

**REGULAR MEETING OF THE PLANNING BOARD**  
**WEDNESDAY, APRIL 25, 2018**  
**7:30 PM**  
**CITY COMMISSION ROOM**  
**151 MARTIN STREET, BIRMINGHAM**

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- A. Roll Call
- B. Chairpersons' Comments
- C. Approval of the minutes of **April 11, 2018**
- D. Review of the Agenda
  
- E. Unfinished Business –Special Land Use Permit Amendment & Final Site Plan & Design Review
  - 1. **33588 (Shell Gas Station / Dunkin Donuts)** – Request for approval of a Revised Final Site Plan & Design to allow for construction of small addition for a restroom and new signage (**Postponed from April 11, 2018**).
  
- F. Special Land Use Permits
  - 1. **191 N. Chester – Office Building (formerly Church of Christ, Scientist)** – Application for Special Land Use Permit to allow renovation and expansion to the existing building for office use over 3000 sq.ft. in size.
  - 2. **209 Hamilton – Emagine Theater (Palladium Building)** – Request for a Special Land Use Permit Amendment for closure of Four Story Burger and installation of a private viewing theater room.
  
- G. Final Site Plan Reviews
  - 1. **191 N. Chester – Office Building (formerly Church of Christ, Scientist)** – Request for approval of Community Impact Study and Final Site Plan & Design Review to allow renovation and expansion to the existing building for office use over 3000 sq.ft. in size.
  - 2. **209 Hamilton – Emagine Theater (Palladium Building)** – Request for Final Site Plan & Design Review for closure of Four Story Burger and installation of a private viewing theater room.
  - 3. **2007 Hazel – Crosswinds Development** – Request for Final Site Plan & Design Review approval of a two story multi-level deck on the rear of the unit (**Withdrawn**).
  - 4. **1268 Bennaville – Parking Lot (existing lot)** – Request for Final Site Plan & Design Review to reconfigure existing parking lot to add spaces.
  
- H. Miscellaneous Business and Communications:
  - a. Communications
  - b. **Administrative Approval** Correspondence
  - c. Draft Agenda for the next Regular Planning Board Meeting (**May 9, 2018**)
  - d. Other Business
  
- I. Planning Division Action Items
  - a. Staff Report on Previous Requests
  - b. Additional Items from tonight's meeting
  
- J. Adjournment

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**CITY OF BIRMINGHAM  
PLANNING BOARD ACTION ITEMS  
OF WEDNESDAY, APRIL 11, 2018**

Item	Page
<b>PUBLIC HEARING</b>	
<b>1. AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE OF THE CITY OF BIRMINGHAM:</b>	<b>2</b>
<b>Motion by Mr. Williams</b>	<b>4</b>
<b>Seconded by Mr. Share to recommend approval of the proposed ordinance amendments to the City Commission with the changes outlined tonight.</b>	
<b>Motion carried, 7-0.</b>	<b>4</b>
<b>FINAL SITE PLAN AND DESIGN REVIEW SPECIAL LAND USE PERMIT ("SLUP")</b>	
<b>1. 33588 Woodward Ave. Shell Gas Station</b>	<b>4</b>
<b>Motion by Mr. Williams</b>	
<b>Seconded by Mr. Boyle to postpone consideration of 33588 Woodward Ave., Birmingham Shell, to April 25, 2018.</b>	<b>5</b>
<b>Motion carried, 7-0.</b>	<b>5</b>
<b>Motion by Mr. Williams</b>	
<b>Seconded by Mr. Koseck to suspend the rules for the Planning Board meeting of April 25th to consider more than five items.</b>	<b>6</b>
<b>Motion carried, 7-0.</b>	<b>6</b>

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**CITY OF BIRMINGHAM  
REGULAR MEETING OF THE PLANNING BOARD  
WEDNESDAY, APRIL 11, 2018  
City Commission Room  
151 Martin Street, Birmingham, Michigan**

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Minutes of the regular meeting of the City of Birmingham Planning Board held on March 28, 2018. Chairman Scott Clein convened the meeting at 7:30 p.m.

**Present:** Chairman Scott Clein; Board Members Robin Boyle, Stuart Jeffares, Bert Koseck, Janelle Whipple-Boyce, Bryan Williams; Alternate Board Member Daniel Share; Student Representative Ellie McElroy (arrived at 8:35 p.m.)

**Also Present:**

**Absent:** Alternate Board Member Nasseen Ramin; Student Representatives Madison Dominato, Sam Fogel

**Administration:** Brooks Cowan, Planner  
Jana Ecker, Planning Director  
Carole Salutes, Recording Secretary

**04-53-18**

**APPROVAL OF THE MINUTES OF THE REGULAR PLANNING BOARD MEETING OF MARCH 14, 2018**

**Motion by Mr. Boyle  
Seconded by Mr. Share to approve the Minutes of the Regular Planning Board Meeting of March 14, 2018 as presented.**

**Motion carried, 7-0.**

VOICE VOTE

Yeas: Boyle, Share, Clein, Jeffares, Koseck, Whipple-Boyce, Williams

Nays: None

Absent: None

**04-54-18**

**APPROVAL OF THE MINUTES OF THE REGULAR PLANNING BOARD MEETING OF MARCH 28, 2018**

Mr. Share corrected the following:

Page 3 - Third paragraph, change "well-healed" to "well heeled."

Page 5 - Second paragraph, fifth line, change "parameter" to "perimeter."

**Motion by Mr. Share**

**Seconded by Mr. Williams to approve the minutes of the Regular Planning Board Meeting of March 28, 2018 with those changes.**

**Motion carried, 7-0.**

VOICE VOTE

Yeas: Share, Williams, Boyle, Clein, Jeffares, Koseck, Williams

Nays: None

Absent: None

**04-55-18**

**CHAIRPERSON'S COMMENTS** (none)

**04-56-18**

**APPROVAL OF THE AGENDA** (no change)

**04-57-18**

**PUBLIC HEARING**

**1. AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE OF THE CITY OF BIRMINGHAM:**

TO AMEND SECTION 3.04, SPECIFIC STANDARDS, BUILDING USE, TO AMEND THE CONDITIONS OF THE BISTRO SPECIAL LAND USE PERMIT.

AND

TO AMEND SECTION 5.06, O1 – OFFICE DISTRICT, SPECIFIC STANDARDS, BUILDING USE, TO AMEND THE CONDITIONS OF THE BISTRO SPECIAL LAND USE PERMIT.

AND

TO AMEND SECTION 5.07, O2 – OFFICE DISTRICT, SPECIFIC STANDARDS, BUILDING USE, TO AMEND THE CONDITIONS OF THE BISTRO SPECIAL LAND USE PERMIT.

AND

TO AMEND SECTION 5.08, P – PARKING DISTRICT, SPECIFIC STANDARDS, BUILDING USE, TO AMEND THE CONDITIONS OF THE BISTRO SPECIAL LAND USE PERMIT.

AND

TO AMEND SECTION 5.10, B2 – GENERAL BUSINESS DISTRICT, B2B – GENERAL BUSINESS DISTRICT, B2C – GENERAL BUSINESS DISTRICT, SPECIFIC STANDARDS, BUILDING USE, TO AMEND THE CONDITIONS OF THE BISTRO SPECIAL LAND USE PERMIT.

AND

TO AMEND SECTION 5.11, B3 – OFFICE-RESIDENTIAL DISTRICT, SPECIFIC STANDARDS, BUILDING USE, TO AMEND THE CONDITIONS OF THE BISTRO SPECIAL LAND USE PERMIT.

AND

TO AMEND SECTION 5.12, B4 – BUSINESS-RESIDENTIAL DISTRICT, SPECIFIC STANDARDS, BUILDING USE, TO AMEND THE CONDITIONS OF THE BISTRO SPECIAL LAND USE PERMIT.

AND

TO AMEND SECTION 5.13, MX – MIXED USE DISTRICT, SPECIFIC STANDARDS, BUILDING USE, TO AMEND THE CONDITIONS OF THE BISTRO SPECIAL LAND USE PERMIT.



AND  
TO AMEND SECTION 9.02, DEFINITIONS: BISTRO.

The Chairman opened the public hearing at 7:34 p.m.

Ms. Ecker recalled the board has been talking about the bistro regulations for almost a year. At a joint City Commission/Planning Board on June 19, 2017 several issues came up that the Commission asked the Planning Board to look at. So, over the past several months the board has been studying this and they have agreed upon language and brought it to a public hearing tonight.

Primarily the changes were to set up two different types of bistros, keeping the standards for the number of interior seats and number of seats at the bar the same for Downtown because they are in the Parking Assessment District and there isn't an excessive amount of parking. Also, creating another section for bistros in the Rail District and Triangle District that would allow a greater number of interior seats and a greater number of seats at the bar, given the fact that they couldn't do that unless they provided the required parking.

Several other changes were made:

- Enclosures facilitating year-around dining are not permitted;
- At the suggestion of the Building Official, railings, platforms or similar barriers should not exceed 42 in. in height;
- The Building Official also suggested that the word "enclosed" be taken out and replaced with "defined" when talking about an elevated ADA compliant enclosed platform.
- The bistro standards are proposed to be added in the MX District.
- Language was added to the existing regulations with regard to the B-3 and B-4 standards on bistros: "No direct connect additional bar permit is allowed and the maximum seating at a bar cannot exceed 10 seats in the Downtown Overlay District, or 15 seats in the Triangle District and Rail District."

Board members were in agreement with the changes.

**Motion by Mr. Williams**

**Seconded by Mr. Share to recommend approval of the proposed ordinance amendments to the City Commission with the changes outlined tonight.**

**Motion carried, 7-0.**

VOICE VOTE

Yeas: Williams, Share, Boyle, Jeffares, Koseck, Whipple-Boyce, Williams

Nays: None

Absent: None

The public hearing closed at 7:40 p.m.

**FINAL SITE PLAN AND DESIGN REVIEW  
SPECIAL LAND USE PERMIT ("SLUP")**

**1. 33588 Woodward Ave.  
Shell Gas Station**

Ms. Ecker explained the 0.34 acre subject site is located at the corner of Woodward Ave. and Chapin. The applicant is seeking a SLUP Amendment to relocate the restroom within the building, which will include a small 79 sq. ft. addition at the southwestern portion of the building, facing the parking lot. The addition will displace the ice and propane storage machines, which are proposed to be relocated to the side of the building, adjacent to the rear parking area.

On January 24, 2018 the application was reviewed by the Planning Board for the addition of a new restroom and new signage. However it bumped out in the front and cut into the pedestrian walk along the front of the store. The Planning Board recommended approval of the SLUP amendment to the City Commission with the condition that they make modifications to the site that would address the walking path along the front to the Commission's satisfaction.

However, the applicant had not yet devised a solution to the issue by the time they reached the City Commission for the public hearing. At that time, the City Commission voted to send the applicant back to the Planning Board to resolve the issue so that the Commission could review a complete plan that would not be subject to further change after the public hearing. Accordingly, the applicant has now submitted a new plan that meets ADA standards and proposes to apply blue paint striping to the area that leads from the handicapped space to the front entrance of the building. That is the only thing that has changed since the last time the applicant was before this board.

However, Ms. Ecker did not think this is what the Commission had in mind. She thought they wanted a final plan that would bump out the sidewalk and create a raised pedestrian path separate from the parking lot.

Chairman Klein was concerned that the sidewalk terminates directly in the flair of the ramp and the flair is not an accessible route. Therefore, the route doesn't get a person to the door. Also, there are no dimensions related to the barrier-free space. He doesn't think the plan is adequate or that it meets Code. Further, he has serious concerns about the ice and propane storage location with no details or dimensions of the parking space.

Ms. Ecker noted that one of the comments the Planning Dept. had is that it is very common for people to pull up along the curb, park there, and run into the store. The path doesn't really stop them from doing that. Therefore, the path may be blocked by a parked car.

Mr. Chris Barbat, the business owner, addressed the board's concerns:

- The striping is not adequate even though it meets Code. He proposed stamped concrete in a different color and a ramp from the parking spot to the stamped concrete area.
- In terms of the propane and ice storage, they complied with having each one of the boxes 4 ft. in height. They moved them to the current location which isn't a good idea because it is a walkway from the alley. He suggested moving them behind the fence which is out of site,

does not obstruct vehicle doors opening and closing, and opens up the whole pathway to the rear of the building.

Mr. Koseck thought whether the path is striped or stamped concrete, people will be parking there. A curb would define the area. However, Mr. Barbat was concerned that a curb would prevent cars from turning to go north. They might have to stop, reverse, and go back around. Chairman Clein stated he does not want to see cars driving through the striping and he doesn't want to see cars parked there; it is for pedestrians, particularly pedestrians that are facing physical challenges.

Mr. Jeffares noted there is an area in front of the building that goes down to 2 ft., which is too narrow. It could be made 3 ft. or so by adding extra concrete. Chairman Clein agreed and it is less money for the applicant. He wanted to see that change and also confirmation that they are showing the proper striping for the barrier-free spaces and that they are in compliance.

**Motion by Mr. Williams**

**Seconded by Mr. Boyle to postpone consideration of 33588 Woodward Ave., Birmingham Shell, to April 25, 2018.**

**Motion carried, 7-0.**

**VOICE VOTE**

Yeas: Williams, Boyle, Clein, Jeffares, Koseck, Share, Whipple-Boyce

Nays: None

Absent: None

**Motion by Mr. Williams**

**Seconded by Mr. Koseck to suspend the rules for the Planning Board meeting of April 25th to consider more than five items.**

**Motion carried, 7-0.**

**VOICE VOTE**

Yeas: Williams, Koseck, Boyle, Clein, Jeffares, Share, Whipple-Boyce

Nays: None

Absent: None

**04-59-18**

**STUDY SESSION**

**1. Review Process for Renovation/Reconstruction Projects**

Mr. Cowan advised that currently there are three boards that review proposed modifications to buildings: the Planning Board, the Design Review Board ("DRB"), and the Historic District Commission ("HDC").

Issue:

The Zoning Ordinance establishes the review process for new construction and renovation of existing buildings. However, the Zoning Ordinance is not clear as to the extent an existing

building can be renovated before it is deemed new construction, and the ordinance is not clear as to what specific changes trigger Site Plan Review.

After several study sessions, on January 10, 2018 the Planning Board reached a general consensus on commercial construction and renovation standards that would require Site Plan Approval. They arranged the wording of the ordinance to portray the proposed changes in a concise manner.

Planning Staff considered recent suggestions and then divided construction into three categories: historic, new, and expansions/alterations. This specifies requirements for each type of construction, and having separate categories may provide for more efficient ordinance language amendments in the future. Upon further discussion staff agreed that a number four would be merited for the Design Review Board ("DRB").

Ms. Ecker added that number four does not exist in the current draft. it was added since the last meeting to state that if you are not historic, not new construction, and not going to the Planning Board or the Historic District Commission, you have to go to the DRB if you make exterior alterations to your building.

She recalled the review process was one of the items discussed at the joint Planning Board/City Commission last June.

Mr. Cowan went over comments that were made by the Building Official:

- Amend Article 07, section 7.25 Review (2) to read: "Site Plan Reviews by the Planning Board are required **for all new construction and additions to buildings** for the following types of developments . . . ."
- Amend Article 07, section 7.25 Review (3) to read: "Site Plan Reviews by the Planning Board are required for all expansions and/or alterations of buildings in the following types of **(re)**development, not including the addition of new interior mezzanines . . . ."

Responding to suggestions by the Chairman, Ms. Ecker removed "and the Planning Board" from Article 07, section 7.25 Review (1). For Article 07, section 7.25 Review (2) add "also" in front of "required." In Article 07, section 7.25 Review (3) add after "in" "as noted in number 2 above" or words to that effect.

It was discussed that this information might work in a chart form in addition to the printed material.

It was consensus to bring this matter back to the Planning Board study session on May 9th.

## 2. Downtown Birmingham Redline Retail District

Mr. Cowan noted that the City Commission and City Manager have directed the Planning Board to continue studying the issue of retail use in Downtown Birmingham.

On March 14, 2018 the retail report was presented relating to the requested information:

- The Downtown core is predominantly retail goods with increases in retail services, offices, and medical uses in the outer sections of the Redline Retail District;
- Buildings less suitable were generally located along N. Old Woodward Ave. and Brown St.
- Approximately 75% of the stores in the Redline Retail District are within a quarter mile of the intersection of Old Woodward Ave. and Maple Rd.

Responding to that, the Planning Board requested a map of parking data, especially metered parking. Mr. Cowan stated that he found the tenant spaces around the intersection of Old Woodward Ave. and Maple Rd. as well as Pierce and Maple Rd. had the highest number of about 740 to 760 metered spaces. The area around N. Old Woodward Ave. had 200 or so metered spaces.

A conversation with Ms. Ingrid Tighe of the Birmingham Shopping District ("BSD") revealed that the BSD does not prioritize primary and secondary locations, nor do they do exit interviews. In terms of market studies, the BSD maintains a tenant table which categorizes their retailer types as well as monthly occupancy data. Their consultant, Buxton, categorizes the demographics of people within a 10, 15, and 20 minute drive- time radius. Basically, they are saying it is a well-to-do area. Birmingham has a nice, wealthy base to draw from so they should target high end retailers. Buxton's main objective according to their contract is to identify retail slippage and ideal tenants that match Birmingham's demographics.

Mr. Williams said the one thing he took from this is that if Birmingham is moving in the high end market, the high end market should be pretty strong for Birmingham in terms of growth.

Mr. Boyle suggested that the board needs to be looking at how the variables they are studying can change moving forward. Secondly, he noted the board knows a lot about our behavior, a lot about the behavior of the tenants; however they don't know much about the behavior of the building owners. What are they charging over time for their frontages in Birmingham and to what extent are they adapting to changing conditions.

Mr. Koseck noted that a lot of Birmingham's stock consists of older buildings and may not work for Class A high end retailers. Ms. Ecker advised the rental rates in Birmingham are less than on average than what is available for the same size space at Somerset Mall. However, Mr. Williams pointed out there is one big difference, and that is ease of access to the high end stores which is more difficult here. The biggest challenge that Birmingham has is the outlying areas that are within the Redline Retail District.

Mr. Jeffares advised that the thing about retail is that density is needed. At Somerset it is 100 percent retail and they have standard hours. Competition is tough and he wondered what can be done to improve the carrot for people. Look at some of the more creative things such as 20 ft. retail, mitigating the climate, and encouraging pop-ups.

Mr. Share focused on the Planning Board's tasks:

- To the extent that the N. and S. ends of Old Woodward Ave. aren't packed with retail, is there something that can be done to cause them to be retail or is it that there is not much demand down there.
- Try to figure out what might incentivize more retail frontage in outlying areas. This might include increasing the amount of allowable office if retail is allowed in the first 20 or 30 ft. of the main floor. He felt that there will be sufficient demand for the foreseeable future to maintain the cluster around the intersection of Old Woodward Ave. and Maple Rd.

Ms. McElroy also agreed with making the Redline Retail District smaller. She thought if the City would focus on getting more stores to fill in the main area, then the stores on the outskirts will become more necessary and bring more attention there in the future.

Ms. Ecker noted that from a planning perspective you generally see retail concentrated with other retailers and it continues out until there is some sort of a break in the streetscape or storefronts that deters pedestrians from continuing, such as parking lots, blank walls, lack of retail uses and similar lower levels of activity.

Ms. McElroy thought one of the goals for the outlying area might be to bring in a big company anchor store that is very well known and then filling up the rest of the space with smaller stores. so that when people go to the big store they then have a reason to walk around and look into the smaller retailers.

As to the direction from the City Commission and the City Manager, Ms. Ecker asked if there is some consensus that maybe the Red Line Retail Boundary needs to be shrunk or have a tiered system within it?

Mr. Boyle thought perhaps they should ask staff to bring back a chart that shows the constraints and opportunities within an existing Redline Area. If we shrink the Redline Retail District, what would happen in the areas that have been pulled out; and if we think some of those are undesirable potentials, what might we do to either avoid them or incentivize people to behave in that area in ways we are happy about?

Mr. Share said the question is whether there are resources around who can help us think that through. The name that comes to his mind is Robert Gibbs. Ms. Ecker observed they could ask some of the commercial brokers Downtown to come in and give an idea of what their typical clients are looking for when they are considering whether or not to locate in Birmingham.

Mr. Koseck stated that Taubman has full-time people who are experts in understanding how people behave and where they shop. He hoped the Planning Board could find a third-party independent who could help them. It is not going to be the broker because the City doesn't pay them. He advocated right sizing the Redline Retail District so that is smaller. The more successful that becomes the more it will force retailers into the areas beyond.

Mr. Jeffares noted they can't set rent rates, but there are things the Planning Board and the City Commission can do to try to ensure success. Otherwise in another ten years he fears they will have their second shrinking of the Redline District meeting.

Ms. McElroy said one thing to think about is what we want Birmingham to be like and how we want people to see Birmingham in the future. See if there is some sort of vibe of Birmingham that would make people want to come here. Make sure our plans align with our future goal.

Ms. Ecker said the next direction from the City Commission and the City Manager is to address the issue of what to do about existing buildings that may not be the best to support retail uses - exclude them or give them different rules.

Mr. Share observed the problem with the strip of office buildings on N. Old Woodward Ave. is that the first floor slopes, and it would be very expensive to put in glass. Geographically the area is very challenging.

Mr. Boyle thought maybe they should be taken out of the retail geography and allowed to flourish. Ms. McElroy said when she looks at the small stores or boutiques on the north end they look like office buildings. She thinks that is what prevents people from moving across to the other side of the road and seeing what they have to offer. Mr. Williams said in the summer there is a lot of foot traffic on the north side because of Booth Park and the Farmers Market. Board members agreed this strong little retail cluster does not have to be contiguous. Maybe there could be three areas of Retail District.

Ms. Whipple-Boyce observed there is not so much draw to want to be on the south end of Old Woodward Ave. With the right incentives, maybe something cool could happen there. Mr. Boyle thought a pop-up incubator area might be allowed in an area that needs a driver.

Mr. Cowan wondered if there is sufficient demand in Birmingham to have 3.25 miles of strictly retail. So in terms of tiers, determine where there is less demand for retail and allow a broader range of uses.

Ms. Ecker advised that another direction to the Planning Board is to evaluate whether to do a prohibition of desks, workstations and office related amenities placed within the first 20 ft. of depth of window frontage within the Retail District and recommend ordinance language to address the issue.

The issue that came up at the last study session is if there is the 20 ft. of depth for retail and people put office behind, (a) do we want to allow that, and (b) does the language need to be changed because the Overlay limits office to two floors?

Ms. Whipple-Boyce said the extra office use on the first floor allows an opportunity to activate the alleys and the extra amount of office space rewards the property owners.

The board was divided on whether the 20 ft. of retail could survive unless people have immediate access to the store. It was concluded that new ordinance language affecting the first 20 ft. of depth would not change what exists but it would affect the future. Maybe instead of 20 ft., it should be a percentage of the floor that can be activated for retail use.

Ms. Whipple-Boyce supported reaching out to the building owners and inviting them to these study sessions. Ask them who their tenants are.

Mr. Boyle suggested asking staff to bring in some ideas about how to adapt the Redline District in such a way that it addresses these points and maybe a checklist of what you get if you are in it and what you get if you are not in it, along with how can we change this. He thinks the City is doing the right thing on improvement of the street and on parking. The question is really about the actual ordinance that will maintain the premium shopping experience.

Mr. Cowan said moving forward they will talk about different boundaries and discuss at least three tiers, and then go over permissible uses.

Mr. Koseck said to investigate the uses that may not have existed when the 2016 Plan came about and whether the ordinance needs to be changed to accommodate them.

#### **04-61-18**

### **MISCELLANEOUS BUSINESS AND COMMUNICATIONS**

- a. Communications (none)
- b. Administrative Approval Requests
  - 877 S. Adams, Americorp Financial Center - Paint steel on exterior of building.
  - 566 Ann St., Roof-Mount Solar Array – Installation of a 8 kw Roof-Mounted Solar Photovoltaic System at the building. The proposed solar array will be ballasted, and occupy approximately 480 sq. ft.
- c. Draft Agenda for the next Regular Planning Board Meeting of April 25, 2018
  - Shell Gas Station, SLUP and Final Site Plan and Design Review;
  - Crosswinds, Final Site Plan Review for a rear deck;
  - Parking lot reconfiguration on Bennaville;
  - 191 N. Chester - Addition to the rear and SLUP;
  - Emagine Theater.
- d. Other Business (none)

#### **04-62-18**

### **PLANNING DIVISION ACTION ITEMS**

- a. Staff report on previous requests (none)  
Additional items from tonight's meeting (none)

#### **04-63-18**

### **ADJOURNMENT**

No further business being evident, the Chairman adjourned the meeting at 9:50 p.m.

Jana L. Ecker  
Planning Director





## MEMORANDUM

Planning Division

**DATE:** April 19, 2018

**TO:** Jana Ecker, Planning Director

**FROM:** Matthew Baka, Senior Planner

**SUBJECT:** 33588 Woodward Ave – Birmingham Shell  
Final Site Plan and Special Land Use Permit Amendment  
(changes in blue)

The 0.34 acre subject site, 33588 Woodward Avenue, is located at the corner of Woodward and Chapin. The applicant is seeking a Special Land Use Permit Amendment to relocate the bathroom within the building, which will include a small addition of square footage to the building. The total added area to the building is roughly 79 sq. ft. at the south-western portion of the building, facing the parking lot. The addition will displace the ice and propane storage machines, which are proposed to be relocated to the side of the building, adjacent to the rear parking area.

On January 24, 2018 the applicant was reviewed by the Planning Board for the addition of a new bathroom and new signage. The Planning Board recommended approval of the SLUP amendment to the City Commission with the condition that they make modifications to the site that would compensate for the lost pedestrian path that would be displaced by the addition along the front façade. However, the applicant had not yet devised a solution to the issue by the time they reached the City Commission for the public hearing. At that time the City Commission voted to send the applicant back to the Planning Board to resolve the issue so that they could review a complete plan that would not be subject to further change after the public hearing. Accordingly, the applicant has now submitted a new plan that proposes to apply blue paint striping to the area that leads from the handicapped space to the front entrance of the building.

**On April 11, 2018 the applicant appeared before the Planning Board for review of the proposed pedestrian path that consisted of blue striping along the edge of the raised sidewalk abutting the building. At that time the Planning Board postponed the review and instructed the applicant to revise the plans so the existing raised curb is extended and reestablishes a pedestrian walkway along the building as currently exists. The applicant has now submitted a revised site plan that indicates an expanded sidewalk with a curb in the area by the new bathroom.**

### 1.0 Land Use and Zoning

- 1.1 Existing Land Use – The land use at this parcel is commercial.
- 1.2 Zoning – The parcel is zoned B2-B, General Business.

- 1.3 Summary of Adjacent Land Use and Zoning - The following chart summarizes existing land use and zoning adjacent to and/or in the vicinity of the subject site, including the proposed 2016 Regulating Plan zones.

1.4

	North	South	East	West
<b>Existing Land Use</b>	Commercial	Commercial	Residential	Commercial
<b>Existing Zoning District</b>	B2-B, General Business	B2-B, General Business	R4, Two Family Residential	B2-B, General Business
<b>Downtown Overlay Zoning District</b>	N/A	N/A	N/A	N/A

## **2.0 Setback and Height Requirements**

Please see attached zoning compliance summary sheet for detailed setback and height requirements.

## **3.0 Screening and Landscaping**

- 3.1 Dumpster Screening – No changes proposed.
- 3.2 Parking Lot Screening – No changes proposed.
- 3.3 Mechanical Equipment Screening – No changes proposed.
- 3.4 Landscaping – No changes proposed.
- 3.5 Streetscape – No changes proposed.

## **4.0 Parking, Loading and Circulation**

- 4.1 Parking – No changes proposed.
- 4.2 Loading – No changes proposed.
- 4.3 Vehicular Circulation and Access – No changes proposed.

- 4.4 Pedestrian Circulation and Access – The proposed addition will displace the propane and bagged ice display units, and decrease the width of the current sidewalk along the front of the building where it will be located. The relocation of the propane and ice display units will decrease the sidewalk width significantly, but the applicant has not submitted dimensions for the two units. The proposed addition of the windshield washer fluid display will decrease the width of the sidewalk to 3 ft. 10 in. where it is proposed to be placed. **The applicant is now proposing to widen the raised sidewalk from the south end of the building across the front of the building to create a 5' walking path from the handicapped space to the front door of the business. The expanded sidewalk includes an ADA ramp at the south end of the building where the handicapped space is to provide access for those with mobility issues. However, based on the layout of the plans it appears that there would be limited space for someone in a wheelchair or otherwise limited mobility to maneuver around an open door at the front entrance without stepping off the curb.**

## 5.0 Lighting

The applicant is not proposing any changes to the lighting of the property.

## 6.0 Outdoor Display Standards

The proposed addition to the front of the building will displace the propane and bagged ice displays that currently exist in the space. The applicant is proposing to relocate the display units to the south side of the building adjacent to the rear parking area, as well as add a windshield washer fluid display to the front of the building. According to Article 9, Section 9.02 of the Zoning Ordinance, Outdoor Display is defined as the placement of any item(s) outside a building for decorative display and/or accessible to the public for the purpose of sale, rent, lease or exhibit. Therefore, the propane and ice storage, as well as the proposed display for windshield washer fluid along the front of the building shall be regulated as outdoor displays.

Article 4, Section 4.67 outlines the requirements for an outdoor display in the B2-B zoning district. The proposed outdoor storage meets several of these standards, but falls short in a few key areas:

1. Outdoor displays shall not exceed a maximum of 4 feet in height.
  - **The applicant must confirm that the ice and propane storage units are no more than 4 feet in height, or obtain a variance from the Board of Zoning Appeals.** The submitted site plan does show the proposed windshield washer fluid display to be a maximum of four feet tall, meeting the Ordinance.

2. Furniture or shelving used to display goods outside shall be made of finished metal or wood or a material of comparable quality and maintained in a good condition.
  - The existing ice and propane storage units are constructed of metal, but the applicant has indicated that the proposed windshield washer fluid display will be constructed of plastic. **The applicant must submit plans showing a windshield washer fluid display unit constructed of metal or wood, or a material of comparable quality, or obtain a variance from the Board of Zoning Appeals.**
3. An unobstructed path not less than 5 feet in width shall be continuously maintained for pedestrian access to all business entrances and no point of access or egress from any building shall be blocked at any time.
  - Both the relocation of the ice and propane display units and the new windshield washer fluid display will subtract from the required 5 feet required for pedestrian access. **The applicant must submit plans showing an unobstructed continuously maintained 5 foot path for pedestrian access, or obtain a variance from the Board of Zoning Appeals.**

## **7.0 Departmental Reports**

- 7.1 Engineering Division – The Engineering Department has no concerns at this time. My understanding is that this is compliant with the ADA code.
- 7.2 Department of Public Services – No comments have been provided at this time, but will be provided by January 24, 2018.
- 7.3 Fire Department – No comments have been provided at this time, but will be provided by January 24, 2018. The fire department has no concerns with this walkway.
- 7.4 Police Department – No comments have been provided at this time, but will be provided by January 24, 2018.
- 7.5 Building Division – The Building Department has examined the plans for the proposed project referenced above. The plans were provided to the Planning Department for site plan review purposes only and present conceptual elevations and floor plans. Although the plans lack sufficient detail to perform a code review, the following comments are offered for Planning Board and/or Design Review Board and applicant consideration:
  1. The proposed addition is projecting into the accessible route (sidewalk) between the existing barrier free parking space and the entrance to the

building. The accessible route cannot be reduced to less than 36.00 inches.

2. The plans do not include proposed changes to the interior of the building. It appears that the existing toilet room located between the service counter and kitchen will be removed and the service counter made larger. The plans will need to detail these changes.

## **8.0 Design Review**

The proposed 79 sq. ft. addition to the south-west portion of the building will be for the relocation of a restroom to allow for more counter space for the establishment. The applicant has indicated on the site plan that the addition will be constructed with the same brick and paint as the existing building. The applicant has not submitted the elevations or material specifications necessary to complete a design review. **The applicant must submit scaled and colored elevations and material specifications for design review.**

## **9.0 Approval Criteria**

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- (1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- (2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- (3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property nor diminish the value thereof.
- (4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- (5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- (6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

## **10.0 Recommendation**

Based on the comments of the City Commission, the Planning Division finds that the expectation of the City Commission is that an ADA compliant sidewalk would be designed for their review. The proposed striping does not appear to be sufficient to meet that expectation. Accordingly, the Planning Division recommends that the Planning Board POSTPONE the Final Site Plan and Special Land Use Permit Amendment for 33588 Woodward Ave – Birmingham Shell – pending receipt of the following:

- (1) The applicant submit plans showing an unobstructed continuously maintained 5 foot path for pedestrian access that comply with the request of the City Commission.

**The applicant has submitted a plan that extends the raised sidewalk out from the new bathroom addition to provide a 5’ unobstructed sidewalk at that point. However, as noted above, it appears that there would be limited space for someone in a wheelchair or with otherwise limited mobility to maneuver around an open door at the front entrance without stepping off the curb. Accordingly, the Planning Division recommends that the proposed curb extension be continued to the front door and incorporated with an ADA ramp to allow for an unobstructed pedestrian path.**

#### **11.0 Sample Motion Language**

Motion to recommend POSTPONEMENT of the Final Site Plan and Special Land Use Permit Amendment for 33588 Woodward Ave – Birmingham Shell – pending receipt of the following:

- (1) The applicant submits revised plans showing an unobstructed path for pedestrian access to the front door.

**OR**

Motion to recommend APPROVAL the Final Site Plan and Special Land Use Permit Amendment to the City Commission for 33588 Woodward Ave – Birmingham Shell.

**OR**

Motion to recommend the DENIAL of the Final Site Plan and Special Land Use Permit Amendment to the City Commission for 33588 Woodward Ave – Birmingham Shell – for the following reasons:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**CITY OF BIRMINGHAM  
REGULAR MEETING OF THE PLANNING BOARD  
WEDNESDAY, JANUARY 24, 2018  
City Commission Room  
151 Martin Street, Birmingham, Michigan**

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Minutes of the regular meeting of the City of Birmingham Planning Board held on January 24, 2018. Chairman Scott Clein convened the meeting at 7:30 p.m.

**Present:** Chairman Scott Clein; Board Members Robin Boyle, Stuart Jeffares, Bert Koseck, Vice-Chairperson Gillian Lazar, Janelle Whipple-Boyce, Bryan Williams

**Also Present:** Nasseem Ramin

**Absent:** Alternate Board Member Daniel Share; Student Representatives Ariana Afrakhteh, Isabella Niskar

**Administration:** Matthew Baka, Sr. Planner  
Nicholas Dupuis, Planning Intern  
Carole Salutes, Recording Secretary

**01-15-18**

**FINAL SITE PLAN AND DESIGN REVIEW  
SPECIAL LAND USE PERMIT ("SLUP")**

- 1. 33588 Woodward Ave. (Shell Gas Station/Dunkin Donuts)**  
**Request for approval of a Revised Final Site Plan and Design to allow for construction of small addition for a restroom and new signage**

**Motion by Mr. Williams**

**Seconded by Ms. Lazar to receive and file the one-page document from Design Studio Interiors Planning. Project: Birmingham Gas Station Exterior Building Elevations.**

**Motion carried, 7-0.**

VOICE VOTE

Yeas: Williams, Lazar, Boyle, Clein, Jeffares, Koseck, Whipple-Boyce

Nays: None

Absent: None

Mr. Baka advised the 0.34 acre subject site is located at the corner of Woodward Ave. and Chapin. The gas station was formerly a Citgo that was renovated several years ago and is now a Shell/Dunkin Donuts. The applicant is seeking a SLUP amendment to relocate the bathroom within the building, which will include a small addition of square footage to the building. The

total added area is roughly 79 sq. ft. at the southwestern portion of the building, facing the parking lot. The addition will displace the ice and propane storage machines, which are proposed to be relocated to the side of the building, adjacent to the rear parking area.

***The applicant must confirm that the ice and propane storage units are no more than 4 ft. in height, or obtain a variance from the Board of Zoning Appeals ("BZA").***

#### *Design Review*

The proposed 79 sq. ft. addition to the southwest portion of the building will be for the relocation of a restroom to allow more counter space for the establishment. The applicant has indicated on the site plan that the addition will be constructed with the same brick and paint as the existing building. The applicant has submitted scaled and colored elevations and material specifications for Design Review.

Responding to Mr. Boyle, Mr. Baka stated that Beer and Wine signage was previously approved by the Planning Board. The Liquor signs are considered window signage as long as it is within 18 sq. ft. Therefore, the signs are compliant.

Mr. John Abbro with ADG, Farmington Hills, MI was present for Scott and Chris Barbat, the gas station owners. He explained the proposed addition will match the building design. Mr. Chris Barbat indicated the reason for the addition is to expand the counter in order to relocate the spirits from the sales area to behind the counter where customers can't get to them. He asked to exchange the Beer and Wine channel letter sign with a liquor sign in the same style so they can get rid of the vinyl Liquor stickers on the windows.

The Chairman said he would be comfortable with an Administrative Approval for that, assuming tonight's proposal gets approved and everything else is in compliance.

Mr. Barbat added that relocating the bathroom to the front south side of the building results in a better flow of traffic where there is no conflict between the restroom line and the Dunkin Donuts line. As stated, it also allows them to take the spirits off the floor and locate them behind the counter which is safer.

Chairman Clein took public comments at 7:45 p.m.

Mr. Bob Chodum, 1408 Chapin, stated that construction of the gas station occurred after 7 p.m. week nights and on Sundays. The construction just about took over Chapin and he didn't have anywhere to park. The gas station is very close to residences and he feels it is too big for their neighborhood. Signs at the bicycle shop say to unload bicycles on Chapin and they are on City sign posts.

Ms. Joan Sutherland who also lives at 1408 Chapin asked if the proposal will alter parking at the gas station because they already park on her street and too close to the intersection.

Mr. Baka said the proposed construction will not displace any parking. Mr. Barbat stated they do not allow any of their employees to park in the street. They must park on the property. The small addition will not take out any of the parking spots. He will be very diligent in making sure



the dumpster is always closed. This addition should be wrapped up within a week and in no way will they work before or after business hours.

Ms. Whipple-Boyce noted that if construction takes place other than from 7 a.m. to 7 p.m. Monday through Saturday the residents could notify the Police Dept.

Mr. Williams advised that the residents could attempt to handle some of the excess parking by petitioning for parking permits on their street. Also, they could pursue with the Police Dept. adding signs restricting right turns coming out of the gas station onto Chapin.

**Motion by Ms. Whipple-Boyce**

**Seconded by Mr. Boyle to recommend APPROVAL the Final Site Plan and Special Land Use Permit amendment to the City Commission for 33588 Woodward Ave., Birmingham Shell, with the following conditions:**

- (1) The applicant confirm that the ice and propane storage units are no more than 4 ft. in height, or obtain a variance from the BZA;**
- (2) The applicant meet the requirements of all City Departments.**

**Motion carried. 7-0.**

VOICE VOTE

Yeas: Whipple-Boyce, Boyle, Clein, Jeffares, Koseck, Lazar, Williams

Nays: None

Absent: None

**BIRMINGHAM CITY COMMISSION MINUTES  
MARCH 12, 2018 MUNICIPAL BUILDING, 151 MARTIN  
7:30 P.M.**

**03-074-18                      PUBLIC HEARING TO CONSIDER THE FINAL SITE PLAN &  
DESIGN AND A SPECIAL LAND USE PERMIT  
AMENDMENT- 33588 WOODWARD – SHELL GAS STATION**

Mayor Harris opened the public hearing at 8:53 p.m.

Senior Planner Baka reported the applicant:

- Received a Special Land Use Permit (SLUP) from the City Commission on September 22, 2014.
- Seeks an amendment to the existing SLUP to allow them to construct a small addition to the building to allow for a new accessible 79 sq. ft. bathroom.
- Will bring all outdoor storage into compliance with the outdoor storage regulation ordinance passed since the granting of the original SLUP.
- Was approved for a SLUP amendment by the Planning Board on January 28, 2018 providing:
  - The ice and propane storage units do not exceed 4'; and
  - Compliance with the requests of City Departments.
- Plans to match the brick and exterior appearance to the current building. Propane and ice storage will go around the side of the building, and would be stored on black, metal racks that would be no taller than 4'.

Senior Planner Baka told Commissioner Sherman that:

- Window signage for businesses on Woodward is permitted at the rate of 18 sq. ft. per frontage.
- Some proposed window signage changes did not go before the Planning Board because the information was not yet available. Changes in window signage, however, do not require permit or approval from the City.

Commissioner Sherman asked to see the proposed window signage. Senior Planner Baka provided it, and stated he did not originally include it in the Commission Packet since the plans had not been seen by the Planning Board first.

Applicant

Chris Barbat:

- Appeared before the Commission and explained that the proposed sign changes had not been provided to the Planning Board because they had not been ready.
- Told Commissioner Hoff that the south side of the building is recessed, which means the bathroom will not extend much farther beyond the rest of the building. Currently the space is empty storage, and access to the restroom will be interior to the building. The purpose of the addition is to alleviate congestion between the Dunkin' Donuts line and the line for the restroom. The restroom does not remain locked.

Commissioner Sherman reiterated that all the proposed changes should have been submitted to the Planning Board at once for consideration as part of the SLUP amendment.

Planning Director Ecker confirmed for Commissioner Nickita that:

- The sidewalk at 33588 Woodward would need to be expanded in order to meet the ADA requirements of a 5' width.
- The expansion would fall under the SLUP amendment requirement that there be "compliance with the requests of City Departments".
- The plans would not be approved without the sidewalk expansion.

Commissioner Nickita replied that the plans need to specifically reflect how the applicant will build an ADA-compliant sidewalk.

Planning Director Ecker stated that any method of bringing the sidewalk into ADA-compliance would be sufficient for the Planning Board.

Mr. Barbat confirmed for Commissioner DeWeese that the two large vinyl signs in the window reading 'Liquor' will be replaced by smaller signs within the gas station.

The Public Hearing was closed at 9:07 p.m.

**MOTION:** Motion by Commissioner Hoff, seconded by Commissioner Boutros:

To approve the Final Site Plan & Design and a Special Land Use Permit Amendment at 33588 Woodward to allow the addition of a new accessible bathroom to the existing Shell gasoline service station as recommended by the Planning Board on January 24, 2018.

Commissioner DeWeese specified that the applicant would be approved pursuant to all the discussion that occurred before the Commission this evening.

Commissioner Nickita reiterated concern at the lack of clarity regarding how the sidewalk would become ADA-compliant, since different strategies of rebuilding the sidewalk would have very different outcomes for the layout of the parcel.

Commissioner Nickita agreed with Commissioner Sherman that all of this information should have been included as part of the SLUP amendment.

Commissioner Hoff asked whether City staff would track ADA-compliance on this issue.

Mayor Harris asked whether City staff would only track ADA-compliance, or whether City staff would track some of Commissioner Nickita's concerns as well.

Senior Planner Baka told Mayor Harris that City staff would track, in addition to ADA-compliance, pedestrian flow, accessibility from all the parking spots, and car safety and maneuverability that result from the parcel changes.

Commissioner Sherman stated that this SLUP amendment should go back before the Planning Board for further review since the plans, as submitted, are incomplete.

Commissioner Nickita agreed with Commission Sherman. Commissioner Nickita continued that incomplete SLUP amendment requests should not appear before the Commission; all relevant information should be submitted and reviewed by the Planning Board first.

VOTE:        Yeas,        7  
Nays,        0  
Absent,      0

City Manager Valentine stated he would get this issue back before the Planning Board as quickly as possible.

**CITY OF BIRMINGHAM  
REGULAR MEETING OF THE PLANNING BOARD  
WEDNESDAY, APRIL 11, 2018  
City Commission Room  
151 Martin Street, Birmingham, Michigan**

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Minutes of the regular meeting of the City of Birmingham Planning Board held on March 28, 2018. Chairman Scott Clein convened the meeting at 7:30 p.m.

**Present:** Chairman Scott Clein; Board Members Robin Boyle, Stuart Jeffares, Bert Koseck, Janelle Whipple-Boyce, Bryan Williams; Alternate Board Member Daniel Share; Student Representative Ellie McElroy (arrived at 8:35 p.m.)

**Also Present:**

**Absent:** Alternate Board Member Nasseen Ramin; Student Representatives Madison Dominato, Sam Fogel

**Administration:** Brooks Cowan, Planner

Jana Ecker, Planning Director

Carole Salutes, Recording Secretary

**04-58-18**

**FINAL SITE PLAN AND DESIGN REVIEW  
SPECIAL LAND USE PERMIT ("SLUP")**

**1. 33588 Woodward Ave.  
Shell Gas Station**

Ms. Ecker explained the 0.34 acre subject site is located at the corner of Woodward Ave. and Chapin. The applicant is seeking a SLUP Amendment to relocate the restroom within the building, which will include a small 79 sq. ft. addition at the southwestern portion of the building, facing the parking lot. The addition will displace the ice and propane storage machines, which are proposed to be relocated to the side of the building, adjacent to the rear parking area.

On January 24, 2018 the application was reviewed by the Planning Board for the addition of a new restroom and new signage. However it bumped out in the front and cut into the pedestrian walk along the front of the store. The Planning Board recommended approval of the SLUP amendment to the City Commission with the condition that they make modifications to the site that would address the walking path along the front to the Commission's satisfaction.

However, the applicant had not yet devised a solution to the issue by the time they reached the City Commission for the public hearing. At that time, the City Commission voted to send the applicant back to the Planning Board to resolve the issue so that the Commission could review a complete plan that would not be subject to further change after the public hearing. Accordingly, the applicant has now submitted a new plan that meets ADA standards and proposes to apply blue paint striping to the area that leads from the handicapped space to the front entrance of the building. That is the only thing that has changed since the last time the applicant was before this board.

However, Ms. Ecker did not think this is what the Commission had in mind. She thought they wanted a final plan that would bump out the sidewalk and create a raised pedestrian path separate from the parking lot.

Chairman Clein was concerned that the sidewalk terminates directly in the flair of the ramp and the flair is not an accessible route. Therefore, the route doesn't get a person to the door. Also, there are no dimensions related to the barrier-free space. He doesn't think the plan is adequate or that it meets Code. Further, he has serious concerns about the ice and propane storage location with no details or dimensions of the parking space.

Ms. Ecker noted that one of the comments the Planning Dept. had is that it is very common for people to pull up along the curb, park there, and run into the store. The path doesn't really stop them from doing that. Therefore, the path may be blocked by a parked car.

Mr. Chris Barbat, the business owner, addressed the board's concerns:

- The striping is not adequate even though it meets Code. He proposed stamped concrete in a different color and a ramp from the parking spot to the stamped concrete area.
- In terms of the propane and ice storage, they complied with having each one of the boxes 4 ft. in height. They moved them to the current location which isn't a good idea because it is a walkway from the alley. He suggested moving them behind the fence which is out of site, does not obstruct vehicle doors opening and closing, and opens up the whole pathway to the rear of the building.

Mr. Koseck thought whether the path is striped or stamped concrete, people will be parking there. A curb would define the area. However, Mr. Barbat was concerned that a curb would prevent cars from turning to go north. They might have to stop, reverse, and go back around. Chairman Clein stated he does not want to see cars driving through the striping and he doesn't want to see cars parked there; it is for pedestrians, particularly pedestrians that are facing physical challenges.

Mr. Jeffares noted there is an area in front of the building that goes down to 2 ft., which is too narrow. It could be made 3 ft. or so by adding extra concrete. Chairman Clein agreed and it is less money for the applicant. He wanted to see that change and also confirmation that they are showing the proper striping for the barrier-free spaces and that they are in compliance.

**Motion by Mr. Williams**

**Seconded by Mr. Boyle to postpone consideration of 33588 Woodward Ave., Birmingham Shell, to April 25, 2018.**

**Motion carried, 7-0.**

VOICE VOTE

Yeas: Williams, Boyle, Clein, Jeffares, Koseck, Share, Whipple-Boyce

Nays: None

Absent: None

**Motion by Mr. Williams**

**Seconded by Mr. Koseck to suspend the rules for the Planning Board meeting of April 25th to consider more than five items.**

**Motion carried, 7-0.**

VOICE VOTE

Yeas: Williams, Koseck, Boyle, Clein, Jeffares, Share, Whipple-Boyce

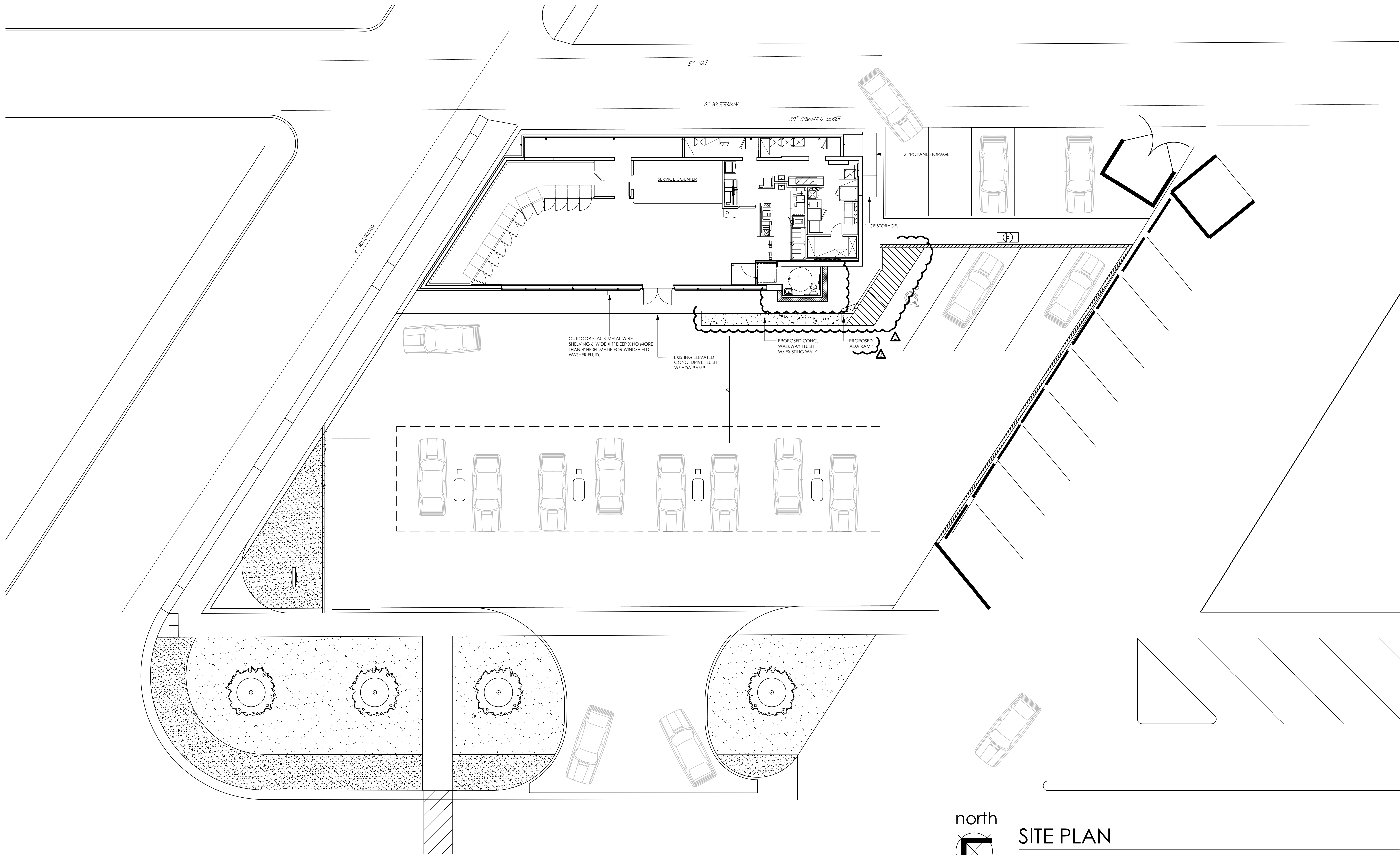
Nays: None

Absent: None

# BIRMINGHAM GAS STATION

## SITE PLAN

33588 WOODWARD AVE.,  
BIRMINGHAM, MI 48009



ABRO DESIGN GROUP, INC.  
30600 NORTHWESTERN HWY.  
SUITE 310  
FARMINGTON HILLS, MI. 48334  
P. 248-254-3834 F. 248-671-2772  
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**PROJECT:**  
BIRMINGHAM  
GAS STATION  
-GAS STATION RENOVATIONS-

33588 WOODWARD AVE.,  
BIRMINGHAM, MI 48009

**SHEET TITLE:**  
SITE PLAN

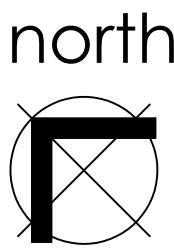
DO NOT SCALE DRAWINGS  
USE FIGURED DIMENSIONS ONLY

DATE:	ISSUE:
01.10.18	CLIENTS REVIEW
03.21.18	REVISION NO. 1
04.19.18	REVISION NO. 2

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**PROJECT NO:**  
033017

**SHEET NO:**  
S-100



**SITE PLAN**  
SCALE:

1" = 10'-0"





## MEMORANDUM

Planning Division

**DATE:** April 17<sup>th</sup>, 2018

**TO:** Planning Board Members

**FROM:** Nicholas J. Dupuis – Planning Intern

**APPROVED:** Jana Ecker, Planning Director

**SUBJECT:** 191 N. Chester – The Jeffrey – CIS, Special Land Use Permit, Final Site Plan & Design Review

### Community Impact Study

#### I. INTRODUCTION

The 0.40 acre subject site, 191 N. Chester is currently a vacant church at the corner of Chester and Willits, at the outer edge of the Downtown Overlay District. The applicant is seeking a Special Land Use Permit to transform the church building into an office complex. The Zoning Ordinance limits tenants of an office building to 3,000 sq. ft. per tenant in the TZ-2 district. The 3 tenant lease spaces proposed measure over 3,000 sq. ft. (6,210 sq. ft., 9,518 sq. ft. & 6,742 sq. ft.), which all exceed the permitted size in the TZ-2 zoning district without a Special Land Use Permit.

The applicant was required to prepare a Community Impact Study in accordance with Article 7, section 7.27(E)(3) of the Zoning Ordinance, as the proposed remodeling/additions bring the total gross floor area of the building north of 20,000 sq. ft., and the additions are greater than 10% of the gross floor area of the existing structure and/or building.

#### II. COMMUNITY IMPACT STUDY

As stated above, the applicant was required to prepare a Community Impact Study given the size of the proposed development. The Zoning Ordinance recognizes that buildings of a certain size may affect community services, the environment, and neighboring properties. The CIS acts as a foundation for discussion between the Planning Board and the applicant, beyond the normal scope of information addressed in the Special Land Use Permit, Final Site Plan and Design Review application. The Planning Board "accepts" the CIS prior to taking action on the Special Land Use Permit, Final Site Plan and Design Review.

#### A. Planning & Zoning Issues:

## **Use**

The property is currently zoned TZ-2 (Transitional Zoning 2) and C (Community) in the Downtown Overlay District. The proposed office use is a permitted principal use in the TZ-2 and C zoning districts.

## **Master Plan Compliance: Downtown Birmingham 2016 Plan**

Article 3, section 3.01 of the Zoning Ordinance states that the purposes of the Downtown Birmingham Overlay District are to:

- (a) Encourage and direct development within the boundaries of the Overlay Zoning District and implement the 2016 Plan;
- (b) Encourage a form of development that will achieve the physical qualities necessary to maintain and enhance the economic vitality of downtown Birmingham and to maintain the desired character of the City of Birmingham as stated in the 2016 Plan;
- (c) Encourage the renovation of buildings; ensure that new buildings are compatible with their context and the desired character of the city; ensure that all uses relate to the pedestrian; and, ensure that retail be safeguarded along specific street frontages; and
- (d) Ensure that new buildings are compatible with and enhance the historic districts which reflect the city's cultural, social, economic, political, and architectural heritage.

The proposed development implements some of the recommendations contained in the Downtown Birmingham 2016 Master Plan ("2016 Plan") as the applicant is proposing to renovate and add to a building Downtown that is compatible with the context and the desired character of the City. The proposed project encourages a form of development that will achieve the physical qualities necessary to enhance the economic vitality of Downtown Birmingham.

The proposed development and its uses relate to the pedestrian, as the building is proposed to be built to the property line at Chester and is proposed with human scale detailing on the first floor, including canopies, large windows, high quality facades, a patio at grade, and pedestrian entrances from Chester and Willits. The 2016 Plan encourages proper building mass and scale to create an environment that is more comfortable to pedestrians creating a walkable downtown. The proposed development will help improve the visual appearance of the area, by creating a denser, more compact development and remaining consistent with the existing architectural traditions and fabrics of Downtown Birmingham. The main entry to the building is proposed to be located on Chester Street.

In addition, the 2016 Plan encourages pedestrian-scale features which should be incorporated on the first floor of buildings and at entrances to help relate

buildings to the streetscape. The plan for the proposed building includes pedestrian canopies and extensive glazing.

Streetscape components are an integral part of the 2016 Plan. The applicant is required to maintain the pedestrian scale street lighting and street trees along all streetscapes. The CIS explains that a bike rack will be available to visitors and occupants, but the applicant has not yet provided a full streetscape plan.

## **B. Land Development Issues:**

The subject site is currently home to a 3-story church complex with setbacks on all sides. The proposed project will bring the front of the building to the property line with an addition, which will be the only increase in footprint and impervious surface on the site. The adjacent parcels to the east and south are fully developed and impervious areas (Integra and McCann Worldgroup), and public thoroughfares exist to the east and north (Chester and Willits). The applicant has indicated in their site plan that the existing lead to the City stormwater system will remain, and that the development is not anticipated to exceed the capacity of the municipal sewer system.

The applicant has submitted a Phase 1 Environmental Site Assessment (ESA) dated April 2<sup>nd</sup>, 2015, prepared by Performance Environmental Services. The report concludes that there are no Recognized Environmental Conditions associated with the site, as the property has been home to the Church since the 1920's. Because of the null findings in the Phase 1 ESA, the applicant did not proceed to a Phase 2 ESA.

The applicant estimates that 970 cubic yards of in-place soils will be removed from the site for construction of the new addition on the east (front) of the building. A haul route has been submitted that shows excavated soils leaving the site eastbound on Willits, southbound on S. Bates, then westbound on W. Maple.

The CIS states that the completed development will not cause any potential hazards or nuisances. However, vibration and dust issues may be present during construction. The applicant has not suggested any mitigation techniques for dust, noise and vibrations that may occur during construction.

## **C. Utilities, Noise and Air Issues:**

In accordance with the 2016 Plan, all utilities on the site should be buried to visually enhance the site. Thus, **the applicant will be required to bury all utilities on the site.** The applicant has indicated that all existing utilities present on site will remain and be utilized by the proposed offices. The applicant has indicated that it is believed the existing utilities will be able to adequately supply the development with no capacity issues. **The applicant must gain approval from the City Engineer prior to site plan approvals.**

A noise study was prepared by Kolano and Saha Engineers, Inc. dated April 13<sup>th</sup>,

2018. Measurements were taken using a calibrated Bruel & Kjaer 2270 environmental noise analyzer from 12:00 p.m. on April 11<sup>th</sup> to 4:00 p.m. on April 12<sup>th</sup>. The equipment was placed on the site approximately 20 feet south of the closest traffic lane on Willits, and 90 feet west of the closest traffic lane on Chester. The data gathered a daytime sound level average of 54 dB, and a nighttime sound level average of 45 dB. HUD determined that a level of 65 dB is a desirable goal for residential land use. The sound engineers confirmed that the proposed development will be able to comply with the Birmingham noise ordinance.

The Noise Impact Assessment noted that the only noise that will emanate from the proposed new development will come from the building's heating and cooling mechanical systems, below grade exhaust fans, and emergency power generator.

The noise study provides that the project site will likely comply with the City's noise limits for commercial developments. Specification sheets for all mechanical equipment will be reviewed at Final Site Plan Review for noise output to ensure that the City's noise limits for commercial property will be met.

The applicant has stated in the CIS that the subject site is located in the Southeast Michigan Air Quality District. Monitoring stations are located in Oak Park, and there are no air quality violations in this attainment area. The proposed development use is identical to its surrounding uses and will not establish any trend of air quality standards. Potential air pollution will come from the vehicles in the parking deck and HVAC units.

#### **D. Environmental Design and Historic Values:**

The CIS and site plans suggest that there will be no degradation of the physical or natural environments associated with the site. The applicant will be increasing the number of trees currently existing on the property, as well as providing significant improvements to the grading of the sidewalk. The changes will involve a regrading and installation of ADA ramps where stairs are currently present at the corner of Chester and Willits. A complete landscaping and design review, including streetscape elements, will be conducted as a part of the Final Site Plan review process.

The site is not listed on the National Register of Historic Places or located in any of the City's historic districts.

#### **E. Refuse, Sewer and Water:**

The CIS describes a refuse storage area inside of the garage located off of Willits. The CIS does not mention a separate area for recyclables. The applicant has indicated that the solid waste generated from this facility will be standard and can be handled easily by a local waste management company.

The CIS further states that the development will be utilizing existing sewer and water connections to the site and does not anticipate capacities to be exceeded by the new structure.

#### **F. Public Safety:**

The applicant has stated that the proposed development provides direct access for police, fire and emergency vehicles and personnel from both Chester and Willits. Access to the building on Chester is in the center and at grade. Access along Willits street can be made via two entry doors or the proposed garage. The CIS also states that an elevator that can accommodate a medical cart is proposed.

**The applicant has not provided information on the required safety measures for the new project, such as a fire suppression system or a Knox Box. This was labeled as TBD in the CIS and will be required at the time of Final Site Plan review. The Police and Fire Departments will require further information to ensure that all life safety issues have been addressed.**

The applicant has indicated in the CIS that they will be using a security system and fire suppression system, but has not determined which system and the level of performance. **The applicant will be required to submit details of the proposed security system, and they must be provided and approved by the Police Department.**

#### **G. Transportation Issues:**

The CIS states that on-site parking will support the proposed development in the form of a parking garage with 8 spaces, and 3 spaces off of Willits, but will require the use of public parking as well. In addition, bus service is currently available in close proximity on Maple. Given the location of the proposed development, a vast majority of retail options, restaurants, and personal services are also available within walking distance of the site. The applicant also notes that there will be bike racks available for visitors and occupants.

The applicant has provided a transportation study prepared by Stonefield Engineering dated April 12<sup>th</sup>, 2017. The applicant used Form A – Traffic Study Questionnaire in lieu of a full Form B – Transportation Study.

The traffic study states that the building is located within Birmingham's Parking Assessment District, which requires no additional parking. Based on the traffic data gathered, the engineers concluded that trip generation and traffic will be dispersed throughout the roadways due to the need for some visitors/occupants to utilize public parking areas, such as the Chester Street Parking Deck or on-street parking. No roadway improvements are warranted by the proposed development.

The traffic study has been sent to the City's traffic engineers, Fleis & Vandenbrink, but a return letter has not been received as of yet. The City expects to receive said letter by April 25<sup>th</sup>, 2018.

#### **H. Parking Issues:**

The CIS indicates that the proposed development will have an enclosed garage beneath the building with 8 parking spaces, as well as an existing small 3-car parking lot on the northwest corner of the property. There is no percentage of required parking for the other uses because the proposed project is within the Parking Assessment District. A thorough discussion of the parking requirements is contained in the attached Special Land Use Permit, Final Site Plan and Design Review report.

#### **I. Natural Features:**

The applicant has indicated that there will be little impact on natural features or bodies of water as a result of the proposed development, as the proposed building will be renovated, including a small addition to the front of the building. There are no ponds or streams near the project, and landscaping will be added to the site.

#### **J. Departmental Reports**

1. Engineering Division – The Engineering Department has no concerns at this time.
2. Department of Public Services –
3. Fire Department –
4. Police Department –
5. Building Division –

#### **K. Summary of CIS:**

The following issues remain outstanding with regards to the CIS:

- (1) Provide mitigation strategies for control of noise vibration and dust;
- (2) Applicant will be required to bury all utilities on the site;
- (3) Provide space for the separation of recyclables; and
- (4) Applicant provide information on all life safety issues and Fire Dept. approval, as well as details on the proposed security system provided to and approved by the Police Department.

#### **L. Suggested Action:**

1. To ACCEPT the Community Impact Study as provided by the applicant for the proposed development at 191 N. Chester – The Jeffrey – with the following conditions:

- (1) Provide mitigation strategies for control of noise vibration and dust;
- (2) Applicant will be required to bury all utilities on the site;
- (3) Provide space for the separation of recyclables; and
- (4) Applicant provide information on all life safety issues and Fire Dept. approval, as well as details on the proposed security system provided to and approved by the Police Department.

**OR**

2. To POSTPONE action on the Community Impact Study as provided by the applicant for the proposed development at 191 N. Chester – The Jeffrey, allowing the applicant the opportunity to address the issues raised above.

**OR**

3. To DECLINE the Community Impact Study as provided by the applicant for the proposed development at 191 N. Chester – The Jeffrey – for the following reasons:

- 1) \_\_\_\_\_
- 2) \_\_\_\_\_
- 3) \_\_\_\_\_

## **Special Land Use Permit, Final Site Plan & Design Review**

### **III. Final Site Plan Review**

The 0.40 acre subject site, 191 N. Chester, is located at the corner of Chester and Willits on the outer edge of Downtown Birmingham. The Planning Board recommended approval to the City Commission for a rezoning from TZ1 to TZ2 on September 13th, 2017 to allow the former Church of Christ Scientist building to become an office space. On October 16th, 2017, the City Commission approved the request for a rezoning to TZ-2. The transformed office building is proposed to contain 22,470 sq. ft. of office space. The Zoning Ordinance limits tenants of an office building to 3,000 sq. ft. per tenant in the TZ-2 district. The proposed floor plans for the renovated office building show three tenant lease spaces, all of which will be over the permitted 3,000 sq. ft. (6,210 sq. ft., 9,518 sq. ft. & 6,742sq. ft.). Thus, the applicant is seeking a Special Land Use Permit to allow for three office tenants to each exceed 3,000 sq. ft. in area.

A highlight of the proposed transformation of the former Church use to an office use is the proposed 1,355 sq. ft. addition to the front of the building. The applicant is also proposing to add to the upper floors, bringing the sides and the rear of the building outward to maximize tenant lease space. Along with the design of an overhead garage door off of Willits, a new roof, new windows, and new paint, the additions will create an entirely new look for the building. The proposed addition will bring the gross floor area to 27,290.25 sq. ft. (figure includes the 10,011 sq. ft. lower level and the 2,493 sq. ft. indoor garage).

The applicant appeared before, and was approved by the Planning Board on January 25<sup>th</sup>, 2018 for a Special Land Use Permit, Final Site Plan and Design Review for the renovation and addition to the front of the building. Because the applicant has revised the plans to include more additions, they are required to come before the Planning Board again.

All relevant meeting minutes are attached for your review.

#### **1.0 Land Use and Zoning**

- 1.1. Existing Land Use – The existing land use is a vacant Church.
- 1.2. Zoning – The parcel is zoned TZ-2 (Transitional Zoning 2) and C (Community) in the Downtown Overlay.
- 1.3. Summary of Adjacent Land Use and Zoning - The following chart summarizes existing land use and zoning adjacent to and/or in the vicinity of the subject site, including the 2016 Regulating Plan.



	<b>North</b>	<b>South</b>	<b>East</b>	<b>West</b>
<b>Existing Land Use</b>	Residential	Commercial	Commercial	Residential
<b>Existing Zoning District</b>	R2, Single-Family Residential	TZ-3, Transitional Zone-3	B-4, Business-Residential	R2, Single-Family Residential
<b>Overlay Zoning District</b>	N/A	D-4	D-4	N/A

## 1. Setback and Height Requirements

The attached summary analysis provides the required and proposed bulk, area, and placement regulations for the proposed development.

## 3.0 Screening and Landscaping

- 3.1 Dumpster Screening – The applicant indicated that there will be a designated area for trash collection inside the building underneath the stairs located in the garage area. Therefore, the trash area will be fully screened by the building.
- 3.2 Parking Lot Screening – The subject site is located in the Parking Assessment District and thus no parking is required on site. However, the applicant is proposing an 8-space garage with access off of Willits. Thus, the parking will be fully screened within the building. All proposed parking spaces are 180 sq. ft.

The applicant also noted three existing outdoor spaces that are located at the northwest corner of the property in the application. The submitted site plans show these three existing outdoor spaces, and the applicant indicated that they will be screened on either side with a five foot concrete masonry split face retaining wall which will match the building. As the site currently stands, the spaces are set below grade with a stone retaining wall and landscaping. As these parking spaces directly abut the street for primary access, there is no screen wall screening the view of

the parking spaces from Willits. However, these are existing, non-conforming parking spaces for screening.

- 3.3 Mechanical Equipment Screening – The applicant has indicated that the building will utilize the existing rooftop mechanical units that are already screened by the parapet of the building. The applicant has also noted that there may be additional mechanical equipment placed on the inside of the building. Therefore, all mechanical equipment will be fully screened.
- 3.4 Landscaping – The applicant has submitted a landscape plan for the proposed development detailing the size, type, and placement of plants across the site. All of the proposed plantings are permitted and are described in the table below:

	<b>Botanical/Common Name</b>	<b>Size</b>	<b>Quantity</b>
<i>Trees</i>	Carpinus Caroliniana/ Native Flame	3" CAL	3
	Tilia cordata/ Chancellor Linden	3" CAL	5
<i>Shrubs</i>	Thuja accidentalis/ Niagra – Dark Green Arborvitae	8' HT	6
<i>Groundcovers/Perennials</i>	Calamagrostis/ Karl Forester Feather Reed Grass	3 GAL	8
	Hemerocalis/ Happy Returns Daylily	2 GAL	44
	Sesleria autumnalis/ Autumn Moor Grass	2 GAL	55

Article 4, Section 4.20 of the Zoning Ordinance requires deciduous trees to be a minimum of 3 inches in caliper. The proposed trees meet this requirement. The applicant is not required to provide parking lot landscaping, as the three existing parking spaces are less than 7,500 sq. ft. in area.

- 3.5 Streetscape Elements – The submitted site plans show 3 street trees along N. Chester, and 5 street trees along Willits. Article 4, Section 4.20 of the Zoning Ordinance requires one street tree per 40 ft. of frontage; the applicant is required to have 2 streets along N. Chester and 5 street trees along Willits. The applicant meets the standards of Article 4, Section 4.20.

The applicant is proposing substantial changes to the streetscape along Willits to greatly enhance pedestrian circulation. The existing sidewalk along Willits includes several steps due to the grade. The applicant intends to regrade the northern edge of the property and right-of-way to construct a new sidewalk with appropriate slopes and landings to permit the removal of the stairs at the corner of Willits and N. Chester and replace them with a new ADA ramp and pad. This will create a more walkable street in front of the proposed development.

**Although the CIS indicates the addition of a bicycle rack for visitors and occupants, the applicant has not shown the location**

**of any bike racks, trash receptacles, or benches on the submitted site plan. The Planning Board may wish to require any or all of the above to be added to the streetscape.**

#### **4.0 Parking, Loading and Circulation**

- 4.1 Parking – The proposed office building does not require on-site parking, as it is located within the Parking Assessment District. However, the submitted site plans show eight parking spaces within a garage proposed in the lower level of the building. The applicant is also proposing to retain the three existing outdoor spaces located at the north-west corner of the property with an ADA space available. The proposed parking spaces all measure the appropriate 180 sq. ft. in area.
- 4.2 Loading – Article 4, Section 4.24 of the Zoning Ordinance requires office uses in between 10,001 and 50,000 sq. ft. in size to provide one off-street loading space. The proposed development contains 16,493 sq. ft. of office space, thus is required to provide one off street loading space. The applicant has not proposed an off street loading space. **Therefore, the applicant must submit revised plans showing the placement and measurements of one off street loading space, or obtain a variance from the Board of Zoning Appeals. The applicant is scheduled to appear before the Board of Zoning Appeals on May 8<sup>th</sup>, 2018.**
- 4.3 Vehicular Circulation and Access – Access to the proposed development will predominantly be by foot, but access to the vehicular garage will be via a driveway and garage door off of Willits. The driveway is proposed to be 12 ft. wide.
- 4.4 Pedestrian Circulation and Access – The principal pedestrian entrance is proposed on N. Chester. The entrance is equipped with an ADA ramp and an elevator to the upper and lower floors. Secondary pedestrian access is also provided along the Willits façade.

#### **5.0 Lighting**

The applicant has submitted a photometric plan, along with specification sheets for the proposed luminaires. The photometric plan demonstrates that all of the lighting requirements of Article 4, Section 4.21 of the Zoning Ordinance have been met with regards to property line light levels. There are two recessed canopy lights manufactured by Gotham to be installed beneath the new canopy at the entrance on Chester, at 36.91 watts each. Two wall sconces manufactured by Lithonia Lighting are proposed along the south building elevation at the stair wells. These are 9.15 watts each and proposed to be mounted at a height of 10'. Five architectural wall sconce manufactured by Lithonia Lighting are also proposed on the north and west

building elevations. These fixtures are 12 watts each, and proposed to be mounted at a height of 12'. All proposed lighting is fully cut off and black in color.

## **6.0 Departmental Reports**

- 6.1 Engineering Division – The Engineering Department has no concerns at this time.
- 6.2 Department of Public Services –
- 6.3 Fire Department –
- 6.4 Police Department –
- 6.5 Building Division –

## **7.0 Design Review**

The applicant is proposing to renovate the existing Church of Christ Scientist to create an office building. The transformation from Church to office will include the removal of the existing porch and entry to create an addition off of the front of the building to be used as the primary entryway to the building, bringing it to the property line. There will also be repairs done and paint (SW 7069 Iron Ore) added to the existing masonry, a new quartz -zinc metal roof, a new garage with a 10' x 8' garage door (**material and color unknown**), and new windows added to the building. **Some material samples and colors have been provided at this time, but the missing details must be provided.**

For the new addition, the applicant is proposing new grey brick (**manufacturer unknown**), quartz -zinc metal paneling for coping and roofing, an aluminum clear glass window system, and a new anthra-zinc metal canopy in black for the new front entrance. This will modernize the front of the building and give it more of an office building look, as opposed to a Church look. Since the proposed addition will be bringing the building to the property line, the building's street presence will match that of the McCann building to the east, and Integra building to the south.

The original building will be painted charcoal grey (SW 7069 Iron Ore) and have a new grey standing seam metal roof installed, along with 24 new clear glass windows/doors. The applicant is also proposing to create three new patios on the property, one off of the new addition, one off of the back of the building at the first floor, and finally, one on the second floor. The patio proposed with the addition will be enclosed with a powder coated aluminum railing. The other patios will be enclosed with aluminum and tempered glass railing systems. Article 3, Section 3.04 of the Zoning Ordinance requires balconies, railings and porch structures to be wood, metal, cast concrete, or

stone. **The applicant will need to submit revised plans showing a railing made of metal, wood, cast concrete, or stone, or obtain a variance from the Board of Zoning Appeals.**

The applicant is not proposing any signage at this time.

The applicant has provided window samples showing clear glass with a visual light transmittance of 80% for the new windows.

## **8.0 Approval Criteria**

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- (1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- (2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- (3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property and not diminish the value thereof.
- (4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- (5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- (6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

## **9.0 Recommendation**

Based on a review of the site plan submitted, the Planning Division recommends that the Planning Board APPROVE the Special Land Use Permit, Final Site Plan and Design Review for 191 N. Chester – The Jeffrey – with the following conditions:

1. Applicant submit revised plans showing the placement and measurements of one off street loading space, or obtain a variance from the Board of Zoning Appeals;
2. Applicant submit revised plans showing a railing made of metal, wood, cast concrete, or stone, or obtain a variance from the Board of Zoning Appeals; and
3. Applicant submits full material samples and specifications to complete the design review.

#### **10.0 Sample Motion Language**

Motion to APPROVE the Special Land Use Permit, Final Site Plan and Design Review for 191 N. Chester – The Jeffrey – subject to the following conditions:

1. Applicant submit revised plans showing the placement and measurements of one off street loading space, or obtain a variance from the Board of Zoning Appeals;
2. Applicant submit revised plans showing a railing made of metal, wood, cast concrete, or stone, or obtain a variance from the Board of Zoning Appeals; and
3. Applicant submits full material samples and specifications to complete the design review.

**OR**

Motion to DENY the Special Land Use Permit, Final Site Plan and Design Review for 191 N. Chester – The Jeffrey – for the following reasons:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**OR**

Motion to POSTPONE the Special Land Use Permit, Final Site Plan and Design Review for 191 N. Chester – The Jeffrey – for the following reasons:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**CITY OF BIRMINGHAM  
REGULAR MEETING OF THE PLANNING BOARD  
WEDNESDAY, SEPTEMBER 13, 2017  
City Commission Room  
151 Martin Street, Birmingham, Michigan**

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Minutes of the regular meeting of the City of Birmingham Planning Board held on September 13, 2017. Chairman Scott Clein convened the meeting at 7:30 p.m.

**Present:** Chairman Scott Clein; Board Members Robin Boyle, Stuart Jeffares, Bert Koseck, Vice- Chairperson Gillian Lazar, Bryan Williams

**Absent:** Board Member Janelle Whipple-Boyce; Alternate Board Members Lisa Prasad, Daniel Share; Student Representatives Ariana Afrakhteh, Isabella Niskar

**Administration:** Matthew Baka, Sr. Planner  
Jana Ecker, Planning Director  
Carole Salutes, Recording Secretary

**REZONING REQUEST**

- 1. 191 N. Chester, First Church of Christ, Scientist  
Request for rezoning from TZ-1 to TZ-2 (Transitional Zoning) to allow  
the adaptive reuse of the existing building for office use**

Chairman Clein returned to chair the meeting.

Ms. Ecker reported that the property owner is requesting the rezoning of the property to keep the building as-is on site while renovating the inside for an office use.

The subject site is located on the west side of N. Chester, with single-family homes to the north and office/commercial buildings to the south (Integra Building) and east (McCann Worldgroup Building). The area of the site is .40 acres, the building is 16,000 sq. ft. in size. The subject property is in the Downtown Overlay District and was zoned C - Community Use, due to its former use as a church. At the time of the transitional rezoning the City Commission created the TZ-1 Zone District and the TZ-3 Zone District. They did not create the TZ-2 Zone District then and the property was rezoned TZ-1 which allows only a residential use and not an office use.

The applicant lists a number of reasons that with the City's adoption of TZ-2 into the Zoning Ordinance, the TZ-2 classification would be better suited. The applicant would like to re-purpose the existing church building into an office use. While office use is permitted in the TZ-2 Zoning District, any office use over 3,000 sq. ft. in size would require a Special Land Use Permit ("SLUP"). The applicant has affirmed the building is not suitable for adaptive reuse to residential.

The applicant had meetings with the adjoining property owners who have indicated a desire to keep the existing building as opposed to demolishing it and increasing and changing the height and mass with a new structure. They felt building as it stands would have the least impact on the neighborhood in terms of scale, visibility, and traffic.

The applicant has tried to market the building as a religious institution but has been unsuccessful in finding someone who is interested.

The only physical modification done to the building was in 1956 when an addition was added to the existing church. The church building is still in fair condition today.

Based on a review of the rezoning application and supporting documentation submitted by the applicant, a review of the applicable Master Plan documents, current zoning and recent development trends in the area, the Planning Dept. finds that the applicant meets the established ordinance requirements to qualify for a rezoning of the property from TZ-1 (Transitional Zone 1) to TZ-2 (Transitional Zone 2) to permit the adaptive reuse of the building for office/commercial use. Given the recommendations of the Master Plan and the 2016 Plan, the existing mix of uses in the immediate neighborhood, and given the age and character of the building, the proposal to adaptively reuse the building is appropriate and compatible with the area. The Planning Board will make a recommendation to the City Commission and the City Commission shall make the final determination on whether this potential rezoning should be approved.

Mr. Boyle asked what design oversight there might be with this building if it was rezoned to TZ-2. Ms. Ecker replied that just the design of the building would go to the Design Review Board or come to the Planning Board for review. If they are going to propose over 3,000 sq. ft. of office use, it will come to the Planning Board because it would require a SLUP which would bring in all of the design elements as well as the signage. Then it would go to the City Commission for the final decision.

In response to Mr. Koseck, Ms. Ecker said the applicant has the option to seek a use variance for the building. The Chairman asked about the difference between TZ-1 and TZ-2 with regard to massing and height. Ms. Ecker advised that TZ-1 allows three stories and 35 ft. in height with a minimum of two stories. In TZ-2 only a two-story maximum is allowed.

Ms. Ecker explained for Mr. Boyle that there is no requirement that there must be a mix of uses on a transitional zoned property.

Mr. Williams said a question for the City Attorney would be whether the site can be rezoned to TZ-2 with the condition that the building structure remain the same. Ms.



Ecker noted the Planning Board at this level has not made a recommendation to go down the conditional rezoning path.

The applicant, Mr. Sam Surnow, 320 Martin, said they have spent a lot of time over the last three years trying to figure out what to do because they acquired the property before it was rezoned to TZ-1. Based on feedback from all of the neighbors and the different departments, they have been guided in the direction of rezoning the existing building for office use. They feel it is the best choice. It seems that a residential development would have the potential to change the impact on the neighborhood. On-site parking will be needed to be marketable and to attract tenants. Therefore they will have to take away a few thousand feet in the lower level to make room for ten or fifteen parking spaces. Then, after taking away the common areas, the office space left will be much less than 16,000 sq. ft.

Mr. Surnow stated that they decided not to apply for a use variance with the BZA because having a use variance in a TZ-1 Zone that is meant for residential use only would be contradictory. Also if the City could have rezoned to TZ-2 which didn't exist at the time, it probably would have. They don't have an issue with coming up with an agreement stating they will preserve exactly what is there if the City Commission requested that.

Mr. Kevin Biddison, 320 Martin, added they are excited hopefully to be involved in another project with the Surnows. This is really a similar challenge to what they did with the post office and they are looking to do some of the very same things and create multi-uses for smaller businesses which can tuck into the very unusual nature of the building.

No one from the public came forward with comments at 8:38 p.m.

Mr. Boyle observed that office space is changing. He hoped this iconic building will be redesigned and repurposed in such a way that it can accommodate the contemporary office and how it is going to operate. Also, he thought a mixed use in some shape or form might enliven this street.

Mr. Koseck noted this is a unique building on a challenging site. The Chester Parking Structure is least used so the project could help to populate that. These developers have a proven track record and he is in favor of the proposal to rezone.

**Motion by Mr. Koseck**

**Seconded by Mr. Boyle to recommend approval to the City Commission for the rezoning of 191 N. Chester from TZ-1 (Transitional Zone 1) to TZ-2 (Transitional Zone 2).**

Chairman Clein thought the adaptive reuse that is being proposed is awesome and the rezoning to facilitate that makes perfect sense. However he has concerns about rezoning, and that means ten years from now the building could be razed and a 17,000 sq. ft. site could turn into 30,000 sq. ft. of something. He leans toward approving the

request because he feels this is a fantastic project but he thinks the Commission needs to weigh those concerns.

At 8:43 p.m. there were no comments from the members of the public on the motion.

**Motion carried, 6-0.**

ROLLCALL VOTE

Yeas: Koseck, Boyle, Clein, Jeffares, Lazar, Williams

Nays: None

Absent: Whipple-Boyce

**BIRMINGHAM CITY COMMISSION MINUTES  
OCTOBER 16, 2017**

**VI. NEW BUSINESS 10-267-17**

**PUBLIC HEARING TO CONSIDER THE REZONING OF 191 N.CHESTER FROM TZ1 TO TZ2**

From City Planner Ecker's staff report to City Manager Valentine dated October 6, 2017:

The property owner of 191 N. Chester (The First Church of Christ, Scientist), is requesting the rezoning of the property from TZ-1 (Transitional Zone 1) to TZ-2 (Transitional Zone 2) to allow office use. The subject site is located on the west side of N. Chester, with single family homes to the north and office/commercial buildings to the south (Integra Building) and east (McCann Worldgroup Building). The subject property is currently zoned TZ1 (Transitional Zoning), as well as C - Community Use in the Downtown Overlay District, due to its former use as a Church. On September 13, 2017, the Planning Board conducted a public hearing to consider the requested rezoning. After much discussion, the Planning Board voted to recommend approval of the proposed rezoning to the City Commission. The applicant has submitted a letter voluntarily offering to limit the use of the property at 191 N. Chester to office use only should the rezoning to TZ2 be approved. The applicant has also submitted numerous letters of support from the surrounding property owners.

City Planner Ecker continued:

- In 2015, the Commission created TZ1 and TZ3. TZ2 was added in the past year.
- 191 N. Chester was previously zoned as R4 – Residential, and then it was re-zoned to TZ1. TZ3 allowed too many uses on the site.
- Applicant would now like the property re-zoned to TZ2. TZ2 allows uses beyond residential, which are the only uses permitted by TZ1.
- Applicant is looking to keep the exterior of the building, and to re-build the inside as office space.
- A TZ1 designation is residential, and allows for three stories and a height of thirty-five feet. A TZ2 designation allows for more uses, but it only allows for two stories and a height of thirty feet.
- When an applicant applies for re-zoning, they must submit the following information:
  - An explanation of why the re-zoning is necessary for the preservation and enjoyments of the rights of usage commonly associated with property ownership;

- An explanation of why the existing zoning classification is no longer appropriate;
- An explanation of why the proposed re-zoning will not be detrimental to the surrounding properties;
- A land survey.
- The current applicant explained that:
  - The building was determined not to be of interest to any religious institution, and also not tenable for residential adaptation.
  - Re-zoning the building for office use would preserve the current building, does not change the character of the neighborhood, and creates less traffic than a possible residential re-use.
- Planning staff performed a review of the application's adherence to existing zoning and Master Planning requirements for the site, an analysis of existing uses of the property within the general area, the suitability of the property in question to the uses permitted under the existing zoning classification, and the general trend of development in the area of the property in question, including any changes that have taken place in the zoning classification.
- This area is considered part of a commercial piece on the edge of downtown, which according to the 1980 Master Plan "should be restricted to office and low intensity commercial use" whenever possible. The currently submitted application is in line with this goal.
  - This area is also zoned according to the Downtown Birmingham 2016 Plan as C – 5 October 16, 2017 Community, which requires the City to retain and enhance the character and vitality of downtown, and make sure new architecture is compatible with old. Keeping the exterior of the building, as proposed in the application, is also in line with this goal.
  - The Zoning Ordinance states that "the purpose of the Zoning Ordinance is to guide the growth and development of the City, in accordance with the goals, objectives, and strategies stated within the Birmingham Future Land Use Plan and the 2016 Plan." The adaptive re-use proposed by the applicant supports the City's growth, development, and re-use, and maintains the character of the neighborhood.
  - Since there is a four-story office building to the south, the McCann Building to the east, and single family residential homes to the north and west, this proposed zoning change could be considered transitional between the high density commercial business district on one side and the single-family low density residential on the other side.
  - With the current TZ1 zoning, the building in question could not be used for a religious institution without a use variance, since it is restricted to residential use.
  - Several changes have occurred to office buildings in the area, and the only rezoning in the area was the change of this building's zoning designation from R4 to TZ1.
- Upon review of the aforementioned information, the Planning Department and the Planning Board recommended that 151 N. Chester be re-zoned from TZ1 to TZ2. The Commission should also consider whether to accept the applicant's offer to restrict the use to office and commercial use only.

City Planner Ecker confirmed for Commissioner Hoff that 151 N. Chester is historical, but is not a historically-designated building, and that the parking would be built out into the basement of the building. City Planner Ecker also confirmed that if this re-zoning is granted, a much larger building could be built in this building's stead later on.

Mayor Nickita explained that conditional zoning is a possibility in order to address concerns of what would be allowed, although the Commission has not taken that route before.

City Attorney Currier confirmed for Commissioner DeWeese that if any further construction were to occur in the future after this re-zoning, the construction would still need to adhere to both the greater zoning and whatever conditional zoning the Commission may apply.

City Planner Ecker confirmed for Mayor Pro Tem Harris that a Special Land Use Permit (SLUP) would be required for this use, and City Attorney Currier confirmed that if the building were to change hands, the conditions of the SLUP would have to be followed or they would need to be amended by the Commission at the request of the new owner.

Mayor Nickita opened the public hearing at 8:12 p.m.

Sam Surnow of the Surnow Company (320 Martin Street) explained that while many possibilities for the building were explored, the conclusion was that the building would need to be torn down in order to adhere to TZ1. The Surnow Company met with the building's neighbors in March to solicit feedback, and the neighborhood overwhelmingly expressed its desire to keep the building. Mr. Surnow explained that:

- Of the 16,000 sq. ft., an estimated 3,000 and 4,000 sq. ft. will be used for parking while the rest of the building is maintained;
- The Surnow Company would be willing to restrict traffic exiting the building so that employees could only make a right onto Chester;
- Fire suppression would be included in the parking lot, the building would be made wheelchair-accessible, and it would be brought up to code.

Mr. Biddison, the architect on this project from Biddison Architecture, explained:

- That the main floor would be maintained as public space, with former mechanical spaces being repurposed as storage for office users;
- The trusses may be changed from the inside into an additional useable level;
- An elevator would be added;
- Some stairs would be re-configured;
- And the windows would be maintained, but the floors would be re-positioned so the windows are at an appropriate height.

Mr. Biddison confirmed for Commissioner DeWeese that the parking lot would include about twelve spaces.

City Planner Ecker confirmed for Commissioner Hoff that:

- The Surnow Company can keep the existing roof lines within TZ2 because the building is grandfathered in, even if they decide to build up into the trusses to create a level.
- If the conditional zoning is not accepted, either a church or food and drink establishment could go into the building with a SLUP.
- The Surnow Company is considering permanent offices, not bistro offices similar to an application submitted by a previous group.

Lauren Stein spoke in support of the proposed project and re-zoning by the Surnow Company.

Susan Martin wholly supported renovating the existing building with the conditional zoning for business use only.

Mayor Nickita closed the public hearing at 8:36 p.m.

City Planner Ecker explained to Commissioner Hoff that information on traffic pattern changes will not be available until after re-zoning is approved.

**MOTION:** Motion by Commissioner DeWeese, seconded by Commissioner Bordman: To approve the rezoning of 191 N. Chester from TZ1 (Transitional Zoning) to TZ2 (Transitional Zoning) as recommended by the Planning Board on September 13, 2017 with the conditions as outlined in the letter dated October 5, 2017 from Chester Street Partners, LLC, A Surnow Company.

Mayor Nickita clarified that Birmingham does not usually re-zone in response to developer requests, but that this is a unique situation because:

- The requested zoning designation did not exist at the original time of zoning;
- To maintain the current zoning would essentially require the demolition of the current building and the construction of a higher density space, which is counter to Birmingham's goals, and;
- The Surnow Company offered to take on additional conditional zoning in order to maintain the intended use category long-term.

VOTE:           Yeas, 7  
                       Nays, 0  
                       Absent, 0

CITY OF BIRMINGHAM  
REGULAR MEETING OF THE PLANNING BOARD  
WEDNESDAY, JANUARY 24, 2018  
**City Commission Room**  
**151 Martin Street, Birmingham, Michigan**

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Minutes of the regular meeting of the City of Birmingham Planning Board held on January 24, 2018. Chairman Scott Clein convened the meeting at 7:30 p.m.

**Present:** Chairman Scott Clein; Board Members Robin Boyle, Stuart Jeffares, Bert Koseck, Vice-Chairperson Gillian Lazar, Janelle Whipple-Boyce, Bryan Williams

**Also Present:** Nasseem Ramin

**Absent:** Alternate Board Member Daniel Share; Student Representatives Ariana Afrakhteh, Isabella Niskar

**Administration:** Matthew Baka, Sr. Planner  
Nicholas Dupuis, Planning Intern  
Carole Salutes, Recording Secretary

**01-16-18**

**2. 191 N. Chester (Church of Christ, Scientist, renamed The Jeffrey)  
Request for approval of the Final Site Plan and Design to allow for  
exterior design and site changes to the existing building to convert to  
office use larger than 3,000 sq. ft. in size**

Mr. Dupuis explained the 0.40 acre subject site is located at the corner of Chester and Willits on the outer edge of Downtown Birmingham. The Planning Board recommended approval to the City Commission for a rezoning from TZ-1 to TZ-2 on September 13, 2017 to allow the former Church of Christ Scientist building to permit office use.

The City Commission approved the request for a rezoning to TZ-2. The transformed office building is proposed to contain 16,493 sq. ft. of office space. The Zoning Ordinance limits tenants of an office building to 3,000 sq. ft. per tenant in the TZ-2 District. The proposed floor plans for the renovated office building show three tenant lease spaces, all of which will be over the permitted 3,000 sq. ft. Thus, the applicant is seeking a SLUP to allow for three office tenants to each exceed 3,000 sq. ft. in area. A highlight of the proposed transformation of the former Church use to an office use is the proposed 1,355 sq. ft. addition to the front of the building. Along with the design of an overhead garage door off of Willits, a new roof, new windows, and new paint, a new lobby addition will create an entirely new look for the building.

Based on Article 4, section 4.20 of the Zoning Ordinance, the applicant is required to have two street trees along N. Chester and five street trees along Willits. ***Thus, the applicant must add an additional tree along Willits or obtain a waiver from the Staff Arborist.***

The Dept. of Public Services states that instead of Sweet Gums along Chester St., they require a different variety of tree for this location due to the fruit of the species and the proximity to the sidewalks. Also, irrigation should be installed.

The proposed development contains 16,493 sq. ft. of office space, thus is required to provide one off-street loading space. The applicant has not proposed an off-street loading space. ***Therefore, the applicant must submit revised plans showing the placement and measurements of one off-street loading space, or obtain a variance from the Board of Zoning Appeals ("BZA").***

#### *Design Review*

The transformation from Church to office will include the removal of the existing porch and entry to create an addition on the front of the building to be used as the primary entryway to the building, bringing it to the property line. There will also be repairs done and paint (SW 7069 Iron Ore) added to the existing masonry, a new quartz -zinc metal roof, a new garage with a 10 ft. x 8 ft. garage door (material and color unknown), and new windows added to the building. Some material samples and colors have been provided at this time, but the missing details must be provided.

For the new addition, the applicant is proposing new grey brick (manufacturer unknown), quartz -zinc metal paneling for coping and roofing, an aluminum clear glass window system, and a new anthra-zinc metal canopy in black for the new front entrance. This will modernize the front of the building and give it more of an office building look, as opposed to a Church look. The proposed addition will bring the building to the property line and the building's street presence will match that of the McCann Building to the east and the Integra Building to the south.

The original building will be painted charcoal grey (SW 7069 Iron Ore) and have a new grey standing seam metal roof, along with 24 new clear glass windows/doors. The applicant is also proposing to create three new patios on the property, one off of the new addition, one off of the back of the building at the first floor, and finally, one on the second floor. The patio proposed with the addition will be enclosed with a powder coated aluminum railing. The other patios will be enclosed with an aluminum and tempered glass railing system. Article 3, Section 3.04 of the Zoning Ordinance requires balconies, railings and porch structures to be wood, metal, cast concrete, or stone. ***The applicant will need to submit revised plans showing a railing made of metal, wood, cast concrete, or stone, or obtain a variance from the BZA.***

The applicant is not proposing any signage at this time. The applicant has provided window samples showing clear glass with a visual light transmittance of 80% for the new windows.



Mr. Williams received confirmation that the applicant may have to come back for a SLUP amendment when the tenants and signage are identified.

Mr. Jeffares noted there are sterile cultivars of Sweet Gum trees that do not have fruit. Mr. Baka said the applicant would have to talk to the arborist and work that out.

Mr. Boyle felt that adding street furniture does not help in that particular location. Mr. Jeffares said he cannot fathom not having a bike rack on the property, assuming the building has been named after Jeffrey Surnow. There was general agreement on the bike racks.

Mr. Kevin Biddison, Biddison Architecture, 320 Martin, thought the adjustments that are planned will greatly improve the building. The tenant signage will go on the main brick frontage on the Chester side. There is an existing ground sign on the property but they do not know if it is something they would request.

Mr. Sam Surnow, the developer, 320 Martin, agreed there is no other location for signage other than on Chester.

There were no comments from the public at 8:15 p.m.

**Motion by Ms. Whipple-Boyce**

**Seconded by Mr. Williams to recommend APPROVAL the Final Site Plan and Special Land Use Permit to the City Commission for 191 N. Chester, The Jeffrey, with the following conditions:**

- 1. The applicant must add an additional tree along Willits, or obtain a waiver from the Staff Arborist;**
- 2. The applicant replace the proposed Sweet Gum trees along Chester and provide irrigation for trees;**
- 3. The applicant must submit revised plans showing the placement and measurements of one off-street loading space, or obtain a variance from the BZA;**
- 4. The applicant will need to submit revised plans showing a railing made of metal, wood, cast concrete, or stone, or obtain a variance from the BZA; and**
- 5. The applicant add bike racks.**

Ms. Whipple-Boyce and Mr. Koseck thought the applicant did a great job with the front of the building. Mr. Williams added this is great utilization of an existing structure.

There were no comments from the public on the motion.

**Motion carried, 7-0.**

**VOICE VOTE**

Yeas: Whipple-Boyce, Williams, Boyle, Clein,

Jeffares, Koseck, Lazar

Nays: None

Absent: None



**Zoning Compliance Summary Sheet  
Final Site Plan Review  
191 N. Chester**

**Existing Site:** Church of Christ, Scientist

Zoning: TZ-2, Transitional Zone 2 & C, Community

Land Use: Commercial

**Existing Land Use and Zoning of Adjacent Properties:**

	<b>North</b>	<b>South</b>	<b>East</b>	<b>West</b>
<b>Existing Land Use</b>	Residential	Commercial	Commercial	Residential
<b>Existing Zoning District</b>	R-2, Single-Family Residential	TZ-3, Transitional Zone 3	B-4, Business Residential	R-2, Single-Family Residential
<b>Overlay Zoning District</b>	N/A	D-4	D-4	N/A

**Land Area:** Existing: 0.40 acres (17,370 ft<sup>2</sup>)  
Proposed: 0.40 acres (17,370 ft<sup>2</sup>)

**Dwelling Units:** Existing: 0  
Proposed: 0

**Minimum Lot Area/Unit:** Required: N/A  
Proposed: N/A

**Min. Floor Area /Unit:** Required: N/A  
Proposed: N/A

**Max. Total Floor Area:** Required: N/A  
Proposed: N/A

<b>Min. Open Space:</b>	Required:	N/A
	Proposed:	N/A
<b>Max. Lot Coverage:</b>	Required:	N/A
	Proposed:	N/A
<b>Front Setback:</b>	Required:	0-5 ft.
	Proposed:	0 ft.
<b>Side Setbacks</b>	Required:	0 ft. from interior side lot line 10 ft. from side lot line abutting a single family district
	Proposed:	<b>No changes proposed.</b> (7 ft. from abutting single family district, 0 ft. along Willits)
<b>Rear Setback:</b>	Required:	10 ft. 20 ft. abutting single family zoning district
	Proposed:	<b>No changes proposed.</b> (30 ft.)
<b>Min. Front+Rear Setback</b>	Required:	N/A
	Proposed:	N/A
<b>Max. Bldg. Height:</b>	Permitted:	30 ft., 2 stories
	Proposed:	<b>No changes proposed.</b> (35 ft., 2 stories)
<b>Min. Eave Height:</b>	Required:	N/A
	Proposed:	N/A
<b>Floor-Ceiling Height:</b>	Required:	14 ft.
	Proposed:	<b>No changes proposed.</b>
<b>Front Entry:</b>	Required:	N/A
	Proposed:	N/A
<b>Absence of Bldg. Façade:</b>	Required:	N/A
	Proposed:	N/A
<b>Opening Width:</b>	Required:	N/A
	Proposed:	N/A
<b>Parking:</b>	Required:	None required, Parking Assessment District
	Proposed:	11 total - 8 within proposed garage, 3 existing
<b>Min. Parking Space Size:</b>	Required:	180 ft <sup>2</sup>
	Proposed:	180 ft <sup>2</sup>

<b>Parking in Frontage:</b>	Required:	N/A
	Proposed:	N/A
<b>Loading Area:</b>	Required:	1 (40' x 12' x 14')
	Proposed:	0
<b>The applicant must submit plans showing a screened loading space measuring 40 x 12 x 14 or obtain a variance from the Board of Zoning Appeals.</b>		
<b>Screening:</b>		
<u>Parking:</u>	Required:	6 ft. masonry screen wall
	Proposed:	8 spaces fully screened within building 3 existing unscreened legal, non-conforming parking spaces
<u>Loading:</u>	Required:	6 ft. masonry screen wall
	Proposed:	None proposed
<b>The applicant must submit plans showing the screening details for one off-street loading space, or obtain a variance from the Board of Zoning Appeals.</b>		
<u>Rooftop Mechanical:</u>	Required:	Full screening to compliment the building
	Proposed:	Fully screened by existing parapet and building structure.
<u>Elect. Transformer:</u>	Required:	Fully screened from public view
	Proposed:	No transformer is proposed on the property.
<u>Dumpster:</u>	Required:	6 ft. high capped masonry wall with wooden gates
	Proposed:	Fully screened by building.



PROPOSED RENOVATION AND NEW ADDITION FOR:

# THE JEFFREY

## CONDITIONS OF WORK

### CONSTRUCTION COORDINATION:

1. ALL CONTRACTORS SHALL REVIEW ALL DRAWINGS & ARE RESPONSIBLE FOR A COMPLETE REVIEW & SITE VISIT. ITEMS AFFECTING ALL TRADES ARE PLACED THROUGHOUT SET & NO "EXTRAS" FOR MISSED ITEMS IN OTHER SECTIONS WILL BE PERMITTED. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT OF ANY AMBIGUITY, INCONSISTENCY OR ERRORS WHICH THEY DISCOVER UPON EXAMINATION OF DOCUMENTS, THE SITE OR LOCAL CONDITIONS.
  2. ANY CONTRACTOR OR SUBCONTRACTOR BY SUBMITTING A BID WARRANTS THAT HE HAS VISITED THE SITE AND IS AWARE OF ANY AND ALL SITE CONDITIONS AFFECTING HIS BID.
  3. THE CONTRACTOR BY COMMENCING WORK ACCEPTS THE CONDITIONS OF THE SITE & THE COMPLETENESS OF CONTRACT DOCUMENTS.
  4. FIELD VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT. DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY.
  5. ANY MATERIAL OR LABOR NEITHER SHOWN ON THE DRAWINGS NOR SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK IN A WORKMANLIKE MANNER SHALL BE FURNISHED WITHOUT COST TO THE OWNER.
  6. ALL MATERIALS FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR SHALL BE FREE FROM DEFECTS. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF (1) YEAR FROM DATE OF ACCEPTANCE OF WORK. DURING THIS PERIOD THE GENERAL CONTRACTOR SHALL CORRECT ANY PROBLEMS DUE TO DEFECTIVE MATERIALS OR FAULTY WORKMANSHIP AT NO COST TO THE OWNER. ANY PROBLEM THAT OCCURS DURING CONSTRUCTION SHALL IMMEDIATELY BE CORRECTED TO THE SATISFACTION OF THE OWNER.
  7. NO SUBSTITUTIONS OF SPECIFIED MATERIAL OR EQUIPMENT WILL BE ACCEPTED UNLESS WRITTEN REQUEST FOR APPROVAL HAS BEEN RECEIVED BY THE ARCHITECT AND CONTRACTOR HAS RECEIVED WRITTEN APPROVAL FROM ARCHITECT.
  8. DURING AND AT THE COMPLETION OF THE CONTRACTOR'S DAILY WORK, CONTRACTOR IS RESPONSIBLE FOR THE CLEANING UP AND REMOVAL OF ALL RUBBISH AND DEBRIS BEFORE LEAVING THE PROJECT JOB SITE.
- PERMITS & SAFETY:
1. GENERAL CONTRACTOR SHALL APPLY & SUBMIT FOR BUILDING PERMIT.
  2. GENERAL CONTRACTOR SHALL OBTAIN "ALL RISK" INSURANCE AND ALL CUSTOMARY STATUTORY INSURANCE FOR COMPREHENSIVE GENERAL LIABILITY, ETC. AS REQUIRED BY OWNER/LANDLORD.
  3. GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF WORK, MATERIALS, FIXTURES, ETC. IN LEASED SPACE FROM LOSS OR DAMAGE FROM FIRE, THEFT OR VANDALISM.
  4. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA). THE FOLLOWING ARE STRICTLY PROHIBITED WORK PRACTICES:
    - A. ANY COMBUSTIBLE MATERIALS ABOVE FINISHED CEILING OR IN ANY NON-SPRINKLED LOCATIONS.
    - B. IMPOSING ANY STRUCTURAL LOAD, TEMPORARY OR PERMANENT ON ANY PART OF THE LANDLORD'S WORK OR STRUCTURE WITHOUT PRIOR WRITTEN APPROVAL.
    - C. CUTTING ANY HOLES IN LANDLORD'S EXISTING FLOOR SLABS, WALLS OR ROOF WITHOUT PROPER APPROVAL'S PROPER APPROVALS FROM LANDLORD. BEFORE STARTING ANY UNDERSLAB WORK CONTRACTORS MUST CHECK WITH THE LANDLORD OR SUPERINTENDENT OF THE LANDLORD'S GENERAL CONTRACTOR TO DETERMINE IF ANY COMMON UTILITY OR OTHER TENANT UTILITY LINES EXIST WITHIN THE SPACE.

### CODE COMPLIANCE:

1. WORK INDICATED IS TO BE EXECUTED IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES.
2. FIRE EXTINGUISHERS SHALL BE PROVIDED BY G.C. AND INSTALLED PER THE FIRE MARSHALL'S INSTRUCTIONS.
3. ALL WALL FINISHES TO MEET CLASS III FLAME SPREAD RATINGS IN ACCORDANCE WITH MBC-2015 CHAPTER 8.
4. INTERIOR FINISHES IN EXIT ACCESS CORRIDORS, OTHER EXIT WAYS, ROOMS, AND ENCLOSED SPACES IN USE GROUPS "B" AND "S" IN SPRINKLED BUILDINGS ARE REQUIRED TO HAVE AT LEAST A CLASS C FLAME SPREAD 76-200, SMOKE DEVELOPED 0-450, RATING AS LISTED IN THE 2015 MICHIGAN BUILDING CODE.
5. SAFETY GLAZING MUST HAVE PERMANENT IDENTIFICATION IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE.
6. ALL REQUIREMENTS OF THE MICHIGAN BARRIER FREE ACT & THE AMERICANS WITH DISABILITIES ACT SHALL BE MAINTAINED TO COMPLY WITH ICC/A117.1-2009.
7. ALL OFFICE FURNITURE & EQUIPMENT TO BE PROVIDED BY TENANT. SHOWN FOR LAYOUT PURPOSES ONLY. TO COMPLY WITH ADA-ICC/A117.1-2009 (TYP.) REQUIREMENTS, A MINIMUM OF 5%, BUT NOT LESS THAN (1) OF THE LUNCHROOM TABLES AND EMPLOYEE WORKSTATIONS (CUBICLES) SHALL BE ACCESSIBLE. ACCESSIBLE TABLE AND WORKSTATION TOPS SHALL BE 28" MIN. TO 34" MAX. AFF. KNEE AND TOE CLEARANCES AS FOLLOWS SHALL ALSO APPLY. TOE: 4" MIN. HIGH, 17" MIN. TO 25" MAX. DEPTH, AND 30" MIN. WIDE. KNEE: 27" MIN. HIGH, 11" DEEP @ 9" HIGH TO 8" DEEP @ 27" HIGH, AND 30" MIN. WIDE.
8. ALL ENTRANCE AND EXIT DOORS SHALL HAVE BARRIER FREE ACCESSIBILITY TO COMPLY WITH ICC/A117.1-2009.
9. TO COMPLY WITH ADA-ICC/A117.1-2009 (TYP.) REQUIREMENTS, CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE RAMPED AND CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED A MAXIMUM OF 1:2.
10. ALL LUNCHROOM APPLIANCES TO BE PROVIDED BY TENANT. TO COMPLY WITH ADA-ICC/A117.1-2009 (TYP.) REQUIREMENTS, DISHWASHERS MUST FIT UNDER A 34" HIGH (32 1/4" CLEAR UNDER) COUNTERTOP. THE REFRIGERATOR MUST BE A SIDE-BY-SIDE OR BOTTOM FREEZER UNIT, AND ALL MICROWAVE CONTROLS TO BE NO HIGHER THAN 46" AFF. TO MEET OBSTRUCTED HIGH SIDE REACH REQUIREMENTS.
11. SIGNAGE INDICATING ACCESSIBILITY PROVISIONS SHALL BE PROVIDED AT EACH DOOR TO AN EXIT DISCHARGE. A TACTILE SIGN STATING EXIT AND COMPLYING WITH ICC/ANSI A117.1-2009 SHALL BE PLACED ADJACENT TO THE DOOR. PLEASE REFER TO SHEET A.601 FOR ADDITIONAL INFORMATION AND LOCATION.

### FIRE SUPPRESSION NOTE:

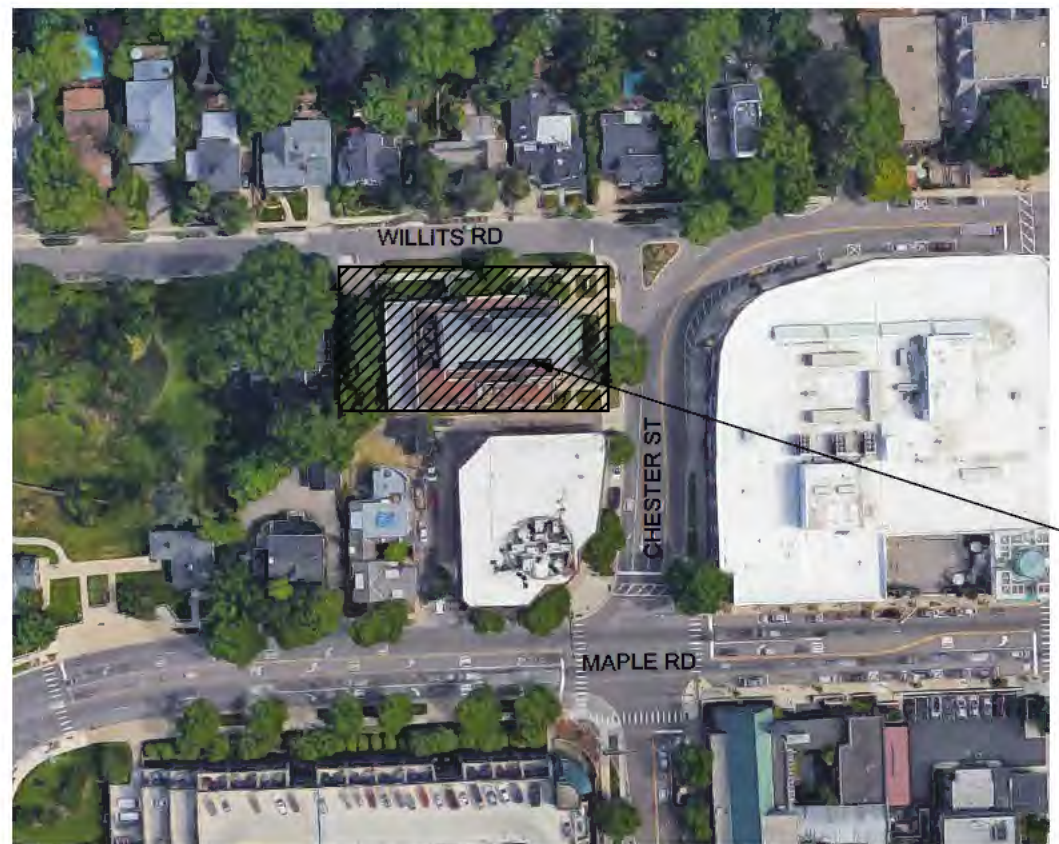
THE BUILDING IS PROVIDED WITH A FULL AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM (FIRE SUPPRESSION SYSTEM) WHICH WILL BE DESIGNED TO MEET M.B.C. REQUIREMENTS AND CITY OF BIRMINGHAM INSPECTION AND PERMIT APPROVAL. SPRINKLER CONTRACTOR SHALL BE FULLY LICENSED AND BE RESPONSIBLE FOR PREPARATION OF ENGINEERING DRAWING, SUBMISSION OF DRAWINGS TO ALL LOCAL AND STATE AGENCIES FOR APPROVAL, AND FOR COORDINATION OF REQUIREMENTS WITH OWNERS AND TENANTS INSURANCE CARRIER.

NOTE:

FIRE PROTECTION SYSTEM FOR THE BUILDING EQUAL TO ORDINARY HAZARD NFPA NO. 13 CRITERIA WITH ONE (1) 6" D.I. BUILDING SERVICE PROVIDED. PROTECTION BASED ON TENANT WAREHOUSING 12'-0" AFF.

BUILDING TO BE EQUIPPED WITH A FIRE ALARM SYSTEM (PER SPECIFICATIONS PAID FOR BY TENANT) AS REQUIRED PER NFPA 72-2015 BASED ON BUILDING OCCUPANCY.

TYPE 2A FIRE EXTINGUISHERS SHALL BE PROVIDED AND SPACED A MAX. OF 75' APART PER SECTION 906.1 OF THE 2015 INTERNATIONAL FIRE CODE AND / OR BY THE DIRECTION OF THE FIRE MARSHAL.



EXISTING BUILDING:  
191 N CHESTER ST,  
BIRMINGHAM, MI 48009



# biddison | architecture + design

320 Martin Street Suite 10  
Birmingham, MI 48009  
t:248.554.9500

Contact Person: Kevin Biddison  
e.mail: kb@biddison-ad.com

## PROJECT ADDRESS

191 N Chester St,  
Birmingham, MI 48009

ZONED: TZ-2

## APPLICANT INFORMATION

### CONTACT PERSON:

Sam Surnow  
320 Martin St, Suite 100  
Birmingham, MI 48009

### GENERAL CONTRACTOR:

Ronnisch Construction  
4327 Delemere Ct,  
Royal Oak, MI 48073

p.(248) 549-1800

## SHEET INDEX

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C2 SITE DEMOLITION PLAN  
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C4 PAVING AND GRADING PLAN  
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C6 SOIL EROSION/DRAINAGE AREA PLAN  
L1 LANDSCAPE PLAN  
D1 WATER MAIN STANDARD DETAILS  
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SP.100 EXISTING SITE IMAGES  
SP.101 ARCHITECTURAL SITE PLAN  
PP.101 PHOTOMETRIC PLAN (PREV. APPROVED)

A.100 LOWER LEVEL PLAN  
A.101 FIRST FLOOR PLAN  
A.102 SECOND FLOOR PLAN

A.201 ELEVATIONS  
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Project data	
GOVERNING CODES:	2015 MICHIGAN BUILDING CODE 2015 MICHIGAN PLUMBING CODE 2015 MICHIGAN MECHANICAL CODE 2015 MICHIGAN REHABILITATION CODE 2015 INTERNATIONAL FUEL GAS CODE MICHIGAN ELECTRICAL CODE, 2014 N.E.C. W/ PART 8 STATE AMENDMENTS ICC/ANSI A117.1-2015 AND MICHIGAN BARRIER FREE DESIGN LAW OF PUBLIC ACT 1 OF 1966 AS AMENDED. MICHIGAN UNIFORM ENERGY CODE RULES PART 10 WITH ANSI/ASHRAE/IESNA STANDARD 90.1-2015 2015 INTERNATIONAL FIRE CODE NFPA 13 - 2010 NFPA 72 - 2010
BUILDING USE GROUP(S):	BUSINESS: B
TYPE OF CONSTRUCTION:	2015 MBC: 2B (UN-PROTECTED) NFPA 220: TYPE II-000 NFPA 13: 2010 NFPA 72: 2010
ZONING SPECIAL LAND USE PERMIT COMMUNITY IMPACT STUDY & SITE PLAN REVIEW	08.29.17 01.15.18  04.13.18 Project no. 1997-17  Sheet no. T.101



**Proprietor**  
CHESTER STREET PARTNERS, LLC  
C/O THE SURNOW GROUP  
320 MARTIN ST., SUITE 100  
BIRMINGHAM, MI 48009

CONTACT: SAM SURNOW  
TEL. (248) 877-400

**Architect**  
BIDDISON ARCHITECTURE & DESIGN  
320 MARTIN STREET  
BIRMINGHAM, MI 48009  
CONTACT: KEVIN BIDDISON  
TEL. (248) 554-9500

**Civil Engineer**  
NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
CONTACT: MR. BRAD W. BRICKEL, P.E.  
TEL. (248) 332-7931  
FAX. (248) 332-8257

**Landscape Architect**  
NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
CONTACT: MR. GEORGE OSTROWSKI  
TEL. (248) 332-7931  
FAX. (248) 332-8257

City of Birmingham,  
Oakland County, Michigan  
**ENGINEERING CONSTRUCTION DOCUMENTS**  
Prepared For  
Chester Street Partners, LLC  
c/o The Surnow Group

PART OF THE SW  $\frac{1}{4}$  OF SECTION 25  
T.2N., R.10E., CITY OF BIRMINGHAM,  
OAKLAND COUNTY, MICHIGAN



LOCATION MAP

**LEGAL DESCRIPTION**  
LAND SITUATED IN THE CITY OF BIRMINGHAM, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

THE NORTH 96.50 FEET OF LOTS 14, 15 AND 16 OF WILLETS' ADDITION TO THE CITY OF BIRMINGHAM, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 3 OF PLATS, PAGE 6, OAKLAND COUNTY RECORDS.

ADDRESS: 191 N. CHESTER STREET, BIRMINGHAM, MI 48009

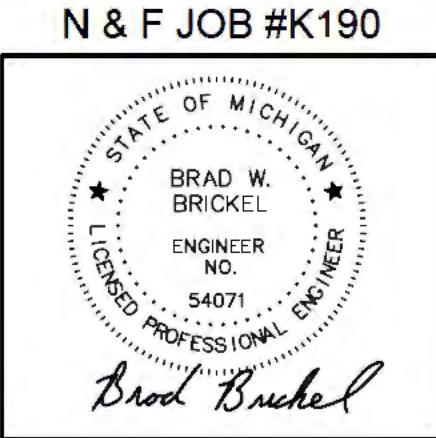
TAX ID NO. 19-25-356-023

SHEET INDEX	
C0	Cover Sheet
C1	Boundary / Topographic / Tree Survey
C2	Demolition Plan
C3	Stringer & Dimension Plan
C4	Paving & Grading Plan
C5	Utility Plan
C6	Soil Erosion / Drainage Area Plan
L1	Overall Landscape Plan
D1	Birmingham Standard Sewer Details
D2	Birmingham Standard Water Main Details

REVISIONS:	
03-16-18	ISSUED FOR ENGINEERING REVIEW

Project Name

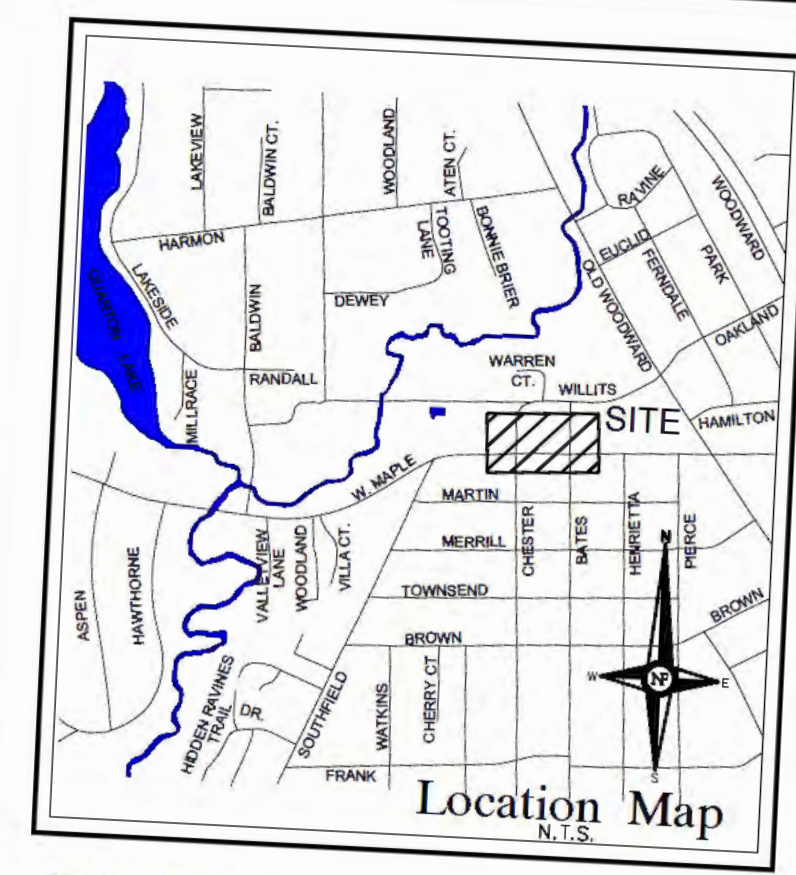
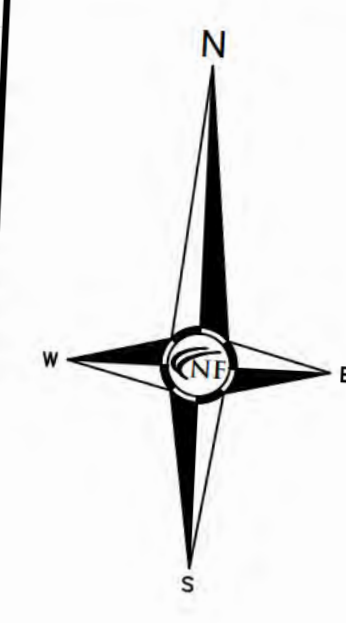
**The Jeffery**  
**191 N. Chester Street**



**NF**  
**ENGINEERS**  
CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS  
NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257



Tree Inventory List						
Job Number:	K190					
Job Location:	191 N Chester St, Birmingham, MI					
Client	The Surnow Group					
Condition Description Notes:						
"Good" - no observed structural defects"						
"Fair" - minor structural defects, marginal form, some insect activity noted"						
"Poor" - major structural defects, poor form, insect infestation"						
*Structural defects may include decayed wood, cracks, root problems, weak branch unions cankers, poor tree architecture, dead/dying branches due to various causes.						
Tree #	Botanical Name	Common Name	Dia.	Type	Other Dia.	Condition
1	Pinus strobus	Eastern White Pine	14			Good
2	Pinus strobus	Eastern White Pine	15			Good
3	Pinus strobus	Eastern White Pine	18			Good
4	Pinus strobus	Eastern White Pine	13			Good
5	Pinus strobus	Eastern White Pine	12			Good
6	Thuja occidentalis	Northern White-cedar	7			Good
7	Thuja occidentalis	Northern White-cedar	6			Good
8	Juglans nigra	Black Walnut	22			Good
9	Thuja occidentalis	Northern White-cedar	8			Good
10	Thuja occidentalis	Northern White-cedar	12			Good
11	Amelanchier spp.	Serviceberry	4	Multiple	4, 4, 4	Good
12	Ulmus spp.	Elm spp.	12			Good
13	Cornus florida	Flowering Dogwood	6	Multiple	6, 5, 3	Good
14	Pyrus calleryana	Bradford Pear	7			Good
15	Gleditsia triacanthos	Honeylocust	18			Good



**NF ENGINEERS**  
 CIVIL ENGINEERS  
 LAND SURVEYORS  
 LAND PLANNERS

NOWAK & FRAUS ENGINEERS  
 46777 WOODWARD AVE.  
 PONTIAC, MI 48342-5032  
 TEL. (248) 332-7931  
 FAX. (248) 332-8257

**SITE DATA**  
 SITE AREA:  
 17,370.00 SQUARE FEET OR 0.398 ACRES

**ZONING:**  
 TZ-1, TRANSITIONAL ZONING 1

**PARKING SPACES:**  
 3 STRIPED PARKING SPACES

THE CLIENT DID NOT PROVIDE THE SURVEYOR WITH A ZONING REPORT AT THE TIME OF THE SURVEY. THEREFORE NO ADDITIONAL INFORMATION CAN BE PROVIDED.

**LEGAL DESCRIPTION**

LAND SITUATED IN THE CITY OF BIRMINGHAM, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

THE NORTH 96.50 FEET OF LOTS 14, 15 AND 16 OF WILLETTS' ADDITION TO THE CITY OF BIRMINGHAM, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 3 OF PLATS, PAGE 8, OAKLAND COUNTY RECORDS.

ADDRESS: 191 N. CHESTER STREET, BIRMINGHAM, MI 48009  
 TAX ID NO. 19-25-356-023

**DATUM NOTE**

THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88), REFERENCED HEREON, IS ONE (1) FOOT LOWER THAN THE CITY OF BIRMINGHAM'S VERTICAL DATUM.

**FLOOD HAZARD NOTE**

THIS PROPERTY IS NOT LOCATED WITHIN THE FLOOD HAZARD AREA INDICATED BY FLOOD INSURANCE RATE MAP (FIRM) NO. 28125C0537F EFFECTIVE DATE: SEPTEMBER 29, 2006. (ZONE X)

**SNOW NOTE**

SURVEY COMPLETED UNDER SNOWY CONDITIONS, AND EXACT LOCATION OF PAVEMENT, CURBS, AND SURFACE STRUCTURES CANNOT BE GUARANTEED.

**TOPOGRAPHIC SURVEY NOTES**

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

THE SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

**MISS DIG / UTILITY DISCLAIMER NOTE**

A MISS DIG TICKET NUMBER B73540430, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY. DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON JANUARY 4, 2018. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

**CERTIFICATE OF SURVEY**

WE HEREBY CERTIFY THAT WE HAVE SURVEYED THE PROPERTY HEREON DESCRIBED.

*Kevin Navaroli*  
 KEVIN NAVAROLI, P.S. NO. 53503 DATE 1-4-2018

**LEGEND**

MAN-HOLE (MH)	EXISTING SANITARY SEWER
HYDRANT (H)	EXISTING SAN. CLEAN OUT
MAN-HOLE (MH) CATCH BASIN (CB)	EXISTING WATER MAIN
UTILITY POLE	EXISTING STORM SEWER
GUY POLE	EX. R.Y. CATCH BASIN
GUY WIRE	EX. UNDERGROUND (UG.) CABLE
OVERHEAD (OH.) LINES	LIGHT POLE
SIGN	EXISTING GAS MAIN
LANDSCAPE	CONCRETE
DETROIT EDISON	GUARD POST
SET IRON	TYPICAL
RECORD	MEASURED
CENTERLINE	CENTERLINE
WINDOW WELL	GAS METER
ELECTRIC METER	END SECTION
MAILBOX	AIR CONDITIONING UNIT
TREE TAG NUMBER	RETAINING WALL

**PROJECT**  
 The Jeffrey  
 191 N. Chester St.

**CLIENT**  
 Chester Street Partners, LLC  
 c/o The Surnow Group  
 320 Martin St., Suite 100  
 Birmingham, MI 48009

Contact: Sam Surnow  
 248.877.4000 - Phone

**PROJECT LOCATION**  
 Part of the SW 1/4  
 of Section 25  
 T.2N., R.10E.  
 City of Birmingham,  
 Oakland County, Michigan

**SHEET**  
 Boundary / Topographic /  
 Tree Survey

**811**  
 Know what's below  
 Call before you dig.

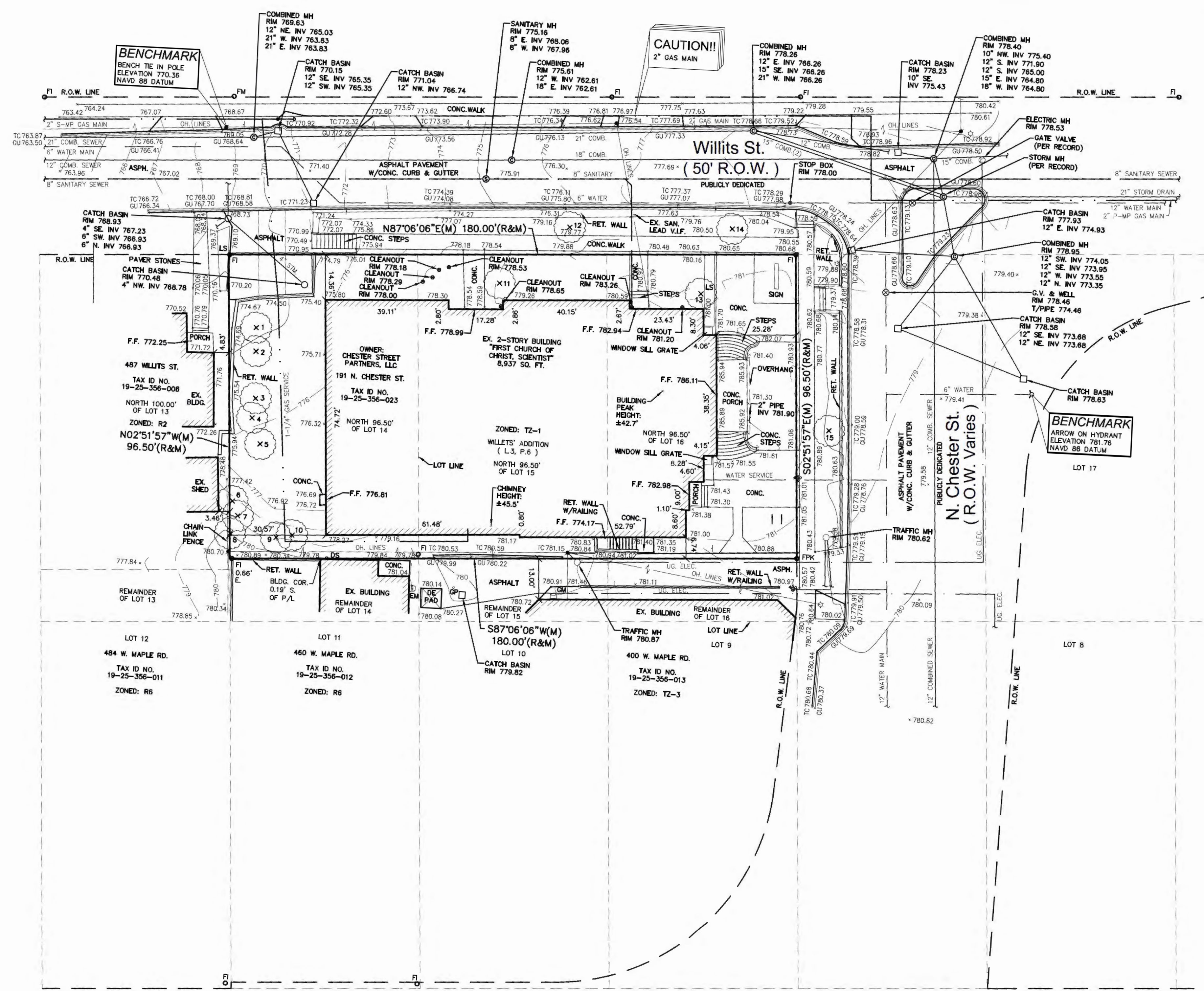
**REVISIONS**  
 03-16-18 ISSUED FOR ENGINEERING REVIEW

**DRAWN BY:**  
 M. Carnaghi

**DESIGNED BY:**  
 K. Navaroli

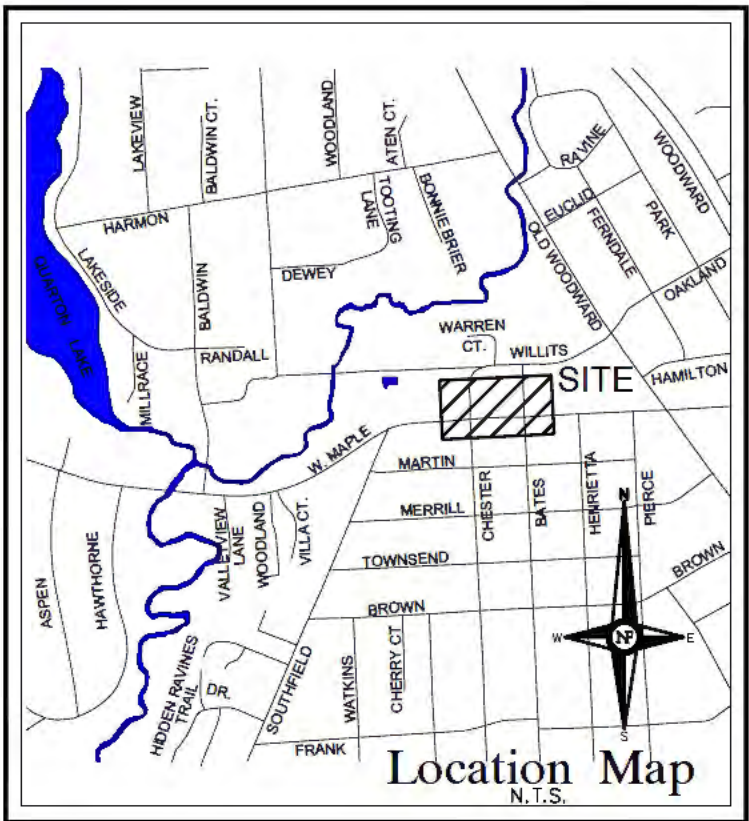
**APPROVED BY:**  
 K. Navaroli  
 DATE:  
 January 4, 2018

**SCALE:** 1" = 20'  
 20 10 0 10 20 30  
 NFE JOB NO. SHEET NO.



W. Maple Road





#### DEMOLITION NOTES

DEMOLITION OF SITE IMPROVEMENTS SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE PUBLIC AGENCY HAVING JURISDICTION OVER SAID DEMOLITION. FOR ANY DEMOLITION WITHIN PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR, AND SECURE, ALL NECESSARY PERMITS AND LIKEWISE SHALL ARRANGE FOR ALL SITE INSPECTIONS.

SITE DEMOLITION INCLUDES THE COMPLETE REMOVAL OF SITE IMPROVEMENTS AND OFF-SITE DISPOSAL. DEBRIS SHALL BE TRANSPORTED TO AN APPROPRIATE DISPOSAL FACILITY THAT IS LICENSED FOR THAT TYPE OF DEBRIS.

THE CONTRACTOR SHALL COORDINATE TRUCK ROUTES WITH THE MUNICIPALITY PRIOR TO COMMENCEMENT OF SITE DEMOLITION. ALL TRUCKS SHALL BE TARPED OR PROPERLY SECURED TO CONTAIN DEMOLITION DEBRIS PRIOR TO LEAVING SITE.

EXISTING ON-SITE UNDERGROUND UTILITIES AND BUILDING SERVICES HAVE BEEN INDICATED BASED UPON THE BEST AVAILABLE UTILITY RECORDS AND/OR ON-SITE INSPECTION. NO GUARANTEE IS MADE BY THE DESIGN ENGINEER, AS TO THE COMPLETENESS OR ACCURACY OF UTILITY DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF UTILITY INFORMATION (THE DESIGN ENGINEER MAKES NO GUARANTEE NOR ASSUMES ANY LIABILITY AS TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY DATA).

PRIOR TO THE REMOVAL OR ABANDONMENT OF ANY EXISTING UNDERGROUND UTILITY OR BUILDING SERVICE LINES CALLED FOR IN THE PLANS OR DISCOVERED DURING EXCAVATION, THE CONTRACTOR MUST DETERMINE IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE. IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE/ACTIVE, THE CONTRACTOR MUST TAKE ALL THE NECESSARY STEPS TO GUARANTEE THAT THE UTILITY LINE OR BUILDING SERVICE IS RECONNECTED WITHOUT AN INTERRUPTION IN SERVICE. THE RECONNECTION OF THE UTILITY LINE OR BUILDING SERVICE MUST BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE APPROPRIATE GOVERNMENTAL AGENCY OR PRIVATE UTILITY COMPANY.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO SITE DEMOLITION.

\* THE CONTRACTOR SHALL NOTIFY MISS DIG (1-800-482-7171) A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO THE START OF THE SITE DEMOLITION.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH THE DETROIT EDISON COMPANY. REMOVAL OF DETROIT EDISON ELECTRICAL SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF DETROIT EDISON.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH CONSUMERS ENERGY/MICHIGAN. REMOVAL OF CONSUMERS ENERGY/MICHIGAN GAS SERVICES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF CONSUMERS ENERGY/MICHIGAN.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH AMERITECH. REMOVAL OF AMERITECH COMMUNICATION SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF AMERITECH.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH THE DETROIT EDISON COMPANY. REMOVAL OF CABLE SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF THE CABLE COMPANY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF PRIVATE UTILITY COMPANIES AND COORDINATE UTILITY SERVICE SHUT OFF/DISCONNECT, PRIOR TO DEMOLITION OF EXISTING STRUCTURES OR PROPERTIES.

ALL UTILITY METERS SHALL BE REMOVED BY THE APPROPRIATE UTILITY COMPANY.

ANY ON-SITE STORM SEWER FACILITIES LOCATED DURING DEMOLITION SHALL BE REMOVED AND BULK HEADED AT THE PROPERTY LINE IF INDICATED FOR REMOVAL ON THE PLANS.

PRIOR TO BUILDING DEMOLITION, ALL HAZARDOUS MATERIAL SHALL BE REMOVED BY OTHERS. THE DEMOLITION CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER SHOULD ANY SUSPICIOUS MATERIAL BE FOUND.

WATER SERVICES AND/OR STOP-BOX SHALL BE PRESERVED AND BULK HEADED AT THE PROPERTY LINE OR AS DIRECTED BY THE OWNER'S REPRESENTATION.

WHERE EXISTING BUILDINGS PLANNED FOR DEMOLITION FALL WITHIN PROPOSED BUILDING FOOT PRINTS, BASEMENT FLOOR SLABS, FOUNDATION WALLS AND FOOTINGS SHALL BE COMPLETELY REMOVED AND BACK FILLED WITH MOIST CLASS II GRANULAR MATERIAL AND BE MACHINE COMPACTED TO A MINIMUM OF 98% OF MATERIALS MAXIMUM DENSITY.

#### NOTE

CONTRACTOR SHALL FIELD VERIFY THE EXISTING SANITARY LEAD AND TELETYPE TO DETERMINE CONDITION AND LOCATION.

#### TOPOGRAPHIC SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

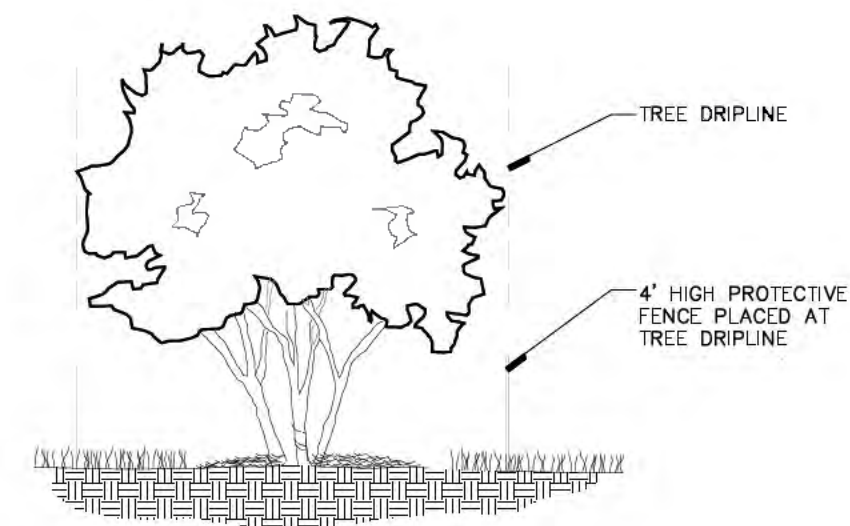
THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER

#### LEGEND

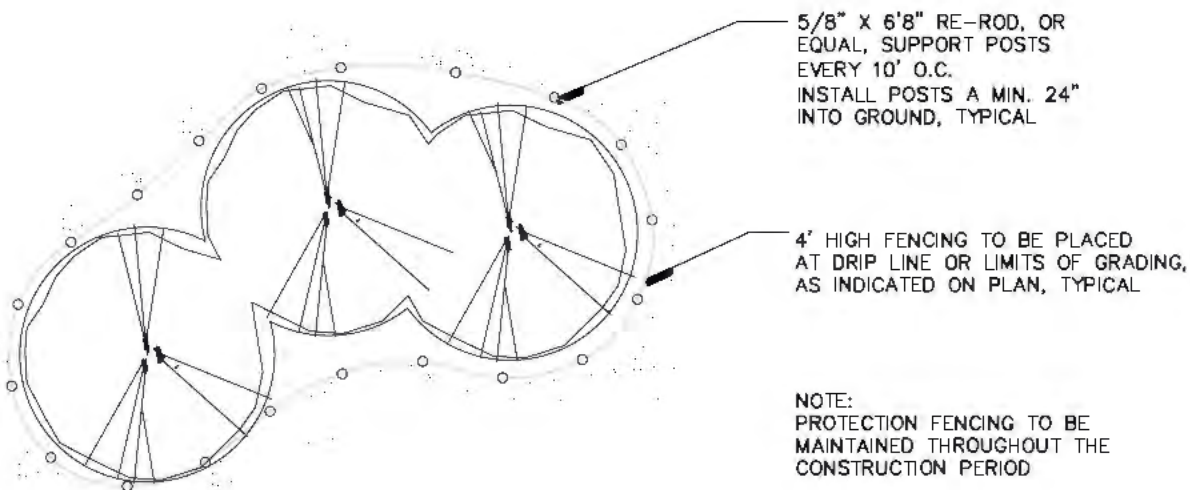
MANHOLE	EXISTING SANITARY SEWER
HYDRANT	EXISTING SAN. CLEAN OUT
MANHOLE	EXISTING WATER MAIN
CATCH BASIN	EXISTING STORM SEWER
UTILITY POLE	EX. R. Y. CATCH BASIN
GUY POLE	EXISTING BURIED CABLES
GUY WIRE	OVERHEAD LINES
LIGHT POLE	SIGN
EXISTING GAS MAIN	EXISTING UTILITY TO BE REMOVED
EXISTING UTILITY TO BE REMOVED	EXISTING UTILITY TO BE ABANDONED
12" MAPLE	INDICATES EXISTING TREE TO BE REMOVED
INDICATES AREAS OF PAVEMENT, BUILDINGS, ETC. TO BE REMOVED	

#### GENERAL TREE PROTECTION NOTES

- APPROVED TREE PROTECTION SHALL BE ERECTED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, AND SHALL REMAIN IN PLACE UNTIL THE IN PLACE UNTIL CONSTRUCTION IS COMPLETE.
- ALL UNDERSTORY VEGETATION WITHIN THE LIMITS OF PROTECTIVE FENCING SHALL BE PRESERVED.
- NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN, INCLUDING BUT NOT LIMITED TO, PLACING SOLVENTS, BUILDING MATERIALS, CONSTRUCTION EQUIPMENT, OR SOIL DEPOSITS WITHIN THE DRIP LINE. WHERE GROUPINGS OF TREES ARE TO REMAIN, TREE FENCING SHALL BE PLACED AT THE LIMITS OF GRADING LINE.
- DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY TREE, SCHEDULED TO REMAIN.
- ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING.
- SWALES SHALL BE ROUTED TO AVOID THE AREA WITHIN THE DRIP LINES OF PROTECTED TREES.
- TREES LOCATED ON ADJACENT PROPERTIES THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED.
- ROOT ZONES OF PROTECTED TREES SHOULD BE SURROUNDED WITH RIGIDLY STAKED FENCING.
- THE PARKING OF IDLE AND RUNNING EQUIPMENT SHALL BE PROHIBITED UNDER THE DRIP LINE OF PROTECTED TREES.
- THE STRIPPING OF TOPSOIL FROM AROUND PROTECTED TREES SHALL BE PROHIBITED.
- ALL TREES TO BE REMOVED SHALL BE CUT AWAY FROM TREES TO REMAIN.
- THE GRUBBING OF UNDERSTORY VEGETATION WITHIN CONSTRUCTION AREAS SHOULD BE CLEARED BY CUTTING VEGETATION AT THE GROUND WITH A CHAIN SAW OR MINIMALLY WITH A HYDRO-AXE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT PER ORDINANCE GUIDELINES, FOR THE DAMAGE OR REMOVAL OF ANY TREE DESIGNATED TO REMAIN.
- TREES TO BE REMOVED SHALL BE FIELD VERIFIED, EVALUATED AND FLAGGED FOR REMOVAL BY THE LANDSCAPE ARCHITECT OR FORESTER, ONLY AS DIRECTED BY THE OWNER OR OWNERS REPRESENTATIVE.



TREE PROTECTION DETAIL-SECTION



TREE PROTECTION DETAIL-PLAN

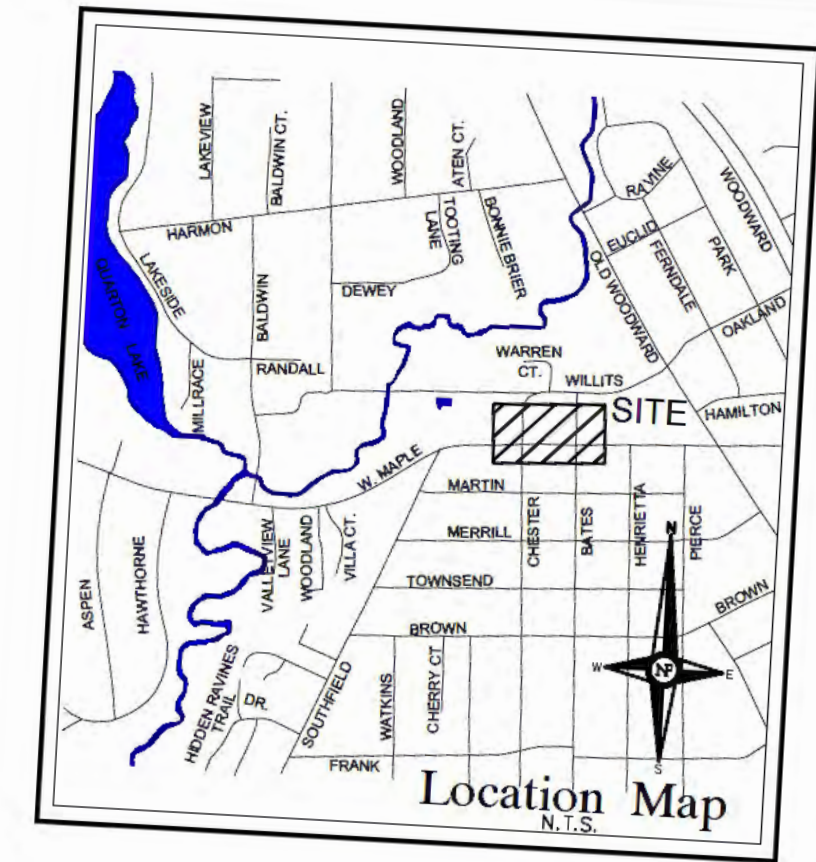
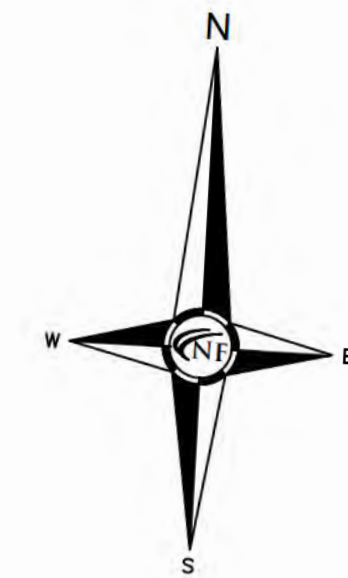
W. Maple Road

5/8" X 6" RE-ROD, OR EQUAL, SUPPORT POSTS EVERY 10' O.C. INSTALL POSTS A MIN. 24" INTO GROUND, TYPICAL.

4' HIGH FENCING TO BE PLACED AT DRIP LINE OR LIMITS OF GRADING, AS INDICATED ON PLAN, TYPICAL.

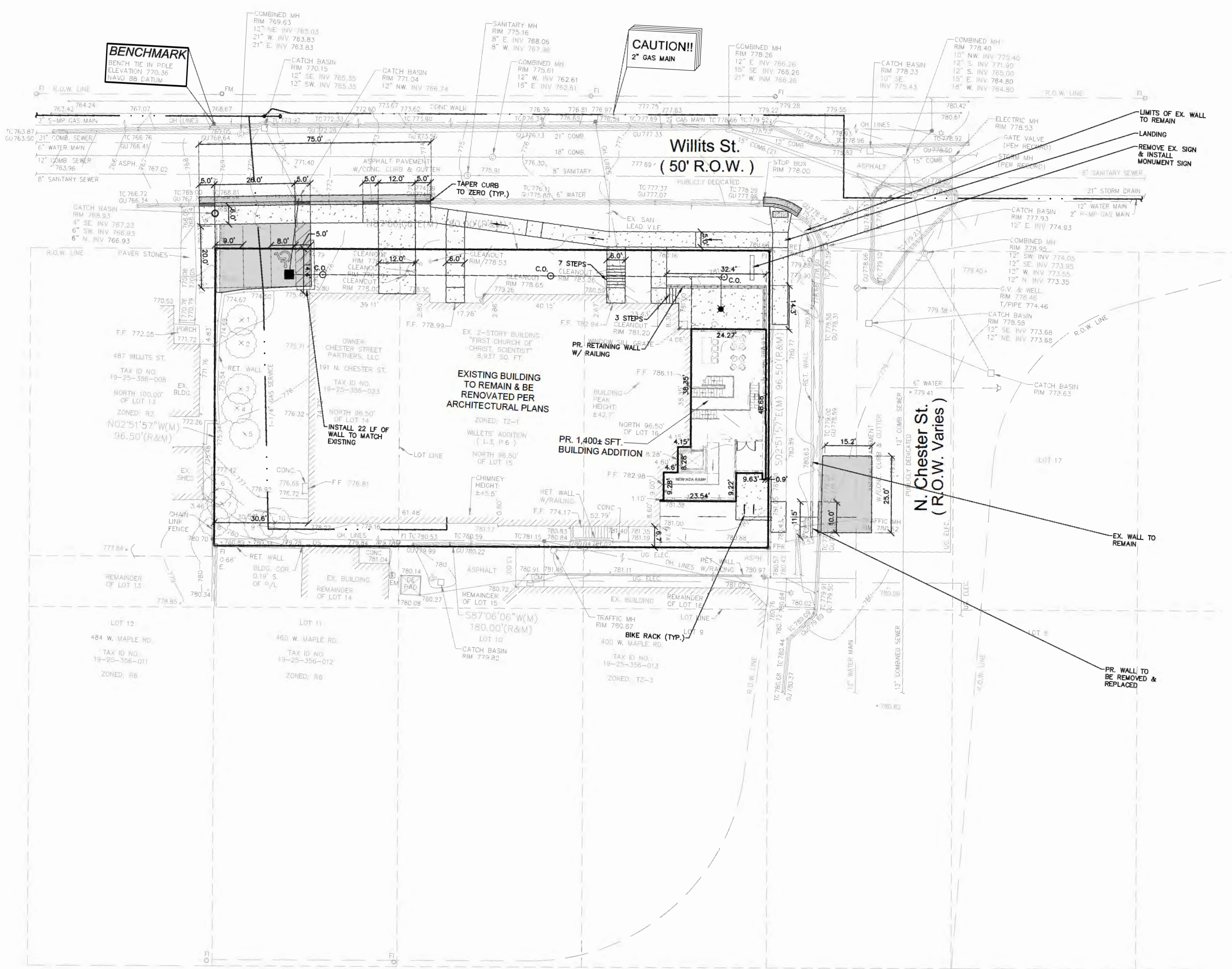
NOTE: PROTECTION FENCING TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.





**NF ENGINEERS**  
CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257



**GENERAL PAVING NOTES**  
PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

**CONCRETE:** PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

**ASPHALT:** BASE COURSE - MOOT BITUMINOUS MIXTURE NO. 1100L, 20A; SURFACE PENETRATION GRADE 85-100, RIND COAT - MOOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT SS-S164.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6\"/>

SEAL

STATE OF MICHIGAN  
BRAD W. BRICKEL  
ENGINEER  
NO. 54071  
PROFESSIONAL SEAL

*Brad Brickel*

**PROJECT**  
The Jeffrey  
191 N. Chester St.

**CLIENT**  
Chester Street Partners, LLC  
c/o The Surnow Group  
320 Martin St., Suite 100  
Birmingham, MI 48009

Contact: Sam Surnow  
248.877.4000 - Phone

**PROJECT LOCATION**  
Part of the SW 1/4  
of Section 25  
T.2N., R.10E.  
City of Birmingham,  
Oakland County, Michigan

**SHEET**  
Stringer & Dimension Plan

**SITE DATA**

SITE AREA	GRANDS/NET:	17,370.00 SFT. OR 0.399 ACRES
ZONING	EXISTING:	T2-1 (ATTACHED SINGLE-FAMILY RES.)
SITE AREA		17,370.00 SFT.
BUILDING FOOTPRINT		10,328.04 SFT.
PARKING & DRIVES		59.5%
OPEN SPACE		821.28 SFT.
SECT. BACK REQUIREMENTS	REQUIRED	35.8%
FRONT	0.0' (N.E.)	14.4' (N), 0.0' (E)
SIDE	N/A	N/A
REAR	10' (S.W.)	6.7' (S), 30.0' (W)

**LIGHTING NOTE**  
CITY LIGHTS WILL BE INSTALL BY DTE ENERGY THROUGH A CITY CONTRACT (TYP)

**TRASH COLLECTION NOTE**  
TRASH TO BE COLLECTED INTERNALLY, NO EXTERIOR DUMPSTER ENCLOSURE REQUIRED FOR THIS PROJECT.

**PAVING LEGEND**

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

**LEGEND**

	MANHOLE
	HYDRANT
	GATE VALVE
	CATCH BASIN
	UTILITY POLE
	GUY POLE
	GUY WIRE
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
	PROPOSED LIGHT POLE
	PROPOSED GAS MAIN
	PR. SANITARY SEWER
	PR. WATER MAIN
	PR. STORM SEWER
	PR. R. Y. CATCH BASIN
	PR. TOP OF CURB ELEVATION
	PR. GUTTER ELEVATION
	PR. TOP OF WALK ELEVATION
	PR. TOP OF PWMT. ELEVATION
	FINISH GRADE ELEVATION

**811**  
Know what's below  
Call before you dig.

**REVISIONS**  
03-16-18 ISSUED FOR ENGINEERING REVIEW

**DRAWN BY:**  
C. Ellison

**DESIGNED BY:**  
B. Brickel

**APPROVED BY:**  
B. Brickel

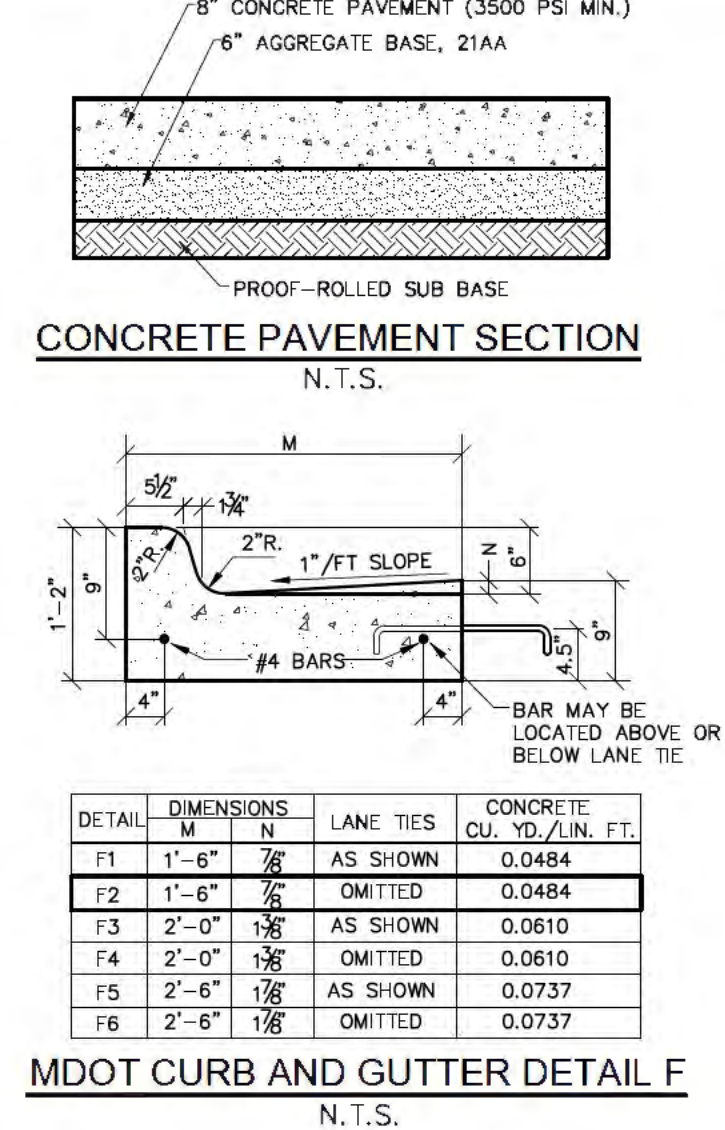
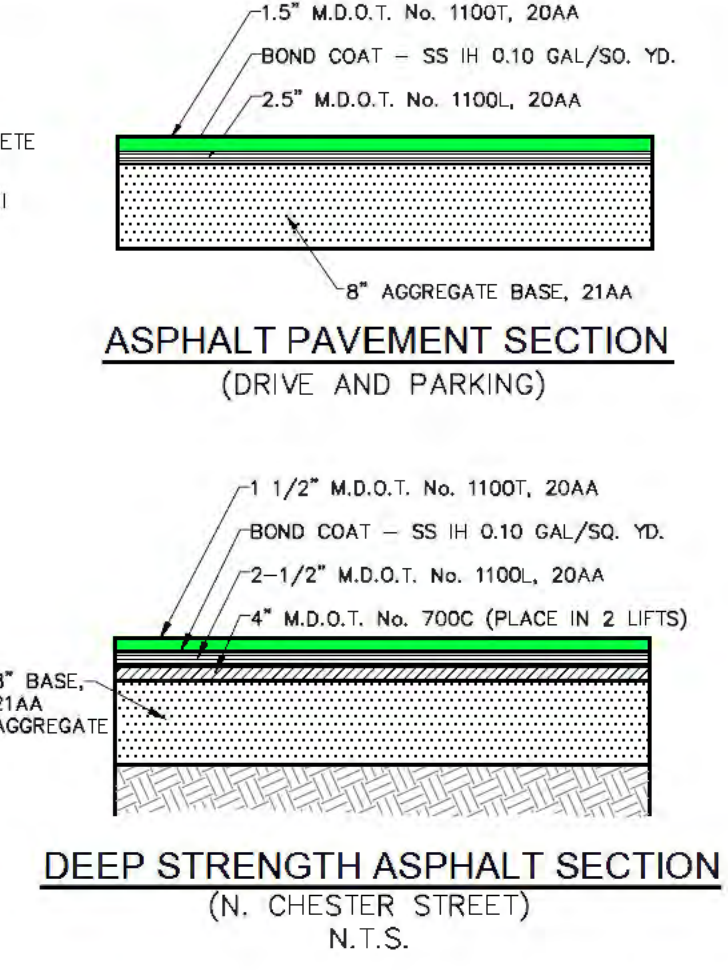
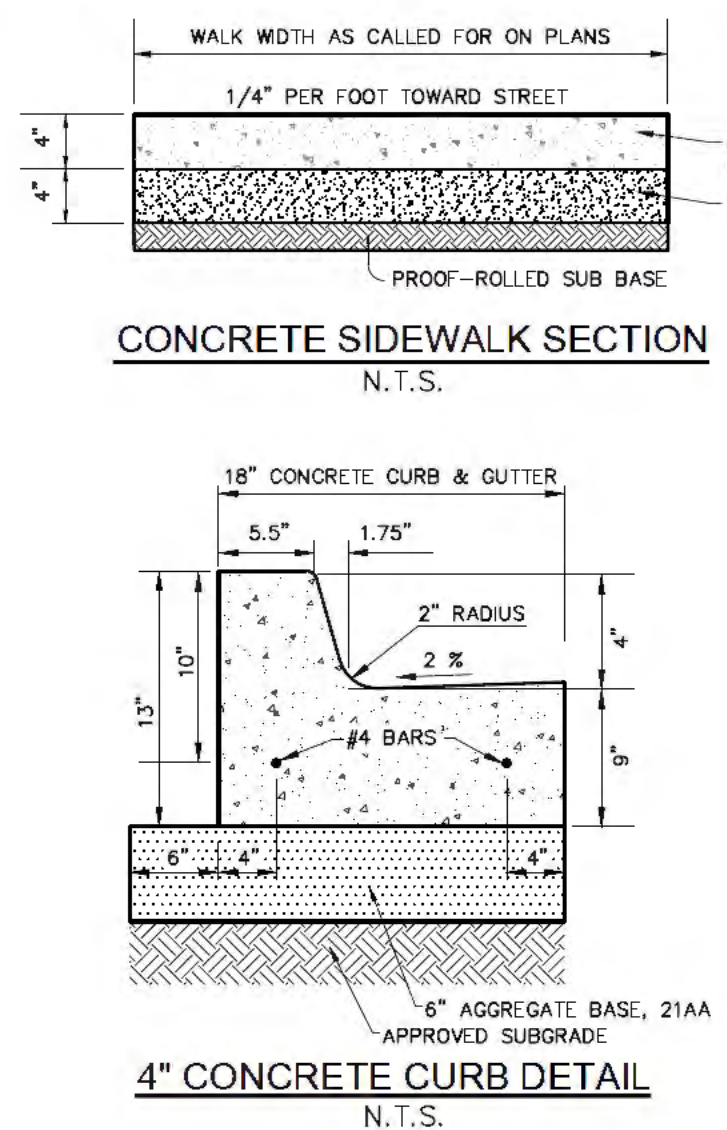
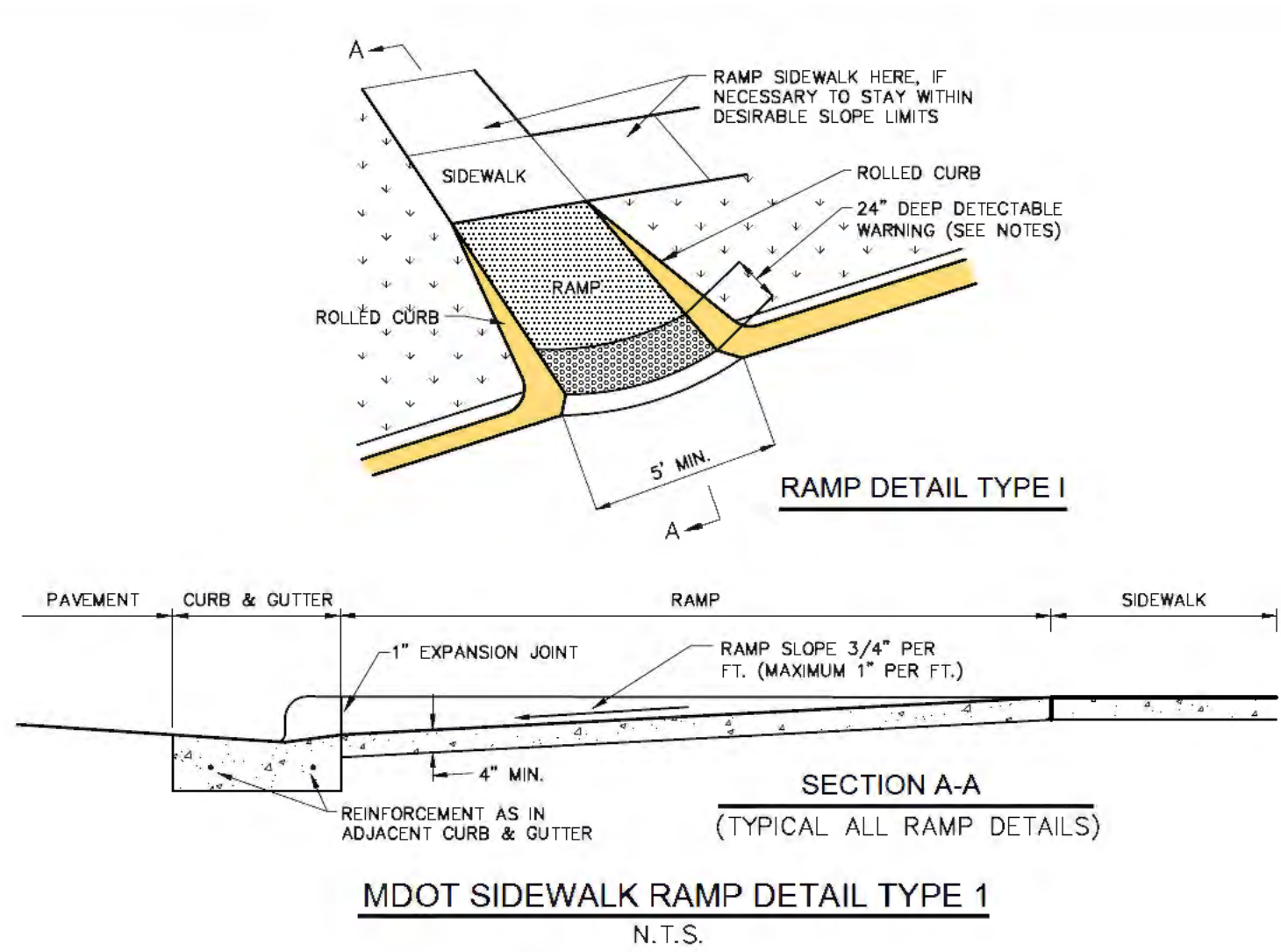
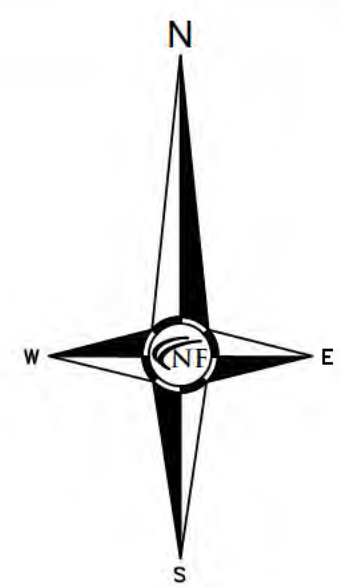
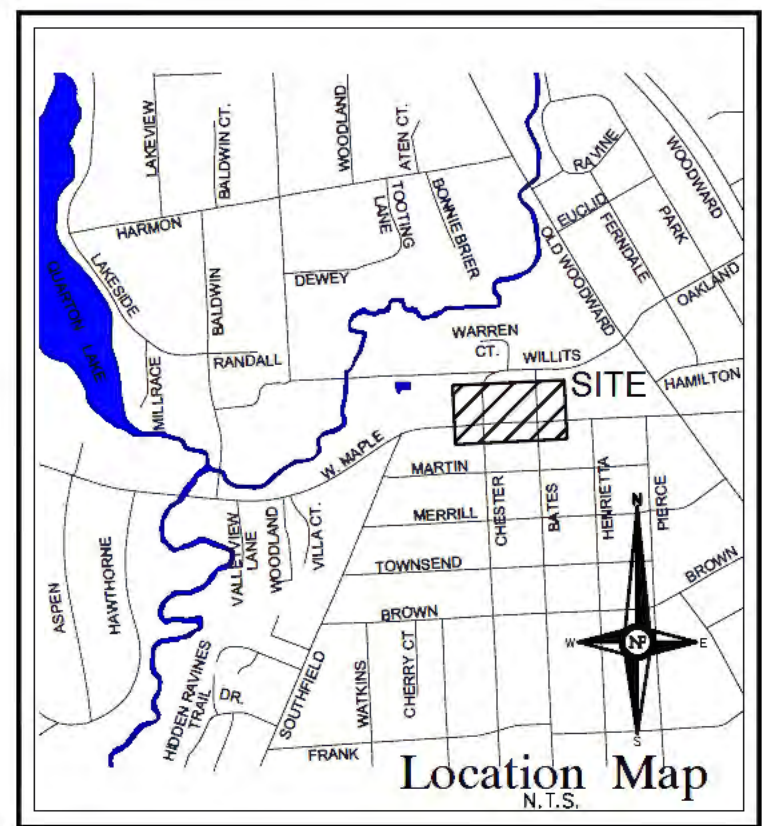
**DATE:**  
January 4, 2018

**SCALE:** 1" = 20'

**NFE JOB NO.** K1800

**SHEET NO.** 1





#### GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100L, 20AA. SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100T, 20AA. ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD, MAXIMUM 2 INCH LIFT.

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-506A.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6\"/>

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.

EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.

SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

#### STREETSCAPE NOTE

REFER TO LANDSCAPE PLANS AND CITY OF BIRMINGHAM STANDARDS NOTES & DETAILS FOR ALL STREETSCAPE WORK.

THE APPLICANT SHALL RECONSTRUCT ALL STREETSCAPE ELEMENTS IN ACCORDANCE WITH CURRENT STANDARDS AS RECOMMENDED BY THE ENGINEERING DEPARTMENT.

#### SIDEWALK NOTE

REFER TO THE LANDSCAPE PLAN FOR PROPOSED SIDEWALK SURFACES AND JOINT PATTERNS (TYP).

#### ESTIMATED QUANTITIES

PAVING		
DESCRIPTION	QUANTITY	UNIT
4" ASPHALT ON 8" 21AA BASE	69	S.Y.
8" DEEP STRENGTH ASPHALT ON 8" 21AA BASE	45	S.Y.
4" CONCRETE SIDEWALK	1,819	S.F.
8" NON-REINFORCED CONCRETE SIDEWALK	348	S.F.
8" NON-REINFORCED CONCRETE	31	S.Y.
M.D.O.T. TYPE "L" OPENING	48	L.F.
6" "F2" CONCRETE CURB & GUTTER	27	L.F.
4" CONCRETE CURB & GUTTER	22	L.F.

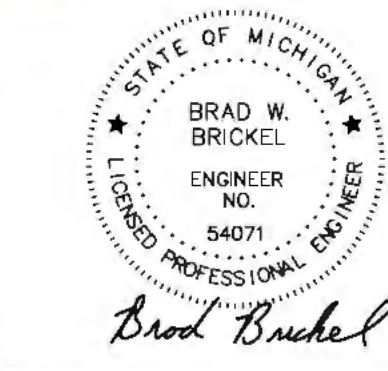
#### PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

#### LEGEND

	MANHOLE	EXISTING SANITARY SEWER
	HYDRANT	SAN. CLEAN OUT
	MANHOLE CATCH BASIN	EXISTING WATERMAIN
	UTILITY POLE	EXISTING STORM SEWER
	GUY WIRE	EX. R. Y. CATCH BASIN
	LIGHT POLE	EXISTING BURIED CABLES
	SIGN	OVERHEAD LINES
	EXISTING GAS MAIN	
	PR. SANITARY SEWER	
	PR. WATER MAIN	
	PR. STORM SEWER	
	PR. R. Y. CATCH BASIN	
	PROPOSED LIGHT POLE	
	PR. TOP OF CURB ELEVATION	
	PR. GUTTER ELEVATION	
	PR. TOP OF WALK ELEVATION	
	PR. TOP OF PMT. ELEVATION	
	FINISH GRADE ELEVATION	

SEAL



PROJECT

The Jeffery  
191 N. Chester St.

CLIENT

Chester Street Partners, LLC  
c/o The Sunrow Group  
320 Martin St., Suite 100  
Birmingham, MI 48009

Contact: Sam Sunrow  
248.877.4000 - Phone

PROJECT LOCATION

Part of the SW 1/4  
of Section 25  
T.2N., R.10E.  
City of Birmingham,  
Oakland County, Michigan

SHEET

Paving & Grading Plan



REVISIONS

03-16-18 ISSUED FOR ENGINEERING REVIEW

DRAWN BY:

C. Ellison

DESIGNED BY:

B. Brickel

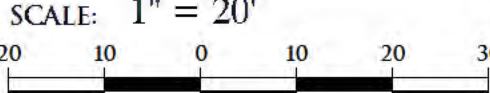
APPROVED BY:

B. Brickel

DATE:

January 4, 2018

SCALE: 1" = 20'



NFE JOB NO.

K190

SHEET NO.

C4



STORM SEWER NOTES

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY. THE MUNICIPALITY STANDARD NOTES, DETAILS AND SPECIFICATIONS SHALL BE INCORPORATED AS PART OF THEIR PLANS.

ALL STORM SEWER TRENCHES UNDER OR WITHIN THREE (3) FEET OF EXISTING OR PROPOSED PAVEMENT SHOULD BE BACKFILLED WITH MDOT CLASS 1 MATERIAL (SAND) AND BE MACHINE COMPACTED TO A MINIMUM OF 95% OF THE MATERIAL'S MAXIMUM DENSITY. PAVEMENT SHALL INCLUDE PARKING LOTS, DRIVE APPROACHES, CURB & GUTTER AND ADJACENT WALLS.

ALL STORM SEWER PIPE SHALL BE INSTALLED ON CLASS "B" BEDDING OR BETTER UNLESS OTHERWISE INDICATED ON THE PLANS.

STORM SEWER SHALL BE OF THE TYPE, SIZE & CLASS DESIGNATION INDICATED ON THE PLANS AND SHALL BE INSTALLED AT THE PROPOSED LINE AND GRADE INDICATED.

ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM SPECIFICATION C-76, CL IV.

ALL MANHOLE, CATCH BASIN, INLET, REAR YARD DRAIN FRAMES AND COVERS SHALL BE AS INDICATED ON THE PLANS IN ACCORDANCE WITH MUNICIPALITY STANDARDS.

THE CONTRACTOR SHALL NOTIFY MISS DIG (1-800-482-7171) A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.

EXACT GRADES AND INVERTS OF PROPOSED STORM SEWER ARE TO BE CHECKED WITH THE FIELD ENGINEER PRIOR AND DURING INSTALLATION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY PLAN INCONSISTENCY AND/OR UTILITY CONFLICTS.

ALL STORM SEWER PIPE JOINTS SHALL BE "PREMIUM JOINT" MODIFIED GROOVED TONGUE, (M.G.T.) WITH SYNTHETIC RUBBER GASKETS, CONFORMING TO ASTM SPECIFICATION C-443 & C-561 UNLESS OTHERWISE INDICATED ON THE PLANS. ALTERNATE JOINT CONNECTION MAYBE STANDARD GROOVED TONGUE WITH COLD MASTIC (DEWITT #10 JOINT COMPOUND OR EQUAL).

FACTORY MANUFACTURED PRECAST TEE SECTIONS SHALL BE USED FOR ROOF DRAINS AND/OR SUMP PUMP LEADS AND LATERALS WHERE INDICATED ON THE PLANS. BLIND TOP CONNECTIONS INTO STORM SEWER WILL NOT BE PERMITTED BY BREAKING PIPE WALL.

THE UNDERGROUND SITE CONTRACTOR SHALL INSTALL ALL STORM SEWER LEADING LEADS TO WITHIN FIVE (5) FEET OF PROPOSED BUILDING.

GROUTED RIP RAP SHALL BE INSTALLED AT THE ENDS OF ALL CULVERTS AND END SECTIONS. GROUTED RIP RAP SHALL LIKEWISE BE INSTALLED AT OUTLET POINTS IN DETENTION AND SEDIMENTATION FACILITY. THE MINIMUM WIDTH OF THE RIP RAP SHALL BE TWICE THE OUTSIDE DIAMETER OF THE PIPE. THE RIP RAP SHALL EXTEND FROM THE BOTTOM OF THE SLOPE TO THE PIPE INVERT.

THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL SITE INSPECTION.

SANITARY SEWER NOTES

THE CONTRACTOR SHALL NOTIFY THE INSPECTION SECTION OF THE DETROIT WATER AND SEWERAGE DEPT. AT (313) 833-4682 AT LEAST 48 HOURS PRIOR TO THE START OF ANY SANITARY SEWER CONSTRUCTION.

ALL SEWERS TO BE PLACED ON CLASS "B" BEDDING OR BETTER.

WYES, RISERS AND HOUSE LEADS ARE TO BE PLACED AT LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. ALL WYES ARE INCIDENTAL.

EACH WYE OR HOUSE LEAD SHALL HAVE A PLUG OF THE SAME TYPE OF JOINT AS THE HOUSE LEAD.

HOUSE LEADS SHALL BE A MINIMUM OF 9 FEET DEEP AT THE PROPERTY LINE.

WHENEVER EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, HOLES ARE TO BE DRILLED AT 4 INCH. CENTER TO CENTER SPACINGS AROUND THE PERIPHERY OF THE PROPOSED OPENING TO CREATE A PLANE OF WEAKNESS JOINT - A 12 INCH THICK CONCRETE COLLAR IS TO ENCASE THE NEW PIPE AND OPENING.

MAXIMUM INFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH OF DIAMETER PER MILE OF PIPE PER 24 HOURS. FOR PURPOSES OF TESTING INFILTRATION, A BULKHEAD WITH A ONE INCH DIAMETER PIPE SHALL BE PROVIDED AT THE DOWNSIDE MANHOLE.

THE INSIDE JOINTS FOR ALL SANITARY SEWERS 30" AND LARGER SHALL BE CEMENT POINTED.

ALL SANITARY SEWER MANHOLES SHALL BE PROVIDED WITH WATER TIGHT BOLT DOWN COVERS.

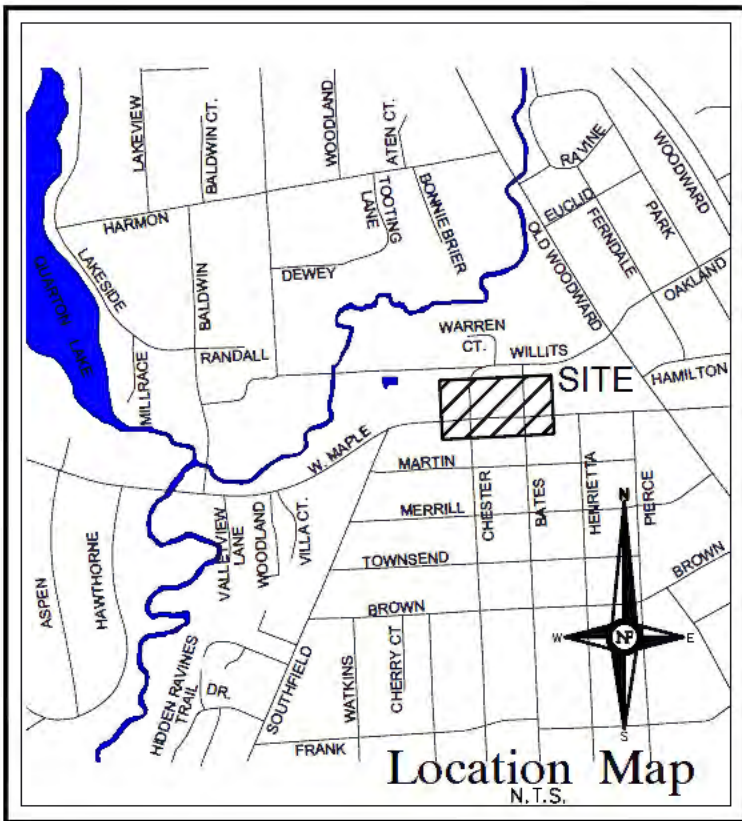
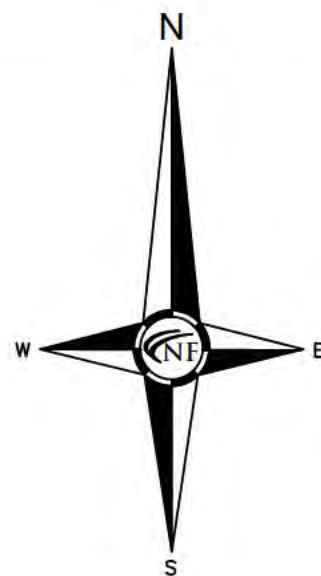
ALL CONCRETE SANITARY SEWER, MANHOLE AND PIPE JOINT SHALL BE MODIFIED GROOVED TONGUE WITH RUBBER GASKETS AS REQUIRED UNDER THE CURRENT A.S.T.M. C-443.

CONTACT THE OFFICE OF THE MACOMB COUNTY PUBLIC WORKS COMMISSIONER AT 469-5325, 48 HOURS BEFORE CONSTRUCTION.

NO GROUND WATER, STORM WATER, CONSTRUCTION WATER, DOWNSPOUT OR WEEP TILE DRAINAGE SHALL BE ALLOWED TO ENTER ANY SANITARY SEWER INSTALLATION.

ALL SANITARY SEWER LEADS SHALL BE INSTALLED TO A POINT 5 FEET FROM THE PROPOSED BUILDING.

T= 15 Minutes I= 175 / (T^25) n (cmp) 0.025 n (Conc.) 0.013 n (Pvc) 0.009			Time of Concentration 10 Year Storm Event Intensity Manning's Roughness Coefficient Manning's Roughness Coefficient Manning's Roughness Coefficient			City of Birmingham, Oakland County, MI Storm Sewer Calculations										Project No: K190 Project Name: The Jeffrey Location: 191 Chester Dated: 8-Mar-18						
Drainage Area (Location)	From Manhole Number	To Manhole Number	Drainage Area (Acres)	Runoff Coefficient (C)	Equivalent Area (C * A)	Total Area (Sum C * A)	Time of Concentration (Minutes)	Rainfall Intensity (Inches/Hr.)	Actual Discharge (CFS)	Pipe Size (Inches)	Pipe Slope (% Slope)	Pipe Length (Feet)	Flow Full Velocity (Ft /Sec)	Time of Flow (Minutes)	Full Pipe Capacity (CFS)	H. G. Elev. Upper End (Feet)	H. G. Elev. Lower End (Feet)	H. G. Slope (% Slope)	Ground Elevation (Upper)	Change in Elevation (Feet)	Invert Elev. Upper End (Feet)	Invert Elev. Lower End (Feet)
A	5	4	0.010	0.90	0.01	0.01	15.00	4.38	0.04	4	1.00	11	3.15	0.06	0.27	773.85	773.85	0.02	778.50	0.11	773.50	773.39
B	4	3	0.240	0.90	0.22	0.23	15.06	4.37	0.98	8	0.50	56	3.54	0.26	1.23	773.63	773.45	0.32	779.50	0.28	773.20	772.92
---	3	2 Drop	0.000	0.90	0.00	0.23	15.32	4.34	0.98	8	3.00	74	8.66	0.14	3.02	671.08	670.84	0.31	776.75	2.22	772.92	770.70
---	2 Drop	1	0.000	0.90	0.00	0.23	15.46	4.32	0.97	8	3.80	11	9.75	0.02	3.40	670.84	670.81	0.31	774.50	0.42	770.70	770.28
---	1	EX	0.000	0.90	0.00	0.23	15.48	4.32	0.97	8	2.50	25	7.91	0.05	2.76	667.39	667.31	0.31	771.00	0.63	767.40	766.78



**NF**  
ENGINEERS  
CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257

SEAL



PROJECT  
The Jeffrey  
191 N. Chester St.

CLIENT  
Chester Street Partners, LLC  
c/o The Surnow Group  
320 Martin St., Suite 100  
Birmingham, MI 48009

Contact: Sam Surnow  
248.877.4000 - Phone

PROJECT LOCATION  
Part of the SW 1/4  
of Section 25  
T.2N., R.10E.  
City of Birmingham,  
Oakland County, Michigan

SHEET  
Utility Plan



REVISIONS  
03-16-18 ISSUED FOR ENGINEERING REVIEW

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C. Ellison

DESIGNED BY:  
B. Brickel

APPROVED BY:  
B. Brickel

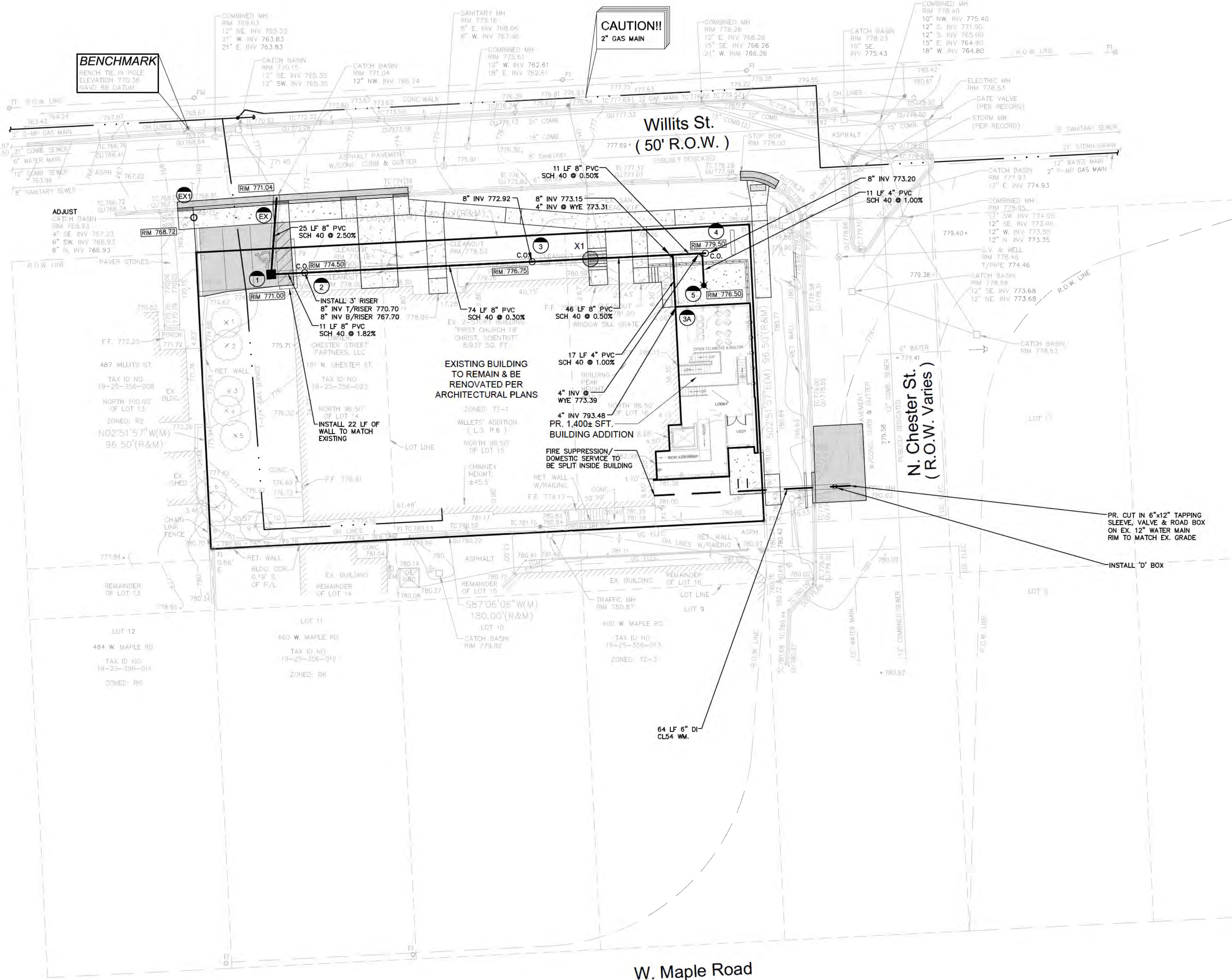
DATE:  
January 4, 2018

SCALE: 1" = 20'

NFE JOB NO. SHEET NO.

K190

C5





SOIL EROSION CONTROL - SEQUENCE OF OPERATION (NEW CONSTRUCTION)

INSTALL CRUSHED CONCRETE ACCESS DRIVE AND TEMPORARY CULVERTS AT THE SITE ENTRANCE AS INDICATED ON THE PLANS.

INSTALL SILT FENCE OR SIMILAR APPROVED SILT BARRIER ALONG PROPERTY LINES AND AROUND SENSITIVE NATURAL FEATURES AS INDICATED ON THE PLANS.

EXCAVATE A SHALLOW SWALE/DITCH AROUND PERIMETER OF SITE. GRADE THE TEMPORARY SWALE TO AN EXISTING DRAINAGE FACILITY. PLACE OUTLET FILTER IN EXISTING UPSTREAM STORM SEWER FACILITIES.

IF INDICATED ON CONSTRUCTION PLANS, SEDIMENTATION BASINS, DETENTION POND, ETC., SHALL BE CONSTRUCTED PRIOR TO THE INSTALLATION OF ANY OTHER WORK.

STRIP EXISTING TOPSOIL, VEGETATION AND ORGANIC MATTER FROM BUILDING PAD AND PARKING AREAS. COMMENCE LAND BALANCE AND MASS GRADING OPERATIONS. MAINTAIN A MINIMUM BUFFER OF 15' OF EXISTING VEGETATION WHEREVER POSSIBLE AROUND SITE PERIMETER. STOCK PILES SHOULD BE LOCATED AWAY FROM EXISTING DRAINAGE FACILITIES.

EXCAVATE AND INSTALL UNDERGROUND UTILITIES. INSTALL PEASTONE INLET FILTERS AROUND ALL NEW STORM SEWER FACILITIES AS INDICATED ON THE PLANS. EXISTING AND PROPOSED STORM SEWER FACILITIES SHALL BE PROTECTED FROM EROSION AND SEDIMENT INFILTRATION AT ALL TIMES.

COMMENCE FINAL GRADING AND TRIMMING OPERATIONS. PREPARE SUBGRADE FOR INSTALLATION OF PROPOSED PAVEMENT.

SEED AND MULCH ALL DISTURBED SITE AREAS AND INSTALLED SITE LANDSCAPING.

REMOVE CONSTRUCTION DEBRIS AND JET VAC NEWLY INSTALLED STORM SEWER SYSTEM AS REQUIRED BY THE MUNICIPALITY.

REMOVE ALL REMAINING TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ONCE PERMANENT MEASURES ARE ESTABLISHED.

WHENEVER POSSIBLE, THE SITE SHALL BE GRADED TO WITHIN SIX INCHES (6") OF THE PROPOSED FINISH GRADE. PRIOR TO INSTALLATION OF UNDERGROUND FACILITIES.

STAGING OF PROPOSED WORK SHALL BE COMPLETED BY THE CONTRACTOR AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED AREAS.

SOIL EROSION CONTROL

CUTTING, FILLING AND GRADING SHALL BE MINIMIZED AND THE NATURAL TOPOGRAPHY OF THE SITE SHALL BE PRESERVED TO THE MAXIMUM POSSIBLE EXTENT, EXCEPT WHERE SPECIFIC FINDINGS DEMONSTRATE THAT MAJOR ALTERATIONS WILL STILL MEET THE PURPOSES AND REQUIREMENTS OF THIS ORDINANCE.

DEVELOPMENT SHALL BE STAGED TO KEEP THE EXPOSED AREAS OF SOIL AS SMALL AS PRACTICABLE.

SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED BETWEEN THE DISTURBED AREA AND ANY WATERCOURSES, INCLUDING RIVERS, STREAMS, CREEKS, LAKES, PONDS AND OTHER WATERCOURSES; WETLANDS; OR ROADWAYS ON OR NEAR THE SITE.

SEDIMENT RESULTING FROM ACCELERATED SOIL EROSION SHALL BE REMOVES FROM RUNOFF WATER BEFORE THAT WATER LEAVES THE SITE.

TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF WATER AROUND, THROUGH, OR AWAY FROM THE SITE SHALL BE DESIGNED TO LIMIT THE WATER FLOW TO A NON-EROSIVE VELOCITY.

TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE REMOVED AFTER PERMANENT SOIL EROSION CONTROL MEASURES HAVE BEEN IMPLEMENTED. ALL SITES SHALL BE STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES.

IF LAKES, PONDS, CREEKS, STREAMS, OR WETLANDS ARE LOCATED ON OR NEAR THE SITE, EROSION CONTROL MEASURES WHICH DIVERT RUNOFF AND TRAP SEDIMENT MUST BE PROVIDED AT STRATEGIC LOCATIONS. STRAW BALE BERMS MAY BE USED AS TEMPORARY STORMWATER DIVERSION STRUCTURES, BUT WILL NOT BE CONSIDERED SUFFICIENT FOR TRAPPING SEDIMENT. THE USE OF SEDIMENT BASINS, FILTER FABRIC, VEGETATED BUFFER STRIPS, AND ROCK FILTERS IN LIEU OF STRAW BALE BERMS SHALL BE STRONGLY ENCOURAGED. OTHER MEASURES MAY BE REQUIRED IF REASONABLY DETERMINED TO BE NECESSARY TO PROTECT A WATERCOURSE OR WETLAND.

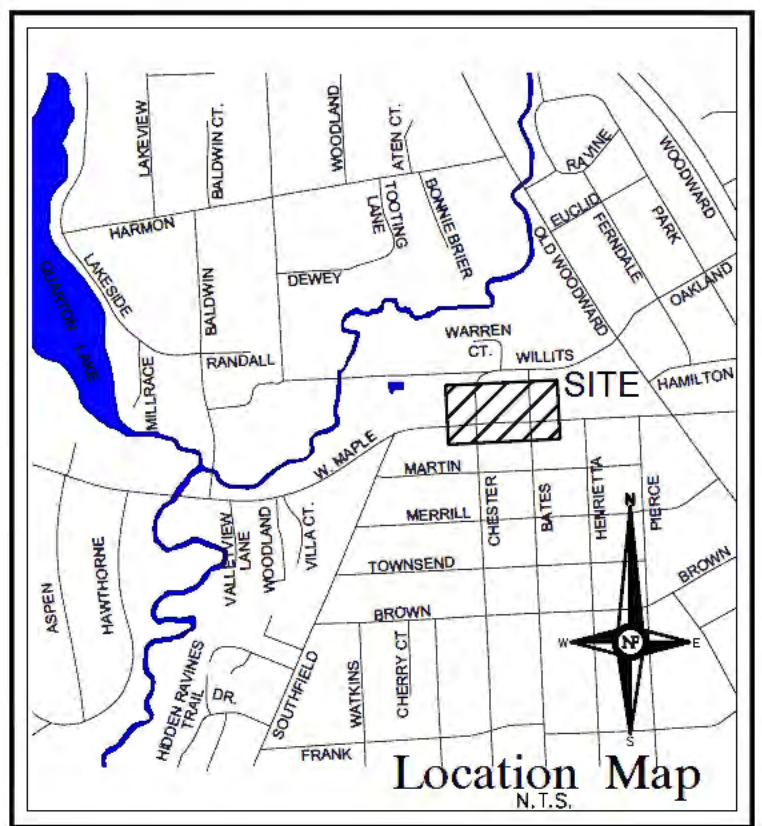
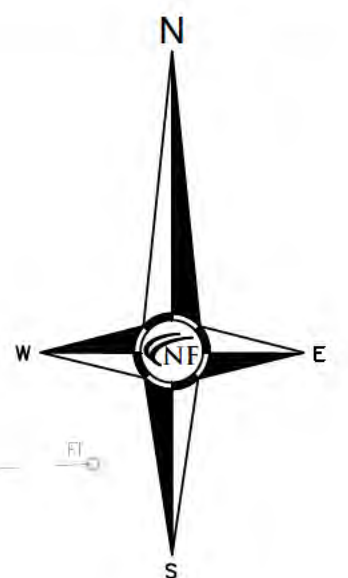
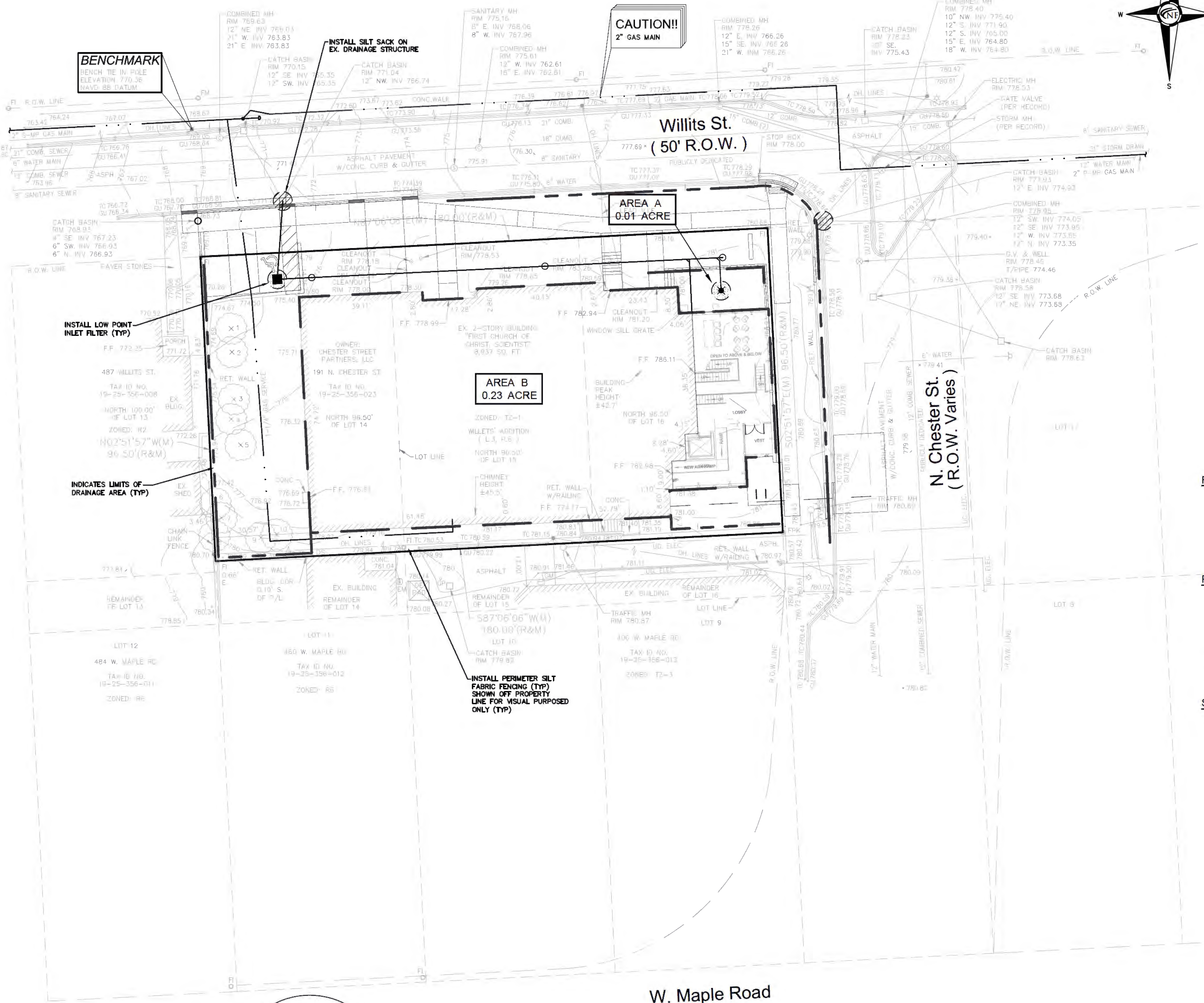
WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED OR WHEN SIGNIFICANT EARTH CHANGE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED.

PERMANENT EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 15 (FIFTEEN) CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.

VEGETATED BUFFER STRIPS SHALL BE CREATED OR RETAINED ALONG THE EDGES OF ALL LAKES, PONDS, CREEKS, STREAMS, OTHER WATERCOURSES, OR WETLANDS.

EROSION AND SEDIMENTATION CONTROL MEASURES SHALL RECEIVE REGULAR MAINTENANCE TO ASSURE PROPER FUNCTIONING.

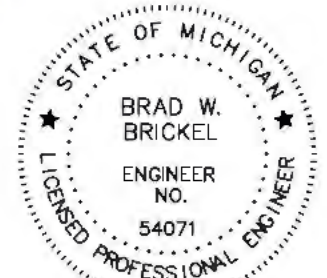
ALL GRADING PLANS AND SPECIFICATIONS, INCLUDING EXTENSIONS OF PREVIOUSLY APPROVED PLANS, SHALL INCLUDE PROVISIONS FOR EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH, BUT NOT LIMITED TO, THE STANDARDS CONTAINED IN THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", PUBLISHED BY THE OAKLAND COUNTY WATER RESOURCE COMMISSIONER.



CIVIL ENGINEERS  
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SEAL



Brad W. Brickel

PROJECT  
The Jeffery  
191 N. Chester St.

CLIENT  
Chester Street Partners, LLC  
c/o The Surnow Group  
320 Martin St., Suite 100  
Birmingham, MI 48009

Contact: Sam Surnow  
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PROJECT LOCATION  
Part of the SW 1/4  
of Section 25  
T.2N., R.10E.  
City of Birmingham,  
Oakland County, Michigan

SHEET  
Soil Erosion /  
Drainage Area Plan



Know what's below  
Call before you dig.

REVISIONS  
03-16-18 ISSUED FOR ENGINEERING REVIEW

DRAWN BY:  
C. Ellison

DESIGNED BY:  
B. Brickel

APPROVED BY:  
B. Brickel

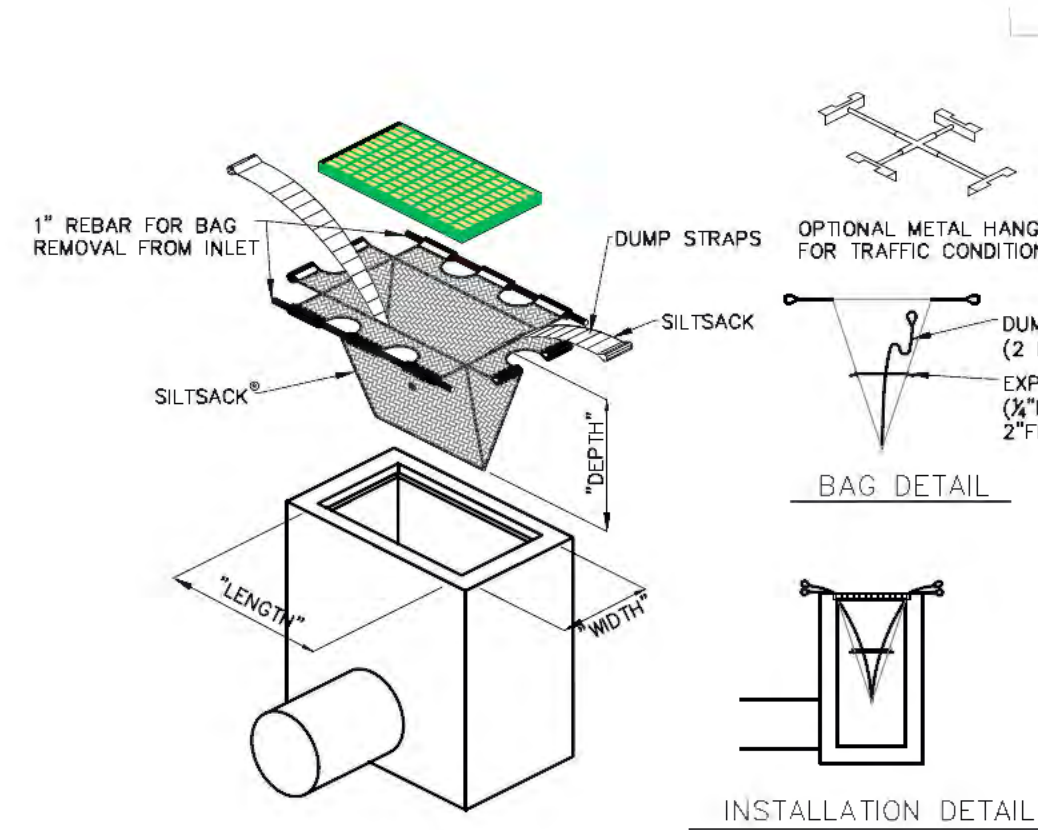
DATE  
January 4, 2018

SCALE: 1" = 20'

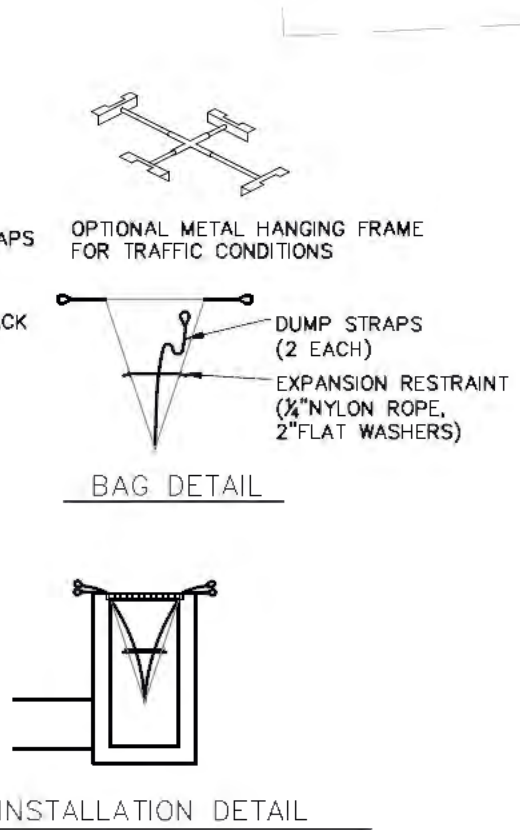
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NFE JOB NO.  
K190

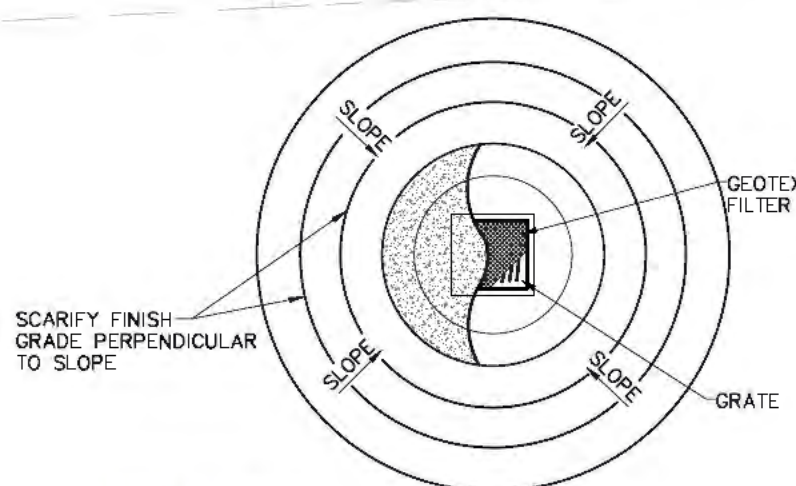
SHEET NO.  
C6



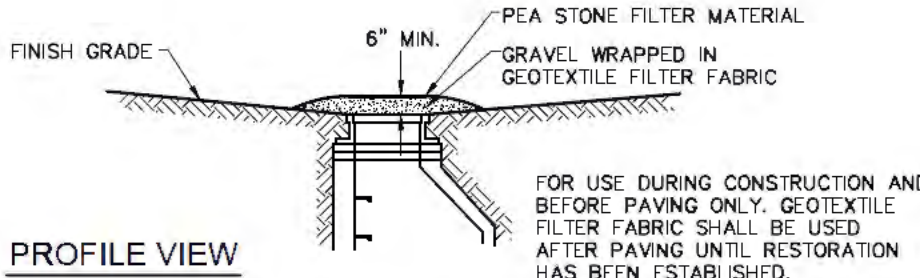
SILT SACK FILTER DETAIL



INSTALLATION DETAIL

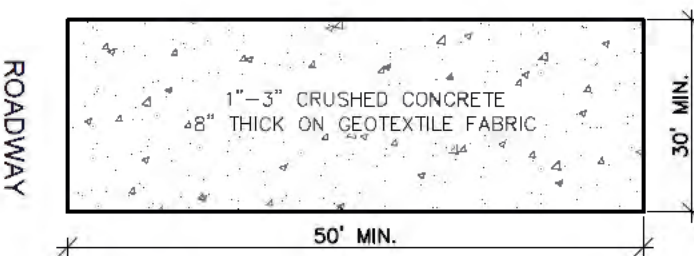


PLAN VIEW



PROFILE VIEW

LOW POINT INLET FILTER  
N.T.S.



TEMPORARY CRUSHED CONCRETE  
CONSTRUCTION ACCESS ROAD  
N.T.S.

CONSTRUCTION SEQUENCE / TIMING SCHEDULE

1. INSTALL PERIMETER FILTER FABRIC FENCING AND STONE FILTER WHERE REQUIRED.	APRIL 2018
2. MASS GRADE SITE.	MAY 2018
3. COMMENCE UNDERGROUND UTILITY WORK.	MAY 2018
4. INSTALL INLET FILTERS ON PROPOSED DRAINAGE STRUCTURES.	JUNE 2018
5. FILL IN SEDIMENTATION TRAPS AND PAVE SITE.	SEPTEMBER 2018
6. COMPLETE ALL BUILDINGS AND LANDSCAPE ACTIVITY.	NOVEMBER 2018
7. JET VAC NEW STORM SEWER SYSTEM AS REQUIRED.	DECEMBER 2018
8. REMOVE ALL TEMPORARY SOIL EROSION MEASURES.	DECEMBER 2018

SILTFENCE DETAIL  
NTS

LEGAL DESCRIPTION

LAND SITUATED IN THE CITY OF BIRMINGHAM, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:  
THE NORTH 36.50 FEET OF LOTS 14, 15 AND 16 OF WILLETTS' ADDITION TO THE CITY OF BIRMINGHAM, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 3 OF PLATS, PAGE 6, OAKLAND COUNTY RECORDS.  
ADDRESS: 191 N. CHESTER STREET, BIRMINGHAM, MI 48009  
TAX ID NO. 19-25-356-023

NOTES

REFER TO THE WRC SOIL EROSION AND SEDIMENTATION CONTROL DETAIL SHEET FOR ALL ADDITIONAL NOTES & DETAILS (TYP)

THE TOTAL AREA OF EARTH DISRUPTION IS 0.24 ACRES.

THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT BY SITE CONTRACTOR. NAME TO BE PROVIDED UPON SELECTION OF GENERAL CONTRACTOR.

A SOIL EROSION PERMIT IS REQUIRED FROM THE CITY OF BIRMINGHAM

SOIL DATA

THIS SITE CONSISTS OF URBAN-LAND SPINKS COMPLEX, 0 TO 8 PERCENT SLOPES, AND URBENTENS AND URBISAMMENTS, NEARLY LEVEL TO HILLY BASED ON DATA PROVIDED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE.

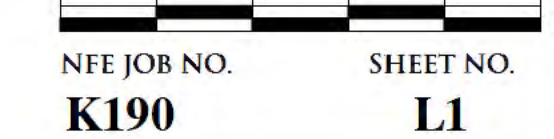
ESTIMATED QUANTITIES  
SOIL EROSION

DESCRIPTION	QUANTITY	UNITS
SILT FABRIC FENCING	392	L.F.
INLET FILTER	2	EA.
SILT SACK OR EQUAL	2	EA.

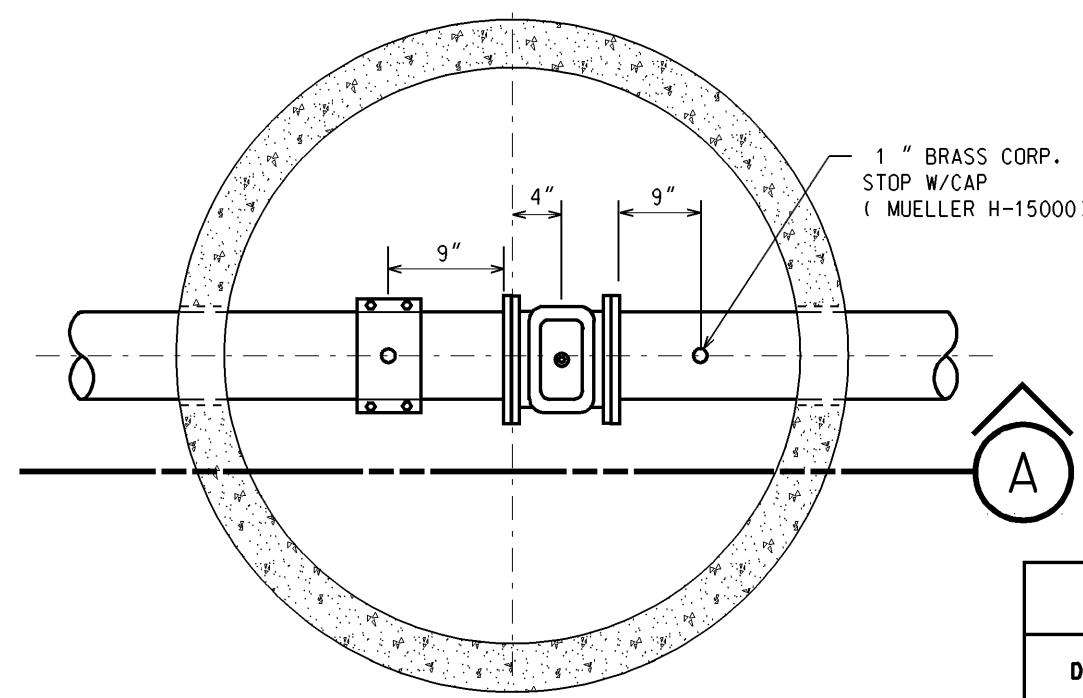
LEGEND

---	INDICATES LIMITS OF SILT FABRIC FENCE
---	INDICATES LIMITS OF DRAINAGE DISTRICT AREA
---	INDICATES LIMITS OF SOIL DISRUPTION
○	INDICATES LOW POINT INLET FILTER OR PROPOSED DRAINAGE STRUCTURE
○	INDICATES SILT SACK OR EQUAL ON EXISTING DRAINAGE STRUCTURE
○	INDICATES DRAINAGE DISTRICT AREA





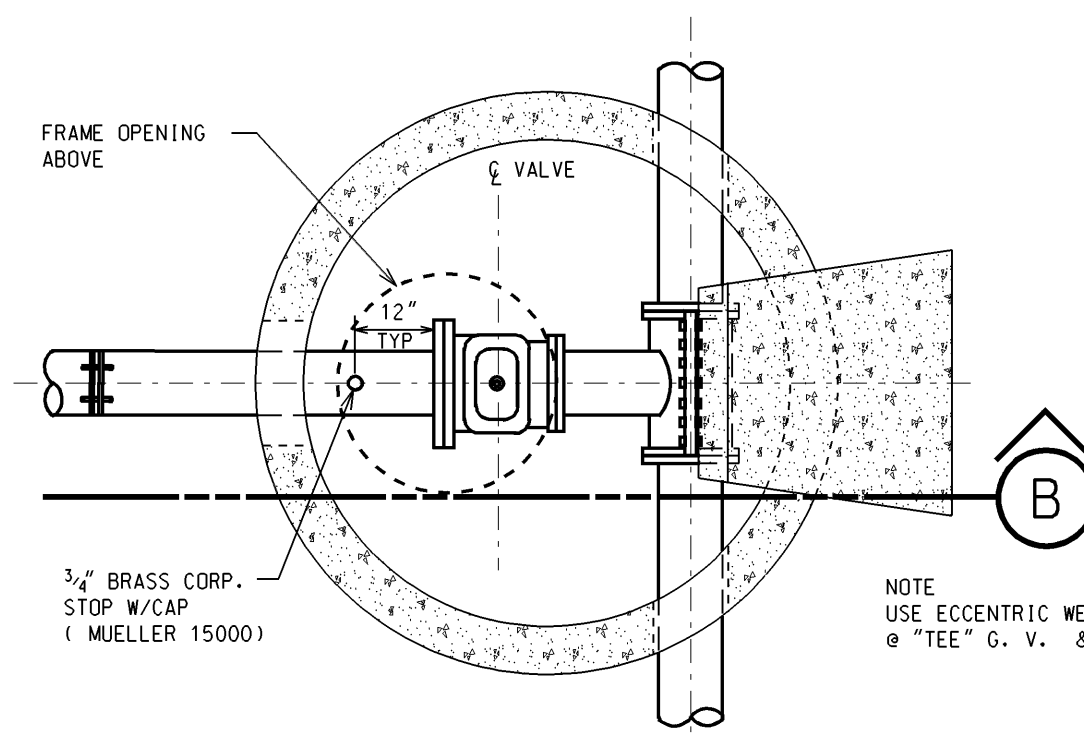




**GATE WELL PLAN**

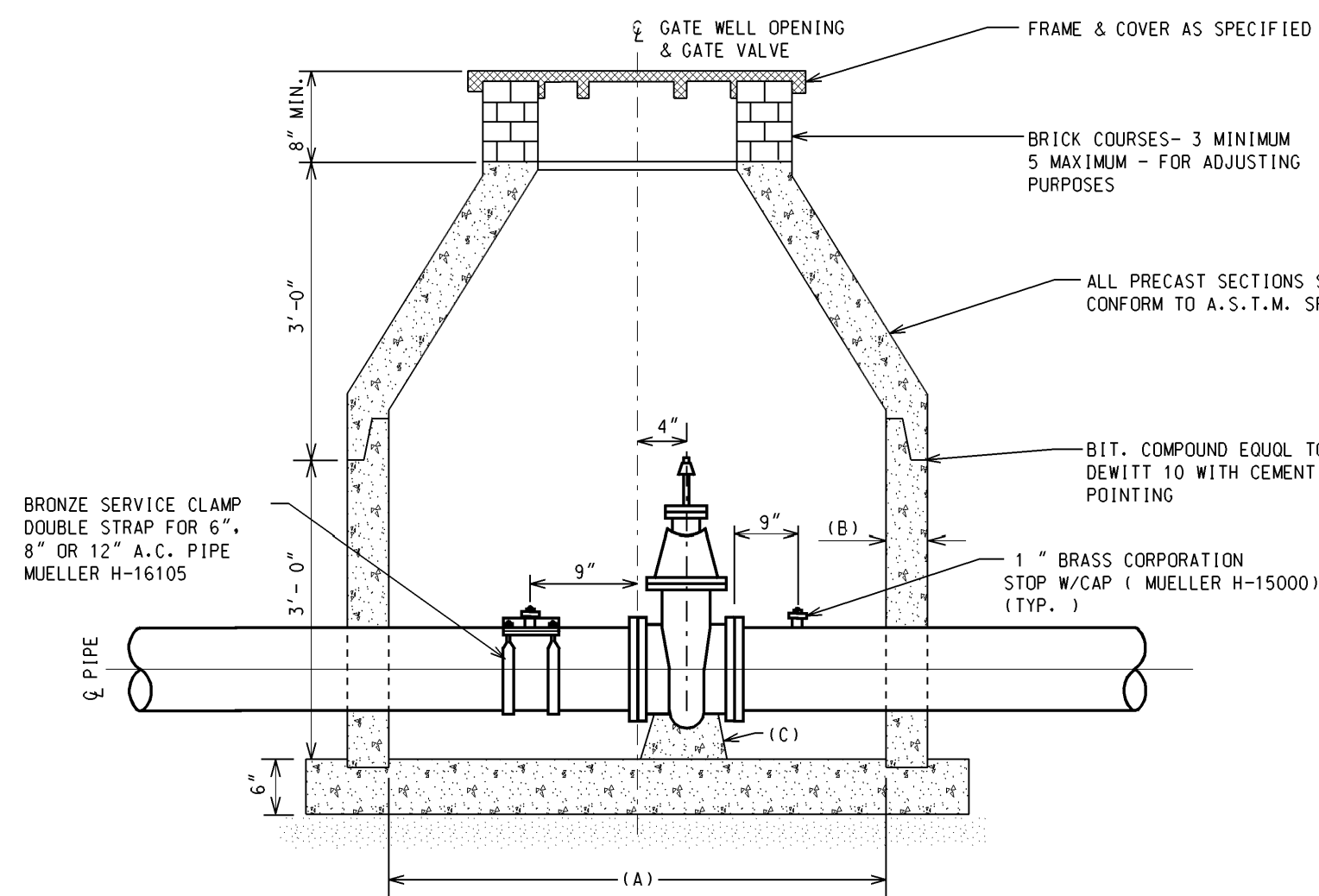
NO SCALE

GATE WELL SCHEDULE		PIPE DIA. INCHES		
DESCRIPTION	DTM.	6" & 8"	12"	16"
INSIDE DIA.	A	60"	72"	72"
WALL THICK.	B	5"	7"	7"
VALVE BLOCK THICK	C	4"	4"	4"



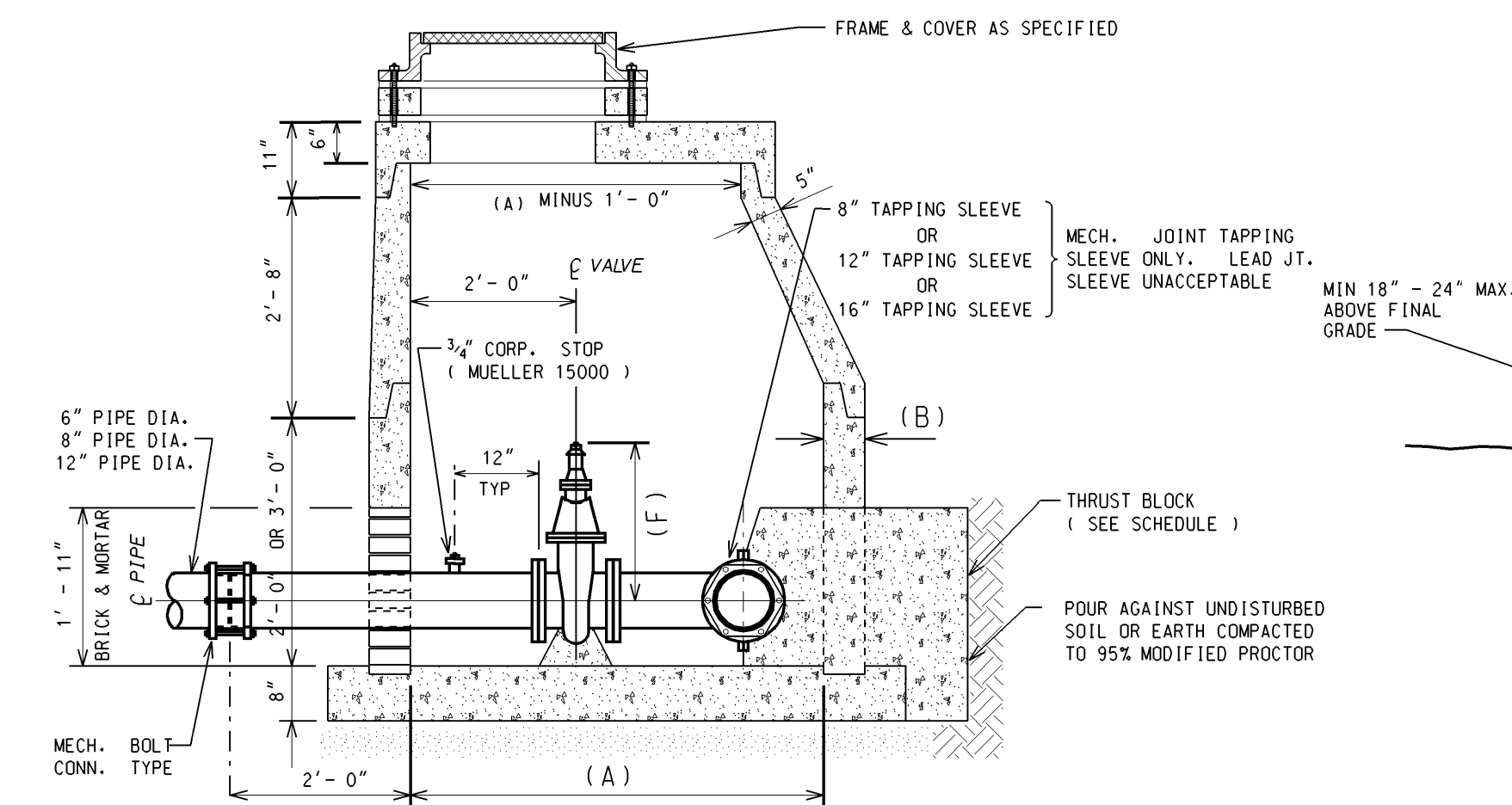
**TAPPING SLEEVE, VALVE & WELL PLAN**

NO SCALE



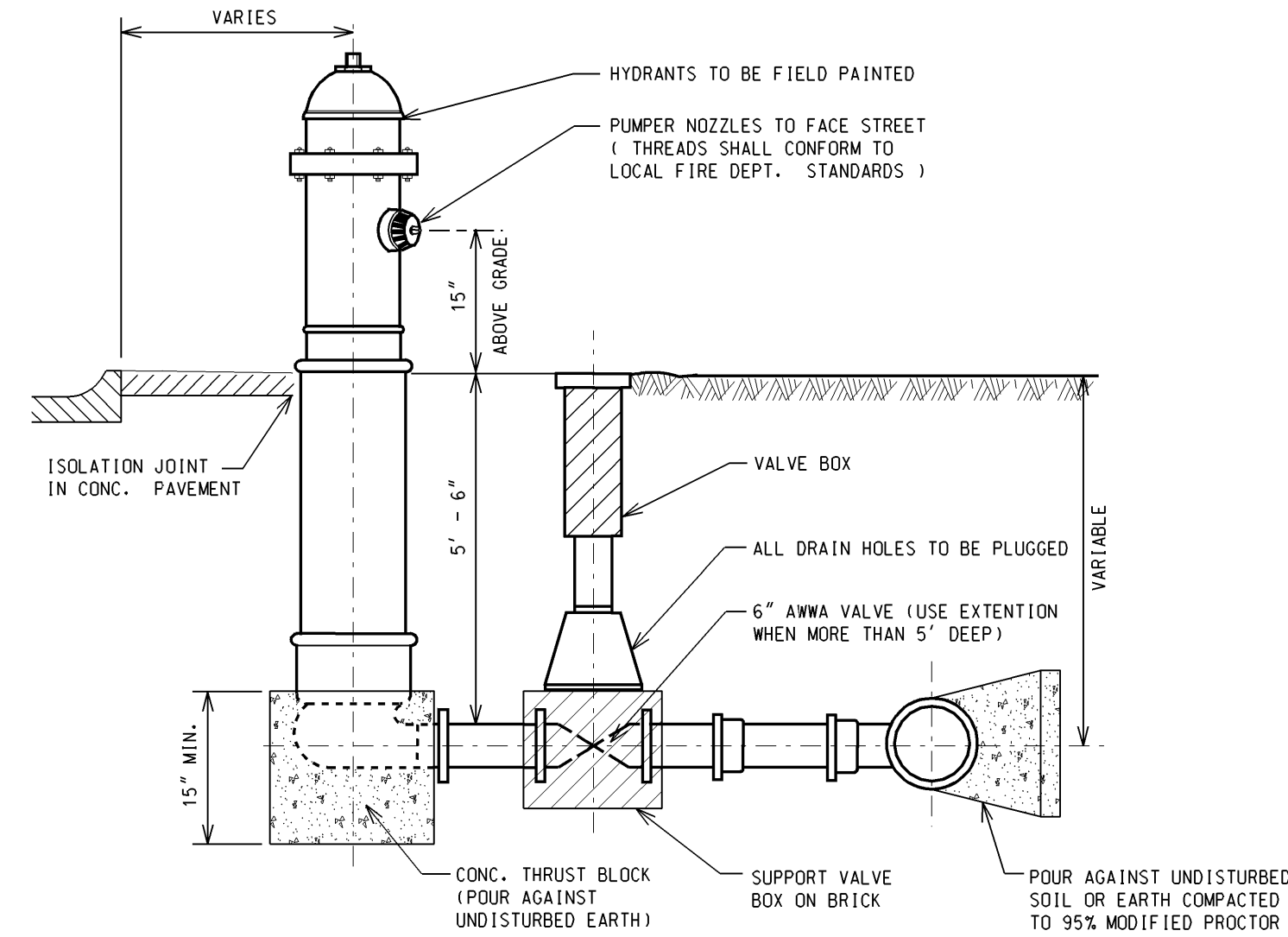
**SECTION "A" GATE WELL**

NO SCALE  
W-1 & W-3

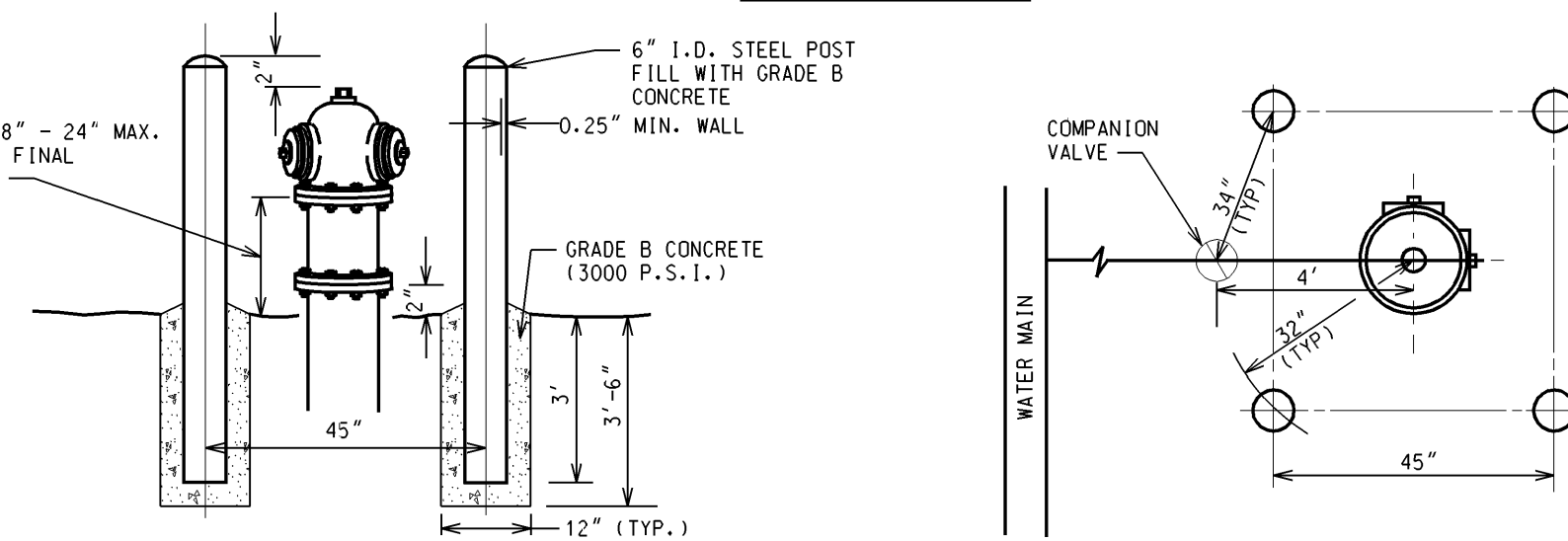


**SECTION "B" TAPPING SLEEVE, VALVE & WELL**

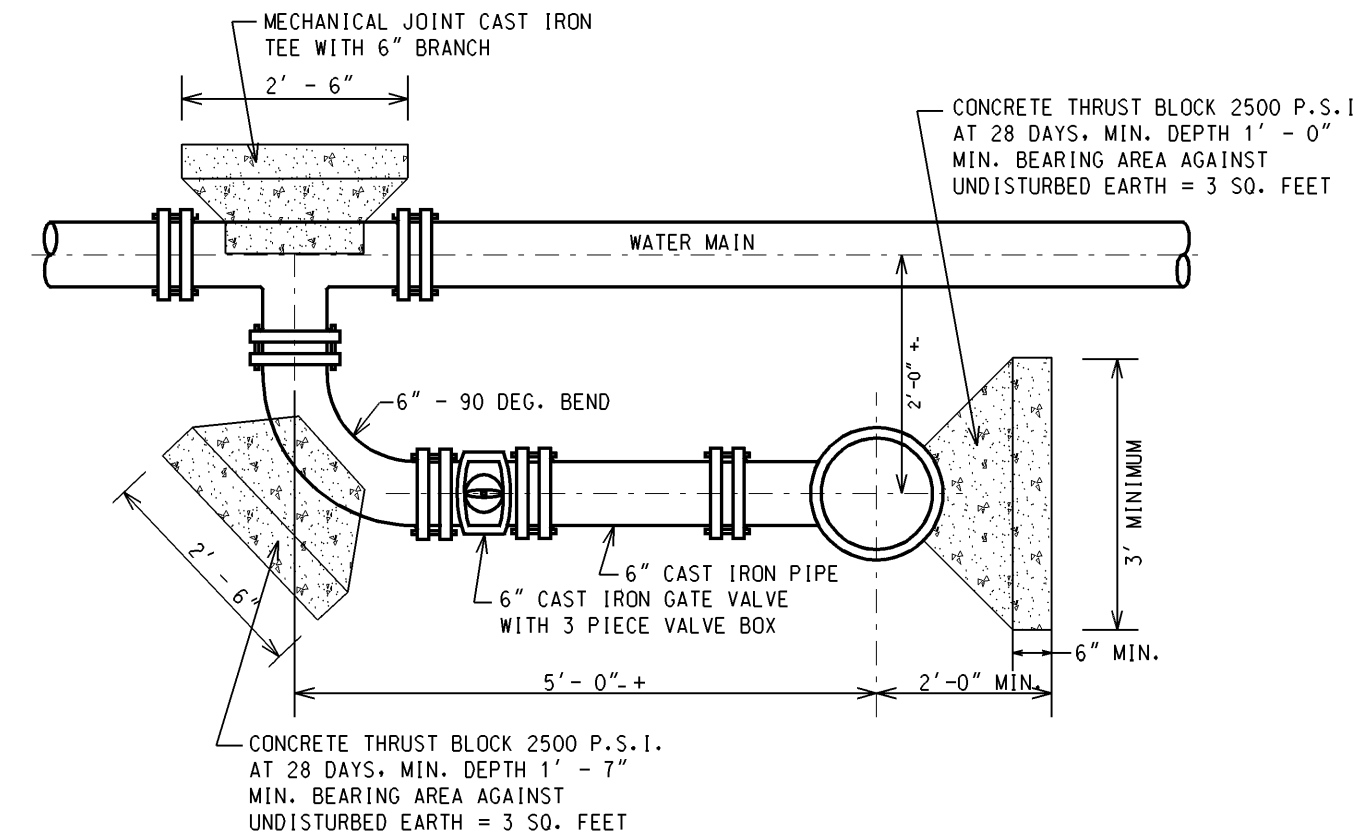
NO SCALE  
W-4



**ELEVATION**



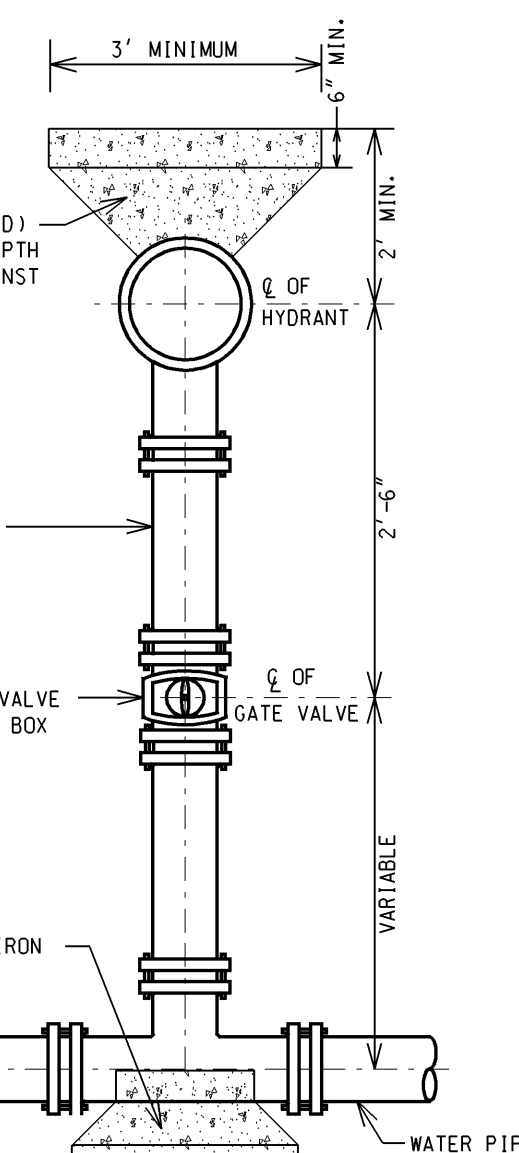
**FIRE HYDRANT GUARD POSTS DETAIL**



**"L" HYDRANT CONNECTION**

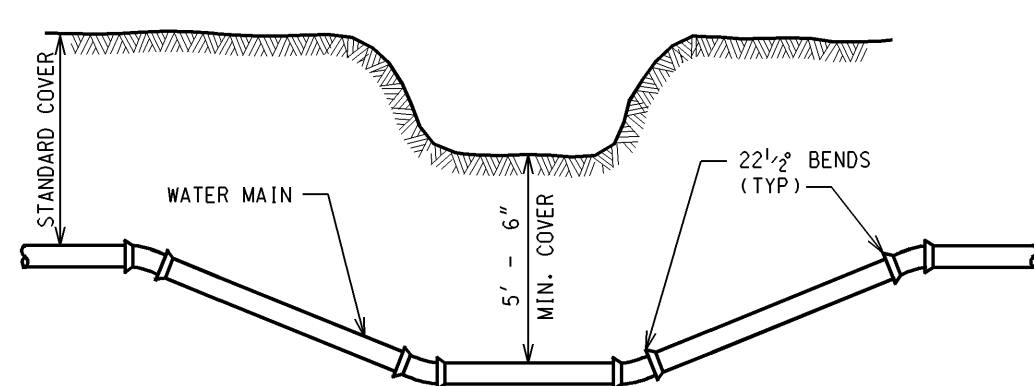
NO SCALE  
W-9

NOTE: FOR CONSTRUCTION OF NEW FIRE HYDRANT TO EXISTING "LIVE" WATERMAIN, USE 6" TAPPING SLEEVE VALVE & BOX TO MAKE CONNECTION, AND DELETE "6" CAST IRON GATE VALVE WITH 3 PIECE VALVE BOX" AS SHOWN ON DETAIL.



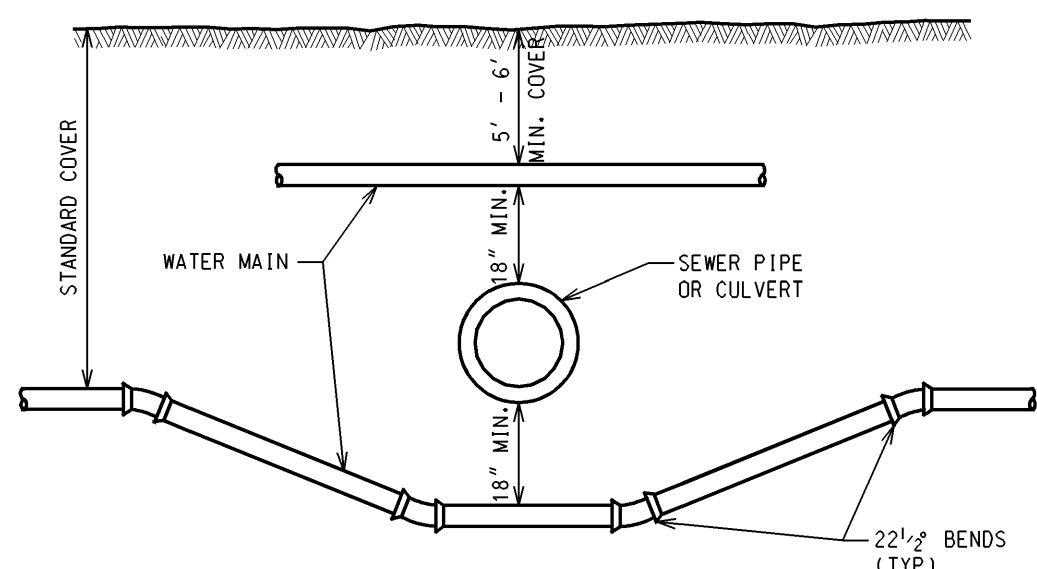
**STRAIGHT HYDRANT CONNECTION**

NO SCALE  
W-10



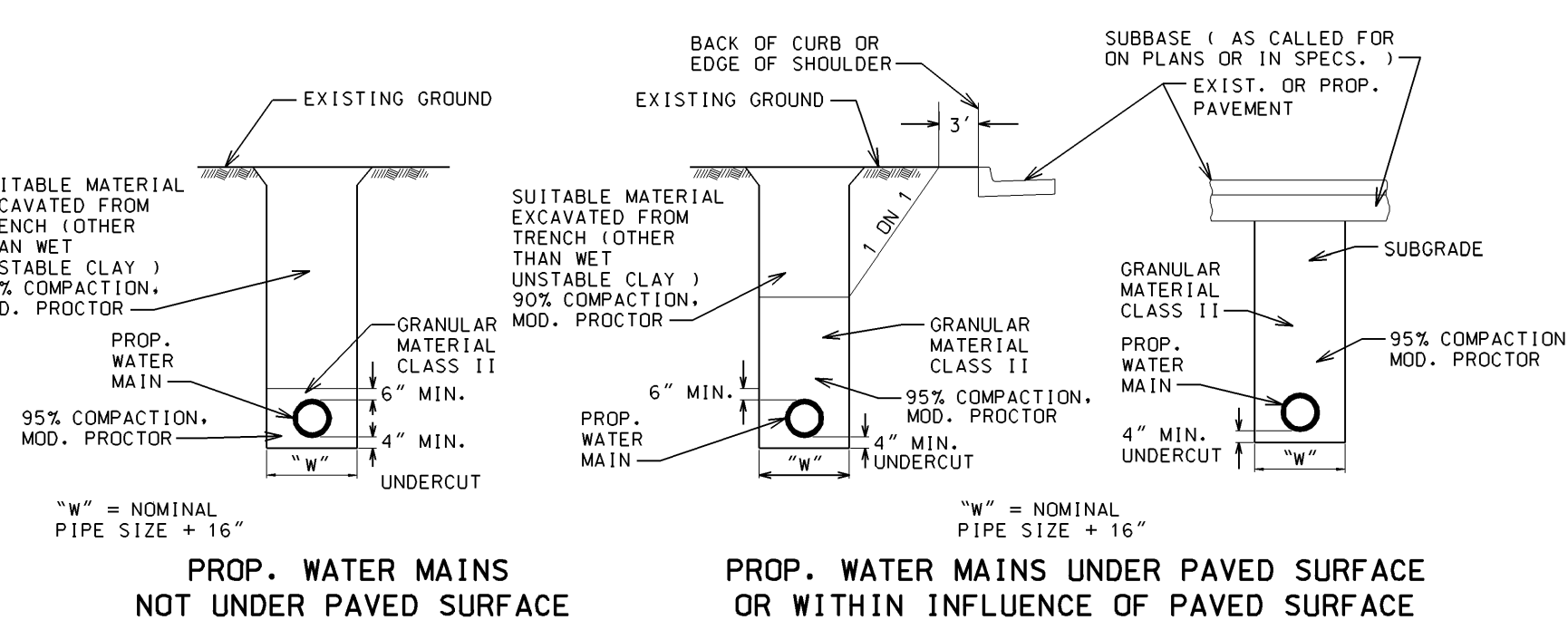
**DITCH AND STREAM CROSSING**

NO SCALE

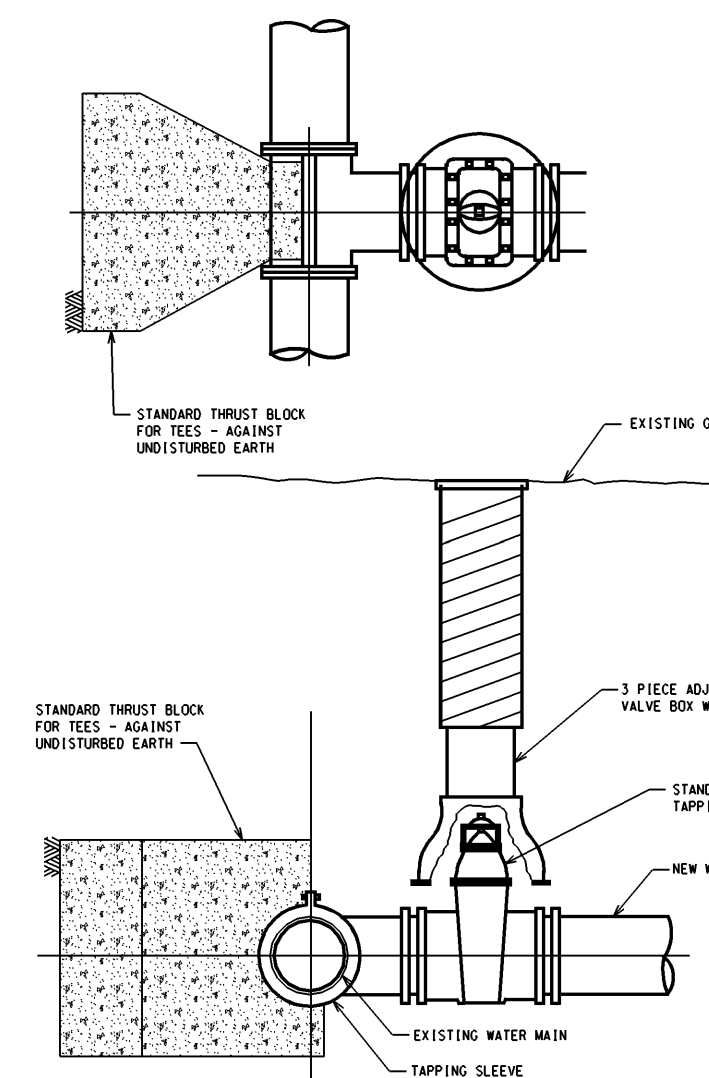


**SEWER OR CULVERT CROSSING**

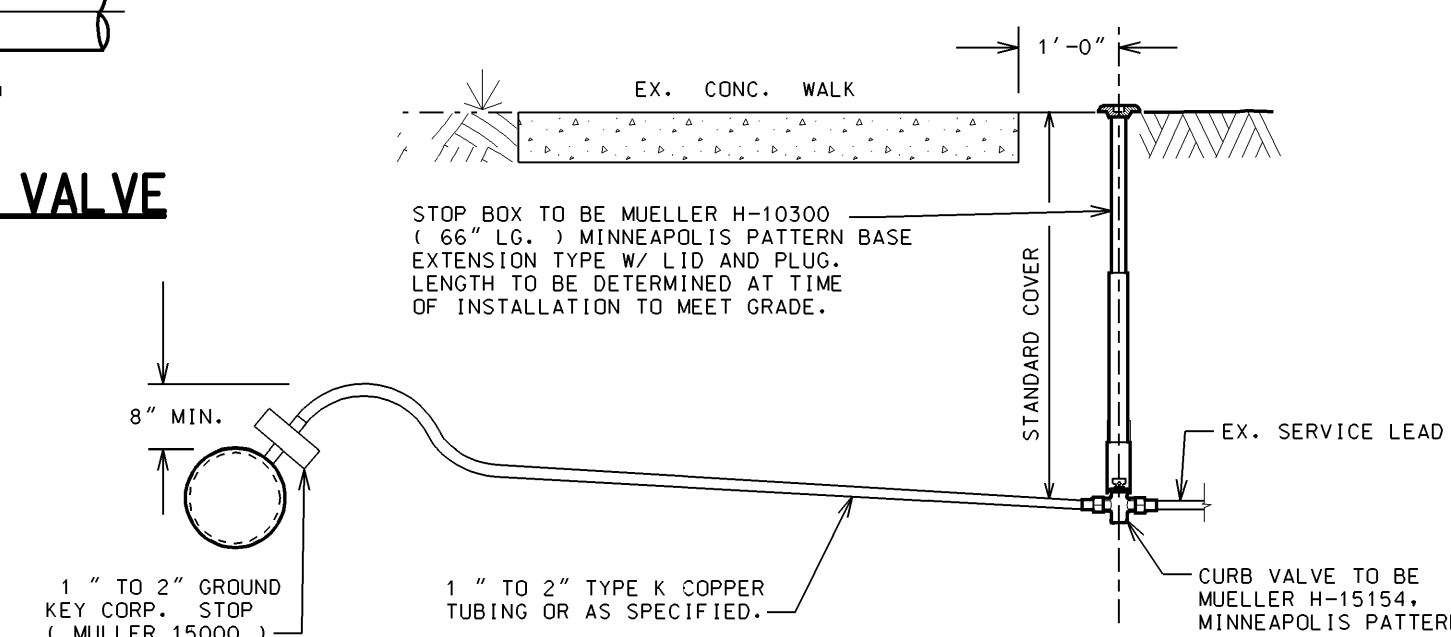
NO SCALE



**BEDDING DETAILS**

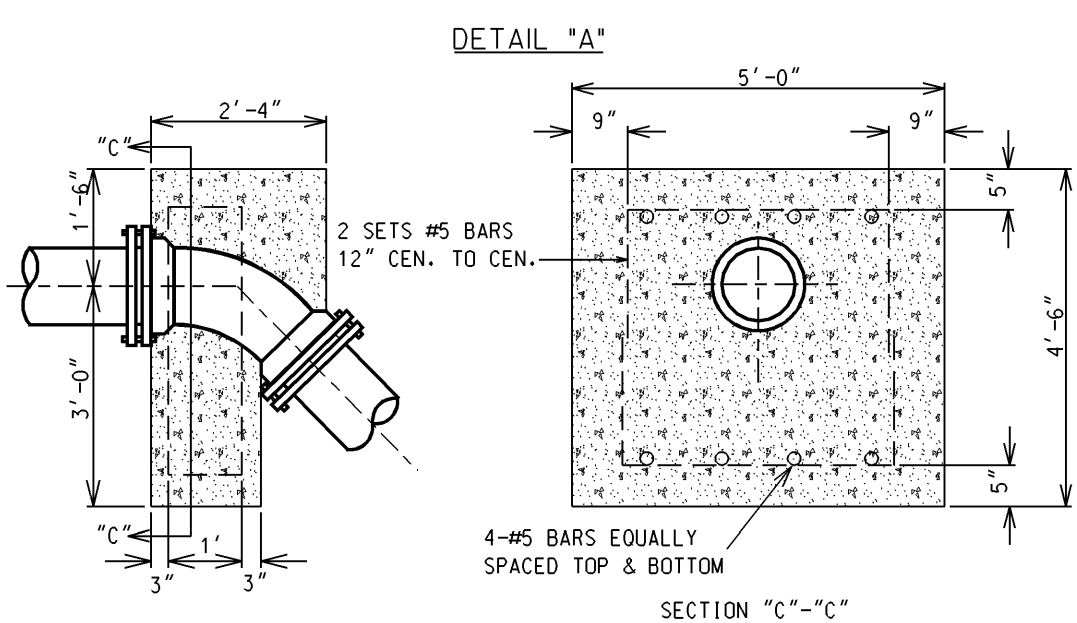


**TAPPING SLEEVE & VALVE W/VALVE BOX**

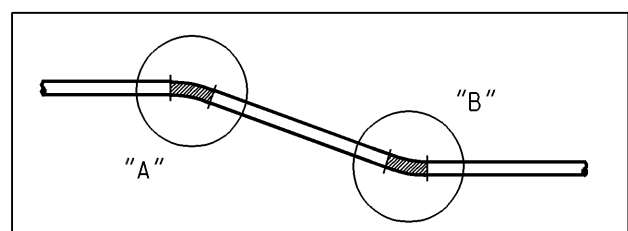


**WATER SERVICE CONNECTION ( TYP )**

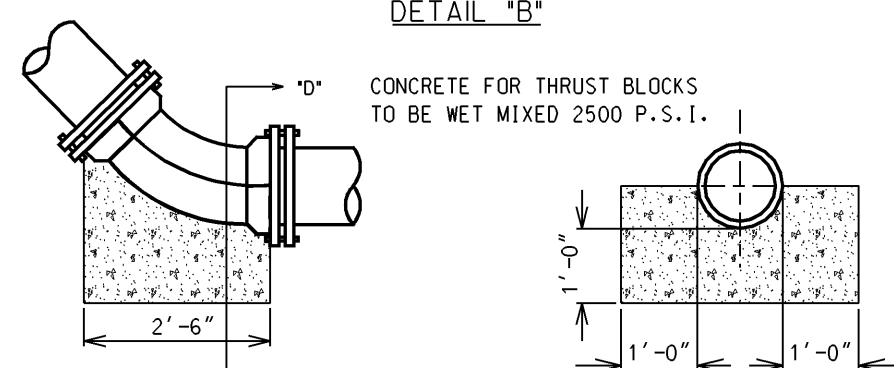
NO SCALE



**DETAIL "A"**

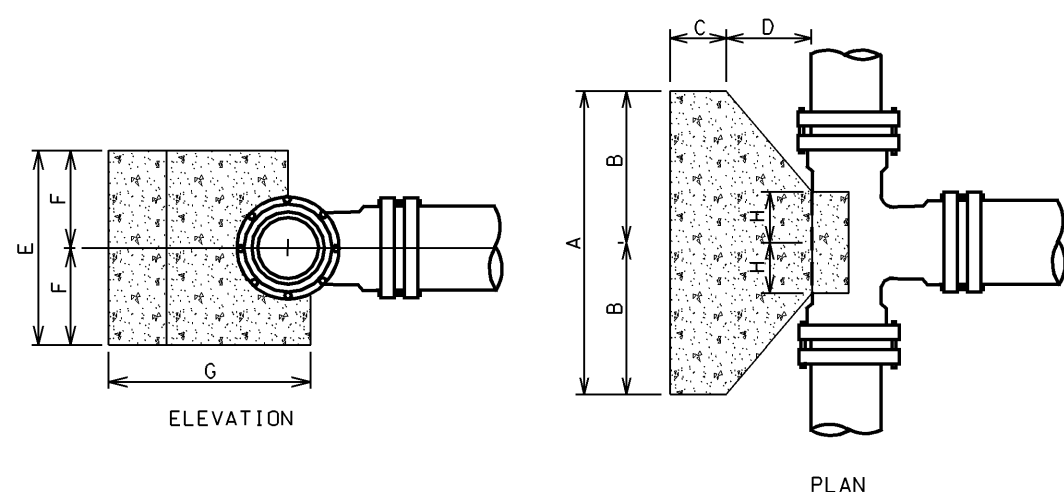


**DETAIL "B"**



**SECTION "D"**

**VERTICAL BEND THRUST BLOCKS FOR 8"-12" MAINS**

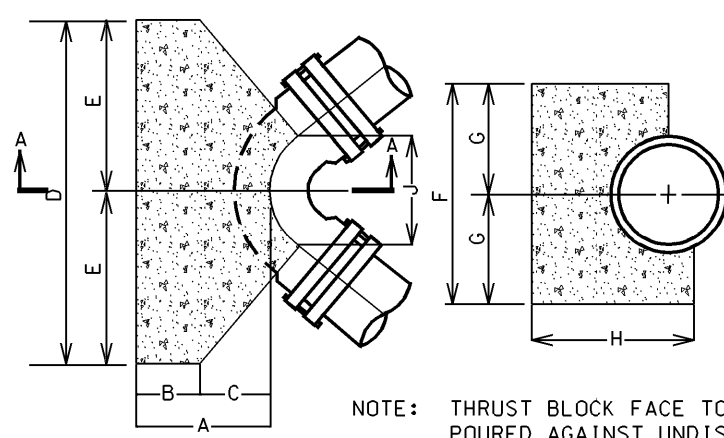


THRUST BLOCK FACE SHALL BE POURED AGAINST UNDISTURBED EARTH.  
CONCRETE FOR THRUST BLOCKS TO BE WET MIXED 2500 P.S.I.

SCHEDULE OF THRUST BLOCK DIMENSIONS		TEE SIZE		
CODE		8"x8"	12"x12"	16"x16"
A	3'-0"	4'-0"	5'-0"	5'-0"
B	1'-6"	2'-0"	2'-6"	2'-6"
C	0'-9"	0'-9"	1'-0"	1'-0"
D	1'-0"	1'-4"	1'-8"	1'-8"
E	2'-0"	3'-0"	4'-0"	4'-0"
F	1'-0"	1'-6"	2'-0"	2'-0"
G	2'-2"	2'-10"	3'-8"	3'-8"
H	2'-10"	3'-11"	4'-2"	4'-2"
I	3'-3"	3'-7"	4'-2"	4'-2"
J	0'-6"	0'-10"	1'-0"	1'-0"
K	0'-6"	0'-10"	1'-0"	1'-0"
L	0'-6"	0'-10"	1'-0"	1'-0"

**CONCRETE THRUST BLOCK FOR TEES**

N. T. S.

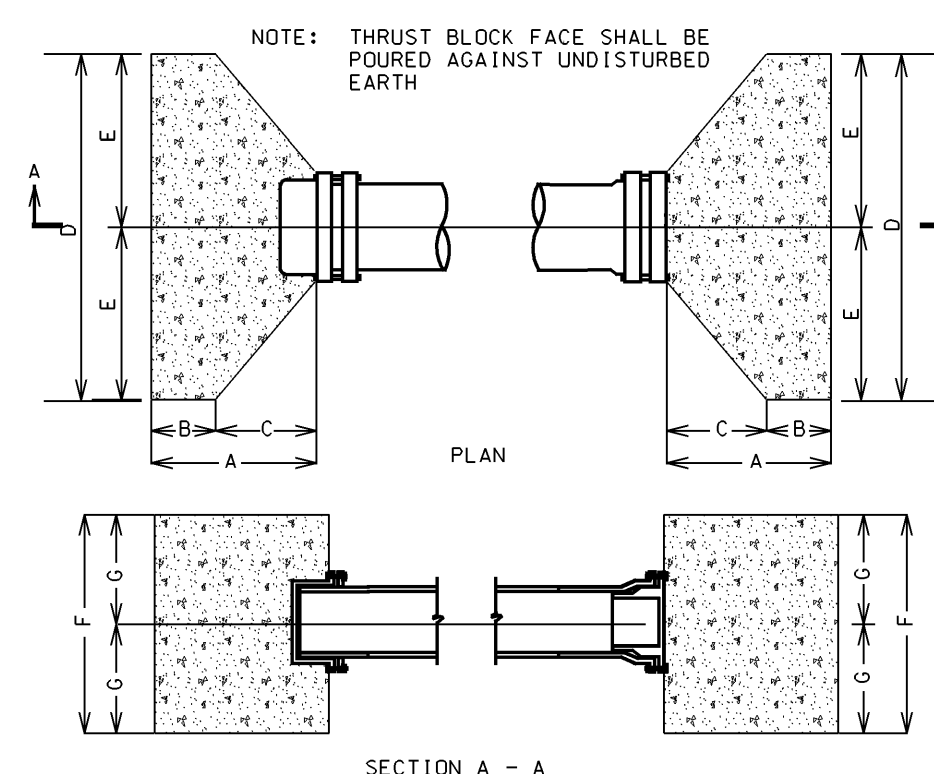


NOTE: THRUST BLOCK FACE TO BE POURED AGAINST UNDISTURBED EARTH.  
CONCRETE FOR THRUST BLOCKS TO BE WET MIXED 2500 P.S.I.

SIZE	ANGLE	A MIN.	B MIN.	C	D	E	F	G	H MIN.	J
6"	45°	1'-6"	0'-9"	0'-9"	1'-6"	0'-9"	1'-6"	0'-9"	1'-8"	0'-10"
6"	90°	1'-6"	0'-9"	0'-9"	2'-0"	1'-0"	2'-0"	1'-0"	1'-8"	0'-10"
8"	45°	1'-9"	0'-9"	1'-0"	2'-4"	1'-2"	2'-0"	1'-0"	1'-11"	1'-4"
8"	90°	1'-9"	0'-9"	1'-0"	3'-4"	1'-8"	2'-6"	1'-3"	1'-11"	1'-2"
12"	22-1/2°	1'-9"	0'-9"	1'-0"	2'-6"	1'-3"	2'-0"	1'-0"	2'-0"	1'-4"
12"	45°	2'-11"	0'-9"	1'-4"	3'-6"	1'-9"	2'-6"	1'-3"	2'-4"	1'-4"
12"	90°	2'-11"	0'-9"	1'-4"	5'-8"	2'-9"	3'-0"	1'-6"	2'-4"	1'-8"
16"	22-1/2°	2'-8"	1'-0"	1'-8"	3'-3"	1'-8"	2'-6"	1'-3"	3'-0"	1'-2"
16"	45°	2'-8"	1'-0"	1'-8"	5'-4"	2'-8"	3'-0"	1'-6"	3'-0"	1'-6"
16"	90°	2'-8"	1'-0"	1'-8"	6'-0"	3'-0"	5'-0"	2'-6"	3'-0"	1'-8"
24"	90°	4'-7"	1'-0"	3'-7"	10'-0"	5'-0"	7'-0"	3'-6"	5'-4"	2'-4"

**CONCRETE THRUST BLOCK FOR BENDS**

N. T. S.



SIZE	A MIN.	B MIN.	C	D	E	F	G
8"	1'-11"	0'-9"	1'-2"	3'-0"	1'-6"	2'-0"	1'-0"
12"	2'-1"	0'-9"	1'-4"	4'-0"	2'-0"	3'-0"	1'-6"
16"	2'-8"	1'-0"	1'-8"	5'-0"	2'-6"	3'-0"	2'-0"

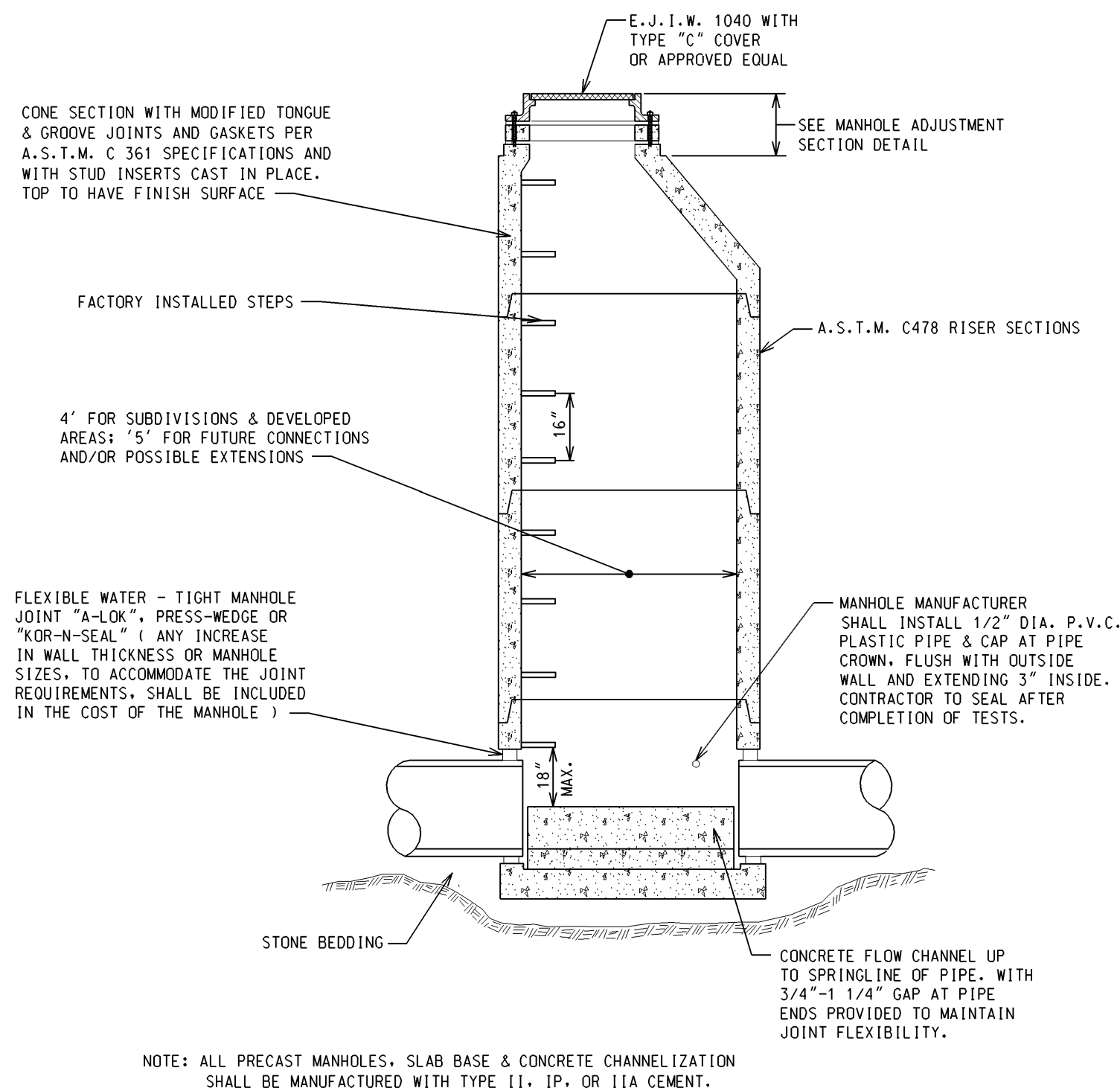
**CONC. THRUST BLOCKS FOR PLUGS & CAPS**



151 MARTIN STREET BIRMINGHAM, MICHIGAN 48102

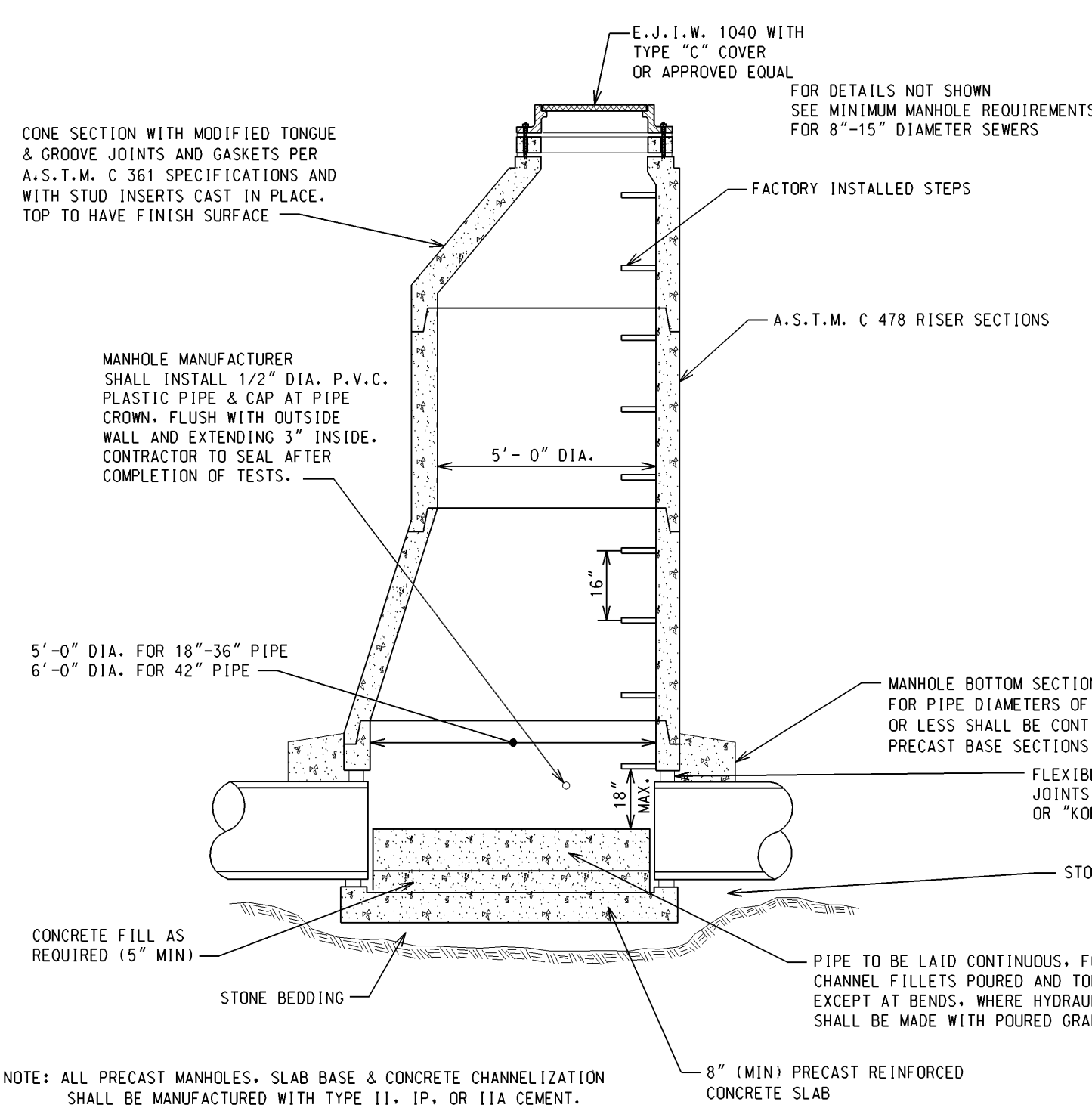
**WATER MAIN STANDARD DETAILS**

DATE:	ADDITION AND/OR REVISION:	DRAWN:	PROJECT NO.:	SHEET NO.:
		DESIGNED:	DATE:	WM-1
		APPROVED:	SCALE:	



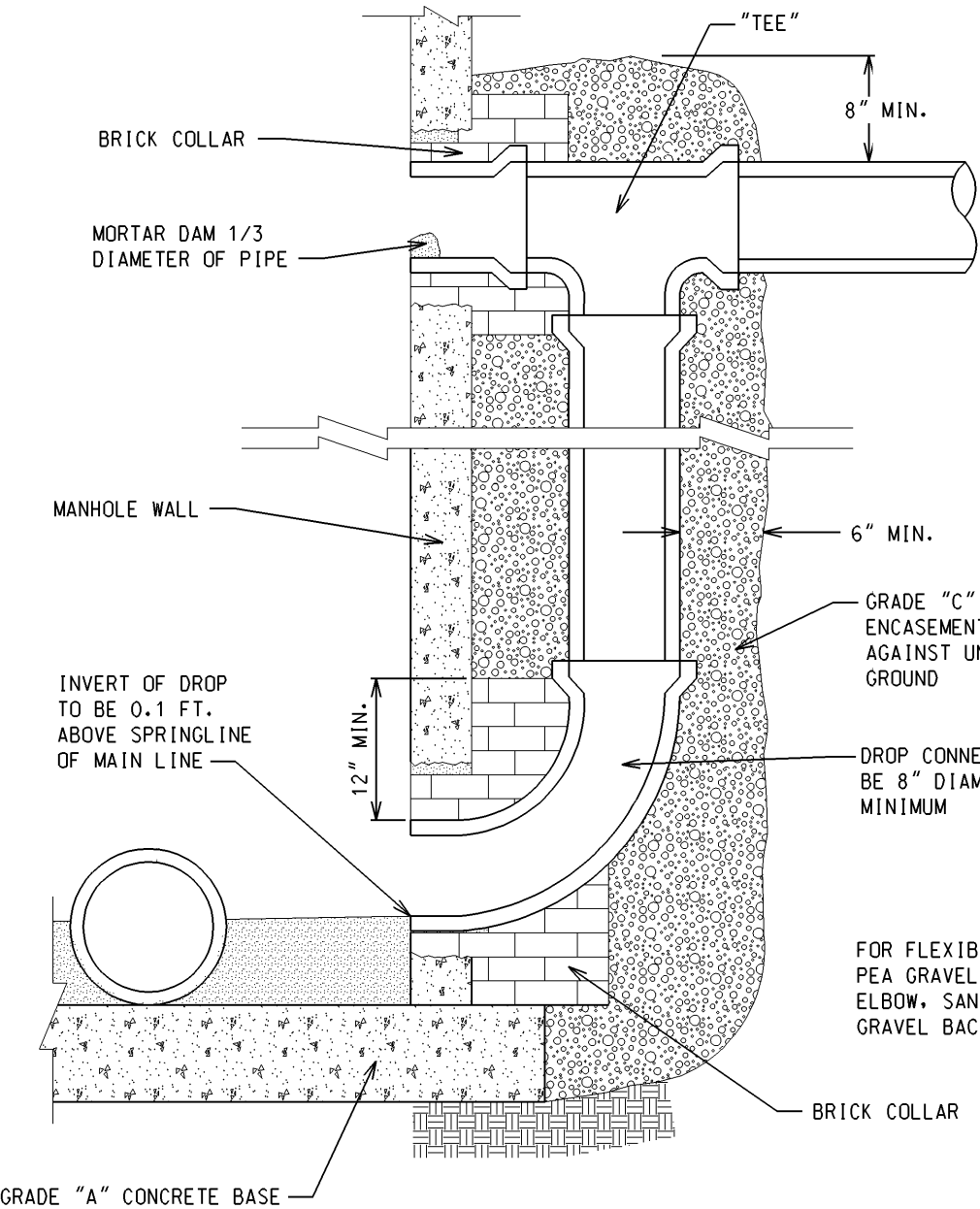
### SEWER MANHOLE

( 8" THRU 15" DIA. SEWERS )

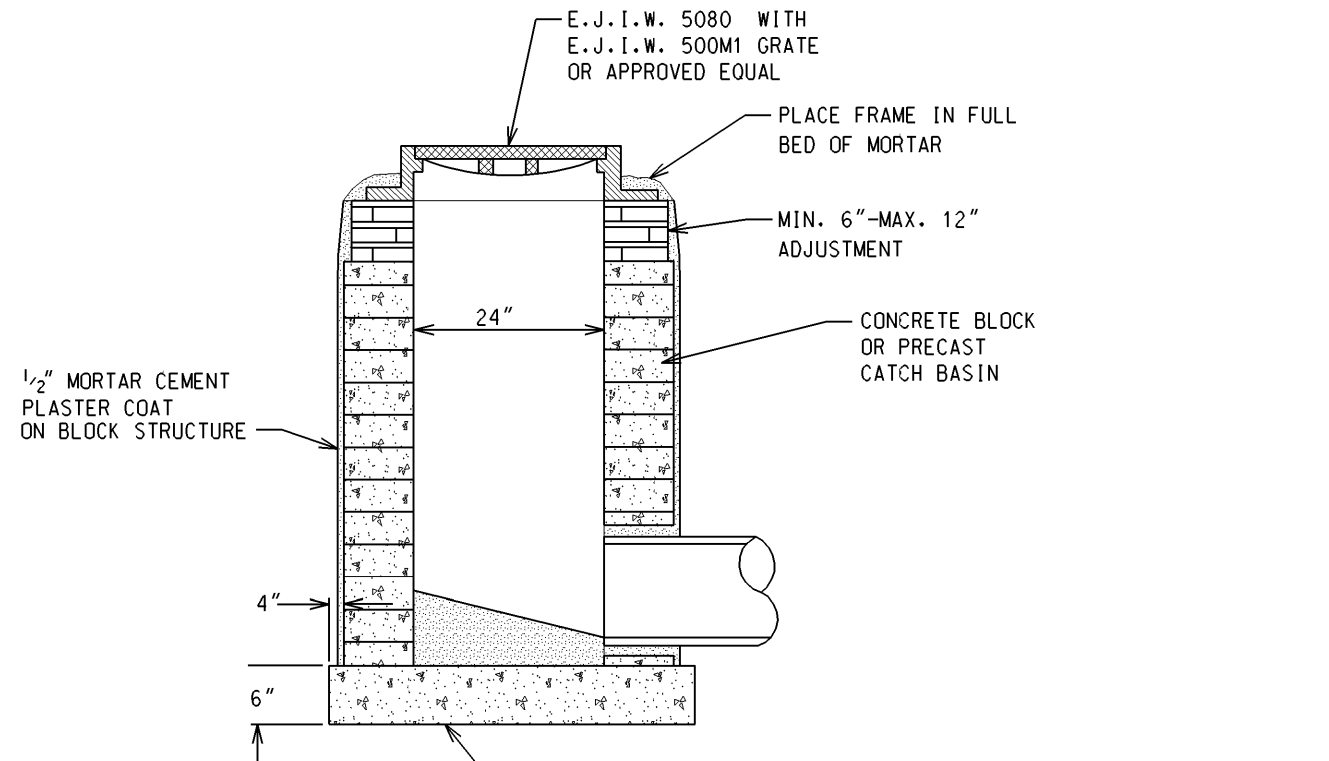


### SEWER MANHOLE

( 18" THRU 42" DIA. SEWERS )

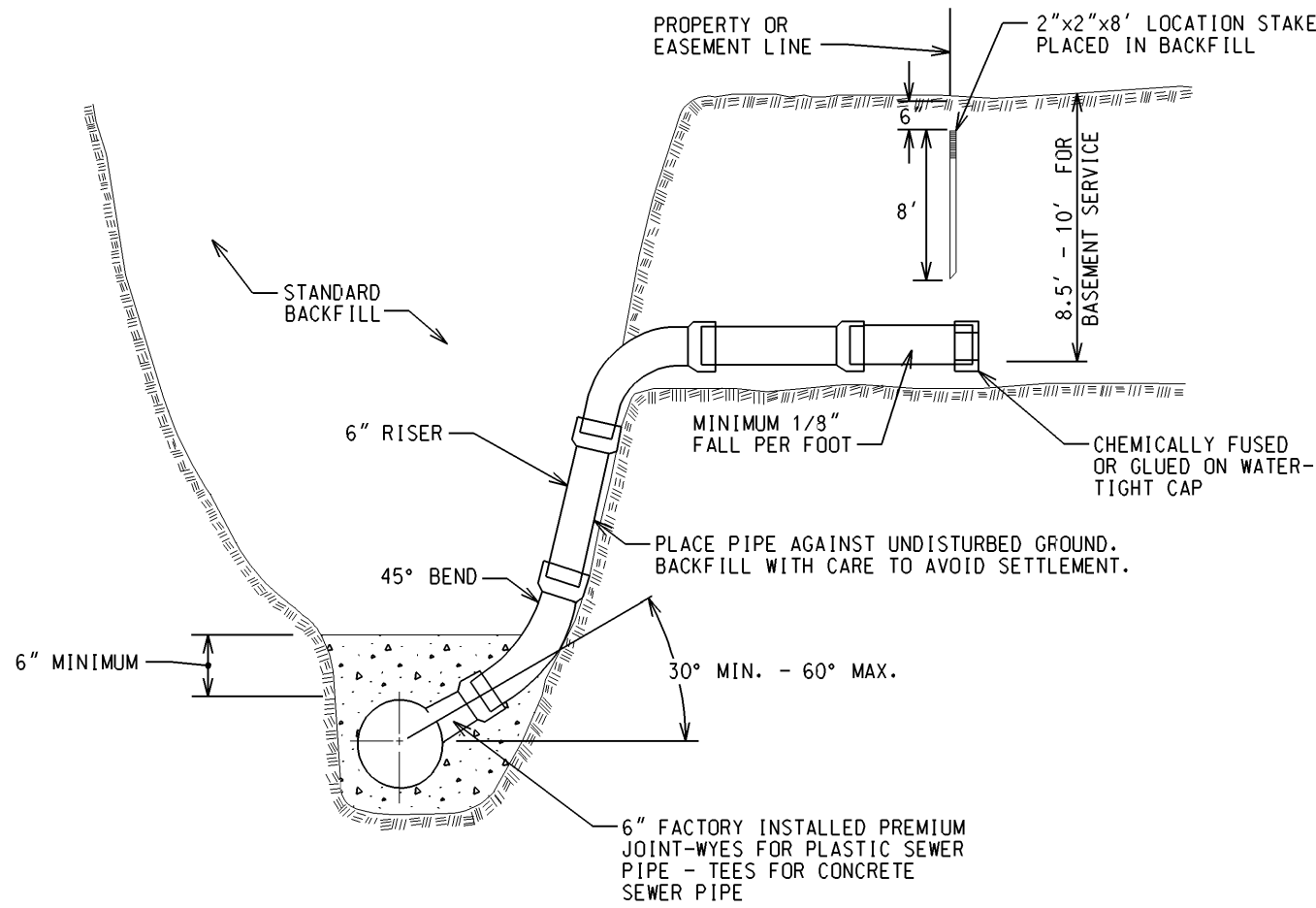


### EXTERNAL DROP CONNECTION



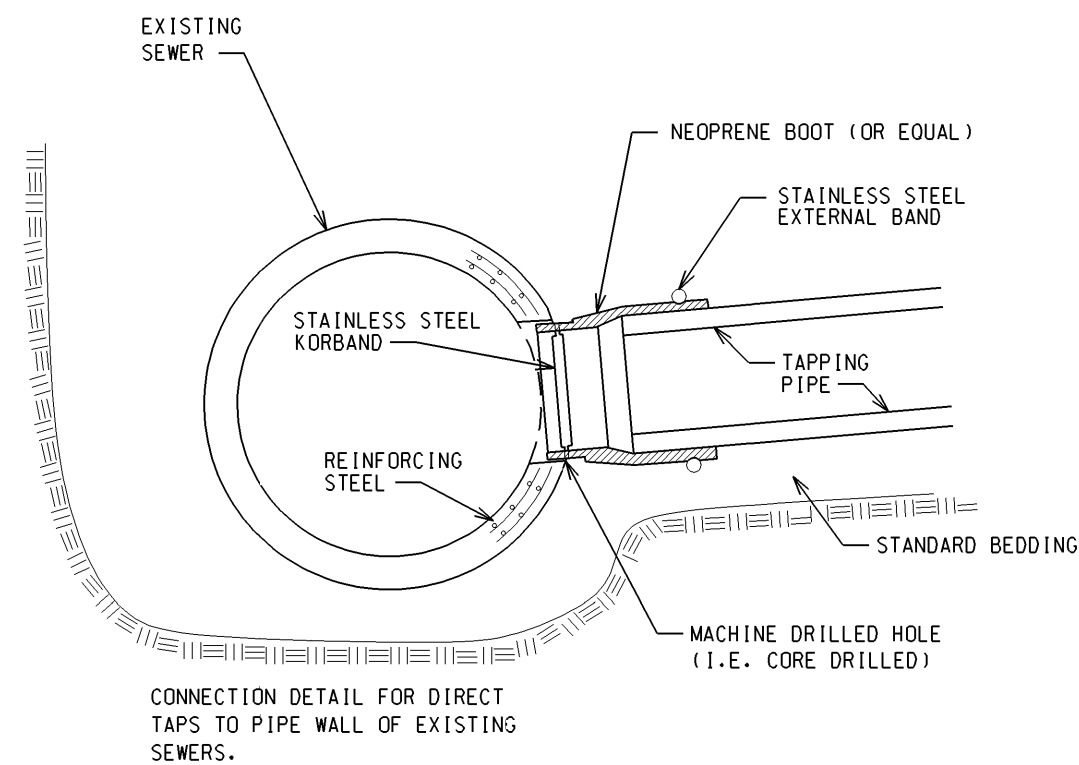
### 2 FT. DIAMETER INLET

NOTE: FOR CATCH BASINS OR INLETS WITHIN YARD AREAS USE E.J.I.W. 1040 WITH TYPE "N" COVER OR APPROVED EQUAL



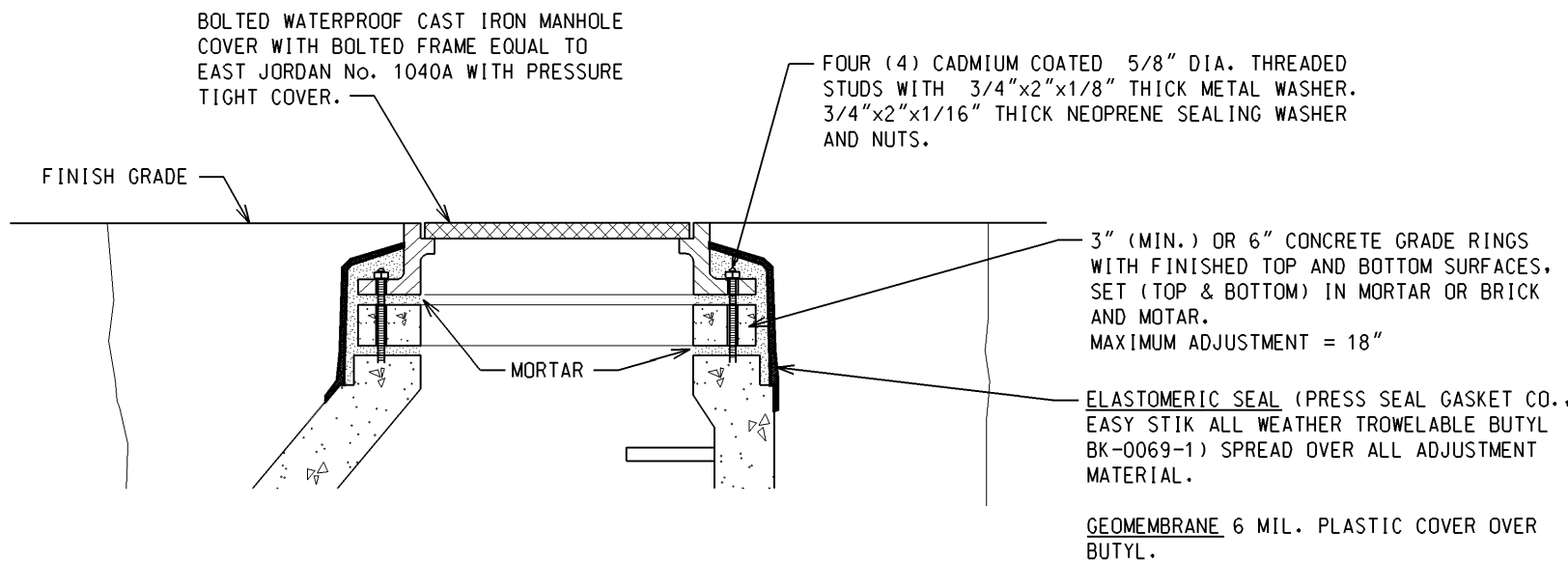
### BUILDING LEAD DETAIL

0' - 15' COVER

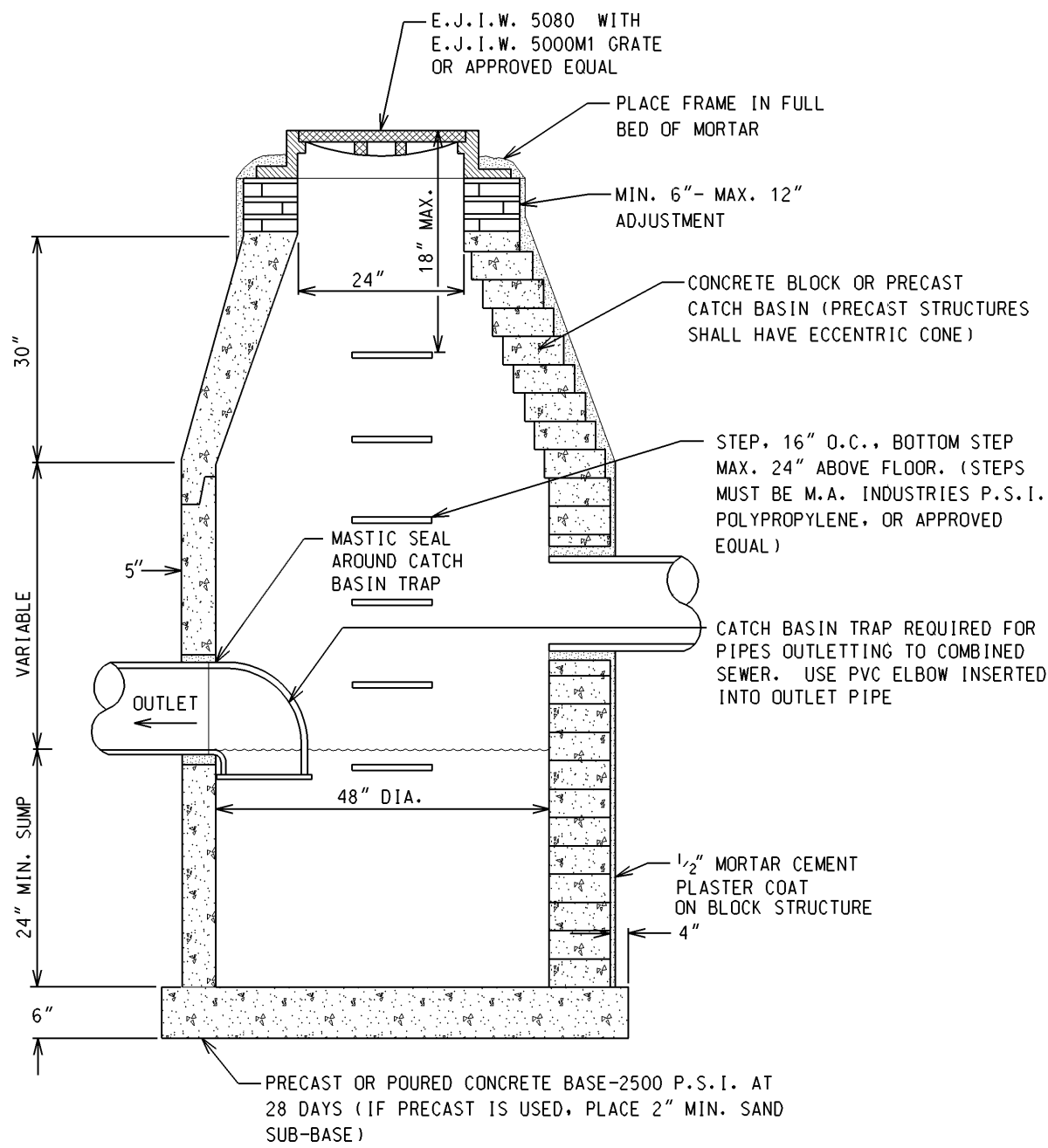


### KOR-N-TEE TAP FOR CONCRETE

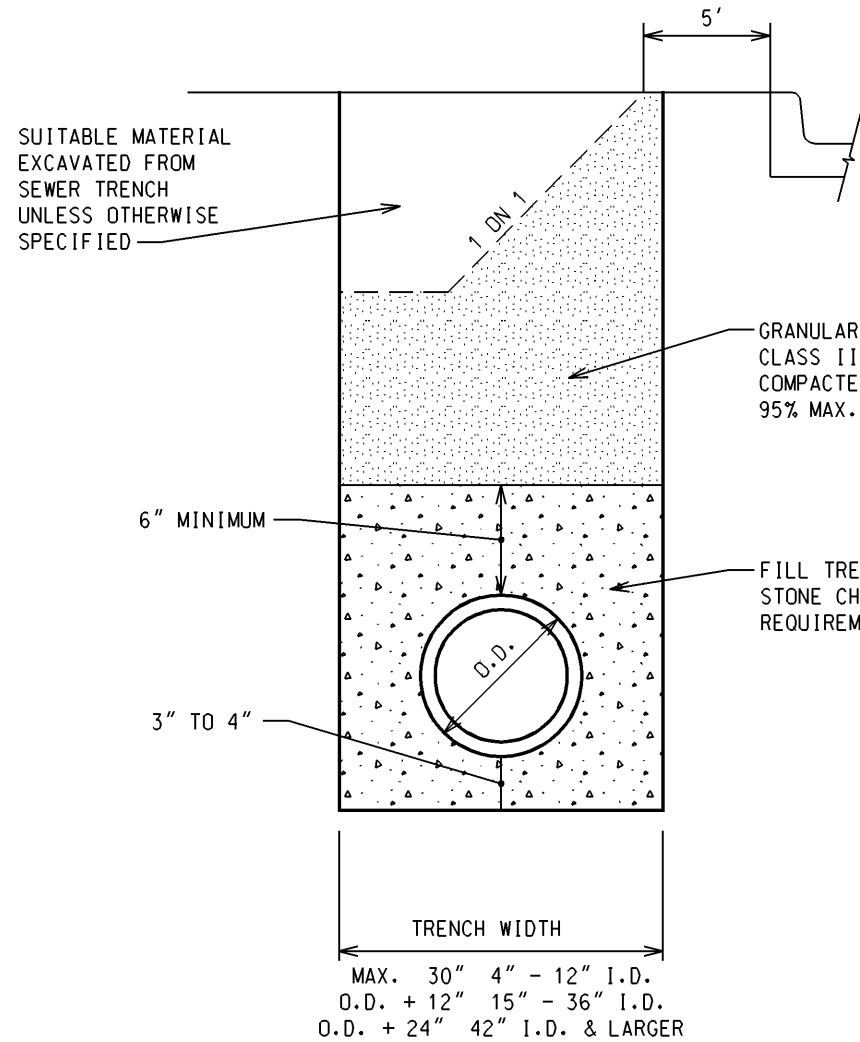
NO SCALE



### SANITARY MANHOLE ADJUSTMENT SECTION DETAIL



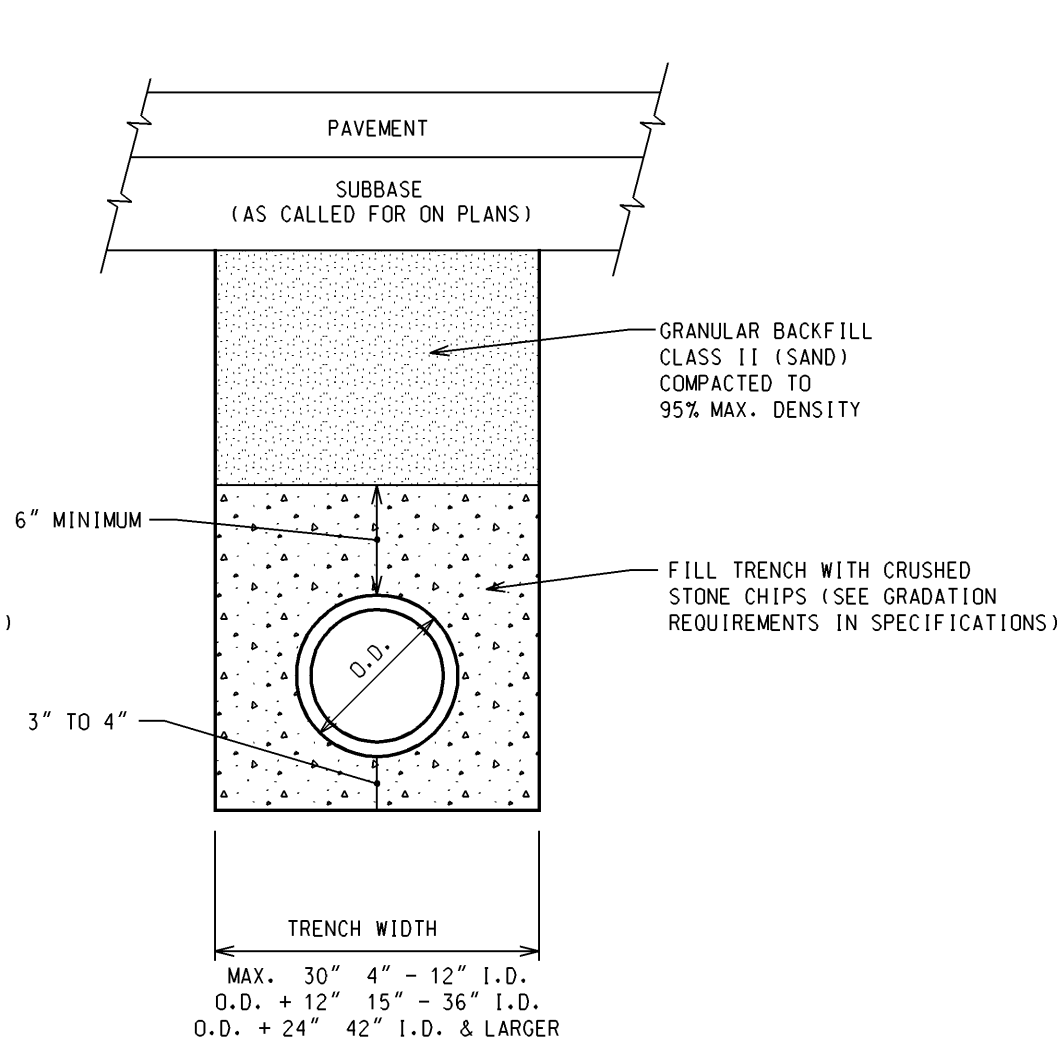
### 4 FT. DIAMETER CATCH BASIN



### TRENCH DETAIL "A"

SEWER UNDER ROAD BED OR WITHIN THE INFLUENCE OF ROAD BED

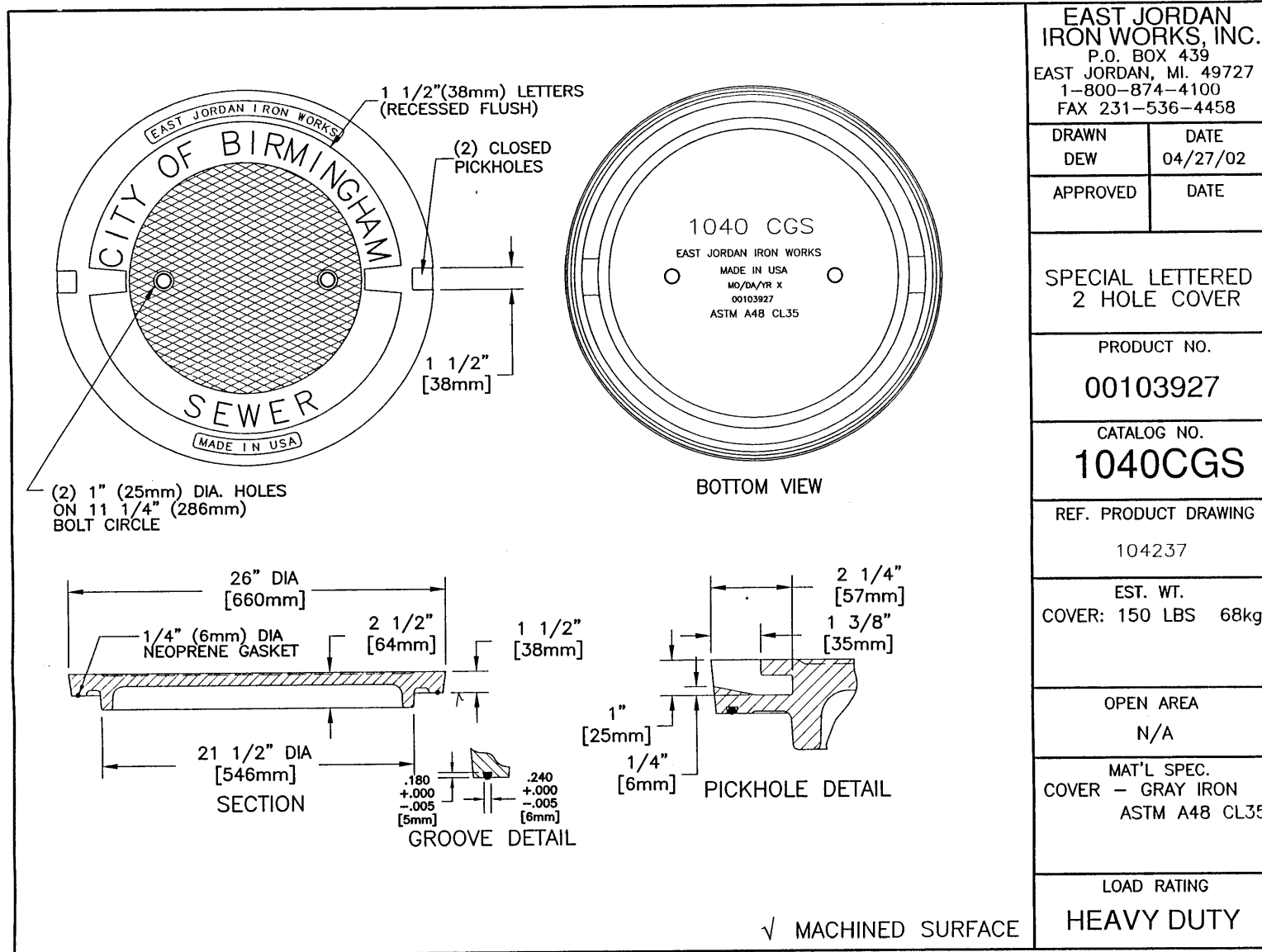
NOT TO SCALE



### TRENCH DETAIL "B"

SEWER NOT UNDER ROAD BED

NOT TO SCALE



151 MARTIN STREET BIRMINGHAM, MICHIGAN 48102

### SEWER STANDARD DETAILS

DATE:	ADDITION AND/OR REVISION	DRAWN	PROJECT NO.	SHEET NO.
		DESIGNED	DATE JANUARY 2007	
		APPROVED	SCALE	

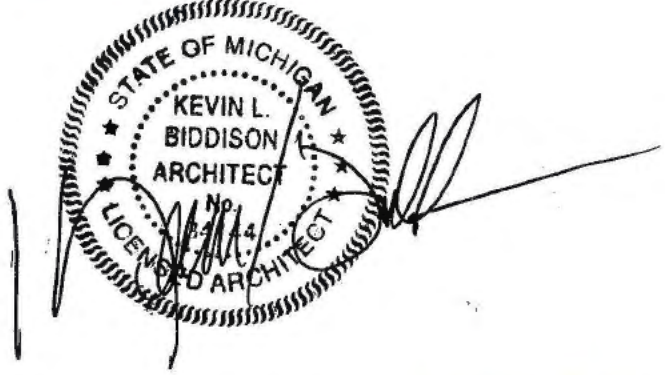


PROPOSED BUILDING RENOVATION FOR:  
**THE JEFFREY**

191 N Chester St  
Birmingham, Michigan 48009

SPECIAL LAND USE  
PERMIT 01.15.18  
CIS & SITE PLAN REVIEW 04.13.18

**EXISTING  
SITE IMAGES**

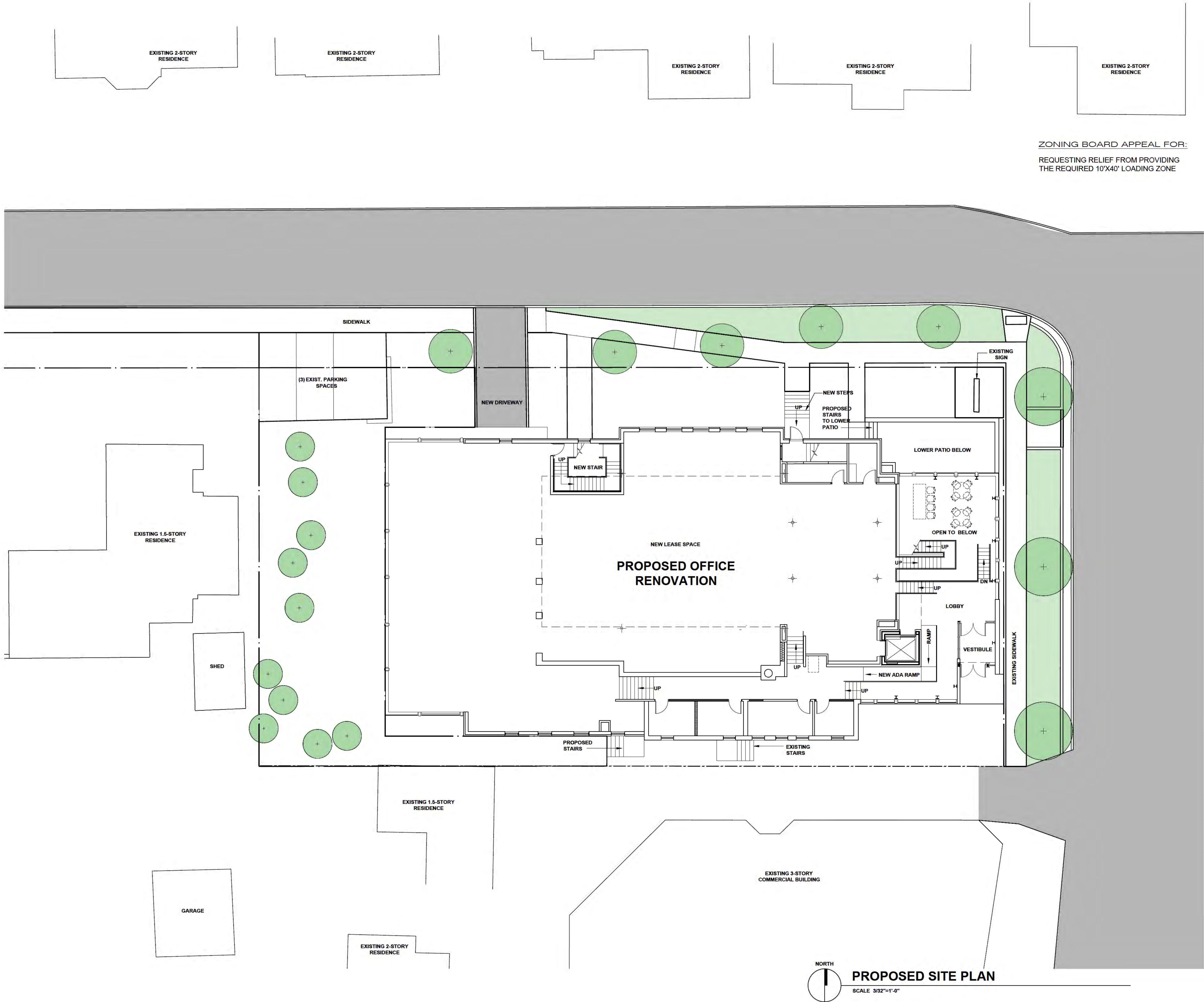


1997.17

SP.100







ZONING BOARD APPEAL FOR:  
REQUESTING RELIEF FROM PROVIDING  
THE REQUIRED 10'X40' LOADING ZONE

Consultants

PROJECT ADDRESS  
191 N Chester St,  
Birmingham, MI 48009  
ZONED: TZ-2

APPLICANT INFORMATION  
CONTACT PERSON:  
Sam Sumow  
320 Martin St, Suite 100  
Birmingham, MI 48009

Project title

PROPOSED BUILDING RENOVATION FOR:  
THE JEFFREY

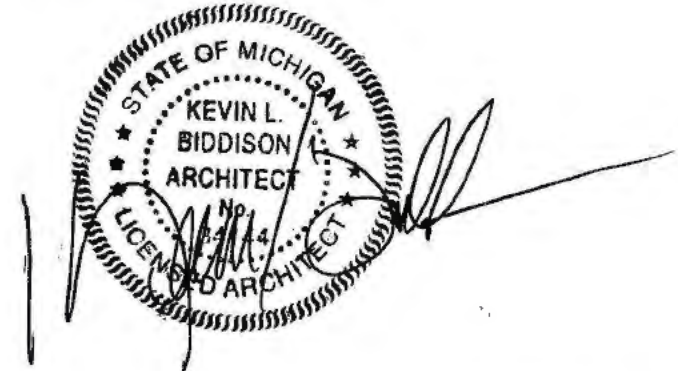
191 N Chester St  
Birmingham, Michigan 48009

Issued dr/ch

ZONING	08.29.17
SPECIAL LAND USE	
PERMIT	01.16.18
ZONING BD. APPEAL	02.15.18
PLANNING COMMISSION	03.13.18
CIS & SITE PLAN REVIEW	04.13.18

Sheet title

PROPOSED SITE  
PLAN



Project no.

1997.17

Sheet no.

SP.101



PROPOSED SITE PLAN

SCALE 3/32"=1'-0"







THE JEFFREY

Issued dr/ch

ZONING	08.29.17
REVIEW	09.29.17
REVIEW	10.09.17
SPECIAL LAND USE	
PERMIT	01.15.18
PLANNING COMMISSION	03.13.18
CIS & SITE PLAN REVIEW	04.13.18



1997.17





THE JEFFREY

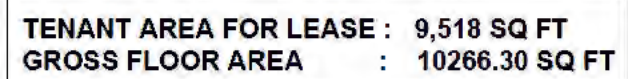
Issued dr/ch

Sheet title

## A circular professional seal for Kevin L. Biddison, a licensed architect in the State of Michigan. The seal contains the text "STATE OF MICHIGAN", "KEVIN L. BIDDISON", "ARCHITECT", and "LICENSED ARCHITECT NO. 067893". There are handwritten initials over the seal.

1997.17

A.101



### FIRST FLOOR PLAN

SCALE 3/16"=1'-0"

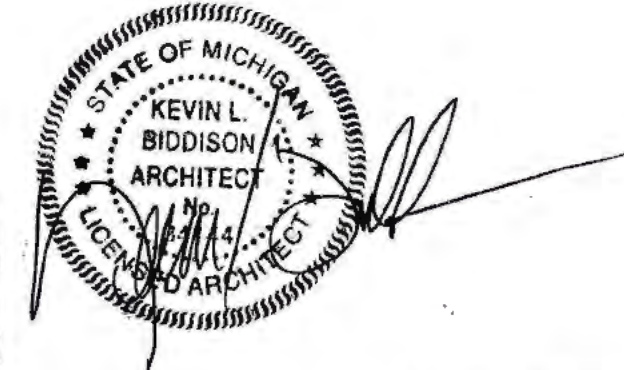


PROPOSED BUILDING RENOVATION FOR:  
**THE JEFFREY**

191 N Chester St  
Birmingham, Michigan 48009

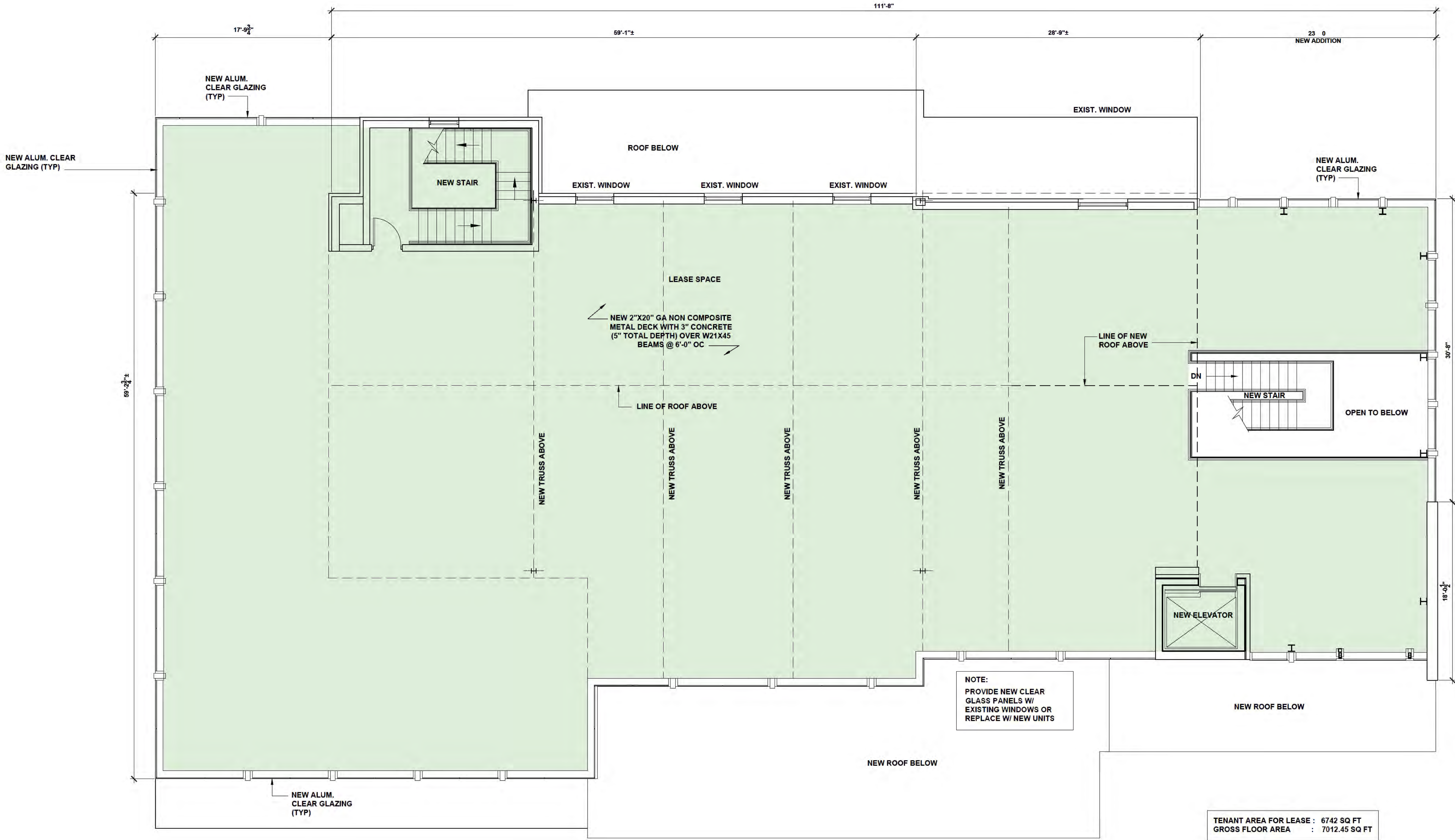
ZONING	08.29.17
REVIEW	09.29.17
SPECIAL LAND USE	
PERMIT	01.15.18
PLANNING COMMISSION	03.13.18
CIS & SITE PLAN REVIEW	04.13.18

**SECOND FLOOR PLAN**



1997.17

A.102



**SECOND FLOOR PLAN**  
SCALE 3/16"=1'-0"



PROPOSED BUILDING RENOVATION FOR:  
**THE JEFFREY**

191 N Chester St  
Birmingham, Michigan 48009

SPECIAL LAND USE  
PERMIT 01.15.18  
PLANNING COMMISSION 03.13.18  
CIS & SITE PLAN REVIEW 04.13.18

**PROPOSED  
ELEVATIONS**



**1997.17**

**A.201**



201.02  
A.201

**PROPOSED EAST ELEVATION**

SCALE 3/16"=1'-0"

NOTE

● DENOTES NEW WINDOW/DOOR



201.01  
A.201

**PROPOSED NORTH ELEVATION**

SCALE 3/16"=1'-0"

NOTE

● DENOTES NEW WINDOW/DOOR



Consultants

Project title

PROPOSED BUILDING RENOVATION FOR:  
**THE JEFFREY**

191 N Chester St  
Birmingham, Michigan 48009

Issued dr/ch

SPECIAL LAND USE  
PERMIT 01.15.18  
PLANNING COMMISSION 03.13.18  
CIS & SITE PLAN REVIEW 04.13.18

Sheet title

**PROPOSED  
ELEVATIONS**



Project no.

**1997.17**

Sheet no.

**A.202**



**202.02**  
**A.202**  
**PROPOSED WEST ELEVATION**  
SCALE 3/16"=1'-0"



**202.01**  
**A.202**  
**PROPOSED SOUTH ELEVATION**  
SCALE 3/16"=1'-0"

NOTE  
● DENOTES NEW WINDOW/DOOR





## MEMORANDUM

Planning Division

**DATE:** April 12<sup>th</sup>, 2018

**TO:** Jana Ecker, Planning Director

**FROM:** Nicholas Dupuis, Planning Intern

**SUBJECT:** 209 Hamilton Row – Palladium Special  
Land Use Permit and Final Site Plan

The 0.84 acre subject site, 250 N. Old Woodward, is located at the corner of N. Old Woodward and Hamilton Row in the Downtown Overlay. The applicant is seeking a Special Land Use Permit Amendment to remove a portion of the dining area (formerly 4-Story Burger) and install a 35 seat private viewing theater. There will be no changes made to the exterior of the building, and the building's signage will remain unchanged. The applicant has also advised that food and alcoholic beverage will be sold and consumed in the same manner as exists currently.

### 1.0 Land Use and Zoning

- 1.1 Existing Land Use – The land use at this parcel is commercial.
- 1.2 Zoning – The parcel is zoned B-4, Business Residential
- 1.3 Summary of Adjacent Land Use and Zoning - The following chart summarizes existing land use and zoning adjacent to and/or in the vicinity of the subject site, including the proposed 2016 Regulating Plan zones.

	North	South	East	West
Existing Land Use	Commercial	Commercial	Commercial	Commercial
Existing Zoning District	B-4, Business Residential	B-4, Business Residential	B-4, Business Residential	B-4, Business Residential

<b>Downtown Overlay Zoning District</b>	D-4	D-4	D-4	D-4
---	-----	-----	-----	-----

## **2.0 Setback and Height Requirements**

Please see attached zoning compliance summary sheet for detailed setback and height requirements.

## **3.0 Screening and Landscaping**

- 3.1 Dumpster Screening – No changes proposed.
- 3.2 Parking Lot Screening – No changes proposed.
- 3.3 Mechanical Equipment Screening – No changes proposed.
- 3.4 Landscaping – No changes proposed.
- 3.5 Streetscape – No changes proposed.

## **4.0 Parking, Loading and Circulation**

- 4.1 Parking – No changes proposed.
- 4.2 Loading – No changes proposed.
- 4.3 Vehicular Circulation and Access – No changes proposed.
- 4.4 Pedestrian Circulation and Access – No changes proposed.

## **5.0 Lighting**

The applicant is not proposing any changes to the lighting of the property.

## **6.0 Departmental Reports**

- 6.1 Engineering Division – The Engineering Department has no concerns at this time.
- 6.2 Department of Public Services –
- 6.3 Fire Department – The Fire Department has provided the following comments:

Based off the dimensions on the supplied plans, it appears the 35 seat screening room will need to incorporate a second egress door. Per the International Fire Code (IFC) 2015 Edition, section 1006.2.1, table 1006.2.1, and section 1029.8, the plans as shown, seem to exceed the common path of egress travel.

6.4 Police Department – The Police Department has no concerns at this time.

6.5 Building Division –

## **7.0 Design Review**

According to Article 7, Section 7.08 of the Zoning Ordinance, a design review is not required for the property, as no alteration or painting of the exterior of any building and/or the addition of any lighting, signs, equipment or other structures which substantially alter the exterior appearance is proposed at this time.

## **8.0 Approval Criteria**

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- (1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- (2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- (3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property nor diminish the value thereof.
- (4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- (5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- (6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

## **9.0 Recommendation**

Based on a review of the site plan submitted, the Planning Division finds that the proposed Final Site Plan meets the requirements of Article 7, section 7.27 of the Zoning Ordinance and recommends that the Planning Board recommend APPROVAL of the Final Site Plan and Special Land Use Permit Amendment for 250 N. Old Woodward – Palladium with the condition that a second egress door be added as requested by the Fire Department.

## **10.0 Sample Motion Language**

Motion to recommend APPROVAL of the Final Site Plan and Special Land Use Permit Amendment for 250 N. Old Woodward – Palladium with the following condition;

1. Comply with the requests of all City Departments

**OR**

Motion to recommend POSTPONEMENT of the Final Site Plan and Special Land Use Permit Amendment to the City Commission for 250 N. Old Woodward – Palladium – for the following reasons:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**OR**

Motion to recommend the DENIAL of the Final Site Plan and Special Land Use Permit Amendment to the City Commission for 250 N. Old Woodward – Palladium – for the following reasons:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



280 N. Old Woodward  
Suite 12  
Birmingham, MI 48009

O 248.385.3112

C 248.835.2068

F 888.450.1682

jphowe@jphowe.com

www.jphowe.com

March 29, 2018

**VIA HAND DELIVERY**

**Ms. Jana Ecker**  
**Planning Director**  
**City of Birmingham**  
City Hall Building  
151 Martin Street, Suite #223  
Birmingham, MI 48009

**Re: Application for Amendment to Special Land Use Permit**  
**Applicant: CH Birmingham, LLC d/b/a Emagine Palladium**  
**209 Hamilton Row, Birmingham, MI 48009**

Dear Ms. Ecker,

This firm represents CH Birmingham, LLC d/b/a Emagine Palladium, which operates a movie theater with a Class C liquor license at 209 Hamilton Row under a Special Land Use Permit issued by the City. We hereby submit this application to request an amendment to our client's Special Land Use Permit, to allow a portion of the dining area in the facility operated as Four Story Burger, to be converted to private movie screening room that will seat 35 guests. Interior construction to a limited area of the facility will be required to convert a portion of the existing dining space into a private movie screening room. There will be no changes to the exterior of the building, and all exterior signage will remain unchanged. Food and alcoholic beverages will continue to be offered for sale in the facility, and will be served and consumed as they currently are in the lounge area, concession area, and movie theaters.

In connection with this request, we have enclosed the following documents for your review:

1. Special Land Use Permit Application;
2. Floor Plan of facility showing proposed changes to create a private movie screening room;
3. Façade drawings showing no changes to the exterior façade; and
4. Check payable to the City of Birmingham in the amount of \$2,800 to cover the application fee

We appreciate your assistance processing this application, and we look forward to appearing before the Planning Board and City Commission to address any questions or concerns that the City may have regarding this request. Thank you for your attention to this matter. We await your response with respect to the date that you will present this request to the Planning Board.

Very truly yours,

**JPHOWE, PLLC**

J. Patrick Howe

cc: Emagine Palladium



## Special Land Use Permit Application Planning Division

*Form will not be processed until it is completely filled out.*

### 1. Applicant

Name: CH Birmingham, LLC d/b/a Emagine Palladium

Address: 209 Hamilton Row, Birmingham, MI 48009

Attn: Anthony LaVerde, CEO

Phone Number: c/o J. Patrick Howe 248-385-3112

Fax Number: 888-450-1682

Email Address: jphowe@jphowe.com

### 2. Applicant's Attorney/Contact Person

Name: J. Patrick Howe, Esq., JPHOWE, PLLC

Address: 280 N. Old Woodward Ave., Suite 12

Birmingham, MI 48009

Phone Number: 248-385-3112

Fax Number: 888-450-1682

Email Address: jphowe@jphowe.com

### Property Owner

Name: The Palladium of Birmingham, LLC

Address: 250 N. Old Woodward Ave.

Birmingham, Michigan 48009

Phone Number: 248-593-6200

Fax Number: 248-593-6203

Email Address: jjonna@ajjonna.com

### Project Designer/Developer

Name: Studio Three Design

Address: 8604 Aliosville Rd., Suite 330

Indianapolis, IN 46250

Phone Number: 317-595-1236

Fax Number: 317-572-1236

Email Address: N/A

### 3. Required Attachments

- Warranty Deed with legal description of property
- Required fee (see Fee Schedule for applicable amount)
- Fifteen (15) folded copies of plans including a certified land survey, color elevations showing all materials, site plan, landscape plan, photometric plan, and interior plan
- Photographs of existing site and buildings
- Samples of all materials to be used

- Catalog sheets for all proposed lighting, mechanical equipment & outdoor furniture
- An itemized list of all changes for which approval is requested
- Completed Checklist
- Digital copy of plans
- One (1) additional set of plans mounted on a foam board, including a color rendering of each elevation

### 4. Project Information

Address/Location of Property: 250 N. Old Woodward Ave.  
Birmingham, Michigan 48009

Name of Development: Palladium of Birmingham, LLC

Sidwell #: 19-25-453-011

Current Use: Movie theatre with food & beverage services

Proposed Use: Same

Area in Acres: .84 acres

Current Zoning: B-4, Downtown Overlay District

Zoning of Adjacent Properties: B-4, P

Is there a current SLUP in effect for this site?: Yes

Is property located in the floodplain? No

Name of Historic District site is in, if any: No

Date of HDC Approval, if any: N/A

Date of Application for Preliminary Site Plan: 5/28/14

Date of Preliminary Site Plan Approval: 5/28/14

Date of Application for Final Site Plan: 6/25/14

Date of Final Site Plan Approval: 8/27/14

Date of Revised Final Site Plan Approval:

Date of Final Site Plan Approval:

Date of DRB approval, if any: 5/28/14

Date of Last SLUP Amendment: 6/28/17

Will proposed project require the division of platted lots?

### 5. Details of the Nature of Work Proposed (Site plan & design elements)

Applicant is proposing to remove a portion of the dining area that was formerly used to operate Four Story Burger, and create an additional private screening room in this area per the enclosed plans.

There are no proposed changes to the existing lobby, cocktail lounge, bar, or kitchen. Emagine Palladium will continue to offer food and beverages, including alcoholic beverages, in the existing bar and lounge area. If the proposed changes are approved, no portion of the facility will be operated as Four Story Burger, and all components of the facility will be operated as Emagine Palladium.



**11. Streetscape NO CHANGES**

Sidewalk width: \_\_\_\_\_  
Number of benches: \_\_\_\_\_  
Number of planters: \_\_\_\_\_  
Number of existing street trees: \_\_\_\_\_  
Number of proposed street trees: \_\_\_\_\_  
Streetscape Plan submitted?: \_\_\_\_\_

Description of benches or planters: \_\_\_\_\_  
\_\_\_\_\_  
Species of existing street trees: \_\_\_\_\_  
Species of proposed street trees: \_\_\_\_\_  
\_\_\_\_\_

**12. Loading NO CHANGES**

Required number of loading spaces: \_\_\_\_\_  
Typical angle of loading spaces: \_\_\_\_\_  
Screenwall material: \_\_\_\_\_  
Location of loading spaces on the site: \_\_\_\_\_

Proposed number of loading spaces: \_\_\_\_\_  
Typical size of loading spaces: \_\_\_\_\_  
Height of screenwall: \_\_\_\_\_

**13. Exterior Trash Receptacles NO CHANGES**

Required number of trash receptacles: \_\_\_\_\_  
Location of trash receptacles: \_\_\_\_\_  
Screenwall material: \_\_\_\_\_

Proposed number of trash receptacles: \_\_\_\_\_  
Size of trash receptacles: \_\_\_\_\_  
Height of screenwall: \_\_\_\_\_

**14. Mechanical Equipment NO CHANGES**

**Utilities & Transformers:**

Number of ground mounted transformers: \_\_\_\_\_  
Size of transformers (LxWxH): \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Location of all utilities & easements: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Number of utility easements: \_\_\_\_\_  
Screenwall material: \_\_\_\_\_

Height of screenwall: \_\_\_\_\_

**Ground Mounted Mechanical Equipment: NO CHANGES**

Number of ground mounted units: \_\_\_\_\_  
Size of ground mounted units (LxWxH): \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Location of all ground mounted units: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Screenwall material: \_\_\_\_\_

Height of screenwall: \_\_\_\_\_

**Rooftop Mechanical Equipment: NO CHANGES**

Number of rooftop units: \_\_\_\_\_  
Type of rooftop units: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Location of all ground mounted units: \_\_\_\_\_  
Size of rooftop units (LxWxH): \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Screenwall material: \_\_\_\_\_  
Location of screenwalls: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Height of screenwall: \_\_\_\_\_  
Percentage of rooftop covered by mechanical units: \_\_\_\_\_  
Distance from units to rooftop units to screenwall: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



**15. Accessory Buildings** NOT APPLICABLE

Number of accessory buildings: \_\_\_\_\_  
Location of accessory buildings: \_\_\_\_\_

Size of accessory buildings: \_\_\_\_\_  
Height of accessory buildings: \_\_\_\_\_

**16. Building Lighting** NO CHANGES

Number of light standards on building: \_\_\_\_\_  
Size of light fixtures (LxWxH): \_\_\_\_\_

Type of light standards on building: \_\_\_\_\_  
Height from grade: \_\_\_\_\_

Maximum wattage per fixture: \_\_\_\_\_  
Light level at each property line: \_\_\_\_\_

Proposed wattage per fixture: \_\_\_\_\_  
Number & location of holiday tree lighting receptacles: \_\_\_\_\_

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan or Special Land Use Permit. The undersigned further states that they have reviewed the procedures and guidelines for site plan review and Special Land Use Permits in Birmingham and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

The Palladium of Birmingham, LLC

Signature of Owner: \_\_\_\_\_

Date: March 27, 2018

Print Name: \_\_\_\_\_

CH Birmingham, LLC d/b/a Imagine Palladium

Signature of Applicant: \_\_\_\_\_

Date: March 27, 2018

Print Name: Anthony LaVerde, CEO

Studio Three Design

Signature of Architect: \_\_\_\_\_

Date: March 27, 2018

Print Name: Kevin Coppedge

*Office Use Only*

Application #: \_\_\_\_\_ Date Received: \_\_\_\_\_ Fee: \_\_\_\_\_

Date of Approval: \_\_\_\_\_ Date of Denial: \_\_\_\_\_ Accepted by: \_\_\_\_\_

# PALLADIUM

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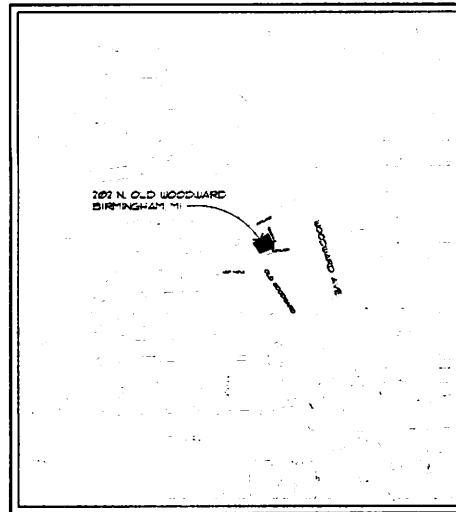
## BIRMINGHAM, MICHIGAN

**BUILDING OWNER/DEVELOPER:**

A.F. JONNA DEVELOPMENT  
4036 TELEGRAPH RD. SUITE 201  
BLOOMFIELD HILLS, MI 48302  
(248) 593-6200 FAX: (248) 593-6203

**ARCHITECT:**

JPRA ARCHITECTS  
39300 WEST TWELVE MILE RD. SUITE 180  
FARMINGTON HILLS, MI 48331  
(248) 737-0180 FAX: (248) 737-9161



LOCATION MAP  
CITY OF BIRMINGHAM  
NOT TO SCALE



**INDEX OF DRAWINGS**

SHEET NUMBER	DRAWING TITLE
CS	COVER SHEET
C1	ALTA/ACSM LAND TITLE SURVEY
C2	FINAL SITE PLAN
A.102	LOWER LEVEL FLOOR PLAN
A.103	STREET LEVEL FLOOR PLAN
A.104	SECOND LEVEL FLOOR PLAN
A.105	FOURTH LEVEL FLOOR PLAN
A.106	THIRD LEVEL FLOOR PLAN
A.107	FIFTH LEVEL FLOOR PLAN
A.108	ELEVATIONS
A.109	ELEVATIONS
A.110	PHOTOMETRIC CALCULATIONS

**PREVIOUS APPROVAL**

PRELIMINARY SITE PLAN APPROVAL  
BY PLANNING BOARD MAY 28, 2014

**FINAL SITE PLAN APPROVAL**  
JUNE 09, 2014



NOWAK & FRAUS  
ENGINEERS

46777 WOODWARD AVENUE  
PONTIAC, MI 48342  
TEL: (248) 332-7931  
FAX: (248) 332-8257

LEGAL DESCRIPTION

LONG 110-2 in the City of Birmingham in the County of Oakland in the State of M  
PARCE 1

[illegible][illegible]

The legal framework for the survey was established by the legal sanction of record

TITLE NOTES  
54.8.1.1

10. A-10 was granted by the Detroit Police Commission on February 22, 1973 (624). The A-10 was a copy of a letter from the Detroit Police Commission to the Detroit Police Department dated February 22, 1973. The letter was addressed to the Detroit Police Department and was dated February 22, 1973. The letter was addressed to the Detroit Police Department and was dated February 22, 1973.

All calculations shown or noted in this survey were obtained from The Commission  
No. 1814-252, with an effective date of 02-01-2018, issued by The Source, Inc.  
01-17-2018

Group 1: 1 tree 75.52 square feet or 0.54 acres  
Zone 1: 10 (see Appendix)

10. When you are in a presentation mode, which control windows and other aids of the 6524 is visible?

Max Building: 4-unit permit at 1 stories/60'

The above setback & height requirements were obtained from the City of Birmingham Zoning Ordinance.

**BLOOD HAZARD NOTE**

The Property, located within this survey does not lie within a Special Flood Hazard Area as defined by the Federal Emergency Management Agency; the property lies within Zone A of the National Flood Insurance Rate Map identified as Map No. 25-220003370, dated an effective date of 06/27/2016.

There was no observable evidence of cemeteries or burial grounds within the subject property.

**UTILITY NOTE:**  
All utilities are underground unless otherwise noted.  
The utilities shown on this survey were obtained by a field inspection. All utilities are approximate. The location of all other underground utilities are unknown.

**SURVEY NOTES**  
There is no direct evidence of current earth moving work, building construction, or other activities.

There was no known proposed changes in street right-of-way lines available from a certifying jurisdiction.

There was no observable evidence of wetlands within the subject property as of the date of completion of the field work.

### SURVEYOR'S CERTIFICATION

Associated Bank, National Association, its successors and/or assigns  
The Paladium of Birmingham, LLC  
1111 5th Ave. NE, 10th Fl.  
Birmingham, AL 35203-4400

[illegible]

The field work was completed on 01-15-2014.

Kevin T. Carroll, P.E.  
No. 03507  
Dates: 07-31-2014  
Revised: 04-10-2014

PROJECT  
Palladium

**PROJECT LOCATION:**  
No. 250-270 N. Old  
Woodward Avenue & 201  
Hamilton Road  
Part of the S.W. 1/4 of  
Section 10, T.2N., R.10E.,  
City of Birmingham,  
Oakland County, MI

ALTA.ACSM  
Land Title Survey

REVISIONS	
03-06-2014	Rev. Certificate
04-10-2014	Rev. Cert. & Title Note
06-03-2014	Final Site Plan Approved

2000

DRAWN BY:  
 D.MCCONKEY  
 APPROVED BY:  
 K.N.R.FRAUS

EMAIL:  
rff@nso.brown.edu

01/31-2014  
SCALE:  
1"=20'  
NET JOB NO. SHEET NO.

H888-01	C1
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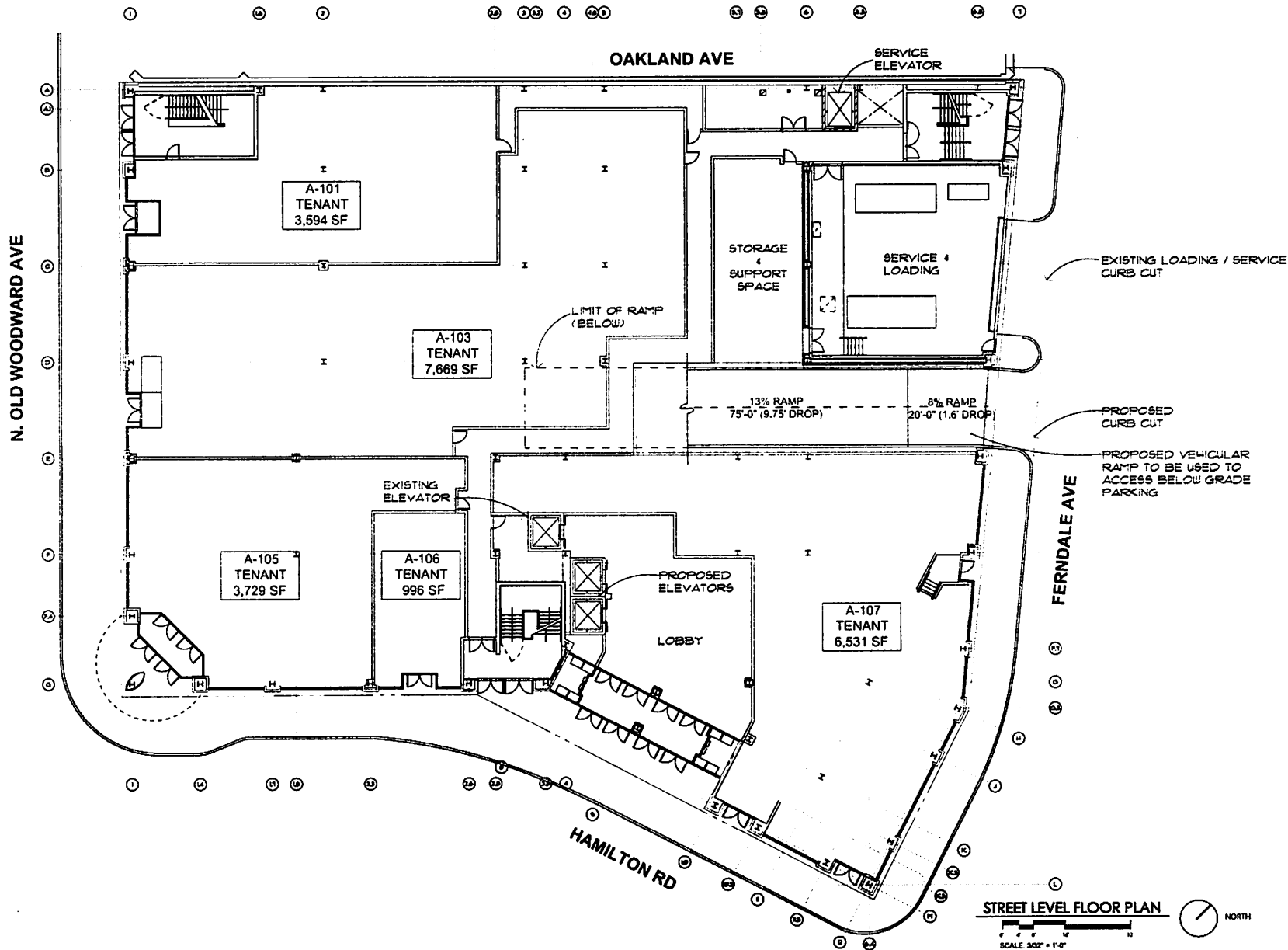


LOWER LEVEL  
FLOOR PLAN



**PALLADIUM**  
**BIRMINGHAM MORGAN**  
**A.F. JONNA**

**J.P.R.A. ARCHITECTS**  
2720 West 104th Avenue, Suite 100  
Broomfield, CO 80020  
phone 303.440.4700 fax 303.440.4701



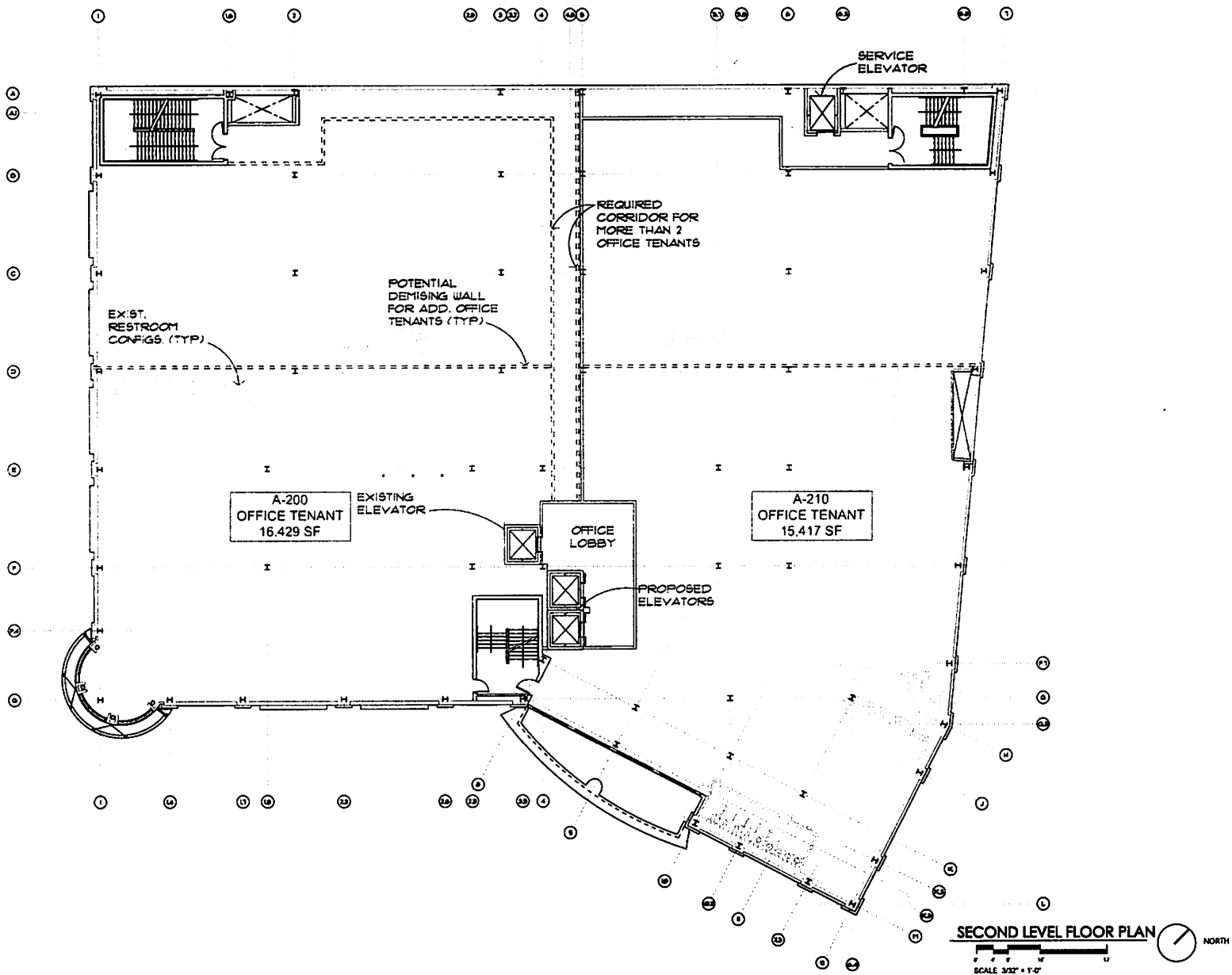
Do not scale this plan. Use the title block for all dimensions.  
 FINAL SITE PLAN APPROVAL  
 JUNE 09, 2014



**PALLADIUM**  
 HIRSHING J. MURKIN  
 A.P. JONAS  
 DEVELOPMENT & MANAGEMENT CO.

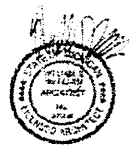
**JPRA ARCHITECTS**  
 1787 A.103  
 1787 A.103  
 1787 A.103

**1787**  
**A.103**



2014-06-09 10:00 AM  
 FINAL SITE PLAN APPROVAL  
 JUNE 09, 2014

SECOND LEVEL  
 FLOOR PLAN



**PALLADIUM**  
 BRUNNENGLANT NICHILGAN  
 A.P. JONNA  
 DEVELOPMENT & MANAGEMENT CO.

**JPRR ARCHITECTS**  
 1787  
 A.104

1787  
 A.104



# PALLADIUM

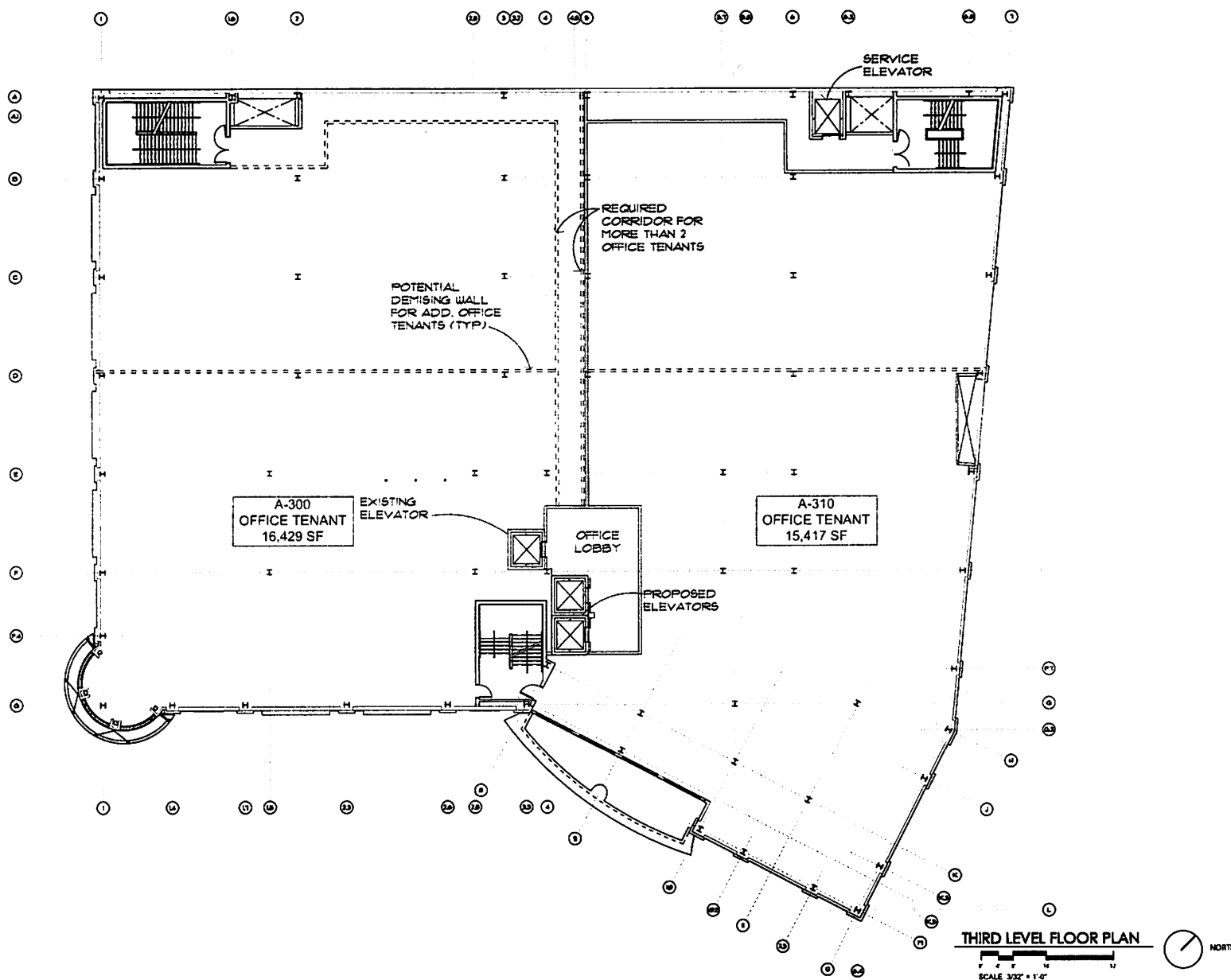
## BIRMINGHAM MICHIGAN

### A.F. JONNA

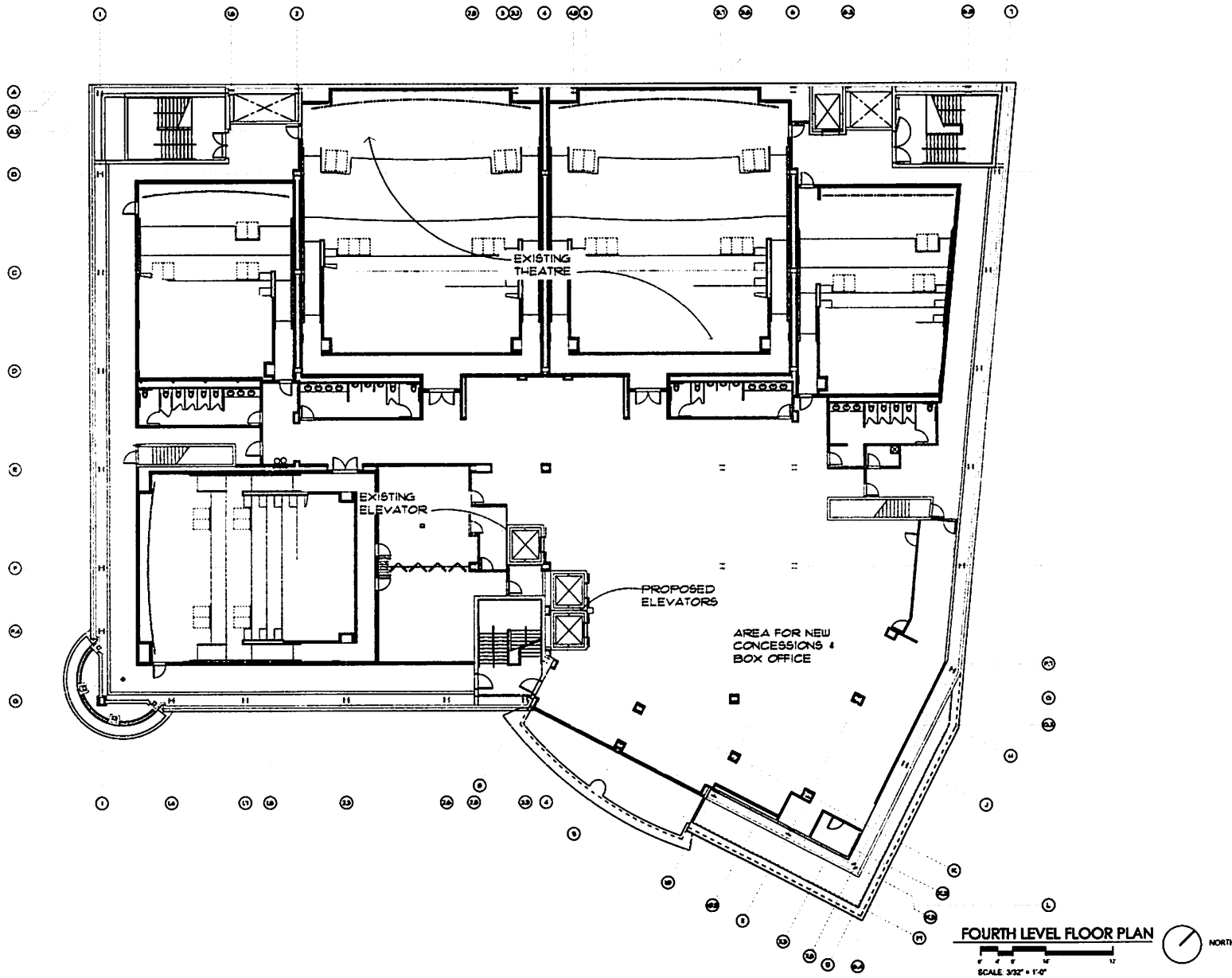
**JPRA ARCHITECTS**  
37300 West Tushet Mesa Road, Suite 100  
Beverly Hills, CA 90210  
Phone 310.271.0142 Fax 310.271.7745  
http://www.jp-ra.com

Job No.  
**1787**

Package Series  
**A.105**

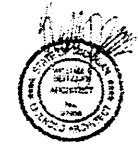






JPRB ARCHITECTS  
 FINAL SITE PLAN APPROVAL  
 JUNE 09, 2014

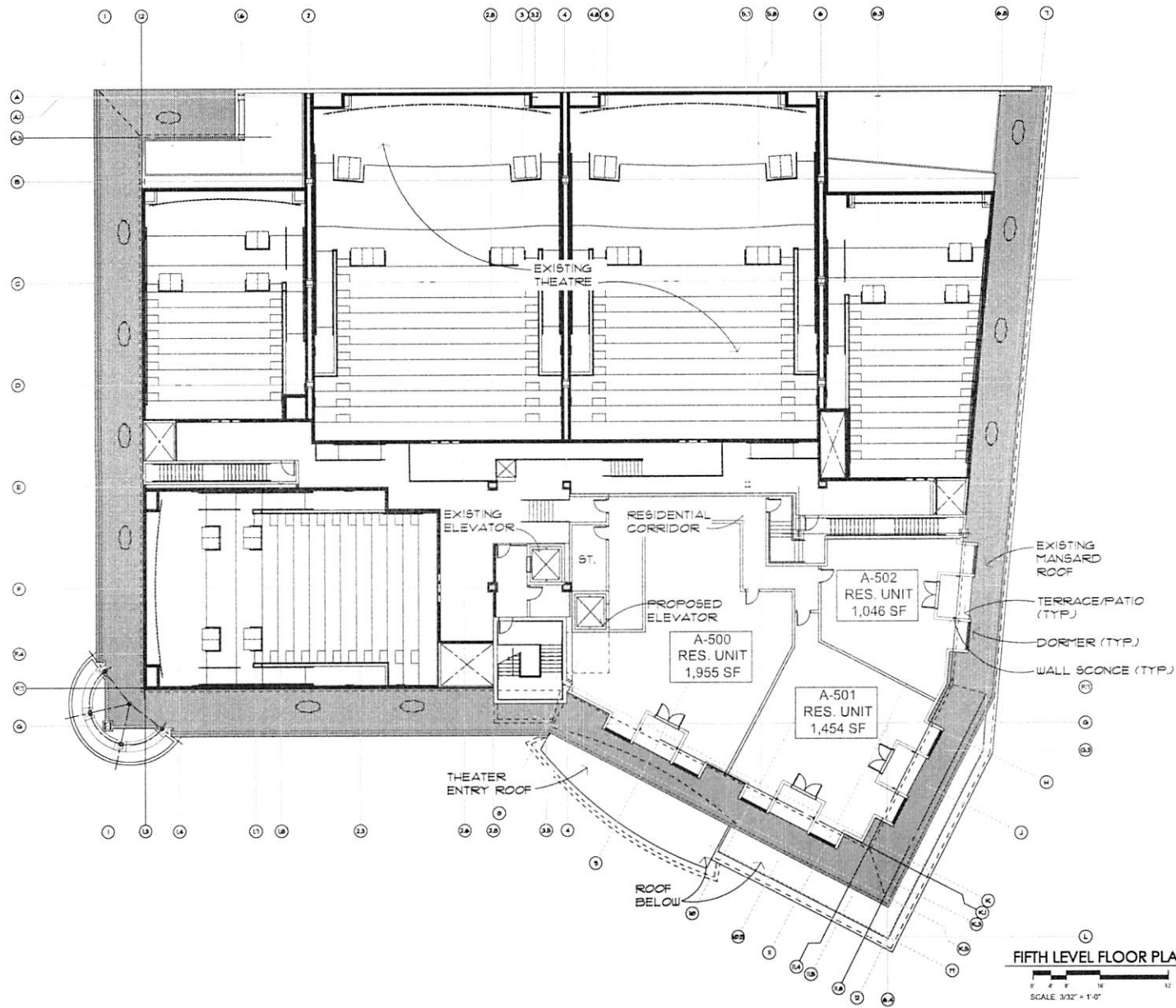
FOURTH LEVEL  
 FLOOR PLAN



**PALLADIUM**  
 BIRMINGHAM, ALABAMA  
 A.P. JONNA  
 DEVELOPMENT & MANAGEMENT CO.

**JPRB ARCHITECTS**  
 1787  
 A.106

1787  
 A.106



FIFTH LEVEL FLOOR PLAN



**PALLADIUM**  
 BIRMINGHAM, ALABAMA  
 A.F. JONAS  
 DEVELOPMENT & MANAGEMENT CO.

**JPR ARCHITECTS**  
 2020 West Tower Drive, Suite 100  
 Birmingham, AL 35202  
 Phone: (205) 988-1100  
 Fax: (205) 988-1101  
 www.jpr.com

FIFTH LEVEL FLOOR PLAN  
 SCALE: 3/32" = 1'-0"



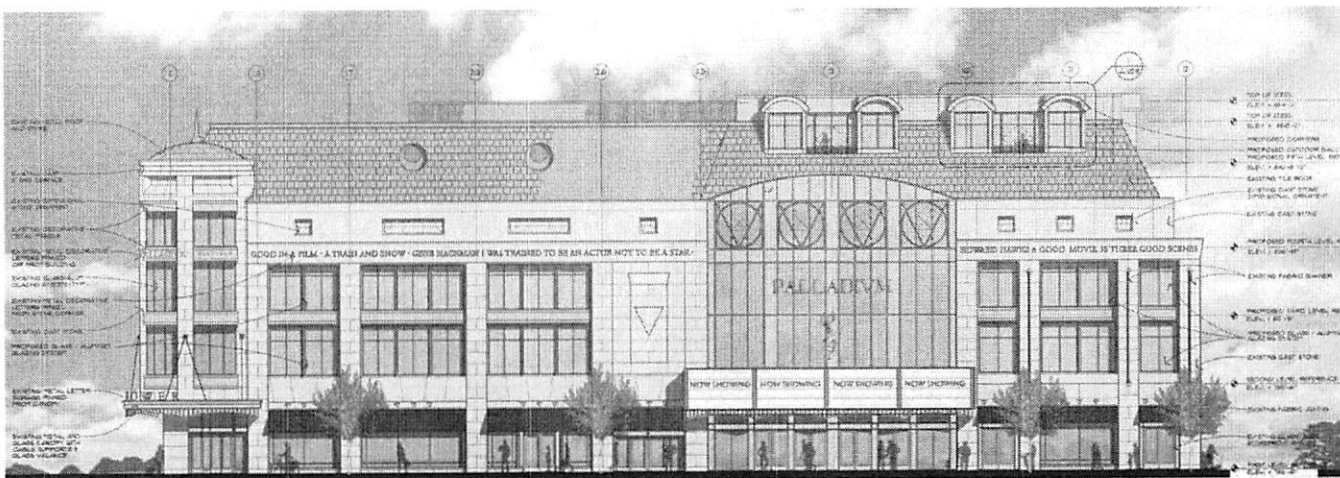
Sheet No.	1787
Project No.	A.107



WEST ELEVATION

	FACADE SQFT	GLAZING SQFT	TOTAL %
1ST FLR	779.333	639.34	0.8204 = 82.04%
2ND-5TH FLR	7,928.02	2,212.23	0.279 = 27.9%

EXISTING WINDOWS	NEW WINDOWS
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	



**SOUTH ELEVATION**

	FACADE SQFT	GLAZING SQFT	TOTAL %
1ST FLR	1,150.55	932.64	0.8106 = 81.06%
2ND-5TH FLR	10,587.28	3,703.3	0.3498 = 34.98%

	EXISTING WINDOWS	NEW WINDOWS
1. Number of windows	10	10
2. Number of windows with view	10	10
3. Number of windows with view and daylight	10	10
4. Number of windows with view and daylight and view of sky	10	10
5. Number of windows with view and daylight and view of sky and view of landscape	10	10
6. Number of windows with view and daylight and view of sky and view of landscape and view of water	10	10
7. Number of windows with view and daylight and view of sky and view of landscape and view of water and view of trees	10	10
8. Number of windows with view and daylight and view of sky and view of landscape and view of water and view of trees and view of buildings	10	10
9. Number of windows with view and daylight and view of sky and view of landscape and view of water and view of trees and view of buildings and view of other windows	10	10
10. Number of windows with view and daylight and view of sky and view of landscape and view of water and view of trees and view of buildings and view of other windows and view of the sun	10	10



EXISTING CONDITIONS PHOTOS

## ELEVATIONS



**PALLADIUM**  
BIRMINGHAM MICHIGAN  
A.F. JONNA  
DEVELOPMENT & MANAGEMENT CO.

**JPRA ARCHITECTS**  
39-300 West 74th Street, Suite 185  
Kew-Forest, NY 11469-4031  
phone 212-317-1100 fax 212-317-1176

Job No.  
**1787**

Package Series  
**A.108**



EAST ELEVATION

1ST FLR	FACADE SQFT	GLAZING SQFT	TOTAL %
2ND-5TH FLR	779.333	639.34	0.8204 = 82.04%
	10,571.63	2,513.68	0.2378 = 23.78%

	EXISTING WINDOWS	NEW WINDOWS
1. Number of windows	10	10
2. Window area (sq ft)	100	100
3. Window type	Single	Double
4. Window material	Aluminum	Aluminum
5. Window color	White	White
6. Window finish	Paint	Paint
7. Window frame	Aluminum	Aluminum
8. Window hardware	Aluminum	Aluminum
9. Window operation	Single	Double
10. Window location	North	North
11. Window exposure	North	North
12. Window orientation	North	North
13. Window view	North	North
14. Window condition	Good	Good
15. Window age	10	10
16. Window cost	100	100
17. Window value	100	100
18. Window rating	100	100
19. Window score	100	100
20. Window index	100	100
21. Window factor	100	100
22. Window multiplier	100	100
23. Window divisor	100	100
24. Window remainder	100	100
25. Window quotient	100	100
26. Window power	100	100
27. Window root	100	100
28. Window logarithm	100	100
29. Window antilogarithm	100	100
30. Window sine	100	100
31. Window cosine	100	100
32. Window tangent	100	100
33. Window cotangent	100	100
34. Window secant	100	100
35. Window cosecant	100	100
36. Window arc sine	100	100
37. Window arc cosine	100	100
38. Window arc tangent	100	100
39. Window arc cotangent	100	100
40. Window arc secant	100	100
41. Window arc cosecant	100	100
42. Window hyperbolic sine	100	100
43. Window hyperbolic cosine	100	100
44. Window hyperbolic tangent	100	100
45. Window hyperbolic cotangent	100	100
46. Window hyperbolic secant	100	100
47. Window hyperbolic cosecant	100	100
48. Window error function	100	100
49. Window complementary error function	100	100
50. Window gamma function	100	100
51. Window beta function	100	100
52. Window digamma function	100	100
53. Window polygamma function	100	100
54. Window zeta function	100	100
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56. Window Hurwitz zeta function	100	100
57. Window Dirichlet L-function	100	100
58. Window Dedekind eta function	100	100
59. Window Jacobi theta function	100	100
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96. Window Jacobi theta function	100	100
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99. Window Jacobi theta function	100	100
100. Window Jacobi theta function	100	100

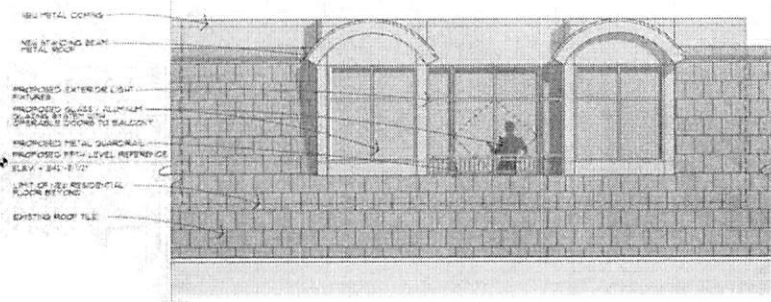
Downtown Birmingham Overlay District:  
Article 03

A-3, D4 Zone (four or five stories)

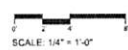
E-1. At least 90% of the exterior finish material on all facades that face a street shall be limited to the following: glass, brick, cut stone, cast stone, coarsely textured stucco, or wood. Dryvit or EPS is prohibited.

E-4. Storefronts shall be directly accessible from public sidewalks. Each storefront must have transparent or glass, equal to 70% of its portion of the facade, between one and eight feet from the ground. The wood or metal armature (structural elements to support canopies or signage) of such storefronts shall be painted, bronzed, or powder-coated.

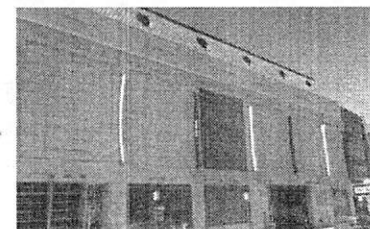
E-6. The glazed area of a facade above the first floor shall not exceed 35% of the total area, with each facade being calculated independently.



### 1 BALCONY DETAIL



## CONCEPT PERSPECTIVES

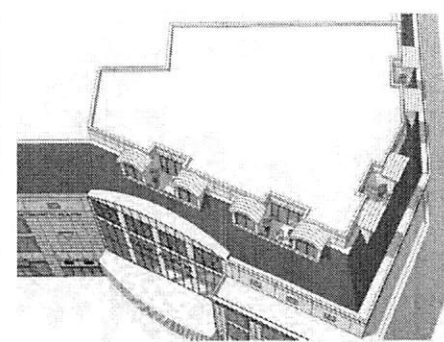


## ELEVATIONS

EXISTING CONDITIONS PHOTOS



**PALLADIUM**  
BURNINGHEAM NICHOLAN  
A.F. JONNA  
DEVELOPMENT & MANAGEMENT CO.



**J PRA ARCHITECTS**

3930 West Twelve Mile Road, Suite 150  
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Job No.	1787
Package Series	Sheet No.
A.109	







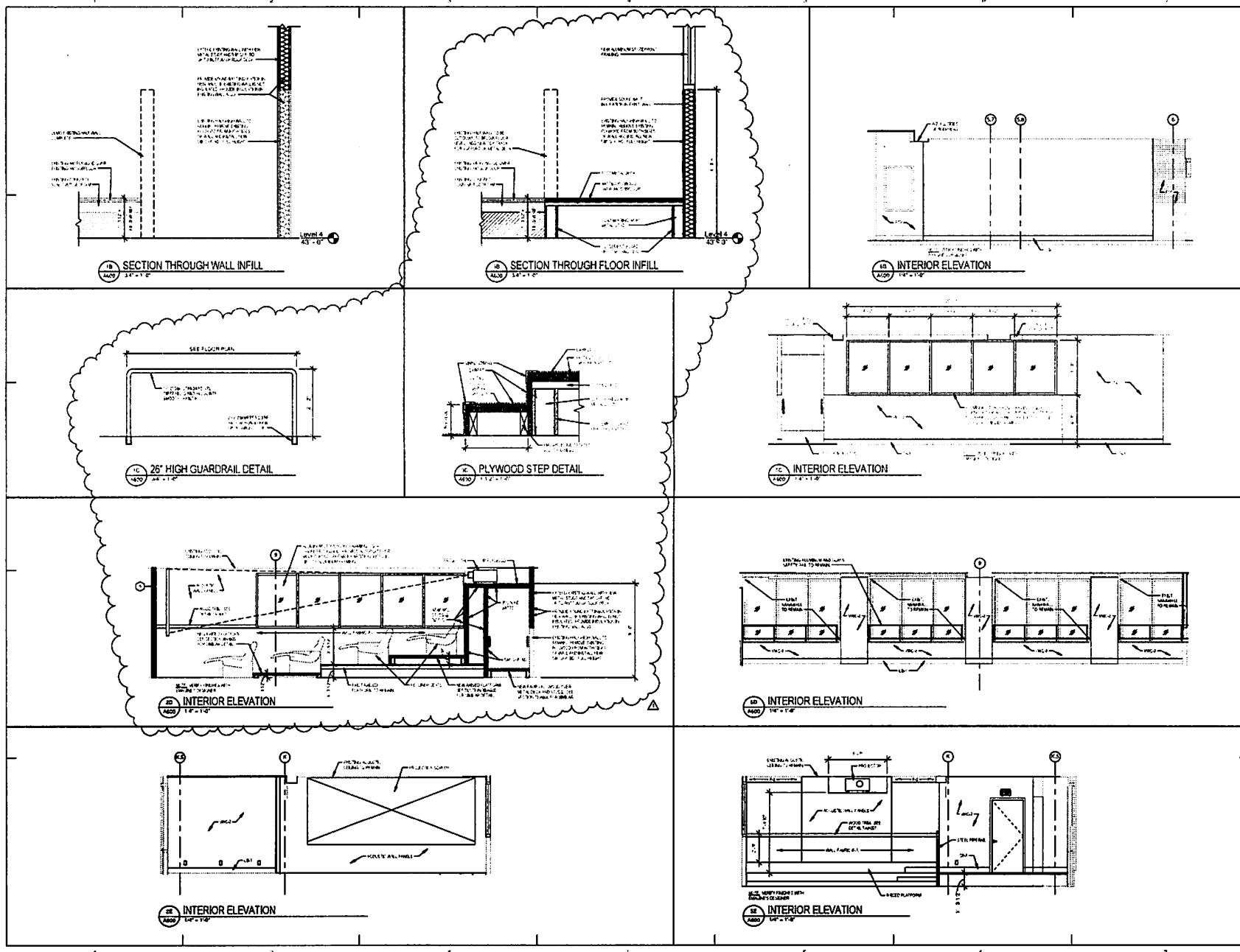








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Imagine Entertainment  
**EMAGINE PALLADIUM  
SCREENING ROOMS**  
250 N. Old Woodward Avenue  
Birmingham, MI 48003

17091

12-12-2017

Revision	By	Date
1	STUDIO 3	12-12-2017

REVISED

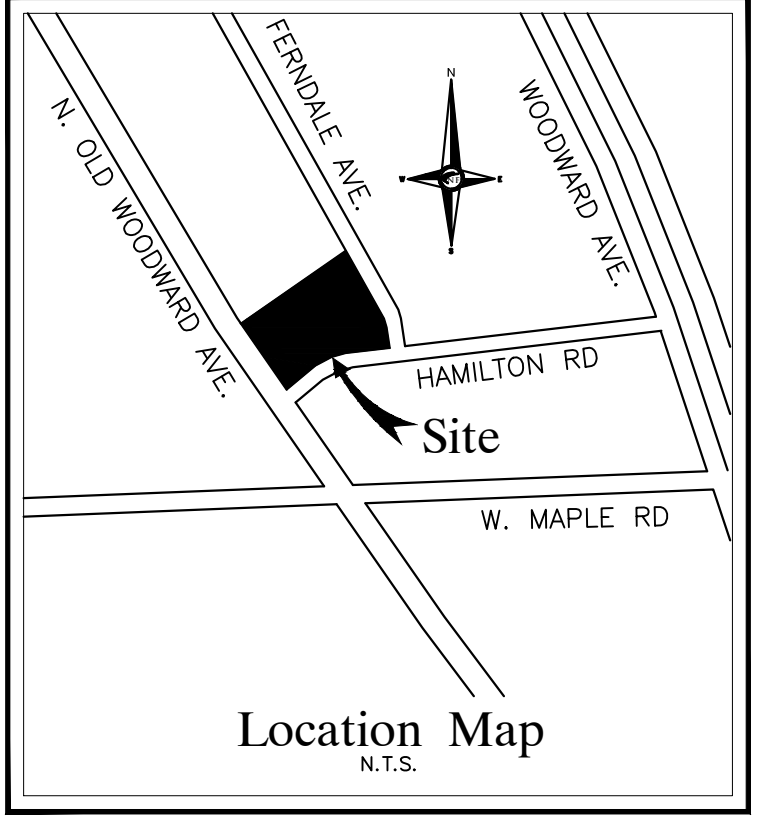
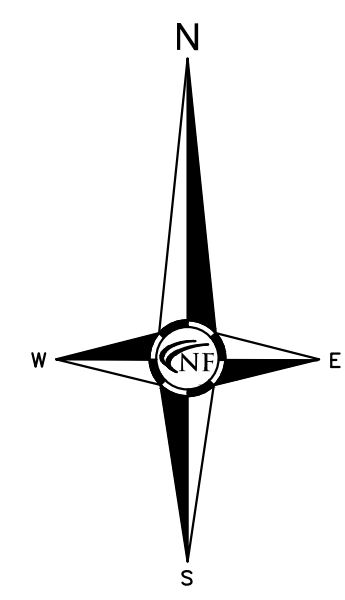
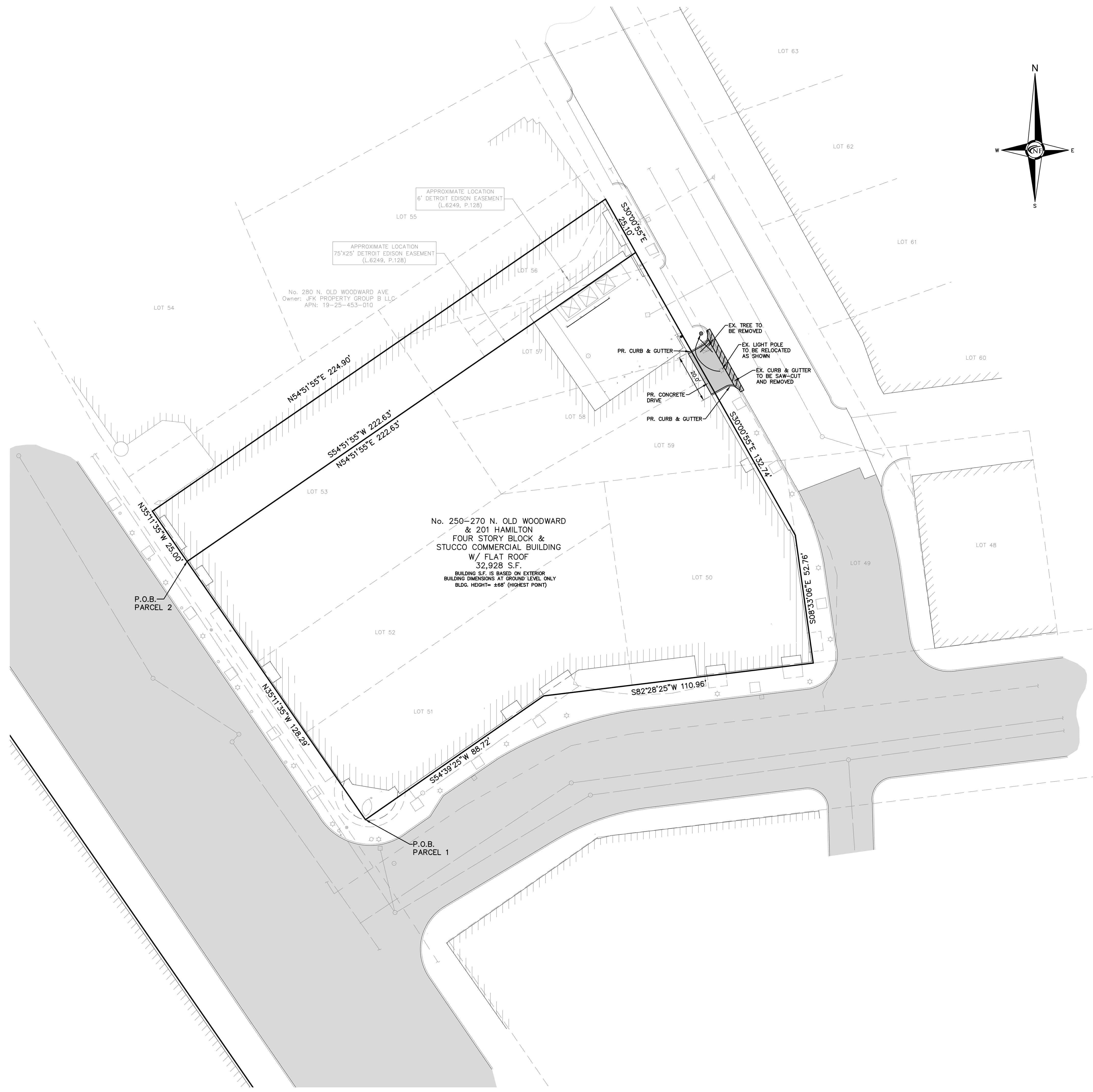


*Kevin Copple*

INTERIOR ELEVATIONS &  
DETAILS

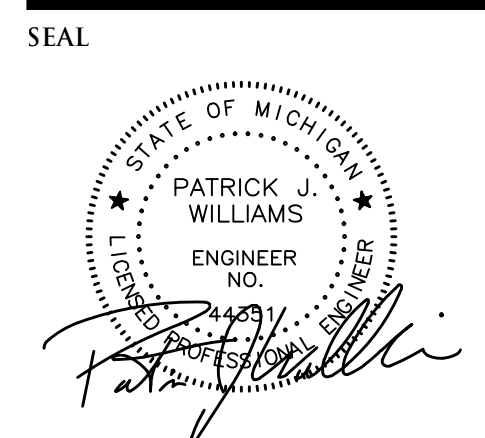
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PROJECT  
Palladium  
250-270 N. Old Woodward

CLIENT  
Tower Construction  
2550 Telegraph Road,  
Suite 111A  
Bloomfield Hills, MI 48302

Contact:  
Jason Gekiere  
Tel. (248) 287-8200  
Fax (248) 284-8203

PROJECT LOCATION  
Part of the SW 1/4  
of Section 10  
T.3N. , R.10E.  
City of Birmingham,  
Oakland County, Michigan

SHEET  
Preliminary Site Plan



REVISIONS  
06-09-2014 Final Site Plan Approval

DRAWN BY:  
C. Hazzard  
DESIGNED BY:  
-  
APPROVED BY:  
P. Williams  
DATE:  
06-06-2014  
SCALE: 1" = 20'  
NFE JOB NO. H888-01  
SHEET NO. C2

**PAVING LEGEND**

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

**LEGEND**

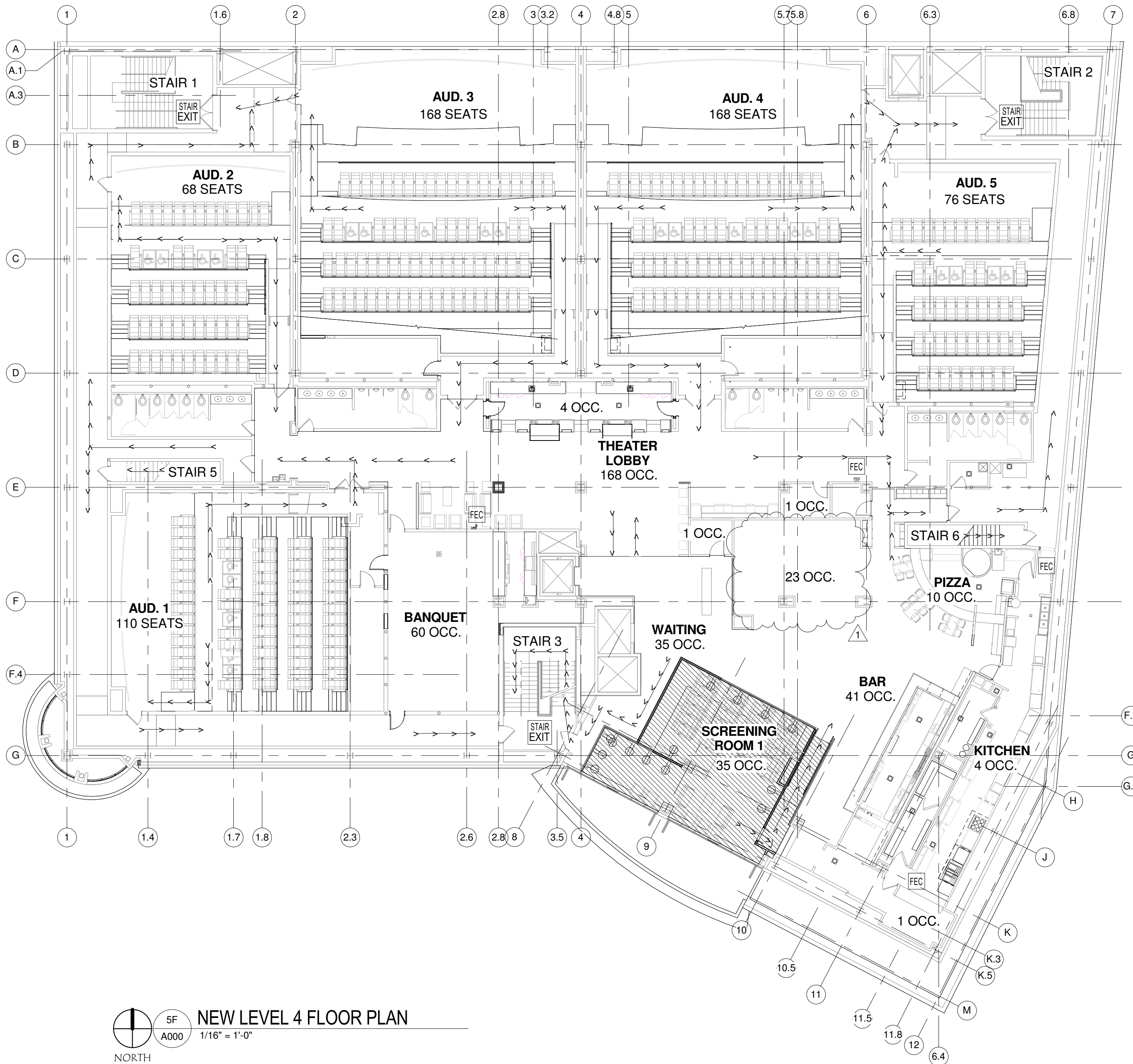
	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	GATE VALVE		EXISTING WATERMAIN
	MANHOLE CATCH BASIN		EXISTING STORM SEWER
	UTILITY POLE		EX. R. Y. CATCH BASIN
	GUY POLE		EXISTING BURIED CABLES
	GUY WIRE		OVERHEAD LINES
	PROPOSED LIGHT POLE		LIGHT POLE
	PROPOSED LIGHT POLE		SIGN
	C.O. MANHOLE		EXISTING GAS MAIN
	HYDRANT GATE VALVE		PR. SANITARY SEWER
	INLET G.B. MANHOLE		PR. WATER MAIN
	PR. STORM SEWER		PR. R. Y. CATCH BASIN
	PR. TOP OF CURB ELEVATION		PR. TOP OF WALK ELEVATION
	PR. TOP OF PVMT. ELEVATION		FINISH GRADE ELEVATION



# EMAGINE PALLADIUM SCREENING ROOMS

250 N. Old Woodward Avenue  
Birmingham, MI 48009

APPLICABLE CODES:	
<b>BUILDING CODE</b> 2012 Michigan Building Code	
<b>ELECTRICAL CODE</b> 2014 National Electrical Code (NEC)	
<b>MECHANICAL CODE</b> 2012 Michigan Mechanical Code	
<b>PLUMBING CODE</b> 2012 Michigan Plumbing Code	
SUMMARY:	
OCCUPANCY, CHAPTER 3	
Classification(s) per 303.1	Motion Picture Theaters - A-1
Incidental use areas per 302.1.1	Storage rooms over 100 SF - automatic fire-extinguishing system permitted without a fire barrier. Doors shall be self-closing.
Non Separated uses per 508.3.2	Separations not required based upon Table 508.3.3 - entire building shall comply with most restrictive occupancy classification (A-1) and the most restrictive applicable provisions of Section 403 and Chapter 9.
BUILDING HEIGHTS AND AREAS, CHAPTER 5	
Construction Type	Type 2A, PROTECTED NONCOMBUSTIBLE
Allowable Building Height per table 503	6 stories allowed - 6 stories actual (85 feet allowed, 73 feet actual)
Allowable Area per table 503	57,855 SF Allowable, 33,200 SF (4th floor) + 2,460 SF (5th floor) actual
INTERIOR FINISHES, CHAPTER 8	
Interior wall and ceiling finish requirements per Table 803.5	All exit passageways, exit access corridors and other exitways shall have a Class B flame spread index or greater. All rooms and enclosed spaces shall have a Class C flame spread index or greater.
FIRE PROTECTION SYSTEMS, CHAPTER 9	
Automatic Sprinkler System per 903.2.1.1	COMPLETE AUTOMATIC SPRINKLER SYSTEM
MEANS OF EGRESS, CHAPTER 10	
Occupant load factor per Table 1004.1.2	Refer to occupant load summary this sheet
Means of egress width factors per Sec. 1005.3	Stairs and Aisle steps: 0.20 inches per person width Doors and other egress: 0.15 inches per person width
Occupant Load	1,073 Total Occupants
Minimum dead end corridor length per Section 1018.2	20'
Common path of egress travel per Section 1014.3	Not to exceed 75 feet
Exit access travel distance per Table 1016.2	Not to exceed 250 feet
Panic and fire exit hardware per 1008.1.9	Exit doors serving 100 or more in an A occupancy are not permitted to be equipped with a lock or latch unless it is panic hardware
PLUMBING FACILITIES, CHAPTER 29	
Minimum number of plumbing facilities per Table No. 29	Refer to plumbing counts this sheet



## LIFE SAFETY PLAN KEYNOTES

## GENERAL LIFE SAFETY PLAN NOTES

- THEATER IS OPERATED ON STAGGERED TIME SHOWINGS. THE AUDITORIUMS AND LOBBY WOULD NEVER BE 100% OCCUPIED AT THE SAME TIME.
- THIS THEATER IS 100% DIGITAL. NO FILM WILL BE PRESENT IN THE BUILDING.

## LIFESAFETY PLAN LEGEND

- EXISTING BUILDING AREA
- EXISTING BUILDING OF RENOVATION
- BUILDING EXIT
- FIRE EXTINGUISHER LOCATIONS
- 1 HOUR SMOKE BARRIER
- 2 HOUR SMOKE BARRIER/FIRE BARRIER
- 2 HOUR FIRE BARRIER
- SMOKE RESISTANT CORRIDOR
- SMOKE RESISTANT HAZARDOUS ROOM
- 1 HOUR CORRIDOR
- 2 HOUR CORRIDOR
- SMOKE RESISTANT SHAFT
- 1 HOUR SHAFT
- 2 HOUR SHAFT
- 2 HOUR EXIT ENCLOSURE
- PATH OF EGRESS

## PROJECT TEAM

EMAGINE ENTERTAINMENT.....Owner  
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## DRAWING LIST

Sheet Number	Sheet Name
A000	COVER SHEET / LIFE SAFETY PLAN
A001	INFORMATION SHEET
A050	LEVEL 4 DEMOLITION PLAN
A100	FOURTH FLOOR PLAN
A120	NEW LEVEL 4 REFLECTED CEILING PLAN
A130	FINISH LEGEND & MATERIAL LIST
A600	INTERIOR ELEVATIONS & DETAILS

## DRAWING LIST

Sheet Number	Sheet Name
E001	ELECTRICAL LEGEND, SHEET INDEX AND SPECIFICATIONS
E002	LEVEL 4 DEMOLITION PLAN - ELECTRICAL
E100	FOURTH FLOOR PLAN - LIGHTING
E200	FOURTH FLOOR PLAN - POWER
E300	ROOF PLAN
R-E002	REFERENCE - ELECTRICAL RISER DIAGRAM
R-E100	REFERENCE - FOURTH FLOOR PLAN - LIGHTING
R-E200	REFERENCE - FOURTH FLOOR PLAN - POWER & SYSTEMS
M100	LEVEL 4 DEMOLITION PLAN - MECHANICAL
M200	LEVEL 4 NEW WORK PLAN - HVAC
M300	MECHANICAL DETAILS AND SCHEDULES
M400	MECHANICAL SPECIFICATIONS

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MECHANICAL - PLUMBING - ELECTRICAL  
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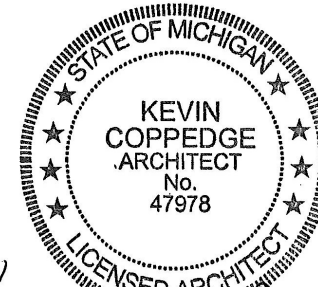
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EMAGINE PALLADIUM  
SCREENING ROOMS  
250 N. Old Woodward Avenue  
Birmingham, MI 48009

PROJECT NUMBER:  
17091

DATE:  
12-12-2017

Revision Schedule		
Revision Number	Revision Date	Revision Description
1	02-03-2018	SCREENING RM #2 TAKEN OUT OF SCOPE. ITEMS ADDED TO SCREENING RM #1

CERTIFICATION:



SHEET DESCRIPTION:

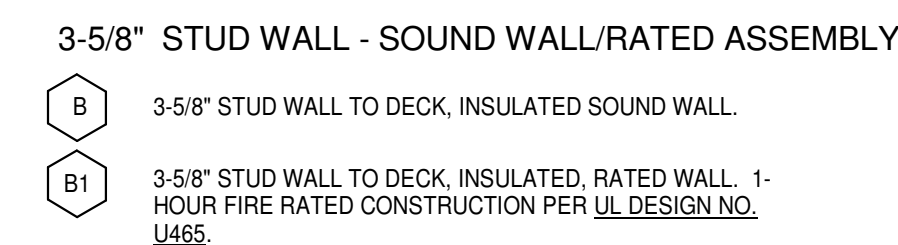
COVER SHEET / LIFE SAFETY  
PLAN

SHEET NUMBER:

**A000**

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1D WALL TYPE DETAIL  
A001 1 1/2" = 1'-0"



ABBREVIATIONS		ABBREVIATIONS	
A.F.F.	ABOVE FINISHED FLOOR	MAS	MASONRY
ACT	ACOUSTICAL CEILING TILE	MAX	MAXIMUM
APP	APPROXIMATE	MB	MARKER BOARD
AWT	ACOUSTICAL WALL TREATMENT	MECH	MECHANICAL
B.O.	BOTTOM OF	MEZZ	MEZZANINE
BD	BOARD	MFR	MANUFACTURER
BLKG	BLOCKING	MIN	MINIMUM
BOT	BOTTOM	MO	MASONRY OPENING
C.J.	CONTROL JOINT	O.D.	OUTSIDE DIAMETER
CAB	CABINET	O.H.	OPPOSITE HAND
CL	CENTER LINE	OH	OVERHEAD
CMU	CONCRETE MASONRY UNIT	OPNG	OPENING
COL	COLUMN	OPP	OPPOSITE
CONC	CONCRETE	P LAM	PLASTIC LAMINATE
CONST	CONSTRUCTION	PLWD	PLYWOOD
CONT	CONTINUOUS	QT	QUARRY TILE
CPT	CARPET	R	RISER
CT	CERAMIC TILE	R.O.	ROUGH OPENING
CW	COLD WATER	RA	RETURN AIR
D.F.	DRINKING FOUNTAIN	REF	REFERENCE
DET	DETAIL	REQ	REQUIRED
DIM	DIMENSION	SA	SUPPLY AIR
DTL	DETAIL	SCH	SCHEDULE
DWC	DRINKING WATER COOLER	SEC	SECTION
DWG	DRAWING	SF	SQUARE FOOT
EA	EACH	SIM	SIMILAR
EIFS	EXTERIOR INSULATION FINISH SYSTEM	SPECS	SPECIFICATIONS
EJ	EXPANSION JOINT	SS	STAINLESS STEEL
EL	ELEVATION	STD	STANDARD
ETR	EXISTING TO REMAIN	STL	STEEL
EXIST	EXISTING	SUSP	SUSPENDED
EXP	EXPANSION	T.O.	TOilet
EXT	EXTERIOR	TEL	TELEPHONE
FD	FLOOR DRAIN	TV	TELEVISION
FE	FIRE EXTINGUISHER	TYP	TYPICAL
FIN	FINISH	U.O.N.	UNLESS OTHERWISE NOTED
FL	FLOOR	UR	URINAL
FT	FEET	VCT	VINYL COMPOSITION TILE
GA	GAUGE	VERT	VERTICAL
GYP	GYPSPUM	VT	VINYL TILE
HDW	HARDWARE	W/	WITH
HORIZ	HOLLOW METAL	W/O	WITHOUT
HORIZ	HORIZONTAL	WB	WOOD BASE
HVAC	HEATING, VENTILATING & AIR COND.	WC	WATER CLOSET
HW	HOT WATER	WOD	WOOD
I.D.	INSIDE DIAMETER	WH	WATER HEATER
JST	JOIST	WP	WORKING POINT
JT	JOINT		
KIT	KITCHEN		
LAM	LAMINATE		
LAV	LAVATORY		

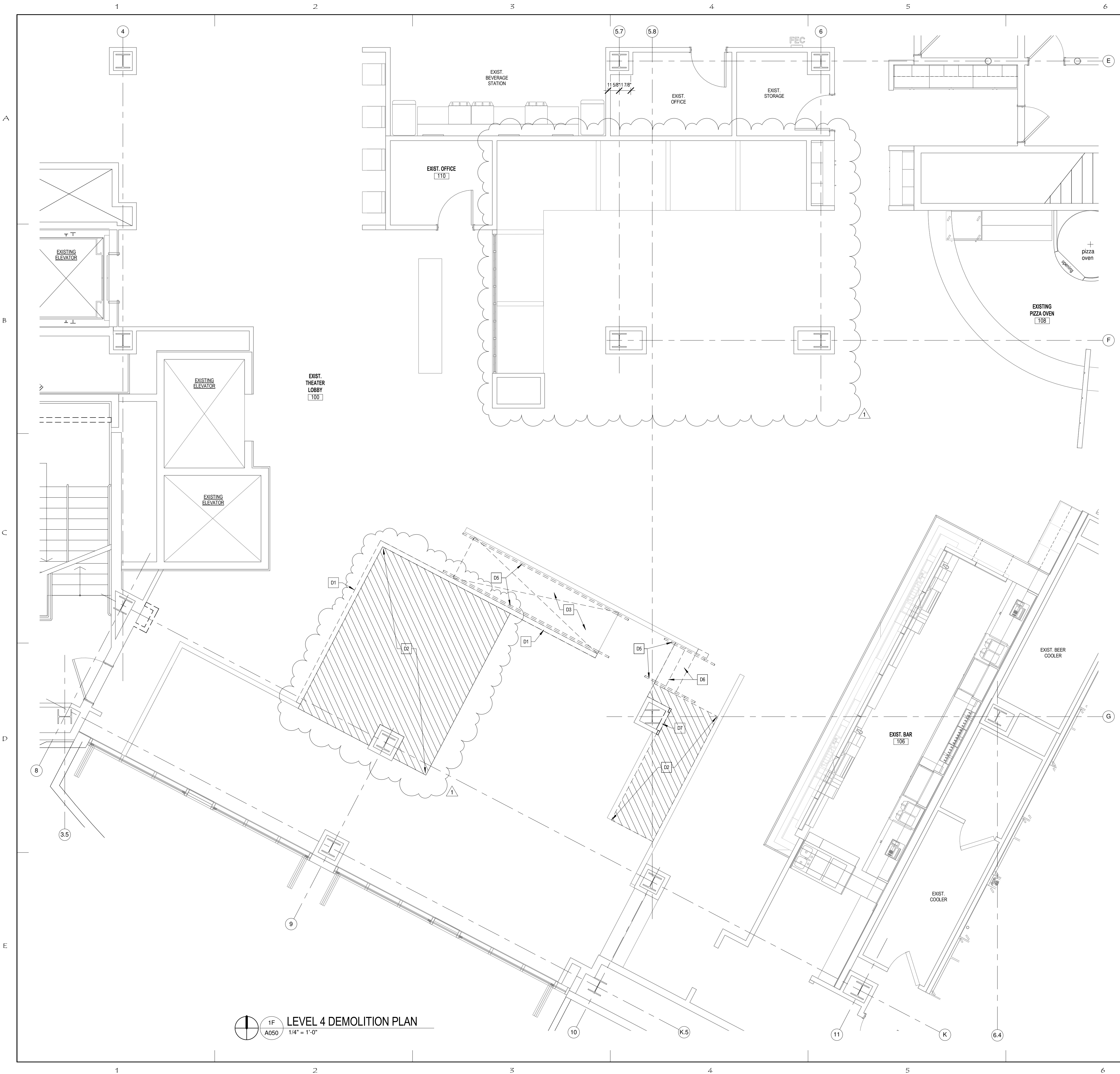


1. THERE SHOULD BE NO QUESTIONS REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS, AND/OR DESIGN INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT PRIOR TO BID SUBMITTAL PRIOR TO PROCEEDING WITH ANY WORK, OR RELATED WORK IN QUESTION.
2. THESE CONTRACT DOCUMENTS ARE INTENDED TO DESCRIBE ONLY THE SCOPE AND APPEARANCE OF THE REAL PROPERTY IMPROVEMENTS, INCLUDING THE PERFORMANCE AND LEVEL OF QUALITY EXPECTED OF ITS COMPONENTS. IT IS INCUMBERT UPON THE CONTRACTOR TO INSURE THAT ALL WORK COMPLETED AND MATERIALS INSTALLED BE IN FULL COMPLIANCE, AS A MINIMUM STANDARDS, WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES HAVING JURISDICTION.
3. THESE CONTRACT DOCUMENTS DO NOT ATTEMPT TO INSTRUCT THE CONTRACTOR IN THE DETAILS OF HIS TRADE. THEY ARE PERFORMANCE SPECIFICATIONS IN THAT THEY DO REQUIRE THAT ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS, EXCEPT IN THE CASE WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT. ANY MISCELLANEOUS ITEMS OR MATERIALS NOT SPECIFICALLY NOTED, BUT REQUIRED FOR PROPER INSTALLATION SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR(S) RESPONSIBLE FOR THE AFFECTED PORTION OF WORK.
4. ALL WORK SHALL BE WARRANTED SATISFACTORY, IN MATERIALS AND WORKMANSHIP, FOR A MINIMUM PERIOD OF ONE (1) YEAR, OR FOR THE PERIOD OF WARRANTY CUSTOMARY, OR STIPULATED FOR THE TRADE, CRAFT, OR PRODUCT, WHICHEVER IS LONGER. THEREFORE, ONLY COMPETENT MECHANICS CAPABLE OF PRODUCING GOOD WORKMANSHIP CUSTOMARY TO THE TRADE SHALL BE USED.
5. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER, OR THE AUTHORIZED, AGENT, TO DETERMINE ALL EXISTING MATERIALS TO BE SALVAGED AND RETAINED BY THE OWNER. THE CONTRACTOR SHALL REMOVE SALVAGEABLE MATERIALS FROM THE SPACE AND STORE IN A LOCATION AS DIRECTED BY THE OWNER. ALL OTHER MATERIALS, RUBBISH, AND DEBRIS, SHALL BE REMOVED AND PROMPTLY DISPOSED OF BY THE CONTRACTOR AT AN OFFSITE LOCATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ASSURE THAT ALL PROPERTY IMPROVEMENTS (I.E. PARTITIONS, DOORS, FRAMES, CABINETS, CEILING GRID, CEILING TILE, AND THE ELECTRICAL AND MECHANICAL DEVICES, ETC.) WHICH ARE TO REMAIN, ARE PROTECTED FROM DAMAGE OF ANY KIND.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING WORK WHICH IS TO REMAIN, AND DETERMINING WHETHER OR NOT IT CAN BE REPAIRED AND/OR RECONDITIONED TO MATCH AND BLEND WITH NEW MATERIALS AND COMPONENTS. THEY SHALL OBTAIN THE OWNER'S APPROVAL OF THE SCOPE AND LIMIT OF SAID WORK PRIOR TO STARTING CONSTRUCTION AND RECOMMEND AN ALLOWANCE IF NECESSARY. NO CHANGE ORDERS SHALL BE ACCEPTED FOR COMPLETED WORK THAT DOES NOT CONFORM TO THE STANDARDS ESTABLISHED AT THE TIME OF BID ACCEPTANCE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH THE PROJECT SCOPE OF WORK, BUILDING STANDARDS, SCHEDULE AND DEADLINES. THE CONTRACTOR SHALL FURTHER BE RESPONSIBLE FOR ADVISING THE OWNER OF ALL LONG LEAD TIME ITEMS AFFECTING THE PROJECT SCHEDULE AND SHALL, UPON REQUEST FROM THE OWNER, SUBMIT ORDER CONFIRMATIONS AND DELIVERY DATES FOR SUCH LONG LEAD TIME ITEMS TO THE OWNER.
8. THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING OWNER ACCESS TO THE SPACE AND THE ONGOING CONSTRUCTION WORK. DISRUPTIVE OR POTENTIALLY HAZARDOUS CONSTRUCTION ACTIVITIES OCCURRING WITHIN OR ADJACENT TO OCCUPIED SPACE SHALL BE COORDINATED TO OCCUR AFTER NORMAL OFFICE HOURS, SO AS TO MINIMIZE DISTURBANCE TO BUILDING OCCUPANTS.
9. THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING OWNER FOR DELIVERY TO THE SPACE OF ALL BUILDING MATERIALS, AND SHALL ARRANGE FOR USAGE OF THE FREIGHT ELEVATOR (OR SUCH ELEVATOR DESIGNATED IF APPLICABLE). IF DELIVERY OF BUILDING MATERIALS INVOLVES THE USE OF OTHER FACILITIES, THE CONTRACTOR SHALL COORDINATE SUCH ACTIVITIES IN SUCH A MANNER WHICH POSES NO HAZARD TO ANY PERSONNEL WITHIN OR AROUND THE BUILDING OR BUILDING SITE.
10. ALL CONTRACTOR OR SUPPLIER REQUESTS FOR SUBSTITUTIONS OF SPECIFIED ITEMS SHALL BE SUBMITTED IN WRITING ACCOMPANIED BY THE ALTERNATIVE PRODUCT INFORMATION TO THE ARCHITECT. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO THE ARCHITECT, NO LATER THAN (10) WORKING DAYS PRIOR TO BID OPENING DATE. SUBSTITUTIONS SHALL ONLY BE CONSIDERED IF THEY DO NOT SACRIFICE QUALITY, APPEARANCE, AND FUNCTION. UNDER NO CIRCUMSTANCES WILL THE OWNER BE REQUIRED TO PROVE THAT A PRODUCT PROPOSED FOR SUBSTITUTION IS OR IS NOT EQUAL QUALITY TO THE PRODUCT SPECIFIED.
11. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR SCALE THE DRAWINGS TO DETERMINE THE DIMENSIONS. SEE FLOOR PLAN FOR DIMENSION LOCATIONS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL SELECTED MATERIALS WHICH SHALL BE COMPLETE IN ALL RESPECTS PRIOR TO THE FINAL ACCEPTANCE, UNLESS OTHERWISE NOTED.
13. THE CONTRACTOR SHALL BE PRESERVE ALL PRINTED INSTRUCTIONS AND WARRANTIES THAT ARE PROVIDED WITH EQUIPMENT OR MATERIALS USED, AND DELIVER SAID IN PRINTED MANNER TO THE OWNER AT THE TIME(S) DESIGNATED FOR O & M MANUAL DISBURSEMENTS. THE CONTRACTOR SHALL INSTRUCT THE OWNER OR OWNERS REPRESENTATIVE IN THE PROPER USE OF THE EQUIPMENT FURNISHED BY THEIR TRADE.
14. GENERAL CONTRACTOR IS TO PROVIDE A THOROUGH CONSTRUCTION CLEAN-UP AT CLOSE-OUT, INCLUDING VACUUMING AND CLEANING ALL CARPETING.
15. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF CUSTOM MILLWORK, CUSTOM FABRICATION OR MANUFACTURE, AND PHYSICAL SAMPLES OF ALL FINISH MATERIALS SPECIFIED TO THE ARCHITECT FOR REVIEW AND APPROVAL BY THE OWNER. SEE SPECIFICATIONS.
16. REVIEWED SHOP DRAWINGS AND SCHEDULES PREPARED BY OTHERS SHALL NOT BE CONSTRUED TO BE PART OF THE CONTRACT DOCUMENTS, AS THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR DRAWINGS, SCHEDULES, AND/OR SPECIFICATIONS FOR WORK ON THE PROJECT PREPARED OR ACCOMPLISHED BY OTHERS.
17. THE ARCHITECT WILL REVIEW THE DRAWINGS AND SAMPLES SUBMITTED BY THE CONTRACTOR (FOLLOWING A REVIEW BY THE GENERAL CONTRACTOR) FOR CONFORMITY WITH THE INFORMATION CONTAINED IN THE CONSTRUCTION DOCUMENTS.
18. CONTRACTOR TO FOLLOW ALL BUILDING STANDARDS, INTERIM LIFE SAFETY MEASURES AND COORDINATE SCHEDULING OF WORK WITH AFFECTED OCCUPANTS (IF APPLICABLE) PRIOR TO STARTING.
19. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND NOTIFY ARCHITECT, IN WRITING, OF ALL DISCREPANCIES. CONTRACTOR TO REVIEW AND RECORD EXISTING CEILING FIELD CONDITIONS, LIGHT FIXTURE AND MEP SUPPLY/RETURN LOCATIONS, SPRINKLER HEADS, AND ALL OTHER CEILING ITEMS LOCATIONS PRIOR TO CONSTRUCTION. DISCREPANCIES IN THIS INFORMATION SHALL BE RECORDED IN THE CONSTRUCTION FIELD SET.
20. THE GENERAL CONTRACTOR AND EACH TRADE IS RESPONSIBLE FOR REVIEWING AND COORDINATING ALL NEW WORK WITH ALL EXISTING CONDITIONS AND WITH ALL OTHER TRADES.
21. ALL CONSTRUCTION TO MEET CURRENT BUILDING STATE AND LOCAL CODES, ORDINANCES AND ADA REGULATIONS.
22. PREP ALL WALL SURFACES TO RECEIVE NEW PAINT OR WALL COVERING FINISH. PATCH ALL EXISTING HOLES IN AREAS TO RECEIVE NEW FINISHES. SAND ALL NEW TO EXISTING TRANSITION SMOOTH. PRIOR TO PAINTING, PATCH AREAS WHERE RECEPTACLE OR FIXTURES ARE REMOVED. REMOVE EMERGENCY LIGHTS, SIGNAGE, THERMOSTATS, FIRE STROBES, ETC. PRIOR TO PAINTING AND REINSTALL WHEN COMPLETE.
23. UNLESS NOTED OTHERWISE, THE TERM "PROVIDE" INDICATES TO SUPPLY AND INSTALL COMPLETE, FOLLOWING MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS AND SUPPLYING AND INSTALLING ALL ASSOCIATED ITEMS AND ACCESSORIES AS REQUIRED FOR COMPLETE INSTALLATION.
24. GENERAL CONTRACTOR SHALL ACCOMMODATE TENANTS' VENDORS DURING CONSTRUCTION AND WORK WITH THE OWNER TO SCHEDULE INSTALLATION OF OWNER SUPPLIED AND INSTALLED ITEMS.
25. WHERE RATED WALLS ARE INDICATED, ENTIRE WALL ASSEMBLY SHALL BE CONTINUOUS AS SHOWN OR IMPLIED ON THE CONTRACT DOCUMENTS.
26. WHERE GAUGE OF METAL STUDS ARE NOT SPECIFICALLY SHOWN OR NOTED, PROVIDE GAUGE AS INDICATED IN THE GENERAL WALL TYPE NOTES.
27. CONTRACTOR TO REVISE, ADD OR RELOCATE FIRE STROBES, SPRINKLERS, AND OTHER LIFE SAFETY DEVICES AS NECESSARY TO MEET ALL APPLICABLE CODES, MAINTAIN LIFE SAFETY AND/OR AS STIPULATED BY THE CONTRACT DOCUMENTS.
28. COMMENCEMENT OF WORK BY A CONTRACTOR OR SUBCONTRACTOR, CONSTITUTES ACCEPTANCE OF THE CONDITIONS AND SURFACES IN QUESTION. IF ANY SUCH CONDITIONS/SURFACES ARE UNACCEPTABLE, THE GENERAL CONTRACTOR SHOULD BE NOTIFIED AT ONCE BY THE SUBCONTRACTOR AND NO WORK DONE UNTIL CONDITIONS ARE ACCEPTABLE.
29. CONTRACTORS ARE TO FOLLOW ALL MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION OF EQUIPMENT, MATERIALS, AND FINISHES.
31. CONTRACTOR TO PROVIDE DUST WALLS AT NECESSARY LOCATIONS.
32. THE CONTRACTOR IS RESPONSIBLE TO PATCH/REPAIR/SEAL ALL NEW & EXISTING PENETRATIONS INTO RATED WALLS TO MAINTAIN RATED ASSEMBLY.
33. ALL PENETRATIONS IN AND THROUGH FIRE AND SMOKE RATED WALLS SHALL BE SLEEVED AND FIRE STOPPED AS NECESSARY TO MAINTAIN RATING.

Imagine Entertainment  
IMAGINE PALLADIUM  
SCREENING ROOMS  
250 N. Old Woodward Avenue  
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GENERAL DEMOLITION NOTES

- A. SEE GENERAL NOTES ON CUTTING AND PATCHING OUTLINED ON SHEET A001 FOR ADDITIONAL INFORMATION.
- B. PERFORM ALL WORK UNDER ESTABLISHED PROJECT GUIDELINES.
- C. FIELD VERIFY EXISTING CONDITIONS AND COORDINATE DEMOLITION OR REMOVAL WORK WITH CORRESPONDING NEW CONSTRUCTION WORK AND APPROPRIATE TRADES PRIOR TO STARTING DEMOLITION WORK. IF DISCREPANCIES ARE FOUND BETWEEN CONTRACT DOCUMENTS AND ACTUAL FIELD CONDITIONS, NOTIFY ARCHITECT IMMEDIATELY.
- D. DASHED LINES INDICATE EXISTING ITEMS TO BE REMOVED. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ALL DEMOLITION ITEMS.
- E. REMOVE ALL CONSTRUCTION DEBRIS FROM SITE DAILY. DO NOT ALLOW REFUSE TO BLOCK CORRIDORS, STAIRS, OR ANY OTHER TRAFFIC AREAS.
- F. PROVIDE TEMPORARY FIRE AND LIFE SAFETY PROTECTION THROUGHOUT DURATION OF PROJECT.
- G. PATCH AND REPAIR ALL ADJACENT SURFACES DISTURBED/DAMAGED BY CONSTRUCTION. CLEAN ALL FLOOR SURFACES OF ADHESIVE AND OR GROUT RESIDUE PRIOR TO INSTALLATION OF NEW FLOORING MATERIAL.
- H. PROTECT ADJACENT EXISTING TO REMAIN CONSTRUCTION THROUGHOUT DURATION OF PROJECT. PROVIDE SHORING, BRACING OR SUPPORT AS REQUIRED TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING CONSTRUCTION.
- I. PROVIDE CONSTRUCTION BARRIER PARTITIONS BETWEEN AREAS OF WORK AND OCCUPIED SPACES (IF APPLICABLE), PARTITIONS TO REMAIN INTACT THROUGHOUT CONSTRUCTION, INCLUDING COMPLETED WORK AND WORK UNDER CONSTRUCTION.
- J. REMOVE ALL EXISTING CONSTRUCTION ITEMS AND FINISHES MADE OBSOLETE BY OR IN CONFLICT WITH NEW CONSTRUCTION. VERIFY WITH ARCHITECT AND/OR OWNER'S REPRESENTATIVE. REMOVE WIRING BACK TO SOURCE AT ALL OUTLETS, ETC. MADE OBSOLETE BY WALL REMOVAL OR ANY OTHER NEW CONSTRUCTION.
- K. REMOVE ALL ITEMS IN THEIR ENTIRETY UNLESS OTHERWISE NOTED. DESCRIPTION OF PRIMARY ITEMS TO BE REMOVED IS GENERAL IN NATURE, AND REMOVAL OF SECONDARY COMPONENTS SUCH AS BLOCKING, SUPPORTS, ANCHORS, TRIM, ADHESIVE, PIPING, WIRING, ETC., RELATED TO PRIMARY ITEMS SHALL BE INCLUDED.
- L. RELOCATED ITEMS SHALL BE CLEANED AND PLACED IN STORAGE PER OWNER'S DIRECTIONS UNTIL ITEMS ARE READY TO BE REINSTALLED. IF ITEM IS DAMAGED DURING DEMOLITION OR RELOCATION, IT SHALL BE REPAIRED WITH NEW ITEM AS APPROVED BY OWNER AT NO EXPENSE TO OWNER.
- M. AT OWNER'S REQUEST, SALVAGED ITEMS SHALL BE TURNED OVER TO THE OWNER OR STORED IN AN AREA DESIGNATED BY THE OWNER.
- N. PATCH EXISTING FLOOR, WALL, AND CEILING CONSTRUCTION AT ABANDONED PENETRATION LOCATIONS WITH NEW MATERIALS AS REQUIRED TO RECEIVE NEW FINISHES AND TO MAINTAIN ORIGINAL FIRE RATING ASSEMBLY WHERE APPLICABLE.
- O. DEMOLITION DOCUMENTS GRAPHICALLY INDICATE ONLY SHELL CONSTRUCTION DEMOLITION. DEMOLITION DRAWINGS INDICATE, BUT DO NOT SHOW THE FULL EXTENT OF EXISTING INTERIOR WALLS, MECHANICAL, ELECTRICAL AND PLUMBING TO BE REMOVED. CONTRACTOR TO WALK SITE TO UNDERSTAND FULL EXTENT OF WORK.
- P. IF EXISTING ITEMS TO BE REMOVED OR DISTURBED ARE SUSPECTED OR DISCOVERED TO CONTAIN ASBESTOS OR OTHER HAZARDOUS MATERIALS, STOP DEMOLITION AND NOTIFY OWNER IMMEDIATELY.
- Q. SEE M.E.P. DOCUMENTS FOR EXTENT OF DEMOLITION/REMOVAL OF PIPING/DUCTWORK/ELECTRICAL THAT WILL OCCUR IN PREPARATION FOR NEW CONSTRUCTION.

DEMOLITION KEYNOTES

- D1 REMOVE EXISTING HALF-WALL CONSTRUCTION DOWN TO BELOW RAISED PLATFORM. PROVIDE NEW TOP TRACK FOR SUPPORT OF NEW FLOOR SYSTEM.
- D2 REMOVE EXISTING FLOORING SYSTEM DOWN TO BARE CONCRETE / EXISTING TILE. PREP SURFACES TO RECEIVE NEW RAMP/FLOOR SYSTEM.
- D3 DEMO EXISTING RAMP AS NECESSARY TO FACILITATE INSTALLATION OF NEW FLOOR SYSTEM.
- D4 DEMO EXISTING BOOTH TABLE, BENCH, AND HALF WALL COMPLETE. PREP EXISTING TO REMAIN SURFACES TO RECEIVE NEW FINISHES.
- D5 DEMO EXISTING METAL PIPE HANDRAIL COMPLETE.
- D6 DEMO EXISTING STAIR RISER AS NECESSARY TO FACILITATE INSTALLATION OF NEW FLOOR SYSTEM.
- D7 REMOVE ONE SIDE OF COLUMN ENCLOSURE TO ALLOW FOR INSTALLATION OF NEW RAMP.



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EMAGINE PALLADIUM  
SCREENING ROOMS  
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Birmingham, MI 48009

PROJECT NUMBER:

17091

DATE:

12-12-2017

Revision Schedule

Revision Number	Revision Date	Revision Description
1	02-03-2018	SCREENING RM. #2 TAKEN OUT OF SCOPE. ITEMS ADDED TO SCREENING RM. #1

CERTIFICATION:



SHEET DESCRIPTION:

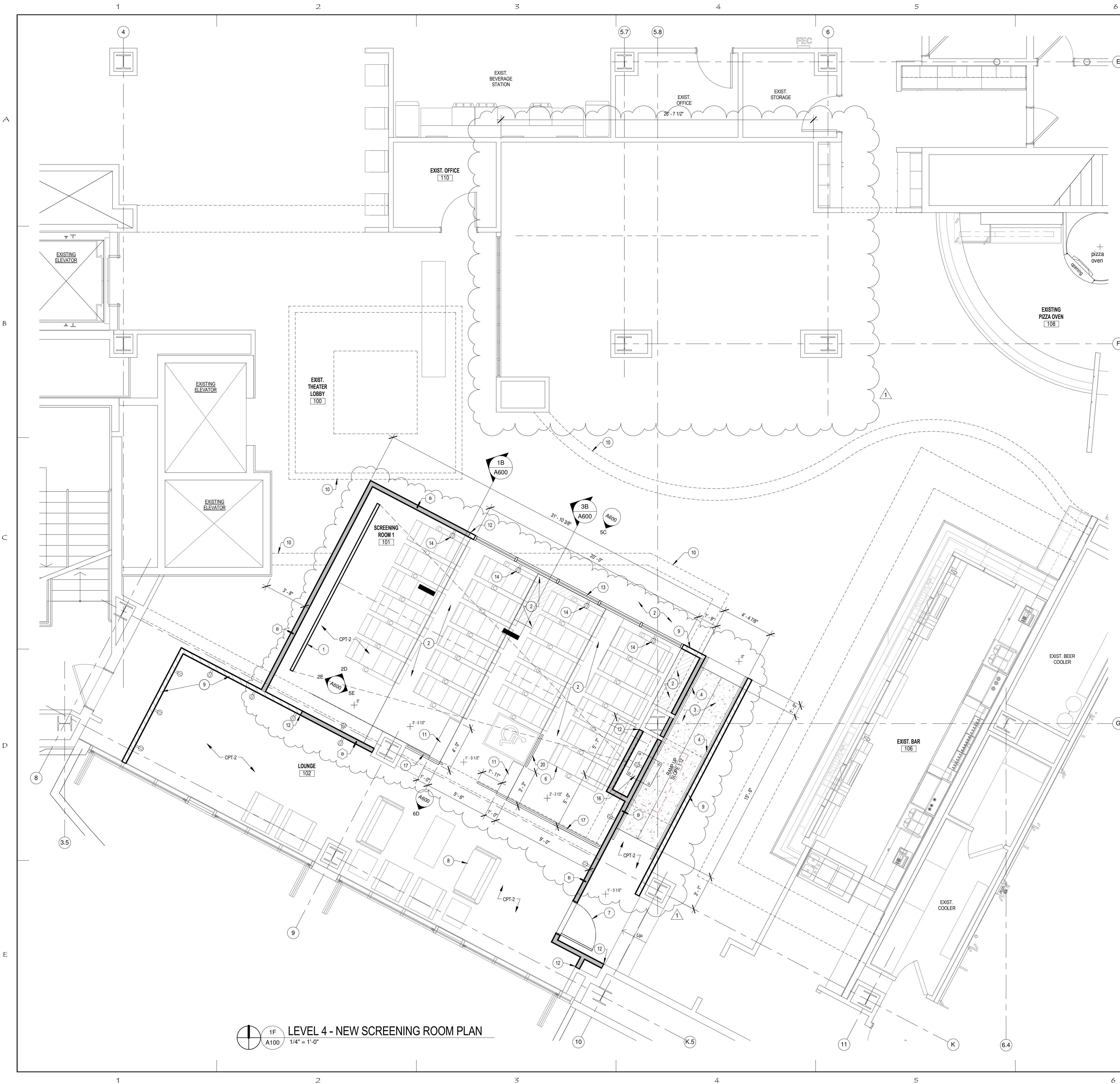
LEVEL 4 DEMOLITION PLAN

SHEET NUMBER:

A050

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# GENERAL FLOOR PLAN NOTES

- CONTRACTOR TO FOLLOW ALL BUILDING/PROJECT STANDARDS. PROVIDE INTERIM LIFE SAFETY MEASURES AND FOLLOW ALL STATE AND LOCAL BUILDING CODES. IF CONTRARY INSTRUCTIONS ARE CONTAINED HEREIN, REQUEST CLARIFICATION FROM OWNER/ARCHITECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS, JOB CONDITIONS, ETC.
- SEE SHEET A001 FOR ADDITIONAL NOTES.
- ALL DIMENSIONS ARE FROM FACE OF STUD FRAMING TO FACE OF STUD FRAMING UNLESS OTHERWISE NOTED.
- SEE WALL TYPES, DOORS AND HARDWARE SCHEDULES FOR ADDITIONAL INFORMATION.
- WHERE DISSIMILAR FLOOR MATERIALS MEET, THEY SHOULD DO SO UNDER THE CENTERLINE OF THE DOOR, UNLESS OTHERWISE NOTED.
- SEE TYPICAL DETAILS FOR LOCATION OF HINGE SIDE OF DOOR JAMBS FROM ADJACENT WALLS IN METAL STUD WALLS UNLESS OTHERWISE NOTED.
- PROVIDE BLOCKING IN NEW AND EXISTING WALLS FOR ALL WALL SUPPORTED ITEMS. SEE PLANS FOR CASEWORK LOCATIONS.
- ALL MATERIALS TO BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND STANDARD SPECIFICATIONS.
- REFER TO SHEETS A130 AND A620-A622 FOR ALL REQUIRED FINISH INFORMATION.
- WHERE NEW WALL CONSTRUCTION IS REQUIRED ADJACENT TO OR ABUTTING EXISTING CONSTRUCTION, ALIGN FACE OF NEW CONSTRUCTION WITH FACE OF EXISTING CONSTRUCTION. SKIM ENTIRE WALL SURFACE AS REQUIRED TO PROVIDE SMOOTH, FLUSH TRANSITIONS.
- PROVIDE CONTROL JOINTS IN ALL RUNS OF GYPSUM BOARD. WALLS OVER 30 FEET IN LENGTH. COORDINATE WITH ARCHITECT PRIOR TO INSTALLATION FOR COMPLIANCE WITH DESIGN INTENT.
- PREP ALL WALL SURFACES TO RECEIVE NEW PAINT OR WALL COVERING FINISH. PATCH ALL EXISTING HOLES IN AREAS TO RECEIVE NEW FINISHES. SAND WALLS SMOOTH PRIOR TO PAINTING. PROVIDE BLANK COVER PLATES WHERE NEEDED. REMOVE EMERGENCY LIGHTS, SIGNAGE, THERMOSTATS, FIRE STROBES, ETC. PRIOR TO PAINTING AND REINSTALL WHEN COMPLETE.
- ALL PENETRATIONS IN AND THROUGH FIRE AND SMOKE RATED WALLS SHALL BE SLEEVED AND FIRE STOPPED AS NECESSARY TO MAINTAIN RATINGS.
- SEE MEP DRAWINGS FOR RELATED LEGENDS AND SCOPE OF WORK.
- SEE SHEET A001 FOR WALL TYPES.
- SEE SHEET A001 FOR TYPICAL DOOR DETAILS.

# NEW FLOOR PLAN KEYNOTES

- PROJECTION SCREEN.
- NEW PLYWOOD FLOOR ON METAL DECK AND STUDS. SEE SECTION 3B/A600 FOR ADDITIONAL INFORMATION.
- NEW RAMP (PLYWOOD OVER METAL DECK AND STUDS). SEE DETAILS ON SHEET A600.
- PIPERAIL HANDRAIL (WALL MOUNTED), TO BE PAINTED P-2. TOP OF RAIL TO BE 36" ABOVE FLOOR/RAMP/STEP NOSING. SPACE WALL BRACKETS 48" O.C. PROVIDE POSTS WHERE SHOWN. CORE DRILL POSTS INTO CONCRETE (6" TYP.) AND PACK WITH NON-SHRINK EPOXY GROUT.
- INFILL BACKSIDE OF EXISTING WINDOW WITH METAL STUDS AND DRYWALL, PAINTED BLACK ON WINDOW SIDE.
- NEW THEATER SEATS (RECLINERS), FLOOR MOUNTED.
- NEW ACUSTIC WOOD DOOR, SEE SHEET A001 FOR TYPICAL HEAD AND JAMB DETAILS. PROVIDE CONTINUOUS HINGE, DOOR PULL, PUSH PLATE, CLOSER W/HOLDER, AND WALL STOP. COORDINATE DOOR FINISH WITH OWNER.
- OWNER PROVIDED FURNITURE.
- EXTEND EXISTING HALF WALL CONSTRUCTION UP TO BOTTOM OF ROOF DECK ABOVE. REMOVE EXISTING PLYWOOD SHEATHING AND INSTALL NEW 5/8" GYP. BD. ON BOTH SIDES OF WALL. WALL TO BE INSULATED. SEE SECTION 1B/A600 FOR ADDITIONAL INFORMATION.
- LINE OF BULKHEAD ABOVE.
- NEW PLYWOOD AND METAL STUD STEP, 12" DEEP X WIDTH INDICATED ON PLAN. SEE DETAIL 3C/A600.
- ALIGN NEW WALL WITH FACE OF EXISTING WALL/COLUMN. PROVIDE SMOOTH TRANSITION BETWEEN EXISTING AND NEW.
- PROVIDE FIXED ALUMINUM STOREFRONT FRAMING WITH 1/4" CLEAR GLAZING, SIMILAR TO KAWNEER Trifab 400 FRAMING SYSTEM. ALTERNATE: PROVIDE OPERABLE PARTITION IN LIEU OF ALUMINUM FRAMING. SYSTEM TO BE EQUAL TO MODERNFOLD ACOUSTI-SEAL PAIRED PANEL SYSTEM 932FS. SEE ELEVATIONS ON SHEET A600 FOR ADDITIONAL INFORMATION.
- WALL MOUNTED POWER SUPPLY FOR RECLINERS. COORDINATE POWER REQUIREMENTS WITH SEATING MANUFACTURER.
- FLOOR POWER SUPPLY FOR RECLINERS. COORDINATE POWER REQUIREMENTS WITH SEATING MANUFACTURER.
- PROJECTOR ON PLATFORM ABOVE. SEE SHEET A600 FOR ADDITIONAL INFORMATION. PROVIDE POWER AND DATA AS REQUIRED BY PROJECTOR MANUFACTURER.
- STEEL PIPERAIL HANDRAIL (POST MOUNTED), TO BE PAINTED P-2. TOP OF RAIL TO BE 36" ABOVE FLOOR/STEP NOSING. SPACE POSTS 48" O.C. MAX.
- 26" HIGH PIPERAIL. PAINT P-2. SEE DETAIL 1C/A600 FOR ADDITIONAL INFORMATION.



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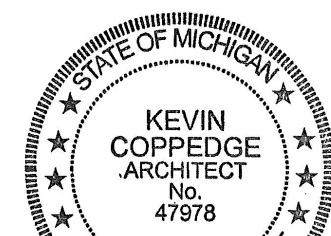
DATE:

12-12-2017

# Revision Schedule

Revision Number	Revision Date	Revision Description
1	12-12-2017	SCREENING RM. #2 TAKEN OUT OF SCOPE. ITEMS ADDED TO SCREENING RM. #1

CERTIFICATION:



SHEET DESCRIPTION:

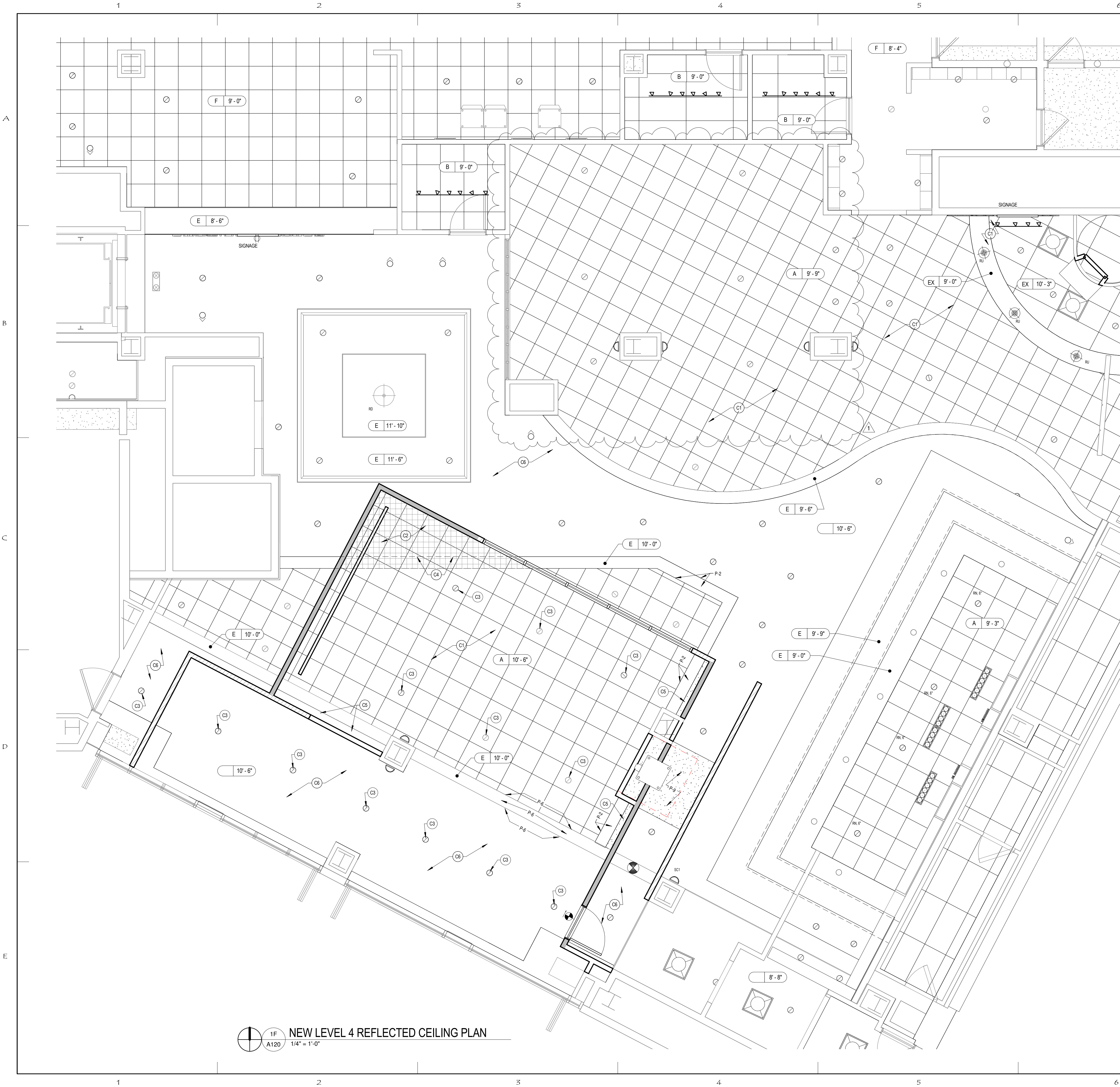
FOURTH FLOOR PLAN

SHEET NUMBER:

A100

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NEW LEVEL 4 REFLECTED CEILING PLAN  
1F  
A120  
1/4" = 1'-0"

GENERAL CEILING PLAN NOTES

- EXISTING TO REMAIN CEILING SYSTEMS SHOWN LIGHTER THAN NEW GRID SYSTEM.
- NEW CEILING GRID CENTERED IN ROOM EACH WAY, UNLESS NOTED OTHERWISE.
- UNLESS OTHERWISE NOTED, INSTALL SUSPENDED CEILING GRID WITH EQUAL SIZE PANELS AT EACH SIDE OF ENDS OF ROOMS. IN GENERAL, PANELS SHOULD NOT BE LESS THAN 1'-0" WIDE.
- PROVIDE NIGHT LIGHT CIRCUITS AS REQUIRED.
- REFER TO ROOM FINISH SCHEDULE FOR SPECIFIC CEILING TYPES, MATERIALS, ETC.
- THE ARCHITECTURAL REFLECTED CEILING PLANS SHALL GOVERN THE LAYOUT OF ALL CEILING ELEMENTS AND/OR PENETRATIONS. COORDINATE WITH ARCHITECT ANY FIELD CONDITIONS THAT DIFFER FROM WHAT IS SHOWN ON THESE PLANS.
- SIZES AND SHAPES OF MECHANICAL EQUIPMENT, LIGHTING AND OTHER MISC. ELECTRICAL EQUIPMENT (IF SHOWN HERE) ARE SHOWN FOR REFERENCE ONLY. COORDINATE ACTUAL SIZES AND CIRCUITING WITH ELECTRICAL ENGINEERING DOCUMENTS.
- REFER TO WALL TYPE FOR ADDITIONAL INFORMATION & WALLS THAT BREAK GRID.
- IF POSSIBLE, ANY CEILING MOUNTED ITEMS (SPRINKLER HEADS, SPEAKERS, ETC.) SHOULD BE CENTERED IN CEILING PANELS.
- WHERE EXISTING CEILING GRID IS REMODELED TO MEET NEW CONSTRUCTION, THE CONTRACTOR SHALL:
  - REPLACE ALL DAMAGED OR UNREPAIRABLE PORTIONS OF EXISTING GRID WITH NEW GRID TO MATCH EXISTING BUILDING STANDARDS.
  - REMOVE PORTIONS OF EXISTING GRID OR PROVIDE NEW GRID AS REQUIRED BY NEW CONSTRUCTION. ALL NEW GRID MUST MATCH EXISTING TO REMAIN OR BE BUILDING STANDARD.
  - REPLACE ALL DAMAGED CEILING TILES WITH NEW TILES TO MATCH EXISTING TO REMAIN.

REFLECTED CEILING PLAN KEYNOTES

- C1 EXISTING ACOUSTIC CEILING TO REMAIN. REPLACE ANY MISSING OR DAMAGED CEILING TILES.  
C2 INFILL ACOUSTIC CEILING TILE AND GRID TO MATCH EXISTING.  
C3 NEW OR RELOCATED CAN LIGHT.  
C4 DEMO PORTION OF EXISTING BULKHEAD AS SHOWN.  
C5 INSTALL NEW GYP. BD. CEILING TO INFILL SPACE BETWEEN WALL AND EXISTING BULKHEAD.  
C6 EXISTING GYP. BD. CEILING TO REMAIN. PATCH AND REPAIR ANY DAMAGED AREAS, INCLUDING AREAS WHERE LIGHTS, SIGNAGE, NEON, AND OTHER CEILING MOUNTED ITEMS HAVE BEEN REMOVED. PROVIDE SMOOTH, FLUSH SURFACE TO RECEIVE NEW PAINT FINISH.

REFLECTED CEILING PLAN LEGEND

- CEILING TYPE  
MATERIAL/DETAIL VARIATION  
CEILING HEIGHT  
CEILING TAG  
CLG2 0'-0"  
CLG2 0'-0"  
CEILING GRID  
2' X 4' RECESSED FLUORESCENT  
NEW BLACK UNDERMOUNT LED LIGHT  
NEW WALL MOUNT FLUORESCENT  
NEW 1' X 4' RECESSED TROFFER FLUORESCENT  
NEW VANITY LIGHT  
4" DOWNLIGHT w/ LED BULB, UNLESS NOTED OTHERWISE  
WALL MOUNTED EXIT SIGN  
CEILING MOUNTED EXIT SIGN  
HVAC SUPPLY DIFFUSER  
HVAC RETURN GRILLE  
SMOKE DETECTOR  
WALL SCONCE - ADIRONDACK SILVER LEAF  
PENDANT - CUSTOM "TWIG" FIXTURE  
PENDANT - RAISED DINING AREA  
PENDANT - RECEPTION  
PENDANT - BERESFORD BRONZE ANTLER  
PENDANT - CHROME / AMBER BULBOUS MINI  
PENDANT - ALITA CHAMPAGNE PENDANT (3 TOTAL - HUNG AT DIFFERENT ELEVATIONS)  
TRACK LIGHTING w/ LED TRACK HEADS



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PROJECT NUMBER:  
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Revision Schedule		
Revision Number	Revision Date	Revision Description
1	02-03-2018	SCREENING RM. #2 TAKEN OUT OF SCOPE. ITEMS ADDED TO SCREENING RM. #1

CERTIFICATION:



SHEET DESCRIPTION:  
NEW LEVEL 4 REFLECTED  
CEILING PLAN

SHEET NUMBER:  
A120

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	1	2	3	4	5	6	7
	FINISH MATERIAL LIST						
	MARK	MANUFACTURER	STYLE	MODEL NUMBER	COLOR	SIZE	COMMENTS
A	CARPET						
	CPT-2	DURKAN	PATTERN "D39774", ANASTASIA SERIES	STRIKE OFF P0216521C	BLACK W/ TAUPES & GOLD, CUSTOM SCROLL 'E'	24"x24" REPEAT	REP: MARNI BROWN 517-719-0800 marni_brown@mohawkind.com
	CPT-3	MOHAWK GROUP (BIGELOW BRAND)	BOLD STROKES, MIXOLOGY COLLECTION	BQ 362	#968 "SMOKY MARTINI"	BROADLOOM	REP: MARNI BROWN 517-719-0800 marni_brown@mohawkind.com
	CARPET BASE						
	CB-1	DURKAN	SAME AS CPT-1			6" HIGH	SAME AS CPT-1, BIND ONE EDGE
	CEILINGS						
	A	USG	FROST CLIMAPLUS	414	090 SANDSTONE	2' x 2'	GRID: 15/16", SANDSTONE
	B	USG	RADAR	2310	WHITE	2' x 4'	GRID: 15/16", WHITE
	C	USG	CLEAN ROOM, UNPERFORATED	56091	WHITE	2' x 4'	GRID: 15/16", WHITE
	D	USG	RADAR CLIMAPLUS	2410	FLAT BLACK	2' x 4'	GRID: 15/16", BLACK
B	E		SUSPENDED GYP. BD. CEILING / BULKHEAD		AS NOTED ON PLANS		
	F	USG	FROST CLIMAPLUS	414	143 STRAW	2' x 2'	GRID: 15/16", STRAW
	CERAMIC TILE						
	CT-1	DALTILE	CONTINENTAL SLATE	CS50	EGYPTIAN BEIGE	12" x 18"	PATTERN: STAGGERED BRICKWORK GROUT: GT-1 REP: KIM HOFFMAN 248-471-7150
	CT-2	DALTILE	ACACIA VALLEY	AV07 & AV15	ALDER	6" x 36" AV07, 9" x 36" AV15	LAY IN ALTERNATING PATTERN. USE MATCHING BASE TB-3. GROUT GT-1
	CT-3	DALTILE	CONTINENTAL SLATE	CS56	TUSCAN BLUE	12"x18" STAGGERED BRICKWORK PATTERN.	GROUT: GT-7. TILE USED AT BOTH WALL AND FLOOR APPLICATIONS
	CT-4	DALTILE	SLATE RADIANCE	SA55	FLINT	5/8" MOSAIC LAY-IN HORIZONTALLY	ACCENT BAND THROUGH OUT BATHROOMS - +/- 12" HIGH, BAR AND RANDOM. GROUT: GT-2
	CT-5	OLYMBIA VERSAILLES	BRUSHED STRAIGHT EDGE		WALNUT TRAVERTINE	16" x 24" x 7/16"	BEAVER TILE - FARMINGTON HILLS 248-476-2333 ("MUST SEAL)
	CT-8	ADEX		ADNT 1008 ADENACH36	NATURE CHARCOAL		MUST BE SEALED BEFORE AND AFTER GROUTING. FROM VIRGINIA TILE. SEE CT-7, GROUT: GT-5
	CT-9	LUNADA BAY	TOZEN	SGEOTIMOS140JN	TIN NATURAL	1"x4" BRICK JOINT GLASS MOSAIC	GLASS TILE TO BE SET W/TEC HB SUPERFLEX WHITE. GROUT WITH GT-6. ON PIZZA OVEN AND BACK OF BAR
C	CT-10	DALTILE	SLATE - NATURAL STONE	S772 NATURAL CLEFT GAUGED	AUTUMN MIST	16"x16" LAY IN GRID PATTERN.	FARMINGTON HILLS SHOWROOM - KIM 248-471-7150 START AT CLG & CUT AT FLOOR
	CT-11	STONE TILES INTERNATIONAL	STISIER LEDGER		SIERRA, NATURAL FACE	6x24 LEDGER PANEL. MUST BE SEALED.	GT-7 IF NEEDED. REP. VIRGINIA TILE, MAUREEN AT TROY, 248-649-4422 SELECTION #40669
	CT-12		CASTELLINA BLEND	STICABL1624HCU	COBBLESTONE HONED & UNFILLED TRAVERTINE	16x24. MUST BE SEALED BEFORE/AFTER GROUTING	GROUT GT-3. INSTALL IN STAGGERED VERTICAL BRICKWORK PATTERN STARTING AT CLG.
	CT-13	DALTILE	30 METAL MOSAICS	#9999447132	RECTANGLE STAINLESS STEEL	12"x6"	GROUT IF NEEDED WITH GT-6-#02 PEWTER (MAPAI). REP: KIM HOFFMAN 248-471-7150
	CERAMIC TILE BASE						
	TB-1	DALTILE	CONTINENTAL SLATE	CS50 S-36C9T	EGYPTIAN BEIGE	6" x 12" COVE BASE	FOR USE AT WTP-1, 2 & 3
	TB-2	DALTILE	SLATE COLLECTION	S772 NATURAL CLEFT GAUGED	AUTUMN MIST	6"H CUT SLATE (CT-10) BEVEL TOP EDGE	FOR USE AT WTP-4
	TB-3	DALTILE	ACACIA VALLEY	#S-36C9T	ARK	6" x 12" COVE BASE	FOR USE AT CT-7
	CORNER GUARDS						
	CG-1	TBD					
D	FABRIC						
	F-1	HYTEX INDUSTRIES, INC.	HYTEX RIB	#19-17	TAFFY #19-17		REP: RICHARD RIGAZIO 781-963-4400
	F-2	HYTEX INDUSTRIES, INC.	HYTEX RIB	#19-33	BLACK		REP: RICHARD RIGAZIO 781-963-4400
	F-3	HYTEX INDUSTRIES, INC.	BRAVO	BELLO	GRGIO		REP: RICHARD RIGAZIO 781-963-4400
	F-4	CULP INDUSTRES	DILLION		LUGGAGE		THEATER SEAT FABRIC
	GRANITE						
	GR-1	-	GRANITE BAR TOP		SPECTRUS BLACK - "MAGMA"		THIS GRANITE MUST BE APPROVED. SLABS REVIEWED AND SIGNED OFF ON. GRANITE SELECTED AT CIOT DETROIT - RICCI BELLUCCI 248-288-8888
	GR-2	-	GRANITE PIZZA BAR SERVICE TOP		BLACK UBATUBA		GRANITE MUST BE TRUE BLACK. GRANITE SELECTED AT CIOT DETROIT - RICCI BELLUCCI 248-288-8888
	GR-3	-	CONCESSION COUNTER TOP		BLACK GALAXIE - BLACK & COPPER / GOLD FLECKS		GRANITE SELECTED AT CIOT DETROIT - RICCI BELLUCCI 248-288-8888
	GROUT						
E	GT-1	MAPEI	UNSANDED OR EQUAL	#05	CHAMOIS	1/8" GROUT JOINT	
	GT-2	MAPEI	UNSANDED OR EQUAL	#50	MAGNOLIA	1/8" GROUT JOINT	
	GT-3	MAPEI	UNSANDED OR EQUAL	#44	PALE UMBER	1/8" GROUT JOINT	
	GT-4	MAPEI	UNSANDED OR EQUAL	#10	BLACK	1/8" GROUT JOINT	
	GT-5	MAPEI	UNSANDED OR EQUAL	#09	CHARCOAL	1/8" GROUT JOINT	
	GT-6	MAPEI	UNSANDED OR EQUAL	#02	PEWTER	1/8" GROUT JOINT	
	GT-7	MAPEI	UNSANDED OR EQUAL	#11	SAHARA BEIGE (QUARRY TILE)	1/8" GROUT JOINT	
	PAINT						
	P-1	BENJAMIN MOORE		HC-20	WOODSTOCK TAN		MATCHES WC-1 & SANDSTONE CEILING TILE
	P-2	SHERWIN WILLIAMS		SW7674	PEPPERCORN		MATCHES WALLCOVERING WC-2 AND WC-4
F	P-3	BENJAMIN MOORE		HC-77	ALEXANDRIA BEIGE		MATCHES WALLCOVERING WC-3
	P-4	SHERWIN WILLIAMS		SW7073	NETWORK GRAY		MISC. WALLS, BACK OF HOUSE, STORAGE, ETC. (200 SERIES PAINT IN PREP AREAS)
	P-5	BENJAMIN MOORE		READY MIX	BLACK		
	P-6	BENJAMIN MOORE		1075	FAIRWAY OAKS		
	P-7	BENJAMIN MOORE		1117	GUEST HOUSE		ACCENT PANEL TRIMS IN THEATERS
	P-8	BENJAMIN MOORE		SW6363	GINGERY		CONCESSION WALLS
	P-9	SHERWIN WILLIAMS		SW7036	ACCESSIBLE BEIGE		DRY WALL CLG'S
	PLASTIC LAMINATE						
	LAM-1	FORMICA		#8848-58	BLACKENED LEGNO		
	LAM-2	FORMICA	PECAN WOOD	#5883-58, MATTE FINISH	PECAN WOODLINE		FRONTS OF CONCESSION MILLWORK
G	LAM-3	NUMETAL		#256	BRUSHED STAINLESS		ANDREA ANGERS 248-302-1355
	LAM-4	FORMICA		#929-58, MATTE FINISH	OYSTER GRAY		KICKS
	LAM-5	FORMICA		#909-58, MATTE FINISH	BLACK		KICKS
	LAM-6	FORMICA		#8846-58, MATTE FINISH	OILED LEGNO		
	LAM-7	FORMICA		#5887-58, MATTE FINISH	MILLENNIUM OAK		
	LAM-8	NEVAMAR		FS6001T	RUSH (EBONY)		
	QUARRY TILE						
	QT-1	AMERICAN OLEAN	QUARRY NATURALS		SHADOW GRAY - N46 W/ #11 SAHARA BEIGE TO MATCH, GT-7	1/2" x 6 'x 6"	TRIMS & WALL BASE TO MATCH. VIRGINIA TILE-TROY 248-649-4422 ROSANNI OR MAUREEN
	RESILIENT BASE						
	B-1	JOHNSONITE	.080 VINYL WALL BASE, COVED		#28 MEDIUM GREY	6" HIGH	JOHNSONITE, 1-800-899-8916
H	SOLID SURFACE						
	SS-1	CORIAN	PRIVATE COLLECTIONS		THYME		PURSE SHELF, TROUGH SINKS & TOILET PARTITIONS. LOCALLY FROM H.J. OLDENKAMP CO..
	VINYL COMPOSITION TILE						
	VCT-1	MANNINGTON COMMERCIAL	ESSENTIALS SERIES		STONE GRAY #102	12"x12"x1/8"	RADIO DISTRIBUTORS 1-800-462-1544
	VINYL FLOORING						
	VF-1	CONGOLEUM	ENDURANCE PLANK	EK-14-6-36" LONG	DRIFTWOOD	6" PLANKS	RUN IN DIRECTION OF TIER, PROVIDE MATCHING VINYL REDUCER AT TIER NOSING
	VF-2	MOHAWK GROUP	SELECT STEP - WOOD #C0007	#P006S	DOVETAIL GRAY	7.25" x 48"	ALTERNATE TO VF-1. REP: MARNI BROWN, 517-719-0800, MARNI_BROWN@MOHAWKIND.COM
	VINYL WALLCOVERING						
	VWC-1	MDC WALLCOVERING	ALDERWOOD	Y46719AW	GOLD BAR	54" WIDE, 20 OZ.	STEPHANIE TROSHYNSKI 586-764-8985
	VWC-2	MDC WALLCOVERING	ALDERWOOD	Y46722AW	BLACK PEARL	54" WIDE, 20 OZ.	STEPHANIE TROSHYNSKI 586-764-8985
I	VWC-3	MDC WALLCOVERING	ALDERWOOD	Y46718AW	GLEAM	54" WIDE, 20 OZ.	STEPHANIE TROSHYNSKI 586-764-8985
	VWC-4	MDC WALLCOVERING	GENON MOLTEN	W2-MT-07	CHARRED	54" WIDE, 20 OZ.	STEPHANIE TROSHYNSKI 586-764-8985
	VWC-5	MDC WALLCOVERING	GENON MOLTEN	W2-MT-06	TORCHED	54" WIDE, 20 OZ.	STEPHANIE TROSHYNSKI 586-764-8985
	VWC-6	MDC WALLCOVERING	GENON MOLTEN	W2-MT-04	SMOLDERING SILVER	54" WIDE, 20 OZ.	STEPHANIE TROSHYNSKI 586-764-8985
	WOOD PANELS						
	WPS-1	FASHION ARCHITECTURAL DESIGNS	FASHION STACKED WOOD "SATINE"	PRINCE EDWARD #FAD 1105	WALNUT	3.5"H x 53.5"L PANELS	CORNERS TO BE MITRED. BASE MATERIAL TO BE LAM-6. REP: ANDEA ANGERS 248-302-1355

GENERAL FINISH FLOOR PLAN NOTES

- STANDARD PAINT FINISH ON GYPSUM BOARD TO BE MINIMUM (1) PRIMER COAT (NOT FINISH COLOR) & MINIMUM (2) FINISH COATS OF FINAL DESIRED COLOR OF INTERIOR LATEX (EGGSHELL FINISH). EQUAL TO SHERWIN WILLIAMS CASHMERE & COLOR ACCENTS PAINT QUALITY. CONTRACTOR TO SUBMIT DRAW CARDS FOR VERIFICATION OF COLOR MATCH TO DESIGNER.
- ALL INTERIOR EXPOSED ITEMS AND SURFACES THROUGHOUT PROJECT ARE TO BE PAINTED. EXCEPT WHERE A SURFACE MATERIAL IS SPECIFICALLY INDICATED NOT TO BE PAINTED, IS PREFINISHED, OR IS TO REMAIN NATURAL.
- ALL SOLID AND VENEER WOOD SHALL BE FINISHED WITH FINAL FINISH COAT OF MINWAX POLYACRYLIC SEMI-GLOSS FINISH. SUBMIT SAMPLES OF ALL WOOD AND VENEER COMPONENTS.
- WRAP ALL VINYL WALL COVERING AROUND OUTSIDE CORNERS. NO SEAMS SHOULD BE LOCATED AT OUTSIDE CORNERS.
- PROVIDE LATEX SKIM COAT ON WALL SURFACE AT EXISTING WALL LOCATIONS TO PROVIDE SMOOTH SURFACE PREP FOR NEW FINISH RE-TREATMENT.
- ALL GYPSUM BOARD BULKHEADS TO BE PAINTED CEILING WHITE, UNLESS OTHERWISE NOTED ON REFLECTED CEILING PLAN.
- PROVIDE TRANSITION STRIPS AT ALL FLOORING MATERIAL CHANGES (CENTERLINE OF DOOR OPENING) UNLESS OTHERWISE NOTED. SEE SHEET A621 FOR DETAILS.
- SEE SHEET A620 FOR FINISH FLOOR PLAN.
- SEE SHEETS A600-A606 FOR INTERIOR ELEVATIONS AND SPECIFIC FINISH LOCATIONS.
- ALL AUDITORIUM STEEL PIPE HANDRAILS AND GUARDRAILS TO BE PAINTED P-.
- PROVIDE CRACK ISOLATION MEMBRANE AS REQUIRED AT ALL TILE INSTALLATIONS. CONTRACTOR TO COORDINATE WITH DESIGNER.
- THERE SHALL NOT BE PAINT CONDITIONS THAT OCCUR CAUSING FINISH OR COLOR TO CHANGE ON AN OUTSIDE CORNER UNLESS OTHERWISE NOTED. IF THIS CONDITION OCCURS BRING THIS TO THE DESIGNERS ATTENTION IMMEDIATELY.
- REFER TO PROJECT MANUAL FOR SPECIFICATIONS FOR SEALED CONCRETE (SC) AND HARDENER/SEALER OR HARDENER SEALED CONCRETE (HSC).
- GYPSUM BOARD TO RECEIVE A LEVEL FIVE (5) FINISH IN AREAS TO RECEIVE A DARK COLOR PAINT.
- ALL INTERIOR DOORS SCHEDULED TO BE PAINTED SHALL BE SEMI-GLOSS FINISH.
- ALL HVAC VENTS, GRILLES, TRIMS & ETC. TO BE PAINTED TO MATCH THE WALL/CEILING THEY ARE LOCATED ON.
- PATTEN NAME, COLOR AND NUMBER FOR EACH MATERIAL ARE GIVEN WHEREVER POSSIBLE ON THE FINISH PLAN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT/DESIGNER SO THAT THE CORRECT MATERIAL IS INSTALLED.
- AUDITORIUM TIER NOSINGS @ VINYL FLOORING TO RECEIVE VINYL NOSING EQUAL TO ROPPE #203, COLOR: .
- PROVIDE SAFETY STAIR NOSING AT ALL AUDITORIUM STEPS. PROVIDE CONTRASTING STRIPE.
- PROVIDE CONTROL JOINTS IN RUNS OF GYP. BD. GREATER THAN 30 FEET IN LENGTH. SEE DETAIL 7D/A651. COORDINATE LOCATION WITH DESIGNER PRIOR TO INSTALLATION FOR COMPLIANCE WITH DESIGN INTENT.
- EXISTING WOOD VENEER DOORS & HARDWARE TO REMAIN - REPAIR/TOUCH-UP. THESE DOORS ARE RESTROOMS, EXIT DOORS, AND SOME BACK OF HOUSE. PAINT FRAMES TO MATCH ADJACENT WALLCOVERING AS NOTED.
- EXISTING THEATRE SINGLE OR DOUBLE SET OF WOOD VENEER DOORS & HARDWARE TO REMAIN, TOUCH-UP & REPAIR. GLASS PANELS IN DOORS ARE TO BE REMOVED & REPLACED W. NEW "EMAGINE" LOGO PANELS. PAINT FRAMES TO MATCH ADJACENT WALLCOVERING AS NOTED.
- NON VENEER DOORS AND FRAMES ON VWC-2 TO BE PAINTED P-2.
- NON VENEER DOORS AND FRAMES ON VWC-3 TO BE PAINTED P-3.
- NON VENEER DOORS AND FRAMES ON VWC-1 TO BE PAINTED P-1.
- DOORS AND FRAMES ON FABRIC F-2 TO BE PAINTED P-5 (BLACK).
- DOORS AND FRAMES ON P-4 (NETWORK GREY) TO BE PAINTED THE SAME (P-4).
- DOORS AND FRAMES ON P-6 TO BE PAINTED THE SAME (P-6).
- DOORS AND FRAMES ON CT-5 TO BE PAINTED P-6.
- WPS COLUMNS ARE TO HAVE LAM. #6 BASE
- SEE SHEET A800 FOR FURNITURE FABRICS IN DINING AND BAR AREAS.



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Fax: (317) 572.1236  
8604 Allisonville Road, Suite 330  
Indianapolis, IN 46250

MECHANICAL - PLUMBING - ELECTRICAL  
CONSULTING ENGINEER:



400 S. Old Woodward, Suite 100  
Birmingham, MI 48009  
P 248-258-1610 F 248-258-9538

Imagine Entertainment  
EMAGINE PALLADIUM  
SCREENING ROOMS  
250 N. Old Woodward Avenue  
Birmingham, MI 48009

PROJECT NUMBER:

17091

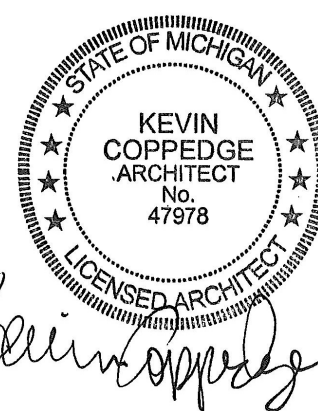
DATE:

12-12-2017

Revision Schedule

Revision Number	Revision Date	Revision Description
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CERTIFICATION:



SHEET DESCRIPTION:

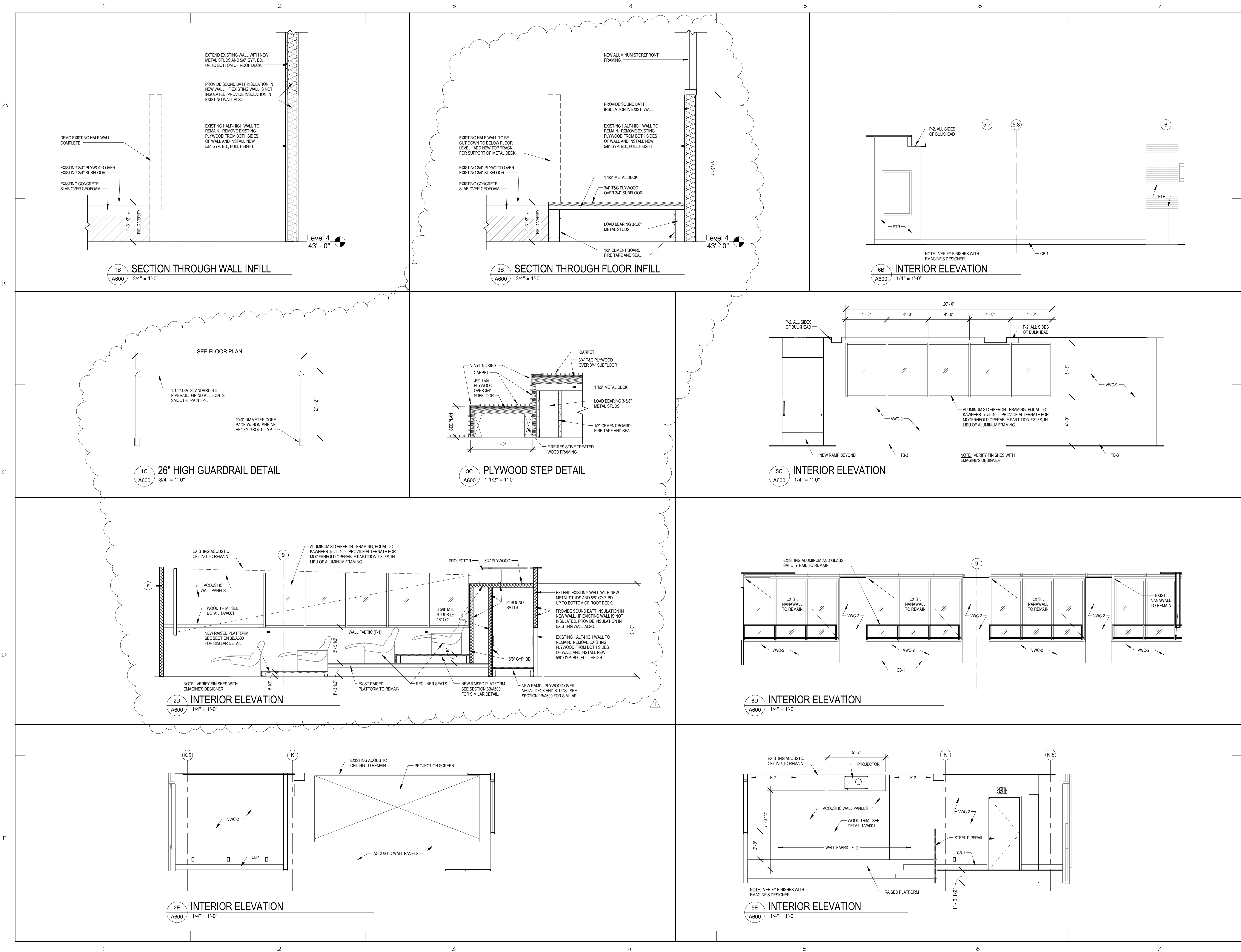
FINISH LEGEND & MATERIAL  
LIST

SHEET NUMBER:

A130

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OF STUDIO 3 DESIGN, INC. ALL  
RIGHTS RESERVED





Revision Schedule		
Revision Number	Revision Date	Revision Description
1	02-03-2018	SCREENING RM. #2 TAKEN OUT OF SCOPE. ITEMS ADDED TO SCREENING RM. #1



# PALLADIUM

## BIRMINGHAM, MICHIGAN

**BUILDING OWNER/DEVELOPER:**

A.F. JONNA DEVELOPMENT

4036 TELEGRAPH RD. SUITE 201

BLOOMFIELD HILLS, MI 48302

(248) 593-6200 FAX: (248) 593-6203

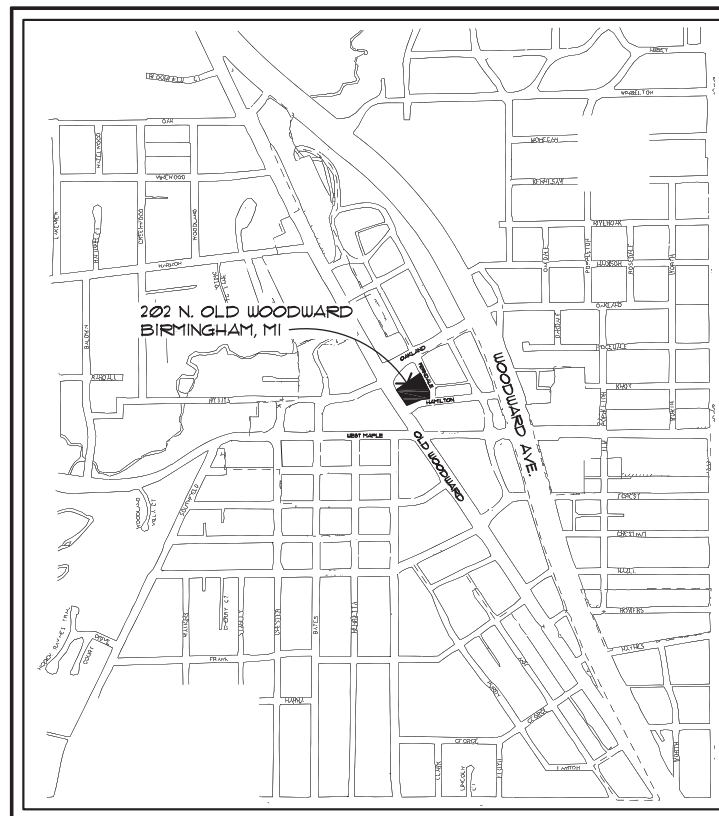
**ARCHITECT:**

JPRA ARCHITECTS

39300 WEST TWELVE MILE RD. SUITE 180

FARMINGTON HILLS, MI 48331

(248) 737-0180 FAX: (248) 737-9161



LOCATION MAP

CITY OF BIRMINGHAM

(NOT TO SCALE)

**INDEX OF DRAWINGS**

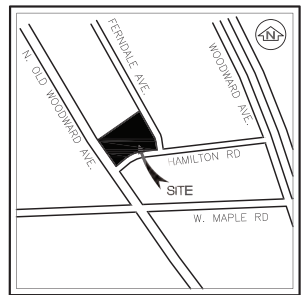
SHEET NUMBER	DRAWING TITLE
CS	COVER SHEET
C1	ALTA/ACSM LAND TITLE SURVEY
C2	FINAL SITE PLAN
A.102	LOWER LEVEL FLOOR PLAN
A.103	STREET LEVEL FLOOR PLAN
A.104	SECOND LEVEL FLOOR PLAN
A.105	FOURTH LEVEL FLOOR PLAN
A.106	THIRD LEVEL FLOOR PLAN
A.107	FIFTH LEVEL FLOOR PLAN
A.108	ELEVATIONS
A.109	ELEVATIONS
A.110	PHOTOMETRIC CALCULATIONS

**PREVIOUS APPROVAL**

PRELIMINARY SITE PLAN APPROVAL  
BY PLANNING BOARD MAY 28, 2014

FINAL SITE PLAN APPROVAL  
JUNE 09, 2014





**NF**  
**ENGINEERS**  
CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS

**NOWAK & FRAUS**  
**ENGINEERS**

46777 WOODWARD AVENUE  
PONTIAC, MI 48342  
TEL. (248) 332-7931  
FAX. (248) 332-8257

#### LEGAL DESCRIPTION

Land Situated in the City of Birmingham in the County of Oakland in the State of MI  
PARCEL 1:

Part of Lots 50, 53, 56 and 57, ASSESSOR'S PLAT NO. 21, according to the recorded plat thereof, as recorded in Liber 54 of Plats, page 19, Oakland County Records, beginning at the Southwest corner of Lot 51, thence North 35 degrees 11 minutes 35 seconds West 128.29 feet; thence North 54 degrees 51 minutes 55 seconds East 222.63 feet; thence South 30 degrees 00 minutes 55 seconds East 132.74 feet; thence South 08 degrees 33 minutes 06 seconds East 52.76 feet; thence South 82 degrees 28 minutes 25 seconds West 110.96 feet; thence South 54 degrees 51 minutes 55 seconds West 88.72 feet to Beginning. Also all of Lots 51, 52, 58 and 59 of said Subdivision.

#### PARCEL 2:

Part of Lots 53, 56 and 57 of ASSESSOR'S PLAT NO. 21, according to the plat thereof recorded in Liber 54 of Plats, Page 19, Oakland County Records, described as: Beginning at a point distant 128.29 feet from the Southwest corner of Lot 51; thence North 35 degrees 11 minutes 35 seconds West 25 feet; thence North 54 degrees 51 minutes 55 seconds East 224.90 feet; thence South 30 degrees 00 minutes 55 seconds East 25.10 feet; thence South 54 degrees 51 minutes 55 seconds West 222.63 feet.

Tax Id No. 19-25-453-011

#### BASIS OF BEARING NOTE

The basis of bearing for this survey was established by the legal description of record

#### TITLE NOTES

Subject to:

10. Right of Way granted to The Detroit Edison Company recorded February 22, 1973 in Liber 6249, Page 128, as to Parcel 2. [A building has been constructed over said easements after this document was created. The approximate location of said easements are plotted hereon. The client needs to verify with The Detroit Edison Company to determine if these easements still exist.]

All exceptions shown or noted on this survey were obtained from Title Commitment No. 58844352, with an effective date of 02-10-2014, issued by Title Source, Inc.

#### SITE DATA

Gross Land Area: 36,542 Square Feet or 0.84 Acres.

Zoned: B4 (Business-Residential)

Building Setbacks:

Front: 0'

Sides: 0' for commercial, office or parking stories.

0' for residential stories with walls facing side lot lines which do not contain windows or front on a street

10' when any wall in residential stories which contain windows and when side lot lines abut a street.

Rear: 10 feet when the rear open space abuts a P, B1, B2, B2B, B2C, B3, B4, O1, or O2 Zoning District.

20 feet when adjacent to a residential zoning district

Max. Building Height permitted: 5 stories/60'

Total Parking: No onsite parking.

The above setback & height requirements were obtained from the City of Birmingham Zoning Ordinance.

A surveyor cannot make a certification on the basis of an interpretation or opinion of another party. A zoning endorsement letter should be obtained from City of Birmingham to insure conformity as well as make a final determination of the required building setback requirements.

#### FLOOD HAZARD NOTE

The Property described on this survey does not lie within a Special Flood Hazard Area as defined by the Federal Emergency Management Agency, the property lies within Zone X of the Flood Insurance Rate Map identified as Map No. 26125C0537F bearing an effective date of 09-29-2006.

#### CEMETERY NOTE

There was no observable evidence of cemeteries or burial grounds within the subject property.

#### UTILITY NOTE

All utilities are underground unless otherwise noted.

The utilities shown on this survey were determined by field observation. All locations are approximate. The location of any other underground services which may exist can only be depicted if a Utility Plan is furnished to the surveyor.

#### SURVEY NOTES

There was no observable evidence of current earth moving work, building construction or building additions.

There are no known proposed changes in street right-of-way lines available from the controlling jurisdiction.

There was no observable evidence of recent street or sidewalk construction or repairs.

There was no observable evidence of site use as a solid waste dump, sump or sanitary landfill.

There was no observable evidence of wetlands within the subject property as of the date of completion of the field work.

#### SURVEYOR'S CERTIFICATION

To:

Associated Bank, National Association, its successors and/or assigns

The Palladium of Birmingham, LLC

Title Source, Inc.

First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(b), 7(a), 7(b), 7(c), 8, 9, 10(a), 11(a), 13, 16, 17, 18, 19, 20(a) and 21 of Table A thereof.

The field work was completed on 01-15-2014.

Kevin Navaroli, P.S.

No. 53503

Dated: 01-31-2014

Revised: 04-10-2014



#### DRAWN BY:

D.MCCONKEY

#### APPROVED BY:

K.N./R.FRAUS

#### EMAIL:

rfraus@nowakfraus.com

#### DATE ISSUED:

01-31-2014

#### SCALE:

1" = 20'

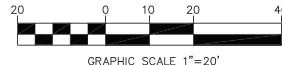
NFE JOB NO.

H888-01

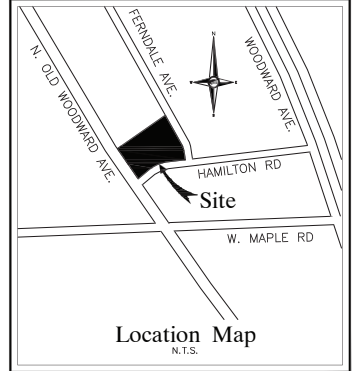
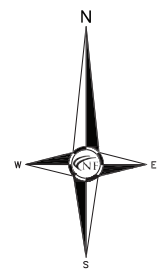
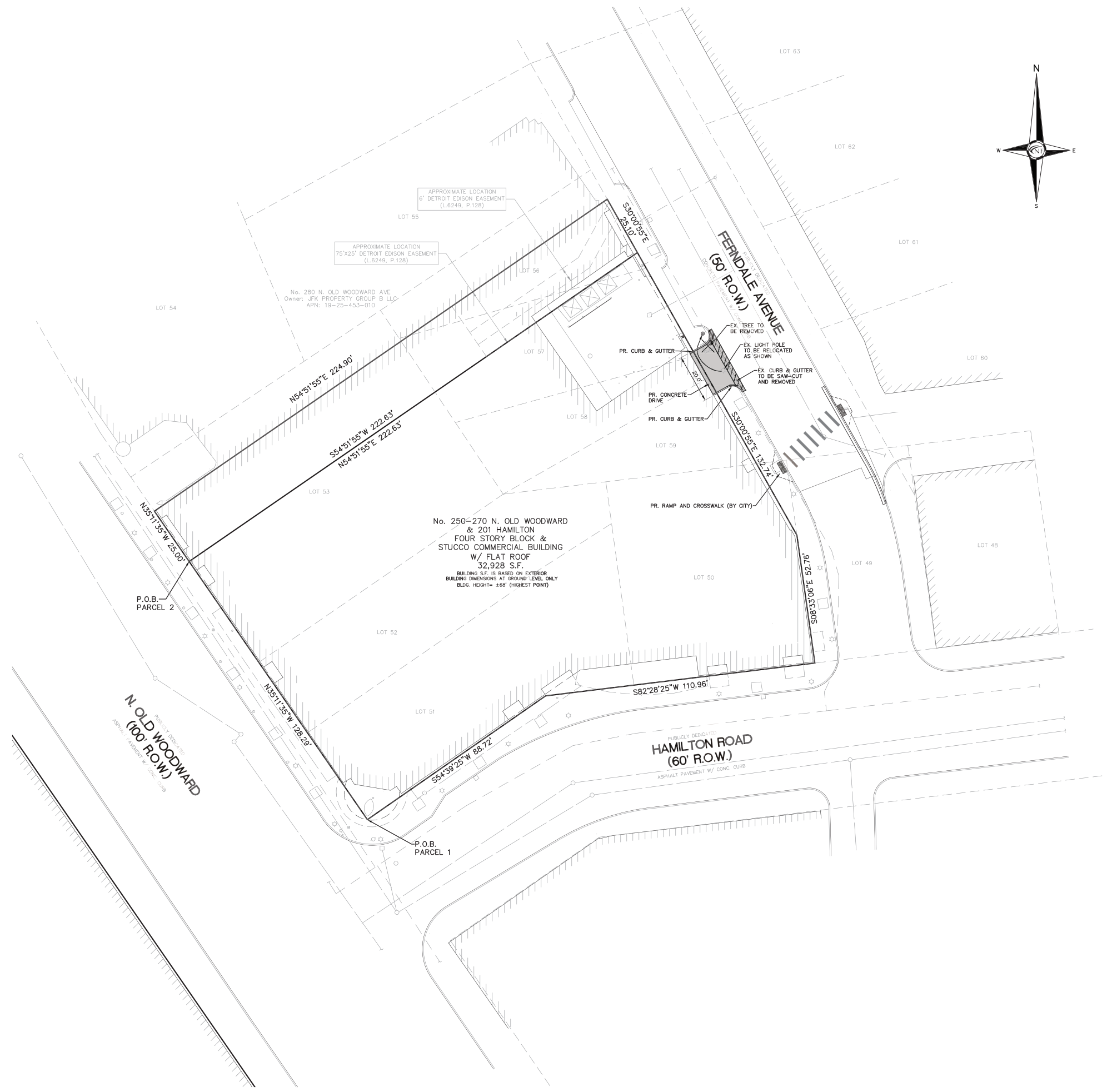
#### SHEET NO.

C1

- LEGEND**
- ASPH = Asphalt
  - C = Cable
  - CATV = Cable TV/Box/Riser
  - CB = Catch Basin
  - CO = Clean Out
  - CONC = Concrete
  - E = Electric
  - EM = Electric Meter
  - EC = Electric Conduit/Riser
  - F.I. = Found Iron
  - G = Gas
  - GL = Ground Light
  - GP = Guard Post
  - GV = Gate Valve
  - HYD = Hydrant
  - LP = Light Pole
  - L/S = Landscape
  - MH = Manhole
  - MON. = Monument
  - MW = Monitor Well
  - OH LINES = Overhead Lines
  - P = Phone/Box/Riser
  - PH = Physically Handicapped
  - PIV = Post Indicator Valve
  - P.L. = Property Line
  - PM = Parking Meter
  - ROW = Right of Way
  - SAN = Sanitary Sewer
  - SB = Stop Box (Water)
  - S.I. = Set Iron
  - SO = Shutoff (Water)
  - STM = Storm Sewer
  - TRANS = Transformer
  - UP = Utility Pole
  - WM = Water Main
  - (R) = Record Measurement
  - (M) = Surveyed Measurement
  - (C) = Calculated



GRAPHIC SCALE 1"=20'





**ENGINEERS**  
CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257

SEAL



PROJECT  
Palladium  
250-270 N. Old Woodward


CLIENT  
Tower Construction  
2550 Telegraph Road,  
Suite 111A  
Bloomfield Hills, MI 48302

Contact:  
Jason Gekiere  
Tel. (248) 287-8200  
Fax (248) 284-8203

PROJECT LOCATION  
Part of the SW 1/4  
of Section 10  
T.3N. , R.10E.  
City of Birmingham,  
Oakland County, Michigan


SHEET  
Site Plan

PAVING LEGEND

 PROPOSED CONCRETE PAVEMENT

LEGEND

MANHOLE	EXISTING SANITARY SEWER
HYDRANT	SAN. CLEAN OUT
MANHOLE	EXISTING WATERMAIN
MANHOLE	EXISTING STORM SEWER
MANHOLE	EX. R. Y. CATCH BASIN
UTILITY POLE	EXISTING BURIED CABLES
GUY POLE	OVERHEAD LINES
GUY WIRE	LIGHT POLE
SIGN	EXISTING GAS MAIN
C.O.	PR. SANITARY SEWER
HYDRANT	PR. WATER MAIN
INLET	PR. STORM SEWER
C.B.	PR. R. Y. CATCH BASIN
MANHOLE	PROPOSED LIGHT POLE
TC 600.00	PR. TOP OF CURB ELEVATION
SU 600.00	PR. GUTTER ELEVATION
TW 600.00	PR. TOP OF WALK ELEVATION
TP 600.00	PR. TOP OF PWMT. ELEVATION
FG 600.00	FINISH GRADE ELEVATION



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REVISIONS

06-09-2014	Final Site Plan Approval

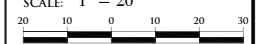
DRAWN BY:  
C. Hazzard

DESIGNED BY:  
P. Williams

APPROVED BY:  
P. Williams

DATE:  
06-06-2014

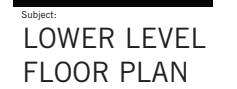
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NFE JOB NO. H888-01

SHEET NO. C2





Project:

PALLADIUM

BIRMINGHAM MICHIGAN

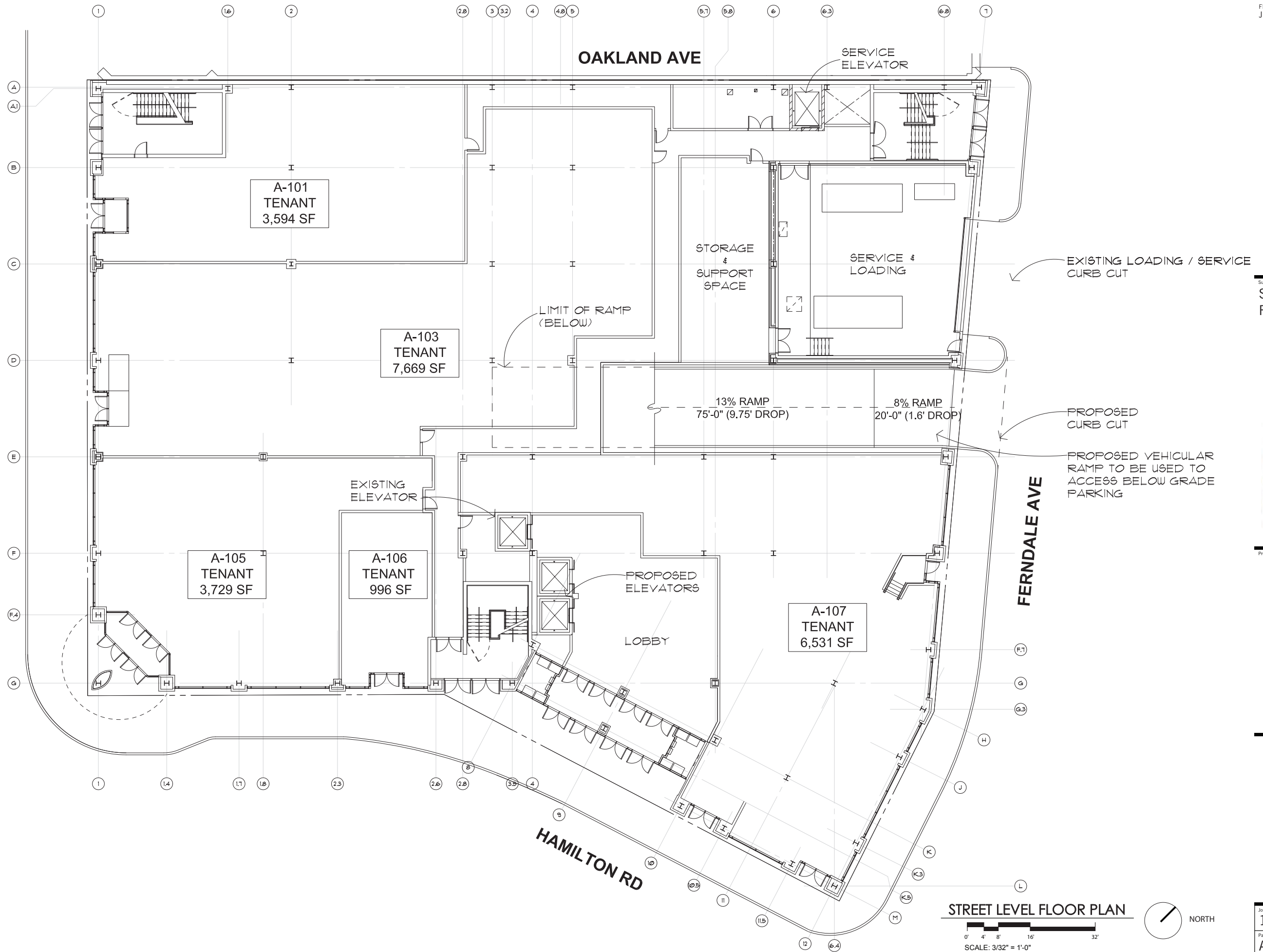
A.F. JONNA

DEVELOPMENT & MANAGEMENT CO.

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39300 West Twelve Mile Road, Suite 180  
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**phone** 248.737.0180 **fax** 248.737.9161  
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Job No: <b>1787</b>	
Package Series <b>A.102</b>	Sheet No.

N. OLD WOODWARD AVE



STREET LEVEL FLOOR PLAN

0' 4' 8' 16' 32'  
SCALE: 3/32" = 1'-0"



Do not scale prints. Use figured dimensions.  
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Issued For:  
FINAL SITE PLAN APPROVAL  
JUNE 09, 2014

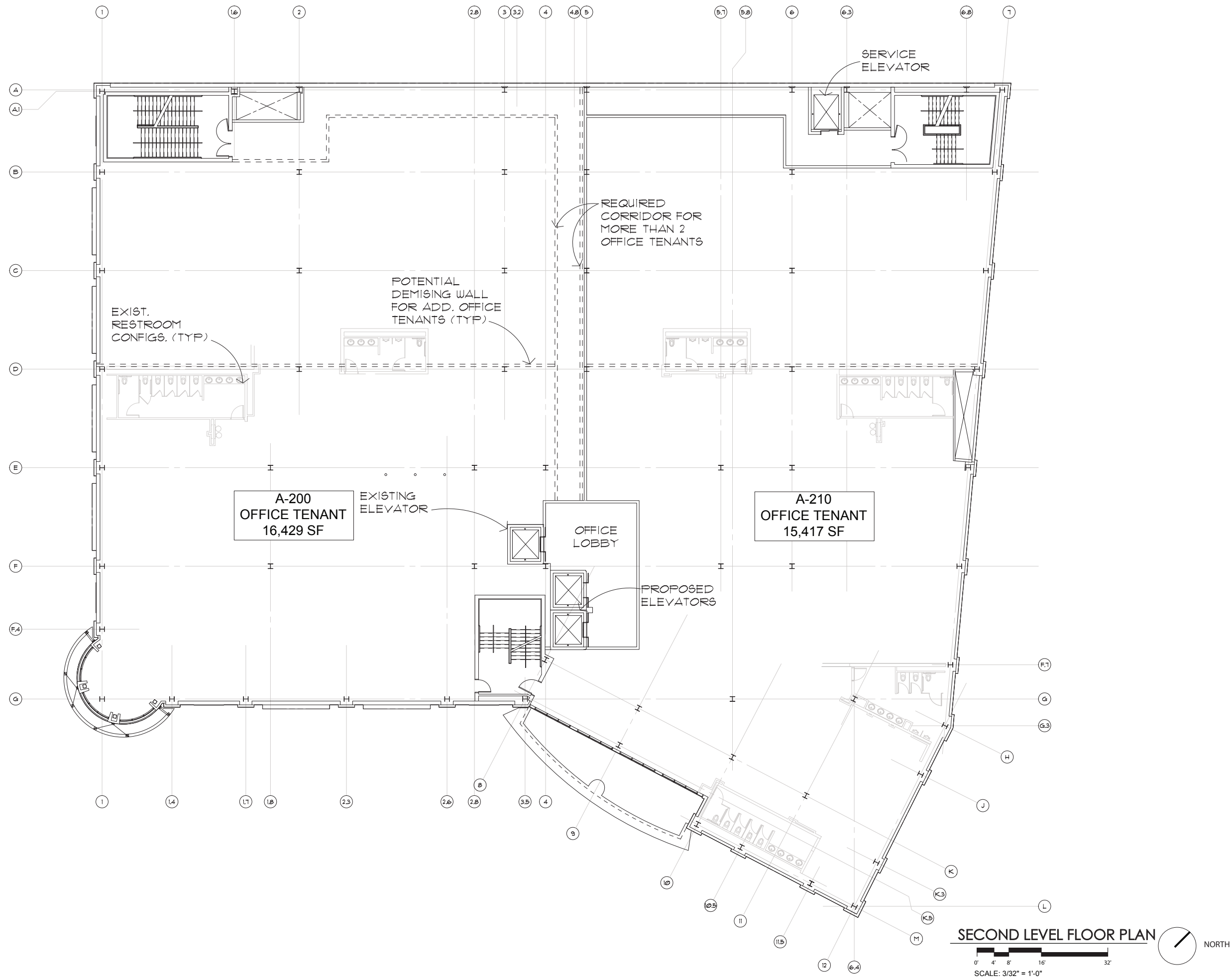
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FLOOR PLAN



Project:  
**PALLADIUM**  
BIRMINGHAM MICHIGAN  
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JUNE 09, 2014

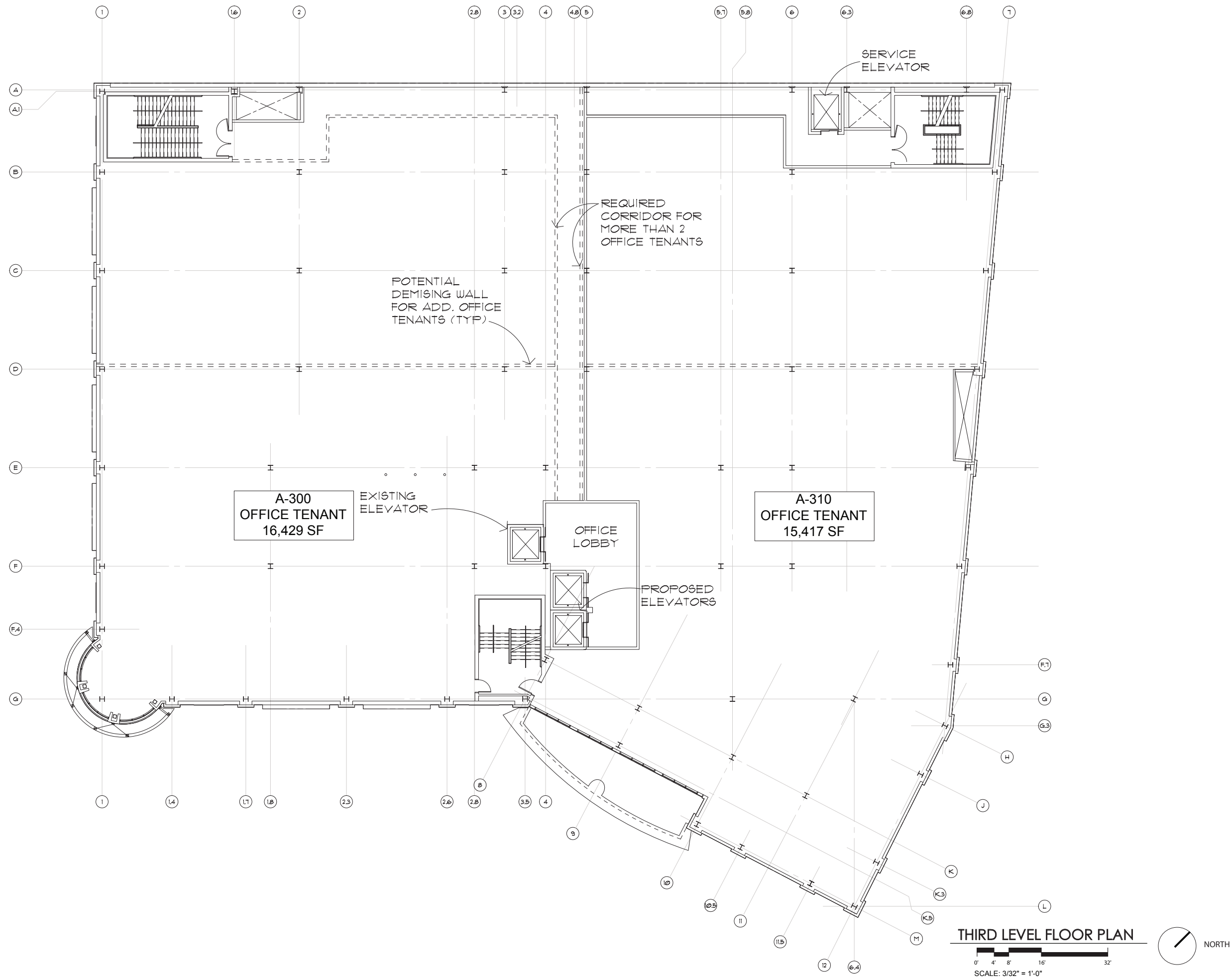
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Project:  
**PALLADIUM**  
BIRMINGHAM MICHIGAN  
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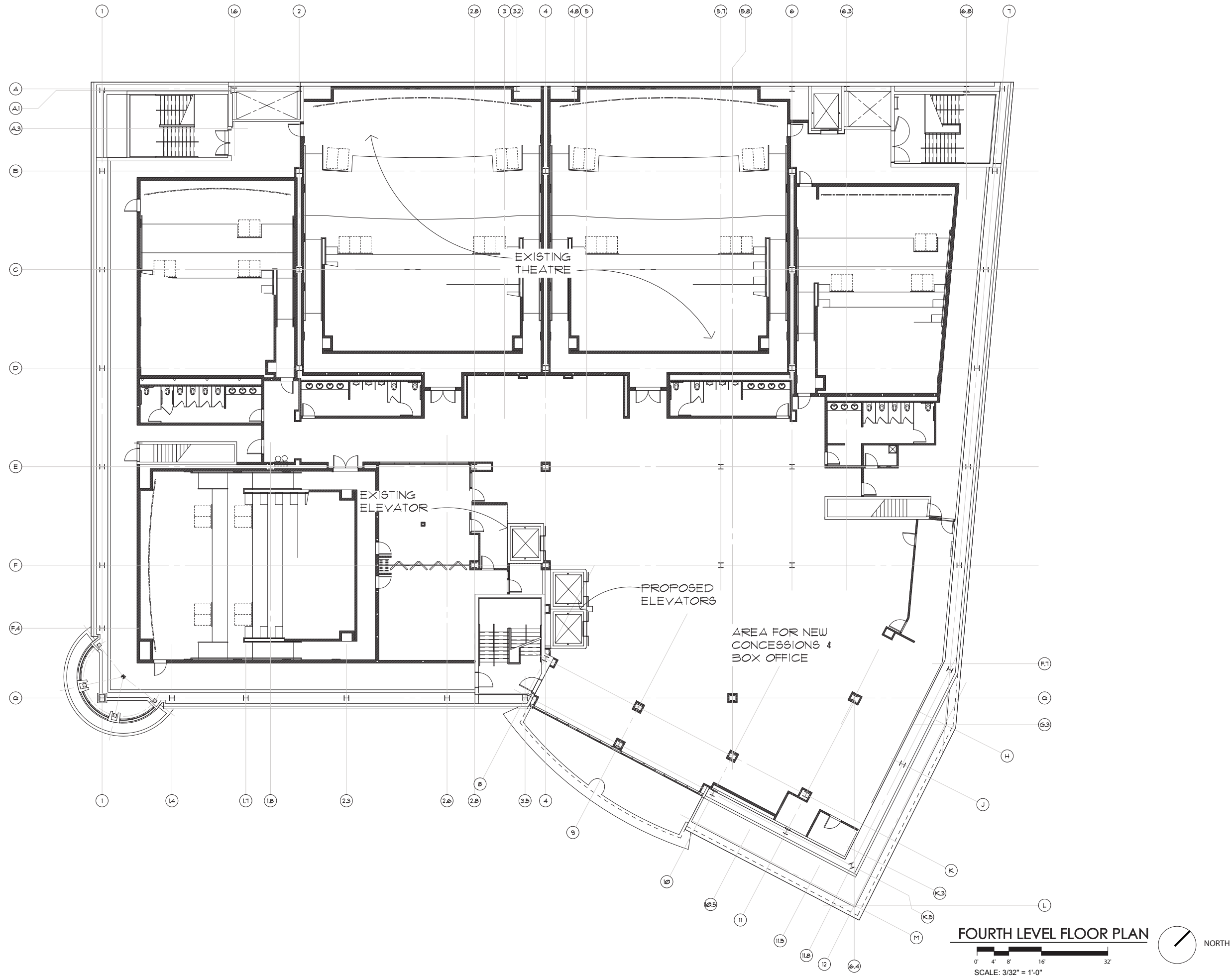


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**THIRD LEVEL  
FLOOR PLAN**



Project:  
**PALLADIUM**  
BIRMINGHAM MICHIGAN  
A.F. JONNA  
DEVELOPMENT & MANAGEMENT CO.

**JPRA ARCHITECTS**  
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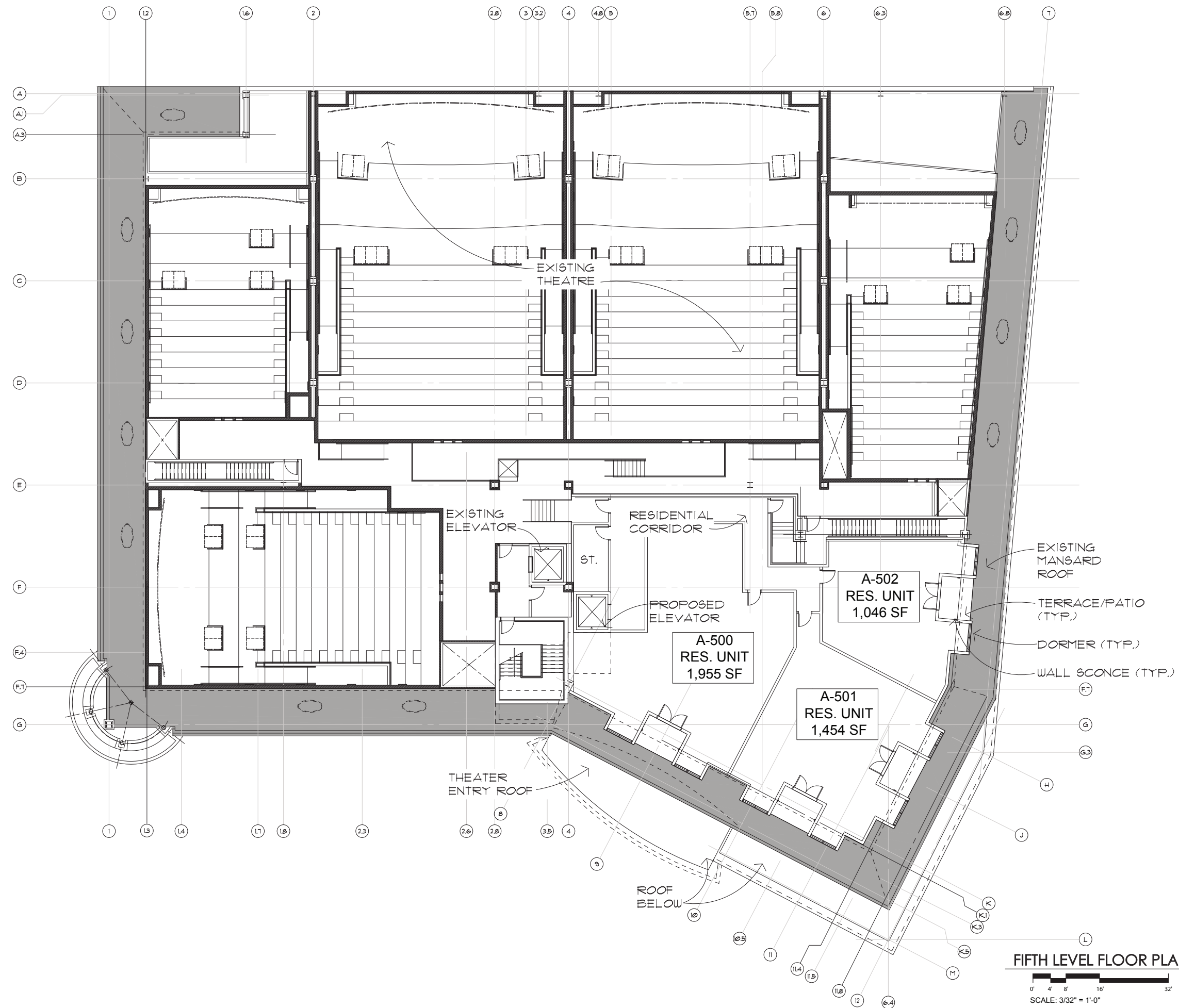
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FLOOR PLAN**



Project:  
**PALLADIUM**  
BIRMINGHAM MICHIGAN  
A.F. JONNA  
DEVELOPMENT & MANAGEMENT Co.

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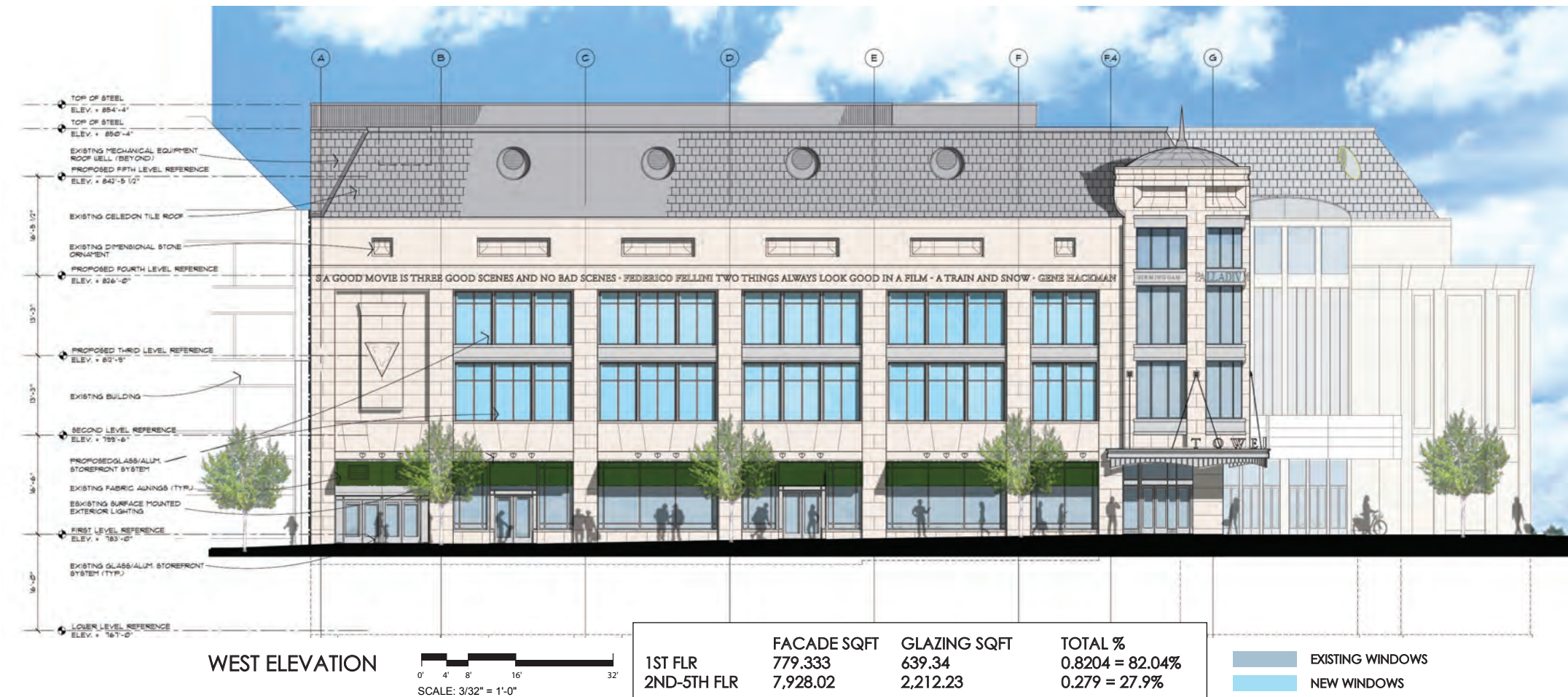
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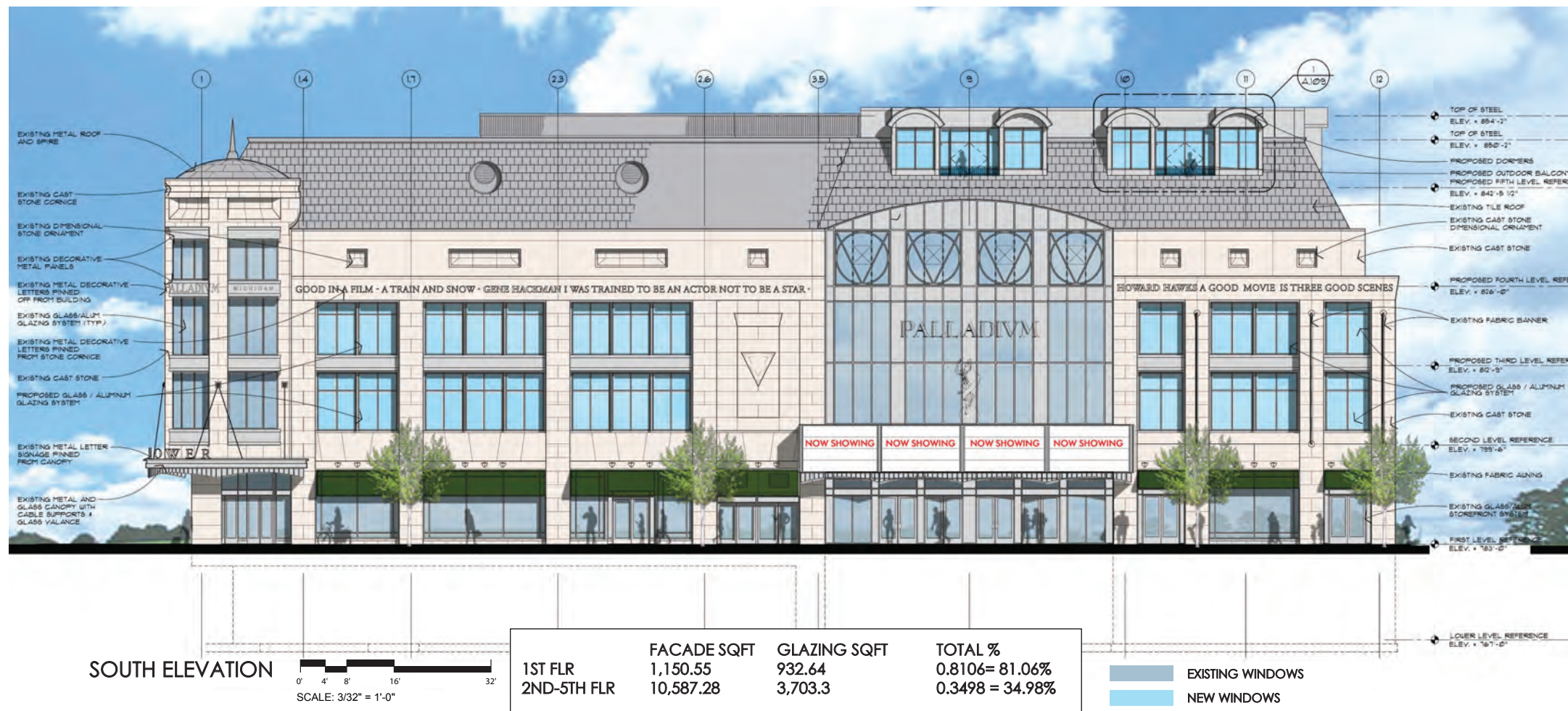
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BIRMINGHAM MICHIGAN  
A.F. JONNA  
DEVELOPMENT & MANAGEMENT Co.

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EXISTING CONDITIONS PHOTOS



Subject:  
ELEVATIONS



Project:  
**PALLADIUM**  
BIRMINGHAM MICHIGAN  
A.F. JONNA  
DEVELOPMENT & MANAGEMENT Co.

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EAST ELEVATION

SCALE: 3/32" = 1'-0"

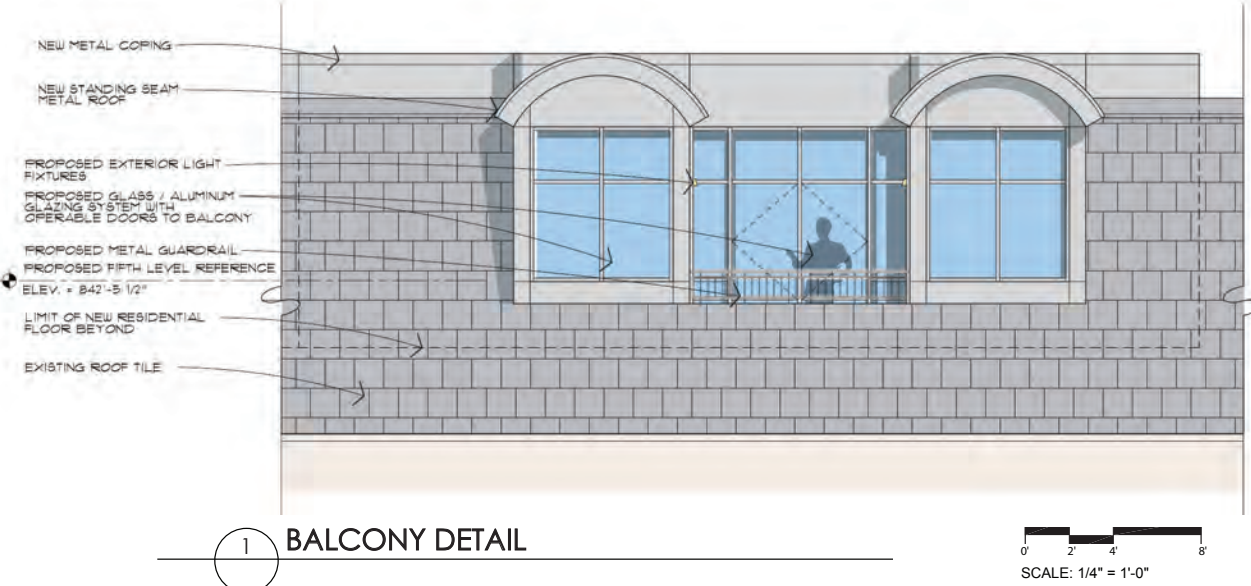
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Article 03**

A-3. D4 Zone (four or five stories)

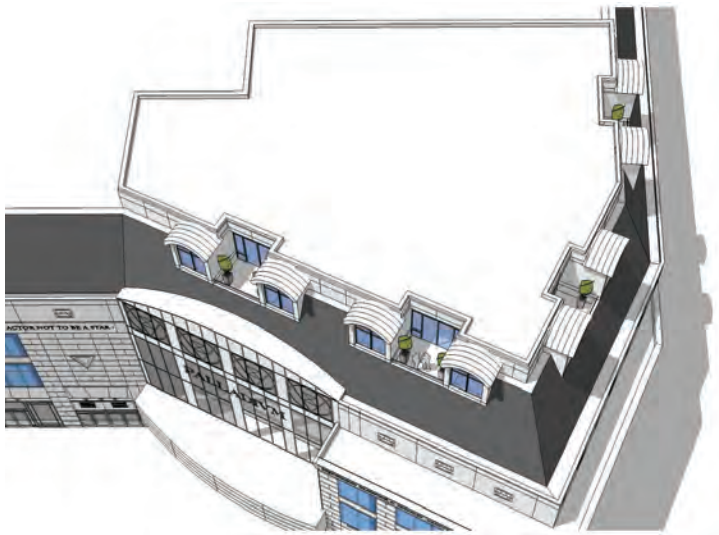
E-1. At least 90% of the exterior finish material on all facades that face a street shall be limited to the following: glass, brick, cut stone, cast stone, coarsely textured stucco, or wood. Dryvit or EIFS is prohibited.

E-4. Storefronts shall be directly accessible from public sidewalks. Each storefront must have transparent areas, equal to 70% of its portion of the facade, between one and eight feet from the ground. The wood or metal armature (structural elements to support canopies or signage) of such storefronts shall be painted, bronze, or powder-coated.

E-6. The glazed area of a facade above the first floor shall not exceed 35% of the total area, with each facade being calculated independently.



CONCEPT PERSPECTIVES



EXISTING CONDITIONS PHOTOS



Subject:  
**ELEVATIONS**



Project:  
**PALLADIUM**  
BIRMINGHAM MICHIGAN  
A.F. JONNA  
DEVELOPMENT & MANAGEMENT Co.

**JPRA ARCHITECTS**  
39300 West Twelve Mile Road, Suite 180  
Farmington Hills MI 48331  
phone 248.737.0180 fax 248.737.9161  
www.jppra.com



# Concession Favorites

Small Popcorn	\$6	Milk Duds	\$4
Medium Popcorn	\$7	Buncha Crunch	\$4
Large Popcorn	\$8	Snickers Bites	\$4
upgrade any size popcorn to caramel corn, cheddar corn or Poppin’ Olive - \$1			
Small Drink	\$5	Butterfinger Bites	\$4
Medium Drink	\$5.50	Sour Patch Kids	\$4.50
Large Drink	\$6	Skittles	\$4.50
Cotton Candy	\$4	M&M’s Plain	\$4.50
Raisinets	\$4	M&M’s Peanut	\$4.50
Goobers	\$4	Reese’s Pieces	\$4.50
Kit-Kat	\$4	Mike & Ike	\$4.50
Junior Mints	\$4	Welch’s	
		Fruit Snacks	\$4.50
		Swedish Fish	\$4.50



# Starters

Edamame	\$6	Chicken, Bacon & Jalapeno Quesadilla	\$10
fresh, steamed edamame topped with salt. served with soy sauce			
Chicken Wings	\$10		
1 lb. of chicken wings tossed in your choice of buffalo, bbq or thai-chili sauce. served with ranch and celery			
Mozzarella Sticks	\$10	Nachos	\$12
crispy, beer-battered cheese sticks. served with marinara sauce			
Bosco Sticks	\$6	Sharable Dips	
soft breadsticks stuffed with mozzarella cheese. served with marinara sauce			
Pretzel Bites	\$8.75	spinach & artichoke	\$5
		warm queso	\$3.50
		guacamole	\$5
		fire-roasted salsa	\$3.50

# Baskets

served with french fries (substitute for onion rings or salad - \$1)

Popcorn Shrimp	\$12	Chicken Tenders	\$10
crispy, fried shrimp with cocktail sauce and lemon. served with coleslaw and fries			
Fish & Chips	\$12		
crispy, fried cod with tartar sauce and lemon. served with coleslaw and fries			

# Sliders

served with french fries (substitute for onion rings or salad - \$1)

Cheeseburger Sliders (3)	\$10	Reuben Sliders (3)	\$10
angus beef, cheddar cheese, butter-glazed onions and pickle			
Cowboy Burger Sliders (3)	\$12	Chicken & Waffle Sliders (2)	\$12
angus beef, cheddar cheese, bbq sauce, onion ring, pickle and mayo			
BBQ Sliders (3)	\$10	Veggie Burger Sliders (3)	\$10
roasted pulled pork with bbq sauce and coleslaw			
Turkey Burger Sliders (3)	\$10		
ground turkey patty, swiss cheese, guacamole and honey mustard			

# Wraps

served with french fries (substitute for onion rings or salad - \$1)

Shrimp Caesar Wrap	\$12	Buffalo Chicken Wrap	\$10
fried shrimp, romaine lettuce, caesar dressing, shaved parmesan, flour tortilla			
Chicken Caesar Wrap	\$10	BLT-G Wrap	\$10
grilled chicken, romaine lettuce, caesar dressing, shaved parmesan, flour tortilla			

# Salads

add popcorn shrimp - \$4  
add chicken - \$4

Mixed Greens	\$7	Caesar Salad	\$7
mixed greens, carrots, tomato, cucumber, red onion, crispy pita chips and choice of dressing: ranch, blue cheese, honey mustard or italian			
romaine lettuce, shaved parmesan, crispy pita chips and caesar dressing			

# Pizza

10” personal pizza

Cheese	\$10.50	Buffalo Chicken	\$12.75
classic red sauce and mozzarella cheese			
Pepperoni	\$10.50	Big Kahuna	\$12.75
classic red sauce, pepperoni and mozzarella cheese			
red sauce, ham, bacon, red onion, pineapple and mozzarella cheese			
BBQ Chicken	\$12.75		
bbq sauce, grilled chicken, bacon, red onion, jalapeno and mozzarella cheese			

# Sides

French Fries	\$3	Mixed Greens	\$4
Onion Rings	\$4	Caesar Salad	\$4
Coleslaw	\$2		



Ask about menu items that are cooked to order. Consuming undercooked meats or eggs could increase your risk of foodborne illness.

# Cocktails

<b>Long Island Iced Tea</b>	<b>\$10</b>	<b>Patriot Punch</b>	<b>\$11</b>
rum, gin, vodka, tequila, triple sec, sour mix and coca-cola		tito's, pama liquer, lemonade and sprite	
<b>Devil's Delight</b>	<b>\$10</b>	<b>Sex on the Beach</b>	<b>\$10</b>
vodka, coconut rum, peach schnapps, pineapple juice, cranberry juice and grenadine		vodka, midori, peach schnapps, cranberry juice and pineapple juice	
<b>Blue Motorcycle</b>	<b>\$11</b>	<b>Tequila Sunrise</b>	<b>\$8</b>
rum, gin, vodka, tequila, blue curacao, sour mix and sprite		tequila, orange juice and grenadine	
<b>Big Bahama Mama</b>	<b>\$12.25</b>	<b>Strawberry Daquiri</b>	
rum, coconut rum, bacardi gold, bacardi limon, pineapple juice, orange juice and grenadine		frozen blend of rum and our signature strawberry mix	
		16 oz. <b>\$9</b>   24 oz. <b>\$12</b>	
<b>Top Shelf Long Island</b>	<b>\$15.75</b>	<b>Blue Margarita</b>	
bacardi, tito's, tanqueray, cointreau, jose cuervo, sour mix and coke		frozen blend of tequila, triple sec and our signature margarita mix with blue curacao	
		16 oz. <b>\$9</b>   24 oz. <b>\$12</b>	

# Beers

	24 oz.	32 oz.
<b>Bell's Two-Hearted Ale</b>	<b>\$10.50</b>	<b>\$12.50</b>
<b>Bell's Best Brown Ale</b>	<b>\$10.50</b>	<b>\$12.50</b>
<b>Founder's All Day IPA</b>	<b>\$10.50</b>	<b>\$12.50</b>
<b>Sam Adams Seasonal</b>	<b>\$10.50</b>	<b>\$12.50</b>
<b>Blue Moon</b>	<b>\$10.50</b>	<b>\$12.50</b>
<b>Stella Artois</b>	<b>\$10.50</b>	<b>\$12.50</b>
<b>Angry Orchard</b>	<b>\$8.50</b>	<b>\$10.50</b>
<b>Miller Lite</b>	<b>\$7.50</b>	<b>\$9.50</b>

# Wines

	8 oz.	14 oz.
<b>Liberty Creek Chardonnay</b>	<b>\$8.00</b>	<b>\$12.00</b>
<b>Liberty Creek Pinot Grigio</b>	<b>\$8.00</b>	<b>\$12.00</b>
<b>Liberty Creek White Zinfandel</b>	<b>\$8.00</b>	<b>\$12.00</b>
<b>Liberty Creek Cabernet</b>	<b>\$8.00</b>	<b>\$12.00</b>
<b>Liberty Creek Merlot</b>	<b>\$8.00</b>	<b>\$12.00</b>
<b>Cupcake Sauvignon Blanc</b>	<b>\$11.00</b>	<b>\$16.00</b>
<b>Grand Traverse Riesling</b>	<b>\$13.00</b>	<b>\$18.00</b>

Welcome to Dine & View,  
Emagine's premier dine-in  
theatre experience.

### ORDERING

Emagine Dine & View is a full service restaurant experience directly from your theatre seat. We recommend that guests arrive at least 30 mins before showtime to order food.

### REQUESTING SERVICE

Use your server indicator light to request service. Your server will arrive shortly after to allow you to place an order, provide refills, etc. Please be aware that Dine & View staff will be serving other guests throughout the film.

### PAYMENT

A server will deliver your bill along with your order. A 15% service charge will be added to your order. Prompt payment will complete your transaction.

Thank you for joining us.



A full service restaurant experience  
directly from your movie theatre seat.







Jana Ecker &lt;jecker@bhamgov.org&gt;

---

**RE: DRAFT Emagine Palladium SLUP Amendment**

1 message

---

**J. Patrick Howe** <jphowe@jphowe.com>

Fri, Apr 13, 2018 at 3:01 PM

To: Jana Ecker &lt;jecker@bhamgov.org&gt;

Cc: Nicholas Dupuis &lt;ndupuis@bhamgov.org&gt;, Anthony LaVerde &lt;ajl@303mgt.com&gt;

Hi Jana,

Attached is a PDF copy of the application we filed with the City. I have also attached separate PDFs of the floor plan, site plan and elevation drawing that are included in the application.

Here is a link to the menu:

<http://s3.amazonaws.com/assets.emagine-entertainment.com/app/uploads/2017/08/DineNView-FINAL-legal.pdf>

Here is a video describing the screening room that is being proposed:

<http://www.emagine-entertainment.com/the-screening-room/>

Photos of the proposed screening room are also attached.

Let me know if you need anything else.

Thanks,

Pat

**J. Patrick Howe****Attorney & Counselor at Law**

280 N. Old Woodward, Suite 12

Birmingham, Michigan 48009

O. 248.385.3112

C. 248.835.2068

F. 888.450.1682

[jphowe@jphowe.com](mailto:jphowe@jphowe.com)

[www.jphowe.com](http://www.jphowe.com)

**NOTICE:** Information contained in this transmission to the named addressee is proprietary information and is subject to attorney-client privilege and work product confidentiality. If the recipient of this transmission is not the named addressee, the recipient should immediately notify the sender at (248) 385-3112, and destroy the information transmitted without making any copy or distribution thereof.

**NOTICE:** To ensure compliance with requirements imposed by the IRS, we inform you that any U.S. tax advice contained in this communication (including any attachments) is not intended or written to be used, and cannot be used, for the purpose of (a) avoiding penalties under the Internal Revenue Code; or (b) promoting, marketing or recommending to another party any transaction or tax-related matter addressed herein.

**From:** Jana Ecker <[jecker@bhamgov.org](mailto:jecker@bhamgov.org)>  
**Sent:** Friday, April 13, 2018 10:50 AM  
**To:** J. Patrick Howe <[jphowe@jphowe.com](mailto:jphowe@jphowe.com)>  
**Cc:** Nicholas Dupuis <[ndupuis@bhamgov.org](mailto:ndupuis@bhamgov.org)>  
**Subject:** Re: DRAFT Emagine Palladium SLUP Amendment

Good morning,

Can you please send me digital copies of the final version of the application and plans? If there were no changes since the attached email, just let me know and I will use those instead.

Thanks,

Jana

On Thu, Mar 1, 2018 at 10:06 PM, J. Patrick Howe <[jphowe@jphowe.com](mailto:jphowe@jphowe.com)> wrote:

Hi Jana,

I hope all is well. As discussed, I am preparing to file an amendment to the Emagine Palladium's SLUP to allow for the restaurant dining area to be renovated to create a private screening room. I have prepared the SLUP application with very basic information, and have also attached the existing site plan, floor plan showing proposed renovations, and food menu for the theater. I want to review this draft application packet with you before I send it out for signature and submit it. Given all of the confusion last year with the name change, I want to make sure that we provide everything that you need to process this on the front end. I will certainly submit a cover letter with the application outlining the nature of the request, and providing more details with respect to the private screening room.

Please let me know if any additional information needs to be added to the application, or if you think we are ok to submit this draft.

Thanks for your help. I look forward to hearing from you.

Pat





**J. Patrick Howe**

**Attorney & Counselor at Law**

280 N. Old Woodward, Suite 12

Birmingham, Michigan 48009

O. 248.385.3112

C. 248.835.2068

F. 888.450.1682

[jphowe@jphowe.com](mailto:jphowe@jphowe.com)

[www.jphowe.com](http://www.jphowe.com)

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--

**Jana L. Ecker**

**Planning Director**

**City of Birmingham**

**248-530-1841**

----- Forwarded message -----

From: "J. Patrick Howe" <[jphowe@jphowe.com](mailto:jphowe@jphowe.com)>

To: "J. Patrick Howe" <[jphowe@jphowe.com](mailto:jphowe@jphowe.com)>

Cc:

Bcc:

Date: Fri, 13 Apr 2018 18:58:34 +0000

Subject: Emagine Screening Room Photos



**J. Patrick Howe**

**Attorney & Counselor at Law**

4/16/2018

City of Birmingham MI Mail - RE: DRAFT Emagine Palladium SLUP Amendment

280 N. Old Woodward, Suite 12

Birmingham, Michigan 48009

O. 248.385.3112

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**From:** Anthony LaVerde <[ajl@303mgt.com](mailto:ajl@303mgt.com)>

**Sent:** Monday, March 05, 2018 12:17 PM

**To:** J. Patrick Howe <[jphowe@jphowe.com](mailto:jphowe@jphowe.com)>

**Subject:** RE: SLUP Amendment details

Pat –

Below are photos of the proposed screening room.












---

**5 attachments**

-  **Emagine Palladium - SLUP Amendment App (3.29.18).pdf**  
3515K
-  **Palladium SitePlanApproval 6.9.14\_(2) optimized.pdf**  
7718K
-  **Palladium Screening Rooms\_ARCH\_PERMIT SET\_02-05-18.pdf**  
5301K
-  **H888-01\_SITE.PDF**  
186K
-  **noname.eml**  
3001K





April 20, 2018

VIA E-MAIL ONLY

Ms. Jana L. Ecker  
Planning Director  
City of Birmingham  
151 Martin Street  
P.O. Box 300  
Birmingham, MI 48012

Dear Ms. Ecker

RE: April 24, 2018 Planning Commission Meeting – SLUP Amendment Consideration

Further to our conversation this morning, I regret to tell you that I, along with our entire executive team, will be out of town next week attending our annual industry conference, Cinemacon. As such, Messrs. Jordan Jonna (owner of the Palladium building) and J. Patrick Howe (our attorney) will represent us before the Planning Commission meeting. They have the full and unfettered authority to do so.

Please be sure to inform the commissioners that our physical absence is no way intended to demonstrate indifference or any disrespect for the process. We simply need to keep the initiative at hand moving forward with all due haste, even in our absence.

Thank you.

Sincerely,

Paul A. Glantz  
President – 303 Management, Inc.  
Manager for CH Birmingham LLC d/b/a Emagine Palladium

Cc: Mr. Jordan Jonna  
Mr. J. Patrick Howe  
Mr. Jon Goldstein  
Mr. Anthony LaVerde



## MEMORANDUM

Planning Division

**DATE:** April 19, 2018

**TO:** Planning Board

**FROM:** Nicholas Dupuis, Planning Intern

**APPROVED:** Jana Ecker, Planning Director

**SUBJECT:** 1268 Bennaville – Final Site Plan and Design Review

The subject site, 1268 Bennaville is a parking lot located off of an alley behind Abbots Coins and Meadowbrook Urgent Care on the east side of Woodward in between Bennaville Ave and Humphrey Ave. The parking lot abuts single-family residential zoning districts to the north and east, and commercial property to the south and west. The 6,280 sq. ft. lot currently contains 11 parking spaces and a small greenspace with landscaping. The applicant is proposing to rework the existing lot to include 17 parking spaces, new sod where necessary, new Arborvitae, and a new fence along the east property line which abuts a single family home.

### 1.0 Land Use and Zoning

- 1.1 Existing Land Use – The site is currently used for parking.
- 1.2 Zoning – The site is currently zoned P, Parking.
- 1.3 Summary of Adjacent Land Use and Zoning -

	North	South	East	West
<b>Existing Land Use</b>	Single-Family Residential	Commercial	Single-Family Residential	Commercial
<b>Existing Zoning District</b>	R3, Single-Family Residential	B2-B, General Business District	R3, Single-Family Residential	B2-B, General Business District
<b>Downtown Overlay Zoning District</b>	N/A	N/A	N/A	N/A



## 2.0 Setback and Height Requirements

Please see the attached zoning compliance summary sheet for details on setback and height requirements.

## 3.0 Screening and Landscaping

- 3.1 Dumpster Screening – The plans submitted for the parking lot do not indicate the use of a dumpster within the parking lot. However, there exists a dumpster on the northwest corner of the lot which will require screening if it remains. Article 4, Section 4.54 (B)(8) requires trash receptacles to be fully screened from public view with a masonry enclosure and wood gates. **The applicant must submit plans showing the location and required masonry screen wall details, obtain a variance from the Board of Zoning Appeals, or remove the dumpster from the plans and site.**
- 3.2 Parking Lot Screening – Article 4, Section 4.54 of the Zoning Ordinance requires parking in the P zoning district to provide screening along the side or rear line of any parking facility which immediately adjoins the side line of property zoned to a residential district under the Zoning Ordinance, provided that the screen wall along the side of a parking facility located in the parking district shall not extend further than the front setback area of the abutting residential district. The Zoning Ordinance also requires the screen wall to be constructed of masonry and measure 6 ft. in height. The applicant is proposing to extend and match the existing 6 ft. wood fence to the southern property line to screen the additional parking, which does not meet the ordinance. **The applicant must submit plans detailing a 6 ft. capped masonry screen wall along the property lines that abut single-family residential zoned areas, or obtain a variance from the Board of Zoning Appeals.**

Furthermore, Article 4, Section 4.54 (C)(3)(b) of the Zoning Ordinance states that a screen wall is required for parking facilities that abut a street, alley, passage or mixed passage, and when the property being utilized for the parking facility is zoned parking, and abuts a residential district, the screen wall shall be placed along the setback line applicable to the abutting residential district. The applicants proposed screen wall extends further than the setback line of the adjacent home, and does not extend across to screen the parking lot from the street. **The applicant must submit plans showing a 6 ft. capped masonry screen wall screen wall that does not extend past the setback of the adjacent residential home, as well as a 3 ft. capped masonry screen wall extending across the subject property along the adjacent homes setback line to screen the view of the parking lot from the street.**

- 3.3 Mechanical Equipment Screening – No mechanical equipment is proposed.

- 3.4 Landscaping – No landscaping is required for the parking lot, as it is less than 7,500 sq. ft. (6,280). However, Article 4, Section 4.20 (D)(2) requires all undeveloped and unpaved portions of a site to be planted with grass, ground cover, shrubs or other suitable live plant material, which shall extend to any abutting street pavement edge. The applicant is proposing to maintain, or replace if necessary, the remaining grassy unpaved area and plant 8 new Arborvitaes after removing the existing 6 to make way for new spaces. The applicant meets the landscaping standards required for the P zoning district.
- 3.5 Streetscape – The proposed parking lot has only 12.74 ft. of frontage on Bennaville, thus requiring no street trees.

#### **4.0 Parking, Loading and Circulation**

- 4.1 Parking – There are no parking requirements for the subject site, as it is zoned P, parking.
- 4.2 Loading – No loading spaces are required.
- 4.3 Vehicular Circulation and Access – Vehicular access to the public parking lot will remain unchanged. Vehicles are able to access the lot via an 18 ft. wide public alley.
- 4.4 Pedestrian Circulation and Access – Pedestrian access to the site will remain unchanged. Pedestrians enter and exit the site via the public alley to the west of the parking lot.

#### **5.0 Lighting**

No lighting will be added to the property.

#### **6.0 Departmental Reports**

- 6.1 Engineering Division – The Engineering Division has no concerns at this time. However, they note that complete plans with grades and all engineering details will be required for construction approval.
- 6.2 Department of Public Services – DPS has no concerns at this time.
- 6.3 Fire Department – The Fire Department has no concerns at this time.
- 6.4 Police Department – The Police Department has no concerns at this time.
- 6.5 Building Division – No comments have been received from the Building Division at this time, but will be provided by the Planning Board meeting on April 25, 2018.



## **7.0 Design Review**

A design review is not required for the proposed refresh of the parking lot, as there are no structures, signs, lighting or other equipment being proposed.

## **8.0 Approval Criteria**

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- (1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- (2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- (3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property nor diminish the value thereof.
- (4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- (5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- (6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

## **9.0 Recommendation**

Based on a review of the site plan submitted, the Planning Division finds that the proposed Final Site Plan meets the requirements of Article 7, section 7.27 of the Zoning Ordinance and recommends that the Planning Board recommend APPROVAL of the Final Site Plan and Design Review for 1268 Bennaville with the following conditions:

1. The applicant submit plans showing the dumpster location and required masonry screen wall details, obtain a variance from the Board of Zoning Appeals, or remove the dumpster from the site;

2. The applicant submit plans detailing a 6 ft. capped masonry screen wall along the property lines that abut single-family residential zoned areas, or obtain a variance from the Board of Zoning Appeals; and
3. The applicant submit plans showing a 6 ft. capped masonry screen wall screen wall that does not extend past the setback of the adjacent residential home, as well as a 3 ft. capped masonry screen wall extending across the subject property along the adjacent homes setback line to screen the parking lot from the street.

## **10.0 Sample Motion Language**

Motion to recommend APPROVAL of the Final Site Plan and Design Review for 1268 Bennaville with the following conditions:

1. The applicant submit plans showing the dumpster location and required masonry screen wall details, obtain a variance from the Board of Zoning Appeals, or remove the dumpster from the site;
2. The applicant submit plans detailing a 6 ft. capped masonry screen wall along the property lines that abut single-family residential zoned areas, or obtain a variance from the Board of Zoning Appeals; and
3. The applicant submit plans showing a 6 ft. capped masonry screen wall screen wall that does not extend past the setback of the adjacent residential home, as well as a 3 ft. capped masonry screen wall extending across the subject property along the adjacent homes setback line to screen the parking lot from the street.

**OR**

Motion to POSTPONE the Final Site Plan and Design Review for 1268 Bennaville pending receipt of the following:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**OR**

Motion to recommend the DENIAL of the Final Site Plan and Design Review for 1268 Bennaville for the following reasons:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



**Zoning Compliance Summary Sheet  
Final Site Plan Review  
1268 Bennaville**

**Existing Site:** Parking lot

Zoning: P, Parking

Land Use: Parking

**Existing Land Use and Zoning of Adjacent Properties:**

	<b>North</b>	<b>South</b>	<b>East</b>	<b>West</b>
<b>Existing Land Use</b>	Single-Family Residential	Commercial	Single Family Residential	Commercial
<b>Existing Zoning District</b>	R-3, Single-Family Residential	B2-B, General Business District	R-3, Single-Family Residential	B2-B, General Business District
<b>Overlay Zoning District</b>	N/A	N/A	N/A	N/A

<b>Land Area:</b>	Existing:	0.14 acres (6,280 ft <sup>2</sup> )
	Proposed:	0.14 acres (6,280 ft <sup>2</sup> )
<b>Dwelling Units:</b>	Existing:	0
	Proposed:	0
<b>Minimum Lot Area/Unit:</b>	Required:	1,280 ft <sup>2</sup> per dwelling unit
	Proposed:	No units proposed
<b>Min. Floor Area /Unit:</b>	Required:	500 ft <sup>2</sup> (efficiency or one bedroom)
		700 ft <sup>2</sup> (two bedroom)
		900 ft <sup>2</sup> (three or more bedrooms)
	Proposed:	No units proposed
<b>Max. Total Floor Area:</b>	Required:	N/A

	Proposed:	N/A
<b>Min. Open Space:</b>	Required:	N/A
	Proposed:	N/A
<b>Max. Lot Coverage:</b>	Required:	N/A
	Proposed:	N/A
<b>Front Setback:</b>	Required:	0 ft.
	Proposed:	N/A
<b>Side Setbacks</b>	Required:	0 ft.
	Proposed:	N/A
<b>Rear Setback:</b>	Required:	0 ft.
	Proposed:	N/A
<b>Min. Front+Rear Setback</b>	Required:	N/A
	Proposed:	N/A
<b>Max. Bldg. Height:</b>	Permitted:	50 ft., 4 stories
	Proposed:	N/A
<b>Min. Eave Height:</b>	Required:	N/A
	Proposed:	N/A
<b>Floor-Ceiling Height:</b>	Required:	N/A
	Proposed:	N/A
<b>Front Entry:</b>	Required:	Principal pedestrian entrances must be on frontage line
	Proposed:	N/A
<b>Loading Area:</b>	Required:	No loading space required
	Proposed:	No loading space proposed
<b>Opening Width:</b>	Required:	N/A
	Proposed:	N/A
<b>Parking:</b>	Required:	None required
	Proposed:	17 proposed
<b>Min. Parking Space Size:</b>	Required:	180 ft <sup>2</sup>
	Proposed:	180 ft <sup>2</sup>



**Parking in Frontage:** Required: N/A  
Proposed: N/A

**Screening:**

Parking: Required: -6 ft. masonry screen wall where abutting residential zones  
-Minimum 32 in. high capped masonry wall along street  
Proposed: **-6 ft. wood screen wall abutting residential zones**  
**-No street screen wall proposed**

Loading: Required: N/A  
Proposed: N/A

Rooftop Mechanical: Required: Full screening to compliment the building  
Proposed: N/A

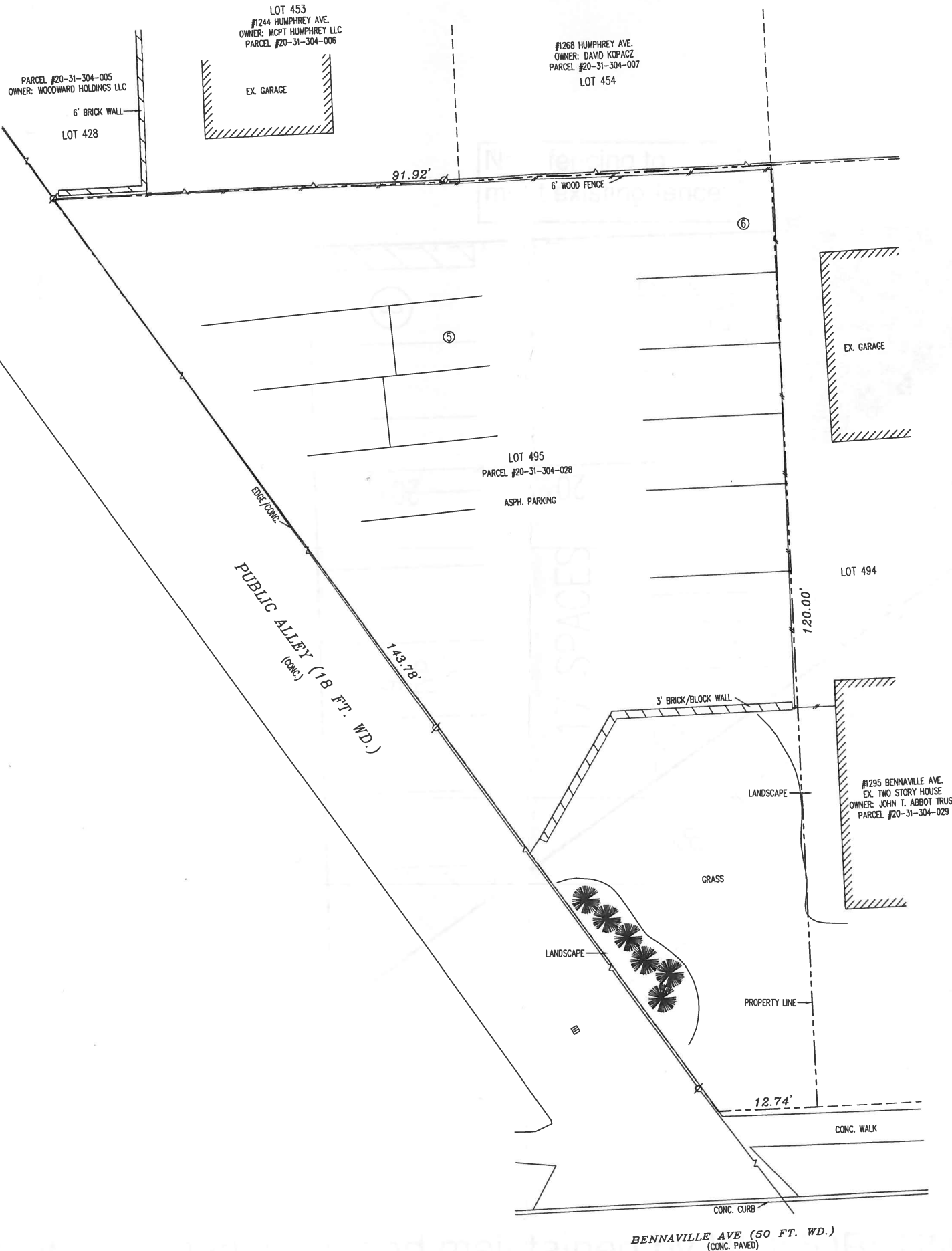
Elect. Transformer: Required: Fully screened from public view  
Proposed: N/A

Dumpster: Required: 6 ft. high capped masonry wall with wooden gates  
Proposed: **No screen wall proposed**



LEGEND

- GAS
- SANITARY (SAN)
- STORM (STM)
- WATERMAIN (WM)
- OVERHEAD WIRE
- UNDERGROUND CABLE
- EX. DITCH OR SWALE CENTERLINE
- EASEMENTS
- RAILROAD
- CHAIN LINK FENCE
- WOOD FENCE
- IRON FENCE
- GUARD RAIL
- FILLER CAP
- WETLANDS
- SEWER CLEAN OUT
- GAS METER
- MONITORING WELL
- MANHOLE
- CATCH BASIN
- GATE VALVE & WELL
- WATER SHUT OFF
- FIRE HYDRANT
- ELECTRIC RISER OR METER
- COMCAST RISER
- UTILITY POLE
- UTILITY POLE W/ LAMP EXTENSION
- LIGHT POLE
- TRAFFIC SIGNAL
- GUY WIRE
- GAS METER
- FLAG POLE
- GUARDPOST
- METAL OR CONC. POST
- MAILBOX
- SIGN
- PARKING METER
- BILLBOARD OR LARGE SIGN
- BASKETBALL HOOP
- SPOT ELEVATION
- TOP OF CURB ELEVATION
- GUTTER ELEVATION
- TOP OF CURB ELEVATION
- TOP OF PAVEMENT ELEVATION OR
- TW
- CULV
- CMP
- F.F.
- FOUND IRON
- FOUND MONUMENT
- FOUND P.K. NAIL
- SET IRON
- SET P.K. NAIL
- CHISELED "X"
- PROPOSED GRADE
- EXISTING CONCRETE
- EXISTING ASPHALT



SITE CONTAINING: 6,279.81 S.F. OR 0.14 ACRES

ZONED: P PARKING

SETBACKS:  
FRONT= 0 FEET  
REAR= 0 FEET  
SIDE= 0 FEET

MAX. BLDG. HT. (ALLOWED)= 50 FEET, 4 STORIES

TOTAL PARKING PROVIDED: 11 SPACES

THE ABOVE SETBACK & HEIGHT REQUIREMENTS WERE OBTAINED FROM THE CITY OF BIRMINGHAM ZONING ORDINANCE. A SURVEYOR CANNOT MAKE A CERTIFICATION ON THE BASIS OF AN INTERPRETATION OR OPINION OF ANOTHER PARTY. A ZONING ENDORSEMENT LETTER SHOULD BE OBTAINED FROM THE CITY OF BIRMINGHAM IN ORDER TO MAKE A FINAL DETERMINATION OF THE REQUIRED BUILDING SETBACK REQUIREMENTS.

FLOOD HAZARD NOTE

THE PROPERTY DESCRIBED ON THIS SURVEY IS NOT LOCATED IN AN AREA OF MINIMAL FLOOD HAZARD (ZONE X) MAP NO. 26125C0537F, EFFECTIVE DATE 09/29/2006 AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY

SURVEY NOTES

THERE WAS NO OBSERVABLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

THERE ARE NO KNOWN PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES AVAILABLE FROM THE CONTROLLING JURISDICTION.

THERE WAS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

PROPERTY DESCRIPTION

LOT 495 "LEINBACH-HUMPHRY'S WOODWARD AVENUE SUB", OF THE EAST 1/2 OF THE S.E. 1/4 OF SEC. 36 T.2N., R.10E. BLOOMFIELD TWP. AND PART OF THE W. 1/2 OF THE S.W. 1/4 OF SEC. 31 AND PART OF THE N.W. 1/4 OF SEC. 31 T.2N., R.11E., TROY TWP. EXCEPTING THE G.T.R.R. RIGHT OF WAY, OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 27, PAGE 5 OF PLATS OF OAKLAND COUNTY RECORDS.



SURVEY TECH.

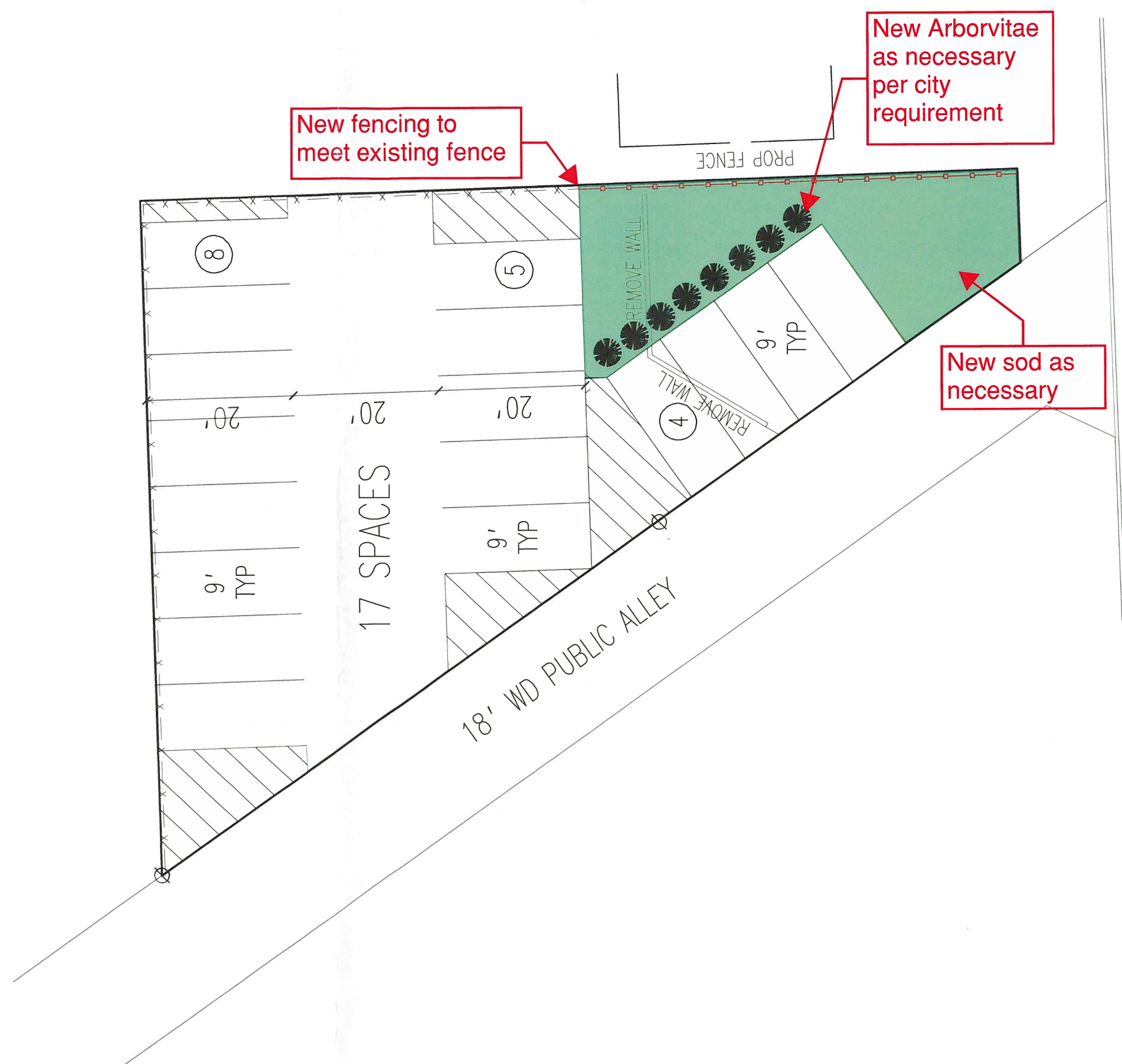
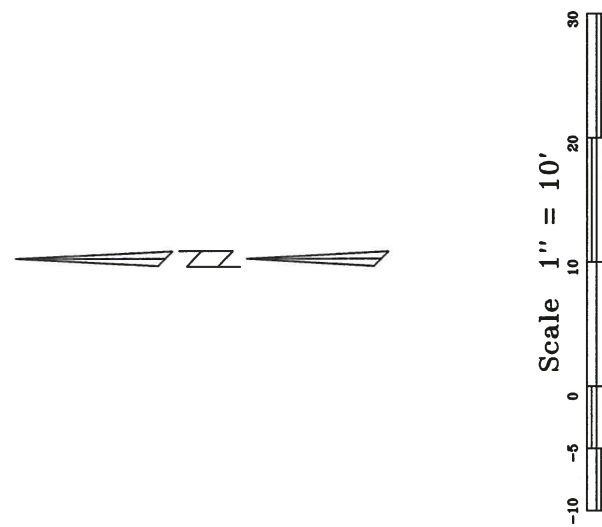
LAND SURVEYING CIVIL ENGINEERING  
3253 LYNHURST CT., OAKLAND, MI 48306  
TEL (248) 670-6556 FAX (248) 377-8883

ALTA/NSPS LAND TITLE SURVEY

PROPRIETOR: OMAR AMMOURI

SCALE: 1"=10'	DATE: 07-14-2017	JOB # : 17025	SHEET: 1 OF 1
DRAWN BY: M.M.F	CHECKED BY: A.H.	APPROVED BY:	





Parcel owned, managed, and maintained by WOODBENN PROPERTIES, LLC.



## Administrative Approval Application Planning Division

Form will not be processed until it is completely filled out

### 1. Applicant

Name: C. LONGE, AIA  
Address: 124 PEARSON  
BIRMINGHAM  
Phone Number: 246.258.6940  
Fax Number: \_\_\_\_\_  
Email: C.LONGE@C.LONGEAIA.COM

### Property Owner

Name: MANSON COMPANIES  
Address: 330 HAMILTON SUITE 300  
BIRMINGHAM  
Phone Number: 246.662.1117  
Fax Number: \_\_\_\_\_  
Email: CLINT@MANSONCOMPANIES.COM

### 2. Applicant's Attorney/Contact Person

Name: \_\_\_\_\_  
Address: SAME.  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email: \_\_\_\_\_

### Project Designer

Name: \_\_\_\_\_  
Address: SAME.  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email: \_\_\_\_\_

### 3. Project Information

Address/Location of Property: 325 SOUTH OLD WOODWARD  
Name of Development: ADACHI  
Parcel ID #: 19-36-208-015  
Current Use: VACANT  
Area in Acres: \_\_\_\_\_  
Current Zoning: B-2

Name of Historic District site is in, if any: FORD PEARSON  
Date of HDC Approval, if any: \_\_\_\_\_  
Date of Application for Preliminary Site Plan: \_\_\_\_\_  
Date of Preliminary Site Plan Approval: \_\_\_\_\_  
Date of Application for Final Site Plan: \_\_\_\_\_  
Date of Final Site Plan Approval: \_\_\_\_\_  
Date of Revised Final Site Plan Approval: \_\_\_\_\_

### 4. Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples
- Digital Copy of plans
- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations

### 5. Details of the Request for Administrative Approval

MECHANICAL SCREEN WALL.

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: C. Longe

Date: 4.5.18

**APPROVED**

Application #: _____	Office Use Only Date Received: <u>4/5/18</u>	Fee: <u>\$100</u>
Date of Approval: <u>4/16/18</u>	Date of Denial: _____	Reviewed by: <u>M. Bo</u>





## ADMINISTRATIVE APPROVAL APPLICATION CHECKLIST – PLANNING DIVISION

Applicant: CELONGE, AIA Date: 4.5.16

Address: 124 PEARSON, BIRMINGHAM Project: ADACH

All site plans and elevation drawings prepared for administrative approval shall be prepared in accordance with the following specifications and other applicable requirements of the City of Birmingham. If more than one page is used, each page shall be numbered sequentially. All plans must be legible and of sufficient quality to provide for quality reproduction or recording.

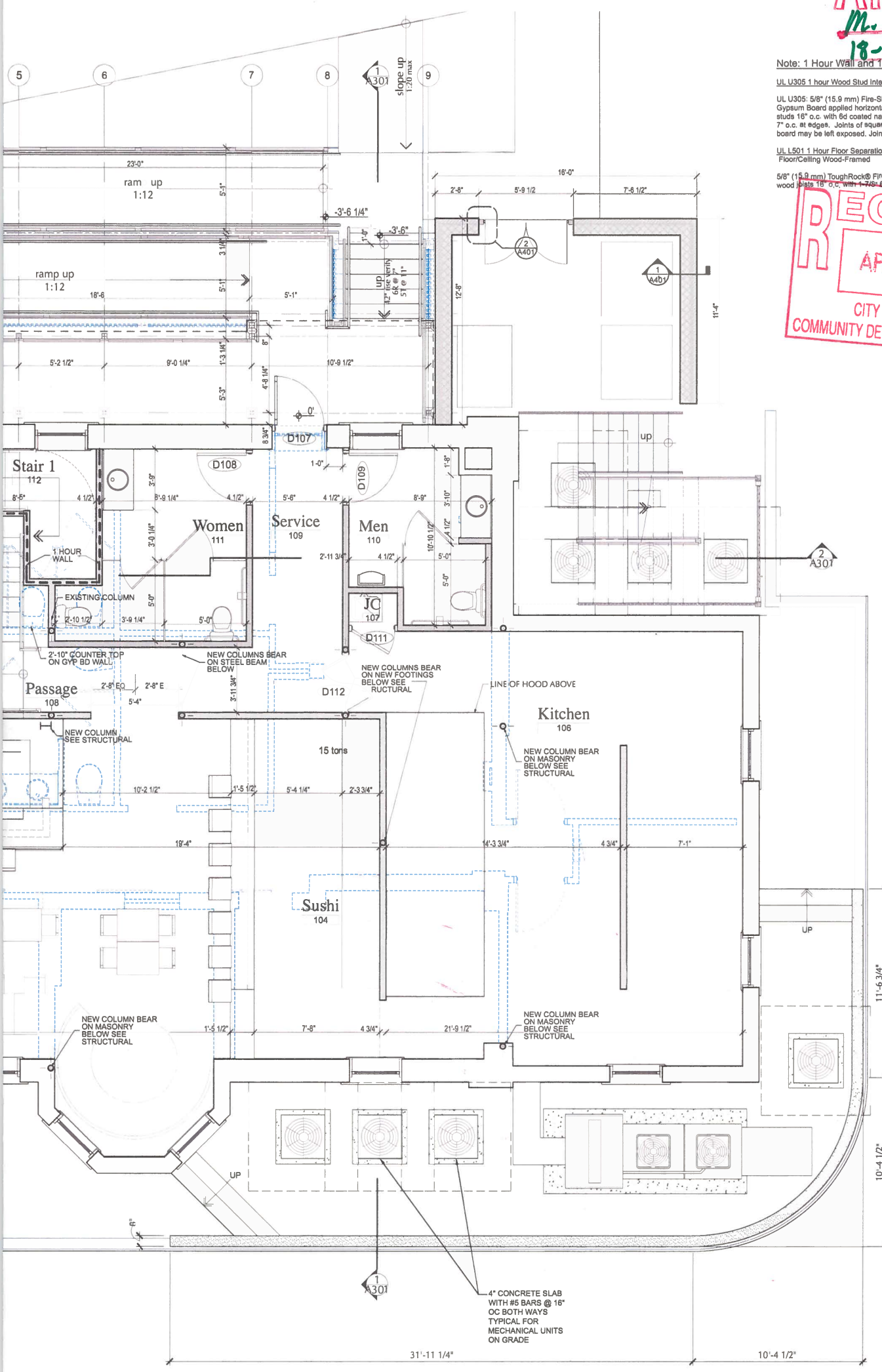
### Administrative Approval of Design Changes

- ☐ 1. Name and address of applicant and proof of ownership;
- ☐ 2. Name of Development (if applicable);
- ☐ 3. Address of site and legal description of the real estate;
- ☐ 4. A separate location map;
- ☐ 5. Legend and notes, including a graphic scale, north point, and date;
- ☐ 6. A list of all requested design changes;
- ☐ 7. Elevation drawings with all requested design changes marked in color;
- ☐ 9. A list of all new materials to be used, including size specifications, color and the name of the manufacturer.

### Administrative Approval of Site Plan Changes

A full site plan detailing the proposed changes for which administrative approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- ☐ 1. Name and address of applicant and proof of ownership;
- ☐ 2. Name of Development (if applicable);
- ☐ 3. Address of site and legal description of the real estate;
- ☐ 4. Name and address of the land surveyor;
- ☐ 5. Legend and notes, including a graphic scale, north point, and date;
- ☐ 6. A separate location map;
- ☐ 7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land;
- ☐ 8. A list of all requested changes to the site plan;
- ☐ 9. All changes requested marked in color on the site plan and on all elevations of any building(s);
- ☐ 10. A chart indicating the dates of approval of the Preliminary Site Plan, Final Site Plan; Revised Final Site Plans, and any dates of approval by the Historic District Committee ("HDC");
- ☐ 11. Existing and proposed layout of streets, open space and other basic elements of the plan;
- ☐ 12. Existing and proposed easements and their purpose;



**APPROVED**  
*M. B. L. 4/16/18*  
 18-0035

Note: 1 Hour Wall and 1 Hour Floor Separation

UL U305 1 hour Wood Stud Interior Partitions

UL U305: 5/8" (15.9 mm) Fire-Shield Gypsum Board or 5/8" XP Fire-Shield Gypsum Board applied horizontally or vertically to each side of 2x4 wood studs 16" o.c. with 6d coated nails, 1-7/8" long, 0.0915" shank, 1/4" heads, 7" o.c. at edges. Joints of square edge, bevel edge or predecorated wall board may be left exposed. Joints staggered 16" on opposite sides.

UL L501 1 Hour Floor Separation  
 Floor/Ceiling Wood-Framed

5/8" (15.9 mm) ToughRock® Fireguard X™ Products applied perpendicular to wood joists 16" o.c. with 1-7/8" x 6d nails 8"

**RECEIVED**  
 APR 05 2018  
 CITY OF BIRMINGHAM  
 COMMUNITY DEVELOPMENT DEPARTMENT

124 Peabody  
 Birmingham  
 Michigan  
 48009

CHRISTOPHER J. LONGE AIA  
 ARCHITECTURE  
 INTERIORS

T. 248.258.6940  
 F. 248.258.5568

Project Title

**Adachi Restaurant**

325 Old Woodward  
 Birmingham, Michigan 48009

Date 8/28/2017

preliminary ☐ bids/permits ☒ construction ☐

Revisions	
8-28-2017	Structural Permit
10-31-2017	Architectural, MEP
12-18-2017	Bulletin 1
1-18-2018	Bulletin 2
2-1-2018	Bulletin 3

Sealed By



Christopher J. Longe A.I.A. Architect No. 31781

Signed:

PROJECT NO: 1606  
 DRAWN BY: David Pacifico, RA  
 CHK'D BY: Christopher Longe, AIA

Sheet Title

**1st Floor Plan**

Sheet

**A101**