

**AGENDA**  
**BIRMINGHAM HISTORIC DISTRICT COMMISSION**  
**MUNICIPAL BUILDING-COMMISSION ROOM-151 MARTIN STREET**  
**WEDNESDAY – June 21, 2017**  
**\*\*\*\*\*7:00 PM\*\*\*\*\***

- 1) Roll Call**
- 2) Approval of the HDC Minutes of May 3, 2017**
- 3) Historic Design Review**
  - **607 Bates – Major Jones House**
  - **298 S. Old Woodward – Boutique Hotel**
  - **Review of proposed locations for public art**
- 4) Historic Sign Review**
- 5) Miscellaneous Business and Communication**
  - A. Staff Reports
    - **Administrative Approvals**
    - **Violation Notices**
    - **Demolition Applications**
  - B. Communications
    - **Commissioners Comments**
- 6) Adjournment**

*Notice:* Individuals requiring accommodations, such as interpreter services, for effective participation in this meeting should contact the City Clerk's Office at [\(248\) 530-1880](tel:2485301880) at least on day in advance of the public meeting.

Las personas que requieren alojamiento, tales como servicios de interpretación, la participación efectiva en esta reunión deben ponerse en contacto con la Oficina del Secretario Municipal al [\(248\) 530-1880](tel:2485301880) por lo menos el día antes de la reunión pública. (Title VI of the Civil Rights Act of 1964).

**A PERSON DESIGNATED WITH THE AUTHORITY TO MAKE DECISIONS MUST BE PRESENT AT THE MEETING.**

**BIRMINGHAM HISTORIC DISTRICT COMMISSION  
MINUTES OF MAY 3, 2017**

Municipal Building Commission Room  
151 Martin, Birmingham, Michigan

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Minutes of the regular meeting of the Historic District Commission ("HDC") held Wednesday, May 3, 2017. Vice Chairperson Shelli Weisberg called the meeting to order at 7 p.m.

**Present:** Vice Chairperson Shelli Weisberg, Board Members Mark Coir, Natalia Dukas, Thomas Trapnell, Michael Willoughby; Alternate Board Member Dulce Fuller; Student Representatives Josh Chapnick, Griffin Pfaff

**Absent:** Chairman John Henke; Board Member Keith Deyer; Alternate Board Member Adam Charles

**Administration:** Matthew Baka, Sr. Planner  
Carole Salutes, Recording Secretary

**05-18-17**

**APPROVAL OF MINUTES  
HDC Minutes of April 19, 2017**

**Motion by Mr. Willoughby**

**Seconded by Mr. Coir to approve the HDC Minutes of April 19, 2017 as presented.**

**Motion carried, 6-0.**

**VOICE VOTE**

Yeas: Willoughby, Coir, Dukas, Fuller, Trapnell, Weisberg

Nays: None

Absent: Deyer, Henke

As almost a full board was present, Mr. Long opted to go forward with his hearing.

**05-19-17**

**HISTORIC DESIGN REVIEW**

**160 W. Maple Rd.**

**Dick O'Dow's**

**CBD Historic District**



Zoning: B-4 Business-Residential

Proposal: Mr. Baka explained the applicant is proposing to renovate the rear façade of the property at 160 W. Maple, Dick O Dow's. The building is a non-contributing resource in the Central Business District Historic District. The applicant is proposing to install a large roll-up door, eliminate the dumpster enclosure and reduce the existing double entrance door down to a single door. The applicant is also proposing extensive renovation to the interior of the building.

Rear Facade: The proposed roll-up door would be 20 ft. x 11 ft. with insulated glass in an aluminum frame on bi-fold steel strap by "Schweiss Doors." The double door at the west end of the rear façade is proposed to be replaced with a single wood and glass door that will be accented with a small steel canopy above constructed on a steel tube frame. The remainder of the rear façade is concrete block which is proposed to be painted BM2126-20 "Raccoon Fur."

Interior changes: The back half of the building interior is proposed to be demolished and rearranged to create a second bar and seating area. The new bar is proposed to have 18 seats and the table seating is proposed to total 62 seats. In addition to the new bar and seating area the applicant is proposing to install two new walk-in refrigeration units and to relocate the staircase to the basement.

Signage: No new signage is proposed at this time.

Illumination: One small light fixture is proposed to be mounted to the new canopy over the single man door.

Mr. Christopher Longe, Architect, spoke for the business owner, Mr. Mitch Black who was present. In response to board members' inquiry, he replied the dumpster is being relocated to a concealed niche inside the alley. Mr. Baka recalled that the Planning Board specifically said the tables will remain on private property and not migrate out into the alley.

Everyone agreed the beer/restaurant plan is very lovely.

**Motion by Mr. Willoughby**

**Seconded by Ms. Fuller to approve the Historic Design Review for 160 W. Maple Rd., Dick O'Dow's, as submitted.**

There was no further discussion.

**Motion carried, 6-0.**

## **VOICE VOTE**

Yeas: Willoughby, Fuller, Coir, Dukas, Trapnell, Weisberg

Nays: None

Absent: Deyer, Henke

Mr. Baka noted that there were a lot of people from the Willits at the Planning Board meeting and they were worried about the noise. The Planning Board determined that the back door will be required to be closed at midnight every night.

HDC members agreed that noise is part of what can be expected when living Downtown.

**05-20-17**

## **MISCELLANEOUS BUSINESS AND COMMUNICATIONS**

### **A. Staff Reports**

#### **-- Administrative Approvals**

- 126 S. Old Woodward Ave., Polpetta - New outdoor cafe; four tables, eight chairs.
- 300 W. Merrill, Birmingham Library - 6 in. diameter exhaust fan diffuser to be located on south side of 1927 Library above 1961 addition roof. Metal diffuser is bronze aluminum color to match existing metal doors and metal frames on the library.

#### **-- Demolition Applications**

- 140 Northlawn
- 264 Catalpa
- 797 Glenhurst
- 983 Wimbleton
- 1392 Humphrey
- 939 Larchlea
- 1530 Pilgrim

### **B. Communications**

#### **-- Commissioners' Comments (none)**

**05-21-17**

## **ADJOURNMENT**

No further business being evident, the commissioners motioned to adjourn the meeting at 7:15 p.m.

Matthew Baka  
Sr. Planner



## MEMORANDUM

Planning Division

**DATE:** June 15, 2017

**TO:** Historic District Commission

**FROM:** Matthew Baka – Senior Planner

**SUBJECT:** Final Historic Design Review – 607 Bates – Major Jones House

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**Zoning:** R-3 Single-Family Residential

**Existing Use:** Vacant Residential

### History

The Historic Major Jones House is located on the north half of a large lot at 607 S. Bates. The south half of the lot is vacant. The Historic Major Jones House was constructed in 1865 and is believed to be one of the oldest homes in the Bates Street Historic District. The house is considered to be Queen Anne style as can be seen in several details which includes the window ornamentation and the fish-scales on the gables. A 120 sq. ft. rear addition was constructed in 1961. The date of the south elevation side lean-to addition is not known. The property had a barn that was believed to have been built in 1865 with the house. The barn was demolished in 1946, and a garage was constructed in 1954 (now demolished). The house was designated historic in 1978 and the Bates Street Historic District designation came into effect in January of 1998.

The house served as a two-unit rental property for several years, and since that time, it has been vacant for many years. In 2003, the owner was cited for maintenance violations, and in 2006, after making several requests to demolish the property, the owner was cited for Demolition – by- Neglect (DXN). The owner was required to make several repairs to upgrade the condition of the house. The house has been sold several times and reviewed by the HDC for potential renovations. However, none of those approved plans were executed, and the current owner is seeking to renovate the property with a new proposal.

### Proposal

The existing two-story portion of the 1865 structure is proposed to be fully restored, with all architectural detail retained and preserved. The single-story 691 SF non-contributing rear portion of the house is proposed to be removed. Also, a recently constructed, non-contributing canopy over an existing basement door on the north side is proposed be removed.

### *West (Front) Elevation*

The applicant proposes to retain the historic house on the west elevation. The existing enclosed front porch will be removed to allow for a wraparound porch that will connect the historic structure with the proposed addition. The proposed addition will extend out towards the south property line and feature two gable ends side by side and a copula. The copula exceeds the maximum height permitted. Accordingly, **the applicant must obtain approval from the Board of Zoning Appeals for the construction of the copula.**

### ***South-West (Side) Elevation***

Moving west to east, the south elevation will feature a row of eight 1/1, double hung windows with single transom windows above. There will then be a chimney constructed of Michigan field stone. To the east of the chimney is proposed another bank of windows which include two single pane windows at ground level with two additional double hung windows and transoms above that will match the eight windows to the west of the chimney. On the second floor of the south elevation the applicant is proposing four single pane windows to the west of the chimney and two double windows to the east of the chimney.

### ***East (Rear) Elevation***

The applicant proposes to renovate the existing one-story rear addition into a two-story addition. The east (rear) elevation is proposed to feature extensive glazing with two sets of sliding glass doors opening out to a first floor deck. At the second story the applicant is proposing to construct a balcony space accessible from glass doors located on the second story. At the north end of the east elevation are two windows and a single man door to access the two car attached garage.

### ***North (Side) Elevation***

The north elevation of the proposed addition will consist predominately of the entrance to the two car garage. The garage is positioned at the rear of the house and the entrance to the garage itself is recessed approximately 3' from the front portion. Above the western most garage door is a single gable end dormer. Between the garage and the historic portion of the house are two double hung windows.

### **Materials**

The following list of materials and colors are proposed to be used on the renovation of the historic home and the new addition:

- Hardi plank with 5" exposure to be used as siding on the new addition;
- Michigan field stone veneer to be used on the front elevation of the new addition;
- Stucco over concrete to be used on the side and rear elevations of the new addition;
- Standing seam metal roof in 507 "Mocha" to be used on the entire structure
- SW 7004 – "Snow bound", proposed to be used on the siding/body of the house;
- SW 6993 – "Black of Night", proposed to be used on the windows and doors;
- SW 7075 – "Web Gray", proposed to be used as an accent color on the detail ornamentation of the original house;
- SW6778 – "Aviary Blue", proposed to be used on the soffits and porch ceiling;
- SW 7068 – "Grizzle Gray", proposed to be used stucco foundation of the addition.

### **Differentiation**

The new addition is proposed to be located fully behind the house, recessed 26 FT farther away from the street. This has been done with the intent of respecting the historic resource and establishing its prominence over the addition. The eave height of the addition matches the existing house, the roof pitches match and the roof height has been maintained the same. The use of cross gables attempts to further break down the scale and relates it directly to the existing house.

The new construction will be compatible with the old house in size, scale and architectural features but the new and the old will be clearly distinguished one from the other. The existing house is sided with wood clapboard lap-siding with a 3' exposure and 3 1/2+" corner boards. The addition is proposed to have Hardiplank cement board clapboard lap-siding with a 5"

exposure and mitered corners. The details of the original portion of the house, such as the eaves and window headers, will be restored. The addition will have the trim that matches the original in scale but without the ornamentation. The windows will be rectangular and vertically oriented but will vary in size (due to egress window requirements). The existing windows will retain their decorative sash and colored glass, the new windows will be clear glass, without mullions. The wrap around porch, also common to the Queen Anne style, while unifying the old and new by defining the entrance, also distinguishes the addition from the old house by breaking down the scale of the addition. The porch roof is a horizontal element that contrasts with the historic facade's verticality.

### **Building Department Comments**

1. The two platted lots were separated from one parcel back into single lots back in 2015 (see attached). The owner will need to apply for Commission approval to combine them back into one parcel.
2. The dormer on the North elevation is greater than the 8' maximum on width of interior wall, not setback a minimum of 8" from the outside wall, and does not have an eave line that runs through (bedroom #3).
3. The dormer on the South elevation does not meet the minimum 8" from the outside wall and does not have an eave line that runs through (adjacent to fireplace).
4. The room referred to as a cupola is greater than the maximum 28' to the midpoint and is greater than the 24' maximum eave height.

### **Sec. 127-11. Design review standards and guidelines.**

1. (a) In reviewing plans, the commission shall follow the U.S. secretary of the interior's standards for rehabilitation and guidelines for rehabilitating historic buildings as set forth in 36 C.F.R. part 67. Design review standards and guidelines that address special design characteristics of historic districts administered by the commission may be followed if they are equivalent in guidance to the secretary of interior's standards and guidelines and are established or approved by the state historic preservation office of the Michigan Historical Center.
- (b) In reviewing plans, the commission shall also consider all of the following:
  - (1) The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area.
  - (2) The relationship of any architectural features of the resource to the rest of the resource and to the surrounding area.
  - (3) The general compatibility of the design, arrangement, texture, and materials proposed to be used.
  - (4) Other factors, such as aesthetic value, that the commission finds relevant.

### **RECOMMENDATION**

The Planning Division recommends that the Commission issue a Certificate of Approval for the design review application for 607 S. Bates with the following conditions;

1. The applicant address the concerns of the Building Department

The work meets The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, standard number 9, "New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, scale, and architectural features to protect the historic integrity of the property and its environment."

## **"THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION AND GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS"**

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The U. S. secretary of the interior standards for rehabilitation are as follows:

- (1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- (3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- (4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- (5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
- (6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- (7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
- (8) Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be

differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### **Notice To Proceed**

I move the Commission issue a Notice to Proceed for number \_\_\_\_\_. The work is not appropriate, however the following condition prevails: \_\_\_\_\_ and the proposed application will materially correct the condition.

#### **Choose from one of these conditions:**

- a) The resource constitutes hazard to the safety of the public or the structure's occupants.
- b) The resource is a deterrent to a major improvement program that will be of substantial benefit to the community and the applicant proposing the work has obtained all necessary planning and zoning approvals, financing, and environmental clearances.
- c) Retaining the resource will cause undue financial hardship to the owner when a governmental action, an act of God, or other events beyond the owner's control created the hardship, and all feasible alternatives to eliminate the financial hardship, which may include offering the resource for sale at its fair market value or moving the resource to a vacant site within the historic district. have been attempted and exhausted by the owner.
- d) Retaining the resource is not in the best of the majority of the community.







**PROJECT NARRATIVE:**

**City of Birmingham Historic District Commission**

**607 South Bates**

June 5, 2017

Mr. and Mrs. Joseph Angileri have purchased 539 South Bates, the historic Major Jones House, to make it into their primary residence. This proposal rehabilitates the contributing historic resource; demolishes noncontributing additions; and adds new living space. The house is located on two parcels being joined within the Bates Street Historic District. Utilizing two parcels allows the addition to be built fully to the rear of the existing house and subordinate to it. The exterior of the addition is being detailed to be in harmony with the historic resource but with the new clearly distinguished from the old.

**In reviewing this application, please consider the following:**

**A. Historic Resource:**

The Westerly 860 SF two-story section of the existing house is considered contributing to the Bates Street Historic District. It is an example of the Queen Anne farmhouse style prevalent in the Mid-West from 1880 – 1910. It is characterized by cross-gabled roofs, decorative detailing, variations in wall textures as decorative features. The Major Jones House exhibits these exterior characteristics: Cross gable; window head detail; gable rake detail; scalloped siding gable ends; decorative brackets; ornamental window pattern with partial stained glass. The existing two-story portion will be fully restored, with all architectural detail retained and preserved.

**B. Demolition:**

The single-story 691 SF non-contributing rear portion of the house is proposed to be removed. Also, a recently constructed, non-contributing canopy over an existing basement door on the north side will be removed.

**C. Massing:**

To respect the historic resource and establish its prominence over the addition, the addition has been placed fully behind the house, recessed 26 FT farther away from the street. To reduce the scale of the addition, its eave height matches the existing house, the roof pitches match and the roof height has been maintained the same. The use of cross gables further breaks down the scale and relates it directly to the existing house.

**D. Cupola:**

Cupolas or towers are common elements in the Queen Anne Style. Mr. and Mrs. Angileri requested space suitable for quiet meditation. The cupola lends itself perfectly to that use. The planning ordinance provides for a cupola to extend above the height restriction with permission of the Board of Zoning Appeals, provided “such height modifications do not violate the spirit and intent of the Zoning Ordinance.” Based upon the existing eave height of 17.875’ (use 18’) and the maximum building height of 28’, an addition with an overall ridge height of 38’ could have been designed within the restrictions. In preserving the integrity of the historical nature of the house, the owners have chosen not to pursue an addition of that height. However, if it was built, the cupola at its current height and location would fit into that allowable roof comfortably as a dormer and conform with the ordinance. See the attached diagram.

**E. Differentiation:**

The new construction will be compatible with the old house in size, scale and architectural features but the new and the old will be clearly distinguished one from the other. The existing house is

sided with wood clapboard lap-siding with a 3' exposure and 3 1/2" corner boards. The addition is proposed to have Hardiplank cement board clapboard lap-siding with a 5" exposure and mitered corners. On the old house the eaves and window headers are rich with detail. The addition will have the same sized trim without the ornamentation. The windows will be rectangular and vertically oriented but will vary in size (due to egress window requirements). The existing windows will retain their decorative sash and colored glass, the new windows will be clear glass, without mullions. The wrap around porch, also common to the Queen Anne style, while unifying the old and new by defining the entrance, also distinguishes the addition from the old house by breaking down the scale of the addition. The porch roof is a horizontal element that contrasts with the historic façade's verticality.

**F. Other:**

The house will be protected by a smoke alarm system.

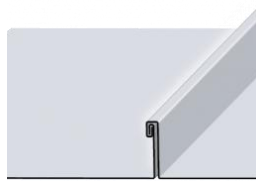
**G. Materials and Color**

**Roofing:**

Una-Clad UC-3 Panels by Firestone Building Products, standing seam steel, double lock, Hynar 5000 finish, color: Mocha 507



**UC-3**



**Wall Siding:**

Historic Resource:

Existing clapboard lap-siding, Painted, Color – Sherwin Williams SW 7004 – Snowbound

Addition:

James Hardie Hardiplank cement board siding, 5" exposure, painted, Color – Sherwin Williams SW 7004 - Snowbound

**Foundation and Chimney:**

Historic Resource:

Michigan fieldstone foundation



Addition:

Porch Foundation and Chimney: 6" Michigan fieldstone veneer

Addition: Cement plaster on concrete, painted, Color – Sherwin Williams SW 7068 - Grizzle Gray

**Windows:****Historic resource:**

Restore existing windows, painted, Color – Sherwin Williams SW 6993 - Black of Night

**Addition:**

Marvin, Ultimate Double-hung Next Generation, Aluminum Clad, Custom Color – Match Sherwin Williams SW 6993 - Black of Night

**Doors:****Historic Resource:**

Front door – to be replaced with a half-glass over single panel wood door to be chosen at a later date and submitted for administrative review – Painted – Color- Sherwin Williams SW 6993 - Black of Night

**Addition:**

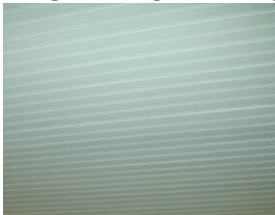
All pedestrian doors Painted, Color - Sherwin Williams SW 6993 - Black of Night

**Garage Doors:**

Clear fir, carriage style with glass lites, polyurethane sealer

**Soffits / Porch Ceilings:****Historic Resource:****Proposed:**

Tongue and groove, v-groove fir, Painted, Color - Sherwin Williams SW 6778 Aviary Blue

**Addition:**

Tongue and groove, v-groove fir, Painted, Color - Sherwin Williams SW 6778 Aviary Blue

**Trim:****Historic Resource, Addition:**

All trim, painted, Color – Sherwin Williams SW 7004 – Snowbound

**Trim Detail:**

Selected window trim detail and rake details to be highlighted with paint – Color – Sherwin Williams SW 7075 Web Gray

**Porch Surfaces and Treads / porch rail / wood terrace:**

Natural finish Ipe wood



**Sidewalk:**

New York Bluestone in ashlar pattern



**Driveway:**

Exposed Aggregate Concrete



**Exterior Lighting:**



**Fixture A:** Front Porch Ceiling and over Garage Doors:

Recessed square fixtures, Zimba 1230, 8" x 8", 100W, on dimmer



**Fixture B:** Secondary exit doors:

Wall-mounted canopy, Barn Light Electric, Circle B Flat Cone Reflector, 10" shade, straight arm, 100-Black, 40w Edison bulb, on dimmer



**Fixture C:** Family Room and Screened Porches

Wall-mounted canopy, Barn Light Electric, Cherokee Uplight, 12" shade, gooseneck arm, 100-Black, 60W bulb, on dimmer



**Fixture D:** Security Lighting

Wall-mounted double spotlights, Lithonia Black Bronze outdoor LED, 1096 lumens (75W), on dimmer

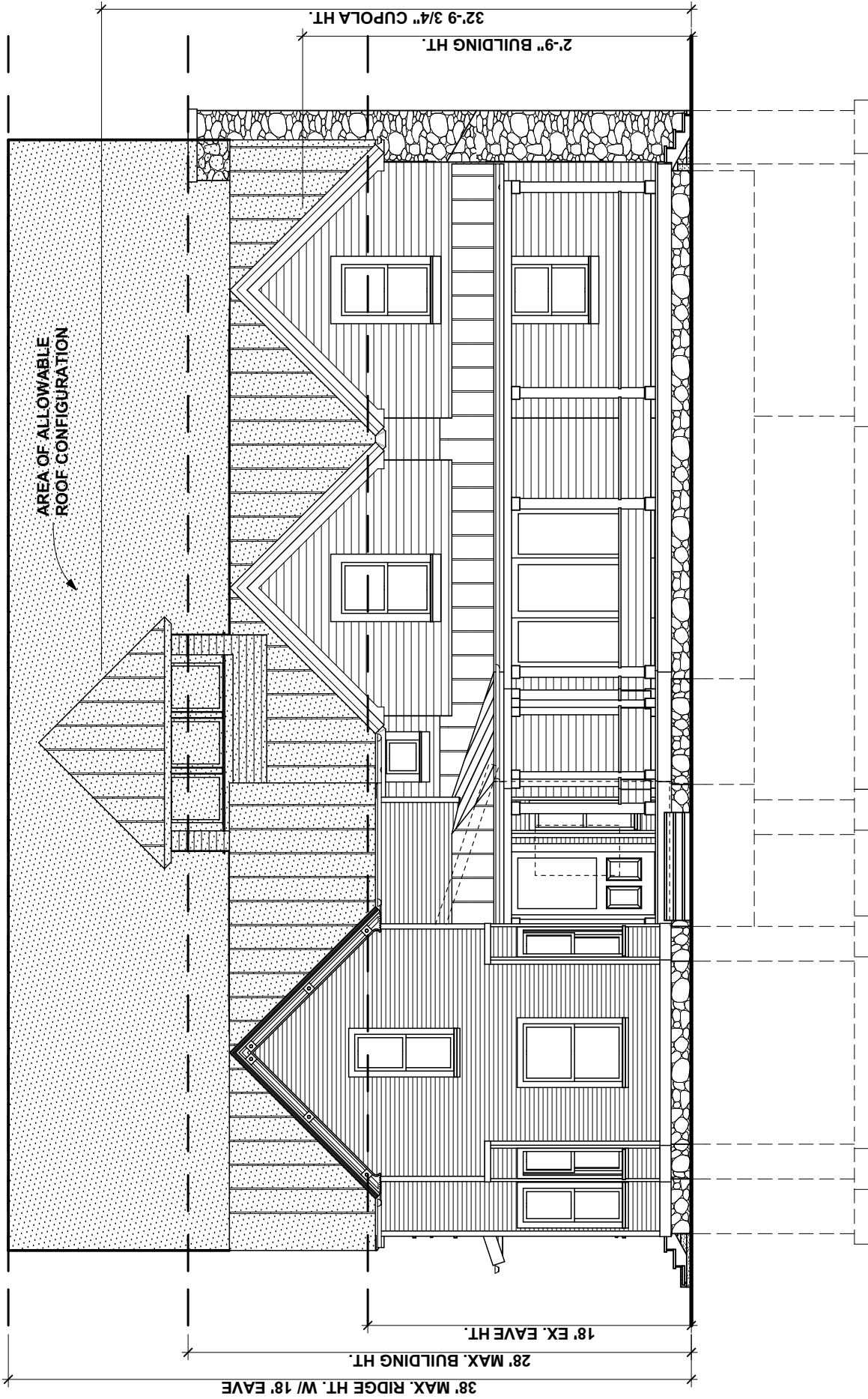
We respectfully request Historic District Commission approval of all requested changes. We believe they are proposed within the spirit of the City of Birmingham Historic District Ordinance Design Review Standards and Guidelines.

Thank you,

Finnicum Brownlie Architects

A handwritten signature in blue ink that reads "William L. Finnicum".

William L. Finnicum AIA NCARB  
President



WEST ELEVATION



























SOUTH ELEVATION, COLORED



WEST ELEVATION, COLORED



NORTH ELEVATION, COLORED



EAST ELEVATION, COLORED





PERSPECTIVE FROM SOUTH-WEST

**ANGILERI RESIDENCE**  
607 S. BATES STREET  
BIRMINGHAM, MI





PERSPECTIVE FROM WEST

**ANGILERI RESIDENCE**  
607 S. BATES STREET  
BIRMINGHAM, MI





PERSPECTIVE FROM NORTH-WEST

**ANGILERI RESIDENCE**  
607 S. BATES STREET  
BIRMINGHAM, MI





PERSPECTIVE FROM NORTH-EAST

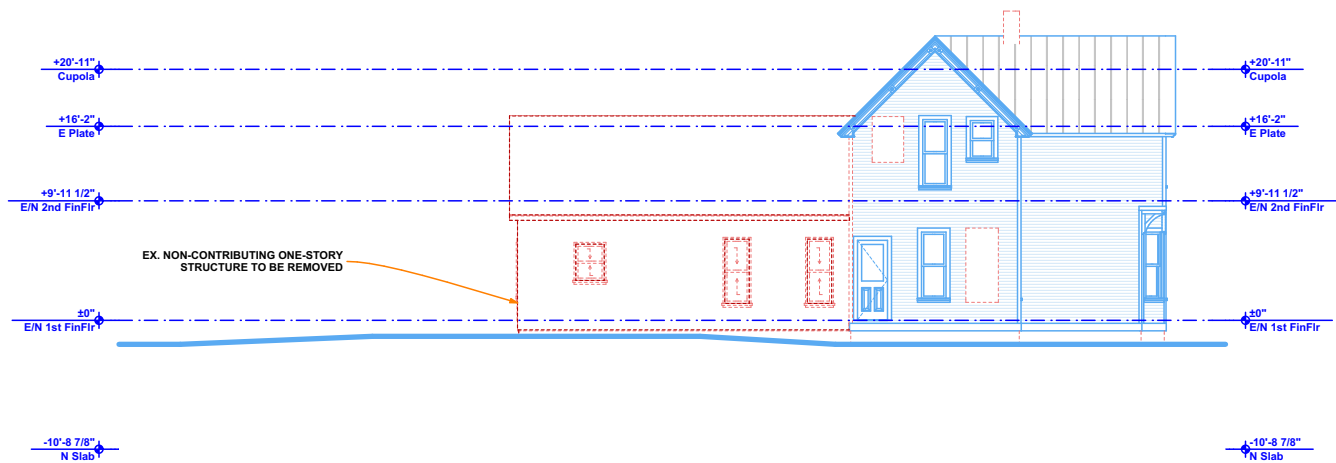
**ANGILERI RESIDENCE**  
607 S. BATES STREET  
BIRMINGHAM, MI



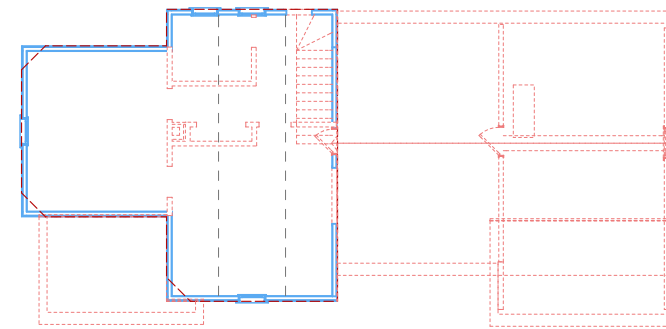


PERSPECTIVE FROM SOUTH-EAST

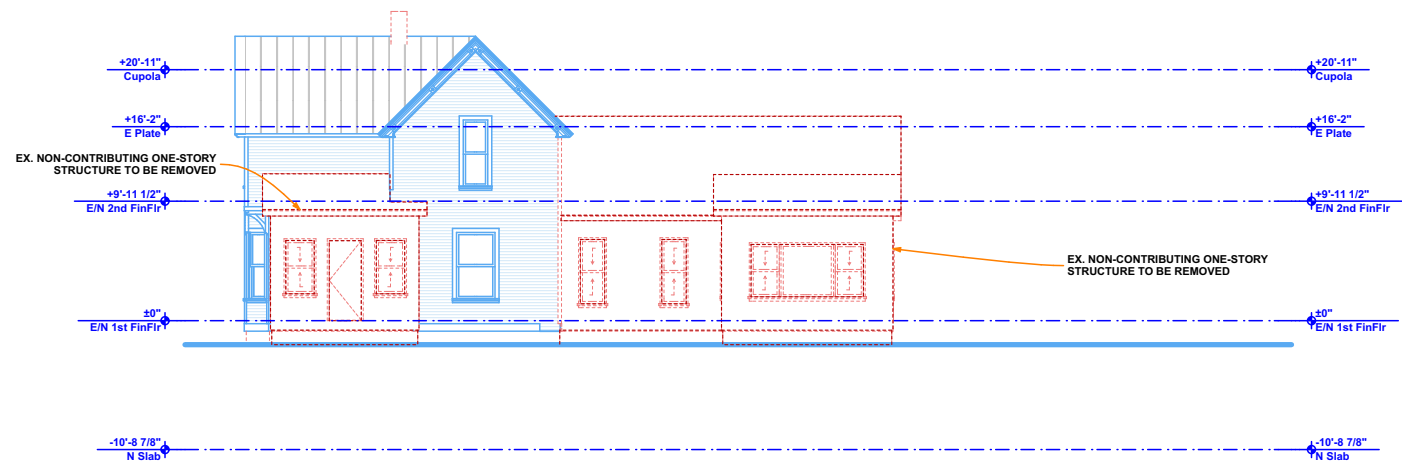
**ANGILERI RESIDENCE**  
607 S. BATES STREET  
BIRMINGHAM, MI



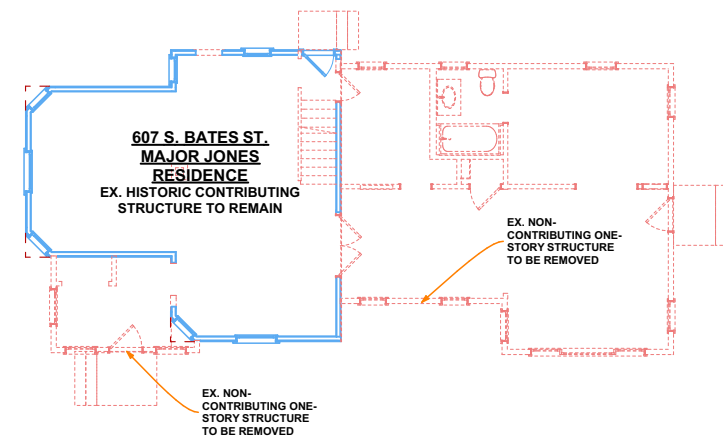
NORTH ELEVATION



SECOND FLOOR DEMOLITION PLAN



SOUTH ELEVATION

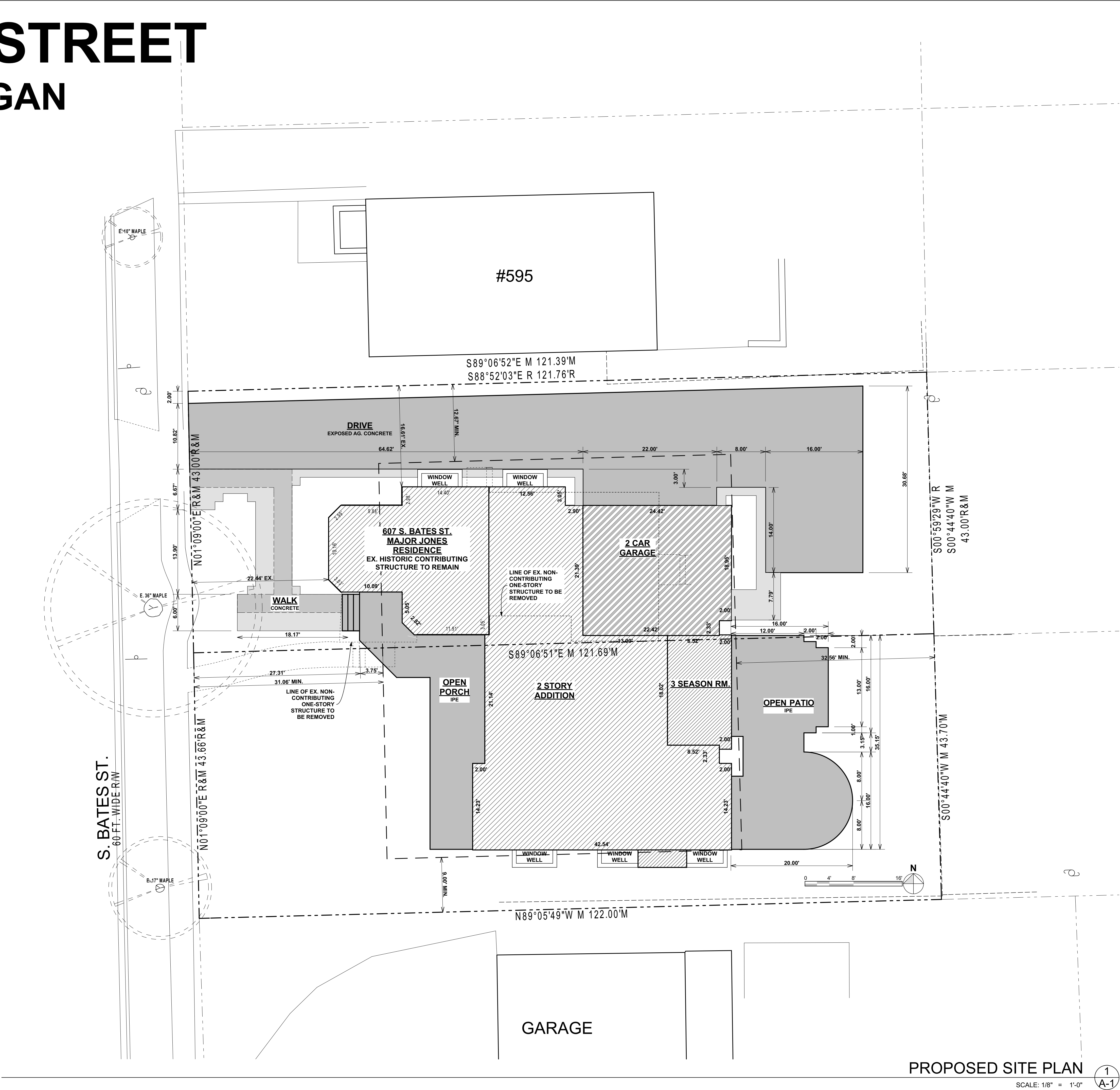


FIRST FLOOR DEMOLITION PLAN

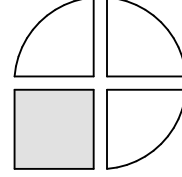
607 S. BATES STREET  
BIRMINGHAM, MICHIGAN

SHEET INDEX	
ID	Name
A-1	PROPOSED SITE PLAN
A-1.1	LANDSCAPE PLAN
1	SURVEY
A-2	PROPOSED ROOF PLAN, DEMOLITION PLANS
A-3	PROPOSED BASEMENT FLOOR PLAN
A-4	PROPOSED FIRST FLOOR PLAN
A-5	PROPOSED SECOND FLOOR PLAN
A-6	PROPOSED ELEVATIONS
A-7	PROPOSED ELEVATIONS

SCHEDULE OF REGULATIONS (ZONING CLASS R-3)				
PRIMARY STRUCTURE	REQUIRED:		PROPOSED:	
MINIMUM LOT AREA (S.F.):	4,500 S.F.		10548.75 S.F. EX.	
MINIMUM OPEN SPACE (S.F.):	40%	4219.5	53%	5,563.5
MAXIMUM LOT COVERAGE (S.F.):	30%	3164.6	28%	2,930.5
MIN. FLOOR AREA (S.F.):	1,000 S.F.		2,136'	
MAXIMUM BUILDING HEIGHT (MID PT.):	28.0'		21.75'	
MAX. EAVE HEIGHT:	24.0'		17.875'	
LOT WIDTH:	86.66'		86.66'	
MIN. FRONT SETBACK: (AVERAGE WITHIN 200.0'):	31.06 TO HOUSE (AVERAGE)		LEGAL NON-CONFORMITY	
	23.67 TO PORCH (AVERAGE)			
MIN. REAR SETBACK:	32.56'		32.56'	
MIN. COMBINED FRONT & REAR SETBACKS:	55.0'		55'	
MIN. SIDE, AT LEAST ONE: (GREATER OF 10% OR 9.0'):	9.0'		16.61' TO EX. HOUSE	
MIN. SIDE, COMBINED: (25% OF LOT WIDTH):	21.67' (9+12.67)		25.61'	
WINDOW WELL:	3'X6', COVERED W/ GRATE		3'X6', COVERED W/ GRATE	



HDC: 06-05-2017



**FINNICUM  
BROWNLIE  
ARCHITECTS**

25885 German Mill Rd.  
Franklin, MI 48025  
248 851 5022

PROJECT:  
**ANGILERI RESIDENCE**  
607 S. BATES STREET  
BIRMINGHAM, MI

TITLE:  
**PROPOSED SITE PLAN**

SHEET NO.  
**A-1**



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LANDSCAPE PLAN  
SCALE: 1/8" = 1'-0"

REVIEW: 04-25-2017

**FINNICUM  
BROWNLIE  
ARCHITECTS**  
25885 German Mill Rd.  
FRANKLIN, MI 48025  
248 851 5022

PROJECT:  
**ANGLERI RESIDENCE**  
607 S. BATES STREET  
BIRMINGHAM, MI

TITLE:  
**LANDSCAPE PLAN**

SHEET NO.  
**A-1.1**

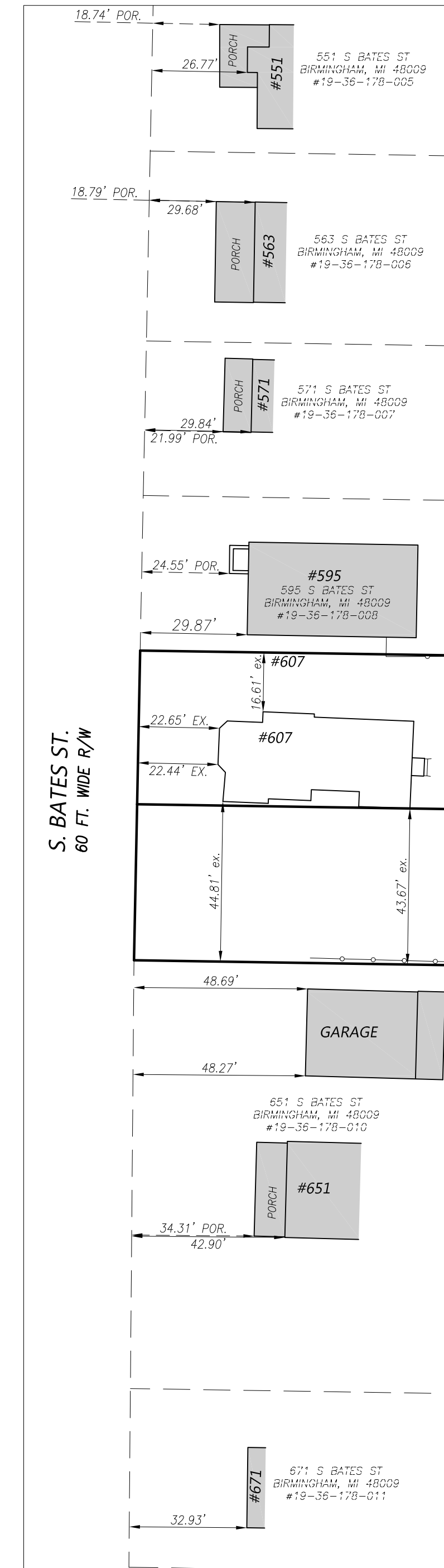


**LEGAL DESCRIPTION:** LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TOWN 2 NORTH, RANGE 10 EAST, SECTION 36, "ASSESSOR'S REPLAT OF PART OF TORREY'S, HOOD'S & SMITH ADDITION", **PART OF LOT 53** COMMENCING AT THE S.W. LOT CORNER, THENCE N.01°09'00"E., 43.66 FEET ALONG THE WEST LINE OF SAID LOT 53 TO THE POINT OF BEGINNING, THENCE N.01°09'00"E., 43.00 FEET TO THE N.E. LOT CORNER, THENCE SOUTH 89°06'52"E., 121.39 FEET ALONG THE NORTH LINE OF SAID LOT 53, THENCE S.00°44'40"W., 43.00 FEET, THENCE N.89°06'51"W., 121.69 FEET TO THE POINT OF BEGINNING.

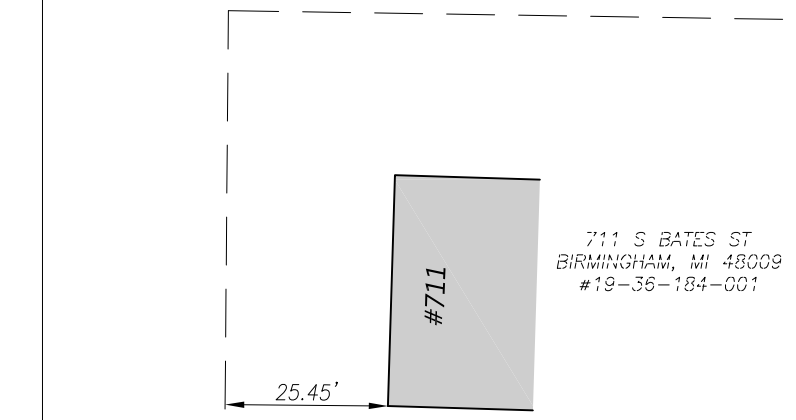
LEGAL DESCRIPTION: LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TOWN 2 NORTH, RANGE 10 EAST, SECTION 36, "ASSESSOR'S REPLAT OF PART OF TORREY'S, HODSON'S & SMITH ADDITION", PART OF LOT 53 COMMENCING AT THE S.W. LOT CORNER, THENCE N.01°09'00"E., 43.66 FEET, THENCE SOUTH 89°06'51"E., 121.69 FT., THENCE S.00°44'40"W., 43.70 FEET, THENCE N.89°05'49"W., 122.00 FEET ALONG THE S. LINE LINE OF SAID LOT 53 TO THE POINT OF BEGINNING.

*FRONT YARD AVERAGING:*

SCALE: 1" = 30'



W. FRANK ST.  
50 FT. WIDE R/W



### S. BATES ST. AVERAGING

<u>HOUSE #</u>	<u>HSE. DIST.</u>	<u>POR. DIST.</u>
#551	26.77'	18.74'
#563	29.68'	18.79'
#571	29.84'	21.99'
#595	29.87'	24.55'
#651	42.90'	<u>34.31'</u>
#671	32.93'	$\Sigma 118.38' / 5 = \underline{23.67'}$
#711	<u>25.45'</u>	

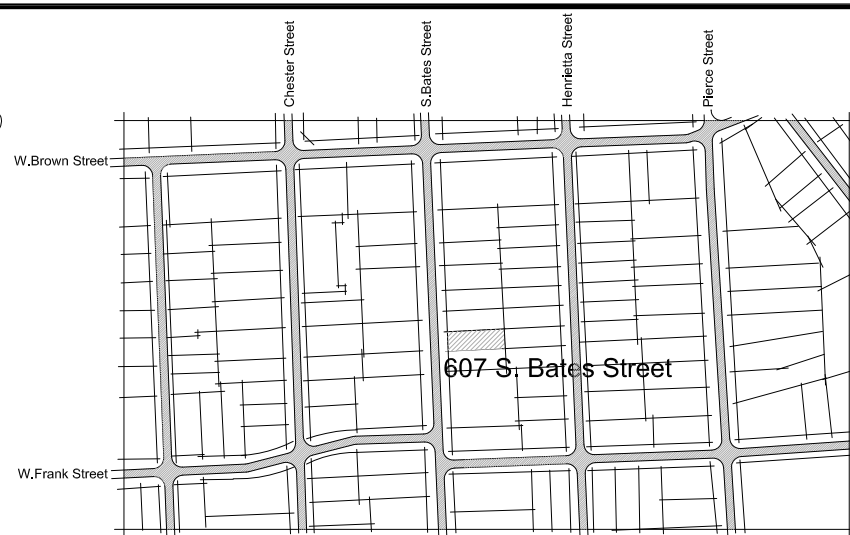
$$\Sigma 217.44' / 7 = \underline{31.06}$$

SITE BM: BENCH THE MAG SET IN EAST FACE OF POWER POLE LOCATED AT THE  
NORTHWEST CORNER OF LOT  
ELEVATION: 772.34 CITY OF BIRMINGHAM DATUM

JOB BM:  
CITY BM #2 ELEVATION: 767.438  
BIRMINGHAM G.I.S. COORD. N = 380694.528 E = 13433880.737  
SOUTHEAST CORNER OF PIERCE AND LINCOLN

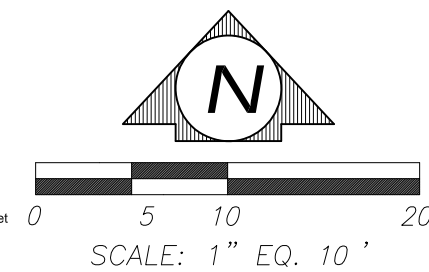
LOCATION OF EXISTING UNDERGROUND WATERMAIN  
GAS MAIN ELECTRICAL AND TELEPHONE LINES  
WERE OBTAINED FROM EXISTING CITY RECORDS  
AND NO GUARANTEE CAN BE MADE TO THE  
COMPLETENESS, OR EXACTNESS OF LOCATION AND  
DEPTH. FIELD VERIFY ALL LOCATION.

IF CITY RECORDS INDICATE OLD  
LEAD WATER SERVICE; THEN  
REPLACE WITH NEW  
(1"K-COPPER OR PEX)  
WATERLINE. TO BE INSTALLED  
BY THE CITY OF BIRMINGHAM  
FROM THE WATERMAIN TO THE  
STOP BOX.



*LOCATION MAP:*

N.T.S.



THIS SURVEY WAS DONE WITHOUT THE  
BENEFIT OF A TITLE POLICY OR DEED  
THEREFORE, ALL EASEMENT OF RECORD  
AND OTHER FACTORS RELEVANT TO  
TITLE MAY NOT BE SHOWN. CLIENT  
PROVIDED DESCRIPTION FOR PROPERTY.






























811

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MISS DIG System, Inc.

1-800-482-7171 [www.missdig.net](http://www.missdig.net)

**LEGEND:**

- |   |                             |
|---|-----------------------------|
|  | FOUND IRON                  |
|  | SET IRON                    |
|  | RECORD DISTANCE             |
|  | MEASURED DISTANCE           |
|  | PLAT DISTANCE               |
|  | CALCULATED DISTANCE         |
|  | EXISTING GRAVEL             |
|  | EXISTING PAVER STONE        |
|  | EXISTING BUILDING           |
|  | EXISTING CONCRETE           |
|  | EXISTING ASPHALT            |
|  | EXISTING LANDSCAPED AREA    |
|  | EXISTING STORM SEWER        |
|  | EXISTING SANITARY SEWER     |
|  | EXISTING WATERMAIN          |
|  | EXISTING OVERHEAD WIRES     |
|  | EXISTING FENCE              |
|  | EXISTING UTILITY POLE       |
|  | EXISTING WATER SHUT OFF     |
|  | EXISTING GATE VALVE         |
|  | EXISTING HYDRANT            |
|  | EXISTING WELL               |
|  | EXISTING GAS SHUT OFF       |
|  | EXISTING SANITARY STRUCTURE |
|  | EXISTING STORM STRUCTURE    |
|  | EXISTING DOWN SPOUT         |
|  | EXISTING UTILITY PEDESTAL   |
|  | EXISTING BOULDER RET. WALL  |
|  | EXISTING GRADE              |

R3 – SINGLE FAMILY RESIDENTIAL  
SETBACKS:

FRONT = 22.44' MATCH EX. HISTORICAL HOUSE  
SIDE = 9' OR 10% OF TOTAL LOT WIDTH  
WHICHEVER IS LARGER FOR ONE SIDE.

14' FT. OR 25% OF TOTAL LOT WIDTH  
WHICHEVER IS LARGER FOR ONE SIDE  
5' MIN. ONE SIDE

REAR = 30' FT.  
MINIMUM LOT AREA: 4,500 SQ FT PER UNIT  
MINIMUM OPEN SPACE: 40%  
MAXIMUM LOT COVERAGE: 30%

MAXIMUM LOT COVERAGE: 30%  
TOTAL LOT AREA: 5,226.7 SQ. FT.  
MAXIMUM LOT COVERAGE:  $5,226.7 * 30\% = 1,568.01$  SQ. FT.

MAXIMUM LOT COVERAGE: 30%  
TOTAL LOT AREA: 5,322.1 SQ. FT.  
MAXIMUM LOT COVERAGE:  $5,226.7 * 30\% = 1,596.63$  SQ. FT.

TREE TABLE		
#	DESC.	ELEV.
1041	10" MAPLE	771.62
1087	17" MAPLE	770.95
1088	36" MAPLE	771.19

# TOPOGRAPHICAL SURVEY

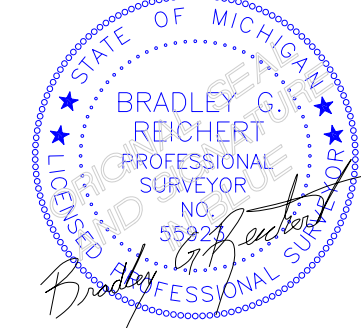
LAND IN THE CITY OF BIRMINGHAM, OHARLAND COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS:  
TOWN 2 NORTH, RANGE 10 EAST, SECTION 36, "ASSESSOR'S REPLAY OF PART OF TORREY'S, HOOO'S & SMITH ADDITION,"  
**PART OF LOT 53** COMMENCING AT THE SOUTHWEST LOT CORNER, THENCE NORTH 01 DEGREES 09 MINUTES 00 SECONDS  
EAST 43.86 FEET TO THE WEST LINE OF SAID LOT 53 TO THE POINT OF BEGINNING, THENCE NORTH 01 DEGREES 09  
MINUTES 00 SECONDS EAST, 43.00 FEET TO THE NORTHEAST LOT CORNER, THENCE SOUTH 89 DEGREES 08 MINUTES 52  
SECONDS WEST, 121.69 FEET TO THE POINT OF BEGINNING;  
TOWN 2 NORTH, RANGE 10 EAST, SECTION 36, "ASSESSOR'S REPLAY OF PART OF TORREY'S, HOOO'S & SMITH ADDITION,"  
**PART OF LOT 53** COMMENCING AT THE SOUTHWEST LOT CORNER, THENCE NORTH 01 DEGREES 09 MINUTES 00 SECONDS  
EAST 43.86 FEET TO THE WEST LINE OF SAID LOT 53 TO THE POINT OF BEGINNING, THENCE NORTH 01 DEGREES 09  
MINUTES 00 SECONDS EAST, 43.00 FEET TO THE NORTHEAST LOT CORNER, THENCE SOUTH 89 DEGREES 08 MINUTES 52  
SECONDS WEST, 121.69 FEET TO THE POINT OF BEGINNING;  
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MINUTES 00 SECONDS EAST, 43.00 FEET TO THE NORTHEAST LOT CORNER, THENCE SOUTH 89 DEGREES 08 MINUTES 52  
SECONDS WEST, 121.69 FEET TO THE POINT OF BEGINNING;  
COMMONLY KNOWN AS: 605 S. BATES ST., BIRMINGHAM, MI 48009; PARCEL ID:19-36--178-026

COMMONLY KNOWN AS: 607 S. BATES ST., BIRMINGHAM, MI 48009; PARCEL ID: 19-36-178-026

PREPARED FOR:  
FINNICUM BROWNLIE ARCHITECTS

PREPARED FOR:  
M BROWN LIE ARCH  
P.O. BOX 250650  
FRANKLIN, MI 48025  
(248) 851-5022

SEAL:

[illegible]

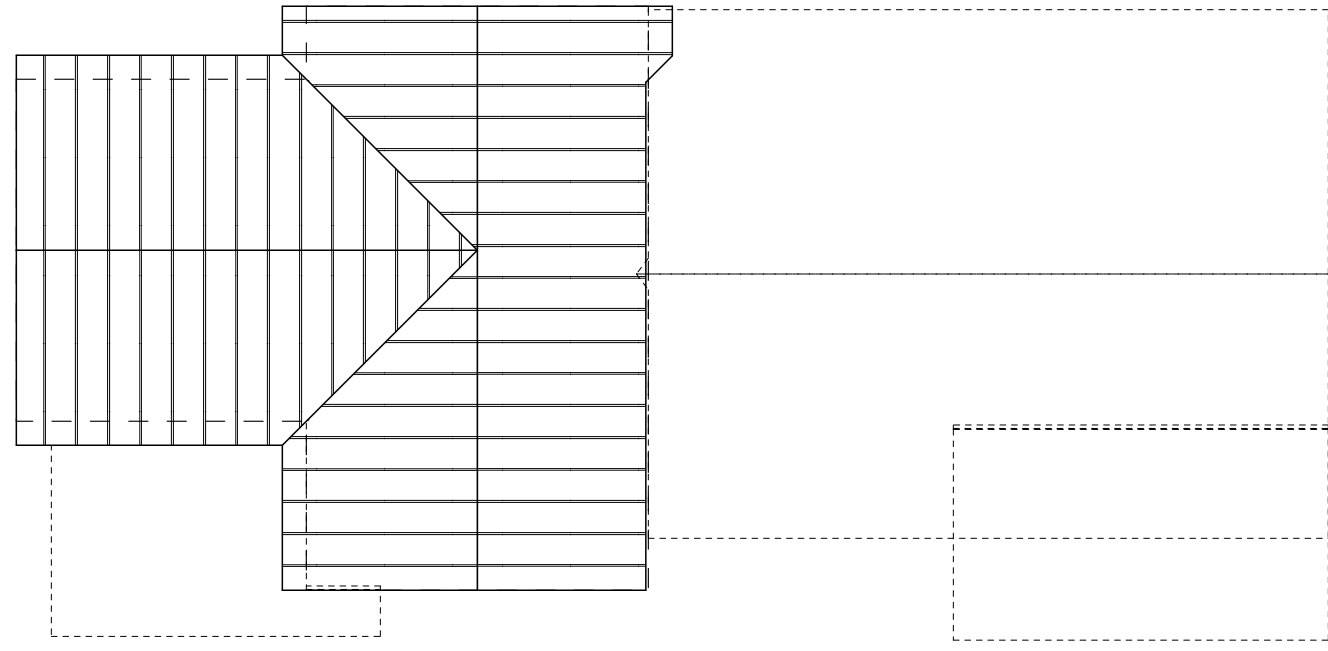
SCALE: 1"=10'      DRAWN: B.G.R.

DATE: 9/27/16 CHECK: G.H.R.

JOB # 14-193 SHEET: 1 OF 1

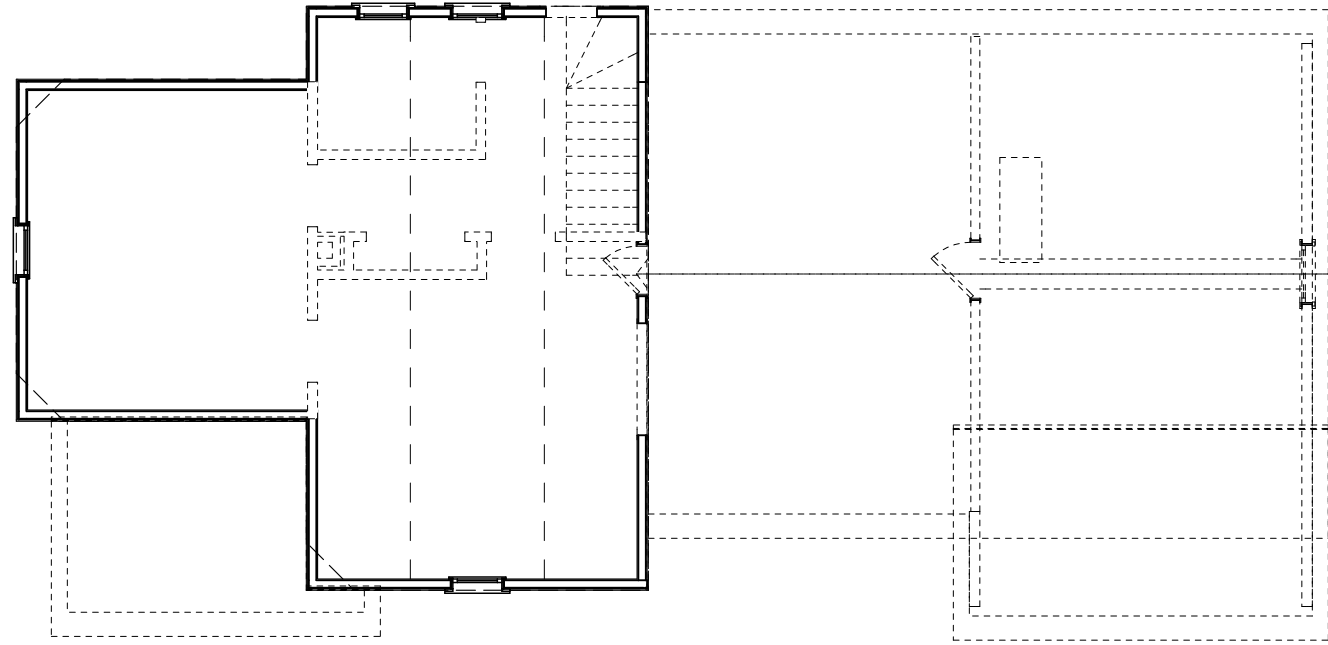


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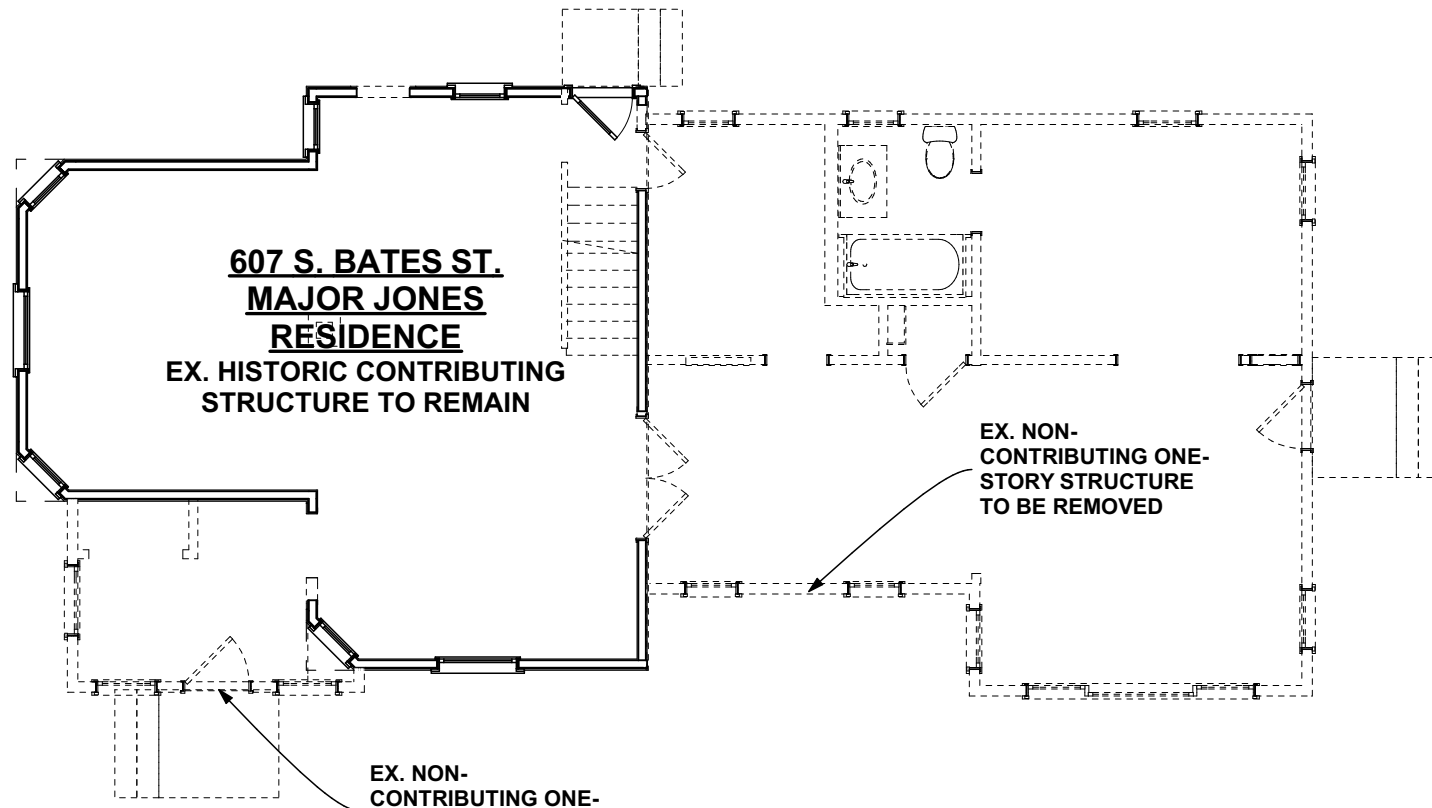
ROOF DEMOLITION PLAN

SCALE: 1/8" = 1'-0" 5  
A-2



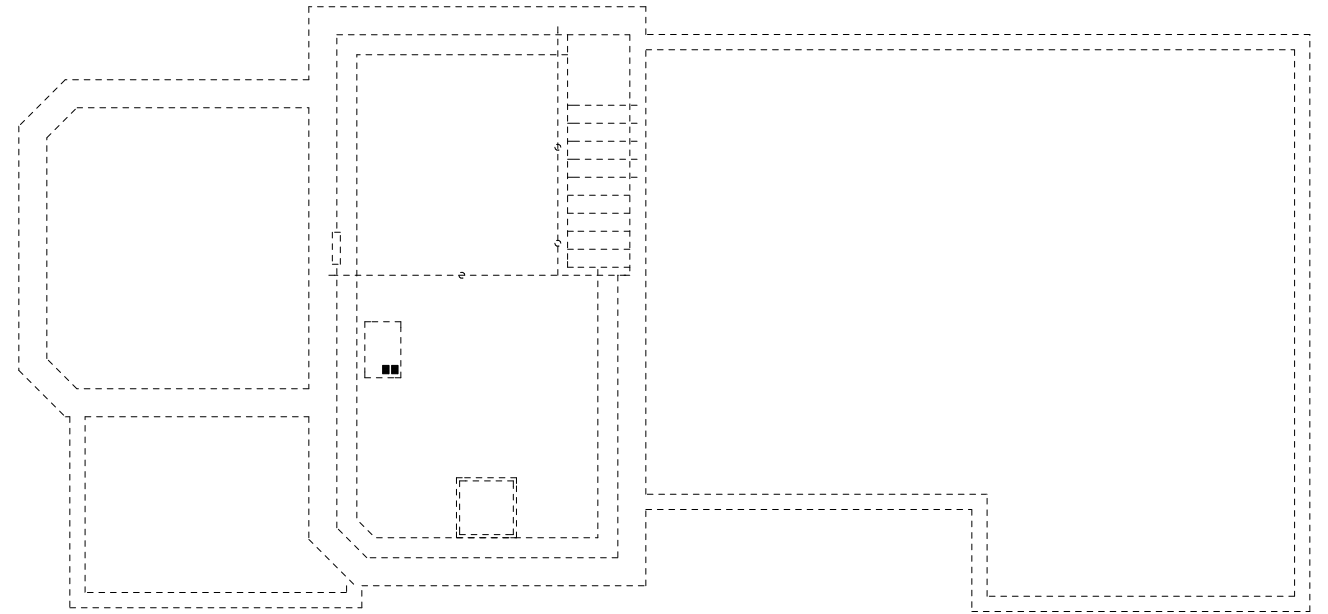
SECOND FLOOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0" 4  
A-2



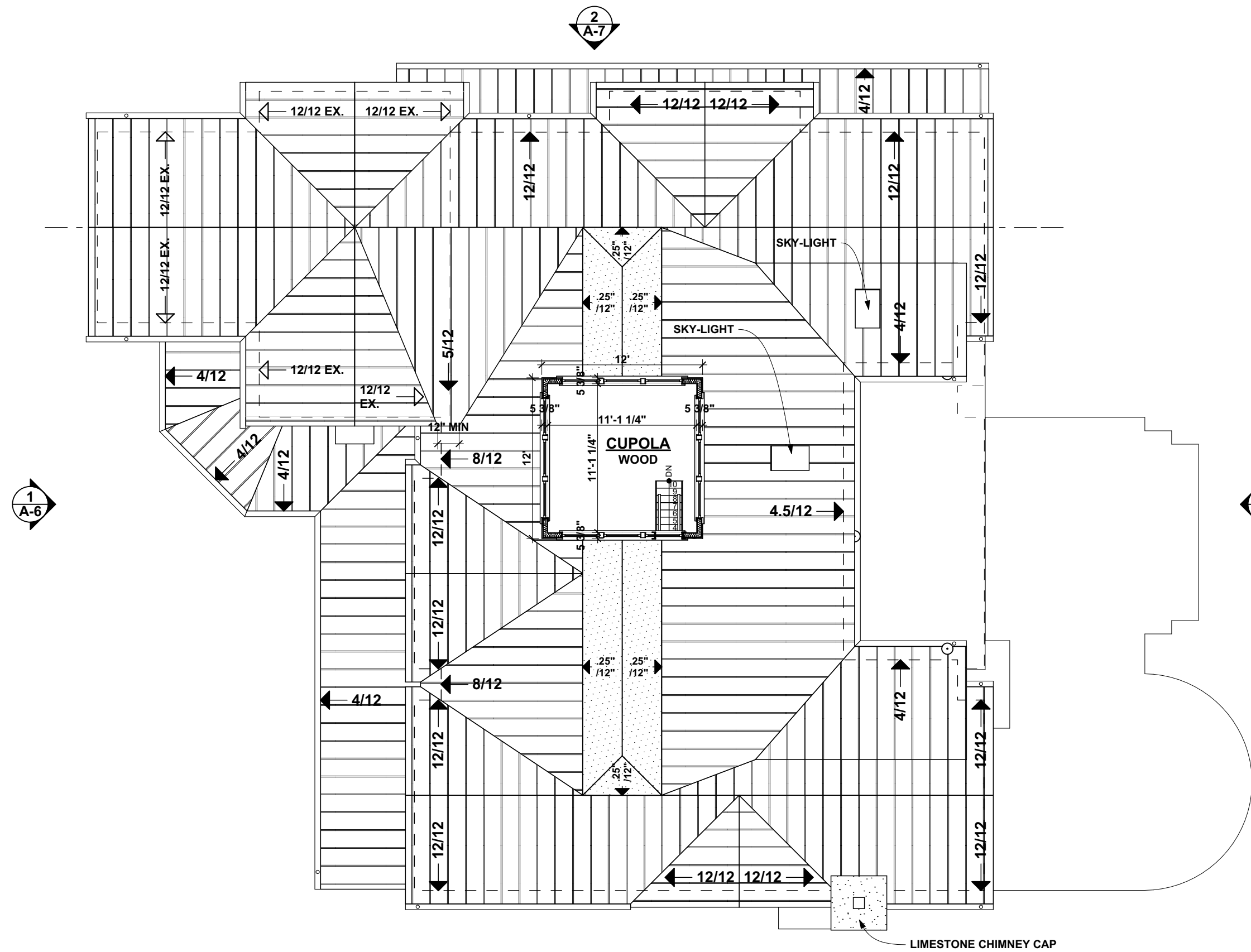
FIRST FLOOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0" 3  
A-2



BASEMENT DEMOLITION PLAN

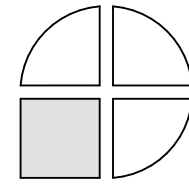
SCALE: 1/8" = 1'-0" 2  
A-2



PROPOSED ROOF PLAN

SCALE: 1/8" = 1'-0" 1  
A-2

HDC: 06-05-2017



**FINNICUM  
BROWNLIE  
ARCHITECTS**

25885 German Mill Rd.  
FRANKLIN, MI 48025  
248 851 5022

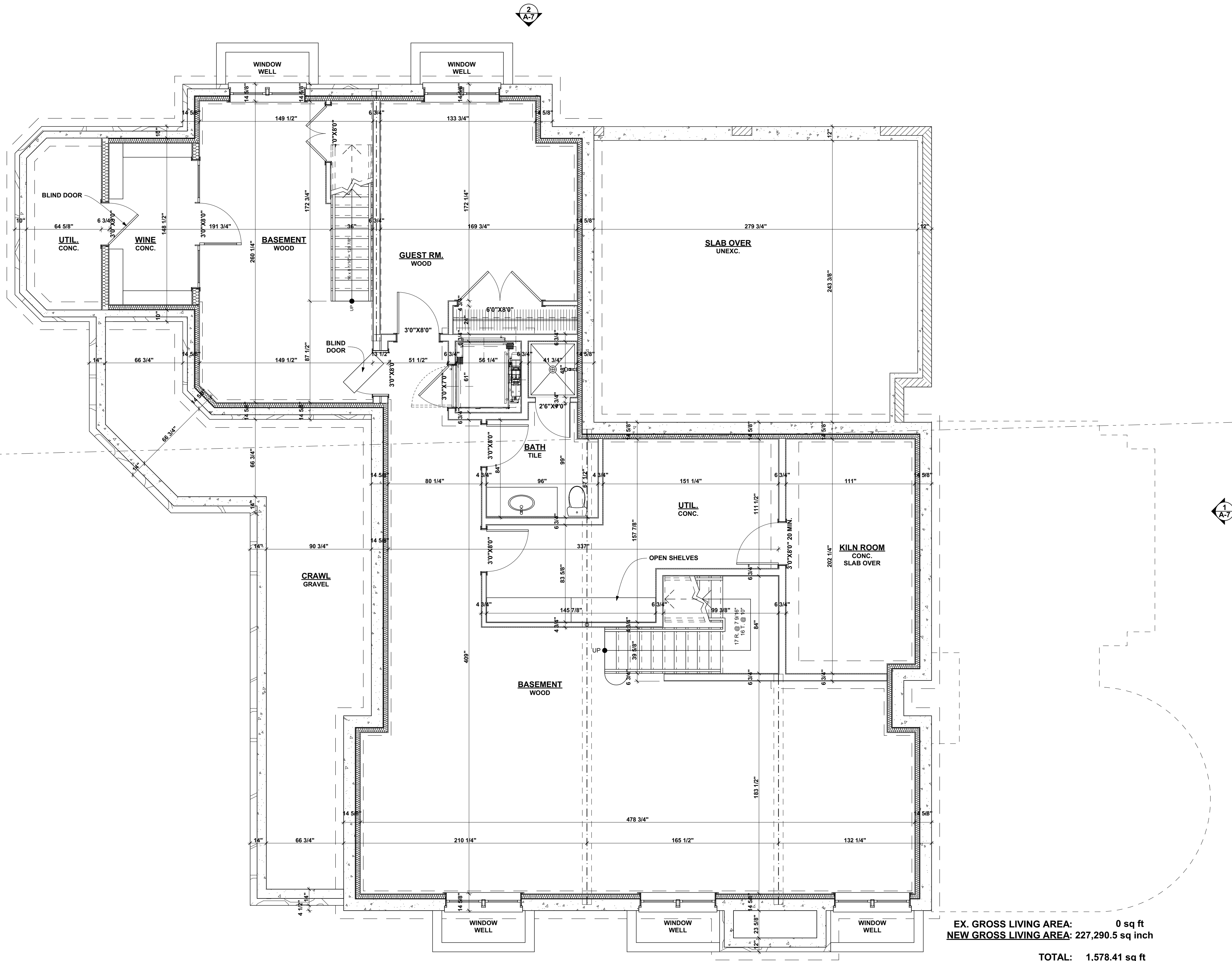
PROJECT:  
**ANGLERI RESIDENCE**  
607 S. BATES STREET  
BIRMINGHAM, MI

TITLE:  
**PROPOSED ROOF PLAN, DEMOLITION PLANS**

SHEET NO.

**A-2**

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EX. GROSS LIVING AREA: 0 sq ft  
NEW GROSS LIVING AREA: 227,290.5 sq inch

TOTAL: 1,578.41 sq ft

PROPOSED LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

1  
A-3

PROJECT:

**ANGLERI RESIDENCE**

607 S. BATES STREET  
BIRMINGHAM, MI

TITLE:

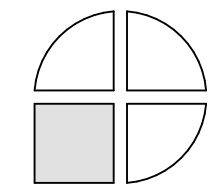
**PROPOSED BASEMENT FLOOR PLAN**

SHEET NO.

**A-3**

HDC:

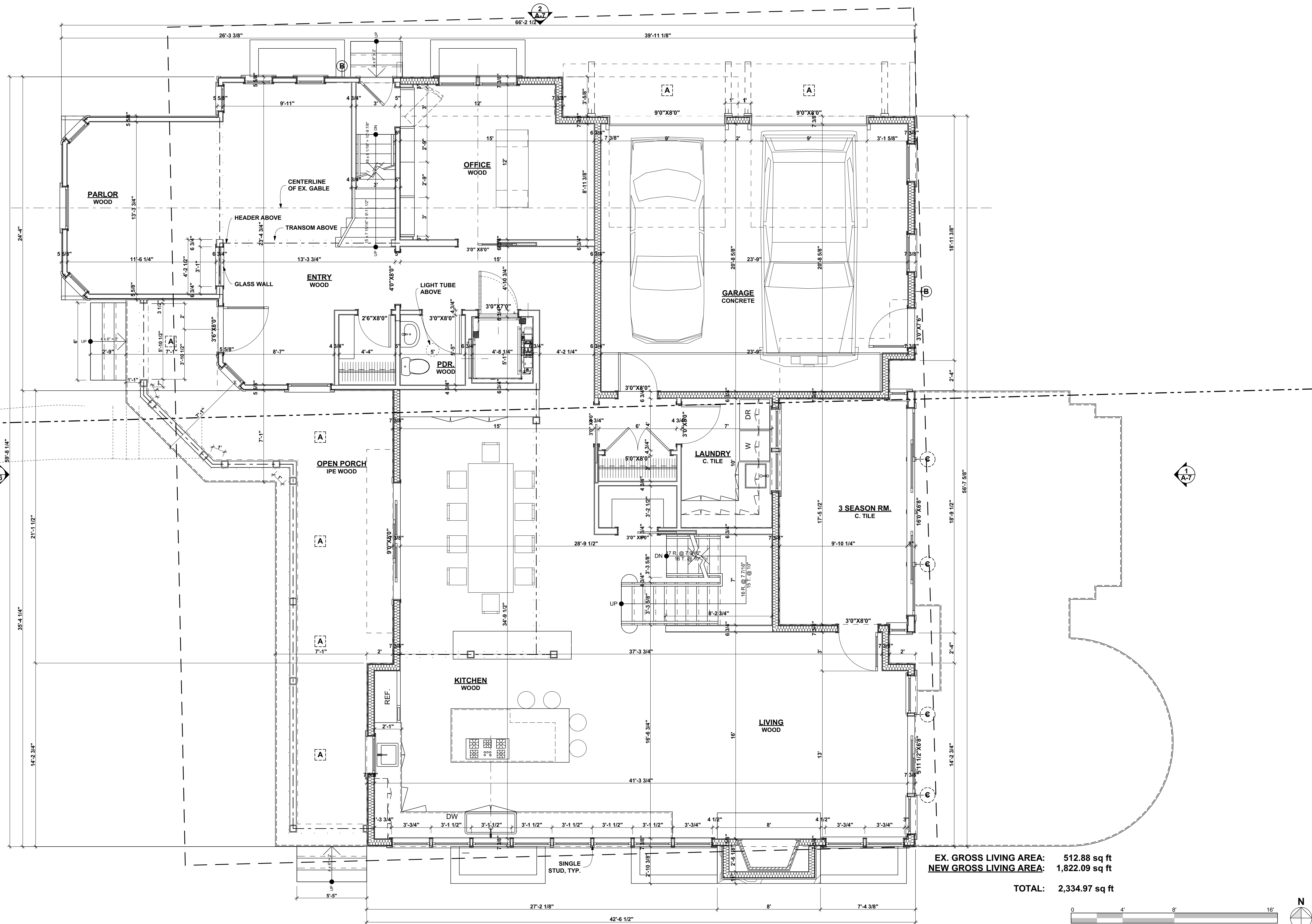
06-05-2017



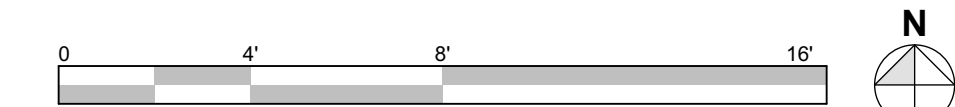
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FRANKLIN, MI 48025  
248 851 5022

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EX. GROSS LIVING AREA: 512.88 sq ft  
NEW GROSS LIVING AREA: 1,822.09 sq ft  
TOTAL: 2,334.97 sq ft



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

1  
A-4

PROJECT:

**ANGLERI RESIDENCE**  
607 S. BATES STREET  
BIRMINGHAM, MI

TITLE:

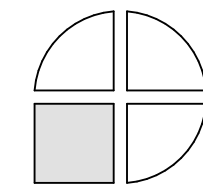
**PROPOSED FIRST FLOOR PLAN**

SHEET NO.

**A-4**

HDC:

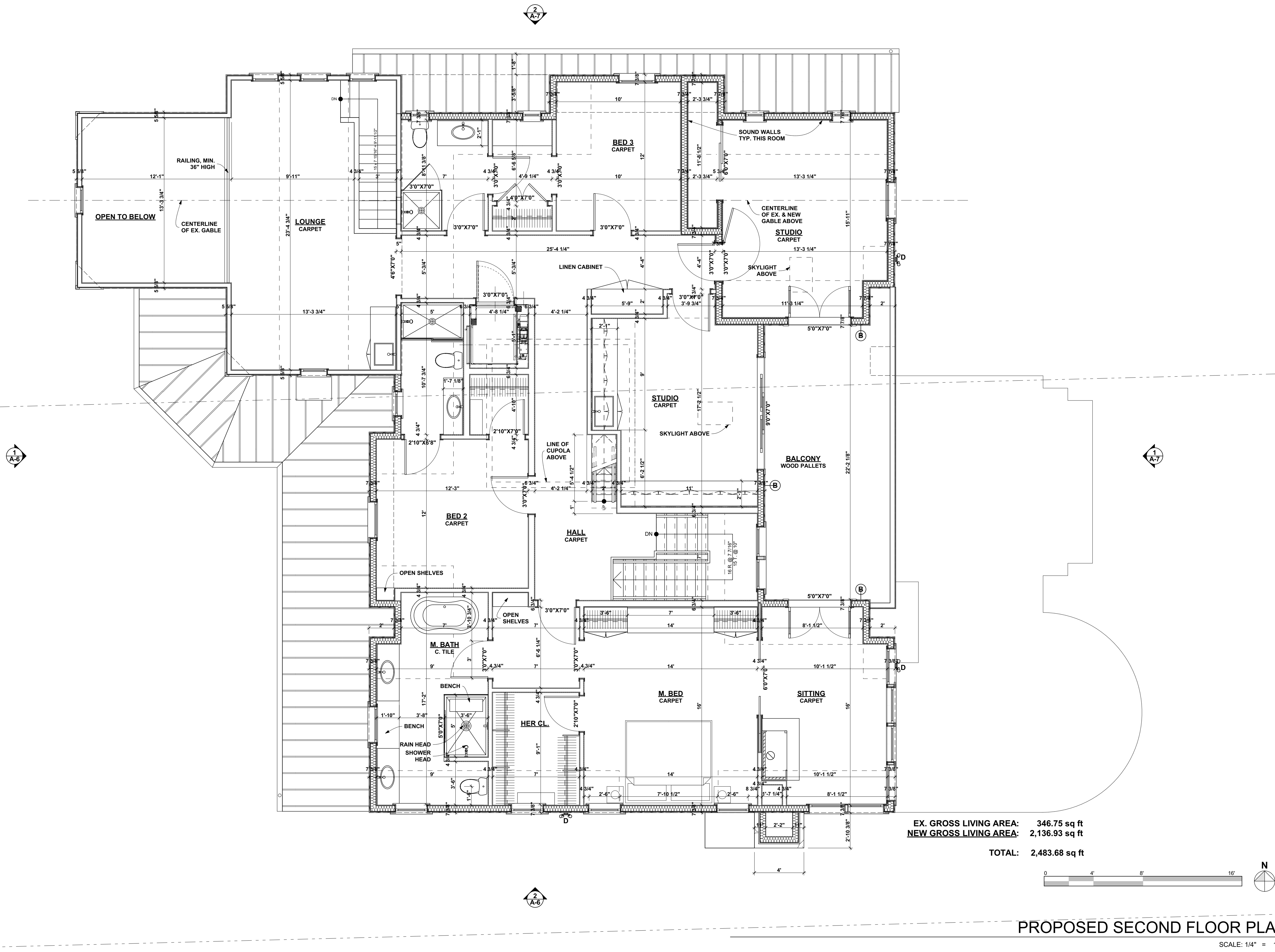
06-05-2017



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ARCHITECTS**

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FRANKLIN, MI 48025  
248 851 5022

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HDC: 06-05-2017

**FINNICUM  
BROWNIE  
ARCHITECTS**  
25885 German Mill Rd.  
FRANKLIN, MI 48025  
248 851 5022

PROJECT:  
**ANGLERI RESIDENCE**  
607 S. BATES STREET  
BIRMINGHAM, MI

TITLE:  
**PROPOSED SECOND FLOOR PLAN**

SHEET NO.  
**A-5**

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## SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

2  
A-6

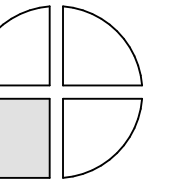


## WEST ELEVATION

SCALE: 1/4" = 1'-0"

1  
A-6

HDC: 06-05-2017



**FINNICUM  
BROWNIE  
ARCHITECTS**

25885 German Mill Rd.  
FRANKLIN, MI 48025  
248 851 5022

PROJECT:  
**ANGLERI RESIDENCE**  
607 S. BATES STREET  
BIRMINGHAM, MI

TITLE:  
**PROPOSED ELEVATIONS**

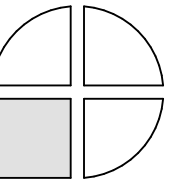
SHEET NO.

**A-6**

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HDC: 06-05-2017



**FINNICUM  
BROWNIE  
ARCHITECTS**

25885 German Mill Rd.  
FRANKLIN, MI 48025  
248 851 5022

PROJECT:  
**ANGLERI RESIDENCE**  
607 S. BATES STREET  
BIRMINGHAM, MI

TITLE:  
**PROPOSED ELEVATIONS**

SHEET NO.

**A-7**



607 S. BATES STREET  
BIRMINGHAM, MICHIGAN

SHEET INDEX	
ID	Name
A-1	PROPOSED SITE PLAN
A-1.1	LANDSCAPE PLAN
1	SURVEY
A-2	PROPOSED ROOF PLAN, DEMOLITION PLANS
A-3	PROPOSED BASEMENT FLOOR PLAN
A-4	PROPOSED FIRST FLOOR PLAN
A-5	PROPOSED SECOND FLOOR PLAN
A-6	PROPOSED ELEVATIONS
A-7	PROPOSED ELEVATIONS

SCHEDULE OF REGULATIONS (ZONING CLASS R-3)					
PRIMARY STRUCTURE		REQUIRED:		PROPOSED:	
MINIMUM LOT AREA (S.F.):		4,500 S.F.		10548.75 S.F. EX.	
MINIMUM OPEN SPACE (S.F.):		40%	4219.5	53%	5,563.5
MAXIMUM LOT COVERAGE (S.F.):		30%	3164.6	28%	2,930.5
MIN. FLOOR AREA (S.F.):		1,000 S.F.		2,136'	
MAXIMUM BUILDING HEIGHT (MID PT.):		28.0'		21.75'	
MAX. EAVE HEIGHT:		24.0'		17.875'	
LOT WIDTH:		86.66'		86.66'	
MIN. FRONT SETBACK: (AVERAGE WITHIN 200.0'):		31.06 TO HOUSE (AVERAGE)		22.44' LEGAL NON-CONFORMITY	
		23.67 TO PORCH (AVERAGE)			
MIN. REAR SETBACK:		32.56'		32.56'	
MIN. COMBINED FRONT & REAR SETBACKS:		55.0'		55'	
MIN. SIDE, AT LEAST ONE: (GREATER OF 10% OR 9.0'):		9.0'		16.61' TO EX. HOUSE	
MIN. SIDE, COMBINED: (25% OF LOT WIDTH):		21.67' (9+12.67)		25.61'	
WINDOW WELL:		3'X6', COVERED W/ GRATE		3'X6', COVERED W/ GRATE	



HDC: 06-05-2017

**FINNICUM  
BROWNLIE  
ARCHITECTS**

25885 German Mill Rd.  
FRANKLIN, MI 48025  
248 851 5022

PROJECT:  
**ANGILERI RESIDENCE**  
607 S. BATES STREET  
BIRMINGHAM, MI

TITLE:  
**PROPOSED SITE PLAN**

SHEET NO.  
**A-1**



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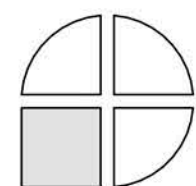


LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

1  
A-1.1

REVIEW: 04-25-2017

  
**FINNICUM  
BROWNLIE  
ARCHITECTS**  
25885 German Mill Rd.  
FRANKLIN, MI 48025  
248 851 5022

PROJECT:  
**ANGLERI RESIDENCE**  
607 S. BATES STREET  
BIRMINGHAM, MI

TITLE:  
**LANDSCAPE PLAN**

SHEET NO.  
**A-1.1**



TOPOGRAPHICAL SURVEY

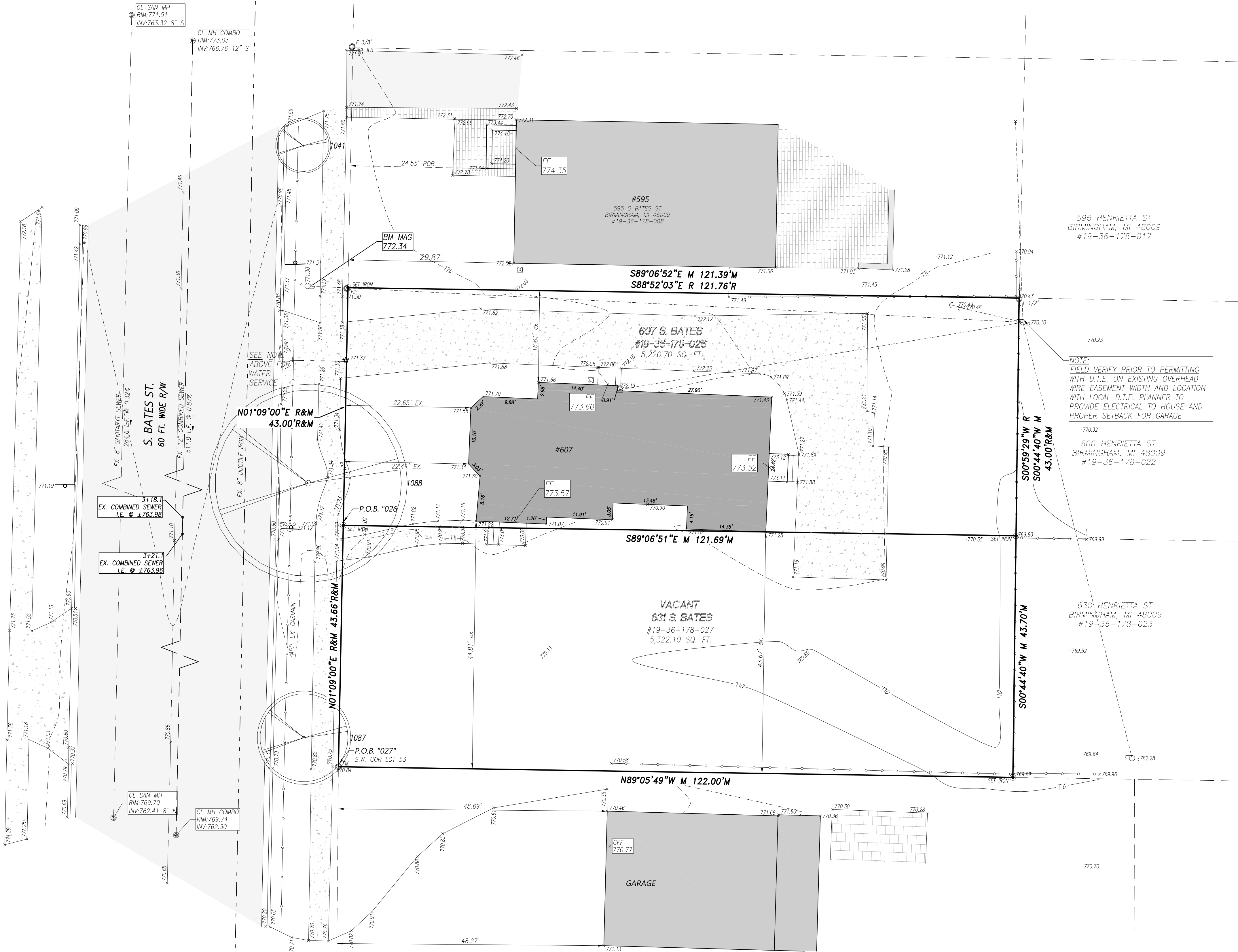
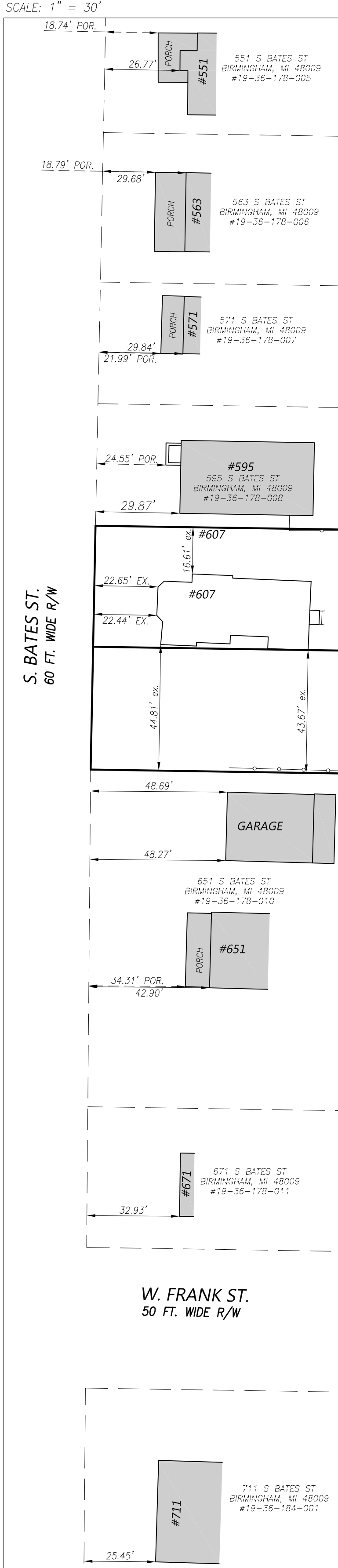
LEGAL DESCRIPTION: LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TOWN 2 NORTH, RANGE 10 EAST, SECTION 36, "ASSESSOR'S REPLAT OF PART OF TORREY'S, HOOD'S & SMITH ADDITION", PART OF LOT 53 COMMENCING AT THE S.W. LOT CORNER, THENCE N.01°09'00"E., 43.66 FEET ALONG THE WEST LINE OF SAID LOT 53 TO THE PAINT OF BEGINNING, THENCE N.01°09'00"E., 43.00 FEET TO THE N.E. LOT CORNER, THENCE SOUTH 89°06'52"E., 121.39 FEET ALONG THE NORTH LINE OF SAID LOT 53, THENCE S.00°44'40"W., 43.00 FEET, THENCE N.89°06'51"W., 121.69 FEET TO THE POINT OF BEGINNING.

COMMONLY KNOWN AS: 607 S. BATES ST., BIRMINGHAM, MI 48009  
PARCEL ID:19-36-178-026

LEGAL DESCRIPTION: LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TOWN 2 NORTH, RANGE 10 EAST, SECTION 36, "ASSESSOR'S REPLAT OF PART OF TORREY'S, HOOD'S & SMITH ADDITION", PART OF LOT 53 COMMENCING AT THE S.W. LOT CORNER, THENCE N.01°09'00"E., 43.66 FEET, THENCE SOUTH 89°06'51"E., 121.69 FT., THENCE S.00°44'40"W., 43.70 FEET, THENCE N.89°05'49"W., 122.00 FEET ALONG THE S. LINE LINE OF SAID LOT 53 TO THE POINT OF BEGINNING.

COMMONLY KNOWN AS: 631 S. BATES ST., BIRMINGHAM, MI 48009  
PARCEL ID:19-36-178-027

FRONT YARD AVERAGING:



S. BATES ST. AVERAGING

HOUSE #	HSE. DIST.	POR. DIST.
#551	26.77'	18.74'
#563	29.68'	18.79'
#571	29.84'	21.99'
#595	29.87'	24.55'
#651	42.90'	34.31'
#671	32.93'	
#711	25.45'	
Σ118.38'/5=23.67'		
Σ217.44'/7=31.06'		

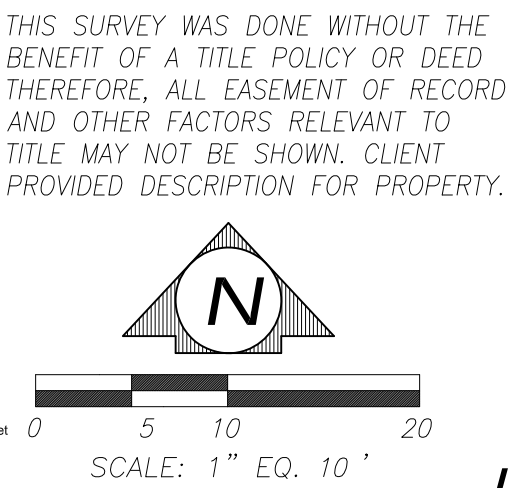
**BENCHMARK:**  
SITE BM: BENCH TIE MAG SET IN EAST FACE OF POWER POLE LOCATED AT THE NORTHWEST CORNER OF LOT  
ELEVATION: 772.34 CITY OF BIRMINGHAM DATUM  
JOB BM:  
CITY BM #2 ELEVATION: 767.438  
BIRMINGHAM G.I.S. COORD. N = 380694.528 E = 13433880.737  
SOUTHEAST CORNER OF PIERCE AND LINCOLN

**NOTE:**  
LOCATION OF EXISTING UNDERGROUND WATERMAIN GAS MAIN ELECTRICAL AND TELEPHONE LINES WERE OBTAINED FROM EXISTING CITY RECORDS AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION AND DEPTH. FIELD VERIFY ALL LOCATION.

**NOTE:**  
IF CITY RECORDS INDICATE OLD LEAD WATER SERVICE; THEN REPLACE WITH NEW (1"K-COPPER OR PEX) WATERLINE. TO BE INSTALLED BY THE CITY OF BIRMINGHAM FROM THE WATERMAIN TO THE STOP BOX.



LOCATION MAP:  
N.T.S.



**3 FULL WORKING DAYS BEFORE YOU DIG CALL**

**811**  
Know what's below  
Call before you dig  
MISS DIG System, Inc.  
1-800-482-7171 (TOLL FREE) www.missdig.net

**LEGEND:**

- FOUND IRON
- SET IRON
- RECORD DISTANCE
- MEASURED DISTANCE
- PLAT DISTANCE
- CALCULATED DISTANCE
- EXISTING GRAVEL
- EXISTING PAVER STONE
- EXISTING BUILDING
- EXISTING CONCRETE
- EXISTING ASPHALT
- EXISTING LANDSCAPED AREA
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING OVERHEAD WIRES
- EXISTING FENCE
- EXISTING UTILITY POLE
- EXISTING WATER SHUT OFF
- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING WELL
- EXISTING GAS SHUT OFF
- EXISTING SANITARY STRUCTURE
- EXISTING STORM STRUCTURE
- EXISTING DOWN SPOUT
- EXISTING UTILITY PEDESTAL
- EXISTING BOULDER RET. WALL
- EXISTING GRADE

**ZONING:**  
R3 - SINGLE FAMILY RESIDENTIAL  
SETBACKS:  
FRONT = 22.44' MATCH EX. HISTORICAL HOUSE  
SIDE = 9' OR 10% OF TOTAL LOT WIDTH WHICHEVER IS LARGER FOR ONE SIDE.  
14' FT. OR 25% OF TOTAL LOT WIDTH WHICHEVER IS LARGER FOR ONE SIDE  
5' MIN. ONE SIDE  
REAR = 30' FT.  
MINIMUM LOT AREA: 4,500 SQ. FT. PER UNIT  
MINIMUM OPEN SPACE: 40%  
MAXIMUM LOT COVERAGE: 30%

**LOT INFO 607 BATES:**  
MAXIMUM LOT COVERAGE: 30%  
TOTAL LOT AREA: 5,226.7 SQ. FT.  
MAXIMUM LOT COVERAGE: 5,226.7 \* 30% = 1,568.01 SQ. FT.

**LOT INFO 631 BATES:**  
MAXIMUM LOT COVERAGE: 30%  
TOTAL LOT AREA: 5,322.1 SQ. FT.  
MAXIMUM LOT COVERAGE: 5,322.1 \* 30% = 1,596.63 SQ. FT.

TREE TABLE

#	DESC.	ELEV.
1041	10" MAPLE	771.62
1087	17" MAPLE	770.95
1088	36" MAPLE	771.19

**TOPOGRAPHICAL SURVEY**

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TOWN 2 NORTH, RANGE 10 EAST, SECTION 36, "ASSESSOR'S REPLAT OF PART OF TORREY'S, HOOD'S & SMITH ADDITION", PART OF LOT 53 COMMENCING AT THE S.W. LOT CORNER, THENCE N.01°09'00"E., 43.66 FEET, THENCE SOUTH 89°06'51"E., 121.69 FT., THENCE S.00°44'40"W., 43.70 FEET, THENCE N.89°05'49"W., 122.00 FEET ALONG THE S. LINE LINE OF SAID LOT 53 TO THE POINT OF BEGINNING, THENCE N.01°09'00"E., 43.00 FEET TO THE N.E. LOT CORNER, THENCE SOUTH 89°06'52"E., 121.39 FEET ALONG THE NORTH LINE OF SAID LOT 53, THENCE S.00°44'40"W., 43.00 FEET, THENCE N.89°06'51"W., 121.69 FEET TO THE POINT OF BEGINNING.

COMMONLY KNOWN AS: 607 S. BATES ST., BIRMINGHAM, MI 48009; PARCEL ID:19-36-178-026

**REICHERT SURVEYING INC.**  
P 248.651.0592  
F 248.656.7099  
Mail@ReichertSurveying.com  
140 Flumerfelt Lane  
Rochester, MI 48306

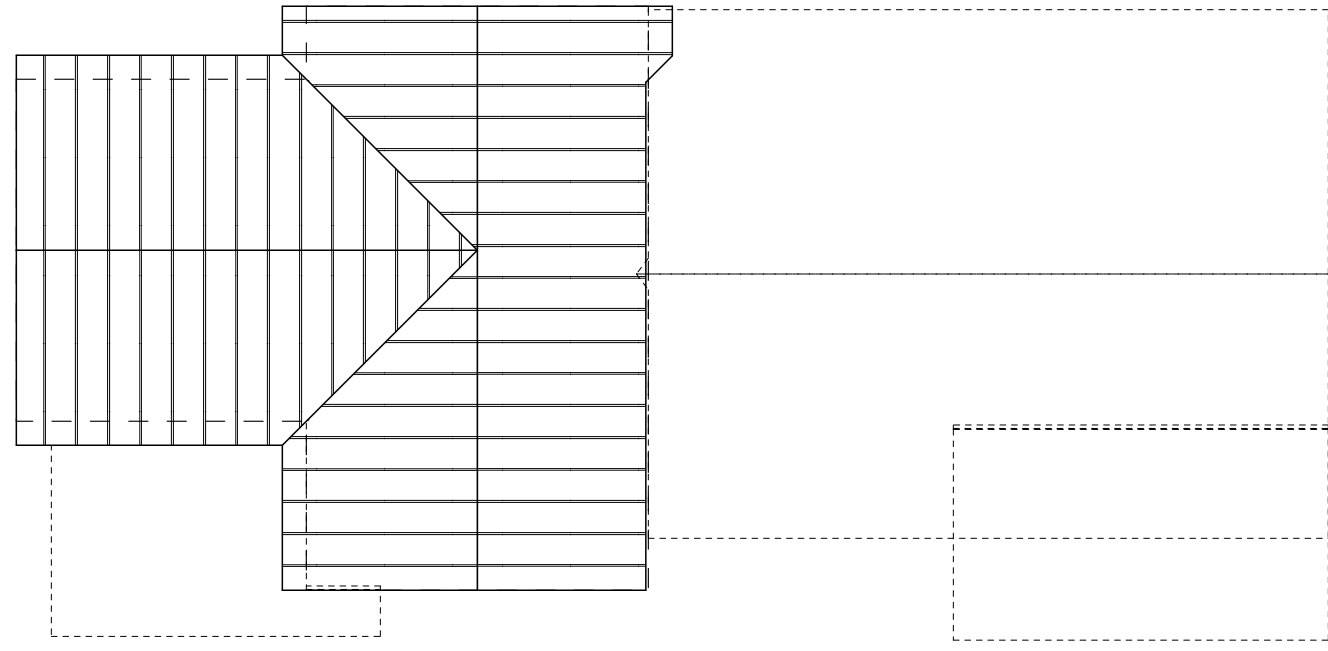
**PREPARED FOR:**  
FINNICUM BROWNIE ARCHITECTS  
P.O. BOX 250650  
FRANKLIN, MI 48025  
(248) 851-5022

**STATE OF MICHIGAN**  
BRADLEY G. REICHERT  
PROFESSIONAL SURVEYOR  
NO. 59223  
EXPIRATION DATE 12/31/2024

SCALE: 1"=10' DRAWN: B.G.R.  
DATE: 9/27/16 CHECK: G.H.R.  
JOB # 14-193 SHEET: 1 OF 1

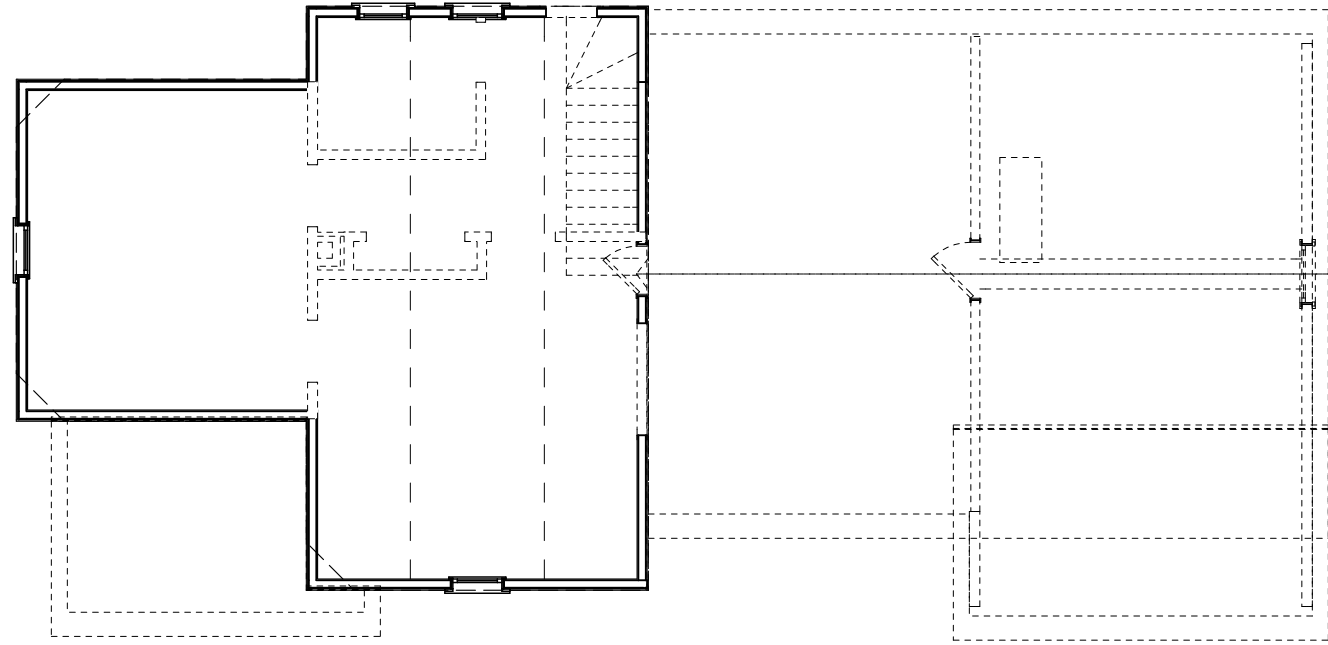


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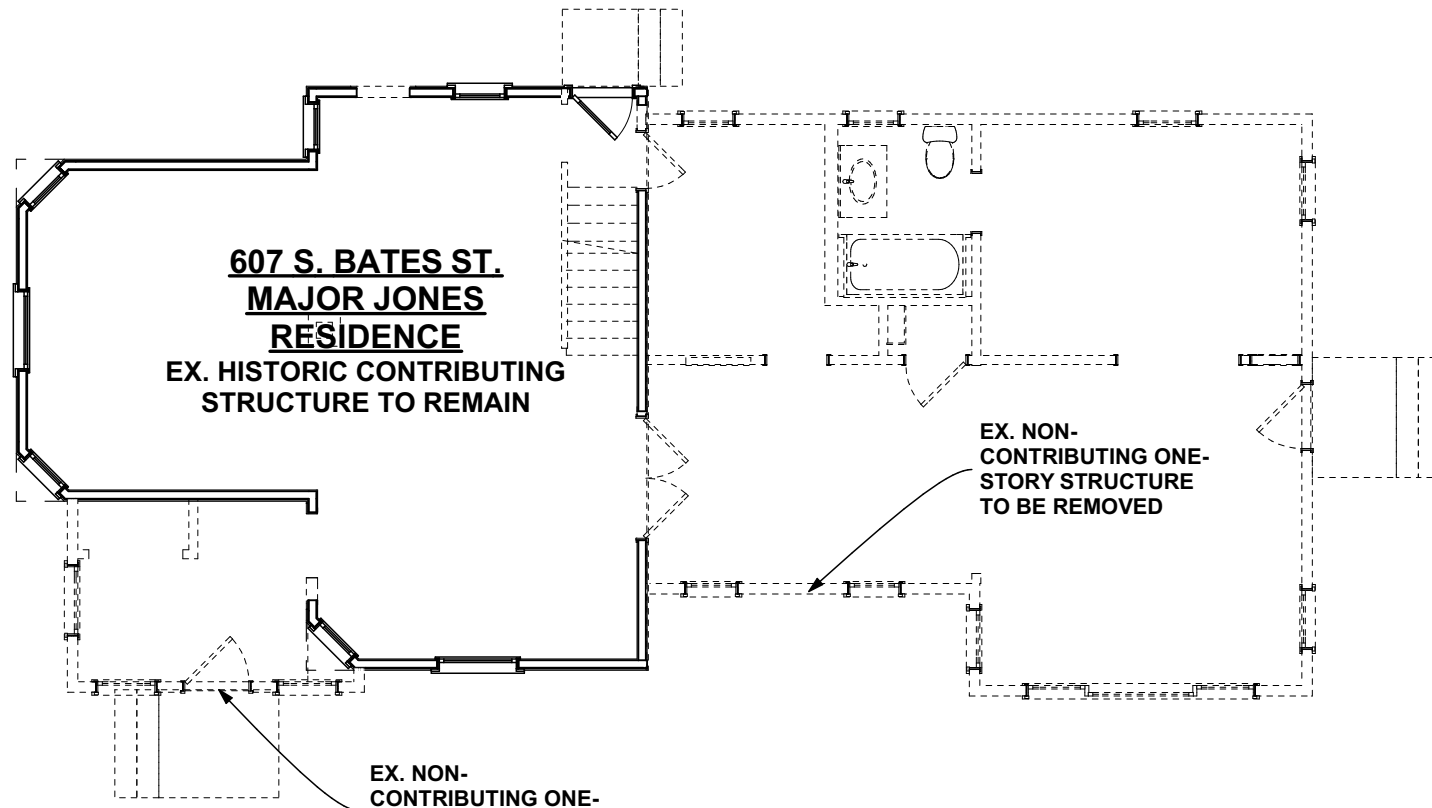
ROOF DEMOLITION PLAN

SCALE: 1/8" = 1'-0" 5 A-2



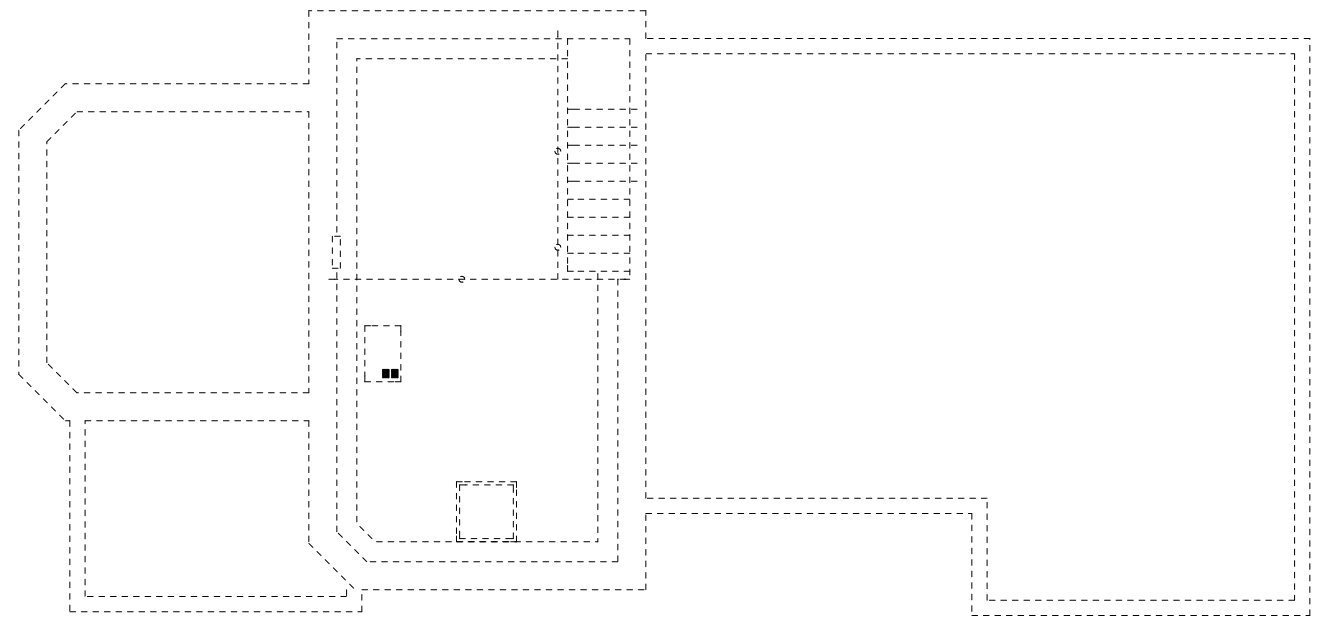
SECOND FLOOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0" 4 A-2



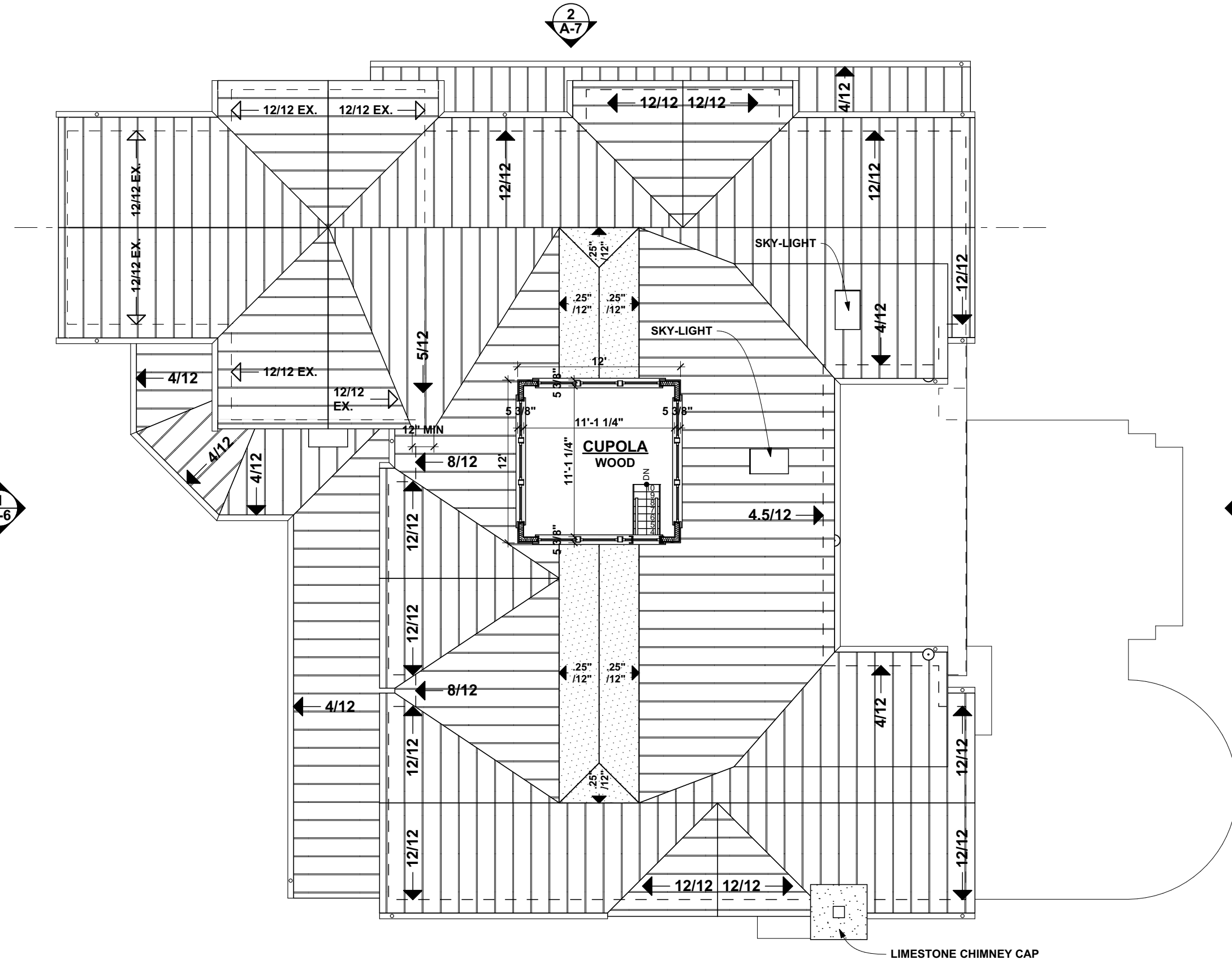
FIRST FLOOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0" 3 A-2



BASEMENT DEMOLITION PLAN

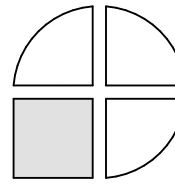
SCALE: 1/8" = 1'-0" 2 A-2



PROPOSED ROOF PLAN

SCALE: 1/8" = 1'-0" 1 A-2

HDC: 06-05-2017



**FINNICUM  
BROWNLIE  
ARCHITECTS**

25885 German Mill Rd.  
FRANKLIN, MI 48025  
248 851 5022

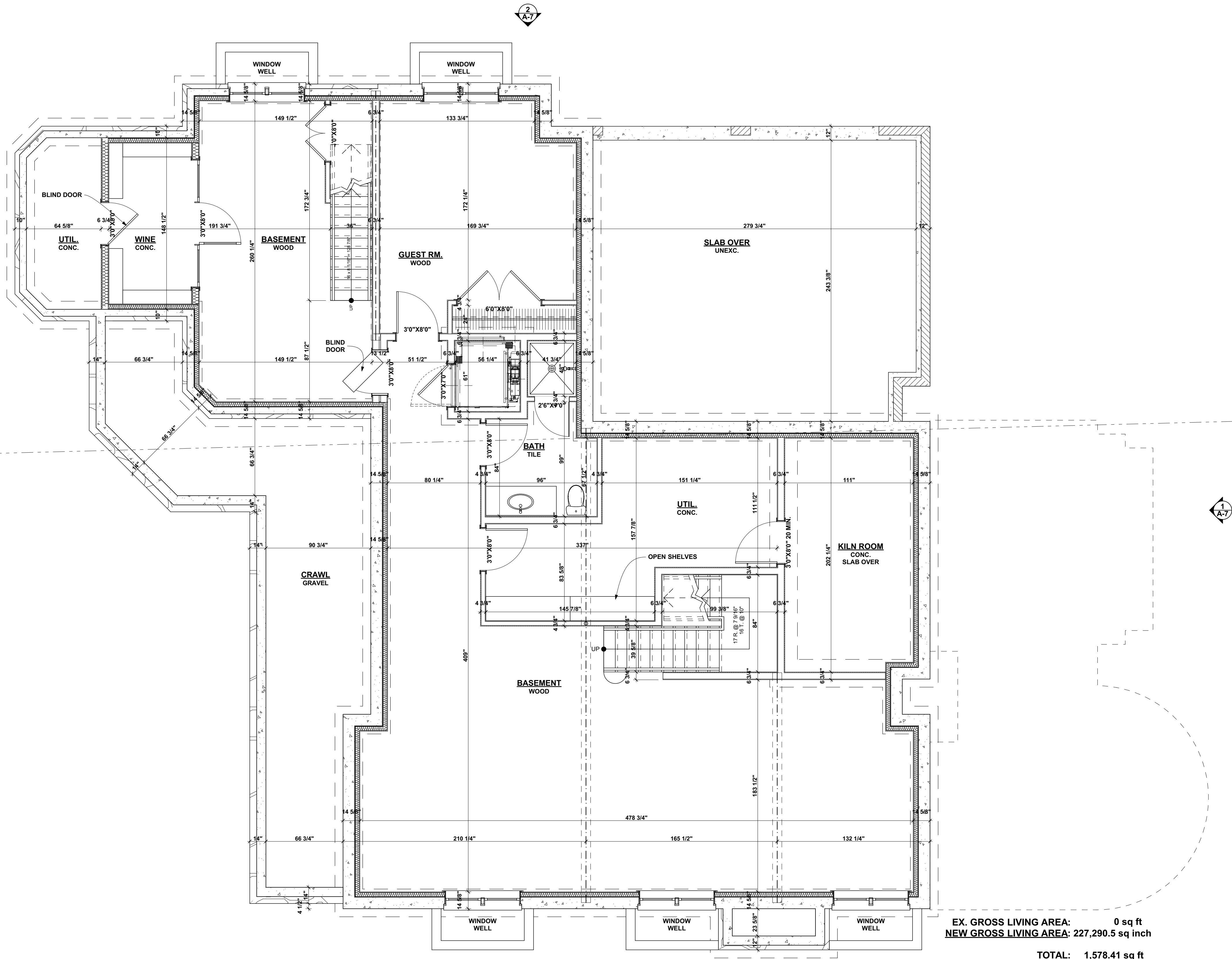
PROJECT:  
**ANGLERI RESIDENCE**  
607 S. BATES STREET  
BIRMINGHAM, MI

TITLE:  
**PROPOSED ROOF PLAN, DEMOLITION PLANS**

SHEET NO.

**A-2**

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EX. GROSS LIVING AREA: 0 sq ft  
NEW GROSS LIVING AREA: 227,290.5 sq inch

TOTAL: 1,578.41 sq ft

PROPOSED LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

1  
A-3

PROJECT:

ANGLERI RESIDENCE

607 S. BATES STREET  
BIRMINGHAM, MI

TITLE:

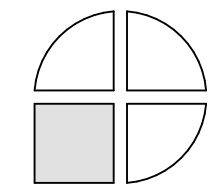
PROPOSED BASEMENT FLOOR PLAN

SHEET NO.

A-3

HDC:

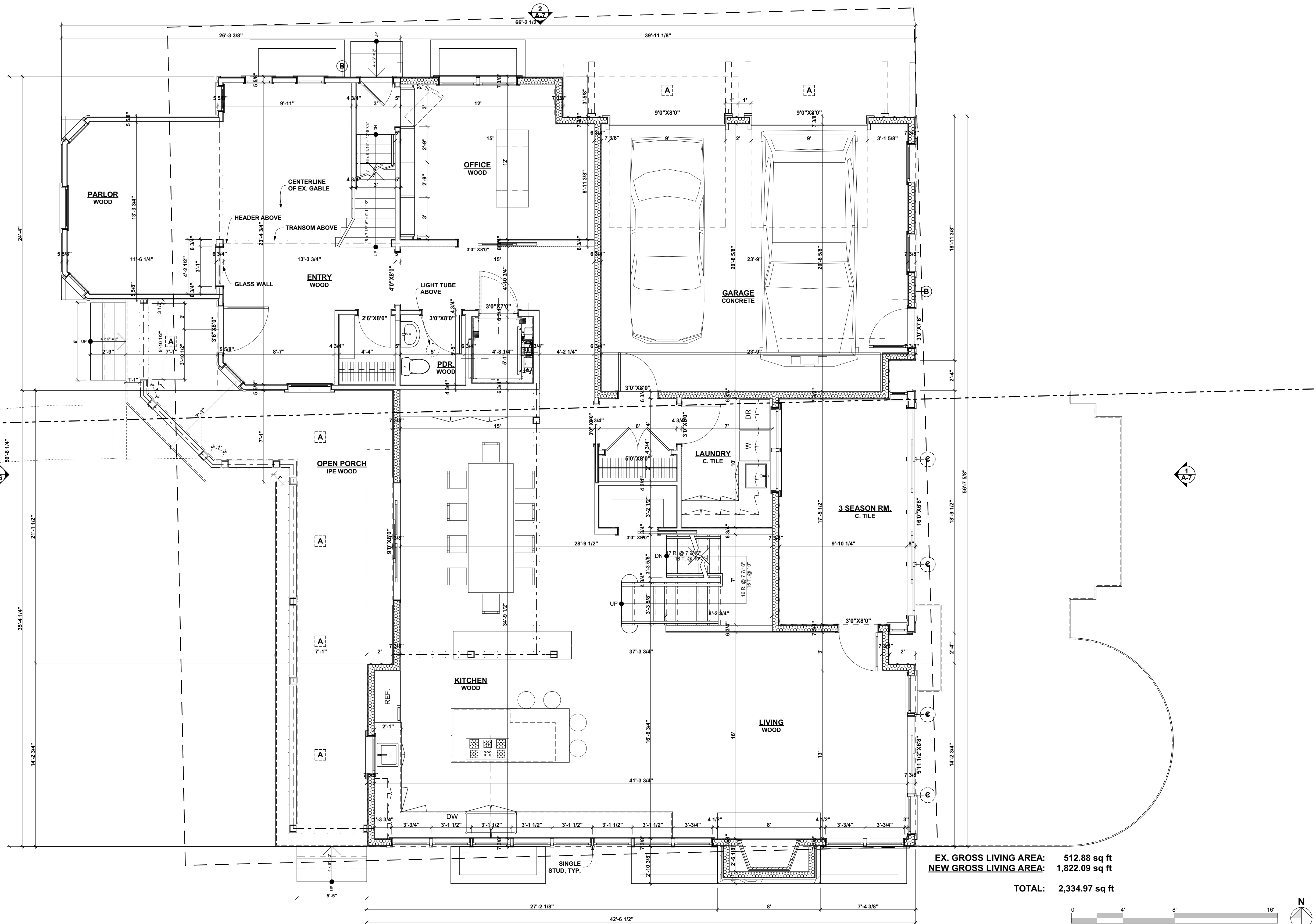
06-05-2017



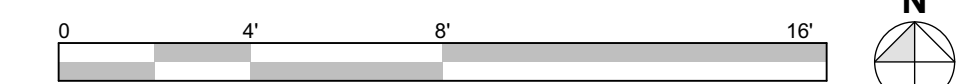
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EX. GROSS LIVING AREA: 512.88 sq ft  
NEW GROSS LIVING AREA: 1,822.09 sq ft  
TOTAL: 2,334.97 sq ft



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

1  
A-4

PROJECT:

**ANGLERI RESIDENCE**  
607 S. BATES STREET  
BIRMINGHAM, MI

TITLE:

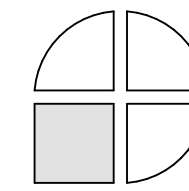
**PROPOSED FIRST FLOOR PLAN**

SHEET NO.

**A-4**

HDC:

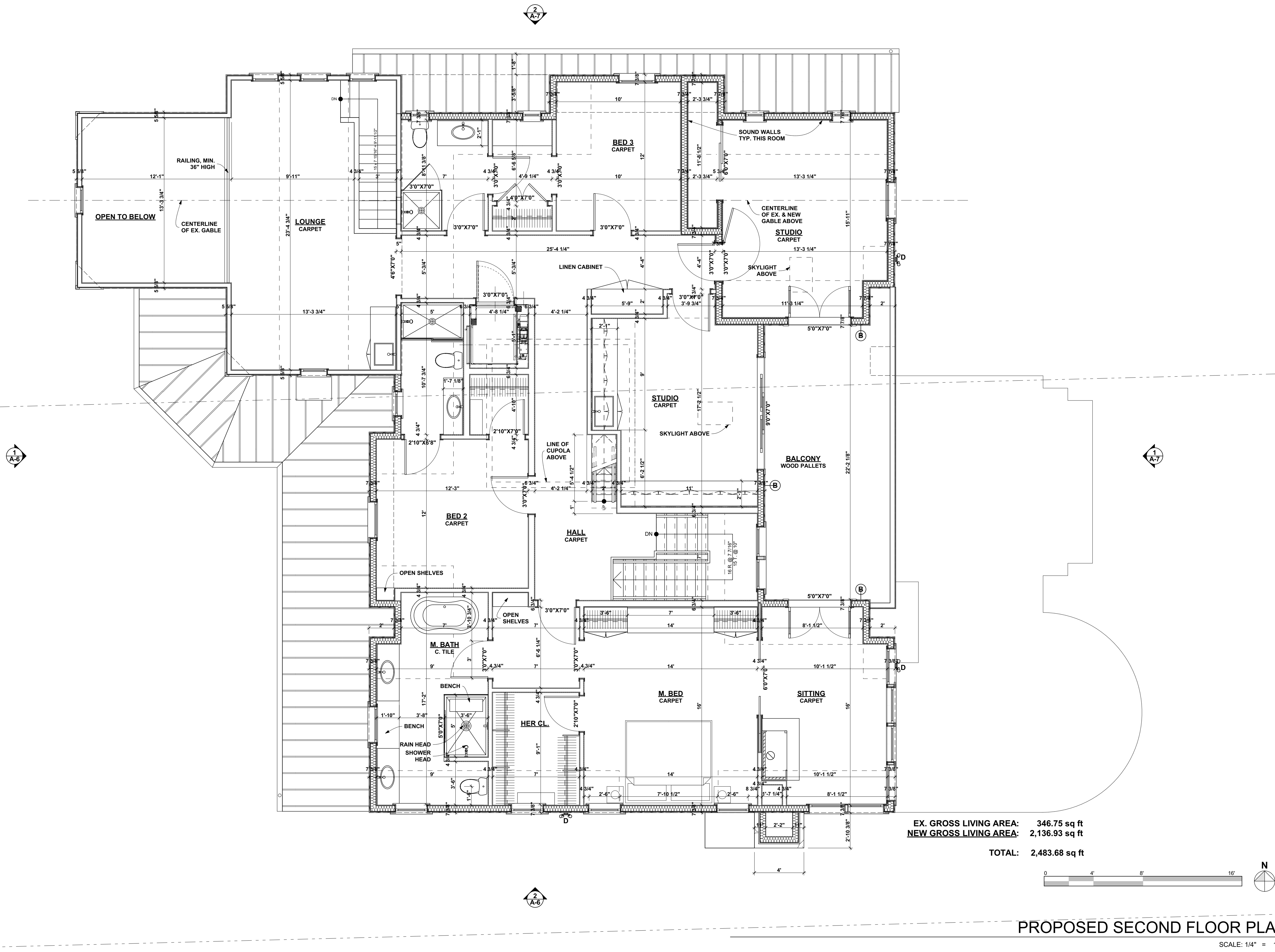
06-05-2017



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HDC: 06-05-2017

**FINNICUM  
BROWNIE  
ARCHITECTS**

25885 German Mill Rd.  
FRANKLIN, MI 48025  
248 851 5022

PROJECT:  
**ANGLERI RESIDENCE**  
607 S. BATES STREET  
BIRMINGHAM, MI

TITLE:  
**PROPOSED SECOND FLOOR PLAN**

SHEET NO.  
**A-5**

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## SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

2  
A-6

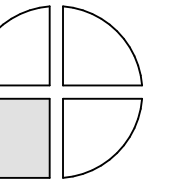


## WEST ELEVATION

SCALE: 1/4" = 1'-0"

1  
A-6

HDC: 06-05-2017



**FINNICUM  
BROWNIE  
ARCHITECTS**

25885 German Mill Rd.  
FRANKLIN, MI 48025  
248 851 5022

PROJECT:  
**ANGLERI RESIDENCE**  
607 S. BATES STREET  
BIRMINGHAM, MI

TITLE:  
**PROPOSED ELEVATIONS**

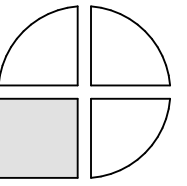
SHEET NO.

**A-6**

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HDC: 06-05-2017



**FINNICUM  
BROWNIE  
ARCHITECTS**

25885 German Mill Rd.  
FRANKLIN, MI 48025  
248 851 5022

PROJECT:  
**ANGLERI RESIDENCE**  
607 S. BATES STREET  
BIRMINGHAM, MI

TITLE:  
**PROPOSED ELEVATIONS**

SHEET NO.

**A-7**



SW 7068  
Grizzle Gray

236-C6

SW 7004  
Snowbound

256-C2

MOCHA  
507

SW 7075  
Web Gray

235-C6

SW 6778  
Aviary Blue

166-C1

SW 6993  
Black of Night

251-C5



## MEMORANDUM

Planning Division

**DATE:** June 16, 2017

**TO:** Historic District Commission

**FROM:** Nicholas Dupuis

**SUBJECT:** Final Historic Design Review – 298 S. Old Woodward – Boutique Hotel

---

**Zoning:** B-4/D-4

**Existing Use:** Vacant Commercial

### Proposal

This non-contributing resource located in the central business district historic district is located at the corner of S. Old Woodward and Brown St, the address is 298 S. Old Woodward. The property consists of one vacant single story commercial building and a surface parking lot. The applicant is proposing to demolish the existing structure and parking lot to replace it with a 5 story Boutique Hotel and residential units. The applicant is seeking design review approval from the HDC regarding the proposal to demolish and develop the property. The design review application for the HDC was received on June 6<sup>th</sup>, 2017.

The property and building upon the property are non-contributing resources, but are located in the Central Business District Historic District. Because it is located in this district, the Historic District Commission is being asked to review the design of the development and its adherence to the historical character of the other areas in the district in regards to massing scale and design.

### Design

The applicant is proposing to construct a five story mixed use commercial building with two levels of underground parking. Levels 1-4 will be a restaurant and hotel, and the fifth floor is to be residential. The development adheres to the building standards envisioned in the Downtown Birmingham 2016 plan as it is designed with an attractive façade, is built to the property line, and has a pedestrian scale featuring coated metal canopies, extensive window glazing and tasteful streetscape landscaping.

#### *East (Front) Elevation*

The east elevation along S. Old Woodward is home to the hotel entrance, general entrance and the underground parking exit. The plan for the front facade shows a granite base and limestone cladding being the principle façade elements. The limestone is grey ("Madison Café" from Quarrastone), the granite base will be dark grey ("Wisp Granite" from Quarrastone), and the painted aluminum metal panels, window frames and metal screening will be Ascher Bronze. Some other features on the façade are an aluminum window system and the use of coated metal on window surrounds, coping along the roofline, and some cladding for the staircases. An interesting feature visible along the east elevation (front façade) is an inset at around 22' above grade with

aluminum and glass skylights over the hotel lobby. The plans depict a pyramidal shape with a green roof surrounding them. The residential fifth floor is recessed and the mechanical units on the roof are screened with coated metal.

#### ***West (Rear) Elevation***

The building materials along the west elevation are consistent with those described for the east elevation. The rear of the building will directly abut the parking lot of the adjoining property. There is one entrance for the staff on the rear accessible from the via on the north side of the property. A design element unique to the rear of the building are coated aluminum louver assemblies.

#### ***South (Side) Elevation***

There will be no change in building material on the south elevation. The south elevation fronts Brown Street, and the loading entry and underground parking entry are present on the western most side of this elevation. Proper window glazing is present, and the ground level plans show another entrance to the restaurant on this side.

#### ***North (Side) Elevation***

Lastly, the north elevation fronts a new via that will be used for the development. The via contains landscaping and will be paved with stone pavers. Building materials on this elevation again are consistent with the rest of the building. There is one centrally located entrance/exit that will be used for the wine bar.

### **Sec. 127-11. Design review standards and guidelines.**

1. (a) In reviewing plans, the commission shall follow the U.S. secretary of the interior's standards for rehabilitation and guidelines for rehabilitating historic buildings as set forth in 36 C.F.R. part 67. Design review standards and guidelines that address special design characteristics of historic districts administered by the commission may be followed if they are equivalent in guidance to the secretary of interior's standards and guidelines and are established or approved by the state historic preservation office of the Michigan Historical Center.
- (b) In reviewing plans, the commission shall also consider all of the following:
  - (1) The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area.
  - (2) The relationship of any architectural features of the resource to the rest of the resource and to the surrounding area.
  - (3) The general compatibility of the design, arrangement, texture, and materials proposed to be used.
  - (4) Other factors, such as aesthetic value, that the commission finds relevant.

### **RECOMMENDATION**

The Planning Division recommends that the Commission issue a Certificate of Approval for the design review application for 298 S. Old Woodward



The work meets The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, standard number 9, "New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, scale, and architectural features to protect the historic integrity of the property and its environment."

## **"THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION AND GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS"**

---

The U. S. secretary of the interior standards for rehabilitation are as follows:

- (1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- (3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- (4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- (5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
- (6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- (7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
- (8) Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**Notice To Proceed**

I move the Commission issue a Notice to Proceed for number \_\_\_\_\_. The work is not appropriate, however the following condition prevails: \_\_\_\_\_ and the proposed application will materially correct the condition.

**Choose from one of these conditions:**

- a) The resource constitutes hazard to the safety of the public or the structure's occupants.
- b) The resource is a deterrent to a major improvement program that will be of substantial benefit to the community and the applicant proposing the work has obtained all necessary planning and zoning approvals, financing, and environmental clearances.
- c) Retaining the resource will cause undue financial hardship to the owner when a governmental action, an act of God, or other events beyond the owner's control created the hardship, and all feasible alternatives to eliminate the financial hardship, which may include offering the resource for sale at its fair market value or moving the resource to a vacant site within the historic district. have been attempted and exhausted by the owner.
- d) Retaining the resource is not in the best of the majority of the community.

**BIRMINGHAM BOUTIQUE HOTEL**  
**298 S OLD WOODWARD AVE**  
**BIRMINGHAM, MI 48009**

**DESIGN REVIEW APPLICATION**  
**HISTORIC DISTRICT COMMISSION**  
06-12-2017

**PROJECT INFORMATION**

**PROJECT NUMBER**  
1623.00

**ADDRESS**  
298 S Old Woodward Ave  
Birmingham, MI 48009

**CONTACTS**  
**LORIENT CAPITAL LLC**  
David Berman & Mark Mitchell  
102 Pierce Street  
Birmingham, MI 48009  
david@lorientcap.com / mark@lorientcap.com

**TYNANGROUP, INC.**  
Steve Morris & John P. Tynan  
760 N. Frontage Road, Suite 101  
Willowbrook, IL 60527  
smorris@tynangroup.com / jytнан@tynangroup.com

**APARIUM**  
Mario Tricoci & Michael Kitchen  
833 W Washington Blvd, 2nd Floor  
Chicago, IL 60607  
mario@aparium.com / michael@aparium.com

**TEAM**  
  
Larry Booth , BOOTH HANSEN  
lbooth@boothhansen.com  
  
Charlie Stetson, BOOTH HANSEN  
cstetson@boothhansen.com  
  
Scott Cyphers, BOOTH HANSEN  
scyphers@boothhansen.com







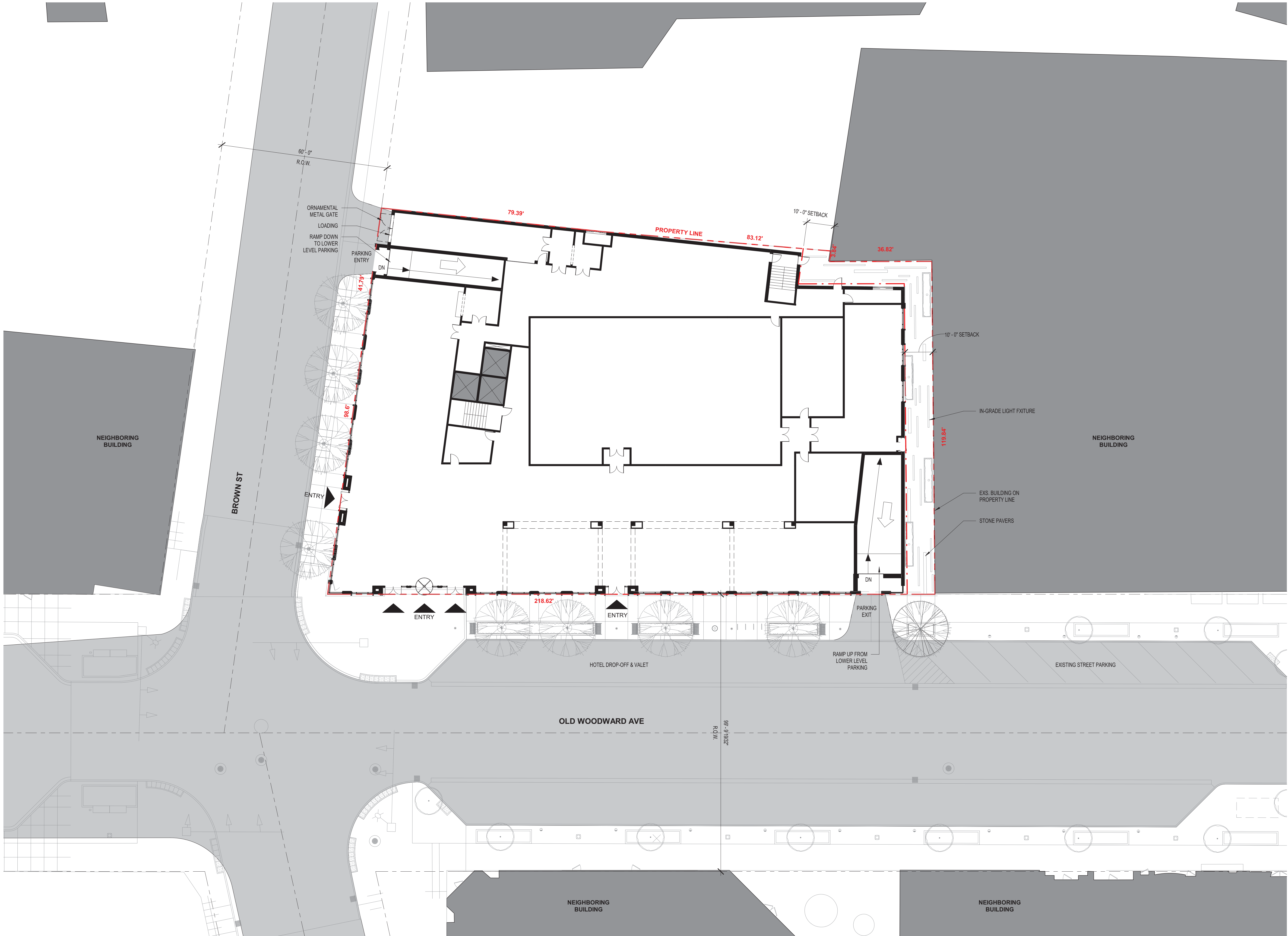




SCALE: NTS

## GROUND LEVEL SITE PLAN





BOOTH HANSEN

Architecture Interiors Planning  
333 South Des Plaines Street  
Chicago, Illinois 60661

PROJECT NUMBER 1623

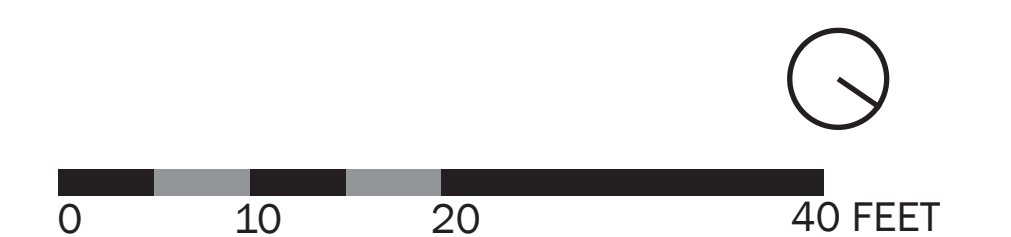
Birmingham Hotel

298 S Old Woodward Ave.  
Birmingham, MI 48009

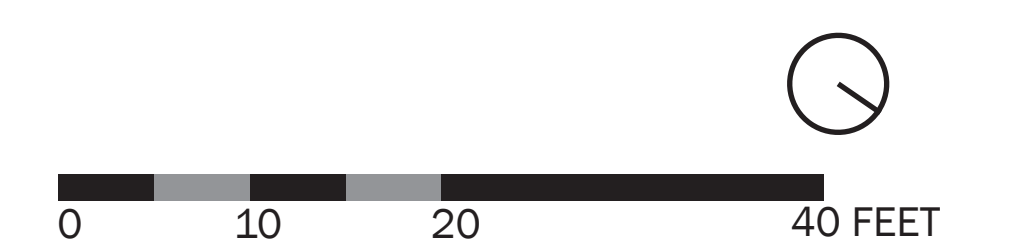
SITE PLAN

100



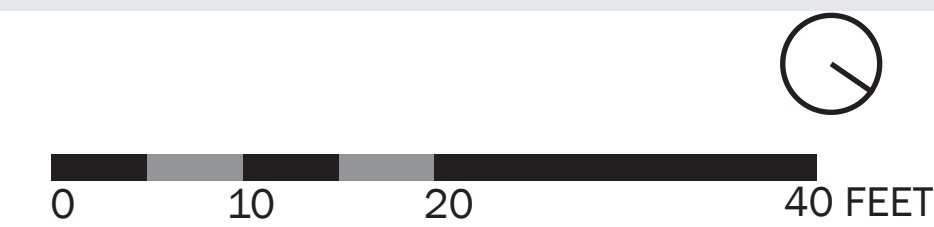


LOWER LEVEL 2 PLAN

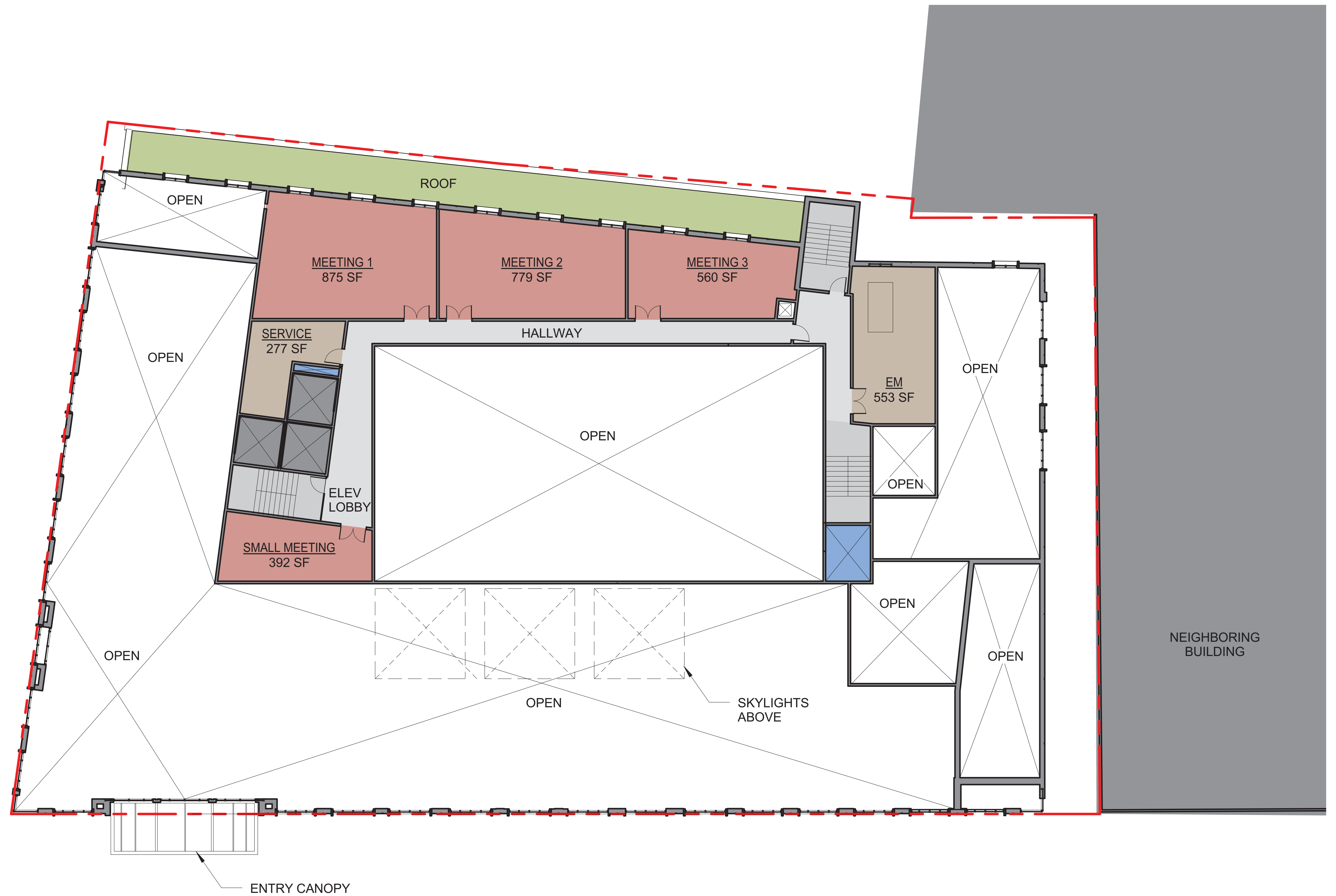


LOWER LEVEL 1 PLAN

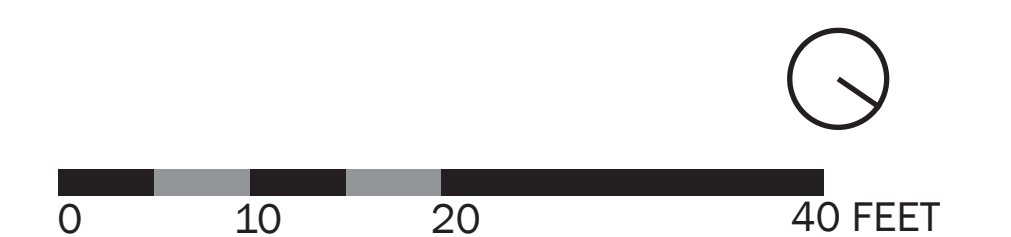




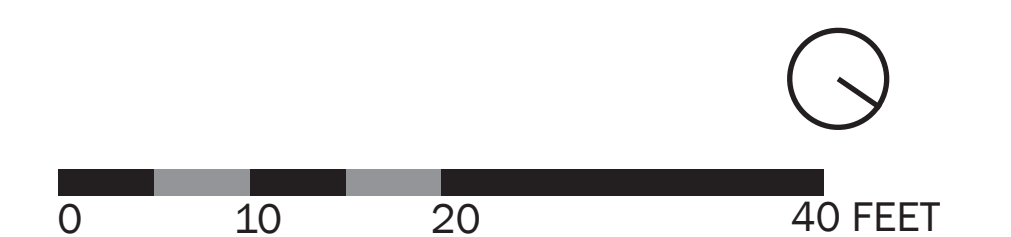
GROUND LEVEL PLAN







SECOND LEVEL PLAN

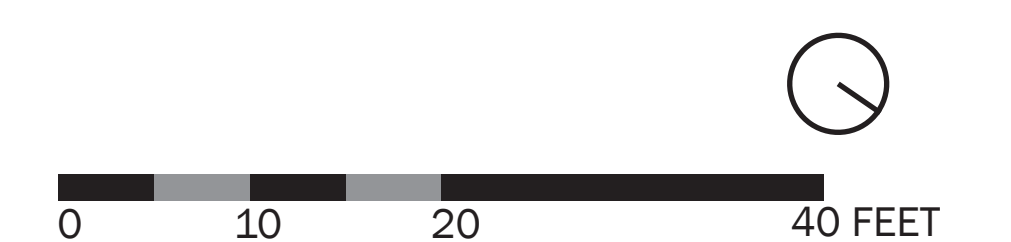


THIRD - FOURTH LEVEL PLAN

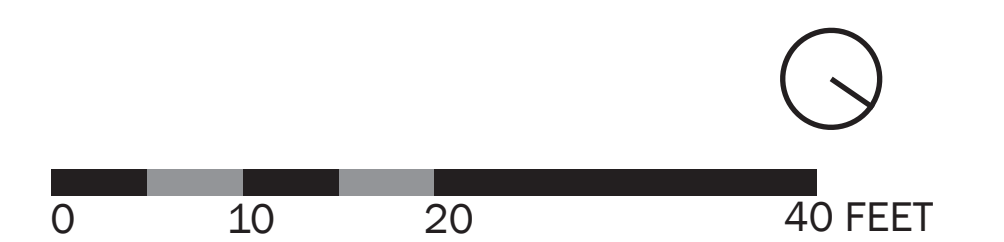
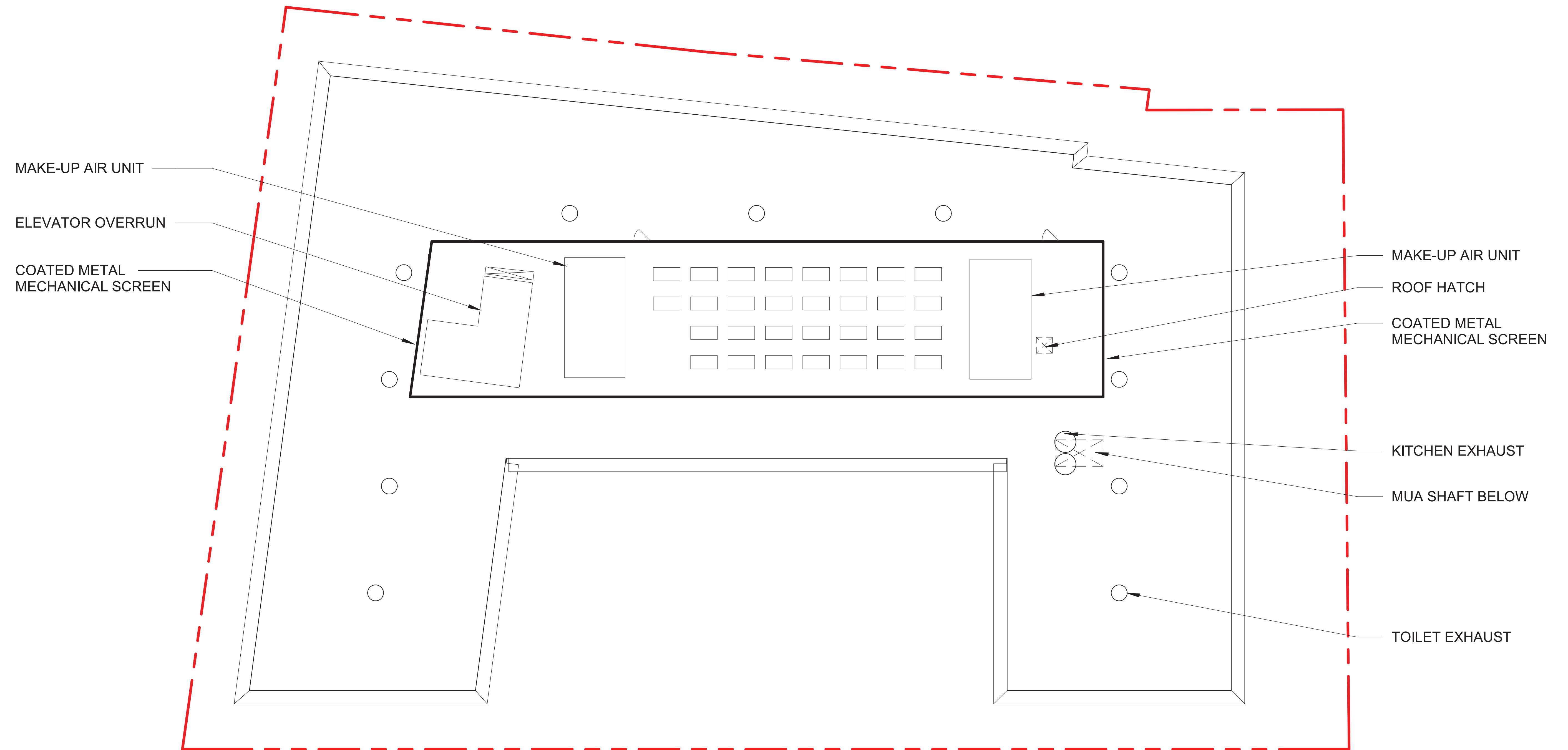




ROOM KEY COUNT	
SECOND LEVEL:	42 KEYS
THIRD LEVEL:	42 KEYS
FOURTH LEVEL:	42 KEYS
FIFTH LEVEL:	17 KEY
TOTAL	143 KEYS

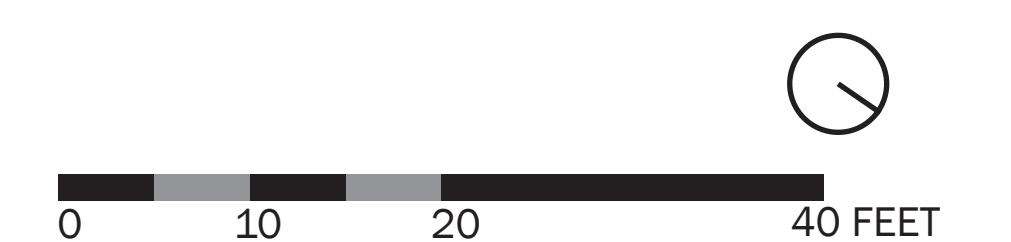
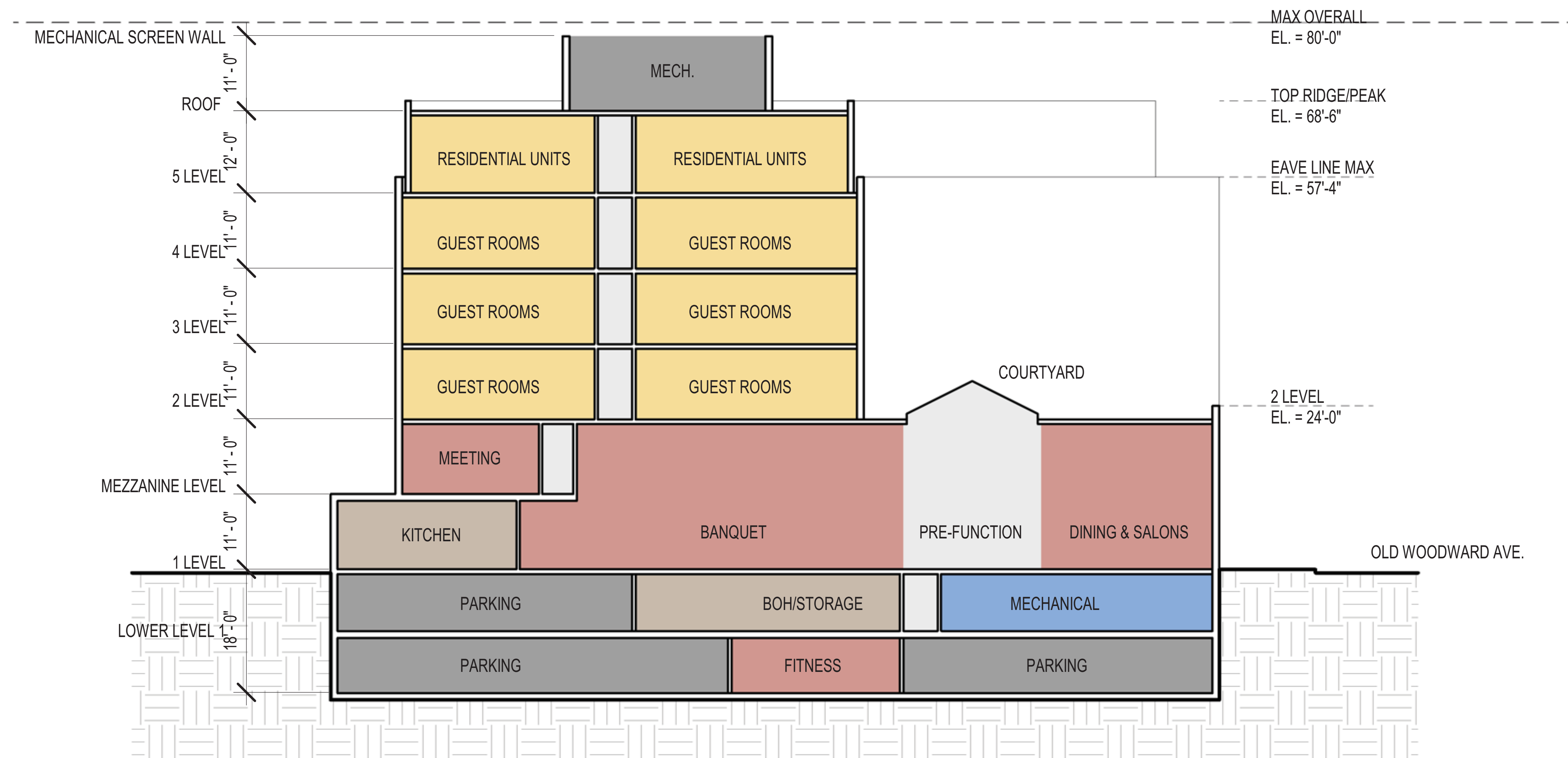


FIFTH LEVEL PLAN



ROOF LEVEL PLAN





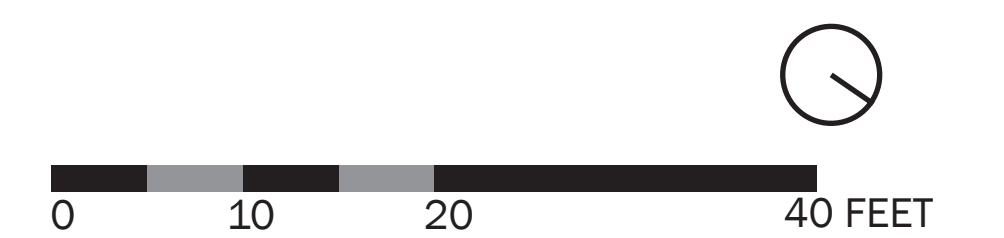
BUILDING SECTION



**GLAZING REQUIREMENTS:**  
East Elevation (Old Woodward):

**GROUND LEVEL (70% MIN)**  
greater than 70% glazing

**ABOVE 8' (35% MAX)**  
less than 35% glazing



**EAST ELEVATION**





**GLAZING REQUIREMENTS:**  
West Elevation (Old Woodward):

**GROUND LEVEL (70% MIN)**  
NA

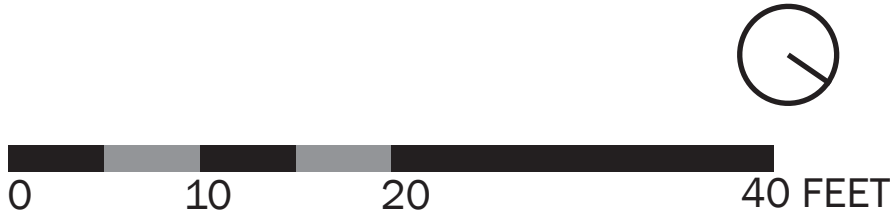
**ABOVE 8' (35% MAX)**  
less than 35% glazing

WEST ELEVATION



**GLAZING REQUIREMENTS:**  
South Elevation (Old Woodward):

	GROUND LEVEL (70% MIN)	ABOVE 8' (35% MAX)
	greater than 70% glazing	less than 35% glazing



SOUTH ELEVATION

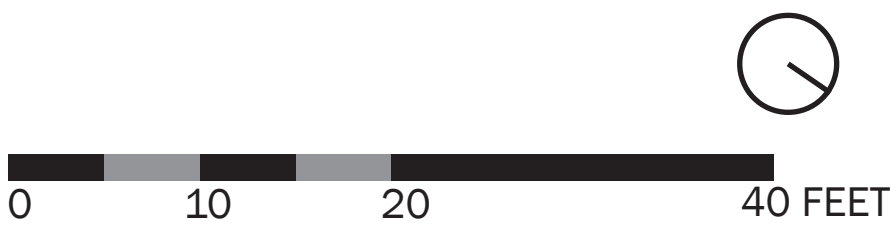




**GLAZING REQUIREMENTS:**  
North Elevation (Old Woodward):

**GROUND LEVEL (70% MIN)**  
NA

**ABOVE 8' (35% MAX)**  
less than 35% glazing



NORTH ELEVATION

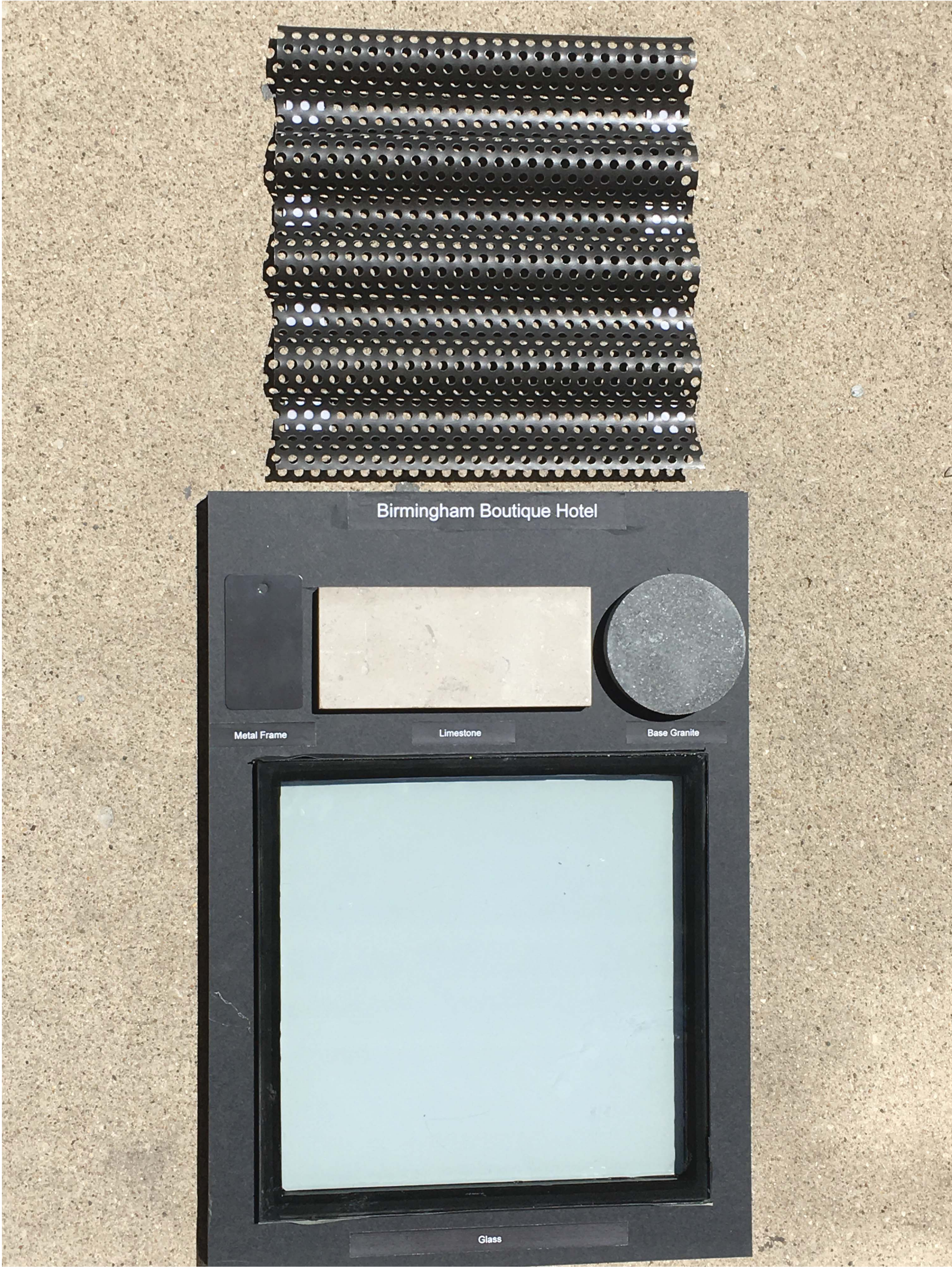














BUILDING MATERIALS







Schedule										
Symbol	Label	QTY	Manufacturer or	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	LLF Wattage
	C	4	BEGA Converted by LUMCat V 21.11.2013 / H.R.		77210 0"	LED 57,4W	1	77210.IES	2869	0.9
	D	11	BEGA Converted by LUMCat V 29.07.2014 / M.S.	55822		LED 4,2W	1	55822.ies	290	0.9

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Streetscape	+	0.7 fc	9.6 fc	0.0 fc	N/A	N/A

NOTES:  
1. TYPE C ON 12" POLES.  
2. TYPE D MOUNTED AT 9'-6" AFF.

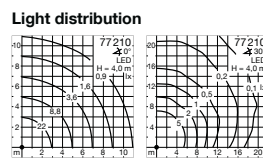
00.00 - Technical amendments reserved

Product data sheet		Pole top luminaire		BEGA	
IP 65		77 210			
Project - Reference number		Date			

**Application**  
Pole-top luminaire with rotationally symmetrical light distribution when the top reflector is adjusted in a horizontal position and asymmetrical when the top reflector is angled.  
A high powerful floodlight is the light source of this luminaire. Absolutely glare-free. The light is directed towards the top reflector and indirectly distributed.  
For lighting of squares and pathways in public and private areas.  
For mounting heights 4000 - 5000 mm.

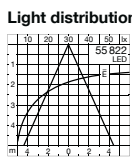
**Product description**  
Luminaire made of aluminum alloy, aluminum and stainless steel  
Clear safety glass  
Shicone gasket  
Reflector made of anodized pure aluminum  
For pole top ø 76 mm  
Slo filter insert depth 100 mm  
Connecting cable 100mH F 3+1  
Cable length 6 m  
LED power supply unit  
220-240 V ~ 50-60 Hz  
DC 176-264 V  
Safety class I  
Protection class IP 65  
Dust-tight and protection against water jets  
Impact strength IK09  
Protection against mechanical impacts < 10 joules  
CE - Safety mark  
CE - Conformity mark  
Wind catching area 0,46 m²  
Weight: 20.0 kg

**Accessories**  
For this luminaire we recommend the following BEGA luminaire poles:  
Cylindrical aluminum poles, lacquered with access door and C-clamp  
**70727** Pole with anch-section H 4000 mm  
**70748** Pole with anch-section H 5000 mm  
**70731** Pole with baseplate H 4000 mm  
**70734** Pole with baseplate H 5000 mm

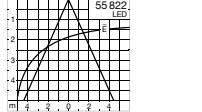


Lamp		Lifetime of the LED	
Module connected wattage	56.1 W	Ambient temperature T <sub>a</sub> = 15 °C	- at 50,000h: L80B10
Luminaire connected wattage	64.5 W	T <sub>a</sub> = 25 °C	- at 100,000h: L70B50
Rated temperature	4000 K	T <sub>a</sub> = 40 °C	- at 130,000h: L70B50
Ambient temperature	4000 K	Ambient temperature T <sub>a</sub> = 25 °C	- at 50,000h: L80B10
		T <sub>a</sub> = 40 °C	- at 100,000h: L70B50
			- at 130,000h: L70B50
77 210		Article No. 77 210	
Module designation	LED-0657/840	Module designation	LED-0657/830
Colour temperature	4000 K	Colour temperature	3000 K
Colour rendering index	R <sub>a</sub> > 80	Colour rendering index	R <sub>a</sub> > 80
Module luminous flux	8320 lm	Module luminous flux	8265 lm
Luminaire luminous flux	3908 lm	Luminaire luminous flux	3870 lm
Luminaire luminous efficiency	62 lm/W	Luminaire luminous efficiency	60 lm/W

FIXTURE TYPE C



Light distribution



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## MEMORANDUM

Planning Division

**DATE:** June 16, 2017

**TO:** Historic District Commission

**FROM:** Sean Campbell, Assistant City Planner

**APPROVED BY:** Jana Ecker, Planning Director

**SUBJECT:** Map and List of Prioritized Potential Sites for Public Art

---

During the April 19, 2017 Public Arts Board (PAB) meeting, the Board reviewed a map and list of potential sites for public art prepared by Planning Staff. The map demonstrated the number of Site and Placement Guidelines each site met. The PAB discussed each location on the map and determined whether each one is of low, medium, or high priority. The map and list were approved with the discussed priority rankings and forwarded to the Parks and Recreation Board for review since many of the proposed sites are within parks or along trails. These materials have been attached for reference.

On May 2, 2017, Planning Staff presented a report to the Parks and Recreation Board explaining the procedure taken to identify the potential locations, the resulting maps and lists, and the Public Arts Board's prioritizations. While Parks and Recreation had no specific concerns over any of the proposed public art sites and had endorsed the concept of having pre-approved locations, they stipulated that any sculptures proposed within public parks would require their review and approval. The Parks and Recreation Board formally voted to accept the map of locations with aforementioned condition.

Additionally, upon reviewing the City's historic overlay map, Staff found that six proposed sites are located within Mill Pond Historic District. Of the six sites, three are low priority, two are medium priority, and one is high priority. The Historic District Commission must review and approve any sites the Board recommends for public art installations. Please see attached map of proposed public art sites located in the Mill Pond Historic District.

### **SUGGESTED RECOMMENDATION:**

Motion to approve the map and list of prioritized potential public art site locations within the Mill Pond Historic District.

**OR**

Motion to approve the map and list of prioritized potential public art site locations within the Mill Pond Historic District with the changes as noted:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

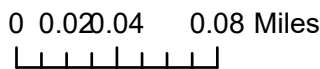


Prioritized Site Locations for  
Public Art Within Mill Pond  
Historic District

**Priority**

- High
- Low
- Medium

Mill Pond Historic District









# Potential Public Art Site Locations

## 1. Millrace Park along Quarton Lake Trail

Guideline 1: N

Guideline 2: N

Guideline 3: Y

Guideline 4: Y

Guideline 5: N

Guideline 6: Y

Additional comments: Hill is on a slope, limiting view



## 2. Quarton Lake Park #1

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:





### 3. Quarton Lake Park #2

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:



### 4. Booth Park along Booth Park Trail

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:





## 5. Poppleton Park @ Woodward Ave. & Madison St.

Guideline 1: Y

Guideline 2: N

Guideline 3: N

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:



## 6. Triangular open space in Barnum Park

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:





## **7. Howarth Park near Emmons Ave. Entrance**

Guideline 1: Y

Guideline 2: Y

Guideline 3: N

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:



## **8. Courtyard at City tennis courts**

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:





### 9. Derby back entranceway @ Cambridge

Guideline 1: N

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:



### 10. Derby Well Site #1

Guideline 1: Y

Guideline 2: Y

Guideline 3: N

Guideline 4: Y

Guideline 5: N

Guideline 6: Y

Additional comments: Existing evergreen tree might compete obstruct



or



### 11. Quarton Lake Park #3

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: N

Guideline 5: Y

Guideline 6: Y

Additional comments:



### 12. Linden Park trailhead @ Shirley

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:





### 13. Along bend in Linden Park Trail

Guideline 1: Y

Guideline 2: N

Guideline 3: N

Guideline 4: Y

Guideline 5: N

Guideline 6: Y

Additional comments:



### 14. Linn Smith Park close to Southfield Rd.

Guideline 1: N

Guideline 2: N

Guideline 3: Y

Guideline 4: N

Guideline 5: Y

Guideline 6: Y

Additional comments:





### 15. Linn Smith Park near Rouge River

Guideline 1: N

Guideline 2: N

Guideline 3: Y

Guideline 4: N

Guideline 5: Y

Guideline 6: Y

Additional comments:



### 16. Fairway Trail trailhead

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:





## 17. Along Fairway Trail

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: N

Guideline 6: Y

Additional comments: Standing water. Possible floodplain hazard



## 18. Fairway Trail access point at W. Lincoln

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:





**19. Pembroke Park @ N. Eton and Windmere**

Guideline 1: Y

Guideline 2: Y

Guideline 3: N

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments: Play structure nearby



**20. Crestview Park facing Southfield and Norfolk**

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:





## 21. Crestview Park @ Southfield and Southlawn

Guideline 1: Y

Guideline 2: N

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments: Existing tree and telephone pole may obstruct view



## 22. Open space along W. Maple

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:





**23. Open space at east side of Park St. parking deck**

Guideline 1: Y

Guideline 2: N

Guideline 3: Y

Guideline 4: N

Guideline 5: Y

Guideline 6: Y

Additional comments:



**24. Street planter @ Maple Rd. & Chester St.**

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: N

Guideline 6: Y

Additional comments:





**25. Edison Passageway open space within recessed wall**

Guideline 1: N

Guideline 2: Y

Guideline 3: N

Guideline 4: Y

Guideline 5: N

Guideline 6: N

Additional comments:



**26. Edison Passageway in open space**

Guideline 1: N

Guideline 2: N

Guideline 3: N

Guideline 4: N

Guideline 5: N

Guideline 6: N

Additional comments:





## **27. Social Passageway terminating vista**

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: N

Guideline 5: Y

Guideline 6: Y

Additional comments: 2D wall art only



## **28. Clark Hill Passageway terminating vista 2**

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: N

Additional comments: Limited space, possibly 2D wall art only





### 29. Clark Hill Passageway terminating vista

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: N

Additional comments: Limited  
space, possibly 2D wall art only



### 30. Median at Worth and Woodward

Guideline 1: Y

Guideline 2: N

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments:





### 31. Right-of-way at Adams and Woodward

Guideline 1: Y

Guideline 2: N

Guideline 3: N

Guideline 4: Y

Guideline 5: N

Guideline 6: Y

Additional comments: Not a flat, level surface.



### 32. Manor Park entrance

Guideline 1: N

Guideline 2: Y

Guideline 3: N

Guideline 4: N

Guideline 5: Y

Guideline 6: Y

Additional comments: Manor nature preserve sign and trees may obstruct.





### 33. Linden Park Trail near river

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: N

Guideline 5: Y

Guideline 6: Y

Additional comments: Identified in the field



### 34. Quarton Lake #4

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments: Identified in the field





### 35. Edison Passageway - east side

Guideline 1: Y

Guideline 2: Y

Guideline 3: N

Guideline 4: Y

Guideline 5: Y

Guideline 6: N

Additional comments: Identified in the field



### 36. Derby Well Site #2

Guideline 1: Y

Guideline 2: Y

Guideline 3: Y

Guideline 4: Y

Guideline 5: Y

Guideline 6: Y

Additional comments: Identified in the field







Cultural Council of Birmingham Bloomfield  
P.O. Box 465 Birmingham, MI. 48012

## **ART IN PUBLIC SPACES SITE AND PLACEMENT GUIDELINES**

To ensure the thoughtful placement of sculptures in the City of Birmingham and to further the City's vision to enhance public spaces, the Public Arts Board provides the following guidelines:

- Art should be located in a site where it will effectively enhance and activate the pedestrian and streetscape experience;
- Art should be sited where it will create a place of congregation or in a location that experiences high levels of pedestrian traffic;
- Art should be placed in a site where it is not overwhelmed by nor competing with the scale of the site or adjacent architecture, large retail signage, billboards, etc.;
- Art should be sited so as to be either immediately visible or in a location where it will be visible by the most people;
- Art should not be placed in a given site if the landscaping and maintenance requirements of that site cannot be met; and
- Artwork should not block windows or entranceways, nor obstruct normal pedestrian circulation in and out of a building (unless such alteration is specifically a part of the experience or design of the artwork).





# Administrative Approval Application / Planning Division

Form will not be processed until it is completely filled out

## 1. Applicant

Name: BRIAN NAJOR  
 Address: 600 N OLD WOODWARD  
BIRMINGHAM, MI 48009  
 Phone Number: 248 4337000  
 Fax Number: \_\_\_\_\_  
 Email: BRIAN@NAJORCOMPANIES.COM

## Property Owner

Name: SAME  
 Address: \_\_\_\_\_  
 Phone Number: \_\_\_\_\_  
 Fax Number: \_\_\_\_\_  
 Email: \_\_\_\_\_

## 2. Applicant's Attorney/Contact Person

Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone Number: \_\_\_\_\_  
 Fax Number: \_\_\_\_\_  
 Email: \_\_\_\_\_

## Project Designer

Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone Number: \_\_\_\_\_  
 Fax Number: \_\_\_\_\_  
 Email: \_\_\_\_\_

## 3. Project Information

Address/Location of Property: 101 N OLD WOODWARD  
 Name of Development: \_\_\_\_\_  
 Parcel ID #: \_\_\_\_\_  
 Current Use: RETAIL AND OFFICE  
 Area in Acres: \_\_\_\_\_  
 Current Zoning: \_\_\_\_\_

Name of Historic District site is in, if any: \_\_\_\_\_  
 Date of HDC Approval, if any: \_\_\_\_\_  
 Date of Application for Preliminary Site Plan: \_\_\_\_\_  
 Date of Preliminary Site Plan Approval: \_\_\_\_\_  
 Date of Application for Final Site Plan: \_\_\_\_\_  
 Date of Final Site Plan Approval: \_\_\_\_\_  
 Date of Revised Final Site Plan Approval: \_\_\_\_\_

## 4. Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Six (6) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations

## 5. Details of the Request for Administrative Approval

REMOVE EXISTING ROOFING, INSTALL NEW EPDM RUBBER ROOF,  
FULLY ADHERED, REMOVE AND RE-INSTALL EXISTING SKYLIGHTS  
REPLACE SOME OF SKYLIGHTS IN LIKE KIND. REMOVE ONE  
CONDENSING UNIT AND RE-INSTALL WITH NEW UNIT IN LIKE KIND  
IN SAME LOCATION

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: BRIAN NAJOR Date: 4/11/17

APPROVED

Application #: <u>17-0033</u>	Office Use Only Date Received: <u>4/11/17</u>	Fee: <u>\$ 100.</u>
Date of Approval: <u>4/13/17</u>	Date of Denial: _____	Reviewed by: <u>M.B.H.</u>





## ADMINISTRATIVE APPROVAL APPLICATION CHECKLIST – PLANNING DIVISION

Applicant: BRIAN NAJOT, MONDIAL PROPERTIES Date: APRIL 11, 2017

Address: 101 N. OLD WOODWARD Project: STARBUCKS RESERVE

All site plans and elevation drawings prepared for administrative approval shall be prepared in accordance with the following specifications and other applicable requirements of the City of Birmingham. If more than one page is used, each page shall be numbered sequentially. All plans must be legible and of sufficient quality to provide for quality reproduction or recording.

### Administrative Approval of Design Changes

- ☐ 1. Name and address of applicant and proof of ownership;
- ☐ 2. Name of Development (if applicable);
- ☐ 3. Address of site and legal description of the real estate;
- ☐ 4. A separate location map;
- ☐ 5. Legend and notes, including a graphic scale, north point, and date;
- ☐ 6. A list of all requested design changes;
- ☐ 7. Elevation drawings with all requested design changes marked in color;
- ☐ 9. A list of all new materials to be used, including size specifications, color and the name of the manufacturer.

### Administrative Approval of Site Plan Changes

A full site plan detailing the proposed changes for which administrative approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- ☐ 1. Name and address of applicant and proof of ownership;
- ☐ 2. Name of Development (if applicable);
- ☐ 3. Address of site and legal description of the real estate;
- ☐ 4. Name and address of the land surveyor;
- ☐ 5. Legend and notes, including a graphic scale, north point, and date;
- ☐ 6. A separate location map;
- ☐ 7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land;
- ☐ 8. A list of all requested changes to the site plan;
- ☐ 9. All changes requested marked in color on the site plan and on all elevations of any building(s);
- ☐ 10. A chart indicating the dates of approval of the Preliminary Site Plan, Final Site Plan; Revised Final Site Plans, and any dates of approval by the Historic District Committee ("HDC");
- ☐ 11. Existing and proposed layout of streets, open space and other basic elements of the plan;
- ☐ 12. Existing and proposed easements and their purpose;



## Administrative Sign Approval Application

### Planning Division

*Form will not be processed until it is completely filled out*

#### 1. Applicant

Name: SignArt, Inc.  
Address: 5757 E. Cork Street  
Kalamazoo, MI 49048  
Phone Number: 269-381-3012  
Fax Number: 269-381-0999  
Email: mconroy@signartinc.com

#### Property Owner

Name: JVS Culinary group, LLC  
Address: 87 W Auburn Road  
Phone Number: 702-858-7772  
Fax Number: \_\_\_\_\_  
Email: \_\_\_\_\_

#### 2. Applicant's Attorney/Contact Person

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email: \_\_\_\_\_

#### Project Designer

Name: SignArt, Inc.  
Address: 5757 E Cork Street  
Kalamazoo, MI 49048  
Phone Number: 269-381-3012  
Fax Number: \_\_\_\_\_  
Email: mconroy@signartinc.com

#### 3. Project Information

Address/Location of Property: 176 South Old Woodward Ave.  
Birmingham, MI 48009  
Name of Development: Mediterranean Street Food  
Parcel ID #: \_\_\_\_\_  
Current Use: \_\_\_\_\_  
Area in Acres: \_\_\_\_\_  
Current Zoning: B-4 (Business-Residential)

Name of Historic District site is in, if any: \_\_\_\_\_  
Date of HDC Approval, if any: \_\_\_\_\_  
Date of Application for Preliminary Site Plan: \_\_\_\_\_  
Date of Preliminary Site Plan Approval: \_\_\_\_\_  
Date of Application for Final Site Plan: \_\_\_\_\_  
Date of Final Site Plan Approval: \_\_\_\_\_  
Date of Revised Final Site Plan Approval: \_\_\_\_\_

#### 4. Attachments

- Two (2) folded paper copies of plans
- Authorization from Owner(s) (if applicant is not owner)
- Material Samples
- Digital Copy of plans

#### 5. Details of the Request for Administrative Approval

Installation of reverse -illuminated channel letters mounted to existing masonry.

#### 6. Location of Proposed Signs

North-West face of building.

#### 7. Type of Sign(s)

Wall: One (1) Wall sign  
Ground: \_\_\_\_\_  
Projecting: \_\_\_\_\_

Canopy: \_\_\_\_\_  
Building Name: \_\_\_\_\_  
Post-mounted Projecting: \_\_\_\_\_

*Sending fees*

*6/100*



**8. If a wall sign, indicate wall to be used:**

Front: Front Side of the Building  
Left side: \_\_\_\_\_

Rear: \_\_\_\_\_  
Right side: \_\_\_\_\_

**9. Size of Sign**

Width: Logo: 3' 0" Copy: 15' 2-5/8"  
Depth: 3"  
Height of lettering: Copy: 1' 4"

Height: Logo: 3' 0"  
Total square feet: 29.29 Sq. Ft.

**10. Existing signs currently located on property**

Number: \_\_\_\_\_  
Square feet per sign: \_\_\_\_\_

Type(s): \_\_\_\_\_  
Total square feet: \_\_\_\_\_

**11. Materials/Style**

Metal: .100 Aluminum  
Plastic: .250 Polycarbonate  
Color 1 (including PMS color #): #152 Orange  
Additional colors (including PMS color #): White and Black

Wood: \_\_\_\_\_  
Glass: \_\_\_\_\_  
Color 2 (including PMS color #): #376 Green

**12. Sign(s) Read(s):** Logo: "Mediterranean Street Food 29 N 41 E"  
Sign: "Mediterranean Street Food"

**13. Sign Lighting**

Type of lighting proposed: Reverse Lighting  
Size of light fixtures (LxWxH): \_\_\_\_\_

Number proposed: \_\_\_\_\_  
Height from grade: 12' 0" +/-

Maximum wattage per fixture: \_\_\_\_\_  
Location: Inside sign

Proposed wattage per fixture: 2.4 Watts/Foot  
Style (include specifications): Connected LED Modules

**14. Landscaping (Ground signs only)**

Location of landscape areas: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Proposed landscape material: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: [Signature]

Date: 04.26.17

Application #: 17-0038

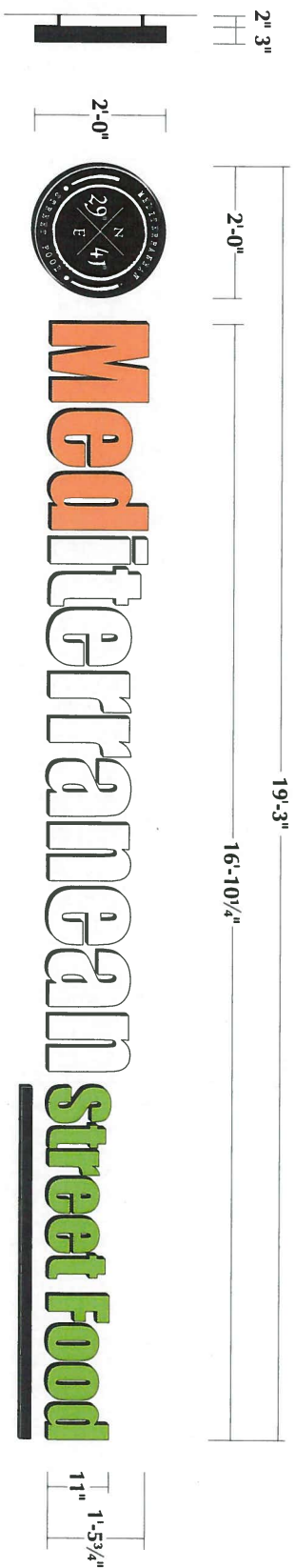
Office Use Only  
Date Received: 4/26/17

Fee: \$100

Date of Approval: 5/1/17

Date of Denial: \_\_\_\_\_

Reviewed by: M.B.L.

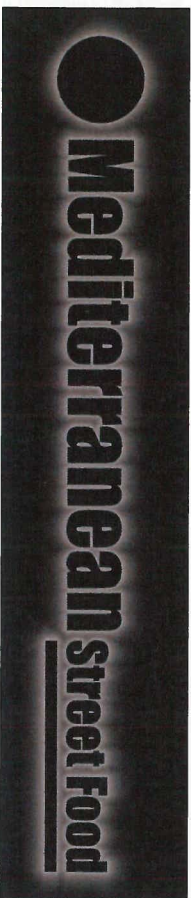


**Sign #1 — Reverse Illuminated Channel Letters**

**Scale: 3/8" = 1'-0"**

Custom fabricated 3" deep, reverse illuminated channel letters with .100 aluminum faces and welded .080 aluminum returns painted GripGard EFX semi-gloss to match PMS #152 orange, #376 green, white and black. Insides of letters to be painted with AKZO bright white reflective finish with clear .250 polycarbonate "bird cage" letters backs overlaid with diffuser vinyl. Letters are silhouette lit using white LED system powered by low voltage power supplies.

**Note:** Channel letters are to be stud mounted off 2" of the building facade. Logo has been modified for production purposes.



**Night View**

Square Footage	
Logo	2'-0" x 2'-0" = 4.00 Sq. Ft.
Copy	1'-5 3/4" x 16'-10 1/4" = 24.93 Sq. Ft.
<b>Total</b>	<b>= 28.93 Sq. Ft.</b>

**APPROVED**  
*M. B. L.* 5/1/17  
 17-0038 HDT

**Mediterranean Street Food — 176 S. Old Woodward Ave. Birmingham, MI 48009**

Lead #MC-3453

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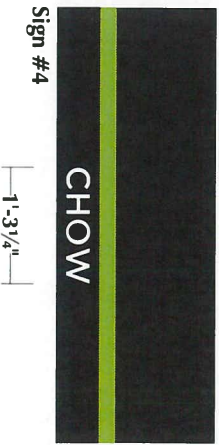
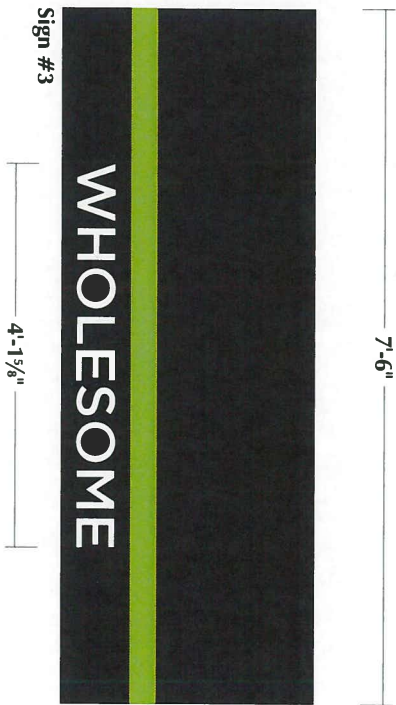
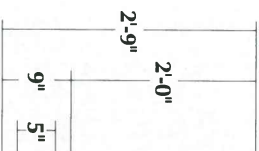
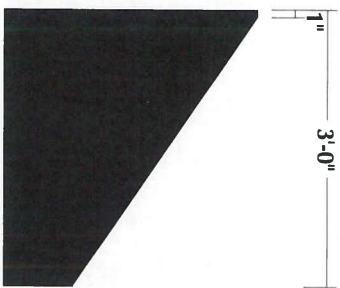
**KS**

**4-28-17js** Approved for:

By:

Date:





**Signs #2 – #4 — Canopy (Qty. 3)**

1" x 1" Aluminum tube frame covered with Sunbrella awning material. Exact construction to be verified prior to production. Green strip to match PMS #376 as closely as possible.

**Scale: 1/2" = 1'-0"**

Square Footage	
WHOLE SOME	5" x 4'-1 1/2" = 1.72 Sq.Ft.
HONEST	5" x 2'-6 3/4" = 1.07 Sq.Ft.
CHOW	5" x 2'-1/2" = 0.85 Sq.Ft.
Total = 3.64 Sq.Ft.	

Mediterranean Street Food — 176 S. Old Woodward Ave. Birmingham, MI 48009

Lead #MC-3453

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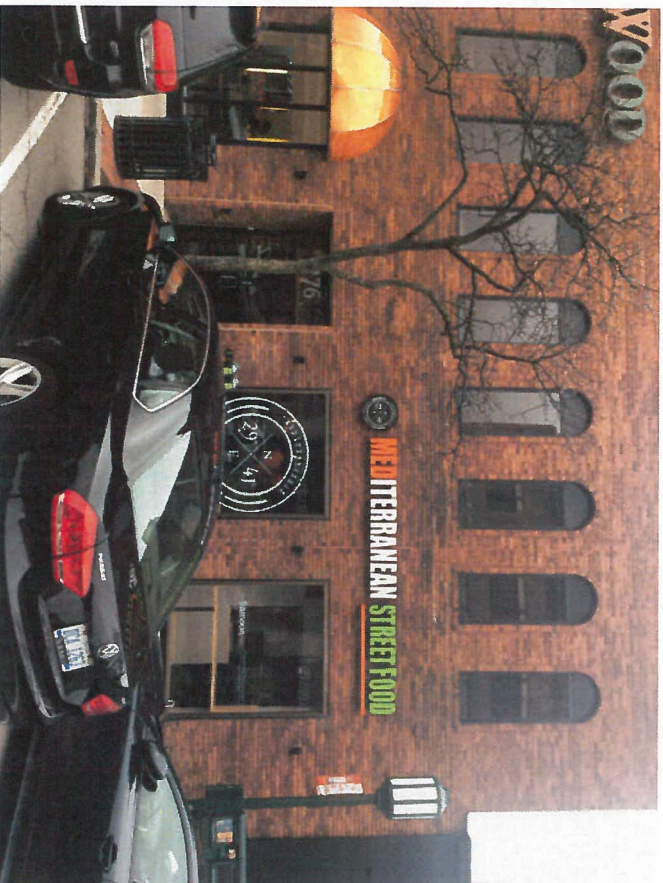
KS

4-28-17js Approved for:

By:

Date:

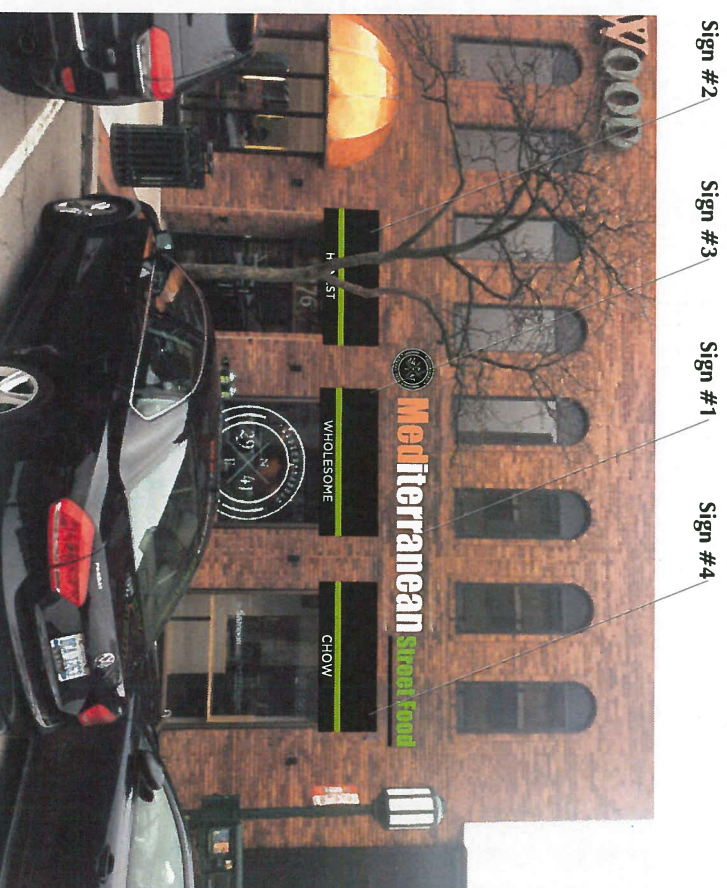
33'-0"



Existing Elevation

Scale: None

33'-0"



Proposed Elevation

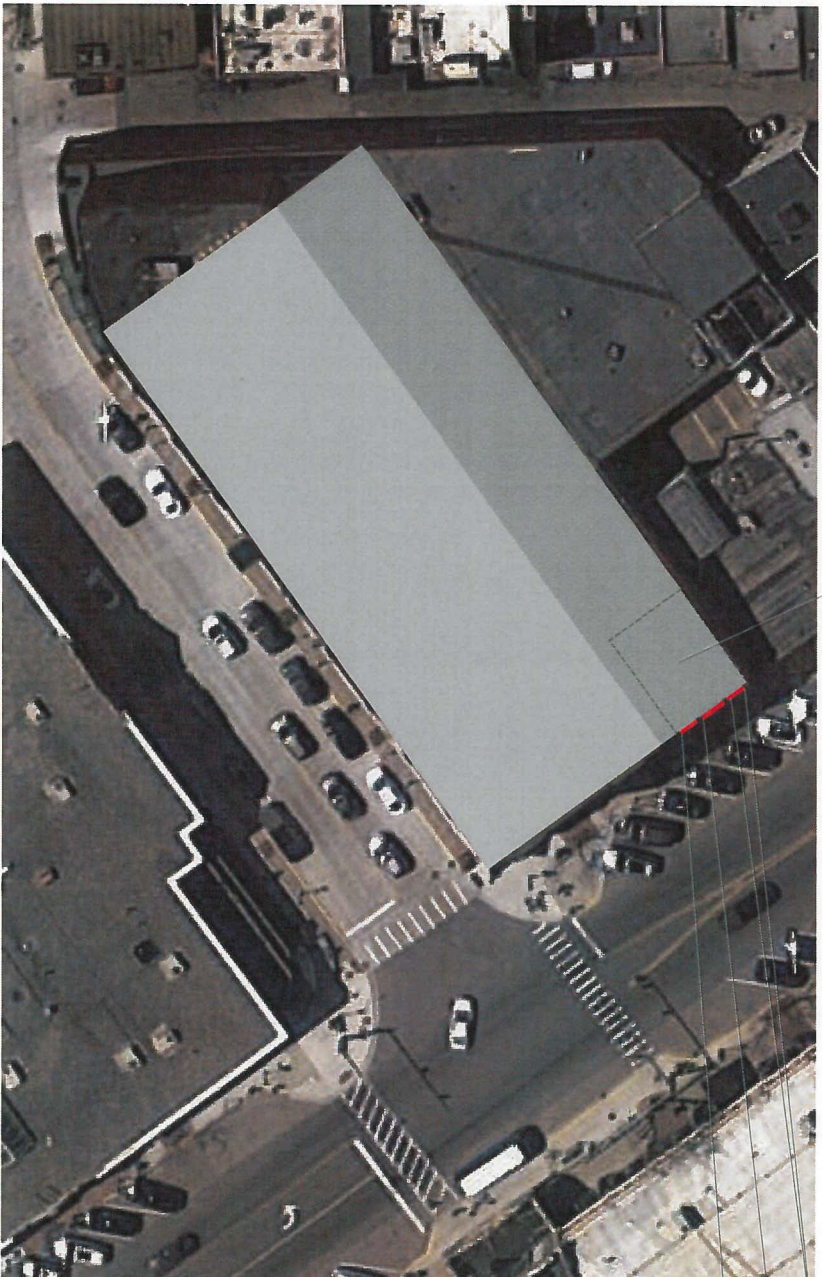
Scale: None

Mediterranean Street Food — 176 S. Old Woodward Ave. Birmingham, MI 48009

Lead #MC-3453

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Mediterranean  
Street Food

Sign #1 & #4

Sign #3

Sign #2

Site Plan

Scale: None



Mediterranean Street Food — 176 S. Old Woodward Ave. Birmingham, MI 48009

Lead #MC-3453

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KS

4-28-17js

Approved for:

By:

Date:



## Administrative Approval Application Planning Division

Form will not be processed until it is completely filled out

### 1. Applicant

Name: POE RESTORATION  
Address: 13401 CLOVERDALE  
CAR PARK, MI 48237  
Phone Number: 248-360-7788  
Fax Number: 248-360-7140  
Email: LASON@POERESTORATION.COM

### Property Owner

Name: PETER SORRENTIN  
Address: 350 N. OLD WOODWARD, STE 220  
BIRMINGHAM, MI 48007  
Phone Number: 248-933-5200  
Fax Number: \_\_\_\_\_  
Email: \_\_\_\_\_

### 2. Applicant's Attorney/Contact Person

Name: N/A  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email: \_\_\_\_\_

### Project Designer

Name: N/A  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email: \_\_\_\_\_

### 3. Project Information

Address/Location of Property: 148 PIERCE  
Name of Development: LINDAMOOD BELL  
Parcel ID #: 19-36-129-006  
Current Use: \_\_\_\_\_  
Area in Acres: \_\_\_\_\_  
Current Zoning: \_\_\_\_\_

Name of Historic District site is in, if any: \_\_\_\_\_  
Date of HDC Approval, if any: \_\_\_\_\_  
Date of Application for Preliminary Site Plan: \_\_\_\_\_  
Date of Preliminary Site Plan Approval: \_\_\_\_\_  
Date of Application for Final Site Plan: \_\_\_\_\_  
Date of Final Site Plan Approval: \_\_\_\_\_  
Date of Revised Final Site Plan Approval: \_\_\_\_\_

### 4. Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Six (6) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations

### 5. Details of the Request for Administrative Approval

REPLACE EXISTING LIMESTONE BAND BELOW CORNICHE WITH NEW LIMESTONE BAND - ANCHORED W/ NEW STAINLESS STEEL ANCHORS - TO REPLICATE THE ONE BEING REPLACED.

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: [Signature]

Date: 4/14/17

Application #: <u>17-0035</u>	Office Use Only Date Received: <u>4/12/17</u>	Fee: <u>\$100</u>
Date of Approval: <u>4/20/17</u>	Date of Denial: _____	Reviewed by: <u>M.B.L.</u>



APPROVED  
M.B./L 4/13/17  
17-0035 HDC





PRODUCT DATA SHEET



# Stone Anchors

Tying to CMU, concrete, steel or wood

## 'Split Tail' Anchors



### Product Description

#### Dimension:

- ☐ Standard 1/8" thick x 1-1/4" wide x Length to suit with 3/4" Split Tail
- ☐ Stock Lengths: 1-1/2", 2", 2-1/2", 3", 3-1/2", 4", 4-1/2", 5" & 5-1/2"
- ☐ Other thicknesses (3/16", 1/4") and widths available, 1-800-659-4731 or sales@masonpro.com

#### Finishes:

- ☐ Type 304 Stainless Steel – Natural Stone
- ☐ Hot Dip – Precast or Cast Stone
- ☐ Powder Coated Stainless

#### Uses:

- Useful on veneers, composites, coping

#### Advantages:

- Simple and economical to use
- Will not corrode in contact with limestone
- Extremely long life

For technical assistance call us toll free at 1-800-659-4731.

MASONPRO, Inc., 43300 Seven Mile Road • Northville, MI 48167 • 1-800-659-4731 • Fax: 1-248-347-1670  
Visit our website at [www.masonpro.com](http://www.masonpro.com)



## Administrative Approval Application

### Planning Division

Form will not be processed until it is completely filled out

#### 1. Applicant

Name: Central Park Properties  
 Address: 112 Penbody  
 Phone Number: 248-642-0024  
 Fax Number: \_\_\_\_\_  
 Email: \_\_\_\_\_

#### Property Owner

Name: same  
 Address: \_\_\_\_\_  
 Phone Number: \_\_\_\_\_  
 Fax Number: \_\_\_\_\_  
 Email: \_\_\_\_\_

#### 2. Applicant's Attorney/Contact Person

Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone Number: \_\_\_\_\_  
 Fax Number: \_\_\_\_\_  
 Email: \_\_\_\_\_

#### Project Designer

Name: 11  
 Address: \_\_\_\_\_  
 Phone Number: \_\_\_\_\_  
 Fax Number: \_\_\_\_\_  
 Email: \_\_\_\_\_

#### 3. Project Information

Address/Location of Property: 225 Pierce St  
 Name of Development: Same  
 Parcel ID #: \_\_\_\_\_  
 Current Use: \_\_\_\_\_  
 Area in Acres: \_\_\_\_\_  
 Current Zoning: \_\_\_\_\_

Name of Historic District site is in, if any: \_\_\_\_\_  
 Date of HDC Approval, if any: \_\_\_\_\_  
 Date of Application for Preliminary Site Plan: \_\_\_\_\_  
 Date of Preliminary Site Plan Approval: \_\_\_\_\_  
 Date of Application for Final Site Plan: \_\_\_\_\_  
 Date of Final Site Plan Approval: \_\_\_\_\_  
 Date of Revised Final Site Plan Approval: \_\_\_\_\_

#### 4. Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples
- Digital Copy of plans

- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations

#### 5. Details of the Request for Administrative Approval

Replace rotten wood Frame, 2nd Floor, replace with same as existing

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: \_\_\_\_\_

Date: 6-1-17

Application #: 17-0056

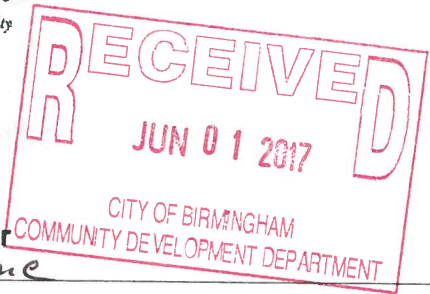
Office Use Only  
Date Received: 6/1/17

Fee: \$100

Date of Approval: 6/1/17

Date of Denial: \_\_\_\_\_

Reviewed by: M. B. L.



**APPROVED**

Date: 06/01/2017 2:09:46 PM  
 Ref: 00138679  
 Receipt: 375907  
 Amount: \$100.00

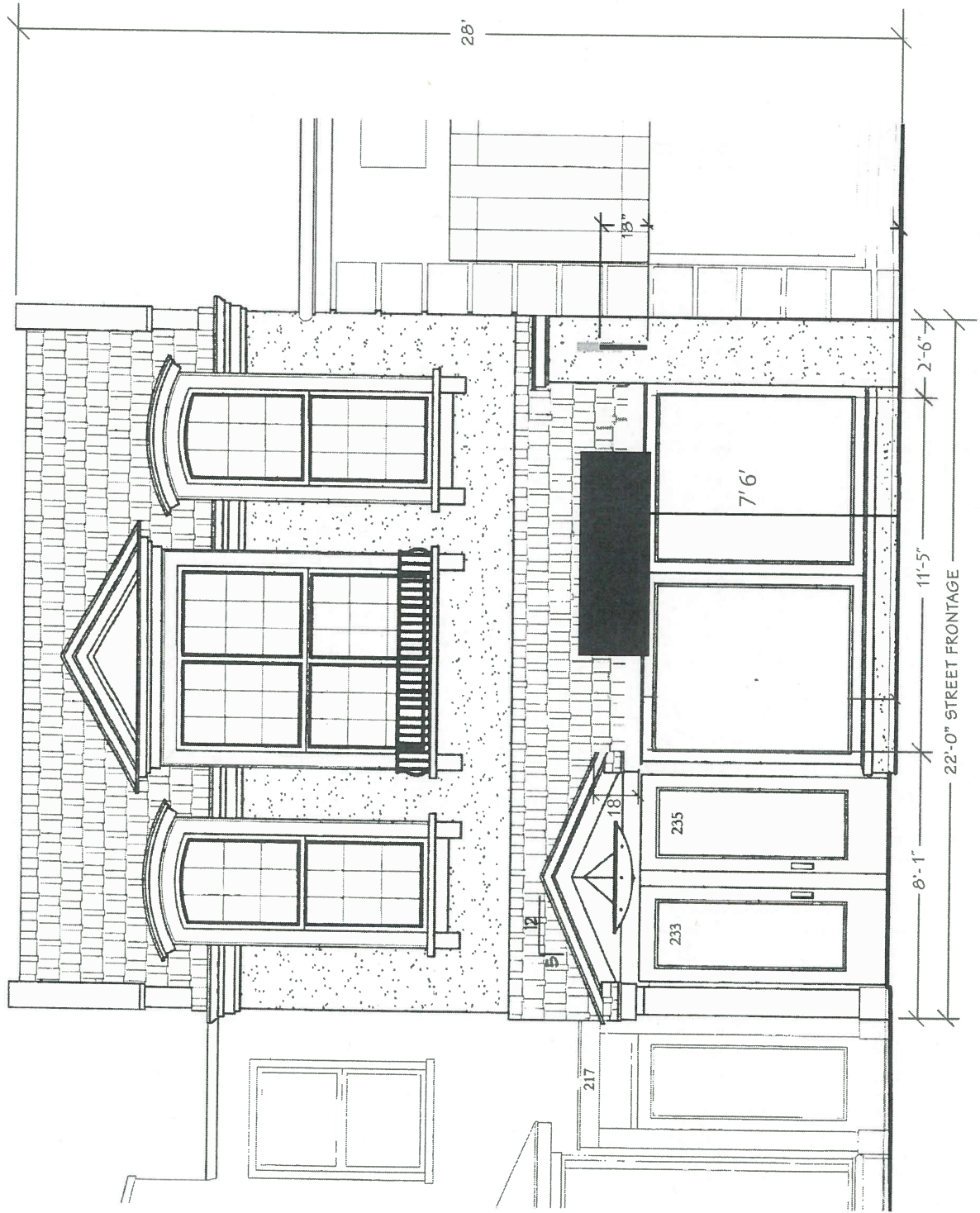




Image capture: Oct 2016 © 2017 Google



EXTERIOR SIGNAGE FOR 235 PIERCE STREET



APPROVED  
M.B.R. 6/1/17  
17-0056 HDC

FRONT ELEVATION



## Administrative Approval Application Planning Division

Form will not be processed until it is completely filled out

### 1. Applicant

Name: Baldwin House  
Address: 200 Chester  
B'ham ME 48009  
Phone Number: 248-540-4553  
Fax Number: 248-540-4227  
Email: baldwinhouseapts@ameritech.net

### Property Owner

Name: Joe Schwartz  
Address: 6725 Telegraph Rd.  
Bloomfield Hills MI 48301  
Phone Number: 248-203-1800  
Fax Number: 248-203-2997  
Email: corporate@ameritech.com

### 2. Applicant's Attorney/Contact Person

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email: \_\_\_\_\_

### Project Designer

Name: USA Lighting Group  
Address: 1007 E. West Maple Rd  
Walled Lake MI 48390  
Phone Number: (515) 291-2491  
Fax Number: \_\_\_\_\_  
Email: ben.m@optmalled.com

### 3. Project Information

Address/Location of Property: 200 Chester  
Name of Development: Baldwin House  
Parcel ID #: \_\_\_\_\_  
Current Use: Senior Housing  
Area in Acres: \_\_\_\_\_  
Current Zoning: \_\_\_\_\_

Name of Historic District site is in, if any: \_\_\_\_\_  
Date of HDC Approval, if any: \_\_\_\_\_  
Date of Application for Preliminary Site Plan: \_\_\_\_\_  
Date of Preliminary Site Plan Approval: \_\_\_\_\_  
Date of Application for Final Site Plan: \_\_\_\_\_  
Date of Final Site Plan Approval: \_\_\_\_\_  
Date of Revised Final Site Plan Approval: \_\_\_\_\_

### 4. Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples/Specification Sheets
- Digital Copy of plans

- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations

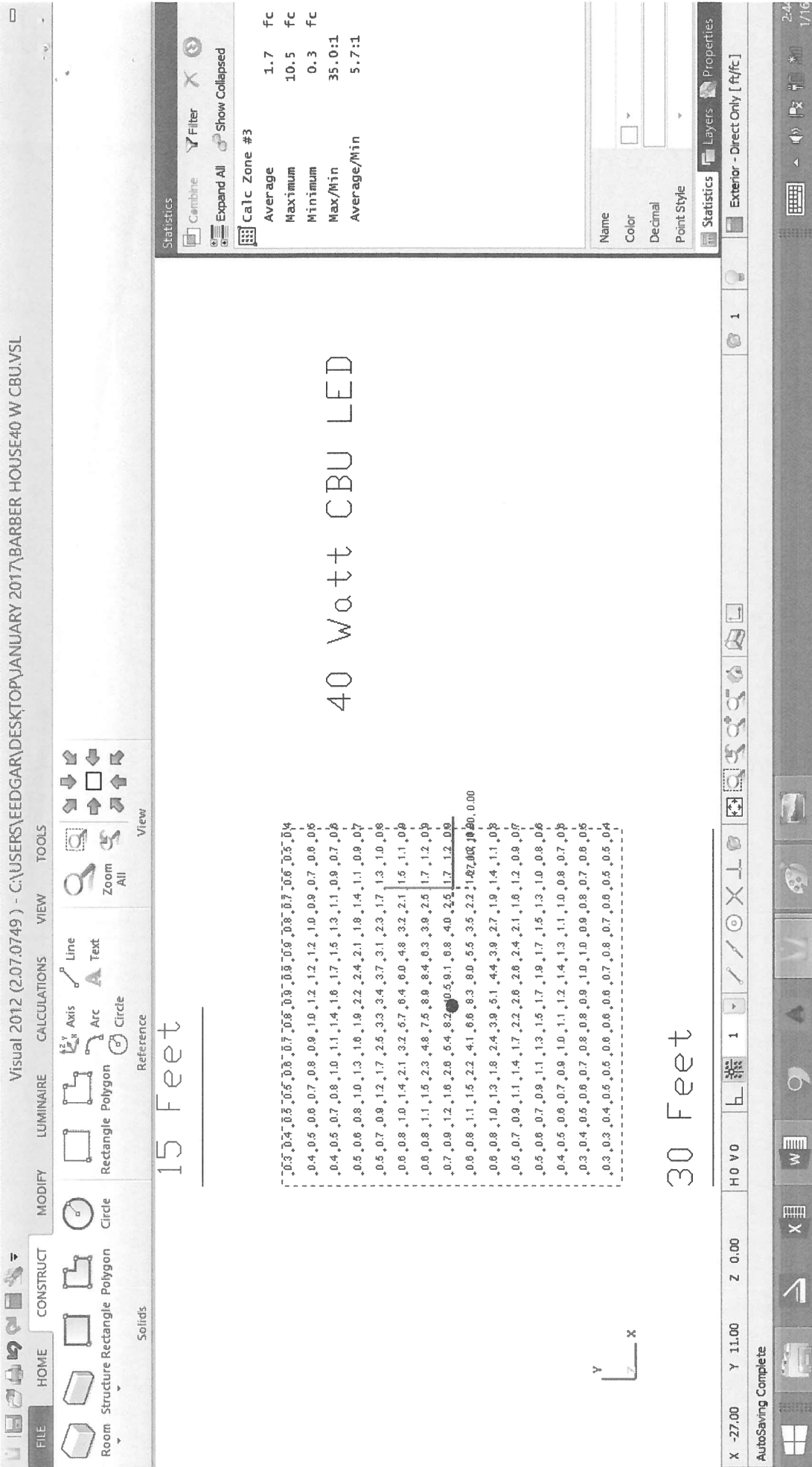
### 5. Details of the Request for Administrative Approval

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

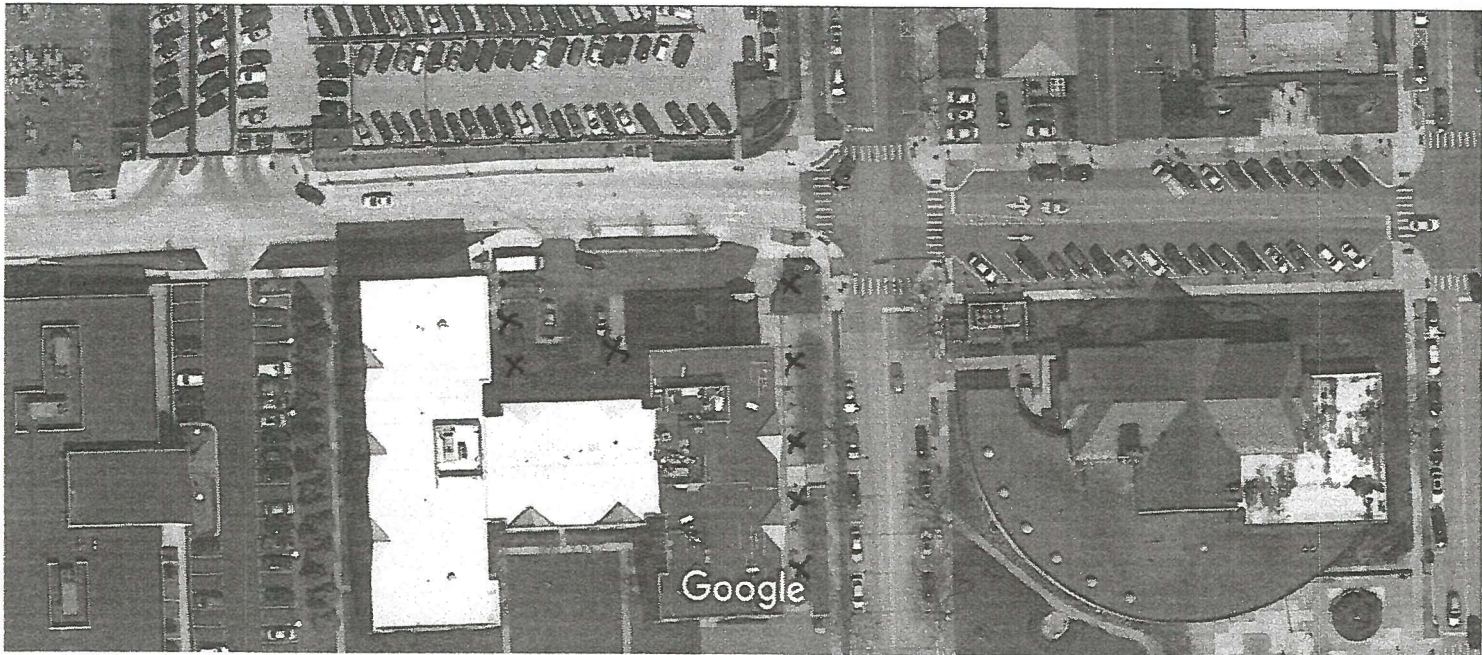
Signature of Applicant: Joseph E. Schwartz Date: 2-24-2017

Application #:	<u>17-0026</u>	Office Use Only	Date Received:	<u>3/30/17</u>	Fee:	<u>\$100</u>
Date of Approval:	<u>4/7/17</u>	Date of Denial:		Reviewed by:	<u>M. BA</u>	





## Google Maps Baldwin House



Imagery ©2017 Google, Map data ©2017 Google 50 ft

x = Acorn globe 15' high  
 - We will retrofit existing  
 fixture with LED Bulb.

Verified by County of \_\_\_\_\_  
 MW Commission Expires: \_\_\_\_\_  
 County of Oakland  
 Notary Public, State of Michigan  
 Accepted By: \_\_\_\_\_  
 Phone #: \_\_\_\_\_  
 Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_  
 Print Name: \_\_\_\_\_  
 Signature: \_\_\_\_\_

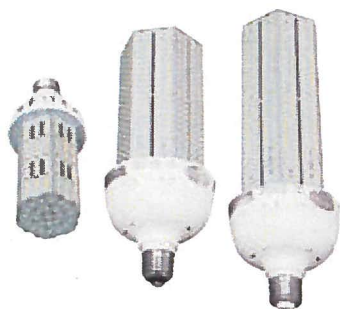
APPROVED  
 M.B.L. 4/7/17  
 17-0026 DRB





### Corn Bulb (HID/HPS Replacement)

**SERIES: CBU/D    MODEL: 01**



## FEATURES

**REPLACES:** HLD/HPS/Halogen  
50W~400W

(20W = 150W Halogen)

**LM / W: 100 / 110**

**LIFE:** 100,000 hrs.

**WARRANTY: 10 Years**

**DRIVER:** Built in w/ PFC

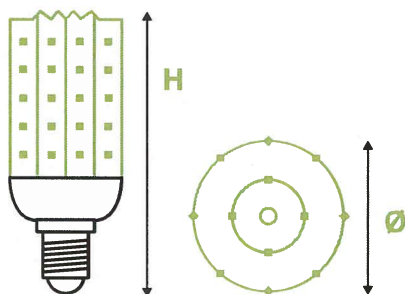
## CERTIFICATIONS



\*30 watt - 120 watt  
MOGUL BASE ONLY

## DIMENSIONS

Power (w)	Dimensions (in)
15	2.8" Ø x 6.2" h
20	2.9" Ø x 6.7" h
30	3.6" Ø x 7.8" h
40	3.6" Ø x 9.7" h
60	3.6" Ø x 11.1" h
80	4.1" Ø x 11.1" h
100	4.6" Ø x 12" h
120	4.6" Ø x 13" h



## NOTES

Active cooling fan in 60~120w models

Dimming models only available with external driver

## 50W~1000W HID Replacement

Little or no heat

No UV

### Won't attract bugs

UL, CE, FCC, RohS rated

XXX	XX	X	XXX	XX	XXX	XXX	X	X
↑	↑	↑	↑	↑	↑	↑	↑	↑
Series	Model	Dimming	Watts	Volts	Color	Base	Beam	Body Color
CBU	01	D=Dimming N=No	X15=15w X20=20w X30=30w X40=40w X50=50w X60=60w X80=80w 100=100w 120=120w	10= 100-277VAC	W27= 2700K	E=E26	J=360°	W=White
CBD					W40=4000K W50=5000K W55=5500K W60=6000K	J= E40 (Available in 30w-120w only)		

( DLC 30W-120W Only )



Mario Mendoza <mmendoza@bhamgov.org>

---

**contact**

---

**Ben Martin** <ben.m@optimalled.com>

Thu, Mar 30, 2017 at 5:44 PM

To: Mario Mendoza <mmendoza@bhamgov.org>

Mario,

Please note, we are not using a fixture, we are retrofitting the pole lights around the building with this particular LED corn bulb.

The dimensions of the bulb are listed on the sheet. The 40w is 9.7" high X 3.6" wide.

We are proposing a 4000K color temperature bulb.

There are photos of the bulb as well at the top of the page.

This is our current spec sheet for the bulb. If she needs more detailed information (IES, etc) I'll be happy to get it to her from our vendor.

Thanks -

Ben Martin  
Project Manager  
515.291.2491  
ben.m@optimalled.com

[Quoted text hidden]

Math,  
This is in the system,  
let me know if you need me to do  
anything. Mario



Back to Agenda

**CITY OF BIRMINGHAM**  
**Community Development - Building Department**  
**151 Martin Street, Birmingham, MI 48009**

Community Development: 248-530-1850 / Inspection Line: 248-530-1860  
Fax: 248-530-1290 / www.bhamgov.org

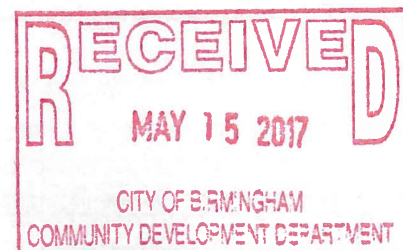
Permit # \_\_\_\_\_

Project # \_\_\_\_\_

**APPLICATION FOR DEMOLITION PERMIT**

<b>I. Project Type / Location</b>			
<input type="checkbox"/> HOUSE <input type="checkbox"/> HOUSE AND ATTACHED GARAGE <input checked="" type="checkbox"/> HOUSE AND DETACHED GARAGE <input type="checkbox"/> DETACHED GARAGE <input type="checkbox"/> COMMERCIAL BUILDING			
<input type="checkbox"/> EXTERIOR <input type="checkbox"/> INTERIOR NON-LOAD BEARING <input type="checkbox"/> SHED <input type="checkbox"/> OTHER _____			
ADDRESS 1597 Maryland Blvd		PROPERTY IDENTIFICATION NUMBER (SIDWELL NO.) 19-36-308-012	LOT NUMBER
<b>II. Applicant / Project Contact Information</b>			
<b>A. Applicant</b>			
NAME DM homes of Metro Detroit LLC		ADDRESS 1879 Golf Ridge Dr South	
CITY Bloomfield Hills	STATE MI	ZIP CODE 48302	TELEPHONE NUMBER (Include Area Code) 248-420-7600
CELL PHONE NUMBER (Include Area Code) 248-420-7600	FAX NUMBER (Include Area Code)	EMAIL ADDRESS Cory@Jacobydev.com	
<b>B. Owner or Lessee</b>			
NAME DM Home of Metro Detroit LLC		ADDRESS 1879 Golf Ridge Dr South	
CITY Bloomfield Hills	STATE MI	ZIP CODE 48302	TELEPHONE NUMBER (Include Area Code) 248-420-7600
CELL PHONE NUMBER (Include Area Code) 248-420-7600	FAX NUMBER (Include Area Code)	EMAIL ADDRESS Corey@jacobydev.com	
<b>C. Architect or Engineer</b>			
NAME		ADDRESS	
CITY	STATE	ZIP CODE	TELEPHONE NUMBER (Include Area Code)
CELL PHONE NUMBER (Include Area Code)	FAX NUMBER (Include Area Code)	EMAIL ADDRESS	
LICENSE NUMBER		EXPIRATION DATE	
<b>D. Contractor</b>			
NAME DM Homes of Metro Detroit		ADDRESS 1879 Golf Ridge Dr South	
CITY Bloomfield Hills	STATE MI	ZIP CODE 48302	TELEPHONE NUMBER (Include Area Code) 248-420-7600
CELL PHONE NUMBER (Include Area Code) 248-420-7600	FAX NUMBER (Include Area Code)	EMAIL ADDRESS Corey@jacobydev.com	
INDIVIDUAL BUILDERS LICENSE NUMBER 2101204216		EXPIRATION DATE 5/31/17	
COMPANY BUILDERS LICENSE NUMBER 2102207139		EXPIRATION DATE 5/31/17	
FEDERAL EMPLOYER ID NUMBER (or reason for exemption) 27-1127791			
WORKERS COMP INSURANCE CARRIER (or reason for exemption) Accident Fund Insurance Pol# WVC6103138			
UNEMPLOYMENT INSURANCE AGENCY EMPLOYER ACCOUNT NUMBER (or reason for exemption)			

WILL BE BRINGING  
IN PICTURES









**CITY OF BIRMINGHAM**  
**Community Development - Building Department**  
**151 Martin Street, Birmingham, MI 48009**  
Community Development: 248-530-1850 / Inspection Line: 248-530-1860  
Fax: 248-530-1290 / www.bhamgov.org

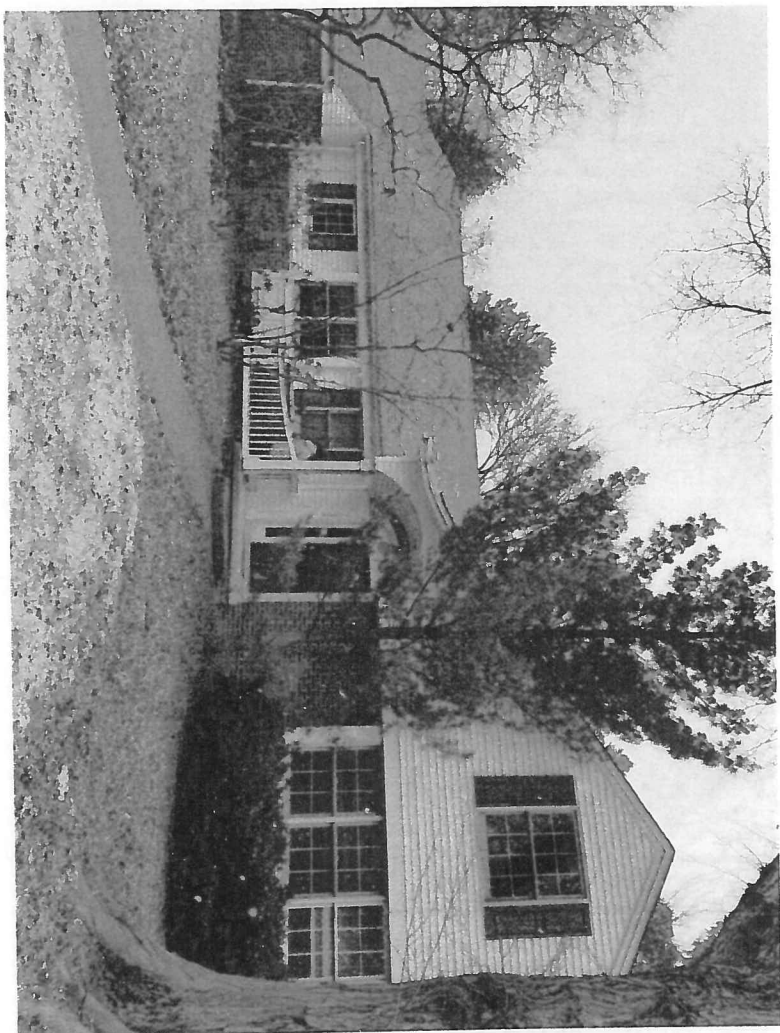
Permit # \_\_\_\_\_

Project # \_\_\_\_\_

**APPLICATION FOR DEMOLITION PERMIT**

<b>I. Project Type / Location</b>			
<input checked="" type="checkbox"/> HOUSE <input type="checkbox"/> HOUSE AND ATTACHED GARAGE <input type="checkbox"/> HOUSE AND DETACHED GARAGE <input type="checkbox"/> DETACHED GARAGE <input type="checkbox"/> COMMERCIAL BUILDING <input type="checkbox"/> EXTERIOR <input type="checkbox"/> INTERIOR NON-LOAD BEARING <input type="checkbox"/> SHED <input type="checkbox"/> OTHER _____			
ADDRESS 1252 Chesterfield <i>AK</i>		PROPERTY IDENTIFICATION NUMBER (SIDWELL NO.)	LOT NUMBER
<b>II. Applicant / Project Contact Information</b>			
<b>A. Applicant</b>			
NAME Sterling Development		ADDRESS 2382 Franklin	
CITY Bloomfield Hills	STATE MI	ZIP CODE 48302	TELEPHONE NUMBER (Include Area Code) (248)203-2036
CELL PHONE NUMBER (Include Area Code) (248) 320-2185	FAX NUMBER (Include Area Code) (248)203-2037	EMAIL ADDRESS olivia@sdcbuild	
<b>B. Owner or Lessee</b>			
NAME Todd Emerson & Marc Alexander		ADDRESS 1150 Suffield	
CITY Birmingham	STATE MI	ZIP CODE 48009	TELEPHONE NUMBER (Include Area Code)
CELL PHONE NUMBER (Include Area Code) (248) 320-2185	FAX NUMBER (Include Area Code) (248)203-2037	EMAIL ADDRESS todd@sdcbuild    marc@sdcbuild	
<b>C. Architect or Engineer</b>			
NAME Jeff Dawkins		ADDRESS	
CITY	STATE MI	ZIP CODE	TELEPHONE NUMBER (Include Area Code)
CELL PHONE NUMBER (Include Area Code)	FAX NUMBER (Include Area Code)	EMAIL ADDRESS jeffthearchitect@gmail.com	
LICENSE NUMBER			EXPIRATION DATE
<b>D. Contractor</b>			
NAME Sterling Development		ADDRESS 2382 Franklin	
CITY Bloomfield Hills	STATE MI	ZIP CODE 48302	TELEPHONE NUMBER (Include Area Code) (248)203-2036
CELL PHONE NUMBER (Include Area Code) (248) 320-2185	FAX NUMBER (Include Area Code) (248)203-2037	EMAIL ADDRESS olivia@sdcbuild	
INDIVIDUAL BUILDERS LICENSE NUMBER			EXPIRATION DATE
COMPANY BUILDERS LICENSE NUMBER 2102177297			EXPIRATION DATE
FEDERAL EMPLOYER ID NUMBER (or reason for exemption) 38-3310643			
WORKERS COMP INSURANCE CARRIER (or reason for exemption) Frankenmuth Insurance Company ex 10/16/14			
UNEMPLOYMENT INSURANCE AGENCY EMPLOYER ACCOUNT NUMBER (or reason for exemption) 1450460			

1252 Westover  
Ave





**CITY OF BIRMINGHAM**  
**Community Development - Building Department**  
**151 Martin Street, Birmingham, MI 48009**

Community Development: 248-530-1850 / Inspection Line: 248-530-1860  
Fax: 248-530-1290 / www.bhamgov.org

Permit # \_\_\_\_\_

Project # \_\_\_\_\_

**APPLICATION FOR DEMOLITION PERMIT**

<b>I. Project Type / Location</b>			
<input type="checkbox"/> HOUSE <input type="checkbox"/> HOUSE AND ATTACHED GARAGE <input checked="" type="checkbox"/> HOUSE AND DETACHED GARAGE <input type="checkbox"/> DETACHED GARAGE <input type="checkbox"/> COMMERCIAL BUILDING			
<input type="checkbox"/> EXTERIOR <input type="checkbox"/> INTERIOR NON-LOAD BEARING <input type="checkbox"/> SHED <input type="checkbox"/> OTHER _____			
ADDRESS 425 BIRD STREET		PROPERTY IDENTIFICATION NUMBER (SIDWELL NO.) 1936455015	LOT NUMBER 66
<b>II. Applicant / Project Contact Information</b>			
<b>A. Applicant</b>			
NAME Beneicke Group Inc		ADDRESS 33477 Woodward Ave Suite 700	
CITY Birmingham	STATE Michigan	ZIP CODE 48009	TELEPHONE NUMBER (Include Area Code) 248-642-8686
CELL PHONE NUMBER (Include Area Code) 517-204-8618	FAX NUMBER (Include Area Code) 248-642-7607	EMAIL ADDRESS jack@bgcommunities.com	
<b>B. Owner or Lessee</b>			
NAME Charles and Lesley Markus		ADDRESS 16026 Buckingham Ave	
CITY Beverly Hills	STATE Michigan	ZIP CODE 48025	TELEPHONE NUMBER (Include Area Code) 248-225-6907
CELL PHONE NUMBER (Include Area Code)	FAX NUMBER (Include Area Code)	EMAIL ADDRESS	
<b>C. Architect or Engineer</b>			
NAME None		ADDRESS	
CITY	STATE	ZIP CODE	TELEPHONE NUMBER (Include Area Code)
CELL PHONE NUMBER (Include Area Code)	FAX NUMBER (Include Area Code)	EMAIL ADDRESS	
LICENSE NUMBER		EXPIRATION DATE	
<b>D. Contractor</b>			
NAME Beneicke Group Inc		ADDRESS 33477 Woodward Ave Suite 700	
CITY Birmingham	STATE Michigan	ZIP CODE 48009	TELEPHONE NUMBER (Include Area Code) 248-642-8686
CELL PHONE NUMBER (Include Area Code) 517-204-8618	FAX NUMBER (Include Area Code) 248-642-7607	EMAIL ADDRESS jack@bgcommunities.com	
INDIVIDUAL BUILDERS LICENSE NUMBER 212101079808		EXPIRATION DATE 5-31-20	
COMPANY BUILDERS LICENSE NUMBER 2102004004		EXPIRATION DATE	
FEDERAL EMPLOYER ID NUMBER (or reason for exemption) 38-1458834			
WORKERS COMP INSURANCE CARRIER (or reason for exemption) Accident Fund Insurance			
UNEMPLOYMENT INSURANCE AGENCY EMPLOYER ACCOUNT NUMBER (or reason for exemption) 0114249000			

*Empty BM Corp. shut off.  
Calling when place is up BM.*





425 Bird





**CITY OF BIRMINGHAM**  
**Community Development - Building Department**  
**151 Martin Street, Birmingham, MI 48009**  
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Permit # \_\_\_\_\_

Project # \_\_\_\_\_

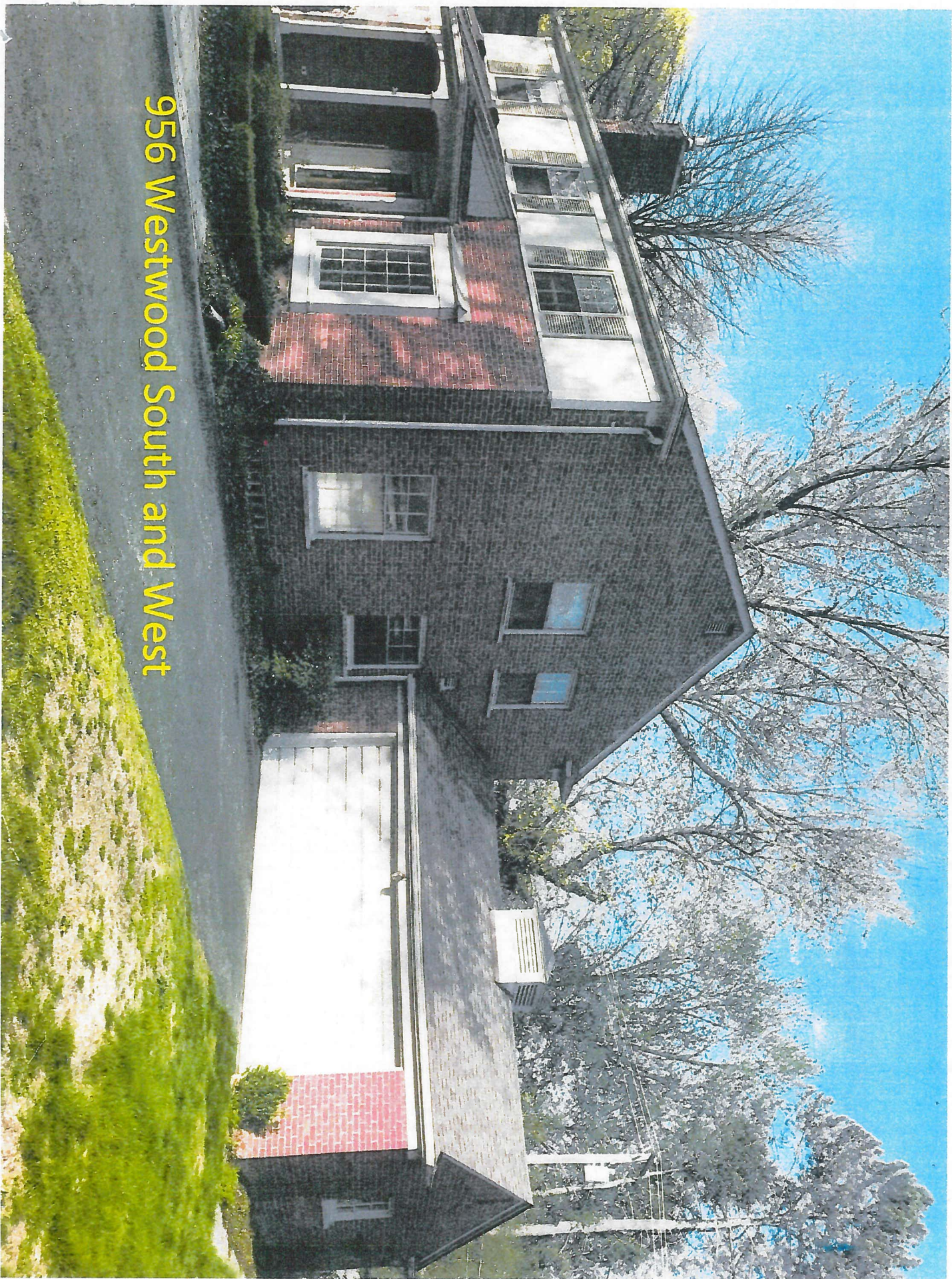
**APPLICATION FOR DEMOLITION PERMIT**

<b>I. Project Type / Location</b>			
<div style="display: flex; justify-content: space-between;"><div><input type="checkbox"/> HOUSE</div><div><input checked="" type="checkbox"/> HOUSE AND ATTACHED GARAGE</div><div><input type="checkbox"/> HOUSE AND DETACHED GARAGE</div><div><input type="checkbox"/> DETACHED GARAGE</div><div><input type="checkbox"/> COMMERCIAL BUILDING</div></div> <div style="display: flex; justify-content: space-between;"><div><input type="checkbox"/> EXTERIOR</div><div><input type="checkbox"/> INTERIOR NON-LOAD BEARING</div><div><input type="checkbox"/> SHED</div><div><input type="checkbox"/> OTHER _____</div></div>			
ADDRESS: <b>956 WESTWOOD</b>		PROPERTY IDENTIFICATION NUMBER (SIDWELL NO.): <b>19-26-177-006</b>	LOT NUMBER: _____
<b>II. Applicant / Project Contact Information</b>			
<b>A. Applicant</b>			
NAME: <b>HUNTER ROBERTS HOMES</b>		ADDRESS: <b>36800 WESTWOOD</b>	
LMB PROPERTIES LLC		SUITE <b>215</b>	
CITY: <b>BLOOMFIELD HILLS</b>	STATE: <b>MI</b>	ZIP CODE: <b>48304</b>	TELEPHONE NUMBER (Include Area Code): <b>248-644-4910</b>
CELL PHONE NUMBER (Include Area Code): _____	FAX NUMBER (Include Area Code): _____	EMAIL ADDRESS: _____	
<b>B. Owner or Lessee</b>			
NAME: <b>LYNN AND RICHARD WIAND</b>		ADDRESS: <b>3355 MORNINGVIEW TERRACE</b>	
CITY: <b>BLOOMFIELD</b>	STATE: <b>MI</b>	ZIP CODE: <b>48301</b>	TELEPHONE NUMBER (Include Area Code): <b>248-766-2275</b>
CELL PHONE NUMBER (Include Area Code): <b>248-766-2275</b>	FAX NUMBER (Include Area Code): <b>248-594-9797</b>	EMAIL ADDRESS: <b>RICHARDWIAND@GMAIL.COM</b>	
<b>C. Architect or Engineer</b>			
NAME: <b>DJW &amp; ASSOCIATES</b>		ADDRESS: <b>3282 LOCHMORE</b>	
CITY: <b>COMMERCIAL</b>	STATE: <b>MI</b>	ZIP CODE: <b>48382</b>	TELEPHONE NUMBER (Include Area Code): <b>248-926-1200</b>
CELL PHONE NUMBER (Include Area Code): <b>248-926-1200</b>	FAX NUMBER (Include Area Code): <b>248-937-1834</b>	EMAIL ADDRESS: _____	
LICENSE NUMBER: _____		EXPIRATION DATE: _____	
<b>D. Contractor</b>			
NAME: <b>HUNTER ROBERTS HOMES</b>		ADDRESS: <b>36800 WESTWOOD</b>	
<del>36800</del> LMB PROPERTIES, LLC		SUITE <b>115</b>	
CITY: <b>BLOOMFIELD HILLS</b>	STATE: <b>MI</b>	ZIP CODE: <b>48304</b>	TELEPHONE NUMBER (Include Area Code): <b>248-644-4910</b>
CELL PHONE NUMBER (Include Area Code): <b>248-766-2275</b>	FAX NUMBER (Include Area Code): _____	EMAIL ADDRESS: <b>RICHARDWIAND@GMAIL.COM</b>	
INDIVIDUAL BUILDERS LICENSE NUMBER: <b>RICHARD WIAND -</b>		2101142209	EXPIRATION DATE: <b>5/31/2019</b>
COMPANY BUILDERS LICENSE NUMBER: <b>LMB PROPERTIES LLC</b>		2102212715	EXPIRATION DATE: <b>5/31/2019</b>
FEDERAL EMPLOYER ID NUMBER (or reason for exemption): <b>30-0873674</b>			
WORKERS COMP INSURANCE CARRIER (or reason for exemption): <b>FRANKEN MOUTH INS</b>			
UNEMPLOYMENT INSURANCE AGENCY EMPLOYER ACCOUNT NUMBER (or reason for exemption): <b>11 11</b>			

Need shut off's



956 Westwood South and West





**CITY OF BIRMINGHAM**  
**Community Development - Building Department**  
**151 Martin Street, Birmingham, MI 48009**  
Community Development: 248-530-1850 / Inspection Line: 248-530-1860  
Fax: 248-530-1290 / www.bhamgov.org

Permit # \_\_\_\_\_

Project # DSF17-0017

**APPLICATION FOR DEMOLITION PERMIT**

<b>I. Project Type / Location</b>			
<input type="checkbox"/> HOUSE <input checked="" type="checkbox"/> HOUSE AND ATTACHED GARAGE <input type="checkbox"/> HOUSE AND DETACHED GARAGE <input type="checkbox"/> DETACHED GARAGE <input type="checkbox"/> COMMERCIAL BUILDING			
<input type="checkbox"/> EXTERIOR <input type="checkbox"/> INTERIOR NONLOAD BEARING <input type="checkbox"/> SHED <input type="checkbox"/> OTHER _____			
ADDRESS <u>2650 Yorkshire Rd</u>		PROPERTY IDENTIFICATION NUMBER (SIDWELL NO.)	LOT NUMBER
<b>II. Applicant / Project Contact Information</b>			
<b>A. Applicant</b>			
NAME <u>JFS Properties LLC / Steven Jackson President</u>		ADDRESS <u>30300 Stephenson</u>	
CITY <u>Madison Hts</u>	STATE <u>MI</u>	ZIP CODE <u>48071</u>	TELEPHONE NUMBER (Include Area Code) <u>248-414-3311</u>
CELL PHONE NUMBER (Include Area Code) <u>248-555-5081</u>	FAX NUMBER (Include Area Code) <u>313-414-3302</u>	EMAIL ADDRESS <u>sjackson@hungryhowies.com</u>	
<b>B. Owner or Lessee</b>			
NAME <u>Steve Jackson / JFS Properties LLC</u>		ADDRESS <u>30300 Stephenson</u>	
CITY <u>Madison Hts</u>	STATE <u>MI</u>	ZIP CODE <u>48071</u>	TELEPHONE NUMBER (Include Area Code) <u>248-414-3311</u>
CELL PHONE NUMBER (Include Area Code)	FAX NUMBER (Include Area Code)	EMAIL ADDRESS <u>sjackson@hungryhowies.com</u>	
<b>C. Architect or Engineer</b>			
NAME <u>Kevin Hart &amp; Associates</u>		ADDRESS <u>700 E Market Rd # 101</u>	
CITY <u>Birmingham</u>	STATE <u>MI</u>	ZIP CODE <u>48009</u>	TELEPHONE NUMBER (Include Area Code) <u>248-642-9427</u>
CELL PHONE NUMBER (Include Area Code) <u>248-496-7363</u>	FAX NUMBER (Include Area Code)	EMAIL ADDRESS <u>kevinhart.associate@sbglobal.net</u>	
LICENSE NUMBER		EXPIRATION DATE	
<b>D. Contractor</b>			
NAME <u>Bosco Building Inc</u>		ADDRESS <u>4316 Orchard Lake Rd</u>	
CITY <u>W. Bloomfield</u>	STATE <u>MI</u>	ZIP CODE <u>48323</u>	TELEPHONE NUMBER (Include Area Code) <u>(248) 681-9200</u>
CELL PHONE NUMBER (Include Area Code) <u>734 474 2519</u>	FAX NUMBER (Include Area Code) <u>248-681-7766</u>	EMAIL ADDRESS <u>ABOSLO@BOSCOBUILDING.COM</u>	
INDIVIDUAL BUILDERS LICENSE NUMBER <u>2101039504</u>		EXPIRATION DATE <u>5-31-17</u>	
COMPANY BUILDERS LICENSE NUMBER <u>2102050204</u>		EXPIRATION DATE <u>5-31-17</u>	
FEDERAL EMPLOYER ID NUMBER (or reason for exemption) <u>38-2131740</u>			
WORKERS COMP INSURANCE CARRIER (or reason for exemption) <u>Cornish Zach &amp; Hill</u>			
UNEMPLOYMENT INSURANCE AGENCY EMPLOYER ACCOUNT NUMBER (or reason for exemption) <u>1058761-000</u>			

*pic. all for side's  
copy of license*





2650 Yorkshire Rd.