

**REGULAR MEETING OF THE PLANNING BOARD**  
**WEDNESDAY, SEPTEMBER 25, 2019**  
**7:30 PM**  
**151 MARTIN STREET, CITY COMMISSION ROOM, BIRMINGHAM, MI**

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- A. Roll Call
- B. Review and Approval of the Minutes of the regular meeting of **September 11, 2019**
- C. Chairpersons' Comments
- D. Review of the Agenda
- E. Special Land Use Permit
  - 1. **2159 E. Lincoln – Lincoln Yard** (former bus garage) – Request for Final Site Plan and Design Review to renovate a vacant industrial building and operate two restaurants, Lincoln Yard and Little Yard utilizing an Economic Development license.
  - 2. **298 S. Old Woodward – Daxton Hotel** – Request for approval of a Special Land Use Permit to consider granting approval for a hotel liquor license in the B4/D4 zoning district.
- F. Final Site Plan & Design Review
  - 1. **2159 E. Lincoln – Lincoln Yard** (former bus garage) – Request for Final Site Plan and Design Review to renovate a vacant industrial building and operate two restaurants, Lincoln Yard and Little Yard utilizing an Economic Development license.
  - 2. **298 S. Old Woodward – Daxton Hotel** – Request for approval of a Special Land Use Permit to consider granting approval for a hotel liquor license in the B4/D4 zoning district.
  - 3. **344 N. Old Woodward** (existing office building) – Request for Final Site Plan and Design Review to add a third floor of residential units to an existing office building. **(This application will not be reviewed due to lack of a posted notice sign on the site. This matter will be rescheduled to a future date.)**
- G. Pre-Application Discussion
  - 1. **635 Elm Street – The Elsmar**
- H. Miscellaneous Business and Communications:
  - a. Communications – **Joint Meeting with City Commission, Thursday, October 17, 2019**
  - b. **Administrative Approval** Correspondence
  - c. Draft Agenda for the next Regular Planning Board Meeting **(October 23, 2019)**
  - d. Other Business
- I. Planning Division Action Items
  - a. Staff Report on Previous Requests
  - b. Additional Items from tonight's meeting
- J. Adjournment

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(Title VI of the Civil Rights Act of 1964).

**CITY OF BIRMINGHAM  
REGULAR MEETING OF THE PLANNING BOARD  
WEDNESDAY, SEPTEMBER 11, 2019**

City Commission Room  
151 Martin Street, Birmingham, Michigan

Minutes of the regular meeting of the City of Birmingham Planning Board held on September 11, 2019. Chairman Scott Clein convened the meeting at 7:33 p.m.

**A. ROLL CALL**

**Present:** Chairman Scott Clein, Board Members Stuart Jeffares, Bert Koseck, Daniel Share, Janelle Whipple-Boyce, Bryan Williams; Alternate Board Member Jason Emerine; Student Representatives Sophia Trimble, John Utley

**Absent:** Board Member Robin Boyle; Alternate Board Member Nasseem Ramin

**Administration:** Jana Ecker, Planning Director  
Brooks Cowan, City Planner  
Laura Eichenhorn, Transcriptionist

**09-134-19**

**B. Approval Of The Minutes Of The Regular Planning Board Meeting of August 28, 2019**

Ms. Whipple-Boyce asked that the meeting's audio be reviewed to determine whether she may have made the motion regarding 117 Willits.

**Motion by Mr. Share**

**Seconded by Mr. Koseck to approve the minutes of the Regular Planning Board Meeting of August 28, 2019 pending determination of which Board Member moved postponement for 117 Willits.**

**Motion carried, 7-0.**

VOICE VOTE

Yeas: Share, Koseck, Jeffares, Whipple-Boyce, Williams, Clein, Emerine

Nays: None

**09-135-19**

**C. Chairperson's Comments**

Chairman Clein noted this would be a mixed meeting combining action and study items. He stated public comment is permitted on agenda items, and that he would advise the public regarding commenting procedure as the meeting progressed.



**09-136-19**

**D. Approval Of The Agenda**

No changes to the agenda.

**09-137-19**

**E. Old Business**

- 1. Final Site Plan & Design Review - 34745 Woodward, Jax Kar Wash –**  
Request for Final Site Plan and Design Review to add a covered detailing area and reconfigure access and circulation for the site (Postponed from August 14, 2019).

Planning Director Ecker presented the item.

**Motion by Mr. Williams**

**Seconded by Mr. Share to receive and file the memorandum from City Engineer O'Meara dated September 9, 2019.**

**Motion carried, 7-0.**

VOICE VOTE

Yeas: Williams, Share, Koseck, Jeffares, Whipple-Boyce, Clein, Emerine

Nays: None

Chairman Clein noted the plans submitted neither complied with ordinance nor sufficiently integrated the Board's August 14, 2019 feedback. He invited the applicant to comment briefly while stating he would vote against plan approval this evening due to the ordinance issues.

Jason Mylan, co-owner of Jax, said the submitted plans are the closest Jax can get to complying with the ordinance. He said there was not enough width on the Brown Street side of the lot to provide both a screening wall and an exit lane for vehicles. He said the plans represented a more functional, more aesthetically pleasing design to the lot. He also said he was open to providing whatever trees the City recommends for the lot.

Chairman Clein replied that the Board is not empowered to approve plans that do not comply with the ordinance. He said that if a business function does not meet ordinance it is either incumbent on the business to modify that function or to apply for a variance from the Board of Zoning Appeals.

In reply to a question from Chairman Clein, Mr. Mylan stated he had not spoken with MDOT about driving vehicles contraflow on Woodward Avenue in MDOT's right-of-way.

Noting that there was little to be gained from further discussion of these plans this evening, Chairman Clein recommended ending the discussion with advice to the applicant to comply with ordinance.

Mr. Koseck said he was concerned with the increase in on-site activity that these plans would represent. He said he did not anticipate that a screening wall could sufficiently obscure the increased activity, and that it may be appropriate for the applicant to consider expanding the footprint of the building in order to conduct more of the activity within the building and out of view of the street. He said that Mr. Mylan may be trying to do much on the site.

In reply to Ms. Whipple-Boyce, Mr. Mylan said the attendants would never be in the driver's seat of the cars.

Ms. Whipple-Boyce said she was under the impression that attendants would be driving the cars on the lot.

Chairman Clein agreed with Ms. Whipple-Boyce, recalling the Board had been told attendants would primarily be driving the cars on the lot at the August 14, 2019 meeting. He noted other Board members looked to be recalling the same thing. He then emphasized his concerns about the applicant's proposal that the general public drive contraflow on Woodward Avenue in MDOT's right-of-way, and said the plans would not garner his vote until that was changed.

Mr. Mylan noted that the business currently drives vehicles contraflow on Woodward Avenue.

Chairman Clein said he was aware, noting that the proposed plans seek to have the general public driving contraflow on Woodward, as opposed to Jax employees. He then invited public comment.

In reply to Andrew Haigh, Planning Director Ecker indicated where the current curb cuts are allowing vehicles to enter and exit the lot.

Chairman Clein invited any further comments from the Board.

Mr. Williams stated that Jax is an important business in Birmingham, and so the matter should be postponed instead of denied. He recommended postponing the matter until the next regularly scheduled Board meeting that would include site plan reviews.

**Motion by Mr. Williams**

**Seconded by Mr. Koseck to postpone consideration of 34745 Woodward, Jax Kar Wash to October 23, 2019.**

Mr. Jeffares asked if that date would give the applicant enough time to get approval from MDOT for the Woodward right-of-way matter.

Chairman Clein replied that it was a month and a half, and that if it needed to be postponed further then that could be done. He explained it was best to postpone to a date certain to avoid having to re-notice the item while ensuring that the public knows when the item will next be discussed.

Mr. Share said he would support the motion if the Planning Department, Engineering Department, and applicant all agree to meet in order to discuss potential solutions to the issues raised at both this meeting and the August 11, 2019 meeting.

Planning Director Ecker confirmed both departments would be available to meet with the applicant.

In reply to Mr. Mylan, Mr. Williams stated he would like to see compliance with the ordinance. He also said Mr. Mylan should contact MDOT to discuss the contraflow issue raised.

Chairman Clein said Mr. Mylan should meet with City Staff and make a concerted effort towards integrating their feedback.

**Motion carried, 7-0.**

VOICE VOTE

Yeas: Share, Koseck, Jeffares, Whipple-Boyce, Williams, Clein, Emerine

Nays: None

**2. Special Land Use Permit & Final Site Plan and Design Review - 117 Willits, Sidecar, Slice and Shift (Former Mitchells Seafood)** – Request for approval of a Special Land Use Permit to allow the operation of three licensed restaurants (Sidecar, Slice and Shift) sharing one kitchen and under common ownership (Postponed from August 28, 2019)

Planning Director Ecker presented the item.

Neither the Board nor the public had comment on the item.

**Motion by Mr. Share**

**Seconded by Mr. Williams based on a review of the plans submitted, the Planning Board finds that all of the requirements of Article 7, Section 7.27 and Article 7, Section 7.34 have been met, thus the Planning Board recommends approval to the City Commission of the Special Land Use Permit for 117 Willits – Shift / Sidecar / Slice with the following conditions:**

- 1. The applicant must amend the floor plans to show the correct number of interior seats and submit specification sheets on the proposed outdoor railing posts and top bar for Slice prior to appearing before the City Commission for final approval;**
- 2. The applicant must obtain approval from the Historic District Commission for the exterior changes prior to appearing before the City Commission for final approval;**
- 3. The applicant must provide detailed sign plans for review prior to appearing before the City Commission for final approval; and,**
- 4. The applicant must comply with the requests of all departments.**

**Motion carried, 7-0.**

VOICE VOTE

Yeas: Share, Williams, Koseck, Jeffares, Whipple-Boyce, Clein, Emerine

Nays: None

**Motion by Mr. Share**

**Seconded by Mr. Williams based on a review of the plans submitted, the Planning Board finds that all of the requirements of Article 7, Section 7.27 and Article 7, Section 7.34 have been met, thus the Planning Board recommends approval to the City Commission of the Final Site Plan & Design Review for 117 Willits – Shift / Sidecar / Slice with the following conditions:**

- 1. The applicant must amend the floor plans to show the correct number of interior seats and submit specification sheets on the proposed outdoor railing posts and top bar for Slice prior to appearing before the City Commission for final approval;**
- 2. The applicant must obtain approval from the Historic District Commission for the exterior changes prior to appearing before the City Commission for final approval;**
- 3. The applicant must provide detailed sign plans for review prior to appearing before the City Commission for final approval; and,**
- 4. The applicant must comply with the requests of all departments.**

**Motion carried, 7-0.**

VOICE VOTE

Yeas: Share, Williams, Koseck, Jeffares, Whipple-Boyce, Clein, Emerine

Nays: None

**09-138-19**

**F. Study Session Items**

**1. D5 Study Report from DPZ**

Chairman Clein indicated that he would be recusing himself from discussion of this item, as his consulting firm was recently retained by a client who owns property within the City block being discussed.

Chairman Clein recused himself and left the room at 8:12 p.m. Vice-Chairman Williams began chairing the meeting at 8:12 p.m.

Planning Director Ecker reviewed the item.

Mr. Share said it would be important to see the massing of the area if it were rezoned to D5. Mr. Jeffares concurred.

Mr. Share also said that potential ordinance language should address how streets and alleys would play into the definition of abutting. He noted that if a public alley abutting a D5 property were to be turned private, then the abutting property owner would be allowed to split the alley in half which could result in zoning creep.

In reply to Mr. Share, Planning Director Ecker stated that the SLUP process is broad enough to effect the design of the buildings in the area, since the report determined that the design of the buildings are largely more important than the height of the buildings.

Vice-Chairman Williams said he did not believe the Board has a sufficient definition of abutting, and that without a definition it would not be appropriate to set a public hearing on the issue. Vice-Chairman Williams said asking Planning Director Ecker to devise some proposed language for abutting would be an appropriate next step, with information on how other cities define 'abutting' to be included for the discussion.

In reply to Ms. Whipple-Boyce, Planning Director Ecker confirmed that the most challenging block in regards to defining 'abutting' would be around Hazel. She said that the language must be clarified to determine whether heights are measured from the shortest part of a building, the tallest part of a building, the part of a building closest to another building, or other possible aspects that could be used to determine what a building's 'height' is considered to be in regards to the D5 language.

In reply to Mr. Emerine, Planning Director Ecker confirmed that the Board could use the SLUP process to affect building heights even if a building were within the D5 zone.

Board consensus was that the item was not ready to set a public hearing, that the definition of 'abutting' needs to be studied and determined, and that a map with massing of the maximum potential D5 height should be included in future materials for the Board's consideration.

Vice-Chairman Williams then invited public comment.

In reply to Alice Lazatt, Planning Director Ecker explained that in order to determine the City's definition of 'abutting', the Board would study and discuss the matter at a study session, come to a consensus, send the definition to the City Attorney for review, and set a public hearing at the Board level. After any revisions resulting from the study session, the Board would recommend the definition to the City Commission, the City Commission would conduct further review and a public hearing, and subsequent to the review, potential revisions, and discussion at the Commission level, the Commission would vote on whether to adopt the definition.

Michele Prentiss said she thought the study's aim was define terms like 'abutting', and asked the Board why the study did not do that.

Vice-Chairman Williams said Ms. Prentiss' understanding of the study's aim was incorrect. He said the report determined which properties to consider for the D5 question, which was point number three. He said the Board would conduct further study on the definition of 'abutting'.

Patrick Howe, lawyer for the Birmingham Place Condo Association, reprised the contents of his August 26, 2019 letter, which was included in the meeting's agenda packet.

Jim Arpin asked that the Board include this study as part of the more general master planning process.

In reply to Karl Sachs, Planning Director Ecker explained that in D2-D5, buildings must be at least two stories. She also confirmed that D5 zoning is actually a bit more restrictive than D4 because a SLUP process is involved in a D5 application.

In reply to Rick Rattner, Vice-Chairman Williams said the earliest the Board would be holding a public hearing would be November, assuming they were able to reach an agreement on the definition of 'abutting' within the next month and then were able to set a public hearing for the month following. He said that would be the fastest the Board could proceed, but that the process could move slower.

Doraid Markus spoke as one of the principals who owns the lot next to Birmingham Place. He noted that when D5 zoning was made, the mechanism to allow adjacent or abutting buildings to request increase in heights was intentionally included at the time subsequent to immense study and discussion. He emphasized that his request to change his lot's zoning is not out of caprice, but rather out of direct respect for the mechanism the City chose to build in to the D5 ordinance.

Mr. Howe said Mr. Markus' assertion was inaccurate, stating that D5 was created to accommodate the three specific buildings that requested it at the time. He said the ordinance change did not involve study of the broader area in terms of zoning.

Vice-Chairman Williams stated that the City's records will best reflect how D5 came to be and that it would not be necessary for members of the public to continue debating what review of the records will show.

Mickey Schwartz said there that while the setbacks are a positive requirement, Mr. Markus' lot does not have sufficient room to accommodate creating a setback. Citing the power the Board has from the SLUP requirement for D5, Dr. Schwartz said that perhaps D4 zoning should require a SLUP as well. He asserted that City ordinance only sufficiently addresses the height of buildings, while disregarding matters of massing, aesthetics, or impact on the community. He noted that the consultant's main conclusion in regards to D5 was to consider expanding the buildings it applied to, but did not actually recommend an expansion. Dr. Schwartz said this conclusion did not provide much new information to the City, and should not supercede the conversation that has been occurring in the City prior to the study's release.

Seeing no further comment from the public, Vice-Chairman Williams advised the public that this matter would next be discussed on October 23, 2019 with additional consideration of the definition of 'abutting' and massing that shows the maximum height if all the buildings on the block were zoned D5.

Vice-Chairman Williams then called for a recess at 9:00 p.m.

Chairman Clein re-commenced chairing the meeting and resumed the meeting at 9:03 p.m.

**09-139-19**

**G. Public Hearings**

- 1.** An ordinance to amend Chapter 126, Zoning, of the Code of the City of Birmingham:

To amend Appendix C, Exhibit 1 to include the property at **2159 E. Lincoln** as a property qualified for an Economic Development License (EDL);

- 2. An ordinance to amend Chapter 126, Zoning, of the Code of the City of Birmingham:**

To amend **Article 2, Section 2.39, MX (Mixed Use) District**, to consider allowing establishments operating with a liquor license obtained under Chapter 10, Alcoholic Liquors, Article II, Division 3, Licenses for Economic Development (only permitted on those parcels within the Rail District identified on Exhibit 1; Appendix C) with a valid Special Land Use Permit.

City Planner Cowan presented the item.

Mr. Williams said that consistent with the Commission's practice the Board should discuss an area, per the Planning Department's suggestion, and not a particular property.

Mr. Jeffares said EDLs are beneficial both through the revenue generated for the City by the license and through the development an EDL allows. He said he was in support of expanding where in the City an EDL could be granted for these reasons.

Mr. Share said he would be in support of expanding EDLs to the south portion of the Rail District along Cole, excluding the two parcels on the east side where there has recently been significant development since the goal of the EDLs is to promote new development.

In reply to Mr. Koseck, Planning Director Ecker stated the master planning team has suggested more effort could be put into the development of the lower Rail District. The team suggested that loosening the City's ordinances in the lower Rail District could be one way of spurring that development and encouraging more creative and varied uses of the area.

Chairman Clein noted that the question before the Board was whether to expand EDLs within the context of the City's current planning and ordinances. He said that while the discussion of the master planning team's potential recommendations were well taken, the master plan itself had not been delivered yet and the Board should be making this decision based on current conditions.

Planning Director Ecker told Mr. Williams that any restaurant developed in the lower Rail District would be required to meet the City's standard parking requirements.

Chairman Clein invited public comment.

Andrew Haigh said he was in support of the Board's inclination to expand the area in which EDLs could be granted, as opposed to adding a single parcel. He said he was concerned that EDLs do not include a limit on the number of seats either inside or outside of an establishment, especially in light of the City's efforts towards traffic calming in the area. He said residents of the area would be enthusiastic about appropriate development in the area, while noting they would also like to maintain the benefits gained from the City's traffic calming scheme.

Chairman Clein told Mr. Haigh that the City could influence the number of seats with a SLUP and that any EDL establishments would still be required to comply with building codes dictating the number of seats allowed in a building.

Katherine Aboud spoke as the owner of a business directly to the west of 2159 E. Lincoln. She said she was strongly in support of expanding the area in which EDLs can be granted, stating that development in the area would highly benefit her business and the area as a whole.

**Motion by Mr. Williams**

**Seconded by Mr. Koseck to receive and file the emails from Alexis Catherine Pollock, Bryan Anderson and Alicia Birach in favor of the development at Lincoln Yard.**

**Motion carried, 7-0.**

VOICE VOTE

Yeas: Williams, Koseck, Share, Jeffares, Whipple-Boyce, Clein, Emerine

Nays: None

**Motion by Mr. Jeffares**

**Seconded by Mr. Koseck based upon a review of the intent for an Economic Development License, the goals of the Eton Road Corridor Plan, and existing conditions of the southern portion of the Rail District, the Planning Board recommends the following to the City Commission:**

**1.) To amend Chapter 126, Zoning Ordinance, Appendix C, Exhibit 1, Economic Development License Map to allow the potential use of an Economic Development License per suggested action #2 with an approved Special Land Use Permit.**

**2.) To amend Chapter 126, Zoning Ordinance, Article 2, Section 2.39 MX, Uses Requiring a Special Land Use Permit to allow the operation of establishments operating with a liquor license obtained under Chapter 10, Alcoholic Liquors, Article II, Division 3, Licenses for Economic Development identified on Exhibit 1; Appendix C.**

**Motion carried, 7-0.**

VOICE VOTE



Yeas: Jeffares, Koseck, Share, Whipple-Boyce, Clein, Emerine, Williams  
Nays: None

Planning Director Ecker confirmed that these suggested ordinance amendments and the SLUP and Final Site Plan Review for 2159 E. Lincoln would proceed to the Commission at the same time.

## **09-140-19**

### **H. Miscellaneous Business and Communications**

#### **a. Communications**

#### **b. Administrative Approval Correspondence**

Mr. Share stated that in reference to the approval for 1971 W. 14 Mile, he would prefer in the future that planted areas remain planted.

Planning Director Ecker agreed, saying she directed members of the Planning Department to not administratively approve paving over planted areas in the future. She noted that the particular area in question was more weeds than actual landscaping.

Mr. Share said he would like to see applicants encouraged to plant in planted areas, even if they are not well landscaped at the time of application.

#### **c. Draft Agenda for the next Regular Planning Board Meeting (September 25, 2019)**

- Final Site Plan for 344 N. Old Woodward
- First Draft of the Master Plan
- SLUP and Final Site Plan for 2159 E. Lincoln
- SLUP and Final Site Plan for 298 S. Old Woodward

Chairman Clein noted he would be recused for the SLUP and Final Site Plan Review of 298 S. Old Woodward.

#### **d. Other Business**

Ms. Whipple-Boyce noted that the Mad Hatter was stacking its outdoor chairs while not in operation, essentially creating outdoor storage on Old Woodward. She said the chairs should either be left down for people to sit in or should be brought inside the establishment when not in operation. She said that the Board should further consider how to approach establishments' storage of outdoor furniture.

Mr. Jeffares said that above Mad Hatter a mortgage company posted a sign that did not likely proceed through the City's approval process. He asked that code enforcement check into the matter.

**09-141-19**

**I. Planning Division Action Items**

**a. Staff Report on Previous Requests**

**b. Additional Items from tonight's meeting**

**09-142-19**

**J. Adjournment**

No further business being evident, the Chairman adjourned the meeting at 9:49 p.m.

Jana L. Ecker

Planning Director



## MEMORANDUM

Planning Department

**DATE:** September 25<sup>th</sup>, 2019

**TO:** Planning Board

**FROM:** Brooks Cowan, City Planner

**APPROVED:** Jana Ecker, Planning Director

**SUBJECT:** 2159 E Lincoln Street SLUP and Final Site Plan Review

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### Executive Summary

The applicant is proposing a full service restaurant at 2159 E. Lincoln Street titled "Lincoln Yard". The applicant has applied to renovate the existing vacant building into a 6,276 square foot space that includes an independent fast casual restaurant and the dine-in restaurant Lincoln Yard that serves American comfort food. Lincoln Yard will have 135 indoor seats and 73 outdoor seats. The independent, fast casual restaurant is proposed to connect to Lincoln Yard via a sliding door and offer a carry-out option.

The applicant is seeking a Special Land Use Permit (SLUP) for the use of an Economic Development Liquor License to engage in the sale and consumption of alcohol on premise and to occupy a building more than 6,000 square feet in the MX Zone. At this time, this subject property is not within the boundaries identified in Appendix C, Exhibit 1 of the Zoning Ordinance to qualify for an Economic Development Liquor License, though the applicant has applied for a zoning amendment to have this property added to Appendix C, Exhibit 1.

On August 14<sup>th</sup>, 2019, the Planning Board reviewed the Final Site Plan application for 2159 E. Lincoln Street. After some initial discussion the Planning Board motioned to postpone recommendation until it had reviewed the subject's application to be incorporated into the parcels eligible for an Economic Development License.

On September 11<sup>th</sup>, 2019, The Planning Board considered the application to amend the Zoning Ordinance to include 2159 E. Lincoln Street as a property eligible for an Economic Development Liquor License. The Planning Board considered the intent of the Economic Development License, the goals of the Eton Road Corridor Plan, and the current conditions of the southern portion of the Rail District. Based upon review, the Planning Board motioned to recommend that 2159 E. Lincoln Street, as well as surrounding properties on E. Lincoln Street and Cole Street in the southern portion of the Rail District be added to Appendix C, Exhibit 1 of the Zoning Ordinance. The reasoning for the recommendation of additional properties is that the Planning Board wanted to consider the southern portion of the Rail District as a whole and not one property at a time. The Planning Board felt that the entire southern portion of the Rail District could benefit from substantial investment opportunities.

The subject property must receive final approval from City Commission to be added to Appendix C, Exhibit 1 of the Zoning Ordinance to be eligible for an Economic Development License SLUP. Principal uses in the MX District with a total floor area greater than 6,000 square feet must apply for a Special Land Use Permit as well.

## 1.0 Land Use and Zoning

- 1.1 Existing Land Use – The existing land use is commercial, vacant.
- 1.2 Existing Zoning – The property is currently MX, Mixed-Use. The existing use and surrounding uses appear to conform to the permitted uses.
- 1.3 Summary of Land Use and Zoning - The following chart summarizes existing land use and zoning adjacent to and/or in the vicinity of the subject site.

	North	South	East	West
<b>Existing Land Use</b>	Commercial Retail Industrial	Public Property Ice Arena/ Skate Park	Commercial Retail	Commercial Retail
<b>Existing Zoning District</b>	MX, Mixed-Use	PP, Public Property	MX, Mixed-Use	MX, Mixed-Use

## 2.0 Economic Development Liquor License Use

The applicant is requesting approval of a SLUP to allow the use of an Economic Development Liquor License in a building greater than 6,000 square feet at 2159 E Lincoln Street. Establishments operating with a liquor license obtained under Chapter 10, Alcoholic Liquors, Article II, Division 3, Licenses for Economic Development are permitted with a valid Special Land Use Permit only for those properties identified on the map in Appendix C, Exhibit 1, of the Zoning Ordinance. At this time, the subject property has not been designated as a parcel eligible for an Economic Development Liquor License in Appendix C, Exhibit 1, of the Zoning Ordinance, though the applicant has applied for an amendment to include the subject property on this map.

If the applicant is successful in having the property approved as an area that qualifies for an Economic Development Liquor License, the applicant must satisfy the requirements of Chapter

10, Alcoholic Liquors, Article II, Division 3, Licenses for Economic Development in order to qualify for approval.

Chapter 10, Alcoholic Liquors, Article II, Division 3, Licenses for Economic Development Section 10-60 States:

**The purpose of this division is to establish a policy and conditions to allow the city commission the ability to approve a request to transfer a liquor license into the city in excess of the city's quota licenses if the request is deemed to constitute a substantial economic development and benefit to the city, to establish criteria for selecting applicants, and to provide limitations on the influx of new liquor licenses and to insure controlled growth and development regarding liquor licenses and to evaluate the impact of increased liquor licenses on the city.**

Meanwhile Chapter 10, Alcoholic Liquors, Article II, Division 3, Licenses for Economic Development Section 10-61 outlines requirements an applicant must meet for persons desiring to transfer a liquor license into the City for economic development purposes. The applicant's responses to such requirements are as follows:

**Chapter 10.61 of the Municipal Code:**

**(1) Utilization of said liquor licenses and details on the number of quota liquor licenses in escrow at the time of application.**

The applicant has advised that all quota liquor licenses are currently in use, with the exception of the following, which are currently in escrow for use by future tenants of the buildings where they are held:

1. PEABODY OWNER, LLC, 34965 Woodward
2. WILLITS CO-LICENSE LLC / MITCHELL'S ENTERTAINMENT, INC., 117 Willits
3. WILLITS CO-LICENSE LLC / MITCHELL'S ENTERTAINMENT, INC., 115 Willits
4. THE PALLADIUM OF BIRMINGHAM, LLC, 201 Hamilton Row

**(2) Proposed site plan of the property, building floor plan and an operations floor plan.**

The Site Plan and building floor plan were submitted with the application. **An operations floor plan has yet to be submitted.** The hours of operations for the carryout portion of Little Yard will be from 7am to 8pm daily while Lincoln Yard will be open from 11am to 12am daily. **The applicant has yet to provide the City with information regarding the type of liquor license they intend to transfer into the City, who owns said liquor license, who it was purchased from, and whether said license is accompanied by any endorsements.**

**(3) An economic impact analysis.**

The applicant has indicated that benefits to the City include:

1. Number of permanent new jobs created: from 85-95

2. Number of temporary contraction and trade jobs: from 40-50
3. Construction participation will be primarily provided by trades within 20-30 miles of the site.
4. Total investment in the project: approximately \$3 million.
5. Increase in assessed value for City: from 5-10x current estimate of assessed value.

**(4) A copy of the special land use permit application and supporting documentation submitted by the applicant.**

SLUP application submitted with Site Plan Application.

**(5) All documentation submitted to the LCC requesting the transfer.**

At this point the applicant has submitted nothing to the MLCC and are awaiting SLUP approval.

**(6) Full identification and history of the license holder(s) as it pertains to the license proposed to be transferred, including all complaints filed with the state liquor control commission (LCC) or actions taken by any municipality or the LCC to suspend, revoke, deny or the non-renewal of said license and all other documentation setting forth the detail of the substantial economic development proposed by the applicant, including the approximate dollar amount of the investment to be made, number of jobs to be created and other benefits to the city. The city deems projects resulting in a 500 percent increase in assessed value post-development over the pre-development assessed value of the parcel and/or projects with an investment of more than \$10,000,000.00, whichever is less, to be substantial. However, special circumstances may warrant flexibility on the minimum investment at the sole discretion of the City Commission.**

The applicant has no identification and history pertaining to the license proposed to be transferred. The principals of Bus Bar LLC, the operator of Lincoln Yard, Curt Catallo and K.C. Crain, operate Vinsetta Garage which has no open complaints or actions taken by any person or entity to suspend revoke deny or denial of renewal of that license. None of the other six Union Joints operations have had any action to suspend, revoke deny or denial of renewal of those licenses.

The applicant is investing approximately \$3 million in the design, engineering and construction of the interior (including kitchen) and exterior of this 6,276 square foot restaurant.

The applicant expects to create approximately 85-95 permanent jobs and approximately 40-50 construction jobs at the site.

The property public records show this property is currently assessed at \$182,740 indicating a market value of \$365,480. Just considering the investment of approximately \$3 million, there will be an 820% increase in value. However, it is

anticipated the actual increase in value will eventually exceed this percentage of improvement.

**(7) Information detailing how the proposed operation will create a more eclectic mix of restaurants in the city.**

Lincoln Yard will compliment the vibrant and ever-expanding dining scene in Birmingham...specifically in the Rail District. The robust restaurant scene along the Eton Corridor is bookended by a highly regarded and established steakhouse and bustling brewery. Lighter offerings from the likes of Beyond Juice and the breakfast-centric Whistle Stop are ideally suited for specific times of the day. Union Joints' offerings at Lincoln Yard will both fill the gaps in service by offering prepared foods throughout the day (Little Yard) and our characteristic brand of originally interpreted American comfort food. The main dining room in Lincoln Yard will feature fare made brighter and fresher with an emphasis on roasted meats and fish and elevated vegetarian offerings. Little Yard will allow for a healthy and hearty grab-and-go which will be wholly unique to the area.

In regards to what the City deems to be a substantial economic improvement, it is of note that the last sentence of Municipal Code Chapter 10-61(6) states **"However, special circumstances may warrant flexibility on the minimum investment at the sole discretion of the City Commission."**

In regards to a 500% increase from the current assessed value of \$182,740, the required assessed value post development is \$913,700 (a market value of \$1.8 million). In regards to factors considered in assessments, the Oakland County assessing data indicates the current owners and applicants purchased this property in 2016 for \$825,000. The property was in poor condition at the time and the approximately \$3 million of investments intended for improvements have yet to be made. Comparable uses nearby also become a factor in determining the assessed value. Examples of restaurants in the Rail District include The Reserve which is a 6,825 SF banquet hall assessed at \$783,830. The Big Rock Chophouse which is an 11,737 SF historic building assessed at \$1,116,190, and Griffin Claw which is a 15,366 SF brewery assessed at \$1,518,790. These restaurants are not exactly like the proposal for Lincoln Yard but may provide a gauge of how establishments with liquor licenses are assessed in this portion of the City.

It is of note that the metrics used in the Municipal Code 10-61(6) to determine a substantial economic improvement, including a 500% increase in assessed value or \$10 million in investments only considers the individual property. These metrics of improvement do not take into consideration the catalytic benefits one project or use may have on the surrounding area.

When reviewing the application to have the subject property included as a property eligible for an Economic Development License, the Planning Board discussed the positive economic impact a full service restaurant would have on all properties in the southern portion of the Rail District. The Planning Board chose to consider the area as whole and not one property at a time.

Chapter 10, Alcoholic Liquors, Section 10-62 of the Municipal Code outlines the following requirements for transferring a liquor license into the City for economic development purposes.

- (a) **Selection criteria.** In addition to the usual factors and criteria used by the city commission for liquor license requests, including those listed in [section 10-42](#), the commission shall consider the following non-exclusive list of criteria to assist in the determination of which of the existing establishment applicants, if any, should be approved:
- (1) The applicant's demonstrated ability to finance the proposed project.**
  - (2) The applicant's track record with the city including responding to city and/or citizen concerns.**
  - (3) Whether the applicant has an adequate site plan to handle the proposed liquor license activities.**
  - (4) Whether the applicant has adequate health and sanitary facilities.**
  - (5) The establishment's location in relation to the determined interest in development.**
  - (6) The extent that the cuisine offered by applicant is represented in the city.**
  - (7) The percentage of proceeds from the sale of food products as compared to the sale of alcoholic beverages.**
  - (8) Whether the applicant has outstanding obligations to the city (i.e. property taxes paid, utilities paid, etc.).**
- (b) **Maximum number of economic development licenses.** The city commission may approve a maximum of two economic development licenses each calendar year in addition to the existing quota licenses otherwise permitted by state law.
- (c) **Annual review of need.** Every three calendar years, the city commission shall perform a review of the previously approved economic development license(s), if any, and the impact of those decisions on the city's downtown. A time for public comment shall be provided.
- (d) **If any new transfers of licenses for economic development are to be considered, the city commission shall set a schedule setting forth when all applicants must submit their application and supporting documentation, when interviews may be conducted and a timeframe within which a decision will be anticipated.**

The applicant has indicated that bank financing necessary for the project is already in place. The applicant has not previously operated in Birmingham though they have indicated they intend to efficiently respond to the City and/or citizen concerns and serve Birmingham's residential and business community. All of the health and safety facilities will be in compliance with all local, state, and federal laws, and they aim to exceed these requirements as a part of what their audience has come to expect.

The applicant believes their service to the residential, recreational, and business neighborhood will enhance it and help redevelop the area. Birmingham has a variety of specialized cuisine offerings and Union Joints strives to provide diners with something familiar and surprising at the same time, with menus designed to deliver something easily understood in an accent that is exciting and inventive. The applicant has also indicated that they build restaurants with good



bars, not bars that serve some food. They have indicated that Lincoln Yard will be 75% food and 25% alcohol.

There are no known outstanding obligations to the City.

### **3.0 Setback and Height Requirements**

The attached summary analysis provides the required and proposed bulk, area, and placement regulations for the proposed project. The applicant meets all of the bulk, height, area and placement requirements for the MX Zoning District, with the exception that a SLUP is required as the building area is greater than 6,000 square feet.

Please see the attached Zoning Compliance Summary Sheet for detailed zoning compliance information.

### **4.0 Screening and Landscaping**

- 2.1 Parking Lot Screening – The applicant has proposed a hedgerow three feet in height of Sprinter Boxwood to provide screening for parking along the southern portion of the property facing E. Lincoln Street. An herb garden and box planters are proposed for screening on the western portion of the property abutting the 2125 E. Lincoln Street property, which currently has an evergreen screen wall in place. A five foot hedgerow of Sky Pencil Holly trees is also proposed along a portion of the rear lot line for screening. No screening is proposed along the east property line which abuts a building. Article 4, Section 4.81(6) permits screenwalls in the MX District to be a continuous evergreen hedge upon approval by the Planning Board.

Dumpster Screening - The applicant has proposed a 6'4" masonry screenwall surrounding the dumpster area on three sides. The dumpster gates are proposed to consist of opaque cedar wood attached to concrete bollards which will be painted to match the building. The submitted plan indicates a lockable gate.

Mechanical Screening – Plans indicate the rooftop mechanical equipment will be screened with a metal corrugated material in reflecting pool colored blue in accordance with the ordinance. Details regarding rooftop mechanical equipment locations and cut sheets have been provided. The plans also indicate a ground mounted mechanical transformer in the northwest corner of the property which will be screened by planters that surround the outdoor patio.

- 2.2 Landscaping – The applicant has proposed additional landscaping along the street frontage on E. Lincoln, the southeast corner of the property, and the northeast corner of the property. Five street trees are required along E. Lincoln based upon the applicant's linear street frontage. The plans indicate five American Hornbeam trees for the right-of-way along E. Lincoln.

The parking lot is 19,000 square feet, therefore 5% of the parking lot area is required to be landscaped, which totals 950 square feet. The applicant has proposed landscaped area of 1,674 square feet which meets the ordinance requirements.

One canopy tree is required for each 150 square feet of interior planting area required for parking lots. The applicant is required to provide six canopy trees, and has proposed seven Cleveland Select Pear Trees with one at the entrance, one in the parking lot, three at the southeast corner, and two in the northeast corner. The plans indicate the trees will be 3 inches in caliper, and all interior planting areas exceed 150 square feet which satisfies the Zoning Ordinance.

As previously mentioned, a combination of Sprinter Boxwoods and Sky Pencil Holly landscaping has been proposed to serve as screening.

## **5.0 Parking, Loading, Access, and Circulation**

- 3.1 Parking – The applicant is required to provide 65 parking spaces for both restaurants. The applicant has proposed 58 parking spaces on site and an additional 16 parking spaces through a shared parking agreement with the neighbor at 2125 E. Lincoln Street (Armstrong White), totaling 74. The applicant has provided legal documentation of the shared parking agreement between the owners of 2159 and 2125 E. Lincoln Street for the remaining 16 spaces required.

The adjacent property indicated in the shared parking agreement, 2125 E Lincoln, is a 9,600 square foot commercial building currently used by Armstrong White which is an advertising agency. 2125 E. Lincoln Street is required to provide 32 parking spaces for its current use. The property has 60 spaces on site which is 28 spaces more than is required. Because the property has 28 extra spaces and the applicant has indicated an agreement for 16 of those parking spaces, the Planning Department does not recommend the need for a peak parking demand study.

- 3.2 Loading – The subject building is between 5,000 and 20,000 square feet, thus one loading space is required. One loading space is proposed adjacent to the east side of the building. The space is 12' x 40' and is screened by the building.
- 3.3 Vehicular Access & Circulation – The site plan indicates one existing curb cut that is 20 feet wide at the site for ingress and egress on the subject property. The applicant has also indicated the removal of existing fencing in the southwest corner of the property and a parking lot connection to the 2125 E. Lincoln Street parking lot. The 2125 E. Lincoln Street property also has one curb cut for ingress and egress.
- 3.4 Pedestrian Access & Circulation – Pedestrians will be able to access the restaurants from E. Lincoln via two entry doors, one on the eastern portion of the southern façade and one on the western portion of the southern façade. Patrons may enter Lincoln Yard from the outdoor patio as well. The applicant has proposed an improved walkway connecting from the public sidewalk to the southeast entrance.

This includes red tinted concrete for a pedestrian crosswalk connecting the southeast building entrance to the public walk at East Lincoln Street.

- 3.5 Streetscape – The applicant has indicated that there will be 5 feet of unobstructed pedestrian right of way along E. Lincoln Street. Five American Hornbeam trees are proposed for the public right-of-way, along with five new City street lights. The street trees and city street lights are spaced 20 feet apart and satisfy the Zoning Ordinance requirements of one street tree and City light per 40 feet of frontage.

The site plan indicates two city standard benches facing the public sidewalk along E. Lincoln, one at the southeast corner and the other near the southwest corner of the property. Each public bench is accompanied by a city standard trash receptacle. **The applicant must indicate the color of the proposed benches and trash receptacles.**

## 6.0 Lighting

The applicant has provided a photometric plan and spec sheet for proposed light fixtures. The site plan indicates six pole mounted light fixtures for the parking lot. The applicant has indicated the height of the pole mounted light fixtures will be 16 feet, meeting the ordinance height requirement. The parking lot circulation area foot-candle variation ratio is 15.8:1 which satisfies the 20:1 ratio requirement.

The applicant has also proposed 35 wall mounted light fixtures on the exterior of the building. The LF3, LF4, and LF5 wall light fixtures indicated on the plans do not appear to be full cutoff or cutoff luminaires. **Article 4, Section 4.21(D)(1) requires that all luminaires be full cutoff or cutoff as defined in Section 9.02, and positioned in a manner that does not unreasonably invade abutting or adjacent properties.**

The applicant is requesting that the Planning Board waive the requirement that all luminaires be full cutoff or cutoff as defined in Section 9.02. According to the applicant, the lights are meant to be decorative in manner, are consistent with the building and do not adversely affect other uses and buildings in the neighborhood.

**Article 4, Section 4.21(D)(1) also states that exceptions to cutoff luminaires can be made at the discretion of the Planning Board under any of the following conditions:**

- a. **The distribution of upward light is controlled by means of refractors or shielding to the effect that it be used solely for the purpose of decorative enhancement of the luminaire itself and does not expel undue ambient light into the nighttime environment.**
- b. **The luminaire is neither obtrusive nor distracting, nor will it create a traffic hazard or otherwise adversely impact public safety, with appropriate methods used to eliminate undesirable glare and/or reflections.**
- c. **The luminaire is consistent with the intent of the Master Plan, Urban Design Plan(s), Triangle district plan, Rail district plan and/or Downtown Birmingham 2016 Report, as applicable.**

- d. **The scale, color, design or material of the luminaire will enhance the site on which it is located, as well as be compatible with the surrounding buildings or neighborhood.**
- e. **Lighting designed for architectural enhancement of building features (i.e. architectural enhancement lighting). Appropriate methods shall be used to minimize reflection and glare.**
- f. **The site lighting meets all requirements set forth in this ordinance including, but not limited to, light trespass and nuisance violations.**

**If the Planning Board does not approve an exception to the cutoff luminaire policy, the applicant must submit new plans with lights that meet the Zoning Ordinance, or apply for a variance from the Board of Zoning Appeals.**

## **7.0 Departmental Reports**

- 5.1 Engineering Division – Comments will be received by September 25<sup>th</sup>, 2019.
- 5.2 Department of Public Services – Comments will be received by September 25<sup>th</sup>, 2019.
- 5.3 Fire Department –
  - The entire building will require fire suppression (A-2 Occupancy).
  - An FDC (fire department connection) to be located on the street side of the building, in an approved, unobstructed location.
  - The building will require a fire alarm system with occupant notification.
  - The proposed fire table will need to be equipped with an attached, study mesh cover to prevent contact with open flames, final approval by the fire marshal.
  - The entire enclosed canopy area with the fire table feature will be required to have fire suppression coverage, due to combustible materials, and an open ignition source.
- 5.4 Police Department – Comments will be received by September 25<sup>th</sup>, 2019.
- 5.5 Building Department –
  - A fire sprinkler system will be required throughout the building and within the covered outdoor dining areas.
  - It appears that a single unisex toilet room is proposed in the independent restaurant area. The Michigan Plumbing Code will require separate men's and women's toilet rooms in this area due to the occupant load.

## **8.0 Design Review**

### Exterior:

The applicant has proposed modifications to the existing building that includes new windows, an outdoor patio, and an addition of 1,104 square feet. The south facing patio will have a canopy constructed of corrugated blue metal panels and a white acrylic patio cover. The patio seating will be surrounded by planters made of wood and corten steel.

The building exterior is proposed to remain concrete masonry that is painted white with a blue stripe. The new windows will have prefinished aluminum framing in a red oxide color.

Outdoor Dining:

Outdoor dining must comply with the site plan criteria as required by Article 04, Section 4.44 OD-01, Outdoor Dining Standards. Outdoor dining in the MX Zone is permitted immediately adjacent to the principal use and is subject to site plan review and the following conditions:

1. Outdoor dining areas shall provide and service refuse containers within the outdoor dining area and maintain the area in good order.
2. All outdoor activity must cease at the close of business, or as noted in Subsection 3 below, whichever is earlier.
3. When an outdoor dining area is immediately adjacent to any single-family or multiple-family residential district, all outdoor activity must cease at the close of business or 12:00 a.m., whichever is earlier.
4. All tables and chairs provided in the outdoor dining area shall be constructed primarily of metal, wood, or material of comparable quality.
5. Table umbrellas shall be considered under Site Plan Review and shall not impede sight lines into a retail establishment, pedestrian flow in the outdoor dining area, or pedestrian or vehicular traffic flow outside the outdoor dining area.

The outdoor seating will be on the south and west sides of the building with a mixture of benches, chairs, couches and a fire pit. **The applicant has not indicated the location and type of refuse containers for their outdoor dining.** In regards to hours of operation, Lincoln Yard will be open from 11am to 12am, therefore outdoor dining may be occupied for their use during this time. The hours of operation for Little Yard will be 7am to 8pm. Little Yard is intended for carryout only, therefore the applicant has not indicated outdoor dining for the carry-out patrons for the purpose of maintaining seating for Lincoln Yard patrons. **The Planning Division recommends outdoor seating be provided for Little Yard patrons from 7am to 11am while Lincoln Yard is not open.**

According to 4.44(A)(3), tables and chairs shall be constructed primarily of metal, wood or similar material. **The applicant has indicated that chairs C1, C3, C4, and C5 are made out of plastic that come in colors white, orange, Bordeaux, and red ochre.** The remaining chairs, tables, and benches are composed of either wood or aluminum. The bright hues of orange, red and blue for the outdoor furniture appear to compliment each other and appear to become accentuated by the contrasting white background of the building.

Glazing:

Article 4, Section 4.90(A)(1) states that no less than 70% of the storefront/ground floor façade between 1 and 8 feet above grade shall be clear glazing. **Currently, the applicant has a glazing percentage of 45% for the southern elevation façade, which does not meet the ordinance requirement. Also, the applicant has not provided window details demonstrating a visual light transmittance (VLT) of 80% or higher.**

Meanwhile, Article 4.90(D) for Storefront/Ground Floor Windows was adopted by City Commission on July 24<sup>th</sup>, 2017 stating:

D. To allow flexibility in design, these standards (Storefront/Groundfloor Windows) may be modified by a majority vote of the Planning Board, Design Review Board, and/or Historic District Commission for architectural design considerations provided that the following conditions are met:

- a) The subject property must be in a zoning district that allows mixed uses;
- b) The scale, color, design and quality of materials must be consistent with the building and site on which it is located;
- c) The proposed development must not adversely affect other uses and buildings in the neighborhood;
- d) Glazing above the first story shall not exceed a maximum of 70% of the façade area;
- e) Windows shall be vertical in proportion.

**The Planning Board may wish to allow flexibility in design for this building and maintain its proposed glazing level at 45%.**

Signage:

A name letter sign is proposed to read "LINCOLN YARD" to comply with the Sign Ordinance. A second name letter sign is proposed to read "LITTLE YARD" for the independent fast casual space with "EVERYDAY TAKEAWAY" below it. The applicant has 102 of building frontage, therefore 102 square feet of available sign space. The Lincoln Yard sign is proposed to be 67 square feet, and 12 feet above grade. The letters project 3 inches in total. The Little Yard sign is 21 SF with letters that project 2 inches, though the applicant has not indicated the height from ground level for this sign. Specifics regarding the signage for "EVERYDAY TAKEAWAY". **The applicant must provide details regarding size of each sign, the elevation of each sign in relation to the ground floor, and how the sign is attached to the wall before obtaining final approval.**

## **9.0 Approval Criteria**

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- (1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- (2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.

- (3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property not diminish the value thereof.
- (4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- (5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- (6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

## **10.0 Approval Criteria for Special Land Use Permits**

Article 07, section 7.34 of the Zoning Ordinance specifies the procedures and approval criteria for Special Land Use Permits. Use approval, site plan approval, and design review are the responsibilities of the City Commission. This section reads, in part:

Prior to its consideration of a special land use application (SLUP) for an initial permit or an amendment to a permit, the **City Commission shall refer the site plan and the design to the Planning Board for its review and recommendation. After receiving the recommendation, the City Commission shall review the site plan and design of the buildings and uses proposed** for the site described in the application of amendment.

The City Commission's approval of any special land use application or amendment pursuant to this section shall constitute approval of the site plan and design.

## **11.0 Suggested Action**

Based on a review of the site plans submitted, the criteria listed in Article 7, Section 7.27 and 7.34 of the Zoning Ordinance, the Planning Board recommends APPROVAL of the applicant's request for Final Site Plan and SLUP Review for 2159 E. Lincoln – Lincoln Yard to the City Commission, with the following conditions:

- 1. The applicant obtain zoning amendment approval for the subject property to be eligible for an Economic Development Liquor License according to Chapter 126, Zoning Ordinance Appendix C, Exhibit 1, and Chapter 126, Zoning Ordinance Article 2, Section 2.39 MX Uses Requiring a Special Land Use Permit.
- 2. The applicant indicates a color for the city standard benches and trash receptacles.
- 3. The applicant provides window details demonstrating an 80% VLT or greater.
- 4. The applicant provide location and design specifics for the outdoor dining refuse containers.

5. The applicant provides details regarding the material, size and height of the signs, as well as how they are attached to the wall.
6. The applicant provides an operations floor plan.
7. The applicant provide details regarding what type of liquor license they will transfer into the City, who owns it, who it was purchased from, and whether or not they have endorsements attached to the liquor license.

OR

Based on a review of the site plans submitted, the criteria listed in Article 7, Section 7.27 and 7.34 of the Zoning Ordinance, the Planning Board recommends POSTPONE of the applicant's request for Final Site Plan and SLUP Review for 2159 E. Lincoln – Lincoln Yard to the City Commission, for the following reasons:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

OR

Based on a review of the site plans submitted, the criteria listed in Article 7, Section 7.27 and 7.34 of the Zoning Ordinance, the Planning Board recommends DENIAL of the applicant's request for Final Site Plan and SLUP Review for 2159 E. Lincoln – Lincoln Yard to the City Commission, for the following reasons:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



**Zoning Compliance Summary Sheet**  
**2159 E. Lincoln Street**

**Existing Site:**

**Zoning:** MX

**Land Use:** Vacant commercial/industrial building

**Existing Land Use and Zoning of Adjacent Properties:**

	North	South	East	West
<b>Existing Land Use</b>	Commercial Retail Industrial	Public Property Ice Rink Skate Park	Commercial Retail	Commercial Retail
<b>Existing Zoning District</b>	MX, Mixed-Use	PP, Public Property	MX, Mixed-Use	MX, Mixed-Use

<b>Land Area:</b>	existing:	35,337 SF
	proposed:	Same as existing
<b>Minimum Lot Area:</b>	required:	N/A
	proposed:	N/A
<b>Minimum Floor Area:</b>	required:	N/A
	proposed:	Retail N/A
<b>Maximum Total Floor Area:</b>	required:	N/A
	proposed:	6,276 SF. Principle uses with a floor area greater than 6,000 SF in the MX zone must apply for a SLUP.
<b>Minimum Open Space:</b>	required:	N/A
	proposed:	N/A
<b>Maximum Lot Coverage:</b>	required:	N/A
	proposed:	N/A
<b>Front Setback:</b>	required:	N/A
	proposed:	59'5"

<b>Side Setbacks:</b>	required:	N/A
	proposed:	111' (to East) 12' (to West)
<b>Rear Setback:</b>	required:	10' when adjacent to MZ Zone
	proposed:	10'
<b>Max. Bldg. Height:</b>	permitted:	45'
	proposed:	17'2"
<b>Minimum Eave Height:</b>	required:	N/A
	proposed:	N/A
<b>Parking:</b>	required:	65 spaces
	proposed:	58 on site space spaces, 16 shared with 2125 E. Lincoln Street for 74 total.
<b>Loading Area:</b>	required:	1 space
	proposed:	1 spaces
<b>Screening:</b>		
<u>Parking:</u>	required:	32" screen wall
	proposed:	36" sprinter boxwoods
<u>AC/Mech. units:</u>	required:	Obscure the equipment from public view
	proposed:	corrugated metal paneling
<u>Dumpster:</u>	required:	6' high capped masonry wall with wooden gates
	proposed:	6'4" masonry screen wall with cedar wood gates



**CITY OF BIRMINGHAM  
REGULAR MEETING OF THE PLANNING BOARD  
WEDNESDAY, AUGUST 14, 2019**

City Commission Room  
151 Martin Street, Birmingham, Michigan

Minutes of the regular meeting of the City of Birmingham Planning Board held on August 14, 2019. Chairman Scott Clein convened the meeting at 7:30 p.m.

**A. ROLL CALL**

**Present:** Chairman Scott Clein; Board Members Robin Boyle, Stuart Jeffares, Daniel Share, Janelle Whipple-Boyce, Bryan Williams (left at 8:03 p.m.); Alternate Board Members Jason Emerine, Nasseem Ramin; Student Representatives Sophia Trimble, John Utley

**Absent:** Board Member Bert Koseck

**Administration:** Jana Ecker, Planning Director  
Brooks Cowan, City Planner  
Laura Eichenhorn, Transcriptionist

**08-122-19**

**F. Special Land Use Permit and Final Site Plan & Design Review**

**1. 2159 E. Lincoln – Lincoln Yard (Former Birmingham Schools Bus Garage) –** Special Land Use Permit Review and Final Site Plan & Design Review to consider a new restaurant serving alcohol under the economic development category of liquor license in the MX zoning district.

Mr. Williams left the meeting at 8:03 p.m. Ms. Ramin, previously in the audience, joined the Board at this time.

City Planner Cowan presented the item.

Curt Catallo, member of the applicant team, addressed the Board. He introduced the other members of the applicant team present, which included Jeffrey Klatt, architect for the project, Ann Stevenson, lead designer, Erich Lines, managing partner, and Tony Yurgo, project manager for Lincoln Yard.

Mr. Catallo stated that Lincoln Yard was before the Planning Board in 2017 to pursue a bistro license for the project. He explained two things became clear during that process: that the project would not work for a bistro, and that the project had a lot to offer Birmingham's vision for Rail District development. He said:

- The enthusiasm the project garnered from the community in 2017 inspired the applicant team to continue working to bring the project to Birmingham.

- The parking agreement between the applicant and Armstrong-White is still valid.
- Lincoln Yard's seating, revised since the 2017 submission, is now more appropriately scaled for indoor seating and patio outdoor seating. The prior plans were trying to make the building's parameters fit a bistro license, whereas now with a Class C license the project can be laid out more organically. Being aware that the City Commission would like to see more activation of the street, Mr. Catallo stated that the planned outdoor seating does just that.
- Outdoor seating will help to make the building, which has an otherwise plain exterior, more inviting.
- Little Yard would provide fast service and fresh food. It would have a bit of seating, a bit of alcohol service, and would share a kitchen with Lincoln Yard. It would benefit people around the neighborhood looking for a quick bite, including kids and adults visiting the nearby ice arena.
- The Lincoln Yard side would be table service and would open at 11 a.m. Little Yard may open prior to 11 a.m. with coffee and pastries.
- The tentative hours would be 6 a.m. to 8 p.m. for Little Yard, and Lincoln Yard would be 11 a.m. through midnight Monday through Wednesday, and 11 a.m. through 2 a.m. Thursday through Saturday. Lincoln Yard may open at 9 a.m. on Sundays for brunch service.
- Lincoln Yard would actually be paid for grease pick-up, as opposed to having to pay for grease pick-up, because vendors have uses for the used grease.

Mr. Jeffares said ~~that this proposal would stand to activate the Torry neighborhood area, which would be beneficial~~ **could be part of a neighborhood center as discussed during the master plan public meetings.**

Mr. Share said there must be ample warning to drivers looking to park at Lincoln Yard to be mindful of the pedestrian crossing near the building. He recommended adding a tint to the aggregate to emphasize the crossing.

Mr. Jeffares and Planning Director Ecker suggested raising the crosswalk a bit to resemble a speed table could also be beneficial.

Mr. Catallo shared enthusiasm for tinting the concrete of the crosswalk, and said he would be concerned about snowplows if the crosswalk were raised. He said they just poured tinted concrete at another site and have been pleased with the results. Mr. Catallo said he would bring a photo of the tinted concrete to his next meeting with the Planning Board.

**Motion by Mr. Share**

**Seconded by Mr. Emerine to accept and file the August 14, 2019 email in support of the Lincoln Yards project from Ryan Tate and Marci Hensley of 1999 Hazel.**

**Motion carried, 7-0.**



**Special Land Use Permit Application – Economic Development License**  
**Planning Division**

*Form will not be processed until it is completely filled out.*

**1. Applicant**

Name: Bus Bar LLC  
Address: 90 N. Main Street, Clarkston, MI 48346  
Phone Number: 248.795.2483  
Fax Number: 248.795.2549  
Email address: thakady@unionadworks.com

**2. Property Owner**

Name: 2159 E. Lincoln LLC  
Address: 90 N. Main Street, Clarkston, MI 48346  
Phone Number: 248.795.2483  
Fax Number: 248.795.2549  
Email address: thakady@unionadworks.com

**3. Applicant's Attorney/Contact Person**

Name: Neil Wallace  
Address: 39 S. Main Street, #20  
Clarkston, MI 48346  
Phone Number: 248.625.1800  
Fax Number: 248.620.7477  
Email address: Newall@aol.com

**4. Project Designer/Developer**

Name: Krieger Klatt Architects (Contact: Jeff Klatt, R.A.)  
Address: 2120 E. 11 Mile Rd. Royal Oak, MI 48067  
Phone Number: 248.414.9270  
Fax Number: 248.414.9275  
Email address: jeff@kriegerklatt.com

**5. Required Attachments**

- I. Two (2) paper copies and one (1) digital copy of all project plans including:
  - i. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject sites property lines;
  - ii. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
  - iii. A certified Land Survey;
  - iv. Interior floor plans;
  - v. A Landscape Plan;
  - vi. A Photometric Plan;
  - vii. Colored elevation drawings for each building elevation;
- II. Specification sheets for all proposed materials, light fixtures and mechanical equipment;
- III. Samples of all proposed materials;
- IV. Photographs of existing conditions on the site including all structures, parking areas, landscaping and adjacent structures;
- V. Current aerial photographs of the site and surrounding properties;
- VI. Warranty Deed, or Consent of Property Owner if the applicant is not the owner;
- VII. Any other data requested by the Planning Board, Planning Department, or other City Departments.

**6. Project Information**

Address/Location of the property: 2159 E. Lincoln, Birmingham, MI 48009

Name of development: Lincoln Yard  
Sidwell #: Part of 20-31-401-006  
Current Use: Unoccupied (Past Use: F-1)  
Proposed Use: Restaurant (Assembly A-2)  
Area of Site in Acres: 0.81 acres  
Current zoning: MX (Mixed Use)  
Is the property located in the floodplain? no  
Name of Historic District Site is Located in: n/a  
Date of Historic District Commission Approval: n/a

Date of Application for Preliminary Site Plan: n/a  
Date of Preliminary Site Plan Approval: n/a  
Date of Application for Final Site Plan: n/a  
Date of Final Site Plan Approval: T.B.D.  
Date of Application for Revised Final Site Plan: n/a  
Date of Revised Final Site Plan Approval: n/a  
Date of Design Review Board Approval: n/a  
Is there a current SLUP in effect for this site? no  
Date of Application for SLUP: 07.22.2019  
Date of SLUP Approval: T.B.D.  
Date of Last SLUP Amendment: n/a

## 7. Details of the Proposed Development (attach separate sheet if necessary)

Renovation to convert existing, single story, 5,175 SF building into a new restaurant (112 SF will be demolished). An additional 1,104 SF building addition is proposed at the rear (North) side of the building as well as a 109 SF building addition at the front (South) street side of the building. The total proposed building footprint will be 6,276 SF. The new restaurant (Lincoln Yard) will occupy 5,204 SF of the building. There is an outdoor patio area at grade level in the front (South) yard. The remainder of the interior space will be used for an independent, fast casual restaurant. This restaurant will contain 1,072 SF and will share a kitchen with Lincoln Yard. This independent restaurant will contain an outdoor patio area at grade level in the side (West) yard. The remainder of the site will be utilized for required parking and green space.

## 8. Buildings and Structures

Number of Buildings on Site: 1  
Height of Buildings & # of Stories: 17'-2" +/- (existing to remain) & 1 Story

Use of Buildings: Restaurant  
Height of Rooftop Mechanical Equipment: TBD (to comply w/ordinance)

## 9. Floor Use and Area (in Square Feet)

### Structures:

Restaurant Space: 5,204 SF (Lincoln Yard); 1,072 SF (Independent Restaurant)  
Office Space: n/a  
Retail Space: n/a

Number of Residential Units: n/a  
Rental or Condominium? n/a  
Total Floor Area: 6,276 SF

## 10. Proposed Restaurant Operation

Number of Indoor Seats: 135 (Lincoln Yard); 25 (Independent Restaurant)  
Number of Outdoor Seats: 73 (Lincoln Yard); 20 (Independent Restaurant)  
Entertainment Proposed: no  
Previous LCC Complaints? no  
Number of Tables along Street Façade: 10 (Formal dining tables)  
Type of Cuisine: Elevated American Comfort Food

Bar Area? yes  
Number of Seats at Bar: 13  
Full Service Kitchen? yes  
Percentage of Glazing Proposed: 14% (building overall)  
Years of Experience in Birmingham: none  
Years of Experience Outside Birmingham: 24 years

## 11. Proposed Setbacks

Required Front Setback: 0  
Required Rear Setback: 10.0'  
Required Total Side Setback: 0

Proposed Front Setback: 59.4'  
Proposed Rear Setback: 10.0'  
Proposed Total Side Setback: Existing to remain

## 12. Outdoor Dining Facility

Location (sidewalk right-of-way or on-street parking space): Front of building (south elevation)  
Hours of Operation: 7:00 AM to 11:00 PM  
Width of unobstructed sidewalk between door and café? (5 ft. required): 5'-0"  
Platform Proposed: none (outdoor patio proposed)  
Trash Receptacles: none (server clears tables)

Number of Tables/Chairs: 73 Chairs/20 Tables (Lincoln); 20 Chairs/5 Tables (Indep.Rest.)  
Material of Tables/Chairs: Varies (refer to C.102)  
Tables Umbrellas Height & Material: n/a  
Number and Location of Parking Spaces Utilized: 58 spaces (East & South ends of lot)  
Screenwall Material: Planters (Refer to plans)  
Enclosure Material: Refer to elevations

## 13. Required and Proposed Parking

Required number of parking spaces: 65  
Location of parking on site: East & South ends of lot  
Screenwall material: Hedgerow (South)

Shared Parking Agreement? yes (Armstrong White)  
Location of parking off site: Adjacent parking lot (Armstrong White)  
Height of screenwall: 32" min. (to comply w/ordinance)

## 14. Landscaping

Location of landscape areas: Refer to site plan on sheet C.100

Proposed landscape material: Sod

## 15. Streetscape

Sidewalk width: 5'-0"  
Number of benches: 2 proposed  
Number of planters: 0  
Number of existing street trees: 0  
Number of proposed street trees: 5  
Streetscape plan submitted? yes

## 16. Loading

Required number of loading spaces: 1  
Typical angle of loading spaces: 90 degrees  
Screenwall material: -  
Location of loading spaces on site: adjacent to East side of building

## 17. Exterior Waste Receptacles

Required number of waste receptacles: none (server clears tables)  
Location of waste receptacles: none  
Screenwall material: n/a

## 18. Mechanical Equipment

### Utilities and Transformers:

Number of ground mounted transformers: 1  
Size of transformers (L•W•H): T.B.D. (approx. 5'-2" x 5'-2" conc. pad)  
Number of utility easements: 6.0'  
Screenwall material: Plantings

### Ground Mounted Mechanical Equipment:

Number of ground mounted units: 0  
Size of ground mounted units (L•W•H): n/a  
Screenwall material: n/a

### Rooftop Mechanical Equipment:

Number of rooftop units: 4 (currently)  
Type of rooftop units: Air handling unit & make-up air unit  
Screenwall material: Pre-finished metal panels  
Location of screenwall: At all roof top units

## 19. Accessory Buildings

Number of accessory buildings: 0  
Location of accessory buildings: n/a

## 20. Building Lighting

Number of light standards on building: 35  
Size of light fixtures (L•W•H): Sizes vary by fixture  
Maximum wattage per fixture: Refer to photometric plan  
Light level at each property line: Refer to photometric plan

## 21. Site Lighting

Number of light fixtures: 6  
Size of light fixtures (L•W•H): Refer to photometric  
Maximum wattage per fixture: Refer to photometric  
Light level at each property line: Refer to photometric

## 22. Adjacent Properties

Number of properties within 200 ft.: 6

Description of benches or planters:  
Proposed benches are per city standards

Species of existing trees: American Hornbeam (assumed)

Species of proposed trees: American Hornbeam (to match Armstrong White)

Proposed number of loading spaces: 1

Typical size of loading spaces: 12'-0" x 40'-0"

Height of screenwall: -

Typical time loading spaces are used: Varies by delivery

Proposed number of waste receptacles: none

Size of waste receptacles: n/a

Height of screenwall: n/a

Location of all utilities & easements: Refer to ALTA survey

Height of screenwall: Height to conceal transformer

Location of all ground mounted units: n/a

Height of screenwall: n/a

Location of all rooftop units: n/a (at roof)

Size of rooftop units (L•W•H): final dimensions T.B.D.

Percentage of rooftop covered by mechanical units:

Height of screenwall: Final hgt. T.B.D. w/final hgt. of units. (to comply w/ord.)

Distance from rooftop units to all screenwalls: Required clearance per final selected rooftop units to be provided

Size of accessory buildings: n/a

Height of accessory buildings: n/a

Type of light standards on building: Wall mounted

Height from grade: Varies (Refer to elevations)

Proposed wattage per fixture: Refer to photometric

Type of light fixtures: Pole mounted

Height from grade: Refer to photometric

Proposed wattage per fixture: Refer to photometric

Holiday tree lighting receptacles: n/a



**Property #1**

Number of buildings on site: 1  
Zoning district: MX (Mixed-Use)  
Use type: Office  
Square footage of principal building: Unknown  
Square footage of accessory buildings: n/a  
Number of parking spaces: 58

**Property #2**

Number of buildings on site: 1  
Zoning district: MX (Mixed-Use)  
Use type: Office (assumed)  
Square footage of principal building: Unknown  
Square footage of accessory buildings: n/a  
Number of parking spaces: 30 +/-

**Property #3**

Number of buildings on site: 1  
Zoning district: MX (Mixed-Use)  
Use type: Unknown  
Square footage of principal building: Unknown  
Square footage of accessory buildings: n/a  
Number of parking spaces: 3 +/-

**Property #4**

Number of buildings on site: 1  
Zoning district: MX (Mixed-Use)  
Use type: Office  
Square footage of principal building: Unknown  
Square footage of accessory buildings: n/a  
Number of parking spaces: Unknown

**Property #5**

Number of buildings on site: 2  
Zoning district: MX (Mixed-Use)  
Use type: Mixed-use  
Square footage of principal building: Unknown  
Square footage of accessory buildings: n/a  
Number of parking spaces: Unknown

**Property #6**

Number of buildings on site: 1  
Zoning district: PP (Public Property)  
Use type: Park  
Square footage of principal building: Unknown  
Square footage of accessory buildings: Unknown  
Number of parking spaces: 251

**Property Description:** Armstrong White

2125 E. Lincoln Ave.  
20-31-401-007

North, south, east or west of property? West

**Property Description:** \_\_\_\_\_

2010 Cole St.  
20-31-252-010

North, south, east or west of property? North

**Property Description:** \_\_\_\_\_

2182 Cole Ave.  
20-31-252-006

North, south, east or west of property? North

**Property Description:** \_\_\_\_\_

2254 Cole Ave.  
20-31-252-007

North, south, east or west of property? North

**Property Description:** \_\_\_\_\_

2295 E. Lincoln Ave.  
20-31-401-003

North, south, east or west of property? North & East

**Property Description:** \_\_\_\_\_

2300 E. Lincoln Ave.  
20-31-403-028

North, south, east or west of property? South

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

Signature of Owner:

Date: \_\_\_\_\_

Print Name: \_\_\_\_\_

Signature of Applicant:

Date: \_\_\_\_\_

Print Name: \_\_\_\_\_

Signature of Architect:

Date: 7/22/2019

Print Name:

JEFF KLATT, AIA

*Office Use Only*

Application #: \_\_\_\_\_ Date Received: \_\_\_\_\_ Fee: \_\_\_\_\_

Date of Approval: \_\_\_\_\_ Date of Denial: \_\_\_\_\_ Accepted by: \_\_\_\_\_



## Notice Signs - Rental Application Community Development

### 1. Applicant

Name: Bus Bar LLC  
Address: 90 N. Main Street, Clarkston, MI 48346  
Phone Number: -  
Fax Number: -  
Email address: thakady@unionadworks.com

### Property Owner

Name: 2159 E. Lincoln LLC  
Address: 90 N. Main Street, Clarkston, MI 48346  
Phone Number: -  
Fax Number: -  
Email address: thakady@unionadworks.com

### 2. Project Information

Address/Location of Property: 2159 E. Lincoln  
Name of Development: Lincoln Yard  
Area in Acres: 0.81

Name of Historic District site is in, if any: n/a  
Current Use: Unoccupied (Past Use: F-1)  
Current Zoning: Mixed Use (MX)

### 3. Date of Board Review

Board of Building Trades Appeals: n/a  
City Commission: -  
Historic District Commission: n/a  
Planning Board: -

Board of Zoning Appeals: n/a  
Design Review Board: n/a  
Housing Board of Appeals: n/a

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.

Signature of Applicant:  Date: -

#### Office Use Only

Application #: - Date Received: - Fee: -  
Date of Approval: - Date of Denial: - Reviewed by: -











Architectural Site / Landscape Plan  
1" = 20'-0"

**Union Joints**  
90 N. Main St.  
Clarkston, MI 48346

**Lincoln Yard**  
2159 E. Lincoln Ave.  
Birmingham, MI 48009

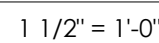
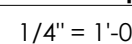
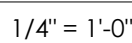
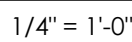
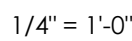
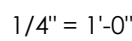
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Do not scale drawings. Use  
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Verify existing conditions in field.

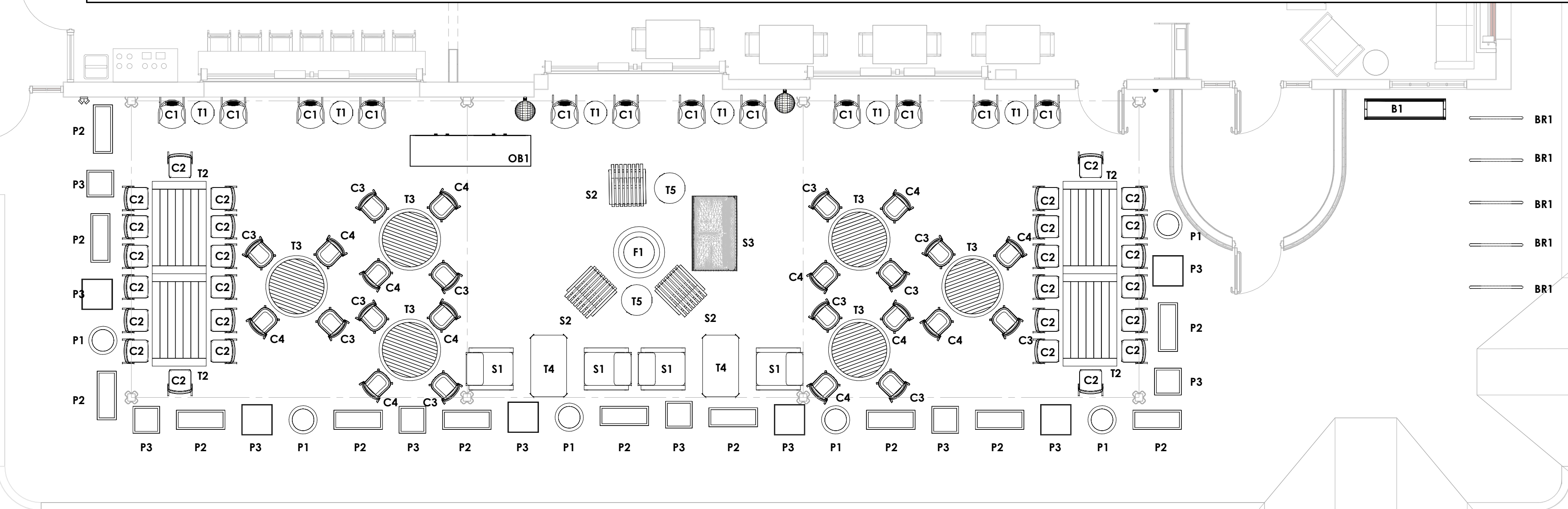
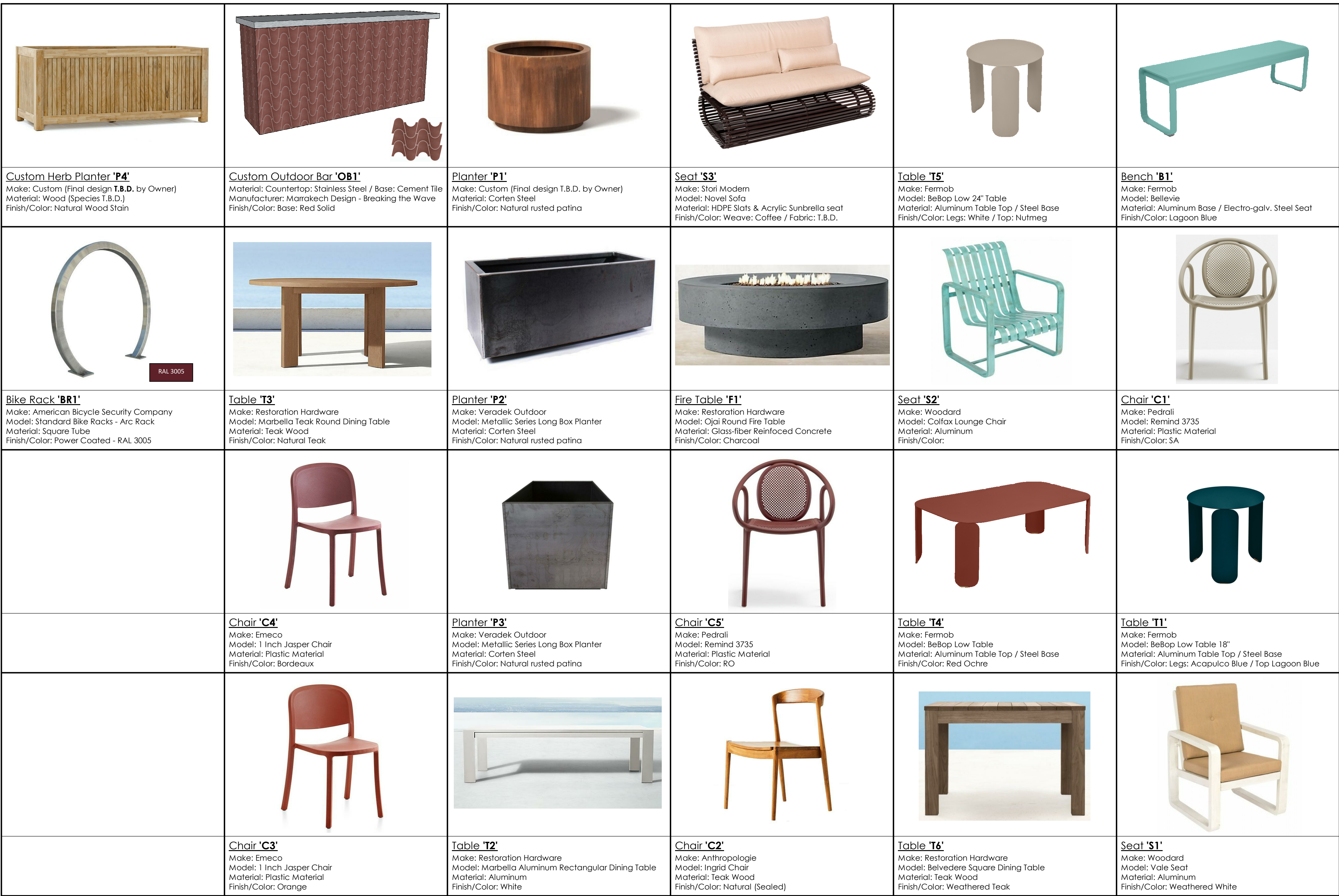
## Site Details

19-064

# C.101





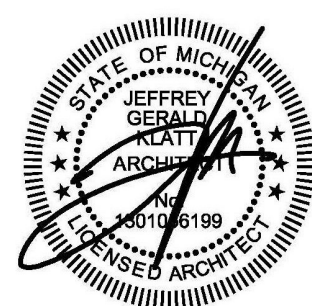


# Outdoor Furniture Plan



[illegible]

Seal: \_\_\_\_\_

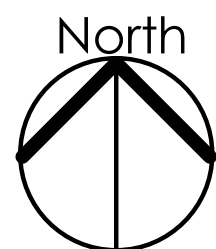


**Note:**

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Do not scale drawings. Use  
calculated dimensions only.  
Verify existing conditions in field.

North Arrow:












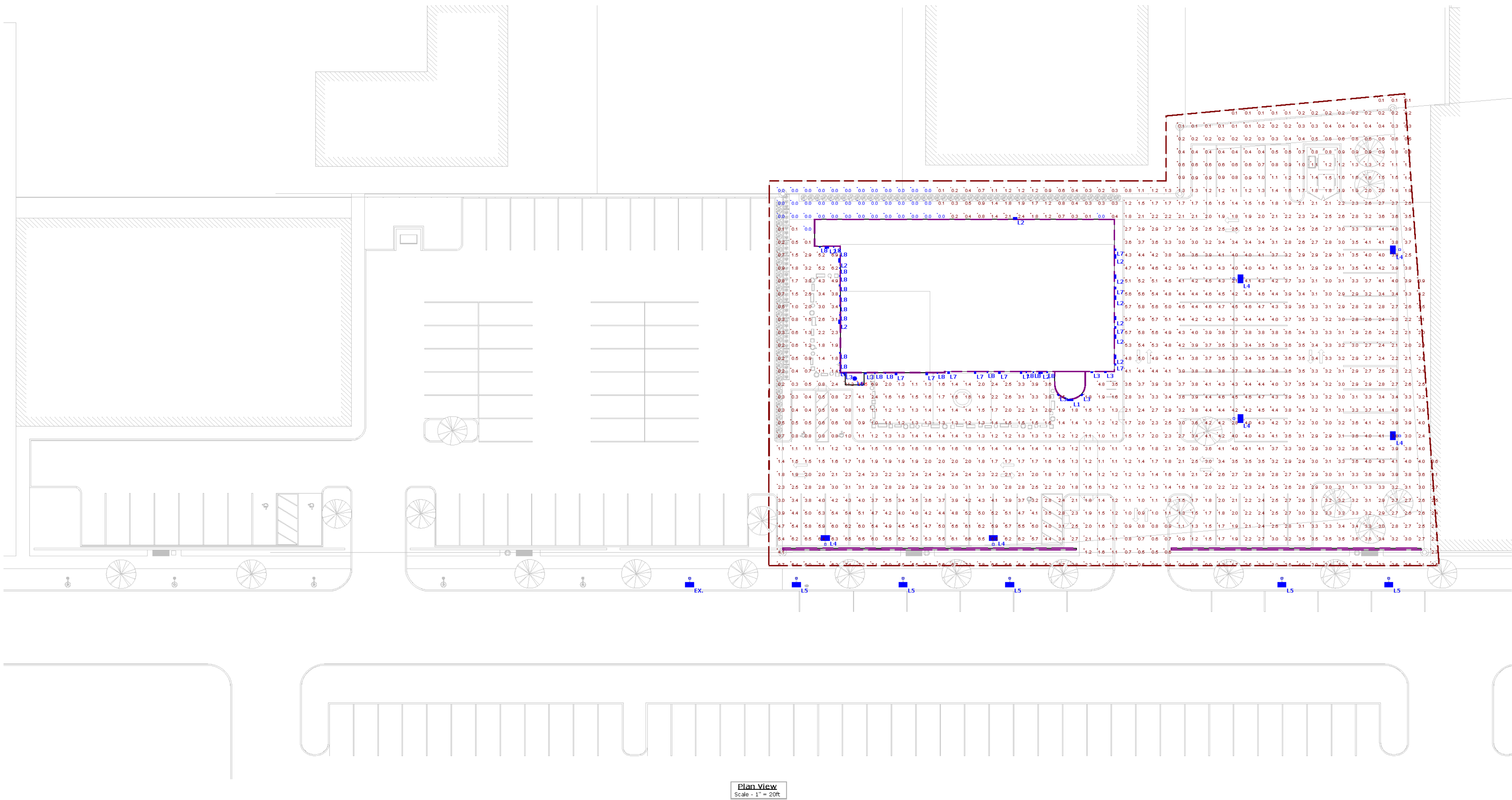
Sheet Title:  
Photometric Plan

Project Number:  
19-064

Sheet Number:  
C.103

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING	+	3.2 fc	6.3 fc	0.4 fc	15.8:1	8.0:1
SITE AT 6'	+	2.8 fc	15.6 fc	0.0 fc	N/A	N/A
SITE AT GROUND LEVEL	+	2.6 fc	15.5 fc	0.0 fc	N/A	N/A

Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	L1	1	LIGHTLOGY	HIN820523	FOUNDRY OUTDOOR 16inch DOME SHADE HOOK ARM WALL LIGHT	100W INCANDESCENT/LED EQUIVALENT	1	1503	0.8	13.3
	L2	11	LIGHTLOGY	HIN820503	FOUNDRY OUTDOOR 12inch DOME SHADE HOOK ARM WALL LIGHT	LED	1	1503	0.7	13.3
	L3	6	LIGHTLOGY	CRY592002	CAPSULE OUTDOOR WALL LIGHT	43W INCANDESCENT/LED EQUIVALENT	1	491	0.8	14.3
	L4	6	Lithonia Lighting	DSX0 LED P6 40K TSM MVOLT	DSX0 LED P6 40K TSM MVOLT MOUNTING HEIGHT: 16FT.	LED	1	16575	0.8	134
	L5	5	HADCO		HADCO CITY STREET POLE MOUNTING HEIGHT: 12FT.	100W HPS	1	9410	0.8	72
	L6	1	Lithonia Lighting	LDN6 35/15 LOGAR LD	6IN LDN, 3500K, 1500LM, 80CRI, CLEAR, MATTE DIFFUSE REFLECTOR	LED	1	1365	0.8	20.48
	L7	10	GUZZINI		SPACE AGE GREEN VINTAGE OUTDOOR PLASTIC GLOBE WALL LAMPS BY GUZZINI, 1970S ITALY (E27 SOCKET)	60W INCANDESCENT/LED EQUIVALENT	1	522	0.8	8.93
	L8	19	BOCCI	14S/SP	SURFACE MOUNTED, 2.2" MOUNTING PLATE OR 4.5" PAINTABLE MOUNTING PLATE	LED	1	87	0.45	3
	EX.	1	HADCO		EXISTING STREET POLE	100W HPS	1	9410	0.8	72





A circular diagram with a vertical line and two diagonal lines forming a triangle. The word "North" is written above the top vertex.

Project Number:  
19-064

**Top View Labels:**

- 14 GAL. STL. SPUN COVER
- 1/2" SQ. STL. BAR
- 2" X 2" X 1/4" STL. BAR W/ 11/16" DIA HOLES
- 1/4" X 2" STL. BRACE
- 10" Ø OPENING

**Side View Labels:**

- 1/4" X 2" STL. BAR
- 4 1/4" O.D. X 3/8" W. STL. TUBE
- 32 OIL PLASTIC LINER
- 1/4" X 2" STL. PICKETS

**Dimensions:**

- Overall Width: 28 1/4"
- Overall Height: 36"
- Top Section Height: 2"
- Tube Section Height: 4 1/4"
- Bottom Section Height: 2"
- Bottom Section Height: 2"

**Perspective View:**

The perspective view shows the cylindrical structure with the top cover, the central opening, and the vertical bars/pickets.

**NOTES:**

- 1.) ALL STL. MEMBERS COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER POWDER COATING.
- 2.) 1/2" X 3 3/4" PLTD. EXPANSION ANCHOR BOLTS PROVIDED.

**DuMor, inc.**  
P.O. Box 142 Millstown, PA 17069-0142

DATE DRAWN : 9/20/00  
DRAWN BY : CDC  
DATE REV. :  
REV. BY :

TITLE

REVISION

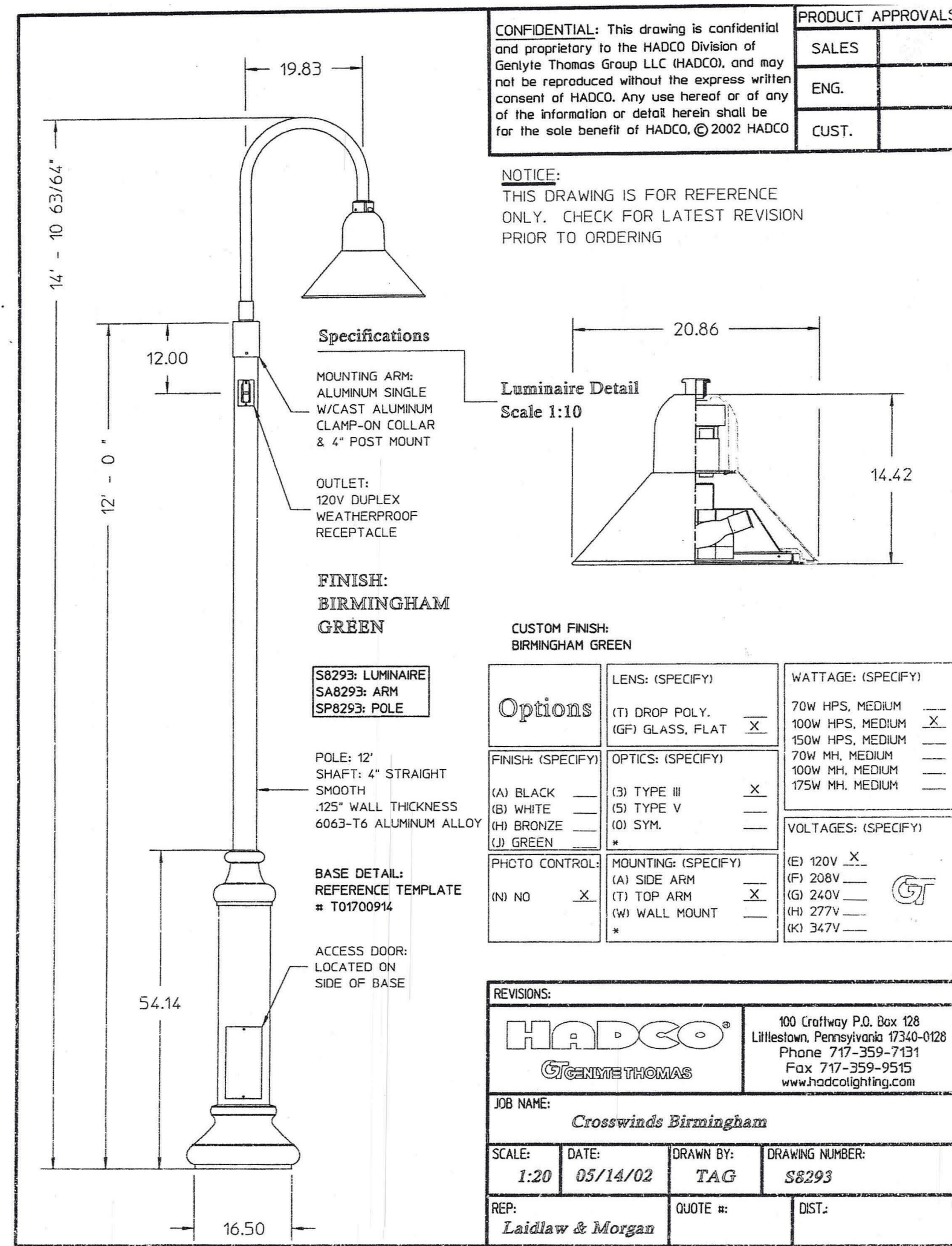
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RECEPTACLE

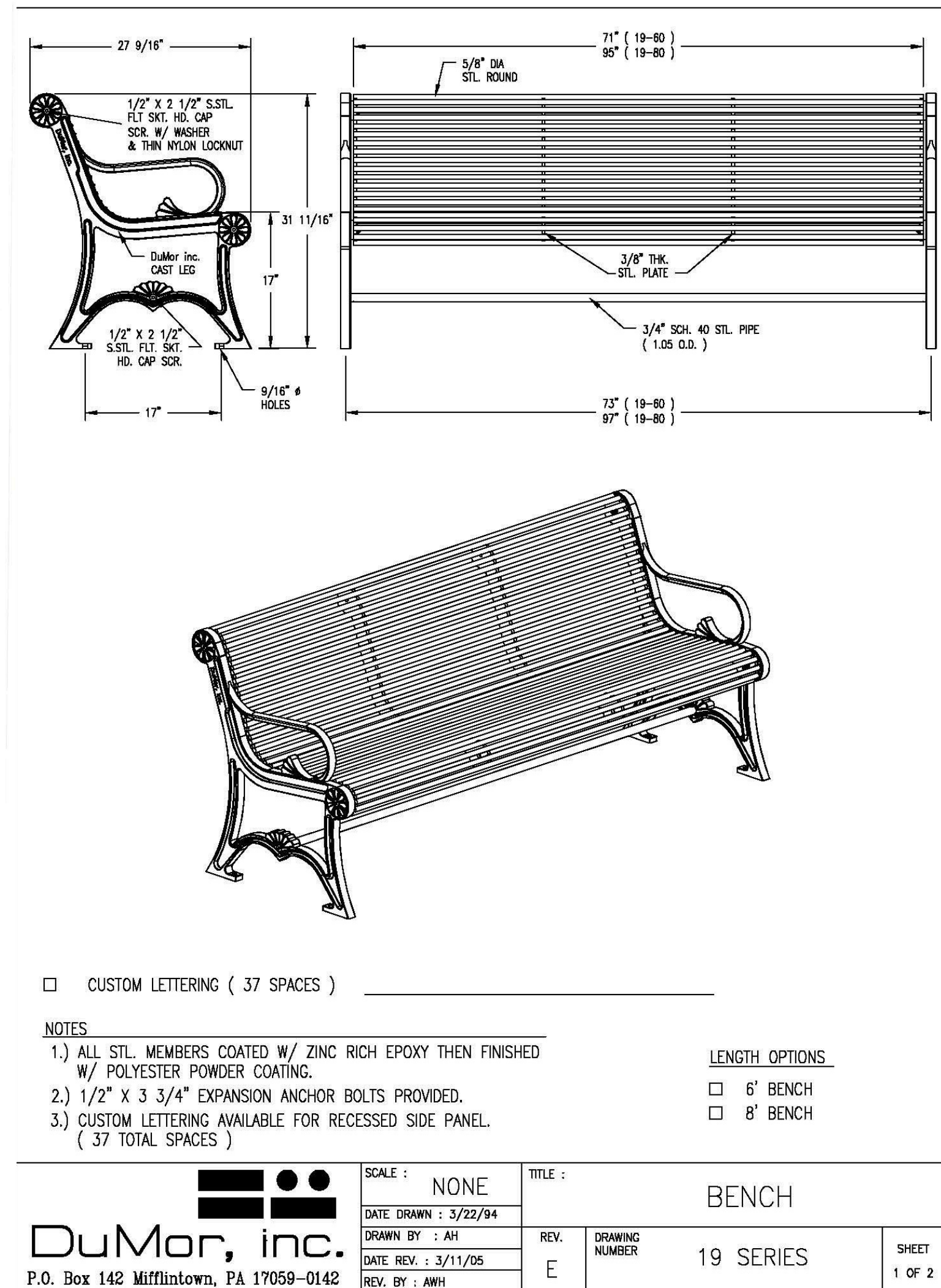
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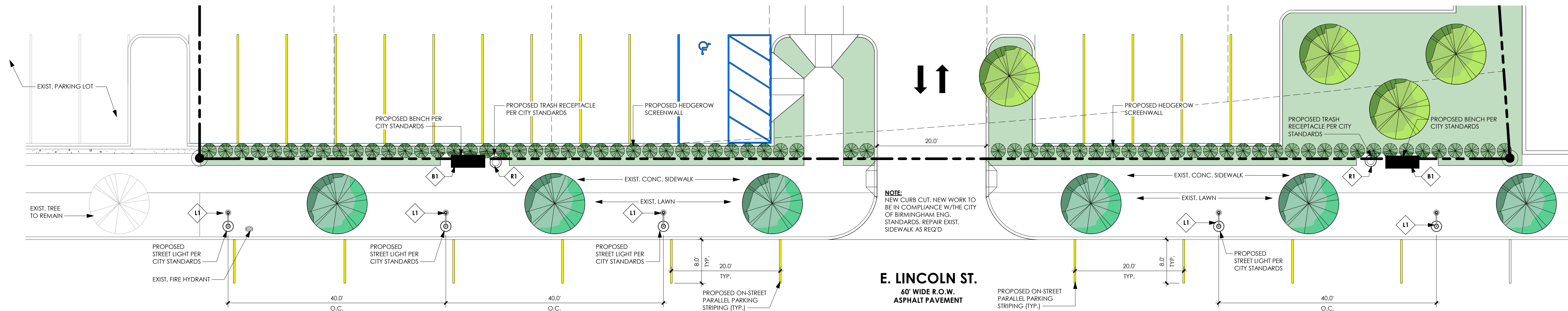
Make: DuMor, inc.  
Model:  
Finish: Powder Coat



Make: HADCO  
Model: Luminaire - S8293  
Arm - SA8293  
Pole - SP8293  
Finish: Black



Make: DuMor, inc.  
Model: 19 Series  
Finish: Powder Coat

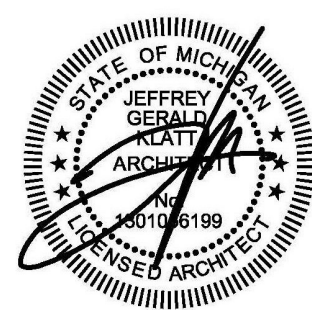


**A** Enlarged Streetscape Plan  
1" = 10'-0"  
C.100



[illegible]

Seal: \_\_\_\_\_



Note:

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Do not scale drawings. Use  
calculated dimensions only.  
Verify existing conditions in field

North Arrow:

Sheet Title:  
Existing Site &  
Building  
Photographs

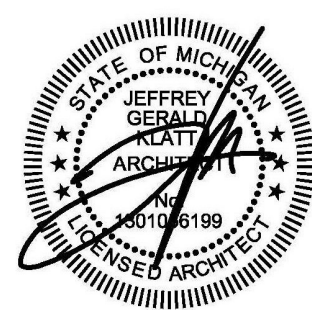
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19-064

Sheet Number:  
**C.105**



[illegible]

Seal: \_\_\_\_\_



Note:

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Verify existing conditions in field

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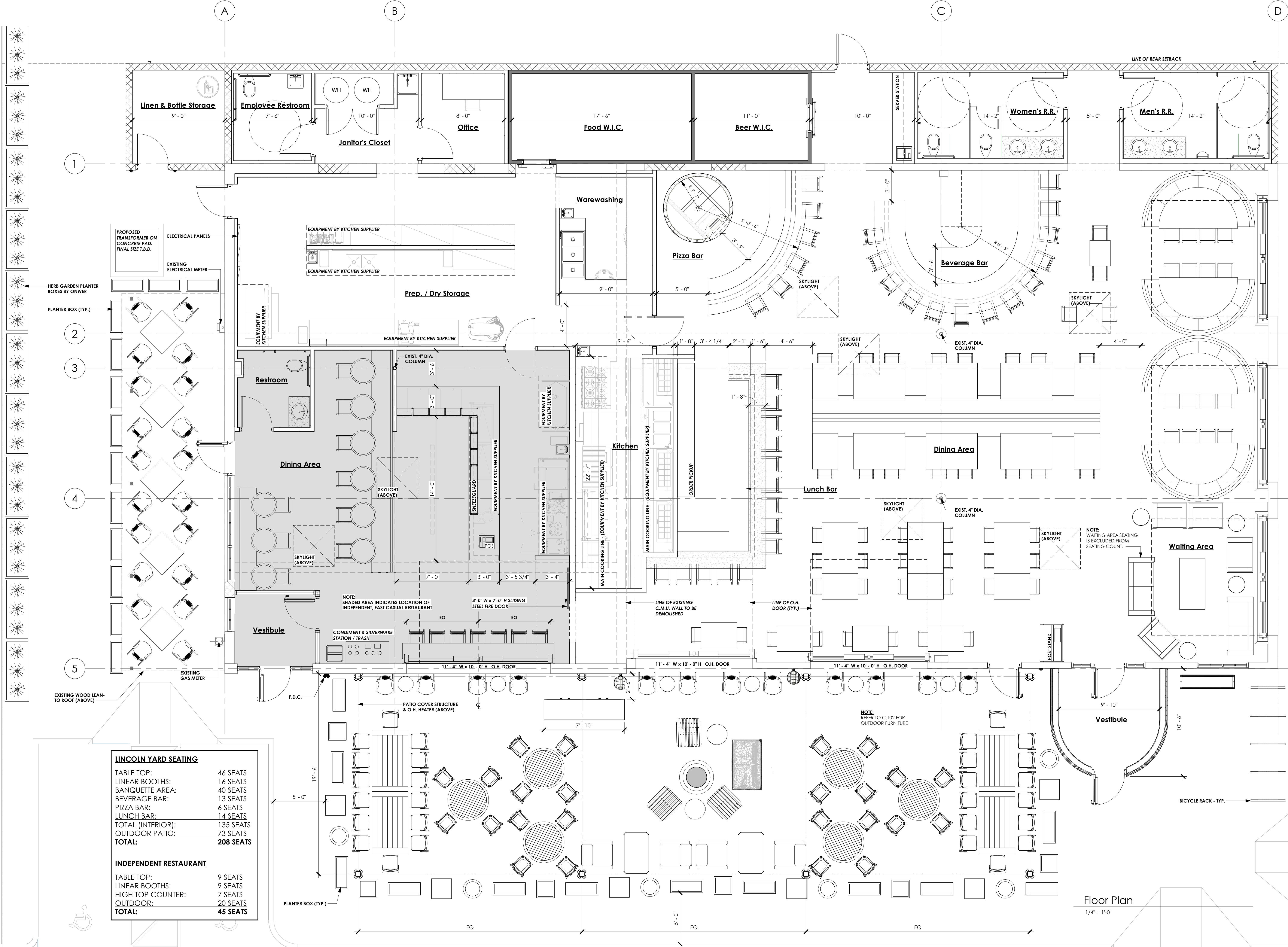
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Existing  
Surrounding Site  
Photographs

Project Number:  
19-064

Sheet Number:  
**C.106**

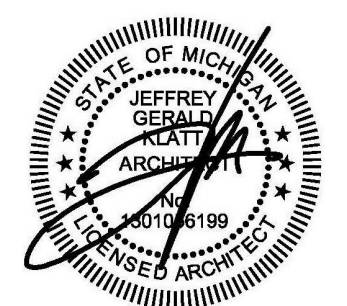






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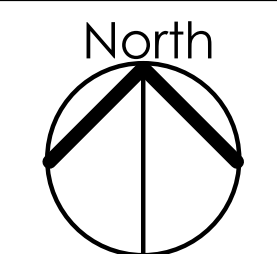


**Note:**

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Verify existing conditions in field.

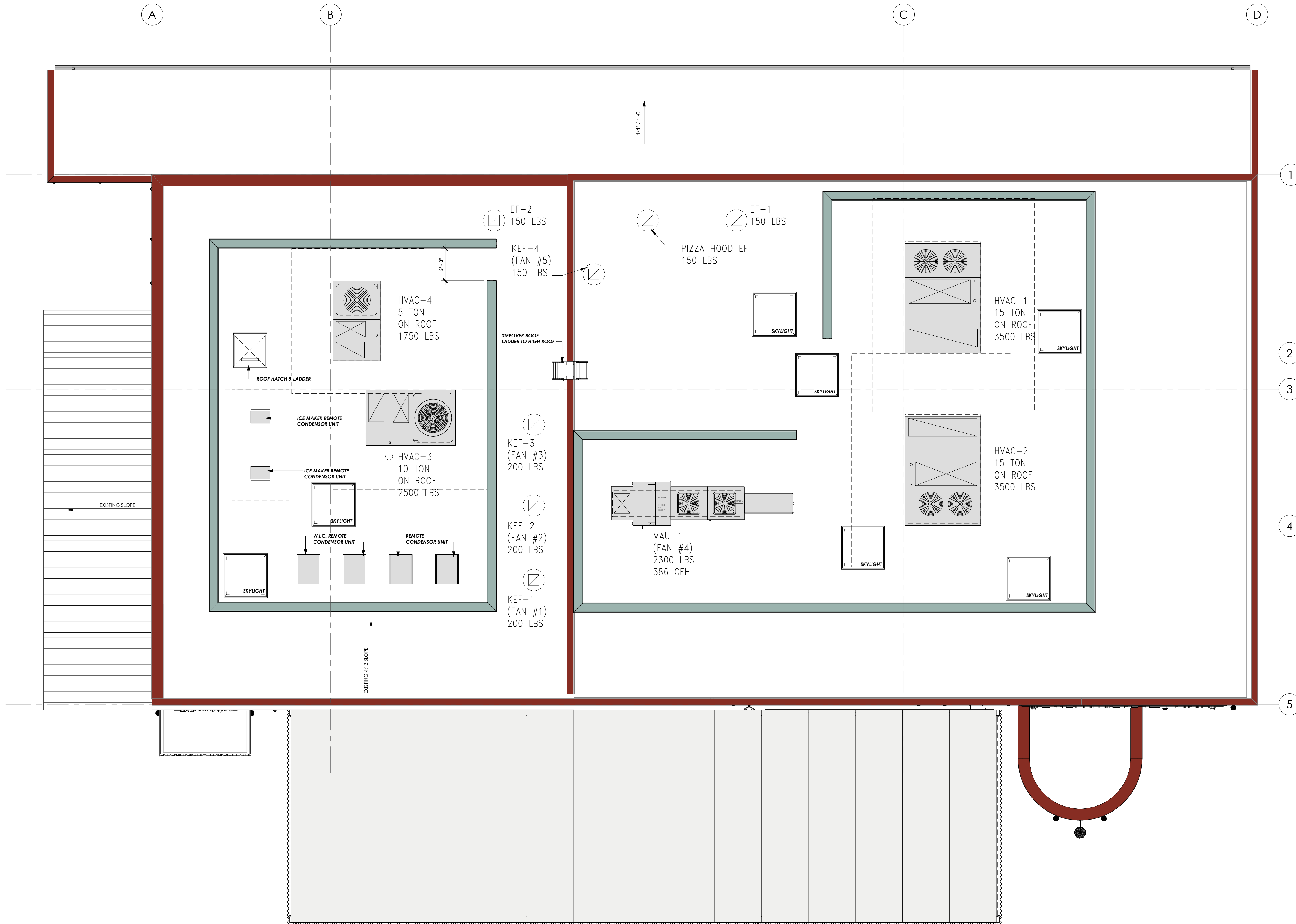
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Sheet Title:  
Roof Plan

Project Number: 19-064

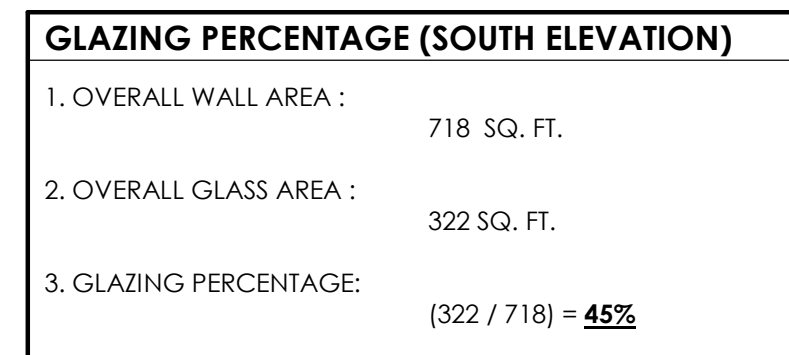
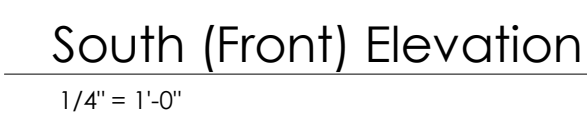
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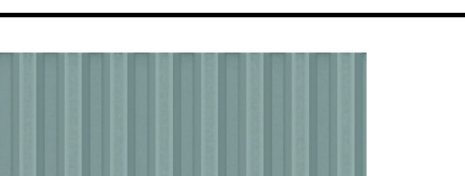
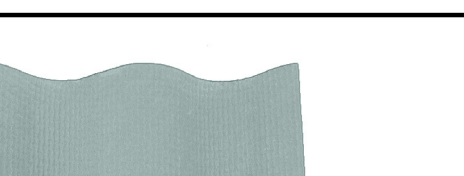

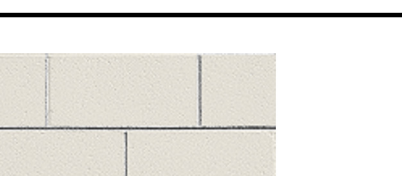
## Roof Plan

1/4" = 1'-0"

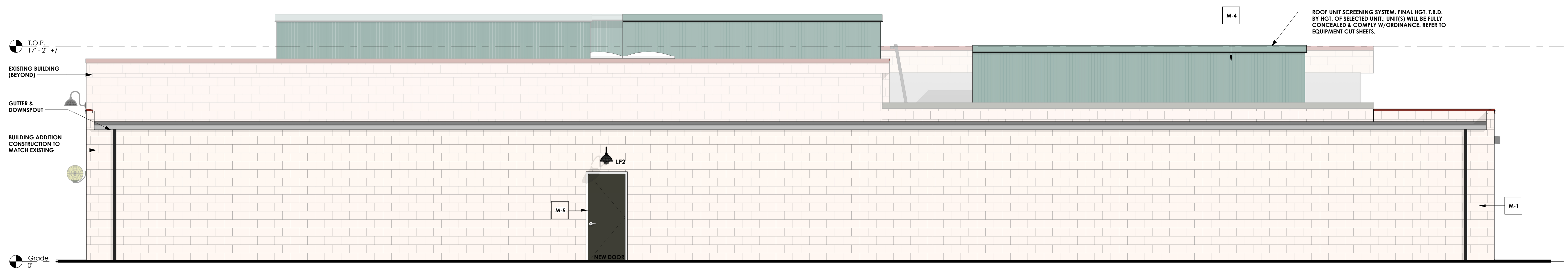




East (Side) Elevation  
1/4" = 1'-0"

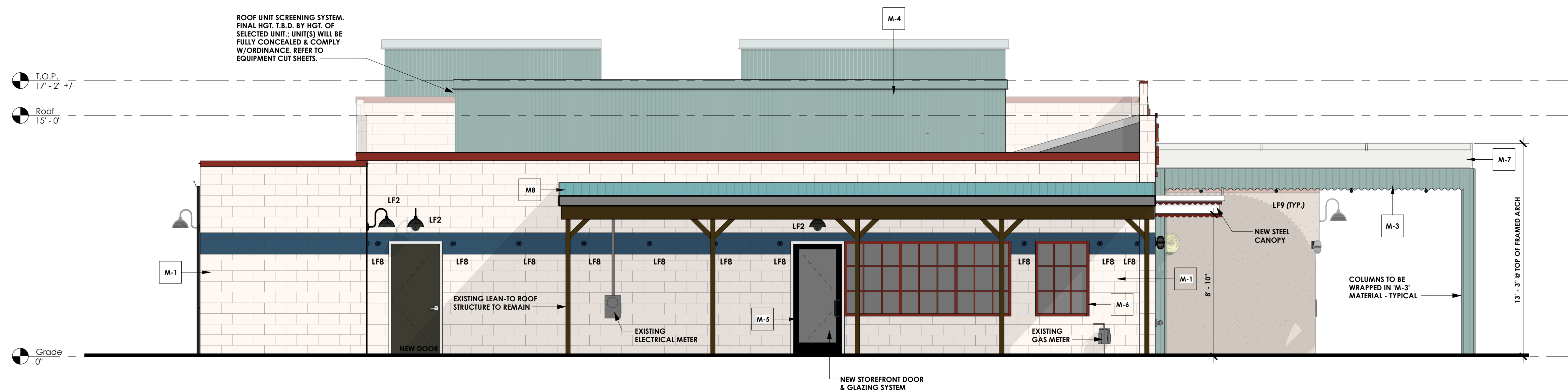
							
<p><b>Roof Panel 'M-8'</b></p> <p>Make: Suntuf</p> <p>Model: 26" x 6' Polycarbonate Roof Panel</p> <p>Material: Corrugated Polycarbonate</p> <p>Finish/Color: Sea Green</p>	<p><b>Patio Cover 'M-7'</b></p> <p>Make: Sunbrella</p> <p>Model: Sunbrella Shade Collection</p> <p>Material: Sunbrella Acrylic</p> <p>Finish/Color: Natural Plus</p>	<p><b>Prefinished Aluminum 'M-6'</b></p> <p>Make: Overhead Doors, Window Frames/Mullions</p> <p>Model: T.B.D.</p> <p>Material: Prefinished Aluminum</p> <p>Finish/Color: Red Oxide</p>	<p><b>Prefinished Aluminum 'M-5'</b></p> <p>Make: Doors</p> <p>Model: T.B.D.</p> <p>Material: Prefinished Aluminum</p> <p>Finish/Color: Doors-Black &amp; Door Frames-Clear Anodized</p>	<p><b>Corrugated Metal Panel 'M-4'</b></p> <p>Make: T.B.D.</p> <p>Model: T.B.D.</p> <p>Material: Corrugated Metal Panel</p> <p>Finish/Color: Paint - Reflecting Pool (SW 6486)</p>	<p><b>Fiber Cement Board 'M-3'</b></p> <p>Make: Foundry Service &amp; Supplies</p> <p>Model: Cembrit C5</p> <p>Material: Fiber Cement Board</p> <p>Finish/Color: Paint - Aquaverde (SW 9051)</p>	<p><b>Plaster 'M-2'</b></p> <p>Make: T.B.D.</p> <p>Model: T.B.D.</p> <p>Material: Plaster</p> <p>Finish/Color: Paint - Roman Column (SW 7562)</p>	<p><b>Concrete Masonry Unit 'M-1'</b></p> <p>Make: Existing to remain &amp; new to match existing</p> <p>Model: Existing to remain</p> <p>Material: Concrete Masonry Unit</p> <p>Finish/Color: Paint - Roman Column &amp; Danube (Accent)</p>





---

1/4" = 1'-0"


$$1/4'' = 1'-0''$$

A small, round, red ceiling-mounted light fixture with a clear glass globe and a visible filament bulb.	A circular, wall-mounted light fixture with a clear glass globe and a visible filament bulb, mounted on a white wall.	A large, round, yellow wall-mounted light fixture with a green base and a visible filament bulb.	A square, wall-mounted light fixture with a clear glass globe and a visible filament bulb, mounted on a white wall.	A small, round, white wall-mounted light fixture with a black base and a visible filament bulb.	A large, round, black wall-mounted light fixture with a black base and a visible filament bulb.	A large, round, black wall-mounted light fixture with a black base and a visible filament bulb.
<p><b>Ceiling Mounted Light Fixture 'LF9'</b></p> <p>Make: Commune Design Model: Commune Light Socket Material: Porcelain Finish/Color: Red</p>	<p><b>Wall Mounted Light Fixture 'LF8'</b></p> <p>Make: Bocci Model: 14s Surface Light Material: Cast Glass &amp; Metal Mounting Plate Finish/Color: Seamed Glass/White Powder Coated Plate</p>	<p><b>Wall Mounted Light Fixture 'LF7'</b></p> <p>Make: Guzzini Model: Space Age Green Vintage Globe Wall Lamp Material: Cast Aluminum &amp; Plastic Finish/Color: Green</p>	<p><b>Wall Mounted Light Fixture 'LF6'</b></p> <p>Make: Lithonia Lighting Model: LDN6 (6" LED Round Downlight) Material: Matte Diffuse Reflector Trim Color: Clear</p>	<p><b>Wall Mounted Light Fixture 'LF3'</b></p> <p>Make: Lightology Model: Capsule Outdoor Wall Light Material: Glass - Frosted Finish/Color: Matte Black / Textured Gold / Glass - Opal</p>	<p><b>Wall Mounted Light Fixture 'LF2'</b></p> <p>Make: Lightology Model: Foundary 12" Dome Shade Hook Arm Wall Light Material: Aluminum Finish/Color: Textured Black</p>	<p><b>Wall Mounted Light Fixture 'LF1'</b></p> <p>Make: Lightology Model: Foundary 14" Dome Shade Hook Arm Wall Light Material: Aluminum Finish/Color: Museum Bronze</p>

**NOTE: FIXTURES L4 & L5 ARE NOT IDENTIFIED ON ELEVATIONS. REFER TO SITE LIGHTING PHOTOMETRIC PLAN.**







# **LINCOLN YARD**

**2159 E. LINCOLN AVE.**

**ROOFTOP EQUIPMENT CUT SHEETS**



# COOK

EF-1  
EF-2  
100 lbs

## ACED-EC

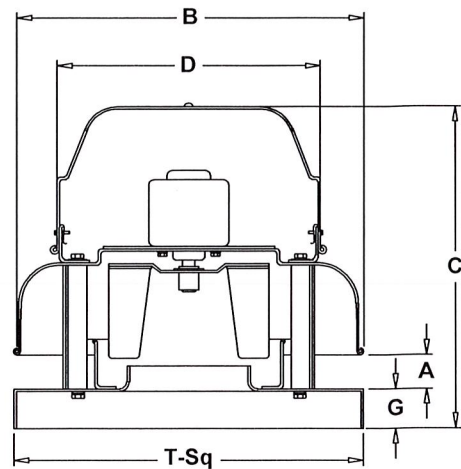
90C17DEC

Downblast Centrifugal

Exhaust Ventilator

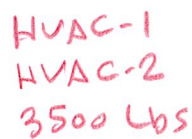
Roof Mounted/Direct Drive

Electronically Commutated Vari-Flow® Motor

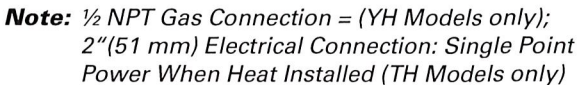


Dimensions are in inches.

A	2-1/2
B O.D.	18-3/4
C	16-13/16
D O.D.	16-3/4
G	2
T Sq.	18
Roof Open. Sq.*	13-1/2



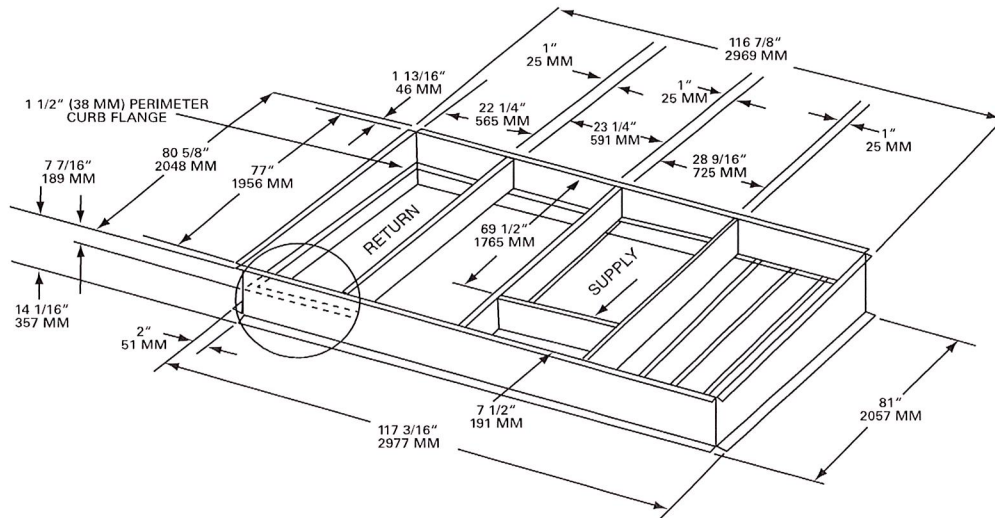
**Figure 11. Cooling with optional electric heat and gas/electric models—15–25 tons high efficiency**



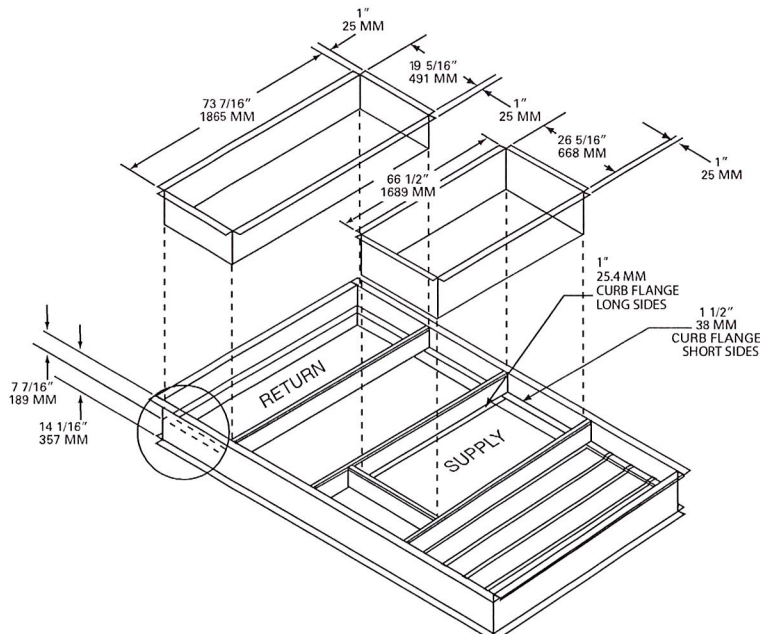
Isometric view of the horizontal unit showing clearance requirements:

- CLEARANCE 48" (1219 MM)
- CLEARANCE 60" (1524 MM)
- CLEARANCE 72" (1829 MM)
- CLEARANCE 18" (457 MM)
- 26 1/2" (673 MM)
- 24 1/16" (611 MM)
- 27 9/16" (700 MM)
- 2" (51 MM)
- 46 7/16" (1180 MM)
- 3 15/16" (100 MM)
- CLEARANCE 38" (965 MM)
- SUPPLY
- RETURN
- FILTER ACCESS DOOR HORIZONTAL UNITS ONLY
- HORIZONTAL CONDENSATE DRAIN CONNECTION 1.0 IN. NPT

**Figure 13. Cooling with optional electric heat and gas/electric models—15–25 tons standard efficiency, 12½–25 tons high efficiency—roof curb**



**Figure 14. Cooling with optional electric heat and gas/electric models—15–25 tons standard efficiency, 12½–25 tons high efficiency—downflow duct connections—field fabricated**



**Notes:**

- Duct flanges mount 7-7/16" down inside the curb on the 1-1/2" curb flanges.
- Roofcurb is intended for downflow use only.

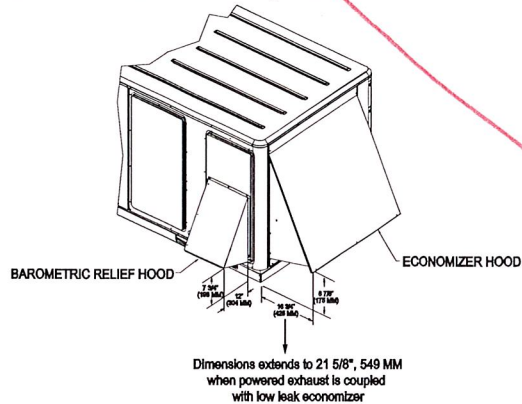
HVAC-3  
2500 Lbs



## Dimensional Data

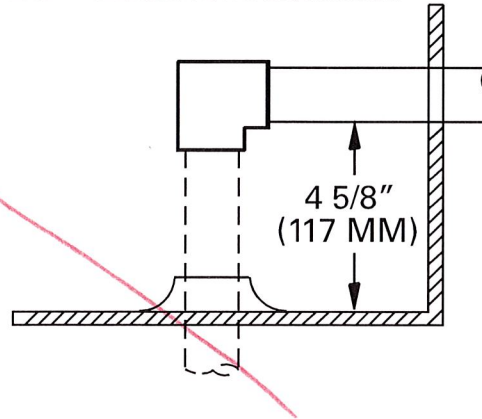
**Figure 28. Cooling and gas/electric - 6 to 10 tons standard efficiency, 4 to 6 tons high efficiency, 7½ to 8½ tons high efficiency; economizer, manual or motorized fresh air damper**

Note: All dimensions are in inches/millimeters.



**Figure 29. Gas/electric - 6 to 10 tons standard efficiency, 4 to 6 tons high efficiency, 7½ to 8½ tons high efficiency; height of gas pipe required from inside base of unit to gas shut off assembly (factory provided) - Y\_C models only**

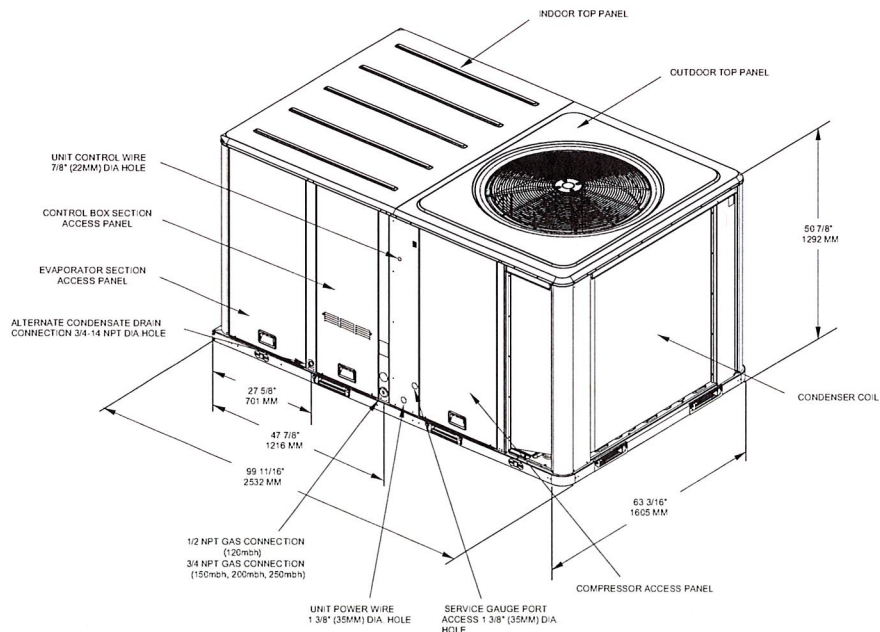
Note: All dimensions are in inches/millimeters.



**Figure 30. Cooling and gas/electric - 10 tons high efficiency**

**Notes:**

1. All dimensions are in inches/millimeters.
2. ½ or ¾ NPT Gas Connection = (Y\_C Models only); 2" Electrical Connection: Single Point Power When Heat Installed (T\_C Models only.)



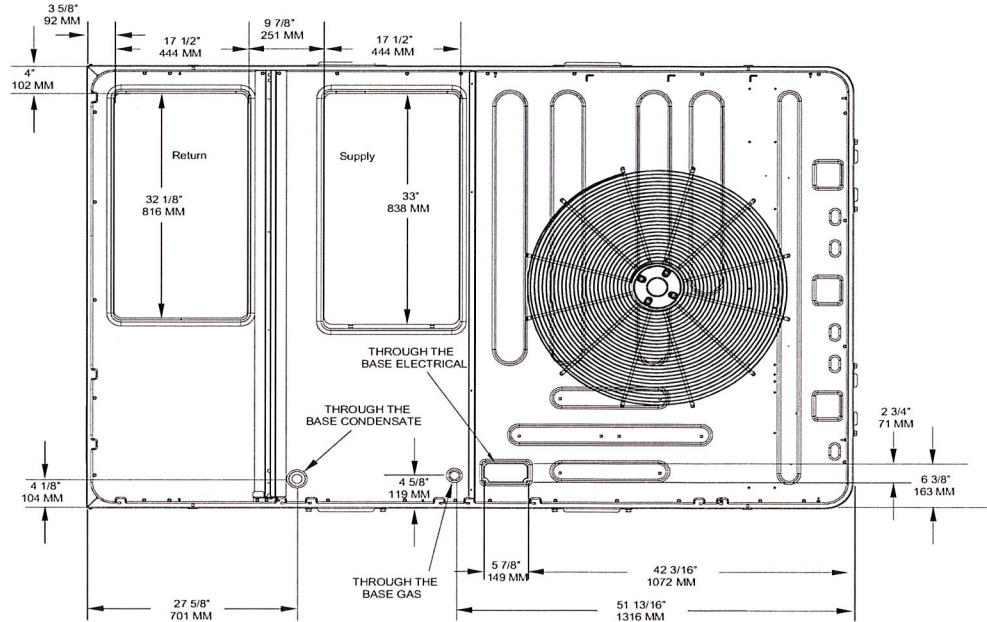


## Dimensional Data

**Figure 31. Cooling and gas/electric - 10 tons high efficiency; downflow airflow supply/return, through-the-base utilities**

**Notes:**

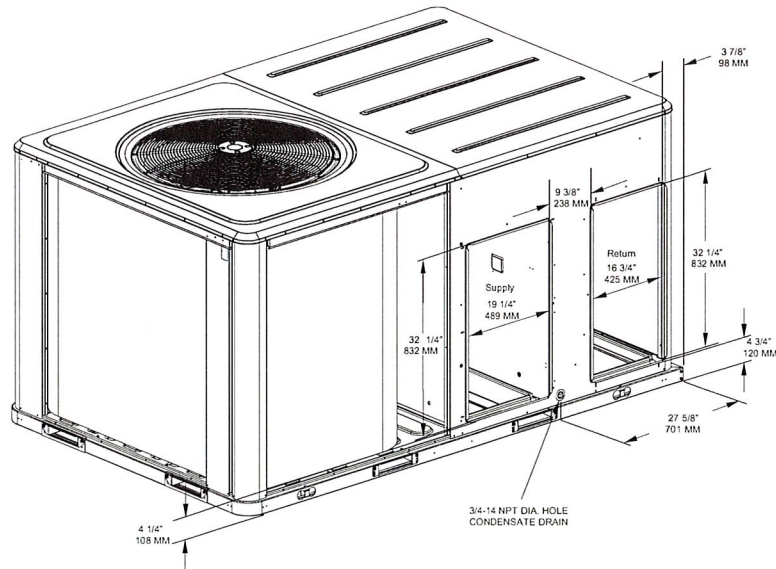
1. All dimensions are in inches/millimeters.
2.  $\frac{1}{2}$  or  $\frac{3}{4}$  NPT Gas Connection = (Y\_C Models only); 2" Electrical Connection: Single Point Power When Heat Installed (T\_C Models only.)



**Figure 32. Cooling and gas/electric - 10 tons high efficiency; horizontal airflow supply/return**

**Notes:**

1. All dimensions are in inches/millimeters.
2.  $\frac{1}{2}$  or  $\frac{3}{4}$  NPT Gas Connection = (Y\_C Models only); 2" Electrical Connection: Single Point Power When Heat Installed (T\_C Models only.)



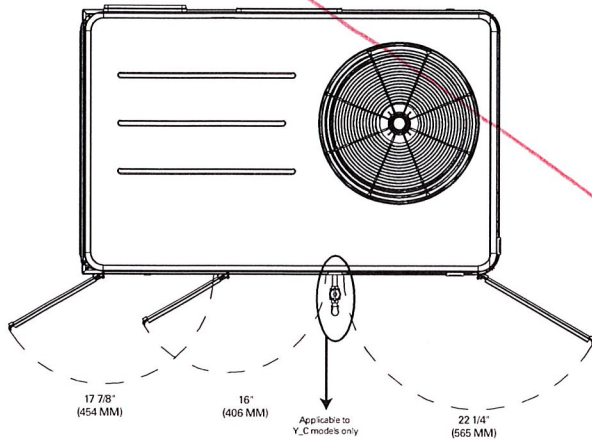
HVAC-4  
1750 LBS



## Dimensional Data

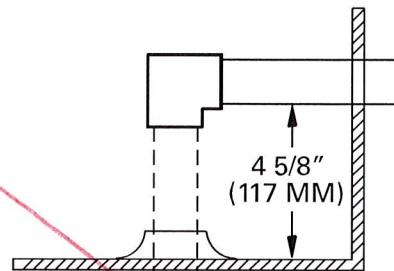
**Figure 10. Cooling and gas/electric models - 3 to 5 tons standard efficiency, 3 tons high efficiency, swing diameter for hinged door(s) option**

Note: All dimensions are in inches/millimeters.



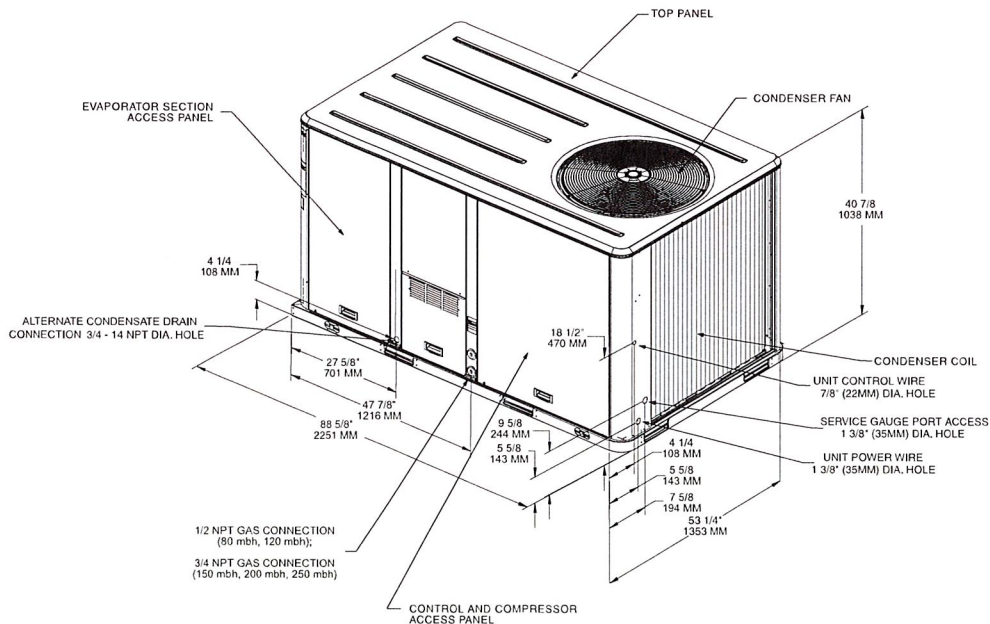
**Figure 11. Gas/electric models - 3 to 5 tons standard efficiency, 3 tons high efficiency height of gas pipe required from inside base of unit to gas shut off assembly (factory provided) - Y\_C models only**

Note: All dimensions are in inches/millimeters.



**Figure 12. Cooling and gas/electric - 6, 7½ (single) tons standard efficiency, 4 to 5 tons high efficiency**

Note: All dimensions are in inches/millimeters.







## Dimensional Data

Figure 13. Cooling and gas/electric - 6, 7½ (single) tons standard efficiency, 4 to 5 tons high efficiency downflow airflow supply/return - through-the-base utilities

Note: All dimensions are in inches/millimeters.

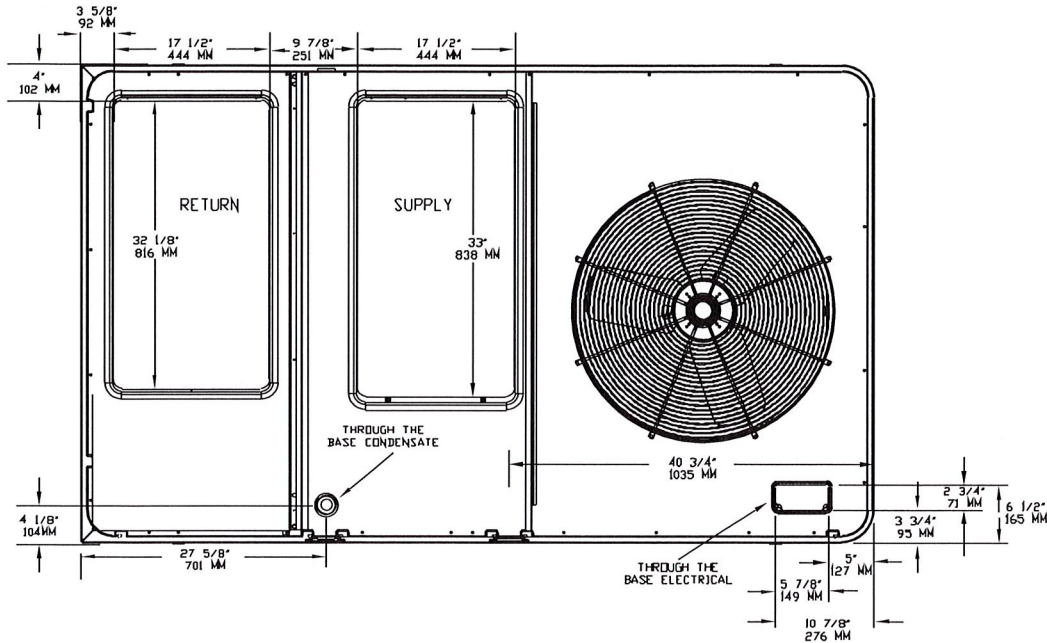
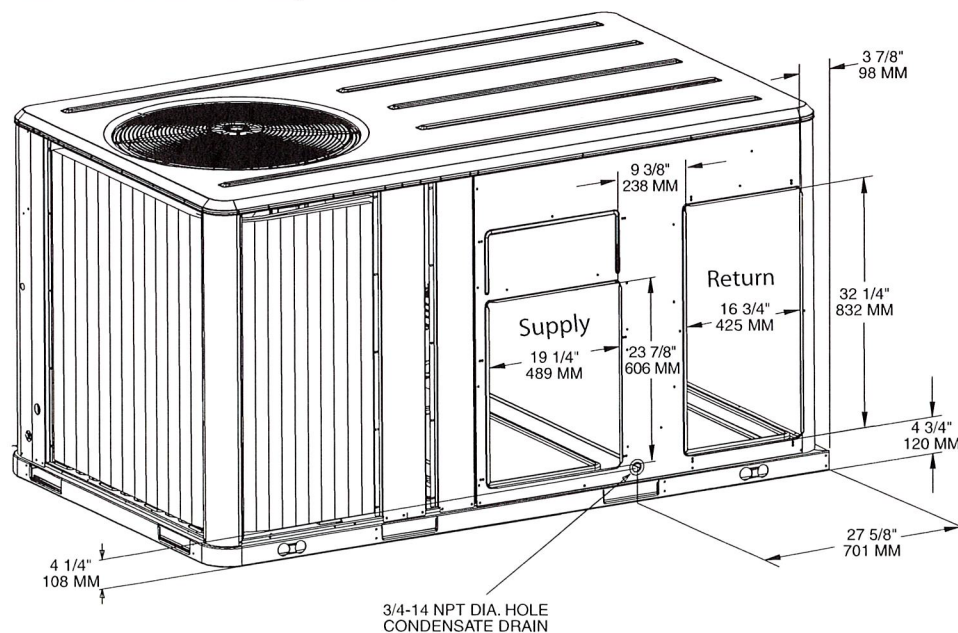


Figure 14. Cooling and gas/electric - 6, 7½ (single) tons standard efficiency, 4-5 tons high efficiency horizontal airflow supply and return

Note: All dimensions are in inches/millimeters.





# URC(-F)/SRC/SRK(-H/-J)

## REMOTE CONDENSER SERIES



URC(-F)/SRC/SRK(-H/-J)  
07/05/19  
Item # 13084

Ice Machines		Shipping Weight	Line Sets - PRE-CHARGED		
			20' Length	35' Length	55' Length
URC-5F	KM-520MRJ, KM-660MRJ, KMD-530MRJ, FD-650MRJ-C, F-1002MRJ, FD-1002MRJ-C	60 Lbs.	R404-2046-2	R404-3546-2	N/A
URC-9F	KML-700MRJ, KMD-860MRJ,	95 Lbs.	R404-2068-2	R404-3568-2	R404-5568-2
URC-14F	KM-901MRJ(3), KM-1100MRJ, KM-1301SRJ(3), KM-1340MRJ(3) F-1501MRJ(-C)	110 Lbs.	R404-2068-2	R404-3568-2	R404-5568-2
URC-22F	KM-1601MRJ(3), KM-1601SRJ(3), KM-1900SRJ(3) KM-2200SRJ3, KMH-2100SRJ(3), F-2001MRJ(3)(-C)	165 Lbs.	R404-20610	R404-35610	R404-55610
URC-26J	KM-2600SRJ3	273 Lbs.	R404-20610	R404-35610	R404-55610

			Line Sets - BRAZING REQUIRED		
			25' Length	35' Length	55' Length
SRC-10J	FS-1001MLJ-C, FS-1022MLJ-C	210 Lbs.	HS-5299*	HS-5300*	HS-5301*
SRC-14J	FS-1500MLJ-C	235 Lbs.	HS-5323*	HS-5324*	HS-5325*
SRK-10J	KMS-822MLJ, KMS-830MLJ	226 Lbs.	HS-0250*	HS-0251*	HS-0252*
SRK-12J SRK-12J3	KMS-1122MLJ	275 Lbs.	HS-0250*	HS-0251*	HS-0252*
SRK-15J SRK-15J3	KMS-1402MLJ	275 Lbs.	HS-0250*	HS-0251*	HS-0252*
SRK-20J SRK-20J3	KMS-2000MLJ	325 Lbs.	HS-0243*	HS-0244*	HS-0245*

\* Line sets require Refrigerant



URC-9F



SRK-15J

- Remote condensers for KM Series Cubers and F Series Flakers / Cubelets
- Quiet operation
- Improved efficiency; Energy savings
- Weather resistant cabinet for longer life
- May be installed outdoors up to 55 feet from icemaker using a pre-charged tubing kit
- For installations exceeding 55 feet, contact Factory Service Department

### Warranty

Valid in United States, Canada, Puerto Rico, & U.S. Territories.  
Contact factory for warranty in other countries

When used with KM Series Cubers:

**Three Year** - Parts & Labor on entire unit.

**Five Year** - Parts on; air-cooled condenser coil.

**Five Year** - Parts on; SRK Compressor

When used with F Series Flakers:

**Three Year** - Parts & Labor on entire unit.

**Five Year** - Parts on; air-cooled condenser coil.

**Five Year** - Parts on; SRC Compressor

*Hoshizaki reserves the right to change specifications without notice.*





# URC(-F)/SRC/SRK(-H/-J)

## REMOTE CONDENSER SERIES



URC(-F)/SRC/SRK(-H/-J)  
07/05/19  
Item # 13084

### Electrical & Operating Limits

#### URC-5F / URC-9F / URC-14F / URC-22F / URC-26J

- 115V/60/1 (Connection to icemaker)
- Ambient Temp Range -20° - 122°F
- Voltage Range 104 - 127V

#### SRK-10J / SRK-12J(3) / SRK-15J(3) / SRK-20J(3)

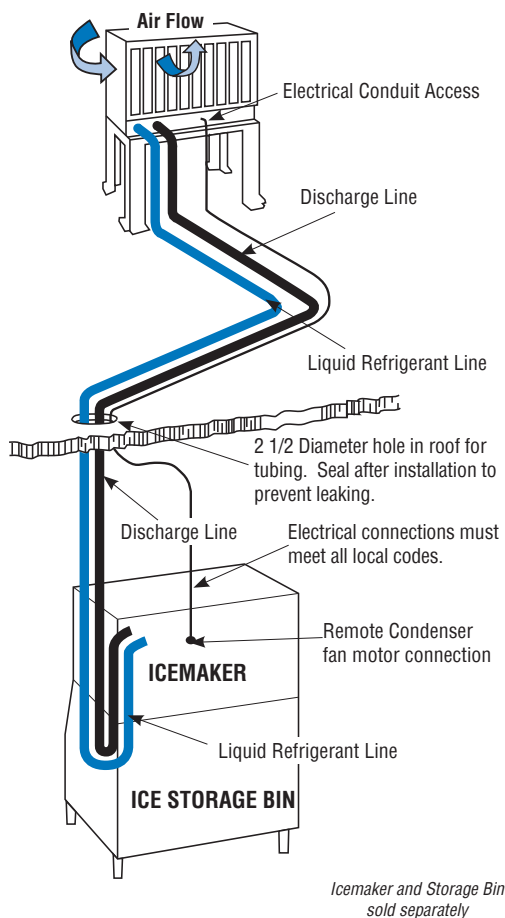
- 208-230V/60/1 (Connection to icemaker)
- 208-230V/60/3 (Connection to icemaker)
- Ambient Temp Range -20° - 122°F
- Voltage Range 187 - 253V

#### SRC-10J / SRC-14J

- 208-230V/60/1 (Connection to icemaker)
- Ambient Temp Range -4° - 122°F
- Voltage Range 187 - 253V

### REMOTE CONDENSER INSTALLATION ON ROOF

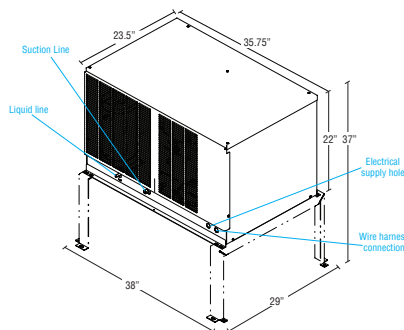
For best performance allow 24 inch clearance for air circulation. Remote condenser should not be more than 33 feet above the KM Icemaker or no more than 10 feet below it. These distances are measured from fitting to fitting.



#### Tubing Kits

(Sold Separately)

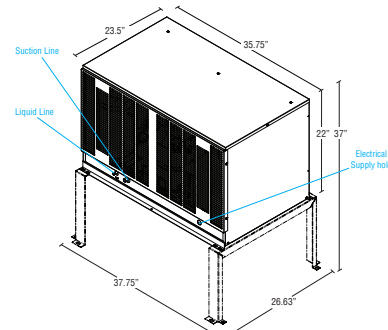
Refer to SPECIFICATIONS table to determine appropriate Tubing Kit Number for Remote Condenser Unit Specified.



#### SRC-10J / SRK-10J

35<sup>3</sup>/<sub>4</sub> x 23<sup>1</sup>/<sub>2</sub> x 37

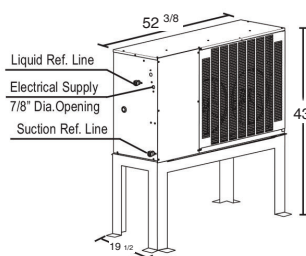
W x D x H (including legs/feet)



#### SRC-14J

37<sup>3</sup>/<sub>4</sub> x 26<sup>5</sup>/<sub>8</sub> x 37

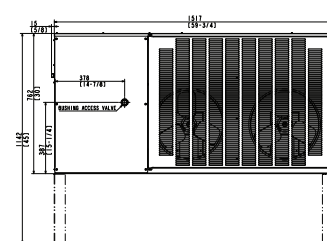
W x D x H (including legs/feet)



#### SRK-12J(3) / SRK-15J(3)

52<sup>3</sup>/<sub>8</sub> x 19<sup>1</sup>/<sub>2</sub> x 43

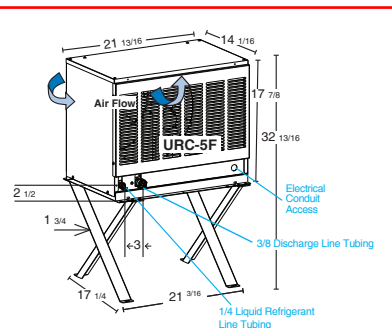
W x D x H (including legs/feet)



#### SRK-20J(3)

62 X 21 X 45

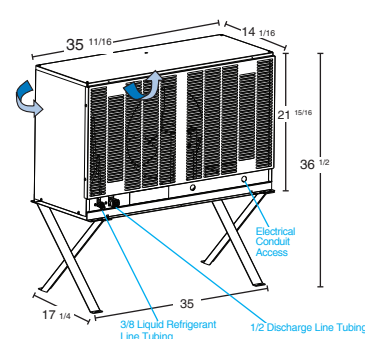
W x D x H (including legs/feet)



#### URC-5F

21<sup>13</sup>/<sub>16</sub> x 14<sup>1</sup>/<sub>16</sub> x 32<sup>13</sup>/<sub>16</sub>

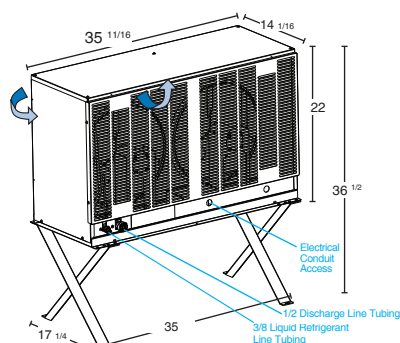
W x D x H (including legs/feet)



#### URC-9F

35<sup>11</sup>/<sub>16</sub> x 14<sup>1</sup>/<sub>16</sub> x 36<sup>1</sup>/<sub>2</sub>

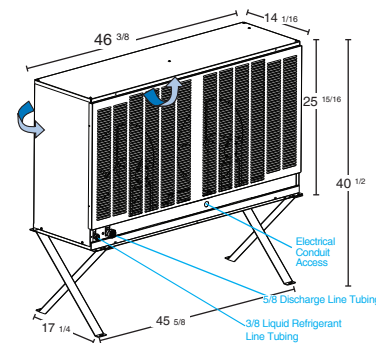
W x D x H



#### URC-14F

35<sup>11</sup>/<sub>16</sub> x 14<sup>1</sup>/<sub>16</sub> x 36<sup>1</sup>/<sub>2</sub>

W x D x H (including legs/feet)



#### URC-22F / URC-26J

46<sup>3</sup>/<sub>8</sub> x 14<sup>1</sup>/<sub>16</sub> x 40<sup>1</sup>/<sub>2</sub>

W x D x H (including legs/feet)

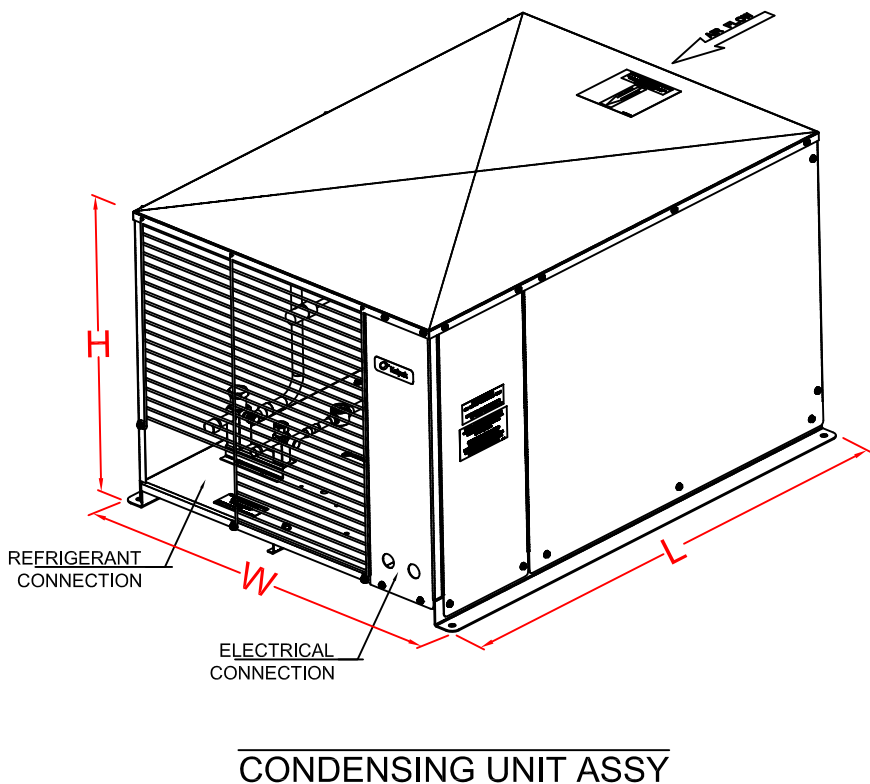
Discharge and liquid refrigerant lines dimensions refer to the line set tubing.



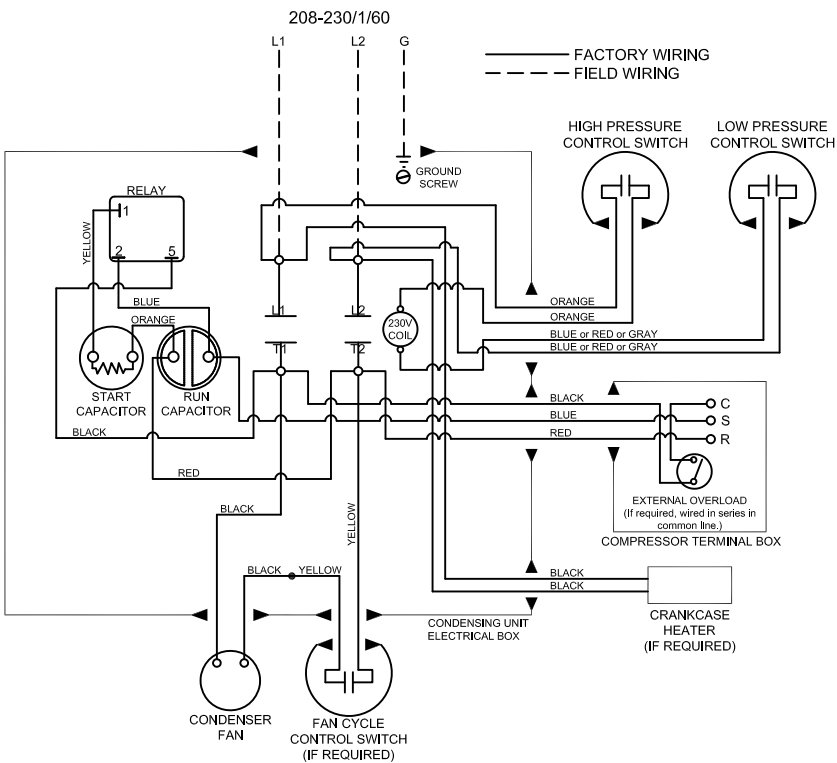
# KOLPAK®

## A Welbilt Brand

2915 Tennessee Avenue North, Parsons, TN 38363  
(731) 847-6361\*(800) 826-7036\*



CONNECT INCOMING POWER LEADS FROM DISCONNECT SWITCH TO L1, AND L2, CONSISTANT WITH NAMEPLATE VOLTAGE AND FREQUENCY. USE COPPER CONDUCTORS ONLY.



WIRING DIAGRAM 208-230/1/60

### PC149MOP-2EP AIR COOLED CONDENSING UNIT

#### GENERAL INFORMATION

Refrigerant	Voltage	Ph	Hz	Compressor Type	Compressor Model	HP	Total Heat Rejected BTUH	Cond Unit BTUH
R404A	208-230	1	60	Hermetic	CF04K6E	1.5	23,780	14,700 @ 25°F SST

#### PHYSICAL DIMENSIONS & WEIGHT DATA

GPM (85° Ent Water Temp)	Pressure Drop (psig)	Max. Water Press (psig)	Length (L)	Width (W)	Height (H)	Ship Weight (lbs.)
N/A	N/A	N/A	33.0"	25.5"	19.25"	163

#### CONDENSING UNIT ELECTRICAL DATA

Compressor RLA	Compressor LRA	Cond Fan Mtr FLA	Total Cond Unit Amps	MCA	MOPD (Max Fuse)
9.6	59.2	1.1	10.9	13.3	20

#### CONNECTION SIZES

Suction Line	Liquid Line
7/8" OD	3/8" OD

#### ITEMS SERVED

Item Number(s)	Description

#### ITEMS PROVIDED INCLUDE:

1. Air Cooled Condensers
2. PSC Cond Fan Motors
3. Liquid Line Sight Glass
4. Liquid Line Filter Drier
5. Head Pressure Control Valve
6. Hermetic Compressors-Copeland
7. Crankcase Heaters-230V
8. Hi/Lo Pressure Controls
9. Outdoor Housing-Galvanized Steel



HOOD INFORMATION -- Job#3949201

HOOD NO.	TAG	MODEL	LENGTH	MAX. COOKING TEMP.	APPLIANCE DUTY	DESIGN CFM/ft	TOTAL EXH. CFM	EXHAUST PLENUM							TOTAL SUPPLY CFM	HOOD CONSTRUCTION	HOOD CONFIG.	
								RISER(S)									END TO END	ROW
								WIDTH	LENG.	HEIGHT	DIA.	CFM	VEL.	S.P.				
1	V1	6024 PK-ND-2 Q-SB-F	13' 11"	600 Deg.	Heavy	251	3500			4"	14"	1750	1637	-0.404"	2675	430 SS Where Exposed	LEFT	ALONE
2	V1	6024 PK-ND-2 Q-SB-F	8' 5"	600 Deg.	Heavy	202	1700			4"	14"	1700	1590	-0.311"	1725	430 SS Where Exposed	RIGHT	ALONE

HOOD INFORMATION

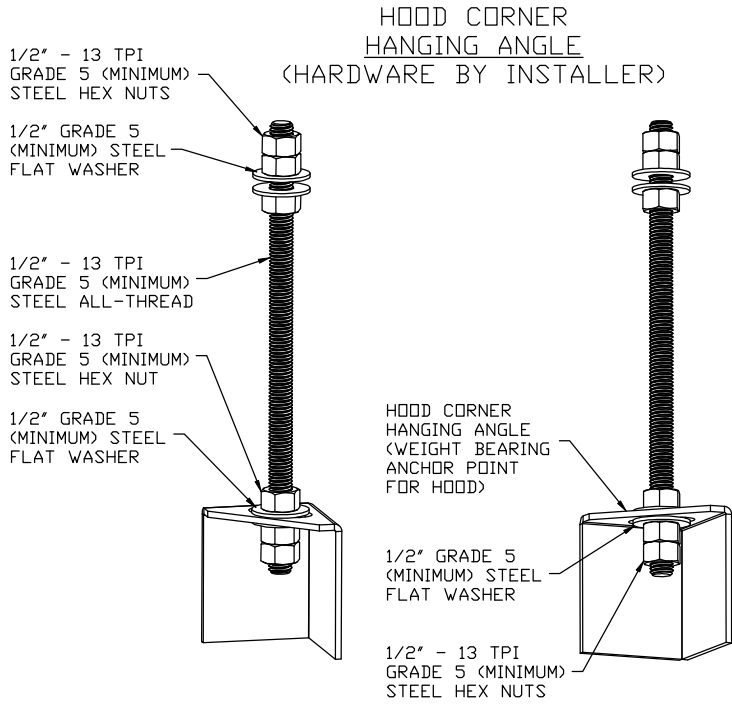
HOOD NO.	TAG	FILTER(S)					LIGHT(S)			UTILITY CABINET(S)					FIRE SYSTEM PIPING	HOOD HANGING W/GHT	
		TYPE	QTY.	HEIGHT	LENGTH	EFFICIENCY @ 7 MICRONS	QTY.	TYPE	WIRE GUARD	LOCATION	SIZE	FIRE SYSTEM		ELECTRICAL			SWITCHES
												TYPE	SIZE	MODEL #			QUANTITY
1	V1	SS Baffle with Handles	10	20"	16"	30%	4	L55 Series E26	NO						NO	639 LBS	
2	V1	SS Baffle with Handles	6	20"	16"	30%	3	L55 Series E26	NO	Right	12"x60"x24"			SC-331110FP	1 Light 1 Fan	NO	626 LBS

HOOD OPTIONS

HOOD NO.	TAG	OPTION			
1	V1	BACKSPLASH	80.00"	High	X 281.00" Long 430 SS Vertical
		LEFT SIDESPLASH	80.00"	High	X 60.00" Long 430 SS Vertical
		LEFT END STANDOFF (FINISHED)	1"	Wide	60" Long Insulated
2	V1	RIGHT VERTICAL END PANEL	27"	Top Width,	21" Bottom Width, 80" High Insulated 430 SS

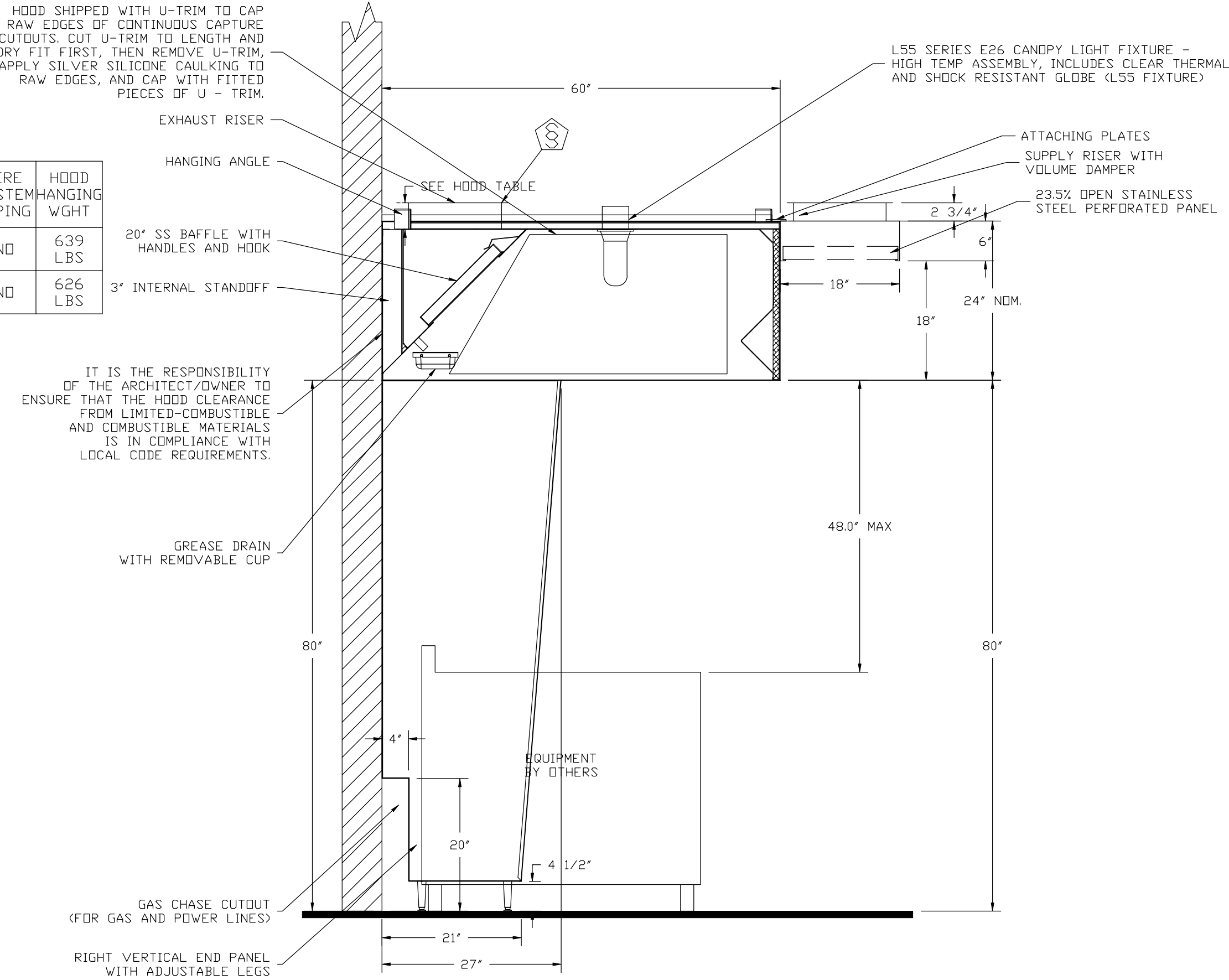
PERFORATED SUPPLY PLENUM(S)

HOOD NO.	TAG	POS.	LENGTH	WIDTH	HEIGHT	TYPE	RISER(S)			
							WIDTH	LENG.	DIA.	CFM
1	V1	Front	168"	18"	6"	MUA	12"	20"		667
						MUA	12"	20"		0.237"
						MUA	12"	20"		667
						MUA	12"	20"		0.237"
						MUA	12"	20"		667
2	V1	Front	113"	18"	6"	MUA	12"	28"		862
						MUA	12"	28"		0.237"
						MUA	12"	28"		862



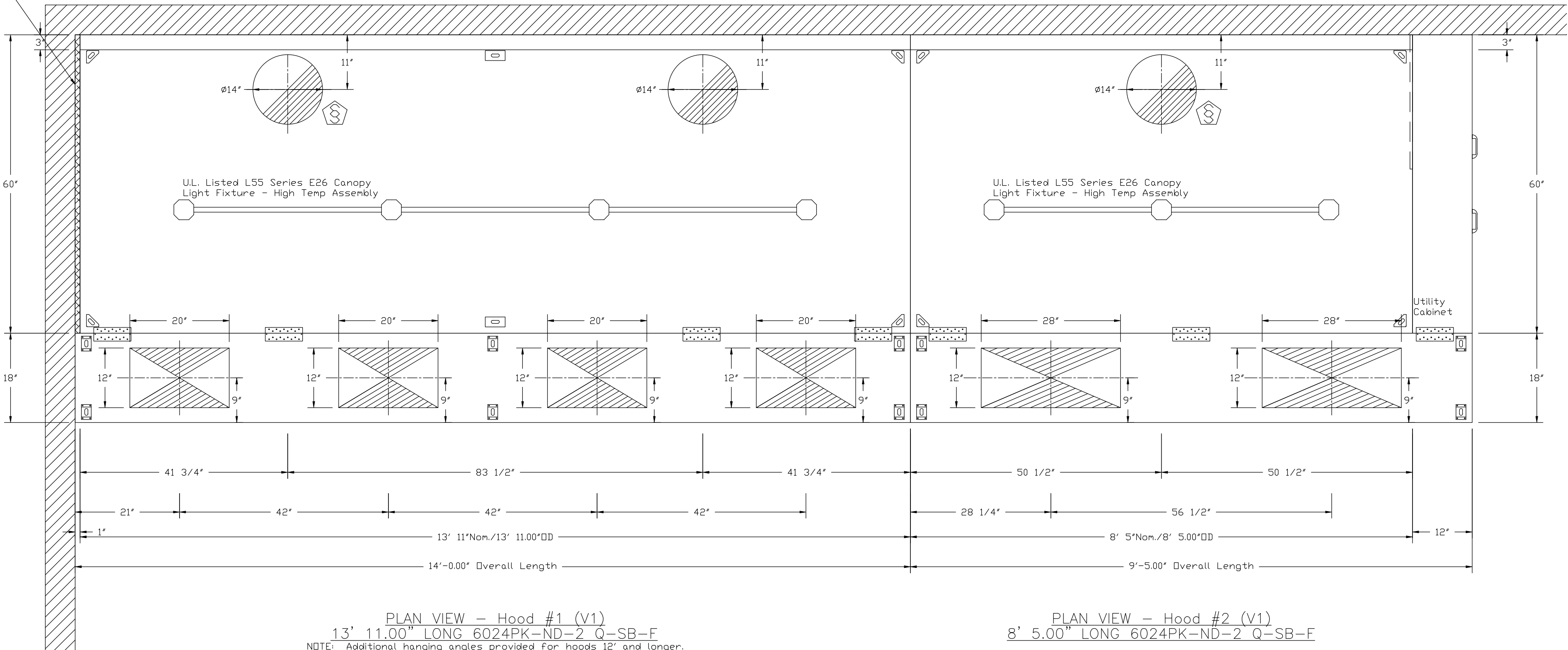
ASSEMBLY INSTRUCTIONS

HANGING ANGLE MUST BE SUPPORTED WITH 1/2" - 13 TPI GRADE 5 (MINIMUM) ALL-THREAD. SANDWICH HANGING ANGLES AND CEILING ANCHOR POINTS WITH 1/2" GRADE 5 (MINIMUM) STEEL FLAT WASHERS AND 1/2" - 13 TPI GRADE 5 (MINIMUM) HEX NUTS AS SHOWN. MUST USE DOUBLED HEX NUT CONFIGURATION BENEATH HOOD HANGING ANGLES AND ABOVE CEILING ANCHORS. MAINTAIN 1/4" OF EXPOSED THREADS BENEATH BOTTOM HEX NUT. TORQUE ALL HEX NUTS TO 57 FT-LBS.



SECTION VIEW -- MODEL 6024PK-ND-2 Q-SB-F  
HOOD -- #2 (V1)

1" LAYER OF INSULATION  
FACTORY INSTALLED IN  
1.00" END STANDOFF MEETS  
0" REQUIREMENTS CLEARANCE  
TO COMBUSTIBLE SURFACES.



Continuous Capture	
Hood No.	Location
1	Right
2	Left

REVISIONS

DESCRIPTION	DATE:

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Michigan Office

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Lincoln Yard  
BIRMINGHAM, MI, 48012

DATE: 8/19/2019  
DWG.#: 3949201  
DRAWN BY: DKC  
SCALE: 3/4" = 1'-0"  
MASTER DRAWING

SHEET NO.  
1

EXHAUST FAN INFORMATION - Job#3949201

FAN UNIT NO.	TAG	FAN UNIT MODEL #	CFM	ESP.	RPM	H.P.	B.H.P.	Ø	VOLT	FLA	DISCHARGE VELOCITY	WEIGHT (LBS.)	SONES
1	V1	BDU15K	1750	0.750	1075	0.750	0.4090	3	208	2.5	554 FPM	122	10.8
2	V1	BDU15K	1750	0.750	1075	0.750	0.4090	3	208	2.5	554 FPM	122	10.8
3	V1	BDU15K	1700	0.750	1064	0.750	0.3960	3	208	2.5	538 FPM	122	10.4
5	V6	BDU13K	750	0.500	973	0.333	0.1720	1	115	5.8	285 FPM	99	6.7

### CONDENSER DETAILS

FAN UNIT NO.	TAG	FAN UNIT MODEL #	CONDENSER NO.	TONNAGE	VOLTAGE	PHASE	FREQUENCY	MCA	RLA	MAX. FUSE SIZE	MIN. WIRE SIZE	SEER
4	V1	K-A2-D.500-G15-MPU	1	5	208-230	3 PHASE	60 Hz	21.4 Amps	17.4 Amps	30 Amps	10 AWG	14
			2	5	208-230	3 PHASE	60 Hz	21.4 Amps	17.4 Amps	30 Amps	10 AWG	14

MUA FAN INFORMATION - Job#3949201

FAN UNIT NO.	TAG	FAN UNIT MODEL #	BLOWER	HOUSING	MIN CFM	DESIGN CFM	ESP.	RPM	H.P.	B.H.P.	Ø	VOLT	FLA	COOLING COIL ENTERING DB TEMP.	COOLING COIL ENTERING WB TEMP.	COOLING COIL LEAVING DB TEMP.	COOLING COIL LEAVING WB TEMP.	COOLING COIL TOTAL CAPACITY	COOLING COIL SENSIBLE CAPACITY	COOLING COIL LATENT CAPACITY	WEIGHT (LBS.)	SDNES	BURNER EFFICIENCY(%)
4	V1	K-A2-D.500-G15-MPU	G15-PB	A2-D.500	2500	4400	0.450	1138	5.000	3.4460	3	208	15.0	88.0°F	73.0°F	73.5°F	66.7°F	98.0 MBH	65.2 MBH	32.8 MBH	1785	23	92

GAS FIRED MAKE-UP AIR UNIT(S)

FAN UNIT NO.	TAG	INPUT BTUs	OUTPUT BTUs	TEMP. RISE	REQUIRED INPUT GAS PRESSURE	GAS TYPE
4	V1	386282	355379	80 deg F	7 in. w.c. - 14 in. w.c.	Natural

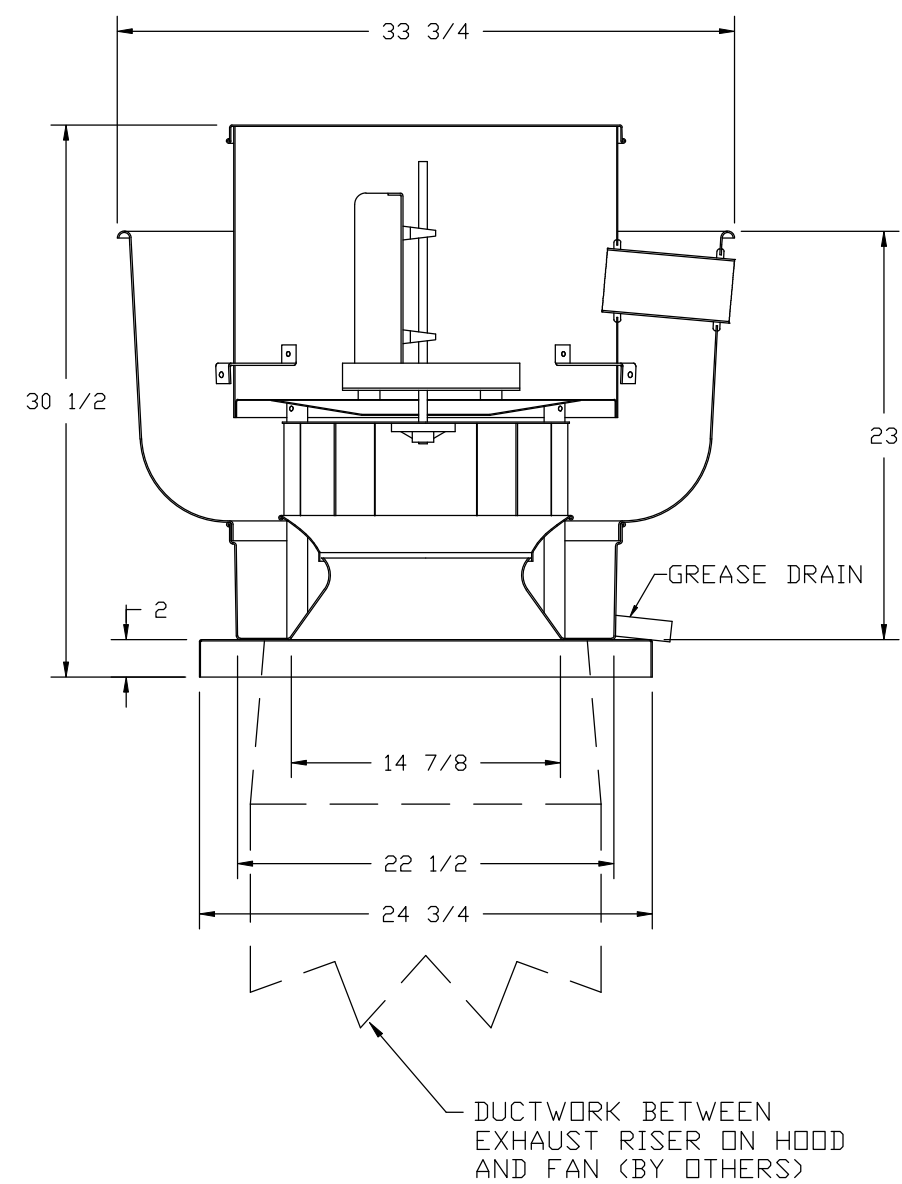
FAN OPTIONS

FAN UNIT NO.	TAG	OPTION (Qty. - Descr.)
1	V1	1 - Grease Box
2	V1	1 - Grease Box
3	V1	1 - Grease Box
4	V1	1 - AC Interlock Relay - 24VAC Coil
		1 - Motorized Backdraft Damper for A2-D Housing
		1 - Low Fire Start
		1 - Inlet Pressure Gauge, 0-35'
		1 - Manifold Pressure Gauge, -5 to 15' wc
		1 - 10 Ton 2 Circuit (5/5) Modular Packaged Cooling Option for Size 2 MUA <3,600 to 5,000 cfm>, 208V/230V, 3 phase. Cooling Thermostat or Programmable Stat Required for Proper Operation.
		1 - Downturn Plenum for Size 2 DX Coil Module
		1 - Cooling Thermostat and Relay (Not req for evap)
		1 - Separate 120V Wiring Package (Required and used only for DCV or Prewire with VFD) - Three Phase Only

## CURB ASSEMBLIES

NO.	ON FAN	TAG	WEIGHT	ITEM	SIZE			
1	# 1	V1	41 LBS	Curb	23.000"W x 23.000"L x 24.000"H	Vented	Hinged	
2	# 2	V1	41 LBS	Curb	23.000"W x 23.000"L x 24.000"H	Vented	Hinged	
3	# 3	V1	41 LBS	Curb	23.000"W x 23.000"L x 24.000"H	Vented	Hinged	
4	# 4	V1	172 LBS	Curb	31.000"W x 145.000"L x 20.000"H	Insulated		
5	# 5	V6	27 LBS	Curb	19.500"W x 19.500"L x 20.000"H	Vented		

FANS #1 (V1), #2 (V1), #3 (V1) - BDU15K EXHAUST FAN



### FEATURES:

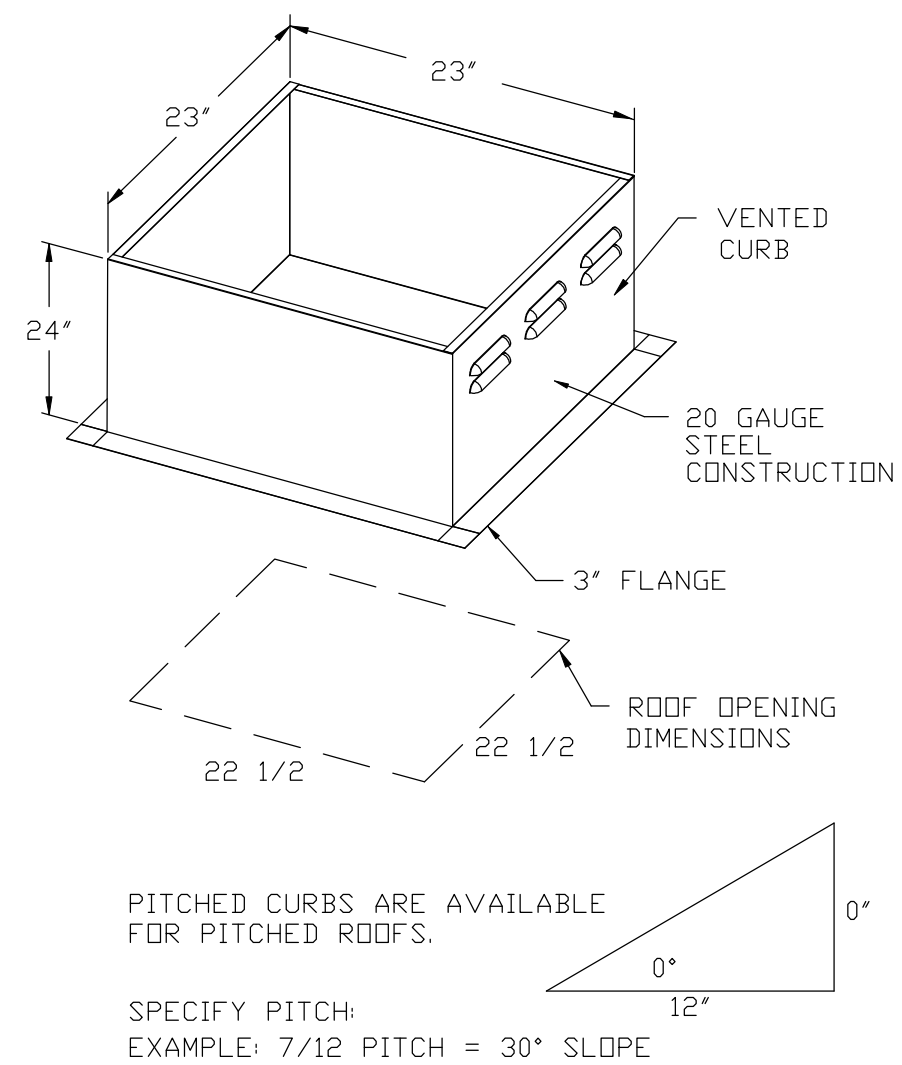
- ROOF MOUNTED FANS
- RESTAURANT MODEL
- UL705 AND UL762 AND ULC-S645
- AMCA SOUND AND AIR CERTIFIED
- WIRING FROM MOTOR TO DISCONNECT SWITCH
- WEATHERPROOF DISCONNECT
- HIGH HEAT OPERATION 300°F (149°C)
- GREASE CLASSIFICATION TESTING

NORMAL TEMPERATURE TEST  
EXHAUST FAN MUST OPERATE CONTINUOUSLY  
WHILE EXHAUSTING AIR AT 300°F (149°C)  
UNTIL ALL FAN PARTS HAVE REACHED  
THERMAL EQUILIBRIUM, AND WITHOUT ANY  
DETERIORATING EFFECTS TO THE FAN WHICH  
WOULD CAUSE UNSAFE OPERATION.

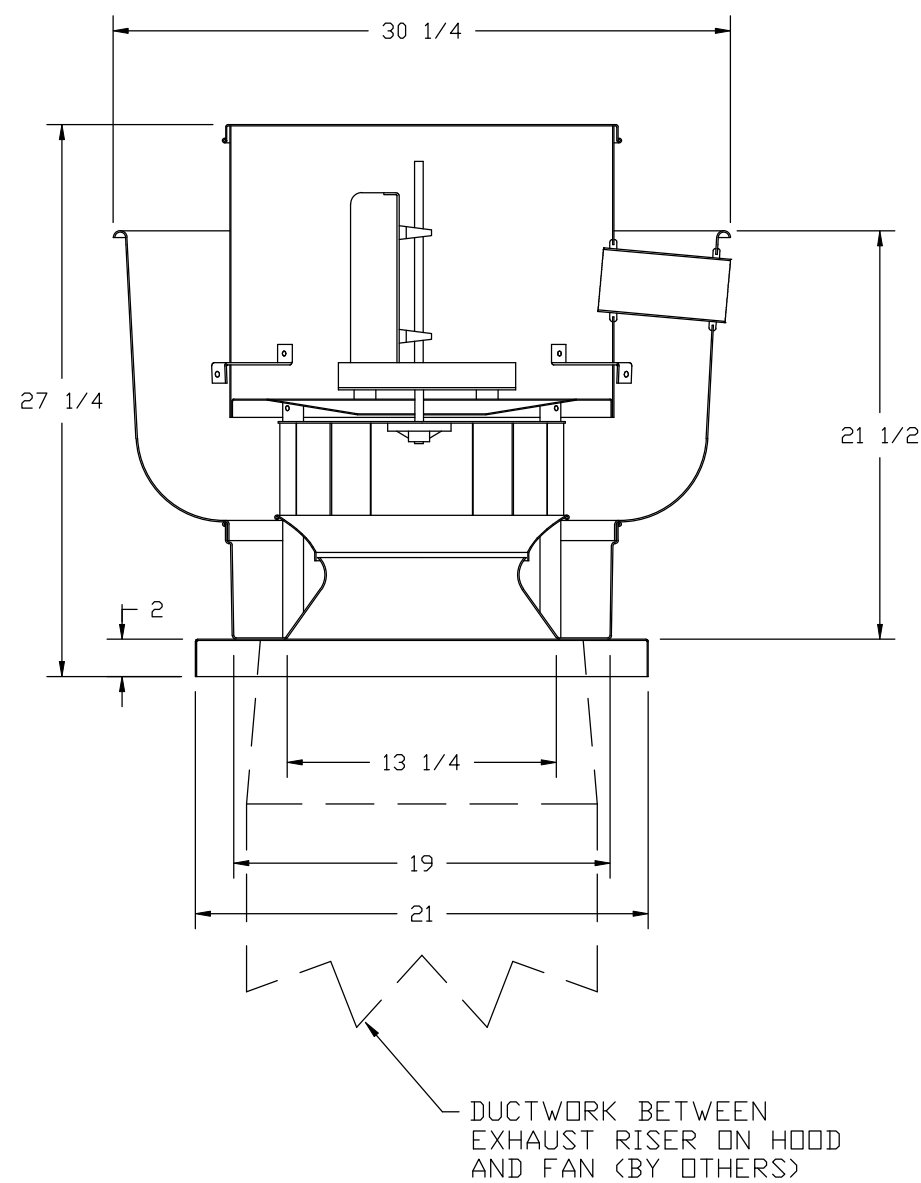
ABNORMAL FLARE-UP TEST  
EXHAUST FAN MUST OPERATE CONTINUOUSLY  
WHILE EXHAUSTING BURNING GREASE VAPORS  
AT 600°F (316°C) FOR A PERIOD OF  
15 MINUTES WITHOUT THE FAN BECOMING  
DAMAGED TO ANY EXTENT THAT COULD CAUSE  
AN UNSAFE CONDITION.

OPTIONS

GREASE BOX.



FAN #5 BDU13K - EXHAUST FAN (V6)

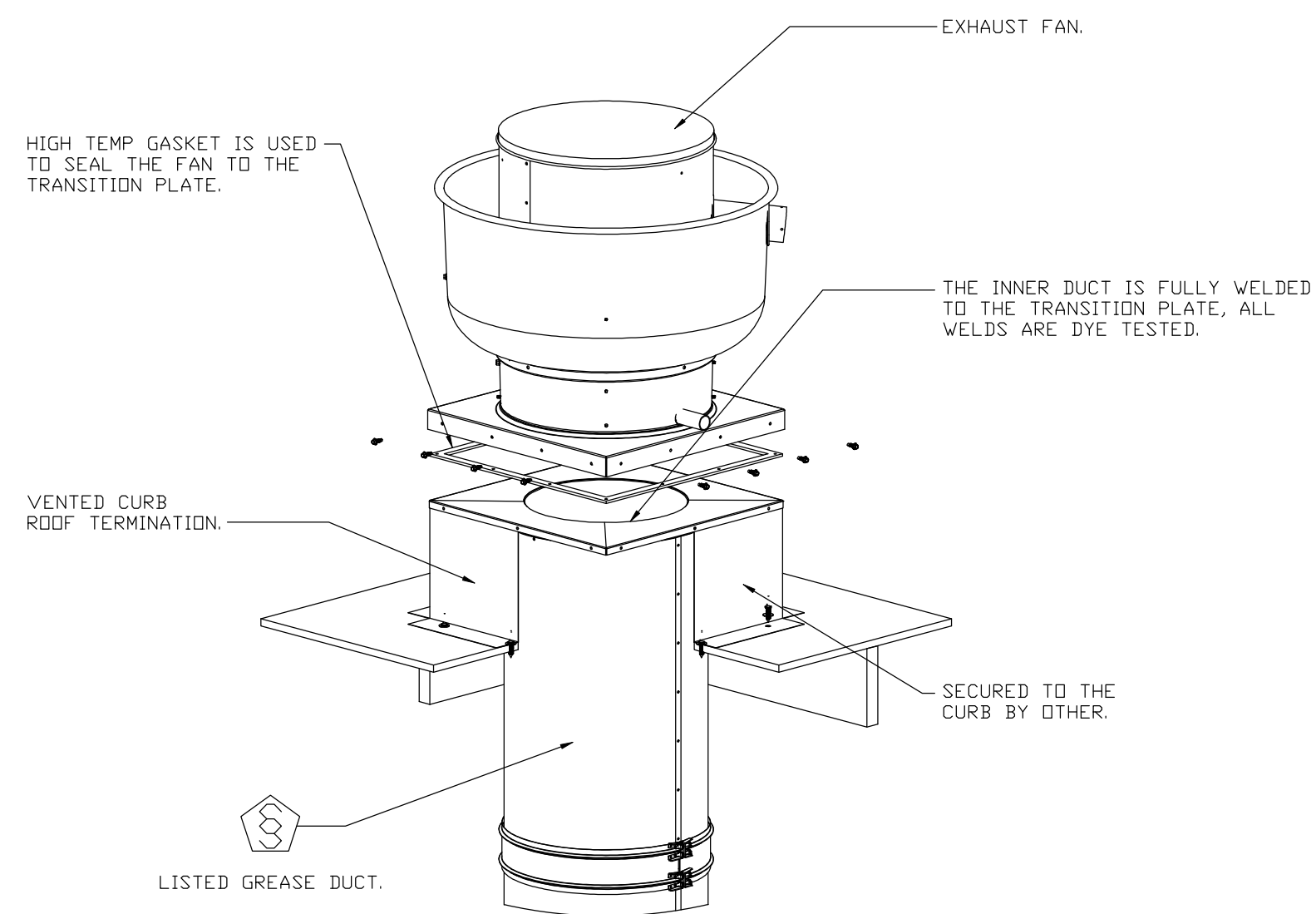
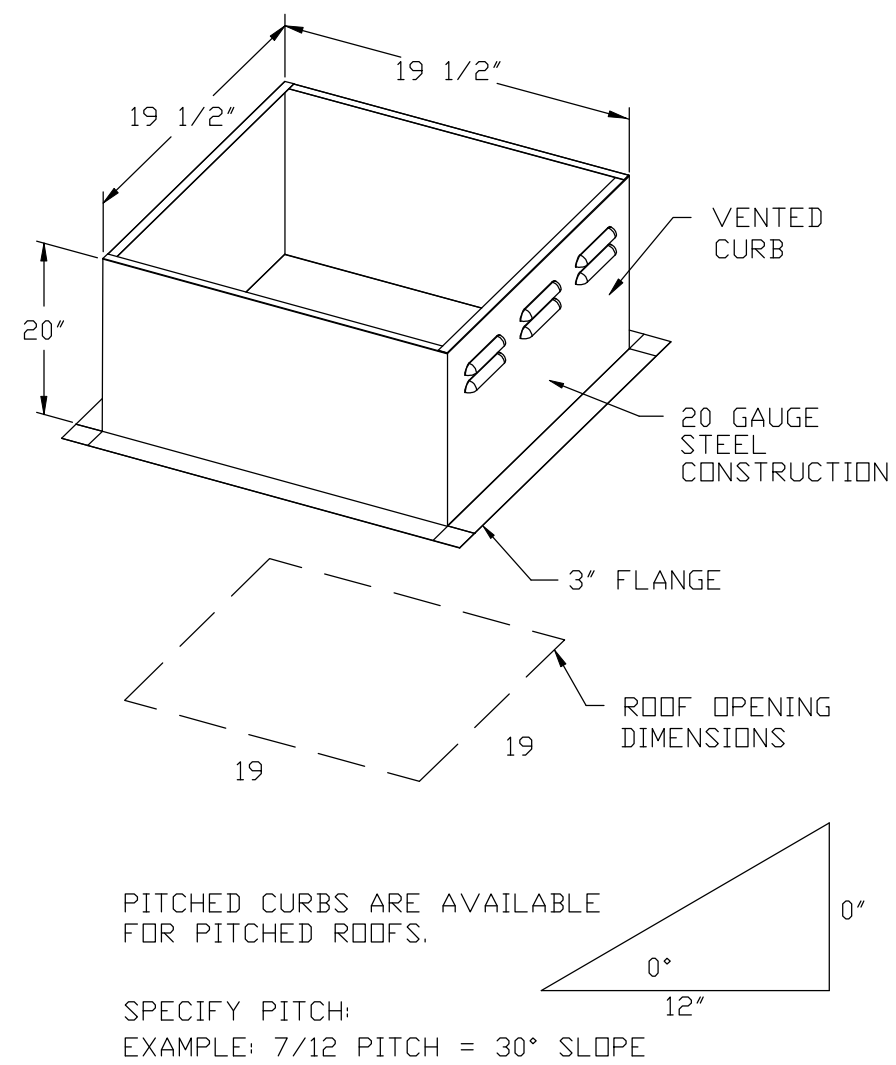


### FEATURES:

- ROOF MOUNTED FANS
- RESTAURANT MODEL
- UL705 AND UL762 AND ULC-S645
- AMCA SOUND AND AIR CERTIFIED
- WIRING FROM MOTOR TO DISCONNECT SWITCH
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EXHAUST FAN MUST OPERATE CONTINUOUSLY  
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AN UNSAFE CONDITION.

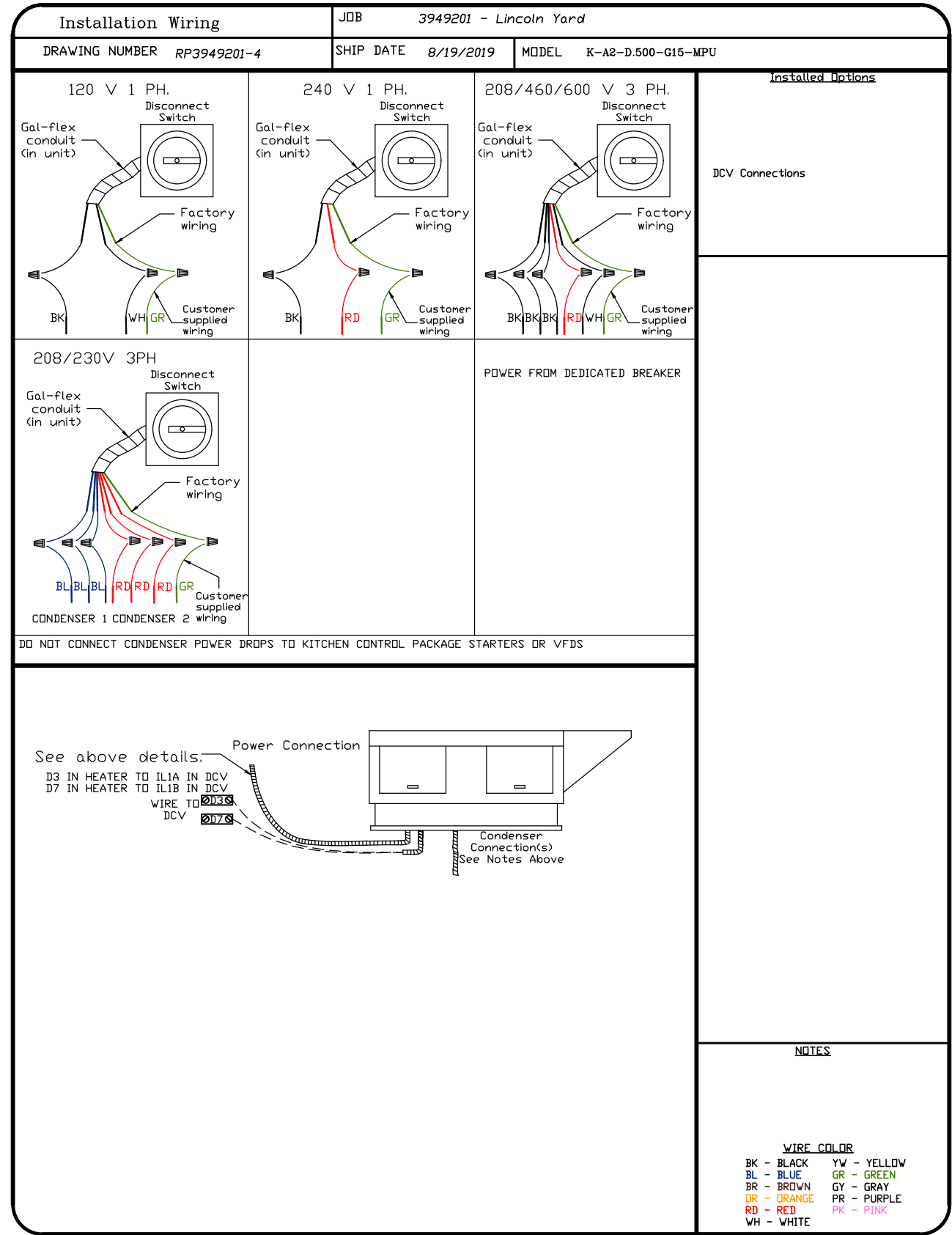
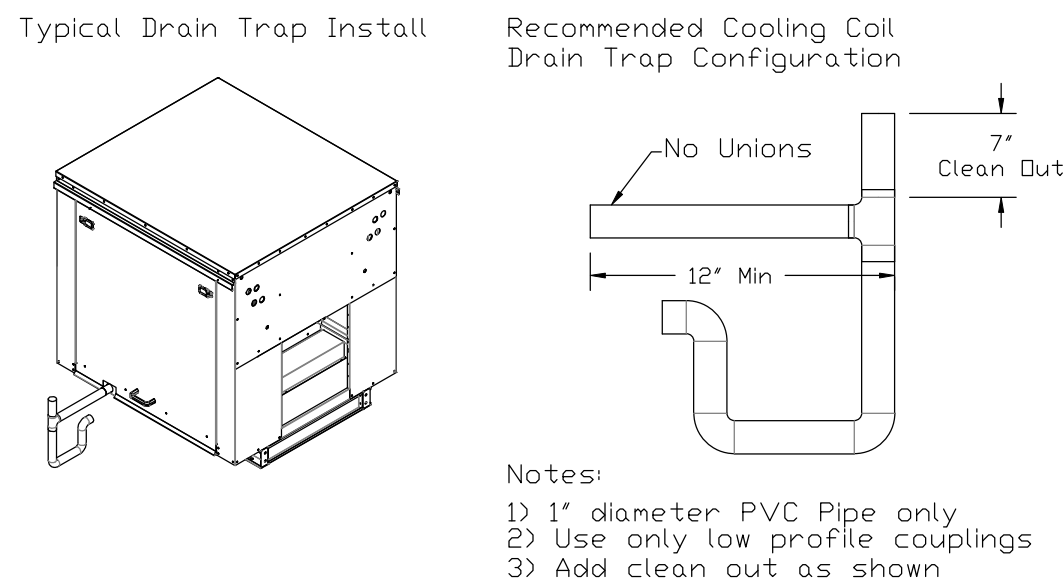


\*NOTE: SUPPLY DUCT MUST BE INSTALLED TO MEET SMACNA STANDARDS. A MINIMUM STRAIGHT DUCT LENGTH MUST BE MAINTAINED DOWNSTREAM OF UNIT DISCHARGE AS OUTLINED IN AMCA PUBLICATION 201. DO NOT RELY ON UNIT TO SUPPORT DUCT IN ANY WAY. FAILURE TO PROPERLY SIZE DUCTWORK MAY CAUSE SYSTEM EFFECTS AND REDUCE PERFORMANCE OF THE EQUIPMENT. SUGGESTED STRAIGHT DUCT SIZE IS 20" x 20"

```

WINTER TEMPERATURE = 6°F.    TEMP. RISE = 80°F.
BTUs CALCULATED OFF ACTUAL    AIR DENSITY
OUTPUT BTUs AT ALTITUDE OF 0.0 ft. = 368475
INPUT BTUs AT ALTITUDE OF 0.0 ft. = 400516
OUTPUT BTUs AT ALTITUDE OF 998 ft. = 355379
INPUT BTUs AT ALTITUDE OF 998 ft. = 386281

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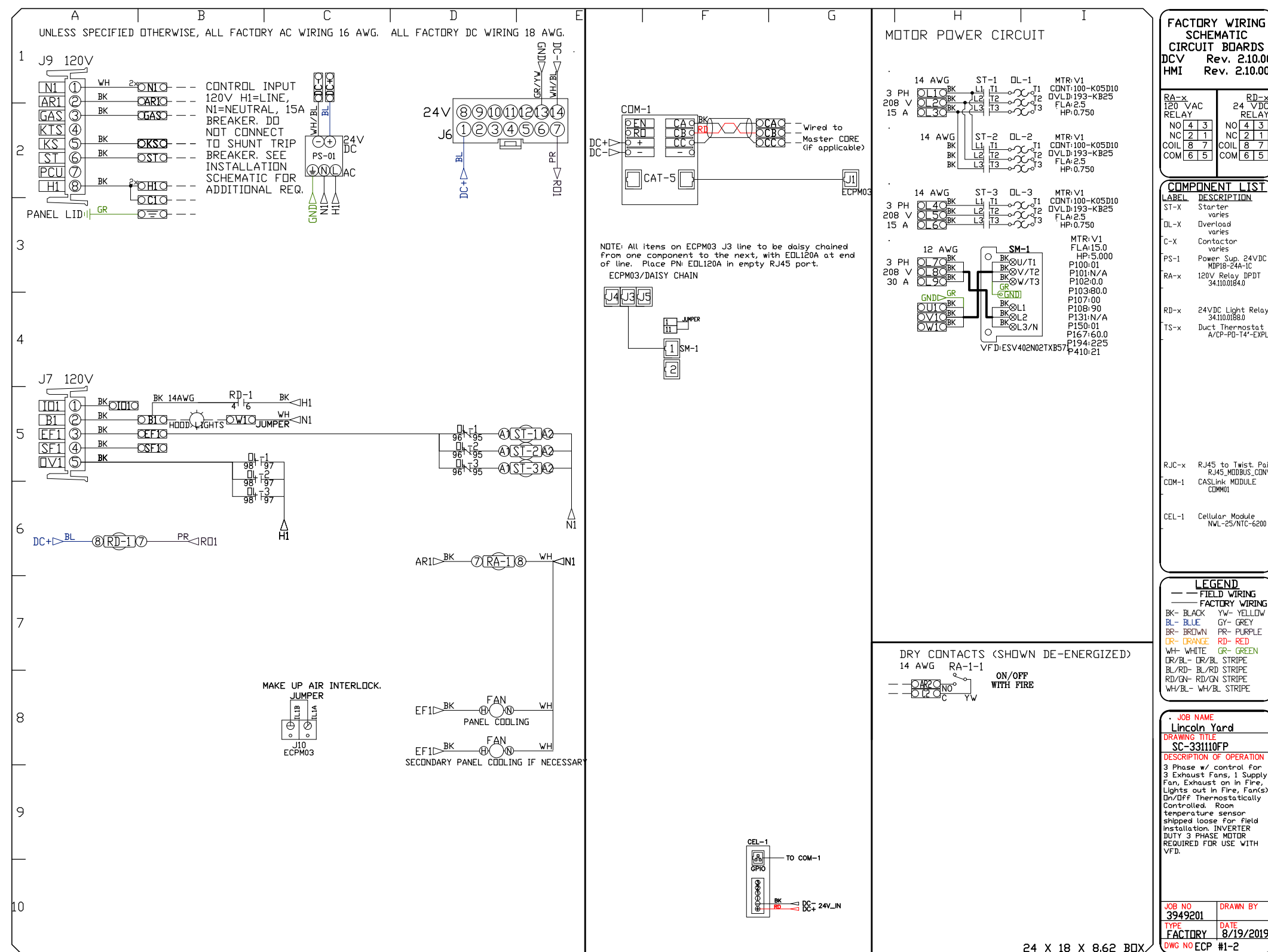
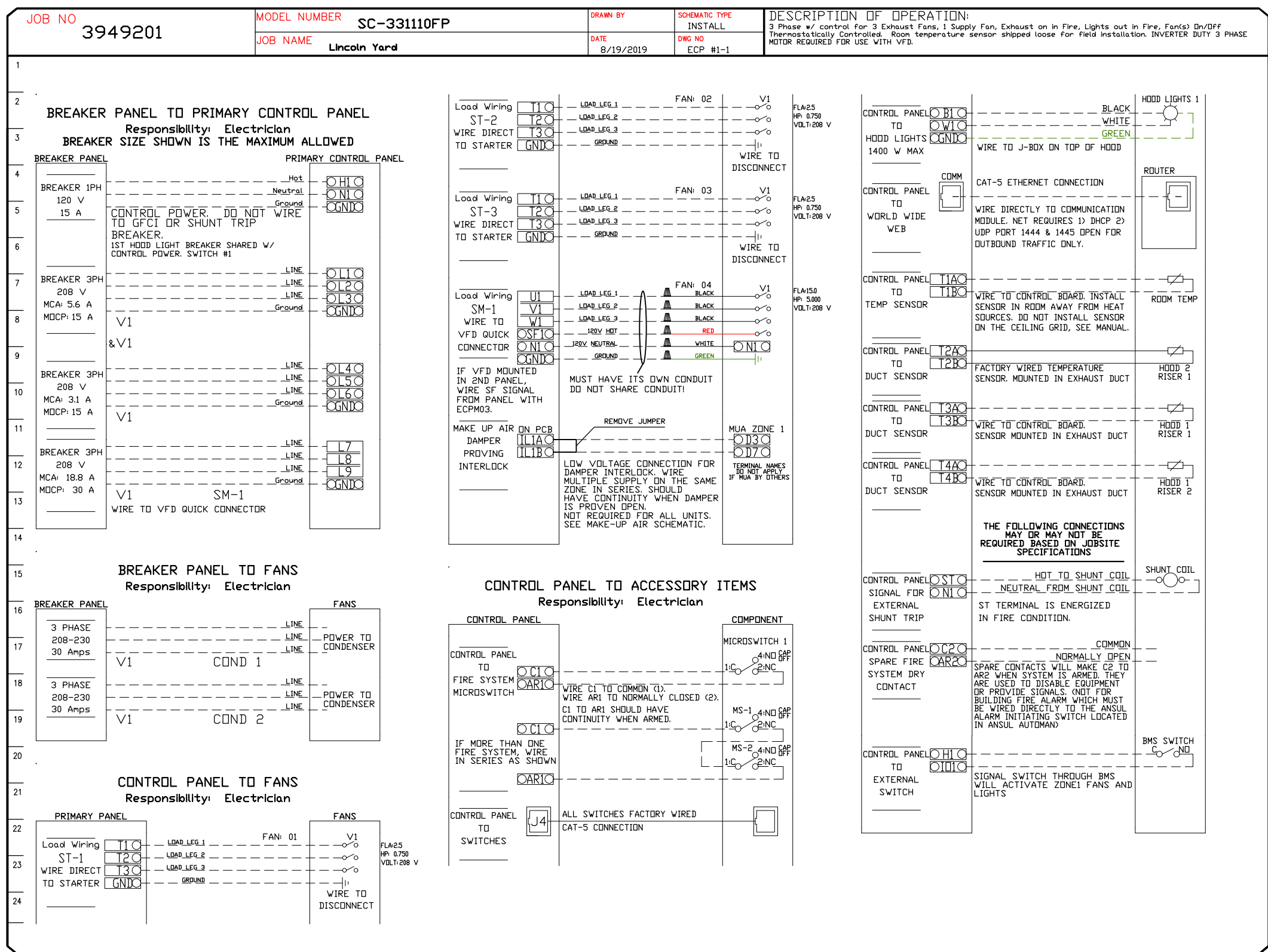



NO.	TAG	PACKAGE #	LOCATION	SWITCHES		OPTION	FANS CONTROLLED					
				LOCATION	QUANTITY		FAN TAG	TYPE	Φ	H.P.	VOLT	FLA
1		SC-331110FP	Utility Cabinet Right	04 - Utility Cabinet Right	1 Light	Smart Controls Thermostatic Control	V1	Exhaust	3	0.750	208	2.5
							V1	Exhaust	3	0.750	208	2.5
							V1	Exhaust	3	0.750	208	2.5
							V1	Supply	3	5.000	208	15.0
				Hood # 2	1 Fan							



- ### MONITORING AND CONTROL POINTS LIST

SCV Packages	Function	SC Packages	Function
Room Temperature	MONITOR	Room Temperature(s)	MONITOR
Duct Temperature(s)	MONITOR	Duct Temperature(s)	MONITOR
MUA Discharge Temperature	MONITOR	MUA Discharge Temperature	MONITOR
Kitchen RTU Discharge Temperature	MONITOR	Kitchen RTU Discharge Temperature	MONITOR
Fan Speed	MONITOR	Controller Faults	MONITOR
Fan Amperage	MONITOR	Fan Faults	MONITOR
Fan Power	MONITOR	Fan Status	MONITOR
VFD Faults	MONITOR	PCU Faults	MONITOR
Controller Faults	MONITOR	PCU Filter Clog Percentages	MONITOR
Fan Faults	MONITOR	Fire Condition	MONITOR
Fan Status	MONITOR	CDRE Fire System	MONITOR
PCU Faults	MONITOR	Bulding Pressures	MONITOR
PCU Filter Clog Percentages	MONITOR	Fans Button(s)	MONITOR & CONTROL
Fire Condition	MONITOR	Lights Button(s)	MONITOR & CONTROL
CDRE Fire System	MONITOR	Vash Button	MONITOR & CONTROL
Bulding Pressures	MONITOR		
Prep Time Button	MONITOR & CONTROL		
Fans Button	MONITOR & CONTROL		
Lights Button	MONITOR & CONTROL		
Vash Button	MONITOR & CONTROL		



REVISIONS	
DESCRIPTION	DATE:
△	
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Michigan Office

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Lincoln Yard  
BIRMINGHAM, MI, 48012

**DATE:** 8/19/2019

**DWG.#:**  
3949201

**DRAWN BY:** DKC

**SCALE:**  
4" = 1'-0"

## MASTER DRAWING

**SHEET NO.**



DuctWork #1 Parts – Job#3949201

Tag	Part #	CFM	S.P.	Weight	Velocity	QTY	Description
P1	DW1445DWASY-2R-S	1750	-0.0438	19.87	1637.02	1	Double Wall Duct - 14" Inner 45 Duct - 2 Layers Reduced Clearance - 18" Stainless Steel Outer Shell.
P2	DW1445DWASY-2R-S	1750	-0.0625	19.87	1637.02	1	Double Wall Duct - 14" Inner 45 Duct - 2 Layers Reduced Clearance - 18" Stainless Steel Outer Shell.
P3	DW1447DWLT-2R-S	1750	-0.0188	62.39	1637.02	1	Double Wall Duct - 14" Inner Duct, 47' long - 2 Layers Reduced Clearance - 18" Stainless Steel Outer Shell.
P4 Assembled w/P5	DW1447DWAJDP-2R-S	1750	-0.0172	93.06	1637.02	1	Double Wall Adjustable Duct Transition Plate - 14" Inner Duct, 47' long - 2 Layers Reduced Clearance - 18" Stainless Steel Outer Shell. Min Length = 11' / Max Length = 48.5' / Adjustment = 30.5' / Adjustable Section May Need To Be Cut.
P5 Assembled w/P4 System at P5	DW23514TPDBEX	1750	0	8.00	1637.02	1	Includes single and double wall "V" Clamps. Duct to Curb Transition 3/4' Down Turn, 23.50' Curb to 14' Duct, 16 GA Aluminized. Used on BDU15 and DU85. Transition Plate DD is 23.5' Designed For Use With Exhaust Fan. Non-Standard Part.
P6	DW1445DWASY-2R-S	1750	-0.0438	19.87	1637.02	1	Double Wall Duct - 14" Inner 45 Duct - 2 Layers Reduced Clearance - 18" Stainless Steel Outer Shell.
P7	DW1445DWASY-2R-S	1750	-0.0625	19.87	1637.02	1	Double Wall Duct - 14" Inner 45 Duct - 2 Layers Reduced Clearance - 18" Stainless Steel Outer Shell.
P8	DW1447DWLT-2R-S	1750	-0.0188	62.39	1637.02	1	Double Wall Duct - 14" Inner Duct, 47' long - 2 Layers Reduced Clearance - 18" Stainless Steel Outer Shell.
P9 Assembled w/P10	DW1447DWAJDP-2R-S	1750	-0.0172	93.06	1637.02	1	Double Wall Adjustable Duct Transition Plate - 14" Inner Duct, 47' long - 2 Layers Reduced Clearance - 18" Stainless Steel Outer Shell. Min Length = 11' / Max Length = 48.5' / Adjustment = 30.5' / Adjustable Section May Need To Be Cut.
P10 Assembled w/P9 System at P10	DW23514TPDBEX	1750	0	8.00	1637.02	1	Includes single and double wall "V" Clamps. Duct to Curb Transition 3/4' Down Turn, 23.50' Curb to 14' Duct, 16 GA Aluminized. Used on BDU15 and DU85. Transition Plate DD is 23.5' Designed For Use With Exhaust Fan. Non-Standard Part.
	DW18DWRISER-2R-S			8.15		1	Double Wall Riser Cover - Used On 14" Inner Riser, 4' long - 2 Layers Reduced Clearance - 18" Stainless Steel Outer Riser Shell Assembly. Includes Insulation & Single V Clamps For Inner & Outer Connections.
	DW18DWRISER-2R-S			8.15		1	Double Wall Riser Cover - Used On 14" Inner Riser, 4' long - 2 Layers Reduced Clearance - 18" Stainless Steel Outer Riser Shell Assembly. Includes Insulation & Single V Clamps For Inner & Outer Connections.
	3M-2000PLUS			0.80		3	Duct - 3M Fire Barrier 2000 Plus Silicone - Used as sealant to Seal Duct Joints.
	DW14DWCLASY-2R-S			7.21		4	Duct - 14" Duct - 18" Double "V" Clamp - 2R Insulation & Single "V" Clamp Included - Reduced Clearance.
Total Weight				453.92			

SINGLE WALL FACTORY BUILT DUCTWORK

- ALL DUCTWORK IS REQUIRED TO BE INSTALLED WITH THE MAXIMUM SUPPORT SPACING LISTED BELOW.
- FOR A COMPLETE LIST OF APPROVED SUPPORT METHODS, SEE THE INSTALLATION AND OPERATION MANUAL.
- DUCTWORK SHALL SLOPE NOT LESS THAN 1/16" PER LINEAR FOOT TOWARDS THE HOOD OR AN APPROVED GREASE COLLECTION RESERVOIR.
- WHERE HORIZONTAL DUCTS EXCEED 75 FEET IN LENGTH, THE SLOPE SHALL NOT BE LESS THAN 3/16" PER LINEAR FOOT.

DUCT DIAMETER	HORIZONTAL SUPPORT (ft)	VERTICAL WALL SUPPORT (ft)	VERTICAL CURB SUPPORT (ft)
8"	10'	10'	24'
10"	10'	10'	24'
12"	10'	10'	24'
14"	10'	10'	24'
16"	10'	10'	24'
18"	10'	10'	24'
20"	10'	10'	24'
22"	10'	10'	24'
24"	10'	10'	24'

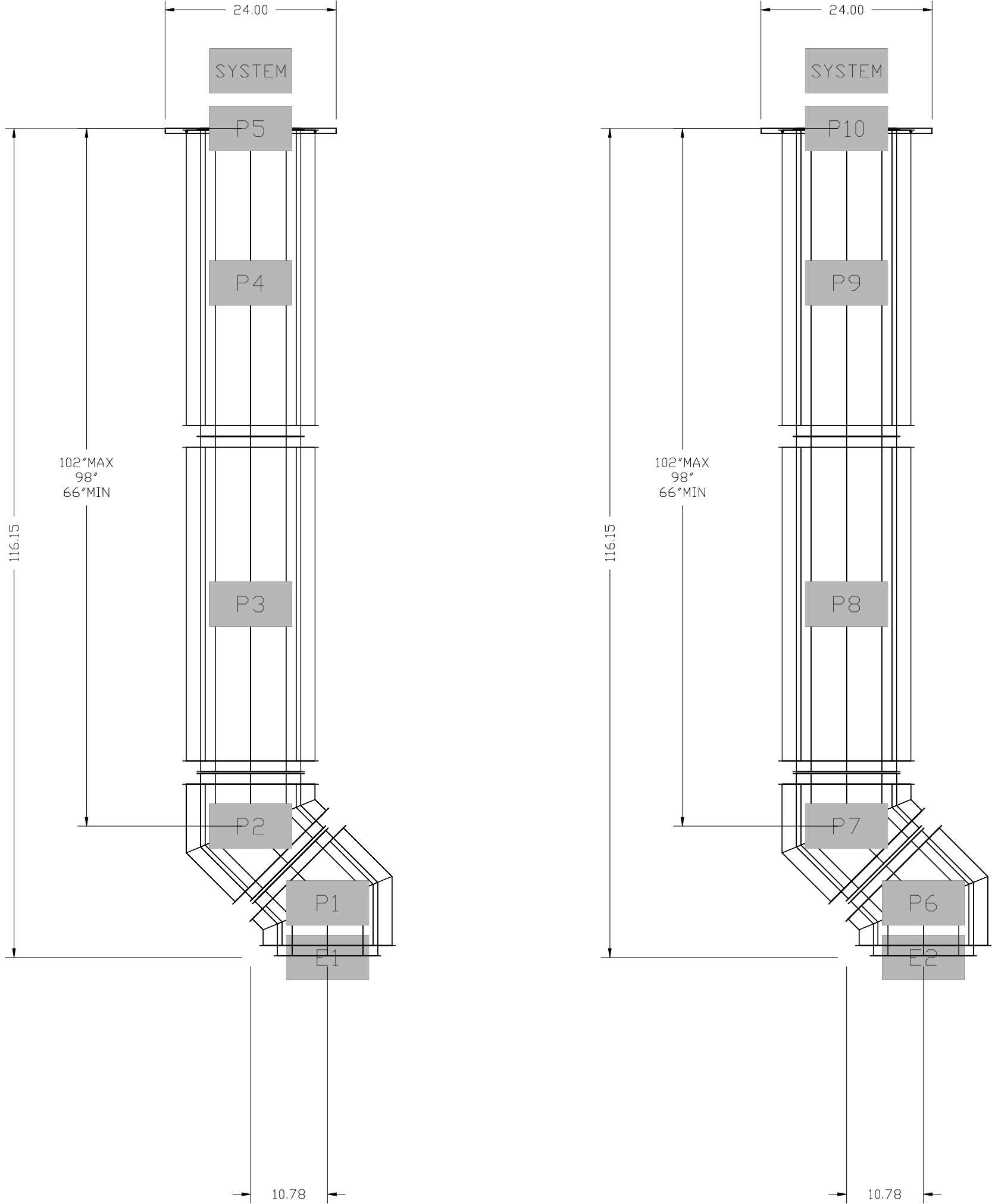
DOUBLE WALL FACTORY BUILT DUCTWORK

- ALL DUCTWORK IS REQUIRED TO BE INSTALLED WITH THE MAXIMUM SUPPORT SPACING LISTED BELOW.
- FOR A COMPLETE LIST OF APPROVED SUPPORT METHODS, SEE THE ENTIRE INSTALLATION AND OPERATION MANUAL
- DUCTWORK SHALL SLOPE NOT LESS THAN 1/16" PER LINEAR FOOT TOWARDS THE HOOD OR AN APPROVED GREASE COLLECTION RESERVOIR.
- WHERE HORIZONTAL DUCTS EXCEED 75 FEET IN LENGTH, THE SLOPE SHALL NOT BE LESS THAN 3/16" PER LINEAR FOOT.

HORIZONTAL	
DUCT DIAMETER	SUPPORT SPACING (ft)
8"	7'
10"	7'
12"	7'
14"	7'
16"	7'
18"	5'
20"	5'
22"	5'
24"	5'

VERTICAL			
TYPE	WALL SUPPORT (ft)	CURB SUPPORT (ft)	FLOOR SUPPORT (ft)
2R & 2R HT	20'	24'	24'
3R	10'	24'	24'
3Z	10'	24'	24'

DuctWork #1 Front View



REVISIONS

DESCRIPTION	DATE:

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3876 East Paris Ave SE, Suite 18, Grand Rapids, MI 49512 PHONE: (616) 942-9881 FAX: (616) 942-9884 EMAIL: reg77@ktechhoods.com

Lincoln Yard  
BIRMINGHAM, MI, 48012

DATE: 8/19/2019

DWG.#:  
3949201

DRAWN BY: DKC

SCALE:  
3/4" = 1'-0"

MASTER DRAWING

SHEET NO.  
5

DuctWork #2 Parts - Job#3949201

Tag	Part #	CFM	S.P.	Weight	Velocity	QTY	Description
P1	DW1445DWASY-2R-S	2000	-0.0578	19.87	1870.88	1	Double Wall Duct - 14' Inner 45 Duct - 2 Layers Reduced Clearance - 18' Stainless Steel Outer Shell.
P2	DW1445DWASY-2R-S	2000	-0.0825	19.87	1870.88	1	Double Wall Duct - 14' Inner 45 Duct - 2 Layers Reduced Clearance - 18' Stainless Steel Outer Shell.
P3	DW1447DWLT-2R-S	2000	-0.0245	62.39	1870.88	1	Double Wall Duct - 14' Inner Duct, 47' long - 2 Layers Reduced Clearance - 18' Stainless Steel Outer Shell.
P4 Assembled w/P5	DW1447DWAJDP-2R-S	2000	-0.0225	93.06	1870.88	1	Double Wall Adjustable Duct Transition Plate - 14' Inner Duct, 47' long - 2 Layers Reduced Clearance - 18' Stainless Steel Outer Shell. Min Length = 11' / Max Length = 48.5' / Adjustment = 30.5' / Adjustable Section May Need To Be Cut.
P5 Assembled w/P4 System at P5	DW23514TPDBEX	2000	0	8.00	1870.88	1	Duct to Curb Transition 3/4" Down Turn, 23.50' Curb to 14' Duct, 16 GA Aluminized. Used on BDU15 and DUB5. Transition Plate OD Is 23.5' Designed For Use With Exhaust Fan. Non-Standard Part.
	DW18DWRISE-2R-S			8.15		1	Double Wall Riser Cover - Used On 14' Inner Riser, 4' long - 2 Layers Reduced Clearance - 18' Stainless Steel Outer Riser Shell Assembly. Includes Insulation & Single V Clamps For Inner & Outer Connections.
	3M-2000PLUS			0.80		2	Duct - 3M Fire Barrier 2000 Plus Silicone - Used as sealant to Seal Duct Joints.
	DW14DWCLASY-2R-S			7.21		2	Duct - 14' Duct - 18' Double "V" Clamp - 2R Insulation & Single "V" Clamp Included - Reduced Clearance.
Total Weight				227.36			

SINGLE WALL FACTORY BUILT DUCTWORK

- ALL DUCTWORK IS REQUIRED TO BE INSTALLED WITH THE MAXIMUM SUPPORT SPACING LISTED BELOW.
- FOR A COMPLETE LIST OF APPROVED SUPPORT METHODS, SEE THE INSTALLATION AND OPERATION MANUAL.
- DUCTWORK SHALL SLOPE NOT LESS THAN 1/16" PER LINEAR FOOT TOWARDS THE HOOD OR AN APPROVED GREASE COLLECTION RESERVOIR
- WHERE HORIZONTAL DUCTS EXCEED 75 FEET IN LENGTH, THE SLOPE SHALL NOT BE LESS THAN 3/16" PER LINEAR FOOT.

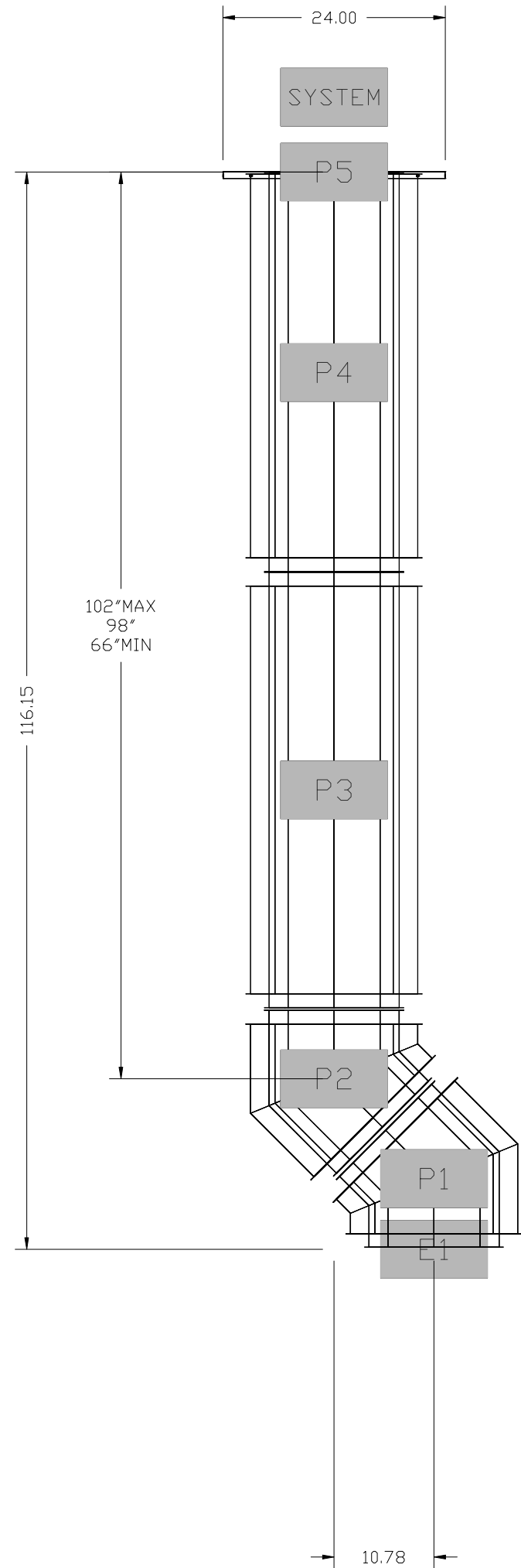
DUCT DIAMETER	HORIZONTAL SUPPORT (ft)	VERTICAL WALL SUPPORT (ft)	VERTICAL CURB SUPPORT (ft)
8"	10'	10'	24'
10"	10'	10'	24'
12"	10'	10'	24'
14"	10'	10'	24'
16"	10'	10'	24'
18"	10'	10'	24'
20"	10'	10'	24'
22"	10'	10'	24'
24"	10'	10'	24'

DOUBLE WALL FACTORY BUILT DUCTWORK

- ALL DUCTWORK IS REQUIRED TO BE INSTALLED WITH THE MAXIMUM SUPPORT SPACING LISTED BELOW.
- FOR A COMPLETE LIST OF APPROVED SUPPORT METHODS, SEE THE ENTIRE INSTALLATION AND OPERATION MANUAL
- DUCTWORK SHALL SLOPE NOT LESS THAN 1/16" PER LINEAR FOOT TOWARDS THE HOOD OR AN APPROVED GREASE COLLECTION RESERVOIR
- WHERE HORIZONTAL DUCTS EXCEED 75 FEET IN LENGTH, THE SLOPE SHALL NOT BE LESS THAN 3/16" PER LINEAR FOOT.

HORIZONTAL	
DUCT DIAMETER	SUPPORT SPACING (ft)
8"	7'
10"	7'
12"	7'
14"	7'
16"	7'
18"	5'
20"	5'
22"	5'
24"	5'

VERTICAL			
TYPE	WALL SUPPORT (ft)	CURB SUPPORT (ft)	FLOOR SUPPORT (ft)
2R & 2R HT	20'	24'	24'
3R	10'	24'	24'
3Z	10'	24'	24'



DuctWork #2 Front View

Lincoln Yard  
BIRMINGHAM, MI, 48012

BIRMINGHAM, MI, 48012

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**Michigan Office**

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## REVISIONS

DESCRIPTION		DATE:
△		
△		
△		
△		



**SHEET NO.**

6

**Lincoln Yard - 2159 E. Lincoln**

Applicant provided tinted concrete example photos for proposed pedestrian crosswalk that connects the southeast building entrance to the public walk at East Lincoln Street.

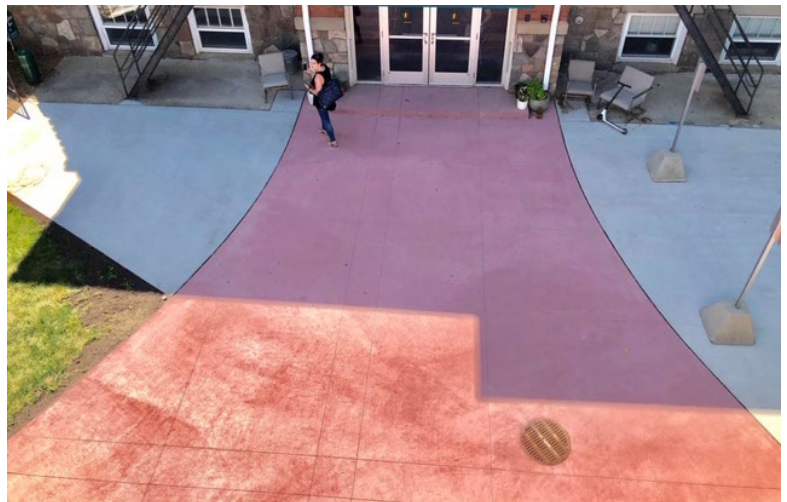
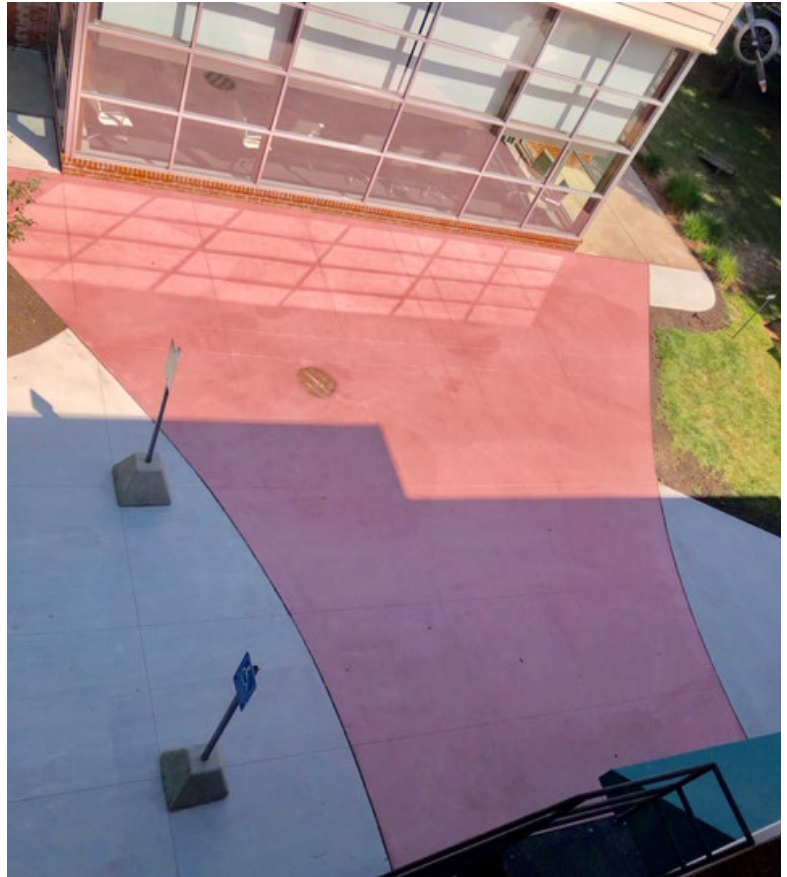


Photo location:  
90 N Main St, Clarkston, MI

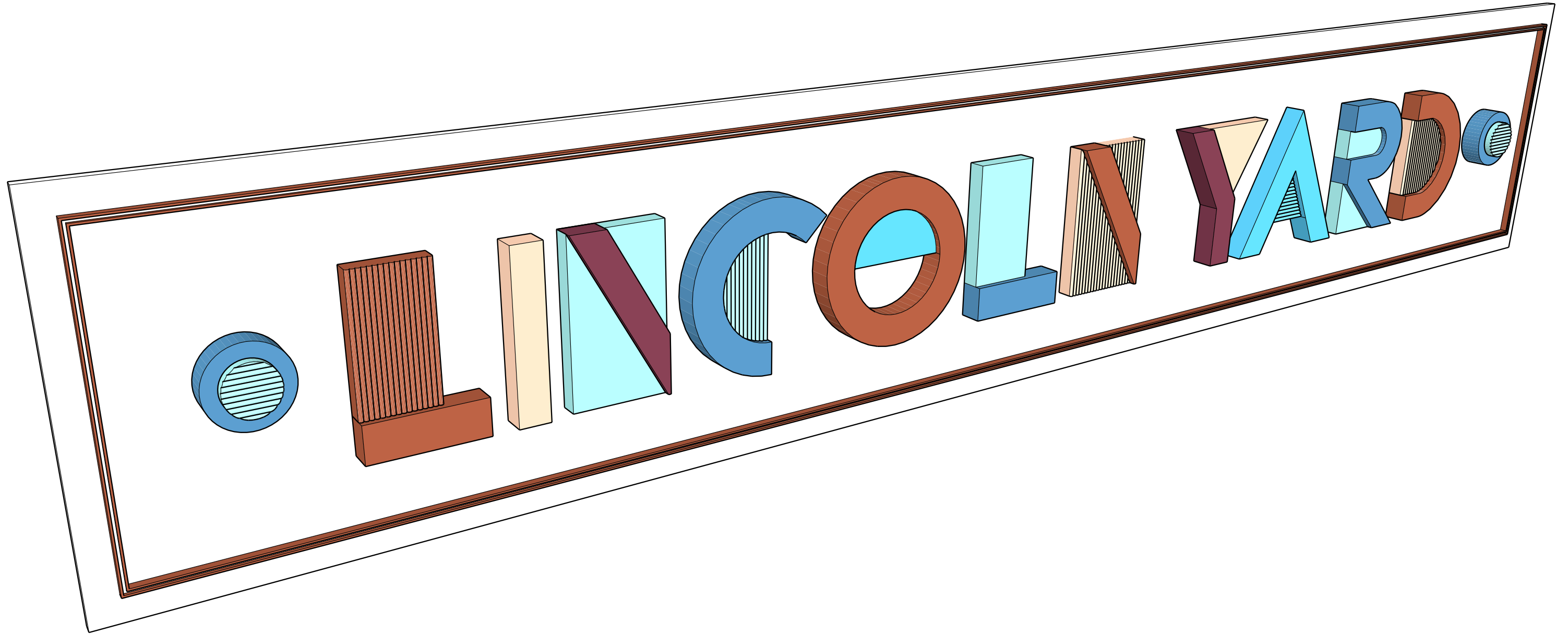
# **LINCOLN YARD**

**2159 E. LINCOLN AVE.**

## **SIGNAGE DETAILS**

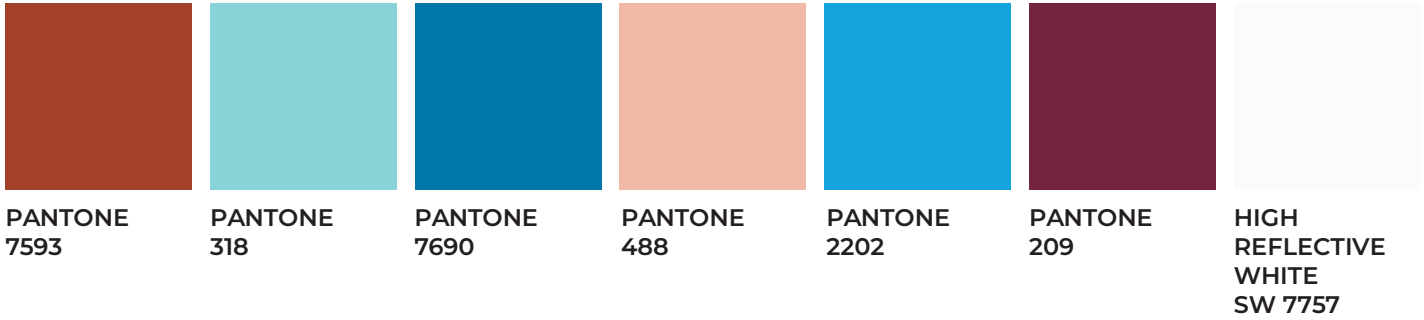
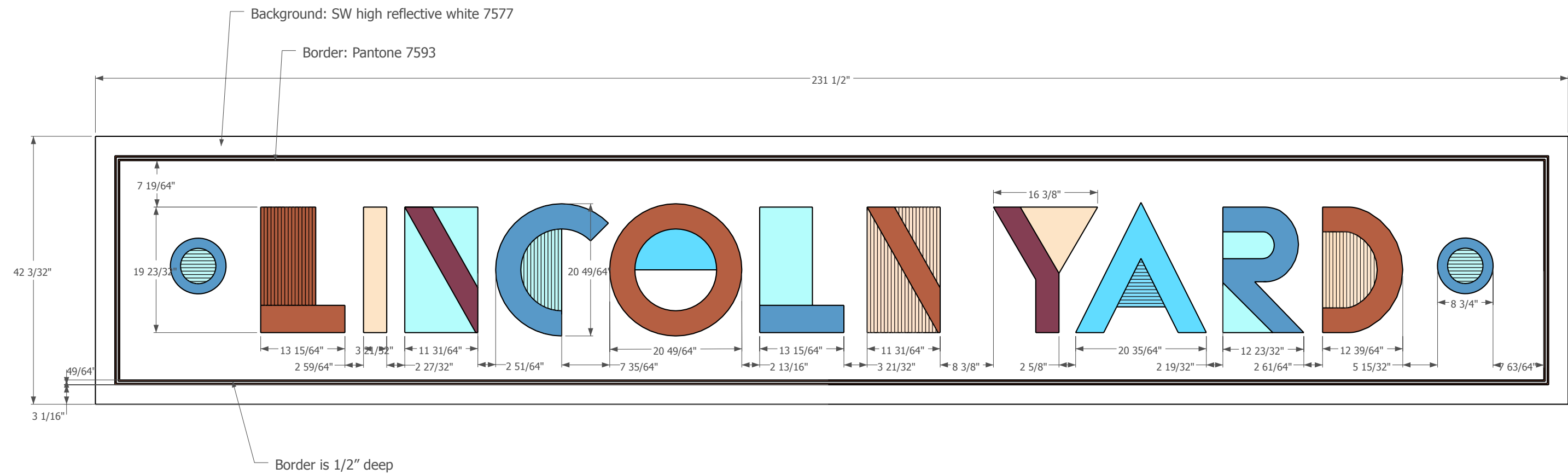


LINCOLN YARD SIGNAGE  
MAIN ENTRANCE SIGN  
DETAILS



# LINCOLN YARD SIGN

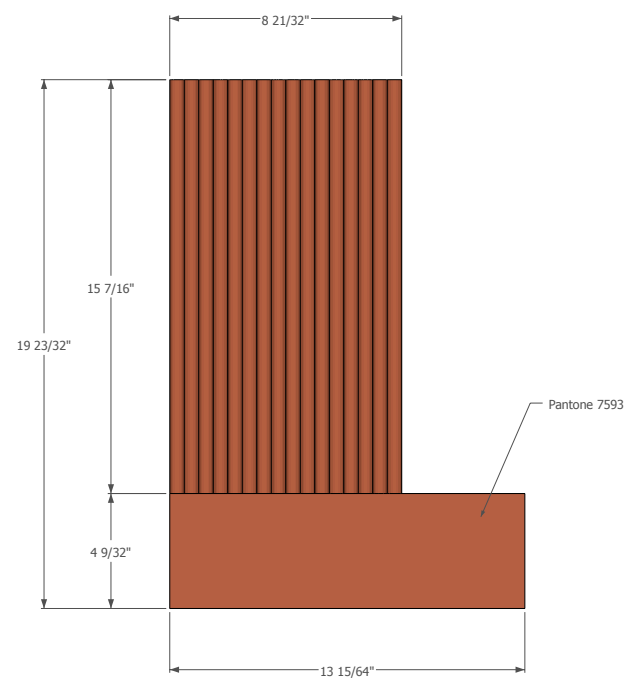
## OVERALL ELEVATION



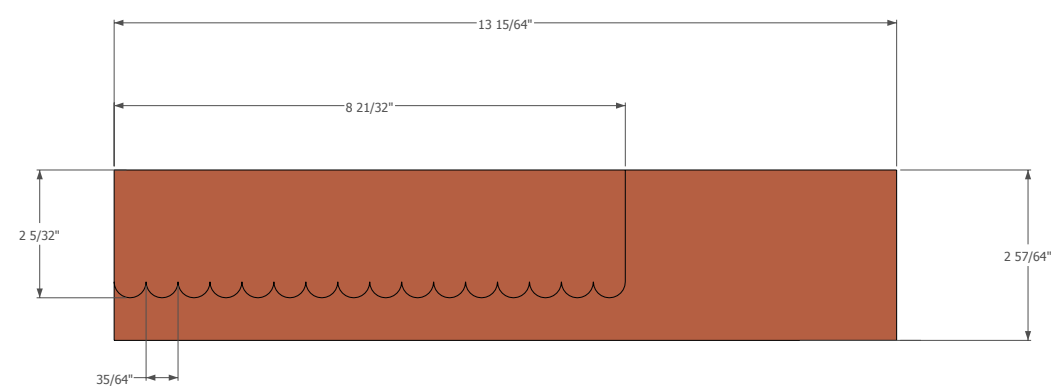
# LINCOLN YARD SIGN

## LETTER DETAILS

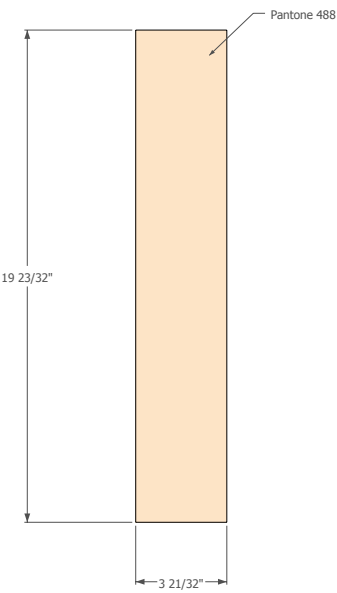
L1 - ELEVATION



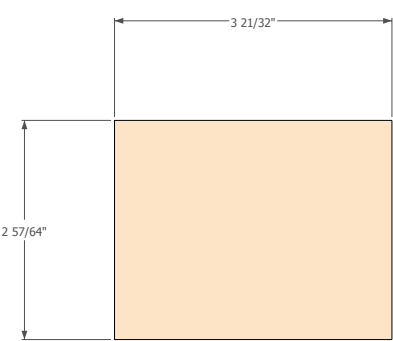
L1 - PLAN VIEW



I - ELEVATION



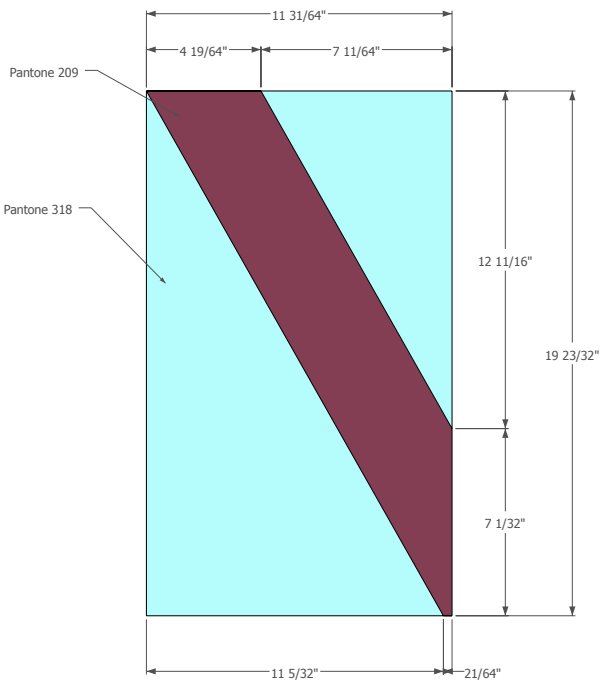
I - PLAN VIEW



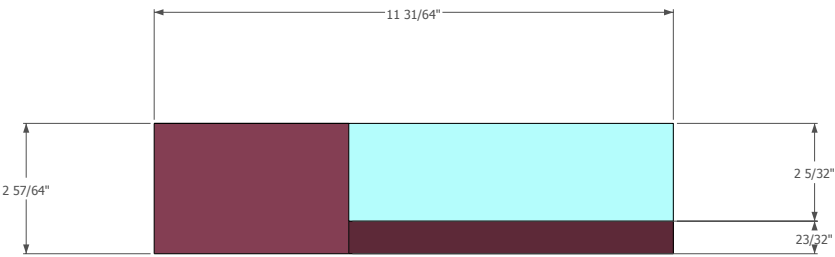
# LINCOLN YARD SIGN

## LETTER DETAILS

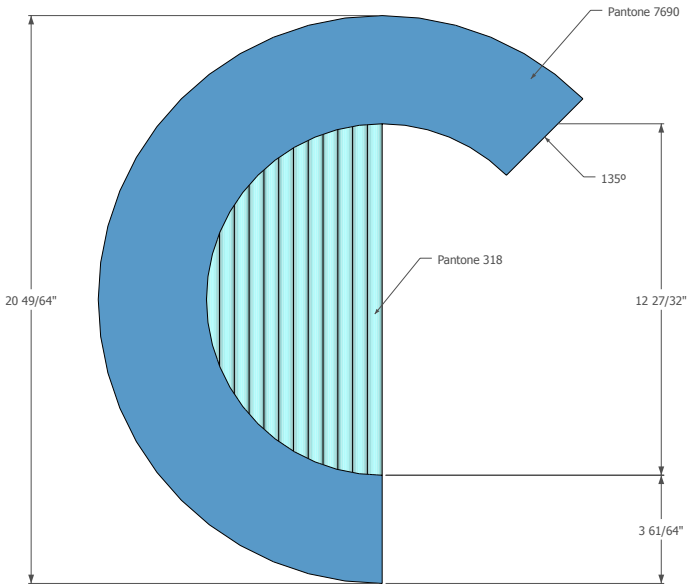
N1 - ELEVATION



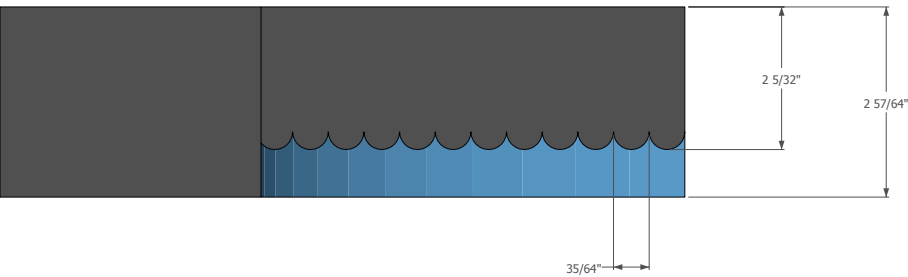
N1 - PLAN VIEW



C - ELEVATION



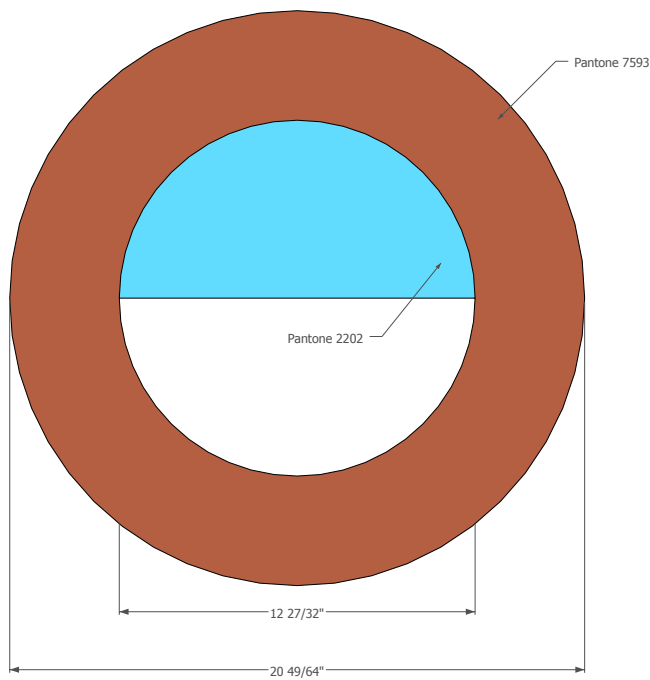
C - PLAN - SECTION VIEW





LINCOLN YARD SIGN  
LETTER DETAILS

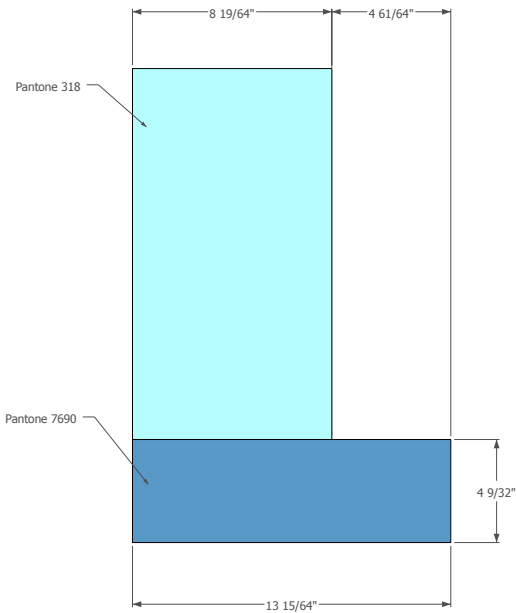
O - ELEVATION



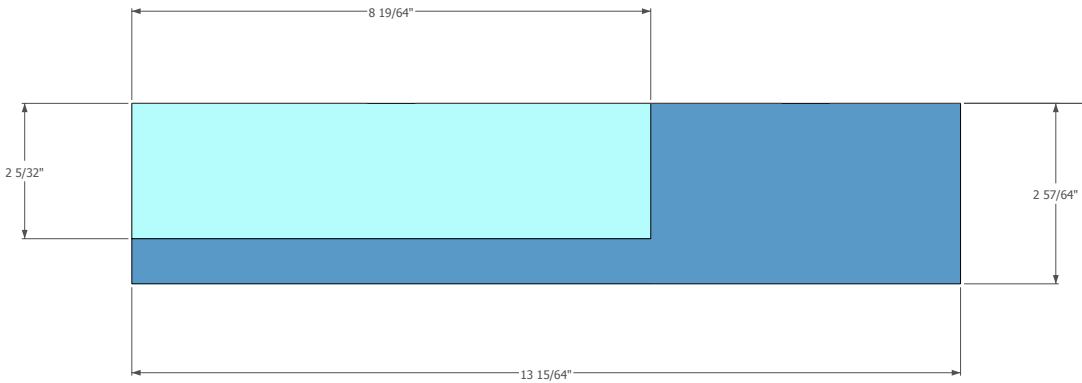
O - PROFILE - SECTION VIEW



L2 - ELEVATION



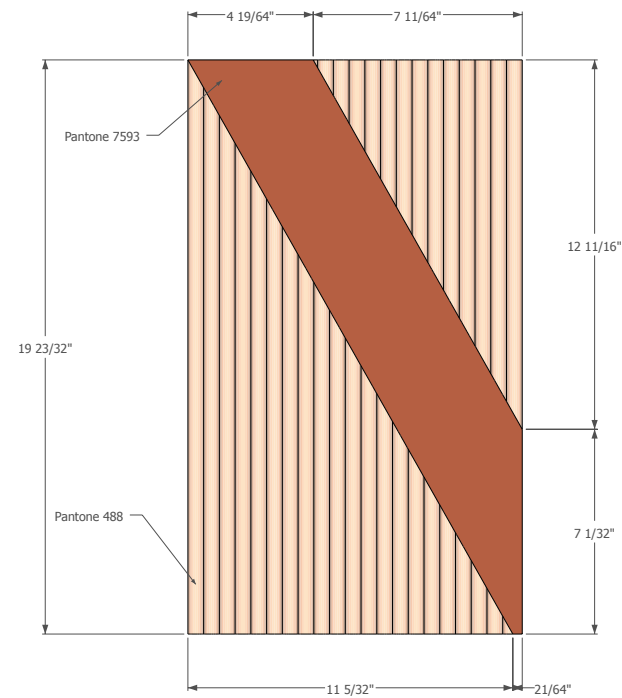
L2 - PLAN VIEW



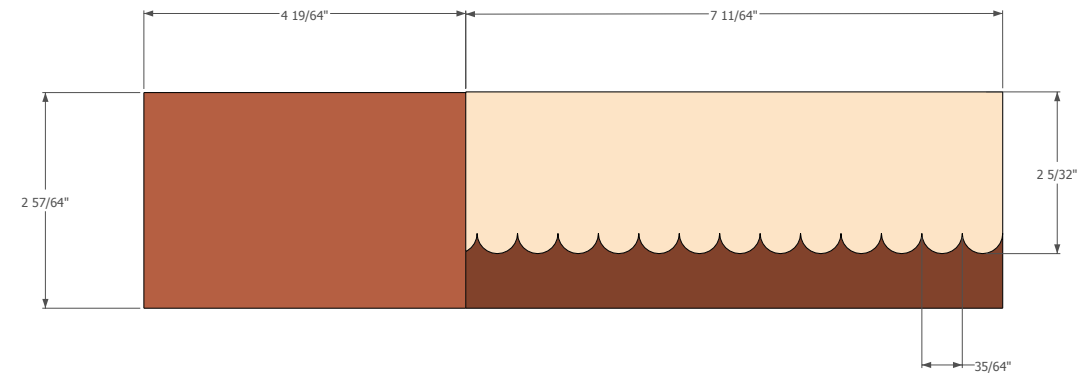
# LINCOLN YARD SIGN

## LETTER DETAILS

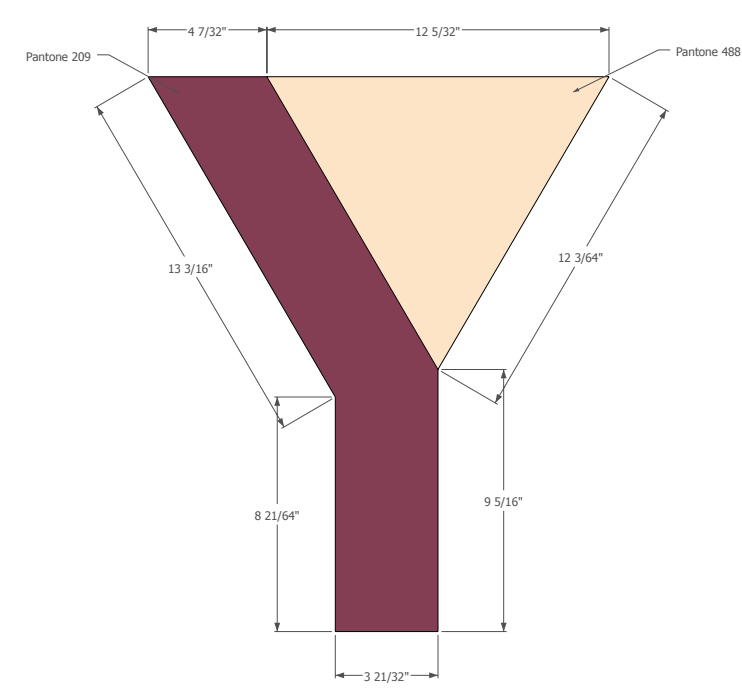
N2 - ELEVATION



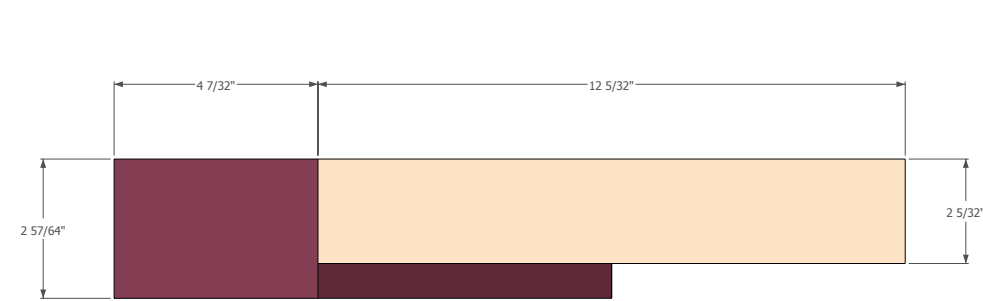
N2 - PLAN VIEW



Y - ELEVATION

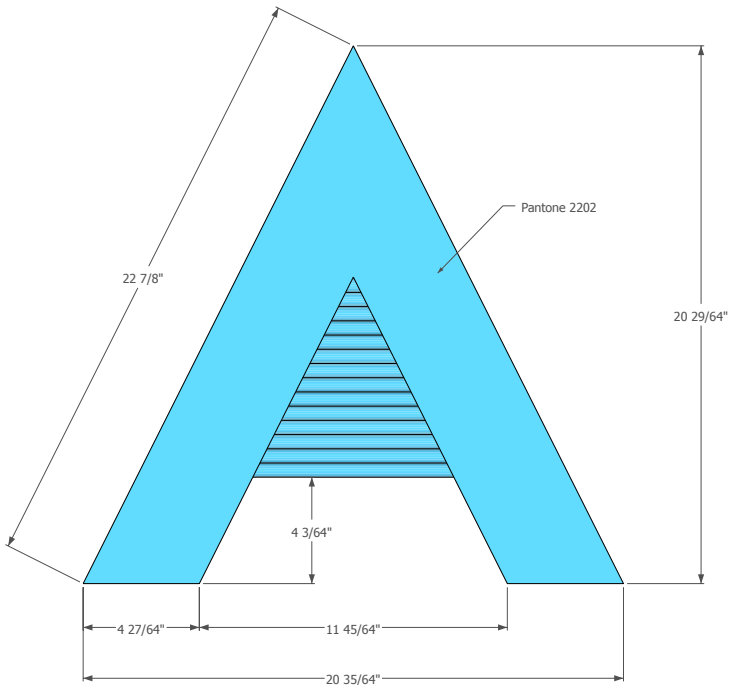


Y - PLAN VIEW

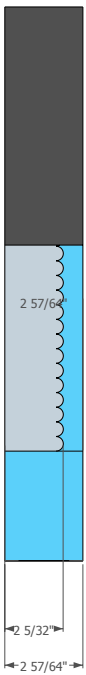


LINCOLN YARD SIGN  
LETTER DETAILS

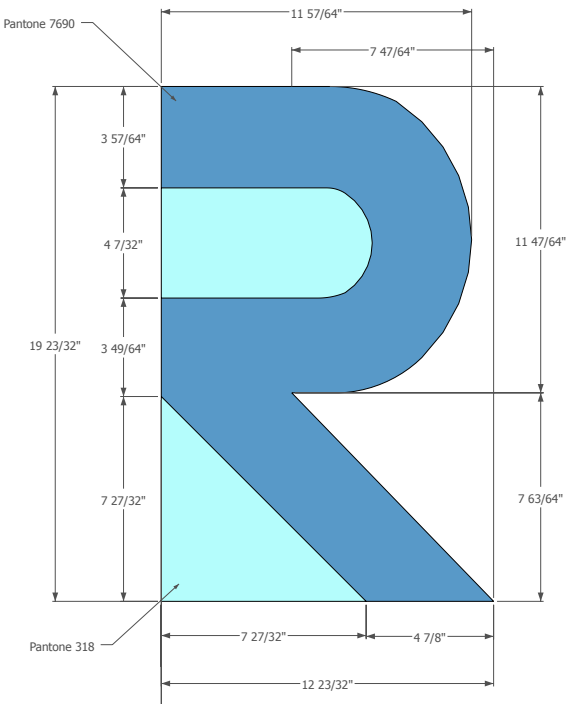
A - ELEVATION



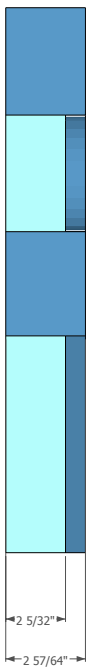
A - PROFILE - SECTION VIEW



R - ELEVATION



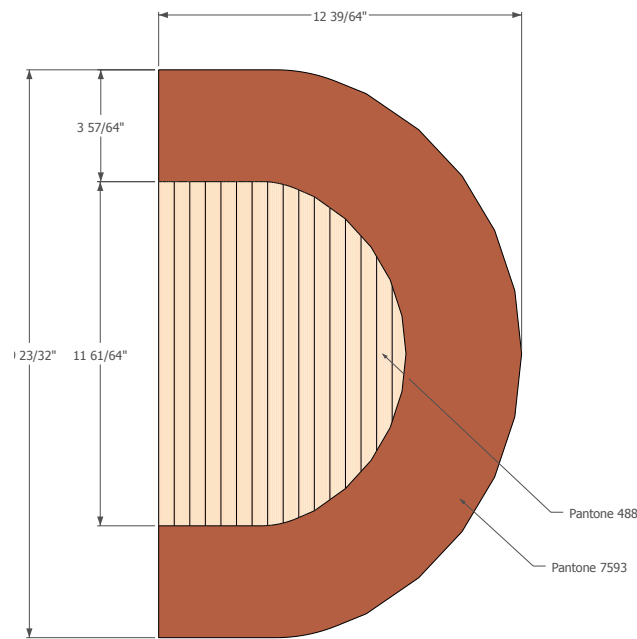
R - PROFILE VIEW



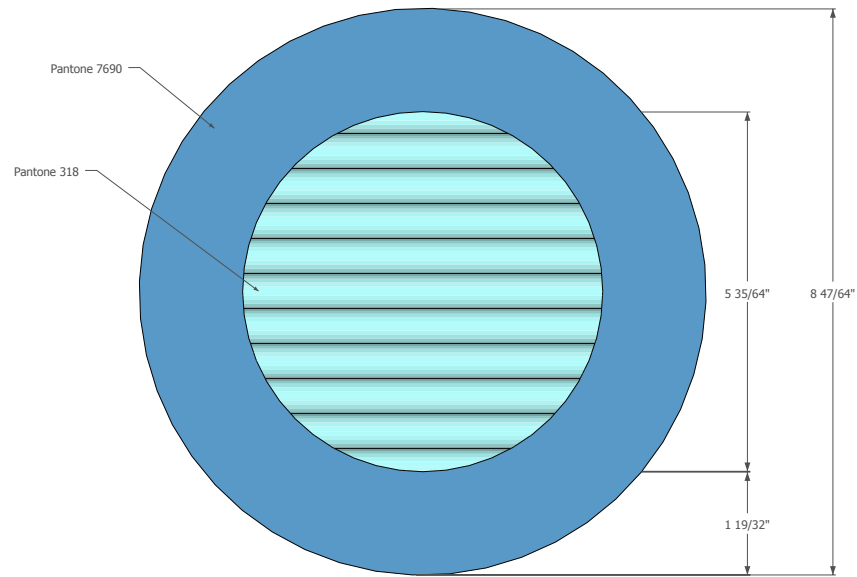
# LINCOLN YARD SIGN

## LETTER DETAILS

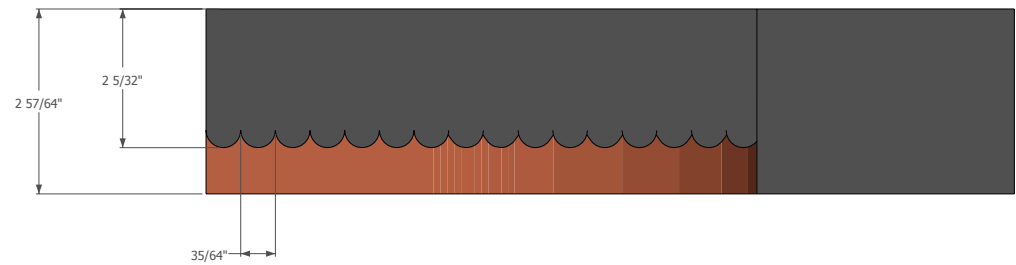
D - ELEVATION



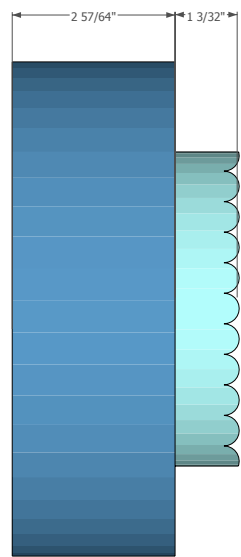
DOT - ELEVATION



D - PLAN - SECTION VIEW



DOT - PROFILE VIEW



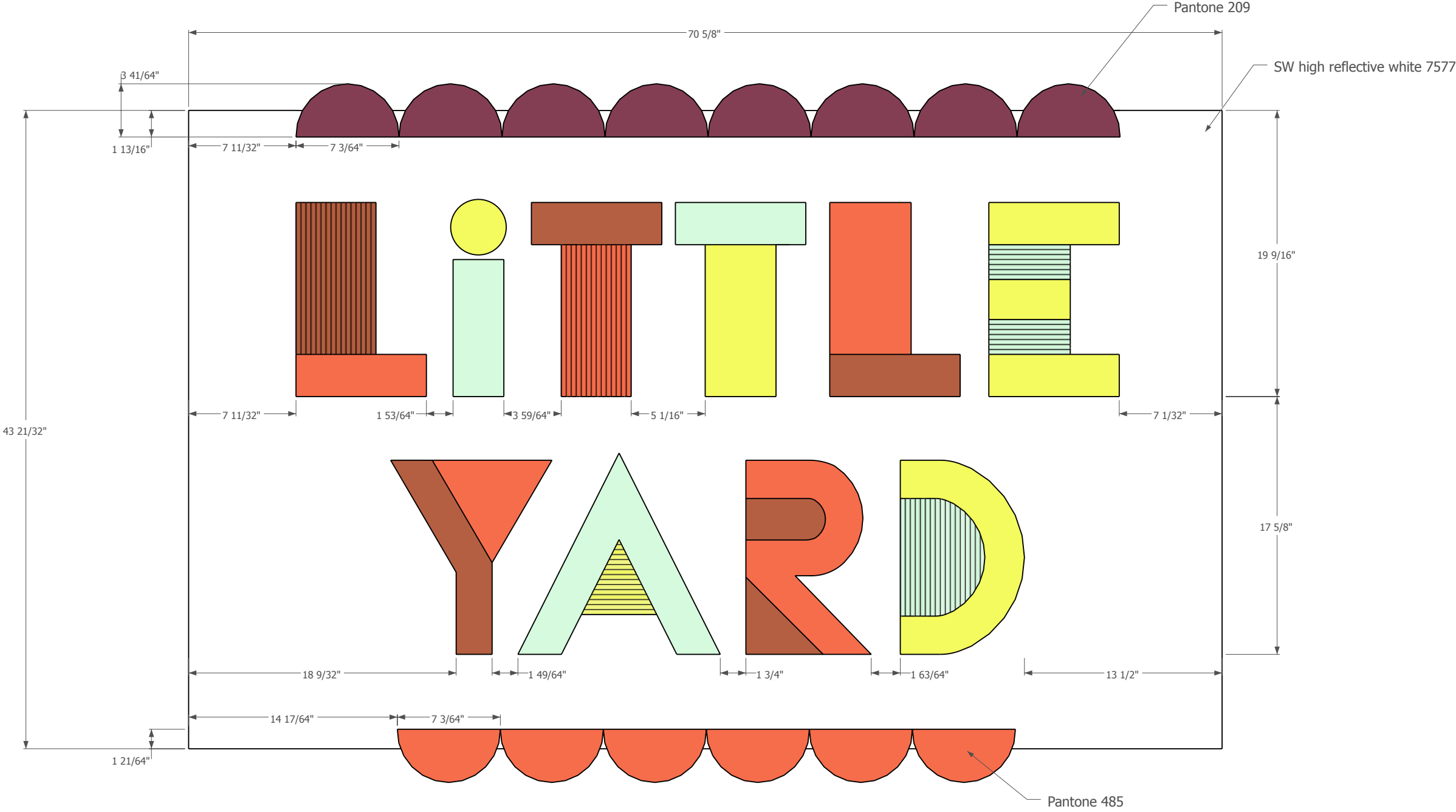


LINCOLN YARD SIGNAGE  
LITTLE YARD ENTRANCE SIGN  
DETAILS



# LITTLE YARD ENTRANCE SIGN

## OVERALL ELEVATION



PANTONE  
7593

PANTONE  
485

PANTONE  
351

PANTONE  
381

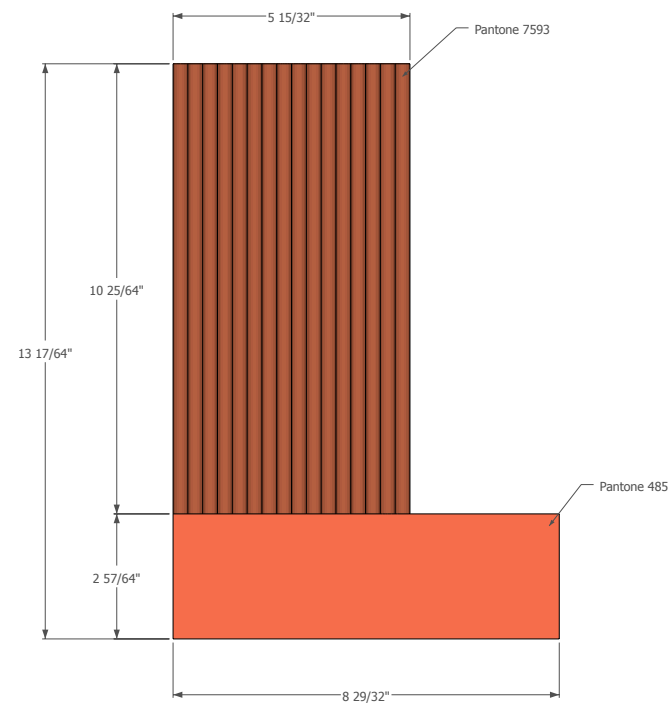
PANTONE  
209

HIGH  
REFLECTIVE  
WHITE  
SW 7757

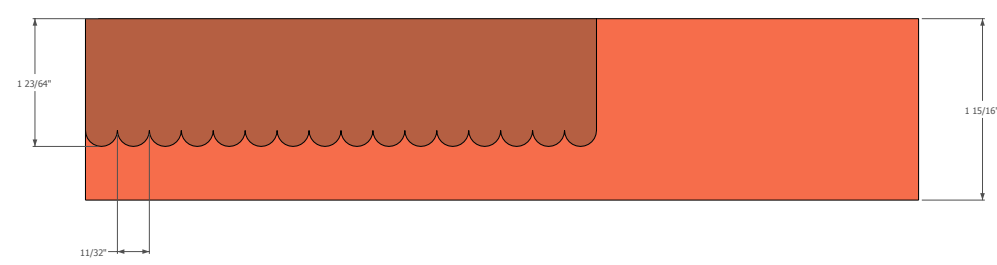
# LITTLE YARD SIGN

## LETTER DETAILS

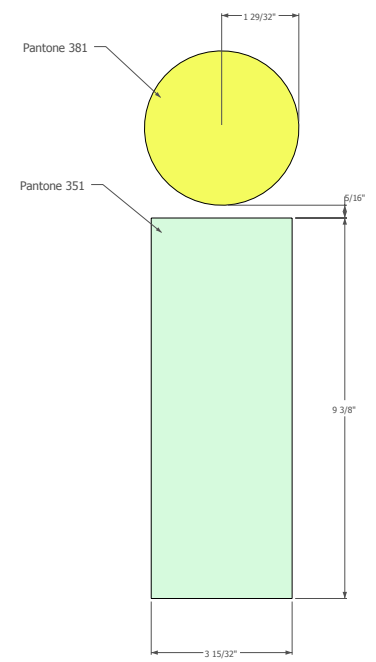
L1 - ELEVATION



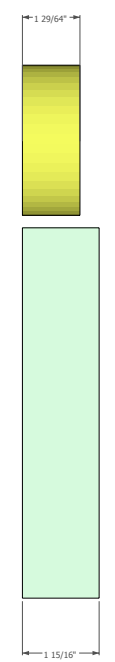
L1 - PLAN VIEW



I - ELEVATION



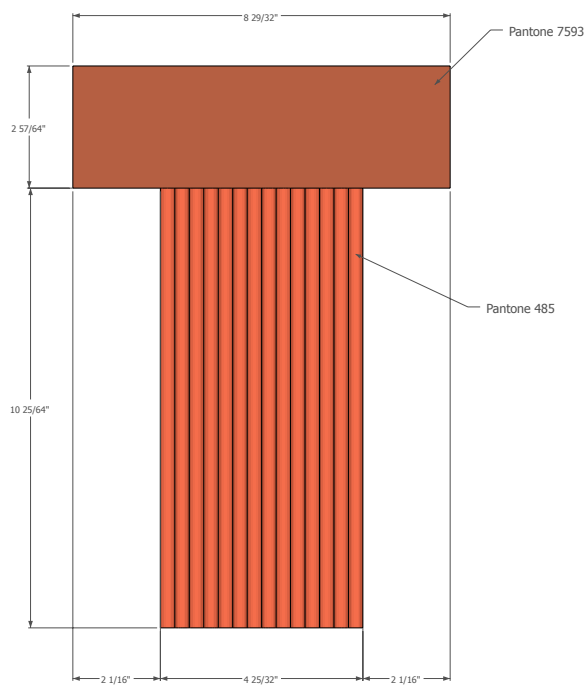
I - PROFILE VIEW



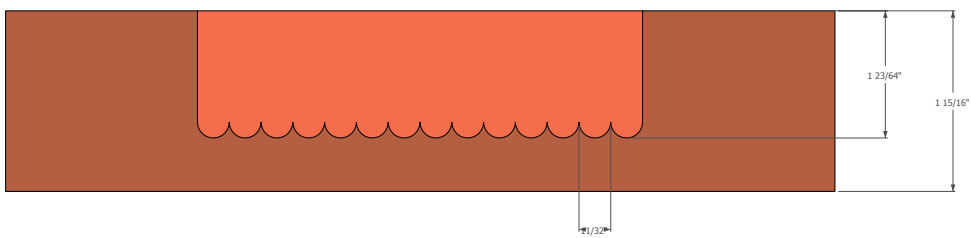
# LITTLE YARD SIGN

## LETTER DETAILS

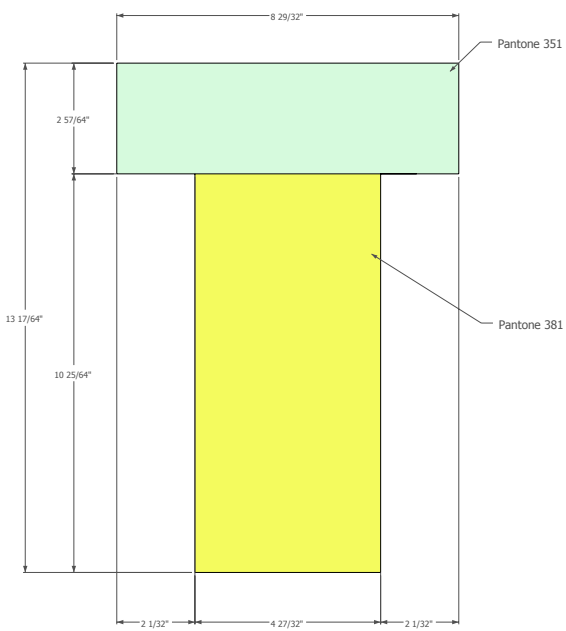
T1 - ELEVATION



T1 - PLAN VIEW



T2 - ELEVATION



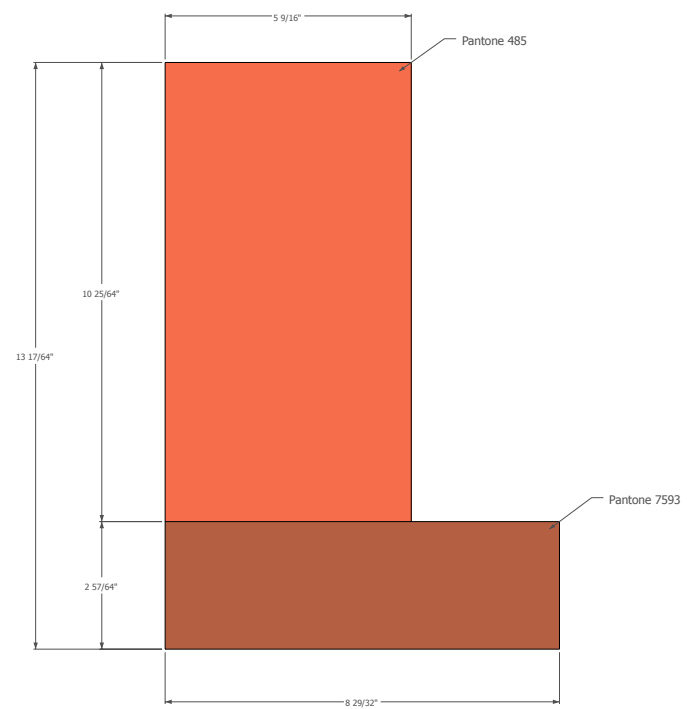
T2 - PLAN VIEW



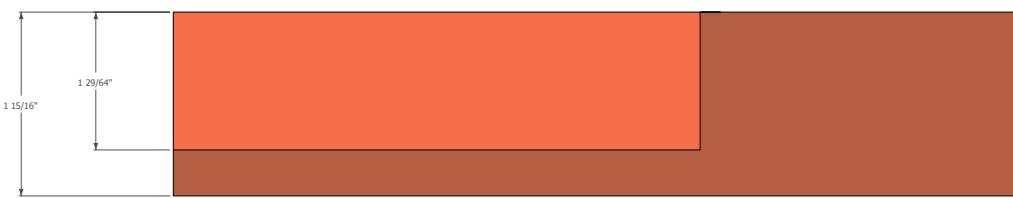
# LITTLE YARD SIGN

## LETTER DETAILS

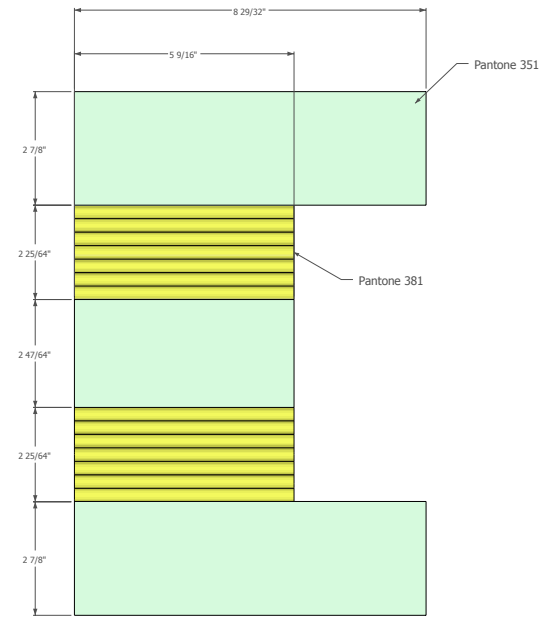
L2 - ELEVATION



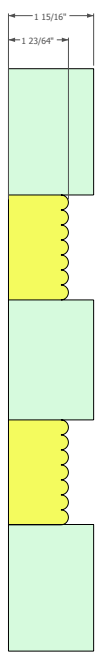
L2 - PLAN VIEW



E - ELEVATION



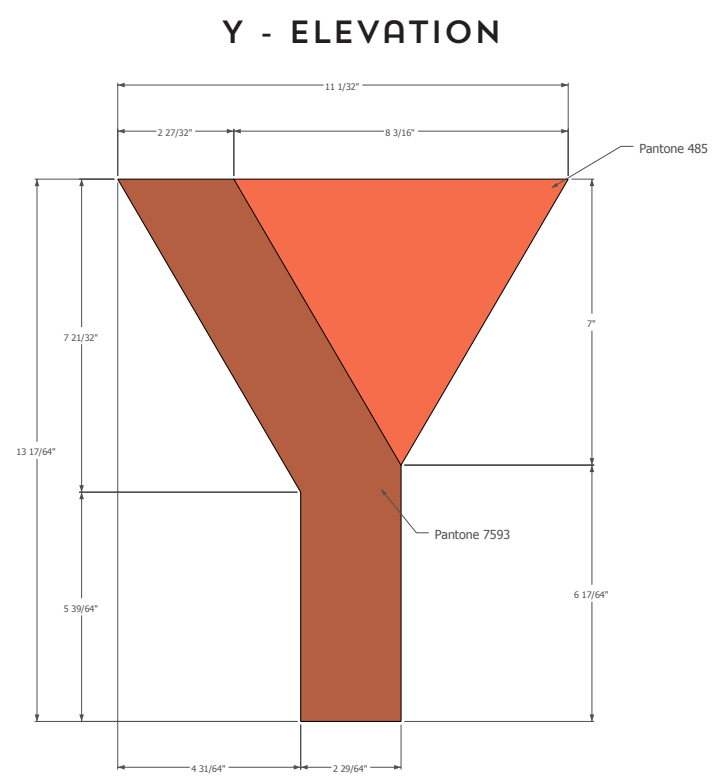
E - PROFILE VIEW



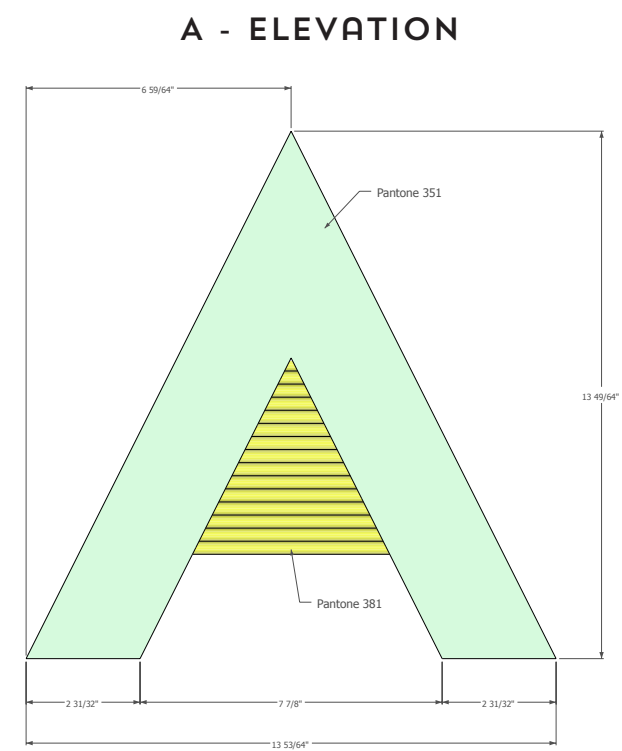
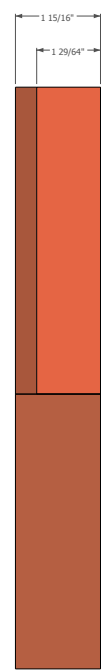


# LITTLE YARD SIGN

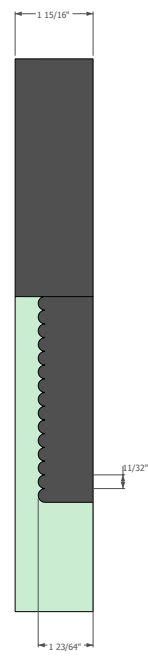
## LETTER DETAILS



Y - PROFILE VIEW

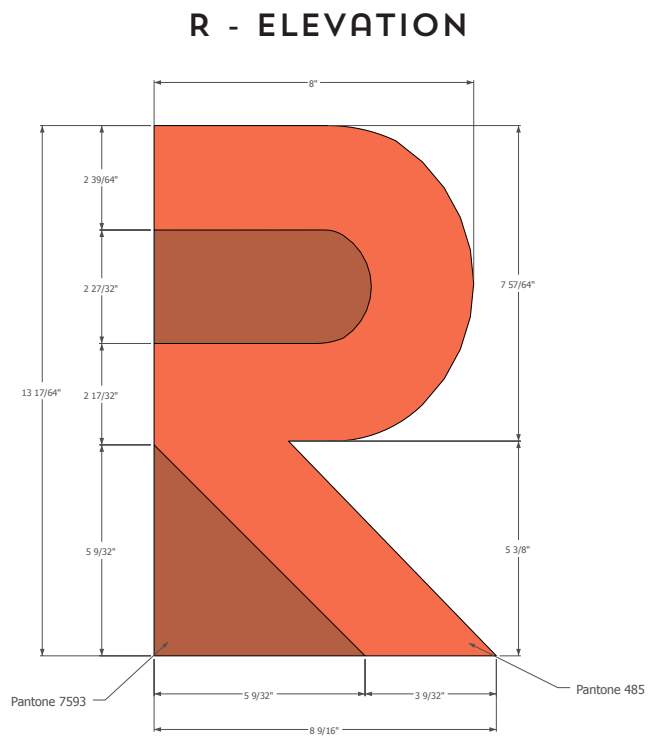


A - PROFILE - SECTION VIEW

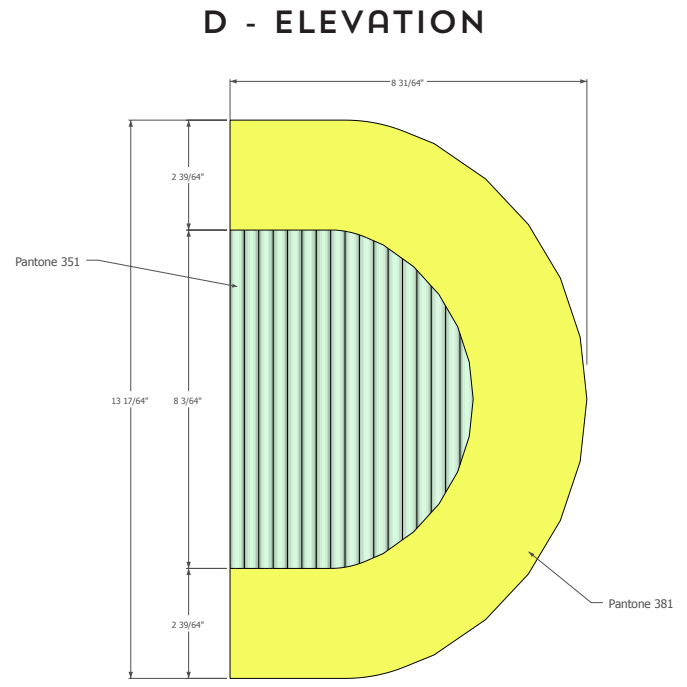
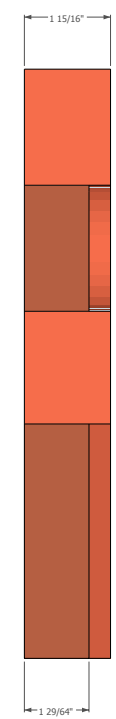


# LITTLE YARD SIGN

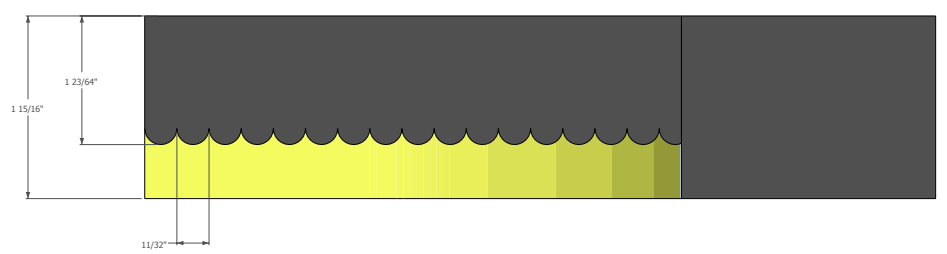
## LETTER DETAILS



R - PROFILE VIEW



D - PLAN - SECTION VIEW



# **LINCOLN YARD**

**2159 E. LINCOLN AVE.**

**EXTERIOR CUT SHEETS**



## Ingrid Chair

\$298.00

Or 4 interest-free installments of \$74.50

Online Exclusive  
Weather-Resistant



No Reviews

COLOR: NATURAL



### Details

Style No. 49812944 ; Color Code: 014

Crafted in a simple, Danish-inspired design from natural teak wood that will beautifully patina over time, this petite perch is a welcome respite for your sun room or shady veranda.

For ordering assistance and more, please [contact us](#). For aesthetic advice and tips to help decorate your space, enjoy our complimentary home styling services.

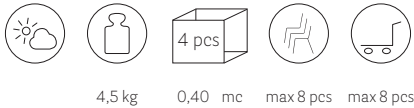
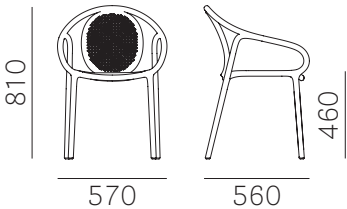
Hide

- Teak wood
- Sealed for protection
- Wipe clean with soft, damp cloth
- This piece is suitable for indoor or outdoor use
- Cover or store indoors during inclement weather or when not in use
- No assembly required
- Imported

### Dimensions

- Overall: 31"H, 22"W, 22"D
- Seat Height: 17.25"
- Seat Depth: 19"

DESIGN  
Eugeni Quitllet



All dimensions are expressed in millimeters.  
Tutte le dimensioni sono espresse in millimetri.

**Remind armchair made in polypropylene charged with glass fibres**  
Poltrona Remind in polipropilene caricato fibra vetro / Armlehnstuhl Remind aus Polypropylen mit Glasfiber / Rückenlehne Remind en polypropylène chargé de fibre de verre / Sillón Remind de polipropileno reforzado con fibra de vidrio

<div>MATERIALS</div> <div>Materiali Materialien Matériaux Materiales</div>	<div>• CHAIR - SEDIA - STUHL - CHAISE - SILLA</div> <div><b>SINGLE MATERIAL, PP - Polypropylene, fiberglass charged, antistatic, UV resistant</b> Monomaterica - Polipropilene, caricato fibra di vetro, antistatico, anti-UV / Einheitlichem material - Polypropylen, mit Fiberglas verstärkt, Antistatisch, Anti-UV / Monomatiere - Polypropylène, renforcé en fibre de verre, antistatique, anti-UV / Material único - Polipropileno, en fibra de vidrio, antiestático, anti-UV</div> <div><b>TECHNOLOGY - TECNOLOGIA - TECHNOLOGIE - TECHNOLOGIE - TECNOLOGÍA</b> <b>Gas-air moulding</b> Stampaggio ad iniezione con gas / Gas-Spritzgießen / Moulage sous injection de gaz / Molde de inyección con gas</div> <div><b>COLOURS - COLORI - FARBEN - COLORIS - COLORES</b> <b>Hammered surface</b> Superficie gofrata / Gaufrierte Oberfläche / Surface gaufrée / Superficie microtexturada</div> <div><div><div>NE</div><div>BE</div><div>GR</div><div>SA</div><div>RO</div><div>VE</div></div></div>
<div>ACCESSORIES</div> <div>Accessori Zubehörteile Accessoires Accesorios</div>	<div>code 775.100__AL</div> <div><b>Trolley</b> Carrello / Wagen / Chariot / Carrito</div>
<div>REGULATIONS AND CERTIFICATES</div> <div>Normative e Certificazioni Bestimmungen und Zertifikat Normatives et certifications Normativas y certificados</div>	<div>According to EN 1728:2013 level 2, extreme EN di riferimento 16139:2013 livello 2, extreme</div> <div><b>Seat and back static load test EN 1728:2012+AC:2013</b> Carico statico sul sedile e schienale EN 1728:2012+AC:2013</div> <div><b>Seat and back fatigue test, 200.000 cycles EN 1728:2012+AC:2013</b> Resistenza a fatica del sedile-schienale, 200.000 cicli EN 1728:2012+AC:2013</div> <div><b>CATAS CERTIFICATE - CERTIFICATO CATAS</b> <b>Test report 264526</b> Rapporto di prova 264526 / Testbericht 264526 / Rapport d'essai 264526 / Prueba n° 264526</div> <div><b>Seating durability test, 20.000 cycles - ANSI-BIFMA X5.1-2017/10</b> Test di resistenza del sedile, 20.000 cicli - ANSI-BIFMA X5.1-2017/10</div> <div><b>Back durability test, 120.000 cycles - Type II and III ANSI-BIFMA X5.1-2017/15</b> Test di resistenza dello schienale, 120.000 cicli - Tipo II e III ANSI-BIFMA X5.1-2017/15</div> <div><b>Backrest strenght test - Static ANSI-BIFMA X5.1-2017/6</b> Test di resistenza dello schienale - Statico ANSI-BIFMA X5.1-2017/6</div> <div><b>Stability test ANSI-BIFMA X5.1-2017/11</b> Test di stabilità ANSI-BIFMA X5.1-2017/11</div> <div><b>CATAS CERTIFICATE - CERTIFICATO CATAS</b> <b>Test report 266692</b> Rapporto di prova 266692 / Testbericht 266692 / Rapport d'essai 266692 / Prueba n° 266692</div> <div><b>100% demountable product - 100% recyclable material</b> Prodotto 100% disassemblabile - 100% materiali riciclabili / Produkt 100% demontierbar - 100% Material recyclingfähig / Produit 100% démontable - 100% recyclable / Producto 100% desmontable - 100% materiales reciclables</div>

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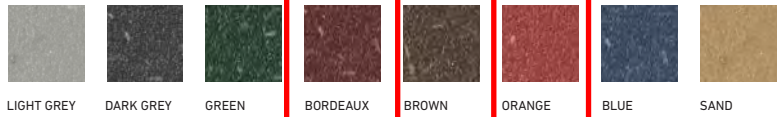


1 INCH RECLAIMED BY JASPER MORRISON, 2018



90% reclaimed wood polypropylene.  
All colors suitable for outdoor use.  
Stacks 10.

W:20.6" D:20.9" H:31.1" SH:18"  
W:52cm D:53cm H:79cm SH:46cm  
WT: 11.5lb WT:5.2kg  
STACKS 10 HIGH



LIGHT GREY DARK GREY GREEN BORDEAUX BROWN ORANGE BLUE SAND

1 INCH CAFÉ TABLE BY JASPER MORRISON, 2017



1 INCH CAFÉ TABLE 24"

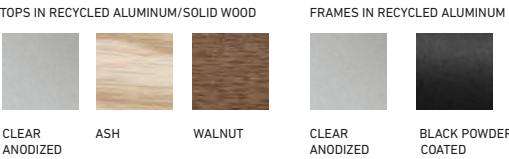
W/D: 24" H: 28.4"  
W/D: 60cm H: 72cm  
WT: 24lb WT: 10.9kg Aluminum top  
WT: 21lb WT: 9.5kg Ash, Walnut top

1 INCH CAFÉ TABLE 30"

W/D: 30" H: 28.4"  
W/D: 76cm H: 72cm  
WT: 27lb WT: 12.2kg Aluminum top  
WT: 24lb WT: 10.9kg Ash, Walnut top

1 INCH CAFÉ TABLE 36"

W/D: 36" H: 28.4"  
W/D: 91cm H: 72cm  
WT: 34lb WT: 15.4kg Aluminum top  
WT: 31lb WT: 14.1kg Ash, Walnut top



TOPS IN RECYCLED ALUMINUM/SOLID WOOD FRAMES IN RECYCLED ALUMINUM  
CLEAR ANODIZED ASH WALNUT CLEAR ANODIZED BLACK POWDER COATED

1 INCH BAR TABLE BY JASPER MORRISON, 2017



1 INCH BAR TABLE 24"

W/D: 24" H: 43"  
W/D: 60cm H: 109cm  
WT: 26lb WT: 11.8kg Aluminum top  
WT: 23lb WT: 10.4kg Ash, Walnut top

1 INCH BAR TABLE 30"

W/D: 30" H: 43"  
W/D: 76cm H: 109cm  
WT: 29lb WT: 13.2kg Aluminum top  
WT: 26lb WT: 11.8kg Ash, Walnut top



TOPS IN RECYCLED ALUMINUM/SOLID WOOD FRAMES IN RECYCLED ALUMINUM  
CLEAR ANODIZED ASH WALNUT CLEAR ANODIZED BLACK POWDER COATED

# THE NOVEL COLLECTION

The Novel Collection from Stori Modern is a study in contradictions. Dark wicker slats invite you in for a closer look like open window blinds. You know you shouldn't, but...why not? Closer inspection reveals that each piece has been meticulously woven to a tubular steel frame, which curves seductively beneath your legs as you sink deeper into the supple cushions. "Have these been here the whole time?", you wonder. They look so new and yet...like they belong here. If only furniture could talk, you think as you kick your other shoe into the pool.

**FURNITURE MADE FOR CONVERSATION**



Novel - Lounge Chair  
38.5w x 36.25d x 33.25h / 19 seat  
Woven HDPE / 47 lbs  
\$1,129



Novel - Ottoman  
38w x 35.5d x 12.75h / 19 seat  
Woven HDPE / 28 lbs  
\$679

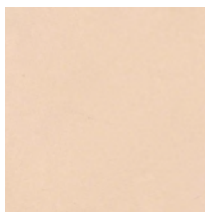


Novel - Loveseat  
60.2w x 36.25d x 33.25h / 19 seat  
Woven HDPE / 65 lbs  
\$1,569

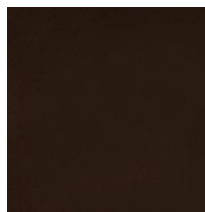


Novel - Coffee Table  
38w x 35.5d x 13.125h  
Woven HDPE / 52 lbs  
\$589

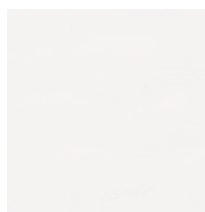
## FRAME COLORS



Beige



Coffee



White

## FABRIC COLORS



Sailcloth Salt



Chartres Flax



Pique Gravel

*Woodard™*



**VALE DINING ARM CHAIR**  
7D0401

Arm Height: 26"

Material: Aluminum  
Height: 37.5"  
Width: 27.25"  
Depth: 30.25"  
Seat Height: 19.5"



# Colfax Lounge Chair

7K0406

*Material: Aluminum*  
*Height: 33.25"*  
*Width: 28.5"*  
*Depth: 31"*  
*Seat Height: 15.25"*  
*Arm Height: 24.25"*



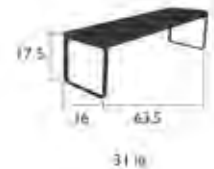
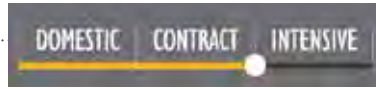
# BELLEVIE

## 8410 - BENCH

DESIGN BY PAGNON ET PELHAÏTRE



Electro-galvanized steel seat  
Aluminum base  
Weight: 31 lbs



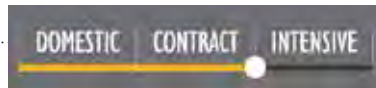
31 lb

## 8415 - BENCH WITH BACKREST

DESIGN BY PAGNON ET PELHAÏTRE



Electro-galvanized steel seat  
Aluminium backrest  
Aluminum base  
Weight: 40 lbs



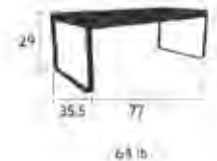
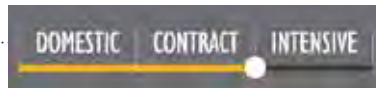
40 lb

## 8420 - TABLE (35.5 X 77 IN.)

DESIGN BY PAGNON ET PELHAÏTRE



Aluminum frame  
Aluminum base  
Weight: 64 lbs  
Product enhancement: Table block provided to encourage water to drain and to reduce the build up of dirt and limescale



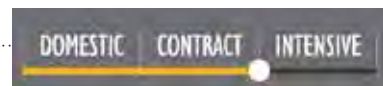
64 lb

## 8450 - LOW TABLE

DESIGN BY PAGNON ET PELHAÏTRE



Aluminum table top  
Aluminum base  
Weight: 31 lbs



31 lb



# BEBOP

5619 - LOW TABLE 35X35 IN. - H. 11 IN.

DESIGN BY TRISTAN LOHNER

NEW

DOMESTIC CONTRACT INTENSIVE



Aluminum table top  
Steel base  
Aluminum tube supporting cross-beam under the table top  
Weight: 23 lbs



5624 - LOW TABLE 35X35 IN. - H. 17 IN.

DESIGN BY TRISTAN LOHNER

NEW

DOMESTIC CONTRACT INTENSIVE



Aluminum table top  
Steel base  
Aluminum tube supporting cross-beam under the table top  
Weight: 29 lbs



5622 - LOW TABLE 48X28 IN. - H. 11 IN.

DESIGN BY TRISTAN LOHNER

NEW

DOMESTIC CONTRACT INTENSIVE



Aluminum table top  
Steel base  
Aluminum tube supporting cross-beam under the table top  
Weight: 25 lbs



5626 - LOW TABLE 48X28 IN. - H. 17 IN.

DESIGN BY TRISTAN LOHNER

NEW

DOMESTIC CONTRACT INTENSIVE



Aluminum table top  
Steel base  
Aluminum tube supporting cross-beam under the table top  
Weight: 31 lbs



# BEBOP

5610 - LOW TABLE Ø 18 IN.

DESIGN BY TRISTAN LOHNER



Aluminum table top  
Steel base  
Aluminum tube supporting cross-beam under the table top  
Weight: 14 lbs



NEW

DOMESTIC

CONTRACT

INTENSIVE



FURNITURE

5613 - LOW TABLE Ø 24 IN.

DESIGN BY TRISTAN LOHNER



Aluminum table top  
Steel base  
Aluminum tube supporting cross-beam under the table top  
Weight: 15 lbs



NEW

DOMESTIC

CONTRACT

INTENSIVE



5616 - LOW TABLE Ø 31 IN.

DESIGN BY TRISTAN LOHNER



Aluminum table top  
Steel base  
Aluminum tube supporting cross-beam under the table top  
Weight: 17 lbs



NEW

DOMESTIC

CONTRACT

INTENSIVE



# MARBELLA ALUMINUM RECTANGULAR DINING TABLE

\$1895 - \$2740 REGULAR

**\$1212 - \$2055 MEMBER**



## HIDE DETAILS -

- Crafted of durable, rustproof aluminum
- 72" table seats up to 8
- 84" table seats up to 10
- 96" table seats up to 10
- 108" table seats up to 12
- 120" table seats up to 14
- Our custom-fit outdoor covers are strongly recommended to protect furniture from the elements and minimize aging. [Learn more.](#)

## HIDE DIMENSIONS -

72" Table: 72"L x 42"W x 30½"H  
Top Thickness: 1½"  
Clearance Under Apron: 26"  
Space Between Legs at Ends: 39½"  
Space Between Legs at Sides: 59½"  
Weight: 45 lbs.

84" Table: 84"L x 42"W x 30½"H  
Top Thickness: 1½"  
Clearance Under Apron: 26"  
Space Between Legs at Ends: 39½"  
Space Between Legs at Sides: 71½"  
Weight: 50 lbs.

96" Table: 96"L x 42"W x 30½"H  
Top Thickness: 1½"  
Clearance Under Apron: 26"  
Space Between Legs at Ends: 39½"  
Space Between Legs at Sides: 83½"  
Weight: 55 lbs.

108" Table: 108"L x 42"W x 30½"H  
Top Thickness: 1½"  
Clearance Under Apron: 26"  
Space Between Legs at Ends: 39½"  
Space Between Legs at Sides: 95½"  
Weight: 61 lbs.

120" Table: 120"L x 42"W x 30½"H  
Top Thickness: 1½"  
Clearance Under Apron: 26"  
Space Between Legs at Ends: 39½"  
Space Between Legs at Sides: 107½"

Armchair: 26"W x 23¼"D x 32"H (overall); 17¼"H (seat); 3½"W x 23¾"H (arm); 12 lbs.

Side Chair: 21"W x 23¼"D x 32"H (overall); 17¼"H (seat); 9 lbs.

# MARBELLA TEAK ROUND DINING TABLE

\$2595 - \$4595 REGULAR

**\$1946 - \$3446 MEMBER**



## HIDE DETAILS -

- Crafted of sustainably harvested, premium Grade-A teak using mortise-and-tenon joinery
- Teak is naturally durable and impervious to sun, rain, frost and snow
- If left uncovered, Weathered Teak finish will wear away with exposure to the elements. Once the finish has worn off, the furniture will begin to acquire the beautiful silvery-grey patina that is typical of untreated teak.
- 48" table seats up to 6
- 60" table seats up to 8
- 72" table seats up to 10
- Our custom-fit outdoor covers are strongly recommended to protect furniture from the elements and minimize aging. [Learn more.](#)

## HIDE DIMENSIONS -

48" diam., 29½"H  
Overhang: 8"  
Top Thickness: 1½"  
Clearance Under Apron: 28"  
Space Between Legs: 16"

60" diam., 29½"H  
Overhang: 10"  
Top Thickness: 1½"  
Clearance Under Apron: 28"  
Space Between Legs: 21"

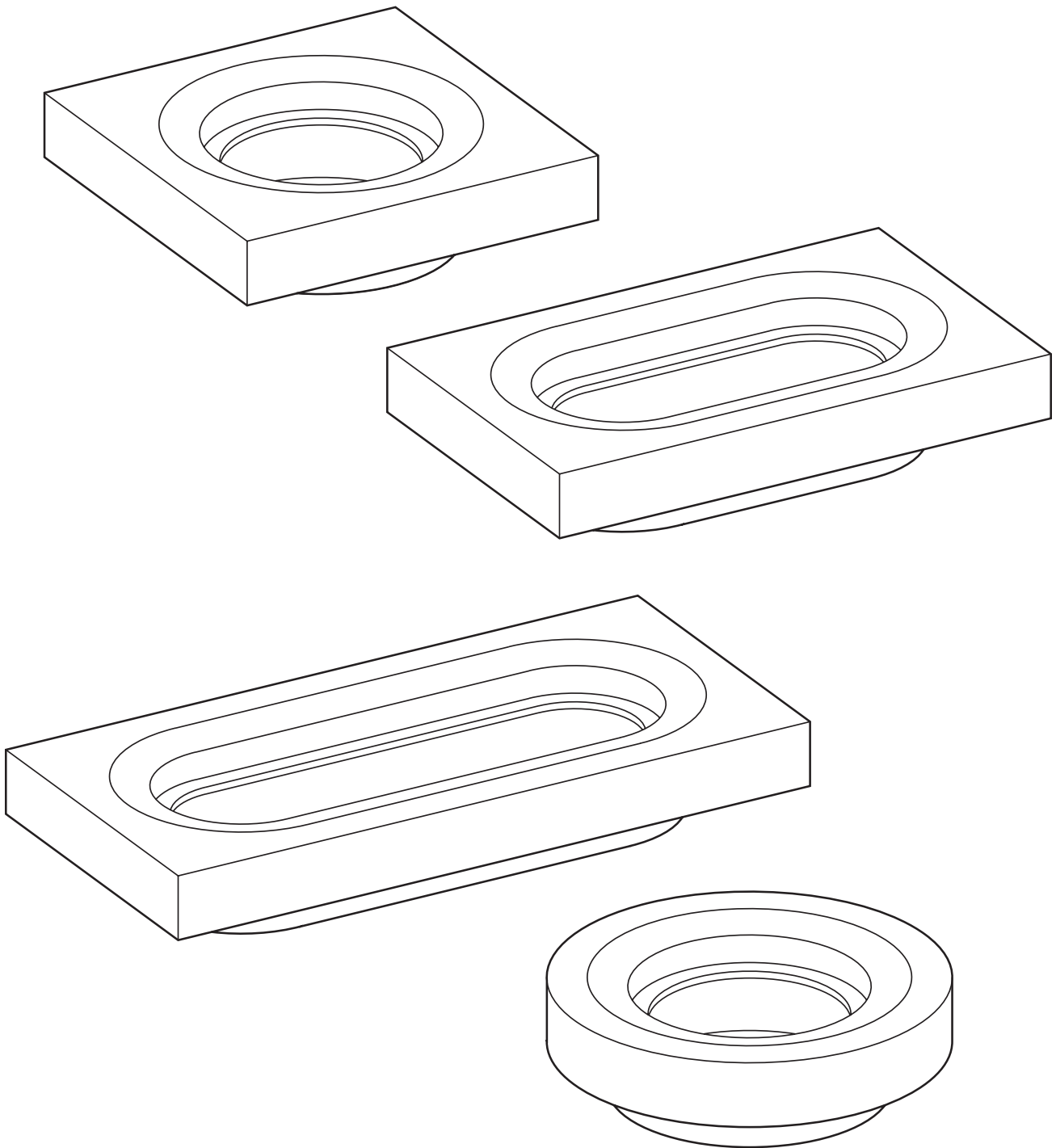
72" diam., 29½"H  
Overhang: 12"  
Top Thickness: 1½"  
Clearance Under Apron: 28"  
Space Between Legs: 24"

# RH

## OJAI FIRE TABLE OWNER'S MANUAL

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MODELS 10007764-10010585





Ojai Fire Tables are manufactured under license by Eldorado Stone®  
For repair and replacement parts, contact Eldorado Stone at 800-925-1491.

Burners comply with:  
ANSI Z21.97/CSA 2.41-2014 *Outdoor Decorative Gas Appliances*



Tested by RADCO, an independent third party testing laboratory, and certified by ICC-ES®, an accredited certification body. The burners in this fire table have been evaluated and certified for both Canadian and USA Markets (CSA Standards). The following information regarding safe operation and maintenance of this appliance is a result of the tests performed by RADCO and certified by ICC-ES.

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SAFETY INSTRUCTIONS

⚠️ WARNING

Do not store or use gasoline, or other flammable vapors and liquids, in the vicinity of this or any other appliance.

An LP-cylinder not connected for use shall not be stored in the vicinity of this or any other appliance.

⚠️ DANGER

If you smell gas:

- Shut off gas to the appliance.
- Extinguish any open flame.
- If odor continues, keep away from the appliance and immediately call your gas supplier or fire department.

⚠️ WARNING

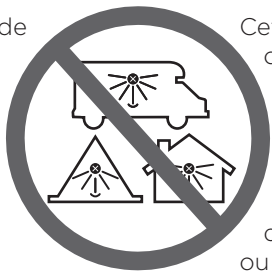
FOR OUTDOOR USE ONLY.

⚠️ DANGER

CARBON MONOXIDE HAZARD

This appliance can produce carbon monoxide which has no odor. Using it in an enclosed space can kill you.

Never use this appliance in an enclosed space such as a camper, tent, car or home.



⚠️ WARNING

Improper installation, adjustment, alteration, service or maintenance can cause injury or property damage. Read all the installation, operating and maintenance instructions thoroughly before installing or servicing this equipment.

⚠️ AVERTISSEMENT

Ne pas entreposer ne utiliser de l'essence ni d'autres vapeurs ou liquides inflammables dans le voisinage de l'appareil, ne de tout autre appareil. Une bouteille de propane qui n'est pas raccordée en vue de son utilisation, ne doit pas être entreposée dans le voisinage de cet appareil ou de tout autre appareil.

⚠️ AVERTISSEMENT

S'il y a une odeur de gaz:

- Coupez l'admission de gaz de l'appareil.
- Éteindre toute flamme nue.
- Si l'odeur persiste, éloignez-vous de l'appareil et appelez immédiatement le fournisseur de gaz ou le service d'incendie.

⚠️ AVERTISSEMENT

POUR USAGE À L'EXTÉRIEUR SEULEMENT.

⚠️ AVERTISSEMENT

MONOXYDE DE CARBONE

Cette appareil peut produire du monoxyde de carbone, un gaz inodore.

L'utilisation de cet appareil dan des espaces clos peut entrainer la mort.

Ne jamais utiliser cet appareil dans un espace clos comme un véhicule de camping, une tente, une automobile ou une maison.

⚠️ AVERTISSEMENT

Une installation, un ajustement, une modification, une réparation ou un entretien inapproprié peuvent être la cause de blessure ou de dommages. Veuillez lire attentivement les instructions d'installation, d'utilisation et d'entretien avant d'installer ou de réparer ce matériel.

⚠️ WARNING

Failure to follow all instructions exactly may result in fire or explosion causing property damage, personal injury or loss of life.

We recommend installation is completed by professionals that are locally licensed by the authority having jurisdiction in gas piping. Follow all local codes.

We suggest that our products be serviced annually by a professional certified in the US by the National Fireplace Institute (NFI) as NFI Gas Specialist.

The burner must be replaced prior to the appliance being put into operation if there is evidence of the burner being damaged. Only use a replacement burner from the original manufacturer.

Failure to position the parts in accordance with diagrams or failure to use only parts specially approved with this appliance may result in property damage or personal injury.

Only use gas/fuel type specified for fire bowl. Verify correct gas/fuel type and pressure by checking label on back side of burner assembly pan. Never use an alternative fuel to include bio-fuel, ethanol, lighter fluid or any other fuel.

CALIFORNIA PROPOSITION 65 WARNING:

Chemicals known to the State of California to cause cancer, birth defects or other reproductive harm are found in and/or created by the combustion of natural gas, propane, butane and other fuels. Always operate this unit as described in the owner's manual and in well ventilated areas.

⚠️ CAUTION

Do not remove the metal data plates attached to the underside of the fire table burner. These plates contain important information.

Do not use charcoal or other solid fuel in gas burning appliances.

Do not use your fire table for cooking. Do not heat any unopened glass or metal container of food in the fire table. Pressure may build up and cause the container to burst, possibly resulting in serious personal injury or damage to the fire table.

Never use the fire table in windy conditions. If used in a consistently windy area, a windbreak will be required. Always adhere to the specified clearances listed in this manual.

Never allow clothing or other flammable materials to come in contact with any hot surface until it has fully cooled. Never wear loose fitting or hanging garments while using your fire table. Fabric may ignite and result in personal injury.

When handling propane gas line and connectors, do not allow them to come in contact with any metal surfaces. Do not drop propane connectors.

⚠️ GAS SAFETY

In the event that a burner goes out, turn burner knobs to the full **OFF** position and let the space air out. Do not attempt to use the fire table until the gas has had time to dissipate.

Propane gas source to the fire table must be regulated. Do not operate if regulator has been removed. Fire or explosion can occur.

⚠️ BURN HAZARD

While the fire table is operating, the outside surface may reach high temperatures which may cause burns.

Never leave children unattended in the area where the fire table is being used. Close supervision of children is necessary when any appliance is used near children. Never leave the fire table unattended when in use.

When using the fire table, do not touch the rock, fire screen, or immediate surroundings, as these areas become extremely hot and could cause burns.

Do not reach over your fire table when hot or in use.

Do not store items of interest to children around or below the fire table.

Never allow children to sit or stand on any part of the fire table.

⚠️ SAFETY

Keep all electrical supply cords away from the heated areas of the fire table.

Clothing or any other flammable materials should not be hung from the appliance, or placed on or near the appliance.

Installation and repair should be done by a qualified service person. The appliance should be inspected before use and at least annually by a qualified service person. More frequent cleaning may be required as necessary. It is imperative that the control compartment, burner and circulating air passageways of the appliance be kept clean.

It is the installer’s responsibility to ensure a safe installation and to educate the end user as to proper operation of the burner unit. Installer must leave the owner’s manual, metal plate with operating instructions, and valve key with the end user.

Read this section before installation. It explains what you need to know about liquid propane and natural gas prior to setting up your fire table.

LIQUID PROPANE

Your fire table is not provided with a propane tank. You will need to provide one. Use the following specifications for purchasing your propane tank.

SPECIFICATIONS

The 2 lb. propane gas supply cylinder is constructed and marked in accordance with the specifications for propane gas cylinders as required by the U.S. Department of Transportation (DOT), *Specifications for LP-Gas Cylinders* or the *Standard for Cylinders, Spheres and Tubes for Transportation of Dangerous Goods and Commission*, CAN/CSA B339, as applicable.

**Manifold Pressure:** For plumbed-in liquid propane installation, use a regulator.

**Supply Pressure:** Maximum line pressure for plumbed-in propane is 14" W.C. psi (3.5 kPa). Minimum line pressure for propane is 11" W.C.

**Pressure Regulator:** The unit must be used with the supplied gas pressure regulator and hose assembly. The regulator will control and maintain a uniform gas pressure in the manifold. The burner orifice has been sized for the gas pressure delivered by the regulator. Replacement pressure regulator and hose assemblies must be those specified in this manual.

**Cylinder Specification:** Any propane gas supply cylinder used with this fire table must be approximately 12" in diameter and 18" high. The maximum fuel capacity is 20 lbs. of propane, or 5 gallons. Full cylinder weight should be approximately 38 lbs. (43.7 lbs. nominal water capacity.) Always use the cylinder dust cap on the cylinder valve outlet during transport and when the cylinder is not connected to the fire table. The 20 lb. propane gas cylinder used must include a collar to protect the cylinder valve.

**Filler Valve:** If you do not have an updated filler valve on your existing propane tank, you will need to purchase one at your local hardware store, as you will not be allowed to refill the tank at any filling station.

**Transporting Gas Cylinder:** Only one cylinder should be transported at a time. Transport cylinder in an upright and secure manner with control valve turned off and the dust cap in place.

NATURAL GAS

Ensure that the service supplying the fire table is fitted with a conveniently positioned shut off valve with easy access. The shut-off valve MUST NOT be inside the appliance!

REQUIREMENTS

Always check the rating plate to make sure the gas supply you are hooking up to is the gas type the fire table is manufactured for.

The installation of this appliance must conform with local codes or, in the absence of local codes, to the *National Fuel Gas Code*, ANSI Z223.1, NFPA 54; *National Fuel Gas Code; Natural Gas and Propane Installation Code*, CSA B149.1; or *Propane Storage and Handling Code*, CSA B146.2, as applicable. Natural gas connection must be performed by a licensed contractor or local gas company representative.

Ensure that the service supplying the fire table is fitted with a conveniently positioned shut off valve with easy access.

PRESSURE	NATURAL GAS	LIQUID PROPANE
MINIMUM	3.5" W.C.	8.0" W.C.
NOMINAL	7.0" W.C.	11.0" W.C.
MAXIMUM	½ psi (14.0" W.C.)	½ psi (14.0" W.C.)

**\* PRESSURE TESTING**

If this fire table is installed with a fixed fuel piping system and equipped with an appliance gas pressure regulator, the fire table and its individual shut-off valve must be disconnected from the gas supply piping system during any pressure testing of the system at test pressures in excess of ½ psi (3.5 kPa).

The fire table must be isolated from the gas supply piping system by closing its individual manual shut-off valve during any pressure testing of the gas supply piping system at test pressures equal to or less than ½ psi (3.5 kPa).

SET-UP

Set-up of your Ojai fire table consists of 4 easy steps:

- 1. Place Fire Table in Desired Location
- 2. Connect Gas Line
  - 2.1 Connection for Liquid Propane
  - 2.2 Connection for Natural Gas
- 3. Perform a Leak Test
- 4. Place Decorative Stone in Fire Table

If you use natural gas, you are responsible for ensuring that a gas line is installed and safe for use. We recommend that a licensed contractor install your fire table.

This appliance, when installed, must be electrically grounded in accordance with local codes or, in the absence of local codes, with the National Electrical Code, ANSI/NFPA 70; or the Canadian Electrical Code, CSA C22.1, if applicable.

1 PLACE FIRE TABLE IN DESIRED LOCATION

OJAI FIRE TABLES ARE DESIGNED FOR OUTDOOR USE ONLY.

Never locate this appliance in a building, garage or other enclosed room, under a sealed overhead structure, or in any enclosed area such as a shed or breezeway. Keep clear of trees and shrubs.

Do not place fire table under or near windows or vents that can be opened into your home.

Maintain sufficient distance as to not overheat any overhead combustible material such as a patio cover. The area surrounding your fire table should be kept clean and free from flammable liquids and other combustible materials such as mops, rags or brooms, as well as solvents, cleaning fluids, and gasoline.

Place your fire table on a flat and stable surface in an outdoor location such as a patio deck. Maintain the following clearances to combustible materials:

- Sides & Back .....48 inches (122 cm)  
*measured from side*
- Top .....120 inches (305 cm)  
*measured from hearth*
- Rubber Feet .....½ inch (1.27 cm)  
*measured from bottom of fire table to flooring surface (for ventilation)*

Do not block the vents located near the base of your fire table as gas may build up in case of leak and cause serious damage.

Do not locate appliance where it can get excessively wet. Do not use this appliance if any part has been underwater. Immediately call a qualified service technician to inspect the unit and to replace any part of the control system and any gas control which has been underwater.

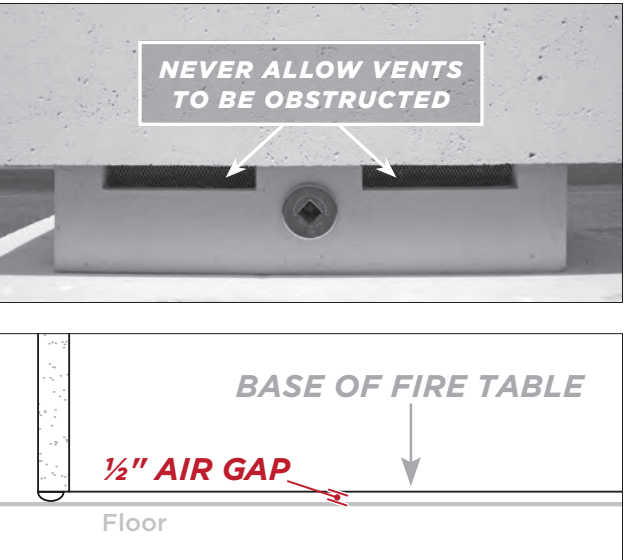
ASSEMBLING FIRE TABLE

- Please use caution when placing your fire table in its final location. Damage can occur if fire table unit is improperly handled during installation.
- Place fire table base in desired location and ensure unit is level.
  - Uncoil gas flex lines secured for shipping and lay flat in the center of the fire table base so they are accessible once the top unit is set in place.
  - Slide the provided rubber bumpers over the top edge of the fire table base. These bumpers have been provided to create a cushion between the base and top of the fire table unit. Space bumpers equally around the top of the base with the higher end on the outside edge and the sloped surface of the cushion facing inward to the inside of the table base.
  - Gently lower the fire table top unit onto the base.
  - Center the top on the base and ensure that its level.

VENTILATION

Fresh air must be able to pass though installed vents to safeguard against residual gas accumulation. Failure to allow proper ventilation may cause fire or explosion. Place the fire table on a solid platform such as concrete to allow air flow through vents located on the side of fire table or underneath the base of the fire table unit. The vents must never be allowed to be obstructed.

Maintain a ½” clearance from the bottom of the fire table to the flooring surface. See figures at right.



2 CONNECT A GAS LINE

LOCATION OF GAS INLET

THIS APPLIES TO BOTH LIQUID PROPANE & NATURAL GAS INSTALLATION.

Your fire table will arrive with the burner and burner plate set in the fire table as shown in *Figure A*. You will need to lift it up to access the gas inlet.

The gas line between the burner and the gas valve located on the side of the fire table will need to be connected. Flared fittings/compression fittings do not require thread sealant. All gas connections must be completed by a licensed gas plumber and leak tested once connections have been completed.

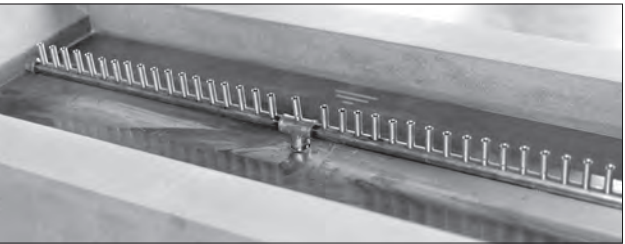


Figure A



2.1 CONNECTION FOR LIQUID PROPANE

*We recommend installation is completed by professionals that are locally licensed by the authority having jurisdiction in gas piping. Follow all local codes.*

Unless you have a permanent liquid propane gas line installed, you will need to run the black liquid propane gas line under the base of the fire table through the air gap space that is located in between the base of the unit and flooring surface. See *Figure B*.

Using a licensed gas plumber, connect the flex line that runs from the gas valve to the burner. Next, connect the propane line from the gas valve to the propane tank, as shown in *Figure C*.

Perform a leak test before replacing the burner plate. (See *page 11*.)

Connect the black liquid propane hose to a gas cylinder. Use a OCC-1 propane connector with a regulator. (See *page 7* for description.)

When you connect the regulator to the tank valve, hand tighten the black OCC-1 nut clockwise. *DO NOT* use a wrench to tighten.

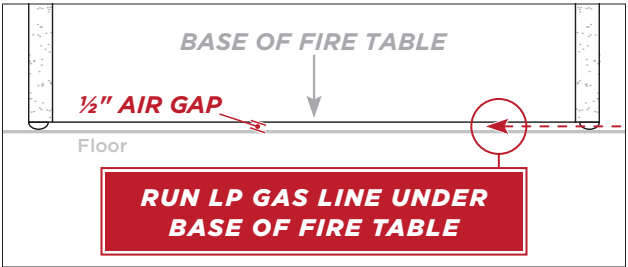


Figure B

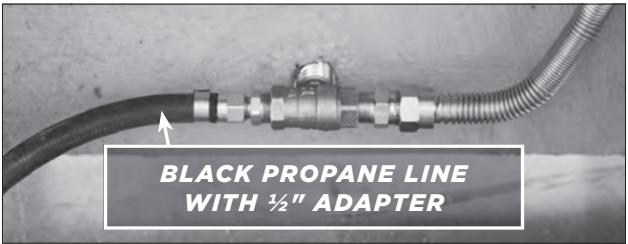


Figure C

2.2 CONNECTION FOR NATURAL GAS

*We recommend installation is completed by professionals that are locally licensed by the authority having jurisdiction in gas piping. Follow all local codes.*

Using a licensed gas plumber, connect the flex line that runs from the gas valve to the burner.

Next, connect the natural gas line from the gas valve to the gas source, as shown in the *Figure D*.

Perform a leak test before you replace the burner plate. (See *page 11*.)

Connect to the gas source.

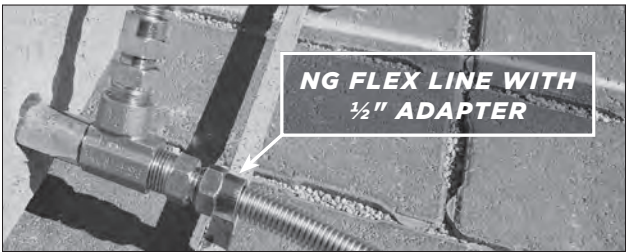


Figure D

3 PERFORM A LEAK TEST

Perform a leak test at least once a year whether the gas supply cylinder has been disconnected or not. In addition, whenever the gas cylinder is connected to the regulator or whenever any part of the gas system is disconnected or replaced, perform a leak test.

As a safety precaution, remember to always leak test your fire table outdoors in a well-ventilated area. Never smoke or permit sources of ignition in the area while doing a leak test. Do not use a flame, such as a lighted match to test for leaks. Use a solution of soapy water.

1. Prepare a leak testing solution of soapy water by mixing in a spray bottle one part liquid soap to one part water.
2. Make sure all the control knobs are in the **OFF** position.
3. Turn on the gas.
4. Apply the leak-testing solution by spraying it on joints of the gas delivery system. Blowing bubbles in the soap solution indicates that a leak is present.

5. Stop a leak by tightening the loose joint or by replacing the faulty part with a replacement part recommended by the manufacturer. Do not attempt to repair the cylinder valve if it is damaged. The cylinder must be replaced.
6. Turn the control knob back to the full **OFF** position.

If you are unable to stop a leak:

7. Turn the control knob back to the full **OFF** position.
8. Shut off the gas supply to the fire table and release pressure in the hose and manifold.
9. On propane systems, remove the cylinder from the fire table.
10. Call an authorized gas appliance service technician or an liquid propane gas dealer.

Do not use the appliance until the leak is corrected.

4 PLACE DECORATIVE STONE IN FIRE TABLE

After you have completed all plumbing installation, you can fill the fire table with the decorative filler material provided.

Type of filler placement, such as lava rock, decorative stone or glass, is entirely your choice according to your preferences, but it needs to be rated for use with fire. It will not affect the operation of the fire table in any way. You can place the filler material on the burner, but no higher than 1" thick. Excessive filler material may impede gas flow and cause gas build-up and potentially cause an explosion.



OPERATING THE FIRE TABLE

WARNING: DO NOT USE SOLID FUEL, SUCH AS WOOD OR CHARCOAL, IN GAS FUELED FIRE TABLES.

Upon completing the gas line connection, a small amount of air will be in the lines. When first lighting the burner, it will take a few seconds for the lines to purge themselves of this air.

Once the purging is complete, the burner will light and operate as indicated in the instruction manual. Subsequent lighting of the appliance will not require purging unless the gas supply has been disconnected.

Inspect the gas hose before each use of the fire table. If the hose shows evidence of excessive abrasion or wear or if the hose is damaged, it must be replaced before using the fire table.

Inspect the burner before each use of the appliance. If there is any evidence that the burner is damaged, it must be replaced before operating.

Never allow the ON/OFF valve to remain in the open position without placing a burning match on top of the burner *FIRST!*

You must have clear and easy access to the ON/OFF valve *AFTER* the appliance is installed and connected to the gas supply in order to safely turn of the burner.

Make sure the burner is in place prior to using the appliance. If the burner is damaged, install a replacement burner as specified by the manufacturer.

FOR YOUR SAFETY, READ BEFORE LIGHTING

- Before operating the fire table, smell around the appliance area for gas odors. Be sure to smell the surrounding floor area as some gases are heavier than air and will settle on the ground.
- Use only your hand to turn the manual gas control valve. Never use tools. If the valve will not turn by hand, do not try to repair it. Call a qualified service technician. Force or attempted repair may result in a fire or explosion.

LIGHTING INSTRUCTIONS

1. Turn the ON/OFF valve located on the side of fire table completely to the **ON** position.
2. Make sure fuel supply (LP or NG) is properly connected and turned on at the source. This will be either the LP tank or the NG valve.
3. When you hear gas flowing, use either a long stem wooden match or a butane fireplace lighter to place a flame near the burner.
4. If the burner does not light, does not stay lit, or the flame is very low, shut off the gas supply and wait five minutes to allow all fumes to clear. Start again from *Step 1*, making sure all gas valves are completely opened.

TURNING OFF GAS

**For NG Units:** Turn the ON/OFF valve to the **OFF** position at the unit for natural gas unit, then close the valve at the NG source.

**For Propane Units:** Turn the ON/OFF valve to the **OFF** position at the unit and then close the valve on the propane tank.

NOTE

The propane regulator in this appliance is equipped with a low flow protection device. Unless the propane cylinder valve is opened before the valve, the gas flow will be reduced resulting in a very small flame.

To reset this device, shut off the valve, disconnect the hose from the cylinder to relieve the pressure, then close the propane cylinder valve.

TROUBLESHOOTING

PROBLEM	POSSIBLE CAUSES	REMEDY
Will not light	Air in gas line	If new install, may take several attempts to purge air
	Debris in gas line	Confirm gas line is clear (no insulation, dirt, plastic, excessive pipe sealer, etc.)
	Improper gas pressure	Confirm proper gas pressure
Will not stay lit	Improper gas pressure	Confirm proper gas pressure
	Improperly applied media	Review media application
Noise <i>Note: The movement and combustion of gas will create low, unavoidable levels of noise.</i>	Passage of air/gas across irregular surfaces	Remove any tight bends or kinks in gas supply line
	Excessive gas pressure on natural gas units	Check or reset gas regulator pressure
Unit is smoking/sooting excessively <i>Note: It is natural and unavoidable for appliance sets to produce moderate levels of carbon (soot) where flames contact the media</i>	Poor fuel quality	Contact local natural gas company
	Excessive flame impingement or blockage	Separate the media to allow more flame passage
	Improper fuel and/or air mixture	Remove any foreign items from the flame pattern and check for proper orifice sizing
Burner flame is too low or too high	Incorrect gas supply or pressure	Check for proper gas supply pressure
	Blocked burner orifice or burner ports	Free burner orifice and burner ports of any debris or blockage
	Improper burner orifice size	Verify proper burner orifice sizing
Unit produces unwanted odors	Gas leak, see <i>Warning Statement</i>	Check for and seal all gas leaks

## CLEANING, MAINTENANCE & STORAGE

### **CLEANING**

Inspect the appliance before initial use. Clean the appliance at least annually and have it inspected by a qualified field service person.

Periodically examine the burner. If the burner is dirty, clean it with a soft wire brush. Also examine the area around the burner air shutter. Remove any dirt or debris in this area. This will ensure long life and trouble-free operation.

The easiest way to clean the fire table burner is to let it cool completely and spray the enclosure off with water. *DO NOT* spray water directly onto the burner.

For routine cleaning of the fire table, wipe down with a damp cloth or sponge. Avoid using any cleaners as they may contain chemicals or color that could cause discoloration. To remove stains, use a Marble or Granite stain remover available at any home improvement store.

When not in use and after cooling, cover your fire table with a full length cover. The cover will help protect your fire table from detrimental effects of weather and environmental pollutants.

Before placing the cover on the fire table, make sure the unit is shut off, the gas lines are disconnected and that the unit has had sufficient time to cool. Install the cover and use the tie-down straps to secure it tightly to the unit to prevent wind from blowing it off.

More frequent cleaning may be required as necessary. It is imperative the control compartment, burner and circulation air passageways of the appliance be kept clean and free of obstruction.

### **MAINTENANCE**

Periodically check the hose connecting the propane gas cylinder to ensure it is not cracked or damaged in any way. All natural gas hook-ups should be serviced and inspected only by qualified installers.

Spiders and insects can nest in the burners and block the gas and airflow to the burner ports. This creates a dangerous condition that can result in a fire from behind the valve panel. Inspect and clean the burners periodically.

Any guard or other protective device removed for servicing must be replaced prior to operating the appliance.

If it is evident there is excessive abrasion or wear of any of the components, or if the fuel supply hose is cut or cracked, the damaged part must be replaced prior to the appliance being put into operation.

Inspect the fuel supply connection for signs of leakage (including the hose for propane models) before each use of the appliance.

Do not repair or replace any part of your fire table. Have a qualified technician perform all service. Any repairs made by a non-approved service technician will void your warranty.

### **STORAGE**

When your fire table is not in use, turn off the gas at the source.

This appliance can be stored indoors only if it has been disconnected from its fuel supply.

Store propane cylinders outdoors in a well-ventilated area out of reach of children. Disconnected cylinders must have threaded valve plugs tightly installed and must not be stored in a building, garage, or any other enclosed area.

To extend the life of your fire table, protect and cover it from the elements when not in use. Ensure the appliance has ample time to cool off after use and prior to installing storage cover. Damage caused to storage cover due to heat or burns are not covered by warranty.

## WARRANTY

### **FIRE TABLE**

The fire table is warranted to be free from defects in material and workmanship for one year from the date of purchase.

If a part proves to be defective under normal use, the part will be repaired or replaced. Our obligation under this warranty is to repair or replace defective parts at our discretion. If we determine that repair of a covered item is not feasible, we reserve the right to replace the defective merchandise with merchandise equal in value to the original purchase price. Warranty repair or replacement is the sole discretion of Eldorado Stone and this warranty does not cover costs therein, including but not limited to: freight, removal, re-installation, etc.

There will be no charge for parts on a covered item; however, cost of labor is the responsibility of the owner. Shipping and handling charges will apply to all warranted replacement parts. The service agent may assess a reasonable travel or mileage charge per service call.

This limited warranty applies only to fire tables normally used for personal, family, or household purposes and specifically excludes rental or commercial applications.

This warranty is non-transferable.

Decorative stones and decorative glass are not covered by this warranty.

This warranty is void if the fire table has been subject to negligence, alteration, misuse, repairs, dings, dents, scratches, or incorrect and/or prohibited applications as specified in the owner's manual.

Natural gas lines must be installed by a licensed plumber only or local gas company agent.

The original purchaser acknowledges and agrees that this product is a handmade, hand-finished product. Each piece is unique. Any samples provided are typical of texture, finish, individual characteristics, and color but they should not be considered exact representations of the final product. There can be up to a 15% variation in color and texture from piece to piece. In addition, shape detail can vary as much as ¼" in size. The texture created by entrapped air ranges from smooth to randomly indented. Minor chipping, water staining, and non-structural hairline cracks are also traditional characteristics of this product. As with natural stone, color will vary on individual orders and among individual pieces in the same order. As with natural stone, excessive heat exposure may cause discoloration. As fire tables age, color may lighten or darken according to specific field or storage conditions such as humidity, temperature, and exposure to sunlight.

### **BRASS BURNER**

Manufacturer warrants the burner to be free from defective material and workmanship for 10 years from the date of purchase. The burner warranty covers manufacturing defects only and does not cover defects due to normal wear and tear; it does not warrant any product or part that has been altered, accidentally damaged, damaged in shipping, disassembled, modified, misused, neglected, failure to maintain, not installed, or not kept in continuous service after installation. Manufacturer's liability shall be restricted to the purchase price of the product only and makes no other warranty, express or implied, but not limited to, the implied warranties of salability and appropriateness for a specified purpose, with respect to its products and parts, whether used along or in combination with others. Manufacturer is free of liability for any damages caused by the unit, as well as inconvenience expenses, material or labor charges incurred by any service call, repair, removal or re-installation of any unit. Incidental or consequential damages are not covered by this warranty. All burners must be covered when not in use or warranty is null and void. Warranty does not cover damage to systems due to debris in the gas lines or damage to system due to water.

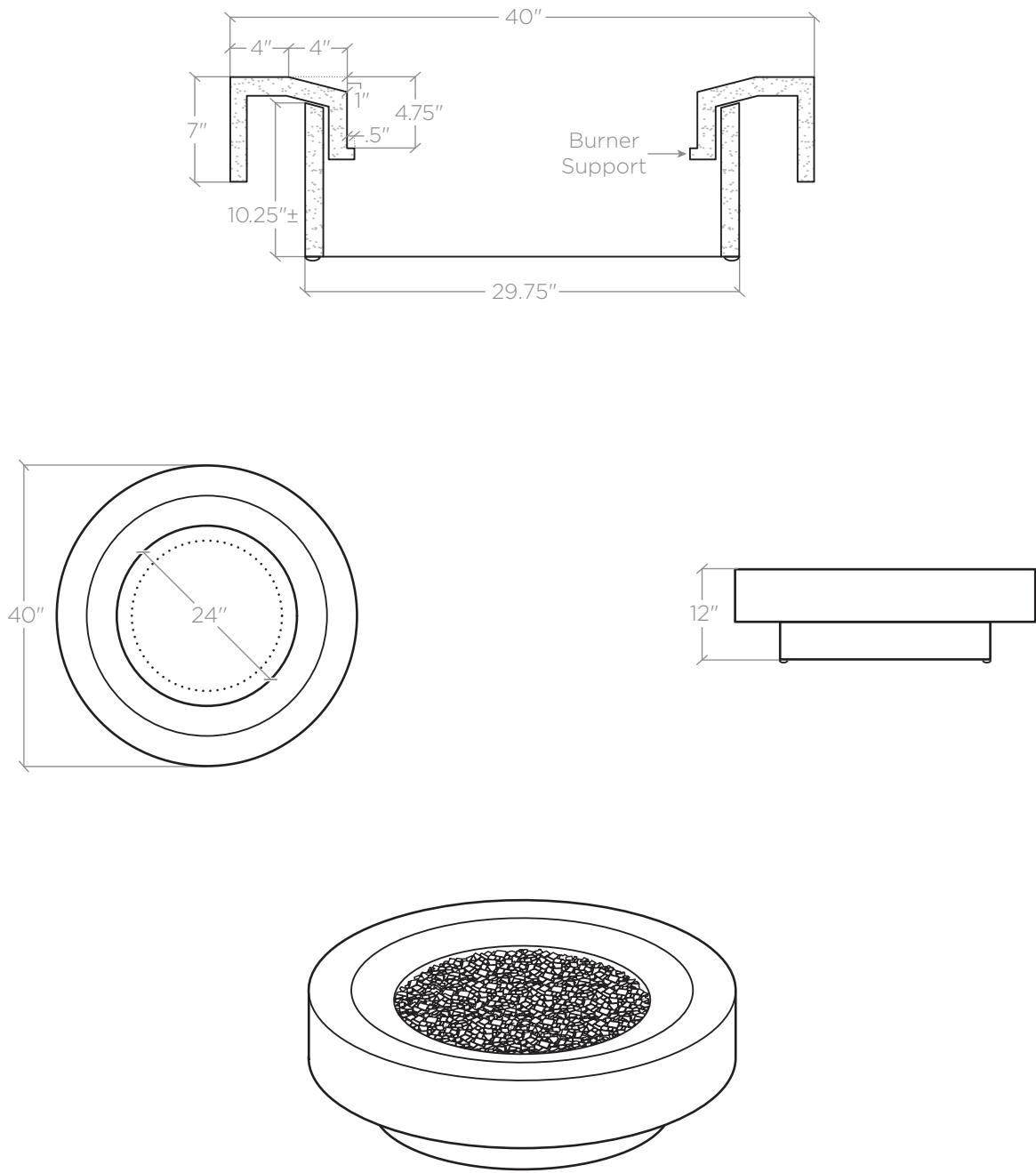
Owner is responsible for reading and understanding warranty for full terms and conditions. Manufacturer, at its discretion, agrees to repair or replace defective product if returned to manufacturer within the warranty period. The respective warranty time periods are effective from the original date of purchase. The warranty is non-transferable and applies only to the original purchaser. In addition, this warranty is automatically void if the unit's serial number has been removed or altered in any way.

No dealer, distributor, or other person has the authority to represent or warrant burner product beyond the terms contained within this warranty, and manufacturer assumes no liability for such warranty representations. Any questions concerning this warranty should be directed to the manufacturer's corporate office.

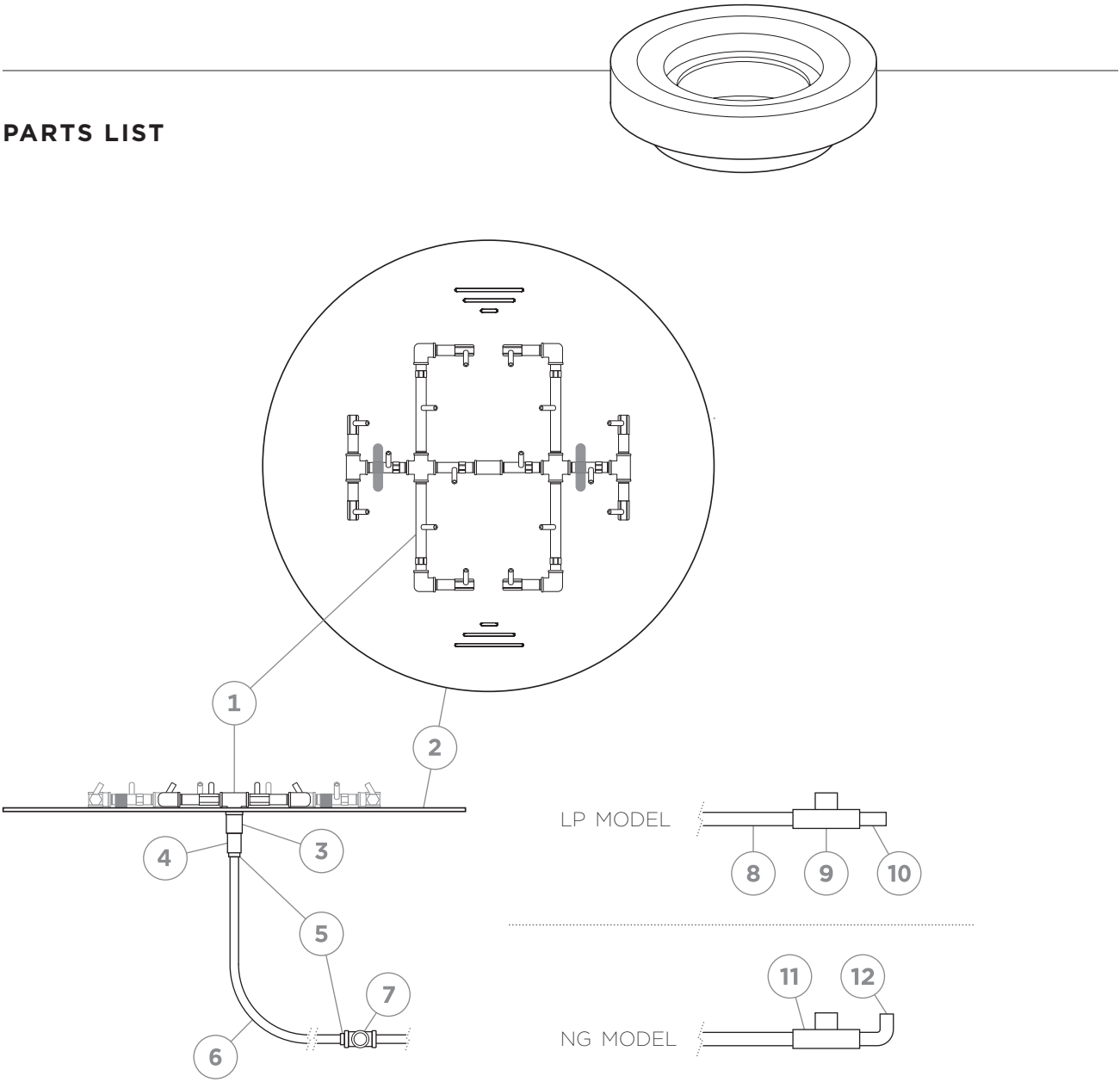
### **RETURN POLICY OF BURNER PRODUCT**

Any burner product deemed by manufacturer as defective and covered by the warranty may be returned to manufacturer for assessment to determine if repair or replacement is necessary. In order to return a product, you must have a Return Merchandise Authorization number (RMA#). Please contact a manufacturer representative at the corporate office to obtain an RMA#. All returned merchandise must have the RMA# clearly printed on the outside of the package. Return shipping costs are the purchaser's responsibility. Manufacturer is not responsible for product damaged or lost in transit. It is recommended that return items are shipped via a delivery service that can be tracked and/or insured to confirm receipt.

DIMENSIONS



PARTS LIST



ITEM NO.	PART	QTY.
1	14¾" × 13" Burner	1
2	23⅝" Diameter Burner Plate	1
3	½" Coupling	1
4	2" Orifice Fitting	1
5	½" Male Flared Fitting	2
6	½" Flex Hose—3' Length	1
7	Key Valve	1
—	72" × 36" Fire Table	1
—	Gas Valve Key	1

ITEM NO.	PART	QTY.
—	Lava Rock	1
—	Vinyl Cover	1
LP MODEL ONLY		
8	⅝" Propane Hose—10' Length	1
9	70,000BTU LP Regulator	1
10	½" Quick-Connect Fitting	1
NG MODEL ONLY		
11	70,000BTU NG Regulator	1
12	Street 90	1





# Veradek Metallic Series Long Box Planter - Corten Steel

by [Veradek](#)

## Specifications

Assembly	No Assembly Required
Brand	Veradek
Capacity	14 gal. 21 gal. 37 gal.
Color	Orange Gray
Commercial Grade	Yes
Design Style	Industrial
Dimensions	24" x 11 1/2" x 14 1/2" 24" x 11 1/2" x 14 1/2" 24" x 14 1/2" x 14 1/2"
Drainage Hole	Yes
Feature	Drainage Hole
Finish	Black Powder Coat Rust
Height (in.)	16 11
Material	Corten Steel
Shape	Rectangle
Specialty	Planters
Style	Commercial Trough
Usage	Indoor Outdoor
Weight	20 lbs. 30 lbs. 15 lbs.
Width (in.)	10 15 11

# Corten Steel Planter Box



## Weights & Dimensions

### 16" Size

Overall Height - Top to Bottom	16"
Overall Product Weight	27 lb.

### 20" Size

Overall Height - Top to Bottom	20"
Overall Product Weight	37 lb.

# Foundry Outdoor 16 inch Dome Shade Hook Arm Wall Light



## Description:

Decidedly industrious, the Foundry Wall Mount Lantern is reinventing purposeful lighting. Focused and direct, the sturdy aluminum shade features knurled brass details to offset the Gloss White, Museum Bronze, or Textured Black finish while casting a uniform light. The simple, understated form plants a vintage aesthetic for both inside and outside spaces. Mounting hardware is hidden on the backplate to ensure a clean silhouette. Back plate: 6 inch diameter. Optional Clear Seedy glass shade available, sold separately.

Shown in: Museum Bronze

List Price: \$461.25  
Our Price: \$369.00

Shade Color: N/A  
Body Finish: Museum Bronze  
Lamp: 1 x A19/Medium (E26)/100W/120V Incandescent  
Wattage: 100W  
Dimmer: Incandescent  
Dimensions: 16"W x 23.75"H x 27"D

Fax: (773) 883-6131

Phone: 866-954-4489

Address: 1718 W. Fullerton Ave. Chicago IL 60614

www.Lightology.com

Product Number: **HIN820523**

Company:		Fixture Type:		Date:	Jul 15, 2019
Project:		Approved By:			

# Foundry Outdoor 12 inch Dome Shade Hook Arm Wall Light



## Description:

Decidedly industrious, the Foundry Wall Mount Lantern is reinventing purposeful lighting. Focused and direct, the sturdy aluminum shade features knurled brass details to offset the Gloss White, Museum Bronze, or Textured Black finish while casting a uniform light. The simple, understated form plants a vintage aesthetic for both inside and outside spaces. Hooked arm available in 2 heights. Mounting hardware is hidden on the backplate to ensure a clean silhouette. Back plate: 6 inch diameter. Optional Clear Seedy glass shade available, sold separately.



Shown in: Textured Black

List Price: \$323.75  
Our Price: \$259.00

Shade Color: N/A  
Body Finish: Textured Black  
Lamp: 1 x A19/Medium (E26)/100W/120V Incandescent  
Wattage: 100W  
Dimmer: Incandescent  
Dimensions: 12"W x 17"H x 20"D

Fax: (773) 883-6131

Phone: 866-954-4489

Address: 1718 W. Fullerton Ave. Chicago IL 60614

www.Lightology.com

Product Number: <b>HIN820503</b>			
Company:		Fixture Type:	Date: Jul 15, 2019
Project:		Approved By:	



# Capsule Outdoor Wall Light



## Description:

The Capsule Outdoor Wall Light has an egg shaped design that will add a unique statement to your outdoor space. Features an Opal frosted White glass globe with a Matte Black finish and Textured Gold band. Available in three sizes. Small: One 60 watt, 120 volt A19 type medium base bulb is required, but not included. 6 inch width x 10 inch height x 7.25 inch depth. Medium: Two 60 watt, 120 volt A19 type medium base bulbs are required, but not included. 6 inch width x 11.25 inch height x 7.25 inch depth. Large: Two 60 watt, 120 volt A19 medium base bulbs are required, but not included. 8 inch width x 13.5 inch height x 9.25 inch height. UL rated for wet locations.

Shown in: Matte Black / Textured Gold / Opal

List Price: \$212.50  
Our Price: \$170.00

Shade Color: Opal  
Body Finish: Matte Black / Textured Gold  
Lamp: 1 x A19/Medium (E26)/43W/120V Incandescent  
Wattage: 43W  
Dimmer: Incandescent  
Dimensions: 6"W x 10"H x 7.25"D

Fax: (773) 883-6131

Phone: 866-954-4489

Address: 1718 W. Fullerton Ave. Chicago IL 60614

www.Lightology.com

Product Number: **CRY592002**

Company:		Fixture Type:		Date:	Jul 15, 2019
Project:		Approved By:			



# Space Age Green Vintage Outdoor Plastic Globe Wall Lamps by Guzzini, 1970s Italy

\$608.71 per item

## About

These eleven green vintage plastic globe wall lamps were designed and executed by Guzzini (Gernsmeier), Italy, 1970s.

The wall lamps were made of green lacquered cast aluminum. Furthermore the globes were made of plastic.

Easy to fix on the wall with two screws.

Very good vintage condition with signs of age and use.

Each lamp shows one E 27 socket.

Approximate measures:

Diameter: 40 cm

Width: 40 cm

Depth: 48 cm

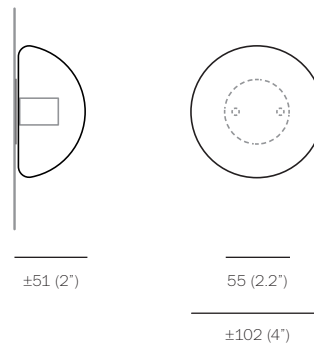
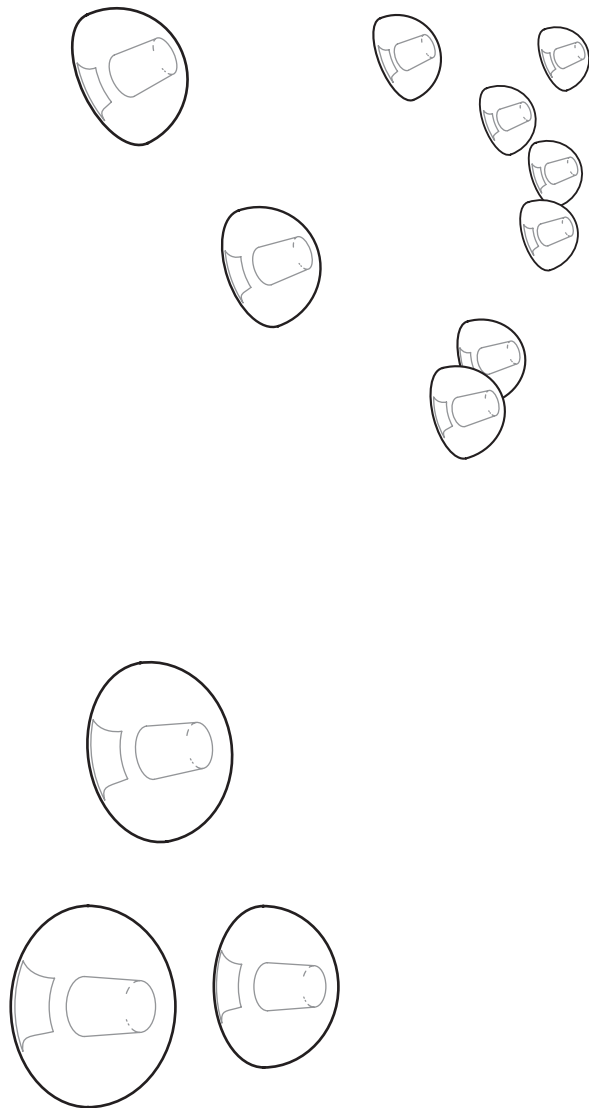
Height: 42 cm

Eleven pieces are available.

[READ LESS](#)

## Details

CREATOR	DATE OF MANUFACTURE	CONDITION	SELLER LOCATION
<a href="#">GuzziniManufacture.com</a>	1970s	Good	Vienna, AT
OF THE PERIOD	PERIOD	WEAR	REFERENCE NUMBER
<a href="#">Space Age</a>	<a href="#">1970-1999</a>	Wear consistent with age and use.	LJN388E9140561
PLACE OF ORIGIN	MATERIALS AND TECHNIQUES	DIMENSIONS	
<a href="#">Italy</a>	Cast <a href="#">Aluminum</a> , <a href="#">Plastic</a>	H: 16.54" in. x W: 15.75" in. x D: 18.9" in. H: 42 cm x W: 40 cm x D: 48 cm	



approx 1kg (2lb)

PENDANTS: one  
 MOUNTING: white powder coated metal mounting plate 55mm (2.2") in diameter  
 LAMPING: 1.5w LED or 10w xenon  
 INSTALLATION: threaded on - wall or ceiling mount  
 MATERIALS: cast glass, electrical components, metal mounting plate  
 WEIGHT: approximately 1kg (2lb)  
 TRANSFORMERS: remote mounted.

#### DESCRIPTION

The 's' designation in this variation on the 14 refers to it being surface-mounted, with transformers mounted remotely. This surface light has a discrete 55mm (2.2") mounting plate designed for installation on walls or ceilings. It is also IP65 designated meaning that the 14s can be used outdoors and in other wet environments.

The 14s is an articulated, seamed cast glass hemisphere with a frosted cylindrical void that houses a low voltage lamp. Individual pendants are visually quite subtle, but gain tremendous strength when multiplied and clustered in large groups.

#### NOTES

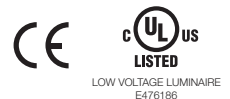
- + Purchase replacement lamps online at [www.bocci.ca/lamps](http://www.bocci.ca/lamps)
- + Unless otherwise noted when ordering, all chandeliers will be outfitted to be xenon compatible.
- + Unless otherwise specified, a single class 2 transformer will be sent for every 5 xenon fixtures or every 12 LED fixtures

US Patent # D556, 361  
 EU Patent # 000518394-0001

Made in Vancouver, Canada

Vancouver  
[sales@bocci.ca](mailto:sales@bocci.ca)  
[www.bocci.ca](http://www.bocci.ca)

Berlin  
[europa@bocci.ca](mailto:europa@bocci.ca)  
[www.bocci.ca](http://www.bocci.ca)



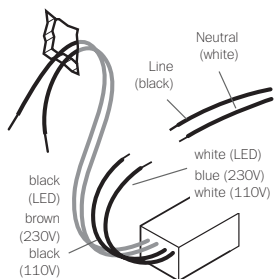
SURFACE LIGHT

# 14s

Design by Omer Arbel  
 PRODUCT SPECIFICATION

© 2018, Bocci Design and Manufacturing Inc. All rights reserved. Any inquiries should be directed to: [info@bocci.ca](mailto:info@bocci.ca)

# BOCCI



1

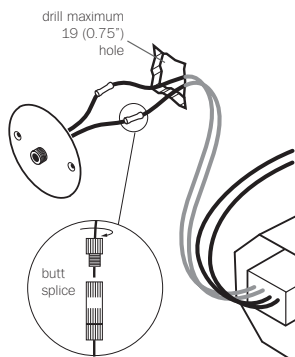
Mount transformer remotely and route output wiring from transformer to surface mounted light location.

Xenon (110V) or LED: connect the black wire to black and white wire to white wire.

Xenon (230V): connect black wire to brown wire and white wire to blue wire.

For multiple surface mount installations, ensure that the braided outer wires are all connected to one 12V output wire and all inner insulated wires are connected to the other or a short will occur.

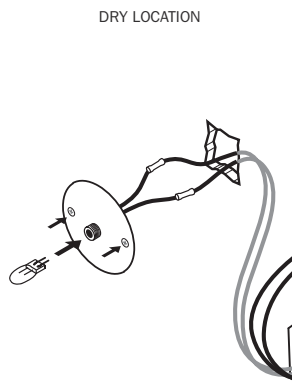
Note: Standard junction boxes are not compatible with the 14s. The surface mounted light cover plate mounts directly to the wall. Transformers must be remote mounted in a close by, accessible and hidden location for ease of long term maintenance. Installation to be done by certified personnel to ensure code compliance.



2

Drill a maximum 19mm (0.75") diameter hole.

Join transformer wiring to back plate wiring using #16 butt splices, provided (stagger the splices).



3

For dry location, tuck wiring into wall opening and affix the back plate with fasteners provided.

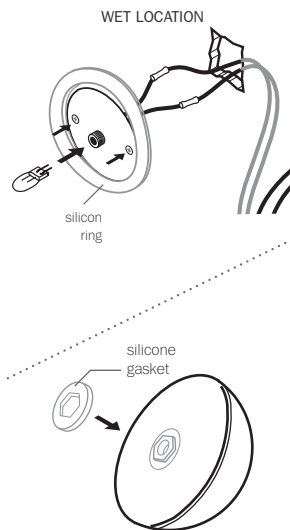
Stagger the provided connectors so that they can be passed through the hole.

Bocci LED or xenon lamps included.

Plug the lamp into the socket.

Do not touch the lamp with your bare hands.

Note: when using a dimmer use only low voltage electronic dimmer.



4

For wet location, install the silicone ring by slightly stretching it to fit around the back plate.

Tuck wiring into wall opening and affix the back plate with fasteners provided.

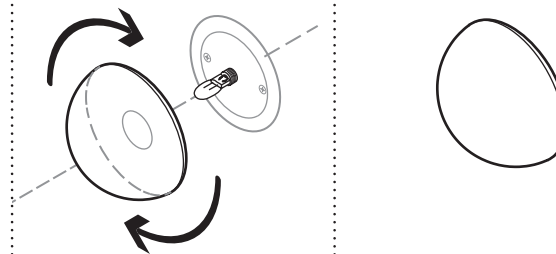
Stagger the provided connectors so that they can be passed through the hole.

Bocci LED or xenon lamps included.

Plug the lamp into the socket.

Do not touch the lamp with your bare hands.

Note: when using a dimmer use only low voltage electronic dimmer.



5

Gently thread cast glass hemisphere onto cover plate. Do not tighten past the point of contact.

6

Clean fingerprints from glass surfaces.

Turn fixture on.

For additional assistance, please contact Bocci:

Vancouver  
sales@bocci.ca  
www.bocci.ca

Berlin  
europe@bocci.ca  
www.bocci.ca

US Patent # D556, 361  
EU Patent # 000518394-0001

Made in Vancouver, Canada



SURFACE LIGHT

14s

Design by Omer Arbel  
PRODUCT INSTALLATION INSTRUCTIONS

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**BOCCI**



Commune Light Socket

\$45.00

Share

Commune Light Socket: Our favorite light fixture...a porcelain socket custom colorized by Commune. Always right. Available in assorted colors. Fits 3 1/4 " - 4" Ceiling Boxes \* Light bulb not included

Red

Purchase



Home / Monica Förster Design Studio / Breaking the Wave / Solid Red



## Breaking the Wave / Solid Red

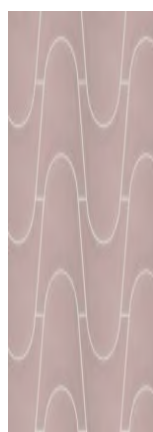
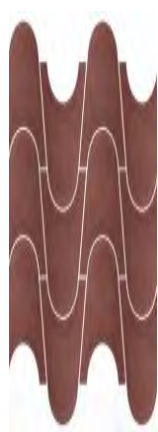
**1,200 SEK**

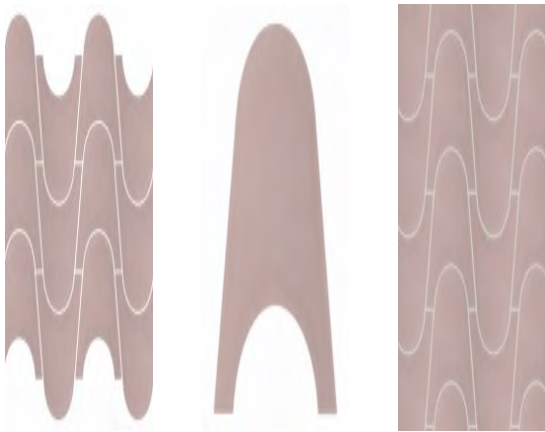
20x18cm, 16mm thick

Sold in boxes of 0,375sqm, 12 tiles. Price  
per box is 450 SEK, including VAT.

Category: [Monica Förster Design Studio](#)

## Related products





## FOUR ELEMENTS / Long Green

1,500 SEK

## FOUR ELEMENTS / Stripes Red

1,500 SEK

Search



Suntuf 

# 26 in. x 6 ft. Polycarbonate Roof Panel in Sea Green



## Specifications

### Dimensions

Coverage Area (sq. ft.)	12 ft <sup>2</sup>	Product Thickness (in.)	.032 in
Product Length (in.)	72 in	Product Width (in.)	26 in

### Details

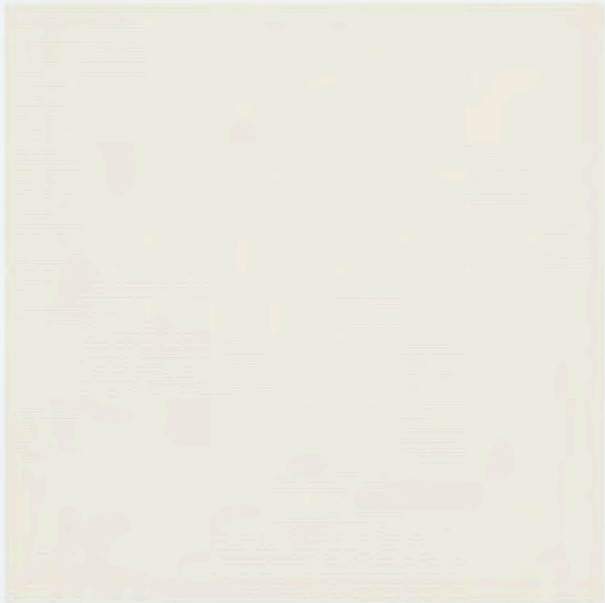
Color Family	Green	Returnable	90-Day
Color/Finish	Green	Roof Panel Type	Corrugated Panel
Material	Polycarbonate	Roofing Product Type	Polycarbonate Panel
Product Weight (lb.)	3 lb		

### Warranty / Certifications

Manufacturer Warranty	Lifetime Limited Warranty / 10-year Hail Damage Warranty	
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Natural Plus 8404-0000 Detailed View



## NATURAL PLUS



### 8404-0000

100% Sunbrella Acrylic

60" / 152 cm width

Selvedge is Left / Right

### COLLECTIONS

[2017-2018 Sunbrella Shade Collection](#)

### CERTIFICATIONS



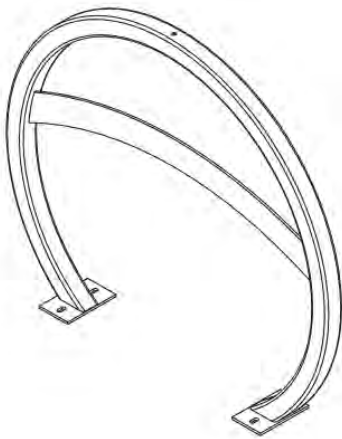
AVAILABLE WIDTHS AND FINISHES

Custom logo option available

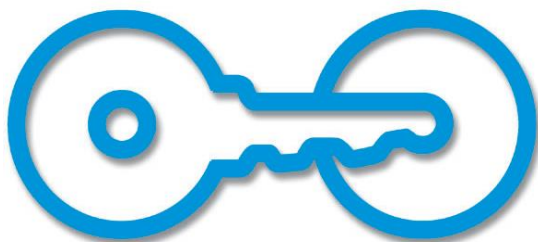
# Arc Rack



Clean, simple, elegant and practical: the Arc Rack parks bicycles with additional flair when more than a plain rack is needed. Square tubing provides function and style with clean geometric lines and resistance to pipe-cutters – a tool of choice among bike thieves.



\*Optional Lean Bar available upon request.



**American Bicycle Security Company**

P.O. Box 7359

Ventura, CA 93006

Ph: (800) 245-3723 or (805) 933-3688

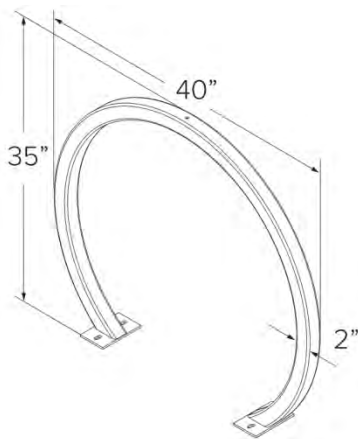
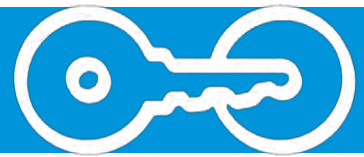
Fax: (805) 933-1865

[www.ameribike.com](http://www.ameribike.com)

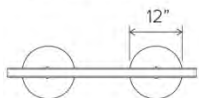
Email: [turtle@ameribike.com](mailto:turtle@ameribike.com)



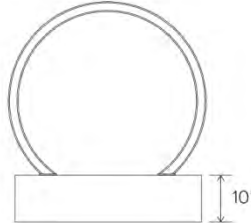
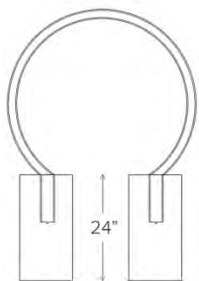
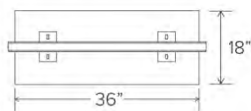
# Arc Rack



IN-GROUND MOUNT



SURFACE MOUNT



Example of rack in use

Product Arc Rack  
Capacity 2 Bikes  
Materials 2" x 2" x 11g square tube  
Finishes Standard options: Galvanized Or Powder Coated



RAL 9005	Flat Black	RAL 9003	RAL 2004	RAL 1023	Bright Yellow
RAL 6016	RAL 6018	RAL 6005	RAL 5005	RAL 5015	Purple
RAL 7011	RAL 7042	RAL 9007	RAL 1001	RAL 8014	Bronze
RAL 3003	RAL 3005				

Also available in Thermoplastic or Stainless steel upon request.

Installation Methods **In ground mount** is embedded into concrete base. Specify in ground mount for this option.

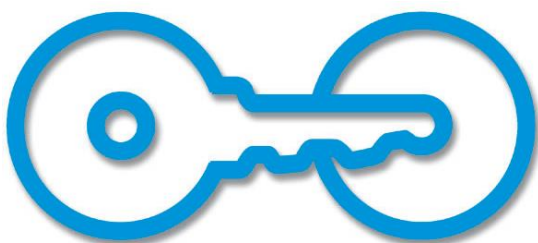
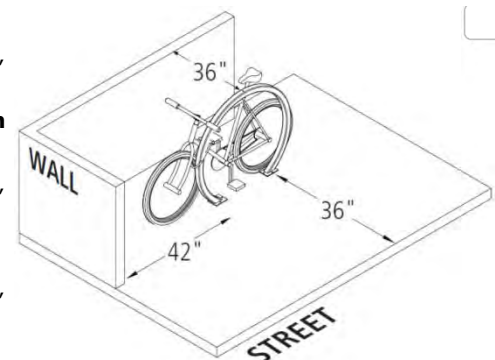
**Foot Mount** has two 3.5"x6"x.25" feet with two anchors per foot. Specify foot mount for this option.

Space Use & Setbacks **Wall Setbacks:**  
For racks set parallel to a wall:  
Minimum: 24"  
Recommended: 36"

**For racks set perpendicular to a wall:**  
Minimum: 28"  
Recommended: 42"

**Distance Between Racks:**  
Minimum: 24"  
Recommended: 36"

**Street Setbacks:**  
Minimum: 24"  
Recommended: 36"



**American Bicycle Security Company**

P.O. Box 7359

Ventura, CA 93006

Ph: (800) 245-3723 or (805) 933-3688

Fax: (805) 933-1865

[www.ameribike.com](http://www.ameribike.com)

Email: [turtle@ameribike.com](mailto:turtle@ameribike.com)

# Arc Rack

## Surface Mounted Installation



### \*Tools Needed for Installation

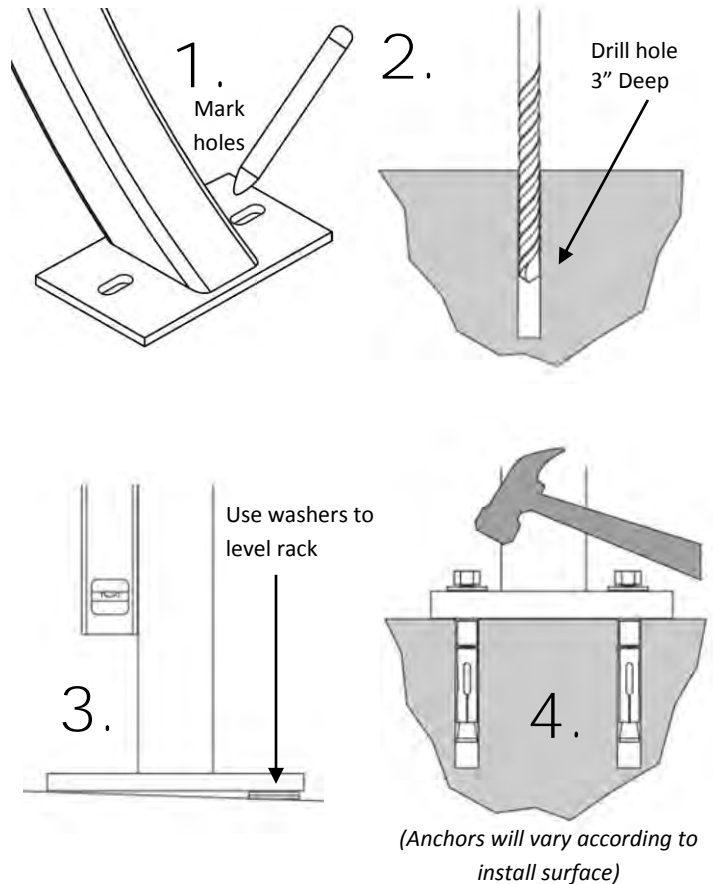
- Tape Measure
- Marker or Pencil
- Masonry Drill Bit
- Drill (*Hammer drill recommended*)
- Hammer
- Wrench 9/16"
- Level

### Recommended Base materials:

Solid concrete is the best base material for installation. To ensure the proper anchors are shipped with your rack, ask your American Bicycle representative which anchor is appropriate for your application. Be sure nothing is underneath the base material that could be damaged by drilling.

### Installation:

3/8" anchors are shipped with the rack. Place the rack in the desired location. Use a marker or pencil to outline the holes of the flange onto the base material. Drill the holes in accordance with the specifications shipped with the anchors. Make sure **the holes are at least 3" away** from any cracks in the base material. Use washers to level rack if necessary. Tap in anchors and follow your specific anchor instructions provided with the rack.



Breakaway Nut

Stainless Tamper-Proof Nut

Triple-slot Nut

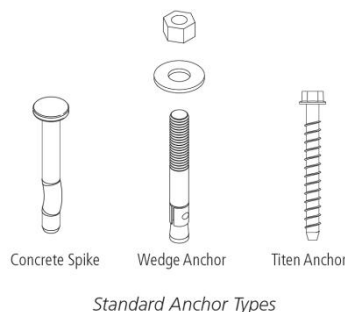
Concrete Spike

### Tamper Resistant Hardware

The concrete spike is a permanent anchor. The top of the wedge anchor can also be pounded sideways after installation so that it cannot be removed. Other tamper resistant fasteners are also available for purchase.

When using the special tamper resistant nuts, always set and first tighten the anchors. Once the rack is installed, replace two nuts from the bracket (opposite sides from each other) with the tamper resistant fastener.

DO NOT OVERTIGHTEN the tamper resistant nut.

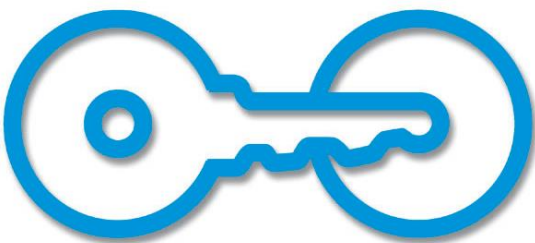


Concrete Spike

Wedge Anchor

Titen Anchor

Standard Anchor Types



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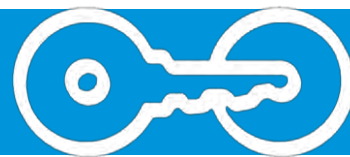
Fax: (805) 933-1865

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# Arc Rack

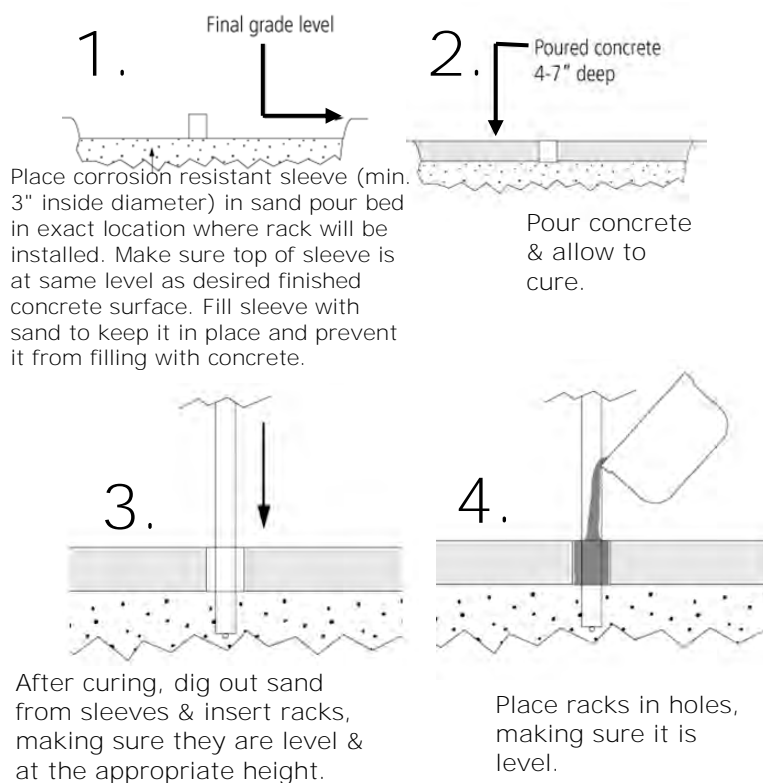
## In-Ground Mounted Installation



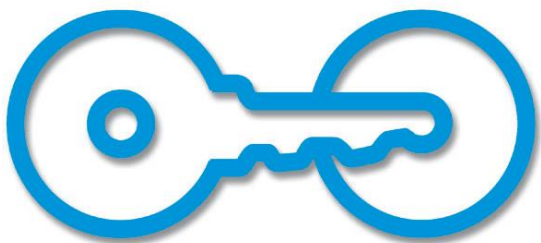
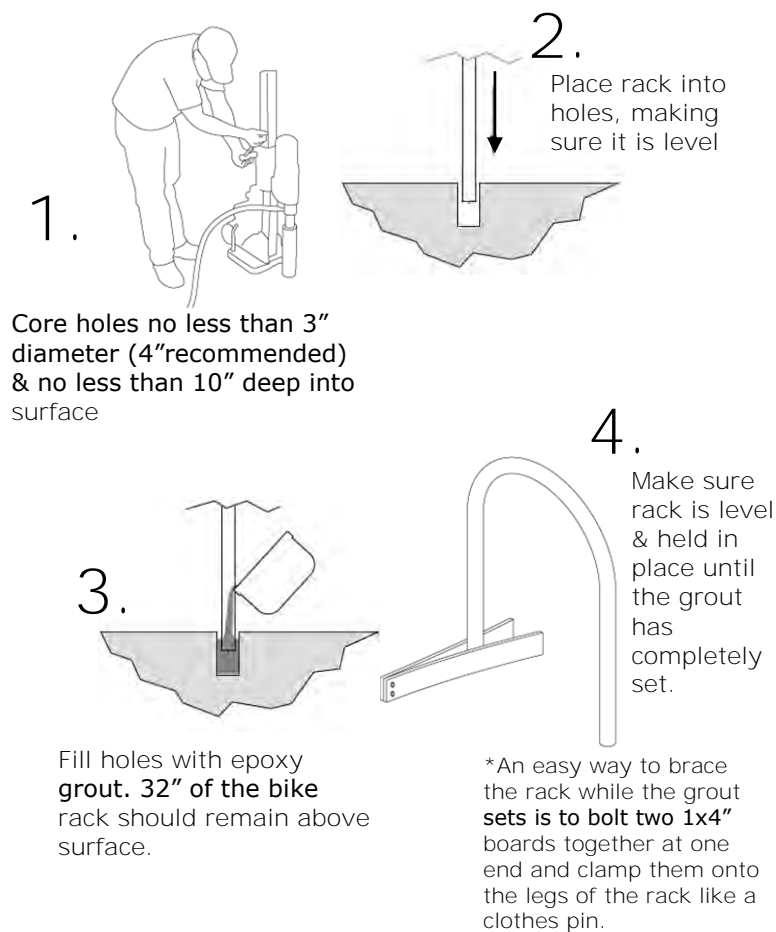
### \*Tools Needed for Installation

- Level
- Cement mixing tub
- Shovel
- Trowel
- Hole coring machine with 4" bit
- Access to water hose
- Materials to build brace

### Installing into New Concrete



### Installing into Existing Concrete



### American Bicycle Security Company

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Email: [turtle@ameribike.com](mailto:turtle@ameribike.com)



### COVENANT DEED

This Covenant Deed is made as of March 28, 2019, by LINCOLN STATION LLC, a Michigan limited liability company ("Grantor"), whose address is 2125 East Lincoln St., Birmingham, Michigan 48009, and 2159 E. LINCOLN LLC, a Michigan limited liability company ("Grantee"), whose address is 90 North Main St., Clarkston, Michigan 48346.

Grantor, for the consideration of \$1.00 and other good and valuable consideration (Transfer Valuation Affidavit filed), grants and conveys to Grantee certain real property situated in the City of Birmingham, Oakland County, Michigan, and described as follows ("Premises"):

Lot 499 (except the West 14.81 feet of Lot 499), also all of Lots 500 through 504, also that part of the vacated Lincoln Avenue adjacent to same, SHEFFIELD ESTATE NO. 1, according to the plat thereof, as recorded in Liber 44, Page 40 of Plats, Oakland County Records.

Commonly known as 2159 East Lincoln St., Birmingham, Michigan 48009

Tax Parcel No.: 20-31-401-008

subject to any and all easements, restrictions and other matters of record and lien of taxes not yet due and payable (collectively, "Permitted Exceptions").

TO HAVE AND TO HOLD the Premises unto Grantee forever, and Grantor does hereby covenant and agree with Grantee that Grantor has not heretofore done, committed or willingly suffered to be done or committed, any act, matter or thing whatsoever whereby the Premises is or shall be charged or encumbered in the title, estate, or otherwise, howsoever except for the Permitted Exceptions, and Grantor hereby binds itself and its successors and assigns to defend the Premises conveyed unto the Grantee, its successors and assigns, forever, against the claims and demands of all persons claiming by, from, or under the Grantor, but against no other claims or persons.

The Premises may be located within the vicinity of farm land or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan Right to Farm Act.

The Grantor grants to the Grantee the right to make ZERO division(s) under section 108 of the Land Division Act, Act No. 288 of the Public Acts of 1967.

[signature and notary page follows]

IN WITNESS WHEREOF, the undersigned has duly executed this Deed as of March 28, 2019.

Lincoln Station, LLC,  
a Michigan limited liability company

By: \_\_\_\_\_

Name: John D. Gaber

Title: Authorized Agent

STATE OF MICHIGAN        )  
                                      ) SS.  
COUNTY OF OAKLAND     )

The foregoing instrument was acknowledged before me on March 28, 2019, by John D. Gaber, the Authorized Agent of Lincoln Station, LLC, a Michigan limited liability company, on behalf of the company.



\_\_\_\_\_  
Notary Public, \_\_\_\_\_ County, MI

My Commission Expires: \_\_\_\_\_

Acting in \_\_\_\_\_ County, MI

<b>When Recorded, Return To:</b>  John D. Gaber, Esq. 380 N. Old Woodward, Suite 300 Birmingham, Michigan 48009 (248) 642-0333		<b>Send Subsequent Tax Bills To:</b>  Grantee		<b>Drafted By:</b>  John D. Gaber, Esq. 380 N. Old Woodward, Suite 300 Birmingham, Michigan 48009 (248) 642-0333	
<b>Tax Parcel:</b>	<b>Recording Fee:</b>  \$	<b>State Transfer Tax:</b>		<b>County Transfer Tax:</b>	

## **CROSS ACCESS AND PARKING EASEMENT AGREEMENT**

THIS CROSS ACCESS AND PARKING EASEMENT AGREEMENT ("**Agreement**") is made as of March 28, 2019, by and between Lincoln Rail, LLC, a Michigan limited liability company ("**Lincoln Rail**"), whose address is 2525 E. Lincoln, Birmingham, Michigan 48009, and 2159 E. Lincoln LLC, a Michigan limited liability company ("**2159 E. Lincoln**"), whose address is 90 N. Main Street, Clarkston, Michigan 48346. Lincoln Rail and 2159 E. Lincoln are referred to herein collectively as the "**Parties**" and individually as a "**Party**."

### **RECITALS:**

A. Lincoln Rail is the owner of improved real property with an office building located at 2525 E. Lincoln, Birmingham, Michigan 48009, legally described on the attached **Exhibit A**, which is incorporated herein by reference ("**Lincoln Rail Parcel**").

B. 2159 E. Lincoln is the owner of real property located at 2159 E. Lincoln, Birmingham, Michigan 48009, immediately east of and adjacent to the Lincoln Rail Parcel, legally described on the attached **Exhibit B**, which is incorporated herein by reference ("**2159 E. Lincoln Parcel**"). The Lincoln Rail Parcel and the 2159 E. Lincoln Parcel are referred to herein collectively as the "**Parcels**" and individually as a "**Parcel**."

C. 2159 E. Lincoln seeks to redevelop the 2159 E. Lincoln Parcel as a restaurant with a liquor license, which will require the approval of a Special Land Use Permit from the City of Birmingham ("**SLUP**").

D. The uses of the Parcels are complimentary with respect to the parking needs of the Parcels, as the parking demand for an office use is typically during the weekdays, while the parking demand for a restaurant use is primarily in the evenings and on weekends.

E. In connection with the redevelopment of the 2159 E. Lincoln Parcel, the Parties have determined that it is in their best interest to grant cross access and cross parking rights to each other to better facilitate the use of their Parcels, on the terms and conditions set forth herein.

NOW, THEREFORE, for and in consideration of the agreements, covenants and easements contained herein, and Ten Dollars (\$10.00) and other good and valuable consideration, the sufficiency of which is hereby acknowledged, the Parties hereto do hereby agree as follows:

OK-AB



1. **Cross Access Easements.** Lincoln Rail and 2159 E. Lincoln, for the benefit of the present and future owners of the Lincoln Rail Parcel and the 2159 E. Lincoln Parcel, and their respective successors, assigns, mortgagees, lessees, employees, agents, licensees and invitees, hereby grant to each other a perpetual, non-exclusive easement for vehicular passage in, on, over and across the driveways on their respective Parcels, as such driveways exist from time to time, for ingress and egress to and from East Lincoln. The owner of each Parcel reserves the right to build or construct any buildings, structures or improvements or to otherwise redevelop or reconfigure its Parcel and to relocate the driveways on its Parcel from time to time.

2. **Cross Parking Easements.**

A. Lincoln Rail, for the benefit of the present and future owners of the 2159 E. Lincoln Parcel, and its respective successors, assigns, mortgagees, lessees, employees, agents, licensees and invitees, hereby grants to 2159 E. Lincoln a perpetual, non-exclusive easement for vehicular parking on sixteen (16) parking spaces on the Lincoln Rail Parcel as shown and labeled as “**Shared Parking Spaces**” on the site plan attached at **Exhibit C**. 2159 E. Lincoln agrees that this parking easement may be used only for parking by employees, customers, and invitees of the owner or occupant of the 2159 E. Lincoln Parcel during the normal hours of operation of the business located on the 2159 E. Lincoln Parcel, which shall be after 5:00pm on weekdays and anytime on weekends. The owner of the Lincoln Rail Parcel reserves the right to build or construct any buildings, structures or improvements or to otherwise redevelop or reconfigure the Lincoln Rail Parcel and to relocate the Shared Parking Spaces on the Lincoln Rail Parcel from time to time, provided that the same number of Shared Parking Spaces are maintained on the Lincoln Rail Parcel. Such easement shall not materially interfere with the use of the Lincoln Rail Parcel by its owners, tenants, or their employees or other invitees.

B. 2159 E. Lincoln, for the benefit of the present and future owners of the Lincoln Rail Parcel, and its respective successors, assigns, mortgagees, lessees, employees, agents, licensees and invitees, hereby grants to Lincoln Rail a perpetual, non-exclusive easement for vehicular parking on sixteen (16) parking spaces on the 2159 E. Lincoln Parcel as shown and labeled as “**Shared Parking Spaces**” on the site plan attached at **Exhibit C**. Lincoln Rail agrees that this parking easement may be used only for parking by employees, customers, clients and invitees of the owner or occupant of the Lincoln Rail Parcel during the normal hours of operation of the business located on the Lincoln Rail Parcel, which shall be from 8:00am to 5:00pm on weekdays. The owner of the 2159 E. Lincoln Parcel reserves the right to build or construct any buildings, structures or improvements or to otherwise redevelop or reconfigure the 2159 E. Lincoln Parcel and to relocate the Shared Parking Spaces on the 2159 E. Lincoln Parcel from time to time, provided that the same number of Shared Parking Spaces are maintained on the 2159 E. Lincoln Parcel. Such easement shall not materially interfere with the use of the 2159 E. Lincoln Parcel by its owners, tenants, or their employees or other invitees.

3. **Term/Termination.** The term of this Agreement and the easements granted herein shall automatically expire, without any further action being required by either Party, in ten (10) years after the date of this Agreement, unless extended by the mutual agreement of the Parties. In

the event the use of the 2159 E. Lincoln Parcel changes in the future such that it no longer requires a SLUP from the City of Birmingham for a restaurant use, then Lincoln Rail may elect to terminate this Agreement by unilaterally executing and recording a termination with the Oakland County Register of Deeds.

4. **Maintenance.** Each Party shall be responsible for Maintenance, at its own cost, of the driveways and parking spaces on its Parcel, in accordance with all laws and otherwise in good condition. For purposes of this Section 4, "**Maintenance**" includes (but is not limited to) sweeping, washing and removal of trash, litter and refuse, removal of snow and ice, painting and striping of parking areas, repair and replacement of paving as necessary. Paved areas shall be maintained in a level, smooth and evenly-covered condition with the type of surfacing material originally installed or such substitute as shall be comparable in quality, use, and durability.

5. **Dispute Resolution.** In the event one Party believes the other Party is overutilizing the easements granted herein to the detriment of the aggrieved Party, then the aggrieved Party may deliver a written notice to the other Party specifying the claims of the aggrieved Party, and the Parties shall meet within 15 days to attempt to resolve their differences. If the Parties are unable to resolve their differences within the following 15 days, then at the request of the aggrieved Party, the Parties shall submit their claim to mediation pursuant to the commercial mediation rules of the American Arbitration Association, and the Parties shall equally share the cost of the mediator. If the Parties are unable to resolve their differences within the following 60 days, then either party may file an action with the Oakland County Circuit Court for injunctive or other equitable relief only.

6. **Covenants Run With Land.** Subject to the provisions of Section 3 above, this Agreement shall run with the land and shall benefit and be binding upon the Parties, and their successors and assigns. This Agreement shall be recorded with the Oakland County Register of Deeds.

7. **No Dedication To Public; No Implied Easements.** Nothing contained in this Agreement shall be deemed to be a gift or dedication of any portion of any Parcel to the general public or for any public use or purpose whatsoever, it being the intention of the parties hereto that this Agreement be for the exclusive benefit of the Parties and any other owners and occupants of the Parcels and that nothing herein, express or implied, shall confer upon any person, other than the Parties and their successors and assigns, any rights or remedies under or by reason of this Agreement. No easements, except those expressly set forth herein shall be implied by this Agreement.

8. **Modification.** This Agreement (including exhibits) may be modified or canceled only by mutual agreement of all Parties as set forth in a written document and which shall be effective upon recording with the appropriate recording office.

9. **Severability.** If any provision of this Agreement or the application thereof to any person or circumstances shall, to any extent, be held invalid, inoperative or unenforceable, the remainder of this Agreement, or the application of such provision, to any other person or

circumstance shall not be affected thereby; the remainder of this Agreement shall be given effect as if such invalid or inoperative portion had not been included.

10. **Applicable Law.** This Agreement shall be construed in accordance with the laws of the State of Michigan.

11. **Entire Agreement.** This Agreement, the Exhibits attached hereto set forth the entire agreement between the Parties governing the Parcels. There are no statements, promises, representations or understandings, oral or written, not herein expressed.

12. **Transfer Taxes.** This instrument is exempt from Michigan real estate transfer tax pursuant to MCL 207.526(a). This instrument is exempt from county real estate transfer tax pursuant to MCL 207.505(a).

13. **Indemnification.** Each Party (“**Indemnifying Owner**”) shall defend, indemnify and hold harmless the other Party (“**Indemnified Owner**”) and its members, managers, shareholders, partners, directors, officers, employees, agents and representatives (collectively, the “**Indemnified Owner Parties**”) from and against any and all liabilities, damages, penalties, judgments, actions, suits, proceedings, claims, demands, assessments, costs and expenses, including without limitation reasonable legal fees and expenses, in connection with injury to person or property sustained by anyone in and about the Indemnified Owner’s Parcel resulting from the use of the easements granted hereby over the Indemnified Owner’s Parcel by the Indemnifying Owner or its tenants, licensees, employees, vendors, contractors, consultants or invitees, unless arising from the wrongful or negligent actions or omissions of the Indemnified Owner.

[signatures on following pages]



The parties execute this Cross Access and Parking Easement Agreement as of the date set forth above.

**Lincoln Rail, LLC,**  
a Michigan limited liability company

By: 

Name: John D. Gaber

Title: Authorized Agent

STATE OF MICHIGAN     )  
  ) ss.  
COUNTY OF OAKLAND    )

The foregoing instrument was acknowledged before me this 28th day of March, 2019, by John D. Gaber, the Authorized Agent of Lincoln Rail, LLC, a Michigan limited liability company, on behalf of the company.





, Notary Public

Oakland County, Michigan

Acting in Oakland County, Michigan

My commission expires: 5/16/2020

By:

Name:

Title:

*[Signature]*

My commission expires: 5/16/2020

KIRA BAYER DOROCAK  
Notary Public - Michigan  
Oakland County  
My Commission Expires May 16, 2020  
Acting in the County of *Oakland*

**EXHIBIT A**  
**Lincoln Rail Parcel**

The following property in the City of Birmingham, Oakland County, Michigan:

The East ½ of Lot 492, also Lots 493 to 498 inclusive, and the West 14.81 feet of Lot 499, also part of vacated Lincoln Avenue adjacent to Lot 499 as vacated by resolutions in Liber 3029, Page 152 and Liber 3029, Page 154, inclusive, of Sheffield Estates No. 1, as recorded in Liber 44, Page 40, Oakland County Records.

Tax Parcel No: 20-31-401-007

Commonly known as: 2525 E. Lincoln, Birmingham, MI 48009



## **EXHIBIT B**

### **2159 E. Lincoln Parcel**

The following property in the City of Birmingham, Oakland County, Michigan:

Lot 499 (except for the West 14.81 feet of Lot 499), also all of Lots 500 through 504 inclusive, also part of vacated Lincoln Avenue as vacated by resolutions in Liber 3029, Page 152 and Liber 3029, Page 154, inclusive, of Sheffield Estates No. 1, as recorded in Liber 44, Page 40, Oakland County Records.

Tax Parcel No: 20-31-401-008

Commonly known as: 2159 E. Lincoln, Birmingham, MI 48009

**EXHIBIT C**

**Site Plan**

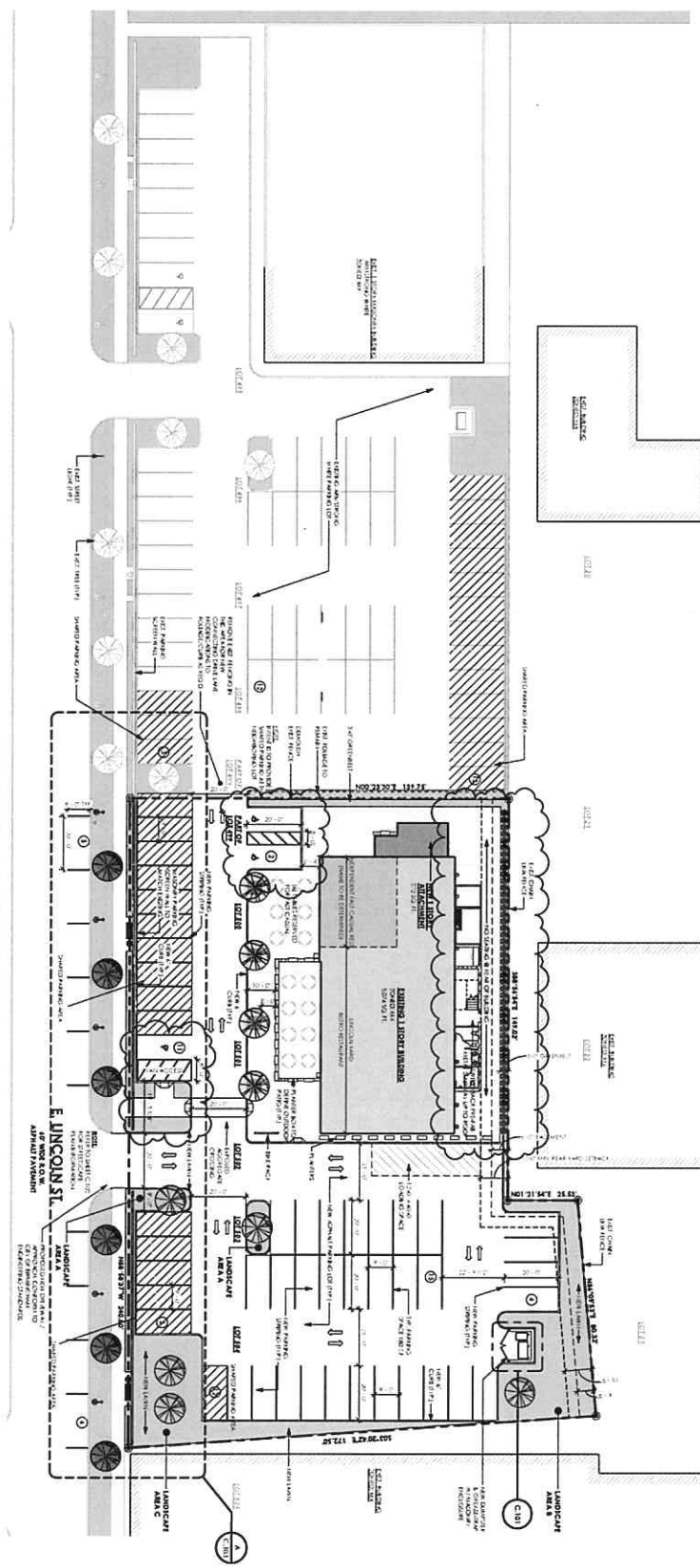
See attached

Issued	Description	By
10/27/10	Initial	SK
11/10/10	Revised	SK
12/10/10	Revised	SK
1/11/11	Revised	SK
2/11/11	Revised	SK
3/11/11	Revised	SK
4/11/11	Revised	SK
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11/31/31	Revised	SK
12/31/31	Revised	SK

**Note:**  
 Do not scale drawings. Use  
 as indicated. All dimensions  
 are in feet and inches.  
 North Arrow:  
 [North Arrow Symbol]



**Sheet Title:**  
 Architectural /  
 Landscape Site  
 Plan  
**Project Number:**  
 16-196  
**Sheet Number:**  
 C.100





09.13.2019

Jana L. Ecker, Planning Director  
Brooks Cowan, City Planner  
City of Birmingham  
Planning Department

Re: 2159 E. Lincoln (Lincoln Yard) Special Land Use – Review Comments

Thank you for your review of the Lincoln Yard project dated 07.22.2019. This letter is to address the following review comments below.

1. *The applicant must apply for a zoning amendment to the parcels eligible for an Economic Development Liquor License in Appendix C, Exhibit 1, and to have Economic Development Liquor Licenses added to Article 2, Section 2.39 MX District, Uses Requiring a Special Land Use Permit of the Zoning Ordinance.*

**The applicant applied for a zoning amendment to the parcels eligible for an Economic Development Liquor License in Appendix C, Exhibit 1 and to have Economic Development Liquor Licenses added to Article 2, Section 2.39 MX District on August 14, 2019. The Planning Board recommended the zoning amendment request on September 11, 2019.**

2. *Details regarding the type and placement of rooftop mechanical equipment must be submitted for Final Site Plan Review.*

**A roof plan drawing (Sheet A.102) which indicates the placement of rooftop mechanical equipment has been provided in this resubmission. Specification sheets of the proposed equipment have also been provided in this resubmission as a separate attachment.**

3. *The applicant will need to provide written legal evidence to the Planning Board that the owner of 2125 E. Lincoln Street has agreed to the shared parking agreement with Lincoln Yard for 16 spaces.*

**The legal documentation for the shared parking agreement between Lincoln Yard & 2125 E. Lincoln St. has been included as a separate document in this resubmission.**

4. *The applicant has not indicated the height of the pole mounted light fixtures. Pole mounted luminaires shall not exceed 16 feet in height.*

**The pole mounting height is 16'-0" for all L4 fixtures, for the L5 street poles they are mounted at 12'-0" to match the existing. Refer to the photometric plan. (Sheet C.103)**

5. *Article 4, Section 4.21(D)(1) requires that all luminaires be full cutoff or cutoff as defined in Section 9.02, and positioned in a manner that does not unreasonably invade abutting or adjacent properties. The applicant must submit new plans with lights that meet the Zoning Ordinance, or apply for a variance from the Board of Zoning Appeals.*

**The applicant is requesting the Planning Board to waive the requirement that all luminaires be full cutoff or cutoff as defined in Section 9.02 in order to allow flexibility in the proposed architectural design. The proposed building lighting scale, color, design and material quality are consistent with the building/site and does not adversely affect other uses & buildings in the neighborhood.**

6. *The patio design indicates the LF6 ceiling mounted light fixture as the main luminaire. This light must be at or above the bottom edge of the canopy's valance. A full review of the lighting and photometric plan will be done for Final Site Plan Review.*

**The LF6 will be a recessed light fixture installed into the underside of the canopy soffit. Refer to the photometric plan.**

7. *The entire building will require fire suppression (A-2 Occupancy).*

**Acknowledged.**

8. *An FDC (fire department connection) to be located on the street side of the building, in an approved, unobstructed location.*

**The location for the FDC is proposed in an unobstructed area on the street side of the building near the entrance to the independent restaurant. (Sheet A.200)**

9. *The building will require a fire alarm system with occupant notification.*

**Acknowledged.**

10. *The proposed fire table will need to be equipped with an attached, study mesh cover to prevent contact with open flames, final approval by the fire marshal.*

**Acknowledged.**

11. *The entire enclosed canopy area with the fire table feature will be required to have fire suppression coverage, due to combustible materials, and an open ignition source.*

**Acknowledged.**

12. *A fire sprinkler system will be required throughout the building and within the covered outdoor dining areas.*

**Acknowledged.**

13. *It appears that a single unisex toilet room is proposed in the independent restaurant area. The Michigan Plumbing Code will require separate men's and women's toilet rooms in this area due to the occupant load.*

**The users of the independent restaurant space will have shared restroom access with the Lincoln Yard restrooms.**

14. *The applicant will need to provide glazing calculations for Final Site Plan review that demonstrate the building meets the Zoning Ordinance Requirements of 70% glazing and 80% VLT for the ground floor façade between 1 and 8 feet above grade.*

**The proposed glazing percentage on the front street elevation from the ground floor façade between 1 and 8 feet above grade is 45%. The applicant is requesting that the 70% glazing Ordinance requirement be waived by the Planning Board to allow flexibility in the proposed architectural design. (Sheet A.200)**

15. *A full signage review will be completed for Final Site Plan Review.*

**Additional detailed building signage information has been provided in this submission for both restaurant spaces as a separate attachment.**

Responses to the August 14<sup>th</sup> Meeting Minutes

- A. *Mr. Share said there must be ample warning to drivers looking to park at Lincoln Yard to be mindful of the pedestrian crossing near the building. He recommended adding a tint to the aggregate to emphasize the crossing. Mr. Jeffares and Planning Director Ecker suggested raising the crosswalk a bit to resemble a speed table could also be beneficial. Mr. Catallo shared enthusiasm for tinting the concrete of the crosswalk and said he would be concerned about snowplows if the crosswalk were raised. He said they just poured tinted concrete at another site and have been pleased with the results. Mr. Catallo said he would bring a photo of the tinted concrete to his next meeting with the Planning Board.*

**The pedestrian crossing that connects the public walk to the southeast entrance was changed from an exposed aggregate to a tinted colored concrete. The applicant provided example photos of the tinted concrete. See separate attachment, Sheet C.100 & A.300.**

- B. *Chairman Clein said he was glad to see this project returning. He recommended Lincoln Yard talk to its neighbors to create community cohesion, and recommended Lincoln Yard be prepared to talk about the economic impact of the project in its application process for the economic development license. Mr. Boyle said that whatever Lincoln Yard or the City could do to facilitate the removal of some of the fences along the block would likely help increase the business' foot traffic. He said it is currently difficult to navigate on foot due to the high number of fences. Mr. Catallo concurred with Mr. Boyle, said his business had good relationships with its neighbors and would be interested in pursuing the removal of some of those fences. Ms. Whipple-Boyce concurred with Mr. Boyle, saying she was glad the project was back and would be enthusiastic about increasing walkability in that area. She also said the design of the project, down to the furniture, was cool and innovative. She said she anticipated the design would bring a lot of people out to check out the space and that she was excited to have the space in Birmingham.*

**The applicant is currently in the process of reaching out to the local neighbors in order to improve the walkability connections between adjacent properties.**



If you have any further comments, concerns, or questions; please do not hesitate to contact me.

Thank you,

A handwritten signature in dark ink, appearing to be 'Jeff Klatt', with a stylized, flowing script.

Jeff Klatt, AIA  
Krieger Klatt Architects, Inc.



AT 2159 E. LINCOLN, BIRMINGHAM







## ***Imagine the kind of comfort food you'd have grown up with***

if your mom lived on a commune outside San Diego and your dad was a biker who raised chickens. There, you've got the picture. Now, imagine that it's in a bustling district of Birmingham that leverages the light-industrial buildings that lined the streets that flanked the rail line on the city's border. Bingo. You've got something that you can only find here: a light-industrial building that serves light-industrial food in a neighborhood that's truly charming. Welcome to Lincoln Yard. This is a joint born from a local restaurant group that was built to repurpose. This is the kind of place that's wide open: in structure ... in menu ... and in attraction. The parents looking for dinner after dropping their Birmingham bantam off for practice? Check.

The digital artist who's looking to take a muffin and a pour-over coffee back to her desk before pouring over the data that awaits her? Check. The kid who bet his best friend a smoothie that he could land an ollie off a transition at the skate park? Check. The couple who met at Midtown Cafe on a Thursday night in '85 and still make it a date every Thursday night? Check, please. This is a former bus garage that has what it takes to be a stop in itself.

# ***THIS IS LINCOLN YARD.***



## ***LINCOLN YARD RESTAURANT***

There's nothing quite like finding something real. In today's dining scene, the majority of patrons find themselves eating in chain restaurants on concrete pad sites or in the mall's corridors. But people want something different: something real. People deserve something that they can call their own, not something that belongs to a home office back in Phoenix. Metro Detroit's burgeoning independent restaurant movement is testament to the ever expanding tastes of American restaurant-goers; and our Joints have been feeding that appetite nonstop since 1995.

Lincoln Yard's restaurant will embody all we've learned from every dish we've served for nearly 25 years: food that is familiar and surprising at the same time. The kind of food that's brought us this far — honest American comfort food with unbridled influence that's all-around real. It's the kind of food that's built for a setting as authentic as Lincoln Yard. From the main area that would serve as the restaurant, to the trelliced patio and grab-and-go area, everything about this undertaking is designed to give the neighborhood a space and experience that feels as if it's been part of the fabric all along.

## ***LITTLE YARD***

The separate entrance to this on-the-go setup reveals a welcoming spot to pick up orders to bring to the rec center across the street or to grab a coffee and house-baked goods in the morning. This is healthy, hearty, real food that you won't feel guilty grabbing after a yoga class or giving to your kids before the game. This is walk up, take-away that's been crafted with hearty care with an emphasis on honest ingredients, simplicity and accessibility. This is the kind of food that delivers to the busy men, women and children of Birmingham. This is to-go for those on-the-go.



# MEET THE CHEF

## PATRICK MACWHORTER

He arrives with chops that are sharper than his knife kit and run deeper than the cuts his tools deliver. Lured to Union Joints to run point as Lincoln Yard and Little Yard's Chef de Cuisine; Patrick's journey to Metro Detroit has seen him expand the influence of an upbringing that exposed him to a myriad of cultures thanks to the ever-changing assignments of a father who was Air Force brass. Soon enough, he put his own prowess to practice sautéing as Sous Chef for the likes of Oakley's Bistro of Indianapolis, Seattle's Café Pressé and Estilo in Richmond, VA. Chef Patrick's most recent stint saw him alongside Chef Jonathan Brooks (*Food and Wine's* Best New Chef, 2015; Chef of *Bon Appetit's* Best New Restaurant, 2015) at the highly regarded Beholder in Indy.

**Chef Par Excellence**  
TASTE OF ELEGANCE INDIANA 2018



***IT'S A TWO-HOUR HOCKEY PRACTICE ON A TUESDAY. HIS SISTER'S ALREADY  
ASKING FOR DINNER. YOU'VE GOT AN INBOX LITTERED WITH BLUE DOTS.  
PULLING OUT ONTO LINCOLN YOU SPOT SOME FRIENDS WITH A FULL  
BOTTLE OF ROSE AND AN EMPTY SEAT AT THEIR PATIO TABLE.  
HERE'S TO TWO-HOUR HOCKEY PRACTICES.***





## ***THE VIBES:***

WARM, AIRY & RUSTIC

Casual, bright, open-format dining includes plenty of natural light, high ceilings, and vast garage doors. A charming activation of wooden tables, natural textures and vibrant tiles lend warmth to salvaged industrial materials befitting a garage structure. The small, organic herb garden will add to the menu offerings in a sustainable way. An open trellis patio with overhead heaters extends Michigan's coveted warm season.

## ***THE GOODS:***

\$\$ AMERICAN/TRADITIONAL

As our team develops the menu, some of our traditional Joints' comfort-food items, as well as a fair share of vegetarian and gluten-free options, will be included. Unique to this location will be a focus on light, clean eating with a variety of locally sourced, seasonal specials, featuring Lincoln Yard's own harvest offerings in addition to local farmer's market goods. Pricing will be comparable to other Union Joints, with mid-range pricing that yields to an active family. There will be starters, sides, a kids menu, and the traditional Joints' Mac & Cheese. A pick-up area will serve grab-and-go coffee, pastries, and dinner for the family at home or the rec center across the street.

## ***THE HOURS:***

LITTLE YARD - 7AM TO 8PM  
LINCOLN YARD - 11AM TO 12AM

Opening date is TBD, based on project approval, construction and permits. Experience has shown, our team will be prepared to open within one year of building acquisition and final architectural plans.

# ***THE CONCEPT IS STRAIGHTFORWARD***



*PREPARED FOODS PREPARED REAL TIME.  
WITH AN EMPHASIS ON **REAL**; EVEN WHEN YOU DON'T HAVE MUCH TIME.*





# ***CASE STUDY***

## ***AN INDEPENDENT JOINT CAN DELIVER ECONOMIC IMPACT BEYOND ITS INCOME***

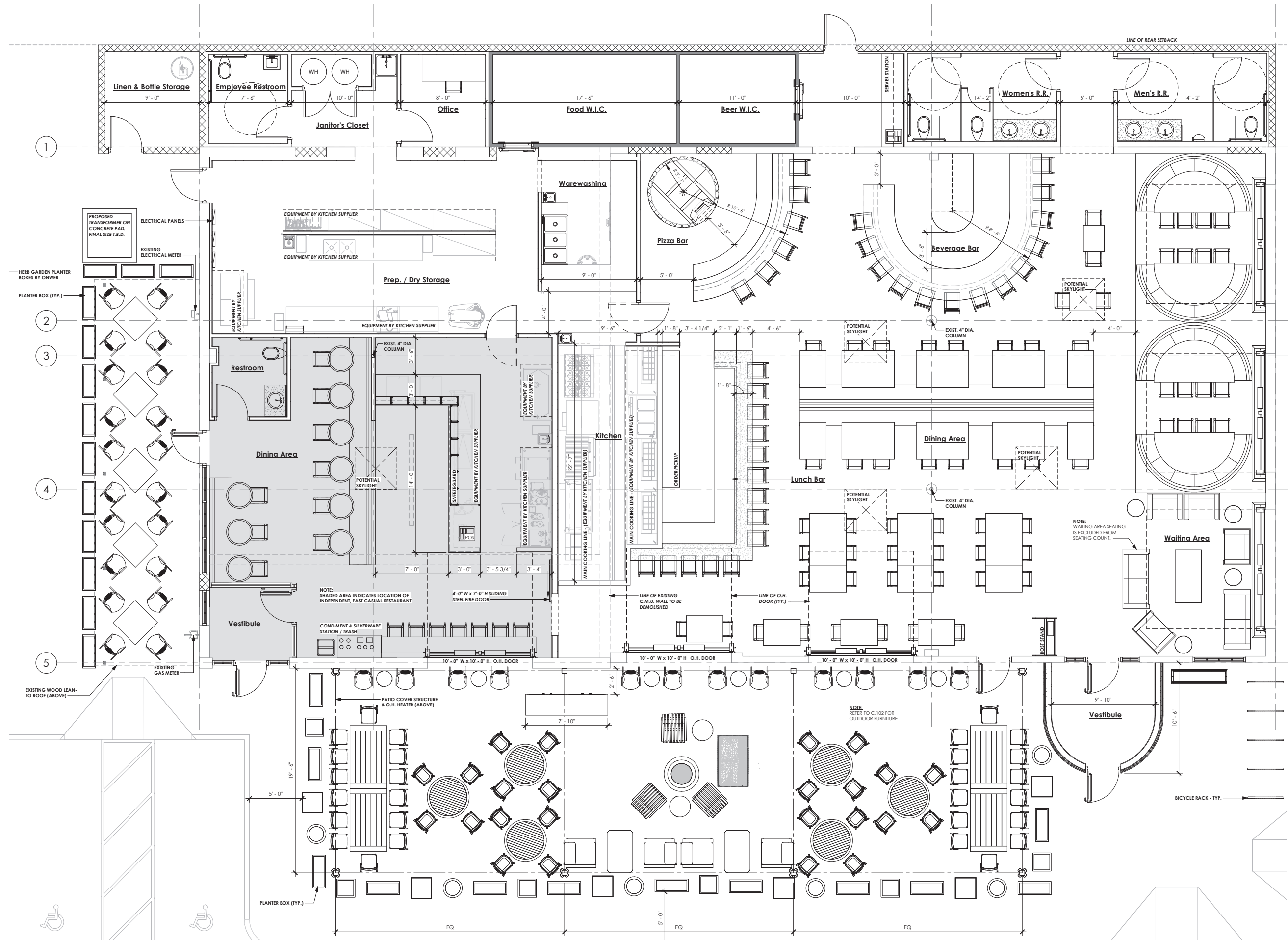
Union Joints employs over 400 hard-working, income-earning staff in Metro Detroit with 1/3 residing in the zip code of the location they work. Since opening in 2012, Vinsetta Garage has provided over \$6.2M in income to its 165 staffers alone.

## ***THIS IS A TEAM BUILT WITH FRANCHISE PLAYERS AND A CULTURE OF CARING***

Most of our chefs started as dishwashers and our servers stay for the long haul. We offer competitive wages, health insurance and a retirement savings plan to our employees.

## ***THE BEST THING ABOUT WORKING TO GET AHEAD IS IT ALLOWS YOU TO GIVE BACK.***

Union Joints is highly active in charitable causes from SCAMP to AFG to Detroit Public Theater and all points in between, contributing to local organizations, food drives, and much more. Always quietly. Always without question.



# ***FEILD NOTES***

## ***MOST MACKED MAC & CHEESE:***

Union Joints is the little house that Mac & Cheese built.  
We've sold more than 2-million Mac & Cheese  
orders Joints wide — more than 1,116,320 Macs  
at the Clarkston Union alone  
since opening in 1995.

## ***COMMUNITY SERVICE:***

When you bring a 130-year-old building back  
to life — and up to code — you have given the  
community something in return before  
you even open the doors for business.  
We won't forget that this building was  
built to service the Birmingham community,  
one safe school bus ride at a time.

## ***NO VALET REQUIRED:***

The most exclusive part about this joint is the  
shared-parking arrangement only we will have  
with our good friends and neighbors  
at Armstrong-White.



# ***IT'S A CALLING FOR US***

Today, we are not in the restaurant business; the restaurant business is in us. We are restorers, preservationists, and business people. And when it comes to restoring buildings, we are gluttons for punishment. It's a calling that's practically paramount to the restaurant business itself. There's something to be said about re-purposing — reinventing, reinvigorating and restoring — a historic building with our on-staff contractor, that provides a level of satisfaction that exceeds anything that completing a new construction could give you.

For us, restaurants are the perfect vehicle to ensure that historic buildings will continue making history and serving as structural icons of their communities. To us, at the end of the day, that's what it's all about.







# ABOUT US

## CURT CATALLO

**Co-Owner/President**

Union Joints LLC/Union AdWorks

Catallo, entered the restaurant world by re-purposing a former Clarkston church on Main Street in 1995 — a fitting foray for one who grew up in a nearby restored church. Opened with an emphasis on “broad shouldered American comfort food with a Mediterranean twist” and quickly became known for the Mac & Cheese. It’s the cornerstone item of a group that employs over 400 and has grown into seven restaurants, one outdoor theater venue, an ice cream ‘stand’ in a former pump house, and a general store in a former parsonage. The group shares its Clarkston campus with Union AdWorks, a 70-person marketing and advertising agency that Catallo heads, which services the Joints among their long-standing auto clients. Catallo and wife, Ann Stevenson, cohabit above the general store parsonage with two children, a bird and a sassy French bulldog.

## ERICH LINES

**Managing Partner**

Union Joints LLC

A graduate of Albion College and dorm mate from Catallo’s Cranbrook days, Lines has worked for Union Joints since its inception with the Clarkston Union. From his roles managing special events to General Manager and Managing Partner for the group, his dedication to the growth of the restaurant operation, front to back of the house, is unparalleled. From hiring the restaurant’s staff to promoting the business, his capacity to get the lights on in time through the development and launch of five new joints is nothing short of impossible. As purveyor of the Joints’ culture, as well as serving as host to 19 consecutive Clarkston Oktoberfests, has made him a local celebrity to hungry and thirsty gatherers far and wide.

## ANN STEVENSON

**Co-Owner/Design & Development**

Union Joints LLC

An Art & Design graduate of Bennington College, Stevenson has worked for over 20 years in commercial, restaurant, office and retail interior design. She has been the owner/operator of Clarkston Union’s sister store, Union General while concurrently developing each new Union Joint spot. Stevenson works on concept, menu and structure with the Joints’ chefs while her business Ann Stevenson Studios manages the interior design projects for the Union restaurants and agency. In 2013, she received The Detroit Home Magazine design awards for the Commercial Interiors of Vinsetta Garage and Union AdWorks, as well as named Metro Times editor’s choice in 2014 for Best Re-use of an Existing Building for Vinsetta Garage. Recently, Stevenson was named a winner for the 2018 Detroit Home Design Awards for the Restaurants/Bars and Children’s Room/Play Space categories. Stevenson is responsible for the idea, overall look and vibe of each Union business.

## KC CRAIN

**Managing Partner**

Vinsetta Garage

KC Crain is President and Chief Operating Officer for Crain Communications Inc, overseeing the day-to-day operations of Crain Communications, as well as the company’s family of brands including Automotive News and Advertising Age. Previously, he held roles of Executive Vice President and Director of Corporate Operations, Vice President, and Group Publisher. He started at Crain as a reporter for Automotive News. Active in a number of civic and business activities, KC is Board Chair for the Detroit Children’s Fund. He also sits on the boards of the Karmanos Cancer Institute, the Young Presidents Organization, and the College for Creative Studies. In addition to keen interests and influential connections throughout the automotive, tech and publishing industries, KC is dedicated to Detroit’s economic development with investments and partnerships in real estate and restaurant ventures. He and his wife, Ashley, live in Bloomfield Hills, Mich., with their four young children.



# OVERVIEW OF ORGANIZATION

*THE BONES OF OUR BUILDINGS HAVE SOUL.*

## CLARKSTON UNION

Restaurant, Clarkston, MI - 1995

[www.clarkstonunion.com](http://www.clarkstonunion.com)

### DETROIT NEWS

MAC & CHEESE TASTE PANNEL WINNER

### FOOD NETWORK

DINERS, DIVE-INS, AND DIVES

### MLIVE

MICHIGANS BEST MAC & CHEESE

### USA TODAY

ONE OF THE BEST IN THE COUNTRY

### WALL STREET JOURNAL

MAC & CHEESE RECIPIE THEFT

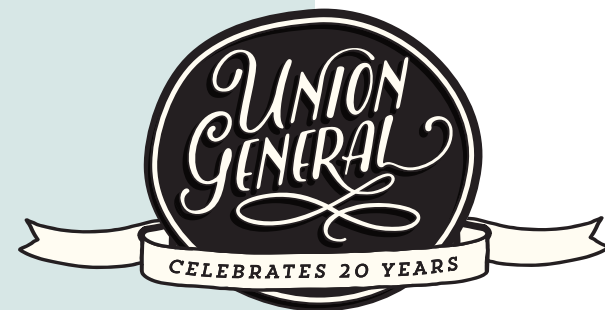
Like any organization, the story begins with a desire to serve a purpose in its own community. For us, it starts in a location that serves as a beacon of hope and gathering to a sleepy, semi-shuttered historic district surrounded by burgeoning suburbs. The irony that it's born in an 1847 church, a building that needed to be saved, has never escaped our mission.

The magnitude of its purpose is one that can only be viewed decades later, as it serves as the anchor of a downtown reborn. The Clarkson Union with its casual New American menu, itself became anchored by the quintessential dish that became Metro Detroit's favorite.

With the Mac and Cheese as its undisputed foundation, the first Union Joint surprises devout regulars and waves of first-timers with a scratch-built menu and weekly specials of seasonal, locally sourced comfort food. Repurposing structures and districts is paramount to our calling as we've expanded into seven locations; each its own spin on the spot, like Vinsetta Garage or the Fenton Fire Hall. Each replicating the Mac and tossing in ingredients that make it stand out on its own. From events and retail to our menus and catering, each of our digs and at every gig, the Joints brings the same group that grew it from the beginning.



**FOOD AND WINE**  
BEST CUPCAKES IN THE U.S.  
**REAL DETROIT WEEKLY**  
RETAIL WITH DETAIL  
**THE DAILY MEAL**  
BEST CUPCAKE IN MI  
**DELISH.COM**  
BEST CUPCAKES IN AMERICA  
**MSN**  
101 BEST CUPCAKES



**THE UNION GENERAL**  
Botique & Bakery, Clarkston, MI - 1997  
[uniongeneralstore.com](http://uniongeneralstore.com)

Housed in the 1850s building that served as parsonage for the First Baptist Church of Clarkston, Union General is more than the Clarkston Union's store next door. It is a true standalone destination. From baked goods that have the most loyal following to coffee, our own house-made liquid nitrogen custard along with Michigan classic Ray's ice cream, bath and body products, stationary, books, toys, gifts and goods, Union General is a one-of-a-kind store that surprises customers with a rare combination of old-school charm and curiosities edited with a whimsical yet focused eye.





**DETROIT FREE PRESS**  
RESTAURANT OF THE YEAR

**THRILLIST.COM**

BEST BBQ IN MICHIGAN

**SOUTHERN LIVING MAGAZINE**

GREAT AMERICAN BBQ BUCKET LIST

**THE UNION WOODSHOP**

Restaurant, Clarkston, MI - 2009

[unionwoodshop.com](http://unionwoodshop.com)

Opened in 2009, the Union Woodshop is a handcrafted joint that delivers big time small-town BBQ. The Woodshop immediately made its mark as a joint that put out the most legitimate kind of BBQ with the highest level of culinary care. The care was recognized by the Detroit Free Press, where the Woodshop was honored with the prestigious Restaurant of the Year for 2011. Featured in Food & Wine magazine and on the Food Network, this Joint wasted little time making a big name for itself where the team takes down-home food very seriously.





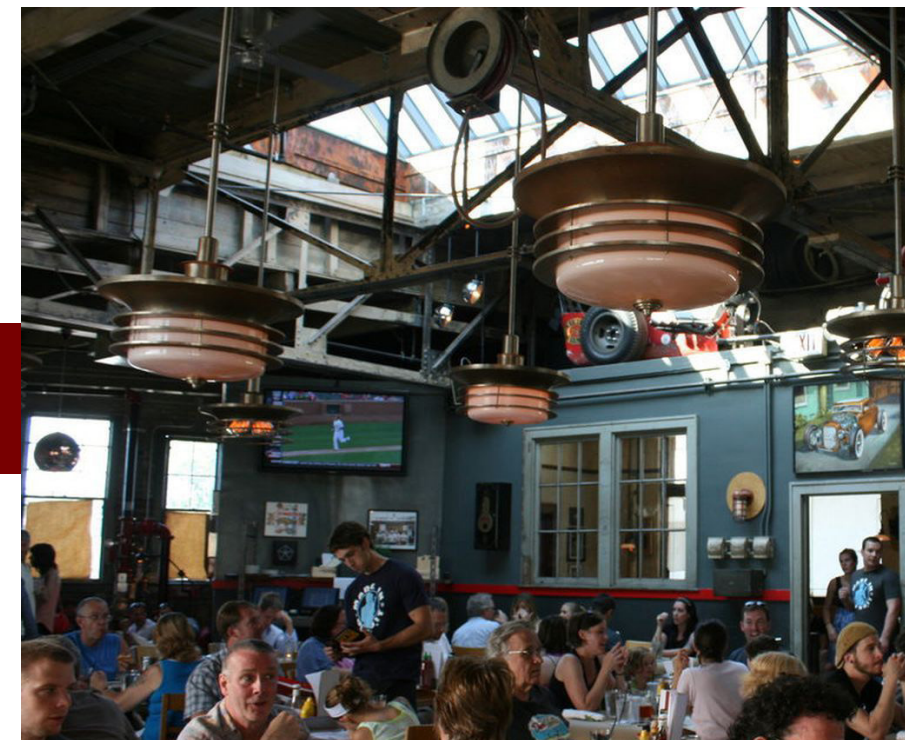
**COOKING CHANNEL**  
BITE THIS WITH NADIA G  
**DESTINATION AMERICA CHANNEL**  
UNITED STATES OF BACON  
**ESQUIRE**  
BEST BARS IN AMERICA  
**FOOD CHANNEL CHINA**  
BUICK AROUND U.S.  
**FOOD NETWORK CANADA**  
YOU GOTTA EAT HERE  
**COOKING CHANNEL**  
CHEAP EATS

*Vinsetta  
Garage*

## VINSETTA GARAGE

Restaurant, Berkley, MI – 2012  
[www.vinsettagarage.com](http://www.vinsettagarage.com)

Partnering with KC Crain of Crain Communications, Vinsetta Garage took in its first customers in July 2012. The space that once housed the oldest garage east of the Mississippi began bustling with a new kind of custom work. Original at every level, this joint sets the stage: a car place that now turns its skills to cooking with the same seriousness and handcrafted care. While the mechanics have long since moved their tools out of the station, the menu is built on the kind of custom Detroit eats they would have called their own back in the day. With burgers, Union Mac & Cheese, coal-fired pies and the like, the crew works to keep the legend of Woodward Avenue alive. Still a mainstay for classic cars, whose owners vie to line up along the property front line, Vinsetta maintains the Cruise enthusiasm year round. Like other small-town, big-personality eateries, the influx of patrons eagerly awaiting an open table brings a few parking headaches, which we've adeptly dispensed antidotes for, such as the purchase of nearby surface lots for complimentary valet parking service.





**MLIVE**  
THIRD BEST MAC AND CHEESE  
**MICHIGAN MUNICIPAL LEAGUE**  
COMMUNITY EXCELLENCE AWARD



**FENTON FIRE HALL**  
Restaurant, Fenton, MI – 2013  
[www.fentonfirehall.com](http://www.fentonfirehall.com)

In 2012, as part of Fenton's DDA initiative, Union Joints was awarded the Fire Hall by the city to bestow the landmark to a worthy business. We restored the 1938 landmark into a full restaurant with rooftop dining that also pays homage to its original purpose.

Throughout construction and since opening in December 2013, the Fenton Fire Hall Taproom and Kitchen has been out to deliver the kind of grub that's as honest as the building it's served in. A wood-fired grill, 48 beers on tap and all the care that the Union Joints can put into a place. The Fire Hall was awarded the regional prize for the Michigan Municipal League in 2014.





**OAKLAND PRESS**  
BEST NEW RESTAURANT  
**DTE ENERGY MUSIC THEATRE**  
HONCHO OUTPOST  
**DETROIT HOME AWARD**  
RESTAURANT / BAR DESIGN



## HONCHO

Restaurant, Clarkston, MI - 2016  
[eathoncho.com](http://eathoncho.com)

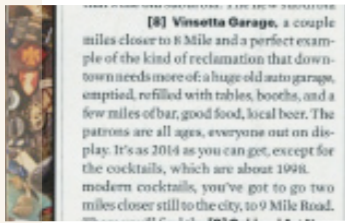
Its kitchen takes something from one culinary continent and smashes it into another: Latin food that speaks with an Asian accent. It was conceived at the markets and ended up here on Main Street; and it's at home at Honcho. Construction began early 2016 on the old mechanic's station, combining two separately functioning garages to create two businesses under one roof — Honcho Restaurant and Honcho Coffeehouse. With each passing first season since, business bustles inside and out along the downtown Clarkston strip. Patrons can pop in for house-roasted brewed and pour-over coffee, pastries and juices; others saddle up to the circular bar for full kitchen service, drinks and margarita sloshies. The main restaurant dining room offers table, booth or counter seating for full lunch and dinner service or to grab a taco and a sack of homemade donuts hot out of the fryer.







Esquire



THE HUFFINGTON POST

THE WALL STREET JOURNAL.

Michigan Potboiler: Hey, Who Moved My Mac 'n' Cheese?

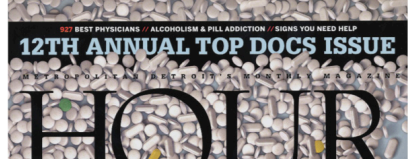
U.S. Bars 2 Pilots For Saudi Airline As Security Threats

Controversial Role Prompts Other License Recogitions; No Explanation Required

Municipal Bond New Atlanta Mayor Points a Way Out Of City Fiscal Hole

A Share-the-Pain Approach Of Job Cuts and Tax Boosts Works for Shirley Franklin

The Cops on Horses Dismount



CHEAP EATS | VINSETTA GARAGE

DETROIT FREE PRESS | UNION WOODSHOP

DINERS, DRIVE INS, AND DIVES | UNION WOODSHOP

ESQUIRE | VINSETTA GARAGE

FOOD CHANNEL CHINA | VINSETTA GARAGE

FOOD & WINE | UNION WOODSHOP

HOUR DETROIT | CLARKSTON UNION

HUFFINGTON POST | VINSETTA GARAGE

METROPOLITAN DETROIT | CLARKSTON UNION

MLIVE | FENTON FIRE HALL

OAKLAND PRESS | HONCHO

THRILLIST | UNION WOODSHOP

TRAVEL CHANNEL | VINSETTA GARAGE

SOUTHERN LIVING | UNION WOODSHOP

USA TODAY | CLARKSTON UNION

UNITED STATES OF BACON | VINSETTA GARAGE

WALL STREET JOURNAL | CLARKSTON UNION

FSR MAGAZINE | UNION JOINTS



# *FINANCIAL VIABILITY*

Union Joints LLC is a multimillion-dollar revenue-generating restaurant group.  
The group currently operates five restaurants.  
Individual financial statements are available upon your request.  
Financial inquiries may be made to the following:

**Anil Thakady**  
CHIEF FINANCIAL OFFICER UNION JOINTS/  
UNION ADWORKS

**Curt Catallo**  
OWNER, PRESIDENT UNION JOINTS/  
UNION ADWORKS

## **GOVERNMENT CONTACTS**

THE CITY OF THE VILLAGE OF CLARKSTON  
Mayor, Eric Haven – 248-625-1559  
City Manager, Jonathan Smith – 248-625-1559

CITY OF BERKLEY  
Mayor, Dan Terbrack – 248-658-3350  
City Manager, Matthew Baumgarten – 248-658-3350

CITY OF FENTON  
Mayor, Sue Osborn – 810-629-2261  
City Manager, Lynn Markland – 810-629-2261







***UNION JOINTS BELIEVES THAT A FORMER  
BUS GARAGE HAS WHAT IT TAKES TO DELIVER:***

***AN EXPERIENCE; A SETTING; A MENU AND  
OFFERINGS THAT YOU WILL ONLY FIND AT  
LINCOLN YARD AND THAT CLEARLY***

***BELONGS IN BIRMINGHAM.***



***THANKS MUCH!***





Jana Ecker  
Planning Director  
City of Birmingham  
151 Martin Street  
Birmingham, MI 48009

September 12, 2019

Dear Ms. Ecker & the Birmingham Planning Commission,

My name is Chris McCuiston, and I am the owner of Goldfish Swim School, located at 2388 Cole Street, Suite 101. I am writing on behalf of Union Joints regarding their plan to open the Lincoln Yard restaurant on Lincoln Street. As a local business owner, I am in full support of a company like Union Joints moving into our neighborhood. With their strong history of establishing high-quality, successful restaurants, I have no doubt that their addition to our community will benefit the surrounding businesses and the city of Birmingham as a whole. I would ask that you grant Union Joints and Lincoln Yard an economic development license to open their doors.

Sincerely,



Chris McCuiston

Owner  
Goldfish Swim School, LLC

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## Re: Lincoln Yard Project

1 message

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**Jana Ecker** <Jecker@bhamgov.org>

Wed, Aug 14, 2019 at 1:29 PM

To: Ryan Tate <ryan.c.tate@gmail.com>

Cc: Marci Hensley <marcihensley@hotmail.com>

Thank you both for your emails. I received them, and will pass your comments along at the Planning Board meeting tonight.

Jana Ecker

On Wed, Aug 14, 2019 at 10:02 AM Ryan Tate <[ryan.c.tate@gmail.com](mailto:ryan.c.tate@gmail.com)> wrote:

Jana,

We know a committee meeting is happening today, so we wanted to pass along our support for the project before that meeting.

Thanks

Ryan Tate

Sent from my iPhone

On Aug 14, 2019, at 8:44 AM, Marci Hensley <[marcihensley@hotmail.com](mailto:marcihensley@hotmail.com)> wrote:

Dear Jana,

We recently learned that the Vinsetta group has resurrected their plan to build out a new restaurant in the old school bus garage on Lincoln. We couldn't be more excited, especially after looking at the renderings! As frequent patrons of Big Rock, Whistle Stop, and Griffin Claw, we're looking forward to having another walkable dining spot in the neighborhood. I'm sure some in the community have concerns about traffic/parking – but having lived at the corner of Eton/Hazel for the past 5+ years, we have never found it to be an issue. The Rail District has so much potential, and businesses like Lincoln Yard (in our opinion) will help to make the area more desirable.

Thank You,

Marci Hensley & Ryan Tate

1999 Hazel St.

Birmingham

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**Jana L. Ecker**

*Planning Director  
City of Birmingham  
248-530-1841*



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## Lincoln Yard

1 message

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**Rebecca Taylor** <bekah1311@icloud.com>

Fri, Sep 13, 2019 at 9:12 PM

To: Jecker@bhamgov.org

Hi!

Just wanted to let our excitement about the possibility of the new restaurant addition to the rail district be known. We live at Hazel & Columbia and would love to have another restaurant in our area!!!

Rebecca Taylor BSN, RN, CPN

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## Lincoln Yard Restaurant Plan

1 message

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**Alexis Catherine Pollock** <alexisp@umich.edu>

Wed, Sep 11, 2019 at 4:19 PM

To: Jana Ecker <Jecker@bhamgov.org>

Dear Jana:

I'm unable to attend this evening's meeting, but as a resident in the Rail District (on Hazel), I want to lend my voice of enthusiasm to the possibility of another fine establishment within walking distance.

Curt Catallo and Ann Stevenson consistently create restaurants with high quality food and service, and my neighbors on Hazel (many of whom you've heard from, or will) and I, who all frequently patronize The Whistle Stop, Griffin Claw and Big Rock, are so excited about having another casual, delicious, and creative dining experience available to us in our neighborhood.

Since our street has become a Permit Parking street, we have not been bothered at all by having the above restaurants near us. We are happy to have them as the good neighbors they are, and look forward to Lincoln Yard as yet another.

Thank you for your time.

Best,  
-acp

Alexis C. Pollock | 1962 Hazel Street  
English Tutor | Educational and Writing Consultant  
Principal, ACP Educational Consulting, LLC  
<http://acpeducation.com>  
[alexisp@umich.edu](mailto:alexisp@umich.edu)  
248.703.8889

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## Lincoln Yard Support

1 message

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**Bryan Anderson** <anderson1239@yahoo.com>

Wed, Sep 11, 2019 at 1:26 PM

To: jecker@bhamgov.org

Good Afternoon,

I live on Hazel St. two houses in from Eton St. I am in full support of Lincoln Yard coming into our neighborhood as we are in need of another bar and grill. We are regular patrons at both Big Rock and Griffin Claw, and we would truly enjoy an additional walking choice given the fact Big Rock and Griffin Claw are often full to capacity.

Thank you for your consideration.

Bryan Anderson



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## Residents supporting Lincoln Yard

1 message

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**Britt-Marie Fleury** <dacbmo@gmail.com>

Tue, Sep 17, 2019 at 8:49 AM

To: Jecker@bhamgov.org

Cc: AAA ICE Todd Fleury ♥ <toddfleury1979@gmail.com>

Good morning,

Please accept this email as our support of the proposed Lincoln Yard restaurant on Lincoln Rd.

My husband's family has owned our property on Hazel Street for 20+ years and we rebuilt our new home here five years ago. We're raising our children here now and love the growth and development we've seen in just the last few years. We frequent Big Rock, Whistlestop and Griffin Claw on the very regular basis and love the idea of adding another restaurant to our neighborhood.

We have reviewed the proposal for Lincoln Yard and appreciate the group's vision for the restaurant. We particularly like that the owners are a VERY well established and knowledgeable restaurant group; this isn't a little start up that might make it- this is a well oiled machine that will only add to the appeal (and value) of the rail district we call home. We trust our city officials and the restaurant owners to make sure the details of street traffic, parking, noise, etc. are aligned with keeping the neighborhood safe and family-friendly.

We are very much in favor and support of Lincoln Yard opening. Thank you!

Kind regards,

Britt-Marie and Todd Fleury  
1863 Hazel Street  
313.218.5544

Sent from BMF's iPhone



# MEMORANDUM

Planning Department

**DATE:** September 19, 2019  
**TO:** Planning Board  
**FROM:** Jana Ecker, Planning Director  
**SUBJECT:** 298 S. Old Woodward Avenue – Daxton Hotel

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The subject site, Daxton Hotel, is a luxury boutique hotel under construction at 298 S. Old Woodward, on the west side of the street on the corner of Brown Street. The property is zoned B-4, Business-Residential and D-4 in the Downtown Overlay District. The applicant, Woodward Brown Ventures, LLC / Aparium Hotel Group, is applying for a Special Land Use Permit (SLUP) to operate a hotel with restaurant facilities serving alcoholic liquors. The applicant is requesting approval to use a new Class B - Hotel Resort Economic Development license under the new ordinance allowing a hotel or movie theater to operate with a liquor license. Woodward Brown Ventures, LLC / Aparium Hotel Group is owned by several entities controlled by Mario Tricoci, Kevin Robinson and Howard Silverman. In addition to owning and operating the Daxton Hotel, all three are members of the LLC that owns/operates the Detroit Foundation Hotel and the Apparatus Room restaurant in Downtown Detroit. The applicant advises that the Detroit Foundation Hotel was recently named one of the best new hotels in the world by Conde Nast Traveler.

Article 2, section 2.37 (B4) of the Zoning Ordinance requires that a hotel or theater seeking to provide alcoholic beverage sales (on-premise consumption) shall obtain a Special Land Use Permit and site plan review. Accordingly, the applicant is required to obtain a recommendation from the Planning Board on the Final Site Plan and Special Land Use Permit, and then obtain approval from the City Commission for the Final Site Plan and Special Land Use Permit.

## 1.0 Land Use and Zoning

- 1.1 Existing Land Use - The existing site is currently under construction. The five story Daxton Hotel was previously approved for development, including restaurant and banquet facilities, but no liquor license approval was requested. Land uses surrounding the site are retail and commercial.
- 1.2 Existing Zoning – The property is currently zoned B-4, Business-Residential, and D-4 in the Downtown Overlay District. The existing use and surrounding uses appear to conform to the permitted uses of each Zoning District.
- 1.3 Summary of Land Use and Zoning - The following chart summarizes existing land use and zoning adjacent to and/or in the vicinity of the subject site.

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	North	South	East	West
<b>Existing Land Use</b>	Commercial / Retail	Commercial / Retail	Commercial / Retail	Commercial / Retail
<b>Existing Zoning District</b>	B-4, Business-Residential	B-2, General Business	B-4, Business-Residential	B-4, Business-Residential
<b>Downtown Overlay Zoning</b>	D-4	D-3	D-4	D-4

## 2.0 Screening and Landscaping

- 2.1 Screening – No changes are proposed.
- 2.2 Landscaping – No changes are proposed.

## 3.0 Parking, Loading, Access, and Circulation

- 3.1 Parking – As the subject site is located within the Parking Assessment District, the applicant is not required to provide on-site parking for hotel, retail, restaurant or other commercial uses. Parking on site is required for the residential units on the fifth floor, and was reviewed and approved with the original Daxton site plan approval.
  - 3.2 Loading – No changes are proposed.
  - 3.3 Vehicular Access & Circulation - Vehicular access to the building will not be altered from what was previously approved.
  - 3.4 Pedestrian Access & Circulation – No changes are proposed. **However, there are numerous inconsistencies between the plan sheets submitted regarding pedestrian circulation around the building due to different placement of trees, landscaped areas, street lights etc. The applicant will be required to correct all sheets for consistency prior to appearing before the City Commission.**
  - 3.5 Streetscape – The applicant is not proposing to alter the previously approved sidewalk and streetscape plan. **However, there are numerous inconsistencies between the plan sheets submitted due to different placement of trees,**
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**landscaped areas, street lights etc. The applicant will be required to correct all sheets for consistency prior to appearing before the City Commission.**

#### **4.0 Lighting**

No new lighting is proposed at this time.

#### **5.0 Departmental Reports**

- 5.1 Engineering Division – The Engineering Dept. has reviewed the package of information submitted on August 26, 2019.

Various versions of the first floor site plan have been included in the package of information. They are not consistent with each other. The inconsistencies that are a concern relative to receiving construction approval of the sidewalk and parking area from the Engineering Dept. are as follows:

1. The site plans on pages 28, 29, 34, and 35 of the package does not include the required City street light located south of the southerly planter box on S. Old Woodward Ave. Page 36 shows the required street light in the best location possible to be consistent with the spacing to the north, as well as provide maximum benefit with respect to consistent lighting. Page 38 shows the light, but located further north in a spot that is not consistent with the landscape scheme that has been built on S. Old Woodward Ave., which could not be approved. We expect that this street light will be constructed as shown on page 36 on the final project to ensure proper lighting of the street and sidewalk in this immediate area.
2. The light distribution plan (page 38) shows a different landscape scheme than the other plans in that an additional planter box and tree has been proposed on the S. Old Woodward Ave. frontage. In addition, the tree spacing has been altered on this plan on the Brown St. frontage. These concepts are inconsistent with the landscape themes that have been approved and built for the streetscapes in the immediate area, and will not be approved.
3. On the site plan shown on page 28, there are notes relative to a hotel drop off and valet area on the street, but there are no details relative to its size. The landscape plan (page 36) also shows a valet drop off area on the street, as well as four angled parking spaces further north. Neither of these concepts have been approved by the City Commission. The applicant will have to return to the City Commission to obtain approval to remove metered parking spaces from across the frontage of the property as shown.
4. Outdoor dining has been shown on the S. Old Woodward Ave. sidewalk just north of the Brown St. intersection on the plan shown on page 35. The grading plan for this project was approved without any indication that this area would be used for outdoor dining, which would require the redirection of the main pedestrian path closer to the street and handicap ramps. The current grading plan has insufficient information available to determine if such an outdoor dining area can be accommodated. Our office will need clarification if this is indeed the proposed use

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of this area, and have additional engineering done on the grading plan before a construction permit can be issued.

5.2 Department of Public Services – No comments were received from the DPS.

5.3 Fire Department – No comments were received from the Fire Department.

5.4 Police Department - The Police Department has no concerns.

5.5 Building Division – The Building Division has no concerns.

## **6.0 Hotel and Theater Liquor License Requirements**

In 2017, the City Commission approved amendments to the Zoning Ordinance and Chapter 10, Alcoholic Liquors, to allow the service of liquor at hotels and theaters in the D4 zone district. The purpose of the amendments were to create a policy and conditions to allow the City Commission the ability to approve a request to transfer a liquor license into the city in excess of the city's quota licenses if the request is deemed to constitute a substantial benefit to the city for the continuation and development of theaters and hotels, to establish criteria for selecting applicants, and to evaluate the impact of increased liquor licenses on the city.

The applicant, Woodward Brown Ventures, LLC / Aparium Hotel Group is currently developing the Daxton Hotel which is under construction at 298 S. Old Woodward. The Daxton was approved with 151 hotel and residential units and a first floor restaurant, lounge and banquet facilities. The applicant has advised that it is necessary to the experience and the viability of the hotel to serve alcoholic liquors in order to compete in this market. The entire hotel will be licensed by the MLCC.

Chapter 10, Alcoholic Liquors, section 101 outlines the following requirements when applying for a liquor license for a hotel or theater:

Persons desiring to transfer a liquor license from outside the city limits into the city limits in excess of the city's quota licenses shall make an application to the city commission and pay the applicable theater or hotel liquor license transfer review fee as set forth in appendix A of this Code. In addition to those items and conditions set forth in section 10-42, the application shall set forth in detail its proposed project, including, but not limited to:

- (1) Utilization of said liquor licenses and details on the number of quota liquor licenses in escrow at the time of application.
  - (2) Proposed and/or existing site plan of the property, building floor plan and an operations floor plan.
  - (3) An economic impact analysis.
  - (4) A copy of the special land use permit application and supporting documentation submitted by the applicant.
  - (5) All documentation submitted to the LCC requesting the transfer.
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- (6) Full identification and history of the license holder(s) as it pertains to the license proposed to be transferred, including all complaints filed with the state liquor control commission (LCC) or actions taken by any municipality or the LCC to suspend, revoke or deny the non-renewal of said license and all other documentation setting forth the detail of the existing theater or proposed theater by the applicant, including the approximate dollar amount of the investment to be made, number of jobs to be created, minimum of 100 guest rooms for hotels and other benefits to the city.
  - (7) Information detailing how the proposed operation will create or sustain the theaters or hotels in the city.
  - (8) Such other items deemed necessary by city administration.

The applicant has advised that all quota liquor licenses are currently in use, with the exception of the following, which are currently in escrow for use by future tenants of the buildings where they are held:

1. PEABODY OWNER, LLC, 34965 Woodward
2. WILLITS CO-LICENSE LLC / MITCHELL'S ENTERTAINMENT, INC., 117 Willits
3. WILLITS CO-LICENSE LLC / MITCHELL'S ENTERTAINMENT, INC., 115 Willits
4. THE PALLADIUM OF BIRMINGHAM, LLC, 201 Hamilton Row

The applicant has provided a site plan and a floor plan of the first floor of the hotel with the licensed facilities, as well as elevations for the entire hotel. On the first floor, the plans submitted for the SLUP application show the following areas for the service of alcohol:

Licensed Area	Seating Capacity
Banquet Hall	290
Restaurant – Dining Area	94
Restaurant – Bar/Lounge Area	56
Men's Parlor	16
Women's Parlor	14
Wine Room	12
Pre-function Area	12
Outdoor Dining Area	18
<b>TOTAL:</b>	<b>512 seats</b>

The applicant has not provided an operations plan at this time. However, a detailed operations plan for large events was reviewed during the Community Impact Study review when the hotel was originally proposed. **The applicant will be required to verify that this plan will remain in place. The layout of the first floor function space has changed since the final site plan approval for the building as a whole, which will likely affect the operations plan.** Hours of operation for liquor sales will be seven days a week from 7:00 AM to 2:00 AM.

The applicant has submitted an economic impact analysis that indicates that the amount of investment proposed to be made for the construction of the Daxton Hotel is \$76,000,000.

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In addition, the application states that 175 permanent jobs will be created once the Daxton Hotel is operational. **The application does not state whether these will be full time or part time jobs created.** The application further states that 300 construction jobs will be sustained during the construction of the Daxton Hotel. Overall, the applicant believes that the economic impact of the Daxton Hotel having a liquor license will be positive for the City, and will likely result in an assessed value more than eleven times greater than the assessed value of the property pre-construction.

The applicant has submitted the required SLUP application and supporting documentation. The applicant has also submitted to the Police Department all documentation submitted to the LCC regarding their application for a new B – Hotel Resort Economic Development license for use at 298. S. Old Woodward.

The applicant has provided information on the proposed license holder, Woodward Brown Ventures, LLC / Aparium Hotel Group, which is owned by several entities controlled by Mario Tricoci, Kevin Robinson and Howard Silverman. Identification and information has been provided on each of these co-owners, and the Police Department has conducted an investigation into each. None of the three principals have a criminal history, nor a history of any liquor violations within the State of Michigan.

The applicant has stated that the Daxton Hotel will provide a total of 151 guest rooms to the hotel market in Birmingham, which has been underserved. The applicant has advised that the service of alcohol is required for the operation of the Daxton Hotel, given market trends and the ability to compete with other hotels in the area, which also provide restaurant and banquet facilities and the service of alcohol. Granting the SLUP to the Daxton Hotel will enable it to serve alcohol and to compete and sustain their business into the future.

Chapter 10, Alcoholic Liquors, Section 102 also establishes the following criteria for reviewing applications for hotel or theater liquor licenses:

- (a) Selection criteria. In addition to the usual factors and criteria used by the city commission for liquor license requests, including those listed in section 10-42, the commission shall consider the following non-exclusive list of criteria to assist in the determination of which of the existing establishment applicants, if any, should be approved:
    - (1) The applicant's demonstrated ability to finance the proposed project.
    - (2) The applicant's track record with the city including responding to city and/or citizen concerns.
    - (3) Whether the applicant has an adequate site plan to handle the proposed liquor license activities.
    - (4) Whether the applicant has adequate health and sanitary facilities.
    - (5) For theaters only, the percentage of proceeds from the sale of tickets and food products as compared to the sale of alcoholic beverages.
    - (6) Whether the applicant has outstanding obligations to the city (i.e. property taxes paid, utilities paid, etc.).
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- (b) Maximum number of theater and hotel licenses. The city commission may approve a maximum of two theater or hotel licenses each calendar year in addition to the existing quota licenses otherwise permitted by state law.
  - (d) If any new transfers of licenses for theaters or hotels are to be considered, the city commission shall set a schedule setting forth when all applicants must submit their application and supporting documentation, when interviews may be conducted and a timeframe within which a decision will be anticipated.

The applicant has advised that they have the ability to finance the Daxton Hotel project and to operate the hotel once constructed. A letter provided from the owner's attorney states that the applicant owns the property free and clear, and that the LLC has provided the funds for the development through August 14, 2019. The letter notes that a construction loan was closed with Flagstar Bank which will fund the remaining construction through completion.

The applicant has a track record of responding to both City and citizen concerns with regards to issues that arose during construction of the Daxton Hotel.

The applicant has demonstrated an adequate site plan and floor plan that will accommodate the proposed service of liquor. The hotel will have adequate health and sanitary facilities for the proposed use.

The applicant does not currently have any outstanding obligations to the City.

In accordance with Chapter 10, section 102, the City Commission may approve a maximum of two theater or hotel licenses each calendar year in addition to the existing quota licenses. The City Commission must set a schedule for the review and consideration of applications for theater and hotel licenses. The Daxton Hotel is the only hotel existing or under construction in the City that is qualified to apply for a hotel liquor license under Chapter 10, Alcoholic Liquors due to its location in the B4 zone district. All existing hotels located in the B4 zone district currently operate with liquor licenses.

## **6.0 Design Review**

The plans submitted for the SLUP application show several interior floor plan changes, specifically in relation to the wine bar placement.

The applicant is proposing no interior or exterior design changes to the building at this time.

The applicant is now proposing the addition of 18 outdoor dining seats along S. Old Woodward near the corner of Brown Street. Outdoor cafes must comply with the site plan criteria as required by Article 04, Section 4.41 OD-01, Outdoor Dining Standards. Outdoor cafes are permitted immediately adjacent to the principal use and are subject to site plan review and the following conditions:

1. Outdoor dining areas shall provide and service refuse containers within the outdoor dining area and maintain the area in good order.
  2. All outdoor activity must cease at the close of business, or as noted in Subsection 3 below, whichever is earlier.
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3. When an outdoor dining area is immediately adjacent to any single-family or multiple-family residential district, all outdoor activity must cease at the close of business or 12:00 a.m., whichever is earlier.
  4. All tables and chairs provided in the outdoor dining area shall be constructed primarily of metal, wood, or material of comparable quality.
  5. Table umbrellas shall be considered under Site Plan Review and shall not impede sight lines into a retail establishment, pedestrian flow in the outdoor dining area, or pedestrian or vehicular traffic flow outside the outdoor dining area.
  6. For outdoor dining located in the public right-of-way:
    - (a) All such uses shall be subject to a license from the city, upon forms provided by the Community Development Department, contingent on compliance with all city codes, including any conditions required by the Planning Board in conjunction with Site Plan approval.
    - (b) In order to safeguard the flow of pedestrians on the public sidewalk, such uses shall maintain an unobstructed sidewalk width as required by the Planning Board, but in no case less than 5 feet.
    - (c) An elevated, ADA compliant, enclosed platform may be erected on the street adjacent to an eating establishment to create an outdoor dining area if the Engineering Department determines there is sufficient space available for this purpose given parking and traffic conditions.
    - (d) No such facility shall erect or install permanent fixtures in the public right-of-way.
    - (e) Commercial General Liability Insurance must be procured and maintained on an "occurrence basis" with limits of liability not less than \$1,000,000 per occurrence combined single limit, personal injury, bodily injury and property damage. This coverage shall include an endorsement naming the city, including all elected and appointed officials, all employees, all boards, commissions and/or authorities and board members, as an additional insured. This coverage must be primary and any other insurance maintained by the additional insureds shall be considered to be excess and non-contributing with this insurance, and shall include an endorsement providing for a thirty (30) day advance written notice of cancellation or non-renewal to be sent to the city's Director of Finance.

**The applicant has not provided a trash receptacle within the outdoor dining area as required by Article 04, section 4.41 OD-01 of the Zoning Ordinance. In addition, the applicant has not provided the proposed business hours for the outdoor dining area.**

The proposed outdoor café is not immediately adjacent to any single-family zoned property.

The applicant has not provided specification sheets for the proposed tables and chairs. **The applicant will be required to submit specification sheets for all outdoor furniture prior to appearing before the City Commission.**

A site plan has been submitted with dimensions that show a 5' clear pedestrian path around the outdoor dining area. However, the outdoor dining area does not include any enclosure system, which will be required by the MLCC if alcohol will be served outside.

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The applicant will be required will be required to obtain an Outdoor Dining License from the City if the SLUP is approved by the City Commission.

#### Signage

All signage for SLUPs must be approved through the SLUP process. The applicant has not submitted any signage for review. However, the elevations clearly show a name letter sign on the canopy over the main entrance doors on the east elevation. **The applicant has not provided any details on the proposed signage materials, lighting, specific dimensions (24" height max), the distance of projection from the building or mounting details, all of which are required to verify compliance with the Sign Ordinance. The applicant will be required to provide all signage details to demonstrate compliance with all requirements of the Sign Ordinance or obtain a variance from the Board of Zoning Appeals.**

The Sign Ordinance requires that combined sign area be calculated based on the principal building frontage, which is defined as the width of the building on the side where the primary entrance to the business is located, which may or may not front a street. The Historic District Commission, Design Review Board or Planning Board may designate an alternate horizontal building width as the principal building frontage for signage purposes. The primary entrances are along the Willits frontage. The S. Old Woodward frontage is approximately 219.58', and thus the applicant is permitted a combined sign area of 1 square foot per each linear foot of principal building frontage or 100', whichever is less. The name letter sign shown on the east elevation appears to be well below the maximum amount permitted.

### **7.0 Downtown Birmingham 2016 Overlay District**

The 2016 Birmingham Master Plan recommended a mix of retail, food services and entertainment in Downtown Birmingham, and encouraged the creation of more residential units to bring people downtown. The proposed hotel will bring many visitors to Downtown Birmingham, as well as residents that may occupy the units on the fifth floor. The use of the first floor for restaurant use is also consistent with the recommendations contained in the 2016 Plan, as restaurants are retail uses.

### **8.0 Approval Criteria**

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- (1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
  - (2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
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- (3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property not diminish the value thereof.
  - (4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
  - (5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
  - (6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

## **9.0 Approval Criteria for Special Land Use Permits**

Article 07, section 7.34 of the Zoning Ordinance specifies the procedures and approval criteria for Special Land Use Permits. Use approval, site plan approval, and design review are the responsibilities of the City Commission. This section reads, in part:

Prior to its consideration of a special land use application (SLUP) for an initial permit or an amendment to a permit, the **City Commission shall refer the site plan and the design to the Planning Board for its review and recommendation. After receiving the recommendation, the City Commission shall review the site plan and design of the buildings and uses proposed** for the site described in the application of amendment.

The City Commission's approval of any special land use application or amendment pursuant to this section shall constitute approval of the site plan and design.

## **10.0 Suggested Action**

Based on a review of the site plans submitted, the Planning Division recommends that the Planning Board recommend APPROVAL to the City Commission of the applicant's request for Final Site Plan and a SLUP for 298 S. Old Woodward, Daxton Hotel, subject to the following conditions:

1. The applicant correct all plan sheets for consistency and submit a revised operations plan if required prior to appearing before the City Commission;
  2. The applicant provide a trash receptacle within the outdoor dining area as required or obtain a variance from the Board of Zoning Appeals;
  3. The applicant provide the proposed business hours for the outdoor dining area prior to appearing before the City Commission;
  4. The applicant submit specification sheets for all outdoor furniture prior to appearing before the City Commission;
  5. The applicant provide all signage details to demonstrate compliance with all requirements of the Sign Ordinance or obtain a variance from the Board of Zoning Appeals prior to appearing before the City Commission; and
  6. The applicant comply with the requests of the City Departments.
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## 11.0 Sample Motion Language

Based on a review of the plans submitted, the Planning Board finds that all of the requirements of Article 7, Section 7.27 and Article 7, Section 7.34 have been met, thus the Planning Board recommends approval to the City Commission of the Special Land Use Permit for 298 S. Old Woodward – The Daxton Hotel, with the following conditions:

1. The applicant correct all plan sheets for consistency and submit a revised operations plan if required prior to appearing before the City Commission;
2. The applicant provide a trash receptacle within the outdoor dining area as required or obtain a variance from the Board of Zoning Appeals;
3. The applicant provide the proposed business hours for the outdoor dining area prior to appearing before the City Commission;
4. The applicant submit specification sheets for all outdoor furniture prior to appearing before the City Commission;
5. The applicant provide all signage details to demonstrate compliance with all requirements of the Sign Ordinance or obtain a variance from the Board of Zoning Appeals prior to appearing before the City Commission; and
6. The applicant comply with the requests of the City Departments.

AND

Based on a review of the plans submitted, the Planning Board finds that all of the requirements of Article 7, Section 7.27 and Article 7, Section 7.34 have been met, thus the Planning Board recommends approval to the City Commission of the Final Site Plan & Design Review for 298 S. Old Woodward – The Daxton Hotel with the following conditions:

1. The applicant correct all plan sheets for consistency and submit a revised operations plan if required prior to appearing before the City Commission;
2. The applicant provide a trash receptacle within the outdoor dining area as required or obtain a variance from the Board of Zoning Appeals;
3. The applicant provide the proposed business hours for the outdoor dining area prior to appearing before the City Commission;
4. The applicant submit specification sheets for all outdoor furniture prior to appearing before the City Commission;
5. The applicant provide all signage details to demonstrate compliance with all requirements of the Sign Ordinance or obtain a variance from the Board of Zoning Appeals prior to appearing before the City Commission; and
6. The applicant comply with the requests of the City Departments.

OR

Motion to POSTPONE the Final Site Plan and SLUP for 298 S. Old Woodward, Daxton Hotel, pending receipt of the following:

1. The applicant correct all plan sheets for consistency and submit a revised operations plan if required prior to appearing before the City Commission;
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2. The applicant provide a trash receptacle within the outdoor dining area as required or obtain a variance from the Board of Zoning Appeals;
  3. The applicant provide the proposed business hours for the outdoor dining area prior to appearing before the City Commission;
  4. The applicant submit specification sheets for all outdoor furniture prior to appearing before the City Commission;
  5. The applicant provide all signage details to demonstrate compliance with all requirements of the Sign Ordinance or obtain a variance from the Board of Zoning Appeals prior to appearing before the City Commission; and
  6. The applicant comply with the requests of the City Departments.

OR

Motion to recommend DENIAL of the Final Site Plan and SLUP to the City Commission for 298 S. Old Woodward, Daxton Hotel for the following reasons:

1. \_\_\_\_\_
2. \_\_\_\_\_



Williams Williams Rattner & Plunkett, P.C.  
Attorneys and Counselors  
380 North Old Woodward Avenue  
Suite 300  
Birmingham, Michigan 48009  
Tel: (248) 642-0333  
Fax: (248) 642-0856

August 26, 2019

Richard D. Rattner  
rdr@wwrplaw.com

Planning Board  
City of Birmingham  
151 Martin Street  
Birmingham, MI 48009

**Re: *Special Land Use Permit Application – Liquor License for Theaters and Hotels in the B4 District for the Daxton Hotel at 298 S. Old Woodward Ave., Birmingham, MI 48009.***

Dear Members of the Planning Board:

This letter accompanies the Application of the Daxton Hotel (“Daxton” or “Hotel”) for a Special Land Use Permit (“SLUP”) to operate an establishment with a liquor license obtained under the recently amended Chapter 10, Article II, Division 5 “Licenses for Theaters and Hotels.” The Applicant will be applying to the State of Michigan for a new B-Hotel Resort Economic Development Liquor License (“License”) under MCL 436.1531(4) for the Hotel. The License has the same privileges as a traditional B-Hotel license, although it is a direct issue liquor license and is non-transferrable to any other location.

This SLUP will allow this exciting new Hotel operated by Aparium Hotel Group to have a street-level restaurant, grill and bar, event space for weddings, parties, and conferences, and a wine bar (collectively, the “Restaurant Facilities”). These new amenities will attract Birmingham residents and visitors to the South Old Woodward area of the central business district (“CBD”), consistent with the 2016 Plan for Birmingham. The application for SLUP and all site plan requirements relevant to this presentation are submitted with this letter.

The following outline demonstrates that this new hotel fulfills all ordinance and planning requirements for a Special Land Use Permit for a Liquor License for Theaters and Hotels, as well as the requirements to transfer a license into the city.

**I. Requirements for Special Land Use Permit (Section 126, Article 7, Section 7.36(A)(1-6).**

- A. 7.336(A)(1).** “The use is consistent with and will promote the intent and purpose of this Zoning Ordinance.”

A review of the Daxton project clearly demonstrates that this newly proposed hotel is

consistent with and will promote the intent and purpose of the Zoning Ordinance.

First, with respect to the zoning district, the subject property is zoned B-4, Business-Residential, and D-4 in the Downtown Overlay District. The Daxton will be a new structure that is located on the corner of Brown Street and Old Woodward Avenue. The B-4 District specifically permits “establishments operated with a liquor license obtained under the amended Chapter 10, Alcoholic Liquors, Article II, Division 5, Licenses for Theaters and Hotels” with a valid special use permit.

Second, Section 7.36(A)(1) provides that a Special Land Use Permit shall be consistent with the “. . . intent and purpose . . .” of the zoning ordinance. The intent and purpose of the zoning ordinance of the City of Birmingham as set forth at Article 1, Section 1.04 of the Zoning Ordinance, is to “. . . guide the growth and development of the City in accordance with the goals, objectives and strategies stated within the Birmingham Master Plan and Downtown Birmingham 2016 Plan.”

1. Intent and goals of the Downtown Birmingham 2016 Plan (“2016 Plan”).

This area of the CBD is identified in the 2016 Plan as the “Retail 1” area and is discussed at pages 26-27 of the 2016 Plan (attached for your reference). The Daxton also is consistent with all the relevant recommendations and fits every one of the relevant bullet points set forth in the “Downtown Birmingham Vision Statement” discussed at page 181 of the 2016 Plan (attached for your reference).

a. Relevant recommendations of the 2016 Plan for the “Retail 1” South Woodward CBD.

- i. The first bullet point recommendation set forth at page 26 of the 2016 Plan, recommends that the City “enlarge the CBD shopping district area by merging it with the South Woodward... [area].”

The new Hotel, with its street-level Restaurant Facilities, event space for weddings, parties and conferences, and retail space, will bring significant patronage to the southern point of the CBD, helping to extend the CBD and pedestrian traffic into the South Woodward area.

- ii. The second relevant bullet point recommends that the City “connect all areas to each other by reducing apparent and actual physical barriers, by connecting discontinuous retail frontages, and, in some cases, by installing the recommended streetscape and signage improvements.”

The subject site consists of two now demolished and formerly vacant office buildings and a



surface parking lot. These buildings and surface lot were barriers to street-level retail and failed to inspire a pedestrian-friendly activated sidewalk, leaving a pedestrian “dead zone” at Brown and S. Old Woodward. The Daxton and its amenities will combine these frontages into one attractive, pedestrian-friendly structure with first floor restaurant and retail activities. Pursuant to the City’s site plan approval, the Hotel also will comply with all recommended streetscape and signage improvements consistent with the South Woodward street reconstruction improvements.

The presence of the Daxton on the south end of the CBD is consistent with both of these goals for the Retail 1 area under the 2016 Plan. The Daxton will add economic vitality with its Restaurant Facilities, retail destinations and a via along the northern property line. These uses encourage pedestrian traffic, activate the sidewalk, and help to connect the CBD with the South Woodward neighborhood. No other hotels with Special Land Use Permits for Theaters and Hotels exist in the South Woodward CBD. The Daxton’s application encourages redevelopment of the southern CBD and South Woodward corridor area while at the same time satisfying the planning amenities envisioned in the 2016 Plan.

b. “The Downtown Birmingham Vision Statement” in the 2016 Plan.”

At Page 181 of the 2016 Plan (attached), 17 bullet points are identified as being a brief summary of the vision for downtown Birmingham. Again, the Daxton Hotel has the advantage of being consistent with all of the relevant bullet points presented in that 2016 Plan.

i. “Ensure the economic viability of downtown business community.”

The development of the Daxton at this location is continues the revitalization of economic activity toward the South Woodward area. It increases the availability of luxury hotel accommodations and banquet facilities in Downtown, attracting visitors and events to Birmingham. The hotel’s first floor Restaurant Facilities, plus sidewalk redesign, will extend the walkability of the CBD and provide pedestrian destinations. A hotel of the caliber of the Daxton cannot provide these amenities and compete in the luxury boutique hotel segment without a liquor license. The alternative without a license is a flagship hotel/motel like the Holiday Inn located on the M1.

Furthermore, The Daxton’s restaurant, bar and event space are designed in conjunction with and will be operated by Aparium Hotel Group, the same group responsible for the Detroit Foundation Hotel and the Apparatus Room restaurant. The Foundation Hotel was recently named “one of the best new hotels in the world” by Condé Nast Traveler, as reported in The Detroit News. A copy of the article is attached to this letter. The Aparium Hotel Group has the potential to create a similar boutique hotel experience and renowned restaurant in Downtown Birmingham, but not without a liquor license.

- ii. “New development should be designed for safety, comfort, convenience and enjoyment of pedestrians, rather than vehicular traffic.”

The Daxton Hotel provides a unique experience for both out-of-town guests and residents of Birmingham alike. The proposed plan includes a multi-level underground parking garage for guests, residents and patrons of the Daxton, which lessens the reliance on current parking. The building, with retail and Restaurant Facilities on the first floor is designed to appeal to pedestrians walking from the CBD towards South Woodward. It can be accessed by pedestrians without use of a car. All the residents living in or near the south area of the CBD and frequent the South Woodward CBD will be able to walk to the Hotel. This pedestrian-friendly location and use is particularly appropriate for the City of Birmingham and the “treasured heritage” of the City as a walkable community. These new and attractive Restaurant Facilities within the Hotel extend the CBD and support the CBD as an integral part in the lives of Birmingham residents.

The streetscape design includes widened sidewalks with trees and raised planters, placed to enhance the pedestrian experience, as well as pedestrian-level lighting and hanging planters. The design also includes benches, receptacles, and four bicycle racks to further encourage multi-modal traffic flow. The main entrance is welcoming and inviting to pedestrians, with large first floor windows and a canopied doorway.

- iii. “Strengthen the spatial and architectural character of the downtown area and ensure buildings are compatible, in mass and scale, with their immediate surroundings and the downtown’s traditional two- to four-story buildings.”

This new hotel is designed by the renowned Chicago architecture firm, Booth Hansen. The design meets the zoning criteria for the D-4 and Downtown Overlay Districts. The Hotel is a 5-story mixed use building that is consistent with the mass and scale of the surrounding, predominantly office, buildings. The subject site is currently the site of two vacant office buildings and a surface parking lot. The Hotel building, with its mix of bar/restaurant, residential, hotel and retail uses, will significantly strengthen the architectural and spatial character of the current lot and the structures thereon.

- iv. “Ensure good land use transitions and structural compatibility in form and mass to the traditional, residential neighborhoods surrounding downtown.”

The location of the Daxton offers a unique opportunity for restaurant, bar and hotel, retail, and event facilities to be developed which will be convenient to, and an amenity for, all the residents living in the residential single-family areas surrounding the CBD and South Woodward. One of the visions of the 2016 Plan is to extend the CBD into the South Woodward area to provide services needed by Birmingham residents, and the Daxton will provide a transition point which will extend the CBD into the South Woodward area. The

Daxton is the continuation of such pedestrian-oriented development in this area and would bring more foot traffic towards the South Woodward area. The Daxton will offer these residents uses that will encourage increased social and retail activities and inspire future development in and around the southern area of the CBD.

- v. “Create and reinforce identifiable districts within the downtown to provide a sense of place and a variety of experiences.”

The redevelopment of the South Woodward retail area depends upon the development of new and exciting retail and restaurant uses. This redevelopment works to increase and encourage the development necessary to create and strengthen the identifiable districts of the CBD and the South Woodward retail area.

- vi. “Encourage a diverse mix of uses including retail, commercial, entertainment, cultural, civic, and especially residential.”

The Daxton Hotel is the epitome of a mixed-use space. It combines retail, Restaurant Facilities, banquet facilities, meeting rooms, residential space, and a hotel, plus underground parking, all in a single building.

- vii. “Encourage first floor retail businesses, services, and other activities which are required for everyday living.”

The Daxton’s Restaurant Facilities and retail space are all at street level. The street level entrances (two entrances on Old Woodward and a separate wine bar entrance on the via at the north property line) are all accessible from the sidewalk, inviting pedestrians and creating the atmosphere encouraged by the 2016 Plan. The Daxton will bridge the current gap in the ambiance of the northern part of the CBD to the southern part.

- viii. “Provide easily accessible, identifiable, and convenient parking in an amount to support downtown density and use.”

The Daxton is located within the Parking Assessment District, so no further on-site parking is required for commercial use. Nonetheless, the Daxton is in a unique position to offer easily accessible parking. The multi-level underground garage allows hotel guests and residents of the residential floors to be parked underneath the building, removing those cars from public parking and allowing patrons of the Hotel restaurant and bar who choose not to walk to have more street parking options. Further, the Daxton will offer a valet service for patrons (and the public), which will assist to ease any burden on parking. Over 70 vehicles can be parked in the underground garage during peak times, which is a significant aspect of the Daxton’s Major Event Traffic Plan as approved by the City.



The foregoing is a discussion of several of the more relevant bullet points which are set forth in the Downtown Birmingham Vision Statement. As can be seen, the introduction of the Daxton Hotel's restaurant and bar into this area complies with the 2016 Plan and its vision for Downtown Birmingham.

- B. 7.36(A)(2).** "The use will be compatible with adjacent uses of land, the natural environment, and the capabilities of the public services and facilities effected by the land use."

As stated above, the Daxton Hotel is compatible with adjacent uses of land and sets the stage for a more pedestrian-friendly and environmentally conscious streetscape on the south end of the CBD. The Daxton will not present any issues for added public services or facilities for the land use. All existing facilities and services in this area will easily serve the Daxton.

- C. 7.36(A)(3).** "The use is consistent with public health, safety and welfare of the city."

The use of a B- Hotel liquor license for this exciting new hotel and its amenities in this area is not only consistent with the health, safety and welfare of the community, but because of the services it provides, it is a benefit to the residents of this area and the City at large. As stated above, the widened sidewalks, underground parking and proposed valet service are consistent with the health, safety and welfare of the residents of the City. The Hotel has been designed to result in no interference with traffic.

- D. 7.36(A)(4).** "The use is in compliance with all other requirements of the zoning ordinance."

The site plan and building plans presented demonstrate that the Daxton Hotel complies with the ordinances of the City of Birmingham, in addition to being clearly consistent with the 2016 Plan as set forth in this letter.

- E. 7.36(A)(5).** "The Use Will Not Be Injurious to the Surrounding Neighborhood."

There is no activity of the Daxton Hotel which will be injurious to surrounding neighbors. In fact, this restaurant and bar, and the entirety of the Hotel's facilities, will be beneficial to its neighbors. This location is immediately adjacent to other commercial and office uses. It offers a new restaurant, hotel, retail and event services operated by a world-class operator, to which pedestrians can easily walk. It adds to the diversity of the uses in the neighborhood, which presently are dominated by offices, and sets the stage for further attractive and consistent development. Note that the Hotel does not border on areas zoned single family residential.

**F. 7.36(A)(6).** The Daxton Hotel is not in violation of any State or Federal Statutes.”

The Daxton Hotel is designed and will be operated in a manner which is intended to comply with all relevant laws and regulations of the local, state and federal authorities.

**II. Birmingham City Code**

Two sections of the City Code are relevant to this SLUP proposal.

**A. Sec. 10-101. - Request for transfer of license into city.**

“Persons desiring to transfer a liquor license from outside the city limits into the city limits in excess of the city's quota licenses shall make an application to the city commission and pay the applicable theater liquor license transfer review fee as set forth in appendix A of this Code. In addition to those items and conditions set forth in section 10-42<sup>1</sup>, the application shall set forth in detail its proposed project, including, but not limited to”:

1. **10-101(1):** “Utilization of said liquor licenses and details on the number of quota liquor licenses in escrow at the time of application.”

Applicant is applying to the State of Michigan for a B-Hotel Resort Economic Development Liquor License under MCL 436.1531(4). With respect to quota licenses, there are no quota on-premises liquor licenses available for issuance in the City of Birmingham.

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<sup>1</sup> Section 10-42:

1. **10-42(1):** “An applicant will be given consideration only if he proposes to provide and continues to provide for the service of meals to be consumed on the premises.” The Daxton Hotel will have a grill and restaurant that will provide superior service to all of its patrons.
2. **10-42 (2):** “The location proposed and methods of operation must not detrimentally and unreasonably impact nearby property owners, businesses and residents.” The location and methods of operation will benefit nearby property owners, businesses, and residents by increasing pedestrian traffic to the South Old Woodward area of the CBD and providing residents with another dining and entertainment option that can be accessed without a car.
3. **10-42 (3):** “All applicable health and safety codes and ordinances, including zoning, must be met.” The Daxton Hotel plans to meet all safety codes and ordinances.
4. **10-42 (4):** “Applicants will be required to submit a detailed plan of proposed operation as part of their application for transfer, which shall include a plot plan of the site, a plan for any proposed change in exterior and interior design, lay-out of any proposed change to ancillary facilities and a general operational statements outlining the proposed manner in which the establishment will be operated, including a schedule of the hours of operation, crowd control plans, use of the facility, parking provisions and the estimated cost of any proposed improvements.” Please see final site plan submission made with this application for Special Land Use Permit – Licenses for Theaters and Hotels.

With respect to escrow licenses, the following 4 liquor licenses are in escrow in Birmingham, but to the Applicant's knowledge they are not available for purchase; they are controlled by landlords or are being transferred to future tenants of the buildings where they are held:

0261553 PEABODY OWNER, LLC  
34965 Woodward Ave., Birmingham, MI 48009-0931

110557 WILLITS CO-LICENSE LLC / MITCHELL'S ENTERTAINMENT, INC.  
117 Willits St., Birmingham, MI 48009-3317

240015 WILLITS CO-LICENSE LLC / MITCHELL'S ENTERTAINMENT, INC.  
115 Willits St., Birmingham, MI 48009-3317

238851 THE PALLADIUM OF BIRMINGHAM, LLC  
201 Hamilton Row, Birmingham, MI 48009-3455

2. **10-101(2):** "Proposed and/or existing site plan of the property, building floor plan and an operations floor plan."

Please see final site plan submission made with this application for Special Land Use Permit – Licenses for Theaters and Hotels.

3. **10-101(3):** "An economic impact analysis."

There is a significant positive economic impact on the City by the Daxton Hotel project. The City benefits economically by each of the following effects:

- i. Number of permanent new jobs created: 175 new, permanent positions will be created with the opening of the hotel and retail operations.
- ii. Number of temporary construction and trade jobs: approximately 300 construction jobs are created by the project during the approximate two-year construction period.
- iii. Almost all the construction and trade impact will be within 20 to 30 miles of the site.
- iv. Total investment in the project: approximately \$76 Million Dollars.



- v. Increase in assessed value for the City: an anticipated increase of at least 11.4 times the current estimate of assessed value.
- 4. **10-101(4)**: “A copy of the special land use permit application and supporting documentation submitted by the applicant.”

Please see the Special Land Use application submitted with this letter.

- 5. **10-101(5)**: “All documentation submitted to the LCC requesting the transfer.”

Applicant’s LLC application has been filed with the City Police Department.

- 6. **10-101(6)**: “Full identification and history of the license holder(s) as it pertains to the license proposed to be transferred, including all complaints filed with the state liquor control commission (LCC) or actions taken by any municipality or the LCC to suspend, revoke or deny the non-renewal of said license and all other documentation setting forth the detail of the existing theater or hotel or proposed theater or hotel by the applicant, including the approximate dollar amount of the investment to be made, number of jobs to be created, minimum of 150 seats for a theater and minimum of 100 guest rooms for a hotel and other benefits to the city.”
  - a. Applicant has no identification and history pertaining to the license proposed to be transferred, and no complaints or other actions taken by any person or entity to suspend, revoke, deny or denial of renewal of said license.
  - b. The applicant is investing approximately \$76,000,000 in the design, engineering, approval and construction of the interior (including kitchens) and exterior of this 25, 182 square foot Hotel and amenities.
  - c. Applicant expects to create approximately 175 permanent jobs, and approximately 300 construction jobs at the site.
- 7. **10-101(7)**: “Information detailing how the proposed operation will create or sustain development in the city consistent with the master plan.”

See Section I of the Requirements for SLUP contained in this letter.

- 8. **10-101(8)**: “Such other items deemed necessary by city administration.”

The Daxton will provide further items deemed necessary by the City administration.

**B. Sec. 10-102. - Application for transfer of liquor license into the city for theater purposes.**

“10-102(a) Selection criteria: In addition to the usual factors and criteria used by the city commission for liquor license requests, including those listed in section 10-42<sup>2</sup>, the commission shall consider the following non-exclusive list of criteria to assist in the determination of which of the existing establishment applicants, if any, should be approved”:

1. **10-102(1):** “The applicant's demonstrated ability to finance the proposed project.”

Submitted with SLUP application documents is a letter from the Applicant demonstrating its financial capability of constructing the Hotel with both personal liquidity and financing through Flagstar Bank.

2. **10-102(2):** “The applicant's track record with the City including responding to City and/or citizen concerns.”

The Daxton’s developers have already promptly and properly addressed City and citizen concerns with other aspects of development and will continue to do so. The applicant intends to promptly respond to all the City and/or citizen concerns.

3. **10-102(3):** “Whether the applicant has an adequate site plan to handle the proposed liquor license activities.”

The attached site plan shows in detail that the Restaurant Facilities are designed by restaurant professionals. There are adequate facilities, including parking, to handle vehicular outcomes of the business as well as the expected pedestrian traffic from the Birmingham residential clientele.

4. **10-102(4):** Whether the applicant has adequate health and sanitary facilities.

All the health and safety facilities at the premises will be in compliance with local, state and federal laws.

5. **10-102(5):** “The percentage of proceeds from room rental fees, charges for special events and food sales as compared to the sale of alcoholic beverages.”

The Daxton’s main function is as a hotel. Therefore, it is expected that a majority of its proceeds will be from room rental and event fees, not liquor. The liquor sales will most likely be the smallest percentage of sales when compared to the room rental fees, food, and event fees of the gross revenue. The Applicant will present a more focused economic breakdown to the City

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<sup>2</sup> Please see a discussion of the 10-42 requirements in Footnote 1.

Commission which is based upon the operator's many years of experience operating hotels that serve food and alcoholic beverages.

6. **10-102(6)**: "Whether the applicant has outstanding obligations to the city (i.e. property taxes paid, utilities paid, etc.).

The applicant has no known outstanding obligations to the City.

### **III. Conclusion**

The foregoing sections of this letter have concentrated on the zoning ordinances, the Master Plan and 2016 Plan, Special Land Use Permit – Licenses for Theaters and Hotels. This review clearly demonstrates that the Daxton's proposed Hotel and Restaurant Facilities all satisfy the requirements, guidelines, and goals established in the 2016 Plan and City ordinances. The location of the Daxton in the south CBD Retail 1 area makes this proposal especially attractive, since it will extend pedestrian interest and foot traffic into an area of the CBD that presently is less activated than other CBD areas. In addition, it will greatly expand the dining, hotel and event space in the City.

Accordingly, the Applicant respectfully requests the Planning Board to favorably recommend this Application for Special Land Use Permit – License for Theaters and Hotels to the City Commission, with the hope that the City Commission will grant the Daxton Hotel a Special Land Use Permit – License for Theaters and Hotels.

Should you have any further questions or comments regarding any of the above, please do not hesitate to call. With kind regards, I am,

Very truly yours,  
WILLIAMS, WILLIAMS, RATTNER & PLUNKETT, P.C.



Richard D. Rattner

RDR/cmc  
Enclosure-SLUP Application





## Special Land Use Permit Application

### Planning Division

*Form will not be processed until it is completely filled out.*

#### 1. Applicant

Name: Woodward Brown Ventures, LLC/Aparium Hotel Group  
Address: 102 Pierce Street  
Birmingham, MI 48009  
Phone Number: (248) 247-3814  
Fax Number: \_\_\_\_\_  
Email address: david@lorientcap.com

#### 2. Property Owner

Name: Woodward Brown Ventures, LLC  
Address: 102 Pierce Street  
Birmingham, MI 48009  
Phone Number: (248) 247-3814  
Fax Number: \_\_\_\_\_  
Email address: david@lorientcap.com

#### 3. Applicants Attorney/Contact Person

Name: Richard D. Rattner, Esq.  
Address: 380 N. Old Woodward Ave., Ste. 300  
Birmingham, MI 48009  
Phone Number: (248) 642-06333  
Fax Number: \_\_\_\_\_  
Email address: rdattner@wwrplaw.com

#### 4. Project Designer/Developer

Name: Booth Hansen Architects  
Address: 333 Desplaines Street  
Chicago, Illinois 60661  
Phone Number: (312) 869-5000  
Fax Number: \_\_\_\_\_  
Email address: cstetson@boothhansen.com

#### 5. Required Attachments

- Required fee (see Fee Schedule for applicable amount)
- Two (2) folded copies of scaled plans including:
  - Certified land survey
  - Color elevations showing all materials
  - Site plan (including property lines, buildings and structures for the subject site as well as all adjacent properties within 200 ft. of the property line)
  - Landscape plan
  - Photometric plan
  - Interior floor plan
- Photographs of existing site and/or building.
- Warranty Deed with legal description of property.

- Current aerial photos of the subject site, including all adjacent properties within 200 ft.
- An itemized list of all changes for which approval is requested.
- Samples of all materials to be used.
- Catalog sheets for all proposed lighting, mechanical equipment and outdoor furniture.
- A signed letter from DTE approving the location of all electrical transformers and electrical equipment.
- Completed Checklist.
- Digital copy of plans.
- Additional information as required.

#### 6. Project Information

Address/Location of the property: 298 S. Old Woodward  
and 325 E. Brown, Birmingham, MI  
Name of development: Daxton Hotel  
Sidwell #: 19-36-202-009 and 19-36-202-016  
Current Use: Vacant  
Proposed Use: Hotel; 5th floor residential  
Area of Site in Acres: 0.62 acres  
Current zoning: B-4/O-4  
Is the property located in the floodplain? No  
Name of Historic District Site is Located in: Downtown  
Overlay  
Date of Historic District Commission Approval: 06/21/2017  
Date of Application for Preliminary Site Plan: 04/26/2017  
Date of Preliminary Site Plan Approval: 05/24/2017

Date of Application for Final Site Plan: 06/28/2017  
Date of Final Site Plan Approval: 08/09/2017  
Date of Application for Revised Final Site Plan: 01/31/2019  
Date of Revised Final Site Plan Approval: 04/28/2018  
Date of Design Review Board Approval: N/A  
Is there a current SLUP in effect for this site? No  
Date of Application for SLUP: N/A  
Date of SLUP Approval: N/A  
Date of Last SLUP Amendment: N/A  
Will proposed project require the division of platted lots? No

Will proposed project require the combination of platted lots?  
Yes; Lot combination approved 04/23/2018

**7. Details of the Proposed Development (attach separate sheet if necessary)**

5 story mixed use commercial/residential building with 2 levels underground parking. Ground (street level) is proposed to be a restaurant, commercial space, and hotel lobby. Mezzanine level is proposed for meeting rooms; levels 2-4 are proposed hotel rooms. Level 5 proposed to be long term stay residential units

**8. Buildings and Structures**

Number of Buildings on Site: 1  
Height of Buildings & # of Stories: 70 feet / 5 stories

Use of Buildings: commercial/residential  
Height of Rooftop Mechanical Equipment: 79.50 feet

**9. Floor Use and Area (in Square Feet)**

**Proposed Commercial Structures:**

Total basement floor area: 50,364 SQ (2 levels)  
Number of square feet per upper floor: 25,182 SF  
Total floor area: 159,597 SF (including basement levels)  
Floor area ratio (total floor area ÷ total land area): 5.92

Open space: 1,753 SF  
Percent of open space: 6.5%

**Proposed Residential Structures:**

Total number of units: 17 - at 5th floor only  
Number of one bedroom units: 9  
Number of two bedroom units: 8  
Number of three bedroom units: 0  
Open space: \_\_\_\_\_  
Percent of open space: \_\_\_\_\_

**Proposed Additions:**

Total basement floor area, if any, of addition: \_\_\_\_\_  
Number of floors to be added: \_\_\_\_\_  
Square footage added per floor: \_\_\_\_\_  
Total building floor area (including addition): \_\_\_\_\_  
Floor area ratio (total floor area ÷ total land area): \_\_\_\_\_  
Open Space: \_\_\_\_\_  
Percent of open space: \_\_\_\_\_

Office Space: 1,587 SF  
Retail Space: 11,539 SF  
Industrial Space: N/A  
Assembly Space: 7,446 SF  
Seating Capacity: 497  
Maximum Occupancy Load: 1,384 (includes office, retail, assembly, and hotel)

Rental units or condominiums? Rental  
Size of one bedroom units: 600 SF to 818 SF  
Size of two bedroom units: 664 SF to 823 SF  
Size of three bedroom units: N/A  
Seating Capacity: N/A  
Maximum Occupancy Load: 76 (includes 5th Fl residences only)

Use of addition: \_\_\_\_\_  
Height of addition: \_\_\_\_\_  
Office space in addition: \_\_\_\_\_  
Retail space in addition: \_\_\_\_\_  
Industrial space in addition: \_\_\_\_\_  
Assembly space in addition: \_\_\_\_\_  
Maximum building occupancy load (including addition): \_\_\_\_\_

**10. Required and Proposed Setbacks**

Required front setback: 0'  
Required rear setback: 0'  
Required total side setback: 0'  
Side setback: 0'

Proposed front setback: 0'  
Proposed rear setback: 0'  
Proposed total side setback: 10'  
Second side setback: 0'

**11. Required and Proposed Parking**

Required number of parking spaces: 1.25 x 9 + 1.5 x 8 = 24 spaces  
Typical angle of parking spaces: 90 degree / 45 degree  
Typical width of maneuvering lanes: varies-see plans  
Location of parking on site: basement  
Location of parking off site: none  
Number of light standards in parking area: \_\_\_\_\_  
Screenwall material: \_\_\_\_\_

Proposed number of parking spaces: 56  
Typical size of parking spaces: 10' x 18' or larger  
Number of spaces <180 sq. ft.: 0  
Number of handicap spaces: 2  
Shared parking agreement? no  
Height of light standards in parking area: \_\_\_\_\_  
Height of screenwall: \_\_\_\_\_

## 12. Landscaping

Location of landscape areas: \_\_\_\_\_  
Planters at Via and Old Woodward  
4" Shade Trees  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Proposed landscape material: Raised planters with steel edge at Via. Birmingham standard along Old Woodward.  
See landscape plan.

Regal Prince Oak and Triumph Elm Caliper shade trees.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## 13. Streetscape

Sidewalk width: 17' at Old Woodward; 10' at Via  
Number of benches: 6  
Number of planters: 4 at Via; 4 at Old Woodward  
Number of existing street trees: 6  
Number of proposed street trees: 9  
Streetscape plan submitted? Yes

Description of benches or planters: Raised planter with steel edge at Via. Birmingham standard at Old Woodward  
Species of existing trees: \_\_\_\_\_

Species of proposed trees: \_\_\_\_\_  
\_\_\_\_\_

## 14. Loading

Required number of loading spaces: (3) 40' x 12' x 14' H  
Typical angle of loading spaces: 90 degrees  
Screenwall material: Ornamental Metal Gate  
Location of loading spaces on site: Loading doors open toward rear yard

Proposed number of loading spaces: 1

Typical size of loading spaces: 40' x 12' x 14'H

Height of screenwall: Ornamental Metal Gate

Typical time loading spaces are used: morning

Proposed number of waste receptacles: located indoors

Size of waste receptacles: located indoors

Height of screenwall: located indoors

Location of all utilities & easements: refer to civil

utility plan

Height of screenwall: N/A

Location of all ground mounted units: \_\_\_\_\_

Height of screenwall: \_\_\_\_\_

Location of all rooftop units: refer to rooftop plan

Size of rooftop units (L•W•H): MAU 22' x 11" x 8' H

Percentage of rooftop covered by mechanical units: 33%

Height of screenwall: 11' - 0 "

Distance from rooftop units to all screenwalls: varies

Size of accessory buildings: \_\_\_\_\_

Height of accessory buildings: \_\_\_\_\_

## 15. Exterior Waste Receptacles

Required number of waste receptacles: located indoors  
Location of waste receptacles: located indoors  
Screenwall material: \_\_\_\_\_

## 16. Mechanical Equipment

### Utilities and Transformers:

Number of ground mounted transformers: 0

Size of transformers (L•W•H): \_\_\_\_\_

Number of utility easements: \_\_\_\_\_

Screenwall material: \_\_\_\_\_

### Ground Mounted Mechanical Equipment:

Number of ground mounted units: 0

Size of ground mounted units (L•W•H): \_\_\_\_\_

Screenwall material: \_\_\_\_\_

### Rooftop Mechanical Equipment:

Number of rooftop units: (2) MAU 50 tons each

Type of rooftop units: (30) air cooled VRF condensers; (1) kitchen exhaust fan; (11) toilet exhaust fans

Screenwall material: perforated corrugated metal panel

Location of screenwall: 5th floor rooftop

## 17. Accessory Buildings

Number of accessory buildings: N/A

Location of accessory buildings: \_\_\_\_\_



## 18. Building Lighting

Number of light standards on building: 18  
Size of light fixtures (L•W•H): vaires - see plan  
Maximum wattage per fixture: see fixture certs  
Light level at each property line: see photometric study

Type of light standards on building: varies-see cert sheets

Height from grade: refer to elevations  
Proposed wattage per fixture: \_\_\_\_\_

## 19. Site Lighting

Number of light fixtures: 4  
Size of light fixtures (L•W•H): 11" x 4" x 12' 9"  
Maximum wattage per fixture: 89 watts  
Light level at each property line: N/A

Type of light fixtures: Luminaire LCC 30 LED  
Height from grade: 12' 9.5"  
Proposed wattage per fixture: 89 watts  
Holiday tree lighting receptacles: N/A

## 20. Adjacent Properties

Number of properties within 200 ft.: 6

### Property #1

Number of buildings on site: 1  
Zoning district: Business Residential B-4  
Use type: Office/Commercial  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: 255 S. Old Woodward, Office/Commercial

North, south, east or west of property? \_\_\_\_\_

### Property #2

Number of buildings on site: 1  
Zoning district: General Business B-2  
Use type: Office  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: 300 S. Old Woodward, Office

North, south, east or west of property? \_\_\_\_\_

### Property #3

Number of buildings on site: 1  
Zoning district: General Business B-2  
Use type: Office  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: 294 E. Brown, Office

North, south, east or west of property? \_\_\_\_\_

### Property #4

Number of buildings on site: 1  
Zoning district: Business Residential B-4  
Use type: Office  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: 255 E. Brown, Office

North, south, east or west of property? \_\_\_\_\_

### Property #5

Number of buildings on site: 1  
Zoning district: Business Residential B-4  
Use type: Restaurant  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: 220 E. Merrill, Restaurant

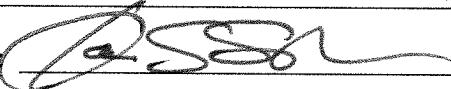
North, south, east or west of property? \_\_\_\_\_

**Property #6**

Number of buildings on site: 1  
Zoning district: Business Residential B-4  
Use type: Office/Commercial  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: 200 S. Old Woodward, Office/  
Commercial  
\_\_\_\_\_  
\_\_\_\_\_  
North, south, east or west of property? \_\_\_\_\_

**The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for site plan review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.**

**Signature of Owner:**Date: 8-19-19Print Name: Jeffrey Silverman, Authorized Representative of Woodward Brown Ventures, LLC**Signature of Applicant:**Date: 8-19-19Print Name: Jeffrey Silverman, Authorized Representative of Woodward Brown Ventures, LLC**Signature of Architect:**

\_\_\_\_\_

Date: 8-19-19Print Name: Charlie Stetson, AIA, LEED, AP, Principal, Booth Hansen Architecture*Office Use Only*

Application #: \_\_\_\_\_ Date Received: \_\_\_\_\_ Fee: \_\_\_\_\_

Date of Approval: \_\_\_\_\_ Date of Denial: \_\_\_\_\_ Accepted by: \_\_\_\_\_

**Signature of Co-Applicant:**

Aparium Hotel Group, LLC

By: \_\_\_\_\_

Name: \_\_\_\_\_

Its: \_\_\_\_\_

Date: \_\_\_\_\_

**Property #6**

Number of buildings on site: 1  
Zoning district: Business Residential B-4  
Use type: Office/Commercial  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: 200 S. Old Woodward, Office/Commercial  
\_\_\_\_\_  
\_\_\_\_\_  
North, south, east or west of property? \_\_\_\_\_

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for site plan review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

Signature of Owner: [Signature] Date: 8-19-19

Print Name: Jeffrey Silverman, Authorized Representative of Woodward Brown Ventures, LLC

Signature of Applicant: [Signature] Date: 8-19-19

Print Name: Jeffrey Silverman, Authorized Representative of Woodward Brown Ventures, LLC

Signature of Architect: [Signature] Date: 8-19-19

Print Name: Charlie Stetson, AIA, LEED, AP, Principal, Booth Hansen Architecture

*Office Use Only*

Application #: \_\_\_\_\_ Date Received: \_\_\_\_\_ Fee: \_\_\_\_\_

Date of Approval: \_\_\_\_\_ Date of Denial: \_\_\_\_\_ Accepted by: \_\_\_\_\_

**Signature of Co-Applicant:**

Aparium Hotel Group, LLC

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_



**Property #6**

Number of buildings on site: 1  
Zoning district: Business Residential B-4  
Use type: Office/Commercial  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: 200 S. Old Woodward, Office/Commercial

North, south, east or west of property? \_\_\_\_\_

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for site plan review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

Signature of Owner: [Signature] Date: 8-19-19

Print Name: Jeffrey Silverman, Authorized Representative of Woodward Brown Ventures, LLC

Signature of Applicant: [Signature] Date: 8-19-19

Print Name: Jeffrey Silverman, Authorized Representative of Woodward Brown Ventures, LLC

Signature of Architect: \_\_\_\_\_ Date: 8-19-19

Print Name: Charlie Sletson, AIA, LEED, AP, Principal, Booth Hansen Architecture

*Office Use Only*

Application #: \_\_\_\_\_ Date Received: \_\_\_\_\_ Fee: \_\_\_\_\_

Date of Approval: \_\_\_\_\_ Date of Denial: \_\_\_\_\_ Accepted by: \_\_\_\_\_

**Signature of Co-Applicant:**

Aparium Hotel Group, LLC

By: [Signature]  
Name: MARCO M. TRICE  
Its: (CEO)

Date: \_\_\_\_\_



## Notice Signs - Rental Application Community Development

### 1. Applicant

Name: Woodward Brown Ventures, LLC/Aparium Hotel Group  
Address: 102 Pierce Street  
Birmingham, MI 48009  
Phone Number: (248) 247-3814  
Fax Number:

### Property Owner

Name: Woodward Brown Ventures, LLC  
Address: 102 Pierce Street  
Birmingham, MI 48009  
Phone Number: (248) 247-3814  
Fax Number:

### 2. Project Information

Address/Location of Property: 298 S. Old Woodward and  
325 E. Brown, Birmingham, MI  
Name of Development: Daxton Hotel  
Area in Acres: 0.62 acres


Name of Historic District site is in, if any:   
Current Use: vacant  
Current Zoning: B-4/O-4

### 3. Date of Board Review

Board of Building Trades Appeals: N/A  
City Commission:   
Historic District Commission: 06/21/2017  
Planning Board: 08/09/2019

Board of Zoning Appeals: N/A  
Design Review Board: N/A  
Housing Board of Appeals: N/A

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.

Signature of Applicant: 

Date: 8/19/19

Jeffrey Silverman, Authorized Representative of Woodward Brown Ventures, LLC

Signature of Co-Applicant: Aparium Hotel Group, LLC

Date:

By:

Name:

Its:

Office Use Only

Application #:  Date Received:  Fee:

Date of Approval:  Date of Denial:  Reviewed by:



## SPECIAL LAND USE PERMIT APPLICATION CHECKLIST – PLANNING DIVISION

Applicant: Woodward Brown Ventures, LLC/Aparium Hotel Group Case #: \_\_\_\_\_ Date: \_\_\_\_\_

Address: 102 Pierce Street, Birmingham, MI 48009 Project: Daxton Hotel

All site plans and elevation drawings prepared for approval shall be prepared in accordance with the following specifications and other applicable requirements of the City of Birmingham. If more than one page is used, each page shall be numbered sequentially. All plans must be legible and of sufficient quality to provide for quality reproduction or recording. Plans must be no larger than 24" x 36", and must be folded and stapled together. The address of the site must be clearly noted on all plans and supporting documentation.

### Site Plan for Special Land Use Permit

A full site plan detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- ☒ 1. Name and address of applicant and proof of ownership;
- ☒ 2. Name of Development (if applicable);
- ☒ 3. Address of site and legal description of the real estate;
- ☒ 4. Name and address of the land surveyor;
- ☒ 5. Legend and notes, including a graphic scale, north point, and date;
- ☒ 6. A separate location map;
- ☒ 7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land;
- ☒ 8. Aerial photographs of the subject site and surrounding properties;
- ☐ NA 9. A list of all requested elements/changes to the site plan;
- ☐ NA 10. Any changes requested marked in color on the site plans and on all elevations of any building(s);
- ☒ 11. Site plan showing the subject site in its entirety, including property lines, buildings and structures. Site plan must show the same details for all adjacent properties within 200 ft. of the subject sites property lines;
- ☒ 12. A chart indicating the dates of any previous approvals by the Planning Board, Board of Zoning Appeals, Design Review Board, or the Historic District Commission ("HDC");
- ☒ 13. Existing and proposed layout of streets, open space and other basic elements of the plan;
- ☒ 14. Existing and proposed utilities and easements and their purpose;
- ☐ NA 15. Location of natural streams, regulated drains, 100-year flood plains, floodway, water courses, marshes, wooded areas, isolated preserve-able trees, wetlands, historic features, existing structures, dry wells, utility lines, fire hydrants and any other significant feature(s) that may influence the design of the development;
- ☒ 16. General description, location, and types of structures on site;
- ☒ 17. Location of sidewalks, curb cuts, and parking lots on subject site and all sites within 200 ft. of the property line;
- ☒ 18. Details of existing or proposed lighting, signage and other pertinent development features;
- ☒ 19. Elevation drawings showing proposed design;



- ☒ 20. Screening to be utilized in concealing any exposed mechanical or electrical equipment and all trash receptacle areas;
- ☒ 21. Location of all exterior lighting fixtures;
- ☒ 22. A landscape plan showing all existing and proposed planting and screening materials, including the number, size, and type of plantings proposed and the method of irrigation; and
- ☒ 23. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.

### **Elevation Drawings**

Complete elevation drawings detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- ☒ 24. Color elevation drawings showing the proposed design for each façade of the building;
- ☒ 25. List of all materials to be used for the building, marked on the elevation drawings;
- ☒ 26. Elevation drawings of all screenwalls to be utilized in concealing any exposed mechanical or electrical equipment, trash receptacle areas and parking areas;
- ☒ 27. Details of existing or proposed lighting, signage and other pertinent development features;
- ☒ 28. A list of any requested design changes;
- ☒ 29. Itemized list of all materials to be used, including exact size specifications, color, style, and the name of the manufacturer;
- ☒ 30. Location of all exterior lighting fixtures, exact size specifications, color, style and the name of the manufacturer of all fixtures, and a photometric analysis of all exterior lighting fixtures showing light levels to all property lines; and
- ☒ 31. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.

# Law Offices of Jeffrey S. Silverman

3340 Bloomcrest  
Bloomfield Hills, MI 48304  
(248) 910-0678  
Email: [silvoman@aol.com](mailto:silvoman@aol.com)

August 14, 2019

City of Birmingham Planning Board  
151 Martin Street  
Birmingham, MI 48012  
Attn: Jana Ecker, Planning Director

Dear Ms. Ecker:

I have had the privilege of representing Mark Mitchell in legal matters for over twenty years. I submit this correspondence in connection with the SLUP Application for one of his business entities, Woodward Brown Ventures, LLC ("LLC"), the owner of The Daxton Hotel currently under construction in the City of Birmingham.

The land on which the hotel is being built is owned free and clear by LLC. To date, all construction costs have been funded by the LLC without financing. On today's date, LLC closed a construction loan with Flagstar Bank which will fund construction through completion. Prior to the construction funding commencing, LLC will provide an additional \$9 Million to the project. LLC and Mr. Mitchell have sufficient liquidity to fund the project until the construction financing commences.

Should you require any additional information, please feel free to contact me at the above listed number.

Warmest regards,



Jeffrey S. Silverman

**DAXTON HOTEL**

**CHART OF BOARD REVIEWS AND ACTIONS**

<b><u>DATE</u></b>	<b><u>BOARD</u></b>	<b><u>ACTION</u></b>
<b>4/26/2017</b>	<b>Planning Board</b>	<b>First preliminary site plan review. Board postponed vote to 5/24/2017.</b>
<b>5/24/2017</b>	<b>Planning Board</b>	<b>Board approved CIS and preliminary site plan.</b>
<b>8/2/2017</b>	<b>Advisory Parking Committee</b>	<b>APC approved recommendation to remove 8 on-street parking meters for valet at curb.</b>
<b>8/9/2017</b>	<b>Planning Board</b>	<b>Board granted final site plan approval.</b>
<b>10/16/2017</b>	<b>City Commission</b>	<b>City Commission declined to approve license agreement for metered spaces at curb, sending matter back to APC.</b>
<b>3/28/2018</b>	<b>Planning Board</b>	<b>Board approved changes to exterior building materials for 5<sup>th</sup> floor stucco with exterior color to be approved at later date.</b>
<b>7/19/2018</b>	<b>Planning Board</b>	<b>Board approved design and material changes regarding penthouse exterior color, cast stone for exterior, metal railing, via sidewalk design, and second floor room layout.</b>



OAKLAND COUNTY TREASURER'S CERTIFICATE  
This is to certify that there are no delinquent property  
taxes as of this date owed to our office on this property.  
No representation is made as to the status of any taxes,  
tax liens or titles owed to any other entities.

JAN 12 2016

ANDREW E. MEISNER, County Treasurer  
Sec. 135, Act 206, 1893 as amended

7224  
LIBER 48970 PAGE 673  
\$19.00 DEED - COMBINED  
\$4.00 REMONUMENTATION  
01/13/2016 10:57:08 A.M. RECEIPT# 4719  
PAID RECORDED - OAKLAND COUNTY  
LISA BROWN, CLERK/REGISTER OF DEEDS

CHECKING COMPLETED  
AT REGISTER OF DEEDS

JAN 12 2016

Register of Deeds  
Oakland County, MI

### COVENANT DEED

THIS INDENTURE is made this 8th day of January, 2016, between **WMSR COMPANY, L.L.C.**, a Michigan limited liability company, whose address is 30150 Telegraph Road, Suite 373, Bingham Farms, Michigan 48025 ("Grantor") and **WOODWARD BROWN VENTURES, LLC**, a Michigan limited liability company, whose address is 102 Pierce Street, Birmingham, Michigan 48009 ("Grantee").

#### WITNESSETH:

That the Grantor, for and in consideration of the sum disclosed on the Real Estate Transfer Tax Valuation Affidavit filed herewith to it paid by the Grantee, the receipt of which is hereby confessed and acknowledged, has transferred, granted, sold, and conveyed, and by these presents does transfer, grant, sell and convey, unto the Grantee, and to its successors and assigns, forever, all that certain real estate located in the City of Birmingham, County of Oakland, State of Michigan, described on **Exhibit A** attached hereto and incorporated herein, to have and to hold the premises as before described unto the Grantee, its successors and assigns, forever.

And the Grantor, for itself, and its successors, does hereby covenant, promise and agree to and with the Grantee, its successors and assigns, that Grantor will warrant and defend the said premises with the hereditaments and appurtenances unto the Grantee, its successors and assigns, forever against the lawful claims of all persons claiming by, from or under Grantor, but against no other claims or persons.

Subject, however, to easements, zoning ordinances, and restrictions of record, if any and to the exceptions set forth on the attached **Exhibit B**.

The Grantor grants to the Grantee the right to make all divisions legally available to the Property under Section 108 of the Land Division Act, Act No. 288 of the Public Acts of 1967, as amended.

This property may be located within the vicinity of farm land or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors and other associated conditions may be used and are protected by the Michigan Right to Farm Act.

63-15431453-SCM

S-23

REVENUE TO BE AFFIXED  
AFTER RECORDING


OK - LG

RECEIVED  
OAKLAND COUNTY  
REGISTER OF DEEDS  
JAN 12 PM 12:49

4P  
R  
51

IN WITNESS WHEREOF, the Grantor has executed this instrument on the date first written above and has declared this conveyance to be binding upon it and its personal representatives, heirs, successors and assigns.

WMSR COMPANY, L.L.C., a Michigan limited liability company


By:   
Mark A. Thomas, Member

By:   
William P. Jamnick, Member

STATE OF MICHIGAN    )  
                                  ) SS.  
COUNTY OF Oakland )

The foregoing instrument was acknowledged before me this 8<sup>th</sup> day of January, 2016, by Mark A. Thomas and William P. Jamnick, the Members of WMSR Company, L.L.C., a Michigan limited liability company, on behalf of said Company.



  
\_\_\_\_\_, Notary Public  
\_\_\_\_\_, County, Michigan  
Acting in the County of \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

Drafted By (And When Recorded, Return To:)

Mary P. Nelson, Esq.  
Abbott Nicholson, P.C.  
300 River Place, Suite 3000  
Detroit, Michigan 48207-4225

Send Subsequent Tax Bills To:

Grantee

Return to: Mark Mitchell, 102 Pierce Street, Birmingham, MI 48009

## **EXHIBIT A**

### **LEGAL DESCRIPTION**

Property located in the City of Birmingham, Oakland County, Michigan more particularly described as:

Part of Lot 21 of Assessor's Plat No. 25, being a Replat of Taber Addition and Lots 1, 2 and 3, Brown's Addition and Plat of the Northeast 1/4 of Sec. 36, Town 2 North, Range 10 East, according to the Plat thereof as Recorded in Liber 54A, Page 73 of Plats, Oakland County Records, described as beginning at the Southeast corner of said Lot 21, thence North 35 degrees 59 minutes 36 seconds West along the east line of said Lot 21 a distance of 80.47 feet, thence South 61 degrees 39 minutes 51 seconds West 34.25 feet, thence South 30 degrees 13 minutes 39 seconds East 79.76 feet to the South line of said Lot 21, thence North 61 degrees 42 minutes 50 seconds East along said South line 42.34 feet to the point of beginning.

RE: 325 E. Brown Street, Birmingham, Michigan 48009

Tax Item No. 19-36-202(09)009

### **LEGAL DESCRIPTION**

Property located in the City of Birmingham, Oakland County, Michigan more particularly described as:

Easterly part of Lot 3 lying adjacent to Lot 24, described as: Beginning at Northwest corner of Lot 24; thence South 35 degrees 30 minutes 00 seconds East 40.51 feet; thence South 61 degrees 32 minutes 15 seconds West 23.77 feet; thence North 36 degrees 25 minutes 04 seconds West 37.09 feet; thence North 53 degrees 16 minutes 30 seconds East 24.19 feet to beginning. Also part of Lot 21, beginning at Southwest corner of Lot 23; thence North 35 degrees 49 minutes 05 seconds West 52.93 feet; thence South 31 degrees 27 minutes 05 seconds East 52.56 feet; thence North 61 degrees 41 minutes 10 seconds East 4.04 feet to beginning. Also all of Lot 22, also Lot 23, except beginning at Northwest lot corner; thence North 61 degrees 32 minutes 15 seconds East 2.35 feet; thence South 31 degrees 27 minutes 05 seconds East 30.56 feet; thence North 35 degrees 49 minutes 05 seconds West 30.78 feet to beginning, also all of Lot 24, "Assessor's Plat No. 25", as recorded in Liber 54A, Page 73 of Plats, Oakland County Records.

RE: 298 South Old Woodward, Birmingham, Michigan 48009

Tax Item No. 19-36-202-016

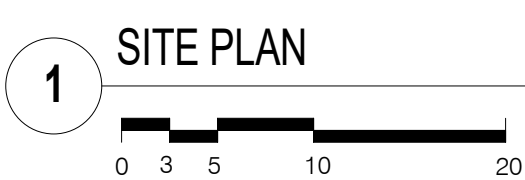
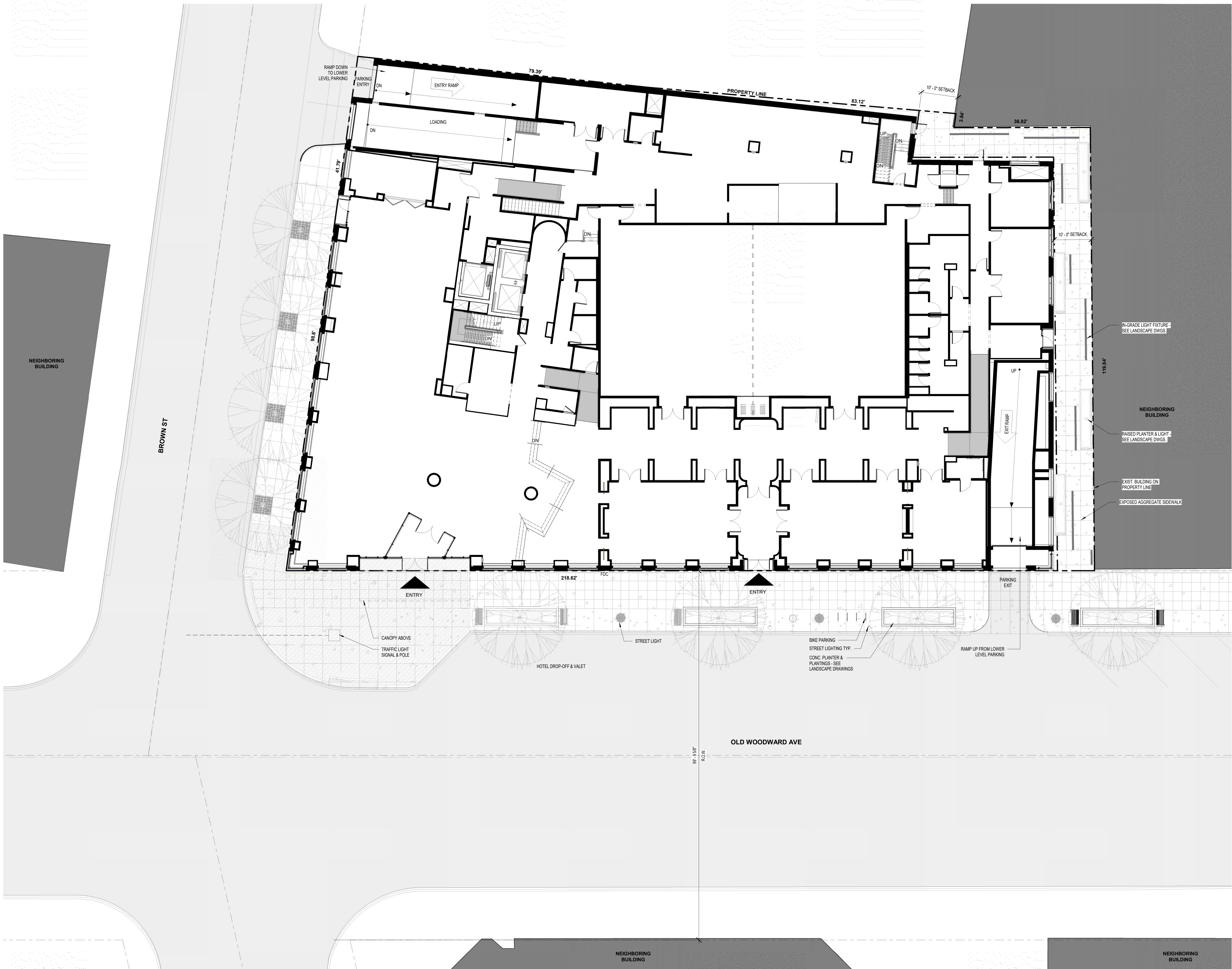


## **EXHIBIT B – EXCEPTIONS TO TITLE**

1. Any facts, rights, interests, or claims that are not shown by the public records but that could be ascertained by an inspection of the property or by making inquiry of persons in possession of the property.
2. Easements, liens, encumbrances, existing water, mineral, oil and exploration rights, or claims thereof, not shown by the public records.
3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title including discrepancies, conflicts in boundary lines, shortage in area, or any other facts that would be disclosed by an accurate and complete land survey of the Land, and that are not shown in the public records.
4. Taxes and assessments not assessed, due or payable as of the date hereof.
5. Subject to the rights of the public and of any governmental agency in any part of the land thereof taken, used or deeded for street, road or highway purposes.



M:\Projects\1623 Birmingham Hotel\01 Drawings\02 Local\1623 Birmingham Hotel\_mbluler.rvt



BOOTH HANSEN

Architecture Interiors Planning  
333 South Des Plaines Street  
Chicago, Illinois 60661

17	ISSUED FOR CONSTRUCTION	02-01-19
14	ISSUE FOR BID	10-30-18
13	ISSUED FOR 90% CD	09-28-18
11	ISSUED FOR BUILDING PERMIT	08-31-18
5	ISSUED FOR SUPERSTRUCTURE BID	03-15-18
4	ISSUED FOR FOUNDATION PERMIT	02-19-18
3	DESIGN DEVELOPMENT PROGRESS	02-02-18
2	SITE DEMOLITION PERMIT	01-09-18
1	SCHEMATIC DESIGN	8-31-17

NO. DESCRIPTION DATE



PROJECT NUMBER 1623

Daxton Hotel

298 S Old Woodward Ave.  
Birmingham, MI 48009

SITE PLAN

A001



BOOTH HANSEN

Architecture Interiors Planning  
333 South Des Plaines Street  
Chicago, Illinois 60661

PLAN GENERAL NOTES

- SEE INTERIOR DESIGN DRAWINGS FOR ENLARGED PLANS, ELEVATIONS, AND DETAILS OF GUESTROOMS AND GUESTROOM BATHROOMS.
- FOR ADDITIONAL INFORMATION ON KITCHEN EQUIPMENT, SEE FOOD SERVICE DRAWINGS.
- SEE A600 FOR EXTERIOR WALL TYPES. REFER TO INTERIOR DESIGN DRAWINGS FOR ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAILS OF ALL PUBLIC SPACES.
- PROVIDE METAL CORNER GUARDS AT ALL EXPOSED CMU CORNERS IN BOH SPACES.
- REFER TO FOOD SERVICE DRAWINGS FOR CORNER GUARDS IN FOOD SERVICE AREAS.
- REFER TO SHEET A604 DOOR SCHEDULE FOR SCHEDULE OF CASED OPENINGS AND SIZES.
- PROVIDE PLYWOOD BACKING AS REQUIRED IN TELE. CLOSET.
- REFER TO LANDSCAPE DRAWINGS FOR GREEN ROOF PLANTINGS.
- FINAL LOCATIONS OF FIRE EXTINGUISHER CABINETS TO BE REVIEWED/APPROVED BY FIRE DEPARTMENT AND BUILDING OFFICIAL ON SITE.

26	BULLETIN #13	07-31-19
22	BULLETIN #09	06-28-19
17	ISSUED FOR CONSTRUCTION	02-01-19
16	BID ADDENDUM #2	11-16-18
15	PERMIT CORRECTIONS	11-16-18
14	ISSUE FOR BID	10-30-18
13	ISSUED FOR 90% CD	09-28-18
12	ISSUED FOR FOUNDATION CONSTRUCTION	09-07-18
11	ISSUED FOR BUILDING PERMIT	08-31-18
5	ISSUED FOR SUPERSTRUCTURE BID	03-15-18
4	ISSUED FOR FOUNDATION PERMIT	02-19-18
3	DESIGN DEVELOPMENT PROGRESS	02-02-18
1	SCHEMATIC DESIGN	8-31-17

PROJECT NUMBER 1623

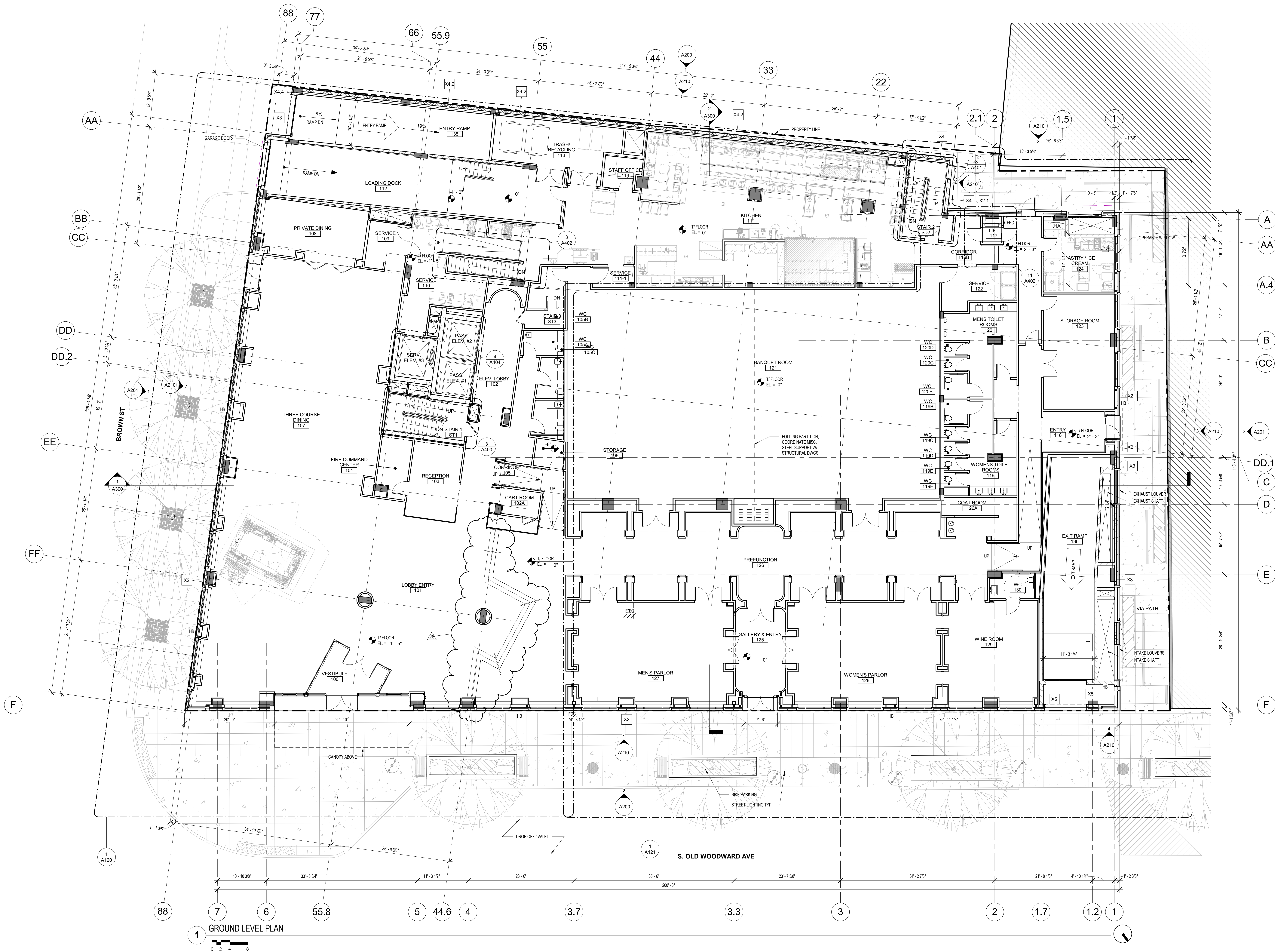
Daxton Hotel

298 S Old Woodward Ave.  
Birmingham, MI 48009

GROUND LEVEL PLAN

A101

M:\Projects\1623 Birmingham Hotel\01 Drawings\02 Local\1623 Birmingham Hotel\_dubee.vt

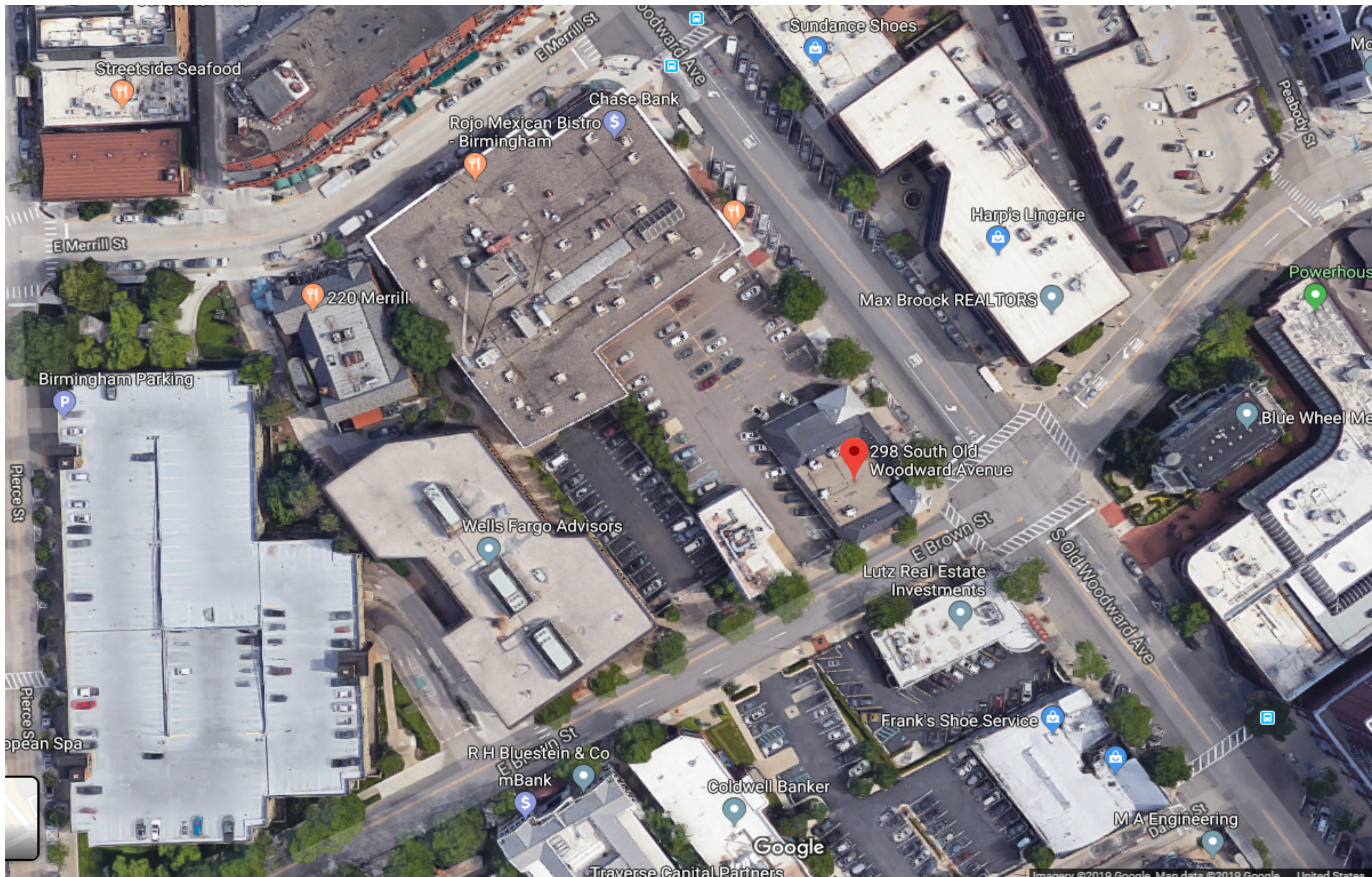


1 GROUND LEVEL PLAN













1 EAST ELEVATION



2 WEST ELEVATION





1 SOUTH ELEVATION



2 NORTH ELEVATION



GENERAL NOTES:

- 01 REFER TO ARCHITECTURAL DRAWINGS FOR BOH AREAS
- 02 ALL DIMENSIONS ARE FROM FINISHED FACE OF WALL TO FINISHED FACE OF WALL, UNLESS NOTED OTHERWISE
- 03 REFER TO ARCHITECTURAL DOOR SCHEDULE FOR DOOR & HARDWARE TYPES
- 04 PROVIDE BLOCKING AT ALL ARTWORK. REFER TO FURNITURE PLAN & ID ELEVATIONS FOR ARTWORK LOCATIONS
- 05 SEE SCHEDULES FOR BATHROOM ACCESSORIES, PLUMBING, & DECORATIVE HARDWARE SPECIFICATIONS
- 06 GC TO PROVIDE IN-WALL BLOCKING FOR ALL WALL AND/OR CEILING MOUNTED MILLWORK PANELS, ARTWORK, SHELVING, CASEGOODS, EQUIPMENT, ETC AS REQUIRED. COORDINATE ALL DESIGNATED BLOCKING LOCATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION
- 07 SOLID HATCH DENOTES AREAS NOT TO BE CONSTRUCTED
- 08 REFER TO ARCHITECT'S DRAWINGS FOR STAIR, RAMP, & RAILING INFORMATION

KEY NOTES:

- 01 FURNISH & INSTALL METAL FRAME GEODE STRUCTURE WITH INTEGRATED LIGHTING. REFER TO ID ELEVATIONS & DETAILS FOR MORE INFORMATION. GEODE FABRICATOR TO ENSURE FORM OF GEODE STRUCTURE COMPLES WITH ADA CODE REQUIREMENTS. COORDINATION REQUIRED WITH CONSULTANT FOR STRUCTURAL SUPPORT, LIGHTING & MEP REQUIREMENTS
- 02 FURNISH & INSTALL BAR MILLWORK AS INDICATED. REFER TO ID ELEVATIONS & DETAILS FOR MORE INFORMATION. REFER TO KITCHEN CONSULTANT PLANS FOR EQUIPMENT. PROVIDE PLUMBING & POWER/DATA AS REQUIRED
- 03 FURNISH & INSTALL MILLWORK AS INDICATED. REFER TO ID ELEVATIONS & DETAILS FOR MORE INFORMATION. PROVIDE BLOCKING AS REQUIRED
- 04 REFER TO KITCHEN CONSULTANT PLANS FOR EQUIPMENT. PROVIDE PLUMBING, LIGHTING, POWER/DATA AS REQUIRED
- 05 FLIP-UP MILLWORK COUNTER
- 06 FURNISH & INSTALL REFRIGERATED WINE CABINET UNIT. COORDINATION REQUIRED WITH WINE CONSULTANT FOR STRUCTURAL SUPPORT, LIGHTING & MEP REQUIREMENTS

ISSUE DATE: 06.21.2019

BULLETIN 10

REVISIONS:

NUMBER	DATE	DESCRIPTION
16	11.16.2018	BID ADDENDUM 2
17	03.01.2019	ISSUED FOR CONSTRUCTION
23	06.21.2019	BULLETIN 10

DAXTON BIRMINGHAM HOTEL  
298 S OLD WOODWARD AVENUE,  
BIRMINGHAM, MI

PROJECT NUMBER: 16033

DRAWN BY: SIMEONE DEARY DESIGN GROUP

CHECKED BY: U

DRAWING TITLE:  
1ST - FLOOR PLAN

SHEET NUMBER:

I-P.20.01.01

(C) 2018 SIMEONE DEARY DESIGN GROUP



## GENERAL NOTES:

- 01 REFER TO ARCHITECTURAL DRAWINGS FOR BOH AREAS
- 02 PROVIDE BLOCKING AT ALL ARTWORK, TV, MIRRORS AS REQUIRED, TYP.

## KEY NOTES:

- 01 PROVIDE BLOCKING AT ALL ARTWORK, TV, MIRRORS AS REQUIRED, TYP.
- 02 NEW AREA RUGS AS SPECIFIED. REFER TO FFE SPECIFICATIONS FOR MORE INFORMATION. FLOOR FINISH TO CARRY UNDER AREA RUGS.
- 03 COORDINATION REQUIRED WITH FURNITURE & MILLWORK THAT REQUIRES POWER.
- 04 MULTIFUNCTIONAL SPACE WITH TEMPORARY/MOVABLE FURNITURE GROUPINGS.

ISSUE DATE: 06.21.2019

BULLETIN 10

REVISIONS:

NUMBER	DATE	DESCRIPTION
15	11.16.2018	PERMIT CORRECTION
17	03.01.2019	ISSUED FOR CONSTRUCTION
23	06.21.2019	BULLETIN 10

DAXTON BIRMINGHAM HOTEL  
298 S OLD WOODWARD AVENUE,  
BIRMINGHAM, MI

PROJECT NUMBER: 16033

DRAWN BY: SIMEONE DEARY DESIGN GROUP

CHECKED BY: U

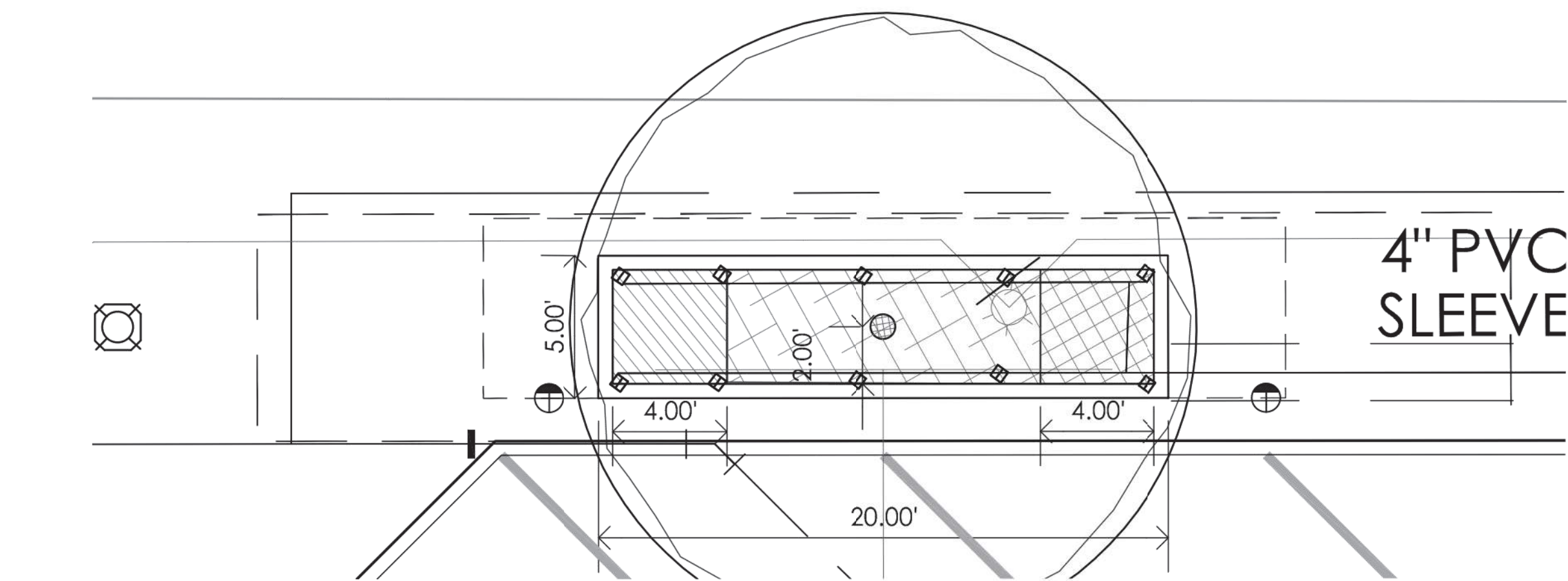
DRAWING TITLE:  
1ST FLOOR - FURNITURE PLAN

SHEET NUMBER:

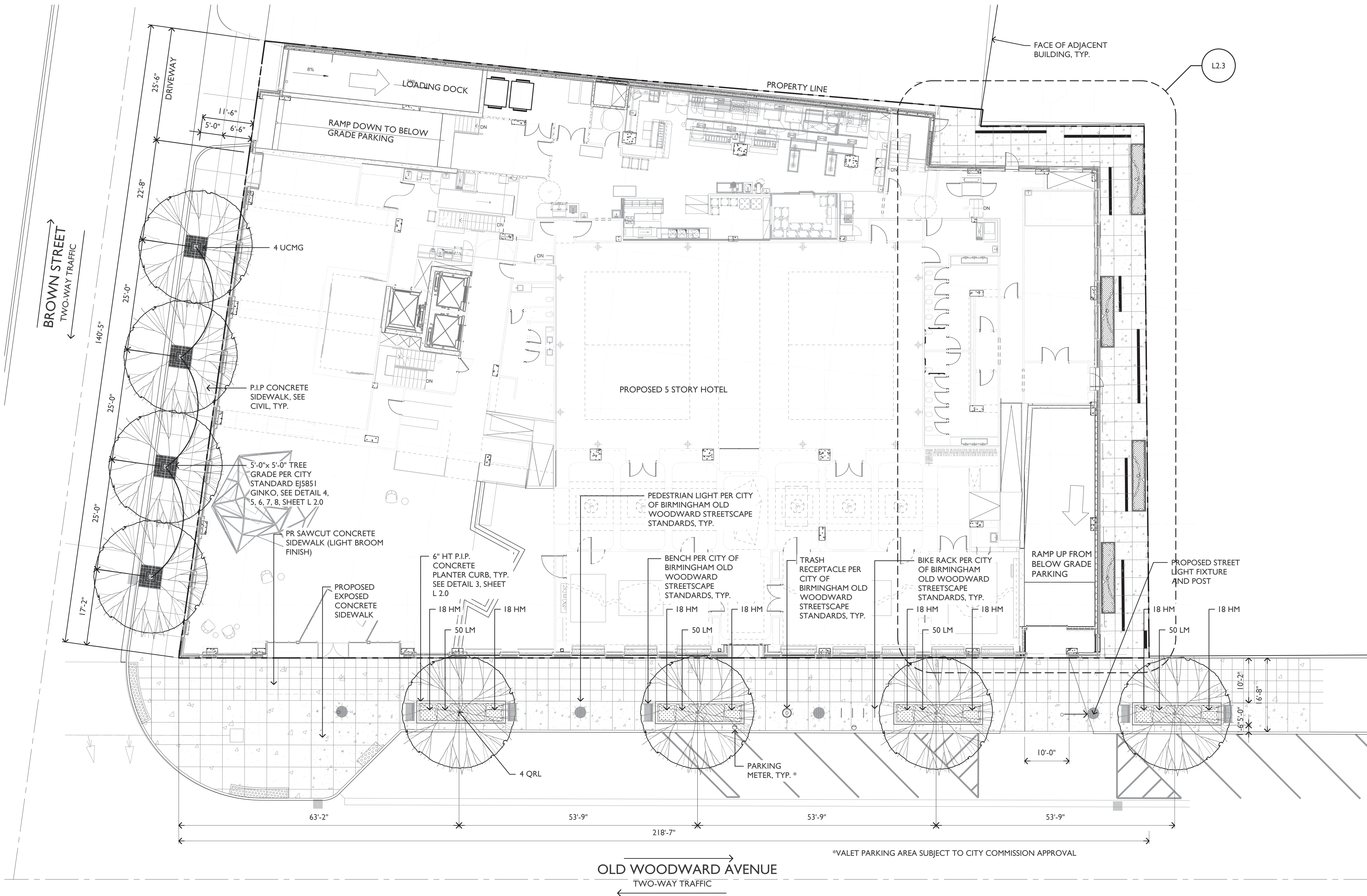
I-P.24.01.01



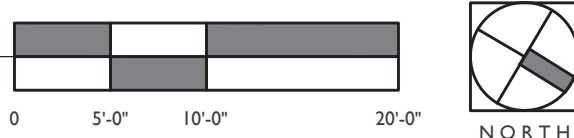
- NOTES:
- IRRIGATION CONTRACTOR SHALL IMPLEMENT OLD WOODWARD STREETScape IRRIGATION PLAN AND EXTEND INTO DAXTON HOTEL STREETScape PROJECT.
  - SHOWN FOR REFERENCE ONLY
  - REFER TO SHEET IR4 FROM PROJECT: OLD WOODWARD AVE. RECONSTRUCTION PROJECT CONTRACT # 2-17(P)



2 PLANTER TYPE 'A' IRRIGATION - FOR REFERENCE ONLY  
SCALE: NTS



GROUND LEVEL LANDSCAPE PLAN  
SCALE: 1" = 10'-0"



SITE FURNISHINGS ALTERNATIVES PER OLD WOODWARD AVE STREETScape DESIGN COMPENDIUM BY PARSONS & MKSK (REFER TO L3.2):

- NOTES:
- ALL GROUND FLOOR PLANTER BOXES SHALL BE IRRIGATED BY DESIGN / BUILD IRRIGATION CONTRACTOR (BY OTHERS).
  - FIBER OPTIC SYSTEM AND ELECTRICAL SYSTEM TO BE EXTEND PER CITY OF BIRMINGHAM AND MATCH EXISTING NORTH OLD WOODWARD STREETScape.
  - STRUCTURALLY ENHANCED SAND BASED ORGANIC SOIL SHALL BE INSTALLED ABOUT 2.5' DEEP BY 10' WIDE IN THE AREA BEHIND THE CURB PER CITY OF BIRMINGHAM.



8	ISSUED FOR CONSTRUCTION	02-01-19
7	ISSUED FOR BID	10-29-18
6	ISSUED FOR 90% CD	09-28-18
5	ISSUED FOR BUILDING PERMIT	08-31-18
4	ISSUED FOR CITY REVIEW	04-19-18
3	DESIGN DEVELOPMENT PROGRESS	02-02-18
NO.	DESCRIPTION	DATE

ISSUED FOR CONSTRUCTION  
2019.02.01

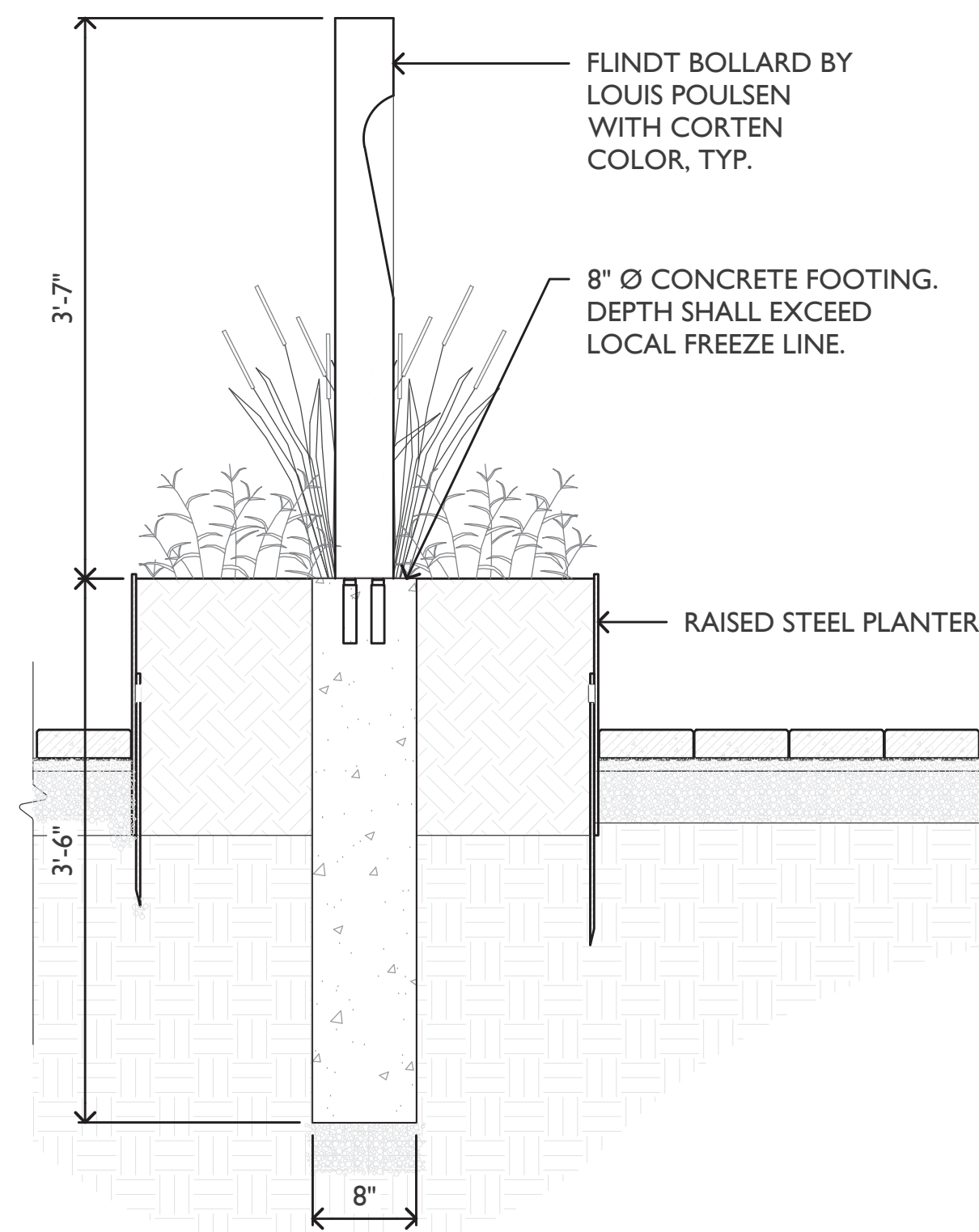
PROJECT NUMBER 1623

Daxton Hotel

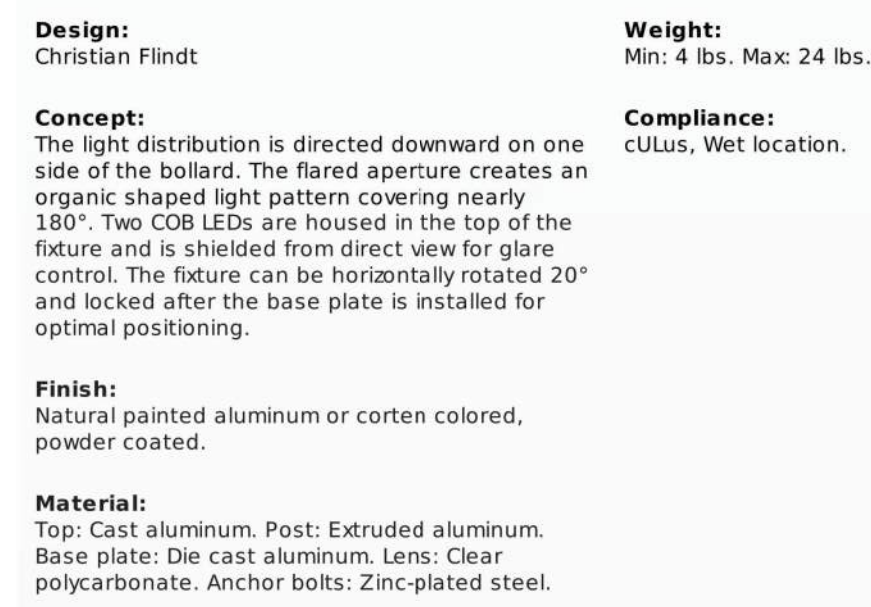
298 S Old Woodward Ave.  
Birmingham, MI 48009

GROUND LEVEL  
LANDSCAPE PLAN  
L1.0



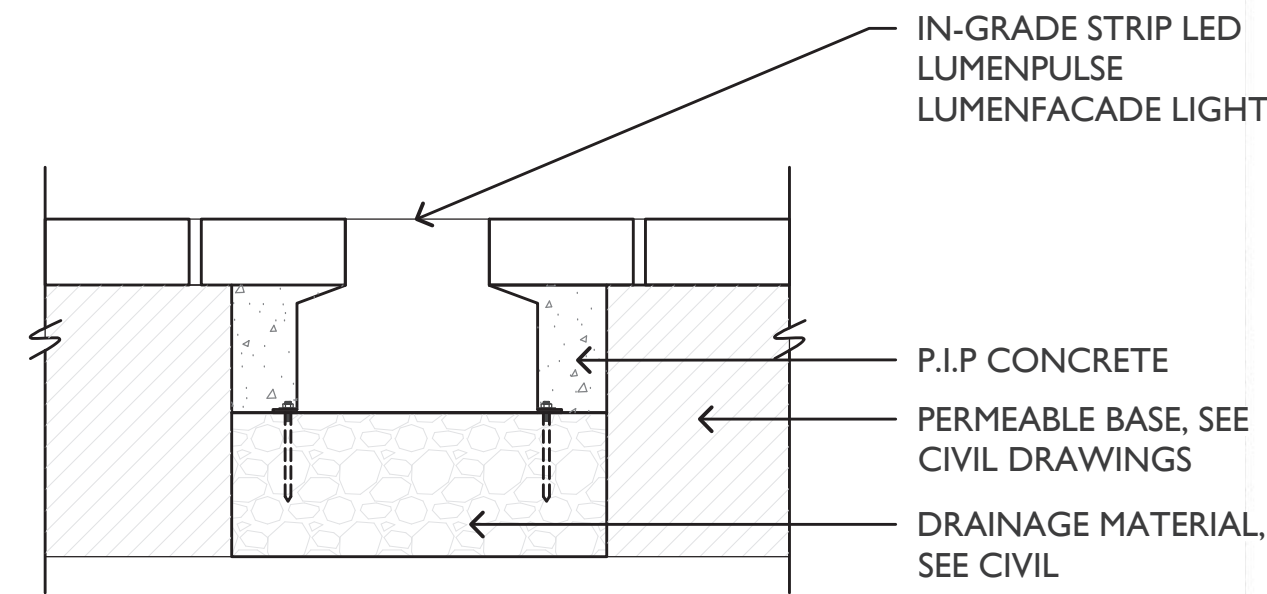


**RAISED BOLLARD IN STEEL PLANTER DETAIL**  
SCALE: 1"=1'-0"



## 2 RAISED BOLLARD CUT SHEET

SCALE: NTS



### 3 IN-GRADE STRIP LED LIGHT DETAIL



#### 4 IN-GRADE STRIP LED LIGHT CUT SHEET

SCALE: NTS



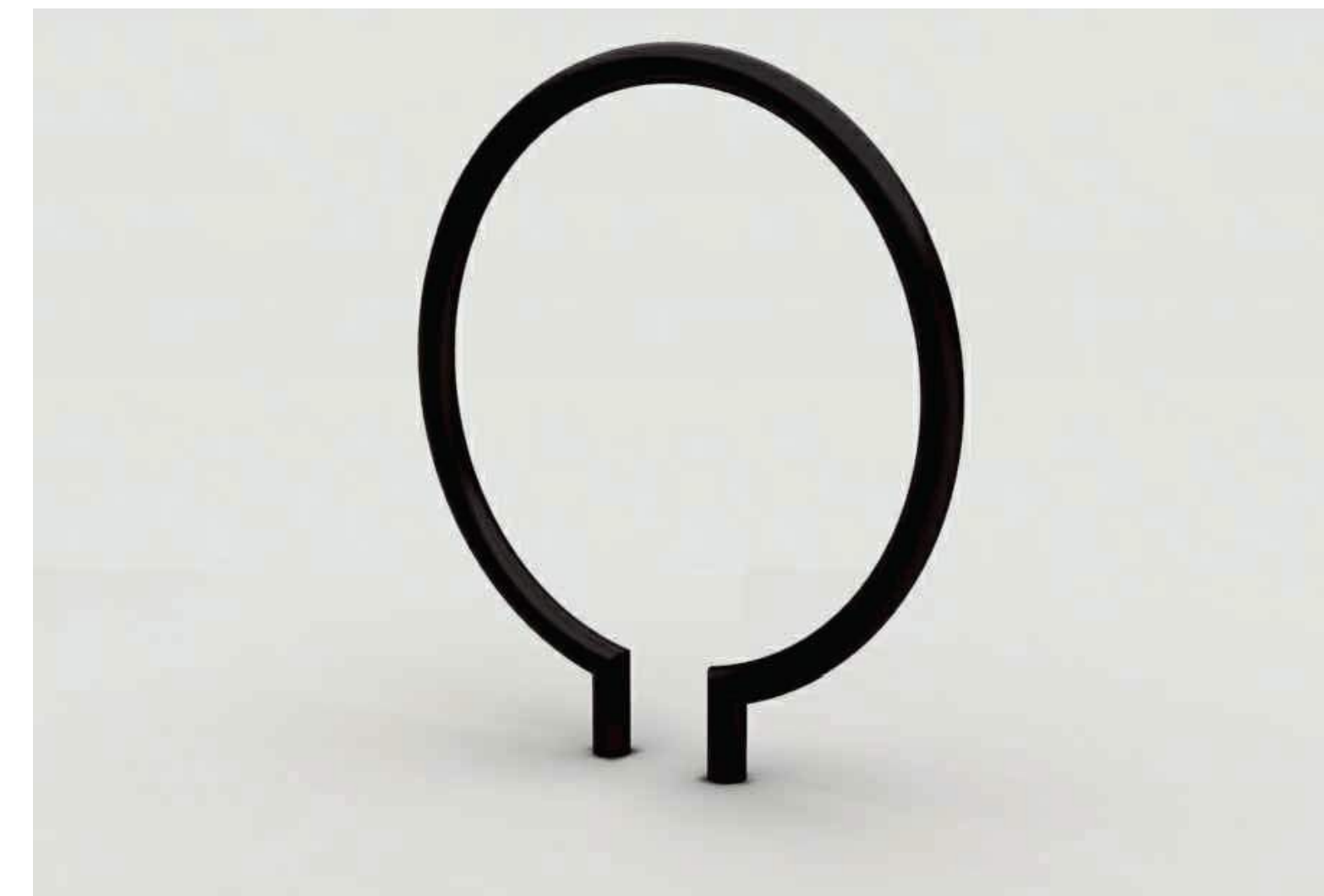
5 ALTERNATIVE BEGA PEDESTRIAN LIGHT LED  
LUMINIARE 77210  
SCALE: NTS



6 ALTERNATIVE LANDSCAPE FORMS  
SCARBOROUGH BENCH (BLACK)  
SCALE: NTS



7 ALTERNATIVE LANDSCAPE FORMS  
SCARBOROUGH TRASH RECEPTACLE (BLACK)  
SCALE: NTS



8 ALTERNATIVE LANDSCAPE FORMS RING BIKE RACK (BLACK)  
SCALE: NTS

NOTE: SITE FURNISHINGS ALTERNATIVES PER OLD  
WOODWARD AVE STREETScape DESIGN COMPENDIUM BY  
PARSONS & MKSK



8	ISSUED FOR CONSTRUCTION	02-01-19
7	ISSUED FOR BID	10-29-18
6	ISSUED FOR 90% CD	09-28-18
5	ISSUED FOR BUILDING PERMIT	08-31-18
4	ISSUED FOR CITY REVIEW	04-19-18
3	DESIGN DEVELOPMENT PROGRESS	02-02-18
NO.	DESCRIPTION	DATE

NO.	DESCRIPTION	DATE
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ISSUED FOR CONSTRUCTION  
2019.02.01

PROJECT NUMBER	1623
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## 9 EXISTING OLD WOODWARD PEDESTRIAN LIGHT

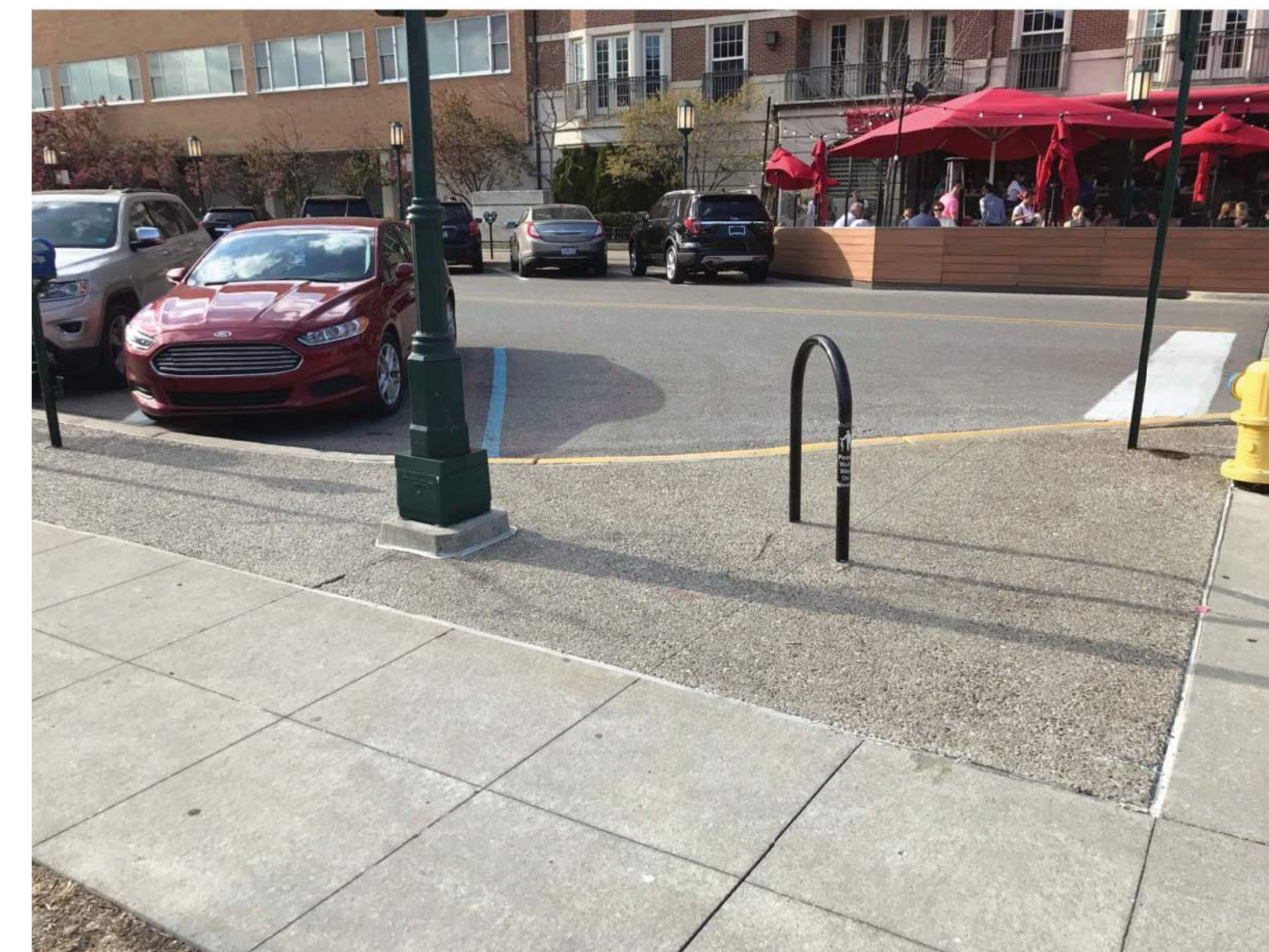


## 10 EXISTING OLD WOODWARD BENCH

SCALE: NTS



**EXISTING OLD WOODWARD TRASH RECEPTACLE**  
SCALE: NTS



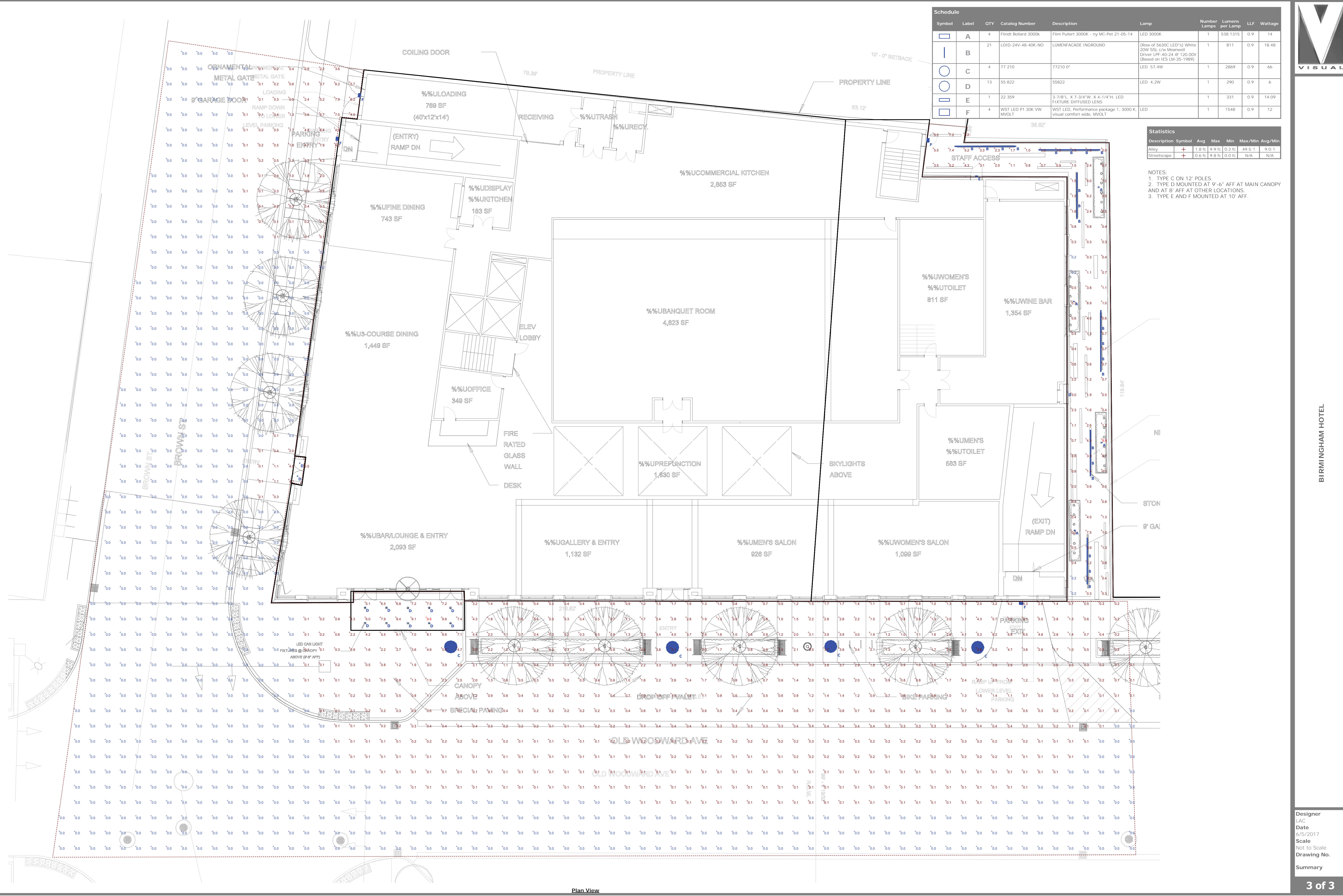
## 12 EXISTING OLD WOODWARD BIKE RACK

Daxton Hotel

298 S Old Woodward Ave.  
Birmingham, MI 48009

## SITE FURNISHING DETAILS





Schedule													
Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage				
	A	4	Flintd Bollard 3000k	Flint Pullert 3000K - ny MC-Pet 21-05-14	LED 3000K	1	538.1315	0.9	14				
	B	21	LOID-24V-48-40K-NO	LUMENFACADE INGROUND	(Row of 5630C LED's) White 20W SSL c/w Meanwell Driver LPI-40-24 @ 120 00V (Based on IES LM-35-1989)	1	811	0.9	18.48				
	C	4	77 210	77210 0"	LED 57.4W	1	2869	0.9	66				
	D	13	55 822	55822	LED 4.2W	1	290	0.9	6				
	E	1	22 359	3-7/8"L X 7-3/4"W X 4-1/4"H. LED FIXTURE DIFFUSED LENS		1	331	0.9	14.09				
	F	4	WST LED P1 30K VW MVOLT	WST LED, Performance package 1, 3000 K, visual comfort wide, MVOLT	LED	1	1548	0.9	12				

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Alley	+	1.8 fc	9.9 fc	0.2 fc	49.5:1	9.0:1
Streetscape	+	0.6 fc	9.8 fc	0.0 fc	N/A	N/A

- NOTES:
1. TYPE C ON 12' POLES.
  2. TYPE D MOUNTED AT 9'-6" AFF AT MAIN CANOPY AND AT 8' AFF AT OTHER LOCATIONS.
  3. TYPE E AND F MOUNTED AT 10' AFF.

Plan View





CITY OF BIRMINGHAM  
Date 08/27/2019 9:37:03 AM  
Ref 00162127  
Receipt 500360  
Amount \$100.00

## Administrative Approval Application Planning Division

Form will not be processed until it is completely filled out

**APPROVED**  
9/9/19  
PAA-19-0142

**1. Applicant** NICK TALMENS  
Name: NICK TALMENS  
Address: 555 PLEASANT  
BHAM, ME 48008  
Phone Number: 248-788-5847  
Fax Number: \_\_\_\_\_  
Email: NTALMENS@MSA.COM

**Property Owner**  
Name: WICO METALS  
Address: 23500 SHERWOOD  
WARREN, ME  
Phone Number: 586-755-9600  
Fax Number: CELL 586-530-4766  
Email: DESKER@WICOMETALS.COM

### 2. Applicant's Attorney/Contact Person

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email: \_\_\_\_\_

### Project Designer

Name: M.J. DUL  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email: \_\_\_\_\_

### 3. Project Information

Address/Location of Property: 36801 WOODHALL  
Name of Development: \_\_\_\_\_  
Parcel ID #: \_\_\_\_\_  
Current Use: \_\_\_\_\_  
Area in Acres: \_\_\_\_\_  
Current Zoning: \_\_\_\_\_

Name of Historic District site is in, if any: \_\_\_\_\_  
Date of HDC Approval, if any: \_\_\_\_\_  
Date of Application for Preliminary Site Plan: \_\_\_\_\_  
Date of Preliminary Site Plan Approval: \_\_\_\_\_  
Date of Application for Final Site Plan: \_\_\_\_\_  
Date of Final Site Plan Approval: \_\_\_\_\_  
Date of Revised Final Site Plan Approval: \_\_\_\_\_

### 4. Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Six (6) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations

### 5. Details of the Request for Administrative Approval

SEE  
MOVE GREENSPACE TO PARKING LOT.

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: [Signature]

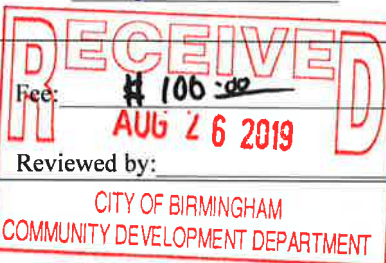
Date: 8/26/19

Application #: PAA-19-0142

Office Use Only  
Date Received: 8/26/19

Date of Approval: 9/9/19

Date of Denial: N/A





CONSENT OF PROPERTY OWNER

I, DAVE FISHER, OF THE STATE OF ME AND COUNTY OF  
(Name of property owner)

OAKLAND STATE THE FOLLOWING:

1. That I am the owner of real estate located at 36801 WOODMAN;  
(Address of affected property)
2. That I have read and examined the Application for Administrative Approval made to the City of Birmingham by:  
MIKE TAYLOR;  
(Name of applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

Dated: 1/30/19

DAVE FISHER  
Owner's Name (Please Print)

D Fisher  
Owner's Signature

**FW: 36801 Woodward & Lunghamer residence**

David Fisher <DFisher@wicometal.com>

Mon 8/26/2019 3:53 PM

To: ntalmers@msn.com <ntalmers@msn.com>

Here you go.

David Fisher

Wico Metal Products

586-530-4766

**From:** [jelunghamer@aol.com](mailto:jelunghamer@aol.com)

**Sent:** Friday, August 23, 2019 4:46 PM

**To:** [David Fisher](#)

**Subject:** Re: 36801 Woodward & Lunghamer residence

Dave everything looks good. You have my approval for your project nice job Joe Lunghamer

-----Original Message-----

From: David Fisher <DFisher@wicometal.com>

To: jelunghamer@aol.com <jelunghamer@aol.com>; ntalmers@msn.com <ntalmers@msn.com>;  
mdul@mjdul.com <mdul@mjdul.com>

Sent: Fri, Aug 23, 2019 3:43 pm

Subject: 36801 Woodward & Lunghamer residence

Hi Mr. Lunghamer,

Pursuant to our conversation today, attached is the architectural drawing reflecting the shift in green space from the Southwest end of the parking lot to the Northeast & Northwest end of the parking lot.

If you find the drawing acceptable, please send a confirming email indicating your approval.

Thanks for your time.

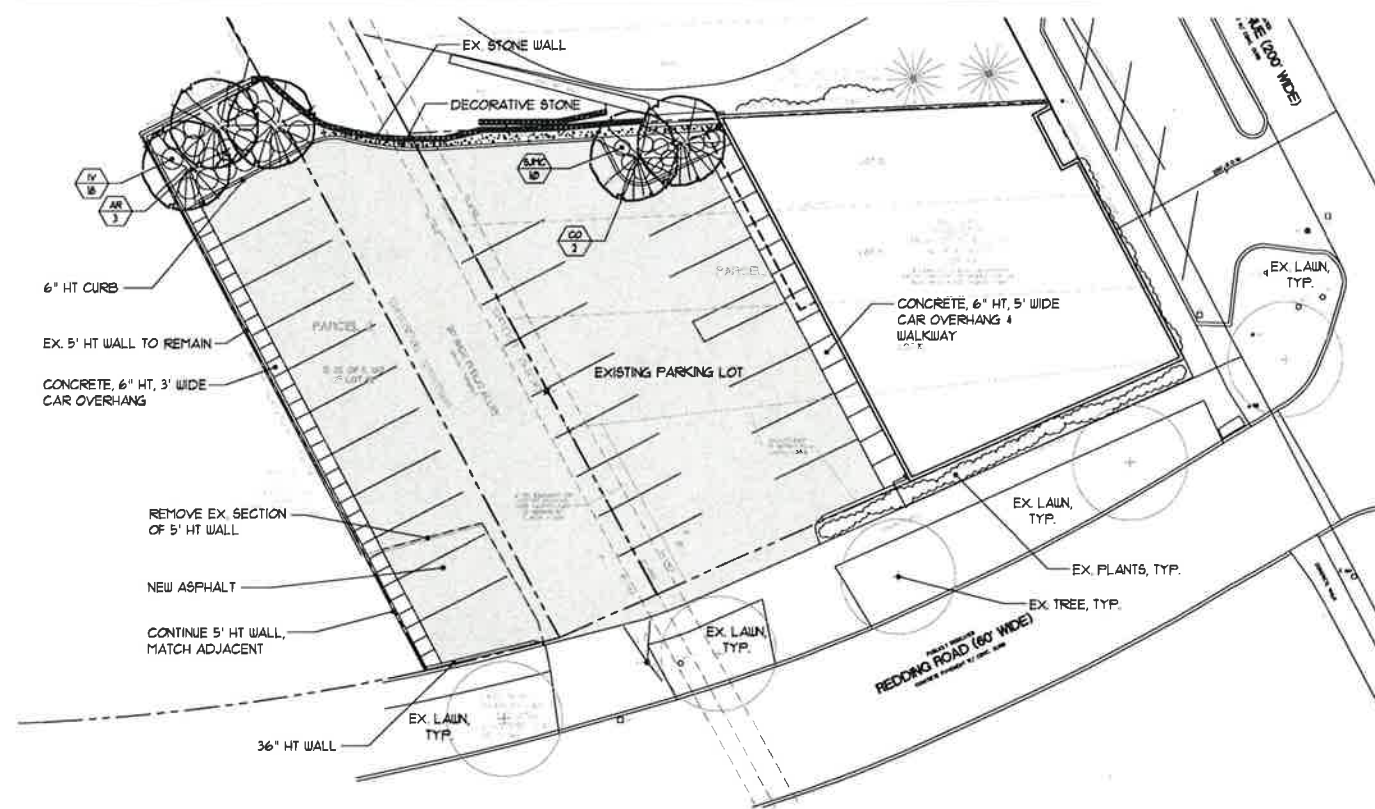
David Fisher

Wico Metal Products

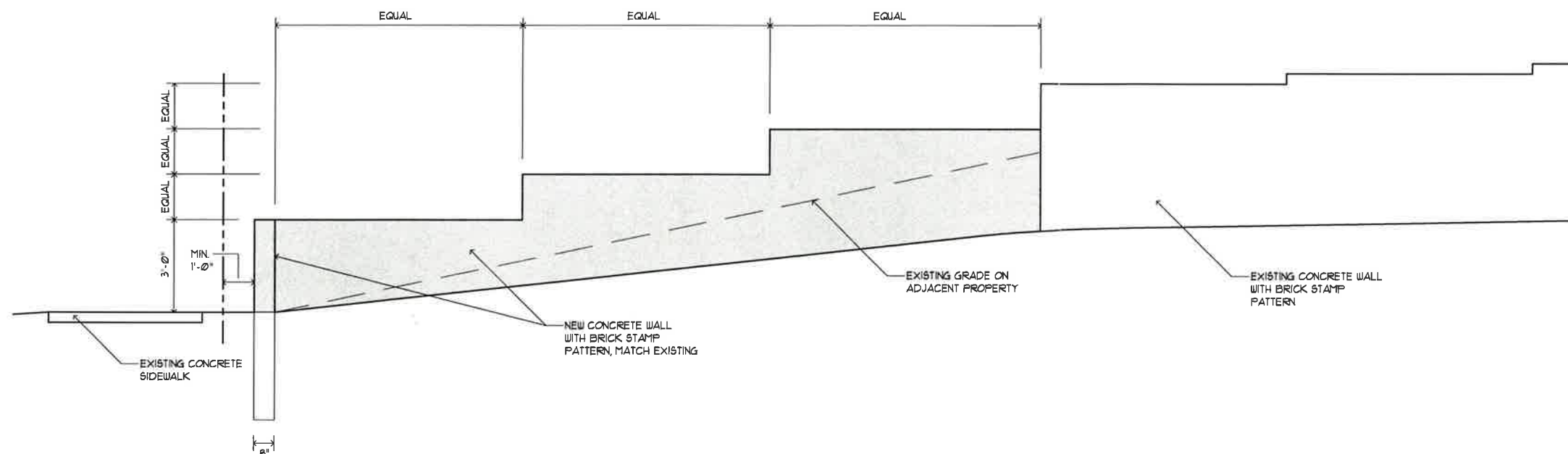
586-530-4766



PLANT & MATERIAL SCHEDULE						
Sym.	Qty.	Botanical Name	Common Name	Size	Root	Comments
AR	3	Deciduous Trees				
CO	2	<i>Cercis canadensis</i>	Eastern Redbud	3" cal.	B4B	Full uniform heads, single stem
		<i>Cornus florida</i>	Flowering Dogwood	3" cal.	B4B	Full uniform heads, single stem
		Shrubs				
IV	18	<i>Ilex virginica</i> 'Little Henry'	Little Henry Ilex	18-24"	B4B	Space 48" o.c., min. 3 gal.
SJMC	10	<i>Spiraea japonica</i> 'Magic Carpet'	Magic Carpet Spiraea	3 gal.	Can	Space 36" o.c.
		Materials				
CS		1/2-3/4" dia. Washed Crushed Natural Stone (9A)-6" deep on 4 oz. non-woven filler fabric				
SB		Shredded hardwood bark mulch (seasoned, dark brown), 3" deep in perennial and groundcover beds, 4" depth in shrub/tree beds.				
PM		Planting Mix - 3 parts well drained screened imported topsoil, to 1 part clean sand, to 1 part Canadian sphagnum peat moss, to 1 part natural compost (weed-free), and 40lbs of poultry manure per cubic yard, install 9" deep in all landscape beds				



**A** Landscape Plan  
L1 Plan Scale: 1/16"=1'-0"



**B Southwest Perimeter Wall**  
L1 Elevation Scale: 1/2"=1'-0"

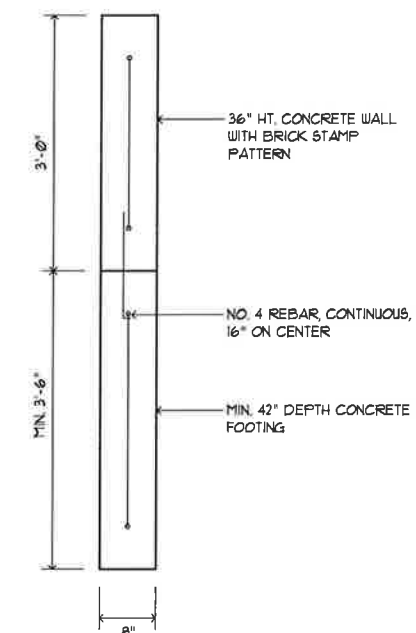
## LANDSCAPE DEVELOPMENT NOTES

- 1) ALL EXISTING AND/OR PROPOSED SITE UTILITIES SHALL BE FIELD LOCATED, FLAGGED, AND VERIFIED PRIOR TO ANY LANDSCAPE CONSTRUCTION.
- 2) ALL SPECIFIED AND INSTALLED PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE WITH AMERICAN NURSERYMAN STANDARDS (LATEST EDITION) AND BE:
  - A) NURSERY GROWN.
  - B) STATE DEPARTMENT OF AGRICULTURE INSPECTED AND APPROVED.
  - C) NO. 1 GRADE WITH STRAIGHT, UNSCARRED TRUNKS & WELL-DEVELOPED UNIFORM CROWNS ON TREES.
  - D) WARRANTED FOR A MIN. 1 YEAR FROM DATE OF ACCEPTANCE
- 3) SPECIFIED PLANTING SOIL MIXTURE FOR ALL SPECIFIED BEDS & PLANTS SHALL BE THREE (3) PARTS IMPORTED WELL-DRAINED, SCREENED ORGANIC TOPSOIL, TO ONE (1) PART IMPORTED CLEAN SAND, TO ONE (1) PART CANADIAN SPHAGNUM PEAT MOSS, TO ONE (1) PART NATURAL COMPOST (WEED-FREE)-COMPLETE WITH 1% NATURAL POULTRY MANURE. INSTALL 12" MINIMUM DEPTH IN ALL PERENNIAL, GROUNDCOVER, ANNUAL, AND SHRUB BEDS. ALL BEDS MUST BE EXCAVATED, REMOVE, AND DISPOSE (OFF-SITE) EXISTING EARTH/SOIL TO ACCEPT PROPOSED PLANT MIXTURE.
- 4) PROPOSED SHREDDED HARDWOOD BARK MULCH SHALL BE SEASONED FOR A MINIMUM 6 MONTHS, DARK BROWN IN COLOR, AND INSTALLED 4" DEEP UNDER ALL PROPOSED TREES (INCLUDED IN UNIT COST), 4" DEEP IN ALL SHRUB AND TREE BEDS, AND 3" DEEP IN ALL PERENNIAL AND GROUNDCOVER BEDS.
- 5) THE LANDSCAPE CONTRACTOR SHALL KEEP THE STREET AND DRIVE CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES, AND SHALL THOROUGHLY SWEEP AND/OR WASH THE DRIVE AT THE END OF EACH WORK DAY.
- 6) ALL DEAD AND UNACCEPTABLE PLANT MATERIALS SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR DURING THE WARRANTY PERIOD. THE WARRANTY PERIOD SHALL BE ONE (1) YEAR FROM THE ACCEPTANCE OF INSTALLATION ISSUED BY THE LANDSCAPE ARCHITECT.

ORDINANCE REQUIREMENTS  
CITY OF BIRMINGHAM, MICHIGAN

PARKING LOT	8,330 SF
REQUIRED LANDSCAPED AREA (5%):	415 SF
PROPOSED LANDSCAPED AREA	533 SF
REQUIRED LANDSCAPE AREA TREES (425/150):	3
PROPOSED LANDSCAPE AREA TREES	2*
REQUIRED PARKING LOT (25/8):	3
PROPOSED TREES	3

\*NATIVE TREES PROPOSED = 20% REDUCTION IN TOTAL  
NUMBER OF TREES REQUIRED, 5 TOTAL TREES PROPOSED  
INSTEAD OF 6.



**C Southwest Perimeter Wall**

L1 Section Scale: 1"=1'-0"



**MICHAEL J. DUL**  
& ASSOCIATES, INC

212 DAINES STREET  
BIRMINGHAM  
MICHIGAN 48009

P 248 644 3410  
F 248 644 0819

www.mjdul.com



36801 Woodward Avenue  
Birmingham, MI 48009

PROJECT

### Landscape Development

## Parking Lot Landscape Plan

SHEET TITLE

$$1/16'' = 1'-0''$$

SCALE

PROJECT NUMBER: 19155  
DRAWN: M. Clark  
CHECKED: M. Dul  
DATE: August 14, 2019  
REVISIONS: August 29, 2019



Know what's below.  
**Call** before you dig.

L1



Jana Ecker &lt;jecker@bhamgov.org&gt;

---

## 720 - 726 N. Old Woodward Fire Suppression

1 message

---

**Joel Campbell** <Jcampbell@bhamgov.org>

Thu, Aug 8, 2019 at 12:02 PM

To: Mike Rutherford <Mike.Rutherford@norr.com>, Paul Wells <Pwells@bhamgov.org>, "Johnson, Bruce" <Bjohnson@bhamgov.org>, Mike Morad <mmorad@bhamgov.org>, "Ecker, Jana" <Jecker@bhamgov.org>

Good Afternoon Mike,

Again, thank you for the information you have provided.

I have reviewed the information, and I have had discussions between myself, the fire chief, the building official, the assistant building official, and the director of planning, to ensure everyone in the city is in agreement.

This proposed project creates a significant change to the building in question, adding a new residential occupancy to the building which was not designed for, or to my knowledge, was ever used for this type of occupancy. IFC section 903.2.8 clearly states an automatic sprinkler system shall be provided throughout all buildings with a Group R fire area. This section does not offer any exceptions for this proposed type of project.

My stance remains unchanged in that this project will require full fire suppression throughout the entire building, including any exterior building projections over 2 feet, such as balconies, where combustible materials are underneath. An FDC will need to be installed on the street (address) side of the building in an accessible, unobstructed location approved by the fire marshal. Additionally, the building will require a full fire alarm system with occupant notification in the residential occupancies, and to include occupant notification on any occupiable exterior balconies.

My goal is not to create a hardship on this project but, to enforce the fire codes, and ensure the safety of the citizens, and the building owners of the city.

Sincerely,

Joel

--

**Joel Campbell**  
**Fire Marshal**  
**Birmingham Fire Department**  
**(248)530-1924**

