

**VIRTUAL MEETING OF THE BIRMINGHAM PLANNING BOARD**  
**WEDNESDAY, JULY 8, 2020**  
**7:30 PM**

**<https://zoom.us/j/111656967> or dial: 877-853-5247 Toll-Free, Meeting Code: 111656967**

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- A. Roll Call
- B. Review and Approval of the Minutes of the regular meeting of **June 24, 2020**
- C. Chairpersons' Comments
- D. Review of the Agenda
  
- E. Final Site Plan & Design Reviews
  - 1. **545 W. Brown Street (Single Family Residence)** – Request for Design Review to allow an addition to the second floor of a single family home in an R8 zoning district.
  - 2. **34745 Woodward (JAX Car Wash)** – Request for Revised Final Site Plan & Design Review for site plan and design changes to Jax Car Wash.
  
- F. Study Session Items

Rules of Procedure for Study Sessions: Site Plan and Design Review, Special Land Use Permit Review and other review decisions will not be made during study sessions; Each person (member of the public) will be allowed to speak at the end of the study session; Each person will be allowed to speak only once; The length of time for each person to speak will be decided by the Chairman at the beginning of the meeting; Board members may seek information from the public at any time during the meeting.

  - 1. **Planning Board Action List**
  
- G. Miscellaneous Business and Communications:
  - a. Communications
  - b. Administrative Approval Correspondence
  - c. Draft Agenda for the next Regular Planning Board Meeting (**July 22, 2020**)
  - d. Other Business
  
- H. Planning Division Action Items
  - a. Staff Report on Previous Requests
  - b. Additional Items from tonight's meeting
  
- I. Adjournment

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**Notice: Due to Building Security, public entrance during non-business hours is through the Police Department—Pierce St. Entrance only.**  
Individuals with disabilities requiring assistance to enter the building should request aid via the intercom system at the parking lot entrance gate on Henrietta St.

Persons with disabilities that may require assistance for effective participation in this public meeting should contact the City Clerk's Office at the number (248) 530-1880, or (248) 644-5115 (for the hearing impaired) at least one day before the meeting to request help in mobility, visual, hearing, or other assistance.

*Las personas con incapacidad que requieren algún tipo de ayuda para la participación en esta sesión pública deben ponerse en contacto con la oficina del escribano de la ciudad en el número (248) 530-1800 o al (248) 644-5115 (para las personas con incapacidad auditiva) por lo menos un día antes de la reunión para solicitar ayuda a la movilidad, visual, auditiva, o de otras asistencias.*  
(Title VI of the Civil Rights Act of 1964).

**CITY OF BIRMINGHAM  
REGULAR MEETING OF THE PLANNING BOARD  
WEDNESDAY, JUNE 24, 2020**

Held Remotely Via Zoom And Telephone Access

Minutes of the regular meeting of the City of Birmingham Planning Board held on June 24, 2020. Chairman Scott Clein convened the meeting at 7:31 p.m.

**A. Roll Call**

**Present:** Chairman Scott Clein; Board Members Stuart Jeffares, Bert Koseck, Daniel Share, Janelle Whipple-Boyce, Bryan Williams; Alternate Board Members Jason Emerine, Nasseem Ramin; Student Representative Rachel Hester (joined at 7:37 p.m.)

**Absent:** Board Member Robin Boyle; Student Representative June Lee

**Administration:** Jana Ecker, Planning Director  
Eric Brunk, IT Manager  
Nicholas Dupuis, City Planner  
Laura Eichenhorn, Transcriptionist

**Master Planning Team:** Robert Gibbs, Gibbs Planning Group  
Matt Lambert, DPZ

**06-69-20**

**B. Approval Of The Minutes Of The Regular Planning Board Meeting of June 10, 2020**

**Motion by Mr. Williams**

**Seconded by Mr. Share to approve the minutes of the Regular Planning Board Meeting of June 10, 2020 as submitted.**

**Motion carried, 6-0.**

ROLL CALL VOTE

Yeas: Williams, Share, Whipple-Boyce, Clein, Jeffares, Koseck

Nays: None

Abstain: Emerine

**06-70-20**

**C. Chairperson's Comments**

Chairman Clein welcomed everyone to the meeting and reminded everyone that the meeting was being held under the guidance of the City Attorney and City administration to ensure compliance with Governor Whitmer's executive orders. Chairman Clein then reviewed procedures for the meeting.

**06-71-20**

## **D. Review Of The Agenda**

There were no changes to the agenda.

**06-72-20**

## **E. Community Impact Study**

1. **469 – 479 S. Old Woodward (Former Mountain King & Talmer Bank)**  
– Request for Community Impact Study acceptance for a new 5 story mixed use building (Postponed from May 27, 2020).

City Planner Dupuis reviewed the item.

Chris Longe, architect, Steve Russo, traffic engineer, and Joel Rinkel, geotech consultant were present on behalf of the application.

Mr. Russo explained:

- The gate access for the garage would be internal to the building, located near the ramp that descends towards the subterranean levels. That would provide three stacking spaces for vehicles before they spill out onto Hazel. He said the card reader for the gate access takes about ten seconds to register and move a vehicle through the gate, and the applicant expects about 50 inbound vehicles every hour. Since that is less than one vehicle a minute, with three stacking spaces there should be no issue with vehicles queuing out onto Hazel.
- If the parking garage access is left where it was proposed in the plans, it would result in that access being blocked by eastbound traffic on Hazel for a total of only two minutes every hour. The average queue for the stop sign at Woodward and Hazel is one vehicle, with a 95th percentile queue of two vehicles.
- Since Hazel is not a through street at Woodward and vehicles can only enter Woodward from Hazel via southbound right turn, vehicles making that turn would rarely be travelling in excess of 15 m.p.h. Therefore, vehicles would be travelling slow enough at that intersection that sight distance should not be an issue with the proposed garage access location.
- The applicant will work with MDOT to get any necessary permits for construction that occurs in the MDOT right-of-way.
- He would to work with the City's traffic consultant to allay any further concerns there may be from the location of the parking garage access.

Mr. Rinkel stated that about 18,000 cubic yards of soil would be removed from the excavation on the site, which is equivalent to about 25,000 cubic truck yards of material.

### **Motion by Mr. Williams**

**Seconded by Mr. Jeffares to accept the Community Impact Study as provided by the applicant for the proposed development at 469-479 S. Old Woodward – Project M1 – with the following Conditions:**

- 1. The applicant must submit in writing the volume of excavated soils to be removed from the site;**
- 2. The applicant must provide details on any proposed stormwater retention methods proposed on site;**
- 3. The applicant must provide all details on proposed public safety measures to the Fire and Police Departments for review, including the fire suppression system plans, fire command center plans, and details on the proposed security system;**
- 4. The applicant must either provide the stormwater retention methods to be used onsite or must update the CIS to indicate that the applicant will not provide stormwater management devices; and,**
- 5. The applicant must provide the information requested by the City's traffic consultant.**

**Motion carried, 7-0.**

ROLL CALL VOTE

Yeas: Williams, Jeffares, Koseck, Share, Whipple-Boyce, Clein, Emerine

Nays: None

**06-73-20**

#### **F. Preliminary Site Plan Review**

- 1. 469 – 479 S. Old Woodward (Former Mountain King & Talmer Bank) – Request for Preliminary Site Plan Review for a new 5 story mixed use building (Postponed from May 27, 2020).**

City Planner Dupuis reviewed the item. He said:

- An eleventh condition should be added to the recommended motion which would allow for the proposed projections into the right-of-way.
- If the building has a 20 foot setback, and the first floor use is changed to retail, then the applicant would have to provide approximately three to four parking spaces for the retail. The 111 parking spaces already included on-site would either come close to covering, or would cover, those extra three to four spaces for retail.
- The ordinance only specifies the number of parking spaces required for retail uses of various sizes. It does not specify where those retail parking spaces must be located.
- The size of the vestibule on the roof would have to be limited to the size of the elevator for queuing and egress.

Mr. Longe, architect, spoke on behalf of the application. He explained:

- He would be vehemently opposed to putting the building's ramp off of Woodward. He stated that the garages to the north of this property have their access off big Woodward, which he finds offensive. He said it is preferable for the garage entrance to be accessible off Hazel which is closer to the front door of the building and therefore more conventional.



- Pushing the ramp further to the west would complicate the traffic pattern into the ramp.
- The right-of-way space between the building and Woodward provides ample space for loading and unloading. Other buildings along Woodward use the space between the buildings and Woodward in the same way. In addition, there is a receiving area designated in the plans that would be used for loading and unloading.
- Other projects he has worked on have received variances for the 12 by 40 foot loading area requirement since it is generally smaller mail and package delivery trucks, and not larger industrial trucks, that will be delivering to the building.
- The wall system and the glazing would be used to mitigate the ambient noise coming from the exterior of the building into the interior.
- While the the residential parking arrangements are still under consideration, the applicant is preliminarily thinking that specific spaces will be assigned to the residents. There would also be a keyfob system in place.
- The applicant proposes to put eight parking spaces along Hazel rather than a retail store because Hazel is a low-traffic street and the applicant suspects the space would be too small for retail to thrive. It seemed that it would be more responsible to provide parking on Hazel for the other retail uses in the building located off of both big Woodward and Old Woodward. The applicant would be able to convert the space to retail if necessary.

Mr. Emerine said he thought it would make much more sense to have the eight spaces of retail parking on Hazel than it would to try to fit retail into that space. He also said that he concurred with Mr. Longe that the garage access should be located exactly where it was put in the plans. He said that coming in off Woodward would be an odd experience for people arriving to the building, and that if the garage entrance were to be moved the ramp might not function as it needs to. He said that he would like the applicant team to work with the City's traffic consultant to make sure her concerns are answered, but said he thinks the design for the garage access is appropriate as-is.

Planning Director Ecker stated that while she has seen the parking assessment district (P.A.D.) extended to additional buildings, she has not seen it extended to buildings that are not directly adjacent to another included building. She also stated that the 200 foot setback issue and the vestibule size issue would both be BZA considerations and not Planning Board ones.

Mr. Williams noted that this is the only D4 parcel in the City that is not in the P.A.D.

City Planner Dupuis requested commentary from the Board regarding the aforementioned issues that might be considered by the BZA.

Mr. Jeffares said that the vestibule as designed in the plans would be much safer, in the case of something like inclement weather, than a vestibule that is only equal to the size of the elevator shaft.

Mr. Koseck agreed with Mr. Jeffares. He continued by saying he was supportive of the eight parking spaces along Hazel. He noted that the floorplan works well to activate the corners and that the parking on Hazel would support the other retail in the building. He said there

was a case to be made that there is a practical difficulty with the three-sided building, and that the blank wall across the street from the proposed parking would also not be conducive to retail. He said he also agreed with Mr. Longe's explanation for why the spaces would be located along Hazel.

Mr. Share said he concurred with Mr. Koseck's comments regarding why parking along Hazel would be appropriate for this project. He added that a 20 feet of retail in that area would not make a significant difference towards activating the street.

Ms. Whipple-Boyce and Mr. Williams said they concurred with previous Board members' comments regarding the vestibule and the proposed parking on Hazel.

Mr. Williams said he would urge the members of the BZA to rule favorably for both variance requests.

Chairman Clein said he was supportive of the proposed parking on Hazel. He said that as far as the vestibule, he saw no difficulty necessitating it be larger than the ordinance allows. He stated that he would much rather the Board rework the ordinance if there is a problem with it rather than disregard the ordinance's requirements due to subjective preference.

**Motion by Mr. Williams**

**Seconded by Mr. Koseck to approve to APPROVE the Preliminary Site Plan for 469-479 S. Old Woodward – Project M1 – with the following conditions:**

- 1. The applicant must submit revised plans showing the amount of bedrooms in each unit to ensure that the minimum area required per unit is met, or obtain a variance from the Board of Zoning Appeals;**
- 2. The applicant must submit a revised rooftop plan that shows no habitable space at Final Site Plan review, or obtain a variance from the Board of Zoning Appeals;**
- 3. The applicant must submit details on all proposed RTUs and details on the proposed screen wall material to ensure the RTUs are fully screened from public view at Final Site Plan review;**
- 4. The applicant must provide 2 street trees on the Woodward frontage, obtain a waiver from the Staff Arborist, or obtain a variance from the Board of Zoning Appeals;**
- 5. The applicant must (1) provide site plans showing the number of rooms for each residential unit to clarify the parking requirements for such, and (2) provide a minimum 20 ft. setback for the parking facility located on the first floor along the Hazel frontage or obtain a variance from the Board of Zoning Appeals;**
- 6. The applicant must submit revised plans showing 2 off-street loading spaces measuring 40 feet long, 12 feet wide and 14 feet high and in compliance with Section 4.25 of the Zoning Ordinance or obtain a variance from the Board of Zoning Appeals;**
- 7. The applicant must submit details on the types and placement of all proposed light fixtures, as well as a photometric plan showing illumination levels at all property lines at Final Site Plan;**
- 8. The applicant must submit material specifications, samples, and glazing calculations for the proposed building at Final Site Plan review;**
- 9. The applicant must submit an existing conditions plan;**
- 10. The applicant must comply with the requests of all City Departments;**

**11. The Planning Board approves the two-foot balcony projections into the right-of-way above eight feet.**

Jim Arpin, member of the public, said that he would urge the Board to not accept plans that require ten or more conditions for the motion. He said it would be a more efficient use of the Board's time and City staff's time. Mr. Arpin also expressed concern regarding the safety, power and fire issues that could occur with the installation of subterranean lifts, and concern with how these plans will meet the ingress and egress requirements of the parking ordinances.

Mr. Arpin thanked the Board for their work reviewing City projects, and said he made his comments with the goal of making the process smoother for the Board's benefit in the future.

**Motion carried, 7-0.**

**ROLL CALL VOTE**

Yeas: Whipple-Boyce, Koseck, Share, Williams, Clein, Emerine, Jeffares

Nays: None

**06-74-20**

**G. Study Session Items**

**1. Draft Master Plan Review Process Debrief**

Planning Director Ecker summarized the item.

Mr. Williams said that the public engagement process should recommence relatively soon even if it begins in a virtual environment. He noted that there would be an opportunity for further conversations with the community if necessary after the submission of the second draft as well.

Chairman Clein agreed with Mr. Williams. He noted that it would be at least three months before draft two would be available, and so that it would be appropriate to finish conversations with the public regarding draft one in a virtual environment.

Mr. Jeffares reminded the Board that virtual meetings potentially present an opportunity to reach an expanded audience, especially because some families with young children who may not otherwise be able to attend in-person meetings would be able to attend virtual ones.

There was consensus among the Board members that the Board's public engagement meetings regarding the master plan should recommence on August 12, 2020.

Chairman Clein suggested that the Board could review and re-rank the action list at their July 8, 2020 meeting.

Mr. Jeffares said he wanted to make sure the Board would remember to include the elevator vestibule discussion on their revised action list.

**06-75-20**

**H. Miscellaneous Business and Communications:**

**a. Communications**

**b. Administrative Approval Correspondence**

Planning Director Ecker sought the Board's feedback for a lot at the intersection of S. Adams and Webster. She explained that there are two buildings on the lot, and that the applicant is proposing restriping the parking lot to add two spots. One ADA compliant spots would be moved to the west to be closer to the currently vacant building on the lot. She noted that the ordinance would require a screening wall for the parking lot. In addition to the restriping, the applicant is proposing to use a landscape buffer for the screening wall, which would be made up of two rows of evergreen shrubs. She asked if the Board would be amenable to her approving these two changes administratively.

Mr. Jeffares said the landscape buffer would be an improvement over what is currently there.

John Marusich, architect, was present on behalf of the request.

There was consensus among the Board members that the proposals could be administratively approved.

**c. Draft Agenda for the next Regular Planning Board Meeting (July 8, 2020)**

- **Jax Kar Wash site plan revisions**
- **545 W. Brown site plan/design review**
- **Action list**

**Motion by Mr. Williams**

**Seconded by Mr. Koseck to suspend the rules to allow for site plan reviews at the regular meeting of July 8, 2020.**

**Motion carried, 7-0.**

**ROLL CALL VOTE**

Yeas: Williams, Koseck, Share, Whipple-Boyce, Clein, Emerine, Jeffares

Nays: None

**d. Other Business**

**06-76-20**

**I. Planning Division Action Items**

**a. Staff Report on Previous Requests**

**b. Additional Items from tonight's meeting**

**06-77-20**

**J. Adjournment**

No further business being evident, the Chairman adjourned the meeting at 9:33 p.m.

Jana L. Ecker

Planning Director

DRAFT



# MEMORANDUM

Planning Division

**DATE:** July 8<sup>th</sup>, 2020  
**TO:** Planning Board  
**FROM:** Nicholas Dupuis, City Planner  
**SUBJECT:** 545 W. Brown – Design Review

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**Zoning:** R8 (Multi-Family Residential)  
**Existing Use:** 2-Story Single-Family House

## Introduction

The applicant is proposing a 329 sq. ft. addition above the garage of an existing single family home. Although the use is a single-family residence, the subject site is located within the R8 Zoning District, which falls under the purview of the Planning Board.

## Building Exterior

As described above, the applicant is proposing a modest addition to the existing building. The addition will contain a pitched roof with Timberline Ultra HD Shingles to match the existing roofing (Brown). The project will also involve the installation of 4 new Pella Lifestyle Series wood awning windows. 3 of the windows will be on the new addition, and 1 window will be added to the master bedroom to match the addition. Finally, the addition is proposed to be clad in eastern white cedar shingles, which are also proposed to match the existing second-story façade.

## Signage

No signage is proposed as a part of this project.

## Lighting

No new lighting is proposed as a part of this project.

## Planning and Zoning

Although the subject site is within the R8 Zoning District, Article 2, Section 2.19 (B) of the Zoning Ordinance requires single-family dwellings in the R8 Zoning District to be regulated under the R3 (Single-Family Residential) zoning standards. The proposed addition meets the requirements for building height at roughly 25 ft. to the midpoint of the sloped roof where 28 ft. is the maximum permitted height.

The R3 Zoning District also requires a 30 ft. rear setback. The existing attached garage is set back 8.15 ft. from the rear property line. The proposed addition is proposed to be built 16 ft. 5 in. beyond the required 30 ft. setback line above the attached garage, therefore **the applicant must obtain a variance for the 16 ft. addition into the required rear setback**. The applicant currently has a variance application submitted and is on the agenda for the Board of Zoning Appeals meeting on August 11, 2020.

### Design Recommendation

When reviewing the project against the standards of Article 7, Section 7.09 of the City of Birmingham Zoning Ordinance, staff makes the following observations:

1. All of the materials required by this section have been submitted for review.
  - *The applicant has submitted all required application materials.*
2. All provisions of this Zoning Ordinance have been complied with.
  - ***The applicant has NOT fully complied with the Zoning Ordinance. The proposed addition extends into the required rear yard setback.***
3. The appearance, color, texture and materials being used will preserve property values in the immediate neighborhood and will not adversely affect any property values.
  - *The proposed improvements to the building will not likely adversely affect property values.*
4. The appearance of the building exterior will not detract from the general harmony of and is compatible with other buildings already existing in the immediate neighborhood.
  - *The overall design elements proposed does not appear to detract from the general harmony of the existing buildings in the neighborhood, and is compatible with Downtown Birmingham.*
5. The appearance of the building exterior will not be garish or otherwise offensive to the sense of sight.
  - *It does not appear that the proposed design elements are garish or otherwise offensive to the sense of sight.*
6. The appearance of the building exterior will tend to minimize or prevent discordant and unsightly properties in the City.
  - *The proposed improvements to the exterior of the building are not unsightly nor discordant.*
7. The total design, including but not limited to colors and materials of all walls, screens, towers, openings, windows, lighting and signs, as well as treatment to be utilized in concealing any exposed mechanical and electrical equipment, is compatible with the intent of the urban design plan or such future modifications of that plan as may be approved by the City Commission.
  - *It appears as though the design elements proposed are compatible with the intent of the urban design plan.*

### Recommendation

The Planning Division recommends that the Planning Board **APPROVE** the Design Review application for 545 W. Brown with the following condition:

1. The applicant must obtain a variance for the 16 ft. addition into the required rear setback.

### Sample Motion Language

Motion to APPROVE the Design Review application for 545 W. Brown with the following condition:

1. The applicant must obtain a variance for the 16 ft. addition into the required rear setback.

**OR**

Motion to **POSTPONE** the Design Review application for 545 W. Brown pending receipt of the following:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**OR**

Motion to **DENY** the Design Review application for 545 W. Brown; the proposal does not meet the requirements of Article 7, Section 7.09 of the Zoning Ordinance.





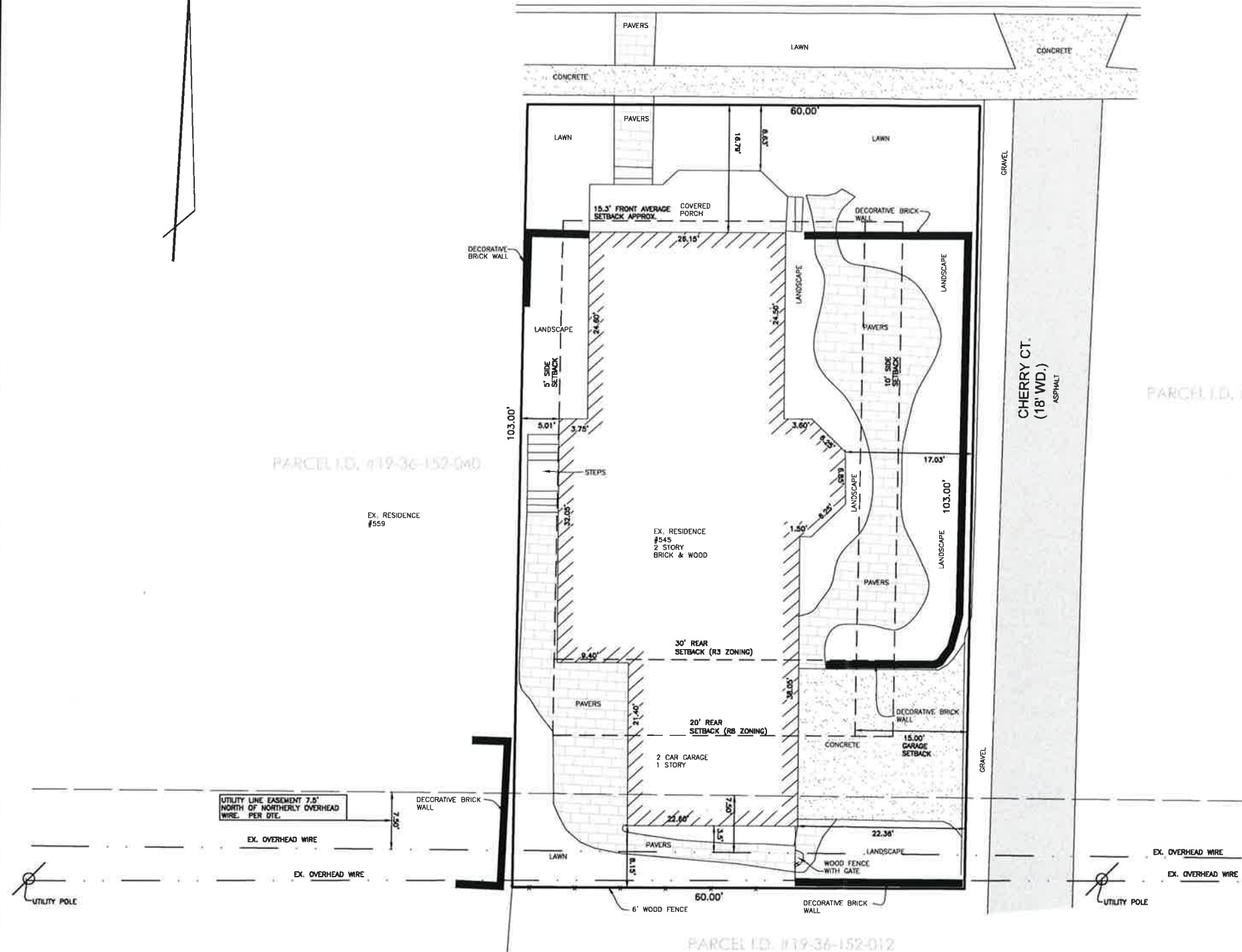
W. BROWN ST.  
(60' WD.)  
ASPHALT W/ CONC. CURB & GUTTER



LEGEND


- SECTION CORNER
  - FOUND IRON, MON., NAIL
  - SET IRON
  - RECORDED
  - MEASURED
  - CALCULATED
- EXISTING DESCRIPTION
- U.P. UTILITY POLE
  - E/WDS. EDGE OF WOODS
  - B/BM. BOTTOM OF BERM
  - T/BM. TOP OF BERM
  - (A) EDGE OF ASPHALT
  - (C) EDGE OF CONCRETE
  - CMP. CORRUGATED METAL PIPE INVERT
  - T WALL TOP OF WALL
  - B WALL BOTTOM OF WALL
  - E/W. EDGE OF WATER
  - B.C./F.G. BUILDING CORNER/FINISHED GRADE
  - M/R. MARKER
  - WSD. WATER SHUT OFF
  - CL. CENTERLINE
  - SAN. MH. SANITARY MANHOLE
  - C.B.B. CATCH BASIN BEEHIVE
  - T/C. TOP OF CURB
  - STM. MH. STORM MANHOLE
  - T/B. TOP OF BANK
  - B/B. BOTTOM OF BANK
  - CL. CENTERLINE
  - C.B.S. CATCH BASIN SQUARE
  - LP. LIGHT POLE
  - GVW. GATE VALVE/WELL
- PR. 000.00 = PROPOSED GRADE
- 000.00 = EXISTING GRADE
- PR. 000.00 = PLAN PROPOSED GRADE NO LONGER APPLICABLE
- C.B. FILTER
- SILT FENCE

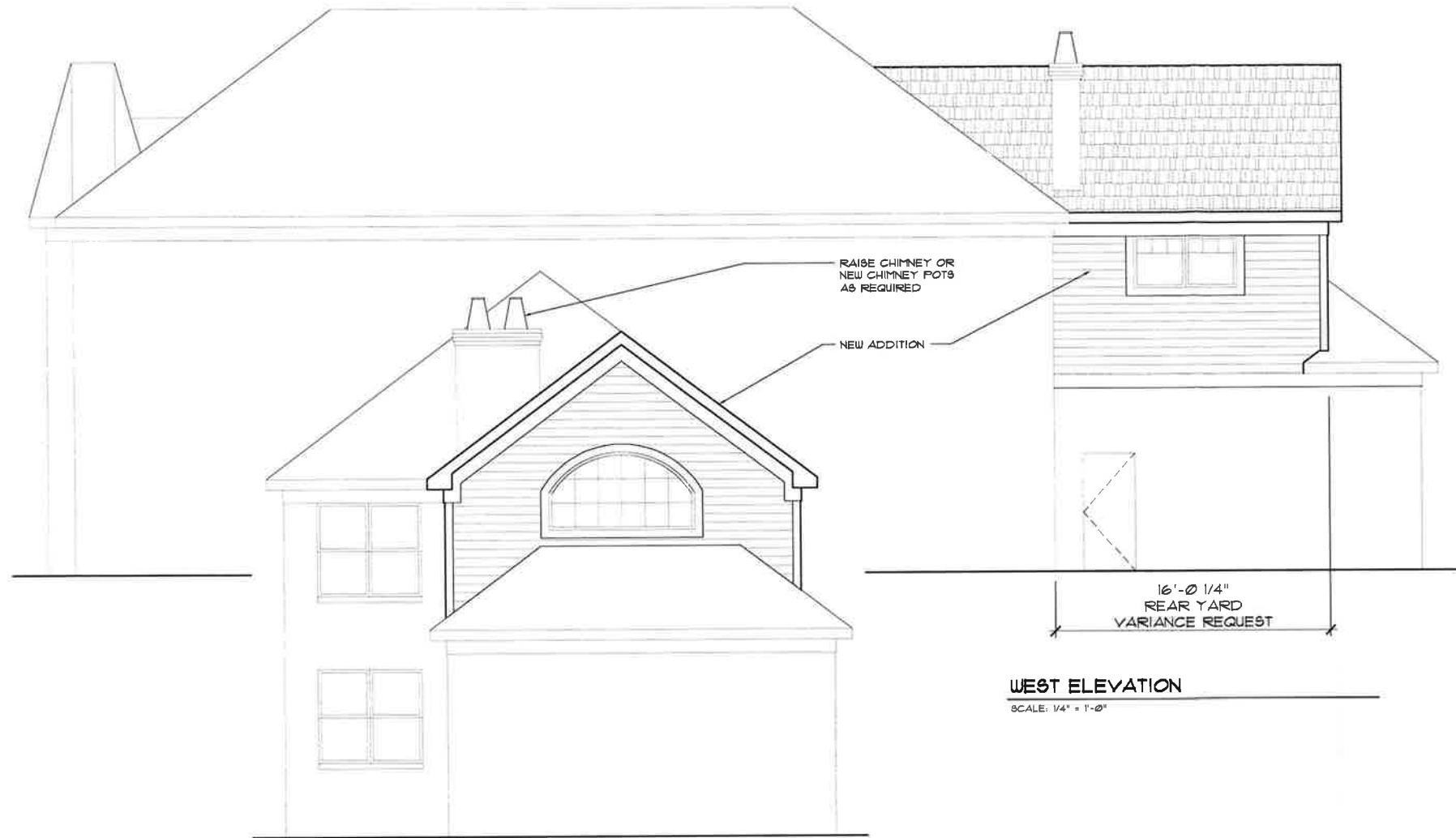
ZONED: R8, (ATTACHED SINGLE-FAMILY RESIDENTIAL)  
USE - R3, (SINGLE-FAMILY RESIDENTIAL)  
PROPERTY DESCRIPTION:  
T2N, R10E, SEC 36 BIRD & STANLEY'S ADD LOT 19



**811**  
BEFORE YOU DIG  
CALL MISS DIG  
1-800-482-7171  
(TOLL FREE)

ADDRESS: 545 W BROWN ST.  
PARCEL I.D. #19-36-152-003

REVISIONS		 <div>Fenn &amp; Associates, Inc. Land Surveying and Civil Engineering 14933 Commercial Drive, Shelby Township, MI 48315 Phone: 586-254-9577 Fax: 586-254-9020 <a href="http://www.fennsurveying.com">www.fennsurveying.com</a></div>			
SCALE: 1" = 10'		FIELD: B.H.		SHEET SIZE: 18x24	DRAWN BY: R.PERRI
DATE: 5/19/20		CHECKED: J.S.R., PE/T.W.D.			
MAPPING OVER 545 W BROWN ST. PART OF SECTION 36, T2N, R10E. CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN					
CLIENT: LARRY & JANINE BRYCZ					DRAWING NUMBER: 20-00180

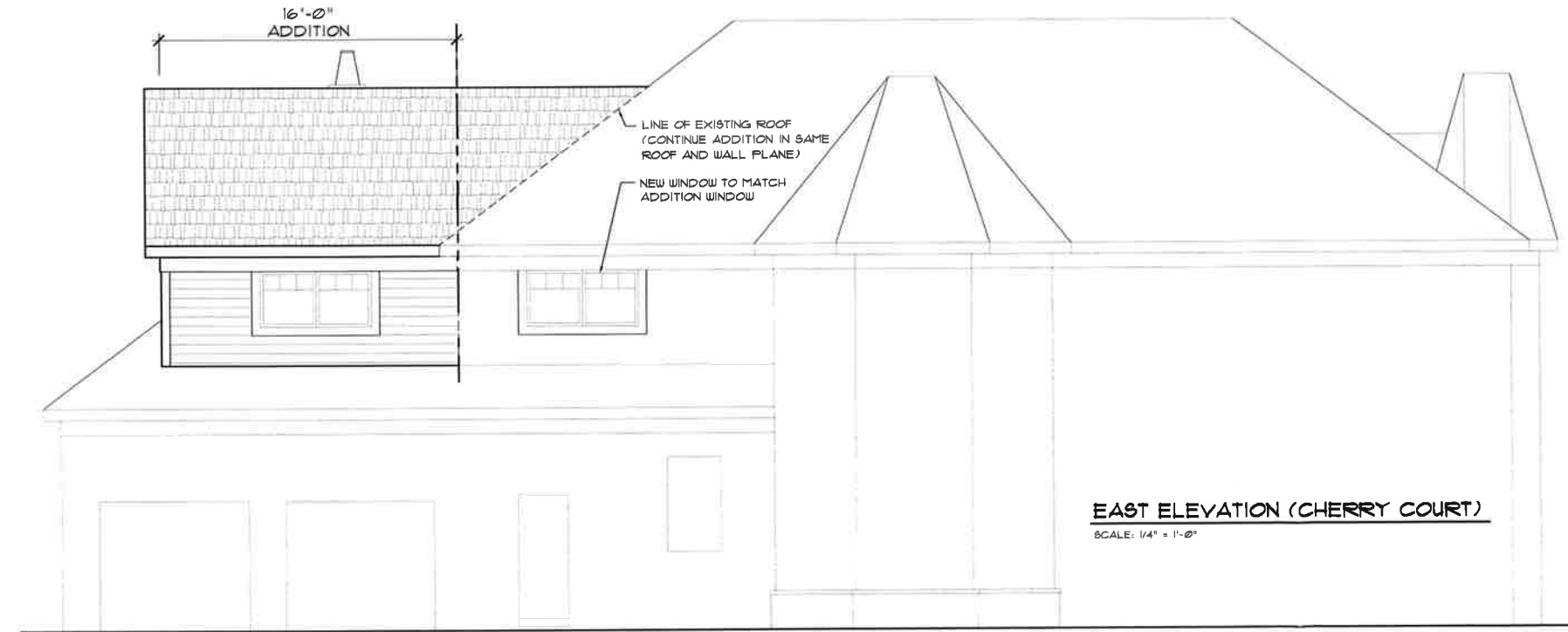


**WEST ELEVATION**

SCALE: 1/4" = 1'-0"

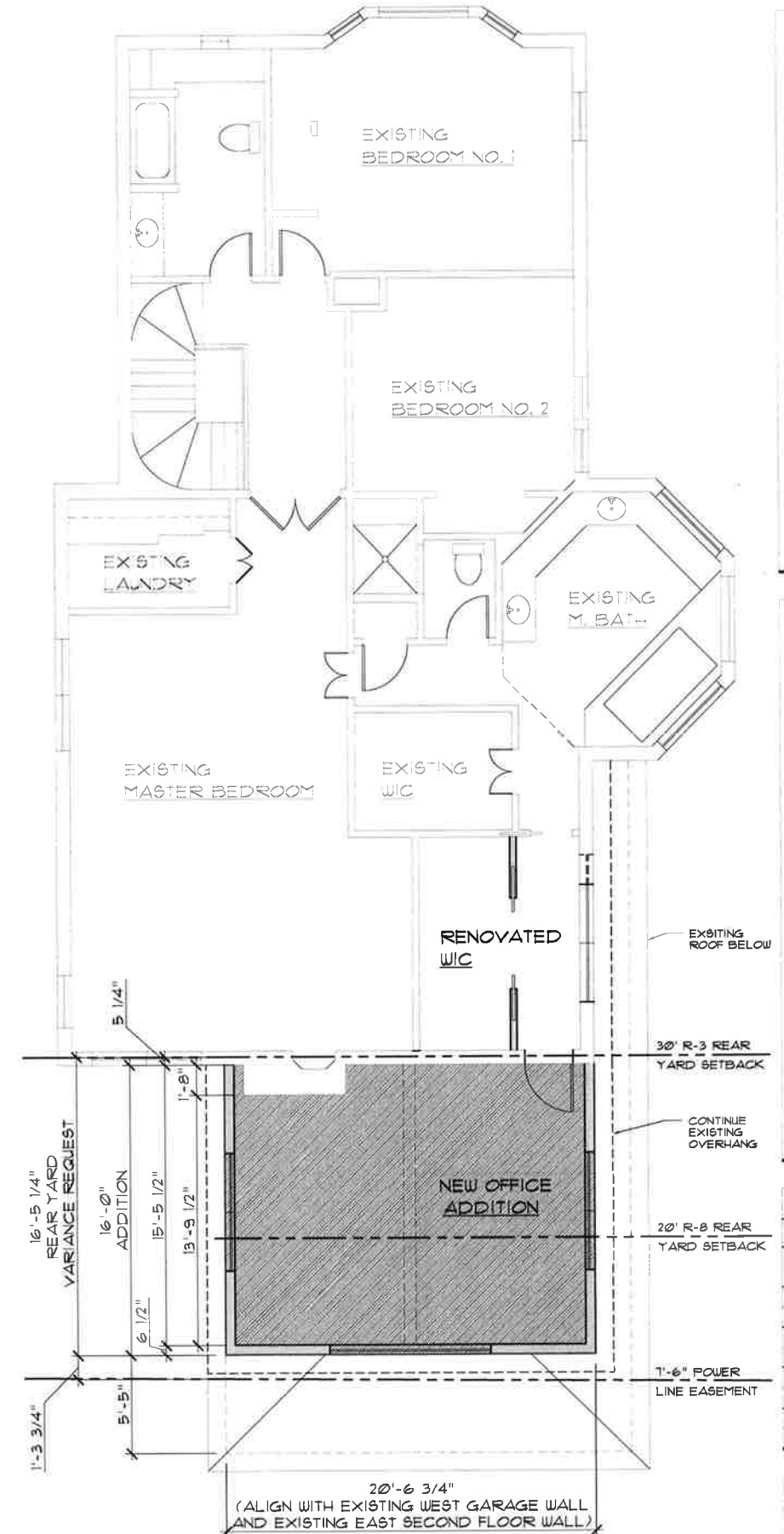
**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



**EAST ELEVATION (CHERRY COURT)**

SCALE: 1/4" = 1'-0"



**SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

NORTH

- NEW ADDITION -  
FOR:  
**BRYCZ RESIDENCE**

545 WEST BROWN, BIRMINGHAM, MICHIGAN, 48009

**SECOND FLOOR PLAN  
AND  
EXTERIOR ELEVATIONS**

JOB NO. BRZ-2001

ISSUED FOR:  
06/04/2020

24x36 SHEET

SHEET:

**A01.01**





East Property Line Looking South on Cherry Court



East Elevation on Cherry Court



East Elevation on Cherry Court



South Property Line Looking West

**Brycz Residence: 545 West Brown, Birmingham, Michigan 48009**

(page 1 of 2)





East / South Property Lines Looking North East



East Property Line Looking North



North / East Elevation from Brown Street



West Property Line Looking South

**Brycz Residence: 545 West Brown, Birmingham, Michigan 48009**  
(page 2 of 2)





## Final Site Plan & Design Review Application Planning Division

Form will not be processed until it is completely filled out.

### 1. Applicant

Name: Lawrence & Janine Brycz  
Address: 545 W Brown  
Phone Number: LMB - 313 806 4919  
Fax Number: JB 313 400 0100  
Email address: lbrycz@gmail.com  
janinebrycz@gmail.com

### 2. Property Owner

Name: Same  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email address: \_\_\_\_\_

### 3. Applicant's Attorney/Contact Person

Name: N/A  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email address: \_\_\_\_\_

### 4. Project Designer/Developer

Name: Larry Brycz - Genl Contractor  
Address: 545 W Brown  
Phone Number: 313 - 806 4919  
Fax Number: \_\_\_\_\_  
Email address: \_\_\_\_\_

### 5. Required Attachments

- I. Two (2) paper copies and one (1) digital copy of all project plans including:
  - i. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject sites property lines;
  - ii. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
  - iii. A certified Land Survey;
  - iv. Interior floor plans;
  - v. A Landscape Plan;
  - vi. A Photometric Plan;
  - vii. Colored elevation drawings for each building elevation;
- II. Specification sheets for all proposed materials, light fixtures and mechanical equipment;
- III. Samples of all proposed materials;
- IV. Photographs of existing conditions on the site including all structures, parking areas, landscaping and adjacent structures;
- V. Current aerial photographs of the site and surrounding properties;
- VI. Warranty Deed, or Consent of Property Owner if applicant is not the owner;
- VII. Any other data requested by the Planning Board, Planning Department, or other City Departments.

### 6. Project Information

Address/Location of the property: 545 W Brown  
addition of 2nd Garage  
Name of development: \_\_\_\_\_  
Sidwell #: \_\_\_\_\_  
Current Use: none  
Proposed Use: none  
Area of Site in Acres: \_\_\_\_\_  
Current zoning: \_\_\_\_\_  
Is the property located in the floodplain? \_\_\_\_\_  
Name of Historic District Site is Located in: \_\_\_\_\_  
Date of Historic District Commission Approval: \_\_\_\_\_

Date of Application for Preliminary Site Plan: \_\_\_\_\_  
Date of Preliminary Site Plan Approval: \_\_\_\_\_  
Date of Application for Final Site Plan: \_\_\_\_\_  
Date of Final Site Plan Approval: \_\_\_\_\_  
Date of Application for Revised Final Site Plan: \_\_\_\_\_  
Date of Revised Final Site Plan Approval: \_\_\_\_\_  
Date of Design Review Board Approval: \_\_\_\_\_  
Will proposed project require the division of platted lots? \_\_\_\_\_  
Will proposed project require the combination of platted lots? \_\_\_\_\_

CITY OF BIRMINGHAM  
Date 06/19/2020 8:19:24 AM  
Ref 00169835  
Receipt 535422  
Amount \$100.00

7. Details of the Proposed Development (attach separate sheet if necessary)

office over garage

8. Buildings and Structures

Number of Buildings on Site: N/A  
Height of Buildings & # of Stories: \_\_\_\_\_

Use of Buildings: \_\_\_\_\_  
Height of Rooftop Mechanical Equipment: \_\_\_\_\_

9. Floor Use and Area (in Square Feet)

Proposed Commercial Structures:

Total basement floor area: \_\_\_\_\_  
Number of square feet per upper floor: \_\_\_\_\_  
Total floor area: \_\_\_\_\_  
Floor area ratio (total floor area ÷ total land area): \_\_\_\_\_  
Open space: \_\_\_\_\_  
Percent of open space: \_\_\_\_\_

Office Space: \_\_\_\_\_  
Retail Space: \_\_\_\_\_  
Industrial Space: \_\_\_\_\_  
Assembly Space: \_\_\_\_\_  
Seating Capacity: \_\_\_\_\_  
Maximum Occupancy Load: \_\_\_\_\_

Proposed Residential Structures:

Total number of units: \_\_\_\_\_  
Number of one bedroom units: \_\_\_\_\_  
Number of two bedroom units: \_\_\_\_\_  
Number of three bedroom units: \_\_\_\_\_  
Open space: \_\_\_\_\_  
Percent of open space: \_\_\_\_\_

Rental units or condominiums? \_\_\_\_\_  
Size of one bedroom units: \_\_\_\_\_  
Size of two bedroom units: \_\_\_\_\_  
Size of three bedroom units: \_\_\_\_\_  
Seating Capacity: \_\_\_\_\_  
Maximum Occupancy Load: \_\_\_\_\_

Proposed Additions:

Total basement floor area, if any, of addition: \_\_\_\_\_  
Number of floors to be added: \_\_\_\_\_  
Square footage added per floor: \_\_\_\_\_  
Total building floor area (including addition): \_\_\_\_\_  
Floor area ratio (total floor area ÷ total land area): \_\_\_\_\_  
Open Space: \_\_\_\_\_  
Percent of open space: \_\_\_\_\_

Use of addition: \_\_\_\_\_  
Height of addition: \_\_\_\_\_  
Office space in addition: \_\_\_\_\_  
Retail space in addition: \_\_\_\_\_  
Industrial space in addition: \_\_\_\_\_  
Assembly space in addition: \_\_\_\_\_  
Maximum building occupancy load (including addition): \_\_\_\_\_

10. Required and Proposed Setbacks

Required front setback: \_\_\_\_\_  
Required rear setback: \_\_\_\_\_  
Required total side setback: \_\_\_\_\_  
Side setback: \_\_\_\_\_

Proposed front setback: \_\_\_\_\_  
Proposed rear setback: \_\_\_\_\_  
Proposed total side setback: \_\_\_\_\_  
Second side setback: \_\_\_\_\_

11. Required and Proposed Parking

Required number of parking spaces: \_\_\_\_\_  
Typical angle of parking spaces: \_\_\_\_\_  
Typical width of maneuvering lanes: \_\_\_\_\_  
Location of parking on site: \_\_\_\_\_  
Location of parking off site: \_\_\_\_\_  
Number of light standards in parking area: \_\_\_\_\_  
Screenwall material: \_\_\_\_\_

Proposed number of parking spaces: \_\_\_\_\_  
Typical size of parking spaces: \_\_\_\_\_  
Number of spaces <180 sq. ft.: \_\_\_\_\_  
Number of handicap spaces: \_\_\_\_\_  
Shared parking agreement? \_\_\_\_\_  
Height of light standards in parking area: \_\_\_\_\_  
Height of screenwall: \_\_\_\_\_

## 12. Landscaping

Location of landscape areas: N/A

Proposed landscape material: \_\_\_\_\_

## 13. Streetscape

Sidewalk width: \_\_\_\_\_

Number of benches: \_\_\_\_\_

Number of planters: \_\_\_\_\_

Number of existing street trees: \_\_\_\_\_

Number of proposed street trees: \_\_\_\_\_

Streetscape Plan submitted? \_\_\_\_\_

Description of benches or planters: \_\_\_\_\_

Species of existing trees: \_\_\_\_\_

Species of proposed trees: \_\_\_\_\_

## 14. Loading

Required number of loading spaces: \_\_\_\_\_

Typical angle of loading spaces: \_\_\_\_\_

Screenwall material: \_\_\_\_\_

Location of loading spaces on site: \_\_\_\_\_

Proposed number of loading spaces: \_\_\_\_\_

Typical size of loading spaces: \_\_\_\_\_

Height of screenwall: \_\_\_\_\_

Typical time loading spaces are used: \_\_\_\_\_

## 15. Exterior Waste Receptacles

Required number of waste receptacles: \_\_\_\_\_

Location of waste receptacles: \_\_\_\_\_

Screenwall material: \_\_\_\_\_

Proposed number of waste receptacles: \_\_\_\_\_

Size of waste receptacles: \_\_\_\_\_

Height of screenwall: \_\_\_\_\_

## 16. Mechanical Equipment

### Utilities and Transformers:

Number of ground mounted transformers: \_\_\_\_\_

Size of transformers (L•W•H): \_\_\_\_\_

Number of utility easements: \_\_\_\_\_

Screenwall material: \_\_\_\_\_

Location of all utilities & easements: \_\_\_\_\_

Height of screenwall: \_\_\_\_\_

### Ground Mounted Mechanical Equipment:

Number of ground mounted units: \_\_\_\_\_

Size of ground mounted units (L•W•H): \_\_\_\_\_

Screenwall material: \_\_\_\_\_

Location of all ground mounted units: \_\_\_\_\_

Height of screenwall: \_\_\_\_\_

### Rooftop Mechanical Equipment:

Number of rooftop units: \_\_\_\_\_

Type of rooftop units: \_\_\_\_\_

Screenwall material: \_\_\_\_\_

Location of screenwall: \_\_\_\_\_

Location of all rooftop units: \_\_\_\_\_

Size of rooftop units (L•W•H): \_\_\_\_\_

Percentage of rooftop covered by mechanical units: \_\_\_\_\_

Height of screenwall: \_\_\_\_\_

Distance from rooftop units to all screenwalls: \_\_\_\_\_

## 17. Accessory Buildings

Number of accessory buildings: \_\_\_\_\_

Location of accessory buildings: \_\_\_\_\_

Size of accessory buildings: \_\_\_\_\_

Height of accessory buildings: \_\_\_\_\_

## 18. Building Lighting

Number of light standards on building: \_\_\_\_\_

Size of light fixtures (L•W•H): \_\_\_\_\_

Type of light standards on building: \_\_\_\_\_

Height from grade: \_\_\_\_\_

N/A

Maximum wattage per fixture: \_\_\_\_\_  
Light level at each property line: \_\_\_\_\_

Proposed wattage per fixture: \_\_\_\_\_

### 19. Site Lighting

Number of light fixtures: \_\_\_\_\_  
Size of light fixtures (L•W•H): \_\_\_\_\_  
Maximum wattage per fixture: \_\_\_\_\_  
Light level at each property line: \_\_\_\_\_

Type of light fixtures: \_\_\_\_\_  
Height from grade: \_\_\_\_\_  
Proposed wattage per fixture: \_\_\_\_\_  
Holiday tree lighting receptacles: \_\_\_\_\_

### 20. Adjacent Properties

Number of properties within 200 ft.: \_\_\_\_\_

#### Property #1

Number of buildings on site: \_\_\_\_\_  
Zoning district: \_\_\_\_\_  
Use type: \_\_\_\_\_  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
North, south, east or west of property? \_\_\_\_\_

#### Property #2

Number of buildings on site: \_\_\_\_\_  
Zoning district: \_\_\_\_\_  
Use type: \_\_\_\_\_  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
North, south, east or west of property? \_\_\_\_\_

#### Property #3

Number of buildings on site: \_\_\_\_\_  
Zoning district: \_\_\_\_\_  
Use type: \_\_\_\_\_  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
North, south, east or west of property? \_\_\_\_\_

#### Property #4

Number of buildings on site: \_\_\_\_\_  
Zoning district: \_\_\_\_\_  
Use type: \_\_\_\_\_  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
North, south, east or west of property? \_\_\_\_\_

#### Property #5

Number of buildings on site: \_\_\_\_\_  
Zoning district: \_\_\_\_\_  
Use type: \_\_\_\_\_  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
North, south, east or west of property? \_\_\_\_\_

#### Property #6

Number of buildings on site: \_\_\_\_\_  
Zoning district: \_\_\_\_\_  
Use type: \_\_\_\_\_  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
North, south, east or west of property? \_\_\_\_\_



The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner:

*Jean Byers*

Date:

*6/10/20*

Print Name: \_\_\_\_\_

Signature of Applicant:

*Jean Byers*

Date:

*6/10/20*

Print Name: \_\_\_\_\_

Signature of Architect:

*s/a*

Date:

\_\_\_\_\_

Print Name: \_\_\_\_\_

*Office Use Only*

Application #: \_\_\_\_\_ Date Received: \_\_\_\_\_ Fee: \_\_\_\_\_

Date of Approval: \_\_\_\_\_ Date of Denial: \_\_\_\_\_ Accepted by: \_\_\_\_\_

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**4.29**

(Based on 1664 Reviews)

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## LIFESTYLE SERIES AWNING WINDOW FEATURES

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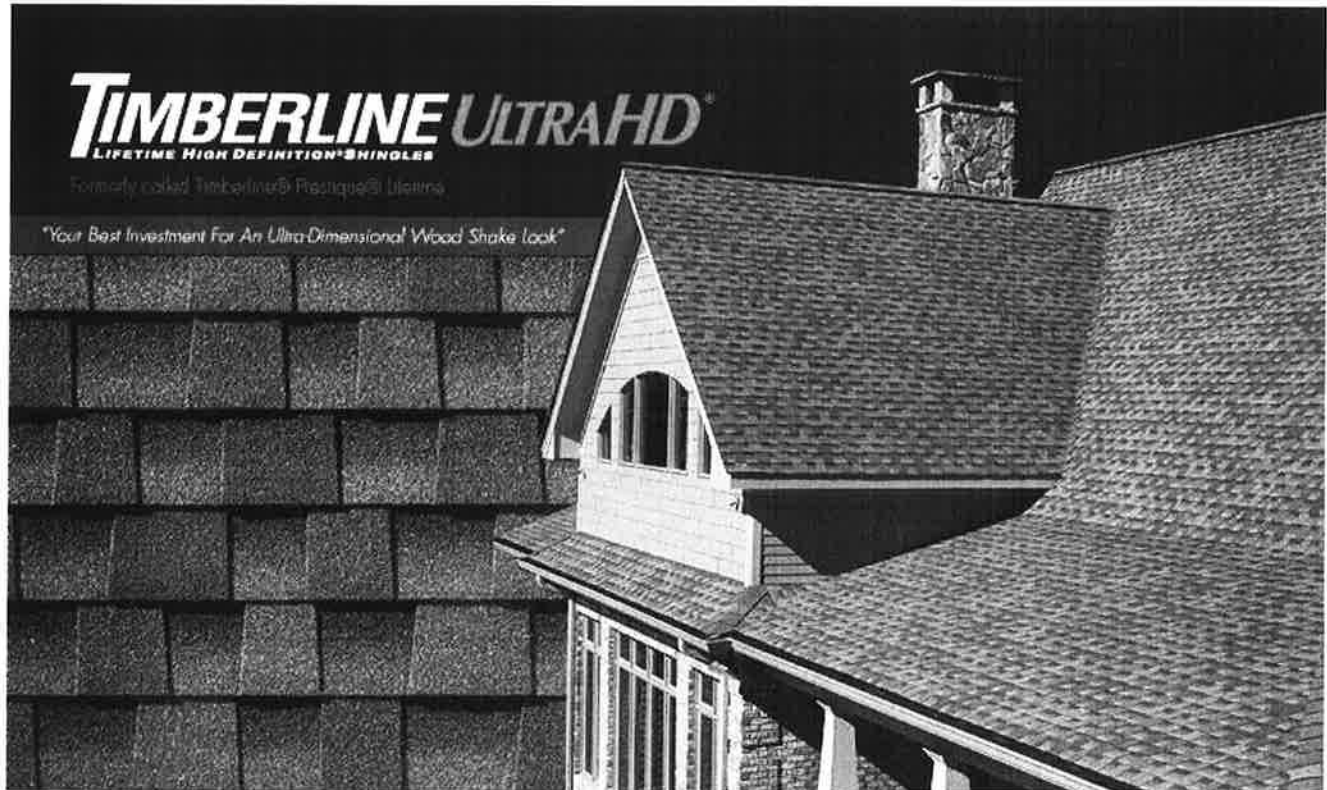
### Performance Enhancements

- Energy and sound performance packages
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(1)

Get Easy  
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Instructions, Warranties & Codes

(/Roofing/Residential/Products/Shingles/Timberline/Ultra\_High\_Definition/Documents)

Shingle Colors

(/Roofing/Residential/Products/Shingles/Timberline/Ultra\_High\_Definition/Colors)

Photo Gallery

(/Roofing/Residential/Products/Shingles/Timberline/Ultra\_High\_Definition/Photo\_Gallery)

Product Reviews

(/Roofing/Residential/Products/Shingles/Timberline/Ultra\_High\_Definition/Reviews)

## Timberline Ultra HD® Shingles

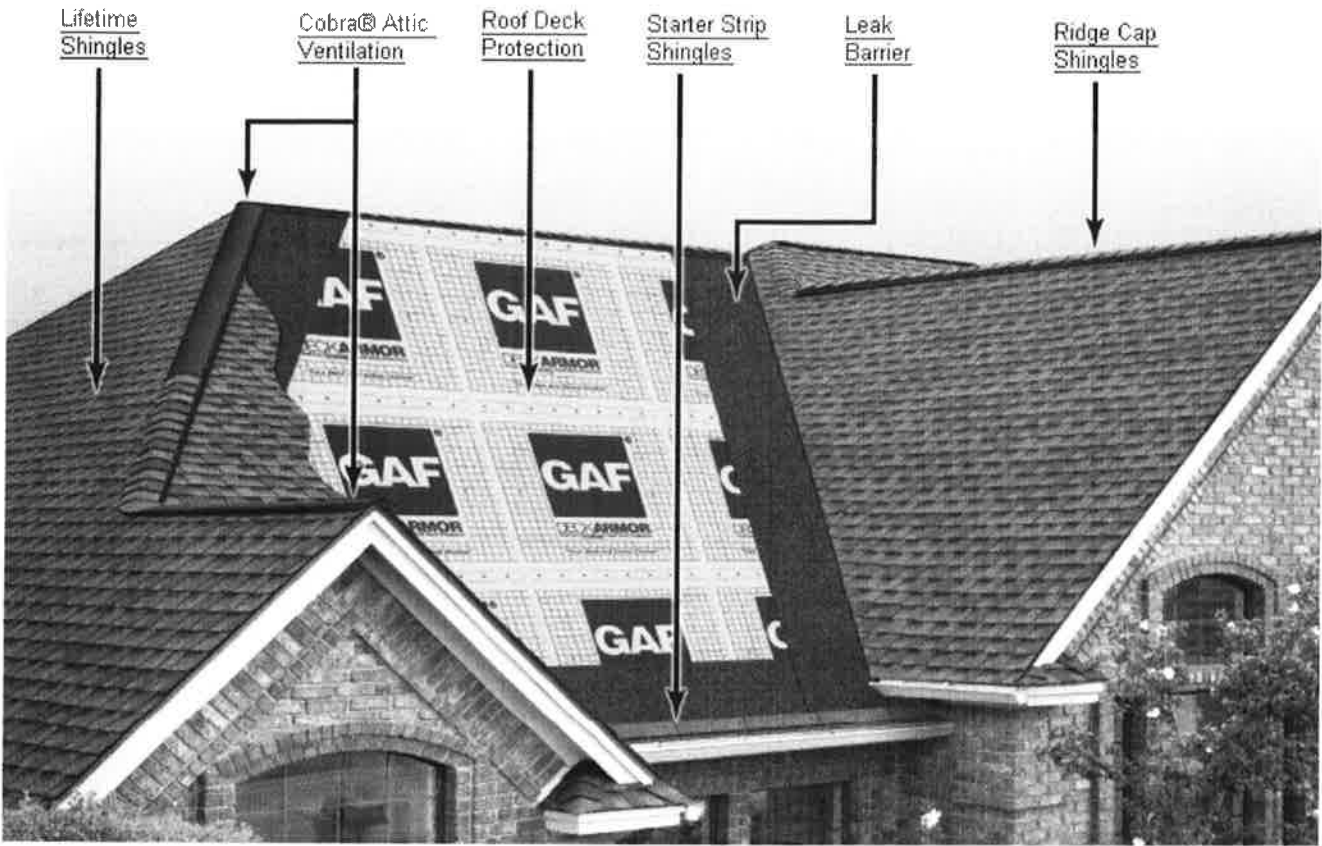
For just pennies-a-day more than standard architectural shingles, you can enjoy Timberline Ultra HD® Shingles, the thickest, most ultra-dimensional Timberline High Definition® Shingle. Featuring GAF's proprietary color blends, Timberline Ultra HD® Shingles offer a wood-shake look with an incredible thickness that you'll notice and appreciate.

### To See Colors

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Postal Code	Go!
-------------	-----

( Color Availability Varies By Region )



(/Roofing/Residential/Products)

- Shingle Features

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(/Roofing/Residential/Products/Shingles/Timberline/Ultra\_High\_Definition/Colors)
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- Instructions, Warranties & Codes

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- Product Reviews

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## Characteristics

Renowned for the quality of our products, we manufacture natural, KD (kiln-dried) and factory-stained shingles in our own facilities. With its numerous properties (e.g. decay resistance, high insulation, lightness, etc.), white cedar (*thuya occidentalis*) is the ideal choice for roofing or exterior siding. Its natural oils protect against mold, moisture and insects, thereby ensuring a longer life. Cedar shingles age beautifully, even when left untreated. They enhance the beauty of a home while blending perfectly with other natural materials such as stone and brick.

## Specifications - General

Length:	Approx. 15 1/2" to 16" (39.4 to 40.6 cm)
Width:	Approx. 3 1/4" to 11" (8.3 to 27.9 cm)
Butt thickness:	3/8" (1 cm)
Bundling:	Area covered per bundle (box): 25 sq. ft. (2.32 m <sup>2</sup> ) with a 5" (12.7 cm) exposure
Bundles (boxes) per square:	4

## Specifications - Grade

Eastern White Cedar Shingles are available in four grades, each having its own distinctive features and applications:

GRADE	CHARACTERISTICS	USES
<b>Extra "A"</b> (blue label)	Top grade No imperfections	Roofing and siding
<b>Clear "B"</b> (red label)	Select grade No imperfections on exposed surface (up to 6" (15.2 cm))	Siding
<b>2<sup>nd</sup> Clear "C"</b> (black label)	Economy grade Some sound knots on exposed surface	Siding (rustic appearance)
<b>Utility "D"</b> (green label)	Lowest grade Various imperfections	Multipurpose: undercourse, shims (10/10, shims 42 pieces, ...)

Special Cuts - Round

## Choice

### Resquare

Our Extra "A". They are dis shingles' tw and substar

### Kiln-Drie

Our dehum having sup ensure unif warranty a optimal pro

### Weatheri

SBC uses F to-install sh process wh shingles are unique wat cracking, bl

### Factory-S

To complet that have b a 100% aci semi-transp factory-co: producing In collabor: against cra 2 coats. Our of real woo

### Stock Col

Cape Cod Gr



## Eastern White Cedar Shingles

# Specifications and Installation



At SBC, we firmly believe in the importance of customer satisfaction. And one way of ensuring it is to help you choose and install the shingles that best meet your needs so that you may fully enjoy SBC shingles and the natural beauty of wood!

## Installation Guide

Installed properly, our shingles can last up to 50 years. The following are a few recommendations to help ensure

**Exposure:** To prevent buckling, use a 5" (12.7 cm) maxim

**Fasteners:** Rust-resistant (galvanized, aluminum or stai  
1 1/4" to 1 1/2" (3.2 to 3.8 cm) long. Fasteners must pene

### Ventilation

It is important to ensure adequate circulation of air un

- Install horizontal wooden laths (1" x 3" or 1" x 4" (centre to centre). Nail shingles directly to them. Y

### General Installation Instructions

- 1 Always work from the bottom to the top.
- 2 To calculate the number of courses to be installed:
  - Measure the surface area to be covered and divid
  - Adjust the exposure to produce even courses.
  - Leave at least 4" (10.2 cm) for the last course at the
- 3 Draw a line or use a board to align shingles horizont
- 4 For the first row (wall, roof), always lay a double cc  
them by at least 1 1/2" (3.8 cm) so that joints do not  
should extend at least 1" (2.5 cm) from the top of th
- 5 Use 2 fasteners per shingle at about 3/4" (1.9 cm) fr  
and at 1" (2.5 cm) above the butt-line of the overlap  
are wider than 8" (20.3 cm), use 2 additional fastene  
near the center of the shingles.
- 6 Leave a gap of approximately 1/8" to 1/4" (0.3 to 0.6  
between neighboring shingles to allow for expansi
- 7 Joints of successive courses must always be offset 1  
1 1/2" (3.8 cm) to prevent water build-up. Treat shin
- 8 Never allow joints from any 3 consecutive courses

### Angles, Corners, Openings, Edges

Flashing, which comes in various materials, sizes and sk  
codes are respected. Depending on the risks of seepage  
to concealing structural cutting imperfections that ma  
water and insect infiltration. When installing flashing, (It is also recommended that joints in infiltration-prone

### Wall Corners – two possible methods

- Use shingles, by alternating the courses on both w
- Use boards that completely cover up the corner.

### Existing Construction – two possible methods

- Remove existing siding or roofing material and prc
- Install shingles directly on top of the original cove

**Warranty**  
**10/25 • 30**  
Stain • Wood





## MEMORANDUM

Planning Division

**DATE:** July 1, 2020

**TO:** Planning Board Members

**FROM:** Jana Ecker, Planning Director

**SUBJECT:** 34745 Woodward – Jax Kar Wash – Final Site Plan & Design Review (All changes since October 23, 2019 in blue type)

---

The applicant has submitted a Final Site Plan and Design Review application to make minor site and building design changes to 34745 Woodward – Jax Kar Wash. The roughly 0.59 acre site is currently home to the aforementioned Jax Kar Wash and associated parking and service equipment. The applicant is proposing to update their site to include the relocation of detailing spaces to the north side of the building and a redesign of the vehicular circulation pattern, including parking, and minor changes to the existing building and signage.

On July 24, 2019 and August 14, 2019, the Planning board reviewed the Final Site Plan and Design for this site, and ultimately postponed the matter to September 11, 2019. The Planning Board requested that the applicant revise their plans to accommodate better screening of vehicles and cleaning equipment on site, and to reconfigure the streetscape along Woodward Avenue and Brown Street. The Planning Board requested that the applicant add landscaping and street trees to complement the Woodward and Brown Street streetscapes at the Balmoral Building on the north side of Brown Street and those throughout Downtown Birmingham.

On September 11, 2019, the Planning Board reviewed the applicant's revised plans to include landscaping in one area along Brown Street and in a bed near the corner of Woodward and Brown. Board members provided feedback to the applicant that they had significant concerns regarding the lack of screening along Brown and Woodward, especially as detailing activities are now proposed to be moved in front of the existing building. The Planning Board also expressed concern with the proposed contraflow of traffic along the raised portion of the Woodward MDOT right-of-way (including the public sidewalk) adjacent to the Jax site. The Planning Board voted unanimously to continue the matter to the October 23, 2019 Planning Board meeting to have the applicant amend their plans to comply with all ordinances, obtain approval from MDOT for the proposed use of the right-of-way, and to meet with both the Planning and Engineering Departments together to resolve the outstanding site plan and design issues.

After the September meeting, the applicant reached out to MDOT seeking approval of the proposed contraflow use of the Woodward right-of-way by vehicles. MDOT advised that they would permit this use if the City of Birmingham provided full indemnity to MDOT for such use. The applicant has advised that their attorney will review this request with the City Attorney.

**On October 23, 2019, the Planning Board again reviewed the applicant's plans to revise the circulation pattern on the site, with the addition of a landscaped area along**



**Brown and another near the corner of Woodward and Brown. After much discussion, the Planning Board voted unanimously to deny the Revised Final Site Plan and Design for Jax Car Wash for the following reasons:**

- 1. The proposed plan does not meet the requirements of the zoning ordinance in a number of ways as noted in both Planning Director Ecker's report and during previous meetings;**
- 2. The proposed plan does not meet the condition four of Article 7, section 7.27 of the Zoning Ordinance being that the plans propose hazardous traffic circumstances; and,**
- 3. At present, the applicant has not demonstrated an entitlement to utilize the counterflow into the Woodward Avenue right of way.**

**The applicant has now revised the proposed plans from the October 23, 2019 meeting to include additional landscaping and an upgraded sidewalk and streetscape along Brown Street. However, the applicant has not met with the Engineering Department or the City Attorney to attempt to resolve the safety concerns about traffic flow in the MDOT right-of-way. The applicant has submitted a letter from their attorney in support of the proposed counterflow into the Woodward Avenue right-of-way. The City Attorney will provide a response by the Planning Board meeting on July 8, 2020 for your review.**

## **1.0 Land Use and Zoning**

- 1.1 Existing Land Use** – The site is currently used as commercial and parking, and contains the Jax Kar Wash and its associated parking.
- 1.2 Zoning** – The property is zoned B-2 (General Business), and D-4 in the Downtown Overlay District.
- 1.3 Summary of Adjacent Land Use and Zoning** – The following chart summarizes existing land use and zoning adjacent to and/or in the vicinity of the subject site, including the 2016 Regulating Plan.

	<b>North</b>	<b>South</b>	<b>East</b>	<b>West</b>
<b>Existing Land Use</b>	Commercial/ Office	Mixed Use	Commercial	Commercial/ Office
<b>Existing Zoning District</b>	B-4, Business - Residential	B-3, Office - Residential	O-2, Office/ Commercial	B-2, General Business
<b>Overlay Zoning District</b>	D-4	D-4	MU-5	D-3

## **2.0 Setback and Height Requirements**

The attached summary analysis provides the required and proposed bulk, area, and placement regulations for the proposed project.

### 3.0 Screening and Landscaping

- 3.1 Dumpster Screening – The applicant is not proposing any changes to the existing dumpster or associated screening. The existing dumpster is located in a corner at the rear of the property and screened with wood fencing.
- 3.2 Parking Lot Screening – Article 4, Section 4.54(C)(3)(d) of the Zoning Ordinance requires that a masonry screenwall be placed along the front or side of any parking facility that abuts a street. The applicant has not proposed to screen the updated lot. The applicant has submitted revised plans that propose the addition of landscaped areas both at the northwest and northeast corners of the property to assist in screening the parking area on the north side of the building where 6 cleaning and detailing spaces are proposed. **Between these landscaped areas there is no screening proposed along the north property line to screen the vehicles parked for cleaning. No screening has been added on Woodward at the southeast corner of the site to screen the parking along the southern property line from Woodward. The applicant must screen the parking lot in accordance with Section 4.54 of the Zoning Ordinance, or obtain a variance from the Board of Zoning Appeals. The applicant has now revised the plans to include landscape screening along the south side of Brown Street with 17 Juniper shrubs proposed at a height of 6' to assist in screening the proposed vehicle vacuuming and detailing area north of the existing building. The previously proposed landscaped island at the corner of Woodward and Brown has been increased in size since October 2019. However, the island does not screen the detailing area along Woodward in its entirety, nor does it provide any screening for the parking area along Woodward near the southeast corner of the site. The applicant will be required to provide all required screening or obtain a variance from the Board of Zoning Appeals.**
- 3.3 Mechanical Equipment Screening – There are no changes proposed to the existing mechanical equipment on site, and there are no new units proposed. The applicant is proposing the addition of 6 vacuum stations in the proposed detailing area north of the existing building (2 vacuum stations per station). This equipment will be visible to the public from Brown Street. Article 4, Section 4.45(C)(5) of the Zoning Ordinance states that screening is required adjacent to all ground mounted mechanical equipment that is visible to the public, in order to obscure the equipment from public view. This issue was discussed at the Planning Board meeting on July 24, 2019, and board members requested that the applicant add screening along the entire northern property line along Brown Street (other than driveways) to screen both the vehicles parked for detailing and the detailing equipment. **The applicant has not added the required screening along Brown Street, and will be required to do so or obtain a variance from the Board of Zoning Appeals. The applicant has now revised the plans to include landscape screening along the south side of Brown Street with 17 Juniper shrubs proposed at a height of 6' to assist in screening the proposed vehicle vacuuming and detailing area north of the existing building. The previously proposed**

**landscaped island at the corner of Woodward and Brown has been increased in size since October 2019. However, the island does not screen the detailing area along Woodward in its entirety. The applicant will be required to provide all required screening or obtain a variance from the Board of Zoning Appeals.**

- 3.4 Landscaping – Article 4, Section 4.20(C)(1) of the Zoning Ordinance exempts any property in the Downtown Overlay District from the standards outlined in Section 4.20(F) – Parking Lot Landscaping. However, the applicant has shown a circular landscape area on the proposed site plans. Although no landscaping is required, the applicant has submitted a landscape plan showing a central Honeylocust tree surrounded by gro-lo fragrant Sumac and Liriope plantings in the proposed raised circular landscaping bed.

At the Planning Board meeting on July 24, 2019, the Planning Board expressed concern about the lack of landscaping on this site, particularly along the Woodward and Brown frontages. The Planning Board requested that the applicant add in landscaping at the corner of Woodward and Brown to create a corner feature and to break up the large expanse of hardscape in this area. Board members also requested that the applicant look at the property to the north and add landscaping features that were comparable to those on the north side of Brown Street adjacent to the Balmoral building.

For the September 11, 2019 Planning Board meeting the applicant revised their plans to add two landscaping features to the site. The first landscape area is an island proposed at the corner of Woodward and Brown, but does not wrap the corner. This island varies between 5' and 9' in width, and runs south along Woodward for approximately 28'. It is not proposed to extend all the way to the driveway opening. **The applicant has now submitted revised plans that show a slight increase in the size of the landscape island at the corner of Brown and Woodward. The new island is now proposed to vary in width from 7' to 12', and extend approximately 26' in length to the south. The new island still does not extend all the way to the driveway opening on Woodward. The Planning Board may wish to have the landscaping island elongated to the south, and widened out to the west to better break up the concrete and assist in defining the pedestrian path. The plans state that 3 columnar evergreen trees are proposed in this island, along with tall grasses and perennials. No details have been provided on the plant species proposed, nor the height at time of planting. The applicant has now provided a landscape plan that shows 4 Juniper shrubs are proposed in the island at 6' in height along with a mix of Dwarf Bayberry and Gro-low Sumac.**

A second landscaped area is also proposed along Brown Street, between the entry drive at the northwest corner and the exit drive for the vehicle detailing area on the northern property line. This area is proposed to extend approximately 51' in length along Brown Street, and vary in width from 7' to 22'. The plans state that 8 columnar evergreen trees are proposed in this island, along with tall grasses, perennials and low shrubs. **No details have been provided on the plant species proposed, nor the height at time of planting. The applicant must provide a landscape plan**

**detailing all species types and sizes proposed. The applicant has now provided a landscape plan that shows 13 Juniper shrubs are proposed in the bed at 6' in height along with a mix of Dwarf Bayberry and Gro-low Sumac.**

Article 4, Section 4.20(G) requires at least one street tree for each 40 ft. of linear frontage. The applicant has roughly 185 linear feet of frontage along Brown Street, and roughly 105 linear feet of frontage along Woodward Avenue. Thus, the applicant is required to provide 5 street trees along Brown and 3 street trees along Woodward for a total of 8 street trees. The applicant has proposed 5 street trees on Brown, and no street trees on Woodward. **The applicant must submit plans showing 5 street trees on Brown and 3 street trees on Woodward for a total of 8 street trees, obtain a variance from the Board of Zoning Appeals, or obtain a waiver from the Staff Arborist. The applicant has now provided a landscape plan that shows 5 Ginkgo street trees are proposed along Brown Street.**

The applicant submitted a waiver on July 16, 2019 to the Staff Arborist for the 3 required street trees along the Woodward frontage. The revised plans provided on September 11, 2019 show three columnar evergreens on Woodward, but no species is provided, nor have these been approved to count as street trees by the Department of Public Services. However, the Department of Public Services has approved a waiver of street trees along Woodward Avenue.

- 4.0 Streetscape Elements – As described above, the applicant is proposing to plant 5 street trees along Brown. There are no other streetscape improvements proposed. **The applicant has now revised the site plan to include a partially obstructed 5' sidewalk (utilizing ADA compliant tree grates as a portion of this width) along the south side of Brown Street as requested by the Planning Board. However, existing lighting poles provide obstructions within the 5' walking path. The Planning Board may wish to require the applicant to install pedestrian scale street lighting, benches, waste receptacles, or bike racks. The revised plans show the existing 2 cobra head fixtures which obstruct the walking path, and do not include any pedestrian scale street lighting, benches, waste receptacles or bike racks.**

## 5.0 **Parking, Loading and Circulation**

- 5.1 Parking – The proposed development and its commercial use is located in the Downtown Parking Assessment District; thus no parking is required on site for the commercial use. The existing site contains 17 off-street parking spaces in both the front and rear of the building. The proposed site redesign rearranges the parking with 8 traditional parking spaces to be located in the rear, and 6 quasi parking spaces in front at the proposed detailing spaces for a total of 14 off-street parking spaces. The applicant has stated in the application that 9 of the traditional parking spaces will be greater than or equal to the 180 sq. ft. standard, while 1 space will be less than 180 sq. ft.
- 5.2 Loading – The proposed site changes do not include an increase in square footage to the building, nor a change in use. No changes to loading are proposed.

Vehicular Circulation and Access – The existing main point of entry for vehicles seeking service is on Brown Street at the west end of the property. There exists an entrance/exit to a parking facility at the east end of the property at Woodward, and one large exit on Woodward. The applicant is proposing to remove the eastern entry/exit on Brown and relocate it roughly 45 ft. west to be utilized as an exit from the detailing stations in front of the building. Access to the detail stations is proposed via a “U-turn” from the exit of the car wash facility. **At the Planning Board meeting on September 11, 2019, the Planning Board expressed concerns about the applicant’s proposed use of the MDOT right-of-way from the Woodward curb back to and including the sidewalk. The applicant is proposing to have vehicles drive in this area, over the sidewalk and in the opposite direction of the southbound Woodward travel lanes that are adjacent to this area. The Planning Board advised the applicant to seek approval for this use from MDOT. The applicant has advised that MDOT stated they are willing to allow this use, if the City of Birmingham is willing to indemnify the State against any and all liability resulting from such use. The applicant has not yet contacted the City Attorney on this matter. On October 23, 2020, the Planning Board expressed the same concerns, and voted unanimously to deny the site plan based in large part on the proposed hazardous traffic circumstances, in addition to the fact that the applicant had not demonstrated an entitlement to utilize the counterflow into the Woodward Avenue right of way. The applicant has now provided a letter from their attorney in support of the use of the MDOT right-of-way. Please be advised that the City Attorney will provide a legal opinion on this matter prior to the Planning Board meeting on July 8, 2020. In addition, the City’s traffic consultant will also provide an opinion on the proposed circulation patterns.**

5.3 Pedestrian Circulation and Access – The applicant is proposing a new entrance to the existing lobby located at the front of the building. No other changes are proposed. At the Planning Board meeting on July 24, 2019, the Planning Board requested that the plans be revised to clearly show the required 5’ wide pedestrian walking path (sidewalk) along both Brown and Woodward, to ensure that that it was clear to pedestrians where it was safe to walk. Board members specifically asked for improvements at the corner of Brown and Woodward where the entire area is concrete and it is unclear which portion is for vehicles and which is for pedestrians. The revised plans submitted for the September 11, 2019 Planning Board meeting show the 5’ wide pedestrian path. In order to achieve an unobstructed 5’ path along Brown, the applicant is proposing to install ADA compliant tree grates. **The revised plan show the required broom finish and aggregate finish along Brown Street, but also show obstructions in the walking path due to existing cobra head lights. The plans show a 5’ clear path along Woodward, but there is no material change to differentiate the sidewalk from the vehicle zone. Further, the sidewalk is required to be concrete, with a broom finish and the Downtown standard joint pattern along both Woodward and Brown, including through the entry and exit drives. The applicant must provide additional details to clearly distinguish the sidewalk as required. No new details have been provided at this time to distinguish the sidewalk from the drive areas along the Woodward frontage.**

## 6.0 Lighting

The applicant is not proposing any changes to the lighting on the site. The photometric plan submitted is from the existing site plan approval for reference.

## 7.0 Departmental Reports

7.1 Engineering Division – **Updated comments on the revised plans will be provided by July 8, 2020.** The Engineering Division previously provided the following comments:

1. **A survey and grading plan will be required showing the removal of a drive approach and the installation of a new drive approached. Due to the lack/limited right-of-way, grading may be a challenge;**
2. **There are several areas where new curbing is proposed. The above-mentioned grading plan shall also include the revised parking lot grading.**

**In addition, the Engineering Division provided the following comments on September 9, 2019:**

1. **The plan has proposed three evergreen trees as well as other landscaping in the right-of-way of Woodward Ave., just south of Brown St. The proposal would result in an unacceptable sight distance hazard for the multiple vehicles that need to exit the JAX car wash facility on a daily basis. The City's code reads that no landscaping obstructions are allowed on private property within a 25 ft. sight triangle extending from a corner when a property is located adjacent to the intersection of two public streets. Evergreen trees are never allowed in the right-of-way for this same reason, as they would serve to obstruct the view of drivers attempting to pull on to the public street. We are also confident that the proposal will not receive approval from the Michigan Dept. of Transportation, due to the same sight distance concerns.**
2. **The plan has proposed the installation of five new trees in the narrow Brown St. right-of-way in front of the site. There have never been City trees in this area, due to the lack of public right-of-way. The proposal as shown is physically impossible to construct, and will not receive a permit from the Engineering Dept. as shown. Note that when the City's standard tree grates are installed, an additional six inches minimum of concrete must be installed between the street curb and the tree grate to provide concrete in which steel anchors that support the tree grate can be poured. Therefore, the center of the new tree would be 2.5 ft. south of the back of the curb, and it is surrounded by a 12 inch open circle for future tree growth. Even if the design uses the metal tree grate as a part of the walking surface, the City sidewalk would be only 4.7 ft. wide, in violation of City policy.**

In order to introduce City trees in this area, the applicant should consider providing an easement to the City for sidewalk purposes, thereby allowing reconstruction of the sidewalk in such a way that there is sufficient room both for pedestrians and trees. Another option, since there is no parking on this section of Brown St., would be to remove 2.5 ft. wide sections of concrete immediately behind the curb, to provide room for perennial plants and mulch.

3. While not in conflict with City code, the Engineering Dept. also does not recommend the installation of evergreen trees on private property to the west of the new Brown St. exit driveway. Assuming the driveway will be used frequently during business hours, the trees will serve as a sight distance conflict between the drivers using this exit, as the trees will obscure the view of both pedestrians and bicyclists that may be using the adjacent City sidewalk. Lower growing plants would be more appropriate.

7.2 Department of Public Services – The Department of Public Services has approved the waiver request not to plant street trees along the Woodward Avenue frontage. **Updated comments on the revised plans will be provided by July 8, 2020.**

7.3 Fire Department – The Fire Department has no concerns at this time but notes that the proposed new entry door will need egress compliant locking hardware, and handles. Twist, deadbolt locks are not permitted. **The Fire Department has reviewed the revised plans and has no concerns.**

7.4 Police Department – The Police Department has no concerns at this time.

7.5 Building Division – The Building Division will provide comments prior to the meeting on July 8, 2020.

## 8.0 Design Review

As noted above, the applicant is making minor changes to the building on site, while focusing the majority of proposed changes on the site circulation. The proposed changes to the building include a new entry door to the existing lobby located along the Woodward frontage, and new signage. Site design changes include a new attendant booth, 3 new service canopies, and 6 new vehicle detail stations.

Lobby Entrance – The proposed lobby entrance will replace an existing large window. The door will be a Kawneer 250T Insulpour single clear glass and aluminum metal door with Trifab 451T framing system. The doorframe is proposed to match the building color theme. **At the Planning Board meeting in July, the board requested that the applicant provide a full interior floor plan to assist them in understanding the pedestrian circulation elements within the building and on site. The applicant has not yet provided a floor plan and is required to do so. The applicant has now provided a basic floor plan on sheet AS101.**



Detail Stations and Service Canopies – The 6 proposed detail stations along Brown Street will consist of 12 vacuum stanchions and a PVC pipe network running below grade, then up the side of the building to a disposal area within the building. The approximately 2 ft. stanchions are proposed to be blue (“Honor Blue”) in color with blue tubing and yellow (“Daisy”) detailing to match the Jax Kar Wash brand. The above-ground PVC vacuum tubing is proposed to be painted brown (“Quartersawn Oak”) to blend with the existing brick as much as possible and grey (“Roycoft Pewter”) to match the existing metal coping.

The 3 proposed service canopies in the rear of the building will consist of an “auto attendant” kiosk, canopy, and barrier gate arm. The applicant is proposing the service canopies to follow the same brand color scheme with blue canopy columns, yellow canopy, and grey kiosks.

Signage – The site currently contains one wall sign, one roof sign, and one pole sign for a total of three existing signs. The proposed signage design plan details one new wall sign, two new name letter signs, the **removal of the existing pole sign**, and no changes to the roof sign, for a total of four signs. The following table outlines the details of the proposed signage:

Sign Content	Sign Type	Dimensions	Illumination
“Jax Kar Wash”	<b>Light Box</b> on Wall	<b>19.85 SF</b>	Reverse Halo Lit Sign Box
“Kar Wash”	Name Letter Sign	24.3 SF	Reverse Halo Lit Channel Letters
“Kar Wash”	Name Letter Sign	32.9 SF	Reverse Halo Lit Channel Letters
“Jax Kar Wash”	Roof Sign (Existing)	63 SF	None

**The applicant has not provided any details on the proposed signage materials, lighting, the distance of projection from the building or mounting details, all of which are required to verify compliance with the Sign Ordinance. Based on the information provided, the logo sign on the east elevation would not be permitted as it appears to be a light box sign, which is prohibited. The logo sign also does not appear to have any dimensional letters as required. The applicant will be required to provide all signage details to demonstrate compliance with all requirements of the Sign Ordinance or obtain a variance from the Board of Zoning Appeals. No new signage details have been provided at this time. However, it appears the light box sign was reduced in size.**

In addition to the building signage, the 3 proposed canopies near the attendant booth at the car wash entrance will contain signage as defined by Article 3, Section 3.02 of the Sign Ordinance. The applicant has indicated that the signs may read “Auto Attendant”, but the content is not shown or confirmed on the plans, nor are the dimensions provided. **The applicant must submit the canopy signage for approval by the Planning Division prior to installation.** The revised plans submitted for the September 11, 2019 Planning Board meeting indicate that 10” high channel letters are proposed for each of the three canopies. One canopy will read “Fast Lane / No Cash”, one will read “Unlimited



Club Only” and one will read “Any Form of Payment”. The plans state that the total signage area for all three canopy signs will be 17 sq.ft. in total. **However, detailed drawings with dimensions, mounting details etc. have not been provided. In addition, each payment kiosk under the three canopies will have a Jax Kar Wash logo decal. No dimensions have been provided for these signs. The applicant will be required to provide all signage details to demonstrate compliance with all requirements of the Sign Ordinance or obtain a variance from the Board of Zoning Appeals. No new signage details have been provided at this time.**

The Sign Ordinance requires that combined sign area be calculated based on the principal building frontage, which is defined as the width of the building on the side where the primary entrance to the business is located, which may or may not front a street. The Historic District Commission, Design Review Board or Planning Board may designate an alternate horizontal building width as the principal building frontage for signage purposes. The primary entrances are along the Woodward frontage (pedestrian) and along the rear of the building (vehicular). The applicant has requested and has designed signage using the Brown Street horizontal building width as their frontage, in which the applicant is permitted a combined sign area of 1.5 square feet per each linear foot of principal building frontage (135 linear feet). The applicant is proposing 147.7 square feet of building signage where 202.5 square feet is permitted.

**However, as noted above, detailed drawings with dimensions, mounting details etc. have not been provided and the canopy and kiosk signage area has not been included in the calculation of total signage. Based on the 202.5 sq.ft. of signage permitted, it appears that the applicant will have less signage than the maximum permitted total. The applicant will be required to provide all signage details to demonstrate compliance with all requirements of the Sign Ordinance or obtain a variance from the Board of Zoning Appeals.**

## 9.0 Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- 1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- 2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- 3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property and not diminish the value thereof.
- 4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as

to not interfere with or be hazardous to vehicular and pedestrian traffic.

- 5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- 6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

#### 10.0 **Recommendation**

There continue to be many outstanding issues with regards to the proposed Final Site Plan and thus the Planning Division recommends that the Planning Board **POSTPONE** the Final Site Plan and Design Review for 34745 Woodward – Jax Kar Wash – pending receipt of revised plans including the following:

1. Screening of the parking area and vacuum detailing area along Brown Street and Woodward and the parking area along Woodward in accordance with Section 4.54 of the Zoning Ordinance, or obtain a variance from the Board of Zoning Appeals;
2. A clearly distinguished 5' wide (minimum) pedestrian sidewalk along the entire Woodward and Brown frontage through material changes, landscaping definition or other means and a floor plan of the interior of the building;
3. All signage details for the building, canopy and kiosk signage to demonstrate compliance with all requirements of the Sign Ordinance or obtain a variance from the Board of Zoning Appeals;
4. The applicant submit material samples to complete the design review;
5. The applicant comply with the requests of all City departments; and
6. The applicant obtain approval of MDOT in writing granting permission for the use of the right-of-way along Woodward, as well as approval of the City Commission for the use and indemnification of MDOT against liability for the proposed use of the MDOT right-of-way.

**OR**

Based on a review of the site plan submitted in June 2020, the Planning Board **DENY** the Final Site Plan and Design Review for 34745 Woodward – Jax Kar Wash.

#### 11.0 **Sample Motion Language**

Motion to **POSTPONE** the Final Site Plan and Design Review for 34745 Woodward – Jax Kar Wash – pending receipt of revised plans including the following:

1. Screening of the parking area and vacuum detailing area along Brown Street and Woodward and the parking area along Woodward in accordance with Section 4.54 of the Zoning Ordinance, or obtain a variance from the Board of Zoning Appeals;
2. A clearly distinguished 5' wide (minimum) pedestrian sidewalk along the entire

Woodward and Brown frontage through material changes, landscaping definition or other means and a floor plan of the interior of the building;

3. All signage details for the building, canopy and kiosk signage to demonstrate compliance with all requirements of the Sign Ordinance or obtain a variance from the Board of Zoning Appeals;
4. The applicant submit material samples to complete the design review;
5. The applicant comply with the requests of all City departments; and
6. The applicant obtain approval of MDOT in writing granting permission for the use of the right-of-way along Woodward, as well as approval of the City Commission for the use and indemnification of MDOT against liability for the proposed use of the MDOT right-of-way.

**OR**

Motion to **DENY** the Final Site Plan and Design Review for 34745 Woodward – Jax Kar Wash – for the following reasons:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**OR**

Motion to **APPROVE** the Final Site Plan and Design Review for 34745 Woodward - Jax Kar Wash – pending receipt of revised plans including the following:

1. Screening of the parking area and vacuum detailing area along Brown Street and Woodward and the parking area along Woodward in accordance with Section 4.54 of the Zoning Ordinance, or obtain a variance from the Board of Zoning Appeals;
2. A clearly distinguished 5' wide (minimum) pedestrian sidewalk along the entire Woodward and Brown frontage through material changes, landscaping definition or other means and a floor plan of the interior of the building;
3. All signage details for the building, canopy and kiosk signage to demonstrate compliance with all requirements of the Sign Ordinance or obtain a variance from the Board of Zoning Appeals;
4. The applicant submit material samples to complete the design review;
5. The applicant comply with the requests of all City departments; and
6. The applicant obtain approval of MDOT in writing granting permission for the use of the right-of-way along Woodward, as well as approval of the City Commission for the use and indemnification of MDOT against liability for the proposed use of the MDOT right-of-way.

**Planning Board Minutes**  
**July 24, 2019**

**G. Final Site Plan & Design Review**

**1. 34745 Woodward, Jax Kar Wash** – Request for Final Site Plan and Design Review to add a covered detailing area and reconfigure access and circulation for the site.

City Planner Dupuis presented the item.

Brian Lawson, architect for the project, and Greg Roselli, site manager for Jax Kar Wash, walked the Planning Board through the plans.

Mr. Lawson noted that an accessible parking space was inappropriately represented as being next to the detailing station, and confirmed the space would actually be located elsewhere on the site.

Mr. Roselli explained that the vacuuming will be moved to the north part of the site. The aim of this change is to reduce the site's traffic burden on Brown Street and to allow vehicles to be processed more expediently. Mr. Roselli estimated that customers seek exterior-only services at the site between sixty and seventy percent of the time. He confirmed that the vast majority of customers would be getting a car wash without detailing and exiting onto Woodward subsequently. If customers purchase detailing, attendants will be driving vehicles to the vacuums and vacuuming the vehicles as part of that service. Customers will not be driving their vehicles to the vacuums or accessing the vacuums on their own.

Mr. Koseck asked about efforts towards visual improvement of the site as part of these updates. Mr. Koseck said he was concerned the site will be less aesthetically pleasing than it currently is if the proposed changes are instituted. Acknowledging the aesthetic limitations of the type of work and the site, Mr. Koseck noted that the City even has requirements for gas station exteriors and this project should be given similar consideration.

Mr. Lawson replied that the site may install the requisite screen wall at the corner of Woodward and Brown, and that a landscape element could also be considered for that corner.

Mr. Williams suggested potentially planting trees at the corner of Woodward and Brown, which he stated the Board had also recommended as an option for the site during a previous review.

Mr. Jeffares observed that vegetation could be used for the screen wall, which would have the additional benefit of providing visual improvement of the site.

Planning Director Ecker confirmed that would be an acceptable option as long as the vegetation is evergreen.

Chairman Clein said he liked the tree proposed on the south side of the site and liked the removal of the parking along Brown. He emphasized that he wants to support Jax, understood the challenges of the site, and would like to see the business do well. Chairman Clein also stated:

- The attended vacuums will likely encroach on the pedestrian space along Woodward and that vehicles currently routinely drive over the public sidewalk as part of Jax operations.
- That if this were a new project, he would not vote to approve the plans.
- He loved the idea of using vegetation for a screen wall, but said it would not work as the plans are currently laid out.
- If the Board were to approve using vegetation for a screen wall that would have to be included clearly as part of the plans.

Mr. Williams said he was in favor of making the screen wall on the north side of the site out of vegetation. He said landscaping should also be added to the Woodward side of the site, stating that if the entirety of the business' Woodward frontage cannot be landscaped then at least the corner of Woodward and Brown should be. He emphasized that any efforts towards adding vegetation to the site would be an improvement.

Chairman Clein asked if all six detailing stations were necessary.

Mr. Lawson confirmed he had been told they were due to detailing volume.

Ms. Whipple-Boyce noted that four detailing stations could be nested along the north side of the building which would allow for a landscape screen wall. She stated that the landscaping outside of 525 E. Brown was beautifully done, and recommended the project aim to recreate something similar on its own corner. Ms. Whipple-Boyce explained that the visual effect of the proposed plans would be hard to endorse, and that making an adjustment to four detailing stations and adding more landscaping could resolve the issue.

Mr. Williams concurred with Ms. Whipple-Boyce. He said the Board seemed to agree that no more cement or brick walls should be added to the site.

Planning Director Ecker also noted the Board's emphasis on adding vegetation to the site's Woodward and Brown corner.

Mr. Lawson expressed enthusiasm for the idea. He asked if it would be possible for the evergreen landscaping to take the place of street trees.

Planning Director Ecker said the evergreen landscaping could not replace street trees, but could be done in addition.

Chairman Clein invited comment from the public.

Sam Volk, 736 Brookside, said he was an engineer and that the north side of the site seemed to have substantial issues. He said the proposed configuration of the vacuum stations would only allow vehicles to move in threes, which would increase the congestion of the site instead of decreasing it. He said vacuuming the vehicles at four stations along the building allows vehicles to leave individually once they were complete, instead of having to wait.

Ms. Whipple-Boyce stated that two different members of the Board had noted that issue.

Mr. Volk reiterated his concerns.

The Board concurred on giving the project a few weeks to consider or integrate the Board's comments, including the following:

- Defining the site will help the business, and will make the space more attractive.
- The Board must receive a floor plan for the site, a plan that lays out the vegetation screen wall, and a plan delineating the pedestrian traffic flow around the site.
- The traffic flow into and out of the vacuum stations should be reviewed in light of the concerns and feedback provided.
- Jax Kar Wash employees often use benches across Brown during their breaks, and it might be a good improvement if Jax also provided benches for its employees to use.

**Motion by Mr. Boyle**

**Seconded by Mr. Jeffares to postpone the item regarding Jax Kar Wash until the Planning Board's next regular meeting on August 14, 2019.**

**Motion carried, 7-0.**

VOICE VOTE

Yeas: Boyle, Jeffares, Williams, Whipple-Boyce, Clein, Koseck, Ramin

Nays: None

**Planning Board Minutes  
August 14, 2019**

**Motion by Mr. Williams**

**Seconded by Mr. Jeffares to postpone the Final Site Plan and Design Review for 34745 Woodward, Jax Kar Wash to September 11, 2019 and to suspend the Rules of Procedure to hear said review during a Planning Board study session.**

**Motion carried, 7-0.**

VOICE VOTE

Yeas: Williams, Jeffares, Whipple-Boyce, Boyle, Clein, Emerine, Share

Nays: None

**Planning Board Minutes  
September 11, 2019**

**E. Old Business**

- 1. Final Site Plan & Design Review - 34745 Woodward, Jax Kar Wash –**  
Request for Final Site Plan and Design Review to add a covered detailing area and reconfigure access and circulation for the site (Postponed from August 14, 2019).

Planning Director Ecker presented the item.

**Motion by Mr. Williams**

**Seconded by Mr. Share to receive and file the memorandum from City Engineer O'Meara dated September 9, 2019.**

**Motion carried, 7-0.**

**VOICE VOTE**

Yeas: Williams, Share, Koseck, Jeffares, Whipple-Boyce, Clein, Emerine

Nays: None

Chairman Clein noted the plans submitted neither complied with ordinance nor sufficiently integrated the Board's August 14, 2019 feedback. He invited the applicant to comment briefly while stating he would vote against plan approval this evening due to the ordinance issues.

Jason Mylan, co-owner of Jax, said the submitted plans are the closest Jax can get to complying with the ordinance. He said there was not enough width on the Brown Street side of the lot to provide both a screening wall and an exit lane for vehicles. He said the plans represented a more functional, more aesthetically pleasing design to the lot. He also said he was open to providing whatever trees the City recommends for the lot.

Chairman Clein replied that the Board is not empowered to approve plans that do not comply with the ordinance. He said that if a business function does not meet ordinance it is either incumbent on the business to modify that function or to apply for a variance from the Board of Zoning Appeals.

In reply to a question from Chairman Clein, Mr. Mylan stated he had not spoken with MDOT about driving vehicles contraflow on Woodward Avenue in MDOT's right-of-way.

Noting that there was little to be gained from further discussion of these plans this evening, Chairman Clein recommended ending the discussion with advice to the applicant to comply with ordinance.

Mr. Koseck said he was concerned with the increase in on-site activity that these plans would represent. He said he did not anticipate that a screening wall could sufficiently obscure the increased activity, and that it may be appropriate for the applicant to consider expanding the footprint of the building in order to conduct more of the activity within the building and out of view of the street. He said that Mr. Mylan may be trying to do **too** much on the site.



In reply to Ms. Whipple-Boyce, Mr. Mylan said the attendants would never be in the driver's seat of the cars.

Ms. Whipple-Boyce said she was under the impression that attendants would be driving the cars on the lot.

Chairman Clein agreed with Ms. Whipple-Boyce, recalling the Board had been told attendants would primarily be driving the cars on the lot at the August 14, 2019 meeting. He noted other Board members looked to be recalling the same thing. He then emphasized his concerns about the applicant's proposal that the general public drive contraflow on Woodward Avenue in MDOT's right-of-way, and said the plans would not garner his vote until that was changed.

Mr. Mylan noted that the business currently drives vehicles contraflow on Woodward Avenue.

Chairman Clein said he was aware, noting that the proposed plans seek to have the general public driving contraflow on Woodward, as opposed to Jax employees. He then invited public comment.

In reply to Andrew Haigh, Planning Director Ecker indicated where the current curb cuts are allowing vehicles to enter and exit the lot.

Chairman Clein invited any further comments from the Board.

Mr. Williams stated that Jax is an important business in Birmingham, and so the matter should be postponed instead of denied. He recommended postponing the matter until the next regularly scheduled Board meeting that would include site plan reviews.

**Motion by Mr. Williams**

**Seconded by Mr. Koseck to postpone consideration of 34745 Woodward, Jax Kar Wash to October 23, 2019.**

Mr. Jeffares asked if that date would give the applicant enough time to get approval from MDOT for the Woodward right-of-way matter.

Chairman Clein replied that it was a month and a half, and that if it needed to be postponed further then that could be done. He explained it was best to postpone to a date certain to avoid having to re-notice the item while ensuring that the public knows when the item will next be discussed.

Mr. Share said he would support the motion if the Planning Department, Engineering Department, and applicant all agree to meet in order to discuss potential solutions to the issues raised at both this meeting and the August 14~~11~~, 2019 meeting.

Planning Director Ecker confirmed both departments would be available to meet with the applicant.

In reply to Mr. Mylan, Mr. Williams stated he would like to see compliance with the ordinance. He also said Mr. Mylan should contact MDOT to discuss the contraflow issue raised.

Chairman Clein said Mr. Mylan should meet with City Staff and make a concerted effort towards integrating their feedback.

**Motion carried, 7-0.**

VOICE VOTE

Yeas: Share, Koseck, Jeffares, Whipple-Boyce, Williams, Clein, Emerine

Nays: None

**Planning Board Minutes  
October 23, 2019**

**E. Old Business**

**1. 34745 Woodward, Jax Kar Wash** – Request for Final Site Plan and Design Review to add a covered detailing area and reconfigure access and circulation for the site (Postponed from September 11, 2019).

Planning Director Ecker presented the item.

Mr. Jeffares said he was very familiar with the site both as a patron and because it is next to his workplace. He said that rather than reducing the queuing on Brown Street, the proposed plans would likely increase queuing on Brown because up to seven fewer vehicles could fit in Jax's lot while in line for the carwash.

Greg Roselli, site manager for Jax Kar Wash, explained that the issue with vacuuming cars in the rear of the lot is a time constraint. He said that once there are eight cars in the vacuum lanes, the line backs up to the curb by the booth which prevents other cars from being able to pass by. He said the plans would change the speed with which cars could be cleared from that area which would reduce the queuing on Brown.

Mr. Jeffares said he had never seen the area in the rear of the building congested, while conceding that Mr. Roselli was likely more aware of the site logistics than Mr. Jeffares.

Mr. Roselli said there would be more visible backups with winter's arrival.

Planning Director Ecker confirmed that:

- The Planning Department is still not in receipt of the signage calculations for all the additional proposed elements on the site.
- No floor plan for the site had been submitted.
- Both signage calculations and a floor plan are required for the Board to complete a final site plan and design review.

Mr. Roselli confirmed that the vacuuming of the cars would be done by Jax Kar Wash staff.

There was no public comment, and Chairman Clein returned the discussion to the Board.

Ms. Whipple-Boyce expressed dismay that the submitted site plans neither complied with the City's ordinances nor integrated the Board's previous feedback regarding the application. She said the Board gave specific feedback on a number of issues, none of which the applicant chose to resolve in the number of months since the previous meeting.

Chairman Clein noted that plans as submitted do not meet condition four from Article 7, section 7.27 of the Zoning Ordinance. In addition, Chairman Clein concurred with Ms. Whipple-Boyce's statement that the plans neither meet City ordinance nor previous Board recommendations regarding the application. He said that as a result of these issues he would not be prepared to move the plans forward.

Mr. Share concurred with both Ms. Whipple-Boyce and Chairman Clein.

**Motion by Mr. Share**

**Seconded by Mr. Williams to deny the Final Site Plan and Design Review for 34745 Woodward – Jax Kar Wash – for the following reasons:**

- 1. The proposed plan does not meet the requirements of the zoning ordinance in a number of ways as noted in both Planning Director Ecker's report and during previous meetings;**
- 2. The proposed plan does not meet the condition four of Article 7, section 7.27 of the Zoning Ordinance being that the plans propose hazardous traffic circumstances; and,**
- 3. At present, the applicant has not demonstrated an entitlement to utilize the counterflow into the Woodward Avenue right of way.**

**Motion carried, 7-0.**

**ROLL CALL VOTE**

Yeas: Share, Williams, Whipple-Boyce, Emerine, Boyle, Clein, Jeffares

Nays: None

**Zoning Compliance Summary Sheet  
Final Site Plan Review  
34745 Woodward – Jax Kar Wash**

**Existing Site:** 1-Story Commercial Building – Jax Kar Wash

Zoning: B-2 (General Business) & D-4 (Downtown Overlay)

Land Use: Commercial

**Existing Land Use and Zoning of Adjacent Properties:**

	<b>North</b>	<b>South</b>	<b>East</b>	<b>West</b>
<b>Existing Land Use</b>	Commercial/ Office	Mixed Use	Commercial	Commercial/ Office
<b>Existing Zoning District</b>	B-4, Business - Residential	B-3, Office - Residential	O-2, Office/ Commercial	B-2, General Business
<b>Overlay Zoning District</b>	D-4	D-4	MU-5	D-3

<b>Land Area:</b>	Existing:	0.59 ac.
	Proposed:	0.59 ac. ( <b>no changes proposed</b> )
<b>Dwelling Units:</b>	Existing:	0
	Proposed:	0
<b>Minimum Lot Area/Unit:</b>	Required:	1,000 sq. ft. (single story hotel or motel) 500 sq. ft. (two/three story hotel or motel) 1,280 sq. ft. (multiple family)
	Proposed:	0 sq. ft. ( <b>no units proposed</b> )
<b>Min. Floor Area /Unit:</b>	Required:	300 sq. ft. (single story hotel or motel) 600 sq. ft. (efficiency and one bedroom) 800 sq. ft. (two or more bedroom)
	Proposed:	0 sq. ft. ( <b>no units proposed</b> )

<b>Max. Total Floor Area:</b>	Required:	100%
	Proposed:	26% ( <b>no changes proposed</b> )
<b>Min. Open Space:</b>	Required:	N/A
	Proposed:	N/A
<b>Max. Lot Coverage:</b>	Required:	N/A
	Proposed:	N/A
<b>Front Setback:</b>	Required:	0 ft.
	Proposed:	0 ft. ( <b>no changes proposed</b> )
<b>Side Setbacks</b>	Required:	Not Required
	Proposed:	≈ 25 ft. & 5 ft. ( <b>no changes proposed</b> )
<b>Rear Setback:</b>	Required:	Equal to adjacent, preexisting building
	Proposed:	≈ 37 ft. ( <b>no changes proposed</b> )
<b>Min. Front+Rear Setback</b>	Required:	N/A
	Proposed:	N/A
<b>Max. Bldg. Height:</b>	Permitted:	80 ft., four or five stories
	Proposed:	≈ 16 ft. ( <b>no changes proposed</b> )
<b>Min. Eave Height:</b>	Required:	20 ft.
	Proposed:	≈ 14 ft. ( <b>no changes proposed</b> )
<b>Floor-Ceiling Height:</b>	Required:	N/A
	Proposed:	N/A
<b>Front Entry:</b>	Required:	N/A
	Proposed:	N/A
<b>Absence of Bldg. Façade:</b>	Required:	N/A
	Proposed:	N/A
<b>Opening Width:</b>	Required:	N/A
	Proposed:	N/A
<b>Parking:</b>	Required:	N/A (Parking Assessment District)
	Proposed:	10 traditional spaces 6 detailing spaces
<b>Min. Parking Space Size:</b>	Required:	180 sq. ft.
	Proposed:	10 ≥ 180 sq. ft.

**Parking in Frontage:** Required: N/A  
Proposed: N/A

**Loading Area:** Required: 0  
Proposed: 0

**Screening:**

Parking: Required: Required along the front & side  
Proposed: **Row of 6' high evergreen screening proposed along Brown, none on Woodward** (The applicant must submit plans showing parking lot screening along the front and side of the parking facility, or obtain a variance from the Board of Zoning Appeals)

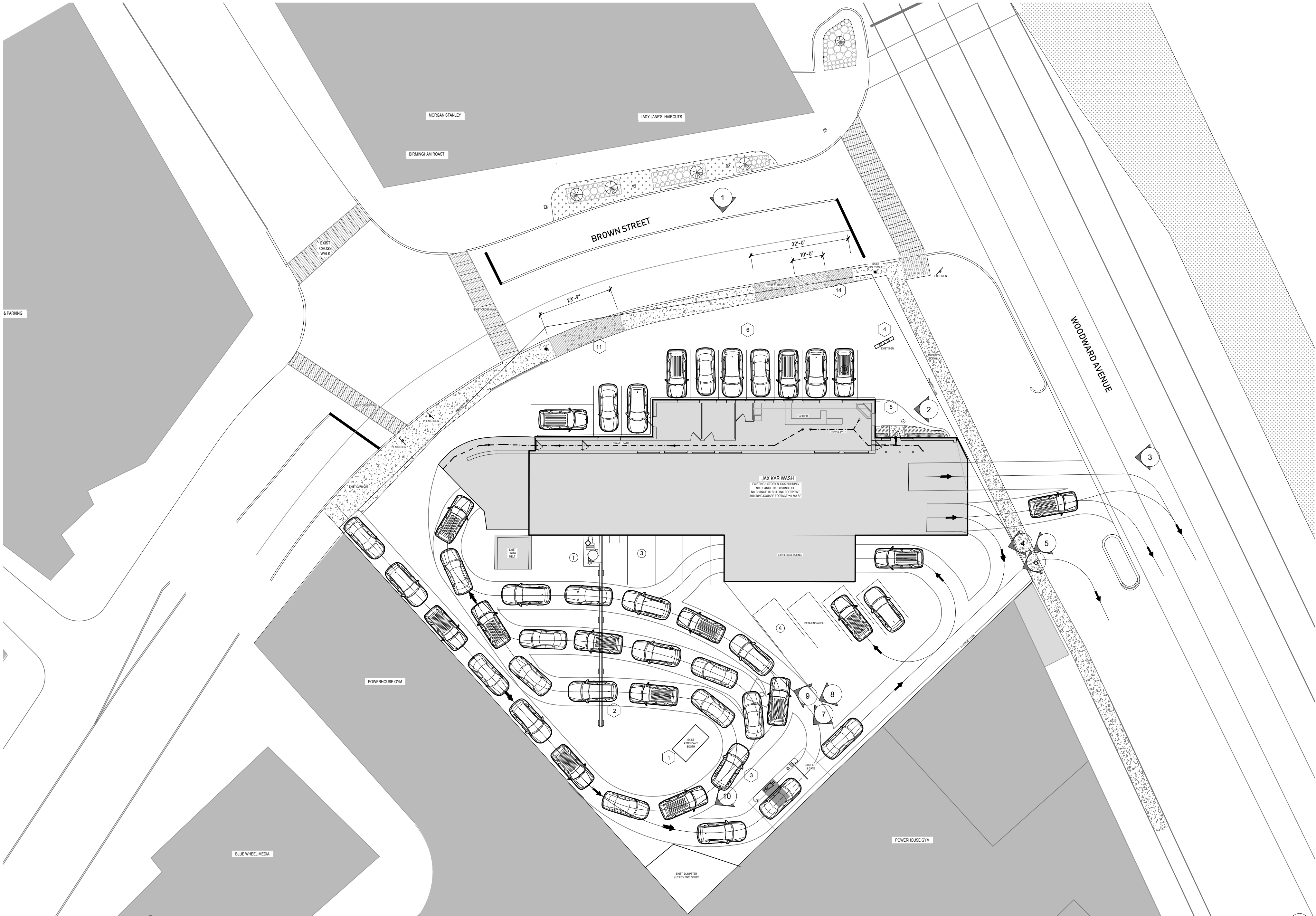
Loading: Required: N/A  
Proposed: N/A

Rooftop Mechanical: Required: Fully screened from public view  
Proposed: **No changes proposed**

Elect. Transformer: Required: Fully screened from public view  
Proposed: N/A (**no transformers existing or proposed**)

Dumpster: Required: Masonry screenwall with wood gates  
Proposed: Wood fence screening (**no changes proposed**)





1 AS100  
TRUE NORTH PLAN NORTH  
0' 10' 20' 40' 80'  
EXISTING ARCHITECTURAL SITE PLAN  
SCALE: 1"=20'-0"



1 4 6



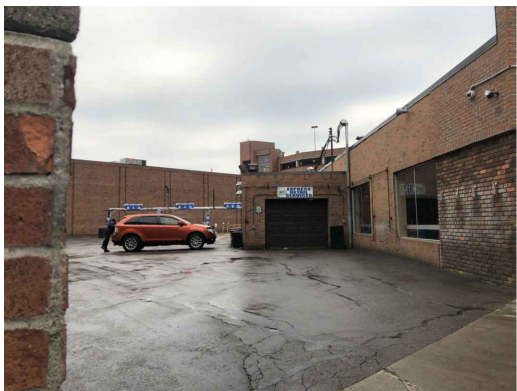
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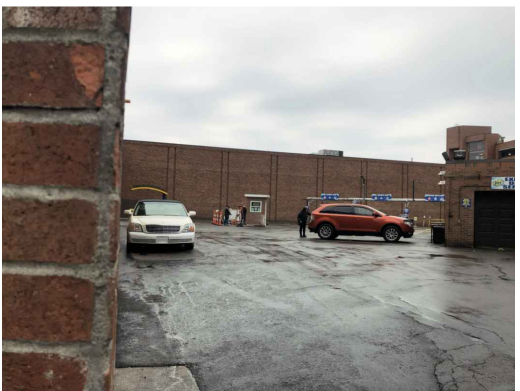
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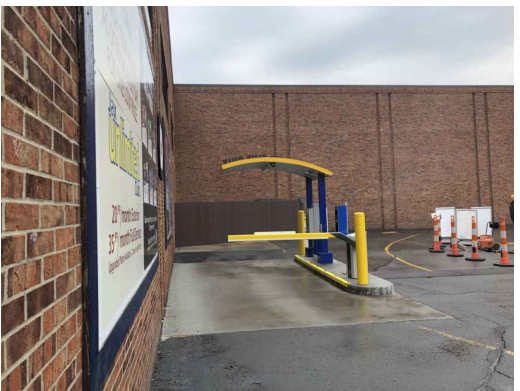
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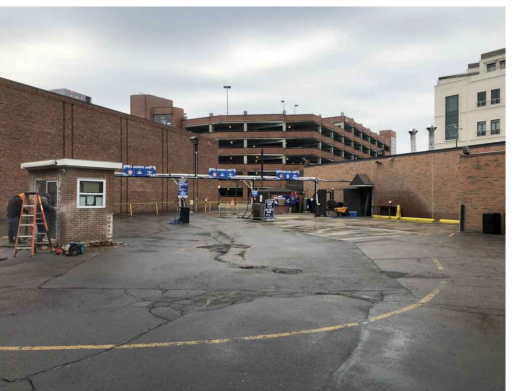
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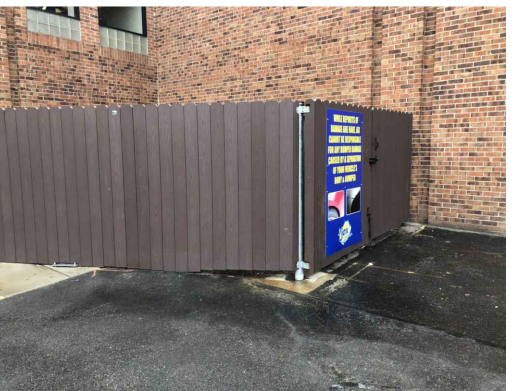
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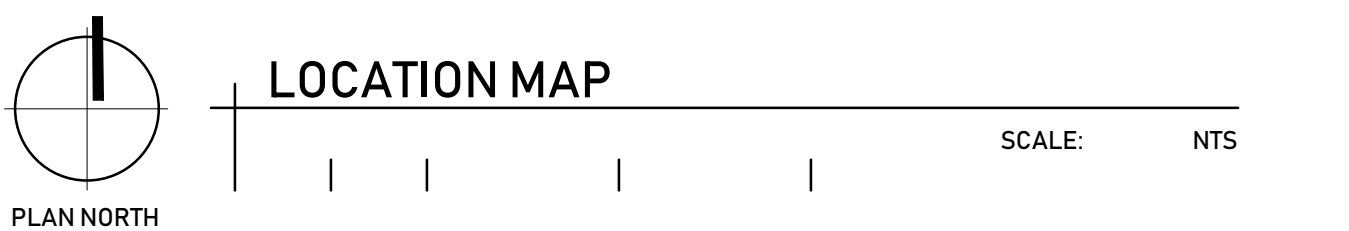
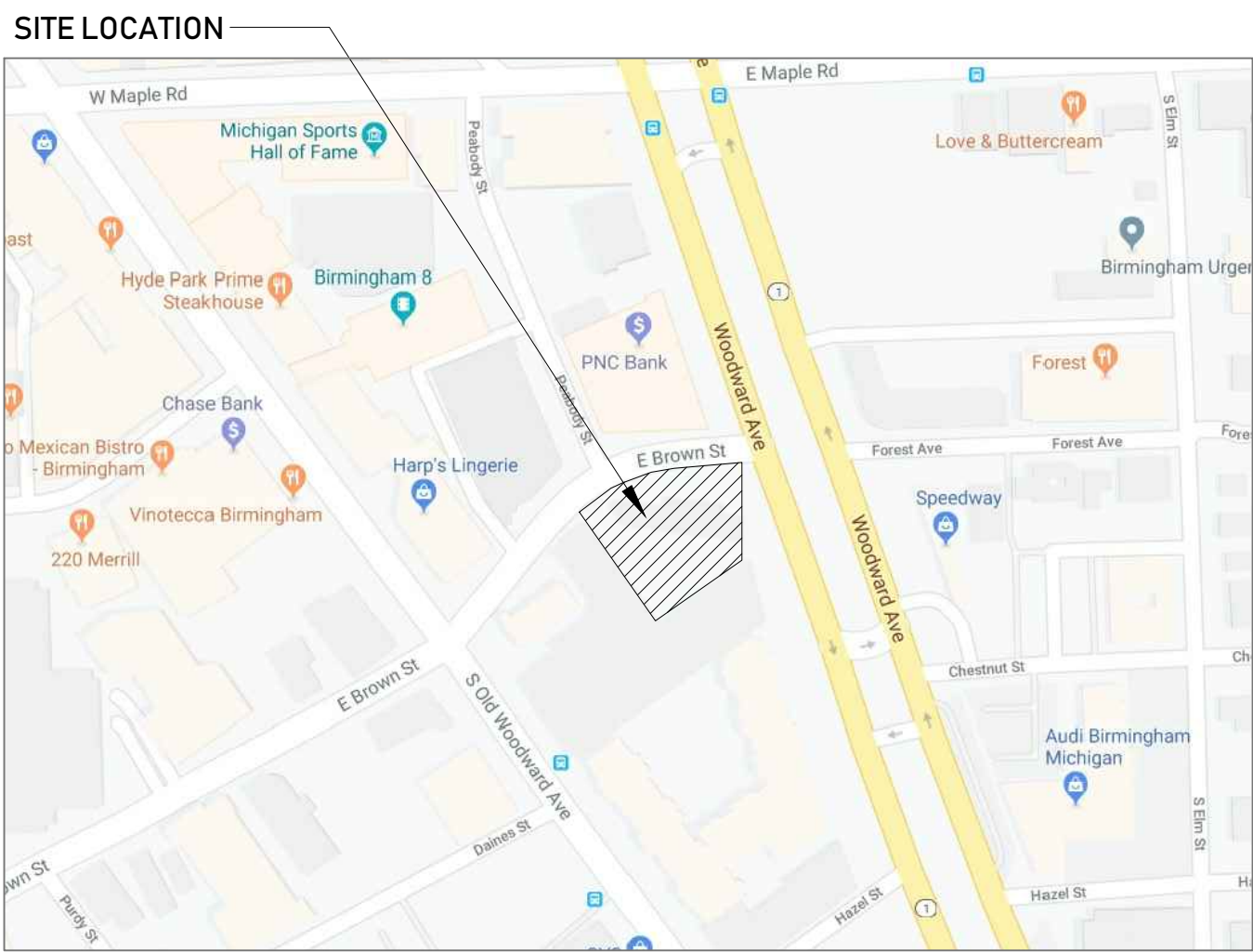


10

EXISTING SITE - PHOTOS

1. **NAME & ADDRESS OF APPLICANT AND PROOF OF OWNERSHIP:**  
JASON MILEN  
JAX KAR WASH  
34745 WOODWARD AVENUE,  
BIRMINGHAM, MI 48009
2. **NAME OF DEVELOPMENT:**  
JAX KAR WASH
3. **ADDRESS OF SITE AND LEGAL DESCRIPTION OF THE REAL ESTATE:**  
34745 WOODWARD AVENUE
- LEGAL DESCRIPTION:**  
LAND IN THE CITY OF BIRMINGHAM, COUNTY OF OAKLAND, STATE OF MICHIGAN DESCRIBED AS:  
THE EASTERLY LINE OF LOT 4 MEASURING 12.4 FEET ON THE NORTH LINE AND 18.23 FEET ON  
THE SOUTH LINE, ALL OF LOTS 5 THROUGH 7 EXCEPT THAT PART TAKEN FOR ROAD PURPOSES,  
"WILLIAM HART SUBDIVISION," AS RECORDED IN LIBER 8 OF PLATS, PAGE 9 OF THE OAKLAND  
COUNTY RECORDS: BEING MORE PARTICULARLY DESCRIBED AS BEGINNING AT THE  
SOUTHEAST CORNER OF SAID LOT 7: THENCE S54d 24' 24"W 154.83 FEET; THENCE N33d 26' 35"W  
166.95 FEET, TO A POINT ON THE SOUTHERLY LINE OF BROWN STREET (FORMERLY FOREST  
AVENUE); THENCE ALONG SAID SOUTHERLY LINE OF BROWN STREET (FORMERLY FOREST  
AVENUE), N54d 40'00"E 57.34 FEET AND 79.81 FEET ALONG THE ARC OF CURVE TO THE RIGHT  
RADIUS 129.52 FEET, CENTRAL ANGLE 35d 18' 14" CHORD BEAR N76d 48' 13"E 78.85 FEET AND N88d  
34'36"E 60.31 FEET TO A POINT ON THE WESTERLY LINE OF WOODWARD AVENUE (FORMERLY  
HUNTER BOULEVARD); THENCE ALONG SAID LINE S18d 39' 22"E 107.43 FEET TO THE POINT OF  
BEGINNING.
4. **LEGEND AND NOTES, INCLUDING A GRAPHIC SCALE, NORTH POINT AND DATE:**  
REFER TO ELEVATIONS & SITE PLANS INCLUDING THE ABOVE ELEMENTS.
5. **A SEPARATE LOCATION MAP:**  
REFER TO LOCATION MAP, BELOW
6. **A LIST OF ALL REQUESTED ELEMENTS / CHANGES TO THE SITE PLAN.**  
**LIST APPLIES TO SHEETS AS100 & AS101**
1. RELOCATION OF AN EXISTING ATTENDANT BOOTH, SOUTH SIDE OF BUILDING.
2. DEMOLITION OF OVERHEAD VACUUM TUBES, STEEL STRUCTURE, VACUUMS, EQUIPMENT AND  
ASSOCIATED SIGNS, SOUTH SIDE OF BUILDING.
3. DEMOLITION OF (1) EXISTING XPT AND CANOPY ON A RAISED CONCRETE ISLAND, SOUTH SIDE  
OF BUILDING, VERIFY CONDITION OF EQUIPMENT FOR POTENTIAL RE-USE.
4. DEMOLITION OF EXISTING PYLON SIGN IN ITS ENTIRETY.
5. DEMOLITION OF A PORTION OF THE EAST WALL OF EXIST. LOBBY FOR PROPOSED NEW ENTRY.
6. PROPOSED RELOCATION OF (10) PARKING SPACES FROM THE NORTH TO SOUTH SIDE OF  
BUILDING.
7. PROPOSED RELOCATION OF DETAILING SPACES TO NORTH SIDE OF BUILDING.
8. PROPOSING (3) XPTS AND CANOPIES ON 6" RAISED CONCRETE ISLANDS, SOUTH SIDE OF  
BUILDING.
9. PROPOSING (12) VACUUM STANCHIONS FOR DETAILING ON NORTH SIDE OF BUILDING.
10. PROPOSING 8" HORIZONTAL AND 6" VERTICAL PAINTED PVC PIPE MOUNTED TO BUILDING FACE  
AND BELOW GRADE ON THE NORTH SIDE OF BUILDING.
11. PROPOSED CURB CUTS FROM THE PROPERTY ONTO BROWN STREET.
12. PROPOSING NEW DOOR W/ SIDE LIGHT FOR ENTRY INTO EXISTING LOBBY.
13. PROPOSING NEW WALL MOUNTED SIGNS ON BROWN STREET AND WOODWARD AVENUE  
ELEVATIONS.
14. PARTIALLY CLOSING OF EXISTING CURB CUT AT THE NORTHEAST CORNER OF SITE. 10'-0" ESCAPE  
LANE FROM THE PROPERTY ONTO BROWN STREET.
15. PROPOSED LANDSCAPING AREA TOTALING 369 SF, REFER TO LANDSCAPE DRAWINGS
7. **ANY CHANGES REQUESTED MARKED IN COLOR:**  
REFER TO 'PURPLE' AND 'YELLOW' COLORED AREAS ON PLANS AND ELEVATIONS. ALL CHANGES  
MARKED IN COLOR ARE KEYED TO THE LIST ABOVE.
8. **GENERAL DESCRIPTION, LOCATION AND TYPES OF STRUCTURES ON THE SITE:**  
EXISTING 1 STORY BLOCK BUILDING, 6,583 SQUARE FEET  
EXISTING WOOD PICKET UTILITY/ DUMPSTER ENCLOSURE, APPROX. 316 SQUARE FEET  
EXISTING SNOW MELT STRUCTURE, APPROX. 112 SQUARE FEET  
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9. **DETAILS OF EXISTING OR PROPOSED LIGHTING, SIGNAGE, AND OTHER PERTINENT  
DEVELOPMENT FEATURES**  
EXISTING WALL MOUNTED SITE LIGHTS, TO REMAIN.  
SIGNS BY OTHERS, REFER TO EXTERIOR ELEVATIONS A200
10. **A LANDSCAPE PLAN SHOWING ALL EXISTING AND PROPOSED PLANTING AND SCREENING  
MATERIALS, INCLUDING THE NUMBER, SIZE AND TYPE OF PLANTINGS PROPOSED**  
LIMITED EXISTING LANDSCAPING, SHRUBS ON NORTH SIDE NEAR LOBBY ENTRY. PROPOSED  
LANDSCAPING AT 366 SF CIRCULAR BED. REFER TO LANDSCAPE DRAWINGS.
11. **ANY OTHER INFORMATION REQUESTED IN WRITING BY THE PLANNING DIVISION, THE DRB OR  
THE BUILDING OFFICIAL DEEMED IMPORTANT TO THE DEVELOPMENT**

SYMBOL LEGEND			
	IDENTIFIES ELEVATIONS, REFER TO SHEETS A200 & A201		IDENTIFIES NUMBER OF PARKING & DETAILING SPACES
	IDENTIFIES REQUESTED ELEMENTS/ CHANGES TO THE SITE PLAN. REFER TO WRITE UP #6, THIS SHEET.		INDICATES LOCATION / DIRECTION OF PICTURE



**4N**  
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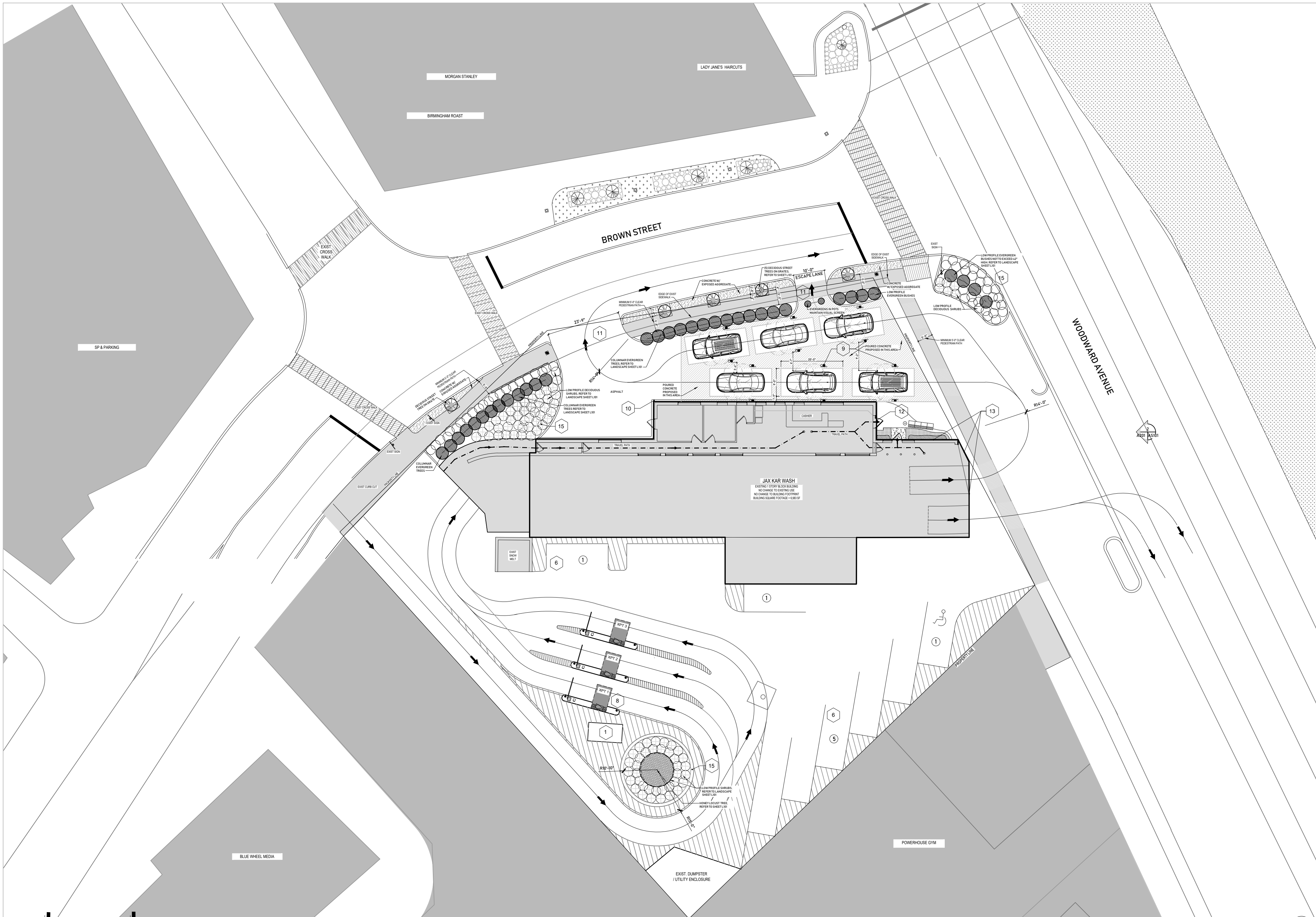
project title  
**JAX KAR WASH**  
PREVIOUS APPROVALS CHART  
BOARD/COMMISSION DATE  
34745 WOODWARD AVE,  
CITY OF BIRMINGHAM, MI 48009

sheet title  
**EXISTING  
ARCHITECTURAL  
SITE PLAN**  
DO NOT SCALE DRAWINGS  
USE FIGURED DIMENSIONS ONLY

project number  
**2020-012**  
drawn BDL  
checked BDL  
approved JHN  
issued for date  
OWNER REVIEW 6/7/19  
SPA - PRELIMINARY 7/3/19  
SPA - PRELIM REVISED 7/16/19  
SPA - SECOND SUBMIT 8/28/19  
SPA - PRELIM SUBMIT 5/27/20  
SPA - THIRD SUBMIT 6/04/20  
sheet

**AS100**

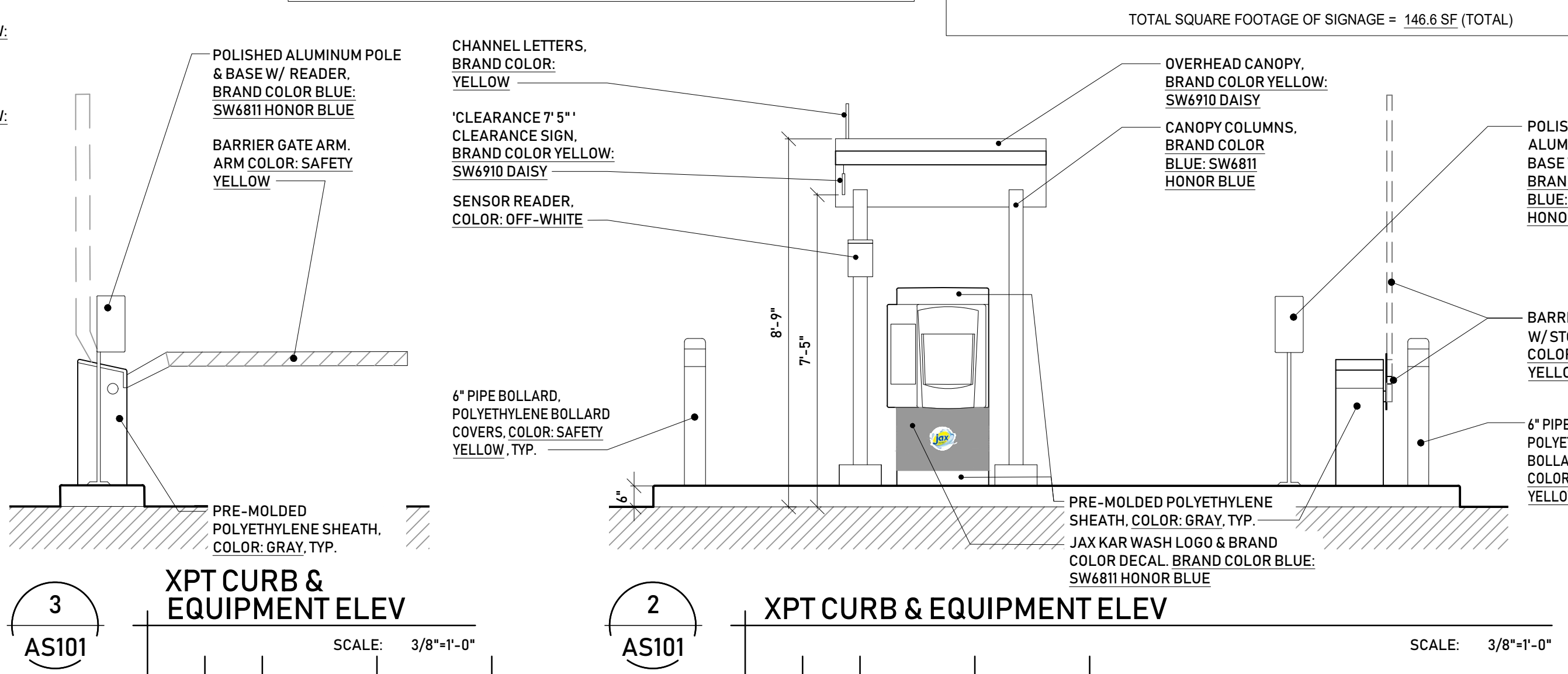
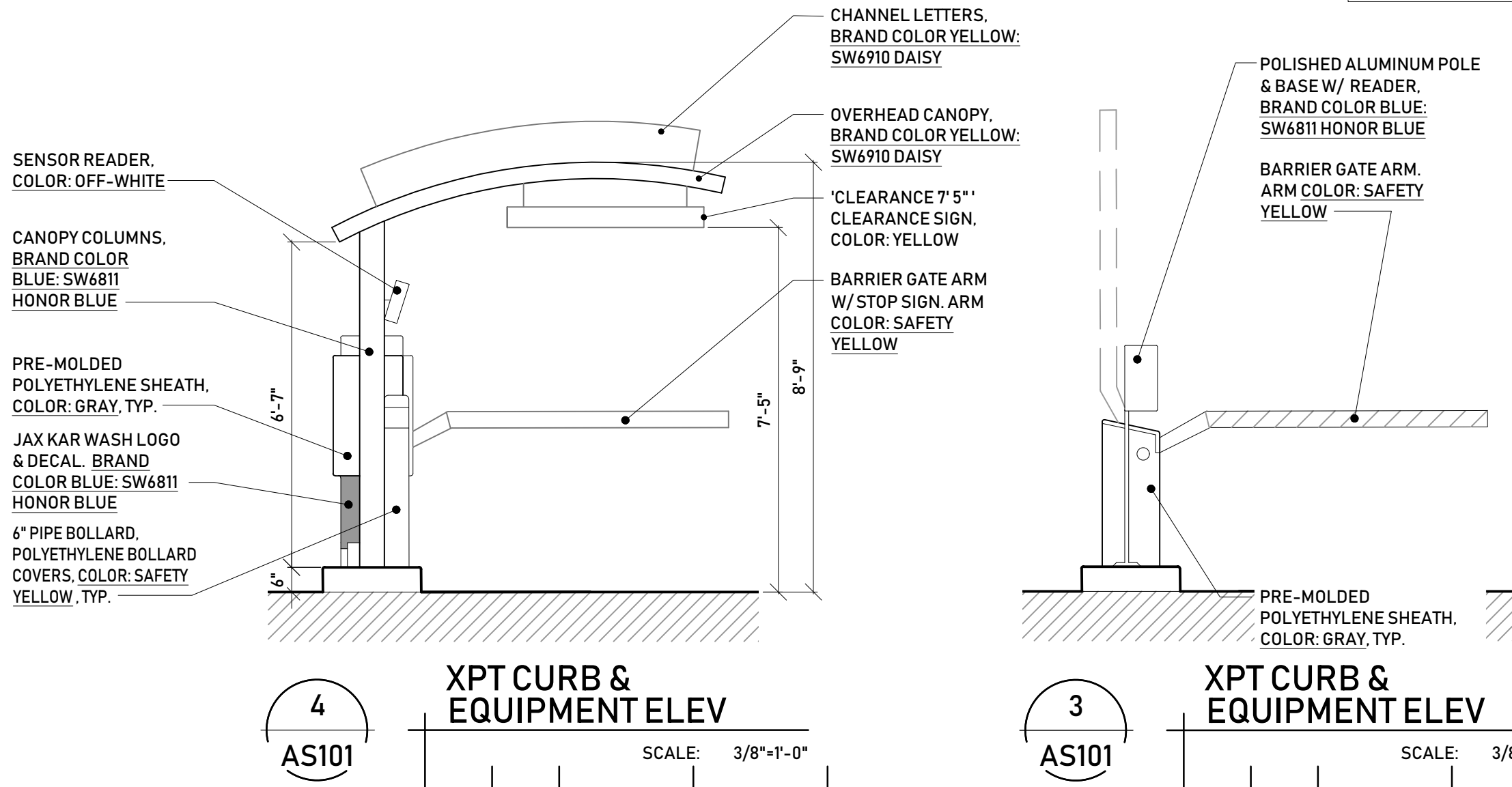




PROPOSED ARCHITECTURAL SITE PLAN  
SCALE: 1"=20'-0"  
AS101

SIGN CALCULATIONS (ABOVE XPT CANOPIES, SOUTH OF BUILDING)	
10" CANOPY CHANNEL LETTERS READING 'CASH & DETAIL ONLY'	= 4.39 SF (PROPOSED)
10" CANOPY CHANNEL LETTERS READING 'FASTLANE - NO CASH'	= 4.5 SF (PROPOSED)
10" CANOPY CHANNEL LETTERS READING 'UNLIMITED CLUB ONLY'	= 5.07 SF (PROPOSED)
TOTAL SQUARE FOOTAGE OF PROPOSED XPT CANOPY SIGNAGE = 13.96 SF (TOTAL)	

SIGN CALCULATIONS (ALL SIGNS)	
(1.5) x LINEAL FEET OF PRIMARY FRONTAGE (BROWN ST.) = 134'-11" = 202.4 SF (AVAILABLE)	
TOTAL SQUARE FOOTAGE OF PROPOSED XPT CANOPY SIGNAGE = 17 SF (TOTAL)	
BROWN ST. FACADE / NORTH ELEVATION = 87.3 SF (TOTAL)	
WOODWARD AVE. FACADE / EAST ELEVATION = 42.3 SF (TOTAL)	
TOTAL SQUARE FOOTAGE OF SIGNAGE = 146.6 SF (TOTAL)	







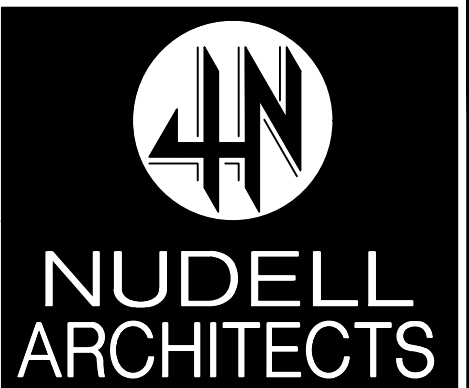
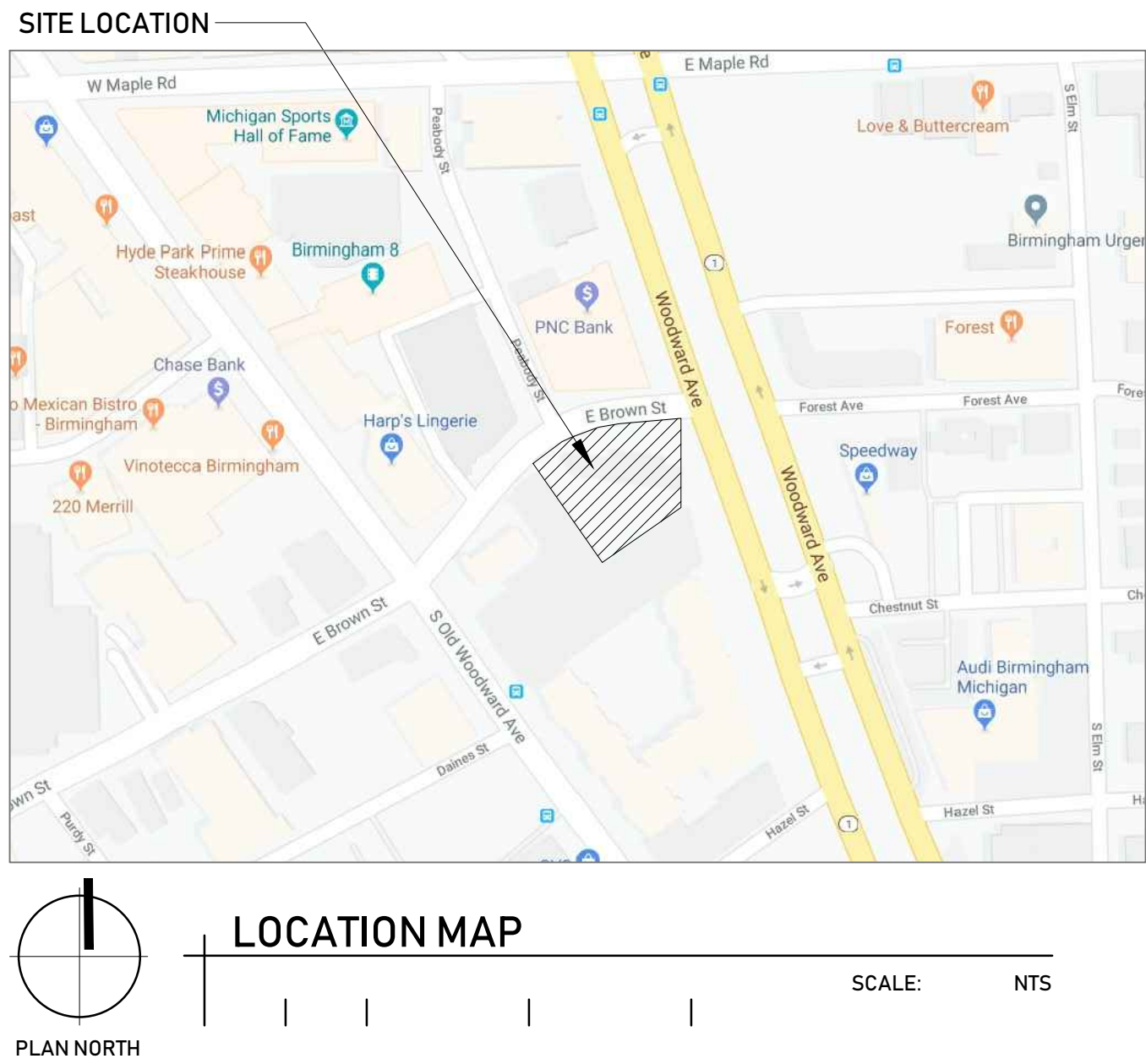
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SPA - THIRD SUBMIT 6/04/20

sheet  
AS101





# NUDELL ARCHITECTS

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**Farmington Hills, Michigan 48334**  
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project title

## JAX KAR WASH

PREVIOUS APPROVALS CHART	
BOARD/COMMISSION	DATE

34745 WOODWARD AVE,  
CITY OF BIRMINGHAM, MI 48009

sheet title

## AERIAL ARCHITECTURAL SITE PLAN

DO NOT SCALE DRAWINGS  
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project number

## 2020-012

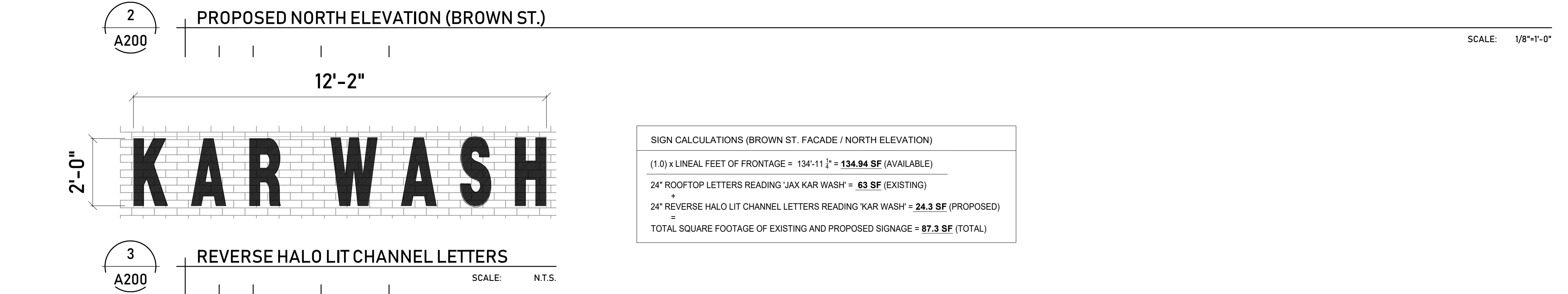
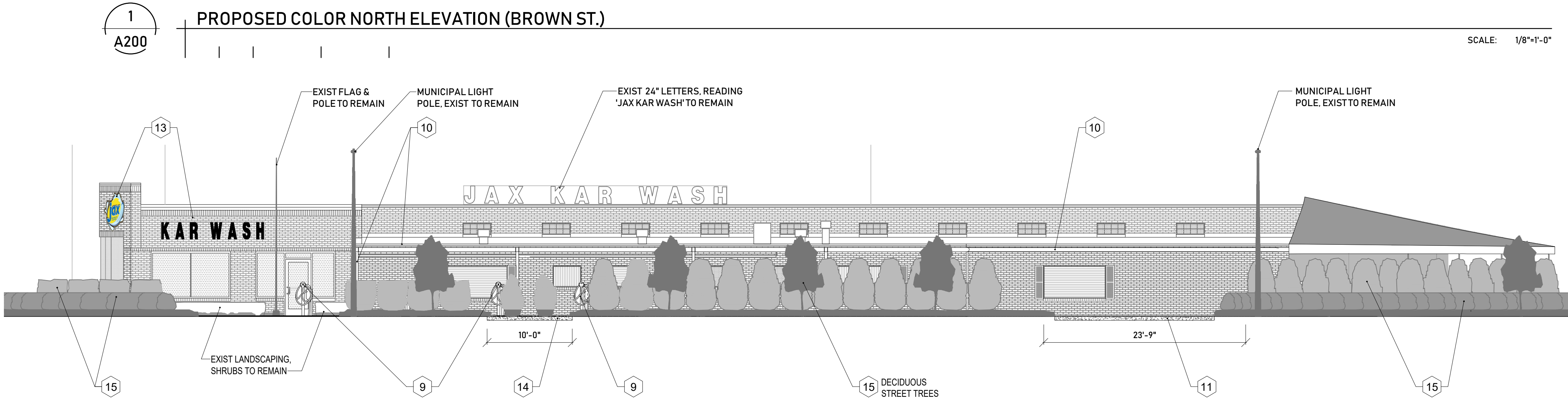
<u>drawn</u>	BDL
<u>checked</u>	BDL
<u>approved</u>	JHN

<u>issued for</u>	<u>date</u>
SPA - PRELIMINARY	7/3/19
SPA - PRELIM REVISED	7/16/19
SPA - SECOND SUBMIT	8/28/19
SPA - PRELIM SUBMIT	5/27/20
SPA - THIRD SUBMIT	6/04/20

sheet

## AS102





- 12.. **COLOR ELEVATION DRAWINGS SHOWING THE PROPOSED DESIGN FOR EACH FACADE OF THE BUILDING:**  
REFER TO ELEVATIONS ON SHEETS A200 & A201 FOR PROPOSED DESIGN CHANGES
13. **LIST OF ALL MATERIALS TO BE USED FOR THE BUILDING, MARKED ON THE ELEVATION DRAWINGS:**  
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14. **DETAILS OF EXISTING OR PROPOSED LIGHTING, SIGNAGE AND OTHER PERTINENT DEVELOPMENT FEATURES**  
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  - 10 PROPOSING 8" HORIZONTAL AND 6" VERTICAL PAINTED TO MATCH EXISTING BRICK, PVC PIPE MOUNTED TO BUILDING FACE AND BELOW GRADE ON THE NORTH SIDE OF BUILDING.
  - 11 PROPOSED CURB CUT FROM THE PROPERTY ONTO BROWN STREET.
  - 12 PROPOSING NEW DOOR W/ SIDE LIGHT FOR ENTRY INTO EXISTING LOBBY.
  - 13 PROPOSING NEW WALL MOUNTED SIGNS ON BROWN STREET AND WOODWARD AVENUE ELEVATIONS.
  - 14 PARTIALLY CLOSING OF EXISTING CURB CUT AT THE NORTHEAST CORNER OF SITE. 10'-0" ESCAPE LANE FROM THE PROPERTY ONTO BROWN STREET.
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18. **ANY OTHER INFORMATION REQUESTED IN WRITING BY THE PLANNING DIVISION, THE DRB OR THE BUILDING OFFICIAL DEEMED IMPORTANT TO THE DEVELOPMENT**

**4N**  
**NUDELL ARCHITECTS**

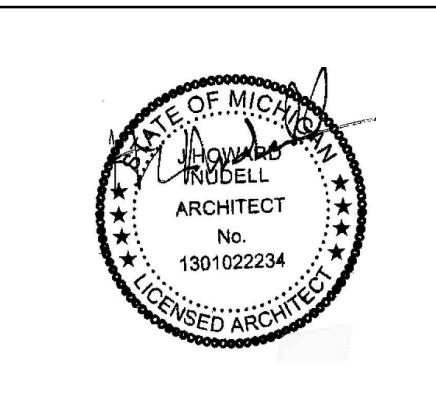
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project title

**JAX KAR WASH**

34745 WOODWARD AVE,  
CITY OF BIRMINGHAM, MI 48009

sheet title

**PROPOSED EXTERIOR ELEVATIONS**

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checked	BDL
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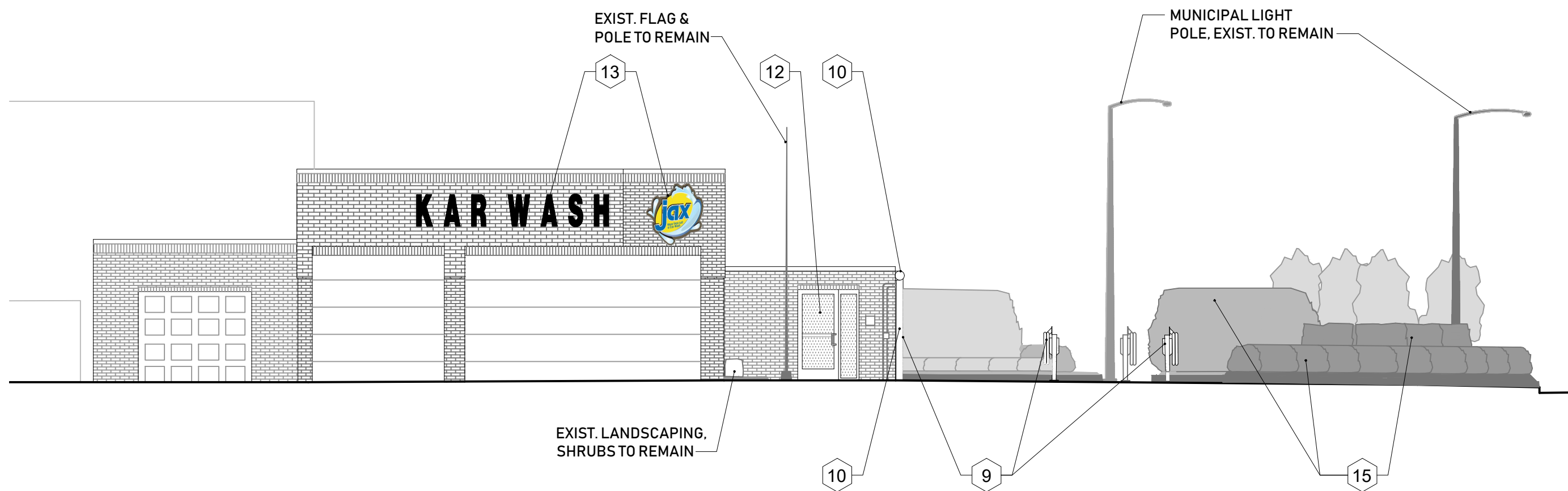
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**A200**



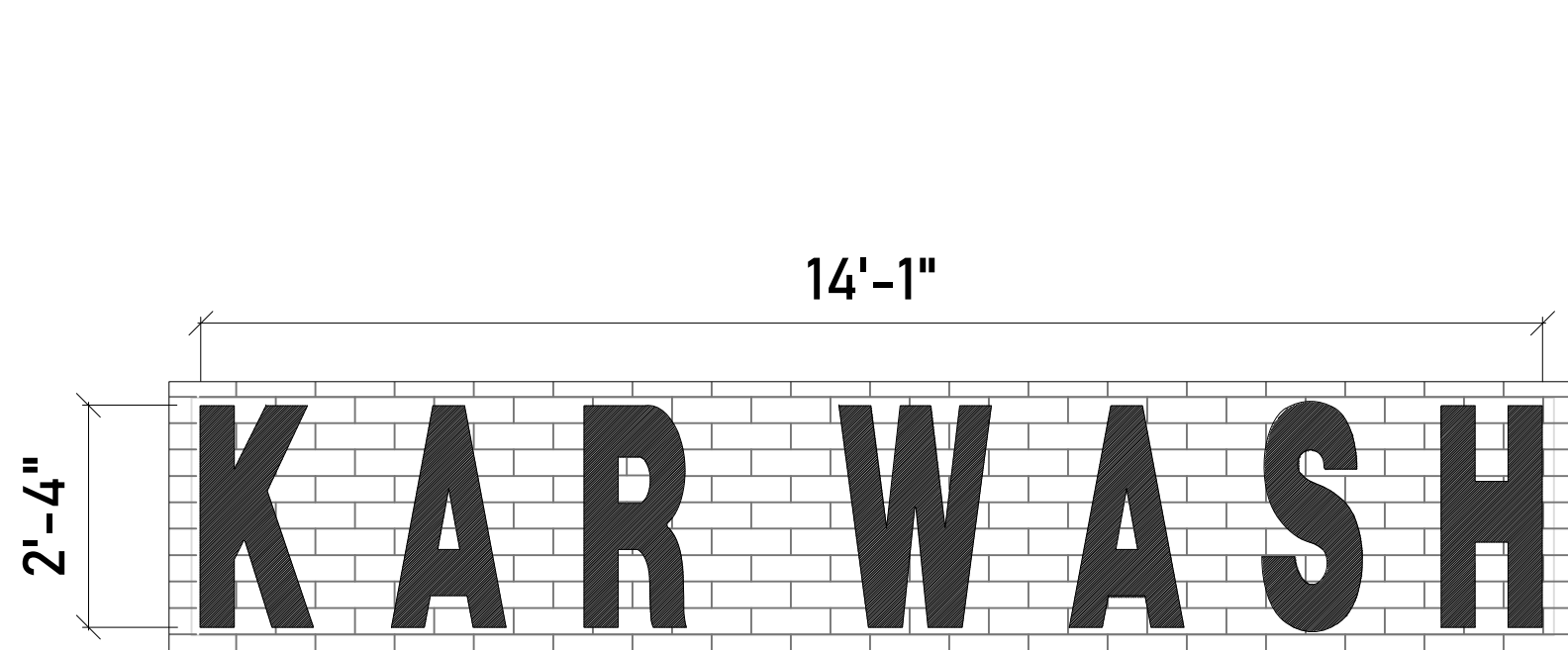


1  
A201  
PROPOSED EAST ELEVATION (WOODWARD AVE.)  
SCALE: 1/8"=1'-0"

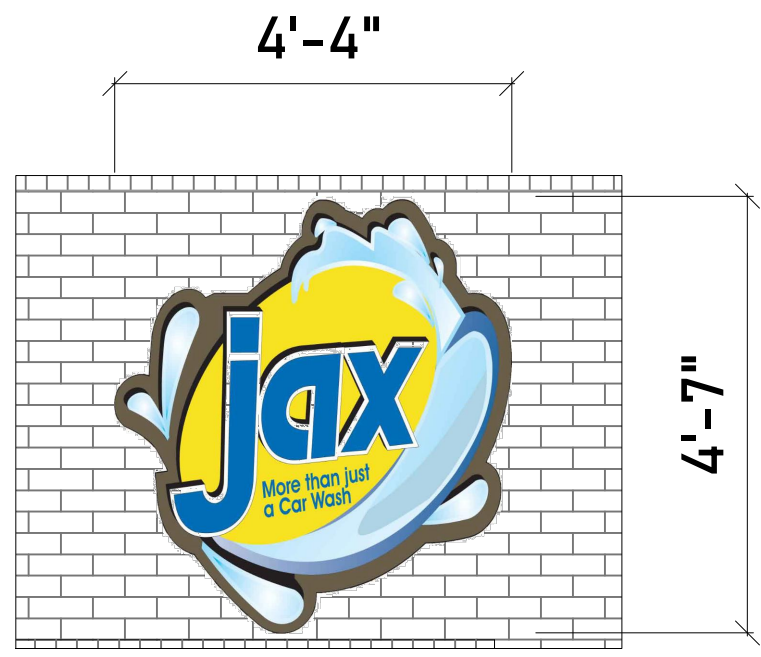


2  
A201  
PROPOSED EAST ELEVATION (WOODWARD AVE.)  
SCALE: 1/8"=1'-0"

ANGLED



3  
A201  
REVERSE HALO LIT CHANNEL LETTERS  
SCALE: N.T.S.



4  
A201  
REVERSE HALO LIT SIGN BOX  
SCALE: N.T.S.

SIGN CALCULATIONS (WOODWARD AVE. FACADE / EAST ELEVATION)

(1.5) x LINEAL FEET OF FRONTAGE = (1.5) x 32.875 = **49.3 SF** (AVAILABLE)  
24" REVERSE HALO LIT CHANNEL LETTERS READING 'KAR WASH' = **24.3 SF** (PROPOSED)  
+  
(1) REVERSE HALO LIT SIGN BOX = **18 SF** (PROPOSED)  
=  
TOTAL SQUARE FOOTAGE OF PROPOSED SIGNAGE = **42.3 SF** (TOTAL)

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project title

**JAX KAR WASH**

34745 WOODWARD AVE.,  
CITY OF BIRMINGHAM, MI 48009

sheet title

**PROPOSED  
EXTERIOR  
ELEVATIONS**

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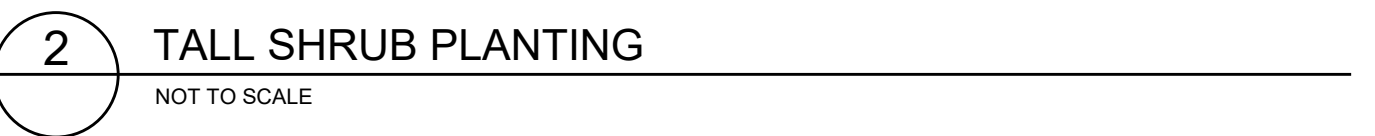
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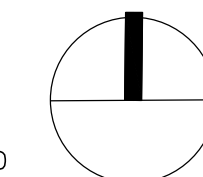
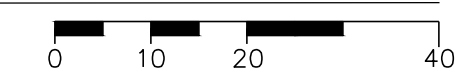
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**A201**





**SCALE 1" = 20'**



- ① EXPOSED AGGREGATE CONCRETE PAVING PER CITY STANDARD
- ② 1" DIA. EGG-STONE MULCH, 3" DEEP OVER FILTER

- (A) ALL TREES HAVE TO CLAY OR LOAM BALLS, TREES WITH SAND BALLS **WILL BE REJECTED**
- (B) ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- (C) ALL SINGLE TRUNK SHADE TREES TO HAVE A LANDSCAPE LEADER. CROWN CAN BE SLIGHTLY OR IRREGULAR TRUNKS **WILL NOT BE ACCEPTED.**
- (D) ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE ARCHITECT. ANYONE ELSE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- (E) IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS, WALKS AND PAVED AREAS.
- (F) ALL PLANTING BEDS SHALL RECEIVE SHREDDED BARK MULCH. SEE PLANTING DETAILS FOR DEPTH.
- (G) SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.

MULCH IS DOUBLE SHREDDED HARDWOOD BARK MULCH  
NO GROUND WOOD PALETTE MULCH PERMITTED

(1) 6 CU. FT. ORGANIC COMPOST

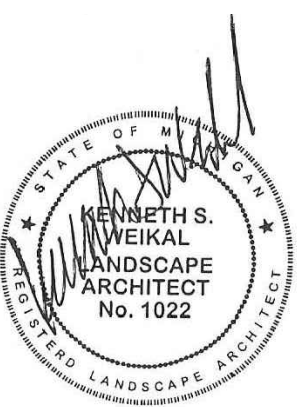
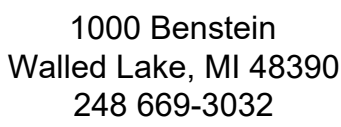
(1) 20 LB BAG COMPOSTED POULTRY MANURE  
"CHICK MAGIC" 5-3-2 [WWW.CHICKMAGIC.NET](http://WWW.CHICKMAGIC.NET) (262)495-6220

(1) 5 LB BAG SHERMANS 13-13-13 MULTI PURPOSE FERTILIZER

**HAND TILL INTO SOIL TO A DEPTH OF 12" MINIMUM**

QUAN.	KEY	COMMON/BOTANICAL NAME	SIZE	SPEC.
-------	-----	-----------------------	------	-------

5	GB	Ginkgo <i>Ginkgo biloba</i>	3" Cal.	B&B
1	GT	Thornless Honeylocust <i>Gleditsia 'Skyline'</i>	3" Cal.	B&B
34	JK	Ketterli Juniper <i>Juniperus spp. 'Ketterli'</i>	6" Ht.	B&B
85	RA	Gro-low Fragrant Sumac <i>Rhus aromatica 'Gro-low'</i>	24" Spr.	Cont.
39	MP	Dwarf Bayberry <i>Myrica pensylvanica</i>	24" Spr.	B&B
85	LS	<i>Liriope</i> <i>Liriope spicata</i>	1 Gal.	Cont.



## JAX KAR WASH

34745 WOODWARD AVE  
BIRMINGHAM, MI 48009

## SITE LANDSCAPE PLAN

06/04/2020  
SPA- THIRD SUBMISSION

L101



## M E M O R A N D U M

TO: Jason Milen, Bruce Milen  
FROM: Bradley F. Scobel, Esq.  
RE: Jax Kar Wash: Right of Way Easement - Rights and Liabilities  
DATE: June 25, 2020

---

### BACKGROUND

Since early 2019, Jax Kar Wash (Birmingham location), has been working with the City of Birmingham to re-design its traffic flow pattern on its property which is located off of Woodward Avenue and Brown Street in downtown Birmingham. The new traffic flow pattern was created to increase the safety of Jax customers (by allowing all customers to remain in their vehicles), as well as to reduce the spill-over (or “stacking”) of vehicles on Brown Street, which commonly occurs during peak hours. In connection with the newly proposed traffic flow pattern, interior and detail customers would exit the building, and make a quick left turn to a staging area on the north side of building. Jax has been doing this for more than forty (40) years without issue, the only difference being that previously the vehicles were driven by Jax employees instead of its customer, and the area on the north side of the building was used for holding customers’ vehicles rather than for interior cleaning.

The current traffic flow pattern, however, is extremely inefficient and causes a number of safety issues, all of which Jax hopes to correct with the new traffic flow pattern and the additional screening. For example, the current traffic flow pattern requires all customers to exit their vehicles while in line and traverse several lanes of cars waiting to enter the building. As Jax is a year round operation, this occurs during all types of weather conditions. As such, customers are vulnerable not only to slip and fall accidents but also to being struck by vehicles moving to enter the wash. Compounding the issue is the fact that the sophistication and variety of newer vehicles is on the rise and many of the newer vehicles are unique in the manner in which they operate. As a result, it has become difficult for Jax employees to be able to understand how to correctly operate each and every make and model of vehicle, which can lead to delays as well as the sudden and unexpected movement of vehicles. The proposed traffic flow pattern would permit the customers to drive their own vehicles, virtually eliminating these concerns. Finally, the current traffic flow pattern contributes to the issue of vehicles “stacking” on Brown Street during peak hours, as the process of moving the vehicles into the building takes longer than it would by having each customer operate their own vehicle. The proposed traffic flow pattern would increase the rate at which vehicles are able to enter the wash, as well as, providing a substantial increase in the number of vehicles that can be physically held on Jax’ property while waiting to enter the wash.

When the newly proposed traffic flow pattern was proposed to the City, the City requested Jax that incorporate various new screening areas in order to maintain and improve upon the property’s upscale appearance. Initially, Jax was unable to incorporate all of the City’s requests;

however, after many hours of design and consultation with its architect, Jax has been able to revise its traffic flow pattern and site plan such that by simply retaining an additional curb cut on Brown Street (for use as an emergency exit), Jax will now be able to incorporate all the screening requested by the City.

#### ISSUE:

Having what Jax' believes is a resolution to the initial issue of the required screening, Jax has asked us to render our opinion with respect to a concern raised by one of the City's council members during a previously held planning meeting. During that meeting, a council member asked whether MDOT would permit this traffic flow pattern and whether the City had potential liability by approving the proposed site plan.

#### ANALYSIS:

Please note that under the proposed traffic flow pattern, vehicles do not enter the actual roadway (e.g. Woodward Ave), and remain fully on Jax's property at all times. As such, MDOT has little authority to regulate how Jax uses its property, or the traffic flow on it. Although a portion of Jax' property is subject to the road right-of way, the use of such property (to the extent not used for actual roadway purposes), cannot be restricted by MDOT, other than prohibiting the placement of permanent structures or other improvements that could interfere with the use of the roadway. In other words, the property owner is not denied the use and enjoyment of the portion of its property which is subject to a road right-of-way, but which is not actually used for roadway purposes. Despite the same, we contacted MDOT's safety and engineering department, which indicated that MDOT did not have issue with the proposed traffic flow pattern, as long as the liability, if any, was acceptable to the City.

Prior to continuing this analysis, a few basic concepts should be noted, as follows:

- A) A road right-of-way, for all intents and purposes, is akin to an easement. All properties which border a public roadway will be subject to a road right-of-way, but only the portion of the road right-of-way which is actually used for road purposes becomes unusable by the property owner. The remainder of the road right-of-way is free to be used by a property owner in any manner the property owner desires as long as no permanent structures are constructed on it.
- B) Although roadways are directional, rights-of-way are not. There is no statutory right or wrong way to traverse a right-of-way. Case in point: if there were, none of us would be able to use our own driveways, since most of our homes are subject to a road right-of-way where the driveway meets the public road.
- C) A property owner still owns the portion of the land which is subject to a right-of-way and still retains the ability to utilize such land as desired, other than the portion of the right-of-way actually used for road purposes.

**1. Jax has the right to use its property so long as it is not encroaching or unreasonably interfering with the Woodward Avenue right of way.**

Jax owns the land and has all rights associated with landownership, including the use and enjoyment thereof. Although a right-of-way easement may encumber portions of a property not being used for road purposes, the party benefitted by the right-of-way cannot impose new, additional burdens on the property owner's land.

An easement [or right-of-way], is an interest in real estate that gives one person the right to use another's land for a specified purpose. *Eyde v. State*, 82 Mich App 531 (1978). A right of way grants the right to passage over the grantor's land, along with such rights as are incidental or necessary to the right of passage. *Harvey v Crane*, 85 Mich 316, 322 (1891); *Lakeside Associates v Toski Sands*, 131 Mich App 292, 299-300 (1983). "An easement does not displace the general possession of the land by its owner," but merely grants the holder the right to enjoy the rights conferred by the easement. *Schadewald v. Brule*, 225 Mich App 26, 35 (1997).<sup>1</sup>

In this case, Jax still owns the portion of its land subject to the right-of-way. *Eyde Bros Dev Co v Eaton Co Drain Comm'r*, 427 Mich 271, 297 (1986) ("landowner with property abutting a highway dedicated by user retains the fee in the property."); *Morrow v. Boldt*, 203 Mich App 324, 329 (1994) ("owners of land abutting a street are presumed to own the fee to the property all the way to the center of the street, subject to the easement of public way.")

***"The owner of the fee subject to an easement may rightfully use the land for any purpose not inconsistent with the rights of the owner of the easement."*** *Lakeside*, 131 Mich App at 299-300 (emphasis added) (quoting *Harvey*, 85 Mich at 322); *Morelli v City of Madison Hts*, 315 Mich App 699, 703 (2016) ("The owner of the fee subject to an easement may rightfully use the land for any purpose not inconsistent with the easement owner's rights."). As the Michigan Supreme Court stated in *Greve v Caron*, 233 Mich 261, 267 (1925):

At no time could the owner of the dominant estate [MDOT] exclude the owner of the servient estate [Jax] from using the way in any manner desired so long as there was no serious interference with the reasonable exercise of the easement. Neither MDOT nor the City ever had title to the land included in the right-of-way, and it was none of their concern what use was made thereof by the owner of the soil so long as such use did not obstruct the right-of-way.

*Accord* Cameron, § 6.23 ("[T]he owner of the servient tenement may make any use of the premises that is not inconsistent with the easement...the owner of the servient tenement has the right to

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<sup>1</sup> In *Schadewald*, the plaintiff obtained an injunction when their neighbor sought to increase the burden on the servient estate. A similar proactive approach could be used here.



construct improvements over the easement as long as such improvements do not obstruct the passage of the owner of the dominate state.”).<sup>2</sup>

As such, Jax has the right to use the land as it sees fit so long as it does not unreasonably interfere with the right of way easement. Woodward Avenue is a public road and therefore the general public’s use stops at the curb. Cars that are turning left out of the building remain on Jax’ property and are never on Woodward Avenue. Jax use of the unimproved portions of the right-of-way for vehicular travel does not interfere with the public’s ability to travel along Woodward Avenue.

An easement’s owner cannot materially increase the burden of it on the servient estate or impose new and additional burdens thereon. *Schadewald*, 225 Mich App at 36. Attempting to impose a new one-way driving use restriction, would create a new and additional burden on Jax’s land, which is not permissible by law.<sup>3</sup> This result is in the best interest of all concerned as will be further explained when liability is discussed in Section 2 below.

## **2. Other statutes indicate that the unimproved portions of the Woodward Avenue right of way are outside of the City’s/MDOT’s jurisdiction and protect the same from liability.**

The City’s and Road Commission’s liability is limited by the Governmental Tort Liability Act (the “GTLA”). The GTLA provides that “each governmental agency having jurisdiction over a highway shall maintain the highway in reasonable repair so that it is reasonably safe and convenient for public travel.” MCL § 691.1402. Except as provided in MCL 691.1402a, which addresses sidewalks, “the duty of a governmental agency to repair and maintain highways, and the liability for that duty, *extends only to the improved portion of the highway designed for vehicular travel and does not include sidewalks, trailways, crosswalks, or any other installation outside of the improved portion of the highway designed for vehicular travel.*” MCL 691.1402(1) (emphasis added).

Similarly, a county road commission authority as well as MDOT are limited to the shoulder and roadway. MCL 224.19b empowers the county road commission to establish reasonable permit requirements. Generally, with the exception of sidewalk installation and repair, operations may not occur within a county road right-of-way without a permit from the road commission as well as the township, city, or village in which the road is located. MCL 224.19b. Specifically, “[t]he adjacent property owner is not required to obtain a permit for work incidental to the maintenance of the right of way *lying outside of the shoulder and roadway.*” MCL 224.19(b)(1) (emphasis added).

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<sup>2</sup> Note that the common law right to make improvements over a public right of way was abrogated in MCL § 247.171 et seq.

<sup>3</sup> What may be considered a proper and reasonable use by the owner of the fee as distinguished from an unreasonable and improper use, and what may be necessary to plaintiff’s beneficial use and enjoyment, are questions of fact to be determined by the trial court or jury. *Collins v Schmidt*, 2017 Mich. App. LEXIS 1720, at \*7-8 (Ct App, Oct. 24, 2017)

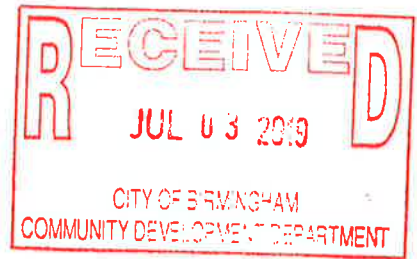
The use of the right-of-way on Jax' property which is not actually used as a roadway, is not within the purview of the City/Road Commission, and as mentioned above, this is actually best for all parties concerned. While the City/Road Commission already enjoy the benefits of governmental immunity by statute, the lack of authority of the City/Road Commission to determine specifically when and how vehicles enter the portion of the right-of-way not being used for roadway purposes, further bolsters the argument that neither the City nor the Road Commission can be subject to liability for the way in which Jax chooses to utilize its property. Liability remains solely with Jax, and more precisely, Jax's insurance carrier.

#### CONCLUSION:

The government's liability and permitting process does not extend to portions of the right-of-way not used for roadway purposes. Jax is the fee owner of the land and has all the rights associated therewith, including, but not limited to, the right to traverse the right-of-way, as long as it does not unreasonably interfere with the use of the right-of-way, such as would occur by constructing improvements thereon. The portions of the right-of-way that are not being used for Woodward, are of no consequence to either MDOT or the City. Notwithstanding the request of the councilman, MDOT has no rights of approval over this issue. Simply put, until such time as the right-of-way is utilized for road purposes, Jax is permitted to use the same as it sees fit, without imposing liability on either MDOT or City. Moreover, as Jax has utilized its property in this manner for over forty (40) years without issue, the same demonstrates that utilizing its property (and the right-of-way) in the manner being requested, poses no significant safety and/or liability issues.

CITY OF BIRMINGHAM  
Date 07/03/2019 12:46:48 PM  
Ref 00160445  
Receipt 491215  
Amount \$1,100.00

CITY OF BIRMINGHAM  
Date 07/03/2019 12:46:48 PM  
Ref 00160446  
Receipt 491215  
Amount \$100.00



**Preliminary Site Plan Review Application**  
**Planning Division**

*Form will not be processed until it is completely filled out.*

**1. Applicant**

Name: JAX KAR WASH / JASON MILEN  
Address: 34745 WOODWARD AVE.  
BIRMINGHAM, MI 48009  
Phone Number: 248-905-1218  
Fax Number: \_\_\_\_\_  
Email address: JASON@JAXKARWASH.NET

**2. Property Owner**

Name: BMW KAR WASH, LLC DBA JAX KAR WASH  
Address: 28845 TELEGRAPH RD. / BRUCE MILEN  
SOUTHFIELD, MI 48034  
Phone Number: 248-444-0442  
Fax Number: \_\_\_\_\_  
Email address: BRUCE@JAXKARWASH.NET

**3. Applicant's Attorney/Contact Person**

Name: JASON MILEN  
Address: 34745 WOODWARD AVE.  
BIRMINGHAM, MI 48009  
Phone Number: 248-905-1218  
Fax Number: \_\_\_\_\_  
Email address: JASON@JAXKARWASH.NET

**4. Project Designer/Developer**

Name: NUDELL ARCHITECTS / BRIAN LAWSON  
Address: 31090 W. 12 MILE RD.  
FARMINGTON HILLS, MI 48334  
Phone Number: 248-324-8800  
Fax Number: 248-324-0661  
Email address: BLAWSON@JHN.COM

**5. Required Attachments**

- I. Two (2) paper copies and one (1) digital copy of all project plans including:
- A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject sites property lines;
  - A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
  - A certified Land Survey;
  - Interior floor plans;

- A Landscape Plan;
- A Photometric Plan;
- Colored elevation drawings for each building elevation;

- Specification sheets for all proposed materials, light fixtures and mechanical equipment;
- Samples of all proposed materials;
- Photographs of existing conditions on the site including all structures, parking areas, landscaping and adjacent structures;
- Current aerial photographs of the site and surrounding properties;
- Warranty Deed, or Consent of Property Owner if applicant is not the owner;
- Any other data requested by the Planning Board, Planning Department, or other City Departments.

**6. Project Information**

Address/Location of the property: 34745 WOODWARD AVE.  
Name of development: JAX KAR WASH  
Sidwell #: \_\_\_\_\_  
Current Use: AUTO WASH  
Proposed Use: AUTO WASH  
Area of Site in Acres: 0.59 ACRES  
Current zoning: B-2  
Is the property located in the floodplain? No

Name of Historic District site is located in: N/A  
Date of Historic District Commission Approval: N/A  
Date of Design Review Board Approval: N/A  
Will proposed project require the division of platted lots? No  
Will proposed project require the combination of platted lots? No

7. Details of the Proposed Development (attach separate sheet if necessary)

EXTERIOR RENOVATIONS OF EXISTING AUTO WASH. NORTH SIDE DEMO WORK TO INCLUDE EXISTING Pylon SIGN & PORTION OF EXTERIOR WALL FOR NEW LOBBY DOOR. SOUTH SIDE DEMO OF OVERHEAD VACUUM TUBES/STRUCTURE/SIGNS & EXISTING VPT & CANOPY. PROPOSED NORTH SIDE WORK INCLUDING RELOCATION OF (10) PARKING SPACES TO SOUTH SIDE WITH DETAILING, RELOCATED TO THE NORTH. NEW 6" & 8" PVC TUBE @ NORTH FACE OF BUILDING SUPPLYING VACUUM TO HOSES ON (12) METAL STANCHIONS. NEW 23' ONE WAY CURB CUT, CLOSING 32' TWO WAY CURB. PROPOSED WALL SIGNS NORTH & EAST ELEVATIONS.

8. Buildings and Structures

Number of Buildings on Site: 1  
Height of Buildings & # of Stories: 13'-0" - 1 STORY  
15'-8" (FACADE ON WOODWARD AVE)

Use of Buildings: AUTO WASH  
Height of Rooftop Mechanical Equipment: 15'-0" + 16'-0"

9. Floor Use and Area (in Square Feet)

Proposed Commercial Structures: N/A

Total basement floor area: \_\_\_\_\_  
Number of square feet per inner floor: \_\_\_\_\_  
Total floor area: \_\_\_\_\_  
Floor area ratio (total floor area ÷ total land area): \_\_\_\_\_  
Open space: \_\_\_\_\_  
Percent of open space: \_\_\_\_\_

Office Space: \_\_\_\_\_  
Retail Space: \_\_\_\_\_  
Industrial Space: \_\_\_\_\_  
Assembly Space: \_\_\_\_\_  
Seating Capacity: \_\_\_\_\_  
Maximum Occupancy Load: \_\_\_\_\_

Proposed Residential Structures: N/A

Total number of units: \_\_\_\_\_  
Number of one bedroom units: \_\_\_\_\_  
Number of two bedroom units: \_\_\_\_\_  
Number of three bedroom units: \_\_\_\_\_  
Open space: \_\_\_\_\_  
Percent of open space: \_\_\_\_\_

Rental units or condominiums? \_\_\_\_\_  
Size of one bedroom units: \_\_\_\_\_  
Size of two bedroom units: \_\_\_\_\_  
Size of three bedroom units: \_\_\_\_\_  
Seating Capacity: \_\_\_\_\_  
Maximum Occupancy Load: \_\_\_\_\_

Proposed Additions: N/A

Total basement floor area, if any, of addition: \_\_\_\_\_  
Number of floors to be added: \_\_\_\_\_  
Square footage added per floor: \_\_\_\_\_  
Total building floor area (including addition): \_\_\_\_\_  
Floor area ratio (total floor area ÷ total land area): \_\_\_\_\_  
Open Space: \_\_\_\_\_  
Percent of open space: \_\_\_\_\_

Use of addition: \_\_\_\_\_  
Height of addition: \_\_\_\_\_  
Office space in addition: \_\_\_\_\_  
Retail space in addition: \_\_\_\_\_  
Industrial space in addition: \_\_\_\_\_  
Assembly space in addition: \_\_\_\_\_  
Maximum building occupancy load (including addition): \_\_\_\_\_

10. Required and Proposed Setbacks

Required front setback: 0  
Required rear setback: 10'-0"  
Required total side setback: 0  
Side setback: 0

Proposed front setback: 0  
Proposed rear setback: 10'-0"  
Proposed total side setback: 0  
Second side setback: 0

11. Required and Proposed Parking

Required number of parking spaces: 10  
Typical angle of parking spaces: 90°  
Typical width of maneuvering lanes: 15'-0"  
Location of parking on site: SOUTH SIDE  
Location of parking off site: \_\_\_\_\_  
Number of light standards in parking area: 6 (WALL MOUNTED)  
Screenwall material: \_\_\_\_\_

Proposed number of parking spaces: 10  
Typical size of parking spaces: 9' x 20'  
Number of spaces <180 sq. ft.: 1  
Number of handicap spaces: 1  
Shared parking agreement? \_\_\_\_\_  
Height of light standards in parking area: ALL WALL MOUNTED  
Height of screenwall: \_\_\_\_\_

## 12. Landscaping

Location of landscape areas:

54 SF (EXISTING) NORTH SIDE @ LOBBY ENTRY  
64 SF NORTH SIDE @ EXISTING CROSSWALK  
269 SF CIRCULAR BED SOUTH SIDE @ TURN  
464 SF ALONG SOUTH EAST PROPERTY LINE

TOTAL: 951 SF TO POTENTIALLY BE REDUCED  
WITH INCLUSION OF PLANTS LOCAL TO  
THE AREA

Proposed landscape material: TBD

## 13. Streetscape

Sidewalk width: BROWN: 6'-4" WOODWARD: 5'-0"

Number of benches: 1

Number of planters: 3

Number of existing street trees: 0

Number of proposed street trees: 5

Streetscape plan submitted? NO

Description of benches or planters: EXISTING BENCH  
& PLANTERS @ LOBBY ENTRY. (1) MORE

Species of existing trees: N/A PROPOSED

Species of proposed trees: TBD

## 14. Loading

Required number of loading spaces: 1

Typical angle of loading spaces: 90°

Screenwall material: N/A

Location of loading spaces on site: SOUTH SIDE

Proposed number of loading spaces: 1

Typical size of loading spaces: 12' x 40'

Height of screenwall:

Typical time loading spaces are used: AM PRIOR TO OPEN

## 15. Exterior Waste Receptacles

Required number of waste receptacles: 1

Location of waste receptacles: SOUTH CORNER

Screenwall material: WOOD PICKET FENCE

Proposed number of waste receptacles: 1

Size of waste receptacles: EXISTING

Height of screenwall: 6'-0"

## 16. Mechanical Equipment

### Utilities and Transformers:

Number of ground mounted transformers: 1

Size of transformers (L•W•H): 6'•5'•3'

Number of utility easements: 0

Screenwall material: WOOD PICKET FENCE

Location of all utilities & easements: SOUTH CORNER

Height of screenwall: 6'-0"

### Ground Mounted Mechanical Equipment:

Number of ground mounted units: 0

Size of ground mounted units (L•W•H): N/A

Screenwall material: N/A

Location of all ground mounted units: N/A

Height of screenwall: N/A

### Rooftop Mechanical Equipment:

Number of rooftop units: 4

Type of rooftop units: HVAC (2) EXHAUST (2)

Screenwall material: NONE (WOODWARD PARAPET)

Location of screenwall: WOODWARD FACADE

Location of all rooftop units:

Size of rooftop units (L•W•H):

Percentage of rooftop covered by mechanical units:

Height of screenwall:

Distance from rooftop units to all screenwalls:

## 17. Accessory Buildings

Number of accessory buildings: 2

Location of accessory buildings: SOUTH SIDE (REAR)

Size of accessory buildings: BOOTH 11' x 6'

Height of accessory buildings: 7'

ICE MELT 11' x 10'

7'

## 18. Building Lighting

Number of light standards on building: 10  
Size of light fixtures (L•W•H): 29'8" x 11" x 23'4"  
Maximum wattage per fixture: 1,000 W  
Light level at each property line: BROWN 20 FC  
WOODWARD 14.5 FC (MAX)

Type of light standards on building: WALL MOUNTED  
HALIDE  
Height from grade: (17) @ 13'-0" (3) @ 15'-0"  
Proposed wattage per fixture: 1,000 W  
EXISTING

## 19. Site Lighting

Number of light fixtures: ABOVE ✓  
Size of light fixtures (L•W•H): \_\_\_\_\_  
Maximum wattage per fixture: \_\_\_\_\_  
Light level at each property line: \_\_\_\_\_

Type of light fixtures: ABOVE ✓  
Height from grade: \_\_\_\_\_  
Proposed wattage per fixture: \_\_\_\_\_  
Holiday tree lighting receptacles: \_\_\_\_\_

## 20. Adjacent Properties

Number of properties within 200 ft.: 6

### Property #1

Number of buildings on site: 1  
Zoning district: PP  
Use type: \_\_\_\_\_  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: MUNICIPAL PARKING,  
GARAGE

North, south, east or west of property? NORTH WEST

### Property #2

Number of buildings on site: 1  
Zoning district: B-4  
Use type: \_\_\_\_\_  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: COMMERCIAL BUILDING  
INCLUDING: MORGAN STANLEY,  
BIRMINGHAM POST & LADY JANE'S

North, south, east or west of property? NORTH

### Property #3

Number of buildings on site: 1  
Zoning district: B-2  
Use type: \_\_\_\_\_  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: BUSINESS INCLUDING:  
ST. JOHN PROVIDENCE HEALTH SYSTEMS  
& METROPOLITAN TAILORING

North, south, east or west of property? WEST

### Property #4

Number of buildings on site: 1  
Zoning district: B-2  
Use type: \_\_\_\_\_  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: BUSINESS INCLUDING:  
BLUE WHEEL MEDIA

North, south, east or west of property? WEST

### Property #5

Number of buildings on site: 1  
Zoning district: B-3  
Use type: \_\_\_\_\_  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: BUSINESS INCLUDING:  
POWER HOUSE GYM & ONLINE INVESTMENT  
SERVICES

North, south, east or west of property? SOUTH

**Property #6**

Number of buildings on site: 1  
Zoning district: B-3  
Use type: \_\_\_\_\_  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: BUSINESS INCLUDING:  
BEACH HOUSE DAY SPA  
\_\_\_\_\_  
North, south, east or west of property? SOUTH

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

Signature of Owner: Bruce Milen Date: 7/1/19

Print Name: Bruce Milen

Signature of Applicant: Jason Ziler Date: 7/1/19

Print Name: Jason Milen

Signature of Architect: Brian Lawson Date: 7/2/19

Print Name: BRIAN LAWSON

*Office Use Only*

Application #: \_\_\_\_\_ Date Received: \_\_\_\_\_ Fee: \_\_\_\_\_

Date of Approval: \_\_\_\_\_ Date of Denial: \_\_\_\_\_ Accepted by: \_\_\_\_\_



## PRELIMINARY SIT PLAN REVIEW APPLICATION CHECKLIST - PLANNING DIVISION

Applicant: JAX KAR WASH / JASON MILEN Case #: \_\_\_\_\_ Date: \_\_\_\_\_

Address: 34745 WOODWARD AVE. Project: JAX KAR WASH RENOVATION

All site plans and elevation drawings prepared for approval shall be prepared in accordance with the following specifications and other applicable requirements of the City of Birmingham. If more than one page is used, each page shall be numbered sequentially. All plans must be legible and of sufficient quality to provide for quality reproduction or recording. Plans must be no larger than 24" x 36", and must be folded and stapled together. The address of the site must be clearly noted on all plans and supporting documentation.

### Preliminary Site Plan

A full Site Plan detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- ☒ 1. Name and address of applicant and proof of ownership;
- ☒ 2. Name of Development (if applicable);
- ☒ 3. Address of site and legal description of the real estate;
- ☒ 4. Name and address of the land surveyor;
- ☒ 5. Legend and notes, including a graphic scale, north point, and date;
- ☒ 6. A separate location map;
- ☒ 7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land;
- ☒ 8. Aerial photographs of the subject site and surrounding properties;
- ☒ 9. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
- ☒ 10. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject site's property lines;
- ☐ 11. Interior floor plans;
- ☒ 12. A chart indicating the dates of any previous approvals by the Planning Board, Board of Zoning Appeals, Design Review Board, or the Historic District Commission ("HDC");



- ☒ 13. Existing and proposed layout of streets, open space and other basic elements of the plan;
- ☒ 14. Existing and proposed utilities and easements and their purpose;
- ☒ 15. Location of natural streams, regulated drains, 100-year flood plains, floodway, water courses, marshes, wooded areas, isolated preserve-able trees, wetlands, historic features, existing structures, dry wells, utility lines, fire hydrants and any other significant feature(s) that may influence the design of the development;
- ☒ 16. General description, location, and types of structures on site;
- ☒ 17. Location of sidewalks, curb cuts, and parking lots on subject site and all sites within 200 ft. of the property line;
- ☐ 18. Details of existing or proposed lighting, signage and other pertinent development features;
- ☒ 19. Elevation drawings showing proposed design;
- ☒ 20. Screening to be utilized in concealing any exposed mechanical or electrical equipment and all trash receptacle areas;
- ☐ 21. Location of all exterior lighting fixtures;
- ☒ 22. A Photometric Plan depicting proposed illuminance levels at all property lines;
- ☐ 23. A Landscape Plan showing all existing and proposed planting and screening materials, including the number, size, and type of plantings proposed and the method of irrigation; and
- ☐ 24. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.

### **Elevation Drawings**

Complete elevation drawings detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- ☒ 25. Color elevation drawings showing the proposed design for each façade of the building;
- ☐ 26. List of all materials to be used for the building, marked on the elevation drawings;
- ☐ 27. Elevation drawings of all screenwalls to be utilized in concealing any exposed mechanical or electrical equipment, trash receptacle areas and parking areas;
- ☐ 28. Details of existing or proposed lighting, signage and other pertinent development features;
- ☒ 29. A list of any requested design changes;
- ☐ 30. Itemized list and specification sheets of all materials, light fixtures and mechanical equipment to be used, including exact size specifications, color, style, and the name of the manufacturer;
- ☐ 31. Location of all exterior lighting fixtures, exact size specifications, color, style and the name of the manufacturer of all fixtures, and a photometric analysis of all exterior lighting fixtures showing light levels to all property lines; and
- ☐ 32. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.



## Notice Signs - Rental Application Community Development

### 1. Applicant

Name: JAX KAR WASH / JASON MILEN  
Address: 34745 WOODWARD AVE.  
BIRMINGHAM, MI 48009  
Phone Number: 248-905-1218  
Fax Number: \_\_\_\_\_  
Email address: JASON@JAXKARWASH.NET

### Property Owner

Name: BMW KAR WASH LLC DBA JAX KAR WASH  
Address: 28845 TELEGRAPH RD. / BRUCE MILEN  
SOUTHFIELD, MI 48034  
Phone Number: 248-444-0442  
Fax Number: \_\_\_\_\_  
Email Address: BRUCE@JAXKARWASH.NET

### 2. Project Information

Address/Location of Property: 34745 WOODWARD AVE.  
Name of Development: JAX KAR WASH  
Area in Acres: 0.59 ACRES

Name of Historic District site is in, if any: N/A  
Current Use: AVTO WASH  
Current Zoning: D-2

### 3. Date of Board Review

Board of Building Trades Appeals: \_\_\_\_\_  
City Commission: \_\_\_\_\_  
Historic District Commission: \_\_\_\_\_  
Planning Board: \_\_\_\_\_

Board of Zoning Appeals: \_\_\_\_\_  
Design Review Board: \_\_\_\_\_  
Housing Board of Appeals: \_\_\_\_\_

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.

Signature of Applicant: \_\_\_\_\_

Date: 7/1/19

#### Office Use Only

Application #: \_\_\_\_\_ Date Received: \_\_\_\_\_ Fee: \_\_\_\_\_  
Date of Approval: \_\_\_\_\_ Date of Denial: \_\_\_\_\_ Reviewed by: \_\_\_\_\_

N U D E L L A R C H I T E C T S



31690 W. Twelve Mile Road

Farmington Hills, Michigan 48334

t 248 324 8800 f 248 324 0661



**TRANSMITTAL**

<b>DATE:</b> 07/03/2019	<b>RE:</b> Jax Kar Wash 34745 Woodward Ave., Birmingham, MI 48009
<b>SEND TO:</b> City of Birmingham Planning Department Attn: Nicholas Dupuis 151 Martin Street Birmingham, MI 48012  (248) 530-1856	<b>JHN</b> <b>JOB #</b> 2018-052
<b>SHIPPED VIA:</b>	

Urgent

Reply ASAP

Please comment

x

Please review

For your information

**ITEMS ENCLOSED for PRELIMINARY SITE PLAN REVIEW:**

(2) copies of sheets: AS100, AS101, AS102, A200 & A201

(2) copies of reference sheets, by others: Exist survey, Exist survey2, site lights, site lights2

(1) copy of a completed Preliminary Site Plan Review Application – Planning Division

(1) check made out to: City of Birmingham (\$1,200)

**Nick,**

**Items enclosed are in response to our discussions regarding the JAX in Birmingham and are for Preliminary Site Plan Review. Please feel free to contact me if you have any questions or require anything further.**

**Best Regards,**

**BRIAN LAWSON**

Project Manager

[blawson@jhn.com](mailto:blawson@jhn.com)

p. 248.324.8800 f. 248.324.0661

From: Brian Lawson – Design Project Manager

cc:

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Toll Free Nationwide: 800.690.0600

Email: [sales@sitto.com](mailto:sales@sitto.com)



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# NUDELL ARCHITECTS

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31690 W. Twelve Mile Road  
Farmington Hills, Michigan 48334  
T 248 324 8800 F 248 324 0661

July 16, 2019

**City of Birmingham**  
Department of Public Services  
**Attn: Carrie Laird**  
Parks & Recreation Manager  
851 S. Eton Street  
Birmingham, MI 48009

RE: Jax Kar Wash  
34745 Woodward Avenue,  
Birmingham, MI 48009

## Street Trees

Dear Carrie,

I'm writing regarding the renovation of the Jax Kar Wash at 34745 Woodward Ave. and the associated requirements for street trees, as described in the city ordinance.

Article 4, Section 4.20(G) - **Street Trees**: All site plans shall include in the right-of-way along all streets, at least 1 street tree for each 40 linear feet of frontage. The Staff Arborist may waive this requirement if there is not adequate green space in the right-of-way to support such trees.

The existing site has frontage on both Woodward Ave. and Brown St. We are proposing to locate trees in the R.O.W. along the Brown St. frontage. After taking into account the curb cuts, cross walks and other elements along Brown St. we are proposing (5) trees for consideration. The frontage along Woodward Ave. does not allow the same opportunity to include street trees. As such, we'd like to request a waiver for the (2-3) trees that would be required along Woodward Ave.

Thank you for your consideration,



Brian Lawson  
Project Manager



## MEMORANDUM

Engineering Dept.

**DATE:** September 9, 2019

**TO:** Jana Ecker, Planning Director

**FROM:** Paul T. O'Meara, City Engineer

**SUBJECT:** JAX Car Wash Renovations  
34745 Woodward Ave.

The Engineering Dept. has reviewed the revised site plan dated August 28, 2019. The following comments are provided at this time:

1. The plan has proposed three evergreen trees as well as other landscaping in the right-of-way of Woodward Ave., just south of Brown St. The proposal would result in an unacceptable sight distance hazard for the multiple vehicles that need to exit the JAX car wash facility on a daily basis. The City's code reads that no landscaping obstructions are allowed on private property within a 25 ft. sight triangle extending from a corner when a property is located adjacent to the intersection of two public streets. Evergreen trees are never allowed in the right-of-way for this same reason, as they would serve to obstruct the view of drivers attempting to pull on to public street. We are also confident that the proposal will not receive approval from the Michigan Dept. of Transportation, due to the same sight distance concerns.
2. The plan has proposed the installation of five new trees in the narrow Brown St. right-of-way in front of the site. There have never been City trees in this area, due to the lack of public right-of-way. The proposal as shown is physically impossible to construct, and will not receive a permit from the Engineering Dept. as shown. Note that when the City's standard tree grates are installed, an additional six inches minimum of concrete must be installed between the street curb and the tree grate to provide concrete in which steel anchors that support the tree grate can be poured. Therefore, the center of the new tree would be 2.5 ft. south of the back of the curb, and it is surrounded by a 12 inch open circle for future tree growth. Even if the design uses the metal tree grate as a part of the walking surface, the City sidewalk would be only 4.7 ft. wide, in violation of City policy. In order to introduce City trees in this area, the applicant should consider providing an easement to the City for sidewalk purposes, thereby allowing reconstruction of the sidewalk in such a way that there is sufficient room both for pedestrians and trees. Another option, since there is no parking on this section of Brown St., would be to remove 2.5 ft. wide sections of concrete immediately behind the curb, to provide room for perennial plants and mulch.
3. While not in conflict with City code, the Engineering Dept. also does not recommend the installation of evergreen trees on private property to the west of the new Brown St. exit driveway. Assuming the driveway will be used frequently during business hours, the trees will serve as a sight distance conflict between the drivers using this exit, as the trees will obscure the view of both pedestrians and bicyclists that may be using the adjacent City sidewalk. Lower growing plants would be more appropriate.

---

**RE: 2018-052, Jax Kar Wash, Birmingham\_ Site Landscape Plan**

1 message

---

**Jason Milen - Jax Kar Wash** <jason@jaxkarwash.net>

Fri, Oct 11, 2019 at 3:38 PM

To: Jana Ecker <jecker@bhamgov.org>

Cc: Brian Lawson <blawson@jhn.com>, Bradley Scobel <BScobel@seyburn.com>

Hi Jana,

We've tried, and cannot find any other way to make the plan work and maintain the escape lane. Therefore, we would like to stay on the agenda for the next meeting, and let it go to a vote. I understand it will likely be denied, then we'll ask to go to the ZBA and hope that they will see that this will solve the problem of the traffic backing up onto Brown Street at the entrance, and that with the proposed plan, we're 75% the way there to meet the landscaping/screening requirements due to the sections on the east and west we've drawn -- that it will be so much better than it is now!

As for the MDOT issue, we have from them:

"If the City of Birmingham is OK with accepting any and liability associated with cars driving/turning on their sidewalk then MDOT is OK with it."

Our attorney, Brad Scobel will contact the city attorney to try to work this out, as we are insured and would be willing to offer Birmingham indemnity in the event of any liability.

**From:** Gough, Stacey (MDOT) [mailto:goughs@michigan.gov]

**Sent:** Tuesday, October 8, 2019 9:41 AM

**To:** Bradley Scobel <BScobel@seyburn.com>

**Cc:** Gough, Stacey (MDOT) <goughs@michigan.gov>; Ibrahim, Faisal (MDOT) <IbrahimF1@michigan.gov>; Roeder, Fredrick (MDOT) <RoederF@michigan.gov>

**Subject:** RE: Jax Kar Wash - Woodward, Birmingham

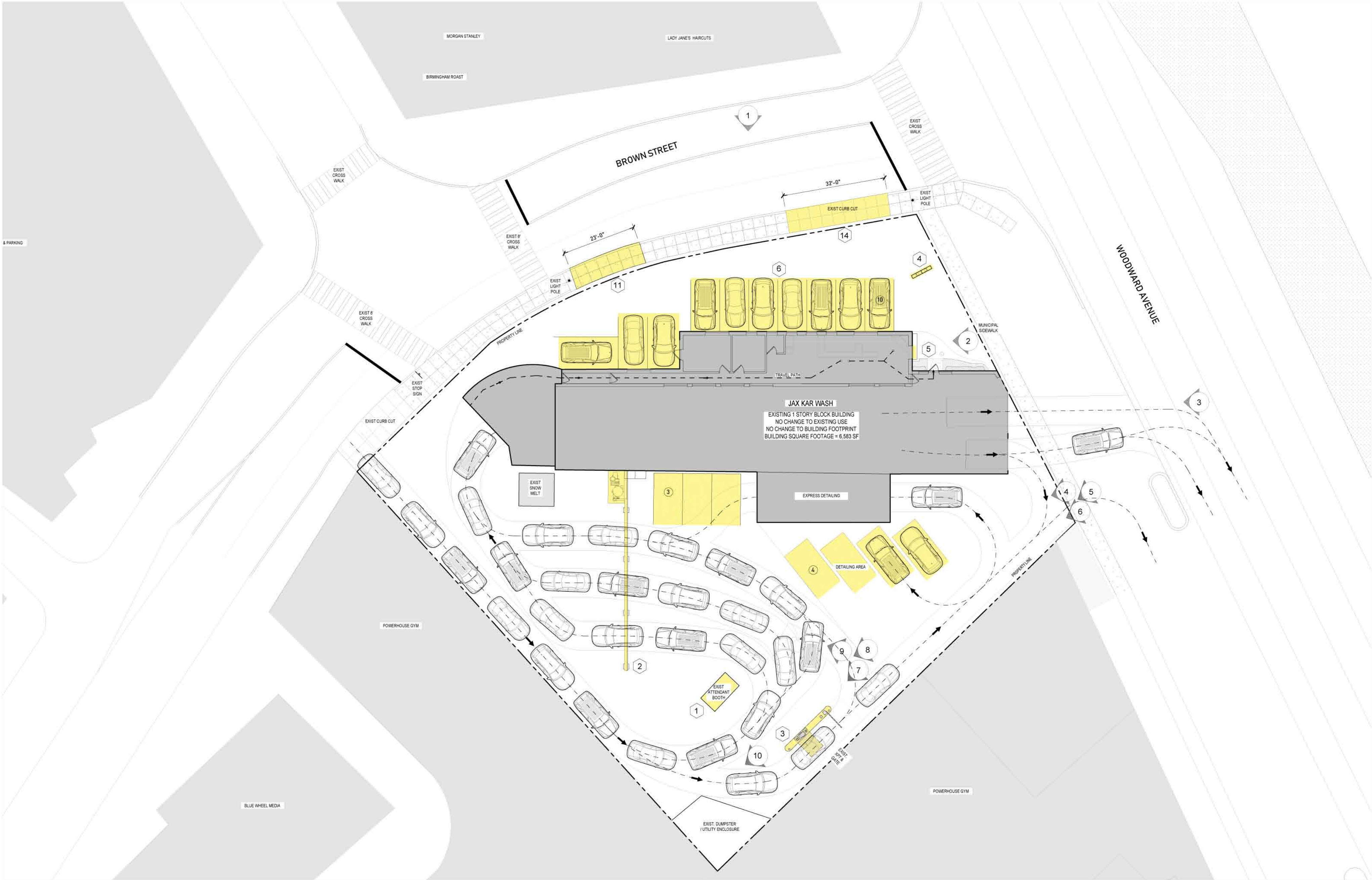
Bradley,

If the City of Birmingham is OK with accepting any and liability associated with cars driving/turning on their sidewalk then MDOT is OK with it.

Thanks,  
Stacey

Stacey Gough  
MDOT Oakland TSD  
Utility & Permits Engineer  
800 Vanguard Drive  
Pontiac, MI 48341  
248-451-2453 (office)  
248-895-2558 (cell)





1 4 6



2 4 5



3 5



4



5



6



7 3



8 1



9 2



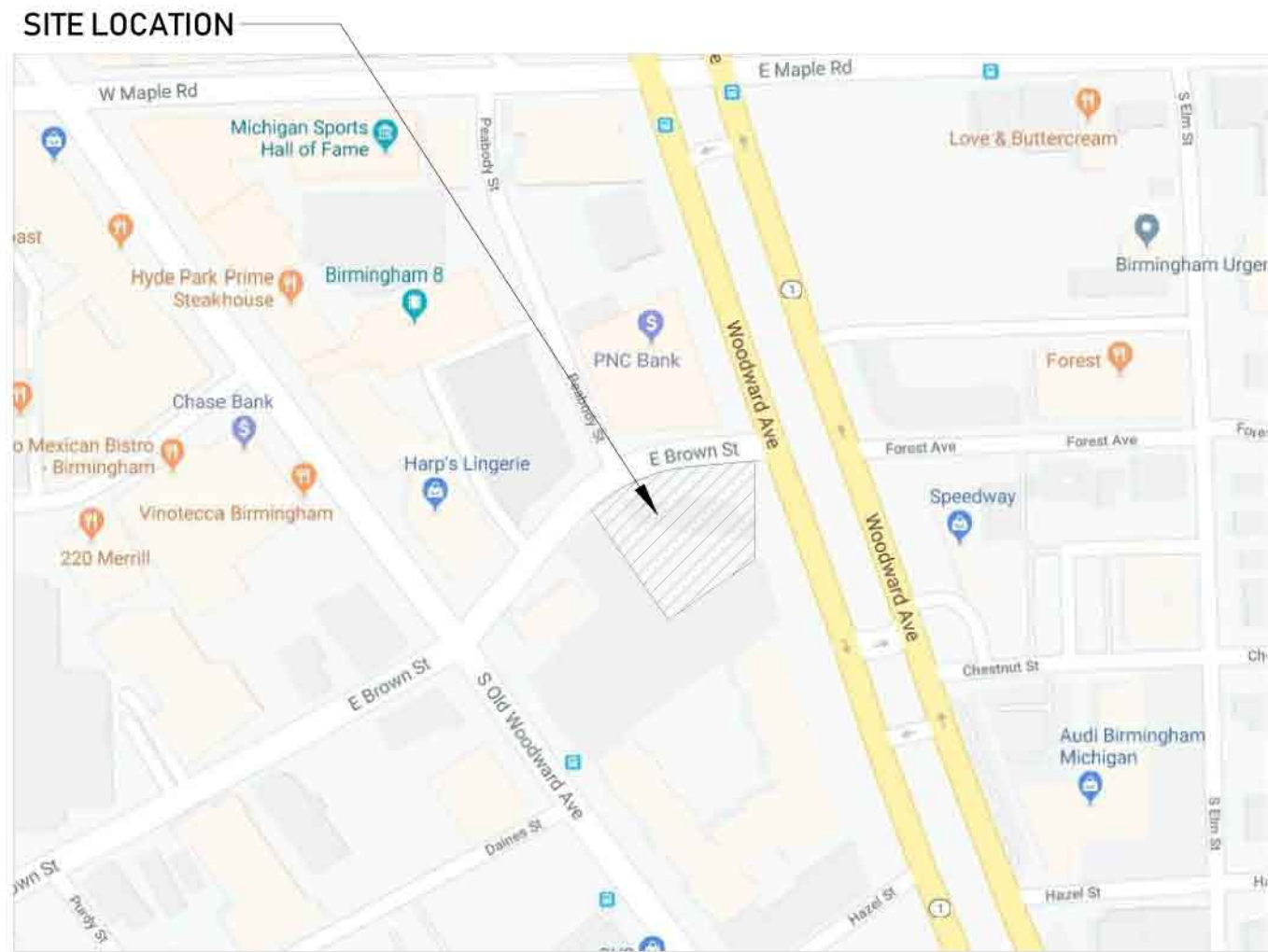
10

EXISTING SITE - PHOTOS

SCALE: NTS

1. NAME & ADDRESS OF APPLICANT AND PROOF OF OWNERSHIP:  
JASON MILEN  
JAX KAR WASH  
34745 WOODWARD AVENUE,  
BIRMINGHAM, MI 48009
2. NAME OF DEVELOPMENT :  
JAX KAR WASH
3. ADDRESS OF SITE AND LEGAL DESCRIPTION OF THE REAL ESTATE:  
34745 WOODWARD AVENUE
- LEGAL DESCRIPTION:  
LAND IN THE CITY OF BIRMINGHAM, COUNTY OF OAKLAND, STATE OF MICHIGAN DESCRIBED AS:  
THE EASTERLY PART OF LOT 4 MEASURING 12.4 FEET ON THE NORTH LINE AND 18.23 FEET ON  
THE SOUTH LINE, ALL OF LOTS 5 THROUGH 7 EXCEPT THAT PART TAKEN FOR ROAD PURPOSES,  
"WILLIAM HART SUBDIVISION," AS RECORDED IN LIBER 8 OF PLATS, PAGE 9 OF THE OAKLAND  
COUNTY RECORDS; BEING MORE PARTICULARLY DESCRIBED AS BEGINNING AT THE  
SOUTHEAST CORNER OF SAID LOT 7; THENCE S54d 24' 24"W 154.83 FEET; THENCE N33d 26' 35"W  
166.95 FEET, TO A POINT ON THE SOUTHERLY LINE OF BROWN STREET (FORMERLY FOREST  
AVENUE); THENCE ALONG SAID SOUTHERLY LINE OF BROWN STREET (FORMERLY FOREST  
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RADIUS 129.52 FEET, CENTRAL ANGLE 35d 18' 14" CHORD BEAR N76d 48' 13"E 78.85 FEET AND N88d  
34'36"E 60.31 FEET TO A POINT ON THE WESTERLY LINE OF WOODWARD AVENUE (FORMERLY  
HUNTER BOULEVARD); THENCE ALONG SAID LINE S18d 39' 22"E 107.43 FEET TO THE POINT OF  
BEGINNING.
4. LEGEND AND NOTES, INCLUDING A GRAPHIC SCALE, NORTH POINT AND DATE:  
REFER TO ELEVATIONS & SITE PLANS INCLUDING THE ABOVE ELEMENTS.
5. A SEPARATE LOCATION MAP:  
REFER TO LOCATION MAP, BELOW
6. A LIST OF ALL REQUESTED ELEMENTS / CHANGES TO THE SITE PLAN.  
LIST APPLIES TO SHEETS AS100 & AS101
1. RELOCATION OF AN EXISTING ATTENDANT BOOTH, SOUTH SIDE OF BUILDING.
2. DEMOLITION OF OVERHEAD VACUUM TUBES, STEEL STRUCTURE, VACUUMS, EQUIPMENT AND  
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3. DEMOLITION OF (1) EXISTING XPT AND CANOPY ON A RAISED CONCRETE ISLAND, SOUTH SIDE  
OF BUILDING, VERIFY CONDITION OF EQUIPMENT FOR POTENTIAL RE-USE.
4. DEMOLITION OF EXISTING PYLON SIGN IN IT'S ENTIRETY.
5. DEMOLITION OF A PORTION OF THE EAST WALL OF EXIST. LOBBY FOR PROPOSED NEW ENTRY.
6. PROPOSED RELOCATION OF (10) PARKING SPACES FROM THE NORTH TO SOUTH SIDE OF  
BUILDING.
7. PROPOSED RELOCATION OF DETAILING SPACES TO NORTH SIDE OF BUILDING.
8. PROPOSING (3) XPTS AND CANOPIES ON 6" RAISED CONCRETE ISLANDS, SOUTH SIDE OF  
BUILDING.
9. PROPOSING (12) VACUUM STANCHIONS FOR DETAILING ON NORTH SIDE OF BUILDING.
10. PROPOSING 8" HORIZONTAL AND 6" VERTICAL PAINTED PVC PIPE MOUNTED TO BUILDING FACE  
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11. PROPOSING NEW 23' CURB CUT FROM THE PROPERTY ONTO BROWN STREET.
12. PROPOSING NEW DOOR W/ SIDE LIGHT FOR ENTRY INTO EXISTING LOBBY.
13. PROPOSING NEW WALL MOUNTED SIGNS ON BROWN STREET AND WOODWARD AVENUE  
ELEVATIONS.
14. PROPOSED CLOSING OF THE EXISTING CURB CUT AT THE NORTHEAST CORNER OF SITE.
15. PROPOSED LANDSCAPING AREA TOTALING 399 SF, REFER TO LANDSCAPE DRAWINGS
7. ANY CHANGES REQUESTED MARKED IN COLOR:  
REFER TO 'PURPLE' AND 'YELLOW' COLORED AREAS ON PLANS AND ELEVATIONS. ALL CHANGES  
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8. GENERAL DESCRIPTION, LOCATION AND TYPES OF STRUCTURES ON THE SITE:  
EXISTING 1 STORY BLOCK BUILDING, 6,583 SQUARE FEET  
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EXISTING SNOWMELT STRUCTURE, APPROX. 112 SQUARE FEET  
EXISTING ATTENDANT BOOTH, APPROX. 65 SQUARE FEET
9. DETAILS OF EXISTING OR PROPOSED LIGHTING, SIGNAGE, AND OTHER PERTINENT  
DEVELOPMENT FEATURES  
EXISTING WALL MOUNTED SITE LIGHTS, TO REMAIN.  
SIGNS BY OTHERS, REFER TO EXTERIOR ELEVATIONS A200
10. A LANDSCAPE PLAN SHOWING ALL EXISTING AND PROPOSED PLANTING AND SCREENING  
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LIMITED EXISTING LANDSCAPING, SHRUBS ON NORTH SIDE NEAR LOBBY ENTRY. PROPOSED  
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11. ANY OTHER INFORMATION REQUESTED IN WRITING BY THE PLANNING DIVISION, THE DRB OR  
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SYMBOL LEGEND			
	IDENTIFIES ELEVATIONS, REFER TO SHEETS A200 & A201		IDENTIFIES NUMBER OF PARKING & DETAILING SPACES
	IDENTIFIES REQUESTED ELEMENTS/ CHANGES TO THE SITE PLAN. REFER TO WRITE UP #6, THIS SHEET.		INDICATES LOCATION / DIRECTION OF PICTURE



**4N**

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project title

**JAX KAR WASH**

PREVIOUS APPROVALS CHART

BOARD/COMMISSION	DATE

34745 WOODWARD AVE.,  
CITY OF BIRMINGHAM, MI 48009

sheet title

**EXISTING ARCHITECTURAL SITE PLAN**

DO NOT SCALE DRAWINGS  
USE FIGURED DIMENSIONS ONLY

project number

**2018-052**

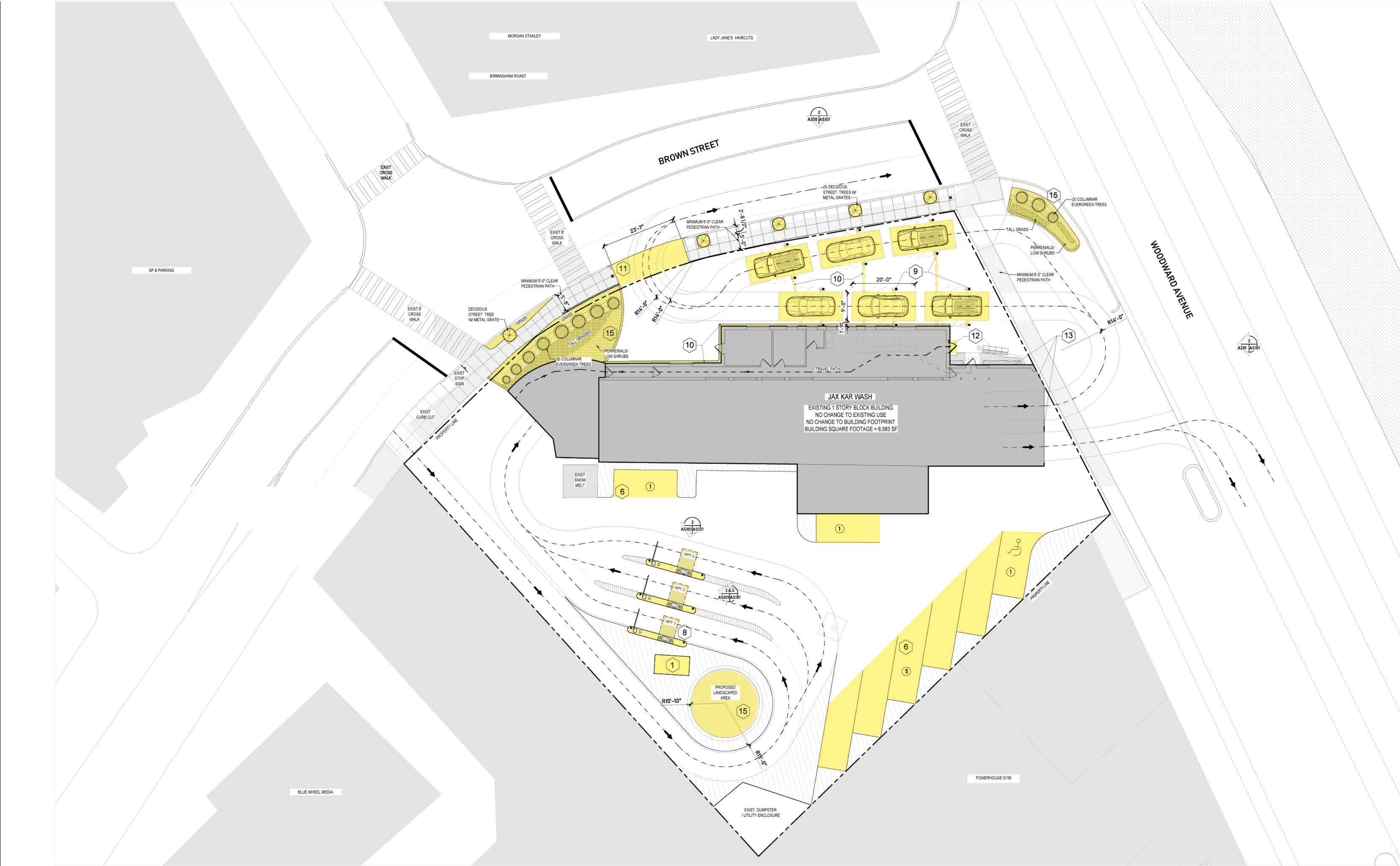
drawn BDL  
checked BDL  
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SPA - PRELIMINARY 7/3/19  
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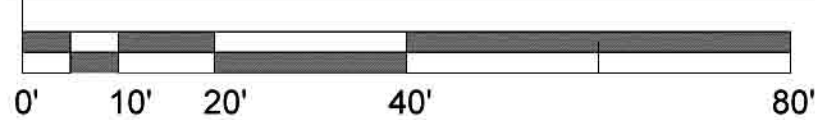
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**AS100**





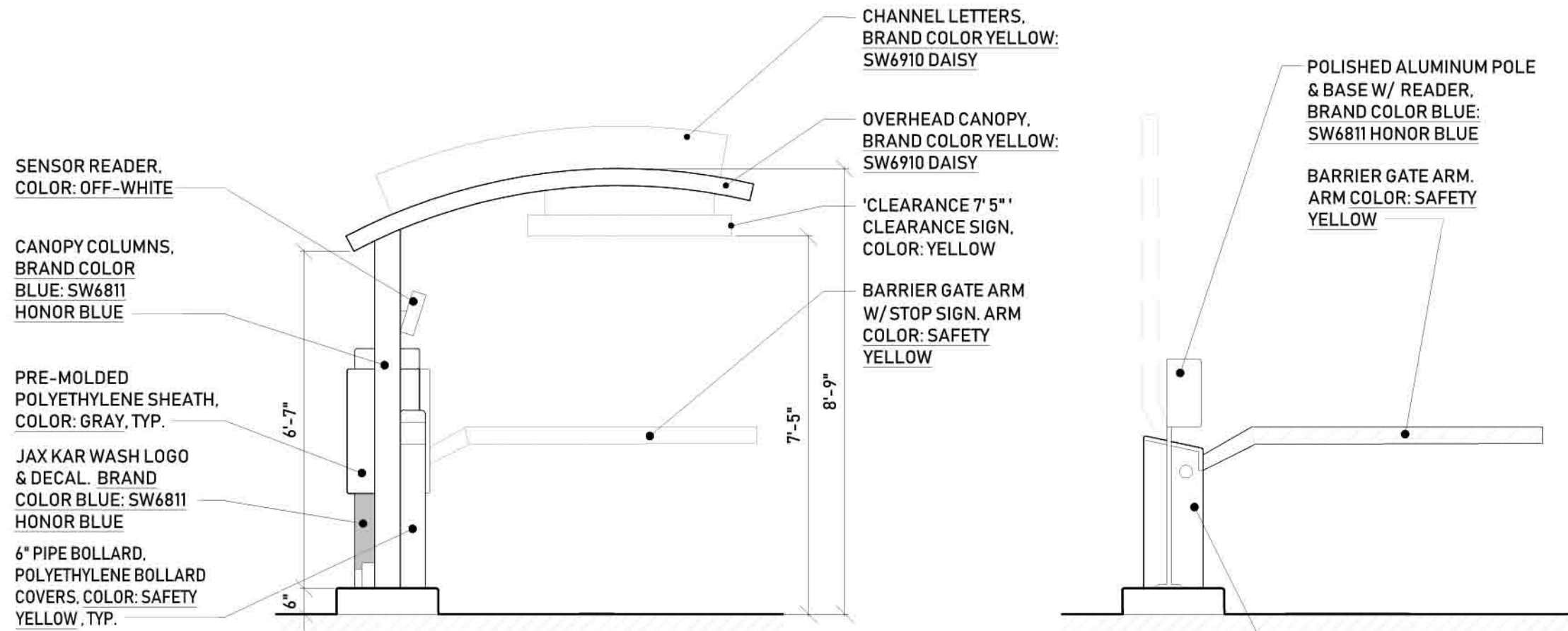
### PROPOSED ARCHITECTURAL SITE PLAN



SCALE: 1"=20'-0"

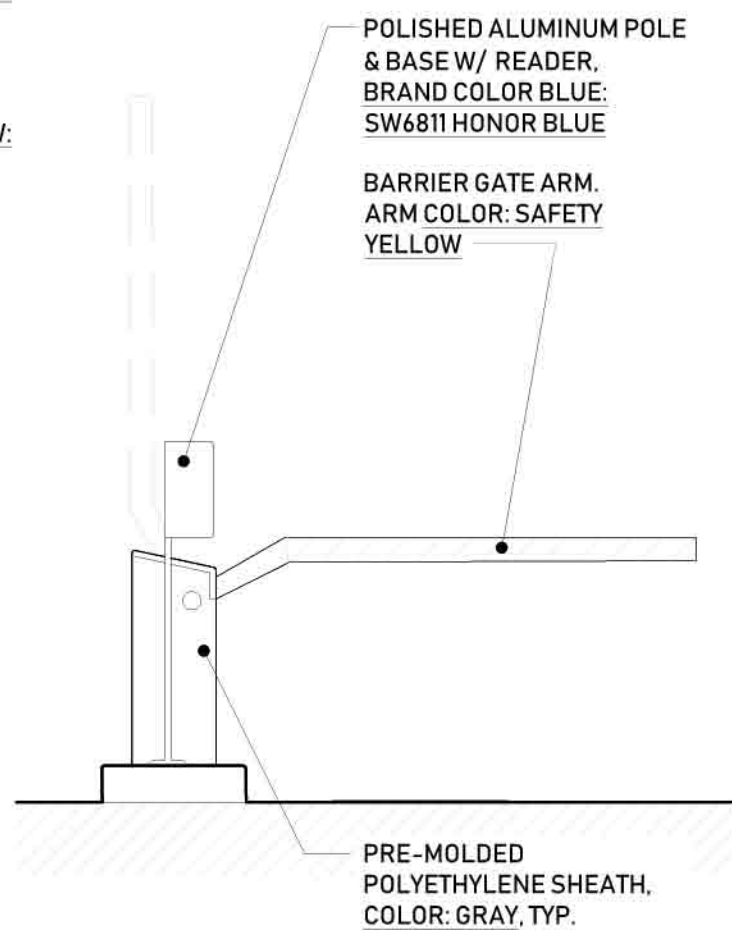
SIGN CALCULATIONS (ABOVE XPT CANOPIES, SOUTH OF BUILDING)	
10" CANOPY CHANNEL LETTERS READING 'FAST LANE/ NO CASH'	= 5.38 SF (PROPOSED)
10" CANOPY CHANNEL LETTERS READING 'UNLIMITED CLUB ONLY'	= 5.67 SF (PROPOSED)
10" CANOPY CHANNEL LETTERS READING 'ANY FORM OF PAYMENT'	= 5.95 SF (PROPOSED)
TOTAL SQUARE FOOTAGE OF PROPOSED XPT CANOPY SIGNAGE = 17 SF (TOTAL)	

SIGN CALCULATIONS (ALL SIGNS)	
(1.5) x LINEAL FEET OF PRIMARY FRONTAGE (BROWN ST.)	= 134'-11" = 202.4 SF (AVAILABLE)
TOTAL SQUARE FOOTAGE OF PROPOSED XPT CANOPY SIGNAGE = 17 SF (TOTAL)	
BROWN ST. FACADE / NORTH ELEVATION	= 87.3 SF (TOTAL)
WOODWARD AVE. FACADE / EAST ELEVATION	= 42.3 SF (TOTAL)
TOTAL SQUARE FOOTAGE OF SIGNAGE = 146.6 SF (TOTAL)	



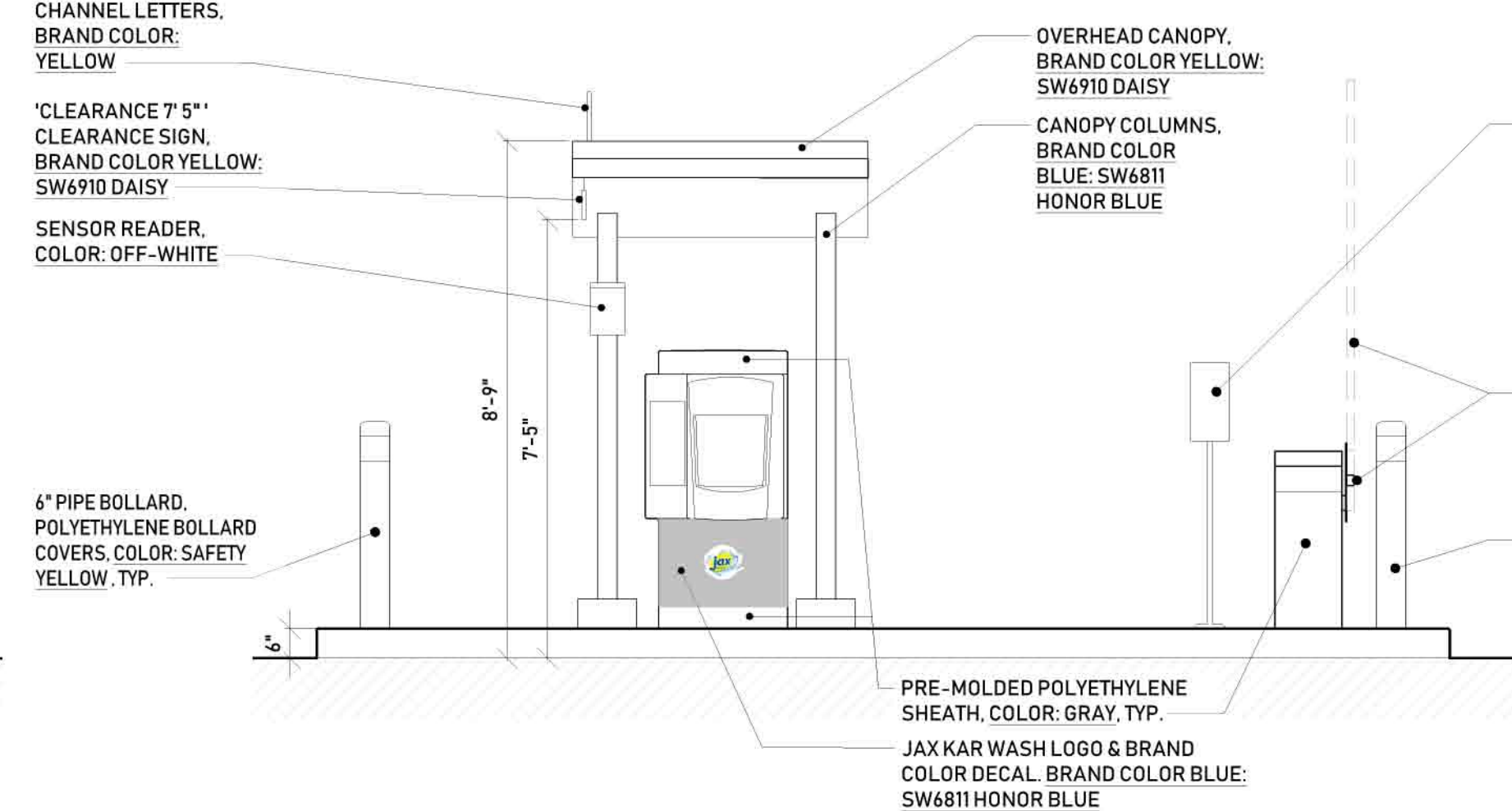
### XPT CURB & EQUIPMENT ELEV

SCALE: 3/8"=1'-0"



### XPT CURB & EQUIPMENT ELEV

SCALE: 3/8"=1'-0"



### XPT CURB & EQUIPMENT ELEV

SCALE: 3/8"=1'-0"

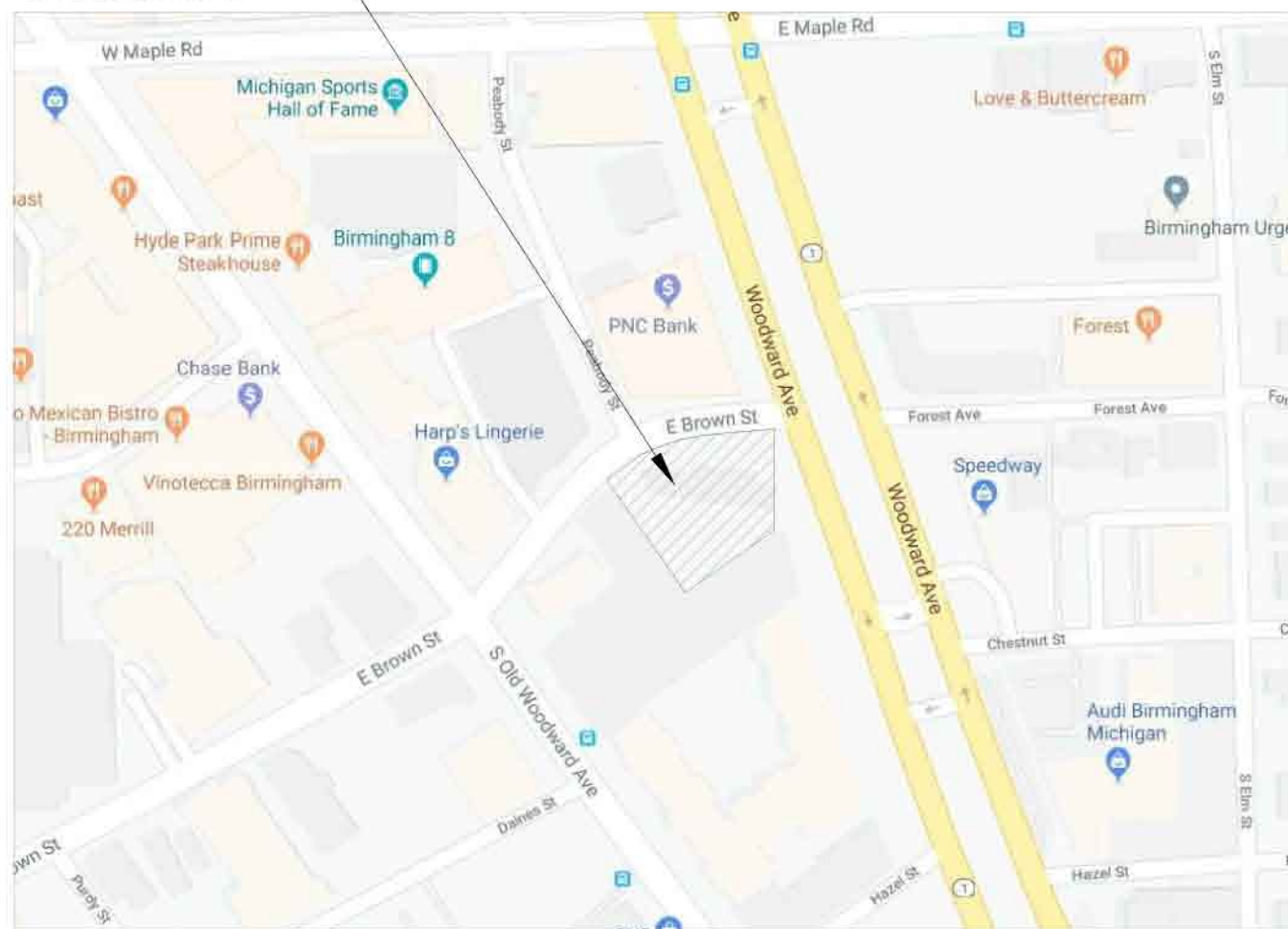
- NAME & ADDRESS OF APPLICANT AND PROOF OF OWNERSHIP:**  
JASON MILEN  
JAX KAR WASH  
34745 WOODWARD AVENUE,  
BIRMINGHAM, MI 48009
- NAME OF DEVELOPMENT:**  
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- LEGEND AND NOTES, INCLUDING A GRAPHIC SCALE, NORTH POINT AND DATE:**  
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- A SEPARATE LOCATION MAP:**  
REFER TO LOCATION MAP, BELOW
- A LIST OF ALL REQUESTED ELEMENTS / CHANGES TO THE SITE PLAN.**  
LIST APPLIES TO SHEETS AS100 & AS101
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- PROPOSED LANDSCAPING AREAS
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EXISTING ATTENDANT BOOTH, APPROX. 65 SQUARE FEET
- DETAILS OF EXISTING OR PROPOSED LIGHTING, SIGNAGE, AND OTHER PERTINENT DEVELOPMENT FEATURES**  
EXISTING WALL MOUNTED SITE LIGHTS, TO REMAIN.  
SIGNS BY OTHERS, REFER TO EXTERIOR ELEVATIONS A200
- A LANDSCAPE PLAN SHOWING ALL EXISTING AND PROPOSED PLANTING AND SCREENING MATERIALS, INCLUDING THE NUMBER, SIZE AND TYPE OF PLANTINGS PROPOSED**  
LIMITED EXISTING LANDSCAPING, SHRUBS ON NORTH SIDE NEAR LOBBY ENTRY. PROPOSED LANDSCAPING AT 396 SF CIRCULAR BED. REFER TO LANDSCAPE DRAWINGS.
- ANY OTHER INFORMATION REQUESTED IN WRITING BY THE PLANNING DIVISION, THE DRB OR THE BUILDING OFFICIAL DEEMED IMPORTANT TO THE DEVELOPMENT**

### SYMBOL LEGEND

#	IDENTIFIES ELEVATIONS, REFER TO SHEETS A200 & A201	#	IDENTIFIES NUMBER OF PARKING & DETAILING SPACES
#	IDENTIFIES REQUESTED ELEMENTS/ CHANGES TO THE SITE PLAN. REFER TO WRITE UP #6, THIS SHEET.	#	INDICATES LOCATION / DIRECTION OF PICTURE

### SITE LOCATION



### LOCATION MAP

SCALE: NTS

4N

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STATE OF MICHIGAN  
JASON MILEN  
ARCHITECT  
No.  
1301022234  
LICENSED ARCHITECT

project title

JAX KAR WASH

PREVIOUS APPROVALS CHART  
BOARD/COMMISSION DATE

34745 WOODWARD AVE.,  
CITY OF BIRMINGHAM, MI 48009

sheet title

PROPOSED  
ARCHITECTURAL  
SITE PLAN

DO NOT SCALE DRAWINGS  
USE FIGURED DIMENSIONS ONLY

project number

2018-052

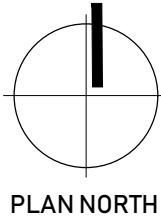
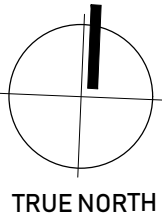
drawn BDL  
checked BDL  
approved JHN

issued for date  
OWNER REVIEW 6/7/19  
SPA - PRELIMINARY 7/3/19  
LANDSCAPE COORDINATION 7/9/19  
SPA - PRELIM REVISED 7/16/19  
SPA - SECOND SUBMIT 8/28/19

sheet

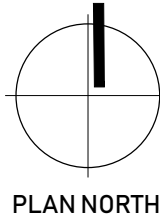
AS101





AERIAL PHOTOGRAPH OF SITE & ADJACENT PROPERTIES

SCALE: 1"=20'-0"



LOCATION MAP

SCALE: NTS

4N

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Farmington Hills, Michigan 48334  
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project title

JAX KAR WASH

PREVIOUS APPROVALS CHART	DATE
BOARD/COMMISSION	

34745 WOODWARD AVE,  
CITY OF BIRMINGHAM, MI 48009

sheet title

AERIAL  
ARCHITECTURAL  
SITE PLAN

DO NOT SCALE DRAWINGS  
USE FIGURED DIMENSIONS ONLY

project number

2018-052

drawn	BDL
checked	BDL
approved	JHN

issued for      date

SPA - PRELIMINARY	7/3/19
SPA - PRELIM REVISED	7/16/19
SPA - SECOND SUBMIT	8/28/19

sheet

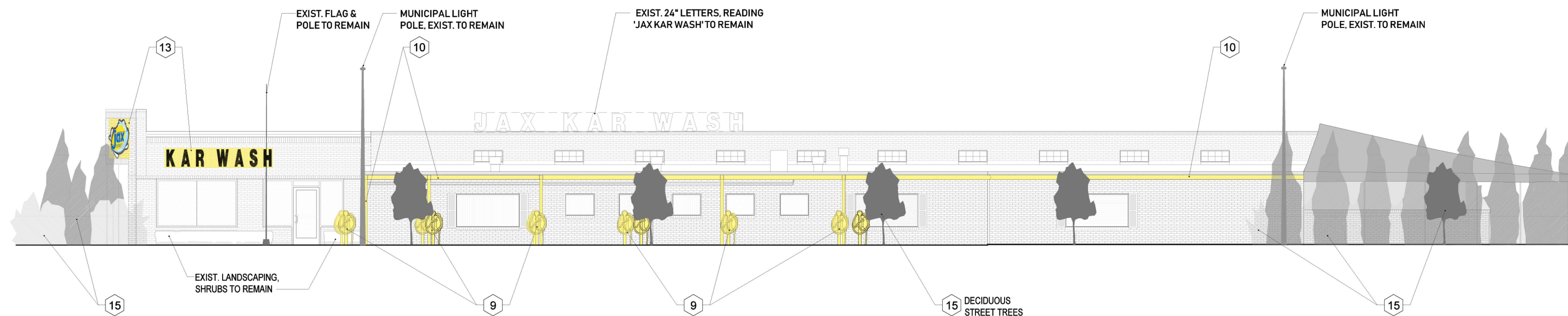
AS102





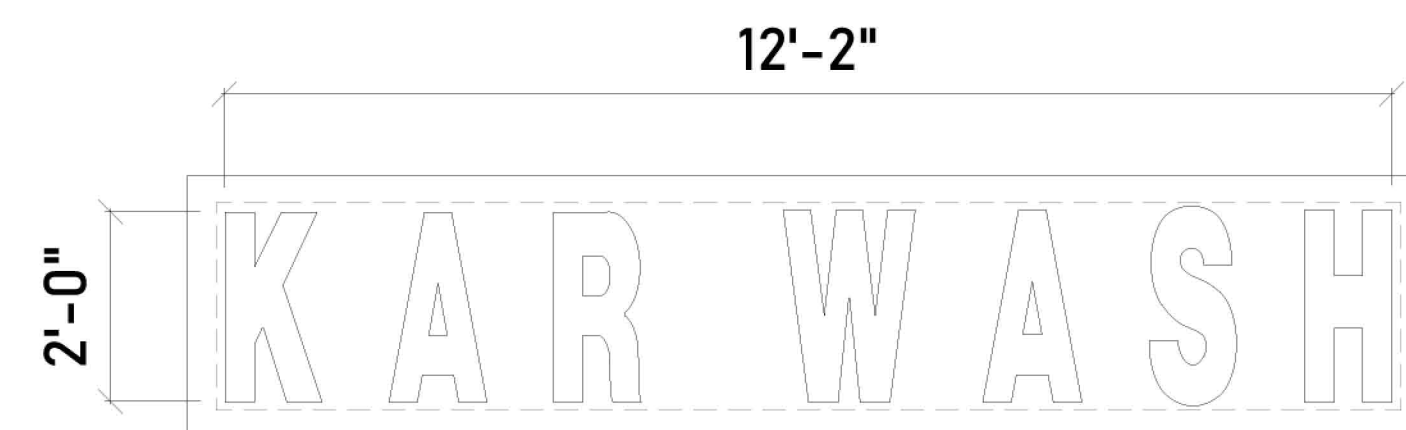
**PROPOSED COLOR NORTH ELEVATION (BROWN ST.)**

SCALE: 1/8"=1'-0"



**PROPOSED NORTH ELEVATION (BROWN ST.)**

SCALE: 1/8"=1'-0"



## REVERSE HALO LIT CHANNEL LETTERS

SCALE: N.T.S

SIGN CALCULATIONS (BROWN ST. FACADE / NORTH ELEVATION)

$$(1.0) \times \text{LINEAL FEET OF FRONTAGE} = 134' - 11 \frac{1}{4}" = \mathbf{134.94 \text{ SF (AVAILABLE)}}$$

24" ROOFTOP LETTERS READING 'JAX KAR WASH' = **63 SF** (EXISTING)

24" REVERSE HALO LIT CHANNEL LETTERS READING 'KAR WASH' = **24.3 SF** (PROPOSED)

TOTAL SQUARE FOOTAGE OF EXISTING AND PROPOSED SIGNAGE = **87.3 SF** (TOTAL

2. **COLOR ELEVATION DRAWINGS SHOWING THE PROPOSED DESIGN FOR EACH FACADE OF THE BUILDING:**  
REFER TO ELEVATIONS ON SHEETS A200 & A201 FOR PROPOSED DESIGN CHANGES
13. **LIST OF ALL MATERIALS TO BE USED FOR THE BUILDING, MARKED ON THE ELEVATION DRAWINGS:**  
REFER TO ELEVATION TAGS AND ITEMS IN #15, REQUESTED DESIGN CHANGES
14. **DETAILS OF EXISTING OR PROPOSED LIGHTING, SIGNAGE AND OTHER PERTINENT DEVELOPMENT FEATURES**  
EXISTING WALL MOUNTED SITE LIGHTS, TO REMAIN.  
SIGNS BY OTHERS. REFER TO EXTERIOR ELEVATIONS A200 & A201
15. **A LIST OF ANY REQUESTED DESIGN CHANGES;**
  - 9 PROPOSING (12) VACUUM STANCHIONS FOR DETAILING ON NORTH SIDE OF BUILDING.
  - 10 PROPOSING 8" HORIZONTAL AND 6" VERTICAL PAINTED TO MATCH EXISTING BRICK, PVC PIPE MOUNTED TO BUILDING FACE AND BELOW GRADE ON THE NORTH SIDE OF BUILDING.
  - 11 N/A
  - 12 PROPOSING NEW DOOR W/ SIDE LIGHT FOR ENTRY INTO EXISTING LOBBY.
  - 13 PROPOSING NEW WALL MOUNTED SIGNS ON BROWN STREET AND WOODWARD AVENUE ELEVATIONS.
  - 14 N/A
  - 15 PROPOSED LANDSCAPING - SCREENING
16. **ITEMIZED LIST OF ALL MATERIALS TO BE USED, INCLUDING EXACT SIZE SPECIFICATIONS, COLOR, STYLE AND THE NAME OF THE MANUFACTURER:**

LIMITED MATERIALS PROPOSED ON THE WOODWARD AVE. & BROWN ST. FACADES.

- SIGNAGE, BY OTHERS, REFER TO SHEET A200 & A201 FOR MORE INFORMATION.
- 8" PAINTED PVC TUBES (HORIZONTAL), COLOR TO MATCH EXISTING BRICK
- 6" PAINTED PVC TUBES (VERTICAL), COLOR TO MATCH EXISTING BRICK
- METAL STANCHION AND VACUUM HOSES
- XPT AND JAX EQUIPMENT ON 6" RAISED CONCRETE ISLAND, REFER TO SHEET AS101 FOR MORE

17. LOCATION OF ALL EXTERIOR LIGHTING FIXTURES, EXACT SIZE SPECIFICATIONS, COLOR, STYLE AND THE NAME OF THE MANUFACTURER OF ALL FIXTURES AND A PHOTOMETRIC ANALYSIS OF ALL EXTERIOR LIGHTING FIXTURES SHOWING LIGHT LEVELS TO ALL PROPERTY LINES

18. ANY OTHER INFORMATION REQUESTED IN WRITING BY THE PLANNING DIVISION, THE DRB OR THE BUILDING OFFICIAL DEEMED IMPORTANT TO THE DEVELOPMENT

NUDELL  
ARCHITECTS

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project title

JAX KAR WASH

34745 WOODWARD AVE,  
TY OF BIRMINGHAM, MI 48009

Sheet title

## PROPOSED EXTERIOR ELEVATIONS

DO NOT SCALE DRAWINGS  
USE FIGURED DIMENSIONS ONLY

project number

2018-052

drawn BDL

checked	BDL
---------	-----

approved JHN

issued for                      date

OWNER REVIEW 6/7/19

SPA - PRELIMINARY 7/3/19

SPA - SECOND SUBMIT 8/28/19

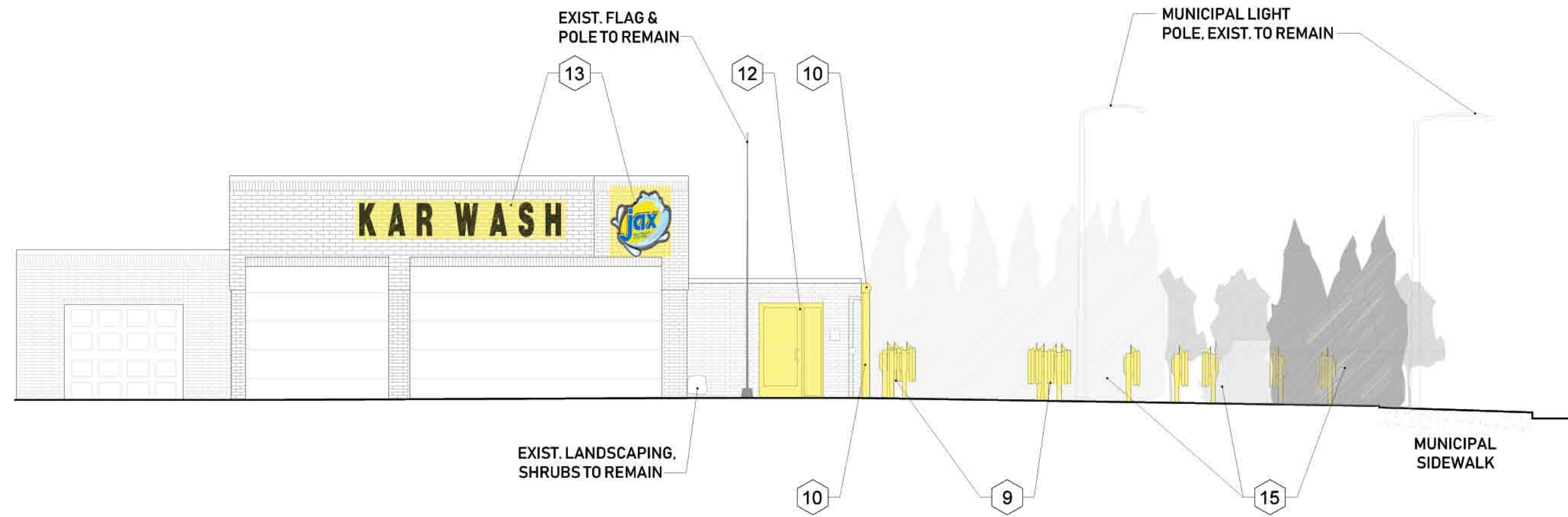
sheet

## A200

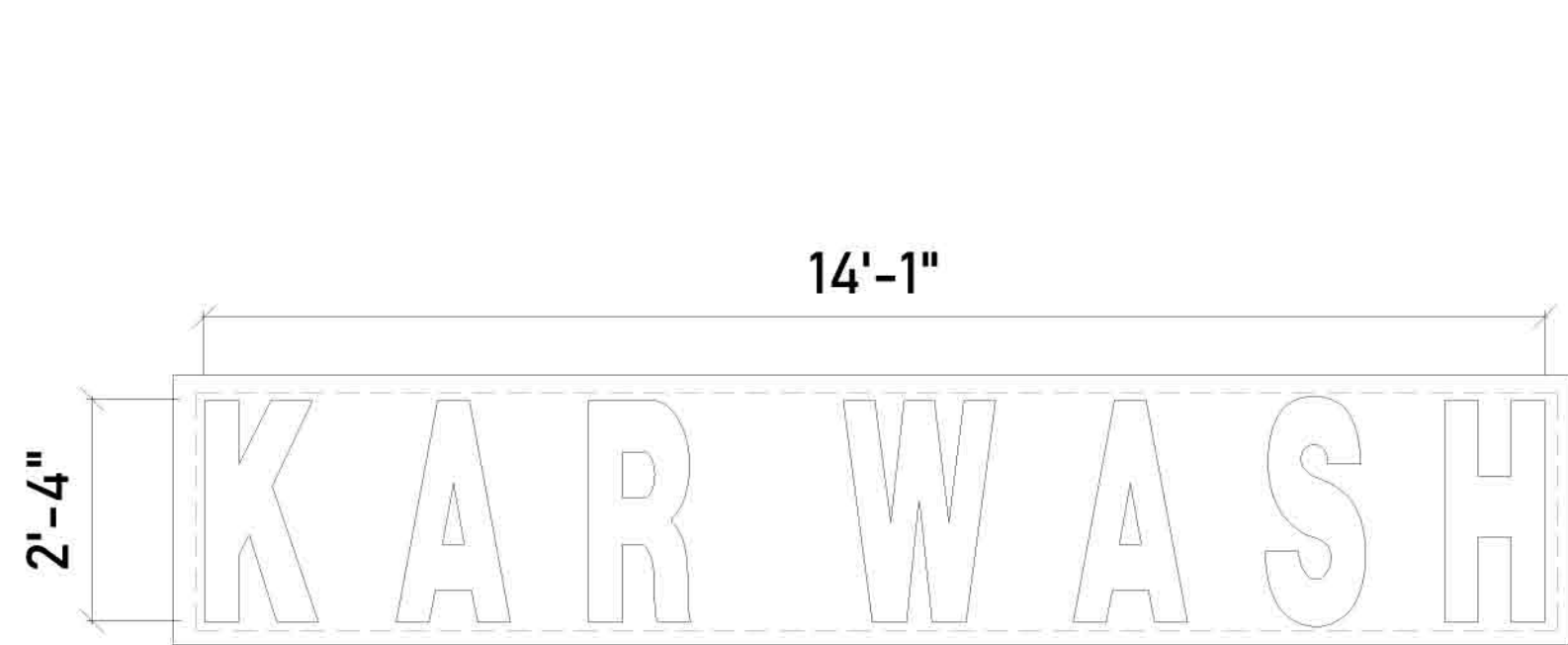




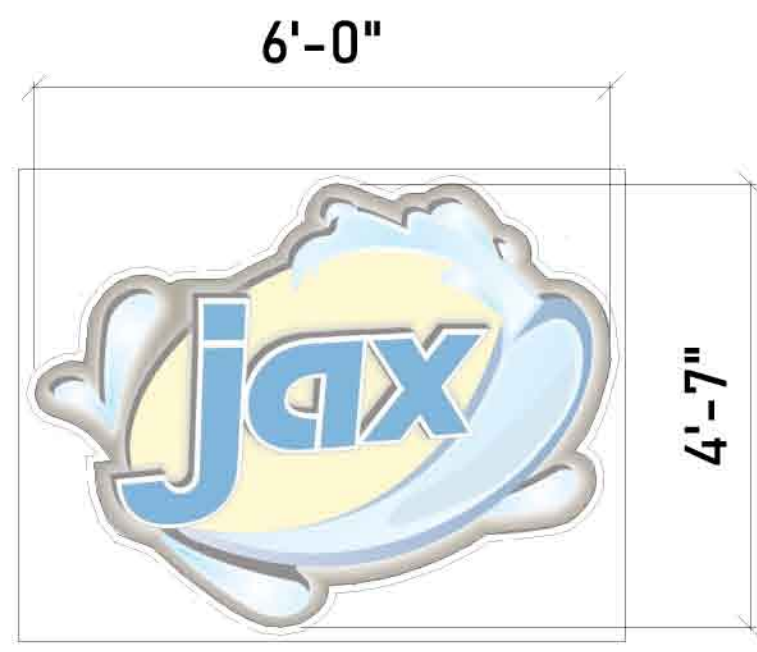
1  
A201  
PROPOSED EAST ELEVATION (WOODWARD AVE.)  
SCALE: 1/8"=1'-0"



2  
A201  
PROPOSED EAST ELEVATION (WOODWARD AVE.)  
SCALE: 1/8"=1'-0"



3  
A201  
REVERSE HALO LIT CHANNEL LETTERS  
SCALE: N.T.S.



4  
A201  
REVERSE HALO LIT SIGN BOX  
SCALE: N.T.S.

SIGN CALCULATIONS (WOODWARD AVE. FACADE / EAST ELEVATION)
(1.5) x LINEAL FEET OF FRONTAGE = (1.5) x 32.875 = <b>49.3 SF</b> (AVAILABLE)
24" REVERSE HALO LIT CHANNEL LETTERS READING 'KAR WASH' = <b>24.3 SF</b> (PROPOSED)
+ (1) REVERSE HALO LIT SIGN BOX = <b>18 SF</b> (PROPOSED)
= TOTAL SQUARE FOOTAGE OF PROPOSED SIGNAGE = <b>42.3 SF</b> (TOTAL)

12. COLOR ELEVATION DRAWINGS SHOWING THE PROPOSED DESIGN FOR EACH FACADE OF THE BUILDING:  
REFER TO ELEVATIONS ON SHEETS A200 & A201 FOR PROPOSED DESIGN CHANGES
13. LIST OF ALL MATERIALS TO BE USED FOR THE BUILDING, MARKED ON THE ELEVATION DRAWINGS:  
REFER TO ELEVATION TAGS AND ITEMS IN #15, REQUESTED DESIGN CHANGES
14. DETAILS OF EXISTING OR PROPOSED LIGHTING, SIGNAGE AND OTHER PERTINENT DEVELOPMENT FEATURES  
EXISTING WALL MOUNTED SITE LIGHTS, TO REMAIN.  
SIGNS BY OTHERS, REFER TO EXTERIOR ELEVATIONS A200 & A201
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18. ANY OTHER INFORMATION REQUESTED IN WRITING BY THE PLANNING DIVISION, THE DRB OR THE BUILDING OFFICIAL DEEMED IMPORTANT TO THE DEVELOPMENT

**4N**  
**NUDELL ARCHITECTS**

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project title  
**JAX KAR WASH**

34745 WOODWARD AVE,  
CITY OF BIRMINGHAM, MI 48009

sheet title  
**PROPOSED EXTERIOR ELEVATIONS**  
DO NOT SCALE DRAWINGS  
USE FIGURED DIMENSIONS ONLY

project number  
**2018-052**

drawn **BDL**  
checked **BDL**  
approved **JHN**

issued for **date**  
OWNER REVIEW **6/7/19**  
SPA - PRELIMINARY **7/3/19**  
SPA - SECOND SUBMIT **8/28/19**

sheet  
**A201**

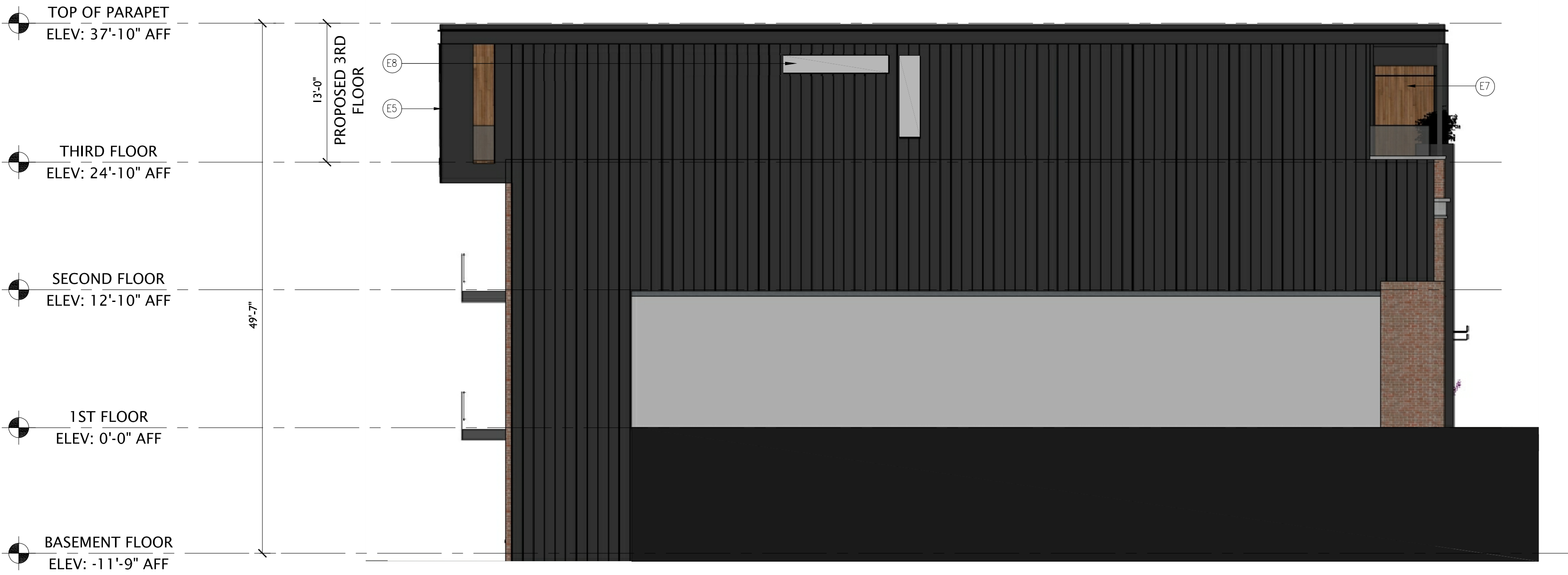


Exterior Material Finishes				
TAG	MATERIAL	MFR.	COLOR / STYLE	REMARKS/ NOTES
E1	STONE	ARRISCRAFT INTERNATIONAL OR APPROVED EQUAL	RENAISSANCE COLLECTION COLOUR - MONTECITO	
E2	PRE-CAST STONE CAP	ARRISCRAFT INTERNATIONAL OR APPROVED EQUAL	PRECAST STONE TO MATCH ABOVE	
E3	NEW BRICK TO MATCH EXIST.	RECLAIMED BRICK	TO MATCH EXISTING	
E4	EXISTING BRICK	--	--	
E5	STANDING SEAM METAL SIDING	PAC-CLAD SNAP CLAD PANELS OR APPROVED EQUAL	MIDNIGHT BRONZE	
E6	PRE-FINISHED METAL	PAC-CLAD BREAK SHAPE METAL OR APPROVED EQUAL	MIDNIGHT BRONZE	
E7	CEDAR WOOD SIDING	LONGBOARD WOOD GRAIN ALUM. PLANKS OR APPROVED EQUAL	LIGHT CHERRY	
E8	DARK ALUM FRAME WINDOWS	TUBELITE OR APPROVED EQUAL	EXTRA DARK BRONZE	
E9	ALUM ENTRANCE DOOR	TUBELITE OR APPROVED EQUAL	EXTRA DARK BRONZE	

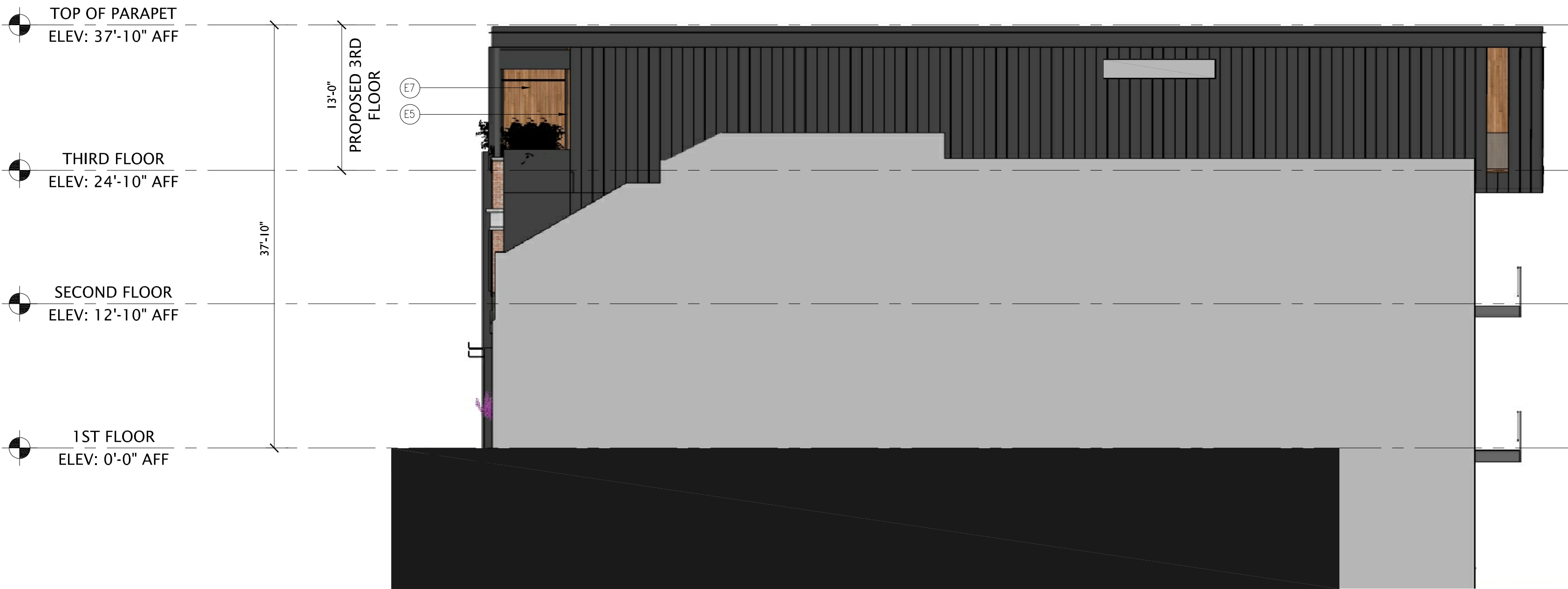
LEGEND

XX - RE: EXTERIOR FINISH SCHEDULE

Variance Chart				
Requested Variance	Required	Existing	Proposed	Variance Amount
Variance A Front Setback on 3rd floor 3.04 A-1(f)	10.00 feet	N/A	0 feet	10.00 feet



2 NORTH ELEVATION - SIDE  
SCALE: 1/8"



1 SOUTH ELEVATION - SIDE  
SCALE: 1/8"

DATE	ISSUED FOR	REV
07/22/2019	PRELIM. SITE PLAN APPROVAL	0
07/22/2019	BOARD OF ZONING APPEALS	1
		2

This drawing has been prepared solely for the use of Najor Companies and there are no representations of any kind made by NORR LLC to any party with whom NORR LLC has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Keyplan

North Arrow

Detail Symbol

Detail No.  
Sheet No.

Seal(s)

**NORR**

NORR LLC  
An Ingenium Group Company

150 W. Jefferson Ave., Suite 1300  
Detroit, Michigan, 48226 USA  
www.norr.com

Project Manager C. LANQUE	Drawn
Project Leader	Checked
Client Najor Companies 600 N. Old Woodward Suite 100 Birmingham, MI 48009	
Project ADDITION AND RENOVATION 720-726 N. OLD WOODWARD AVE. BIRMINGHAM, MI	
Drawing Title  COLORED ELEVATIONS	
Project No.	JCDT18-0360
Drawing No.	03-02



















SW 6910 | Daisy

131-C6

SW 6910  
Daisy

131-C6

SW 2848 | Roycroft Pewter

SW 2848  
Roycroft Pewter

SW 2848 | Roycroft Pewter

SW 2848  
Roycroft Pewter

SW 2836 | Quartersawn Oak

SW 2836  
Quartersawn Oak





## SECTION 084113 - ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS

This suggested guide specification has been developed using the current edition of the Construction Specifications Institute (CSI) "Manual of Practice", including the recommendations for the CSI 3 Part Section Format and the CSI Page Format. Additionally, the development concept and organizational arrangement of the American Institute of Architects (AIA) MASTERSPEC Program has been recognized in the preparation of this guide specification. Neither CSI, AIA, USGBC nor ILFI endorse specific manufacturers and products. The preparation of the guide specification assumes the use of standard contract documents and forms, including the "Conditions of the Contract", published by the AIA.

### PART 1 - GENERAL

#### 1.1 Related Documents

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

#### 1.2 Summary

*EDITOR NOTE: CHOOSE DOOR TYPE (250T, 350T or 500T) BASED ON PROJECT REQUIREMENTS.*

- A. This Section includes Kawneer Thermally Broken Aluminum Entrances, glass and glazing, and door hardware and components.
1. Types of Kawneer Thermally Broken Aluminum Entrances include:
    - a. 250T Insulpour™ Thermal Entrance; Narrow stile, 2-1/2" (63.5 mm) vertical face dimension, 2-1/4" (57 mm) depth, moderate traffic applications.
    - b. 350T Insulpour™ Thermal Entrance; Medium stile, 3-1/2" (88.9 mm) vertical face dimension, 2-1/4" (57 mm) depth, high traffic applications.
    - c. 500T Insulpour™ Thermal Entrance; Wide stile, 5" (127 mm) vertical face dimension, 2-1/4" (57 mm) depth, high traffic applications.

*EDITOR NOTE: BELOW RELATED SECTIONS ARE SPECIFIED ELSEWHERE. HOWEVER, KAWNEER RECOMMENDS SINGLE SOURCE RESPONSIBILITY FOR ALL OF THESE SECTIONS AS INDICATED IN PART 1.6 QUALITY ASSURANCE.*

- B. Related Sections:
1. 072700 "Air Barriers"
  2. 079200 "Joint Sealants"
  3. 083213 "Sliding Aluminum-Framed Glass Doors"
  4. 084313 "Aluminum-Framed Storefronts"
  5. 084329 "Sliding Storefronts"
  6. 084413 "Glazed Aluminum Curtain Walls"
  7. 084433 "Sloped Glazing Assemblies"
  8. 085113 "Aluminum Windows"
  9. 086300 "Metal-Framed Skylights"
  10. 087000 "Hardware"
  11. 088000 "Glazing"
  12. 280000 "Electronic Safety and Security"

#### 1.3 Definitions

- A. Definitions: For fenestration industry standard terminology and definitions refer to American Architectural Manufacturers Association (AAMA) – AAMA Glossary (AAMA AG).

#### 1.4 Performance Requirements

- A. General Performance: Aluminum-framed entrance doors shall withstand the effects of the following performance requirements without exceeding performance criteria or failure due to defective manufacture, fabrication, installation, or other defects in construction:
- B. Aluminum-Framed Entrance Performance Requirements:

*EDITOR NOTE: PROVIDE WIND LOAD DESIGN PRESSURES IN PSF AND INCLUDE APPLICABLE BUILDING CODE AND YEAR EDITION.*

1. Wind loads: Provide entrance system; include anchorage, capable of withstanding wind load design pressures of (\_\_\_\_) lbs./sq. ft. inward and (\_\_\_\_) lbs./sq. ft. outward. The design pressures are based on the (\_\_\_\_) Building Code; (\_\_\_\_) Edition.
2. Air Infiltration: For single acting offset pivot or butt hung entrances in the closed and locked position, the test specimen shall be tested in accordance with ASTM E 283 at a pressure differential of 1.57 psf (75 Pa) for pairs of doors. A single 3'0" x 7'0" (915 mm x 2134 mm) entrance door and frame shall not exceed 1.0 cfm/ft². A pair of 6'0" x 7'0" (1830 mm x 2134 mm) entrance doors and frame shall not exceed 1.0 cfm per square foot.

3. Uniform Load Deflection: A static air design load of;
  - 250T:** 50.13 psf (2400 Pa) for single doors and 40.10 psf (1920 Pa) for pairs of doors.
  - 350T:** 60.15 psf (2880 Pa) for single doors and 50.13 psf (2400 Pa) for pairs of doors.
  - 500T:** 70.19 psf (3360 Pa) for single doors and 60.15 psf (2880 Pa) for pairs of doors.

shall be applied in the positive and negative direction in accordance with ASTM E 330. There shall be no deflection in excess of L/175 for typical application or L/180 for Small-Missile and Large-Missile impact, of the span of any framing member. At a structural test load equal to 1.5 times the specified design load, no glass breakage or permanent set in the framing members in excess of 0.2% of their clear spans shall occur.
4. Windborne-Debris-Impact Resistance Performance: **350T** and **500T**, Shall be tested in accordance with ASTM E1886, information in ASTM E1996, and TAS 201/203.
  - a. Large-Missile Impact: For aluminum-framed systems located within 30 feet (9.1m) of grade.
  - b. Small-Missile Impact: For aluminum-framed systems located above 30 feet (9.1 m) of grade.
5. Blast Mitigation Performance: **350T** and **500T**, shall be tested or proven through analysis to meet ASTM F2927, GSA-TS01, and UFC 04-010.01 performance criteria.
 

To meet UFC 04-010-01, B-3.3 Standard 12 for exterior doors and Standard 10 for glazing and frame bite provisions, the following options are available:

  - a. Section B-3.1.1 Dynamic analysis
  - b. Section B-3.1.2 Testing
  - c. Section B-3.1.3 ASTM F2248 Design Approach
6. Forced Entry: Tested in accordance with AAMA 1304.

**EDITOR NOTE: THERMAL TRANSMITTANCE AND CONDENSATION RESISTANCE PERFORMANCE RESULTS ARE BASED UPON 1" CLEAR INSULATING GLASS (1/4" CLEAR WITH  $\epsilon=0.035$  LOW E COATING ON #2 SURFACE, 1/2" AS WITH WARM EDGE SPACER AND 90% ARGON GAS FILL, 1/4" CLEAR).**

7. Energy Efficiency:
    - a. Thermal Transmittance (U-factor): When tested to AAMA Specification 1503, the thermal transmittance (U-factor) shall not be more than:
      - 1) **250T:** Insulated Glass – 0.52 (low-e) or Project Specific (\_\_\_\_) BTU/hr/ft<sup>2</sup>/°F per AAMA 507 or (\_\_\_\_) BTU/hr/ft<sup>2</sup>/°F per AAMA 507 per NFRC 100.
    - b. Solar Heat-Gain Coefficient (SHGC) : Glazed thermally broken aluminum door and frame shall have a Solar Heat Gain Coefficient (SHGC) of no greater than (\_\_\_\_) **<Insert value>** as determined according to NFRC 200.
    - c. Visible Transmittance (VT): Glazed thermally broken aluminum door and frame shall have a Visible Transmittance (VT) of no greater than (\_\_\_\_) **<Insert value>** as determined according to NFRC 200.
  8. Condensation Resistance Factor (CRF): When tested to AAMA Specification 1503, the condensation resistance factor shall not be less than:
    - a. **250T:** Insulated Glass – 49<sub>frame</sub> and 68<sub>glass</sub> (low-e).
  9. Condensation Resistance Factor (I): When tested to CSA A440, the condensation resistance factor shall not be less than:
    - a. **250T:** Insulated Glass – 37<sub>frame</sub> and 66<sub>glass</sub> (low-e).
  10. Sound Transmission Class (STC) and Outdoor-Indoor Transmission Class (OITC): When tested in accordance with ASTM E 90, the STC and OITC ratings shall not be less than:
    - a. **250T:** 37 (STC) and 32 (OITC).
- C. Environmental Product Declarations (EPD): Shall have a Type III Product-Specific EPD.

Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.  
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## 1.5 Submittals

**EDITOR NOTE: ADD RECYCLED CONTENT SECTION IF REQUIRED TO MEET PROJECT REQUIREMENTS AND/OR GREEN BUILDING CERTIFICATIONS SUCH AS LEED, LIVING BUILDING CHALLENGE (LBC), ETC. ARE REQUIRED.**

**\* IF RECYCLED CONTENT REQUIREMENTS ARE NOT SPECIFIED - PRIME (ZERO RECYCLED CONTENT) ALUMINUM COULD BE SUPPLIED.**

- A. Product Data: Include construction details, material descriptions, and fabrication methods, dimensions of individual components and profiles, hardware, finishes, and installation instructions for each type of aluminum-framed entrance door indicated.
  - 1. Recycled Content:
    - a. Provide documentation that aluminum has a minimum of 50% mixed pre- and post-consumer recycled content with a sample document illustrating project specific information that will be provided after product shipment.
    - b. Once product has shipped, provide project specific recycled content information, including:
      - 1) Indicate recycled content; indicate percentage of pre- and post-consumer recycled content per unit of product.
      - 2) Indicate relative dollar value of recycled content product to total dollar value of product included in project.
      - 3) Indicate location recovery of recycled content.
      - 4) Indicate location of manufacturing facility.
  - 2. Environmental Product Declaration (EPD):
    - a. Include a Type III Product-Specific EPD.
- B. Shop Drawings: Include plans, elevations, sections, details, hardware, and attachments to other work, operational clearances and installation details.
- C. Samples for Initial Selection: For units with factory-applied color finishes including samples of hardware and accessories involving color selection.
- D. Samples for Verification: For aluminum-framed door and components required.
- E. Product Test Reports: Based on evaluation of comprehensive tests performed by a qualified testing agency for each type of aluminum-framed entrance doors.
- F. Fabrication Sample: Corner sample consisting of a door stile and rail, of full-size components and showing details of the following:
  - 1. Joinery, including welds.
  - 2. Glazing.
- G. Other Action Submittals:
  - 1. Entrance Door Hardware Schedule: Prepared by or under the supervision of supplier, detailing fabrication and assembly of entrance door hardware, as well as procedures and diagrams. Coordinate final entrance door hardware schedule with doors, frames, and related work to ensure proper size, thickness, hand, function, and finish of entrance door hardware.

## 1.6 Quality Assurance

- A. Installer Qualifications: An installer which has had successful experience with installation of the same or similar units required for the project and other projects of similar size and scope.
- B. Manufacturer Qualifications: A manufacturer capable of fabricating thermally broken aluminum-framed entrance doors and storefronts that meet or exceed performance requirements indicated and of documenting this performance by inclusion of test reports and calculations.
- C. Source Limitations: Obtain thermally broken aluminum-framed door through one source from a single manufacturer.
- D. Product Options: Drawings indicate size, profiles, and dimensional requirements of aluminum-framed glass entrance doors and are based on the specific system indicated. Refer to Division 01 Section "Product Requirements". Do not modify size and dimensional requirements.
  - 1. Do not modify intended aesthetic effects, as judged solely by Architect, except with Architect's approval. If modifications are proposed, submit comprehensive explanatory data to Architect for review.
- E. Mockups: Build mockups to verify selections made under sample submittals and to demonstrate aesthetic effects and set quality standards for materials and execution.
  - 1. Build mockup for type(s) of swing entrance door(s) indicated, in location(s) shown on Drawings.
- F. Pre-installation Conference: Conduct conference at Project site to comply with requirements in Division 01 Section "Project Management and Coordination."

**1.7 Project Conditions**

- A. Field Measurements: Verify actual dimensions of thermally broken aluminum-framed door openings by field measurements before fabrication and indicate field measurements on Shop Drawings.

**1.8 Warranty**

- A. Manufacturer's Warranty: Submit, for Owner's acceptance, manufacturer's standard warranty.
1. Warranty Period: Two (2) years from Date of Substantial Completion of the project provided however that the Limited Warranty shall begin in no event later than six months from date of shipment by manufacturer.

**PART 2 - PRODUCTS****2.1 Manufacturers**

**EDITOR NOTE: CHOOSE DOOR TYPE (250T, 350T or 500T) BASED ON PROJECT REQUIREMENTS.**

A. Basis-of-Design Product:

1. Kawneer Company Inc.
2. The door stile and rail face dimensions of the [ ] (choose one: 250T, 350T or 500T) Insulpour™ Thermal Entrance will be as follows:

Door	Vertical Stile	Top Rail	Standard Bottom Rail	Select Optional Bottom Rail
<b>250T:</b>	2-1/2" (63.5 mm)	2-15/16" (74.6 mm)	3-7/8" (98.4 mm)	6-1/2" (165.1 mm) 7" (177.8 mm) 10" (254 mm) 12" (304.8 mm)
<b>350T:</b>	3-1/2" (88.9 mm)	3-1/2" (88.9 mm)	6-1/2" (165.1 mm)	7" (177.8 mm) 10" (254 mm) 12" (304.8 mm)
<b>500T:</b>	5" (127 mm)	5" (127 mm)	6-1/2" (165.1 mm)	7" (177.8 mm) 10" (254 mm) 12" (304.8 mm)

3. Major portions of the door members to be 0.125" (3.2 mm) nominal in thickness and glazing molding to be 0.05" (1.3 mm) thick
4. Glazing gaskets shall be either EPDM elastomeric extrusions or a thermoplastic elastomer.
5. Provide adjustable glass jacks to help center the glass in the door opening.

**EDITOR NOTE: PROVIDE INFORMATION BELOW INDICATING APPROVED ALTERNATIVES TO THE BASIS-OF-DESIGN PRODUCT.**

B. Subject to compliance with requirements, provide a comparable product by the following:

1. Manufacturer: ( )
2. Series: ( )
3. Profile dimension: ( )
4. Performance Grade: ( )

C. Substitutions: Refer to Substitutions Section for procedures and submission requirements

1. Pre-Contract (Bidding Period) Substitutions: Submit written requests ten (10) days prior to bid date.
2. Post-Contract (Construction Period) Substitutions: Submit written request in order to avoid installation and construction delays.
3. Product Literature and Drawings: Submit product literature and drawings modified to suit specific project requirements and job conditions.
4. Certificates: Submit certificate(s) certifying substitute manufacturer (1) attesting to adherence to specification requirements for aluminum entrance and storefront system performance criteria, and (2) has been engaged in the design, manufacturer and fabrication of aluminum entrances and storefronts for a period of not less than ten (10) years. (Company Name)
5. Test Reports: Submit test reports verifying compliance with each test requirement required by the project.
6. Samples: Provide samples of typical product sections and finish samples in manufacturer's standard sizes.

D. Substitution Acceptance: Acceptance will be in written form, either as an addendum or modification, and documented by a formal change order signed by the Owner and Contractor.

Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.  
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## 2.2 Materials

- A. Aluminum Extrusions: Alloy and temper recommended by aluminum-framed door manufacturer for strength, corrosion resistance, and application of required finish and not less than 0.125" (3.2 mm) wall thickness at any location for the main frame and door leaf members.

*EDITOR NOTE: ADD RECYCLED CONTENT SECTION IF REQUIRED TO MEET PROJECT REQUIREMENTS AND/OR GREEN BUILDING CERTIFICATIONS SUCH AS LEED, LIVING BUILDING CHALLENGE (LBC), ETC. ARE REQUIRED.*

*\* IF RECYCLED CONTENT REQUIREMENTS ARE NOT SPECIFIED - PRIME (ZERO RECYCLED CONTENT) ALUMINUM COULD BE SUPPLIED.*

1. Recycled Content: Shall have a minimum of 50% mixed pre- and post-consumer recycled content.
  - a. Indicate recycled content; indicate percentage of pre-consumer and post-consumer recycled content per unit of product.
  - b. Indicate relative dollar value of recycled content product to total dollar value of product included in project.
  - c. Indicate location recovery of recycled content.
  - d. Indicate location of manufacturing facility.
- B. Fasteners: Aluminum, nonmagnetic stainless steel or other materials to be non-corrosive and compatible with aluminum-framed door members, trim hardware, anchors, and other components.
- C. Anchors, Clips, and Accessories: Aluminum, nonmagnetic stainless steel, or zinc-coated steel or iron complying with ASTM B 633 for SC 3 severe service conditions or other suitable zinc coating; provide sufficient strength to withstand design pressure indicated.
- D. Reinforcing Members: Aluminum, nonmagnetic stainless steel, or nickel/chrome-plated steel complying with ASTM B 456 for Type SC 3 severe service conditions, or zinc-coated steel or iron complying with ASTM B 633 for SC 3 severe service conditions or other suitable zinc coating; provide sufficient strength to withstand design pressure indicated.
- E. Slide-In-Type Weather Stripping: Provide woven-pile weather stripping of wool, polypropylene, or nylon pile and resin-impregnated backing fabric. Comply with AAMA 701/702.
  1. Weather Seals: Provide weather stripping with integral barrier fin or fins of semi-rigid, polypropylene sheet or polypropylene-coated material. Comply with AAMA 701/702.
- F. Thermal Barrier: Shall be IsoPour™ utilizing two continuous rows of polypropylene with a nominal 7/32" (5.5 mm) separation consisting of a two-part, chemically curing high density polyurethane which is mechanically and adhesively bonded to the aluminum at door rails and stiles.

## 2.3 Storefront Framing System

*EDITOR NOTE: CHOOSE ENTRANCE FRAMING TYPE BASED ON PROJECT REQUIREMENTS.*

- A. Storefront Entrance Framing:
1. Trifab™ VG 451T
  2. Trifab™ 451UT
  3. Trifab™ 601/601T
  4. Thermally Broken entrance Framing - Kawneer IsoLock™ Thermal Break with a 1/4" (6.4 mm) separation consisting of a two-part chemically curing, high-density polyurethane, which is mechanically and adhesively joined to aluminum storefront sections.
    - a. Thermal Break shall be designed in accordance with AAMA TIR-A8 and tested in accordance with AAMA 505.
- B. Reinforcements: Manufacturer's standard high-strength aluminum with nonstaining, nonferrous shims for aligning system components.
- C. Fasteners and Accessories: Manufacturer's standard corrosion-resistant, nonstaining, nonbleeding fasteners and accessories compatible with adjacent materials. Where exposed shall be stainless steel.
- D. Perimeter Anchors: When steel anchors are used, provide insulation between steel material and aluminum material to prevent galvanic action.
- E. Packing, Shipping, Handling and Unloading: Deliver materials in manufacturer's original, unopened, undamaged containers with identification labels intact.
- F. Storage and Protection: Store materials protected from exposure to harmful weather conditions. Handle storefront material and components to avoid damage. Protect storefront material against damage from elements, construction activities, and other hazards before, during and after storefront installation.

## 2.4 Glazing

- A. Glazing: As specified in Division 08 Section "Glazing".
- B. Glazing Gaskets: Manufacturer's standard compression types; replaceable, extruded EPDM rubber.
- C. Spacers and Setting Blocks: Manufacturer's standard elastomeric type.

**2.5 Hardware**

- A. General: Provide manufacturer's standard hardware fabricated from aluminum, stainless steel, or other corrosion-resistant material compatible with aluminum; designed to smoothly operate, tightly close, and securely lock aluminum-framed entrance doors.
- B. Standard Hardware:
1. Weather-stripping:
    - a. Meeting stiles on pairs of doors shall be equipped with two lines of weather-stripping utilizing wool pile with polymeric fin.
    - b. The door weathering on a single acting offset pivot or butt hung door and frame (single or pairs) shall be comprised of a thermoplastic elastomer weathering on a tubular shape with a semi-rigid polymeric backing and a wool pile with polymeric fin.
  2. Sill Sweep Strips: EPDM blade gasket sweep strip in an aluminum extrusion applied to the interior exposed surface of the bottom rail with concealed fasteners (Necessary to meet specified performance tests).
  3. Threshold: Extruded aluminum, thermally broken, with ribbed surface.
  4. Offset Pivots: [\_\_\_\_\_]. (Note: EL Offset Pivot available for access control)
  5. Butt Hinge: [\_\_\_\_\_]. Kawneer Standard is Stainless Steel w/ Powder Coating & Non Removable Pin (NRP) (NOTE: EL Hinge available for access control)
  6. Continuous Hinge: [\_\_\_\_\_].
  7. Push/Pull: [\_\_\_\_\_] style.
  8. Exit Device: [\_\_\_\_\_].
  9. Closer: [\_\_\_\_\_].
  10. Security Lock/Dead Lock: Active Leaf [\_\_\_\_\_]; Inactive Leaf [\_\_\_\_\_].
  11. Latch Handle: [\_\_\_\_\_].
  12. Cylinder(s)/Thumbturn: [\_\_\_\_\_].
  13. Electric Strike/Strike Keeper: [\_\_\_\_\_].
- C. Optional Hardware:

**EDITOR NOTE: SUBSTITUTE OPTIONAL HARDWARE PER PROJECT REQUIREMENTS.**

1. Adams Rite MS 1850A-505 Hookbolt Lock.
2. Mortise cylinder, interior or exterior.
3. Thumbturn, interior.
4. Flush pull.

**2.6 Fabrication**

- A. Fabricate thermally broken aluminum-framed entrance doors in sizes indicated. Include a complete system for assembling components and anchoring doors.
- B. Fabricate thermally broken aluminum-framed doors that are reglazable without dismantling perimeter framing.
1. Door corner construction shall consist of mechanical clip fastening, SIGMA deep penetration plug welds and 1" (25.4 mm) long fillet welds inside and outside of all four corners. Glazing stops shall be hook-in type with EPDM glazing gaskets reinforced with non-stretchable cord.
  2. Accurately fit and secure joints and corners. Make joints hairline in appearance.
  3. Prepare components with internal reinforcement for door hardware.
  4. Arrange fasteners and attachments to conceal from view.
- C. Weather-stripping: Provide weather-stripping locked into extruded grooves in door panels or frames as indicated on manufactures drawings and details.

**2.7 Aluminum Finishes**

- A. Finish designations prefixed by AA comply with the system established by the Aluminum Association for designating aluminum finishes.
- B. Factory Finishing:
1. Kawneer Permanodic™ AA-M10C21A44 / AA-M45C22A44, AAMA 611, Architectural Class I Color Anodic Coating (Color \_\_\_\_\_).
  2. Kawneer Permanodic™ AA-M10C21A41 / AA-M45C22A41, AAMA 611, Architectural Class I Clear Anodic Coating (Color #14 Clear) (Optional).
  3. Kawneer Permanodic™ AA-M10C21A31, AAMA 611, Architectural Class II Clear Anodic Coating (Color #17 Clear) (Standard).
  4. Kawneer Permafluor™ (70% PVDF), AAMA 2605, Fluoropolymer Coating (Color \_\_\_\_\_).
  5. Kawneer Permadiize™ (50% PVDF), AAMA 2604, Fluoropolymer Coating (Color \_\_\_\_\_).
  6. Kawneer Permacoat™ AAMA 2604, Powder Coating (Color \_\_\_\_\_)
  7. Other: Manufacturer \_\_\_\_\_ Type \_\_\_\_\_ Color \_\_\_\_\_.

Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.  
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## **PART 3 - EXECUTION**

### **3.1 Examination**

- A. Examine openings, substrates, structural support, anchorage, and conditions, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of work. Verify rough opening dimensions, levelness of sill plate and operational clearances. Examine wall flashings, vapor retarders, water and weather barriers, and other built-in components to ensure a coordinated installation.
  - 1. Masonry Surfaces: Visibly dry and free of excess mortar, sand, and other construction debris.
  - 2. Wood Frame Walls: Dry, clean, sound, well nailed, free of voids, and without offsets at joints. Ensure that nail heads are driven flush with surfaces in opening and within 3 inches (76 mm) of opening.
  - 3. Metal Surfaces: Dry; clean; free of grease, oil, dirt, rust, corrosion, and welding slag; without sharp edges or offsets at joints.
  - 4. Proceed with installation only after unsatisfactory conditions have been corrected.

### **3.2 Installation**

- A. Comply with Drawings, Shop Drawings, and manufacturer's written instructions for installing thermally broken aluminum-framed entrance doors, hardware, accessories, and other components.
- B. Install thermally broken aluminum-framed entrance doors level, plumb, square, true to line, without distortion or impeding thermal movement, anchored securely in place to structural support, and in proper relation to wall flashing and other adjacent construction.
- C. Set sill threshold in bed of sealant, as indicated, for weather tight construction.
- D. Separate aluminum and other corrodible surfaces from sources of corrosion or electrolytic action at points of contact with other materials.

### **3.3 Field Quality Control**

- A. Manufacturer's Field Services: Upon Owner's written request, provide periodic site visit by manufacturer's field service representative.

### **3.4 Adjusting, Cleaning, and Protection**

- A. Clean aluminum surfaces immediately after installing aluminum-framed door and storefronts. Avoid damaging protective coatings and finishes. Remove excess sealants, glazing materials, dirt, and other substances.
- B. Clean glass immediately after installation. Comply with glass manufacturer's written recommendations for final cleaning and maintenance. Remove nonpermanent labels, and clean surfaces.
- C. Remove and replace glass that has been broken, chipped, cracked, abraded, or damaged during construction period.

## **DISCLAIMER STATEMENT**

This guide specification is intended to be used by a qualified construction specifier. The guide specification is not intended to be verbatim as project specification without appropriate modifications for the specific use intended. The guide specification must be used and coordinated with the procedures of each design firm, and the particular requirements of a specific construction project.

## **END OF SECTION 084113**

Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

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**DATE:** July 1, 2020

**TO:** Planning Board

**FROM:** Jana Ecker, Planning Director

**SUBJECT:** Revised Draft of the Planning Board's Action List

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In March of each year the Planning Division prepares an Annual Report to the City Commission outlining the activities of several boards and commissions over the previous year, as well as an action list of identified priority items for the boards for consideration over the coming year. The Planning Board's Action List is included in the Annual Report each year. The Planning Board's Action List is usually reviewed by the board in March prior to being sent to the City Commission. However, due to the cancellation of numerous meetings in March 2020 the list was not reviewed this year by the Planning Board.

In recent years, the City Commission has also updated the Planning Board's Action List after joint City Commission / Planning Board meetings as new planning issues for discussion arise. From this list, the Planning Board and the City Commission have the opportunity to evaluate the Planning Board's goals and objectives, and make any needed amendments based on current priorities.

On June 15, 2020, the Planning Board and City Commission held a joint meeting to discuss a revised review process for drafts 1 – 3 of the 2040 Master Plan, and two other planning related issues. A detailed presentation was conducted to set out the proposed Master Plan review process endorsed by the Planning Board. The group also discussed potential changes to the review process for lot combinations and the potential use of incentives to encourage investment in the City.

On June 22, 2020, the City Commission directed staff to have the Planning Board review the current Action List and provide input based on current issues or based on the discussions at the most recent joint meeting of the City Commission and Planning Board. Accordingly, please find attached a revised draft of the Planning Board's 2020-2021 Action List for discussion and prioritization of the issues.

## Planning Board Action List – 2020 – 2021

	TOPIC	SPECIFIC DIRECTION/ PROBLEM DEFINITION	STUDY SESSION	PUBLIC HEARING	STATUS	NOTES
1	<b>Master Plan Update</b>	See RFP.	Charrette May 14-21, 2019 Drop-In Clinic July 8-10, 2019	Review of First Draft of Master Plan 10/19 – 3/20	In Progress	· Revise review process for Drafts 1-3 of Master Plan
2	<b>Solar Panel Review Process</b>	· Simplify the design review process for solar panel installation	01/08/20		In Progress	· Direction by City Commission on June 17, 2019
3	<b>Glazing Standards</b>	· Clarify the clear glazing standards	11/13/19 01/08/20		In Progress	·
4	<b>Balcony / Terrace Enclosures</b>	· Clarify the review process for enclosing outdoor living space · Develop regulations for materials, character etc. of enclosure systems	7/10/19		In Progress	· Direction by City Commission on June 17, 2019
5	<b>Lot Combination Process</b>	· Review the process for lot combinations to add clarity to approval standards				· Discussed at Joint Meeting on June 15, 2020
6	<b>Economic Stimulus Options</b>	· Consider whether to add economic or other incentives to encourage investment in the City				· Discussed at Joint Meeting on June 15, 2020

7	<b>Definition of Retail – Long Term Study</b>		8/10/16 3/29/17 5/10/17 6/14/17 1/10/18 3/14/18 4/11/18 5/9/18 6/13/18 6/18/18 7/11/18 7/25/18 8/3/18 (CC) 8/27/18 (CC) 10/24/18		On Hold Pending Master Plan	Recommend be considered as part of the Master Plan process
8	<b>Parking Issues:</b>  ✓ <b>Shared Parking</b>  ✓ <b>Parking Requirements</b>	✓ Evaluate the success/difficulties encountered in other communities ✓ Require a formal shared parking agreement  ✓ Review parking requirements for residential uses	8/10/16 2/8/17 3/29/17 5/10/17 7/12/17  7/11/18 7/25/18 8/13/18(CC) 2/13/19		On Hold Pending Master Plan   On Hold Pending Master Plan	Recommend be considered as part of the Master Plan process
9	<b>Encourage Housing Options that Young People and Empty Nesters can Afford</b>	✓ Study methods and ordinance amendments that could encourage and promote the creation of smaller dwelling units at lower prices			Related to Aging in Place	Recommend be considered as part of the Master Plan Process

<b>10</b>	<b>Aging in Place</b>	<ul style="list-style-type: none"> <li>Consider ordinance amendments to allow existing homes to be modified for increased accessibility</li> <li>Consider allowing multi-generational housing stock</li> <li>Encourage affordable housing opportunities</li> <li>Enhance public spaces to accommodate an aging population</li> </ul>			Related to Affordable Housing Options	<ul style="list-style-type: none"> <li>As discussed at the joint meeting of the City Commission / Planning Board on 10/15/18</li> </ul>
<b>11</b>	<b>South Woodward Gateway</b>	<ul style="list-style-type: none"> <li>Study the area along Woodward from 14 Mile Road to Lincoln to address parking and future development needs</li> </ul>				Recommend be considered as part of the Master Plan process
<b>12</b>	<b>Study Potential D5 Parcels</b>	<ul style="list-style-type: none"> <li>Consider whether to extend the D5 zoning from Hazel to Brown</li> </ul>				Recommend be considered as part of the Master Plan process

13	<b>Study Mixed Use Requirements</b>	<ul style="list-style-type: none"> <li>Consider changing the requirements for the stacking of mixed uses</li> </ul>				Recommend be considered as part of the Master Plan process
14	<b>Consider looking at principal uses allowed and add flexibility ("and other similar uses")</b>	<ul style="list-style-type: none"> <li>Evaluate the current system of listing only permitted uses in each zone district</li> <li>Determine whether to continue this system, or switch to broad use categories (ie. retail is permitted, instead of listing drugstore, shoe store, grocery store</li> </ul>				
15	<b>Potential residential zoning changes; MF &amp; MX garage doors</b>	<ul style="list-style-type: none"> <li>Consider adding garage placement standards and/or garage and garage door size or design standards for mixed use and multi-family residential developments</li> </ul>				



16	<b>Sustainable Urbanism (Green building standards, pervious surfaces, geothermal, native plants, low impact development etc.)</b>	<ul style="list-style-type: none"> <li>· Incentive option in Triangle District</li> <li>· Guest speakers in LEED Certification, Pervious Concrete, LED Lighting, Wind Power, Deconstruction</li> <li>· Sustainability website &amp; awards</li> <li>· Native Plant brochure</li> </ul>	2/09/2005 7/11/2007 8/08/2007 9/12/2007 1/9/2008 9/10/08 1/14/09 1/28/09 2/10/09 (LRP) 5/13/09 8/12/09 11/11/09 1/23/10 (LRP) 5/12/10 6/9/10	2/25/09 (PB - Solar) 1/13/10 (PB-Wind) 2/10/10 (PB-Wind) 6/14/2010 (CC-Wind)	Solar ordinance completed. Wind ordinance completed.	Recommend be considered as part of the Master Plan process
17	<b>Additional Items to be Considered during Master Plan Process</b>	<ul style="list-style-type: none"> <li>· Woodward Avenue Gateway Plan (Lincoln to 14 Mile Road)</li> <li>· Parking</li> <li>· Complete Streets</li> <li>· Regional Planning</li> </ul>	7/12/17		On Hold	
18	<b>Review Process for Public Projects</b>	<ul style="list-style-type: none"> <li>· Clarify review process for projects on public property</li> <li>· Consider requiring same site plan review process as that for private projects</li> </ul>				