

**REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, JANUARY 25, 2017
7:30 PM
CITY COMMISSION ROOM
151 MARTIN STREET, BIRMINGHAM**

- A. Roll Call
- B. Review and Approval of the Minutes of the regular meeting of **January 11, 2017**
- C. Chairpersons' Comments
- D. Review of the Agenda
- E. Final Site Plan Review
 - 1. **33353 Woodward (Tuffy site)** – Request for Final Site Plan Review for new one story retail building.
 - 2. **100 – 450 Woodland Villa Court (existing Woodland Villa Condos)** – Request for Final Site Plan Review for addition of gate across Woodland Villa Court (**Postponed from November 9, 2016**).
- F. Preliminary Site Plan Reviews
 - 1. **35975 Woodward (Currently vacant, former gas station)** – Request for Preliminary Site Plan Review for new two story office/retail building (**Postponed from January 11, 2017**).
- G. Meeting Open to the Public for items not on the Agenda
- H. Miscellaneous Business and Communications:
 - a. Communications
 - b. **Administrative Approval** Correspondence
 - c. Draft Agenda for the next Regular Planning Board Meeting (**February 8, 2017**)
 - d. Other Business
- I. Planning Division Action Items
 - a. Staff Report on Previous Requests
 - b. Additional Items from tonight's meeting
- J. Adjournment

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**CITY OF BIRMINGHAM
PLANNING BOARD ACTION ITEMS
OF WEDNESDAY, JANUARY 11, 2017**

Item	Page
PUBLIC HEARINGS	
1. To consider the following amendments to Chapter 126, Zoning, of the Code of the City of Birmingham:	2
TO AMEND ARTICLE 04, STRUCTURE STANDARDS, SECTION 4.75 SS02, TO ADD REGULATIONS FOR DORMERS PROJECTING FROM SECOND-STORY ROOFS ON SINGLE-FAMILY HOMES.	
TO AMEND ARTICLE 09, DEFINITIONS, SECTION 9.02, TO ADD A DEFINITION OF "ATTIC" AND TO AMEND THE DEFINITIONS OF "HABITABLE ATTIC" AND "STORY." (continued from December 14, 2016)	
Motion by Ms. Whipple-Boyce	3
Seconded by Mr. Koseck to re-set and re-notice this public hearing to February 8, 2017 to consider the following Zoning Ordinance amendments:	
(a)Article 04, Structure Standards, section 4.75 SS-02, to create limitations on the allowable size of dormers on single-family homes; and	
(b) Article 09, Definitions, section 9.02, to add a definition of "Attic" and to amend the definitions of "Habitable Attic" and "Story" for consistency with the Michigan Residential Code.	
Motion carried, 7-0.	3
2. To consider the following amendments to Chapter 10, Alcoholic Liquors and Chapter 126, Zoning, of the Code of the City of Birmingham:	3
TO AMEND PART II OF THE CITY CODE, CHAPTER 10 ALCOHOLIC LIQUORS, ARTICLE II, LICENSES, TO ADD DIVISION 5. LICENSES FOR THEATERS (Public hearing not required at the Planning Board)	
AND	
TO AMEND CHAPTER 126, ZONING, OF THE CITY CODE, ARTICLE III SECTION 2.37 (B4) TO ALLOW THE USE OF LIQUOR LICENSES FOR THEATERS.	

Item	Page
<p>Motion by Ms. Whipple-Boyce Seconded by Mr. Williams to recommend approval to the City Commission of the proposed amendments to Chapter 126, Zoning, Article 2, section 2.37, B-4 Business Residential, to allow the use of liquor licenses in theaters in the B-4 Zoning District, and to recommend approval of the associated amendments to Chapter 10, Alcoholic Liquors, Article II, to add a Division 5, Licenses for theaters.</p> <p>Motion carried, 7-0.</p>	4
<p>PRELIMINARY SITE PLAN REVIEW</p>	4
<p>1. 35975 Woodward Ave. (currently vacant, former gas station) Preliminary Site Plan Review for new two-story office/retail building</p>	
<p>Motion by Mr. Williams Seconded by Mr. Jeffares to postpone the Preliminary Site Plan Review for 35975 Woodward Ave. to January 25, 2017.</p>	5
<p>Motion carried, 7-0.</p>	5
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**CITY OF BIRMINGHAM
REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, JANUARY 11, 2017
City Commission Room
151 Martin Street, Birmingham, Michigan**

Minutes of the regular meeting of the City of Birmingham Planning Board held on January 11, 2017. Chairman Scott Clein convened the meeting at 7:30 p.m.

Present: Chairman Scott Clein; Board Members Robin Boyle, Stuart Jeffares, Bert Koseck, Gillian Lazar, Janelle Whipple-Boyce, Bryan Williams

Absent: Alternate Board Members Lisa Prasad, Daniel Share

Administration: Matthew Baka, Sr. Planner
Jana Ecker, Planning Director
Carole Salutes, Recording Secretary
Bruce Johnson, Building Official
Mike Morad, Building Inspector
Scott Worthington, Asst. Building Official
Jeff Zielke, Building Inspector

01-01-17

**APPROVAL OF THE MINUTES OF THE REGULAR PLANNING BOARD MEETING OF
DECEMBER 14, 2016**

**Motion by Mr. Boyle
Seconded by Mr. Koseck to approve the Planning Board Minutes of December 14,
2016 as presented.**

Motion carried, 6-0.

VOICE VOTE

Yeas: Boyle, Koseck, Clein, Jeffares, Whipple-Boyce, Williams

Abstain: Lazar

Nays: None

Absent: None

01-02-17

CHAIRPERSON'S COMMENTS

Chairman Clein discussed a report, *Dangerous by Design*, which highlights the alarming connection between the configuration of our roadways and the behavior of our drivers to pedestrian deaths. This city wants to be a walkable city, but there are still major issues with

regard to how the streets are designed and how the general public operates on them. He suggested that everyone read the report.

01-03-17

APPROVAL OF THE AGENDA

There has been a request to postpone the Preliminary Site Plan Review for 35975 Woodward Ave. to January 25th, 2017.

01-03-17

PUBLIC HEARINGS

1. To consider the following amendments to Chapter 126, Zoning, of the Code of the City of Birmingham:

TO AMEND ARTICLE 04, STRUCTURE STANDARDS, SECTION 4.75 SS02, TO ADD REGULATIONS FOR **DORMERS** PROJECTING FROM SECOND-STORY ROOFS ON SINGLE-FAMILY HOMES.

TO AMEND ARTICLE 09, DEFINITIONS, SECTION 9.02, TO ADD A DEFINITION OF "ATTIC" AND TO AMEND THE DEFINITIONS OF "HABITABLE ATTIC" AND "STORY".
(continued from December 14, 2016)

The Chairman formally opened the continuation of the public hearing at 7:34 p.m.

Mr. Baka noted at the request of City Staff, the Planning Board has been reviewing potential changes to the Zoning Ordinance that would alter the way that dormers are regulated on single-family homes. Over the past few months the Planning Board has been presented with draft ordinance language on this subject.

On December 14, 2016, the Planning Board set a public hearing to consider a recommendation to the City Commission on the draft language as amended at that meeting. At the public hearing additional language was suggested by the board. At that time the board decided to continue the public hearing to this evening. Therefore the Planning Division, in co-operation with the Building Dept., has prepared revised draft ordinance language that incorporates the comments made at the December 14th meeting.

The new language under Section 4.75 SS-02, Structure Standards states:

Dormers on elevations facing interior lot lines must be located behind the eaves of the roofline they project from and set back a minimum of 8 in. from the face of the second- floor facade below.

Mr. Johnson explained one of the reasons to insert this language was to make sure the eave lines are continuous on the elevations facing interior lot lines, side and rear. Also, the board discussed stepping that dormer back 8 in. from the exterior face of the wall. Accordingly, the eave line would be in front of the dormer.

Board members stated that the intent is not to control the third floor dormer, or habitable attic. When the third element is placed on the roof, Mr. Koseck said that is when the eave line needs to be broken.

No one from the public wished to comment at 7:40 p.m.

Motion by Ms. Whipple-Boyce

Seconded by Mr. Koseck to re-set and re-notice this public hearing to February 8, 2017 to consider the following Zoning Ordinance amendments:

(a) Article 04, Structure Standards, section 4.75 SS-02, to create limitations on the allowable size of dormers on single-family homes; and

(b) Article 09, Definitions, section 9.02, to add a definition of "Attic" and to amend the definitions of "Habitable Attic" and "Story" for consistency with the Michigan Residential Code.

There were no comments from members of the public at 7:48 p.m.

Motion carried, 7-0.

ROLLCALL VOTE

Yeas: Whipple-Boyce, Koseck, Boyle, Clein, Jeffares, Lazar, Williams

Nays: None

Absent: None

The chairman closed the public hearing at 7:50 p.m.

01-04-17

2. To consider the following amendments to Chapter 10, Alcoholic Liquors and Chapter 126, Zoning, of the Code of the City of Birmingham:

TO AMEND PART II OF THE CITY CODE, CHAPTER 10 ALCOHOLIC LIQUORS, ARTICLE II, LICENSES, TO ADD DIVISION 5. LICENSES FOR THEATERS
(Public hearing not required at the Planning Board)

AND

TO AMEND CHAPTER 126, ZONING, OF THE CITY CODE, ARTICLE III SECTION 2.37 (B4) TO ALLOW THE USE OF LIQUOR LICENSES FOR THEATERS.

The chairman opened the public hearing at 7:49 p.m.

Ms. Ecker advised that the owners of the Birmingham 8 Theaters have submitted a request for an amendment to Chapter 10, Alcoholic Liquors, of the City Code to create a new Division 5 to establish a new category of liquor licenses for theaters in Downtown Birmingham.

As a response to the request of the applicant, the City Attorney has drafted proposed ordinance language and amendments that would create a new division 5 in Chapter 10, Alcoholic Liquors. Proposed amendments to Chapter 10 are not required to be reviewed by the Planning Board.

Essentially this sets up a new category of Liquor Licenses for theaters that would allow the service of alcohol in the theater.

The public hearing for this board is for Chapter 126, Zoning to amend section 2.37 B-4 Standards that would then allow the use of Liquor Licenses in theaters in B-4 Business Residential Zone Districts only. The Planning Board will review and make recommendations to the City Commission on both the proposed amendments to Chapter 10, Alcoholic Liquors, and Chapter 126, Zoning. The City Commission has the final authority to approve or deny the proposed amendments.

Chairman Clein clarified that tonight the board would potentially be recommending approval that would allow the applicant to procure a Liquor License in the B-4 Zoning District with a Special Land Use Permit ("SLUP").

It was discussed that the hours of operation for the bar would be set up as a SLUP condition and also by the State rules.

Ms. Kelly Allen, Adkison, Need, Allen, & Rentrop, Attorney for Birmingham 8 Theaters, was present and had no further comment.

Motion by Ms. Whipple-Boyce

Seconded by Mr. Williams to recommend approval to the City Commission of the proposed amendments to Chapter 126, Zoning, Article 2, section 2.37, B-4 Business Residential, to allow the use of liquor licenses in theaters in the B-4 Zoning District, and to recommend approval of the associated amendments to Chapter 10, Alcoholic Liquors, Article II, to add a Division 5, Licenses for theaters.

No one from the audience had comments on the motion at 7:50 p.m.

Motion carried, 7-0.

VOICE VOTE

Yeas: Whipple-Boyce, Williams, Boyle, Clein, Jeffares, Koseck, Lazar

Nays: None

Absent: None

The chairman closed the public hearing at 7:50 p.m.

01-05-17

PRELIMINARY SITE PLAN REVIEW

1. 35975 Woodward Ave. (currently vacant, former gas station)

Preliminary Site Plan Review for new two-story office/retail building

Motion by Mr. Williams

Seconded by Mr. Jeffares to postpone the Preliminary Site Plan Review for 35975 Woodward Ave. to January 25, 2017.

It was noted there were 15 items that the applicant needs to address.

Motion carried, 7-0.

VOICE VOTE

Yeas: Williams, Jeffares, Clein, Koseck, Lazar, Whipple-Boyce, Williams

Nays: None

Absent: None

01-06-17

STUDY SESSION ITEMS

1. Window tinting requirements

Mr. Baka reported that at the July 25, 2016 City Commission meeting, a public hearing was held to consider proposed amendments to the current window standards in the Zoning Ordinance. The proposed changes would have added a requirement to have at least 30% glazing on rear elevations with a public entrance; increased the amount of glazing permitted on upper floors; prohibited blank walls longer than 20 ft. on all elevations facing a park, plaza or parking lot; and would also have provided the reviewing board with the flexibility to allow adjustments to the amount of glazing under specific conditions. These standards would have applied to every Commercial Zone in the City. The City Commission decided to send the subject back to the Planning Board for further consideration.

During the public hearing, the City Commission identified two additional issues that they would like the Planning Board to consider. These issues are whether only clear glazing should be allowed; or if lightly tinted is allowed, to provide a definition for lightly tinted. The second issue is whether a minimum glazing standard should be added for facades that face vias.

With respect to vias and passages, there is language in the ordinance that requires windows but not a certain amount. Sites directly adjoining a via must provide windows and doors overlooking the via to provide solar access, visual interaction and surveillance of the via. Additionally, the ordinance states walls facing vias shall include windows and architectural features customarily found on the front facade of a building. So, the issue is addressed, but not with concrete numbers.

Staff has conducted research with respect to window tinting, and determined there are three basic categories or ratings that are measured when evaluating the efficiency of a window, which are as follows:

- U-factor - measures the rate of heat transfer (or loss). Predominately determined by the number of glass panes and the type of gas barrier sealed between those panes.
- Solar Heat Gain Coefficient (SHGC) - measures how much heat from the sun is blocked. The lower the SHGC the more a product is blocking solar heat gain. SHGC can be controlled through tinting, reflective coatings or low-e coatings.
- Visible Transmittance (VT) - measures how much light comes through a window. The higher the VT, the higher the potential for daylighting. VT is generally controlled with tinting and reflective coatings.

Modern technology has gotten to a point where low-e coatings that don't have a tint are effective in blocking solar heat gain. From that point of view, the board should not be concerned about whether or not they are affecting the Energy Code.

Mr. Koseck spoke in favor of clear glass, and as in the AAA Building blinds can be added, such as for a western exposure. Ms. Whipple-Boyce was also in favor of maintaining clear glass on all floors along with specifying a VT percentage in the ordinance. People will want window treatments whether or not the glass is tinted.

No one from the public wished to join the discussion at 8:10 p.m.

Mr. Baka agreed to bring in samples of low-e coatings for next time as well as pictures of recent projects that have tinting for comparison purposes.

01-07-17

PRE-APPLICATION DISCUSSION

1. 298 S. Old Woodward Ave. Proposed boutique hotel

Ms. Lazar recused herself for familial reasons. Chairman Clein stated he would also recuse himself as his firm, Giffels Webster, is involved in various aspects of this project. Mr. Boyle took over as temporary chair.

Mr. Rick Rattner, Attorney, 380 N. Old Woodward Ave., was present to represent 298 S. Old Woodward Ave., which is located on the NW corner of Brown and S. Old Woodward Ave. Messrs. Charlie Stetson, Project Director; and Scott Seifers, Project Architect and Designer, of Booth Hanson of Chicago conducted a presentation.

Mr. Stetson said he thinks this is a great opportunity to really bring life to the southern part of the City. Uses on the first floor would include retail frontage, along with food and beverage establishments, which will encourage energy and street interaction.

In response to Mr. Williams, Mr. Stetson clarified that their client, Lorian Capital, owns the property. The hotel operator is proposed to be Aperium Group out of Chicago.

Messrs. Stetson and Seifers provided plan diagrams, massing diagrams and exterior images for the board to look at. The area of the site is around 27,000 sq. ft. Parking for the fifth floor residents will be provided in the lower level. Otherwise they are in the Parking Overlay District. The first floor goes all the way across to the property line and contains a ballroom. The mezzanine will include three meeting rooms. Hotel rooms will be located on the next three floors and there will be a fifth residential level that is set back 10 ft. off the Brown and Woodward Ave. elevations. There will be 151 rooms, including the fifth floor residential units. They are looking for feedback from the board as they move forward.

Mr. David Berman with Lorian Capital said he runs their investments. Aperium Group develops boutique hotels across the country. Their style is to come in and figure out how to bring in the local environment and make it a gathering place where the community wants to congregate. That is what separates their design and management style from other developers.

In response to Mr. Koseck's inquiry, Mr. Stetson explained that a 10 ft. gap has been created between the hotel and its neighbor in order to have windows and to provide a pedestrian passage. Mr. Koseck thought the corner might be treated a little differently as it is a really important corner in all of Birmingham. Stone and other sorts of things could be used to break

down the character of the building so it is not a mega building. He likes the fact that the recess cuts the sky and offers more vertical architectural expression. He also likes that two-story spaces have been created, and that will produce a really first-class environment. Further, he likes how some of the interior spaces have been laid out. However, he noted that the curb cut vehicular drop-off area probably would not be permitted.

Temporary Chairman Boyle said the design looks very interesting. He observed this is a fairly impactful development with respect to parking. Mr. Williams noted the one benefit is that the site has easy access to three parking structures. Temporary Chairman Boyle added the idea of opening up to the street is a positive.

Ms. Whipple-Boyce warned that drop-offs and waiting taxis congest traffic and it will be a concern in the residential neighborhood behind. Also, she thought it would be nice to keep the pedestrian passage active and something that everyone in the neighborhood wants to use.

Mr. Stetson commented on the low percentage of vision glass on the upper levels. With today's technology the low-e glass can be very energy efficient, while at the same time transmit a lot of visible light. Therefore he thought the windows can be bigger.

Mr. Jeffares said he appreciates the 10 ft. gap between buildings that allows windows to be installed. Mr. Williams thought the building could contain a little less stone and more brick.

No one in the public cared to comment at 8:46 p.m.

Temporary Chairman Boyle wished the developers well.

Chairman Clein and Ms. Lazar rejoined the board.

01-08-17

MEETING OPEN TO THE PUBLIC FOR ITEMS NOT ON THE AGENDA (no public was left)

01-09-17

MISCELLANEOUS BUSINESS AND COMMUNICATIONS

a. Communications

- The Long-Range Planning Session will be on Saturday, January 28th.

b. Administrative Approval Correspondence

- 820 E. Maple Rd., All Seasons of Birmingham - Allow temporary fence with screening to remain. Re-attach screen fabric to prevent unauthorized parking in lot until site is re-developed.
- 2254 Cole St., Cole Business Center IV - Rooftop screening.

c. Draft Agenda for the Regular Planning Board Meeting on January 25, 2017

- Final Site Plan - Woodland Villa gate

- Final Site Plan - Tuffy
- Preliminary Site Plan - Woodward Ave. and Oak

d. Other Business

Discussion took place regarding office use in the Downtown Overlay.

01-10-17

PLANNING DIVISION ACTION ITEMS

- a. Staff report on previous requests (none)
- b. Additional items from tonight's meeting (none)

01-11-17

ADJOURNMENT

No further business being evident, the chairman adjourned the meeting at 8:55 p.m.

Jana Ecker
Planning Director



MEMORANDUM

Planning Division

DATE: January 17, 2017

TO: Planning Board members

FROM: Matthew Baka, Senior Planner

SUBJECT: 33353 Woodward – Final Site Plan & Design Review

Executive Summary

The subject site is located at 33353 Woodward, on the west side of Woodward between Davis Ave. and Smith Ave. and is the current location of Tuffy Automotive repair. The plan proposes to demolish the existing structure and parking lot to construct a new one story multi-tenant building and on-site parking. The property is zoned B2-B General Business. The new tenants of the building have not been determined but the potential mix of uses will be restricted by the available parking. The applicant was granted Preliminary Site Plan approval on November 9, 2016 with the following conditions:

1. The applicant provides calculations demonstrating the exact size of the parking areas to determine if the parking lot landscaping requirements apply;
2. Obtain City Commission approval for use of parking in the right-of-way;
3. Install trees along the frontage of the subject parcels or obtain a waiver from the staff arborist;
4. Obtain a permit from M-DOT for changes in the right-of-way along Woodward Ave.;
5. Screen all roof top units or obtain a variance from the Board of Zoning Appeals; and
6. The applicant brings the appropriate site plan indicating moving the building line to the north at the corner of Davis and Woodward Ave.

The applicant has now submitted revised plans to be considered for final approval. The applicant will still be required to obtain City Commission approval in order to count the new right of way spaces towards their on-site parking.

1.0 Land Use and Zoning

- 1.1 Existing Land Use - The existing site is auto repair. Land uses surrounding the site include commercial, restaurant, retail, and single-family residential units.
- 1.2 Existing Zoning - Currently zoned B2-B General Business, the existing use is considered legal non-conforming and surrounding uses appear to conform to the permitted uses of each Zoning District.

1.3 Summary of Land Use and Zoning - The following chart summarizes existing land use and zoning adjacent to and/or in the vicinity of the subject site.

1.4 Downtown Birmingham 2016 – The subject site is not located within the Regulating Plan of the Downtown Birmingham 2016 Plan.

	North	South	East	West
Existing Land Use	Commercial	Commercial	Commercial	Single-Family Residential
Existing Zoning District	B2-B, General Business	B2-B, General Business	B2-B, General Business	R-3, Single-Family Residential

2.0 Proposed Use

The proposed use as retail/office establishments are legal uses in the B2-B zone. Any proposed use for the retail tenant spaces must be permitted in the B2-B zone and provide the required parking.

3.0 Setback and Height Requirements

The attached summary analysis provides the required and proposed bulk, area, and placement regulations for the proposed project.

4.0 Screening and Landscaping

4.1 Dumpster Screening – The applicant is proposing to construct a dumpster enclosure at the southwest corner of the parking area. Section 4.54 SC-01 (B) of the Birmingham Zoning Ordinance requires that the dumpster enclosure must be 6' in height and constructed of masonry with wooden gates, and the proposed materials must match or complement the exterior of the building on site. The enclosure is proposed to be cut-face block at 6' in height with steel wire gates coated with black vinyl coating. **Accordingly, the applicant must revise the plans to indicate wooden gates on the dumpster enclosure.**

4.2 Parking Facility Screening – Article 4, section 4.54 of the Zoning Ordinance requires screening along the front or side of parking facilities. Screen walls must be masonry walls with an exterior face of brick, precast aggregate panels, sculptured block, stone, architecturally treated concrete or similar materials, and must be solid for at least the lower 32" in height. The plans as submitted do not indicate the required screen walls along the Woodward frontage line. **Accordingly, the applicant must provide the required parking lot screen walls or obtain a variance from the Board of Zoning Appeals.**

- 4.3 Mechanical Screening - Rooftop mechanical equipment must be limited, positioned and screened to minimize views from adjacent properties and public rights-of-way in accordance with Article 5, section 4.53 of the Zoning Ordinance. No information on rooftop mechanical has been provided at this time. **All roof top units must be screened in accordance with the above referenced ordinance requirements or the applicant must obtain a variance from the Board of Zoning Appeals.**
- 4.4 Landscaping - The applicant is proposing to provide three landscaping beds within the parking lot. The three beds are proposed to be planted with one deciduous tree in each and a mixture of Boxwood shrubs, Inkberry bushes and Bar Harbor Juniper ground cover.

In accordance with Article 4, section 4.20 LA-01; street trees are required along all streets, at a rate of at least 1 street tree / 40' of street frontage unless it is determined by the staff arborist not to be feasible. The subject site has a total of 303' of road frontage, and thus 7 street trees are required to be planted within the right-of-way surrounding the site. The applicant is proposing to install two new street trees in the proposed bump-out at the corner of Woodward and Davis Ave. **The applicant is required to install seven (7) trees along the frontage of the subject parcel or obtain a waiver from the staff arborist.**

In accordance with Article 4, section 4.20 LA-01, all parking lots > 7500 sq.ft. in size must meet the following: 5% of the total parking lot interior area must contain landscaped areas, each of which must be at least 150 sq.ft. in size, and not less than 8' in any single dimension. One canopy tree is also required for every 150 sq.ft. of interior planting area required. All landscaped areas must be located in a manner that breaks up the expanse of paving throughout the parking lot interior. The plans submitted by the applicant indicate that the combined square footage of the parking areas is 7,785 sq. ft. Accordingly, the applicant is required to provide 389 sq. ft. of landscaped area within the parking area and 3 canopy trees. The applicant has submitted a landscaping plan that indicated one planting area that provides 565 sq. ft. of landscaping. This landscaped island contains two canopy trees. There is also one canopy tree provided in the area surrounding the dumpster enclosure. The Planning Board may wish to consider whether the landscaping as proposed sufficiently breaks up the expanse of the parking lot as required by the window standards.

5.0 Parking, Loading, Access, and Circulation

- 5.1 Parking – Article 4, Table A of the Zoning Ordinance requires one (1) space for each 300 sq. ft. of floor area for retail or office uses. The new building is proposed to be 7,227 sq. ft. Based on the retail/office requirement the new structure would require twenty-four (24) spaces. The plans as submitted indicate twenty-seven (27) new parking spaces provided on site and six (6) new spaces in the MDOT right of way. Most of the proposed spaces appear to meet the 180
-

square feet size requirement. However, the western most space on the north side of the angled parking lot does not appear to meet the 180 sq. ft. requirement. **The applicant must verify that this space is 180 sq. ft. in order to be counted as an off-street parking space.** The applicant is proposing to create six (6) new right of way parking spaces in front of the building that could be counted towards the parking total. Article 04, section 4.45 PK-01 of the Birmingham Zoning Ordinance permits parking abutting the property to be counted towards the total parking requirement with the approval of the City Commission. **Accordingly, the applicant will be required to obtain approval from the City Commission for the use of the abutting right of way parking.** Prior to appearing before the City Commission the applicant will be required to provide written approval from MDOT for the construction of the new parking spaces. **A permit from MDOT will be required for any changes in the right-of-way along Woodward Avenue.** The applicant has been advised that this is not consistent with the Woodward complete streets plan and may be subject to change at some point in the future.

According to Article 4, section 4.45 of the Zoning Ordinance, plans must be submitted showing how the required parking and loading spaces shall be arranged in the area supplied for that purpose, so as to indicate sufficient space for parking maneuvers, as well as adequate ingress and egress to the parking or loading areas. Based on the plans as submitted, it appears that sufficient room exists for proper maneuvering within all proposed parking areas on the site.

- 5.2 Loading – As the proposed building is between 5001-20,000 square feet in size, one loading space is required in accordance with Article 4, section 4.24 of the Zoning Ordinance. The applicant may use the 18' alley as a loading space as permitted by section 4.24 C (2) of the Zoning Ordinance.
- 5.3 Vehicular Access & Circulation – The applicant is proposing to provide a portion of the required off street parking behind, to the south, and in front of the proposed building. Access to the south parking lot will be via Woodward. The spaces in the rear of the proposed building would be accessible via the 18' wide public alley. The newly proposed spaces in the MDOT right of way would be accessible via the service drive along Woodward, which would be extended to accommodate the new spaces. The applicant has been informed that this work may be altered in the future should the complete streets plan be implemented.
- 5.4 Pedestrian Circulation and Access – Pedestrian access to the building will be available from both the front and rear entrances. The front entrances will be accessed via the existing public sidewalk. The rear entrance of the building will be accessible via a newly created side walk between the new parking spaces and the building.
- 5.5 Streetscape –As indicated in the landscaping section above, one street tree is required for every 40' of street frontage. The subject site has a total of 303' of road frontage, and thus 7 street trees are required to be planted within the right-

of-way surrounding the site. The applicant is not proposing to add any new street trees in the right of way.

In addition, the applicant is proposing to expand the right of way parking along the Woodward frontage to create six (6) additional parking spaces. The Planning Board may wish to consider requiring the applicant to provide additional streetscape elements such as bike racks, benches or trash receptacles if they see fit. **As stated above, the applicant is required to install seven (7) trees along the frontage of the subject parcel or obtain a waiver from the staff arborist. A permit from MDOT will be required for any changes in the right-of-way along Woodward Avenue.**

6.0 Lighting

The applicant has submitted a photometric plan that proposes to install two (2) wall pack light fixtures on the south elevation of the new building mounted at 20' and two (2) wall pack light fixtures mounted on the west elevation of the building mounted at 15'. In addition, the plan indicates one pole mounted light at 13' above grade in the planting area in the southwest corner of the main parking lot. The plans provide specifications on the new lights that demonstrate that they are full cut-off fixtures as required by the Zoning Ordinance. The applicant has also provided specification sheets for the fixtures and a photometric plan indicating the light levels in the parking area. All lighting levels are in compliance with Article 4 section 4.21 LT-01.

7.0 Departmental Reports

7.1 The Engineering Dept. -The Engineering Dept. has reviewed the plans dated December 27, 2016. The following comments are offered:

1. The revised plans propose the installation of storm sewer, with a connection to an existing combined sewer on Davis Ave. A more detailed review will be conducted during review of the construction plans to determine if this is the appropriate location for a tap. However, in the meantime, it is noted that 12" concrete pipe is required for this installation.
2. Permits required for this project include:
 - a. Right-of-Way permit (for excavations in the City right-of-way).
 - b. Sidewalk Permit
 - c. MDOT Permit (for work within the Woodward Ave. right-of-way).

Storm Water Runoff and Soil Erosion Permits are not required.

7.2 Department of Public Services - No concerns were reported from the Department of Public Services.

7.3 Fire Department – No concerns were reported from the Fire Department.

7.4 Police Department - No concerns were reported from the Police Department.

7.5 Building Department – The following comments were provided by the Building Department.

- The documents provided include site plans and building elevations, but lack proposed floor plans or interior details. Accordingly, a preliminary code review cannot be provided at this time. As mentioned in my November 30, 2016 review, the applicant should be required to provide plans for the proposed building that include at a minimum a floor plan showing proposed window and door locations and tenant separation walls.
- The proposed barrier free parking spaces are not located on the shortest accessible route to the main building entrances. The proposed access aisle does not connect to an accessible route. The accessible parking spaces will need to be relocated to the front (east elevation) of the building and the accessible aisle between the spaces must connect to the accessible route along the front of the building.
- The tenant space entrance doors on the east elevation will need to be recessed into the building so they do not swing over the City sidewalk along the front of the building.

8.0 Design Review

In accordance with the Birmingham Zoning Ordinance, the design review for the new building is required to be performed at the time of Final Site Plan review. The applicant has provided color elevations depicting all elevations of the new building as well as detailed scaled elevations of all sides of the building with proposed materials called out. The proposed building is a one-story multi-tenant building constructed primarily of brick and glass with metal and wood accents. Material samples will be presented to the Board at Final Site Plan review.

East/Woodward elevation

The front elevation of the building is delineated into three sections. The center section is raised above the wings of the building by 2' for an overall height of 22'. The façade is proposed to be constructed of white Bohemian Brick (4"h x 16" w) with white grout. White metal coping is proposed along the roof line to match the surface below. The storefront window system is proposed to be clear insulated glass with "dark bronze" anodized aluminum frames. A "Regal Bronze" aluminum composite panel system is proposed as a header across the window system. The two "wings" of the building at the north and south ends are proposed to be 20' tall. The brick in these areas is proposed to be the same bohemian style brick in "Brighthill" with white grout. The window systems and metal accents will match the central section of the building. At the north end of the building the applicant is proposing to install 4" continuous "rosewood" colored planks over the upper portion of the windows. These planks are proposed to wrap around the corner to the north elevation. The front elevation proposes to include five (5) entrances that will allow access from the sidewalk. In accordance with section 4.90 WN-01 of the Zoning Ordinance, the applicant is required to provide 70% glazing between

1' and 8' above grade on this elevation. The applicant is currently proposing 92% glazing on the east elevation. **Accordingly, the applicant meets the glazing requirement on this elevation.**

North/Davis elevation

The composition of the north elevation is proposed to match the front in regards to materials and color selection. The white Bohemian Brick is proposed for the center section of the building while the "Brighthill" brick is proposed for the wings. The window systems on the wings wrap around each corner. In the center section the applicant is proposing two smaller windows. All of the glass is proposed to be clear in dark bronze aluminum frames. In accordance with section 4.90 WN-01 of the Zoning Ordinance, the applicant is required to provide 70% glazing between 1' and 8' above grade on this elevation. The applicant is currently proposing 75% glazing on the north elevation. **Accordingly, the applicant meets the glazing requirement on this elevation.**

West elevation

The west elevation faces the alley and is considered the back or rear of the building. Once again, the applicant is proposing the same combination of brick and glass materials with the metal and composite aluminum accents. This elevation also contains four (4) entrances that will allow access from the rear parking area. This elevation is not subject to the glazing requirements.

South elevation

The south elevation faces the parking area and neighboring building. Once again the same material composition of brick, glass and metal/aluminum accents are proposed. The window systems from the east and west elevations are proposed to wrap around the ends of the building with a solid brick wall in the center. This elevation is not subject to the glazing requirements.

9.0 Sign Review

The applicant has not submitted detailed signage specifications at this time. This can be done through administrative approval once the tenants have been identified.

10.0 Site Plan Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- (1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
 - (2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
-

- (3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property and will not diminish the value thereof.
- (4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- (5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- (6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

10.0 Recommendation

Based on a review of the Preliminary Site Plan application, the Planning Division recommends that the Planning Board **APPROVE** the Final Site Plan & Design Review for 33353 Woodward Avenue pending receipt of the following;

1. Applicant must revise the plans to indicate wooden gates on the dumpster enclosure;
2. Applicant must provide the required parking lot screen walls;
3. Verify that the northwest most space in the angled parking area is 180 sq. ft. in order to be counted as an off-street parking space.
4. Obtain City Commission approval for use of parking in the right of way;
5. Install trees along the frontage of the subject parcel or obtain a waiver from the staff arborist;
6. Obtain a permit from MDOT for changes in the right-of-way along Woodward Avenue; and
7. Screen all roof top units or obtain a variance from the Board of Zoning Appeals.

12.0 Sample Motion Language

Motion to APPROVE the Final Site Plan and Design Review for 33353 Woodward Avenue pending receipt of the following;

1. Applicant must revise the plans to indicate wooden gates on the dumpster enclosure;
 2. Applicant must provide the required parking lot screen walls;
 3. Verify that the northwest most space in the angled parking area is 180 sq. ft. in order to be counted as an off-street parking space.
 4. Obtain City Commission approval for use of parking in the right of way;
 5. Install trees along the frontage of the subject parcel or obtain a waiver from the staff arborist;
 6. Obtain a permit from MDOT for changes in the right-of-way along Woodward Avenue; and
-

7. Screen all roof top units or obtain a variance from the Board of Zoning Appeals.

OR

Motion to POSTPONE the Final Site Plan and Design Review for 33353 Woodward Avenue with the following conditions:

OR

Motion to DENY of the Final Site Plan and Design Review for 33353 Woodward Avenue.

**CITY OF BIRMINGHAM
REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, NOVEMBER 9, 2016
City Commission Room
151 Martin Street, Birmingham, Michigan**

Minutes of the regular meeting of the City of Birmingham Planning Board held on November 9, 2016. Chairman Scott Clein convened the meeting at 7:30 p.m.

Present: Chairman Scott Clein; Board Members Robin Boyle, Stuart Jeffares, Bert Koseck, Gillian Lazar, Janelle Whipple-Boyce, Bryan Williams; Student Representative Colin Cousimano (left at 9 p.m.)

Absent: Alternate Board Members Lisa Prasad, Daniel Share

Administration: Matthew Baka, Sr. Planner
Jana Ecker, Planning Director
Bruce Johnson, Building Official
Mike Morad, Building Inspector
Carole Salutes, Recording Secretary
Scott Worthington, Asst. Building Official
Jeff Zielke, Building Inspector

11-197-16

PRELIMINARY SITE PLAN REVIEWS

1. 33353 Woodward Ave. (Tuffy Car Repair)
Request for approval of a new 7,227 sq. ft. one-story retail building with parking

One letter has been received in opposition to the proposal and Ms. Ecker read it into the record.

Motion by Mr. Boyle

Seconded by Mr. Koseck to accept the letter from the Platts at 1308 Davis Ave. and put it into the official packet.

Motion carried, 7-0,

VOICE VOTE

Yeas: Boyle, Koseck, Clein, Jeffares, Lazar, Whipple-Boyce, Williams

Nays: None

Absent: None

Mr. Baka explained the subject site is located at 33353 Woodward Ave., on the west side of Woodward Ave. between Davis Ave. and Smith Ave. and is the current location of Tuffy Automotive Repair. The plan proposes to demolish the existing structure and parking lot to construct a new one-story multi-tenant building and on-site parking. The property is zoned B2-B General Business. The new tenants of the building have not been determined but the potential mix of uses will be restricted by the available parking.

The applicant is proposing to place the building all the way up to the front property line with a zero setback. On the south side, the side setback would be 0' abutting the neighboring building. To the north along Davis there would be a 55 ft. setback for the parking lot. In the rear they propose 24.7 ft. from the rear property line which would allow additional parking.

No information on rooftop mechanical has been provided. All rooftop units must be screened in accordance with Article 5, section 4.53 of the Zoning Ordinance or the applicant must obtain a variance from the Board of Zoning Appeals ("BZA").

A permit from M-DOT will be required for any changes in the right-of-way along Woodward Ave.

Based on the retail / office requirement the new structure would require twenty-four (24) parking spaces. The plans submitted indicate twenty-six (26) new parking spaces provided, plus nine (9) spaces in the M-DOT right-of-way. The applicant will be required to obtain approval from the City Commission for the use of the abutting right-of-way parking.

Design Review

In accordance with the Birmingham Zoning Ordinance, Design Review for the new building is required to be performed at the time of Final Site Plan Review. The applicant has provided color elevations depicting the front elevation of the new one-story retail building. The applicant must provide detailed scaled elevations of all sides of the building and material samples at Final Site Plan Review.

Sign Review

The applicant has not submitted detailed signage specifications at this time. This can be done at Final Site Plan Review or through administrative approval once the tenants have been identified.

Mr. John Abro with the design firm for the building was present with Mr. Mike Penow with Stonefield Engineering and Design, and Mr. Duane Barbat, the developer. Mr. Abro indicated the rooftop mechanical will be screened. The retail will have fast casual type users and office type businesses. The glazing in front will be 12 to 14 ft. high. The building material will be masonry with metal panel striping. Mr. Baka informed

him that the requirement for the back of buildings and the parking lot is 35% between 1 ft. and 8 ft. above grade.

Mr. Duane Barbat felt his development will be a huge improvement to what is there now. The parking that is planned in the rear off the alley faces two other parking lots.

Chairman Clein wondered why they chose to create a surface parking lot at the corner of Woodward Ave. and Davis as opposed to addressing the building to that corner and parking between the commercial buildings. Mr. Barbat replied it affords adjacent parking for the north high visibility tenant plus there is easier access to parking.

Mr. Koseck observed that typically the Planning Board is trying to promote dialogue between sidewalk and buildings; not sidewalk and rear bumpers. This could be a really dominant corner building by shifting the parking lot. Mr. Barbat replied if they did that they would lose a couple of parking spots. Mr. Koseck indicated he could not support the project as proposed. He cares about how it fits the fabric of his community as opposed to the loss of two parking spaces. They should use the building to be the screenwall for the parking.

Mr. Mike Penow said the thought is that cars can come right into the parking lot. Cars coming through the middle of the building have to go all the way around and come back onto Woodward Ave. if they can't find a parking space. Chairman Clein was adamant that he would not approve a big parking lot right at the corner on Woodward Ave.

Mr. Barbat indicated that a Phase 1 Environmental Report and other requirements have been completed for the site. Only a little cleanup will be required because they are not going below grade. Additionally, it was discussed what will happen to the existing bus stop in front along Woodward Ave. Ms. Ecker said SMART will have to decide whether it can be moved. Mr. Barbat said they will make sure to resolve it before coming back for Final Site Plan Review.

Mr. Koseck noticed the project faces east and he thought canopies might be needed to prevent sun penetration into the large expanses of glass. Mr. Barbat replied they are considering aluminum continuous horizontal fins.

Public comments were taken at 10:30 p.m.

Dr. David Sperling said his office is just south of the proposed building. He noted the signage on his building will be blocked. He understands the board is not interested in having the proposed building pushed further south to abut his building. However, he has a medi spa at the north end inside his building, so to have the proposed building abutting his building would keep things quiet. It would make the spa very noisy If the building is pushed to the corner and there is a parking lot right next to his spa.

Ms. Ann McRay, 1332 Davis, said she is concerned with the traffic pattern in the parking lot coming in off of Woodward Ave. and exiting into the alley. Further, she is apprehensive about the stores that will be coming in and what kind of traffic pattern they will cause. Excess parking will end up on her street.

Mr. Brian Fishman, 1344 Davis, said he is afraid traffic will go down Davis a lot and there are children in the area. Their street will probably need permit parking.

Mr. Koseck thought this is a great project; however there are a number of issues to be resolved and he would like to see it again before moving to Final Site Plan Review. He will not support the proposal unless the building is pushed north.

Chairman Clein said he appreciates the concern of the neighboring business. However he doesn't think what has been presented is the best solution. Therefore, he will not support it.

Ms. Whipple-Boyce and Mr. Jeffares announced they too will not support the proposal if the building is not moved to the corner.

Motion by Mr. Boyle

Seconded by Mr. Koseck to approve the Preliminary Site Plan Review for 33353 Woodward Ave. pending receipt of the following:

- 1. The applicant provide calculations demonstrating the exact size of the parking areas to determine if the parking lot landscaping requirements apply;**
- 2. Obtain City Commission approval for use of parking in the right-of-way;**
- 3. Install trees along the frontage of the subject parcels or obtain a waiver from the staff arborist;**
- 4. Obtain a permit from M-DOT for changes in the right-of-way along Woodward Ave.;**
- 5. Screen all roof top units or obtain a variance from the Board of Zoning Appeals; and**
- 6. The applicant bring the appropriate site plan indicating moving the building line to the north at the corner of Davis and Woodward Ave.**

Board members agreed they could deal with those changes and Final Site Plan Approval in one meeting.

The chairman called for comments from the audience at 10:48 p.m.

Dr. David Sperling asked for suggestions about how to keep his med spa quiet.

Motion carried, 6-1.

ROLLCALL VOTE

Yeas: Boyle, Koseck, Clein, Jeffares, Lazar, Whipple-Boyce

Nays: Williams

Absent: None

Zoning Compliance Summary Sheet

Final Site Plan Review For 33353 Woodward Avenue

Existing Site: Tuffy Auto repair

Zoning: B-2B, General Business

Land Use: Commercial/Retail

Existing Land Use and Zoning of Adjacent Properties:

	North	South	East	West
Existing Land Use	Commercial	Commercial	Commercial	Single-Family Residential
Existing Zoning District	B2-B, General Business	B2-B, General Business	B2-B, General Business	R-3, Single-Family Residential
Regulating Plan District	N/A	N/A	N/A	N/A

Land Area: existing: .363 acre
proposed: .363 acre

Minimum Lot Area: required: N/A
proposed: N/A

Minimum Floor Area: required: N/A
proposed: N/A

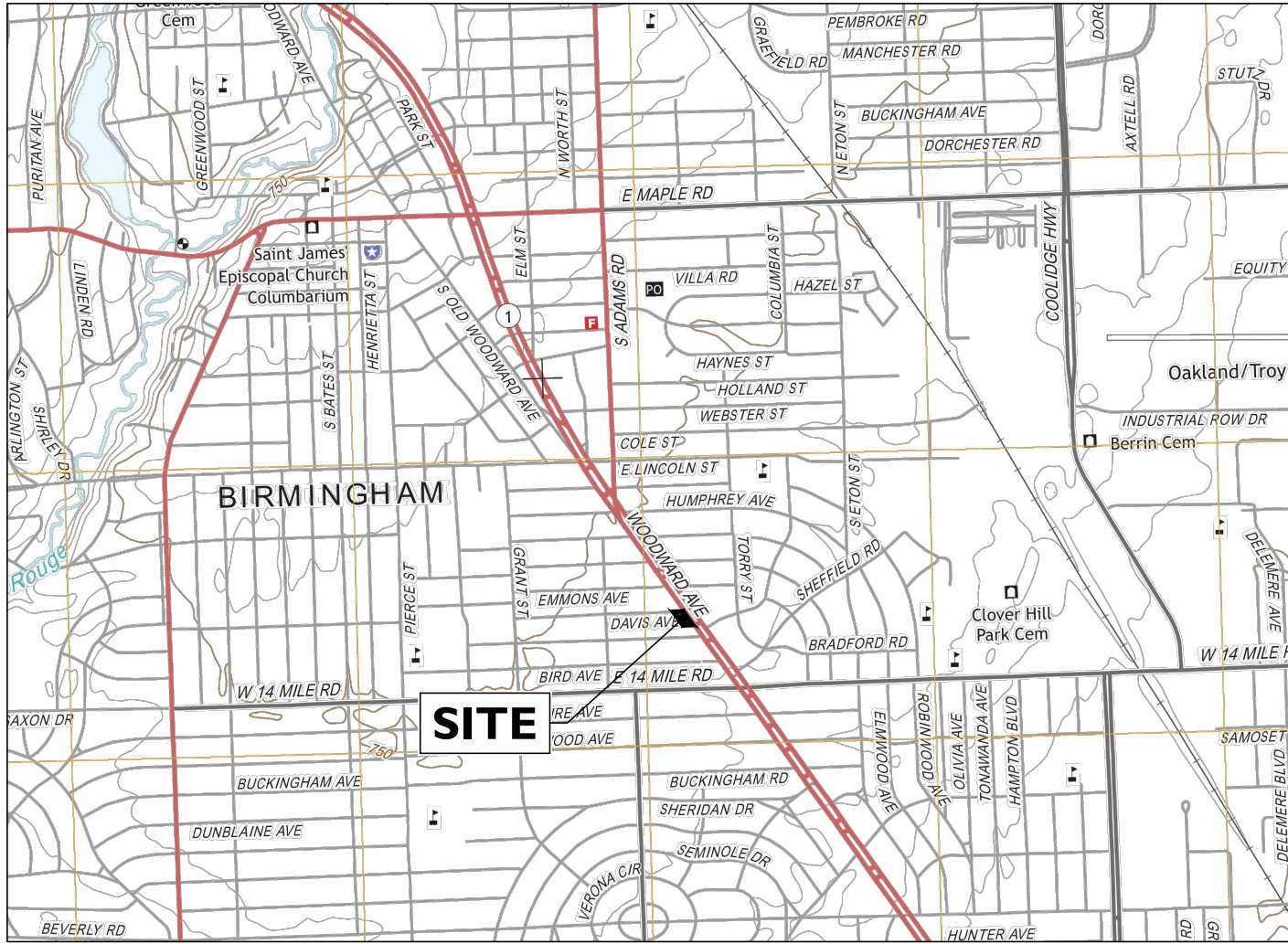
Open Space: required: N/A
proposed: N/A

Front Setback: required: N/A
proposed: 0 ft.

Side Setbacks: required: 0 ft. min
proposed: 0 ft on the north elevation
55.3' ft on the south elevation

Rear Setback: required: 10 ft. to the center line of the alley
proposed: 24.7 ft. from the rear property line

Max. Bldg. Height & Number of Stories:	permitted:	30 ft. and 2 stories
	proposed:	22 ft., one story
Max FAR:	permitted:	N/A
	proposed:	N/A
Parking:	required:	24
	proposed:	27 (not including MDOT right of way expansion)
		As indicate in the staff report, one space does not appear to meet the 180 sq. ft. requirement. Applicant must obtain approval from the City Commission for use of parking in the right of way.
Loading Area:	required:	1 loading space (12' by 40')
	proposed:	1 loading space (12' by 40')
Screening:		
<u>Parking:</u>	required:	32-inch brick screen wall along parking area
	proposed:	existing 36-inch brick screen wall along parking area behind the building. No screen wall shown at the frontage line along Woodward.
<u>Roof-top AC/Mech. Units:</u>	required:	screening or parapet high enough to fully screen all mechanical equipment
	proposed:	No rooftop mechanical details provided.
<u>Trash Receptacles:</u>	required:	Masonry screen wall with wooden gates.
	proposed:	painted cut-face block screen walls, steel gates.
<u>Ground Mounted Mechanical:</u>	required:	Masonry screen wall or plantings
	proposed:	plantings



LOCATION MAP

SCALE: 1" = 2000'±



AERIAL MAP

SCALE: 1" = 60'±

SITE DEVELOPMENT PLANS FOR 33353 WOODWARD AVENUE PROPOSED MULTI-TENANT DEVELOPMENT

PARCEL ID: 20-31-355-033
33353 WOODWARD AVENUE
CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN

OWNER / APPLICANT

THE BARBAT ORGANIZATION, LLC
33477 WOODWARD AVENUE
BIRMINGHAM, MICHIGAN, 48009
248-914-0444

SURVEYOR

KEM-TEC & ASSOCIATES
22556 GRATIOT AVENUE
EASTPOINTE, MICHIGAN, 48021
586-772-4048

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ · Long Island City, NY · Royal Oak, MI
www.stonefieldeng.com

28454 Woodward Avenue, Royal Oak, MI 48067
Phone 248.247.1115

33353 WOODWARD AVENUE

**PROPOSED MULTI-TENANT
DEVELOPMENT**

PARCEL ID: 20-31-355-033
33353 WOODWARD AVENUE
CITY OF BIRMINGHAM
OAKLAND COUNTY, MICHIGAN



STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: M-16133

TITLE:

COVER SHEET

DRAWING:

C-1

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - ALTA / NSPS LAND TITLE SURVEY PREPARED BY KEM-TEC & ASSOCIATES
 - ARCHITECTURAL PLANS PREPARED BY ABRO DESIGN GROUP, INC.
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO
 - LOCATION MAP OBTAINED FROM USGS MAP
 - TAX MAP OBTAINED FROM OAKLAND COUNTY GIS
 - ZONING MAP OBTAINED FROM CITY OF BIRMINGHAM ZONING MAP
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

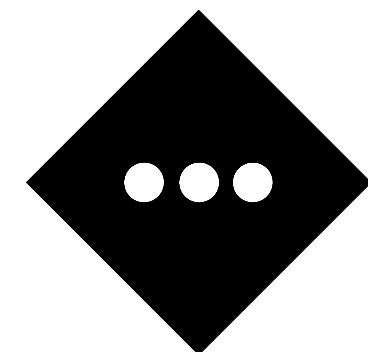
DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
GRADING PLAN	C-5
UTILITY & DRAINAGE PLAN	C-6
LIGHTING PLAN	C-7
SOIL EROSION & SEDIMENT CONTROL PLAN	C-8
LANDSCAPING PLAN	C-9
LANDSCAPING DETAILS	C-10
CONSTRUCTION DETAILS	C-11

CITY APPROVALS

APPROVAL BOARD	APPROVAL TYPE	DATE OF APPROVAL
PLANNING COMMISSION	PRELIMINARY SITE PLAN APPROVAL	11/09/2016



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28454 Woodward Avenue, Royal Oak, MI 48067
Phone 248.247.1115

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT No. NCS-790637-MICH, DATED MARCH 31, 2016, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.

6. RIGHT OF WAY GRANTED TO COUNTY OF OAKLAND DISCLOSED BY INSTRUMENT RECORDED IN LIBER 6 OF MISCELLANEOUS RECORDS, PAGE 4, OAKLAND COUNTY RECORDS. (AFFECTS LOT 847) (AS SHOWN)
7. RIGHT OF WAY GRANTED TO COUNTY OF OAKLAND DISCLOSED BY INSTRUMENT RECORDED IN LIBER 6 OF MISCELLANEOUS RECORDS, PAGE 9, OAKLAND COUNTY RECORDS. (AFFECTS LOT 841) (AS SHOWN)
8. RIGHT OF WAY GRANTED TO COUNTY OF OAKLAND DISCLOSED BY INSTRUMENT RECORDED IN LIBER 6 OF MISCELLANEOUS RECORDS, PAGE 109, OAKLAND COUNTY RECORDS. (AFFECTS LOT 843) (AS SHOWN)
9. HIGHWAY EASEMENT RELEASE GRANTED TO STATE OF MICHIGAN DISCLOSED BY INSTRUMENT RECORDED IN LIBER 67 OF MISCELLANEOUS RECORDS, PAGE 428, OAKLAND COUNTY RECORDS. (AFFECTS LOT 843) (AS SHOWN)
10. BUILDING AND USE RESTRICTION AND OTHER TERMS COVENANTS AND CONDITIONS, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION THAT IMPOSES A PREFERENCE OR DISCRIMINATION BASED ON RACE OR COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATIONAL; ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS, OR RESTRICTIONS VIOLATE 42 U.S.C. § 3604 (C), DISCLOSED BY INSTRUMENT RECORDED IN LIBER 419, PAGE 99, AS TO LOTS 841, 842, 843 AND 844, AND LOTS 846 THRU 848 INCLUSIVE, SET FORTH IN DOCUMENT FOR TERMS AND CONDITIONS)

LAND SITUATED IN THE CITY OF BIRMINGHAM, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

LOTS 840 TO 848 INCLUSIVE, EXCEPT THAT PART TAKEN FOR WIDENING WOODWARD AVENUE, LEINBACH-HUMPHREY'S WOODWARD AVENUE SUBDIVISION ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 27 OF PLATS, PAGE 5, OAKLAND COUNTY RECORDS.

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FOUNDED MONUMENT (AS NOTED)
 RECORD AND MEASURED DIMENSION
 RECORD DIMENSION
 MEASURED DIMENSION
 GROUND POINT
 ELECTRIC METER
 GAS METER
 SEWER MANHOLE
 ROUND CATCH BASIN
 SQUARE CATCH BASIN
 DRAIN
 STORM DRAIN MANHOLE
 FIRE HYDRANT
 FIRE DEPARTMENT CONNECTION
 POST INDICATOR VALVE
 WATER GATE MANHOLE
 WATER METER
 WATER PUMP
 WATER VALVE
 WELL
 MONITOR WELL
 STEAM VALVE
 UNKNOWN MANHOLE
 AIR CONDITIONING UNIT
 BOLLARD
 SINGLE POST SIGN
 TREE
 PARCEL BOUNDARY LINE
 PLATTED LOT LINE
 EASEMENT (AS NOTED)
 BUILDING
 BUILDING OVERHANG
 BUILDING HATCH
 CONCRETE CURB (AS SHOWN)
 EDGE OF CONCRETE (CONC.)
 EDGE OF ASPHALT (ASPH.)
 FENCE (AS NOTED)
 WALL (AS NOTED)
 OVERHEAD UTILITY LINE
 GAS LINE
 SEWER LINE
 WATER LINE

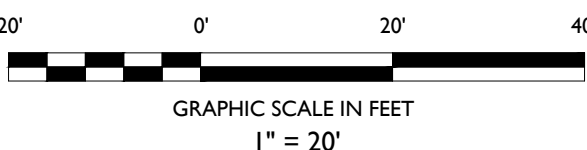
±15,789 SQUARE FEET = 0.363± ACRES


NORTH 33°25'40" WEST, BEING THE WESTERLY RIGHT OF WAY LINE
OF WOODWARD AVENUE AS PLATTED.

ARROW ON HYDRANT SOUTH OF DAVIS AVENUE AT
#1356 DAVIS AVENUE
ELEVATION=748.47' (NAVD 88)

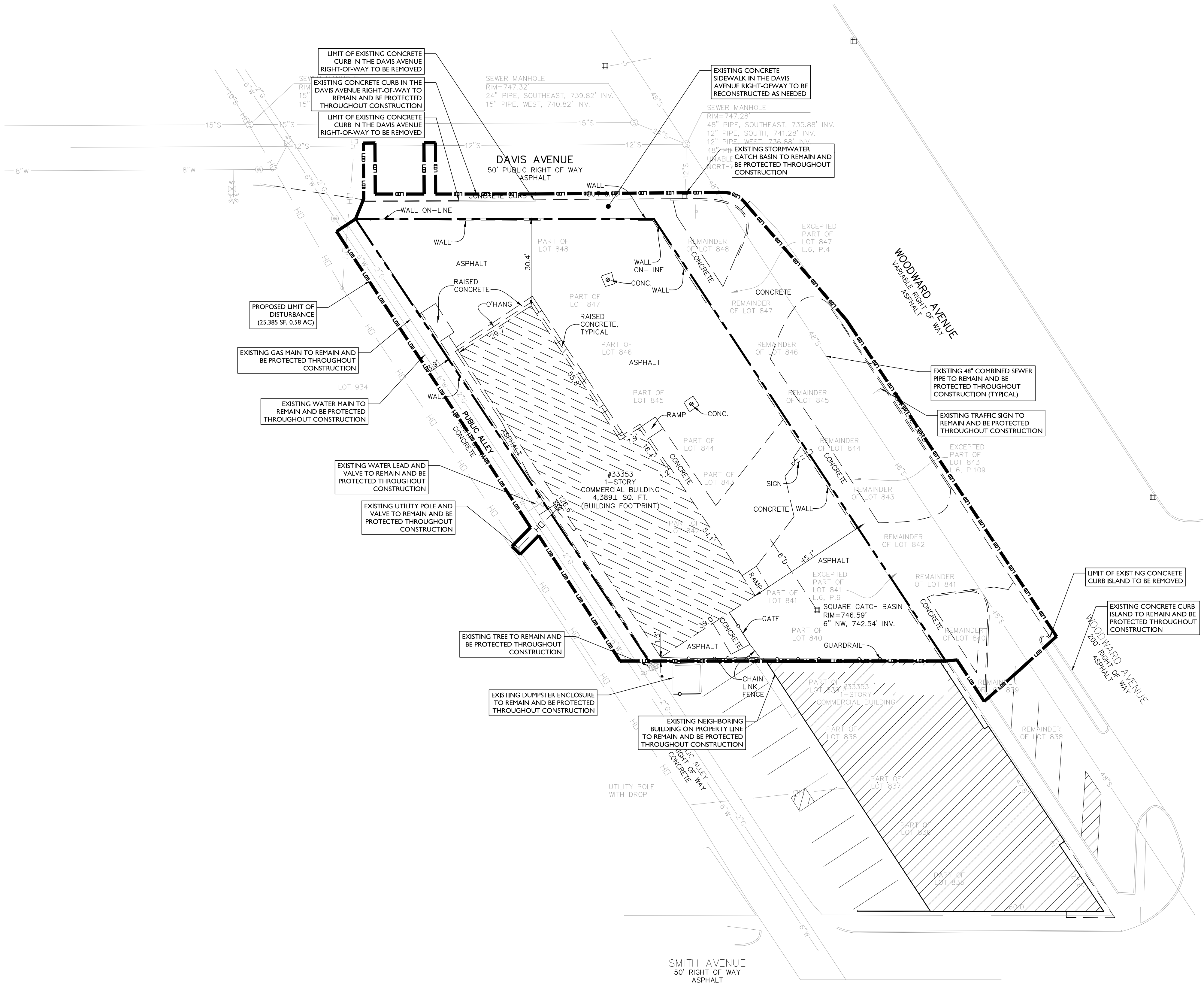
THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED THEREIN SHALL BE TRUE AND ACCURATE. NO DEPENDENCE SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

2. THE LOCATED UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER THE SURVEYOR OR ABOREIGNS ARE NOT PROVIDING ANY WRITTEN WARRANTY THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE SHOWN HEREON.



SITE DEVELOPMENT PLANS		STONEFIELD engineering & design		
33353 WOODWARD AVENUE		Rutherford, NJ • Long Island City, NY • Royal Oak, MI www.stonefieldeng.com		
PROPOSED MULTI-TENANT DEVELOPMENT		28454 Woodward Avenue, Royal Oak, MI 48067 Phone 248.247.1115		
		STONEFIELD engineering & design		
SCALE:	1" = 20'	PROJECT ID:	M-16133	
TITLE:	EXISTING CONDITIONS PLAN			
DRAWING:	C-2			

V:\PROJECTS\161333\161333.DWG 161333 WOODWARD AVE. BIRMINGHAM, MI 48202\DWG\161333.DWG



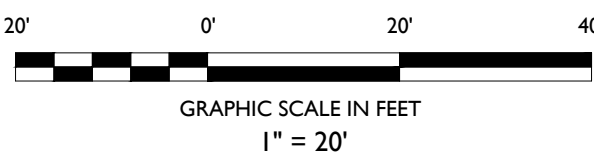
SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
---	LIMIT OF DISTURBANCE

ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



Know what's below
Call before you dig.

- DEMOLITION NOTES**
1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
 2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
 3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
 4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
 5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



FOR FINAL SITE PLAN APPROVAL	FOR MDOT SUBMISSION	FOR CLIENT COMMENTS	FOR CITY PLANNING COMMISSION COMMENTS	FOR PRELIMINARY SITE PLAN REVIEW	FOR CLIENT REVIEW	DESCRIPTION
MTP	MTP	MTP	MTP	MTP	MTP	
6	5	4	3	2	1	ISSUE
						DATE
						BY

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SITE DEVELOPMENT PLANS

33353 WOODWARD AVENUE

PROPOSED MULTI-TENANT DEVELOPMENT

PARCEL ID: 20-31-355-033
33353 WOODWARD AVENUE
CITY OF BIRMINGHAM
OAKLAND COUNTY, MICHIGAN



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SCALE: 1" = 20' PROJECT ID: M-16133

TITLE:

DEMOLITION PLAN

DRAWING:

C-3

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
SEC 4-34	RETAIL 1 SPACE PER 300 SF (7,227 SF)/(300) = 24 SPACES	27 SPACES (ON SITE) 7 SPACES (ROW)
SEC 4-25	LOADING SPACE 1 SPACES PER 5,001 SF - 20,000 SF OF BUILDING AREA	PROVIDED IN BACK ALLEY
SEC 9-12	<u>PARKING SPACE SIZE</u> 180 SF	180 SF PROVIDED

GENERAL NOTES


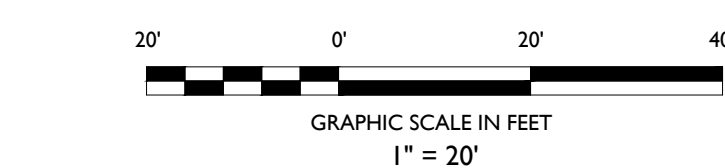
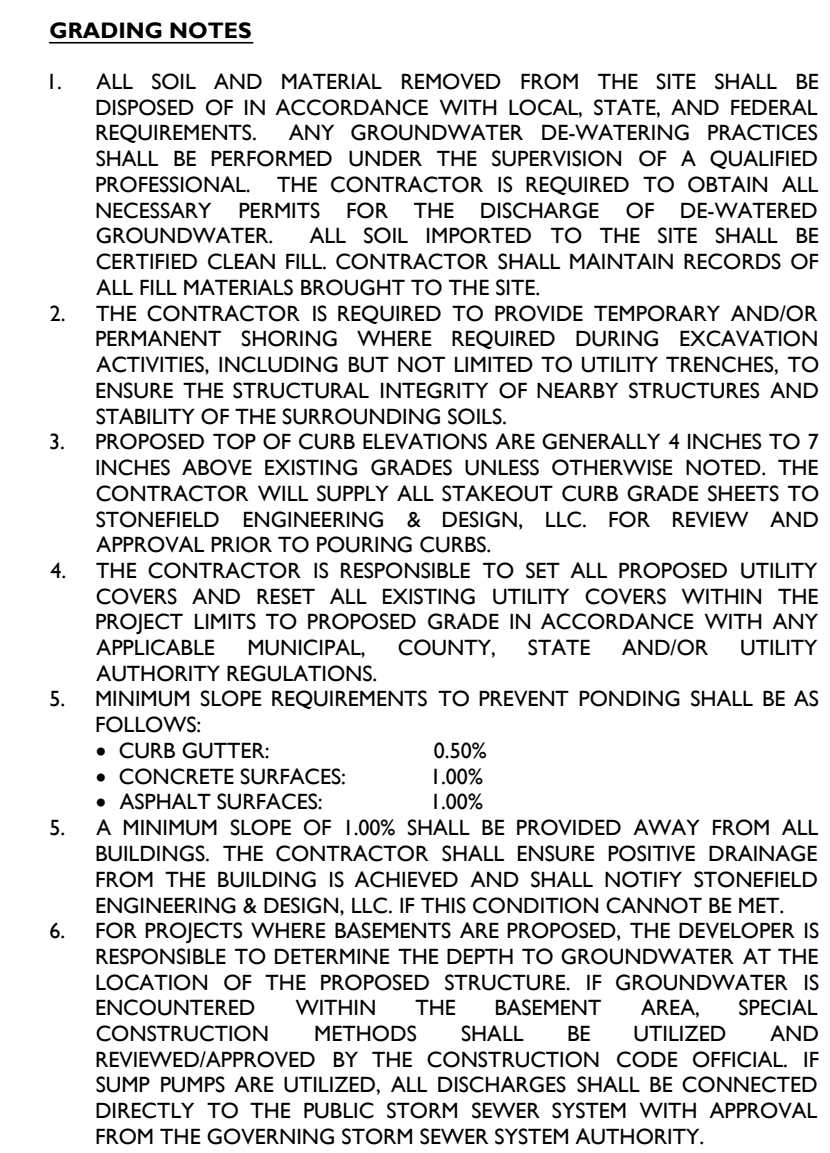
1. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED IN THESE CONDITIONS. THESE CONDITIONS SHALL BE A SUPPLEMENT AND NOT A SUBSTITUTE TO THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, INC. AT THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. ALL PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
3. ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, BE RESPONSIBLE TO HARDEN/STRENGTHEN EXISTING DESIGN, LLC. AND ITS SUB-CONTRACTORS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING FROM ANY CLAIMS BY ANY PARTY AGAINST THE CONTRACTOR, NOTION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
4. THE CONTRACTOR SHALL NOT DEViate FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR REMOVED STRUCTURE OR FEATURE TO ITS EXISTING CONDITION OR REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
8. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC. WILL REVIEW AND APPROVE ALL SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL EDITS.
10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE LOCAL, STATE, AND FEDERAL REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
11. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SUPERVISOR ON SITE AT ALL TIMES DURING CONSTRUCTION AND DEMOLITION ACTIVITIES.
12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC. BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT CONSTITUTE AN ENDORSEMENT OF THE CONTRACTOR'S WORK AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



C-4

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33353 WOODWARD AVE
CITY OF BIRMINGHAM
OAKLAND COUNTY, MICH




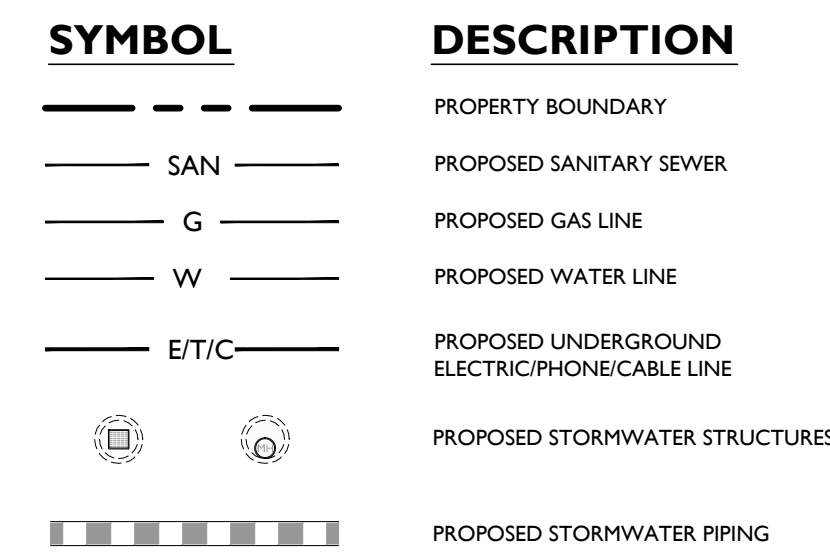
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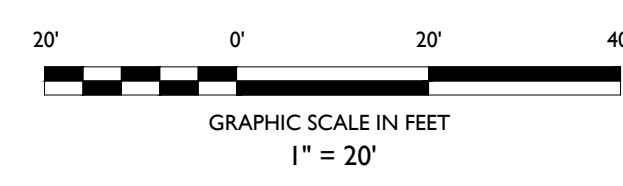
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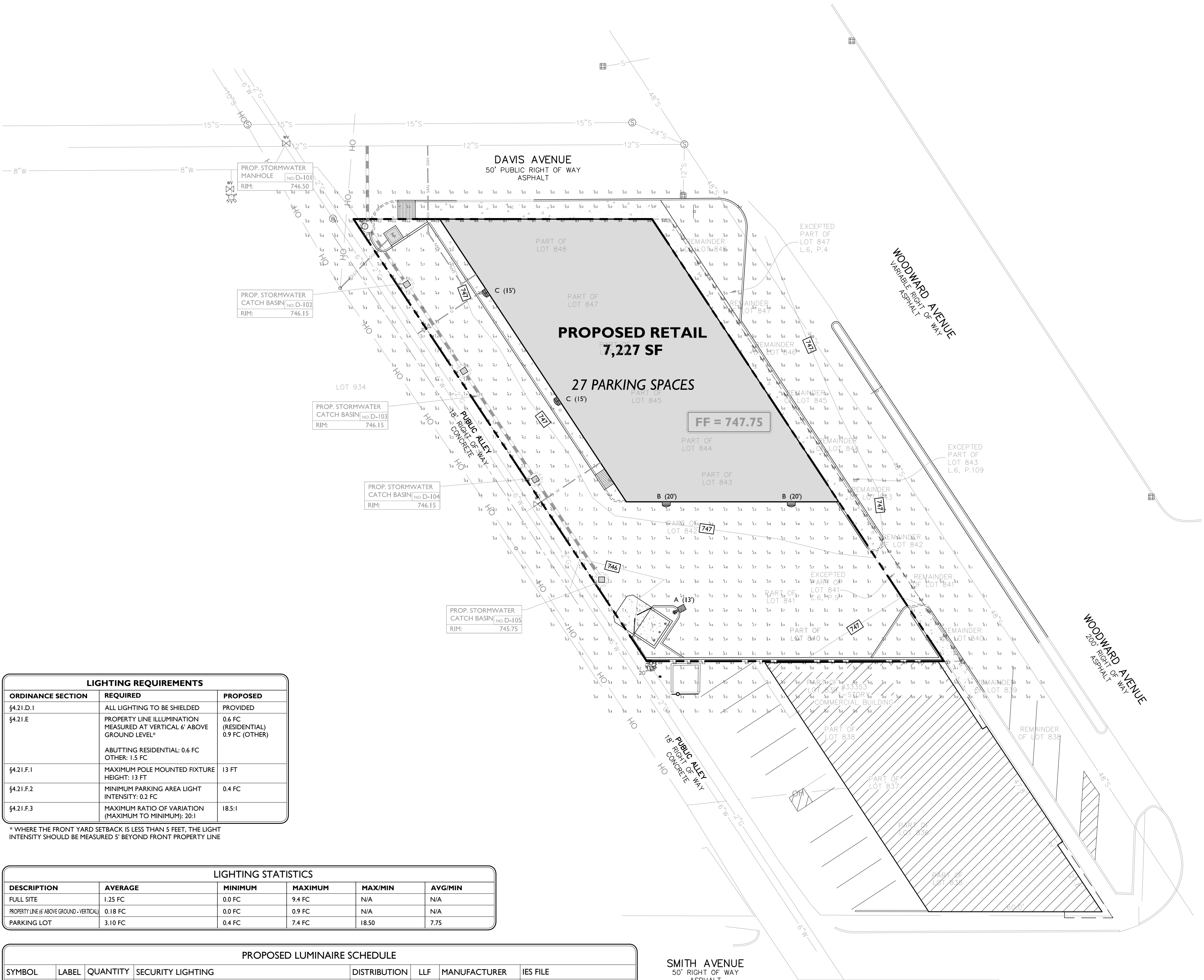
The seal is circular with a dashed outer border. Inside the border, the words "STATE OF MICHIGAN" are at the top and "PROFESSIONAL ENGINEER" is at the bottom, separated by dots. The center of the seal contains the name "JONATHAN ISTRANT", the word "ENGINEER", and the license number "620063062". A signature is written across the center of the seal.

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TITLE:		
GRADING PLAN		
DRAWING:		
C-5		



1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. THE CONTRACTOR IS REQUIRED TO IDENTIFY THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY.
2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY PERMITS OR LICENSES NECESSARY TO ALLOW UTILITIES TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF A SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. IF WATER LINES SHARE A COMMON TRENCH WITH A SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES, IF A SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
6. THE CONTRACTOR TO PERFORM A _____ TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER LINES. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, WATER AND TELEPHONE CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
8. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADIENT.
9. THE CONTRACTOR SHALL MAINTAIN A COMPLETE AND SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS INFORMATION SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND UTILITY STRUCTURE. THE CONTRACTOR SHALL MAINTAIN AND RECORD ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.








SYMBOL	DESCRIPTION
---	PROPOSED CALCULATION AREA
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
+XX	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
[Symbol]	PROPOSED AREA LIGHT
[Symbol]	PROPOSED BUILDING MOUNTED LIGHT

- GENERAL LIGHTING NOTES**
- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
 - WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
 - UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.85
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
 - THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

LIGHTING REQUIREMENTS		
ORDINANCE SECTION	REQUIRED	PROPOSED
§4.21.D.1	ALL LIGHTING TO BE SHIELDED	PROVIDED
§4.21.E	PROPERTY LINE ILLUMINATION MEASURED AT VERTICAL 6' ABOVE GROUND LEVEL*	0.6 FC (RESIDENTIAL) 0.9 FC (OTHER)
§4.21.F.1	ABUTTING RESIDENTIAL: 0.6 FC OTHER: 1.5 FC	
§4.21.F.2	MAXIMUM POLE MOUNTED FIXTURE HEIGHT: 13 FT	13 FT
§4.21.F.3	MINIMUM PARKING AREA LIGHT INTENSITY: 0.2 FC	0.4 FC
§4.21.F.3	MAXIMUM RATIO OF VARIATION (MAXIMUM TO MINIMUM): 20:1	18.5:1

* WHERE THE FRONT YARD SETBACK IS LESS THAN 5 FEET, THE LIGHT INTENSITY SHOULD BE MEASURED 5' BEYOND FRONT PROPERTY LINE

LIGHTING STATISTICS					
DESCRIPTION	AVERAGE	MINIMUM	MAXIMUM	MAX/MIN	AVG/MIN
FULL SITE	1.25 FC	0.0 FC	9.4 FC	N/A	N/A
PROPERTY LINE (6' ABOVE GROUND - VERTICAL)	0.18 FC	0.0 FC	0.9 FC	N/A	N/A
PARKING LOT	3.10 FC	0.4 FC	7.4 FC	18.50	7.75

PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	1	AEROMAX SMALL LED AREA LIGHT - 64 LED -SUPER SAVER	FT	0.85	LSI INDUSTRIES	XASU-FT-LED-64-SS-CW.ies
	B	2	AEROMAX WALL MOUNTED LIGHTS - 64 LED - HIGH OUTPUT	FT	0.85	LSI INDUSTRIES	XAWSU-FT-LED-64-HO-CW-UE.ies
	C	2	AEROMAX WALL MOUNTED LIGHTS - 64 LED - HIGH OUTPUT	3	0.85	LSI INDUSTRIES	XAWSU-3-LED-64-HO-CW-UE.ies

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33353 WOODWARD AVENUE
PROPOSED MULTI-TENANT DEVELOPMENT

PARCEL ID: 20-31-355-033
33353 WOODWARD AVENUE
CITY OF BIRMINGHAM
OAKLAND COUNTY, MICHIGAN



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SCALE: 1" = 20' PROJECT ID: M-16133

TITLE:
LIGHTING PLAN

DRAWING:




C-7



- NOTES: NOT TO SCALE
1. SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOG RINGS, STAPLES OR POCKETS. FOUR TO SIX FASTENERS PER POST.
 2. GEOTEXTILE FABRIC TO BE EMBEDDED 6" (MIN.) AND TAMP IN PLACE.
 3. SECURELY FASTEN ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE "TO A POST" BY WRAPPING EACH END OF THE GEOTEXTILE AROUND THE POST TWICE AND ATTACHING AS SPECIFIED IN NOTE 1 ABOVE. SPLICING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.
 4. SET SILT FENCE WITHIN PROJECT LIMITS. 10'-0" IS DESIRABLE.



- NOTES:
1. THE FILTER BAG SHALL SAFELY PASS FLOWS GREATER THAN OR EQUAL TO THE 1-YEAR 24-HOUR STORM EVENT.
 2. SEDIMENT REMOVAL AND MAINTENANCE SHALL BE PERFORMED FREQUENTLY AND AFTER EVERY STORM EVENT.

 LOD LIMIT OF DISTURBANCE
 SF SILT FENCE
 PROPOSED INLET FILTER

61A - URBAN LAND - CAPAC COMPLEX	
SOIL CHARACTERISTICS	
HYDROLOGIC SOIL GROUP	N/A
DEPTH TO RESTRICTIVE LAYER	MORE THAN 80 INCHES
SOIL PERMEABILITY	0.20 IN/HR TO 0.57 IN/HR
DEPTH TO WATER TABLE	MORE THAN 80 INCHES

EtmaaE - UDORTHERENTS & UDIPSAMMENTS	
SOIL CHARACTERISTICS	
HYDROLOGIC SOIL GROUP	C
DEPTH TO RESTRICTIVE LAYER	ABOUT 39 INCHES
SOIL PERMEABILITY	0.56 IN/HR
DEPTH TO WATER TABLE	MORE THAN 80 INCHES

- | SEQUENCE OF CONSTRUCTION | |
|--------------------------|---|
| 1. | INSTALL SILT FENCE AND CONSTRUCTION ENTRANCE (2 DAYS). |
| 2. | DEMOLISH EXISTING STRUCTURES, PAVEMENT, AND GRAVEL (21 DAYS). |
| 3. | ROUGH GRADING AND TEMPORARY SEEDING (20 DAYS). |
| 4. | EXCAVATE AND INSTALL DRAINAGE PIPING AND INLETS (20 DAYS). |
| 5. | INSTALL INLET FILTERS (1 DAY). |
| 6. | BUILDING CONSTRUCTION AND SITE IMPROVEMENTS (90 DAYS). |
| 7. | CONSTRUCT RIGHT OF WAY IMPROVEMENTS (7 DAYS). |
| 8. | LANDSCAPING IMPROVEMENTS AND FINAL SEEDING (7 DAYS). |
| 9. | REMOVE SOIL EROSION MEASURES (1 DAY). |

NOTE: TIME DURATIONS ARE APPROXIMATE AND ARE INTENDED TO ACT AS A GENERAL GUIDE TO THE CONSTRUCTION TIMELINE. ALL DURATIONS ARE SUBJECT TO CHANGE BY CONTRACTOR. CONTRACTOR SHALL SUBMIT CONSTRUCTION SCHEDULE TO TOWNSHIP AND ENGINEER. CONTRACTOR SHALL PHASE CONSTRUCTION ACCORDINGLY

- FLOOD HAZARD AREA NOTES:**
1. THERE ARE NO RIPARIAN ZONES ON SITE.
 2. THERE ARE FLOODWAYS ON SITE.
 3. PORTIONS OF THE SITE ARE WITHIN THE 100-YR FLOOD AREA
 4. ALL ELEVATIONS SHOWN ARE BASED ON THE CITY OF BIRMINGHAM DATUM.

- ENVIRONMENTAL NOTES:**
1. THERE ARE NO WETLANDS ON SITE.
 2. THE ROUGE RIVER IS LOCATED ONSITE.
 3. REFER TO STORMWATER MANAGEMENT REPORT FOR SOIL INFORMATION AND LAND USE FOR SURROUNDING AREA

PROPERTY DESCRIPTION

LAND SITUATED IN THE CITY OF BIRMINGHAM, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

LOTS 840 TO 848 INCLUSIVE, EXCEPT THAT PART TAKEN FOR WIDENING WOODWARD AVENUE, LEINBACH-HUMPHREY'S WOODWARD AVENUE SUBDIVISION ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 27 OF PLATS, PAGE 5, OAKLAND COUNTY RECORDS.

PARCEL AREA

±15,789 SQUARE FEET = 0.363± ACRES

BASIS OF BEARING

NORTH 33°25'40" WEST, BEING THE WESTERLY RIGHT OF WAY LINE
OF WOODWARD AVENUE AS PLATTED.

SITE BENCHMARK

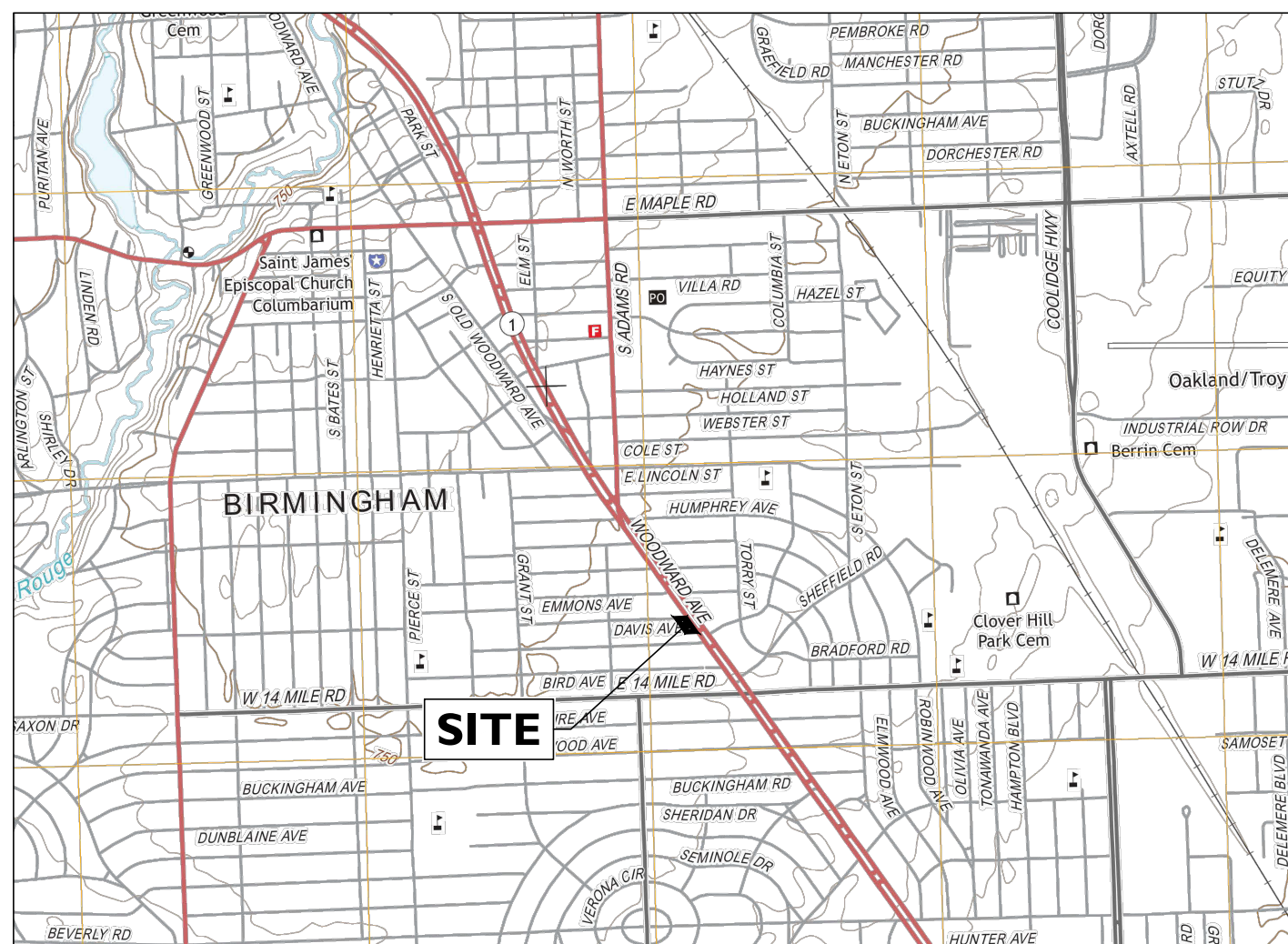
ARROW ON HYDRANT SOUTH OF DAVIS AVENUE AT
#1356 DAVIS AVENUE
ELEVATION=748.47' (NAVD 88)

EROSION AND SEDIMENT CONTROL NOTES

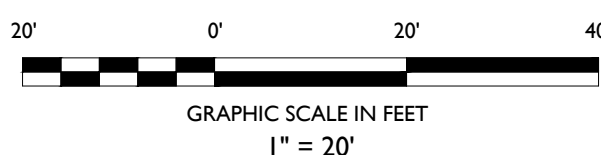
1. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
3. THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER EACH PRECIPITATION EVENT EXCEEDING 0.5 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION AS REQUIRED TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION.



SCALE: 1" = 2000'±



SOURCE: USGS MAPS



NOT APPROVED FOR CONSTRUCTION			
6	12/27/2016	MTF	FOR FINAL SITE PLAN APPROVAL
5	12/20/2016	MTF	FOR MDOT SUBMISSION
4	11/11/2016	MTF	FOR CLIENT COMMENTS
3	11/11/2016	MTF	FOR CITY PLANNING COMMISSION COMMENTS
2	10/19/2016	MTF	FOR PRELIMINARY SITE PLAN REVIEW
1	09/07/2016	MTF	FOR CLIENT REVIEW
ISSUE	DATE	BY	DESCRIPTION

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PARCEL ID: 20-31-355-033
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PARCEL ID: 20-



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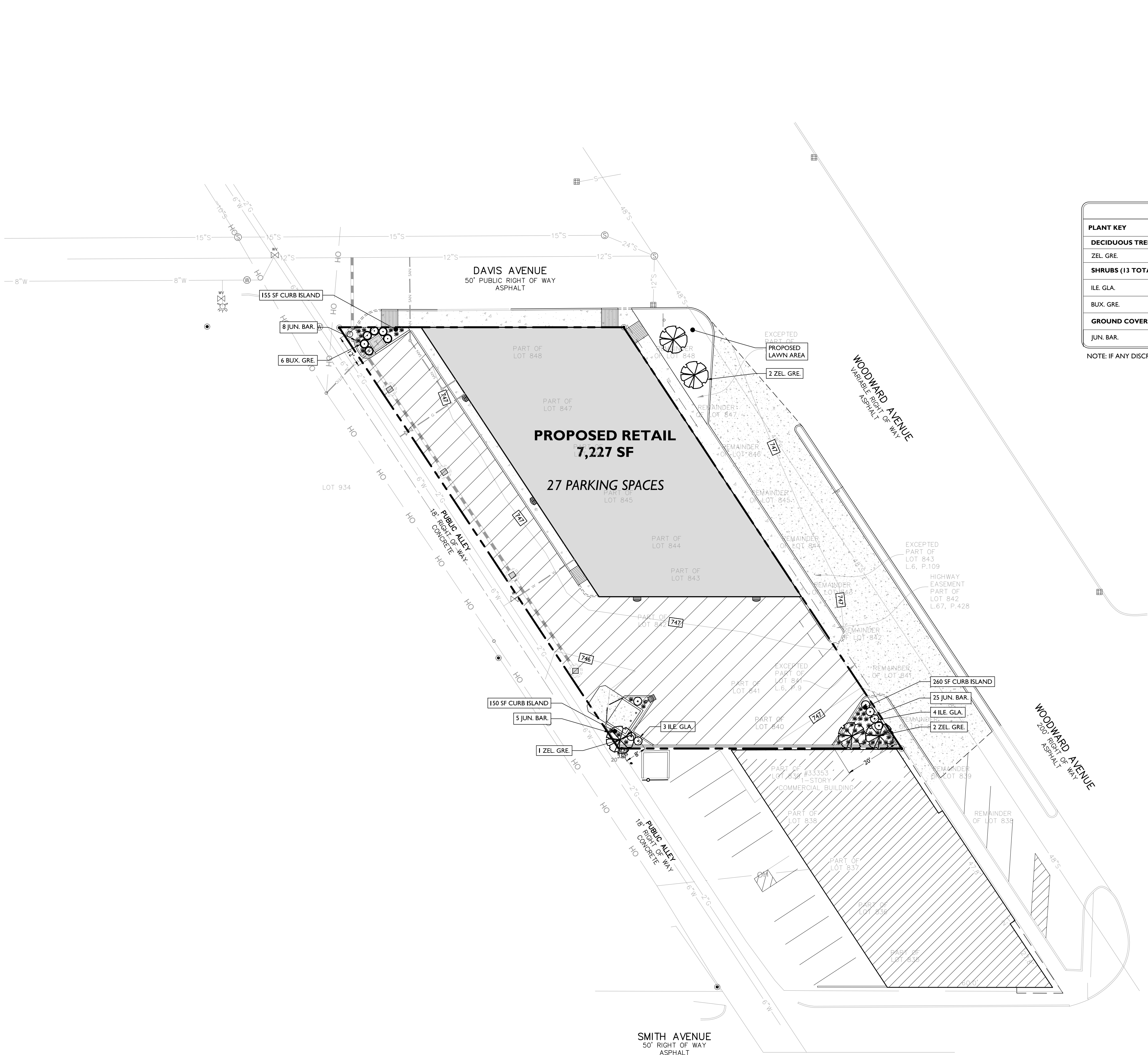
SCALE:	1" = 20'	PROJECT ID: M-16133
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TITLE:
**SOIL EROSION &
SEDIMENT CONTROL
PLAN**

DRAWING

C-8

V:\PDS\04-16-33\DWG\BAMBA-33333\WOODWARD AVE BRIGHAM, MICHAEL\DOT\04-16-33\LAND.DWG



PLANT SCHEDULE					
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
DECIDUOUS TREES					
ZEL. GRE.	5	ZELKOVA SERRATE 'GREEN VASE'	GREEN VASE ZELKOVA	3'-3.5" CAL.	B&B
SHRUBS (13 TOTAL)					
ILE. GLA.	7	ILEX GLABRA	INKBERRY	30"-36"	B&B
BUX. GRE.	6	BUXUS X 'GREEN MOUNTAIN'	UPRIGHT BOXWOOD	4'-5'	B&B
GROUND COVERS					
JUN. BAR.	38	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR JUNIPER	18"-24"	CONT. 3' O.C.

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

LANDSCAPING AND BUFFER REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 4.20.D.2	ALL UNDEVELOPED / UNPAVED PORTIONS OF THE SITE SHALL BE PLANTED	COMPLIES
§ 4.20.E	REQUIRED PLANTINGS FOR COMMERCIAL USES: NONE	COMPLIES
§ 4.20.F	PARKING LOT AREAS GREATER THAN 7,500 SF SHALL MEET THE FOLLOWING LANDSCAPING REQUIREMENTS: MINIMUM TOTAL INTERIOR PARKING LOT LANDSCAPED AREA: 5% (7,785 SF) (1/20) = 389 SF INTERIOR PLANTING AREA SIZE: 150 SF MINIMUM PLANTING AREA DIMENSION: 8 FT ONE CANOPY TREE PER LANDSCAPED AREA	INTERIOR PARKING LOT AREA: 565 SF COMPLIES (SEE PLAN FOR DIMENSION AND AREAS)
§ 4.20.G	RIGHT OF WAY LANDSCAPING: 1 STREET TREE PER 40 LF OF STREET FRONTAGE (303 LF STREET FRONTAGE) (1 STREET TREE / 40 STREET FRONTAGE) = 7 STREET TREES	2 STREET TREES (W)

(W) WAIVER

TOTAL SITE AREA: 15,789 SF

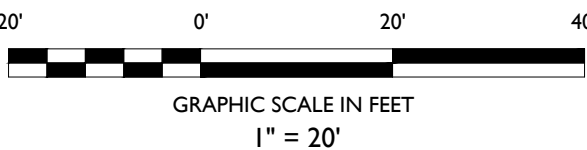
PARKING LOT AREAS INCLUDES CURB ISLAND LANDSCAPING: 7,785 SF
(AREAS DENOTED BY HATCHING)
BUILDING AREA: 7,227 SF
SIDEWALK / TRASH ENCLOSURE AREA: 862 SF

IRRIGATION NOTE:

IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

LANDSCAPING NOTES

- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
- THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
- THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
- THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



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SITE DEVELOPMENT PLANS

33353 WOODWARD AVENUE

PROPOSED MULTI-TENANT DEVELOPMENT

PARCEL ID: 20-31-355-033
33353 WOODWARD AVENUE
CITY OF BIRMINGHAM
OAKLAND COUNTY, MICHIGAN



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SCALE: 1" = 20' PROJECT ID: M-16133

TITLE:

LANDSCAPING PLAN

DRAWING:

C-9

1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL AWAY ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
2. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
3. SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPNUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



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GENERAL LANDSCAPING NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN CONFORMANCE WITH THE INTENTION OF THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
2. WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.
3. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF REQUESTED.
4. IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED VERNICES OTHER THAN THE ABOVE.
5. UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.
6. THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

PROTECTION OF EXISTING VEGETATION NOTES:

- BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. THE LOCATION OF EACH TREE TO BE PROTECTED SHALL BE IDENTIFIED AND MARKED WITH WHITE PAINT OR SPRAYED PLANT STAIN. PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE, FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE PROTECTION FENCE DETAIL." NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION IS COMPLETED.
2. IN ORDER TO AVOID DAMAGE TO ROOTS, BRAK OR LOWER BRANCHES, NO VEHICLE, EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONSTRUCTORS SHALL BE REQUIRED TO WEAR SHOES THAT HAVE TREAD PATTERNS DESIGNED TO MINIMIZE SOIL COMPACTION, PAVEMENTS, UTILITY, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT.
3. IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRIPLINE OF TREES TO REMAIN, THE FOLLOWING SHALL APPLY:
- a) TRENCING: WHEN TRENCING OCCURS AROUND TREES TO BE KEPT, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE UNNIEDED UPON OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. THE ROOTS, NOOPUS LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.
 - b) REPAIRS: WHEN THERE IS A NEED FOR REPAIRS TO EXISTING DRIVEWAYS, SIDEWALKS, PAVEMENTS, UTILITIES, ETC., EXCEEDING SIX INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES AT LEAST SIX INCHES (6"). NEW FINISHED GRAVEL SHALL BE PLACED OVER THE GRAVEL. NEW FINISHED GRAVEL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL, WHERE FILL IS EXCEEDING SIX INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED. THE TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL."
 - c) LOWERING GRADES: WHEN THERE IS A NEED TO LOWER GRADE WHERE THERE IS FINISHED GRADE TO BE COVERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE IDENTIFIED ELEVATION, NO GREATER THAN SIX INCHES (6"), ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST.
- THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

SOIL PREPARATION AND MULCH NOTES:

1. LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS.
2. BASED ON THE SOIL TEST, THE CONTRACTOR SHALL ADJUST THE RATES OF LINE AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LINE AND FERTILIZER RATES PROVIDED WITHIN THE "SEED SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR GUIDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS FOLLOWS:
 - a. "MODIFY" HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
 - b. "MODIFY" EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM.
3. TOPSOIL SHALL BE FERTILE, FRABLE, NATURAL, TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A WELL-DRAINED AERABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1").
4. LANDSCAPE CONTRACTOR SHALL NOT REMOVE OR DISPOSE OF ANY SOILS OR SUBSOILS EXCEPT AS SPECIFIED BY WEIGHT.
5. OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE.
6. CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTION THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
7. UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE GRADING WITHIN THE DISTURBED AREA OF THE SITE.
8. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPREADING OF TOPSOIL TO THE FINISHED GRADE ELEVATION (LESS THE REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN.
9. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGES OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE ARCHITECT AND PLANT MATERIAL SPECIFICATIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE WATER.
11. DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR. GROUND COVER, PERENNIAL, AND ANNUAL PLANTINGS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE DISPLACED BY WIND OR WATER RUNOFF.
12. WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING.
13. MULCH SHALL BE MOISTENED WITH WATER OR OTHER LARGE COMBUSTIBLE EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILTING THAT PRODUCES LARGE, COARSE CHUNKS OF SOIL IS PREFERABLE TO TILTING THAT RESULTS IN FINE GRAINS UNIFORM TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE.
14. APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL.
15. ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:

MYCRO® TREE SAVER - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL NUTRIENTS.

- [illegible]

HEALTHY START MACRO TABS 12-8-8

- FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS.
- TABLETS ARE FORMULATED FOR LONG-TERM RELEASE BY SLOW BIODEGRADATION, AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (%) HUMIC ACID BY WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PROTEIN BYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPLEMENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALLED & BURLAPPED (B&B) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT 1 TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.

PLANT QUALITY AND HANDLING NOTES:

1. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2000) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
2. IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES.
3. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL HAVE A NORMAL, HEALTHY AND, TO THE HIGHEST EXTENT, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM.
4. ALL PLANTS SHALL BE FREE OF DISEASE, PESTS AND EGG LARVAE.
5. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT BEEN COMPLETELY CALLOUSED SHALL BE REJECTED.
6. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE.
7. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS AND UNBRANCHED AND DENSELY CALLOUSED WHEN IN LEAF.
8. ALL PLANTS DESIGNATED BALL AND BURLAP (B&B) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE PLANTED INTO A HOLE OR PIT THAT IS NOT THE SAME SIZE AS THE BALL OF EARTH. THE BALL OF EARTH SHALL BE PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALL SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEeled-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, IT MUST BE TREATED TO PREVENT ROT OF THE PLANT. ALL PLANTS TO BE PLANTED IN VEHICLES MUST BE COVERED WITH TARP OR OTHER SUITABLE COVER, SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DELIVERY SHALL BE REJECTED.
9. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.

- ALL LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIME AND COVERED WITH MOISTENED MULCH OR AGED WOOD CHIPS. IF COVER IRRIGATION SO AS TO KEEP THE ROOT BALL TO DRY OUT. PLANTINGS SHALL BE UNITED AND PROPER SPACING SHALL BE ALLOTTED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING, AND LEAF LOSS. PLANTS THAT REMAINED UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.
11. NO PLANT MATERIAL SHALL BE PLANTED IN MUDGY OR FROZEN SOIL.
12. PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REMOVED.
13. IF PLANTS ARE DAMAGED OR DISCONTINUED, A SUBSTITUTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO RELOCATE OR ENLARGE PLANTING PITS OR DELETE PLANT MATERIAL FROM THE CONTRACT.
14. IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.
15. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:
- PLANTS (MARCH 15 - DECEMBER 15)
- LAVINGS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
- THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPLANT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15):
- | | | |
|--------------------------|--------------------------|--------------------------------------|
| ABIES CONCOLOR | CORNUS VARIETIES | OSTRYA VIRGINIANA |
| ACER BURGERSIANUM | CORNUS VARIETIES | PINUS NIGRA |
| ACER FREEMANII | CRATAEGUS/PARIS/LELANDII | PLATANUS VARIETIES |
| ACER RUBRUM | FAUGES VARIETIES | POPULUS VARIETIES |
| ACER SACCHARINUM | HALESIA VARIETIES | PRUNUS VARIETIES |
| BETULA VARIETIES | LEX X FOSTERII | PYRUS VARIETIES |
| CARPINUS VARIETIES | LEX NELLIE STEVENS | QUERCUS VARIETIES (NOT Q. PALUSTRIS) |
| CEDRUS DEODARA | LIX OPACA | SAUX WEEPING VARIETIES |
| COENOTHEUS | JUNIPERUS VIRGINIANA | SCOTCH PINE |
| CERCIDIPHYLLUM VARIETIES | KOELREUTERIA PANICULATA | TAXODIUM VARIETIES |
| CERCIS CANADENSIS | LIQUIDAMBAR VARIETIES | TAXUS X REPANDENS |
| CORNUS VARIETIES | LIRIODENDRON VARIETIES | TILIA TOMENTOSA VARIETIES |
| CRATAEGUS VARIETIES | MALLUS IN LEAF | ULMUS PARVIFOLIA VARIETIES |
| | NYSSA SYLVATICA | ZELKOVA VARIETIES |

17. IF A PROPOSED PLANT IS UNATTAINABLE OR ON THE FALL DIGGING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER, CITY OF CHICAGO OFFICIAL PRIOR TO ORDERING AND INSTALLATION.
18. DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED.
19. THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE CITY OF CHICAGO MUNICIPALITY.
20. A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED.
21. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER BEDS OR SAUCERS, MAINTAINING STAKES AND GUYS IF ORIGINALLY REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND TRIMMING OF OTHER PLANTS AND TREES.
22. MOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3"). MOWING SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH. WHEN THE AMOUNT OF GRASS IS HEAVY, IT SHALL BE REMOVED TO PREVENT DESTRUCTION OF THE PLANTS AND TREES. MOWING SHALL BE PERFORMED AT THE END OF EACH WORK DAY. MOWING SHALL BE DONE FROM PAVED AREAS, AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS.
23. GRASSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING.
24. SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED.
25. LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL THROUGHOUT REQUIRED 90-DAY MAINTENANCE PERIODS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OR A WATERING TRUCK OR OTHER ACCEPTABLE MEANS.
26. THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL.
27. IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND ESTABLISHMENT.

PLANT MATERIAL GUARANTEE NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL, FOR A PERIOD OF ONE YEAR (1 YR) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE.
2. THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATION.
3. ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AGENCIES SHALL BE REPLACED AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
4. THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

LAWN (SEED OR SOD) NOTES

1. SEED MIXTURE SHALL BE FRESH LEGUME, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.
2. SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION."
3. SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER.
4. REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEEDED OR LAID WITH SOD.
5. SEEDING SHALL BE COMPLETED WITHIN THE SEASON OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION. TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEEDING SPECIFICATION."
6. PROTECT NEW LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS, EROSION, VANDALISM, OR ANY OTHER CAUSE SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS OR HER OWN EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.

NOTES

1. FOR THE CONTAINER-GROWN SHRUBS, USE FINGERS OR SMALL HAND TOOL TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
2. THOROUGHLY SOAK THE SHRUB ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL



3

NOTES:

1. THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
2. SOIL AMENDMENTS:
 - * MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - * MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 20% OF THE TOTAL MIX
3. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT PER MANUFACTURER'S SPECIFICATIONS



33353 WOODWARD AVENUE

PROPOSED MULTI-TENANT DEVELOPMENT

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SCALE:	AS SHOWN	PROJECT ID:	M-16133
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TITLE:

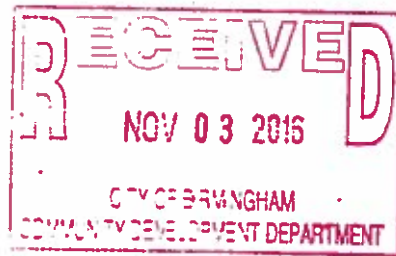
LANDSCAPING DETAILS

DRAWING

C-10



City Clerk
Birmingham Planning Board
Municipal Building
151 Martin
Birmingham, MI 48009
Attn: Jana L. Ecker



Dear Ms. Ecker:

With notice of the public hearing about building at 7,227 square foot retail mall with parking at 33353 Woodward. The Platt family at 1308 Davis Avenue are vehemently opposed to any change in this manner. Tuffy Muffler has been a good neighbor for many years. They keep hours that leaves our little slice of Birmingham the quiet peaceful place that most people desire. We have also frequented the services of Tuffy and very much like the convenience it provides. With that big of a space in a lot that size, they will not have adequate enough parking to accommodate their needs and the strong fear of extra parking on our street is not acceptable. Late night noise and the potential increase in crime is another factor in our loathing of this notice.

With a strong opposition,

Sincerely,
The Platt's 1308 Davis Ave



MEMORANDUM

Planning Division

DATE: January 20, 2017

TO: Planning Board members

FROM: Sean Campbell, Assistant City Planner

SUBJECT: 35975 Woodward (August, LLC) - Preliminary Site Plan Review **(All changes made from previous report are shown in blue type.)**

The parcel located at 35975 Woodward, the former site of a gasoline service station, is currently vacant. In 2005, the gas station closed its operations and the remaining structure was later demolished in 2013. Construction of the existing parking lot was completed without site plan approval roughly one year ago. The applicant is proposing to demolish a portion of the surface lot to construct a new two-story office building on the subject site, with on-site parking and various other site improvements. The site has a total land area of .538 acres and is located at the southwest corner of Woodward Ave and Oak Ave.

It is proposed that the first floor of the building will contain a lobby, office space, and a two-car private parking garage. The second floor will be primarily office space. Since the site is located outside of the Downtown Parking Assessment District, on-site parking has been proposed behind the building. A 5,196 sq. ft. basement proposed, a 4,880 first floor, and a 4,944 second floor for a total of 15,020 sq. ft. for the building as a whole. **The applicant is now proposing a 5500 sq.ft. floor plate, for each of the two stories above grade, plus the basement, for a total of 16,500 sq.ft. of gross space.**

1.0 Land Use and Zoning

- 1.1 Existing Land Use – The existing property is currently an illegally constructed surface parking lot. There are no structures on the site. Office, commercial, and residential uses surround the site.
- 1.2 Zoning – The property is currently zoned B-2B, General Commercial and D-2 in the Downtown Overlay District. The adjacent uses conform to the permitted uses of each Zoning District.
- 1.3 Summary of Adjacent Land Use and Zoning - The following chart summarizes existing land use and zoning adjacent to and/or in the vicinity of the subject site, including the proposed 2016 Regulating Plan zones

	North	South	East	West
Existing Land Use	General Business, Mixed-use	Rouge River	Outside of Birmingham City Limits	General Business, Dry Cleaners
Existing Zoning District	B2-B	PP	N/A	B2-B
Overlay Zoning District	N/A	N/A	N/A	D-2

2.0 Use, Setback and Height Requirements

The applicant proposes the construction of a 2-story office building with a basement level. Additionally, the applicant is proposing a 5,196 sq. ft. basement for the proposed 2-story building. No basement plans have been submitted to verify that the finished ceiling height is below a height of 7' – 6," the height at which the room is considered habitable. **In accordance with Article 3, Section 3.04 (C) (9) of the Zoning Ordinance, office uses are limited to 1 story in the D-2 Overlay Zoning District. The applicant is required to reduce the number of stories containing office uses to 1 or obtain a variance through the Board of Zoning Appeals. At this time, the basement is considered habitable and has been included in the overall floor area calculation. The applicant is required to provide a building section plan that includes the height of the proposed basement space. From the plans submitted, it appears that the ceiling could be 8' to 10' in height. The applicant will also be required to provide the proposed eave height to ensure the minimum 20' requirement is met. The applicant has now provided the eave height, which is marked on the plans at 28.5' in height, thus meeting the minimum requirement.**

The attached summary analysis provides the required and proposed bulk, area, and placement regulations for the proposed project. All setback and height requirements have been met with the exception of those noted below and on the summary analysis.

The submitted plans demonstrate that the rear setback for the proposed building will be 47'. In accordance with Article 3, Section 3.04 (B) (4) of the Zoning Ordinance, in the absence of an alley, the rear setback shall be equal to that of the adjacent, preexisting building. The adjacent building, Douglas Cleaners, appears to have a 14' rear setback. **The applicant must verify the rear setback on the Douglas Cleaners building and match that, or obtain a variance through the Board of Zoning Appeals.**

The applicant appears to meet all other bulk, height, area and placement requirements of the B-2B and D-2 Overlay zoning districts except as noted on the summary analysis sheet attached.

3.0 Screening and Landscaping

3.1 Dumpster Screening – All trash and recyclable storage is proposed within the structure, with access from the adjoining pedestrian walkway along the south elevation. Private trash collection will be utilized. The 3 trash receptacles are partially screened by the south elevation wall but the glass entry door to the interior trash area creates a potential public view. **In accordance with Article 4, Section 4.54 of the Zoning Ordinance, trash receptacles must be fully obscured by a masonry screen wall to screen from public view. The applicant must screen or place the trash receptacles in such a manner that they are screened from the outside of the building. The applicant has now reduced the size of the trash room and plans to store all trash receptacles in an area screened by the exterior wall of the building.**

3.2 Parking Lot Screening – All parking facilities must be screened in accordance with Article 4, section 4.49 of the Zoning Ordinance. In compliance with this provision, the applicant proposes a 36" high screenwall with a brick veneer to complement the principal building material and a 4" high limestone cap.

In addition to the masonry screenwalls along the frontage of the site, the applicant proposes to screen the parking lot with a wall of 10' arborvitae along the rear lot line. The southeast corner of the parking lot will be screened by two (2) 20' high Norway Spruce tree plantings on a curb extension.

3.3 Mechanical Equipment Screening – One electrical transformer is proposed at the rear of the property on an extended curb in the vehicular circulation area. The submitted landscape plans demonstrate that the transformer will be screened by a wall of 13 10' high Arborvitae on three sides of the equipment, creating a potential public view from N. Old Woodward. **In accordance with Article 4, Section 4.54 of the Zoning Ordinance, ground-mounted mechanical or electrical equipment that is visible to the public must be fully screened from public view on all sides. The applicant must add the required screening or obtain a variance from the Board of Zoning Appeals. The applicant has now added 10' high Arborvitae on all sides to fully screen the transformer from public view as required.**

No specifications have been provided for exterior mechanical equipment and, no rooftop plans have been submitted at this time. **The applicant will be required to provide specification sheets and a roof plan at the time of Final Site Plan to ensure all screening requirements are met. The applicant has not yet provided a roof plan, but has submitted drawings showing a proposed**

mechanical well in the roof which should screen all rooftop mechanical equipment.

- 3.4 Landscaping – Article 04 section 4.20 LA-01(G) of the Zoning Ordinance requires at least 1 street tree for each 40 linear feet of frontage. As the subject property has a total combined linear frontage of 420.33 ft. along Woodward, Oak, and N. Old Woodward, the required number of street trees for the proposed development is 11. The submitted plans show 3 existing Crimson King Maple trees within the Woodward Ave. right-of-way and propose planting 2 additional 6 – 7" caliper Crimson King Norway Maple for a total of 5 street trees. **In accordance with Article 04, Section 4.20 LA-01 (G), the applicant is required to provide 11 street trees or obtain a variance from the Board of Zoning Appeals. The Staff Arborist may waive the full street tree requirement upon a determination that there is inadequate green space to support such trees. At this time, a waiver has not been obtained and thus the applicant must add 6 additional street trees or obtain a variance from the Board of Zoning Appeals. The applicant has now met with the Staff Arborist regarding the street tree requirement along N. Old Woodward and Oak. While a formal waiver has not yet been obtained, the Staff Arborist has agreed that there is only space for 5 street trees along Oak Street, and that the only location with adequate planting area would be on private property, along the southern edge of the sidewalk. This would allow a 5' pedestrian path to be maintained along the Oak Street sidewalk, while providing the trees with a healthy growing environment. The applicant has also been advised not to add a street tree near the corner of N. Old Woodward and Oak given possible sight distance issues.**

As the proposed office development is located within the Downtown Overlay District, there are no other landscape requirements for this site.

- 3.5 Streetscape - The applicant is not proposing to add any of the required Downtown Streetscape elements such as pedestrian scale street lights, bike racks, or street furniture along Old Woodward, Oak or Woodward at this time. **The applicant is required to construct the streetscape along Old Woodward, Oak and Woodward in accordance with the Downtown Streetscape Standards, including a broom finish sidewalk with exposed aggregate sidewalk along the curbs, and the addition of lighting, street furnishings and trash receptacles. The applicant has now amended the plans to show the required exposed aggregate sidewalk along the curb, and a 5' wide broom finish concrete walking path. The applicant has also added the required pedestrian scale street lights along Oak and at the corner of Oak and N. Old Woodward, and has added 2 benches and a trash receptacle along the Woodward frontage. In addition, one bench and a bike rack is also proposed in the entry plaza area of the southeast corner of the building. The applicant will be required to enter into a Streetscape Agreement with the City for such improvements.**

4.0 Parking, Loading and Circulation

- 4.1 Parking – In accordance with Article 4, section 4.34 of the Zoning Ordinance, the proposed development is required to provide 1 parking space for every 300 square feet of office floor area. As the two-story building has a total floor area of **16,500 sq. ft.** (including the basement), the applicant is required to provide a total of **55** parking spaces. At this time, the applicant is proposing **34** spaces and thus does not meet the minimum required parking for this type of development. The applicant is proposing **32** of the required spaces in the lot located to south and east of the building, of which 2 will be barrier-free. The remaining 2 required spaces are proposed within a private garage along the south elevation of the building. All proposed parking spaces meet the minimum 180 sq.ft. size requirement. **The applicant is required to provide the required 55 parking spaces for the proposed development or obtain a variance from the Board of Zoning Appeals.**
- 4.2 Loading – Article 4, section 4.24 of the Zoning Ordinance provides that 1 off-street loading space is required as the proposed building is greater than 10,000 sq. ft. in size. No loading spaces are proposed at this time. **The applicant will be required to provide the required off-street loading space or obtain a variance through the Board of Zoning Appeals.**
- 4.3 Vehicular Circulation and Access – In accordance with Article 3, Section 3.04, vehicular or pedestrian access to the site along a frontage line shall be an opening no larger than 25' in width in the building façade or required screen wall. The applicant is proposing a 32' wide opening in the screen wall along Woodward, a 39' wide opening in the screen wall along Oak, and a 28' wide opening in the required screen wall along N. Old Woodward. **The applicant is required to reduce the width of all vehicular and pedestrian access openings in the screen wall to no more than 25' in width or obtain variances from the Board of Zoning Appeals.**

As demonstrated in sheet C-3, the proposed parking lot will maintain at a drive aisle of at least 20' in width, providing sufficient room for vehicular maneuvering. The applicant proposes a private parking garage for two cars on the first floor with access from the south elevation. However, the applicant has not provided the width of the parking garage openings at this time. **In accordance with Article 3, Section 3.04 (C) (7) of the Zoning Ordinance, openings for parking garage access shall repeat the same rhythm and proportion as the rest of the building to maintain a consistent streetscape. The applicant is required to provide the width of the parking garage opening to demonstrate compliance with this provision. It appears to be 16' in width if it is located on the south elevation as marked.**

- 4.4 Pedestrian Circulation and Access – As demonstrated in C-3 of the engineering plan, the applicant is not proposing any new sidewalks in the public right of way but will replace any broken, or spalled concrete slabs in order to maintain the

existing pedestrian circulation and access. **As noted above, the applicant is required to build the adjoining sidewalks to the Downtown Streetscape Standards.** The applicant has proposed a 4' to 4.5' wide sidewalk behind the principal building that provides pedestrian access from the parking lot to the south entrance and joins a 13.5' wide sidewalk that provides access to the east and north entrances.

A private lobby is located in the rear of the building which includes an elevator and a door to the private garage. The proposed trash room and stairwell at the southwest corner of the building will be accessed via two separate entry doors. The main lobby for the proposed building is made accessible by two doors located at the northeast corner of the building that lead to a vestibule. The main lobby contains an elevator and stairwell leading to the basement and second floor.

5.0 Lighting

The applicant has submitted a photometric plan that demonstrates the placement and illuminance level of the proposed luminaries for the subject site. The applicant has also provided specification sheets for the following light fixtures:

- BEGA, black die-cast aluminum, 5.5" in height and 16" in width, pole top light fixture containing a 56.9 watt LED lamp. Nine of these cut-off fixtures are proposed at various locations within the vehicular circulation area at a mounting height of 16'. **However, it appears that 6 of these fixtures exceed the maximum illuminance level of 1.5 fc at 3 different lot lines that abut non-residential zoned properties. Further, it appears that a portion of the vehicular circulation area at the southeast lot has an illumination level below the 0.2 fc minimum. The applicant must address these issues at the time of Final Site Plan Review. The applicant has now reduced the LED lamps to 50 watts in order to reduce the amount of light at the property lot lines. The applicant has also corrected the light levels such that no area of the parking lot falls below the 0.2 fc minimum required.**
- BEGA, black die-cast aluminum, rectangular wall-mounted light fixture containing a 12 watt LED lamp. Five of these cut-off fixtures are proposed on the exterior of the proposed at a mounting height of 10' on the building to illuminate the pedestrian walkways; 3 on the south elevation; and two at the Woodward Ave entrance at the northeast corner of the building. This proposed light fixture meets all of the light level requirements. **The chart included on the photometric plan indicates there are 5 fixtures proposed, but the photometric plan itself only shows 4 wall-mounted light fixtures.**
- BEGA, unfinished steel, 8.125" diameter 6.75" height, "drive over" light fixture containing a 14.66 watt lamp. Three of these fixtures will be installed in-grade and will emit light upwards. **In accordance with Article 4, Section 4.21 (D) (1) of the Zoning Ordinance, all luminaries must be full cutoff or cutoff.**

However, exception to cutoff luminaires can be made at the discretion of the Planning Board. **The proposed in-grade lighting is placed under the entry canopy at the southeast corner of the building. The applicant has advised that the purpose of these lights is to highlight the entry and architectural details of the building. The Planning Board may allow non-cut-off fixtures to enhance architectural details.**

Additionally, the photometric plan indicates a max/min ratio of 38:1. In Accordance with Article 4, Section 4.21 (F) (3) of the Zoning Ordinance, the variation of foot candle illumination levels in the circulation areas will be no greater than a 20:1 maximum to minimum ratio. The applicant is required to address these issues or obtain variances through the Board of Zoning Appeals. **The revised photometric plan now shows a maximum : minimum ration of 3.7:0.2, which does meet the standards contained in the Zoning Ordinance.**

6.0 Departmental Reports

6.1 **Engineering Division** - The Engineering Dept. has reviewed the plans dated November 30, 2016, for the above referenced project. The following comments are offered:

1. **The proposed two parking spaces at the northwest corner of the site result in inadequate aisle width for the adjacent parking spaces to the south.** Realigning these to head into the Old Woodward Ave. right-of-way line would appear to resolve this problem. **The applicant has revised the layout of these two parking spaces as recommended by the Engineering Department.**
2. It is anticipated that the building will connect its sanitary sewage to the existing combined sewer on Oak St. The City will require that all storm water discharge be directed to the adjacent river, with an on-site storm water treatment chamber to be designed and approved prior to the issuance of a building permit.
3. The plan proposes changes to the driveways on Woodward Ave. Any work within the Woodward Ave. right-of-way will require a permit from the MI Dept. of Transportation (MDOT).
4. Permits required from our department shall include:
 - Right-of-way Permit
 - Sidewalk Permit

6.2 **The Department of Public Services** – No comments have been provided at this time, but will be submitted prior to the January 25, 2016 Planning Board meeting.

6.3 **Fire Department** - The Fire Department has no issues with this site plan at this time. Although I'd like to note the elevation plans do not match the site and floor plans. Wrong directions listed on the elevation plans.

6.4 **Police Department** – No comments have been provided at this time, but will be submitted prior to the January 25, 2016 Planning Board meeting.

6.5 **Building Division** – The Building Division notes that the overall building dimensions for the building are not shown. However, it appears that two remote exits will be required from the basement area.

7.0 **Design Review**

The Planning Division will reserve detailed comments regarding architectural standards and design related issues for the Final Site Plan and Design Review.

At this time the applicant has provided elevation drawings, but specific details or specification sheets on the materials have not yet been provided. The plans submitted indicate that the applicant is proposing to utilize the following materials:

- Slate (roof shingles)
- Cut stone (cornice)
- Aluminum clad (windows);
- Stone (panels below windows);
- Brick soldier course above first floor windows;
- Brick (exterior walls); and
- Steel and glass (entrance canopy)

The submitted plans do not demonstrate that the glazing requirements per Article 3, Section 3.04 (E) have been met, and accordingly, are required at the time of Final Site Plan Review. **The applicant is required to demonstrate that each storefront has transparent areas, equal to 70% of its façade, between one and eight feet above grade. Further, the applicant is also required to demonstrate that the glazed area of the facade above the first floor does not exceed 35% of the total area, with each area being calculated independently.** The applicant should also provide clarification on the methods used to calculate the glazing provided to ensure that this is consistent with standard practice.

As noted above, the applicant is also proposing three openings in the required building façade or required screenwall that are greater than 25' in width. **In accordance with Article 3, Section 3.04 of the Zoning Ordinance, screenwalls may have openings of no more than 25' in width. The applicant is required to reduce the screenwall openings along N. Old Woodward, Oak, and Woodward to not exceed widths of 25' or obtain variances from the Board of Zoning Appeals. The applicant should also ensure that the screenwalls are continuous where there is no building façade on the frontage line along each street, and all screen walls required in the absence of a building façade must be in line with the building along the frontage line. This does not appear to be the case along Woodward. The applicant has now revised the plans to reduce the**

drives and screenwall openings beneath the maximum of 25' in width. This allowed them to add one parking space as well.

8.0 Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- (1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- (2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- (3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property not diminish the value thereof.
- (4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- (5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- (6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

9.0 Recommendation

Based on a review of the site plan submitted, the Planning Division recommends that the Planning Board postpone the Preliminary Site Plan for 35975 Woodward to allow the applicant time to address the following issues:

- 1. Reduce the number of stories containing office uses to one;**
- 2. Verify the rear setback of the adjacent property and match that with the subject development or obtain a variance;**
- 3. Submit basement plans indicating floor to ceiling height to determine if parking requirements will be met, if not, obtain parking variance;**
- 4. Submit specification sheets for all mechanical equipment and a roof plan;**
- 5. Obtain a waiver from the Staff Arborist of 2 street trees;**
- 6. Provide the required off-street loading space;**

7. Planning Board approves the use of in-grade upward illuminating fixtures; and
8. Comply with the requirements of all City departments.

10.0 Suggested Motion Language

Based on a review of the site plan submitted, the Planning Division recommends that the Planning Board POSTPONE the Preliminary Site Plan for 35975 to allow the applicant time to address the following issues:

1. Reduce the number of stories containing office uses to one;
2. Verify the rear setback of the adjacent property and match that with the subject development or obtain a variance;
3. Submit basement plans indicating floor to ceiling height to determine if parking requirements will be met, if not, obtain parking variance;
4. Submit specification sheets for all mechanical equipment and a roof plan;
5. Obtain a waiver from the Staff Arborist of 2 street trees;
6. Provide the required off-street loading space;
7. Planning Board approves the use of in-grade upward illuminating fixtures; and
8. Comply with the requirements of all City departments.

Zoning Compliance Summary Sheet
Revised Final Site Plan & Design Review
35975 Woodward – August, LLC Office Building

Existing Site:

Zoning: B-2B, General Business, D-2 (Overlay)
Land Use: Vacant gasoline service station

Existing Land Use and Zoning of Adjacent Properties:

	North	South	East	West
Existing Land Use	General Business, Mixed-use	Rouge River	Outside of Birmingham City Limits	General Business, Dry Cleaners
Existing Zoning District	B2-B	PP	N/A	B2-B
Overlay Zoning District	N/A	N/A	N/A	D-2

Land Area: existing: 0.538 or 23,451 sq. ft.
proposed: Same as existing

Minimum Lot Area: required: N/A when no residential units
proposed: N/A

Minimum Floor Area Per Unit: required: N/A
proposed: N/A

Maximum Total Floor Area: required: N/A
proposed: N/A

Minimum Open Space: required: N/A
Proposed: N/A

Maximum Lot Coverage: required: N/A
proposed: N/A

Front Setback:	required:	0 ft., building facades at the first story must be located at the frontage line (on or within 3' of the frontage line), Planning Board may adjust to average setback.
	proposed:	3 ft.
Side Setbacks:	required:	0 ft.
	proposed:	0 ft side setback (north), 87 ft. (south)
Rear Setback:	required:	10' minimum from midpoint of alley or equal to that of adjacent preexisting building (appears to be 14')
	proposed:	47 ft.

As there is no alleyway between the proposed development and existing adjacent building, the setback of the proposed building must equal that of the adjacent building. **The applicant must verify the rear setback on the Douglas Cleaners building and match that, or obtain a variance from the Board of Zoning Appeals.**

Max. Bldg. Height:	required:	D-2 – 56' maximum overall (including mechanical), 46' maximum peak roof height, 34' maximum eave height, 3 stories (if 3rd floor is used for residential and is set back 10' or on a 45 degree or less plane from the eave line).
	proposed:	37' overall height at tallest; 2 stories.
Minimum Eave Height:	required:	20 ft. minimum
	proposed:	Not provided, but appears to exceed 20 ft. Eave height is shown as 28.5'.

The Applicant will be required to provide the proposed eave height to ensure the minimum 20' requirement is met. The minimum eave height has been met.

Floor to Ceiling Height:	required:	10' in height between finished floor and finished ceiling on the first level.
	proposed:	12' floor to finished ceiling height
Front Entry:	required:	Principal pedestrian entrances must be on frontage line.
	proposed:	Principal canopied entrance located at the

northeast corner of building. Entry door located along north property line on the frontage line.

Absence of Building Façade:

required: Screen wall between 2.5' and 3.5' in height along all frontage lines where there is no building façade to provide a continuous street wall. Maximum size of openings in screenwall and/or building is 25' wide to allow vehicular or pedestrian access.

proposed: Building provides a street wall along a portion of both Woodward and Oak. A screen wall is proposed along much of the street, however it is not continuous, and each of the proposed openings exceeds 25' in width (28', 32' and 39' wide). **All of the proposed openings have been revised are now 25' wide.**

The applicant will be required to provide a continuous screenwall in the absence of a building façade, with no openings larger than 25' in width or obtain variances from the Board of Zoning Appeals. All of the proposed openings have been revised are now 25' wide, thus no variances are needed.

Parking:

required: 1 space for each 300 sq ft of floor area for office and retail uses ($15,020 / 300 = 50$) **Now showing $5500\text{sq.ft./fl} = 16500 / 300 = 55$ parking spaces required.**

proposed: 33 spaces incl. 2 barrier-free. **Now proposing 34 parking spaces.**

The applicant must provide the minimum required 55 parking spaces or obtain a variance from the Board of Zoning Appeals.

Loading Area:

required: 1 space for buildings between 10,000 – 20,000 sq ft of floor area

proposed: 0 spaces

The applicant must provide the required loading space or obtain a variance from the Board of Zoning Appeals.

Screening:

<u>Parking:</u>	required:	Minimum 32" high masonry wall with stone cap
	proposed:	Applicant proposes a 36" high masonry screenwall with limestone cap. Brick veneer to match building.
<u>Loading:</u>	required:	One screened loading space.
	proposed:	No loading space provided.
<u>Rooftop Mechanical:</u>	required:	Full screening to complement the building.
	proposed:	No rooftop plan submitted at this time, will be mechanical well on roof to fully screen all units.
<u>Elect. Transformer:</u>	required:	Fully screened from public view.
	proposed:	Transformer is only screened on three sides with 10' high arborvitaes. Transformer is now screened on all 4 sides.

The applicant must screen ground mounted units such that it obscures the equipment from public view on all sides or obtain a variance from the Board of Zoning Appeals. **Transformer is now screened on all 4 sides, and thus no variance is required.**

<u>Dumpster:</u>	required:	6' high capped masonry wall with wooden gates
	proposed:	All trash and recyclable storage is proposed within the structure, with access from the adjoining pedestrian walkway lot along the south elevation. The 3 trash receptacles are partially screened by south elevation brick wall but the glass entry door creates a potential public view. The trash room has now been reduced and all trash receptacles are proposed to be stored inside the building, behind a solid brick wall.

The applicant will be required to screen the dumpsters from public view or obtain a variance from the Board of Zoning Appeals. **The trash room has now been reduced and all trash receptacles are proposed to be stored inside the building, behind a solid brick wall, thus no variance is needed.**

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Contact: David P. Larsen

Owner Representative:
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Contact: James P. Butler, PE

Landscape Architect:
Michael J. Dul & Associates, Inc.
212 Daines Street
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T: 248.644.3410
Contact: Michael J. Dul

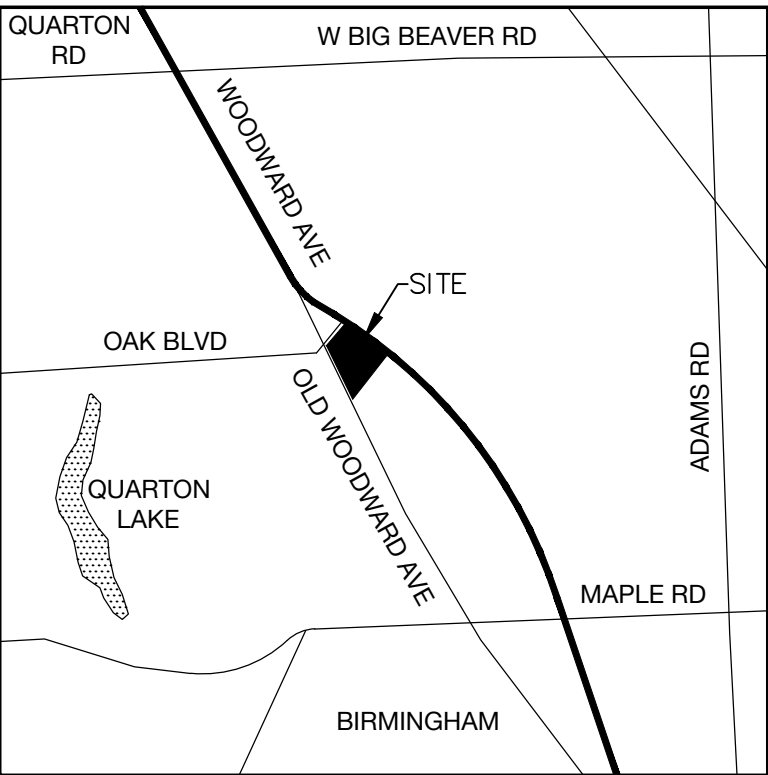
Zoning Information:		
Zoning District:	B-2B, D-2 (Overlay)	
Zoning of Adjacent Properties:	B-2B (All Sides)	
Site Area:	0.538 Acres (23,451 S.F.)	
Setbacks:	Required:	Proposed:
Front Yard Setback:	N/A (Frontage Line 0-3 Feet)	3 Feet
Side Yard Setback	0 Feet	87 Feet
Rear Yard Setback:	10 Feet minimum from midpoint of alley or equal to that of an adjacent preexisting building	47 Feet
Building Height:	Max. Allowable:	Proposed:
	46'-0" Feet to Ridge (2 Stories)	37'-0" to Ridge (2 Stories)
Building Area:	5,500 G.S.F building footprint for each floor = <u>11,000 G.S.F.</u>	
Basement Level (Storage):	5,196 S.F. (less vertical circulation)	
First Level:	4,880 S.F. (less garage & trash room)	
Second Level:	4,944 S.F. (less vertical circulation)	
Total Building Area:	4,880 S.F. + 4,944 S.F. = <u>9,824 S.F.</u>	
Parking:	Office/Commercial Use = 1 Space per 300 S.F.	
Required:	9,824 S.F. / 300 S.F. = 32.7 = 33 Spaces (Including 2 Barrier-Free)	
Provided:	34 Spaces (Including 2 Barrier-Free)	

Loading: None Required, None Provided (Usable building area is less than 10,000 S.F.)

Landscape Requirements: Refer to Landscape Drawings

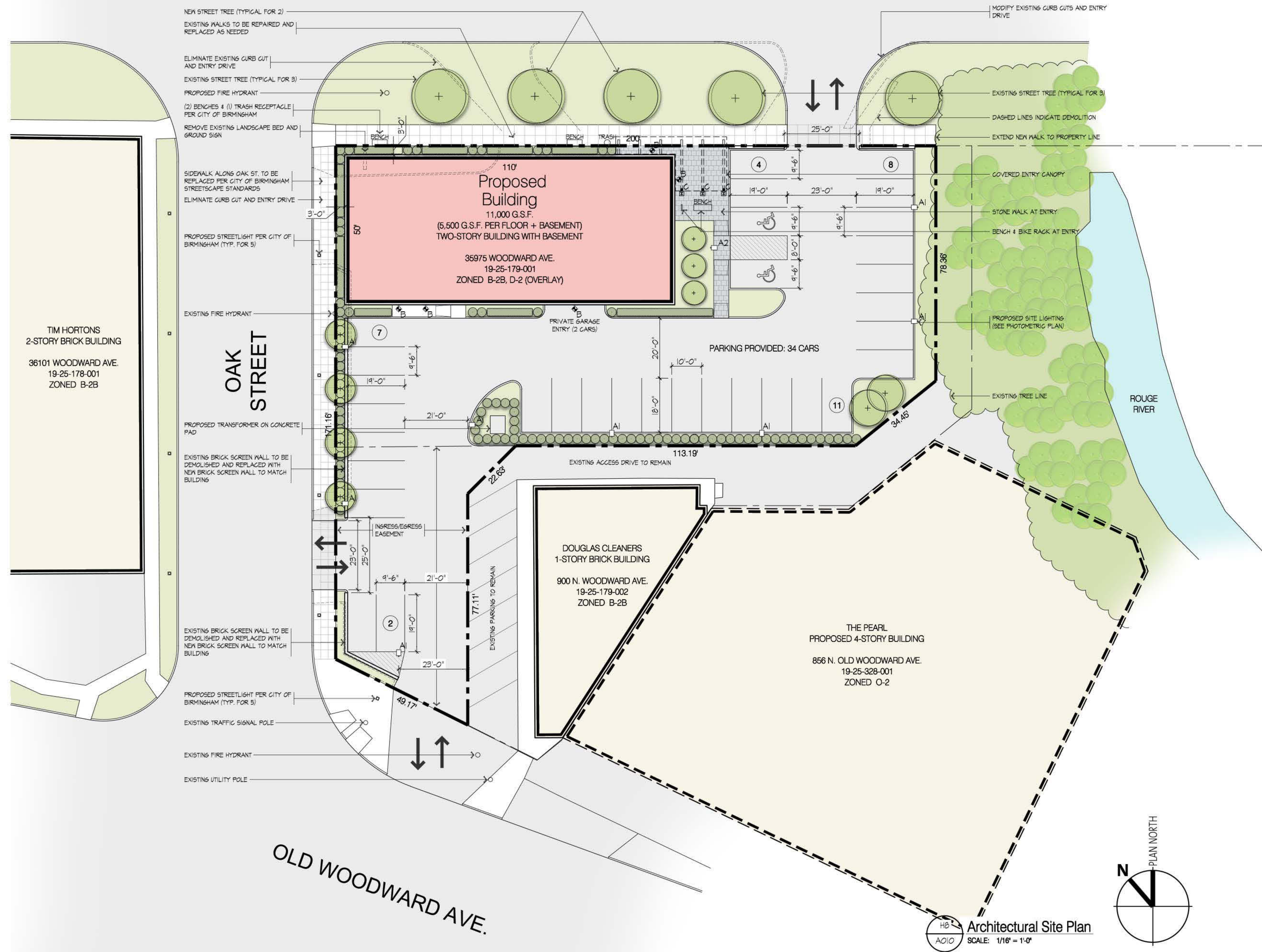
Occupant Load:	Use:	Calculation:	Occupants:
Basement Level:	Storage / Mechanical	4,793 S.F. / 300 S.F. =	16
First Level:	Business Areas	4,019 S.F. / 100 S.F. =	41
	Storage	48 S.F. / 300 S.F. =	1
Second Level:	Business Areas	4,611 S.F. / 100 S.F. =	47
Total Occupant Load			105

Glazing Calculations:		Required:	Proposed:
Woodward Avenue:			
First Level (between 1' & 8')	70%		70.1%
540 SF (glazing) / 770 SF (facade area between 1' & 8') = 540 SF / 770 SF = 0.701 = 70.1%			
Second Level	35% Max.		31.3%
500 SF (glazing) / 1,595 SF (facade above first level) = 500 SF / 1,595 SF = 0.313 = 31.3%			
Oak Street:			
First Level (between 1' & 8')	70%		70%
244 SF (glazing) / 350 SF (facade area between 1' & 8') = 244 SF / 350 SF = 0.697 = 70%			
Second Level	35% Max.		31%
224 SF (glazing) / 725 SF (facade above first level) = 224 SF / 725 SF = 0.308 = 30%			



Location Map
Not to Scale

Drawing Index:		11-30-2016: PRELIMINARY SITE PLAN REVIEW 01-19-2017: PRELIMINARY SITE PLAN REVIEW - REVISED																					
<input checked="" type="radio"/> DRAWING ISSUED																							
<input type="radio"/> DRAWING ISSUED FOR REFERENCE ONLY																							
<input type="checkbox"/> DRAWING NOT ISSUED																							
GENERAL																							
A000	COVER SHEET & DRAWING INDEX	<input checked="" type="radio"/>	<input checked="" type="radio"/>																				
CIVIL																							
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C-3.0	PRELIMINARY SITE PLAN	<input checked="" type="radio"/>	<input checked="" type="radio"/>																				
C-6.0	PRELIMINARY UTILITY PLAN	<input checked="" type="radio"/>	<input checked="" type="radio"/>																				
C-8.1	NOTES AND DETAILS	<input checked="" type="radio"/>	<input checked="" type="radio"/>																				
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LANDSCAPE																							
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ARCHITECTURAL																							
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A100	BASEMENT LEVEL PLAN	<input checked="" type="radio"/>	<input checked="" type="radio"/>																				
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A120	SECOND LEVEL PLAN	<input checked="" type="radio"/>	<input checked="" type="radio"/>																				
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A211	3D VIEWS		<input checked="" type="radio"/>																				
A212	3D VIEWS		<input checked="" type="radio"/>																				
LIGHTING																							
	PHOTOMETRIC SITE PLAN	<input checked="" type="radio"/>	<input checked="" type="radio"/>																				



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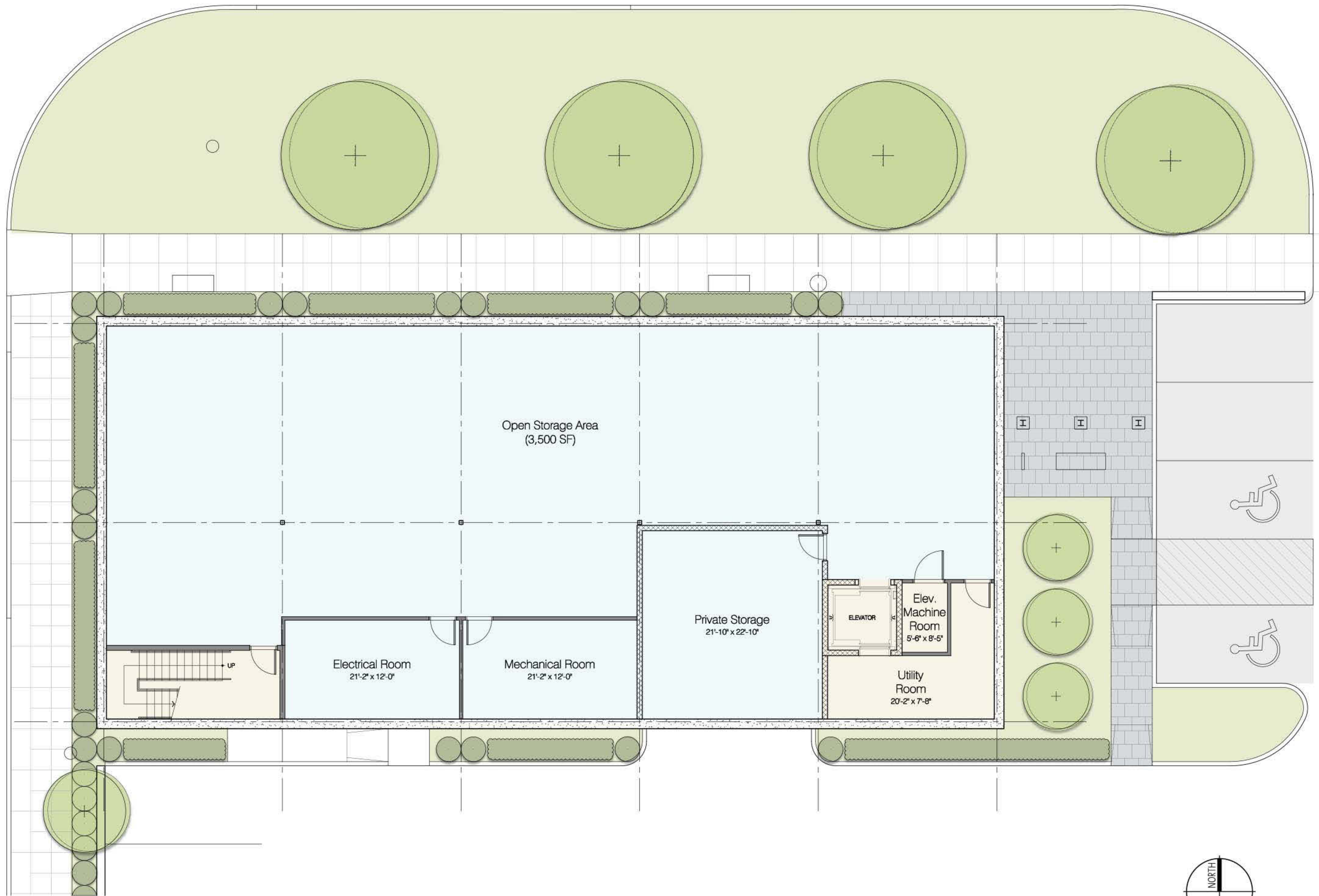
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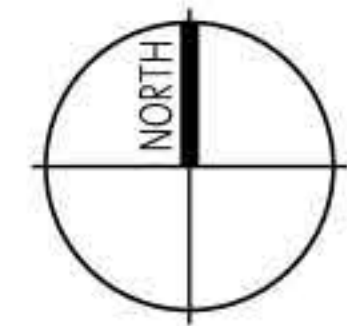
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01-19-2017	PRELIMINARY SITE PLAN REVIEW - REVISED

Sheet No.:

A010
ARCHITECTURAL SITE PLAN



Basement Level Plan
 SCALE: 3/16" = 1'-0"

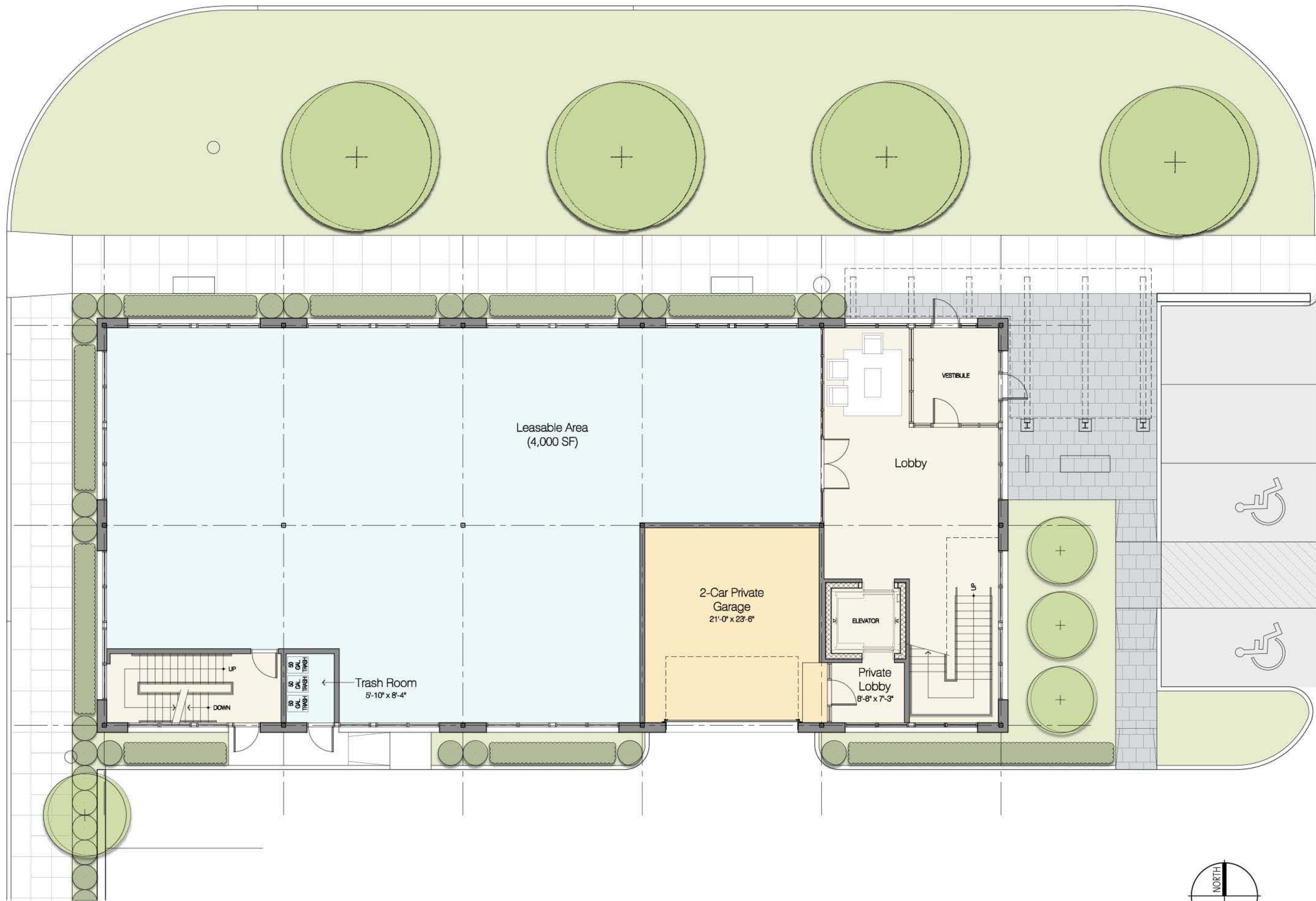


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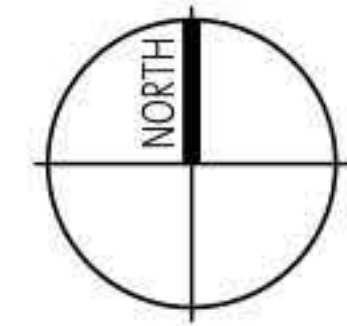
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01-10-2017	PRELIMINARY SITE PLAN REVIEW - REVISED

Sheet No.:
A100
 BASEMENT LEVEL PLAN



H6
A110
First Level Plan
SCALE: 3/16" = 1'-0"

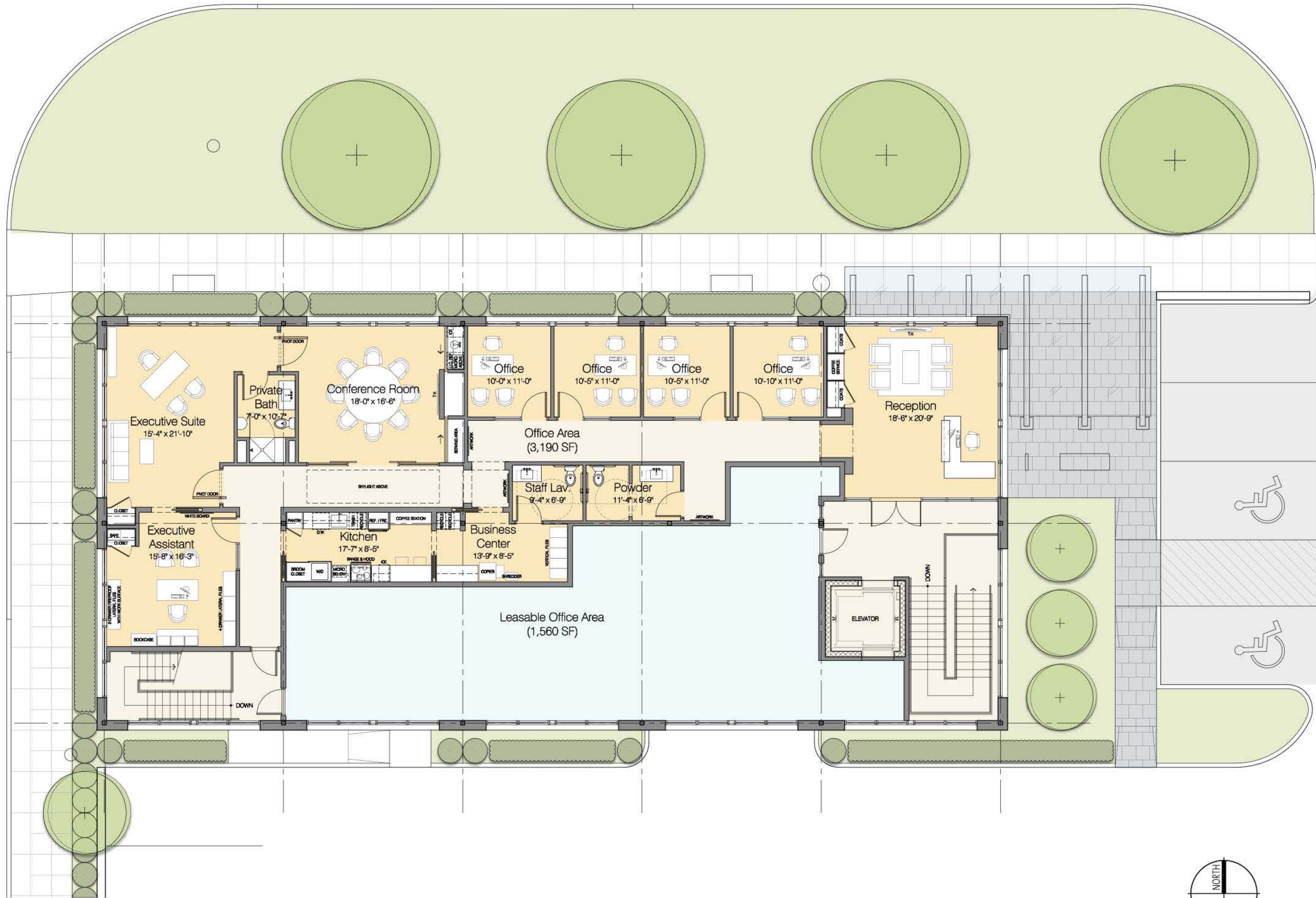


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Sheet No.:
A110
FIRST LEVEL PLAN



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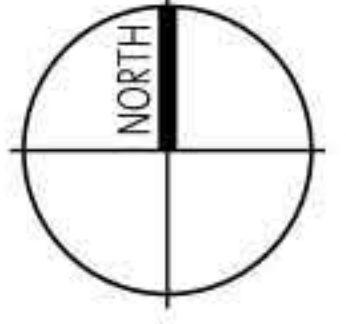
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Sheet No.:
A120
SECOND LEVEL PLAN

H6
A120
Second Level Plan
SCALE: 3/16" = 1'-0"



A
B
C
D
E
F
G
H



D6
A200
East Elevation
SCALE: 3/16" = 1'-0"



H6
A200
North Elevation
SCALE: 3/16" = 1'-0"

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PRELIMINARY

11-30-2016 SITE PLAN REVIEW

Sheet No.:

A200

EXTERIOR ELEVATIONS

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10

A

B

C

D

E

F

G

H



D6
A201 West Elevation
SCALE: 3/16" = 1'-0"



H6
A201 South Elevation
SCALE: 3/16" = 1'-0"

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11-15-2016	REVIEW
11-30-2016	PRELIMINARY SITE PLAN REVIEW

Sheet No.:

A201
EXTERIOR ELEVATIONS

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10

B

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H



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01-19-2017	PRELIMINARY SITE PLAN REVIEW - REVISED

Sheet No.:

A210

3D VIEWS

A

B

C

D

E

F

G

H



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Date: 01-19-2017 **Issued For:** PRELIMINARY
SITE PLAN REVIEW - REVISED

Sheet No.:

A211

3D VIEWS

A
B
C
D
E
F
G
H



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Date: 01-19-2017
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Sheet No.:

A212

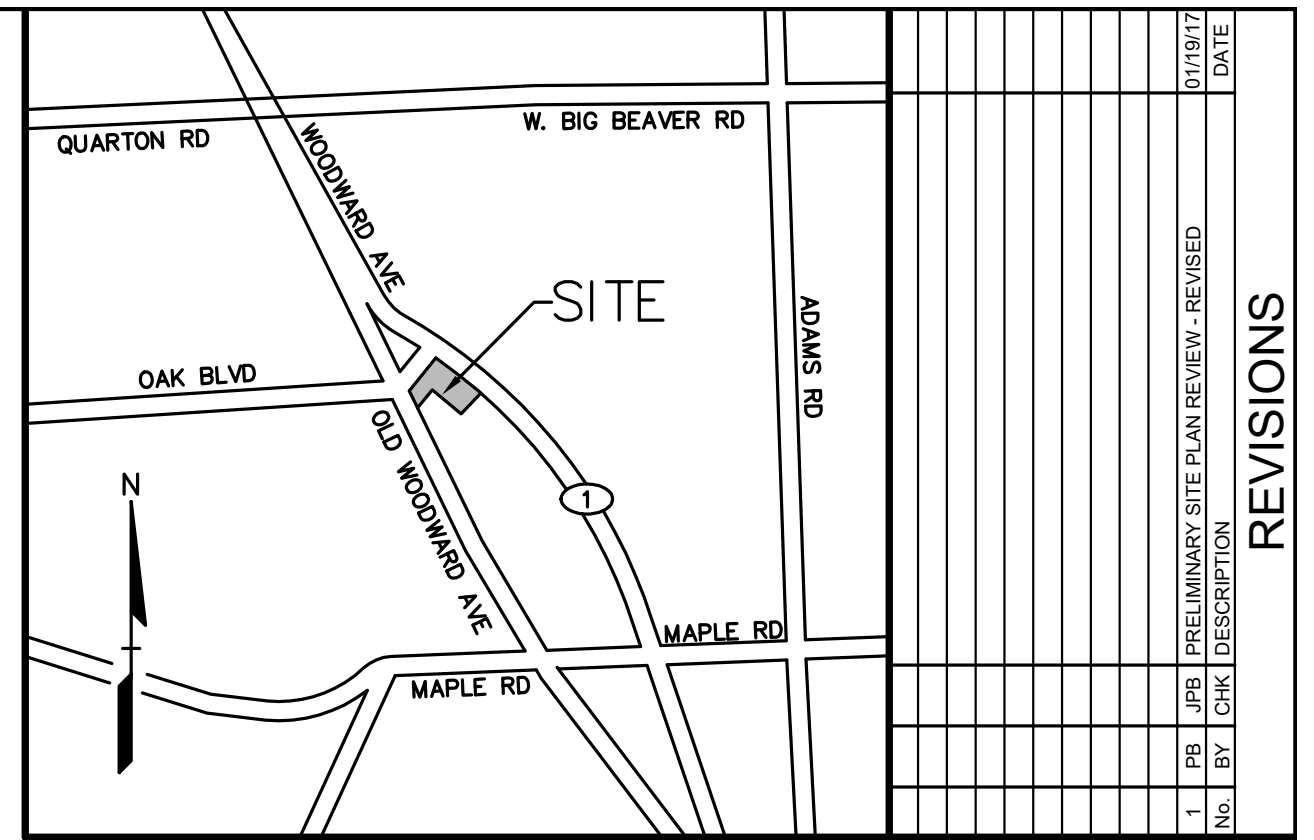
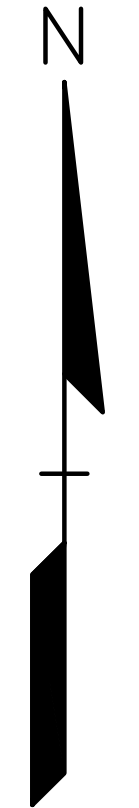
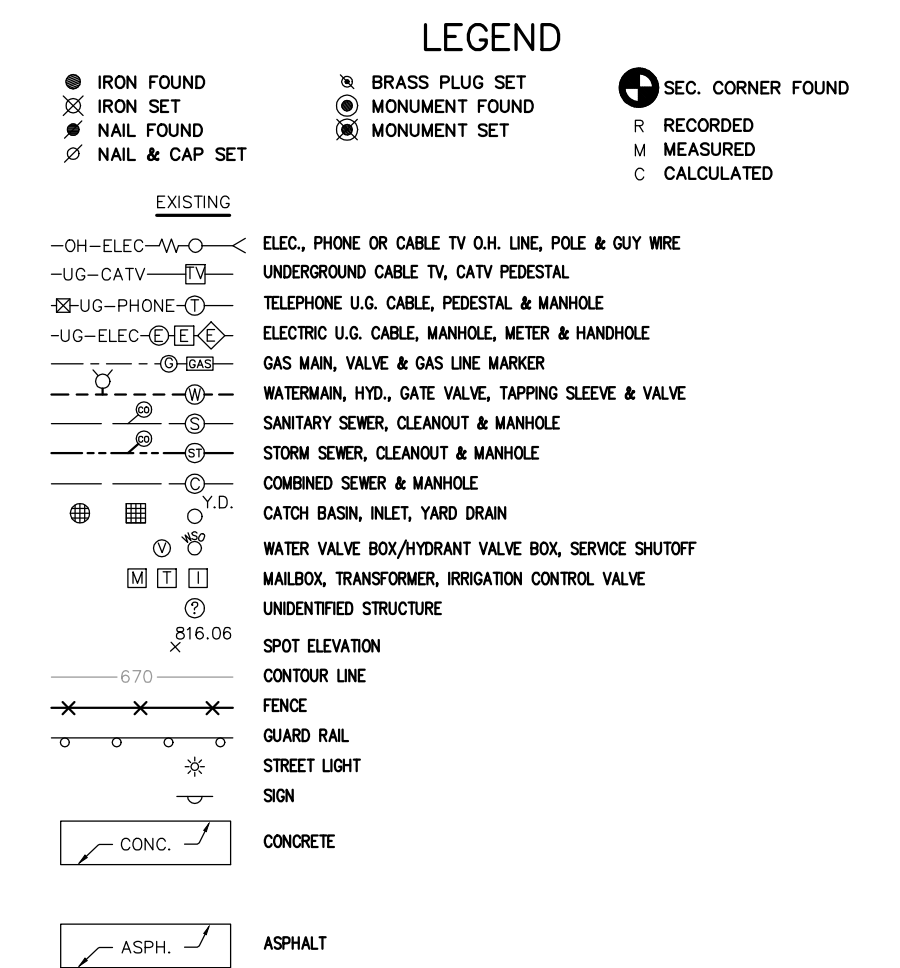
3D VIEWS

BENCHMARKS
(GPS DERIVED - NAVD88)

BM #1
ARROW ON HYDRANT ON THE SOUTH SIDE OF OAK STREET,
87' WEST OF WOODWARD AVENUE.
ELEV. = 759.81

BM #2
ARROW ON HYDRANT ON THE EAST SIDE OF OLD WOODWARD
AVENUE, 60' SOUTH OF OAK STREET.
ELEV. = 757.52

Part of the Northwest 1/4 of Section 25, Town 2 North, Range 10 East, City of Birmingham, Oakland County, Michigan, described as: Beginning at a point in the Westerly line of Hunter Boulevard (200.00 feet wide), said point located North 88 degrees 16 minutes 00 seconds East, 120.93 feet from the Center of said Section 25; thence North 49 degrees 21 minutes 00 seconds West, along the Westerly line of said Hunter Boulevard, 200.00 feet to the Southerly line of Oak Street (60.00 feet wide); thence South 40 degrees 39 minutes 00 seconds East, along said Southerly line of Oak Street, 171.11 feet to the Center of said Section 25; thence South 40 degrees 39 minutes 00 seconds East, 49.17 feet; thence North 40 degrees 39 minutes 00 seconds East, 77.11 feet; thence North 85 degrees 39 minutes 00 seconds East, 113.19 feet; thence North 85 degrees 39 minutes 00 seconds East, 49.17 feet; thence North 40 degrees 39 minutes 00 seconds East, 78.36 feet to the Point of Beginning.

[illegible]

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SANITARY SEWER	BIRMINGHAM CSO/RTB DRAIN MAO, OCWRG SHEET #98, DATED 03-31-14
STORM SEWER	BIRMINGHAM CSO/RTB DRAIN MAO, OCWRG SHEET #98, DATED 03-31-14
ELECTRIC SEWER	FORMATION NOT RECEIVED AT TIME OF SURVEY
TELEPHONE	DTE FACILITY MAP #238, 348 AND 239-395, DATED 09-09-16
GAS	AT&T FACILITY SKETCH, DATED 01-21-08
TELEPHONE	CONSUMERS ENERGY FACILITY MAP 02-60-25-05, DATED 07-31-16
GAS	CONCAST FACILITY MAP 02-60-25-05, DATED 07-31-16
TELEPHONE	FEDER FIRM 26125C05037F AND 26125C0536F, DATED 09-29-06
FLOOD PLAIN	TOPOGRAPHIC SURVEY, PEA PROJECT NO. 2008-005, DATED 03-04-08
OTHER	



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C/O BODMAN PLC, 8TH FLOOR AT FORD FIELD
1901 SAINT ANTOINE ST, DETROIT, MI 48226

TOPOGRAPHIC SURVEY
AUGUST OFFICE BUILDING
35575 WOODWARD AVENUE
CITY OF BIRMINGHAM, OKLAHOMA COUNTY, MICHIGAN 48001

DES.	PB	DN.	PB	SUR.	MAD.	P.M.
S:\Projects\2014\2014-226 OK-40020000_0102 - 48500\35575_Pbns\OK-110102-10226.dwg						

ORIGINAL ISSUE DATE:
NOVEMBER 30, 2016

PEA JOB NO. 2016-226

SCALE: 1" = 20'

DRAWING NUMBER:

C-1.0

XREF: S: PROJECTS\2016\2016226\DWG\16226-TOPOBASE.DWG
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XREF: S: PROJECTS\2016\2016226\DWG\SITE PLAN\BLK-16226.DWG

NOT FOR CONSTRUCTION

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE "X". AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0537F & 26125C0536F, DATED SEPTEMBER 29, 2006.

BENCHMARKS
(GPS DERIVED - NAVD88)

BM #1
ARROW ON HYDRANT ON THE SOUTH SIDE OF OAK STREET, 87' WEST OF WOODWARD AVENUE.
ELEV. - 759.81

BM #2
ARROW ON HYDRANT ON THE EAST SIDE OF OLD WOODWARD AVENUE, 60' SOUTH OF OAK STREET.
ELEV. - 757.52

LEGAL DESCRIPTION

(Per First American Title Insurance Company, Commitment #751231, dated July 12, 2016)

The land referred to in this Commitment, situated in the County of Oakland, City of Birmingham, State of Michigan, is described as follows:

Part of the Northwest 1/4 of Section 25, Town 2 North, Range 10 East, City of Birmingham, Oakland County, Michigan, described as: Beginning at a point in the Westerly line of Hunter Boulevard (200.00 feet wide), said point located North 88 degrees 16 minutes 00 seconds West, 659.12 feet and North 49 degrees 21 minutes 00 seconds West, 120.93 feet from the Center of said Section 25; thence North 49 degrees 21 minutes 00 seconds West, along the Westerly line of said Hunter Boulevard, 200.00 feet to the Southerly line of Oak Street (60.00 feet wide); thence South 49 degrees 39 minutes 00 seconds West, along said Southerly line, 171.16 feet; thence South 22 degrees 50 minutes 00 seconds East, 49.17 feet; thence North 40 degrees 39 minutes 00 seconds East, 77.11 feet; thence North 85 degrees 39 minutes 00 seconds East, 22.63 feet; thence South 49 degrees 21 minutes 00 seconds East, 113.19 feet; thence South 88 degrees 16 minutes 00 seconds East, 34.45 feet; thence North 40 degrees 39 minutes 00 seconds East, 78.36 feet to the Point of Beginning.

NOTE:
THE AREA TO BE PAVED WITH EXPOSED AGGREGATE CONCRETE BETWEEN THE PROPOSED SIDEWALK AND THE EXISTING CURB WILL VARY IN CROSS-SLOPE AND MAY EXCEED THE CROSS-SLOPE ALLOWED FOR AN ACCESSIBLE ROUTE UNDER A.D.A. GUIDELINES. IT IS CONSIDERED A "TRANSITION" BETWEEN THE PEDESTRIAN ROUTE (SIDEWALK) AND THE STREET CURB LINE.

NOTE:
ALL WORK WITHIN THE OAK STREET RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE CITY OF BIRMINGHAM AND REQUIRES A PERMIT

REMOVE EXISTING SIDEWALK WITHIN OAK STREET AND REPLACE WITH 5' WIDE CONCRETE SIDEWALK AND 2" WIDE EXPOSED AGGREGATE SIDEWALK AS SHOWN. REFER TO CITY CBD STREETSCAPE DETAIL SHEETS

REMOVE AND REPLACE CURB AND GUTTER AND ASPHALT PAVEMENT WITHIN OAK STREET AS NEEDED TO INSTALL SANITARY SEWER CONNECTION. REFER TO DETAILS ON SHEET C-8.1 AND CITY CBD STREETSCAPE DETAIL SHEET

MASONRY SCREEN WALL, TYP. REFER TO DETAIL ON LANDSCAPE PLANS

SIDEWALK SCORED WITH ±2.5' SQUARE CONTROL JOINT PATTERN PER CITY OF BIRMINGHAM STREETSCAPE REQUIREMENTS

ZONED: B-2B GENERAL BUSINESS

TAPER CURB TO ZERO HEIGHT AT DRIVEWAY OPENING USING 2' TRANSITION

PEDESTRIAN TRAFFIC MUST BE RE-ROUTED AROUND PROPOSED SIDEWALK REPLACEMENT AREAS PER M.D.O.T. REQUIREMENTS. ADDITIONAL DETAIL WILL BE PROVIDED WITHIN CONSTRUCTION PLANS

4" DIAGONAL YELLOW STRIPING AT 48" O.C. IN CROSS-HATCHED NO PARKING AREAS

NOTE:
REMOVE AND REPLACE ANY BROKEN, SPALLED OR UNEVEN SIDEWALK SLABS WITHIN THE EXISTING CITY SIDEWALK TO REMAIN IN-PLACE ALONG OLD WOODWARD AVENUE. REFER TO DETAILS ON CITY CBD STREETSCAPE DETAIL SHEET.

CONCRETE PARKING BUMPER. REFER TO DETAIL ON SHEET C-8.1

NOTE:
ANY WORK WITHIN THE OLD WOODWARD AVENUE RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE CITY OF BIRMINGHAM AND REQUIRES A PERMIT

ZONED: R-7 MULTIPLE FAMILY

REMOVE AND REPLACE SIDEWALK AND CURB AND GUTTER TO CLOSE EXISTING DRIVEWAY OPENING. REFER TO DETAILS ON SHEET C-8.1 AND CITY CBD STREETSCAPE DETAIL SHEET

REMOVE DRIVE APPROACH AND PROVIDE M.D.O.T. C-4 CURB AND GUTTER TO CLOSE DRIVEWAY OPENING. REFER TO M.D.O.T. DETAIL R-30 IN CONSTRUCTION PLANS

7' WIDE CONCRETE SIDEWALK, TYP. WITHIN WOODWARD AVENUE R.O.W. REFER TO DETAILS ON SHEET C-8.1

SIDEWALK SCORED WITH ±3.5' SQUARE CONTROL JOINT PATTERN PER CITY OF BIRMINGHAM STREETSCAPE REQUIREMENTS

BUILDING AWNING. REFER TO ARCHITECTURAL PLANS FOR DETAILS

TAPER CURB TO ZERO HEIGHT AT SIDEWALK USING 5' TRANSITION

NOTE:
ALL WORK WITHIN THE WOODWARD AVENUE (M-1) RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE MICHIGAN DEPT. OF TRANSPORTATION AND REQUIRES A PERMIT

PROVIDE CONCRETE DRIVE APPROACH WITH INTEGRAL CURB AND THICKENED SIDEWALK. REFER TO M.D.O.T. DETAILS R-29 AND R-31 IN CONSTRUCTION PLANS

DETAIL "M" GUTTER PAN THROUGH DRIVE APPROACH. REFER TO M.D.O.T. DETAIL R-29 IN CONSTRUCTION PLANS

MASONRY SCREEN WALL, TYP. REFER TO DETAIL ON LANDSCAPE PLANS

SIGN, TYP. REFER TO LEGEND THIS SHEET

TAPER CURB TO ZERO HEIGHT USING 5' TRANSITION

SAWCUT EXISTING PAVEMENT FOR CLEAN STRAIGHT EDGE, TYP.

SIDEWALK RAMP, TYP. REFER TO LEGEND THIS SHEET

18"x6" CONCRETE CURB AND GUTTER, TYP. REFER TO DETAILS ON SHEET C-8.1

DASHED CURB LINE INDICATES REVERSE SLOPE CURB AND GUTTER, TYP. REFER TO DETAIL ON SHEET C-8.1

INDICATES NUMBER OF PARKING SPACES PER AISLE, TYP.

PARKING SPACES AT ENDS OF AISLES WILL BE 6" WIDER THAN ADJACENT SPACES (DIMENSION TO BACK OF CURB)

CLEARING EXTENTS FOR STORM SEWER OUTLET

ZONED: O-2 OFFICE COMMERCIAL



SIDEWALK RAMP LEGEND:

SIDEWALK RAMP 'TYPE R'

SIDEWALK RAMP 'TYPE P'

REFER TO LATEST M.D.O.T. R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

SIGN LEGEND:

'NO PARKING FIRE LANE' SIGN

'STOP' SIGN

'BARRIER FREE PARKING' SIGN

'VAN ACCESSIBLE' SIGN

'DO NOT BLOCK DRIVEWAY' SIGN

RE-INSTALL EXISTING SIGN

REFER TO SHEETS C-8.1 AND C-8.2 FOR SIGN DETAILS

LEGEND

● IRON FOUND
⊗ IRON SET
⊗ NAIL FOUND
⊗ NAIL & CAP SET

● BRASS PLUG SET
⊗ MONUMENT FOUND
⊗ MONUMENT SET

● SEC. CORNER FOUND
R RECORDED
M MEASURED
C CALCULATED

— OH-ELEC—W—ELEC, PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
— UG-CATV—UG-CATV
— UG-PHONE—UG-PHONE
— UG-ELEC—UG-ELEC
— GAS—GAS
— WATER—WATER
— SANITARY SEWER—SANITARY SEWER
— STORM SEWER—STORM SEWER
— COMBINED SEWER—COMBINED SEWER
— CATCH BASIN—CATCH BASIN
— WATER VALVE BOX/VALVE BOX, SERVICE SHUTOFF
— METER BOX—METER BOX
— UNIDENTIFIED STRUCTURE
— SPOT ELEVATION
— CONTOUR LINE
— FENCE
— GUARD RAIL
— STREET LIGHT
— SIGN

CONC. CONCRETE
ASPH. ASPHALT

SID DUTY ONLY
HEAVY DUTY ONLY
R.O.W. ONLY

CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS GIVEN FOR THE ACCURACY OF THE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.

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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCEPTING THE CONTRACT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY.

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GENERAL NOTES:

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.

2. REFER TO SHEET C-8.1 FOR ON-SITE PAVING DETAILS.

3. REFER TO CONSTRUCTION PLANS FOR ON-SITE SIDEWALK RAMP DETAILS.

4. 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.

5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF BIRMINGHAM CURRENT STANDARDS AND REGULATIONS.

6. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.

7. ANY WORK WITHIN THE STREET OR HIGHWAY RIGHTS-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.

8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITHIN GRADED AND/OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.

SITE DATA TABLE:

SITE AREA: 0.538 ACRES (23,451 SQ.FT.) NET AND GROSS

ZONING: B-2B, GENERAL BUSINESS, D-2 OVERLAY

PROPOSED USE: FIRST FLOOR COMMERCIAL, SECOND FLOOR OFFICE BUILDING

BUILDING INFORMATION:
MAXIMUM ALLOWABLE BUILDING HEIGHT = 46 FEET TO RIDGE (2 STORIES)
MINIMUM ALLOWABLE BUILDING HEIGHT = 20 FEET TO EAVES
PROPOSED BUILDING HEIGHT = 32'-7" TO MID-POINT (2-STORY)

BUILDING FOOTPRINT AREA = 5,500 SQ.FT.
GROSS BUILDING AREA = 11,000 SQ.FT.
NET BUILDING AREA = 9,824 SQ.FT.

SETBACK REQUIREMENTS:

B-2B ZONING DISTRICT:
FRONT SETBACK (NORTH AND EAST): 0 FEET REQUIRED 3.00' PROVIDED

SIDE SETBACK (SOUTH): 0 FEET REQUIRED 86.99' PROVIDED

REAR SETBACK (WEST): 10 FEET REQUIRED 47.00' PROVIDED

PARKING CALCULATIONS:
RETAIL = 1 SPACE PER 300 S.F.
TOTAL PARKING REQUIRED = 9,824/300 = 33 SPACES

TOTAL PROPOSED PARKING SPACES = 34 SPACES INC. 2 H/C SPACES (32 SURFACE PARKING SPACES, 2 GARAGE PARKING SPACES)

LOADING CALCULATIONS:
LOADING REQUIRED = USABLE BUILDING AREA LESS THAN 10000 SQ.FT.
NO LOADING SPACE REQUIRED

NOT FOR CONSTRUCTION

XREF: S:\PROJECTS\2016\2016226\DWG\16226-TOPOBASE.DWG
XREF: S:\PROJECTS\2016\2016226\DWG\16226-SITE PLAN\BASE-16226.DWG
XREF: S:\PROJECTS\2016\2016226\DWG\16226-SITE PLAN\TRK-16226.DWG

AUGUST, LLC
C/O BODMAN PLC, 6TH FLOOR AT FORD FIELD
1901 SAINT ANTOINE ST. DETROIT, MI 48226

PRELIMINARY SITE PLAN
AUGUST OFFICE BUILDING
38925 WOODWARD AVENUE
CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN 48009

DES: JPB
PLOT: JPB
DATE: 11/30/16
SCALE: 1" = 20'

ORIGINAL ISSUE DATE:
NOVEMBER 30, 2016

PEA JOB NO. 2016-226

SCALE: 1" = 20'

DRAWING NUMBER:

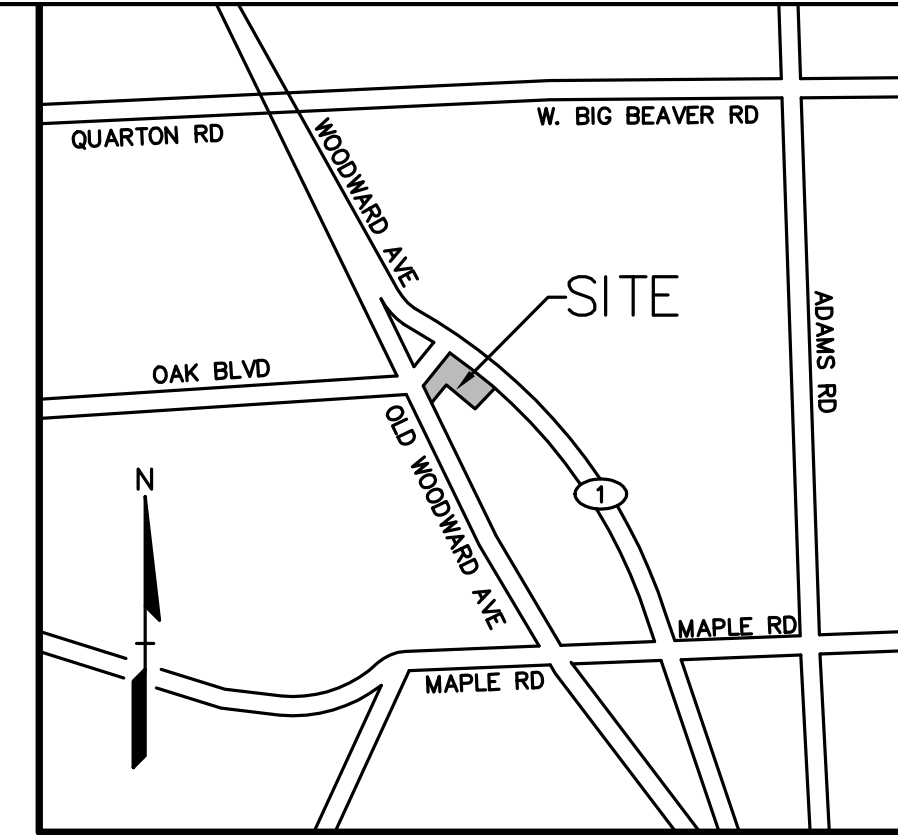
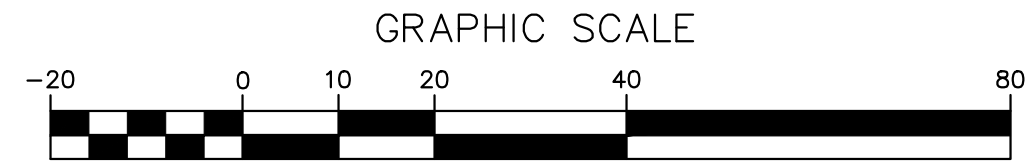
C-3.0

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE "X", AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0537F & 26125C0536F, DATED SEPTEMBER 29, 2006.

BENCHMARKS
(GPS DERIVED — NAVD88)

BM #1
ARROW ON HYDRANT ON THE SOUTH SIDE OF OAK STREET, 87' WEST OF WOODWARD AVENUE.
ELEV. — 759.81

BM #2
ARROW ON HYDRANT ON THE EAST SIDE OF OLD WOODWARD AVENUE, 60' SOUTH OF OAK STREET.
ELEV. — 757.52



REVISIONS			DATE
NO.	BY	DESCRIPTION	
1	JPB	PRELIMINARY SITE PLAN REVIEW - REVISED	01/18/17

Permit No. _____
Date: _____

CITY OF BIRMINGHAM
STORM WATER RUNOFF CONTROL

Project Locatio 35975 Woodward Avenue (at Oak Street)
Designed by: Paul Bater, PEA

PE: Yes No

	(A) Exist. *	(B) Proposed	
(1) Affected Area	0.538	0.538	acres
(2) Area of Impervious Surface	0.493	0.472	acres
(3) Percent Impervious	92	88	%
(4) Runoff Factor	2.28	2.22	cfs/acre
(5) Unrestricted Runoff Rate	1.23	1.19	cfs
(6) Maximum Permitted Runoff Rate		1.23	cfs
(7) Uncontrolled Runoff Area		-	acres
(8) Area of Impervious Surfaces - Uncontrolled Runoff Area		-	acres
(9) Runoff Factor - Uncontrolled Runoff Area		-	%
(10) Runoff Rate - Uncontrolled Runoff Area		-	cfs/acre
(11) Runoff Rate - Uncontrolled Runoff Area		-	cfs
(12) Maximum Permitted Runoff Rate via Sewer Service Connection		-	cfs
(13) Runoff Rate per Acre		-	cfs/acre
(14) Required Storage per Acre		-	cu.ft./acre
(15) Required Storage for Parcel		-	cu.ft.

(16) Design Storage	-	cu.ft.
(17) Design Outlet Capacity to Sewer Service	-	cfs

Approved by: _____
City Engineer

* Existing Prior to Re-Development

NOTE:
BASED ON THE CITY OF BIRMINGHAM STORM WATER DETENTION WORKSHEET, THIS SITE WILL NOT REQUIRE STORM WATER DETENTION AS THE POST-DEVELOPMENT RUNOFF RATE WILL BE LOWER THAN THE EXISTING RUNOFF RATE.

LEGEND

EXISTING

- IRON FOUND
- IRON SET
- NAIL FOUND
- NAIL & CAP SET
- ELEC. PHONE OR CABLE TV G.H. LINE, POLE & GUY WIRE
- UNDERGROUND CABLE TV, CATV PEDESTAL
- TELEPHONE U.S. CABLE PEDESTAL & MANHOLE
- ELECTRIC U.S. CABLE, MANHOLE, WIRE & HANDHOLE
- GAS MAIN, VALVE & GAS LINE MARKER
- WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- CATCH BASIN, INLET, YARD DRAIN
- WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
- MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNDERTESTED STRUCTURE
- SPOT ELEVATION
- CONTOUR LINE
- FENCE
- GUARD RAIL
- STREET LIGHT
- SIGN
- CONC. CONCRETE
- ASPH. ASPHALT

PROPOSED

- SEC. CORNER FOUND
- R RECORDED
- M MEASURED
- C CALCULATED
- IRON FOUND
- IRON SET
- NAIL FOUND
- NAIL & CAP SET
- ELEC. PHONE OR CABLE TV G.H. LINE, POLE & GUY WIRE
- UNDERGROUND CABLE TV, CATV PEDESTAL
- TELEPHONE U.S. CABLE PEDESTAL & MANHOLE
- ELECTRIC U.S. CABLE, MANHOLE, WIRE & HANDHOLE
- GAS MAIN, VALVE & GAS LINE MARKER
- WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
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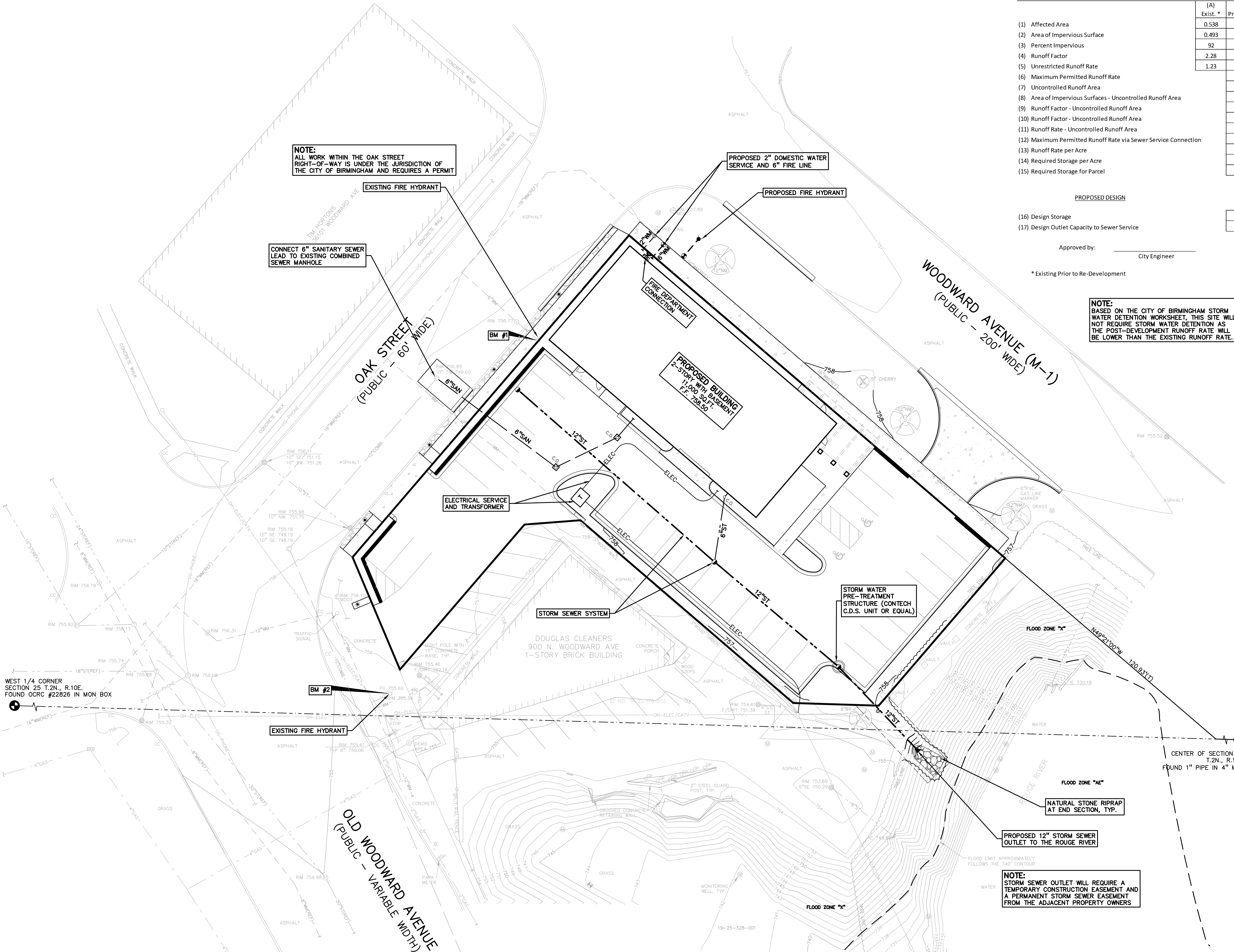
REFERENCE DRAWINGS

WATER MAIN BIRMINGHAM CSD/RTB DRAIN MAP, OCWRC SHEET #98, DATED 03-31-14
BIRMINGHAM CSD/RTB DRAIN MAP, OCWRC SHEET #98, DATED 03-31-14
BIRMINGHAM CSD/RTB DRAIN MAP, OCWRC SHEET #98, DATED 03-31-14
ELECTRIC CITY FACILITY MAP #298-384 AND 298-385, DATED 09-09-16
A&T FACILITY SKETCH, DATED 07-21-06
CONSUMERS ENERGY FACILITY MAP 02-60-25-2, DATED 07-31-16
CATV CONCAST FACILITY MAP 2298-384, DATED 05-11-11
FLOOD PLAIN FEMA FIRM 26125C0537F AND 26125C0536F, DATED 09-29-06
OTHER TOPOGRAPHIC SURVEY, PEA PROJECT No. 2008-005, DATED 03-04-08

GENERAL UTILITY NOTES:

- ALL UTILITY LINES, STRUCTURES AND TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE CITY OF BIRMINGHAM.
- NO PHYSICAL CONNECTION TO THE EXISTING WATER MAIN CAN BE MADE UNTIL ALL NEW WATER MAIN PASSES PRESSURE AND BACTERIOLOGICAL TESTS TO THE SATISFACTION OF THE CITY.
- REFER TO DETAIL SHEET C-8.1 FOR ADDITIONAL UTILITY DETAILS AND NOTES.
- ALL WATER MAIN AND FITTINGS (3" DIAMETER AND LARGER) SHALL BE DUCTILE IRON, CLASS 54.
- WATER MAIN SERVICE LEADS SHALL BE TYPE "K" ANNEALED SEAMLESS COPPER WITH FLARED FITTINGS, UNLESS OTHERWISE NOTED.
- ALL WATER MAIN SHALL BE PROVIDED WITH 5.5' OF COVER UNLESS OTHERWISE NOTED.
- ALL FIRE HYDRANTS SHALL BE EJIW #5BR MODEL #250 PER CITY STANDARDS.
- ALL HYDRANTS TO BE A MINIMUM OF 5' FROM BACK OF CURB, TYP.
- ALL NECESSARY FITTINGS, THRUST BLOCKS, RESTRAINING GLANDS, BLOW OFFS, ETC. FOR WATER MAIN ARE CONSIDERED INCIDENTAL TO THIS PROJECT. THE CONTRACTOR SHALL INSTALL THESE ITEMS AS NECESSARY AND AS REQUIRED BY THE CITY OF BIRMINGHAM.
- ALL SANITARY SEWER LEADS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 23.5 PIPE AND FITTINGS. ALL JOINTS TO BE ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED.
- SANITARY LEADS SHALL BE PROVIDED WITH CLEANOUTS EVERY 100 FEET AND AT EVERY BEND AS SHOWN. ALL CLEANOUTS TO BE PROVIDED WITH E.J.I.W. #1565 BOX OR EQUAL.
- ALL STORM SEWER 12" DIAMETER OR LARGER SHALL BE REINFORCED CONCRETE PIPE (ROP C-76) CLASS IV WITH MODIFIED TONGUE AND GROOVE JOINT WITH RUBBER GASKETS UNLESS SPECIFIED OTHERWISE (ASTM C-443).
- ALL STORM SEWER LEADS SHALL BE PVC SCHEDULE 40 WITH GLUED JOINTS UNLESS OTHERWISE NOTED.
- PIPE LENGTHS ARE GIVEN FROM CENTER OF STRUCTURE AND TO END OF FLARED END SECTION UNLESS NOTED OTHERWISE.
- THE CITY OF BIRMINGHAM STANDARD DETAIL SHEETS ARE INCORPORATED INTO AND MADE A PART OF THESE PLANS. CONTRACTOR TO REFER TO THE CITY OF BIRMINGHAM STANDARD DETAIL SHEETS FOR ALL STRUCTURE, PIPE MATERIALS, BEDDING, TESTING, ETC. NOTES AND DETAILS.

SAND BACKFILL NOTE:
ALL UTILITIES UNDER PAVEMENT OR WITHIN 3' OF THE EDGE OF PAVEMENT (OR WITHIN THE 45° LINE OF INFLUENCE OF PAVEMENT) SHALL HAVE M.D.O.T. CLASS II GRANULAR BACKFILL COMPACTED TO 95% MAX. DRY DENSITY (ASTM D-1557).



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AUGUST, LLC
C/O BODMAN PLC, 6TH FLOOR AT FORD FIELD
1901 SAINT ANTOINE ST. DETROIT, MI, 48226

PRELIMINARY UTILITY PLAN
AUGUST OFFICE BUILDING
35975 WOODWARD AVENUE
CITY OF BIRMINGHAM, OKLAHOMA COUNTY, MICHIGAN, 48009

DES: JPB
P.B. DN
P.B. SUR
P.B. MAD
P.B. P.M.

ORIGINAL ISSUE DATE:
NOVEMBER 30, 2016

PEA JOB NO. 2016-226

SCALE: 1" = 20'

DRAWING NUMBER:
C-6.0

GENERAL NOTES:

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF BIRMINGHAM AND M.D.O.T.
- THE CONTRACTOR MUST CONTACT THE ENGINEER SHOULD THEY ENCOUNTER ANY DESIGN ISSUES DURING CONSTRUCTION. IF THE CONTRACTOR MAKES DESIGN MODIFICATIONS WITHOUT THE WRITTEN DIRECTION OF THE DESIGN ENGINEER, THE CONTRACTOR DOES SO AT HIS OWN RISK.
- ALL NECESSARY PERMITS, TESTING, BONDS AND INSURANCES ETC., SHALL BE PAID FOR BY THE CONTRACTOR. THE OWNER SHALL PAY FOR ALL CITY INSPECTION FEES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE PERIODS OF CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO THE JOB.
- THE CONTRACTOR SHALL NOTIFY MISS DIG (811) AND REPRESENTATIVES OF OTHER UTILITIES IN THE VICINITY OF THE WORK A MINIMUM OF 72 HOURS PRIOR TO START OF CONSTRUCTION (EXCLUDING WEEKENDS AND HOLIDAYS) FOR LOCATION AND STAKING OF ON-SITE UTILITY LINES. IF NO NOTIFICATION IS GIVEN AND DAMAGE RESULTS, SAID DAMAGE WILL BE REPAIRED AT SOLE EXPENSE OF THE CONTRACTOR. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- CONTRACTOR TO VERIFY THAT THE PLANS AND SPECIFICATIONS ARE THE VERY LATEST PLANS AND SPECIFICATIONS AND FURTHERMORE, VERIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN APPROVED. ALL ITEMS CONSTRUCTED BY THE CONTRACTOR PRIOR TO RECEIVING FINAL APPROVAL, HAVING TO BE ADJUSTED OR RE-DONE, SHALL BE AT THE CONTRACTORS EXPENSE. SHOULD THE CONTRACTOR ENCOUNTER A CONFLICT BETWEEN THESE PLANS AND/OR SPECIFICATIONS, THEY SHALL SEEK CLARIFICATION IN WRITING FROM THE ENGINEER BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
- ALL PROPERTIES OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DESTROYED OR OTHERWISE DISTURBED DUE TO CONSTRUCTION, SHALL BE REPLACED AND/OR RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR.
- MANHOLE, CATCH BASIN, GATE VALVES AND HYDRANT FINISH GRADES MUST BE CLOSELY CHECKED AND APPROVED BY THE ENGINEER BEFORE THE CONTRACTOR'S WORK IS CONSIDERED COMPLETE.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF OFF-SITE ANY TREES, BRUSH, STUMPS, TRASH OR OTHER UNWANTED DEBRIS AT THE OWNER'S DIRECTION, INCLUDING OLD BUILDING FOUNDATIONS AND FLOORS. BURNING OF TRASH, STUMPS OR OTHER DEBRIS SHALL NOT BE PERMITTED.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADING, SIGNAGE, LIGHTS AND TRAFFIC CONTROL DEVICES TO PROTECT THE WORK AND SAFELY MAINTAIN TRAFFIC IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION). THE DESIGN ENGINEER, OWNER, CITY AND STATE SHALL NOT BE HELD LIABLE FOR ANY CLAIMS RESULTING FROM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTOR'S FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.
- ALL EXCAVATIONS SHALL BE SLOPED, SHORED OR BRACED IN ACCORDANCE WITH MI-OSHA REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE AN ADEQUATELY CONSTRUCTED AND BRACED SHORING SYSTEM FOR EMPLOYEES WORKING IN AN EXCAVATION THAT MAY EXPOSE EMPLOYEES TO THE DANGER OF MOVING GROUND.

PAVING NOTES:

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF BIRMINGHAM AND M.D.O.T.
- IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
- ON-SITE FILL CAN BE USED IF THE SPECIFIED COMPACTION REQUIREMENTS CAN BE ACHIEVED. IF ON-SITE SOIL IS USED, IT SHOULD BE CLEAN AND FREE OF FROZEN SOIL, ORGANICS, OR OTHER DELETERIOUS MATERIALS.
- THE FINAL SUBGRADE/EXISTING AGGREGATE BASE SHOULD BE THOROUGHLY PROFFROLLED USING A FULLY LOADED TANDEM AXLE TRUCK OR FRONT END LOADER UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REINFORCED USING GEORIDS OR REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
- SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUSCEPTIBLE TO FROST HEAVING AND UNSTABLE SOIL CONDITIONS. ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FILL SECTIONS OR BELOW SUBGRADE IN CUT SECTIONS, WILL BE CLASSIFIED AS SUBGRADE UNDERCUTTING.
- SUBGRADE UNDERCUTTING SHALL BE PERFORMED WHERE NECESSARY AND THE EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ANY SUBGRADE UNDERCUTTING SHALL BE BACKFILLED WITH SAND OR OTHER SIMILAR APPROVED MATERIAL. BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM UNIT WEIGHT (PER ASTM D-1557) UNLESS OTHERWISE SPECIFIED.
- BACKFILL UNDER PAVED AREAS SHALL BE AS SPECIFIED ON DETAILS.
- ANY SUB-GRADE WATERING REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE CONSIDERED INCIDENTAL TO THE JOB.
- FINAL PAVEMENT ELEVATIONS SHOULD BE SO DESIGNED TO PROVIDE POSITIVE SURFACE DRAINAGE. A MINIMUM SURFACE SLOPE OF 1.0 PERCENT IS RECOMMENDED.
- CONSTRUCTION TRAFFIC SHOULD BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE INITIAL LIFT THICKNESS COULD BE INCREASED AND PLACEMENT OF THE FINAL LIFT COULD BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURE, IF ANY DOES OCCUR, AS WELL AS REDUCE LOAD DAMAGE ON THE PAVEMENT SYSTEM.

GENERAL UTILITY NOTES:

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF BIRMINGHAM.
- ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
- WHENEVER EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND PERIPHERY OF OPENING TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.
- THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING UTILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE DESIGN ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. CONTRACTOR TO FIELD VERIFY UTILITIES.
- THE CONTRACTOR MUST COORDINATE TO ENSURE ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED FOR THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, IRRIGATION, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO THE PLACEMENT OF THE PROPOSED PAVEMENT AND LANDSCAPING.
- REFER TO CITY OF BIRMINGHAM, STANDARD DETAILS FOR PIPE BEDDING DETAILS.
- REFER TO CITY OF BIRMINGHAM STANDARD DETAIL SHEETS FOR ADDITIONAL INFORMATION.

STORM SEWER NOTES:

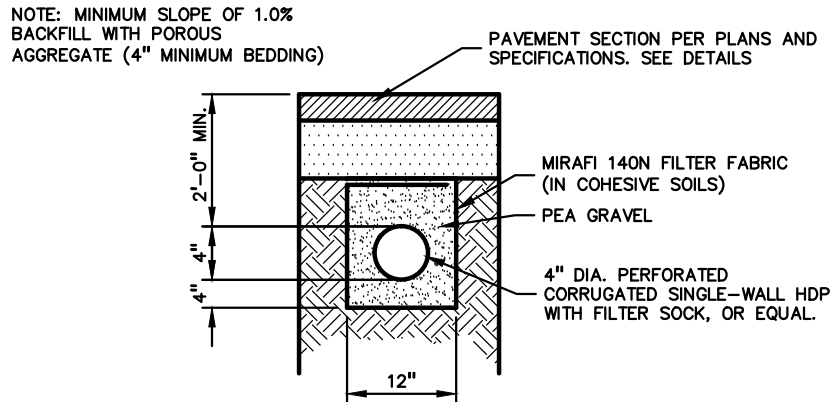
- ALL STORM SEWER 12" AND LARGER SHALL BE ROP CLASS IV UNLESS OTHERWISE NOTED. REFER TO CITY STANDARD DETAILS SHEETS FOR STANDARD BEDDING DETAILS.
- JOINTS FOR ALL STORM SEWER 12" AND LARGER SHALL BE MODIFIED TONGUE AND GROOVE JOINT WITH RUBBER GASKETS UNLESS SPECIFIED OTHERWISE (ASTM C-443)
- ALL STORM SEWER LEADS SHALL BE CONSTRUCTED OF PVC SCHEDULE 40 PIPE AT 1.00% MINIMUM SLOPE WITH GLUED JOINTS, UNLESS OTHERWISE NOTED.

WATER MAIN NOTES:

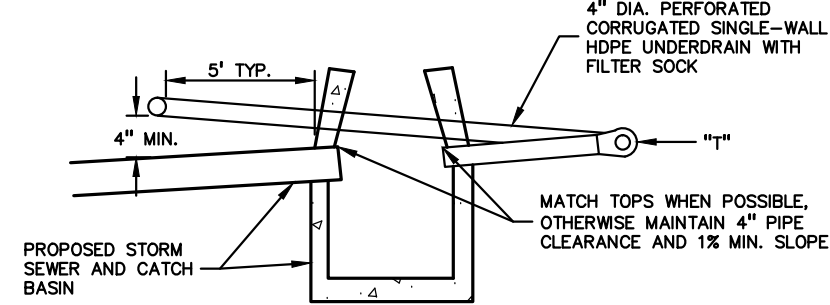
- ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 5.5' BELOW FINISH GRADE. WHEN WATER MAINS MUST DIP TO PASS SEWER OR SANITARY SEWER, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE KEPT TO A MINIMUM LENGTH BY THE USE OF VERTICAL TWENTY TWO AND A HALF (22.5") DEGREE BENDS, PROPERLY ANCHORED.
- ALL TEE'S, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.
- PHYSICAL CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS UNTIL TESTING IS SATISFACTORILY COMPLETED.
- MAINTAIN 10' HORIZONTAL CLEARANCE BETWEEN OUTER EDGE OF WATERMAIN AND ANY SANITARY SEWER OR STRUCTURE.
- ALL WATER MAIN SHALL BE DUCTILE IRON CLASS 54 WITH POLYETHYLENE WRAP.

SANITARY SEWER NOTES:

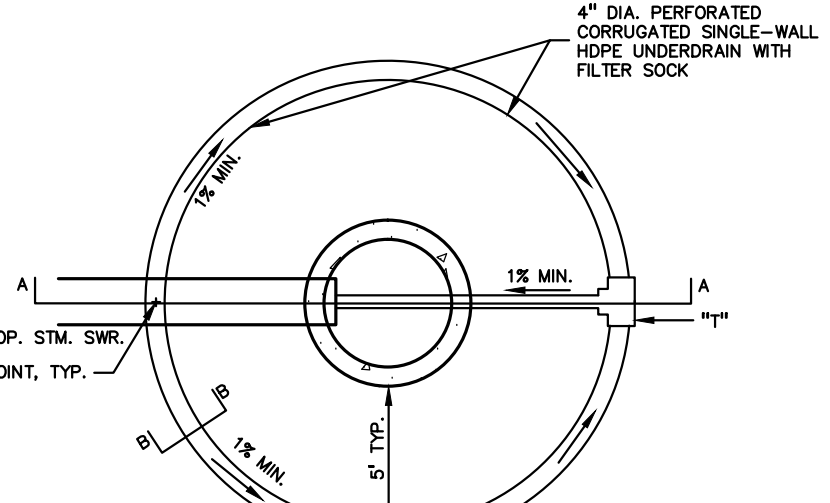
- DOWNSPOUTS, WEEP TILE, FOOTING DRAINS OR ANY CONDUIT THAT CARRIES STORM OR GROUND WATER SHALL NOT BE ALLOWED TO DISCHARGE INTO A SANITARY SEWER.
- ALL SANITARY LEADS SHALL BE CONSTRUCTED OF PVC SDR 23.5 AT 1.00% MINIMUM SLOPE.
- JOINTS FOR P.V.C. SOLID WALL PIPE SHALL BE ELASTOMERIC (RUBBER GASKET) AS SPECIFIED IN A.S.T.M. DESIGNATION D-3212.



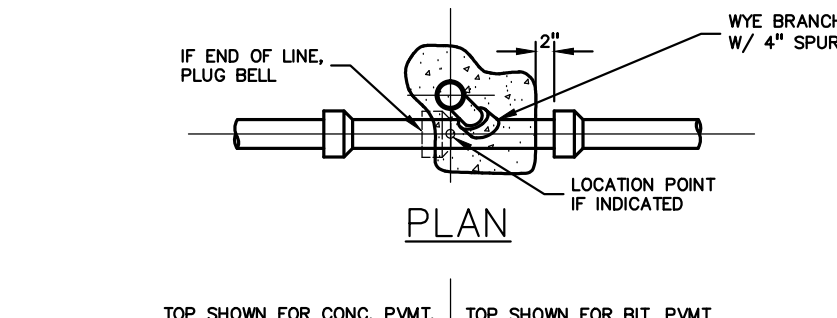
SECTION B-B



SECTION A-A

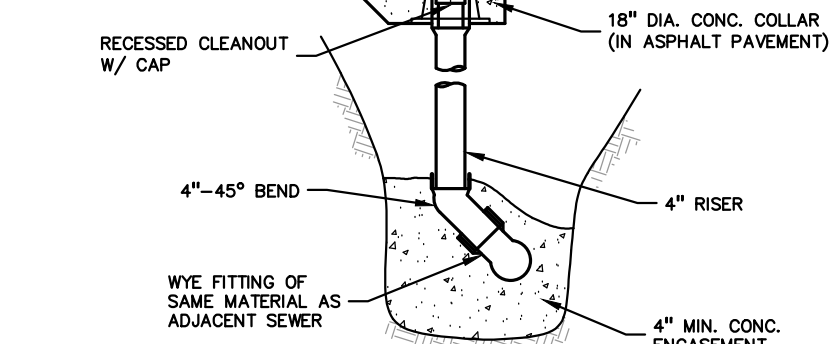


PLAN VIEW
RADIAL UNDERDRAIN DETAIL
NOT TO SCALE

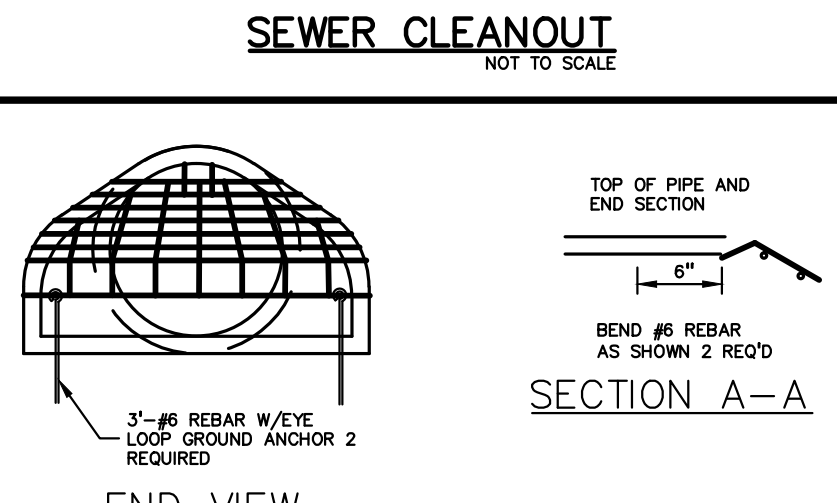


SECTION

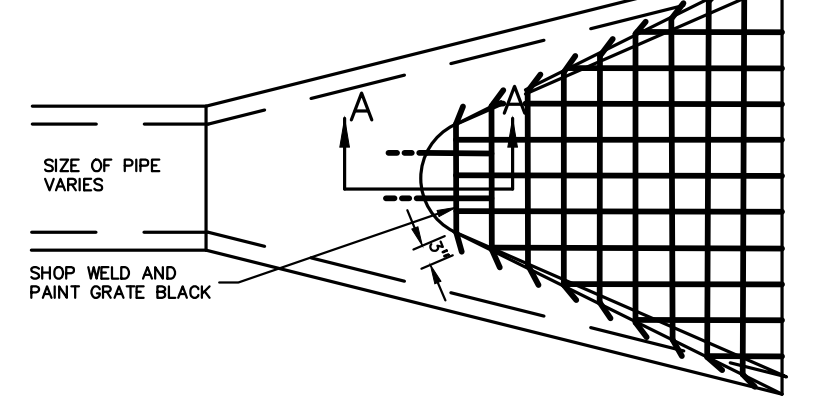
SEWER CLEANOUT
NOT TO SCALE



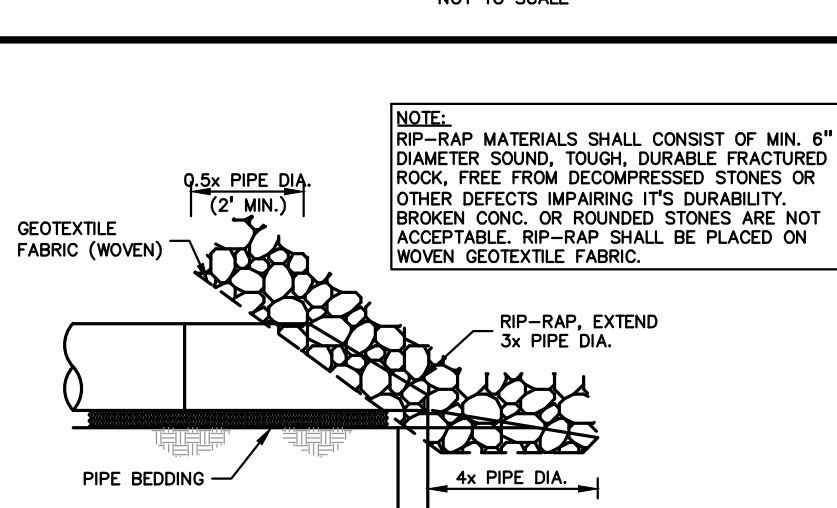
SECTION A-A



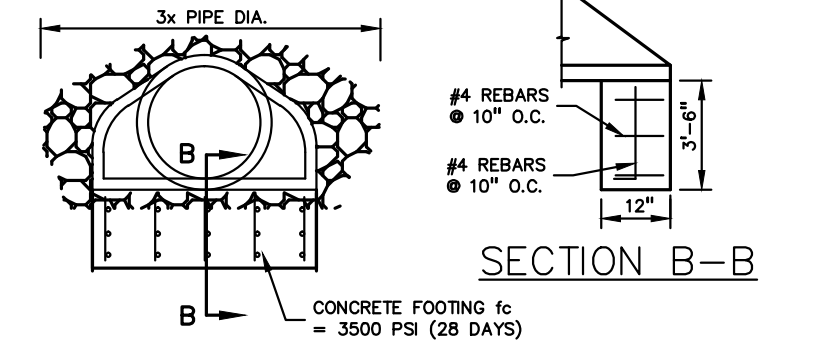
END VIEW



PLAN VIEW
BAR GRATE DETAIL
NOT TO SCALE

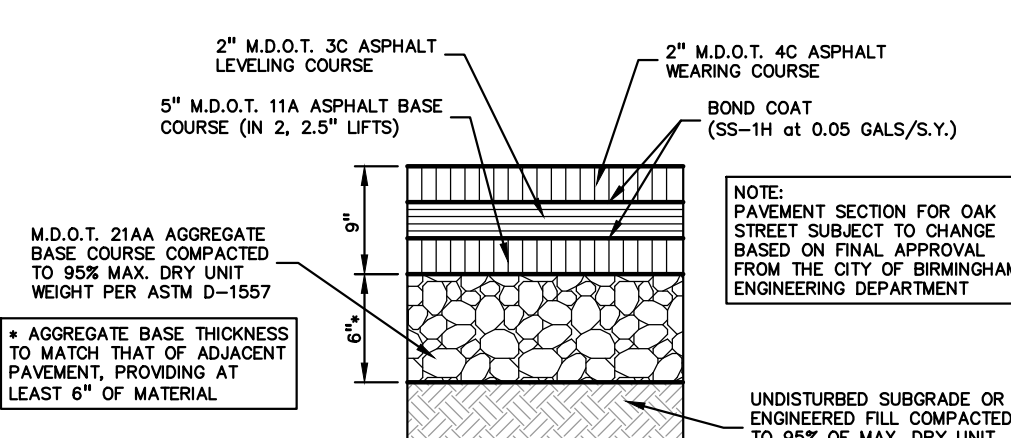


PROFILE VIEW

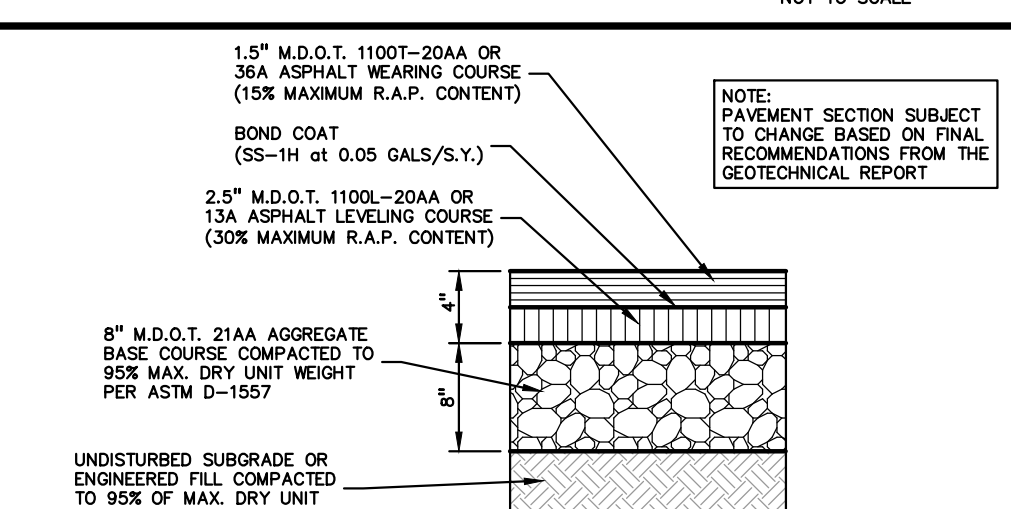


END VIEW

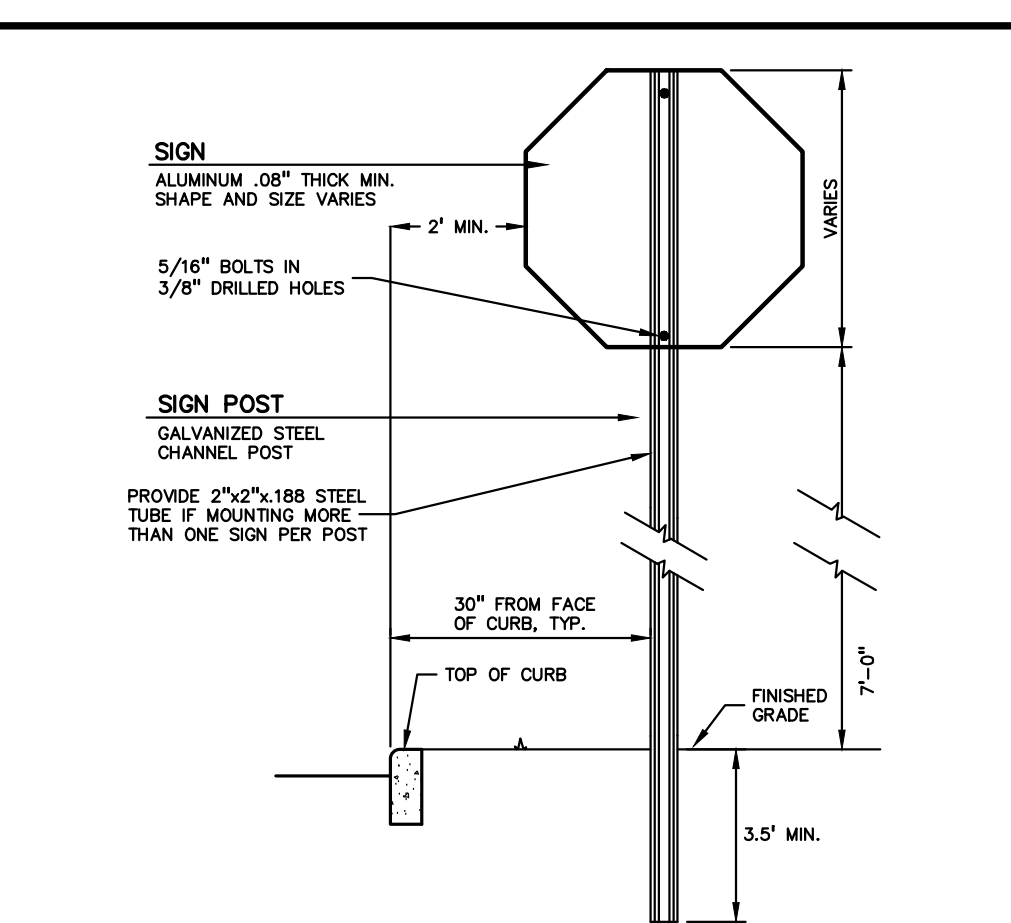
END SECTION WITH FOOTING AND RIP-RAP
NOT TO SCALE



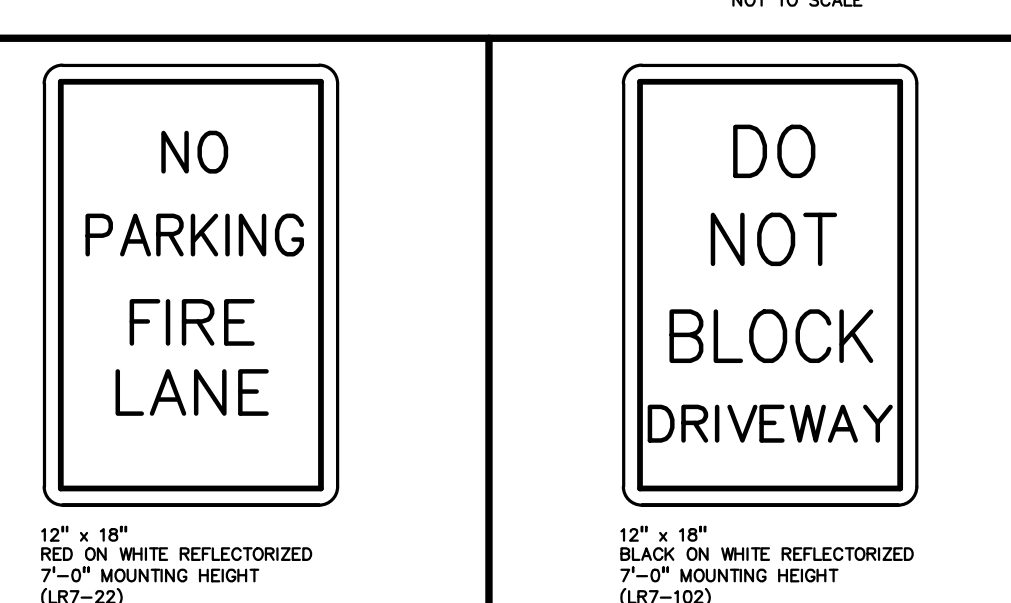
OAK STREET ASPHALT PAVEMENT DETAIL
NOT TO SCALE



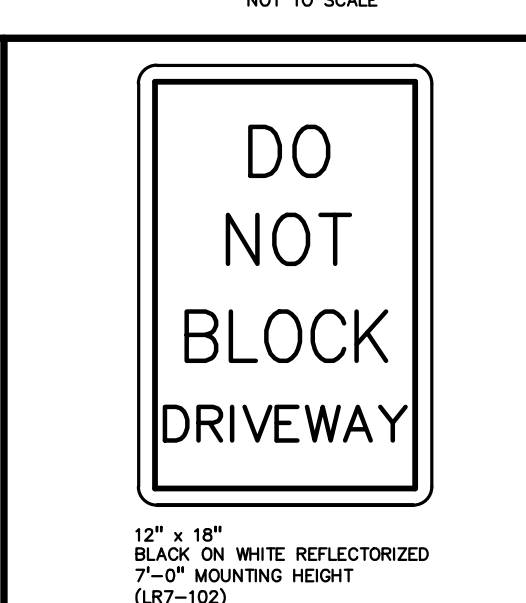
STANDARD DUTY ASPHALT DETAIL
(NOT FOR USE IN THE RIGHT-OF-WAY)
NOT TO SCALE



SIGN AND POST INSTALLATION
IN LANDSCAPED AREAS
NOT TO SCALE



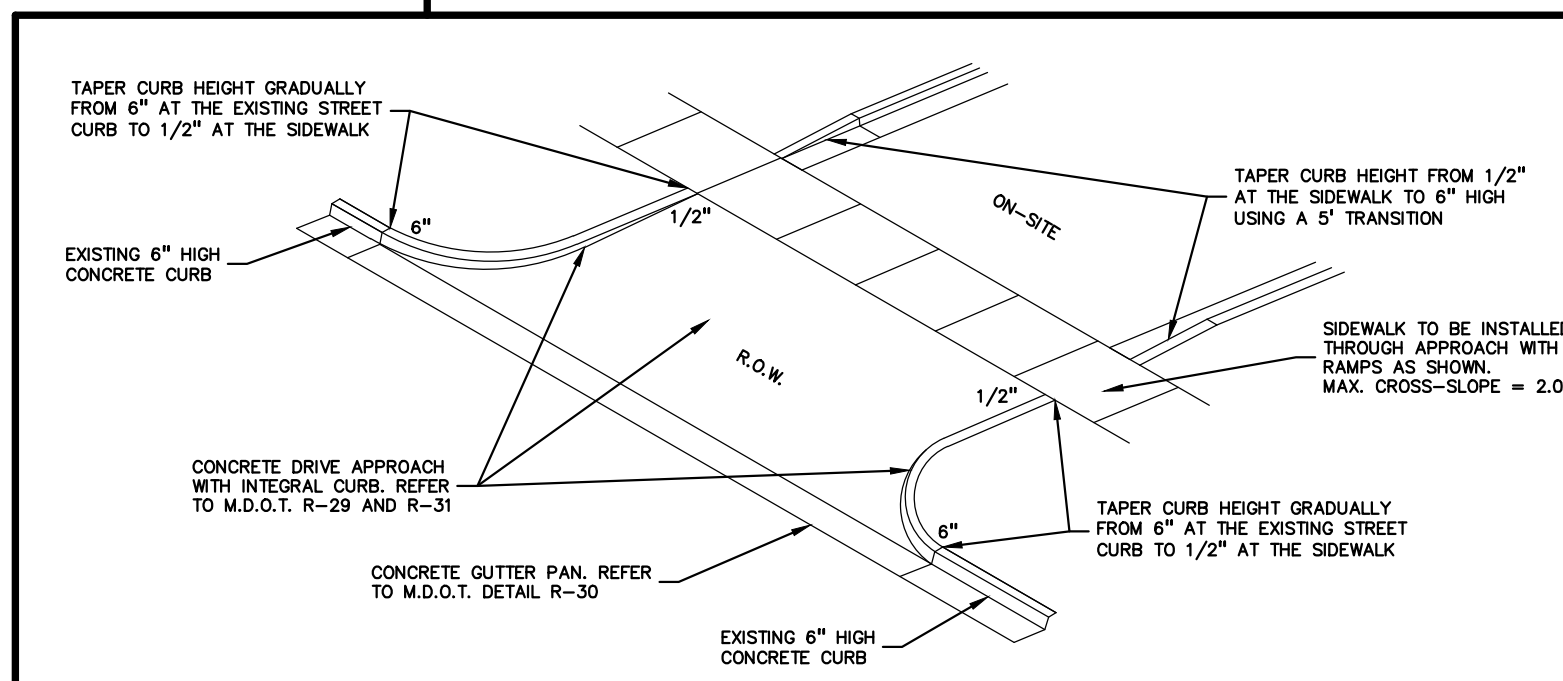
NO PARKING SIGN DETAIL
NOT TO SCALE



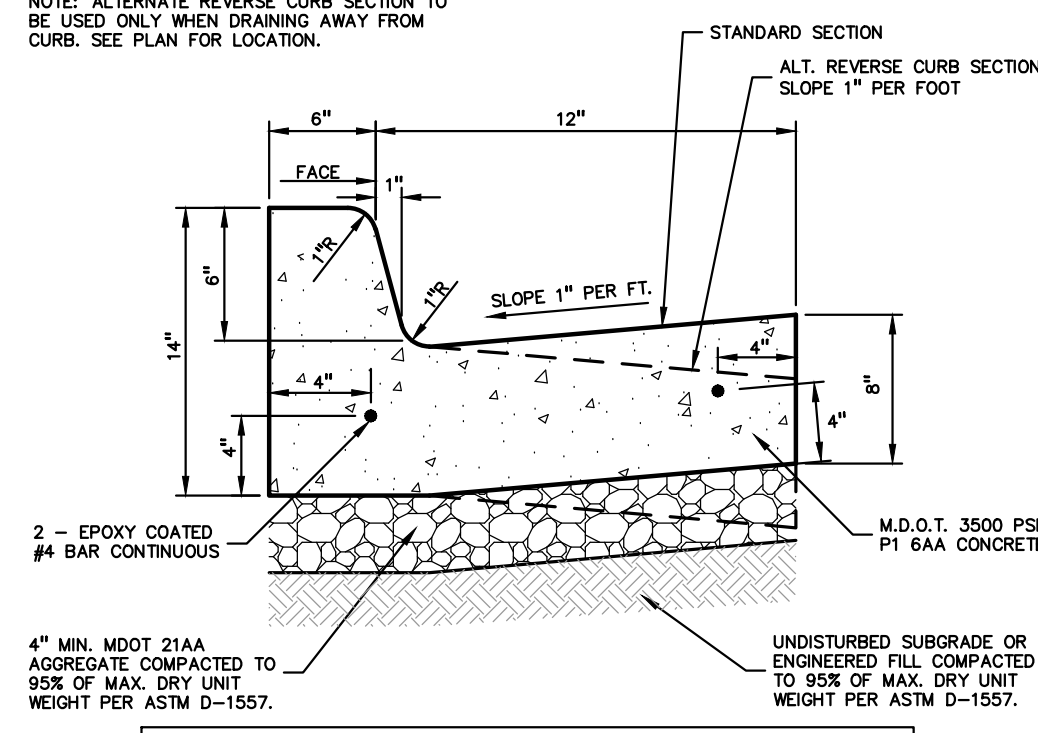
DO NOT BLOCK
DRIVEWAY SIGN DETAIL
NOT TO SCALE



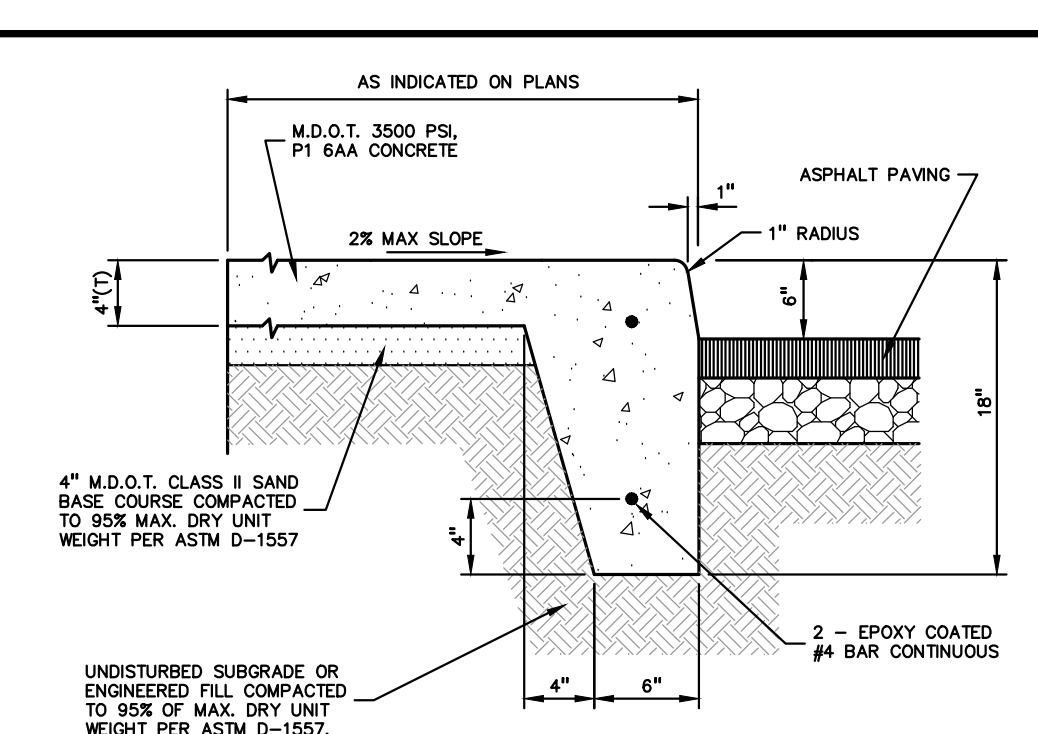
STOP SIGN DETAIL
NOT TO SCALE



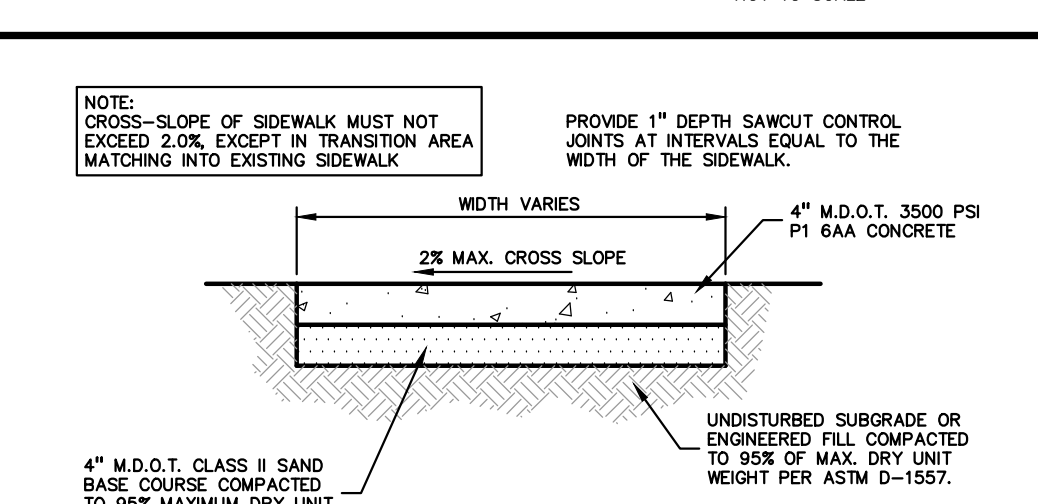
DRIVE APPROACH SCHEMATIC DETAIL
NOT TO SCALE



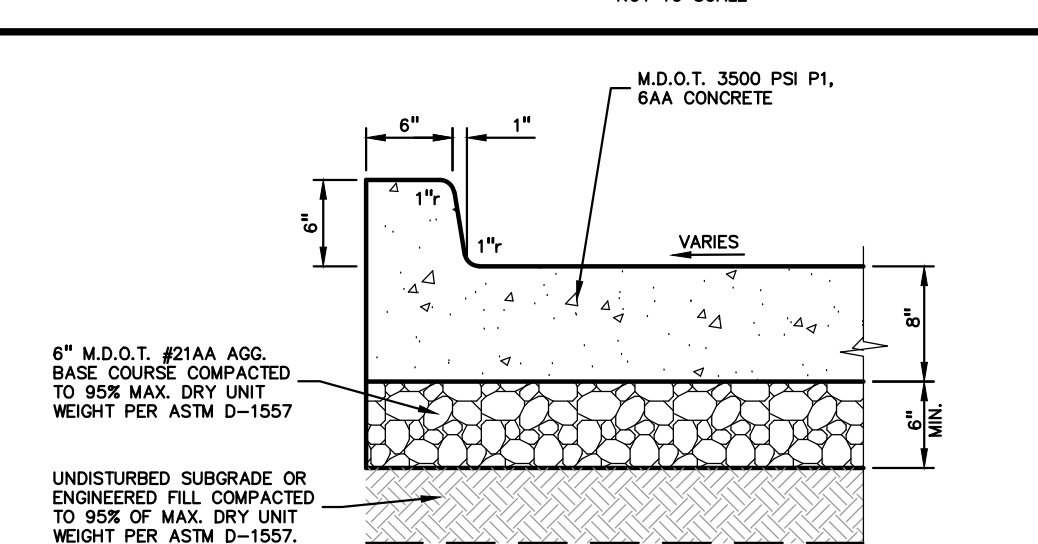
18"x6" STANDARD CONCRETE CURB AND GUTTER
NOT TO SCALE



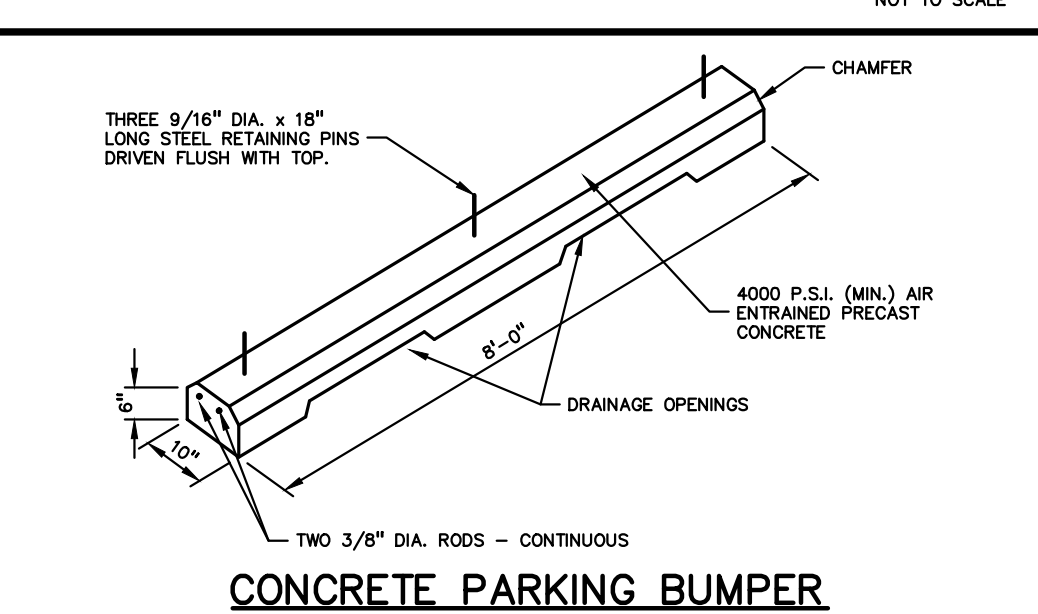
INTEGRAL CURB AND SIDEWALK
NOT TO SCALE



CONCRETE SIDEWALK
NOT TO SCALE



HEAVY DUTY CONCRETE WITH INTEGRAL CURB
NOT TO SCALE



CONCRETE PARKING BUMPER
NOT TO SCALE

NO.	BY	CHK.	DESCRIPTION	DATE
1	JPB	JPB	PRELIMINARY SITE PLAN REVIEW - REVISED	01/19/17

REVISIONS

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DES.	JPB	DN.	PB	SUR.	MAD	P.M.	JPB

ORIGINAL ISSUE DATE:
NOVEMBER 30, 2016

PEA JOB NO. 2016-226

SCALE: AS SHOWN

DRAWING NUMBER:

C-8.1

XREF: S:\PROJECTS\2016\2016226\DWG\16226-TOPOBASE.DWG
XREF: S:\PROJECTS\2016\2016226\DWG\SITE PLAN\BASE-16226.DWG
XREF: S:\PROJECTS\2016\2016226\DWG\SITE PLAN\TBK-16226.DWG

NOT FOR CONSTRUCTION

THE FOLLOWING NOTES PROVIDE AN OUTLINE OF SOME OF THE REQUIREMENTS CONTAINED WITHIN THE "STANDARDS FOR ACCESSIBLE DESIGN - AMERICANS WITH DISABILITIES ACT 2010", AND "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES", ICC/ANSI A117.1-2009. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE REQUIREMENTS PRESENTED WITHIN THESE DOCUMENTS, WHICH ARE AVAILABLE IN FULL UPON REQUEST.

1. AN ACCESSIBLE ROUTE CONSISTS OF WALK SURFACES, CURB RAMPS AND RAMPS. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES, ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC TRANSIT STOPS AND TRANSFER STATIONS AND PUBLIC TRANSIT STOPS TO THE BUILDING OR FACILITY.
2. THE RUNNING SLOPE OF ALL WALKING SURFACES SHALL NOT EXCEED 5% (1:20) AND THE CROSS-SLOPE SHALL NOT EXCEED 2% (1:48).
3. WALKING SURFACES MUST BE LEVEL WITH PERMITTED VERTICAL CHANGES IN LEVEL, NOT TO EXCEED 1/4", OR BEVELED CHANGES IN LEVEL, NOT TO EXCEED 1/2". REFER TO DETAIL THIS SHEET. ANY CHANGE IN LEVEL GREATER THAN 1/2" MUST BE RAMPED.
4. TURNING SPACES ALONG ACCESSIBLE ROUTES MUST BE AT LEAST 5 FEET WIDE IN ALL DIRECTIONS AND NOT EXCEED 2% SLOPE.
5. ACCESSIBLE ROUTES WILL BE DESIGNED TO BE A MINIMUM OF 5 FEET WIDE, THE MINIMUM CLEAR WIDTH IS 3 FEET.
6. RAMPS ALONG ACCESSIBLE ROUTES WILL HAVE A RUNNING SLOPE GREATER THAN 5% (1:20) AND NOT LESS THAN 8.3% (1:12).
7. THE CROSS-SLOPE OF RAMP RUNS SHALL NOT EXCEED 2% (1:48).
8. THE MINIMUM CLEAR WIDTH OF ANY RAMP SHALL BE 36 INCHES.
9. THE MAXIMUM RISE FOR ANY RAMP (NOT INCLUDING CURB RAMPS) SHALL NOT EXCEED 30 INCHES. LANDINGS ARE REQUIRED AT THE TOP AND BOTTOM OF EACH RAMP. LANDINGS SHALL HAVE A CROSS-SLOPE NOT EXCEEDING 2% (1:48), SHALL BE 5 FEET LONG AND AT LEAST AS WIDE AS THE RAMP CLEAR WIDTH. IF THERE IS A CHANGE OF DIRECTION AT A LANDING, THEN HANDRAILS ARE REQUIRED FOR ANY RAMP (NOT INCLUDING CURB RAMPS) WITH A RISE GREATER THAN 6 INCHES. ALL HANDRAILS ARE REQUIRED TO HAVE EDGE PROTECTION UNLESS ADJOINING ANOTHER ACCESS POINT OR IF THE VERTICAL CLEARANCE AT THE HANDRAIL RAMP DOES NOT EXCEED 1/2" IN 10 FEET. EDGE PROTECTION CAN BE PROVIDED BY MEANS OF A 4" MIN. CURB OR BARRIER.
10. CURB RAMPS ALONG ACCESSIBLE ROUTES SHALL NOT RISE MORE THAN 6 INCHES, NOR BE STEEPER THAN 8.3% (1:12).
11. APPROACHING SLOPES TO THE RAMP CANNOT EXCEED 5% WHICH INCLUDES SIDEWALKS, PAVEMENT, GUTTERS ETC.
12. IF A FLARE IS REQUIRED TO APPROACH A CURB RAMP, THE FLARE SHALL BE STEEPER THAN 10% (1:10).
13. LANDINGS ARE REQUIRED AT THE TOP OF ALL CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE A MINIMUM OF 36" AND WILL BE AS WIDE AS THE CURB RAMP.
14. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
15. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS.
16. WHERE DETECTABLE WARNING IS REQUIRED AT CURB RAMPS, THE DETECTABLE WARNING SHALL BE 24" MINIMUM IN DEPTH AND SHALL EXTEND THE FULL WIDTH OF THE RAMP. THE DETECTABLE WARNING SHALL BE LOCATED SO THE EDGE NEAREST THE CURB IS 6 INCHES MINIMUM AND 9 INCHES MAXIMUM FROM THE CURB LINE.
17. ACCESSIBLE PARKING SPACES ON SITE SHALL BE PROVIDED AS REQUIRED IN SECTION 502 OF THE A.D.A. IF THE SITE HAS MORE THAN ONE PARKING FACILITY, THE FACILITY IS NOT REQUIRED TO BE SEPARATELY IDENTIFIED. THE REQUIRED NUMBER OF SPACES SHALL BE BASED ON THE TOTAL NUMBER OF PARKING SPACES IN EACH PARKING FACILITY ON SITE.
18. FOR EVERY SIX OR FRACTION OF SIX ACCESSIBLE PARKING SPACES, ONE VAN ACCESSIBLE SPACE SHALL BE PROVIDED.
19. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE FROM PARKING TO A BUILDING ENTRANCE. THE MOST DIRECT ROUTE TO BUILDING ENTRANCE OR BUS STOP SHALL BE THE SHORTEST ACCESSIBLE ROUTE TO THE ACCESSIBLE ENTRANCES.
20. BARRIER FREE CAR PARKING SPACES SHALL BE A MINIMUM OF 8 FEET WIDE WITH AN ACCESS AISLE 5 FEET WIDE MINIMUM. THE MINIMUM CLEAR WIDTH OF THE PARKING SPACE SHALL BE 9 FEET WIDE WITH A WIDE ACCESS AISLE. VAN ACCESSIBLE SPACES ARE ALSO ACCEPTABLE WITH AN 8 FOOT WIDE AND 8 FOOT WIDE ACCESS AISLE. THE ACCESS AISLE IN ALL CASES MUST EXTEND THE FULL LENGTH OF THE PARKING SPACE.
21. SURROUND THE PARKING SPACES AND AISLES SHALL NOT EXCEED 2% (1:48).
22. ACCESSIBLE AREAS INCLUDING PARKING SPACES, AISLES AND PATHWAYS, REQUIRE A MINIMUM VERTICAL CLEARANCE OF 98 INCHES.
23. ACCESSIBLE PARKING SPACES ARE REQUIRED TO BE IDENTIFIED BY SIGNS. THE SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY, VAN PARKING SPACES ARE REQUIRED TO BE DESIGNATED AS "VAN ACCESSIBLE." REFER TO DETAILS ON THIS SHEET.



1. ONE SIGN IS REQUIRED AT EACH BARRIER FREE PARKING SPACE.
2. ALL SIGNS SHALL COMPLY WITH THE LATEST STANDARDS OF THE MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
3. WHEN TWO BARRIER FREE PARKING SPACES ARE ADJACENT AND FACING EACH OTHER, TWO SIGNS ARE REQUIRED, BUT CAN BE MOUNTED ON THE SAME POST.
4. SIGNS SHALL BE 14" SQUARE 14-GAUGE GALVANNEAL STEEL, TUBE WITH 7/16" HOLES AT 1" CENTERS. POSTS SHALL TELESCOPE INSIDE ANCHOR POSTS WITH A MINIMUM OF 12".
5. ANCHOR POSTS SHALL BE 2.25" NOM. SQUARE 12-GAUGE GALVANIZED STEEL POST, WITH A MINIMUM OF 5 FEET LONG.
6. IF THESE NOTES AND DETAILS CONFLICT WITH LOCAL CODES AND ORDINANCES, THE STRICTER REQUIREMENT SHOULD BE USED.
7. ALTERNATE MATERIALS MAY BE USED IF IN COMPLIANCE WITH A.D.A. GUIDELINES AND LOCAL REQUIREMENTS.



MODIFIED 18"x6" CONCRETE CURB AND GUTTER
DETAIL TO BE USED IN BARRIER FREE AREAS

XREF: S:PROJECTS\2016\2016226\DWG\16226-TOPOBASE.DWG
XREF: S:PROJECTS\2016\2016226\DWG\SITE PLAN\CBASE-16226.DWG
XREF: S:PROJECTS\2016\2016226\DWG\SITE PLAN\BLK-16226.DWG

REVISIONS

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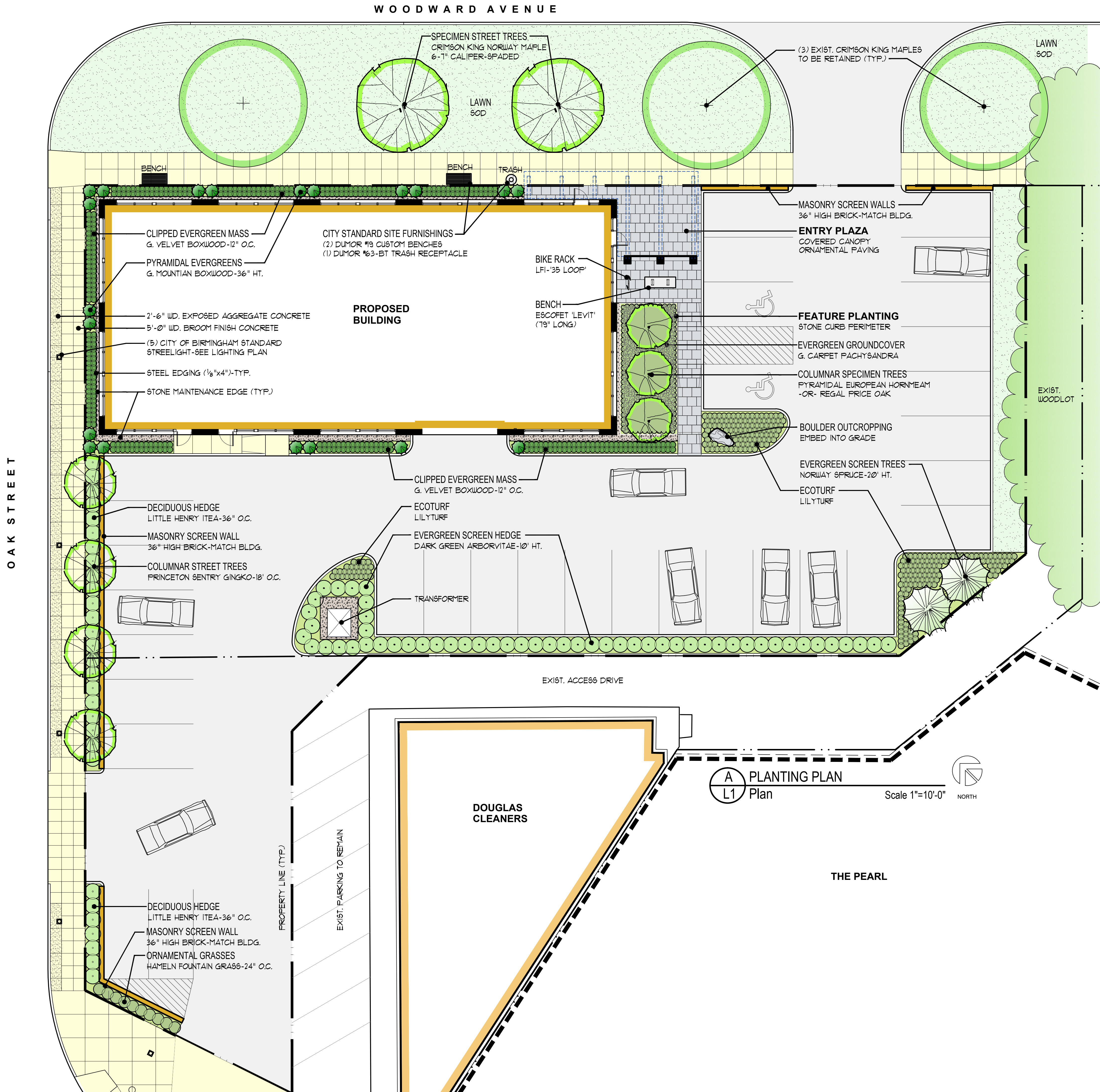
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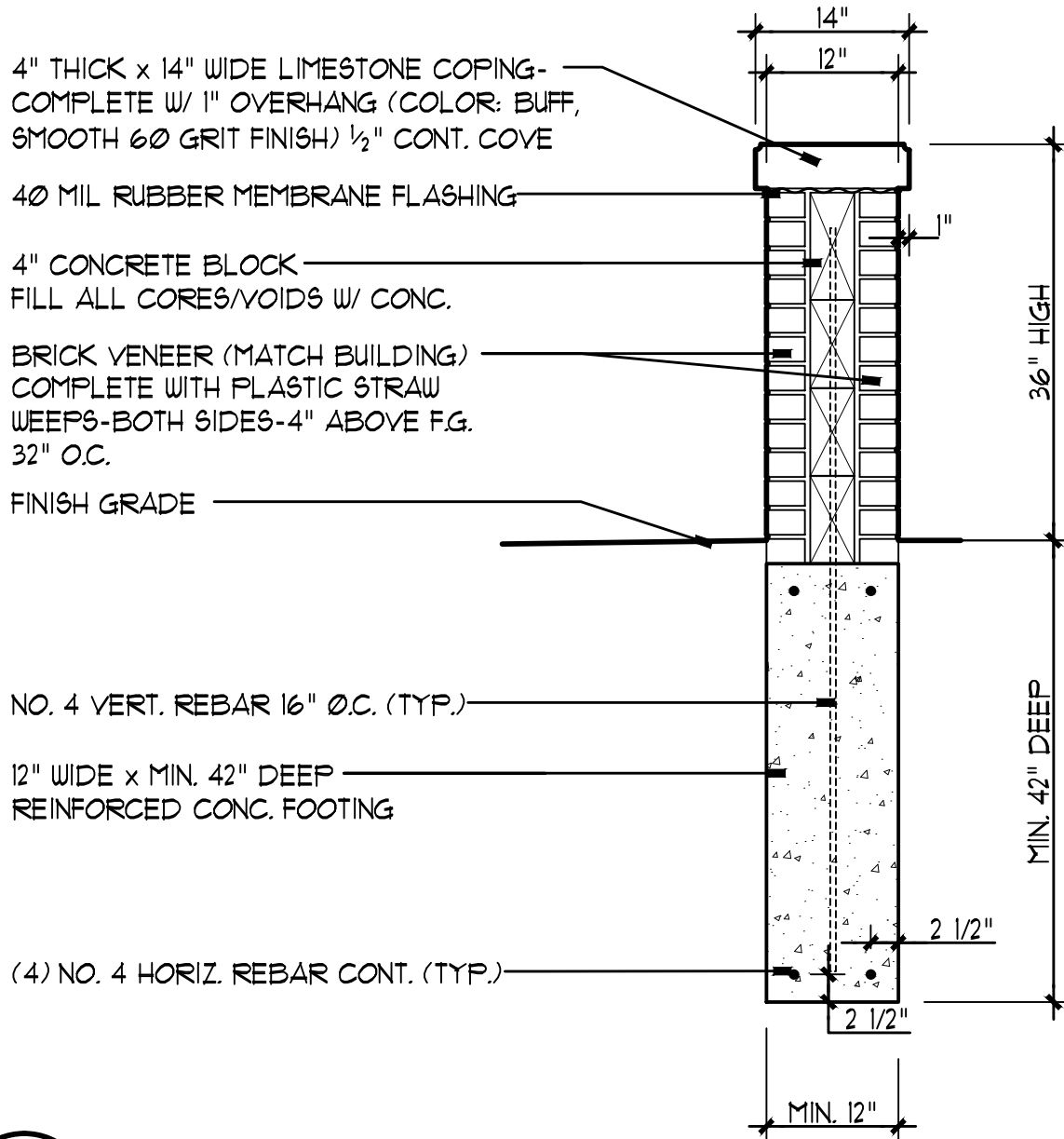
ORIGINAL ISSUE DATE: NOVEMBER 30, 2016
PEA JOB NO. 2016-226
SCALE: AS SHOWN
DRAWING NUMBER: C-8.2

C-8.2

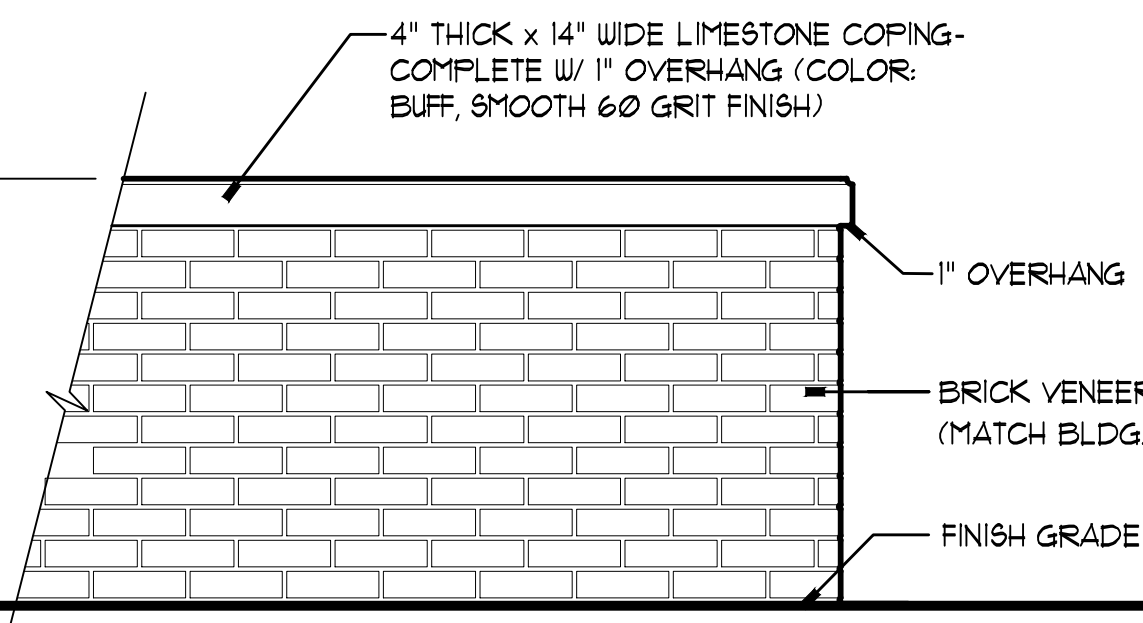


PLANTING LEGEND

GRAPHIC SYM.	QTY.	ITEM/DESCRIPTION	SIZE
	2 EA.	CRIMSON KING NORWAY MAPLE	6-7" CAL.
	3 EA.	PYRAMIDAL EUROPEAN HORNBEAM -OR- REGAL PRINCE OAK	3" CAL. 3" CAL.
	4 EA.	PRINCETON SENTRY GINKGO	2 1/2" CAL.
	2 EA.	NORWAY SPRUCE	20' HT.
	53 EA.	DARK GREEN ARBORVITAE	10' HT.
	330 EA.	GREEN VELVET BOXWOOD	15-18"
	20 EA.	GREEN MOUNTAIN BOXWOOD	36-42" HT.
	29 EA.	LITTLE HENRY ITEA	5 GAL.
	10 EA.	HAMELN FOUNTAIN GRASS	15 GAL.
	249 EA.	LILYTURF	1 GAL.
	315 EA.	GREEN CARPET FACHYSANDRA	1 GAL.
	6 C.Y.	WASHED CRUSHED NATURAL STONE	1/2-3/4"
	265 L.F.	STEEL EDGING-BLACK	1/8" x 4"



B
L1 MASONRY SCREEN WALL
Section
Scale 3/4"=1'-0"



C
L1 MASONRY SCREEN WALL
Elevation
Scale 3/4"=1'-0"

LANDSCAPE
ARCHITECTURE

MICHAEL J. DUL
& ASSOCIATES, INC

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BIRMINGHAM
MICHIGAN 48009

P 248 644 3410
F 248 644 0819

www.mjdul.com

AUGUST L.L.C.

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Birmingham, Michigan 48009

PROJECT

Landscape Development

LANDSCAPE PLAN

SHEET TITLE

See Details

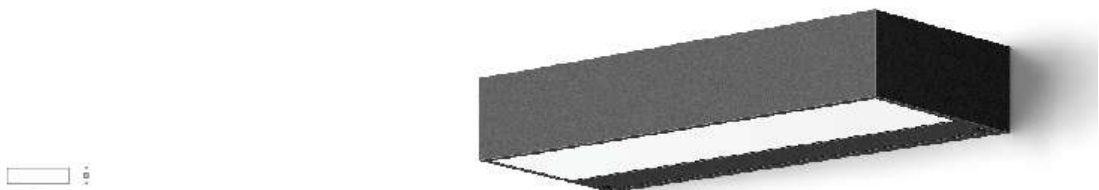
SCALE

PROJECT NUMBER: 16190
DRAWN: P. Furke
CHECKED: M. Dul
DATE: November 30, 2016 Preliminary SPA
REVISIONS: January 19, 2017 Prelim. Site Plan Review-Revised

LED wall luminaires with light output on one side

Housing: Constructed of one piece die cast aluminum designed for direct attachment to a BEGA 19 545 sized opening (see detail junction box provided). Die castings are marine grade, copper free (0.2% copper content) 6061-T6 aluminum alloy.
Enclosure: Tempered, white glass, flush to the die casting to prevent water accumulation in any mounting orientation. Fully gasketed for weather tight operation using a silicon gasket.
Electrical: 6.7W LED luminaire, 0-10V dimming system with 100% dimming. Integral 120V through 277V electronic LED driver, 0-10V dimming. LED modules are available from factory for easy replacement. Standard LED color temperature is 3000K with an 85 CRI. Available in 4000K (85 CRI) and soft white K4 to order.
Note: LED supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.
Finish: All BEGA standard finishes are powder coated (coat with minimum 3 mil thickness). Available in four standard BEGA colors: Black (BK), White (WH), Silver (SV), Clear (CL). To specify add appropriate suffix to catalog number. Custom colors supplied on special order.
CSA: certified to U.S. and Canadian standards for wet locations. Protection class IP65.
Weight: 3.1 lbs.

Luminaire Lumens: 375



Light emission on one side. Required: 11.7, 21, 41, 90, 180, 360, 720, 1080, 1440, 1800, 2160, 2520, 2880, 3240, 3600, 3960, 4320, 4680, 5040, 5400, 5760, 6120, 6480, 6840, 7200, 7560, 7920, 8280, 8640, 9000, 9360, 9720, 10080, 10440, 10800, 11160, 11520, 11880, 12240, 12600, 12960, 13320, 13680, 14040, 14400, 14760, 15120, 15480, 15840, 16200, 16560, 16920, 17280, 17640, 18000, 18360, 18720, 19080, 19440, 19800, 20160, 20520, 20880, 21240, 21600, 21960, 22320, 22680, 23040, 23400, 23760, 24120, 24480, 24840, 25200, 25560, 25920, 26280, 26640, 27000, 27360, 27720, 28080, 28440, 28800, 29160, 29520, 29880, 30240, 30600, 30960, 31320, 31680, 32040, 32400, 32760, 33120, 33480, 33840, 34200, 34560, 34920, 35280, 35640, 36000, 36360, 36720, 37080, 37440, 37800, 38160, 38520, 38880, 39240, 39600, 39960, 40320, 40680, 41040, 41400, 41760, 42120, 42480, 42840, 43200, 43560, 43920, 44280, 44640, 45000, 45360, 45720, 46080, 46440, 46800, 47160, 47520, 47880, 48240, 48600, 48960, 49320, 49680, 50040, 50400, 50760, 51120, 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Date: _____ Customer: _____

Project: _____

Type: A1 & A2 Qty: _____

selux

Astro 1 & 2



AST 1



AST 2

Order Code: _____

Pole Order Code:

	Pole Order Code.				Series	Height	Finish	Options
	Series	AST 1 Astro 1	AST 2 Astro 2					
	Optics	R1 Type I Distribution	R2 Type II Distribution	R3 Type III Distribution	R5 Type V Distribution			
	Mounting	1 Single	1A Single Arm Mount	2 Double Arm Mount	W Wall Mount			
	Light Engine	LG4500 500 mA/50W	LG4700 700 mA/65W	LG4105 1050 mA/102W				
	CCT	30 3000K	35 3500K	40 4000K	50 5000K			For other CCT please consult factory
	Power Cord Length	8 ^{1,2} 8'	10 ^{1,2} 10'	12 ^{1,2} 12'	14 ^{1,2} 14'	16 ^{1,2} 16'	18 ^{1,2} 18'	XX ^{1,2} XX'
								¹ For 1 mounting use the pole height +2' ² For 1A or 2 mounting use the pole height +4'
	Finish	WH White	BK Black	BZ Bronze	SV Silver	SP Specify Premium Color		
	Voltage	120	208	240	277	347 [*]	480 [*]	[*] Equipped with step-down transformer [*] Wattage increases to light engines as such: 55W, 75W and 115W
	Options	DS No Uplight Finish	FS ³ Single Fusing	PC Twist Lock Photocell	DM ^{6,7} Dimming (0-10V)	DMY ⁴ Dimming (Dynadim) See p. 6 for details	HLxx ^{5,6,7} Hi-Lo Switching See p. 5 for details	ROR ³ Rotate Optics Right (90°)
								ROL ³ Rotate Optics Left (90°)
								³ AST 1 only ⁴ LG4500, LG4700 only ⁵ 120, 240, 277 only ⁶ LG4700, LG4105 only ⁷ HL or DM
		Motion Sensor w/ optional Photocell (Meets Title 24 Requirements) See Pole Spec Sheet for Order Code						



IP66

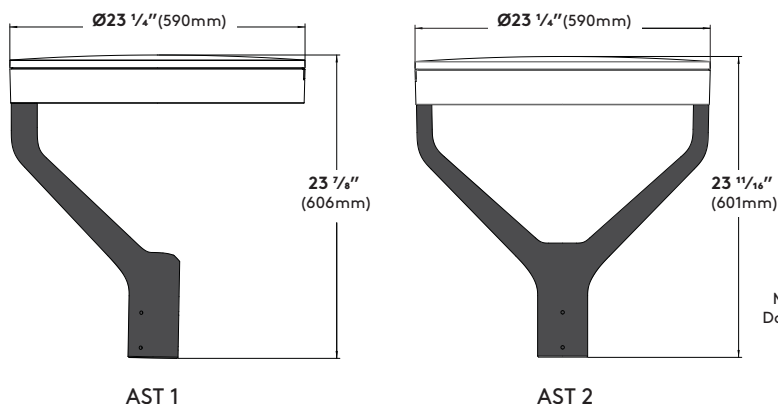


UNION
MADE
NEW LOCAL 303

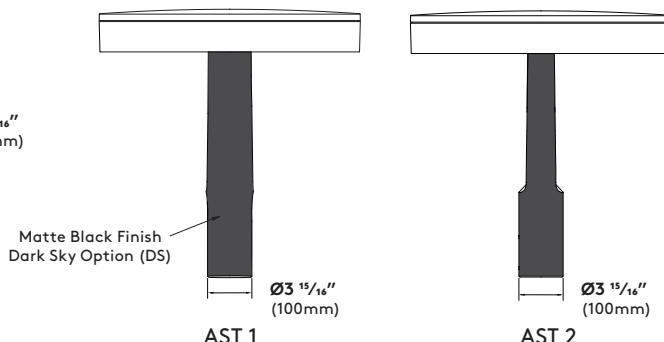


AST1/AST2-XX-DS

Front View



Side View



Specifications

Luminaire Cover - Die cast aluminum cover made from low copper alloy, designed to ensure optimal thermal management for extra long life of LED light engine.

Gasketing - (not shown) Continuous gasket provides weatherproofing, dust and insect control at all fixture connections.

LED Array - (not shown) High flux LEDs mounted to PC boards and attached to aluminum heat sink for maximum LED performance and life. CCT tolerance 1/4 step binning for 3000K, 3500K and 4000K and ANSI standard for 5000K. CRI minimum 80 for 3000K, 3500K and 4000K and typical 80 for 5000K. Complete light engine can be removed easily for future upgrade. LED light engine provides a reported lumen maintenance of 93% at 50,000 hours. L70 calculated greater than 100,000 hours.

LED Driver - LEDs are driven by RoHS compliant high-efficiency driver. Excellent for cold temperature starting and instant on. Standard driver for DMY option is Philips Xitanium Driver.

Arm/Arms - Cast aluminum arm/arms support upper housing and optic assembly with built in pole fitter (shown painted matte black for DS option).

Pole Fitter - Self-leveling, die-cast low-copper aluminum alloy, fitter base secured to pole with six, stainless steel, Allen head set screws. Fitter for 3" (76mm) O.D. poles.

Surge Protector - (not shown) Designed to protect luminaire from electrical surge (10kA).

Hi-Lo Switching Option - (not shown) Please see p. 5 for details.

Power Cord - (not shown) Pre-installed at factory. Please specify power cord length in accordance to height of the pole. Add two (2) feet to power cord length for single mount and four (4) feet for double arm mount.

Exterior Luminaire Finish - Selux utilizes a high quality Polyester Powder Coating. All Selux luminaires and poles are finished in our Tiger Drylac certified facility and undergo a five stage intensive pretreatment process where product is thoroughly cleaned, phosphated and sealed. Selux powder coated products provide excellent salt and humidity resistance as well as ultraviolet resistance for color retention. All products are tested in accordance with test specifications for coatings from ASTM and PCI. Standard exterior colors are White (WH), Black (BK), Bronze (BZ), and Silver (SV). Selux premium colors (SP) are available, please specify from your Selux color selection guide.

5 Year Limited LED Luminaire Warranty - Selux offers a 5 Year Limited Warranty to the original purchaser that the Saturn Cutoff LED luminaire shall be free from defects in material and workmanship for up to five (5) years from date of shipment. This limited warranty covers the LED driver and LED array when installed and

operated according to Selux instructions. For details, see "Selux Terms and Condition of Sale."

Listings and Ratings: Luminaire and LED tested to IP66 and IESNA LM-79-08 standards. LED tested to LM-80 standards. Luminaire and LED tested at 25°C ambient temperature.

For LG4500 and LG4700, luminaire suitable for ambient temperatures of 40°C (104°F). For LG4105, luminaire suitable for ambient temperature of 35°C (95°F). Minimum operating temperature of luminaire at -35°C (-31°F).

NRTL Listed (i.e. UL, CSA)

Visit selux.us for our LED End of Life recycling policy.

Mounting

Single (1)

Die-cast aluminum fitter base secured to pole with three stainless steel, Allen head set screws.

AST 1

Single Head (1)

EPA = 3.5ft² (0.33m²)

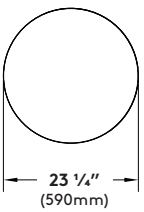
Weight = 39lbs. (17.7kg)

AST 2

Single Head (1)

EPA = 3.5ft² (0.33m²)

Weight = 43lbs. (19.5kg)



Single Arm Mount (1A)

Die-cast aluminum single luminaire mounting arm secured to pole with four stainless steel, Allen head set screws. Outer slip fitter for 3" O.D. tenon.

AST 1

Single Arm (1A)

EPA = 3.6ft² (0.33m²)

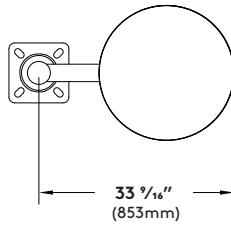
Weight = 48lbs. (21.8kg)

AST 2

Single Arm (1A)

EPA = 3.6ft² (0.33m²)

Weight = 52lbs. (23.6kg)



Double Arm Mount (2)

Die-cast aluminum double luminaire mounting arm secured to pole with four stainless steel, Allen head set screws. Outer slip fitter for 3" O.D. tenon.

AST 1

Double Head (2)

EPA = 7.3ft² (0.68m²)

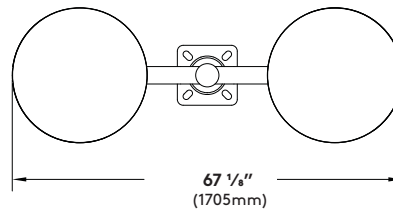
Weight = 92lbs. (41.7kg)

AST 2

Double Head (2)

EPA = 7.3ft² (0.68m²)

Weight = 100lbs. (45.4kg)



Wall (W)

Die-cast aluminum double round wall mount arm. Secured to wall with 3/8" diameter threaded fasteners (by others).

AST 1

Wall

EPA = 3.7ft² (0.34m²)

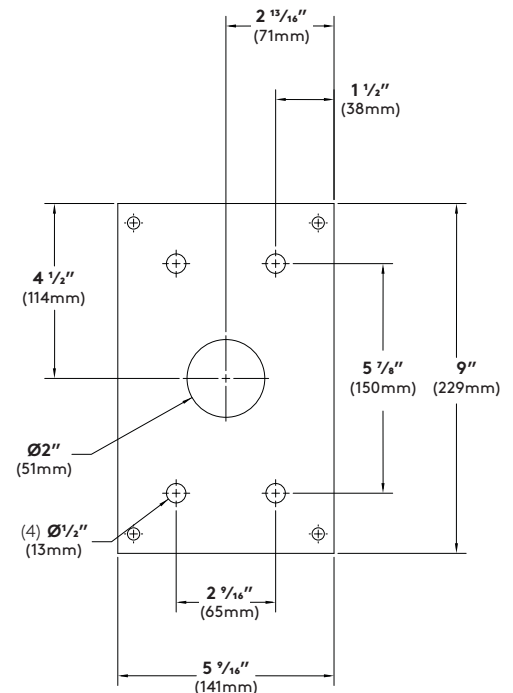
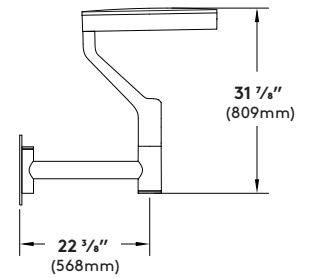
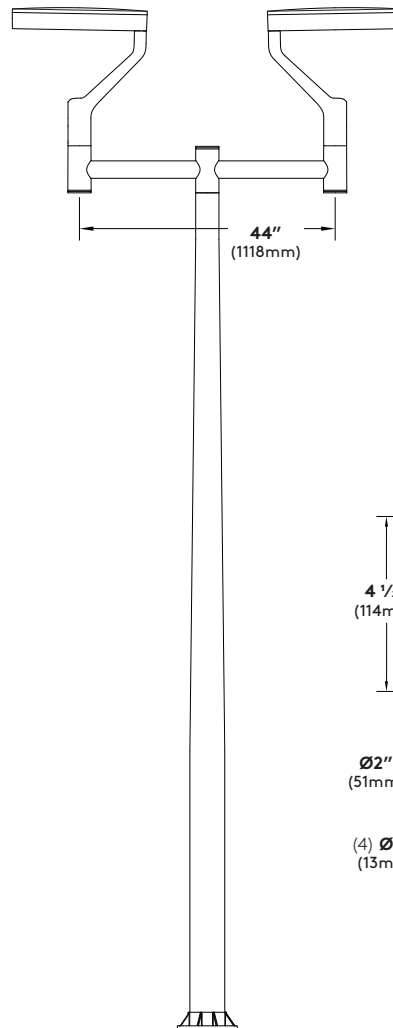
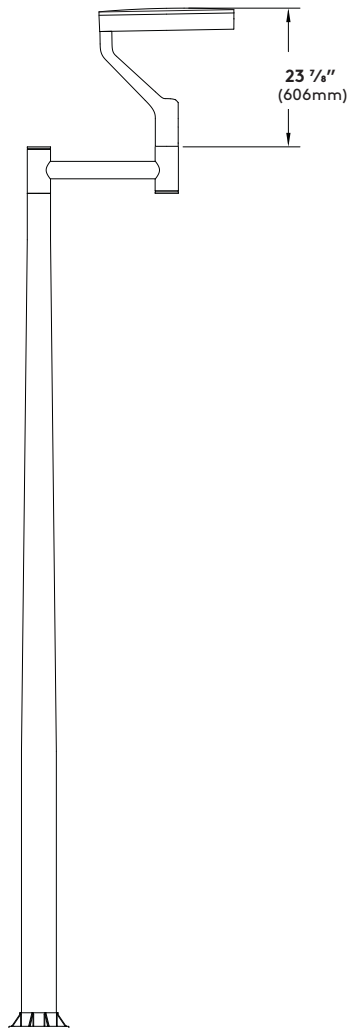
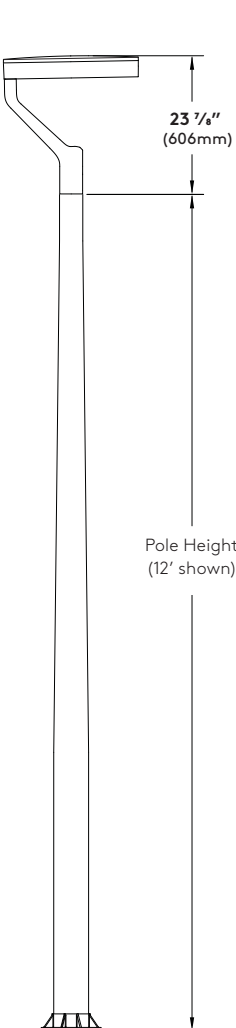
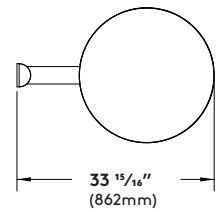
Weight = 48lbs. (21.8kg)

AST 2

Wall

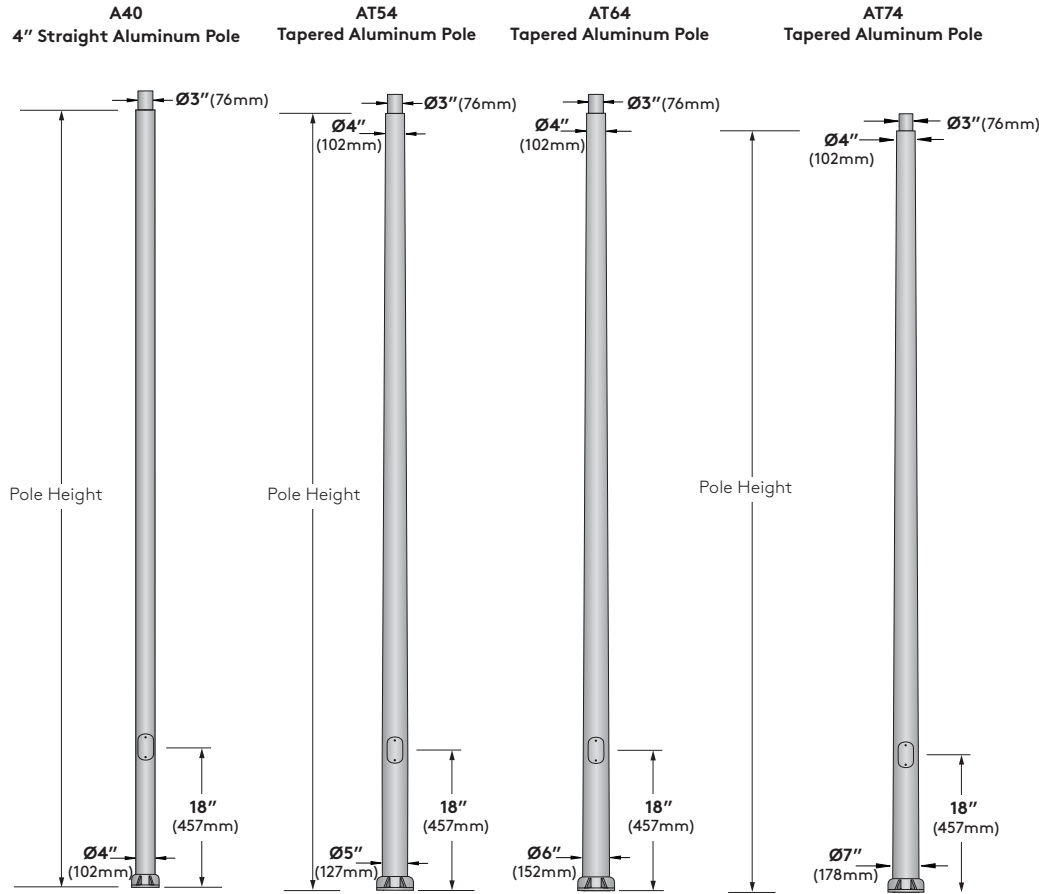
EPA = 3.7ft² (0.34m²)

Weight = 52lbs. (23.6kg)



Pole Information

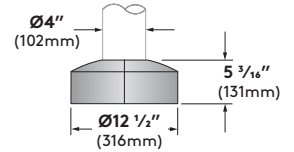
Refer to pole specification sheets for construction details, anchorage information and additional options.



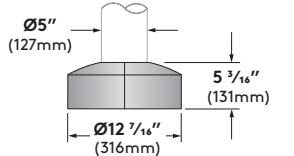
Optional Base Covers for Poles

Die cast aluminum, two-piece field installable base covers.

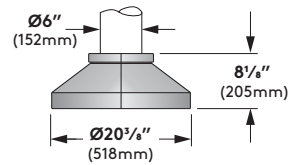
BC13 (A40)



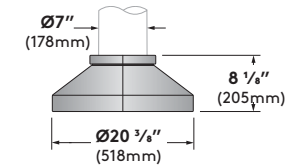
BC3 (AT54)



BC9 (AT64)



BC10 (AT74)



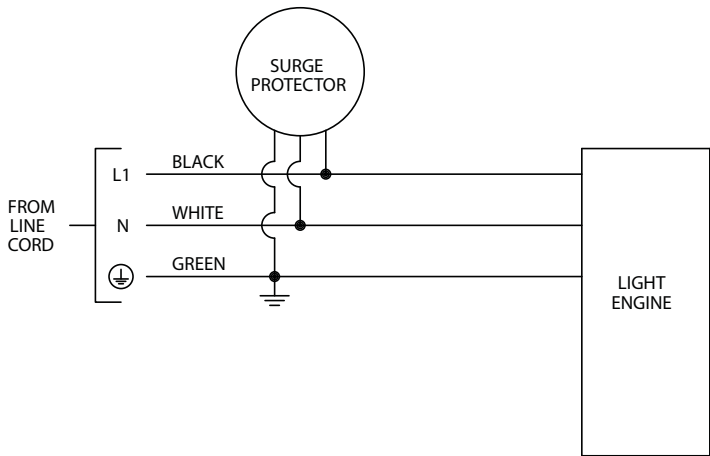
Pole Data Chart

Pole Series	Bolt Circle	EPA Information (ft ²)					Height	Finish	Options
		70mph	80mph	90mph	100mph	110mph			
A40 4" Diameter Straight Aluminum Pole	Ø7 1/2"	6.2	4.3	3.0	2.2	1.7	12 12 ft.	WH White	BC3 Die Cast Base Cover (AT54 pole only)
A40 4" Diameter Straight Aluminum Pole	Ø7 1/2"	4.6	3.0	1.9	1.2	0.9	14 14 ft.	BK Black	BC9 Die Cast Base Cover (AT64 pole only)
AT54 5" to 4" Diameter Tapered Aluminum Pole	Ø9 1/2"	18.5	13.7	10.5	8.4	6.8	12 12 ft.	BZ Bronze	BC10 Die Cast Base Cover (AT74 pole only)
AT54 5" to 4" Diameter Tapered Aluminum Pole	Ø9 1/2"	15.5	11.3	8.5	6.7	5.4	14 14 ft.	SV Silver	BC13 Die Cast Base Cover (A40 pole only)
AT54 5" to 4" Diameter Tapered Aluminum Pole	Ø9 1/2"	12.6	9.0	6.7	5.2	4.1	16 16 ft.	SP Specify Premium Color	REC GFCI Receptacle with weather-proof cover*
AT64 6" to 4" Diameter Tapered Aluminum Pole	Ø9 1/2"	20	20	16.3	13.1	10.7	12 12 ft.		REC2 GFCI Receptacle with weather-proof in-use cover
AT64 6" to 4" Diameter Tapered Aluminum Pole	Ø9 1/2"	20	17.7	13.7	10.9	8.9	14 14 ft.		T30 3" Tenon required for all poles
AT64 6" to 4" Diameter Tapered Aluminum Pole	Ø9 1/2"	19	14.1	10.8	8.6	7.0	16 16 ft.		
AT74 7" to 4" Tapered Aluminum Pole	Ø10 9/16"	20	17.7	13.7	10.9	8.8	18 18 ft.		
AT74 7" to 4" Tapered Aluminum Pole	Ø10 9/16"	20	14.9	11.4	9.0	7.3	20 20 ft.		
AT74 7" to 4" Tapered Aluminum Pole	Ø10 9/16"	14.8	10.5	7.8	6.0	4.7	24 24 ft.		

Allowable EPA calculated according to AASHTO 1994 and include allowance for 1/3 gust factor. See Mounting Configuration pages for fixture arm weight and EPA values.

Wiring

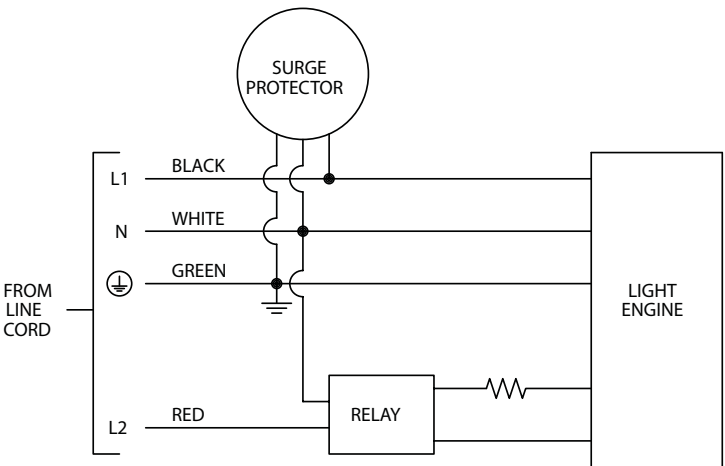
Standard Single Wiring



Hi-Lo Switching Option (HL) Wiring

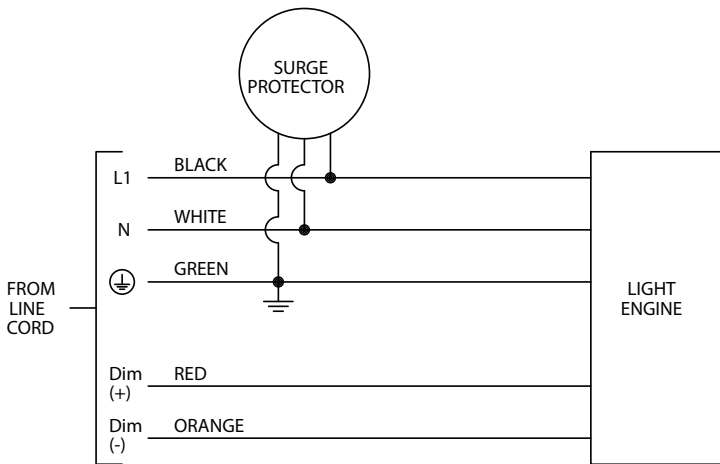
LG4700 and LG4105, 120V, 240V, 277V. When red is energized, light output will be at "Lo" level. Specify low level by using one of the 3 levels listed below (i.e. HL70, HL50 and HL33). For other combinations, consult factory.

Standard HL levels	LG4105	LG4700
HL70 = low output 70%	X	X
HL50 = low output 50%	X	X
HL33 = low output 33%	X	X

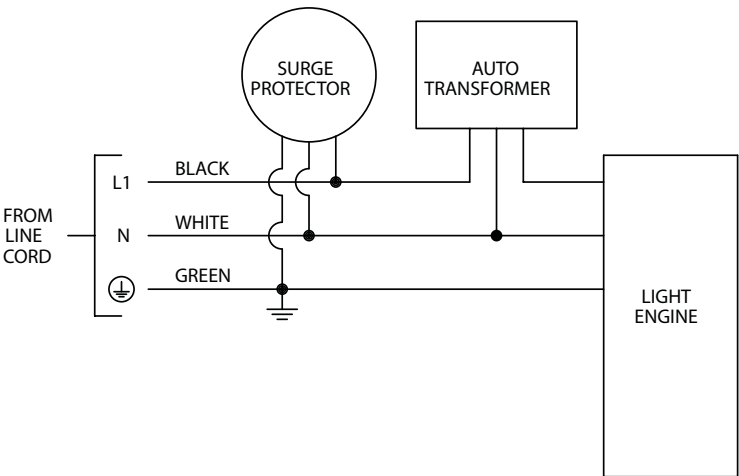


0-10V Dimming Option (DM) Wiring and Dynadim (DMY)

LG4700 and LG4105, 120-277V. (347V and 480V available with step-down transformer.



347/480 V

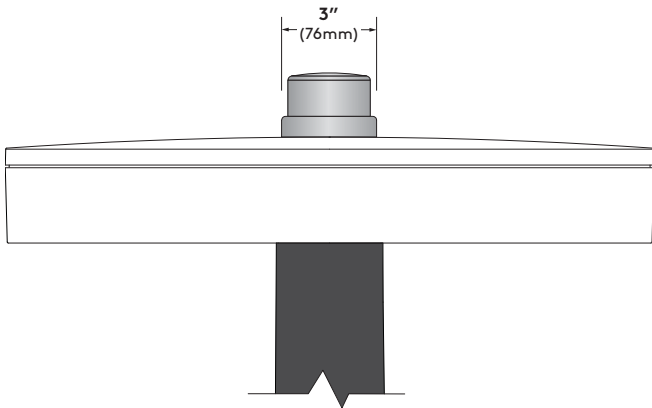


Optional Accessories

Dynadim (DMY) - Please refer to the Dynadim Option Form (includes a link to the Philips® Design-In Guide) on the Selux [Astro webpage](#) under Additional Downloads.

House Shield (HS) - 180° external house shield reduces light levels to <0.1 FC at approx. one mounting height behind luminaire.

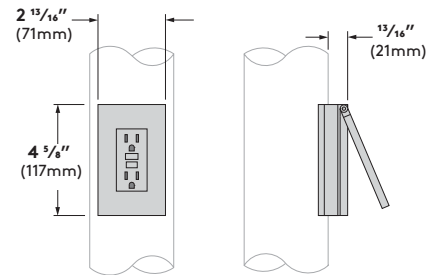
Twist Lock Photocell (PC) - Twist lock photocell provides automated on/off function based on ambient light.



Single Fusing (FS) - Single inline fuse holder, shipped separately for infield installation behind hand hole (by others). Available up to 277V.

No Uplight Finish (DS) - Single and double arm casting painted matte black to avoid light pollution from reflected light. Used for IDA approved dark sky friendly option.

GFCI Receptacle (REC) - GFCI duplex receptacle with cast base bolted to pole and gasketed, provided with weather-proof, self-closing cover; located 36" (915mm) from base of pole, inline with handhole. Receptacle is intended only for portable tools or other portable equipment to be connected to outlet only when attended by operating personnel (120V only).



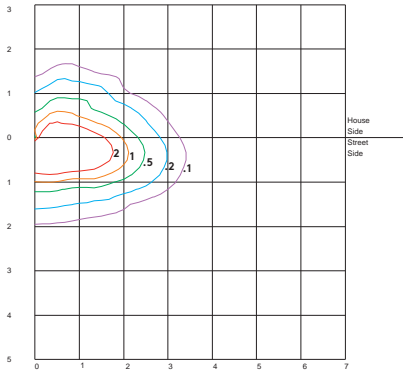
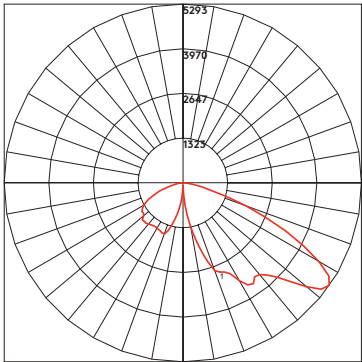
Conversion Chart	
Values based on 16' (4.9 m) mounting height	
Mounting Height	Multiply
12' (3.7 m)	1.16
14' (4.3 m)	1.07
16' (4.9 m)	1.00
18' (5.5 m)	0.94
20' (6.1 m)	0.89
24' (7.3 m)	0.81

LED Information	Neutral White (5000K), Type V (R5)		
	LG4500	LG4700	LG4105
Delivered Lumens (lm)	4,911	6,417	8,365
Wattage (W)	50	65	102
Efficacy (lm/W)	98	99	82

R1 Optics / 65W LED / 5000K CCT

Catalog #: AST1-1-LG4700-R1-50-120-DS
Delivered Lumens: 6057
Input Watts: 65W
Efficacy: 93 lm/W
CRI: >80
Maximum candela of 5293 at 55° from vertical.
IES classification - Type I
Mounting Height = 16' (4.9 m)
B1-U0-G1
Power Factor: .98
Total Harmonic Distortion: .48%

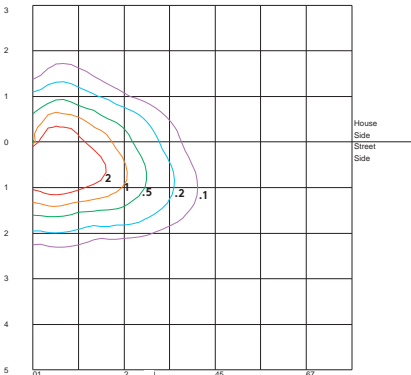
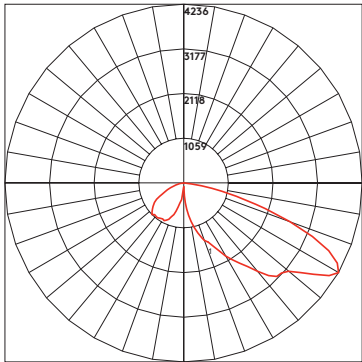
[Link to photometry \(PDF\)](#)
[Link to photometry \(IES\)](#)



R2 Optics / 65W LED / 5000K CCT

Catalog #: AST1-1-LG4700-R2-50-120-DS
Delivered Lumens: 6086
Input Watts: 65W
Efficacy: 94 lm/W
CRI: >80
Maximum candela of 4236 at 60° from vertical.
IES classification - Type II
Mounting Height = 16' (4.9 m)
B1-U0-G1
Power Factor: .98
Total Harmonic Distortion: .48%

[Link to photometry \(PDF\)](#)
[Link to photometry \(IES\)](#)



R3 Optics / 65W LED / 5000K CCT

Catalog #: AST1-1-LG4700-R3-50-120-DS

Delivered Lumens: 5835

Input Watts: 65W

Efficacy: 90 lm/W

CRI: >80

Maximum candela of 3243 at 62.5° from vertical.

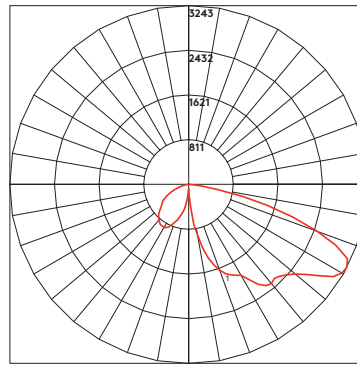
IES classification - Type III

Mounting Height = 16' (4.9 m)

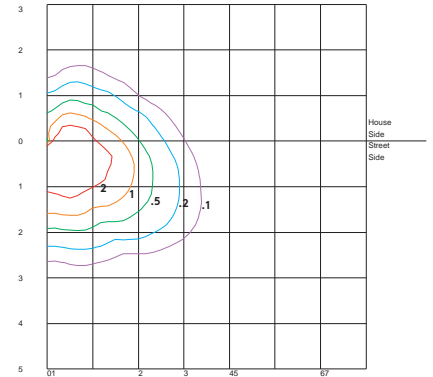
B1-U0-G1

Power Factor: .98

Total Harmonic Distortion: .46%

[Link to photometry \(PDF\)](#)[Link to photometry \(IES\)](#)

Maximum Candela = 3242.739 Located At Horizontal Angle = 60, Vertical Angle = 62.5
 # 1 - Vertical Plane Through Horizontal Angles (60 - 240) (Through Max. Cd.)



R5 Optics / 65W LED / 5000K CCT

Catalog #: AST1-1-LG4700-R5-50-120-DS

Delivered Lumens: 6417

Input Watts: 65W

Efficacy: 99 lm/W

CRI: >80

Maximum candela of 3076 at 65° from vertical.

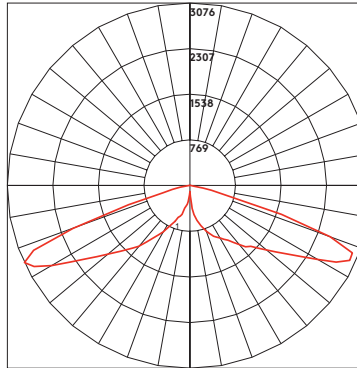
IES classification - Type V

Mounting Height = 16' (4.9 m)

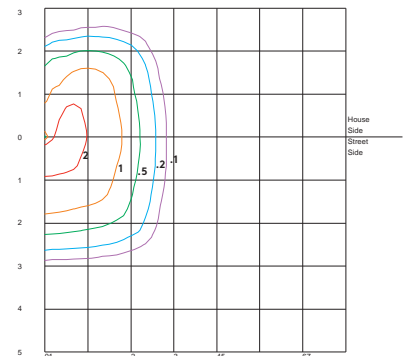
B3-U1-G3

Power Factor: .98

Total Harmonic Distortion: .45%

[Link to photometry \(PDF\)](#)[Link to photometry \(IES\)](#)

Maximum Candela = 3075.873 Located At Horizontal Angle = 135, Vertical Angle = 65
 # 1 - Vertical Plane Through Horizontal Angles (135 - 315) (Through Max. Cd.)



LED lighting facts
 A Program of the U.S. DOE

Light Output (Lumens)	7731
Watts	102.5
Lumens per Watt (Efficacy)	75.4

Color Accuracy	81
Color Rendering Index (CRI)	

Light Color
 Correlated Color Temperature (CCT) 3150 (Bright White)

2700K 3000K 3500K 4000K 4500K 5000K

LED Lumen Maintenance Projection at 50,000 Hours at 75°C Ambient* 93.04%

Warranty** Yes

All results, except LED Lumen Maintenance, are according to IESNA LM-79-2008. Approved Method for the Electrical and Photometric Testing of Solid-State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

* Based on TM-21 projections for the light source.
 ** See www.lightingfacts.com/products for details.

Registration Number: WY2A-HJ18SF (7/8/2016)
 Model Number: AST1-1-LG4105-R5-35-125-DS
 Type: Luminaire - Area/Roadway



Mobil

Tim Hortons

Douglas Cleaners

Brogan & Partners

MASQ beauty

Google

Rouge River

Woodward Ave

Oak Ave

Woodward Ave

Woodward Ave

Woodward Ave

Woodward Ave

Woodward Ave

Woodward Ave

Oak Ave

Oak Ave

Oak Ave

N Old Woodward Ave

N Old Woodward Ave



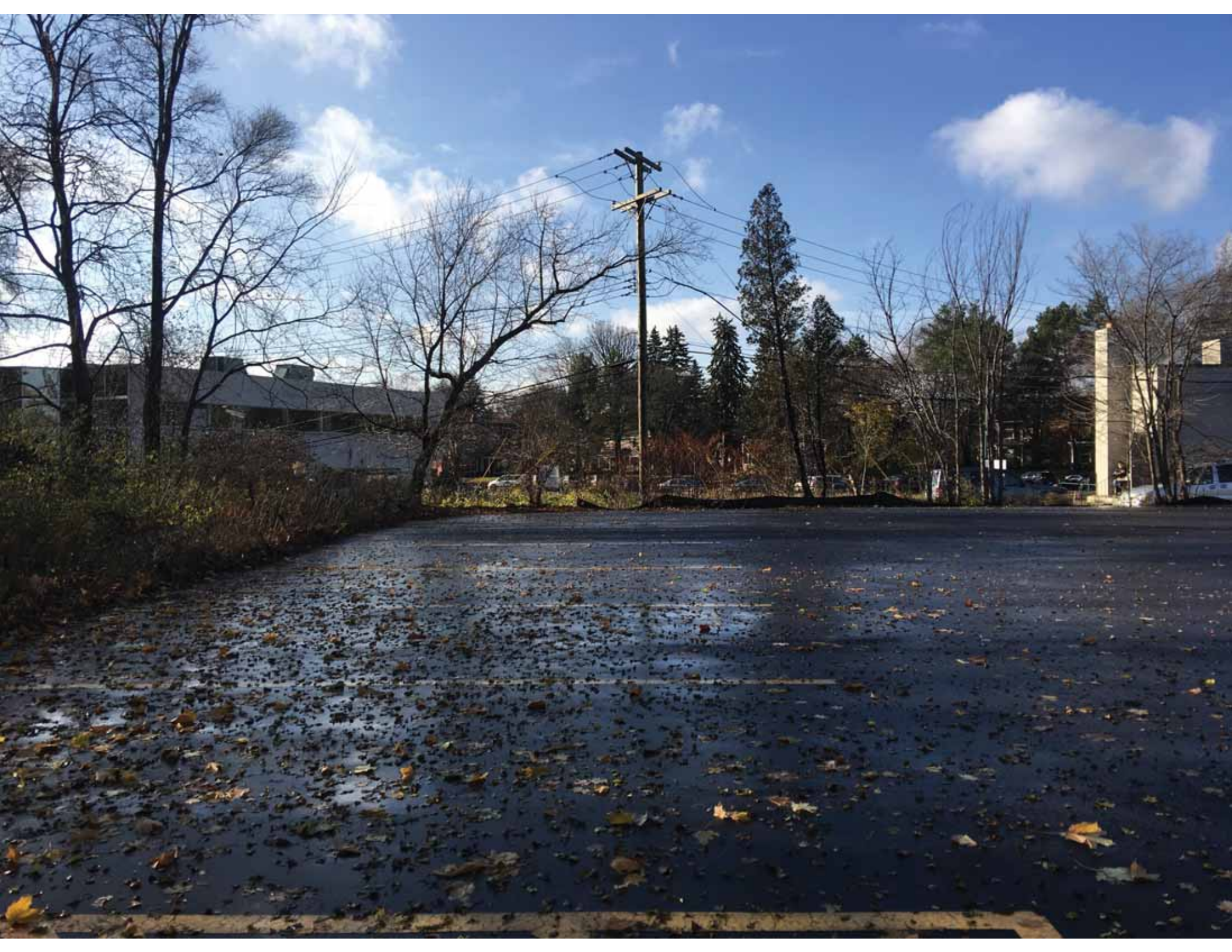




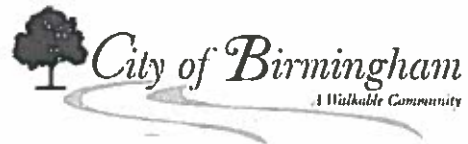
CORE
UNDER CONTRACT
SALE
248.35
www.core.com

NO PARKING
ANYTIME
ON THIS STREET
OR IN THIS LOT
EXCEPT AS SHOWN
ON THIS SIGN









Administrative Approval Application Planning Division

Form will not be processed until it is completely filled out

1. Applicant

Name: ZIFIT BIRMINGHAM LLC
 Address: 3410 WOODWARD AVENUE
BIRMINGHAM MI 48009
 Phone Number: 313-942-9900
 Fax Number: _____
 Email: ALLIEMALLADI@GMAIL.COM

Property Owner

Name: COLE BUSINESS CENTER IV, LLC
 Address: C/O ATESIAN PROPERTIES, INC.
780 W. MAPLE RD. STE. B, TROY,
 Phone Number: 248-362-2870
 Fax Number: 248-362-3011
 Email: office@atesian.net & darren@atesian.net

2. Applicant's Attorney/Contact Person

Name: ALLIE MALLAD
 Address: 3410 WOODWARD AVENUE
BIRMINGHAM MI 48009
 Phone Number: 313-942-9900
 Fax Number: _____
 Email: ALLIEMALLADI@GMAIL.COM

Project Designer

Name: FORESTA ARCHITECT
 Address: 9430 GENERAL DRIVE
PLYMOUTH MI 48170
 Phone Number: 248-471-2900
 Fax Number: _____
 Email: _____

3. Project Information

Address/Location of Property: 2254 COLE ST. STE. E.
BIRMINGHAM MI 48009
 Name of Development: COLE IV
 Parcel ID #: 08-20-31-252-007
 Current Use: OFFICE
 Area in Acres: _____
 Current Zoning: MIXED USE

Name of Historic District site is in, if any: N/A
 Date of HDC Approval, if any: N/A
 Date of Application for Preliminary Site Plan: _____
 Date of Preliminary Site Plan Approval: _____
 Date of Application for Final Site Plan: _____
 Date of Final Site Plan Approval: _____
 Date of Revised Final Site Plan Approval: _____

4. Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples
- Digital Copy of plans
- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations

5. Details of the Request for Administrative Approval

APPROVAL FOR 6400 SF FITNESS STUDIO WITH MASSAGE THERAPY.
RENOVATE PARKING LOT

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: Allie T. Mallad

Date: 11-21-2016

Application #: 16-141

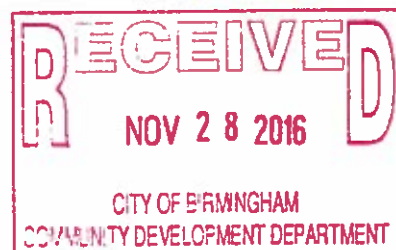
Office Use Only
 Date Received: 11/28/16

Fee: \$100

Date of Approval: _____

Date of Denial: 12/28/16

Reviewed by: M. B. h



133600



CONSENT OF PROPERTY OWNER

DARREN ATESIAN FOR
1. COLE BUSINESS CENTER IV, LLC, OF THE STATE OF MICHIGAN AND COUNTY OF
(Name of property owner)

OAKLAND STATE THE FOLLOWING:

1. That I am the owner of real estate located at 2254 COLE STREET BIRMINGHAM;
(Address of affected property)
2. That I have read and examined the Application for Administrative Approval made to the City of Birmingham by:

(Name of applicant);

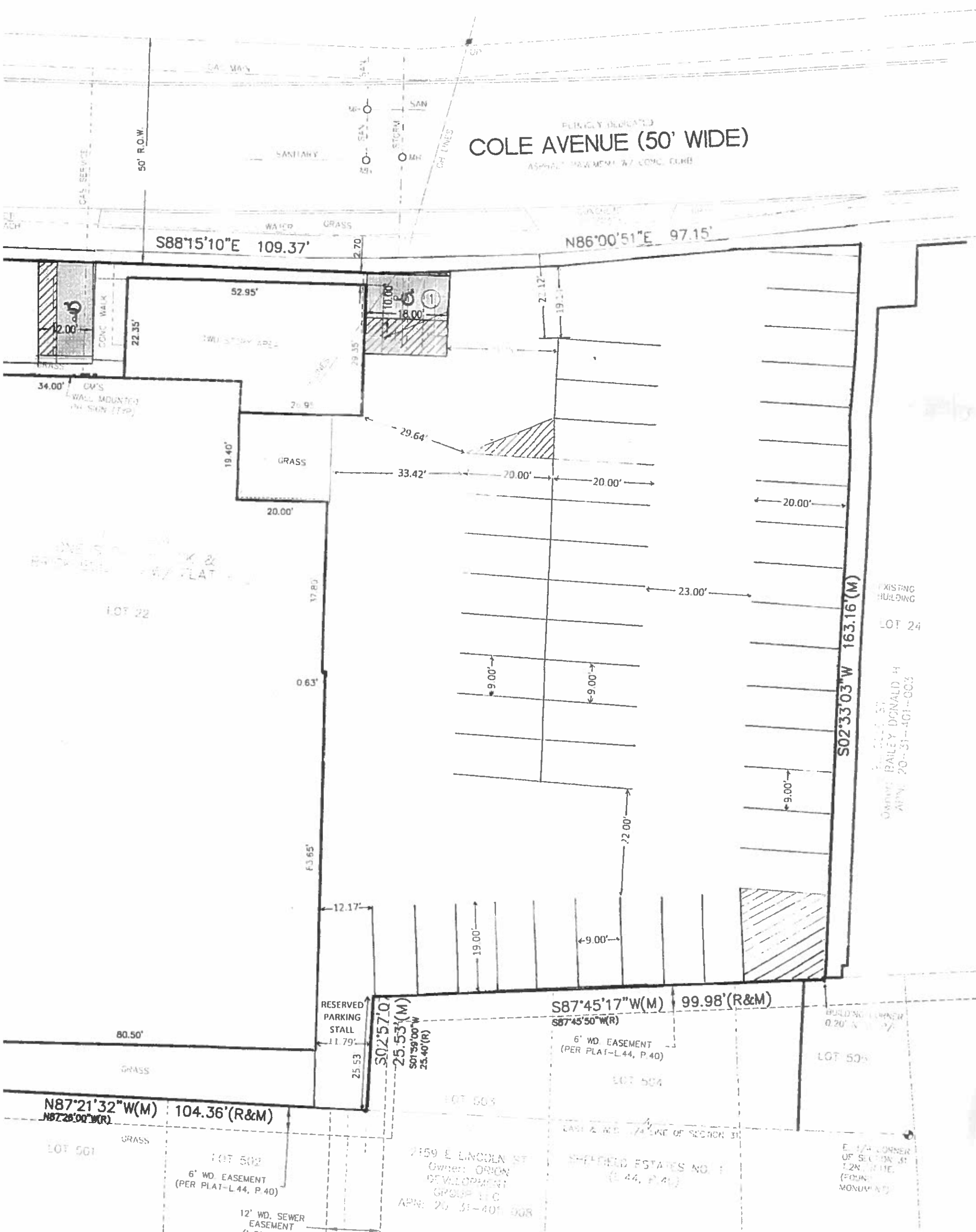
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

Dated: 11/21/16

COLE BUSINESS CENTER IV, LLC
BY: DARREN ATESIAN, ITS MEMBER
Owner's Name (Please Print)

[Signature]
Owner's Signature

PERMANENTLY DEDICATED
COLE AVENUE (50' WIDE)
ASPHALT PAVEMENT W/ CONC. CURB



S88°15'10"E 109.37'

N86°00'51"E 97.15'

S02°33'03"W 163.16'(M)

S87°45'17"W(M) 99.98'(R&M)
S87°45'50"W(R)

N87°21'32"W(M) 104.36'(R&M)
N87°28'00"W(R)

2159 E LINCOLN ST
Owner: ORION
DEVELOPMENT
GROUP LLC
APN: 20-31-401-008

SHEPHERD ESTATES NO. 1
(L 44, P 40)

E 1/4 CORNER
OF SECTION 31
12N 11E
(FOUND
MONUMENT)

EXISTING
BUILDING
LOT 24
Owner: BAILEY DONALD H
APN: 20-31-401-003

LOT 502
6' WD. EASEMENT
(PER PLAT-L 44, P 40)

12' WD. SEWER
EASEMENT

6' WD. EASEMENT
(PER PLAT-L 44, P 40)

BUILDING CORNER
0.20' N 11E

LOT 505

LOT 504

LOT 503

LOT 501

GRASS

GRASS

F3.65'

0.63'

17.80'

20.00'

19.40'

GRASS

20.95'

2ND STORY AREA

52.95'

22.35'

CONC WALK

12.00'

34.00' CM'S
WALL MOUNTED
ON SIGN (TYP)

RESERVED
PARKING
STALL
11.79'

25.53'

S02°57'0"
25.53'(M)
S01°59'00"W
25.40'(R)

19.00'

9.00'

22.00'

9.00'

9.00'

20.00'

20.00'

33.42'

29.64'

22.12'

19.12'

2.70'

WATER GRASS

SANITARY

STORM

CH LINES

SAN

SAN

SAN

SA MAIN

50' R.O.W.

C&S SERVICE

ACH