AGENDA

BIRMINGHAM HISTORIC DISTRICT COMMISSION MUNICIPAL BUILDING-COMMISSION ROOM-151 MARTIN STREET WEDNESDAY – January 17, 2017

- 1) Roll Call
- 2) Approval of the HDC Minutes of November 15, 2017
- 3) Historic designation elimination review
 - 361 E. Maple Hawthorne Building
- 4) Historic Design Review
 - 556 W. Maple Birmingham Historic Museum
- 5) Study Session
- 6) Miscellaneous Business and Communication
 - A. Staff Reports
 - Administrative Approvals
 - Violation Notices
 - Demolition Applications
 - B. Communications
 - Commissioners Comments

7) Adjournment

<u>Notice:</u> Individuals requiring accommodations, such as interpreter services, for effective participation in this meeting should contact the City Clerk's Office at (248) 530-1880 at least on day in advance of the public meeting.

Las personas que requieren alojamiento, tales como servicios de interpretación, la participación efectiva en esta reunión deben ponerse en contacto con la Oficina del Secretario Municipal al (248) 530-1880 por lo menos el día antes de la reunión pública. (Title VI of the Civil Rights Act of 1964).

A PERSON DESIGNATED WITH THE AUTHORITY TO MAKE DECISIONS MUST BE PRESENT AT THE MEETING.

BIRMINGHAM HISTORIC DISTRICT COMMISSION MINUTES OF NOVEMBER 15, 2017

Municipal Building Commission Room 151 Martin, Birmingham, Michigan

Minutes of the regular meeting of the Historic District Commission ("HDC") held Wednesday, November 15, 2017. Vice Chairman Keith Deyer called the meeting to order at 7 p.m.

Present: Board Members Doug Burley, Vice-Chairman Keith Deyer, Michael

Willoughby; Alternate Board Members Adam Charles, Dulce Fuller

Absent: Chairman John Henke; Board Members Natalia Dukas, Thomas

Trapnell; Student Representatives Josh Chapnick, Griffin Pfaff

Administration: Matthew Baka, Sr. Planner

Carole Salutes, Recording Secretary

11-52-17

Vice Chairman Deyer took over as chair in the absence of Chairman Henke.

APPROVAL OF MINUTES
HDC Minutes of October 18, 2017

Motion by Mr. Willoughby Seconded by Mr. Burley to approve the HDC Minutes of October 18, 2017 as presented.

Motion carried, 5-0.

VOICE VOTE

Yeas: Willoughby, Burley, Charles, Deyer, Fuller

Navs: None

Absent: Henke, Dukas, Trapnell

The Chairman noted that only four of six board members were present this evening and four affirmative votes are needed to pass a motion. He offered the applicant the opportunity to adjourn their hearing to the next HDC meeting when a more full board might be present. The applicant wished to go forward.

11-53-17

HISTORIC DESIGN REVIEW 210 S. Old Woodward Ave.

Vinotecca CBD Historic District

Zoning: B-4 Business Residential

<u>Proposal</u>: Mr. Baka explained the applicant is on the process of amending their Special Land Use Permit ("SLUP") with the City in order to change the name of the establishment from "The Bird and the Bread" to "Vinotecca." The tenant space is located in a two-story, multi-tenant non-contributing building in the CBD Historic District. The applicant proposes to install a new wall sign above the main entranceway to the restaurant and new awnings along the front elevation of the building. The sign is proposed to be suspended between the two existing columns in line with the existing sign band. The applicant is also proposing to enclose the existing outdoor dining space with Eisenglass.

The applicant appeared before the Planning Board on November 8, 2017. The Planning Board recommended approval of the proposal with the condition that the proposed Eisenglass enclosure be removed. The applicant is now requesting approval from the Historic District Commission before moving on for final approval from the City Commission.

<u>Existing Signage</u>: There are currently four other tenants with approved signage for the building for a total of 97.16 sq. ft.

<u>Signage</u>: The applicant proposes to replace the existing signage by installing a new wall sign above the main entranceway to the restaurant and by adding lettering to the new proposed awnings. The total linear building frontage is 130 ft. 5 in., <u>permitting 130.5 sq. ft. sign area</u>. The wall sign measures 13 sq. ft while the logo sign measures 7.8 sq. ft. The wall sign and the logo sign total 20.8 sq. ft.

The applicant is also proposing to install two new awnings with signage along the building frontage. The two awnings are constructed of fabricated aluminum tubing with Sunbrella black fabric non-illuminated skins. They have 3.88 in. applied white vinyl text in the 9 in. valences. Each valance is 8.125 sq. ft. total, while the proposed valance signage text totals 2.61 sq. ft. for each awning, satisfying the Sign Ordinance requirement in Section 1.05(B), Table B of no more than 33% of the valance area. This proposal would bring the total signage for the building to 123.2 sq. ft. In accordance with Article 1.0, section 1.04 (B) of the Birmingham Sign Ordinance, Combined Sign Area, that states for all buildings, including multi-tenant office or retail buildings, the combined area of all types of signs shall not exceed 1 sq. ft. (1.5 sq. ft. for addresses on Woodward Ave.) for each linear foot of principal building frontage.

The wall sign is proposed to be mounted more than 8 ft. 6 in. above grade. The projecting sign is proposed to be mounted 6 in. off the face of the column and 8.5 ft. above grade meeting the requirement of Article 1.0. Table B of the

Historic District Commission Minutes of November 15, 2017 Page 3 of 5

Birmingham Sign Ordinance that states wall signs that project more than 3 in. from the building facade shall not be attached to the outer wall at a height of less than 8 ft. above a public sidewalk and at a height of less than 15 ft. above public driveways, alleys and thoroughfares.

The proposed wall sign background will be constructed of fabricated aluminum painted black. The letters will be ¾ in. push-thru acrylic dimensional letters reading "Vinotecca" with silver metallic faces. The entire sign will be mounted to wall plates attached with expansion bolts aligned to the mortar and will span the distance between the two columns that flank the front entrance to the establishment.

<u>Illumination</u>: The wall sign is proposed to be halo lit with internal white LED lights with a burgundy filter.

<u>Design:</u> The applicant is proposing to enclose the existing outdoor dining area with Eisenglass plastic similar to what is currently used at Market, Social Kitchen, and Café Via. The Eisenglass is proposed to be attached to a wooden frame constructed out of 2 x 6 ft. framing and clad with plywood that would be painted flat black. There would be 2 in. of continuous reveal on the top and sides. A 3 x 7 ft. wood door with clear plex is proposed on the north elevation with egress only that does not swing into the pedestrian entryway. No changes to the outdoor seating layout are proposed, the applicant is maintaining the same amount of tables and chairs as previously approved.

Chairman Deyer had three concerns:

- The Eisenglass;
- The information on the awning valances. In the past this commission has said the signage should identify the establishment and not be an advertisement for what they sell; and
- The awnings have a tendency to unbalance the building.

Ms. Fuller said she understands the Eisenglass because it is helpful to extend the outdoor dining season. At Cafe Via the Eisenglass takes a beating and loses its transparency. Mr. Willoughby noted this Eisenglass would be right on S. Old Woodward Ave.

Ms. Kristin Jonna, the restaurant owner, said they discussed this at length at the Planning Board and agreed to throw out the Eisenglass. Their reason for having it was to protect from the construction that they know is going to be happening for probably two years with the hotel coming in on their south facing side, and also the road construction. Their other reason was to create more energy up front on S. Old Woodward Ave. because they are so recessed that people don't know they are there. Their research for some alternative material has turned up only semi-permanent plastic or permanent glass.

Ms. Fuller said she would not be opposed if during construction they had Eisenglass between the restaurant and the hotel, because it is perpendicular to S. Old Woodward Ave.

Mr. Baka noted if this board decided to approve with that barrier they could, but the City Commission would also have to approve it. If it is denied by the HDC, it has to be appealed to the State because it is in a Historic District.

Ms. Jonna addressed the wording on the awnings. They have had problems at The Bird and the Bread with people seeing them and with people understanding what they are. So they feel like that little bit of writing is important. She offered to change the wording from "Elm Room Events Music" to something the commission would approve.

Chairman Deyer then suggested extending the awnings across the whole front facade to balance the building.

Mr. Willoughby thought there is room for a nice composition of the whole facade with little spurts of elements that identify an individual space. So, this awning doesn't bother him at all. Ms. Fuller added that it doesn't bother her.

Motion by Mr. Willoughby

Seconded by Mr. Charles to not accept the Eisenglass for 210 S. Old Woodward Ave., Vinotecca, anywhere. He would recommend to the City Commission that they give leeway during the construction process so the south side of Vinotecca would be protected.

There was no discussion from members of the audience at 7:20 p.m.

Motion carried, 5-0.

VOICE VOTE

Yeas: Willoughby, Charles, Burley, Dever, Fuller

Nays: None

Absent: Henke, Dukas, Trapnell

Motion by Mr. Willoughby

Seconded by Ms. Fuller to approve the rest of the proposal as submitted for 210 S. Old Woodward Ave., Vinotecca, with the understanding that there would be a change in the verbiage that would be administratively approved.

There was no discussion from members of the audience at 7:21 p.m.

Motion carried, 5-0.

Historic District Commission Minutes of November 15, 2017 Page 5 of 5

VOICE VOTE

Yeas: Willoughby, Fuller, Burley, Charles, Deyer

Nays: None

Absent: Henke, Dukas, Trapnell

11-54-17

MISCELLANEOUS BUSINESS AND COMMUNICATIONS

A. Staff Reports

-- Administrative Approvals

Can't read these

- -- Violation Notices (none)
- -- Demolition Applications
 - > 1288 Washington
 - ➤ 1258 Washington
 - ➤ 1273 Stanley
 - > 1735 Henrietta
 - > 1809 Holland
 - > 538 Southfield
 - > 1744 Derby
 - > 844 Pierce

B. Communications

-- Commissioners' Comments

10-51-17

ADJOURNMENT

No further business being evident, the commissioners motioned to adjourn the meeting at 7:24 p.m.

Matthew Baka Sr. Planner



MEMORANDUM

Planning Division

DATE: January 11, 2018

TO: Historic District Commission

FROM: Matthew Baka, Senior Planner

SUBJECT: 361 E. Maple – Historic designation elimination request

The owner of the property located at 361 E. Maple has requested that the City Commission consider removing the historic designation of their building as a Contributing Historic Resource within the City of Birmingham. The property owner has submitted an application to the Planning Board requesting to demolish the building as part of a redevelopment proposal.

As required by Section 127-5, **Establishing additional, modifying, or eliminating historic districts** the City Commission issued a resolution on July 24, 2017 directing the Historic District Study Committee (HDSC) to prepare a preliminary study committee report on the subject property in accordance with the Code and execute the additional steps outlined in that section in order to make a recommendation to the City Commission.

The preliminary study committee report has now been completed by the HDSC and has been forwarded to the State Historic Preservation Office for comment. The City Code also requires the report be presented to the Planning Board and Historic District Commission for comment. The report is attached to this memo.

Accordingly, Planning staff requests that the Historic District Commission take this opportunity to provide their comments on the requested elimination of the historic designation of the Contributing Historic Resource at 361 E. Maple.

361 E. Maple Birmingham Historic Resource Report from the Historic District Study Committee

November 28th, 2017



Committee Members

Gigi Debbrecht, Chair Patricia Lang Michael Xenos Paul Beshouri Jonathan Dewindt

Staff Liaison

Matthew Baka, Senior Planner



Charge of the Committee

In accordance with Chapter 127 of the Birmingham City Code, the Historic District Study Committee (HDSC) has been directed by the City Commission to consider modifying an existing Historic District by evaluating the Hawthorne Building, which is a contributing resource within the Central Business District Historic District, located at 361 E. Maple for consideration for removal from the list of historically designated properties in the City of Birmingham.

The request for removal of the designation came from the owner of the property in question. They are requesting that the City Commission remove the designation of the property in order to allow the demolition of the building and construction of a new five story building.

Description of the District

The legal description of the property at 361 E. Maple is T2N, R10E, SEC 25 ASSESSOR'S PLAT NO 21 W PART OF LOT 11 MEAS 20 FT ON S LOT LINE & 20.62 FT ON N LOT LINE. The Central Business District boundaries are indicated on the map below.

Count of Historic and Non-Historic Resources in the CBD Historic District

The Central Business District Historic District has 29 historic (contributing) and 44 non-historic resources.



*depiction of the Downtown Historic District and Shain Park Historic District

De-designation evaluation criteria

The HDSC is required to follow the procedures as set forth in Section 127-4, of the City of Birmingham Historic Districts Ordinance, as amended. The procedure requires the issuance of a preliminary report, holding a public hearing, and issuing a final report with the intent of showing one or more of the following in order to justify the de-listing of a designated property:

- 1. The historic district has lost those physical characteristics that enabled the establishment of the district.
- 2. The historic district was not significant in the way previously defined.
- 3. The historic district was established pursuant to defective procedures.

1. The historic district has lost those physical characteristics that enabled the establishment of the district.

The property at 361 E. Maple remains virtually unchanged from the condition it was in when designated in 1983. This is demonstrated by historic and contemporary photographs. It is decorated with a sign band that is defined by patterned brick and limestone. The parapet has a small pediment and limestone urns at the party walls. It is believed that the pressed metal store front is original.

In addition, since the creation of the CBD Historic District, all exterior changes to the contributing and non-contributing resources have been reviewed by the Historic District Commission. Any proposed change to a resource in the district has been measured against the Secretary of the Interior's standards for rehabilitation and guidelines for rehabilitating historic buildings (attached). The Standards for Rehabilitation address the most prevalent treatment. "Rehabilitation" is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property

which are significant to its historic, architectural, and cultural values." Accordingly, the historic character of the district at large has not been altered in such a way that would eliminate the physical characteristics that enable the establishment of the district.

2. The historic district was not significant in the way previously defined.

Several factors were used in determining whether a building has sufficient historic value to merit classification as a "landmark." First, the history of the building, its past occupants and its significance to the development of Birmingham were evaluated. The age, condition and potential for restoration were also considered. Finally, the architecture and uniqueness of each structure was evaluated. At the time, the Historic District Study Committee determined that 29 structures in central Birmingham were worthy of special treatment. Although not every structure met all of the above criteria, each structure given "landmark" designation was determined by the Commission to have one or more of the elements that made it worthy of designation. The property at 361 E. Maple was selected as a contributing resource as it was a good example of a small store design from the 1920's with patterned brick and limestone. The parapet has a slight pediment and limestone urns at the party walls. Although the structure is simple and conservative, it is in excellent condition. The fact that it also maintained it original condition made it a valuable visual anchor in the preservation of the north side of E. Maple. The architectural significance cited in 1983 is as evident today as it was at the time.

3. The historic district was established pursuant to defective procedures.

The procedures followed in the designation of the Central Business District Historic District were established in chapter 127 of the City Code pursuant to Public Act 169 of 1970. In 1980 the City Commission appointed the Historic District Commission to serve as a Historic District Study Committee to research and make a recommendation regarding the historic value of buildings in central Birmingham as required by chapter 127 of the City Code. As documented by the committee members at the time, the research was conducted by interviewing Birmingham "oldtimers" who had first-hand knowledge of the history of many buildings, reviewing materials at the Baldwin Library including reading issues of the Birmingham Eccentric, researching City assessing and building records, examining recorded data from Oakland County and reviewing published material from various other resources. The selection of 361 E. Maple for historical designation in 1983 as a part of the Central Business District Historic District was done after careful review and evaluation in compliance with the required procedures.

On October 22, 1983, the Birmingham City Commission adopted Ordinance No. 1276 amending the City Code adding Chapter 43 of the Birmingham City Code to establish the Central Business District Historic District and the Shain Park Historic District.

Recommendation

In 1970, the Michigan State Legislature declared historic preservation to be a public purpose. By enacting Public Act 169, the legislature officially recognized that historic preservation does all of the following:

- A. Safeguards the heritage of the community by preserving a district which reflects elements of its cultural, social, economic, political or architectural history;
- B. Stabilizes and improves property values in such districts;
- C. Fosters civic beauty;
- D. Strengthens local economy; and
- E. Promotes the use of historic districts for the education, pleasure and welfare of the citizens of the community and of the State.

The Hawthorne building is a valuable example of a 1920's era commercial storefront that has seen little to no alteration within its lifetime. It provides historic context of the traditional downtown that has personified Birmingham over its history. De-designating this building, as indicated by the developer's plans, would put it at risk for demolition. This has the potential to encourage additional property owners to pursue de-designation and deterioration of the historic character that has defined Birmingham throughout the years. These historic structures have distinguished Birmingham from its surrounding neighbors as a traditional downtown which has undoubtedly contributed to its sustained success over the years. In addition, the methods and procedures followed during the designation process in the 1980's strictly adhered to the guidelines established at the local, state and federal levels. It was the intention of the City Commission of that time to take these steps to ensure that Birmingham would retain its character and history for future generations to appreciate and enjoy. The de-designation of this structure has the potential to set a precedent that would have long lasting effects on the City that cannot be reversed.

- De-listing the building puts it at risk i.e. changes to historic features, demolition, etc;
- The building was originally designated following all Federal, State and Local quidelines:
- There have been no changes to the building since its designation in 1984 and maintains its character as a pristine example of 1920's commercial architecture in downtown Birmingham;
- The building is located on a street with other historic properties and is within the Historic Central Business District and contributes to the history and character of the City;
- The Birmingham community needs to maintain its historic structures for future generations;
- De-listing an asset based on the potential for demolition and redevelopment, does not serve the greater good of the community.

The Historic District Study Committee recommends maintaining the historic designation of this property as it **does not** meet any of the following criteria for de-designation listed in Chapter 127 of the City Code:

- 1. The historic district has **not** lost those physical characteristics that enabled the establishment of the district.
- 2. The historic district **is** significant in the way previously defined.
- 3. The historic district was **not** established pursuant to defective procedures.











HAWTHORNE BUILDING

361 East Maple



This neat, and tidy, one story, one bay, reddish face brick store, with attractive limestone trim was built in 1927. In 1929, the shed at the rear of the property was removed. It was the home of the Bell Telephone Company offices for several years during the 1940's. The building has been well kept and is an example of good, small store design from the 1920's. The fascia has a typical signage band defined with patterned brick and limestone. (The existing signage does not conform to the signage band). The parapet has a slight pediment and limestone urns at the party walls. Part or all of the pressed metal storefront may be original. Although the structure is simple and conservative, its good condition and original condition make it a candidate for a valuable visual anchor in the preservation of the north side of East Maple.

6-1-83







October 18, 1984

City Commission Birmingham, Michigan

Max B. Horton, Chairman Historic District Study Committee

(Historic District Commission)

Central Business Historic District and Shain Park Historic Subject:

District

Dear Commissioners:

Approximately three years ago, the City Commission appointed the Historic District Commission to serve as an Historic District Study Committee to research and make a recommendation regarding the historic value of buildings in central Birmingham. The Study Committee spent many hours examining each building in the study area. The research was conducted by interviewing Birmingham "oldtimers" who have first-hand knowledge of the history of many buildings, reviewing material at the Baldwin Library including reading issues of the Birmingham Eccentric from the late 1800's and early 1900's, researching City assessing and building records, examining recorded data from Oakland County and reviewing published material from various other sources.

Several factors were used in determining whether a building has sufficient historic value to merit classification as a "landmark." First, the history of the building, its past occupants and its significance to the development of Birmingham were evaluated. sge, condition and potential for restoration were also considered. Finally, the architecture and uniqueness of each structure was evaluated. As you know, the Historic District Commission has decided that 29 structures in central Birmingham are worthy of special treatment. Although not every structure meets all of the above criteria, each structure suggested for "landmark" designation has been determined by the Commission to have one or more of the elements that make it worthy of designation.

In 1970, the Michigan State Legislature declared historic preservation to be a public purpose. By enacting Public Act 169, the legislature officially recognized that historic preservation does all of the following:

A. Safeguards the heritage of the community by preserving a district which reflects elements of its cultural, social, economic, political or architectural history;

18A

- B. Stabilizes and improves property values in such districts;
- C. Fosters civic beauty;
- D. Strengthens local economy; and
- B. Promotes the use of historic districts for the education. pleasure and welfare of the citizens of the community and of the State.

As a Commission, it is our hope that the Birmingham City Commission will recognize, as the legislature did back in 1970, that historic preservation can accomplish all of the above goals. Several other communities throughout the state have designated historic districts in their downtowns. They include small villages such as Linden, Chelsea and Wilford; medium sized cities such as Ann Arbor, Traverse City and Ypsilanti, and large cities such as Jackson, Saginaw and Grand Rapids. Some historic districts have almost every single building designated as a "landmark" structure while other historic districts, such as Birmingham, have undergone many changes resulting in the "landmark" structures being in the minority. This is not unusual or undesirable. To the contrary, it is towns such as Birmingham that can most benefit from historic preservation legislation. The legislation provides protection of the character and design qualities that make Birmingham a viable downtown. The Historic District Commission is certain that the City Commission believes that Birmingham has commercial structures worth protecting. We all also know that no ordinance exists to prevent domolition of those structures in central Birmingham which have value to the whole community. It seems, therefore, that the question is not "should we?" but "how should we?"

Currently, we have 47 historic district properties in the City of Birmingham. They are primarily non-contiguous, residential structures on individual lots. Two commorcial structures, the Peabody Mansion and the Grand Trunk Western Railroad Dopot are exceptions.

Although individual, non-contiguous districts have worked well for the rosidential properties, we do not believe this is the proper approach for the commercial area. Commercial structures are erected side-by-side and bear a more direct relationship to one another than single family residential structures. To select the individual "landmark" buildings for designation without regard for the other structures in the downtown is contrary to the purposes in creating an historic district. Careful attention must be paid to the

structures which abut "landmark" proporties and other buildings in the downtown which have an affect on the "landmarks." The suggestion that only "landmark" properties compose the historic district would be similar to saying that the Planning Board should have Design Review over just a portion of a particular block. This selectiveism in the review process will not work. Therefore, our recommendation is for contiguous historic districts with well dofined standards for both "landmark" and "district resource" properties.

The Historic District Commission has already begun working on a set of standards which will establish a clear cut understanding of the goals of the City with respect to design. It is the intent of the Historic District Commission to set standards that are flexible enough to provide for individual croativity yet complete enough to ensure that the historic fabric of Birmingham is not destroyed.

Under the current regulations, any property owner in central Birmingham (public ownership excepted) must obtain Design Approval or Exterior Approval and possibly Site Plan Approval before any change to the exterior of a building can be made. Since central Birmingham is currently subject to a Dosign Review process, the question that we all face is: "What should the thrust of this Design Review be?" Architecture, no matter what the age or style, should have as a goal to reflect its time and its place. The question of how to achieve that goal, especially when adding a new wing to an old building or filling a gap in an urban streetscape, is a vexing one to architects and preservationists alike. There is no formula answer; each building or addition should be considered individually and in the context of its surroundings. Design relationships in architecture appear to have become a problem since the coming of age of the "modern movement" in the last 35 years or so. When "modern" architecture arrived, thumbing its nose at the past and the surroundings, its problems began. The public has become disaffected with modern design. Existing scale is not respected and there is little ornamentation; the result is monotony, With this sharp change in designs so profoundly affecting the existing streetscape, proservationists and others reacted and the concept of historic districts was born.

While there may not be a clear answer to what constitutes a good relationship between old and new buildings, that should not stop us from trying to find a solution. It is only in a quality built

environment that we can achieve a quality life. The 29 "landmark" structures represent what is left of quality development from a previous era. The City Commission is now confronted with a decision; to find that these buildings are worthy of preservation for present and future generations to enjoy or determine that these buildings do not have any public value and may be destroyed, altered or redesigned at the will of the owners. It is our sincerest hope that you will go forward in chacting the proposed ordinance to create two new historic districts which will protect the valuable historic resources in central Birmingham.

-4-

Very truly yours,

Max B. Horton

Max B. Horton, Chairman William R. McGregor, Vice-Chairman Carolyn Johnson Kay Johnson Michael Tomasik Goeffrey Upward Willem Tazelaar

ЖВН/јь 10/18/84

CITY OF BIRMINGHAM MICHIGAN

CITY COMMISSION PROCEEDINGS

OCTOBER 22, 1984

Minutes of a Regular meeting of the Birmingham City Commission held Monday, October 22, 1984, at 8:05 P.M., in the Commission Room in the Municipal Building.

Mayor Appleford, Commissioners Hockman, Jensen,

Jeske, Kain, Miller and Sights

None Absent:

Administration:

City Manager - Robert S. Kenning

City Clerk - Phyllis Armour City Attorney - Jon Kingsepp City Planner - Bonnie Cook City Engineer - William Killeen

Director of Public Services - Darrel Middlewood

Chief of Fire - Gary Whitener

8:05

INTRODUCTION - BASCC COORDINATOR -10-1115-84:

LOIS RYAN

Richard Sneed, President of the Birmingham Area Senior Coordinating Council (BASCC), introduced the new BASCC coordinator, Lois Ryan.

Ms. Ryan thanked the City for its support of the BASCC organization.

8:06

APPROVAL OF MINUTES - CITY COMMISSION 10-1116-84:

MEETING - OCTOBER 15, 1984 - AS SUBMITTED

Motion by Sights, supported by Kain: MOTION:

To approve the Minutes of the City Commission meeting held October 15, 1984, as submitted.

Yeas, 7 VOTE: Nays, None

8:08

PUBLIC HEARING RE: CREATION OF CENTRAL 10-1117-84:

BUSINESS HISTORIC DISTRICT - SHAIN PARK HISTORIC DISTRICT - ADOPT ORDINANCE NO. 1276

Mayor Appleford announced that this was the date and time, as advertised, for a public hearing to consider the adoption of a new Chapter 43, which new chapter will create a Central Business Historic District and a Shain Park Historic District.

Max Horton, Chairman, reviewed the report of the Historic District Commission recommending creation of the historic districts.

Larry Sherman, Chairman of the Planning Board, reviewed the Board's report recommending against the creation of the historic districts.

The City Attorney reviewed his report regarding authority for design controls.

Commissioner Hockman commented that he is employed by a Birmingham developer and questions have been raised regarding the impropriety of his conduct as a commissioner and an individual pertaining to matters before this Commission regarding property in the community; that he believes there will be no impropriety on his part in discussing and making a judgment decision which he feels is in the best interest of the City on the matters under discussion in this hearing. He added that an impropriety does not exist and that he would like to introduce a Motion so that discussion can begin; that he does not want to give the appearance of encumbering the process or tainting the discussion since properties owned by his employer will be part of that discussion, therefore, questioning his propriety in the discussion.

MOTION:

Motion by Hockman, supported by Jeske: To adopt Ordinance No. 1276 to create a Central Business Historic District and Shain Park Historic District, not including the Wabeek Building, 256 West Maple; Detroit Edison Company Building, 220 East Merrill, and the Brown Street Centre Building.

Commissioner Jeske stated that she supported the Motion since her son is also employed by the same developer and that she also did not want to give the appearance of encumbering the hearing or tainting the discussion.

MOTION:

Motion by Kain, supported by Sights: To amend the previous Motion by including all properties recommended by the Historic District Commission for discussion purposes only.

Discussion was held on whether or not discussion by Commissioners Hockman and Jeske on the properties excluded in Commissioner Hockman's Motion would constitute a conflict of interest.

The City Attorney stated that there is no conflict of interest since there is no pecuniary interest.

VOTE ON AMENDMENT: Yeas, 3 Nays, 2 (Appleford, Jensen) Abstain, Hockman, Jeske

Commissioners Hockman and Jeske abstained from voting due to a conflict of interest.

AMENDING MOTION FAILED

Discussion was held on the historical value of the buildings proposed for the district.

The following persons spoke in opposition to the creation of the Central Business Historic District: William Wetsman, owner of the Parks Building, 100-116 North Woodward; Bernard Levinson, owner of the Quarton Building, 142 West Maple; Edward Pugh, an attorney acting on behalf of a trust which owns the National Bank Building, 152-176 North Woodward; George Nahas, owner of the O'Neal Building, 106-110 South Woodward; Robert Gwynn, owner of the Johnston-Shaw Building, 112-114 South Woodward; Gay Yankee, owner of the St. Calir Edison Building, 135-159 Pierce; Paul Kurth, owner of Huston Hardware; Lloyd Smith, owner of the Blakeslee Building, 138 West Maple, and Irving Kay, owner of one of the Huston Buildings.

The following persons spoke in support of the creation of the Central Business Historic District: Karen Robinson, 679 Harmon; Christine Barnes, 216 Hawthorne, and Linda Teegarden, President of the Birmingham Historical Society.

Commissioner Kain asked if owners of designated buildings were contacted to assess their feelings regarding the designations.

The City Planner explained that the initial contact was through a report given to the Chamber of Commerce, and that notices of the Historic District Commission and City Commission hearings were sent to owners of buildings and to property owners within 300 feet of the properties.

Commissioner Miller stated that there has been an understanding in the community that this process was taking place, and that property owners should have asked questions when they learned of the proposed historic district.

VOTE: Yeas, 5 Nays, 2 (Kain, Sights)

11:10 P.M. - Meeting recessed

11:20 P.M. - Meeting reconvened

MOTION: Motion by Appleford, supported by Sights:

To add the Wabeek Building, the Detroit Edison Company and the Brown Street Centre Building properties to Ordinance No. 1276, said ordinance to read as follows:

CITY OF BIRMINGHAM

ORDINANCE NO. 1276

AN ORDINANCE TO AMEND TITLE V, CHAPTER 43, OF THE CODE OF THE CITY OF BIRMINGHAM.

THE CITY OF BIRMINGHAM ORDAINS:

Section 1. Title V, Chapter 43, Section 5.701, is hereby amended to read as follows:

- 5.701 Purposes and Definitions.
 - (1) Purposes. The purposes of this Chapter are:
 - (a) to provide for the establishment of historic districts within the City of Birmingham,
 - (b) to safeguard the heritage of the City of Birmingham by preserving districts in the City which reflect elements of its cultural, social, economic, political and architectural history,
 - (c) to stabilize or improve property values in and adjacent to such districts,
 - (d) to promote civic beautification of historic districts
 - (e) to promote the use of local history for the education. pleasure and welfare of the citizens of the City of Birmingham, State of Michigan, and the Nation.

(2) Definitions.

As used in this Chapter, the phrases set forth below shall have the meanings indicated:

(a) "Historic District" - An area of land or group of areas of land not necessarily having contiguous boundaries designated as a "historic district" by means of an ordinance adopted by the City Commission and which contains one or more landmarks and which may have within its boundaries district resourses that, while not of such historic and/or architectural significance to be designated as landmarks, nevertheless contribute to the overall visual characteristics of the landmark or landmarks located within the historic district.

- (b) "Landmark" A site, structure or natural feature designated as a "landmark" by means of an ordinance adopted by the City Commission that is worthy of historic preservation because of its historic and/or architectural significance to the City of Birmingham.
- (c) "District Resource" Any site, structure or natural feature located within an historic district that is not designated as a "landmark".
- (d) "Structure" Anything constructed or erected which requires location on or in the ground or attachment to something having location on or in the ground including but not limited to buildings, walls, fences, signs and lighting.
- (e) "Historic Preservation" The protection, rehabilitation, restoration or reconstruction of landmarks.

Section 2. Title V, Chapter 43, Section 5.702, is hereby amended to read as follows:

5.702 Historic Districts

- (1) Mill Pond District The Mill Pond District shall consist of the following described lands and landmarks in the City of Birmingham.
 - (a) Historical Park Landmark

"Willit's Northern", Lot 57

(b) Baldwin Park Landmark

Part of N.W. 1/4 of Section 36, described as follows: Bounded on north by Maple Avenue; on east by Southfield Avenue; on the south and west by "Bird's Addition" and "A. P. No. 12."

A parcel of land in the N.W. 1/4 Section 36, described as: Beginning at a point on the east line of Baldwin Avenue located N 87° 51' 25" E, 279.10 ft. along the north line of said Section 36, and S 3° 31' 35" W, 179.00 ft. along the east line of Baldwin Avenue from the northwest corner of said Section 36; thence southeasterly and upstream 50 ft. more or less along the centerline of a branch of the River Rouge to a point which is located south 3° 31' 35" W, 28.00 ft. along the east line of Baldwin Avenue, and S 61° 54' 35" E. 28.00 ft. from the point of beginning; thence S 61°

54' 35" E, 72.00 ft.; thence N 82° 44' 00"E, 120.00 ft.; thence N 3° 54' 15" E, 127.00 ft.; thence N 87° 50' 50" E, 5.33 ft.; thence N 01° 20' 40" E, 120 ft. more or less to a point on said north line of Section 36; thence N 87° 51' 25" E, 651.20 ft. along said north line of Section 36 to a point; thence S 2° 15' 41" E, 45.73 fto a point on the north line of West Maple Avenue; thence westerly along said northerly line of West Maple to the easterly line of Baldwin Avenue. Thence northerly along the easterly line of Baldwin Avenue to the point of beginning.

(c) John W. Hunter House Landmark - 500 West Maple Allen House Landmark - 556 West Maple

Beginning at a point on the south line of Section 25 which is bearing N 87° 51' 25" E, along said south line a distance of 1116.90 ft. from the southwest corner of Section 25; from said point of beginning thence N 1° 54' 25" W, 267.22 ft.; thence N 87° 51' 25" E, 301.44 ft. plus; thence S 1° 35' 30" E, 234.23 ft. plus or minus to the northerly line of Maple Avenue; thence S 87° 44' 19" W, 20.35 ft.; thence on a curve to the left with a radius of 442.25 ft., a central angle of 31° 42' 37", a long chord of 241.70 ft., which bears S 71° 53' 01" W, and an arc of 244.76 ft. to a point; thence S 56° 01' 42" W, 26.96 ft.; thence N 2° 15' 41" W, 45.73 ft.; thence S 87° 51' 25" W, 24.90 ft. plus or minus to the point of beginning.

(d) Mill Pond Landmark

Land in N.W. 1/4 of Section 36, being covered by the following description except the N 160 ft. thereof as measured on E and W lines bounded on the E by Baldwin Avenue; on the S by Maple Avenue on the W by Replat of Lots 175 to 178 of Q. L. E.; on the N by Whitehead and Mitchell Add.

Lots 1. 2, 3, 4 and Overbrook Drive of Replat of Lots 175 to 178 inclusive and part of lots 179 to 186 inclusive of Quarton Lake Estates Replat of East Park; except lands now platted in "Millrace Park" subdivision. "Waterfall Lane" subdivision, and that portion of Lot 4 lying westerly of the easterly line, as extended of said "Waterfall Lane" subdivision, and lying southerly of Lot 5 of said "Waterfall Lane" subdivision; also excepting lands being used for Maple Avenue right-of-way.

"Quarton Lake Estates" Replat of East Part of "Q.L.E. subdivision". Outlot A, except that part in Millrace Park Subdivision; also "Quarton Lakeside Subdivision" Lots 1 to 6 incl., also lots 4, 5 and 6 of "Millrace Park."

4.

(e) Village Water Works Landmark

"Assessor's Plat No. 12", Lot 7. Also "Birmingham Park Allotment Sub., "Lots 109 and 111.

(f) Chatfield-Hiram Campbell House Landmark - 460 W. Maple

'Willets Addition", all of Lot 11, also the S 20 ft. of Lot 14, except part taken for street right-of-way.

(g) Edward Baldwin House Landmark - 484 W. Maple

Lot 12 and S 16.5 ft. Lot 13 "Willets Addition" and part SW 1/4 Section 25 described as beginning at SW corner Lot 12 "Willets Addition" W 20 ft., N 133 ft., E 20 ft., S 133 ft., on W line Lot 12 and 13 to P.O.B.

(h) Edgar Lamb House Landmark - 487 Willits

N 100 ft. Lot 12, "Willets Addition" and pt. SW 1/4 Section 25 described as beginning at NW corner Lot 13 "Willets Addition", W 20 ft. on straight line, S 100 ft., E 20 ft., N 100 ft. on W line Lot 13 to P.O.B.

(i) Stickney House Landmark - 412 Willits

"Willits Northern", Lot 48

(j) Ebenezer Raynale House Landmark - 300 Warren Court

"Warrens Replat of Lot 45 and part of Lots 46 and 54 Willits Northern Add.," Lot 5.

(k) Benjamin Daniels House Landmark - 372 Harmon

"Assessor's Plat No. 17, a Replat of part of Lot 61 of Willits Northern", Lot 10.

(1) Greenwood Cemetery Landmark

111 that purcel of land in the N.W. 1/4 Section 25, described as follows: Beginning at W 1/4 corner Section 25; thence S 8° 14' E, 694.57 ft.; thence N 0° 31' E 498.45 ft.; thence N 83° 15' 30" W, 203.28 ft.; thence N 78° 34' W 487.74 ft.; thence S 1° 46' 30" W, 580.16 ft. to P.O.B.

(2) Shain Park District - The Shain Park District shall consist of all of the land within the boundaries of said Shain Park District as hereby established on the Historic District Maps which are attached hereto. The Shain Park District shall consist of the following described landmarks in the City of Birmingham.

Municipal Building Landmark - 151 Martin Street

Shain Park Landmark

Baldwin Library Landmark - 300 Merrill Street

Birmingham Community House Landmark - 380 S. Bates

United States Post Office Landmark - 322 Martin

(3) Merrill, Townsend. Brown District - The Merrill, Townsend, Brown District shall consist of the following described lands and landmarks in the City of Birmingham.

Abigail Carter House Landmark - 415 Merrill Street

"Castle Addition", Lot No.18, except that part taken for road right-of-way.

Irving House Landmark - 439 Merrill

"Castle Addition:, Lot 19

Daisy Benedict House Landmark - 535 Merrill

"Castle Addition", Lots 24 and 25

Hewitt House Landmark - 211 Townsend

"Merrill's Plat", all of Lot 115 and the easterly 35 ft. of Lot 116.

Langley House Landmark - 404 S. Bates (At Townsend)

"Merrill's Plat", Lots 121 and 122

Townsend House Landmark - 339 Townsend

"Merrill's Plat", Lot 123

Toms-Dickinson House Landmark - 464 Townsend

"Castle Addition", Lot 36

Houston-Logan House Landmark - 504-508 Townsend

"Castle Addition", Lot 34

Stewart House Landmark - 505 Townsend

"Castle Addition", Lot 43

Fall House Landmark - 523 Townsend

"Castle Addition", Lot 44 also E 1/2 vacated alley

Schuyler House Landmark - 544 Townsend

"Castle Addition", Lot 32 and W 1/2 vacated alley, also E 10 ft. of Lot 31

Cinderella Patch House Landmark - 347 W. Brown

"Assessor's Replat Torrey's, Hood's and Smith Addn.", W 60 ft. Lot 19 and 20 as measured on side lot lines.

William Bell House Landmark - 384 W. Brown

"Torrey's Addition", Lots 2, 3 and 4 exc. part taken for street widening.

(4) Bates Street District - The Bates Street District shall consist of the following described lands and landmarks in the City of Birmingham.

United Presbyterian Parsonage Landmark - 539 S. Bates

"Assessor's Replat Torrey's, Hood's and Smith Addn.", Lot 49.

Koontz House Landmark - 544 S. Bates

"Assessor's Replat Torrey's, Hood's and Smith Addn." E 120 ft. of the N 65 ft. of Lot 21.

Peck House Landmark - 571 S. Bates

"Assessor's Replat Torrey's, Hood's and Smith Add." N 1/2 of W 1/2 of Lot 52

John Hall House Landmark - 584-588 S. Bates

"Assessor's Replat Torrey's, Hood's and Smith Addn." E 120 ft. of Lot 23

Major Jones House Landmark - 607 S. Bates

Part of Lot 53 of "Assessor's Replat of part of Torrey's Addition, Hood's Addition and Smith's Addition", commencing at the Southwest corner of said Lot 53, for a point of beginning; thence N 01°09' 00" E, 86.68 ft. (previously recorded as 86.72 ft.), along the Westerly line of said Lot 53, to the Northwest corner of said Lot 53; thence S 88° 52' 03" E, 121.76 ft., along the Northerly line of said Lot 53; thence S 00° 59' 29" W, 86.70 ft. to the Southerly line of said Lot 53; thence N 88° 51' 30" W, 122.00 ft., along the Southerly line of said 53, to the point of beginning.

John W. Perry House Landmark - 651 S. Bates

"Assessor's Replat Torrey's, Hood's and Smith Add.", Lot 54.

McBride House Landmark - 668 S. Bates

'McBride Subdivision of the N 231,3 ft. of Lot 29 Wm. Torrey Addn.", Lot 8

(5) Other Non-Contiguous Districts - These districts shall consist of the following described lands and landmarks in the City of Birmingham.

Hood House Landmark - 555 Stanley

"Assessor's Replat Torrey's, Hood's and Smith Add.", Lot 9

Grooms House Landmark - 587 Stanley

"Assessor's Replat Torrey's, Hood's and Smith Add.", Lot 10

Trollop House Landmark - 536 Southfield

"Stanley and Clizbe Sub." The N'ly 13 ft. of Lot 25, said N'ly 13 ft. being 13 ft. as measured on E'ly and W'ly lot lines, also all of Lot 26.

Randall-Latham House Landmark - 1128 Southfield Road

"McCormick Subdivision", Lot 4

Daniels House Landmark - 1128 Pierce

"Place De La Miche'le Subdivision", Lot 1

Eli Wooster House Landmark - 1876 Northlawn

"Assessor's Plat No. 9", S 1/2 of the W 20 ft. of Lot 26, also S 1/2 of Lot 27

Schlaak House Landmark - 839 Knox

"H. A. Poppleton's Addition", Lot 5, Block 4

King-Argus House Landmark - 743 West Frank

"Argus Addition", Lot 19 and the easterly 25 feet of Lot 18.

Stewart-Watkins House Landmark - 146 Puritan

"Quarton Lake Estates Sub." Lot 277 exc. S 40 ft. thereof, all of Lot 278 also pt. of Lot 279 described as beginning at SE corner, thence N'ly along E line 8.0 ft.; thence W'ly parallel to S line of said Lot 52., thence SW'ly 8.50 ft. to a pt. on S line of said lot 55 ft. W of SE corner said lot, thence E'ly along S line 55.0 ft. to P.O.B.

Quarton Homestead Landmark - 1155 Quarton

A parcel of land in Section 26 described as follows: beginning at pt. at N line Section 26, said pt. being 88° 43' W, 405.87 ft. from NE corner of said Section 26. thence S 1° 30' 45" W, 229.67 ft., thence S 89° 46' 30" W, 511.36 ft., thence N 1° 51' 30" E, 242.90 ft. to N line Section 26, thence S 88° 43' E, along N line Section 26, 509.67 ft. to P.O.B.

Birmingham Grand Trunk Western Railroad Depot Landmark - 245 S. Fton

"A parcel of land located in the N 1/2 Section 31, Township of Troy (now City of Birmingham) more particularly described as: Beginning at the point on the east line of Eton Road (as relocated), said point being N 88° 16' 37" W 117.95 ft. along the E-W Section line in Maple Road (66 ft. wide) and S 34° 11' 27" F, 87.17 ft. along the easterly right-of-way line of Eton Road (50 ft. wide) extended from the N 1/4 corner of said Section 31: thence continuing S 34° 11' 27" E, 112.57 ft. along said right-of-way line: thence S 1° 59' 10" West 236.98 ft. along the east line of Eton Road; thence S 88° 20' 47" E, 245.76 ft.; thence N 33° 44' 54" W., 390.56 ft. parallel and 0.5 ft. westerly of an existing concrete retaining wall,

thence S 56° 34' 45" W, 16.90 ft., thence N 33° 36' 11" W., 57.77 ft. to the south line of Maple Road as widened for R.R.bridge (43 ft. = 1/2 R.O.W.); thence N 88° 16' 37" W., 22.56 ft. along said right-of-way; thence S 29° 04' W., 31.10 ft. along the easterly right-of-way of Eton Road as relocated to the point of beginning and containing 1.056 AC. or 45,977 sq.ft. of land, together with the Grand Trunk Western Railroad's right-of-way located immediately adjacent to and northeast of said parcel.

(6) Central Business District - The Central Business District shall consist of all of the lands within the boundaries of said Central Business District as hereby established on the Historic District maps which are attached hereto.

The Central Business District shall consist of landmarks in the City of Birmingham.

Wabeek Building Landmark - 256 W. Maple

Leonard Building Landmark - 166 W. Maple

Quarton Building Landmark - 142 W. Maple

Blakeslee Building Landmark - 138 W. Maple

Billy McBride Building Landmark - 122 W. Maple

Ford Building Landmark - 101 N. Woodward and 120 W. Maple

Erity and Nixon Building Landmark - 163-167 N. Woodward

Bell Building Landmark - 191 N. Woodward

Schlaack Building and Huston Building 1916 Landmark - 205 - 219 N. Woodward

Huston Building 1923 Landmark - 237-243 N. Woodward

National Bank Building Landmark - 152-176 N. Woodward

Wooster Building Landmark - 132-136 N. Woodward

Parks Building Landmark - 100-116 N. Woodward

Madison Building Landmark - 297-323 F. Maple

Hawthorne Building Landmark - 361 E. Maple

Shain Townhouses Landmark - 378, 386, 390 E. Maple & 112, 120, 124 Brownell

Briggs Building Landmark - 111 S. Woodward
Birmingham Theater Building Landmark - 211 S. Woodward
Ford-Peabody Mansion Landmark - 325 S. Woodward
Detroit Edison Building Landmark - 220 E. Merrill
D.U.R. Waiting Room Landmark - 138 S. Woodward
McBride Building Landmark - 124 - 128 S. Woodward
Johnston-Shaw Building Landmark - 112-114 S. Woodward
O'Neal Building Landmark - 106-110 S. Woodward
St. Clair Edison Building Landmark - 135 - 159 Pierce
Telephone Exchange Building Landmark - 148 Pierce
Bigelow-Shain Building Landmark - 115 W. Maple
Field Building Landmark - 135-141 W. Maple

Section 3. Title V, Chapter 43, Section 5.703 is hereby amended to read as follows:

5.703 Boundaries

- (1) The boundaries of the Shain Park Historic District and the Central Business Historic District are hereby established as shown on the maps which are attached hereto. Said maps with all notations, references, and other information shown thereon shall hereby be incorporated herein and shall be a part of this Chapter. Unless otherwise shown, the boundaries of these Districts shall be lot lines, and centerlines of streets or alleys or such lines extended. The boundaries of all other Historic Districts shall be as legally described in Section 5.702.
- (2) The boundaries of the Historic District may be changed from time to time so as to add lands to the District or delete lands therefrom, such changes to be made by means of an Ordinance adopted by the City Commission after giving consideration to a report and recommendation of the Planning and Historic District Commission.

Section 4. Title V, Chapter 43, Section 5.704 is hereby amended to read as follows:

5.704 Landmarks

The City Commission shall from time to time designate by Ordinance landmarks which are within an Historic District and are determined to be landmarks within the definition thereof as set forth in this Chapter, such designation to be made by the City Commission after giving consideration to a report and recommendation of the Planning and Historic District Commission.

Section 5. Title V, Chapter 43, Section 5.705 is hereby amended to read as follows:

5.705 Public Hearings and Notice

- (1) No Ordinance shall be adopted establishing or altering the boundaries of an Historic District until the City Commission has held a public hearing at which the proposed Ordinance is considered, notice of which hearing shall be given to all persons owning land within the proposed District or proposed to be added to or deleted from the District in the manner hereinafter provided as the owners of such land appear upon the tax assessment rolls of the City.
- (2) No Ordinance shall be adopted designating a landmark until the City Commission has held a public hearing at which the proposed Ordinance is considered, notice of which hearing shall be given to the owner(s) of the landmark as the owner(s) of such landmark appear upon the tax assessment rolls of the City.
- (3) The notices required by Subsections (1) and (2) above shall be given by publication at least once in a newspaper having general circulation within the City at least 15 days prior to the date of the hearing and by regular mail addressed to each owner as such address appears on the City tax assessment rolls at least seven (7) days prior to the date of the hearing.

Section 6. Title V, Chapter 43, Section 5.706 is hereby amended to reas as follows:

Historic District Review

(1) Before any construction, alteration, repair, moving or demolition affecting the exterior appearance of a landmark or district resource is made within an Historic District, other than those changes authorized in Section 5.707 below, the person proposing to construct or make such changes shall secure a Certificate of Approval from the Planning and Historic District Commission. Application for such approval may be filed with the Birmingham Planning Department. The application, together with plans pertaining thereto, shall be referred to the Planning and Historic District Commission.

It shall be the duty of the Planning and Historic District Commission to review such plans and applications and no permit shall be granted until the Planning and Historic District Commission has acted thereon as hereinafter provided.

- (2) In reviewing plans for changes to a landmark, the Planning and Historic District Commission shall give consideration to:
 - (a) the historical or architectural value and significance of the landmark and its relationship to the historical value of the surrounding area,
 - (b) the relationship of the exterior architectural or historical features of such landmark to the rest of the subject site and to the surrounding area,
 - (c) the general compatibility of the exterior design, arrangement, texture and materials proposed to be used. and

- (d) any other factor, including aesthetic, which it deems to be pertinent including:
 - (i) the preservation standards which the Planning and Historic District Commission shall adopt and maintain for landmarks in each historic district in the City.
- (3) In reviewing plans for changes to a district resource, the Planning and Historic District Commission shall determine the following:
 - (a) The site layout, orientation and location of all buildings, their relationship to one another and adjacent buildings and to open space is such as to not adversely affect the use, appearance or value of adjacent properties.
 - (b) The location and definition of pedestrian and vehicular areas are such as to not interfere with or be hazardous to pedestrian and vehicular traffic.
 - (c) The total design, including but not limited to colors and materials of all walls, screens, towers, opening windows, signs, as well as treatment to be utilized in concealing any exposed mechanical or electrical equipment, is compatible with the intent of the Urban Design Plan or such future modifications of that Plan as may be approved by the Commission of the City, and
 - (d) The standards which the Planning and Historic District Commission shall adopt and maintain for district resources in each historic district in the City.
- (4) The review of plans for changes affecting the exterior appearance of a landmark shall be based upon the Secretary of the Interior's "Standards for Rehabilitation" as follows:

- (a) Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.
- (b) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
- (c) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.
- (d) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
- (e) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
- (f) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
- (g) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.

- (h) Every reasonable effort shall be made to protect and preserve archeological resources affected by, or adjacent to any project.
- (i) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size. scale, color, material, and character of the property, neighborhood or environment.
- (j) Wherever possible, new additions or alterations to structures shall be done in such a manner that that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.
- (5) The Planning and Historic District Commission shall pass only on exterior features of a landmark or district resource and shall not consider interior arrangements, except for public resources specifically authorized to do so by the City Commission. The Planning and Historic District Commission shall disapprove applications only on the basis of the considerations set forth in subsections 5.706(2), (3) and (4) above.
- (6) In case of an application for repair or alteration affecting the exterior appearance of a landmark or district resource or for its moving or demolition which the Planning and Historic District Commission deems so valuable to the City, State or Nation that the loss thereof will adversely affect the public purpose of the City, State or Nation, the Planning and Historic District Commission shall endeavor to work out with the owner an economically feasible plan for preservation of the landmark or district resource.
- (7) An application for repair or alteration affecting the exterior appearance of a landmark or for its moving or demolitishall be approved by the Planning and Historic District Commission if any of the following conditions prevail and if the Planning and Historic District Commission determines that the proposed changes will materially improve or correct these conditions:
 - (a) the landmark constitutes a hazard to the safety of the public or the occupants
 - (b) the landmark is a deterrent to a major improvement program which will be of substantial benefit to the community

- (c) retention of the landmark would cause undue financial hardship to the owner
- (d) retention of the landmark would not be in the interest of the majority of the community.
- (8) The Planning and Historic District Commission shall file with the Building Department its Certificate of Approval or rejection of the application submitted to it for review. The Planning and Historic District Commission shall transmit a record of its action to the applicant and in the event of rejection, the Planning and Historic District Commission shall set forth the reasons for rejection. No work shall begin until the Certificate granting approval is filed with the Building Department. In the event the application is rejected, the Building Official shall not issue any required permits. The failure of the Planning and Historic District Commission to act within sixty (60) days after the date on which the application was filed with the Planning Department shall be deemed to constitute approval unless the applicant and the Planning and Historic District Commission mutually agree to an extension of such period.
- (9) In instances where a landmark or district resource is located in a zone district requiring site plan review. design review or exterior appearance review under Chapter 39 of the City Code, such review shall not be required or undertaken.

Section 7. Title V, Chapter 43, Section 5.707 is hereby amended to read as follows:

5.707 Planning Department Approval

Departmental approval of changes within a district is authorized in those instances where the proposed work will have a minimal impact on the historical significance of the landmarks and district resources therein. The Planning and Historic District Commission shall adopt and maintain a list of those changes which require only Planning Department approval and adopt standards for those changes. Examples of changes requiring only Department approval include painting a previously painted surface to a similar color, changing or adding mechanical equipment that is not readily visible to the public, changes in the public right-of-way, and maintenance or repair of buildings or structures.

Section 8. Title V, Chapter 43, Section 5.708 is hereby amended to read as follows:

5.708 Maintenance of Historic Landmarks and District Resources

- Nothing in this Chapter shall be construed to prevent ordinary maintenance or repair of any landmark or district resource.
- (2) The exterior of every landmark or district resource shall be so maintained by the owner or person in control thereof so as to preserve the character of its District, promote the purposes of this Chapter and so as not to have a detrimental effect upon the District.
- (3) Neglect of a landmark resulting in serious health or safety hazards shall constitute demolition by neglect and shall be a violation of the Birmingham City Code.

Section 9. Title V, Chapter 43. Section 5.709 is hereby amended to read as follows:

5.709 Grants and Gifts.

The City Commission may accept grants from the State of Michigan or from the Federal Government for historical restoration purposes. It may accept public or private gifts for historical purposes. It may make the Planning and Historic District Commission its duly appointed agent to accept and administer grants and gifts for historical preservation purposes.

Section 10. Title V, Chapter 43, Section 5.710 is hereby added to read as follows:

5.710 Acquisition of Property.

If all efforts by the Planning and Historic District Commission to preserve an Historic landmark fail, or if it is determined by the Historic District Commission and the Historical Board that public ownership is most suitable, the City Commission, if deemed to be in the public interest, may acquire such property using public funds, gifts for historical purposes, grants from the State or Federal governments for acquisitions of historic properties or proceeds from revenue bonds issued for historical preservation purposes. Such acquisitions may be made after receiving and considering the recommendations of the Planning and Historic District Commission and the Historical Board. Commencing January 1, 1977, the Planning and Historic District Commission shall have responsibility for the maintenance of publicly owned historic structures using its own funds, if not specifically carmarked for other purposes, or those public funds committed

for this use by the City Commission, unless specifically directed to delegate maintenance of any such structure to the Historical Board by the City Commission. An account of all receipts and expenditures shall be maintained which shall be a public record and property of the City.

Section 11. Title V, Chapter 43, Section 5.711 is hereby added to read as follows:

5.711 Recording Notice of District Designations.

Within thirty (30) days after any land has been designated under this Chapter as part of an Historic District or has been removed from such a designation by the City Commission, the City Manager shall cause a document to be recorded with the Oakland County Register of Deeds describing such land and indicating that it has been included within or deleted from an Historic District pursuant to the provisions of the Birmingham City Code.

Section 12. Title V, Chapter 43, Section 5.712 is hereby added to read as follows:

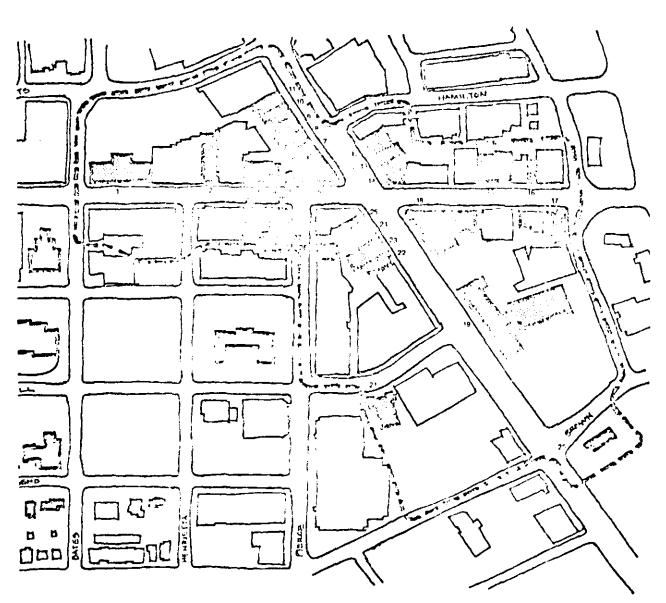
5.712 Appeals

Any persons jointly or severally aggrieved by a decision of the Planning and Historic District Commission shall have the right of appeal to the Board of Zoning Appeals or to Circuit Court.

DEDAINED this Commission of	<u>22nd</u> day the City of	of <u>October</u> Birmingham.	· · · · · · · · · · · · · · · · · · ·	1984, by	the
				Mayor	
BBC/sf				Clerk	

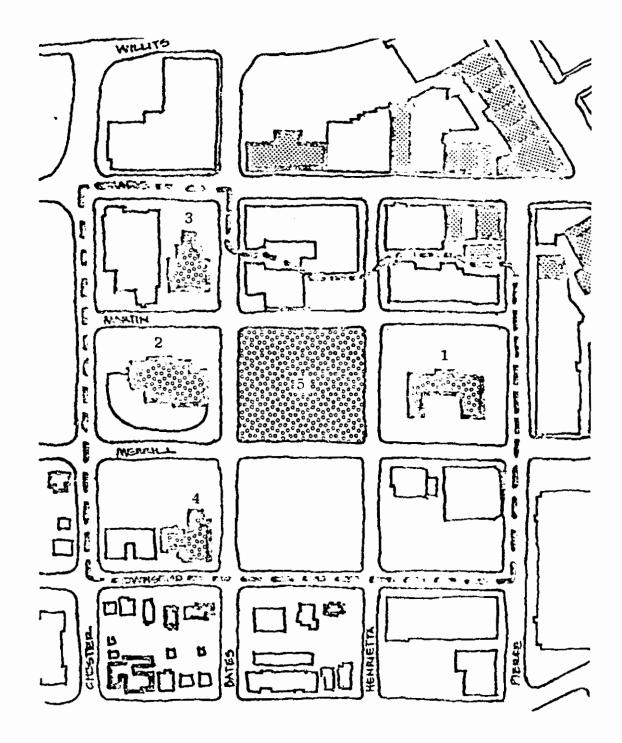
BBC/sf Rev. 10/2/84

VOTE: Yeas, 4 Nays, 1 (Kain) Abstain, Hockman, Jeske Commissioner Hockman and Jeske abstained from voting because of a conflict of interest.



- 1. Wabeek Building 255 W. Maple
- 2. Leonard Building 166 W. Maple
- 3. Quarton Building 142 W. Maple
- 4. Blakeslee Building 138 W. Maple
- 5. Billy McBride Building 122 W. Maple
- 6. Ford Building 101 N. Woodward and 120 W. Maple
- 7. Erity and Nixon Building 163-167 N. Woodward
- 8. Bell Building 191 N. Woodward
- 9. Schlanck Building 205-219 N. Woodward
- 10. Huston Building 1916 205-219 N. Woodward
- II. Huston Building 1923 237-243 N. Woodward
- 12. National Bank Ruilding 152-176 N. Woodward
- 13. Mooster Building 132-136 N. Woodward
- 14. Parks Building 100-116 N. Woodward
- 15. Madison Building 297-323 E. Maple
- 16. Hawthorne Building 361 E. Maple
- 17. Shain Townhouses 378, 386, 390 E. Maple & 112, 120, 124 Brownell
- 18. Briggs Building 111 S. Woodward
- 19. Birmingham Theatre Building 211 S. Woodward
- 20. Ford-Peabody Mansion 325 S. Woodward
- 21. Detroit Edison Company ~ 220 E. Merrill
- 22. D.U.R. Waiting Room 138 S. Woodward
- 23. McBride Building 124-128 S. Woodward
- 24. Johnston-Shaw Building 112-114 S. Woodward
- 25. O'Neal Building 106-110 S. Woodward
- 26. St. Clair Edison Building 135-159 Pierce
- 27. Old Telephone Exchange Building 148 Pierce
- 28. Bigelow-Shain Building 115 W. Maple
- 29. Field Building 135-141 W. Maple

Shain Park Historic District



- 1. Municipal Building 151 Martin
- 2. Baldwin Public Library 300 Merrill
- 3. United States Post Office 322 Martin
- 4. Birmingham Community House 380 South Bates
- Shain Park Bounded by Martin, Merrill, Bates and Henrietta

11:26

10-1118-84:

PUBLIC HEARING - COMBINE PLANNING BOARD AND HISTORIC DISTRICT COMMISSION INTO PLANNING AND HISTORIC DISTRICT COMMISSION -ADOPT ORDINANCE NUMBERS - 1277, 1278, 1279 AND 1280

Mayor Appleford announced that this was the date and time, as advertised, for a public hearing to consider amendments to the Code of the City of Birmingham to combine the existing Planning Board and Historic District Commission into one combination Planning and Historic District Commission which would have all of the duties and responsibilities of the existing two groups.

The City Planner reviewed her report re: Creation of a New Planning and Historic District Commission.

Larry Sherman, Chairman of the Planning Board, reviewed his report recommending that the Planning Board and Historic District Commission not be combined into one board.

Commissioner Jensen stated that he questioned the advisability of combining the two boards.

Referring to Item No. 3 in Mr. Sherman's report, Commissioner Jeske stated that she felt that the Special Land Use process should be retained by the City Commission. She added that she supported a two-step process for the Certificate of Approval, but that the first step should be informal.

Mr. Tomasik commented that flexibility should be granted to the board as to whether one or two reviews are required.

Commissioner Jeske suggested that the Historical Board might assume the research of historical residences.

Christine Bernhard, 1253 Yosemite, and Mildred Wesch, 1550 Lakeside, spoke in opposition to combining the two boards.

George Nahas, owner of the O'Neal Building and a Birmingham resident, spoke in support of combining the two boards.

MOTION:

Motion by Hockman, supported by Jeske: To adopt Ordinance No. 1277 as follows:

ORDINANCE NO. 1277

AN ORDINANCE TO AMEND TITLE I, CHAPTER 3, OF THE CODE OF THE CITY OF BIRMINGHAM

THE CITY OF BIRMINGHAM ORDAINS:

Title I, Chapter 3, Section 1.114 is hereby amended to read as follows:

1.114. Planning Department. The Planning Department shall be headed by the Planning Director who shall make the necessary studies and surveys of matters relating to City growth and development, advise the Manager as to the implimentation of the City plan, furnish technical advice and assistance in planning and

zoning matters and furnish such information and data to the City Planning Board AND HISTORIC DISTRICT COMMISSION as it may require in the performance of its duties and functions.

ORDAINED this 22nd day of October, 1984, by the Commission of the City of Birmingham.

ROBERT W. APPLEFORD MAYOR

PHYLLIS ARMOUR CITY CLERK

VOTE: Yeas, 4 Nays, 3 (Jensen, Kain, Sights)

MOTION: Motion by Hockman, supported by Jeske: To adopt Ordinance No. 1278 as follows:

ORDINANCE NO. 1278

AN ORDINANCE TO AMEND SECTIONS 5.32; 5.40; 5.48; 5.57; 5.66; 5.76; 5.81; 5.86; 5.96; 5.105; 5.114; 5.123; 5.132; 5.250 AND SUB-SECTIONS 5.16(1); 5.24(1),(2),(3),(5),(9), (11); 5.58(3),(8); 5.67(1); 5.102(6); 5.124 (2); 5.188(1); 5.190(6); 5.191(2),(3),(3a), (3b), (3c), (3d), (4b), (5), (6a), (6b); 5.192 (2), (3ai), (3aiv), (3b), (3c), (3d), (4), (5); 5.193(2a), (4); 5.194(8b); 5.205(2ci); 5.215 (2), (3f), OF TITLE V, CHAPTER 39, OF THE CODE OF THE CITY OF BIRMINGHAM.

THE CITY OF BIRMINGHAM ORDAINS:

Section 1. The names "City Planning Board" "Planning Board" or "the Board" are hereby amended to read "Planning and Historic District Commission" in the following:

Subsections 5.16(1); 5.24(1),(2),(3),(5),(9),(11)
Sections 5.32; 5.40; 5.48; 5.57
Subsections 5.58(3),(8)
Section 5.66
Subsection 5.67(1)
Sections 5.76; 5.81; 5.86; 5.96
Subsection 5.102(6)
Sections 5.105; 5.114; 5.123
Subsection 5.124(2)
Section 5.132
Subsections 5.188(1); 5.190(6); 5.191(3),(3a) (3b),(3c), (3d),(4b),(5),(6a),(6b); 5.192(2),(3ai),(3aiv),(3b),(3c), (3d),(4),(5); 5.193(4); 5.194(8b); 5.205(2ci); 5.215(2), (3f)
Section 5.250

- Section 2. Subsection 5.191(2) is hereby amended to read as follows:
 - (2) Developments requiring site plan review. EXCEPT FOR PROPERTIES LOCATED WITHIN HISTORIC DISTRICTS DESIGNATED UNDER CHAPTER 43 OF THE CITY CODE, the following PROPERTIES AND types of developments require site plan review:

- (a) Single family cluster developments
- (b) Accessory buildings in all zone districts except single family
- (c) Attached single family residential (R-8)
- (d) Two family residential (R-4)
- (e) Multiple family residential (R-5, R-6, R-7)
- (f) Neighborhood business (B-1)
- (g) General business (B-2)
- (h) Office-residential (B-3)
- (i) Business-residential (B-4)
- (j) Office (0-1)
- (k) Office commercial (0-2)
- (1) Parking (P) and all off-street parking facilities in any zone district except in a district zoned single family residential when the area thereof accomodates three (3) or less vehicles.

Section 3 Subsection 5.193(2)(a) is hereby amended to read as follows:

(a) In instances where Design Review is required by the provisions of Section 5.192 OR A CERTIFICATE OF APPROVAL IS REQUIRED BY CHAPTER 43, a permit shall not be required, but the Planning Board AND HISTORIC DISTRICT COMMISSION, prior to authorizing the issuance of the building permit pursuant to Section 5.192(5), shall first determine that the information required to be submitted by this section has been received and that provisions of this section have been fulfilled.

ORDAINED this 22nd day of October, 1984, by the Commission of the City of Birmingham.

ROBERT W. APPLEFORD MAYOR

PHYLLIS ARMOUR CITY CLERK

VOTE: Yeas, 4 Nays, 3 (Jensen, Kain, Sights)

MOTION: Motion by Hockman, supported by Jeske:
To adopt Ordinance Number 1279 with revisions suggested by
the Planning Board to Section 5.405 and Section 5.406.

MOTION AND SUPPORT WITHDRAWN

MOTION: Motion by Hockman, supported by Jeske:
To adopt Ordinance Number 1279 with revision suggested by
the Planning Board to Section 5.406 as follows:

ORDINANCE NO. 1279

AN ORDINANCE TO AMEND TITLE V, CHAPTER 40, OF THE CODE OF THE CITY OF BIRMINGHAM.

THE CITY OF BIRMINGHAM ORDAINS:

Section 1. The title of Chapter 40, is hereby amended to read as follows:

CHAPTER 40 PLANNING AND HISTORIC DISTRICT COMMISSION

Section 2. Section 5.401 is hereby amended to read as follows:

5.401. Planning and Historic District Commission

There is hereby created the Birmingham Planning and Historic District Commission which shall consist of seven (7) members whose residences are located in the City of Birmingham. Members shall be appointed by the City Commission for terms of office of three (3) years except that two (2) members of the first Commission shall be appointed to serve for the term of one (1) year, two (2) for the term of two (2) years and three (3) for a term of three (3) years. All members shall hold office until their successors are appointed. Members of the Planning and Historic District Commission shall be eligible for reappointment. A vacancy occuring in the membership of the Planning and Historic District Commission for any cause shall be filled by a person appointed by the City Commission for the duration of the unexpired term.

At least two (2) members of the Planning and Historic District Commission shall be appointed from a list of citizens submitted by a duly organized and existing preservation society or societies, at least one (1) member shall be an architect duly registered in this state, if such person is available for appointment (at least one (1) member shall be an owner of property in one of the Historic Districts, if such person is available for appointment) and the other members shall represent insofar as possible, (the legal profession, the financial or real estate professions, and planning or design professions).

All members of the Planning and Historic District Commission shall serve without compensation. The City Manager, City Engineer and City Planner or the authorized representatives of any of them, shall be members ex-officio of the Planning and Historic District Commission, and shall have all rights of membership thereon except the right to vote.

Section 3. Section 5.402 is hereby amended to read as follows:

5.402. Removal.

Members of the Planning and Historic District Commission may, after a public hearing, be removed for cause.

Section 4. Section 5.403 is hereby amended to read as follows:

5.403. Organization and Meetings.

The Planning and Historic District Commission shall, from its appointed members, elect a chairman and a vice-chairman whose terms of office shall be fixed by the Planning and Historic District Commission. The chairman shall preside over the Planning and Historic District Commission and shall have the right to vote. The vice-chairman shall, in the case of the absence or disability of the chairman, perform the duties of the chairman. The City Planner, or his or

her authorized representative shall act as secretary of the Planning and Historic District Commission and shall keep a record of all of its proceedings.

At least four (4) members of the Planning and Historic District Commission shall constitute a quorum for the transaction of its business. The Planning and Historic District Commission shall adopt rules for the transaction of its business, which shall provide for the time and place of holding regular meetings. The Planning and Historic District Commission shall provide for the calling of special meetings by the chairman or by at lease two (2) members of the Planning and Historic District Commission. The Planning and Historic District Commission shall adopt rules for the transaction of its business, and shall keep a full and complete record of its resolutions, transactions, findings and determinations, which record shall be available to the City Commission and to the public upon request.

All meetings of the Planning and Historic District Commission shall be open to the public and any person or his duly constituted representative shall be entitled to appear and be heard on any matter applicable to the business at hand before the Planning and Historic District Commission makes its decision.

The concurring affirmative vote of four (4) members of the Planning and Historic District Commission shall be required for approval of plans before it for review or for the adoption of any resolution, motion or other action by the Planning and Historic District Commission.

Section 5. Section 5.404 is hereby amended to read as follow:

5.404. Assistance.

The Planning and Historic District Commission may call upon the City Manager for such services and data by the various departments as it may require. The Planning and Historic District Commission may recommend to the City Commission the securing of such professional and consulting services as it may require, provided, however, that no expenditures of funds shall be made, or contracts entered into for providing such professional or consulting services, unless the same shall first be approved and authorized by the City Commission.

Section 6. Section 5.405 is hereby amended to read as follows:

5.405. Duties.

It shall be the function and duty of the Planning and Historic District Commission to advise the City Commission in regard to the proper development of the City of Birmingham. The Planning and Historic District Commission is authorized to advise with and cooperate with the planning, historic district and legislative bodies of other governmental units in any area outside the boundaries of the City of Birmingham. The Planning and Historic District Commission is authorized to prepare a recommendation for the physical development of the municipality, either in its entirety, or in part. Such recommendation, together with accompanying maps, plats,

charts and descriptive matter, shall show the Planning and Historic District Commission suggestions for the development of such territory. Said Planning and Historic District Commission is also authorized to recommend for the guidance of the City Commission, amendments to the City Code relating to the control of the height, area, bulk, location and use of buildings Said commission is also authorized to and premises. recommend for the guidance of the City Commission, amendments to the City Code relating to the control and development of lands within Birmingham's historic districts. The Planning and Historic District Commission may from time to time, amend, extend or add to such recommendations, and the same shall be made with the general purpose of guiding and accomplishing a coordinated, adjusted and harmonious development of the municipality and its environs. The Planning and Historic District Commission may hold such public meetings and/or hearings from time to time, as it may deem advisable or necessary in connection with the proper performance of its functions hereunder.

Not later than the first day of April in each year, the Planning and Historic District Commission shall prepare and submit to the City Manager, a tentative outline of its program for the ensuing year. Joint meetings of the City Commission and of the Planning and Historic District Commission, shall be held at least quarterly at a time to be designated by the Mayor, and it shall be the duty of the Mayor to call such meeting in accordance with the provisions hereof.

Section 7. Section 5.406 is hereby amended to read as follows:

5.406. Reviews and Recommendations.

The Planning and Historic District Commission shall have the responsibility for Site Plan Review, Design Review and Exterior Appearsance Review as outlined in Chapter 39 of the City Code. The Planning and Historic District Commission shall have the responsibility to review and issue Certificates of Approval or rejection for changes within Birmingham's historic districts. It shall be the function of the Planning and Historic District Commission to pass upon all matters referred to it by the City Commission and to give to the City Commission the benefit of its judgement with relation to such matters so referred. Matters so referred may include, but not be restricted to, requests for change of zoning, request for closing, opening or altering a street, or an alley, requests for issuing building permits, and any other matters which bear relation to the physical development or growth of the municipality. When any recommendation has been made by the Planning and Historic District Commission, the same shall be referred to the City Commission or other appropriate City boards.

Section 8. Section 5.407 is hereby deleted.

ORDAINED this 22nd day of October, 1984, by the Commission of the City of Birmingham.

VOTE: Yeas, 4 Nays, 3 (Jensen, Kain, Sights)

MOTION: Motion by Hockman, supported by Jeske:
To adopt Ordinance Number 1280 as follows:

ORDINANCE NO. 1280

AN ORDINANCE TO AMEND TITLE VIII, CHAPTER 79, SECTION 8.4(113.10) OF THE CODE OF THE CITY OF BIRMINGHAM.

THE CITY OF BIRMINGHAM ORDAINS:

Title VIII, Chapter 79, Section 8.4(113.10) is hereby amended to read as follows:

113.10. Planning Board AND HISTORIC DISTRICT COMMISSION APPROVAL.

Each application for a permit to erect or remodel a building within the City of Birmingham may, at the discretion of the Building Official, be referred to the Planning AND HISTORIC DISTRICT COMMISSION for review. All plans for buildings, other than single family residences shall be submitted to the Planning AND HISTORIC DISTRICT COMMISSION by the Building Official prior to issuance of a permit.

ORDAINED this 22nd day of October, 1984, by the Commission of the City of Birmingham.

ROBERT W. APPLEFORD MAYOR

PHYLLIS ARMOUR CITY CLERK

VOTE: Yeas, 4 Nays, 3 (Jensen, Kain, Sights)

MOTION: Motion by Hockman, supported by Jeske:
To designate December 1, 1984, as the effective date for the foregoing ordinances.

VOTE: Yeas, 7 Nays, None

MOTION: Motion by Hockman, supported by Jeske:
To request the Birmingham Historical Society to provide a
list of nominees for the newly created Planning and Historic
District Commission, with resumes for each nominee, said
list to be submitted within two weeks, and to urge that the
list contain more than two names.

VOTE: Yeas, 7 Nays, None

11:35

10-1119-84: COMMUNICATIONS RE: PROPOSED HISTORIC DISTRICTS

Communications regarding the proposed historic districts were received from the following: Michigan History Division of the Department of State in support of the historic districts; Robert Gwynn, in opposition to the Central Business Historic District; Charles Clippert, on behalf of Maplewood Associates, in opposition to the Central Business Historic District.

11:35

10-1120-84: LEONARD MAZOR - GRIEVANCE RE: SERGEANT PROMOTIONS - JOSEPH SEDANO/TRACY MAYES

Communication dated October 18, 1984, received from Leonard Mazor, Attorney, advising that Joseph Sedano and Tracy Mayes withdrew their grievance on sergeant promotions scheduled for hearing on October 22, 1984.

11:35

10-1121-84: MEETING OPEN TO THE PUBLIC

William Brownfield, Managing Director of the Chamber of Commerce, invited City Commissioners and City Department Administrators to a dedication of the Chamber Flag Pole on October 29, 1984, at 10:00 A.M.

11:37

10-1122-84: RESIDENTIAL LEAF COLLECTION

Report received from the Director of the Department of Public Services and the City Manager re: Residential Leaf Collection.

11:37

10-1123-84: BID AWARD - PURCHASE OF FERTILIZER

MOTION: Motion by Kain, supported by Sights:

To receive the report of the Director of the Department of Public Services and the City Manager recommending that the bid for purchase of fertilizer for application in City parks and Greenwood Cemetery be awarded to the low bidder, L and E Distributors, in the amount of \$2,461.20; to concur in the recommendation as submitted.

VOTE: Yeas, 7 Nays, None

11:37

10-1124-84: BID AWARD - LARGE TREE PURCHASES

MOTION: Motion by Jeske, supported by Hockman:

To receive the report of the Director of the Department of Public Services and the City Manager recommending that large street trees requested by residents for fall or spring planting be purchased from low bidders as follows:

Wade & Gatton Nurseries, Belleville, Ohio:

2	Tulippoplar 2 1/2-3" B & B @	@	\$100.	\$ 200.
	Tulippoplar 4" B & B		\$250.	500.
	Emerald Queen Norway Maple 4 1/2-5" B&B	@	\$250.	1500.
3	Emerald Queen Norway Maple 3 1/2-4" B&B	@	\$150.	450.
1	Marshall's Seedless Green Ash 5" B&B	0	\$300.	300.
4	Bowhall Red Maple 5" B&B	@	\$250.	1000.
1	Shademaster Honeylocust 4 1/2-5" B&B	6	\$2 50.	<u>250.</u>
		т	ntal	\$4200.

George Yount Nursery, Oak Park, Michigan

1 Gerling Red Maple 3-3 1/2" B & B @ \$150. \$ 150.

VOTE: Yeas, 7 Nays, None

11:38

10-1125-84: ACLU VS CITY OF BIRMINGHAM

MOTION: Motion by Kain, supported by Jeske:
To receive the report of the City Attorney re: ACLU vs City

of Birmingham; to grant permission to the American Jewish Congress to file an amicus curiae in support of the appellees in the aforementioned matter.

VOTE: Yeas, 7 Nays, None

11-38

10-1126-84: POLICIES RE: ISSUANCE OF MONTHLY

PARKING PERMITS

MOTION: Motion by Hockman, supported by Miller:

To receive the report of the Advisory Parking Committee recommending that a deposit of \$20.00 be required from persons wishing to be on a waiting list for City parking facilities, said deposit to be refunded upon cancellation of the permit or withdrawal from the waiting list, or to be forfeited upon non-payment of the monthly fee, and that the deposit be effective immediately for new permit holders and new waiting list applicants, and effective January 1, 1985, for all current permit holders and those now on waiting lists; that a \$5.00 replacement fee be charged for a lost or damaged magnetic parking card; to concur in the recommendation as submitted.

Nays, None Abstain, Kain VOTE: Yeas, 6

Commissioner Kain abstained from voting because of a conflict of interest.

Motion by Kain, supported by Sights: MOTION:

To concur in the recommendation of the Advisory Parking Committee that the policy of issuing permits to individuals only be reaffirmed, and that existing permits be converted to an individual basis.

MOTION: Motion by Appleford, supported by Sights: To table the previous Motion for one week.

> Yeas, 6 Nays, 1 (Jensen) VOTE:

APPROVAL OF WARRANTS 10-1127-84:

MOTION:

Motion by Miller, supported by Sights: That the Warrant List dated October 18, 1984, less payment of \$329.90 to Muellers, and less payment of \$625.00 to Thornton and Grooms, for an amended amount of \$358,413.31, having been audited and approved by the Director of Finance,

be approved for payment.

Nays, None VOTE: Yeas, 7

12:46

10-1128-84: GENERAL BUSINESS

Motion by Jeske, supported by Miller: MOTION:

To schedule a Closed Meeting for November 12, 1984, at 7:00 P.M., in the Conference Room, to discuss labor

negotiations.

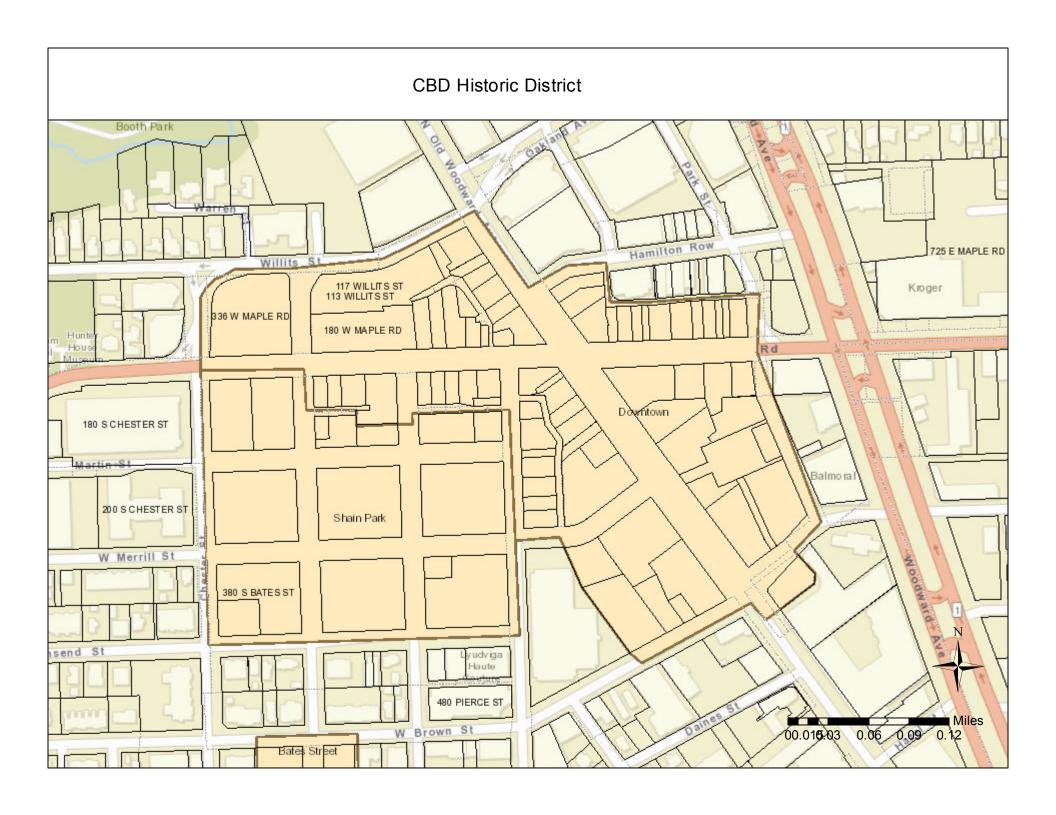
VOTE: Yeas, 7 Nays, None

Motion by Commissioner Jeske to adjourn MOTION:

Meeting adjourned at 12:47 A.M., Tuesday, October 23, 1984.

Phyllus Armour

City Clerk



JOHN DZIURMAN ARCHITECTS Ltd. CONSULTING HISTORIC ARCHITECT

REVIEW AND HISTORIC EVALUATION REPORT APPLICATION TO DE-DESIGNATION AND DEMOLITION OF THE HAWTHORNE BUILDING (HISTORIC NAME) 361 E. MAPLE BIRMINGHAM, MICHIGAN

INTRODUCTION

Dickinson Wright PLLC engaged John Dziurman Architects Ltd., to undertake a Review and Historic Evaluation Report relating to the Opposition to Application to De-Designate/Remove 361 E. Maple, Birmingham, Michigan, ("Hawthorne Building") as a historic contributing Landmark building in the Central Business Historic District in downtown Birmingham.

Our Review and Historic Valuation Report was for the purpose evaluating the City's initial inclusion of the Hawthorne Building under the City's historic district ordinance and to evaluate the criteria governing the review of the pending application to eliminate the Hawthorne Building as a historic district under Section 127-5 of the City's Code.

In conducting our review we examined records of the Birmingham Historic District Study Committee in 1981 and the records of the Birmingham City Commission between 1981-84 & 2017, conducted a site visit to ascertain the current condition of the Hawthorne Building and reviewed the records, documents and minutes with regard to current Birmingham Historic District Study Committee review of the pending application to eliminate the Hawthorne Building as designated historic district.

BACKGROUND

Mr. Mrs. Melvin Kaftan, are owners and residents of the property directly east of the Hawthorne Building and , oppose the de-designation of this historic property and have requested that the Birmingham Historic District Study Committee ("BHDSC") recommend to the City Commission that the de-designation application be denied.

Mr. and Mrs. Kaftan have asserted and I have confirmed in my review the following:

- The Hawthorne Building had historic value as required by City Code when it was originally designated as a historic district;
- That the historic value of the Hawthorne Building has not diminished since its historic designation and that such historic value and purpose merits retention as a historic district under the City Code.

When the Kaftan's purchased the adjoining property they did so knowing that the Hawthorne Building was in a historic district and designed and constructed their building which includes their personal residence based upon such designation. Accordingly, elimination of the Hawthorne Building has a historic district will not only result in the loss of valuable historic resource, but will result in development of 361 E. Maple in a manner

inconsistent with the design and use of the Kaftan building which is their home.

At all times the Kaftans have been willing and able to purchase the Hawthorne Building for same price as the current owner and attempted to do so before it was purchased by the current owner.

As residents in this area of the City, the Kaftans have been advised that other owners of similarly historically designated buildings will seek elimination of their buildings from the historic district if the pending de-designation application is granted.

Along with the pending de-designation application, it is Kaftan's understanding that the current owner of the Hawthorne Building has submitted an application to the Planning Board requesting to demolish the Hawthorne Building as part of a redevelopment proposal.

REVIEW OF DE-DESIGNATION APPLICATION BY THE CITY OF BIRMINGHAM

The process for removing designation of a property and/ or structure as a contributing historic resource and from the historic district is outlined in section 127-5 of the City Code. The first step in the process which has occurred is for the City Commission to pass a resolution directing the BHDSC to commence with the creation of a study committee report as outlined in section 127-4 of the City Code. That process has occurred and the BHDSC has been meeting for a number of months reviewing the application and was considering a recommendation to deny the application.

Specifically, at the BHDSC November 16, 2017 meeting, the BHDSC presented their report – "361 E. Maple Birmingham Historic Resource Report from the Historic District Study Committee", and recommended not to support the de-listing of the Hawthorne Building for the following reasons:

- De-listing the building puts it at risk i.e. changes to historic features, demolition, etc.;
- The building was originally designated following all Federal, State and Local guidelines;
- There have been no changes to the building since its designation in 1984 and maintains its character as a pristine example of 1920's commercial architecture in downtown Birmingham;
- The building is located on a street with other historic properties and is within the Historic Central Business District and contributes to the history and character of the City;
- The Birmingham community needs to maintain its historic structures for future generations; and
- De-listing an asset based on the potential for demolition and redevelopment, does not serve the greater good of the community.

Simply stated, it appears that to date, the BHDSC was of the opinion that the criteria for dedesignation listed in Chapter 127 of the City Code was not satisfied since:

- 1. The Hawthorne Building as a historic district has not lost those physical characteristics that caused the establishment/creation of the district in 1984.
- 2. The Hawthorne Building as a historic district remains significant in the manner previously defined.
- 3. The designation of the Hawthorne Building as a historic district complied with proper procedure.

REVIEW OF CRITERIA

1. The historic district has not lost those physical characteristics that enabled the establishment of the district.

The property at 361 E. Maple remains virtually unchanged from the condition it was in when designated in 1983. This is demonstrated by historic and contemporary photographs. It is decorated with a sign band that is defined by patterned brick and limestone. The parapet has a small pediment and limestone urns at the party walls. It is believed that the pressed metal store front is original.

In addition, since the creation of the CBD Historic District, all exterior changes to the contributing and non-contributing resources have been reviewed by the Historic District Commission. Any proposed change to a resource in the district has been measured against the Secretary of the Interior's standards for rehabilitation and guidelines for rehabilitating historic buildings (attached). The Standards for Rehabilitation address the most prevalent treatment. "Rehabilitation" is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values". Accordingly, the historic character of the district at large has not been altered in such a way that would eliminate the physical characteristics that enable the establishment of the district.

2. The historic district remains significant in the manner as previously defined.

Several factors were used in determining whether a building has sufficient historic value to merit classification as a "landmark." First, the history of the building, its past occupants and its significance to the development of Birmingham were evaluated. The age, condition and potential for restoration were architecture and uniqueness of each structure was evaluated. At the time, the Historic District Study Committee determined that 29 structures in central Birmingham were worthy of special treatment. Although not every structure met all of the above criteria, each structure given "landmark" designation was determined by the Commission to have one or more of the elements that made it worthy of designation. The property at 361 E. Maple was selected as a contributing resource as it was a good example of a small store design from the 1920's with patterned brick and limestone. The parapet has a slight pediment and limestone urns at the party walls. Although the structure is simple and conservative, it is in excellent condition. The fact that it also maintained it original condition made it a valuable visual anchor in the preservation of the north side of E. Maple. The architectural significance cited in 1983 is as evident today as it was at the time.

3. The historic district was properly established.

The procedures followed in the designation of the Central Business District Historic District were established in chapter 127 of the City Code pursuant to Public Act 169 of 1970. In 1980 the City Commission appointed the Historic District Commission to serve as a Historic District Study Committee to research and make a recommendation regarding the historic value of buildings in central Birmingham as required by chapter 127 of the City Code. As documented by the committee members at the time, the research was conducted by interviewing Birmingham "old-timers" who had first-hand knowledge of the history of many buildings, reviewing materials at the Baldwin Library including reading issues of the Birmingham Eccentric, researching City assessing and building records, examining recorded data from Oakland County and reviewing published material from various other resources. The selection of 361 E. Maple for historical designation in 1983 as a part of the Central Business District Historic District was done after careful review and evaluation in compliance with the required procedures.

On October 22, 1983, the Birmingham City Commission adopted Ordinance No. 1276 amending the City Code adding Chapter 43 of the Birmingham City Code to establish the Central Business District Historic District and the Shain Park Historic District.

Recommendation Against De-Designation

In 1970, the Michigan State Legislature declared historic preservation to be a public purpose. By enacting Public Act 169, the legislature officially recognized that historic preservation does all of the following:

- A. Safeguards the heritage of the community by preserving a district which reflects elements of its cultural, social, economic, political or architectural history;
- B. Stabilizes and improves property values in such districts;
- C. Fosters civic beauty;
- D. Strengthens local economy; and
- E. Promotes the use of historic districts for the education, pleasure and welfare of the citizens of the community and of the State.

The Hawthorne Building is a valuable example of a 1920's era commercial storefront that has seen little to no alteration within its lifetime. It provides historic context of the traditional downtown that has personified Birmingham over its history. De-designating this building, as indicated by the developer's plans, would put it at risk for demolition. This has the potential to encourage additional property owners to pursue de-designation and deterioration of the historic character that has defined Birmingham throughout the years. These historic structures have distinguished Birmingham from its surrounding neighbors as a traditional downtown which has undoubtedly contributed to its sustained success over the years. In addition, the methods and procedures followed during the designation process in the 1980's strictly adhered to the guidelines established at the local, state and federal levels. It was the intention of the City Commission of that time to take these steps to ensure that Birmingham would retain its character and history for future generations to appreciate and enjoy. The de-designation of this structure has the potential to set a precedent that would

have long lasting effects on the City that cannot be reversed.

- De-listing the building puts it at risk i.e. changes to historic features, demolition, etc.
- The building was originally designated following all Federal, State and Local guidelines;
- There have been no changes to the building since its designation in 1984 and maintains its character as a pristine example of 1920's commercial architecture in downtown Birmingham;
- The building is located on a street with other historic properties and is within the Historic Central Business District and contributes to the history and character of the City;
- The Birmingham community needs to maintain its historic structures for future generations;
- De-listing an asset based on the potential for demolition and redevelopment, does not serve the greater good of the community.

Based upon the foregoing, it is clear that there is no basis for de-designation of this historic building and the same and historic district must be preserved.

THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

In my review of the Hawthorne Building, I also examined the Secretary of the Interior Standards for Rehabilitation and reached the following findings and conclusions.

- (1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
 - This property has been used for its historic purpose (commercial) since it was built in the 1920s, and has had little to no alteration within its lifetime.
- (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
 - The historic character of this property has been retained and preserved as original, and due to no removal of materials or alterations of features, it has retained the original character of the property.
- (3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
 - In the 1920s, the City of Detroit and Michigan area were designing and building Art Deco skyscrapers, factories, schools, post offices, city halls and commercial buildings. Some other design category names used were Art Moderne, ZigZag Moderne and Streamline. This small commercial building in downtown Birmingham is a jewel for the historic

district, the city and the Detroit area.

- (4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

 The historic significance of this building has never changed and has retained and preserved all of its original Art Deco features on the façade.
- (5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

 This one story, one bay, reddish face brick store, with attractive trim was built in 1927. The building has been well kept and is an example of good, small store design and craftsmanship from the 1920s.
- (6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

 Although the structure is simple and conservative, it is in good condition and original condition makes it a candidate for a valuable visual preservation anchor in the
 - condition makes it a candidate for a valuable visual preservation anchor in the Birmingham Central Business District Historic District.
- (7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

 The façade of this Art Deco style building never experienced any chemical or physical treatment,
 - The façade of this Art Deco style building never experienced any chemical or physical treatment, only the gentlest means of clean water.
- (8) Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
 - In 1929, the shed at the rear of the property was removed. Since the building was built in 1927, there was no information if there were any significant resource found.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
 - An exterior wood addition was built in the rear for storage and other rooms related to the businesses that were using the building. This addition is differentiated from the brick facade and is compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
 - The only addition to this brick building was the wood addition described with Standard

#9. If the rear addition was removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Based upon the foregoing, it is clear that the de-designation application should not be granted.

THE OCTOBER 18, 1984 MINUTES FROM THE FIRST HISTORIC DISTRICT STUDY COMMITTEE

The following is recitation of the above referenced minutes. We have included the same as the discussion contained in the minutes focuses on the importance of historic resources and districts and the relationship of the historic district to the character of central Birmingham and adjoining properties. It is believed that the conclusions reached by the first Historic District Study Committee confirm why the historic district designation of the Hawthorne Building should not be removed.

The Birmingham City Commission established the Central Business Historic District and Shain Park Historic District in 1981. At that time, the City Commission appointed the Historic District Commission to research and make a recommendation regarding the historic value of buildings in central Birmingham. The Study Committee examined each building in the study area. The research was conducted by interviewing Birmingham "old-timers" who have first-hand knowledge of the history of many buildings, reviewing material at the Baldwin Library including reading issues of the Birmingham Eccentric from the late 1800's and early 1900's, researching City assessment and building records, examining recorded data from Oakland County and reviewing published material from the various other sources.

Several factors were used in determining whether a building has sufficient historic value to merit classification as a landmark. First, the history of the building, its past occupants and its significance to the development of Birmingham were evaluated. The age, condition and potential for restoration were also considered. Finally, the architecture and uniqueness of each structure was evaluated. Based on this background, the Historic District Commission decided that 29 structures in central Birmingham were worthy of special treatment. In addition, the Commission determined to have one or more of the elements that make it worthy of designation.

LOCAL HISTORIC DISTRICTS ACT Act 169 of 1970

The Commission also reviewed that in 1970, the Michigan State Legislature declared historic preservation to be a public purpose and the legislative body of a local unit may by ordinance regulate the construction, addition, alteration, repair, moving, excavation, and demolition of resources in historic districts within the limits of the local unit. The purpose of the ordinance is to do one or more of the following:

- (a) Safeguard the heritage of the local unit by preserving 1 or more historic districts in the local unit that reflect elements of the unit's history, architecture, archaeology, engineering, or culture.
- (b) Stabilize and improve property values in each district and the surrounding areas.

- (c) Foster civic beauty.
- (d) Strengthen the local economy.
- (e) Promote the use of historic districts for the education, pleasure, and welfare of the citizens of the local unit and of the state.

The Birmingham Historic District Commission noted at that time the Birmingham City Commission will always recognize, as the legislature did back in 1970, that historic preservation can accomplish all of the above goals. Also, some communities throughout the state have almost every single building designated as a "landmark" structure, while other historic districts in their downtowns, such as Birmingham, have undergone many changes resulting in the "landmark" structures being in the minority. This is not unusual or desirable. To the contrary, it is towns such as Birmingham that can most benefit from historic preservation legislation. The legislation provides protection of the character and design qualities that make Birmingham a viable downtown.

The Historic District Commission is certain that the City Commission believes that Birmingham has commercial structures worth protecting. Both know that no ordinance exists to prevent demolition of those structures in central Birmingham, which have value to the whole community. It seems, therefore, that the question is not "should we?" but "how should we?"

At that time, there were 47 historic district properties in the City of Birmingham. They were primarily non-contiguous, residential structures on individual lots. Two commercial structures, the Peabody Mansion and the Grand Trunk Western Railroad Depot are exceptions.

Although individual, non-contiguous districts have worked well for the residential properties, they did not think that the proper approach for the commercial area was working as well. Since commercial structures are erected side-by-side and bear a more direct relationship to one another than single family residential structures. To select the individual one "landmark" buildings for designate without regard for the other structures in the downtown is contrary to the purposes for creating an historic district. Careful attention must be paid to the structure which abut "landmark" properties and other buildings in the downtown which have an effect on the "landmarks" The suggestion that only "landmark" properties compose the historic district would be similar to saying that Planning Board should have Design Review over just a portion of a particular block. This recommendation is for contiguous historic districts with well-defined standards for both "landmark" and "district resource properties.

The Historic District Commission already begun working on a set of standards which will establish a clear cut understanding of the goals of the City with respect to design. It is the intent of the Historic District Commission to set standards that are flexible enough to provide for individual creativity yet complete enough to ensure that the historic fabric of Birmingham is not destroyed.

Under the current regulations, any property owner in central Birmingham (public ownership excepted) must obtain Design approval or Exterior Approval and possibly Site Plan

Approval before any change to the exterior of a building can be made. Since central Birmingham is currently subject to a Design Review process, the question that we all face is: What should the thrust of this Design Review be?" Architecture, no matter what the age or style, should have as a goal to reflect its time and its place. The question of how to achieve that goal, especially when adding a new wing to an old building or filling a gap in an urban streetscape, Is a vexing one to architects and preservationists alike. There is no formula answer; each building or addition should be considered individually and in the context of its surroundings. Design relationships in architecture appear to have become a problem since the coming of age of the "modern movement" in the last 35 years or so. When "modern" architecture arrived, thumbing its nose at the past and the surroundings, its problems began. The public has become disaffected with modern design. Existing is not respected and there is little ornamentation; the result Is monotony. With this sharp change in designs so profoundly affecting the existing streetscape, preservationists and others reacted and the concept of historic districts was born.

While there may not be a clear answer to what constitutes a good relationship between old and new buildings, which should not stop us from trying to find a solution, It is only ln a quality built environment that we can achieve a quality life. The 29 "landmark" structures represent what is left of quality development from a previous era. The City Commission is now confronted with decision; to find that these buildings are worthy of preservation for present and future generations to enjoy or determine that these buildings do not have any public value and may be destroyed, altered or redesigned at the will of the owners. It is our sincerest hope that you will go forward in enacting the proposed ordinance to create two new historic districts which will protect the valuable historic resources in central Birmingham.

CONSULTING HISTORIC ARCHITECT OPINION

Application to De-Designation/Remove Hawthorne Building (Historic Name) 361 E. Maple Birmingham, Michigan

- 1. The Application for the De-Designation of the Hawthorne Building;
 - a. Is contrary to the 10 Standards of the Secretary of the Interior Standards for Rehabilitation,
 - b. Would result in the demolition of one of the 29 Landmarks in the Central Business Historic District
 - c. Would significantly compromises the use of an existing 3 stories residential property at 363 E. Maple
 - d. Does not meet the criteria for de-designation listed in Chapter 127 of the City Code.











Sec. 127-25. Central Business District.

The central business district shall consist of all of the lands and resources within the boundaries of the central business district as hereby established on the district maps. The central business historic district shall consist of the following historic resources in the city.



- 1. Wabeek Building, 256 W. Maple.
- 2. Leonard Building, 166 W. maple.
- 3. Quarton Building, 14² W. Maple.
- 4. Blakeslee Building, 138 W. Maple.
- 5. Billy McBride Building, 122 W. Maple.
- 6. Ford Building, 10 N. Woodward and 120 W. Maple.
- 7. Erity and Nixon Building, 163-167 N. Woodward.
- 8. Bell Building, 191 N. Woodward.
- 9. Schlaack Building and Huston Building 1916, 205-219 N. Woodward.
- 10. Huston Building 1923, 237-243 N. Woodward.
- 11. National Bank Building, 152-176 N Woodward.
- 12. Wooster Building, 132-136 N. Woodward.
- 13. Parks Building, 110-116 N. Woodward.

14. Madison Building, 297-323 E. Maple.

- 15. Hawthorne Building, 361 E. Maple
- 16. Shain Townhouses, 378, 386, 390 E. Maple and 112,120, 124 Brownell.
- 17. Briggs Building, 111 S. Woodward.
- 18. Birmingham Theater Building, 211 S. Woodward.
- 19. Ford-Peabody Mansion, 325 S. Woodward.
- 20. Detroit Edison Building, 220 E. Merrill.
- 21. D.U.R. Waiting Room, 138 S. Woodward.
- 22. McBride Building, 124-128 S. Woodward.
- 23. Johnston-Shaw Building, 112-114 S. Woodward.
- 24. O-Neal Building, 106-110 S. Woodward.
- 25. St. Clair Edison Building, 135-159 Pierce.
- 26. Telephone Exchange Building, 148 Pierce.
- 27. Bigelow-Shain Building, 115 W. Maple.
- 28. Field Building, 135-141 W. Maple.

New Construction Mixed – Used / Retail, Office and Luxury Condo 361 E Maple Rd #TBD Birmingham, MI 48009 2 Bd 2.1 Ba 4,120 SF

NEW- Luxury Penthouse offering dramatic skyline views in downtown Birmingham! Rise to the top in this 2-story home occupying the 4th & 5th floors of this new construction 5-story building. Park in your private 2 car garage & take your private elevator OR private stairs up to this amazing 4,120 SF home! The library greets you at the heart of the 4th floor. Large master bedroom on this level offers southern views, his & her closets, separate ensuite bathroom w/window. Large second bedroom on north end offers plentiful windows, large closet, ensuite bathroom w/window. Whether taking the elevator or main staircase, the 5th floor living area is an entertainer's delight! Living room w/fireplace opens to south terrace w/outdoor fireplace. Separate dining room, wet bar, kitchen w/eat-in & north terrace, separate pantry, powder room, and spiral staircase to fabulous rooftop terrace! On rooftop enjoy sun & stars or bask in glow of another outdoor fireplace! Architects: Christopher Longe & Associates

Estimated Home Value \$3,028,200 Downtown Birmingham Built in 2018 Mortgage \$11,855/month Condominium \$801/SF









John Dziurman Architects Ltd. Consulting Historic Architect 361 E. Maple Report



361 EAST MAPLE THE HAWTHORNE BUILDING

CITY OF BIRMINGHAM • OAKLAND COUNTY • MICHIGAN

REPORT IN CONSIDERATION OF DE-DESIGNATION AS LANDMARK FINNICUM BROWNLIE ARCHITECTS JANUARY 8, 2017

January 8, 2018

Ms. Amy Arnold Preservation Planner Local Districts Michigan State Historic Preservation Office 735 East Michigan Avenue Lansing, MI 48912

Historic District Study Committee c/o Matthew Baka, Senior Planner City of Birmingham 151 Martin Street Birmingham, MI 48012

Re: Proposed de-designation of Hawthorne Building

361 East Maple Road, Birmingham MI 48009

Dear Ms. Arnold and Committee Members,

The City of Birmingham Historic District Study Committee issued a report in response to a request to de-designate The Hawthorne Building, 361 East Maple, a locally designated landmark structure Central Business Historic District. Given my over 40-year career as an historic architect (please see attached Curriculum Vitae) the owner of the property has requested I provide additional information that bears on the matter.

A recommendation to de-designate a landmark structure can be made by the Historic District Study Committee if one or more of the following conditions can be demonstrated:

- 1. The historic district has lost those physical characteristics that enabled the establishment of the district.
- 2. The historic district was not significant in the way previously defined.
- 3. The historic district was established pursuant to defective procedures.

Michigan PA 169 of 1970 as amended and Birmingham City Code Chapter 127-5 (b)

To analyze the building's background and context, my staff and I studied the State enabling legislation; the Downtown Birmingham 2016 Plan; the zoning ordinance current at the time of designation; the current overlay district ordinance; the historic district ordinance; minutes and correspondence of the 1983 historic district study committee; and the recent 361 E. Maple Report by the HDSC. We also toured the Central Business Historic District; reviewed maps on the City web site and researched photos in the Birmingham Historical Museum archives.

After careful consideration of these resources, it is my professional opinion that 361 East Maple, the Hawthorne Building, does in fact meet the conditions for de-designation.

1. THE HISTORIC DISTRICT HAS LOST THOSE PHYSICAL CHARACTERISTICS THAT ENABLED THE ESTABLISHMENT OF THE DISTRICT.

The creation of a contiguous historic district comprised by the central business district was a sound idea and an important action taken by preservationists in 1983. Max Horton, as the Chairman of the Historic District Study Committee / Historic District Commission, led the way. In his October 18, 1984 letter (attached at Appendix A) to the Birmingham City Commission recommending the creation of the proposed Central Business Historic District with its 29 Landmark structures, Mr. Horton, quoted the state enabling act PA 169 of 1970, stating historic preservation accomplishes the following:

- "A. Safeguards the heritage of the community by preserving a district which reflects elements of its culture, social, economic, political or architectural history;
- B. Stabilizes and improves property values in such districts;
- C. Fosters civic beauty;
- D. Strengthens local economy; and
- E. Promotes the use of historic districts for the education, pleasure and welfare of the citizens of the community and of the State."

Mr. Horton goes on to explain the reasoning behind declaring the entire Central Business District an historic district containing many landmark buildings.

"Commercial structures are erected side-by-side and bear a more direct relationship to one another than single family residential structures. To select the individual structures for designation without regard for the other structures is contrary to the purpose of creating an historic district. Careful attention must be paid to the structures which abut 'landmark' properties and other buildings in the downtown which have an effect on the 'landmarks'."

The message was clear and strong: The strength of historic downtown Birmingham is the entire cluster of Midwestern, low-rise Victorian and Art Deco storefronts. Each supportive of the next; the whole district is dependent upon each piece. The effect of changes made to a non-contributing district resource on an adjacent landmark structure is as important as changes made to the landmark structure itself. Neither exists in a vacuum, thus all are subject to review. Please see Appendix B for historical photographs of East Maple and Appendix C for a pictorial inventory of landmark buildings.

What has transpired in the interim between the designation of the CBHD and now, is that another sound and important action was taken by the citizens of Birmingham: In 1996 The Downtown Birmingham 2016 Plan was adopted, resulting in the creation of the Overlay District Ordinance. The intensive community discourse that preceded the development of the plan revealed that the citizens of Birmingham overwhelmingly favored Birmingham forsaking its status as a town for that of a small city. This change in self-image is why the historic district has lost those physical characteristics that enabled the establishment of the district. The predominately one and two-story CBHD, the modest,

recently protected, Mid-western town quickly began its urban metamorphosis as the community embraced the plan and pushed it forward.

The Overlay Ordinance was conceived to incentivize development of a larger, more urban environment. The Overlay District blankets the entire Central Business Historic District. Although a stated goal of the Downtown Birmingham 2016 Plan Vision Statement is to "Strengthen the spatial and architectural character of the downtown area and ensure the buildings are compatible, in mass and scale, with their immediate surroundings and the downtown's traditional two and four-story buildings." the Overlay Ordinance has had a contrary effect. By eliminating the Floor Area Ratio of 100% (now unlimited), increasing the height from 48 FT to 70 FT and a maximum five stories; and establishing two-stories as a minimum height, it is driving the city's vigorous new large urban scale.

The extent and success of the Plan's implementation is "remarkable, even stunning", commented its author, Andres Duany at the twenty-year review. The change has been fluid and unimpactful for most of the Historic District (See CBHD Map at Appendix D). In the blocks containing densely situated, contiguous two-story landmark structures infill is not possible, for example Landmarks 6-10; 11-13; 2-5; 21-24; and 26-28 (See Appendix C).







Landmarks 6 - 10

Landmarks 11 – 13

Landmarks 21 – 24

The landmark structures that have scale and architectural prominence are significant enough to coexist with new structures designed under the Overlay Ordinance, noteworthy in this regard are: Landmark 1 The Wabeek Building and Landmark 17 The Briggs Building (See Appendix C). which, in fact, has been expanded by one story, for example.





Landmark 1

Landmark 17

Others, although smaller in stature, like Landmark 18 The Birmingham Theatre, Landmark 19 The Peabody Mansion and Landmark 20 The Edison Building have such strong architectural integrity they can stand alone (See <u>Appendix C</u>).







Landmark 18

Landmark 19

Landmark 20

As illustrated in Appendix E, the Central Business Historic District Density Map is useful for visualizing the patterns of landmark structures with district resources and one, two, three and greater story structures within the new urban fabric. Visible are groupings of two story landmarks with little exposure to potential edge development; isolated landmarks freestanding beyond the direct influence of neighboring change; and 361 East Maple, the Hawthorne building exposed to monumental change on each side. The densely-situated, two-story landmark structures; those landmarks with substantial scale and architectural prominence; and the stand-alone architecturally significant landmarks have all survived the transition from town to city. They will continue to thrive due to surrounding circumstances.

The Hawthorne Building, Landmark 15, is unique from virtually all the other landmark structures listed.





1975 to NW

2017 to NW

When designated, it was part of a one-story block of non-contributing district resources, as there is just one other landmark in the block (See <u>Appendix B</u> for historical photos). The Hawthorne Building does not have the protection by way of density of two-story structures or the advantage of scale, of architectural prominence or isolation that the other landmarks possess. It is in direct conflict with the Overlay Zoning Ordinance. The building is 20 feet wide and 15 feet high; it cannot be changed. Already, a 4-story, 50-foot building towers above it immediately to the East. Another building of 5 stories towers 70 feet high two doors to the West (See <u>Appendix F</u> for current photos). The adjoining single-story property to the west can potentially be developed as a 70-foot-high building with another 10-foot story for mechanical equipment. The Historic District was formed to preserve elements of the city's heritage – its small-scaled, Mid-western, historic downtown. Changes to Landmarks within the CBHD must conform to the Department of Interior Standards for Rehabilitation. Non-contributing District Resources are charged with matching the "character" of downtown. The "character" applied as the measure is the new larger-scaled urban image to which the 2016 Plan aspires.

The Hawthorne Building, 361 East Maple, is overwhelmed, rendered nearly invisible within the new urban fabric. It was not designated a landmark because it was a robust architectural specimen. Any notable architectural features are minimal at best.



2017 to NE

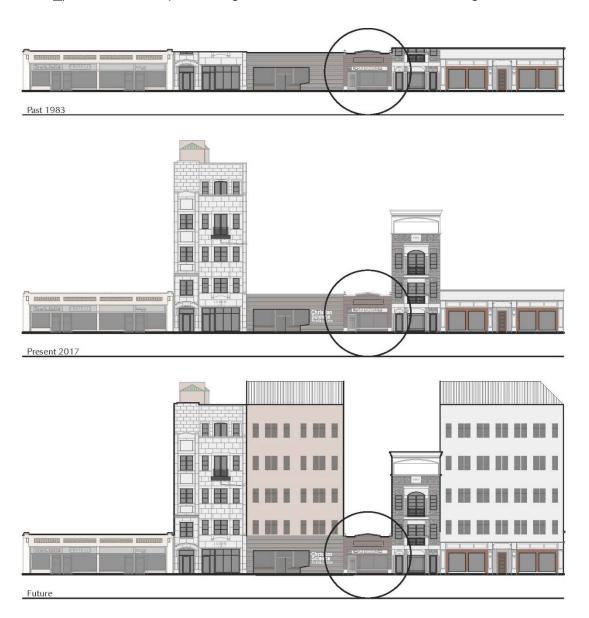
The strength of the Hawthorne Building when designated was as an element of a cohesive one and two-story downtown district. The cohesion was lost when 369 East Maple was constructed. Recall Max Horton's caution to the City Commission in his letter (Appendix A) that,

"Careful attention must be paid to the structures which abut 'landmark' properties and other buildings in the downtown which have an effect on the landmarks."



1966 to NE

Adequate consideration was not given to the Hawthorne Building when the adjoining structure gave way to a 50-foot-high replacement. The vast discrepancy in size, scale, material, color and texture between the two buildings renders the protection of 361 East Maple no longer justified. The physical characteristics of the low-rise cluster of storefronts on the north side of East Maple has been compromised by the subsequent redevelopment of this area pursuant to the Overlay District (Compare photos in <u>Appendix B</u> to <u>Appendix E</u>). The streetscape drawings below illustrate this dramatic change in character:



Appendix G: East Maple Streetscapes

Note: The Present 2017 streetscape accurately represents the elevation of the East end of the North side of East Maple Street. The Past 1983 streetscape is a volumetric representation of what existed when the CBHD was formed. The Future streetscape depicts what can potentially be constructed under the Overlay Ordinance. They are representational only.

In the case of 361 East Maple the context has drastically changed due to the discrepancy between the goals of the Downtown Birmingham 2016 Plan and the goals of historic preservation. If it were to have been protected, standards that are being applied to the Hawthorne Building should also have been applied to its surroundings, including the adjacent district resource removed at the adjacent 369 East Maple and the new 4 story replacement building at 369 East Maple as well. Those physical characteristics that enabled the establishment of the district have been lost in the shadow of the new large urban scale.

2. THE HISTORIC DISTRICT WAS NOT SIGNIFICANT IN THE WAY PREVIOUSLY DEFINED.

In 1983, the HDSC declared the Hawthorne Building a landmark structure because

"its good condition and original condition make it a candidate for a valuable visual anchor in the preservation of the north side of East Maple."

It is questionable if this modest, 20-foot wide building ever had the architectural substance to anchor an entire block. Clearly, it is now so dominated by a four-story, 50-foot 369 East Maple next door and a 5-story, 70-foot 335 East Maple two doors to the west that, if it ever existed, the potential value as a visual anchor has been lost.

The Hawthorne Building was originally designated as part of the entire contiguous Central Business Historic District. The 2017 HDSC report states,

"It provides historic context of the traditional downtown that has personified Birmingham over its history".

At the time of designation, the building did not "provide" the context but *contributed* to the downtown context as part of its 1-story and 2-story small town image. The image no longer exists on the north side 0f East Maple – it was eliminated by the first projects under the Overlay Ordinance. If the Hawthorne Building was currently a district resource and it designation as a landmark was to be sought the request would be rejected. The building cannot meet the criteria for designation.





2017 to NW 1975 to NE

3. THE HISTORIC DISTRICT WAS ESTABLISHED PURSUANT TO DEFECTIVE PROCEDURES.

Selection of a property for designation as a landmark structure finds its basis in the National Register Criteria used by the Department of Interior, National Trust for Historic Preservation:

"The quality of significance in American History, architecture, archeology, and culture is present in districts, site, buildings, structures, and objects that possess the integrity of location, design, setting, materials, workmanship, feeling, and association, and:

- A. That are associated with events that have made a significant contribution to the broad patterns of our history; or
- B. that are associated with the lives of persons significant in our past; or
- C. that embody the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D. that have yielded or may be likely to yield, information important in prehistory or history."

The National Register Criteria are used as a guide throughout the hierarchy of preservation organizations: from the Keeper of the National Register to local districts for making decisions concerning the significance and historic integrity of properties. To be reliable, the criteria must be applied within related historic contexts: a body of information about historic properties organized by theme, place and time.

What was the historic context that led to the determination that 361 East Maple deserved designation as an historic landmark? The HDSC report cites a list of activities undertaken by the original study committee. However, it offers no evidence of what was found by interviewing "old-timers", reviewing library materials, reading old newspapers, examining building and county records, etc. In the 1966 and 1975 historic photographs, charm is the only factor that remotely distinguishes 361 East Maple from the other one-story buildings. At best, The Hawthorne Building's designation as a landmark building was an emotional choice due to its modest charm within the whole of the low-keyed downtown. At worst, choosing it as a landmark over other one-story buildings of similar size and configuration was arbitrary. The building was designated not because it was associated with events that have made a significant contribution to our history; or was associated with the lives an important historical figure; or embodied significant architectural significance, nor was designed by a notable architect or built by a prominent builder; and not because it held important historical information. Charm is not a

strong enough criterion to justify designation. The context by which the Hawthorne Building was designated has been obliterated by the conscious, willful imposition of a new urban context in its place.

Protecting 361 East Maple as a landmark building does not contribute to any of the five reasons for designation under the State Act:

- A. It does not safeguard the heritage of the community by preserving a district which reflects elements of its culture, social, economic, political or architectural history.
- B. It does not stabilize and improve property values in such districts.
- C. It does not foster civic beauty.
- D. It does not strengthen local economy nor
- E. It does not promote the use of historic districts for the education, pleasure and welfare of the citizens of the community and of the State.

Virtually all the other landmark buildings within the Birmingham CBHD do so because they have the advantage of protection provided by the compatible scale of two-story structures or the advantage of size or of architectural prominence. Unlike the Hawthorne Building, these landmarks are not vulnerable to being dominated by adjacent large-scale development.

The Hawthorne Building should not have been designated a landmark structure. The reconnaissance Building-Site Inventory Form (see Appendix H) created by Max Horton for the HDSC in 1983 lists only the date of construction "1927" under "Architectural significance" and "None" under Historic significance". 361 East Maple is an example of a 1920's storefront with minimal Art Deco trim. It is by no means a robust example. Its distinguishing features are two limestone urns and a limestone coping. A façade is character-defining in a multi-building district, but it is important as just one criterion. Streetscape and context also must be considered in determining if a property is historic. 361 East Maple is now overwhelmed by the larger, urban context that has evolved under the Overlay District.

For just the second time in my 40+ year career, I am supporting de-designating an historic resource. I have spent my career protecting, defending and enhancing our architectural heritage. Over time, I've come to realize not all buildings are created equal. A city is a living organism, its components ever-changing. The Hawthorne building lost its historic value when the City of Birmingham self-image changed; the Overlay Ordinance manifested new opportunities in contrast with former values, and the context changed forever. The best action is de-designation of the Hawthorne Building to enable the transformation of Birmingham to continue as laid forth in the Downtown Birmingham 2016 Plan. Birmingham's urban fabric will continue to evolve, and its remaining landmarks' significance enhanced by the resulting consistent balance with the new architecture.

Respectfully submitted, Finnicum Brownlie Architects, Inc.

William J. Finnicum.

William L. Finnicum AIA NCARB

President

Appendices:

Appendix A October 18, 1984 Max Horton Letter

Appendix B 361 East Maple Historical Photographs

Appendix C Pictorial Inventory of Landmark Buildings

Appendix D Central Business Historic District Map

Appendix E CBHD Density Map

Appendix F 361 East Maple Current Photographs

Appendix G East Maple Streetscapes

Appendix H Building-Site Inventory Form

Appendix I Overlay District Map

References:

State of Michigan enabling legislation PA 169 of 1970 as amended

National Register Bulletin 16, Guidelines for completing NRHP forms, US DOI

Downtown Birmingham 2016 Plan

City of Birmingham Zoning Ordinance 1983

City of Birmingham Overlay District Ordinance

Birmingham City Code Chapter 127: Historic Districts

Minutes and Correspondence of Birmingham Historic District Study Committee 1983

Birmingham Historic District Study Committee 361 E. Male Report, Nov. 16, 2017

Mapping: City of Birmingham GPS web site and field observation

Photographs: City of Birmingham Historical Museum photo archive; Google Street view;

Finnicum Brownlie Architects

Appendix A: October 18, 1984 Max Horton Letter:

October 18, 1984

City Commission Birmingham, Michigan

From: Max B. Horton, Chairman Historic District Study Committee

(Historic District Commission)

Subject: Central Business Historic District and Shain Park Historic

District

Dear Commissioners:

Approximately three years ago, the City Commission appointed the Historic District Commission to serve as an Historic District Study Committee to research and make a recommendation regarding the historic value of buildings in central Birmingham. The Study Committee spent many hours examining each building in the study area. The research was conducted by interviewing Birmingham "oldtimers" who have first-hand knowledge of the history of many buildings, reviewing material at the Baldwin Library including reading issues of the Birmingham Eccentric from the late 1800's and early 1900's, researching City assessing and building records, examining recorded data from Oakland County and reviewing published material from various other sources.

Several factors were used in determining whether a building has sufficient historic value to merit classification as a "landmark." First, the history of the building, its past occupants and its significance to the development of Birmingham were evaluated. The age, condition and potential for restoration were also considered. Finally, the architecture and uniqueness of each structure was evaluated. As you know, the Historic District Commission has decided that 29 structures in central Birmingham are worthy of special treatment. Although not every structure meets all of the above criteria, each structure suggested for "landmark" designation has been determined by the Commission to have one or more of the elements that make it worthy of designation.

In 1970, the Michigan State Legislature declared historic preservation to be a public purpose. By onacting Public Act 169, the legislature officially recognized that historic preservation does all of the following:

A. Safeguards the heritage of the community by preserving a district which reflects elements of its cultural, social, economic, political or architectural history;

18A

- B. Stabilizes and improves property values in such districts;
- C. Fosters civic beauty;
- D. Strengthens local economy; and
- B. Promotes the use of historic districts for the education, pleasure and welfare of the citizens of the community and of the State.

As a Commission, it is our hope that the Birmingham City Commission will recognize, as the legislature did back in 1970, that historic preservation can accomplish all of the above goals. Several other communities throughout the state have designated historic districts in their downtowns. They include small villages such as Linden, Chelsea and Wilford; medium sized citics such as Ann Arbor, Traverse City and Ypsilanti, and large cities such as Jackson, Saginaw and Grand Rapids. Some historic districts have almost every single building designated as a "landmark" structure while other historic districts, such as Birmingham, have undergone many changes resulting in the "landmark" structures being in the minority. This is not unusual or undesirable. To the contrary, it is towns such as Birmingham that can most benefit from historic preservation legislation. The legislation provides protection of the character and design qualities that make Birmingham a viable downtown. The Historic District Commission is certain that the City Commission believes that Birmingham has commercial structures worth protecting. We all also know that no ordinance exists to provent demolition of those structures in central Birmingham which have value to the whole community. It seems, therefore, that the question is not "should we?" but "how should we?"

Currently, we have 47 historic district properties in the City of Birmingham. They are primarily non-contiguous, residential structures on individual lots. Two commercial structures, the Peabody Mansion and the Grand Trunk Western Railroad Depot are exceptions.

Although individual, non-contiguous districts have worked well for the residential properties, we do not believe this is the proper approach for the commercial area. Commercial structures are erected side-by-side and bear a more direct relationship to one another than single family residential structures. To select the individual "landmark" buildings for designation without regard for the other structures in the downtown is contrary to the purposes in creating an historic district. Careful attention must be paid to the structures which abut "landmark" proporties and other buildings in the downtown which have an affect on the "landmarks." The suggestion that only "landmark" properties compose the historic district would be similar to saying that the Planning Board should have Design Review over just a portion of a particular block. This selectiveism in the review process will not work. Therefore, our recommendation is for contiguous historic districts with well defined standards for both "landmark" and "district resource" properties.

The Historic District Commission has already begun working on a set of standards which will establish a clear cut understanding of the goals of the City with respect to design. It is the intent of the Historic District Commission to set standards that are flexible enough to provide for individual creativity yet complete enough to ensure that the historic fabric of Birmingham is not destroyed.

Under the current regulations, any property owner in central Birmingham (public ownership excepted) must obtain Design Approval or Exterior Approval and possibly Site Plan Approval before any change to the exterior of a building can be made. Since central Birmingham is currently subject to a Dosign Review process, the question that we all face is: "What should the thrust of this Design Review be?" Architecture, no matter what the age or style, should have as a goal to reflect its time and its place. The question of how to achieve that goal, especially when adding a new wing to an old building or filling a gap in an urban streetscape, is a vexing one to architects and preservationists alike. There is no formula answer; each building or addition should be considered individually and in the context of its surroundings. Design relationships in architecture appear to have become a problem since the coming of age of the "modern movement" in the last 35 years or so. When "modern" architecture arrived, thumbing its nose at the past and the surroundings, its problems began. The public has become disaffected with modorn design. Existing scale is not respected and there is little ornamentation; the result is monotony, With this sharp change in designs so profoundly affecting the existing streetscape, proservationists and others reacted and the concept of historic districts was born.

While there may not be a clear answer to what constitutes a good relationship between old and new buildings, that should not stop us from trying to find a solution. It is only in a quality built

environment that we can achieve a quality life. The 29 "landmark" structures represent what is left of quality development from a previous era. The City Commission is now confronted with a decision; to find that these buildings are worthy of preservation for present and future generations to enjoy or determine that these buildings do not have any public value and may be destroyed, altered or redesigned at the will of the owners. It is our sincerest hope that you will go forward in enacting the proposed ordinance to create two new historic districts which will protect the valuable historic resources in central Birmingham.

Very truly yours,

Max B. Horton

Max B. Horton, Chairman William R. McGregor, Vice-Chairman Carolyn Johnson Kay Johnson Michael Tomasik Goeffrey Upward Willem Tazelaar

ЖВН/јь 10/18/84

Appendix B: 361 East Maple Historical Photographs:



1975, Looking North West

1975, Looking North East



1966, Aerial Looking East



Unknown date, Looking East

Appendix C: Pictorial Inventory of Landmark Buildings:

1. 256 W. Maple - Wabeek Building:



2. 166 W. Maple - Leonard Building:



3. 142 W. Maple - Quarton Building



4. 138 W. Maple - Blakeslee Building



5. 122 W. Maple - Billy McBride Building



6. 101 N. Woodward and 120 W. Maple - Ford Building



7. 163-167 N. Woodward - Erity and Nixon Building



8. 191 N. Woodward - Bell Building



9. 205 - N.Woodward - Schlaack Building



9. 215 - 219 N.Woodward - Huston Building – 1916



10. 237 - 243 N.Woodward - Huston Building – 1923



11. 152 - 176 N. Woodward - National Bank Building



12. 132 - 136 N. Woodward - Wooster Building



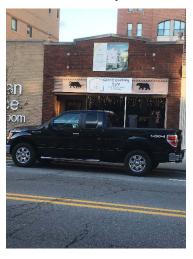
13. 100 - 116 N. Woodward - Parks Building



14. 297 – 323 E. Maple - Madison Building



15. 361 E. Maple - Hawthorne Building



16. 378, 386, 390 E. Maple & 112, 120, 124 Brownell - Shain Townhouses



17. 111 S. Woodward - Briggs Building



18. 211 S. Woodward - Birmingham Theater Building



20. 220 E. Merrill - Detroit Edison Building



22. 124 - 128 S. Woodward - McBride Building



19. 325 S. Woodward - Ford-Peabody Mansion



21. 138 S. Woodward - D.U.R. Waiting Room



23. 112-114 S. Woodward - Johnston-Shaw Building



24. 106-110 S. Woodward – O-Neal Building



26. 148 Pierce - Telephone Exchange Building



28. 135 - 141 W. Maple - Field Building



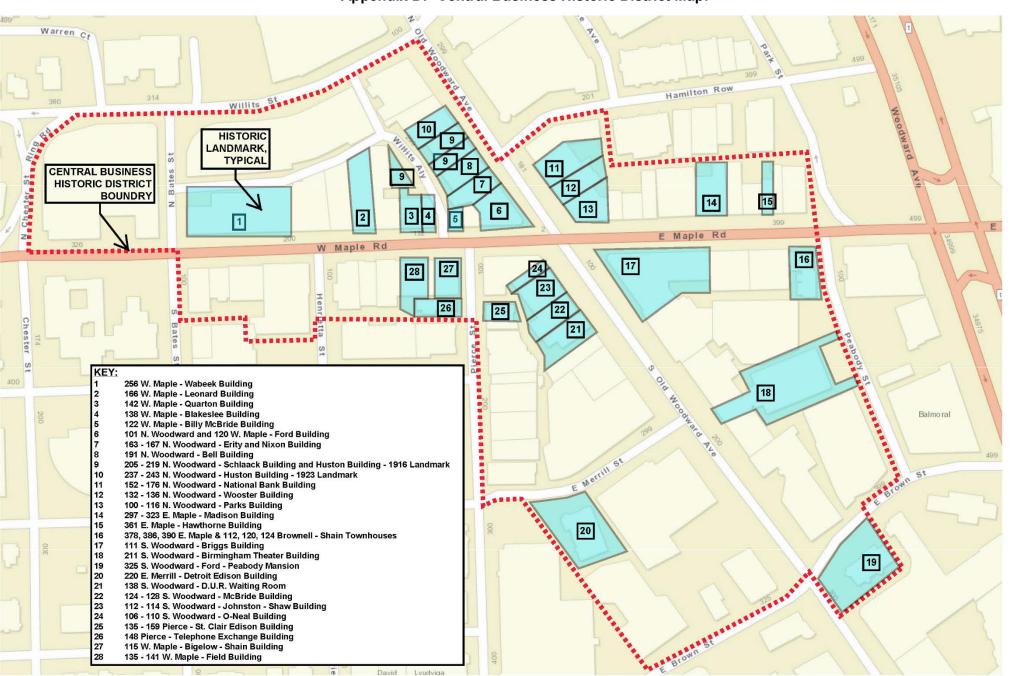
25. 135 - 159 Pierce - St. Clair Edison Building



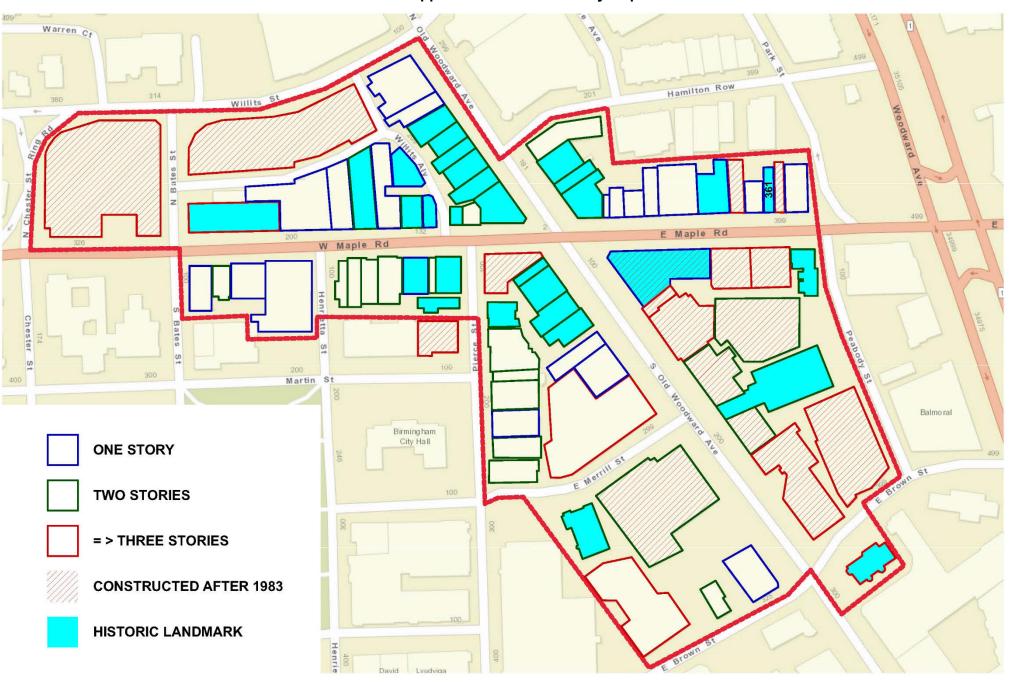
27. 115 W. Maple - Bigelow-Shain Building



Appendix D: Central Business Historic District Map:



Appendix E: CBHD Density Map:



Appendix F: 361 East Maple Current Photographs:



361 East Maple (Hawthorne Building)



View from South



East Maple looking North East



East Maple looking North West



361 East Maple and surrounding buildings



361 East Maple rear door

Appendix G: East Maple Streetscapes:



Note: The Present 2017 streetscape accurately represents the elevation of the East end of the North side of East Maple Street. The Past 1983 and Future streetscapes are volumetric representations of what existed when the CBHD was formed and what can potentially be constructed under the Overlay Ordinance. They are representational, only.

Appendix H: Building-Site Inventory Form:

CITY OF BIRMINGHAM

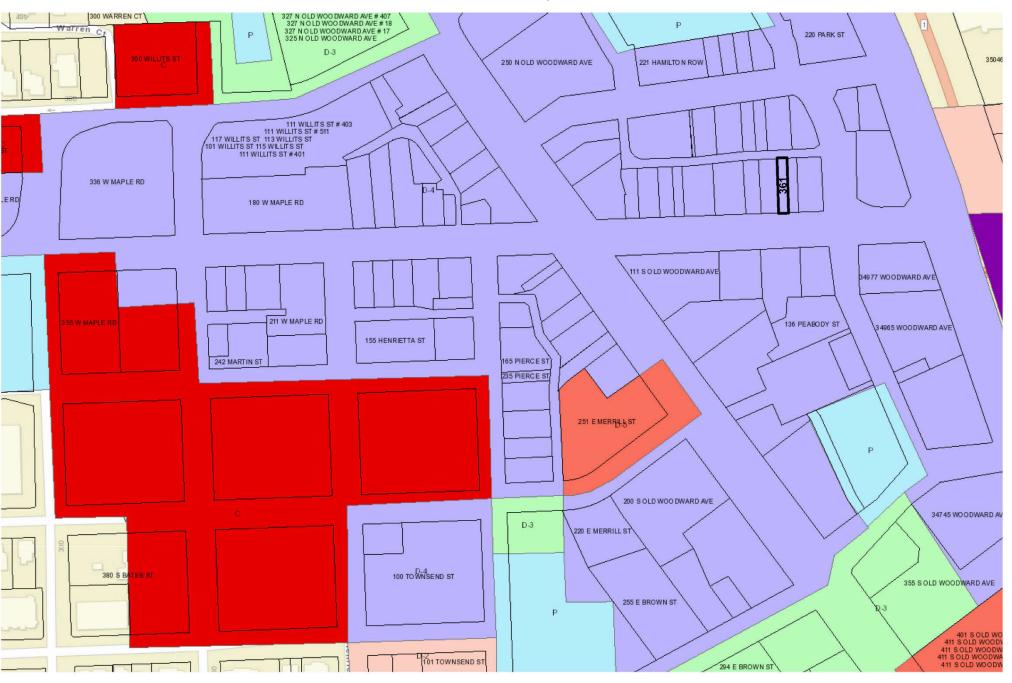
BUILDING-SITE INVENTORY FORM

Fill in as applicable - Attach 5" x 7" or 8" x 10" black and white photo with negative.

	entification Hamilton
	Building or Site Name from from from files.
2.	Street address 361 East Maple City Birmingham
3.	Legal description 08-19-25 456 027
4.	Ownership: Public Private
5.	Ownership: Public Private Private Present Owner C. B. Barney Address 835 Parky 48509
	Zoning 6-4
7.	Use: Original present present
Des	scription
8.	Site: Open land woodland landscaped
	Buildings if so, what?
9.	Building material: Clapboard stone brick shingles
	board & battenstuccoother_limiters trans
10.	Structural material: Wood frame masonry load bearing wall
	other
L1.	Condition: Excellent good fair deteriorated
12 .	Integrity: Original site
	from where?
13.	Alteration: Unaltered, if so when?
	How?
	Architect
14.	Related outbuildings and property: barngarageshed
	shop greenhouse landscape features other

Significance				
et .				
-				
10				
Address 181 Meen Date Date May 3, 1983 Telephone No. 644-5389				
8				

Appendix I: Overlay District Map:



William L. Finnicum III AIA NCARB

Curriculum Vitae

Education: Bachelor of Architecture

Ohio University, 1969, Cum Laude

Honors: Architects Society of Ohio Award of Merit

For Outstanding Architectural Graduate, 1969

American Institute of Architects, School Medal and Certificate of Merit for Excellence in the Study of

Architecture 1969

Certification: National Council of Architectural Registration Boards, 1973

Licenses: Pennsylvania, *Michigan, Florida, North Carolina, Texas, Louisiana, *Indiana (*Active)

Practice: Partner with Anthony J. Stillson and Associates, Pittsburgh, PA, 1972-1974

Opened private architectural practice in Michigan, 1974

Formed Finnicum Brownlie Architects, Inc. with Ian A. Brownlie, 1984 to present

Service: Chairman Franklin Village Historic District Commission, 1979 - 2007

Chairman Franklin Village Historic District Study Committee, 1990 through 1996

Building Official Village of Franklin, 1980 through 1996

Main Street Oakland County Community Selection Committee 2001, 2002, 2005

Main Street Oakland County Advisory Board 2002 to 2016

Main Street Franklin Design Committee 2009 to 2015

Horizons Upward Bound Advisory Board, Cranbrook Schools, 2001 to present

Shain Park Ad Hoc Steering Committee, City of Birmingham, 2008 to 2012

Detroit Economic Club Reception Committee, 1995 to present

Published: Builder Magazine, B & P Magazine, Residential Architect, Detroit Free Press,

Remodeler Magazine, Detroit News, Detroit Home; Birmingham Observer & Eccentric and Birmingham Patriot and Jewish News, CAM Magazine, Hour

Detroit, Oakland Press

Awards: 1st annual Farmington Hills Historic Preservation Award for relocating and

restoring Botsford Inn barn to the Stewart farmstead, 2008

City of Birmingham Historic Preservation Award for restoration of the

Historic Peck House, 2003

Builder's Choice Special Focus Award from Builder Magazine for the Cinderilla Patch Historic Landmark Townhouse Project, Birmingham, MI, 1997

Best Historic Rehabilitation, Hour Detroit, for the Hinnant Residence, 2004

Best Children's Room Design, Hour Detroit, for the Hinnant Residence, 2004

Salon of the Year Award, Salon Magazine, for the Ginger Group Salon, 1988

Dearborn Beautification Award, historic adaptive reuse, Hair Designs Unltd, 1986

Project of the Month, Builder Magazine, for the Brown Street Condominiums1985

Representative Projects:

Botsford Inn: Restored to the Henry Ford Era, 2007 to 2009

Historic McBride House: Rehabilitated, Birmingham, MI 1999

Historic United Presbyterian Parsonage: Rehabilitated, Birmingham, MI 2016

Historic Major Jones House: Rehabilitated, Birmingham, MI 2017

Strand Theatre: HSR / adaptive reuse plan, Pontiac MI 2010

Old Central School: HSR / adaptive reuse plan as proposed Pontiac Public Library, Pontiac MI 2012

Fochtman's Department Store: HSR / development plan for theatre conversion, Petoskey, MI 2013



MEMORANDUM

Planning Division

DATE: January 11, 2018

TO: Historic District Commission

FROM: Matthew Baka, Senior Planner

SUBJECT: Historic Design Review - 556 W. Maple - Accessibility and Pond

restoration plan, Birmingham Historical Park, Mill Pond Historic District.

Zoning: PP, Public Property

Existing Use: Birmingham Historical Park

Proposal

The City of Birmingham is proposing to reconstruct the previously existing pool behind the Allen house and install an ADA compliant path system to create an accessible outdoor experience available to all users. This project is being proposed in conjunction with the implementation of a wetland restoration project in the pond area. The Historical Park and Museum is a historically designated property and is required to obtain City approvals for exterior changes. The Birmingham Museum Director, Leslie Pielack, has provided the attached report outlining the motivation and analysis involved in the consideration of this proposal. The report contains details on the current proposal as well as historic photos. HRC Engineering has also provided an analysis of the pond area which includes many physical characteristics of the pool. In addition, the landscape and accessibility plans for property have been included.

The construction of the crushed stone pathways are part of an ongoing effort by the City of Birmingham to making the parks and other public facilities accessible to all users. There is a public workshop taking place on Tuesday January 16th at 6pm where the considerations and approach to the development of this plan will be described in detail.

Sec. 127-11. Design review standards and guidelines.

- 1. (a) In reviewing plans, the commission shall follow the U.S. secretary of the interior's standards for rehabilitation and guidelines for rehabilitating historic buildings as set forth in 36 C.F.R. part 67. Design review standards and guidelines that address special design characteristics of historic districts administered by the commission may be followed if they are equivalent in guidance to the secretary of interior's standards and guidelines and are established or approved by the state historic preservation office of the Michigan Historical Center.
 - (b) In reviewing plans, the commission shall also consider all of the following:
 - (1) The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area.

- (2) The relationship of any architectural features of the resource to the rest of the resource and to the surrounding area.
- (3) The general compatibility of the design, arrangement, texture, and materials proposed to be used.
- (4) Other factors, such as aesthetic value, that the commission finds relevant.

RECOMMENDATION

The U.S. secretary of the interior's standards for rehabilitation #6 recommends that the reconstruction of previously existing historic elements where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence. In addition standard #9 states that new additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment. The proposal appears to generally comply with these standards. The HDC should consider if the proposed plan sufficiently meets these criteria to be granted approval.

WORDING FOR MOTIONS

I move that the Commission issue a Certificate of Appropriateness for The work as proposed meets "The Secretary of the Interior's Standards for Rehabilitation" standard number			
I move that the Commission issue a Certificate of Appropriateness for, provided the following conditions are met: (List Conditions). "The Secretary of the Interior's Standards for Rehabilitation" standard number			
I move that the Commission deny the historicapplication for Because of the work does not meet 'The Secretary of the Interior's Standards for Rehabilitation" standard number			
"THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION AND GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS"			

The U. S. secretary of the interior standards for rehabilitation are as follows:

- (1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- (2) The historic character of a property shall be retained and preserved. The removal

- of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- (3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- (4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- (5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
- (6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- (7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
- (8) Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Notice To Proceed

I move the Commission issue a Notice to Proceed for application numb	er The work
is not appropriate, however the following condition prevails:	and the proposed
application will materially correct the condition.	

Choose from one of these conditions:

a) The resource constitutes hazard to the safety of the public or the structure's occupants.

- b) The resource is a deterrent to a major improvement program that will be of substantial benefit to the community and the applicant proposing the work has obtained all necessary planning and zoning approvals, financing, and environmental clearances.
- c) Retaining the resource will cause undue financial hardship to the owner when a governmental action, an act of God, or other events beyond the owner's control created the hardship, and all feasible alternatives to eliminate the financial hardship, which may include offering the resource for sale at its fair market value or moving the resource to a vacant site within the historic district. have been attempted and exhausted by the owner.
- d) Retaining the resource is not in the best of the majority of the community.



Director Report

DATE: March 3, 2016 TO: Museum Board

FROM: Leslie Pielack, Museum Director

SUBJECT: Strategy for Park and Landscape Planning

Pond Area, Historic Resources and Public & Municipal Requirements

In the past year, funds have been received from the Rosso Family Foundation to assist in removal of aggressive invasives in the pond area near Willits Avenue, and to pursue possible design for incorporating native plants in their place. A brainstorming meeting also took place on January 28 with a number of local native plant experts, the parks manager, and Birmingham residents who are knowledgeable about using natives in park settings. Tina Krizanic of the Museum Board, and Karen Battersby of the Friends board were also part of that meeting. There was enthusiastic support for introducing these natives and utilizing this opportunity for interpretive education and furthering the museum's mission, while highlighting the natural resource we have in the pond.

While the immediate vicinity of the pond was the focus of this discussion, it is important to understand how this project interfaces with an overall plan for the park and general municipal requirements for public spaces. In particular, the museum grounds are part of the historic Allen House site and within the Mill Pond Historic District; this fact should also be addressed in an overall approach to city objectives and public use to ensure that historic features of the landscape are properly protected and preserved. Also important are the physical requirements of the Americans with Disabilities Act (ADA), which was revised in 2012, and how they would be implemented in any treatment of the landscape.

Previous Planning for Park Landscape

In 2009, a ten-year preliminary Master Plan was developed with the Museum Board by Michael Dul & Associates, landscape designers. The plan included a 'wish list' of desirable elements felt to be important by the Museum Board, and cost estimates exceeded 1 million dollars. At the time, it was hoped that park bond funds would be available to pay for the plan. However, park bond funding was not available, and the recession's impact on funding such projects has altered expectations. Some components of the plan have led to specific construction projects (e.g., the 2010 ramps to the Hunter House and Allen House, and the Allen House porch improvements and door modifications for barrier-free access in 2012). Both were accomplished almost entirely with federal Community Development Block Grant (CDBG) funds, which support ADA projects.

Other components of the Dul plan were only conceptual in nature, and were subsequently changed (e.g, the Hill School Bell Structure was originally sited at the top of the Rouge Trail, but was changed to the plaza between the Hunter and Allen Houses with significant community input. Mr. Dul was part of the group that participated in the changed concept discussion.)

Funding for final design and construction has been provided by private sources and grass roots fundraising.

Limitations of the 2009 Dul Plan

The plan as originally developed was preliminary and conceptual only. It incorporated ideas that may need revision or are no longer a priority, and it lacked some of the elements that are presently seen as important. For example, providing public WiFi was not a consideration at that time, but now our digital needs have developed in new ways, making this a key focus of public programming and access. Furthermore, adequate funding has been supplied through the Birmingham Bloomfield Cable Board grants to provide it. However, another important element was missing altogether from the Dul preliminary park Master Plan: no survey of the historic landscape features was made, and no provision made for their protection or interpretation. In addition, how the museum's park figures into city objectives (such as providing a walkable community), and whether the museum plan should incorporate the Rouge Trail corridor plan were not identified or incorporated.

Summary and Recommendations

At this time, it seems appropriate for the Museum Board to consider the best overall plan and strategy for the park going forward, in particular, how it would align with the current review of the museum's Strategic Plan for 2017-2020. This strategy could identify general concepts for the park, suggest how phased approaches, such as improvements at the pond, could be handled, and make additional recommendations.

The first step in that process would be a survey of the existing historic features of the landscape (Allen House), with recommendations as to protection of those resources. This survey should meet minimum standards relating to historic landscapes and structures as provided for in the guidelines from the Secretary of the Interior's Standards for Historic Landscapes through the National Park Service and/or the State Historic Preservation Office. Such a survey may be performed by a contracted expert or by the city's Historic District Study Committee (if directed by the city commission). From there, an overview of how the park can help accomplish museum and city goals, what the ADA impact of any design or plan would be, and how best to get public input should be developed. This overview would be a revised and more complete park Master Plan, but still conceptual and preliminary in nature, to allow for flexibility. Such a plan would allow discrete, phased work to take place, and in a more comprehensive form, would be more likely to generate funding support through grants or private donations.

<u>Suggested Resolution:</u> To establish an overall strategy or preliminary Master Plan for the museum park that incorporates identification and protection of its historic and natural resources, that integrates planning with city goals and other public access requirements, and that is aligned with the museum's mission and ongoing Strategic Plan implementation.



PRINCIPALS

Daniel W. Mitchell Nancy M. D. Faught Keith D. McCormack Jesse B. VanDeCreek Roland N. Alix Michael C. MacDonald James F. Burton Charles E. Hart

SENIOR ASSOCIATES

Gary J. Tressel Randal L. Ford William R. Davis Dennis J. Benoit Robert F. DeFrain Thomas D. LaCross Albert P. Mickalich Timothy H. Sullivan Thomas G. Maxwell

ASSOCIATES

Marvin A. Olane Marshall J. Grazioli Donna M. Martin Colleen L. Hill-Stramsak Bradley W. Shepler Karyn M. Stickel Jane Graham Todd J. Sneathen Aaron A. Uranga Salvatore Conigliaro

HUBBELL, ROTH & CLARK, INC.

OFFICE: 555 Hulet Drive Bloomfield Hills, MI 48302-0360 MAILING: PO Box 824 Bloomfield Hills, MI 48303-0824 PHONE: 248.454.6300 FAX: 248.454.6312 WEBSITE: www.hrcengr.com EMAIL: info@hrcengr.com November 15, 2017

City of Birmingham Birmingham Museum 556 W. Maple Birmingham, Michigan 48009

Attn: Ms. Leslie Pielack, Museum Director

Re: Summary Report for HRC Job No. 20170833

Initial Site Investigation

Dear Ms. Pielack:

Hubbell, Roth and Clark, Inc. (HRC) is pleased to present our Initial Site Investigation findings for future improvements to the grounds at the Birmingham Museum. This letter is written to summarize our findings and provide recommendations for further action.

There is an existing pond on the north side of the property adjacent to Willits Street. The pond hydrology is generated by ground water spring seeps, and the water elevation in the pond is controlled by an overflow channel at the northwest corner that diverts excess flow into a City storm sewer along Willits. We proposed to complete the evaluation in steps, beginning with this Initial Site Investigation. Recommended steps to continue the evaluation are presented at the end of this report.

Initial Site Investigation:

- Pond Survey HRC has completed a detailed survey of the pond and it's surrounding area including probing the bottom of the pond to identify the limits of the remnants of the historic pool. A portion of the eastern pool wall was found, with the top of the wall approximately 6 inches below the existing water surface. We did not find evidence of a second wall perpendicular to Willits that would define the pool as seen in historical photographs. Probing also revealed the presence of a concrete pool bottom that generally slopes from east to west. It appears the pool bottom is approximately 1 foot or less below the top of the submerged wall, and slopes to a depth of about 3.5 feet towards the west. The pool bottom was under approximately 4 inches of sediment, decomposing vegetation and muck.
- Wetland Delineation HRC completed a detailed investigation of the wetland limits and conditions in the pond area. The methods used to conduct this wetland delineation are consistent with our understanding of the procedures and general practices used by the Michigan Department of Environmental Quality (MDEQ). The MDEQ currently utilizes the wetland delineation protocols as specified in the US Army Corps of Engineers 1987 manual including regional supplements. This determination included review of inoffice information including the Oakland County Soil Survey and the National Wetland Inventory mapping and on-line resources. The pond area is considered open water and floating leaf habitat and emergent wetland conditions are present surrounding the open water. The emergent wetland areas contained invasive species typical to urban areas in southeast Michigan. Upslope wetland areas are present due to persistent seeps through the slope



Ms. Leslie Pielack November 15, 2017 HRC Job Number 20170833 Page 2 of 3

bank. These areas are classified as wet-meadow wetlands.

MDEQ Jurisdiction/Regulatory Discussion

Part 303 Wetlands Protection of PA 451, 1994 defines wetland as "...land characterized by the presence of water at a frequency and duration sufficient to support, and that under normal circumstances, does support, wetland vegetation or aquatic life, and it commonly referred to as a bog, swamp, or marsh...." Wetland areas in Oakland County are regulated by the MDEQ if they are greater than five acres in size; have a physical connection to or are located within 500 feet of an inland lake, river, stream or pond; or, have a physical connection to or are located within 1,000 feet of the Great Lakes or Lake St. Clair. A stream is defined as having definite banks, a bed, and visible evidence of a continued flow or continued occurrence of water.

A permit must be obtained from the MDEQ prior to conducting most filling, dredging and/or draining activities or maintaining a use of a regulated wetland. Although the wetland area is small (less than one-third an acre), it will be considered a regulated wetland due to its location being within 500 feet of the Rouge River.

Recommended Actions

A progress meeting was held at the site on November 9, 2017 to review the findings with representatives of the Birmingham Museum and Nagy Devlin Land Design. Also discussed were further actions that could be taken to advance the design development for improvements of the grounds at the Birmingham Museum. Recommended actions include the following:

- 1. Schedule Pre-Application Meeting with MDEQ SE Michigan District representative to introduce the project, review site conditions and present proposed possible activities that would impact the wetlands; preferably before winter conditions prohibit viewing the area. We assume possible activities to discuss include both short-term and long-term impacts, including:
 - short-term lowering of the water surface and dredging to investigate remnants of the historic pool
 - ≡ long-term lowering of the water surface to reveal the top of the submerged wall
 - = construction of boardwalk across wetland areas
 - **■** modifications/enhancements to existing wetlands
- 2. Complete US FWS wetland delineation data forms (will be required for future permit application submittal, and will benefit pre-application meeting).
- 3. Review construction plans for Willits Avenue related to collecting drainage from the pond outlet and discharging to the Rouge River, as well as any permits that were obtained at that time.
- 4. Perform environmental site soils investigation; including hand-auger borings, soil sampling & testing (pH, organic content, etc.) to assist with appropriate native planting selection as well as to determine construction limitations.



Ms. Leslie Pielack November 15, 2017 HRC Job Number 20170833 Page 3 of 3

5. After review of these actions, as well as continued progress of conceptual plan development by Nagy Devlin Land Design, consider if further investigation of the historic pond condition is desired. With that decision, the nature of the MDEQ permit application can be determined, which could then be prepared for submittal.

With submittal of this report, we have concluded the scope of services described in our proposal from September 21, 2017. Our fee for these services will be very close the amount estimated. After your review of the information provided to date and consideration of further actions that could be taken, please contact us to finalize a scope-of-work for any additional professional services, and we can provide an estimate of our fee to complete.

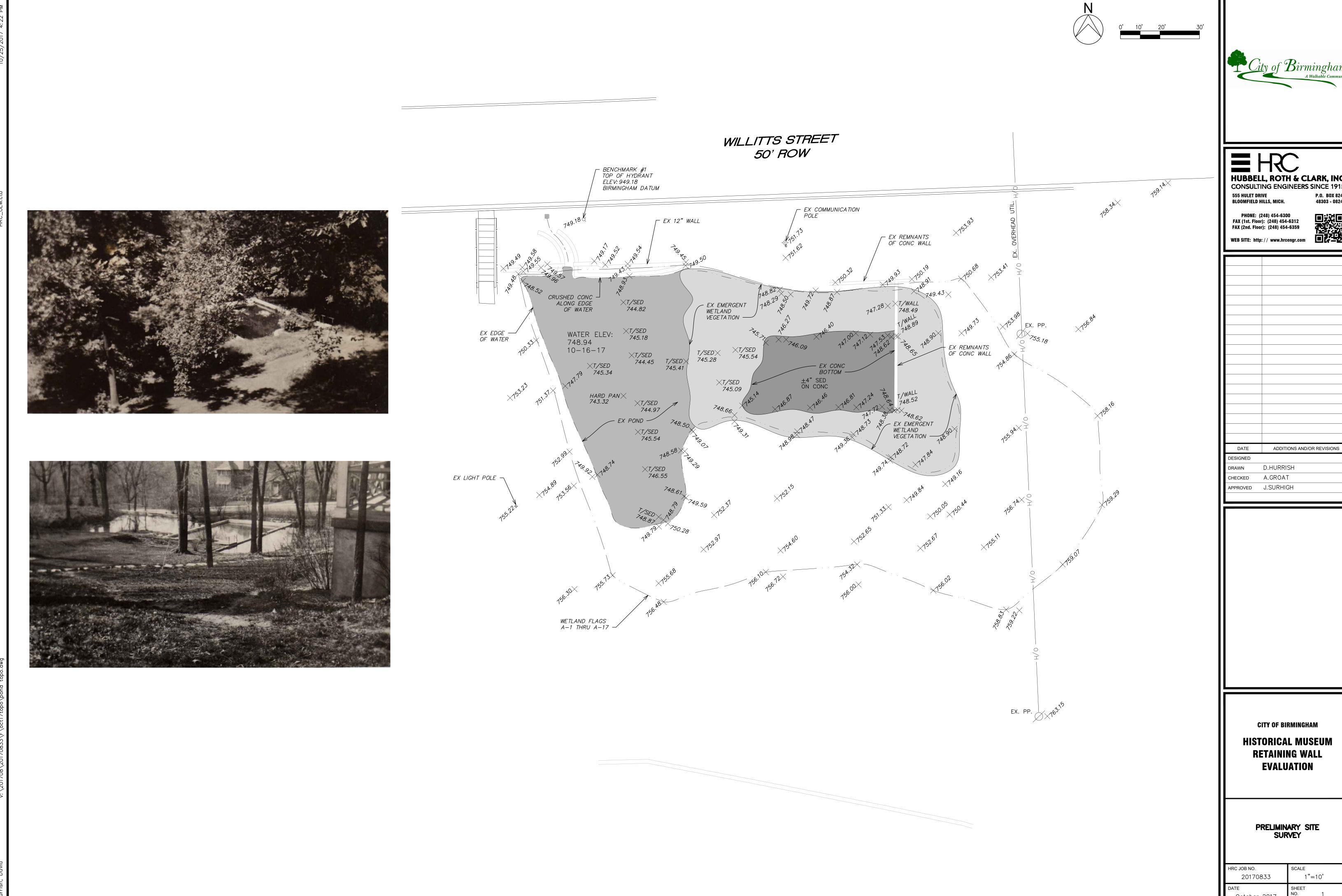
If you have any questions or require any additional information, please contact the undersigned.

Very truly yours,

HUBBELL, ROTH & CLARK, INC.

James J. Surhigh, P.E. Senior Project Engineer

pc: HRC; M. MacDonald, D. Sratelak, L. Seymour, File





HUBBELL, ROTH & CLARK, INC CONSULTING ENGINEERS SINCE 1915 P.O. BOX 824 48303 - 0824

WEB SITE: http://www.hrcengr.com

APPROVED J.SURHIGH

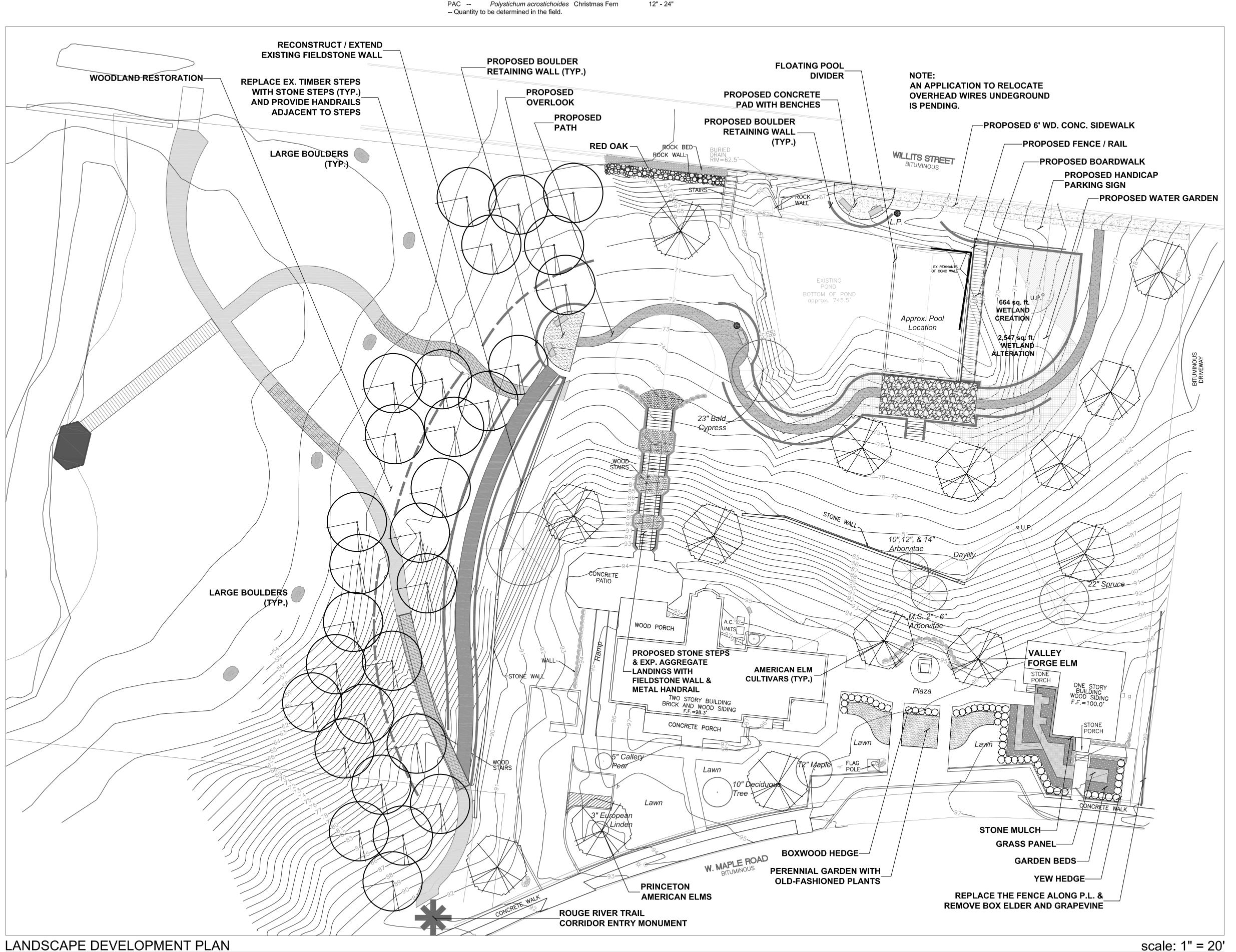
CITY OF BIRMINGHAM

HISTORICAL MUSEUM RETAINING WALL EVALUATION

1"=10' October 2017

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KEY QTY.	BOTANICAL NAME	COMMON NAME	SIZE / HT.	KEY QTY.	BOTANICAL NAME	COMMON NAME	SIZE / HT.	FLOWER COLO	R FLOWERING TIME	KEY QTY. BOTANICAL NAME	COMMON NAME	SIZE / HT.
Canopy Trees			VL Viburnum lentago		Nannyberry Viburnum	30" ht., 5 gal. pot			Shrub Layer			
ASR -	Acer saccharum	Sugar Maple	2" - 2-1/2" cal. B&B	Ground Lay	er					AG Andromeda glaucaphylla	Bog Rosemary	24" ht., 3 gal. pot
CO -	Celtis occidentalis	Northern Hackberry	2" - 2-1/2" cal. B&B	ACA	Asarum canadense	Wild Ginger	6" - 12"	Dark red to brow	n Late Spring	CCA Chamaedaphne calyculata	Leatherleaf	24" ht., 3 gal. pot
LT –	Liriodendron tulipifera	Tuliptree	2" - 2-1/2" cal. B&B	AT	Arisaema triplyllum	Jack-in-the-Pulpit	12" - 30"	Green	Spring	GH Gaultheria hispidula	Creeping Snowberry	24" ht., 3 gal. pot
Subcanopy 1	Trees			CV	Claytonia virginica	Spring Beauty	6" - 12"	White	Spring	KP Kalmia poliifolia	Bog Laurel	24" ht., 3 gal. pot
AA –	Amelanchier arborea	Downy Serviceberry	2" cal. B&B	GM	Geranium maculatum	Wild Geranium	12" - 18"	Light purple to pir	nk Late Spring	LG Ledum groenlandicum	Labrador Tea	24" ht., 3 gal. pot
CA –	Cornus alternifolia	Pagoda Dogwood	1" cal. B&B	HA	Hepatica americana	Round-Lobed Hepatica	4" - 6"	Pink, white, blue	Spring	LL Larix laricina 'Girard's Dwarf'	Dwarf American Larch	24" ht., 3 gal. pot
CC -	Carpinus caroliniana	Musclewood	2" cal. B&B	PP 	Podophyllum peltatum	Mayapple	12" - 24"	White	Late Spring	VC Vaccinium macrocarpa	Cranberry	24" ht., 3 gal. pot
OV -	Ostrya virginiana	American Hophornbeam	2" cal. B&B	PB	Polygonatum biflorum	Solomon's Seal	12" - 36"	Yellow	Late Spring	Ground Layer		
Shrub Layer	•			SCA	Sanguinaria canadensis	Bloodroot	6" - 12"	White	Spring	MT – Menyanthes trifoliata	Bogbean	8" - 12"
HV –	Hamamelis virginiana	Witch-Hazel	36" ht. B&B	SM	Sanicula marilandica	Black Snakeroot	12" - 48"	White	Spring/Summer	DS – Drossera spp.	Sundews	6"
LB –	Lindera benzoin	Spicebush	30" ht., 5 gal. pot	SR	Smilacena racemosa	False Solomon's Seal	12" - 36"	White	Late Spring	PO – Pogonia ophioglossoides	Pitcher Plants	9" - 18"
VD -	Viburnum dentatum	Arrowwood Viburnum	30" ht., 5 gal. pot	TG	Trillium grandiflorum	Showy Trillium	9" - 18"	White	Spring	SC – Spiranthes cernua	Ladies'-tresses	8" - 20"
VL –	Viburnum lentago	Nannyberry Viburnum	30" ht., 5 gal. pot	FERNS						SS – Sarracenia spp.	Pitcher Plants	9" - 18"
				AP	Adiantum pedatum	Maidenhair Fern	12" - 24"			 Quantity to be determined in the field. 		
				PAC Quantity to	Polystichum acrostichoides be determined in the field.	Christmas Fern	12" - 24"					



COST ESTIMATE QTY. COST TOTAL HERITAGE ZONE: * Tree Removal: \$4,000.00 New Plant Material: Deciduous Trees \$650 \$1,950.00 Densiformis Yew \$120 \$3,600.00 Winter Gem Boxwood \$120 \$3,000.00 25 * Garden Bed Preparation: \$6,000.00 80 l.f. \$30 l.f. \$2,400.00 * Wood Fence: * Metal Edging: 48 l.f. \$10 l.f. \$480.00 * Stone Mulch: 3 c.y. \$75 c.y. <u>\$225.00</u> \$21,655.00 Subtotal TRANSITION ZONE: * Tree Removal: 3 \$500 ea. \$1,500.00 * Stone Walls: 520 f.f. \$120 f.f. \$62,400.00 340 s.f. \$80 s.f. \$27,200.00 * Stone Steps: * Exposed Aggregate Conc. 400 s.f. \$18 s.f. \$7,200.00 New Plant Material: \$3,250.00 Deciduous Trees \$101,550.00 Subtotal POND ZONE: \$6,000.00 * Tree Removal: 12 \$500 \$4,000.00 * Shrub Removal: \$85,000 / ac. 0.12 ac. \$10,200.00 * Pond Dredging: * Boulder Retaining Walls: 1,120 f.f. \$35 f.f. \$39,200.00 260 f.f. \$120 f.f. \$31,200.00 * Stone Walls: * Crushed Limestone Path: 1,220 s.f. \$6 s.f. \$7,320.00 * Boardwalk: 360 s.f. \$65 l.f. \$23,400.00 * Wood & Cable Rail Fence: 96 l.f. \$25 l.f. \$2,400.00 * Concrete Sidewalk & Pad: 1,040 s.f. \$8 s.f. \$8,320.00 * Benches: \$700.00 2 \$350 * Stone Patio: 670 s.f. \$22 s.f. \$14,740.00 \$25,000.00 * New Plant Material: \$172,480.00 Subtotal WOODLAND / RIVERINE ZONE * Tree Removal: 15 \$500 \$7,500.00 * Boulder Retaining Walls: 2,480 f.f. \$35 f.f. \$86,800.00 * Large Boulders. 6 \$1,500 * Stone Wall: 320 f.f. \$120 f.f. \$38,400.00 * Stone Steps: 744 s.f. \$60 s.f. \$26,160.00 * Crushed Limestone Path: 1,050 s.f. \$6 s.f. \$6,300.00 * Crushed Limestone Pad: 290 s.f. \$6 s.f. \$1,740.00 * Wood & Metal Handrail: 190 l.f. \$25 l.f. \$4,750.00 * River Overlook: \$14,000.00 * New Plant Material: \$25,000.00 * Benches: 2 \$350 \$700.00 * Invasive Species Eradication: \$12,000.00 \$232,350.00 Subtotal \$528,035.00 \$180,000.00 Pool Restoration:

LANDSCAPE PLAN FOR: City of Birmingham 151 Martin Street Post Office Box 3001 Birmingham, Michigan 48012-3001 (248) 530-1808

LANDSCAPE PLAN BY:
Nagy Devlin Land Design
31736 West Chicago Ave.
Livonia, Michigan 48150
(734) 634 9208

scale: 1" = 20'

Srian Devlin

Ms. Leslie Pielack, Director

PROJECT LOCATION:

Birmingham Museum/

John West Hunter Park

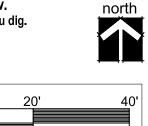
556 West Maple Road

Birmingham, Michigan

(248) 530 1928

48009

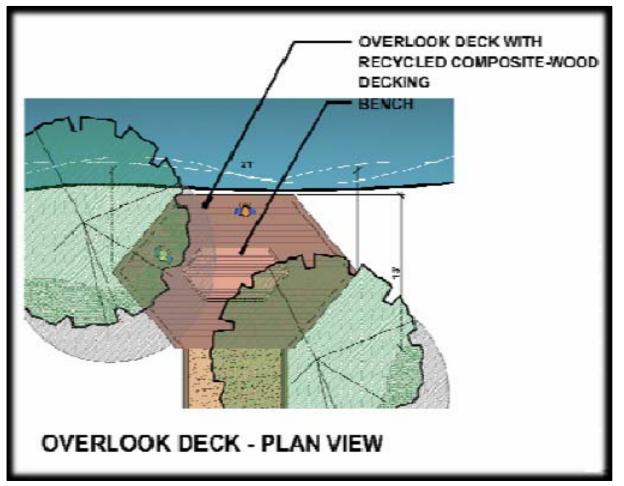
Know what's below.
Call before you dig.



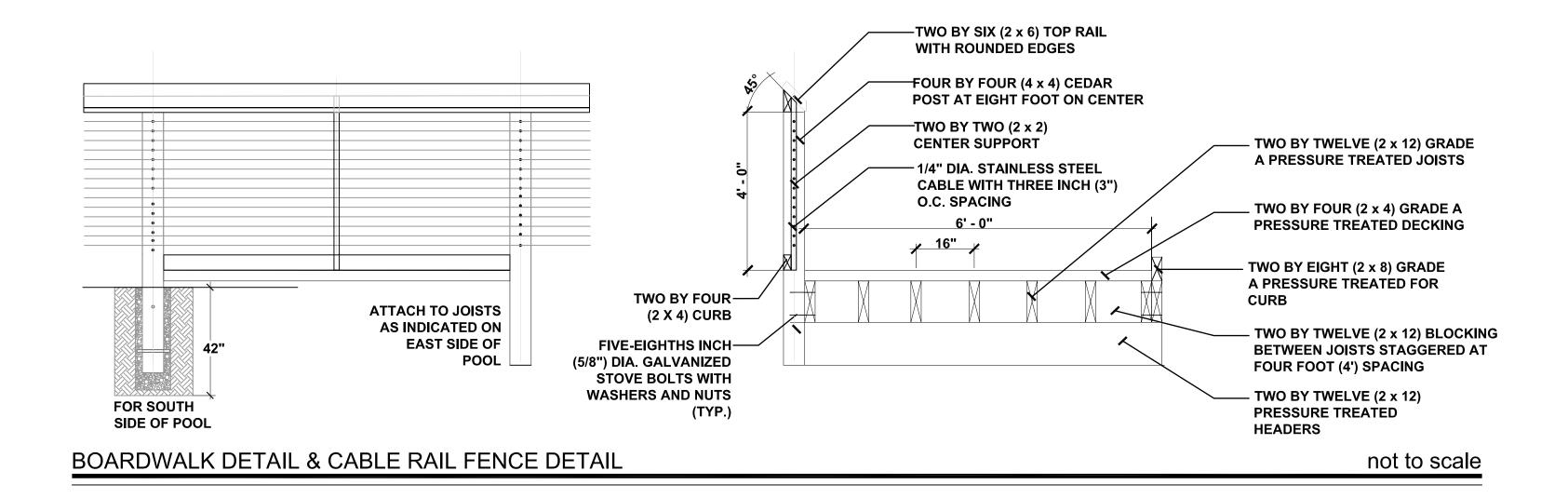


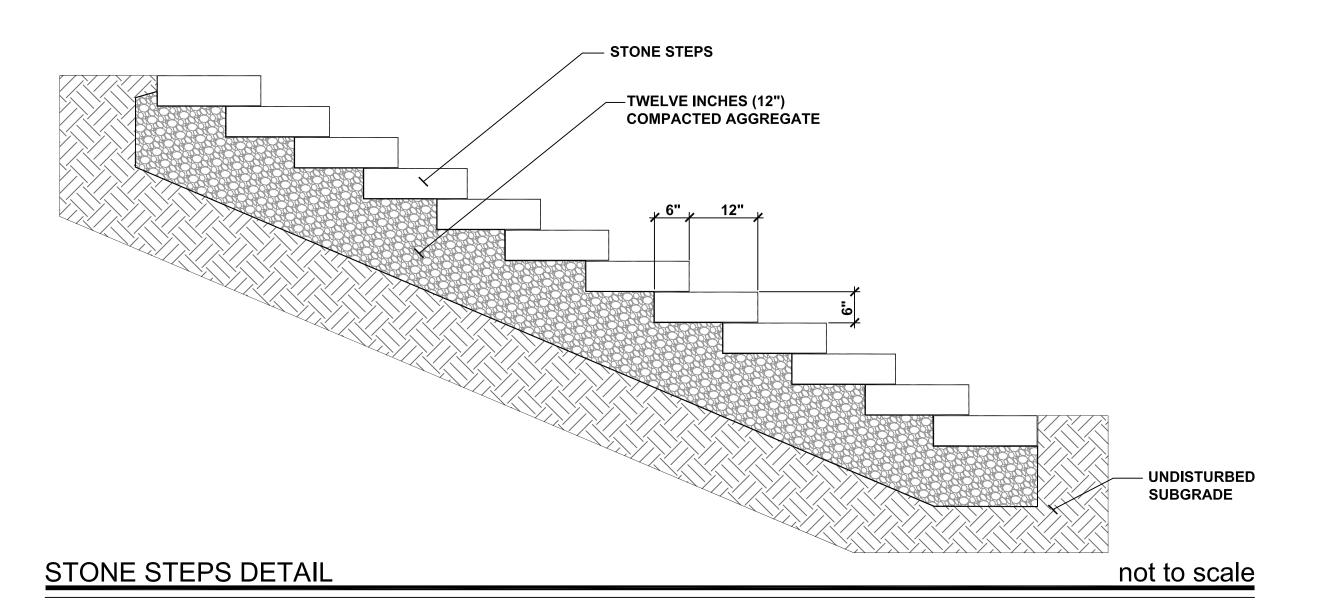
Client from Atwell Hicks & HRC.

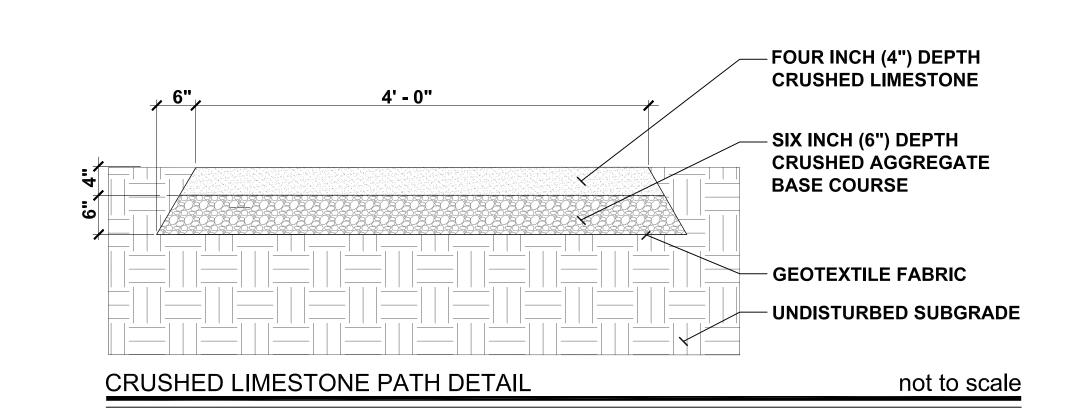
date: October 5, 2017
revised:
11-02-2017 Adjust for pond
survey.
01-04-2018 Refine plan.
01-05-2018 Minor adjustments.

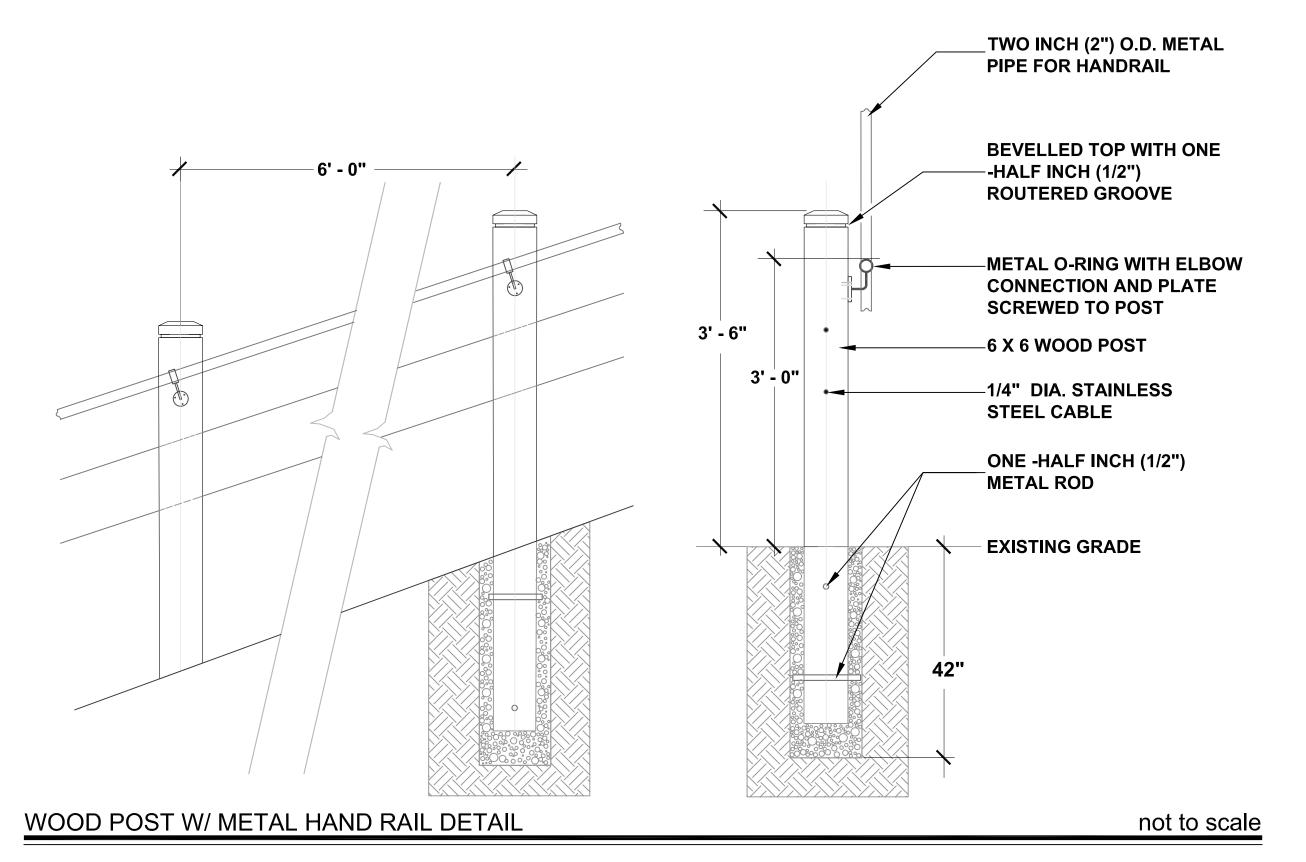


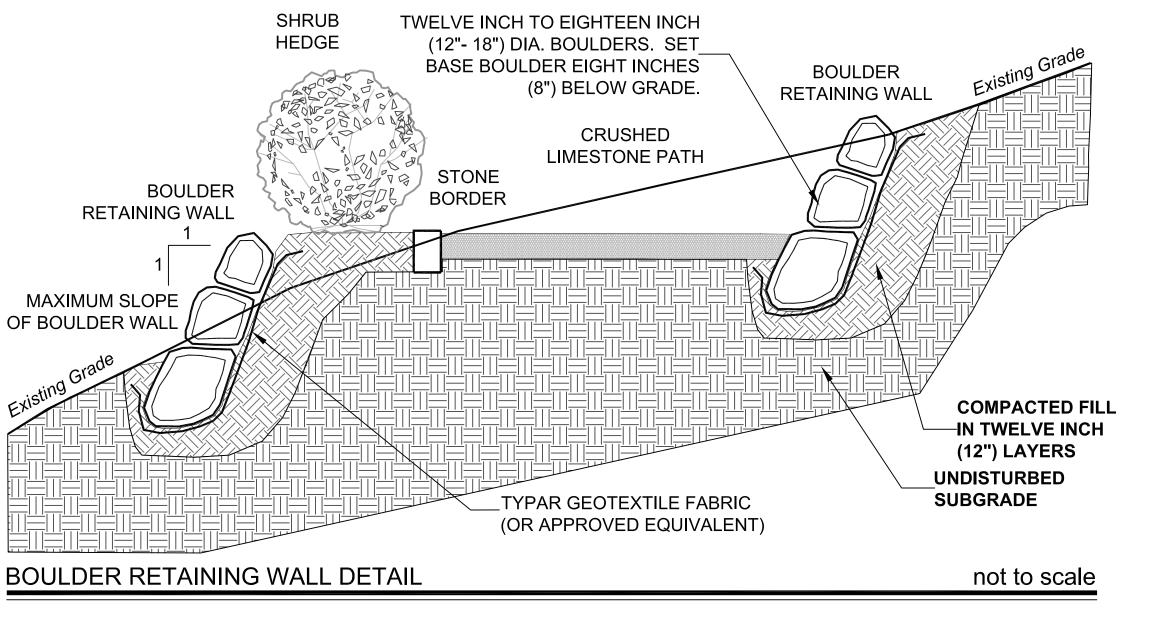
From the Rouge River Trail Corridor Master Plan for the City of Birmingham.











NOTES FOR CONTROL OF *Phragmites* WITH HERBICIDES:

PLANT DESCRIPTION

Common Reed, *Phragmites ausralis* subsp. *australis*, is a warm-season perennial grass with a rigid, hollow stem that grows between six feet and thirteen feet (6' - 13') in height. The leaves are flat, smooth, and green to grayish-green and the flowers grow as dense branched clusters on the end of each stem that are open and feathery at maturity. It is often found in ditches, swales, wetlands, and on stream banks and pond banks. Common Reed has become an invasive species as it outcompetes native vegetation lowering local plant diversity.

Common Reed can be eradicated with a long-term management strategy that may include burning, mechanical methods (mowing or hand pulling), and / or herbicides. The following guidelines utilize a management program to control *Phragmites* with the application of herbicides. (Information from the State of Michigan and Wikipedia.)

- 1. The first step in the control of *Phragmites* is the application of herbicides. Glyphosate and imazapyr are two (2) herbicides effective in controlling *Phyragmites*. Imazapyr can be used in combination with glysophate to provide control over *Phragmites* for a longer period of time but can also be used alone for effective control. *Phragmites* should be treated in early to late summer (June through September) when using imazapyr or late summer (August through September) when using glyphosate or a imazapyr/glyphosate mixture to achieve the best results. These herbicides are non-selective and will affect any plant which is contacted by the solution. The applicator should strictly adhere to the chemical manufacturer's specifications for the correct method of application and rate of application.
- Methods of application depend on the size of the *Phragmites* stand and existing site conditions. Scattered plants or isolated plant stands may be treated by injecting stems, hand swiping, or selective hand spraying. Large stands may require the use of commercial equipment. The application of herbicides should be conducted by a licensed or certified applicator to provide the best method for eradication of the *Phragmites* while minimizing damage to native plants and following best management practices for required safety procedures.
- Either herbicide should be used in a formulation that is specifically approved for use in wet areas.
 The next step in the eradication of *Phragmites* is to mow or cut the dead plant material after the herbicide treatment. This process should not occur until at least two (2) weeks after the herbicide treatment to allow maximum exposure to the herbicide. Mowing or cutting of the treated plants is recommended during late summer to fall (August to first hard frost) or in the winter when the ground is frozen. Hand cutting is effective for removing individual plant stems or very small stands but a brush cutter is more effective for large dense stands. The cutting blade should be set to a mowing height of greater than four inches (4") to help minimize any impact to small mammals and native plants. Any equipment used to manage *Phragmites* should be cleaned of all debris before removing it from the treatment site to prevent the spread of seeds or rhizomes to other sites. If the plants are mowed or cut, the plant material should be immediately collected and bagged to prevent the spread of seeds and disposed of properly.
- 3. Reseeding of the treated area:
- Since Glyphosate does not persist in the soil for an extended period of time, reseeding of the desired seed mix can occur after the mowing or cutting process has been completed.

 Imazapyr remains in the soil for a much longer period of time, therefore, reseeding of the desired seed mix
- should not occur for a year after the application treatment.

 4. Annual monitoring shall be conducted in mid to late summer. Any individual plants should be treated and removed by hand techniques as described above to insure that *Phragmites* does not become reestablished.

NOTES FOR CONTROL OF GARLIC MUSTARD:

PLANT DESCRIPTION

Garlic Mustard, *Alliara petiolata*, is an herbaceous biennial flowering plant that smells like garlic when crushed. The plant produces heart-shaped basal rosettes (leaves) that appear in year one at ground level. In the second year, stems shootup to one foot to four feet (1' - 4') in height and develop flowers and seeds while the leaves become more toothed and triangular in shape. In early Spring, clusters of tiny, white, four-petaled flowers bloom before the overstory trees leaf out. The seed pods aree green, long, and narrow and look like stems, turning brown in the Fall. Garlic Mustard thrives in woodlands because it can tolerate deep shade.

Garlic Mustard has become an invasive that spreads quickly through woods outcompeting understory plants including tree saplings.

(Information from the State of Michigan.)

Garlic Mustard can be eradicated with a long-term management strategy that may include prescribed burning, manual and mechanical methods (mowing or hand pulling), and / or herbicides. The following guidelines utilize a management program to control *Phragmites* with the application of manual and mechanical methods.

- 1. The manual method includes the removal of the plants by pulling the entire root mass with the leaves. Care should be taken to disturb the soil as little as possible since the disturbance can encourage seeds sprouting from the existing seed bank. Hand pulling of Garlic Mustad plants may be limited to year one plants. In conjunction with hand pulling, the management progran can include the removal of just the flowers and seedheads. With this method it is important repeat the procedure multiple times during the growing season. The goal is to eliminate the individual plants while reducing the potential seed bank and minimizing soil disturbance and desirable plant damage or elimination.
- 2. Another manual technique is cutting the stem at ground level with a weed whip or other cutting device. This method is best employed in the second year of plant growth especially during a period of drought when the plant is already stressed. The resulting vegetative debris should be entirely removed from the site and discarded in a manner that does not allow seeds to escape and colonize other areas. Care should be taken to clean all tools used thoroughly including clothing and footwear to minimize any accidental seed dispersion.

The successful elimination of Garlic Mustard is a process that will take several years and must be attempted with a sustained, long-term management approach.

(Informatiom from the Natural Resources Conservation Service.)

LANDSCAPE PLAN FOR: City of Birmingham 151 Martin Street Post Office Box 3001 Birmingham, Michigan 48012-3001 (248) 530-1808

LANDSCAPE PLAN BY: Nagy Devlin Land Design 31736 West Chicago Ave. Livonia, Michigan 48150 (734) 634 9208

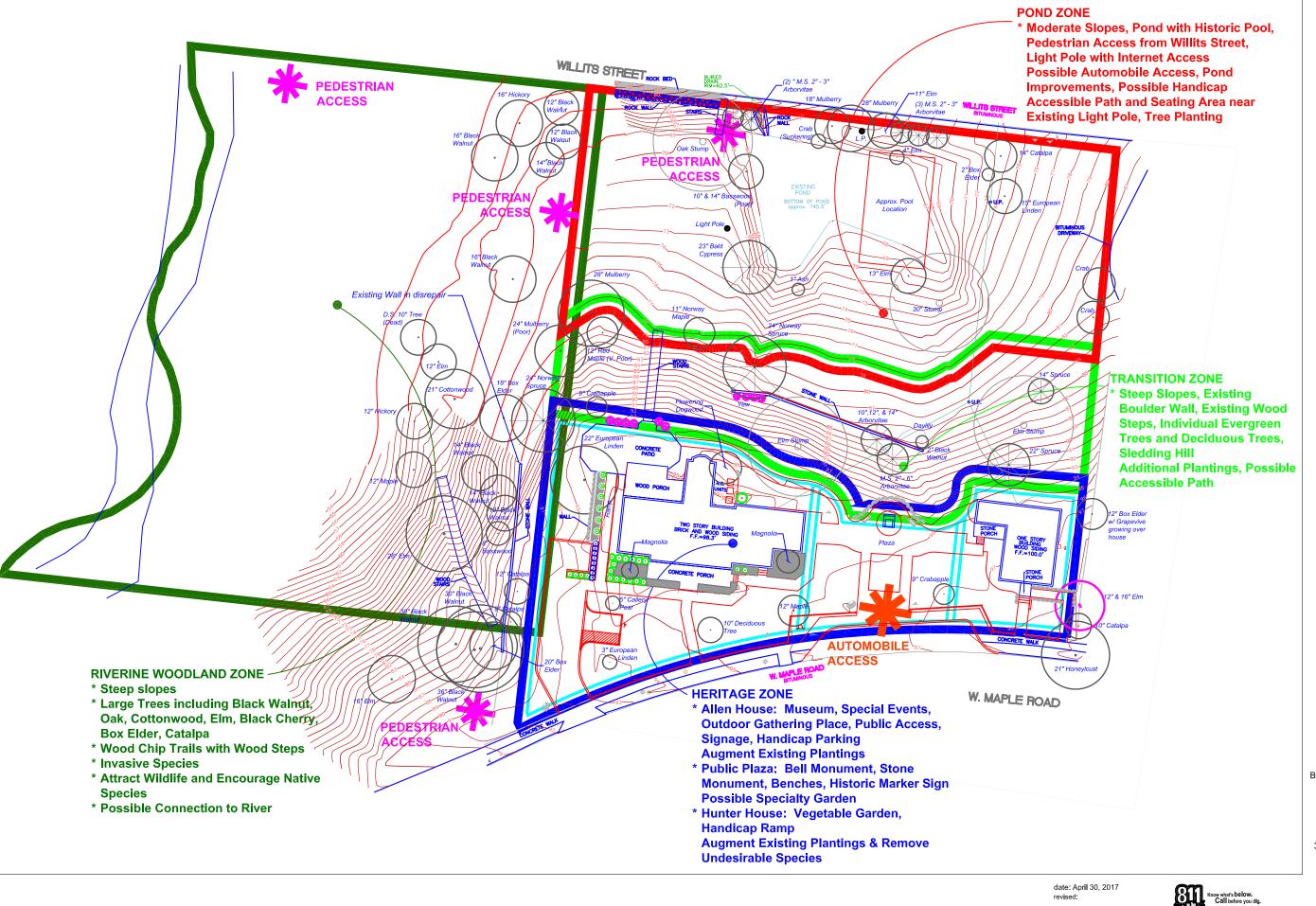
date: January 4, 2018 revised: 01-05-2018 Minor adjustments.

Know what's below.
Call before you dig.

PROJECT LOCATION:
Birmingham Museum/
John West Hunter Park
556 West Maple Road
Birmingham, Michigan
48009
Ms. Leslie Pielack, Director
(248) 530 1928

Drian Devlin AUTOCAD SIGNATURE ORIGINAL IN BLUE

CLP - 2: CONCEPTUAL LANDSCAPE MASTER PLAN DETAILS







LANDSCAPE PLAN FOR: City of Birmingham 151 Martin Street Post Office Box 3001 Birmingham, Michigan 48012-3001 (248) 530-1808

PROJECT LOCATION: Birmingham Museum/ John West Hunter Park 556 West Maple Road Birmingham, Michigan 48009 Ms. Leslie Pielack, Director (248) 530 1928

LANDSCAPE PLAN BY: Nagy Devlin Land Design 31736 West Chicago Ave. Livonia, Michigan 48150 (734) 634 9208

> EC - 1a: **EXISTING** CONDITIONS PLAN w/ ZONES

* Base data provided by Client from Atwell Hicks.

Historic Feature Photo References-Museum Grounds from Schoolhouse era c.1910 to 1955



Back of red schoolhouse as residence, c. 1915 (Willits in foreground)



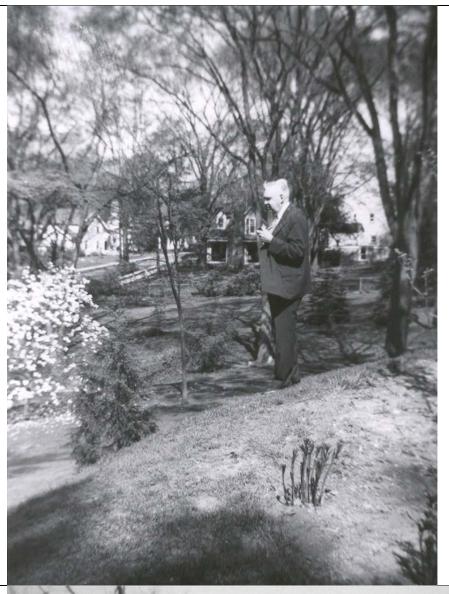
Back of red schoolhouse as residence, c. 1915 (Willits in foreground)



Back of red schoolhouse, c. 1910



Schoolhouse, c. 1920



Harry Allen in back yard, 1955. Mature elms in background, Willits below.



Back of Allen House 1955



View of Allen House Swimming Pool (fed by spring), c. 1950



View of Allen House Swimming Pool, 2



Mature elm tree behind Allen House, approx 100 years old, before removal in 2015



Peg Allen, note top of wall; appears to be looking north along side of drive with Rouge valley to the left?.



Allen House from east, with slope and trees, c. 1960



Allen House from the west, showing wall and landscape with mature elms.



Another view showing trees on west and south, c. 1950



Allen House, c. 1970s showing trees, shrubbery, and circle drive.



Maple Road looking east, c. 1940



Discovering Your Community's Natural Asset
The Rouge Green Corridor





The Rouge Green Corridor is an urban river flowing through Birmingham,
 Beverly Hills, and Southfield that provides a haven for wildlife and people to enjoy





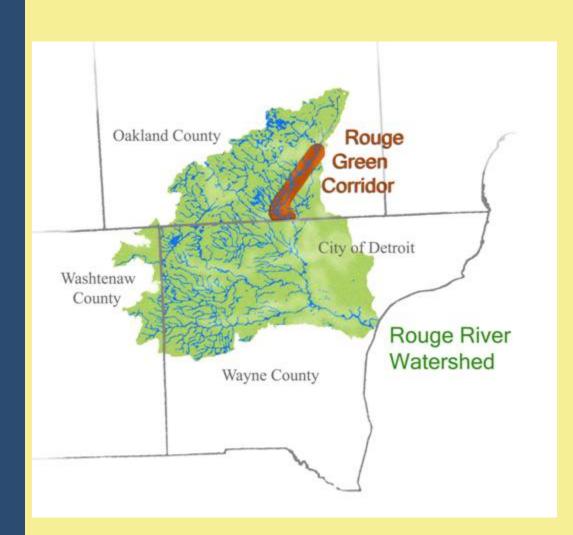












Partners:

City of Birmingham
Village of Beverly Hills
City of Southfield

Southeast Oakland County Water Authority (SOCWA)

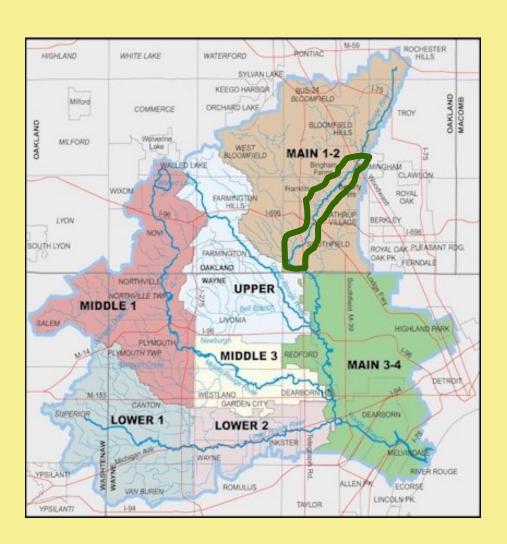
Friends of the Rouge

Oakland Land Conservancy

Oakland County Office of the Drain Commissioner

Oakland County Planning & Economic Development Services

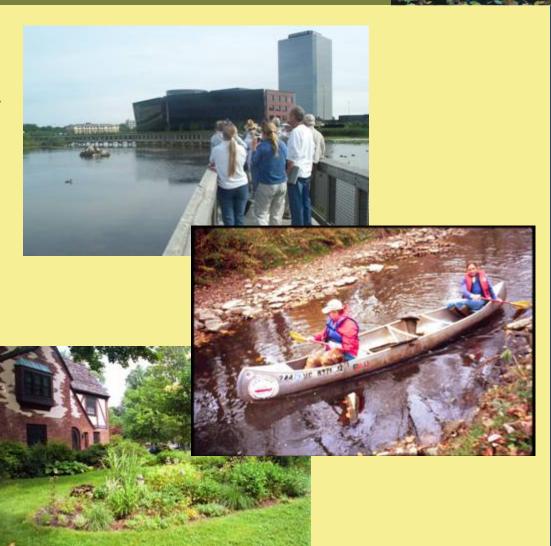




Main 1-2 Subwatershed Goal:

Maximize community assets related to the river

- The Rouge Green
 Corridor is an urban river
 corridor
 - Nature preserves and public lands to explore
 - Private residents that are stewarding the river
 - Businesses that are participating in good corporate citizenship practices



The Rouge Green Corridor Why is it special?



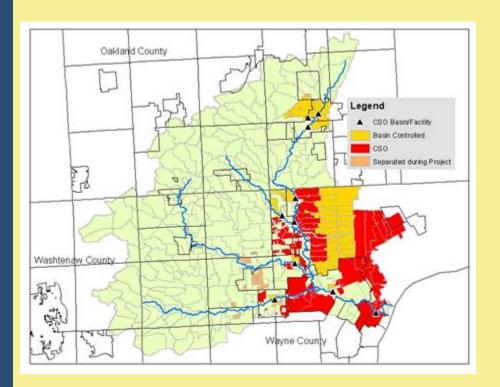
Intact riparian vegetation



The Rouge Green Corridor Why is it special?



 Improvements in water quality due to installation of CSO basins



Recent monitoring has shown:

- Increased dissolved oxygen
- Decreased bacteria
- •Highest diversity of fish species in the Rouge
- •Sensitive "River Bugs"-macroinvertebrates
- •Five kinds of turtles, two kinds of nonpoisonous snakes, eight species of frogs, and seventeen species of mammals
- Largest and most diverse population of freshwater mussels within the entire Rouge River watershed
- •Several natural areas of significant floristic quality (Douglas Evans, Valley Woods North)

The Rouge Green Corridor Identity Demonstration Project





Project Purpose:

To provide local communities with tools to identify, promote, protect, and enhance 'Riparian Green Corridors" in the Rouge River Watershed and throughout Southeast Michigan

The Rouge Green Corridor Identity Demonstration Project





Project Products:

- Rouge Green Corridor Identity and Branding Package
- Educational Poster & Map Guide
- •Planning Guidelines for Riparian Corridors
- •Technology transfer to other Rouge communities and Southeast Michigan watersheds

The Rouge Green Corridor Identity and Branding Package





The Rouge Green Corridor

Identity and Branding Package: Road Sign





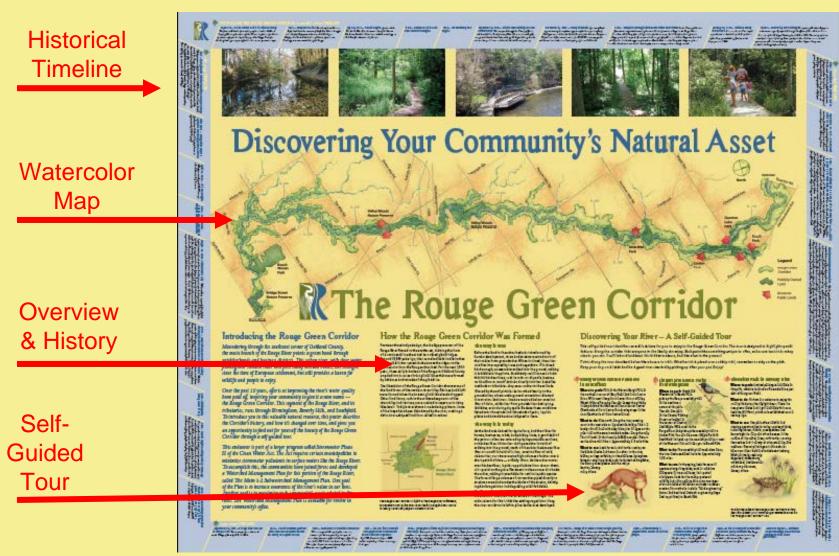
The Rouge Green Corridor Branding Package: Road Sign





The Rouge Green Corridor Educational Poster





The Rouge Green Corridor **Educational Poster**



Challenges & **Opportunities**

Riverfront **Property Owner** Guide

Today and Tomorrow

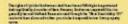
Challenges, Opportunities, and Actions to Enhance the Rouge Green Corridor as a Community Asset



Current Challenges and Opportunities



Rights and Responsibilities of Riverfront Property Owners







River Stewardship 101

More

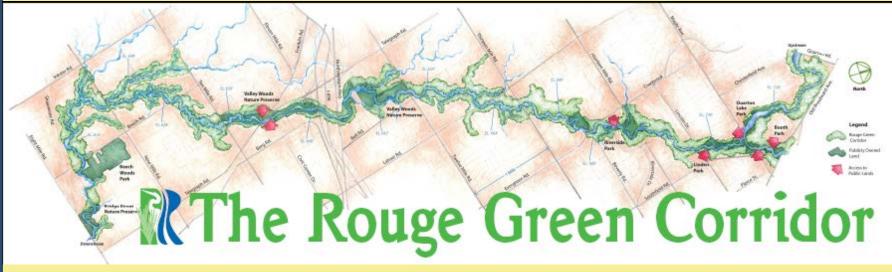
Resources

Stewardship

Guide

The Rouge Green Corridor Self-Guided Tour Map





Discovering Your River - A Self-Guided Tour

The self-quicked to artifecture second insertions for you to expay on the Energy Green Contribe. The tour is designed to highlight special features along the contribution energy as the features along the contribution of the process of the second to the contribution of the process of the pro

Valley Woods Nature Preserve in Southfield

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Introducing the Rouge Green Corridor

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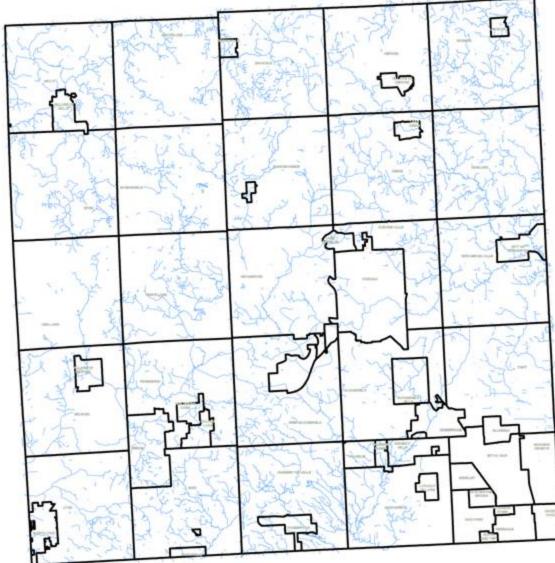
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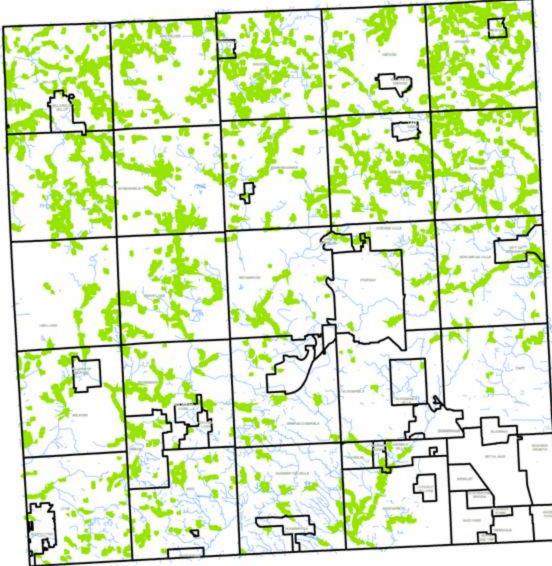
The Rouge Green Corridor Riparian Planning Guidelines





The Rouge Green Corridor Riparian Planning Guidelines





The Rouge Green Corridor Riparian Planning Guidelines



- 1. Riparian Corridors: An Opportunity to Connect to Nature An introduction to the opportunity presented by riparian corridors.
- 2. Riparian Corridors in the Landscape of Southeast Michigan Information about the geography, ecology, and history of riparian corridors.
- 3. Land and Identity: A Planning Process for Riparian Corridors Options for planning for riparian corridor enhancement protection.
- 4. Conservation and Restoration of Riparian Corridors References to best practices for the preservation and ecological management of riparian resources
- 5. Cultural Resources: Building Awareness and Connecting with the River Options for bringing people and the river together.
- **6. The Role of Community Planning in Riparian Corridor Protection** Information about the role of local community planning and regulatory measures that can help protect riparian resources.
- 7. Funding Riparian Initiatives Information about funding opportunities for work in riparian areas.
- 8. Case Study: Riparian Planning and Management in the Rouge Green Corridor Discussion and lessons learned from a riparian corridor project in southeast Oakland County.
- 9. Summary & Additional Resources

The Rouge Green Corridor Learn more



www.oakgov.com/es

and click on "Rouge Green Corridor"



ROUGE RIVER RESTORATION PROJECT

THE CITY OF BIRMINGHAM

OAKLAND COUNTY, MICHIGAN

CONTRACT NO. 2-11(M)

GORDON RINSCHER

Mayor

MARK NICKITA

Nayor Pro—Jem

GEORGE DILGARD
RACKELINE J. HOFF
TOM McDANIEL
SCOTT MOORE
STUART LEE SHERMAN

ROBERT BRUNER

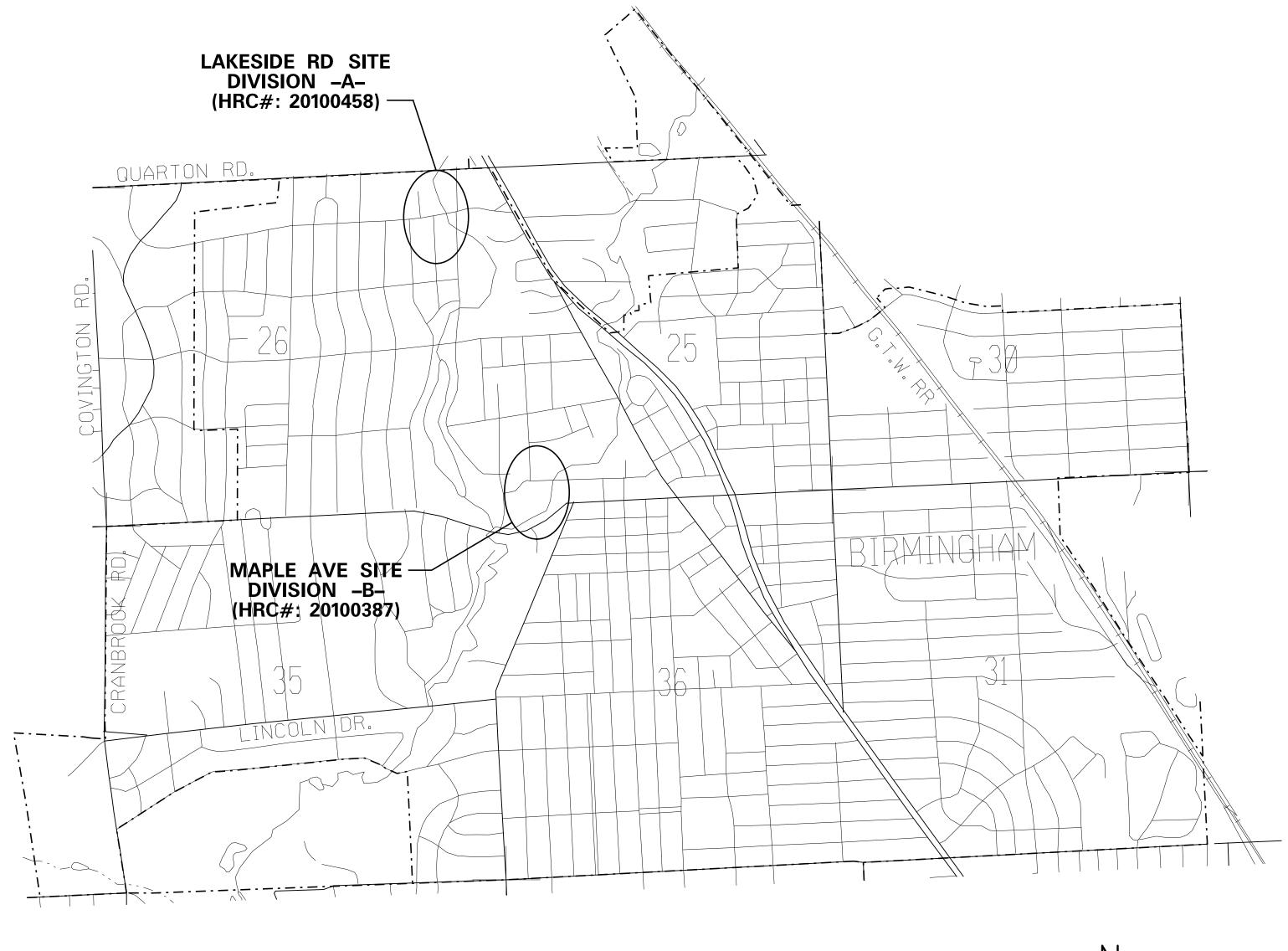
City Manager

LAURA BROSKI

City Clerk

PAUL O'MEARA

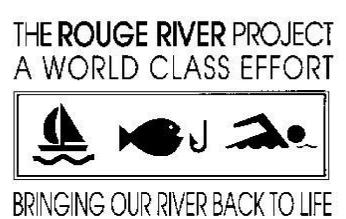
City Engineer



PLAN INDEX

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PROJECT NOTES	2
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LAKESIDE RD. SITE CROSS SECTIONS	4
LAKESIDE RD. SITE PLANTING	5
MAPLE AVE. SITE GRADING PLAN	6–7
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DETAIL SHEETS	DS 1-6
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PARTIALLY FUNDED BY A GRANT
TO THE CITY OF BIRMINGHAM FROM THE
U.S. ENVIRONMENTAL PROTECTION AGENCY FOR THE
ROUGE RIVER NATIONAL WET WEATHER DEMONSTRATION PROJECT







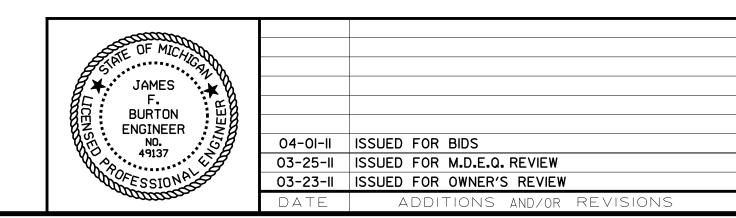
HUBBELL, ROTH & CLARK, INC Consulting Engineers

555 HULET DRIVE BLOOMFIELD HILLS, MICH.

P.O. BOX 824 48303 - 0824

PHONE: (248) 454-6300 FAX (1st. Floor): (248) 454-6312 FAX (2nd. Floor): (248) 338-2592 WEB SITE: http://www.hrc-engr.com







GENERAL

THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MDOT 2003 STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE SPECIFIED IN THE CITY OF BIRMINGHAM STANDARD SPECIFICATIONS, DETAILS OR SPECIAL PROVISIONS AND THE SPECIFICATIONS CONTAINED HEREIN.

COOPERATION BY THE CONTRACTOR: NO ADDITIONAL COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR ANY DELAY OR INCONVENIENCE DUE TO MATERIAL SHORTAGES OR REASONABLE DELAYS DUE TO THE OPERATIONS OF SUCH OTHER PARTIES DOING WORK INDICATED OR SHOWN ON THE PLANS OR IN THE PROPOSAL OR FOR ANY REASONABLE DELAYS IN CONSTRUCTION DUE TO THE ENCOUNTERING OF EXISTING UTILITIES THAT MAY OR MAY NOT BE SHOWN ON THE PLANS.

LIMITATIONS ON PRIVATE WORK: DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL NOT PERFORM WORK BY PRIVATE AGREEMENT WITH PROPERTY OWNERS ADJACENT TO THE PROJECT WITHOUT PRIOR CITY CONSENT. WORK MAY BE ALLOWED WHEN REQUESTED BY THE CITY, BUT ONLY WITH WRITTEN CONSENT.

THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN SUCH A MANNER TO COMPLY WITH ALL FEDERAL, STATE, AND LOCAL CODES FOR NOISE LEVELS, VIBRATIONS, OR ANY OTHER RESTRICTIONS WHILE PERFORMING ANY CONSTRUCTION OPERATIONS WITHIN THIS CONTRACT, COSTS TO BE INCLUDED IN THE RESPECTIVE ITEM OF WORK.

THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE LOCAL FIRE & POLICE DEPARTMENTS, POST OFFICE, AND THE CITY 24 HOURS IN ADVANCE OF PROPOSED ROAD CLOSURES, OR TEMPORARY TRAFFIC CONTROL MEASURES.

THE CONTRACTOR SHALL, BEFORE EACH DAYS WORK, OR WHEN MOVING TO A NEW AREA OF WORK, DETERMINE AND EVALUATE THE LOCATION OF ALL UNDERGROUND FACILITIES IN THE AREA. IF LOCATION STAKES HAVE BEEN MOVED OR DO NOT APPEAR CORRECT, THE CONTRACTOR SHALL NOT EXCAVATE UNTIL ALL UTILITIES HAVE HAD AN OPPORTUNITY TO CHECK OR RESTAKE THEIR LOCATIONS. ANY DELAYS INCURRED, DUE TO THE CHECKING OR RESTAKING OF UTILITIES SHALL NOT BE A BASIS FOR ADDITIONAL COMPENSATION.

THERE WILL BE NO ADJUSTMENT IN THE CONTRACT UNIT PRICE REGARDLESS OF THE PERCENTAGE OF INCREASE OR DECREASE ABOVE OR BELOW THE CONTRACT QUANTITY FOR ANY ITEM OF WORK.

IT IS THE INTENT THAT ALL GOVERNMENT CORNERS ON THIS PROJECT BE PRESERVED AND THAT, WHERE NECESSARY, MONUMENT BOXES BE PLACED OR ADJUSTED, AT THE CONTRACTORS EXPENSE WHETHER SHOWN OR NOT.

THE LOCATION OF ALL PUBLIC UTILITIES SHOWN ON THESE PLANS IS TAKEN FROM THE BEST AVAILABLE DATA. THE CITY OF BIRMINGHAM & HUBBELL, ROTH AND CLARK, INC. WILL NOT BE HELD RESPONSIBLE FOR ANY OMMISION OR VARIATIONS FROM THE LOCATIONS SHOWN. PURSUANT TO ACT 53 OF THE PA OF 1974 AS A CONDITION OF THIS CONTRACT NOTICE SHALL BE GIVEN TO MISS DIG PRIOR TO UNDERGROUND WORK TO BE PERFORMED IN ACCORDANCE WITH THIS CONTRACT. PHONE (800)-482-7171.

CONTRACTOR TO SUBMIT DETAILED CONSTRUCTION SEQUENCE AT THE PRECONSTRUCTION MEETING NOTING ALL CHANGES TO PROPOSED SCHEDULE OF WORK PROPOSED OR WORK PROPOSED TO OCCUR CONCURRENTLY WITH OTHER ITEMS OF WORK.

TRAFFIC MAINTENANCE & CONTROL

TRAFFIC WILL BE MAINTAINED DURING THE CONSTRUCTION IN ACCORDANCE WITH THE CONSTRUCTION PLANS, MMUTCD (LATEST EDITION), SPECIFICATION 2550 AND ANY TRAFFIC TYPICAL PLANS INCLUDED IN SPECIFICATIONS. IN ADDITION TO THE BARRICADES AND SIGNS SPECIFIED ON THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL ALSO PROVIDE NECESSARY SIGNS, FLAG CONTROL, BARRICADES AND LIGHTS TO PROTECT THE TRAFFIC AND THE WORK AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE PLASTIC DRUMS WITH BATTERY OPERATED AMBER FLASHERS (ONE PER) AS INDICATED ON PLANS.

THE CONSTRUCTION INFLUENCE AREA (C.I.A.) SHALL CONSIST OF THE WIDTH OF THE PROPOSED RIGHT-OF-WAY FROM THE PROJECT POINT OF BEGINNING TO THE POINT OF ENDING OR AS OTHERWISE INDICATED ON THE PLANS AND A SUFFICIENT DISTANCE BEFORE & AFTER THE PROJECT TO WARN MOTORISTS OF THE CONSTRUCTION AHEAD OR AS OTHERWISE DESCRIBED.

MISCELLANEOUS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE PROPERTY BEYOND THE LIMITS OF CONSTRUCTION, INCLUDING EXISTING FENCING, LAWN, TREES AND SHRUBBERY.

UNLESS INDICATED ON THE PLANS NO STORAGE OF MATERIALS, EQUIPMENT, ETC SHALL OCCUR IN THE FLOOD PLAIN LIMITS. FLOW IN THE FLOOD PLAIN IS TO BE MAINTAINED AT ALL TIMES.

FOR PROPOSED WORK IN AREAS CLOSE TO UTILITY POLES, NO EXCAVATIONS WITHIN TEN (10) FEET AND NO BORES WITHIN (3) FEET FROM THE UTILITY POLES ARE ALLOWED.

ALL TREES AND SHRUBS REQUIRED TO BE TRIMMED/PRUNED SHALL BE DONE IN A MANNER TO MAINTAIN NATURAL APPEARANCE. ALL TREES INDICATED TO BE PROTECTED ON THE PLANS OR AS DIRECTED BY THE PROJECT ENGINEER SHALL HAVE TEMP. PROTECTIVE MEASURES INSTALLED PER STANDARD SPECIFICATIONS.

CONTRACTOR RESPONSIBLE TO REPAIR OR REPLACE ANY EXISTING TRAFFIC SIGNS DAMAGED BY HIS OPERATION DURING CONSTRUCTION. SIGNS TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MMUTCD.

ACCESS TO AREAS OUTSIDE OF PROJECT LIMITS TO BE APPROVED BY CITY OF BIRMINGHAM OR PROJECT ENGINEER PRIOR TO START OF CONSTRUCTION.

CONTRACTOR TO COORDINATE CONSTRUCTION ACTIVITIES WITH OTHER CONTRACTORS WORKING IN AREA.

CONTRACTOR IS TO REVIEW SOIL BORING DATA & RECOMMENDATIONS AS PREPARED BY THE GEOTECHNICAL FIRM IF PROVIDED IN THE SPECIFICATIONS.

ANY DEWATERING NECESSARY TO CONSTRUCT THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND ALL COSTS ASSOCIATED SHALL BE INCLUDED IN THE UNIT BID PRICES FOR THE OTHER PAY ITEMS.

ALL UTILITY CROSSINGS TO HAVE A MINIMUM OF 18" VERTICAL CLEARANCE TYPICAL.
ALL GRAVEL ACCESS DRIVES TO BE 21AA LIMESTONE AGGREGATE.

UTILITIES

EMER:

THE FOLLOWING UTILITY COMPANIES MAY HAVE FACILITIES WITHIN THE PROJECT LIMITS:

CENTURYTEL MICHIGAN NETWORK
MICHAEL BERGERON
GREG SERICH
100 SECOND STREET
4074 S. LINDEN ROAD
PINCONNING, MICHIGAN 48650
(989) 879-8798
(810) 244-3500

CONSUMER ENERGY CO.

JOHN HILL

ROYAL OAK OFFICE

4600 COOLIDGE HWY.

ROYAL OAK, MICHIGAN 48073

(248) 433-5618

THER:

NORLIGHT TELECOMMUNICATIONS
CHRIS LENTINE
612 WEST LAKE LANSING ROAD
SUITE 400
EAST LANSING, MICHIGAN 48823
(517) 304-2946

DETROIT EDISON UNDERGROUND

AT&T

MARK COLLINS

LARRY ZDAN

1970 ORCHARD LAKE ROAD 54 N. MILL ST., BOX 32 SYLVAN LAKE, MICHIGAN 48320 PONTIAC, MICHIGAN 48342 (586) 457-3256 (248) 456-0820 EMER: (800) 477-4747 EMER: (800) 515-7272

DETROIT EDISON

JIM HAMMOND

37849 INTERCHANGE DRIVE
FARMINGTON HILLS, MICHIGAN 48335
(248) 427-2982

CITY OF BIRMINGHAM

RICK CLARK

851 S. ETON RD.

BIRMINGHAM, MI 48009

248-530-1700

ALL UTILITIES WITHIN ZONE OF INFLUENCE OF PROPOSED WORK ARE TO BE FIELD LOCATED AND HAND DUG. ALL COSTS TO BE INCLUDED IN THE COST OF THE PROJECT.

ALL GAS FACILITIES SHALL BE PROTECTED AND SUPPORTED PER MICHCON OR CONSUMER

ENERGY STANDARDS AS APPLICABLE.

PRIOR TO WORK ON FACILITIES BELONGING TO THE ABOVE AGENCIES, A MINIMUM OF 72 HOURS NOTICE MUST BE GIVEN IN ORDER TO INSURE PROPER INSPECTION BY THE RESPECTIVE AGENCIES.

CONCRETE, GRADE S3, SHALL BE USED TO ENCASE UTILITIES THAT ARE IN CLOSE PROXIMITY TO THE PROPOSED CONSTRUCTION ONLY AS DIRECTED BY THE ENGINEER.

ALL EXPLORATORY WORK REQUIRED FOR LOCATING EXISTING UTILITIES SHALL NOT BE

PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE CONSTRUCTION OF THE PROJECT.

THE EXISTING UTILITIES LISTED HEREIN AND SHOWN ON THESE PLANS REPRESENT THE
BEST INFORMATION AVAILABLE AS OBTAINED FROM SURVEYS AND FROM UTILITY RECORD
MAPS. THIS INFORMATION DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBLITY
TO SATISFY HIMSELF AS TO THEIR ACCURACY OR OF HIS RESPONSIBILITY IN CASE
UTILITIES HAVE BEEN CONSTRUCTED, RELOCATED OR REMOVED.

OWNERS OF PUBLIC UTILITIES WILL NOT BE REQUIRED TO MOVE ADDITIONAL POLES AND STRUCTURES THAT ARE NOT SPECIFICALLY INDICATED AS SUCH ON THE PLANS.

THE CONTRACTOR SHALL LOCATE ALL ACTIVE UNDERGROUND UTILITIES PRIOR TO STARTING WORK, AND SHALL CONDUCT HIS OPERATIONS IN SUCH A MANNER AS TO INSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.

FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL DIAL 800-482-7171 A MINIMUM OF 3 WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS, PRIOR TO EXCAVATING IN THE VICINITY OF UTILITY LINES. ALL "MISS DIG" PARTICIPATING WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

HEAVY EQUIPMENT ACCESS AND OPERATIONS

IT IS THE CONTRACTOR'S RESPONSIBLITY TO VERIFY THE CONDITIONS OF THE EXISTING SLOPES AND SOILS FOR GAINING ACCESS TO THE SITE. THE OWNER IS NOT RESPONSIBLE FOR BURIED MATERIALS AND OTHER CONDITIONS.

THE CONTRACTOR SHALL USE REASONABLE MEASURES TO AVOID SOIL COMPACTION BY HEAVY

EQUIPMENT LOCATION SHOULD BE LIMITED TO: AGGREGATE INGRESS/EGRESS, EXISTING STONE RIFFLES, POINT BARS, AND BANKFULL BENCH AREAS TO THE MAXIMUM EXTENT POSSIBLE.

ALL HEAVY EQUIPMENT THAT WILL CROSS OR WORK IN THE RIVER SHALL BE EQUIPPED WITH BIODEGRADABLE HYDRAULIC FLUID WITH CERTIFICATIONS TO BE PROVIDED TO THE ENGINEER.

CONTRACTOR SHALL USE EQUIPMENT SUITABLE FOR WORK IN THE RIVER. THE OBSERVER RESERVES THE RIGHT TO EXCLUDE ANY EQUIPMENT HE DEEMS UNACCEPTABLE TO ENTER THE RIVER DUE TO LEAKING FLUIDS, ACCUMULATED SEDIMENT, OR OTHER POTENTIAL HAZARDS TO WATER QUALITY. TEMPORARY RIP RAP OR OTHER MEANS AS NECESSARY SHALL BE USED TO PROTECT THE EDGE OF THE STREAMBANK WHEN ENTERING OR EXITING THE STREAM. THE ACCESS PATH WILL BE GRADED AND STABILIZED BY THE CONTRACTOR TO SUPPORT HIS OPERATIONS WHILE MINIMIZING DISRUPTION AND RESTORATION. THE CONTRACTOR SHALL PROVIDE ACCESS PLANS AND DETAILS FOR CITY REVIEW AT THE PRE-CONSTRUCTION MEETING. ALL COSTS ASSOCIATED WITH THE CONTRACTOR'S CHOSEN MEANS OF ACCESS SHALL BE INCIDENTAL TO THE PROJECT AND INCLUDED IN OTHER LINE ITEMS AS NECESSARY. THE CITY WILL NOT COMPENSATE THE CONTRACTOR FOR EXCESS CLEARING, GRADING, OR RESTORATION DUE TO THE CONTRACTOR'S OPERATIONS SELECTED.

STREAMBANK DIRECTION

ALL RIGHT AND LEFT STREAMBANKS / CROSS SECTIONS ARE FACING DOWNSTREAM PER PLAN.

REMOVAL NOTES

THE PAY ITEM "EARTH EXCAVATION" SHALL INCLUDE THE PROPER REMOVAL OF EXISTING NATIVE MATERIAL TO PLAN GRADE FOR THE PROPOSED STREAM CROSS SECTION LINE AND GRADE, CLEAN FILL IF NEEDED, DISPOSAL OF UNUSABLE MATERIALS OFFSITE BY THE CONTRACTOR, AND FINAL GRADING OF UPLAND AREAS.

MISC ITEMS OF WORK

SECTION 02913 - SEEDING.

SEVERAL PAY ITEMS INCLUDED IN THE PROPOSAL PER DIVISION ARE NOT SPECIFICALLY SHOWN ON THE PLANS. THESE ITEMS SHALL BE CONSTRUCTED AS DIRECTED BY THE PROJECT ENGINEER OR USED AS NEEDED. THEY ARE:

MOBILIZATION

TRAFFIC MAINTENANCE AND CONTROL

LUMP SUM EROSION AND SEDIMENTATION CONTROLS

RESTORATION

PLANTINGS.

"RESTORATION" SHALL INCLUDE ALL LABOR, EQUIPMENT AND MATERIALS TO RESTORE THE STAGING AREA AND ACCESS ROUTES TO EXISTING CONDITIONS PREVIOUS TO CONSTRUCTION AND TO ESTABLISH UNIFORM VEGETATION IN ALL DISTURBED AREAS INCLUDING EXISTING SPARSE OR BARE AREAS WITHIN THE CONSTRUCTION AREA. THE FOLLOWING ITEMS SHALL BE INCLUDED IN "RESTORATION":

RESTORE ALL GRASSED AREAS WITH: TOPSOIL SURFACE, FURN, 3" DEEP, AND HYDROSEED PER

RESTORE WOOD CHIP PATH AREAS WITH: WOOD CHIPS TO MATCH THE SURROUNDING MULCH AREA.

REMOVE ALL CONSTRUCTION EQUIPMENT, EXCESS MATERIALS, DEBRIS, ETC.,

ESTABLISH FINE GRADE, AND RESTORE (PER PLANS AND SPECIFICATIONS).

REMOVE ANY HAUL ROADS OR ACCESS ROADS, MATERIAL STOCKPILES, AND

CONSTRUCTION FENCING.

ALL PAVEMENT DAMAGED DURING CONTRACTOR OPERATIONS SHALL BE REPLACED

AT THE EXPENSE OF THE CONTRACTOR TO CITY OR RCOC SPECIFICATIONS.

TOPSOIL PLACED AT A DEPTH GREATER THAN 3" SHALL BE COMPACTED IN 2 OR MORE LIFTS.

WATER REQUIRED FOR SEEDING SHALL BE INCLUDED IN THE CONTRACT COST FOR THESE ITEMS. WATER REQUIRED FOR COMPACTION SHALL BE INCLUDED IN THE COST OF CONSTRUCTION FOR THIS PROJECT. CONTRACTOR SHALL WATER THE PLANTINGS AND SEEDED AREAS DAILY FOR A MINIMUM OF 14 DAYS WITH AN ADDITIONAL FOUR (4) WATERING EVENTS IN THE FOLLOWING TWO WEEKS AFTER THE DAILY WATERING. WATERING SHALL NOT OCCUR ON SATURDAYS, SUNDAYS, OR IMMEDIATELY AFTER RAIN EVENTS. ALL EXCEPTIONS SHALL BE APPROVED BY THE PROJECT ENGINEER. WATER CAN BE TAKEN FROM THE RIVER FOR THE

ALL AREAS DISTURBED BY THE CONTRACTOR AND/OR HIS SUBCONTRACTOR BEYOND THE NORMAL CONSTRUCTION LIMITS OF THIS PROJECT SHALL BE RESTORED AS SPECIFIED OR DIRECTED BY THE ENGINEER. NO ADDITIONAL PAYMENT OR COMPENSATION WILL BE ALLOWED FOR THIS ACTIVITY.

SPRINKLER SYSTEMS SHALL NOT BE COVERED WHEN PLACING TOPSOIL AND SOD.
ALL DISTURBED AREAS TO BE RESTORED WITHIN SEVEN (7) DAYS OF COMPLETION.
CONTRACTOR TO CHECK ON SEED GROWTH & SUPPLEMENT AS NEEDED. COSTS FOR RESEEDING TO

PERMANENT EROSION CONTROLS

BE INCLUDED IN THE UNIT PRICE FOR SITE RESTORATION.

A UNIT PAY ITEM HAS BEEN INCLUDED FOR GRADING AS DIRECTED BY THE ENGINEER IN THE FIELD. THIS ITEM IS ANTICIPATED TO INCLUDE A TWO-PERSON CREW AND ALL EQUIPMENT NECESSARY TO ACHIVE FINISH GRADING OF THE RIVER CHANNEL. GRADING MAY INCLUDE, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL OF LOGS AND MANMADE DEBRIS, POOL AND RIFFLE GRADING, HABITAT BOULDER INSTALLATION, AND SIMILAR WORK AS DIRECTED. THIS PAY ITEM DOES NOT INCLUDE SIGNIFICANT WORK OUTSIDE OF THE PROPOSED CHANNEL, RANKING AND OTHER SEEDBED PREPARATION, OR FINAL GRADING WORK NECESSARY FOR SITE RESTORATION DUE TO CONTRACTOR'S SITE ACCESS AND MOBILIZATION PRACTICES. ALL IMPORTED MATERIALS TO BE PAID SEPARATELY.

ALL COIR EROSION CONTROL BLANKETS SHALL BE NORTH AMERICAN GREEN C125BN OR EQUAL INSTALLED USING HIGH KINETIC ENERGY STAPLE PATTERN 'D' PER SECTION 0225. ALL COIR NETTING SHALL BE ROLANKA BIO-D MAT 70 OR EQUAL.

THE ENGINEER MAY ADJUST THE LOCATION, ELEVATION, AND/OR DIMENSIONS OF VANE STRUCTURES IN THE FIELD BASED ON SITE CONDITIONS, ADJUSTMENTS IN MATERIAL QUANTITIES TO BE PAID PER INDIVIDUAL QUANTITIES WHICH MAY BE ADJUSTED AT NO ADDITIONAL UNIT COST TO THE OWNER.

FILL AREAS - 3 PARTS COMPOST SHALL BE MIXED WITH 1 PART ON-SITE TOPSOIL. CUT BANK AND DISTURBED FLOODPLAIN AREAS - 2" COMPOST BLANKET SHALL BE INCORPORATED 6" DEEP INTO THE SOIL AND COMPACTED PRIOR TO SEEDING, PAM, MYCORRHIZAE, AND EROSION CONTROLS.

HARDWOOD MULCH SHALL BE DARK BROWN, TRIPLE-SHREDDED HARDWOOD MULCH AND SHALL BE PLACED IN A LAYER NOT TO EXCEED 3" THICK.

COORDINATE THE TIMING OF DORMANT SHRUB PLANTINGS WITH THE ENGINEER. INSTALL FASCINES PER SOIL BIOENGINEERING SPECIFICATION.

LEGEND	
EXCAVATE	
FILL	
GRAVEL/STONE FILL	0.000 0.00



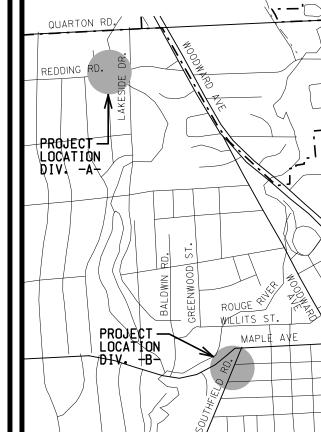
HUBBELL, ROTH & CLARK, INC

Consulting Engineers

555 HULET DRIVE P.O. BOX 824 BLOOMFIELD HILLS, MICH. 48303 - 0824

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04-01-11	ISSUED FOR BIDS
03-25-11	ISSUED FOR M.D.E.Q. REVIE
03-23-11	ISSUED FOR OWNER'S REVIEW
DATE	ADDITIONS AND/OR REVISIONS
DESIGNED	R.J.M.
DRAWN	B.J.H. / B.J.K.
CHECKED	J.E.B.
APPROVED	W.H.A.
	387\C\c00notes0I.dgn



CITY OF BIRMINGHAM

ROUGE RIVER RESTORATION PROJECT

OAKLAND COUNTY

MICHIGAN

RC JOB NO. SCALE
20100458 AS NOTED

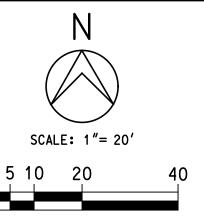
PROJECT NOTES

DECEMBER 2010 NO. COPE

OF

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GENERAL SOIL EROSION AND SEDIMENT CONTROL NOTES:

1. CHANNEL WORK WILL NOT BE ALLOWED BETWEEN APRIL 1 AND JULY 1 DUE TO FISHERIES CONCERNS.

2. THE CONTRACTOR SHALL MINIMIZE THE AREA AND DURATION OF DISTURBANCE BY ANY EQUIPMENT WHILE PERFORMING THE WORK. APPLY DK. BROWN, TRIPLE SHREDDED HARDWOOD MULCH TO DISTURBED FLOODPLAIN AREAS (LIMITS OF DISRUPTION) AT A RATE OF 10 TONS (50 CYD) PER ACRE. PAYMENT FOR WOOD CHIPS INCLUDED UNDER PAY ITEM FOR EROSION AND SEDIMENT CONTROLS AND EXISTING TREES REMOVED ON—SITE MAY BE CHIPPED AND USED.

3. EQUIPMENT ACCESS TO THE CHANNEL SHALL BE LIMITED TO THOSE AREAS SHOWN ON THE PLAN OR AS DIRECTED BY THE OWNER OR ENGINEER. ACCESS ROAD TO BE INCIDENTAL TO SITE RESTORATION.

4. SILT FENCE SHALL BE INSTALLED ALONG STOCK PILE AREAS AND AS DIRECTED BY THE ENGINEER. ALL COST TO BE INCLUDED IN THE PAY ITEM EROSION AND SEDIMENT CONTROLS.

5. PERMANENT EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS POSSIBLE FOLLOWING FINAL GRADING.

6. TURBIDITY CURTAIN - SEE SHEET 5 FOR TURBIDITY CURTAIN INSTALLATION.

ACCESS AND OPERATION THE SITE IS AVAILABLE ALONG THE ROUGE RIVER FROM LAKESIDE ROAD, DURING CONSTRUCTION THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN SUCH A MANNER AS TO

PROTECT PUBLIC SAFETY AT ALL TIMES. INCLUDING TRAFFIC CONTROL PER CITY OF BIRMINGHAM AND MDOT STANDARD SPECIFICATIONS. MAINTAIN 2 WAY TRAFFIC ON LAKESHORE AT ALL TIMES EXCEPT DURING LOADING/UNLOADING EQUIPMENT WHEN FLAG CONTROL WILL BE REQUIRED.

2. THE CONTRACTOR SHALL STAY WITHIN THE LIMITS OF DISTURBANCE AND MINIMIZE THE AREA

AND DURATION OF DISTURBANCE AT ALL TIMES. THE LIMITS OF TREE CLEARING AS SHOWN TO BE INCLUDED UNDER PAY ITEM — "TREE REMOVAL". ALL OTHER TREE CLEARING NECESSARY FOR SITE ACCESS SHALL BE MINIMIZED TO THE EXTENT POSSIBLE, APPROVED BY THE ENGINEER, AND SHALL BE INCIDENTAL TO THE PROJECT.

3. INSTALL SNOW FENCE ALONG TOP OF RIGHT BANK - STN. 2+00 TO 2+50 AS STAKED IN THE FIELD

4. STRIP AND STOCKPILE TOPSOIL FROM LEFT BANK EXCAVATED AREA. CONTAIN STOCKPILE AREA WITH SILT FENCE IF LEFT FOR MORE THAN 48 HRS.

5. INSTALL GRADE CONTROL STRUCTURES AND STONE TOE PROTECTION ON RIGHT BANK AS DIRECTED.

6. EXCAVATED LEFT BANK MATERIAL, PLACE AS FILL ALONG RIGHT BANK AND COMPACT IN 12" LIFTS PER DETAIL. DISPOSE OF NON-SUITABLE AND EXCESS MATERIAL OFFSITE. SPREAD TOPSOIL IN 3"-4" LAYER OVER DISTURBED AREAS PRIOR TO SEEDING.

7. SEE NOTE SHEET #2, HEAVY EQUIPMENT ACCESS AND OPERATIONS.

STRUCTURE	UPSTREAM STATION	INVERT	LENGTH	VANE ARM ANGLE
J-HOOK VANE	1+65	739.75	30 FT	20°
CROSS VANE	2+20	739.60	28 FT	25° LT; 20° RT

VANE NOTE:

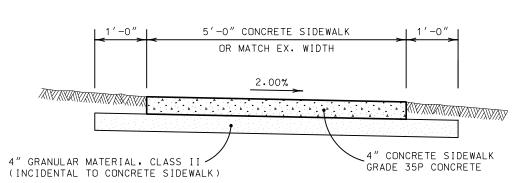
1. ENGINEER TO STAKE ROCK VANE LOCATIONS IN THE FIELD. LAYOUT MAY BE MODIFIED BASED ON CURRENT FIELD CONDITIONS AT NO ADDITIONAL COSTS. SEE SECTION 02236 - VANE STRUCTURES FOR MATERIALS & DETAILED INSTALLATION.

2. BACKFILL ALL VANE ARMS WITH IMPORTED GRAVEL BEDDING MIX PER SHEET DS-3.

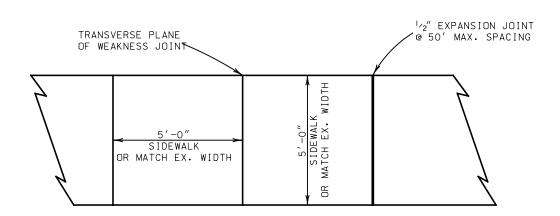
3. PLACE EXCESS BED EXCAVATION MATERIAL BEHIND STONE TOE AND FILL THE REST OF RIGHT BANK TO GRADE WITH POINT BAR MATERIAL.

- 8. ALL EXCAVATED BED MATERIAL SHALL BE INCLUDED IN THE OFF-SITE DISPOSAL MATERIAL.
- 9. CONTRACTOR TO SUBMIT SEQUENCE OF CONSTRUCTION FOR ENGINEER'S APPROVAL PRIOR TO COMMENCING SIGNIFICANT WORK.

- 1. ALL SIDEWALK SHALL BE CUT FULL DEPTH PRIOR TO REMOVAL. ALL COSTS TO BE INCIDENTAL TO CONTRACT.
- 2. FORMING OF THE CONCRETE SIDEWALK IN CURVED AREAS SHALL BE PERFORMED WITH FLEXIBLE FORMS SUFFICIENT TO OBTAIN A NEAT, SMOOTH AND CONTINUOUS CURVE. RIGID FORMING WITHIN THE CURVED AREAS WILL NOT BE ACCEPTABLE.
- 3. ALL JOINTS SHALL BE INCIDENTAL TO CONTRACT.
- 4. SEALING JOINTS IN SIDEWALK WILL NOT BE REQUIRED.



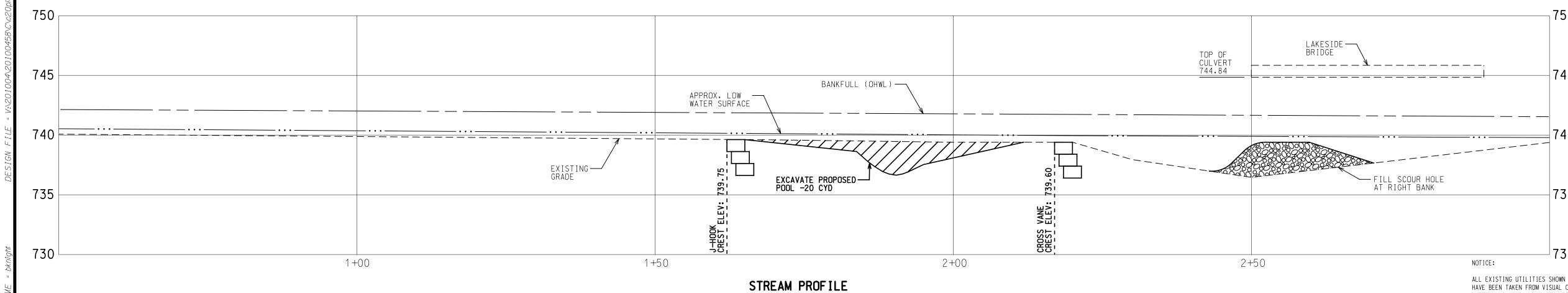
TYPICAL CONCRETE SIDEWALK SECTION



CONCRETE SIDEWALK JOINTING (IF DAMAGED)

	QUANTITIES THIS SHEET			
NO.	DESCRIPTION	UNIT	QTY.	
1	TREE PROTECTION	EΑ	4	
2	EARTH EXCAVATION	CYD	130	
3	CONCRETE AND DEBRIS REMOVAL	LS	1	
4	GRADING CREW	HRS	12	
5	LEDGE ROCK	TONS	50	
6	18"-24" NATURAL FIELD STONE	TONS	20	
7	4"-10" NATURAL FIELD STONE	TONS	2	
8	1"-4" RIVER RUN GRAVEL	TONS	12	
9	NATURAL GRAVEL BEDDING	TONS	5	
10	NONWOVEN GEOTEXTILE (6 OZ/SYD)	SYD	100	
11	PROPERTY PROTECTION FENCE	FT	150	
12	SNOW FENCE	FT	50	

	BENCH MARKS		
BM 30	MAG NAIL IN E. FACE LIGHT POLE @ SW CORNER OF REDDING AND LAKESIDE		
BM 30	VERT. MAG NAIL WEST ROOT OF MIDDLE OF TWIN 24"/14" MULBERRY TREES @ SOUTH PROPERTY LINE TO HOUSE # 1313 LAKESIDE		
BM 23	BRASS DISC IN SIDEWALK @ PI OF BACK OF WALK		



NOTICE:

ALL EXISTING UTILITIES SHOWN ON THIS TOPOGRAPHIC SURVEY
HAVE BEEN TAKEN FROM VISUAL OBSERVATION, AND RECORD MAPPING
WHERE AVAILABLE. NO GUARANTEE IS MADE, OR SHOULD BE ASSUMED,
AS TO THE COMPLETENESS OR ACCURACY OF THE UTILITIES SHOWN
ON THIS DRAWING. PARTIES UTILIZING THIS INFORMATION SHALL
FIELD VERIFY THE ACCURACY AND COMPLETENESS PRIOR TO

CONSTRUCTION ACTIVITIES.

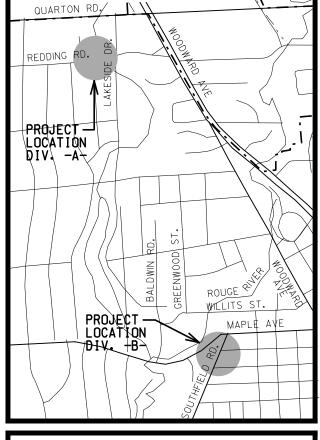






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CHECKED .	J.E.B.
APPROVED	N.H.A.
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CITY OF BIRMINGHAM

ROUGE RIVER RESTORATION PROJECT

DIVISION -A-

LAKESIDE STREET SITE GRADING PLAN

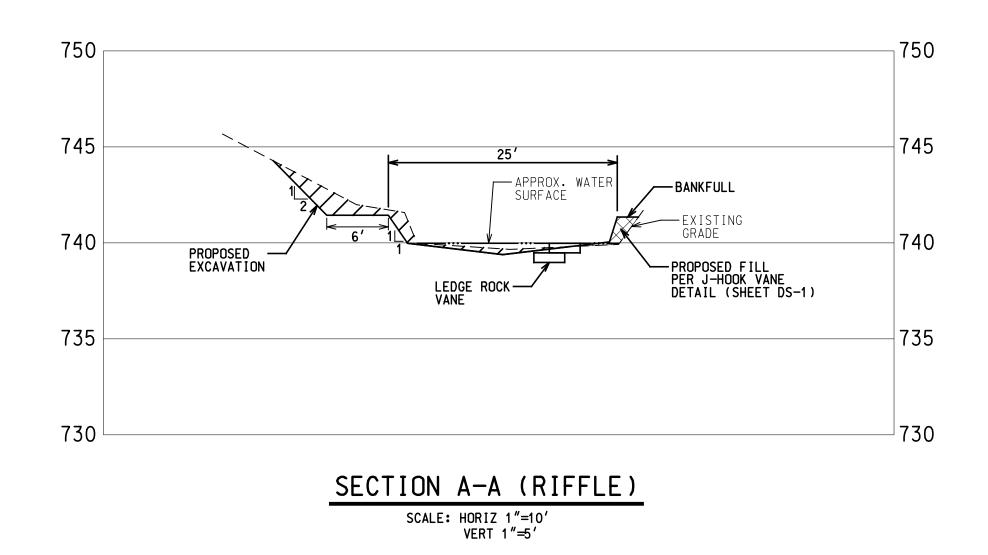
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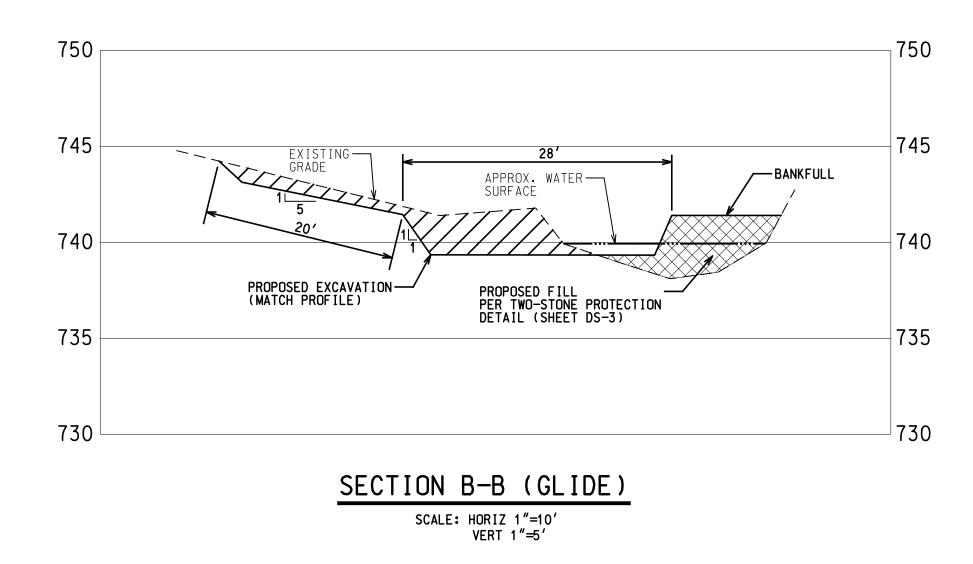
DATE
DECEMBER 2010

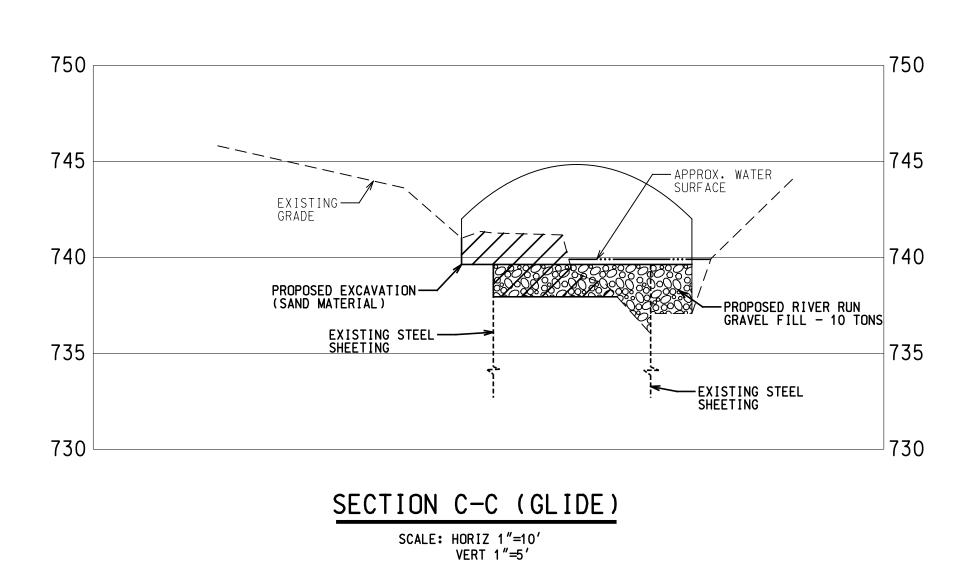
SCALE
AS NOTED

SHEET
NO.
3

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NOTES:

- 1. ALL CROSS SECTIONS FACING DOWNSTREAM.
- 2. BANKFILL ELEVATIONS PER PROFILE.
- 3. TRANSISITIONS BETWEEN SECTIONS TO BE STAKED IN FIELD.
- 4. QUANTITIES ARE LISTED ON OTHER SHEETS.



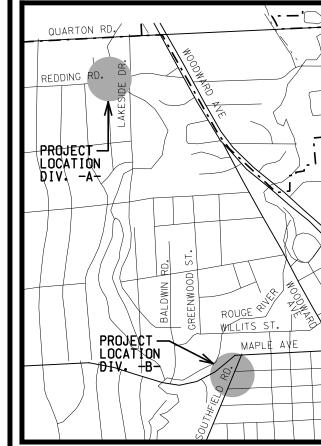
HRC

HUBBELL, ROTH & CLARK, INC Consulting Engineers

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04-01-11	ISSUED FOR BIDS
03-25-11	ISSUED FOR M.D.E.Q. REVIEW
03-23-11	ISSUED FOR OWNER'S REVIEW
DATE	ADDITIONS AND/OR REVISIONS
	R.J.M.
DRAWN	B.J.H. / B.J.K.
	J.E.B.
APPROVED	W.H.A.
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CITY OF BIRMINGHAM

ROUGE RIVER RESTORATION PROJECT

DIVISION -A-

LAKESIDE STREET
SITE
CROSS SECTIONS

HRC JOB NO.
20100458

DATE
DECEMBER 2010

SCALE

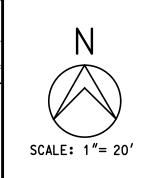
AS NOTED

SHEET
NO.
4
OF

NOTICE:

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Bench Wark #301 | levation

TURB DITY CURTAIN

19-26-230-028

LIMITS OF JURBANCE

LIMITS OF — GRADING

19-26-230-016

1313 LAKESIDE

TREE PROTECTION -

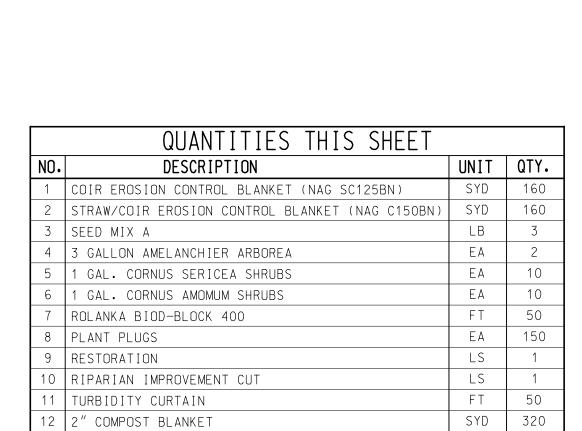
SHRUB PLANTINGS — W/TRIANGULAR SPACING — 10 EA

SHRUB PLANTINGS — - 4 EA

19-26-230-001 390 WILLOW

19-26-230-002

386 WILLOW



EA 500

2 2" COMPOST BLANKET

1. ENGINEER TO STAKE SHRUB LOCATIONS.

13 | LIVE STAKES / JOINT PLANTINGS

2. USE SEED MIX "A" (SHEET DS-4) UNDER BLANKETS ALONG ALL DISTURBED RIVERBANKS. WITHIN LIMITS OF GRADING (SHADED AREAS).

- 3. USE STRAW/COIR BLANKET ON LOWER 6 FT OF NORTH RIVERBANK.
- 4. USE COIR BLANKET ALONG BANKFULL BENCH ON SOUTHERN RIVERBANK.
- 5. RESTORE UPLAND TURF AREAS PER SECTION 02913.
- 6. SEE DETAIL SHEET NO. DS-4 FOR PLANTING DETAILS.

7. INSTALL PLANT PLUGS ALONG NORTHERN BANK, WITHIN STRAW/COIR BLANKET IN A 1 FT TRIANGULAR SPACING NEAR ELEVATION 741. PLUG SPECIES AND PERCENTAGES TO MATCH SEED MIX "A".

8. INSTALL TURBIDITY CURTAIN AS INDICATED ON THE PLAN PER MANUFACTURER'S INSTRUCTIONS PRIOR TO CULVERT CLEAN OUT.

9. INSTALL LIVE STAKES/JOINT PLANTINGS AS DIRECTED BY PROJECT ENGINEER.

RIPARIAN IMPROVEMENT CUT NOTES:

1. A RIPARIAN IMPROVEMENT CUT WILL REMOVE INVASIVE SHRUBS, VINES AND PLANTS FROM THE LEFT BANK (FACING DOWNSTREAM) BETWEEN REDDING AND LAKESIDE AND ON THE RIGHT BANK FROM STATION 2+00 TO 2+50 PER SECTION 02932.

2. CONTRACTOR SHALL CUT AND SPRAY ALL PLANT SPECIES INDICATED AND SPRAY WITH AN APPROVED GLYPHOSATE-BASED HERBICIDE AT LEAST TWO WEEKS PRIOR TO PLANTING

3. TREE, SHRUB, AND PLANT SPECIES TO BE SAVED WILL BE MARKED BY THE OWNER OR ENGINEER IN THE FIELD.

BENCH MARKS		
BM 301	MAG NAIL IN E. FACE LIGHT POLE @ SW CORNER OF REDDING AND LAKESIDE	
BM 302	VERT, MAG NAIL WEST ROOT OF MIDDLE OF TWIN 24"/14" MULBERRY TREES @ SOUTH PROPERTY LINE TO HOUSE # 1313 LAKESIDE	
BM 23	BRASS DISC IN SIDEWALK @ PI OF BACK OF WALK @ SW CORNER OF WOODWARD AVE & QUARTON RD.	



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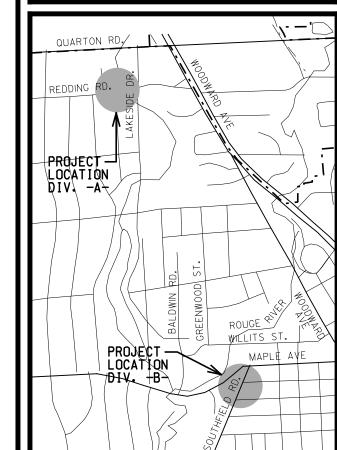
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APPROVED W.H.A.

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CITY OF BIRMINGHAM

ROUGE RIVER RESTORATION **PROJECT**

DIVISION -A-

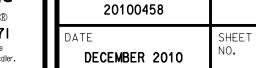
LAKESIDE STREET SITE PLANTING PLAN

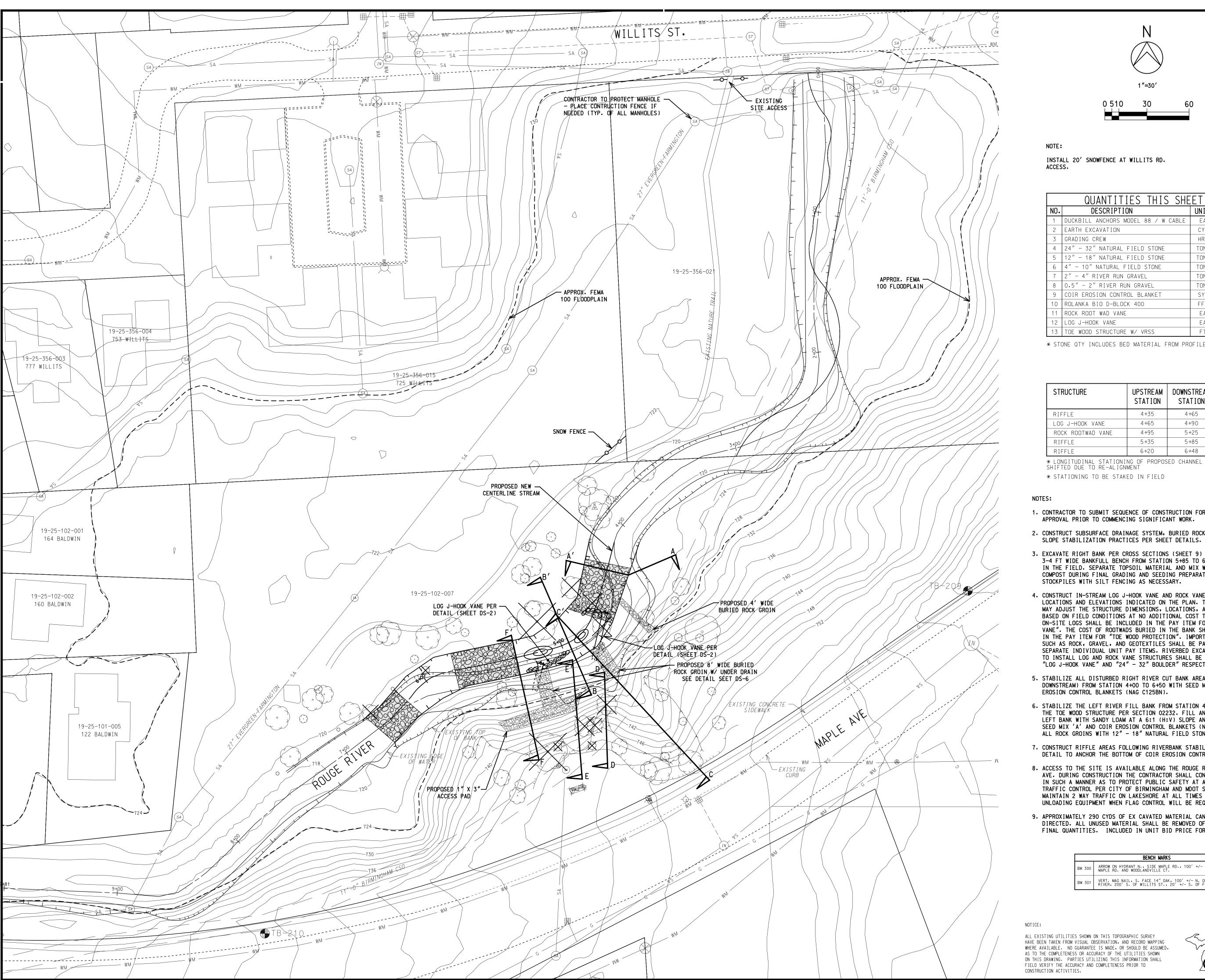
IRC JOB NO. SCALE 20100458 AS NOTED

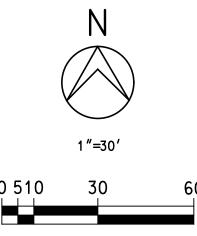
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INSTALL 20' SNOWFENCE AT WILLITS RD.

	QUANTITIES THIS SHEET		
NO.	DESCRIPTION	UNIT	QTY.
1	DUCKBILL ANCHORS MODEL 88 / W CABLE	EΑ	8
2	EARTH EXCAVATION	CYD	270
3	GRADING CREW	HRS	20
4	24" - 32" NATURAL FIELD STONE	TONS	20
5	12" - 18" NATURAL FIELD STONE	TONS	35
6	4" - 10" NATURAL FIELD STONE	TONS	35
7	2" - 4" RIVER RUN GRAVEL	TONS	50
8	0.5" - 2" RIVER RUN GRAVEL	TONS	100
9	COIR EROSION CONTROL BLANKET	SYD	600
10	ROLANKA BIO D-BLOCK 400	FFT	150
11	ROCK ROOT WAD VANE	EΑ	1
12	LOG J-HOOK VANE	EΑ	1
13	TOE WOOD STRUCTURE W/ VRSS	FT	130

* STONE QTY INCLUDES BED MATERIAL FROM PROFILE (SHEET 8)

STRUCTURE	UPSTREAM STATION	DOWNSTREAM STATION	INVERT ELEV.
RIFFLE	4+35	4+65	719.50
LOG J-HOOK VANE	4+65	4+90	719.43
ROCK ROOTWAD VANE	4+95	5+25	719.36
RIFFLE	5+35	5+85	719.25
RIFFLE	6+20	6+48	719.10

* LONGITUDINAL STATIONING OF PROPOSED CHANNEL MAY BE SHIFTED DUE TO RE-ALIGNMENT

* STATIONING TO BE STAKED IN FIELD

- 1. CONTRACTOR TO SUBMIT SEQUENCE OF CONSTRUCTION FOR ENGINEER'S APPROVAL PRIOR TO COMMENCING SIGNIFICANT WORK.
- 2. CONSTRUCT SUBSURFACE DRAINAGE SYSTEM, BURIED ROCK GROINS, AND
- 3. EXCAVATE RIGHT BANK PER CROSS SECTIONS (SHEET 9) INCLUDING A 3-4 FT WIDE BANKFULL BENCH FROM STATION 5+85 TO 6+15 AS STAKED IN THE FIELD. SEPARATE TOPSOIL MATERIAL AND MIX WITH 3 PARTS
- COMPOST DURING FINAL GRADING AND SEEDING PREPARATION. CONTAIN STOCKPILES WITH SILT FENCING AS NECESSARY. 4. CONSTRUCT IN-STREAM LOG J-HOOK VANE AND ROCK VANE AT THE LOCATIONS AND ELEVATIONS INDICATED ON THE PLAN. THE ENGINEER MAY ADJUST THE STRUCTURE DIMENSIONS, LOCATIONS, AND ELEVATIONS BASED ON FIELD CONDITIONS AT NO ADDITIONAL COST TO THE OWNER. ON-SITE LOGS SHALL BE INCLUDED IN THE PAY ITEM FOR "LOG J-HOOK VANE". THE COST OF ROOTWADS BURIED IN THE BANK SHALL BE INCLUDED
- IN THE PAY ITEM FOR "TOE WOOD PROTECTION". IMPORTED MATERIALS SUCH AS ROCK, GRAVEL, AND GEOTEXTILES SHALL BE PAID FOR UNDER SEPARATE INDIVIDUAL UNIT PAY ITEMS. RIVERBED EXCAVATION NECESSARY TO INSTALL LOG AND ROCK VANE STRUCTURES SHALL BE INCIDENTAL TO "LOG J-HOOK VANE" AND "24" - 32" BOULDER" RESPECTIVELY.
- 5. STABILIZE ALL DISTURBED RIGHT RIVER CUT BANK AREAS (FACING DOWNSTREAM) FROM STATION 4+00 TO 6+50 WITH SEED MIX 'A' AND COIR EROSION CONTROL BLANKETS (NAG C125BN).
- 6. STABILIZE THE LEFT RIVER FILL BANK FROM STATION 4+35 TO 5+75 WITH THE TOE WOOD STRUCTURE PER SECTION 02232. FILL AND COMPACT THE LEFT BANK WITH SANDY LOAM AT A 6:1 (H:V) SLOPE AND STABILIZE WITH SEED MIX 'A' AND COIR EROSION CONTROL BLANKETS (NAG C125BN). FACE ALL ROCK GROINS WITH 12" - 18" NATURAL FIELD STONE.
- 7. CONSTRUCT RIFFLE AREAS FOLLOWING RIVERBANK STABILIZATION PER DETAIL TO ANCHOR THE BOTTOM OF COIR EROSION CONTROL BLANKETS.
- 8. ACCESS TO THE SITE IS AVAILABLE ALONG THE ROUGE RIVER FROM MAPLE AVE. DURING CONSTRUCTION THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN SUCH A MANNER AS TO PROTECT PUBLIC SAFETY AT ALL TIMES. INCLUDING TRAFFIC CONTROL PER CITY OF BIRMINGHAM AND MDOT STANDARD SPECIFICATIONS. MAINTAIN 2 WAY TRAFFIC ON LAKESHORE AT ALL TIMES EXCEPT DURING LOADING / UNLOADING EQUIPMENT WHEN FLAG CONTROL WILL BE REQUIRED.
- 9. APPROXIMATELY 290 CYDS OF EX CAVATED MATERIAL CAN BE USED ON-SITE AS DIRECTED. ALL UNUSED MATERIAL SHALL BE REMOVED OFF-SITE REGARDLESS OF FINAL QUANTITIES. INCLUDED IN UNIT BID PRICE FOR EARTH EXCAVATION.

	BENCH MARKS	
BM 300	ARROW ON HYDRANT N., SIDE MAPLE RD., 100' +/- OF MAPLE RD. AND WOODLANDVILLE CT.	
BM 301	VERT. MAG NAIL, S. FACE 14" OAK, 100' +/- N. OF ROUGE RIVER, 200' S. OF WILLITS ST., 20' +/- S. OF FOOT PATH.	

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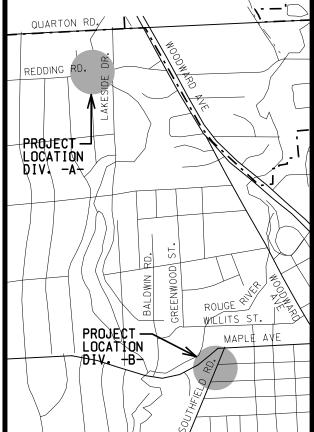


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CITY OF BIRMINGHAM

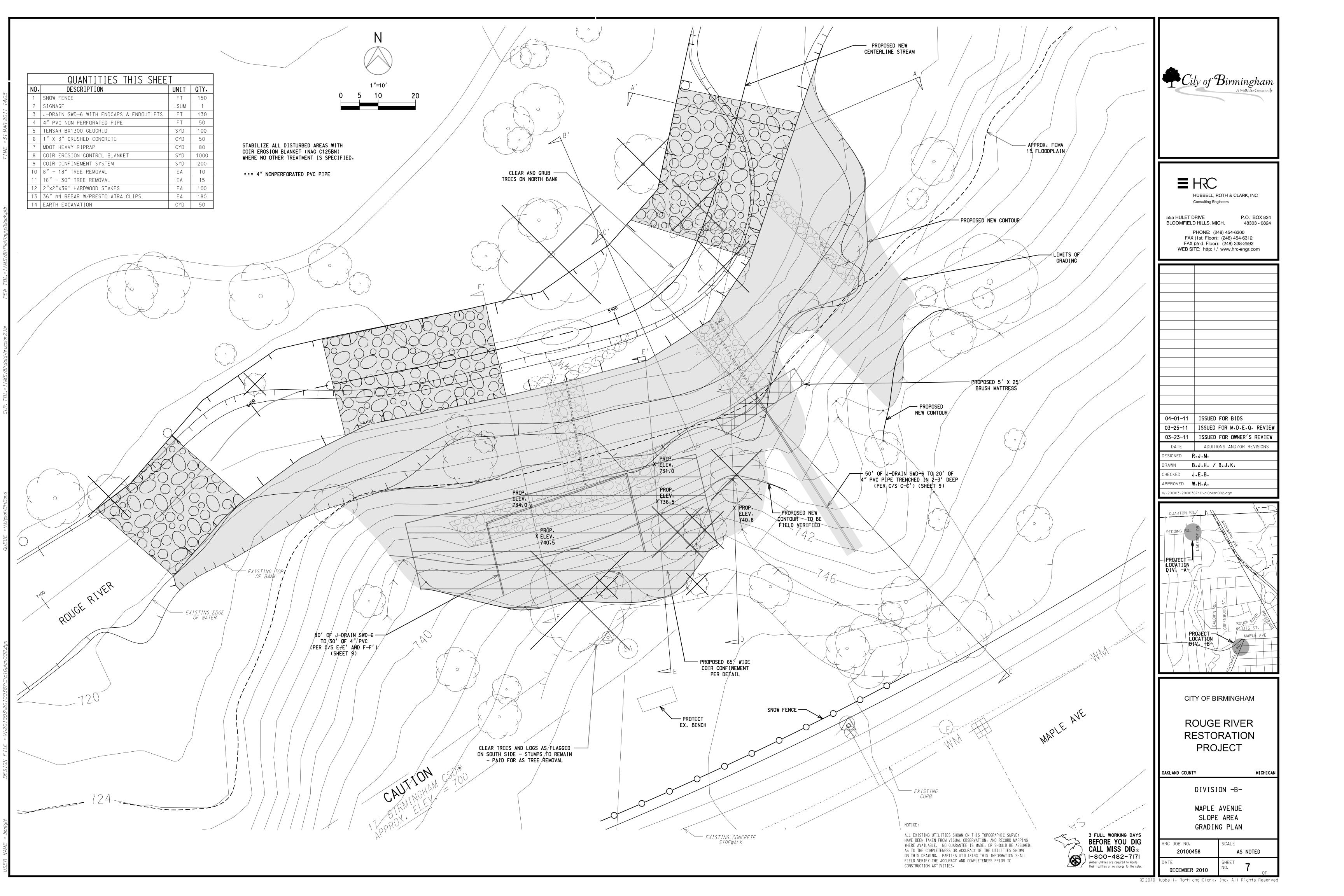
ROUGE RIVER RESTORATION **PROJECT**

MICHIGAN OAKLAND COUNTY

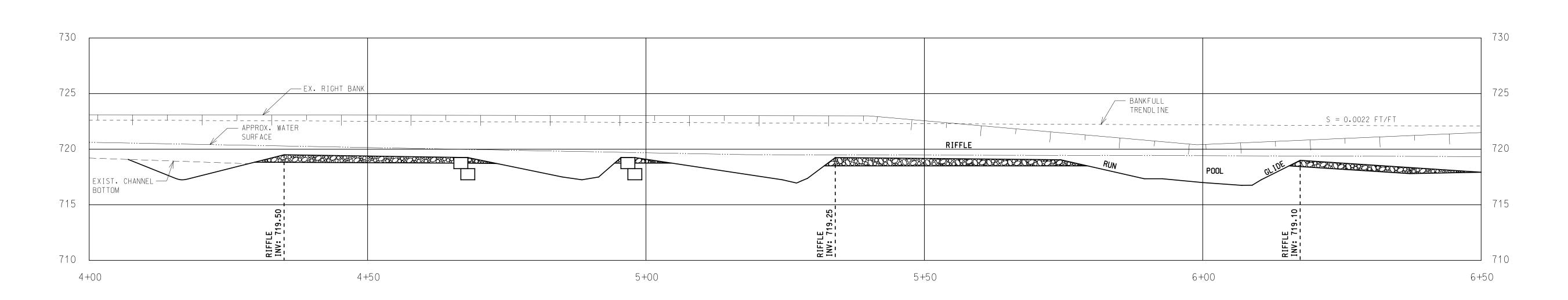
DIVISION -B-

MAPLE AVENUE RIVER BANK GRADING PLAN

IRC JOB NO. SCALE 20100458 AS NOTED DECEMBER 2010



730 ___EX. RIGHT BANK 725 /— BANKFULL TRENDLINE S = 0.0022 FT/FT SURFACE EXIST. CHANNEL воттом 715 4+50 4+00 5+00 5+50 6+00 6+50



PROPOSED PROFILE RELOCATED CHANNEL

NOTES:

- 1. EXCAVATE CHANNEL TO THE DEPTHS INDICATED.
- 2. INSTALL VANE STRUCTURES AND BACKFILL WITH 4" 10" NATURAL FIELD STONE.
- 3. CONSTRUCT AND COMPACT RIFFLES WITH 0.5" 4" RIVER RUN GRAVEL IN 0.7' THICK LAYERS TO THE PROPOSED GRADES. CONSTRUCT INNER BERMS (SEE RIFFLE DETAIL) USING 20% 4" 10" STONE AND 80% RIVER RUN GRAVEL.
- 4. INSTALL HABITAT BOULDERS AT RIFFLE CRESTS PER DETAIL AND AS DIRECTED.

BED MATERIAL MIX: (INCLUDED IN SHEET 6 QTY'S)

TONS

12"-18" NATURAL FIELD STONE

10"-10" NATURAL FIELD STONE

10"-10" NATURAL FIELD STONE

10"-10" NATURAL FIELD STONE

2"-4" RIVER RUN GRAVEL

100 TONS

0.5"-2" RIVER RUN GRAVEL

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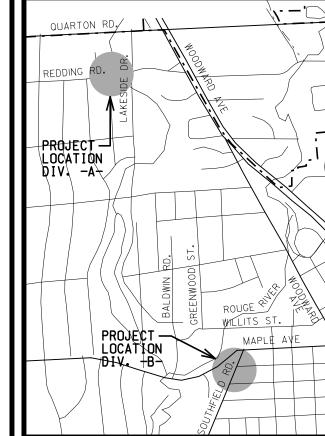
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DATE	ADDITIONS AND/OR REVISIONS
DESIGNED	R.J.M.
DRAWN :	3.J.H. / B.J.K.
CHECKED .	J.E.B.
APPROVED \	N.H.A.
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CITY OF BIRMINGHAM

ROUGE RIVER RESTORATION PROJECT

DIVISION -B-

MAPLE AVENUE SITE

PROF ILE

MICHIGAN

HRC JOB NO.

20100458

SCALE

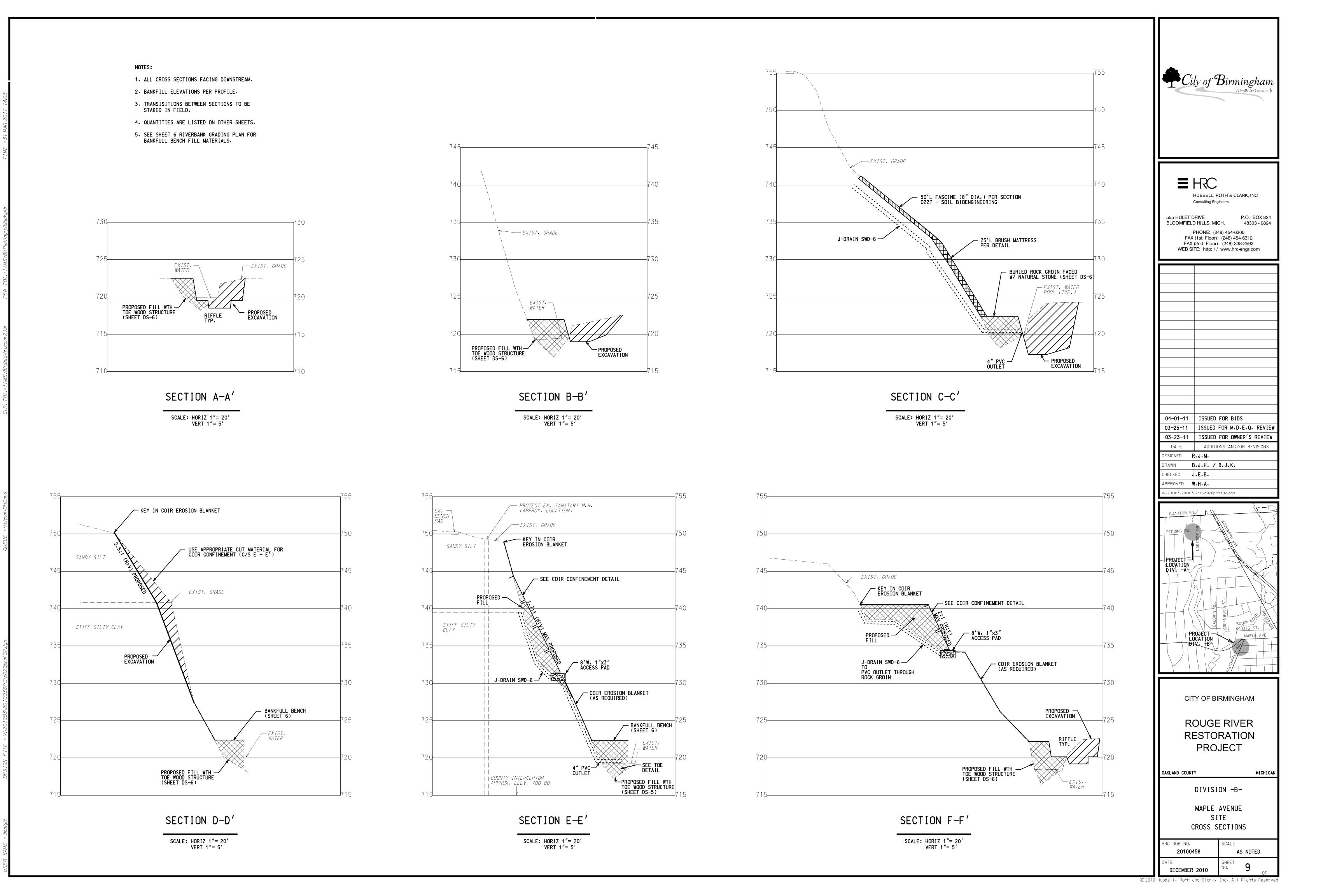
HORIZ 1"= 10'
VERT 1"= 5'

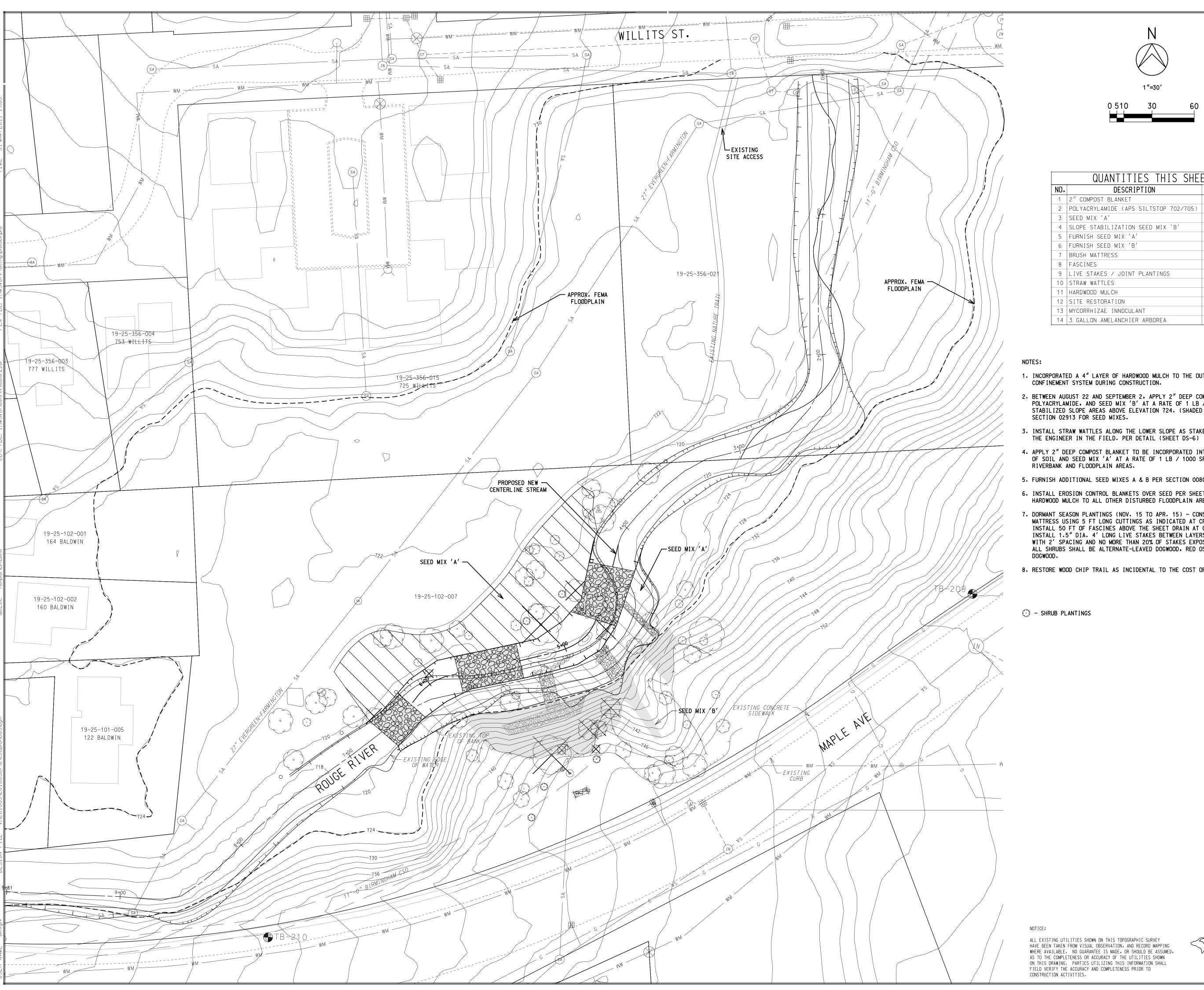
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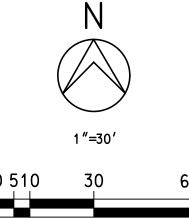
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DECEMBER 2010 NO. OF

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	QUANTITIES THIS SHEET						
NO.	DESCRIPTION	UNIT	QTY.				
1	2" COMPOST BLANKET	SYD	1300				
2	POLYACRYLAMIDE (APS SILTSTOP 702/705)	LB	5				
3	SEED MIX 'A'	LB	10				
4	SLOPE STABILIZATION SEED MIX 'B'	LB	10				
5	FURNISH SEED MIX 'A'	LB	5				
6	FURNISH SEED MIX 'B'	LB	5				
7	BRUSH MATTRESS	FT	25				
8	FASCINES	FT	50				
9	LIVE STAKES / JOINT PLANTINGS	ΕA	300				
10	STRAW WATTLES	FT	100				
11	HARDWOOD MULCH	CYD	35				
12	SITE RESTORATION	LS	1				
13	MYCORRHIZAE INNOCULANT	LB	20				
14	3 GALLON AMELANCHIER ARBOREA	ΕA	5				

- 1. INCORPORATED A 4" LAYER OF HARDWOOD MULCH TO THE OUTER FACE OF THE COIR CONFINEMENT SYSTEM DURING CONSTRUCTION.
- 2. BETWEEN AUGUST 22 AND SEPTEMBER 2, APPLY 2" DEEP COMPOST BLANKET, POLYACRYLAMIDE, AND SEED MIX 'B' AT A RATE OF 1 LB / 1000 SFT TO ALL STABILIZED SLOPE AREAS ABOVE ELEVATION 724. (SHADED AREA APPROX.) SEE
- 3. INSTALL STRAW WATTLES ALONG THE LOWER SLOPE AS STAKED AND DIRECTED BY
- 4. APPLY 2" DEEP COMPOST BLANKET TO BE INCORPORATED INTO THE UPPER 6 INCHES OF SOIL AND SEED MIX 'A' AT A RATE OF 1 LB / 1000 SFT ALONG ALL DISTURBED
- 5. FURNISH ADDITIONAL SEED MIXES A & B PER SECTION 00805.
- 6. INSTALL EROSION CONTROL BLANKETS OVER SEED PER SHEET DS-5. APPLY 2" DEEP HARDWOOD MULCH TO ALL OTHER DISTURBED FLOODPLAIN AREAS.
- 7. DORMANT SEASON PLANTINGS (NOV. 15 TO APR. 15) CONSTRUCT 25 FT OF BRUSH MATTRESS USING 5 FT LONG CUTTINGS AS INDICATED AT CROSS SECTION C-C'. INSTALL 50 FT OF FASCINES ABOVE THE SHEET DRAIN AT CROSS SECTION C-C'. INSTALL 1.5" DIA. 4' LONG LIVE STAKES BETWEEN LAYERS OF COIR CONFINEMENT WITH 2' SPACING AND NO MORE THAN 20% OF STAKES EXPOSED PER SPECIFICATIONS. ALL SHRUBS SHALL BE ALTERNATE-LEAVED DOGWOOD, RED OSIER DOGWOOD, OR GRAY
- 8. RESTORE WOOD CHIP TRAIL AS INCIDENTAL TO THE COST OF SITE RESTORATION.



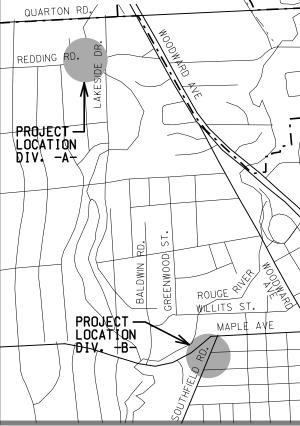


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CKED .	J.E.B.
ROVED V	V.H.A.
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QUARTON RD	/



CITY OF BIRMINGHAM

ROUGE RIVER RESTORATION **PROJECT**

OAKLAND COUNTY

3 FULL WORKING DAYS

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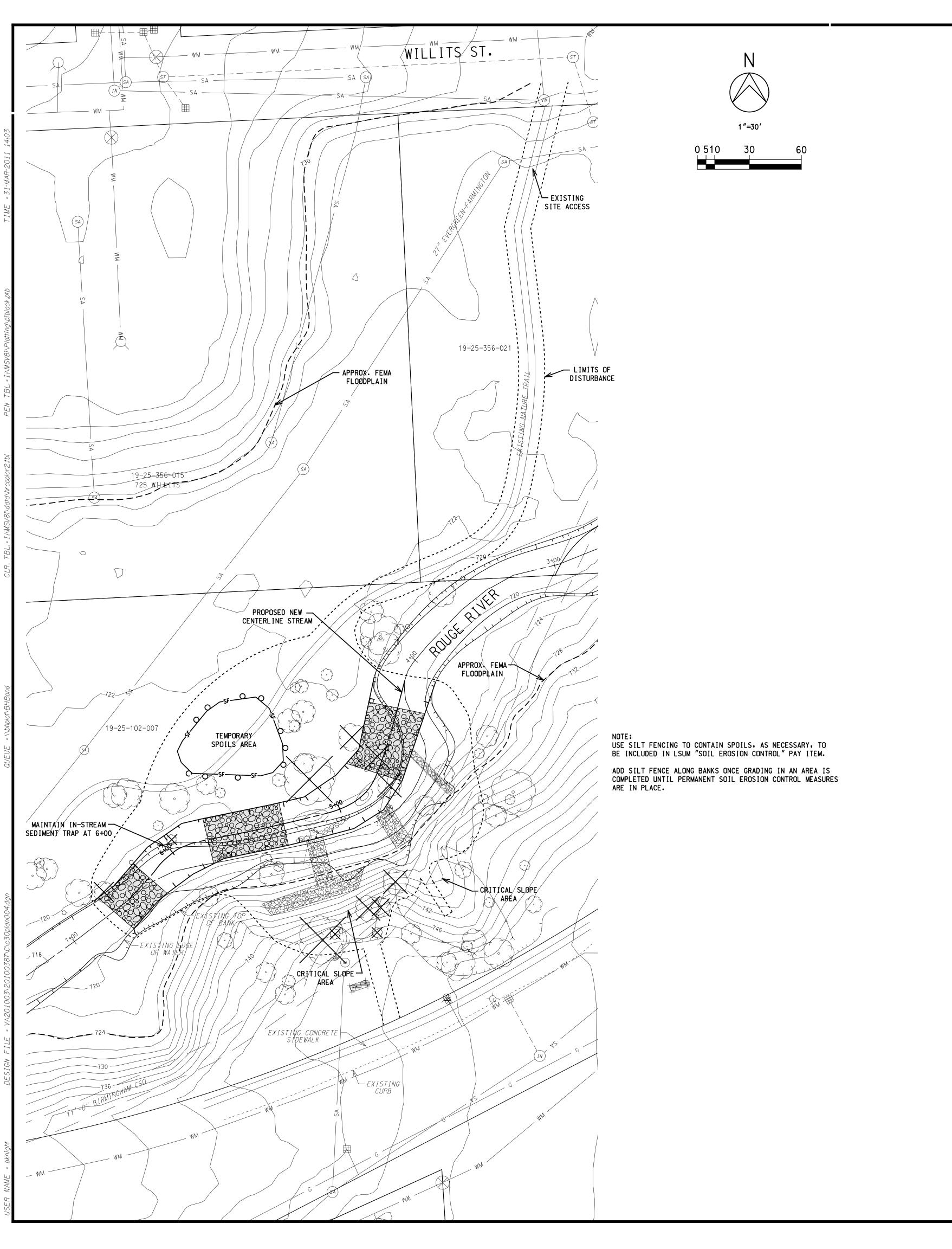
DIVISION -B-

MAPLE AVENUE LANDSCAPING PLAN

MICHIGAN

HRC JOB NO. SCALE 20100458 AS NOTED DECEMBER 2010

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GENERAL SOIL EROSION & SEDIMENTATION CONTROL NOTES:

- 1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE OAKLAND COUNTY WATER RESOURCES COMMISSIONER (OCWRC) AND MDEQ. SEE OCWRC DETAIL SHEET.
- 2. INSPECTION SHALL BE MADE BY THE CONTRACTOR TO DETERMINE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES ON A MINIMUM WEEKLY BASIS OR WITHIN 24 HOURS AFTER A RUNOFF-PRODUCING RAIN EVENT. THE CONTRACTOR SHALL PERFORM ANY NECESSARY REPAIRS WITHOUT DELAY.
- 3. EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT IN ANY OFFSITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MANMADE DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS. PARTICULAR CARE SHOULD BE TAKEN WHEN WORKING AROUND SITE PERIMETERS, ON CRITICAL SLOPES, OR HIGHLY EROSIVE SOILS.
- 4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO, OR AS THE FIRST STEP, IN CONSTRUCTION, SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
- 5, CONTRACTOR TO REPLACE INLET FILTERS ON A MONTHLY BASIS, IF NECESSARY, UNTIL ALL STABILIZATION MEASURES ARE COMPLETE AND GROWTH ESTABLISHED IN SEEDED AREAS.
- 6. CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY THE CITY OF BIRMINGHAM, AS SHOWN ON THESE PLANS, OR AS DIRECTED BY THE ENGINEER. HE SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER EARTH CHANGES HAVE BEEN ACCOMPLISHED.
- 7. DUST CONTROL WILL BE EXERCISED AT ALL TIMES WITHIN THE PROJECT AREA BY THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE WATER SPRINKLING TANK TRUCKS TO BE USED ON HAUL ROUTES OR OTHER PLACES WHERE DUST BECOMES A PROBLEM AS INCIDENTAL TO THE PAY ITEM FOR "SOIL EROSION CONTROL".
- 8. ALL MUD/DIRT TRACKED ONTO EXISTING CITY/COUNTY ROADS FROM THIS SITE DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR. ALL MUD/DIRT TRACKED OR SPILLED ON PAVED ROADS/SURFACES WITHIN THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- 9. PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 5 CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES MAY BE IMPLEMENTED (WITHIN 5 CALENDAR DAYS) IF IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A SITE DUE TO WEATHER OR OTHER FACTORS AND SUCH MEASURES ARE PRE-APPROVED BY THE OWNER OR ENGINEER. ALL SUCH TEMPORARY CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND SHALL BE INCIDENTAL TO THE PAY ITEM FOR "SOIL EROSION CONTROL".

PROPERTY DESCRIPTIONS:

19-25-356-021

T2N, R10E, SEC 25 WILLITS NORTHERN ADD PART OF LOT 57 BEG AT NW LOT COR, TH N 88-49-20 E 159.67 FT TO CEN LINE OF ROUGE RIVER, TH SLY 314 FT ALG SD CEN LINE TO S LOT LINE, TH S 88-33-00 W 66.90 FT TO SW LOT COR, TH NLY 276.60 FT ALG WLY LOT LINE TO BEG.

19-36-102-007

T2N, R10E, SEC 36 PART OF NW 1/4 OF NW 1/4 BEG AT PT DIST N 87-51-25 E 279.10 FT & S 03-31-35 W 179 FT FROM NW SEC COR, TH S 03-31-35 W 28 FT, TH S 61-54-35 E 28 FT, TH NWLY 50 FT ALG CEN LI OF RIVER ROUGE BRANCH TO BEG, ALSO THAT PART OF NW 1/4 OF NW 1/4 LYING N OF MAPLE AVE & E OF BALDWIN AVE EXC E 75 FT, ALSO EXC BEG AT PT DIST N 87-51-25 E 279.10 FT FROM NW SEC COR, TH N 87-51-25 E 211.50 FT, TH S 01-20-40 W 120 FT, TH S 87-50-06 W 5.33 FT, TH S 03-54-15 W 127 FT, TH S 82-44-00 W 120 FT, TH N 61-54-35 W 72 FT, TH NWLY 50 FT ALG CEN LINE OF RIVER ROUGE BRANCH, TH N 03-31-35 E 179 FT TO BEG 3.44 A 4-12-93 FR 003 & 006

SOILS - COHOCTAH FINE SANDY LOAM

OSFO - SILT FENCE



HRC

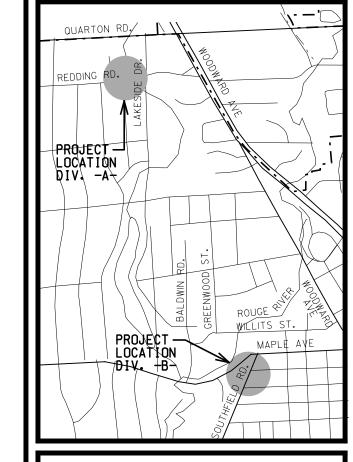
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APPROVED	W.H.A.
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CITY OF BIRMINGHAM

ROUGE RIVER RESTORATION PROJECT

MICHIGAN

OAKLAND COUNTY

DIVISION -B-

MAPLE AVENUE SESC PLAN

HRC JOB NO.

20100458

DATE

DECEMBER 2010

SCALE

AS NOTED

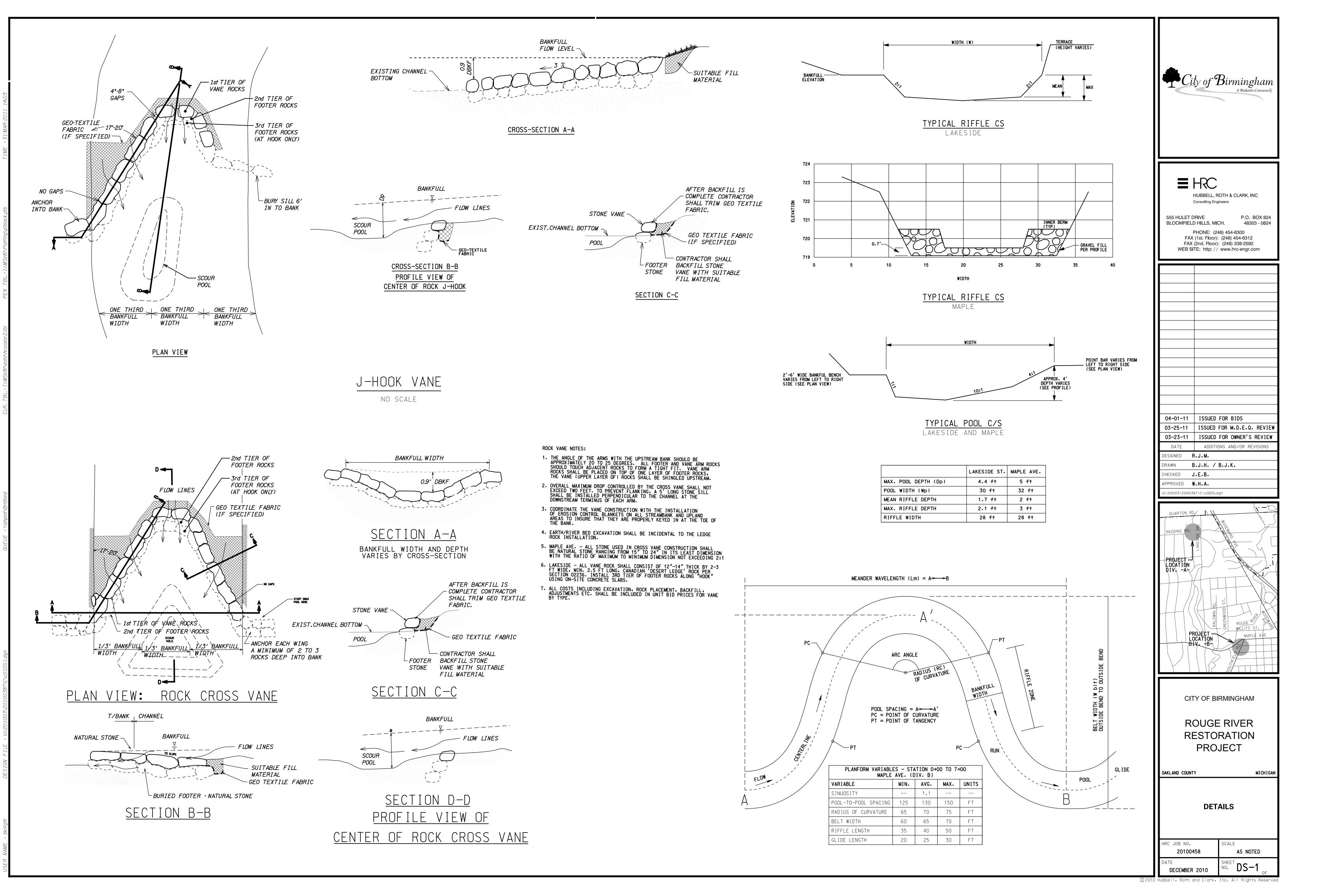
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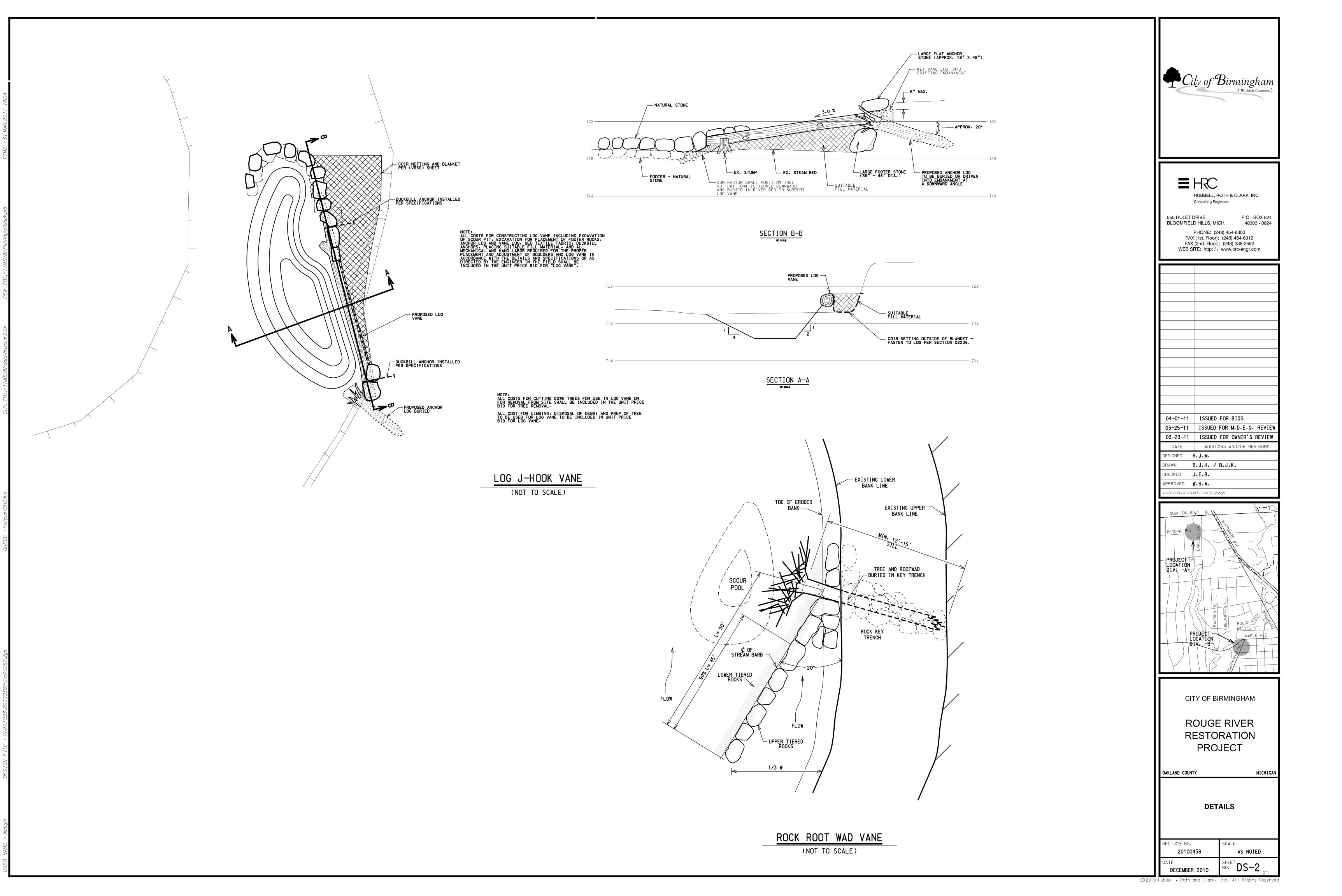
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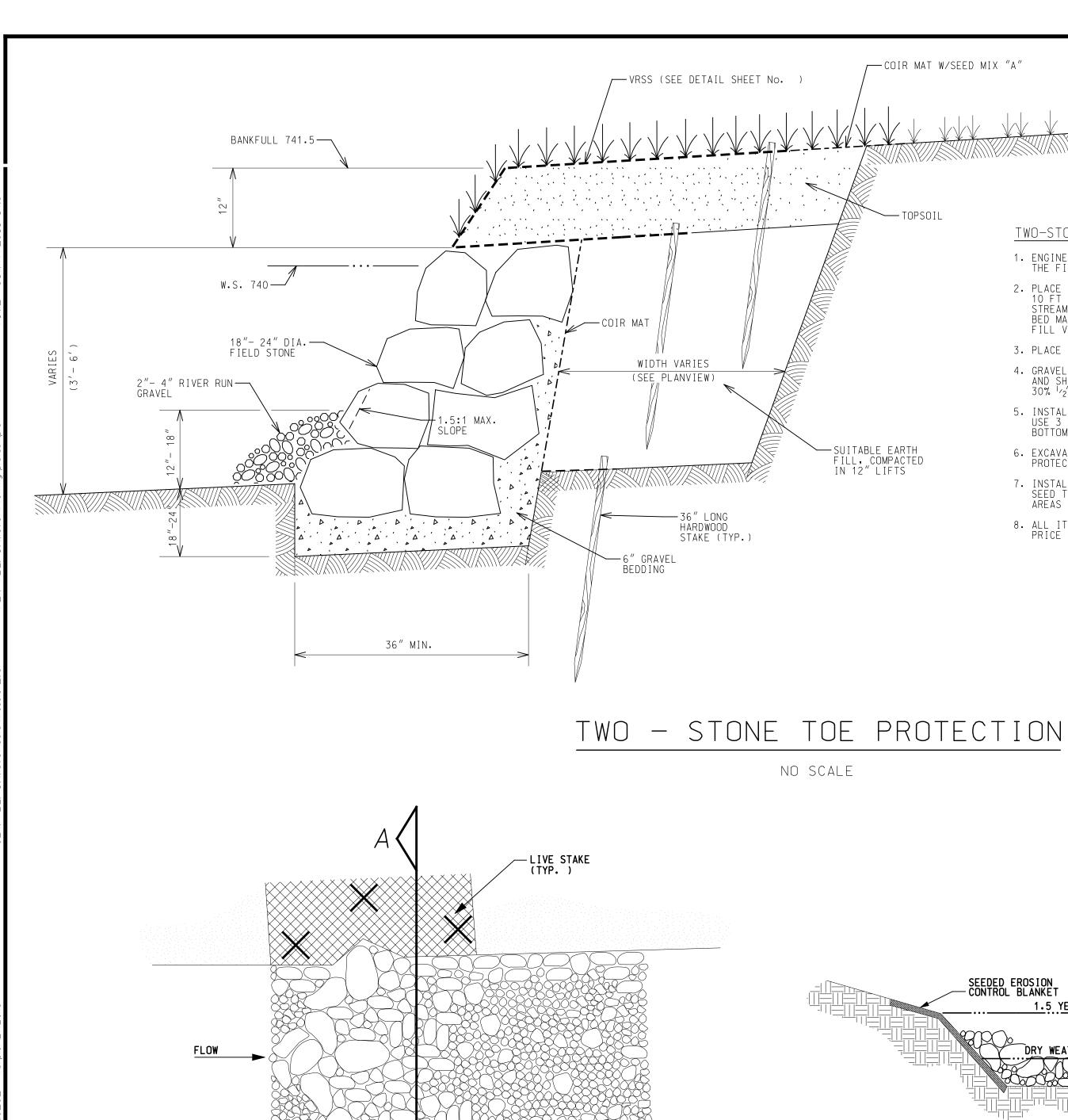
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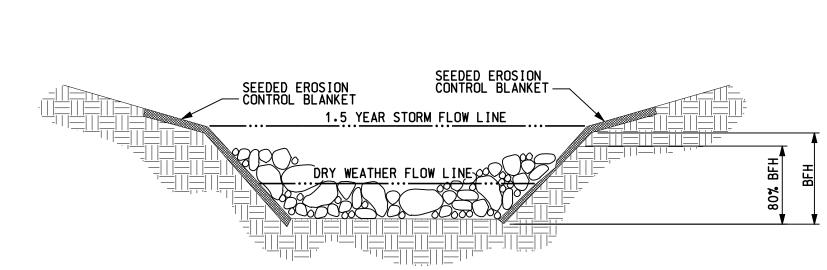
NOTICE:

ALL EXISTING UTILITIES SHOWN ON THIS TOPOGRAPHIC SURVEY HAVE BEEN TAKEN FROM VISUAL OBSERVATION, AND RECORD MAPPING WHERE AVAILABLE. NO GUARANTEE IS MADE, OR SHOULD BE ASSUMED, AS TO THE COMPLETENESS OR ACCURACY OF THE UTILITIES SHOWN ON THIS DRAWING. PARTIES UTILIZING THIS INFORMATION SHALL FIELD VERIFY THE ACCURACY AND COMPLETENESS PRIOR TO CONSTRUCTION ACTIVITIES.









CROSS SECTION VIEW A-A

EXCAVATE A 12" DEEP TRENCH ALONG THE UPSTREAM EDGE OF THE RIFFLE.
 USE 12" NATURAL OR EXISTING FIELD STONE ON THE UPSTREAM EDGE
 OF THE RIFFLE AT A 4:1 SLOPE TO DIRECT FLOW TO THE CENTER OF THE CHANNEL.
 POSITION STONES IN A V-SHAPE TOWARD AT THE CREST OF THE CHANNEL.
 AND ARMOR THE TOE WITH SMALLER COBBLE RANGING FROM 4"-10" IN
 DIAMETER TO PREVENT SUBSEQUENT BANK EROSION.

HIGH FLOW PERIODS.

4. TAPER OFF THE RIFFLE DOWNSTREAM AT A 40:1 SLOPE WITH 1"-4" RIVER RUN GRAVEL.

5. SEE TYPICAL RIFFLE CROSS SECTION FOR DIMENSIONS.

3. BE SURE TO ALLOW WATER TO SPILL OVER THE RIFFLE STRUCTURE DURING

NOTES:

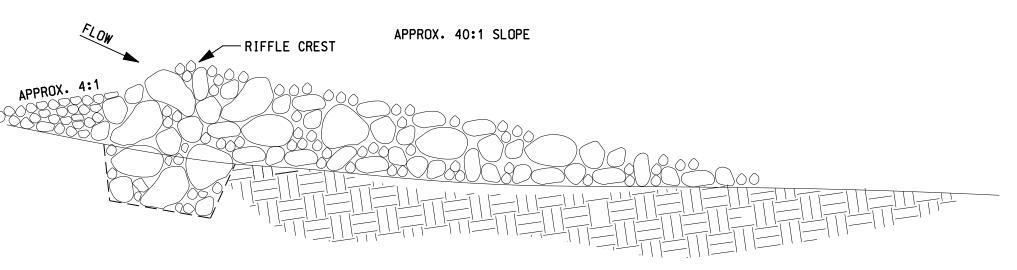
- EXISTING STONE

*BFH = BANK FULL HEIGHT

PLAN VIEW

SEEDED EROSION

CONTROL BLANKET (COIR)



PROFILE VIEW

RIFFLE DETAILS

NO SCALE

TWO-STONE TOE PROTECTION

- 1. ENGINEER TO STAKE LOCATION OF UPPER BANK FACE AND BANKFULL ELEVATION IN THE FIELD.
- 2. PLACE FIELD STONE TWO ROWS THICK WITH A THIRD STONE PROJECTING OUT EVERY 10 FT TO ADD ROUGHNESS. STONE TO BE PAID IN TONS AS 18"-24" FIELD STONE.

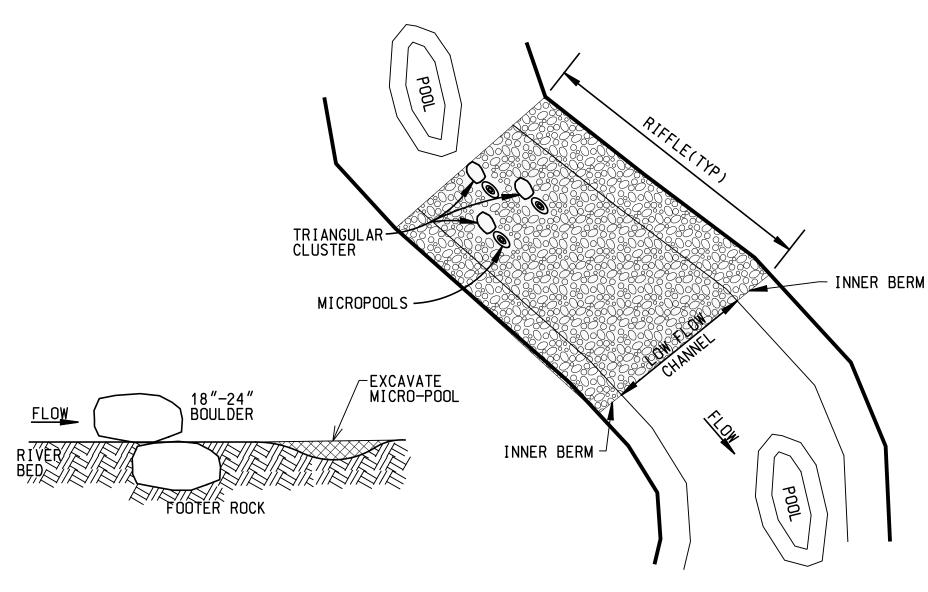
 STREAMBED EXCAVATION TO BE INCIDENTAL TO FIELD STONE PLACEMENT. EXCAVATED
 BED MATERIAL MAY BE USED AS FILL MATERIAL AS APPROVED BY THE ENGINEER. FILL VOIDS WITH RIVER RUN GRAVEL AND GRAVEL BEDDING MATERIAL.
- 3. PLACE 2"-4" RIVER RUN GRAVEL ALONG THE FACE OF THE FIELD STONE AS INDICATED.
- 4. GRAVEL BEDDING TO BE PLACED IN A 6" LAYER UNDER AND BEHIND THE FIELD STONE AND SHALL CONSIST OF 20% WASHED CONCRETE SAND , 50% PEA STONE GRAVEL, AND 30% $^{1}/_{2}$ "-2" RIVER RUN GRAVEL.
- 5. INSTALL COIR BLANKET BETWEEN THE GRAVEL BEDDING MATERIAL AND EARTH FILL. USE 3 FT LONG 2"x2" HARDWOOD STAKES EVERY 3'-5' TO ANCHOR THE TOP AND BOTTOM OF THE COIR BLANKET.
- 6. EXCAVATED EARTH FROM LEFT BANK TO BE USED AS FILL BEHIND THE STONE TOE PROTECTION AND MACHINE COMPACTED IN 12" LIFTS.
- 7. INSTALL ONE VRSS LIFT ON TOP OF STONE USING ON-SITE EARTH FILL AND TOPSOIL, SEED THE VRSS LIFT AND BENCH WITH SEED MIX "A", COVER REMAINING DISTURBED AREAS WITH COIR BLANKETS AND SECURE AT A MINIMUM RATE OF 3.5 STAPLES/SYD.
- 8. ALL ITEMS LISTED ABOVE AS SHOWN IN THE DETAIL SHALL BE INCLUDED IN UNIT BID PRICE FOR STONE TOE PROTECTION.

HABITAT BOULDERS

1. THE BOULDERS SHOULD CONSIST OF NATURAL FIELD STONE WITH A SPECIFIC WEIGHT OF APPROX. 2.65. FLATTER OR MORE ANGULAR BOULDERS SHALL HAVE A MEAN DIAMETER OF 15-18" AND MORE ROUNDED BOULDERS SHALL BE 18-24". INSTALL OVAL-SHAPED BOULDERS PARALLEL TO FLOW.

2. INSTALL ALL HABITAT ENHANCEMENT BOULDERS WITHIN THE LOW FLOW CHANNEL (THALWEG) ALONG THE UPSTREAM THIRD OF EACH RIFFLE. 3. PLACE THREE BOULDER PAIRS, TRIANGULARLY SPACED APPROX. 8-12 FT APART. 4. EXCAVATE THE BED TO ALLOW FOOTER ROCKS TO BE INSTALLED UNDER EACH OF THE THREE BOULDERS AT THE PROPOSED BED ELEVATION. SHINGLE THE BOULDERS ABOUT 6-8 INCHES UPSTREAM OF THE FOOTERS. 5. EXCAVATE 1 CYD MICROPOOLS PER DETAIL AS INCIDENTAL TO HABITAT BOULDER INSTALLATION.

6. INSTALL 18 HABITAT BOULDERS TOTAL (6 BOULDERS PER RIFFLE WITH FOOTERS) TO BE PAID PER PAY ITEM-HABITAT BOULDERS.



HABITAT BOULDERS TYPICAL LAYOUT -

MAPLE AVE. SITE

NO SCALE

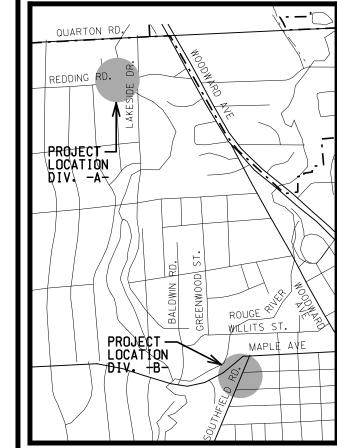




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CITY OF BIRMINGHAM

ROUGE RIVER RESTORATION **PROJECT**

OAKLAND COUNTY

DETAILS

MICHIGAN

20100458 AS NOTED DECEMBER 2010

NOTES:

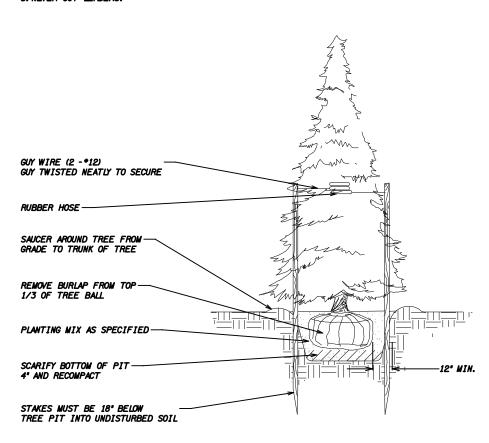
1. EVERGREEN TREES THAT ARE 6' AND UNDER, STAKE WITH 2" x 2" CEDAR STAKES, 2 PER TREE.

2. EVERGREEN TREES THAT 6' - 12', STAKE WITH METAL FENCE POST, 3 PER TREE.

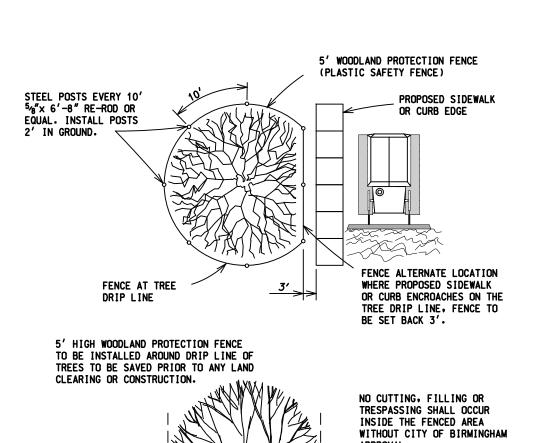
3. EVERGREEN TREES 12' AND OVER, GUY AS SPECIFIED FOR DECIDIOUS TREES.

4. TREE SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS GRADE.

5. NEVER CUT LEADERS.



BE-4 EVERGREEN TREE PLANTING



PROPOSED SIDEWALK OR CURB EDGE

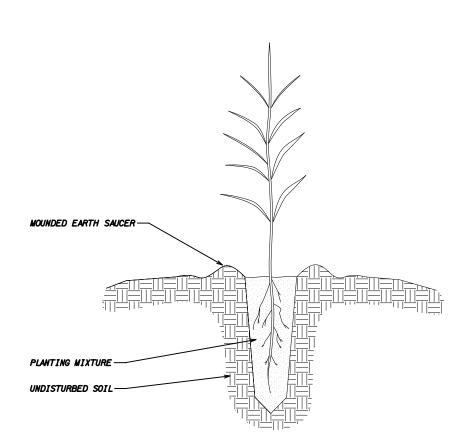
All sprinkler heads or sprinkler systems damaged or disturbed by
the Contractor shall be replaced and repaired to the satisfaction
of the Engineer. Replacement, relocation or repairs to sprinkler
systems will be incidental to the project.

FENCE - ALTERNATE LOCATION

TREE PROTECTION DETAILS

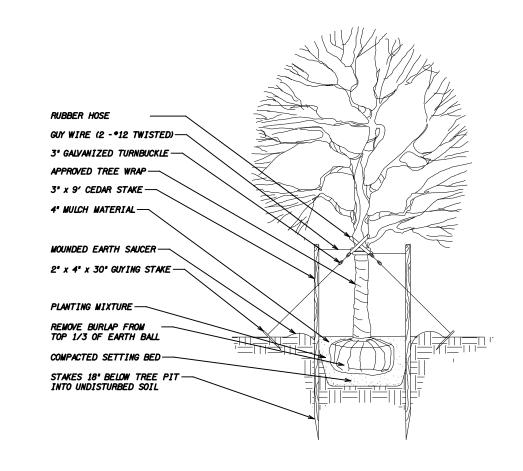
NO SCALE

FENCE AT TREE
DRIP LINE



E PLANT PLUG

NOTES: 1. STAKE TREES UNDER 4" CALIPER GUY TREES OVER 4" CALIPER.



NOTES;
1. SHRUB SHALL BEAR SAME RELATION TO FRESH GRADE
AS IT DID TO PREVIOUSLY EXISTING GRADE.

4' SHREDDED HARDWOOD BARK
MULCH MATERIAL

MOUNDED EARTH SAUCER

REMOVE COLLAR FROM FILTER
CONTAINER AND PUNCTURE TO
ALION ROOT GROWTH - ALL
METAL CONTAINERS REMOVED
PRIOR TO PLANTING
PLANTING MIXTURE
(LOOSENED EXISTING SOIL)

UNDISTURBED SETTING BED

REMOVE BURLAP FROM
TOP 1/3 OF BURLAP BALL
(BALLED & BURLAPPED PLANTS

DECIDUOUS TREE PLANTING

TYPICAL SHRUB PLANTING

NOTE:
ALL LIVE STAKES, JOINT PLANTINGS, & FASCINES, AND BRUSH MATTRESSES SHALL
CONSIST OF EQUAL NUMBERS OF THE FOLLOWING SPECIES TO BE INSTALLED IN THE
LISTED LOCATIONS PER THE PLAN, DETAILS, AND SPECIFICATIONS.

PLANT SPECIES -	- MAPLE AVE. SITE
SCIENTIFIC NAME	COMMON NAME
CORNUS SERICEA	RED-OSIER DOGWOOD
CORNUS ALTERNIFOLIA	ALTERNATE - LEAVED DOGWOOD
CORNUS RACEMOSA	ALTERNATE - GRAY DOGWOOD

SEED MIX "A" - FOR RIVERBANKS

THE CONTRACTOR SHALL APPLY THE FOLLOWING SEED MIXTURE TO ALL DISTURBED AREAS OUTSIDE OF THOSE INDICATED FOR PLANTING WITH SEED MIX "A" AT A RATE OF 0.5 LB/1000 SFT.

% WEIGHT	SCIENTIFIC NAME	COMMON NAME
50%	ELYMUS VIRGINICUS	VIRGINIA WILD RY
25%	ELYMUS HYSTRIX	BOTTLEBRUSH GRASS
25%	ELYMUS VILLOSUS	SILKY WILD RYE

SEED MIX "B" - FOR UPPER SLOPE RIDGE AREAS

THE CONTRACTOR SHALL APPPLY THE FOLLOWING SEED MIXTURE: ERNST CONSERVATION SEEDS' ERNMX-181 OR JFNEW'S SLOPE STABILIZATION SEED MIX TO ALL DISTURBED AREAS INDICATED ON THE PROJECT PLANS AT A RATE OF 1 LB/1000 SFT OR 59.5 LB/AC.

LANDSCAPE NOTES

- 1. VERIFY ALL CONDITIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION AND REPORT ANY DISCREPANCIES IMMEDIATELY TO ENGINEER OR OWNER.
- 2. VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES AND SERVICES PRIOR TO COMMENCING WORK. CONTRACTOR IS RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGED UTILITIES.
- 3. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES REFLECTED ON THE PLANT LIST. IF A DISCREPANCY EXISTS BETWEEN THE LIST AND THE PLAN, THE PLAN SHALL BE HELD VALID.
- 4. INSTALLATION AND SIZE OF ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERY MEN AND OCWRC.
- 5. THE LANDSCAPE CONTRACTOR SHALL CONTACT THE ENGINEER OR OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION. DISCREPANCIES BETWEEN THE PLANS AND ACTUAL SITE CONDITIONS. OR OTHER PROBLEM AREAS, SHALL BE RESOLVED AT THIS TIME.
- 6. THE LOCATION OF ALL PLANTS SHALL BE SCALED FROM THE DRAWINGS OR INTERPRETED FROM THE PLANT LIST.
- 7. IF ROUGH GRADE IS DONE BY OTHERS, CONTRACTOR SHOULD REVIEW THAT GRADE AND ADDRESS ANY PROBLEMS WITH THE OWNER. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL GRADING AND SITE SURFACE DRAINAGE, DRAIN TO PAVING, CATCH BASIN ETC. NO LOW SPOTS THAT HOLD STANDING WATER WILL BE ACCEPTED.
- 8. ANY RAISED EARTH BERMS SHOWN ON THE PLANS SHALL BE MADE ENTIRELY OF LIGHT ORGANIC SOILS AND SHALL BLEND SMOOTHLY INTO EXISTING TOPOGRAPHY
- 9. WATER-IN ALL PLANT MATERIAL IMMEDIATELY AFTER INSTALLATION.
- 10. SUBMIT SAMPLES OF MULCH, TOPSOIL, PRE-EMERGENT, STONE, ETC., AS REQUIRED BY THE PROJECT.
- 11. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR SUPPLY AND PLACEMENT OF TOPSOIL PER SPECIFICATIONS.
- 12. ALL TREES SHALL HAVE CLAY LOAM ROOT BALLS NO SAND BALLS ACCEPTED.
- 13. SNOW/TREE PROTECTION FENCING SHALLBE INSTALLED AROUND PERIMETER OF WORK AREA TO PROTECT EXISTING TREES AND PROPERTY AS DIRECTED BY PROJECT ENGINEER.
- 14. DIG SHRUB PIT A MINIMUM OF 1' LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2' LARGER THAN ROOT BALLS. BACKFILL WITH TWO PARTS TOP SOIL, TWO PARTS SOIL FROM EXCAVATED PLANTING HOLE AND ONE PART PEAT. PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE PLANTED AT THE NURSERY. IF WET CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER.
- 15. REMOVE ALL TWINE, WIRE AND BURLAP FROM THE TOP 1/3 OF TREE AND SHRUB EARTH BALLS AND FROM TREE TRUNKS. REMOVE ALL NON-BIODEGRADABLE MATERIAL SUCH AS PLASTIC OR NYLON COMPLETELY.
- 16. SHRUB BEDS ARE TO BE MULCHED WITH SHREDDED BARK MULCH TO A MINIMUM DEPTH OF 4". ONLY NATURAL-COLORED SHREDDED HARDWOOD BARK MULCH WILL BE ACCEPTED.
- 17. UPON COMPLETION, ALL PLANT MATERIALS MUST BE PRUNED AND INJURIES REPAIRED. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES AND TO COMPENSATE FOR THE LOSS OF ROOTS FROM TRANSPLANTING. ALL CUTS SHALL BE MADE FLUSH, LEAVING NO STUBS. PAINT ALL CUTS OVER 1INCH DIA. WITH TREE PAINT.
- 18. EXISTING LAWN AREAS THAT ARE DAMAGED DURING CONSTRUCTION MUST BE INSPECTED BY THE OWNER TO DETERMINE VIABILITY. IF THE EXISTING LAWN IS FOUND TO BE LEVEL, HEALTHY, DENSE AND FREE FROM WEEDS, LAWN MAY NOT REQUIRE REPLACEMENT OR RENOVATION. IF RENOVATION IS REQUIRED OR IS PART OF THE APPROVED PLAN, THEN THE FOLLOWING REQUIREMENTS WILL APPLY:
- EXISTING LAWN FOUND TO BE IN POOR CONDITION MUST FIRST BE SPRAYED WITH ROUND-UP (OR EQUAL) TO KILL THE EXISTING LAWN AND WEED AREAS. WAIT FOR A MINIMUM PERIOD OF SEVEN (7) DAYS FOR THE HERBICIDE TO TAKE EFFECT, THEN REMOVE ALL DEAD SOD AND WEEDS TO A MINIMUM OF FOUR (4) SIX (6) INCHES. NEW TOPSOIL TO ALL LAWN AREAS TO BE REPLACED. BACK FILL AND COMPACT TOPSOIL TO THE TOP OF ALL CURBS AND WALKS PRIOR TO SODDING/SEEDING. REGRADE TO ELIMINATE ALL BUMPS AND DEPRESSIONS AND RESOD ALL AREAS.
- EXISTING LAWN FOUND TO BE GENERALLY IN GOOD CONDITION BUT WITH BARE, SPARSE OR WEEDY AREAS MUST BE RENOVATED BY FILLING IN LOW AREAS, RAKING, OVERSEEDING AND TOP DRESSING ALL SPARSE AND BARE SPOTS AND BY INITIATING A WEED AND FEED PROGRAM.
- 19. THE CONTRACTOR AGREES TO GUARANTEE ALL PLANTS FOR ONE YEAR FROM THE TIME OF PLANTING AND FINAL INSPECTION BY THE OWNER'S REPRESENTATIVE. THIS GUARANTEE INCLUDES FURNISHING NEW PLANTS AS WELL AS THE LABOR AND MATERIALS FOR THE INSTALLATION OF REPLACEMENTS. ALL REPLACEMENT PLANTS SHALL BE GUARANTEED FOR AN ADDITIONAL PERIOD OF ONE YEAR.
- 20. PLANT MATERIAL WITH 25% OR GREATER DIE BACK, AS DETERMINED BY THE OWNER'S REPRESENTATIVE, SHALL BE REPLACED AS STIPULATED ABOVE. THAN 20% BY WEIGHT OF ORGANIC MATTER WITH A PH RANGE FROM 6.0 TO 7.0. SOIL SHALL BE FREE OF CLAY LUMPS, COARSE SAND, STONES, PLANT ROOTS, STICKS OR OTHER FOREIGN MATERIAL.
- 21. TOPSOIL SHALL BE FERTILE, FRIABLE NATURAL TOPSOIL OF CLAY LOAM CHARACTER CONTAINING AT LEAST 5% BUT NOT MORE



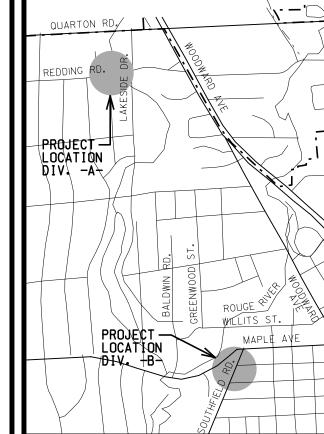


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OAKLAND COUNTY

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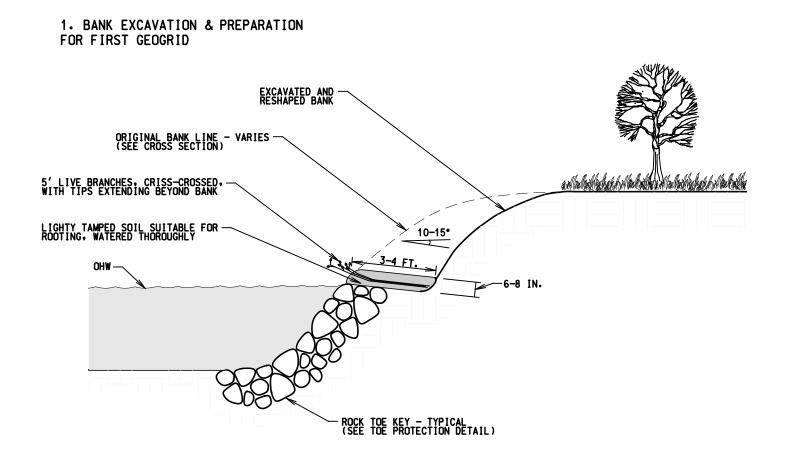
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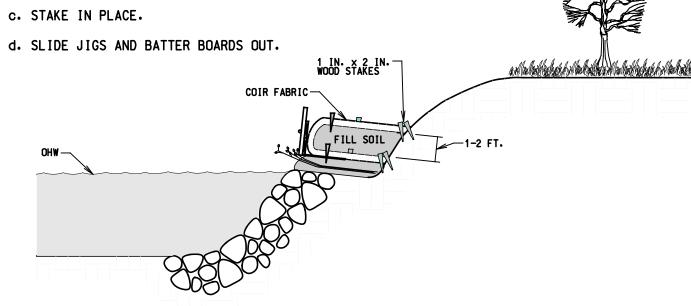
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3. WRAPPING AND SECURING COIR FABRIC g. FILL BENCH WITH SOIL UP TO TOP OF BATTER BOARD.

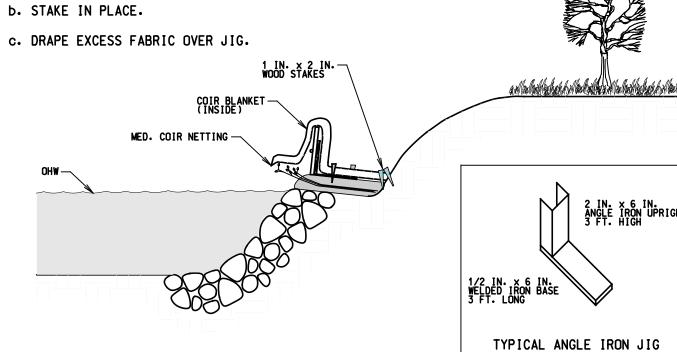
MAINTAINING 10-15° SLOPE. WATER SOIL. b. PULL FABRIC UP AND OVER TO WRAP SOIL.



2. PLACEMENT OF COIR FABRICS

d. LAY FABRIC PIECES ON BENCH, SEAMS OVERLAPPING APPROX. 1 FT.

b. STAKE IN PLACE.

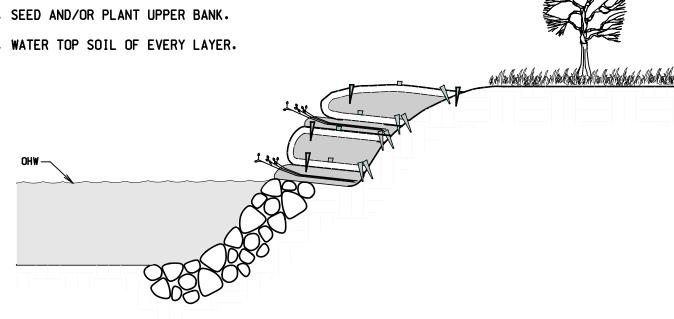


4. INSTALLATION OF ADDDITIONAL GEOGRID LIFTS

g. LAY ANOTHER LAYER OF LIVE BRANCHES AND SOIL ON TOP OF GEOGRID AND CONSTRUCT ADDITIONAL LIFTS.

b. SEED AND/OR PLANT UPPER BANK.

c. WATER TOP SOIL OF EVERY LAYER.

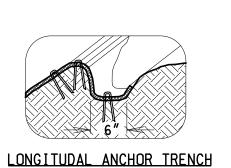


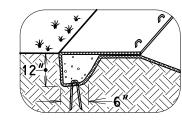
1.6′

3.3′

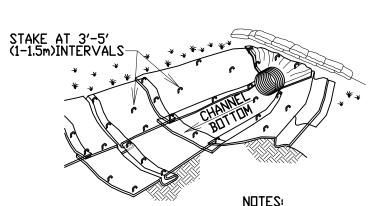
VRSS INSTALLATION USING CONSTRUCTION JIGS AND BATTER BOARDS (NOT TO SCALE)

- USE 3' HARDWOOD STAKES
IN SLOPE FILL AREAS.
- USE STAPLE PATTERN 'D'
ON ALL BLANKETS

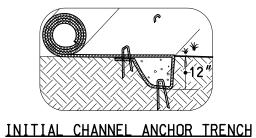


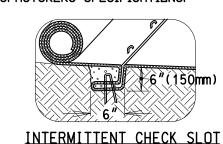






1. CHECK SLOTS TO BE CONSTRUCTED PER MANUFACTURERS SPECIFICATIONS. 2. STAKING OR STAPLING LAYOUT PER MANUFACTURERS SPECIFICATIONS.



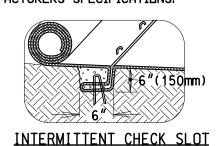




CHANNEL INSTALLATION

(NOT TO SCALE)

EROSION BLANKETS



TYPICAL STAPLE PATTERN FOR 6.67' WIDE ROLL

MININMUM RECOMMENDED STAPLES PER 6.67' WIDE ROLL

STAPLES PER AREA

0.7 STAPLES PER SQ. YD.

1.15 STAPLES PER SQ. YD.

1.7 STAPLES PER SQ. YD.

3.4 STAPLES PER SQ. YD.

3.75 STAPLES PER SQ. YD.

PATTERN

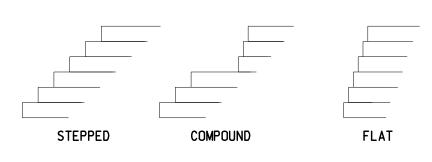
(NOT TO SCALE)

VEGETATED REINFORCED SOIL SLOPES (VRSS)

VEGETATED REINFORCED SOIL SLOPES (VRSS) ARE SYSTEMS USED TO VEGETATE EARTH FILL SLOPES. VRSS CONSIST OF 6-8 INCH LAYERS OF LIVE BRANCH CUTTINGS INTERSPERSED BETWEEN COIR FABRIC-ENCAPSULATED SOIL LIFTS. THE BRUSH CUTTINGS ARE PLACED IN AN OVERLAYING AND CRISS-CROSS PATTERN SO THAT THE TIPS OF THE CUTTINGS PROTRUDE FROM THE FACE OF THE FILL SLOPE. THE BASE OF THE STEMS EXTENDS TO THE BACK OF THE FILL SLOPE (TYPICALLY 5 FT BRANCHES DEPENDING ON VRSS DEPTH). EACH BRUSH LAYER IS COVERED WITH SOIL, LIGHTLY COMPACTED, AND WATERED BEFORE THE NEXT SOIL ENCAPSULATED LIFT IS CONSTRUCTED. ON TOP OF THE LIVE BRUSH LAYER, 1 FT HIGH LAYERS OF SOIL WRAPPED IN COIR NETTING OVER COIR BLANKET.

GENERAL NOTES:

- 1. INSTALL DOWNSTREAM SEDIMENT CONTROL MEASURES, IF REQUIRED, PRIOR TO ANY EARTH DISTURBANCE.
- 2. CUT AND REMOVE TREES AND SHRUBS DESIGNATED FOR REMOVAL, LEAVING THE ROOTWAD IN PLACE UNLESS OTHERWISE NOTED. PROTECT EXISTING TREES MARKED FOR PRESERVATION.
- 3. SEE SECTION 02227 SOIL BIOENGINEERING FOR DETAILED INSTALLATION INSTRUCTIONS. INSTALL ALL SOIL FILL LIFTS USING SUITABLE MATERIAL TO 85-90% COMPACTION.

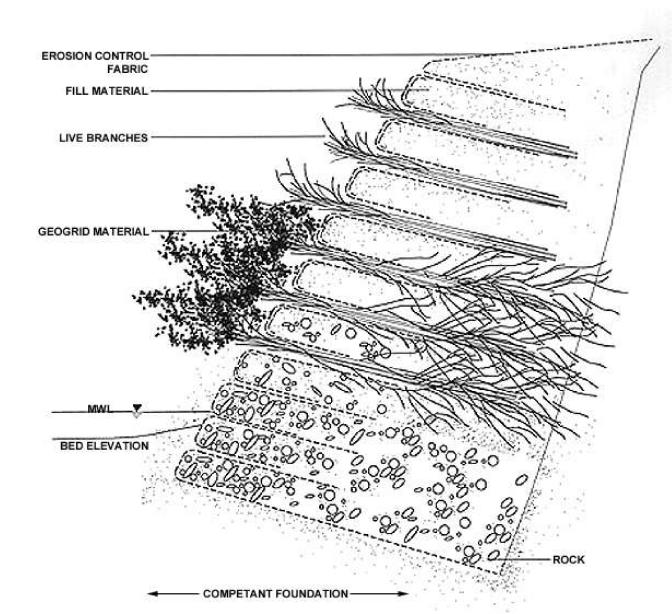


VEGETATED REINFORCED SOIL SLOPES (VRSS)

NOTE: ALL VRSS APPLICATIONS FOR THIS PROJECT USE A FLAT OR SLIGHTLY STEPPED CONFIGURATION.

COIR FABRIC OPTIONS

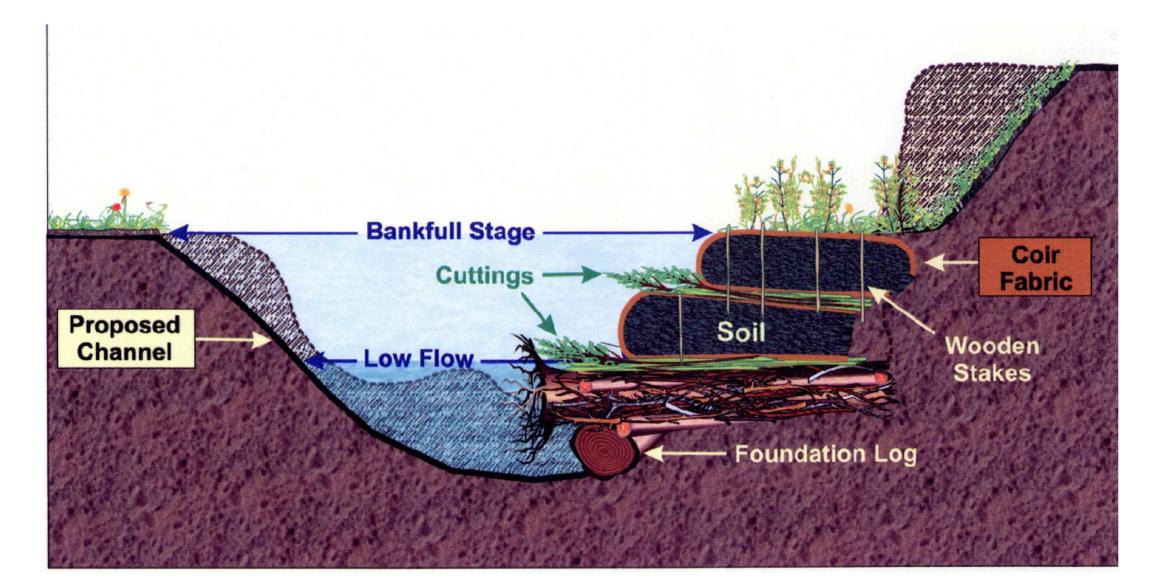
- 1. USE COIR NETTING (BELTON INDUSTRIES DEKOWE 700) WRAPPED OVER 100% COIR BLANKET (NAG C125BN) WITH BATTER BOARDS FOR COMPACTION, OR
- 2. USE NEDIA KOIRWRAP1000 DOUBLE LAYERED BLANKETS WITH BATTER BOARDS FOR COMPATION, OR
- 3. USE ROLANKA BIO-D BLOCK 300 OR 400 WITH COIR BLANKETS ON BANKFULL BENCH OR UPPER SLOPES AS NECESSARY.



SECTION

PAYMENT OPTION 1

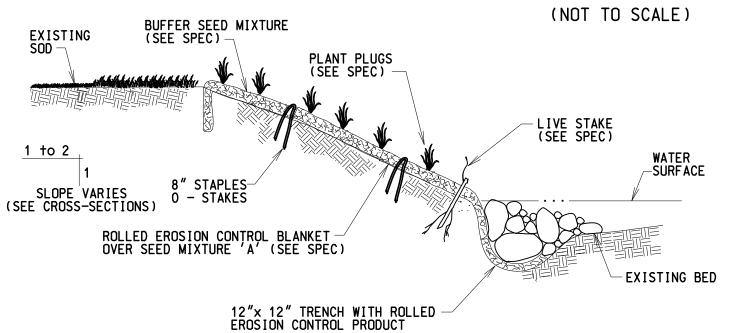
- 1. BLANKETS ARE PAID BY THE SYD FOR EACH MATERIAL USED.
- 2. IF BIOD-BLOCK IS USED, THEN IT IS PAID BY THE FT.
- 3. ON-SITE EARCH FILL PLACEMENT AND COMPACTION IS INCIDENTAL TO THE EARTH EXCAVATION PAY ITEM.
- 4. IMPORTED TOPSOIL, COMPOST, OR SOIL AMENDMENTS ARE PAID SEPARATELY BASED ON THE PAY ITEM FOR THAT MATERIAL.
- 5. HARDWOOD STAKES, STAPLES, AND OTHER CONVENTIONAL FASTENERS ARE INCIDENTAL TO THE INSTALLATION OF VRSS MATERIALS.
- 6. SPECIALIZED FASTENERS SUCH AS DUCKBILL ANCHORS AND 3 FT SECTIONS OF #4 REBAR WITH ATRACLIPS ARE PAID BY THE EACH FOR THAT LINE ITEM.
- 7. LIVE BRANCH CUTTINGS ARE PAID BY THE FT OR PER CONTAINERIZED SHRUB.



NOTE:

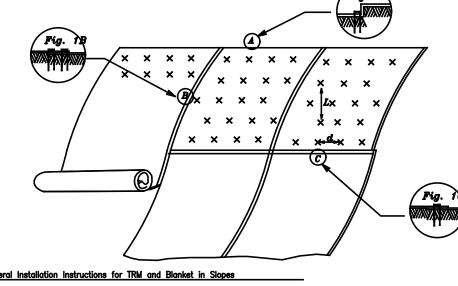
- INSTALL AS INDICATED ON SHEET 6 PER SECTION 02232.
- INSTALL 1 FT HIGH VEGETATED REINFORCED SOIL SLOPE (VRSS) PER DETAIL SHEET THIS SHEET.

TOE WOOD STRUCTURE WITH VRSS



ROLLED EROSION CONTROL BLANKET STREAMBANK STABILIZATION

(NOT TO SCALE)



- Prepare soil, including grading, application of lime, fertilizer, and seeds. The surface of the soil should be smooth and free of racks, roots and other obstructions.
- 3. Provide a 6" deep and 6" wide anchor trench at the toe of the slope or streambank or shoreline. This cand shorelines may be replaced with BioD-Roll colr rolls.

 4. Use wire staples of gauge 11 or lower and a minimum length of 8". If wooden pegs are used, the minimal Anchors should be long enough to provide a strong bond between the blanket and the ground. Require a depending on the soil conditions.

 5. This procedure could be altered at the discretion of the site engineer / architect.

MULCH BLANKET



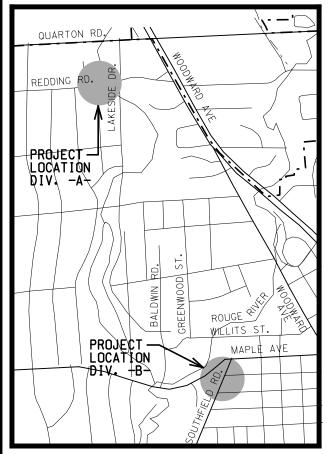


HUBBELL, ROTH & CLARK, INC Consulting Engineers

P.O. BOX 824 555 HULET DRIVE BLOOMFIELD HILLS, MICH. 48303 - 0824 PHONE: (248) 454-6300 FAX (1st. Floor): (248) 454-6312 FAX (2nd. Floor): (248) 338-2592

WEB SITE: http://www.hrc-engr.com

04-01-11	ISSUED FOR BIDS
03-25-11	ISSUED FOR M.D.E.Q. REVIE
03-23-11	ISSUED FOR OWNER'S REVIEW
DATE	ADDITIONS AND/OR REVISIONS
DESIGNED F	R.J.M.
DRAWN E	B.J.H. / B.J.K.
CHECKED .	J.E.B.
ADDDOVED 1	N.H.A.
APPROVED	· · · · · ·



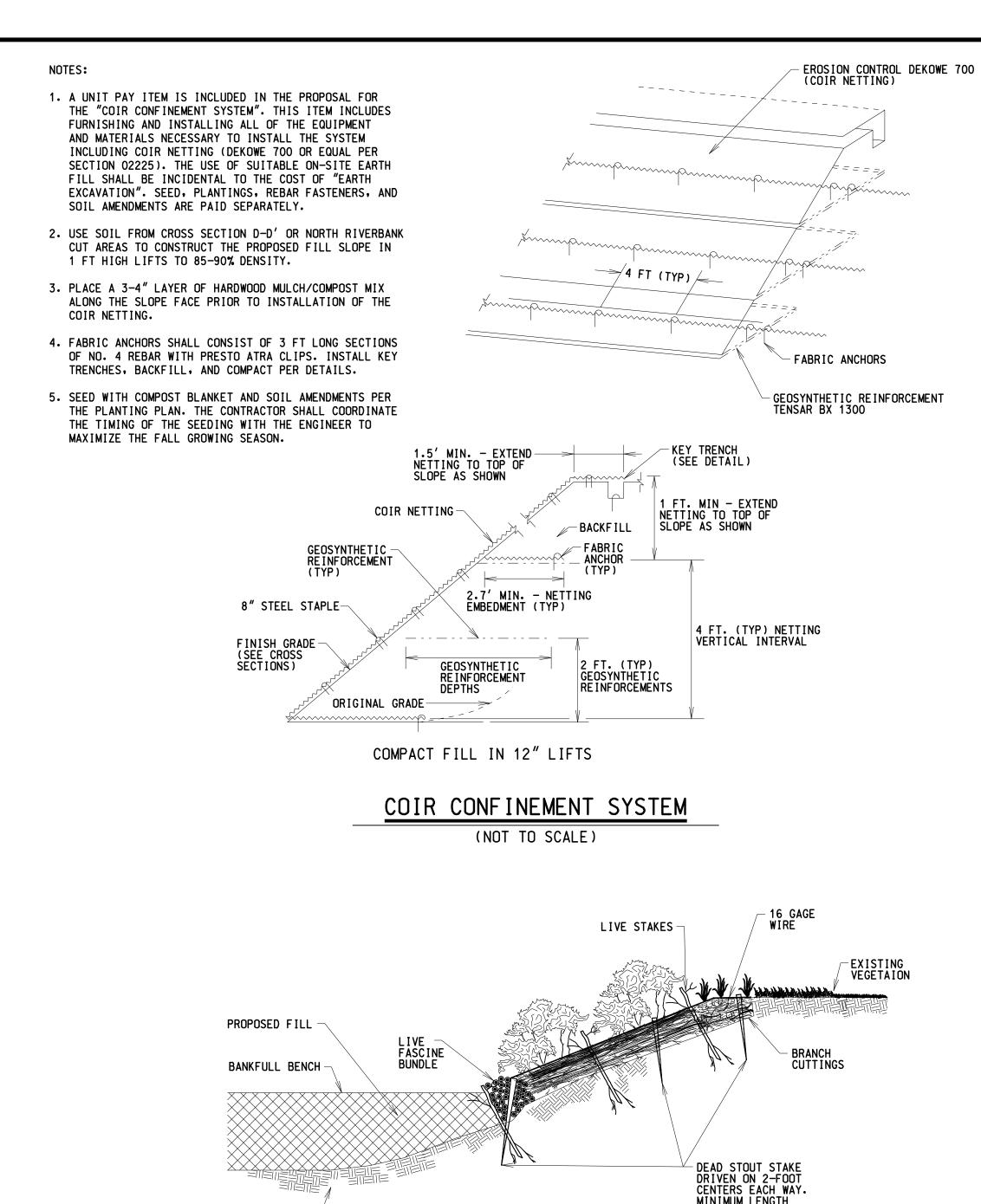
CITY OF BIRMINGHAM

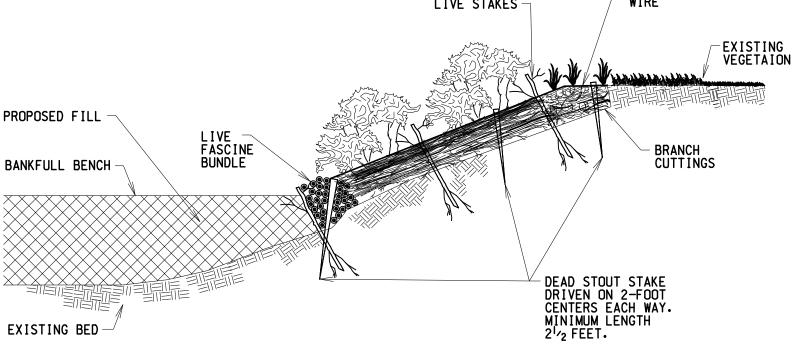
ROUGE RIVER RESTORATION **PROJECT**

MICHIGAN OAKLAND COUNTY

DETAILS

20100458 AS NOTED DS-5 DECEMBER 2010





BRUSH MATTRESS (NOT TO SCALE)

NOTES:

1. EXCAVATE 3.3 FT DEEP TRENCH AS SHOWN ON SHEET 6. BACKFILL WITH MDOT HEAVY RIPRAP. BURIED GROIN MAY BE USED FOR EQUIPMENT ACCESS. COVER RIPRAP WITH ON-SITE TOPSOIL AND COMPOST, SEED MIX 'A', AND COIR EROSION CONTROL BLANKET.

2. STATION 4+50 - INSTALL 4 FT. AVERAGE WIDTH BURIED

3. STATION 4+75 - INSTALL 8 FT. AVERAGE WIDTH BURIED GROIN WITH 4" PVC UNDERDRAIN.

4. STATION 5+20 - INSTALL 8 FT. AVERAGE WIDTH BURIED GROIN WITH 4" PVC UNDERDRAIN.

5. PLACE RIPRAP CAREFULLY SO AS NOT TO DAMAGE PIPE.

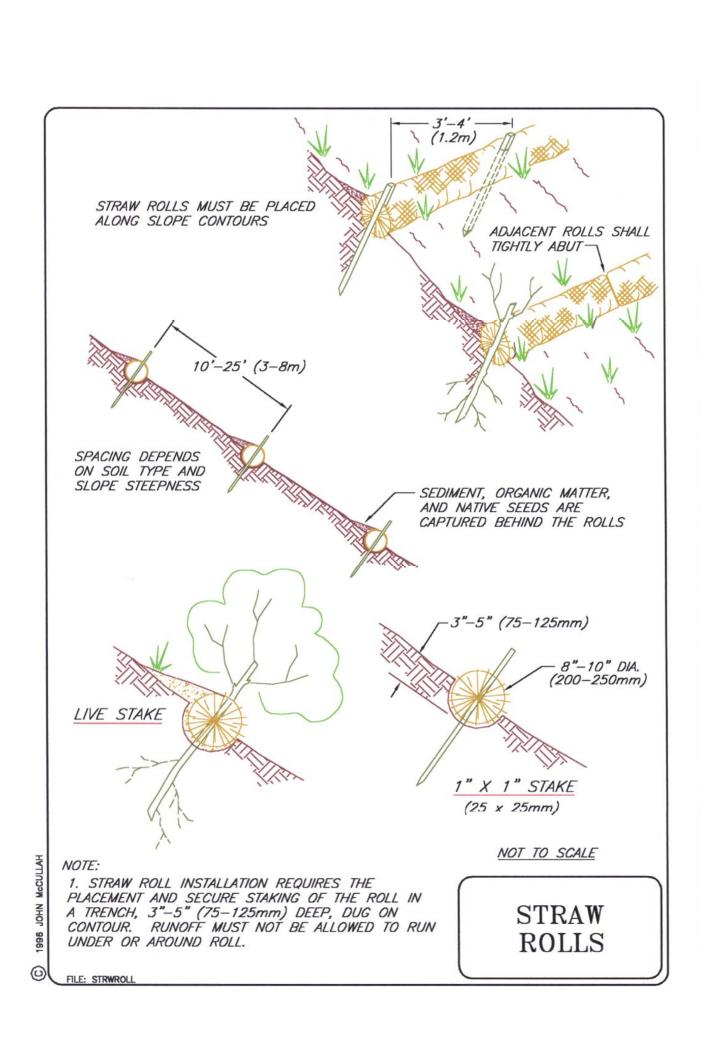
MEAN WATER ELEVATION

- PROVIDE 4"-6" TOPSOIL COVER. SEED MIX 'A', AND COIR MAT MDOT HEAVY RIP-RAP

> -4" PVC OUTLET TO RIVER e 1-2% SLOPE (STN 4+75 AND 5+20)

BURIED ROCK GROIN

(NOT TO SCALE)





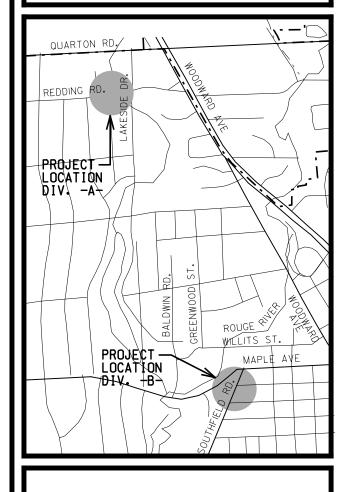


HUBBELL, ROTH & CLARK, INC Consulting Engineers

555 HULET DRIVE P.O. BOX 824 BLOOMFIELD HILLS, MICH. 48303 - 0824

PHONE: (248) 454-6300 FAX (1st. Floor): (248) 454–6312 FAX (2nd. Floor): (248) 338-2592 WEB SITE: http://www.hrc-engr.com

04-01-11 | ISSUED FOR BIDS 03-25-11 | ISSUED FOR M.D.E.Q. REVIEW 03-23-11 | ISSUED FOR OWNER'S REVIEW DATE ADDITIONS AND/OR REVISIONS DESIGNED R.J.M. DRAWN B.J.H. / B.J.K. CHECKED J.E.B. APPROVED W.H.A.



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CITY OF BIRMINGHAM

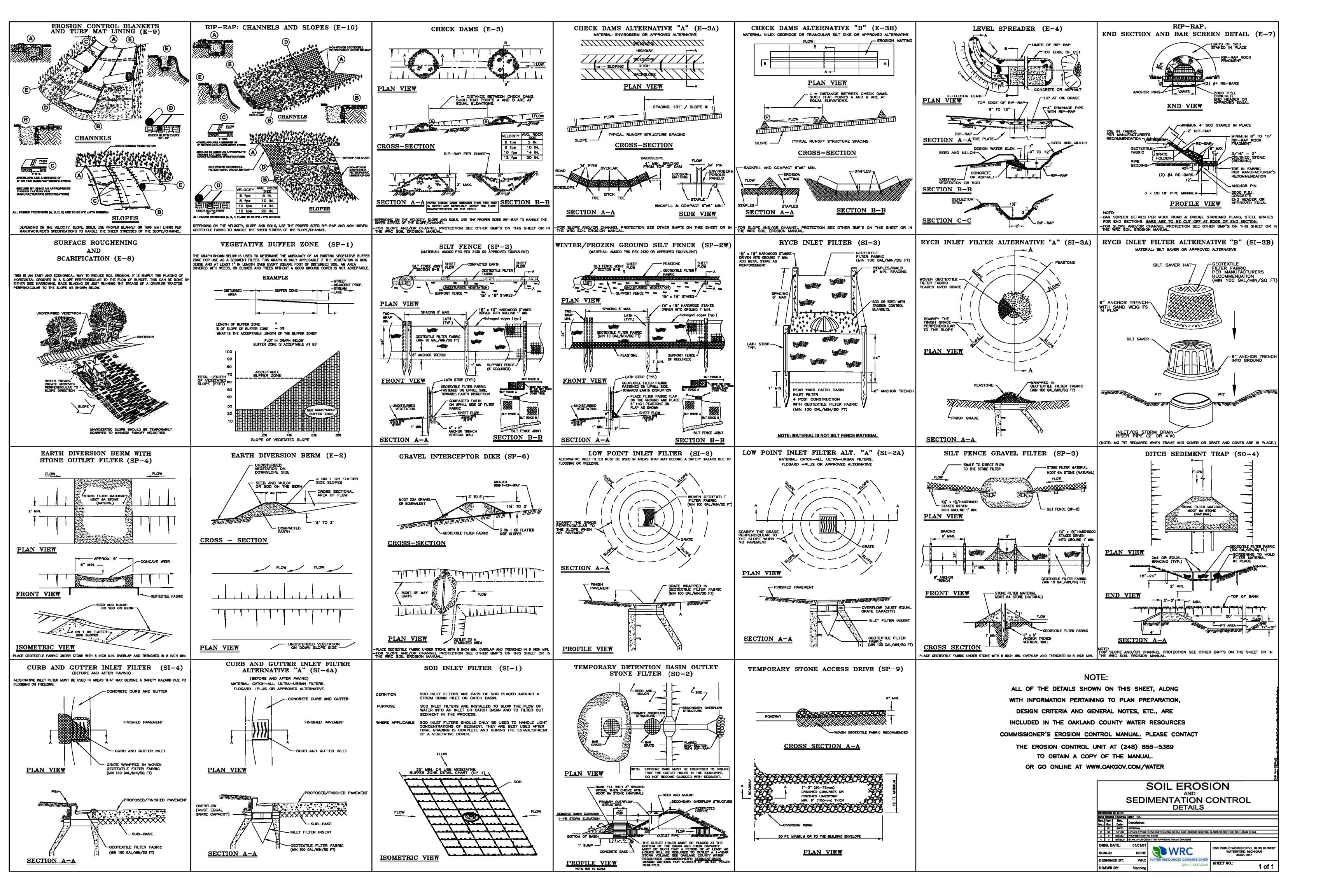
ROUGE RIVER RESTORATION **PROJECT**

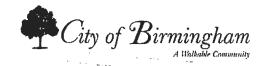
OAKLAND COUNTY

DETAILS

MICHIGAN

IRC JOB NO. 20100458 AS NOTED DECEMBER 2010

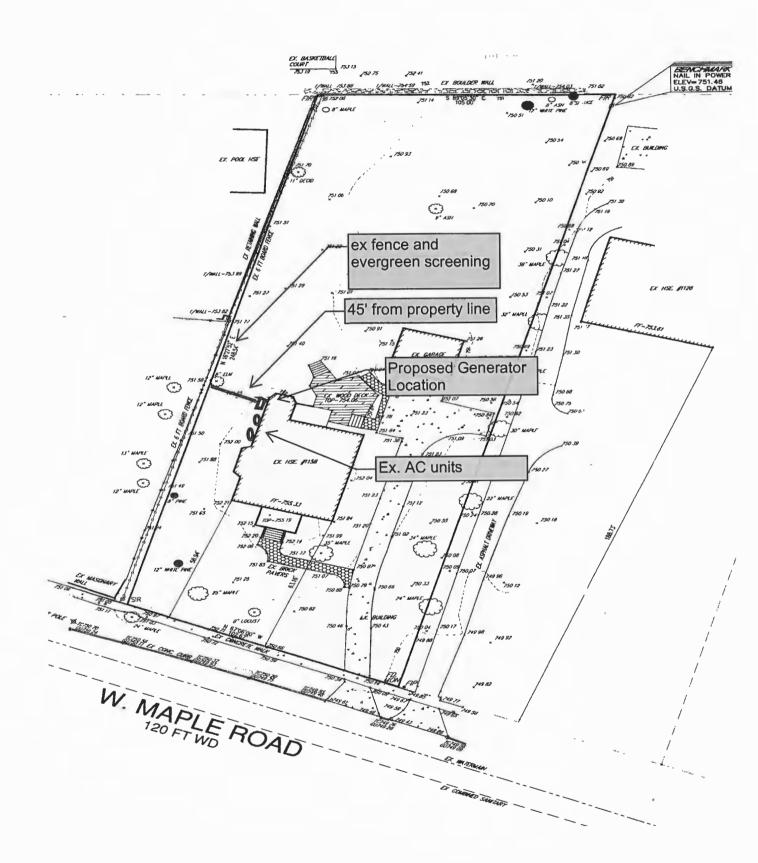




Administrative Approval Application Planning Division

Form will not be processed until it is completely filled out

1. Applicant	Property Owner			
Name: Oak Electric -Gary Pipia Address: 5492 Dixie Highway	Name: Paul Lewis			
Address: 3492 Dixie Highway	Address: 1158 W. Maple Birmingham MI 48009			
Phone Number: 248 6234900	Phone Number: 248 205 6300			
Fax Number: 2486234911				
	Fax Number:			
Email: gary@oakelectric.com	Email:			
2. Applicant's Attorney/Contact Person	Project Designer			
Name:	Name:			
Address:	Address:			
Phone Number:	Phone Number:			
Fax Number:	Fax Number:			
Email:	Email:			
2 Project Information				
3. Project Information Address/Location of Property: same as above	Name of Historic District site is in, if any:			
Address/Location of Property: same as above	Date of HDC Approval, if any:			
Name of Development:	Date of Application for Preliminary Site Plan:			
Parcel ID #:	Date of Preliminary Site Plan Approval:			
Current Use:				
Area in Acres:	Date of Final Site Plan Approval:			
Current Zoning:				
 4. Attachments Warranty Deed with legal description of property Authorization from Owner(s) (if applicant is not owner) Completed Checklist 	• Six (6) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations			
5. Details of the Request for Administrative App	•			
side yard generator install				
	and correct, and understands that it is the responsibility of			
the applicant to advise the Planning Division and \prime or 1	Building Division of any additional changes to the approve			
site plan.				
- W /				
Signature of Applicant:	Date: 8/29/17			
	ice Use Only			
Application #: 11-0019 Date Received:	9/1/14 Fee: 1/1/14			
Date of Approval: 9/12/17 Date of Denial:				
Date of Approval: 4/12/17 Date of Denial:	Reviewed by: M. B.			



CONSENT OF PROPERTY OWNER

I, _		ul Lewis f property own	я)	OF THE STATE	OF <u>Michigan</u>	AND COUNT	Y OF
	Oakland	<u> </u>	STATE THE FOLLOWING:				
	1. Tha	at I am the	owner of real estate located a		dress of affected proper	rty)	;
	2. Tha	Gary I	ad and examined the Applica Pipia / Oak Electric Name of applicant)	ion for Administr	ative Approval m	nade to the City of	Birmingham by:
		at I have no mingham.	objections to, and consent to	the request(s) de	scribed in the Ap	plication made to	the City of
	Dat	ted:	3/29/17	Ow	Paul Lewis ner's Name (Plea	se Print)	
				\bigcup_{Ow}	— Docusigned by: Paul Lewis — F30513AF10F14D7 ner's Signature		



CITY OF BIRMINGHAM

Ref 00143412 Receipt 400406

Amount \$100.00

Date 11/10/2017 1:58:04 PM

Administrative Approval Application Planning Division

COMMUNITY DEVELOPMENT DEPARTMENT

Form will not be processed until it is completely fille	ed out
1. Applicant Name: ANTHONY SOAVE - VILLANOVA CONST. Co., Address: 20765 PARKER ST. FARMINOTON HILLS, MI. 48336 Phone Number: 248-476-5122 Fax Number: 248-476-5011 Email: Tony. Soave & VILLANOVA CONSTRUCTION. COM	Property Owner Name: Comerica Bank (Detroit Bank \$Taust Address: 3701 HAMLIN ROAD AUBURN HILLS, MI 48326 Phone Number: 248-371-5060 Fax Number: 248-371-5817 Email: LEONARD. MURZ & CBRE. COM
2. Applicant's Attorney/Contact Person Name: PNTHONY SOAVE Address: 20765 PARKER STREET FARMING TON HILLS, MI. 48336 Phone Number: 248-476-5122 Fax Number: 248-476-5011 Email: TONY. SOAVE & VILLANAVA CONSTRUCTION. &	Project Designer Name: VILLANOVA CONSTRUCTION CO., FNC. Address: 20765 PARRER ST. FARMINGTON HILLS, MI. 49336 Phone Number: 248-476-5122 Fax Number: 248-476-5011 MEmail: Tony. Soars & VILLANDEM CONSTRUCTION CO
3. Project Information Address/Location of Property: BIRMINGHAM, Name of Development: Comprise Sank Parcel ID #: Current Use: BANK Area in Acres: Current Zoning:	Name of Historic District site is in, if any: Date of HDC Approval, if any: Date of Application for Preliminary Site Plan: Date of Preliminary Site Plan Approval: Date of Application for Final Site Plan: Date of Final Site Plan Approval: Date of Revised Final Site Plan Approval:
 4. Attachments Warranty Deed with legal description of property Authorization from Owner(s) (if applicant is not owner) Completed Checklist Material Samples Digital Copy of plans 	Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations
5. Details of the Request for Administrative Appro	
The undersigned states the above information is true and the applicant to advise the Planning Division and / or But site plan. Signature of Applicant:	
Application #: 17-0117 Date Received: 11	Ise Only Fee: \$100
Date of Approval: NOV 0 9 2017 Date of Denial:	Reviewed by: M. B. (
CITY OF BIRMINGHAM	



CONSENT OF PROPERTY OWNER

	OMERICA	BANK	. 0	F THE S	TATE OF	MI	AND COU	NTY OF	, i ar is
(N	ame of property ow	mer)							
DAK	AND	STATE THE FO	OLLOWING:			• • •		٠	
1.	That I am the	e owner of real es		188	OCD N. (Address of a	Wood of			
2.	VILLANC	ead and examine VA COUSTRU (Name of applicant)	d the Application	n for Adm ;	inistrative A	approval ma	de to the City	of Birmin	ngham by
3.	That I have n Birmingham	no objections to,	and consent to th	e request	(s) described	in the Appl	ication made	to the Cit	y of
	Dated:	11/8/17			Owner's N	A A lame (Pleas	LEMPA e Print)		
					Owner's S	ur af	5		

Tax Parcel #_

KNOW ALL MEN BY THESE PRESENTS: That DETROIT BANK & TRUST COMPANY, a Michigan Corporation 211 West Fort Street, Detroit, Michigan 48231 CITY OF BIRMINGHAM, a Municipal Corporation. Quit Claims to 151 Martin Street, Birmingham, Michigan 48012 City of Birmingham the following described premises situated in the County of Oakland and State of Michigan, to-wit: County of Oakland and State of Michigan, to-wit: The west 2 ft. of the east 4 ft., and a triangular parcel of Lot 33 of "Assessor's Plat No. 21" a replat of Hamilton's Eastern Addition, Van Every-Lawson Subdivision, Rundel Addition and a part of the S.E. 1/4 of S.W. 1/4 and S.W. 1/4 of S. E. 1/4 of Section 25, T 2 N, R 10 E, City of Birmingham, Oakland County, Michigan according to the plat thereof as recorded in Liber 54 of Plats, Page 19 of the Oakland County Records; said triangular parcel being described as: Commencing at the southeast corner of said Lot 33; thence westerly, 3.58 ft. along the south line of said Lot 33 to an angle point; thence S 87° 48' 33" W, 0.43 ft. along said south line of Said Lot 33 to the point of hegipping of this description along said south line of Lot 33 to the point of beginning of this description; thence N 2° 05' 14" W, 8.00 ft. along a line that is 4.00 ft. from and parallel to the east line of said Lot 33; thence S 42° 51' 40" W, 11.32 ft. to a point on said south line of Lot 33; thence N 87° 48' 33" E, 8.00 ft. along said south line of Lot 33 to the point of beginning of this description, consisting of 229 sq. ft. for the full consideration of ONE DOLLAR (\$1.00) 20 14 AUGUST 1976 Dated this day of Witnesses: Signed and Sealed: DETROIT BANK & TRUST COMPANY, (L.S.) a Michigan Corporation GARI KERSTEN Vice-President STATE OF MICHIGAN Its Vice-President OAKLAND COUNTY OF_ day of AUGUST 1976 The foregoing instrument was acknowledged before me this (1) by GARI KERSTEN & ANDREW F. (2) Vice-Presidents
BANK & TRUST COMPANY

BUTT

(4) a MICHIGAN (3) of DETROIT Corporation on behalf of the said corporation. BANK & TRUST COMPANY SYLVIA F. HOUNES My commission expires Non Notary Public, Oakland County, Michigan My Commission Expires January 26 1977 Notary Public ____ Note: Insert at (1) name(s) of officer(s) (2) title(賴 of officers(s) (3) name of corporation (4) state of incorporation Business 74 West Long Lake Rd., Bloomfield Hills, MI 48013 Instrument PAMELA GAUDREAU SHEA County Treasurer's Certificate City Treasurer's Certificate GRANTEE When recorded return to ... Recording Fee State Transfer Tax.... Send subsequent tax bills



Administrative Approval Application Planning Division Form will not be processed until it is completely filled out

1. Applicant	Property Owner
Name: RAME FARASTICE CO	Name: Joh Jein
Name: framc fallossice Co Address: 2200 E 11 Mile	Address: 412 Willip
MEDEN MI 4824)	•
Phone Number: SVA SE 2-1202	Phone Number: 248-647-494
Fax Number:	Fax Number:
Email:	Email: J. C. Sein & Smalican
2. *Applicant's Attorney/Gontact Person	Project Designer
Name:	Name:
Address:	Address:
Phone Number:	Phone Number:
Fax Number:	Fax Number:
Email:	Email:
3. Project Information	
Address/Location of Property: 412 Willell	Name of Historic District site is in, if any: STICK NEY HOME
	Date of HDC Approval, if any: ASPLACE MIL THE UNIT Date of Application for Preliminary Site Plan:
Name of Development: Me replacement	Date of Application for Preliminary Site Plan:
l alcel ID #.	Date of Preliminary Site Plan Approval:
Current Use:	Date of Application for Final Site Plan:
Area in Acres:	Date of Final Site Plan Approval:
Current Zoning:	Date of Revised Final Site Plan Approval:
4. Attachments	
 Warranty Deed with legal description of property Authorization from Owner(s) (if applicant is not owner) Completed Checklist 	Six (6) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations
5. Details of the Request for Administrative Approx	val
Pleme day realist	cement of when t As with new unit
110-30-11	7 07 0774
The undersigned states the above information is true and	correct and understands that it is the responsibility of
-	
the applicant to advise the Planning Division and / or Bui	iding Division of any additional changes to the approved
site plan.	
	(RNALEW) Date: 10/4/2017
Signature of Applicant: on one () on the limit of the li	RNALEW) Date: 10/4/2017
	Ise Only
Application #: Date Received: O	/u/17 Fee: (1)
/ . /	M D) D) M M A B A
Date of Approval: 12/17 Date of Denial:	Reviewed by:
T. T	



CONSENT OF PROPERTY OWNER

	TCOLLTONON		, OF THE	STATE OF MICHIGAN	U AND COUNTY	OF
OAKL	-	STATE THE FOLLOW				
1.	That I am the	e owner of real estate loo	cated at 4/2 (WILLITS ST, BIRA	MNGHAM riy)	;
2.	,	read and examined the A	pplication for Ad;	ministrative Approval π	nade to the City of I	Birm in gham by
3.	Birmingham	no objections to, and cordinate $\frac{\sqrt{4}}{\sqrt{17}}$	sent to the reques	JONATHAN Owner's Name (Plea		ne City of
				Owner's Signature	Stor	



CITY OF BIRMINGHAM
Date 11/17/2017 10:34:22 AM
Ref 00143566
Receipt 401275
Amount \$100.00

Administrative Sign Approval Application Planning Division

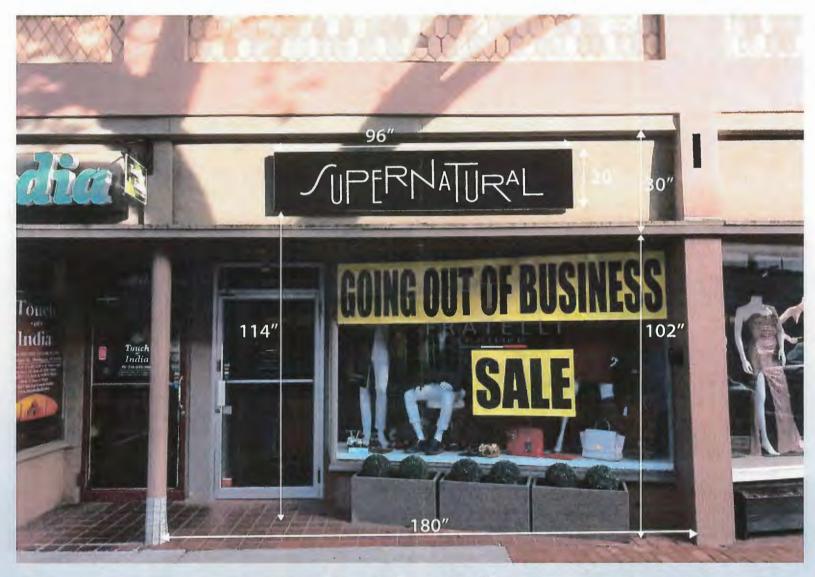
Form will not be processed until it is completely filled out

1. Applicant Name: SUPERNATURAL LINGEFIE Address: 303 E. MAPLE BIRMINGHAM, MI 48009 Phone Number: 248-703-0435 Fax Number:	Property Owner Name: BEDPOS AVEDIAN Address: 303 E. MAPLE BIRM WGHAM, MI 48009 Phone Number: Fax Number: Email:
Email: CAPIE & SUPERNATURALLINGERIE .COM	Email:
2. Applicant's Attorney/Contact Person Name: Address: Phone Number: Fax Number: Email:	Project Designer Name: MATT KPVEGER Address: 4152 W 11 MILE RD. BEFICIEY, MI 48072 Phone Number: 866 - 262 - 2511 Fax Number: 866 - 262 - 2511 / 248 - 808 - 6833 Email: MATT CAKOM-GRAPHICS. COM
3. Project Information Address/Location of Property: 303 E. WAPLE Name of Development: Parcel ID #: Current Use: Area in Acres: Current Zoning: 4. Attachments • Two (2) folded paper copies of plans • Authorization from Owner(s) (if applicant is not owner) • Material Samples/Specification Sheets • Digital Copy of plans	Name of Historic District site is in, if any: Date of HDC Approval, if any: Date of Application for Preliminary Site Plan: Date of Preliminary Site Plan Approval: Date of Application for Final Site Plan: Date of Final Site Plan Approval: Date of Revised Final Site Plan Approval:
5. Details of the Request for Administrative Approx	val
6. Location of Proposed Signs	
7. Type of Sign(s) Wall: Ground: Projecting:	Canopy:Building Name:



CONSENT OF PROPERTY OWNER

[,	Bedros Avedian , (Name of property owner)	F THE STATE OF Michigan AND COUNTY OF
Oa	state the following:	
1.	That I am the owner of real estate located at _	303 East Maple, Birmingham, MI 48009 ; (Address of affected property)
2.	That I have read and examined the Application Supernatural, Inc. (Name of applicant)	n for Administrative Approval made to the City of Birmingham L
3.	That I have no objections to, and consent to the Birmingham.	e request(s) described in the Application made to the City of
	Dated:NOV, 16, 2017	Owner's Name (Please Print)
		Bh / luc Owner's Signature

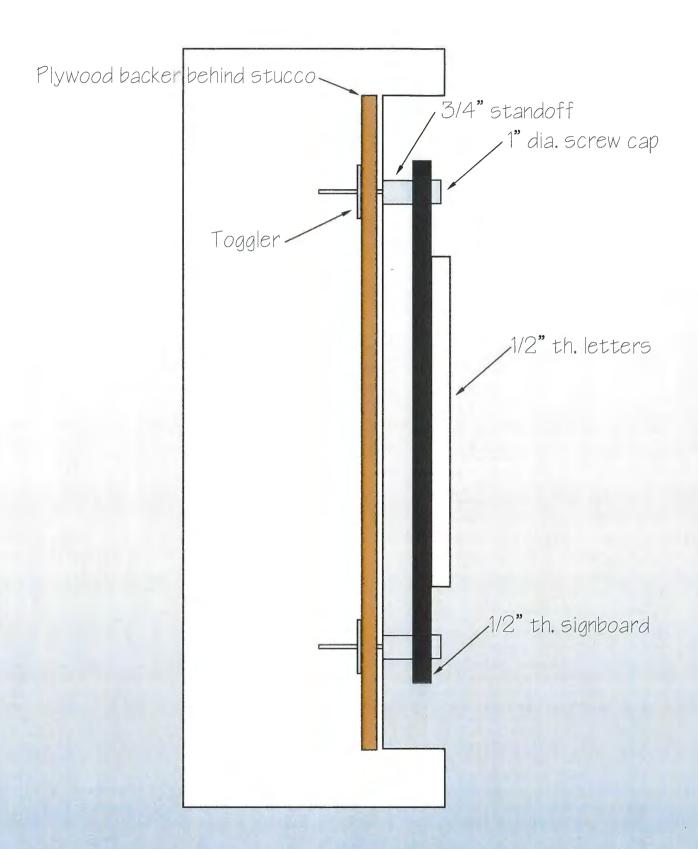


Sign face replacement 20" x 96", w/ 1/2" dimensional letters





















CITY OF BIRMINGHAM Date 12/13/2017 10:40:13 AM Ref 00144029 Receipt 404387 Amount \$100.00

Administrative Approval Application Planning Division

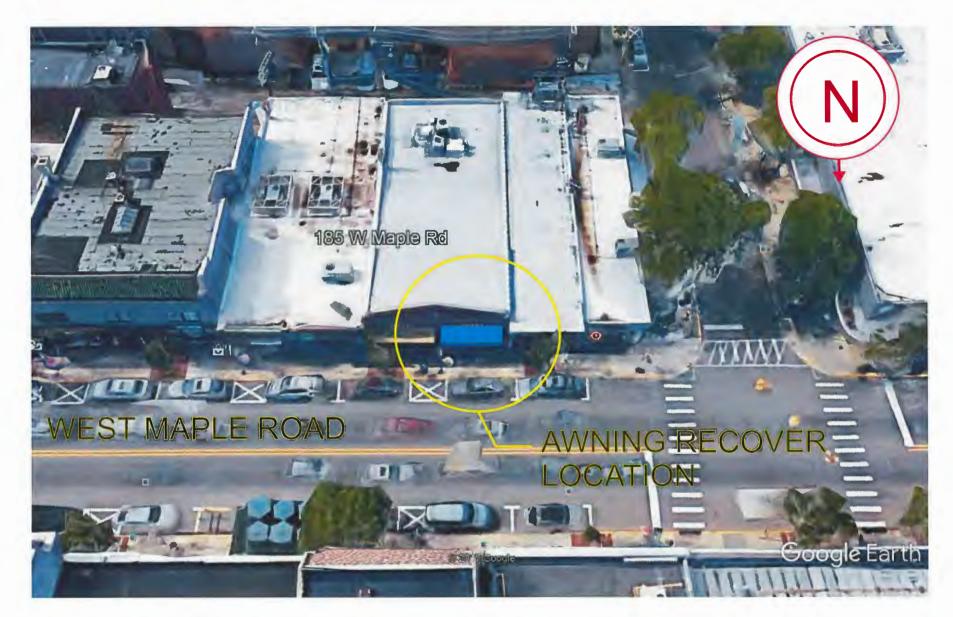
Form will not be processed until it is completely filled out

1. Applicant	Property Owner Name: Richard Sharer
Name: Marygrove Awning Company Address: 12700 Merriman Rd.	Address: 145 W. Maple Pd.
Livonia, MI 48150	
Phone Number: 734-422-7110	Phone Number: 249 - 321 - 7755' Fax Number:
Fax Number: 734-422-3225	Fax Number:
Email: rfalahee@marygrove.com	Email:
Transition of the Jacobs	
2. Applicant's Attorney/Contact Person	Project Designer
Name: Rachel Falahee, Permit Coordinator	Name: Marygrove Awning Company
Address: Marygrove Awning Co	Address: 12700 Merriman Rd.
12700 Merriman Rd, Livonia, MI 48150	Livonia, MI 48150 Phone Number: 734-422-7110
Phone Number: 734-338-7258 direct	
Fax Number: 734-422-0957 direct	Fax Number: 734-422-3225
Email: rfalahee@marygrove.com	Email: rfalahee@marygrove.com
3. Project Information Address/Location of Property: 185 W. Maple Rd.	Name of Historic District site is in, if any: N/A Date of HDC Approval, if any: N/A
Name of Development: Union Barber	Date of Application for Preliminary Site Plan:
Parcel ID#: 08-99-01-940-054	Date of Preliminary Site Plan Approval: Date of Application for Final Site Plan:
Current Use:Area in Acres:	Date of Final Site Plan Approval:
Area in Acres: Current Zoning: B-4 Business-Residential	Date of Revised Final Site Plan Approval:
 Authorization from Owner(s) (if applicant is not owner) Completed Checklist Material Samples Digital Copy of plans Details of the Request for Administrative Approximately approval to re-cover existing awning with new portion only. No structural, framing, nor fastening changes 	fabric and add new business name "Union Barber" to valance
The undersigned states the above information is true and the applicant to advise the Planning Division and / or Buisite plan.	ilding Division of any additional changes to the approved
Signature of Applicant: Pallel File Office	Date: 12 (a) 17
Application #: Date Received: 12	77/17 Fee: \$\\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \
Date of Approval: 12/13/17 Date of Denial:	Reviewed by: M.B.
	DEC 07 2017
	COMMUNITY OF PERMANERAM



CONSENT OF PROPERTY OWNER

I, <u>/</u>	lame of property owner) SHARIER, OF THE STATE OF MICH AND COUNTY OF
PHI.	STATE THE FOLLOWING:
1.	That I am the owner of real estate located at 185 W. Maple Rd.
	(Address of affected property)
2.	That I have read and examined the Application for Administrative Approval made to the City of Birmingham by Marygrove Awning Company (Name of applicant)
3.	That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham. Dated:



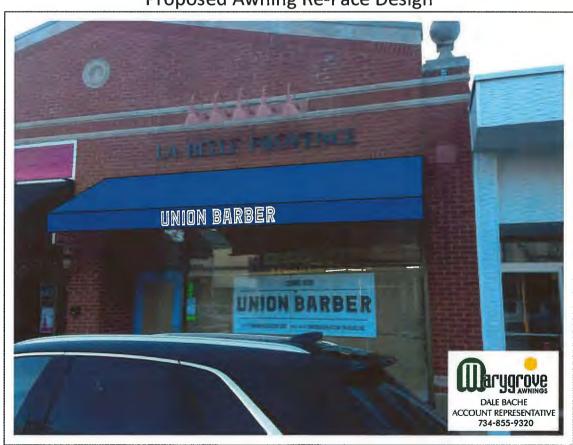


ACCOUNT REPRESENTATIVE DALE BACHE

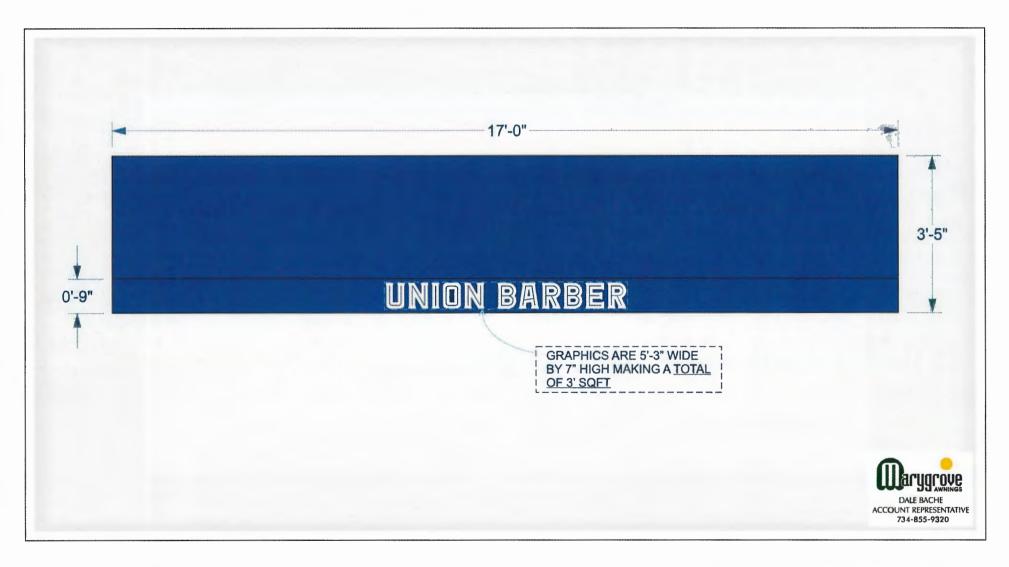
UNION BARBER 185 WEST MAPLE ROAD BIRMINGHAM, MI 48009 11/20/2017



Proposed Awning Re-Face Design



Proposed Sign Area Layout





New Materials to be Used

AWNING FABRIC:

Brand: Sunbrella

Material: 100% Acrylic

Color: Pacific Blue (see swatch attached)

LETTERING:

Brand: Nazdar

Material: Screen Ink

Color: White



9 PM

		CITY OF BIRMINGHAM
		Date 11/14/2017 4:13:4
		Ref 00143505
	C = cD.	KET 00170000
	PCity of B irmingh	am Beceipt 400876
) -	A Walkable Co	Ambunt 100 00
	21 Pitteraute Co	
Administrative Approval A	Application	NOV 1 0 2017
	Application	2017
Planning Division		
	completely filled out	COMMUNITY DEVELOPMENT OF BIRMINGHAM
Form will not be processed until it is	completely filled out	COMMUNITY DEVELOPMENT DEPARTMENT
		THE VELOPMENT DEPARTMENT
1. Applicant	Property O	wner
Name: CHAGTOFHEH LONGE	Name:	324 9. PL) WOODWAND ILC.
Address: 124 EXTODY	Address:	300 HAMILTON GOITE 200
IN MARSHALL	200	HAMINGHAN I ALMA
	WWW.	

Form will not be processed until it is completely filled	I OCIVITATION I A DETAIL OF THE STATE OF THE
1. Applicant	Property Owner
Name: STOTHE VONCE, ALT	Name: 344 9. (1) NODWAY, LC.
Address:	Address: 300 TTAMULTON GUITE 200
HMINGHW MI 42009.	Phone Number: 24 bby 711
Phone Number:	Phone Number: 246, 064, 7777
Fax Number:	Fax Number: 1771
Email: a HANGE C A WINGER F.COM	Email: CINT @ MANSOUPS MITANIES. COM
2 Applicant's Attornov/Contact Person	Project Decianor
Nome: Applicant 5 Attorney/Owntact Ferson	Name: CHANGE ALA
2. Applicant's Attorney/Contact Person Name: John file Arth Address: Contact Person	Address: 24 CANY
SOLUHFIELD, M. 48304	BEMILETAM M 48109.
Phone Number: 246. 363. 0600	Phone Number: 245, 255, 6
Fox Mumbon	Fay Number:
Email: JHENTE @ Ad. com	Email: CV LONGE CALONGENIA COM
3. Project Information	
Address/Location of Property: 35 3.00 NOONATO.	Name of Historic District site is in, if any:
	Date of HDC Approval, if any:
Name of Development:	Date of Application for Preliminary Site Plan:
Parcel ID #: 9.74.205.94	Date of Preliminary Site Plan Approval:
Current Use: VRCANT	Date of Application for Final Site Plan:
Area in Acres: Current Zoning:	Date of Final Site Plan Approval:
Current Zoning:	Date of Revised Final Site Plan Approval:
4. Attachments	
	Two (2) folded copies of plans including an itemized list of all
 Authorization from Owner(s) (if applicant is not owner) 	changes for which administrative approval is requested, with
Completed Checklist	the changes marked in color on all elevations
Material Samples	
Digital Copy of plans	
5 Details of the Decuest for Administrative Approx	1
5. Details of the Request for Administrative Approx	ON TO A DOOL AN NORTH EACASE!
- Marie Canal to Landing A Contained	BLA TO VANDA - NA LINE III THE TANKS.
The undersigned states the above information is true and	
the applicant to advise the Planning Division and / or Buil	ding Division of any additional changes to the approved
site plan.	
Ol land	41
Signature of Applicant:	Date: _\ 4 .\7
	1111.01
Office I	7 01.
	Ise Only
Application #: 170019 Date Received: []	10/157 Fee: 10 100
11/11/19	m n=//
Date of Approval: Date of Denial:	Reviewed by:

13. Loading Required number of loading spaces: none Proposed number of loading spaces: none Location of loading spaces on the site: none 14. Mechanical Equipment **Ground Mounted Mechanical Equipment:** Location of all gournd mounted units: Number of ground mounted units: Size of ground mounted units (LxWxH): Screenwall material: Height of screenwall: **Rooftop Mechanical Equipment:** Number of rooftop units: Location of all ground mounted units: Size of rooftop units (LxWxH): Type of rooftop units: Height of screenwall: Screenwall material: Location of screenwalls: Percentage of rooftop covered by mechanical units: Distance from units to rooftop units to screenwall: 15. Lighting Number of light standards on building: Type of light standards on building: Size of light fixtures (LxWxH): Height from grade: Proposed wattage per fixture: Maximum wattage per fixture: Parking lot lighting: The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan or Special Land Use Permit. The undersigned further states that they have reviewed the procedures and guidelines for site plan review and Special Land Use Permits in Birmingham and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed. lot Mussey Print Name: Clint Mansour]Date: 9/1/2016 Signature of Applicant:

Print Name: Kenny Koza on Behalf of Ent	ity to Be Formed		
Signature of Architect:		Date:	-
Print Name:			
	Office Use Onl	y	
Application #:	Date Received:	Fee:	
Date of Approval:	Date of Denial:	Accepted by:	



Applicant:	off large.	Date: , G , .
Address:_		Project: ACCHI
specification	ons and other applicable requirements of	dministrative approval shall be prepared in accordance with the following the City of Birmingham. If more than one page is used, each page shall be ad of sufficient quality to provide for quality reproduction or recording.
Adminis	trative Approval of Design Char	nges
1.	Name and address of applicant and	proof of ownership;
	Name of Development (if applicable	e);
3.	Address of site and legal description	n of the real estate;
4.	A separate location map;	
5.	Legend and notes, including a graph	nic scale, north point, and date;
6.	A list of all requested design change	es;
7.	Elevation drawings with all requeste	ed design changes marked in color;
9	A list of all new materials to be used	d, including size specifications, color and the name of the manufacturer.
A full site		for which administrative approval is requested shall be drawn at a scale not fit on one 24" X 36" sheet) and shall include:
1.	Name and address of applicant and	proof of ownership;
2.	Name of Development (if applicable	e);
3.	Address of site and legal description	n of the real estate;
4.	Name and address of the land surve	yor;
5.	Legend and notes, including a graph	nic scale, north point, and date;
6.	A separate location map;	
	A map showing the boundary lines eveloped as well as the adjacent land;	of adjacent land and the existing zoning of the area proposed to be
8.	A list of all requested changes to the	e site plan;
9.	All changes requested marked in co	lor on the site plan and on all elevations of any building(s);
		roval of the Preliminary Site Plan, Final Site Plan; Revised Final Site Historic District Committee ("HDC");
1	1. Existing and proposed layout of str	reets, open space and other basic elements of the plan;
1′	Existing and proposed easements	and their nurnose:

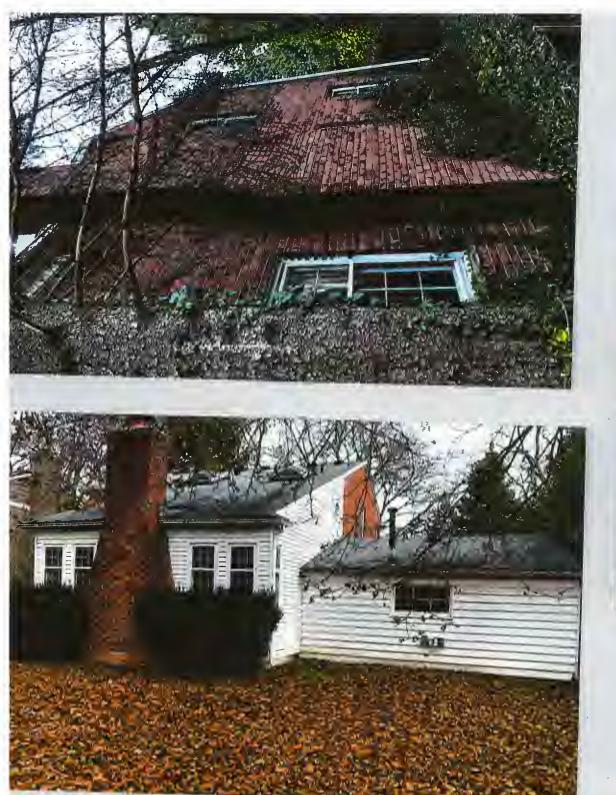




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The for









271 Sot Socrat



24 Jourson





FRONT



1231 CHAR DR.

North SIDE



1231 CEDAR DR.

SIDE VIEW



1231 CECLAR DR.

SIDE VIEW

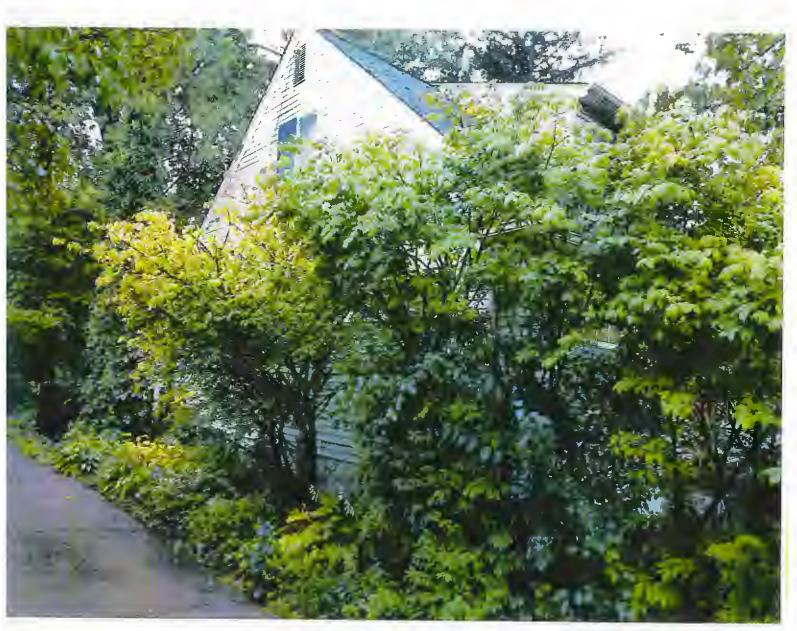


1231 CEDAR Dr.

1735 Henrietta



Front elevation



Left side elevation



Rear elevation



Right side elevation

CITY OF BIRMINGHAM

Community Development - Building Department 151 Martin Street, Birmingham, MI 48009

Community Development: 248-530-1850 / Inspection Line: 248-530-1860

Fax: 248-530-1290 / www.bhamgov.org

Permit # 17-0100

Project #10\$17-0038

APPLICATION FOR DEMOLITION PERMIT

I. Project Type / Location		IF e			
☑ HOUSE ☐ HOUSE AND ATTACHED GARAGE ☑ HOUSE AND DETACHED GARAGE ☐ DETACHED GARAGE ☐ COMMERCIAL BUILDING					
☐ EXTERIOR ☐ INTERIOR NON-LO	DAD BEARING SHED	OTHER			
ADDRESS		PROPERTY IDENTIFICATION N	UMBER (SIDWELL NO.)	LOT NUMBER	
912 Ann 5+ II. Applicant / Project Contact Inform	- 41				
	ation -	,			
A. Applicant		ADDRESS			
Lynaft Custom Homes		T B B A L S G			
CITY	STATE	ZIP CODE	TELEPHONE NUMBER (Include	Area Code)	
CELL PHONE NUMBER (Include Area Code)	FAX NUMBER (Include Area Code)	EMAIL ADDRESS			
B. Owner or Lessee	Punch				
NAME	Lynch				
СІТУ	STAT 238	349 Forest Park Dr Novi, MI 48374	TELEPHONE NUMBER (Include	Area Code)	
CELL PHONE NUMBER (Include Area Code)	FAX NUMBER (Include Area Code)	EMAIL ADDRESS			
2.48 361 8326	1	dara inarte	TO homes	רעי ס	
C. Architect or Engineer					
NAME		ADDRESS		•	
CITY	STATE	ZIP CODE	TELEPHONE NUMBER (Include	Area Code)	
CELL PHONE NUMBER (Include Area Code)	FAX NUMBER (Include Area Code)	EMAIL ADDRESS			
LICENSE NUMBER		1	EXPIRATION DATE		
D. Contractor	-Lynch				
Lyach Custon Homes	Lyran				
CITY	•	Forest Park Dr ——— Novi, MI 48374	TELEPHONE NUMBER (Include	Area Code)	
CELL PHONE NUMBER (Include Area Code)	FAX NUMBER (Include Area Code)	EMAIL ADDRESS	barchanes		
118761 3776 INDIVIDUAL BUILDERS LICENSE NUMBER		Louis Military	EXPIRATION DATE		
2103207313 COMPANY BUILDERS LICENSE NUMBER			5/31/17 EXPIRATION DATE		
2101183687			EXPIRATION DATE		
FEDERAL EMPLOYER ID NUMBER (or reason for	exemplion)		1 2/: 1/1 1		
WORKERS COMP INSURANCE CARRIER (or read	son for exemption)				
UNEMPLOYMENT INSURANCE AGENCY EMPLO	YER ACCOUNT NUMBER (or reason for exemption)			

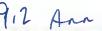














CITY OF BIRMINGHAM

Community Development - Building Department 151 Martin Street, Birmingham, MI 48009

Community Development: 248-530-1850

AMG Inspection Request Site: https://www.accessmygov.com
Fax: 248-530-1290 / www.bhamgov.org

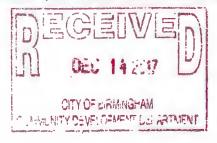


Project #	

Permit # _____

APPLICATION FOR DEMOLITION PERMIT

I. Project Type / Location			
HOUSE HOUSE AND A	TTACHED GARAGE HOUSE AND DETAIL	CHED GARAGE @ DETACH	IED GARAGE COMMERCIAL BUILDING
☐ EXTERIOR ☐ INTERIOR NON-	LOAD BEARING SHED	☐ OTHER	
	coln	PROPERTY IDENTIFICATION	NOWMBER (SIDWELL NO.) LOT NUMBER 1394
II. Applicant / Project Contact Infor	mation		
A. Applicant NAME		LADORESS	
TON MIGUE	114	1949 Ro	chester industrial De possible his
Rachas tex 4115	STATE	1830°	TELEPHONE NUMBER (Include Area Code) 248945178
CELL PHONE NUMBER (Include Area Code)	FAX NUMBER (Include Area Code)	M(S)	ops @ gmarlown
B. Owner or Lessee		1	
TRADE MARK			ter industrial br.
CITY Romester 4/115		ZIP CODE	TELEPHONE NUMBER (Include Area Code) 248 941 5178
CELL PHONE NUMBER (Include Area Code)	FAX NUMBER (Include Area Gode)	EMAIL ADDRESS	grs Ogmallicon
C. Architect or Engineer			
NAME		ADDRESS	
CITY	STATE	ZIP CODE	TELEPHONE NUMBER (Include Area Code)
CELL PHONE NUMBER (Include Area Code)	FAX NUMBER (Include Area Code)	EMAIL ADDRESS	
LICENSE NUMBER			EXPIRATION DATE
D. Contractor			
D. Contractor NAME /	nil	ADDRESS	b (1)
	& Bld coinc		Rochester industria
	HIIS MT	ZIP 90% 309	TELEPHONE NUMBER (Include Area Code)
CELL PHONE NUMBER (Include Area Code)	FAX NUMBER (Inettide Area Code)	M C900	MS A grantleton
INDIVIDUAL BUILDERS LICENSE NUMBER	41		EXPIRATION DATE
COMPANY BUILDERS LICENSE NUMBER 1			expiration date as 3/19
FEDERAL EMPLOYER ID NUMBER (or reason for 1985)	470		
WORKERS COMP INSURANCE CARRIER (OF THE	1		
UNEMPLOYMENT INSURANCE AGENCY EMPL	OYER ACCOUNT NUMBER (or reason for exemp	tion)	
2027621	- 0-00		



708 E. Lincoln







W. Commission

Permit #

CITY OF BIRMINGHAM

Community Development - Building Department 151 Martin Street, Birmingham, MI 48009

Community Development: 248-530-1850
AMG Inspection Request Site: https://www.accessmygov.com

Fax: 248-530-1290 / www.bhamgov.org

APPLICATION FOR DEMOLITION PERMIT

JDF 17-0078

I. Project Type / Location				
HOUSE HOUSE AND AT	TACHED GARAGE	ED GARAGE DETACHED G	GARAGE COMMER	RCIAL BUILDING
☐ EXTERIOR ☐ INTERIOR NON-LI	OAD BEARING SHED	OTHER		
ADDRESS 1963 HOLLAND		PROPERTY IDENTIFICATION NU	MBER (SIDWELL NO.)	LOT NUMBER
II. Applicant / Project Contact Inform	nation			
A. Applicant				
MAPK DIAL/DIA	1 CONTRACTING	ADDRESS 2166 H16H	HELD PD	
WATERFORD	STATE MI	ZIP CODE 48329	TELEPHONE NUMBER (Induc	de Area Code) 0560
CELL PHONE NUMBER (Include Area Code) 248. 990.0560	FAX NUMBER (Include Area Code)	EMAIL ADDRESS DALCONTO	AUTING @ GI	MAIL. COI
B. Owner or Lessee				
NAME CIFERRALI GROUP/	DIAL CONTRACT.	ADDRESS 4249 SW HIE	H MEADOWS	AVE
PALM CITY	STATE FL	ZIP CODE 34990	TELEPHONE NUMBER (Included 772 · 266 ·	
CELL PHONE NUMBER (Include Area Code)	FAX NUMBER (Include Area Code) 772-288-5133	EMAIL ADDRESS	CIFERRIEN	
C. Architect or Engineer			*	
STUDIO 515		628 E. PA	PENT AVE	ST 104
DOYAL OAK	STATE MI	ZIP CODE 48067	748 · 207 · 6	de Area Code)
CELL PHONE NUMBER (Include Area Code)	FAX NUMBER (Include Area Code)	EMAIL ADDRESS	010515116,0	om
LICENSE NUMBER			EXPIRATION DATE	
D. Contractor				
NAME PJCHAPD L	m/LAP Custon Biles	ADDRESS TH	HOPENY BRATE	P-D
FARMINGTON HILLS	CTATE	ZIP CODE 48331	TELEPHONE NUMBER (Include	de Area Code)
CELL PHONE NUMBER (Include Area Code) 248 · 227 · 8644	FAX NUMBER (Include Area Code)	EMAIL ADDRESS	ATT. NET	
individual builders license number 2209776			EXPIRATION DATE 5.31-20	18
COMPANY BUILDERS LICENSE NUMBER			EXPIRATION DATE	
FEDERAL EMPLOYER ID NUMBER (or reason fo	r exemption)			7

Copies of licenses

WORKERS COMP INSURANCE CARRIER (or reason for exemption)

AUTO OWNERS.

UNEMPLOYMENT INSURANCE AGENCY EMPLOYER ACCOUNT NUMBER (or reason for exemption)



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CITY OF BIRMINGHAM

Community Development - Building Department 151 Martin Street, Birmingham, MI 48009

Community Development: 248-530-1850
AMG Inspection Request Site: https://www.accessmygov.com
Fax: 248-530-1290 / www.bhamgov.org

Permit #	
Permit #	

2761-4111

Project #	

APPLICATION FOR DEMOLITION PERMIT

I. Project Type / Location	7,-			
☐ HOUSE ☐ HOUSE AND AT			ouse, Detached Garage	RCIAL BUILDING
☐ EXTERIOR ☐ INTERIOR NON-LO	DAD BEARING SHED			
ADDRESS 2229 Manchester Road		08-20-30-402-03		340
II. Applicant / Project Contact Inform	ation			Year Carlo
A. Applicant			ne y carantasi	
Mark Affer (MSA Home impro			01 S. Adams, Suite #2	
Birmingham	STATE MI	ZIP CODE 48009	TELEPHONE NUMBER (Incl. 586-709-4853)	ide Area Code)
CELL PHONE NUMBER (Include Area Code) 586-709-4853	FAX NUMBER (Include Area Code)	EMAIL ADDRESS MSAConstructionBuilds@gmail.com		
B. Owner or Lessee				
Daniel J. Larin	•	ADDRESS 2229 Manchest	er	
CITY Birmingham	STATE MI	ZIP CODE 48009	TELEPHONE NUMBER (Include Area Code) 248-643-9827	
CELL PHONE NUMBER (Include Area Code) 248-563-6494	FAX NUMBER (Include Area Code) 248-792-9263	EMAIL ADDRESS Larindan@yahoo.com		
C. Architect or Engineer				
Michael Jarman		ADDRESS 1845 Yorkshire		
Birmingham	STATE MI	ZIP CODE 48009	TELEPHONE NUMBER (Ind. 248-229-801	ude Area Code) 4
CELL PHONE NUMBER (Include Area Code) 248-229-8014	FAX NUMBER (Include Area Code)	EMAIL ADDRESS MichaelTJarma	n@gmail.com	
1301034174			EXPIRATION DATE 2/2020	
D. Contractor	**************************************			
MSA Home Improvements, I	nc (Mark Affer)	ADDRESS 801 S. A	dams, Suite #211	
Birmingham	STATE MI	ZIP CODE 48009	TELEPHONE NUMBER (Ind 586-709-4834	
CELL PHONE NUMBER (Include Area Code) 586-709-4834	FAX NUMBER (Include Area Code)	EMAIL ADDRESS MSAConstructionBuilds@gmail.com		
INDIVIDUAL BUILDERS LICENSE NUMBER 2101163602			EXPIRATION DATE 5/31/2020	
COMPANY BUILDERS LICENSE NUMBER 2102176593		EXPIRATION DATE 5/31/2020		
FEDERAL EMPLOYER ID NUMBER (or reason for 37-1507569	exemption)			
WORKERS COMP INSURANCE CARRIER (or rea	son for exemption)			
Farm Bureau Insurance				
UNEMPLOYMENT INSURANCE AGENCY EMPLO	I William Balance	Property in Security and property of the second second		
No employees	I William Balance	31=1111/11-		

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Permit #

CITY OF BIRMINGHAM

Community Development - Building Department 151 Martin Street, Birmingham, MI 48009

Community Development: 248-530-1850 AMG Inspection Request Site: https://www.accessmygov.com

Fax: 248-530-1290 / www.bhamgov.org

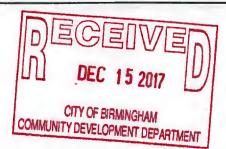
APPLICATION FOR DEMOLITION PERMIT

Project	#
DSF	17-0078

I. Project Type / Location				
HOUSE HOUSE AND ATT	ACHED GARAGE	HED GARAGE DETACHED GA	ARAGE COMMERCIAL BUILD	ING
☐ EXTERIOR ☐ INTERIOR NON-LO	AD BEARING SHED	OTHER	4	
1963 HOLLAND		20-31-177	MBER (SIDWELL NO.) LOT NO.	MBER 62_
II. Applicant / Project Contact Inform	ation			
A. Applicant				
MAPH DIAL DIA	L CONTRACTING		HELD PD	
WATERFORD	STATE MI	2IP CODE 48329	TELEPHONE NUMBER (Include Area Code 248 - 990 - 056 0	e)
CELL PHONE NUMBER (Include Area Code) 248. 990.0560	FAX NUMBER (Include Area Code)	EMAIL ADDRESS DALCONTO	ACTING @ GMAIL	LON
B. Owner or Lessee				
NAME CIFERRI GROUP/	DIAL CONTRACT.		H MEADOWS AVE	5
PALM CITY	STATE FL	ZIP CODE 34990	TELEPHONE NUMBER (Include Area Code 772 · 266 · 713	
CELL PHONE NUMBER (Include Area Code)	FAX NUMBER (Include Area Code) 772 - 288 - 5133	MCIFERPI &	CIFERRIENT. CO	om
C. Architect or Engineer				
STYDIO 515		628 E. PAT	ZENT AVE STI	
POYAL OAK	STATE MI	48067	TELEPHONE NUMBER (Include Area Code 248 · 207 · 6579	e)
CELL PHONE NUMBER (Include Area Code)	FAX NUMBER (include Area Code)	SEFF ESTVE	1051511c.com	
LICENSE NUMBER			EXPIRATION DATE	
D. Contractor				
PACHARD LU	1 LAP Custon Bides	DOUBLESS TH	ORNY BRATE PI	
FARMINGTON HILLS	STÂTE MI	ZIP CODE 4833/	TELEPHONE NUMBER (Include Area Code	e)
CELL PHONE NUMBER (Include Area Code) 248 · 227 · 8644	FAX NUMBER (Include Area Code)	LUM 6849 C		
INDIVIDUAL BUILDERS LICENSE NUMBER 2102209776			EXPIRATION DATE 5.31-2018	
COMPANY BUILDERS LICENSE NUMBER			EXPIRATION DATE	
FEDERAL EMPLOYER ID NUMBER (or reason for	exemption)		1	D
WORKERS COMP INSURANCE CARRIER (or reas	son for exemption)			A)
AUTO OWNER	-5			nn

UNEMPLOYMENT INSURANCE AGENCY EMPLOYER ACCOUNT NUMBER (or reason for exemption)

AUTO



1963 HOLLAND







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CITY OF BIRMINGHAM

Community Development - Building Department 151 Martin Street, Birmingham, MI 48009

Community Development: 248-530-1850
AMG Inspection Request Site: https://www.accessmygov.com
Fax: 248-530-1290 / www.bhamgov.org

Permit #	

2761-4111

Project #	

APPLICATION FOR DEMOLITION PERMIT

I. Project Type / Location	7.2			
☐ HOUSE ☐ HOUSE AND AT	TACHED GARAGE HOUSE AND DETAC	HED GARAGE DETACHED	GARAGE COMME	RCIAL BUILDING
☐ EXTERIOR ☐ INTERIOR NON-L	DAD BEARING SHED	TOTHER HO	ouse, Detached Gara	ge and Driveway
ADDRESS 2229 Manchester Road		08-20-30-402-030		LOT NUMBER 340
II. Applicant / Project Contact Inform	nation		Control Salverse	
A. Applicant			NEW YORK THE WAY	
Mark Affer (MSA Home Impro	ovements, Inc.)	ADDRESS 8	01 S. Adams, Suite #	211
Birmingham	STATE MI	ZIP CODE 48009	TELEPHONE NUMBER (Incl. 586-709-4853)	ude Area Code)
CELL PHONE NUMBER (Include Area Code) 586-709-4853	FAX NUMBER (Include Area Code)	EMAIL ADDRESS MSAConstruction	Builds@gmail.com	
B. Owner or Lessee		•		
NAME Daniel J. Larin	•	ADDRESS 2229 Mancheste	er	
Birmingham	STATE MI	ZIP CODE 48009	TELEPHONE NUMBER (Ind 248-643-982	
CELL PHONE NUMBER (Include Area Code) 248-563-6494	FAX NUMBER (Include Area Code) 248-792-9263	EMAIL ADDRESS Larindan@yahoo.com		
C. Architect or Engineer				
Michael Jarman		ADDRESS 1845 Yorkshire		
Birmingham	STATE MI	ZIP CODE 48009	TELEPHONE NUMBER (Ind 248-229-801	ude Area Code) 4
CELL PHONE NUMBER (Include Area Code) 248-229-8014	FAX NUMBER (Include Area Code)	EMAIL ADDRESS MichaelTJarmar	n@gmail.com	
LICENSE NUMBER 1301034174	···		EXPIRATION DATE 2/2020	
D. Contractor				
MSA Home Improvements, I	nc (Mark Affer)	ADDRESS 801 S. A	dams, Suite #211	
CITY Birmingham	STATE	ZIP CODE 48009	TELEPHONE NUMBER (Ind 586-709-4834	
CELL PHONE NUMBER (Include Area Code) 586-709-4834	FAX NUMBER (Include Area Code)	EMAIL ADDRESS MSAConstructionBuilds@gmail.com		
INDIVIDUAL BUILDERS LICENSE NUMBER 2101163602		EXPIRATION DATE 5/31/2020		
COMPANY BUILDERS LICENSE NUMBER 2102176593			EXPIRATION DATE 5/31/2020	
FEDERAL EMPLOYER ID NUMBER (or reason fo 37-1507569	r exemption)			
WORKERS COMP INSURANCE CARRIER (or re	ason for exemption)			
Farm Bureau Insurance				
UNEMPLOYMENT INSURANCE AGENCY EMPL No employees	OYER ACCOUNT NUMBER (or reason for exempt	Property is because a selection of the second selection of the selection of		
140 cmployees	11-115/0	31=1111/11-0		

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CITY OF BIRMINGHAM

Community Development - Building Department 151 Martin Street, Birmingham, MI 48009

Community Development: 248-530-1850

AMG Inspection Request Site: https://www.accessmygov.com
Fax: 248-530-1290 / www.bhamgov.org

Project #	
-	

Permit # _____

APPLICATION FOR DEMOLITION PERMIT

I. Project Type / Location			
HOUSE HOUSE	AND ATTACHED GARAGE	CHED GARAGE DETACHED GARAGE DCOM	MERCIAL BUILDING
☐ EXTERIOR ☐ INTERIO	OR NON-LOAD BEARING SHED	OTHER	
ADDRESS 815 PUVIT	an	PROPERTY IDENTIFICATION NUMBER (SIDWELL NO.)	25/
II. Applicant / Project Contact	Information		
A. Applicant		ADDRESS 1	
NAME GOKCE DO	nat	ADDRESS 1571 Tottenhan	1
Bloomfield	STATE	ZIP CODE 48301 TELEPHONE NUMBER (Include Area Code) 400313
CELL PHONE NUMBER (Include Area Co		EADONATC (concast.ne
B. Owner or Lessee			
NAME GOKCE I	Sonat	ADDRESS 1571 TOKENT	an
CITY Blown held	STATE MI	ZIP CODE 48301 TELEPHONE NUMBER (Include Area Code) 19003/3
CELL PHONE NUMBER (Include Area C	ode) FAX NUMBER (Include Area Code)	EMAIL ADDRESS EBOWATC	concast. n
C. Architect or Engineer			
NAME CONTINUE +	ASSOCIATES	ADDRESS 1864 Park	Ridel
HOMP!	STATE M	ZIP CODE 48893 TELEPHONE NUMBER (Include Area Odde) 71) 85549
CELL PHONE NUMBER (Include Area C	ode) FAX NUMBER (Include Area Code)	EMAIL ADDRESS VESCES 1 0 A	Ol.Com
LICENSE NUMBER 21	01130189	EXPIRATION DATE	5/31/2000
D. Contractor			
NAME GBD RIS	idences	ADDRESS 1571 tottem	aus
Blomheld	STATE M	ZIP CODE 4830 TELEPHONE NUMBER (Include Area Code)
CELL PHONE NUMBER (Include Area C	ode) FAX NUMBER (Include Area Code)	EMAIL ADDRESS EGDONAT C	concast.ve
INDIVIDUAL BUILDERS LICENSE NUMI	210120891	EXPIRATION DATE 5	131/2020
COMPANY BUILDERS LICENSE NUMB	2107189	U9 EXPIRATION DATE	131/2020
FEDERAL EMPLOYER ID NUMBER (or	reason for exemption)	NO EMPLOMETS	1000
WORKERS COMP INSURANCE CARRIE	ER (or reason for exemption)	11	
UNEMPLOYMENT INSURANCE AGENC	CY EMPLOYER ACCOUNT NUMBER (or reason for exemp		
		NA	



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CITY OF BIRMINGHAM

Community Development - Building Department 151 Martin Street, Birmingham, MI 48009

Community Development: 248-530-1850

AMG Inspection Request Site: https://www.accessmygov.com
Fax: 248-530-1290 / www.bhamgov.org

Project #	ł	

Permit # ____

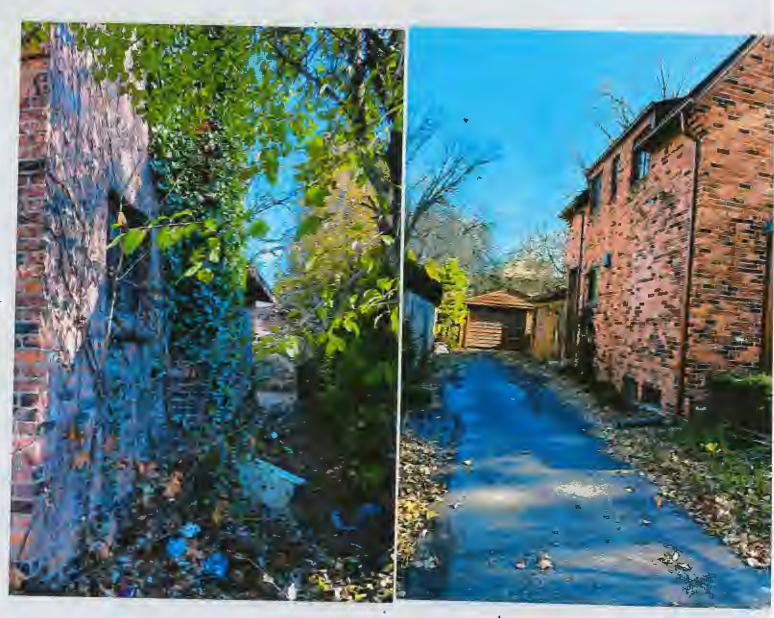
APPLICATION FOR DEMOLITION PERMIT

I. Project Type / Loca	tion				
HOUSE	HOUSE AND ATTAC	HED GARAGE HOUSE AND DETACHE	D GARAGE DETACHED G	ARAGE COMMER	CIAL BUILDING
☐ EXTERIOR	INTERIOR NON-LOAD	BEARING SHED	OTHER		
ADDRESS 452	Suffie	ld	PROPERTY IDENTIFICATION NUM 08-19-26-	MBER (SIDWELL NO.) 453-002	LOT NUMBER
II. Applicant / Project	Contact Informati	on			
A. Applicant			Linguise		
NAME GOKC	e Don			ottenham	
en Blumhe	ld	STATE M	ZIP CODE 48301	TELEPHONE NUMBER (Includ	e Area Code) 00313
CELL PHONE NUMBER (Inch		FAX NUMBER (Include Area Code)	EMAIL ADDRESS EGD	ONAT @ Con	ic ast inet
B. Owner or Lessee			I ADDRESS .		
NAME GOKC	e Dona	at.	ADDRESS		
CITY		STATE (I	ZIP CODE	TELEPHONE NUMBER (Includ	le Area Code)
CELL PHONE NUMBER (Inch	ude Area Code)	FAX NUMBER (Include Area Code)	EMAIL ADDRESS	ş.)	
C. Architect or Engin	eer				
NAME COUTUY	e + 1758	ociates		ark Ridge	
Howell		STATE MI	ZIP CODE 48843	TELEPHONE NUMBER (Included)	le Area Code) 5 SH 9
CELL PHONE NUMBER (Incl. 298 4084		FAX NUMBER (Include Area Code)	EMAIL ADDRESS VES d		om
LICENSE NUMBER	210 113	0189		S/3//20	120
D. Contractor					
	Lesident			Tottenham	
BI om	eld	STATE M	ZIP CODE 48301	J46840	le Area Code)
248840	0313	FAX NUMBER (Include Area Code)	EGDONAT		-net
	120891	9		EXPIRATION DATE 5/3/	2020
COMPANY BUILDERS LICE	12087	69		EXPIRATION DATE S/3/	12020
FEDERAL EMPLOYER ID NU	JMBER (or reason for ex	emption) WA No t	EMPLIYEE S		
WORKERS COMP INSURAN	CE CARRIER (or reason	for exemption)	"		
UNEMPLOYMENT INSURAN	ICE AGENCY EMPLOYE	R ACCOUNT NUMBER (or reason for exemption			
		WIT			





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452 Suffield

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CITY OF BIRMINGHAM

Community Development - Building Department 151 Martin Street, Birmingham, MI 48009

Community Development: 248-530-1850
AMG Inspection Request Site: https://www.accessmygov.com
Fax: 248-530-1290 / www.bhamgov.org

Project #	

APPLICATION FOR DEMOLITION PERMIT

I. Project Type / Location				
☐ HOUSE ☐ HOUSE AND AT	TACHED GARAGE AND DETA	CHED GARAGE DETACE	HED GARAGE COMM	TERCIAL BUILDING
EXTERIOR INTERIOR NON-L	OAD BEARING SHED	☐ OTHER		
ADDRESS 407 Gree	enwood	PROPERTY IDENTIFICATION	ON NUMBER (SIDWELL NO.)	LOT NUMBER
II. Applicant / Project Contact Inform	nation			
A. Applicant				
	(na)	ADDRESS 407 G	reem woul	-
Bi(min, hum	STATE	4800	TELEPHONE NUMBER (Inc. 248-570)	clude Area Code)
CELL PHONE NUMBER (Include Area Code)	FAX NUMBER (Include Area Code)		فالمزر ربا وسدد	
B. Owner or Lessee			-	
Sun e		ADDRESS		
CITY	STATE	ZIP CODE	TELEPHONE NUMBER (Inc	clude Area Code)
CELL PHONE NUMBER (Include Area Code)	FAX NUMBER (Include Area Code)	EMAIL ADDRESS		
C. Architect or Engineer				
NAME		ADDRESS		
СПҮ	STATE	ZIP CODE	TELEPHONE NUMBER (Inc	clude Area Code)
CELL PHONE NUMBER (Include Area Code)	FAX NUMBER (Include Area Code)	EMAIL ADDRESS		·
LICENSE NUMBER	· · · · · · · · · · · · · · · · · · ·		EXPIRATION DATE	
D. Contractor				
Fyirview Cor	state	ADDRESS 1700 W.	DIG BEGVER S	m. Le 120
1100	$I \sim I$	TROOF HROCH	DI DEUVER S DTELEPHONE NUMBER (Inc. 240-602	clude Area Code)
CELL PHONE NUMBER (Include Area Code)	FAX NUMBER (Include Area Code) 246-220-465	EMAIL ADDRESS MICHAEL	Cefuirviewa	
INDIVIDUAL BUILDERS LICENSE NUMBER			EXPIRATION DATE	
COMPANY BUILDERS LICENSE NUMBER 2102062182	_		EXPIRATION DATE	(8
FEDERAL EMPLOYER ID NUMBER (or reason fo				
WORKERS COMP INSURANCE CARRIER (or real	ason for exemption)			-
UNEMPLOYMENT INSURANCE AGENCY EMPLO	OYER ACCOUNT NUMBER (or reason for exems	otion)		

Picture

