

AGENDA
BIRMINGHAM HISTORIC DISTRICT COMMISSION
MUNICIPAL BUILDING-COMMISSION ROOM-151 MARTIN STREET
WEDNESDAY –August 15, 2018
*******7:00 PM*******

- 1) Roll Call
- 2) [Approval of the HDC Minutes of July 18, 2018](#)
- 3) Historic Design Review
 - [277 Pierce – Varsity Shop, request for extension](#)
- 4) Study Session
 - Signage Standards
- 5) Miscellaneous Business and Communication
 - A. Staff Reports
 - [Administrative Approvals](#)
 - Violation Notices
 - [Demolition Applications](#)
 - B. Communications
 - Commissioners Comments
- 6) Adjournment

Notice: Individuals requiring accommodations, such as interpreter services, for effective participation in this meeting should contact the City Clerk's Office at [\(248\) 530-1880](tel:2485301880) at least on day in advance of the public meeting.

Las personas que requieren alojamiento, tales como servicios de interpretación, la participación efectiva en esta reunión deben ponerse en contacto con la Oficina del Secretario Municipal al [\(248\) 530-1880](tel:2485301880) por lo menos el día antes de la reunión pública. (Title VI of the Civil Rights Act of 1964).

A PERSON DESIGNATED WITH THE AUTHORITY TO MAKE DECISIONS MUST BE PRESENT AT THE MEETING.

**BIRMINGHAM HISTORIC DISTRICT COMMISSION
MINUTES OF JULY 18, 2018**

Municipal Building Commission Room
151 Martin, Birmingham, Michigan

Minutes of the regular meeting of the Historic District Commission ("HDC") held Wednesday, July 18, 2018. Chairman John Henke called the meeting to order at 7 p.m.

Present: Chairman John Henke; Board Members Doug Burle, Natalia Dukas, Michael Willoughby

Absent: Board Members Adam Charles, Vice-Chairman Keith Deyer, Thomas Trapnell; Alternate Board Members Kevin Filthaut, Dulce Fuller; Student representatives Grace Donati, Ava Wells

Administration: Matthew Baka, Sr. Planner
Carole Salutes, Recording Secretary

07-24-18

**APPROVAL OF MINUTES
HDC Minutes of May 16, 2018**

Motion by Mr. Willoughby

Seconded by Ms. Dukas to approve the Minutes of the Historic District Committee meeting of May 16, 2018 as presented.

Motion carried, 4-0.

VOICE VOTE

Yeas: Willoughby, Burley, Dukas, Henke

Nays: None

Absent: Deyer, Trapnell, Charles

Chairman Henke cautioned the petitioner that four affirmative votes are needed to pass a motion. Since only four of the seven board members were in attendance, he could postpone his hearing to the next meeting when a more complete board might be present. He agreed to go forward this evening.

Further, the Chairman disclosed that he and Mr. Heller had a legal interaction with their respective clients many years ago. He offered to recuse himself, but then there would not be a quorum and Mr. Heller would have to come back in two weeks. Mr. Heller elected to continue.

07-25-18

HISTORIC DESIGN REVIEW
251 E. Merrill
Merrillwood Building
Downtown Birmingham Historic District

Zoning: B-4 Business Residential

Proposal: The applicant is proposing to renovate the entranceways to both the residential and commercial portions of the building along E. Merrill as well as the entrance to the underground parking area. The proposal also calls for new awnings above the second floor windows. However, the color of the second floor awnings was not provided.

Commercial Entrance: The applicant is proposing to demolish the existing three brick archways and canopy that characterize the current entryway. The applicant proposes to replace it with new limestone cladding. At the top of the limestone cladding the proposal calls for an E.F.I.S. entablature across the width of the limestone. A steel and glass canopy assembly is proposed with tie back supports connected to the building and new aluminum and glass door and window assembly. The applicant has not provided the color of the new window systems.

Residential Entrance: The applicant is proposing to demolish the existing rounded green canopy and remove the window and door system. The applicant proposes to replace it with limestone cladding and a flat roofed steel canopy assembly with tie back supports connected to the building above the canopy. New aluminum and glass windows and door system are proposed to be installed. The applicant has not provided the color of the new window system.

Garage Entrance: The applicant proposes to add limestone columns on each side of the entranceway and an E.F.I.S. entablature across the top of the entrance to match the commercial entrance.

Signage: No new signage is proposed at this time.

Illumination: The applicant is proposing two wall mounted light fixtures to flank the commercial entrance. The specifications for the lights have not been provided.

Mr. Ben Heller, Heller & Associates, passed around pictures of the proposal.

They are only changing the entrance to the garage, the entrance to the apartments, and the entrance to the mall. The plan is to add black canvas awnings above the second-floor windows and to group the windows in three's in

order to get a nice horizontal linear line. He proposes to let the copper awnings patina because they are going with darker window frames and a classic look. A sample of the black Sunbrella awning material was passed around.

Chairman Henke thought the changes in the design help the building a lot by pulling it together. Mr. Heller said their goal is to be classic and timeless.

The Chairman noted that in order to keep the record clean, specs are needed for the glazing and the window and door system.

Motion by Mr. Willoughby

Seconded by Mr. Burley to approve the Historic Design Review for 251 E. Merrill with the following conditions:

- 1. The applicant provide dimensioned spec sheets for the new light fixtures;**
- 2. The applicant provide the specs and color of the new window system and door glazing.**

VOICE VOTE

Yeas: Willoughby, Burley, Dukas, Henke

Nays: None

Absent: Deyer, Trapnell, Charles

Motion carried, 4-0.

07-25-18

MISCELLANEOUS BUSINESS AND COMMUNICATIONS

A. Staff Reports

-- Administrative Approvals

- 180 Pierce, The Residences at 180 Pierce -
 - o Remove existing stone and asphalt from front walk
 - o Install new granite pavers with thermal finish to extend from front door to curb and align with existing overhang
 - o New exterior doors and transom windows to be painted black
 - o New custom granite planters with drip line irrigation
 - o New hose bibb
 - o New custom sign
 - o New resident call box
 - o New resident key pad
 - o New custom rug at door
 - o New exterior sconces to replace existing
 - o Paint existing overhang
 - o New address plaque on overhang

- o New LED Halo recessed fixtures to replace existing recessed fixtures in overhang (same location)
- 539 S. Bates, SF residence - Request approval for all items listed including the landscape plan and four changes to the original approval -
 1. Landscape Plan: At the time 539 S. Bates received administrative approval for the current design, the landscaping was deferred. The landscape plan is attached.
 2. A generator is being substituted for one of the 3 AC condensers that were indicated on the site plan.
 3. Steps to the north end of the front porch have been submitted to the HDC and not included in this administrative request.
 4. Front yard access from the screened porch will be provided by new doors in two screen bays. Currently, the screened porch has no direct access to the yard. Manufacturer is Sunspace Sunrooms vertical 4-track system, Aluminum frames, color: bronze, as originally proposed.
 5. Relocation of three windows from their original positions in the historic resource have been submitted to the HDC and not included in this administrative request.
- 325 S. Old Woodward Ave. - 1) Mechanical screenwall; 2) Paint color for building.
- 535 W. Merrill St.- Replacement of windows on east and west side of house using same windows as on front of house that were replaced last.
- 556 W. Maple Rd., Museum - Replacement of existing deteriorated sign with (non-permanent) updated sign to identify museum by new name. A permanent sign to be designed and installed within six to twelve months as part of landscape design for Heritage Zone Area around Allen House as implementation of new Master Landscape Conceptual Plan over existing front lawn of Allen House.
- Demolition Applications
 - 1585 Holland
 - 1055 Larchlea
 - 939 Hazel
 - 771 Davis
 - 851 S. Glenhurst

B. Communications

- Commissioners' Comments

- Chairman Henke said with respect to 607 Bates, the Major Jones House, that the siding Mr. Finnicum said was removed from the house can't be seen from the street. Mr. Baka replied they sent Code Enforcement out to check, and Templeton Building workers took him in the back and showed him a big pile of siding under a tarp.

07-26-18

ADJOURNMENT

No further business being evident, the Commissioners motioned to adjourn the meeting at 8:35 p.m.

Matthew Baka
Sr. Planner



MEMORANDUM

Planning Division

DATE: August 9, 2018

TO: Historic District Commission

FROM: Matthew Baka, Senior Planner

SUBJECT: 277 Pierce – Former Varsity Shop Building
Request for Historic Design Review Extension

On July 19, 2017, the above-captioned property was granted Historic Design Review approval to construct a new five story mixed use building by the Historic District Commission. This project was also approved by the Planning Board as it is located in the Central Business Historic District.

The Zoning Ordinance provides that a Design Review is valid for one year from the date of approval. Accordingly, on July 19, 2018, the applicant requested an extension of the Historic Design Review for 277 Pierce for one year, as they require additional time to obtain tenants to occupy the new building. A copy of their request is attached for your review.

On July 25, 2018, the Planning Board granted a site plan extension of six months, with the following conditions:

- Applicant agrees to immediately register the existing building as a vacant building with the Building Department; and
- Applicant also obtain an approval for an extension of the Historic Design approval from the Historic District Commission.

Accordingly, the applicant is now requesting a design review extension for the historic design review by the Historic District Commission.

The Planning Division recommends granting a six-month extension to be consistent with the decision of Planning Board.

CITY OF BIRMINGHAM
REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, JULY 25, 2018
City Commission Room

151 Martin Street, Birmingham, Michigan

Minutes of the regular meeting of the City of Birmingham Planning Board held on July 25, 2018. Chairman Scott Clein convened the meeting at 7:30 p.m.

Present: Chairman Scott Clein; Board Members Robin Boyle, Bert Koseck, Janelle Whipple-Boyce, Bryan Williams; Alternate Board Members Jason Emerine, Nasseem Ramin; Student Representative Ellie McElroy (arrived at 7:42 p.m.)

Absent: Board Members Stuart Jeffares, Daniel Share; Student Representatives Madison Dominato, Sam Fogel

Administration: Matthew Baka, Sr. Planner
Brooks Cowan, Planner
Jana Ecker, Planning Director
Carole Salutes, Recording Secretary

07-131-18

EXTENSION OF APPROVED SITE PLAN

1. 277 Pierce (former Varsity Shop Building)

Request to extend the approved Final Site Plan which will expire on August 23, 2018

Ms. Ecker recalled that on August 23, 2017, the above-captioned property was granted Final Site Plan and Design Review approval by the Planning Board to construct a new five-story mixed-use building. This project was also approved by the Historic District Commission as it is located in the Central Business Historic District.

The Zoning Ordinance provides that a site plan is valid for one year from the date of approval. Accordingly, the applicant is requesting an extension of the site plan for 277 Pierce, as they require additional time to obtain tenants to occupy the new building.

Given the fact that the existing building has not been demolished at this time, the Planning Division recommends that should the Planning Board grant a site plan extension, the following conditions be added:

- Applicant agrees to immediately register the existing building as a vacant building with the Building Dept; and

- Applicant also obtain an approval for an extension of the Historic Design approval from the Historic District Commission.

Ms. Eavan Yaldo, Saroki Architecture, was present on behalf of Kajoian Management. She explained that with the conditions of the five-story mixed-use in the D-4 Overlay Zoning they are looking at retail components for the first and second floors. They are trying to get a two-story retailer if possible.

Discussion among the board members followed as to how long the extension should be.

Motion by Mr. Koseck

Seconded by Mr. Williams that the extension of the site plan for 277 Pierce should be to February 23, 2019, which is six months from the original approval's expiration date of August 23, 2018, with the following conditions:

- **Applicant agrees to immediately register the existing building as a vacant building with the Building Department; and**
- **Applicant also obtain an approval for an extension of the Historic Design approval from the Historic District Commission.**

There were no public comments at 7:40 p.m.

Motion carried, 7-0.

VOICE VOTE

Yeas: Koseck, Williams, Boyle, Klein, Emerine, Ramin, Whipple-Boyce

Nays: None

Absent: Jeffares, Share

KOJAIAN MANAGEMENT CORPORATION
39400 WOODWARD AVENUE
SUITE 250
BLOOMFIELD HILLS, MICHIGAN 48304-5155
(248) 644-7600
(248) 644-7630 FAX



July 19, 2018

Ms. Jana Ecker
City of Birmingham
151 Martin Street
PO Box 3001
Birmingham, MI 48012

RE: 277 Pierce

Dear Jana:

I hope you are well. I apologize but I will not be able to be in attendance on Wednesday night at the Planning Commission meeting as I will be out of town. The reason for requesting the extension is that we are trying to secure tenants for the building who comply with the zoning requirements for the use. Please allow Victor Saroki and/or Eavan Yaldo to act as our Owner's representative.

Thank you in advance for your consideration.

Sincerely,

KOJAIAN MANAGEMENT CORPORATION

A handwritten signature in blue ink, appearing to read "Anthony G. Antone", written over the printed name.

Anthony G. Antone, Esq.
Executive Vice President

AGA/amt

Cc: Victor Saroki
Eavan Yaldo

KOJAIAN MIXED-USE

277 Pierce Street
Birmingham, MI 48009

Owner:
Kojaian Management Corporation
39400 Woodward Avenue, Suite 250
Bloomfield Hills, MI 48304
T: 248.644.7600
Contact: Tony Antone

Architect:
Saroki Architecture
430 N. Old Woodward Avenue, Suite 300
Birmingham, MI 48009
T: 248.258.5707
Contact: Victor Saroki, FAIA

Civil Engineer:
PEA
2430 Rochester Court, Suite 100
Troy, MI 48083
T: 248.689.9090
Contact: James P. Butler, PE

Zoning Information:
Zoning District: B-4, D-4 Overlay
Zoning of Adjacent Properties: B-4 (North), PP (South), B-4 (East), PP (West)

Site Area: 0.111 Acres

Setbacks:	Required:	Proposed:
Front Yard Setback:	0 Feet (Frontage Line)	0 Feet
Side Yard Setback:	0 Feet	0 Feet
Rear Yard Setback:	10 Feet minimum from midpoint of alley or equal to that of an adjacent preexisting building	10 Feet

Building Height:	Max. Allowable:	Proposed:
Stories	5	5
Eave Height	58'-0" Feet	55'-6"
Building Height	Variable of height & setback	69'-0"
Total Height	80'-0" Feet (including mechanical screen)	75'-0" (including mechanical screen)

Building Area:	
Lower Level:	4,800 G.S.F.
First Level:	4,600 G.S.F. (includes garage)
Second Level:	4,800 G.S.F.
Third Level:	4,800 G.S.F.
Fourth Level:	4,800 G.S.F.
Fifth Level:	3,200 G.S.F.
Total Building Area:	27,000 G.S.F.

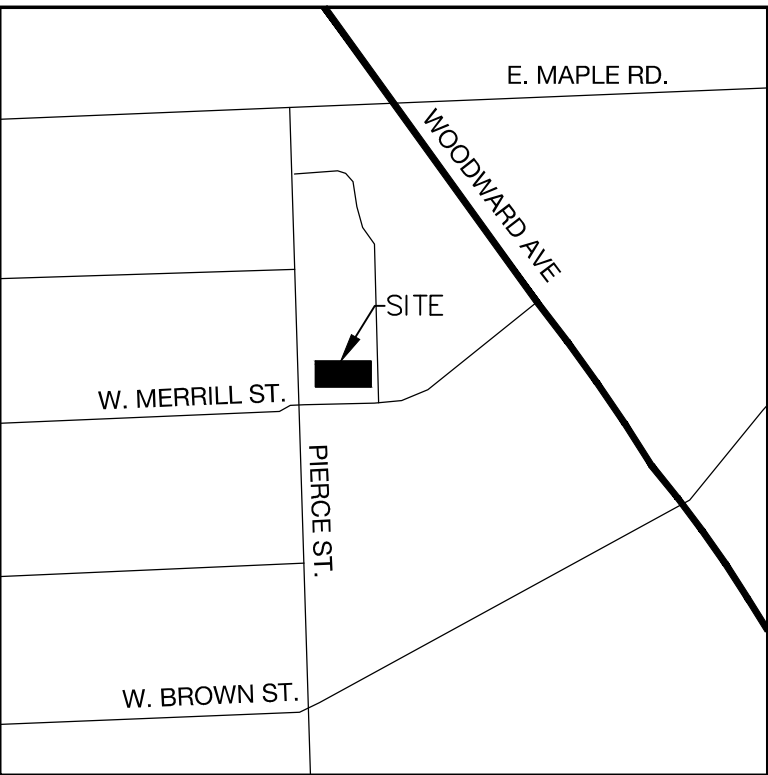
Parking:
Commercial: None Required, None Provided (Downtown Parking Assessment District)
Residential: Two (2) parking spaces have been provided for the Residential Unit

Loading: 2 Required, 1 Provided (Allowable reduction of 1 loading space at alley - Section 4.24,C,2)

Landscape Requirements: Per City of Birmingham Streetscape Standards (Existing to remain or be replaced)

Occupant Load:	Use:	Calculation:	Occupants:
Lower Level:	Storage / Mechanical	3,826 G.S.F. / 300 G.S.F. =	13
First Level:	Mercantile	2,867 G.S.F. / 60 G.S.F. =	48
	Business Areas	145 G.S.F. / 100 G.S.F. =	2
Second Level:	Business Areas	3,800 G.S.F. / 100 G.S.F. =	38
Third Level:	Business Areas	3,800 G.S.F. / 100 G.S.F. =	38
Fourth Level:	Business Areas	3,800 G.S.F. / 100 G.S.F. =	38
Fifth Level:	Residential	2,522 G.S.F. / 200 G.S.F. =	13
Total Occupant Load			190

Glazing Calculations:
See Sheet 204 & 205 for glazing calculations



Location Map
Not to Scale

Drawing Index:		09-10-2017: PRELIMINARY SITE PLAN REVIEW 06-28-2017: HDC & FINAL SITE PLAN REVIEW											
<div><div></div> DRAWING ISSUED</div> <div><div></div> DRAWING ISSUED FOR REFERENCE ONLY</div> <div><div></div> DRAWING NOT ISSUED</div>													
GENERAL													
G000	COVER SHEET & DRAWING INDEX												
CIVIL													
C-1.0	TOPOGRAPHIC SURVEY												
C-3.0	SITE PLAN												
C-6.0	PRELIMINARY UTILITY PLAN												
C-8.1	NOTES AND DETAILS												
ARCHITECTURAL													
A010	ARCHITECTURAL SITE PLAN												
A100	LOWER LEVEL FLOOR PLAN												
A110	FIRST LEVEL FLOOR PLAN												
A120	SECOND LEVEL FLOOR PLAN												
A130	THIRD LEVEL FLOOR PLAN												
A140	FOURTH LEVEL FLOOR PLAN												
A150	FIFTH LEVEL FLOOR PLAN												
A160	ROOF PLAN												
A200	EXTERIOR ELEVATIONS												
A201	EXTERIOR ELEVATIONS												
A202	EXTERIOR ELEVATIONS												
A203	EXTERIOR ELEVATIONS												
A204	GLAZING CALCULATIONS												
A205	GLAZING CALCULATIONS												
A210	3D VIEWS												
A211	3D VIEWS												
A212	3D VIEWS												
A213	3D VIEWS												
A214	3D VIEWS												

Approvals:
City of Birmingham Planning Commission
(Preliminary Site Plan & CIS Approval - May 24, 2017)

SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Kojaian Mixed-Use
277 Pierce
Birmingham, Michigan 48009

Date:	Issued For:
09-10-2017	PRELIMINARY SITE PLAN REVIEW
06-28-2017	HDC & FINAL SITE PLAN REVIEW

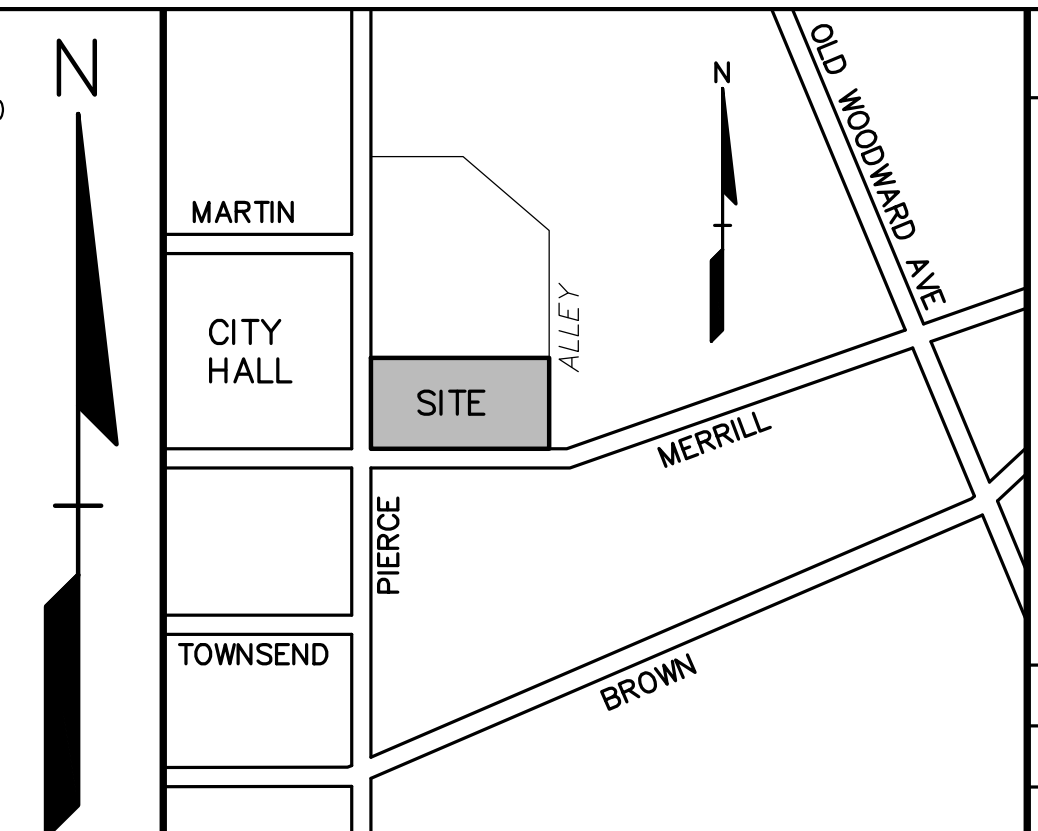
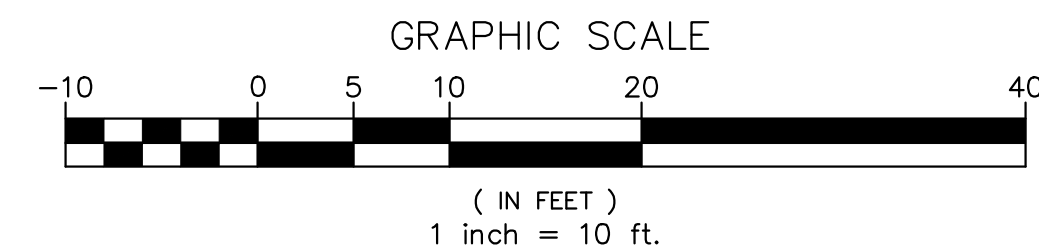
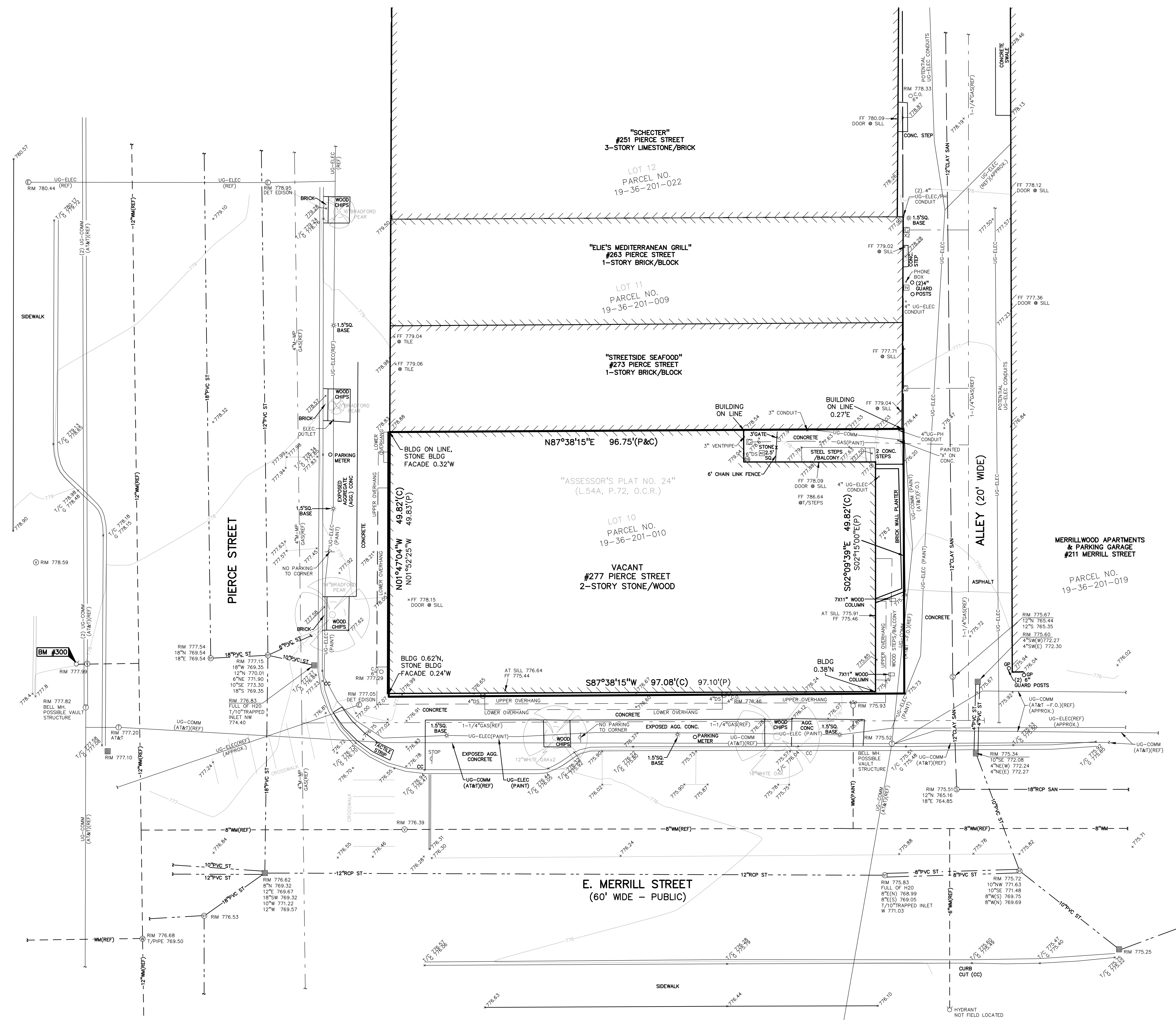
Sheet No.:

G000
COVER SHEET &
DRAWING INDEX

BENCHMARKS
(GPS DERIVED - NAVD88)

BW #300
ARROW ON HYDRANT LOCATED APPROX. 5'± WEST OF THE CURB ON THE WEST SIDE OF PIERCE STREET AND APPROX. 47'± FROM THE INTERSECTION OF PIERCE STREET & MERRILL STREET.
ELEV. - 780.56

THE LAND REFERRED TO IN THIS COMMITMENT IS SITUATED IN THE CITY OF BIRMINGHAM, COUNTY OF OAKLAND COUNTY, STATE OF MICHIGAN, AS FOLLOWS:

[illegible]

LOCATION MAP - NOT TO SCALE

LEGEND

- IRON FOUND ☒ BRASS PLUG SET ● SEC. CORNER FOUND
 ☒ IRON SET ● MONUMENT FOUND R RECORDED
 ● NAIL FOUND ☒ MONUMENT SET M MEASURED
 ☒ NAIL & CAP SET C CALCULATED

- | EXISTING | |
|----------|--|
| | ELEC., PHONE OR CABLE TV: O.H. LINE, POLE & GUY WIRE |
| | UNDERGROUND CABLE TV, CTV PEDESTAL |
| | TELEPHONE U.Y. CABLE, PEDESTAL & MANHOLE |
| | ELECTRIC U.Y. CABLE, MANHOLE, METER & HANDHOLE |
| | GAS MAIN, VALVE & GAS LINE WARDER |
| | WATERMAIN, HYDR., GATE VALVE, TAPPING SLEEVE & VALVE |
| | SANITARY SEWER, CLEANOUT & MANHOLE |
| | STORM SEWER, CLEANOUT & MANHOLE |
| | COMBINED SEWER & MANHOLE |
| | SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN |
| | WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHAFT |
| | MANHOLE, MANHOLE RISER, IRRIGATION CONTROL, VALVE |
| | UNIDENTIFIED STRUCTURE |
| | SPOT ELEVATION |
| | CONTOUR LINE |
| | FENCE |
| | GUARD RAIL |
| | STREET LIGHT |
| | SIGN |
| | CONCRETE |
| | ASPHALT |

REFERENCE DRAWINGS

- | | |
|----------------|---|
| WATER MAIN | CITY OF BIRMINGHAM ON-LINE GIS MAP |
| SANITARY SEWER | CITY OF BIRMINGHAM ON-LINE GIS MAP |
| STORM SEWER | CITY OF BIRMINGHAM ON-LINE GIS MAP |
| ELECTRIC | DTE ELECTRIC FACILITY MAP #301-382, DATED 10/24/2016
DTE CONDUIT MAP BLM 99-1 |
| TELEPHONE | GAS MAP SKETCH DATED 4/5/93 |
| GAS | 18&T MAP DATED 10/11/16
CONSUMERS ENERGY QUARTER SECTION MAP 02-60-36-1,
DATED 07-31-16 |

EXISTING UTILITY NOTE:
UTILITY LOCATIONS SHOWN ON THIS PLAN ARE BASED ON
SURVEYED LOCATIONS AND ELEVATIONS WHERE POSSIBLE. OTHER
UTILITY LOCATIONS ARE SHOWN BASED ON AVAILABLE
REFERENCE PLANS (REF) AND/OR MISS DIG LOCATIONS (PAINT).
THE CONTRACTOR IS RESPONSIBLE TO VERIFY UTILITY LOCATIONS
PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE
OWNER OF ANY DISCREPANCIES AS SOON AS POSSIBLE.

CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

THIS DRAWING AND DESIGN ARE THE PROPERTY OF
PEA, INC. THEY ARE SUBMITTED ON THE CONDITION
THAT THEY ARE NOT TO BE USED, REPRODUCED, OR
COPIED, IN WHOLE OR IN PART, OR USED FOR
FURNISHING INFORMATION TO OTHERS, WITHOUT THE
PRIOR WRITTEN CONSENT OF PEA, INC. ALL COMMON
LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE
HEREBY SPECIFICALLY RESERVED. © 2017 PEA, INC.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR ALL SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO ANY PART OF THE PROJECT. AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

**3 FULL WORKING DAYS
BEFORE YOU DIG CALL**

811
Know what's below
Call before you dig
MISS DIG System, Inc.

1-800-482-7171 www.missdig.net
(TOLL FREE)



PEA, Inc.
2430 Rochester Ct, Ste 100
Troy, MI 48063-1872
t: 248.689.9090
f: 248.689.1044
www.peainc.com

KOJAAN MANAGEMENT COMPANY
 39400 WOODWARD AVENUE, SUITE #1250
 BLOOMFIELD HILLS, MICHIGAN 48304
TOPOGRAPHIC SURVEY
277 PIERCE AVENUE
 PART OF THE NE 1/4 OF SECTION 36, T2N, R10E
 CITY OF BIRMINGHAM, OKLAHOMA COUNTY, MICHIGAN, 48009
 DES. PB DN PB SUR KTR P.M. JPB
 U.S. PROSPECTS 2016/2016-277 PIERCE (WEST) (C-101945-16279)Aug

ORIGINAL ISSUE DATE:
MARCH 10, 2017

PEA JOB NO. 2016-279

SCALE: 1" = 10'

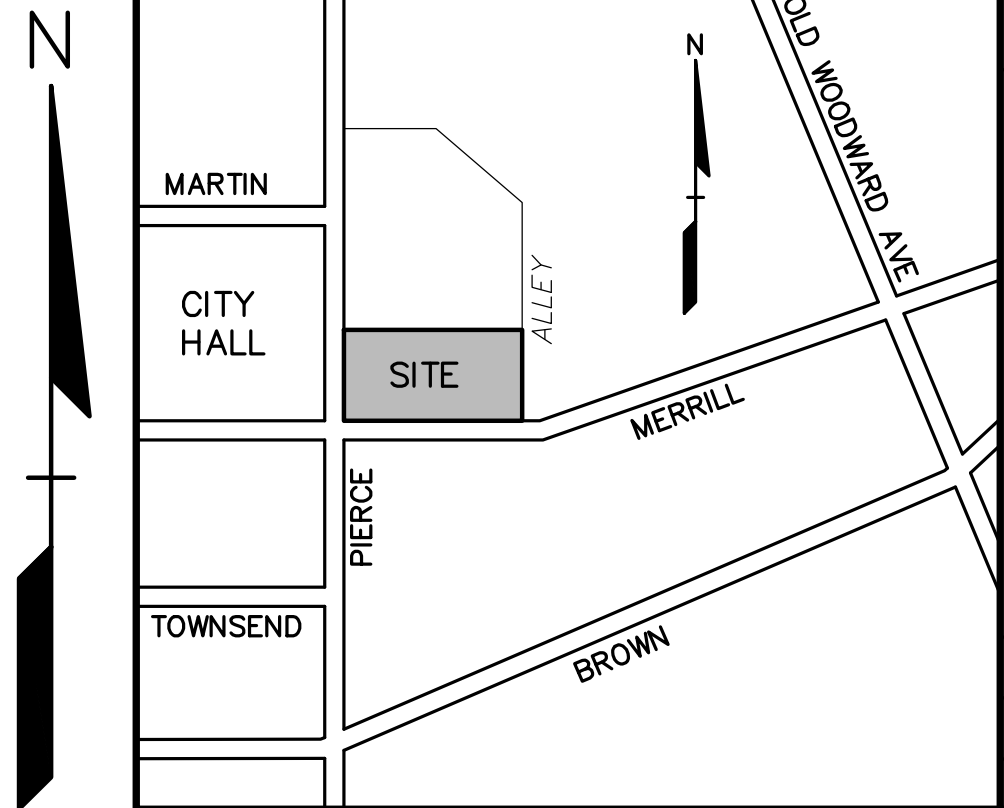
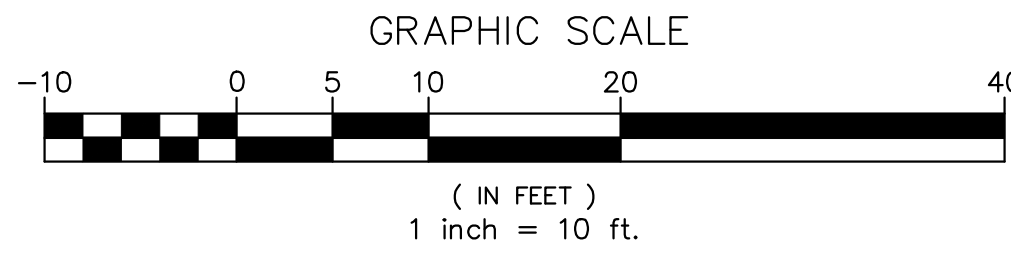
DRAWING NUMBER:
C-1.0

NOT FOR CONSTRUCTION XREF: S:\PROJECTS\2016\2016279\DWG\16279-TOPBASE.DWG
XREF: S:\PROJECTS\2016\2016279\DWG\SITE PLAN\CBASE-16279.DWG
XREF: S:\PROJECTS\2016\2016279\DWG\SITE PLAN\TLK-16279.DWG

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X'. AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125005377, DATED SEPTEMBER 28, 2006.

BENCHMARKS
(GPS DERIVED - NAVD88)

BM #300
ARROW ON HYDRANT LOCATED APPROX. 5'± WEST OF THE CURB ON THE WEST SIDE OF PIERCE STREET AND APPROX. 47'± FROM THE INTERSECTION OF PIERCE STREET & MERRILL STREET.
ELEV. - 780.56



NO.	BY	CHK	DESCRIPTION	DATE
1	JPB	JPB	DESIGNED PREL CITY REVIEW COMMENTS	06/29/17
2	JPB	JPB	PRELIMINARY SITE PLAN REVIEW	03/10/17

CITY OF BIRMINGHAM
STORM WATER RUNOFF CONTROL

Project Location: 277 Pierce Street (at Merrill Street)
Designed by: Paul Bater, PEA

Permit No. _____
Date: _____

	(A) Exist. *	(B) Proposed	
(1) Affected Area	0.111	0.111	acres
(2) Area of Impervious Surface	0.111	0.111	acres
(3) Percent Impervious	100	100	%
(4) Runoff Factor	2.40	2.40	cfs/acre
(5) Unrestricted Runoff Rate	0.266	0.266	cfs
(6) Maximum Permitted Runoff Rate	-	0.266	cfs
(7) Uncontrolled Runoff Area	-	-	acres
(8) Area of Impervious Surfaces - Uncontrolled Runoff Area	-	-	acres
(9) Runoff Factor - Uncontrolled Runoff Area	-	-	%
(10) Runoff Factor - Uncontrolled Runoff Area	-	-	cfs/acre
(11) Runoff Rate - Uncontrolled Runoff Area	-	-	cfs
(12) Maximum Permitted Runoff Rate via Sewer Service Connection	-	-	cfs
(13) Runoff Rate per Acre	-	-	cfs/acre
(14) Required Storage per Acre	-	-	cu.ft./acre
(15) Required Storage for Parcel	-	-	cu.ft.
(16) Design Storage	-	-	cu.ft.
(17) Design Outlet Capacity to Sewer Service	-	-	cfs

PROPOSED DESIGN

Approved by: _____
City Engineer

* Existing Prior to Re-Development

NOTE:
BASED ON THE CITY OF BIRMINGHAM STORM WATER DETENTION WORKSHEET, THIS SITE WILL NOT REQUIRE STORM WATER DETENTION AS THE POST-DEVELOPMENT RUNOFF RATE WILL BE THE SAME AS THE EXISTING RUNOFF RATE.

LEGEND

● IRON FOUND
✕ IRON SET
● NAIL FOUND
✕ NAIL & CAP SET

● BRASS PLUG SET
● MONUMENT FOUND
● MONUMENT SET

● SEC. CORNER FOUND
R RECORDED
M MEASURED
C CALCULATED

EXISTING
-OH-ELEC-W- O ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
-UG-CATV- UG UNDERGROUND CABLE TV, CATV PEDESTAL
-UG-PHONE- UG TELEPHONE U.S. CABLE, PEDESTAL & MANHOLE
-UG-ELEC- UG ELECTRIC U.S. CABLE, MANHOLE, METER & MANHOLE
-GAS- GAS MAIN, VALVE & GAS LINE MARKER
-WATER- WATERMAIN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE
-SEWER- COMBINED SEWER, CLEANOUT & MANHOLE
-STORM- STORM SEWER, CLEANOUT & MANHOLE
-SINK- SINK, BATH, WASH, CATCH BASIN, YARD DRAIN
-WATER- WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
-MAIL- MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
-UNIDENT- UNIDENTIFIED STRUCTURE
-SPOT- SPOT ELEVATION
-CONTOUR- CONTOUR LINE
-FENCE- FENCE
-GUARD- GUARD RAIL
-STREET- STREET LIGHT
-SIGN- SIGN

PROPOSED
-OH-ELEC-W- O ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
-UG-CATV- UG UNDERGROUND CABLE TV, CATV PEDESTAL
-UG-PHONE- UG TELEPHONE U.S. CABLE, PEDESTAL & MANHOLE
-UG-ELEC- UG ELECTRIC U.S. CABLE, MANHOLE, METER & MANHOLE
-GAS- GAS MAIN, VALVE & GAS LINE MARKER
-WATER- WATERMAIN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE
-SEWER- COMBINED SEWER, CLEANOUT & MANHOLE
-STORM- STORM SEWER, CLEANOUT & MANHOLE
-SINK- SINK, BATH, WASH, CATCH BASIN, YARD DRAIN
-WATER- WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
-MAIL- MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
-UNIDENT- UNIDENTIFIED STRUCTURE
-SPOT- SPOT ELEVATION
-CONTOUR- CONTOUR LINE
-FENCE- FENCE
-GUARD- GUARD RAIL
-STREET- STREET LIGHT
-SIGN- SIGN

CONC. CONCRETE
ASPH. ASPHALT

CONC. R.O.W. EXP. AGG. WALK CONC. SIDEWALK R.O.W. ASPHALT

REFERENCE DRAWINGS

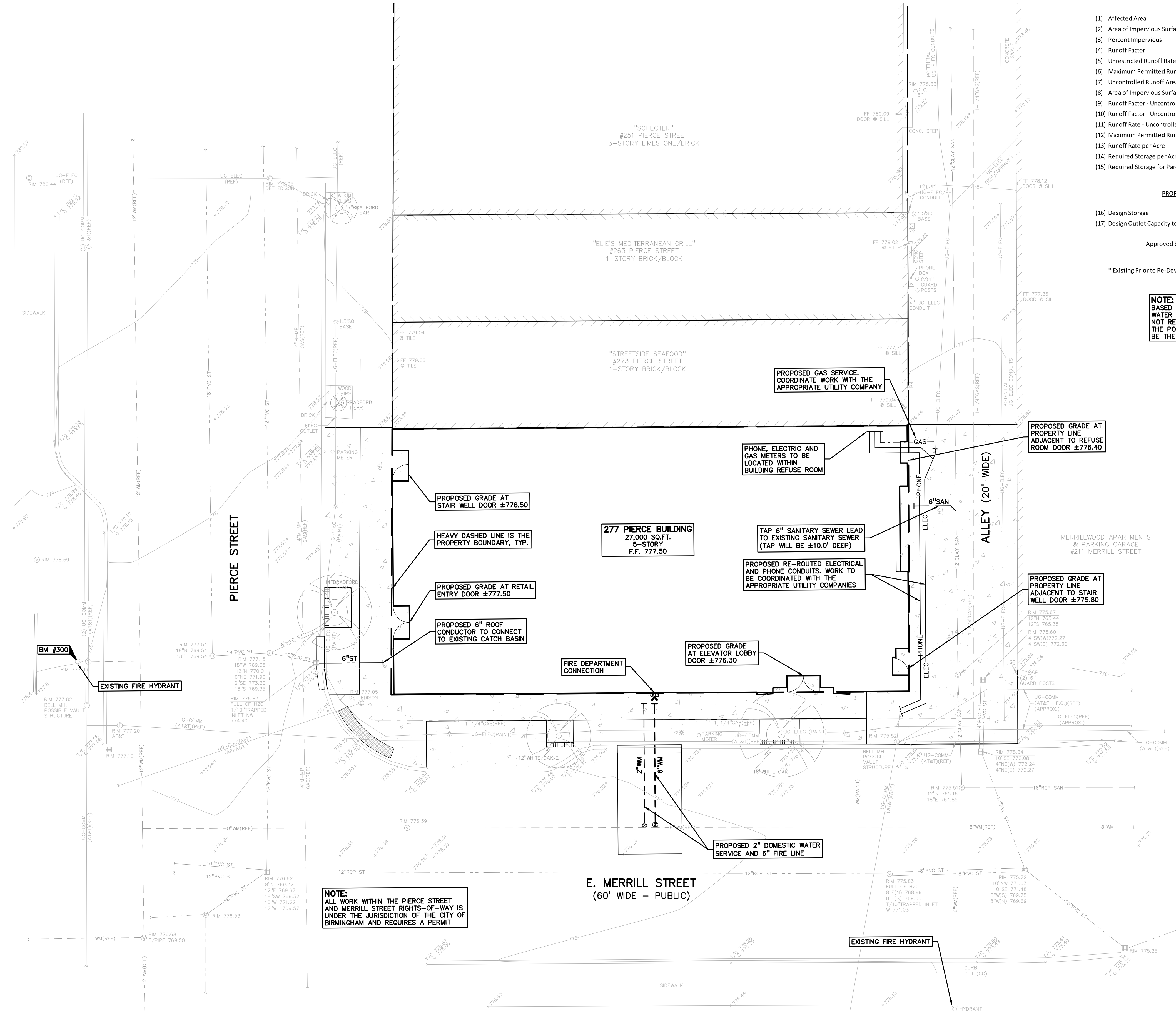
WATER MAIN: CITY OF BIRMINGHAM ON-LINE GIS MAP
SANITARY SEWER: CITY OF BIRMINGHAM ON-LINE GIS MAP
STORM SEWER: CITY OF BIRMINGHAM ON-LINE GIS MAP
ELECTRIC: DTE ELECTRIC FACILITY MAP #301-382, DATED 10/24/2016
TELEPHONE: GAS MAP SKETCH DATED 4/5/93
GAS: A1&T MAP DATED 10-24-16
CONSUMERS' ENERGY QUARTER SECTION MAP 02-60-36-1, DATED 07-31-16

EXISTING UTILITY NOTE:
UTILITY LOCATIONS SHOWN ON THIS PLAN ARE BASED ON SURVEYED LOCATIONS AND ELEVATIONS WHERE POSSIBLE. OTHER UTILITY LOCATIONS ARE SHOWN BASED ON AVAILABLE REFERENCE PLANS (REF) AND/OR MISS DIG LOCATIONS (PAINT). THE CONTRACTOR IS RESPONSIBLE TO VERIFY UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES AS SOON AS POSSIBLE.

GENERAL UTILITY NOTES:

- ALL UTILITY LINES, STRUCTURES AND TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE CITY OF BIRMINGHAM.
- NO PHYSICAL CONNECTION TO THE EXISTING WATER MAIN CAN BE MADE UNTIL ALL NEW WATER MAIN PASSES PRESSURE AND BACTERIOLOGICAL TESTS TO THE SATISFACTION OF THE CITY.
- REFER TO DETAIL SHEET C-8.1 FOR ADDITIONAL UTILITY DETAILS AND NOTES.
- ALL WATER MAIN AND FITTINGS (3" DIAMETER AND LARGER) SHALL BE DUCTILE IRON, CLASS 54.
- WATER MAIN SERVICE LEADS SHALL BE TYPE "K" ANNEALED SEAMLESS COPPER WITH FLARED FITTINGS, UNLESS OTHERWISE NOTED.
- ALL WATER MAIN SHALL BE PROVIDED WITH 5.5' OF COVER UNLESS OTHERWISE NOTED.
- ALL NECESSARY FITTINGS, THRUST BLOCKS, RESTRAINING GLANDS, BLOW OFFS, ETC. FOR WATER MAIN ARE CONSIDERED INCIDENTAL TO THIS PROJECT. THE CONTRACTOR SHALL INSTALL THESE ITEMS AS NECESSARY AND AS REQUIRED BY THE CITY OF BIRMINGHAM.
- ALL SANITARY SEWER LEADS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 23.5 PIPE AND FITTINGS. ALL JOINTS TO BE ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED.
- SANITARY LEADS SHALL BE PROVIDED WITH CLEANOUTS EVERY 100 FEET AND AT EVERY BEND AS SHOWN. ALL CLEANOUTS TO BE PROVIDED WITH E.J.W. #565 BOX OR EQUAL.
- ALL STORM SEWER LEADS SHALL BE PVC SCHEDULE 40 WITH GLUED JOINTS UNLESS OTHERWISE NOTED.
- PIPE LENGTHS ARE GIVEN FROM CENTER OF STRUCTURE AND TO END OF FLARED END SECTION UNLESS NOTED OTHERWISE.
- THE CITY OF BIRMINGHAM STANDARD DETAIL SHEETS ARE INCORPORATED INTO AND MADE A PART OF THESE PLANS. CONTRACTOR TO REFER TO THE CITY OF BIRMINGHAM STANDARD DETAIL SHEETS FOR ALL STRUCTURE, PIPE MATERIALS, BEDDING, TESTING, ETC. NOTES AND DETAILS.

SAND BACKFILL NOTE:
ALL UTILITIES UNDER PAVEMENT OR WITHIN 3' OF THE EDGE OF PAVEMENT (OR WITHIN THE 45° LINE OF INFLUENCE OF PAVEMENT) SHALL HAVE M.D.O.T. CLASS II GRANULAR BACKFILL COMPACTED TO 95% MAX. DRY DENSITY (ASTM D-1557).



NOTE:
ALL WORK WITHIN THE PIERCE STREET AND MERRILL STREET RIGHTS-OF-WAY IS UNDER THE JURISDICTION OF THE CITY OF BIRMINGHAM AND REQUIRES A PERMIT

NOT FOR CONSTRUCTION

XREF: S:\PROJECTS\2016\2016279\DWG\16279-TOPBASE.DWG
XREF: S:\PROJECTS\2016\2016279\DWG\16279-SITE PLAN V3.DWG
XREF: S:\PROJECTS\2016\2016279\DWG\16279-TBLK.DWG

REVISIONS

NO.	BY	CHK	DESCRIPTION	DATE
1	JPB	JPB	DESIGNED PREL CITY REVIEW COMMENTS	06/29/17
2	JPB	JPB	PRELIMINARY SITE PLAN REVIEW	03/10/17

3 FULL WORKING DAYS BEFORE YOU DIG CALL

811
Know what's below
Call before you dig
MISS DIG System, Inc.
1-800-482-7171 www.missdig.net

PEA, Inc.
2430 Rochester Ct, Ste 100
Troy, MI 48063-1872
t: 248.689.9090
f: 248.689.1044
www.peainc.com

KOJAIA MANAGEMENT COMPANY
39400 WOODWARD AVENUE, SUITE #250
BLOOMFIELD HILLS, MICHIGAN 48304

PRELIMINARY UTILITY PLAN
277 PIERCE AVENUE
PART OF THE NE 1/4 OF SECTION 36, T2N, R10E
CITY OF BIRMINGHAM, OKLAHOMA COUNTY, MICHIGAN 48009

DES: JPB DN: JPB SUR: JPB KTR: JPB
S:\V\16279\16279-277 PIERCE (UNST) 3007 - 4P-W\301-Walk-Track-C-6-017-16279.dwg

ORIGINAL ISSUE DATE:
MARCH 10, 2017

PEA JOB NO. 2016-279

SCALE: 1" = 10'

DRAWING NUMBER:
C-6.0

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF BIRMINGHAM AND M.D.O.T.
2. THE CONTRACTOR MUST CONTACT THE ENGINEER SHOULD THEY ENCOUNTER ANY DESIGN ISSUES DURING CONSTRUCTION. IF THE CONTRACTOR MAKES DESIGN MODIFICATIONS WITHOUT THE WRITTEN DIRECTION OF THE DESIGN ENGINEER, THE CONTRACTOR DOES SO AT HIS OWN RISK.
3. ALL NECESSARY PERMITS, TESTING, BONDS AND INSURANCES ETC., SHALL BE PAID FOR BY THE CONTRACTOR. THE OWNER SHALL PAY FOR ALL CITY INSPECTION FEES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE PERIODS OF CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO THE JOB.
5. THE CONTRACTOR SHALL NOTIFY MISS DIG (811) AND REPRESENTATIVES OF OTHER UTILITIES IN THE VICINITY OF THE WORK A MINIMUM OF 72 HOURS PRIOR TO START OF CONSTRUCTION (EXCLUDING WEEKENDS AND HOLIDAYS) FOR LOCATION AND STAKING OF ON-SITE UTILITY LINES. IF NO NOTIFICATION IS GIVEN AND DAMAGE TO RESULTING UTILITIES WILL BE REPAIRED AT SOLE EXPENSE OF THE CONTRACTOR. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
6. CONTRACTOR TO VERIFY THAT THE PLANS AND SPECIFICATIONS ARE THE VERY LATEST PLANS AND SPECIFICATIONS AND FURTHERMORE, VERIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN APPROVED. ALL ITEMS CONSTRUCTED BY THE CONTRACTOR PRIOR TO RECEIVING FINAL APPROVAL, HAVING TO BE REMOVED OR RE-DOED SHALL BE AT THE CONTRACTORS EXPENSE. SHOULD THE CONTRACTOR ENCOUNTER A CONFLICT BETWEEN THESE PLANS AND/OR SPECIFICATIONS, THEY SHALL SEEK CLARIFICATION IN WRITING FROM THE ENGINEER BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
7. ALL PROPERTIES OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DESTROYED OR OTHERWISE DISTURBED DUE TO CONSTRUCTION, SHALL BE REPLACED AND/OR RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR.
8. MANHOLE, CATCH BASIN, GATE VALVES AND HYDRANT FINISH GRADES MUST BE CLOSELY CHECKED AND APPROVED BY THE ENGINEER BEFORE THE CONTRACTOR'S WORK IS CONSIDERED COMPLETE.
9. CONTRACTOR SHALL REMOVE AND DISPOSE OF OFF-SITE ANY TREES, BRUSH, STUMPS, TRASH OR OTHER UNWANTED DEBRIS AT THE OWNER'S DIRECTION, INCLUDING OLD BUILDING FOUNDATIONS AND FLOORS. BURNING OF TRASH, STUMPS OR OTHER DEBRIS SHALL NOT BE PERMITTED.
10. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADING, SIGNAGE, LIGHTS AND TRAFFIC CONTROL DEVICES TO PROTECT THE WORK AND MAINTAIN TRAFFIC IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (EIGHTH EDITION). THE DESIGN ENGINEER, OWNER, CITY AND STATE SHALL NOT BE HELD LIABLE FOR ANY CLAIMS RESULTING FROM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTOR'S FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.
11. ALL EXCAVATIONS SHALL BE SLOPED, SHORED OR BRACED IN ACCORDANCE WITH MI-OSHA REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE AN ADEQUATELY CONSTRUCTED AND BRACED SHORING SYSTEM FOR ALL DEEP WORKING IN AN EXCAVATION THAT MAY EXPOSE EMPLOYEES TO THE DANGER OF MOVING GROUND.

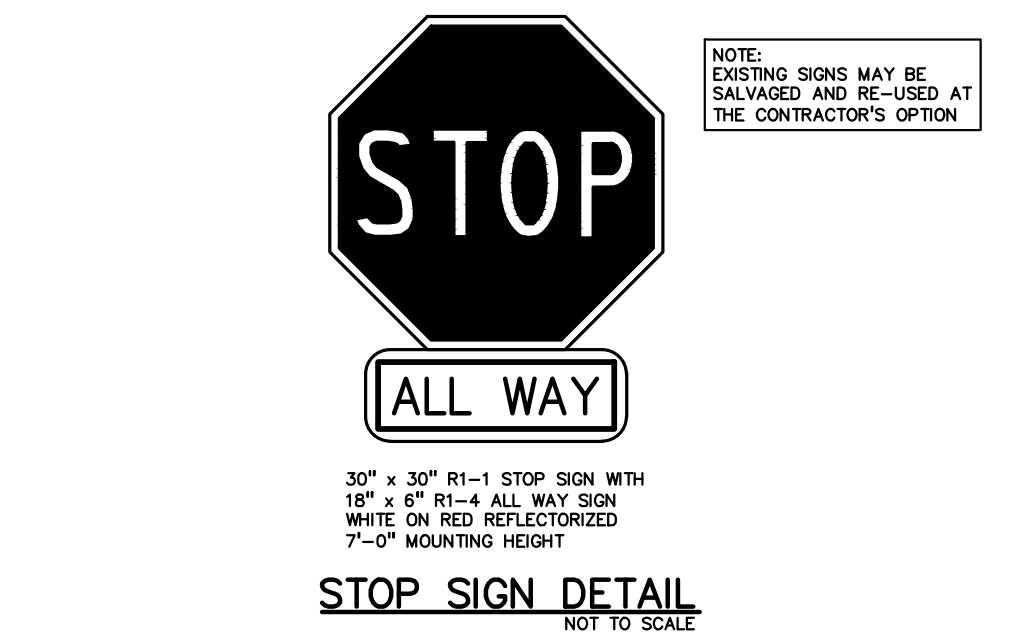
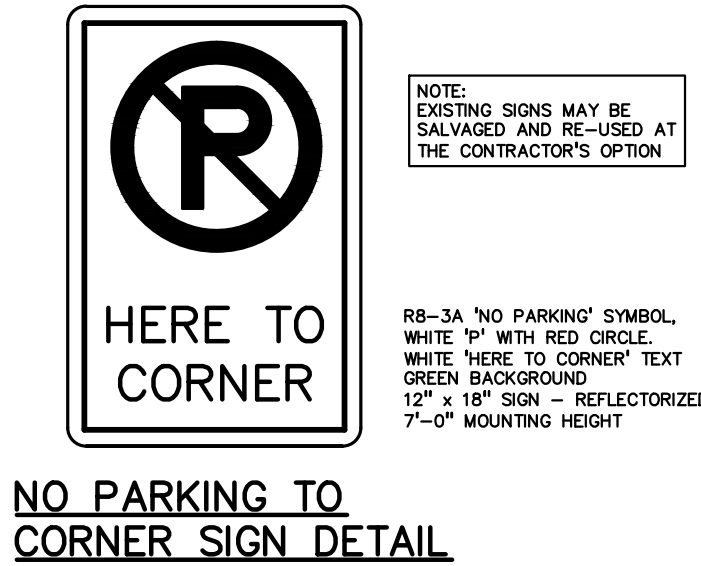
1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF BIRMINGHAM AND M.D.O.T.
2. IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
3. ON-SITE FILL CAN BE USED IF THE SPECIFIED COMPACTION REQUIREMENTS CAN BE ACHIEVED. IF ON-SITE SOIL IS USED, IT SHOULD BE CLEAN AND FREE OF FROZEN SOIL ORGANICS, OR OTHER DELETERIOUS MATERIALS.
4. THE FINAL SUBGRADE/EXISTING AGGREGATE BASE SHOULD BE THOROUGHLY PROOFGOLLED USING A FULLY LOADED TANDEM AXLE TRUCK OR FRONT END LOADER UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REINFORCED USING GEORGRIDS OR REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
5. SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUSCEPTIBLE TO FROST HEAVING AND UNSTABLE SOIL CONDITIONS. ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FILL SECTIONS OR BELOW SUBGRADE IN CUT SECTIONS, WILL BE CLASSIFIED AS SUBGRADE UNDERCUTTING.
6. SUBGRADE UNDERCUTTING SHALL BE PERFORMED WHERE NECESSARY AND THE EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ANY SUBGRADE UNDERCUTTING SHALL BE BACKFILLED WITH SAND OR OTHER STABLE APPROVED MATERIAL. BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM UNIT WEIGHT (PER ASTM D-1557) UNLESS OTHERWISE SPECIFIED.
7. BACKFILL UNDER PAVED AREAS SHALL BE AS SPECIFIED ON DETAILS.
8. ANY SUB-GRADE WATERING REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE CONSIDERED INCIDENTAL TO THE JOB.
9. FINAL PAVEMENT ELEVATIONS SHOULD BE SO DESIGNED TO PROVIDE POSITIVE SURFACE DRAINAGE. A MINIMUM SURFACE SLOPE OF 1.0 PERCENT IS RECOMMENDED.
10. CONSTRUCTION TRAFFIC SHOULD BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE INITIAL FILL THICKNESS COULD BE INCREASED AND PLACEMENT OF THE FINAL FILL COULD BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURE, IF ANY DOES OCCUR, AS WELL AS REDUCE LOAD DAMAGE ON THE PAVEMENT SYSTEM.

11. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF BIRMINGHAM.
12. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
13. WHENEVER EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND PERIPHERY OF OPENING TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.
14. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING UTILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE DESIGN ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. CONTRACTOR TO FIELD VERIFY UTILITIES.
15. THE CONTRACTOR MUST COORDINATE TO ENSURE ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED FOR THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, IRRIGATION, ETC. IN SUCH A MANNER THAT WILL MAINTAIN THEIR PROPER INSTALLATION PRIOR TO THE PLACEMENT OF THE PROPOSED PAVEMENT AND LANDSCAPING.
16. REFER TO CITY OF BIRMINGHAM, STANDARD DETAILS FOR PIPE BEDDING DETAILS.
17. REFER TO CITY OF BIRMINGHAM STANDARD DETAIL SHEETS FOR ADDITIONAL INFORMATION.

1. ALL STORM SEWER 12" AND LARGER SHALL BE RCP CLASS IV UNLESS OTHERWISE NOTED. REFER TO CITY STANDARD DETAILS SHEETS FOR STANDARD BEDDING DETAILS.
2. JOINTS FOR ALL STORM SEWER 12" AND LARGER SHALL BE MODIFIED TONGUE AND GROOVE JOINT WITH RUBBER GASKETS UNLESS SPECIFIED OTHERWISE (ASTM C-443)
3. ALL STORM SEWER LEADS SHALL BE CONSTRUCTED OF PVC SCHEDULE 40 PIPE AT 1.00% MINIMUM SLOPE WITH GLUED JOINTS, UNLESS OTHERWISE NOTED.

1. ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 5.5' BELOW FINISH GRADE. WHEN WATER MAINS MUST DIP TO PASS UNDER A STORM SEWER OR SANITARY SEWER, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE KEPT TO A MINIMUM LENGTH BY THE USE OF VERTICAL TWENTY TWO AND A HALF (22.5") DEGREE BENDS, PROPERLY ANCHORED.
2. ALL TEE'S, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.
3. PHYSICAL CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS UNTIL TESTING IS SATISFACTORILY COMPLETED.
4. MAINTAIN 10' HORIZONTAL CLEARANCE BETWEEN OUTER EDGE OF WATERMAIN AND ANY SANITARY SEWER OR STRUCTURE.
5. ALL WATER MAIN SHALL BE DUCTILE IRON CLASS 54 WITH POLYETHYLENE WRAP.

1. DOWNSPOUTS, WEEP TILE, FOOTING DRAINS OR ANY CONDUIT THAT CARRIES STORM OR GROUND WATER SHALL NOT BE ALLOWED TO DISCHARGE INTO A SANITARY SEWER.
2. ALL SANITARY LEADS SHALL BE CONSTRUCTED OF PVC SDR 23.5 AT 1.00% MINIMUM SLOPE.
3. JOINTS FOR P.V.C. SOLID WALL PIPE SHALL BE ELASTOMERIC (RUBBER GASKET) AS SPECIFIED IN A.S.T.M. DESIGNATION D-3212.

[illegible]

CAUTION!!

THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ON THESE AS-BUILT DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.

THE DRAWING AND DESIGN ARE THE PROPERTY OF PEI. NO REPRODUCTION, REUSE, OR ALTERATION OF ANY KIND IS ALLOWED WITHOUT THE FURNISHING INFORMATION TO OTHERS, WITHOUT THE PRIOR WRITTEN CONSENT OF PEI. ALL COMMON RIGHTS ARE RESERVED. ANY VIOLATION OF THIS HEREBY SPECIFICALLY RESULTS IN 2017 PEI, INC.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH THE DESIGN AND CONSTRUCTION PRACTICES, CONSTRUCTION OF THE PROJECT WILL REQUIRE THE USE OF SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MAINTAINED THROUGHOUT THE PROJECT FROM NORMAL WORKDAYS AND CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MAINTAINED THROUGHOUT THE PROJECT FROM NORMAL WORKDAYS AND CONSTRUCTION OF THE PROJECT.

**3 FULL WORKING DAYS
BEFORE YOU DIG CALL**

811



Know what's below
Call before you dig

MISS DIG System, Inc.

1-800-482-7171 www.missdig.net
(TOLL FREE)



PEA, Inc.
2430 Rochester Ct, Ste 100
Troy, MI 48063-1872
t: 248.689.9090
f: 248.689.1044
www.peainc.com

KOJAIAN MANAGEMENT COMPANY

39400 WOODWARD AVENUE, SUITE #250
BLOOMFIELD HILLS, MICHIGAN 48304

NOTES AND DETAILS

277 PIERCE AVENUE

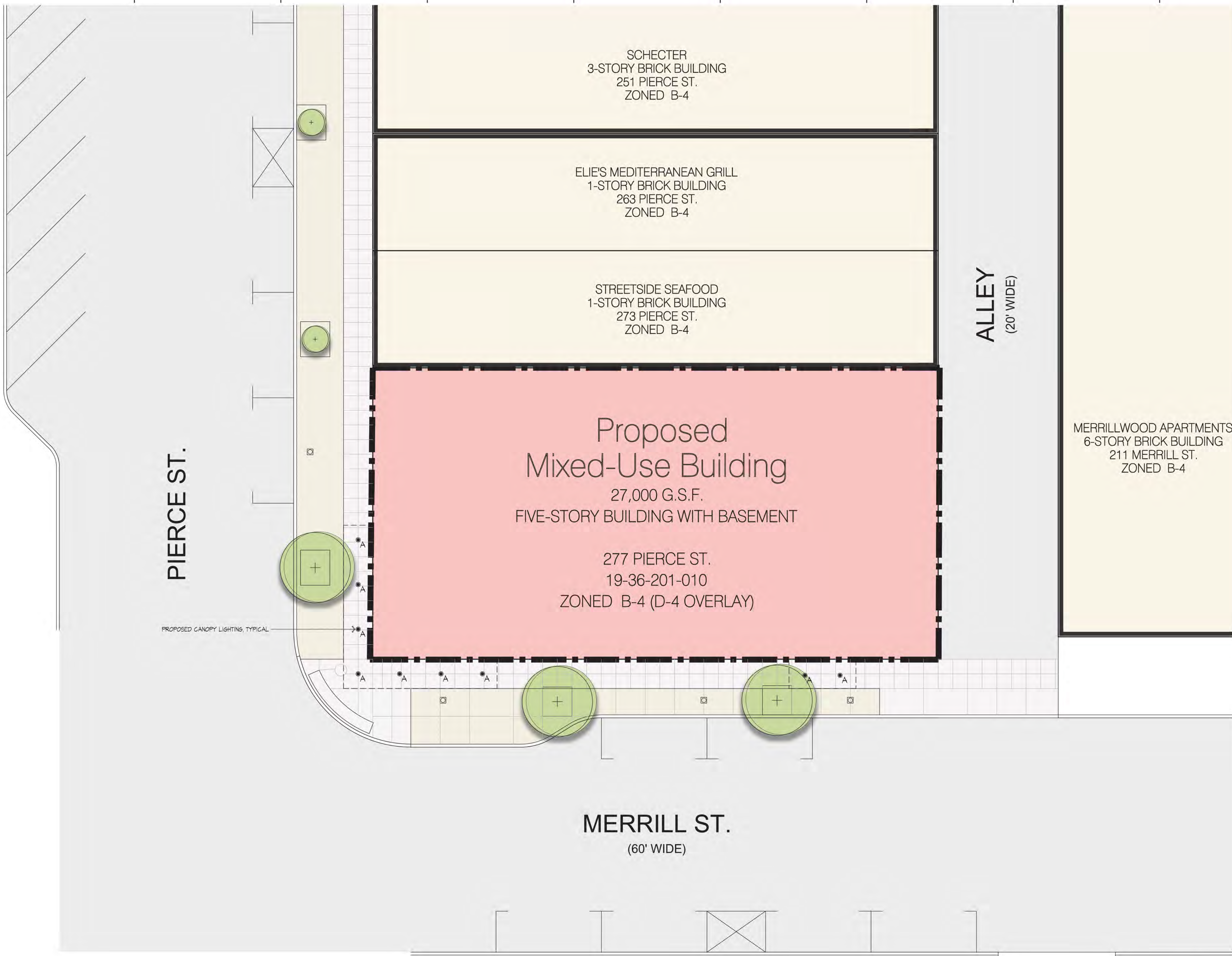
PART OF THE NE 1/4 OF SECTION 36, T2N, R10E
CITY OF BIRMINGHAM, OKLAHOMA COUNTY, MICHIGAN, 48009

DES.	PB	DN	JRB	KTR	JPB	F.M.
V.ARGENTAS/DAVIDSON-277-277 PIERCE (VARSITY SARG) SURVEY/OKLAHOMA STATE FARM(OKLA STATE FARM)-16729/mag						

ORIGINAL ISSUE DATE: MARCH 10, 2017
PEA JOB NO. 2016-279
SCALE: NONE
DRAWING NUMBER:

C-8.1

NOT FOR CONSTRUCTION XREF: S:\PROJECTS\2016\2016279\DWG\16279-TOPOBASE.DWG
XREF: S:\PROJECTS\2016\2016279\DWG\SITE PLAN\CBASE-16279.DWG
XREF: S:\PROJECTS\2016\2016279\DWG\SITE PLAN\BLK-16279.DWG



PIERCE ST.

Proposed
Mixed-Use Building
27,000 G.S.F.
FIVE-STORY BUILDING WITH BASEMENT

277 PIERCE ST.
19-36-201-010
ZONED B-4 (D-4 OVERLAY)

SCHECTER
3-STORY BRICK BUILDING
251 PIERCE ST.
ZONED B-4

ELIE'S MEDITERRANEAN GRILL
1-STORY BRICK BUILDING
263 PIERCE ST.
ZONED B-4

STREETSIDE SEAFOOD
1-STORY BRICK BUILDING
273 PIERCE ST.
ZONED B-4

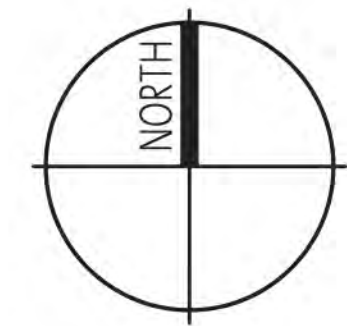
ALLEY
(20' WIDE)

MERRILLWOOD APARTMENTS
6-STORY BRICK BUILDING
211 MERRILL ST.
ZONED B-4

MERRILL ST.
(60' WIDE)

PROPOSED CANOPY LIGHTING, TYPICAL

H6
A010
Architectural Site Plan
SCALE: 1/8" = 1'-0"

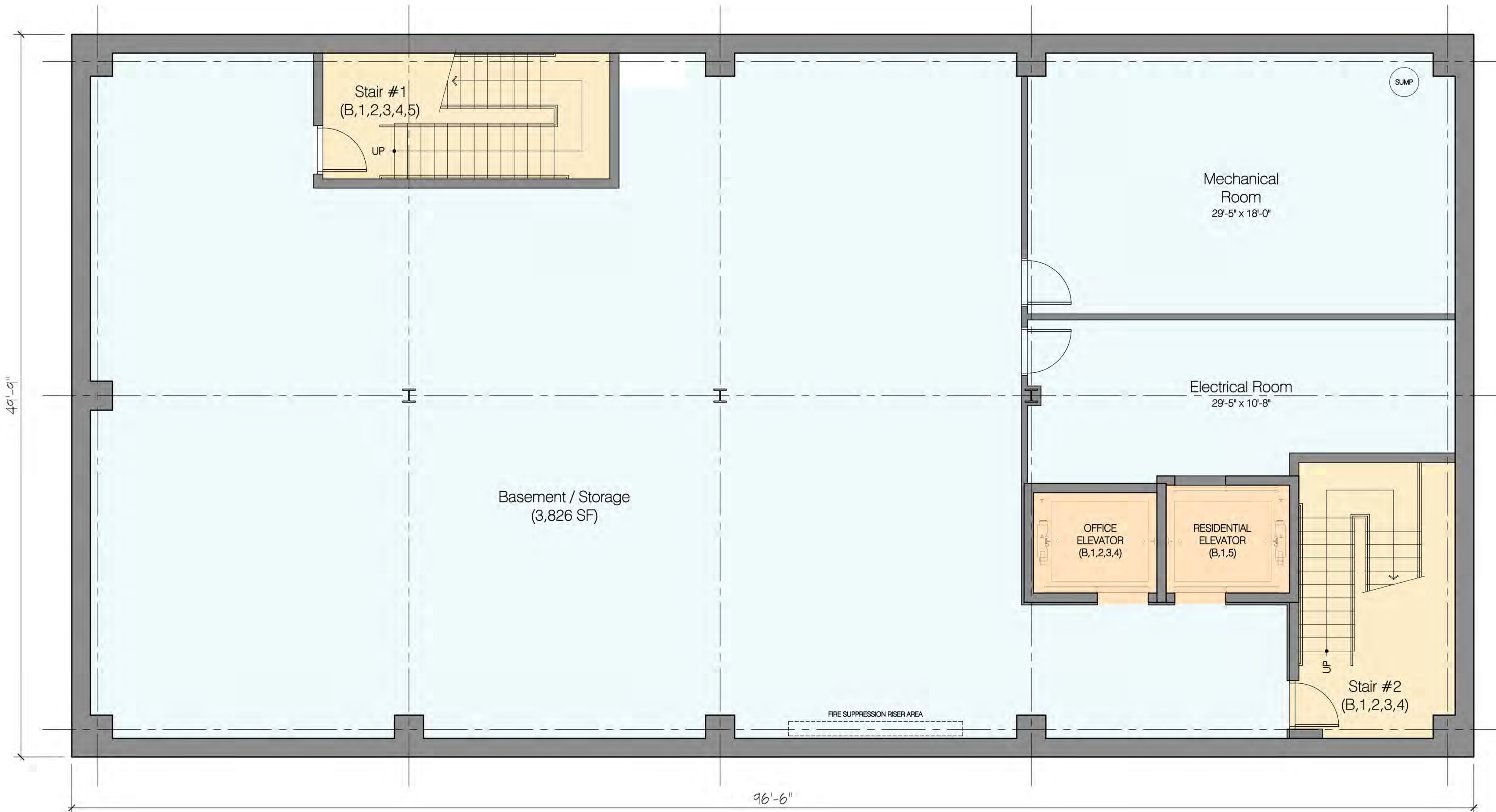


SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Kojaian Mixed-Use
277 Pierce
Birmingham, Michigan 48009

Date:	Issued For:
03-10-2017	PRELIMINARY SITE PLAN REVIEW
06-28-2017	HDC & FINAL SITE PLAN REVIEW

Sheet No.:
A010
ARCHITECTURAL SITE PLAN

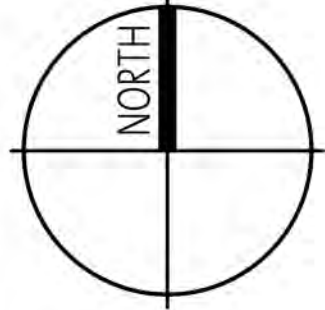
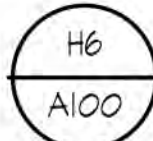


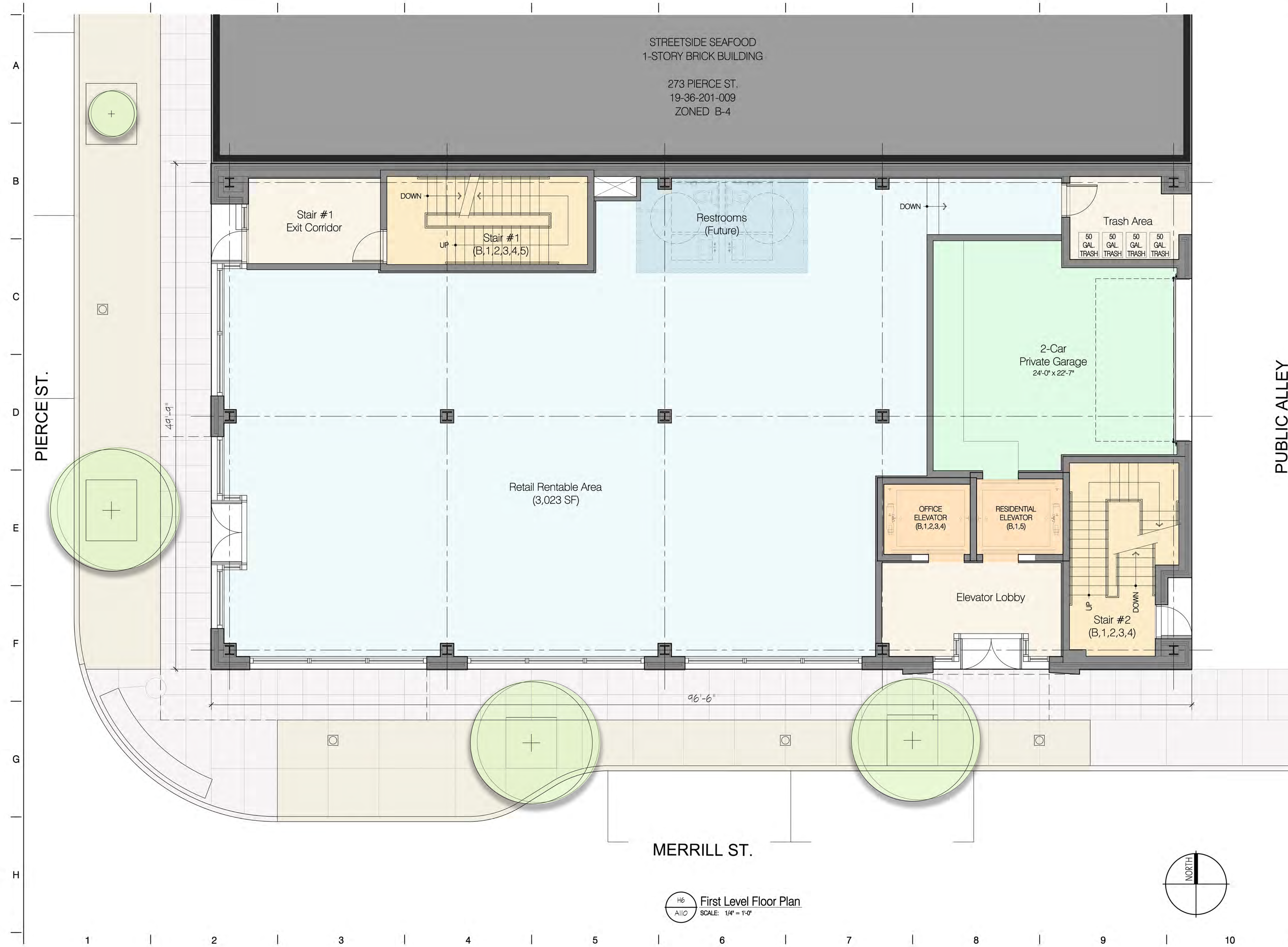
SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Kojaian Mixed-Use
277 Pierce
Birmingham, Michigan 48009

Date:	Issued For:
01-24-2017	REVIEW
02-09-2017	REVIEW
02-15-2017	REVIEW
03-10-2017	PRELIMINARY SITE PLAN REVIEW
	HDC & FINAL
06-28-2017	SITE PLAN REVIEW

Sheet No.:
A100
LOWER LEVEL FLOOR PLAN


 **Lower Level Floor Plan**
SCALE: 1/4" = 1'-0"



PUBLIC ALLEY

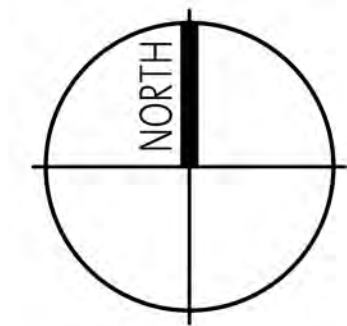
SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

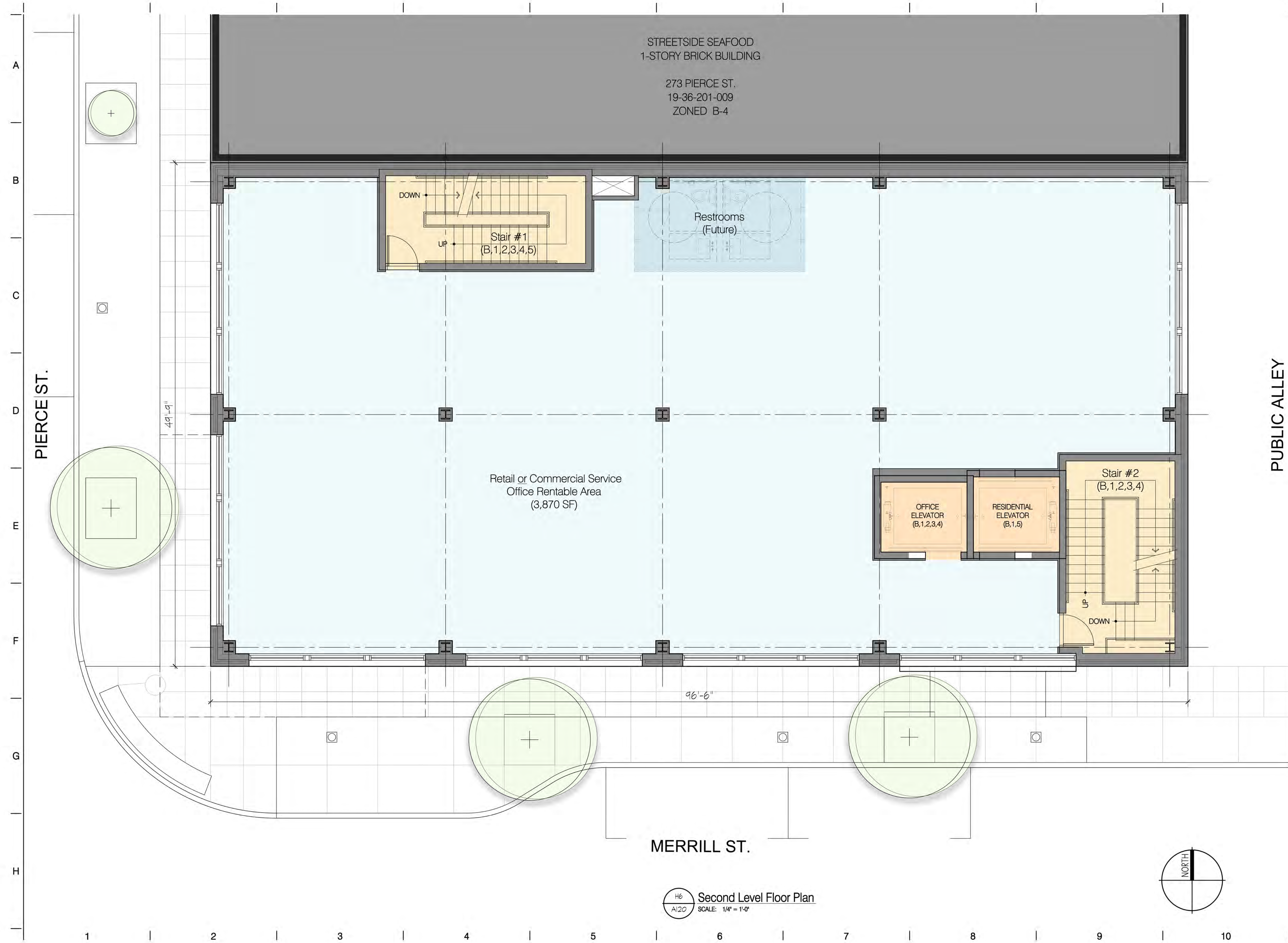
Project:
Kojaian Mixed-Use
277 Pierce
Birmingham, Michigan 48009

Date:	Issued For:
11-02-2016	REVIEW
11-23-2016	REVIEW
12-15-2016	REVIEW
01-24-2017	REVIEW
02-15-2017	REVIEW
03-10-2017	PRELIMINARY SITE PLAN REVIEW
06-28-2017	HDC & FINAL SITE PLAN REVIEW

Sheet No.:
A110
FIRST LEVEL FLOOR PLAN

H6 First Level Floor Plan
A110 SCALE: 1/4" = 1'-0"





STREETSIDE SEAFOOD
1-STORY BRICK BUILDING

273 PIERCE ST.
19-36-201-009
ZONED B-4

Retail or Commercial Service
Office Rentable Area
(3,870 SF)

DOWN
UP
Stair #1
(B,1,2,3,4,5)

Restrooms
(Future)

OFFICE
ELEVATOR
(B,1,2,3,4)

RESIDENTIAL
ELEVATOR
(B,1,5)

Stair #2
(B,1,2,3,4)

DOWN

MERRILL ST.

PUBLIC ALLEY

SAROKI
ARCHITECTURE

430 N. OLD WOODWARD
BIRMINGHAM, MI 48009

P. 248.258.5707
F. 248.258.5515

SarokiArchitecture.com

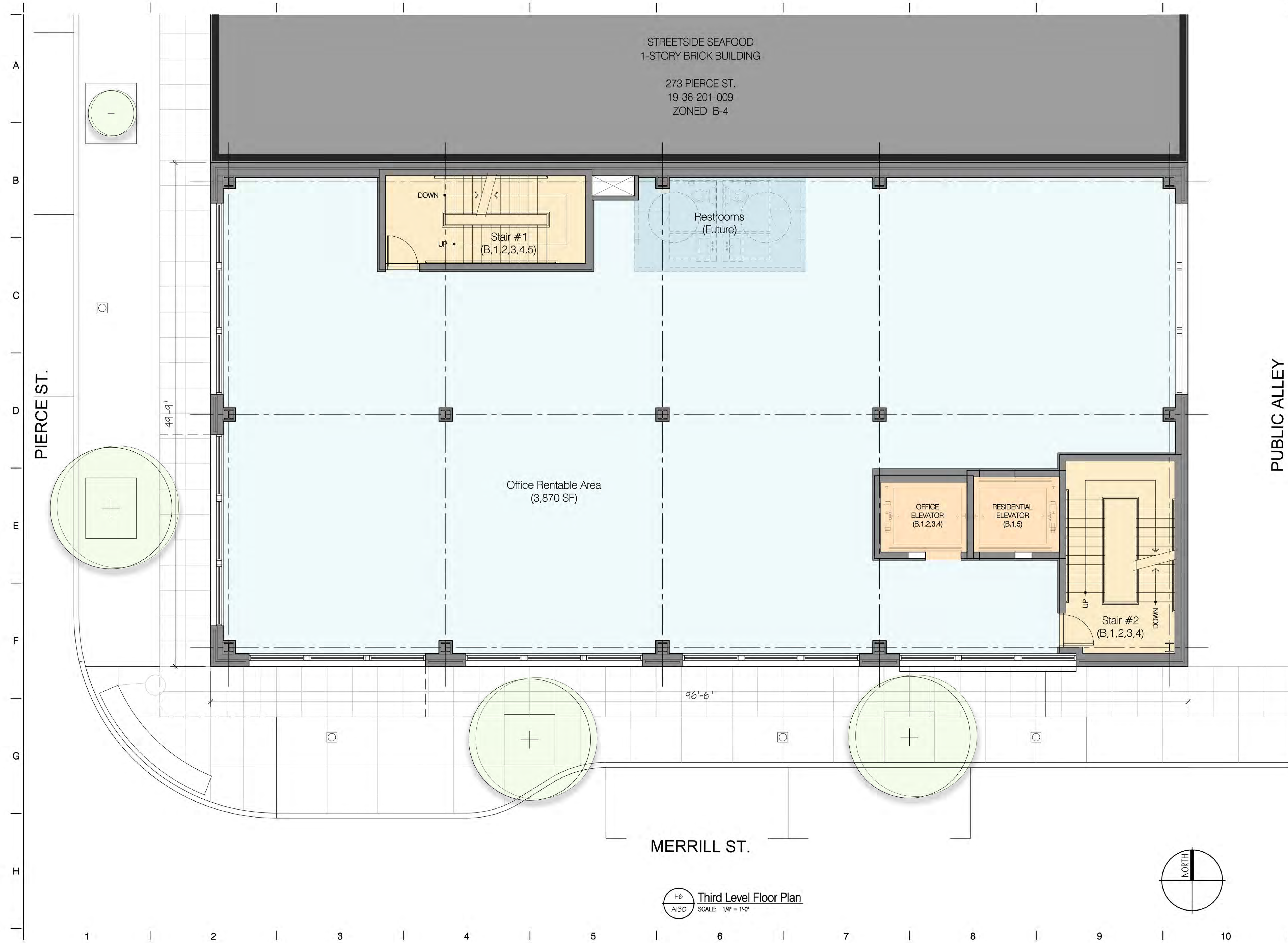
Project:
Kojaian Mixed-Use
277 Pierce
Birmingham, Michigan 48009

Date:	Issued For:
01-24-2017	REVIEW
03-10-2017	PRELIMINARY
03-10-2017	SITE PLAN REVIEW
06-28-2017	HDC & FINAL
06-28-2017	SITE PLAN REVIEW

Sheet No.:

A120
SECOND LEVEL FLOOR PLAN

H6
A120
Second Level Floor Plan
SCALE: 1/4" = 1'-0"



H6
A130
Third Level Floor Plan
SCALE: 1/4" = 1'-0"

PUBLIC ALLEY

SAROKI
ARCHITECTURE

430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515

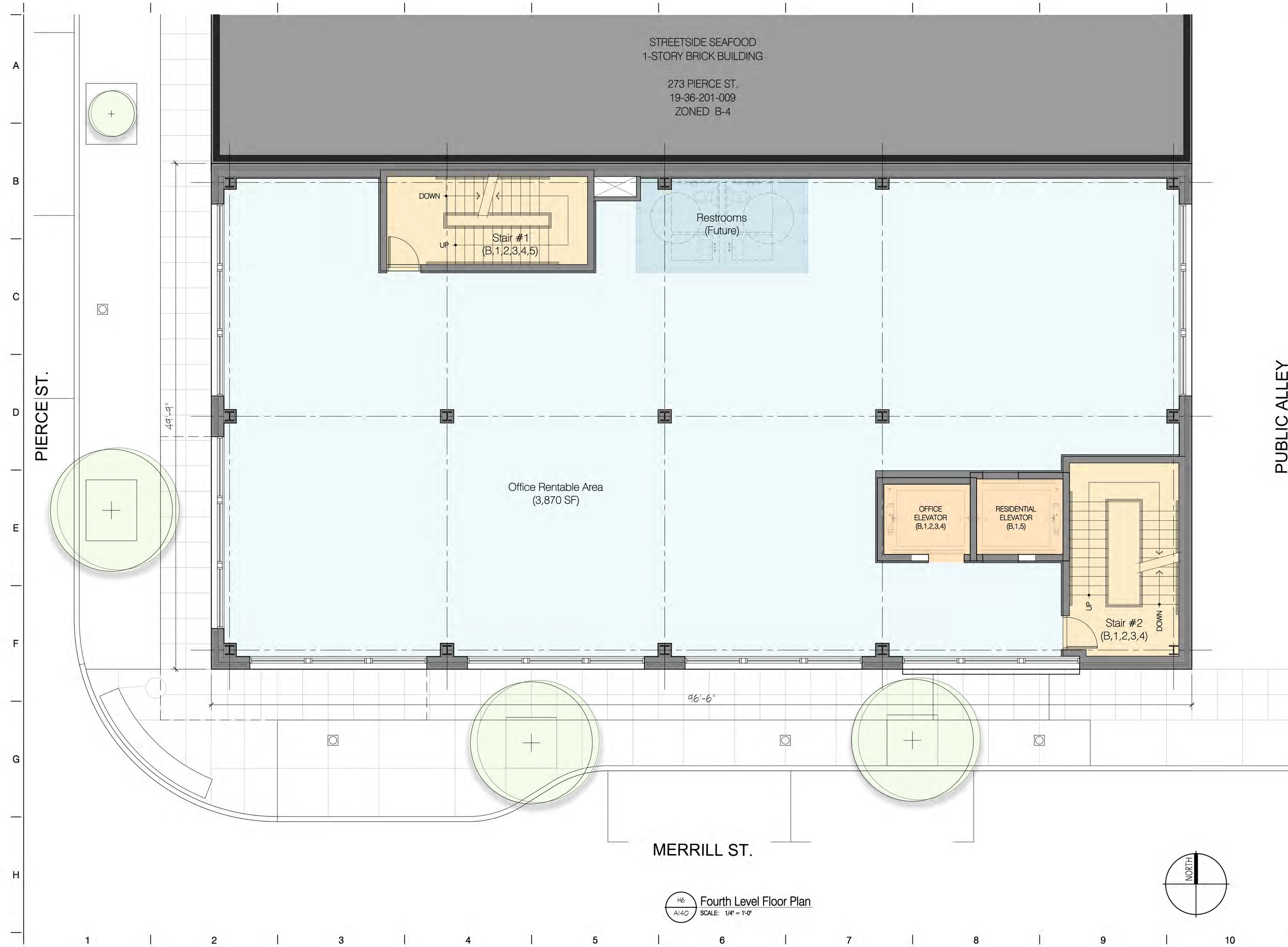
SarokiArchitecture.com

Project:
Kojaian Mixed-Use
277 Pierce
Birmingham, Michigan 48009

Date:	Issued For:
11-23-2016	REVIEW
12-15-2016	REVIEW
01-24-2017	REVIEW
03-10-2017	PRELIMINARY SITE PLAN REVIEW
06-28-2017	HDC & FINAL SITE PLAN REVIEW

Sheet No.:

A130
THIRD LEVEL FLOOR PLAN



H6
A140
Fourth Level Floor Plan
SCALE: 1/4" = 1'-0"

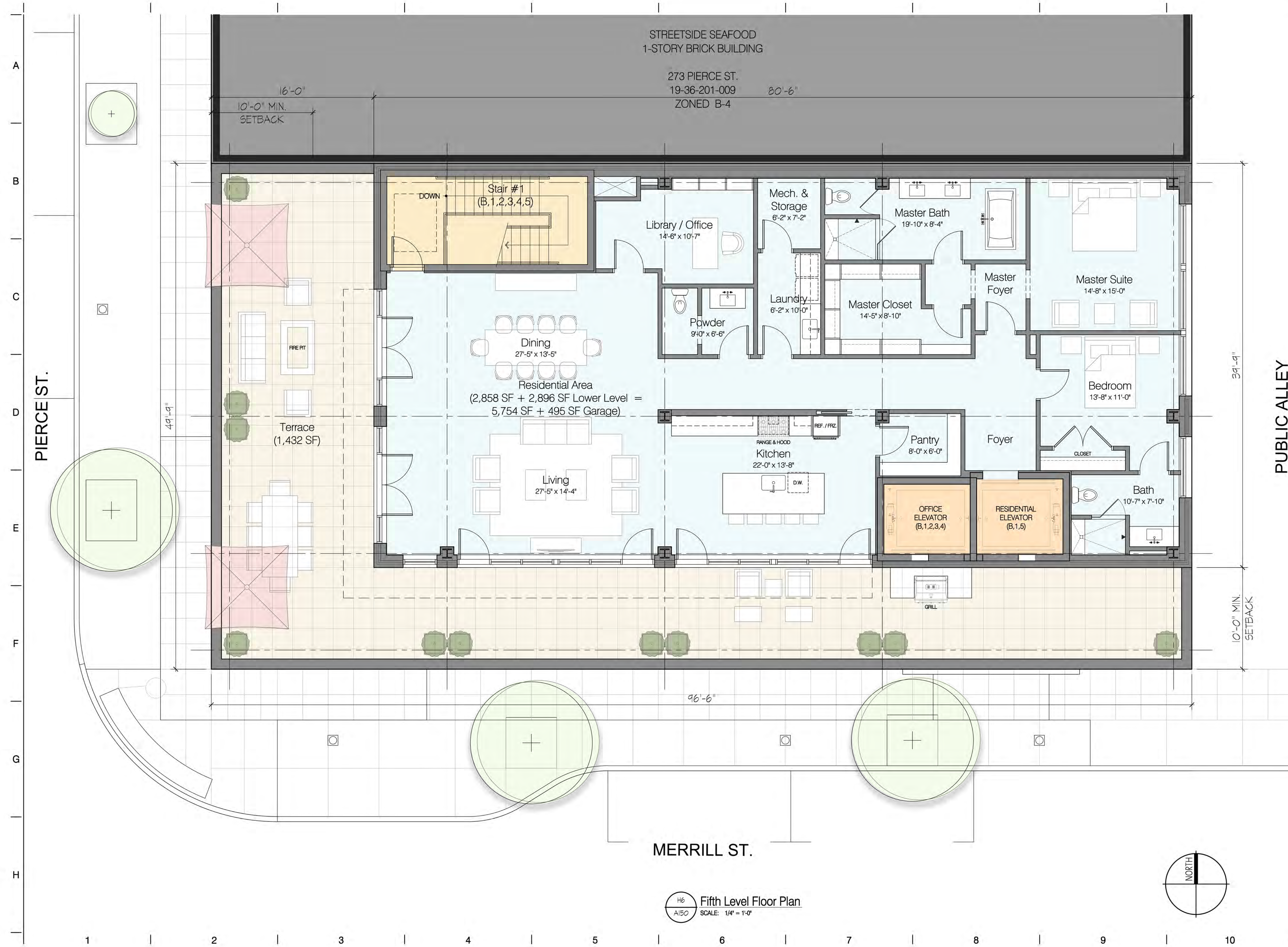
PUBLIC ALLEY

SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Kojaian Mixed-Use
277 Pierce
Birmingham, Michigan 48009

Date:	Issued For:
01-24-2017	REVIEW
03-10-2017	PRELIMINARY SITE PLAN REVIEW

Sheet No.:
A140
FOURTH LEVEL FLOOR PLAN



STREETSIDE SEAFOOD
1-STORY BRICK BUILDING
273 PIERCE ST.
19-36-201-009
ZONED B-4

Stair #1
(B,1,2,3,4,5)

Library / Office
14'-6" x 10'-7"

Mech. & Storage
6'-2" x 7'-2"

Master Bath
19'-10" x 8'-4"

Master Suite
14'-8" x 15'-0"

Master Foyer

Master Closet
14'-5" x 8'-10"

Laundry
6'-2" x 10'-0"

Powder
9'-0" x 6'-6"

Dining
27'-5" x 13'-5"

Residential Area
(2,858 SF + 2,896 SF Lower Level =
5,754 SF + 495 SF Garage)

Living
27'-5" x 14'-4"

Kitchen
22'-0" x 13'-8"

Pantry
8'-0" x 6'-0"

Foyer

Bedroom
13'-8" x 11'-0"

Bath
10'-7" x 7'-10"

OFFICE
ELEVATOR
(B,1,2,3,4)

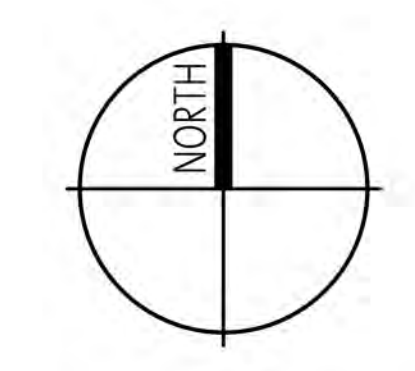
RESIDENTIAL
ELEVATOR
(B,1,5)

PIERCE ST.

PUBLIC ALLEY

MERRILL ST.

H6
A150
Fifth Level Floor Plan
SCALE: 1/4" = 1'-0"

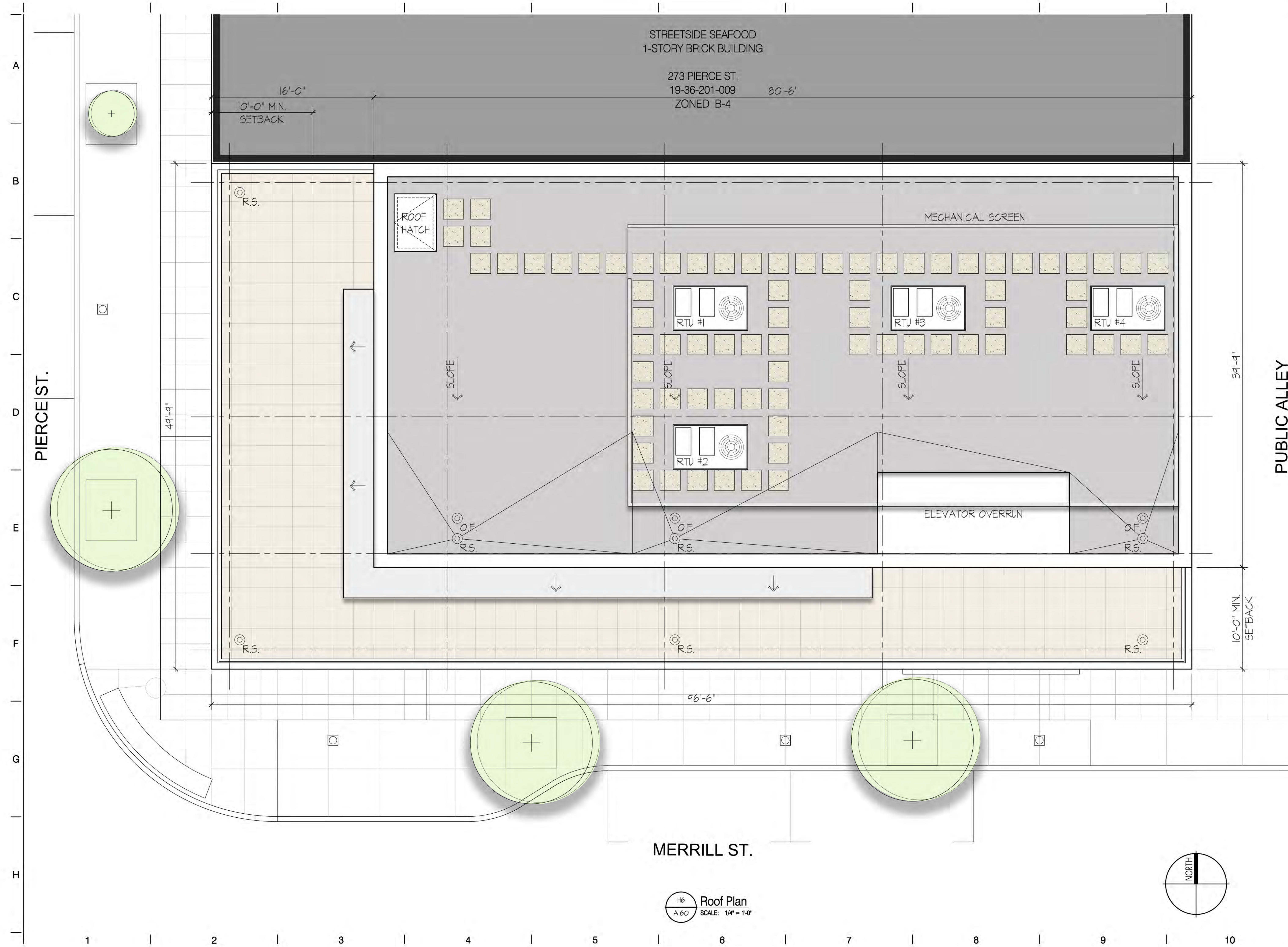


SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Kojaian Mixed-Use
277 Pierce
Birmingham, Michigan 48009

Date:	Issued For:
11-23-2016	REVIEW
12-15-2016	REVIEW
01-11-2017	REVIEW
01-24-2017	REVIEW
02-15-2017	REVIEW
03-10-2017	PRELIMINARY SITE PLAN REVIEW
06-28-2017	HDC & FINAL SITE PLAN REVIEW

Sheet No.:
A150
FIFTH LEVEL FLOOR PLAN



PUBLIC ALLEY

SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Kojaian Mixed-Use
277 Pierce
Birmingham, Michigan 48009

Date:	Issued For:
08-10-2017	PRELIMINARY
08-28-2017	SITE PLAN REVIEW
	HDC & FINAL
	SITE PLAN REVIEW

Sheet No.:
A160
ROOF PLAN

A

E

C


[


E

FCH

A200

EXTERIOR ELEVATION




South Elevation (Merrill Street)
 SCALE: 3/16" = 1'-0"

A

E

C

[

E



C

H

EXTERIOR EVALUATION

EXTERIOR ELEVATION

A
B
C
D
E
F
G
H



H6
A202
East Elevation (Alley)
SCALE: 3/16" = 1'-0"

SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Kojaian Mixed-Use
277 Pierce
Birmingham, Michigan 48009

Date:	Issued For:
03-10-2017	PRELIMINARY SITE PLAN REVIEW
06-28-2017	HDC & FINAL SITE PLAN REVIEW

Sheet No.:
A202
EXTERIOR ELEVATION

H



North Elevation
SCALE: $3/16" = 1'-0"$

EXTERIOR ELEVATION

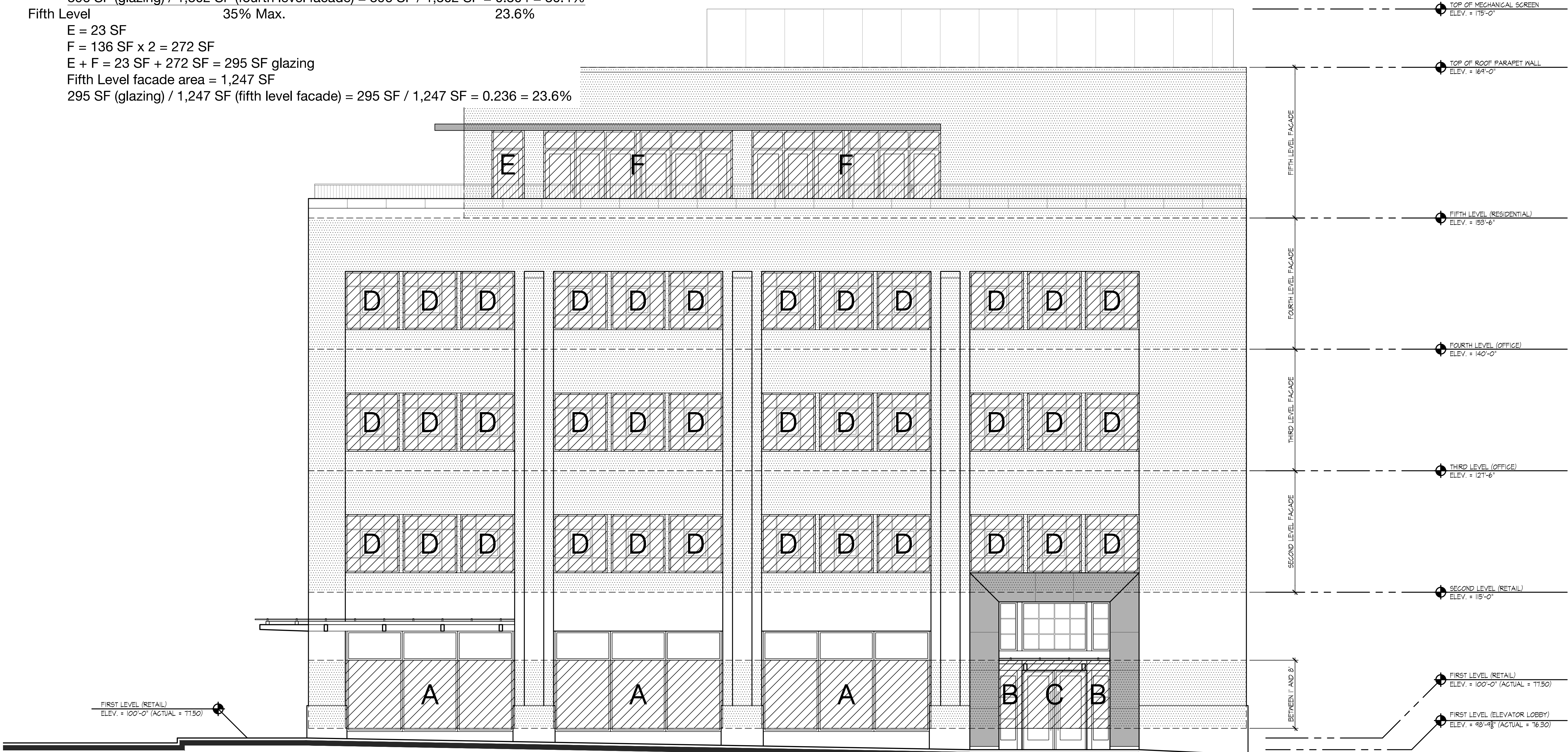
Glazing Calculations:

Merrill Street:

Required:

Proposed:

First Level (between 1' & 8') 70% Min. 70%
A = 128 SF x 3 = 384 SF
B = 17.5 SF x 2 = 35 SF
C = 47 SF
A + B + C = 384 SF + 35 SF + 47 SF = 466 SF glazing
Facade area between 1' & 8' = 670 SF
466 SF (glazing) / 670 SF (facade area between 1' & 8') = 466 SF / 670 SF = 0.695 = 70%
Second Level 35% Max. 32.8%
D = 33 SF x 12 = 396 SF glazing
Second Level facade area = 1,206 SF
396 SF (glazing) / 1,206 SF (second level facade) = 396 SF / 1,206 SF = 0.328 = 32.8%
Third Level 35% Max. 32.8%
D = 33 SF x 12 = 396 SF glazing
Third Level facade area = 1,206 SF
396 SF (glazing) / 1,206 SF (third level facade) = 396 SF / 1,206 SF = 0.328 = 32.8%
Fourth Level 35% Max. 30.4%
D = 33 SF x 12 = 396 SF glazing
Fourth Level facade area = 1,302 SF
396 SF (glazing) / 1,302 SF (fourth level facade) = 396 SF / 1,302 SF = 0.304 = 30.4%
Fifth Level 35% Max. 23.6%
E = 23 SF
F = 136 SF x 2 = 272 SF
E + F = 23 SF + 272 SF = 295 SF glazing
Fifth Level facade area = 1,247 SF
295 SF (glazing) / 1,247 SF (fifth level facade) = 295 SF / 1,247 SF = 0.236 = 23.6%



South Elevation (Merrill Street)
SCALE: 3/16" = 1'-0"

SAROKI
ARCHITECTURE

430 N. OLD WOODWARD
BIRMINGHAM, MI 48009

P. 248.258.5707
F. 248.258.5515

SarokiArchitecture.com

Project:
Kojaian Mixed-Use
277 Pierce
Birmingham, Michigan 48009

Date: 09-10-2017
Issued For: PRELIMINARY
SITE PLAN REVIEW
HDC & FINAL
SITE PLAN REVIEW

Sheet No.:

A204
GLAZING CALCULATIONS

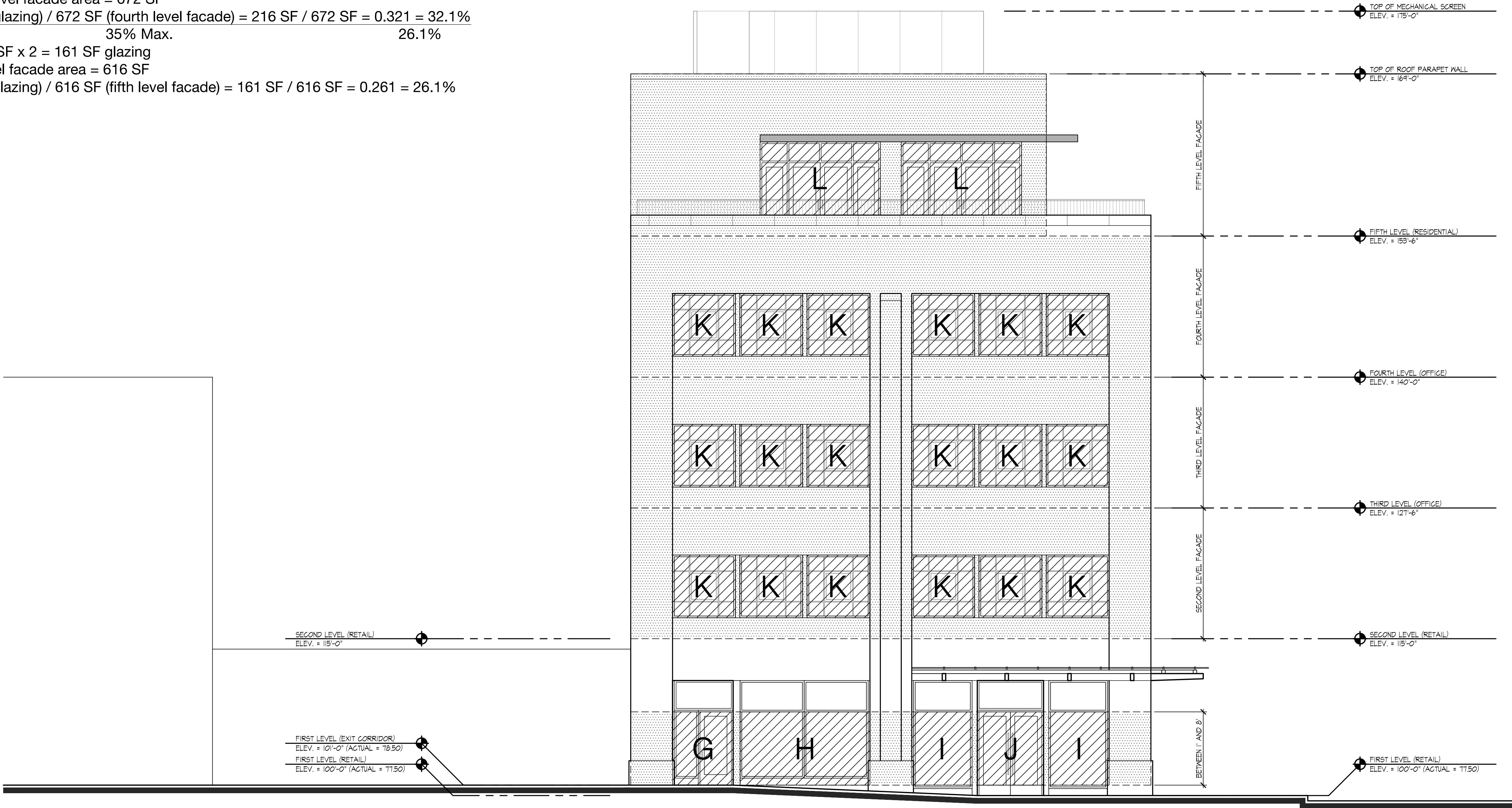
Glazing Calculations:

Pierce Street:

Required:

Proposed:

First Level (between 1' & 8')	70% Min.	72.4%
G = 41 SF		
H = 87 SF		
I = 40 SF x 2 = 80 SF		
J = 44 SF		
G + H + I + J = 41 SF + 87 SF + 80 SF + 44 SF = 252 SF glazing		
Facade area between 1' & 8' = 348 SF		
$252 \text{ SF (glazing)} / 348 \text{ SF (facade area between 1' \& 8')} = 252 \text{ SF} / 348 \text{ SF} = 0.724 = 72.4\%$		
Second Level	35% Max.	34.7%
K = 36 SF x 6 = 216 SF glazing		
Second Level facade area = 622 SF		
$216 \text{ SF (glazing)} / 622 \text{ SF (second level facade)} = 216 \text{ SF} / 622 \text{ SF} = 0.347 = 34.7\%$		
Third Level	35% Max.	34.7%
K = 36 SF x 6 = 216 SF glazing		
Second Level facade area = 622 SF		
$216 \text{ SF (glazing)} / 622 \text{ SF (third level facade)} = 216 \text{ SF} / 622 \text{ SF} = 0.347 = 34.7\%$		
Fourth Level	35% Max.	32.1%
K = 36 SF x 6 = 216 SF glazing		
Fourth Level facade area = 672 SF		
$216 \text{ SF (glazing)} / 672 \text{ SF (fourth level facade)} = 216 \text{ SF} / 672 \text{ SF} = 0.321 = 32.1\%$		
Fifth Level	35% Max.	26.1%
L = 80.5 SF x 2 = 161 SF glazing		
Fifth Level facade area = 616 SF		
$161 \text{ SF (glazing)} / 616 \text{ SF (fifth level facade)} = 161 \text{ SF} / 616 \text{ SF} = 0.261 = 26.1\%$		



H6
A205 West Elevation (Pierce Street)
SCALE: 3/16" = 1'-0"

SAROKI
ARCHITECTURE

430 N. OLD WOODWARD
BIRMINGHAM, MI 48009

P. 248.258.5707
F. 248.258.5515

SarokiArchitecture.com

Project:
Kojaian Mixed-Use
277 Pierce
Birmingham, Michigan 48009

Date:	Issued For:
03-10-2017	PRELIMINARY SITE PLAN REVIEW
06-28-2017	HDC & FINAL SITE PLAN REVIEW

Sheet No.:

A205
GLAZING CALCULATIONS

A
B
C
D
E
F
G
H



SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Kojaian Mixed-Use
277 Pierce
Birmingham, Michigan 48009

Date:	Issued For:
09-10-2017	PRELIMINARY SITE PLAN REVIEW
06-28-2017	HDC & FINAL SITE PLAN REVIEW

Sheet No.:
A210
3D VIEWS

A
B
C
D
E
F
G
H



SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Kojaian Mixed-Use
277 Pierce
Birmingham, Michigan 48009

Date:	Issued For:
09-10-2017	PRELIMINARY SITE PLAN REVIEW
06-28-2017	HDC & FINAL SITE PLAN REVIEW

Sheet No.:
A211
3D VIEWS

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10

A
B
C
D
E
F
G
H



SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Kojaian Mixed-Use
277 Pierce
Birmingham, Michigan 48009

Date:	Issued For:
09-10-2017	PRELIMINARY SITE PLAN REVIEW
06-28-2017	HDC & FINAL SITE PLAN REVIEW

Sheet No.:
A212
3D VIEWS

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10

A
B
C
D
E
F
G
H



SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Kojaian Mixed-Use
277 Pierce
Birmingham, Michigan 48009

Date:	Issued For:
09-10-2017	PRELIMINARY SITE PLAN REVIEW
06-28-2017	HDC & FINAL SITE PLAN REVIEW

Sheet No.:

A213
3D VIEWS

1 2 3 4 5 6 7 8 9 10

A

B

C

D

E

F

G

H



SAROKI
ARCHITECTURE

430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515

SarokiArchitecture.com

Project:
Kojaian Mixed-Use
277 Pierce
Birmingham, Michigan 48009

Date: 06-28-2017 **Issued For:** HDC & FINAL
SITE PLAN REVIEW

Sheet No.:

A214

3D VIEWS



MEMORANDUM

Planning Divisions

DATE: August 10, 2018

TO: Historic District Commission/Design Review Board

FROM: Matthew Baka, Senior Planner

SUBJECT: Overlay and Window Signage study

Overlay Sign Standards

The City of Birmingham has two sets of standards that are used to regulate signage throughout the City. There is the standard Sign Ordinance which governs most of the City, and there is the Overlay Sign Ordinance which regulates signage on buildings that were constructed under the Downtown Overlay development standards.

The amount of signage permitted by the standard Sign Ordinance provisions is based on the amount of building frontage. The width of the building determines the amount of square footage that can be used for signage. The allowable signage can be divided among any of the building tenants regardless of which floor they are located on provided that they meet all other provisions of the Sign Ordinance.

In contrast to the standard Sign Ordinance, the Overlay sign regulations do not limit the amount of signage or number of signs. Instead the number of signs permitted is dictated by the number of entrances and only tenants whose primary square footage is located on the first floor may have a sign. In addition to the differing restrictions listed above, there are also subtle differences between the two ordinances which make interpretation confusing for business owners and sign companies. In an attempt to illustrate the differences, the planning staff has created a chart that outlines the main differences between the ordinance sections and how they affect the use of signage in the City.

Issue:

Overlay

Over the past year the Board of Zoning Appeals has heard several variance requests for exceptions from the overlay signage standards. The primary cause of these requests has resulted from the difference between what is permitted by the standard sign ordinance and the overlay sign ordinance. The two provisions of the overlay sign ordinance that have initiated the majority of the variance requests are the following;

- The number of signs permitted determined by the number of entrances;
- Signage for upper floor commercial tenants is prohibited;

The commercial tenants on the upper floors of buildings developed under the Overlay are not currently permitted signage as they otherwise would be if they were located in a building

governed by the standard ordinance. In addition, the limitation of one sign per entry does not take into consideration businesses that occupy a corner space.

Discussion:

Overlay

The standard sign ordinance regulates signage by the size and location of the building and allows tenants/property owners to divide the allowable signage between tenants as they see fit. The successful variance requests that have been heard recently have argued that it is a hardship for the signage options to be limited in ways that are afforded to the majority of properties in the City.

On June 18, 2018 at the joint meeting the City Commission and Planning Board discussed this issue. There was consensus at that time that the sign ordinance should be studied and amendment as deemed appropriate.

Window signage

Window signage in the City of Birmingham is currently limited to 12 square feet per frontage (façade facing a street) or 18 square feet per frontage on "Big" Woodward.

The window signage throughout town is inconsistent and often exceeds the allowable amounts permitted by ordinance. While code enforcement is sent out periodically to site specific complaints and the Planning Division sends out literature to all businesses in town on a regular basis, the problem persists.

On June 18, 2018 at the joint meeting the City Commission and Planning Board discussed this issue. There was consensus at that time that the sign ordinance should be studied and amendment as deemed appropriate.

SUGGESTED ACTION:

Once the Historic District Commission/Design Review Board has identified potential changes or improvements that could be made to the ordinance staff should be directed to draft ordinance amendment language for study at a future meeting.

CITY OF BIRMINGHAM

ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND THE SIGN ORDINANCE OF THE CITY OF BIRMINGHAM:

TO AMEND ARTICLE 1, SECTION 1.10, OVERLAY DISTRICT SIGN STANDARDS, TO ELIMINATE THE OVERLAY DISTRICT SIGN STANDARDS.

1.10 Overlay District Sign Standards

Applicants who elect to develop under the Downtown Birmingham Overlay Zoning District may utilize the following standards.

A. General Standards.

1. The design of the buildings and sites shall be regulated by the provisions of Article 3: Overlay District in the City of Birmingham Zoning Ordinance.
2. Article 3: Overlay District in the City of Birmingham Zoning Ordinance shall govern the design of all privately owned land within the downtown Birmingham Overlay Zoning District.
3. The provisions of Section 1.10: Overlay District Sign Standards shall take precedence when in conflict with other provisions of the Sign Ordinance.

B. Sign Standards. Signs, when provided shall be as follows:

1. Building Sign Design Plan: For all newly constructed or exterior renovated buildings, an overall building sign design plan shall be approved by the appropriate reviewing body.
2. Design: Signs shall be integrally designed with the storefront.
3. Address Numbers: Address numbers shall be a maximum of 8 inches in vertical dimension.
4. Sign Band:
 - a) General: A single external sign band or zone may be applied to the facade of a building between the first and second floors, provided that it shall be a maximum of 1.5 feet in vertical dimension by any horizontal dimension.
 - b) Woodward Avenue Address: The external sign band or zone shall be a maximum of 2 feet in vertical dimension by any horizontal dimension. The sign band or zone may contain multiple individual signs, but all must refer to a tenant of the building whose principal square footage is on the first floor.
 - c) Lowercase letters with ascenders and descenders that extend beyond the limits of the sign height by a maximum of 50% will not be calculated into total sign area.
 - d) Each business whose principal square footage is on the first story, may have one sign per entry.
 - e) Where the Historic District Commission, Design Review Board or Planning Board has determined that a horizontal sign band is not architecturally feasible based on building design, an alternative design will be considered, provided the following conditions are met:
 - i. The sign must fit within the total sign area allowed for the business;

- ii. The sign shall be compatible with the building's street design and will enhance the streetscape;
 - iii. The sign adheres to the goals of the 2016 Plan.
- 5. Building Identification:
 - a) Signs identifying the entire structure by a building name may be permitted on the sign band.
 - b) One sign will be allowed on the principal building frontage.
 - c) Two identical signs will be allowed on each elevation of a corner building.
 - d) Non-illuminated signs identifying the entire structure by a building name may be permitted above the first floor provided the following conditions apply:
 - i. The building shall be located on Woodward;
 - ii. A tenant name shall have legal naming rights to the building;
 - iii. The sign shall be located on the top floor; and
 - iv. Only one Building Identification sign may be located on the principal building frontage.
- 6. Tenant Directory Sign: A directory sign may be comprised of individual nameplates no larger than one square foot each, or a changeable copy board for characters not exceeding one inch in height.
- 7. Additional Signs: Additional pedestrian signs for first floor tenants shall meet the following requirements:
 - a) These signs shall be attached to a building perpendicular to the facade, and extend up to 4 feet from the facade.
 - b) These signs shall be a maximum of 1.5 feet in vertical dimension and 4 feet in horizontal dimension.
 - c) There may be 1 individual pedestrian sign for each business located on the first floor, provided that such signs are spaced no less than 20 feet apart horizontally; this shall not deny any first floor place of business at least one projecting sign.
- 8. Glass: The storefront glass may be stenciled with signs not to exceed 1.5 feet in vertical dimension and 4 feet in horizontal dimension.
- 9. First Floor Awning: The valance shall not be more than 9 inches in height. The valance of an awning may be stenciled with signage totaling no more than 33% of the valance area.
- 10. Lighting:
 - a) General: External signs shall not be internally illuminated but may be back

ORDAINED this _____ day of _____, 2018 to become effective upon publication.

Andrew Harris, Mayor

Cherilynn Mynsberge, City Clerk

**BIRMINGHAM CITY COMMISSION /
PLANNING BOARD JOINT WORKSHOP SESSION MINUTES
JUNE 18, 2018
DPS FACILITY, 851 SOUTH ETON
7:30 P.M.**

I. CALL TO ORDER AND PLEDGE OF ALLEGIANCE

Mayor Andrew Harris called the meeting to order at 7:30 PM.

II. ROLL CALL

PRESENT: Mayor Nickita
Mayor Pro Tem Harris
Commissioner Bordman
Commissioner Boutros
Commissioner DeWeese
Commissioner Hoff
Commissioner Sherman

Scott Klein, Planning Board Chairman
Robin Boyle, Member
Stuart Jeffares, Member
Bert Koseck, Member
Naseem Ramin, Member
Daniel Share, Member
Janelle Whipple-Boyce, Member
J. Bryan Williams, Member

ABSENT: Jason Emerine, Member

ADMINISTRATION: City Manager Valentine, City Attorney Currier, Deputy Clerk Arft, Assistant Planner Cowan, Planning Director Ecker, Building Official Johnson

C. SIGN ORDINANCE REVIEW

Planning Director Ecker said current issues are:

- Overlay sign standards, which do not specify the square footage of signage permitted, but limit signage to one sign per entrance. As a result, businesses on a corner with two sets of windows facing two different streets are permitted only one sign. Additionally, upper-floor tenants are permitted from displaying any signage in the overlay. Businesses are appearing in front of the Board of Zoning Appeals (BZA) frequently to appeal these restrictions, which indicate the need to consider an adjustment to the ordinance.
- Window signage standards, which is limited by size – 12 sq. ft. or 18 sq. ft. on big Woodward – with no limits on quality of signage or content of signage.
- Window treatment standards, which currently prohibit window-tinting but permit first-floor businesses to put up blinds, drapes, screens and other window-blocking materials.

She concluded by saying the Community Development office gets complaints regarding these issues frequently.

Planning Director Ecker specified that the current window ordinances prevent tinting, blockage with shelves, blockage with furniture, and require 80% visible light transmittance. There is no current prohibition on blinds or other window treatments.

Commissioner Nickita said window-blockage is a huge discouragement to pedestrian activity and he would like to see the above issues explored seriously.

Mr. Koseck said the ordinance likely needs to be updated to reflect the spirit and intent of what Birmingham would like to see in windows.

Mayor Pro Tem Bordman concurred that these issues should be explored, adding that overlay businesses should likely not be limited to one sign per entrance if Birmingham is trying to encourage retail.

Commissioner DeWeese said he would like to see parking ordinances, retail ordinances, and sign ordinances addressed in that order.

Mr. Williams said he would like to see the City have increased influence on interior space in terms of what is seen from the windows.

Commissioner Hoff agreed with Mr. Williams, adding that current ordinances might provide relief for some of these concerns but would require increased enforcement.

Commissioner Boutros said he would like to see increased enforcement and further exploration of the issues.

Commissioner Nickita said Birmingham should explore prohibiting taped window signs in order to discourage the posting of haphazard signage.

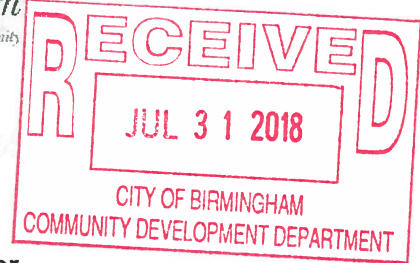
Mayor Harris noted consensus to explore the aforementioned issues further.



JAPP 18-2088

Administrative Approval Application Planning Division

Form will not be processed until it is completely filled out



1. Applicant

Name: Aspen Construction
Address: 9141 Bernice Dr
Packney MI 48169
Phone Number: 517-404-2176
Fax Number: 734-648-0476
Email: Chris@AspenCoInc.com

Property Owner

Name: Davi Hall & Maureen Gallagher
Address: 360 W Brown Street
Birmingham MI 48209
Phone Number: 248-670-8698
Fax Number: _____
Email: Maureen.gallagher34@yahoo.com

2. Applicant's Attorney/Contact Person

Name: N/A
Address: _____
Phone Number: _____
Fax Number: _____
Email: _____

Project Designer

Name: Kevin Hart
Address: 700 E Maple Ste 101
Birmingham MI 48009
Phone Number: 248-642-9427
Fax Number: _____
Email: Kevin.Hart.associates@sbglobal.net

3. Project Information

Address/Location of Property: 360 W Brown St.
Name of Development: _____
Parcel ID #: _____
Current Use: _____
Area in Acres: _____
Current Zoning: _____

Name of Historic District site is in, if any: _____
Date of HDC Approval, if any: _____
Date of Application for Preliminary Site Plan: _____
Date of Preliminary Site Plan Approval: _____
Date of Application for Final Site Plan: _____
Date of Final Site Plan Approval: _____
Date of Revised Final Site Plan Approval: _____

4. Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Six (6) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations

5. Details of the Request for Administrative Approval

See Attached Plans - Add Breezeway & Repair Front Porch

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: [Signature]

Date: 7/31/18

APPROVED

Application #: 18-0150

Office Use Only
Date Received: 7/31/18

Fee: \$100

Date of Approval: 8/1/18

Date of Denial: _____

Reviewed by: M. Burt

CITY OF BIRMINGHAM
Date 07/31/2018 4:13:30 PM
Ref 00151005
Receipt 419668
Amount \$100.00



CONSENT OF PROPERTY OWNER

I, MAUREEN GALLAGHER & PAUL HALL THE STATE OF MICHIGAN AND COUNTY OF
(Name of property owner)

OAKLAND STATE THE FOLLOWING:

1. That I am the owner of real estate located at 366 W. BROWN ST, BIRMINGHAM, MI
(Address of affected property)
2. That I have read and examined the Application for Administrative Approval made to the City of Birmingham by:
ASPEN CONSTRUCTION;
(Name of applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

Dated: 7-31-18

MAUREEN GALLAGHER
Owner's Name (Please Print)
Maureen Gallagher
Owner's Signature

Existing Garage

New Flush Planter

NEW VENT-FREE 32" FIREPLACE "SUPERIOR VRT4000Z"

New Flush Planter

Existing Gas Meter (To Remain)

Outdoor Courtyard

8'-0" x 9'-1 1/2" ATRIUM DOOR

2x10 RAFTERS @ 16" O.C.

VAULTED CEILING

7'-7"

1'-6"

5'-0" CASED ARCH

1'-0"

5'-0"

2'-4"

Open to Above

5'-0" HATCH Centered in Space

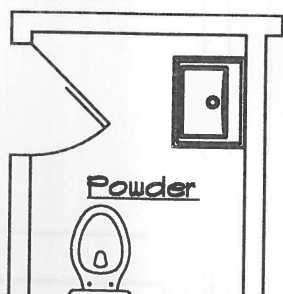
Existing Living

Existing Kitchen

DN

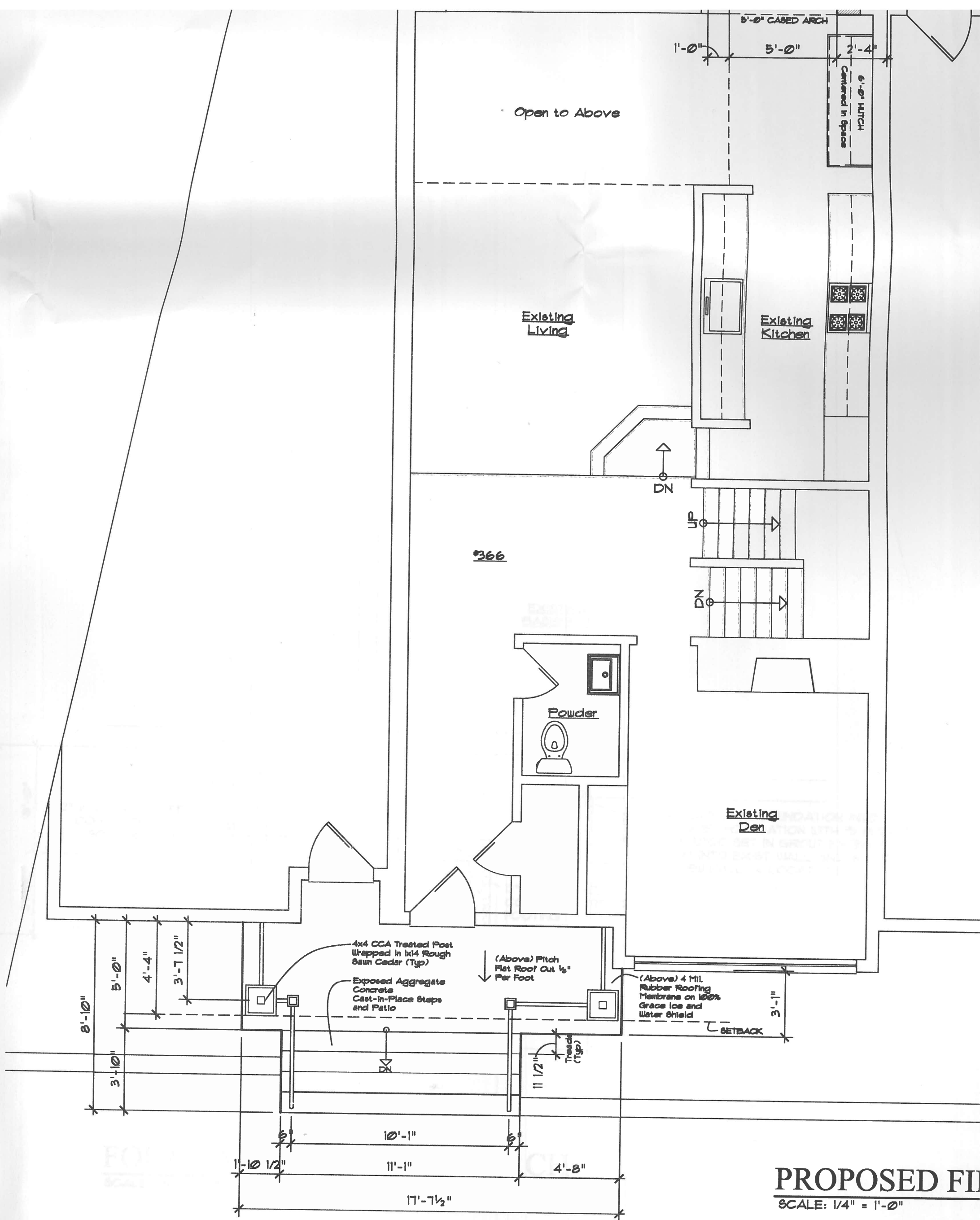
#366

Powder



5'

5'



PROPOSED FI
SCALE: 1/4" = 1'-0"

ELEVATION

- MATCH NEW RIDGE OF
MUDROOM TO EXISTING
GARAGE RIDGE HEIGHT
(V.I.F.)

EXISTING GARAGE

DIMENSIONAL ASPHALT SHINGLES TO
MATCH EX'G ON 15# FELT PAPER W/
100% CONTINUOUS "GRACE" ICE AND
WATER SHIELD OVER ENTIRE ROOF ON
3/4" EXTERIOR GRADE PLYWOOD

NEW CROWN MOLDING

NEW SIDING TO MATCH
EXISTING

MATCH NEW MUDROOM
SOFFIT TO EXISTING
HOUSE SOFFIT (V.I.F.)

ALUMINUM GUTTER ON 1x6
FASCIA BOARD (TYP)

8'-0" x 6'-8"
VISIONS VINYL
PATIO DOOR
8068 A1/A

12"x42" CONCRETE
FOOTING WITH (2) No.
5 RE-BARS TOP
AND BOTTOM

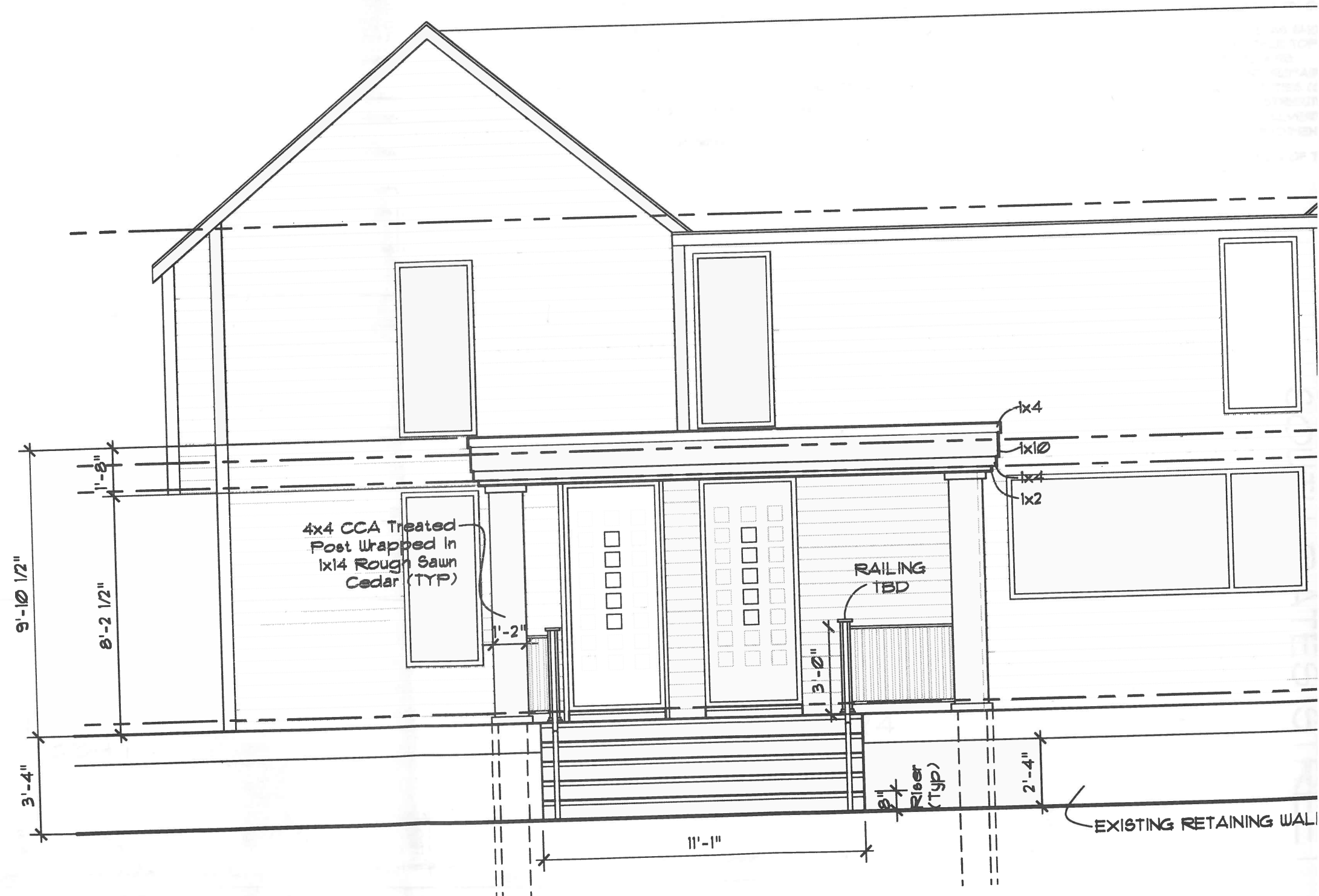
CLIENT:
MAUREEN GALLAGHER & PAUL HALL
366 WEST BROWN STREET
BIRMINGHAM MI 48009

KEVIN D. HART, AIA



SHEET

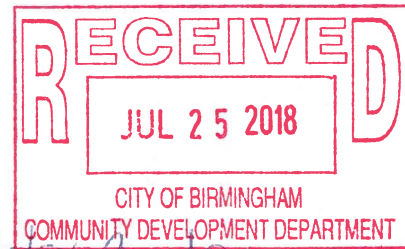
A-



SOUTH ELEVATION
 SCALE: 1/2" = 1'-0"

Administrative Approval Application Planning Division

Form will not be processed until it is completely filled out



1. Applicant

Name: Windowpro LLC / John Zahnow
Address: 47705 West Rd B106
Wixom MI 48393
Phone Number: 248-716-7330
Fax Number: 248-944-3867
Email: lhogg@windowpro.com

Property Owner

Name: Peter & Betsy Coats
Address: 1876 North Lawn
Birmingham, MI 48009
Phone Number: 248-790-1429
Fax Number: N/A
Email: N/A

2. Applicant's Attorney/Contact Person

Name: Loretta Hogg
Address: 47705 West Rd B106
Wixom, MI 48393
Phone Number: 248-716-7330
Fax Number: N/A
Email: lhogg@windowpro.com

Project Designer

Name: N/A
Address: N/A
Phone Number: N/A
Fax Number: N/A
Email: N/A

3. Project Information

Address/Location of Property: _____
Name of Development: _____
Parcel ID #: _____
Current Use: _____
Area in Acres: _____
Current Zoning: _____

Name of Historic District site is in, if any: _____
Date of HDC Approval, if any: _____
Date of Application for Preliminary Site Plan: _____
Date of Preliminary Site Plan Approval: _____
Date of Application for Final Site Plan: _____
Date of Final Site Plan Approval: _____
Date of Revised Final Site Plan Approval: _____

4. Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Six (6) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations

5. Details of the Request for Administrative Approval

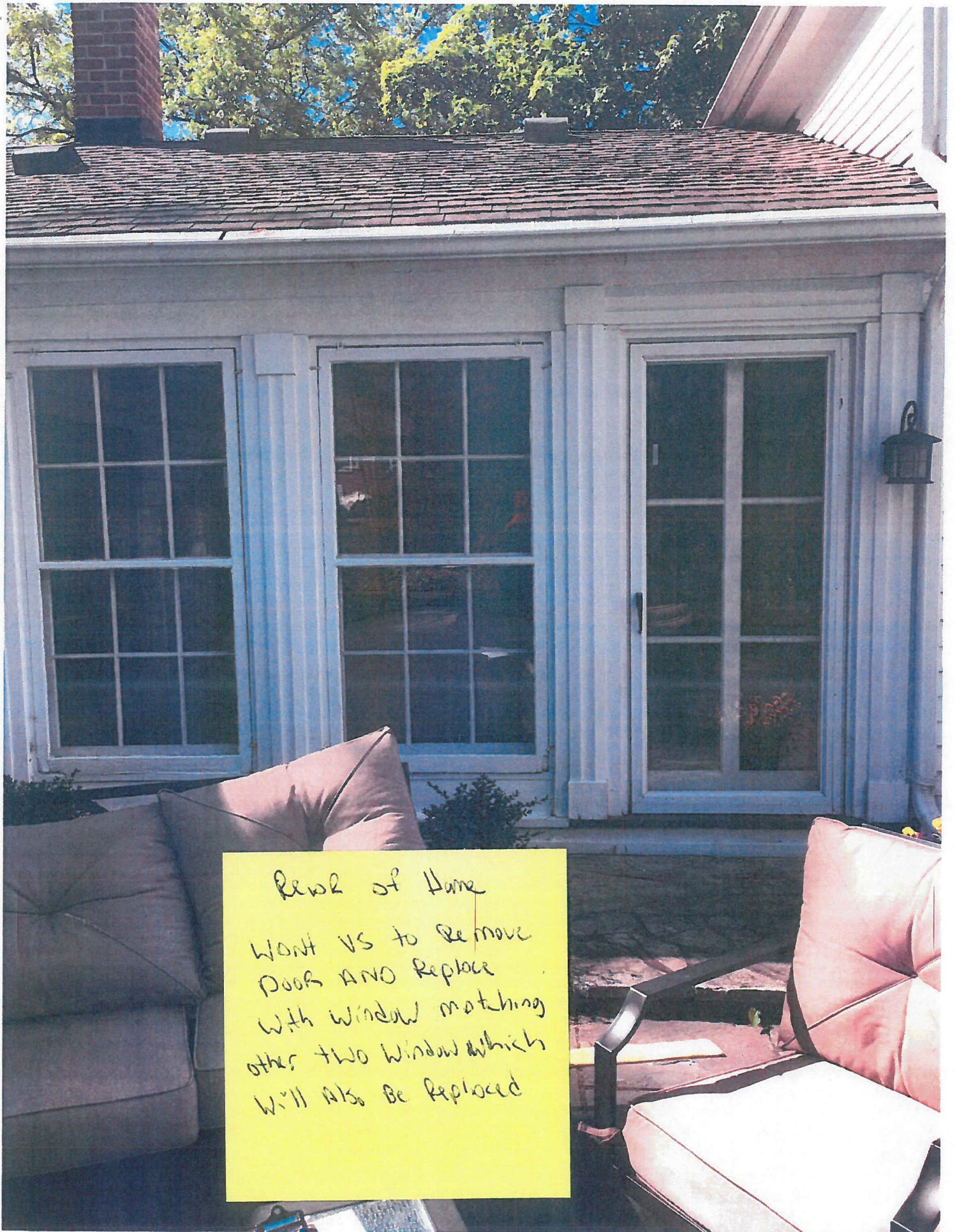
Replacing (5) existing windows with (5) double hung windows, into existing inserts
Replacing Pease to match historic photos

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: John Zahnow

Date: 6/1/18

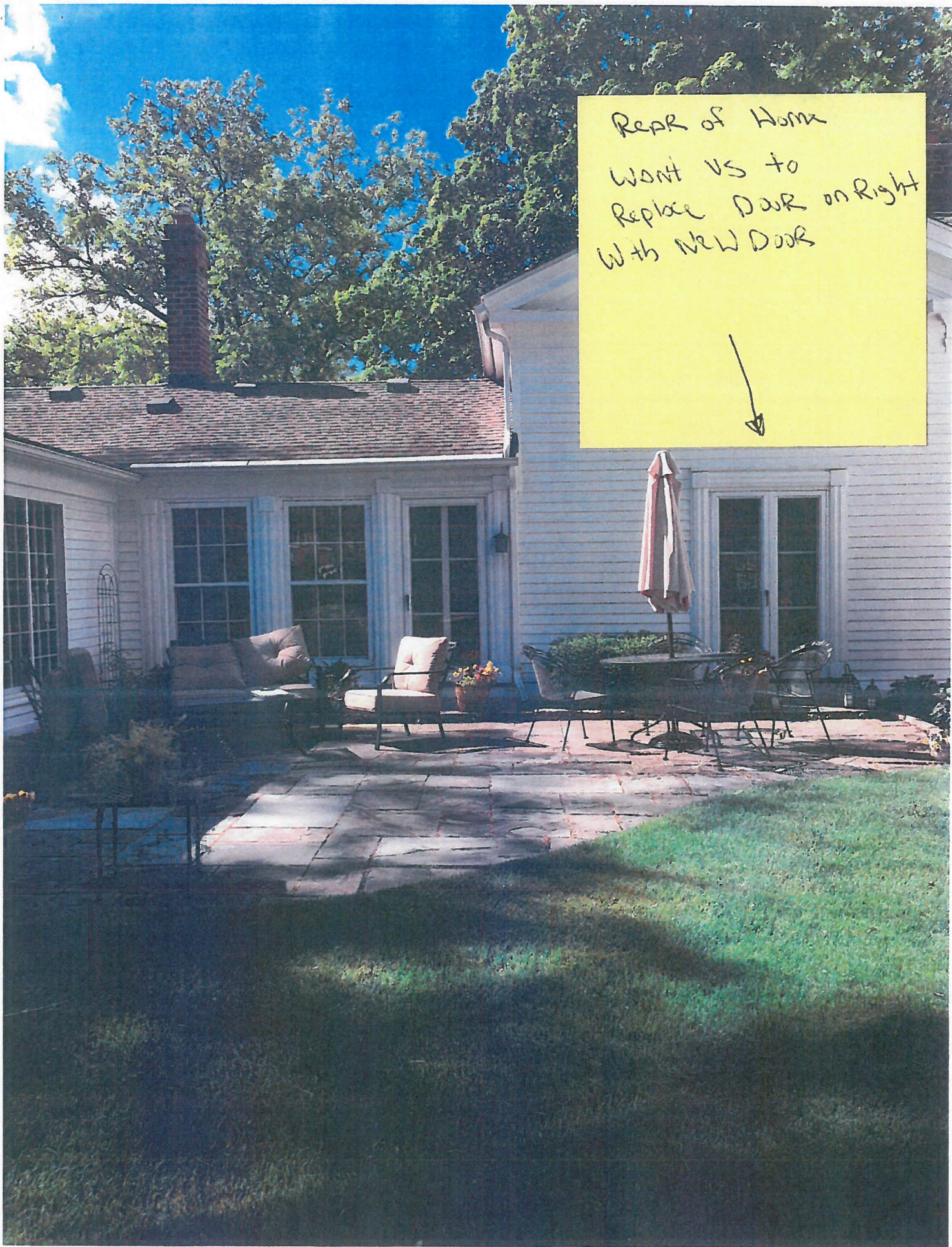
Application #: <u>18-0143</u>	Office Use Only	Fee: <u>N/A</u>
Date Received: <u>7/25/18</u>	Date of Approval: <u>7/25/18</u>	Reviewed by: <u>M.B.</u>
Date of Denial: _____		



Rear of Home
Want vs to Remove
Door AND Replace
With Window matching
other two windows which
will also be replaced







REAR of Home
WONT VS to
Replace DOOR on Right
With NEW DOOR



* Aluminum Coil

Front of Home

Replacement Insert
Window Done By
Others 10 years Ago

Aluminum coil on sides
AND Top. Bottom original
wood painted

↑
original Wood painted





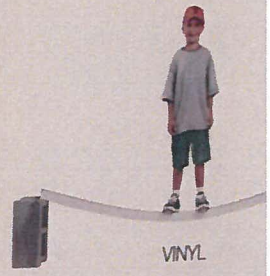
Window PRO
The Marvin Experts

INFINITY
from MARVIN
REPLACEMENT WINDOWS
Built for life®

INFINITY®
from **MARVIN**
REPLACEMENT WINDOWS
Built for life®

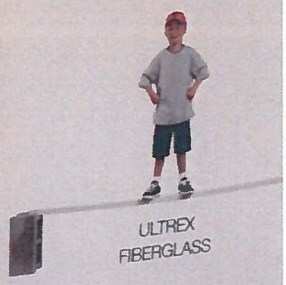


The Int Different Ultre Fibergla



VINYL

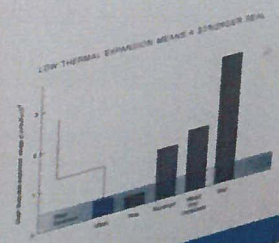
ULTREX® FIBERGLASS
8X STRONGER THAN VINYL



ULTREX
FIBERGLASS

FIBERGLASS OUTLASTS AND
OUTPERFORMS ALL OTHER
WINDOW MATERIALS:

- Completely low maintenance
- Superior durability
- 8x stronger than vinyl
- 1/6 the thermal expansion of vinyl
- Resists distortion up to 350°F
- 500x less conductive than aluminum
- Won't rot, dent, scratch, chalk, fade, distort, or discolor



INFINITY
from MARVIN
REPLACEMENT WINDOWS







Administrative Approval Application Planning Division

Form will not be processed until it is completely filled out

1. Applicant

Name: WILLIAM L. FINNICUM
Address: Finnicum Brownlie Architects
25825 German Mill, Franklin, MI 48025
Phone Number: 248.851.5022
Fax Number: — Mobile: 248.867.8883
Email: william@fbarch.com

Property Owner

Name: MICHAEL & BARBARA HOROWITZ
Address: 539 S. BATES
Birmingham, MI 48009
Phone Number: _____
Fax Number: _____
Email: _____

2. Applicant's Attorney/Contact Person

Name: _____
Address: _____
Phone Number: _____
Fax Number: _____
Email: _____

Project Designer

Name: WILLIAM L. FINNICUM
Address: Finnicum Brownlie Architects
Phone Number: SEE ABOVE: Applicant
Fax Number: _____
Email: _____

3. Project Information

Address/Location of Property: 539 S. Bates
Name of Development: Proj. No: JASF 17-0004
Parcel ID #: 08.19.36.178.004
Current Use: single family residence
Area in Acres: .1945
Current Zoning: R-3

Name of Historic District site is in, if any: Bates St. H.D.
Date of HDC Approval, if any: Nov 2016, Ap. 2017, Sept 2017
Date of Application for Preliminary Site Plan: — 5/25/18 Admin
Date of Preliminary Site Plan Approval: —
Date of Application for Final Site Plan: —
Date of Final Site Plan Approval: —
Date of Revised Final Site Plan Approval: —

4. Attachments

- Warranty Deed with legal description of property on file
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples on file
- Digital Copy of plans emailed 7.11.18

Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations

5. Details of the Request for Administrative Approval

screened porch floor is raising 7", so the porch doors & windows will also be raised 7"

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: William L. Finnicum

Date: 7.11.18

APPROVED

Application #: 18-0137

Office Use Only
Date Received: 7/13/18

Fee: N/A

Date of Approval: 7/16/18

Date of Denial: _____

Reviewed by: M. B/L



CONSENT OF PROPERTY OWNER

Barbara Horowitz
I, Michael Horowitz OF THE STATE OF Michigan AND COUNTY OF
(Name of property owner)

OAKLAND STATE THE FOLLOWING:

1. That I am the owner of real estate located at 539 S. Bates;
(Address of affected property)
2. That I have read and examined the Application for Administrative Approval made to the City of Birmingham by:
William L. Finnicum;
(Name of applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

Dated: 7.11.12

Michael Horowitz
Owner's Name (Please Print)

[Signature]
Owner's Signature

Barbara Horowitz

Barbara Horowitz

e-recorded

LIBER 50176 PAGE 113

0235893

388695-55

OAKLAND COUNTY TREASURERS CERTIFICATE
I HEREBY CERTIFY that there are no TAX LIENS or TITLES
held by the state or any individual against the within description
and all TAXES on same are paid for five years previous to the
date of this instrument as appears by the records in the office
except as stated.
Reviewed By: RC

Dec 13, 2016

5.00 E-FILE

Sec. 125, Act 206, 1893 as amended
ANDREW E. MEISNER, County Treasurer

Not Examined

LIBER 50176 PAGE 113
\$21.00 DEED - COMBINED
\$4.00 REMONUMENTATION
\$5.00 AUTOMATION

\$5,719.00 TRANSFER TX COMBINED
12/13/2016 05:17:34 PM RECEIPT# 150456
PAID RECORDED - Oakland County, MI
Lisa Brown, Clerk/Register of Deeds

STATE OF
MICHIGAN

OAKLAND
12/13/2016
150456



REAL ESTATE
TRANSFER TAX

5791.50 CO
\$4,967.50 ST
001067159



WARRANTY DEED

The Grantor(s): Brian A. Solomon and Elizabeth A. Solomon, Husband and Wife
whose address is 539 South Bates, Birmingham, MI 48009

Convey and Warrant to: Michael Horowitz and Barbara Horowitz, Husband and Wife
whose address is 2828 Peachtree Road, NW, Unit 601, Atlanta, GA 30305

the following described premises situated in the City of Birmingham, County of Oakland and State of Michigan, to-wit:

Lot 49, Assessor's Replat of Part of Torrey's Addition, Hoed's Addition and Smith Addition as recorded in Liber
41, on Page 36 of Plats, Oakland County Records.

Commonly known as: 539 South Bates Street, Birmingham, MI 48009
Tax parcel number(s): 08-19-36-178-004

For the sum of: Six Hundred Sixty Five Thousand and 00/100 Dollars (\$665,000.00)

Subject to: the existing building and use restrictions, easements, and zoning ordinances, if any.

Dated: November 23, 2016

Seller(s):

Brian A. Solomon

Elizabeth A. Solomon

(2)

(Attached to and becoming a part of the Warranty Deed dated November 23, 2016, File Number 388695-55)

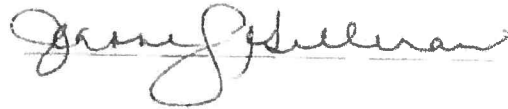
STATE OF MICHIGAN

COUNTY OF

Oakland

)
)SS.
)

Acknowledged by Brian A. Solomon and Elizabeth A. Solomon, Husband and Wife, before me on the 23rd day of November, 2016.



JEANNE L. GILLERAN
NOTARY PUBLIC, STATE OF MI
COUNTY OF MACOMB
MY COMMISSION EXPIRES Aug 16, 2018
ACTING IN COUNTY OF OAKLAND

Acting in _____
My commission expires: _____

Notary Public
County,
Michigan
County

Drafted by: Brian a. Solomon, 539 South Bates, Birmingham, MI 48009

When recorded return to: Michael Horowitz, 539 South Bates Street, Birmingham MI 48069

c/o Tricap Holdings
30600 Northwestern Hwy. Ste 430
Farmington Hills, MI 48334



REQUEST FOR HDC ADMINISTRATIVE APPROVAL: 539 South Bates
Minor Change **July 11, 2018**

To: Jana Ecker
Planning Director

Matt Baka
Senior Planner

From: William Finnicum AIA NCARB
Finnicum Brownlie Architects

Re: Project Number: JASF17-0004

Contents: Administrative Approval Application
Memorandum, July 11, 2018
2 Sets of Drawings, red-marked
Consent of Property Owner
Application Checklist
Warranty Deed

Statement:

On behalf of the owners of 539 South Bates Street, Mr. and Mrs. Michael Horowitz, Finnicum Brownlie Architects requests administrative approval for a change from the Nov 2016 HDC Approval, April 2017, September 2017 and May 2018 Administrative Approvals:

The Screened porch floor is being raised 7", therefore the screened porch door and window headers will also raise 7". The resulting door and window height will match the height of the other windows and doors in the addition.

Thank you for your consideration of this matter.

William L. Finnicum

William L. Finnicum AIA NCARB
Finnicum Brownlie Architects

APPROVED

M.B.L. 7/16/18
18-0137 HDC

NEW CERTANTEED LANDMARK
PRO (DRIFTWOOD) ASPHALT
SHINGLES ON NEW ROOFS

FRIEZE BD. TO BOTTOM
OF 10" SUB-RAKE

ENAMELED EAVE-
TROUGH &
DOWNSPOUTS MATCH EX.

+17'-10 1/2"
E/N Plate

5 1/2" JAMB TRIM

"SHAKERTOWN" CEDAR
SHAKE PANELS, 7" EXP.,
EVEN BUTT, PAINTED

CORNERS MITERED TYP.

+9'-9 3/4"
E/N 2nd FinFlr

10" TRIM

"SUNSPACE" ALUMINUM
VERTICAL 4-TRACK SCREEN
WINDOWS & DOORS

+5'-7 1/8"
N Garage Attic

STONE NOSING

13"± TRIM TO BOTTOM
OF SKIRT BD.

8.5"± TRIM TO BELOW
SILL PLATE

±0"
E/N 1st FinFlr

STUCCO ON CONCRETE

-3'-4 1/4"
N Garage Slab



WEST ELEVATION

SCALE: 1/4" = 1'-0"

1
1/2



FINNICUM
BROWNLIE
ARCHITECTS

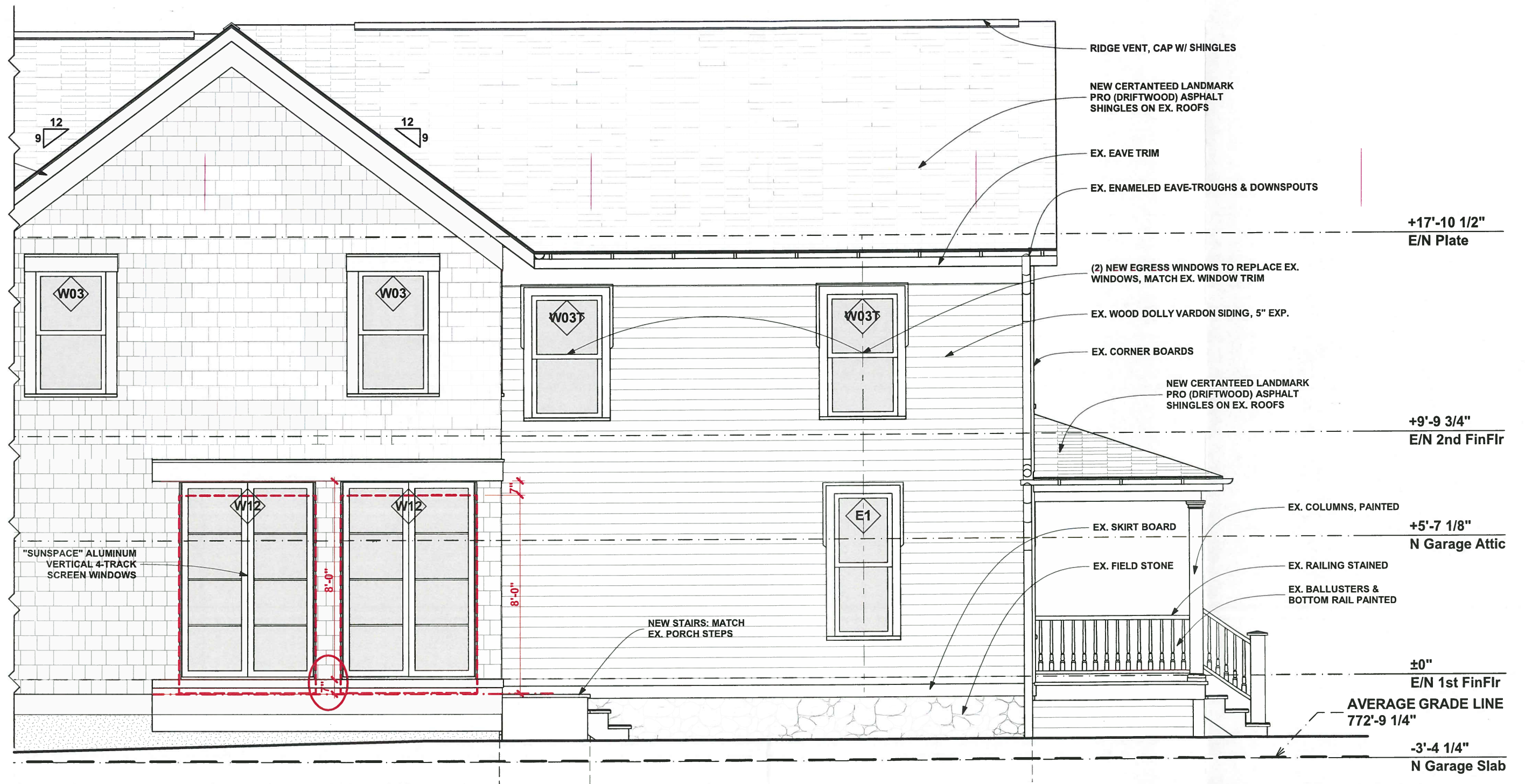
25885 German Mill Rd.
FRANKLIN, MI 48025
248 851 5022

HDC ADMIN.
APPROVAL:

07-11-2018

539 S. BATES STREET
BIRMINGHAM, MI

1/2



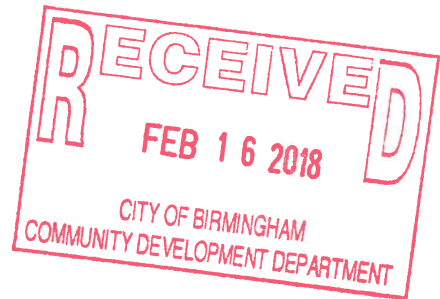
NORTH ELEVATION

SCALE: 1/4" = 1'-0"

1
2/2

Administrative Approval Application Planning Division

Form will not be processed until it is completely filled out



1. Applicant

Name: Baldwin Public Library
Address: 300 W Merrill
Birmingham, MI 48009
Phone Number: 248.647.1700
Fax Number: _____
Email: _____

Property Owner

Name: City of Birmingham
Address: 151 Martin
Birmingham, MI 48009
Phone Number: _____
Fax Number: _____
Email: _____

2. Applicant's Attorney/Contact Person

Name: Doug Koschik, Director
Address: Same as above
Phone Number: 248.647.1800
Fax Number: _____
Email: _____

Project Designer

Name: Luckenbach Ziegelman Gardner Architects
Address: 555 S Old Woodward #27L
Birmingham, MI 48009
Phone Number: 248.644.0600
Fax Number: 248.642.3990
Email: gardner-arch1@sbcglobal.net

3. Project Information

Address/Location of Property: 300 W Merrill
Birmingham, MI 48009
Baldwin Library
Name of Development: Idea Space - HVAC
Parcel ID #: _____
Current Use: Library
Area in Acres: _____
Current Zoning: _____

Name of Historic District site is in, if any: _____
Date of HDC Approval, if any: _____
Date of Application for Preliminary Site Plan: _____
Date of Preliminary Site Plan Approval: _____
Date of Application for Final Site Plan: _____
Date of Final Site Plan Approval: _____
Date of Revised Final Site Plan Approval: _____

4. Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples/Specification Sheets
- Digital Copy of plans
- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations

5. Details of the Request for Administrative Approval

See Attached Report - Page 1 for Project Description

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: Doug Koschik Date: 2-16-18

Application #: <u>19-0139</u>	Office Use Only	Date Received: <u>2/16/18</u>	APPROVED
Date of Approval: <u>7/17/18</u>	Date of Denial: _____	Fee: <u>N/A</u>	Reviewed by: <u>M.B.L.</u>

Luckenbach|Ziegelman|Gardner Architects, PLLC



Project Baldwin Public Library
300 W. Merrill
Birmingham, Michigan 48009

Subject Idea Space: 1. Laser Engraver Rooftop Exhaust Proposed Location and Information
2. Idea Space Rooftop Exhaust Proposed Location Imagery Information

To City of Birmingham
Jana Ecker, Planning Director
151 Martin Street
Birmingham, Michigan 48009

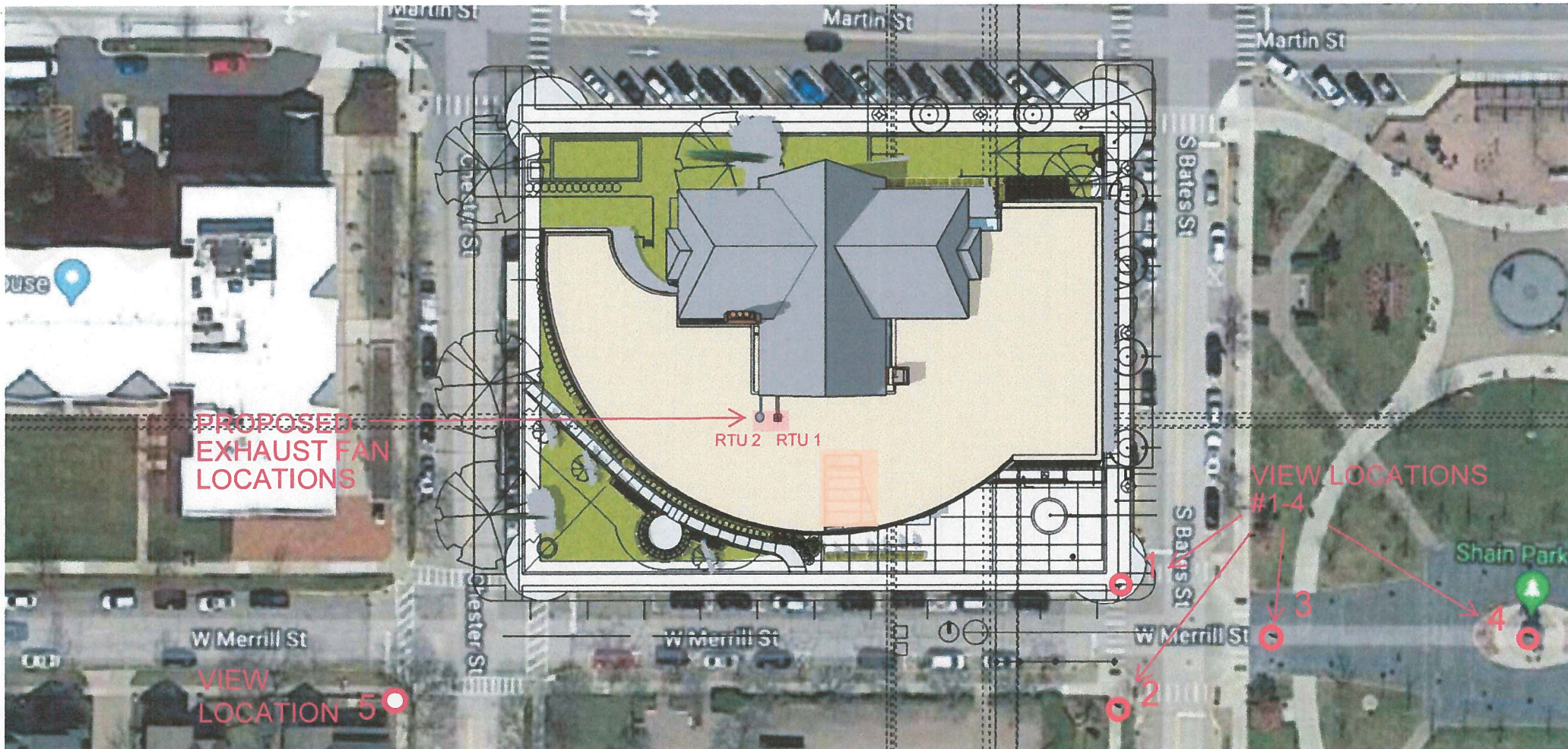
Date February 14, 2018

Project Description

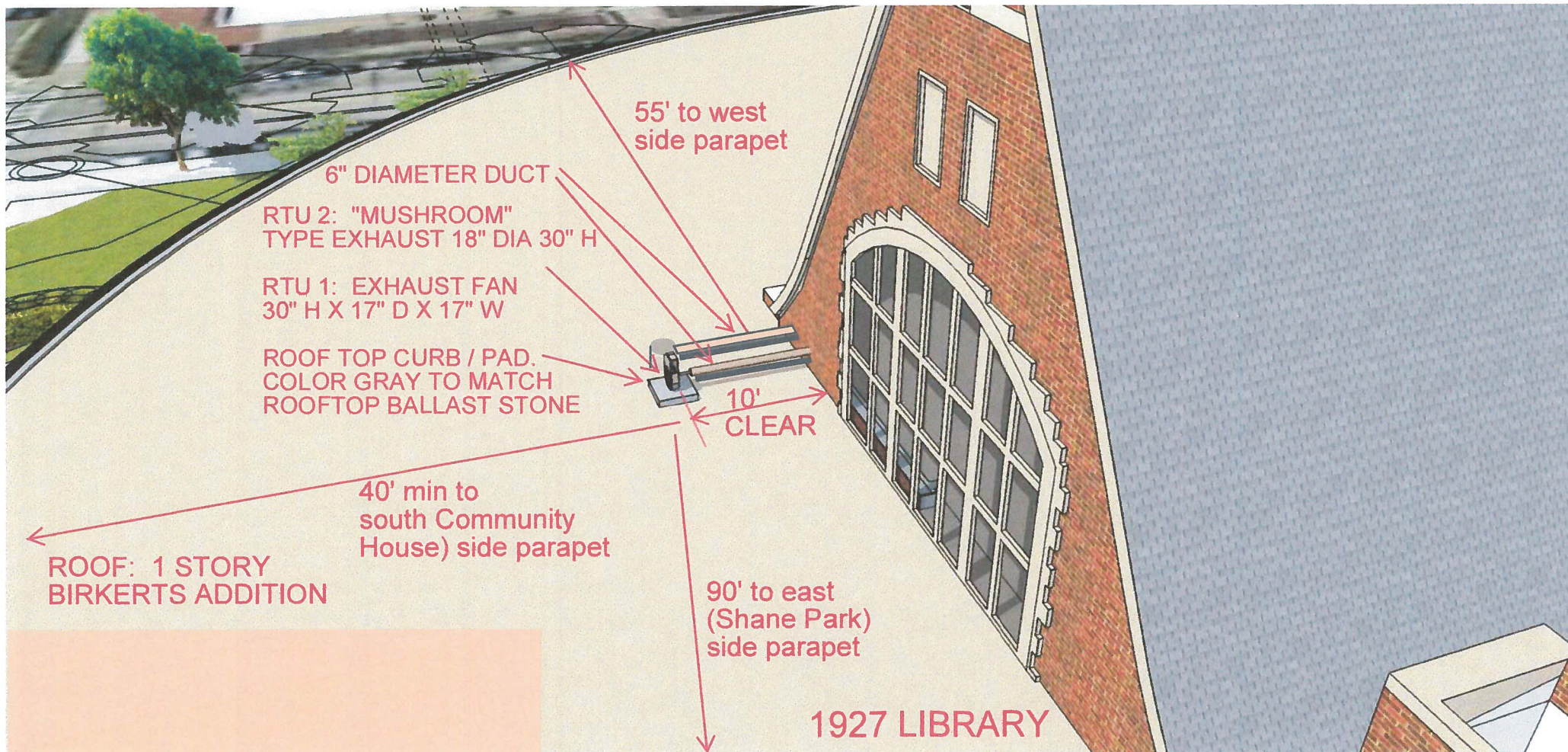
1. Laser Engraver Rooftop Exhaust - Required for direct exhaust of fumes generated by a new laser engraver machine located in the BPL Library *Idea Space*. The current laser engraver exhaust fan is an “in-line” type fan currently located in a 2nd level utility room and exhausting through a diffuser grill located on the south side of the 1927 brick roof gable approximately three feet above the roof of the one story Adult Services (Birkerts) wing of the library. This exhaust location and diffuser grill were administratively approved by the Planning Department in conjunction with the design and construction of the Adult Services 2016-2017 Renovation Project. Based upon the CFM requirements necessary to exhaust the laser engraver, the currently installed “in-line” fan is not adequate. Mechanical Engineer George Hopkins of Peter Basso & Associates, Troy, Michigan is recommending an “end of the line” type centrifugal blower exhaust fan (shown as RTU-1 in the supporting documentation), to be mounted on the roof of the one-story Adult Services (Birkerts) wing of the library. The attached information / documentation is provided to describe the requested design change. Included in this documentation is the Peter Basso & Associates Field Observation Report dated 10/16/17. PBA’s recommendations are described as “Alternative 3” on pages 2 and 3 of the PBA report.

2. Idea Space Exhaust - BPL wishes to provide additional patron services and opportunities within the *Idea Space* location. Because of these additional activities and use, the space will require HVAC separate from the adjacent library spaces. Supply air will be provided from either a separately zoned existing HVAC equipment, or from a supplemental unit to be located within the building above the *Idea Space*. Per the PBA Engineering, with either HVAC supply scenario, a separate roof top exhaust fan unit (shown as RTU 2 in the supporting documentation) will be required to exhaust the space.

John Harrison Gardner, AIA



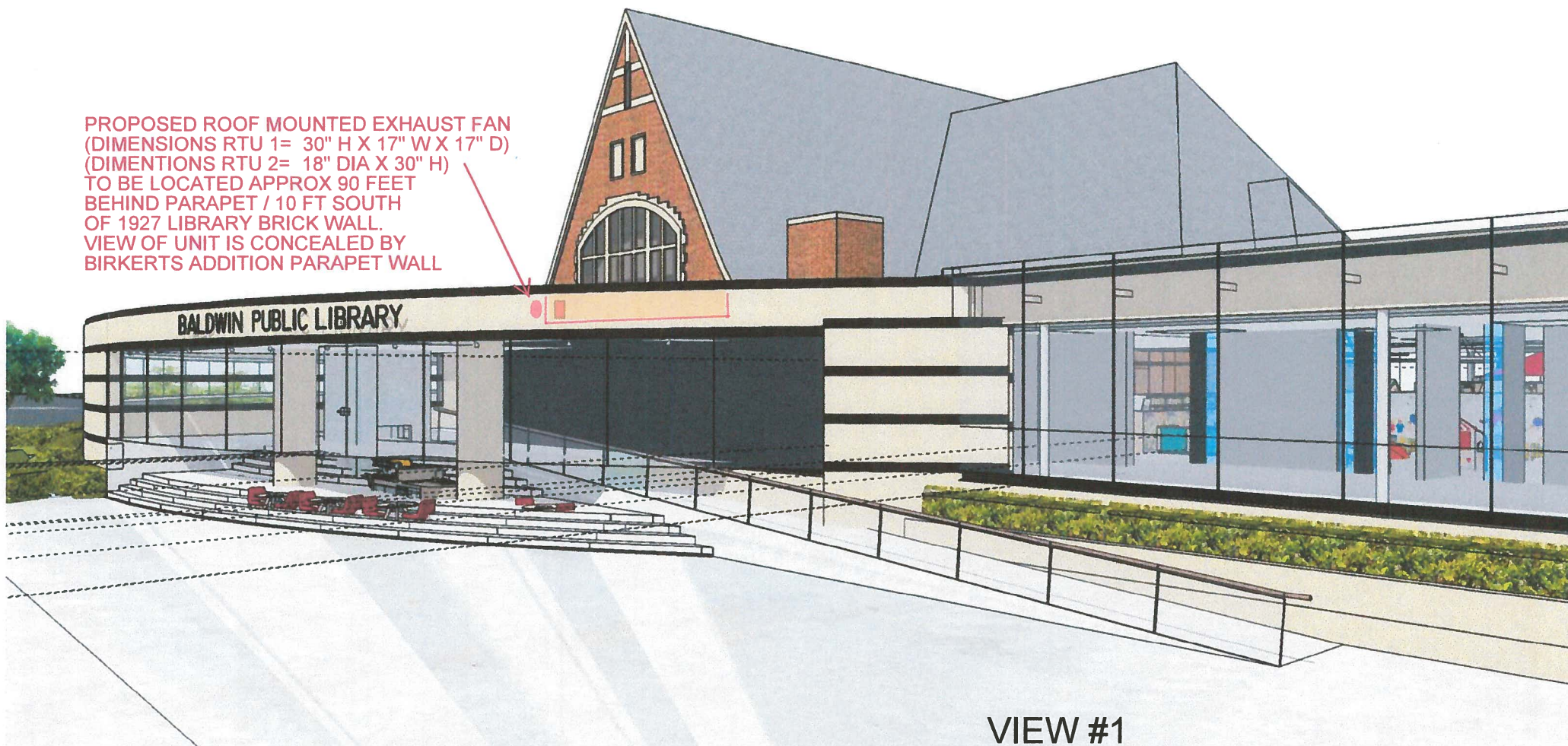
SITE PLAN / ROOF PLAN 2.10.2018



CLOSE UP "BIRDS EYE"
ROOF PLAN VIEW OF
PROPOSED EXHAUST
FAN LOCATION

2.14.2018

PROPOSED ROOF MOUNTED EXHAUST FAN
(DIMENSIONS RTU 1= 30" H X 17" W X 17" D)
(DIMENSIONS RTU 2= 18" DIA X 30" H)
TO BE LOCATED APPROX 90 FEET
BEHIND PARAPET / 10 FT SOUTH
OF 1927 LIBRARY BRICK WALL.
VIEW OF UNIT IS CONCEALED BY
BIRKERTS ADDITION PARAPET WALL



VIEW #1

FROM CORNER OF MERRILL
AND S. BATES STREET

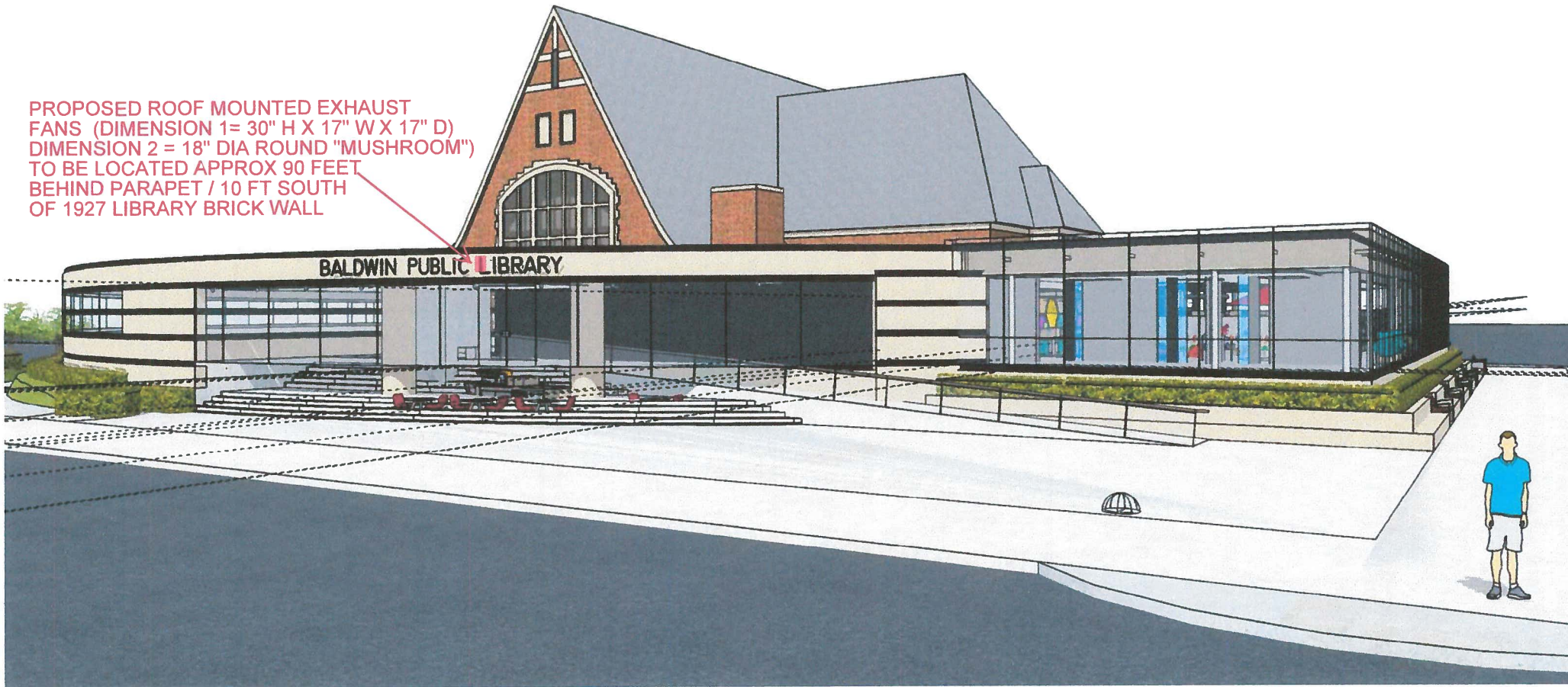
2.10.2018

BPL

Baldwin Public Library

Luckenbach Ziegelman Gardner Architects

PROPOSED ROOF MOUNTED EXHAUST
FANS (DIMENSION 1= 30" H X 17" W X 17" D)
DIMENSION 2 = 18" DIA ROUND "MUSHROOM")
TO BE LOCATED APPROX 90 FEET
BEHIND PARAPET / 10 FT SOUTH
OF 1927 LIBRARY BRICK WALL



BPL

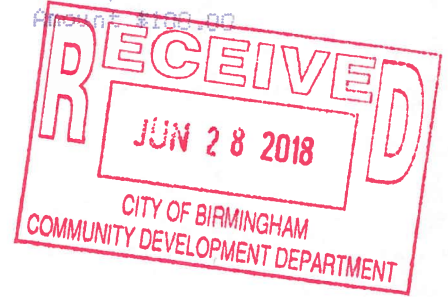
Baldwin Public Library

VIEW #2
FROM THE CORNER OF
MERRILL & S. BATES STREETS 2.14.2018

Luckenbach Ziegelman Gardner Architects



CITY OF BIRMINGHAM
Date 06/29/2018 11:12:34 AM
Ref 00150023
Receipt 435120
Amount \$100.00



Administrative Sign Approval Application Planning Division

Form will not be processed until it is completely filled out

1. Applicant

Name: Erik Miller
Address: 4030 Oak Tree Ct
Rochester, MI 48306
Phone Number: 248.619.5933
Fax Number: _____
Email: ebmiller@gmail.com

Property Owner

Name: Fuller Central Park Properties
Address: 112 Pearbry St
Birmingham, MI
Phone Number: 248.642.0029
Fax Number: _____
Email: _____

2. Applicant's Attorney/Contact Person

Name: Frank Lambert
Address: 405 E 9th St
Royal Oak, MI 48067
Phone Number: 248.630.841.7071
Fax Number: _____
Email: Frank@ideationorange.com

Project Designer

Name: Michelle Lammey
Address: 405 E 9th St
Royal Oak, MI 48067
Phone Number: 248.399.4832
Fax Number: _____
Email: Michelle@ideationorange.com

3. Project Information

Address/Location of Property: 223 South
Old Woodward Ave
Name of Development: Unit 17
Parcel ID #: _____
Current Use: Retail
Area in Acres: _____
Current Zoning: B4

Name of Historic District site is in, if any: _____
Date of HDC Approval, if any: _____
Date of Application for Preliminary Site Plan: _____
Date of Preliminary Site Plan Approval: _____
Date of Application for Final Site Plan: _____
Date of Final Site Plan Approval: _____
Date of Revised Final Site Plan Approval: _____

4. Attachments

- Two (2) folded paper copies of plans ✓
- Authorization from Owner(s) (if applicant is not owner) ✓
- Material Samples ✓
- Digital Copy of plans (email)

5. Details of the Request for Administrative Approval

New proposed wall sign & (2) pole packet banners (Project 42)

6. Location of Proposed Signs

Front & Rear

7. Type of Sign(s)

Wall: 3mm aluminum Panel w/ letters
Ground: _____
Projecting: DF Pole Packet Banner
Qty of (2)

Canopy: _____
Building Name: _____
Post-mounted Projecting: _____

8. If a wall sign, indicate wall to be used:

Front: ☒
Left side: _____

Rear: _____
Right side: _____

9. Size of Sign

Width: 159"
Depth: 1/4" Panel - 1/2" Dia
Height of lettering: _____

Height: 19"
Total square feet: _____

10. Existing signs currently located on property

Number: 0
Square feet per sign: _____

Type(s): _____
Total square feet: _____

11. Materials/Style

Metal: aluminum / aluminum letters
Plastic: _____
Color 1 (including PMS color #): _____
Additional colors (including PMS color #): Paint spec: MP4225 white wood

Wood: _____
Glass: _____
Color 2 (including PMS color #) Black

12. Sign(s) Read(s): UNTIED ON WOODWARD

13. Sign Lighting

Type of lighting proposed: baseball lamps
Size of light fixtures (LxWxH): _____

Number proposed: 4
Height from grade: _____

Maximum wattage per fixture: _____
Location: Front

Proposed wattage per fixture: _____
Style (include specifications): _____

14. Landscaping (Ground signs only)

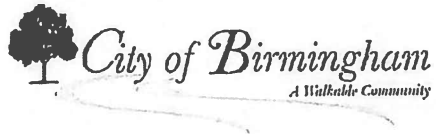
Location of landscape areas: _____

Proposed landscape material: _____

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: _____ Date: _____

APPROVED		Office Use Only	
		Application #: <u>18-0124</u>	Date Received: <u>6/28/18</u>
Date of Approval: <u>8/3/18</u>	Date of Denial: _____	Fee: <u>\$100</u>	Reviewed by: <u>m. B/L</u>



CONSENT OF PROPERTY OWNER

I, Fuller Central Park Properties, OF THE STATE OF MI AND COUNTY OF
(Name of property owner)

Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 223 S. Old Woodward Ave., Bham;
(Address of affected property)
2. That I have read and examined the Application for Administrative Approval made to the City of Birmingham by:
Eric Miller;
(Name of applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

Dated: 6-28-18

STEVEN G Quintal
Owner's Name (Please Print)

[Signature]
Owner's Signature

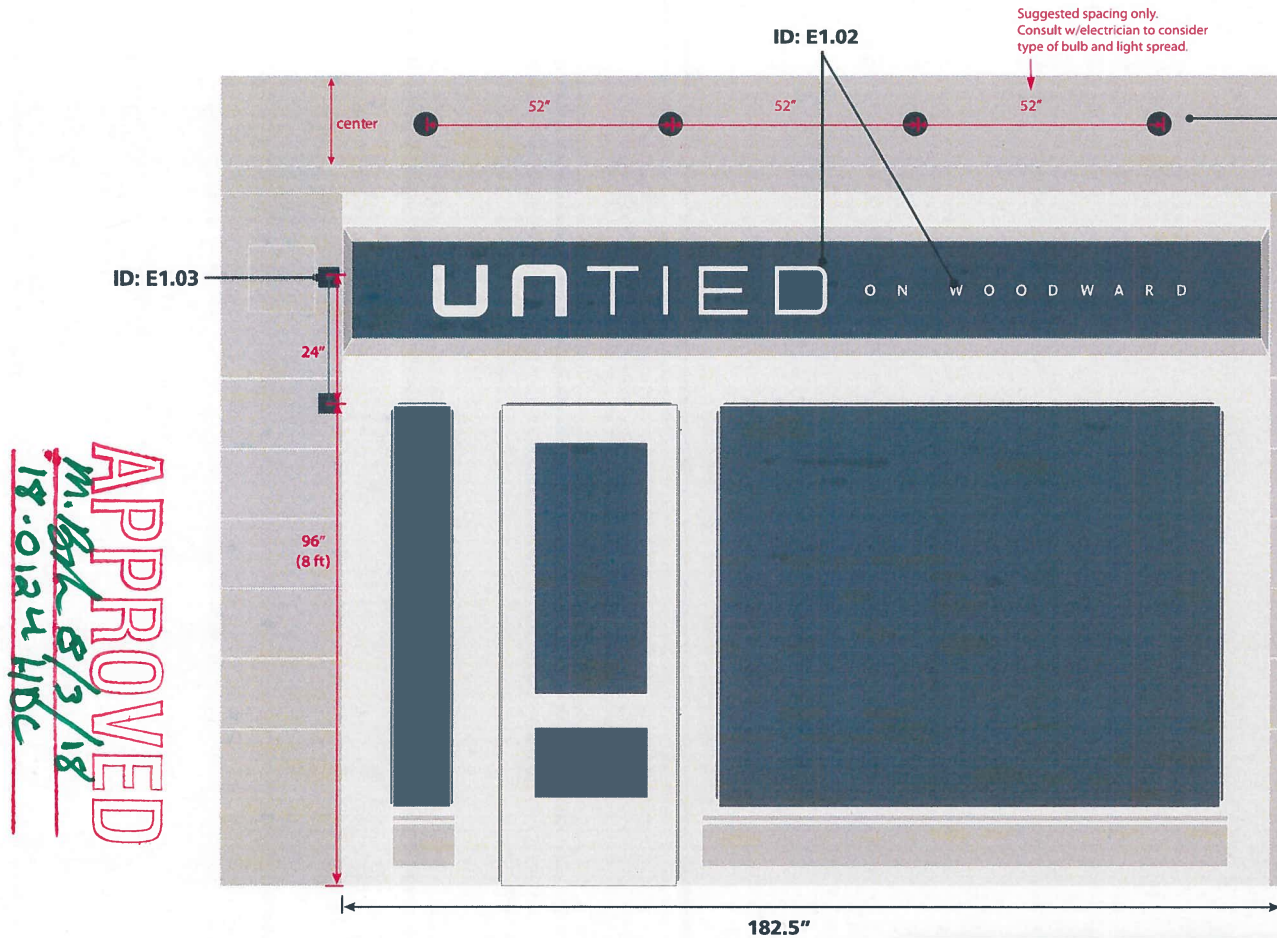
ELEVATION

UT_0518_Untied_Signage_Execution_v1
Copyright Ideation Signs & Communications, Inc.

Client: Erik Miller
Project: Naming & Brand Identity (Signage)
Version: Version
Address: 223 South Old Woodward, Birmingham MI 48009

E1

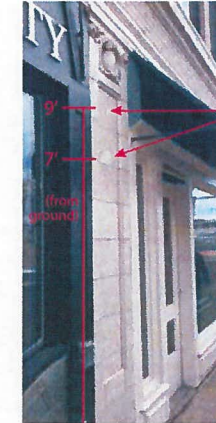
EXTERIOR (FRONT)



Example of gooseneck lighting. On brick area above sign panel. Black finish.



Existing Facade:

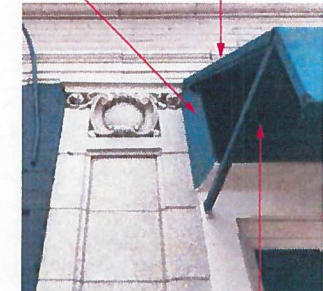


Evidence of previous pole banner top and bottom.

Note: Code for Projecting Signs Wall Mounted = "At sign band and no less than 8 ft above ground."

Keep existing sign frame. Paint sides only. Satin finish, SW7060 "Altitude Gray".

Remove awning and awning hardware.



Remove existing wood panel and replace with new sign.

Storefront 182.5 l.f. = Allowance 15.2 s.f.
Dimensional letters = 10.2 s.f.
Blade Sign = 1.6 s.f.

Total S.F. = 11.8 s.f.

Client Approval & Date

Please review this proof carefully including the SPECS area. Signature represents approval and permission for final production. PDFs & print proofs are not 100% color accurate.

ideation

405 E. Fourth St. • Royal Oak, MI
P: 248.399.4332 • F: 248.399.4333
www.ideationorange.com

APPROVED
m. b. k. 8/3/18
18-0124 HBC

ELEVATION

UT_0518_Untied_Signage_Execution_v1
Copyright Ideation Signs & Communications, Inc.

Client: Erik Miller
Project: Naming & Brand Identity (Signage)
Version: Version
Address: 223 South Old Woodward, Birmingham MI 48009

E2

EXTERIOR (BACK)



Perspective View:



Client Approval & Date

Please review this proof carefully including the SPECS area.
Signature represents approval and permission for final
production. PDFs & print proofs are not 100% color accurate.



405 E. Fourth St. • Royal Oak, MI
P: 248.399.4332 • F: 248.399.4333
www.ideationorange.com

PROOF

UT_0518_Untied_Signage_Execution_v1
Copyright Ideation Signs & Communications, Inc.

Client: Erik Miller
Project: UnTied Signage Execution
Version: N/A
Address: 223 South Old Woodward, Birmingham MI 48009

Sign ID: E1.01
Sign Type: Fabricated Sign
Elevation Ref: E1

SPECS

Description:
Panel for fabricated sign.

Quantity:
(1) One

Finished Dimensions:
Shown in drawing area.

Colors & Material:
PANEL
3mm thick
Alupanel "Black" MATTE FINISH

Mount Approach & Install Surface:
TBD:
Removal of existing sign will reveal what structure is behind it.

- Stud Mount aluminum letters through alupanel and into "Backer"

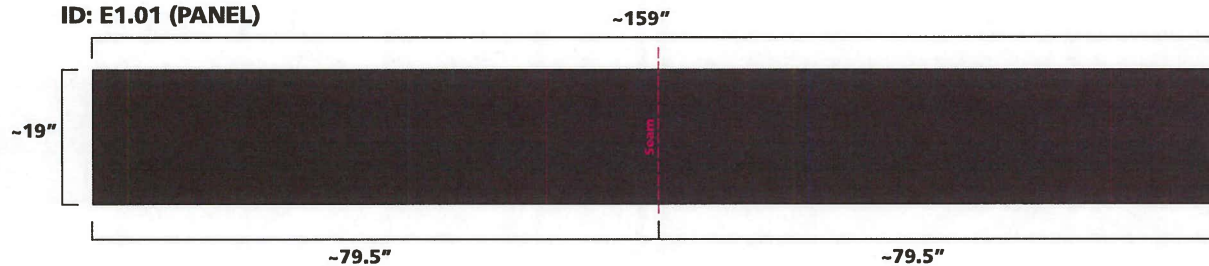
- VHB tape and silicone Alupanel to "Backer".

- Mount backer into wall
(building fexterior facade)

Typography Used:
Kievit Pro - Typekit
(and custom logo type).

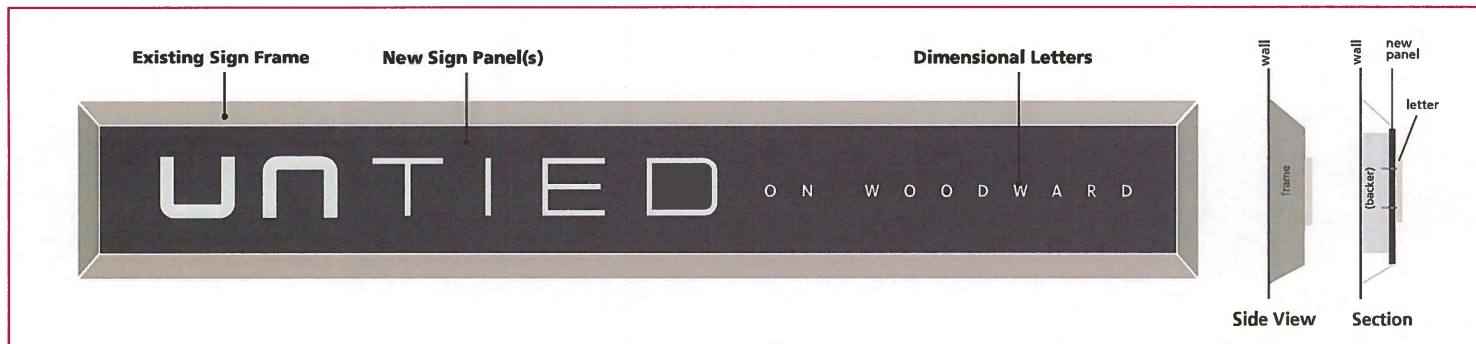
Additional Production Notes:
N/A

ID: E1.01 (PANEL)



~ NEW Panel made to fit within existing sign frame. Panel made from two pieces seamed together, conceal seam. Panel does not overlap edges of existing sign frame.

Assembled Sign:



Client Approval & Date

Internal Use
(Sign & data)

- ☐ All materials ordered.
☐ All materials received.
☐ Production complete, packaged.



405 E. Fourth St. • Royal Oak, MI
P: 248.399.4332 • F: 248.399.4333
www.ideationorange.com

PROOF

UT_0518_Untied_Signage_Execution_v1
Copyright Ideation Signs & Communications, Inc.

Client: Erik Miller
Project: Untied Signage Execution
Version: N/A
Address: 223 South Old Woodward, Birmingham MI 48009

Sign ID: E1.02
Sign Type: Fabricated Sign
Elevation Ref: E1

SPECS

Description:
Dimensional Letters for fabricated sign.

Quantity:
(1) One

Finished Dimensions:
Shown in drawing area.

Colors & Material:

Flat Cut Aluminum Letters
Painted MP42225 "White Wood"
GLOSS FINISH
UNTIED = .5" THICK
ON WOODWARD = .25" THICK

Mount Approach & Install Surface:
TBD:
Removal of existing sign will reveal what structure is behind it.

- Stud Mount aluminum letters through alupanel and into "Backer"

- VHB tape and silicone Alupanel to "Backer".

- Mount backer into wall
(building fexterior facade)

Typography Used:
Kievit Pro - Typekit
(and custom logo type).

Additional Production Notes:
N/A

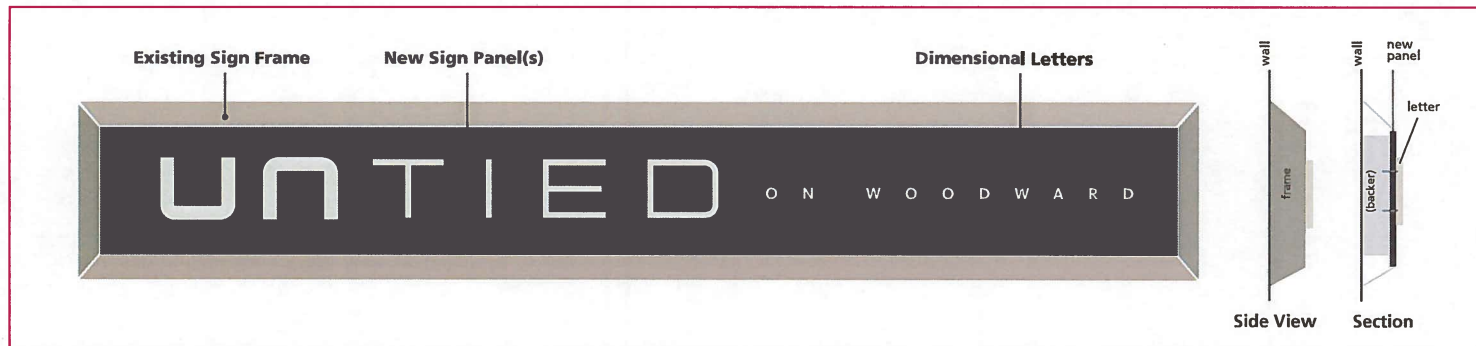
Please review this proof carefully including the SPECS area.
Signature represents approval and permission for final production. PDFs & print proofs are not 100% color accurate.

 405 E. Fourth St. • Royal Oak, MI
P: 248.399.4332 • F: 248.399.4333
www.ideationorange.com

ID: E1.02 (DIMENSIONAL LETTERS)



Assembled Sign:

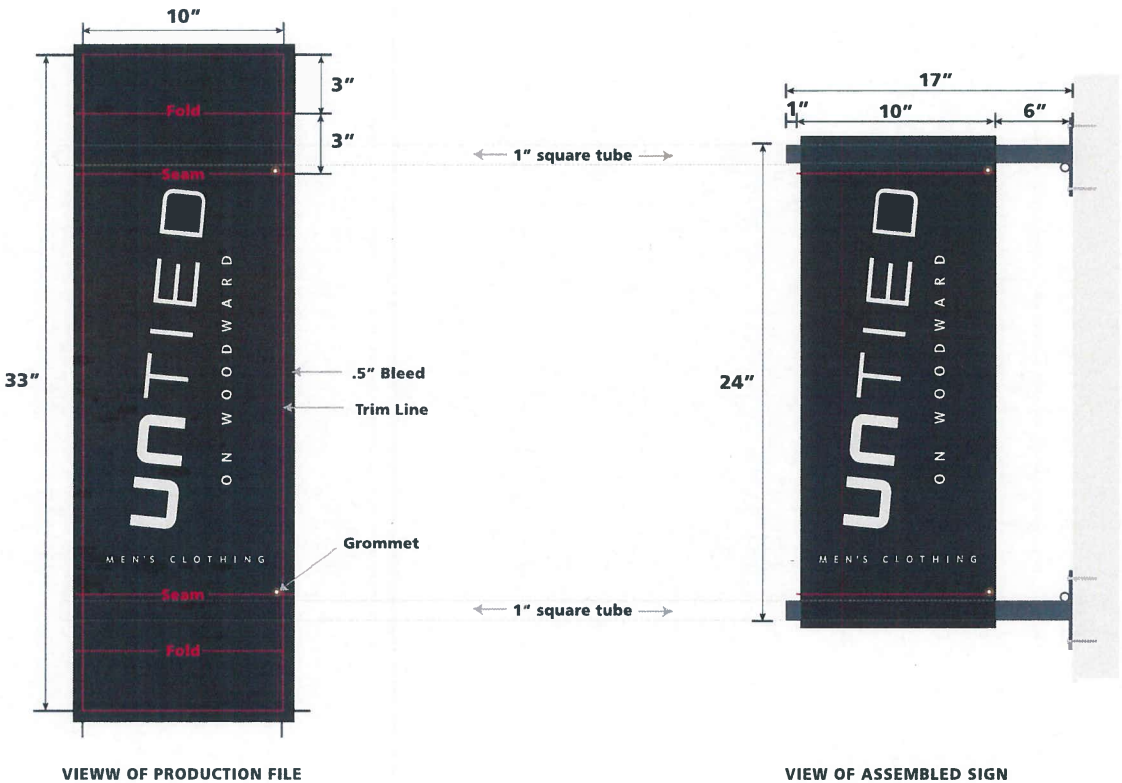


Client Approval & Date

Internal Use
(Sign & Date)

- ☐ All materials ordered.
☐ All materials received.
☐ Production complete, packaged.

ID: E1.03 - BANNER (FRONT)
ID: E2.01 - BANNER (BACK)



SPECS

Description:
Printed Banner

Quantity:
(2) Two, 2-sided banners.
Same banner design used at front and back entrances.

Finished Dimensions:
Shown in drawing area.

Colors & Material:
18oz. Block Out Vinyl, Double Sided.
Pole Pockets 2" top, 3" bottom.

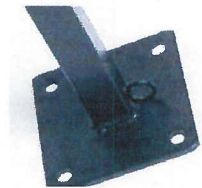
Gold/ Brass color grommets,
top and bottom, one side only,
near edge as shown.

Mount Approach & Install Surface:
Banners slide onto fabricated bracket,
onto 1" square tube. Banners are zip-tied
to the pole through grommets.

Typography Used:
Kievit Pro - Typekit
(and custom logo type).

Additional Production Notes:
N/A

Example of fabricated bracket:



Please review this proof carefully including the SPECS area.
Signature represents approval and permission for final
production. PDFs & print proofs are not 100% color accurate.

Client Approval & Date

Internal Use
Sign & Sarc

☐ All materials ordered.
☐ All materials received.
☐ Production complete, packaged.

ideation 405 E. Fourth St. • Royal Oak, MI
P: 248.399.4332 • F: 248.399.4333
www.ideationorange.com

ID: E1.04



Production File Size:
13"(w) x 17"(h)

Finished Address:



SPECS

Description:
Painted address numbers with painted drop shadows.

Quantity:
(1) One

Finished Dimensions:
Shown in drawing area.

Colors & Finishes:
Sherwin Williams, satin-finish:
Black = SW 6258 Tricorn Black
Med Gray = SW 7060 Altitude Gray
Light Gray = SW 7052 Gray Area

Mount Approach & Install Surface:
Paint on existing painted facade.

Typography Used:
Poppins Light (Typekit)

Additional Production Notes:
N/A

Please review this proof carefully including the SPECS area.
Signature represents approval and permission for final
production. PDFs & print proofs are not 100% color accurate.

Client Approval & Date

Internal Use
(Sign & Date)

☐ All materials ordered.
☐ All materials received.
☐ Production complete, packaged.

ideation 405 E. Fourth St. • Royal Oak, MI
P: 248.399.4332 • F: 248.399.4333
www.ideationorange.com

SPECS

Description:
Cut Vinyl.

Quantity:
(2) Two
Front Door & Back Door

Finished Dimensions:
Shown in drawing area.

Colors & Finishes:
Vinyl 651 - 010 "White"

Mount Approach & Install Surface:
Install First-Surface (exterior) on glass door.

Typography Used:
Kievit Pro - Typekit
(and custom logo type).

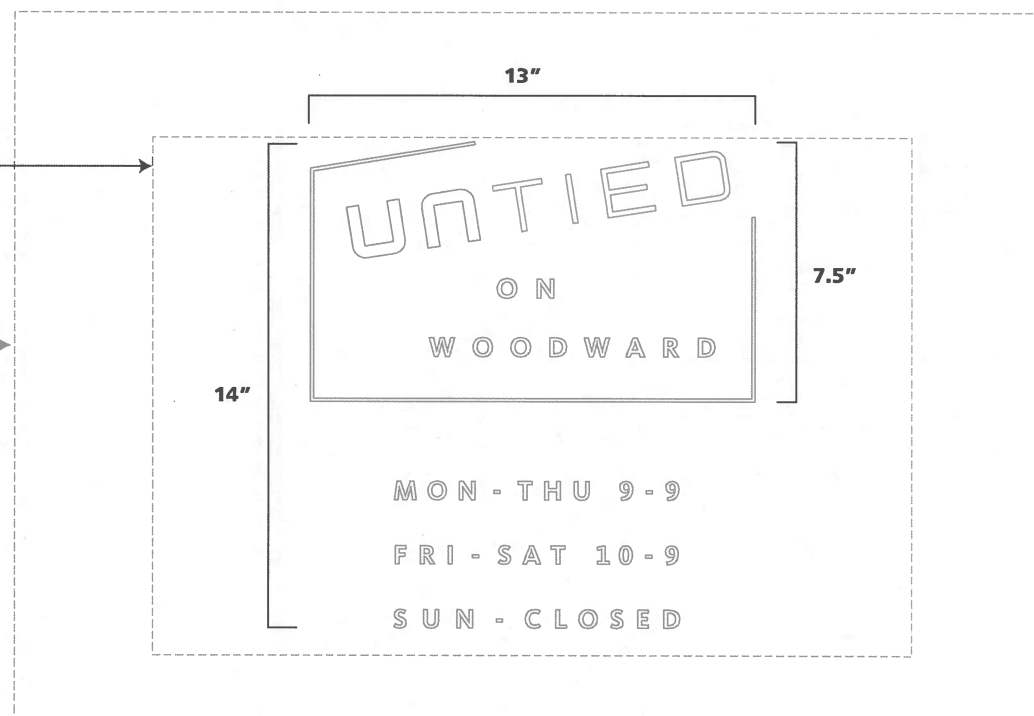
Additional Production Notes:
N/A

ID: E1.05

Edge of glass.
Cutline for placement
on **front door**
glass = 22" (w)

ID: E2.03

Edge of glass.
Cutline for placement
on **back door**
glass = 30" (w)



Client Approval & Date

Internal Use
(Sign & data)

- ☐ All materials ordered.
☐ All materials received.
☐ Production complete, packaged.



405 E. Fourth St. • Royal Oak, MI
P: 248.399.4332 • F: 248.399.4333
www.ideationorange.com

Please review this proof carefully including the SPECS area.
Signature represents approval and permission for final
production. PDFs & print proofs are not 100% color accurate.

SPECS

Description:
Cut Vinyl.

Quantity:
(1) One

Finished Dimensions:
Shown in drawing area.

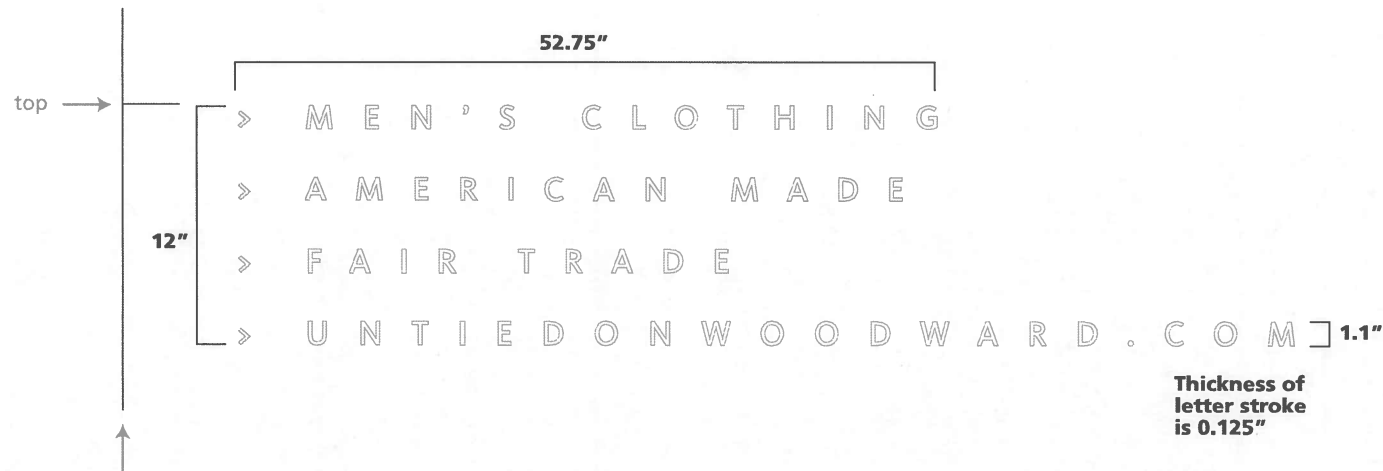
Colors & Finishes:
Vinyl 651 - 010 "White"

Mount Approach & Install Surface:
Install First-Surface (exterior) on glass door.

Typography Used:
Kievit Pro - Typekit
(and custom logo type).

Additional Production Notes:
N/A

ID: E1.06



Cutline: indicates left side.
Document size including cutline = 58.5" (w) x 22.2" (h)

Please review this proof carefully including the SPECS area.
Signature represents approval and permission for final
production. PDFs & print proofs are not 100% color accurate.

Client Approval & Date

Internal Use
(Sign & Date)

☐ All materials ordered.
☐ All materials received.
☐ Production complete, packaged.

ideation 405 E. Fourth St. • Royal Oak, MI
P: 248.399.4332 • F: 248.399.4333
www.ideationorange.com

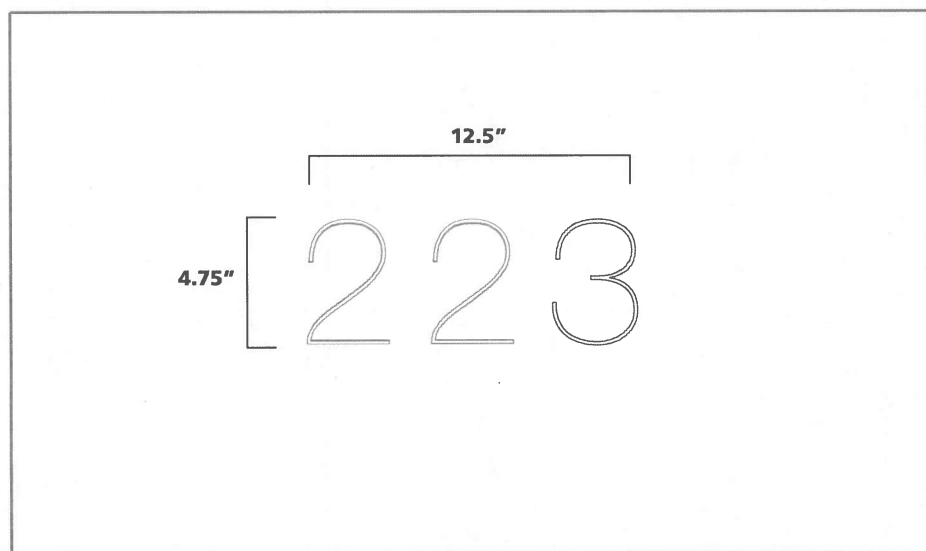
PROOF

UT_0518_Untied_Signage_Execution_v1
Copyright Ideation Signs & Communications, Inc.

Client: Erik Miller
Project: Untied Signage Execution
Version: N/A
Address: 223 South Old Woodward, Birmingham MI 48009

Sign ID: E2.02
Sign Type: Cut Vinyl
Elevation Ref: E2

ID: E2.02



Cutline = 35"(w) x 20.75"(h)

SPECS

Description:
Cut Vinyl.

Quantity:
(1) On

Finished Dimensions:
Shown in drawing area.

Colors & Finishes:
Vinyl 651 - 010 "White"

Mount Approach & Install Surface:
Install First-Surface (exterior) on glass.

Typography Used:
Popping Light - Typekit

Additional Production Notes:
N/A

Client Approval & Date

Internal Use
Sign & Setup

- ☐ All materials ordered.
- ☐ All materials received.
- ☐ Production complete, packaged.

Please review this proof carefully including the SPECS area.
Signature represents approval and permission for final
production. PDFs & print proofs are not 100% color accurate.

ideation

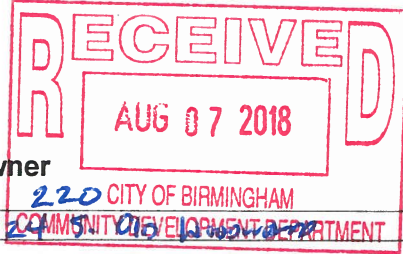
405 E. Fourth St. • Royal Oak, MI
P: 248.399.4332 • F: 248.399.4333
www.ideationorange.com



CITY OF BIRMINGHAM
Date 08/07/2018 2:35:42 PM
Ref 00151173
Receipt 440670
Amount \$100.00

Administrative Approval Application Planning Division

Form will not be processed until it is completely filled out



1. Applicant

Name: Brandon Egan (Dir. of R.E.)
Address: 124 S. 01st WOODWARD
Phone Number: 313-530-1456
Fax Number: _____
Email: BEGAN@THEELDA GROUP.COM

Property Owner

Name: 220 CITY OF BIRMINGHAM
Address: 124 S. 01st WOODWARD
Phone Number: _____
Fax Number: _____
Email: _____

2. Applicant's Attorney/Contact Person

Name: _____
Address: _____
Phone Number: _____
Fax Number: _____
Email: _____

Project Designer

Name: _____
Address: _____
Phone Number: _____
Fax Number: _____
Email: _____

3. Project Information

Address/Location of Property: 220 MERRILL
Name of Development: 220 / ROSE ROOM
Parcel ID #: _____
Current Use: RESTAURANT / LOUNGE
Area in Acres: N/A
Current Zoning: _____

Name of Historic District site is in, if any: _____
Date of HDC Approval, if any: _____
Date of Application for Preliminary Site Plan: _____
Date of Preliminary Site Plan Approval: _____
Date of Application for Final Site Plan: _____
Date of Final Site Plan Approval: _____
Date of Revised Final Site Plan Approval: _____

4. Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples/Specification Sheets
- Digital Copy of plans
- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations

5. Details of the Request for Administrative Approval

Replace Diamond-plate Entry Ramp w/ concrete

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: _____

Date: 8/1/18

Application #: <u>18-0154</u>	Office Use Only Date Received: <u>8/7/18</u>	Fee: <u>\$100</u>
Date of Approval: <u>8/7/18</u>	Date of Denial: _____	Reviewed by: <u>M. B. L.</u>



CONSENT OF PROPERTY OWNER

I, Brandon Egan, OF THE STATE OF MS AND COUNTY OF Oak Hills
(Name of property owner)

Oak Hills STATE THE FOLLOWING:

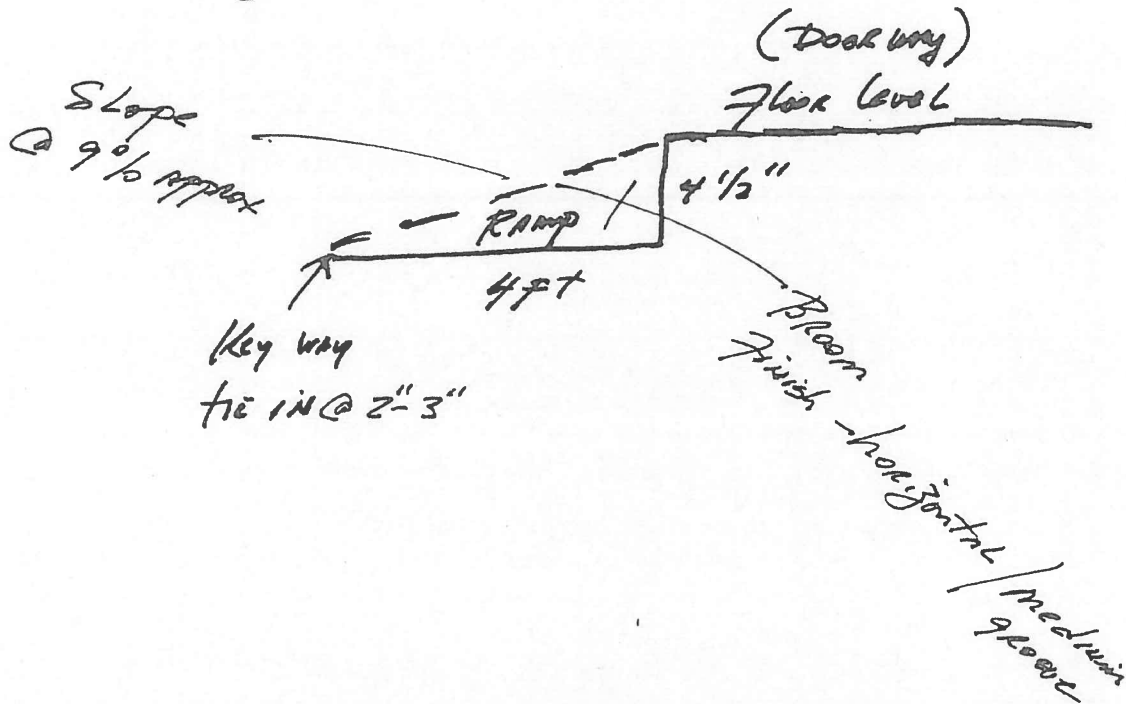
1. That I am the owner of real estate located at 220 Monell St.;
(Address of affected property)
2. That I have read and examined the Application for Administrative Approval made to the City of Birmingham by:
Brandon Egan;
(Name of applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

Dated: 8/1/18

Brandon Egan
Owner's Name (Please Print)

[Signature]
Owner's Signature

Proposed Concrete Ramp to
Rose Room Located at basement
entrance. (photo attached) 220 Merrill St.
BIRMINGHAM, MI.





659 PURITAN, BIRMINGHAM



659 PURITAN, BIRMINGHAM



659 PURITAN, BIRMINGHAM





July
Demo's

HSC



875 Vinewood



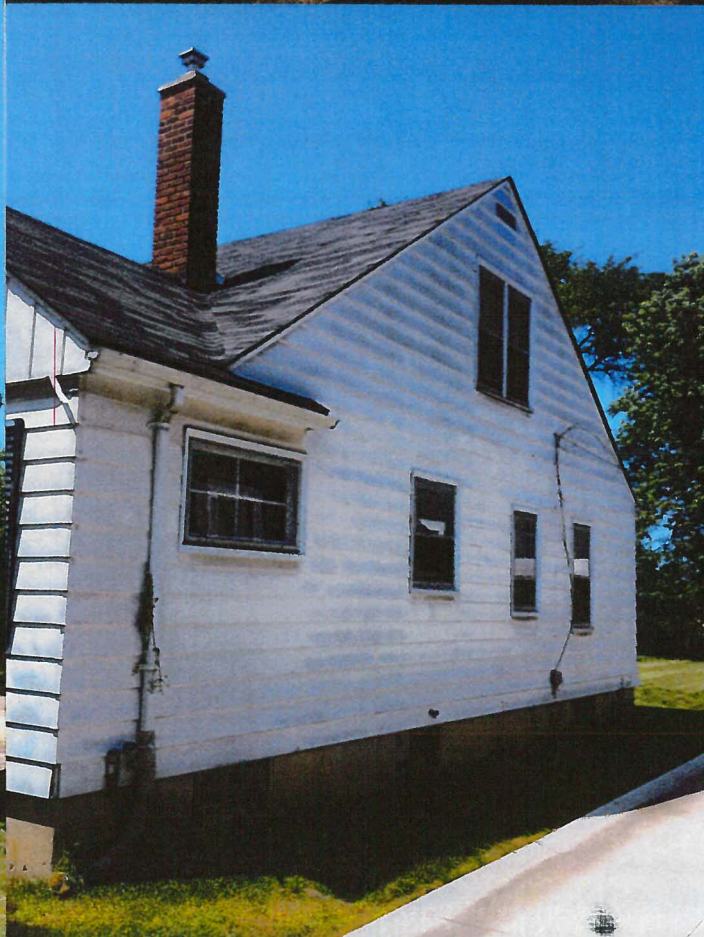
6/4/2018

1148

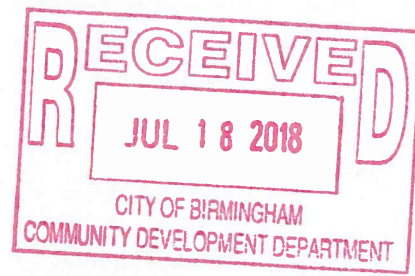
875 Vinewood



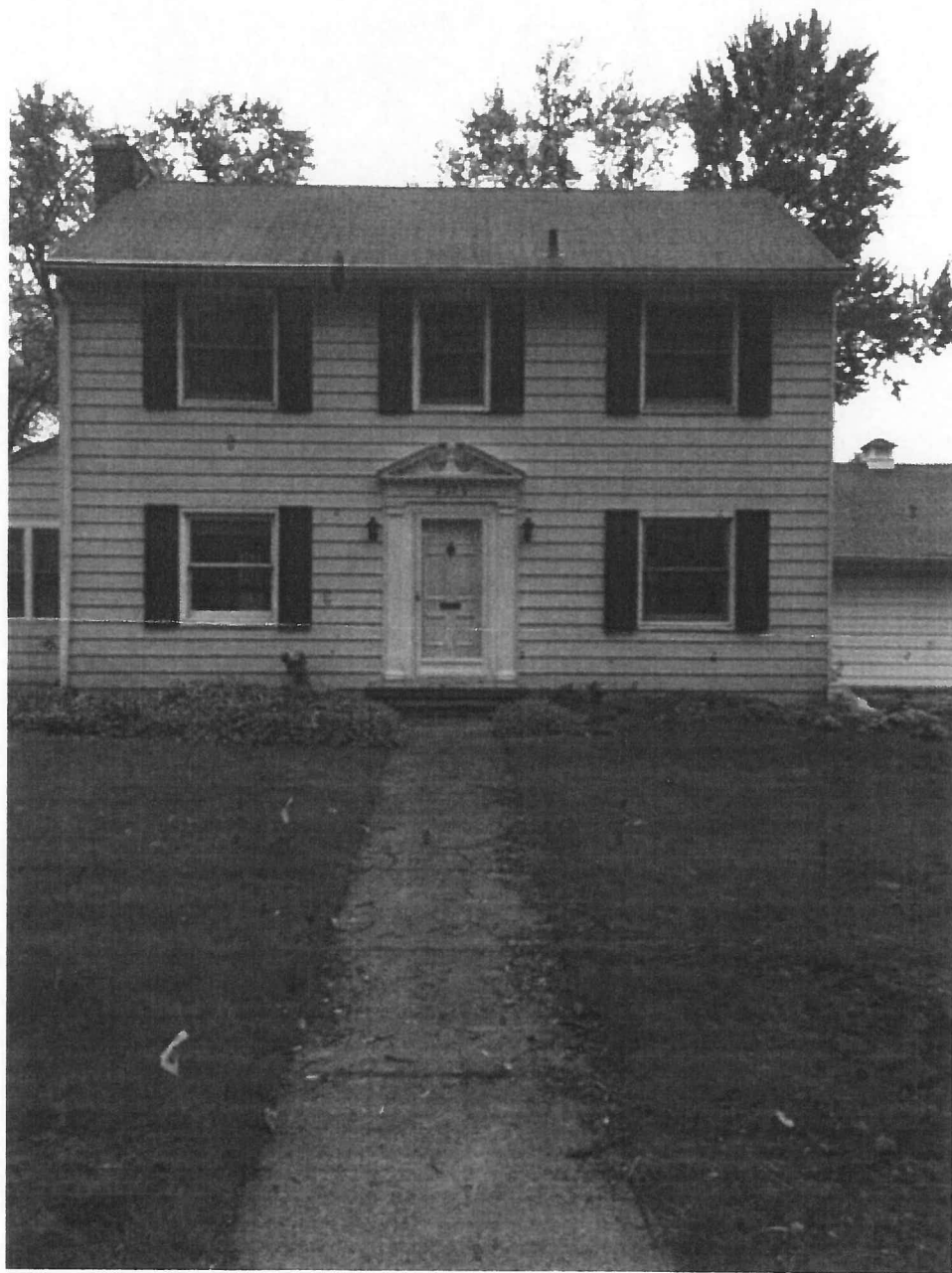
533 Bearville



2379
Yorlshire







2379 Yorkshire

