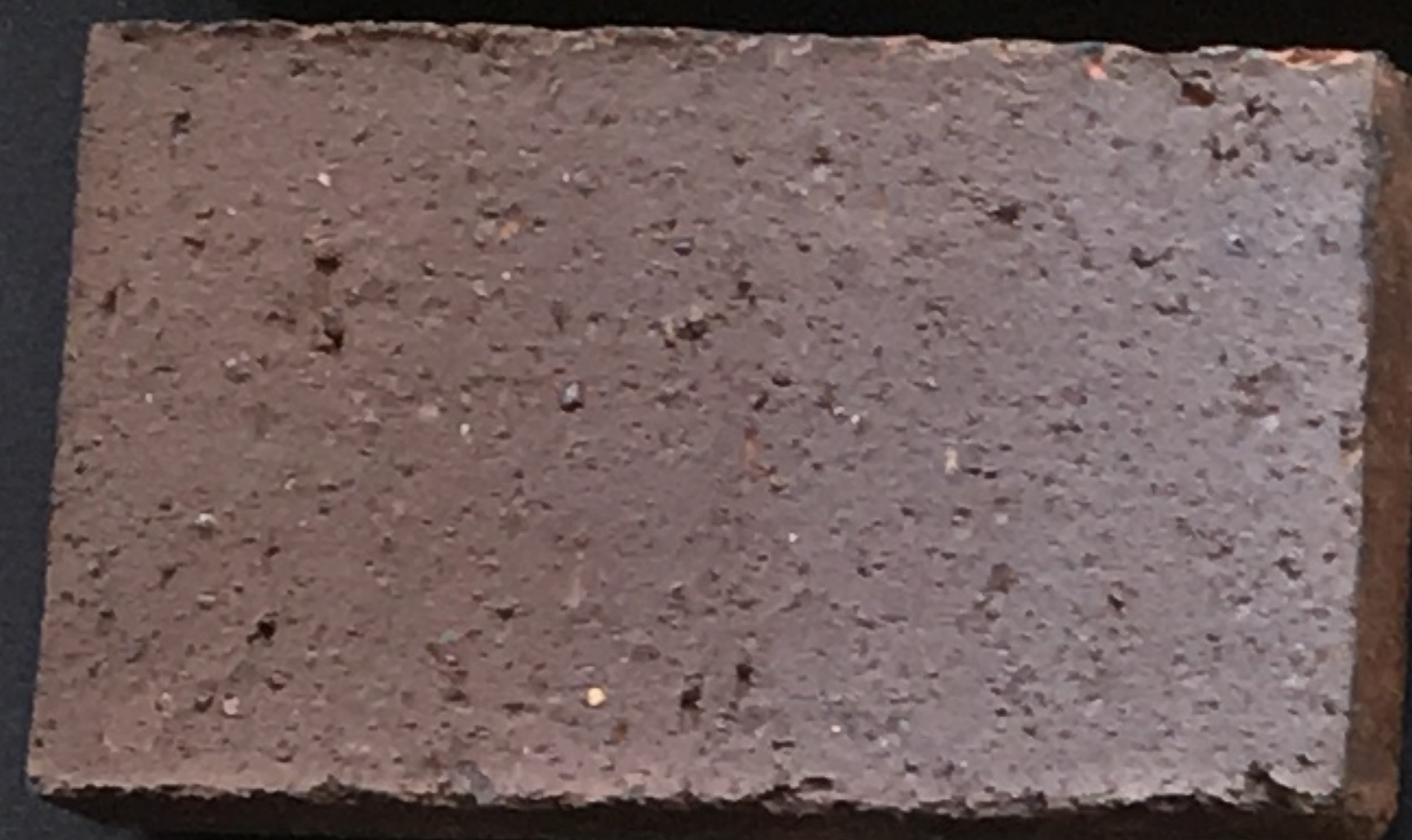
Exterior Glazed Windows and Doors:

Manufacturer: Kawneer
Series: GLASSvent UT (Basis of design)
Type: Aluminum
Color: Antique Bronze UC100027
Contact: Gerry Portelli, Kawneer, 734-379-9335

Entry Canopy, Metal Cladding:

Frame: Stainless Steel
Glass: Laminated & Frosted

277 PIERCE-MATERIAL SELECTIONS



BRICK



WINDOWS AND DOORS



GRANITE



ACCENT BRICK



ENTRY CANOPY

METAL CLADDING



LIMESTONE

Type: **A**

Project:

Modified:

Quantity:

Notes:

L600

Application Exterior/Interior surface mount downlight

IP Rating 42

Mounting Mounts to standard 4" octagonal box.

Electrical 13.0W driver (standard)
13.0W driver (Halogen Dim)
Integral driver (standard) input: 120AC (dimnable with Triac, 0-10V or non-dimnable), 120-277V AC (dimnable)
Remote driver (standard) input: 120V AC or 277V AC (dimnable with Triac, 0-10V, DMX, DALI or non-dimnable), 120-277V AC (dimnable)
**Optional remote drivers and back up power supplies available. Consult factory.*

Power Consumption 13.0 Watt

Light Output 13.0 Watt, 1044~1080lm
**For photometric data, see page 03*

Warranty 5 years limited warranty
Estimated useful life of LED is 50,000 hours.

Material Anodized aluminum. RoHS compliant**Weight** 2lbs (0.907kg)**Approval**

Emergency Driver options(remote) MP Lighting Emergency Backup Unit.
Input: 100-277V, 50/60Hz Output: 11-36V, 16W

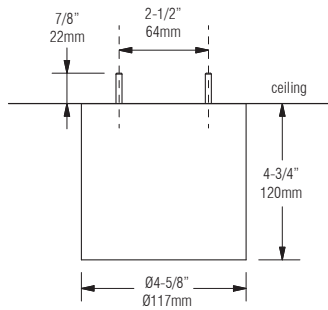
Bodine Emergency Micro Inverter
Input: 120/277V, 50/60HZ Output: 120/277V, 60Hz, 20W

Order Guide

Example: L600-13-W30-S-W-S-1-MA

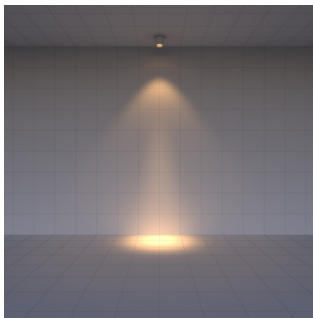
Code	Wattage	Color	CRI	Beam	Reflector Color	Input Voltage	Finish
L600	13					-	
	13 = 13W	W27 = 2700K W30 = 3000K W35 = 3500K HG = halogen dim (2000K~2800K)	S = 80+ std CRI V = 97+ CRI <i>*97+ CRI only available for W27/W30</i>	S = spot (10°) N = narrow flood (30°) F = flood (40°) W = wide flood (60°)	S = silver specular B = black specular BZ = bronze specular G = gold specular	1 = 120V 2 = 277V <i>** Input Voltage 1 = 120V Input integral driver. Phase dimmable. 2 = 120-277V Universal input voltage. 0-10V dimmable.</i>	MA = matte clear anodized BA = black anodized BZ = bronze anodized WH = white

DIMENSION:

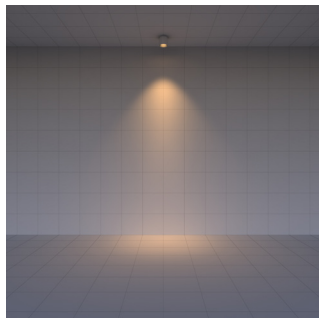


LIGHT DISTRIBUTION:

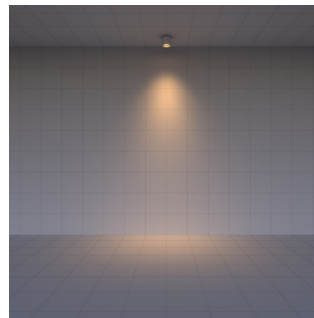
13WATT



10° (Spot beam)
Matte clear anodized



30° (Narrow Flood beam)
Matte clear anodized



40° (Flood beam)
Matte clear anodized

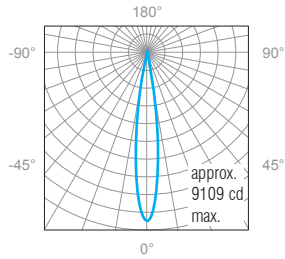
PHOTOMETRIC DATA:

13W 3000K 80+CRI

Polar Candela Distribution

Illuminance at a Distance

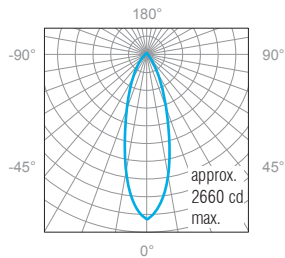
Lumen: 1050lm, Spot (10°)



	Center Beam FC	Beam Width
3.0'	1012.1	0.8'
6.0'	253.0	1.6'
9.0'	112.5	2.5'
12.0'	63.3	3.1'
15.0'	40.5	3.9'
18.0'	28.1	4.7'

0° Spread: 14.8°

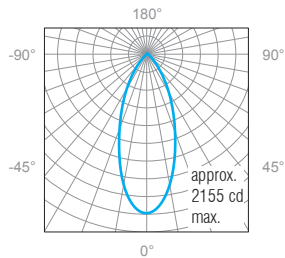
Lumen: 1044lm, Narrow flood (30°)



	Center Beam FC	Beam Width
3.0'	295.6	1.6'
6.0'	73.9	3.3'
9.0'	32.8	4.9'
12.0'	18.5	6.6'
15.0'	11.8	8.2'
18.0'	8.2	9.8'

0° Spread: 30.5°

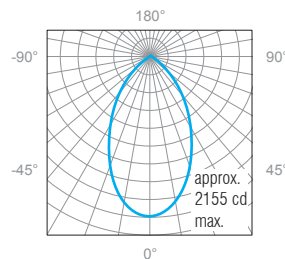
Lumen: 1080lm, Flood (40°)



	Center Beam FC	Beam Width
3.0'	239.4	2.1'
6.0'	59.8	4.2'
9.0'	26.6	6.3'
12.0'	15.0	8.4'
15.0'	9.6	10.5'
18.0'	6.6	12.6'

0° Spread: 38.6°

Lumen: 1050lm, Wide Flood (60°)



	Center Beam FC	Beam Width
3.0'	89.7	3.7'
6.0'	22.4	7.4'
9.0'	9.97	11.1'
12.0'	5.61	14.9'
15.0'	3.59	18.6'
18.0'	2.49	22.3'

0° Spread: 63.5°

DATE: July 13, 2017

TO: Historic District Commission

FROM: Matthew Baka – Senior Planner

SUBJECT: Historic Design Review – 535 W. Merrill – Daisy Benedict House

Zoning: R-3 Single-Family Residential

Existing Use: Vacant Residential

History

The Daisy Benedict House was built around 1868 by Henry Benedict and later occupied by his Daughter Daisy. In the early 1920's a hipped roof wing was added to the house using an existing accessory building. In 1971 the property gained local notoriety as the location of Birmingham's last original out-house, which was sold for \$1 to a home owner from Orchard Lake. In the early 1980's the house was at the center of a local controversy involving the redevelopment of historically designated properties. Local outcry called for the preservation of the house, while the owner intended to convert the house and adjacent properties into condos. Eventually, the owner was allowed to move ahead with his project.

Proposal

The home owner is requesting approval to make updates and repairs to correct the deteriorating conditions of several windows, trim molding, siding and entry porch. In addition to the proposed repairs the applicant is requesting approval to replace the existing metal entry door with a Simpson wood and glass, 6 pane door and new lockset. Eight windows and storms along the front elevation of the house are proposed to be replaced with Marvin Ultimate 4 pane double hung windows. Existing aluminum gutters are proposed to be replaced with new copper gutters. The front porch is proposed to be rebuilt using Ipe decking, Aztec Composite decking and treated framing. **The applicant did not provide any information on the finish colors for the door, windows, siding or porch.**

Sec. 127-11. Design review standards and guidelines.

1. (a) In reviewing plans, the commission shall follow the U.S. secretary of the interior's standards for rehabilitation and guidelines for rehabilitating historic buildings as set forth in 36 C.F.R. part 67. Design review standards and guidelines that address special design characteristics of historic districts administered by the commission may be followed if they are equivalent in guidance to the secretary of interior's standards and guidelines and are established or approved by the state historic preservation office of the Michigan Historical Center.
- (b) In reviewing plans, the commission shall also consider all of the following:
 - (1) The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area.

- (2) The relationship of any architectural features of the resource to the rest of the resource and to the surrounding area.
- (3) The general compatibility of the design, arrangement, texture, and materials proposed to be used.
- (4) Other factors, such as aesthetic value, that the commission finds relevant.

RECOMMENDATION

Generally speaking the proposed changes appear to be in keeping with the historic character of the home however, several deteriorating elements are proposed to be replaced with new material rather than repairs as specified by standard number 6 which states;

(6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The photos submitted by the applicant do not provide sufficient detail to determine if these elements are beyond the point of repair. Accordingly, the applicant has been asked to provide additional evidence of the need for replacement rather than repair.

The Planning Division recommends that the Commission issue a Certificate of Approval for the design review application for 535 Merrill with the following conditions;

1. The applicant provide sufficient evidence of deterioration to justify the removal and replacement of the windows, porch, and siding;
2. The applicant provides finish colors for the proposed windows, door, siding, and porch.

The work meets The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, standard number 6 "Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence."

"THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION AND GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS"

The U. S. secretary of the interior standards for rehabilitation are as follows:

- (1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- (2) The historic character of a property shall be retained and preserved. The removal

of historic materials or alteration of features and spaces that characterize a property shall be avoided.

- (3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- (4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- (5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
- (6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- (7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
- (8) Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Notice To Proceed

I move the Commission issue a Notice to Proceed for number _____. The work is not appropriate, however the following condition prevails: _____ and the proposed application will materially correct the condition.

Choose from one of these conditions:

- a) The resource constitutes hazard to the safety of the public or the structure's occupants.
- b) The resource is a deterrent to a major improvement program that will be of substantial benefit to the community and the applicant proposing the work has obtained all necessary planning and zoning approvals, financing, and environmental clearances.

- c) Retaining the resource will cause undue financial hardship to the owner when a governmental action, an act of God, or other events beyond the owner's control created the hardship, and all feasible alternatives to eliminate the financial hardship, which may include offering the resource for sale at its fair market value or moving the resource to a vacant site within the historic district have been attempted and exhausted by the owner.
- d) Retaining the resource is not in the best of the majority of the community.

KUZAK HOUSE RENOVATION
DAISY BENEDICT HISTORICAL HOME
535 West Merrill, Birmingham



INDEX OF REPAIRS / CHANGES TO BE MADE

- 1. Repairs are being made to correct deteriorating conditions of windows, trim, siding and entry porch (including railing).*
- 2. Changes are being made to improve windows, door, lockset and light to be more time period correct.*

(NO STRUCTURAL CHANGES WILL BE MADE TO THE HOUSE)

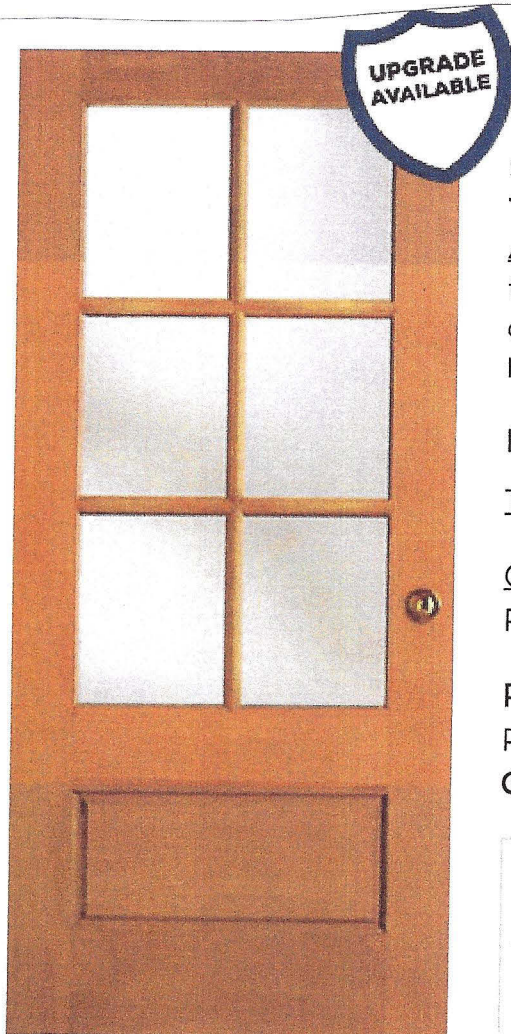
- PAGES 1-2: FRONT ENTRY DOOR – Replace existing “steel” front door with Simpson Wood and Glass 6 pane Door, which match Historical photos of Home.
- PAGES 3-5: SIDING & TRIM- Replace and Install LP Smartside durable siding & trim to replace current deteriorating material.
- PAGES 6-7: DOOR LOCKSET- Replace current lockset with more historic Victorian lockset.
- PAGES 8-10: WINDOWS- Replace current inoperable, deteriorating windows and storms, which take away from the original look of the home, with the 4 pane Marvin double hung windows.
- PAGES 11-12: COPPER GUTTER- Replace current “Aluminum” gutters with more historic Copper gutters.
- PAGES 13-15: OUTDOOR PORCH ENTRY LIGHT- Replace current light with Copper, period correct light; which also matches the City outdoor copper light.
- PAGES 16-18: ENTRY PORCH DECK & RAILING- Rebuild current entry porch, stairs and sub-structure, which is deteriorating and is unsafe. Replace existing material with more durable, long lasting material; such as, Ipe decking, Aztec composite decking and treated framing, structural panels and boards.

CURRENT STEEL FRONT DOOR:



NEW WOOD ENTRY DOOR:

Manufacturer- SIMPSON DOOR COMPANY



7506 THERMAL SASH (TDL)

SERIES: Exterior French & Sash Doors

TYPE: Exterior French & Sash

APPLICATIONS: Can be used for a swing door, with barn track hardware, with pivot hardware, in a patio swing door or slider system and many other applications for the home's exterior.

MATCHING COMPONENTS

Thermal Sash Sidelight (TDL) (7803)

Construction Type: Engineered All-Wood Stiles and Rails with Dowel Pinned Stile/Rail Joinery

Panels: 1-7/16" Innerbond® Double Hip-Raised Panel

Glass: 3/4" Insulated Glazing

GET A QUOTE

If you are interested in receiving a quote from a dealer, please select the options below and click on the "Request Dealer Quote" below.

Rough opening needs to be 2" wider and 2 1/2" taller than your door.

WIDTH ▾

HEIGHT ▾

WOOD SPECIES ▾

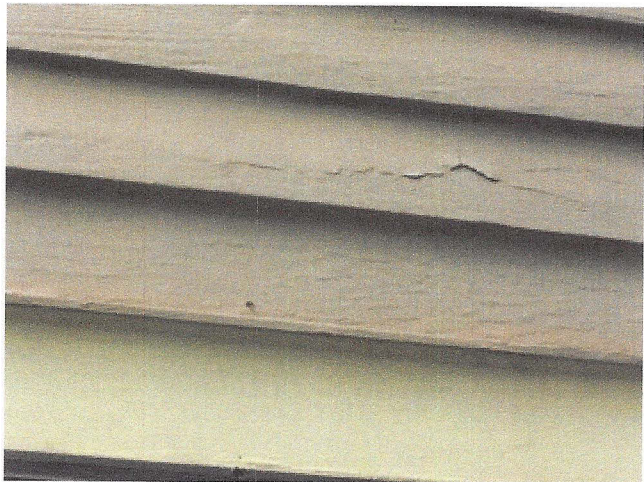
GLASS ▾

PANEL ▾

UPGRADES

☒ UltraBlock Technology

SIDING DETERIORATION:



DETERIORATING TRIM BOARDS:



NEW SIDING & TRIM:

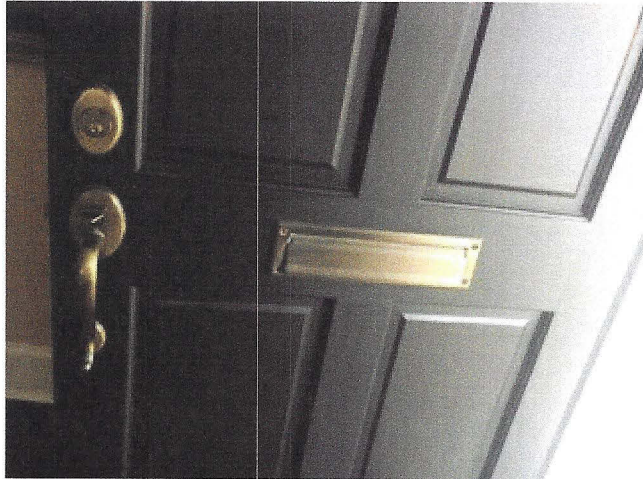
Manufacturer- LOUISIANA PACIFIC (LP)



LP SmartSide Trim & Siding

LP® SmartSide® Trim & Siding offers the warmth and beauty of traditional wood with the durability of LP engineered wood. It's a complete line of high-performance trim and siding products to complement almost any building style. All LP SmartSide products feature our innovative, four component SmartGuard® manufacturing process for strength and to resist fungal decay and termites.

CURRENT DOOR LOCKSET:



NEW DOOR LOCKSET:



SUN VALLEY BRONZE

FINISHES



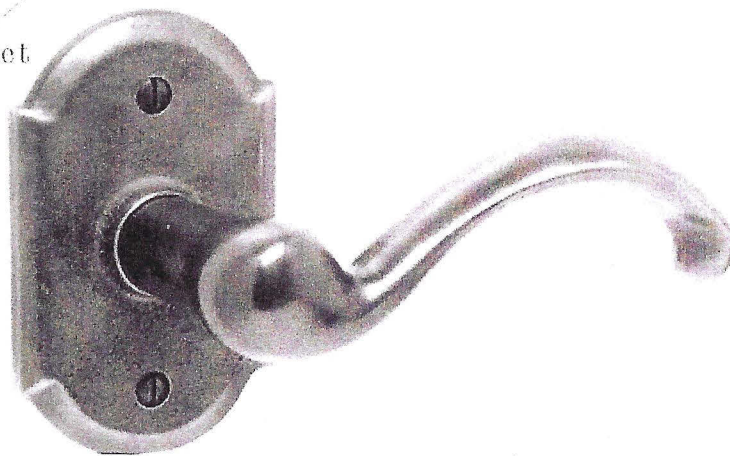
ARCH COLLECTION

CS-A402

Passage Door Set

2 1/2" x 4"

Shown with L-120 Croy Lever

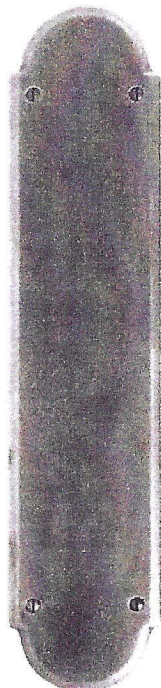


ARCH COLLECTION

PP-A602

Arch Push Plate

3 1/2" x 15 1/4"



CURRENT WINDOW WITH STORM:

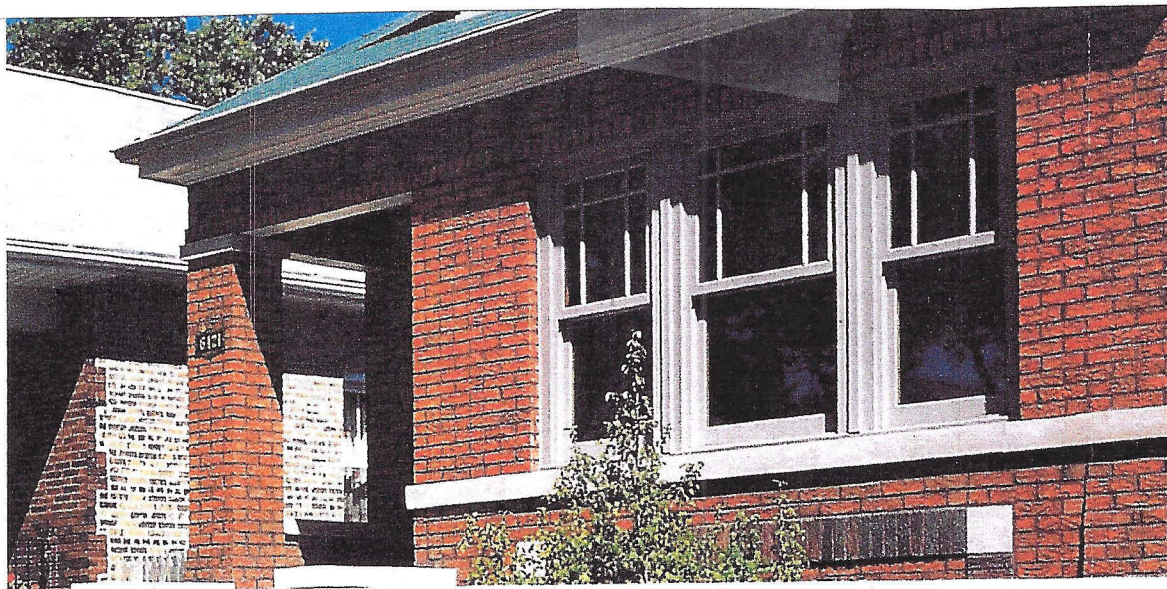


EXAMPLE OF WINDOW DETERIORATION:



NEW WINDOWS:

Manufacturer- MARVIN WINDOWS



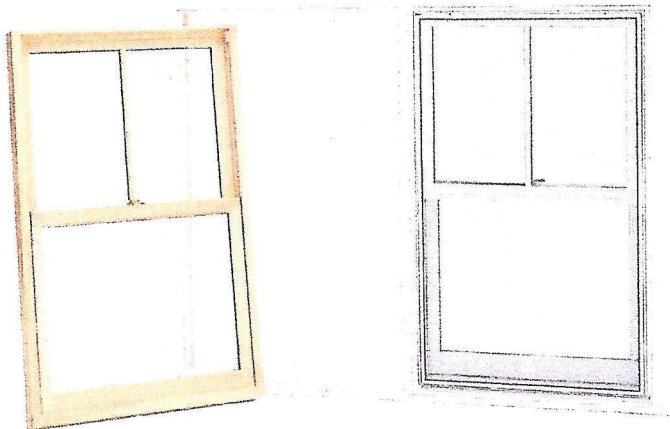
ULTIMATE INSERT DOUBLE HUNG

A WINDOW INTO EFFICIENCY

The Marvin® Ultimate Insert Double Hung Window adds quality craftsmanship, beauty and energy efficiency to your home without compromising architectural integrity. Its frame-in-frame design is built precisely to seamlessly fit into your unique window opening, so there's no need to remove the existing frame or disturb the exterior or interior trim of your house. Marvin's Ultimate Insert Double Hung Windows always fit into your existing space, and appear completely integrated into your home.

INTERIOR

EXTERIOR



CURRENT DOWNSPOUT & GUTTER ALUMINUM:



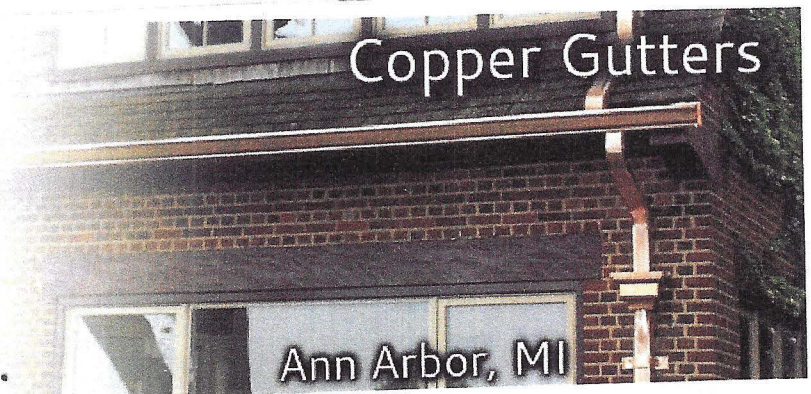
NEW COPPER GUTTERS:

Supplier- GREAT LAKES GUTTER

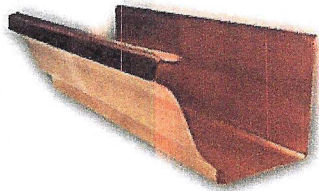
GREAT LAKES
GUTTER 

Available in 6" Half Round
and 5" & 6" K-Style

Distinctive and Attractive.



Copper K-Style



- Available in 5" or 6"
- 16 oz. or 20oz.
- 2"x3" Downspouts
- 3"x4" Downspouts
- Seamless Installation

CURRENT PORCH LIGHT:



CURRENT CITY STREET COPPER GLASS LIGHT:

(Match this light with new Porch lights)



NEW OUTDOOR COPPER LIGHT:

DEL MAR

Fans & Lighting

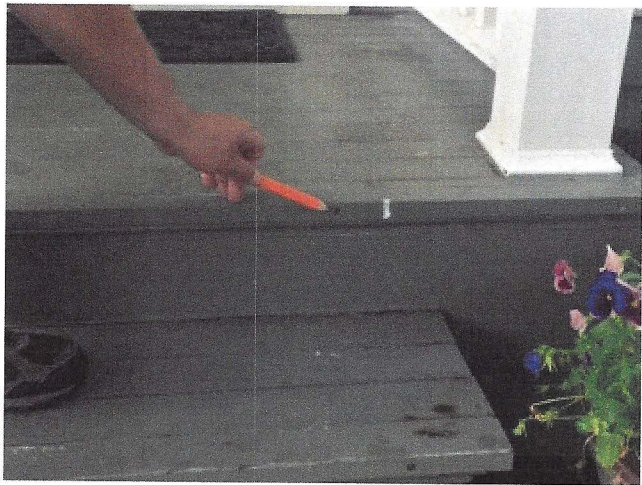
2 - Light Outdoor Sconce



Share This Product

Feiss OL11100DAC, Pediment Outdoor Wall Sconce Lighting, 36 Total Watts, Dark Aged Copper

DETERIORATING PORCH DECK & RAILING:



NEW FRONT PORCH RAILING:

Manufacturer- AZEK BUILDING PRODUCTS



EXPLORE THE PREMIER RAILING COLLECTION



RAILING

With AZEK® Rail, experience the look and feel of real wood without painting or staining. Unlike traditional lumber, AZEK Rail is a capped composite that uses PVC performance materials, engineered for superior safety and strength, and will not rot, peel, or splinter. With hidden hardware and easy, one-person installation, AZEK Rail is the most beautiful and low-maintenance rail system available. Select from four inspired collections to complement any deck or porch.

NEW FRONT PORCH DECKING:

Supplier- IPE DECKING & SUPPLIES

Ipe Decking & Supplies



Ipe Decking

ONLINE QUOTE REQUEST

[click here](#)

The world's best decking... Welcome to our *Ipe Decking and Supplies* page. Here you will find the listings for the various sustainable Ipe Decking lumber and supplies needed to build and finish your deck. We directly import our Ipe decking products from well-managed forests in South America. By working with sustainable sources, we are able to hand select the finest Ipe and provide it to our customers at great prices. Be sure to check out our [Ipe Decking Reviews](#) to find out more about this great decking material.

Rob Pelc, owner and operator of AdvantageLumber.com visits each mill to inspect and personally selects the Ipe he uses for his products. See Rob at one of the Brazilian Ipe decking mills by clicking [HERE](#). Click [HERE](#) to see why Ipe is the best decking material in the world! If you have any questions, please [contact us](#)! Ipe is such a hard, dense wood it does require a little different method of installation than other decking. Click [HERE](#) to read more about it.



MEMORANDUM

Planning Division

Date: July 12, 2017
To: Historic District Commission Members
From: Matthew Baka, Senior Planner
RE: Historic Design Review – 556 W. Maple – Allen House, Birmingham Historical Park, Mill Pond Historic District.

Zoning: PP, Public Property
Existing Use: Birmingham Museum

Proposal

The Allen House and Birmingham Historical Museum is a contributing resource in the Mill Pond Historic District. The Allen House was built in 1928 by Harry and Marion Clizbe Allen. Mr. Allen was the first Mayor of the City of Birmingham when it incorporated in 1933. In addition, the site of the Mayor's home is as historically significant as the house itself. The property is part of the first quarter section that was purchased by pioneer Elijah Willits in 1818. Willits sold the site, now known as the John West Hunter Historical Park, to the Fractional School District. They built one of the first public schools on the site where the Allen House now stands. The Allen's tore down most of the old building and built the current Allen house on the original foundation. They also used the brick from the School building on the front of the house, as well as on the and southeast and Southwest corners of the house. The house and surrounding land was sold to the City in 1969. Mrs. Marion Allen was allowed to live in the house until her death in 1973. At that point, the City converted the house in a Community Center used primarily for wedding and other rental events. In 1999, the City and the Birmingham Historical Society worked out the arrangement to create the Birmingham Historical Museum. The museum opened on May 19, 2001.

The applicant is proposing to make numerous repairs and improvements to subject building. It is of note that the applicant is proposing to make use of cedar shaker singles to match the existing siding, as well as apply a satin paint to be consistent with the original color. The proposed material would be installed to replicate the existing appearance of the building as closely as possible. All other proposed work will not alter the existing appearance.

Design

The applicant is proposing to make use of the following materials:

- Cedar shake shingles for siding
- Western Red Cedar with a semi-gloss for finish carpentry (exterior trims and sills)
- Free-form PVC for plastic synthetic wood trim (trims, sills, beadboard, and molding)
- Valspar Duramax satin exterior grade latex acrylic finish for shingles
- Valspar Duramax semi-gloss for trims, moldings, doors, and windows
- Valspar Duramax gloss for metal roof
- #97 AF Fiberglass Aluminum roof coating

At this time, the applicant is proposing to replace the siding on all dormers with new cedar shaker shingles painted with a satin acrylic paint to match the existing body color. The applicant will also install new shingle siding at numerous locations on the exterior walls as bolded in the plans. All proposed replacements to the wooden trims on the building exterior will be constructed of western red cedar wood. Conversely, damaged wood cornice moldings, wood windows sills, and fascia will be removed and replaced with synthetic wood components of identical shape, size, and finish. The plans also demonstrate the replacement of the muntin moldings within the north elevation at glazing to match existing. The applicant is proposing to re-coat the existing metal roof at the north elevation balcony with a gloss finish. Lastly, the applicant is proposing to repair the base of the front porch columns using synthetic wood and to add composite trims to match existing profiles.

Sec. 127-11. Design review standards and guidelines.

1. (a) In reviewing plans, the commission shall follow the U.S. secretary of the interior's standards for rehabilitation and guidelines for rehabilitating historic buildings as set forth in 36 C.F.R. part 67. Design review standards and guidelines that address special design characteristics of historic districts administered by the commission may be followed if they are equivalent in guidance to the secretary of interior's standards and guidelines and are established or approved by the state historic preservation office of the Michigan Historical Center.
- (b) In reviewing plans, the commission shall also consider all of the following:
 - (1) The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area.
 - (2) The relationship of any architectural features of the resource to the rest of the resource and to the surrounding area.
 - (3) The general compatibility of the design, arrangement, texture, and materials proposed to be used.
 - (4) Other factors, such as aesthetic value, that the commission finds relevant.

RECOMMENDATION

The Planning Division recommends that the Commission issue a Certificate of Approval for the historic design review application for 556 W. Maple. The work meets The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, standard number 6, "Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence."

WORDING FOR MOTIONS

I move that the Commission issue a Certificate of Appropriateness for _____. The work as proposed meets "The Secretary of the Interior's Standards for Rehabilitation" standard number_____.

I move that the Commission issue a Certificate of Appropriateness for _____, provided the following conditions are met: (List Conditions). "The Secretary of the Interior's Standards for Rehabilitation" standard number_____.

I move that the Commission deny the historic _____ application for _____. Because of _____ the work does not meet 'The Secretary of the Interior's Standards for Rehabilitation" standard number_____.

"THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION AND GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS"

The U. S. secretary of the interior standards for rehabilitation are as follows:

- (1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- (3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- (4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- (5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
- (6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- (7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures,

if appropriate, shall be undertaken using the gentlest means possible.

- (8) Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Notice To Proceed

I move the Commission issue a Notice to Proceed for application number _____.
The work is not appropriate, however the following condition prevails: _____ and the proposed application will materially correct the condition.

Choose from one of these conditions:

- a) The resource constitutes hazard to the safety of the public or the structure's occupants.
- b) The resource is a deterrent to a major improvement program that will be of substantial benefit to the community and the applicant proposing the work has obtained all necessary planning and zoning approvals, financing, and environmental clearances.
- c) Retaining the resource will cause undue financial hardship to the owner when a governmental action, an act of God, or other events beyond the owner's control created the hardship, and all feasible alternatives to eliminate the financial hardship, which may include offering the resource for sale at its fair market value or moving the resource to a vacant site within the historic district. have been attempted and exhausted by the owner.
- d) Retaining the resource is not in the best of the majority of the community.



MEMORANDUM

Planning Division

Date: July 12, 2017
To: Historic District Commission Members
From: Matthew Baka, Senior Planner
RE: Historic Design Review – 556 W. Maple – Allen House, Birmingham Historical Park, Mill Pond Historic District.

Zoning: PP, Public Property

Existing Use: Birmingham Museum

Proposal

The Allen House and Birmingham Historical Museum is a contributing resource in the Mill Pond Historic District. The Allen House was built in 1928 by Harry and Marion Clizbe Allen. Mr. Allen was the first Mayor of the City of Birmingham when it incorporated in 1933. In addition, the site of the Mayor's home is as historically significant as the house itself. The property is part of the first quarter section that was purchased by pioneer Elijah Willits in 1818. Willits sold the site, now known as the John West Hunter Historical Park, to the Fractional School District. They built one of the first public schools on the site where the Allen House now stands. The Allen's tore down most of the old building and built the current Allen house on the original foundation. They also used the brick from the School building on the front of the house, as well as on the and southeast and Southwest corners of the house. The house and surrounding land was sold to the City in 1969. Mrs. Marion Allen was allowed to live in the house until her death in 1973. At that point, the City converted the house in a Community Center used primarily for wedding and other rental events. In 1999, the City and the Birmingham Historical Society worked out the arrangement to create the Birmingham Historical Museum. The museum opened on May 19, 2001.

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- c) Retaining the resource will cause undue financial hardship to the owner when a governmental action, an act of God, or other events beyond the owner's control created the hardship, and all feasible alternatives to eliminate the financial hardship, which may include offering the resource for sale at its fair market value or moving the resource to a vacant site within the historic district. have been attempted and exhausted by the owner.
- d) Retaining the resource is not in the best of the majority of the community.

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House\CAD\G001.dwg

PLOT DATE: 5/12/2011 4:54 PM

GENERAL PROJECT NOTES

1. NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO BEGINNING OF WORK. COORDINATE DEMOLITION WORK WITH NEW WORK SHOWN ON DRAWINGS. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS

2. OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL ITEMS SCHEDULED FOR REMOVAL.

3. TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWING; HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES, AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN. CONTRACTOR IS RESPONSIBLE FOR REMOVING, CAPPING, DISCONNECTING ALL INCIDENTAL ITEMS, AT AREAS OF DEMOLITION

4. CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE INTEGRITY AND STRUCTURAL STABILITY. PROVIDE SHORING REQUIRED OF THE BUILDING AND ITS ELEMENTS AND/OR ALL NECESSARY TEMPORARY BRACING

5. USE CONSTRUCTION INDUSTRY RECOGNIZED AND ACCEPTABLE CUTTING METHODS TO AVOID DAMAGE TO OTHER WORK OR FINISHES TO REMAIN AND WHICH WILL PROVIDE PROPER SURFACES FOR PATCHING AND FINISHING

6. PREPARE FOR NEW WORK BY REMOVING EXISTING SURFACE FINISHES, AS NECESSARY TO PROVIDE FOR PROPER INSTALLATION OF NEW WORK AND NEW FINISHES.
7. WHERE NEW WORK ABUTS OR ALIGNS WITH EXISTING, MAKE A SMOOTH AND EVEN TRANSITION. PATCH WORK SHALL MATCH EXISTING ADJACENT WORK IN TEXTURE AND APPEARANCE. WHERE FINISH SURFACES ARE CUT SO THAT A SMOOTH TRANSITION WITH NEW WORK IS NOT POSSIBLE, TERMINATE EXISTING SURFACE ALONG A STRAIGHT LINE AT NATURAL LINE OF DIVISION.

8. THE DRAWINGS ARE INTENDED TO SHOW DESIGN, GENERAL ARRANGEMENT AND EXTENT OF THE WORK AND ARE PARTLY DIAGRAMMATIC. THEY ARE NOT INTENDED TO BE SCALED OR USED FOR ROUGH-IN MEASUREMENTS, NOT TO BE USED AS SHOP DRAWINGS. INADVERTENT DISCREPANCIES OR THE OMISSION OF NOTES OR DETAILS ON ANY DRAWING BUT GIVEN ON ANOTHER DRAWING SHALL NOT BE CAUSE FOR ADDITIONAL CHARGE OR CLAIM.

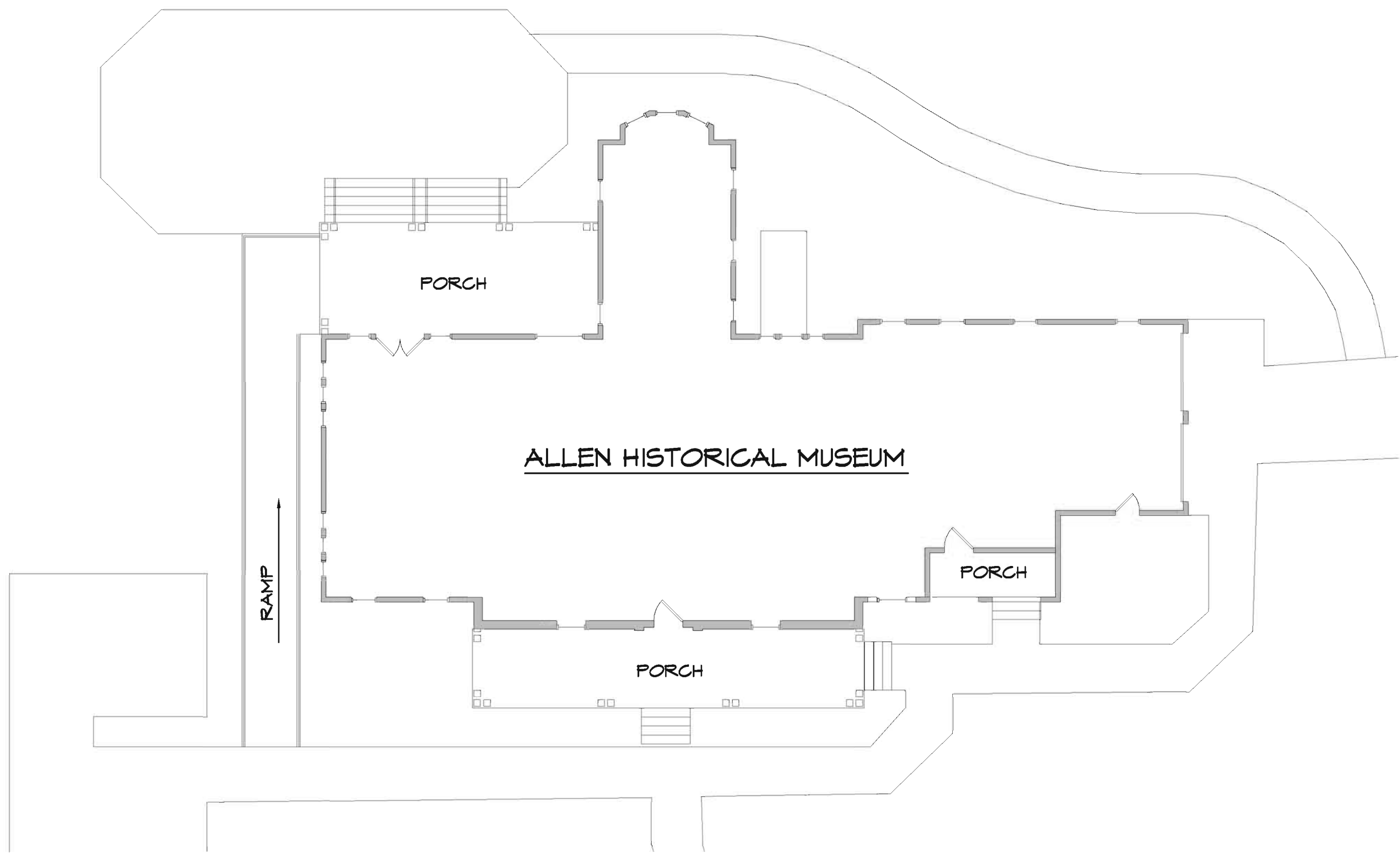
9. NOTES IN THE SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS AND NOT NOTED IN THE SPECIFICATIONS, IS OF LIKE EFFECT - AS IF SHOWN OR NOTED ON BOTH

10. IN CASES OF INCONSISTENCY, THE BETTER QUALITY OR GREATER QUANTITY SHALL BE PROVIDED

11. FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY DESIGN PROFESSIONAL AND OWNER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK

12. CONTRACTOR SHALL PREVENT DAMAGE BY WEATHERPROOFING ALL OPENINGS. PROVIDE TEMPORARY PROTECTION FOR ALL COMPONENTS OF THE NEW AND EXISTING BUILDING DURING CONSTRUCTION.

13. REPAIR ANY DISTURBED LANDSCAPING AND LAWN SURFACES DUE TO CONSTRUCTION TRAFFIC.



SITE PLAN

NO SCALE

OWNER:
CITY OF BIRMINGHAM
151 MARTIN STREET BIRMINGHAM, MI 48012

PROJECT:
**SIDING AND TRIM REPLACEMENT
ALLEN HISTORICAL MUSEUM**
556 W MAPLE RD BIRMINGHAM, MI 48009

INDEX OF DRAWINGS

G001	TITLE SHEET
G002	SPECIFICATIONS
A101	SOUTH ELEVATION AND PHOTOS
A102	NORTH ELEVATION AND PHOTOS
A103	WEST ELEVATION AND PHOTOS
A104	EAST ELEVATION AND PHOTOS



LOCATION MAP

NO SCALE



9100 Lapeer Rd. Suite B
Davison, MI 48423
(810) 412-5640
www.h2aarchitects.net

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ALLEN HISTORICAL MUSEUM**
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NO.	DESCRIPTION	DATE
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PROJECT NO.		17-170
DATE		5-12-2011
DRAWN		EHD
CHECKED		GSA
SEAL		
G001		
CAD FILE NO. G001		
SHEET 1 OF 6		

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PLOT DATE: 5/12/2017 4:53 PM

SPECIFICATIONS:

DIVISION 1 - GENERAL REQUIREMENTS:

THESE DOCUMENTS AS INSTRUMENTS OF SERVICE ARE PROPERTY OF H2A ARCHITECTS INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED WRITTEN CONSENT OF H2A ARCHITECTS EXCEPT AS NECESSARY TO COMPLETE THE WORK HEREIN DESCRIBED FOR A SINGLE USE FOR THIS PROJECT.

THESE NOTES ARE TO BE READ IN CONJUNCTION WITH THESE DRAWINGS. IN THE EVENT OF CONFLICT BETWEEN THE INFORMATION ON THE DRAWINGS AND THESE NOTES, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN. CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND FIELD CONDITIONS AND NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES.

THE CONTRACTOR SHALL VERIFY CONDITIONS, ALL QUANTITIES, AND EXTENT OF DETERIORATION AND ROT BOTH ON THE SURFACE AND SUB-SURFACE TO VERIFY RELEVANT CONDITIONS BEFORE BEGINNING THE WORK. THE CONTRACTOR SHALL INVESTIGATE THROUGH REMOVALS AND NOTIFY THE DESIGN PROFESSIONAL OF EXISTING CONDITIONS.

CORRELATION AND INTENT OF DRAWINGS:

ANY DRAWING IN WHICH A PORTION OF THE WORK IS DETAILED OR DRAWN OUT AND THE REMAINDER IS SHOWN IN OUTLINE, THE PART DETAILED OR DRAWN OUT WILL ALSO APPLY TO ALL OTHER LIKE PORTIONS OF THE WORK. WHEN THE WORD "SIMILAR" APPEARS ON DRAWING, IT HAS A GENERAL MEANING AND IS NOT TO BE INTERPRETED AS MEANING IDENTICAL. AND ALL DETAILS SHALL BE WORKED OUT IN RELATION TO THEIR LOCATION AND CONNECTION TO THE WORK. IN CASE OF INCONSISTENCY BETWEEN DOCUMENTS THE BETTER QUALITY OR BETTER QUANTITY OF WORK SHALL BE PROVIDED. IN CASE OF ANY DISCREPANCY IN FIGURES OR DRAWINGS, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST TO H2A ARCHITECTS FOR CLARIFICATION OR INTERPRETATION. ANY ADJUSTMENT MADE BY THE CONTRACTOR WITHOUT SUCH A DETERMINATION, WILL BE AT THE CONTRACTOR'S OWN RISK AND EXPENSE.

PERMITS:

THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS.

TEMPORARY CONTROLS:

THE CONTRACTOR SHALL PROVIDE TEMPORARY ENCLOSURE FOR THE WORK TO ENSURE THE BUILDING IS WEATHER TIGHT AT ALL TIMES TO AVOID DAMAGES OR INCIDENTAL DAMAGES. COORDINATE ENCLOSURE WITH DRYING/CURING AND VENTILATING REQUIREMENTS FOR WORK.

JOB CONDITIONS:

DISPOSE OF MATERIALS ON A REGULAR BASIS AT A LANDFILL APPROPRIATE TO THE MATERIALS BEING DISPOSED OF. DISPOSE OF HAZARDOUS, DANGEROUS, OR UNSANITARY WASTE IN A LAWFUL MANNER. KEEP SITE CLEAN AND FREE OF DEBRIS AND REFUSE DAILY. DO NOT BURN OR BURY MATERIALS ON SITE.

SUBSTITUTIONS:

WHERE SPECIFIC PRODUCTS ARE LISTED, THE CONTRACTOR SHALL PROVIDE THE PRODUCT NAMED. ONLY IN CASES OF UNAVAILABILITY MAY ANOTHER PRODUCT BE SUBSTITUTED. WHERE PRODUCT IS LISTED WITH "OR EQUAL" CONTRACTOR MAY PROVIDE A PRODUCT EQUAL IN QUALITY AND PERFORMANCE TO THE NAMED PRODUCT. WHERE PRODUCT PERFORMANCE ONLY IS LISTED, THE CONTRACTOR MAY PROVIDE ANY PRODUCT MEETING THE PERFORMANCE CRITERIA.

DIVISION 2 - REMOVALS:

IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADEQUATE SHORING AND BRACING DURING CONSTRUCTION TO ACCOUNT FOR ALL FORCES, INCLUDING BUT NOT LIMITED TO: FORCES FROM GRAVITY, EARTH, WIND, AND UNBALANCED FORCES DUE TO CONSTRUCTION SEQUENCE.

PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS. PREVENT MOVEMENT OR SETTLEMENT. PROTECT ITEMS TO REMAIN. CONDUCT REMOVALS TO MINIMIZE INTERFERENCE WITH ADJACENT FEATURES AND WITH A MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESS.

DISCONNECT AND REMOVE ITEMS INTERFERING WITH THE UNDERTAKING OF THE WORK. PERFORM REMOVAL OF COMPONENTS AS INDICATED AND IN AN ORDERLY AND CAREFUL MANNER.

WOOD SHINGLE SIDING: SINGLE OR SMALL AREA REMOVALS; CAREFULLY REMOVE WOOD SIDING SHINGLES INDICATED TO BE REPLACED. CUT LOWER NAILS WITH HACKSAW BLADE FROM THE UNDERSIDE. SPLIT OR BREAK SHINGLE IF NECESSARY FOR REMOVAL. DO NOT ATTEMPT PARTIAL REMOVALS/REPLACEMENTS.

FOR COMPLETE REMOVAL OF SHINGLE SIDING AT DORMERS, A MASS APPROACH MAY BE USED STARTING FROM THE BOTTOM AND PRYING LOOSE WITH A FLAT BAR.

CAREFULLY REMOVE WOOD TRIMS INDICATED TO BE REPLACED. WOOD TRIMS AND SILLS MAY BE CUT FOR PARTIAL REPLACEMENTS OR DUTCHMAN REPLACEMENTS.

WHERE ASPHALT SHINGLES MUST BE REMOVED TO FACILITATE THE INSTALLATION OF NEW FLASHINGS, CAREFULLY REMOVE SHINGLES. USE A FLAT BAR TO PRY UP THE SHINGLE AND REMOVE THE NAILS, BEING CAREFUL NOT TO DAMAGE THE SHINGLE ABOVE IT.

TAKE ACTIONS TO MINIMIZE DUST AND AIR-BORNE DEBRIS. REMOVE MATERIALS FROM SITE AS WORK PROGRESSES. MAINTAIN WORK AREA IN CLEAN CONDITION. DO NOT BURN OR BURY MATERIALS ON SITE.

DIVISION 4 - MASONRY BRICK REPAIRS:

CAREFULLY REMOVE LOOSE AND DAMAGED BRICK. SALVAGE AS MUCH BRICK AS POSSIBLE. REMOVE MORTAR AROUND DAMAGED BRICK AREA BACK TO SOUND MATERIAL. RINSE WITH WATER.

MATCH EXISTING MORTAR STRENGTH, TEXTURE, AND COLOR. PROVIDE TYPE 'O' FOR ALL BRICK VENEER REPAIRS UNLESS OTHERWISE NOTED. PROVIDE TYPE 'N' FOR MULTI-RYTHE BEARING WALL REPAIRS.

BRICK SHALL BE RE-USED WHENEVER POSSIBLE, WHERE RE-USE IS NOT POSSIBLE NEW BRICK SHALL MATCH EXISTING BRICK. NEW BRICK SHALL BE ASTM C 62, GRADE SN, TYPE FBS, RATED "NOT EFFLORESCED". COLOR TO MATCH EXISTING AND BE APPROVED BY THE ARCHITECT IN ADVANCE.

COURSING SHALL MATCH EXISTING BOND WITH CONCAVE MORTAR JOINTS TO MATCH EXISTING UNLESS NOTED OTHERWISE.

THOROUGHLY WET SURROUNDING BRICK AND MORTAR PRIOR TO RE-INSTALLATION OF BRICK AND MORTAR. ENSURE SURFACES ARE SATURATED BUT FREE OF STANDING WATER. TIGHTLY PACK MORTAR INTO JOINTS IN THIN LAYERS 1/4" MAXIMUM. ALLOW LAYER TO BECOME THUMBPRINT HARD BEFORE APPLYING NEXT LAYER. TAKE CARE NOT TO SPREAD MORTAR OVER EDGES ONTO EXPOSED BRICK FACES. TOOL MORTAR WHEN THUMBPRINT HARD.

CLEAN MASONRY TO REMOVE EXCESS MORTAR AND DROPPINGS. USE SURE KLEAN 600 BY PROSOCO OR EQUAL.

DIVISION 5 - WOOD

WOOD FRAMING

1. ALL WOOD FRAMING SHALL CONFORM TO THE "TIMBER CONSTRUCTION MANUAL" BY THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" BY THE AMERICAN FOREST & PAPER ASSOCIATION - AMERICAN WOOD COUNCIL.

2. WOOD FOR STRUCTURAL MEMBERS SHALL CONFORM TO THE FOLLOWING:

A. WOOD SPECIES

A. PROTECTED FROM WEATHER:

SOUTHERN PINE (SP)
NO. 2 OR BETTER (SP1B)

B. EXPOSED TO WEATHER:

WESTERN RED CEDAR

B. WOOD PROPERTIES

a. BENDING FB [975] PSI
b. SHEAR FV [175] PSI
c. MOD. ELAS. E= [1,600,000] PSI

3. PLYWOOD ROOF DECK AND WALL SHEATHING SHALL BE IDENTIFIED WITH THE APPROPRIATE GRADE TRADEMARK OF THE APA - THE ENGINEERED WOOD ASSOCIATION AND SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF "U.S. PRODUCT STANDARDS, PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD". PLYWOOD THICKNESS IS SHOWN ON THE DRAWINGS.

4. GLUE FOR WOOD CONSTRUCTION SHALL COMPLY WITH SPECIFICATION AFG-01 OF THE APA - THE ENGINEERED WOOD ASSOCIATION.

5. ALL LUMBER AND PLYWOOD CONCEALED FROM VIEW BUT IN CONTACT WITH ROOFING MEMBRANES, FASCIAS, FLASHINGS, CONCRETE, MASONRY OR WITHIN 8' OF GRADE SHALL BE PRESSURE PRESERVATIVE TREATED.

6. ALL HARDWARE AND FASTENERS FOR USE WITH CEDAR, PRESSURE PRESERVATIVE TREATED LUMBER AND PLYWOOD SHALL BE SHALL BE STAINLESS STEEL.

7. CONTRACTOR SHALL PROVIDE BLOCKING AS NEEDED FOR ALL ANCHORAGE OF TRIMS, MOLDINGS AND OTHER WOOD TRIM FEATURES.

FINISH CARPENTRY

LUMBER MATERIALS:

ALL WOOD FOR EXTERIOR TRIMS AND SILLS SHALL BE GRADED IN ACCORDANCE WITH NWFA 2012, NLGA 200B AND NCLIB 102-C GRADING RULES.

WOOD FOR TRIMS, SILLS, BEADBOARD AND MOLDING NOT NOTED AS "SYNTHETIC WOOD PRODUCTS":

WESTERN RED CEDAR, GRADE A
TRIMS: S1S2E
BEADBOARD AND OTHER MOLDINGS - MATCH EXISTING SHAPES
MAXIMUM MOISTURE CONTENT 19%
MATCH EXISTING SIZES AND SHAPES OF MEMBERS BEING REPLACED

FASTENERS SHALL BE STAINLESS STEEL, APPROPRIATE SIZES AND SHAPES FOR APPLICATION ENSURING ADEQUATE EMBEDMENT.

PLASTIC SIMULATED WOOD TRIM

ALL PLASTIC SIMULATED WOOD TRIM SHALL CONFORM TO: ASTM D510; STANDARD TEST METHOD FOR WATER ABSORPTION OF PLASTICS. ASTM D648; STANDARD TEST METHOD FOR DEFLECTION TEMPERATURE OF PLASTICS UNDER FLEXURAL LOAD IN THE EDGEWISE POSITION. ASTM D696; STANDARD TEST METHOD FOR COEFFICIENT OF LINEAR THERMAL EXPANSION OF PLASTICS BETWEEN 30 DEGREES C AND 90 DEGREES C WITH A VITREOUS SILICA DILATOMETER. ASTM D710; STANDARD TEST METHODS FOR FLEXURAL PROPERTIES OF UN-REINFORCED AND REINFORCED PLASTICS AND ELECTRICAL INSULATING MATERIALS. ASTM D1505; STANDARD TEST METHOD FOR DENSITY OF PLASTICS BY THE DENSITY GRADIENT TECHNIQUE. ASTM E84; STANDARD TEST METHOD FOR SURFACE BURNING CHARACTERISTICS OF BUILDING.

MATERIAL SHALL BE A FREE-FOAM CELLULAR POLYVINYL CHLORIDE (PVC).

MANUFACTURER: TREX COMPANY INC. 800.284.8739. WWW.TREX.COM, OR APPROVED EQUAL.

THE INSTALLER SHALL HAVE A MINIMUM OF FIVE (5) YEARS EXPERIENCE IN THE INSTALLATION OF THIS PRODUCT.

WARRANTY OF PRODUCT SHALL BE TEN (10) YEARS.

TRIM BOARDS, BEAD BOARD AND MOULDING SHALL MATCH EXISTING SIZE AND SHAPE

FASTENERS: PROVIDE STAINLESS STEEL SIDING NAILS EQUAL TO SLIM-JIM TYPE 304, OR PROVIDE FASTENERS, TYPE AND SIZE AS RECOMMENDED BY MANUFACTURER FOR MAXIMUM CONCEALMENT. RECESS HEADS AND FLUG.

ADHESIVES: PROVIDE PRODUCT AS RECOMMENDED BY MANUFACTURER. MITERED CORNERS SHALL BE BOTH GLUED AND FASTENED.

JOINERY: TRIM SHALL BE INSTALLED WITH MINIMUM NUMBER OF JOINTS PRACTICAL. SCRIBE AND CUT TRIM TO FIT ADJOINING WORK. CUT JOINTS SHALL BE FIT TO EXCLUDE WATER. COPE JOINTS AT RETURN AND MITER OUTSIDE CORNERS.

REPAIR ROTTED SILLS WITH FLEXIBLE EPOXY CONSOLIDANT AND FLEXIBLE EPOXY PATCH EQUAL TO CONSERV FLEXIBLE EPOXY CONSOLIDANT 100 AND CONSERV FLEXIBLE EPOXY PATCH 200. PREPARE WOOD IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. EQUIVALENT MANUFACTURERS INCLUDE ABATRON, WOODFOX, LIGUIDWOOD.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION:

SHINGLE ROOFING SHALL BE ASPHALT DIMENSIONAL SHINGLE, TO MATCH EXISTING SIMILAR TO 30-YEAR WARRANTY, EQUAL TO CERTAINTED LANDMARK. PROVIDE SELF-ADHERING UNDERLAYMENT AROUND ALL DORMERS WHERE NEW WORK IS UNDERTAKEN. UNDERLAYMENT TO BE "ICE AND WATER SHIELD" BY GRACE OR EQUAL.

FASTENERS FOR ASPHALT SHINGLES SHALL BE ROUND WIRE, ZINC COATED STEEL OR ALUMINUM, 11 OR 12 GAUGE BARED SHANK TYPE, 3/8" HEAD, SUFFICIENT LENGTH FOR ¾" PENETRATION OR AS RECOMMENDED BY ROOFING MANUFACTURER.

WOOD SHINGLE SIDING SHALL BE 'CERTIGRADE' REBUTTED AND REJOINTED (R&R) SIDENALL SINGLES, WESTERN RED CEDAR, MATCHING EXISTING 8" EXPOSURE, MATCH EXISTING SIZE (ASSUMED 18"), MATCHING PATTERN AND INSTALLATION CONFIGURATION (SINGLE COURSING WITH DOUBLE STARTING COURSES).

WOOD SHINGLES SHALL BE FACTORY PRE-PRIMED (ALKYD OIL). EVERY CUT END SHALL BE COATED ON-SITE TO ENSURE PERFORMANCE AND MAINTAIN WARRANTY. TOUCH UP CUT ENDS PRIOR TO INSTALLING THEM.

WOOD SHINGLES SHALL HAVE CORNERS ALTERNATED LACED. BUILD CORNERS WITH SHINGLES WITH TIGHT, VERTICAL GRAIN.

WOOD SHINGLES AT DORMERS SHALL HAVE A CONSISTENT AND STRAIGHT ¾" GAP BETWEEN THE ROOF DECK AND THE SIDEWALL.

INSTALL WOOD SHINGLE SIDING IN ACCORDANCE WITH THE CEDAR SHAKE AND SHINGLE BUREAU EXTERIOR & INTERIOR WALL MANUAL. WWW.CEDARBUREAU.ORG

WHERE INSTALLING WOOD SHINGLES AT THE BOTTOM OF THE WINDOW, ALIGN VERTICAL JOINTS WITH THE BOTTOM CORNERS OF THE WINDOW. GLUE AND NAIL EACH CORNER OF THE SHINGLE. BUTT THE SHINGLE TO THE BOTTOM TRIM OF THE WINDOW. PRE-DRILL FOR THESE FACE NAILS TO AVOID SPLITTING.

WHERE INSTALLING WOOD SHINGLES ABOVE WINDOWS OR DOORS AND HEAD FLASHING EXTENDS BEYOND THE TRIM, REPLACE DAMAGED FLASHING. INSTALL SHINGLE WITH ¼" TO ½" INCH SPACING OFF THE FLASHING TO ENSURE PROPER DRAINAGE.

WHERE INSTALL WOOD SHINGLES UNDER GABLES, GLUE AND NAIL EACH OF THE CORNERS.

FASTENERS FOR WOOD SHINGLES SHALL BE AS RECOMMENDED BY THE CEDAR SHAKE AND SHINGLE BUREAU EXTERIOR & INTERIOR WALL MANUAL. USE TYPE 304 STAINLESS STEEL 3D 1 ¼" RING SHANK NAILS. USE 5D 1-3/4" RING SHANK NAILS FOR DOUBLE SHATTER COURSES. USE 2 CONCEALED NAILS PER SHINGLE UNLESS NOTED OTHERWISE. DO NOT STAPLE. DO NOT OVER-DRIVE OR UNDER-DRIVE NAILS. LACED CORNERS SHALL BE GLUED AND NAILED AT THE CORNER, PRE-DRILLING THE HOLES TO AVOID SPLITTING.

UNDERLAYMENT: FOR WALL SHINGLES, VERIFY EXISTING UNDERLAYMENT AND CONDITION. IF NO UNDERLAYMENT IS PRESENT THEN NO UNDERLAYMENT SHALL BE INSTALLED. IF UNDERLAYMENT IS PRESENT IT SHALL BE REPLACED WITH LIKE MATERIAL WHERE DAMAGED. IT IS ASSUMED TO BE 15# FELT.

INSTALL UNDERLAYMENT FOR WOOD SHINGLE SIDING IN ACCORDANCE WITH THE CEDAR SHAKE AND SHINGLE BUREAU EXTERIOR & INTERIOR WALL MANUAL.

FLASHINGS, CORNICE RETURN CAPS AND OTHER METAL ROOFING SHALL BE 16 OZ TERNE COATED STAINLESS STEEL OR FREEDOM GRAY TIN-ZINC, T-Z COATED COPPER BY REVERSE.

FASTENERS FOR FLASHING SHALL BE STAINLESS STEEL, APPROPRIATE SIZE AND SHAPE FOR ¾" PENETRATION.

DIVISION 9 - FINISHES:

PAINT

CONTRACTOR SHALL ASSUME LEAD PAINT IS PRESENT. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PROCEDURES AND DISPOSAL OF LEAD PAINT. CONTRACTOR SHALL BE LEAD SAFE CERTIFIED THROUGH THE RENOVATION, REPAIR AND PAINTING (RRP) EPA PROGRAM.

ALL PAINTING SHALL CONFORM TO ASTM D16 STANDARD TERMINOLOGY FOR PAINT, RELATED COATINGS, MATERIALS AND APPLICATIONS.

MATERIAL: EXTERIOR GRADE LATEX ACRYLIC
WARRANTY: LIMITED LIFETIME

PRODUCTS: VALSPAR DURAMAX OR APPROVED EQUAL

PRIMER: VALSPAR EXTERIOR LATEX PRIMER - WOOD
VALSPAR ANTI-RUST PRIMER -STEEL

APPLICATION: 3 COATS; 1 PRIMER + 2 COATS

FINISH:

BODY - SATIN
FASCIA'S, TRIMS, MOLDINGS, DOORS AND WINDOWS - SEMI-GLOSS
METAL - GLOSS

HAND-SCRAPE TO REMOVE RUST, LOOSE OR PEELING PAINT. WASH SURFACES WITH DETERGENT TO REMOVE DIRT GREASE AND OTHER RESIDUE. REMOVE MILDEN STAINS WITH MILDEN REMOVER APPROVED BY PAINT MANUFACTURER. RINSE SURFACE WITH WATER AND ALLOW TO DRY FULLY. DO NOT POWER WASH.

MIX PRODUCT AS DIRECTED BY MANUFACTURER. APPLY PRIMER OVER PROPERLY PREPARED COATED AND UNCOATED SURFACES. DO NOT PAINT WHEN RAIN OR HEAVY CONDENSATION IS EXPECTED WITHIN 12 HOURS.

APPLY WHEN TEMPERATURES ARE BETWEEN 45 DEGREES AND 90 DEGREES AND WILL REMAIN SO FOR 48 HOURS. APPLY ONTO SEMI-SMOOTH SURFACES WITH HIGH QUALITY 3/8 - ½" NAP ROLLER OR POLYESTER BRUSH. APPLY ONTO ROUGH SURFACES WITH A HIGH QUALITY ¾ - 1" NAP ROLLER.

ROOF PAINT

ROOF PAINT/COATING SHALL CONFORM TO ASTM D-2894-D TYPE LLL AND ASTM - D - 3805.

PROVIDE ASPHALT EXTERIOR COATING FOR HEAVY DUTY SERVICE EQUAL TO KARNAK #97 AF FIBERED ALUMINUM ROOF COATING.

PREPARE METAL ROOFS BY REMOVING ALL LOOSE PAINT, DIRT, OILS AND DUST BY SNEEPING. DO NOT POWER WASH. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR MIXING. APPLY UNIFORMLY WITH ROLLER OR SOFT ROOF BRUSH. AVOID OVERLAPPING ONTO ADJACENT SURFACES. PROTECTS WALLS, RAILINGS AND OTHER ADJACENT SURFACES. FOLLOW MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

DIVISION 32 - SITE:

RESTORE AND REPAIR ANY AREAS DAMAGED DURING CONSTRUCTION. PROTECT ALL AREAS ADJACENT TO CONSTRUCTION.



9100 Lapeer Rd. Suite B
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www.h2aarchitects.net

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SIDING AND TRIM REPLACEMENT FOR:

**ALLEN HOUSE
HISTORICAL MUSEUM**

556 W MAPLE RD
BIRMINGHAM, MI 48009

DRAWING TITLE

SPECIFICATIONS

PROJECT NO.

17-110

DATE

5-12-2017

DRAWN

EHD

CHECKED

JSH

6002

CAD FILE NO.

6002

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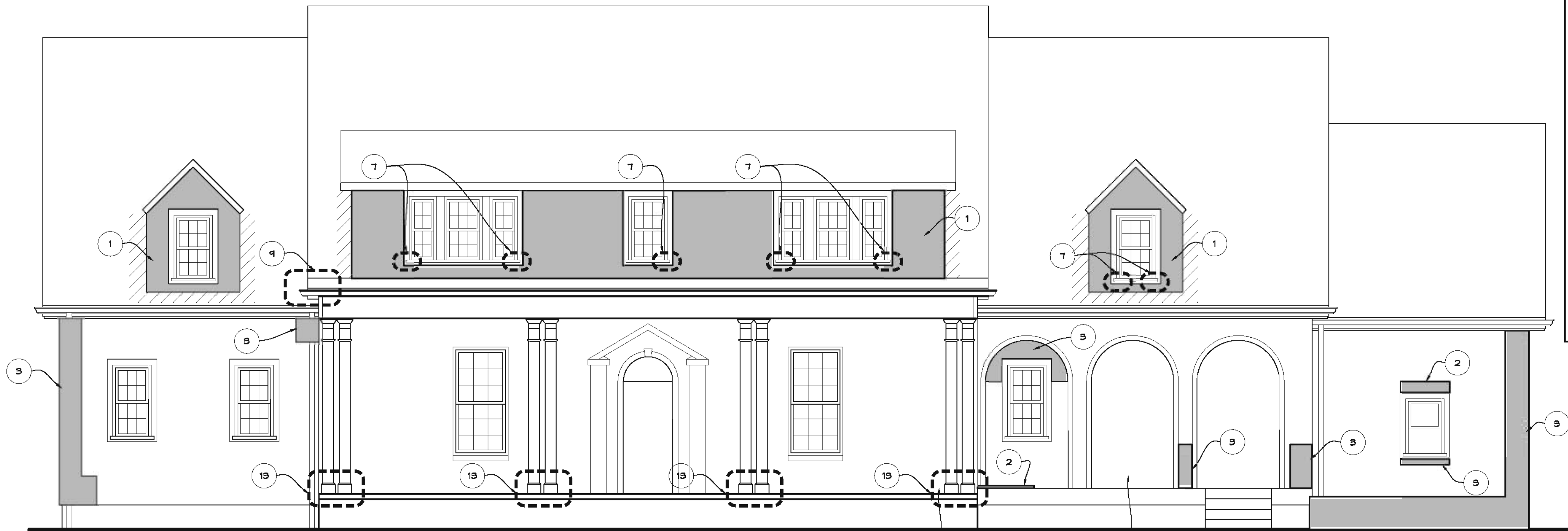
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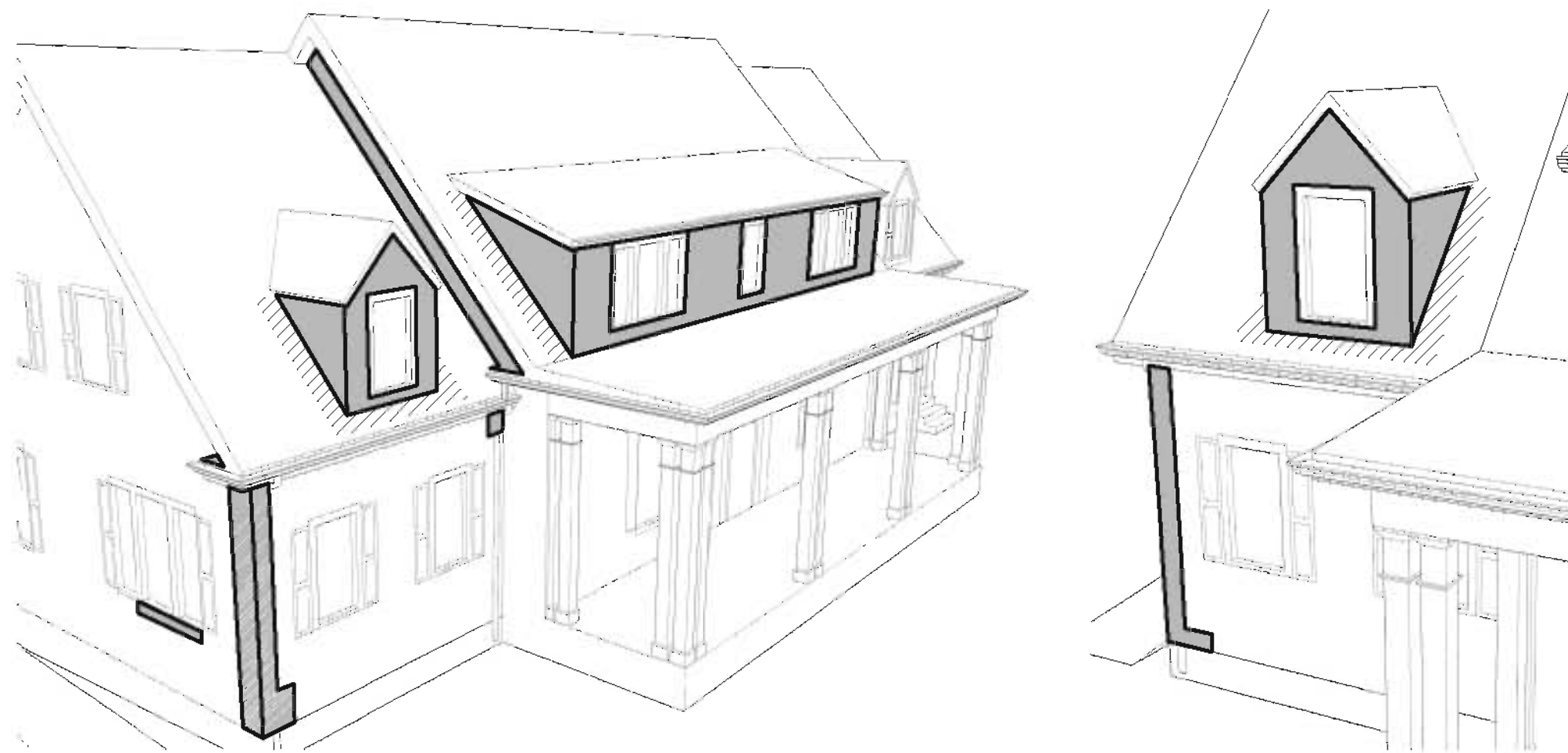


SOUTH
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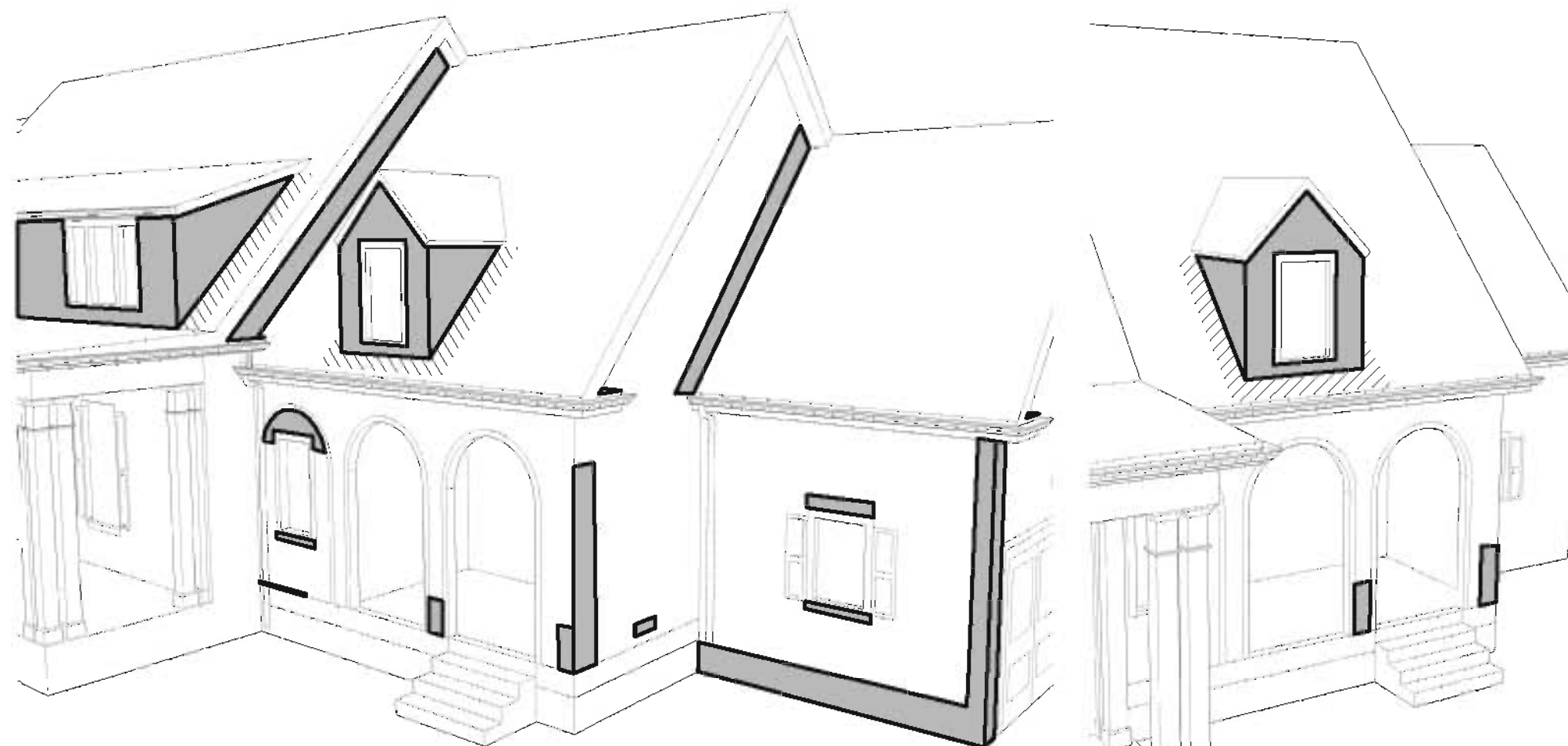
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REPLACE BRICK BEHIND
COLUMN, SEE PHOTO
CIRCLE BELOW

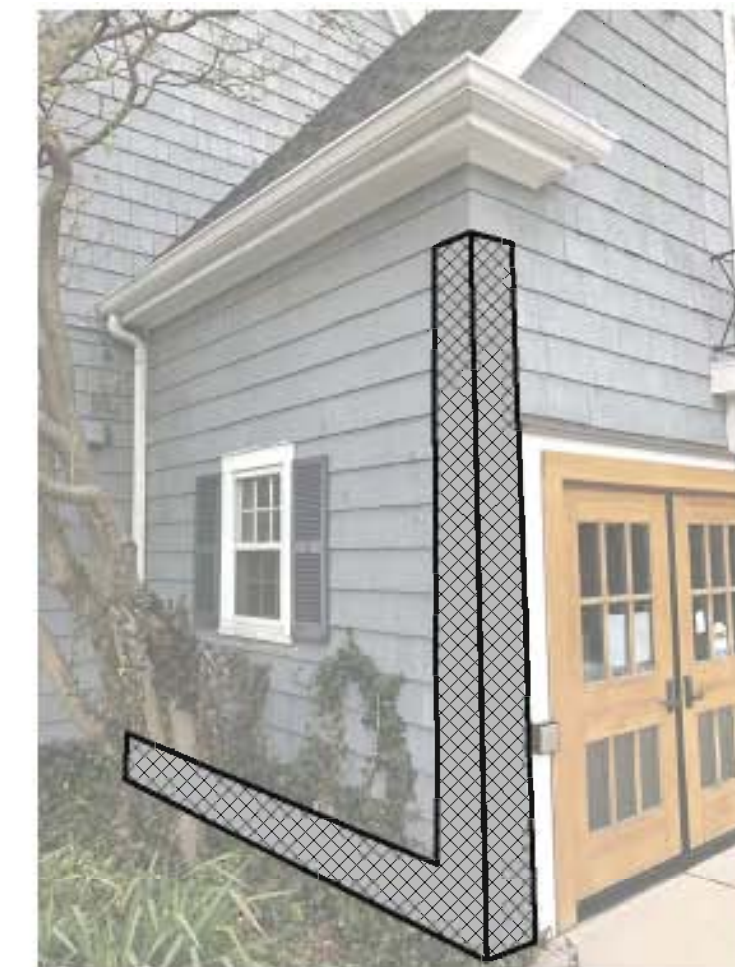
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GENERAL NOTES

1. REMOVE ALL SHUTTERS AND TURN OVER TO OWNER
2. REMOVE DOWNSPOUTS, CONDUITS AND OTHER MECHANICAL OR ELECTRICAL COMPONENTS AS NECESSARY TO COMPLETE NEW WORK. REINSTALL AFTER ALL WORK IS COMPLETED
3. REMOVE ALL VEGETATION FROM THE BUILDING AND INFORM DESIGN PROFESSIONAL WHEN COMPLETE FOR RE-INSPECTION
4. REMOVE GUTTERS AND INSPECT ALL FASCIA FOR ROT OR DETERIORATION, NOTIFY DESIGN PROFESSIONAL. RE-INSTALL ALL GUTTERS WHEN WORK IS COMPLETE
5. PREP ALL PREVIOUSLY PAINTED SURFACES FOR NEW PAINT RE: SPEC
6. CAREFULLY REMOVE EXISTING TRIMS WHERE NECESSARY TO COMPLETE SIDING REPLACEMENT OR OTHER NEW WORK AND REINSTALL TRIMS OR REPLACE AS NECESSARY
7. CONTRACTOR TO VERIFY ALL SUB-SURFACE CONDITIONS AND INFORM DESIGN PROFESSIONAL OF ANY ADDITIONAL DETERIORATION
8. PROVIDE FLASHING AT:
 - ALL OUTSIDE CORNER WHERE SHINGLE REPLACEMENTS ARE INDICATED
 - WHERE SHINGLES ARE REPLACED ABOVE OR BELOW WINDOWS, DOORS AND FLASHINGS EXTEND BEYOND THE TRIM
 - AT DORMER WALL TO ROOF JUNCTURE
 - AT WATER TABLE BOARD
 - AT LOCATIONS RECOMMENDED BY THE CEDAR SHAKE AND SHINGLE BUREAU WWW.CEDARSHAKEBUREAU.ORG



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CONSTRUCTION NOTES

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5. REMOVE AND PROVIDE NEW WOOD TRIMS WITH COMPOSITE TRIMS TO MATCH EXISTING PROFILES
6. REMOVE AND PROVIDE NEW PORTION OF WOOD CORNICE MOLDING TO MATCH EXISTING SPLICING NEW MATERIAL TO REMAINING MATERIAL
7. REPAIR ROTTED PORTION OF WOOD SILL USING WOOD CONSOLIDANTS AND EPOXY RESPEC
8. REMOVE AND PROVIDE NEW WOOD MUNTIN MOLDINGS AT GLAZING TO MATCH EXISTING
9. REPLACE CORNICE RETURN CAP FLASHING WITH NEW METAL CAP FLASHING RE: SPEC RE: 3-A104
10. RE-COAT EXISTING METAL ROOF AT BALCONY, RE: SPEC.
11. REMOVE WOOD SHINGLE SIDING AND PROVIDE NEW WITH 8" HIGH SYNTHETIC WOOD WATER TABLE BOARD REPLACE UNDERLAYMENT AND FLASHING
12. REMOVE ROTTED FASCIA AND PROVIDE NEW TO MATCH EXISTING
13. REPAIR BASE OF EXISTING COLUMNS INCLUDING : EPOXY OR DUTCHMAN REPAIRS TO ROTTED BASE OF COLUMN, REPLACE MISSING BLOCKING BENEATH BASE TRIM AND MOLDING, REPLACE ROTTED BASE TRIM AND MOLDING, AND REMOVAL AND RE-INSTALLATION OF LOOSE AND ILL FITTED BASE TRIMS AND MOLDINGS. GLUE AND NAIL ALL TRIM IN PLACE. MATERIAL WITHIN 8" OF CONCRETE SHALL BE REPLACED WITH SYNTHETIC WOOD PRODUCTS, RE:SPEC

NOTE:

3D IMAGES ARE SHOWN FOR REFERENCE ONLY CONTACT DESIGN PROFESSIONAL IF THERE ARE ANY DISCREPANCIES

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SIDING AND TRIM REPLACEMENT FOR:
**ALLEN HOUSE
HISTORICAL MUSEUM**

556 W MAPLE RD
BIRMINGHAM, MI 48009

DRAWING TITLE

**SOUTH ELEVATION
AND PHOTOS**

PROJECT NO.

17-110

DATE

5-12-2017

DRAWN

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CHECKED

JSH

A101

CAD FILE NO.

A101

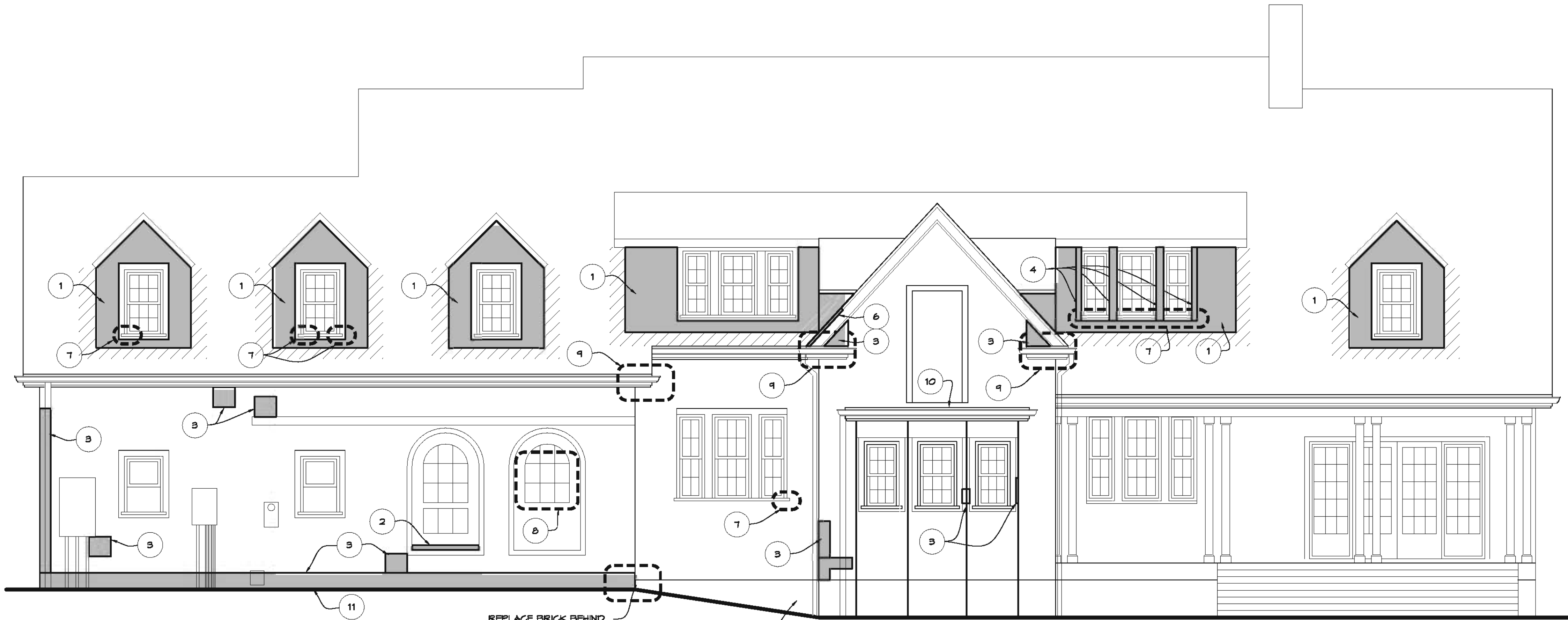
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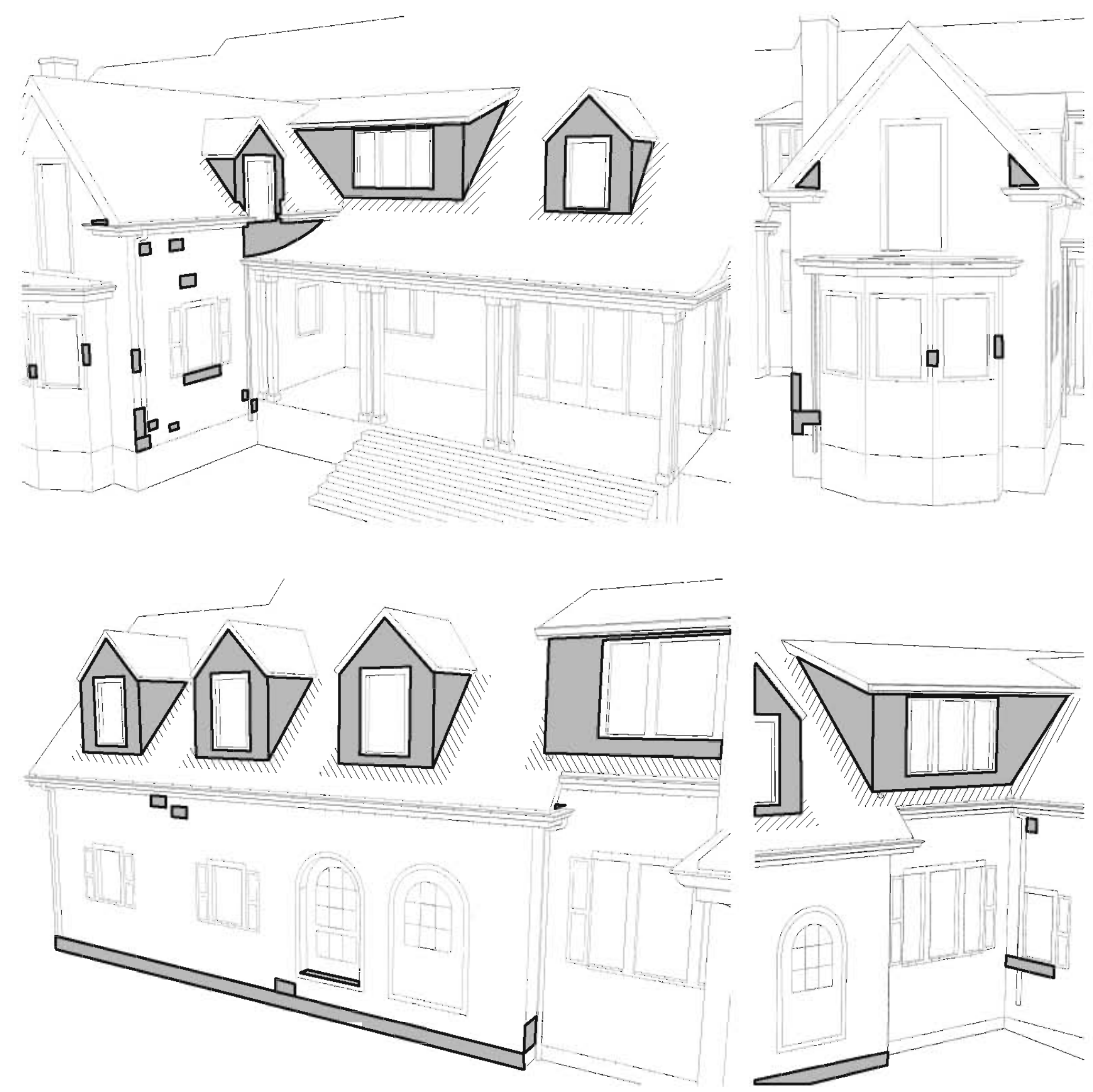
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**NORTH
ELEVATION**

1/4" = 1'-0"



GENERAL NOTES

1. REMOVE ALL SHUTTERS AND TURN OVER TO OWNER
2. REMOVE DOWNSPOUTS, CONDUITS AND OTHER MECHANICAL OR ELECTRICAL COMPONENTS AS NECESSARY TO COMPLETE NEW WORK. REINSTALL AFTER ALL WORK IS COMPLETED
3. REMOVE ALL VEGETATION FROM THE BUILDING AND INFORM DESIGN PROFESSIONAL WHEN COMPLETE FOR RE-INSPECTION
4. REMOVE GUTTERS AND INSPECT ALL FASCIA FOR ROT OR DETERIORATION, NOTIFY DESIGN PROFESSIONAL. RE-INSTALL ALL GUTTERS WHEN WORK IS COMPLETE
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6. CAREFULLY REMOVE EXISTING TRIMS WHERE NECESSARY TO COMPLETE SIDING REPLACEMENT OR OTHER NEW WORK AND REINSTALL TRIMS OR REPLACE AS NECESSARY
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 - AT WATER TABLE BOARD
 - AT LOCATIONS RECOMMENDED BY THE CEDAR SHAKE AND SHINGLE BUREAU WWW.CEDARSHAKEBUREAU.ORG

CONSTRUCTION NOTES

1. REMOVE AND PROVIDE NEW WOOD SHINGLE SIDING 100% OF DORMER TO MATCH EXISTING, REPLACE UNDERLAYMENT AND FLASHING, REMOVE AND REPLACE ASPHALT ROOF SHINGLES TO ALLOW INSTALLATION OF DORMER TO ROOF FLASHING
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10. RE-COAT EXISTING METAL ROOF AT BALCONY, RE: SPEC.
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SIDING AND TRIM REPLACEMENT FOR:
**ALLEN HOUSE
HISTORICAL MUSEUM**
556 W MAPLE RD
BIRMINGHAM, MI 48009

DRAWING TITLE	
NORTH ELEVATION AND PHOTOS	
PROJECT NO.	17-110
DATE	5-12-2017
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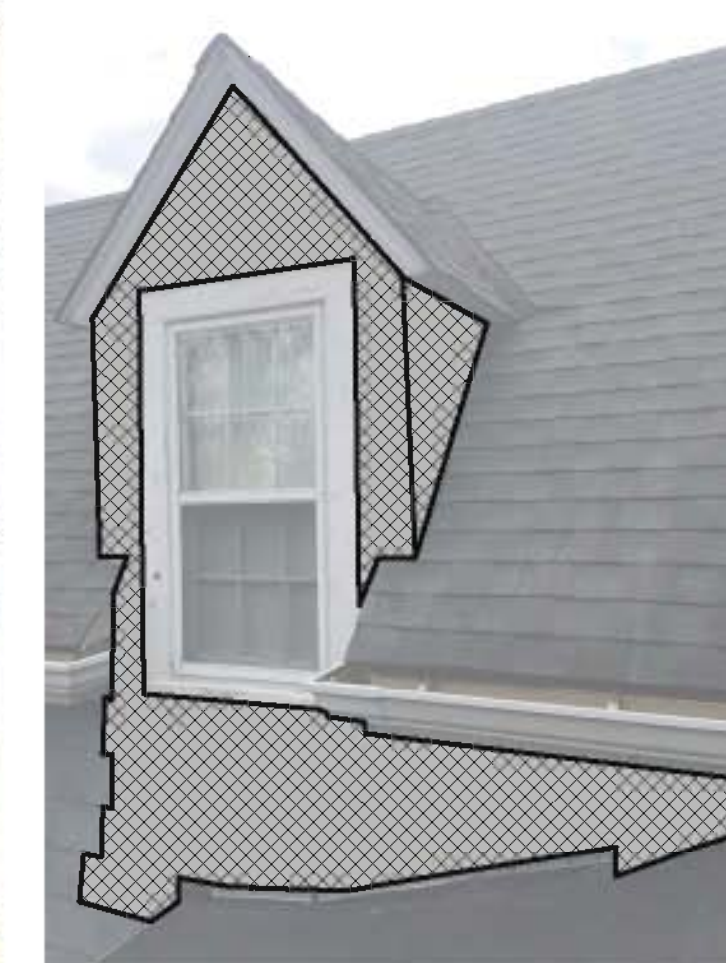
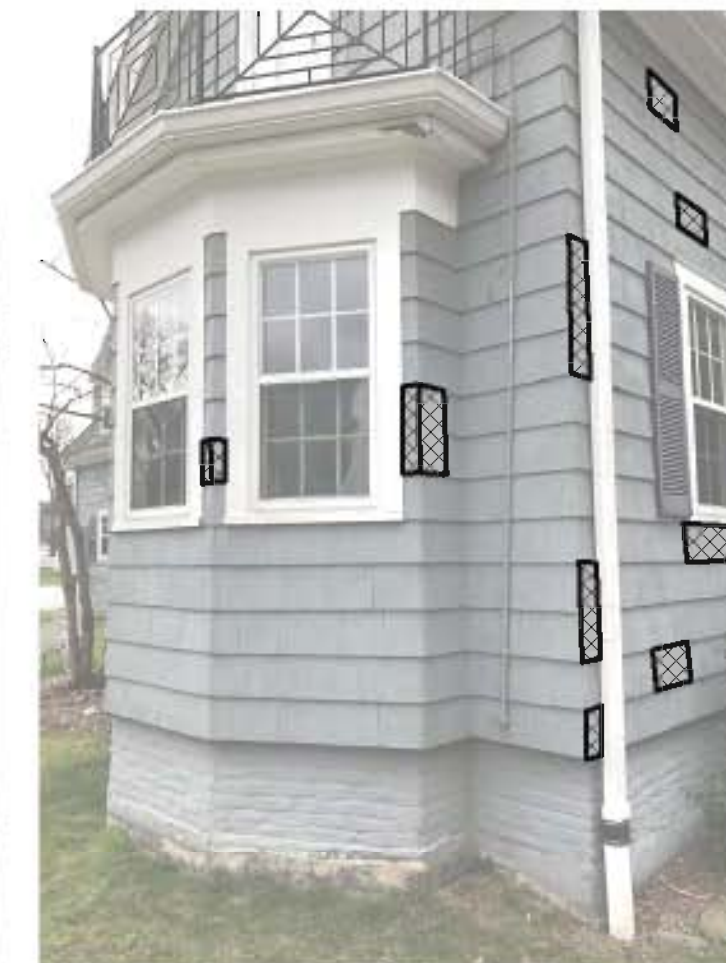
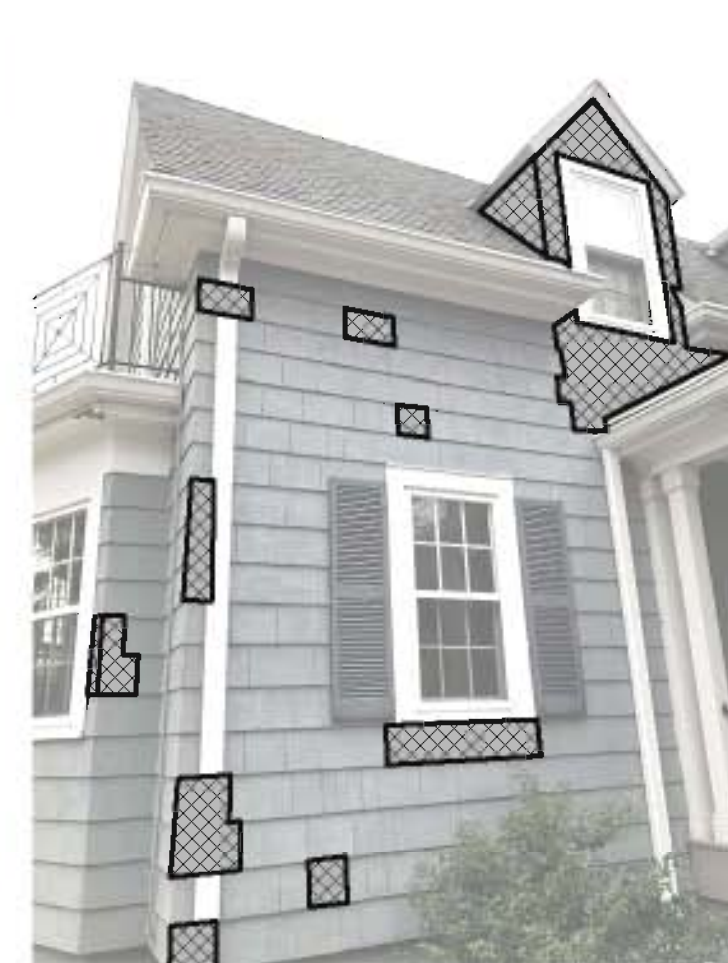
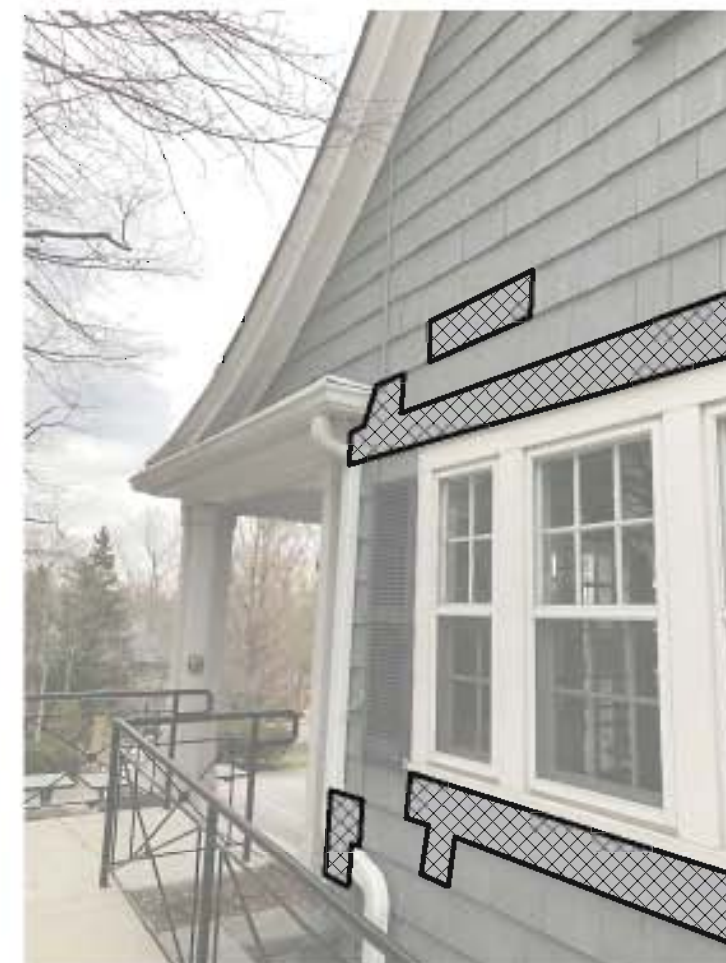
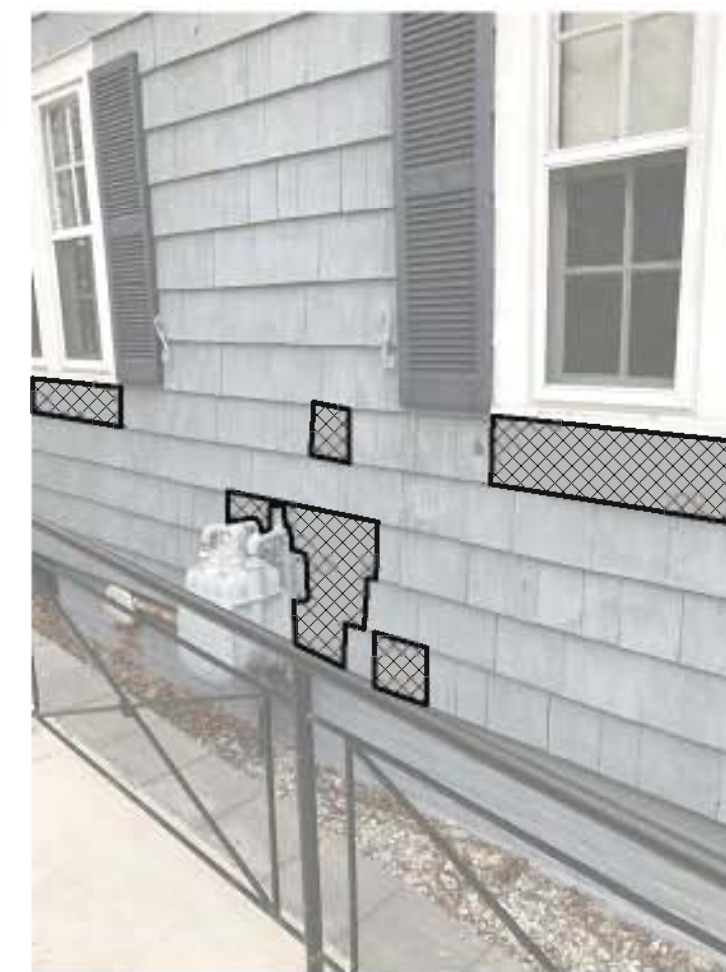
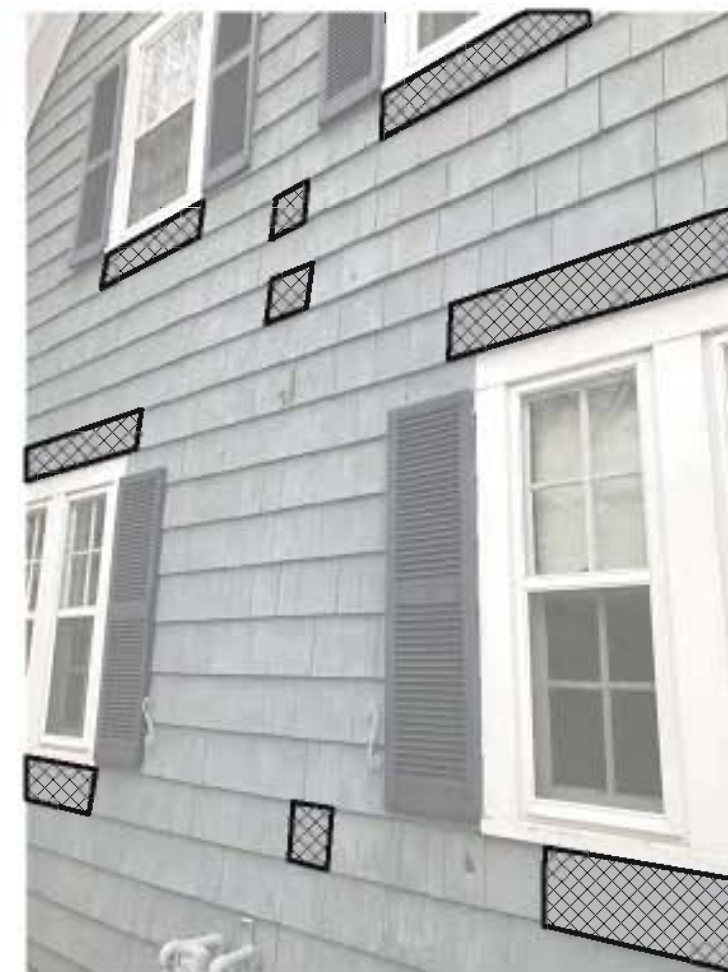
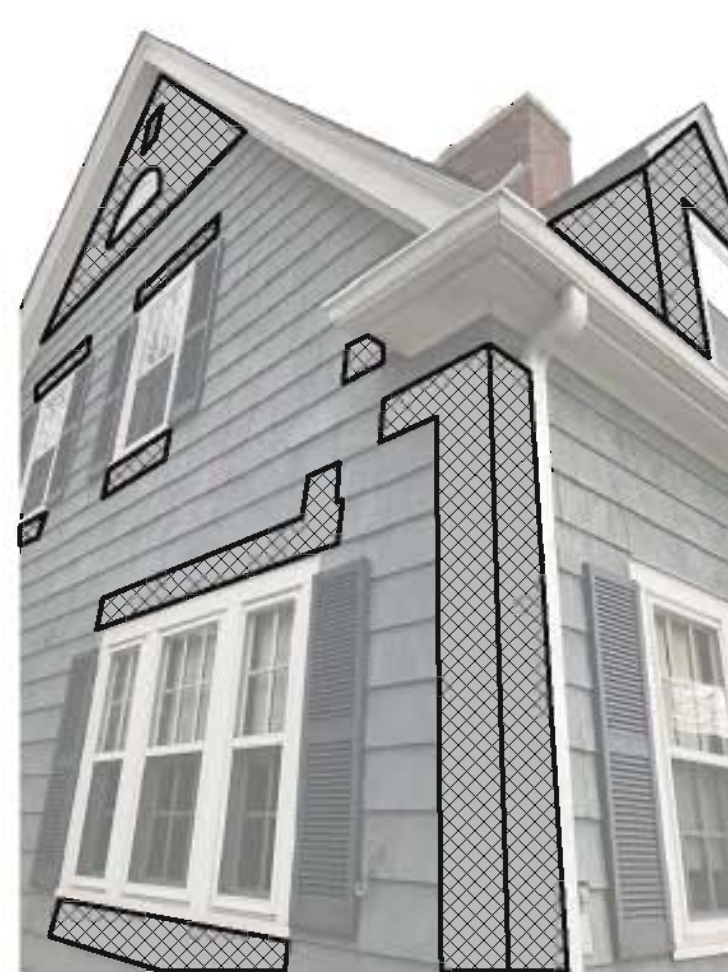
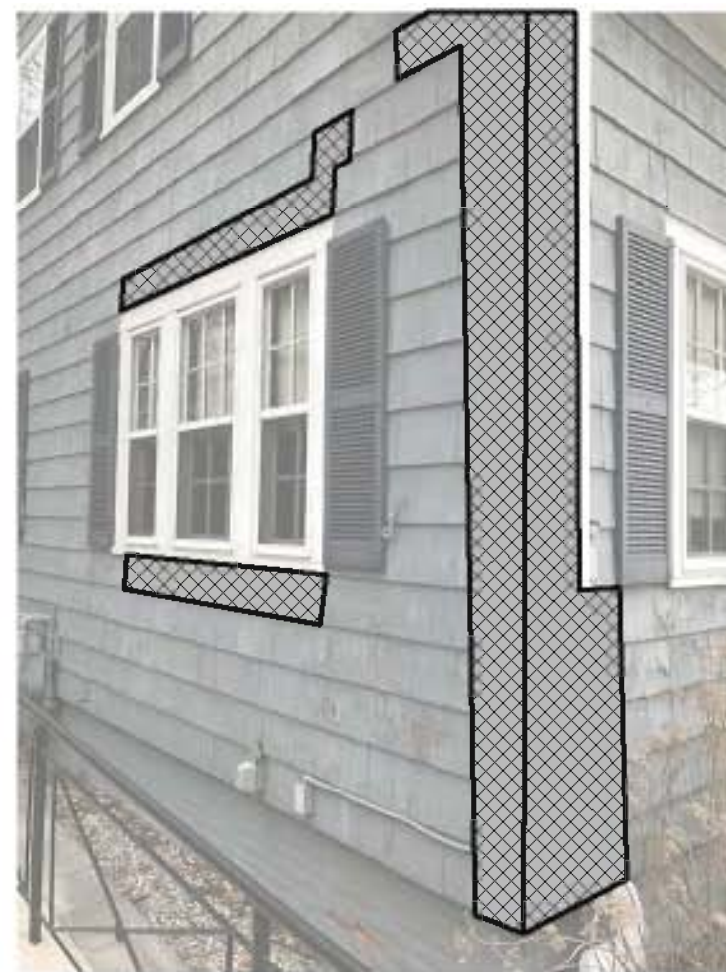
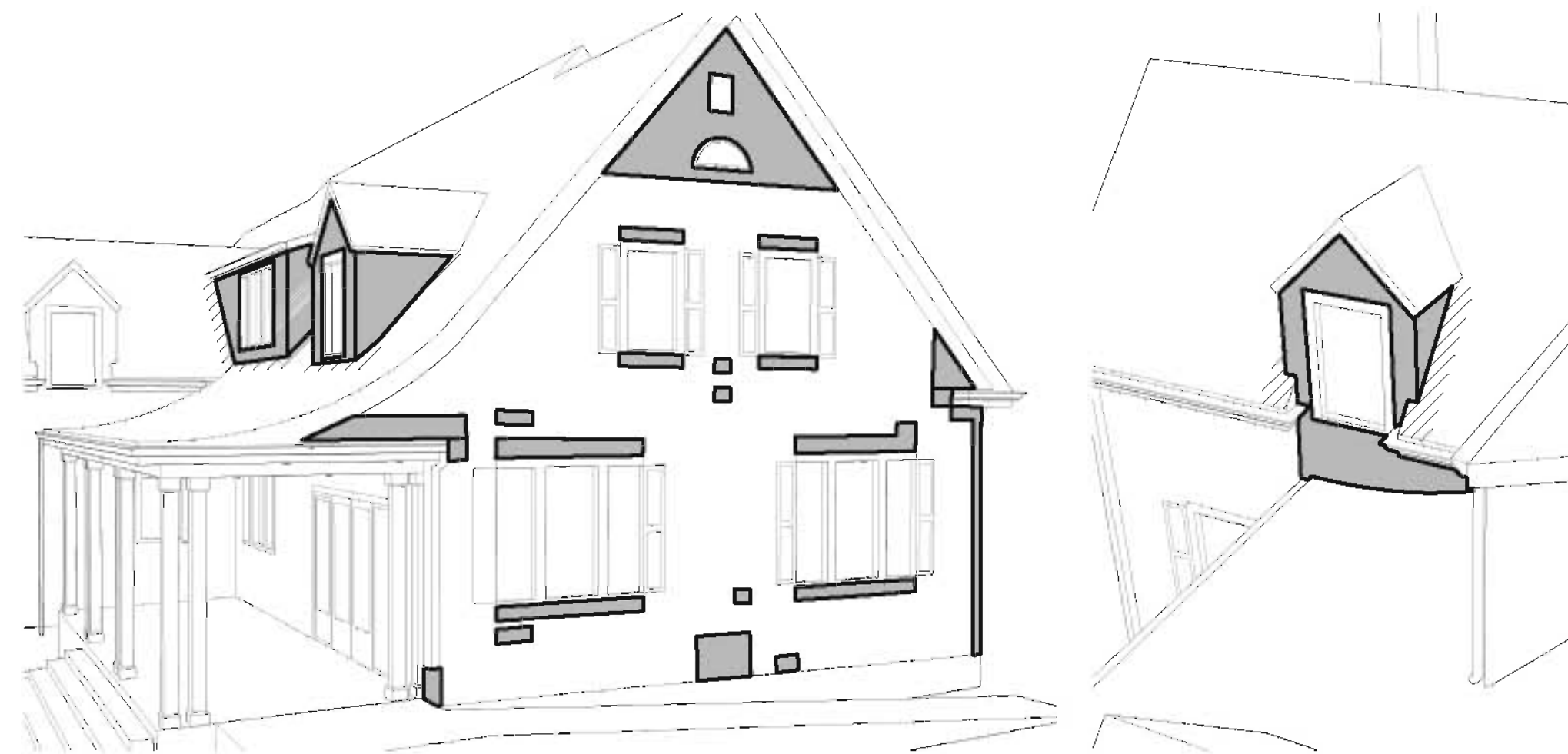
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WEST
ELEVATION

1/4" = 1'-0"



GENERAL NOTES

1. REMOVE ALL SHUTTERS AND TURN OVER TO OWNER
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SIDING AND TRIM REPLACEMENT FOR:
**ALLEN HOUSE
HISTORICAL MUSEUM**

556 W MAPLE RD
BIRMINGHAM, MI 48009

DRAWING TITLE

**WEST ELEVATION
AND PHOTOS**

PROJECT NO.

17-110

DATE

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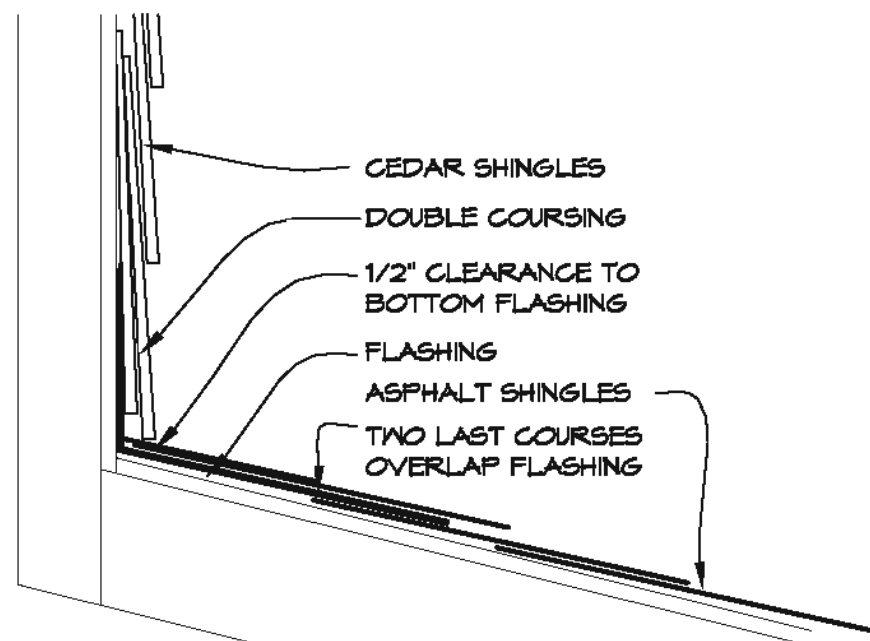
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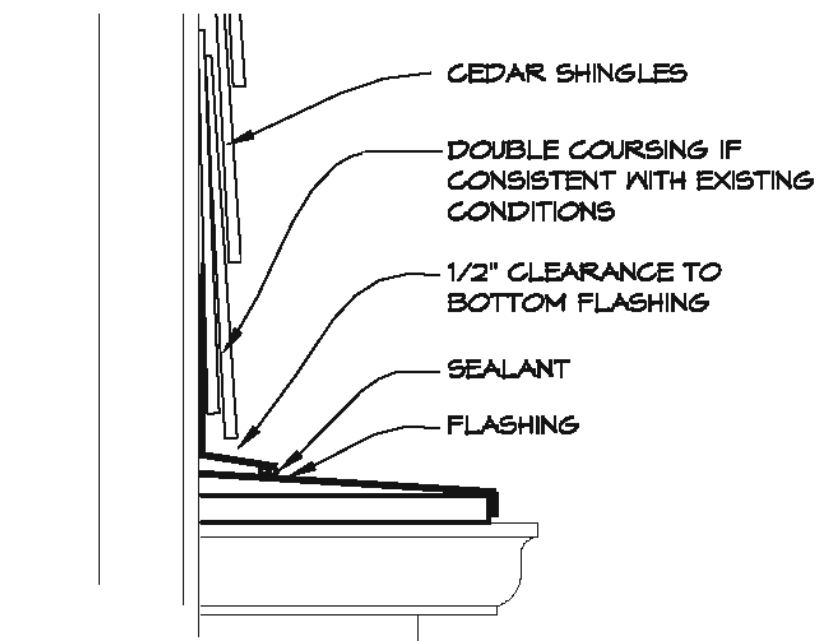
5 OF 6

Z:\Projects\City of Birmingham\T-170 Allen House\CAD\A104.dwg
PLOT DATE: 5/12/2017 4:52 PM



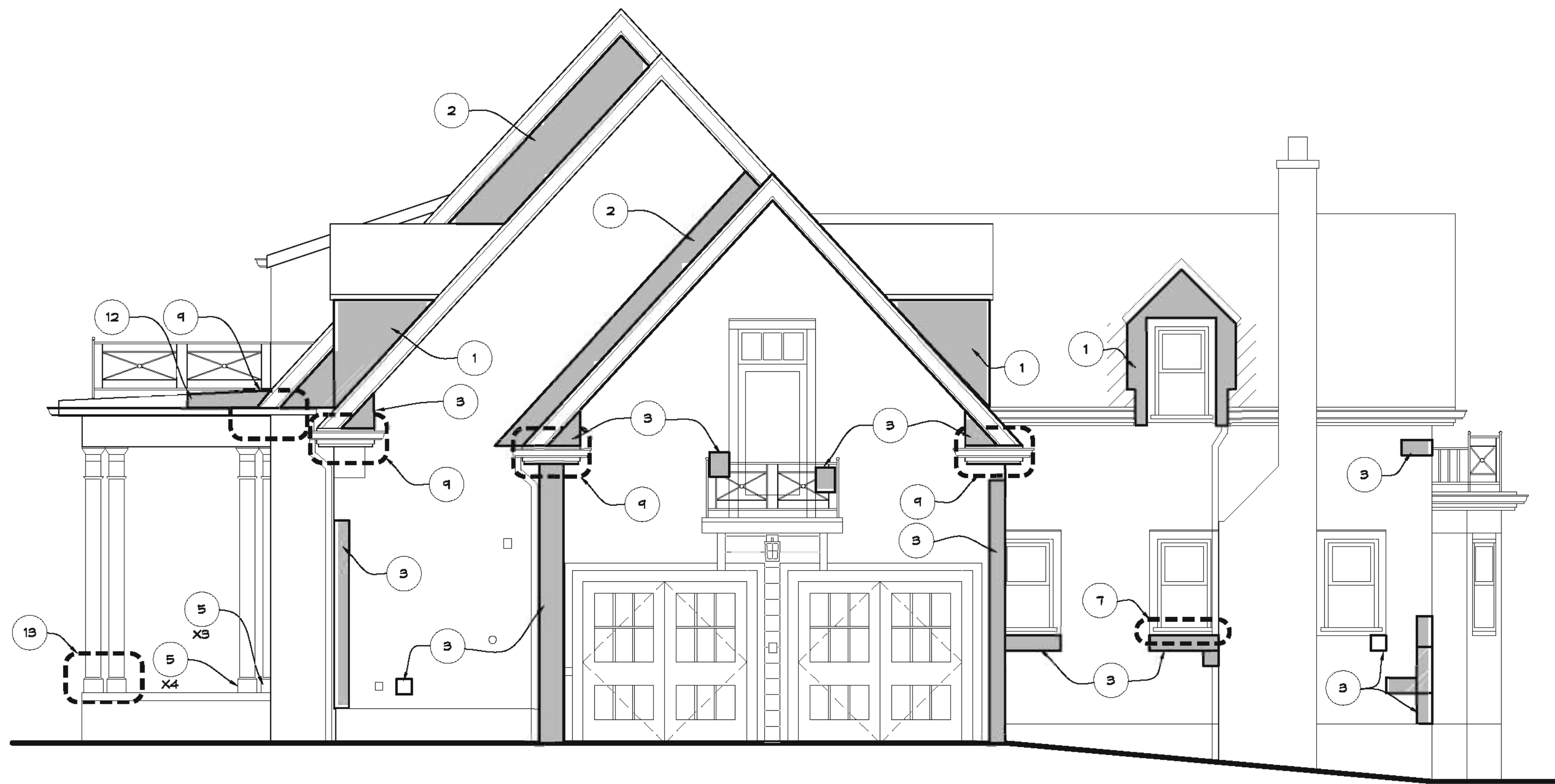
1
1 1/2" = 1'-0"

WALL TO ROOF
FLASHING DETAIL



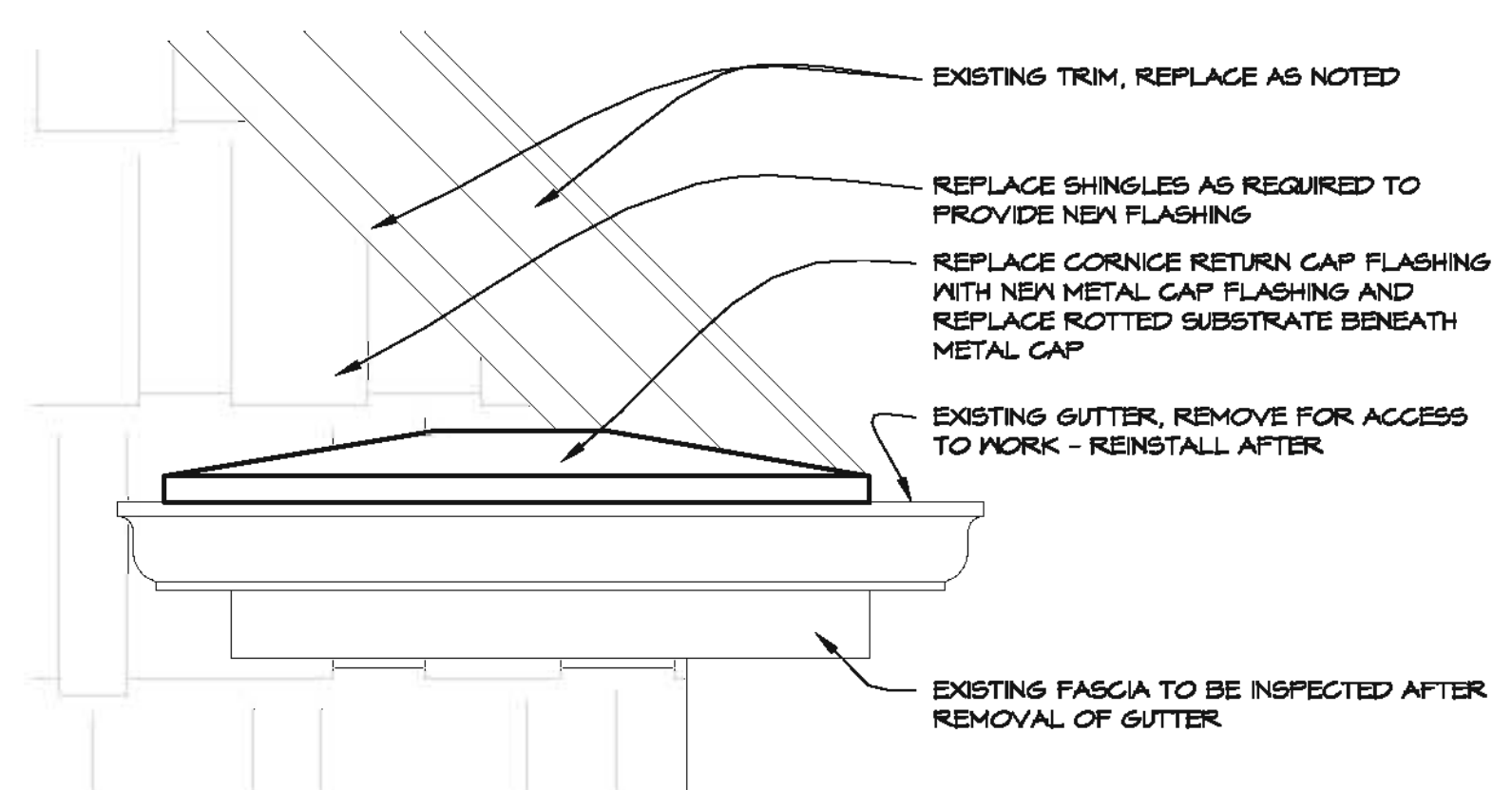
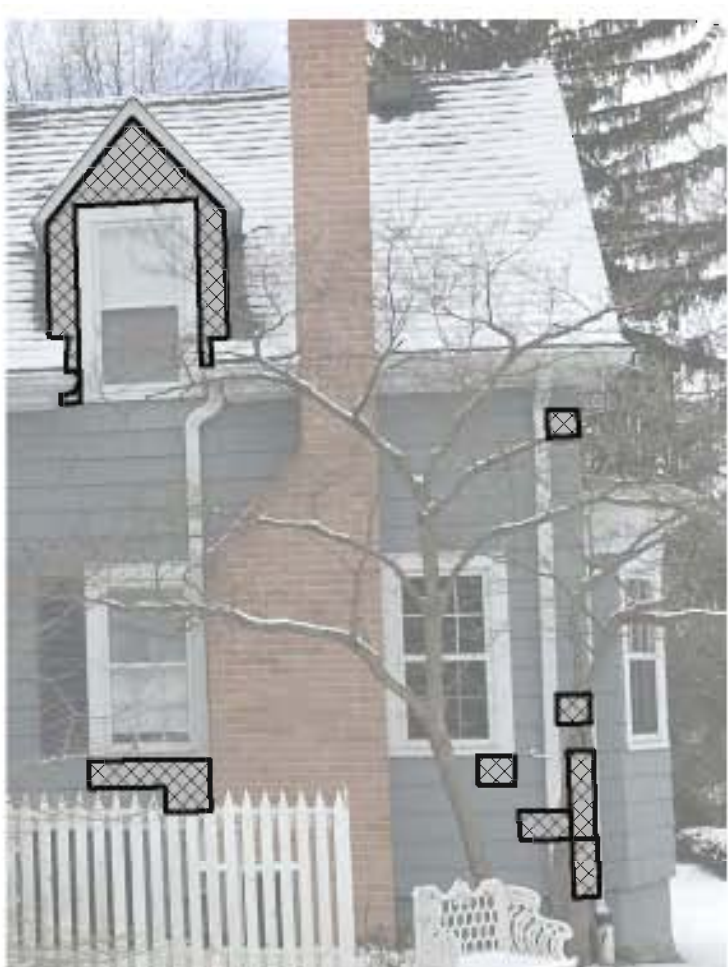
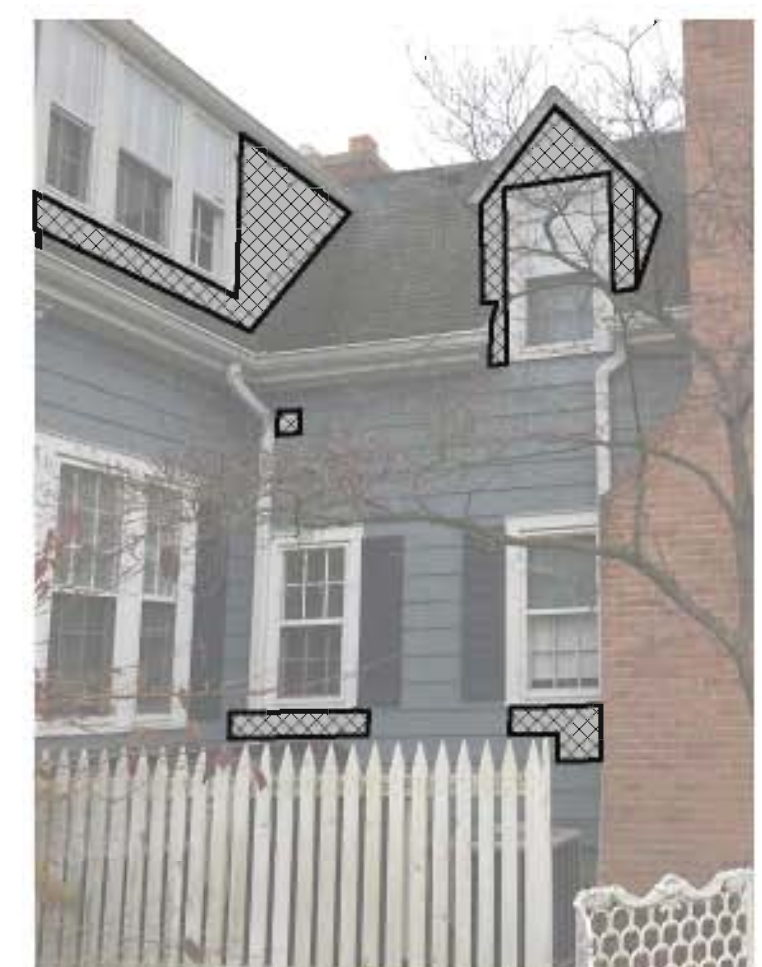
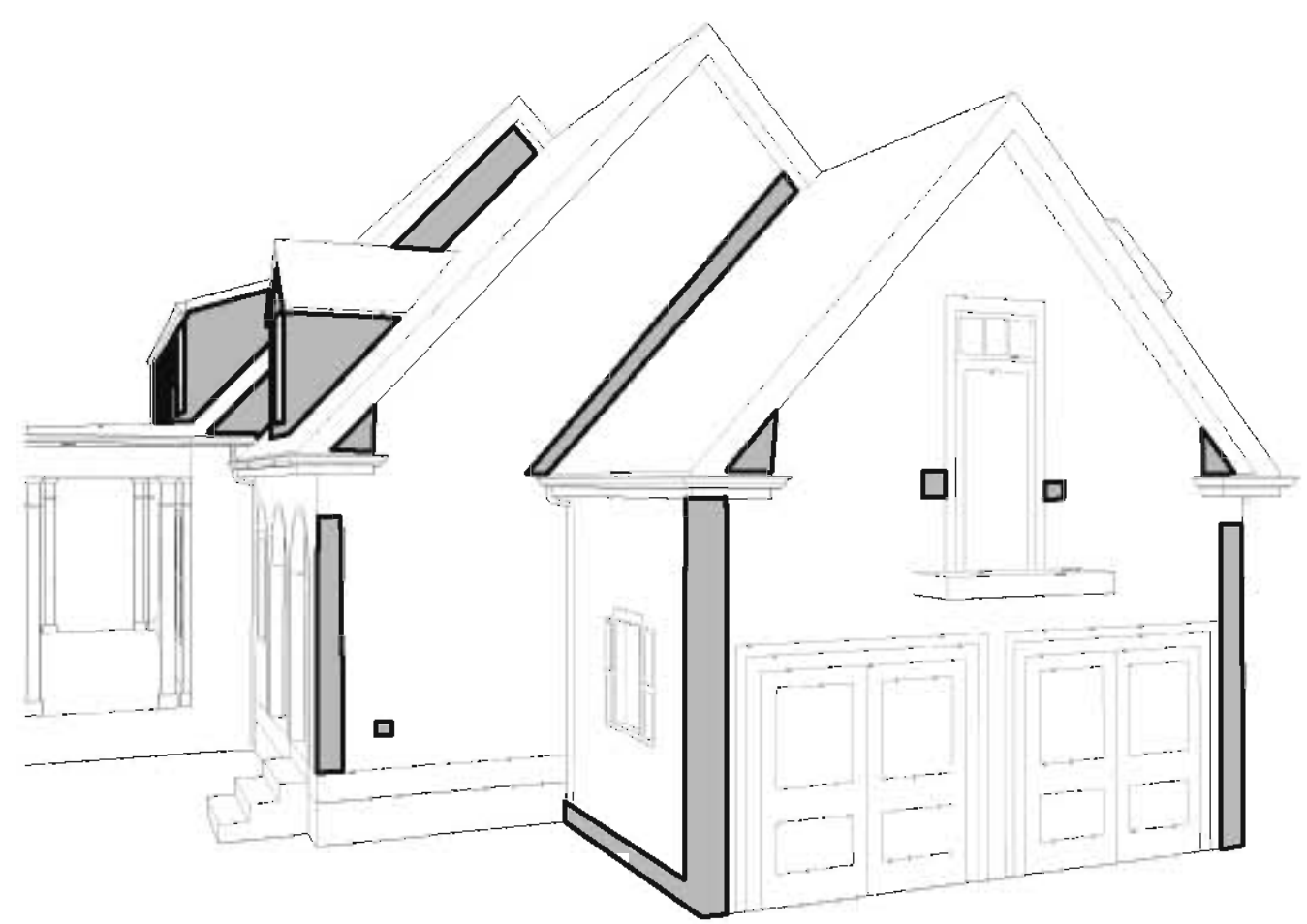
2
1 1/2" = 1'-0"

WALL TO RETURN
FLASHING DETAIL



EAST
ELEVATION

1/4" = 1'-0"



3
1 1/2" = 1'-0"

CORNICE
RETURN DETAIL

GENERAL NOTES

1. REMOVE ALL SHUTTERS AND TURN OVER TO OWNER
2. REMOVE DOWNSPOUTS, CONDUITS AND OTHER MECHANICAL OR ELECTRICAL COMPONENTS AS NECESSARY TO COMPLETE NEW WORK. REINSTALL AFTER ALL WORK IS COMPLETED
3. REMOVE ALL VEGETATION FROM THE BUILDING AND INFORM DESIGN PROFESSIONAL WHEN COMPLETE FOR RE-INSPECTION
4. REMOVE GUTTERS AND INSPECT ALL FASCIA FOR ROT OR DETERIORATION, NOTIFY DESIGN PROFESSIONAL. RE-INSTALL ALL GUTTERS WHEN WORK IS COMPLETE
5. PREP ALL PREVIOUSLY PAINTED SURFACES FOR NEW PAINT RE: SPEC
6. CAREFULLY REMOVE EXISTING TRIMS WHERE NECESSARY TO COMPLETE SIDING REPLACEMENT OR OTHER NEW WORK AND REINSTALL TRIMS OR REPLACE AS NECESSARY
7. CONTRACTOR TO VERIFY ALL SUB-SURFACE CONDITIONS AND INFORM DESIGN PROFESSIONAL OF ANY ADDITIONAL DETERIORATION
8. PROVIDE FLASHING AT:
 - ALL OUTSIDE CORNER WHERE SHINGLE REPLACEMENTS ARE INDICATED
 - WHERE SHINGLES ARE REPLACED ABOVE OR BELOW WINDOWS, DOORS AND FLASHINGS EXTEND BEYOND THE TRIM
 - AT DORMER WALL TO ROOF JUNCTURE
 - AT WATER TABLE BOARD
 - AT LOCATIONS RECOMMENDED BY THE CEDAR SHAKE AND SHINGLE BUREAU WWW.CEDARBUREAU.ORG

CONSTRUCTION NOTES

1. REMOVE AND PROVIDE NEW WOOD SHINGLE SIDING 100% OF DORMER TO MATCH EXISTING. REPLACE UNDERLAYMENT AND FLASHING. REMOVE AND REPLACE ASPHALT ROOF SHINGLES TO ALLOW INSTALLATION OF DORMER TO ROOF FLASHING
2. REMOVE AND PROVIDE NEW SHINGLE SIDING AS INDICATED, MATCH EXISTING. REPLACE UNDERLAYMENT AND FLASHING
3. REMOVE AND PROVIDE NEW SHINGLE SIDING AS INDICATED, MATCH EXISTING. REPLACE UNDERLAYMENT
4. REMOVE AND PROVIDE NEW WOOD TRIMS TO MATCH EXISTING
5. REMOVE AND PROVIDE NEW WOOD TRIMS WITH COMPOSITE TRIMS TO MATCH EXISTING PROFILES
6. REMOVE AND PROVIDE NEW PORTION OF WOOD CORNICE MOLDING TO MATCH EXISTING SPLICING NEW MATERIAL TO REMAINING MATERIAL
7. REPAIR ROTTED PORTION OF WOOD SILL USING WOOD CONSOLIDANTS AND EPOXY RESPEC
8. REMOVE AND PROVIDE NEW WOOD MUNTIN MOLDINGS AT GLAZING TO MATCH EXISTING
9. REPLACE CORNICE RETURN CAP FLASHING WITH NEW METAL CAP FLASHING RE: SPEC RE: 3-A104
10. RE-COAT EXISTING METAL ROOF AT BALCONY, RE: SPEC.
11. REMOVE WOOD SHINGLE SIDING AND PROVIDE NEW WITH 8" HIGH SYNTHETIC WOOD WATER TABLE BOARD REPLACE UNDERLAYMENT AND FLASHING
12. REMOVE ROTTED FASCIA AND PROVIDE NEW TO MATCH EXISTING
13. REPAIR BASE OF EXISTING COLUMNS INCLUDING: EPOXY OR DUTCHMAN REPAIRS TO ROTTED BASE OF COLUMN, REPLACE MISSING BLOCKING BENEATH BASE TRIM AND MOLDING, REPLACE ROTTED BASE TRIM AND MOLDING, AND REMOVAL AND RE-INSTALLATION OF LOOSE AND ILL FITTED BASE TRIMS AND MOLDINGS. GLUE AND NAIL ALL TRIM IN PLACE. MATERIAL WITHIN 8" OF CONCRETE SHALL BE REPLACED WITH SYNTHETIC WOOD PRODUCTS, RE: SPEC

NOTE:

3D IMAGES ARE SHOWN FOR REFERENCE ONLY CONTACT DESIGN PROFESSIONAL IF THERE ARE ANY DISCREPANCIES

NO.	DESCRIPTION	DATE
6		
5		
4		
3		
2		
1		

SIDING AND TRIM REPLACEMENT FOR:
**ALLEN HOUSE
HISTORICAL MUSEUM**
556 W MAPLE RD
BIRMINGHAM, MI 48009

DRAWING TITLE	
EAST ELEVATION AND PHOTOS	
PROJECT NO. 17-110	
DATE 5-12-2017	
DRAWN EHD	
CHECKED JSH	
A104	
CAD FILE NO. A104	
SCALE 1/4" = 1'-0"	SHEET 6 OF 6

DATE: July 13, 2017

TO: Historic District Commission

FROM: Sean Campbell, Assistant City Planner

APPROVED BY: Jana Ecker, Planning Director

SUBJECT: Map and List of Prioritized Potential Sites for Public Art

During the April 19, 2017 Public Arts Board (PAB) meeting, the Board reviewed a map and list of potential sites for public art prepared by Planning Staff. The map demonstrated the number of Site and Placement Guidelines each site met. The PAB discussed each location on the map and determined whether each one is of low, medium, or high priority. The map and list were approved with the discussed priority rankings and forwarded to the Parks and Recreation Board for review since many of the proposed sites are within parks or along trails. These materials have been attached for reference.

On May 2, 2017, Planning Staff presented a report to the Parks and Recreation Board explaining the procedure taken to identify the potential locations, the resulting maps and lists, and the Public Arts Board's prioritizations. While Parks and Recreation had no specific concerns over any of the proposed public art sites and had endorsed the concept of having pre-approved locations, they stipulated that any sculptures proposed within public parks would require their review and approval. The Parks and Recreation Board formally voted to accept the map of locations with aforementioned condition.

Additionally, upon reviewing the City's historic overlay map, Staff found that six proposed sites are located within Mill Pond Historic District. Of the six sites, three are low priority, two are medium priority, and one is high priority. These locations have been selected in concept only. Once a sculpture is proposed for a specific site then the Historic District Commission would again be asked to review and approved the location and sculpture. The Historic District Commission must review and approve any sites the Board recommends for public art installations. Please see attached map of proposed public art sites located in the Mill Pond Historic District.

At the Historic District Commission meeting on June 21, 2017 the Commission requested that the Planning Department send a representative from the Public Arts Board to discuss the proposal in more detail. Accordingly, either the staff liaison to the PAB or a member will attend the meeting to answer any questions the Commission may have.

SUGGESTED RECOMMENDATION:

Motion to approve the map and list of prioritized potential public art site locations within the Mill Pond Historic District.

OR

Motion to approve the map and list of prioritized potential public art site locations within the Mill Pond Historic District with the changes as noted:

1. _____
2. _____
3. _____

Prioritized Site Locations for
Public Art Within Mill Pond
Historic District

Priority

- High
- Low
- Medium

Mill Pond Historic District





Potential Public Art Site Locations

1. Millrace Park along Quarton Lake Trail

Guideline 1: N

Guideline 2: N

Guideline 3: Y

Guideline 4: Y

Guideline 5: N

Guideline 6: Y

Additional comments: Hill is on a slope, limiting view



2. Quarton Lake Park #1

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:



3. Quarton Lake Park #2

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:



4. Booth Park along Booth Park Trail

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:



5. Poppleton Park @ Woodward Ave. & Madison St.

Guideline 1: Y

Guideline 2: N

Guideline 3: N

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:



6. Triangular open space in Barnum Park

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:



7. Howarth Park near Emmons Ave. Entrance

Guideline 1: Y

Guideline 2: Y

Guideline 3: N

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:



8. Courtyard at City tennis courts

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:



9. Derby back entranceway @ Cambridge

Guideline 1: N

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:



10. Derby Well Site #1

Guideline 1: Y

Guideline 2: Y

Guideline 3: N

Guideline 4: Y

Guideline 5: N

Guideline 6: Y

Additional comments: Existing evergreen tree might compete obstruct



or

11. Quarton Lake Park #3

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: N

Guideline 5: Y

Guideline 6: Y

Additional comments:



12. Linden Park trailhead @ Shirley

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:



13. Along bend in Linden Park Trail

Guideline 1: Y

Guideline 2: N

Guideline 3: N

Guideline 4: Y

Guideline 5: N

Guideline 6: Y

Additional comments:



14. Linn Smith Park close to Southfield Rd.

Guideline 1: N

Guideline 2: N

Guideline 3: Y

Guideline 4: N

Guideline 5: Y

Guideline 6: Y

Additional comments:



15. Linn Smith Park near Rouge River

Guideline 1: N

Guideline 2: N

Guideline 3: Y

Guideline 4: N

Guideline 5: Y

Guideline 6: Y

Additional comments:



16. Fairway Trail trailhead

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:



17. Along Fairway Trail

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: N

Guideline 6: Y

Additional comments: Standing water. Possible floodplain hazard



18. Fairway Trail access point at W. Lincoln

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:



19. Pembroke Park @ N. Eton and Windmere

Guideline 1: Y

Guideline 2: Y

Guideline 3: N

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments: Play structure nearby



20. Crestview Park facing Southfield and Norfolk

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:



21. Crestview Park @ Southfield and Southlawn

Guideline 1: Y

Guideline 2: N

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments: Existing tree and telephone pole may obstruct view



22. Open space along W. Maple

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:



23. Open space at east side of Park St. parking deck

Guideline 1: Y

Guideline 2: N

Guideline 3: Y

Guideline 4: N

Guideline 5: Y

Guideline 6: Y

Additional comments:



24. Street planter @ Maple Rd. & Chester St.

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: N

Guideline 6: Y

Additional comments:



25. Edison Passageway open space within recessed wall

Guideline 1: N

Guideline 2: Y

Guideline 3: N

Guideline 4: Y

Guideline 5: N

Guideline 6: N

Additional comments:



26. Edison Passageway in open space

Guideline 1: N

Guideline 2: N

Guideline 3: N

Guideline 4: N

Guideline 5: N

Guideline 6: N

Additional comments:



27. Social Passageway terminating vista

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: N

Guideline 5: Y

Guideline 6: Y

Additional comments: 2D wall art only



28. Clark Hill Passageway terminating vista 2

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: N

Additional comments: Limited space, possibly 2D wall art only



29. Clark Hill Passageway terminating vista

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: N

Additional comments: Limited
space, possibly 2D wall art only



30. Median at Worth and Woodward

Guideline 1: Y

Guideline 2: N

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:



31. Right-of-way at Adams and Woodward

Guideline 1: Y

Guideline 2: N

Guideline 3: N

Guideline 4: Y

Guideline 5: N

Guideline 6: Y

Additional comments: Not a flat, level surface.



32. Manor Park entrance

Guideline 1: N

Guideline 2: Y

Guideline 3: N

Guideline 4: N

Guideline 5: Y

Guideline 6: Y

Additional comments: Manor nature preserve sign and trees may obstruct.



33. Linden Park Trail near river

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: N

Guideline 5: Y

Guideline 6: Y

Additional comments: Identified in the field



34. Quarton Lake #4

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments: Identified in the field



35. Edison Passageway - east side

Guideline 1: Y

Guideline 2: Y

Guideline 3: N

Guideline 4: Y

Guideline 5: Y

Guideline 6: N

Additional comments: Identified in the field



36. Derby Well Site #2

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments: Identified in the field





Cultural Council of Birmingham Bloomfield
P.O. Box 465 Birmingham, MI. 48012

ART IN PUBLIC SPACES SITE AND PLACEMENT GUIDELINES

To ensure the thoughtful placement of sculptures in the City of Birmingham and to further the City's vision to enhance public spaces, the Public Arts Board provides the following guidelines:

- Art should be located in a site where it will effectively enhance and activate the pedestrian and streetscape experience;
- Art should be sited where it will create a place of congregation or in a location that experiences high levels of pedestrian traffic;
- Art should be placed in a site where it is not overwhelmed by nor competing with the scale of the site or adjacent architecture, large retail signage, billboards, etc.;
- Art should be sited so as to be either immediately visible or in a location where it will be visible by the most people;
- Art should not be placed in a given site if the landscaping and maintenance requirements of that site cannot be met; and
- Artwork should not block windows or entranceways, nor obstruct normal pedestrian circulation in and out of a building (unless such alteration is specifically a part of the experience or design of the artwork).