

REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, JULY 24, 2019
7:30 PM
151 MARTIN STREET, CITY COMMISSION ROOM, BIRMINGHAM, MI

- A. Roll Call
- B. Review and Approval of the Minutes of the regular meeting of **July 10, 2019**
- C. Chairpersons' Comments
- D. Review of the Agenda

- E. Rezoning Application
 - 1. **1175 Chapin** – Request for rezoning from R4 (Two-Family Residential) to P, Parking (**Postponed from June 26, 2019, will not be considered**).

- F. Special Land Use Permit
 - 1. **588 N. Old Woodward, Sweetwaters Coffee & Tea** (former wine shop) – Request for Final Site Plan and Design Review to remodel the existing building for a food and drink establishment (no alcohol) in the O2 (Office Commercial) zoning district.

- G. Final Site Plan & Design Review
 - 1. **588 N. Old Woodward, Sweetwaters Coffee & Tea** (former wine shop) – Request for Final Site Plan and Design Review to remodel the existing building for a food and drink establishment (no alcohol) in the O2 (Office Commercial) zoning district.
 - 2. **34745 Woodward, Jax Kar Wash** – Request for Final Site Plan and Design Review to add a covered detailing area and reconfigure access and circulation for the site.

- H. Preliminary Site Plan Review
 - 1. **720 N. Old Woodward, Kohler Building** – Request for approval of the Preliminary Site Plan to allow the construction of a third floor on an existing building to add 4 residential units, and a design update on the exterior of the existing building.

- I. Miscellaneous Business and Communications:
 - a. Communications
 - b. **Administrative Approval** Correspondence
 - c. Draft Agenda for the next Regular Planning Board Meeting (**August 14, 2019**)
 - d. Other Business

- J. Planning Division Action Items
 - a. Staff Report on Previous Requests
 - b. Additional Items from tonight's meeting

- K. Adjournment

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(Title VI of the Civil Rights Act of 1964).

**CITY OF BIRMINGHAM
PLANNING BOARD ACTION ITEMS
OF WEDNESDAY, JULY 10, 2019**

Item	#
<p><u>B. Approval Of The Minutes Of The Regular Planning Board Meeting of June 26, 2019</u></p> <p>Motion by Mr. Williams Seconded by Mr. Jeffares to approve the minutes of the Regular Planning Board Meeting of June 12, 2019 as amended.</p> <p>Motion carried, 6-0.</p>	<u>2</u>
<p><u>D. Approval Of The Agenda</u></p> <p>Motion by Mr. Boyle Seconded by Mr. Jeffares to postpone consideration of the rezoning application of 1175 Chapin to Wednesday, July 24, 2019.</p> <p>Motion carried, 6-0.</p>	<u>3</u>
<p>E. Community Impact Study - 333 N. Old Woodward / Bates Street Project Entire Site, Emphasis on Building 2, RH (Continued from June 26, 2019)</p> <p>Motion by Mr. Emerine Seconded by Ms. Whipple-Boyce to accept the Community Impact Study as provided by the applicant for the proposed development at 333 N. Old Woodward (Building 2) with the following conditions:</p> <ol style="list-style-type: none"> 1. The applicant consult with SHPO on the potential effects on a historically designated property; 2. The applicant adopt the Due Care Obligations outlined in the Phase II ESA; 3. The applicant bury all utilities on site and work closely with the City Engineer to provide adequate utility function on site; 4. The applicant confirm the location of refuse storage on site; 5. The applicant submit all fire suppression system and Knox box details to the Fire Department for approval; 6. The applicant submit details on the proposed security system to the Police Department for approval; and 7. The applicant gain final approval of the Traffic Impact Study by the City's Traffic Engineer. <p>Motion carried, 7-0.</p>	<u>4</u>

**CITY OF BIRMINGHAM
REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, JULY 10, 2019
City Commission Room
151 Martin Street, Birmingham, Michigan**

Minutes of the regular meeting of the City of Birmingham Planning Board held on July 10, 2019.
Chairman Scott Clein convened the meeting at 7:30 p.m.

A. ROLL CALL

Present: Chairman Scott Clein; Board Members Robin Boyle, Stuart Jeffares, Bert Koseck, Janelle Whipple-Boyce, Bryan Williams; Alternate Board Members Jason Emerine, Naseem Ramin; Student Representative Sophia Trimble

Absent: Board Member Daniel Share; Student Representative John Utley

Administration: Jana Ecker, Planning Director
Brooks Cowan, City Planner
Laura Eichenhorn, Transcriptionist

07-100-19

**B. Approval Of The Minutes Of The Regular Planning Board Meeting of
June 26, 2019**

Mr. Emerine noted that beginning with June 26 2019 Agenda Item F, each item letter designated in the June 26, 2019 minutes was one letter earlier than its assigned agenda item letter, as follows:

Agenda Item F → Minutes Item E
Agenda Item G → Minutes Item F
Agenda Item H → Minutes Item G
Agenda Item I → Minutes Item H
Agenda Item J → Minutes Item I
Agenda Item K → Minutes Item J
Agenda Item L → Minutes Item K

Mr. Emerine said he was not sure if the difference mattered to the Board, but he wanted them to be aware of it.

The difference in lettering was because the Rezoning Application for 1175 Chapin was removed from the Agenda during Approval of the Agenda, resulting in the shift of some of the minutes items.

Mr. Emerine said the minutes should clarify that the planned earth retaining structures for the N. Old Woodward/Bates building developments will be temporary.

Mr. Emerine was advised that the the earth retaining structure was described as temporary at the end of paragraph five on page 11: "The applicant's engineers are working with City Engineer O'Meara and City Attorney Currier to work out all the necessary aspects of constructing the temporary ERS."

Mr. Emerine said that should be sufficient.

Mr. Jeffares asked that the parking spaces mentioned at the top of page 13 be specified as nine feet by twenty feet, in order to contrast their width with the narrower seven-and-a-half foot widths of the parking spaces in the Peabody Street parking structure.

Motion by Mr. Williams

Seconded by Mr. Jeffares to approve the minutes of the Regular Planning Board Meeting of June 26, 2019 as amended.

Motion carried, 6-0.

VOICE VOTE

Yeas: Williams, Jeffares, Koseck, Boyle, Emerine, Whipple-Boyce

Nays: None

Abstain: Clein

07-101-19

C. Chairperson's Comments

Chairman Clein noted a mixed-bag meeting, and asked Planning Director Ecker if there were any changes to the agenda as posted.

07-102-19

D. Approval Of The Agenda

Planning Director Ecker confirmed there were no changes to the agenda.

07-103-19

E. Community Impact Study - 333 N. Old Woodward / Bates Street Project

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Entire Site, Emphasis on Building 2, RH (Continued from June 26, 2019)

Chairman Clein said he would be recusing himself from this item due to a business relationship his company has with members of the project team.

Chairman Clein then exited the City Commission Room, Vice-Chairman Williams assumed leadership of the meeting, and Ms. Ramin joined the Board for the hearing and discussion of this item.

Vice-Chairman Williams summarized the aspects of the item previously discussed at the Board's June 26, 2019 meeting.

Motion by Mr. Jeffares

Seconded by Mr. Koseck to accept and file the July 9, 2019 letter from Julie Kroll of Fleis and Vandenbrink.

Motion carried, 7-0.

VOICE VOTE

Yeas: Jeffares, Koseck, Williams, Boyle, Emerine, Ramin, Whipple-Boyce

Nays: None

Ms. Kroll reviewed the findings of the Traffic Impact Study. She confirmed for Vice-Chairman Williams that she recommends a pedestrian crossing analysis for the planned traffic signal at Old Woodward and Bates. In addition, Ms. Kroll recommended that leading pedestrian intervals (LPIs) be considered at this intersection, explaining LPIs are beneficial for pedestrians and that Birmingham has more LPIs than any other municipality in Michigan.

Vice-Chairman Williams reiterated his concerns from the previous Board meeting that the pedestrian crossing situation in this area is dangerous for both pedestrians and drivers.

Ms. Kroll agreed with Vice-Chairman Williams' assessment and said the safety of the intersection would be much improved with a signal and assigned crossing times for pedestrians.

Ms. Kroll explained how mitigation will increase the levels of service at some project intersections that otherwise would have been underperforming.

Seeing that the Board had no questions for the representative from Giffels Webster, Vice-Chairman Williams invited comments from the public pertaining to the traffic impact study.

Vice-Chairman Williams told Clinton Baller that general questions pertaining to the N. Old Woodward/Bates project either would have been appropriate at the June 26, 2019 preliminary site plan discussion and approval or will be appropriate at the final site plan discussion and approval.

Vice-Chairman Williams also advised Mr. Baller that if his questions were relevant to the master planning process, they could be raised during the evening's pending discussion of the matter.

Mr. Baller thanked Vice-Chairman Williams.

Mike Darga of Giffels Webster summarized the traffic impact study's findings regarding how traffic exiting the deck during peak hours would interact with other area traffic in response to an inquiry

from Larry Bertollini.

Vice-Chairman Williams thanked Mr. Darga, and commended both Mr. Darga and Ms. Kroll on their expedient and thorough work on the traffic impact study.

Mr. Jeffares reiterated his comments from the June 26, 2019 meeting that the ergonomics of the card readers at the entrances to and exits from the deck should be improved in order to increase the overall efficiency of the deck's use.

Vice-Chairman Williams stated he has received a few calls from retailers on Maple expressing concern about the dearth of parking that will result from the simultaneous closure of Maple Road and demolition of the extant N. Old Woodward deck. He advised City administration of this concern and was told there will be a parking mitigation plan for the area. Vice-Chairman Williams said the Board did not have purview over the matter, but the inclusion of this comment in the meeting's minutes would serve to notify the City Commission of the retailers' concerns regarding the parking in the area.

Motion by Mr. Emerine

Seconded by Ms. Whipple-Boyce to accept the Community Impact Study as provided by the applicant for the proposed development at 333 N. Old Woodward (Building 2) with the following conditions:

- 1. The applicant consult with SHPO on the potential effects on a historically designated property;**
- 2. The applicant adopt the Due Care Obligations outlined in the Phase II ESA;**
- 3. The applicant bury all utilities on site and work closely with the City Engineer to provide adequate utility function on site;**
- 4. The applicant confirm the location of refuse storage on site;**
- 5. The applicant submit all fire suppression system and Knox box details to the Fire Department for approval;**
- 6. The applicant submit details on the proposed security system to the Police Department for approval; and**
- 7. The applicant gain final approval of the Traffic Impact Study by the City's Traffic Engineer.**

Vice-Chairman Williams asked the minutes reflect two specific parking-related concerns:

- The likely dearth of parking in the project area during the simultaneous Maple closure and parking deck demolition and its potential impact on nearby retailers, and
- Ms. Whipple-Boyce's statement from the June 26, 2019 meeting that the planned eight-space surface lot should remain available for public parking, instead of being limited to church or school parking at certain times.

Motion carried, 7-0.

ROLL CALL VOTE

Yeas: Emerine, Whipple-Boyce, Jeffares, Koseck, Williams, Boyle, Ramin

Nays: None

Chairman Clein then resumed chairing the meeting, Vice-Chairman Williams returned to his seat and Ms. Ramin returned to the audience for the continuation of the Board proceedings.

06-104-19

F. Study Session Items

1. Update from DPZ Team on Master Plan Process

Planning Director Ecker stated that Matt Lambert of DPZ and Sarah Traxler of McKenna were present to give the Board updates on the master planning process.

Mr. Lambert explained he and Ms. Traxler had been in Birmingham the last two days conducting open house format meetings in order to explain the charrette findings to members of the public. He then solicited comments from the Board, saying the team welcomed more specific questions and input in advance of writing the first draft of the master plan.

Vice-Chairman Williams said:

- He was hopeful that the neighborhood associations on either side of Woodward between Lincoln and 14 Mile would participate in the team's recommended creation of a meaningful buffer area with more housing and less open parking lots, fences, walls. He said similar plans could be implemented along Adams Road, Southfield Road and 14 Mile.
- The creation of meaningful neighborhood associations that would participate in these processes would also benefit the City.
- The City needs a more effective way to engage the neighborhoods along the major thoroughfares within Birmingham.

Mr. Lambert stated that meeting with the presidents of current neighborhood associations reviewed the fact that some associations are focused on social activities, some on the sharing of information, and some on politics. That meeting included discussion on aspects of neighborhood identity, neighborhood boundaries, whether neighborhood associations should be involved in resolving disputes, and how zoning topics within the neighborhood are engaged by neighborhood members.

Mr. Lambert told Mr. Jeffares that the noticing requirements for projects within different municipalities can range from the state minimum up to radiuses of around 1,500 sq. ft. Mr. Lambert explained that Portland, Oregon requires two different noticing radiuses be used: one limited to adjacent properties for smaller-scale projects, and one to 500 sq. ft. surrounding the project if customer parking will be a factor in the project. He said Birmingham could consider using a range for its noticing as well.

Planning Director Ecker clarified that Birmingham does more than the 300 sq. ft. state minimum for noticing since properties are also required to post signs notifying passerby of their upcoming zoning discussions with the City.

Mr. Jeffares expressed frustration that there is not more attainable housing for more people in Birmingham's downtown. He asked what percent an increase of 1,150 residents would represent for the downtown area.

Mr. Lambert stated 1,150 would be a significant resident increase, estimating it could be around 800%. He also explained that recent findings have shown that the downtown residential density could accommodate an increase even beyond the originally quoted 1,150 people to perhaps 1,400 or 1,500.

Mr. Jeffares asked if these additions could be enough to make downtown a more viable long-term retail environment.

Mr. Lambert cited two restaurants soon to be leaving Birmingham because they have bustling lunch business and very little dinner business, which leaves them unable to afford their tenancy in the desirable Birmingham market. He explained more residential density in the downtown would likely lead to increased dinner business for local establishments, thus allowing them to maintain a foothold in the City. He said the team estimates there would be a similarly beneficial impact on downtown Birmingham retail as well, and would increase the downtown's resiliency overall. At this time Birmingham's downtown retail spaces are about 96% occupied, which is due to Birmingham's relatively strong current position in the market and its current critical mass of desirable retailers.

Mr. Boyle commended the master planning team for its work on the charrette process and said he was glad to hear new people were attending the more recent meetings as well. He said the charrette summary gave him pause, however, because the document opens with parking discussions while City sustainability is addressed at the very end of the document. Noting that the charrette summary is not a master plan, he asked Mr. Lambert what a likely content page for Birmingham's master plan document would look like.

Mr. Lambert stated that a lot of the team's goals revolve around sociability, participation in governance and sustainability within Birmingham. He explained that a problem statement for Birmingham's master plan process would reflect the problems communities are experiencing across the country, partially due to patterns of development since WWII: people in the United States tend not to know their neighbors as well as they did in past decades and environmental sustainability has become more of a pressing issue. He said both of these issues tie in to the essential question of how Birmingham can continue evolving as a City that improves people's daily lives. Noting this did not directly answer Mr. Boyle's question regarding the content page, Mr. Lambert said the background thinking the team is doing regarding the foundational problems and assumptions might give a better sense of what the master plan document will entail.

In reply to Mr. Koseck, Mr. Lambert said that the team has been exploring the value of adding residential units on sites which are currently only commercial. Since residential space is a significant driver of the market, some commercial spaces could be replaced with residential but need not be replaced at the same size. The question is whether adding housing could increase the value of some of the spaces enough to make it worthwhile to assemble properties and redevelop them. Mr. Lambert advised that Birmingham would need more than one of these redevelopments, and the team is considering options the City could use to incentivize investment.

Mr. Lambert said the City will have to choose its priorities and invest proportionally in them. If Birmingham wants to increase its sociability, for example, it must invest in City parks and activities. Birmingham must decide at the Commission level and beyond whether its citizens prefer decreasing their millage rates or the important quality-of-life improvements a well-funded City can provide.

Mr. Koseck said it would be helpful to see a variety of options.

Mr. Lambert confirmed for Mr. Koseck that the team would like to see the train station become more accessible to Birmingham residents through the removal of the single private property currently blocking access. While the team encourages the City to pursue a deal with the private property owner in question, it also acknowledges that access to the train station is critical and may be a case in which eminent domain could be appropriately applied.

Planning Director Ecker told Mr. Koseck that issues of multi-modal transit at the boundaries of Birmingham and Troy are either addressed by Birmingham's Multi-Modal Transportation Board (MMTB) or by City staff when a more pressing issue arises. She stated that City staff maintains open lines of communication with the staff of local municipalities.

Mr. Koseck suggested it would still be helpful to have a paragraph in the master plan discussing possible ways to make the transitions between Birmingham and Troy more efficient and attractive.

Regarding the potential for a traffic oval at the intersection of Maple and Woodward, traffic modelling showed that if Woodward is three lanes it works well, but if it is four lanes pedestrian timing could become an issue. Mr. Lambert advised the Board that MDOT anticipates being able to go down to three lanes on Woodward after I-75 is reopened entirely.

Mr. Koseck asked Mr. Lambert how to fix the perception of Torrey Association residents that their neighborhood is currently underserved.

Mr. Lambert noted the team split the Torrey neighborhood into two. South of Lincoln, the neighborhood the team named 'Kenning' has park access, whereas Torrey to the north does not. In addition, both have issues of stormwater management and unimproved streets.

Vice-Chairman Williams noted that south of 14 Mile and east of Woodward also suffers from a lack of desirable retail. He explained that the Board has tried to encourage development in that area but has not been as successful as they would like.

Mr. Koseck agreed, and emphasized that the Board could use the team's assistance in considering the issue. He then asked Mr. Lambert if Birmingham has been a good master plan client thus far, stating he has found that master planning processes depend on the responsiveness and engagement of the municipality soliciting the plan.

Mr. Lambert said part of what makes a master plan process successful is the client's engagement, and part of it is whether the problem to be addressed is compelling. He opined that Birmingham's desire to focus on its neighborhoods is fascinating and worthwhile. Noting that some residents

seem anxious about some parts of the process, he explained that many have also expressed enthusiasm about most parts of the process so far. Mr. Lambert said the City's participation in the process has been very good so far, and also offered that if Birmingham residents would like to participate more in the process that the team would be enthusiastic about that. He said it would be most important for the team and the Board to have at least one entire meeting together to work on the first draft of the master plan, since those details are where it would be especially vital for the plan to have specific Board input.

Chairman Clein asked Mr. Lambert to list next steps for both Board-team interaction and for the plan itself.

Mr. Lambert explained the team intends to have the first draft of the master plan complete by the end of September 2019, the second draft at the beginning of January 2020, and the third draft at the end of February 2020. In advance of each draft, the team proposes to have one meeting with the Board, one meeting with the Commission, and one meeting with Staff to make sure any and all concerns and questions are addressed.

Chairman Clein asked if the Board would have an opportunity to meet with the team in advance of its meeting with the team in September 2019 to review the first draft.

Mr. Lambert said the team would be make a point to meet with the Board before September 2019 should the Board deem it necessary.

Vice-Chairman Williams said that any joint meetings scheduled during the master planning process between the Commission and the Board should be solely focused on master planning considerations. He suggested that perhaps one or two additional joint meetings could also be scheduled during this period.

Chairman Clein requested that Ms. Traxler, Mr. Lambert and Planning Director Ecker work to have the team return during some of the Board's study sessions in order to discuss smaller parts of the burgeoning report in a more in-depth way.

Mr. Jeffares noted that half of the action items currently on the Board's list are designated to be addressed after the master plan, meaning that the Board has time available to address the master plan process thoroughly.

Chairman Clein agreed, stating that the Board is invested in ongoing conversations with the team regarding the whole master plan process.

Mr. Boyle recalled the Board's work on designing the City's new fire station, and suggested the Board could have a series of workshops to discuss different master plan matters and ideas. He also recommended that the Board avoid details during their workshops preliminarily, instead taking the time to focus on the drivers for the plan first.

Mr. Lambert said most master planning processes have specific advisory committees to meet with the master planning team, while Birmingham does not. He said the absence of such a committee contributes to the somewhat sparse scheduling of meetings between the team and City

participants, but that the team would be keen on increased opportunities to meet with various stakeholders.

Chairman Clein invited public comment.

Mr. Bertollini said he would like to see the Torry neighborhood more involved in the discussions, that further investment in the City's parks would be beneficial, and that finding ways to slow down traffic on Woodward would also be beneficial. He noted that the Triangle District and Adams Square both have big parking lots which could host community events for the east side of Birmingham.

Mr. Jeffares told Mr. Bertollini that the Presidents' Council has missed representatives from the Torry neighborhood at its meetings, and asked Mr. Bertollini to encourage people from the neighborhood to attend.

Mr. Bertollini said he is a member of the Torry neighborhood association and was unaware of the previous evening's meeting. He asked to be kept up-to-date regarding future meetings through email.

Mr. Baller began by thanking the Board for its careful and attentive participation in the ongoing master plan process. He continued that:

- Birmingham is currently experiencing some issues that the master plan could address.
- During peak hours earlier on July 10, 2019 only 30 cars were parked in the Pierce Street Structure.
- The master planning process has possible recommendations for increasing parking throughout the City, including the possibility of issuing parking permits for the neighborhoods, which could also generate revenue for neighborhoods.
- Parking issues in Birmingham may be overstated and easily remedied by suggested solutions with the master planning process.
- The Board should consider some of the parking solutions being offered as possible alternatives to the Bates Street project.
- He had a few questions for the Board that he understood they may or may not answer during the meeting.

Chairman Clein advised Mr. Baller that he was welcome to put his questions on the record, but that the Board would not be answering his questions during the meeting.

Mr. Baller asked if the Board voted or otherwise expressed its opinion on City land use planning, zoning, or rezoning prior to the RFP being issued for the Bates St. project, or anytime since then.

When Mr. Baller requested an answer, Chairman Clein repeated that the Board would not be answering his questions this evening. Chairman Clein stated the questions would be maintained as part of the written record, and would be forwarded to the City Commission and to the City's Communications Director.

Mr. Baller said he appreciated that, and that he would finish his questions quickly. He asked if the Board ever met with either one of the Bates St. development teams prior to the selection of the

Woodward Bates Partnership as the team with which the City would proceed, noting that the Board has met with DPZ and McKenna throughout the master planning process. After a pause, Mr. Baller then asked whether the Board would answer.

Chairman Clein reiterated that he was providing Mr. Baller an opportunity to have his questions entered into the written record as part of public comment, but that the questions would not be answered this evening.

Mr. Baller said he understood, but that he was under the impression that it was permissible to ask questions of the Board and have them answered during public comment. He asked if there was a Plan B if the financing of the Bates project is not approved, and stated he would be taking the Board's silence as a negative reply.

Chairman Clein said again that this was an opportunity for Mr. Baller to have his questions entered into the written record, and that Mr. Baller would not be receiving Board answers to his questions this evening. Chairman Clein also advised Mr. Baller that silence on the Board's part should not be interpreted as a reply.

Mr. Baller asked the Board whether they were aware that the cost of replacing the facade of the N. Old Woodward deck and bringing it up to current standards would be just over \$6 million.

Chairman Clein thanked Mr. Baller for his comments and brought the discussion back to the Board.

Vice-Chairman Williams emphasized the importance of neighborhood associations becoming more involved in the master planning process. He said he would particularly like to see engagement from the neighborhoods along the major thoroughfares in Birmingham, especially on either side of Woodward between Lincoln and 14 Mile.

Planning Director Ecker invited the public to visit thebirminghamplan.com to learn more about the master planning process, to provide comments, and to take the current survey.

Mr. Jeffares explained that the current survey, the second in a series, focuses on many of the issues covered this evening. He advised anyone who found the evening's discussion particularly compelling to visit the website and complete the survey.

Chairman Clein thanked Mr. Lambert and Ms. Traxler for being present, and said the Board looked forward to meeting with them again soon.

2. Zoning Ordinance Amendment – D5 Overlay Zoning

Planning Director Ecker summarized the history of the issue and reviewed the item.

Vice-Chairman Williams recalled the Board had previously decided not to rezone property where the property owner was not making application. He maintained that was the correct approach, explaining that if he were a property owner, he would not want his property rezoned without his knowledge or request. As a result of that consideration, the Board decided at the time not to expand the D5 designation beyond the three requesting properties. Mr. Williams said he

welcomed instruction from the City Commission if they believe the issue should be approached differently.

Mr. Koseck said he agreed with Vice-Chairman Williams' assessment, saying that from a 30,000-foot view certain buildings may seem appropriate to zone together, but that a more detailed view might find other factors to disrupt such a finding. For this reason Mr. Koseck said it was appropriate to create the zoning categories, and then to allow owners to apply to the Board for a rezoning if desired. He added that it was not spot zoning, since each application involves a methodical process for deciding whether a rezoning should be granted.

Chairman Clein requested the Board avoid comments on any previous D5 rezoning applicants, noting the matter before the Board was an ordinance amendment, not a particular rezoning consideration.

Ms. Whipple-Boyce said the building height matter seemed clear and that the Board should discuss the definitions of 'adjacent' and 'abutting'. While acknowledging that she believes the Board acted appropriately when it decided not to rezone properties without a property owner's request, she also noted that there is one property zoned differently from the buildings to either side of it, which she said was odd.

Citing Mr. Lambert's experience with different cities and the likelihood of him having seen similar issues in the past, Mr. Jeffares asked if Mr. Lambert might be able to weigh in on the matter.

Chairman Clein said that while he did not want to ask Mr. Lambert for input on the matter this evening, he suggested that the Board could request that the Commission solicit additional services from its planning consultant to provide a small area report and some recommendations. Chairman Clein stated this would be the best approach because defining 'adjacent' and 'abutting' now could give the impression that the Board is effectively choosing which properties are eligible for possible future D5 rezoning. He said the Board may have previously erred in its use of the two words because deciding on the density and heights in question with D5 should not be done one property at a time. He said it is more appropriate to approach the issue through a plan in which a zoning area is decided, and lots are eligible or ineligible for zoning changes based on their location.

Mr. Boyle said he agreed with Mr. Jeffares' and Chairman Clein's inclinations to seek insight from the City's planning consultants. Noting that this seemed to be a matter of significance for the City, he opined that it would be most appropriately addressed in the master plan.

Ms. Whipple-Boyce and Vice-Chairman Williams concurred with Mr. Boyle, Mr. Jeffares, and Chairman Clein. Vice-Chairman Williams said he would rather the master plan have an analysis of D5 zoning instead of the Board trying to solve the problem by piecemeal.

Chairman Clein said that waiting to include this in the master plan could result in the applicant not having an answer until January 2020 at the earliest. Stating he did not want that to happen, Chairman Clein recommended that the Board frame the request as a subarea plan.

Mr. Koseck said the Board could answer the issue as it is posed, noting that an adverse effect on a neighboring property is a prohibitive circumstance for granting a rezoning. He said while a

consultant may ultimately be asked to study the issue, he thought the Board could also determine through discussion the questions of building height and the definitions of 'abutting' and 'adjacent'.

Mr. Jeffares suggested that the Board permit D5 rezoning applications from buildings that both abut or are adjacent to other D5 buildings, and have frontage along the Woodward corridor. This would prevent every newly zoned D5 building from causing its neighbors to also be candidates for D5 rezoning, and would allow massing that echoes the buildings across Woodward in the Triangle District.

Mr. Boyle said the Board, possibly in conjunction with Staff, should define the geographical area the consultant would look at. He noted that the Board could prevent an ever-increasing D5 zone if they set the final parameters of where the zone would be permitted.

Vice-Chairman Williams asked if all the taller buildings in the Triangle District had frontage on Woodward.

Planning Director Ecker replied that the majority of the tall buildings in the Triangle District have Woodward frontage, but that she was unsure if there was a taller property one row back from Woodward behind Papa Joe's.

Ms. Whipple-Boyce said she was supportive of asking for the planning consultant's help in considering the issue, and said she would suggest limiting it to the Haynes, Brown, Old Woodward and Woodward Ave. area.

Chairman Clein asked Planning Director Ecker for her opinion on the possibility of requesting a small subarea study.

Planning Director Ecker said the City would benefit from further clarity on the issue, should the Commission see fit to proceed with a small subarea study, since the community is clearly divided on the issue and has been unable to reach consensus.

Mr. Koseck noted that the City has before hired consultants to provide similar input and that it was very helpful.

Chairman Clein invited comment from the applicant and their representatives.

Rick Rattner, attorney for the applicant, stated that while he understood the neighbors' consternation at the potential D5 rezoning, the applicant meets all the requirements for getting the Zoning Ordinance changed. He said D5 zoning is an appropriate zoning for that area given the surrounding properties and the nature of the surrounding properties, including its immediate proximity to Birmingham Place. He said the applicant would like the Board to solve the definitional issues of 'adjacent' and 'abutting' in order to resolve whether the property in question could be rezoned to D5.

Chairman Clein stated the Board's goal is to answer the applicant's questions in the most expedient and accurate way. He asked Mr. Rattner if the applicant would be supportive of the Board's potential request for a subarea plan from the City's planning consultant.

Mr. Rattner said a months-long study would be a problem for the applicant. Barring that, he said a study would be useful because the applicant's team is sure a consultant would find it appropriate to allow the applicant's building's rezoning to D5.

Duraïd Markus, a member of the applicant team, said he would be in support of a subarea study that follows the boundaries as outlined in Planning Director Ecker's report. He noted that a D4 as it currently sits would be higher than the Merrillwood Building, and that no other developer would likely build a D5 that could only go to the height of the Merrillwood Building when a D4 building could go higher. He said that if he were to build a D4 building, the neighbors would be adversely affected as much as they would be by a D5 building. He was in favor of a study session to decide the definitions and specific issues, noting that planning cannot always satisfy all parties.

Mr. Markus said that ultimately if the Board believes D4 is appropriate, he would proceed with a D4 building even though he believes there will be consensus that his building should be zoned D5. Emphasizing that time is of the essence, he reiterated that a small study done to the boundaries suggested would be his ideal outcome since he believes a D5 rezoning allowance would likely prevail.

Chairman Clein invited public comment.

Mr. Baller said he was disappointed to not see more members of the public present to discuss this item. He suggested that more online surveys or other opportunities to express opinions on matters like this would benefit the City. He would like to see the City soliciting and encouraging more proactive engagement beyond the people noticed within a 300 square foot radius of properties. He said that while he did not live near Mr. Markus' building, he thought rezoning the building to D5 was a logical and appropriate thing to do.

Toni Schwartz, resident of Birmingham Place, was under the impression that the agenda item had been added to the agenda at the last minute and opined that was why there was not more public present for the discussion. She said that Birmingham Place is an entire neighborhood and that the Board is already aware of all the reasons to leave the zoning at D4. Ms. Schwartz said she was unclear why the conversation was continuing to occur when she sees the matter as clearly decided for D4 zoning.

Patrick Howe, attorney representing the Birmingham Condo Association, said he was also unaware that the item was on the agenda until this evening when he was told by his client. He stated that 'abutting' and 'adjacent' was a question of how other possible buildings could go on the properties that were already zoned D5. He suggested that if the City publicized the question as "Is the City in favor of raising heights in the downtown district?" many more members of the public would attend the discussion. Mr. Howe said that asking the Board to determine this issue is inappropriate, and would be better done through consultation of the City's previous and upcoming planning documents, including the master plan.

Chairman Clein returned the conversation to the Board.

Mr. Jeffares reminded those following the conversation that a D5 zoning allows the Board to have an impact on various aspects of the building through the use of a Special Land Use Permit that D4 zoning would not.

There was Board consensus to request that Planning Director Ecker go to City Manager Valentine to explain that the Board would like to tackle the matter of 'abutting' and 'adjacent' more closely, that the Board believes the City's planning consultant may be able to quickly and inexpensively provide the City with a professional opinion regarding the Haynes, Brown, Old Woodward and Woodward Ave. area to help inform those definitions.

Vice-Chairman Williams said the City should ask their current planning consultants to conduct this subarea plan, and that he would not be in favor of enlisting a different consultant.

Chairman Clein reiterated that this is a very focused effort, not a detailed plan.

3. Screening for Dumpster Enclosures

Vice-Chairman Williams left the meeting at 9:47 p.m. Ms. Ramin rejoined the Board at 9:47 p.m.

City Planner Cowan presented the item.

The Board discussed whether to leave the word "opaque" in the screening requirements and whether to define the permitted size of the "small openings" if "opaque" is removed from the screening requirements.

Chairman Clein asked that the item be returned next month along with some photos of example screenings from Birmingham sites. He said he did not want to rush a decision on the item.

4. Enclosed Balcony Regulations

City Planner Cowan presented the item.

There was Board consensus that full enclosures of balconies were likely too obtrusive to allow. Concerns included the way these could change the facade of a building, the range in quality of possible designs, the structural engineering aspects, and the likelihood that these enclosures would obscure neighbors' views.

Ms. Whipple-Boyce suggested it would be worth considering slightly extended awnings over patios because it would benefit the homeowner seeking it and be without detriment to the neighbors.

Chairman Clein said the Board should clarify whether it is discussing enclosures for balconies and multi-family buildings, patios and single family homes, or both. He noted Ms. Whipple-Boyce was talking about single family homes, while all the photos in the packet were of multi-family residences.

The Board agreed that it would be helpful at their next meeting to see examples from around Birmingham of both enclosed balconies and places where balconies could be enclosed.

Planning Director Ecker suggested single family patio considerations are sufficiently regulated by other aspects in the Zoning Ordinance and need not be considered as part of this conversation.

Mr. Koseck said the current enclosure conversation could be limited to multi-family and commercial buildings.

Ms. Whipple-Boyce asked that the Board remain open to the possibility that there might be situations in which single-family homes were relevant to this conversation, and said she would do some thinking before the next study session to see whether any came to mind.

Chairman Clein said the Board could narrow it down at the next study session. He suggested the Board keep their focus for the next study session on how enclosures like these would impact Birmingham in general before getting into further details of the matter.

Mr. Boyle asked if two of the examples given had to go back and retrofit.

Planning Director Ecker said she could find out and report back to the Board.

Mr. Boyle said that would be good, since the matter could be serious.

07-105-19

G. Miscellaneous Business and Communications

a. Communications

b. Administrative Approval Correspondence

Ms. Whipple-Boyce asked if 34040 Woodward's HVAC units were going to be screened.

Planning Director Ecker said she would double check.

c. Draft Agenda for the next Regular Planning Board Meeting (July 24, 2019)

- 1175 Chapin will be on the agenda but the Board will not be able to take action due to the property owner's failure to maintain the required noticing signage on his property
- New floor of the Kohler Building
- Jax Carwash Building Improvements and Site Plan Changes
- SLUP and Final Site Plan for the building immediately south of Parking Lot #6 -- Sweetwater's Coffee and Tea

d. Other Business

The Board said it would be willing to hear Lincoln Yard's Preliminary Site Plan and SLUP application at the Board's study session on August 14, 2019.

07-106-19

H. Planning Division Action Items

None discussed.

07-107-19

I. Adjournment

No further business being evident, the Chairman adjourned the meeting at 10:27 p.m.

Jana L. Ecker

Planning Director



MEMORANDUM

Planning Department

DATE: July 17, 2019

TO: Planning Board

FROM: Jana Ecker, Planning Director

SUBJECT: 588 N. Old Woodward – Sweetwaters Coffee & Tea – Final Site Plan & Design Review & Special Land Use Permit

The subject site is located at 588 N. Old Woodward and is replacing a former wine shop in the building on the south end of Lot 6. The existing one-story 1,600 sq. ft. commercial/retail building will be home to Sweetwaters Coffee & Tea, a food and drink establishment that is not proposing to serve alcohol. The applicant is seeking a Special Land Use Permit to permit a food and drink establishment in the O 2 (Office Commercial) zoning district, as required Article 2, Section 2.23 (O2 – Office /Commercial). The applicant is proposing to renovate the existing building by raising the height of the building and adding a mezzanine level at the rear of the building.

1.0 Land Use and Zoning

- 1.1 Existing Land Use - The existing site is currently vacant. Land uses surrounding the site are retail/commercial and multi-family residential.
- 1.2 Existing Zoning – The property is currently zoned O2 Office/Commercial. The existing use and surrounding uses appear to conform to the permitted uses of each Zoning District.
- 1.3 Summary of Land Use and Zoning - The following chart summarizes existing land use and zoning adjacent to and/or in the vicinity of the subject site.

	North	South	East	West
Existing Land Use	Public Parking	Retail/ Commercial	Public Parking	Multi-Family Residential
Existing Zoning District	PP, Public Property	O-2, Office/ Commercial	PP, Public Property	R-6, Multiple Family Residential
Overlay Zoning District	D-2	D-2	N/A	N/A

2.0 Building Use, Setback and Height Requirements

The proposed food and drink establishment use is permitted in the O2 zoning district with a Special Land Use Permit. The applicant is proposing to serve hot and cold non-alcoholic beverages, as well as baked goods and a selection of prepared foods. A total of 54 seats are proposed in the coffee shop, both on the ground level and the new mezzanine space. The applicant is proposing hours of operation from 6:00 am to 11:00pm Monday through Thursday, and 7:00am to midnight Friday and Saturday, and 7:00am to 10:00pm on Sundays.

The attached summary analysis provides the required and proposed bulk, area, and placement regulations for the proposed project. All requirements have been met with the exception of the screening requirements for all rooftop mechanical units and outdoor trash receptacles. **The applicant will be required to provide all required screening or obtain variances from the Board of Zoning Appeals.**

3.0 Screening and Landscaping

- 3.1 Screening – The applicant is proposing to have 1 rooftop mechanical unit towards the east end of the roof. Metal panels are proposed in charcoal gray to screen the units. The screening is a total of 5' in height from the roof deck. **The applicant has not provided any specification sheets on the proposed units in order to determine if the units are fully screened by the panels.**

The applicant is also proposing to have outdoor trash storage at the rear of the building. Two 32 gallon receptacles are proposed, one for trash and one for recycling. **No screening is proposed. The applicant will be required to screen the trash receptacles or obtain a variance from the Board of Zoning Appeals.**

- 3.2 Landscaping – No changes are proposed on the site. However, as part of the Lot 6 parking lot project, the City has added a small planting bed on City property along the northern elevation of the building at 588 N. Old Woodward. This bed is irrigated and the City will be installing plant material.

4.0 Parking, Loading, Access, and Circulation

- 4.1 Parking – As the site is located in the Parking Assessment District, no parking is required for a food and drink establishment.
- 4.2 Loading – No loading spaces are existing or proposed.
- 4.3 Vehicular Access & Circulation - Vehicular access to the building will not be altered.
- 4.4 Pedestrian Access & Circulation – Pedestrians may access the building via the entry door on the west elevation, which is accessible from the public sidewalk, or via the entry door on the north elevation, which is accessible through the City's public parking
-

lot. The applicant has advised that both entry doors will be the primary entrances.

- 4.5 Streetscape – The applicant is not proposing to alter the existing sidewalk, street trees, or street lighting. All streetscape elements were updated during the N. Old Woodward reconstruction project.

5.0 Lighting

The applicant is proposing to add one new recessed wafer 4" LED downlight by Lithonia Lighting in the underside of the new entrance canopy on the west elevation. The proposed lighting will be 27,000K and 10.7 watts, and the fixture will have a black finish. The applicant has not provided a photometric plan for the entire site as no other lighting is changing. However, the applicant has provided the photometric specifications for the new recessed fixture.

6.0 Departmental Reports

- 6.1 Engineering Division – The Engineering Division will provide comments by the meeting on July 24, 2019.
- 6.2 Department of Public Services – The Department of Public Services will provide comments by the meeting on July 24, 2019.
- 6.3 Fire Department – The egress door located on the north east side of the building, off the parking area, will need to swing in the direction of egress from the building, due to the proposed occupant load of this business.
- 6.4 Police Department - The Police Department has no concerns.
- 6.5 Building Division –The Building Department has examined the plans for the proposed project referenced above. The plans were provided to the Planning Department for site plan review purposes only and present conceptual elevations and floor plans. Although the plans lack sufficient detail to perform a code review, the following comments are offered for Planning Design Review purposes and applicant consideration:
1. The addition to this building will create increased snowdrift loads on the lower roof of the building directly to the south. The structure of the lower roof must be evaluated for the additional loads and reinforced if necessary.

7.1 Design Review

The applicant is proposing to renovate the existing 1600 sq.ft. building which is currently 1 story and 12' in height. The height of the building is proposed to be increased to 23' in height (20' in height to the roof, plus a 3' parapet wall), and remain at 1 story. The rooftop screening will extend up to a maximum of 25' in height. The front portion of the building will have 20' high ceilings, and the rear portion of the building will include a mezzanine level to accommodate additional coffeehouse seating. As the mezzanine is only 389 sq.ft. in size

(which is 1/3 or less of the size of the room in which it is located – 1280 sq.ft.), it does not count as an additional story.

The existing building is brick, however, the applicant is proposing to renovate the building and use the following exterior materials:

- Fiber Cement Panel, manufactured by Pieder, color Bianco or Insulated Metal Panel in Near White, manufactured by Centria, to clad the upper portion of the north, east and west facades of the new height addition;
- Maintain a portion of the existing brick and paint it in SW7068 Grizzle Gray on the ground level of the building;
- Black granite by Terrazzo & Marbe Supply to be used for the kneewalls around the building in Absolute Black (plans also show black granite filling in windows on rear (east elevation) but appears to be a mistake as this conflicts with the color renderings); and
- Metal paneling with a flat finish by MBCI in charcoal gray to screen 2 rooftop units (2' tall above 3' high parapet) and to be used on the building facades to accent the design of the building.

The design requirements for the Downtown Birmingham Overlay District require that at least 90% of the exterior finish material on all facades that face a street shall be limited to glass, brick, cut stone, cast stone, coarsely textured stucco or wood, and that Dryvit and EFIS is prohibited. **The applicant must confirm the percentage of the west elevation that is constructed with the permissible listed finish materials, and must verify that the proposed fiber cement panel is not considered to be Dryvit or EFIS.**

In addition, the Downtown Overlay also requires a minimum of 70% glazing for the first floor storefront facing the street between one and eight feet from the ground. The applicant has stated that the glazing percentage between one and eight feet on the west elevation is 90%, thus meeting the requirement. **The applicant must provide the VLT rating of the glass to ensure that it has at least an 80% VLT.**

Finally, the applicant will be required to provide dimensions for any encroachments into the City right-of-way along N. Old Woodward and/or any encroachments on City property to the north and east of the building to determine if new encroachment standards have been met. The applicant has advised that all projections are 8" over the property line. These need to be clearly marked on a site plan, and can be approved by the Planning Board.

Signage

The applicant is proposing a total of four signs for the building. A name letter sign that reads "Sweetwaters" with letters made of laser cut aluminum painted black is proposed on the north elevation which will measure 1.5' by 14.75' or 22.1 sq.ft in size. In accordance with the Sign Ordinance, name letter signs have a 2' maximum height, and must be mounted at least 8' above grade. The proposed Sweetwaters name letter sign meets the size and placement requirements in the Sign Ordinance. **However, the applicant has not provided the mounting specifications for the proposed name letter sign on the north elevation.**

The applicant is also proposing a painted metal wall sign with the Sweetwaters logo 5.5' high by 5.5' wide for a total of 30.25 sq.ft. to be mounted on the north elevation. In accordance with the Sign Ordinance, wall signs have a 3' high maximum height, they cannot project more than 9" from wall, must be mounted 8' or higher on the wall and shall not extend above the first floor sign band. The proposed Sweetwaters logo wall sign appears to meet the size and placement requirements in the Sign Ordinance. **However, the applicant has not provided mounting specifications for the proposed logo sign on the north elevation to determine the projection from the north wall of the building.**

The applicant is also proposing two window signs with the Sweetwaters logo, one for each of the entry doors. **The specific dimensions for this signage have not been provided, nor have any material specifications**, although they are clearly below the maximum size of 12 sq.ft. in total.

The total proposed signage for the site is at least 52.35 sq.ft., **not including** the two proposed window signs which are not dimensioned. In accordance with Article 1.0, section 1.04 (B) of the Sign Ordinance, Combined Sign Area - For all buildings, including multi-tenant office or retail buildings, the combined area of all types of signs shall not exceed 1 square foot (1.5 square feet for addresses on Woodward Avenue) for each linear foot of principal building frontage.

The linear building frontage on the west elevation (facing N. Old Woodward) is 20' 2", permitting 20.16 sq.ft. of sign area. However, in accordance with Article 3, section 3.02 of the Sign Ordinance, the principal building frontage is the width of the building on the side where the primary entrance to the business is located, which may or may not front a street. The Historic District Commission, Design Review Board or the Planning Board may designate an alternate horizontal building width as the principal building frontage. **Thus, the Planning Board may wish to designate the north elevation along the public parking lot as the principal frontage given the location of the primary entrance to Sweetwaters. The north façade is 80' 3" in length, and thus 80.25 sq.ft. of signage would be permitted for the building.** If the Planning Board selects the north elevation as the principal building frontage, then the total amount of signage proposed would be in compliance with the total permitted for this site.

8.0 Downtown Birmingham 2016 Overlay District

The subject building is located within the Birmingham 2016 Downtown Overlay District, and the proposed renovation implements the recommendations contained in the Downtown Birmingham 2016 Master Plan ("2016 Plan") as the applicant is proposing to renovate and expand the height of an existing building Downtown that is compatible with the context and the desired character of the City.

The proposed development and its uses relate to the pedestrian, as the was built to the property line and is proposed with human scale detailing on the first floor, including canopies, large windows, high quality facades, and pedestrian entrances both on N. Old Woodward and facing public parking lot 6. The 2016 Plan encourages proper building mass and scale to create an environment that is more comfortable to pedestrians creating a walkable downtown. The

2016 Plan also encourages pedestrian-scale features which should be incorporated on the first floor of buildings and at entrances to help relate buildings to the streetscape. The plan for the proposed building includes pedestrian canopies and extensive glazing.

Streetscape components are also an integral part of the 2016 Plan. The applicant is required to maintain the pedestrian scale street lighting and street trees along N. Old Woodward.

9.1 Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions for Final Site Plan & Design approval:

- (1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- (2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- (3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property not diminish the value thereof.
- (4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- (5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- (6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

10.0 Approval Criteria for Special Land Use Permits

Article 07, section 7.34 of the Zoning Ordinance specifies the procedures and approval criteria for Special Land Use Permits. Use approval, site plan approval, and design review are the responsibilities of the City Commission. This section reads, in part:

Prior to its consideration of a special land use application (SLUP) for an initial permit or an amendment to a permit, the **City Commission shall refer the site plan and the design to the Planning Board for its review and recommendation. After receiving the recommendation, the City Commission shall review the site plan and design of the buildings and uses proposed** for the site described in the application of amendment.

The City Commission's approval of any special land use application or amendment pursuant to this section shall constitute approval of the site plan and design.

In accordance with Article 7, section 7.36 of the Zoning Ordinance, the proposed plans for a Special Land Use Permit must meet the following standards for SLUP approval:

1. The use is consistent with and will promote the intent and purpose of this Zoning Ordinance.
2. The use will be compatible with adjacent uses of land, the natural environment, and the capabilities of public services and facilities affected by the land use.
3. The use is consistent with the public health, safety and welfare of the city.
4. The use is in compliance with all other requirements of this Zoning Ordinance.
5. The use will not be injurious to the surrounding neighborhood.
6. The use is in compliance with state and federal statutes.

11.0 Suggested Action

Based on a review of the site plans submitted, the Planning Division recommends that the Planning Board recommend APPROVAL to the City Commission of the applicant's request for Final Site Plan & Design and a SLUP for 588 N. Old Woodward, Sweetwaters Coffee & Tea, with the following conditions to be fulfilled prior to appearing before the City Commission:

1. Applicant will be required to provide all required screening for mechanical units and trash receptacles or obtain variances from the Board of Zoning Appeals;
2. Compliance with all departmental requests;
3. Applicant must confirm the percentage of the west elevation that is constructed with the permissible listed finish materials, and must verify that the proposed fiber cement panel is not considered to be Dryvit or EFIS;
4. Applicant must provide the VLT rating of the glass to ensure that it has at least an 80% VLT;
5. Applicant must provide dimensions for any encroachments into the City right-of-way along N. Old Woodward and/or any encroachments on City property to the north and east of the building to determine if new encroachment standards have been met;
6. The Planning Board designates the north elevation along the public parking lot as the principal frontage given the location of the primary entrance to Sweetwaters, thus permitting up to 80.25 sq.ft. of signage for the building; and
7. Applicant must provide the material, color and mounting specifications for all proposed signage.

12.0 Sample Motion Language

Based on a detailed review of the submitted materials and the satisfaction of all requirements of Article 7, Section 7.36 of the Zoning Ordinance, the Planning Board recommends APPROVAL to the City Commission of the applicant's request for a Special Land Use Permit to operate a food and drink establishment at 588 N. Old Woodward, Sweetwaters Coffee & Tea, with the following conditions to be fulfilled prior to appearing before the City Commission:

12.1.1 Applicant will be required to provide all required screening for mechanical units and trash receptacles or obtain variances from the Board of Zoning Appeals;

12.1.2 Compliance with all departmental requests;

AND

Based on a detailed review of the submitted materials and the satisfaction of all six

requirements of Article 7, Section 7.27 of the Zoning Ordinance, the Planning Board recommends APPROVAL to the City Commission of the Final Site Plan & Design of Sweetwaters Coffee & Tea at 588 N. Old Woodward, with the following conditions to be fulfilled prior to appearing before the City Commission:

1. Applicant must confirm the percentage of the west elevation that is constructed with the permissible listed finish materials, and must verify that the proposed fiber cement panel is not considered to be Dryvit or EFIS;
2. Applicant must provide the VLT rating of the glass to ensure that it has at least an 80% VLT;
3. Applicant must provide dimensions for any encroachments into the City right-of-way along N. Old Woodward and/or any encroachments on City property to the north and east of the building to determine if new encroachment standards have been met;
4. The Planning Board designates the north elevation along the public parking lot as the principal frontage given the location of the primary entrance to Sweetwaters, thus permitting up to 80.25 sq.ft. of signage for the building; and
5. Applicant must provide the material, color and mounting specifications for all proposed signage.

OR

Motion to recommend DENIAL of the Final Site Plan & Design and SLUP to the City Commission for 588 N. Old Woodward , Sweetwaters Coffee & Tea for the following reasons:

1. _____
2. _____

**SWEETWATERS COFFEE & TEA
588 N. OLD WOODWARD
SPECIAL LAND USE PERMIT
2019**

- WHEREAS, Sweetwaters Coffee & Tea applied for a Special Land Use Permit to allow the renovation of the building at 588 N. Old Woodward for use as a food and drink establishment (with no alcohol), on July 7, 2019, such application having been filed pursuant to Article 7, section 7.34 of Chapter 126, Zoning, of the City Code;
- WHEREAS, The land for which the Special Land Use Permit is sought is located on the east side of N. Old Woodward immediately south of the City's parking lot 6;
- WHEREAS, The land is zoned O2 Office/Commercial, which permits a food or drink establishment with a Special Land Use Permit;
- WHEREAS, Article 7, section 7.34 of Chapter 126, Zoning requires a Special Land Use Permit to be considered and acted upon by the Birmingham City Commission, after receiving recommendations on the site plan and design from the Planning Board for the proposed Special Land Use;
- WHEREAS, The applicant submitted an application for a Special Land Use Permit and Final Site Plan to operate a food and drink establishment, Sweetwaters Coffee & Tea, at 588 N. Old Woodward;
- WHEREAS, The Planning Board on July 24, 2019 reviewed the application for the Special Land Use Permit and Final Site Plan and recommended approval with the following conditions to be fulfilled prior to appearing before the City Commission:
1. Applicant will be required to provide all required screening for mechanical units and trash receptacles or obtain variances from the Board of Zoning Appeals;
 2. Compliance with all departmental requests;
 3. Applicant must confirm the percentage of the west elevation that is constructed with the permissible listed finish materials, and must verify that the proposed fiber cement panel is not considered to be Dryvit or EFIS;
 4. Applicant must provide the glazing percentage between one and eight feet on the west elevation, as well as the VLT rating of the glass to ensure that it has at least an 80% VLT;
 5. Applicant must provide dimensions for any encroachments into the City right-of-way along N. Old Woodward and/or any encroachments on City property to the north and east of the building to determine if new encroachment standards have been met;
 6. The Planning Board designates the north elevation along the public parking lot as the principal frontage given the location of the primary entrance to Sweetwaters, thus permitting up to 80.25 sq.ft. of signage for the building; and
 7. Applicant must provide the material, color and mounting specifications for all proposed signage.
- WHEREAS, The applicant has complied with all of the conditions for approval recommended by the Planning Board on July 24, 2019;
-

NOW, THEREFORE, BE IT RESOLVED, That the Birmingham City Commission finds the standards set forth in the City Code have been met and the Sweetwaters Coffee & Tea application for a Special Land Use Permit and Final Site Plan authorizing the addition of a food and drink establishment is hereby approved with the following conditions:

1. Sweetwaters Coffee and Tea shall abide by all provisions of the Birmingham City Code; and
2. The Special Land Use Permit may be canceled by the City Commission upon finding that the continued use is not in the public interest including, but not limited to, violations of the state law or Birmingham City Code.

BE IT FURTHER RESOLVED, That failure to comply with any of the above conditions shall result in termination of the Special Land Use Permit.

BE IT FURTHER RESOLVED, Except as herein specifically provided, Sweetwaters Coffee & Tea and its heirs, successors, and assigns shall be bound by all ordinances of the City of Birmingham in effect at the time of the issuance of this permit, and as they may be subsequently amended. Failure of Sweetwaters Coffee & Tea to comply with all of the ordinances of the city may result in the Commission revoking this Special Land Use Permit.

I, Cherilynn Mynsberge, City Clerk of the City of Birmingham, Michigan, do hereby certify that the foregoing is a true and correct copy of the resolution adopted by the Birmingham City Commission at its regular meeting held on July 24, 2019.

Cherilynn Mynsberge, City Clerk

**Zoning Compliance Summary Sheet
Final Site Plan Review
588 N. Old Woodward**

Existing Site: 1-story commercial building

Zoning: O-2 (Office/Commercial) & D-2 (Downtown Overlay)

Land Use: Vacant

Existing Land Use and Zoning of Adjacent Properties:

	North	South	East	West
Existing Land Use	Public Parking	Retail/ Commercial	Public Parking	Multi-Family Residential
Existing Zoning District	PP, Public Property	O-2, Office/ Commercial	PP, Public Property	R-6, Multiple Family Residential
Overlay Zoning District	D-2	D-2	N/A	N/A

Land Area: Existing: 0.37 ac.
Proposed: 0.37 ac. (no changes proposed)

Dwelling Units: Existing: 0 units
Proposed: 0 units

Minimum Lot Area/Unit: Required: N/A
Proposed: N/A

Min. Floor Area /Unit: Required: N/A
Proposed: N/A

Max. Total Floor Area: Required: N/A
Proposed: N/A

Min. Open Space:	Required:	N/A
	Proposed:	N/A
Max. Lot Coverage:	Required:	N/A
	Proposed:	N/A
Front Setback:	Required:	0 ft.
	Proposed:	0 ft. (no changes proposed)
Side Setbacks	Required:	0 ft.
	Proposed:	0 ft. (no changes proposed)
Rear Setback:	Required:	0 ft.
	Proposed:	0 ft. (no changes proposed)
Min. Front+Rear Setback	Required:	N/A
	Proposed:	N/A
Max. Bldg. Height:	Permitted:	56 ft. (including mechanical)
	Proposed:	25 ft.
Min. Eave Height:	Required:	20 ft.
	Proposed:	20 ft.
Floor-Ceiling Height:	Required:	10 ft.
	Proposed:	20 ft.
Front Entry:	Required:	Yes
	Proposed:	Yes
Absence of Bldg. Façade:	Required:	N/A
	Proposed:	N/A
Opening Width:	Required:	N/A
	Proposed:	N/A
Parking:	Required:	0 spaces
	Proposed:	0 spaces (no changes proposed)
Min. Parking Space Size:	Required:	N/A
	Proposed:	N/A
Parking in Frontage:	Required:	N/A
	Proposed:	N/A

Loading Area:	Required:	N/A
	Proposed:	N/A

Screening:

<u>Parking:</u>	Required:	N/A
	Proposed:	N/A

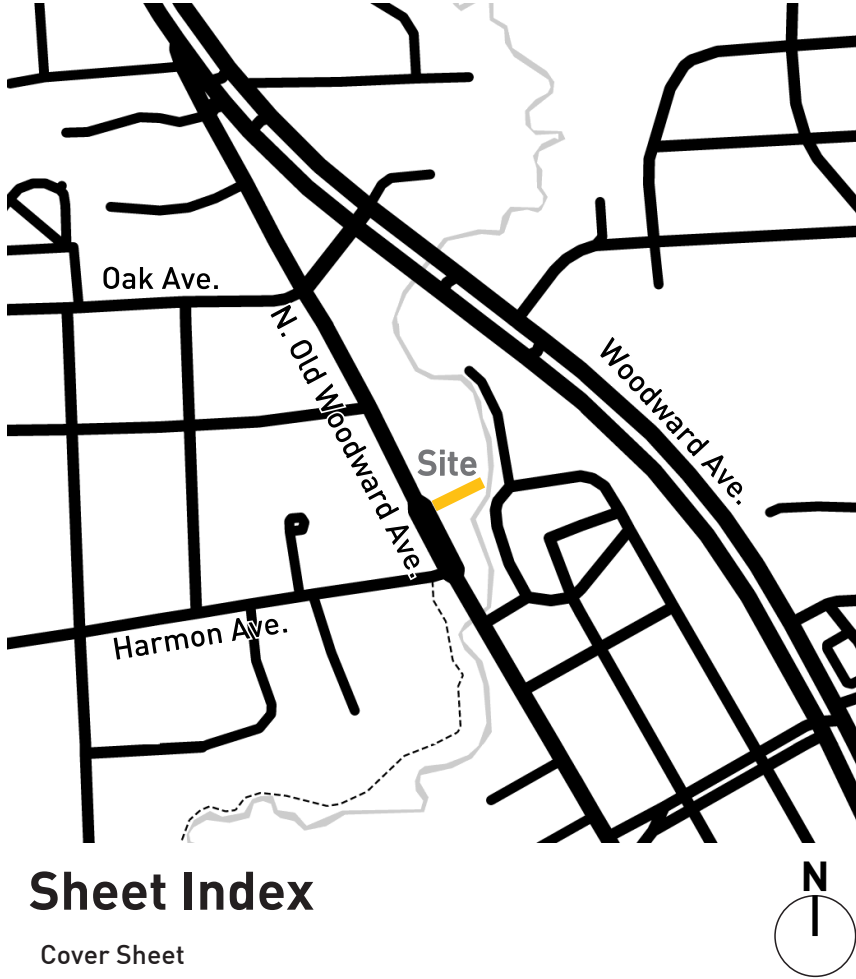
<u>Loading:</u>	Required:	N/A
	Proposed:	N/A

<u>Rooftop Mechanical:</u>	Required:	Screened from view
	Proposed:	Applicant must submit specification sheets for all rooftop mechanical to determine if units will be fully screened by the 5' tall metal panels proposed.

<u>Elect. Transformer:</u>	Required:	N/A
	Proposed:	N/A

<u>Dumpster:</u>	Required:	6' masonry screen wall with gate to match building
	Proposed:	None for two 32 gallon trash receptacles. The applicant will be required to provide screening for outdoor trash storage or obtain a variance from the Board of Zoning Appeals.

Sweetwaters Coffee and Tea



Sheet Index

Cover Sheet	
A - 1.0	Site Photos
A - 1.1	Architectural Site Plan
A - 2.0	Level 1 & Mezzanine Floor Plans
A - 3.0	Front View
A - 4.0	Back View
A - 5.0	Exterior Materials
A - 6.0	Elevations and Section
A - 7.0-8.0	Lighting Catalog Cut Sheets
A - 9.0	Municipal Parking Lot No. 6 Rehabilitation Plan
A-10	N. Old Woodward Ave. Reconstruction Project Plan



N. OLD WOODWARD AVE - VIEW SOUTH



N. OLD WOODWARD AVE. - VIEW NORTH



588 N. OLD WOODWARD - VIEW EAST



AERIAL VIEW

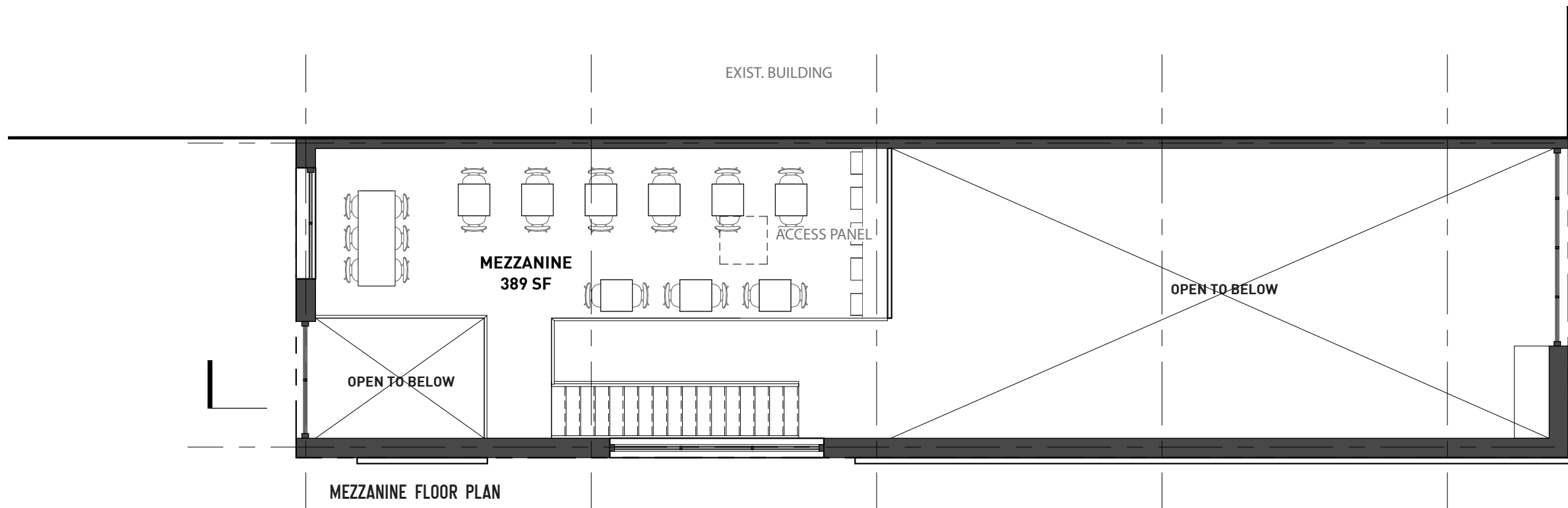


588 N. OLD WOODWARD - VIEW NORTH



588 N. OLD WOODWARD - VIEW WEST





A- 2.0

SITE INFORMATION

Total Site Area 1,600 sq ft

No parking required (provided by adjacent city parking)

Area:

Ground Level:

Cafe: 1,133 sq ft

Back of House: 467 sq ft

Overall: 1,600 sq ft

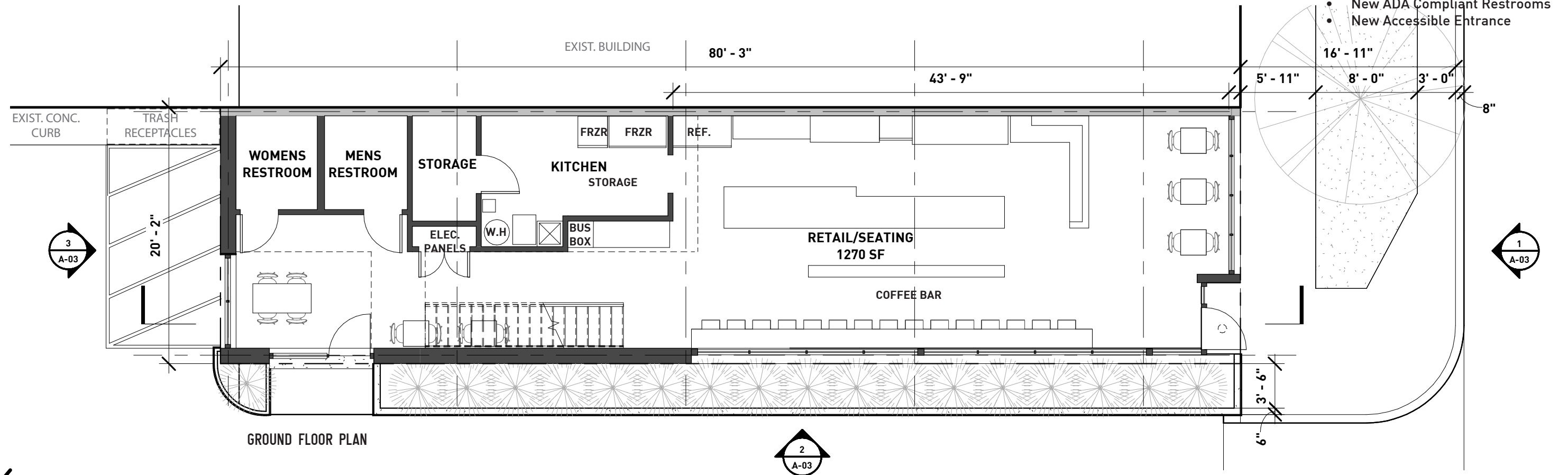
Mezzanine Level:

Overall: 388 sq ft

Total: 1,988 sq ft

Max Occupancy Load: 81

Seating Capacity: 60



- Features:**
- New Mezzanine w/ Open Stair
 - New ADA Compliant Restrooms
 - New Accessible Entrance

SITE INFORMATION

Total Site Area 1,600 sq ft

No parking required (provided by adjacent city parking)

Area:

Ground Level:

Cafe: 1,133 sq ft

Back of House: 467 sq ft

Overall: 1,600 sq ft

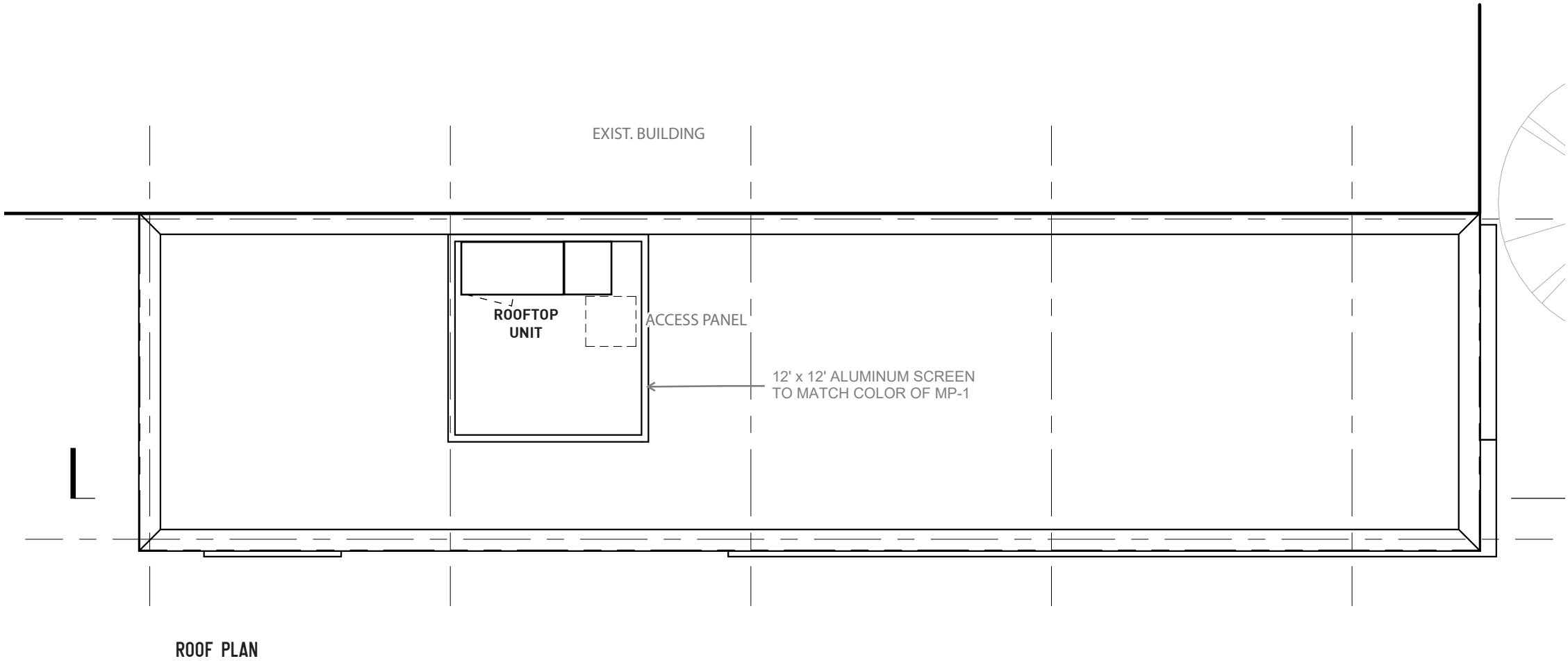
Mezzanine Level:

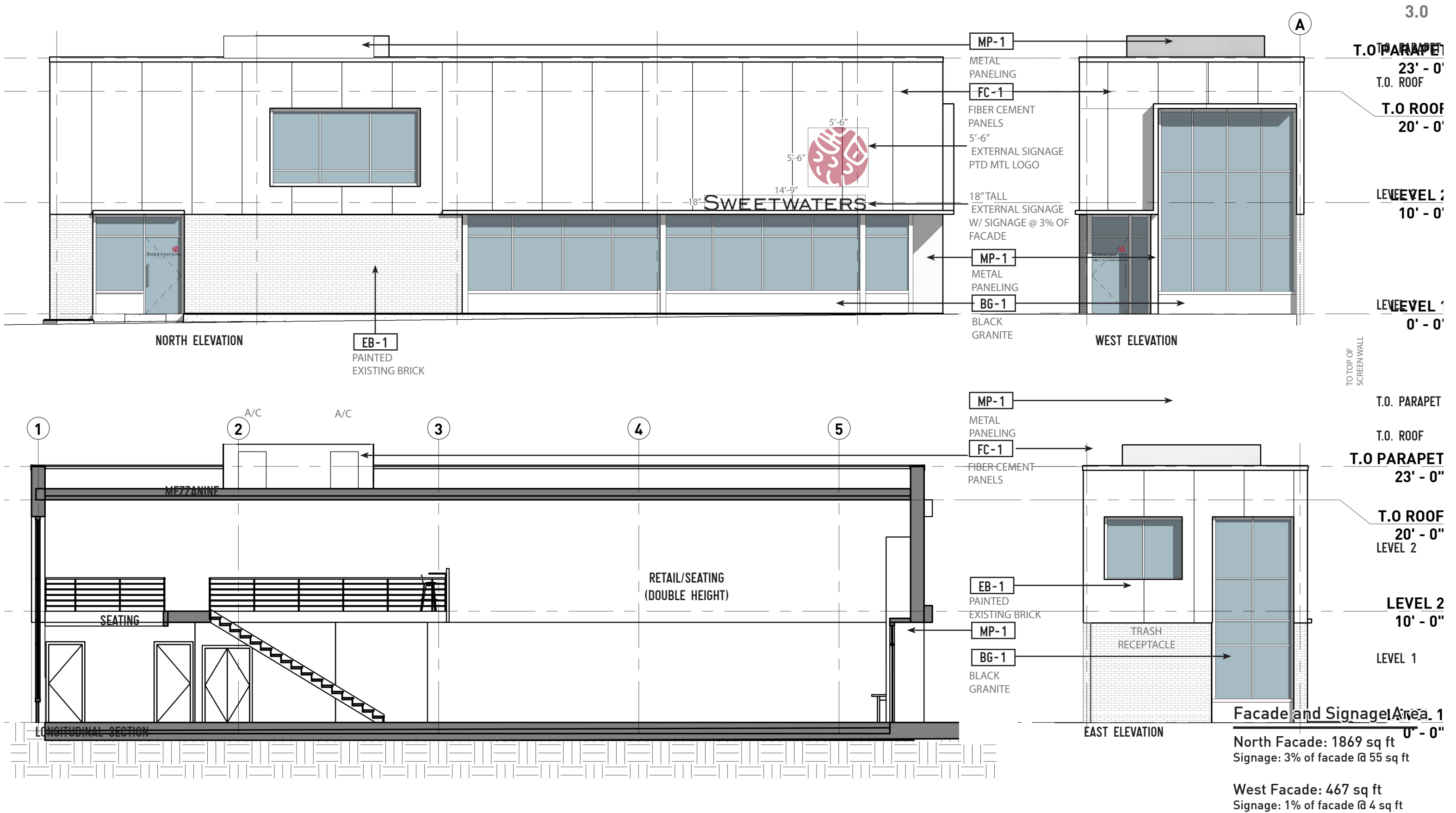
Overall: 388 sq ft

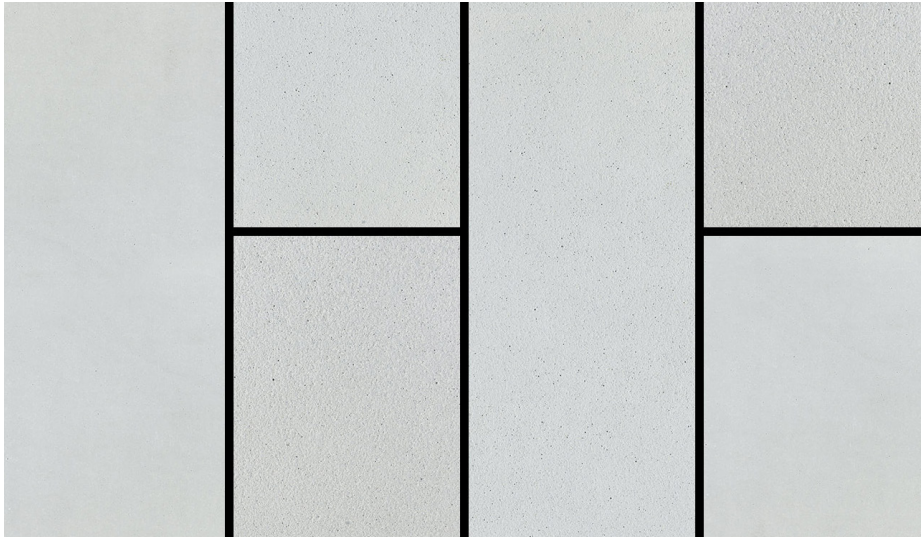
Total: 1,988 sq ft

Features:

- New Mezzanine w/ Open Stair
- New ADA Compliant Restrooms
- New Accessible Entrance







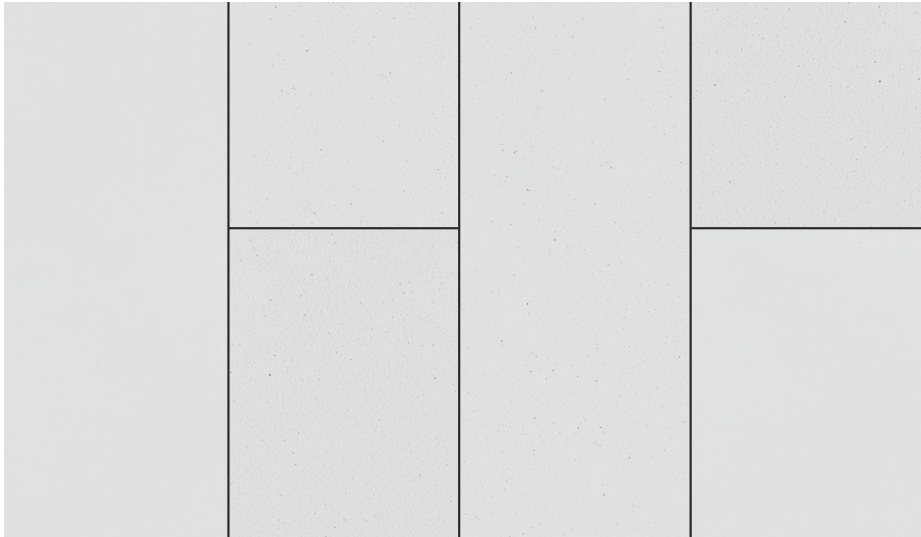
FC-1
FIBER CEMENT PANEL
Size: 3'x10'
Color: Bianco
Style: Oko Skin
Manufacturer: Rieder



BG-1
BLACK GRANITE
Size: Cut to Fit
Color: Absolute Black
Style:Honed Granite
Manufacturer: Terrazzo & Marble Supply



MP-1
METAL PANELING
Size: Cut to Fit
Color: Charcoal Gray
Style: Designer Series - Flat
Manufacturer: MBCI



FC-1
INSULATED METAL PANEL
Size: 3'x10'
Color: Near White
Style: Versawall
Manufacturer: Centria

Alternate



EB-1
PAINTED EXISTING BRICK
Size: N/A
Color: Grizzle Gray
SW 7068
Manufacturer: Sherwin Williams





FEATURES & SPECIFICATIONS

INTENDED USE — The 4" Wafer-Thin LED square recessed downlight with remote driver box combines high quality light output and efficiency while eliminating the pot light housing for competitive affordability. This innovative wafer-slim Type IC design allows easy installation for new construction or remodel from below the ceiling without the requirement of a pot light housing. The LED module maintains at least 70% light output for 36,000 hours. These LED Wafer downlights are intended for closets, attics, hallways, bathrooms, kitchens, basements, soffits, entry ways, porches, garages, stairwells, corridors, nursing/retirement homes, condos, elevators, apartments, and any other small areas.

CONSTRUCTION — IC rated driver and fixture - approved for direct contact with insulation. Aluminum die cast outer frame. Durable, powder coat paint to prevent rust. Square fixture with integral edge-lit LED's. Plenum rated cable connector to connect from module to remote driver box. Isolated driver integrated inside steel remote box with four 7/8" knockouts with slots for pryout. Suitable for pulling wires with the 12 cubic-inch wiring compartment to accommodate up to (8) 14 gauge insulated conductors, or (6) 12 gauge insulated conductors; making the Wafer LED Downlights much easier to wire in 2in/2out (plus ground) daisy-chain applications and contractor friendly.

PATENT PENDING.

INSTALLATION — Ideal for shallow ceiling plenum; no housing required. Steel spring clip for easy installation. 4" cut out template is provided to ensure a correct sized hole is cut into ceiling for proper installation of the trim. Size of hole should not exceed 4 1/4 inches for this product. Suitable for installation in t-grid and drop ceiling applications. 3" plenum space required for installation of the remote driver box.

OPTICS — Wafer-Thin downlight edge-lit LED technology uses light guided plate to distribute light. Polycarbonate lens provides even illumination throughout the space. Utilized 2700K, 3000K, 3500K, 4000K, and 5000K color temperature LEDs.

ELECTRICAL — Connect directly to 120V power supply via provided UL recognized driver. High efficient driver with power factor > 0.9. Ambient operating temperature: -40°F (-40°C) to +104°F (+40°C). Dimming down to 10% (See page 4 for recommended dimmers). Standard input wattage is 10.3W, 60 lumens per watt. Replaces 50W incandescent.

LISTINGS — CSA certified to US and Canadian safety standards. ENERGY STAR® certified. Wet location. Air Tight certified in accordance with ASTM E283-2004. NOM Certified.

WARRANTY — 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/resources/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Catalog Number
Notes
Type

Wafer LED Recessed Downlight

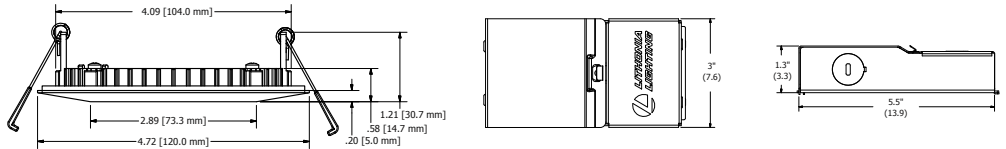
WF4 4" LED Module

IC/Non-IC New Construction/Remodel



Specifications

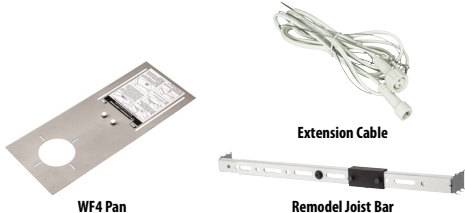
Aperture:	3.2 (8.1)
Ceiling opening:	4.2 (10.7)
Overlap trim:	4.7 (12.0)
Height:	1.1 (2.8)



All dimensions are inches (centimeters) unless otherwise indicated.

ORDERING INFORMATION		For shortest lead times, configure product using standard options (shown in bold) .		Example: WF4 SQ B LED 30K MW	
WF4SQS	LED	27K	MB		
Series	Lamp	CCT/CRI/W/Lumens ¹	Finish		
WF4 SQ B ^{2,3}	4" wafer-thin square LED downlight, baffle trim	27K 2700K/80CRI/10.4W/610L	MW Matte White		
WF4 SQ S ^{4,5,6}	4" wafer-thin square LED downlight, smooth trim	30K 3000K/80CRI/10.3W/620L	MB Matte Black		
		35K 3500K/80CRI/10.2W/630L	BN Brushed Nickel		
		40K 4000K/80CRI/10.28W/650L	ORB Oil-Rubbed Bronze		
		50K 5000K/80CRI/10.2W/670L			

Accessories: Order as separate catalog number.	
WF4 PAN R12	4" new construction pan, retail pack of 12
WFJB U	Remodel joist bar
WFEXC6 U	6' FT4 cable
WFEXC10 U	10' FT4 cable
WFEXC20 U	20' FT4 cable



Notes

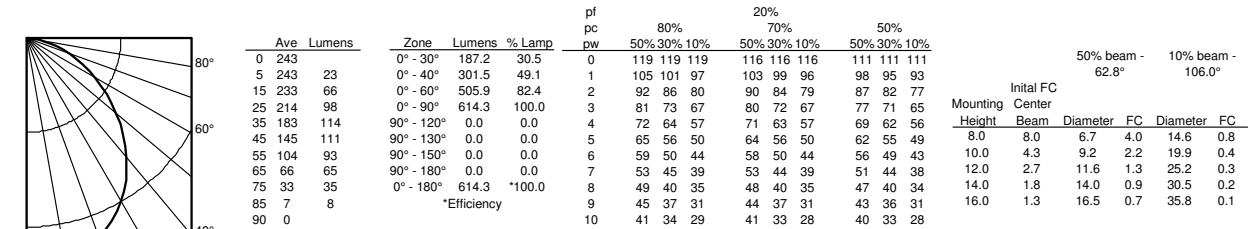
- 1 Total system delivered lumens.
- 2 WF SQ B 35K available in MW finish only.
- 3 WF SQ B 50K available in MW finish only.
- 4 WF4 SQ S 35K available in MW finish only.
- 5 WF4 SQ S 40K available in BN, &MB, ORB finish only.
- 6 WF4 SQ S 50K available in MW only.

WF4 SQ 4" LED Wafer Module

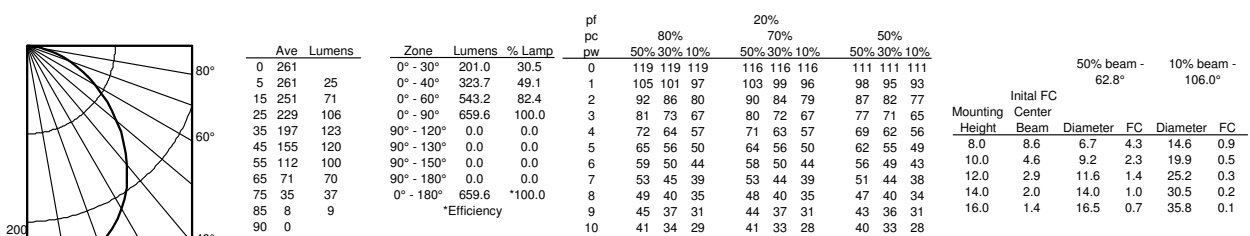
PHOTOMETRICS

Distribution Curve	Distribution Data	Output Data	Coefficient of Utilization	Illuminance Data at 30° Above Floor for a Single Luminaire			
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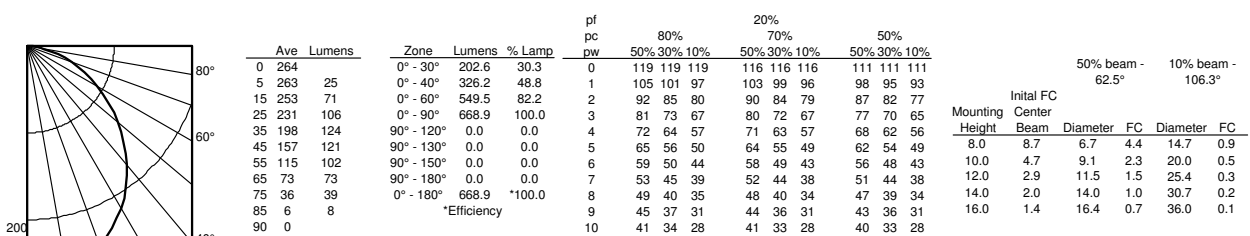
WF4 SQ S LED 27K, 2700K LEDs, input watts: 10.66, delivered lumens: 614, LM/W=57.9, test no. ISF 33169P4



WF4 SQ S LED 30K, 3000K LEDs, input watts: 10.23, delivered lumens: 659, LM/W=64.4, test no. ISF 33169PS



WF4 SQ S LED 35K, 3500K LEDs, input watts: 10.1, delivered lumens: 670, LM/W=66, test no. ISF 35409



ENERGY DATA & DIMMER COMPATIBILITY

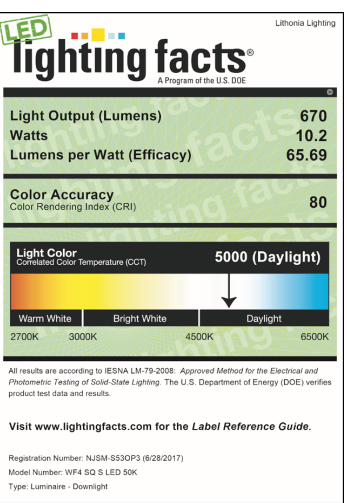
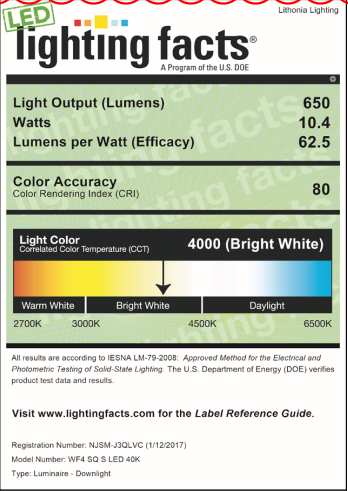
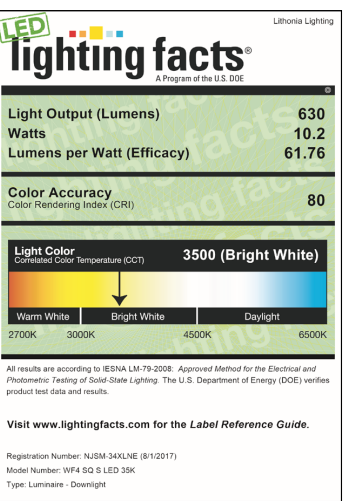
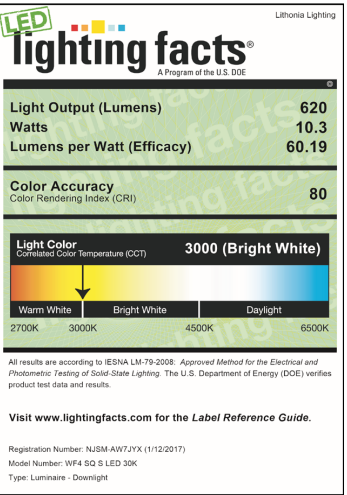
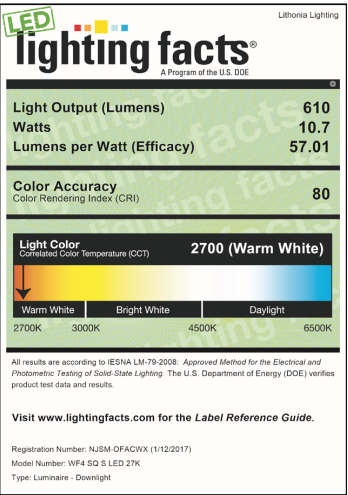
4" SMOOTH ENERGY DATA					
Color Temperature	2700K	3000K	3500K	4000K	5000K
Lumens	610	620	630	650	670
CRI	>80				
Lumens/Watt	57.01	60.19	61.76	62.5	65.69
Min. starting temperature	-40°C (-40°F)				
EMI/RFI	FCC Title 47 CFR, Part 15, Class B				
Sound Rating	A Standards				
Input voltage	120V				
Min. power factor	0.99				
Input frequency	50/60HZ				
Rated wattage	10.7	10.3	10.2	10.4	10.2
Input power	10.7	10.3	10.2	10.4	10.2
Input current	.08A				

4" BAFFLE ENERGY DATA					
Color Temperature	2700K	3000K	3500K	4000K	5000K
Lumens	610	620	630	650	670
CRI	>80				
Lumens/Watt	58.65	59.85	61.76	63.23	65.69
Min. starting temperature	-40°C (-40°F)				
EMI/RFI	FCC Title 47 CFR, Part 15, Class B				
Sound Rating	A Standards				
Input voltage	120V				
Min. power factor	0.99				
Input frequency	50/60HZ				
Rated wattage	10.4	10.36	10.2	10.28	10.2
Input power	10.4	10.36	10.2	10.28	10.2
Input current	.08A				

COMPATIBLE DIMMERS					
Leviton	Lutron		Sensorswitch	Synergy/Leviton	
6633-PA	Maestro MACL-153M (TX)	Diva/Skylark DVRP-253PCTRP-253P	Panel Module HW/LP-RPM-4A-120	nSP5 PCD 2W	ISD 600 I 120/IP106
IPL06-LED/INC mode	Maestro Wireless MRF2-6ELV	Skylark CTCL-150	Panel Module HW/LP-RPM-4U-120	nSP5 PCD ELV 120	ISD 400 ELV 120/IPE04
6615-P	Gen 3.0 DVCL-153P (T9)	Caseta Wireless PD-5NE	Grafik QS/Wallbox LQRJ-WPM-6P		
	Maestro MSCL-OP153M	Maestro MACL-LFQ	Grafik Eye 3000 Family HWI-WPM-6D-120		
	Caseta Wireless PD-6WCL	RadioRA2 RRD-6NA	HomeWorksQS / my Room LQSE-4A1-D/ MQSE-4A1-D/MQSE-3A1/MQSE-2A1-D,120V		
	Grafik T GT-5NEM / GTJ-5NEM	HomeWorks HQRD-6NA	Homeworks QS LQSE-4A-120-D		

*Requires Lutron Smart Bridge L-BDG2-WH (sold separately)

LIGHTING FACTS



WF4 SQ

DOWNLIGHTING: One Lithonia Way, Conyers, GA 30012 Phone: 800-315-4935 Fax: 770-860-3129 www.lithonia.com © 2017-2019 Acuity Brands Lighting, Inc. All rights reserved. Rev. 04/05/19



WF4 SQ

DOWNLIGHTING: One Lithonia Way, Conyers, GA 30012 Phone: 800-315-4935 Fax: 770-860-3129 www.lithonia.com © 2017-2019 Acuity Brands Lighting, Inc. All rights reserved. Rev. 04/05/19



Jana Ecker <jecker@bhamgov.org>

588 Old Woodward: Responses to your phone call

1 message

John Skok <JSkok@mcintoshporis.com>

Fri, Jul 19, 2019 at 2:59 PM

To: Jana Ecker <Jecker@bhamgov.org>

Cc: Michael Poris <MPoris@mcintoshporis.com>, Ian Templeton <ITempleton@mcintoshporis.com>, Logan Kaiser <lkaiser@mcintoshporis.com>, "peterfaranace@yahoo.com" <peterfaranace@yahoo.com>, "kevin@lovellcontractors.com" <kevin@lovellcontractors.com>

Hi Jana,

I have a few responses in Red below to your phone message:

1. What is the rooftop unit being proposed? We will bring a cut sheet showing the rooftop unit and its dimensions to our hearing. It was sized today to be a 7.5 ton cooling unit.
2. What is the glass spec for the building? All proposed glazing around the building will be black factory painted aluminum storefront glazing system with 1" insulated low-e "clear" glass.
3. Does the West façade materials meet the zoning intent for the retail overlay. Please also confirm that 90% is the preferred materials identified in the ordinance. The "white" material shown on the upper portion of the three facades of the building could possibly have different finishes (based on actual cost estimates). Ideally we would propose to use a cement board siding installed as a rainscreen with open joints – similar to the boards on Lutz Real Estate, but in a different color. We are also considering a flush metal insulated panel or a troweled finish stucco with a reglet joint pattern. All three of these finish options can achieve the desired design intent. The metal panel does not meet the specific intent of the ordinance but we would like the commission to approve it so we have options that can be considered based on final pricing. If any of these are accepted, the front façade will have 97% approved materials.
4. What is the % of glazing area on the West elevation between 1'-8' above grade? 90%
5. There seems to be a projection from the building above windows and doors over the property line. How far are those projections into the City's property? 8"
6. Clarify the signage intent of the logo and lettering on the North façade? It is laser cut aluminum, painted to match the black aluminum. How is it attached? The "Sweetwaters" lettering is attached as standing letters riveted or screwed to the top of the 8" projection above the windows. The "Logo" is laser cut aluminum, painted to match the company brand standard red. This logo is attached using aluminum standoffs from the cladding. A signage company will issue final drawings of attachment at a later date. Do they project from the wall? Both will be inline when viewed from outside, so we intend that they both will be 8" from the building. Are these lit? No.

If you have any other questions, just let us know. I'll bring physical samples and backup information to the hearing.

Thank You,

John

John Skok, LEED AP

Principal

**MCINTOSH
PORIS ASSOCIATES**

Architecture Interiors Planning

7/19/2019

City of Birmingham MI Mail - 588 Old Woodward: Responses to your phone call

36801 Woodward Avenue, Suite 200
Birmingham, Michigan 48009
T (248) 258-9346 x18

M (313) 304-0114

jskok@mcintoshporis.com

www.mcintoshporis.com

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 **Please consider the environment before printing this email**



MEMORANDUM

Planning Division

DATE: July 24th, 2019

TO: Planning Board Members

FROM: Nicholas Dupuis, City Planner

APPROVED: Jana Ecker, Planning Director

SUBJECT: 34745 Woodward – Jax Kar Wash – Final Site Plan & Design Review

The applicant has submitted a Final Site Plan and Design Review application to make minor site and building design changes to 34745 Woodward – Jax Kar Wash. The roughly 0.59 acre site is currently home to the aforementioned Jax Kar Wash and associated parking and service equipment. The applicant is proposing to update their site to include the relocation of detailing spaces to the north side of the building and a redesign of the vehicular circulation, including parking, and minor changes to the existing building and signage.

1.0 Land Use and Zoning

- 1.1 Existing Land Use – The site is currently used as commercial and parking, and contains the Jax Kar Wash and its associated parking.
- 1.2 Zoning – The property is zoned B-2 (General Business), and D-4 in the Downtown Overlay District.
- 1.3 Summary of Adjacent Land Use and Zoning – The following chart summarizes existing land use and zoning adjacent to and/or in the vicinity of the subject site, including the 2016 Regulating Plan.

	North	South	East	West
Existing Land Use	Commercial/ Office	Mixed Use	Commercial	Commercial/ Office
Existing Zoning District	B-4, Business - Residential	B-3, Office - Residential	O-2, Office/ Commercial	B-2, General Business
Overlay Zoning District	D-4	D-4	MU-5	D-3

2.0 Setback and Height Requirements

The attached summary analysis provides the required and proposed bulk, area, and placement regulations for the proposed project.

3.0 Screening and Landscaping

3.1 Dumpster Screening – The applicant is not proposing any changes to the existing dumpster or associated screening. The existing dumpster is located in a corner at the rear of the property and screened with wood fencing.

3.2 Parking Lot Screening – Article 4, Section 4.54(C)(3)(d) of the Zoning Ordinance requires that a masonry screenwall be placed along the front or side of any parking facility that abuts a street. The applicant has not proposed to screen the updated lot. **The applicant must screen the parking lot in accordance with Section 4.54 of the Zoning Ordinance, or obtain a variance from the Board of Zoning Appeals.**

3.3 Mechanical Equipment Screening – There are no changes to proposed to the existing mechanical equipment on site, and there are no new units proposed.

3.4 Landscaping – Article 4, Section 4.20(C)(1) of the Zoning Ordinance exempts any property in the Downtown Overlay District from the standards outlined in Section 4.20(F) – Parking Lot Landscaping. However, the applicant has shown a circular landscape area on the proposed site plans. Although no landscaping is required, the applicant has submitted a landscape plan showing a central honeylocust tree surrounded by gro-lo fragrant sumac and liriopé plantings in the proposed raised circular landscaping bed.

Article 4, Section 4.20(G) requires at least one street tree for each 40 ft. of linear frontage. The applicant has roughly 185 linear feet of frontage along Brown Street, and roughly 105 linear feet of frontage along Woodward Avenue. Thus, the applicant is required to provide 5 street trees along Brown and 3 street trees along Woodward for a total of 8 street trees. The applicant has proposed 5 street trees on Brown, and no street trees on Woodward. **The applicant must submit plans showing 5 street trees on Brown and 3 street trees on Woodward for a total of 8 street trees, obtain a variance from the Board of Zoning Appeals, or obtain a waiver from the Staff Arborist.**

The applicant submitted a waiver on July 16, 2019 to the Staff Arborist for the 3 required street trees along the Woodward frontage.

3.5 Streetscape Elements – As described above, the applicant is proposing to plant 5 street trees along Brown. There are no other streetscape improvements proposed. **The Planning Board may wish to require the applicant to install benches, waste receptacles, or bike racks.**

4.0 Parking, Loading and Circulation

- 4.1 Parking – The proposed development and its commercial use is located in the Downtown Parking Assessment District; thus no parking is required on site for the commercial use. The existing site contains 17 off-street parking spaces in both the front and rear of the building. The proposed site redesign rearranges the parking with 10 traditional parking spaces to be located in the rear, and 6 quasi parking spaces in front at the proposed detailing spaces for a total of 16 off-street parking spaces. The applicant has stated in the application that 9 of the traditional parking spaces will be greater than or equal to the 180 sq. ft. standard, while 1 space will be less than 180 sq. ft.
- 4.2 Loading – The proposed site changes do not include an increase in square footage to the building, nor a change in use. No changes to loading are proposed.
- 4.3 Vehicular Circulation and Access – The existing main point of entry for vehicles seeking service is on Brown Street at the west end of the property. There exists an entrance/exit to a parking facility at the east end of the property at Woodward, and one large exit on Woodward. The applicant is proposing to remove the eastern entry/exit on Brown and relocate it roughly 45 ft. west to be utilized as an exit from the detailing stations in front of the building. Access to the detail stations is proposed via a “U-turn” from the exit of the car wash facility.
- 4.4 Pedestrian Circulation and Access – The applicant is proposing a new entrance to the existing lobby located at the front of the building. No other changes are proposed.

5.0 Lighting

The applicant is not proposing any changes to the lighting on the site. The photometric plan submitted is from the existing sit plan approval for reference.

6.0 Departmental Reports

- 6.1 Engineering Division – The Engineering Division has not provided any comments at this time. All comments received will be provided at the Planning Board meeting on July 24, 2019.
- 6.2 Department of Public Services – The Department of Public Services has no concerns at this time.
- 6.3 Fire Department – The Fire Department has no concerns at this time.
- 6.4 Police Department – The Police Department has no concerns at this time.
- 6.5 Building Division – The Building Division has not provided any comments at this time. All comments received will be provided at the Planning Board meeting on July 24th, 2019.

7.0 Design Review

As noted above, the applicant is making minor changes to the building on site, while focusing the majority of proposed changes on the site circulation. The proposed changes to the building include a new entry door to the existing lobby located along the Woodward frontage, and new signage. Site design changes include a new attendant booth, 3 new service canopies, and 6 new vacuum detail stations.

Lobby Entrance – The proposed lobby entrance will replace an existing large window. The door will be a Kawneer 250T Insulpour single clear glass and aluminum metal door with Trifab 451T framing system. The doorframe is proposed to match the building color theme.

Signage – The site currently contains one wall sign, one roof sign, and one pole sign for a total of three existing signs. The proposed signage design plan details one new wall sign, two new name letter signs, the removal of the existing pole sign, and no changes to the roof sign, for a total of four signs. The following table outlines the details of the proposed signage:

Sign Content	Sign Type	Dimensions	Illumination
"Jax Kar Wash"	Wall Sign	27.5 SF	Reverse Halo Lit
"Kar Wash"	Name Letter Sign	24.3 SF	Reverse Halo Lit
"Kar Wash"	Name Letter Sign	32.9 SF	Reverse Halo Lit
"Jax Kar Wash"	Roof Sign (Existing)	63 SF	None

The Sign Ordinance requires that combined sign area be calculated based on the principal building frontage, which is defined as the width of the building on the side where the primary entrance to the business is located, which may or may not front a street. The Historic District Commission, Design Review Board or Planning Board may designate an alternate horizontal building width as the principal building frontage for signage purposes. The primary entrances are along the Woodward frontage (pedestrian) and along the rear of the building (vehicular). The applicant has requested and has designed signage using the Brown Street horizontal building width as their frontage, in which the applicant is permitted a combined sign area of 1.5 square feet per each linear foot of principal building frontage (135 linear feet). The applicant is proposing 147.7 square feet of building signage where 202.5 square feet is permitted.

In addition to the building signage, the 3 proposed canopies will contain signage as defined by Article 3, Section 3.02 of the Sign Ordinance. The applicant has indicated that the signs may read "Auto Attendant", but the content is not shown or confirmed on the plans, nor is the dimensions of these signs. **The applicant must submit the canopy signage for approval by the Planning Division prior to installation.**

Detail Stations and Service Canopies – The 6 proposed detail stations will consist of 12 vacuum stanchions and a PVC pipe network running below grade, then up the side of the building to a disposal area within the building. The approximately 2 ft. stanchions are proposed to be blue ("Honor Blue") in color with blue tubing and yellow ("Daisy") detailing to match the Jax Kar Wash brand. The above-ground PVC vacuum tubing is proposed to be painted brown ("Quartersawn Oak") to blend with the existing brick as much as possible

and grey ("Roycoft Pewter") to match the existing metal coping.

The 3 proposed service canopies in the rear of the building will consist of an "auto attendant" kiosk, canopy, and barrier gate arm. The applicant is proposing the service canopies to follow the same brand color scheme with blue canopy columns, yellow canopy, and grey kiosks.

The applicant has not yet submitted material samples. **The applicant must submit material samples to complete the design review.**

8.0 Required Attachments

	Submitted	Not Submitted	Not Required
Existing Conditions Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Scaled Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Certified Land Survey	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Interior Floor Plans	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Photometric Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Colored Elevation Drawings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Material Specification Sheets	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Material Samples	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Existing Site Photographs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Aerial Photographs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Proof of Ownership	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

9.0 Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- 1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- 2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- 3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property and not diminish the value thereof.
- 4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- 5) The proposed development will be compatible with other uses and buildings in the

neighborhood and will not be contrary to the spirit and purpose of this chapter.

- 6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

10.0 Recommendation

Based on a review of the site plan revisions submitted, the Planning Division recommends that the Planning Board **APPROVE** the Final Site Plan and Design Review for 34745 Woodward – Jax Kar Wash – pending receipt of the following:

1. The applicant screen the parking lot in accordance with Section 4.54 of the Zoning Ordinance, or obtain a variance from the Board of Zoning Appeals;
2. The applicant submit plans showing 5 street trees on Brown and 3 street trees on Woodward for a total of 8 street trees, obtain a variance from the Board of Zoning Appeals, or obtain a waiver from the Staff Arborist;
3. The applicant submit the canopy signage for approval by the Planning Division prior to installation;
4. The applicant submit material samples to complete the design review; and
5. The applicant comply with the requests of all City departments.

11.0 Sample Motion Language

Motion to **APPROVE** the Final Site Plan and Design Review for 34745 Woodward – Jax Kar Wash – pending receipt of the following:

1. The applicant screen the parking lot in accordance with Section 4.54 of the Zoning Ordinance, or obtain a variance from the Board of Zoning Appeals;
2. The applicant submit plans showing 5 street trees on Brown and 3 street trees on Woodward for a total of 8 street trees, obtain a variance from the Board of Zoning Appeals, or obtain a waiver from the Staff Arborist;
3. The applicant submit the canopy signage for approval by the Planning Division prior to installation;
4. The applicant submit material samples to complete the design review; and
5. The applicant comply with the requests of all City departments.

OR

Motion to **DENY** the Final Site Plan and Design Review for 34745 Woodward – Jax Kar Wash – for the following reasons:

1. _____
2. _____
3. _____

OR

Motion to **POSTPONE** the Final Site Plan and Design Review for 34745 Woodward – Jax Kar Wash – for the following reasons:

1. _____
2. _____
3. _____

**Zoning Compliance Summary Sheet
Final Site Plan Review
34745 Woodward – Jax Kar Wash**

Existing Site: 1-Story Commercial Building – Jax Kar Wash

Zoning: B-2 (General Business) & D-4 (Downtown Overlay)

Land Use: Commercial

Existing Land Use and Zoning of Adjacent Properties:

	North	South	East	West
Existing Land Use	Commercial/ Office	Mixed Use	Commercial	Commercial/ Office
Existing Zoning District	B-4, Business - Residential	B-3, Office - Residential	O-2, Office/ Commercial	B-2, General Business
Overlay Zoning District	D-4	D-4	MU-5	D-3

Land Area:	Existing:	0.59 ac.
	Proposed:	0.59 ac. (no changes proposed)
Dwelling Units:	Existing:	0
	Proposed:	0
Minimum Lot Area/Unit:	Required:	1,000 sq. ft. (single story hotel or motel) 500 sq. ft. (two/three story hotel or motel) 1,280 sq. ft. (multiple family)
	Proposed:	0 sq. ft. (no units proposed)
Min. Floor Area /Unit:	Required:	300 sq. ft. (single story hotel or motel) 600 sq. ft. (efficiency and one bedroom) 800 sq. ft. (two or more bedroom)
	Proposed:	0 sq. ft. (no units proposed)

Max. Total Floor Area:	Required:	100%
	Proposed:	26% (no changes proposed)
Min. Open Space:	Required:	N/A
	Proposed:	N/A
Max. Lot Coverage:	Required:	N/A
	Proposed:	N/A
Front Setback:	Required:	0 ft.
	Proposed:	0 ft. (no changes proposed)
Side Setbacks	Required:	Not Required
	Proposed:	≈ 25 ft. & 5 ft. (no changes proposed)
Rear Setback:	Required:	Equal to adjacent, preexisting building
	Proposed:	≈ 37 ft. (no changes proposed)
Min. Front+Rear Setback	Required:	N/A
	Proposed:	N/A
Max. Bldg. Height:	Permitted:	80 ft., four or five stories
	Proposed:	≈ 16 ft. (no changes proposed)
Min. Eave Height:	Required:	20 ft.
	Proposed:	≈ 14 ft. (no changes proposed)
Floor-Ceiling Height:	Required:	N/A
	Proposed:	N/A
Front Entry:	Required:	N/A
	Proposed:	N/A
Absence of Bldg. Façade:	Required:	N/A
	Proposed:	N/A
Opening Width:	Required:	N/A
	Proposed:	N/A
Parking:	Required:	N/A (Parking Assessment District)
	Proposed:	10 traditional spaces 6 detailing spaces
Min. Parking Space Size:	Required:	180 sq. ft.
	Proposed:	9 ≥ 180 sq. ft. 1 < 180 sq. ft.

Parking in Frontage: Required: N/A
Proposed: N/A

Loading Area: Required: 0
Proposed: 0

Screening:

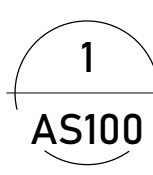
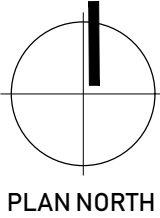
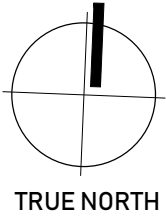
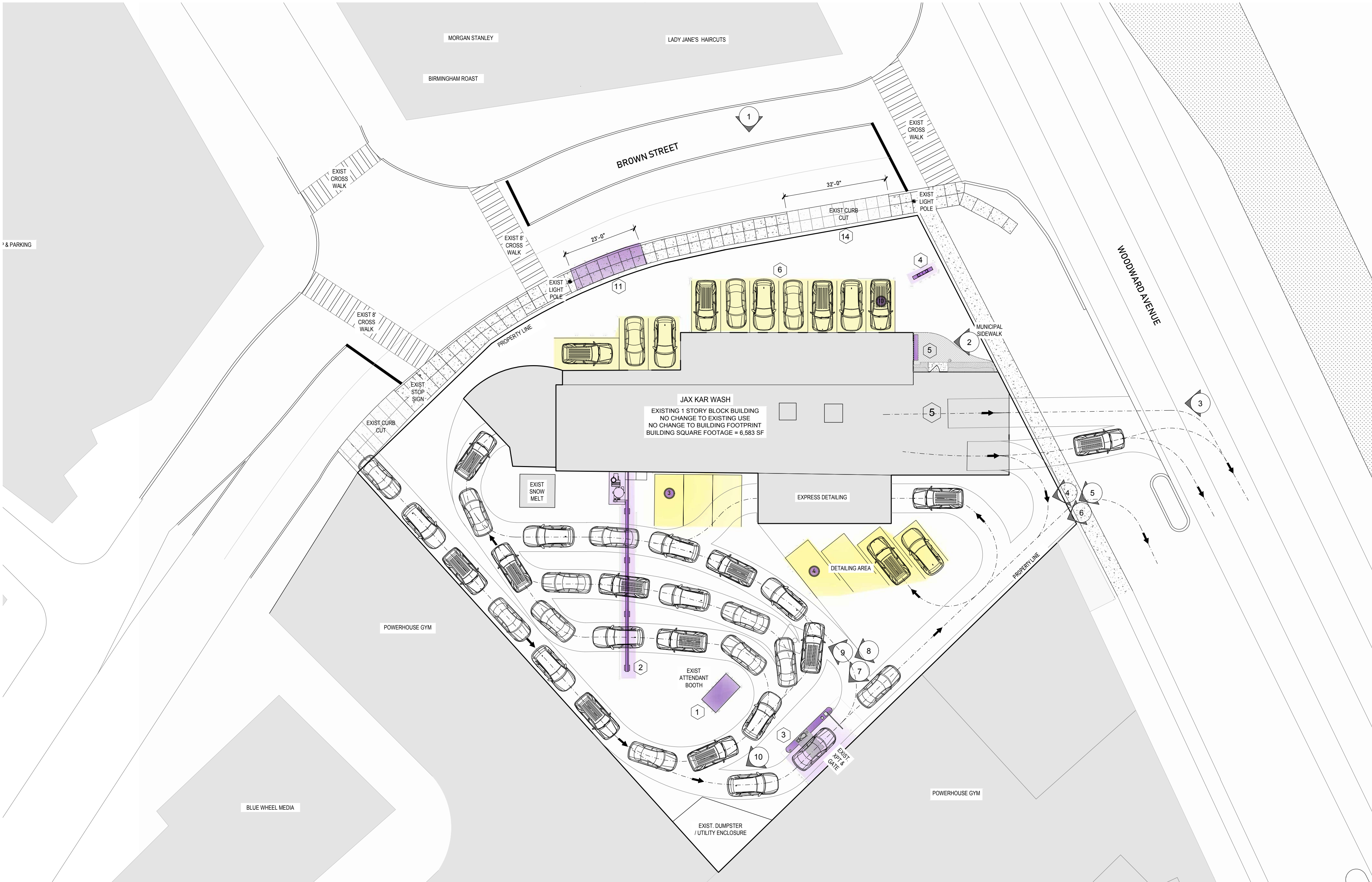
Parking: Required: Required along the front & side
Proposed: No screening proposed (**The applicant must submit plans showing parking lot screening along the front and side of the parking facility, or obtain a variance from the Board of Zoning Appeals**)

Loading: Required: N/A
Proposed: N/A

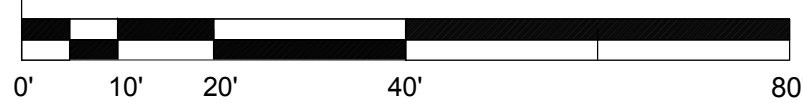
Rooftop Mechanical: Required: Fully screened from public view
Proposed: **No changes proposed**

Elect. Transformer: Required: Fully screened from public view
Proposed: N/A (**no transformers existing or proposed**)

Dumpster: Required: Masonry screenwall with wood gates
Proposed: Wood fence screening (**no changes proposed**)



EXISTING ARCHITECTURAL SITE PLAN



SCALE: 1"=20'-0"



1 4 6



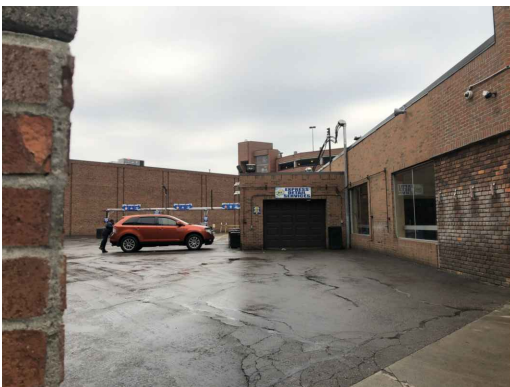
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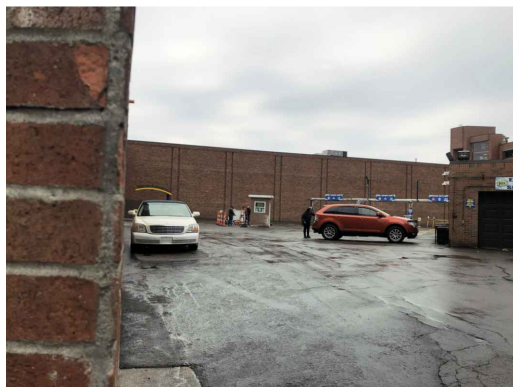
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5



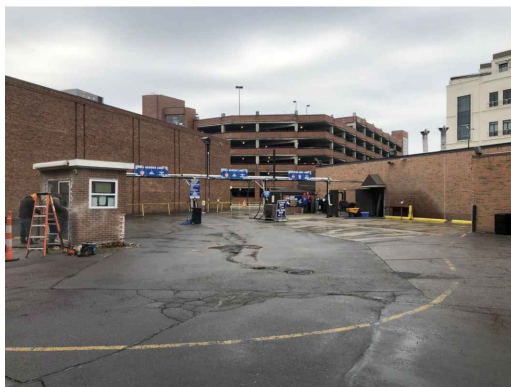
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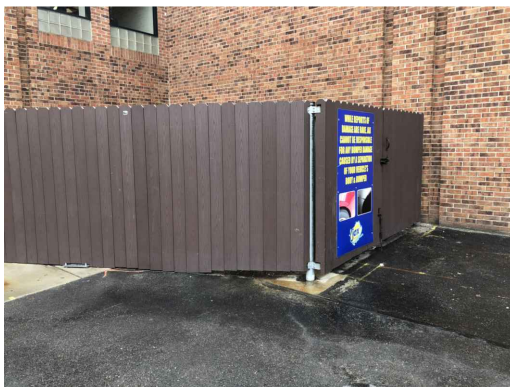
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8 1



9 2



10

EXISTING SITE - PHOTOS

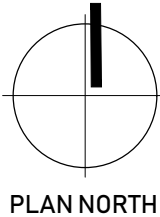
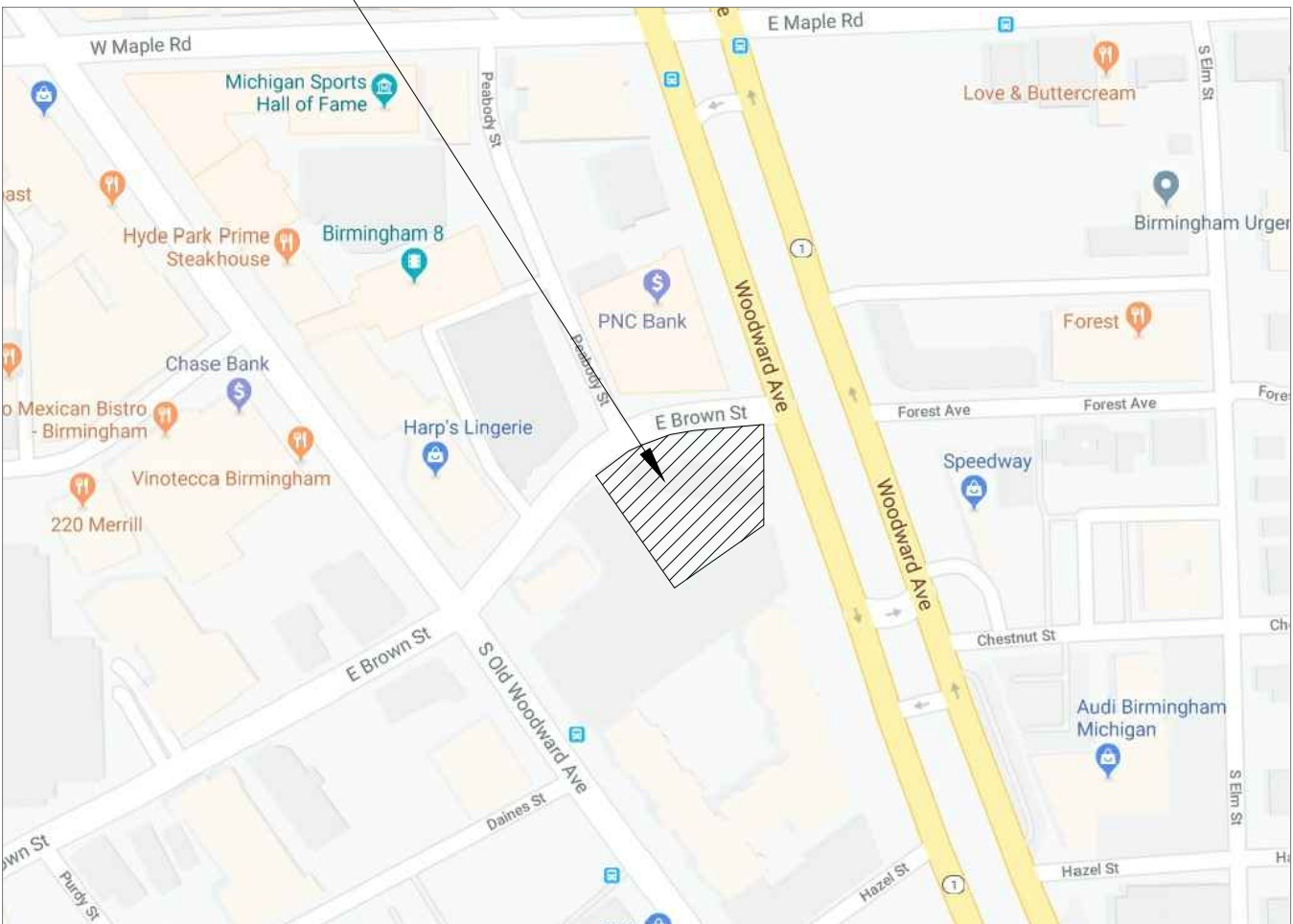
1. **NAME & ADDRESS OF APPLICANT AND PROOF OF OWNERSHIP:**
JASON MILEN
JAX KAR WASH
34745 WOODWARD AVENUE,
BIRMINGHAM, MI 48009
2. **NAME OF DEVELOPMENT:**
JAX KAR WASH
3. **ADDRESS OF SITE AND LEGAL DESCRIPTION OF THE REAL ESTATE:**
34745 WOODWARD AVENUE

LEGAL DESCRIPTION:
LAND IN THE CITY OF BIRMINGHAM, COUNTY OF OAKLAND, STATE OF MICHIGAN DESCRIBED AS:
THE EASTERLY PART OF LOT 4 MEASURING 12.4 FEET ON THE NORTH LINE AND 18.23 FEET ON
THE SOUTH LINE, ALL OF LOTS 5 THROUGH 7 EXCEPT THAT PART TAKEN FOR ROAD PURPOSES,
"WILLIAM HART SUBDIVISION," AS RECORDED IN LIBER 8 OF PLATS, PAGE 9 OF THE OAKLAND
COUNTY RECORDS: BEING MORE PARTICULARLY DESCRIBED AS BEGINNING AT THE
SOUTHEAST CORNER OF SAID LOT 7: THENCE S54d 24' 24"W 154.83 FEET; THENCE N33d 26' 35"W
166.95 FEET, TO A POINT ON THE SOUTHERLY LINE OF BROWN STREET (FORMERLY FOREST
AVENUE); THENCE ALONG SAID SOUTHERLY LINE OF BROWN STREET (FORMERLY FOREST
AVENUE); N54d 40'00"E 57.34 FEET AND 79.81 FEET ALONG THE ARC OF CURVE TO THE RIGHT
RADIUS 129.52 FEET, CENTRAL ANGLE 35d 18' 14" CHORD BEAR N76d 48' 13"E 78.85 FEET AND N88d
34'36"E 60.31 FEET TO A POINT ON THE WESTERLY LINE OF WOODWARD AVENUE (FORMERLY
HUNTER BOULEVARD); THENCE ALONG SAID LINE S18d 39' 22"E 107.43 FEET TO THE POINT OF
BEGINNING.

4. **LEGEND AND NOTES, INCLUDING A GRAPHIC SCALE, NORTH POINT AND DATE:**
REFER TO ELEVATIONS & SITE PLANS INCLUDING THE ABOVE ELEMENTS.
5. **A SEPARATE LOCATION MAP:**
REFER TO LOCATION MAP, BELOW
6. **A LIST OF ALL REQUESTED ELEMENTS / CHANGES TO THE SITE PLAN.**
LIST APPLIES TO SHEETS AS100 & AS101
1. RELOCATION OF AN EXISTING ATTENDANT BOOTH, SOUTH SIDE OF BUILDING.
2. DEMOLITION OF OVERHEAD VACUUM TUBES, STEEL STRUCTURE, VACUUMS, EQUIPMENT AND ASSOCIATED SIGNS, SOUTH SIDE OF BUILDING.
3. DEMOLITION OF (1) EXISTING XPT AND CANOPY ON A RAISED CONCRETE ISLAND, SOUTH SIDE OF BUILDING, VERIFY CONDITION OF EQUIPMENT FOR POTENTIAL RE-USE.
4. DEMOLITION OF EXISTING PYLON SIGN IN ITS ENTIRETY.
5. DEMOLITION OF A PORTION OF THE EAST WALL OF EXIST. LOBBY FOR PROPOSED NEW ENTRY.
6. PROPOSED RELOCATION OF (10) PARKING SPACES FROM THE NORTH TO SOUTH SIDE OF BUILDING.
7. PROPOSED RELOCATION OF DETAILING SPACES TO NORTH SIDE OF BUILDING.
8. PROPOSING (3) XPTS AND CANOPIES ON 6" RAISED CONCRETE ISLANDS, SOUTH SIDE OF BUILDING.
9. PROPOSING (12) VACUUM STANCHIONS FOR DETAILING ON NORTH SIDE OF BUILDING.
10. PROPOSING 8" HORIZONTAL AND 6" VERTICAL PAINTED PVC PIPE MOUNTED TO BUILDING FACE AND BELOW GRADE ON THE NORTH SIDE OF BUILDING.
11. PROPOSING NEW 23' CURB CUT FROM THE PROPERTY ONTO BROWN STREET.
12. PROPOSING NEW DOOR W/ SIDE LIGHT FOR ENTRY INTO EXISTING LOBBY.
13. PROPOSING NEW WALL MOUNTED SIGNS ON BROWN STREET AND WOODWARD AVENUE ELEVATIONS.
14. PROPOSED CLOSING OF THE EXISTING CURB CUT AT THE NORTHEAST CORNER OF SITE.
15. PROPOSED LANDSCAPING AREA TOTALING 369 SF, REFER TO LANDSCAPE DRAWINGS
7. **ANY CHANGES REQUESTED MARKED IN COLOR:**
REFER TO 'PURPLE' AND 'YELLOW' COLORED AREAS ON PLANS AND ELEVATIONS. ALL CHANGES MARKED IN COLOR ARE KEYED TO THE LIST ABOVE.
8. **GENERAL DESCRIPTION, LOCATION AND TYPES OF STRUCTURES ON THE SITE:**
EXISTING 1 STORY BLOCK BUILDING, 6,583 SQUARE FEET
EXISTING WOOD PICKET UTILITY/ DUMPSTER ENCLOSURE, APPROX. 316 SQUARE FEET
EXISTING SNOW MELT STRUCTURE, APPROX. 112 SQUARE FEET
EXISTING ATTENDANT BOOTH, APPROX. 66 SQUARE FEET
9. **DETAILS OF EXISTING OR PROPOSED LIGHTING, SIGNAGE, AND OTHER PERTINENT DEVELOPMENT FEATURES**
EXISTING WALL MOUNTED SITE LIGHTS, TO REMAIN.
SIGNS BY OTHERS, REFER TO EXTERIOR ELEVATIONS A200
10. **A LANDSCAPE PLAN SHOWING ALL EXISTING AND PROPOSED PLANTING AND SCREENING MATERIALS, INCLUDING THE NUMBER, SIZE AND TYPE OF PLANTINGS PROPOSED**
LIMITED EXISTING LANDSCAPING, SHRUBS ON NORTH SIDE NEAR LOBBY ENTRY. PROPOSED LANDSCAPING AT 396 SF CIRCULAR BED. REFER TO LANDSCAPE DRAWINGS.
11. **ANY OTHER INFORMATION REQUESTED IN WRITING BY THE PLANNING DIVISION, THE DRB OR THE BUILDING OFFICIAL DEEMED IMPORTANT TO THE DEVELOPMENT**

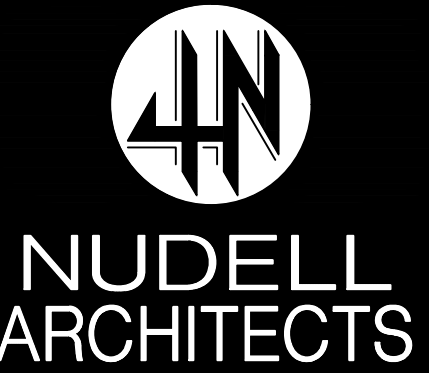
SYMBOL LEGEND			
	IDENTIFIES ELEVATIONS, REFER TO SHEETS A200 & A201		IDENTIFIES NUMBER OF PARKING & DETAILING SPACES
	IDENTIFIES REQUESTED ELEMENTS/ CHANGES TO THE SITE PLAN. REFER TO WRITE UP #6, THIS SHEET.		INDICATES LOCATION / DIRECTION OF PICTURE

SITE LOCATION



LOCATION MAP

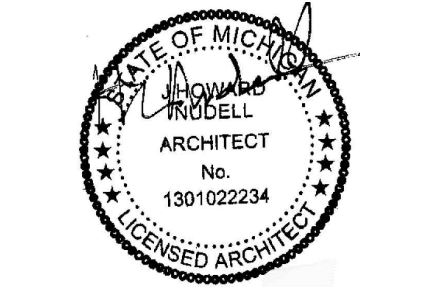
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MICHIGAN
31690 W. Twelve Mile Road
Farmington Hills, Michigan 48334
t 248 324 8800 f 248 324 0661

FLORIDA
1807 Edgewater Drive
Orlando, Florida 32804
t 407 930 2526

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project title
JAX KAR WASH
PREVIOUS APPROVALS CHART
BOARD/COMMISSION DATE

34745 WOODWARD AVE,
CITY OF BIRMINGHAM, MI 48009

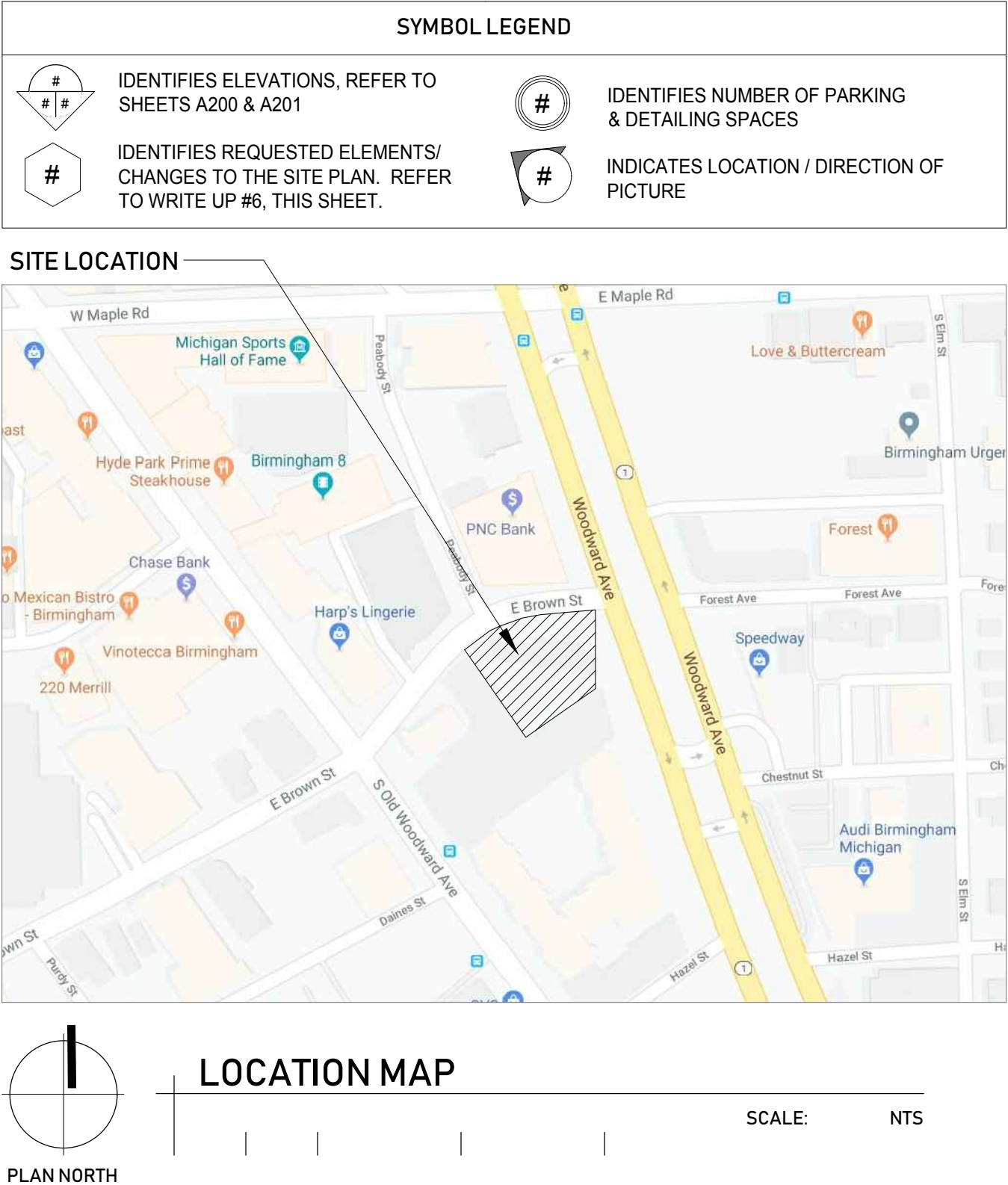
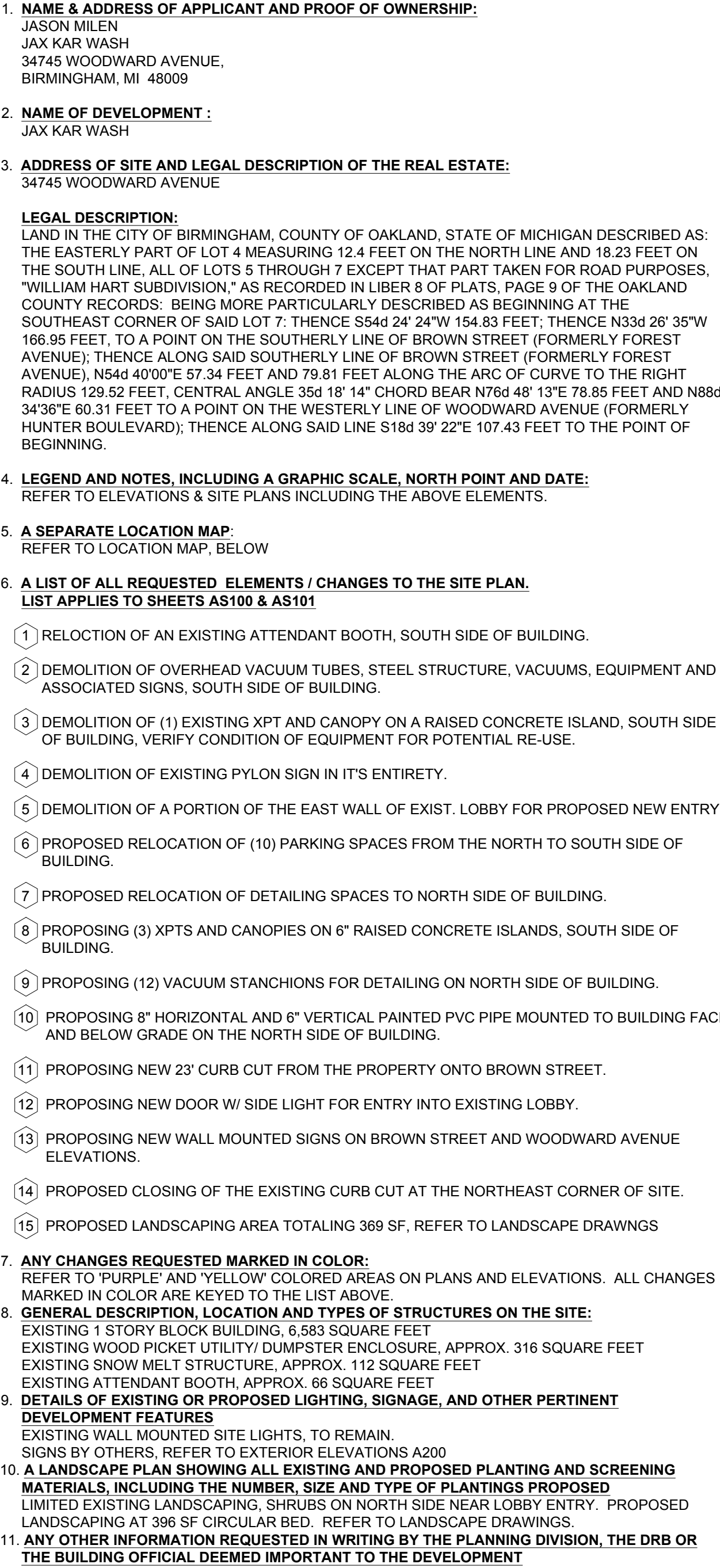
sheet title
EXISTING ARCHITECTURAL SITE PLAN
DO NOT SCALE DRAWINGS
USE FIGURED DIMENSIONS ONLY

project number
2018-052
drawn BDL
checked BDL
approved JHN

issued for date
OWNER REVIEW 6/7/19
SPA - PRELIMINARY 7/3/19
SPA - PRELIM REVISED 7/16/19

sheet

AS100





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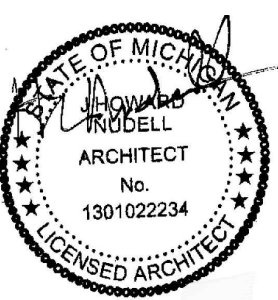
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project title	
JAX KAR WASH	
PREVIOUS APPROVALS CHART	
BOARD/COMMISSION	DATE
34745 WOODWARD AVE, CITY OF BIRMINGHAM, MI 48009	

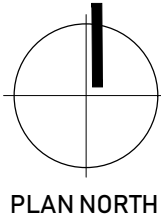
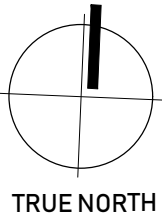
sheet title

**PROPOSED
ARCHITECTURAL
SITE PLAN**

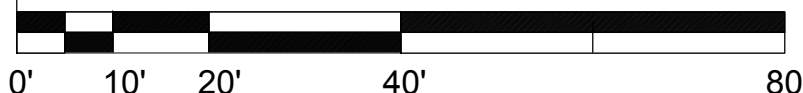
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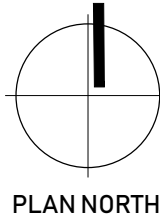
AS101



AERIAL PHOTOGRAPH OF SITE & ADJACENT PROPERTIES



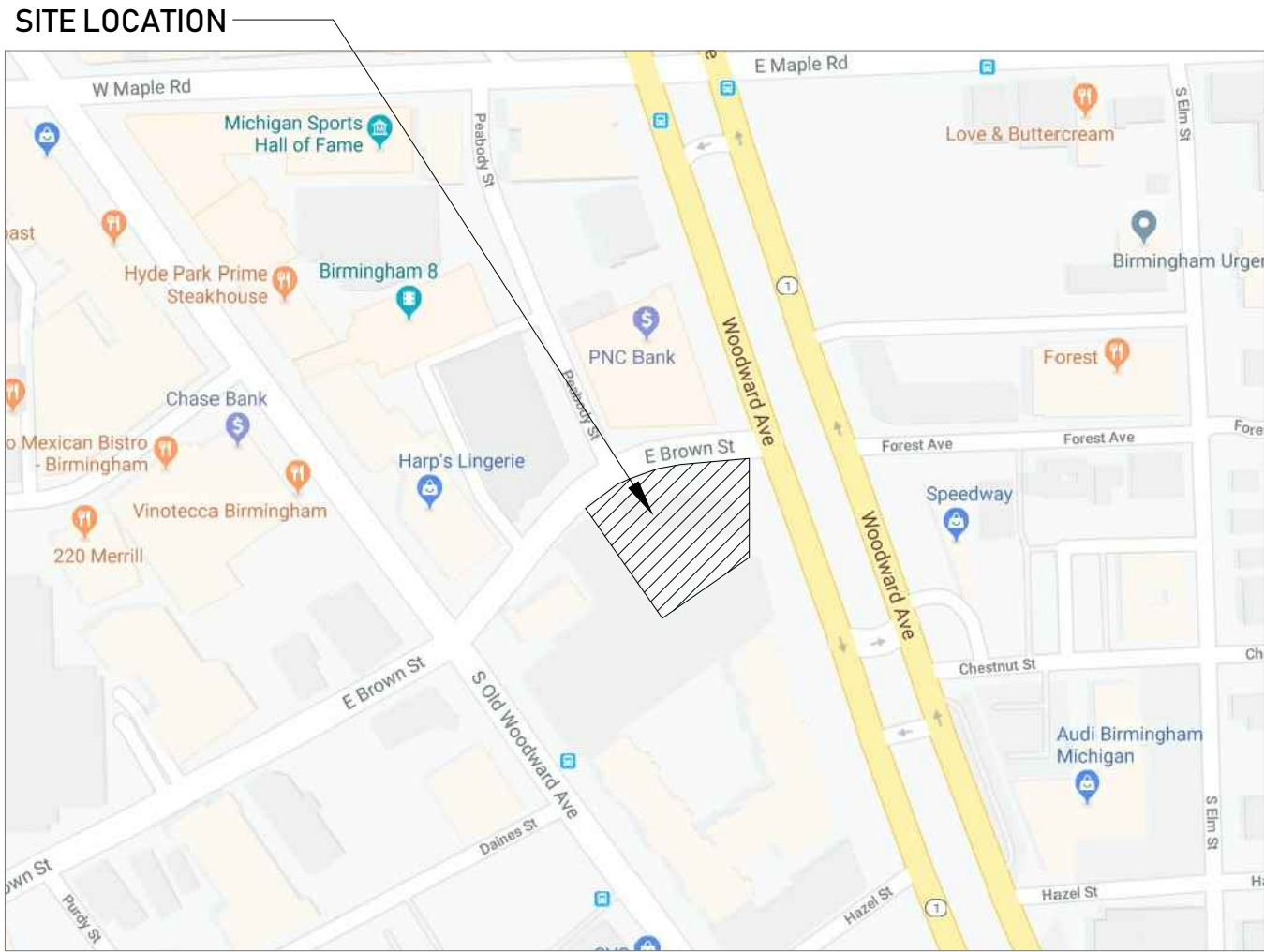
SCALE: 1"=20'-0"



LOCATION MAP

SCALE: NTS

SYMBOL LEGEND			
	IDENTIFIES ELEVATIONS, REFER TO SHEETS A200 & A201		IDENTIFIES NUMBER OF PARKING & DETAILING SPACES
	IDENTIFIES REQUESTED ELEMENTS/ CHANGES TO THE SITE PLAN. REFER TO WRITE UP #6, THIS SHEET.		INDICATES LOCATION / DIRECTION OF PICTURE





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project title

JAX KAR WASH

PREVIOUS APPROVALS CHART	DATE
BOARD/COMMISSION	

34745 WOODWARD AVE,
CITY OF BIRMINGHAM, MI 48009

sheet title

**AERIAL
ARCHITECTURAL
SITE PLAN**

DO NOT SCALE DRAWINGS
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project number

2018-052

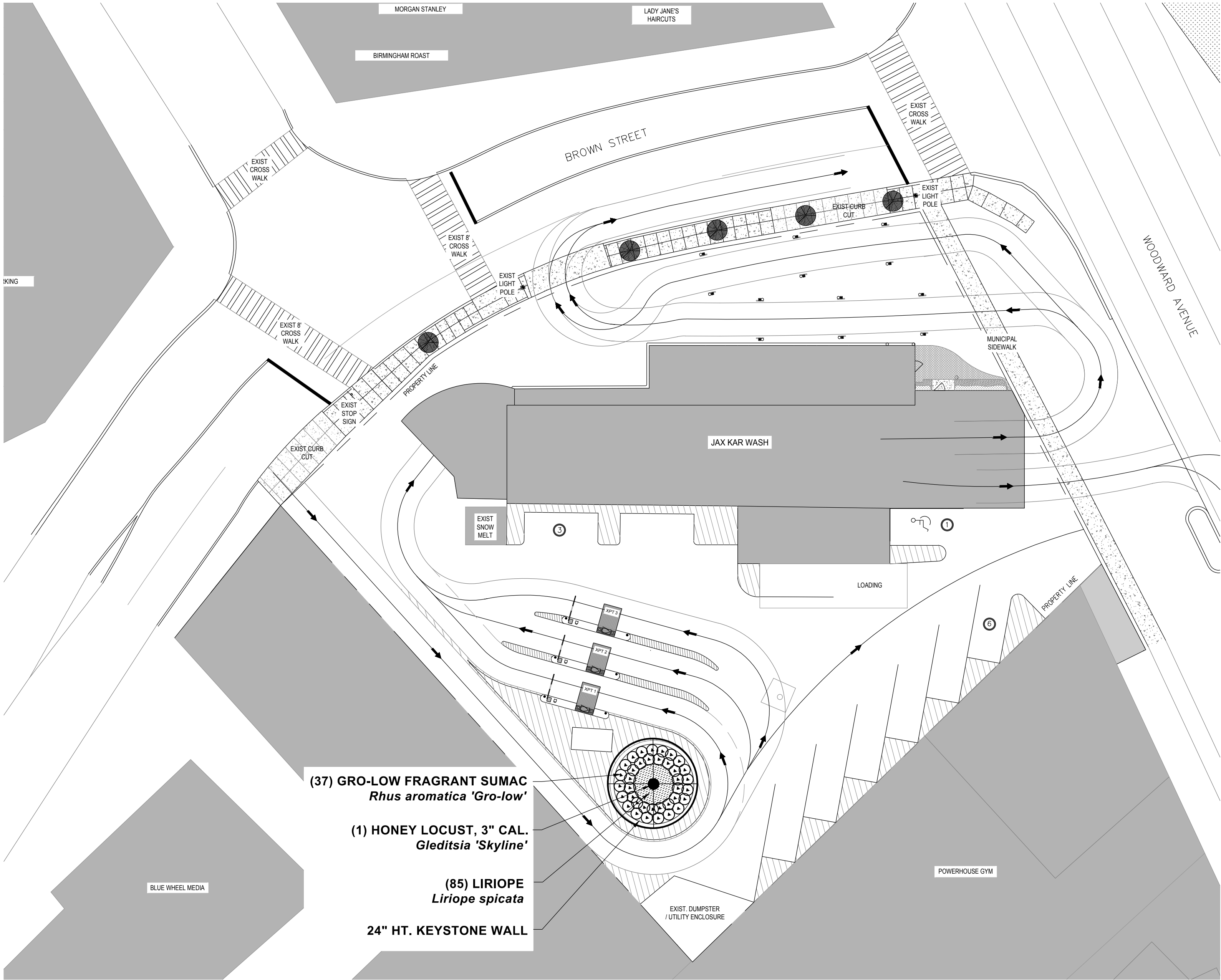
drawn	BDL
checked	BDL
approved	JHN

issued for _____ date _____

SPA - PRELIMINARY	7/3/19
SPA - PRELIM REVISED	7/16/19

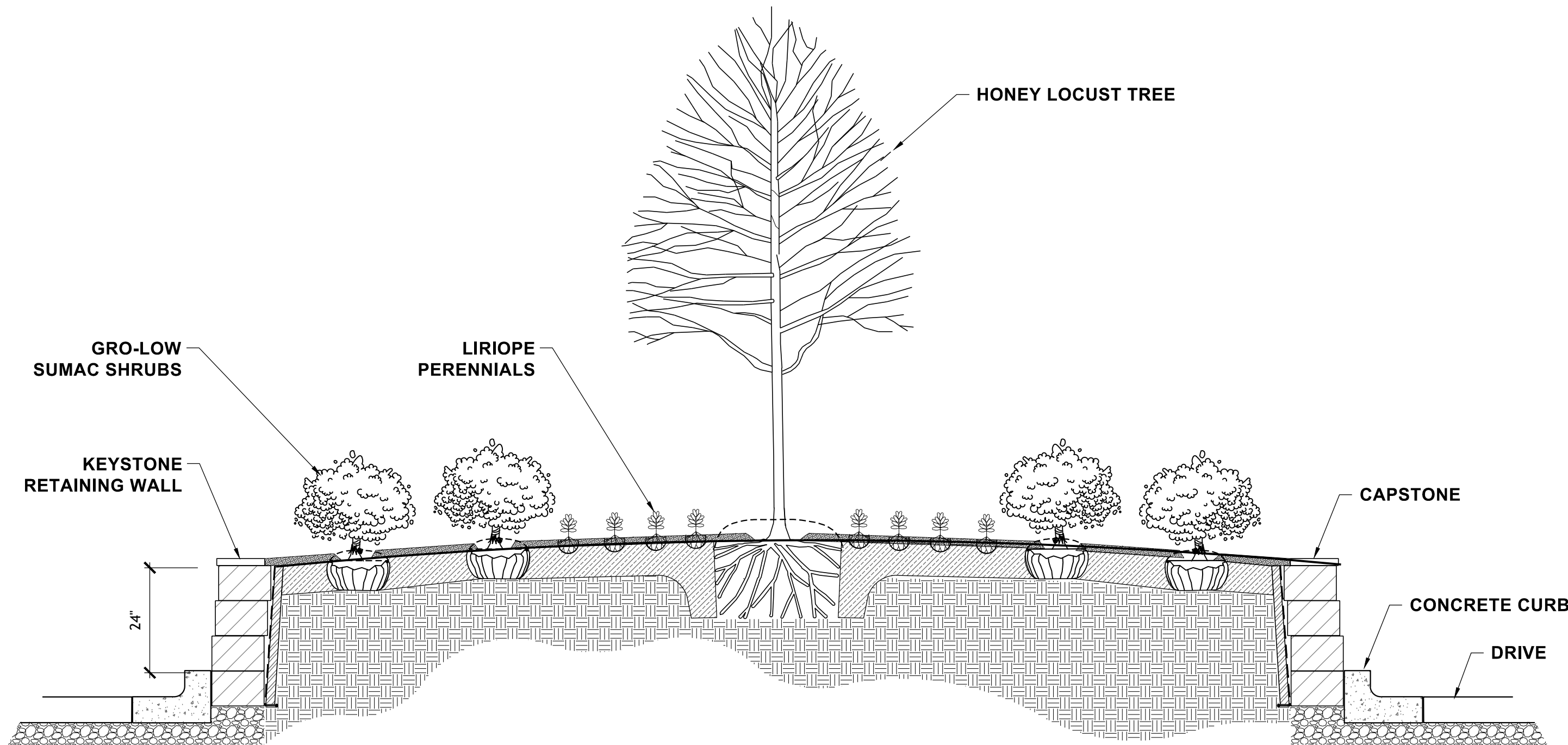
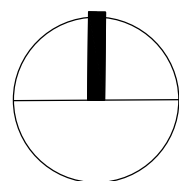
sheet

AS102



SITE LANDSCAPE PLAN

SCALE 1" = 20'



1
L101

KEYSTONE COMPACT BLOCK RETAINING WALL - SECTION

NOT TO SCALE

GENERAL PLANTING NOTES:

- A ALL TREES TO HAVE CLAY OR LOAM BALLS, TREES WITH SAND BALLS **WILL BE REJECTED**
- B ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- C ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER, TREES WITH FORKED OR IRREGULAR TRUNKS **WILL NOT BE ACCEPTED**.
- D ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- E IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS, WALKS AND PAVED AREAS.
- F ALL PLANTING BEDS SHALL RECEIVE SHREDDDED BARK MULCH. SEE PLANTING DETAILS FOR DEPTH.
- G SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.

MULCH

MULCH IS DOUBLE SHREDDDED HARDWOOD BARK MULCH
NO GROUND WOOD PALETTE MULCH PERMITTED

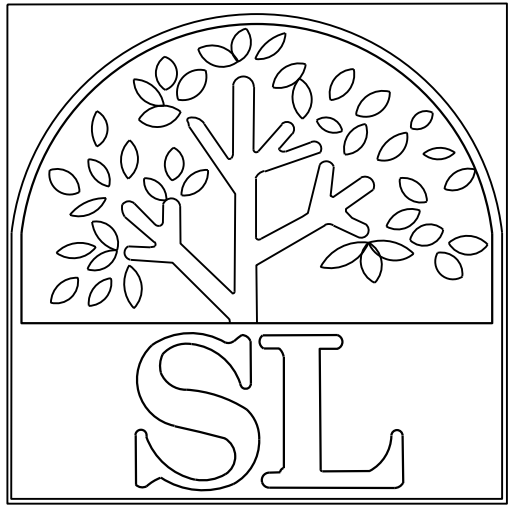
PLANT MIX

ALL PLANTING/ PERENNIAL BEDS TO RECEIVE:

- (1) 6 CU FT. ORGANIC COMPOST
- (1) 40LB BAG COMPOSTED POULTRY MANURE
"CHICK MAGIC" 5-3-2 WWW.CHICKMAGIC.NET (262)495-6220
- (1) 5 LB BAG SHEMINS 13-13-13 MULTI PURPOSE FERTILIZER

PER 100 SQ FT BED AREA.

HAND TILL INTO SOIL TO A DEPTH OF 12" MINIMUM



SUE'S LANDSCAPING

1000 Benstein
Walled Lake, MI 48390
248 669-3032



PROJECT TITLE

JAX KAR WASH

34745 WOODWARD AVE
BIRMINGHAM, MI 48009

SHEET

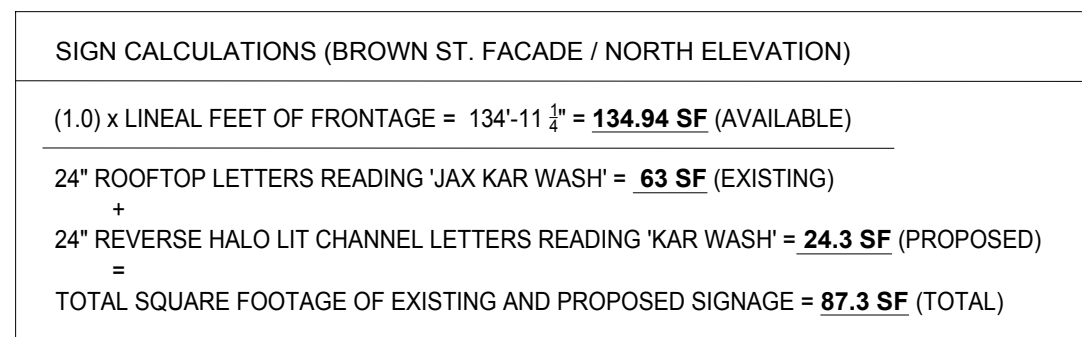
SITE LANDSCAPE
PLAN

ISSUE DATE

7/16/19 SPA- PRELIM REVISED

SHEET NUMBER

L101



- 12. COLOR ELEVATION DRAWINGS SHOWING THE PROPOSED DESIGN FOR EACH FACADE OF THE BUILDING:**
REFER TO ELEVATIONS ON SHEETS A200 & A201 FOR PROPOSED DESIGN CHANGES
- 13. LIST OF ALL MATERIALS TO BE USED FOR THE BUILDING, MARKED ON THE ELEVATION DRAWINGS:**
REFER TO ELEVATION TAGS AND ITEMS IN #15, REQUESTED DESIGN CHANGES
- 14. DETAILS OF EXISTING OR PROPOSED LIGHTING, SIGNAGE AND OTHER PERTINENT DEVELOPMENT FEATURES**
EXISTING WALL MOUNTED SITE LIGHTS, TO REMAIN.
SIGNS BY OTHERS, REFER TO EXTERIOR ELEVATIONS A200 & A201
- 15. A LIST OF ANY REQUESTED DESIGN CHANGES:**
- 9 PROPOSING (12) VACUUM STANCHIONS FOR DETAILING ON NORTH SIDE OF BUILDING.
- 10 PROPOSING 8" HORIZONTAL AND 6" VERTICAL PAINTED TO MATCH EXISTING BRICK, PVC PIPE MOUNTED TO BUILDING FACE AND BELOW GRADE ON THE NORTH SIDE OF BUILDING.
- 11 N/A
- 12 PROPOSING NEW DOOR W/ SIDE LIGHT FOR ENTRY INTO EXISTING LOBBY.
- 13 PROPOSING NEW WALL MOUNTED SIGNS ON BROWN STREET AND WOODWARD AVENUE ELEVATIONS.
- 16. ITEMIZED LIST OF ALL MATERIALS TO BE USED, INCLUDING EXACT SIZE SPECIFICATIONS, COLOR, STYLE AND THE NAME OF THE MANUFACTURER:**
- LIMITED MATERIALS PROPOSED ON THE WOODWARD AVE. & BROWN ST. FACADES.
- SIGNAGE, BY OTHERS, REFER TO SHEET A200 & A201 FOR MORE INFORMATION.
- 8" PAINTED PVC TUBES (HORIZONTAL), COLOR TO MATCH EXISTING BRICK
- 6" PAINTED PVC TUBES (VERTICAL), COLOR TO MATCH EXISTING BRICK
- METAL STANCHION AND VACUUM HOSES
- METAL AND JAX EQUIPMENT ON 6" RAISED CONCRETE ISLAND, REFER TO SHEET AS101 FOR MORE
- 17. LOCATION OF ALL EXTERIOR LIGHTING FIXTURES, EXACT SIZE SPECIFICATIONS, COLOR, STYLE AND THE NAME OF THE MANUFACTURER OF ALL FIXTURES AND A PHOTOMETRIC ANALYSIS OF ALL EXTERIOR LIGHTING FIXTURES SHOWING LIGHT LEVELS TO ALL PROPERTY LINES**
L
- 18. ANY OTHER INFORMATION REQUESTED IN WRITING BY THE PLANNING DIVISION, THE DRB OR THE BUILDING OFFICIAL DEEMED IMPORTANT TO THE DEVELOPMENT**





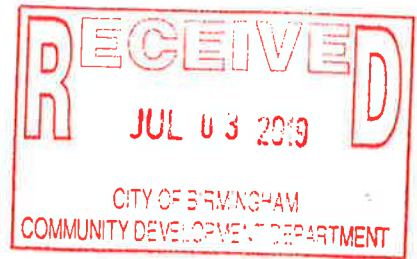
1. **COLOR ELEVATION DRAWINGS SHOWING THE PROPOSED DESIGN FOR EACH FACADE OF THE BUILDING:**
REFER TO ELEVATIONS ON SHEETS A200 & A201 FOR PROPOSED DESIGN CHANGES
13. **LIST OF ALL MATERIALS TO BE USED FOR THE BUILDING, MARKED ON THE ELEVATION DRAWINGS:**
REFER TO ELEVATION TAGS AND ITEMS IN #15, REQUESTED DESIGN CHANGES
14. **DETAILS OF EXISTING OR PROPOSED LIGHTING, SIGNAGE AND OTHER PERTINENT DEVELOPMENT FEATURES**
EXISTING WALL MOUNTED SITE LIGHTS, TO REMAIN.
SIGNS BY OTHERS, REFER TO EXTERIOR ELEVATIONS A200 & A201
15. **A LIST OF ANY REQUESTED DESIGN CHANGES:**
 - 9 PROPOSING (12) VACUUM STANCHIONS FOR DETAILING ON NORTH SIDE OF BUILDING.
 - 10 PROPOSING 8" HORIZONTAL AND 6" VERTICAL PAINTED TO MATCH EXISTING BRICK, PVP PIPE MOUNTED TO BUILDING FACE AND BELOW GRADE ON THE NORTH SIDE OF BUILDING.
 - 11 N/A
 - 12 PROPOSING NEW DOOR W/ SIDE LIGHT FOR ENTRY INTO EXISTING LOBBY.
 - 13 PROPOSING NEW WALL MOUNTED SIGNS ON BROWN STREET AND WOODWARD AVENUE ELEVATIONS.
16. **ITEMIZED LIST OF ALL MATERIALS TO BE USED, INCLUDING EXACT SIZE SPECIFICATIONS, COLOR, STYLE AND THE NAME OF THE MANUFACTURER:**

LIMITED MATERIALS PROPOSED ON THE WOODWARD AVE. & BROWN ST. FACADES.
- SIGNAGE, BY OTHERS, REFER TO SHEET A200 & A201 FOR MORE INFORMATION.
- 8" PAINTED PVC TUBES (HORIZONTAL), COLOR TO MATCH EXISTING BRICK
- 6" PAINTED PVC TUBES (VERTICAL), COLOR TO MATCH EXISTING BRICK
- METAL STANCHION AND VACUUM HOSES
- XPT AND JAX EQUIPMENT ON 6" RAISED CONCRETE ISLAND, REFER TO SHEET AS101 FOR MORE
17. **LOCATION OF ALL EXTERIOR LIGHTING FIXTURES, EXACT SIZE SPECIFICATIONS, COLOR, STYLE AND THE NAME OF THE MANUFACTURER OF ALL FIXTURES AND A PHOTOMETRIC ANALYSIS OF ALL EXTERIOR LIGHTING FIXTURES SHOWING LIGHT LEVELS TO ALL PROPERTY LINES**
L
18. **ANY OTHER INFORMATION REQUESTED IN WRITING BY THE PLANNING DIVISION, THE DRB OR THE BUILDING OFFICIAL DEEMED IMPORTANT TO THE DEVELOPMENT**



CITY OF BIRMINGHAM
Date 07/03/2019 12:46:48 PM
Ref 00160445
Receipt 491215
Amount \$1,100.00

CITY OF BIRMINGHAM
Date 07/03/2019 12:46:48 PM
Ref 00160446
Receipt 491215
Amount \$100.00



Preliminary Site Plan Review Application
Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: JAX KAR WASH / JASON MILEN
Address: 34745 WOODWARD AVE.
BIRMINGHAM, MI 48009
Phone Number: 248-905-1218
Fax Number: _____
Email address: JASON@JAXKARWASH.NET

2. Property Owner

Name: BMW KAR WASH, LLC DBA JAX KAR WASH
Address: 28845 TELEGRAPH RD. / BRUCE MILEN
SOUTHFIELD, MI 48034
Phone Number: 248-444-0442
Fax Number: _____
Email address: BRUCE@JAXKARWASH.NET

3. Applicant's Attorney/Contact Person

Name: JASON MILEN
Address: 34745 WOODWARD AVE.
BIRMINGHAM, MI 48009
Phone Number: 248-905-1218
Fax Number: _____
Email address: JASON@JAXKARWASH.NET

4. Project Designer/Developer

Name: NUDELL ARCHITECTS / BRIAN LAWSON
Address: 31090 W. 12 MILE RD.
FARMINGTON HILLS, MI 48334
Phone Number: 248-324-8800
Fax Number: 248-324-0661
Email address: BLAWSON@JHN.COM

5. Required Attachments

- I. Two (2) paper copies and one (1) digital copy of all project plans including:
- A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject sites property lines;
 - A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
 - A certified Land Survey;
 - Interior floor plans;

- A Landscape Plan;
- A Photometric Plan;
- Colored elevation drawings for each building elevation;

- Specification sheets for all proposed materials, light fixtures and mechanical equipment;
- Samples of all proposed materials;
- Photographs of existing conditions on the site including all structures, parking areas, landscaping and adjacent structures;
- Current aerial photographs of the site and surrounding properties;
- Warranty Deed, or Consent of Property Owner if applicant is not the owner;
- Any other data requested by the Planning Board, Planning Department, or other City Departments.

6. Project Information

Address/Location of the property: 34745 WOODWARD AVE.
Name of development: JAX KAR WASH
Sidwell #: _____
Current Use: AUTO WASH
Proposed Use: AUTO WASH
Area of Site in Acres: 0.59 ACRES
Current zoning: B-2
Is the property located in the floodplain? No

Name of Historic District site is located in: N/A
Date of Historic District Commission Approval: N/A
Date of Design Review Board Approval: N/A
Will proposed project require the division of platted lots? No
Will proposed project require the combination of platted lots? No

7. Details of the Proposed Development (attach separate sheet if necessary)

EXTERIOR RENOVATIONS OF EXISTING AUTO WASH. NORTH SIDE DEMO WORK TO INCLUDE EXISTING Pylon SIGN & PORTION OF EXTERIOR WALL FOR NEW LOBBY DOOR. SOUTH SIDE DEMO OF OVERHEAD VACUUM TUBES/STRUCTURE/SIGNS & EXISTING VPT & CANOPY. PROPOSED NORTH SIDE WORK INCLUDING RELOCATION OF (10) PARKING SPACES TO SOUTH SIDE WITH DETAILING, RELOCATED TO THE NORTH. NEW 6" & 8" PVC TUBE @ NORTH FACE OF BUILDING SUPPLYING VACUUM TO HOSES ON (12) METAL STANCHIONS. NEW 23' ONE WAY CURB CUT, CLOSING 32' TWO WAY CURB. PROPOSED WALL SIGNS NORTH & EAST ELEVATIONS.

8. Buildings and Structures

Number of Buildings on Site: 1
Height of Buildings & # of Stories: 13'-0" - 1 STORY
15'-8" (FACADE ON WOODWARD AVE)

Use of Buildings: AUTO WASH
Height of Rooftop Mechanical Equipment: 15'-0" + 16'-0"

9. Floor Use and Area (in Square Feet)

Proposed Commercial Structures: N/A

Total basement floor area: _____
Number of square feet per inner floor: _____
Total floor area: _____
Floor area ratio (total floor area ÷ total land area): _____
Open space: _____
Percent of open space: _____

Office Space: _____
Retail Space: _____
Industrial Space: _____
Assembly Space: _____
Seating Capacity: _____
Maximum Occupancy Load: _____

Proposed Residential Structures: N/A

Total number of units: _____
Number of one bedroom units: _____
Number of two bedroom units: _____
Number of three bedroom units: _____
Open space: _____
Percent of open space: _____

Rental units or condominiums? _____
Size of one bedroom units: _____
Size of two bedroom units: _____
Size of three bedroom units: _____
Seating Capacity: _____
Maximum Occupancy Load: _____

Proposed Additions: N/A

Total basement floor area, if any, of addition: _____
Number of floors to be added: _____
Square footage added per floor: _____
Total building floor area (including addition): _____
Floor area ratio (total floor area ÷ total land area): _____
Open Space: _____
Percent of open space: _____

Use of addition: _____
Height of addition: _____
Office space in addition: _____
Retail space in addition: _____
Industrial space in addition: _____
Assembly space in addition: _____
Maximum building occupancy load (including addition): _____

10. Required and Proposed Setbacks

Required front setback: 0
Required rear setback: 10'-0"
Required total side setback: 0
Side setback: 0

Proposed front setback: 0
Proposed rear setback: 10'-0"
Proposed total side setback: 0
Second side setback: 0

11. Required and Proposed Parking

Required number of parking spaces: 10
Typical angle of parking spaces: 90°
Typical width of maneuvering lanes: 15'-0"
Location of parking on site: SOUTH SIDE
Location of parking off site: _____
Number of light standards in parking area: 6 (WALL MOUNTED)
Screenwall material: _____

Proposed number of parking spaces: 10
Typical size of parking spaces: 9' x 20'
Number of spaces <180 sq. ft.: 1
Number of handicap spaces: 1
Shared parking agreement? _____
Height of light standards in parking area: ALL WALL MOUNTED
Height of screenwall: _____

12. Landscaping

Location of landscape areas:

54 SF (EXISTING) NORTH SIDE @ LOBBY ENTRY
64 SF NORTH SIDE @ EXISTING CROSSWALK
269 SF CIRCULAR BED SOUTH SIDE @ TURN
464 SF ALONG SOUTH EAST PROPERTY LINE

TOTAL: 951 SF TO POTENTIALLY BE REDUCED
WITH INCLUSION OF PLANTS LOCAL TO
THE AREA

Proposed landscape material: TBD

13. Streetscape

Sidewalk width: BROWN: 6'-4" WOODWARD: 5'-0"

Number of benches: 1

Number of planters: 3

Number of existing street trees: 0

Number of proposed street trees: 5

Streetscape plan submitted? NO

Description of benches or planters: EXISTING BENCH
& PLANTERS @ LOBBY ENTRY. (1) MORE

Species of existing trees: N/A PROPOSED

Species of proposed trees: TBD

14. Loading

Required number of loading spaces: 1

Typical angle of loading spaces: 90°

Screenwall material: N/A

Location of loading spaces on site: SOUTH SIDE

Proposed number of loading spaces: 1

Typical size of loading spaces: 12' x 40'

Height of screenwall:

Typical time loading spaces are used: AM PRIOR TO OPEN

15. Exterior Waste Receptacles

Required number of waste receptacles: 1

Location of waste receptacles: SOUTH CORNER

Screenwall material: WOOD PICKET FENCE

Proposed number of waste receptacles: 1

Size of waste receptacles: EXISTING

Height of screenwall: 6'-0"

16. Mechanical Equipment

Utilities and Transformers:

Number of ground mounted transformers: 1

Size of transformers (L•W•H): 6'•5'•3'

Number of utility easements: 0

Screenwall material: WOOD PICKET FENCE

Location of all utilities & easements: SOUTH CORNER

Height of screenwall: 6'-0"

Ground Mounted Mechanical Equipment:

Number of ground mounted units: 0

Size of ground mounted units (L•W•H): N/A

Screenwall material: N/A

Location of all ground mounted units: N/A

Height of screenwall: N/A

Rooftop Mechanical Equipment:

Number of rooftop units: 4

Type of rooftop units: HVAC (2) EXHAUST (2)

Screenwall material: NONE (WOODWARD PARAPET)

Location of screenwall: WOODWARD FACADE

Location of all rooftop units:

Size of rooftop units (L•W•H):

Percentage of rooftop covered by mechanical units:

Height of screenwall:

Distance from rooftop units to all screenwalls:

17. Accessory Buildings

Number of accessory buildings: 2

Location of accessory buildings: SOUTH SIDE (REAR)

Size of accessory buildings: BOOTH 11' x 6'

Height of accessory buildings: 7'

ICE MELT 11' x 10'

7'

18. Building Lighting

Number of light standards on building: 10
Size of light fixtures (L•W•H): 29'8" x 11" x 23'4"
Maximum wattage per fixture: 1,000 W
Light level at each property line: BROWN 20 FC
WOODWARD 14.5 FC (MAX)

Type of light standards on building: WALL MOUNTED
HALIDE
Height from grade: (17) @ 13'-0" (3) @ 15'-0"
Proposed wattage per fixture: 1,000 W
EXISTING

19. Site Lighting

Number of light fixtures: ABOVE ✓
Size of light fixtures (L•W•H): _____
Maximum wattage per fixture: _____
Light level at each property line: _____

Type of light fixtures: ABOVE ✓
Height from grade: _____
Proposed wattage per fixture: _____
Holiday tree lighting receptacles: _____

20. Adjacent Properties

Number of properties within 200 ft.: 6

Property #1

Number of buildings on site: 1
Zoning district: PP
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: MUNICIPAL PARKING,
GARAGE

North, south, east or west of property? NORTH WEST

Property #2

Number of buildings on site: 1
Zoning district: B-4
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: COMMERCIAL BUILDING
INCLUDING: MORGAN STANLEY,
BIRMINGHAM TRUST & LADY JANE'S

North, south, east or west of property? NORTH

Property #3

Number of buildings on site: 1
Zoning district: B-2
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: BUSINESS INCLUDING:
ST. JOHN PROVIDENCE HEALTH SYSTEMS
& METROPOLITAN TAILORING

North, south, east or west of property? WEST

Property #4

Number of buildings on site: 1
Zoning district: B-2
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: BUSINESS INCLUDING:
BLUE WHEEL MEDIA

North, south, east or west of property? WEST

Property #5

Number of buildings on site: 1
Zoning district: B-3
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: BUSINESS INCLUDING:
POWER HOUSE GYM & ONLINE INVESTMENT
SERVICES

North, south, east or west of property? SOUTH

Property #6

Number of buildings on site: 1
Zoning district: B-3
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: BUSINESS INCLUDING:
BEACH HOUSE DAY SPA

North, south, east or west of property? SOUTH

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

Signature of Owner: Bruce Milen Date: 7/1/19

Print Name: Bruce Milen

Signature of Applicant: Jason Ziler Date: 7/1/19

Print Name: Jason Milen

Signature of Architect: Brian Lawson Date: 7/2/19

Print Name: BRIAN LAWSON

Office Use Only

Application #: _____ Date Received: _____ Fee: _____

Date of Approval: _____ Date of Denial: _____ Accepted by: _____



PRELIMINARY SIT PLAN REVIEW APPLICATION CHECKLIST - PLANNING DIVISION

Applicant: JAX KAR WASH / JASON MILEN Case #: _____ Date: _____

Address: 34745 WOODWARD AVE. Project: JAX KAR WASH RENOVATION

All site plans and elevation drawings prepared for approval shall be prepared in accordance with the following specifications and other applicable requirements of the City of Birmingham. If more than one page is used, each page shall be numbered sequentially. All plans must be legible and of sufficient quality to provide for quality reproduction or recording. Plans must be no larger than 24" x 36", and must be folded and stapled together. The address of the site must be clearly noted on all plans and supporting documentation.

Preliminary Site Plan

A full Site Plan detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- ☒ 1. Name and address of applicant and proof of ownership;
- ☒ 2. Name of Development (if applicable);
- ☒ 3. Address of site and legal description of the real estate;
- ☒ 4. Name and address of the land surveyor;
- ☒ 5. Legend and notes, including a graphic scale, north point, and date;
- ☒ 6. A separate location map;
- ☒ 7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land;
- ☒ 8. Aerial photographs of the subject site and surrounding properties;
- ☒ 9. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
- ☒ 10. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject site's property lines;
- ☐ 11. Interior floor plans;
- ☒ 12. A chart indicating the dates of any previous approvals by the Planning Board, Board of Zoning Appeals, Design Review Board, or the Historic District Commission ("HDC");

- ☒ 13. Existing and proposed layout of streets, open space and other basic elements of the plan;
- ☒ 14. Existing and proposed utilities and easements and their purpose;
- ☒ 15. Location of natural streams, regulated drains, 100-year flood plains, floodway, water courses, marshes, wooded areas, isolated preserve-able trees, wetlands, historic features, existing structures, dry wells, utility lines, fire hydrants and any other significant feature(s) that may influence the design of the development;
- ☒ 16. General description, location, and types of structures on site;
- ☒ 17. Location of sidewalks, curb cuts, and parking lots on subject site and all sites within 200 ft. of the property line;
- ☐ 18. Details of existing or proposed lighting, signage and other pertinent development features;
- ☒ 19. Elevation drawings showing proposed design;
- ☒ 20. Screening to be utilized in concealing any exposed mechanical or electrical equipment and all trash receptacle areas;
- ☐ 21. Location of all exterior lighting fixtures;
- ☒ 22. A Photometric Plan depicting proposed illuminance levels at all property lines;
- ☐ 23. A Landscape Plan showing all existing and proposed planting and screening materials, including the number, size, and type of plantings proposed and the method of irrigation; and
- ☐ 24. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.

Elevation Drawings

Complete elevation drawings detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- ☒ 25. Color elevation drawings showing the proposed design for each façade of the building;
- ☐ 26. List of all materials to be used for the building, marked on the elevation drawings;
- ☐ 27. Elevation drawings of all screenwalls to be utilized in concealing any exposed mechanical or electrical equipment, trash receptacle areas and parking areas;
- ☐ 28. Details of existing or proposed lighting, signage and other pertinent development features;
- ☒ 29. A list of any requested design changes;
- ☐ 30. Itemized list and specification sheets of all materials, light fixtures and mechanical equipment to be used, including exact size specifications, color, style, and the name of the manufacturer;
- ☐ 31. Location of all exterior lighting fixtures, exact size specifications, color, style and the name of the manufacturer of all fixtures, and a photometric analysis of all exterior lighting fixtures showing light levels to all property lines; and
- ☐ 32. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.



Notice Signs - Rental Application Community Development

1. Applicant

Name: JAX KAR WASH / JASON MILEN
Address: 34745 WOODWARD AVE.
BIRMINGHAM, MI 48009
Phone Number: 248-905-1218
Fax Number: _____
Email address: JASON@JAXKARWASH.NET

Property Owner

Name: BMW KAR WASH LLC DBA JAX KAR WASH
Address: 28845 TELEGRAPH RD. / BRUCE MILEN
SOUTHFIELD, MI 48034
Phone Number: 248-444-0442
Fax Number: _____
Email Address: BRUCE@JAXKARWASH.NET

2. Project Information

Address/Location of Property: 34745 WOODWARD AVE. Name of Historic District site is in, if any: N/A
Name of Development: JAX KAR WASH Current Use: AVTO WASH
Area in Acres: 0.59 ACRES Current Zoning: D-2

3. Date of Board Review

Board of Building Trades Appeals: _____ Board of Zoning Appeals: _____
City Commission: _____ Design Review Board: _____
Historic District Commission: _____ Housing Board of Appeals: _____
Planning Board: _____

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.

Signature of Applicant: _____

Date: 7/1/19

Office Use Only

Application #: _____ Date Received: _____ Fee: _____
Date of Approval: _____ Date of Denial: _____ Reviewed by: _____

N U D E L L A R C H I T E C T S



31690 W. Twelve Mile Road

Farmington Hills, Michigan 48334

t 248 324 8800 f 248 324 0661



TRANSMITTAL

DATE: 07/03/2019	RE: Jax Kar Wash
SEND TO: City of Birmingham Planning Department Attn: Nicholas Dupuis 151 Martin Street Birmingham, MI 48012 (248) 530-1856	34745 Woodward Ave., Birmingham, MI 48009
SHIPPED VIA:	JHN JOB # 2018-052

Urgent

Reply ASAP

Please comment

x

Please review

For your information

ITEMS ENCLOSED for PRELIMINARY SITE PLAN REVIEW:

(2) copies of sheets: AS100, AS101, AS102, A200 & A201

(2) copies of reference sheets, by others: Exist survey, Exist survey2, site lights, site lights2

(1) copy of a completed Preliminary Site Plan Review Application – Planning Division

(1) check made out to: City of Birmingham (\$1,200)

Nick,

Items enclosed are in response to our discussions regarding the JAX in Birmingham and are for Preliminary Site Plan Review. Please feel free to contact me if you have any questions or require anything further.

Best Regards,

BRIAN LAWSON

Project Manager

blawson@jhn.com

p. 248.324.8800 f. 248.324.0661

From: Brian Lawson – Design Project Manager

cc:

NUDELL ARCHITECTS



31690 W. Twelve Mile Road
Farmington Hills, Michigan 48334
T 248 324 8800 F 248 324 0661

July 16, 2019

City of Birmingham
Department of Public Services
Attn: Carrie Laird
Parks & Recreation Manager
851 S. Eton Street
Birmingham, MI 48009

RE: Jax Kar Wash
34745 Woodward Avenue,
Birmingham, MI 48009

Street Trees

Dear Carrie,

I'm writing regarding the renovation of the Jax Kar Wash at 34745 Woodward Ave. and the associated requirements for street trees, as described in the city ordinance.

Article 4, Section 4.20(G) - **Street Trees**: All site plans shall include in the right-of-way along all streets, at least 1 street tree for each 40 linear feet of frontage. The Staff Arborist may waive this requirement if there is not adequate green space in the right-of-way to support such trees.

The existing site has frontage on both Woodward Ave. and Brown St. We are proposing to locate trees in the R.O.W. along the Brown St. frontage. After taking into account the curb cuts, cross walks and other elements along Brown St. we are proposing (5) trees for consideration. The frontage along Woodward Ave. does not allow the same opportunity to include street trees. As such, we'd like to request a waiver for the (2-3) trees that would be required along Woodward Ave.

Thank you for your consideration,


Brian Lawson
Project Manager









SW 6910 | Daisy

131-C6

SW 6910
Daisy

131-C6

SW 2848 | Roycroft Pewter

SW 2848
Roycroft Pewter

SW 2848 | Roycroft Pewter

SW 2848
Roycroft Pewter

SW 2836 | Quartersawn Oak

SW 2836
Quartersawn Oak



SECTION 084113 - ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS

This suggested guide specification has been developed using the current edition of the Construction Specifications Institute (CSI) "Manual of Practice", including the recommendations for the CSI 3 Part Section Format and the CSI Page Format. Additionally, the development concept and organizational arrangement of the American Institute of Architects (AIA) MASTERSPEC Program has been recognized in the preparation of this guide specification. Neither CSI, AIA, USGBC nor ILFI endorse specific manufacturers and products. The preparation of the guide specification assumes the use of standard contract documents and forms, including the "Conditions of the Contract", published by the AIA.

PART 1 - GENERAL

1.1 Related Documents

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 Summary

EDITOR NOTE: CHOOSE DOOR TYPE (250T, 350T or 500T) BASED ON PROJECT REQUIREMENTS.

- A. This Section includes Kawneer Thermally Broken Aluminum Entrances, glass and glazing, and door hardware and components.
1. Types of Kawneer Thermally Broken Aluminum Entrances include:
 - a. 250T Insulpour™ Thermal Entrance; Narrow stile, 2-1/2" (63.5 mm) vertical face dimension, 2-1/4" (57 mm) depth, moderate traffic applications.
 - b. 350T Insulpour™ Thermal Entrance; Medium stile, 3-1/2" (88.9 mm) vertical face dimension, 2-1/4" (57 mm) depth, high traffic applications.
 - c. 500T Insulpour™ Thermal Entrance; Wide stile, 5" (127 mm) vertical face dimension, 2-1/4" (57 mm) depth, high traffic applications.

EDITOR NOTE: BELOW RELATED SECTIONS ARE SPECIFIED ELSEWHERE. HOWEVER, KAWNEER RECOMMENDS SINGLE SOURCE RESPONSIBILITY FOR ALL OF THESE SECTIONS AS INDICATED IN PART 1.6 QUALITY ASSURANCE.

- B. Related Sections:
1. 072700 "Air Barriers"
 2. 079200 "Joint Sealants"
 3. 083213 "Sliding Aluminum-Framed Glass Doors"
 4. 084313 "Aluminum-Framed Storefronts"
 5. 084329 "Sliding Storefronts"
 6. 084413 "Glazed Aluminum Curtain Walls"
 7. 084433 "Sloped Glazing Assemblies"
 8. 085113 "Aluminum Windows"
 9. 086300 "Metal-Framed Skylights"
 10. 087000 "Hardware"
 11. 088000 "Glazing"
 12. 280000 "Electronic Safety and Security"

1.3 Definitions

- A. Definitions: For fenestration industry standard terminology and definitions refer to American Architectural Manufacturers Association (AAMA) – AAMA Glossary (AAMA AG).

1.4 Performance Requirements

- A. General Performance: Aluminum-framed entrance doors shall withstand the effects of the following performance requirements without exceeding performance criteria or failure due to defective manufacture, fabrication, installation, or other defects in construction:
- B. Aluminum-Framed Entrance Performance Requirements:

EDITOR NOTE: PROVIDE WIND LOAD DESIGN PRESSURES IN PSF AND INCLUDE APPLICABLE BUILDING CODE AND YEAR EDITION.

1. Wind loads: Provide entrance system; include anchorage, capable of withstanding wind load design pressures of (____) lbs./sq. ft. inward and (____) lbs./sq. ft. outward. The design pressures are based on the (____) Building Code; (____) Edition.
2. Air Infiltration: For single acting offset pivot or butt hung entrances in the closed and locked position, the test specimen shall be tested in accordance with ASTM E 283 at a pressure differential of 1.57 psf (75 Pa) for pairs of doors. A single 3'0" x 7'0" (915 mm x 2134 mm) entrance door and frame shall not exceed 1.0 cfm/ft². A pair of 6'0" x 7'0" (1830 mm x 2134 mm) entrance doors and frame shall not exceed 1.0 cfm per square foot.

3. Uniform Load Deflection: A static air design load of;
 - 250T:** 50.13 psf (2400 Pa) for single doors and 40.10 psf (1920 Pa) for pairs of doors.
 - 350T:** 60.15 psf (2880 Pa) for single doors and 50.13 psf (2400 Pa) for pairs of doors.
 - 500T:** 70.19 psf (3360 Pa) for single doors and 60.15 psf (2880 Pa) for pairs of doors.

shall be applied in the positive and negative direction in accordance with ASTM E 330. There shall be no deflection in excess of L/175 for typical application or L/180 for Small-Missile and Large-Missile impact, of the span of any framing member. At a structural test load equal to 1.5 times the specified design load, no glass breakage or permanent set in the framing members in excess of 0.2% of their clear spans shall occur.
4. Windborne-Debris-Impact Resistance Performance: **350T** and **500T**, Shall be tested in accordance with ASTM E1886, information in ASTM E1996, and TAS 201/203.
 - a. Large-Missile Impact: For aluminum-framed systems located within 30 feet (9.1m) of grade.
 - b. Small-Missile Impact: For aluminum-framed systems located above 30 feet (9.1 m) of grade.
5. Blast Mitigation Performance: **350T** and **500T**, shall be tested or proven through analysis to meet ASTM F2927, GSA-TS01, and UFC 04-010.01 performance criteria.

To meet UFC 04-010-01, B-3.3 Standard 12 for exterior doors and Standard 10 for glazing and frame bite provisions, the following options are available:

 - a. Section B-3.1.1 Dynamic analysis
 - b. Section B-3.1.2 Testing
 - c. Section B-3.1.3 ASTM F2248 Design Approach
6. Forced Entry: Tested in accordance with AAMA 1304.

EDITOR NOTE: THERMAL TRANSMITTANCE AND CONDENSATION RESISTANCE PERFORMANCE RESULTS ARE BASED UPON 1" CLEAR INSULATING GLASS (1/4" CLEAR WITH $\epsilon=0.035$ LOW E COATING ON #2 SURFACE, 1/2" AS WITH WARM EDGE SPACER AND 90% ARGON GAS FILL, 1/4" CLEAR).

7. Energy Efficiency:
 - a. Thermal Transmittance (U-factor): When tested to AAMA Specification 1503, the thermal transmittance (U-factor) shall not be more than:
 - 1) **250T:** Insulated Glass – 0.52 (low-e) or Project Specific (____) BTU/hr/ft²/°F per AAMA 507 or (____) BTU/hr/ft²/°F per AAMA 507 per NFRC 100.
 - b. Solar Heat-Gain Coefficient (SHGC) : Glazed thermally broken aluminum door and frame shall have a Solar Heat Gain Coefficient (SHGC) of no greater than (____) **<Insert value>** as determined according to NFRC 200.
 - c. Visible Transmittance (VT): Glazed thermally broken aluminum door and frame shall have a Visible Transmittance (VT) of no greater than (____) **<Insert value>** as determined according to NFRC 200.
 8. Condensation Resistance Factor (CRF): When tested to AAMA Specification 1503, the condensation resistance factor shall not be less than:
 - a. **250T:** Insulated Glass – 49_{frame} and 68_{glass} (low-e).
 9. Condensation Resistance Factor (I): When tested to CSA A440, the condensation resistance factor shall not be less than:
 - a. **250T:** Insulated Glass – 37_{frame} and 66_{glass} (low-e).
 10. Sound Transmission Class (STC) and Outdoor-Indoor Transmission Class (OITC): When tested in accordance with ASTM E 90, the STC and OITC ratings shall not be less than:
 - a. **250T:** 37 (STC) and 32 (OITC).
- C. Environmental Product Declarations (EPD): Shall have a Type III Product-Specific EPD.

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1.5 Submittals

EDITOR NOTE: ADD RECYCLED CONTENT SECTION IF REQUIRED TO MEET PROJECT REQUIREMENTS AND/OR GREEN BUILDING CERTIFICATIONS SUCH AS LEED, LIVING BUILDING CHALLENGE (LBC), ETC. ARE REQUIRED.

*** IF RECYCLED CONTENT REQUIREMENTS ARE NOT SPECIFIED - PRIME (ZERO RECYCLED CONTENT) ALUMINUM COULD BE SUPPLIED.**

- A. Product Data: Include construction details, material descriptions, and fabrication methods, dimensions of individual components and profiles, hardware, finishes, and installation instructions for each type of aluminum-framed entrance door indicated.
 - 1. Recycled Content:
 - a. Provide documentation that aluminum has a minimum of 50% mixed pre- and post-consumer recycled content with a sample document illustrating project specific information that will be provided after product shipment.
 - b. Once product has shipped, provide project specific recycled content information, including:
 - 1) Indicate recycled content; indicate percentage of pre- and post-consumer recycled content per unit of product.
 - 2) Indicate relative dollar value of recycled content product to total dollar value of product included in project.
 - 3) Indicate location recovery of recycled content.
 - 4) Indicate location of manufacturing facility.
 - 2. Environmental Product Declaration (EPD):
 - a. Include a Type III Product-Specific EPD.
- B. Shop Drawings: Include plans, elevations, sections, details, hardware, and attachments to other work, operational clearances and installation details.
- C. Samples for Initial Selection: For units with factory-applied color finishes including samples of hardware and accessories involving color selection.
- D. Samples for Verification: For aluminum-framed door and components required.
- E. Product Test Reports: Based on evaluation of comprehensive tests performed by a qualified testing agency for each type of aluminum-framed entrance doors.
- F. Fabrication Sample: Corner sample consisting of a door stile and rail, of full-size components and showing details of the following:
 - 1. Joinery, including welds.
 - 2. Glazing.
- G. Other Action Submittals:
 - 1. Entrance Door Hardware Schedule: Prepared by or under the supervision of supplier, detailing fabrication and assembly of entrance door hardware, as well as procedures and diagrams. Coordinate final entrance door hardware schedule with doors, frames, and related work to ensure proper size, thickness, hand, function, and finish of entrance door hardware.

1.6 Quality Assurance

- A. Installer Qualifications: An installer which has had successful experience with installation of the same or similar units required for the project and other projects of similar size and scope.
- B. Manufacturer Qualifications: A manufacturer capable of fabricating thermally broken aluminum-framed entrance doors and storefronts that meet or exceed performance requirements indicated and of documenting this performance by inclusion of test reports and calculations.
- C. Source Limitations: Obtain thermally broken aluminum-framed door through one source from a single manufacturer.
- D. Product Options: Drawings indicate size, profiles, and dimensional requirements of aluminum-framed glass entrance doors and are based on the specific system indicated. Refer to Division 01 Section "Product Requirements". Do not modify size and dimensional requirements.
 - 1. Do not modify intended aesthetic effects, as judged solely by Architect, except with Architect's approval. If modifications are proposed, submit comprehensive explanatory data to Architect for review.
- E. Mockups: Build mockups to verify selections made under sample submittals and to demonstrate aesthetic effects and set quality standards for materials and execution.
 - 1. Build mockup for type(s) of swing entrance door(s) indicated, in location(s) shown on Drawings.
- F. Pre-installation Conference: Conduct conference at Project site to comply with requirements in Division 01 Section "Project Management and Coordination."

1.7 Project Conditions

- A. Field Measurements: Verify actual dimensions of thermally broken aluminum-framed door openings by field measurements before fabrication and indicate field measurements on Shop Drawings.

1.8 Warranty

- A. Manufacturer's Warranty: Submit, for Owner's acceptance, manufacturer's standard warranty.
1. Warranty Period: Two (2) years from Date of Substantial Completion of the project provided however that the Limited Warranty shall begin in no event later than six months from date of shipment by manufacturer.

PART 2 - PRODUCTS**2.1 Manufacturers**

EDITOR NOTE: CHOOSE DOOR TYPE (250T, 350T or 500T) BASED ON PROJECT REQUIREMENTS.

- A. Basis-of-Design Product:

1. Kawneer Company Inc.
2. The door stile and rail face dimensions of the [] (choose one: 250T, 350T or 500T) Insulpour™ Thermal Entrance will be as follows:

Door	Vertical Stile	Top Rail	Standard Bottom Rail	Select Optional Bottom Rail
250T:	2-1/2" (63.5 mm)	2-15/16" (74.6 mm)	3-7/8" (98.4 mm)	6-1/2" (165.1 mm) 7" (177.8 mm) 10" (254 mm) 12" (304.8 mm)
350T:	3-1/2" (88.9 mm)	3-1/2" (88.9 mm)	6-1/2" (165.1 mm)	7" (177.8 mm) 10" (254 mm) 12" (304.8 mm)
500T:	5" (127 mm)	5" (127 mm)	6-1/2" (165.1 mm)	7" (177.8 mm) 10" (254 mm) 12" (304.8 mm)

3. Major portions of the door members to be 0.125" (3.2 mm) nominal in thickness and glazing molding to be 0.05" (1.3 mm) thick
4. Glazing gaskets shall be either EPDM elastomeric extrusions or a thermoplastic elastomer.
5. Provide adjustable glass jacks to help center the glass in the door opening.

EDITOR NOTE: PROVIDE INFORMATION BELOW INDICATING APPROVED ALTERNATIVES TO THE BASIS-OF-DESIGN PRODUCT.

- B. Subject to compliance with requirements, provide a comparable product by the following:

1. Manufacturer: ()
2. Series: ()
3. Profile dimension: ()
4. Performance Grade: ()

- C. Substitutions: Refer to Substitutions Section for procedures and submission requirements

1. Pre-Contract (Bidding Period) Substitutions: Submit written requests ten (10) days prior to bid date.
2. Post-Contract (Construction Period) Substitutions: Submit written request in order to avoid installation and construction delays.
3. Product Literature and Drawings: Submit product literature and drawings modified to suit specific project requirements and job conditions.
4. Certificates: Submit certificate(s) certifying substitute manufacturer (1) attesting to adherence to specification requirements for aluminum entrance and storefront system performance criteria, and (2) has been engaged in the design, manufacturer and fabrication of aluminum entrances and storefronts for a period of not less than ten (10) years. (Company Name)
5. Test Reports: Submit test reports verifying compliance with each test requirement required by the project.
6. Samples: Provide samples of typical product sections and finish samples in manufacturer's standard sizes.

- D. Substitution Acceptance: Acceptance will be in written form, either as an addendum or modification, and documented by a formal change order signed by the Owner and Contractor.

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2.2 Materials

- A. Aluminum Extrusions: Alloy and temper recommended by aluminum-framed door manufacturer for strength, corrosion resistance, and application of required finish and not less than 0.125" (3.2 mm) wall thickness at any location for the main frame and door leaf members.

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** IF RECYCLED CONTENT REQUIREMENTS ARE NOT SPECIFIED - PRIME (ZERO RECYCLED CONTENT) ALUMINUM COULD BE SUPPLIED.*

1. Recycled Content: Shall have a minimum of 50% mixed pre- and post-consumer recycled content.
 - a. Indicate recycled content; indicate percentage of pre-consumer and post-consumer recycled content per unit of product.
 - b. Indicate relative dollar value of recycled content product to total dollar value of product included in project.
 - c. Indicate location recovery of recycled content.
 - d. Indicate location of manufacturing facility.
- B. Fasteners: Aluminum, nonmagnetic stainless steel or other materials to be non-corrosive and compatible with aluminum-framed door members, trim hardware, anchors, and other components.
- C. Anchors, Clips, and Accessories: Aluminum, nonmagnetic stainless steel, or zinc-coated steel or iron complying with ASTM B 633 for SC 3 severe service conditions or other suitable zinc coating; provide sufficient strength to withstand design pressure indicated.
- D. Reinforcing Members: Aluminum, nonmagnetic stainless steel, or nickel/chrome-plated steel complying with ASTM B 456 for Type SC 3 severe service conditions, or zinc-coated steel or iron complying with ASTM B 633 for SC 3 severe service conditions or other suitable zinc coating; provide sufficient strength to withstand design pressure indicated.
- E. Slide-In-Type Weather Stripping: Provide woven-pile weather stripping of wool, polypropylene, or nylon pile and resin-impregnated backing fabric. Comply with AAMA 701/702.
 1. Weather Seals: Provide weather stripping with integral barrier fin or fins of semi-rigid, polypropylene sheet or polypropylene-coated material. Comply with AAMA 701/702.
- F. Thermal Barrier: Shall be IsoPour™ utilizing two continuous rows of polypropylene with a nominal 7/32" (5.5 mm) separation consisting of a two-part, chemically curing high density polyurethane which is mechanically and adhesively bonded to the aluminum at door rails and stiles.

2.3 Storefront Framing System

EDITOR NOTE: CHOOSE ENTRANCE FRAMING TYPE BASED ON PROJECT REQUIREMENTS.

- A. Storefront Entrance Framing:
1. Trifab™ VG 451T
 2. Trifab™ 451UT
 3. Trifab™ 601/601T
 4. Thermally Broken entrance Framing - Kawneer IsoLock™ Thermal Break with a 1/4" (6.4 mm) separation consisting of a two-part chemically curing, high-density polyurethane, which is mechanically and adhesively joined to aluminum storefront sections.
 - a. Thermal Break shall be designed in accordance with AAMA TIR-A8 and tested in accordance with AAMA 505.
- B. Reinforcements: Manufacturer's standard high-strength aluminum with nonstaining, nonferrous shims for aligning system components.
- C. Fasteners and Accessories: Manufacturer's standard corrosion-resistant, nonstaining, nonbleeding fasteners and accessories compatible with adjacent materials. Where exposed shall be stainless steel.
- D. Perimeter Anchors: When steel anchors are used, provide insulation between steel material and aluminum material to prevent galvanic action.
- E. Packing, Shipping, Handling and Unloading: Deliver materials in manufacturer's original, unopened, undamaged containers with identification labels intact.
- F. Storage and Protection: Store materials protected from exposure to harmful weather conditions. Handle storefront material and components to avoid damage. Protect storefront material against damage from elements, construction activities, and other hazards before, during and after storefront installation.

2.4 Glazing

- A. Glazing: As specified in Division 08 Section "Glazing".
- B. Glazing Gaskets: Manufacturer's standard compression types; replaceable, extruded EPDM rubber.
- C. Spacers and Setting Blocks: Manufacturer's standard elastomeric type.

2.5 Hardware

- A. General: Provide manufacturer's standard hardware fabricated from aluminum, stainless steel, or other corrosion-resistant material compatible with aluminum; designed to smoothly operate, tightly close, and securely lock aluminum-framed entrance doors.
- B. Standard Hardware:
1. Weather-stripping:
 - a. Meeting stiles on pairs of doors shall be equipped with two lines of weather-stripping utilizing wool pile with polymeric fin.
 - b. The door weathering on a single acting offset pivot or butt hung door and frame (single or pairs) shall be comprised of a thermoplastic elastomer weathering on a tubular shape with a semi-rigid polymeric backing and a wool pile with polymeric fin.
 2. Sill Sweep Strips: EPDM blade gasket sweep strip in an aluminum extrusion applied to the interior exposed surface of the bottom rail with concealed fasteners (Necessary to meet specified performance tests).
 3. Threshold: Extruded aluminum, thermally broken, with ribbed surface.
 4. Offset Pivots: [_____]. (Note: EL Offset Pivot available for access control)
 5. Butt Hinge: [_____]. Kawneer Standard is Stainless Steel w/ Powder Coating & Non Removable Pin (NRP) (NOTE: EL Hinge available for access control)
 6. Continuous Hinge: [_____].
 7. Push/Pull: [_____] style.
 8. Exit Device: [_____].
 9. Closer: [_____].
 10. Security Lock/Dead Lock: Active Leaf [_____]; Inactive Leaf [_____].
 11. Latch Handle: [_____].
 12. Cylinder(s)/Thumbturn: [_____].
 13. Electric Strike/Strike Keeper: [_____].
- C. Optional Hardware:

EDITOR NOTE: SUBSTITUTE OPTIONAL HARDWARE PER PROJECT REQUIREMENTS.

1. Adams Rite MS 1850A-505 Hookbolt Lock.
2. Mortise cylinder, interior or exterior.
3. Thumbturn, interior.
4. Flush pull.

2.6 Fabrication

- A. Fabricate thermally broken aluminum-framed entrance doors in sizes indicated. Include a complete system for assembling components and anchoring doors.
- B. Fabricate thermally broken aluminum-framed doors that are reglazable without dismantling perimeter framing.
1. Door corner construction shall consist of mechanical clip fastening, SIGMA deep penetration plug welds and 1" (25.4 mm) long fillet welds inside and outside of all four corners. Glazing stops shall be hook-in type with EPDM glazing gaskets reinforced with non-stretchable cord.
 2. Accurately fit and secure joints and corners. Make joints hairline in appearance.
 3. Prepare components with internal reinforcement for door hardware.
 4. Arrange fasteners and attachments to conceal from view.
- C. Weather-stripping: Provide weather-stripping locked into extruded grooves in door panels or frames as indicated on manufactures drawings and details.

2.7 Aluminum Finishes

- A. Finish designations prefixed by AA comply with the system established by the Aluminum Association for designating aluminum finishes.
- B. Factory Finishing:
1. Kawneer Permanodic™ AA-M10C21A44 / AA-M45C22A44, AAMA 611, Architectural Class I Color Anodic Coating (Color _____).
 2. Kawneer Permanodic™ AA-M10C21A41 / AA-M45C22A41, AAMA 611, Architectural Class I Clear Anodic Coating (Color #14 Clear) (Optional).
 3. Kawneer Permanodic™ AA-M10C21A31, AAMA 611, Architectural Class II Clear Anodic Coating (Color #17 Clear) (Standard).
 4. Kawneer Permafluor™ (70% PVDF), AAMA 2605, Fluoropolymer Coating (Color _____).
 5. Kawneer Permadize™ (50% PVDF), AAMA 2604, Fluoropolymer Coating (Color _____).
 6. Kawneer Permacoat™ AAMA 2604, Powder Coating (Color _____)
 7. Other: Manufacturer _____ Type _____ Color _____.

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PART 3 - EXECUTION

3.1 Examination

- A. Examine openings, substrates, structural support, anchorage, and conditions, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of work. Verify rough opening dimensions, levelness of sill plate and operational clearances. Examine wall flashings, vapor retarders, water and weather barriers, and other built-in components to ensure a coordinated installation.
 - 1. Masonry Surfaces: Visibly dry and free of excess mortar, sand, and other construction debris.
 - 2. Wood Frame Walls: Dry, clean, sound, well nailed, free of voids, and without offsets at joints. Ensure that nail heads are driven flush with surfaces in opening and within 3 inches (76 mm) of opening.
 - 3. Metal Surfaces: Dry; clean; free of grease, oil, dirt, rust, corrosion, and welding slag; without sharp edges or offsets at joints.
 - 4. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 Installation

- A. Comply with Drawings, Shop Drawings, and manufacturer's written instructions for installing thermally broken aluminum-framed entrance doors, hardware, accessories, and other components.
- B. Install thermally broken aluminum-framed entrance doors level, plumb, square, true to line, without distortion or impeding thermal movement, anchored securely in place to structural support, and in proper relation to wall flashing and other adjacent construction.
- C. Set sill threshold in bed of sealant, as indicated, for weather tight construction.
- D. Separate aluminum and other corrodible surfaces from sources of corrosion or electrolytic action at points of contact with other materials.

3.3 Field Quality Control

- A. Manufacturer's Field Services: Upon Owner's written request, provide periodic site visit by manufacturer's field service representative.

3.4 Adjusting, Cleaning, and Protection

- A. Clean aluminum surfaces immediately after installing aluminum-framed door and storefronts. Avoid damaging protective coatings and finishes. Remove excess sealants, glazing materials, dirt, and other substances.
- B. Clean glass immediately after installation. Comply with glass manufacturer's written recommendations for final cleaning and maintenance. Remove nonpermanent labels, and clean surfaces.
- C. Remove and replace glass that has been broken, chipped, cracked, abraded, or damaged during construction period.

DISCLAIMER STATEMENT

This guide specification is intended to be used by a qualified construction specifier. The guide specification is not intended to be verbatim as project specification without appropriate modifications for the specific use intended. The guide specification must be used and coordinated with the procedures of each design firm, and the particular requirements of a specific construction project.

END OF SECTION 084113

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MEMORANDUM

Planning Division

DATE: July 24th, 2019

TO: Planning Board Members

FROM: Nicholas Dupuis, City Planner

APPROVED: Jana Ecker, Planning Director

SUBJECT: 720 N. Old Woodward – Preliminary Site Plan Review

The applicant has submitted a Preliminary Site Plan Review application for a proposed 3rd story addition to an existing commercial building in Downtown Birmingham. The proposed 3rd story will be comprised of four residential units, and the applicant is proposing some minor façade alterations to integrate the 3rd floor design together with the first two floors. The current building is roughly 14,000 square feet (including lower level) and is comprised of commercial/office uses, most notably Kohler on the 1st floor. The applicant is proposing two single bedroom units (794 & 922 sq. ft.) and two two-bedroom units (1,139 & 1,092 sq. ft.).

The total building square footage with the proposed addition, as reported by the applicant, is 20,923 sq. ft. According to Article 7, Section 7.27(E)(2), the proposed addition to the existing structure under 20,000 sq. ft. in area could require a Community Impact Study if the Planning Board determines that it could exert a significant impact on the following:

1. Planning/zoning issues, including conformance with master plan, urban design plan, this chapter, and other applicable city codes and policies.
2. Land development issues, including topographic and soil conditions and site safety concerns.
3. Private utilities consumption, including electrical needs and natural gas utilization.
4. Noise level conditions.
5. Air quality conditions.
6. Environmental design and historic values including visual quality and historic resources.
7. Community facilities and services, including refuse collection, sanitary and storm sewer, and water supply.
8. Public safety needs, including police, fire and emergency medical services.
9. Open space landscaping and recreation, including cultural elements.
10. Transportation issues, including pedestrian access and circulation, auto and delivery vehicle traffic, and parking concerns.
11. Natural features preservation, enhancement, and/or replacement.
12. Other information as reasonably may be required by the city to assure an adequate analysis of all existing and proposed site features and conditions.

The Planning Division does not recommend that a Community Impact Study be required, as the proposed development does not appear to trigger the majority of the significantly above.

1.0 Land Use and Zoning

1.1 Existing Land Use – The site is currently used as commercial/office.

1.2 Zoning – The property is zoned O-2 (Office/Commercial), and D-2 in the Downtown Overlay District.

1.3 Summary of Adjacent Land Use and Zoning – The following chart summarizes existing land use and zoning adjacent to and/or in the vicinity of the subject site, including the 2016 Regulating Plan.

	North	South	East	West
Existing Land Use	Office/ Commercial	Office/ Commercial	Parking/ Natural Landscape	Residential
Existing Zoning District	O-2, Office/ Commercial	O-2, Office/ Commercial	PP, Public Property	R-6, Multiple Family Residential
Overlay Zoning District	D-2	D-2	N/A	N/A

2.0 Setback and Height Requirements

The attached summary analysis provides the required and proposed bulk, area, and placement regulations for the proposed project. The proposed 3rd floor addition has the following bulk, area and placement issues:

- 3rd floor front setback does not meet the requirements in Article 3, Section 3.04(1)(f) which requires a 10 ft. setback. The applicant is proposing partial setbacks of 6 ft. and 0 ft. **The applicant must revise plans to show third floor set back 10 ft. or obtain a variance from the Board of Zoning Appeals.**
- Maximum building height is unclear, as there are no mechanical units shown, nor has the applicant submitted a rooftop plan. **The applicant must submit a roof plan and updated elevations detailing the height and location of all rooftop mechanical units at Final Site Plan.**
- The minimum parking space size in the proposed rear parking area are too small. **The applicant must revise plans to show parking spaces 180 sq. ft. in size or obtain a variance from the Board of Zoning Appeals.**

3.0 Screening and Landscaping

3.1 Dumpster Screening – The applicant is not proposing any changes to the existing dumpster or associated screening.

3.2 Parking Lot Screening – The applicant is not proposing any new off-street parking facilities on site. However, the applicant will be proposing a ground lease from the City for the use of an unused 582 sq. ft. area of pavement directly behind the subject building. The proposed site plan denotes an area for a new retaining wall, but no details are proposed on the size, height, or material selection. The Planning Board may wish to require the applicant to provide alternative screening the four stacked spaces, however, there are no screenwalls existing at the rear or sides of the Municipal Parking Lot #6. A full discussion on parking requirements is presented in the parking section below.

3.3 Mechanical Equipment Screening – The applicant has indicated on the application that mechanical unit location and screening is to be determined. Aerial photos suggest at least 3-4 large rooftop mechanical units exist on the second floor roof. The applicant has not submitted a proposed rooftop plan; therefore, the units are unaccounted in the submitted site plans. **The applicant must submit a rooftop plan and updated elevations showing the location and screening of all proposed rooftop mechanical units, as well as specification sheets for such before Final Site Plan Review.**

3.4 Landscaping – There are no changes proposed to the landscaping on the site. The site does not currently contain any street trees or landscape areas.

3.5 Streetscape Elements – There are no changes proposed to the streetscape. There are currently no street lights, benches, waste receptacles, or bike racks on site.

4.0 Parking, Loading and Circulation

4.1 Parking – The proposed development and its commercial use is located in the Downtown Parking Assessment District; thus, no parking is required on site for the commercial/office uses. However, the applicant is proposing four new residential units, which require 7 off-street parking spaces:

Unit Breakdown	# of Rooms	Parking Per Unit
Unit 1	2	1.5 spaces
Unit 2	2	1.5 spaces
Unit 3	3	2 spaces
Unit 4	3	2 spaces
Total:	-	7 spaces

The applicant is proposing to enter into a ground lease for the unused 582 sq. ft. paved area directly behind the subject building for four of the required spaces. The applicant is also proposing to petition the City Commission for the use of 3 parking spaces in the right-of-way in front of the subject property to round out the required parking, as permitted by Article 4, Section 4.45(G)(1).

The applicant must (1) enter into a ground lease with the City for the use of the pavement in the rear for 4 off-street parking spaces, and (2) the applicant must gain approval from the City Commission for the use of 3

parking spaces in the right-of-way to meet the parking requirements.

The 4 parking spaces in the rear are shown to measure roughly 149 sq. ft. in area. Article 9, Section 9.02 of the Zoning Ordinance defines an off-street parking space as one measuring a minimum of 180 sq. ft. in area. **The applicant must revise the site plans to include parking spaces that are a minimum of 180 sq. ft. in area, or obtain a variance from the Board of Zoning Appeals.**

- 4.2 Loading – The proposed site changes do not include an increase in the commercial/office square footage to the building. No changes to loading are proposed.
- 4.3 Vehicular Circulation and Access – The building is currently accessed by vehicles via two public parking facilities: the right-of- way in front of the building and Parking Lot #6 in the rear. No changes to vehicular circulation and access are proposed.
- 4.4 Pedestrian Circulation and Access – Pedestrian access to the building is currently via a public sidewalk and four doors along the front façade. The entrance for the proposed 3rd floor residential units will be the northernmost door. The stairwell currently has access to the second floor tenant spaces as well. There are no changes proposed to the pedestrian circulation and access on site.

5.0 Lighting

The applicant is not proposing any changes to the lighting on the site.

6.0 Departmental Reports

- 6.1 Engineering Division – The Engineering Division has not submitted comments at this time. Any comments received will be provided at the Planning Board meeting on July 24th, 2019.
- 6.2 Department of Public Services – The Department of Public Services has no concerns at this time.
- 6.3 Fire Department – The Fire Department has provided the following comments:
- With the addition of the residential occupancy, the entire building will require the installation of an automatic sprinkler system, including sprinkler coverage underneath the exterior balconies where automobiles are parked underneath.
- Additionally, the residential occupancy will require a fire alarm system with occupant notification, including occupant notification on all exterior balconies that can be occupied by people.
- All fire system plans will need to be submitted for review, and approval.
- 6.4 Police Department – The Police Department has provided comments requiring clarification as to how the stacked parking will work in the rear with the potential

ground lease and assigning of parking spaces per unit. The Police Department also explained that parking in this area is tight and the Police Department is working with merchants to assist with the parking issues.

6.5 Building Division – The Building Division has not submitted comments at this time. Any comments received will be provided at the Planning Board meeting on July 24th, 2019.

7.0 Design Review

As noted in the introduction of this report, the applicant is proposing a third story addition with minor façade alterations to connect the existing design with the new. The materials detailed in the submitted plans and specification sheets are in accordance with Article 3, Section 3.04(E)(1) which states “at least 90% of the exterior finish material on all facades that face a street shall be limited to the following: glass, brick, cut stone, cast stone, coarsely textured stucco, or wood.” The applicant is proposing to finish the proposed third floor with large glass windows with “extra dark bronze” colored aluminum frames, “midnight bronze” prefinished metal, and “light cherry” cedar wood siding accents. The applicant is proposing to extend the materials to the storefront with a vertical design element on the north end of the street-facing façade using the same materials proposed on the third floor.

Article 3, Section 3.04(E)(6) states that “the glazed area of a facade above the first floor shall not exceed 35% of the total area, with each façade being calculated independently.” The applicant has submitted glazing calculations showing a glass to facade ratio of 620/1755 sq. ft., or 35%. The applicant meets the glazing requirements. The proposed glazing must also meet the requirements of Article 4, Section 4.90(A)(2) which permits windows above the first floor to be lightly tinted with a minimum visible light transmittance of 70%. **The applicant must submit a calculation showing a visual light transmittance of 70% or higher for all proposed glazing.**

The Downtown Overlay Standards also require all flat roofs to be enclosed with a parapet. The applicant is proposing a prefinished metal “midnight bronze” parapet.

The applicant is also proposing to provide balcony space for the rear units, which extends 6 ft. into the air space beyond the property line. The Zoning Ordinance was recently amended to include Article 4, Section 4.74, which requires approval for encroachments into the right-of-way. Such encroachments require approval from the appropriate review board (Planning Board in this instance), and encroachments that extend more than 2’ into the right of way will also require the approval of the City Commission through a lease agreement. **The applicant must enter into a lease agreement with the City Commission for the use of 6 ft. of airspace at the rear of the building.** The lease agreement would encompass the newly proposed balcony, as well as the 2 existing balconies that extend 3 ft. 8 in. beyond the property line.

8.0 Required Attachments

	Submitted	Not Submitted	Not Required
Existing Conditions Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Scaled Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Certified Land Survey	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Interior Floor Plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Landscape Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Photometric Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Colored Elevation Drawings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Material Specification Sheets	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Material Samples	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Existing Site Photographs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Aerial Photographs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Proof of Ownership	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

9.0 Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- 1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- 2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- 3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property and not diminish the value thereof.
- 4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- 5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- 6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

10.0 Recommendation

Based on a review of the site plan revisions submitted, the Planning Division recommends that the Planning Board **APPROVE** the Preliminary Site Plan for 720 N. Old Woodward – pending receipt of the following:

1. The applicant revise plans to show third floor set back 10 ft. or obtain a variance from the Board of Zoning Appeals;
2. The applicant submit a roof plan and updated elevations detailing the height and location of all rooftop mechanical units at Final Site Plan;
3. The applicant revise plans to show parking spaces 180 sq. ft. in area or obtain a variance from the Board of Zoning Appeals;
4. The applicant (1) enter into a ground lease with the City for the use of the pavement in the rear for 4 off-street parking spaces, and (2) the applicant gain approval from the City Commission for the use of 3 parking spaces in the right-of-way to meet the parking requirements;
5. The applicant enter into a lease agreement with the City Commission for the use of 6 ft. of airspace at the rear of the building;
6. The applicant must submit a calculation showing a visual light transmittance of 70% or higher for all proposed glazing;
7. The applicant submit material samples to complete the Design Review; and
8. The applicant comply with the requests of all City Departments.

11.0 Sample Motion Language

Motion to **APPROVE** the Preliminary Site Plan Review for 720 N. Old Woodward – pending receipt of the following:

1. The applicant revise plans to show third floor set back 10 ft. or obtain a variance from the Board of Zoning Appeals;
2. The applicant submit a roof plan and updated elevations detailing the height and location of all rooftop mechanical units at Final Site Plan;
3. The applicant revise plans to show parking spaces 180 sq. ft. in area or obtain a variance from the Board of Zoning Appeals;
4. The applicant (1) enter into a ground lease with the City for the use of the pavement in the rear for 4 off-street parking spaces, and (2) the applicant gain approval from the City Commission for the use of 3 parking spaces in the right-of-way to meet the parking requirements;
5. The applicant enter into a lease agreement with the City Commission for the use of 6 ft. of airspace at the rear of the building;
6. The applicant must submit a calculation showing a visual light transmittance of 70% or higher for all proposed glazing;
7. The applicant submit material samples to complete the Design Review; and
8. The applicant comply with the requests of all City Departments.

OR

Motion to **DENY** the Preliminary Site Plan Review for 720 N. Old Woodward – for the following reasons:

1. _____
2. _____
3. _____

OR

Motion to **POSTPONE** the Preliminary Site Plan Review for 720 N. Old Woodward – for the following reasons:

1. _____
2. _____
3. _____

**Zoning Compliance Summary Sheet
Preliminary Site Plan Review
720 N. Old Woodward**

Existing Site: 2-story commercial/office building

Zoning: O-2 (Office/Commercial) & D-2 (Downtown Overlay)

Land Use: Office/Commercial

Existing Land Use and Zoning of Adjacent Properties:

	North	South	East	West
Existing Land Use	Office/ Commercial	Office/ Commercial	Parking/ Natural Landscape	Residential
Existing Zoning District	O-2, Office/ Commercial	O-2, Office/ Commercial	PP, Public Property	R-6, Multiple Family Residential
Overlay Zoning District	D-2	D-2	N/A	N/A

Land Area: Existing: 0.13 ac.
Proposed: 0.13 ac. (**no changes proposed**)

Dwelling Units: Existing: 0 units
Proposed: 4 units

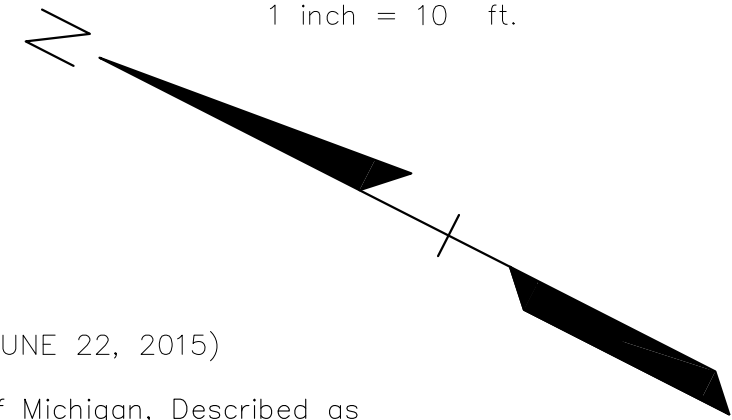
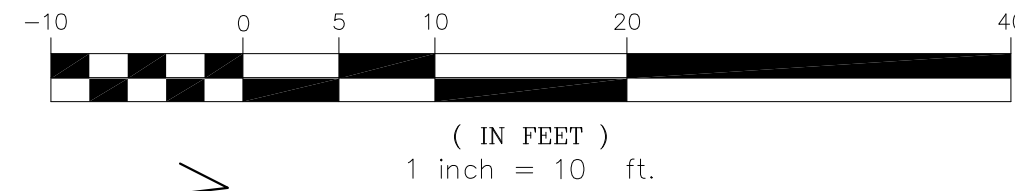
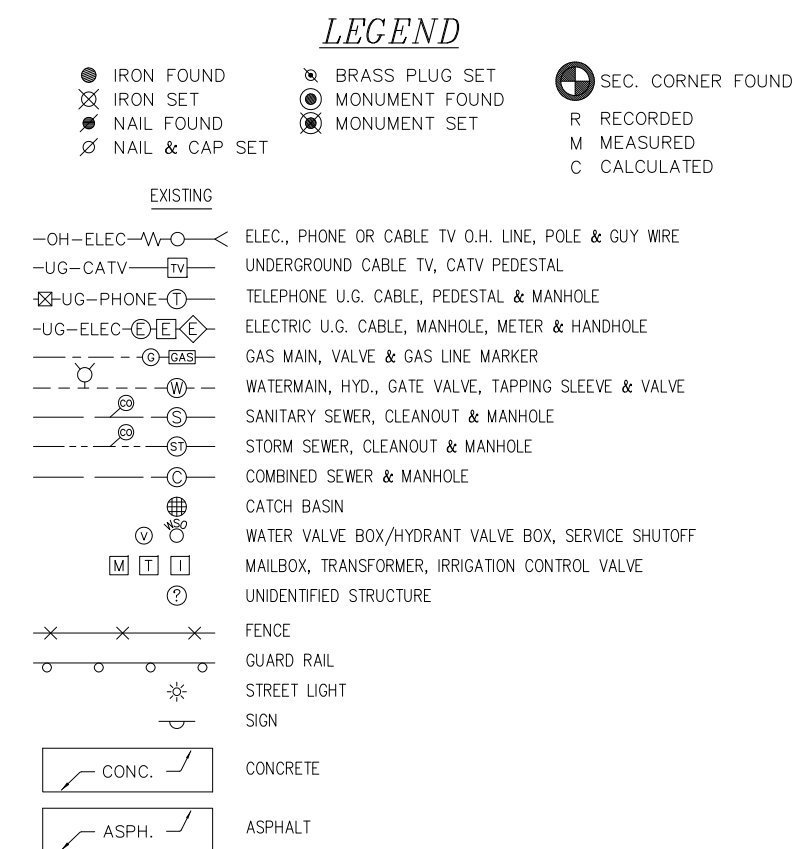
Minimum Lot Area/Unit: Required: N/A
Proposed: N/A

Min. Floor Area /Unit: Required: N/A
Proposed: N/A

Max. Total Floor Area: Required: N/A
Proposed: N/A

Min. Open Space:	Required:	N/A
	Proposed:	N/A
Max. Lot Coverage:	Required:	N/A
	Proposed:	N/A
Front Setback:	Required:	0 ft. (1 st -2 nd floors) 10 ft. (3 rd story only)
	Proposed:	0 ft. (no changes proposed) 0 ft. (applicant must revise plans to show third floor set back 10 ft. or obtain a variance from the Board of Zoning Appeals)
Side Setbacks	Required:	0 ft.
	Proposed:	0 ft. (no changes proposed)
Rear Setback:	Required:	10 ft.
	Proposed:	3 ft. 8 in. (no changes proposed)
Min. Front+Rear Setback	Required:	N/A
	Proposed:	N/A
Max. Bldg. Height:	Permitted:	56 ft. (including mechanical)
	Proposed:	37 ft., 10 in. (Applicant must submit a roof plan and updated elevations detailing the height and location of all rooftop mechanical units at Final Site Plan)
Min. Eave Height:	Required:	20 ft.
	Proposed:	37 ft., 10 in.
1st Floor-Ceiling Height:	Required:	10 ft.
	Proposed:	12 ft. 10 in. (no changes proposed)
Front Entry:	Required:	Principle pedestrian entrance on frontage line
	Proposed:	Principle pedestrian entrance on frontage line
Absence of Bldg. Façade:	Required:	N/A
	Proposed:	N/A
Opening Width:	Required:	N/A
	Proposed:	N/A
Parking:	Required:	7 spaces
	Proposed:	7 spaces (Requires ground lease & City Commission Approvals)

Min. Parking Space Size:	Required:	180 sq. ft.
	Proposed:	140.25 sq. ft. (Applicant must revise plans to show parking spaces 180 sq. ft. in size or obtain a variance from the Board of Zoning Appeals)
Parking in Frontage:	Required:	N/A
	Proposed:	N/A
Loading Area:	Required:	N/A
	Proposed:	N/A
Screening:		
	<u>Parking:</u>	
	Required:	N/A
	Proposed:	N/A (no changes proposed)
	<u>Loading:</u>	
	Required:	N/A
	Proposed:	N/A (no changes proposed)
<u>Rooftop Mechanical:</u>	Required:	Screened from view
	Proposed:	To be determined (Applicant must submit material specifications for all rooftop mechanical and proposed screenwall to ensure screening at Final Site Plan)
<u>Elect. Transformer:</u>	Required:	N/A
	Proposed:	N/A (no changes proposed)
<u>Dumpster:</u>	Required:	N/A
	Proposed:	N/A (no changes proposed)



- 5 Rights of tenants under any unrecorded leases.
- 6 Subject to the Combined Storm/Sanitary Sewer Retention Treatment Basin Appurtenances
Easement Agreement between the City of Birmingham and the Birmingham CSO Drainage
District recorded December 7, 1994 in Liber 15134, Page 290, Oakland County Records. [Not
plotted. Easement does not lie within the subject parcel.]

David L. Cole

David E. Cole, PS
Agent for Professional Engineering Associates, Inc.
MI. P.S. No. 32334

No.	BY	CHK	DESCRIPTION	DATE
REVISIONS				

NAJOR COMPANIES
600 N. COLLETT STREET, SUITE 100
BIRMINGHAM, AL 35209

ALTA/ACSM LAND TITLE SURVEY
720 N. OLD WOODWARD
PART OF THE SW 1/4 OF SECTION 25, T.2N, R.10E,
CITY OF BIRMINGHAM, OKLAHOMA COUNTY, MICHIGAN

DES.	DEN.	EH	SURF.	MS	P.M.	DE
VOLUNTARY DEED 2015-0166	720 N. OLD WOODWARD	DEPT 15	166	BROOKLYN	Avg	Aug

ORIGINAL
ISSUE DATE: AUGUST 10, 2015

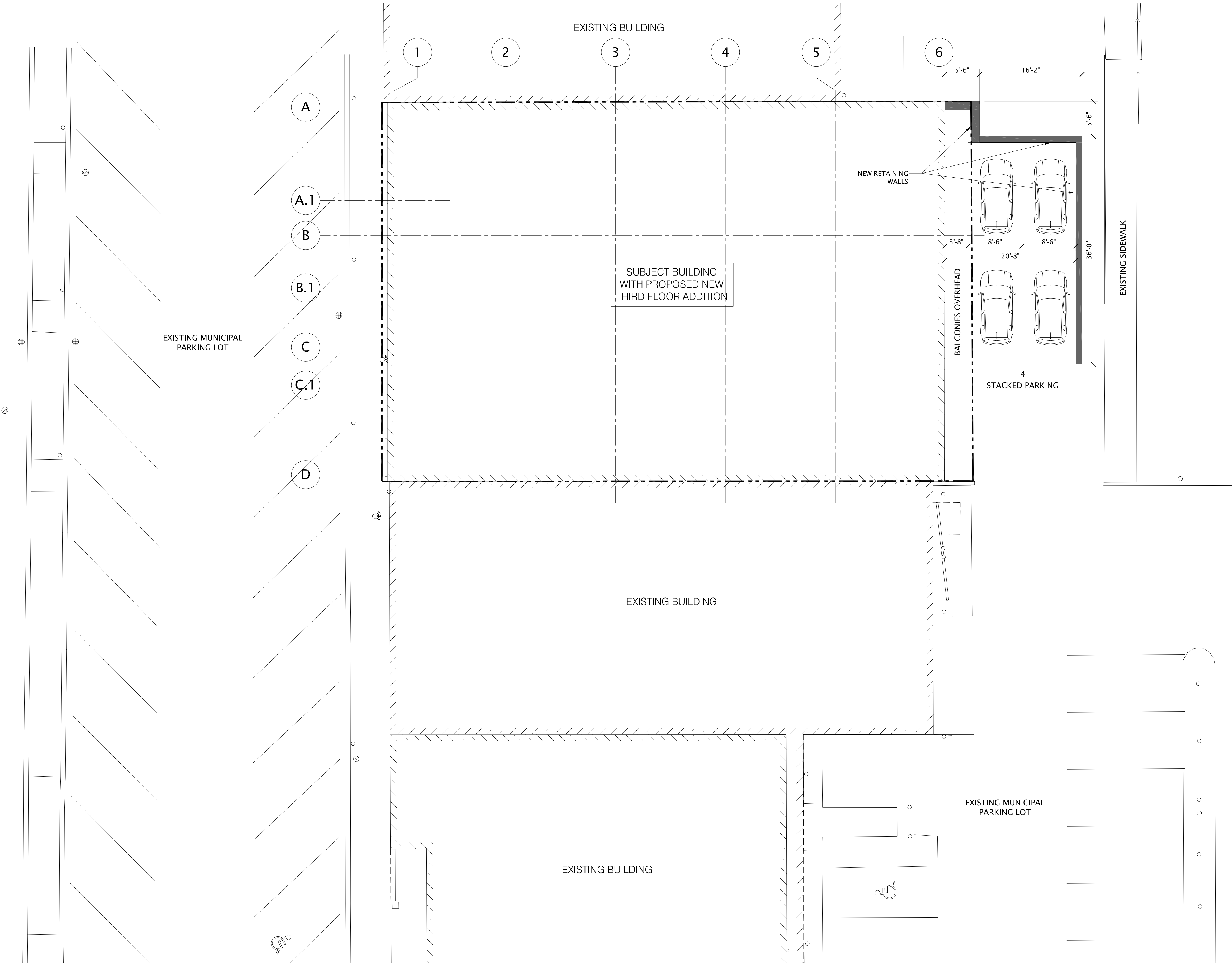
PEA JOB NO. 2015-166

SCALE: 1" = 10'

DRAWING NUMBER:

1

N. OLD WOODWARD AVE



1 PROPOSED SITE PLAN
Scale: 1/8" = 1'-0"

DATE	ISSUED FOR	REV
07/10/2019	PRELIM. SITE PLAN APPROVAL	0
		1
		2

This drawing has been prepared solely for the use of Najor Companies and there are no representations of any kind made by NORR LLC to any party with whom NORR LLC has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Keyplan

North Arrow

Detail Symbol

Seal(s)	
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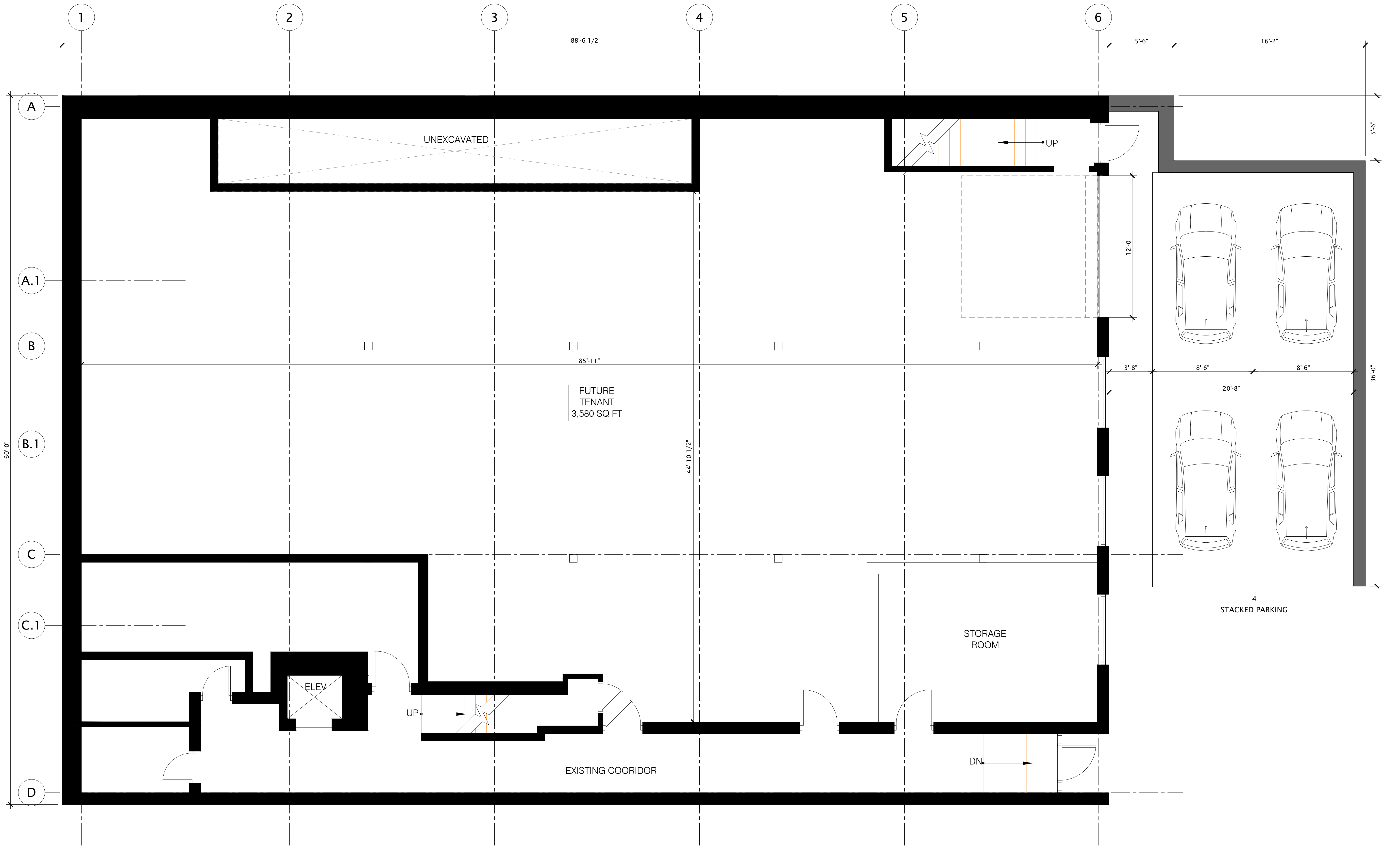
NORR

NORR LLC
An Ingenium Group Company

150 W. Jefferson Ave., Suite 1300
Detroit, Michigan, 48226 USA
www.norr.com

Project Manager C. LANOUE	Drawn
Project Leader	Checked
Client Najor Companies 600 N. Old Woodward Suite 100 Birmingham, Mi 48009	
Project ADDITION AND RENOVATION 720-726 N. OLD WOODWARD AVE. BIRMINGHAM, MI	
Drawing Title SITE PLAN	
Project No.	JCDT18-0360
Drawing No.	A1-01

ARCH D - 24"x36" - 610mmx914mm (rounded)



1 PROPOSED BASEMENT FLOOR PLAN
Scale: 1/4" = 1'-0"

DATE	ISSUED FOR	REV
07/10/2019	PRELIM. SITE PLAN APPROVAL	0
		1
		2

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Keyplan

North Arrow

Detail Symbol

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www.norr.com

Project Manager C. LANOUE	Drawn
Project Leader	Checked

Client
Najor Companies
600 N. Old Woodward Suite 100
Birmingham, Mi 48009

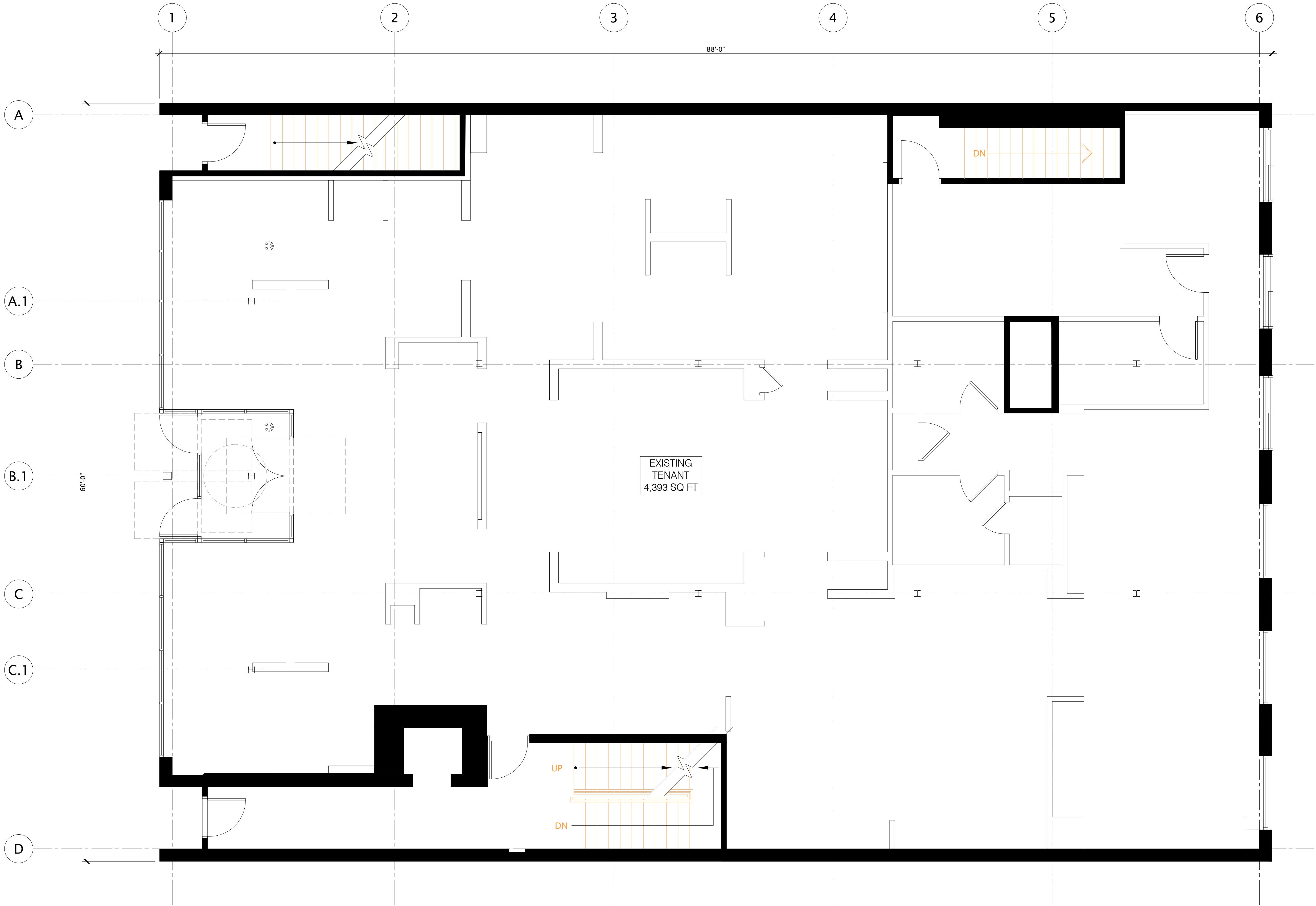
Project
ADDITION AND RENOVATION
720-726 N. OLD WOODWARD
AVE.
BIRMINGHAM, MI

Drawing Title

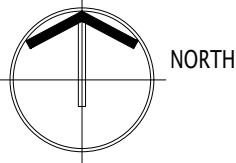
PROPOSED BASEMENT FLOOR

Project No.	JCDT18-0360
Drawing No.	A2-01

ARCH D - 24"x36" - 610mmx914mm (rounded)



1 PROPOSED FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



DATE	ISSUED FOR	REV
07/10/2019	PRELIM. SITE PLAN APPROVAL	0
		1
		2

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Keyplan

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Detail Symbol

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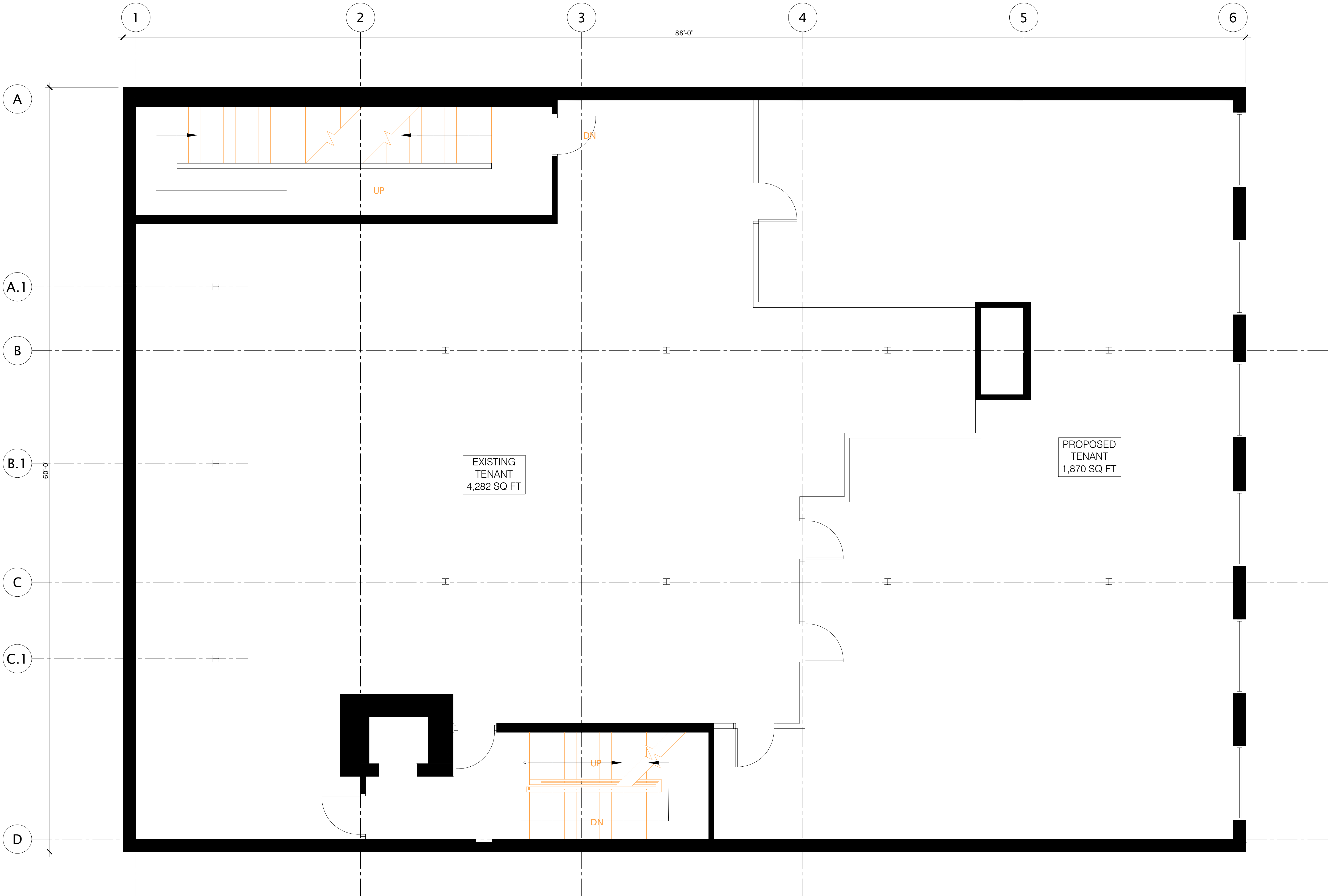
Project Manager C. LANOUE	Drawn
Project Leader	Checked

Client
Najor Companies
600 N. Old Woodward Suite 100
Birmingham, Mi 48009

Project
ADDITION AND RENOVATION
720-726 N. OLD WOODWARD
AVE.
BIRMINGHAM, MI

Drawing Title PROPOSED 1ST FLOOR
Project No. JCDT18-0360
Drawing No. A2-02

ARCH D - 24"x36" - 610mmx914mm (rounded)



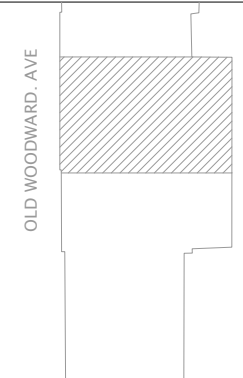
1 PROPOSED SECOND FLOOR PLAN
Scale: 1/4" = 1'-0" 

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		2

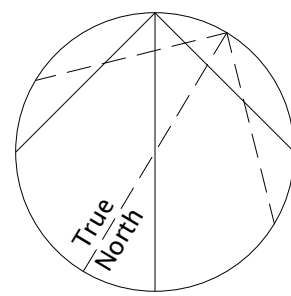
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Keyplan



North Arrow



Detail Symbol

Detail No.
Sheet No.

Seal(s)



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An Ingenium Group Company

150 W. Jefferson Ave., Suite 1300
Detroit, Michigan, 48226 USA
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Project Manager C. LANOUE	Drawn
Project Leader	Checked

Client

Najor Companies
600 N. Old Woodward Suite 100
Birmingham, Mi 48009

Project

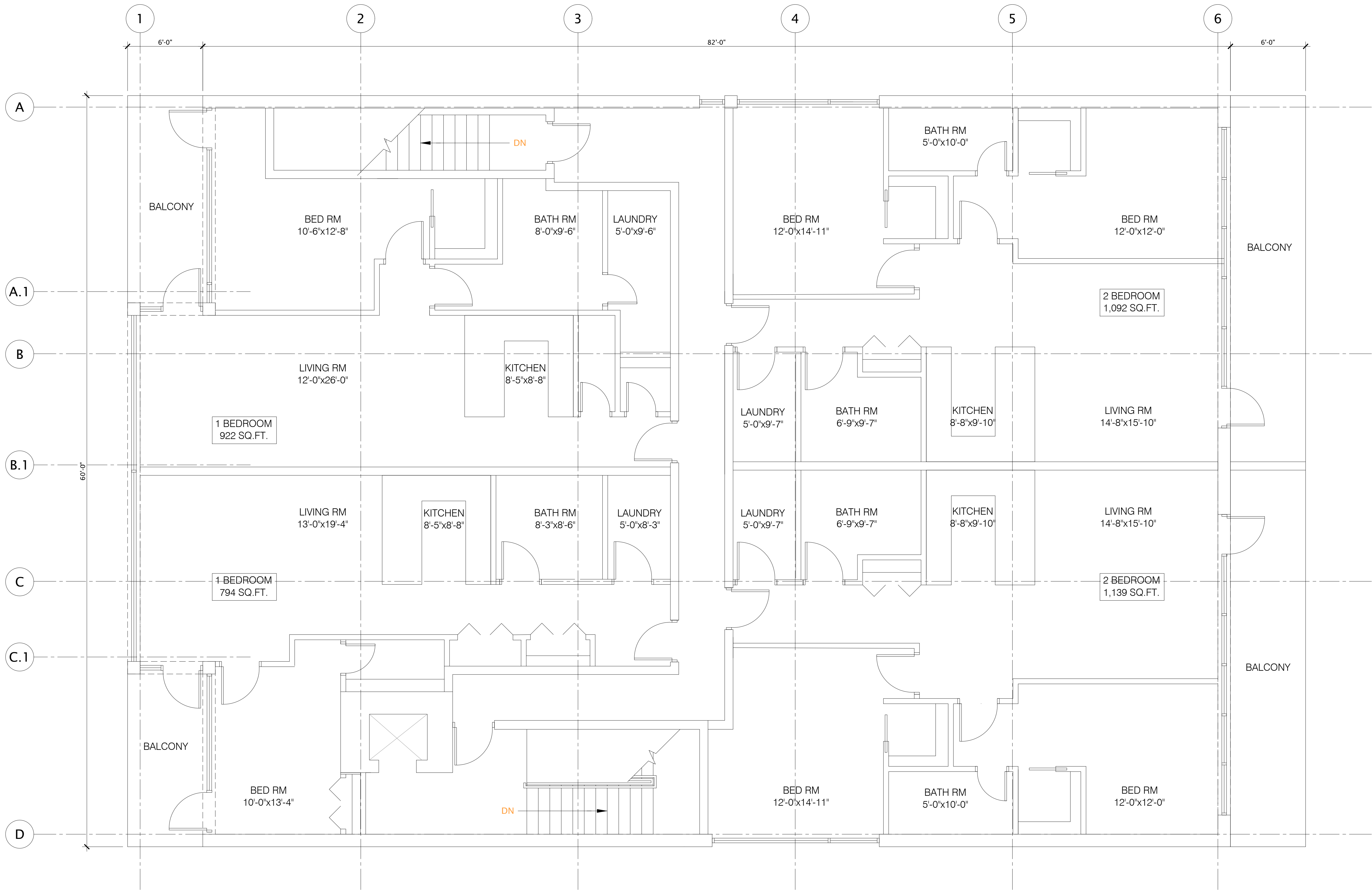
ADDITION AND RENOVATION
720-726 N. OLD WOODWARD
AVE.
BIRMINGHAM, MI

Drawing Title

PROPOSED 2ND FLOOR

Project No.	JCDT18-0360
Drawing No.	A2-03

ARCH D - 24"x36" - 610mmx914mm (rounded)



Variance Chart				
Requested Variance	Required	Existing	Proposed	Variance Amount
Variance A Front Setback on 3rd floor 3.04 A-I(f)	10.00 feet	N/A	0 feet	10.00 feet

1

PROPOSED THIRD FLOOR PLAN

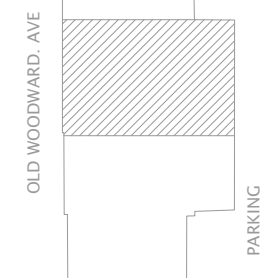
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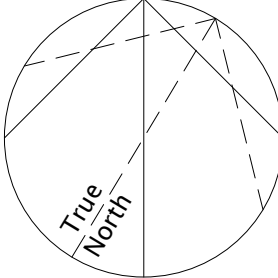
NORTH

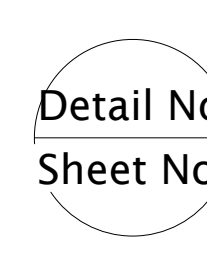
DATE	ISSUED FOR	REV
07/10/2019	PRELIM. SITE PLAN APPROVAL	0
		1
		2

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Keyplan

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Detail Symbol

Detail No. Sheet No.

Seal(s)

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An Ingenium Group Company
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Detroit, Michigan, 48226 USA
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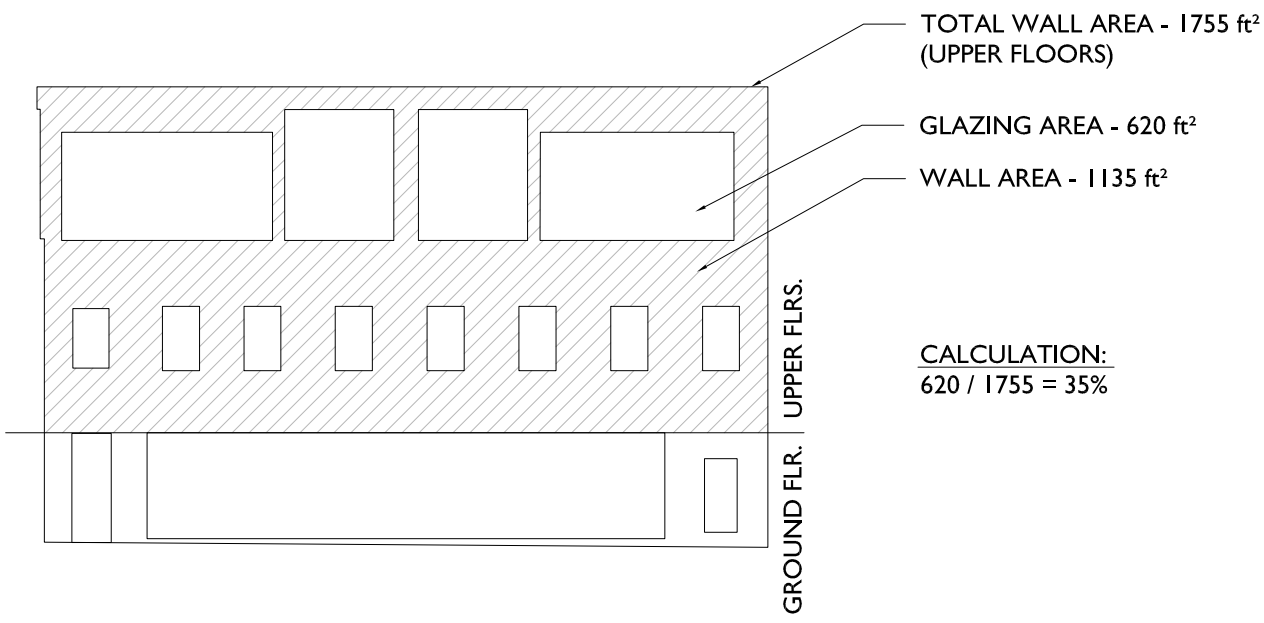
Project Manager C. LANOUE	Drawn
Project Leader	Checked
Client Najor Companies 600 N. Old Woodward Suite 100 Birmingham, Mi 48009	
Project ADDITION AND RENOVATION 720-726 N. OLD WOODWARD AVE. BIRMINGHAM, MI	
Drawing Title PROPOSED 3RD FLOOR	
Project No.	JCDT18-0360
Drawing No.	A2-04

Exterior Material Finishes				
TAG	MATERIAL	MFG.	COLOR / STYLE	REMARKS/ NOTES
E1	STONE	ARRISCRAFT INTERNATIONAL OR APPROVED EQUAL	RENAISSANCE COLLECTION COLOUR - MONTECITO	
E2	PRE-CAST STONE CAP	ARRISCRAFT INTERNATIONAL OR APPROVED EQUAL	PRECAST STONE TO MATCH ABOVE	
E3	NEW BRICK TO MATCH EXIST.	RECLAIMED BRICK	TO MATCH EXISTING	
E4	EXISTING BRICK	--	--	
E5	STANDING SEAM METAL SIDING	PAC-CLAD SNAP CLAD PANELS OR APPROVED EQUAL	MIDNIGHT BRONZE	
E6	PRE-FINISHED METAL	PAC-CLAD BREAK SHAPE METAL OR APPROVED EQUAL	MIDNIGHT BRONZE	
E7	CEDAR WOOD SIDING	LONGBOARD WOOD GRAIN ALUM. PLANKS OR APPROVED EQUAL	LIGHT CHERRY	
E8	DARK ALUM FRAME WINDOWS	TUBELITE OR APPROVED EQUAL	EXTRA DARK BRONZE	
E9	ALUM ENTRANCE DOOR	TUBELITE OR APPROVED EQUAL	EXTRA DARK BRONZE	

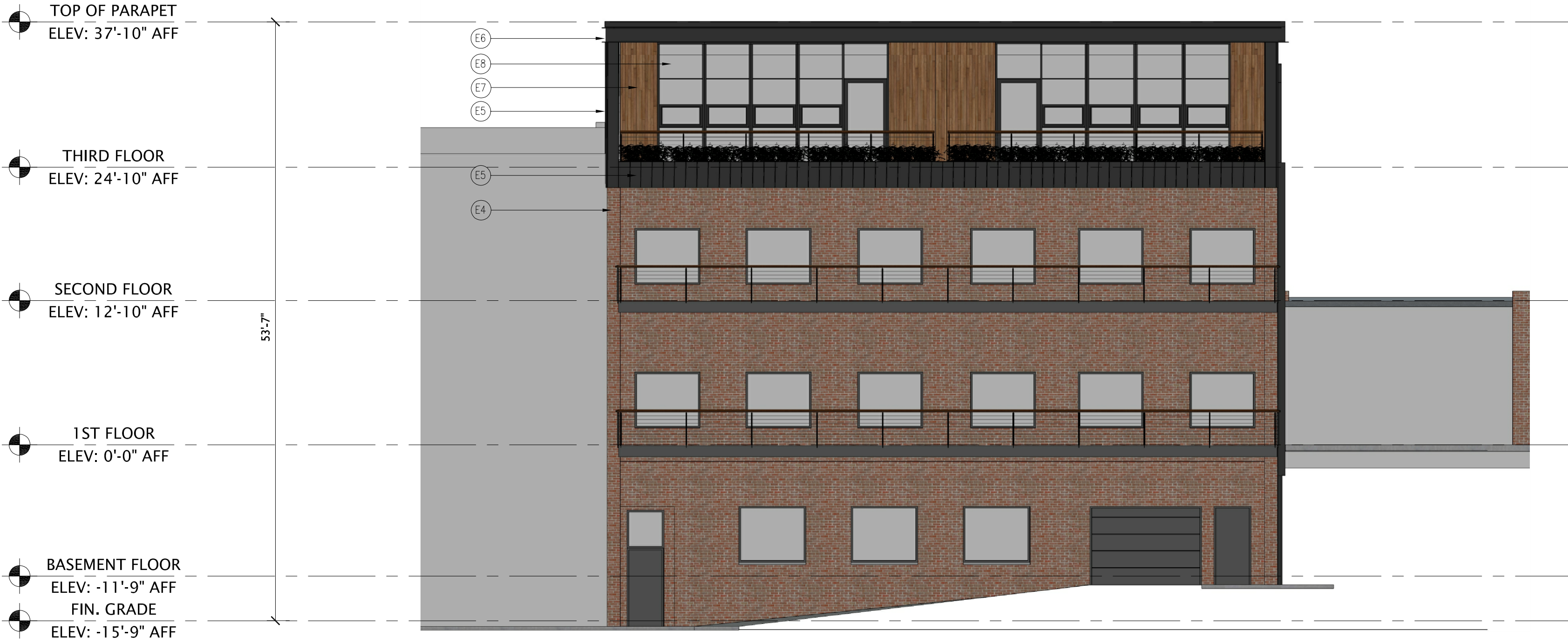
LEGEND

XX - RE: EXTERIOR FINISH SCHEDULE

Variance Chart				
Requested Variance	Required	Existing	Proposed	Variance Amount
Variance A Front Setback on 3rd floor 3.04 A-1(f)	10.00 feet	N/A	0 feet	10.00 feet



GLAZING CALCULATION DIAGRAM



2 EAST ELEVATION - REAR ALLEY
SCALE: 1/8"



1 WEST ELEVATION - OLD WOODWARD AVE.
SCALE: 1/8"

DATE	ISSUED FOR	REV
07/10/2019	PRELIM. SITE PLAN APPROVAL	0
		1
		2
This drawing has been prepared solely for the use of Najor Companies and there are no representations of any kind made by NORR LLC to any party with whom NORR LLC has not entered into a contract.		
This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.		

Keyplan

North Arrow

Detail Symbol

Detail No. Sheet No.

Seal(s)

NORR
NORR LLC
An Ingenium Group Company
150 W. Jefferson Ave., Suite 1300
Detroit, Michigan, 48226 USA
www.norr.com

Project Manager	C. LANQUE	Drawn
Project Leader		Checked
Client	Najor Companies 600 N. Old Woodward Suite 100 Birmingham, MI 48009	
Project	ADDITION AND RENOVATION 720-726 N. OLD WOODWARD AVE. BIRMINGHAM, MI	
Drawing Title	COLORED ELEVATIONS	
Project No.	JCDT18-0360	
Drawing No.	03-01	

CITY OF BIRMINGHAM
Date 07/08/2019 1:21:06 PM
Ref 00160590
Receipt 491763
Amount \$100.00

CITY OF BIRMINGHAM
Date 07/08/2019 1:21:06 PM
Ref 00160589
Receipt 491763
Amount \$1,100.00



Preliminary Site Plan Review Application Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: Brian Najor, Najor Companies
Address: 600 N. Old Woodward Suite 100
Birmingham, Mi 48009
Phone Number: 248 433 7000
Fax Number: _____
Email address: brian@najorcompanies.com

3. Applicant's Attorney/Contact Person

Name: _____
Address: _____
Phone Number: _____
Fax Number: _____
Email address: _____

2. Property Owner

Name: Brian Najor, Najor Companies
Address: 600 N. Old Woodward Suite 100
Birmingham, Mi 48009
Phone Number: 248 433 7000
Fax Number: _____
Email address: brian@najorcompanies.com

4. Project Designer/Developer

Name: Cindy Lanoue - Norr
Address: 150 W. Jefferson Ave, Suite 1300
Detroit, Mi 48226
Phone Number: 313 324 3095
Fax Number: _____
Email address: Cindy.Lanoue@norr.com

5. Required Attachments

- I. Two (2) paper copies and one (1) digital copy of all project plans including:
 - i. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject sites property lines;
 - ii. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
 - iii. A certified Land Survey;
 - iv. Interior floor plans;

- v. A Landscape Plan;
 - vi. A Photometric Plan;
 - vii. Colored elevation drawings for each building elevation;
- II. Specification sheets for all proposed materials, light fixtures and mechanical equipment;
- III. Samples of all proposed materials;
- IV. Photographs of existing conditions on the site including all structures, parking areas, landscaping and adjacent structures;
- V. Current aerial photographs of the site and surrounding properties;
- VI. Warranty Deed, or Consent of Property Owner if applicant is not the owner;
- VII. Any other data requested by the Planning Board, Planning Department, or other City Departments.

6. Project Information

Address/Location of the property: 720-726 N. Old Woodward
Birmingham, Mi.
Name of development: N/A
Sidwell #: 1925328058
Current Use: Retail store/Showroom & General Office
Proposed Use: 3rd Floor Residential lofts
Area of Site in Acres: 0.13 acres (5600 ft²)
Current zoning: Overlay O2 Underlay D2
Is the property located in the floodplain? N/A

Name of Historic District site is located in: N/A
Date of Historic District Commission Approval: N/A
Date of Design Review Board Approval: N/A
Will proposed project require the division of platted lots? N/A
Will proposed project require the combination of platted lots? N/A

7. Details of the Proposed Development (attach separate sheet if necessary)

Project is for the addition of 3rd floor apartments on existing 2 storey building and includes renovations of existing building to accommodate private access up to 3rd floor apartments.

8. Buildings and Structures

Number of Buildings on Site: 1
Height of Buildings & # of Stories: 37'-10", 3 Stories

Use of Buildings: Mixed use, Commercial & Residential
Height of Rooftop Mechanical Equipment: TBD

9. Floor Use and Area (in Square Feet)

Proposed Commercial Structures:

Total basement floor area: _____
Number of square feet per upper floor: _____
Total floor area: _____
Floor area ratio (total floor area ÷ total land area): _____
Open space: _____
Percent of open space: _____

Office Space: _____
Retail Space: _____
Industrial Space: _____
Assembly Space: _____
Seating Capacity: _____
Maximum Occupancy Load: _____

Proposed Residential Structures:

Total number of units: _____
Number of one bedroom units: _____
Number of two bedroom units: _____
Number of three bedroom units: _____
Open space: _____
Percent of open space: _____

Rental units or condominiums? _____
Size of one bedroom units: _____
Size of two bedroom units: _____
Size of three bedroom units: _____
Seating Capacity: _____
Maximum Occupancy Load: _____

Proposed Additions:

Total basement floor area, if any, of addition: N/A
Number of floors to be added: 1 Floor
Square footage added per floor: 5095 ft² (3rd Floor)
Total building floor area (including addition): 20,923 ft²
Floor area ratio (total floor area ÷ total land area): 3.74
Open Space: None
Percent of open space: None

Use of addition: Residential Apartments
Height of addition: 13'-0"
Office space in addition: N/A
Retail space in addition: N/A
Industrial space in addition: N/A
Assembly space in addition: N/A
Maximum building occupancy load (including addition): 203

10. Required and Proposed Setbacks

Required front setback: O2 - 0 Feet, D2 - 3rd flr. 10'-0"
Required rear setback: O2 - 10 feet
Required total side setback: O2 - 0 feet
Side setback: O2 - 0 feet

D2 - 3rd flr. Partial 6 feet setback
Proposed front setback: & partial 0 feet setback
Proposed rear setback: Match existing
Proposed total side setback: 0 feet
Second side setback: 0 feet

11. Required and Proposed Parking

Required number of parking spaces: 6 parking stalls
Typical angle of parking spaces: 90
Typical width of maneuvering lanes: N/A
Location of parking on site: Back of Building
Location of parking off site: N/A
Number of light standards in parking area: TBD
Screenwall material: N/A

Proposed number of parking spaces: 4
Typical size of parking spaces: 8'-6" x 17'-6"
Number of spaces <180 sq. ft.: 4
Number of handicap spaces: 0
Shared parking agreement? N/A
Height of light standards in parking area: N/A
Height of screenwall: N/A

12. Landscaping

Location of landscape areas: N/A

Proposed landscape material: N/A

13. Streetscape

Sidewalk width: Existing
Number of benches: N/A
Number of planters: N/A
Number of existing street trees: N/A
Number of proposed street trees: N/A
Streetscape plan submitted? N/A

Description of benches or planters: N/A
Species of existing trees: N/A
Species of proposed trees: N/A

14. Loading

Required number of loading spaces: 2 (1 for office + 1 for retail)
Typical angle of loading spaces: 90
Screenwall material: N/A
Location of loading spaces on site: Rear yard

Proposed number of loading spaces: None (pending variance)
Typical size of loading spaces: N/A (pending variance)
Height of screenwall: N/A
Typical time loading spaces are used: TBD

15. Exterior Waste Receptacles

Required number of waste receptacles: N/A
Location of waste receptacles: N/A
Screenwall material: N/A

Proposed number of waste receptacles: N/A
Size of waste receptacles: N/A
Height of screenwall: N/A

16. Mechanical Equipment

Utilities and Transformers:

Number of ground mounted transformers: TBD
Size of transformers (L•W•H): _____
Number of utility easements: _____
Screenwall material: _____

Location of all utilities & easements: TBD

Height of screenwall: _____

Ground Mounted Mechanical Equipment:

Number of ground mounted units: TBD
Size of ground mounted units (L•W•H): _____
Screenwall material: _____

Location of all ground mounted units: TBD

Height of screenwall: _____

Rooftop Mechanical Equipment:

Number of rooftop units: TBD
Type of rooftop units: _____

Screenwall material: _____
Location of screenwall: _____

Location of all rooftop units: TBD
Size of rooftop units (L•W•H): _____
Percentage of rooftop covered by mechanical units: _____
Height of screenwall: _____
Distance from rooftop units to all screenwalls: _____

17. Accessory Buildings

Number of accessory buildings: N/A
Location of accessory buildings: N/A

Size of accessory buildings: N/A
Height of accessory buildings: N/A

18. Building Lighting

Number of light standards on building: TBD
Size of light fixtures (L•W•H): _____
Maximum wattage per fixture: _____
Light level at each property line: _____

Type of light standards on building: TBD
Height from grade: _____
Proposed wattage per fixture: _____

19. Site Lighting

Number of light fixtures: TBD
Size of light fixtures (L•W•H): _____
Maximum wattage per fixture: _____
Light level at each property line: _____

Type of light fixtures: TBD
Height from grade: _____
Proposed wattage per fixture: _____
Holiday tree lighting receptacles: _____

20. Adjacent Properties

Number of properties within 200 ft.: 11

Property #1

Number of buildings on site: 1
Zoning district: Overlay O2 Underlay D2
Use type: Office
Square footage of principal building: 4,650 ft² +/-
Square footage of accessory buildings: N/A
Number of parking spaces: unknown - shared parking lots

Property Description: 2 Storey office building

North, south, east or west of property? South

Property #2

Number of buildings on site: 1
Zoning district: Overlay O2 Underlay D2
Use type: Office
Square footage of principal building: 4,700 ft² +/-
Square footage of accessory buildings: N/A
Number of parking spaces: unknown - shared parking lots

Property Description: 2 Storey office building

North, south, east or west of property? South

Property #3

Number of buildings on site: 1
Zoning district: Overlay O2 Underlay D2
Use type: Office & Retail store
Square footage of principal building: 9,300 ft² +/-
Square footage of accessory buildings: N/A
Number of parking spaces: unknown - shared parking lots

Property Description: 2 Storey office/retail building

North, south, east or west of property? South

Property #4

Number of buildings on site: 1
Zoning district: Overlay O2 Underlay D2
Use type: Office & Retail store
Square footage of principal building: 7,120 ft² +/-
Square footage of accessory buildings: N/A
Number of parking spaces: unknown - shared parking lots

Property Description: 2 Storey office/retail building

North, south, east or west of property? South

Property #5

Number of buildings on site: 1
Zoning district: Overlay O2 Underlay D2
Use type: Business establishment
Square footage of principal building: 1,400 ft² +/-
Square footage of accessory buildings: N/A
Number of parking spaces: unknown - shared parking lots

Property Description: 1 Storey commercial building

North, south, east or west of property? North

Property #6

Number of buildings on site: 1
Zoning district: Overlay O2 Underlay D2
Use type: Business establishment
Square footage of principal building: 1,300 ft² +/-
Square footage of accessory buildings: N/A
Number of parking spaces: unknown - shared parking lots

Property Description: 1 Storey commercial building

North, south, east or west of property? North

Continued on next page

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

Signature of Owner: [Signature] Date: 7/8/19

Print Name: Brian Nantz, Harlewood 720 LLC

Signature of Applicant: _____ Date: _____

Print Name: _____

Signature of Architect: NORR LLC [Signature] Date: 7/8/19

Print Name: NORR LLC

Office Use Only

Application #: PPSP 19-0002 Date Received: 7/8/19 Fee: \$1200.00

Date of Approval: _____ Date of Denial: _____ Accepted by: _____

Property #7

Number of buildings on site: 1
Zoning district: Overlay O2 Underlay D2
Use type: Business establishment
Square footage of principal building: 1,450 ft² +/-
Square footage of accessory buildings: N/A
Number of parking spaces: unknown - shared parking lots

Property Description: 1 Storey commercial building

North, south, east or west of property? North

Property #8

Number of buildings on site: 1
Zoning district: Overlay O2 Underlay D2
Use type: Business establishment
Square footage of principal building: 1,750 ft² +/-
Square footage of accessory buildings: N/A
Number of parking spaces: unknown - shared parking lots

Property Description: 1 Storey commercial building

North, south, east or west of property? North

Property #9

Number of buildings on site: 1
Zoning district: Overlay O2 Underlay D2
Use type: Business establishment
Square footage of principal building: 2,140 ft² +/-
Square footage of accessory buildings: N/A
Number of parking spaces: unknown - shared parking lots

Property Description: 1 Storey commercial building

North, south, east or west of property? North

Property #10

Number of buildings on site: 1
Zoning district: Overlay O2 Underlay D2
Use type: Business establishment
Square footage of principal building: 1,500 ft² +/-
Square footage of accessory buildings: N/A
Number of parking spaces: unknown - shared parking lots

Property Description: 1 Storey commercial building

North, south, east or west of property? North

Property #11

Number of buildings on site: 1
Zoning district: Overlay O2 Underlay D2
Use type: Office
Square footage of principal building: 8,650 ft² +/-
Square footage of accessory buildings: N/A
Number of parking spaces: unknown - shared parking lots

Property Description: 2 Storey office building

North, south, east or west of property? North

July 12, 2019

Project No.

JCDT 18-0360

Project Name

Najor 720-726 Additions % Reno

To

Nicholas Dupuis
City of Birmingham
151 Martin Street, P.O. Box 3001
Birmingham, MI
48012

Distribution

Name	Company / Company Abbr.	Email
Nicholas Dupuis	City of Birmingham	ndupuis@bhamgov.org

The following items are being transmitted to you by Hand

☐ Office Drawing ☐ Shop Drawing ☒ Other

Comments

Re: Preliminary Site Plan Review Application

Drawing / Item #	Title	No. of Copies	Date of Issue
1	Certified Survey	2	Aug 10, 2015
A1-01	Site Plan	2	July 12 th , 2019
A2-01 – A2-04	Floor Plans	2	July 12 th , 2019
A3-01	Colored Elevations	2	July 12 th , 2019
	Site Photographs	2	July 12 th , 2019
	Material Brochures	2	July 12 th , 2019

Mike Rutherford
Architect
Tel: 313 324 3122 | Mike.Rutherford@norr.com

p:\projects\18-0360 - najor 720-726 additions & reno\500-issues\510-issued\2019-07-12_site plan application\transmittal.docx

Design with freedom.

Natural Edge® 

Selection

Solutions

Education

Innovation

Renaissance® Collection

 **Arriscraft**
Building Stone · Brick · Limestone

Why Renaissance®?



Robert D. Love Downtown YMCA - Wichita, KS | Schaefer Johnson Cox Frey Architecture | Sandrift Sandblasted

“ Arriscraft stone brings timeless elegance to our modern design. The best products, the best service, the best results.

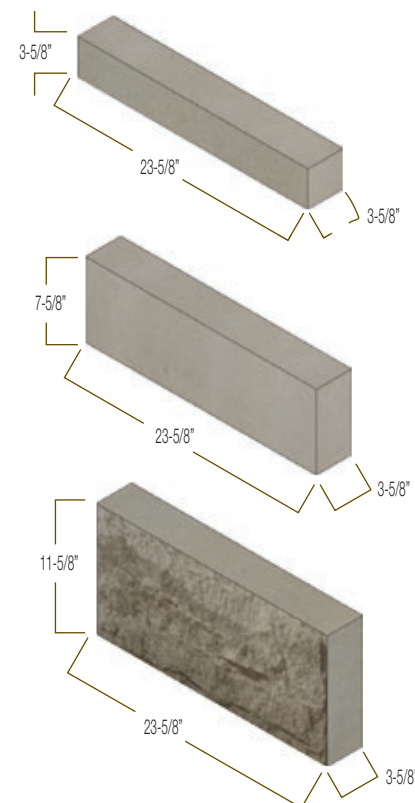
MILAN MALINOVIC, PRINCIPAL
Design Cooperative, LLC



Arriscraft Renaissance® Masonry Units offer architects, builders and property owners a premium stone with exceptional performance, beauty and flexibility. Our unique Natural Process technology mimics how stone is created in the earth – yielding cement-free stone products with the aesthetic, strength and durability benefits of quarried stone, plus cost effective installation.

Renaissance® units are offered in standard sizes and colors, yet offer tremendous flexibility through custom colors, blends, shapes and sizes - in rocked, smooth, satin, or sandblasted finishes . Discover the unparalleled beauty and design opportunities of Renaissance® Masonry Units, backed by an industry-unique lifetime product warranty.

Standard Masonry Units



NATURAL EDGE®

Our Natural Process technology replicates how stone is formed in the earth and creates products with the aesthetics and durability of quarried stone, plus the benefits of standard installation and unlimited supply.



SELECTION

Our comprehensive product range includes: the classic Renaissance® stone, a robust Building Stone collection, three versatile thin-clad options, various brick styles (including our long, contemporary option), Adair® limestone, and a full offering of cast accessories.



SOLUTIONS

We lead the industry in premier product support, including an extensive technical library, complimentary Masonry Envelope Review services, personal technical support, and renowned custom color and blend development. Our on-site technical services can provide historical matching, unique colors and custom blends, as required.



INNOVATION

Product innovation at Arriscraft continues to meet market demands for modern stone designs and lightweight, thin stone solutions, as well as matching processes to replicate historical stone as quarries close after decades of use. We also continuously improve our manufacturing process to lead the industry in green and sustainability initiatives.



EDUCATION

We educate daily through our technical support, AIA credit courses, and an ever-broadening information base. Our website offers high-res color sheets, data sheets, seamless texture images, a Building Stone Calculator, plus our growing blog of articles and tips. For decades we've provided complimentary mason training and student tours, and sponsored the University of Waterloo Architecture Lecture Series.

Color Selection

Renaissance® Masonry Units are available in a stunning range of natural standard colors. Arriscraft offers custom color development and also allows customers to create custom blends using different standard colors. With so much creative flexibility, Arriscraft can bring any design to life.

Because all Arriscraft products are manufactured to have through-body color, units can be cut, chiseled and dressed on-site. In addition, designers can order custom shapes and sizes to create truly unique projects.



Rappahannock River Hall, CNU | Newport News, VA | Glave & Holmes Architecture | Wheat Rocked and Sandblasted



Upson County Regional Medical Center - Barnesville, GA | David A. Tyler | Café Smooth, Ginger Rocked

Cambridge ON Canada Colors



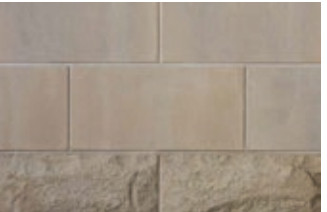
Adobe



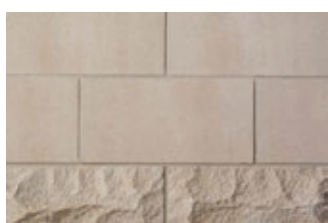
Birchbark



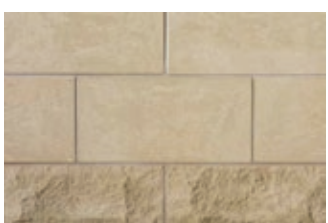
Carbon



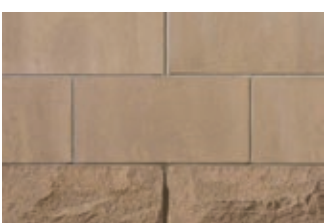
Driftwood



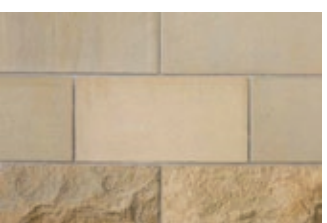
Nutmeg



Olive



Ryegrass



Sandrift



Wheat



White

Fort Valley GA USA Colors



Café



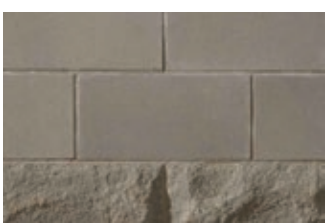
Champagne



Garnet



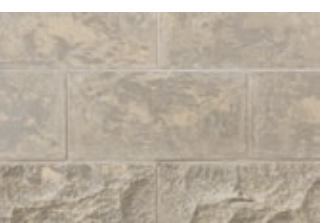
Ginger



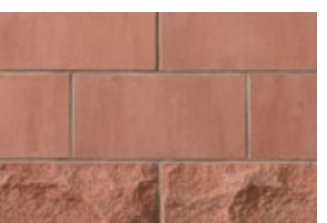
Graphite



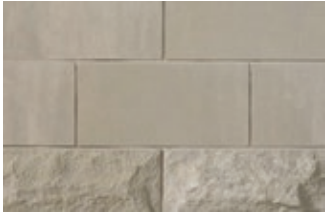
Limestone



Magnolia



Merlot



Montecito



Oak Ridge



Suede



Sunset



Falcon Bank - Laredo, TX | Redline Architecture | Ginger & Suede Rocked and Smooth



Elle of Buckhead - Atlanta, GA | Niles Bolton Associates | Limestone Satin



Gunnison County Courthouse - Gunnison, CO | Roth Sheppard | Sunset Satin and Rocked

“ The wide range of shapes, colors and textures available in Arriscraft products challenges the architects' creativity and provides masonry design opportunities that are both affordable and aesthetically pleasing.



Middle Tennessee Medical Center - Murfreesboro, TN | Gresham Smith and Partners | Custom Color Rocked

“ It's reached the point where one of the first things I ask myself when designing a project is 'Where can I put the (Arriscraft) Renaissance® stone?' It's such a high quality product that its presence in the project alone takes the user to another level.

L. MARK LOUDERMILK
Cline Design Associates



Private Residence | AZD Architects | Renaissance® Sandrift Rocked and Sandblasted



Ellington Apartments - Markham, ON | LMA Architects | Nutmeg Custom Dressed Finish

Versatile Design and Installation

Like any artist's raw material, Renaissance® puts design into your hands. Enjoy absolute flexibility with a stone product that you can shape, color, size, and install as you like. Here are a few examples of the creative options with Renaissance®.

Custom Colors

In addition to an array of standard colors, we can provide custom blends or entirely custom colors. This flexibility allows you to co-ordinate seamlessly with other structures and even match historical projects.



Installation Options

Standardized sizes allow for unique bond patterns, such as repeating or vertical installations, as well as traditional bond patterns.



Custom Shapes

The through-body color and texture of Renaissance® stone makes shaping and detailing possible and is an ideal way to make designs absolutely unique. Custom shapes can be created on-site by the mason or on spec at our manufacturing facility.



1. & 2. Colors were created to the architect's specification.

1. Stone installed in a vertical quarter bond pattern | 2. Blend of standard colors (Suede, Café, Garnet) installed in an ashlar pattern.

1. Custom Arch and Post units, Bullnose | 2. Bullnose and custom detail | 3. Notches to emulate large panels



Visions Healthcare - Boston, MA | SMOOK Architecture & Urban Design | Ginger Smooth and Suede Satin

About Arriscraft

Arriscraft manufactures a vast range of premium stone for commercial and residential projects, including full-bed Building Stone, Renaissance® Masonry Units, thin-clad adhered and clipped veneers, Adair® Limestone, and cast accessories.

Cambridge, Ontario Plant
875 Speedville Road
Cambridge, Ontario, Canada
N3H 4S8

Toll Free: 800-265-8123
Email: solutions@arriscraft.com

Fort Valley, Georgia Plant
6054 Zenith Mill Road, Arriscraft Lane
Fort Valley, Georgia, USA
31030

Phone: 478-827-1896
Fax: 478-827-1897

IMPORTANT NOTES

Colors and textures have been reproduced as closely as the printing process allows. Final selection should be made from actual samples.

Renaissance® Masonry Units' compressive strength, durability and dimensional tolerances are within the range of those of quality limestone (ASTM C568) and sandstone products (ASTM C616).

Renaissance® Masonry Units meet the severe-weathering requirements of ASTM C73 for Calcium Silicate units.

Renaissance® Masonry Units must be installed using industry recommended materials and techniques and conform to all related building code requirements. All masonry products are intended for above-grade installations. Proper care, installation and cleaning are required for warranty validation. Please refer to Arriscraft•DATA Renaissance® Masonry Units and Arriscraft•CARE Storage and Handling at: www.arriscraft.com

ON THE COVER

Project: Black Sheep Restaurant - Jacksonville, FL
Architect: Design Cooperative, LLC
Color: Limestone Satin

FPO
FSC Logo



Arriscraft is the stone products group of General Shale, the North American subsidiary of Wienerberger AG and a leading manufacturer of brick, one of the world's oldest green building materials.

www.arriscraft.com





PAC-CLAD®

P E T E R S E N



Architectural Metal Roof, Wall and
Perimeter/Roof Edge Systems

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10-11 SNAP-CLAD PANELS

Manufacturer recommended for wall cladding
Max 16" spacing to avoid oil canning

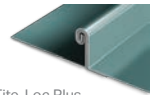


Snap-Clad

12-13 TITE-LOC PANELS

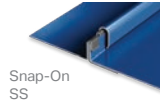


Tite-Loc

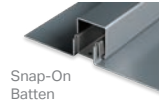


Tite-Loc Plus

14-15 SNAP-ON PANELS



Snap-On
SS



Snap-On
Batten



High
Snap-On SS

16-17 REDI-ROOF PANELS



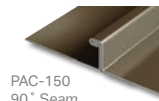
Redi-Roof
SS w/ Offsets



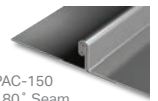
Redi-Roof
SS w/o Offsets

18-19 PAC-150 PANELS*

* Available only from our Georgia and Maryland facilities



PAC-150
90° Seam



PAC-150
180° Seam

20-21 FLUSH/REVEAL WALL PANELS

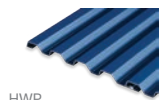


Flush Panel



Reveal Panel

22-25 PRECISION SERIES WALL PANELS



HWP



Highline B1



Highline B2



Highline C1



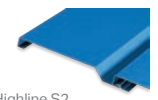
Highline C2



Highline M1



Highline S1

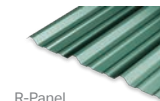


Highline S2

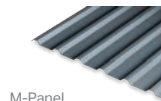
26 PRECISION SERIES TILES

27 PERFORATED METAL

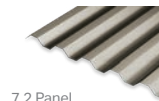
28-29 EXPOSED FASTENER PANELS



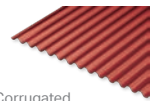
R-Panel



M-Panel



7.2 Panel

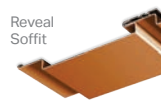


Corrugated

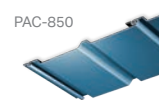
30-31 SOFFIT PANELS



Flush
Solid



Reveal
Soffit



PAC-850



PAC-750

32 COLUMN COVERS

33 COMPOSITE WALL PANELS

34 COLORGARD® SNOW RETENTION SYSTEM

34 COIL AND FLAT SHEET

35 FLASHING, TRIM, ANODIZED ALUMINUM

36 FASCIA SYSTEMS

37 COPING SYSTEMS

38-39 GENERAL CONSIDERATIONS

Cover photo:
Ridley Township Marina, Ridley, PA
Installing contractor: E.P. Donnelly Inc.
Architect: Catania Engineering Associates,
General contractor: J.S. McManus Inc.
Photographer: hortonphotoinc.com
Profiles: Snap-Clad, PAC-750 vented,
ColorGard snow retention system
Color: Copper Penny

PAC-CLAD® PRODUCT RANGE

Petersen Aluminum Corporation (PAC) was founded in 1965 as a metals service center to the architectural metal industry. Petersen provides products of the highest possible quality within reliable, dependable lead times. Petersen's strong national sales base allows for large inventories and cost economies for its customers.

Headquartered in Elk Grove Village, Illinois, located just outside of Chicago, Petersen also operates full production facilities in Annapolis Junction, Maryland; Tyler, Texas; Phoenix, Arizona and Acworth, Georgia, plus a regional sales office in Andover, Minnesota. In addition to the information found in this catalog, PAC maintains an extensive website at pac-clad.com where a PDF of this catalog is available in digital format and within PAC's e-binder on its website.

Technical assistance and service are available and complemented locally by a nationwide organization of architectural representatives who can offer assistance in material selection, finish specification and budgeting. Because Petersen's scope of applications is so wide, inquiries are encouraged.

PAC-CLAD ARCHITECTURAL SHEET AND COIL

PAC-CLAD is a versatile prefinished sheet metal coating of 70% polyvinylidene fluoride (Kynar) that is applied to G-90 galvanized steel, galvalume steel or prime quality aluminum. Originally developed for use in abrasive environments, PAC-CLAD has proven to be ideally suited for applications in roofing, wall, curtainwall, storefront and trim applications. PAC-CLAD is now available in 45 colors carefully selected to complement a range of building materials.

PAC-CLAD PANELS

Petersen is an industry leader in providing factory-produced metal panels, maintaining extensive roll-forming equipment in all regional plants. Each Petersen facility produces panels that have been leveled. Standing seam, exposed fastener, flush wall, soffit and horizontal wall panels are factory-formed in lengths up to 64'. Refer to the specific product pages, or consult the local factory for maximum lengths and capabilities for each facility. Matching flashing and trim also may be factory-formed, or field-formed from PAC-CLAD material.

PAC-CLAD ACCESSORIES

Petersen fabricates a wide range of roofing accessories from stocked PAC-CLAD colors and gauges. Trim, gutters and downspouts can be produced from Petersen's 45 standard PAC-CLAD colors.

PERIMETER/ROOF EDGE SYSTEMS

Petersen's perimeter/roof edge product line provides the complete system to ensure a clean, sure-fitting product while eliminating the need for field fabrication. All PAC perimeter systems are produced in 12' lengths for an estimated 20 to 40 percent savings in material handling over the typical 8' or 10' lengths. Perimeter systems are competitively priced while providing superior strength, aesthetics and ease of installation. Perimeter products are tested to the standards of ANSI/SPRI/FM 4435/ES-1, Miami-Dade and FM. For information on our coping and fascia products, please see pages 36-37 of this catalog or visit pac-clad.com.



Cape Canaveral Volunteer Fire Station, Cape Canaveral, FL
Installing contractor: Quality Metals
Architect: BRPH
General contractor: W&J Construction
Photographer: hortonphotoinc.com
Profile: Tite-Loc Plus
Color: Arcadia Green

PAC-CLAD® APPLICATIONS



Jefferson County Western Health Center, Midfield, AL
Installing contractor: CSC Roofing
Architect: Birchfield Penuel & Associates
General contractor: M.J. Harris Construction Services
Owner: Jefferson County Department of Health
Photographer: hortonphotoinc.com
Profiles: Tite-Loc curved, Reveal Wall Panels
Colors: Cardinal Red, Sierra Tan



Discovery Center in the Discovery Park of America, Union City, TN
Installing contractor: Ralph Jones Sheet Metal Inc.
Architect: Verner Johnson Inc.
General Contractor: Allen Searcy Builder-Contractor Inc.
Photographer: hortonphotoinc.com
Profiles: Tite-Loc, Snap-On
Color: Silver Metallic

Destin Commons, Destin, FL
Installing contractor: Roof Specialties
Architect: JPRA Architects
Distributor: CRS – Commercial Roofing Specialties
Photographer: hortonphotoinc.com
Profile: Snap-Clad
Colors: Arcadia Green, Slate Gray, Terra Cotta



Walls Residence, Little Rock, AR
Installing contractor: Covington Roofing & Sheet Metal
Architect: Polk Stanley Wilcox Architects
Material: PAC-CLAD 24 ga. steel
Color: Musket Gray



PAC-CLAD® APPLICATIONS





Indian Springs School, Pelham, AL
 Installing contractor: Quality Architectural Roofing
 Architect: Architectureworks
 General contractor: B.L. Harbert
 Photographer: Casey Dunn
 Profile: Snap-Clad
 Color: Zinc



Craig Ranch Phase III, McKinney, TX
 Installing contractor: Stazon Roofing
 Architect: JHP Architecture
 Material distributor: Roofing Supply Group
 General contractor: Amicus Construction
 Owner: Lincoln Property Co.
 Photographer: Tom Coplen
 Material: Steel coil
 Colors: Weathered Steel, Zinc

PAC-CLAD® COLOR CHART

TRIM

PAC-CLAD products are available in prime quality aluminum (.032 - .063), 24 gauge G-90 galvanized steel and 22 gauge Galvalume steel, finished with a 70% PVDF (Kynar) finish on the top side, with a washcoat on the bottom. Other metals available include mill finish aluminum, bare galvanized steel, stainless steel, Galvalume Plus and anodized aluminum.

A strippable vinyl film can be applied to coil, flat sheet or fabricated parts to protect painted surfaces. Vinyl masking is recommended where extra handling is expected. NOTE: Film must be removed immediately after installation.

FINISH WARRANTY

Life expectancy is 30-years plus on 70% PVDF-finished materials. A 30-year, non-prorated warranty covering color fade, chalking and film integrity is available at no extra charge. Warranty terms vary slightly for Cardinal Red, Award Blue, Weathered Steel and Weathered Copper.

PAC-CLAD METALLICS

Petersen can supply metallic finishes with the economy of a one-pass, two-coat system at a moderate additional cost. These colors are ideal for all building envelope applications. A PAC-CLAD metallic 30-year, non-prorated finish warranty applies. Proper orientation is required as this is a directional finish.

COMMITMENT TO SUSTAINABILITY

PAC-CLAD products provide unmatched aesthetics and performance, plus an element of sustainability. Where possible, Petersen products include a high percentage of recycled material, which lowers their environmental footprint. Additionally, PAC products are 100% recyclable which may reduce the solid waste stream to landfills.

Petersen also offers the industry's widest range of 45 colors, most of which feature outstanding SRI (Solar Reflectance Index) values for improved cooling and energy savings performance. PAC-CLAD offers 35 finishes that are rated by the Cool Roof Ratings Council, and 31 colors that are Energy Star®-approved. In addition, 30 PAC-CLAD finishes have an SRI of 29 or higher for steep slope roofs, to allow a building to qualify for credits in the U.S. Green Building Council's Leadership in Energy and Environmental Design (LEED) Green Building Rating System. Refer to pacgreeninfo.com for more information on sustainable cool metal roofing.

SHERWIN-WILLIAMS
Coil Coatings

Petersen Aluminum has been a proud partner with Sherwin-Williams Coil Coatings since 1972

NOTE: Colors below are not exact representations of actual PAC-CLAD colors. Ask a PAC representative for a color-chip chart or painted metal samples before making final color selection.

STANDARD COLORS

Patina Green*	Teal*	Hemlock Green*	Forest Green	Dark Bronze*	Midnight Bronze	Mansard Brown*
Arcadia Green*	Hartford Green	Evergreen*	Hunter Green*	Burnished Slate*	Aged Bronze*	Burgundy
Military Blue*	Berkshire Blue	Slate Blue*	Medium Bronze*	Terra Cotta*	Colonial Red*	Cardinal Red*
Interstate Blue	Award Blue	Charcoal*	Cityscape*	Sandstone*	Granite*	Sierra Tan*
Matte Black	Graphite*	Musket Gray*	Slate Gray*	Bone White*	Stone White*	Almond*

* Denotes PAC-CLAD Cool Color

PREMIUM COLORS

Anodic Clear*	Silversmith*
Silver*	Champagne*
Weathered Zinc*	Zinc*
Copper Penny*	Aged Copper*
Weathered Copper	Weathered Steel

PAC-CLAD® COLOR AVAILABILITY

PAC-CLAD STANDARD COLORS	REFLECTIVITY	EMISSION	3 YEAR EXPOSURE	SRI	STEEL		ALUMINUM				ENERGY STAR
					24 GA.	22 GA.	.032	.040	.050	.063	
AGED BRONZE	0.28	0.86	N/A	27	✓						
ALMOND	0.53	0.87	0.52	62	✓	✓	✓	✓	✓		★
ARCADIA GREEN	0.30	0.88	0.30	31	✓		✓				★
AWARD BLUE	0.21	0.86	0.20	18	✓		✓		✓		
BERKSHIRE BLUE*	0.26	0.87	0.25	25	✓						
BLACK ALUMINUM**	0.20	0.86	0.19	17			✓	✓	✓	✓	
MATTE BLACK STEEL**	0.23	0.87	0.22	21	✓	✓					
BONE WHITE	0.65	0.86	0.64	78	✓	✓	✓	✓	✓	✓	★
BURGUNDY	0.23	0.87	0.22	21	✓		✓		✓		
BURNISHED SLATE	0.29	0.85	N/A	28	✓						
CARDINAL RED	0.36	0.86	0.36	38	✓		✓		✓		★
CHARCOAL	0.26	0.87	0.26	25	✓		✓		✓		★
CITYSCAPE	0.43	0.87	0.43	48	✓	✓	✓	✓	✓		★
COLONIAL RED	0.32	0.88	0.32	34	✓		✓	✓	✓		★
DARK BRONZE	0.26	0.88	0.26	26	✓	✓	✓	✓	✓	✓	★
EVERGREEN	0.25	0.86	0.23	24	✓		✓				★
FOREST GREEN	0.10	0.87	0.10	5	✓	✓	✓	✓	✓		
GRANITE*	0.36	0.87	0.36	39	✓	✓	✓	✓	✓		★
GRAPHITE	0.27	0.86	N/A	26	✓						
HARTFORD GREEN	0.09	0.88	0.09	4	✓		✓	✓	✓		
HEMLOCK GREEN	0.30	0.85	0.31	30	✓		✓		✓		★
HUNTER GREEN	0.26	0.86	0.25	25	✓		✓				★
INTERSTATE BLUE	0.13	0.87	0.12	8	✓		✓		✓		
MANSARD BROWN	0.28	0.85	0.28	27	✓	✓	✓	✓	✓		★
MEDIUM BRONZE	0.25	0.88	0.24	24	✓	✓	✓	✓	✓	✓	★
MIDNIGHT BRONZE	0.06	0.88	N/A	0	✓			✓			
MILITARY BLUE	0.29	0.87	0.28	30	✓		✓				★
MUSKET GRAY	0.28	0.87	0.27	28	✓	✓	✓		✓		★
PATINA GREEN	0.34	0.86	0.33	35	✓		✓				★
SANDSTONE	0.46	0.87	0.46	52	✓	✓	✓	✓	✓	✓	★
SIERRA TAN	0.31	0.87	0.31	32	✓	✓	✓	✓	✓		★
SLATE BLUE	0.23	0.87	0.22	21	✓		✓				★
SLATE GRAY	0.35	0.88	0.34	38	✓	✓	✓	✓	✓		★
STONE WHITE	0.67	0.85	0.65	80	✓	✓	✓	✓	✓	✓	★
TEAL	0.26	0.87	0.26	25	✓		✓				★
TERRA COTTA	0.36	0.88	0.35	39	✓		✓		✓		★
PAC-CLAD PREMIUM COLORS											
AGED COPPER	0.25	0.87	0.24	24	✓		✓		✓		★
ANODIC CLEAR	0.55	0.80	N/A	62				✓			
CHAMPAGNE	0.40	0.82	0.36	42	✓		✓	✓	✓		★
COPPER PENNY	0.45	0.87	0.44	51	✓		✓	✓	✓		★
SILVER	0.48	0.81	0.46	53	✓	✓	✓	✓	✓		★
SILVERSMITH	0.52	0.81	N/A	58				✓			
WEATHERED COPPER	0.45	0.88	N/A	51	✓						
WEATHERED STEEL	0.32	0.89	N/A	34	✓						
WEATHERED ZINC	0.25	0.82	0.24	22	✓	✓	✓		✓		★
ZINC	0.30	0.88	0.29	31	✓		✓	✓	✓		★
CLEAR-COAT ACRYLIC FINISH (NON-KYNAR)											
GALVALUME PLUS	0.68	0.14	0.55	57	✓	✓					★

PAC-CLAD Premium finishes are available from stock at a moderate extra cost. PAC-CLAD Copper Penny is a Non-Weathering finish. Solar Reflectance Index calculated according to ASTM E-1980.

*Low Gloss/Low Sheen, 70% PVDF finish ** Appearance differs for Black Aluminum and Matte Black Steel

ENERGY STAR PERFORMANCE CRITERIA:

Emissivity uses ASTM C1371 Reflectivity uses ASTM C1549.

TECHNICAL DATA FOR KYNAR 500/HYLAR 5000 COATING:

- ▶ South Florida Exposure: Color (ASTM D 2244) - No more than 5ΔE Hunter units at 20 years; Chalk (ASTM D 4214) - Rating no less than 8 at 20 years; Film integrity - 20 years.
- ▶ Accelerated Weathering (ASTM D 4587, ASTM G 154): 5000 Hours; Chalk, per ASTM D 4214, rating of 6 or better; Color, per ASTM D 2244, < 5ΔE (Hunter Units) color change.

- ▶ Humidity Resistance (ASTM D 2247): Galvalume or HDG, 100% RH, 2000 hours - No field blisters; Aluminum, 100% RH, 3000 hours - No field blisters
- ▶ Salt Spray Resistance (ASTM B 117): Aluminum, 3000 hours, Galvalume or HDG, 1000 hours - Creep from scribe no more than 1/16", no field blisters
- ▶ Chemical/Acid Pollution Resistance (ASTM D 1308): Pass
- ▶ T-Bend (ASTM D 4145): 1T - 3T with no loss of adhesion
- ▶ Pencil hardness (ASTM D 3363): HB - 2H
- ▶ Specular Gloss (ASTM D 523) @ 60 degrees: Typical - 20 - 35

- ▶ Abrasion Resistance (ASTM D 968): 67 +/- 10 liters
- ▶ Cross Hatch Adhesion (ASTM D 3359): No loss of adhesion
- ▶ Reverse Impact (ASTM D 2794): Galvalume or HDG, 2x metal thickness inch-pounds, no loss of adhesion; Aluminum, 1.5x metal thickness inch-pounds, no loss of adhesion
- ▶ Flame Test (ASTM E 84): Class A Coating

SNAP-CLAD PANELS

Snap-Clad panels feature architectural aesthetics as well as structural performance. Snap-Clad panels, produced in continuous lengths, are leveled to provide superior flatness and feature an optional factory-applied sealant bead for improved weather resistance. Maximum panel length is 64' and minimum panel length is 4'. Consult factory for longer lengths.

Snap-Clad panels feature a 1- $\frac{3}{4}$ " leg height and a continuous interlock for improved structural performance and wind resistance. A concealed-fastener clip system allows for thermal expansion/contraction while providing extraordinary hold-down strength. Two clips are available: a standard clip for most mansard and fascia applications, and a high-performance clip for roofing applications and UL 90-rated assemblies.

TRIM

All flashing and trim shall be fabricated by manufacturer or qualified fabricator. Flashing shall be PAC-CLAD aluminum (.032 - .063 gauge as specified) or PAC-CLAD steel (24 gauge or 22 gauge as specified). A 30-year non-prorated finish warranty can be supplied covering finish performance. Vinyl masking is recommended on all fabrication applications where extra handling is expected. NOTE: The strippable film must be removed immediately after installation.

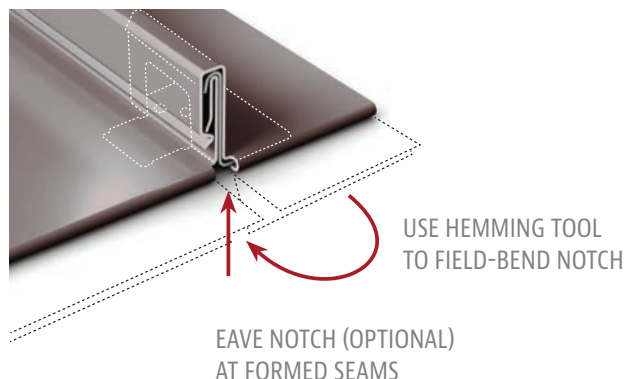
INSTALLATION

Snap-Clad panels are intended for use in roofing, mansard and fascia applications. Substrates may include $\frac{5}{8}$ " (min.) plywood, nailboard insulation or equal with an underlayment of ice and water shield applied horizontally from eave to ridge. Other substrates may include metal decking or rigid insulation in conjunction with bearing plates. A minimum 2:12 pitch is

recommended in most applications. Contact Petersen for assistance with details on projects requiring lower slopes. For coastal applications, aluminum panels along with stainless steel clips must be used for warranty. Consult a local architect/engineer for compliance with local codes and conditions.

EAVE NOTCHING

Factory-produced eave notching is available at nominal additional cost on Snap-Clad panels and Redi-Roof standing seam panels. Factory eave notching saves on labor cost by eliminating the need for field cutting to produce a properly trimmed eave detail.



PRODUCT FEATURES

- ▶ Architectural/structural panel
- ▶ Factory-applied sealant available
- ▶ Continuous interlock
- ▶ Labor-saving one-piece design
- ▶ Stiffener beads upon request
- ▶ Striations upon request
- ▶ Factory eave notching available
- ▶ 30-year non-prorated finish warranty
- ▶ Maximum factory-produced panel length is 64' (check w/factory for longer lengths)
- ▶ Weathertightness warranty available

- ▶ 43 stocked colors (24 gauge steel)
- ▶ 16 stocked colors (22 gauge steel)
- ▶ 36 stocked colors (.032 aluminum)
- ▶ 22 stocked colors (.040 aluminum)
- ▶ Panels available in Galvalume Plus

UL CLASSIFICATION

- ▶ UL-580 Class 90 wind uplift
- ▶ UL-1897 wind uplift
- ▶ UL-790 Class A fire rated
- ▶ UL-263 fire resistance rated
- ▶ UL-2218 impact resistance rated

- ▶ UL-90 rated aluminum panel up to 16" O.C.
- ▶ UL-90 rated steel panel up to 18" O.C.

ASTM TESTS

- ▶ ASTM E1592 tested
- ▶ ASTM E283/1680 tested
- ▶ ASTM E331/1646 tested

FLORIDA BUILDING & MIAMI-DADE PRODUCT APPROVALS

Please refer to pac-clad.com or your local factory for specific product approval numbers for Snap-Clad.



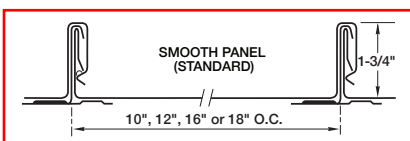
SNAP-CLAD

MATERIALS

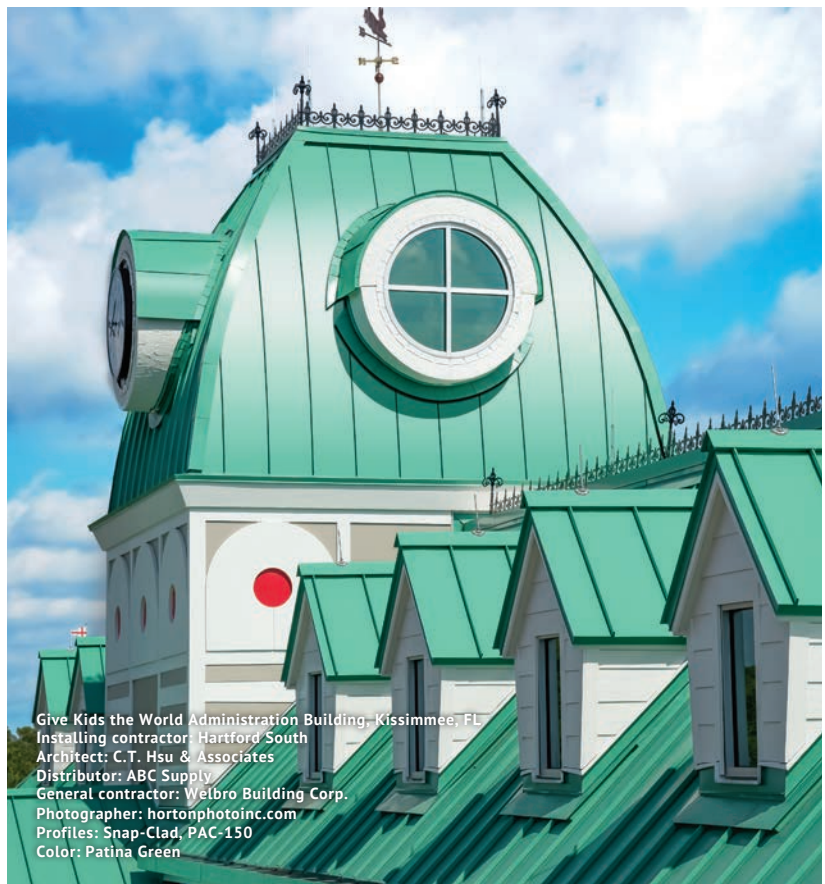
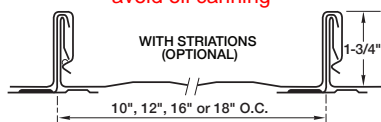
.032 aluminum	24 gauge steel
.040 aluminum	22 gauge steel

SPECS

10", 12", 16" or 18" O.C.	1-3/4" High
---------------------------	-------------



Manufacturer recommends 16" max to avoid oil canning





LONGBOARD®

INSPIRING FACADES

WOODGRAIN OPTIONS

Our woodgrain options are divided into four categories based on the consistency of the wood grain pattern.

CONSISTENT



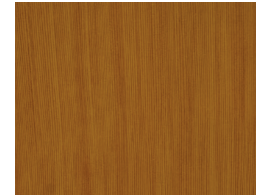
DARK ACACIA



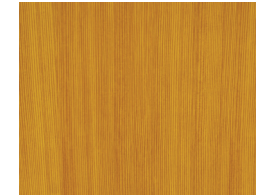
DARK BAMBOO



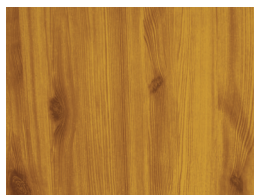
LIGHT BAMBOO



DARK FIR



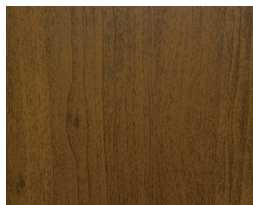
LIGHT FIR



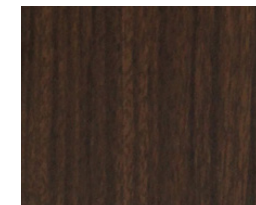
DARK KNOTTY PINE



LIGHT OAK



DARK WALNUT



ITALIAN ROSEWOOD

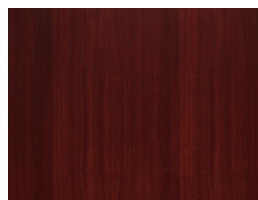


WHITE OAK

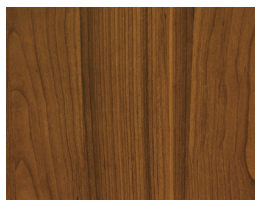
WOODGRAIN OPTIONS

Our woodgrain options are divided into four categories based on the consistency of the wood grain pattern.

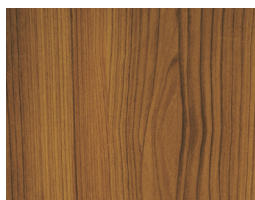
MODERATE



NATIONAL
MAHOGANY



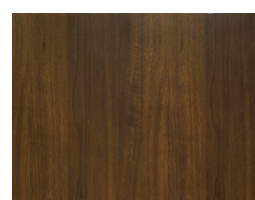
DARK CHERRY



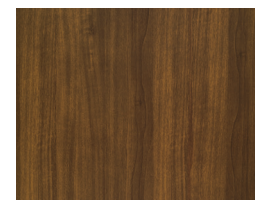
LIGHT CHERRY



WESTERN CEDAR



DARK NATIONAL
WALNUT



LIGHT NATIONAL
WALNUT

CONSIDERABLE



TABLE WALNUT

INTERIOR



WEATHERED GREY

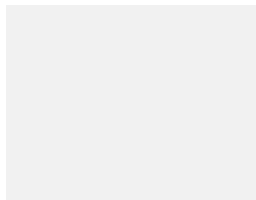


SAND DRIFT

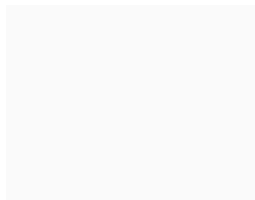
COLOR OPTIONS

These are our standard colors. They are available with our standard lead time and are can be ordered as samples.

SOLID COLOR



ULTRA WHITE



BONE WHITE



COMMON CHARCOAL



SLATE GREY



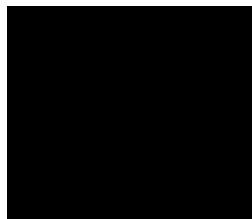
CHARCOAL



CLASSIC BRONZE



DARK BROWN



BLACK



MEDIUM BLUE



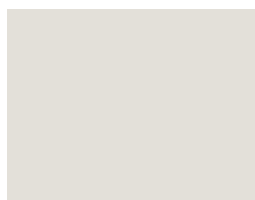
BRICK RED



COLOR OPTIONS

These are our standard colors. They are available with our standard lead time and are can be ordered as samples.

SHIMMER



PLATINUM ICE



ANODIC ICE



VENUS



MOONSTONE

CUSTOM COLOR

With our Alluminate process we are able to color match any color to fit perfectly with your design. Email us today to inquire about our Alluminate process.







LONGBOARD®

INSPIRING FACADES



LONGBOARD®
INSPIRING FACADES



MAIN OFFICE



27575 50th Avenue
Langley, BC, V4W0A2



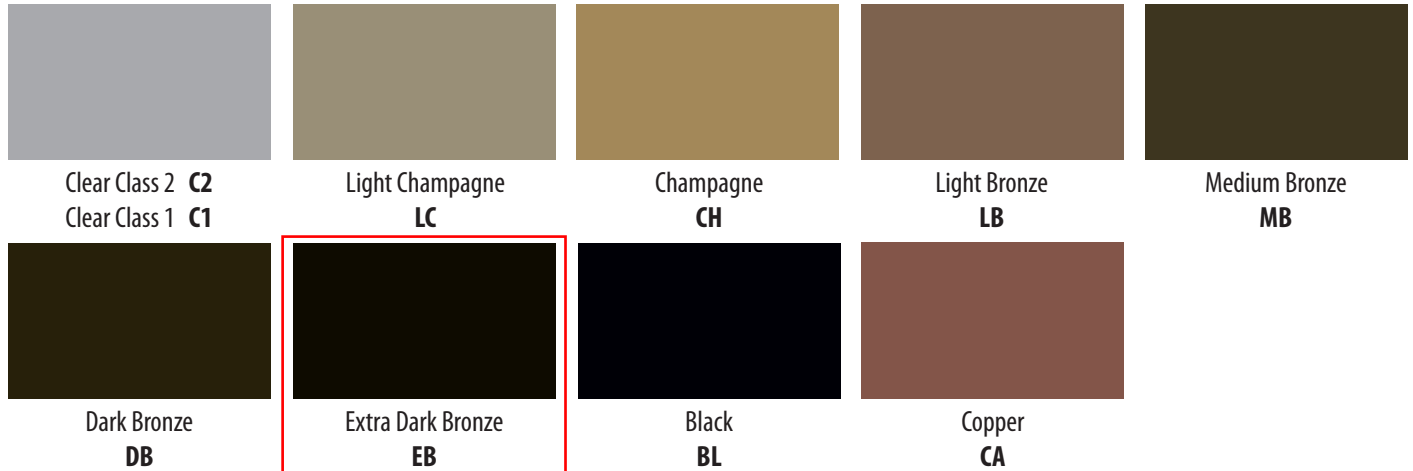
1-800-604-0343



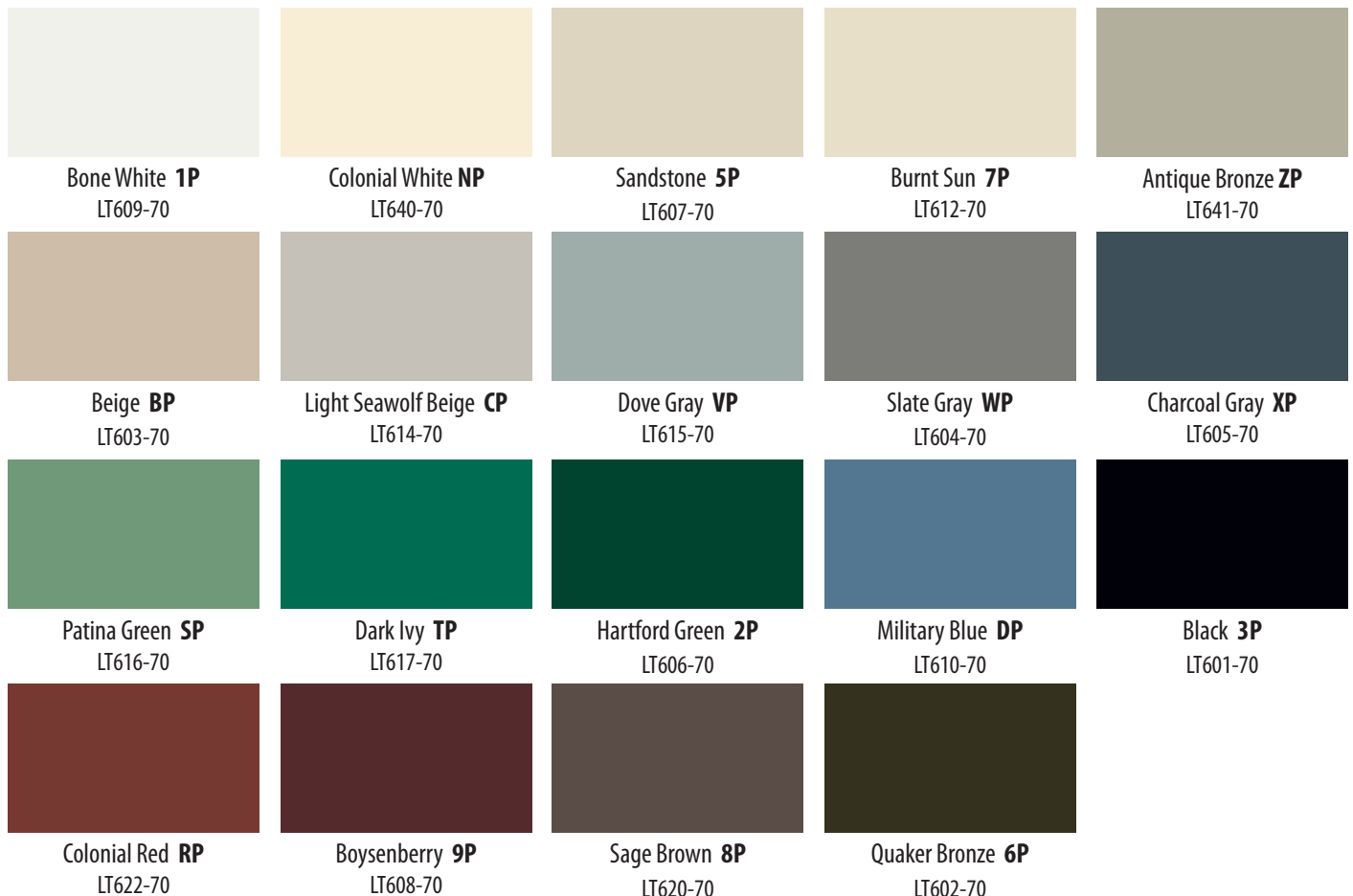
info@longboardproducts.com

www.longboardproducts.com

Anodized Finishes



Standard Painted Colors – 70% PVDF



NOTE: Colors shown are not exact and are intended for planning purposes. For actual job, Tubelite® will supply Linetec color chips.

Finish Color Guide Chart

Depend on Tubelite® for detailed information on the performance, integrity, and weatherability of anodized finishes, and for specifications on the color retention, erosion resistance, and gloss retention of painted finishes.

Finish Colors					
	AAMA Code	Code Performance	Content	Applicable Warranty	Tubelite® Colors Available
ANODIZED	611	Anodized aluminum provides and maintains a superior level of performance in terms of film integrity, exterior weatherability, and general appearance for many years.	Two-step electrolytic anodizing process	Standard Linetec 5yr. warranty applies on Class I anodize 3	Standard Finishes: Clear - Class II C2 Dark Bronze - Class I DB
				Standard Tubelite 2yr. warranty applies on Class II anodize	Special Finishes: Clear - Class I C1 Light Champagne - Class I LC Champagne - Class I CH Light Bronze - Class I LB Medium Bronze - Class I MB Extra Dark Bronze - Class I EB Black - Class I BL Copper - Class I CA
PAINTED	2605	Co 10 yrs – Fade = 5 Delta E Ch 10 yrs – Chalk = 8 Gl 10 yrs – 50% retention Er 10 yrs – 10% loss SS 4,000 hrs Hu 4,000 hrs	70% PVDF	10-Yr Linetec Warranty ✓	Standard Finishes: Bone White 1P Colonial White NP Sandstone 5P Burnt Sun 7P Antique Bronze ZP Beige BP Light Sea Wolf Beige CP Boysenberry 9P Dove Gray VP Slate Gray WP Charcoal Gray XP Patina Green SP Dark Ivy TP Hartford Green 2P Military Blue DP Colonial Red RP Sage Brown 8P Quaker Bronze 6P Black 3P
	2604	Co 5 yrs – Fade = 5 Delta E Ch 5 yrs – Chalk = 8 Gl 5 yrs – 30% retention Er 5 yrs – 10% loss SS 3,000 hrs Hu 3,000 hrs	50% PVDF	5-Yr Linetec Warranty ✓	Custom Finishes: Nearly unlimited in-house blendable and order-out paints include 2, 3 and 4-coat finish types
	2603		Baked Enamel	1-Yr Linetec Warranty (Adhesion only)	Custom Finishes: Nearly unlimited in-house blendable shades

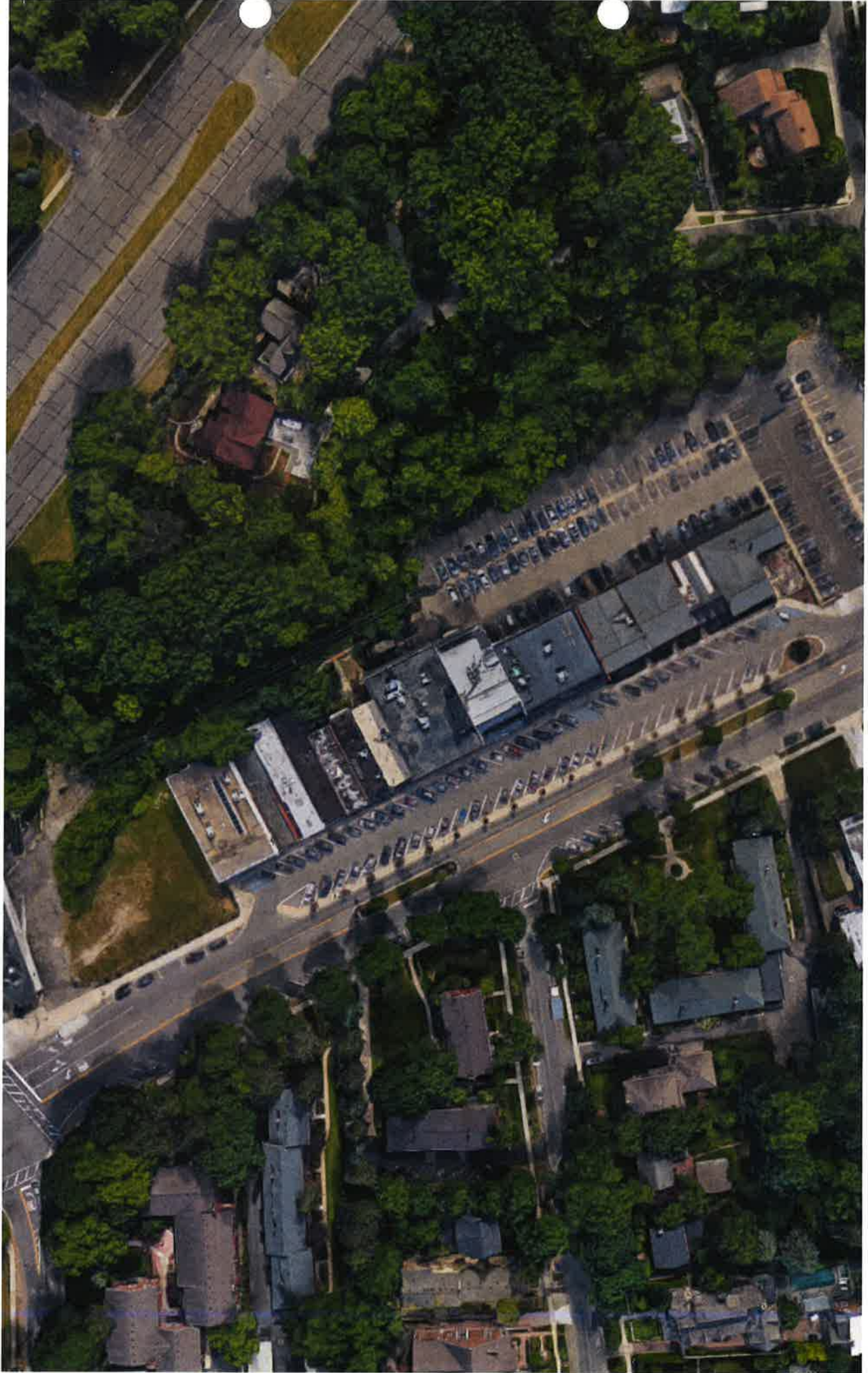
KEY	Co = Color Retention	SS = Salt Spray
	Ch = Chalk Resistance	Hu = Humidity
	Gl = Gloss Retention	= Tubelite Standard Color Palette
	Er = Erosion Resistance	

NOTE	Class I = Minimum 0.7 mil thickness
	Class II = Minimum 0.4 mil thickness
	✓ = Extended Warranty Available (Contact Tubelite Inc.)

Eco-Friendly Finishes

Beyond being compliant, Tubelite's sister company Linetec captures and destroys the Volatile Organic Compounds (VOCs) present in solvent-borne paints during the finishing process. 100% of the solvents are captured from the painting operations, and destroyed with a \$2 million "oxidizer", which burns the VOC's at 1500 degree heat, converting them to harmless water vapor. In doing so, our liquid-paints are just as VOC-free to the environment as powder or waterborne paints.

At Linetec's anodize operations, the process does not use heavy metals or toxins and is environmentally friendly. Anodized aluminum is 100% recyclable and uses simple water-based chemistry that can be treated easily and releases no harmful by-products. Linetec's voluntary commitment to a clean and healthy environment goes well beyond industry standards or regulatory requirements.





KOHLER

NAJOR
FOR LEASE
248.433.7000
najorcompanies.com















July 9, 2019

VIA EMAIL

Ms. Jana L. Ecker
Planning Director
City of Birmingham
151 Martin Street, P.O. Box 3001
Birmingham, MI 48012

**RE: Old Woodward / Bates Street
Traffic Impact Study Review**

Dear Ms. Ecker:

Fleis & VandenBrink (F&V) staff have completed our review of Old Woodward/Bates Traffic Impact Study (TIS) performed for the proposed N.O.W. Development. The traffic study dated July 4, 2019 was prepared by Giffels Webster (GW) and received by F&V on July 5, 2019.

Based on this review, we are generally in agreement with the following recommendations of the TIS:

1. Install a traffic signal at the proposed Old Woodward & Bates Street intersection.
2. Provide a center left-turn lane on Bates Street between Old Woodward and the NE Parking Garage entrance.
3. Optimize the signal timing on Willits Street, Bates Street and Old Woodward with the addition of the proposed development traffic.
4. Discuss with SMART the potential for an additional bus stop on southbound Old Woodward near Willits Street.

There are several outstanding comments with the TIS that F&V would like to see addressed prior to the approval of the final site plan for this development to ensure that all traffic impacts are adequately mitigated. The technical review comments are attached.

If you have any questions, please do not hesitate to contact us at your convenience.

Sincerely,

FLEIS & VANDENBRINK ENGINEERING, INC.

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TRAFFIC IMPACT STUDY-TECHNICAL REVIEW

TRIP GENERATION

- The trip generation for this development was based upon ITE methodologies and the projected trips generated by the proposed parking garage. The hourly trip generation for the parking garage should be verified with parking consultant for the N.O.W. project.

TRIP DISTRIBUTION

- The site driveway trip distribution assumed a 60/40 split at the proposed parking garage access drives. However, based on the information provided by the N.O.W. parking consultant, the NE access will have two ingress lanes in the AM and one ingress lane in the PM and the SW access will have only one ingress during both the AM and PM. The site generated traffic distribution and the projected parking garage generated traffic volumes should reflect the AM and PM site access provided.

SYNCHRO/SIMTRAFFIC MODELS

The Synchro models had several errors that need to be addressed to insure an accurate LOS and queuing analysis.

- Intersection Simulation Settings:
 - Set all driveways to show enter blocked intersection-“Yes”.
- Lane Configuration:
 - The intersection of Old Woodward & Bates (#27) shows a southbound right-turn lane. However, this was not included in the recommended improvements at this intersection. Is this a recommended improvement?
- Conflicting Pedestrians:
 - Update all the study intersections to include conflicting peds and bikes. The Synchro models provided only showed conflicting peds at the proposed Old Woodward & Bates intersection.
 - Confirm the methodology used to determined conflicting peds and bike with F&V prior to completing the analysis.
- Heavy Vehicles:
 - Update the Synchro models to reflect the actual heavy vehicle percentages by approach in accordance with the *MDOT Electronic Traffic Control Guidelines*.
- Volume Balancing:
 - Several Synchro models have unbalanced volumes. Ensure all the Synchro models are balanced in accordance with the methodologies outlined in the *MDOT Electronic Traffic Control Guidelines*.
- Signal Timings
 - Include the signal timing permits that were used in the study in the Appendix.
 - Update the timings to include the LPIs implemented at the study intersections, where applicable.

SIGNAL WARRANTS

- Provide a signal warrant analysis for the recommended signal at the Old Woodward & Bates intersection.
- Provide recommendations for signal timing and LPIs at the new Old Woodward & Bates intersection.

WILLITS & BATES

- Provide detailed evaluation, including sight distance analysis at the off-set intersection of Willits & Bates to determine the impact the additional traffic volumes at this intersection will have on the safety. The safety analysis should include crash history at this intersection to determine the impact of the increased traffic volumes on this offset intersection and recommendations for mitigation.

PARKING GARAGE ACCESS

- The parking garage gated access analysis assumed all vehicles entering during the peak periods would be using an RF chip, with an average service time of 9sec per vehicle. Since this is a public parking garage, it is expected than many patrons will use their credit card to access the parking garage. The time for a vehicle to enter and exit the parking garage with a credit card should be considered when evaluating the projected vehicle queuing at the parking garage site access.
- The parking garage analysis included in the TIS should be consistent with the parking analyses performed by the applicant's parking consultant.