

VIRTUAL MEETING OF THE BIRMINGHAM PLANNING BOARD
WEDNESDAY, APRIL 28, 2021
7:30 PM

<https://zoom.us/j/111656967> or dial: **877-853-5247 Toll-Free, Meeting Code: 111656967**

- A. Roll Call
- B. Review and Approval of the Minutes of the regular meeting of **April 14, 2021**
- C. Chairpersons' Comments
- D. Review of the Agenda
- E. Rezoning Request
 - 1. **300 & 394 S. Old Woodward, and portions of 294 E. Brown (Capital Title/Lutz & Frank's Shoe Service, portions of Coldwell Banker Weir Manual parking lot)**, Request for rezoning from B2/D3 to B2/D4 in the Downtown Overlay District.
- F. Zoning Ordinance Amendment Request
 - 1. Request for an amendment to Chapter 126, Zoning, Appendix 1, Exhibit A, to amend the Economic Development License map to include the properties at **300 & 394 S. Old Woodward, and portions of 294 E. Brown – New Construction (Capital Title/Lutz & Frank's Shoe Service, portions of Coldwell Banker Weir Manual parking lot)** on the map contained in Exhibit A to allow the use of economic development liquor licenses on these properties.
- G. Special Land Use Permit Reviews
 - 1. **300 & 394 S. Old Woodward, and portions of 294 E. Brown – New Construction (Capital Title/Lutz & Frank's Shoe Service, portions of Coldwell Banker Weir Manual parking lot)**, Request for a Special Land Use Permit to consider approval of a new 4 story building, including a request to operate a restaurant using an Economic Development Liquor License.
- H. Community Impact Study Review
 - 1. **300 & 394 S. Old Woodward, and portions of 294 E. Brown – New Construction (Capital Title/Lutz & Frank's Shoe Service, portions of Coldwell Banker Weir Manual parking lot)**, Community Impact Study to consider approval of a new 4 story building, including a request to operate a restaurant using an Economic Development Liquor License (**Continued from March 26, 2021**).
- I. Preliminary Site Plan Review
 - 1. **300 & 394 S. Old Woodward, and portions of 294 E. Brown – New Construction (Capital Title/Lutz & Frank's Shoe Service, portions of Coldwell Banker Weir Manual parking lot)**, Preliminary Site Plan Review to consider approval of a new 4 story building, including a request to operate a restaurant using an Economic Development Liquor License (**Continued from March 26, 2021**).

Notice: Due to Building Security, public entrance during non-business hours is through the Police Department—Pierce St. Entrance only. Individuals with disabilities requiring assistance to enter the building should request aid via the intercom system at the parking lot entrance gate on Henrietta St.

Persons with disabilities that may require assistance for effective participation in this public meeting should contact the City Clerk's Office at the number (248) 530-1880, or (248) 644-5115 (for the hearing impaired) at least one day before the meeting to request help in mobility, visual, hearing, or other assistance.

Las personas con incapacidad que requieren algún tipo de ayuda para la participación en esta sesión pública deben ponerse en contacto con la oficina del escribano de la ciudad en el número (248) 530-1800 o al (248) 644-5115 (para las personas con incapacidad auditiva) por lo menos un día antes de la reunión para solicitar ayuda a la movilidad, visual, auditiva, o de otras asistencias. (Title VI of the Civil Rights Act of 1964).

J. Miscellaneous Business and Communications:

1. Communications – **No meeting May 12, 2021 (Eid) – Move PHs to June 9, 2021**
2. Administrative Approval Correspondence
3. Draft Agenda for the next Regular Planning Board Meeting **(May 26, 2021)**
4. Other Business

K. Planning Division Action Items

- a. Staff Report on Previous Requests
- b. Additional Items from tonight's meeting

L. Adjournment

City Of Birmingham
Regular Meeting Of The Planning Board
Wednesday, April 14, 2021

Held Remotely Via Zoom And Telephone Access

Minutes of the regular meeting of the City of Birmingham Planning Board held on April 14, 2021. Chair Scott Clein convened the meeting at 7:30 p.m.

A. Roll Call

Present: Chair Scott Clein; Board Members Robin Boyle, Stuart Jeffares, Bert Koseck, Daniel Share, Janelle Whipple-Boyce; Alternate Board Members Jason Emerine, Nasseem Ramin; Student Representative Daniel Murphy (all located in Birmingham, MI)

Absent: Board Member Bryan Williams; Student Representative Jane Wineman

Administration: Jana Ecker, Planning Director ("PD")
Nick Dupuis, City Planner ("CP")
Laura Eichenhorn, City Transcriptionist

Fleis and Vandenbrink:
Julie Kroll

04-048-21

B. Approval Of The Minutes Of The Regular Planning Board Meeting of March 24, 2021

Mr. Share recommended that Mike Kulka be described as an 'environmental engineer' on page three of the minutes.

Motion by Mr. Boyle
Seconded by Mr. Williams to approve the minutes of the Regular Planning Board Meeting of March 24, 2021 as amended.

Motion carried, 6-0.

ROLL CALL VOTE
Yeas: Boyle, Share, Koseck, Whipple-Boyce, Clein, Ramin
Nays: None
Abstain: Jeffares

04-049-21

C. Chair's Comments

Chair Clein welcomed everyone to the virtual meeting. He stated the meeting was being held under the auspices of state legislation. Chair Clein reviewed the meeting's procedures.

04-050-21

D. Review Of The Agenda

There were no changes to the agenda.

04-051-21

E. Special Land Use Permit and Final Site Plan and Design Review

1. 720 N. Old Woodward, Vinewood Bistro (Lower Level in Kohler Building), Special Land Use Permit and Final Site Plan and Design Review request to consider approval of Vinewood, a new bistro proposed at the rear of the building, including the service of alcoholic liquor (Postponed from February 24, 2021).

CP Dupuis presented the item.

In reply to Board inquiries, Planning Staff stated:

- Given the dimensions, there should not be an issue with a vehicle making a turn in the rear even if the two closest spots have vehicles in them. The Engineering Department reviewed the plans, including that aspect, and did not flag it as an issue. Only one vehicle would be able get through at a time.
- There is nothing in the ordinance that would prevent the use of painted gypsum board as part of the exterior.
- The rear of the building could be considered to have a 'pedestrian passage' as required by Item E in the bistro ordinance since there is a sidewalk lined by entrances to the buildings. It might also not qualify as a 'pedestrian passage' since the aforementioned entrances are not accessible to the public.
- While the ordinance would not prevent this bistro from being located in the front of the building, it might not be desirable since it would result in the loss of a parking spot.
- In contrast with previous years, the Commission did not request that the bistros be returned to them ranked in terms of priority.

Mr. Koseck said that if the rear of the building were considered a pedestrian passage then the rear facade would need to have 70% glazing. He said he did not believe the plans as proposed met the spirit or intent of the bistro ordinance, which is to create dialogue between the interior and exterior.

Roman Bonislowski spoke on behalf of the applicant. He stated:

- The proposed lighting would only slightly extend the existing lighting. The lighting would need to remain as-proposed in order to maintain sufficient safe lighting for the patio. The lighting would meet the zero condition at the edge of the ramp. A shield component could be added to the top of the wall to trap light. The lights in the front of the building could be reduced.
- The applicant team is fully aware of the permitting requirements for floodwater areas.
- The rear of the building should be described as a pedestrian path.

Chair Clein stated that all emails from the public were received by both Staff and the Board.

Public Comment

Kristen Tait, Drew Detling, and Kristen Bongiovanni, residents of Brookside Street, spoke against many aspects of the Vinewood bistro proposal due to the impact it could have on their enjoyment of their properties. The main concerns mentioned were noise, hours of operation, the size of the proposed restaurant and the strain it would put on the area's parking.

Ms. Tait noted that in her email she meant to write 'Maplewood' and not 'Merrillwood'. She also suggested that the City should focus more on moving bistros and other establishments into vacancies in the downtown area instead of into the neighborhoods.

John Roselli spoke as the owner of the adjacent building. He said he was concerned about retaining his residential tenant on the upper floor of the building due to the hours of operation, likely parking difficulties, potential noise issues and pedestrian safety in the rear of the building. He said the dumpsters were consistently neglected by the owner and stated that he has cleaned around them hundreds of times in his fifteen years of ownership of the building.

The Chair returned the conversation to the Board.

Mr. Boyle expressed concern about the potential environmental impact of the proposal on the Rouge River.

Mr. Share observed that the applicant would not be able to move forward with operation unless a permit is secured from EGLE.

Both Mr. Share and Ms. Whipple-Boyce stated that the rear of the building was not a pedestrian passage. They also agreed that while the 'winter garden' aspect of the plans was creative, it was not outdoor space. Both concurred that the project would not meet the intent of the bistro ordinance in terms of activating the street.

Mr. Share also expressed concerns regarding the potential noise, dumpster issues, and pedestrian conflict with vehicles accessing the adjacent building.

Chair Clein and Mr. Koseck both agreed that while they appreciated many aspects of the project there were too many misalignments between the current proposal, the proposed location, and the bistro ordinance.

Chair Clein commented that the likelihood of the project receiving the necessary permits to operate in the floodplain was low and the cost would be high. He said he was aware that was a permitting issue and not a site plan one. He said the proposal would be more appropriate if it were located elsewhere in the City.

Motion by Mr. Share

Seconded by Mr. Koseck to recommend denial to the City Commission the Special Land Use Permit for 720 N. Old Woodward – Vinewood Bistro – because the proposal fails to satisfy the spirit and intent of the Zoning Ordinance as required in Section 7.26 and 7.27, specifically the outdoor enclosure issue of 3.04(c)(10)(h), and the ‘no permanent structure requirement’ of Section 3.04(c)(10)(i), as well as floodplain, dumpster, pedestrian interaction and storefront issues.

Mr. Koseck said the seating limits in the bistro ordinance were a key part of its appeal and efficacy. He noted that the area in the rear of 720 N. Old Woodward would be difficult to police. He also noted that even if the Planning Board did endorse the proposed plans the applicant would still have to appear before the Board of Zoning Appeals for a number of variance requests.

Motion carried, 7-0.

ROLL CALL VOTE

Yeas: Share, Koseck, Jeffares, Whipple-Boyce, Clein, Ramin, Boyle

Nays: None

Motion by Mr. Share

Seconded by Mr. Koseck to recommend denial to the City Commission the final site plan and design review for 720 N. Old Woodward – Vinewood Bistro – because the proposal fails to satisfy the spirit and intent of the Zoning Ordinance as required in Section 7.26 and 7.27, specifically the outdoor enclosure issue of 3.04(c)(10)(h), and the ‘no permanent structure requirement’ of Section 3.04(c)(10)(i), as well as floodplain, dumpster, pedestrian interaction and storefront issues.

Motion carried, 7-0.

ROLL CALL VOTE

Yeas: Share, Koseck, Jeffares, Whipple-Boyce, Clein, Ramin, Boyle

Nays: None

04-052-21

F. Study Session Items

1. Solar Panel Regulations

CP Dupuis summarized the item.

Mr. Jeffares recommended the City enlist an expert in solar panels to review the ordinance proposal in order to avoid potentially having to re-do or update the ordinance earlier than necessary. Mr. Jeffares also recommended that the ordinance language specifically preclude wall- or facade-mounted solar panels, stating that it is aesthetically displeasing and could cause issues with neighboring properties.

Chair Clein concurred with Mr. Jeffares' recommendation regarding wall- or facade-mounted solar panels.

Mr. Boyle asked if there was any near-future technology the ordinance should address.

Chair Clein said that strips of solar panels being used to line bicycle paths was being tried in Europe, but that wide-spread implementation would not be in the near future.

In reply to Mr. Share, CP Dupuis said he did not recommend screening for ancillary equipment because it would increase the difficulty of installation and maintenance. CP Dupuis noted this ordinance review was being conducted with an aim towards reducing the impediments to using solar panels in the City. He added that users of solar panels also needed quick access to disconnect features.

Mr. Share recommended that the ordinance states that users of solar panels are not exempt from screening otherwise required by the Zoning Ordinance.

CP Dupuis said he could update the recommended ordinance language with the Board's comments and have it ready for a public hearing on May 12, 2021.

**Motion by Mr. Boyle
Seconded by Mr. Jeffares to set a public hearing on solar panel regulations ordinance language for the regular Planning Board meeting of May 12, 2021.**

Motion carried, 7-0.

ROLL CALL VOTE

Yeas: Boyle, Jeffares, Whipple-Boyce, Clein, Ramin, Share, Koseck

Nays: None

2. Glazing Standards

CP Dupuis summarized the item.

Mr. Share said he had recent occasion to purchase some low-iron glass, and that it added about 15% to the cost. He stated that he found the difference between low-iron and regular glass to be immaterial. He suggested that the low-iron requirement be removed from the recommended language, saying he thought it inappropriate to burden owners and developers with the extra cost.

Mr. Koseck and Ms. Whipple-Boyce, two other members of the Board familiar with glazing standards from their professions, did not dispute Mr. Share's recommendation when asked.

Motion by Mr. Share

Seconded by Ms. Whipple-Boyce to set a public hearing on Article 9, Section 9.02 Definition of Clear Glazing as presented without the reference to low-iron content for the regular Planning Board meeting of May 12, 2021.

Motion carried, 7-0.

ROLL CALL VOTE

Yeas: Share, Whipple-Boyce, Clein, Ramin, Koseck, Boyle, Jeffares

Nays: None

04-053-21

**G. Miscellaneous Business and Communications:
a. Communications**

PD Ecker reminded the Board that the Commission would be holding a special meeting regarding the 2040 Master Plan on April 19, 2021 and that the Board had been asked to attend.

b. Administrative Approval Correspondence

CP Dupuis explained that the owner of EM Bistro wanted to change their outdoor dining chairs to sculptural, white ones constructed of polypropylene. CP Dupuis noted that while polypropylene would not usually be considered a high-enough quality material for outdoor bistro chairs, these chairs differed significantly from standard plastic seating.

Mr. Koseck said the ordinance's main concern regarding the materials for outdoor bistro seating is longevity. He said that these chairs would withstand the elements and would not likely have longevity issues.

The Board, with the exception of Chair Clein, endorsed allowing an administrative approval for the request. Chair Clein's dissent arose from a dislike of the chairs and concern regarding their recyclability.

CP Dupuis said he would proceed with an administrative approval of the request.

CP Dupuis then asked the Board how the matter of outdoor dining decks should be addressed once the Covid-19 guidelines for outdoor dining decks in the City expire.

Mr. Boyle said the City should decide on a more comprehensive approach to how outdoor dining should interact with the streetscape in Birmingham over the next five to ten years before specific design guidelines for outdoor dining should be created.

Mr. Jeffares noted that the Board would need to come up with an answer quickly in order to have recommendations ready for Fall 2021.

Chair Clein concurred with both Mr. Boyle and Mr. Jeffares. He said the City needed guidance from the Commission vis-a-vis the desired interplay between outdoor dining and the streetscape, as Mr. Boyle stated.

CP Dupuis said the Planning Department would internally discuss the matter further to determine next steps.

c. Draft Agenda for the next Regular Planning Board Meeting (April 28, 2021)

d. Other Business

Mr. Boyle reported attending the Commission workshop regarding the Ad Hoc Unimproved Streets Study Committee's (AHUSSC) recommendations. He said the workshop format had clear benefits and should be used in the City more widely. He also said there seemed to be an appetite to implement many of the AHUSSC's recommendations.

04-054-21

H. Planning Division Action Items

a. Staff Report on Previous Requests

b. Additional Items from tonight's meeting

04-055-21

I. Adjournment

No further business being evident, Chair Clein adjourned the meeting at 9:22 p.m.

Jana L. Ecker

Planning Director

DATE: April 23, 2021

TO: Planning Board

FROM: Jana Ecker, Planning Director

SUBJECT: Rezoning Request for 300 - 394 S. Old Woodward and a portion of 294 E. Brown Street

The subject site includes the properties known as 300 – 394 S. Old Woodward, and portions of the property located at 294 E. Brown. These properties are currently occupied by Capital Title/Lutz, Roche Bobois/Frank's Shoe Service and Coldwell Banker Weir Manual. The entire property has a total land area of 54,052.96 sq.ft. or 1.24 acres. It is located on the west side of S. Old Woodward, including the entire block of S. Old Woodward from Brown Street south to Daines Street. All parcels are zoned B2 General Business and D-3 in the Downtown Birmingham Overlay District.

The applicant is proposing to rearrange the parcel lines for the above three properties to create two new parcels through the lot split and combination process. The applicant is proposing to split off the westernmost portion of the 300 S. Old Woodward (currently parking lot) and combine this portion with the parcel at 294 E. Brown Street. In addition, the applicant is proposing to split off the easternmost portion of the L-shaped parcel at 294 E. Brown and combine this with the parcel at 394 S. Old Woodward. Finally, the applicant proposes to combine the new parcels at 300 and 394 S. Old Woodward to create one large new parcel that will run from Brown south to Daines. **The applicant is required to obtain approval of the City Commission for the proposed lot splits and lot combination to create the new lot that is the subject of this application and shown on the site plan.** The applicant has submitted applications to the City Commission for their review. On April 12, 2021, the City Commission set a public hearing date of May 10, 2021 to consider the requests for lot split/rearrangements and lot combination for the subject properties.

The existing buildings (currently 300 and 394 S. Old Woodward) on the lot to be newly created are proposed to be demolished to construct a new 4 story mixed use building with retail and design uses on the first three floors, and a restaurant on the fourth floor. One level of underground parking is proposed to house 24 cars. As the building is located within the Parking Assessment District, no on-site parking is required for the proposed commercial uses. The applicant is required to obtain site plan approval for the proposed building, as well as acceptance of a Community Impact Study, as the building is larger than 20,000 sq.ft. in size. The Planning Board reviewed the Community Impact Study and Preliminary Site Plan on March 26, 2021. After much discussion, the Planning Board postponed both matters to the April 28, 2021 meeting to allow the applicant to address concerns about the traffic study methodology with the City's transportation consultants.

In order to permit the use of a restaurant on the fourth floor, the applicant is proposing a rezoning of the new parcel encompassing 300 - 394 S. Old Woodward and portions of 294 E. Brown. Thus, the applicant has requested that the Planning Board hold a public hearing to consider the rezoning of the property from B-2 (General Business) and D-3 (Downtown Overlay) to B-2 (General Business) and D-4 (Downtown Overlay). The maximum height allowed in the D-4 zoning district is 4 stories with a bonus fifth story for residential. The applicant has stated they plan to limit a building to four

stories.

In addition, the applicant will be proposing zoning amendments to Chapter 126, Zoning, of the City Code to allow the use of economic development liquor licenses with a Special Land Use Permit on this site, which will include an application for an amendment to Exhibit 1, Appendix C, to add the properties at 300 – 394 S. Old Woodward to this map. This request is discussed under separate cover.

History of Property

Information gathered by PM Environmental for a Phase 1 Environmental Site Assessment on the property history revealed that the subject property was previously used for automotive service and sales, a dry cleaning facility, a fur retailer with possible repair or cleaning operations, and a gasoline dispensing station with underground storage tanks.

300 S. Old Woodward

The northern portion of the subject property was developed prior to 1921 with a residential dwelling and a garage structure. A small storefront building was also constructed between 1926 and 1931, and may have been used to support a used car sales operation on the surface lot that existed at the time. Both structures were demolished in 1949, and the current building at 300 S. Old Woodward was completed in 1954, with an addition in 1994. Historical records demonstrate that existing building on the site has been used as professional offices since at least 1951.

360 – 394 S. Old Woodward

The southern portion of the subject property was also developed prior to 1921 with a residential dwelling and shed structure. The residential dwelling was converted to a storefront by 1926. In approximately 1929, both structures were demolished and a majority of the existing building was constructed to house an automotive service operation and gasoline dispensing station. An addition to the original service building was completed in the late 1960's, and the building continued to be used for automotive service operations until at least 1967. A portion of the existing building was occupied by a theater between 1966 and 1986, a portion of the building remained in use for automotive sales and service until 1988, and a portion was used for drycleaning services between 1969 and 1976. Frank's Shoe Service and other retail sales operations have also been located in the existing building since at least 1969.

Requirements for Rezoning

The requirements for a request for the rezoning of a property are set forth in Article 07, section 7.02 of the Zoning Ordinance as follows:

Each application for an amendment to change the zoning classification of a particular property shall include statements addressing the following:

- 1. An explanation of why the rezoning is necessary for the preservation and enjoyment of the rights of usage commonly associated with property ownership.**

Applicant response:

- The rezoning of the subject property to B2/D4 would result in the preservation and enjoyment of the rights of usage commonly associated with property ownership for the applicant. This property is unique in that it sits across

Brown Street from the five story Daxton Hotel and kitty-corner from the ten story Birmingham Place. However, this property is currently zoned B2/D3. While a four story building may be constructed in the D3 zone, the ordinance mandate the fourth floor to be residential. This area of S. Old Woodward has more apartments and condominiums than any other area of Downtown Birmingham. There are residential units in Birmingham Place, the 555 Building, and the Forefront. The applicant is a retailer seeking four stories of retail operations with food and beverage services on the fourth floor. The rezoning is necessary to preserve the applicant's enjoyment of its permitted uses of retail and restaurant in the Downtown Overlay District. Both uses are permitted in the Downtown Overlay; note that all restaurants serving alcoholic beverages are subject to a Special Land Use Permit.

- Other property owners in the S. Old Woodward corridor, including most of those across S. Old Woodward south of Brown Street, enjoy the designation of the Economic Development License zone, including those of principally residential buildings and whether the properties face S. Old Woodward or Woodward Avenue. Further, the iconic Phoenicia restaurant serves alcoholic beverages in the subject property's current D3 zone on the west side of S. Old Woodward. Placing the subject property in the Economic Development License zone would allow the applicant to enjoy the same restaurant use with alcoholic beverage service as is enjoyed by many of the neighboring property owners.

2. An explanation of why the existing zoning classification is no longer appropriate

Applicant response:

- After reviewing the 2016 Plan, the existing zoning for the subject property should be updated so it is possible to allow a four story retail development. The RH experience is one of stand-alone buildings in walkable neighborhoods. Destination stores with restaurant amenities are one of the ways retailers like RH continue to thrive. RH offers customers the cultural experience of visiting a gallery. This is good news for cities like Birmingham. Malls draw pedestrian shoppers away from downtown areas while the applicant's project will bring shoppers into Downtown Birmingham. Additionally, with Birmingham Place and the 555 Building just south of the subject property, the streetscape of S. Old Woodward in this area of the City is architecturally balanced by the addition of the applicant's proposed, classically designed four story building with a top floor restaurant, drawing pedestrians off the street to shop and relax in a restaurant setting.
- Similarly, the new or returning concept of stand-alone destination retail supports placing the subject property in the Economic Development License zone. Current zoning of the subject property does not support the RH concept of a destination retail that is a dramatic, economic improvement to the property, and that offers a first-class dining experience. The RH concept complements the goals of the Birmingham Master Plan and is a benefit to the City. The changes in the zoning requested here will allow this concept to be developed in our City. Hence, the current zoning is no longer appropriate.

3. An explanation of why the proposed rezoning will not be detrimental to the surrounding properties.

Applicant response:

- The rezoning of this property to B2/D4 is complimentary to the surrounding properties, rather than detrimental. First, the uses proposed for the building and the D4 zone will allow the property to accommodate a large, stand-alone, destination retailer. Second, it will bring a unique strolling shopping experience to the nearby residents of Birmingham Place, the 555 Building, and residential neighborhoods, as well as permit a handsome, four story building with underground garage designed to the standards of the D4 zone. Third, it will give new life to the S. Old Woodward streetscape between Brown and Daines, while at the same time it will comply with the spirit and intent of the 2016 Plan and the Birmingham Zoning Ordinances.

Article 7, section 7.02 of the Zoning Ordinance further states:

Applications for amendments that are intended to change the zoning classification of a particular property shall be accompanied by a plot plan. Information required on plot plans shall be as follows:

1. Applicant's name, address and telephone number.
2. Scale, north point, and dates of submission and revisions.
3. Zoning classification of petitioner's parcel and all abutting parcels.
4. Existing lot lines, building lines, structures, parking areas, driveways, and other improvements on the site and within 100 feet of the site.
5. Existing use of the property.
6. Dimensions, centerlines and right-of-way widths of all abutting streets and alleys.
7. Location of existing drainage courses, floodplains, lakes, streams, and wood lots.
8. All existing easements.
9. Location of existing sanitary systems and or septic systems.
10. Location and size of existing water mains, well sites and building service.
11. Identification and seal of architect, engineer, land surveyor, or landscape architect who prepared the plans. If any of the items listed above are not applicable to a particular plot plan, the applicant must specify in the plot plan which items do not apply and, furthermore, why the items are not applicable.

A land survey was provided by the applicant with the required details and is attached to this report.

Planning Division Analysis & Findings

In accordance with Article 7 of the Zoning Ordinance, the Planning Board is required to conduct a public hearing on an application for rezoning, and to make a recommendation on the rezoning to the City Commission. Article 7, section 7.02(B)(5) of the Zoning Ordinance states:

The Planning Board shall make written findings of fact and transmit same, together with its recommendation, to the City Commission. The City Commission may hold additional hearings if the City Commission considers it necessary. The Planning Board shall make findings based on the evidence presented to it with respect to the following matters:

- a. The objectives of the City's then current master plan and the City's 2016 Plan.
- b. Existing uses of property within the general area of the property in question.
- c. Zoning classification of property within the general area of the property in question.

- d. The suitability of the property in question to the uses permitted under the existing zoning classification.
- e. The trend of development in the general area of the property in question, including any changes which have taken place in the zoning classification.

Accordingly, the Planning Division has reviewed the evidence presented with respect to the matters listed in Article 7, section 7.02(B)(5) of the Zoning Ordinance as noted below.

A. The objectives of the City's then current master plan and the City's 2016 Plan

The Birmingham Plan (1980) is the master plan currently in effect for the entire city, although a first draft of an updated 2040 Master Plan has been completed, but not yet adopted by the City Commission. The 1980 plan shows the subject properties with commercial use, similar to the surrounding Central Business District, and a maximum height limit at the time of four stories.

The Future Land Use Plan ("FLUP") contained in the 1980 shows the subject property designated for office and low-intensity commercial development. The 1980 Plan states that art galleries, boutiques, and home furnishings stores are recommended for such low-intensity commercial areas. In addition, the FLUP also recommends that quality restaurant and entertainment facilities be encouraged to expand in the downtown area (with the exception of fast food establishments), as "restaurants are magnets which bring potential shoppers into the Downtown".

The Birmingham Plan also noted the presence of several sensitive residential neighborhoods surrounding Downtown, including the Woodward-Lincoln-Pierce area. The subject property requesting rezoning at this time does not abut any portion of this sensitive residential area. The entire area east of Purdy between Brown and Daines was considered the commercial area of downtown, thus there are no residential properties contained within the entire block on which the subject site is located. There are residential properties located on the southwest corner of the block located south of Daines Street.

The Downtown Birmingham 2016 Plan ("2016 Plan") was adopted in 1996 to specifically improve the downtown area. The 2016 Plan was formally integrated into the requirements of the Zoning Ordinance shortly thereafter through the creation of the Downtown Birmingham Overlay District which defined the area to be governed by the recommendations in the 2016 Plan. The subject property to be considered for rezoning is located in the Downtown Birmingham Overlay District. The current D-3 Overlay Zoning already permits the development of four story buildings, if the fourth floor is used as residential. The requested rezoning to D-4 Overlay Zoning would allow the applicant to construct a four story building with a fourth floor restaurant use.

The 2016 Plan encourages D-3 flexible use buildings in this area (which are permitted to be 4 stories in height), to provide a connection between Downtown and the south end of S. Old Woodward, and encourages anchor retail development. The rezoning request made by the applicant is to allow the construction of a four story mixed use building to house Restoration Hardware. The proposed retail, gallery, design services and restaurant uses all work together to provide a significant retail anchor as recommended by the 2016 Plan to activate this area and support an active live, work and play environment for downtown.

The 2016 Plan also states that "Traditional American cities, except the very largest, rarely

exceed five stories in building height and most commonly range from two to four stories. Downtown Birmingham adheres to this rule, with the most memorable streets tending to be at least two stories and the least memorable being mostly one story”, and encourages proper building mass and scale to create an environment that is more comfortable to pedestrians, thus creating a walkable downtown. While the proposed rezoning to D-4 would also permit five story buildings, the applicant has indicated that they wish to limit development on the subject property to four stories. Both four or five story buildings would provide for significant massing at this important corner of Brown and S. Old Woodward. The height limit of four stories proposed by the applicant will also provide a transition from the five story Daxton Hotel to the north and the three story Forefront building to the south, ensuring that any new building will be harmonious with existing buildings.

B. Existing uses of property within the general area of the property in question

The property to the north of the subject site houses a recently constructed five story hotel, with a mix of retail and restaurant uses on the first floor, and residential uses on the top floor. The properties to the east of the site across S. Old Woodward include a mix of retail, restaurant and office use, as well as residential uses in the Birmingham Place building. The property located to the west of the subject site is a commercial office building with surface parking. The property across Daines Street to the south contains a mix of retail and commercial uses on the first floor, and residential uses on the upper floors.

The following chart summarizes the land uses and zoning districts adjacent to and in the vicinity of the subject site.

	North	South	East	West
Existing Land Use	Retail/ Commercial / Hotel	Retail/ Commercial / Residential	Retail / Commercial/ Residential	Commercial/ Parking
Existing Zoning	B-4, Business Residential	B-2, General Business	B-2, General Business & B-3, Office Residential	B-2, General Business
Overlay Zoning	D-4	D-2	D-3 & D-4	D-3

C. Zoning classification of property within the general area of the property in question.

The properties immediately north of the subject site are zoned B4 and D4, which allow a mix of residential, retail and commercial uses, and buildings up to 5 stories in height up to a maximum height of 80'. The property to the west of the subject site is zoned B2 and D3, which also allow a mix of residential, retail and commercial uses, and buildings up to 4 stories in height up to a maximum height of 68'. Across S. Old Woodward to the east, adjacent properties are zoned B2 and D3 (Peabody Mansion and Powerhouse Gym Building), which allow a mix of residential, retail and commercial uses, and a maximum height of 4 stories and 68'. In addition, also across S. Old Woodward to the east adjacent to the subject site is the Birmingham Place building which is zoned B3 and D5, which also allows a mix of residential, retail and commercial uses, allows more than 5 stories, up to a maximum height

of 180'. The property to the south across Daines is zoned B2-B and D2, also allowing a mix of residential, retail and commercial uses and buildings up to 3 stories and 56' in height.

D. The suitability of the property in question to the uses permitted under the existing zoning classification.

Under the current zoning, all of the same uses are permitted as those under the proposed D4 zoning classification. However, while the existing D3 zoning does permit a fourth floor as proposed by the applicant, it is only permitted if it is used solely for residential use. Thus, the applicant is proposing the rezoning from D3 to D4 to permit a fourth floor for restaurant use. Restaurant uses are permitted in both D3 and D4 of the Downtown Overlay District. The applicant has stated that the proposed restaurant use on the fourth floor is necessary for the proposed development to allow Restoration Hardware to create a unique, experience-based retail destination for Downtown Birmingham.

E. The trend of development in the general area of the property in question, including any changes which have taken place in the zoning classification.

The Daxton Hotel immediately north of the subject site was recently completed, and opened for business this spring. The Daxton Hotel is a 5 story, mixed use building that contains hotel, residential, retail and restaurant uses. In addition, to the south, the Forefront Building was completed several years ago with retail/commercial space on the first floor and residential units on the upper floors. The Forefront was purchased, and the new owners recently applied for approval to increase the number of residential units on the upper floors (within the original building envelope). In 2017, the Birmingham Place building adjacent to the east was also rezoned to D5 under the Downtown Overlay. While no changes were made to Birmingham Place at the time, the new zoning now permits buildings over 5 stories in height (up to 180') so long as they are compatible with adjacent buildings, thus correcting the previous legal, non-conforming status of that building with regards to height.

Based on a review of the rezoning application and supporting documentation submitted by the applicant, a review of the applicable master plan documents, current zoning and recent development trends in the area, the Planning Department finds that the applicant meets the established Zoning Ordinance requirements in Article 7, section 7.02(B)(5) to qualify for a rezoning of the property from D-3 to D-4 in the Downtown Overlay district for the purpose of permitting a fourth floor to be used as a restaurant. Given the recommendations of the 2016 Plan, the existing mix of uses in the immediate area and given the size and quality of the building, the proposal to rezone to D4 is appropriate and compatible with both the zoning and height of properties within the general area.

Departmental Reports

1. Engineering Division – The Engineering Department will provide any comments prior to the April 28, 2021 Planning Board meeting.
2. Department of Public Services –The Department of Public Services will provide any comments prior to the April 28, 2021 Planning Board meeting.
3. Fire Department – The Fire Department has no concerns with the rezoning at this time.
4. Police Department – The Police Department has no concerns with the rezoning application.

5. Building Department – The Building Department has no concerns with the rezoning application at this time.

Sample motions with attached conditions have been provided in the event that the Planning Board deems it appropriate to send a recommendation of approval forward to the City Commission.

Suggested Action:

Based on a review of the rezoning request and supporting documentation submitted by the applicant, a review of the applicable master plan documents and the development trends in the area, the Planning Board adopts the findings of fact contained in the staff report dated April 17, 2020 and recommends **APPROVAL** to the City Commission for the rezoning of 300 -394 S. Old Woodward and a portion of 294 E. Brown Street from D-3 to D-4 in the Downtown Overlay.

OR

Based on a review of the rezoning request and supporting documentation submitted by the applicant, a review of the applicable master plan documents and the development trends in the area, the Planning Board recommends **DENIAL** to the City Commission of the applicant's request for the rezoning of the property at 300 - 394 S. Old Woodward and a portion of 294 E. Brown Street from D-3 to D-4 in the Downtown Overlay for the following reasons:

1. _____
2. _____
3. _____

OR

Motion to recommend **POSTPONEMENT** of the applicant's request for the rezoning of the property at 300 - 394 S. Old Woodward and a portion of 294 E. Brown Street from D-3 to D-4 in the Downtown Overlay, pending receipt and review of the following information:

1. _____
2. _____
3. _____

Planning Board Minutes
March 26, 2021

F. Community Impact Study Review

- 1. 300 & 394 S. Old Woodward, and portions of 294 E. Brown** – New Construction (Capital Title/Lutz & Frank's Shoe Service, portions of Coldwell Banker Weir Manual parking lot), Community Impact Study to consider approval of a new 4 story building, including a request to operate a restaurant using an Economic Development Liquor License.

Chair Klein said he would be recusing himself from the Board's considerations regarding 300 & 394 S. Old Woodward and portions of 294 E. Brown. While he said he and the City Attorney determined he had no conflict-of-interest, he was concerned that existing business relationships between his company and parties affiliated with the applicants could lead to the public impression of a conflict-of-interest. The Chair said that if it became clear in the future that his participation in these discussions would not result in the public impression of a conflict-of-interest, he would rejoin deliberations regarding 300 & 394 S. Old Woodward and portions of 294 E. Brown at that time.

The Chair recused himself and left the meeting at 8:06 p.m.

Mr. Emerine filled the Board vacancy stemming from the Chair's recusal and Vice-Chair Williams commenced facilitation of the meeting.

PD Ecker presented the CIS.

Victor Saroki, architect, Richard Rattner, attorney, Dave Stanchak, President of RH, Paul O'Meara, engineer, and Mike Kulka, **Environmental Engineer**, were present on behalf of the application.

Ms. Kroll reported she had met with the applicant team and they confirmed they would get her the additional traffic information she had requested.

In reply to Mr. Share, Ms. Kroll explained that the Multi-Modal Transportation Board had recently updated the transportation impact study requirements for the City, and that adding crash analyses was one of the updates. She said that there were no accident mitigation measures beyond signage recommended for the intersection of S. Old Woodward and Brown since the majority of the accidents resulted from parking issues and inattentive drivers. She confirmed some of the parking in front of the building may be eliminated to make room for the valet, and that if that were to occur it may reduce some of the parking accidents.

In reply to a request from Vice-Chair Williams, Mr. Emerine said he could work as the Board's representative with Ms. Kroll and Mr. O'Meara regarding the site's traffic impact.

In reply to Mr. Emerine, Ms. Kroll explained she wanted to produce a conservative traffic analysis to make sure that the site could handle the peak amount of likely traffic. She said that would better ensure that severe issues with traffic around the site do not ensue from the proposed uses.

The Board was advised by the applicant team that furniture loading and unloading would occur infrequently since RH is a showroom only and furniture purchases would be coming from off-site. Vice-Chair Williams and Mr. Boyle asked that furniture delivery trucks still be addressed in upcoming

discussions of this item since the pieces in the showroom would likely be refreshed from time to time.

Mr. Saroki stated that the applicant team would resolve all issues raised by City departments and by Ms. Krroll's comments on the traffic study.

Mr. Kulka stated that the site had no more significant environmental issues than similar urban sites. He said any issues found in the environmental study would be remediated.

In reply to Mr. Share, Mr. Kulka committed the applicant team to environmentally remediating the site to residential criteria.

Public Comment

Mr. Reagan said he was concerned about there being insufficient parking proposed and in the area to support the site. He said he was also concerned about the impact of the project on nearby residences.

In reply to a question from David Bloom, Mr. Saroki said one area of the site would gain three parking spaces and another area would lose 11, leading to a net loss of eight parking spaces from the current number available. He also stated that RH paid for the CIS.

Mr. Share complimented the applicant team on their work thus far.

Motion by Mr. Share

Seconded by Mr. Emerine to postpone action on the Community Impact Study as provided by the applicant to April 28, 2021 for the proposed development at 300 - 394 S. Old Woodward and a portion of 294 E. Brown Street, allowing the applicant the opportunity to address the issues raised by the Planning Department in its review of the CIS.

Motion carried, 7-0.

ROLL CALL VOTE

Yeas: Share, Emerine, Williams, Whipple-Boyce, Koseck, Boyle, Ramin

Nays: None

03-045-21

G. Preliminary Site Plan Review

- 1. 300 & 394 S. Old Woodward, and portions of 294 E. Brown** – New Construction (Capital Title/Lutz & Frank's Shoe Service, portions of Coldwell Banker Weir Manual parking lot), Preliminary Site Plan Review to consider approval of a new 4 story building, including a request to operate a restaurant using an Economic Development Liquor License.

PD Ecker reviewed the item.

In reply to Mr. Share, PD Ecker said she would speak with the Engineering Department regarding possible options for additional sidewalk lighting on Daines.

Mr. Saroki explained that the landscaping off of Daines would be on the Coldwell Banker site with the consent of the property's owner. He stated that RH would be paying for the landscaping.

Mr. Stanchak provided a brief overview of the design inspiration for the Birmingham site and showed a rendering of RH Birmingham.

Jim Arpin, President of the Condo Association at Birmingham Place, said he appreciated what he had seen of the plans so far. Mr. Arpin invited the applicants to meet with the Condo Association.

Vice-Chair Williams encouraged the applicants to take Mr. Arpin up on his invitation.

Mr. Share asked if the applicant team had considered doing a three-story building without the need for a liquor license, since pursuing a four-story building with a liquor license adds complexity.

Mr. Stanchak said the restaurant and alcohol service were integral to creating the hospitable, appealing atmosphere of RH.

Mr. Koseck said he thought the applicant team had gone above and beyond to address site issues. He commended them on designing the building in context, on the attention paid to the aesthetics of all sides of the building, and on the landscaping and hardscaping. He said he thought the designs for the building and grounds would fit well in the neighborhood's context.

There was Board consensus to postpone voting on the item until April 28, 2021 in order to consider the CIS, Preliminary Site Plan, Rezoning Request and Economic Development License for 300 & 394 S. Old Woodward and portions of 294 E. Brown during the same meeting.

Motion by Mr. Boyle

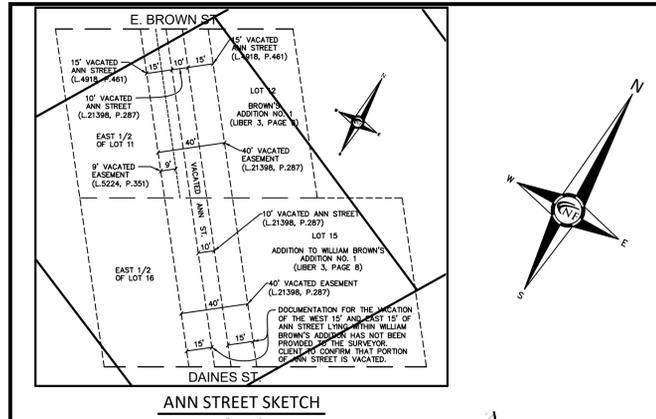
Seconded by Mr. Koseck to postpone the Preliminary Site Plan for 300 - 394 S. Old Woodward and a portion of 294 E. Brown Street pending receipt of an updated CIS addressing all issues noted in the CIS review above and setting the date for reconsideration to be April 28, 2021.

Motion carried, 7-0.

ROLL CALL VOTE

Yeas: Boyle, Koseck, Ramin, Share, Emerine, Whipple-Boyce, Williams

Nays: None



FLOOD HAZARD NOTE

THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NO. 28125C05377 BEARING AN EFFECTIVE DATE OF 09-29-2006.

MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER A033240501, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY, DUE TO THE EXTENDED RECORDING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON DECEMBER 29, 2020. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE UTILITY FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

TOPOGRAPHIC SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.
UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

ALTA SURVEY NOTES

THERE IS NO VISIBLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
THERE IS NO PROPOSED CHANGE IN STREET RIGHT OF WAY LINE OR THERE ARE NO EVIDENCES OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIR.
THERE IS NO VISIBLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
THERE IS NO VISIBLE EVIDENCE OF ANY WETLAND AREAS.

BASIS OF BEARING NOTE

ALL BEARINGS ARE IN RELATION TO THE PREVIOUSLY ESTABLISHED SOUTH RIGHT-OF-WAY LINE OF STREET (60' WIDE) (NOW KNOWN AS BROWN STREET) OF BROWN'S ADDITION AS RECORDED IN LIBER 3 OF PLATS, PAGE 8, OAKLAND COUNTY RECORDS. (N.62°.)

DATUM NOTE

ALL ELEVATIONS SHOWN HEREON ARE ON THE CITY OF BIRMINGHAM'S VERTICAL DATUM. REFERENCED HEREON, IS ONE (1.00) FOOT HIGHER THAN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88).

SURVEY DATA

SITE AREA:
PARCEL I: 13,818.22 SQUARE FEET OR 0.317 ACRES
PARCEL II: 18,992.08 SQUARE FEET OR 0.433 ACRES
PARCEL 2: 13,204.93 SQUARE FEET OR 0.303 ACRES
PARCEL 3: 8,157.75 SQUARE FEET OR 0.187 ACRES
TOTAL: 54,052.96 SQUARE FEET OR 1.24 ACRES

ZONED: B2, GENERAL BUSINESS DISTRICT

PARKING SPACES:
PARCEL I: 9 REGULAR SPACES
PARCEL II: 46 REGULAR SPACES AND 3 BARRIER-FREE SPACES
PARCEL 2: 20 REGULAR SPACES AND 1 BARRIER-FREE SPACE
PARCEL 3: NO ON-SITE PARKING SPACES

DTE DISCLAIMER NOTE

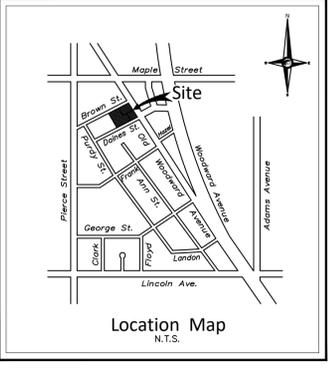
A SURVEYOR CANNOT MAKE A CERTIFICATION ON THE BASIS OF AN INTERPRETATION OR OPINION OF ANOTHER PARTY. A ZONING ENDORSEMENT LETTER SHOULD BE OBTAINED FROM THE CITY OF BIRMINGHAM TO INSURE CONFORMITY AS WELL AS MAKE A FINAL DETERMINATION OF THE REQUIRED BUILDING SETBACK REQUIREMENTS.

LEGAL DESCRIPTION - PARCEL 2 (PER TITLE COMMITMENT)

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:
THE EASTERLY 50 FEET OF LOT 12, AND THE WESTERLY PART OF LOT 13, MEASURING 82.45 FEET ON THE NORTH LOT LINE AND 82.48 FEET ON THE SOUTH LOT LINE OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.
ADDRESS: 300 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009
TAX ID NUMBER: 19-36-204-006

TITLE REPORT NOTES - PARCEL 2

REFERENCE FIRST AMERICAN TITLE INSURANCE COMPANY FILE NUMBER: 910055, COMMITMENT DATE: DECEMBER 21, 2020, REVISION B.
SCHEDULE B, PART II, EXCEPTIONS:
EXCEPTIONS: 1, 4, 5, 6, 7, 8, 10, 11, 14 AND 15 REFER TO THE OWNERSHIP OF THE PROPERTY AND/OR ARE NOT PLOTTABLE.
2. ANY FACTS, RIGHTS, INTERESTS OR CLAIMS NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY MAKING INQUIRY OF PERSONS IN POSSESSION THEREOF OF THE LAND.
3. EASEMENTS, ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS.
9. TERMS AND CONDITIONS CONTAINED IN RESOLUTION AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 8715, PAGE 137. (NO EASEMENTS OR RESTRICTIONS WITHIN SAID DOCUMENT, NOT PLOTTED)
12. INTEREST, IF ANY, OF THE UNITED STATES, STATE OF MICHIGAN, OR ANY POLITICAL SUBDIVISION THEREOF, IN THE OIL, GAS AND MINERALS IN AND UNDER THAT MAY BE PRODUCED FROM THE CAPTIONED LAND.
13. RIGHTS OF TENANTS, IF ANY, UNDER ANY UNRECORDED LEASES.



50 NF ENGINEERS
1969 - 2019

NOWAK & FRAUS ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NOWAKFRAUS.COM

LEGAL DESCRIPTION - PARCELS I & II (PER TITLE COMMITMENT)

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:
THE WEST 1/2 OF LOT(S) 11 OF BROWN'S ADDITION TO THE CITY OF BIRMINGHAM AND THE EAST 1/2 OF LOT 16 OF BROWN'S ADDITION NO. 1, IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING THE VACATED WEST 20 FEET OF ANN STREET ADJOINING LOT 11 AND THE VACATED WEST 19 FEET OF ANN STREET ADJOINING LOT 16.
THE WEST 1/2 OF LOT(S) 12 OF BROWN'S ADDITION TO THE VILLAGE (NOW CITY) OF BIRMINGHAM, OF PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST, TOWNSHIP OF BLOOMFIELD (NOW CITY OF BIRMINGHAM), OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, ALSO LOT 15, ADDITION TO WILLIAM BROWN'S ADDITION NO. 1, BEING A PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING VACATED 20 FEET OF ANN STREET, ADJOINING THE WESTERLY SIDE OF LOT 12 AND VACATED 21 FEET OF ANN STREET ADJOINING THE WESTERLY SIDE OF LOT 15.
ADDRESS: 294 E. BROWN STREET, BIRMINGHAM, MI 48009
TAX ID NUMBER: 19-36-204-021

TITLE REPORT NOTES - PARCELS I & II

REFERENCE FIRST AMERICAN TITLE INSURANCE COMPANY FILE NUMBER: 916145, COMMITMENT DATE: DECEMBER 21, 2020, REVISION: A.
SCHEDULE B, PART II, EXCEPTIONS:
EXCEPTIONS: 1, 4, 5, 6, 7, 8, 10, 13 AND 14 REFER TO THE OWNERSHIP OF THE PROPERTY AND/OR ARE NOT PLOTTABLE.
2. ANY FACTS, RIGHTS, INTERESTS OR CLAIMS NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY MAKING INQUIRY OF PERSONS IN POSSESSION THEREOF OF THE LAND.
3. EASEMENTS, ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS.
8. TERMS AND CONDITIONS CONTAINED IN RESOLUTION AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 8715, PAGE 137. (NO EASEMENTS OR RESTRICTIONS WITHIN SAID DOCUMENT, NOT PLOTTED)
11. INTEREST, IF ANY, OF THE UNITED STATES, STATE OF MICHIGAN, OR ANY POLITICAL SUBDIVISION THEREOF, IN THE OIL, GAS AND MINERALS IN AND UNDER THAT MAY BE PRODUCED FROM THE CAPTIONED LAND.
12. RIGHTS OF TENANTS, IF ANY, UNDER ANY UNRECORDED LEASES.
9. TERMS AND CONDITIONS CONTAINED IN RESOLUTION AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 8715, PAGE 137. (NO EASEMENTS OR RESTRICTIONS WITHIN SAID DOCUMENT, NOT PLOTTED)
10. TERMS AND CONDITIONS CONTAINED IN RESOLUTION AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 5224, PAGE 351. (SAID VACATED EASEMENT IS PLOTTED HEREON)
11. EASEMENT FOR UTILITIES OVER THAT PORTION OF LAND INCLUDED IN THE VACATED ANN STREET AS EVIDENCED BY INSTRUMENT RECORDED IN LIBER 4918, PAGE 461 (SAID VACATED ANN STREET & RETAINED EASEMENT ARE PLOTTED HEREON) AND LIBER 21988, PAGE 287 (SIZE AND LOCATION OF DETROIT EDISON EASEMENT IS UNKNOWN, NOT PLOTTED).
12. EASEMENT(S), RESTRICTIONS AND/OR SETBACK LINES, IF ANY, AS DISCLOSED BY THE RECORDED PLAT.
13. INTEREST OF OTHERS IN OIL, GAS AND MINERAL RIGHTS, IF ANY, WHETHER OR NOT RECORDED IN THE PUBLIC RECORDS.
14. INTEREST, IF ANY, OF THE UNITED STATES, STATE OF MICHIGAN, OR ANY POLITICAL SUBDIVISION THEREOF, IN THE OIL, GAS AND MINERALS IN AND UNDER THAT MAY BE PRODUCED FROM THE CAPTIONED LAND.
15. RIGHTS OF TENANTS, IF ANY, UNDER ANY UNRECORDED LEASES.

LEGAL DESCRIPTION - PARCEL 3 (PER TITLE COMMITMENT)

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:
LOT(S) 14, EXCEPT THAT PART TAKEN FOR WIDENING WOODWARD AVENUE OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.
ADDRESS: 394 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009
TAX ID NUMBER: 19-36-204-014

TITLE REPORT NOTES - PARCEL 3

REFERENCE FIRST AMERICAN TITLE INSURANCE COMPANY FILE NUMBER: 910145, COMMITMENT DATE: DECEMBER 21, 2020, REVISION: A.
SCHEDULE B, PART II, EXCEPTIONS:
EXCEPTIONS: 1, 4, 5, 6, 7, 8, 10, 13 AND 14 REFER TO THE OWNERSHIP OF THE PROPERTY AND/OR ARE NOT PLOTTABLE.
2. ANY FACTS, RIGHTS, INTERESTS OR CLAIMS NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY MAKING INQUIRY OF PERSONS IN POSSESSION THEREOF OF THE LAND.
3. EASEMENTS, ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS.
8. TERMS AND CONDITIONS CONTAINED IN RESOLUTION AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 8715, PAGE 137. (NO EASEMENTS OR RESTRICTIONS WITHIN SAID DOCUMENT, NOT PLOTTED)
11. INTEREST, IF ANY, OF THE UNITED STATES, STATE OF MICHIGAN, OR ANY POLITICAL SUBDIVISION THEREOF, IN THE OIL, GAS AND MINERALS IN AND UNDER THAT MAY BE PRODUCED FROM THE CAPTIONED LAND.
12. RIGHTS OF TENANTS, IF ANY, UNDER ANY UNRECORDED LEASES.

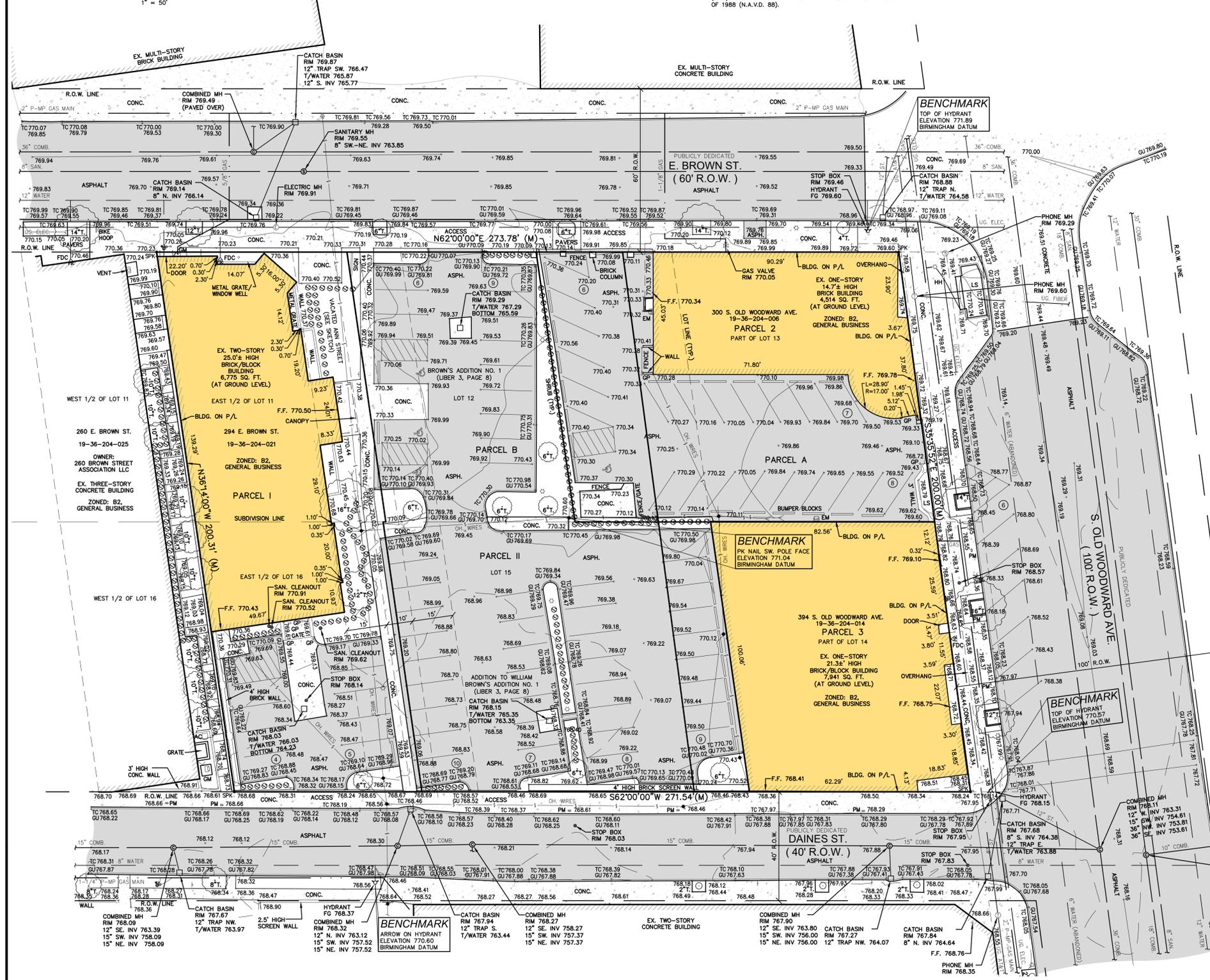
CERTIFICATE OF SURVEY

CERTIFIED TO:
-PURCHASER'S ASSIGNEE
-TROTTS PROPERTIES 294, LLC, A MICHIGAN LIMITED LIABILITY COMPANY, AS TO PARCEL 1
-BRB EQUITABLE, L.L.C., AS TO PARCEL 2
-FRANK T. KONJAREVICH OR LOIS H. KONJAREVICH (OR SUCCESSOR TRUSTEES) AS THE TRUSTEE FOR THE FRANK T. KONJAREVICH REVOCABLE LIVING TRUST DATED MAY 22, 1995, AS TO PARCEL 3
-FIRST AMERICAN TITLE INSURANCE COMPANY AND EACH OF THEIR RESPECTIVE SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDE ITEMS 1, 2, 3, 4, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 11, 13, 14, 16, 17, 18 AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 16, 2020.

Kevin Navaroli
1-24-2021
DATE

KEVIN NAVAROLI, P.S. NO. 4001053503



LEGEND

- MANHOLE(MH)
- EXISTING SANITARY SEWER
- HYDRANT(HYD)
- GATE VALVE(GVW)
- EXISTING SAN. CLEAN OUT
- EXISTING WATER MAIN
- MANHOLE(MH)
- CATCH BASIN(CB)
- EXISTING STORM SEWER
- EX. BEEHIVE CATCH BASIN
- EX. UNDERGROUND (UG) CABLE
- OVERHEAD (OH) LINES
- UTILITY POLE (GUY POLE)
- GUY WIRE
- LIGHT POLE
- SIGN
- EXISTING GAS MAIN
- ASPH.
- ASPHALT
- CONC.
- CONCRETE
- FD. / FND.
- FOUND
- RET. WALL
- RETAINING WALL
- R.O.W.
- RIGHT-OF-WAY
- SPK
- SET PK NAIL
- (TYP)
- TYPICAL
- (R)
- RECORD
- (M)
- MEASURED
- C/L
- CENTERLINE
- P/L
- PROPERTY LINE
- GM
- GAS METER
- EM
- ELECTRIC METER
- PM
- PARKING METER
- AC
- AIR CONDITIONING UNIT
- LS
- LANDSCAPE

DATE ISSUED/REVISED
00-00-00

DRAWN BY:
M. Carnaghi

DESIGNED BY:

APPROVED BY:
K. Navaroli

DATE:
February 24, 2021

SCALE: 1" = 20'
20 10 0 10 20 30

NFE JOB NO. **SHEET NO.**
M106 SP-1

PROJECT
294 E. Brown St. and
300 & 394
S. Old Woodward Ave.
Birmingham, MI 48009

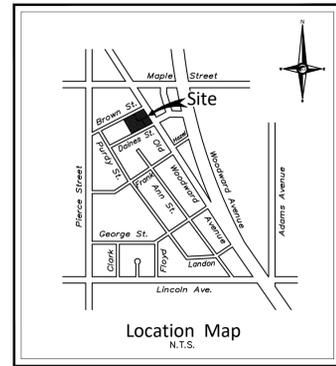
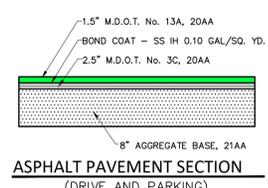
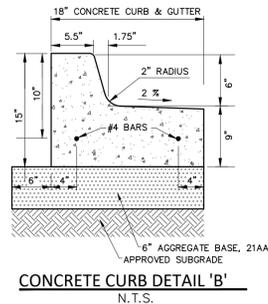
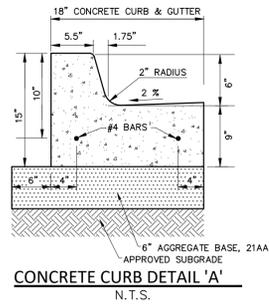
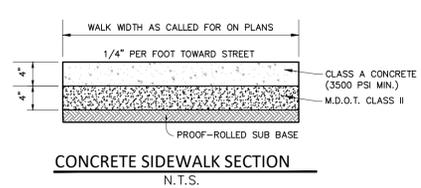
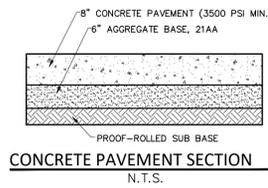
CLIENT
Saroki Architecture
430 N. Old Woodward Ave.
Birmingham, MI 48009

Contact: Victor Saroki
Phone: 248.258.5707

PROJECT LOCATION
Part of the NE 1/4
of Section 36,
T.2N., R.10E.,
City of Birmingham,
Oakland County, Michigan

SHEET
ALTA/NSPS Land Title /
Topographic Survey

811
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CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NOWAKFRAUS.COM

GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 110DL, 20AA; SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 110OT, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-5184.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKewise ARRANGE FOR ALL INSPECTION.

EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.

SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

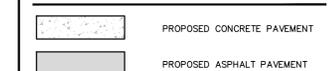
FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

COVID-19 PANDEMIC CONDITION

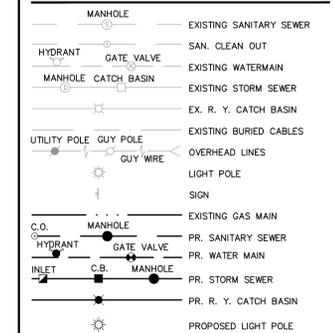
DUE TO THE UNPRECEDENTED COVID-19 PANDEMIC CONDITION AND RESTRICTIONS THE STANDARD DATA WHICH IS OBTAINED FROM MISS DIG / CALL 811 HAS BEEN RESTRICTED TO CRITICAL INFRASTRUCTURE ONLY. NFE WILL MAKE EVERY EFFORT TO OBTAIN CURRENT REFERENCE DATA FROM THE GOVERNING AGENCIES. HOWEVER, THIS DATA MAY BE PARTIAL OR INCOMPLETE. NFE WILL ISSUE THIS SURVEY WITH THE BEST AVAILABLE INFORMATION FROM OUR FIELD SURVEY AND OTHER AVAILABLE REFERENCE DATA. NFE WILL NOT BE RESPONSIBLE FOR INCOMPLETE OR PARTIAL DATA PROVIDED BY THIRD PARTY FACILITY OWNERS. NFE IS NOT RESPONSIBLE FOR BURIED UTILITIES FOR WHICH PLANS WERE NOT FURNISHED OR CANNOT BE OBSERVED IN THE FIELD.

ALL CONSTRUCTION DOCUMENTS WILL BE UPDATED WHEN THE UTILITY INFORMATION IS PROVIDED BY THE FACILITY OWNER UP UNTIL THE TIME OF SUBMITTAL. ONCE THE PLANS HAVE BEEN SUBMITTED AND APPROVED IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN A MISS DIG TICKET PRIOR TO COMMENCING ANY CONSTRUCTION REQUIRING EXCAVATION. CONTRACTOR SHALL IMMEDIATELY NOTIFY NFE OF ANY UTILITIES FLAGGED BY MISS DIG THAT WERE NOT SHOWN ON THE PLANS OR UTILITIES UNCOVERED DURING THEIR WORK.

PAVING LEGEND



LEGEND



SEAL



PROJECT

294 E. Brown St. and
300 & 394
S. Old Woodward Ave.
Birmingham, MI 48009

CLIENT

Saroki Architecture
430 N. Old Woodward Ave.
Birmingham, MI 48009

Contact: Victor Saroki
Phone: 248.258.5707

PROJECT LOCATION

Part of the NE 1/4
of Section 36
T.2N., R.10E.,
City of Birmingham,
Oakland County, Michigan

SHEET

Dimensional Site Plan



Know what's below
Call before you dig.

DATE ISSUED/REVISED
00-00-00

DRAWN BY:
A. Eizember

DESIGNED BY:
A. Eizember

APPROVED BY:
P. Williams

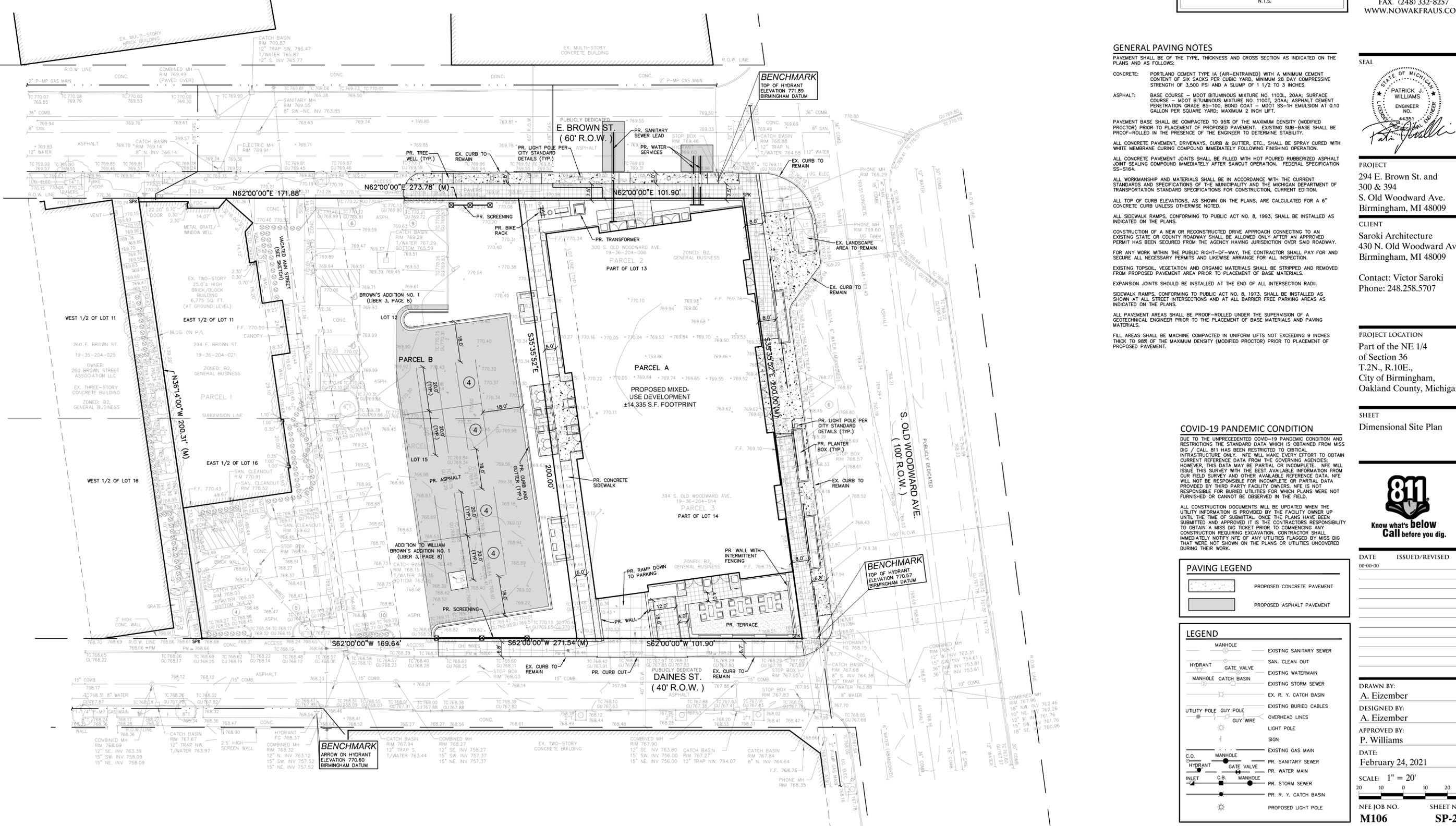
DATE:
February 24, 2021

SCALE: 1" = 20'

20 10 0 10 20 30

NFE JOB NO. SHEET NO.

M106 SP-2





CONSENT OF PROPERTY OWNER

I, Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95 _____, OF THE STATE OF Michigan AND
(Name of Property Owner)
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 394 S. Old Woodward;
(Address of Affected Property)
2. That I have read and examined the Application for **ZONING MAP CHANGE** made to the City of
Birmingham by: RH, Inc.;
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of
Birmingham.

Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95
Name of Owner (Printed): _____

Signature of Owner: Frank Konjarevich **Date:** 2/24/21

APPLICATION FOR ZONING MAP OR ORDINANCE CHANGE
Birmingham, Michigan

A letter of authority, or power of attorney, shall be attached in case the appeal is made by a person other than the actual owner of the property.

PRZ21-0001

Date Received: 3/4/21 Received By: _____

Resolution No. _____ Approved/Denied _____

Application Fee: \$1,500.00 Receipt Number _____

The petitioner shall be responsible for any costs incurred by consultant, including but not limited to traffic and environmental, contracted by the city to review the proposed site plan and/or community impact study as determined by the city planner.

LEGAL DESCRIPTION – PARCELS I & II

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

PARCEL I:

THE EAST 1/2 OF LOT(S) 11 OF BROWN'S ADDITION TO THE CITY OF BIRMINGHAM AND THE EAST 1/2 OF LOT 16 OF BROWN'S ADDITION NO. 1, IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING THE VACATED WEST 20 FEET OF ANN STREET ADJOINING LOT 11 AND THE VACATED WEST 19 FEET OF ANN STREET ADJOINING LOT 16.

PARCEL II:

THE WEST 1/2 OF LOT(S) 12 OF BROWN'S ADDITION TO THE VILLAGE (NOW CITY) OF BIRMINGHAM, OF PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST, TOWNSHIP OF BLOOMFIELD (NOW CITY OF BIRMINGHAM), OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, ALSO LOT 15, ADDITION TO WILLIAM BROWN'S ADDITION NO. 1, BEING A PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING VACATED 20 FEET OF ANN STREET, ADJOINING THE WESTERLY SIDE OF LOT 12 AND VACATED 21 FEET OF ANN STREET ADJOINING THE WESTERLY SIDE OF LOT 15.

ADDRESS: 294 E. BROWN STREET, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-021

LEGAL DESCRIPTION – PARCEL 2

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

THE EASTERLY 50 FEET OF LOT 12, AND THE WESTERLY PART OF LOT 13, MEASURING 82.45 FEET ON THE NORTH LOT LINE AND 82.48 FEET ON THE SOUTH LOT LINE OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

ADDRESS: 300 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-006

LEGAL DESCRIPTION – PARCEL 3

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

LOT(S) 14, EXCEPT THAT PART TAKEN FOR WIDENING WOODWARD AVENUE OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

ADDRESS: 394 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-014



Williams Williams Rattner & Plunkett, P.C.
Attorneys and Counselors
380 North Old Woodward Avenue
Suite 300
Birmingham, Michigan 48009
Tel: (248) 642-0333
Fax: (248) 642-0856

March 31, 2021

Richard D. Rattner
rdr@wwrplaw.com

Hand-Delivered

Planning Board
City Commission
City of Birmingham
151 Martin St.
Birmingham, MI 48012

Re: Application for Zoning Map and Ordinance Change (“Application”) for Property at 300 and 394 S. Old Woodward and 294 E. Brown Street, Birmingham, Michigan (“Subject Property”) submitted by RH, Inc. (“Applicant”)

Dear Members of the Planning Board and the City Commission:

This letter supports the above-referenced Application for Zoning Map or Ordinance Change of the Subject Property. The Applicant requests three amendments:

- (i) to change the zoning district of the Subject Property from B2/D3 Overlay to B2/D4 Overlay; and
- (ii) to modify the Economic Development License map at Appendix C, Exhibit 1 of the Zoning Ordinance to include the Subject Property; and
- (iii) to amend Article 2, Section 2.29 (C)(2)(j), B2 District, Other Use Regulations, Uses Requiring a Special Land Use Permit, as follows:

j. establishments operating with a liquor license obtained under Chapter 10, Alcoholic Liquors, Article II, Division 3, Licenses for Economic Development (only permitted on those parcels ~~within the Triangle District and on Woodward Avenue identified on Exhibit 1; Appendix C)~~

The stricken language of the above Section 2.29(C)(2)(j) appears in the last printed version of the Zoning Ordinance but is not included in the electronic version available on the City’s website. Hence, we request the third amendment only in the event the text requires amendment.

Executive Summary -- The Subject Property

The Birmingham Zoning Ordinance (“Zoning Ordinance”) at Sec. 1.04 provides that the purpose of the Zoning Ordinance is to “...guide the growth and development of the City in accordance with the goals, objectives and strategies stated within the Birmingham Master Plan (“Birmingham Plan”), and Downtown Birmingham 2016 Plan (“2016 Plan”).” The Downtown Birmingham 2016 Plan (1996) reveals both requests to rezone the Subject Property to B2/D4 and to put the Subject Property into the Economic Development License zone meet the spirit and intent of the ordinance as well as the 2016 Plan. The zoning amendments will permit the Applicant to develop the Subject Property into a one of the most exciting and successful home furnishing retail galleries in the country, complete with a fourth-floor restaurant. The entire site will be occupied by the RH home line design gallery and fourth-floor restaurant. The proposed building will be a perfect complement to the Daxton Hotel across Brown Street to the north, and thus activate the southwest corner of Brown Street, further extending the central business district to the south.

The 2016 Plan, at p. 181, in the Downtown Birmingham “Vision Statement” specifically states that future plans should “[s]trengthen the spatial and architectural character of the downtown area and ensure buildings are compatible, in mass and scale, with their immediate surroundings and the downtown’s traditional two and four-story buildings.” The rezoning of the Subject Property to B2/D4 allows a four-story building of a similar mass and complimentary architecture to the landmark building on the north side of Brown Street, the new Daxton Hotel. The rezoning to D4 and the inclusion of the site into the Economic Development License zone will also permit the Subject Property to be developed into a stand-alone retail space on a size that Birmingham has not enjoyed since the days of Jacobson’s and Crowley’s, with the addition of a first class restaurant. This reinforces the identifiable Downtown and brings a mix of uses, including retail and commercial, consistent with the goals of the 2016 Plan.

The Vision Statement also provides one goal of the 2016 Plan, to “[e]ncourage first floor retail businesses, services, and other activities which are required for everyday living.” The Applicant plans to use the Subject Property for one of its exemplary home design and furniture retail stores, goods everyone touches daily. Floors one through three of the new building will be dedicated to the retail use, while the fourth floor will offer food and beverage service. Another “vision” of the 2016 Plan is to “[e]nsure the economic vitality of the downtown business community” and to “[b]e designed for safety, comfort, convenience, and enjoyment of pedestrians, rather than vehicular traffic.” The Applicant’s stand-alone retail store will be a destination for home interior shoppers, thereby drawing people into Downtown and adding to Downtown’s economic vitality. This retail store will be like no other in Birmingham with a pedestrian-friendly retail concept designed for people to enjoy a glass of wine (or beverage of choice) while leisurely strolling through the retail galleries.

In summary, RH's use not only complies with the Vision Statement of the 2016 Plan but has the distinct advantage of creating a new and modern shopping destination with a mix of retail and restaurant uses unique to this area, while at the same time it will extend the central business district of Downtown by the addition of an architecturally complementary building.

Subject Property and District Intent of the D4 Downtown Overlay

The Downtown Overlay District identifies four purposes underpinning the planning of the district. These four purposes further enhance the goals, objectives and strategies stated within the Downtown Birmingham Overlay District Ordinance at Section 3.01.

Section 301 A -Encourage and direct development within the boundaries of the Downtown Overlay District and implement the Downtown Birmingham 2016 Plan

The Subject Property is in the area identified as "Retail 1" in the 2016 Plan. Two of the three recommendations for the Retail 1 area made by the 2016 Plan directly pertain to the Subject Property: (i) to enlarge the central business district by merging it with South Old Woodward; and (ii) to connect all areas to each other by reducing apparent and actual physical barriers, by connecting discontinuous retail frontages, and, in some case, by installing recommended streetscape and signage improvements. The Applicant's proposed mixed-use retail/restaurant building satisfies the purpose of direct development in the Downtown Overlay. It also will enlarge the central business district south of Brown Street, as the Subject Property and the proposed new building will front South Old Woodward and encompass the area between Brown and Daines. The Applicant plans a four-story building to satisfy all design requirements of the D4 zone of the Downtown Overlay. It will replace a block currently occupied by single-story buildings and a surface parking lot facing South Old Woodward. Hence, the new development will provide a continuous and harmonious streetscape of retail frontages on the west side of South Old Woodward between Brown and Daines.

Section 3.01 B -Encourage a form of development that will achieve the physical qualities necessary to maintain and enhance the economic vitality of Downtown Birmingham and to maintain the desired character of the City as stated in the Downtown Birmingham 2016 Plan

The form of development proposed by the Applicant is for a four-story mixed-use retail/restaurant building with a 30-car underground garage, designed in accordance with the D4 zone. The physical qualities of the building will enhance the economic vitality of

Downtown by adding a unique stand-alone retail/restaurant business of a size not enjoyed in Birmingham since the days of Jacobson's and Crowley's department stores. The RH gallery will replace one-story office (Lutz Capital offices), Frank's shoe repair shop, and the Roche Bobois gallery. The desired character of the City stated in the 2016 Plan will be enhanced by development of this impressive new four-story structure that will continue a unified South Old Woodward streetscape south of Brown Street.

Section 3.01 C -Ensure that new buildings are compatible with their context and the desired character of the city; ensure that all uses relate to the pedestrian; and ensure that retail be safeguarded along specific street frontages

The Applicant's proposed development of an RH store will be compatible with the context of the neighborhood. Across the street on South Old Woodward is a two-story office building and just south of that is the 10-story Birmingham Place. South of Daines on the west side of South Old Woodward is the three-story Forefront development. To the north of Brown on the west side of South Old Woodward is the five-story Daxton Hotel. The Applicants 4-story retail/restaurant building will be a perfect fit for the area and extend the Downtown Overlay streetscape by replacing single story buildings and surface parking that currently face South Old Woodward. Moreover, the RH shopping retail shopping experience is geared to pedestrian traffic by encouraging people to relax in the retail setting, with a beverage, and to stroll through all the store's galleries. As a destination, the RH will draw shoppers into the central business district and inspire them to continue their stroll through the Downtown shopping area. This mixed-use building is the best type of development for Birmingham. It combines a mixed-use of retail and restaurant. It enhances the streetscape and attracts pedestrian traffic. All of these advantages result in activating South Old Woodward.

Section 3.01 D - Ensure that new buildings are compatible with and enhance the historic districts which reflect the city's cultural, social, economic, political, and architectural heritage

While the Subject Property is not in the historic district, the new RH building is a handsome classic design. Its design elements reflect the past, including linear lines similar to the exterior design of the Daxton Hotel, with materials in harmony with development in Downtown Birmingham and a design that references the classic architecture at Cranbrook. The use of the building as a furniture, design retail showcase and restaurant, itself contributes to the City's cultural, social, economic and architectural design heritage.

Rezoning Amendment – Sec. 7.02 (B)(2)(b)(i)-(iii)

The Zoning Ordinance at Sec. 7.02 requires that as part of the application for rezoning, the applicant should address certain issues to be considered by the Planning Board and the City Commission. Please consider the following comments with respect to these issues. Both the requested changes from the D3 to the D4 zone and the inclusion of the Property on the Economic Development License map are addressed below.

7.02(B)(2)(b)(i) - An Explanation of Why the Rezoning is Necessary for the Preservation and Enjoyment of the Rights and Usage Commonly Associated with Property Ownership

The rezoning of the Subject Property to B2/D4 would result in the preservation and enjoyment of the rights of usage commonly associated with property ownership for the Applicant. This Property is unique in that it sits across Brown Street from the five-story Daxton Hotel and kitty-corner from the 10-story Birmingham Place. However, this Property is currently zoned B2/D3. While a four-story building may be constructed in the D3 zone, the Ordinance mandates the fourth floor to be residential. This area of South Old Woodward has more apartments and condominiums than any other area of Downtown Birmingham. There are residential units in Birmingham Place, the 555 Building, and the Forefront. The Applicant is a retailer seeking four stories of retail operations with food and beverage services on the fourth floor. The rezoning is necessary to preserve the Applicant's enjoyment of its permitted uses of retail and restaurant in the Downtown Overlay District. Both uses are permitted in the Downtown Overlay; note that all restaurants serving alcoholic beverages are subject to a special land use.

Other property owners in the South Old Woodward corridor, including most of those across South Old Woodward south of Brown Street, enjoy the designation of the Economic Development License zone, including those of principally residential buildings and whether the properties face South Old Woodward or Woodward Avenue. Further, the iconic Phoenicia restaurant serves alcoholic beverages in the Subject Property's current D3 zone on the west side of South Old Woodward. Placing the Subject Property in the Economic Development License zone would allow the Applicant to enjoy the same restaurant use with alcoholic beverage service as is enjoyed by many of the neighboring property owners.

Sec. 7.02(B)(2)(b)(ii) - An Explanation of Why the Existing Zoning Classification is No Longer Appropriate

After reviewing the 2016 Plan, the existing zoning for the Subject Property should be updated so it is possible to allow a four-story retail development. The RH experience is one of

stand-alone buildings in walkable neighborhoods. Destination stores with restaurant amenities are one of the ways retailers like RH continue to thrive. RH offers customers the cultural experience of visiting a gallery. This is good news for cities like Birmingham. Malls draw pedestrian shoppers away from downtown areas while the Applicant's project will bring shoppers into Downtown Birmingham. Additionally, with Birmingham Place and the 555 Building just south of the Subject Property, the streetscape of South Old Woodward in this area of the City is architecturally balanced by the addition of the Applicant's proposed, classically designed four-story building with a top-floor restaurant, drawing pedestrians off the street to shop and relax in a restaurant setting.

Similarly, the new or returning concept of stand-alone destination retail supports placing the Subject Property in the Economic Development License zone. Current zoning of the Subject Property does not support the RH concept of a destination retail that is a dramatic, economic improvement to the Property, and that offers a first-class dining experience. The RH concept complements the goals of the Birmingham Master Plan and is a benefit to the City. The changes in the zoning requested here will allow this concept to be developed in our City. Hence, the current zoning is no longer appropriate.

Sec. 7.02(B)(2)(b)(iii) - An Explanation of Why the Proposed Zoning will not be Detrimental to the Surrounding Properties

The rezoning of this Property to B2/D4 is complimentary to the surrounding properties, rather than detrimental. First, the uses proposed for the building and the D4 zone will allow the Property to accommodate a large, stand-alone, destination retailer. Second, it will bring a unique strolling shopping experience to the nearby residents of Birmingham Place, the 555 Building, and residential neighborhoods, as well as permit a handsome, four story building with underground garage designed to the standards of the D4 zone. Third, it will give new life to the South Old Woodward streetscape between Brown and Daines, while at the same time it will comply with the spirit and intent of the 2016 Plan and the Birmingham Zoning Ordinances.

Sec. 7.02(B)(5)(a)-(e) – Applicant Satisfies the Required Findings of Fact

(a) Applicant meets the objectives of the City's current master plan and the 2016 Plan.

As discussed, the proposed RH satisfies the City's Master Plan and 2016 Plan for the Retail 1 district. The Applicant's proposed mixed-use retail/restaurant building satisfies the purpose of direct development in the Downtown Overlay. It also will enlarge the central business district south of Brown Street, as the Subject Property and the proposed new building will front South Old Woodward and encompass the area between Brown and Daines. The new RH will offer a unique gallery shopping and dining destination for pedestrian along South Old

Woodward, all consistent with the goals of the Master Plan and 2016 Plan.

(b) The proposed development is consistent with existing uses in the area.

The Applicant's proposed mixed-uses of the Subject Property for a retail gallery and restaurant are consistent with existing uses in the area. The Daxton Hotel sits to the north of Brown Street, with a mix of hotel, restaurant and retail uses. Across the street is Birmingham Place with a mix of office, retail and residential. To the south across Daines is the Forefront, also with a mix of office and residential uses, while the 555 Building further to the south includes restaurant, retail and residential.

(c) The proposed zoning classification is consistent with those in the general area.

Rezoning the Subject Property from D3 to D4 is consistent with zoning in the area. The Daxton Hotel is zoned D4, as is the property on the northeast corner of Brown and S. Old Woodward. Birmingham Place is a D5 building, as is the 555 Building. While neighbors on the west side of Old Woodward are zoned D3, the D3 zone similarly permits four story buildings, so the proposed development is not inconsistent with the general zoning in the area and is entirely consistent with the other developments at the corners of Brown and S. Old Woodward.

(d) The proposed use of the Subject Property is not suitable under existing zoning.

The Applicant proposes a mixed use of retail and restaurant. Current zoning requires the fourth story to be a residential use. The RH gallery retail concept does not include residential, making current zoning unsuitable and supporting a change in zoning to D4 that does not require fourth-floor residential. In addition, the RH design includes a full-service restaurant that will itself be a welcome amenity to the South Woodward corridor. The change to the Economic Development License map to include the Subject Property is necessary to accommodate the restaurant use.

(e) The trend of development in the area supports rezoning of the Subject Property to D4.

As the Planning Board is aware, the Daxton Hotel is a five-story, mixed-use building in the D4 zone, adjacent to the Subject Property across Brown Street to the north. In addition, development is proposed for the property at the northeast corner of Brown and S. Old Woodward for a D4 building. It makes sense for this corner of Brown and Old Woodward also to be developed to the D4 standards, to complete the intersection with a retail building and restaurant in a harmonious and consistent manner. Further, Birmingham Place and the 555 Building add greater structural mass to the South Old Woodward corridor and a D4 development of the Subject Property will provide greater balance to the massing and streetscape of this area of

Downtown.

Conclusion

The merging of the destination retail experience with the offering of restaurant and liquor services will create something new in the City of Birmingham that will enhance the surrounding properties, not be detrimental to them. Simply stated, it will draw pedestrians to South Old Woodward which will help to keep the area a healthy and vibrant. With developments such as this, the South Old Woodward area can be more than just an outpost of Downtown Birmingham but will become an exciting, attractive district. The new RH will offer something entirely different: a shopping, strolling, eating and drinking experience. For these reasons, placing the Subject Property in the Economic Development License zone and rezoning the Property to D4 will benefit the surrounding properties.

Respectfully, Applicant requests that the Planning Board recommend to the City Commission: (i) rezone the Property from B2/D3 to B2/D4; and (ii) amend the Economic Development License zone map of Appendix C, Exhibit 1 of the Zoning Ordinance to include the Subject Property, and that the City Commission rezone the Property from B2/D3 to B2/D4 zone of the Downtown Overlay District and amend the Economic Development License zone map of Appendix C, Exhibit 1 of the Zoning Ordinance to include the Subject Property.

Should you have any further questions or comments with regard to the above, please do not hesitate to call. With kind regards, I am,

Very truly yours,

WILLIAMS, WILLIAMS, RATTNER & PLUNKETT, P.C.

Richard D. Rattner

Richard D. Rattner
Attorney for Applicant

December 27, 1984

City Commission
Birmingham, Michigan

From: D. Larry Sherman, Chairman, Planning and Historic District
Commission

Subject: Rezoning of Brown and Daines Streets to 0-2

Dear Commissioners:

At the Study Session held on December 19, 1984, the Planning and Historic District Commission reviewed the City Commission's request to hold a public hearing to consider rezoning the south side of Brown from Woodward to Purdy and both sides of Daines Street to 0-2 Office-Commercial.

The Commission is concerned that 0-2 may not be the proper zoning for this area. Because these properties are in the parking assessment district, the 0-2 zoning would almost inevitably result in two story office buildings that provide little or no parking on site. The Commission is concerned that this would place an additional burden upon the neighborhood as well as the existing parking facilities in the CBD.

Before holding the public hearing that the City Commission requested, this Commission would like to look at alternatives for this area which encourage residential development as an alternative to commercial or office. If the City Commission concurs, we will begin to study this matter at our next regular meeting.

Very truly yours,

D. Larry Sherman (BBC)

BBC/jb

D. Larry Sherman, Chairman
Planning and Historic District
Commission

January 8, 1985

Planning and Historic District Commission
Birmingham, Michigan

From: Bonnie Brodie Cook, City Planner

Subject: Residential Alternatives for 0-2 Zoning

Dear Commissioners:

Following up ^{on} our discussion at the December 19, 1984 meeting, I ~~have~~ reviewed the zoning ordinance for possible alternatives to encourage residential development in the Brown/Daines Street area.

I do not believe that adding residential incentives (greater than what is currently permitted) to the 0-2 classification is the right answer. Some of the other areas now zoned 0-2 would not be appropriate for medium density residential development. Likewise, some areas currently zoned B-2 are also not readily adaptable for medium density residential.

The Brown/Daines Street area is unique. I have come to the same conclusion that some of the members expressed at the last meeting; perhaps this area needs it's own classification. My suggestions for this new classification are as follows:

1. The uses would be similar to those permitted in the 0-2.
2. The density for residential development would be greater than is currently permitted in the 0-2 (R-5), perhaps R-7 density or greater.
3. The allowable height would be four stories (around 45 feet), 10 feet higher than currently allowed in single family residential.
4. Commercial or office space would be limited to the first story with an F.A.R. no greater than one.
5. No front or side setbacks for commercial or office use, at least 10 foot setback for residential units which front on a street.
6. The taller the building, the larger the setback from any street. The setback may have a step effect (10 feet first story,

January 8, 1985

- 15 feet second story, 20 feet third story, etc.) or it may have a larger setback from ground up (20 or 25 feet).
7. Where the rear setback abuts a street, require the same as the front setback. Where the rear setback does not abut the street but abuts business or office zoning, require 10 feet and where it abuts residential zoning, require 20 feet.
 8. All parking for residential shall be on site, parking for business or office shall be as currently required in the Code.
 9. Possibly reduce the required parking ratio from 1.5 spaces per one bedroom unit and 2 spaces per two bedroom unit to 1.25 spaces per one bedroom and 1.75 spaces per two bedroom unit.

At their meeting on January 7, the City Commission concurred with the Planning and Historic District Commission's request to consider residential alternatives for the Brown/Daines Street area. They requested however, that this item be placed as number one priority and that we proceed immediately with finding a solution, drafting the necessary ordinance or ordinance revisions, holding a public hearing and reporting our recommendation to them as soon as possible.

Very truly yours,

BBC/jb

Bonnie Brodie Cook
City Planner

DATE: April 23rd, 2021

TO: Planning Board

FROM: Brooks Cowan, City Planner

APPROVED: Jana Ecker, Planning Director

SUBJECT: Public Hearing for a Zoning Amendment to Chapter 126, Zoning Ordinance Appendix C, Exhibit 1 Economic Development Licenses Map to allow the use of an Economic Development License for the property located at the southwest corner of Brown Street and S. Old Woodward.

Introduction:

The owners of 300-394 S. Old Woodward and a portion of 294 E. Brown Street have requested a zoning amendment to have the properties located at 300-394 S. Old Woodward and a portion of 294 E. Brown Street be included with the properties eligible for an Economic Development License as identified on the map in Appendix C; Exhibit 1 of the Zoning Ordinance. Properties with an Economic Development License may operate an establishment with on premise sales and consumption of liquor if they obtain a Special Land Use Permit and meet the criteria of Chapter 10, Article II, Division 3 of the Municipal Code. A liquor license associated with an Economic Development License does not have a limit on the number of seats inside or outside of the establishment. The applicant is applying to make this property eligible for an Economic Development License which they intend to pursue for their RH concept store to allow patrons to purchase wine while browsing and shopping the design galleries.

Background:

The subject site is zoned B2 and D3 Overlay. The B2 (General Business) zoning classification permits businesses to operate with an Economic Development License as long as they obtain a Special Land Use Permit and are within the parcels eligible for an Economic Development License identified on the map in Exhibit 1; Appendix C of the Zoning Ordinance. The majority of the parcels currently eligible for an Economic Development License are located along Woodward Avenue between Oakland and Lincoln Avenue in the commercial areas of the Downtown Overlay and Triangle District. The southern portion of the Rail District is also eligible for an Economic Development License. Establishments currently operating with an Economic Development license in Birmingham include the All Seasons, Hazel Ravines & Downtown, and Birmingham Pub. Lincoln Yard was approved for an Economic Development License in the fall of 2019, however it has yet to open.

In regards to the purpose of an Economic Development License, the Municipal Code Chapter 10, Article II, Division 3, Section 10-60 states the following:

The purpose of this division is to establish a policy and conditions to allow the City Commission the ability to approve a request to transfer a liquor license into the city in excess of the city's quota licenses if the request is deemed to constitute a substantial economic development and benefit to the city, to establish criteria for selecting applicants, and to provide limitations on the influx of new liquor licenses and to insure controlled growth and development regarding liquor licenses and to evaluate the impact of increased liquor licenses on the city.

The applicant is requesting this zoning amendment to be eligible for the sale of wine at their proposed retail and restaurant development for RH. The applicant believes the combination of wine, food, and furniture design galleries will create a socially engaging retail experience that will serve as a destination based anchor tenant for the City. The eligibility of an Economic Development License may incentivize the applicant to pursue a development that meets the intent of the license which is *"to constitute a substantial economic development and benefit to the city."*

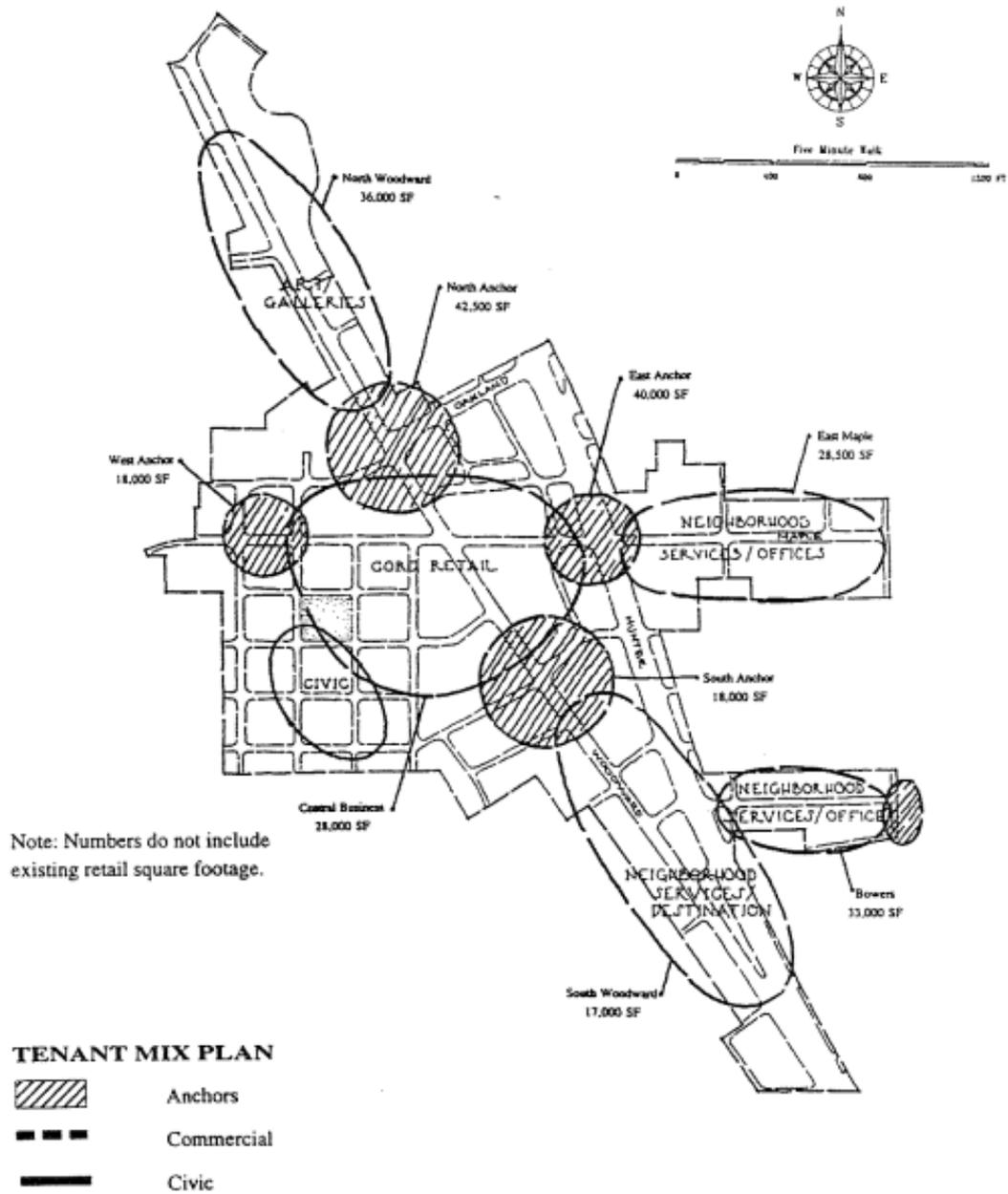
Master Plan:

In regards to the Downtown Birmingham 2016 Plan, it is recommended that the City encourage destination restaurants and retailers which serve as anchor tenants that compliment rather than compete with neighboring commercial uses. These anchor tenants should attract customers from outside the primary trade area, and not have negative impacts on surrounding neighborhoods or the CBD (p. 29-30).

The plan also states that Birmingham has five primary shopping areas in its Downtown which are isolated from each other. The distance between the primary shopping areas significantly limits cross-shopping between them. The plan states that the S. Old Woodward commercial area is separated from the CBD by the ring road traffic of Brown Street, and the plan identifies the intersection of Brown and S. Old Woodward as a location where an anchor tenant development will help spread out retail and encourage pedestrian movement between shopping districts. The illustration of this concept is provided below from Appendix D-1 of the Downtown 2016 Plan.

The plan recommends infill development with 0 foot setback and calls for the elimination of exposed surface parking. Breaks in the street wall for surface parking leads to isolation of retail sections and discourages pedestrian cross shopping from one area of town to the next. The plan also recommends a retail requirement for first floor buildings with frontage along main streets. A retail requirement would provide first floor uses that activate the street at a pedestrian level and provide a continuous engaging experience of items and activities to see in businesses as visitors pass through Birmingham's downtown.

An economic development license for the subject area could incentivize an anchor tenant that provides infill for the space and helps connect the downtown to the S. Old Woodward corridor which the 2016 Plan calls for. This anchor tenant could help continue the street wall from downtown and enhance the pedestrian experience with more retail activity. By attracting an anchor tenant for this location, an Economic Development License for this location could constitute a substantial economic development and benefit to the City and also help achieve the goals of the 2016 Master Plan.



Surrounding Area:

In regards to existing uses within the general area of the property, the subject property currently consists of a one story building and a two story building with a surface parking lot between them. The buildings are along the retail frontage line and consist of businesses offering financial services, shoe repair, and furniture.

The properties to the east and southeast from 355 to 555 S. Old Woodward are all eligible for an Economic Development license. Birmingham Pub at 555 S. Old Woodward currently operates with an Economic Development Liquor License. The area to the southeast is not within the Parking Assessment District, however it does include a parking deck in the 555 building that is available for public use, and a new 5-story mixed-use building has been approved at 469-479 S. Old Woodward. Adachi Sushi is located directly to the east at 325 S. Old Woodward and operates with a Bistro Liquor License in the historical Peabody Mansion. The Peabody Mansion is the only property south of Brown Street between Woodward and S. Old Woodward that is not eligible for an Economic Development license due to its historical designation.

To the north of the subject property is the newly developed Daxton Hotel which has replaced a former single story building and a large surface parking lot. The Daxton Hotel operates with a Hotel Liquor License which enables them to serve alcohol at the restaurant, banquet hall, and for room service. There are two public parking structures to the northeast and northwest of the subject property which are the Pierce Structure and Peabody Structure. Both public parking structures are within 200 feet of the subject property. Birmingham's core commercial area is currently located just north of the subject property, which is zoned as B4 and D4 Overlay.

Directly to the south is the newly developed Forefront property. The Forefront is a mixed-use 3-story building with a 1st floor commercial use and a mix of condos and apartments on floors two and three. There is an eclectic mix of uses continuing further south along Old Woodward which includes a pharmacy, an outdoor sporting goods store, and the restaurant "Phoenicia" which operates with a Class C Quota Liquor License.

Directly to the west along Brown Street is a 2-story office building for Coldwell Banker followed by a 3-story office building with Broder & Sachse amongst other tenants. The southwest portion of the property faces Daines Street which has a mix of office uses in the B2-B zone.

At this time, there are no properties on the west side of S. Old Woodward that are eligible for an Economic Development License.

Current Trends:

Brick and mortar retail has been shifting towards experience-based retail to compete with online shopping. This past decade, the retail industry has seen a number of businesses close their doors due to an inability to compete with online shopping. Successful brick and mortar stores have been able to combat online shopping by providing a positive experience that coincides with quality goods being sold. Doing so creates a destination-based experience that gets patrons walking into their doors and exploring the surrounding area.

The applicant wishes to become eligible for an Economic Development License to provide a luxury shopping experience that includes wine sales to go along with the furniture sales concept. Patrons of the restaurant would be able to bring their wine into various sections of the store while browsing the various design galleries with items for sale. This luxury shopping experience adds a social element to their shopping experience and encourages social interaction while visiting their store.

In regards to development and business trends in the area, The City has begun to see more activity near S. Old Woodward and Brown. The Forefront completed construction in 2018 however it did not occupy its first floor space with a tenant that quite meets the intent of the retail requirement. Attracting an anchor tenant on this side of town could help compliment and activate the surrounding retail spaces as spill-over shopping becomes a possibility. The Daxton Hotel recently completed construction across the street from the subject site and intends to activate the area with its hotel rooms for rent, its restaurant, and its banquet hall for various events. A 5-Story mixed use building was recently approved for 469-479 S. Old Woodward which also intends to bring more 1st floor retail and residents to this side of town. Attracting an anchor tenant could help compliment the surrounding development activity for this area.

An item for consideration and discussion is the impact of Covid-19 on downtowns such as Birmingham where restaurants and shops depend on business from surrounding office workers. There is a wide range of future projections for in-office work, many of them reducing the number of office workers and allowing more opportunities to work at home. If this occurs, Birmingham's businesses could experience a drastic reduction in revenue (or continue to...) An Economic Development License could help attract a destination anchor tenant that brings more people into downtown. Doing so could also provide an interesting destination for people working at home and looking to get out for social activity.

Amending the Ordinance to make the subject property eligible for an Economic Development License could incentivize development at this site that incorporates more experience-based retail that attracts patrons to the area and compliments the surrounding uses.

Summary:

The Planning Division finds that a zoning amendment to make the subject property eligible for an Economic Development License could help incentivize an anchor tenant that serves as an experience-based retail destination. Attracting such an anchor tenant would satisfy the recommendations of the Downtown 2016 Plan for the subject area of S. Old Woodward and Brown. Incentivizing an anchor tenant could also help connect retail from the CBD into the S. Old Woodward area and serve as a catalyst for surrounding businesses.

Suggested Action:

To recommend approval to the City Commission of the ordinance amendment to allow the use of an Economic Development Liquor License in the expanded area as shown on the attached map for Appendix C, Exhibit 1, Economic Development Licenses.

OR

To postpone the ordinance amendment to allow the use of an Economic Development Liquor License in the expanded area as shown on the attached map for Appendix C, Exhibit 1, Economic Development Licenses given the following reasons:

- 1.) _____
- 2.) _____
- 3.) _____

OR

To recommend denial to the City Commission of the ordinance amendment to allow the use of an Economic Development Liquor License in the expanded area as shown on the attached map for Appendix C, Exhibit 1, Economic Development Licenses.



CONSENT OF PROPERTY OWNER

Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95
I, _____, OF THE STATE OF Michigan AND
(Name of Property Owner)
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 394 S. Old Woodward;
(Address of Affected Property)
2. That I have read and examined the Application for **ZONING MAP CHANGE** made to the City of Birmingham by: RH, Inc.;
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95
Name of Owner (Printed): _____

Signature of Owner: Frank Konjarevich **Date:** 2/24/21

**APPLICATION FOR ZONING MAP OR ORDINANCE CHANGE
Birmingham, Michigan**

A letter of authority, or power of attorney, shall be attached in case the appeal is made by a person other than the actual owner of the property.

PRZ21-0001

Date Received: 3/4/21 Received By: _____

Resolution No. _____ Approved/Denied _____

Application Fee: \$1,500.00 Receipt Number _____

The petitioner shall be responsible for any costs incurred by consultant, including but not limited to traffic and environmental, contracted by the city to review the proposed site plan and/or community impact study as determined by the city planner.

LEGAL DESCRIPTION – PARCELS I & II

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

PARCEL I:

THE EAST 1/2 OF LOT(S) 11 OF BROWN'S ADDITION TO THE CITY OF BIRMINGHAM AND THE EAST 1/2 OF LOT 16 OF BROWN'S ADDITION NO. 1, IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING THE VACATED WEST 20 FEET OF ANN STREET ADJOINING LOT 11 AND THE VACATED WEST 19 FEET OF ANN STREET ADJOINING LOT 16.

PARCEL II:

THE WEST 1/2 OF LOT(S) 12 OF BROWN'S ADDITION TO THE VILLAGE (NOW CITY) OF BIRMINGHAM, OF PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST, TOWNSHIP OF BLOOMFIELD (NOW CITY OF BIRMINGHAM), OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, ALSO LOT 15, ADDITION TO WILLIAM BROWN'S ADDITION NO. 1, BEING A PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING VACATED 20 FEET OF ANN STREET, ADJOINING THE WESTERLY SIDE OF LOT 12 AND VACATED 21 FEET OF ANN STREET ADJOINING THE WESTERLY SIDE OF LOT 15.

ADDRESS: 294 E. BROWN STREET, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-021

LEGAL DESCRIPTION – PARCEL 2

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

THE EASTERLY 50 FEET OF LOT 12, AND THE WESTERLY PART OF LOT 13, MEASURING 82.45 FEET ON THE NORTH LOT LINE AND 82.48 FEET ON THE SOUTH LOT LINE OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

ADDRESS: 300 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-006

LEGAL DESCRIPTION – PARCEL 3

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

LOT(S) 14, EXCEPT THAT PART TAKEN FOR WIDENING WOODWARD AVENUE OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

ADDRESS: 394 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-014

Date: April 21, 2021

To: Planning Board Members

From: Jana L. Ecker, Planning Director

Re: **300 - 394 S. Old Woodward and a portion of 294 E. Brown Street – New Mixed Use 4 story Building, Community Impact Study—Preliminary Site Plan Review (All changes shown in blue type)**

Community Impact Study

I. INTRODUCTION

The subject site includes the properties known as 300 – 394 S. Old Woodward, and portions of the property located at 294 E. Brown. These properties are currently occupied by Capital Title/Lutz, Roche Bobois/Frank's Shoe Service and Coldwell Banker Weir Manual. The entire property has a total land area of 54,052.96 sq.ft. or 1.24 acres. It is located on the west side of S. Old Woodward, including the entire block of S. Old Woodward from Brown Street south to Daines Street and all parcels are zoned B2 General Business and D-3 in the Downtown Birmingham Overlay District.

The applicant is proposing to rearrange the parcel lines for the above three properties to create two new parcels through the lot split and combination process. The applicant is proposing to split off the westernmost portion of the 300 S. Old Woodward (currently parking lot) and combine this portion with the parcel at 294 E. Brown Street. In addition, the applicant is proposing to split off the easternmost portion of the L-shaped parcel at 294 E. Brown and combine this with the parcel at 394 S. Old Woodward. Finally, the applicant proposes to combine the new parcels at 300 and 394 S. Old Woodward to create one large new parcel that will run from Brown south to Daines. **The applicant is required to obtain approval of the City Commission for the proposed lot splits and lot combination to create the new lot that is the subject of this application and shown on the site plan.** The applicant has submitted these applications to the City Commission for their review.

Both existing buildings (currently 300 and 394 S. Old Woodward) on the lot to be newly created are proposed to be demolished to construct a new 4 story mixed use building with retail and design uses on the first 3 floors, and a restaurant on the fourth floor. One level of underground parking is proposed to house 24 cars. As the building is located within the Parking Assessment District, no on-site parking is required for the proposed commercial uses.

In order to permit the use of a restaurant on the fourth floor, the applicant is also proposing a rezoning of the new parcel encompassing 300 – 394 S. Old Woodward from D-3 to D-4 in the Overlay District. In addition, the applicant will be proposing zoning amendments to the B2 zoning district to allow the use of economic development liquor licenses with a Special Land Use Permit on this site, which will include an application for an amendment to Exhibit 1, Appendix C, to add the properties at 300 – 394 S. Old Woodward to this map.

The new 4 story building is proposed to be 50,483 sq.ft. in size (not including the underground parking level), thus requiring the applicant to prepare a Community Impact Study in accordance with Article 7, section 7.27(E) of the Zoning Ordinance as they are proposing a new building containing more than 20,000 square feet of gross floor area.

On March 26, 2021, the Planning Board conducted a detailed review of the applicant's CIS. After much discussion, the board voted to postpone the CIS until April 28, 2021 to allow the applicant to address the issues noted in the report below. The main issue to be resolved was the traffic analysis method used by Rowe Engineering. The applicant agreed to meet with the City's traffic engineers to agree upon a methodology and resolve all traffic issues. Mr. Emerine was asked to meet with the traffic experts and City staff to assist in resolving the issues to the satisfaction of the Planning Board. All parties have been working together to resolve the traffic issues, and resolution is expected prior to the Planning Board meeting on April 26, 2021.

II. COMMUNITY IMPACT STUDY

As stated above, the applicant was required to prepare a Community Impact Study given the size of the proposed development. The Zoning Ordinance recognizes that buildings of a certain size may affect community services, the environment, and neighboring properties. The CIS acts as a foundation for discussion between the Planning Board and the applicant, beyond the normal scope of information addressed in the Preliminary Site Plan Review application. The Planning Board “accepts” the CIS prior to taking action on a Preliminary Site Plan.

A. Planning & Zoning Issues:

Use

The property is currently zoned B2 and D-3 in the Overlay District. The proposed retail, design services and restaurant uses are permitted principal uses in the B2 and D-3 zone districts. **However, the proposed restaurant use is not permitted on the fourth floor of a building in the D-3 Downtown Overlay zone, as a fourth floor is only permitted in**

this zone if it is used for residential units. Thus, the applicant will be required to obtain a variance for the use of the fourth floor as a restaurant, or to obtain approval of a rezoning of the property to D-4 in the Downtown Overlay. The applicant has submitted a rezoning petition to rezone the subject site from D-3 to D-4 in the Downtown Overlay.

In addition, the applicant is proposing that the restaurant on the fourth floor serve alcoholic liquors, thus requiring a liquor license and a Special Land Use Permit. The applicant has advised that they wish to seek an Economic Development liquor license for use on this site given the significant investment in the redevelopment of the site. **However, Economic Development liquor licenses are not permitted for use on the site, as none of the properties involved in this application are included on the map contained in Appendix C, Exhibit 1, of the Zoning Ordinance. Thus, the applicant will be required to obtain a variance for the use of an Economic Development license on the site, or obtain approval of a zoning amendment to alter the map contained in Appendix C, Exhibit 1 of the Zoning Ordinance to include the subject property. The applicant has submitted a request for an amendment to the Zoning Ordinance to amend Appendix C, Exhibit 1 to include the subject site. Should the zoning amendment be approved, the applicant will then be required to obtain a Special Land Use Permit along with Final Site Plan and Design approval from the City Commission.**

Master Plan Compliance: Downtown Birmingham 2016 Plan

Article 3, section 3.01 of the Zoning Ordinance states that the purposes of the Downtown Birmingham Overlay District are to:

- (a) Encourage and direct development within the boundaries of the Overlay Zoning District and implement the 2016 Plan;
- (b) Encourage a form of development that will achieve the physical qualities necessary to maintain and enhance the economic vitality of downtown Birmingham and to maintain the desired character of the City of Birmingham as stated in the 2016 Plan;
- (c) Encourage the renovation of buildings; ensure that new buildings are compatible with their context and the desired character of the city; ensure that all uses relate to the pedestrian; and, ensure that retail be safeguarded along specific street frontages; and
- (d) Ensure that new buildings are compatible with and enhance the historic districts which reflect the city's cultural, social, economic, political, and architectural heritage.

The proposed development implements the recommendations contained in the Downtown Birmingham 2016 Master Plan ("2016 Plan") as the applicant is proposing a mixed use building with first floor retail space, and the applicant has proposed high quality materials and provided architectural elements to provide a pedestrian scale on all sides of the proposed building.

In addition, the DB 2016 Report encourages D-3 flexible use buildings in this area, to provide a connection between Downtown and the south end of S. Old Woodward, and encourages anchor retail development. The proposed retail, gallery, design services and restaurant uses all work together to provide a significant retail anchor at this location, activating this area. The 2016 Plan states that "Traditional American cities, except the very largest, rarely exceed five stories in building height and most commonly range from two to four stories. Downtown Birmingham adheres to this rule, with the most memorable streets tending to be at least two stories and the least memorable being mostly one story". The Planning Division finds that the proposed four story building does meet the spirit and intent of the 2016 Plan as it does provide for significant massing at this important corner of Brown and S. Old Woodward. The proposed four story development also provides a transition from the five story Daxton Hotel to the north and the three story Forefront building to the south.

The proposed development and uses relate to the pedestrian, as the building is located at the property line and was designed with human scale detailing on the first floor, including canopies, large windows, and pedestrian entrances on S. Old Woodward, Daines and Brown streets. The 2016 Plan encourages proper building mass and scale to create an environment that is more comfortable to pedestrians creating a walkable downtown. The proposed development will help improve the visual appearance of the area, by creating a denser, more compact development with enough height to create a street wall along both S. Old Woodward, E. Brown and Daines. The main entry to the building is located along S. Old Woodward, with prominent entries also located on Daines, E. Brown Street and on the west elevation of the building at a proposed courtyard space.

In addition, the 2016 Plan encourages pedestrian-scale features which should be incorporated on the first floor of buildings and at entrances to help relate buildings to the streetscape. The design for the proposed building includes high quality materials, extensive storefront glazing, canopies, as well as pedestrian scale building lighting along both the S. Old Woodward, E. Brown and Daines façades.

Streetscape components are an integral part of the 2016 Plan. The applicant is required to maintain the pedestrian scale street lighting and street trees along S. Old Woodward and E. Brown Street. The Planning Board may wish to recommend the addition of benches and/or trash receptacles along S. Old Woodward in the public right-of-way. The applicant has not yet provided a streetscape plan. A full design review will be conducted at the time of Final Site Plan and Design Review.

B. Land Development Issues:

The applicant has provided a survey of existing site conditions, which includes topographic conditions to demonstrate existing drainage conditions.

The applicant has submitted a Phase 1 Environmental Site Assessment dated December 11, 2020, prepared by PM Environmental. The report indicates that there is some evidence of recognized environmental conditions ("RECs") that are assumed to be present but could not be confirmed. These include the possibility of hazardous substances and /or petroleum products given prior use of the property for automotive service and sales, a dry cleaning facility, a fur retailer with possible repair or cleaning operations, and a gasoline dispensing station with underground storage tanks. Automotive service and repair facilities can include the use of hydraulic fluids and PCBs, and gasoline stations contain underground storage tanks that may have been orphaned and / or leaked into the surrounding soils. The previous dry cleaning use is likely to have involve the use of general hazardous substances, which may have caused subsurface contamination due to improper storage, management and / or disposal. Finally, the Phase 1 states that the fur retailer previous in operation on the site is likely to have involved the use of general hazardous substances for the cleaning and repair of fur garments, which may have caused subsurface contamination due to improper storage, management and / or disposal.

The applicant has submitted a document entitled Soil and Groundwater Analytical Results with readings taken on December 21, 2020. This analysis was prepared by PM Environmental, and included seven soil borings. Two borings were taken through asphalt paving, and five borings were taken below existing buildings on the site. The underlying native soil was stiff clay. The soil boring logs were also provided.

The applicant has stated in the CIS that approximately 23,000 cubic yards of soil will be excavated and removed from the site, along with the debris from the demolition of the existing buildings and parking lots. The CIS proposes haul routes to and from the site to come in from SB Woodward on Brown Street, then proceed south on S. Old Woodward, continuing

away from the site on SB S. Old Woodward, then east on Hazel Street back to SB Woodward Avenue. A map detailing the proposed haul route was included with the CIS for your review.

The CIS states that the development may cause miscellaneous noise nuisances due to demolition activities, and the operation of heavy equipment. The CIS states that the site will be protected with barricades and clearly marked to protect pedestrians and motorists. The applicant proposes the use of water spray guns and sweepers to control dust and clean up any soil or debris tracked out of the construction zone.

C. Utilities, Noise and Air Issues:

In accordance with the 2016 Plan, all utilities on the site should be buried to visually enhance the site. Thus, the applicant will be required to bury all utilities on the site. The applicant has not indicated which utility companies will be servicing the site, but has indicated that all new lines on this site will be run underground as required.

As noted in the CIS, the applicant states that current ambient noise levels at the site are compatible with the proposed mixed use project. A noise study was prepared by Kolano and Saha Engineers, Inc. dated February 22, 2021. Noise readings were taken on site at a location 125' west of S. Old Woodward Avenue, and 100' south of E. Brown Street on February 15 – 17, 2021 using a Bruel & Kjaer 2270 environmental noise analyzer with a precision outdoor microphone assembly. The noise study reports that during the period of study, there were large amounts of snow falling and accumulating, as well as snow removal activity. Thus, while the presence of snow absorbs and reduces noise readings, snow removal activities also produced increased noise levels at six different times during the study. None of these levels were above the maximum noise levels for snow clearance as provided in the City Code. Two other readings were taken where construction related activity in the adjacent area caused spikes in the noise levels on site, also below the maximum levels permitted for construction activities. With the exception of the these snow clearance and construction events, the ambient noise levels on the site were below the day and night commercial noise levels of 90 dBA (daytime) and 75 dBA (nighttime).

The noise study states that the once the proposed building is completed, the primary sources of noise expected will be from heating and cooling systems and delivery trucks, both of which will be of similar levels to those emanating from adjacent buildings, and will be within the noise limits permitted in the City Code. Specification sheets for all mechanical equipment will be reviewed at Final Site Plan Review for noise output to ensure that the City's noise limits for commercial property will be met.

The applicant has stated in the CIS that the closest air quality monitoring station is located in Oak Park and that there are no air quality violations in this attainment area. The applicant has stated that the proposed development will be consistent with similar downtown building types and uses, and new construction materials and techniques will result in a cleaner, more sustainable building than those existing on the site. However, the CIS states that the additional density of the new building will create some additional pollution.

D. Environmental Design and Historic Values:

The applicant has indicated that no demonstrable destruction of natural features will take place at the site, as the site is largely impervious. Demolition will include the elimination of two buildings and two surface parking areas. The proposed building will be similar in size, scale and materials to neighboring buildings, and will bring enhanced activity to an underutilized site. The CIS states that the new building will not block or degrade views from surrounding buildings, as the designers have studied the surroundings and designed the proposed building and site to enhance the overall area. The proposed building will alter the skyline on S. Old Woodward, as it blends in between the new five story Daxton Hotel north of the site, and the three story Forefront Building south of the site. The proposed new four story building will provide a transition between the properties to the north and south, and will assist in providing a focal point to visually reduce the width of S. Old Woodward. Along E. Brown Street, the proposed 4 story building will assist in balancing the mass of the 5 story Daxton Hotel on the north side of the street. The CIS states that there are very few trees on the site currently. These will be removed, and new, enhanced landscaped areas will be added on site. A complete design review, including streetscape elements, will be conducted as a part of the Final Site Plan review process.

The site is not listed on the National Register of Historic Places, nor is it on the City's list of historic sites. Review by the SHPO and HDC is not required. The CIS states that there are no properties or elements within the site plan boundaries that are historic. No historic properties are directly adjacent to the site. However, the Peabody Mansion located at 325 S. Old Woodward is across Old Woodward from the subject site.

E. Refuse, Sewer and Water:

The proposed floor plan for the first floor shows two back of house rooms towards the center of the building. These trash rooms are replicated on the upper floors of the building as well, so that each floor has two trash rooms. The CIS states that the trash rooms will be air-conditioned and will

provide adequate space for separation of recyclable materials. The CIS further states that all trash will be removed for daily scheduled pick up. No details have been provided at this time to show the number or size of trash or recycling containers, nor to indicate how recycling will be collected within the building. The CIS does state that all trash generated from the proposed development will be normal and can be handled via standard removal practices.

The CIS states that there is a 12" existing water service within both the S. Old Woodward and E. Brown Street right-of-ways. An 8" water main also exists in the Daines Street right-of-way. The CIS states that the existing 12" water main along S. Old Woodward was installed in 2007 and has sufficient capacity to service the proposed building. The CIS further states that the applicant **may** use low flow toilets, faucets and greywater recycling to reduce the amount of water entering the sewer system.

The CIS indicates that an existing sanitary sewer exists within the S. Old Woodward right-of-way in front of the proposed site, which will have the capacity to service the proposed development. The CIS also states that the storm sewer system that serves the site will not be exceeded or adversely affected by the runoff from the proposed development as no additional runoff will be directed to drain to the municipal storm sewer system along S. Old Woodward. In addition, the amount of impervious area on the site will be reduced due to landscaping and rooftop gardens and terraces.

F. Public Safety:

The applicant has stated that the proposed development provides adequate access for police, fire and emergency vehicles from E. Brown, Daines Street and S. Old Woodward. The CIS states that one of the elevators in the building will accommodate a medical cart, stretchers and emergency equipment. The applicant has advised that both elevators will accommodate a medical cart and other emergency equipment.

The Police and Fire Departments have not expressed any concerns. The applicant has advised that the building will have a full fire suppression system and/or standpipe, and will provide a Knox Box. The applicant has indicated that they will provide a Fire Department connection, but the location is not shown on the site plan or building elevations. **The Fire Department will require further information to ensure that all life safety issues have been addressed, including details on the fire suppression system, fire access and the Knox Box location.** This was not provided in the CIS and will be required at the time of Final Site Plan review. The CIS states that there will be security systems for the building. **The Police Department has not granted approval of the**

proposed security system at this time, but the applicant has indicated that the future tenant will submit this information for approval after final design is complete.

G. Transportation Issues:

The CIS states that the subject site is accessible by SMART bus service (Route #1652) within 400' of the site, by motor vehicle, bicycle or on foot. The CIS indicates that proposed streetscape improvements will enhance the pedestrian environment, and crosswalk improvements will enhance pedestrian safety in the area. Given the location of the proposed development, a vast majority of retail options, restaurants, and personal services are also available within walking distance of the site.

The applicant has provided a Transportation Impact Study ("TIS") prepared by ROWE Professional Services Company, dated February 24, 2021, using the City's updated Transportation Impact Study form. The applicant's TIS concluded that the vehicular traffic impacts of the proposed development will not have a significant impact at the study intersections or on the surrounding road network. Specifically, the study found that the proposed development will only generate 26 new vehicle trips during the PM peak hour, and 57 new trips during the SAT peak hour. Thus, the study concluded that no site access or transportation infrastructure improvements are recommended to support the proposed building and uses.

The City's transportation consultant ("F & V") has reviewed the TIS, and a review letter dated March 17, 2021 is attached for your review. **F & V has requested additional information and updates to the assumptions and methodologies utilized in the preparation of the TIS. F & V recommends that the applicant update the TIS as outlined in the letter dated March 17, 2021, and submit the preliminary outline of the updated study to the City prior to performing the analysis.**

H. Parking Issues:

The applicant indicates that a total of 24 parking spaces are proposed, with all spaces located in the underground parking level. As the property is located within the Parking Assessment District, no on site parking is required as no residential use is proposed.

I. Natural Features:

The applicant has indicated that there will be little impact on natural features or bodies of water as a result of the proposed development, as

the site is currently 100% impervious surface. Existing site trees and shrubs will be removed, but extensive landscaping will be provided with the new development.

J. Departmental Reports

1. Engineering Division – Comments from the Engineering will be provided prior to the Planning Board meeting on March 24, 2021.
2. Department of Public Services – The Department of Public Services will provide their comments prior to the Planning Board meeting on March 24, 2021.
3. Fire Department – The Fire Department will provide their comments prior to the Planning Board meeting on March 24, 2021.
4. Police Department – The Police Department will provide their comments prior to the Planning Board meeting on March 24, 2021.
5. Building Division – The Building Division has examined the plans for the proposed project. The plans were provided to the Planning Department for site plan review purposes only and present conceptual elevations and floor plans. Although the plans lack sufficient detail to perform a code review, the following comments are offered for review purposes and applicant consideration:

The north and south exits stairway enclosures both are connected to the exit discharge (exterior of the building) on the first floor by exit passageways as permitted by Section 1023.3.1 of the building code. Exit passageways are subject to the requirements of Section 1024 of the code. Section 1024.5 limits the openings into exit passageways to the exit stair and normally occupied areas of the building. **The B.O.H. room in the north passageway and the receiving area, trash room and freight elevator shown in the south passageway are not permitted.** The applicant has now submitted revised plans that correct this issue.

K. Summary of CIS:

The following issues remain outstanding with regards to the CIS:

- (1) The applicant must update the TIS as outlined in the March 17, 2021 letter from F & V and resubmit for review;
- (2) The applicant is required to provide information on all life safety issues for Fire Dept. approval; and

- (3) The applicant is required to provide information on the proposed security system for approval by the Police Department.

L. Suggested Action:

1. To postpone action on the Community Impact Study as provided by the applicant for the proposed development at 300 - 394 S. Old Woodward and a portion of 294 E. Brown Street, allowing the applicant the opportunity to address the issues raised above.

Or

2. To accept the Community Impact Study as provided by the applicant for the proposed development at 300 - 394 S. Old Woodward and a portion of 294 E. Brown Street with the following conditions:
 - (1) The applicant provide a soil report for the subject site;
 - (2) The applicant must update the TIS as outlined in the March 17, 2021 letter from F & V and resubmit for review and approval;
 - (3) The applicant is required to provide information on all life safety issues and Fire Dept. approval; and
 - (4) The applicant is required to provide information on the proposed security system for approval by the Police Department.

Or

3. To decline the Community Impact Study as provided by the applicant for the proposed development at 300 - 394 S. Old Woodward and a portion of 294 E. Brown Street for the following reasons:
 - a. _____
 - b. _____
 - c. _____

Preliminary Site Plan Review

III. Preliminary Site Plan Review

The Planning Board conducted a detailed review of the Preliminary Site Plan at the meeting on March 26, 2021, after reviewing the CIS for the site. After much discussion, the Planning Board voted unanimously to postpone voting until April 28, 2021 in order to consider the CIS, Preliminary Site Plan, Rezoning Request and Economic Development License for 300 & 394 S. Old Woodward and portions of 294 E. Brown during the same meeting.

1.0 Land Use and Zoning

- 1.1. Existing Land Use – The existing land uses on the site include Capital Title/Lutz and Coldwell Banker Weir Manual real estate services, as well as Roche Bobois' retail use and Frank's Shoe Repair Services. The existing Capital Title/Lutz and Frank's Shoe Repair building are proposed to be demolished to allow construction of the proposed four story mixed use building.
- 1.2. Zoning – The property is zoned B2 General Business, and D-3 in the Downtown Overlay District. The proposed retail, gallery, design services and restaurant use and surrounding uses appear to conform to the permitted uses of the zoning district. **However, the use of the fourth floor as a restaurant is not permitted in the D-3 zoning district, which allows a fourth floor only when used for residential units. Thus, the applicant must obtain a variance for this use, or obtain the requested rezoning from D-3 to D-4 in the Downtown Overlay District. The applicant has submitted a rezoning application for review by the City.**

In addition, the applicant is proposing that the restaurant on the fourth floor serve alcoholic liquors, thus requiring a liquor license and a Special Land Use Permit. The applicant has advised that they wish to seek an Economic Development liquor license for use on this site given the significant investment in the redevelopment of the site. **However, Economic Development liquor licenses are not permitted for use on the site, as none of the properties involved in this application are included on the map contained in Appendix C, Exhibit 1, of the Zoning Ordinance. Thus, the applicant will be required to obtain a variance for the use of an Economic Development license on the site, or obtain approval of a zoning amendment to alter the map contained in Appendix C, Exhibit 1 of the Zoning Ordinance to include the subject property. The applicant has submitted a request for an amendment to the Zoning Ordinance to amend Appendix C, Exhibit 1 to include the**

subject site. The applicant has submitted an application for a zoning ordinance amendment for review by the City.

1.3 Summary of Adjacent Land Use and Zoning - The following chart summarizes existing land use and zoning adjacent to and/or in the vicinity of the subject site, including the 2016 Regulating Plan.

	North	South	East	West
Existing Land Use	Retail/ Commercial / Hotel	Retail/ Commercial & Residential	Retail/ Commercial/ Residential	Commercial/ Parking
Existing Zoning District	B-4 Business Residential	B-2B General Business	B-2 General Business & B-3 Office- Residential	B-2 General Business
Overlay Zoning District	D-4	D-2	D-3& D-4	D-3

2.0 Setback and Height Requirements

Please see the attached Zoning Compliance Summary Sheet for detailed zoning compliance information. The proposed four story building meets all of the setback and placement requirements of the D-3 zoning district, and most of the height, scale and mass development standards. **However, the applicant will be required to reduce the height of the proposed building to 68’ and 3 stories and the eave height to 34’ maximum, or obtain the requested rezoning of the site from D-3 to D-4 in the Downtown Overlay District, or obtain a variance from the Board of Zoning Appeals.**

3.0 Screening and Landscaping

3.1 Dumpster Screening – The applicant is proposing to store all trash in containers in two back of house rooms located towards the center of the building on each floor. All trash rooms will be air conditioned. The rooms have no windows and are fully screened

within the building on all levels.

- 3.2 Parking Lot Screening – The applicant is proposing 24 parking spaces in the underground parking level. No barrier-free parking spaces are indicated at this time. The underground parking area is fully enclosed, with a 20.5' wide vehicular entrance off of Daines. Six public parking spaces are also located on S. Old Woodward, including 1 barrier-free space.
- 3.3 Mechanical Equipment Screening –The applicant has provided specification sheets for a selection of mechanical equipment. **A roof plan has not been provided at this time, but will be required at Final Site Plan and Design Review.** From the building elevations it appears that two mechanical enclosures are proposed on the rooftop of the restaurant back of house areas, to be screened by a parapet system. The applicant is also proposing a ground-mounted transformer to be located along the north elevation of the building on E. Brown. The transformer is proposed to be screened by Green Velvet Boxwoods on the east side, Emerald Green Arborvitae on the south side, and additional plantings are shown on the north and west sides of the transformer, but no species type or size is indicated at this time. **Details regarding the type, size and placement of all mechanical equipment and associated screening must be provided at the time of Final Site Plan review. The applicant has now provided a roof plan which will be reviewed at Final Site Plan review.**
- 3.4 Landscaping –A detailed landscape plan has been provided which shows extensive plantings surrounding the building, and on the rooftop terrace space adjacent to the fourth floor restaurant.

The only landscaping requirements that apply to the proposed development are the street tree standards, and mechanical equipment screening. The Downtown Overlay District requires that one street tree be provided for every 40' of street frontage. Thus, 5 street trees are required along S. Old Woodward, and 8 Kindred Spirit Columnar Oak street trees are proposed. Three street trees are required along both E. Brown and Daines Street. Four Hybrid Elm street trees are proposed along E. Brown, but space is not available for the addition of street trees along Daines, as a minimum 5' wide sidewalk would not remain. **The applicant must obtain a waiver of the street tree requirement from the City's Arborist on Daines.** The applicant has however proposed 3 Green Vase Zelkovia trees on private property along the sidewalk edge that will function as street trees along Daines Street.

As stated, extensive landscaping is proposed surrounding the building on all sides. In the right-of-way along S. Old Woodward, All Gold Japanese Grass is proposed in large raised planters between street trees. This design may change as the plans for the improvements to S. Old Woodward between Brown Street and Lincoln progress. **All plantings along S. Old Woodward will be required to be consistent with the enhanced streetscape design planned by the City for future construction.**

On the E. Brown frontage, Green Velvet Boxwoods are proposed to line the sidewalk, with Little Quick Fire Hydrangea and Slender Silhouette Sweetgum trees mixed in, and Green Carpet Pachysandra proposed as groundcover. Additional landscaping is proposed to screen the transformer as discussed above. On the Daines Street frontage, the applicant is proposing a landscaped outdoor courtyard, to be surrounded on three sides by a masonry and metal picket screen wall, with All Gold Japanese Grass planted on the outside of the wall, and three Green Vase Zelkovia trees lining the street on the inside of the wall. Within the courtyard area and flanking the building entrances, Green Velvet Boxwood and Slender Silhouette Sweetgum trees and Little Quick Fire Hydrangea shrubs are also proposed. **Six additional shrubs are located in the courtyard area, but no species information has been provided at this time.**

Along the western elevation of the building, the applicant is proposing to create a pedestrian via lined on both sides by extensive landscaping and punctuated by several outdoor seating areas. The pedestrian via proposed is 5' wide, and is lined to the east with Green Velvet Boxwood, Bobo Hydrangea and K. Forester Feather Grass, with Little Quick Fire Hydrangea shrubs in planters at the western building entry. **Six additional shrubs are located along the western elevation of the building, but no species information has been provided at this time.**

The proposed via is also lined to the west with a clipped evergreen hedge of Hatfield Yews and Limelight Hydrangea shrubs on the subject site. In addition, the applicant is proposing landscaping improvements extending onto the property to the west at 294 E. Brown Street. Plantings proposed on the adjacent property include Hatfield Yews, Bobo Hydrangeas, Incrediball Hydrangea, Frans Fontaine Hornbeam trees and Limelight Hydrangea shrubs. **All landscaping changes proposed for the adjacent site must receive separate Planning approval and are not included in this site plan review approval.**

3.5 Streetscape Elements

In accordance with Downtown Streetscape Standards, the following streetscape standards must be met.

- Provide Sidewalks - Based on the drawings submitted the sidewalk along S. Old Woodward is proposed to be 15' in width, with an 8' pedestrian path at its narrowest, and street trees and planting beds in the furnishing zone closer to the curbline. The existing sidewalk along Daines Street will remain at 6.5' in width. While this does not permit space for street trees, the applicant is proposing 3 trees on their property that will act in lieu of street trees. The sidewalk proposed along E. Brown is proposed to be 13' in width, with a 7.5' pedestrian path and street trees in tree wells lining the roadway.
- Exposed aggregate along curb with broom finish in pedestrian path – The applicant has provided the standard sidewalk design with a broom finish pedestrian path and exposed aggregate between the pedestrian path and the curb on S. Old Woodward and E. Brown. The applicant will be required to replace all existing sidewalk to provide the exposed aggregate sections in the furniture zone along S. Old Woodward, and to use the required joint pattern. **All streetscape elements on S. Old Woodward will be required to be consistent with the enhanced streetscape design planned by the City for future construction.**
- Pedestrian level street lighting along all sidewalks with hanging planters. Plans submitted indicate the required pedestrian scale street lights are in place along S. Old Woodward and E. Brown Street, spaced 40' on center as required. Pedestrian scale lighting is not required along Daines Street. **No details have been provided regarding the existence or installation of hanging planters.**
- Benches and trash receptacles in park and plaza areas and along adjoining sidewalks where pedestrian activity will benefit as determined by the Planning Board. The applicant is proposing to add a City bench, trash receptacle and a bicycle rack along E. Brown Street, adjacent to the new via. All furniture proposed must be the City approved standard design for the Downtown Overlay District. Along S. Old Woodward, there is an existing granite bench near the corner of E. Brown Street. The Planning Board may wish to recommend the addition of benches, bicycle racks and/or trash receptacles along S. Old Woodward. **However, all streetscape elements on S. Old Woodward will be**

required to be consistent with the enhanced streetscape design planned by the City for future construction.

The proposed 6.5' sidewalk along Daines is not wide enough to allow room for street furniture. However, as noted above the proposed courtyard area on private property will provide an enhanced pedestrian experience along Daines.

The applicant will be required to provide a complete streetscape plan at the time of Final Site Plan review that meets each of the streetscape standards listed above. The applicant has submitted a revised site plan that shows changes to the proposed streetscape to include an enlarged valet parking drop off and pick up area. The sidewalk amenities remain the same, but the valet parking area has been added to the south end of the block along S. Old Woodward.

4.0 Parking, Loading and Circulation

- 4.1 Parking –No on-site parking is required for the proposed retail or commercial uses as the site is located within the Parking Assessment District. However, the applicant is proposing 24 parking spaces on site in an underground parking level. All parking spaces meet the minimum size requirement of 180 square feet, and are not located within the first floor storefronts. Six public right-of-way parking spaces exist along the S. Old Woodward frontage at this time. **The applicant has expressed a desire for a small valet parking operation, which must be reviewed and approved by the Police Department and/or City Commission.**
- 4.2 Loading – In accordance with Article 4, section 4.22 of the Zoning Ordinance, three loading spaces are required for the proposed development as the building is 50,483 sq.ft. in size. The applicant is proposing two loading spaces on the entry drive to the underground parking level, which is fully screened within the building. One portion of a loading space extends outside of the building, but landscaping materials assist in screening on both the east and west sides of this drive should this loading space be needed. **The applicant will be required to add a loading space, or obtain a variance from the Board of Zoning Appeals.**
- 4.3 Vehicular Circulation and Access – The proposed development includes the removal of one curb cut on S. Old Woodward, and one curb cut on E. Brown Street. The existing curb cut on Daines will be relocated to the west to provide vehicular access to the underground parking level. Vehicles entering the site from Daines

do so via a 20.5' wide entrance to park under the building. With regards to internal circulation on the site, a minimum 17' wide two way drive has been provided through the parking level. The proposed drive widths on the interior of the site are adequate for proper maneuvering within the site.

- 4.4 Pedestrian Circulation and Access – As discussed above, the applicant has provided pedestrian entrances on all sides of the building. The main entrances are located on the east and west elevations of the building, directly across from the other, leading to a great room in the center of the building. Smaller entrances are also located on E. Brown, and off of the courtyard area on Daines. All entrances are directly accessible from a City sidewalk or the new pedestrian via which connects the City sidewalks on E. Brown and Daines.

5.0 Lighting

The applicant has submitted a photometric plan as part of the Preliminary Site Plan Review application. No lighting specification sheets have been provided at this time, and must be submitted at Final Site Plan review to determine compliance with the Zoning Ordinance lighting standards.

The photometric plan and building elevations show two large lantern style light fixtures at all entrances on each of the four building elevations, to be mounted at 9' above grade. The photometric plan also shows 26 Bega 17 watt LED in-grade floodlights proposed around the entire building. Eight other light fixtures are proposed that appear to be mounted at a height of 12' in each of the street trees lining S. Old Woodward and E. Brown Street. **No details or specification sheets for the proposed fixtures have been provided at this time. However, none of the fixtures appear to be cut-off fixtures. A full review of the lighting plan will be performed at the time of Final Site Plan review. The applicant must submit specification sheets on all proposed lighting with the Final Site Plan Application.**

6.0 Departmental Reports

6.1 Engineering Division – The Engineering Department will provide comments prior to the Planning Board meeting on March 24, 2021.

6.2 Department of Public Services – The Department of Public Services will provide comments prior to the Planning Board meeting on March 24, 2021.

6.3 Fire Department – The Fire Department will provide comments prior

to the Planning Board meeting on March 24, 2021. **The plans have now been revised to include a Fire Command Room and a Fire Department water connection has been added to the S. Old Woodward façade as previously requested by the Fire Department.**

6.4 Police Department – The Police Department will provide comments prior to the Planning Board meeting on March 24, 2021.

6. Building Division – The Building Division has examined the plans for the proposed project. The plans were provided to the Planning Department for site plan review purposes only and present conceptual elevations and floor plans. Although the plans lack sufficient detail to perform a code review, the following comments are offered for review purposes and applicant consideration:

The north and south exits stairway enclosures both are connected to the exit discharge (exterior of the building) on the first floor by exit passageways as permitted by Section 1023.3.1 of the building code. Exit passageways are subject to the requirements of Section 1024 of the code. Section 1024.5 limits the openings into exit passageways to the exit stair and normally occupied areas of the building. **The B.O.H. room in the north passageway and the receiving area, trash room and freight elevator shown in the south passageway are not permitted.** The applicant has now submitted revised plans that correct this issue.

7.0 Design Review

A detailed design review will be conducted at the Final Site Plan review. At this time, the applicant has provided elevations and renderings of the proposed building. Contextual renderings have also been provided to show the existing S. Old Woodward streetscape and skyline. Some basic information on building materials has also been provided. The applicant is proposing to utilize the following materials for the construction of the four story, mixed use building:

- Reddish-brown Norman brick for the main body of the building, **which is now proposed to be a Slate Grey Velour architectural brick by Norman brick for the main body of the building;**
- Mankato Limestone to highlight vertical portions of the building at each of the entrances, **which is now proposed to be a Basaltina Basalt Stone;**
- Hope steel windows and doors in black, **sunscreens now added to all windows;**
- Stucco to match the Mankato Limestone on portions of the upper level parapet and rooftop mechanical screen walls;

- Black metal awnings and railings; and
- Clear glazing on all windows, tinted glazing on the rooftop of the restaurant conservatory.

No material samples or color specifics have been provided at this time, but will be required at the time of Final Site Plan review. The applicant has provided color renderings of some of the proposed building materials.

Article 3, section 3.04(E), Downtown Overlay District, of the Zoning Ordinance contains architectural and design standards that will apply to this building, including specific requirements for the design and relief of front façades, glazing requirements, window and door standards and proportions, roof design, building materials, awnings and other pedestrian scaled architectural features.

The proposed building appears to meet most of the architectural standards set out in Article 3, Downtown Birmingham Overlay District, of the Zoning Ordinance as the first floor storefronts are directly accessible from the sidewalk, the storefront windows are vertically proportioned, no blank walls face a public street, balconies and railings are made of metal, and the main entries incorporate canopy features to add architectural interest on a pedestrian scale. In addition, it appears that at least 90% of the exterior finish of the building is brick, limestone and glass, the storefront windows have mullion systems, and the required storefront glazing minimum appears to have been met. All of this will be verified at Final Site Plan and Design Review.

All proposed building signage will be reviewed at Final Site Plan and Design Review in conjunction with the proposed Special Land Use Permit application. The signage as proposed would be considered building identification signage, and would not be permitted to be illuminated.

One design issue that the Planning Board may wish to discuss concerns the required screen wall along S. Old Woodward where the building does not extend all the way down to Daines. While a screen wall is required to be between 2.5' and 3.5' in height in the absence of a building façade, the proposed masonry screen wall has several areas that are open and accented with steel picket fencing. While openings in required screen walls are permitted to allow for pedestrian and vehicle access, the Planning Board may wish to discuss the number and width of the open sections of the screen wall. Between the screen wall and the proposed plantings in the courtyard, while there is not a building façade, there is much to add pedestrian interest and define the street wall.

The Planning Division will reserve detailed analysis and comments regarding architectural standards and design related issues for the Final Site Plan and Design Review.

8.0 Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- (1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- (2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- (3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property not diminish the value thereof.
- (4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- (5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- (6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

9.0 Recommendation

Based on a review of the site plan revisions submitted, the Planning Division recommends that the Planning Board APPROVE the Preliminary Site Plan for 300 - 394 S. Old Woodward and a portion of 294 E. Brown Street with the following conditions:

- (1) The applicant is required to obtain approval of the City Commission for the proposed lot splits and lot combination to create the new lot that is the subject of this application and shown on the site plan;
- (2) The applicant obtain a variance for the use of the fourth floor as a restaurant, or obtain approval of a rezoning of the property to D-4 in the Downtown Overlay;
- (3) The applicant obtain a variance for the use of an Economic Development license on the site, or obtain approval of a zoning amendment to alter the map contained in Appendix C, Exhibit 1 of the Zoning Ordinance to include the subject property;

- (4) The applicant reduce the height of the proposed building to 68' and 3 stories and the eave height to 34' maximum, or obtain the requested rezoning of the site from D-3 to D-4 in the Downtown Overlay District, or obtain a variance from the Board of Zoning Appeals;
- (5) The applicant update the landscape plan to provide species and size details on all proposed plantings, and provide material specifications on hardscape items at the time of Final Site Plan Review;
- (6) The applicant is required to receive separate Planning approval for all landscaping changes proposed for the adjacent site, as they are not included in this site plan review approval;
- (7) The applicant must submit a complete streetscape plan, including detail on hanging planters, at the time of Final Site Plan review;
- (8) All streetscape elements on S. Old Woodward will be required to be consistent with the enhanced streetscape design planned by the City for future construction;
- (9) The applicant must obtain approval of the Police Department and / or City Commission for any valet operation proposed;
- (10) The applicant must submit all light fixture specification sheets and material and color samples at Final Site Plan Review;
- (11) Compliance with the requirements of all departments;
- (12) The applicant is required to add a loading space, or obtain a variance from the Board of Zoning Appeals; and
- (13) The applicant provide all material samples, specifications and colors at the time of Final Site Plan Review.

10.0 Sample Motion Language

Motion to APPROVE the Preliminary Site Plan for 300 - 394 S. Old Woodward and a portion of 294 E. Brown Street subject to the following conditions:

1. The applicant is required to obtain approval of the City Commission for the proposed lot splits and lot combination to create the new lot that is the subject of this application and shown on the site plan;
2. The applicant obtain a variance for the use of the fourth floor as a restaurant, or obtain approval of a rezoning of the property to D-4 in the Downtown Overlay;
3. The applicant obtain a variance for the use of an Economic Development license on the site, or obtain approval of a zoning amendment to alter the map contained in Appendix C, Exhibit 1 of the Zoning Ordinance to include the subject property;
4. The applicant reduce the height of the proposed building to 68' and 3 stories and the eave height to 34' maximum, or obtain the requested rezoning of the site from D-3 to D-4 in the Downtown

Overlay District, or obtain a variance from the Board of Zoning Appeals;

5. The applicant update the landscape plan to provide species and size details on all proposed plantings, and provide material specifications on hardscape items at the time of Final Site Plan Review;
6. The applicant is required to receive separate Planning approval for all landscaping changes proposed for the adjacent site, as they are not included in this site plan review approval;
7. The applicant must submit a complete streetscape plan, including detail on hanging planters, at the time of Final Site Plan review;
8. All streetscape elements on S. Old Woodward will be required to be consistent with the enhanced streetscape design planned by the City for future construction;
9. The applicant must obtain approval of the Police Department and / or City Commission for any valet operation proposed;
10. The applicant must submit all light fixture specification sheets and material and color samples at Final Site Plan Review;
11. Compliance with the requirements of all departments;
12. The applicant is required to add a loading space, or obtain a variance from the Board of Zoning Appeals; and
13. The applicant provide all material samples, specifications and colors at the time of Final Site Plan Review.

OR

Motion to POSTPONE the Preliminary Site Plan for 300 - 394 S. Old Woodward and a portion of 294 E. Brown Street pending receipt of an updated CIS addressing all issues noted in the CIS review above.

OR

Motion to DENY the Preliminary Site Plan for 300 - 394 S. Old Woodward and a portion of 294 E. Brown Street for the following reasons:

Planning Board Minutes
March 26, 2021

F. Community Impact Study Review

1. **300 & 394 S. Old Woodward, and portions of 294 E. Brown** – New Construction (Capital Title/Lutz & Frank’s Shoe Service, portions of Coldwell Banker Weir Manual parking lot), Community Impact Study to consider approval of a new 4 story building, including a request to operate a restaurant using an Economic Development Liquor License.

Chair Klein said he would be recusing himself from the Board’s considerations regarding 300 & 394 S. Old Woodward and portions of 294 E. Brown. While he said he and the City Attorney determined he had no conflict-of-interest, he was concerned that existing business relationships between his company and parties affiliated with the applicants could lead to the public impression of a conflict-of-interest. The Chair said that if it became clear in the future that his participation in these discussions would not result in the public impression of a conflict-of-interest, he would rejoin deliberations regarding 300 & 394 S. Old Woodward and portions of 294 E. Brown at that time.

The Chair recused himself and left the meeting at 8:06 p.m.

Mr. Emerine filled the Board vacancy stemming from the Chair’s recusal and Vice-Chair Williams commenced facilitation of the meeting.

PD Ecker presented the CIS.

Victor Saroki, architect, Richard Rattner, attorney, Dave Stanchak, President of RH, Paul O’Meara, engineer, and Mike Kulka, **Environmental Engineer**, were present on behalf of the application.

Ms. Kroll reported she had met with the applicant team and they confirmed they would get her the additional traffic information she had requested.

In reply to Mr. Share, Ms. Kroll explained that the Multi-Modal Transportation Board had recently updated the transportation impact study requirements for the City, and that adding crash analyses was one of the updates. She said that there were no accident mitigation measures beyond signage recommended for the intersection of S. Old Woodward and Brown since the majority of the accidents resulted from parking issues and inattentive drivers. She confirmed some of the parking in front of the building may be eliminated to make room for the valet, and that if that were to occur it may reduce some of the parking accidents.

In reply to a request from Vice-Chair Williams, Mr. Emerine said he could work as the Board’s representative with Ms. Kroll and Mr. O’Meara regarding the site’s

traffic impact.

In reply to Mr. Emerine, Ms. Kroll explained she wanted to produce a conservative traffic analysis to make sure that the site could handle the peak amount of likely traffic. She said that would better ensure that severe issues with traffic around the site do not ensue from the proposed uses.

The Board was advised by the applicant team that furniture loading and unloading would occur infrequently since RH is a showroom only and furniture purchases would be coming from off-site. Vice-Chair Williams and Mr. Boyle asked that furniture delivery trucks still be addressed in upcoming discussions of this item since the pieces in the showroom would likely be refreshed from time to time.

Mr. Saroki stated that the applicant team would resolve all issues raised by City departments and by Ms. Kroll's comments on the traffic study.

Mr. Kulka stated that the site had no more significant environmental issues than similar urban sites. He said any issues found in the environmental study would be remediated.

In reply to Mr. Share, Mr. Kulka committed the applicant team to environmentally remediating the site to residential criteria.

Public Comment

Mr. Reagan said he was concerned about there being insufficient parking proposed and in the area to support the site. He said he was also concerned about the impact of the project on nearby residences.

In reply to a question from David Bloom, Mr. Saroki said one area of the site would gain three parking spaces and another area would lose 11, leading to a net loss of eight parking spaces from the current number available. He also stated that RH paid for the CIS.

Mr. Share complimented the applicant team on their work thus far.

Motion by Mr. Share

Seconded by Mr. Emerine to postpone action on the Community Impact Study as provided by the applicant to April 28, 2021 for the proposed development at 300 - 394 S. Old Woodward and a portion of 294 E. Brown Street, allowing the applicant the opportunity to address the issues raised by the Planning Department in its review of the CIS.

Motion carried, 7-0.

ROLL CALL VOTE

Yeas: Share, Emerine, Williams, Whipple-Boyce, Koseck, Boyle, Ramin
Nays: None

03-045-21

G. Preliminary Site Plan Review

1. 300 & 394 S. Old Woodward, and portions of 294 E. Brown – New Construction
(Capital Title/Lutz & Frank's Shoe Service, portions of Coldwell Banker Weir Manual parking lot), Preliminary Site Plan Review to consider approval of a new 4 story building, including a request to operate a restaurant using an Economic Development Liquor License.

PD Ecker reviewed the item.

In reply to Mr. Share, PD Ecker said she would speak with the Engineering Department regarding possible options for additional sidewalk lighting on Daines.

Mr. Saroki explained that the landscaping off of Daines would be on the Coldwell Banker site with the consent of the property's owner. He stated that RH would be paying for the landscaping.

Mr. Stanchak provided a brief overview of the design inspiration for the Birmingham site and showed a rendering of RH Birmingham.

Jim Arpin, President of the Condo Association at Birmingham Place, said he appreciated what he had seen of the plans so far. Mr. Arpin invited the applicants to meet with the Condo Association.

Vice-Chair Williams encouraged the applicants to take Mr. Arpin up on his invitation.

Mr. Share asked if the applicant team had considered doing a three-story building without the need for a liquor license, since pursuing a four-story building with a liquor license adds complexity.

Mr. Stanchak said the restaurant and alcohol service were integral to creating the hospitable, appealing atmosphere of RH.

Mr. Koseck said he thought the applicant team had gone above and beyond to address site issues. He commended them on designing the building in context, on the attention paid to the aesthetics of all sides of the building, and on the

landscaping and hardscaping. He said he thought the designs for the building and grounds would fit well in the neighborhood's context.

There was Board consensus to postpone voting on the item until April 28, 2021 in order to consider the CIS, Preliminary Site Plan, Rezoning Request and Economic Development License for 300 & 394 S. Old Woodward and portions of 294 E. Brown during the same meeting.

Motion by Mr. Boyle

Seconded by Mr. Koseck to postpone the Preliminary Site Plan for 300 - 394 S. Old Woodward and a portion of 294 E. Brown Street pending receipt of an updated CIS addressing all issues noted in the CIS review above and setting the date for reconsideration to be April 28, 2021.

Motion carried, 7-0.

ROLL CALL VOTE

Yeas: Boyle, Koseck, Ramin, Share, Emerine, Whipple-Boyce, Williams

Nays: None

Zoning Compliance Summary Sheet
Preliminary Site Plan Review & Community Impact Study
300 and 394 S. Old Woodward, portions of 294 E. Brown – Mixed Use Building

Existing Site:

Zoning: B-2, General Business, D-3 (**Proposed for rezoning to D-4, thus D-4 requirements are in blue type for comparison purposes**)
Land Use: Lutz/Capital Title, Frank's Shoe Repair & portion of Coldwell Banker Weir Manual parking lot

Existing Land Use and Zoning of Adjacent Properties:

	North	South	East	West
Existing Land Use	Retail/ Commercial	Retail/ Commercial & Residential	Retail/ Commercial /Residential	Commercial/ Parking
Existing Zoning District	B-4 Business Residential	B-2B General Business	B-2 General Business & B-3 Office- Residential	B-2 General Business
Overlay Zoning District	D-4	D-2	D-3 & D-4	D-3

Land Area: existing: 54,052.96 sq.ft. or 1.24 acres (total of all parcels prior to lot splits / combination)
 proposed: 20,380 sq.ft. (new lot created after splits / combination)

Minimum Lot Area: required: N/A
 proposed: N/A

Minimum Floor Area Per Unit: required: N/A as no residential use is proposed
 proposed: N/A

Maximum Total Floor Area: required: N/A
 proposed: N/A

Minimum Open Space:	required:	N/A
	Proposed:	N/A
Maximum Lot Coverage:	required:	N/A
	proposed:	N/A
Front Setback:	required:	0', building facades at the first story must be located at the frontage line (on or within 3' of the frontage line), Planning Board may adjust to average setback.
	proposed:	0 – 1' along S. Old Woodward
Side Setbacks:	required:	0'
	proposed:	3.58' on Brown, 15.5 – 30.41' on Daines
Rear Setback:	required:	10' from midpoint of alley or equal to that of adjacent building (7' – Forefront Building)
	proposed:	10.83' (no alley)
Max. Bldg. Height:	permitted:	D-3 – 68' overall (including mechanical), 34' maximum eave height, 4 stories (if 4th floor is used for residential and is set back 10' or on a 45 degree or less plane from the eave line). D-4 – 80' overall (including mechanical), 58' maximum eave height, 5 stories (if 5th floor is used for residential and is set back 10' or on a 45 degree or less plane from the eave line).
	proposed:	69' overall height at tallest point including mechanical equipment and screening, 52' to the eave line, 4 stories.

The height of the proposed building must be reduced to 68' and 3 stories, and the eave height reduced to 34' maximum, or the applicant must obtain the requested rezoning of the site from D-3 to D-4 in the Downtown Overlay District.

Minimum Eave Height:	required:	20'.
	proposed:	52'
Floor to Ceiling Height:	required:	10' in height between finished floor and finished ceiling on the first level.
	proposed:	18'

Front Entry: required: Principal pedestrian entrances must be on the frontage line (S. Old Woodward).
proposed: Main entry 3' off frontage line on S. Old Woodward

The City Attorney deemed this section to be invalid as it is in conflict with the Building Code, thus the applicant is not required to comply with this provision.

Absence of Building Façade: required: Screen wall along all frontage lines where there is no building façade to provide a continuous street wall.
proposed: Building provides continuous street wall on S. Old Woodward, with the exception of the southernmost 30.4' of frontage next to Daines Street. This area is enclosed with a 3.5' high masonry screen wall with open portions of black steel picket fencing

The Planning Board may wish to consider the number and width of openings in the masonry screen wall that are accented with steel picket fencing. Openings are permitted to allow for pedestrian and vehicle access.

Opening Width: required: Maximum 25' wide opening.
proposed: One 20.5' wide opening on Daines is proposed for vehicular access to the underground parking level.

Parking: required: None as property is located in the Parking Assessment District.
proposed: 24 parking spaces in underground parking level

Parking in Frontage: required: No parking in front open space or within 20' of building frontage
proposed: None

Loading Area: required: 3 loading spaces (building is over 50,000 sq.ft. in size), must be 12' by 40' by 14' in height.
proposed: 2 loading spaces, enclosed within the building at vehicular entry (12' by 40' by 18' in height)

The applicant will be required to provide an additional loading space, or obtain a variance from the Board of Zoning Appeals.

Screening:

Parking: required: Minimum 32" high masonry wall with stone cap.
 proposed: All parking is proposed within the building.

Loading: required: Minimum 6' screening where open to public view
 proposed: Loading spaces are proposed within the building.

Rooftop Mechanical: required: Full screening to compliment the building.
 proposed: All rooftop mechanical appears to be screened
 by a screening system matching the building.

The applicant will be required to provide all mechanical specification sheets and screening details at Final Site Plan Review.

Elect. Transformer: required: Fully screened from public view.
 proposed: One transformer location is noted along the
 north elevation of the building on S. Brown
 Street, fully screened by plantings.

Dumpster: required: 6' high capped masonry wall with wooden gates
 proposed: All trash and recyclable storage is proposed
 within the structure, with direct access from the
 northern elevation along Daines.



MKSK

March 17, 2021

VIA EMAIL Jecker@bhamgov.org

Ms. Jana L. Ecker
Planning Director
City of Birmingham
151 Martin Street, P.O. Box 3001
Birmingham, MI 48012

**RE: RH Development
300 S. Old Woodward Ave. Birmingham, MI
Traffic Impact Statement Review**

Dear Ms. Ecker:

Fleis & VandenBrink (F&V) staff have completed our review of the proposed RH Development Traffic Impact Statement prepared by Rowe PSC, dated February 24, 2021, which was received by F&V on March 8, 2021. Based on our review of the TIS we have the following comments:

EXISTING TRAFFIC VOLUMES

1. The Saturday peak hours were adjusted up by 52% to account for COVID impacts. This was based on weekday data. The Saturday traffic volumes are more typical of pre-COVID operations, therefore the adjustment factors considered in this evaluation likely provide a conservative analysis.

TRIP GENERATION

2. The trip generation calculations used the study were scaled from an existing 79,349 SF RH development in West Palm Beach, Florida to calculate the trips generated for this 49,810 SF store in Birmingham, Michigan. The trip generation for this site should be revised include the evaluation of the higher of the following two options: The total trip generation associated with the 79,349 SF RH Site, or the ITE Trip Generation, 10th Edition calculations for Furniture Store and Restaurant (including any rooftop and outdoor dining areas).
3. The analysis used 1.42 persons per vehicle occupancy rate of for the Furniture Store vehicle-based trips; however, no evaluation of the Restaurant land use was considered for this site. Both the Restaurant and Furniture Store should be included in the evaluation.
4. ITE data was used to calculate the modal split for this site. The City of Birmingham SEMCOG modal split data should be used in the calculations.
5. The trip generation analysis did not include any analysis or reduction for internal trip reduction. Given the infill nature of this project, this should be considered in the evaluation.
6. The person trips used in this analysis should be revised to reflect the comments noted herein regarding the trip generation, vehicle occupancy, modal split, and internal trips. In addition, the engineer is advised to submit the trip generation to the City for review prior to performing the analysis.
7. Provide a person-trip generation comparison between the existing land uses and the proposed land uses for this site.

**27725 Stansbury Boulevard, Suite 195
Farmington Hills, MI 48334**
P: 248.536.0080
F: 248.536.0079
www.fveng.com

TRIP DISTRIBUTION

8. The trip distribution calculations should be reviewed to insure they are applicable for this development. Information should be provided regarding the calculation methodology. In addition, the engineer is advised to submit the trip distribution to the City for review prior to performing the analysis.

EXISTING/BACKGROUND/FUTURE CONDITIONS

9. The intersection operational analyses provided includes delay and LOS summarized by approach. It is recommended to provide detailed data by *movement*, as delays are noted for left-turns on Brown Street and it is unclear how the LOS is impacted by the left-turning movements.
10. The future conditions analysis is based on the aforementioned data that requires revision, including the additional vehicle, pedestrian, and bike traffic generated by the site. Therefore, no comments are provided at this time.
11. The Figures included in the TIS should be revised to show the vehicle, pedestrian, and bike trips generated at the study intersections.
12. The Synchro models prepared for this analysis should be included in subsequent submittals.
13. The signal at Old Woodward & Brown Street includes leading pedestrian intervals and these should be included in the operational and queueing analysis. Provide a copy of the signal timing permit used in the analysis in the Appendix.

SITE CIRCULATION

14. Additional information is necessary to determine the traffic impacts associated with the proposed parking garage operations and projected vehicle queuing. The analysis performed assumes the garage provides a free flow operation (no gate) and is open for use. If the parking garage will have restrictions, this needs to be considered in the evaluation. Provide additional information regarding the proposed parking garage operations and subsequent projected vehicle queuing.

CRASH ANALYSIS

15. The results of the crash analysis indicate there is a high volume of parking related crashes in the vicinity of the project. Recommendations include: Review of existing “No U-Turn” signs, additional signage, and public outreach on how to properly enter and exit angle parking spaces.

MULTIMODAL CONSIDERATIONS

16. The Multi-Modal plan includes the addition of shared-use lane markings “Sharrows” on both Brown Street and Old Woodward. The site plan provides a bike rack that can accommodate two (2) bikes. It is recommended that the bike parking provided for this site can accommodate, at a minimum, the number daily bikes that will be generated by the proposed development.
17. There is an existing transit Stop on Old Woodward at Daines. No additional transit stop improvements are proposed with this project.

SUMMARY

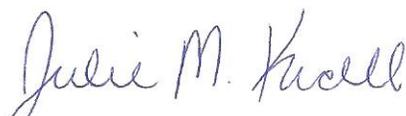
An updated TIS is requested to address the items identified herein. In addition, the engineer is advised to submit the preliminary to the City for review prior to performing the analysis.

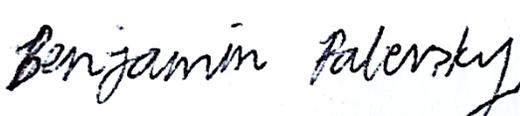
We hope that this report addresses the City’s needs regarding this project. If you have any questions, please do not hesitate to contact us at your convenience.

Sincerely,

FLEIS & VANDENBRINK ENGINEERING, INC.

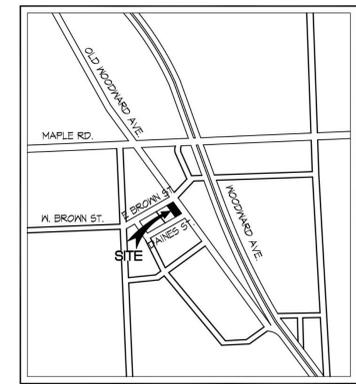
MKSK


Julie M. Kroll, PE, PTOE
Traffic Engineering Services Manager


Benjamin Palevsky, AICP Candidate
Urban Planner

ZONED B4

BROWN STREET



site location map:
Not To Scale



LEGAL DESCRIPTION - SWAP PARCEL 1
 LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:
 PART OF LOT 12 OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; BEING DESCRIBED AS: BEGINNING AT A POINT DISTANT 5.62°00'00"W, 119.37 FEET FROM THE NORTHEAST CORNER OF LOT 13 OF SAID BROWN'S ADDITION SUBDIVISION; THENCE S.35°35'52"E, 100.00 FEET; THENCE S.62°00'00"W, 30.76 FEET; THENCE N.36°14'00"W, 100.15 FEET; THENCE N.62°00'00"E, 31.88 FEET TO THE POINT OF BEGINNING. CONTAINING: 3,104 SQUARE FEET OR 0.07 ACRES OF LAND

LEGAL DESCRIPTION - SWAP PARCEL 2
 LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:
 PART OF LOT 15 OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; BEING DESCRIBED AS: BEGINNING AT A POINT DISTANT 5.62°00'00"W, 119.37 FEET AND S.35°35'52"E, 100.00 FEET FROM THE NORTHEAST CORNER OF LOT 13 OF BROWN'S ADDITION SUBDIVISION AS RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; THENCE N.62°00'00"E, 19.24 FEET; THENCE S.35°14'00"E, 100.15 FEET; THENCE S.62°00'00"W, 20.36 FEET; THENCE N.35°35'52"W, 100.00 FEET TO THE POINT OF BEGINNING. CONTAINING: 1,963 SQUARE FEET OR 0.04 ACRES OF LAND

ZONED B3 (Across Old Woodward)

OLD WOODWARD AVENUE

PROP. VALET



Coldwell Banker
Weir Manual Realtors
294 E. Brown St.

Lot 11
Parcel I

ZONED B2
Parcel II

DAINES STREET

ZONED B-2B

BUILDING SQUARE FOOTAGE TOTALS	
FIRST LEVEL:	13,451 SF
SECOND LEVEL:	13,958 SF
THIRD LEVEL:	13,679 SF
FOURTH LEVEL:	8,536 SF
TOTAL:	49,624 SF

LOWER PARKING LEVEL: 15,092 SF (24 PARKING SPACES)

SAROKI
ARCHITECTURE

430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
RH / Mixed-Use
300 S Old Woodward
Birmingham, MI 48009

Date: Issued For:
03-16-2021 Preliminary Site Plan App.
04-26-2021 Preliminary Site Plan App.

Sheet No.:
SP01
Architectural Site Plan

Architectural Site Plan
SCALE: 3/32" = 1'-0"

A
B
C
D
E
F
G
H

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10

A
B
C
D
E
F
G
H

BROWN STREET

OLD WOODWARD AVENUE

DAINES STREET



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Project:
RH / Mixed-Use
300 S Old Woodward
Birmingham, MI 48009

Date: 03-16-2021
Issued For: Preliminary Site Plan App.
04-28-2021 Preliminary Site Plan App.

Sheet No.:
A100
Lower Parking Level Floor Plan

 Parking Level Floor Plan
SCALE: 3/32" = 1'-0"

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10



BROWN STREET

OLD WOODWARD AVENUE

DAINES STREET

90' x 166'
13,958 sf / floor

GALLERY

90'

166'

90'

90'

90'

90'

90'

90'

90'

90'

90'

90'

90'

90'

90'

90'

90'



Second Level Floor Plan
SCALE: 3/32" = 1'-0"

SAROKI
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Project:
RH / Mixed-Use
300 S Old Woodward
Birmingham, MI 48009

Date: Issued For:
03-16-2021 Preliminary Site Plan App.
04-28-2021 Preliminary Site Plan App.

Sheet No.:
A120
Second Level Floor Plan



BROWN STREET

OLD WOODWARD AVENUE

DAINES STREET

90' x 166'
13,679 sf / floor

Third Level Floor Plan
SCALE: 3/32" = 1'-0"

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Project:
RH / Mixed-Use
300 S Old Woodward
Birmingham, MI 48009

Date: 03-16-2021
Issued For: Preliminary Site Plan App.
04-28-2021 Preliminary Site Plan App.

Sheet No.:
A130
Third Level Floor Plan

A
B
C
D
E
F
G
H

Top of Mech Screen
+2'-0" (60'-0" Overall)

Top of Greenhouse
+18'-0" (67'-0" Overall)

4th FL. FF.
+18'-0" (67'-0" Overall)

3rd FL. FF.
+15'-0" (54'-0" Overall)

2nd FL. FF.
+12'-0"

1st FL. FF. (Proposed)



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Project:
RH / Mixed-Use
300 S Old Woodward
Birmingham, MI 48009

Date: 03-09-2021
Issued For: CONCEPT REVIEW
04-28-2021 Preliminary Site Plan App.

Sheet No.:
A210
EXTERIOR ELEVATION

H9
A210
East Exterior Elevation
SCALE: 1/8" = 1'-0"

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10

A
B
C
D
E
F
G
H

Top of Mech Screen
+2'-0" (60'-0" Overall)

Top of Greenhouse
+18'-0" (67'-0" Overall)

4th FL. FF.
+18'-0" (67'-0" Overall)

3rd FL. FF.
+15'-0" (64'-0" Overall)

2nd FL. FF.
+12'-0" (61'-0" Overall)

1st FL. FF. (Proposed)



SAROKI
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430 N. OLD WOODWARD
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Project:
RH / Mixed-Use
300 S Old Woodward
Birmingham, MI 48009

Date: 03-09-2021
Issued For: CONCEPT REVIEW
04-28-2021 Preliminary Site Plan App.

Sheet No.:
A212
EXTERIOR ELEVATION

H9
A212
West Exterior Elevation
SCALE: 1/8" = 1'-0"

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10



A
B
C
D
E
F
G
H

1 2 3 4 5 6 7 8 9 10

H9
A218 StreetView Elevation
SCALE: 1/16" = 1'-0"

SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
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Project:
RH / Mixed-Use
300 S Old Woodward
Birmingham, MI 48009

Date: 03-09-2021
Issued For: CONCEPT REVIEW
04-28-2021 Preliminary Site Plan App.

Sheet No.:
A218
EXTERIOR ELEVATION

A
B
C
D
E
F
G
H



Architectural Brick
Slate Grey Velour
Norman Brick Type (3" x 12")



Basaltina
Basalt Stone



Hope's Steel Windows & Doors



Exterior Light Fixtures & Steel Canopies



Steel and Glass Rooftop Restaurant

SAROKI
ARCHITECTURE

430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
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SarokiArchitecture.com

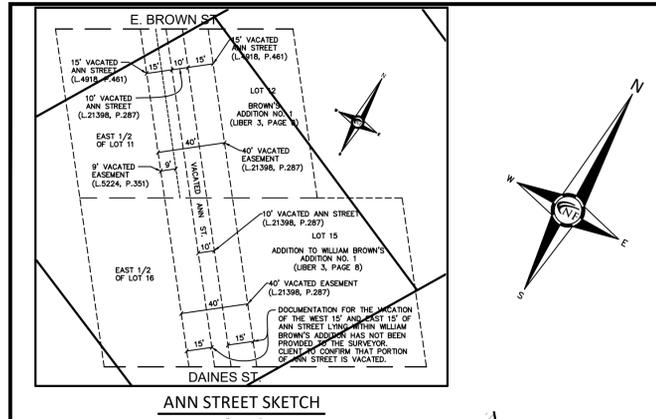
Project:
RH / Mixed-Use
300 S Old Woodward
Birmingham, MI 48009

Date: Issued For:
03-16-2021 Preliminary Site Plan App.
04-26-2021 Preliminary Site Plan App.

Sheet No.:
A900
Exterior Material Board



1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10



FLOOD HAZARD NOTE

THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NO. 28125C05377 BEARING AN EFFECTIVE DATE OF 09-29-2006.

MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER A033240501, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY, DUE TO THE EXTENDED RECORDING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON DECEMBER 29, 2020. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE UTILITY FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

TOPOGRAPHIC SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.
UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

ALTA SURVEY NOTES

THERE IS NO VISIBLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
THERE IS NO PROPOSED CHANGE IN STREET RIGHT OF WAY LINE OR THERE ARE NO EVIDENCES OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIR.
THERE IS NO VISIBLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
THERE IS NO VISIBLE EVIDENCE OF ANY WETLAND AREAS.

BASIS OF BEARING NOTE

ALL BEARINGS ARE IN RELATION TO THE PREVIOUSLY ESTABLISHED SOUTH RIGHT-OF-WAY LINE OF STREET (60' WIDE) (NOW KNOWN AS BROWN STREET) OF BROWN'S ADDITION AS RECORDED IN LIBER 3 OF PLATS, PAGE 8, OAKLAND COUNTY RECORDS. (N.62°.)

DATUM NOTE

ALL ELEVATIONS SHOWN HEREON ARE ON THE CITY OF BIRMINGHAM'S VERTICAL DATUM. REFERENCED HEREON, IS ONE (1.00) FOOT HIGHER THAN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88).

SURVEY DATA

SITE AREA:
PARCEL I: 13,818.22 SQUARE FEET OR 0.317 ACRES
PARCEL II: 18,992.08 SQUARE FEET OR 0.433 ACRES
PARCEL 2: 13,204.93 SQUARE FEET OR 0.303 ACRES
PARCEL 3: 8,157.75 SQUARE FEET OR 0.187 ACRES
TOTAL: 54,052.96 SQUARE FEET OR 1.24 ACRES

ZONED: B2, GENERAL BUSINESS DISTRICT

PARKING SPACES:
PARCEL I: 9 REGULAR SPACES
PARCEL II: 46 REGULAR SPACES AND 3 BARRIER-FREE SPACES
PARCEL 2: 20 REGULAR SPACES AND 1 BARRIER-FREE SPACE
PARCEL 3: NO ON-SITE PARKING SPACES

DTE DISCLAIMER NOTE

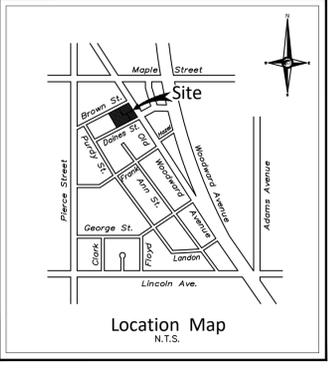
A SURVEYOR CANNOT MAKE A CERTIFICATION ON THE BASIS OF AN INTERPRETATION OR OPINION OF ANOTHER PARTY. A ZONING ENDORSEMENT LETTER SHOULD BE OBTAINED FROM THE CITY OF BIRMINGHAM TO INSURE CONFORMITY AS WELL AS MAKE A FINAL DETERMINATION OF THE REQUIRED BUILDING SETBACK REQUIREMENTS.

LEGAL DESCRIPTION - PARCEL 2 (PER TITLE COMMITMENT)

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:
THE EASTERLY 50 FEET OF LOT 12, AND THE WESTERLY PART OF LOT 13, MEASURING 82.45 FEET ON THE NORTH LOT LINE AND 82.48 FEET ON THE SOUTH LOT LINE OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.
ADDRESS: 300 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009
TAX ID NUMBER: 19-36-204-006

TITLE REPORT NOTES - PARCEL 2

REFERENCE FIRST AMERICAN TITLE INSURANCE COMPANY FILE NUMBER: 910055, COMMITMENT DATE: DECEMBER 21, 2020, REVISION B.
SCHEDULE B, PART II, EXCEPTIONS:
EXCEPTIONS: 1, 4, 5, 6, 7, 8, 10, 11, 14 AND 15 REFER TO THE OWNERSHIP OF THE PROPERTY AND/OR ARE NOT PLOTTABLE.
2. ANY FACTS, RIGHTS, INTERESTS OR CLAIMS NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY MAKING INQUIRY OF PERSONS IN POSSESSION THEREOF OF THE LAND.
3. EASEMENTS, ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS.
9. TERMS AND CONDITIONS CONTAINED IN RESOLUTION AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 8715, PAGE 137. (NO EASEMENTS OR RESTRICTIONS WITHIN SAID DOCUMENT, NOT PLOTTED)
12. INTEREST, IF ANY, OF THE UNITED STATES, STATE OF MICHIGAN, OR ANY POLITICAL SUBDIVISION THEREOF, IN THE OIL, GAS AND MINERALS IN AND UNDER THAT MAY BE PRODUCED FROM THE CAPTIONED LAND.
13. RIGHTS OF TENANTS, IF ANY, UNDER ANY UNRECORDED LEASES.



50 NF ENGINEERS
1969 - 2019

NOWAK & FRAUS ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL (248) 332-7931
FAX (248) 332-8257
WWW.NOWAKFRAUS.COM

LEGAL DESCRIPTION - PARCELS I & II (PER TITLE COMMITMENT)

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:
THE WEST 1/2 OF LOT(S) 11 OF BROWN'S ADDITION TO THE CITY OF BIRMINGHAM AND THE EAST 1/2 OF LOT 16 OF BROWN'S ADDITION NO. 1, IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING THE VACATED WEST 20 FEET OF ANN STREET ADJOINING LOT 11 AND THE VACATED WEST 19 FEET OF ANN STREET ADJOINING LOT 16.
THE WEST 1/2 OF LOT(S) 12 OF BROWN'S ADDITION TO THE VILLAGE (NOW CITY) OF BIRMINGHAM, OF PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST, TOWNSHIP OF BLOOMFIELD (NOW CITY OF BIRMINGHAM), OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, ALSO LOT 15, ADDITION TO WILLIAM BROWN'S ADDITION NO. 1, BEING A PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING VACATED 20 FEET OF ANN STREET, ADJOINING THE WESTERLY SIDE OF LOT 12 AND VACATED 21 FEET OF ANN STREET ADJOINING THE WESTERLY SIDE OF LOT 15.
ADDRESS: 294 E. BROWN STREET, BIRMINGHAM, MI 48009
TAX ID NUMBER: 19-36-204-021

TITLE REPORT NOTES - PARCELS I & II

REFERENCE FIRST AMERICAN TITLE INSURANCE COMPANY FILE NUMBER: 910145, COMMITMENT DATE: DECEMBER 21, 2020, REVISION: A.
SCHEDULE B, PART II, EXCEPTIONS:
EXCEPTIONS: 1, 4, 5, 6, 7, 8, 10, 13 AND 14 REFER TO THE OWNERSHIP OF THE PROPERTY AND/OR ARE NOT PLOTTABLE.
2. ANY FACTS, RIGHTS, INTERESTS OR CLAIMS NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY MAKING INQUIRY OF PERSONS IN POSSESSION THEREOF OF THE LAND.
3. EASEMENTS, ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS.
8. TERMS AND CONDITIONS CONTAINED IN RESOLUTION AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 8715, PAGE 137. (NO EASEMENTS OR RESTRICTIONS WITHIN SAID DOCUMENT, NOT PLOTTED)
11. INTEREST, IF ANY, OF THE UNITED STATES, STATE OF MICHIGAN, OR ANY POLITICAL SUBDIVISION THEREOF, IN THE OIL, GAS AND MINERALS IN AND UNDER THAT MAY BE PRODUCED FROM THE CAPTIONED LAND.
12. RIGHTS OF TENANTS, IF ANY, UNDER ANY UNRECORDED LEASES.
9. TERMS AND CONDITIONS CONTAINED IN RESOLUTION AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 8715, PAGE 137. (NO EASEMENTS OR RESTRICTIONS WITHIN SAID DOCUMENT, NOT PLOTTED)
10. TERMS AND CONDITIONS CONTAINED IN RESOLUTION AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 5224, PAGE 351. (SAID VACATED EASEMENT IS PLOTTED HEREON)
11. EASEMENT FOR UTILITIES OVER THAT PORTION OF LAND INCLUDED IN THE VACATED ANN STREET AS EVIDENCED BY INSTRUMENT RECORDED IN LIBER 4918, PAGE 461 (SAID VACATED ANN STREET & RETAINED EASEMENT ARE PLOTTED HEREON) AND LIBER 21988, PAGE 287 (SIZE AND LOCATION OF DETROIT EDISON EASEMENT IS UNKNOWN, NOT PLOTTED).
12. EASEMENT(S), RESTRICTIONS AND/OR SETBACK LINES, IF ANY, AS DISCLOSED BY THE RECORDED PLAT.
13. INTEREST OF OTHERS IN OIL, GAS AND MINERAL RIGHTS, IF ANY, WHETHER OR NOT RECORDED IN THE PUBLIC RECORDS.
14. INTEREST, IF ANY, OF THE UNITED STATES, STATE OF MICHIGAN, OR ANY POLITICAL SUBDIVISION THEREOF, IN THE OIL, GAS AND MINERALS IN AND UNDER THAT MAY BE PRODUCED FROM THE CAPTIONED LAND.
15. RIGHTS OF TENANTS, IF ANY, UNDER ANY UNRECORDED LEASES.

LEGAL DESCRIPTION - PARCEL 3 (PER TITLE COMMITMENT)

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:
LOT(S) 14, EXCEPT THAT PART TAKEN FOR WIDENING WOODWARD AVENUE OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.
ADDRESS: 394 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009
TAX ID NUMBER: 19-36-204-014

TITLE REPORT NOTES - PARCEL 3

REFERENCE FIRST AMERICAN TITLE INSURANCE COMPANY FILE NUMBER: 910145, COMMITMENT DATE: DECEMBER 21, 2020, REVISION: A.
SCHEDULE B, PART II, EXCEPTIONS:
EXCEPTIONS: 1, 4, 5, 6, 7, 8, 10, 13 AND 14 REFER TO THE OWNERSHIP OF THE PROPERTY AND/OR ARE NOT PLOTTABLE.
2. ANY FACTS, RIGHTS, INTERESTS OR CLAIMS NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY MAKING INQUIRY OF PERSONS IN POSSESSION THEREOF OF THE LAND.
3. EASEMENTS, ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS.
8. TERMS AND CONDITIONS CONTAINED IN RESOLUTION AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 8715, PAGE 137. (NO EASEMENTS OR RESTRICTIONS WITHIN SAID DOCUMENT, NOT PLOTTED)
11. INTEREST, IF ANY, OF THE UNITED STATES, STATE OF MICHIGAN, OR ANY POLITICAL SUBDIVISION THEREOF, IN THE OIL, GAS AND MINERALS IN AND UNDER THAT MAY BE PRODUCED FROM THE CAPTIONED LAND.
12. RIGHTS OF TENANTS, IF ANY, UNDER ANY UNRECORDED LEASES.

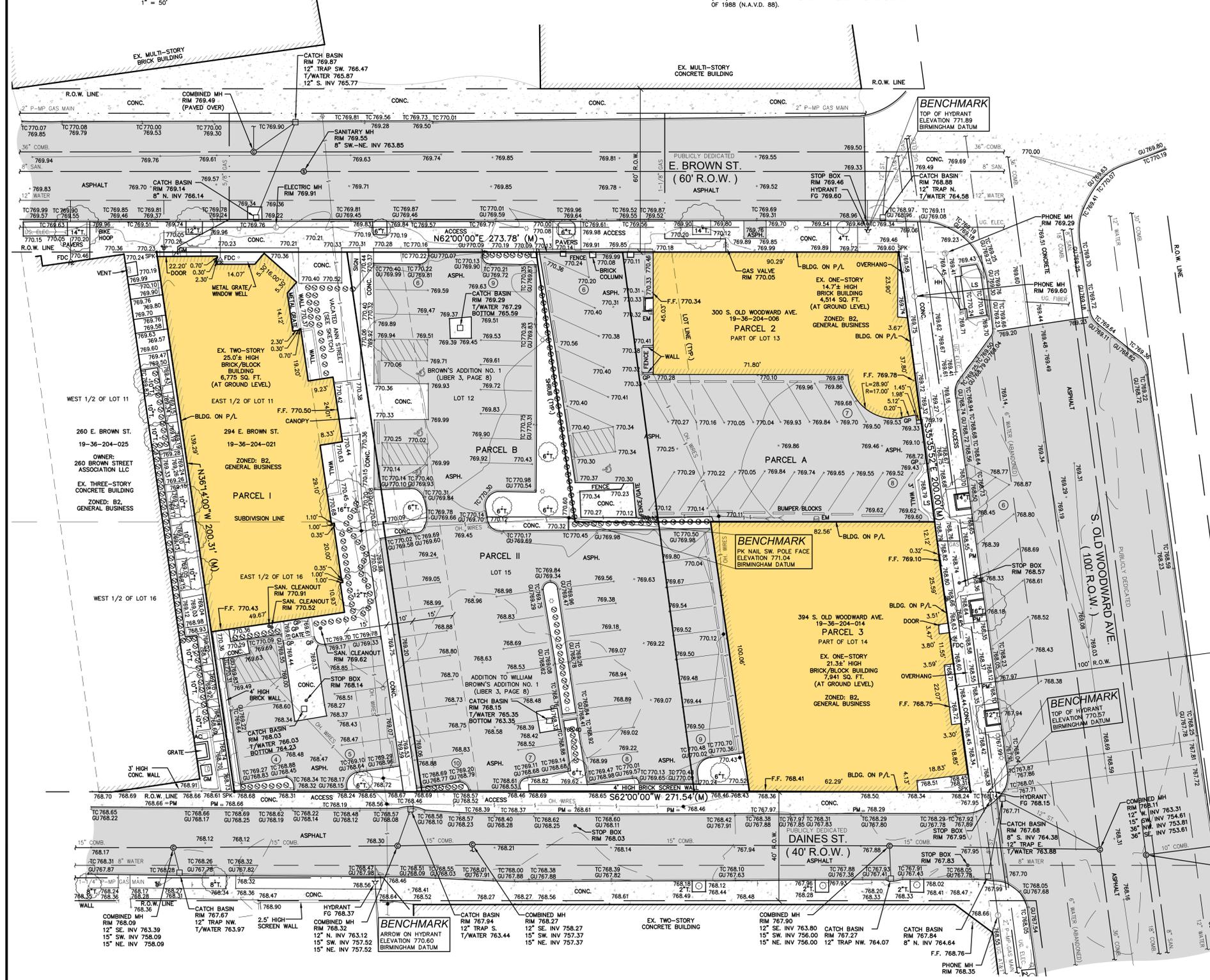
CERTIFICATE OF SURVEY

CERTIFIED TO:
-PURCHASER'S ASSIGNEE
-TROT PROPERTIES 294, LLC, A MICHIGAN LIMITED LIABILITY COMPANY, AS TO PARCEL 1
-BRB EQUITABLE, L.L.C., AS TO PARCEL 2
-FRANK T. KONJAREVICH OR LOIS H. KONJAREVICH (OR SUCCESSOR TRUSTEES) AS THE TRUSTEE FOR THE FRANK T. KONJAREVICH REVOCABLE LIVING TRUST DATED MAY 22, 1995, AS TO PARCEL 3
-FIRST AMERICAN TITLE INSURANCE COMPANY AND EACH OF THEIR RESPECTIVE SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDE ITEMS 1, 2, 3, 4, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 11, 13, 14, 16, 17, 18 AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 16, 2020.

Kevin Navaroli
1-24-2021
DATE

KEVIN NAVAROLI, P.S. NO. 4001053503



LEGEND

- MANHOLE (MH)
- EXISTING SANITARY SEWER
- HYDRANT (HYD)
- GATE VALVE (GV)
- EXISTING SAN. CLEAN OUT
- EXISTING WATER MAIN
- MANHOLE (MH)
- CATCH BASIN (CB)
- EXISTING STORM SEWER
- EX. BEEHIVE CATCH BASIN
- EX. UNDERGROUND (UG) CABLE
- OVERHEAD (OH) LINES
- UTILITY POLE (UP)
- GUY WIRE (GW)
- LIGHT POLE (LP)
- SIGN
- EXISTING GAS MAIN
- ASPH.
- ASPHALT
- CONC.
- CONCRETE
- FD./FND.
- FOUND
- RET. WALL
- RETAINING WALL
- R.O.W.
- RIGHT-OF-WAY
- SPK
- SET PK NAIL
- (TYP)
- TYPICAL
- (R)
- RECORD
- (M)
- MEASURED
- C/L
- CENTERLINE
- P/L
- PROPERTY LINE
- GM
- GAS METER
- EM
- ELECTRIC METER
- PM
- PARKING METER
- AC
- AIR CONDITIONING UNIT
- LS
- LANDSCAPE

DRAWN BY: M. Carnaghi
DESIGNED BY:
APPROVED BY: K. Navaroli
DATE: February 24, 2021
SCALE: 1" = 20'
20 10 0 10 20 30
NFE JOB NO. **M106** SHEET NO. **SP-1**

PROJECT
294 E. Brown St. and
300 & 394
S. Old Woodward Ave.
Birmingham, MI 48009

CLIENT
Saroki Architecture
430 N. Old Woodward Ave.
Birmingham, MI 48009

Contact: Victor Saroki
Phone: 248.258.5707

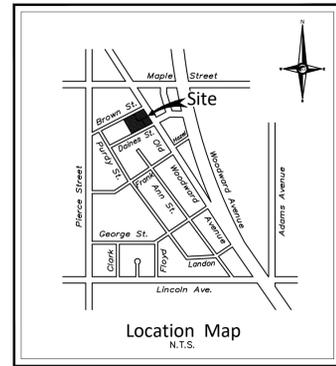
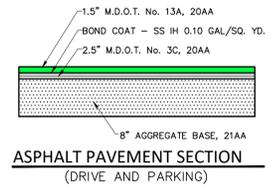
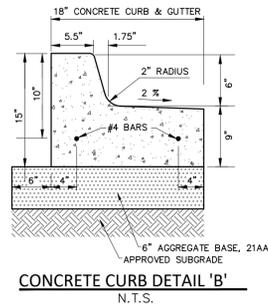
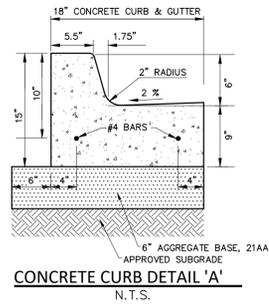
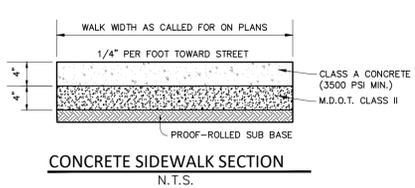
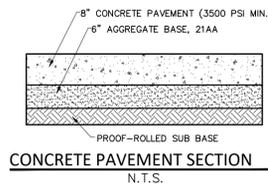
PROJECT LOCATION
Part of the NE 1/4
of Section 36,
T.2N., R.10E.,
City of Birmingham,
Oakland County, Michigan

SHEET
ALTA/NSPS Land Title /
Topographic Survey

811
Know what's below
Call before you dig.

DATE ISSUED/REVISED
00-00-00

DRAWN BY: M. Carnaghi
DESIGNED BY:
APPROVED BY: K. Navaroli
DATE: February 24, 2021
SCALE: 1" = 20'
20 10 0 10 20 30
NFE JOB NO. **M106** SHEET NO. **SP-1**



NOWAK & FRAUS ENGINEERS
 CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS

NOWAK & FRAUS ENGINEERS
 46777 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL. (248) 332-7931
 FAX. (248) 332-8257
 WWW.NOWAKFRAUS.COM

GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX BAGS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 110DL, 20AA; SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 110OT, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-IH EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-5184.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.

EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.

SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

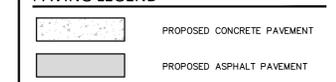
ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

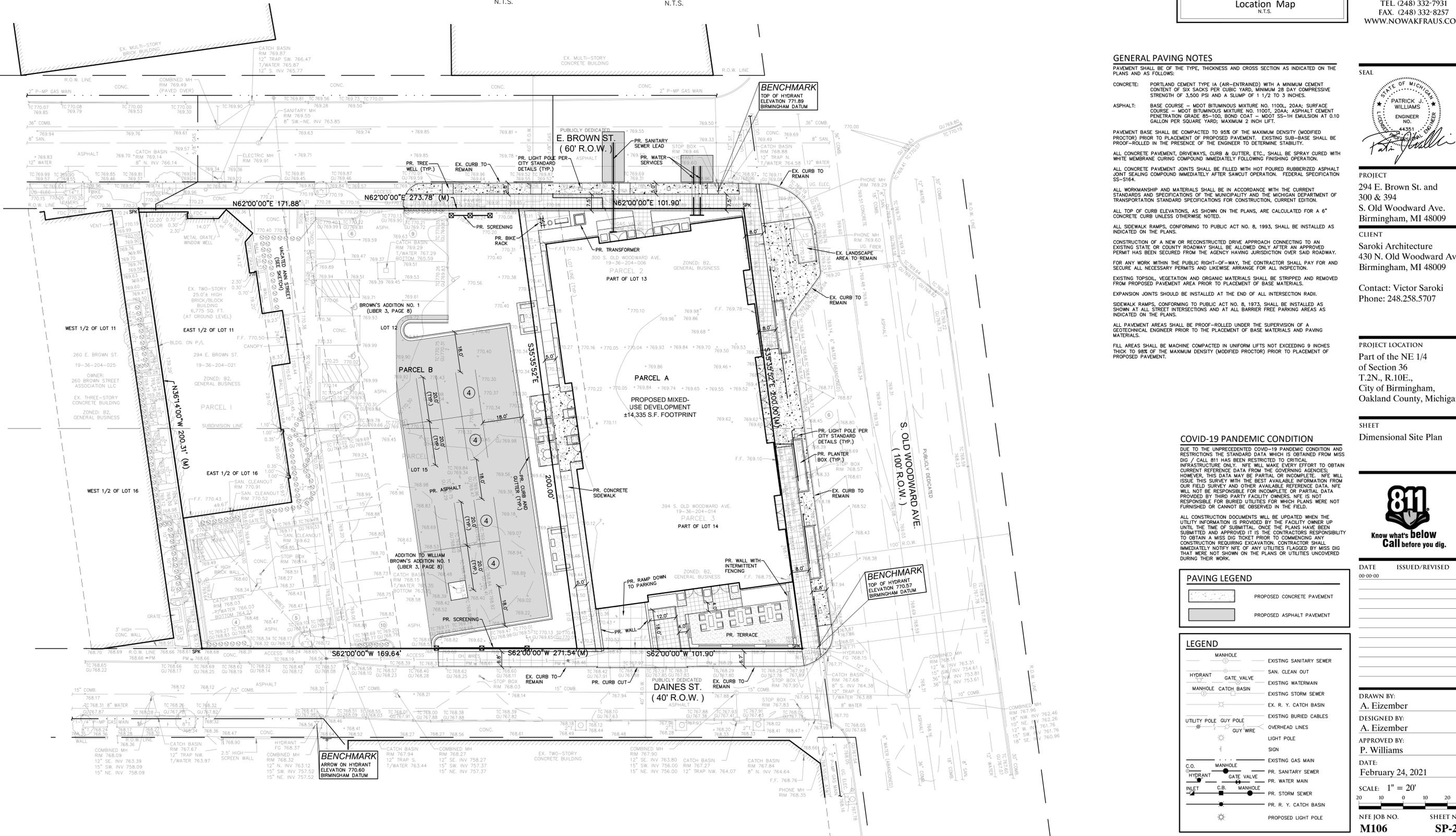
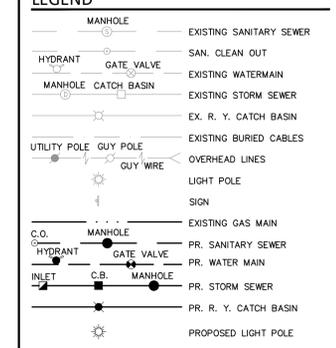
COVID-19 PANDEMIC CONDITION

DUE TO THE UNPRECEDENTED COVID-19 PANDEMIC CONDITION AND RESTRICTIONS THE STANDARD DATA WHICH IS OBTAINED FROM MISS DIG / CALL 811 HAS BEEN RESTRICTED TO CRITICAL INFRASTRUCTURE ONLY. NFE WILL MAKE EVERY EFFORT TO OBTAIN CURRENT REFERENCE DATA FROM THE GOVERNING AGENCIES HOWEVER, THIS DATA MAY BE PARTIAL OR INCOMPLETE. NFE WILL ISSUE THIS SURVEY WITH THE BEST AVAILABLE INFORMATION FROM OUR FIELD SURVEY AND OTHER AVAILABLE REFERENCE DATA. NFE WILL NOT BE RESPONSIBLE FOR INCOMPLETE OR PARTIAL DATA PROVIDED BY THIRD PARTY FACILITY OWNERS. NFE IS NOT RESPONSIBLE FOR BURIED UTILITIES FOR WHICH PLANS WERE NOT FURNISHED OR CANNOT BE OBSERVED IN THE FIELD.

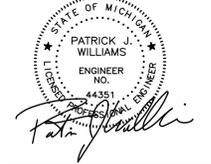
PAVING LEGEND



LEGEND



SEAL



PROJECT
 294 E. Brown St. and
 300 & 394
 S. Old Woodward Ave.
 Birmingham, MI 48009

CLIENT
 Saroki Architecture
 430 N. Old Woodward Ave.
 Birmingham, MI 48009

Contact: Victor Saroki
 Phone: 248.258.5707

PROJECT LOCATION
 Part of the NE 1/4
 of Section 36
 T.2N., R.10E.,
 City of Birmingham,
 Oakland County, Michigan

SHEET
 Dimensional Site Plan



Know what's below
 Call before you dig.

DATE ISSUED/REVISED
 00-00-00

DRAWN BY:
 A. Eizember
 DESIGNED BY:
 A. Eizember
 APPROVED BY:
 P. Williams

DATE:
 February 24, 2021

SCALE: 1" = 20'
 20 10 0 10 20 30

NFE JOB NO. SHEET NO.
 M106 SP-2

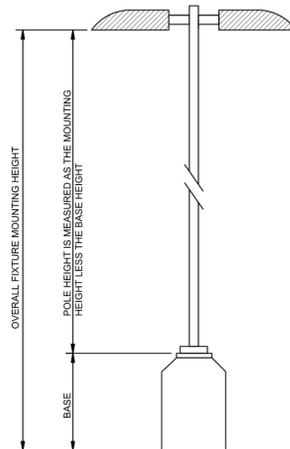
Drive-over LED in-grade floodlights

Enclosure: Outer housing of high tensile strength stainless steel; inner housing is factory sealed and fabricated of heavy gauge stainless steel. Reflector made of pure anodized aluminum.
Trim Ring: Heavy gauge, machined stainless steel secured to inner housing by five (5) stainless steel hex head fasteners. Trim is sealed in place using mastic, one piece high temperature silicone gasket. Glass is clear tempered, 1/2" thick, machined flush to trim ring.
Electrical: 13.9W LED luminaire, 17 total system watts, -20° C start temperature, integral 120V through 277V electronic LED driver, 0-10V, TRIAC, and ELV dimmable. The LED module and driver are mounted on a removable inner assembly for easy replacement. Standard LED color temperature is 4000K with an 85 CRI. Available in 3000K (80 CRI); add suffix K3 to order. Note: Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Finish: Machined #4 brushed stainless steel. Custom colors not available.
CSA: certified to U.S. and Canadian standards for wall locations. Protection class IP68.
Temperature caution: The column "T" in this chart indicates the temperature in degrees Celsius which is reached on the center of the glass surface during operation. Surface temperatures are for exterior applications. For interior applications add 10° C to temperatures shown.
Note: A foundation and proper drainage must be supplied by the customer. These luminaires are designed to bear pressure loads up to 4,400 lbs. from vehicles with pneumatic tires. The luminaires must not be used for traffic lanes where they are subject to horizontal pressure from vehicles braking, accelerating and changing direction.
Weight: 9.5 lbs.

Luminaire Lumens: 970

Type:
 BEGA Product:
 Project:
 Voltage:
 Color:
 Options:
 Modified:



Lamp	B	T	A	B	C		
77007	13.9W LED	24"	25°	9%	12%	8%	Integrated

Lower 8-Beam angle

1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 566-9474 www.bega-us.com
 Copyright BEGA 2017 Updated 1/18

Mounting Height Note

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Drawing Note

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

General Note

- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

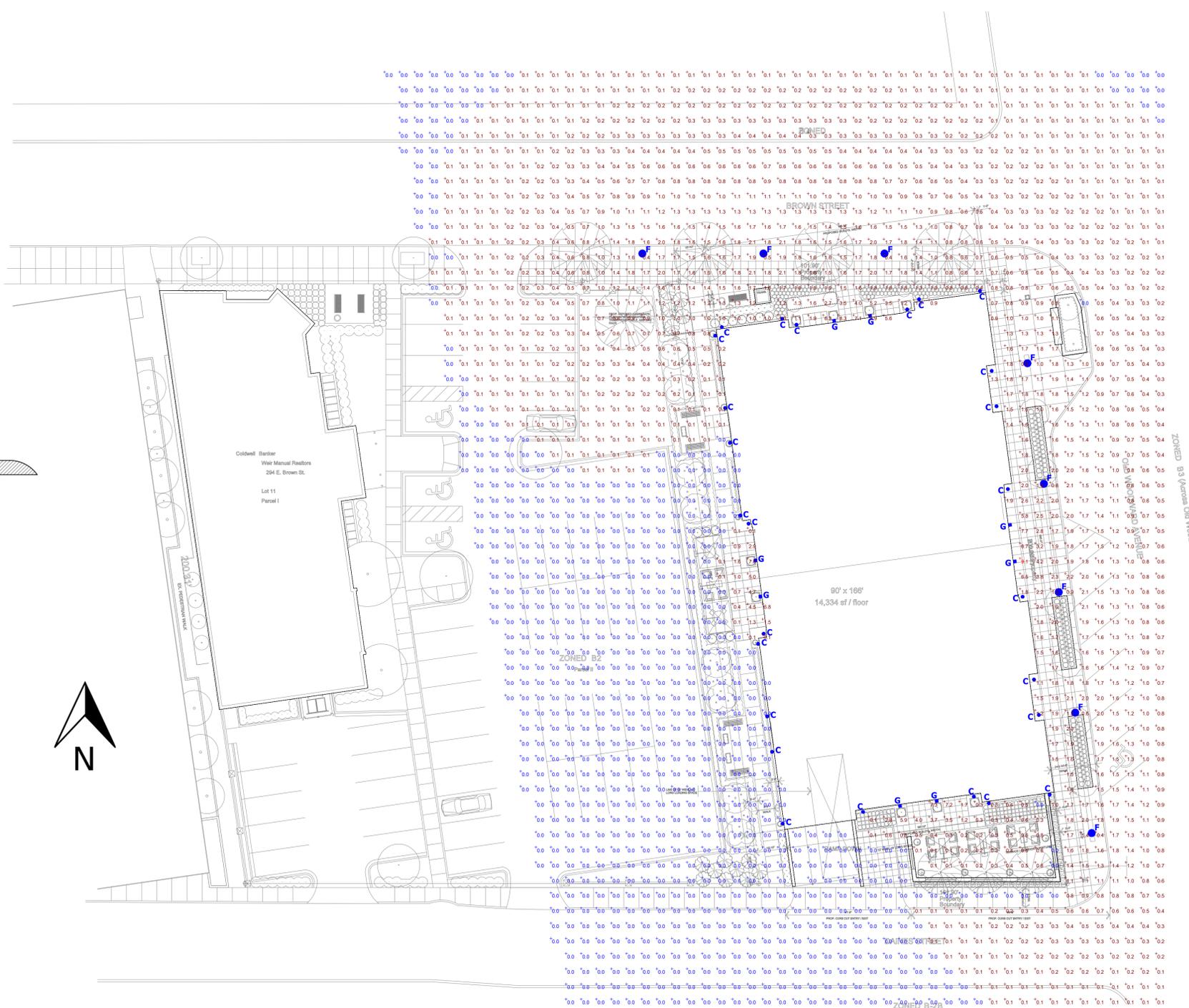
UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

Ordering Note

FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Alternates Note

THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.



Plan View
 Scale - 1" = 20ft

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Mounting Height
	C	26	BEGA	77007+K4	LED IN-GRADE FLOODLIGHT	LED	1	967	0.9	17	0'-0"
	F	8	UNKNOWN	SUPPLIED AND VERIFIED BY OTHERS	SUPPLIED AND VERIFIED BY OTHERS	SUPPLIED AND VERIFIED BY OTHERS	1	UNKNOWN	0.75	UNKNOWN	12'-0"
	G	8	LANTERN SUPPLIED BY RH	LANTERN SUPPLIED BY RH	LANTERN SUPPLIED BY RH	LANTERN SUPPLIED BY RH	1	UNKNOWN	0.9	UNKNOWN	9'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
OVERALL	+	0.5 fc	9.1 fc	0.0 fc	N/A	N/A











Community Impact Study

RH BIRMINGHAM

300-394 South Old Woodward Avenue

Birmingham, MI

Prepared By

Saroki Architecture

430 N. Old Woodward Ave.

Birmingham, MI 48009

Owner/Developer

RH, INC.

15 Koch Rd.

Corte Madera, CA 94925

RH BIRMINGHAM

300-394 South Old Woodward Avenue

Birmingham, MI

Development Team

Owner/Developer

RH, INC.
15 Koch Rd.
Corte Madera, CA 94925
(415) 936-9642

Architect

Saroki Architecture
430 N. Old Woodward Ave
Birmingham MI, 48009
(248) 258-5707

Surveyor & Civil Engineer

Nowak & Fraus Engineers
46777 Woodward Ave.
Pontiac, MI 48342
(248) 332-7931

Landscape Architect

Michael J Dul & Associates, Inc.
212 Danes Street
Birmingham, MI 48009
(248) 644-3410

Environmental Engineer

PM Environmental, INC.
4080 West Eleven Mile Road
Berkley, MI 48072
(248) 414-1425

MEP Engineer

MA Engineering
400 S. Old Woodward, Suite 100
Birmingham, MI 48009
(248) 258-1610

Geotechnical Engineer

(Geotechnical Investigation & Engineering)
McDowell & Associates
21355 Hatcher Avenue
Ferndale, MI 48220
(248) 399-2066

Acoustical Engineer

Kolano and Saha Engineers, Inc.
3559 Sashabaw Road
Waterford, MI 48329
(248) 674-4100

Traffic Engineer

ROWE Professional Services Company
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Section 1

CIS Checklist & Zoning Requirements Analysis



**COMMUNITY IMPACT STUDY CHECKLIST
PLANNING DIVISION**

Applicant: _____ Case #: _____ Date: _____

Address: _____ Project: _____

All Community Impact Studies prepared for approval must contain the following information:

General Information

- ___ 1. Name and address of applicant and proof of ownership;
- ___ 2. Name of Development (if applicable);
- ___ 3. Address of site and legal description of the real estate;
- ___ 4. Name and address of the land surveyor;
- ___ 5. Legend and notes, including a graphic scale, north point, and date;
- ___ 6. A separate location map;
- ___ 7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land;
- ___ 8. Details of all proposed site plan changes;

Planning & Zoning Issues

- ___ 9. Recommended land use of the subject property as designated on the Future Land Use Map of the City's Master Plan;
- ___ 10. Goals and objectives of the city's Master Plans that demonstrate the City's support of the proposed development;
- ___ 11. Whether or not the project site is located within an area of the City for which an Urban Design Plan has been adopted by the Planning Board in which special design criteria or other supplemental development requirements apply;
- ___ 12. The current zoning classification of the subject property;
- ___ 13. The zoning classification required for the proposed development;
- ___ 14. The existing land uses adjacent to the proposed project;
- ___ 15. Complete the attached "Zoning Requirements Analysis" chart;

Land Development Issues

- ___ 16. A Survey and Site Drainage Plan;
- ___ 17. Identify any sensitive soils on site that will require stabilization or alteration in order to support the proposed development;
- ___ 18. Whether or not the proposed development will occur on a steep slope, and if so, the measures that will be taken to overcome potential erosion, slope stability and runoff;

- _____ 19. The volume of excavated soils to be removed from the site and /or delivered to the site, and a map of the proposed haul routes;
- _____ 20. Identify the potential hazards and nuisances that may be created by the proposed development and the suggested methods of mitigating such hazards;

Private Utilities

- _____ 21. Indicate the source of all required private utilities to be provided;
- _____ 22. Provide verification that all required utility easements have been secured for necessary private utilities;

Noise Levels

- _____ 23. Provide a reading of existing ambient noise and estimated future noise levels on the site;
- _____ 24. Indicate whether the project will be exposed to or cause noise levels which exceed those levels prescribed in Chapter 50, Division 4, Section 50-71 through 50-77 of the Birmingham City Code, as amended;
- _____ 25. Indicate whether the site is appropriate for the proposed activities and facilities given the existing ambient noise and the estimated future noise levels of the site;

Air Quality

- _____ 26. Indicate whether the project is located in the vicinity of a monitoring station where air quality violations have been registered and, if so, provide information as to whether the project will increase air quality problems in the area;
- _____ 27. Indicate if the nature of the project or its potential users would be particularly sensitive to existing air pollution levels and, if so, indicate how the project has been designed to mitigate possible adverse effects;
- _____ 28. Indicate whether the proposal will establish a trend which, if continued, may lead to violation of air quality standards in the future;
- _____ 29. Indicate whether the proposed project will have parking facilities for more than 75 cars and indicate percentage of required parking that is proposed;

Environmental Design and Historic Values

- _____ 30. Indicate whether there will be demonstrable destruction or physical alteration of the natural or human-made environment on site or in the right-of-way (i.e. clearance of trees, substantial regrading etc.);
- _____ 31. Indicate whether there will be an intrusion of elements out of character or scale with the existing physical environment (i.e. significant changes in size, scale of building, floor levels, entrance patterns, height, materials, color or style from that of surrounding developments);
- _____ 32. Indicate all elements of the project that are eligible for LEED points if the building were to be LEED certified (i.e. extensive use of natural daylight, use of low VOC paint, use of renewable/recycled resources, energy efficient mechanical systems, use of wind and solar power, geothermal heating etc.);
- _____ 33. Indicate whether the proposed structure will block or degrade views, change the skyline or create a new focal point;
- _____ 34. Indicate whether there will be objectionable visual pollution introduced directly or indirectly due to loading docks, trash receptacles or parking, and indicate mitigation measures for same;
- _____ 35. Indicate whether there will be an interference with or impairment of ambient conditions necessary for the enjoyment of the physical environment (i.e. vibration, dust, odor, heat, glare etc.);
- _____ 36. Indicate whether the project area and environs contain any properties listed on the National Register of Historic Places or the City's inventory of historic structures;
- _____ 37. Provide any information on the project area that the State Historic Preservation Office (SHPO) may have;

- _____ 38. Indicate whether there will be other properties within the boundaries or in the vicinity of the project that appear to be historic and thus require consultation with the SHPO as to eligibility for the National Register;
- _____ 39. Indicate whether the Department of the Interior has been requested to make a determination of eligibility on properties the SHPO or HDC deems eligible and affected by the project;
- _____ 40. Provide proof that the HDC has been given an opportunity to comment on properties that are listed on or have been found eligible for the National Register and which would be affected by the project;

Refuse

- _____ 41. Indicate whether the existing or planned solid waste disposal system will adequately service the proposed development including space for separation of recyclable materials;
- _____ 42. Indicate whether the design capacity of the existing or planned solid waste disposal system will be exceeded as a result of the project;

Sanitary Sewer

- _____ 43. Indicate whether existing or planned waste water systems will be able to adequately service the proposed development;
- _____ 44. Indicate whether the design capacity of these facilities will be exceeded as a result of the project;
- _____ 45. Indicate the elements of the project that have been incorporated to reduce the amount of water entering the sewer system (such as low flush toilets, EnergyStar appliances, restricted flow faucets, greywater recycling etc.);

Storm Sewer

- _____ 46. Indicate whether existing or planned storm water disposal and treatment systems will adequately serve the proposed development;
- _____ 47. Indicate whether the design capacity of these facilities will be exceeded as a result of the project;
- _____ 48. Indicate the elements of the project that have been incorporated to reduce the amount of storm water entering the sewer system (such as the use of pervious concrete, rain gardens, greywater recycling, green pavers etc.);

Water Service

- _____ 49. Indicate whether either the municipal water utility or on-site water supply system is adequate to serve the proposed project;
- _____ 50. Indicate whether the water quality is safe from both a chemical and bacteriological standpoint;
- _____ 51. Indicate whether the intended location of the service will be compatible with the location and elevation of the main;

Public Safety

- _____ 52. Whether or not the project location provides adequate access to police, fire and emergency medical services;
- _____ 53. Whether or not the proposed project design provides easy access for emergency vehicles and individuals (ie. are there obstacles to access, such as one-way roads, narrow bridges etc.);
- _____ 54. Whether or not there are plans for a security system which can be expanded, and whether approval for same has been granted by the police department;
- _____ 55. Detailed description of all fire access to the building, site, fire hydrants and water connections;
- _____ 56. Whether or not there are plans for adherence to all city and N.F.P.A. fire codes;

- _____ 57. Proof that one elevator has been designed to accommodate a medical cart;
- _____ 58. Detailed specifications on all fire lanes/parking lot surfaces/alleys/streets to demonstrate the ability to accommodate the weight of emergency / fire vehicles;
- _____ 59. Detailed description of all fire suppression systems;

Transportation issues

- _____ 60. Provide completed FORM A – Transportation Study Questionnaire (Abbreviated);
- _____ 61. Provide completed FORM B – Transportation Study Questionnaire if required by the city’s transportation consultant;
- _____ 62. Indicate whether transportation facilities and services will be adequate to meet the needs of all users (i.e. access to public transportation, bicycle accommodations, pedestrian connections, disabled, elderly etc.);
- _____ 63. Indicate how the project will improve the mobility of all groups by providing transportation choices;
- _____ 64. Indicate how the users of the building will be encouraged to use public transit and non-motorized forms of transportation;
- _____ 65. Indicate the elements that have been incorporated into the site and surrounding right-of-way to encourage mode shift away from private vehicle trips;
- _____ 66. Indicate the elements of the project that have been provided to improve the comfort and safety of cyclists (such as secured or covered bicycle parking, lockers, bike lanes/paths, bicycle share program etc.);
- _____ 67. Indicate the elements of the project that have been provided to improve the comfort and safety of pedestrians (such as wheelchair ramps, crosswalk markings, pedestrian activated signal lights, bulb outs, benches, landscaping, lighting etc.);
- _____ 68. Indicate the elements of the project that have been provided to encourage the use of sustainable transportation modes (such as receptacles for electric vehicle charging, parking for scooters/Smart cars etc.);

Natural Features

- _____ 69. Indicate whether there are any visual indicators of pond and / or stream water quality problems on or near the site;
- _____ 70. Indicate whether the project will involve any increase in impervious surface area and, if so, indicate the runoff control measures that will be undertaken;
- _____ 71. Indicate whether the project will affect surface water flows on water levels of ponds or other water bodies;
- _____ 72. Indicate whether the project may affect or be affected by a wetland, flood plain, or floodway;
- _____ 73. Indicate whether the project location or construction will adversely impact unique natural features on or near the site;
- _____ 74. Indicate whether the project will either destroy or isolate a unique natural feature from public access;
- _____ 75. Indicate whether any unique natural feature will pose safety hazards for the proposed development;
- _____ 76. Indicate whether the project will damage or destroy existing wildlife habitats; and

Other Information

- _____ 77. Any other information as may reasonably be required by the City to assure an adequate analysis of all existing and proposed site features and conditions.

Professional Qualifications

The preparer(s) of the CIS must indicate their professional qualifications, which must include registration in the state of Michigan in their profession where licensing is a state requirement for the practice of the profession (i.e. engineer, surveyor, architect etc.). Where the state does not require licensing (ie. planner, urban designer, economist etc.), the

preparer must demonstrate acceptable credentials including, but not limited to, membership in professional societies, university degrees, documentation illustrating professional experience in preparing CIS related materials for similar projects.



ZONING REQUIREMENTS ANALYSIS

Development Standard	Required	Proposed	Variance Required
Zoning Classification			
Front Setback			
Rear Setback			
Side Setback			
FAR - Percentage			
FAR – Square Footage			
Open Space – Percentage			
Open Space – Square Footage			
Number of Residential Units			
Minimum Floor Area			
Maximum Height			
Parking			
Loading			
Screening			

Section 2

CIS Checklist Supplemental Information

Section 2

CIS Checklist Supplemental Information

RH BIRMINGHAM

Birmingham, MI 48009

Combined CIS & Site Plan Review Application

Planning Division

GENERAL INFORMATION:

1. Name and address of applicant and proof of ownership

**RH, INC.
15 Koch Rd.
Corte Madera, CA 94925
(415) 936-9642**

The (3) land parcels in the proposed development are owned by the following. Refer to Appendix 3.1 for Consent of Property Owner forms and Proof of Ownership.

- 1. Address: 300 S. Old Woodward Ave
Owner: BRB Equities, LLC**
- 2. Address: 394 S. Old Woodward Ave
Owner: Frank T. Konjarevich Revocable Living Trust dated May 22, 1995**
- 3. Address: 294 E. Brown Street
Owner: Trott Properties 294, LLC**

2. Name of Development

RH Birmingham

3. Address of site and legal description of the real estate

**300-394 South Old Woodward Avenue
Birmingham, MI 48009**

(Refer to Exhibit A for legal description provided in Appendix 3.0)

4. Name and address of the surveyor

**Nowak & Fraus Engineers
46777 Woodward Ave.
Pontiac, MI 48342
(248) 332-7931**

5. Legend and notes, including a graphic scale, north point, and date

See Site Plan

6. A separate location map

See location map in Appendix 3.2.

7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land

Refer to zoning map provided in Appendix 3.2.

8. Details of all proposed site plan changes

Refer to Preliminary Site Plan Review drawings.

PLANNING AND ZONING ISSUES:

9. Recommended land use of the subject property as designated on the future land use map of the city's master plan

Zoned D-3

10. Goals and objectives of the city's master plan that demonstrate the city's support of the proposed development

The Downtown Birmingham 2016 Plan (1996): Recommended land use for this parcel is D-3 Flexible Use (appendix F-2, page 94). The intersection of Brown and Old Woodward is identified as a general redevelopment area in the 2016 Plan as Redevelopment Site II (Page 105, Appendix G-1). A conceptual build-out shown on Page 130 Appendix G-21 illustrates continuous frontage along S Old Woodward Ave which our proposed development reflects. Retail 5 & 6 (pg. 31-35) encourage anchor developments, liner retail, creating retail loops for connection, improving pedestrian crossings, and linking pedestrian traffic from the CBD to the South Old Woodward area. The proposed development meets the goals and objectives of the current master plan.

11. Whether or not the project site is located within an area of the city for which an Urban Design Plan has been adopted by the Planning Board in which special design criteria or other supplemental development requirements apply

The proposed project is within the Downtown Overlay Zoning.

12. The current zoning classification of the subject property

The current zoning classification for the subject property is D-3 in the Downtown Overlay Zoning.

13. The zoning classification required for the proposed development

The zoning classification required for the proposed development is D-4 in the Downtown Overlay Zoning.

14. The existing land uses adjacent to the proposed project

**North: 5-story hotel building & 3-story Mixed-Use Building, zoned D-4 overlay zoning
South: 3-story mixed-use building, zoned D-2 overlay zoning
East: 2-story mixed-use buildings, zoned D-3 overlay zoning
West: 2-story office building, zoned D-3 overlay zoning**

15. Complete the attached "Zoning Requirements Analysis" chart

Refer to Section 1 for Zoning Requirements Analysis.

LAND DEVELOPMENT ISSUES

16. A survey and site drainage plan

(See Civil Engineering drawings) Refer to the enclosed survey of the site.

17. Identify any sensitive soils on the site that will require stabilization or alteration in order to support the proposed development

Refer to the Environmental Soil Profiles and Geotechnical Investigation in Appendix 3.6.

18. Whether or not the proposed development will occur on a steep slope, and if so, the measures that will be taken to overcome potential erosion, slope stability and runoff

The proposed development does not occur on a steep slope. There is very little grade change on the parcels. However, during construction of the development, care will be taken to prevent any sediment laden soils from leaving the site and to stabilize any steep slopes by employing soil erosion best management techniques.

19. The volume of excavated soils to be removed from the site and/or delivered to the site, and a map of the proposed haul routes.

The volume of excavated soils is estimated to be 23,000 cubic yards. Refer to Appendix 3.9 for proposed haul route.

20. Identify the potential hazards and nuisances that may be created by the proposed development and the suggested methods of mitigating such hazards

Pedestrian and traffic control which will be clearly marked and identified with either jersey barriers, fencing, signage, street and sidewalk closures clearly identified, etc. Signage at the gates clearly noting areas as “do not enter”, etc. Misc. noise nuisances that may occur are demo of the existing structures, starting of large equipment, safety back-up alarms, and heavy machinery. Dust mitigation and track out clean-up will be accomplished with water spray guns and sweepers.

PRIVATE UTILITIES

21. Indicate the source of all required private utilities to be provided

Refer to Civil Engineering Drawings.

22. Provide verification that all required utility easements have been secured for necessary private utilities

It is unlikely that easements for private utility services will be required as all existing services and leads will be within the public right-of-way.

NOISE LEVELS

23. Provide a reading of existing ambient noise and estimated future noise levels on the site.

Refer to the Noise Impact Study completed by Kolano and Saha Engineers, Inc. in Appendix 3.3.

24. Indicate whether the project will be exposed to or cause noise levels which exceed those levels prescribed in Chapter 50, Division 4, Section 50-71 through 50-77 of the Birmingham City Code, as amended

Refer to the Noise Impact Study completed by Kolano and Saha Engineers, Inc. in Appendix 3.3.

25. Indicate whether the site is appropriate for the proposed activities and facilities given the existing ambient noise and the estimated future noise levels of the site

Refer to the Noise Impact Study completed by Kolano and Saha Engineers, Inc. in Appendix 3.3.

AIR QUALITY

26. Indicate whether the project is located in the vicinity of a monitoring station where air quality violations have been registered and, if so. Provide information as to whether the project will increase air quality problems in the area

This development is located within the Southeast Air Quality District and the closest monitoring stations are located in Oak Park and Pontiac. Current ambient air quality standards are below the minimum standards from the EPA (Refer to air quality information in Appendix 3.7).

27. Indicate if the nature of the project or its potential users would be particularly sensitive to existing air pollution levels and, if so, indicate how the project has been designed to mitigate possible adverse effects

This development is consistent with similar downtown Birmingham building types and uses. Newer buildings are built with cleaner, more sustainable materials and equipment, which should mitigate some of these effects.

28. Indicate whether the proposal will establish a trend which, if continued, may lead to violation of air quality standards in the future

This development will not establish any trends pertaining to air quality standards, though there will be some additional pollution from the additional density of the built environment, which would be the case of any development.

29. Indicate whether the proposed project will have parking facilities for more than 75 cars and indicate percentage of required parking that is proposed

The proposed development will have one level of below grade parking that will hold 24 cars and street parking for 6 cars (Total = 36 cars). There is no percentage of required parking because the proposed project is within the parking assessment district.

ENVIRONMENTAL DESIGN AND HISTORIC VALUES

30. Indicate whether there will be demonstrable destruction or physical alteration of the natural or human-made environment on site or in the right-of-way (i.e. Clearance of trees, substantial regrading etc.)

The existing structures will be demolished, along with the surface lot to make way for the proposed building. There are very few trees currently on these sites. The proposed development will greatly enhance the built environment with new trees, landscaping, and walks.

31. Indicate whether there will be an intrusion of elements out of character or scale with the existing physical environment (i.e. Significant changes in size, scale of building, floor levels, entrance patterns, height materials, color or style from that of surrounding developments)

The proposed buildings are similar in size, scale, and materiality to the existing neighboring buildings. The overall development brings density and activity to an underutilized site.

32. Indicate all elements of the project that are eligible for LEED points if the building were to be LEED certified (i.e. Extensive use of natural daylight, use of low VOC paint, use of renewable/recycled resources, energy efficient mechanical systems, use of wind and solar power, geothermal heating etc.)

Not Applicable

33. Indicate whether the proposed structure will block or degrade views, change the skyline or create a new focal point

The proposed building will not block or degrade views, as there has been thoughtful consideration to the adjacent properties, to enhance the overall area. The proposed development would lead to an increase in activity and would create a new area of focus on an underutilized site.

34. Indicate whether there will be objectionable visual pollution introduced indirectly due to loading docks, trash receptacles or parking, and indicate mitigation measures for same

There will not be objectionable visual pollution, as we are improving views to and from the site. Access to loading will be located off Daines Street on the parking ramp. Trash receptacles will be inside the building and hidden from view. Since there is no surface parking, parking aesthetics will be greatly improved by the proposed development.

35. Indicate whether there will be an interference with or impairment of ambient conditions necessary for the enjoyment of the physical environment (i.e. Vibration, dust, odor, heat, glare, etc.)

There will be no interference with or impairment of ambient conditions necessary for the enjoyment of the physical environment.

36. Indicate whether the project area and environs contain any properties listed on the National Register of Historic Places or the city's inventory of historic structures

The project area is not listed on the National Register of Historic Places or the City's inventory of historic structures.

37. Provide any information on the project area that the State Historic Preservation Office (SHPO) may have.

This office is not aware of the subject property appearing on the state registered historic properties.

38. Indicate whether there will be other properties within the boundaries or in the vicinity of the project that appear to be historic and thus require consultation with the SHPO as to eligibility for the National Register

No historic properties are directly adjacent to the site. The closest historic properties are 325 S. Old Woodward Ave (across S. Old Woodward Ave), 211 S. Old Woodward Ave, and 220 E. Merrill Street.

39. Indicate whether the Department of the Interior has been requested to make a determination of eligibility on properties the SHPO or HDC deems eligible and affected by the project

There is no indication that the Department of the Interior has been requested to make a determination of the historic value of the surrounding properties.

40. Provide proof that the HDC has been given an opportunity to comment on properties that are listed on or have been found eligible for the National Register and which would be affected by the project.

HDC review is not required for this development.

REFUSE

41. Indicate whether the existing or planned solid waste disposal system will adequately service the proposed development including space for separation of recyclable materials.

There will be an air-conditioned refuse area on the first floor that will have adequate space for separation of recyclable materials. The refuse will be removed for daily scheduled pick-up.

42. Indicate whether the design capacity of the existing or planned solid waste disposal system will be exceeded as a result of the project

Solid waste generated from this development will be normal and can be handled via standard practices by local waste management.

SANITARY SEWER

43. Indicate whether existing or planned wastewater systems will be able to adequately service the proposed development

Public gravity sanitary sewer exists within the South Old Woodward Avenue right-of-way along the frontage of the proposed development. It is anticipated that the existing sanitary sewer will have the capacity to adequately service the proposed development. Per preliminary meetings and correspondence with the City, the existing sewer along the frontage of the property has the capacity to handle the flows from the proposed development. The planned sewer service flow basis of design and capacity of the existing sewer will be reviewed and confirmed by the City Engineer prior to final site plan approvals.

44. Indicate whether the design capacity of the facilities will be exceeded as a result of the project

It is not anticipated that the design capacity of the existing sanitary sewer will be exceeded by the development. Per preliminary meetings and correspondence with the City, the existing sewer along the frontage of the property has the capacity to handle the flows from the proposed development. The planned sewer service flow basis of design and capacity of the existing sewer will be reviewed and confirmed by the City Engineer prior to final site plan approvals.

45. Indicate the elements of the project that have been incorporated to reduce the amount of water entering the sewer system (such as low flush toilets, Energy Star appliances, restricted flow faucets, greywater recycling etc.)

Low-flush toilets, restricted flow faucets, and greywater recycling may be incorporated to reduce the amount of water entering the sewer system.

STORM SEWER

46. Indicate whether existing or planned storm water disposal and treatment systems will adequately serve the proposed development

In existing conditions, .46 acres of the site (which is currently fully developed) drains via a storm sewer conveyance pipe network. No stormwater treatment measures are incorporated into the existing drainage system. The planned storm water management design will be reviewed and confirmed by the City Engineer prior to final site plan approvals.

47. Indicate whether the design capacity of the facilities will be exceeded as a result of the project

It is not anticipated that the design capacity of the existing municipal storm sewer systems in the area will be exceeded or adversely affected by the runoff from the proposed development. In proposed conditions, no additional runoff will be directed to drain to the municipal storm sewer system along South Old Woodward Avenue. Therefore, drainage from the site will not adversely affect the municipal system. The proposed pipe conveyance system will be designed to handle a 10-year design frequency storm in accordance with City standards.

48. Indicate the elements of the project that have been incorporated to reduce the amount of storm water entering the sewer system (such as the use of pervious concrete, rain gardens, greywater recycling, green pavers etc.)

In proposed conditions, the amount of impervious area will be reduced due to landscaping and roof terraces/gardens, thus reducing the overall amount of storm water entering the municipal storm systems.

WATER SERVICE

49. Indicate whether either the municipal water utility or on-site water supply system is adequate to serve the proposed project

Public 12-inch water mains exist both within the South Old Woodward Avenue right-of-way and the E. Brown Street right-of-way along the frontage of the proposed development. A Public 8-inch water main exists within the Daines Street right-of-way. Per preliminary meetings and correspondence with the City, the existing 12-inch water main along South Old Woodward was installed in 2007 and should have the capacity to service the proposed building types. The planned water usage design and capacity of the existing water main will be reviewed and confirmed by the City Engineer prior to final site plan approvals.

50. Indicate whether the water quality is safe from both a chemical and bacteriologist standpoint

It is not anticipated that the water quality of the existing water main supply system is unsafe. The proposed water main will need to be field tested from both a chemical and bacteriological standpoint, in accordance with State and City standards, prior to making the connections to the existing water network and placing the proposed water main in service.

51. Indicate whether intended location of the service will be compatible with the location and elevation of the main

The proposed water supply design is compatible with the existing system and will not require rerouting, significant alterations, or modifications.

PUBLIC SAFETY

52. Whether or not the project location provides adequate access to police, fire and emergency medical services

The proposed development offers direct access for emergency personnel from multiple access points (E. Brown Street, S. Old Woodward Avenue, and Daines Street).

53. Whether or not the proposed project design provides easy access for emergency vehicles and individuals (ie. Are there obstacles to access, such as one-way roads, narrow bridges etc.)

E. Brown Street, S. Old Woodward Avenue, and Daines Street provide easy access for emergency vehicles and individuals.

54. Whether or not there are any plans for a security system which can be expanded, and whether approval for same has been granted by the police department.

RH will have a security system per the retail tenant's requirements. It is the responsibility of the tenant to submit plans to the police department for approval.

55. Detailed description of all fire access to the building, site, fire hydrants and water connections

Refer to Civil Engineering Drawings.

56. Whether or not there are plans for adherence to all city and N.F.P.A. fire codes

All code requirements will be met.

57. Proof that one elevator has been designed to accommodate a medical cart

The proposed building will have one elevator that will accommodate a medical cart.

58. Detailed specifications on all fire lanes/parking lot surfaces/alleys/streets to demonstrate the ability to accommodate the weight of emergency/ fire vehicles

Refer to Civil Engineering Drawings.

59. Detailed description of all fire suppression systems

Full fire suppression system and/or standpipe, Siamese FDC, and knox box will be provided where required. Fire suppression drawings will be based on a performance specification. Drawings will be issued for the building with requirements for a design-build fire suppression contractor to submit full working plans and specifications for review which will then be submitted for approval prior to construction.

TRANSPORTATION ISSUES

60. Provide completed FORM A-Transportation Study Questionnaire (Abbreviated)

Refer to the Traffic Impact Study by ROWE Professional Services Company in Appendix 3.4.

61. Provide completed FORM B- Transportation Study Questionnaire if required by the city's transportation consultant

Refer to the Traffic Impact Study by ROWE Professional Services Company in Appendix 3.4.

62. Indicate whether transportation facilities and services will be adequate to meet the needs of all users (i.e. access to public transportation bicycle accommodations, pedestrian connections, disabled, elderly etc.)

There is a SMART bus stop (#1652) located on S. Old Woodward Avenue between Daines Street and E. Frank Street, within proximity to the proposed building. Pedestrian connectivity will be improved with new streetscape elements.

63. Indicate how the project will improve the mobility of all groups by providing transportation choices

The proposed development can be easily accessed on three street fronts by vehicle, bicycle, or pedestrian traffic.

64. Indicate how the users of the building will be encouraged to use the public transit and non-motorized forms of transportation

There is a SMART bus stop within 400 feet of the site. The new sidewalks and streetscape elements are designed for pedestrian connectivity. New bike racks will be added to the existing streetscape around the project development.

65. Indicate the elements that have been incorporated into the site and surrounding right of way to encourage mode shift away from private vehicle trips

There is a SMART bus stop within 400 feet of the site. New bike racks will be added to the existing streetscape around the project development.

66. Indicate the elements of the project that have been provided to improve the comfort and safety cyclists (such as secured or covered bicycle parking, lockers, bike lanes/paths, bicycle share program etc.)

New bike racks will be added at the existing streetscape around the project development., in addition to illumination along walks and entries for safety and security.

67. Indicate the elements of the project that have been provided to improve the comfort and safety of pedestrians (such as wheelchair ramps, crosswalk markings, pedestrian activated signal lights, bulb out, benches, landscaping, lighting etc.)

There are markings on crosswalks. In addition, there are streetlights, benches, and landscape located along the sidewalks throughout the development. Building entrances would be at grade.

68. Indicate the elements of the project that have been provided to encourage the use of sustainable transportation modes (such as receptacles for electric vehicle charging, parking for scooters/smart cars etc.)

There will be electric vehicle charging in the below grade parking structure, along with parking for compact cars. New bike racks will be added around the development. In addition, it is walkable from the surrounding areas.

NATURAL FEATURES

69. Indicate whether there any visual indicators of pond and/or stream water quality problems on or near the site

No water quality issues are known to exist.

70. Indicate whether the project will invoke any increase in impervious surface area and, if so, indicate the runoff control measures that will be undertaken.

The project proposes to decrease the impervious area of the existing site, thus runoff peak discharge rate and discharge volumes are expected to be reduced in proposed conditions.

71. Indicate whether the project will affect surface water flows or water levels of ponds or other water bodies

Effects to the surface water levels of water bodies in the area are not anticipated.

72. Indicate whether the project may affect or be affected by a wetland, flood plain, or floodway

The property does not lie within a special flood hazard area as defined by the Federal Emergency Management Agency; The property lies within Zone X of the Flood Insurance Rate Map identified as Map No. 26125C0537F bearing an effective 9/29/2006.

73. Indicate whether the project location or construction will adversely impact unique natural features on or near the site

It is not anticipated that the project location or construction will adversely impact unique natural features on or near the site. It is the intent to enhance the site through the proposed development.

74. Indicate whether the project will either destroy or isolate a unique natural feature from public access

It is not anticipated the development will destroy or isolate any unique natural feature from public access.

75. Indicate whether any unique natural feature will pose safety hazards for the proposed development

It is not anticipated that any existing natural feature will pose safety hazards for the proposed development.

76. Indicate whether the project will damage or destroy existing wildlife habitats

The existing site is urban land and it is not anticipated that the proposed project will destroy any existing wildlife or habitats.

OTHER INFORMATION

77. Any other information as may reasonably be required by the city to assure an adequate analysis of all existing and proposed site features and conditions

Our team will provide any additional information that the city requests during the site plan review process.

PROFESSIONAL QUALIFICATIONS

The preparer(s) of the CIS must indicate their professional qualifications, which must include registration in the state of Michigan in their profession where licensing is a state requirement for the practice of the profession (i.e. engineer, surveyor, architect etc.). Where the state does not require licensing (i.e. planner, urban designer, economist etc.), the preparer must demonstrate acceptable credentials including, but not limited to, membership in professional societies, university degrees, documentation illustrating professional experience in preparing CIS related materials for similar projects.

Preparer: Victor Saroki, FAIA. State of Michigan Architectural Registration no. 1301030354.

Section 3

Appendix

Section 3	Appendix
3.0	Legal Descriptions
3.1	Proof of Ownership
	Consent of Property Owner
	Warranty Deed
3.2	Maps
	Zoning Map
	Location Map
3.3	Noise Impact Study
3.4	Traffic Impact Study
3.5	Phase I Environmental Site Assessment
3.6	Geotechnical Investigation
3.7	Air Quality Information
3.8	Site Photographs
3.9	Site Logistics
	Preliminary Haul Routes Map
4.0	Mechanical Equipment Specifications

Section 3.0

Legal Descriptions

Exhibit A

LOT SPLIT / COMBINATION

LEGAL DESCRIPTION - PARCELS I & II (PER TITLE COMMITMENT)

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

PARCEL I:

THE EAST 1/2 OF LOT(S) 11 OF BROWN'S ADDITION TO THE CITY OF BIRMINGHAM AND THE EAST 1/2 OF LOT 16 OF BROWN'S ADDITION NO. 1, IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING THE VACATED WEST 20 FEET OF ANN STREET ADJOINING LOT 11 AND THE VACATED WEST 19 FEET OF ANN STREET ADJOINING LOT 16.

PARCEL II:

THE WEST 1/2 OF LOT(S) 12 OF BROWN'S ADDITION TO THE VILLAGE (NOW CITY) OF BIRMINGHAM, OF PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST, TOWNSHIP OF BLOOMFIELD (NOW CITY OF BIRMINGHAM), OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, ALSO LOT 15, ADDITION TO WILLIAM BROWN'S ADDITION NO. 1, BEING A PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING VACATED 20 FEET OF ANN STREET, ADJOINING THE WESTERLY SIDE OF LOT 12 AND VACATED 21 FEET OF ANN STREET ADJOINING THE WESTERLY SIDE OF LOT 15.

ADDRESS: 294 E. BROWN STREET, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-021

LEGAL DESCRIPTION - PARCEL 2 (PER TITLE COMMITMENT)

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

THE EASTERLY 50 FEET OF LOT 12, AND THE WESTERLY PART OF LOT 13, MEASURING 82.45 FEET ON THE NORTH LOT LINE AND 82.48 FEET ON THE SOUTH LOT LINE OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

ADDRESS: 300 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-006

LEGAL DESCRIPTION - PARCEL 3 (PER TITLE COMMITMENT)

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

LOT(S) 14, EXCEPT THAT PART TAKEN FOR WIDENING WOODWARD AVENUE OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

ADDRESS: 394 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-014

Exhibit A

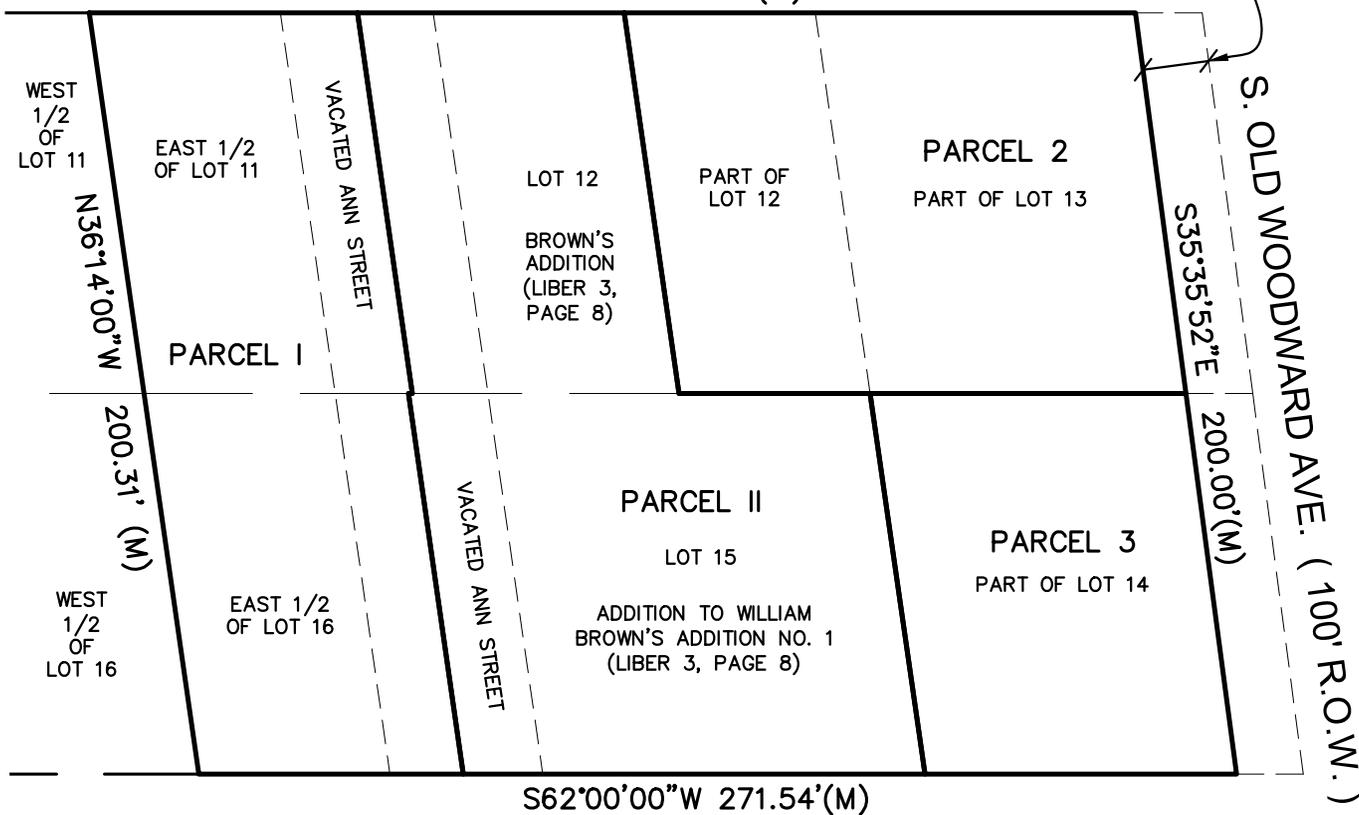
LOT SPLIT / COMBINATION



E. BROWN ST. (60' R.O.W.)

N62°00'00"E 273.78' (M)

EXCEPTED PART TAKEN FOR WOODWARD WIDENING



DAINES ST. (40' R.O.W.)

Exhibit A

LOT SPLIT / COMBINATION

LEGAL DESCRIPTION - PROPOSED PARCEL A

LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI,
DESCRIBED AS FOLLOWS:

PART OF LOTS 12 AND 13, EXCEPT THAT PART TAKEN FOR WIDENING
WOODWARD AVENUE OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE
PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND
COUNTY RECORDS AND PART OF LOTS 14 AND 15, EXCEPT THAT PART
TAKEN FOR WIDENING WOODWARD AVENUE OF ADDITION TO WILLIAM BROWN'S
ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3
OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; ALL BEING DESCRIBED
AS: BEGINNING AT A POINT DISTANT S.62°00'00"W. 17.47 FEET FROM THE
NORTHEAST CORNER OF SAID LOT 13 OF BROWN'S ADDITION SUBDIVISION;
THENCE S.35°35'52"E. 200.00 FEET; THENCE S.62°00'00"W. 101.90 FEET;
THENCE N.35°35'52"W. 200.00 FEET; THENCE N.62°00'00"E. 101.90 FEET TO
THE POINT OF BEGINNING.

CONTAINING: 20,201.08 SQUARE FEET OR 0.46 ACRES OF LAND

LEGAL DESCRIPTION - PROPOSED PARCEL B

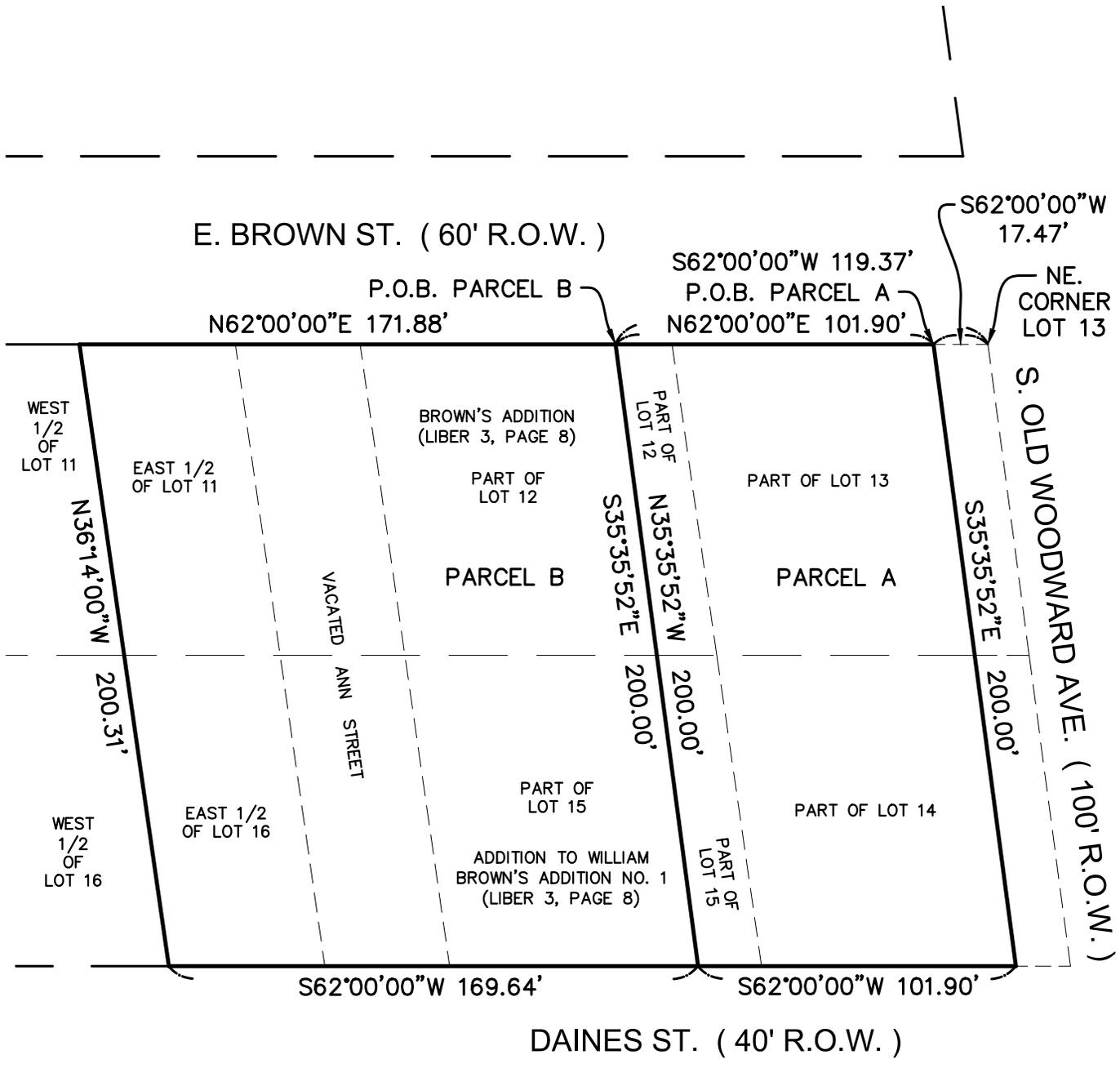
LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI,
DESCRIBED AS FOLLOWS:

THE EAST 1/2 OF LOT 11, PART OF LOT 12 AND ALL OF VACATED ANN
STREET ADJACENT THEREOF OF BROWN'S ADDITION SUBDIVISION ACCORDING
TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF
OAKLAND COUNTY RECORDS AND THE EAST 1/2 OF LOT 16, PART OF LOT
15 AND ALL OF VACATED ANN STREET ADJACENT THEREOF OF ADDITION TO
WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF
RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS,
ALL BEING DESCRIBED AS: BEGINNING AT A POINT DISTANT S.62°00'00"W.
119.37 FEET FROM THE NORTHEAST CORNER OF SAID LOT 13 OF BROWN'S
ADDITION SUBDIVISION; THENCE S.35°35'52"E. 200.00 FEET; THENCE
S.62°00'00"W. 169.64 FEET; THENCE N.36°14'00"W. 200.31 FEET; THENCE
N.62°00'00"E. 171.88 FEET TO THE POINT OF BEGINNING.

CONTAINING: 33,851.88 SQUARE FEET OR 0.78 ACRES OF LAND

Exhibit A

LOT SPLIT / COMBINATION



Section 3.1

Proof of Ownership



CONSENT OF PROPERTY OWNER

I, BRB Equities, LLC, OF THE STATE OF Michigan AND
(Name of Property Owner)
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 300 S. Old Woodward;
(Address of Affected Property)
Combined CIS & Site Plan Review

2. That I have read and examined the Application for Administrative Approval made to the City of
Birmingham by: RH, INC.;
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the City of
Birmingham.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Name of Owner (Printed): BRB Equities, LLC

Signature of Owner: Date: 2/19/2021

425016
LIBER 30401 PAGE 501
\$13.00 DEED - COMBINED
\$4.00 REMUNERATION
08/19/2003 12:09:36 P.M. RECEIPT# 73041
PAID RECORDED - OAKLAND COUNTY
G. WILLIAM CADDELL, CLERK/REGISTER OF DEEDS

QUIT CLAIM DEED STATUTORY FORM

KNOW ALL MEN BY THESE PRESENTS: That MBI Holding Inc.

whose street number and postoffice address is 4858 Willow Lane, Orchard Lake, MI 48324

Quit Claims to BRB Equities L.L.C.

whose street number and postoffice address is 4858 Willow Lane, Orchard Lake, MI 48324

the following described premises situated in the City of Birmingham, County of Oakland and State of Michigan, to wit:

Lot 13, and the East 1/2 of Lot 12, - of William Brown's Addition to the Village (now City) of Birmingham, according to the plat thereof as recorded in liber 3, page 8 of Plats, Oakland County Records, ~~excepting that portion thereof taken for highway purposes.~~ *See attached*

Commonly known as 300 S. Old Woodward
Tax Item No: 19-36-204-006

for the sum of one (\$1.00) Dollar

Tax Exempt Pursuant to MCL 207.505(a) and MCL 207.526(a)

Dated this 28th day of APRIL, 2003

Signed and sealed in presence of

Signed and sealed:

Artemus M. Pappas
Print ARTEMUS M. PAPPAS

Bowen R. Brook
MBI Holdings, by Bowen R. Brook it's
President

Chad Clark
Print CHAD CLARK

STATE OF Michigan) S.S.
COUNTY OF Oakland

The foregoing instrument was acknowledged before me this 28th day of APRIL, 2003, by Bowen R. Brook, President on behalf of MBI Holding\$ Inc.

My commission expires 10-7-04
Artemus M. Pappas
Notary Public, OAKLAND County, Michigan

After recording return to: MARK HALL
MBI Holdings, Inc.
4858 Willow Lane
Orchard Lake, MI 48324

Drafted By: Devon Title Agency
Under the direction of: MBI Holdings Inc.
4858 Willow Lane
Orchard Lake, MI 48324

DEVON TITLE AGENCY
37000 WOODWARD AVE., BLOOMFIELD HILLS, MI 48304
28351 SCHOENHERR, SUITE 100, WARREN, MI 48088-6333
15700 W. 10 MILE, SUITE 104, SOUTHFIELD, MI 48075
38047 ANN ARBOR ROAD, LIVONIA, MI 48150

O.K. - KR

95820

Order No.: 95820
Property: 300 Old Woodward, S, Birmingham, MI 48009

EXHIBIT

The Easterly 50 feet of Lot 12, and the Westerly part of Lot 13, measuring 82.45 feet on the North lot line and 82.48 feet on the South lot line; BROWN'S ADDITION SUBDIVISION, plat of the West 1/2 of the Northeast 1/4 of Section 36, Town 2 North, Range 10 East, being an addition to the Village of Birmingham, Oakland County, Michigan, as recorded in Liber 3 of Plats, Page 8 of Oakland County Records.

Commonly known as 300 S. Old Woodward
Tax Item No: 19-36-204-006

3008

495643
LIBER 30959 PAGE 105
\$13.00 DEED - COMBINEE
\$4.00 REINDEMENTATION
10/01/2003 12:14:57 P.M. RECEIPTS 56184
PAID RECORDED - OAKLAND COUNTY
G. WILLIAM CARROLL, CLERK REGISTER OF DEEDS

QUIT CLAIM DEED STATUTORY FORM

KNOW ALL MEN BY THESE PRESENTS: That MBI Holdings Inc.

whose street number and postoffice address is 4858 Willow Lane, Orchard Lake, MI 48324

Quit Claims to BRB Equities, LLC

whose street number and postoffice address is 4858 Willow Lane, Orchard Lake, MI 48324

the following described premises situated in the City of Birmingham, County of Oakland and State of Michigan, to wit:

~~Lot 13, and the East 1/2 of Lot 12, - of William Brown's Addition to the Village (now City) of Birmingham, according to the plat thereof as recorded in liber 3, page 8 of Plats, Oakland County Records, excepting that portion thereof taken for highway purposes.~~

see attached

Commonly known as 300 S. Old Woodward
Tax Item No: 19-36-204-006

for the sum of one (\$1.00) Dollar

Tax Exempt Pursuant to MCL 207.505(a) and MCL 207.526(a)

Dated this 28 day of APRIL, 2003

Signed and sealed in presence of

Signed and sealed:

Print

Bowen R. Brock
MBI Holdings, by Bowen R. Brock it's
President

Print

STATE OF Michigan

} S.S.

COUNTY OF Oakland

The foregoing instrument was acknowledged before me this 28 day of APRIL, 2003, by Bowen R. Brock, President on behalf of MBI Holdings, Inc.

Elise L. Lievois
ELISE L. LIEVOIS

My commission expires 10-13-03

Notary Public, OAKLAND County, Michigan

After recording return to: *Bowen Brock*
MBI Holdings, Inc.
4858 Willow Lane

Drafted By: Devon Title Agency
Under the direction of: MBI Holdings, Inc. / *Bowen Brock*
4858 Willow Lane
Orchard Lake, MI 48324

Orchard Lake, MI 48324

O.K. - MH

DEVON TITLE AGENCY
37000 WOODWARD AVE., BLOOMFIELD HILLS, MI 48304
28351 SCHOENHERR, SUITE 100, WARREN, MI 48088-6333
15700 W. 10 MILE, SUITE 104, SOUTHFIELD, MI 48075
38047 ANN ARBOR ROAD, LIVONIA, MI 48150

Order No.: 95820
Property: 300 Old Woodward, S. Birmingham, MI 48009

EXHIBIT

The Easterly 50 feet of Lot 12, and the Westerly part of Lot 13, measuring 82.45 feet on the North lot line and 82.48 feet on the South lot line; BROWN'S ADDITION SUBDIVISION, plat of the West 1/2 pf the Northeast 1/4 of Section 36, Town 2 North, Range 10 East, being an addition to the Village of Birmingham, Oakland County, Michigan, as recorded in Liber 3 of Plats, Page 8 of Oakland County Records.

Commonly known as 300 S. Old Woodward
Tax Item No: 19-36-204-006

3008



CONSENT OF PROPERTY OWNER

I, Frank T. Konjarevich or Lois H. Konjarevich as the Trustee for the Frank T. Konjarevich Revocable Living Trust dated _____, OF THE STATE OF Michigan AND
(Name of Property Owner)
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 394 S. Old Woodward;
(Address of Affected Property)
Combined CIS & Site Plan Review
2. That I have read and examined the Application for ~~Administrative Approval~~ made to the City of
RH, INC.
Birmingham by: _____;
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of
Birmingham.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Frank T. Konjarevich or Lois H. Konjarevich as the Trustee for the Frank T. Konjarevich Revocable Living Trust dated May 22, 1995
Name of Owner (Printed): _____

Signature of Owner: Frank Konjarevich Date: 2/19/21

Quit Claim Deed - 863

Available from Target Information Management, Inc. (517) 337-1211

LIBR 15489-601

State Bar of Michigan Form

Jun 29 95 11 61 91

The Grantor(s) FRANK T. KONJAREVICH and LOIS H. KONJAREVICH, his wife
32860 Ardwick, Farmington Hills, Michigan 48334, whose address is

quit-claim(s) to FRANK T. KONJAREVICH or LOIS H. KONJAREVICH (or Successor
Trustee) as the Trustee for the FRANK T. KONJAREVICH REVOCABLE
LIVING TRUST dated May 22, 1995

whose address is 32860 Ardwick, Farmington Hills, Michigan 48334
the following described premises situated in the City
of Birmingham, County of Oakland
and State of Michigan

\$ 7.00 DEED
\$ 2.00 REMONUMENTATION
29 JUN 95 11:48 A.M. RECEIPT# 1568
PAID RECORDED - OAKLAND COUNTY
LYNN D. ALLEN, CLERK/REGISTER OF DEEDS

Lot 14, except that part taken for widening Woodward Avenue,
Addition to William Brown's Addition No. 1, as recorded in liber 3,
page 8 of Plats, Oakland County Records.

Tax Item No. 19-36-204-014

3008

for the sum of Exempt pursuant to MCLA 207.505(a) & MCLA 207.526(a)

Dated this 22nd day of May, 19 95

Signed in the Presence of

P. Mark Accettura
* P. MARK ACCETTURA

Sheryl L. Walker
* SHERYL L. WALKER

Signed by:

Frank T. Konjarevich
* FRANK T. KONJAREVICH

Lois H. Konjarevich
* LOIS H. KONJAREVICH

STATE OF MICHIGAN, }
COUNTY OF OAKLAND } SS.

The foregoing instrument was acknowledged before me this 22nd day of May
19 95, by FRANK T. KONJAREVICH and LOIS H. KONJAREVICH

P. Mark Accettura
* P. MARK ACCETTURA
Notary Public, Oakland County,
Michigan

My commission expires: 1/28/97

*JW
LW
EM*

When Recorded Return To: DAGUANO AND ACCETTURA (Name) 34705 W. 12 Mile Road, Suite 311 (Street Address) Farmington Hills, MI 48331 (City and State)	Send Subsequent Tax Bills To: GRANTEE	Drafted By: P. MARK ACCETTURA DAGUANO AND ACCETTURA Business Address: 34705 W. 12 Mile Road Suite 311 Farmington Hills, MI 48331
---	--	---

Tax Parcel # _____ Recording Fee _____ Transfer Tax _____

* Type or print names under signatures

OK - G.K.



CONSENT OF PROPERTY OWNER

I, Trott Properties 294, LLC, OF THE STATE OF Michigan AND
(Name of Property Owner)
COUNTY OF Oakland STATE THE FOLLOWING:

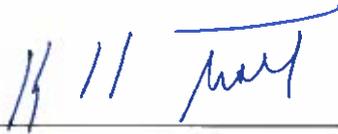
1. That I am the owner of real estate located at 294 E. Brown Street;
(Address of Affected Property)
Combined CIS & Site Plan Review
2. That I have read and examined the Application for ~~Administrative Approval~~ made to the City of

Birmingham by: RH, INC.;
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Name of Owner (Printed): Trott Properties 294, LLC

Signature of Owner:  Date: _____

OAKLAND COUNTY TREASURERS CERTIFICATE
I HEREBY CERTIFY that there are no TAX LIENS or TITLES held by the state or any individual against the within description and all TAXES on same are paid for five years previous to the date of this instrument as appears by the records in the office except as stated.

LIBER 41771 PG 326

JAN 12 2010

ANDREW E. MEISNER, County Treasurer
Sec. 135, Act 206, 1893 as amended

1.00

7760
LIBER 41771 PAGE 326
\$19.00 DEED - COMBINED
\$4.00 REMONUMENTATION
01/15/2010 08:17:17 A.M. RECEIPT# 3767

PAID RECORDED - OAKLAND COUNTY
RUTH JOHNSON, CLERK/REGISTER OF DEEDS

000525

WARRANTY DEED

The Grantor, **DDJ - BIRMINGHAM, LLC**, a Delaware limited liability company ("Grantor"),

whose address is 1148 Alpine Road, Walnut Creek, CA 94596,

Conveys and Warrants to **TROTT PROPERTIES 294, LLC**, a Michigan limited liability company ("Grantee"),

whose address is 31440 Northwestern Highway, Farmington Hills, MI 48334,

the premises situated in the City of Birmingham, County of Oakland, State of Michigan, described in Exhibit A attached hereto and incorporated herein by reference, together with all and singular tenements, hereditaments, improvements, appurtenances and easements benefiting the said premises, for the sum of Ten Dollars (\$10.00) and other good and valuable consideration (see Real Estate Transfer Tax Valuation Affidavit), the receipt and sufficiency of which are hereby acknowledged, subject only to those matters described in Exhibit B attached hereto and incorporated herein by reference.

Grantor grants Grantee the right to make all permitted divisions under Section 108 of the Land Divisions Act, Act No. 288 of the Public Acts of 1967.

Dated as of December 30, 2009.

CHECKING COMPLETED
AT REGISTER OF DEEDS
JAN 12 2010
Ruth Johnson Register of Deeds
Oakland County, MI

CHECKING COMPLETED
AT REGISTER OF DEEDS
JAN 12 2010
Ruth Johnson Register of Deeds
Oakland County, MI

GRANTOR:

DDJ - BIRMINGHAM, LLC,
a Delaware limited liability company

By: 
Robert Dailey, Managing Member

CHECKING COMPLETED
AT REGISTER OF DEEDS
JAN 13 2010
Ruth Johnson Register of Deeds
Oakland County, MI

[Notary Page Follows]

RECEIVED
OAKLAND COUNTY
REGISTER OF DEEDS
2010 JAN 12 PM 12:34

4P
R
ST

382325 ST

23+1

O.K. - A.N.

1840717

REVERSE TO BE AFFIXED AFTER RECORDING

JAN - 7 2010

4/23

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

State of California

County of Contra Costa }

On 12/29/09 before me, Christine M. Johnson Notary Public
Date Here Insert Name and Title of the Officer

personally appeared Robert Dailey
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/hers/their authorized capacity(ies), and that by his/hers/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Signature]
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: Warranty Deed

Document Date: _____ Number of Pages: _____

Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: Robert Dailey

- Individual
- Corporate Officer — Title(s): _____
- Partner — Limited General
- Attorney in Fact
- Trustee
- Guardian or Conservator

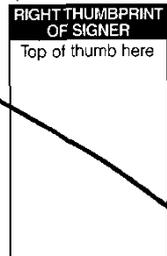
Other: managing member
Signer Is Representing: _____



Signer's Name: _____

- Individual
- Corporate Officer — Title(s): _____
- Partner — Limited General
- Attorney in Fact
- Trustee
- Guardian or Conservator
- Other: _____

Signer Is Representing: _____



LIBER 4 1771 PG 328

EXHIBIT A
Legal Description

The land referred to in this document is described as follows:

Land in the City of Birmingham, County of Oakland, State of Michigan, to-wit:

City of Birmingham

Tax Rolls Description:

The Northeasterly 1/2 of Lot 11 and the Southwesterly 1/2 of Lot 12, Brown's Addition, as recorded in Liber 3, Page 8 of Plats, Oakland County Records, also Lot 15 and the Northeasterly 1/2 of Lot 16 of Brown's Addition No. 1, as recorded in Liber 3, Page 8, Oakland County Records, also all of vacated Ann Street adjacent to the same.

Record Description:

Parcel 1:

The East 1/2 of Lot 11, Brown's Addition to the City of Birmingham and the East 1/2 of Lot 16 of Brown's Addition No. 1, in the City of Birmingham, Oakland County, Michigan, as recorded in Liber 3 of Plats, Page 8, Oakland County Records, including the vacated West 20 feet of Ann Street adjoining Lot 11 and the vacated West 19 feet of Ann Street adjoining Lot 16.

Parcel II:

The West 1/2 of Lot 12 of Brown's Addition to the Village (now City) of Birmingham, of part of the West 1/2 of the Northeast 1/4 of Section 36, Town 2 North, Range 10 East, Township of Bloomfield (now City of Birmingham), Oakland County, Michigan, as recorded in Liber 3, Page 8 of Plats, Oakland County Records; also Lot 15, Addition to William Brown's Addition No. 1, being a part of the West 1/2 of the Northeast 1/4 of Section 36, Town 2 North, Range 10 East, according to the plat thereof as recorded in Liber 3, Page 8 of Plats, Oakland County Records, including vacated 20 feet of Ann Street, adjoining the Westerly side of Lot 12 and vacated 21 feet of Ann Street adjoining the Westerly side of Lot 15.

More commonly known as: 294 East Brown Street, Birmingham, MI

Tax Item No. 19-36-204-021

LIBER 41771 PG 29

EXHIBIT B

Permitted Exceptions

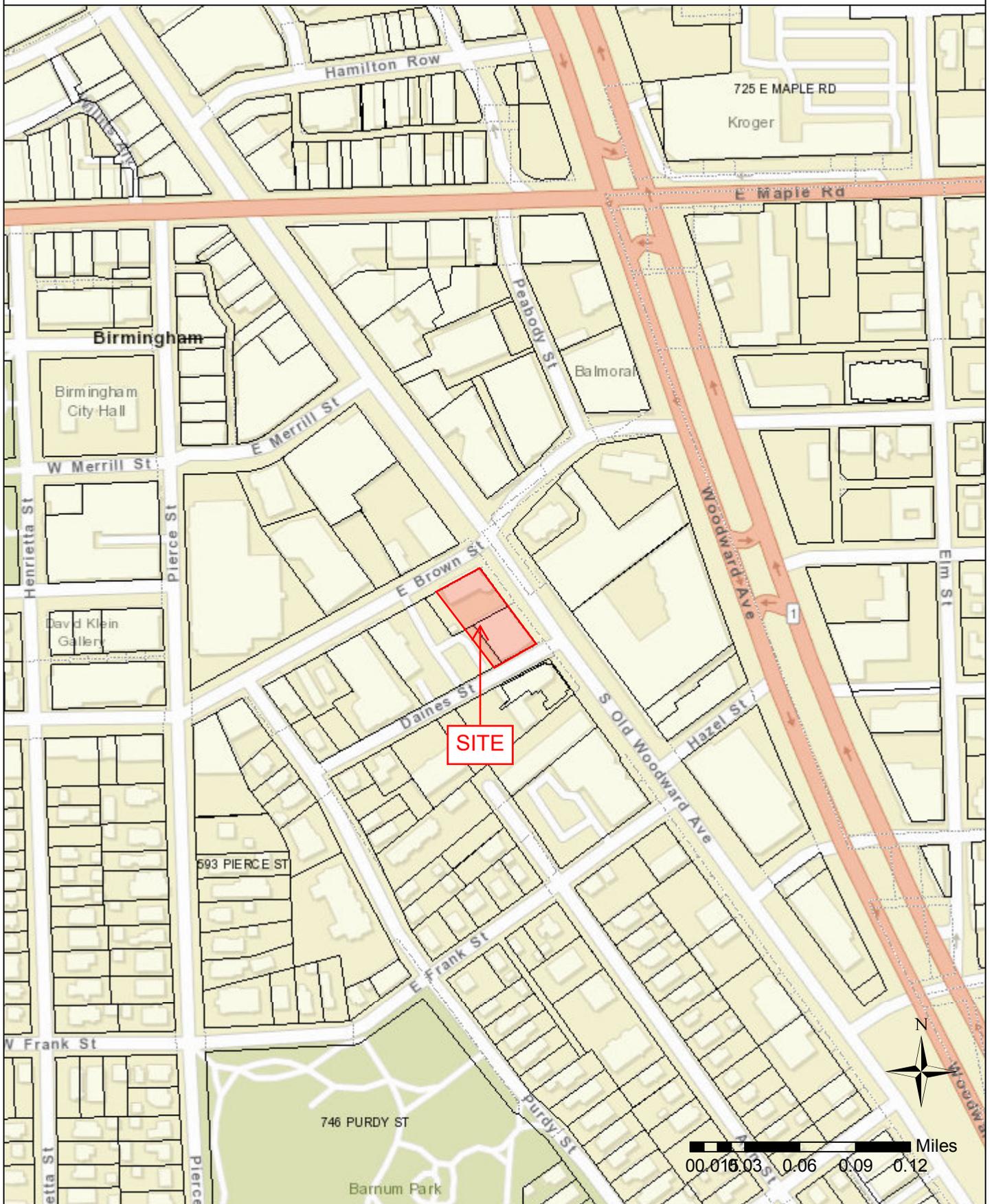
1. Liens for real estate taxes which are not yet due and payable.
2. Terms of the Resolution of the Birmingham City Commission recorded in Liber 21398, Page 287, Oakland County Records, vacating the remaining 10 foot portion of Ann Street and the 40 foot wide easement between Brown and Daines Streets.

Return to:
Trott Properties 294, LLC.
31440 Northwestern Highway
Farmington Hills, MI 48334

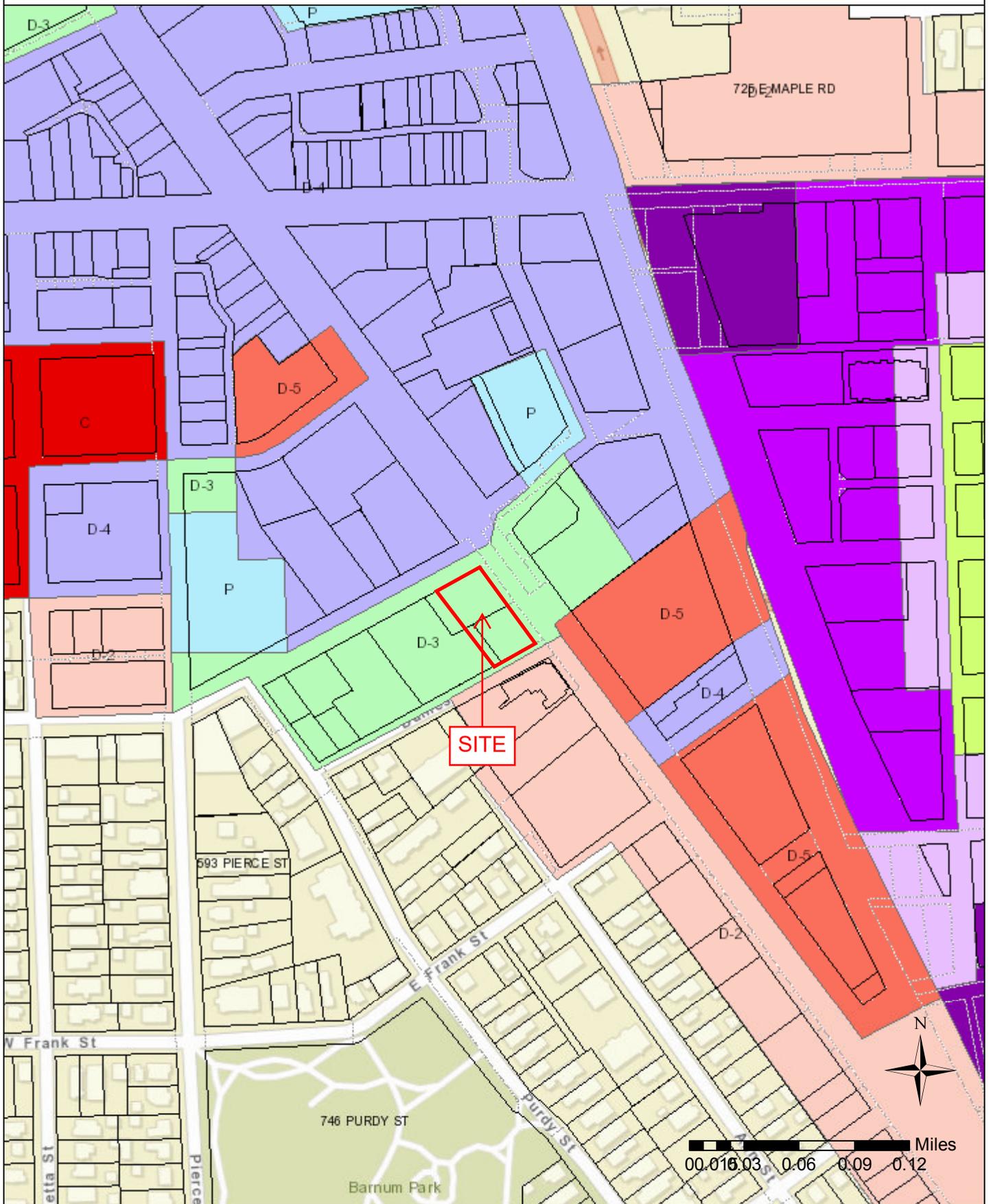
Section 3.2

Maps

Location Map



Zoning Map



Section 3.3

Noise Impact Study



2021-026
February 22, 2021

Mr. Alexander Saroki
Saroki Architecture
2051 Villa Rd, Suite 106
Bloomfield Hills, MI 48304

Subject: **Birmingham CIS - Sound Level Measurements and Noise Impact Assessment**
re: Restoration Hardware
Birmingham, MI

Mr. Saroki:

At your request and authorization, Kolano and Saha Engineers, Inc. (K&SE) conducted an investigation to evaluate the community noise associated with the proposed Restoration Hardware development. This investigation included measurements of existing site noise levels at the proposed development site to understand the current ambient noise conditions. It also included a review and evaluation of the proposed development to help assess if noise associated with this development will be compatible at this location or if there are any specific noise sources that are likely to need some attention to noise control to meet the City Noise Ordinance limits.

On-Site Sound Level Measurements

We conducted measurements using a Brüel & Kjær 2270 environmental noise analyzer with a precision outdoor microphone assembly. This instrumentation was calibrated before and after measurements using an acoustic calibrator traceable to the National Institute for Standards and Technology.

Measurements were conducted near the proposed site for a 24+ hour period to capture the existing ambient sound levels. Sound level measurements were conducted at a position that was in the vicinity of what is expected to be at the middle of the west wall of the proposed new building. This position is located 125 feet west of S. Old Woodward Ave. and 100 feet south of E. Brown St. Details of this measurement position is provided in **Exhibit 1**.

The measurement equipment captured sound levels starting at 8PM on February 15, 2021 and continued until 5PM on February 17, 2021. Due to limited timing to complete our study, measurements were conducted during a period with new snow fall of approximately 5-inches and the resulting snow clearing activities, both of which affected the sound levels measured. Snow on the ground absorbs sound and tends to reduce outdoor sound levels. However, equipment used to remove/relocate snow tends to be noisy and was noted to generate a significant level of noise during portions of our measurements at this site. The measurement results are provided in **Exhibit 2**. The results of the measurements are presented in a graph of sound level versus time. These graphs contain three plot lines; the 5-minute L_{eq} (energy average level), the hourly L_{eq} and the daytime and nighttime averaged sound levels.

City of Birmingham Noise Ordinance

The City of Birmingham addresses noise in their ordinance under *Part II – City Code, Chapter 50 – Environment, Article II. Nuisances, Division 4 – Noise*. This ordinance provides information of Definitions, general prohibitions, specific prohibitions, decibel level prohibitions, general exemptions and test procedures.

The objective limits cited in this ordinance (as Table 1) are:

Use of Property Producing the Sound	Use of Property Receiving the Sound	Sunday to Saturday 7:00 a.m. to 7:00 p.m.	Sunday to Saturday 7:00 p.m. to 7:00 a.m.
Residential	Residential	75	60
Commercial	Residential	80	60
Residential	Commercial	80	60
Commercial	Commercial	90	75

Exemptions to these limits include power equipment operations between 7AM and 7PM that do not exceed 100 dB(A) at or beyond the property line, construction noise between 7AM and 7PM Monday-Saturday excluding holidays (with additional provisions), and snow removal which does not exceed 90 dB(A) at or beyond the property line.

The adjacent properties to this development include office buildings, commercial retail, banking and a multi-family residential building. The noise associated with the proposed retail development is expected to be primarily related to on-site vehicular noise and building mechanical equipment.

Proposed Development Noise Impact

The proposed retail building is similar to other multi-story retail buildings in Birmingham. The proposed 3 story building is expected to be all retail for Restoration Hardware, plus a rooftop terrace with a restaurant. The sources of noise expected from the building include:

Building Wide Heating and Cooling Mechanical Systems

Heating and cooling for the building are expected to be managed by large unitary air-handling equipment located on the roof level. Mechanical units of this this scale have the potential to contribute a significant level of noise beyond the property boundary. Though, if located sufficiently away from the property lines and with screen walls, these elements are not expected to exceed the ordinance limits.

With the restaurant located on the roof level, the kitchen exhaust is expected to be simpler with a shorter exhaust duct run than if it were located on the first floor. Even still, the kitchen exhaust fan has the potential to be a source of noise that may approach ordinance limits. Proper fan selection and efficient duct design can help prevent this from becoming an issue.

Delivery Trucks

Trucks are expected to make deliveries to and from the Restoration Hardware building to stock retail items and the restaurant. These deliveries are expected to be similar to other retail stores in Birmingham and are not expected to be a noise issue.

Conclusion

Based on the information we have been provided and with proper mechanical selections and shielding, we anticipate that the proposed development will not produce excessive noise contribution to the adjacent community and will be within the Birmingham Noise Ordinance limits.

Mr. Saroki, we are glad that we could assist you in this project. Please don't hesitate with any questions or if you need additional assistance.

Sincerely,

KOLANO AND SAHA ENGINEERS, INC.



Darren Brown, P.E.
INCE Board Certified
Senior Consultant

EXHIBIT 1

SITE PLAN DETAILING THE SOUND LEVEL MEASUREMENT LOCATION
FOR THE PROPOSED RESTORATION HARDWARE

Community Impact Study for: Saroki Architecture

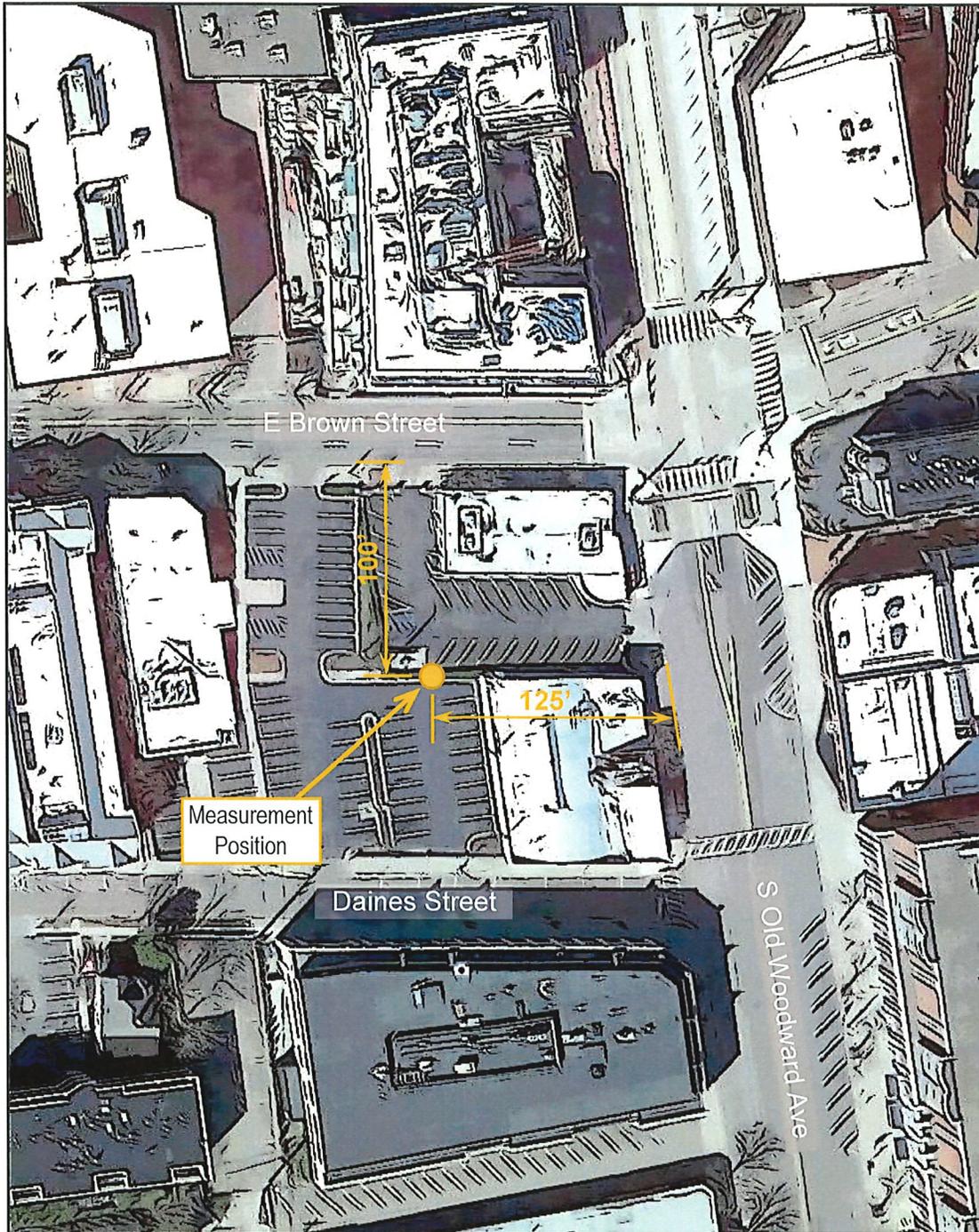
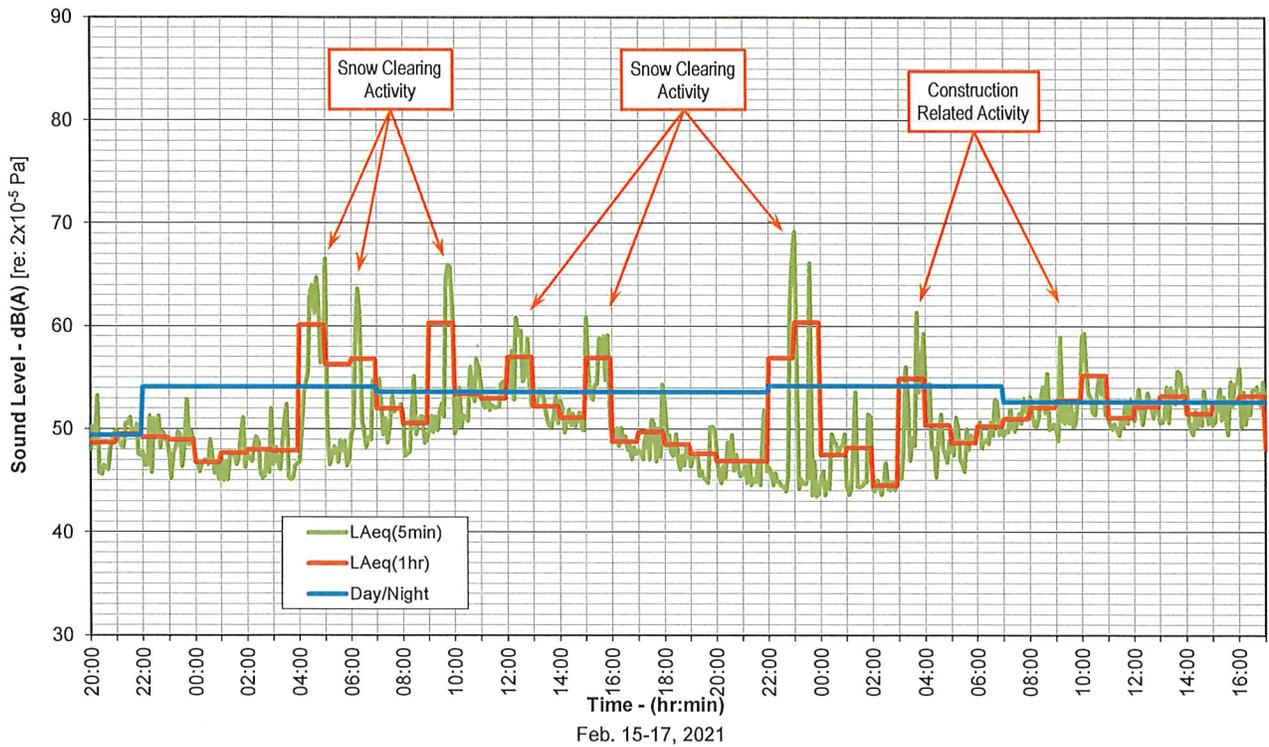


EXHIBIT 2

Ambient Sound Levels at the Proposed Restoration Hardware Site
Measured 125 Feet West of S Old Woodward Ave, and 100 Feet South of Brown Street

Measurements Conducted for: Saroki Architecture



Section 3.4

Traffic Impact Study



ROWE PROFESSIONAL SERVICES COMPANY

Large Firm Resources. Personal Attention.

Memorandum

To: Alexander Saroki, AIA, NCARB – Saroki Architecture
From: Paul T. O'Meara, PE and Brandon M. Hayes, PE, P.Eng.
Date: February 24, 2021
RE: Traffic Impact Statement for RH Development, 300 S. Old Woodward Ave., Birmingham

ROWE Professional Services Company has completed a Traffic Impact Statement (TIS) related to the proposed Restoration Hardware (RH) located on the west side of S. Old Woodward Avenue between E. Brown Street and Daines Street in Birmingham, MI. The current site plan (included in the materials attached to this report) shows three (3) floors of retail use (42,088 square feet [SF] total) and a rooftop restaurant (7,722 SF) with an anticipated opening date in 2022. There will be a vehicle ramp leading to underground parking with a driveway on the north side of Daines Street. This TIS was prepared to determine if any improvements would be necessary to mitigate traffic impacts to the adjacent road network. This report has been completed in accordance with the requirements specified by the City of Birmingham.

TRAFFIC IMPACT STATEMENT

Existing Conditions

S. Old Woodward Avenue is under the jurisdiction of the City of Birmingham. Through the study area, the posted speed limit is 25 mph. S. Old Woodward is classified as a Major Collector roadway. Although no recent AADT data has been published for S. Old Woodward in the immediate vicinity of Brown Street, AADT volume data is available farther to the south (100 feet north of Haynes Street) and to the north (between Ravine Road and Euclid Avenue). Those 2019 AADT volumes published by the Southeast Michigan Council of Governments (SEMCOG) were reported as 10,136 vehicles per day (vpd) and 11,551 vpd, respectively.

E. Brown Street is under the jurisdiction of the City of Birmingham. Through the study area, the posted speed limit is 25 mph. E. Brown is classified as a Major Collector roadway. In the immediate vicinity of S. Old Woodward, traffic volume data published by SEMCOG in 2019 indicated that the AADT of the segment immediately west of S. Old Woodward was 8,566 vpd.

Traffic Counts

Turning movement counts (TMCs) were collected during the weekday PM (4 p.m. to 6 p.m.) and Saturday midday (11 a.m. to 1 p.m.) peak periods on February 3, 2021 and February 6, 2021 at the intersections of:

- S. Old Woodward Avenue & E. Brown Street; and
- S. Old Woodward Avenue & Daines Street.

Due to the impact of COVID-19, current traffic volume data is not representative of typical operations. The City of Birmingham and their consultant provided a TMC conducted at the intersection of S. Old Woodward Ave. and Brown St. in 2019. This allowed ROWE to calculate the 2021 adjusted existing traffic volumes by applying the City-approved 0.5% per year growth rate to the 2019 data. This traffic volume normalization process yielded adjusted 2021 Existing Conditions traffic volumes at the intersection, without the impact of COVID-19.

Subsequently, a comparison was drawn between the adjusted 2021 Existing Conditions traffic data and the data collected at the adjacent intersection (S. Old Woodward Ave. and Daines St.) in February of 2021 for this project. The traffic volume comparison indicated the following for the PM peak hour:

- SB exiting volume, S. Old Woodward & Brown (2019 counts normalized to 2021): **391 vph**
- SB entering volume, S. Old Woodward & Daines (2021 counts): **227 vph**
- NB exiting volume, S. Old Woodward & Daines (2021 counts): **314 vph**
- NB entering volume, S. Old Woodward & Brown (2019 counts normalized to 2021): **404 vph**
- Total entering vehicles, S. Old Woodward & Brown (2019 counts normalized to 2021): **1,451 vph**
- Total entering vehicles, S. Old Woodward & Brown (2021 counts): **949 vph**

Therefore, PM peak hour southbound vehicle volumes at the intersection of S. Old Woodward Avenue and Daines Street were increased by 72% to normalize the traffic volume data collected in 2021 for this project. In addition, the northbound vehicle volumes at this intersection were increased by 29% to normalize the traffic volume data.

The total entering vehicle volume at the intersection of S. Old Woodward Avenue and Brown Street for the 2021 adjusted PM peak hour TMCs (based on the City's provided 2019 data) was compared to the total entering vehicle volume for the 2021 PM peak hour TMCs collected in February of 2021. The calculation indicated that the 2021 traffic volume data collected for this project should be increased by 53% to match pre-COVID traffic conditions adjusted for 2021. Therefore, all Saturday peak period TMCs were increased by 53% to calculate the 2021 Saturday (SAT) peak hour TMCs at all study intersections.

All traffic counts used in this study are attached to this memorandum. The existing adjusted peak hour traffic volumes are shown in Figure 1 attached to this memo.

Background Traffic Scenario

Historical traffic data were referenced to determine the applicable growth rate for the existing traffic volumes for the project build-out year in 2022. Based on this review, a background growth rate of 0.5 percent was utilized after review and approval from the City. The background traffic volumes are shown in Figure 2 attached to this memorandum.

Trip Generation

RH is a luxury brand in the home furnishings and design marketplace. The rooftop will contain a 7,722 SF high-end restaurant. In order to accurately estimate the trips generated by this development, manual turning movements counts were conducted during the Weekday PM and Saturday Midday time periods at the site driveways of a similar 79,249 SF RH development with rooftop restaurant in West Palm Beach, Florida in 2019. The as-counted trip generation rates for the existing 79,239 SF development were scaled to be proportional to the proposed 49,810 SF development. The results of the trip generation forecast is provided below in Table 1.

Table 1
Trip Generation for RH Development – Proxy Site

Land Use	Land Use Code	Units	PM Peak Hour			Saturday Peak Hour		
			In	Out	Total	In	Out	Total
Restoration Hardware ¹	N/A	49,810 SF	14	12	26	23	17	40

¹Counts based on data from RH West Palm Beach, FL site (79,349 SF); scaled to reflect proposed size.

Following this trip generation exercise, the City requested that ROWE conduct the trip generation analysis using traditional methods published by ITE. Therefore, using the information and methodologies specified in the latest version of *Trip Generation* (Trip Generation Manual, 10th Edition, 2017), ROWE forecast the weekday PM and SAT peak hour trips associated with the proposed development. The results of the trip generation forecast are provided below in Table 2.

Table 2
Trip Generation for RH Development – Trip Generation, 10th Edition

Land Use	Land Use Code	Units	PM Peak Hour			Saturday Peak Hour			Weekday
			In	Out	Total	In	Out	Total	
Furniture Store	890	49,810 SF	12	14	26	31	26	57	304

The vehicle trip projections using the *Trip Generation Manual* were reasonably close to the vehicle trip projections using the West Palm Beach proxy site methodology, thereby validating the trip generation analysis for the development.

The vehicle trips in Table 2 were converted to person-trips by using the baseline vehicle mode split and baseline vehicle occupancy rates published by ITE in Appendix B of the ITE *Trip Generation Handbook, 3rd Edition*. The vehicle mode splits and vehicle occupancy rates for the studies contained within the *Trip Generation Handbook* are provided in Table 3 below.

Table 3
Vehicle Occupancy and Mode Share for RH Development

Land Use	Land Use Code	Weekday Average	
		Vehicle Occupancy	Vehicle Mode Share (minimum)
Furniture Store	890	1.42	0.96

Appendix B of the *Trip Generation Handbook, 3rd Edition* specifies a weekday average vehicle occupancy rate of 1.42 for Furniture Store vehicle-based trips. No vehicle occupancy data is published for trips made on a weekend; however, it is reasonable to assume that the published weekday average data would similarly apply to the Saturday peak hour. Appendix B also specifies a *minimum* vehicle mode share of 96% of all Furniture Store person-trips. Therefore, it was assumed that the remaining 4% of person-trips were made via walking (2%), cycling (1%), and transit (1%). The vehicular trip generation associated with the new development was converted to a person-trip generation by applying the vehicle occupancy rate to the vehicular trip generation. This calculation is shown in Table 4 below. Subsequently, the vehicle mode share percentages were applied to the total number of person-trips to project the number of person-trips utilizing vehicle travel, walking, cycling, and transit travel to the site. This calculation is shown in Table 5 below.

**Table 4
 Person-Trip Generation for RH Development**

Land Use	Land Use Code	Units	PM Peak Hour			Saturday Peak Hour			Weekday
			In	Out	Total	In	Out	Total	
Furniture Store	890	49,810 SF	17	20	37	44	37	81	432

**Table 5
 Person-Trip Generation by Travel Mode for RH Development**

Travel Mode	Land Use	Units	PM Peak Hour			Saturday Peak Hour			Weekday
			In	Out	Total	In	Out	Total	
Vehicle	Furniture Store	49,810 SF	16	19	35	42	36	78	415
Walking	Furniture Store	49,810 SF	1	1	2	1	1	2	9
Cycling	Furniture Store	49,810 SF	0	0	0	1	0	1	4
Transit	Furniture Store	49,810 SF	0	0	0	0	0	0	4
Total New Person-Trips			17	20	37	44	37	81	432

Trip Distribution

The existing traffic volumes were used to develop a trip distribution model for the PM and SAT peak hours for the new vehicle traffic that will be generated by the proposed development. Table 6 provides the probable distribution based on the existing traffic patterns.

**Table 6
 Trip Distribution**

Direction	Via	PM Peak Hour		SAT Peak Hour	
		To	From	To	From
North	S. Old Woodward Avenue	38%	28%	42%	18%
South	S. Old Woodward Avenue	29%	27%	23%	32%
East	E. Brown Street	22%	23%	25%	27%
West	E. Brown Street	7%	16%	5%	12%
	Daines Street	3%	6%	4%	11%
Total		100%	100%	100%	100%

The trip assignments for the site are shown in Figure 3 attached to this memo. The background traffic volumes were combined with the site generated traffic volumes to obtain the total future traffic volumes, which are shown in Figure 4 attached to this memo.

Level of Service Analysis

Level of service (LOS) analyses for existing, background, and total future (build) conditions for the AM and PM peak hours were performed for the intersections of:

- S. Old Woodward Avenue & Brown Street
 - Signalized Intersection
- S. Old Woodward Avenue & Daines Street
 - Unsignalized Intersection

According to the most recent edition of the Highway Capacity Manual (6th Edition), LOS ranges from A to F, with LOS A representing desirable traffic operations characterized by low vehicle delays and LOS F representing extremely poor traffic operations characterized by excessive vehicle delays and long vehicle queues. LOS D or above is generally considered to be acceptable in an urban/suburban area. Table 7 presents the criteria for defining the various LOS for signalized and unsignalized intersections.

**Table 7
 LOS Criteria**

LOS	Average Stopped Delay/Vehicle (seconds)	
	Signalized Intersection	Unsignalized Intersection
A	≤ 10	≤ 10
B	> 10 and ≤ 20	> 10 and ≤ 15
C	> 20 and ≤ 35	> 15 and ≤ 25
D	> 35 and ≤ 55	> 25 and ≤ 35
E	> 55 and ≤ 80	> 35 and ≤ 50
F	> 80	> 50

The results of the LOS analyses for the intersection listed above are summarized in Table 8 through Table 10. Full LOS output reports are attached to this memorandum.

Existing Conditions

The results of the LOS analysis for *Existing Conditions* indicate that all approaches of the study intersections operate at LOS C or better during the PM and SAT peak hours. The results of the operational analysis for *Existing Conditions* are presented in Table 8.

**Table 8
 LOS Analysis for Existing Conditions**

Intersection	Control Type	Approach	PM Peak Hour	SAT Peak Hour
S. Old Woodward Ave. & E. Brown St.	Signalized	EB	C 22.4	B 17.7
		WB	C 21.9	B 18.6
		NB	C 21.7	C 24.7
		SB	B 19.4	C 24.1
		Overall	C 21.6	C 21.7
S. Old Woodward Ave. & Daines St.	Unsignalized	EB	B 13.6	B 12.7
		NB LT	A 8.5	A 8.2
		SB	FREE	FREE

The following observations were made following the *Existing Conditions* analysis:

S. Old Woodward Ave. & E. Brown St.

- Minor vehicle queues are possible at the northbound left turn lane. After reviewing the microsimulation analysis, it was noted that 95th percentile queue lengths reached 128 feet (5 vehicles) during the PM peak hour and 126 feet (5 vehicles) during the SAT peak hour. A queue spillback into the adjacent northbound through lane is possible, although unlikely. If this issue re-emerges as traffic volumes continue to recover and normalize with the reduction in magnitude of pandemic effects, the City of Birmingham could consider adding additional green time to the northbound/southbound phase at this signalized intersection. However, this situation should be monitored going forward, and no intersection improvements or signal timing changes are recommended at this time.

Background Conditions

When considering the assessment of the *Background Conditions* traffic scenario, ROWE assumed that the Old Woodward Ave. streetscape improvements project will be completed after the 2022 analysis year (representing build-out of the proposed development). Functionally, the streetscape project will provide an exclusive left turn opportunity for northbound S. Old Woodward

Ave. traffic to turn onto westbound Daines St. The striping of this left turn lane associated with the streetscape project will provide a capacity improvement once completed; the effects of this capacity improvement are not present in this study, but it is expected that vehicle delays and queues will be reduced once the streetscape project has been completed. The results of the LOS analysis for *Background Conditions* indicate that all approaches of the study intersections continue to operate at LOS C or better during the PM and SAT peak hours. The results of the operational analysis for *Background Conditions (without the proposed development)* are presented in Table 9.

Table 9
LOS Analysis for Background Conditions

Intersection	Control Type	Approach	PM Peak Hour	SAT Peak Hour
S. Old Woodward Ave. & E. Brown St.	Signalized	EB	C 22.4	B 17.7
		WB	C 21.9	B 18.6
		NB	C 21.7	C 24.8
		SB	B 19.4	C 24.1
		Overall	C 21.6	C 21.7
S. Old Woodward Ave. & Daines St.	Unsignalized	EB	B 13.6	B 12.7
		NB LT	A 8.5	A 8.2
		SB	FREE	FREE

The following observations were made following the *Background Conditions* analysis:

S. Old Woodward Ave. & E. Brown St.

- Minor vehicle queues remain possible at the northbound left turn lane. After reviewing the microsimulation analysis, it was noted that 95th percentile queue lengths reached 125 feet (5 vehicles) during the PM peak hour and 132 feet (5 vehicles) during the SAT peak hour. No additional intersection improvements or signal timing changes are recommended at this time on the basis of the Background Conditions analysis.

Future Conditions

The results of the LOS analysis for *Future Conditions* indicate that all approaches of the study intersections continue to operate at LOS C or better during the PM and SAT peak hours. The results of the operational analysis for Future Conditions (*with the proposed development*) are presented in Table 10.

Table 10
LOS Analysis for Future Conditions

Intersection	Control Type	Approach	PM Peak Hour	SAT Peak Hour
S. Old Woodward Ave. & E. Brown St.	Signalized	EB	C 22.4	B 17.7
		WB	C 22.0	B 18.7
		NB	C 21.9	C 25.3
		SB	B 19.5	C 24.4
		Overall	C 21.7	C 22.0
S. Old Woodward Ave. & Daines St.	Unsignalized	EB	C 16.4	C 17.8
		NB LT	A 8.5	A 8.3
		SB	FREE	FREE
Daines St. & Site Driveway	Unsignalized	EB LT	A 7.3	A 7.3
		WB	FREE	FREE
		SB	A 8.9	A 8.9

The following observations were made following the **Future Conditions** analysis:

S. Old Woodward Ave. & E. Brown St.

- Minor vehicle queues remain possible at the northbound left turn lane. After reviewing the microsimulation analysis, it was noted that 95th percentile queue lengths reached 136 feet (5-6 vehicles) during the PM peak hour and 131 feet (5 vehicles) during the SAT peak hour. No additional intersection improvements or signal timing changes are recommended at this time on the basis of the Future Conditions analysis.

S. Old Woodward Ave. & Daines St.

- Minor increases in vehicle queues were noted on the eastbound approach following the assignment of site-generated vehicle trips to the adjacent road network. After reviewing the microsimulation analysis, it was noted that 95th percentile queue lengths were reported as 43 feet (1-2 vehicles) during the PM peak hour and 51 feet (2 vehicles) during the SAT peak hour. Overall, this intersection operates well despite the new vehicle trips, and no intersection improvements are recommended at this time on the basis of the Future Conditions analysis.

Site Circulation

95th percentile queue lengths were assessed at the underground vehicle parking egress point on Daines Street. These queue lengths did not exceed 36 feet (1-2 vehicles) during the PM peak hour and 42 feet (1-2 vehicles) during the SAT peak hour. In addition, the assessment of 95th percentile queue lengths at S. Old Woodward Ave. and Daines St. indicated that queue lengths would not exceed 43 feet (1-2 vehicles) during the PM peak hour and 51 feet (2 vehicles) during the SAT peak hour. No vehicle impacts at the parking garage egress are anticipated based on the short vehicle queues assessed on the southbound Site Driveway approach at Daines Street. In addition, no queue spillback driveway blockages are expected based on the short vehicle queues assessed on the eastbound Daines Street approach at S. Old Woodward Ave.

Crash Analysis

A crash analysis was conducted along all roadways bordering the site. Traffic crash data was reviewed for the most recent and complete five years (January 1, 2016 – December 31, 2020) of available data. The results of this analysis revealed there were a total of 48 crashes on these segments. Of these 48 crashes, there were no fatal or serious injury (A) crashes; 2 minor injury (B) crashes and 7 potential injury (C) crashes were reported. Thirty-nine (39) of the crashes were reported as property damage only (O) crashes. Below is a summary of all crash types within the studied segments:

- 15 Angle Crashes
 - 2 crashes occurred in icy/snowy road condition
 - 1 crash involved alcohol/drugs
 - 6 crashes involved a vehicle attempting to complete an illegal U-Turn into a parking space
 - 2 additional crashes involved a vehicle attempting to back out of a parking space
 - 1 crash involved a vehicle striking a parked vehicle
 - 3 crashes involved a vehicle turning without assured clear distance
 - 3 crashes involved red-light running
- 10 Rear-End Crashes
 - 1 crash occurred in icy/snowy road condition
 - All crashes involved a vehicle failing to stop for slowing or stopped traffic
- 9 Sideswipe Crashes

- 4 crashes involved a vehicle attempting to enter or exit a parking space
- 3 crashes involved a vehicle attempting to pass another vehicle
- 2 crashes involved a vehicle striking a parked vehicle
- 5 Backing Crashes
 - All crashes involved a vehicle attempting to back out of a parking space
- 4 Other Crashes
 - 1 crash involved a vehicle attempting to park
 - 1 crash involved a vehicle attempting to complete an illegal U-Turn into a parking space
 - 1 crash involved a bus attempting to turn right and striking a parked vehicle
 - 1 crash involved a pedestrian/bike
- 3 Single Motor Vehicle Crashes
 - 1 crash involved alcohol/drugs
 - 1 crash involved a bike failing to yield for a parking vehicle
 - 1 crash involved a vehicle striking a fire hydrant
- 1 Head-On Crash
 - Crash involved a vehicle crossing the centerline of the roadway
- 1 Other Crash
 - 1 crash involved an unknown vehicle striking a parked vehicle

Twenty-three (23) crashes involved the on-street parking along S Old Woodward Avenue. Of these crashes, 7 involved a vehicle attempting to make an illegal U-Turn into a parking space, 12 involved a vehicle entering or exiting a parking space, and 4 involved a vehicle striking a parked vehicle. The addition of boulevards as part of the S Old Woodward Avenue reconstruction project will remove the ability to complete a U-Turn in some areas. For other areas, the existing "No U-Turn" signs should be reviewed to confirm that they are placed in visible areas and are not blocked by tree limbs or other signs. Additional signage and public outreach on how to properly enter and exit angle parking may help reduce the number of crashes. Additionally, the prevalence of backup cameras and blind spot warning systems in newer vehicles can help assist in safe parking maneuvers.

No additional crash patterns were identified. A summary of the crash data is attached to this memorandum.

Multimodal Considerations

Cyclists

Although shared lane markings have been proposed to designate E. Brown Street as a cyclist route, no pavement markings have been installed to date. The proposed development includes one bike rack on Brown Street; it can accommodate parking for two bicycles. No further bike network enhancements are required to support the subject development.

Pedestrians

Adjacent to the site, sidewalks are located on both sides of S. Old Woodward Ave., E. Brown St., and Daines St. ADA-compliant pedestrian crossings are located on every approach at the signalized intersection of S. Old Woodward Ave. and E. Brown St. A midblock pedestrian crossing is also located across S. Old Woodward Ave. on the north side of the intersection with Daines St. The proposed development will maintain the existing sidewalk configuration. No further

enhancements to pedestrian access are required to support the development.

Transit Users

Route 450/460 – Woodward Local have scheduled stop locations at S. Old Woodward & Daines. These routes, administered by SMART, run for approximately 18 hours on weekdays and Saturdays, and for approximately 16 hours on Sundays. Headways are approximately 60 minutes for each of the two independent numbered routes. No additional bus stops or routes are required to support the subject development.

Conclusions and Recommendations for the Traffic Impact Study

The proposed development comprises a Restoration Hardware (RH) located on the west side of S. Old Woodward Avenue between E Brown Street and Daines Street in Birmingham, MI. The current site plan shows three (3) floors of retail use (42,088 SF total) and a rooftop restaurant (7,722 SF) with an anticipated opening date in 2022. The proposed development will have access to Daines Street via a single vehicle driveway that will lead to underground parking.

The proposed development is forecast to generate 26 new trips during the PM peak hour (12 inbound and 14 outbound from the site) and 57 new trips during the SAT peak hour (31 inbound and 26 outbound from the site).

An operational analysis was performed for *Existing Conditions*, *Background Conditions (without the proposed development)*, and *Future Conditions (with the proposed development)* for the intersections of:

- S. Old Woodward Avenue & Brown Street; and
- S. Old Woodward Avenue & Daines Street.

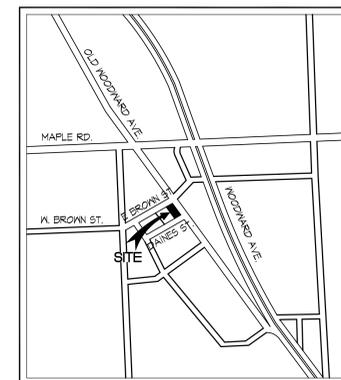
The operational analysis indicated that all approaches of the study intersections will operate at LOS C or better during both the PM and SAT peak hours. No improvements are required to mitigate unacceptable traffic operations during any of the analysis scenarios.

Overall, the proposed project does not have a significant impact at the study intersections or on the surrounding road network. No transportation infrastructure improvements will be required to support the development on opening day.

Attachments

SITE PLAN

ZONED B4



site location map:

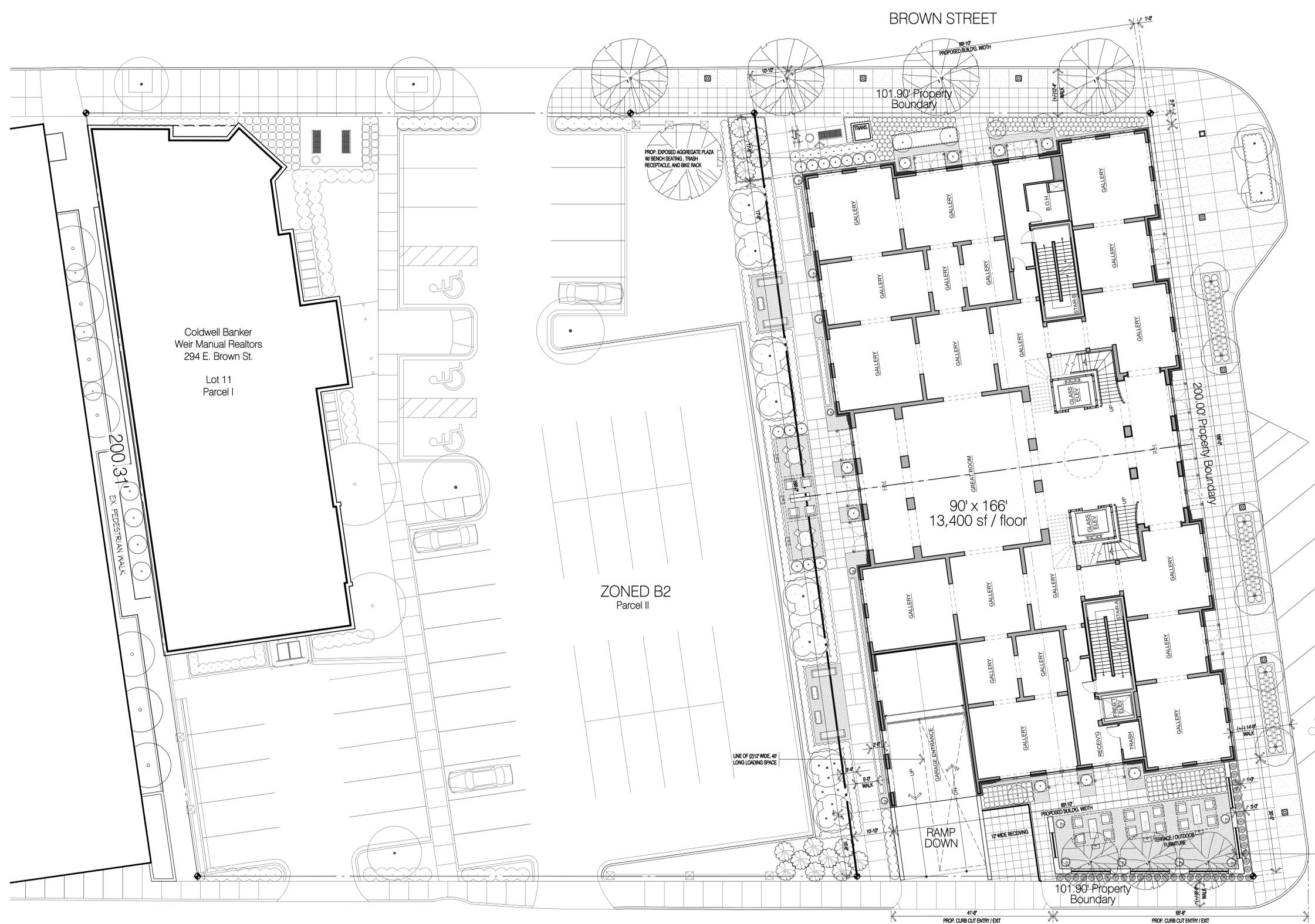
Not To Scale



LEGAL DESCRIPTION - SWAP PARCEL 1
 LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:
 PART OF LOT 12 OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; BEING DESCRIBED AS: BEGINNING AT A POINT DISTANT S.62°00'00"W. 119.37 FEET FROM THE NORTHEAST CORNER OF LOT 13 OF SAID BROWN'S ADDITION SUBDIVISION; THENCE S.35°35'52"E. 100.00 FEET; THENCE S.62°00'00"W. 30.76 FEET; THENCE N.36°14'00"W. 100.15 FEET; THENCE N.62°00'00"E. 31.88 FEET TO THE POINT OF BEGINNING. CONTAINING: 3,104 SQUARE FEET OR 0.07 ACRES OF LAND

LEGAL DESCRIPTION - SWAP PARCEL 2
 LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:
 PART OF LOT 15 OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, BEING DESCRIBED AS: BEGINNING AT A POINT DISTANT S.62°00'00"W. 119.37 FEET AND S.35°35'52"E. 100.00 FEET FROM THE NORTHEAST CORNER OF LOT 13 OF BROWN'S ADDITION SUBDIVISION AS RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; THENCE N.62°00'00"E. 19.24 FEET; THENCE S.35°14'00"E. 100.15 FEET; THENCE S.62°00'00"W. 20.36 FEET; THENCE N.35°35'52"W. 100.00 FEET TO THE POINT OF BEGINNING. CONTAINING: 1,963 SQUARE FEET OR 0.04 ACRES OF LAND

A
B
C
D
E
F
G
H



Coldwell Banker
Weir Manual Realtors
294 E. Brown St.

Lot 11
Parcel I

ZONED B2
Parcel II

90' x 166'
13,400 sf / floor

ZONED B3 (Across Old Woodward)

OLD WOODWARD AVENUE

DAINES STREET

ZONED B-2B

SAROKI
ARCHITECTURE

430 N. OLD WOODWARD
BIRMINGHAM, MI 48009

P. 248.258.5707
F. 248.258.5515

SarokiArchitecture.com

Project:
RH / Mixed-Use
300 S Old Woodward
Birmingham, MI 48009

Date: Issued For:
02-24-2021 Preliminary Site Plan App.

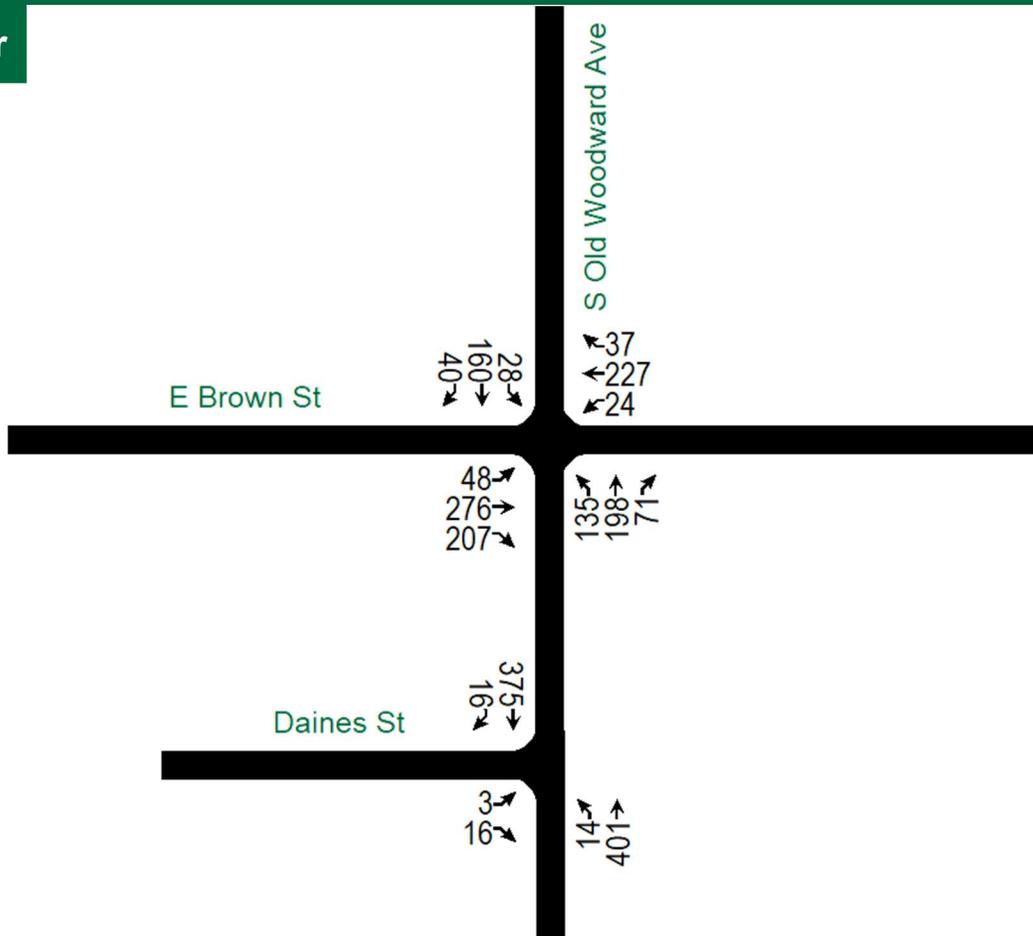
Sheet No.:
SP01
Architectural Site Plan

Architectural Site Plan
SCALE: 3/32" = 1'-0"

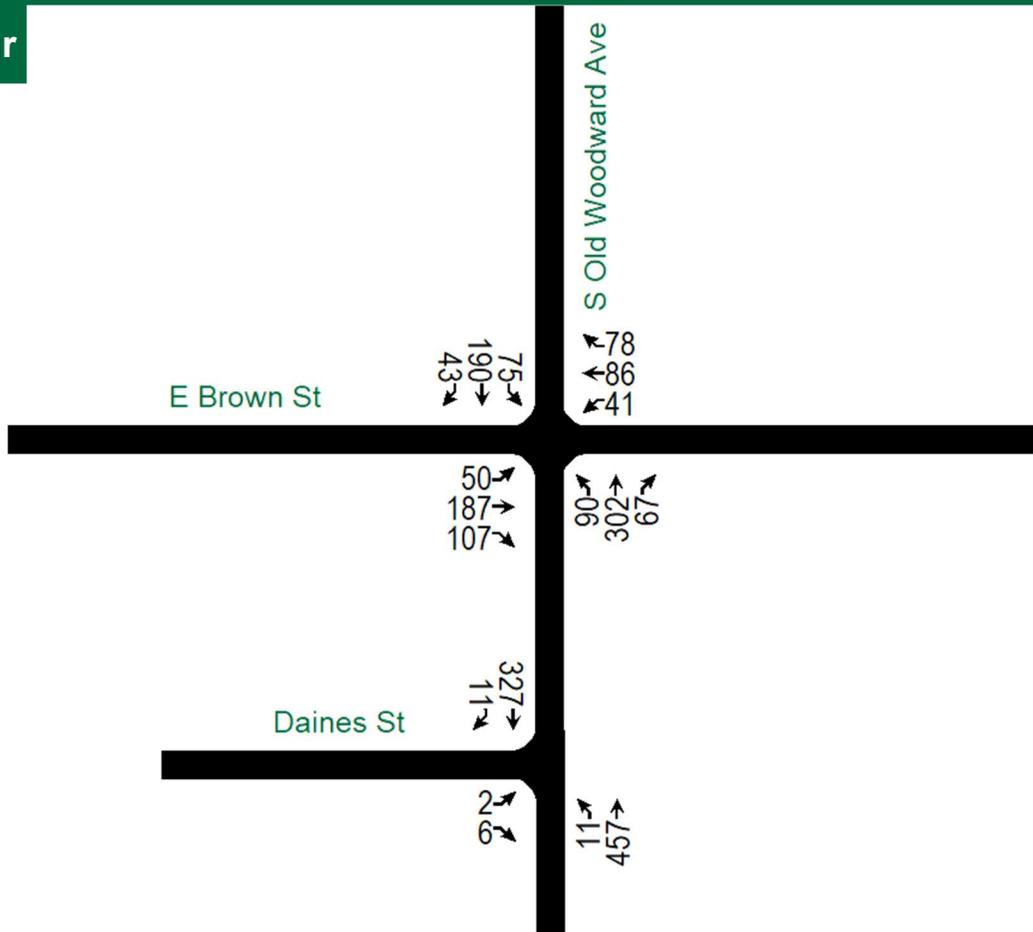
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REPORT FIGURES

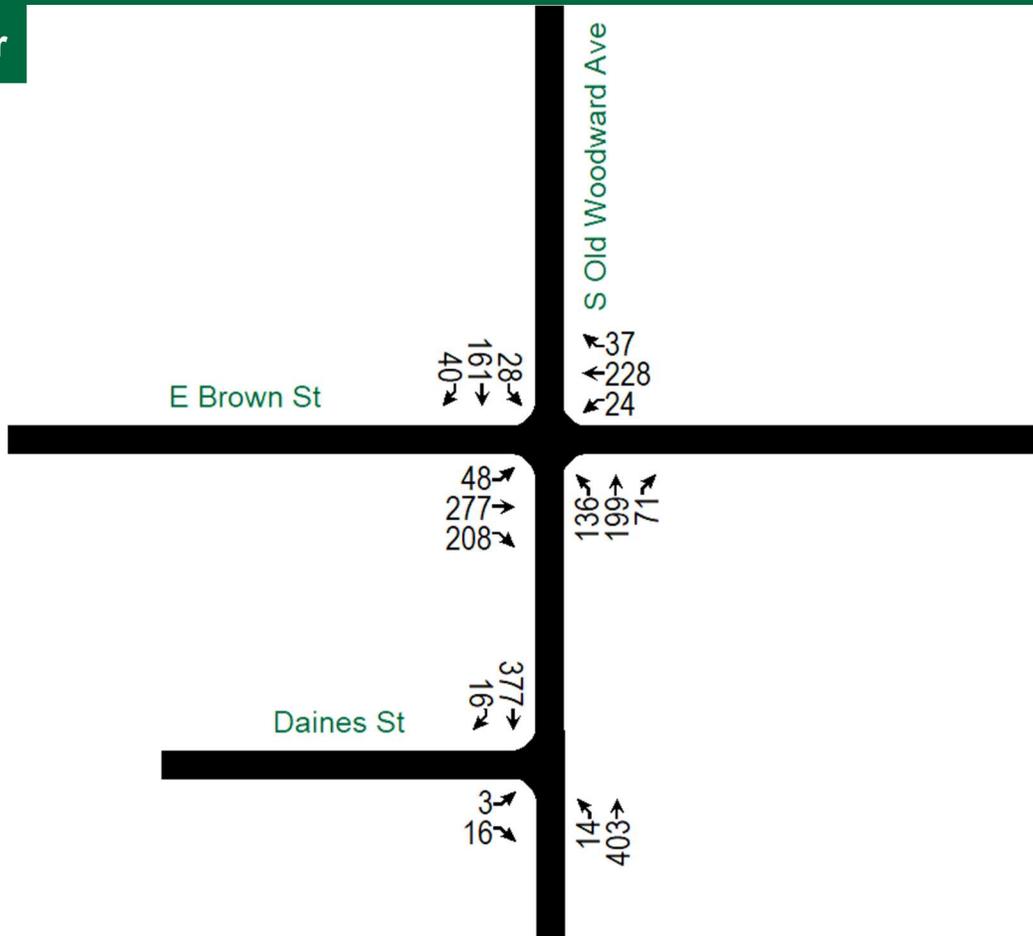
PM Peak Hour



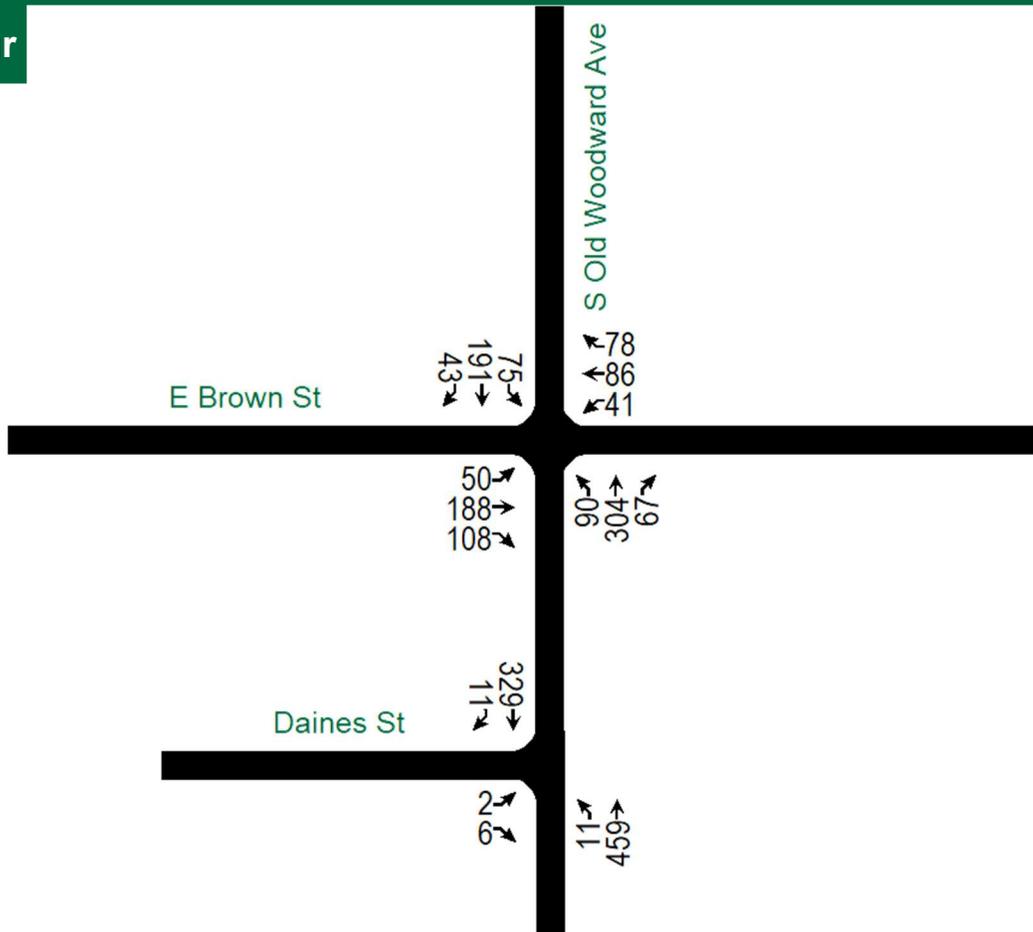
SAT Peak Hour



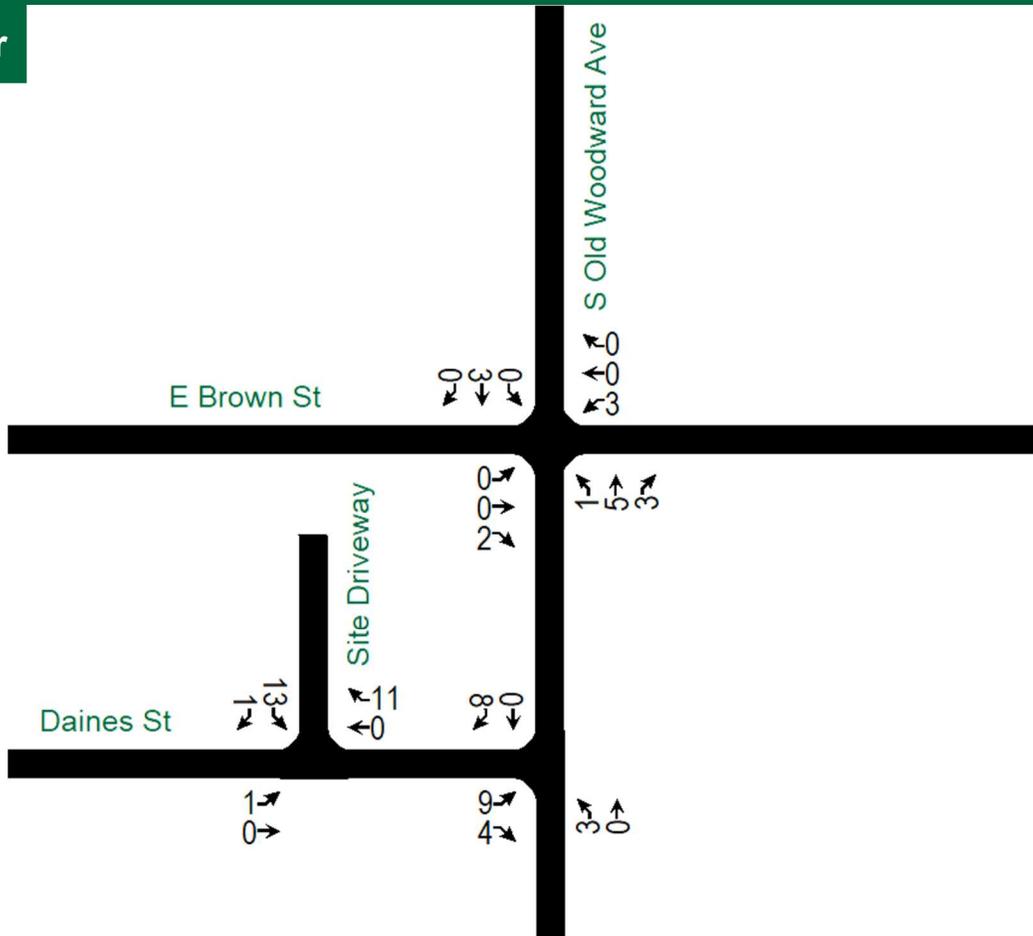
PM Peak Hour



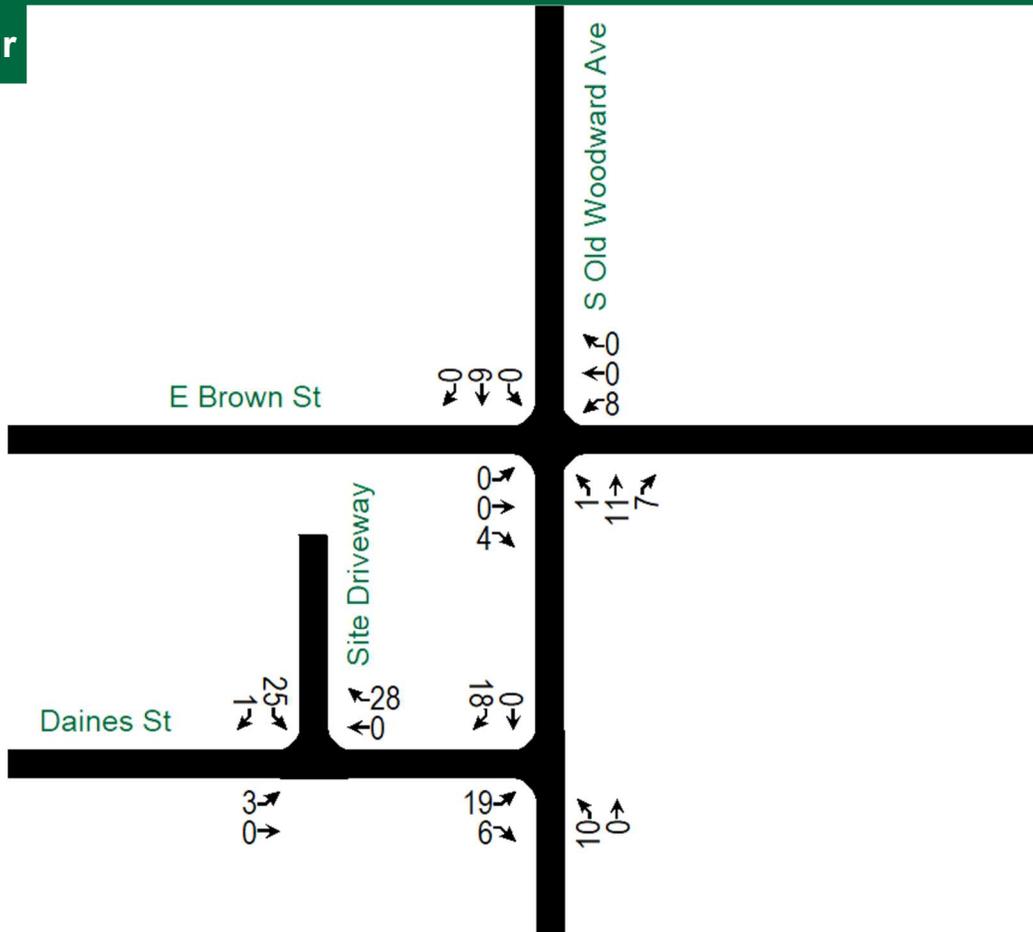
SAT Peak Hour



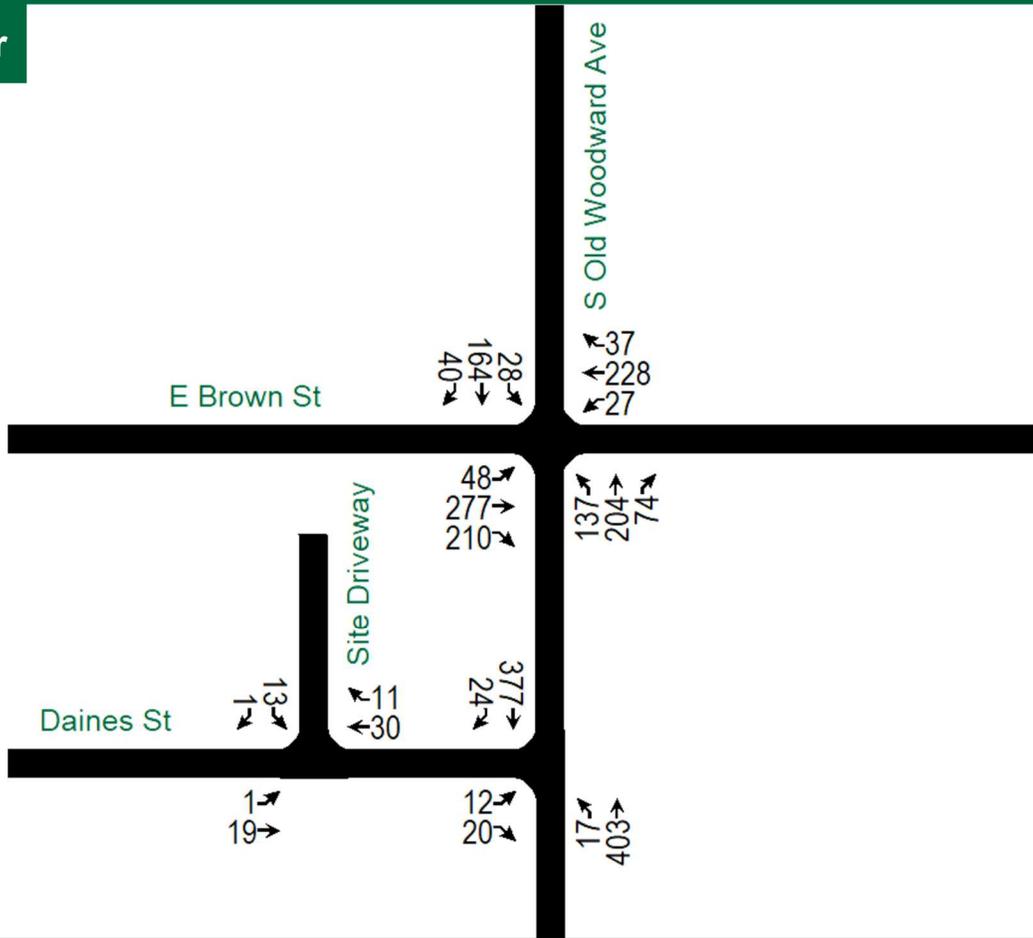
PM Peak Hour



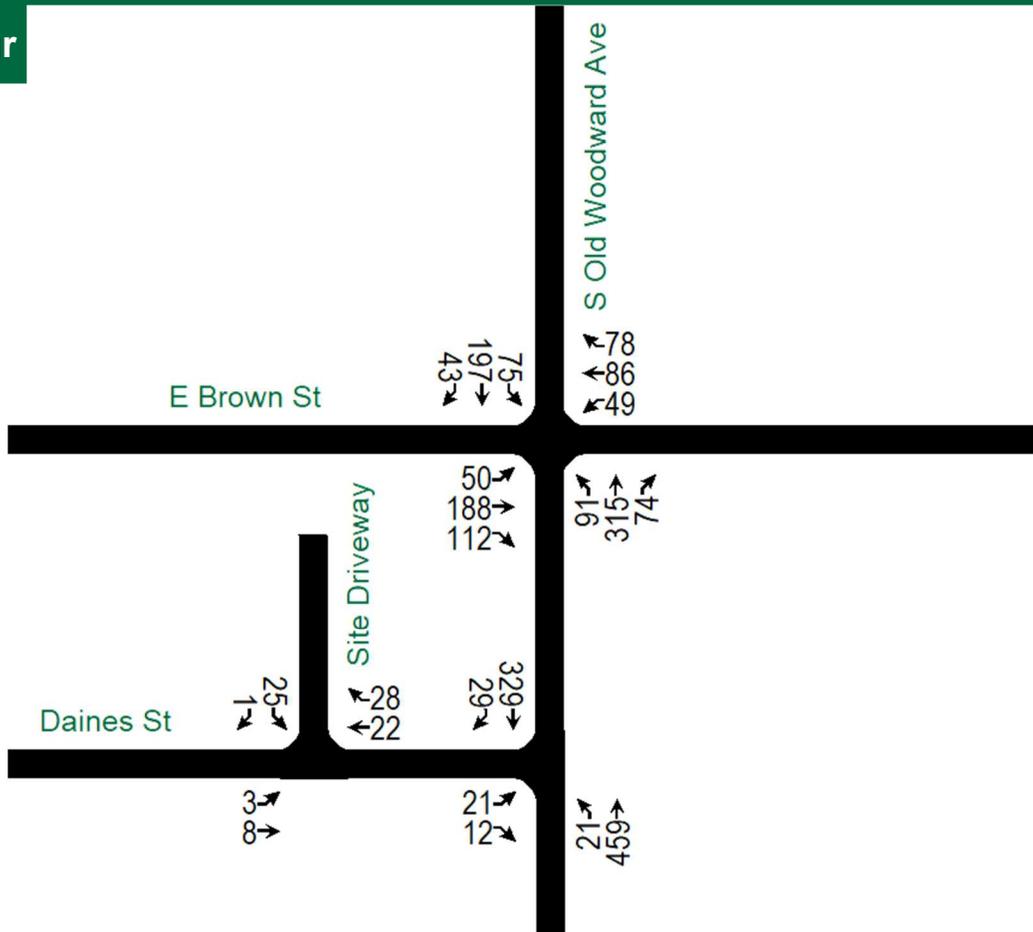
SAT Peak Hour



PM Peak Hour



SAT Peak Hour



TRAFFIC COUNTS

S. Old Woodward and Daines Street (unsignali... - TMC

Wed Feb 3, 2021

Full Length (4 PM-6 PM)

All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks, Pedestrians, Bicycles on Crosswalk)

All Movements

ID: 811221, Location: 42.544201, -83.211842



Provided by: Gewalt Hamilton Associates Inc.
625 Forest Edge Drive, Vernon Hills, IL, 60061, US

Leg Direction	Daines Eastbound					Woodward Northbound					Woodward Southbound					
Time	L	R	U	App	Ped*	L	T	U	App	Ped*	T	R	U	App	Ped*	Int
2021-02-03 4:00PM	0	0	0	0	8	4	74	0	78	0	63	2	0	65	1	143
4:15PM	2	5	0	7	4	4	70	0	74	2	53	0	0	53	1	134
4:30PM	1	4	0	5	11	5	82	0	87	0	57	1	2	60	2	152
4:45PM	0	0	0	0	14	0	69	0	69	0	48	2	0	50	5	119
Hourly Total	3	9	0	12	37	13	295	0	308	2	221	5	2	228	9	548
5:00PM	1	3	0	4	4	5	83	0	88	0	61	3	0	64	2	156
5:15PM	0	2	0	2	4	1	78	0	79	0	52	3	0	55	2	136
5:30PM	2	3	0	5	8	5	55	0	60	0	47	0	0	47	0	112
5:45PM	0	2	0	2	11	2	63	0	65	0	45	2	0	47	2	114
Hourly Total	3	10	0	13	27	13	279	0	292	0	205	8	0	213	6	518
Total	6	19	0	25	64	26	574	0	600	2	426	13	2	441	15	1066
% Approach	24.0%	76.0%	0%	-	-	4.3%	95.7%	0%	-	-	96.6%	2.9%	0.5%	-	-	-
% Total	0.6%	1.8%	0%	2.3%	-	2.4%	53.8%	0%	56.3%	-	40.0%	1.2%	0.2%	41.4%	-	-
Lights	6	19	0	25	-	25	568	0	593	-	416	13	2	431	-	1049
% Lights	100%	100%	0%	100%	-	96.2%	99.0%	0%	98.8%	-	97.7%	100%	100%	97.7%	-	98.4%
Articulated Trucks	0	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0
% Articulated Trucks	0%	0%	0%	0%	-	0%	0%	0%	0%	-	0%	0%	0%	0%	-	0%
Buses and Single-Unit Trucks	0	0	0	0	-	1	6	0	7	-	10	0	0	10	-	17
% Buses and Single-Unit Trucks	0%	0%	0%	0%	-	3.8%	1.0%	0%	1.2%	-	2.3%	0%	0%	2.3%	-	1.6%
Pedestrians	-	-	-	-	64	-	-	-	-	2	-	-	-	-	15	-
% Pedestrians	-	-	-	-	100%	-	-	-	-	100%	-	-	-	-	100%	-
Bicycles on Crosswalk	-	-	-	-	0	-	-	-	-	0	-	-	-	-	0	-
% Bicycles on Crosswalk	-	-	-	-	0%	-	-	-	-	0%	-	-	-	-	0%	-

*Pedestrians and Bicycles on Crosswalk. L: Left, R: Right, T: Thru, U: U-Turn

S. Old Woodward and Daines Street (unsignali... - TMC

Wed Feb 3, 2021

Full Length (4 PM-6 PM)

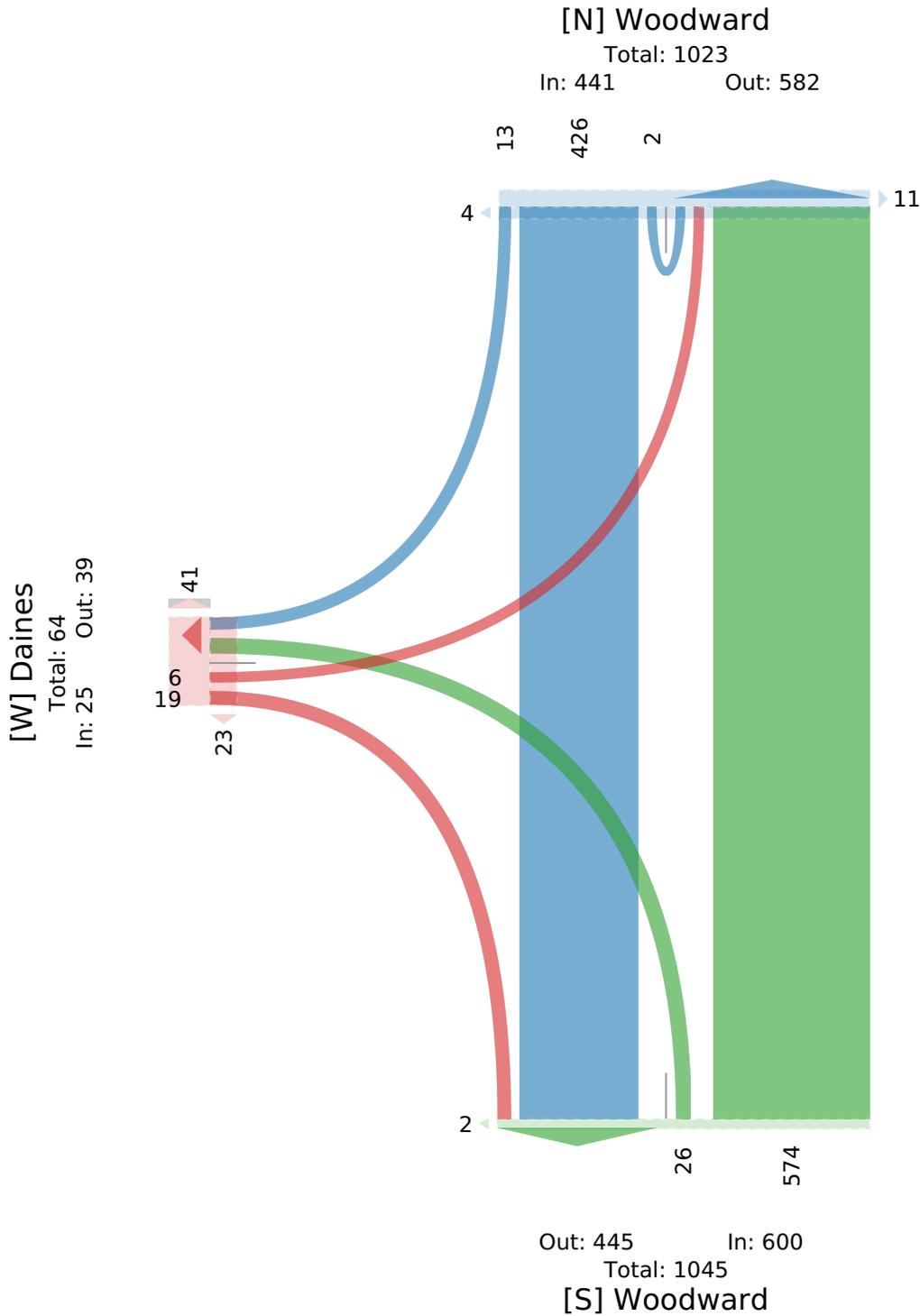
All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks, Pedestrians, Bicycles on Crosswalk)

All Movements

ID: 811221, Location: 42.544201, -83.211842



Provided by: Gewalt Hamilton Associates Inc.
625 Forest Edge Drive, Vernon Hills, IL, 60061, US



S. Old Woodward and Daines Street (unsignal... - TMC

Wed Feb 3, 2021

PM Peak (4:30 PM - 5:30 PM) - Overall Peak Hour

All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks, Pedestrians, Bicycles on Crosswalk)

All Movements

ID: 811221, Location: 42.544201, -83.211842



Provided by: Gewalt Hamilton Associates Inc.
625 Forest Edge Drive, Vernon Hills, IL, 60061, US

Leg Direction	Daines Eastbound					Woodward Northbound					Woodward Southbound					Int
	L	R	U	App	Ped*	L	T	U	App	Ped*	T	R	U	App	Ped*	
Time																
2021-02-03 4:30PM	1	4	0	5	11	5	82	0	87	0	57	1	2	60	2	152
4:45PM	0	0	0	0	14	0	69	0	69	0	48	2	0	50	5	119
5:00PM	1	3	0	4	4	5	83	0	88	0	61	3	0	64	2	156
5:15PM	0	2	0	2	4	1	78	0	79	0	52	3	0	55	2	136
Total	2	9	0	11	33	11	312	0	323	0	218	9	2	229	11	563
% Approach	18.2%	81.8%	0%	-	-	3.4%	96.6%	0%	-	-	95.2%	3.9%	0.9%	-	-	-
% Total	0.4%	1.6%	0%	2.0%	-	2.0%	55.4%	0%	57.4%	-	38.7%	1.6%	0.4%	40.7%	-	-
PHF	0.500	0.563	-	0.550	-	0.550	0.940	-	0.918	-	0.893	0.750	0.250	0.895	-	0.902
Lights	2	9	0	11	-	10	310	0	320	-	213	9	2	224	-	555
% Lights	100%	100%	0%	100%	-	90.9%	99.4%	0%	99.1%	-	97.7%	100%	100%	97.8%	-	98.6%
Articulated Trucks	0	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0
% Articulated Trucks	0%	0%	0%	0%	-	0%	0%	0%	0%	-	0%	0%	0%	0%	-	0%
Buses and Single-Unit Trucks	0	0	0	0	-	1	2	0	3	-	5	0	0	5	-	8
% Buses and Single-Unit Trucks	0%	0%	0%	0%	-	9.1%	0.6%	0%	0.9%	-	2.3%	0%	0%	2.2%	-	1.4%
Pedestrians	-	-	-	-	33	-	-	-	-	0	-	-	-	-	11	-
% Pedestrians	-	-	-	-	100%	-	-	-	-	-	-	-	-	-	100%	-
Bicycles on Crosswalk	-	-	-	-	0	-	-	-	-	0	-	-	-	-	0	-
% Bicycles on Crosswalk	-	-	-	-	0%	-	-	-	-	-	-	-	-	-	0%	-

*Pedestrians and Bicycles on Crosswalk. L: Left, R: Right, T: Thru, U: U-Turn

S. Old Woodward and Daines Street (unsignali... - TMC

Wed Feb 3, 2021

PM Peak (4:30 PM - 5:30 PM) - Overall Peak Hour

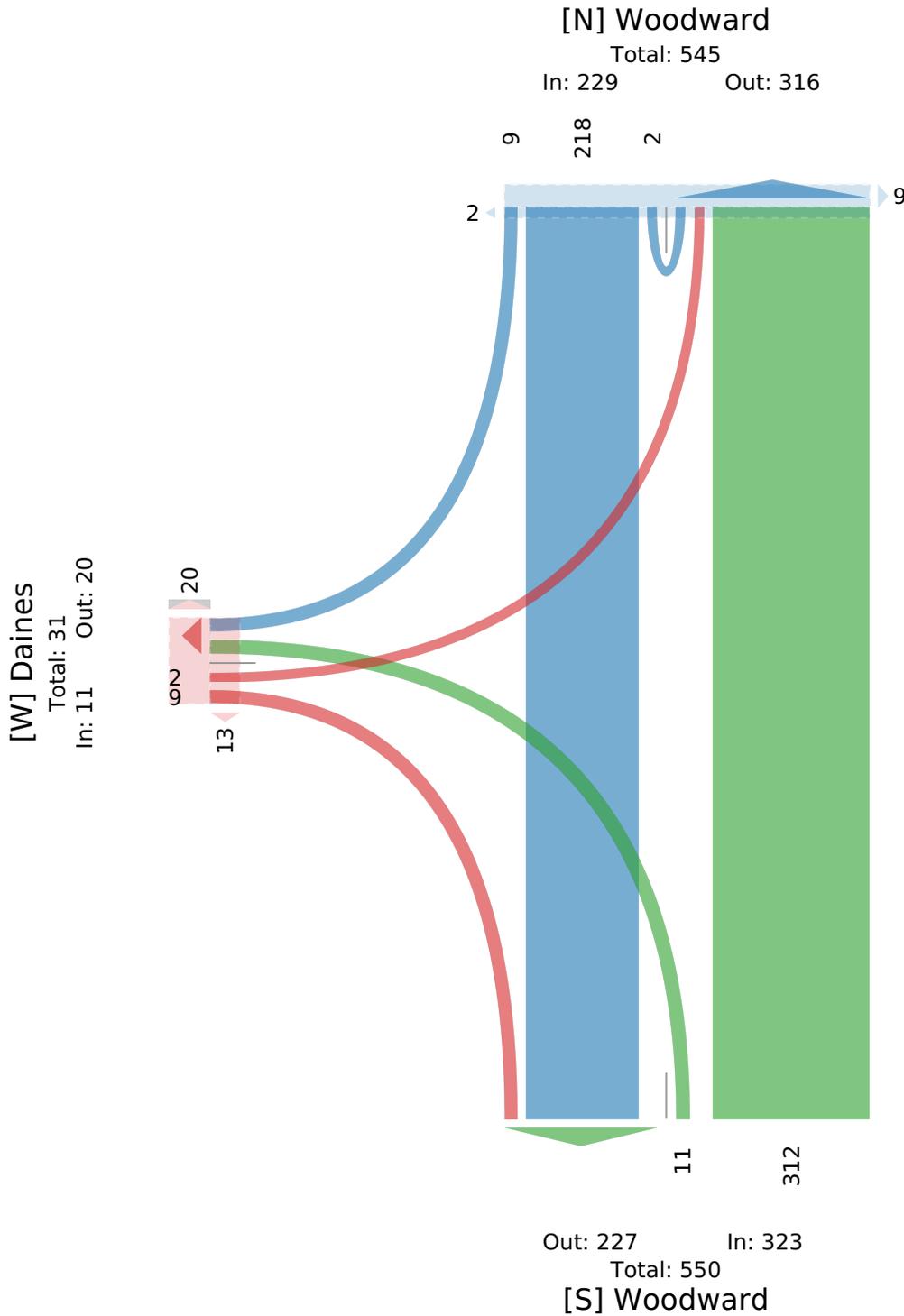
All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks, Pedestrians, Bicycles on Crosswalk)

All Movements

ID: 811221, Location: 42.544201, -83.211842



Provided by: Gewalt Hamilton Associates Inc.
625 Forest Edge Drive, Vernon Hills, IL, 60061, US



S. Old Woodward and Daines Street (unsignali... - TMC

Sat Feb 6, 2021

Full Length (11 AM-1 PM)

All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks, Pedestrians, Bicycles on Crosswalk)

All Movements

ID: 811223, Location: 42.544221, -83.211866

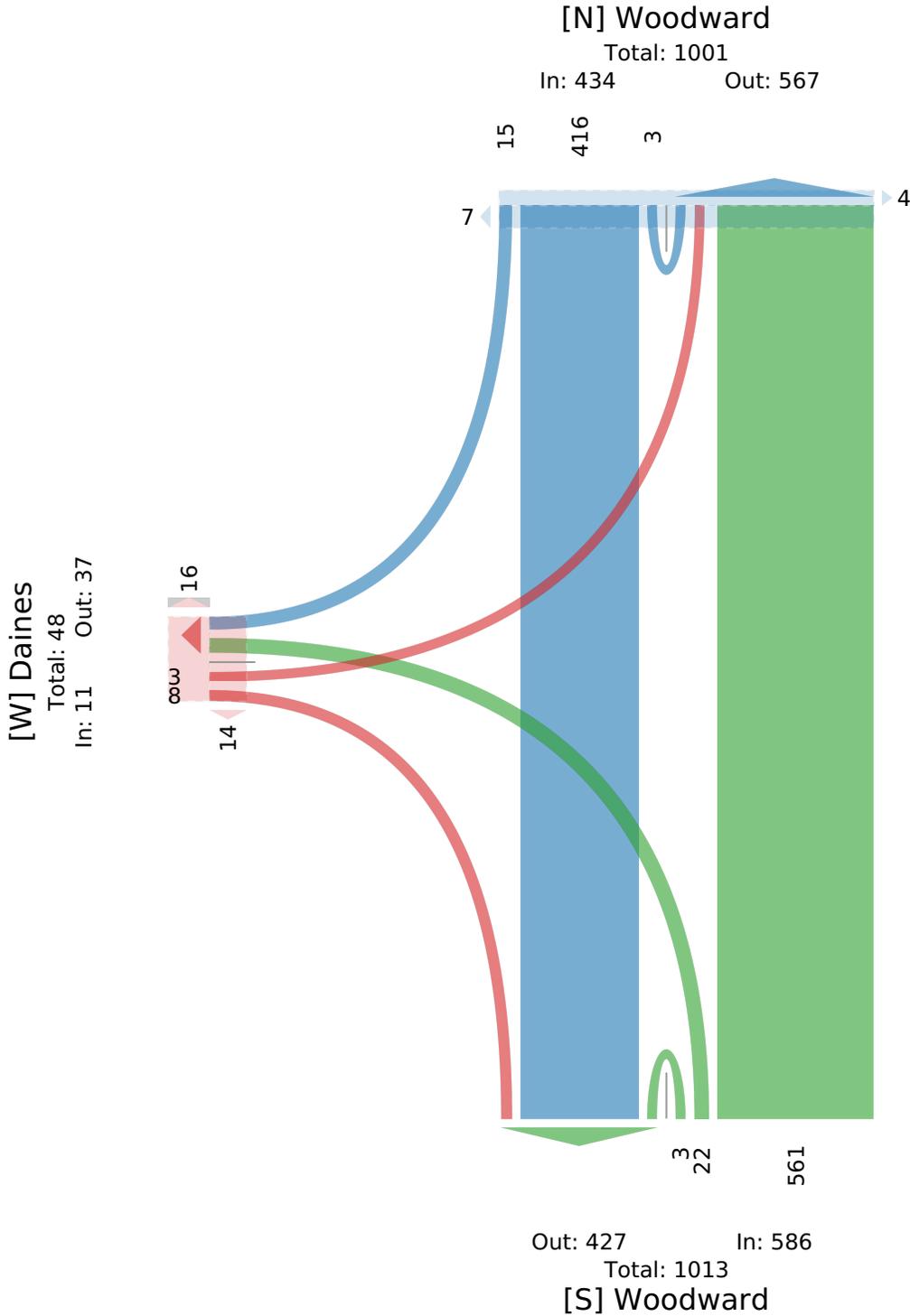


Provided by: Gewalt Hamilton Associates Inc.
625 Forest Edge Drive, Vernon Hills, IL, 60061, US

Leg Direction	Daines Eastbound					Woodward Northbound					Woodward Southbound					
Time	L	R	U	App	Ped*	L	T	U	App	Ped*	T	R	U	App	Ped*	Int
2021-02-06 11:00AM	0	1	0	1	1	3	66	0	69	0	45	4	0	49	1	119
11:15AM	1	0	0	1	1	6	75	0	81	0	48	0	2	50	1	132
11:30AM	0	1	0	1	6	3	65	1	69	0	50	2	0	52	1	122
11:45AM	1	2	0	3	7	3	56	0	59	0	59	2	1	62	1	124
Hourly Total	2	4	0	6	15	15	262	1	278	0	202	8	3	213	4	497
12:00PM	0	1	0	1	2	1	69	0	70	0	51	2	0	53	1	124
12:15PM	0	3	0	3	2	3	80	1	84	0	53	0	0	53	2	140
12:30PM	0	0	0	0	4	3	70	1	74	0	55	4	0	59	0	133
12:45PM	1	0	0	1	7	0	80	0	80	0	55	1	0	56	4	137
Hourly Total	1	4	0	5	15	7	299	2	308	0	214	7	0	221	7	534
Total	3	8	0	11	30	22	561	3	586	0	416	15	3	434	11	1031
% Approach	27.3%	72.7%	0%	-	-	3.8%	95.7%	0.5%	-	-	95.9%	3.5%	0.7%	-	-	-
% Total	0.3%	0.8%	0%	1.1%	-	2.1%	54.4%	0.3%	56.8%	-	40.3%	1.5%	0.3%	42.1%	-	-
Lights	3	8	0	11	-	21	554	3	578	-	406	15	3	424	-	1013
% Lights	100%	100%	0%	100%	-	95.5%	98.8%	100%	98.6%	-	97.6%	100%	100%	97.7%	-	98.3%
Articulated Trucks	0	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0
% Articulated Trucks	0%	0%	0%	0%	-	0%	0%	0%	0%	-	0%	0%	0%	0%	-	0%
Buses and Single-Unit Trucks	0	0	0	0	-	1	7	0	8	-	10	0	0	10	-	18
% Buses and Single-Unit Trucks	0%	0%	0%	0%	-	4.5%	1.2%	0%	1.4%	-	2.4%	0%	0%	2.3%	-	1.7%
Pedestrians	-	-	-	-	29	-	-	-	-	0	-	-	-	-	11	-
% Pedestrians	-	-	-	-	96.7%	-	-	-	-	-	-	-	-	-	100%	-
Bicycles on Crosswalk	-	-	-	-	1	-	-	-	-	0	-	-	-	-	0	-
% Bicycles on Crosswalk	-	-	-	-	3.3%	-	-	-	-	-	-	-	-	-	0%	-

*Pedestrians and Bicycles on Crosswalk. L: Left, R: Right, T: Thru, U: U-Turn

S. Old Woodward and Daines Street (unsignali... - TMC
 Sat Feb 6, 2021
 Full Length (11 AM-1 PM)
 All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks,
 Pedestrians, Bicycles on Crosswalk)
 All Movements
 ID: 811223, Location: 42.544221, -83.211866



S. Old Woodward and Daines Street (unsignali... - TMC

Sat Feb 6, 2021

Midday Peak (WKND) (12 PM - 1 PM) - Overall Peak Hour

All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks, Pedestrians, Bicycles on Crosswalk)

All Movements

ID: 811223, Location: 42.544221, -83.211866

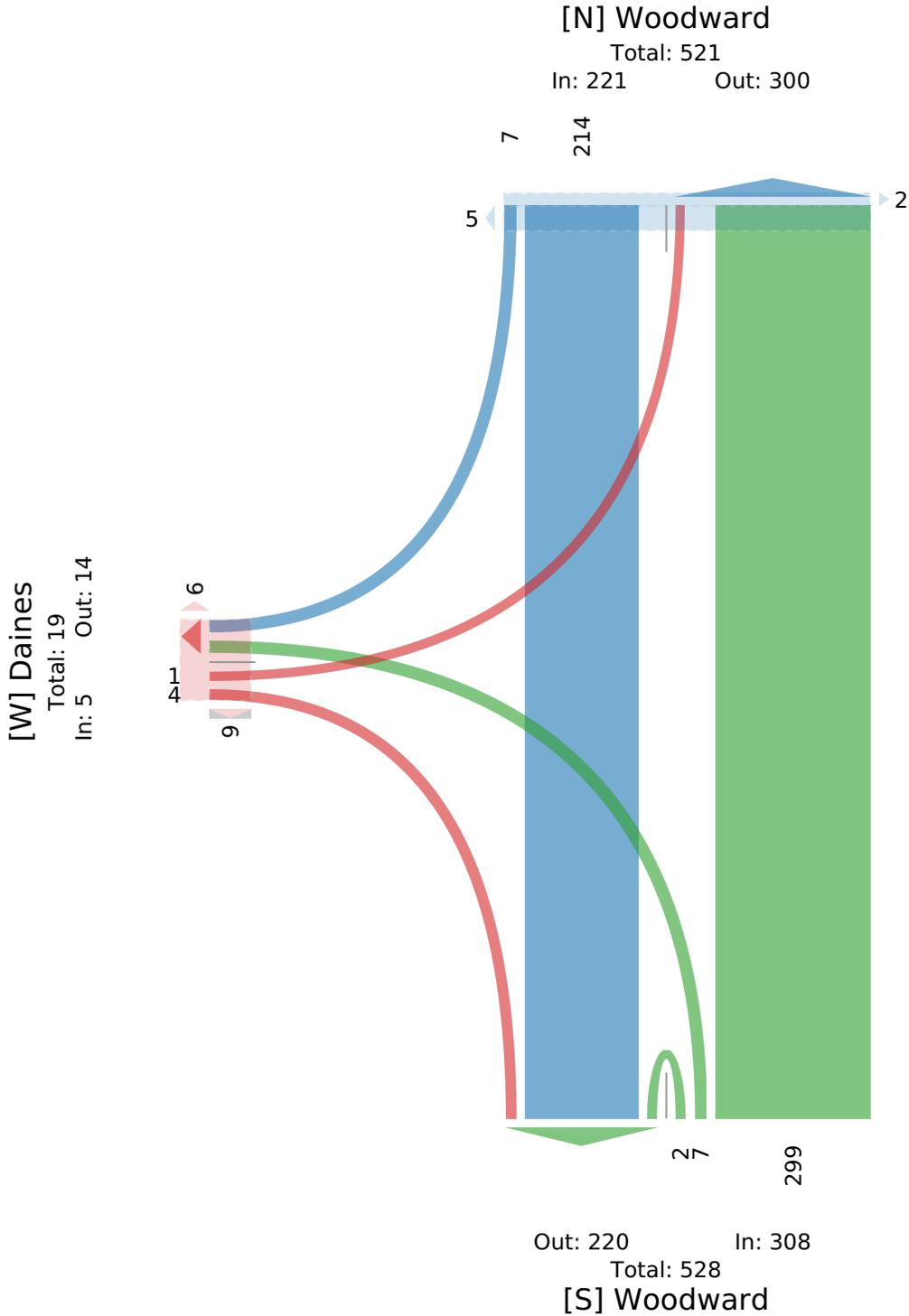


Provided by: Gewalt Hamilton Associates Inc.
625 Forest Edge Drive, Vernon Hills, IL, 60061, US

Leg Direction	Daines Eastbound					Woodward Northbound					Woodward Southbound					Int
	L	R	U	App	Ped*	L	T	U	App	Ped*	T	R	U	App	Ped*	
Time																
2021-02-06 12:00PM	0	1	0	1	2	1	69	0	70	0	51	2	0	53	1	124
12:15PM	0	3	0	3	2	3	80	1	84	0	53	0	0	53	2	140
12:30PM	0	0	0	0	4	3	70	1	74	0	55	4	0	59	0	133
12:45PM	1	0	0	1	7	0	80	0	80	0	55	1	0	56	4	137
Total	1	4	0	5	15	7	299	2	308	0	214	7	0	221	7	534
% Approach	20.0%	80.0%	0%	-	-	2.3%	97.1%	0.6%	-	-	96.8%	3.2%	0%	-	-	-
% Total	0.2%	0.7%	0%	0.9%	-	1.3%	56.0%	0.4%	57.7%	-	40.1%	1.3%	0%	41.4%	-	-
PHF	0.250	0.333	-	0.417	-	0.583	0.934	0.500	0.917	-	0.973	0.438	-	0.936	-	0.954
Lights	1	4	0	5	-	6	295	2	303	-	208	7	0	215	-	523
% Lights	100%	100%	0%	100%	-	85.7%	98.7%	100%	98.4%	-	97.2%	100%	0%	97.3%	-	97.9%
Articulated Trucks	0	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0
% Articulated Trucks	0%	0%	0%	0%	-	0%	0%	0%	0%	-	0%	0%	0%	0%	-	0%
Buses and Single-Unit Trucks	0	0	0	0	-	1	4	0	5	-	6	0	0	6	-	11
% Buses and Single-Unit Trucks	0%	0%	0%	0%	-	14.3%	1.3%	0%	1.6%	-	2.8%	0%	0%	2.7%	-	2.1%
Pedestrians	-	-	-	-	15	-	-	-	-	0	-	-	-	-	7	-
% Pedestrians	-	-	-	-	100%	-	-	-	-	-	-	-	-	-	100%	-
Bicycles on Crosswalk	-	-	-	-	0	-	-	-	-	0	-	-	-	-	0	-
% Bicycles on Crosswalk	-	-	-	-	0%	-	-	-	-	-	-	-	-	-	0%	-

*Pedestrians and Bicycles on Crosswalk. L: Left, R: Right, T: Thru, U: U-Turn

S. Old Woodward and Daines Street (unsignali... - TMC
 Sat Feb 6, 2021
 Midday Peak (WKND) (12 PM - 1 PM) - Overall Peak Hour
 All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks,
 Pedestrians, Bicycles on Crosswalk)
 All Movements
 ID: 811223, Location: 42.544221, -83.211866



S. Old Woodward Avenue and Brown Street (sig... - TMC

Wed Feb 3, 2021

Full Length (4 PM-6 PM)

All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks, Pedestrians, Bicycles on Crosswalk)

All Movements

ID: 811220, Location: 42.544769, -83.212379



Provided by: Gewalt Hamilton Associates Inc.
625 Forest Edge Drive, Vernon Hills, IL, 60061, US

Leg Direction	Brown Eastbound						Brown Westbound						Woodward Northbound						Woodward Southbound						Int
	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	
2021-02-03 4:00PM	6	21	9	0	36	2	3	45	15	0	63	8	12	44	6	0	62	3	21	40	14	0	75	0	236
4:15PM	6	18	13	0	37	6	5	42	17	0	64	7	13	34	3	0	50	7	20	33	17	0	70	0	221
4:30PM	6	22	5	0	33	1	7	37	17	0	61	6	13	36	7	0	56	2	12	62	12	0	86	4	236
4:45PM	3	27	7	0	37	1	6	44	18	0	68	13	11	30	5	0	46	2	11	47	13	0	71	5	222
Hourly Total	21	88	34	0	143	10	21	168	67	0	256	34	49	144	21	0	214	14	64	182	56	0	302	9	915
5:00PM	8	28	10	0	46	1	8	55	16	0	79	4	7	41	12	0	60	6	25	51	9	0	85	0	270
5:15PM	4	24	4	0	32	0	6	40	17	0	63	2	8	36	7	0	51	1	25	36	10	0	71	1	217
5:30PM	3	18	2	0	23	3	8	38	19	0	65	5	8	27	4	0	39	1	19	33	6	0	58	0	185
5:45PM	3	19	12	0	34	2	7	23	14	0	44	11	6	30	8	0	44	5	14	39	11	0	64	1	186
Hourly Total	18	89	28	0	135	6	29	156	66	0	251	22	29	134	31	0	194	13	83	159	36	0	278	2	858
Total	39	177	62	0	278	16	50	324	133	0	507	56	78	278	52	0	408	27	147	341	92	0	580	11	1773
% Approach	14.0%	63.7%	22.3%	0%	-	-	9.9%	63.9%	26.2%	0%	-	-	19.1%	68.1%	12.7%	0%	-	-	25.3%	58.8%	15.9%	0%	-	-	-
% Total	2.2%	10.0%	3.5%	0%	15.7%	-	2.8%	18.3%	7.5%	0%	28.6%	-	4.4%	15.7%	2.9%	0%	23.0%	-	8.3%	19.2%	5.2%	0%	32.7%	-	-
Lights	39	177	62	0	278	-	50	322	131	0	503	-	78	271	52	0	401	-	147	336	91	0	574	-	1756
% Lights	100%	100%	100%	0%	100%	-	100%	99.4%	98.5%	0%	99.2%	-	100%	97.5%	100%	0%	98.3%	-	100%	98.5%	98.9%	0%	99.0%	-	99.0%
Articulated Trucks	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0
% Articulated Trucks	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%
Buses and Single-Unit Trucks	0	0	0	0	0	-	0	2	2	0	4	-	0	7	0	0	7	-	0	5	1	0	6	-	17
% Buses and Single-Unit Trucks	0%	0%	0%	0%	0%	-	0%	0.6%	1.5%	0%	0.8%	-	0%	2.5%	0%	0%	1.7%	-	0%	1.5%	1.1%	0%	1.0%	-	1.0%
Pedestrians	-	-	-	-	-	16	-	-	-	-	-	56	-	-	-	-	-	27	-	-	-	-	-	11	-
% Pedestrians	-	-	-	-	-	100%	-	-	-	-	-	100%	-	-	-	-	-	100%	-	-	-	-	-	100%	-
Bicycles on Crosswalk	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-
% Bicycles on Crosswalk	-	-	-	-	-	0%	-	-	-	-	-	0%	-	-	-	-	-	0%	-	-	-	-	-	0%	-

*Pedestrians and Bicycles on Crosswalk. L: Left, R: Right, T: Thru, U: U-Turn

S. Old Woodward Avenue and Brown Street (sig... - TMC

Wed Feb 3, 2021

Full Length (4 PM-6 PM)

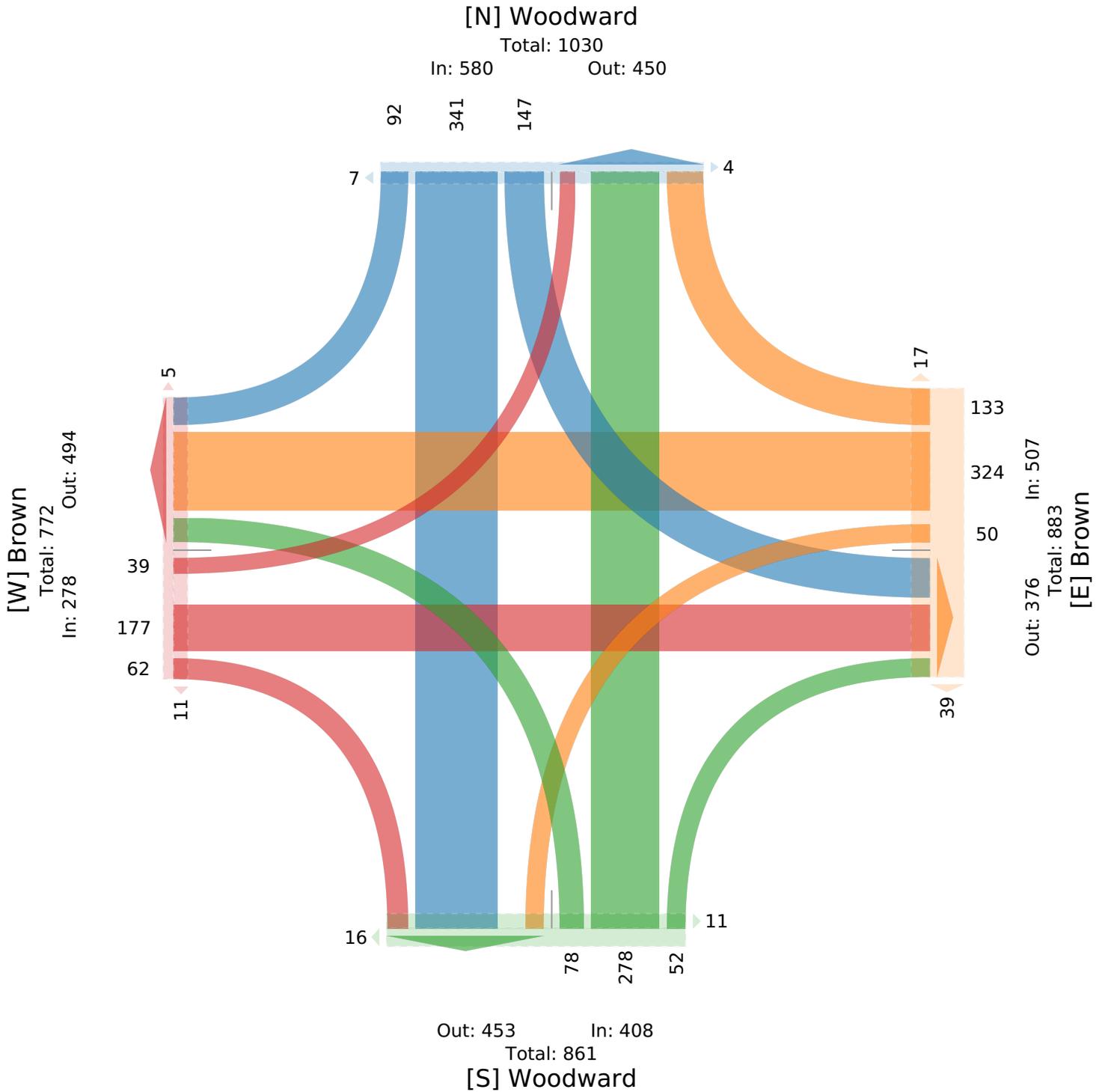
All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks, Pedestrians, Bicycles on Crosswalk)

All Movements

ID: 811220, Location: 42.544769, -83.212379



Provided by: Gewalt Hamilton Associates Inc.
625 Forest Edge Drive, Vernon Hills, IL, 60061, US



S. Old Woodward Avenue and Brown Street (sig... - TMC

Wed Feb 3, 2021

PM Peak (4:15 PM - 5:15 PM) - Overall Peak Hour

All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks, Pedestrians, Bicycles on Crosswalk)

All Movements

ID: 811220, Location: 42.544769, -83.212379

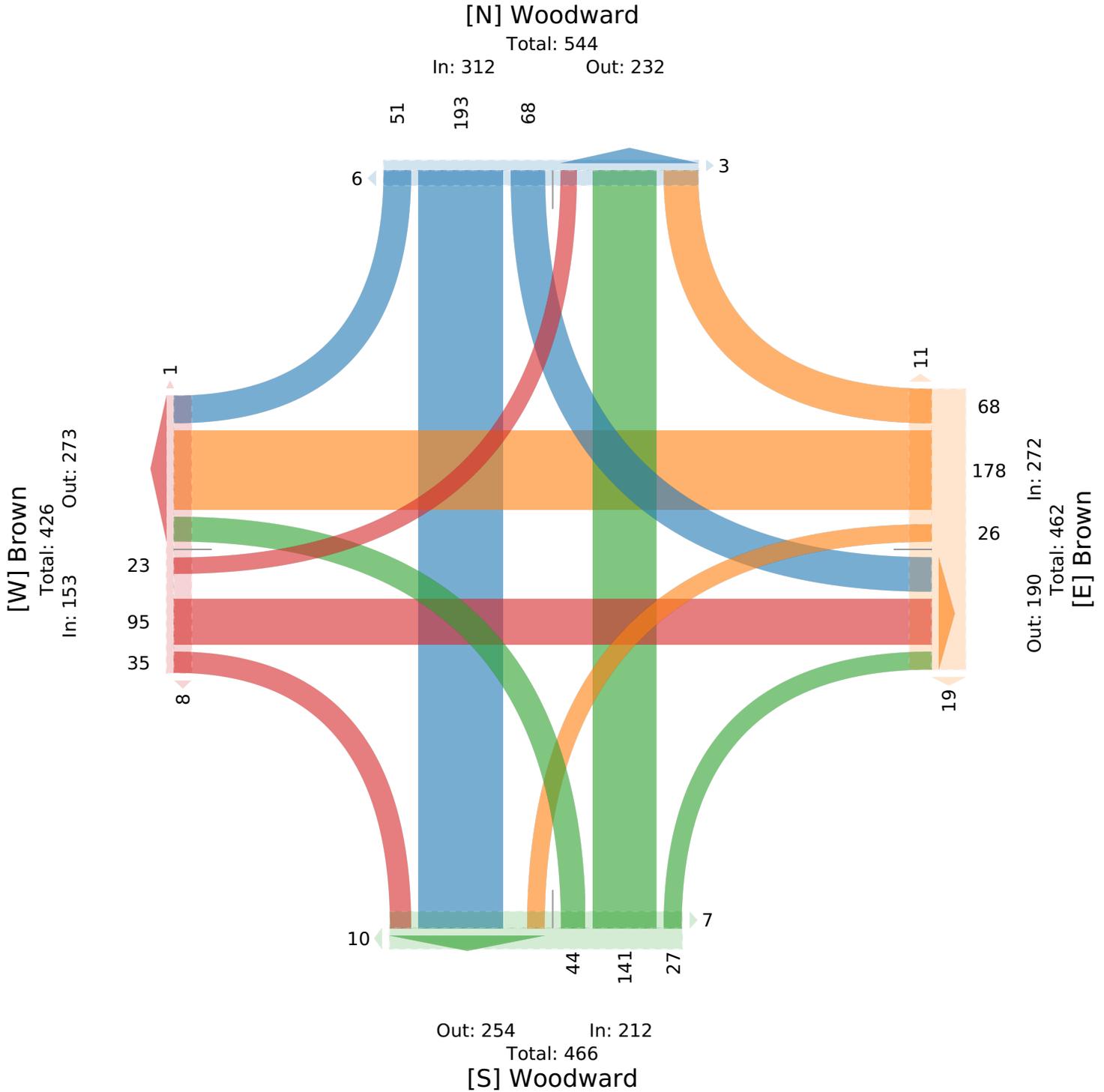


Provided by: Gewalt Hamilton Associates Inc.
625 Forest Edge Drive, Vernon Hills, IL, 60061, US

Leg Direction	Brown Eastbound						Brown Westbound						Woodward Northbound						Woodward Southbound						Int
	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	
2021-02-03 4:15PM	6	18	13	0	37	6	5	42	17	0	64	7	13	34	3	0	50	7	20	33	17	0	70	0	221
4:30PM	6	22	5	0	33	1	7	37	17	0	61	6	13	36	7	0	56	2	12	62	12	0	86	4	236
4:45PM	3	27	7	0	37	1	6	44	18	0	68	13	11	30	5	0	46	2	11	47	13	0	71	5	222
5:00PM	8	28	10	0	46	1	8	55	16	0	79	4	7	41	12	0	60	6	25	51	9	0	85	0	270
Total	23	95	35	0	153	9	26	178	68	0	272	30	44	141	27	0	212	17	68	193	51	0	312	9	949
% Approach	15.0%	62.1%	22.9%	0%	-	-	9.6%	65.4%	25.0%	0%	-	-	20.8%	66.5%	12.7%	0%	-	-	21.8%	61.9%	16.3%	0%	-	-	-
% Total	2.4%	10.0%	3.7%	0%	16.1%	-	2.7%	18.8%	7.2%	0%	28.7%	-	4.6%	14.9%	2.8%	0%	22.3%	-	7.2%	20.3%	5.4%	0%	32.9%	-	-
PHF	0.719	0.848	0.673	-	0.832	-	0.813	0.809	0.944	-	0.861	-	0.846	0.860	0.563	-	0.883	-	0.680	0.778	0.750	-	0.907	-	0.879
Lights	23	95	35	0	153	-	26	178	67	0	271	-	44	136	27	0	207	-	68	191	50	0	309	-	940
% Lights	100%	100%	100%	0%	100%	-	100%	100%	98.5%	0%	99.6%	-	100%	96.5%	100%	0%	97.6%	-	100%	99.0%	98.0%	0%	99.0%	-	99.1%
Articulated Trucks	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0
% Articulated Trucks	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%
Buses and Single-Unit Trucks	0	0	0	0	0	-	0	0	1	0	1	-	0	5	0	0	5	-	0	2	1	0	3	-	9
% Buses and Single-Unit Trucks	0%	0%	0%	0%	0%	-	0%	0%	1.5%	0%	0.4%	-	0%	3.5%	0%	0%	2.4%	-	0%	1.0%	2.0%	0%	1.0%	-	0.9%
Pedestrians	-	-	-	-	-	9	-	-	-	-	-	30	-	-	-	-	-	17	-	-	-	-	-	9	-
% Pedestrians	-	-	-	-	-	100%	-	-	-	-	-	100%	-	-	-	-	-	100%	-	-	-	-	-	100%	-
Bicycles on Crosswalk	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-
% Bicycles on Crosswalk	-	-	-	-	-	0%	-	-	-	-	-	0%	-	-	-	-	-	0%	-	-	-	-	-	0%	-

*Pedestrians and Bicycles on Crosswalk. L: Left, R: Right, T: Thru, U: U-Turn

S. Old Woodward Avenue and Brown Street (sig... - TMC)
 Wed Feb 3, 2021
 PM Peak (4:15 PM - 5:15 PM) - Overall Peak Hour
 All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks,
 Pedestrians, Bicycles on Crosswalk)
 All Movements
 ID: 811220, Location: 42.544769, -83.212379



S. Old Woodward Avenue and Brown Street (sig... - TMC

Sat Feb 6, 2021

Full Length (11 AM-1 PM)

All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks, Pedestrians, Bicycles on Crosswalk)

All Movements

ID: 811222, Location: 42.544798, -83.212409



Provided by: Gewalt Hamilton Associates Inc.
625 Forest Edge Drive, Vernon Hills, IL, 60061, US

Leg Direction	Brown Eastbound						Brown Westbound						Woodward Northbound						Woodward Southbound						
Time	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	Int
2021-02-06 11:00AM	3	29	14	0	46	3	4	12	10	0	26	1	10	50	10	0	70	0	7	32	4	0	43	0	185
11:15AM	5	28	11	0	44	5	2	17	6	0	25	2	20	43	11	0	74	4	8	36	8	0	52	0	195
11:30AM	8	36	18	0	62	2	7	21	14	0	42	0	17	38	12	0	67	1	9	29	10	0	48	0	219
11:45AM	6	30	17	0	53	6	4	11	10	0	25	5	15	32	9	0	56	3	12	39	5	0	56	5	190
Hourly Total	22	123	60	0	205	16	17	61	40	0	118	8	62	163	42	0	267	8	36	136	27	0	199	5	789
12:00PM	5	32	15	0	52	6	9	15	15	0	39	2	9	48	12	0	69	1	8	30	13	0	51	0	211
12:15PM	11	29	16	0	56	4	7	18	20	0	45	5	12	51	10	0	73	2	7	32	3	0	42	1	216
12:30PM	9	29	21	0	59	6	9	8	7	0	24	7	20	48	7	0	75	2	15	30	6	0	51	0	209
12:45PM	8	32	18	0	58	7	2	15	9	0	26	7	17	47	14	0	78	0	19	31	6	0	56	4	218
Hourly Total	33	122	70	0	225	23	27	56	51	0	134	21	58	194	43	0	295	5	49	123	28	0	200	5	854
Total	55	245	130	0	430	39	44	117	91	0	252	29	120	357	85	0	562	13	85	259	55	0	399	10	1643
% Approach	12.8%	57.0%	30.2%	0%	-	-	17.5%	46.4%	36.1%	0%	-	-	21.4%	63.5%	15.1%	0%	-	-	21.3%	64.9%	13.8%	0%	-	-	-
% Total	3.3%	14.9%	7.9%	0%	26.2%	-	2.7%	7.1%	5.5%	0%	15.3%	-	7.3%	21.7%	5.2%	0%	34.2%	-	5.2%	15.8%	3.3%	0%	24.3%	-	-
Lights	55	242	128	0	425	-	43	116	89	0	248	-	118	352	85	0	555	-	85	251	53	0	389	-	1617
% Lights	100%	98.8%	98.5%	0%	98.8%	-	97.7%	99.1%	97.8%	0%	98.4%	-	98.3%	98.6%	100%	0%	98.8%	-	100%	96.9%	96.4%	0%	97.5%	-	98.4%
Articulated Trucks	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0
% Articulated Trucks	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%
Buses and Single-Unit Trucks	0	3	2	0	5	-	1	1	2	0	4	-	2	5	0	0	7	-	0	8	2	0	10	-	26
% Buses and Single-Unit Trucks	0%	1.2%	1.5%	0%	1.2%	-	2.3%	0.9%	2.2%	0%	1.6%	-	1.7%	1.4%	0%	0%	1.2%	-	0%	3.1%	3.6%	0%	2.5%	-	1.6%
Pedestrians	-	-	-	-	-	39	-	-	-	-	-	29	-	-	-	-	-	13	-	-	-	-	-	10	
% Pedestrians	-	-	-	-	-	100%	-	-	-	-	-	100%	-	-	-	-	-	100%	-	-	-	-	-	100%	-
Bicycles on Crosswalk	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	
% Bicycles on Crosswalk	-	-	-	-	-	0%	-	-	-	-	-	0%	-	-	-	-	-	0%	-	-	-	-	-	0%	-

* Pedestrians and Bicycles on Crosswalk. L: Left, R: Right, T: Thru, U: U-Turn

S. Old Woodward Avenue and Brown Street (sig... - TMC

Sat Feb 6, 2021

Full Length (11 AM-1 PM)

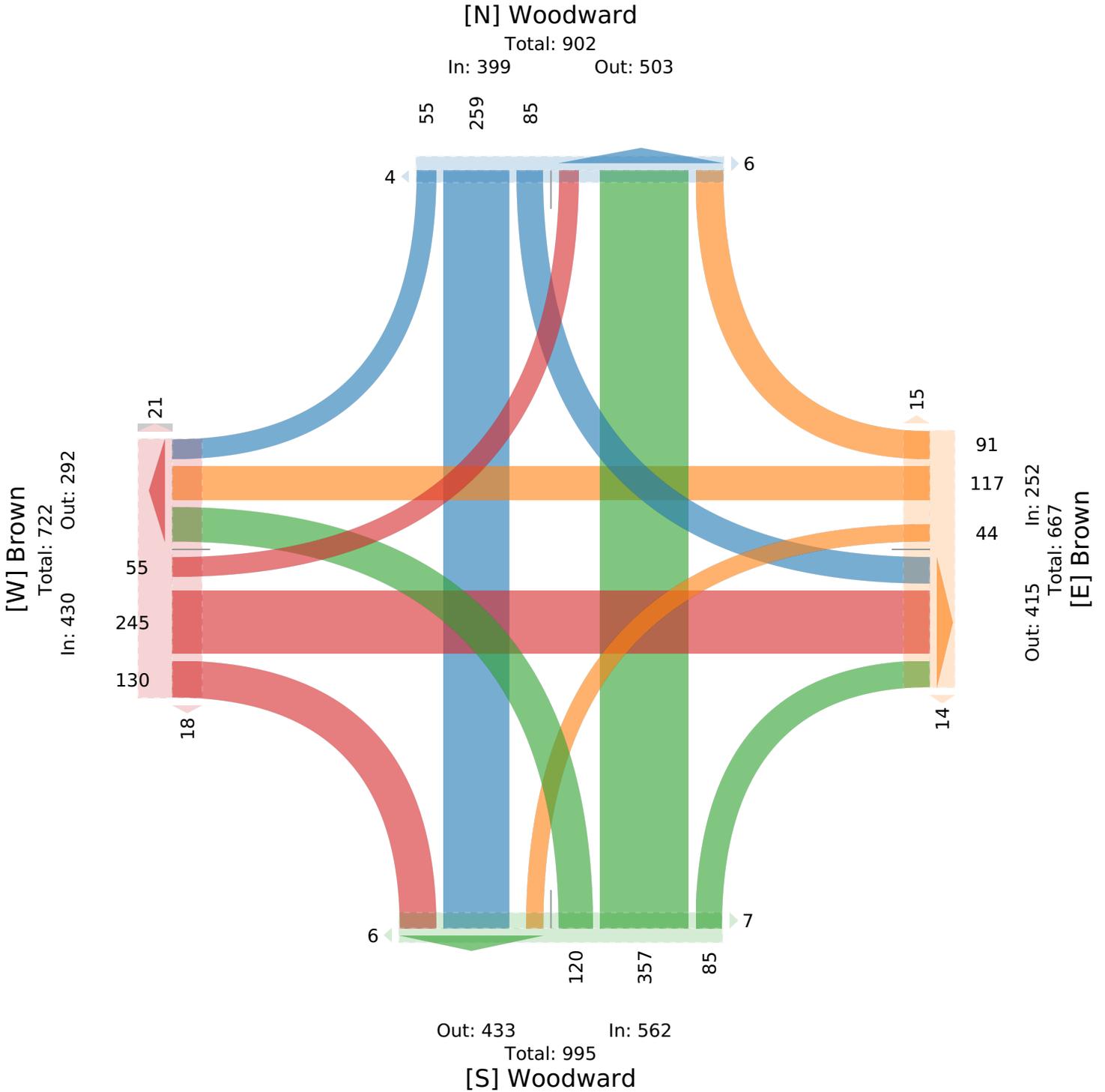
All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks, Pedestrians, Bicycles on Crosswalk)

All Movements

ID: 811222, Location: 42.544798, -83.212409



Provided by: Gewalt Hamilton Associates Inc.
625 Forest Edge Drive, Vernon Hills, IL, 60061, US



S. Old Woodward Avenue and Brown Street (sig... - TMC

Sat Feb 6, 2021

Midday Peak (WKND) (12 PM - 1 PM) - Overall Peak Hour

All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks, Pedestrians, Bicycles on Crosswalk)

All Movements

ID: 811222, Location: 42.544798, -83.212409

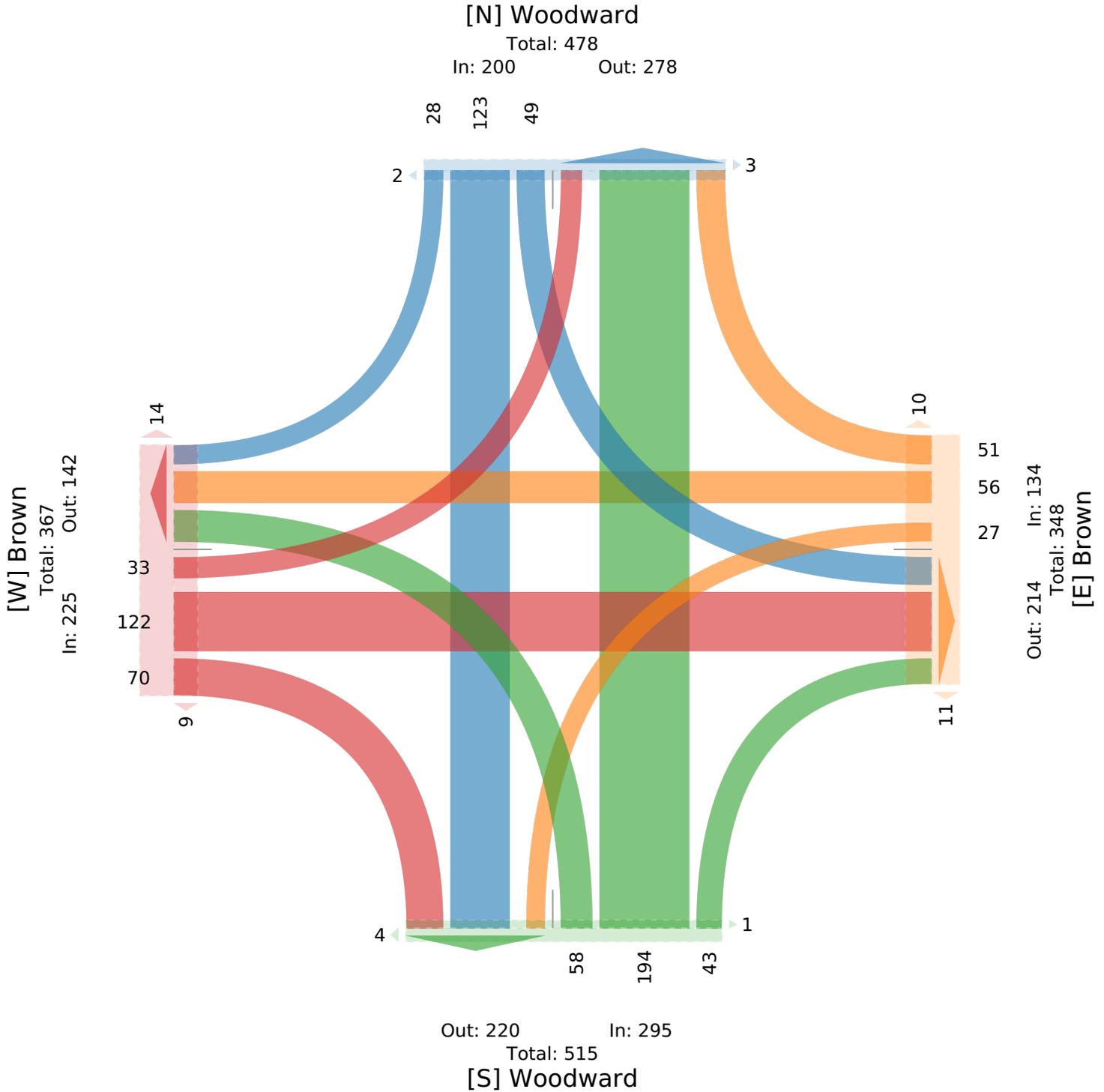


Provided by: Gewalt Hamilton Associates Inc.
625 Forest Edge Drive, Vernon Hills, IL, 60061, US

Leg Direction	Brown Eastbound						Brown Westbound						Woodward Northbound						Woodward Southbound						Int
	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	
2021-02-06 12:00PM	5	32	15	0	52	6	9	15	15	0	39	2	9	48	12	0	69	1	8	30	13	0	51	0	211
12:15PM	11	29	16	0	56	4	7	18	20	0	45	5	12	51	10	0	73	2	7	32	3	0	42	1	216
12:30PM	9	29	21	0	59	6	9	8	7	0	24	7	20	48	7	0	75	2	15	30	6	0	51	0	209
12:45PM	8	32	18	0	58	7	2	15	9	0	26	7	17	47	14	0	78	0	19	31	6	0	56	4	218
Total	33	122	70	0	225	23	27	56	51	0	134	21	58	194	43	0	295	5	49	123	28	0	200	5	854
% Approach	14.7%	54.2%	31.1%	0%	-	-	20.1%	41.8%	38.1%	0%	-	-	19.7%	65.8%	14.6%	0%	-	-	24.5%	61.5%	14.0%	0%	-	-	-
% Total	3.9%	14.3%	8.2%	0%	26.3%	-	3.2%	6.6%	6.0%	0%	15.7%	-	6.8%	22.7%	5.0%	0%	34.5%	-	5.7%	14.4%	3.3%	0%	23.4%	-	-
PHF	0.750	0.953	0.833	-	0.953	-	0.750	0.778	0.638	-	0.744	-	0.725	0.951	0.768	-	0.946	-	0.645	0.961	0.538	-	0.893	-	0.979
Lights	33	120	69	0	222	-	27	56	51	0	134	-	57	191	43	0	291	-	49	118	28	0	195	-	842
% Lights	100%	98.4%	98.6%	0%	98.7%	-	100%	100%	100%	0%	100%	-	98.3%	98.5%	100%	0%	98.6%	-	100%	95.9%	100%	0%	97.5%	-	98.6%
Articulated Trucks	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0
% Articulated Trucks	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%
Buses and Single-Unit Trucks	0	2	1	0	3	-	0	0	0	0	0	-	1	3	0	0	4	-	0	5	0	0	5	-	12
% Buses and Single-Unit Trucks	0%	1.6%	1.4%	0%	1.3%	-	0%	0%	0%	0%	0%	-	1.7%	1.5%	0%	0%	1.4%	-	0%	4.1%	0%	0%	2.5%	-	1.4%
Pedestrians	-	-	-	-	-	23	-	-	-	-	-	21	-	-	-	-	-	5	-	-	-	-	-	5	
% Pedestrians	-	-	-	-	-	100%	-	-	-	-	-	100%	-	-	-	-	-	100%	-	-	-	-	-	100%	-
Bicycles on Crosswalk	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	
% Bicycles on Crosswalk	-	-	-	-	-	0%	-	-	-	-	-	0%	-	-	-	-	-	0%	-	-	-	-	-	0%	

*Pedestrians and Bicycles on Crosswalk. L: Left, R: Right, T: Thru, U: U-Turn

S. Old Woodward Avenue and Brown Street (sig... - TMC)
 Sat Feb 6, 2021
 Midday Peak (WKND) (12 PM - 1 PM) - Overall Peak Hour
 All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks,
 Pedestrians, Bicycles on Crosswalk)
 All Movements
 ID: 811222, Location: 42.544798, -83.212409



Traffic Data Collection, LLC

www.tdccounts.com

Phone: 586.786-5407

Traffic Study Performed For:

Fleis & VandenBrink



Project: Birmingham 2019 Ped. Study
Study: 11 Hr Video Turning Movement Count
Weather: Sunny/Cldy. Dry PM Deg's 70's
Count By Miovision Video VCU 4PU SW

File Name : PED_5 Brown & Old Woodward_6-6-19
Site Code : PED_5
Start Date : 6/6/2019
Page No : 1

11 Hour video multi-modal traffic study was conducted during weekday (Thursday) from 7:00 AM morning - 6:00 PM afternoon peak hours.

Groups Printed- All Vehicles (no classification) - Bikes On Road - Bikes On Walk - Peds

Start Time	S. Woodward Ave. Southbound					E. Brown St. Westbound					S. Woodward Ave. Northbound					Woodward Heights Eastbound					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
07:00 AM	3	9	2	2	16	0	18	2	7	27	8	6	18	1	33	6	21	2	12	41	117
07:15 AM	6	5	2	4	17	3	26	1	9	39	6	11	15	3	35	3	40	7	2	52	143
07:30 AM	5	16	6	5	32	6	29	3	8	46	9	25	17	1	52	17	52	11	3	83	213
07:45 AM	4	11	1	5	21	5	39	4	4	52	8	20	37	4	69	19	43	9	0	71	213
Total	18	41	11	16	86	14	112	10	28	164	31	62	87	9	189	45	156	29	17	247	686
08:00 AM	12	11	2	1	26	4	48	2	23	77	16	23	42	2	83	20	57	10	2	89	275
08:15 AM	4	26	2	0	32	4	42	4	15	65	13	27	43	4	87	25	49	5	5	84	268
08:30 AM	3	28	5	2	38	6	44	3	21	74	10	24	31	0	65	23	59	10	0	92	269
08:45 AM	11	16	4	2	33	7	62	3	27	99	14	36	44	16	110	36	52	19	2	109	351
Total	30	81	13	5	129	21	196	12	86	315	53	110	160	22	345	104	217	44	9	374	1163
09:00 AM	6	27	9	6	48	5	38	4	31	78	16	35	65	9	125	34	38	10	2	84	335
09:15 AM	7	18	8	4	37	6	25	4	21	56	13	31	43	10	97	29	50	7	4	90	280
09:30 AM	11	30	6	4	51	4	26	7	13	50	15	38	29	5	87	35	48	8	4	95	283
09:45 AM	10	27	5	0	42	9	31	8	19	67	10	47	23	10	90	25	45	11	0	81	280
Total	34	102	28	14	178	24	120	23	84	251	54	151	160	34	399	123	181	36	10	350	1178
10:00 AM	9	26	7	6	48	12	31	8	16	67	4	36	26	10	76	27	45	6	1	79	270
10:15 AM	10	29	8	0	47	12	23	4	9	48	17	39	27	2	85	27	42	14	1	84	264
10:30 AM	13	39	4	1	57	13	20	2	10	45	8	39	20	7	74	26	34	11	2	73	249
10:45 AM	7	38	11	1	57	8	31	4	14	57	16	39	25	9	89	20	53	17	1	91	294
Total	39	132	30	8	209	45	105	18	49	217	45	153	98	28	324	100	174	48	5	327	1077
11:00 AM	16	25	10	4	55	17	20	7	13	57	11	40	21	5	77	39	35	17	2	93	282
11:15 AM	11	34	9	0	54	7	27	6	11	51	13	30	28	6	77	22	33	14	1	70	252
11:30 AM	14	40	9	1	64	19	26	8	26	79	9	46	20	8	83	40	49	12	2	103	329
11:45 AM	15	24	7	2	48	11	26	6	31	74	16	43	28	15	102	33	47	21	2	103	327
Total	56	123	35	7	221	54	99	27	81	261	49	159	97	34	339	134	164	64	7	369	1190
12:00 PM	20	43	13	7	83	11	38	11	24	84	14	44	23	12	93	49	62	13	0	124	384
12:15 PM	13	34	20	8	75	17	28	9	32	86	14	52	34	11	111	26	70	10	4	110	382
12:30 PM	13	37	10	4	64	14	41	8	32	95	11	39	26	12	88	22	53	12	2	89	336
12:45 PM	14	37	12	9	72	22	19	8	41	90	5	40	27	13	85	33	51	18	4	106	353
Total	60	151	55	28	294	64	126	36	129	355	44	175	110	48	377	130	236	53	10	429	1455
01:00 PM	7	33	15	2	57	16	26	8	26	76	7	39	21	14	81	29	56	9	10	104	318
01:15 PM	6	55	14	3	78	18	28	12	35	93	20	50	26	18	114	37	57	5	4	103	388
01:30 PM	13	45	11	0	69	16	34	7	30	87	12	63	18	16	109	40	62	9	3	114	379
01:45 PM	11	38	10	3	62	11	33	7	18	69	9	38	19	10	76	19	39	17	4	79	286
Total	37	171	50	8	266	61	121	34	109	325	48	190	84	58	380	125	214	40	21	400	1371
02:00 PM	12	34	5	1	52	18	37	12	22	89	14	32	22	7	75	33	63	7	1	104	320
02:15 PM	6	42	8	4	60	15	35	4	27	81	17	38	27	13	95	26	51	12	5	94	330
02:30 PM	10	33	10	2	55	16	37	7	27	87	20	35	22	10	87	37	51	6	5	99	328
02:45 PM	8	33	11	12	64	9	35	5	35	84	13	50	29	13	105	24	61	6	4	95	348
Total	36	142	34	19	231	58	144	28	111	341	64	155	100	43	362	120	226	31	15	392	1326
03:00 PM	13	44	11	8	76	10	31	6	13	60	19	50	29	17	115	35	83	11	14	143	394
03:15 PM	7	20	5	4	36	11	32	8	17	68	20	43	32	6	101	32	63	8	6	109	314
03:30 PM	9	42	13	5	69	9	50	11	16	86	9	51	30	7	97	28	60	5	14	107	359
03:45 PM	8	34	7	4	53	10	35	7	21	73	20	51	17	7	95	29	48	12	14	103	324
Total	37	140	36	21	234	40	148	32	67	287	68	195	108	37	408	124	254	36	48	462	1391

Traffic Data Collection, LLC

www.tdccounts.com

Phone: 586.786-5407

Traffic Study Performed For:

Fleis & VandenBrink



Project: Birmingham 2019 Ped. Study
Study: 11 Hr Video Turning Movement Count
Weather: Sunny/Cldy. Dry PM Deg's 70's
Count By Miovision Video VCU 4PU SW

File Name : PED_5 Brown & Old Woodward_6-6-19
Site Code : PED_5
Start Date : 6/6/2019
Page No : 2

Groups Printed- All Vehicles (no classification) - Bikes On Road - Bikes On Walk - Peds

Start Time	S. Woodward Ave. Southbound					E. Brown St. Westbound					S. Woodward Ave. Northbound					Woodward Heights Eastbound					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
04:00 PM	10	30	7	5	52	8	42	10	13	73	22	46	33	5	106	43	74	10	16	143	374
04:15 PM	6	29	10	6	51	12	40	5	15	72	21	59	24	4	108	36	63	11	12	122	353
04:30 PM	7	33	8	5	53	11	52	6	23	92	15	50	29	12	106	40	55	8	19	122	373
04:45 PM	6	28	8	3	45	9	42	6	10	67	14	53	39	4	110	41	72	13	10	136	358
Total	29	120	33	19	201	40	176	27	61	304	72	208	125	25	430	160	264	42	57	523	1458
05:00 PM	10	44	11	6	71	6	55	8	23	92	23	45	29	14	111	60	73	8	9	150	424
05:15 PM	12	41	4	4	61	11	68	5	12	96	15	56	37	14	122	60	64	13	3	140	419
05:30 PM	12	45	5	1	63	11	60	5	15	91	18	42	29	14	103	44	64	14	8	130	387
05:45 PM	10	34	14	1	59	6	58	4	20	88	8	38	38	5	89	31	70	3	7	111	347
Total	44	164	34	12	254	34	241	22	70	367	64	181	133	47	425	195	271	38	27	531	1577
Grand Total	420	1367	359	157	2303	455	1588	269	875	3187	592	1739	1262	385	3978	1360	2357	461	226	4404	13872
Apprch %	18.2	59.4	15.6	6.8		14.3	49.8	8.4	27.5		14.9	43.7	31.7	9.7		30.9	53.5	10.5	5.1		
Total %	3	9.9	2.6	1.1	16.6	3.3	11.4	1.9	6.3	23	4.3	12.5	9.1	2.8	28.7	9.8	17	3.3	1.6	31.7	
All Vehicles (no classification)	420	1364	359	0	2143	455	1587	269	0	2311	592	1736	1262	0	3590	1359	2357	461	0	4177	12221
% All Vehicles (no classification)	100	99.8	100	0	93.1	100	99.9	100	0	72.5	100	99.8	100	0	90.2	99.9	100	100	0	94.8	88.1
Bikes On Road	0	3	0	0	3	0	1	0	0	1	0	3	0	0	3	1	0	0	0	1	8
% Bikes On Road	0	0.2	0	0	0.1	0	0.1	0	0	0	0	0.2	0	0	0.1	0.1	0	0	0	0	0.1
Bikes On Walk	0	0	0	4	4	0	0	0	5	5	0	0	0	8	8	0	0	0	9	9	26
% Bikes On Walk	0	0	0	2.5	0.2	0	0	0	0.6	0.2	0	0	0	2.1	0.2	0	0	0	4	0.2	0.2
Peds	0	0	0	153	153	0	0	0	870	870	0	0	0	377	377	0	0	0	217	217	1617
% Peds	0	0	0	97.5	6.6	0	0	0	99.4	27.3	0	0	0	97.9	9.5	0	0	0	96	4.9	11.7

TDC Traffic Comments: Signalized intersection with ped. signals for all quadrants, no push buttons. Video VCU camera was located within SE intersection quadrant. Building under construction within NW intersection quadrant. Sidewalk rerouted & maintained with ped. barricades. Traffic counts performed for Fleis & Vandenbrink for City of Birmingham Pedestrian & Bicycle Spring_2019 Traffic Study for various citywide locations.

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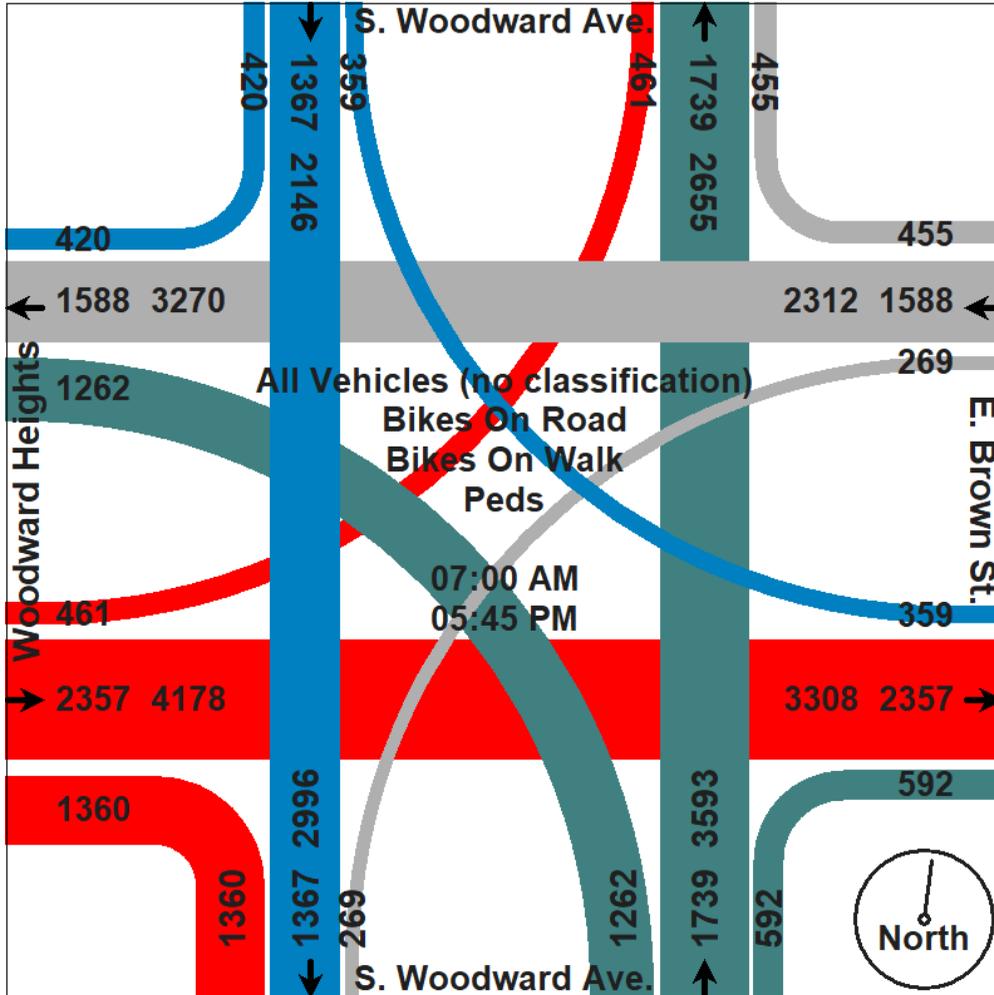
Traffic Study Performed For:

Fleis & VandenBrink



Project: Birmingham 2019 Ped. Study
 Study: 11 Hr Video Turning Movement Count
 Weather: Sunny/Cldy. Dry PM Deg's 70's
 Count By Miovision Video VCU 4PU SW

File Name : PED_5 Brown & Old Woodward_6-6-19
 Site Code : PED_5
 Start Date : 6/6/2019
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Traffic Study Performed For:

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Project: Birmingham 2019 Ped. Study
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Count By Miovision Video VCU 4PU SW

File Name : PED_5 Brown & Old Woodward_6-6-19
Site Code : PED_5
Start Date : 6/6/2019
Page No : 4

Start Time	S. Woodward Ave. Southbound					E. Brown St. Westbound					S. Woodward Ave. Northbound					Woodward Heights Eastbound					Int. Total	
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total		
Peak Hour Analysis From 07:00 AM to 11:45 AM - Peak 1 of 1																						
Peak Hour for Entire Intersection Begins at 08:45 AM																						
08:45 AM	11	16	4	2	33	7	62	3	27	99	14	36	44	16	110	36	52	19	2	109	351	
09:00 AM	6	27	9	6	48	5	38	4	31	78	16	35	65	9	125	34	38	10	2	84	335	
09:15 AM	7	18	8	4	37	6	25	4	21	56	13	31	43	10	97	29	50	7	4	90	280	
09:30 AM	11	30	6	4	51	4	26	7	13	50	15	38	29	5	87	35	48	8	4	95	283	
Total Volume	35	91	27	16	169	22	151	18	92	283	58	140	181	40	419	134	188	44	12	378	1249	
% App. Total	20.7	53.8	16	9.5		7.8	53.4	6.4	32.5		13.8	33.4	43.2	9.5		35.4	49.7	11.6	3.2			
PHF	.795	.758	.750	.667	.828	.786	.609	.643	.742	.715	.906	.921	.696	.625	.838	.931	.904	.579	.750	.867	.890	
All Vehicles (no classification)	35	91	27	0	153	22	151	18	0	191	58	140	181	0	379	134	188	44	0	366	1089	
% All Vehicles (no classification)	100	100	100	0	90.5	100	100	100	0	67.5	100	100	100	0	90.5	100	100	100	0	96.8	87.2	
Bikes On Road	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
% Bikes On Road	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Bikes On Walk	0	0	0	0	0	0	0	0	0	0	0	0	0	1	1	0	0	0	0	0	0	1
% Bikes On Walk	0	0	0	0	0	0	0	0	0	0	0	0	0	2.5	0.2	0	0	0	0	0	0	0.1
Peds	0	0	0	16	16	0	0	0	92	92	0	0	0	39	39	0	0	0	12	12	159	
% Peds	0	0	0	100	9.5	0	0	0	100	32.5	0	0	0	97.5	9.3	0	0	0	100	3.2	12.7	

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Traffic Study Performed For:

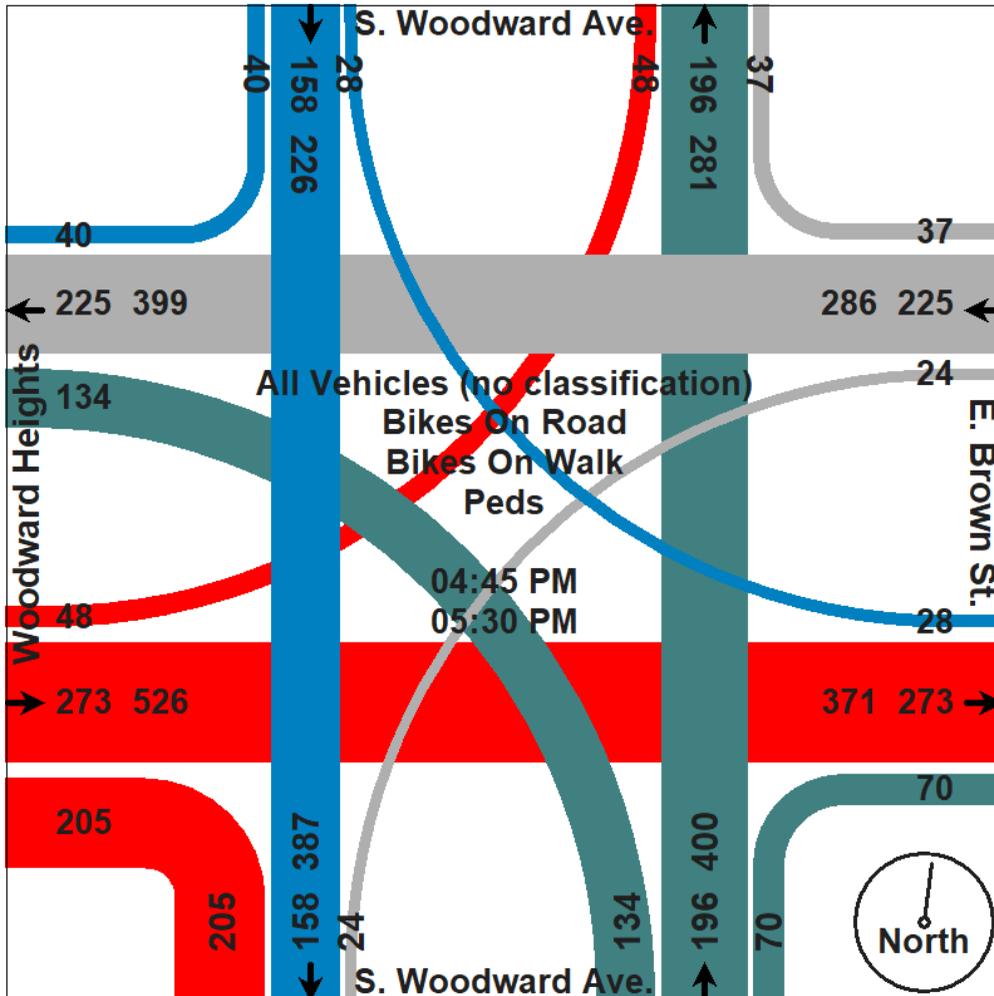
Fleis & VandenBrink



Project: Birmingham 2019 Ped. Study
Study: 11 Hr Video Turning Movement Count
Weather: Sunny/Cldy. Dry PM Deg's 70's
Count By Miovision Video VCU 4PU SW

File Name : PED_5 Brown & Old Woodward_6-6-19
Site Code : PED_5
Start Date : 6/6/2019
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Start Time	S. Woodward Ave. Southbound					E. Brown St. Westbound					S. Woodward Ave. Northbound					Woodward Heights Eastbound					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
Peak Hour Analysis From 12:00 PM to 05:45 PM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 04:45 PM																					
04:45 PM	6	28	8	3	45	9	42	6	10	67	14	53	39	4	110	41	72	13	10	136	358
05:00 PM	10	44	11	6	71	6	55	8	23	92	23	45	29	14	111	60	73	8	9	150	424
05:15 PM	12	41	4	4	61	11	68	5	12	96	15	56	37	14	122	60	64	13	3	140	419
05:30 PM	12	45	5	1	63	11	60	5	15	91	18	42	29	14	103	44	64	14	8	130	387
Total Volume	40	158	28	14	240	37	225	24	60	346	70	196	134	46	446	205	273	48	30	556	1588
% App. Total	16.7	65.8	11.7	5.8		10.7	65	6.9	17.3		15.7	43.9	30	10.3		36.9	49.1	8.6	5.4		
PHF	.833	.878	.636	.583	.845	.841	.827	.750	.652	.901	.761	.875	.859	.821	.914	.854	.935	.857	.750	.927	.936
All Vehicles (no classification)	40	157	28	0	225	37	225	24	0	286	70	194	134	0	398	205	273	48	0	526	1435
% All Vehicles (no classification)	100	99.4	100	0	93.8	100	100	100	0	82.7	100	99.0	100	0	89.2	100	100	100	0	94.6	90.4
Bikes On Road	0	1	0	0	1	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	3
% Bikes On Road	0	0.6	0	0	0.4	0	0	0	0	0	0	1.0	0	0	0.4	0	0	0	0	0	0.2
Bikes On Walk	0	0	0	0	0	0	0	0	0	0	0	0	0	1	1	0	0	0	0	0	1
% Bikes On Walk	0	0	0	0	0	0	0	0	0	0	0	0	0	2.2	0.2	0	0	0	0	0	0.1
Peds	0	0	0	14	14	0	0	0	60	60	0	0	0	45	45	0	0	0	30	30	149
% Peds	0	0	0	100	5.8	0	0	0	100	17.3	0	0	0	97.8	10.1	0	0	0	100	5.4	9.4



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Traffic Study Performed For:

Fleis & VandenBrink



Project: Birmingham 2019 Ped. Study
Study: 11 Hr Video Turning Movement Count
Weather: Sunny/Cldy. Dry PM Deg's 70's
Count By Miovision Video VCU 4PU SW

File Name : PED_5 Brown & Old Woodward_6-6-19
Site Code : PED_5
Start Date : 6/6/2019
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Aerial Photo



LOS OUTPUT REPORTS

HCM 6th Signalized Intersection Summary
1: S Old Woodward Ave & E Brown St

2021 Existing Conditions
PM Peak Hour

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	48	276	207	24	227	37	135	198	71	28	160	40
Future Volume (veh/h)	48	276	207	24	227	37	135	198	71	28	160	40
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	0.96		0.90	0.98		0.87	0.96		0.92	0.98		0.91
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	2000	2000	2000	1984	1984	1984	2048	2048	2048	1984	1984	1984
Adj Flow Rate, veh/h	52	297	223	27	252	41	148	218	78	33	188	47
Peak Hour Factor	0.93	0.93	0.93	0.90	0.90	0.90	0.91	0.91	0.91	0.85	0.85	0.85
Percent Heavy Veh, %	0	0	0	1	1	1	2	2	2	1	1	1
Cap, veh/h	126	690	490	305	632	103	455	578	207	403	616	154
Arrive On Green	0.39	0.39	0.39	0.39	0.39	0.39	0.41	0.41	0.41	0.41	0.41	0.41
Sat Flow, veh/h	203	1774	1259	874	1624	264	1147	1405	503	1067	1499	375
Grp Volume(v), veh/h	318	0	254	27	0	293	148	0	296	33	0	235
Grp Sat Flow(s),veh/h/ln	1801	0	1435	874	0	1888	1147	0	1908	1067	0	1873
Q Serve(g_s), s	0.8	0.0	11.8	2.1	0.0	10.1	9.0	0.0	9.7	2.0	0.0	7.6
Cycle Q Clear(g_c), s	10.9	0.0	11.8	14.0	0.0	10.1	16.6	0.0	9.7	11.7	0.0	7.6
Prop In Lane	0.16		0.88	1.00		0.14	1.00		0.26	1.00		0.20
Lane Grp Cap(c), veh/h	747	0	558	305	0	734	455	0	784	403	0	770
V/C Ratio(X)	0.43	0.00	0.46	0.09	0.00	0.40	0.33	0.00	0.38	0.08	0.00	0.31
Avail Cap(c_a), veh/h	747	0	558	305	0	734	455	0	784	403	0	770
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	20.0	0.0	20.4	25.6	0.0	19.9	23.4	0.0	18.5	22.6	0.0	17.8
Incr Delay (d2), s/veh	1.8	0.0	2.7	0.6	0.0	1.6	1.9	0.0	1.4	0.4	0.0	1.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	5.1	0.0	4.3	0.5	0.0	4.7	2.6	0.0	4.5	0.5	0.0	3.5
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	21.8	0.0	23.1	26.2	0.0	21.5	25.3	0.0	19.9	23.0	0.0	18.9
LnGrp LOS	C	A	C	C	A	C	C	A	B	C	A	B
Approach Vol, veh/h		572			320			444				268
Approach Delay, s/veh		22.4			21.9			21.7				19.4
Approach LOS		C			C			C				B
Timer - Assigned Phs		2		4		6		8				
Phs Duration (G+Y+Rc), s		46.0		44.0		46.0		44.0				
Change Period (Y+Rc), s		9.0		9.0		9.0		9.0				
Max Green Setting (Gmax), s		37.0		35.0		37.0		35.0				
Max Q Clear Time (g_c+I1), s		18.6		13.8		13.7		16.0				
Green Ext Time (p_c), s		2.4		4.0		1.6		1.9				
Intersection Summary												
HCM 6th Ctrl Delay				21.6								
HCM 6th LOS				C								

Intersection						
Int Delay, s/veh	0.6					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	T		T		T	
Traffic Vol, veh/h	3	16	14	401	375	16
Future Vol, veh/h	3	16	14	401	375	16
Conflicting Peds, #/hr	33	33	33	0	0	44
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	60	60	92	92	90	90
Heavy Vehicles, %	0	0	1	1	2	2
Mvmt Flow	5	27	15	436	417	18

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	969	503	479	0	-	0
Stage 1	470	-	-	-	-	-
Stage 2	499	-	-	-	-	-
Critical Hdwy	6.4	6.2	4.11	-	-	-
Critical Hdwy Stg 1	5.4	-	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-	-
Follow-up Hdwy	3.5	3.3	2.209	-	-	-
Pot Cap-1 Maneuver	284	573	1089	-	-	-
Stage 1	633	-	-	-	-	-
Stage 2	614	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	256	526	1043	-	-	-
Mov Cap-2 Maneuver	256	-	-	-	-	-
Stage 1	595	-	-	-	-	-
Stage 2	588	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	13.6	0.3	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1043	-	451	-	-
HCM Lane V/C Ratio	0.015	-	0.07	-	-
HCM Control Delay (s)	8.5	0	13.6	-	-
HCM Lane LOS	A	A	B	-	-
HCM 95th %tile Q(veh)	0	-	0.2	-	-

HCM 6th Signalized Intersection Summary
 1: S Old Woodward Ave & E Brown St

2021 Existing Conditions
 SAT Peak Hour

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	50	187	107	41	86	78	90	302	67	75	190	43
Future Volume (veh/h)	50	187	107	41	86	78	90	302	67	75	190	43
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	0.99		0.97	0.99		0.97	0.99		0.98	1.00		0.96
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1984	1984	1984	2000	2000	2000	2064	2064	2064	1969	1969	1969
Adj Flow Rate, veh/h	53	197	113	55	116	105	95	318	71	84	213	48
Peak Hour Factor	0.95	0.95	0.95	0.74	0.74	0.74	0.95	0.95	0.95	0.89	0.89	0.89
Percent Heavy Veh, %	1	1	1	0	0	0	1	1	1	2	2	2
Cap, veh/h	210	753	432	455	402	364	402	614	137	305	583	131
Arrive On Green	0.42	0.42	0.42	0.42	0.42	0.42	0.38	0.38	0.38	0.38	0.38	0.38
Sat Flow, veh/h	376	1785	1022	1072	951	861	1157	1626	363	991	1543	348
Grp Volume(v), veh/h	188	0	175	55	0	221	95	0	389	84	0	261
Grp Sat Flow(s),veh/h/ln	1603	0	1580	1072	0	1813	1157	0	1989	991	0	1890
Q Serve(g_s), s	0.7	0.0	6.5	3.2	0.0	7.2	5.8	0.0	13.6	6.4	0.0	9.0
Cycle Q Clear(g_c), s	7.9	0.0	6.5	9.6	0.0	7.2	14.8	0.0	13.6	20.1	0.0	9.0
Prop In Lane	0.28		0.65	1.00		0.48	1.00		0.18	1.00		0.18
Lane Grp Cap(c), veh/h	728	0	667	455	0	765	402	0	751	305	0	714
V/C Ratio(X)	0.26	0.00	0.26	0.12	0.00	0.29	0.24	0.00	0.52	0.28	0.00	0.37
Avail Cap(c_a), veh/h	728	0	667	455	0	765	402	0	751	305	0	714
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	16.7	0.0	16.9	20.0	0.0	17.1	25.5	0.0	21.7	29.4	0.0	20.2
Incr Delay (d2), s/veh	0.9	0.0	1.0	0.5	0.0	1.0	1.4	0.0	2.5	2.2	0.0	1.4
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	2.6	0.0	2.5	0.9	0.0	3.2	1.7	0.0	6.8	1.7	0.0	4.2
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	17.6	0.0	17.8	20.6	0.0	18.1	26.9	0.0	24.2	31.7	0.0	21.7
LnGrp LOS	B	A	B	C	A	B	C	A	C	C	A	C
Approach Vol, veh/h		363			276			484			345	
Approach Delay, s/veh		17.7			18.6			24.7			24.1	
Approach LOS		B			B			C			C	
Timer - Assigned Phs		2		4		6		8				
Phs Duration (G+Y+Rc), s		43.0		47.0		43.0		47.0				
Change Period (Y+Rc), s		9.0		9.0		9.0		9.0				
Max Green Setting (Gmax), s		34.0		38.0		34.0		38.0				
Max Q Clear Time (g_c+I1), s		16.8		9.9		22.1		11.6				
Green Ext Time (p_c), s		2.7		2.5		1.6		1.7				
Intersection Summary												
HCM 6th Ctrl Delay				21.7								
HCM 6th LOS				C								

Intersection						
Int Delay, s/veh	0.3					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	T		T		T	
Traffic Vol, veh/h	2	6	11	457	327	11
Future Vol, veh/h	2	6	11	457	327	11
Conflicting Peds, #/hr	25	18	18	0	0	25
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	60	60	92	92	94	94
Heavy Vehicles, %	0	0	2	2	3	3
Mvmt Flow	3	10	12	497	348	12

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	925	397	385	0	-	0
Stage 1	379	-	-	-	-	-
Stage 2	546	-	-	-	-	-
Critical Hdwy	6.4	6.2	4.12	-	-	-
Critical Hdwy Stg 1	5.4	-	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-	-
Follow-up Hdwy	3.5	3.3	2.218	-	-	-
Pot Cap-1 Maneuver	301	657	1173	-	-	-
Stage 1	696	-	-	-	-	-
Stage 2	584	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	283	627	1145	-	-	-
Mov Cap-2 Maneuver	283	-	-	-	-	-
Stage 1	670	-	-	-	-	-
Stage 2	570	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	12.7	0.2	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1145	-	481	-	-
HCM Lane V/C Ratio	0.01	-	0.028	-	-
HCM Control Delay (s)	8.2	0	12.7	-	-
HCM Lane LOS	A	A	B	-	-
HCM 95th %tile Q(veh)	0	-	0.1	-	-

HCM 6th Signalized Intersection Summary
 1: S Old Woodward Ave & E Brown St

2022 Background Conditions
 PM Peak Hour

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	48	277	208	24	228	37	136	199	71	28	161	40
Future Volume (veh/h)	48	277	208	24	228	37	136	199	71	28	161	40
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	0.96		0.90	0.98		0.87	0.96		0.92	0.98		0.91
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	2000	2000	2000	1984	1984	1984	2048	2048	2048	1984	1984	1984
Adj Flow Rate, veh/h	52	298	224	27	253	41	149	219	78	33	189	47
Peak Hour Factor	0.93	0.93	0.93	0.90	0.90	0.90	0.91	0.91	0.91	0.85	0.85	0.85
Percent Heavy Veh, %	0	0	0	1	1	1	2	2	2	1	1	1
Cap, veh/h	125	690	490	304	632	102	454	578	206	402	617	153
Arrive On Green	0.39	0.39	0.39	0.39	0.39	0.39	0.41	0.41	0.41	0.41	0.41	0.41
Sat Flow, veh/h	202	1773	1260	873	1625	263	1146	1407	501	1066	1501	373
Grp Volume(v), veh/h	319	0	255	27	0	294	149	0	297	33	0	236
Grp Sat Flow(s),veh/h/ln	1802	0	1434	873	0	1888	1146	0	1908	1066	0	1874
Q Serve(g_s), s	0.8	0.0	11.9	2.1	0.0	10.1	9.1	0.0	9.8	2.0	0.0	7.6
Cycle Q Clear(g_c), s	10.9	0.0	11.9	14.0	0.0	10.1	16.7	0.0	9.8	11.8	0.0	7.6
Prop In Lane	0.16		0.88	1.00		0.14	1.00		0.26	1.00		0.20
Lane Grp Cap(c), veh/h	747	0	558	304	0	734	454	0	785	402	0	770
V/C Ratio(X)	0.43	0.00	0.46	0.09	0.00	0.40	0.33	0.00	0.38	0.08	0.00	0.31
Avail Cap(c_a), veh/h	747	0	558	304	0	734	454	0	785	402	0	770
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	20.0	0.0	20.4	25.6	0.0	19.9	23.5	0.0	18.5	22.6	0.0	17.9
Incr Delay (d2), s/veh	1.8	0.0	2.7	0.6	0.0	1.6	1.9	0.0	1.4	0.4	0.0	1.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	5.2	0.0	4.3	0.5	0.0	4.7	2.7	0.0	4.5	0.5	0.0	3.5
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	21.8	0.0	23.1	26.2	0.0	21.5	25.4	0.0	19.9	23.0	0.0	18.9
LnGrp LOS	C	A	C	C	A	C	C	A	B	C	A	B
Approach Vol, veh/h		574			321			446				269
Approach Delay, s/veh		22.4			21.9			21.7				19.4
Approach LOS		C			C			C				B
Timer - Assigned Phs		2		4		6		8				
Phs Duration (G+Y+Rc), s		46.0		44.0		46.0		44.0				
Change Period (Y+Rc), s		9.0		9.0		9.0		9.0				
Max Green Setting (Gmax), s		37.0		35.0		37.0		35.0				
Max Q Clear Time (g_c+l1), s		18.7		13.9		13.8		16.0				
Green Ext Time (p_c), s		2.4		4.0		1.6		1.9				
Intersection Summary												
HCM 6th Ctrl Delay				21.6								
HCM 6th LOS				C								

Intersection						
Int Delay, s/veh	0.6					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	T		L		T	
Traffic Vol, veh/h	3	16	14	403	377	16
Future Vol, veh/h	3	16	14	403	377	16
Conflicting Peds, #/hr	33	33	33	0	0	44
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	60	60	92	92	90	90
Heavy Vehicles, %	0	0	1	1	2	2
Mvmt Flow	5	27	15	438	419	18

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	973	505	481	0	-	0
Stage 1	472	-	-	-	-	-
Stage 2	501	-	-	-	-	-
Critical Hdwy	6.4	6.2	4.11	-	-	-
Critical Hdwy Stg 1	5.4	-	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-	-
Follow-up Hdwy	3.5	3.3	2.209	-	-	-
Pot Cap-1 Maneuver	282	571	1087	-	-	-
Stage 1	632	-	-	-	-	-
Stage 2	613	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	254	524	1041	-	-	-
Mov Cap-2 Maneuver	254	-	-	-	-	-
Stage 1	594	-	-	-	-	-
Stage 2	587	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	13.6	0.3	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1041	-	449	-	-
HCM Lane V/C Ratio	0.015	-	0.071	-	-
HCM Control Delay (s)	8.5	0	13.6	-	-
HCM Lane LOS	A	A	B	-	-
HCM 95th %tile Q(veh)	0	-	0.2	-	-

HCM 6th Signalized Intersection Summary
 1: S Old Woodward Ave & E Brown St

2022 Background Conditions
 SAT Peak Hour

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	50	188	108	41	86	78	90	304	67	75	191	43
Future Volume (veh/h)	50	188	108	41	86	78	90	304	67	75	191	43
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	0.99		0.97	0.99		0.97	0.99		0.98	1.00		0.96
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1984	1984	1984	2000	2000	2000	2064	2064	2064	1969	1969	1969
Adj Flow Rate, veh/h	53	198	114	55	116	105	95	320	71	84	215	48
Peak Hour Factor	0.95	0.95	0.95	0.74	0.74	0.74	0.95	0.95	0.95	0.89	0.89	0.89
Percent Heavy Veh, %	1	1	1	0	0	0	1	1	1	2	2	2
Cap, veh/h	209	754	433	454	402	364	400	615	136	303	584	130
Arrive On Green	0.42	0.42	0.42	0.42	0.42	0.42	0.38	0.38	0.38	0.38	0.38	0.38
Sat Flow, veh/h	374	1786	1026	1070	951	861	1155	1628	361	990	1546	345
Grp Volume(v), veh/h	189	0	176	55	0	221	95	0	391	84	0	263
Grp Sat Flow(s),veh/h/ln	1606	0	1580	1070	0	1813	1155	0	1989	990	0	1891
Q Serve(g_s), s	0.7	0.0	6.5	3.2	0.0	7.2	5.8	0.0	13.7	6.5	0.0	9.0
Cycle Q Clear(g_c), s	7.9	0.0	6.5	9.7	0.0	7.2	14.9	0.0	13.7	20.2	0.0	9.0
Prop In Lane	0.28		0.65	1.00		0.48	1.00		0.18	1.00		0.18
Lane Grp Cap(c), veh/h	729	0	667	454	0	765	400	0	751	303	0	714
V/C Ratio(X)	0.26	0.00	0.26	0.12	0.00	0.29	0.24	0.00	0.52	0.28	0.00	0.37
Avail Cap(c_a), veh/h	729	0	667	454	0	765	400	0	751	303	0	714
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	16.7	0.0	16.9	20.0	0.0	17.1	25.6	0.0	21.7	29.5	0.0	20.2
Incr Delay (d2), s/veh	0.9	0.0	1.0	0.5	0.0	1.0	1.4	0.0	2.6	2.3	0.0	1.5
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	2.6	0.0	2.5	0.9	0.0	3.2	1.7	0.0	6.8	1.7	0.0	4.2
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	17.6	0.0	17.9	20.6	0.0	18.1	27.0	0.0	24.3	31.8	0.0	21.7
LnGrp LOS	B	A	B	C	A	B	C	A	C	C	A	C
Approach Vol, veh/h		365			276			486			347	
Approach Delay, s/veh		17.7			18.6			24.8			24.1	
Approach LOS		B			B			C			C	
Timer - Assigned Phs		2		4		6		8				
Phs Duration (G+Y+Rc), s		43.0		47.0		43.0		47.0				
Change Period (Y+Rc), s		9.0		9.0		9.0		9.0				
Max Green Setting (Gmax), s		34.0		38.0		34.0		38.0				
Max Q Clear Time (g_c+I1), s		16.9		9.9		22.2		11.7				
Green Ext Time (p_c), s		2.7		2.5		1.6		1.7				
Intersection Summary												
HCM 6th Ctrl Delay				21.7								
HCM 6th LOS				C								

Intersection						
Int Delay, s/veh	0.3					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	T		T		T	
Traffic Vol, veh/h	2	6	11	459	329	11
Future Vol, veh/h	2	6	11	459	329	11
Conflicting Peds, #/hr	25	18	18	0	0	25
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	60	60	92	92	94	94
Heavy Vehicles, %	0	0	2	2	3	3
Mvmt Flow	3	10	12	499	350	12

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	929	399	387	0	-	0
Stage 1	381	-	-	-	-	-
Stage 2	548	-	-	-	-	-
Critical Hdwy	6.4	6.2	4.12	-	-	-
Critical Hdwy Stg 1	5.4	-	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-	-
Follow-up Hdwy	3.5	3.3	2.218	-	-	-
Pot Cap-1 Maneuver	300	655	1171	-	-	-
Stage 1	695	-	-	-	-	-
Stage 2	583	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	281	625	1143	-	-	-
Mov Cap-2 Maneuver	281	-	-	-	-	-
Stage 1	668	-	-	-	-	-
Stage 2	569	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	12.7	0.2	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1143	-	479	-	-
HCM Lane V/C Ratio	0.01	-	0.028	-	-
HCM Control Delay (s)	8.2	0	12.7	-	-
HCM Lane LOS	A	A	B	-	-
HCM 95th %tile Q(veh)	0	-	0.1	-	-

HCM 6th Signalized Intersection Summary
 1: S Old Woodward Ave & E Brown St

2022 Future Conditions
 PM Peak Hour

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	48	277	210	27	228	37	137	204	74	28	164	40
Future Volume (veh/h)	48	277	210	27	228	37	137	204	74	28	164	40
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	0.96		0.90	0.98		0.87	0.96		0.92	0.98		0.91
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	2000	2000	2000	1984	1984	1984	2048	2048	2048	1984	1984	1984
Adj Flow Rate, veh/h	52	298	226	30	253	41	151	224	81	33	193	47
Peak Hour Factor	0.93	0.93	0.93	0.90	0.90	0.90	0.91	0.91	0.91	0.85	0.85	0.85
Percent Heavy Veh, %	0	0	0	1	1	1	2	2	2	1	1	1
Cap, veh/h	125	688	493	303	632	102	451	576	208	397	620	151
Arrive On Green	0.39	0.39	0.39	0.39	0.39	0.39	0.41	0.41	0.41	0.41	0.41	0.41
Sat Flow, veh/h	201	1769	1267	871	1625	263	1143	1400	506	1059	1508	367
Grp Volume(v), veh/h	320	0	256	30	0	294	151	0	305	33	0	240
Grp Sat Flow(s),veh/h/ln	1805	0	1432	871	0	1888	1143	0	1907	1059	0	1875
Q Serve(g_s), s	0.8	0.0	11.9	2.4	0.0	10.1	9.3	0.0	10.1	2.0	0.0	7.8
Cycle Q Clear(g_c), s	11.0	0.0	11.9	14.3	0.0	10.1	17.0	0.0	10.1	12.1	0.0	7.8
Prop In Lane	0.16		0.88	1.00		0.14	1.00		0.27	1.00		0.20
Lane Grp Cap(c), veh/h	748	0	557	303	0	734	451	0	784	397	0	771
V/C Ratio(X)	0.43	0.00	0.46	0.10	0.00	0.40	0.33	0.00	0.39	0.08	0.00	0.31
Avail Cap(c_a), veh/h	748	0	557	303	0	734	451	0	784	397	0	771
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	20.0	0.0	20.5	25.8	0.0	19.9	23.6	0.0	18.6	22.8	0.0	17.9
Incr Delay (d2), s/veh	1.8	0.0	2.7	0.7	0.0	1.6	2.0	0.0	1.5	0.4	0.0	1.1
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	5.2	0.0	4.3	0.5	0.0	4.7	2.7	0.0	4.7	0.6	0.0	3.5
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	21.8	0.0	23.2	26.4	0.0	21.5	25.6	0.0	20.0	23.2	0.0	18.9
LnGrp LOS	C	A	C	C	A	C	C	A	C	C	A	B
Approach Vol, veh/h		576			324			456				273
Approach Delay, s/veh		22.4			22.0			21.9				19.5
Approach LOS		C			C			C				B
Timer - Assigned Phs		2		4		6		8				
Phs Duration (G+Y+Rc), s		46.0		44.0		46.0		44.0				
Change Period (Y+Rc), s		9.0		9.0		9.0		9.0				
Max Green Setting (Gmax), s		37.0		35.0		37.0		35.0				
Max Q Clear Time (g_c+I1), s		19.0		13.9		14.1		16.3				
Green Ext Time (p_c), s		2.5		4.1		1.6		1.9				
Intersection Summary												
HCM 6th Ctrl Delay				21.7								
HCM 6th LOS				C								

Intersection						
Int Delay, s/veh	1.1					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	12	20	17	403	377	24
Future Vol, veh/h	12	20	17	403	377	24
Conflicting Peds, #/hr	33	33	33	0	0	44
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	60	60	92	92	90	90
Heavy Vehicles, %	0	0	1	1	2	2
Mvmt Flow	20	33	18	438	419	27

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	984	510	490	0	-	0
Stage 1	477	-	-	-	-	-
Stage 2	507	-	-	-	-	-
Critical Hdwy	6.4	6.2	4.11	-	-	-
Critical Hdwy Stg 1	5.4	-	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-	-
Follow-up Hdwy	3.5	3.3	2.209	-	-	-
Pot Cap-1 Maneuver	278	567	1078	-	-	-
Stage 1	629	-	-	-	-	-
Stage 2	609	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	249	520	1033	-	-	-
Mov Cap-2 Maneuver	249	-	-	-	-	-
Stage 1	589	-	-	-	-	-
Stage 2	583	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	16.4	0.3	0
HCM LOS	C		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1033	-	369	-	-
HCM Lane V/C Ratio	0.018	-	0.145	-	-
HCM Control Delay (s)	8.5	0	16.4	-	-
HCM Lane LOS	A	A	C	-	-
HCM 95th %tile Q(veh)	0.1	-	0.5	-	-

Intersection						
Int Delay, s/veh	1.8					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↕	↕		↕	
Traffic Vol, veh/h	1	19	30	11	13	1
Future Vol, veh/h	1	19	30	11	13	1
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	1	21	33	12	14	1

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	45	0	-	0	62 39
Stage 1	-	-	-	-	39 -
Stage 2	-	-	-	-	23 -
Critical Hdwy	4.12	-	-	-	6.42 6.22
Critical Hdwy Stg 1	-	-	-	-	5.42 -
Critical Hdwy Stg 2	-	-	-	-	5.42 -
Follow-up Hdwy	2.218	-	-	-	3.518 3.318
Pot Cap-1 Maneuver	1563	-	-	-	944 1033
Stage 1	-	-	-	-	983 -
Stage 2	-	-	-	-	1000 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	1563	-	-	-	943 1033
Mov Cap-2 Maneuver	-	-	-	-	943 -
Stage 1	-	-	-	-	982 -
Stage 2	-	-	-	-	1000 -

Approach	EB	WB	SB
HCM Control Delay, s	0.4	0	8.9
HCM LOS			A

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1563	-	-	-	949
HCM Lane V/C Ratio	0.001	-	-	-	0.016
HCM Control Delay (s)	7.3	0	-	-	8.9
HCM Lane LOS	A	A	-	-	A
HCM 95th %tile Q(veh)	0	-	-	-	0

HCM 6th Signalized Intersection Summary
 1: S Old Woodward Ave & E Brown St

2022 Future Conditions
 SAT Peak Hour

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	50	188	112	49	86	78	91	315	74	75	197	43
Future Volume (veh/h)	50	188	112	49	86	78	91	315	74	75	197	43
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	0.99		0.97	0.99		0.97	0.99		0.98	1.00		0.96
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1984	1984	1984	2000	2000	2000	2064	2064	2064	1969	1969	1969
Adj Flow Rate, veh/h	53	198	118	66	116	105	96	332	78	84	221	48
Peak Hour Factor	0.95	0.95	0.95	0.74	0.74	0.74	0.95	0.95	0.95	0.89	0.89	0.89
Percent Heavy Veh, %	1	1	1	0	0	0	1	1	1	2	2	2
Cap, veh/h	207	747	443	452	402	364	396	607	143	290	587	128
Arrive On Green	0.42	0.42	0.42	0.42	0.42	0.42	0.38	0.38	0.38	0.38	0.38	0.38
Sat Flow, veh/h	370	1769	1049	1066	951	861	1149	1608	378	973	1555	338
Grp Volume(v), veh/h	192	0	177	66	0	221	96	0	410	84	0	269
Grp Sat Flow(s),veh/h/ln	1614	0	1574	1066	0	1813	1149	0	1986	973	0	1893
Q Serve(g_s), s	0.7	0.0	6.6	3.9	0.0	7.2	6.0	0.0	14.6	6.7	0.0	9.3
Cycle Q Clear(g_c), s	7.9	0.0	6.6	10.5	0.0	7.2	15.2	0.0	14.6	21.2	0.0	9.3
Prop In Lane	0.28		0.67	1.00		0.48	1.00		0.19	1.00		0.18
Lane Grp Cap(c), veh/h	733	0	665	452	0	765	396	0	750	290	0	715
V/C Ratio(X)	0.26	0.00	0.27	0.15	0.00	0.29	0.24	0.00	0.55	0.29	0.00	0.38
Avail Cap(c_a), veh/h	733	0	665	452	0	765	396	0	750	290	0	715
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	16.7	0.0	16.9	20.3	0.0	17.1	25.8	0.0	22.0	30.3	0.0	20.3
Incr Delay (d2), s/veh	0.9	0.0	1.0	0.7	0.0	1.0	1.5	0.0	2.9	2.5	0.0	1.5
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	2.7	0.0	2.5	1.0	0.0	3.2	1.8	0.0	7.2	1.8	0.0	4.3
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	17.6	0.0	17.9	21.0	0.0	18.1	27.3	0.0	24.8	32.8	0.0	21.8
LnGrp LOS	B	A	B	C	A	B	C	A	C	C	A	C
Approach Vol, veh/h		369			287			506			353	
Approach Delay, s/veh		17.7			18.7			25.3			24.4	
Approach LOS		B			B			C			C	
Timer - Assigned Phs		2		4		6		8				
Phs Duration (G+Y+Rc), s		43.0		47.0		43.0		47.0				
Change Period (Y+Rc), s		9.0		9.0		9.0		9.0				
Max Green Setting (Gmax), s		34.0		38.0		34.0		38.0				
Max Q Clear Time (g_c+I1), s		17.2		9.9		23.2		12.5				
Green Ext Time (p_c), s		2.9		2.6		1.5		1.7				
Intersection Summary												
HCM 6th Ctrl Delay				22.0								
HCM 6th LOS				C								

Intersection						
Int Delay, s/veh	1.2					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	T		T		T	
Traffic Vol, veh/h	21	12	21	459	329	29
Future Vol, veh/h	21	12	21	459	329	29
Conflicting Peds, #/hr	25	18	18	0	0	25
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	60	60	92	92	94	94
Heavy Vehicles, %	0	0	2	2	3	3
Mvmt Flow	35	20	23	499	350	31

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	961	409	406	0	-	0
Stage 1	391	-	-	-	-	-
Stage 2	570	-	-	-	-	-
Critical Hdwy	6.4	6.2	4.12	-	-	-
Critical Hdwy Stg 1	5.4	-	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-	-
Follow-up Hdwy	3.5	3.3	2.218	-	-	-
Pot Cap-1 Maneuver	287	647	1153	-	-	-
Stage 1	688	-	-	-	-	-
Stage 2	570	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	266	617	1126	-	-	-
Mov Cap-2 Maneuver	266	-	-	-	-	-
Stage 1	653	-	-	-	-	-
Stage 2	556	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	17.8	0.4	0
HCM LOS	C		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1126	-	335	-	-
HCM Lane V/C Ratio	0.02	-	0.164	-	-
HCM Control Delay (s)	8.3	0	17.8	-	-
HCM Lane LOS	A	A	C	-	-
HCM 95th %tile Q(veh)	0.1	-	0.6	-	-

Intersection						
Int Delay, s/veh	2.9					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↕	↕		↕	
Traffic Vol, veh/h	3	8	22	28	25	1
Future Vol, veh/h	3	8	22	28	25	1
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	3	9	24	30	27	1

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	54	0	-	0	54 39
Stage 1	-	-	-	-	39 -
Stage 2	-	-	-	-	15 -
Critical Hdwy	4.12	-	-	-	6.42 6.22
Critical Hdwy Stg 1	-	-	-	-	5.42 -
Critical Hdwy Stg 2	-	-	-	-	5.42 -
Follow-up Hdwy	2.218	-	-	-	3.518 3.318
Pot Cap-1 Maneuver	1551	-	-	-	954 1033
Stage 1	-	-	-	-	983 -
Stage 2	-	-	-	-	1008 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	1551	-	-	-	952 1033
Mov Cap-2 Maneuver	-	-	-	-	952 -
Stage 1	-	-	-	-	981 -
Stage 2	-	-	-	-	1008 -

Approach	EB	WB	SB
HCM Control Delay, s	2	0	8.9
HCM LOS			A

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1551	-	-	-	955
HCM Lane V/C Ratio	0.002	-	-	-	0.03
HCM Control Delay (s)	7.3	0	-	-	8.9
HCM Lane LOS	A	A	-	-	A
HCM 95th %tile Q(veh)	0	-	-	-	0.1

MICROSIMULATION OUTPUT REPORTS

Queuing and Blocking Report
 2021 Existing Conditions

02/23/2021

Intersection: 1: S Old Woodward Ave & E Brown St

Movement	EB	EB	WB	WB	NB	NB	SB	SB
Directions Served	LT	TR	L	TR	L	TR	L	TR
Maximum Queue (ft)	236	179	113	220	120	186	64	173
Average Queue (ft)	119	89	27	110	73	117	20	75
95th Queue (ft)	195	155	78	190	128	191	49	136
Link Distance (ft)	488	488		227		173		392
Upstream Blk Time (%)				0		2		
Queuing Penalty (veh)				0		8		
Storage Bay Dist (ft)			90		75		150	
Storage Blk Time (%)			0	15	11	22		1
Queuing Penalty (veh)			0	4	30	29		0

Intersection: 2: S Old Woodward Ave & Daines St

Movement	EB	NB	SB
Directions Served	LR	LT	TR
Maximum Queue (ft)	45	150	93
Average Queue (ft)	13	36	21
95th Queue (ft)	37	106	66
Link Distance (ft)	465	373	173
Upstream Blk Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk Time (%)			
Queuing Penalty (veh)			

Zone Summary

Zone wide Queuing Penalty: 72

Queuing and Blocking Report
 2021 Existing Conditions

02/23/2021

Intersection: 1: S Old Woodward Ave & E Brown St

Movement	EB	EB	WB	WB	NB	NB	SB	SB
Directions Served	LT	TR	L	TR	L	TR	L	TR
Maximum Queue (ft)	161	135	85	164	120	185	124	168
Average Queue (ft)	80	46	25	64	62	144	51	90
95th Queue (ft)	135	93	65	125	126	212	97	149
Link Distance (ft)	488	488		227		173		392
Upstream Blk Time (%)				0		5		
Queuing Penalty (veh)				0		23		
Storage Bay Dist (ft)			90		75		150	
Storage Blk Time (%)			0	4	7	32	0	1
Queuing Penalty (veh)			0	2	26	29	0	1

Intersection: 2: S Old Woodward Ave & Daines St

Movement	EB	NB	SB
Directions Served	LR	LT	TR
Maximum Queue (ft)	31	148	58
Average Queue (ft)	5	38	8
95th Queue (ft)	23	104	37
Link Distance (ft)	465	373	173
Upstream Blk Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk Time (%)			
Queuing Penalty (veh)			

Zone Summary

Zone wide Queuing Penalty: 79

Queuing and Blocking Report
2022 Background Conditions

02/23/2021

Intersection: 1: S Old Woodward Ave & E Brown St

Movement	EB	EB	WB	WB	NB	NB	SB	SB
Directions Served	LT	TR	L	TR	L	TR	L	TR
Maximum Queue (ft)	201	185	118	224	119	185	112	184
Average Queue (ft)	121	89	29	103	72	115	23	81
95th Queue (ft)	189	161	80	180	125	190	65	157
Link Distance (ft)	488	488		227		173		392
Upstream Blk Time (%)				0		2		
Queuing Penalty (veh)				0		10		
Storage Bay Dist (ft)			90		75		150	
Storage Blk Time (%)			1	12	12	19		1
Queuing Penalty (veh)			3	3	32	26		0

Intersection: 2: S Old Woodward Ave & Daines St

Movement	EB	NB	SB
Directions Served	LR	LT	TR
Maximum Queue (ft)	31	134	103
Average Queue (ft)	11	29	17
95th Queue (ft)	33	86	63
Link Distance (ft)	465	373	173
Upstream Blk Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk Time (%)			
Queuing Penalty (veh)			

Zone Summary

Zone wide Queuing Penalty: 75

Queuing and Blocking Report
2022 Background Conditions

02/23/2021

Intersection: 1: S Old Woodward Ave & E Brown St

Movement	EB	EB	WB	WB	NB	NB	SB	SB
Directions Served	LT	TR	L	TR	L	TR	L	TR
Maximum Queue (ft)	151	135	78	130	120	185	97	160
Average Queue (ft)	82	44	25	58	68	145	45	91
95th Queue (ft)	131	91	61	111	132	212	88	145
Link Distance (ft)	488	488		227		173		392
Upstream Blk Time (%)						5		
Queuing Penalty (veh)						24		
Storage Bay Dist (ft)			90		75		150	
Storage Blk Time (%)			0	3	7	33		0
Queuing Penalty (veh)			0	1	27	29		0

Intersection: 2: S Old Woodward Ave & Daines St

Movement	EB	NB	SB
Directions Served	LR	LT	TR
Maximum Queue (ft)	27	156	82
Average Queue (ft)	7	37	10
95th Queue (ft)	25	108	47
Link Distance (ft)	465	373	173
Upstream Blk Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk Time (%)			
Queuing Penalty (veh)			

Zone Summary

Zone wide Queuing Penalty: 82

Intersection: 1: S Old Woodward Ave & E Brown St

Movement	EB	EB	WB	WB	NB	NB	SB	SB
Directions Served	LT	TR	L	TR	L	TR	L	TR
Maximum Queue (ft)	218	203	113	209	120	186	89	175
Average Queue (ft)	124	91	26	102	80	124	22	78
95th Queue (ft)	196	169	74	180	136	200	65	144
Link Distance (ft)	488	488		227		173		392
Upstream Blk Time (%)				1		4		
Queuing Penalty (veh)				0		16		
Storage Bay Dist (ft)			90		75		150	
Storage Blk Time (%)			0	11	10	24		1
Queuing Penalty (veh)			1	3	28	33		0

Intersection: 2: S Old Woodward Ave & Daines St

Movement	EB	NB	SB
Directions Served	LR	LT	TR
Maximum Queue (ft)	60	164	92
Average Queue (ft)	17	40	17
95th Queue (ft)	43	110	63
Link Distance (ft)	86	373	173
Upstream Blk Time (%)	0		
Queuing Penalty (veh)	0		
Storage Bay Dist (ft)			
Storage Blk Time (%)			
Queuing Penalty (veh)			

Intersection: 101: Daines St & Site Driveway

Movement	SB
Directions Served	LR
Maximum Queue (ft)	29
Average Queue (ft)	12
95th Queue (ft)	36
Link Distance (ft)	121
Upstream Blk Time (%)	
Queuing Penalty (veh)	
Storage Bay Dist (ft)	
Storage Blk Time (%)	
Queuing Penalty (veh)	

Zone Summary

Zone wide Queuing Penalty: 82

Intersection: 1: S Old Woodward Ave & E Brown St

Movement	EB	EB	WB	WB	NB	NB	SB	SB
Directions Served	LT	TR	L	TR	L	TR	L	TR
Maximum Queue (ft)	163	120	124	187	120	186	147	216
Average Queue (ft)	87	47	36	65	63	157	53	104
95th Queue (ft)	145	96	88	133	131	217	111	182
Link Distance (ft)	488	488		227		173		392
Upstream Blk Time (%)				0		10		
Queuing Penalty (veh)				0		47		
Storage Bay Dist (ft)			90		75		150	
Storage Blk Time (%)			1	3	4	38		2
Queuing Penalty (veh)			1	2	17	35		2

Intersection: 2: S Old Woodward Ave & Daines St

Movement	EB	NB	SB
Directions Served	LR	LT	TR
Maximum Queue (ft)	65	172	122
Average Queue (ft)	21	56	16
95th Queue (ft)	51	142	68
Link Distance (ft)	92	373	173
Upstream Blk Time (%)	1		0
Queuing Penalty (veh)	0		0
Storage Bay Dist (ft)			
Storage Blk Time (%)			
Queuing Penalty (veh)			

Intersection: 101: Daines St & Site Driveway

Movement	EB	SB
Directions Served	LT	LR
Maximum Queue (ft)	6	35
Average Queue (ft)	0	17
95th Queue (ft)	4	42
Link Distance (ft)	338	131
Upstream Blk Time (%)		
Queuing Penalty (veh)		
Storage Bay Dist (ft)		
Storage Blk Time (%)		
Queuing Penalty (veh)		

Zone Summary

Zone wide Queuing Penalty: 104

CRASH ANALYSIS / UD-10 FORMS

SANITIZED

Authority: 1949 PA 300, Sec.257.622
Compliance: Required MSP UD-10E
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 0640481
Crash ID 9667103

Page 01 of 01
File Class 93001

STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900	Department Name Birmingham Police Department			Incident # 160002842		
Crash Date 03/14/2016	Crash Time 07:18	No. of Units 02	Crash Type Angle	Special Circumstances <input checked="" type="checkbox"/> None <input type="checkbox"/> Fleeting Police <input type="checkbox"/> Hit and Run <input type="checkbox"/> Unknown <input type="checkbox"/> School Bus <input type="checkbox"/> Animal	Special Checks <input type="checkbox"/> Fatal <input type="checkbox"/> Non-Traffic Area <input type="checkbox"/> ORV/Snowmobile	
County 63 - Oakland	Traffic Control Signal	Relation to Roadway On Road		Weather Fog	Area INTR Within Intersection	
City/Twp 80 - Birmingham	Contributing Circumstances 1st		2nd	Light Dark-Lighted	Road Surface Condition Wet	Total Lanes 03
Work Zone (if applicable) Type	Workers Present	Activity	Location			

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway	
	Distance / Direction AT		Trafficway Not Physically Divided			
	Prefix E	Intersecting Road Name BROWN	Road Type ST	Suffix	Divided Roadway	

UNIT/DRIVER	Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (45)	License Type <input checked="" type="checkbox"/> Operator <input type="checkbox"/> Chauffeur <input type="checkbox"/> Moped	Endorsements <input type="checkbox"/> Cycle <input type="checkbox"/> Farm <input type="checkbox"/> Recreation	Sex M	Total Occupants 02	Hazardous Action Failed to Yield	
	Unit Type MV	Driver Information ##### ##### SOUTHFIELD, MI 48076-7733 (###) ###-####				Driver is Owner Injury O	Position Front - Left		Restraint Shoulder and Lap Belt		
	Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By		Ejected	Trapped	Airbag Deployed Not Deployed
	Hospital REFUSED				Ambulance REFUSED						
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="checkbox"/> Breath <input type="checkbox"/> Blood <input type="checkbox"/> Urine <input type="checkbox"/> Field <input type="checkbox"/> PBT <input type="checkbox"/> Refused <input checked="" type="checkbox"/> Not Offered			Alcohol Test Results <input type="checkbox"/> Pending Test Results:		Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="checkbox"/> Blood <input type="checkbox"/> Urine <input type="checkbox"/> Field <input type="checkbox"/> Refused <input type="checkbox"/> Not Offered			Drug Test Results <input type="checkbox"/> Pending Test Results:		Citation Issued <input checked="" type="checkbox"/> Hazardous <input type="checkbox"/> Other			
	Vehicle Registration #####	State MI	Vehicle Description Year 2015	Make DODGE	Model JOURNEY	Color BLACK					
	VIN #####	Vehicle Type Passenger Car, SUV, Van	Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect						
	Insurance Company #####		Insurance Policy # #####		Towed By PRIVATE, FARM BUREAU			Towed To			
	Location of Greatest Damage 08	First Impact 08	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction E	Vehicle Use Private		Action Prior Turning Left			
Sequence of Events First ● 17 - Motor Veh in Transport				Second		Third		Fourth			

PASSENGERS	Passenger Information ##### ##### (###) ###-####			Date of Birth (Age) ###/###/#### (29)	Sex F	Position Front - Right	Restraint Shoulder and Lap Belt
	Injury O	Ejected	Trapped	Airbag Deployed Not Equipped			
	Hospital REFUSED			Ambulance REFUSED			
	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
	Injury	Ejected	Trapped	Airbag Deployed			
	Hospital			Ambulance			

TRUCK/BUS	Carrier Information		USDOT	MC	MPSC
	Driver's CDL Type		Endorsements OH OP OT ON OS OX	CDL Exempt <input type="checkbox"/> Farm <input type="checkbox"/> Other	
	GVWR/GCWR <input type="checkbox"/> 10,000 lbs. or Less <input type="checkbox"/> 10,001 - 26,000 lbs. <input type="checkbox"/> Greater than 26,000 lbs.	Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="checkbox"/> Placard <input type="checkbox"/> Cargo Spill

OWNERS	Owner Information		Owner Information	
	Damaged Property		Public	Owner & Phone

SANITIZED

Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (23)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action None	
Unit Type MV	Driver Information ##### BINGHAM FARMS, MI 48025-4614 (###) ###-####			Driver is Owner Injury O	Position Front - Left		Restraint Shoulder and Lap Belt			
Driver Condition at Time of Crash 1st Appeared Normal				2nd Driver Distracted By		Ejected	Trapped	Airbag Deployed Not Deployed		
Hospital NONE				Ambulance NONE						
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No			
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other			
Vehicle Registration #####	State MI	Vehicle Description 2007	Year	Make SAAB	Model 9/5	Color GRAY				
VIN #####	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type	Vehicle Defect				
Insurance Company #####		Insurance Policy # #####		Towed By BOB ADAMS		Towed To				
Location of Greatest Damage 08	First Impact 08	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction W	Vehicle Use Private		Action Prior Going Straight Ahead			
Sequence of Events ● 17 - Motor Veh in Transport				First		Second		Third		Fourth

PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint	
	Injury	Ejected	Trapped	Airbag Deployed				
	Hospital			Ambulance				
	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint	
PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint	
	Injury	Ejected	Trapped	Airbag Deployed				
	Hospital			Ambulance				
	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint	
PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint	
	Injury	Ejected	Trapped	Airbag Deployed				
	Hospital			Ambulance				

TRUCK/BUS	Carrier Information			USDOT	MC	MPSC	
	Driver's CDL Type			Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X		CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other	
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.	Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information			Owner Information			
	Witness Information			Witness Information			

Investigated at Scene Yes	Reported Date (Time) 05/10/2016 (13:06)	1st Investigator Name (Badge) R. KEARNEY (8)	2nd Investigator Name (Badge)	Photos No
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Narrative UNIT 2 WAS STRAIGHT AHEAD ON W/B BROWN WITH A GREEN LIGHT. UNIT 1 ATTEMPTED TO MAKE A LEFT TURN FROM E/B BROWN ONTO N/B S OLD WOODWARD. UNIT 1 TURNED IN FRONT OF UNIT 2, CAUSING A COLLISION. DRIVER OF UNIT 1 ISSUED FOR FAIL TO YIELD/ACCIDENT. NO INJURIES REPORTED. NO WITNESSES.	Diagram
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SANITIZED

Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (81)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 01	Hazardous Action None
Unit Type MV	Driver Information ##### BLOOMFIELD HILLS, MI 48304-5141 (###) ###-####			Driver is Owner Yes	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt		
Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted	Ejected	Trapped	Airbag Deployed Not Deployed
Hospital NONE					Ambulance NONE				
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending	Test Results:	Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending	Test Results:	Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
Vehicle Registration #####	State MI	Vehicle Description 2009 FORD	Year	Make	Model ESCAPE	Color RED			
VIN #####	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type	Vehicle Defect			
Insurance Company #####		Insurance Policy # #####		Towed By		Towed To			
Location of Greatest Damage 02	First Impact 02	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction N	Vehicle Use Private	Action Prior Going Straight Ahead			
Sequence of Events ● 17 - Motor Veh in Transport			First		Second		Third		Fourth

PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint		
				Injury	Ejected	Trapped	Airbag Deployed		
	Hospital			Ambulance					
	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint		
			Injury	Ejected	Trapped	Airbag Deployed			
Hospital			Ambulance						
Passenger Information			Date of Birth (Age)	Sex	Position	Restraint			
			Injury	Ejected	Trapped	Airbag Deployed			
Hospital			Ambulance						

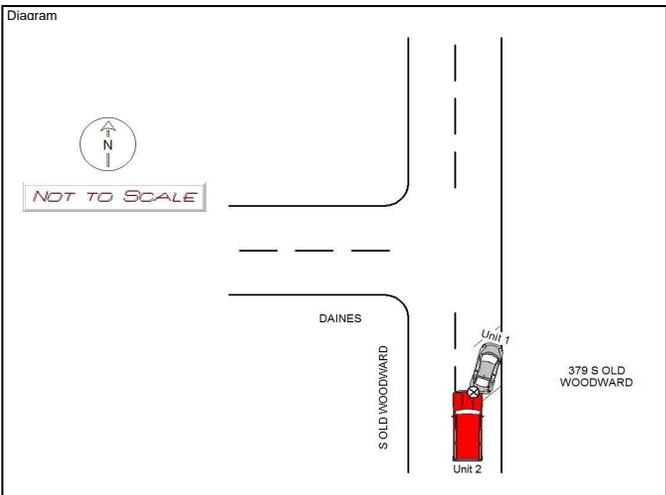
TRUCK/BUS	Carrier Information			USDOT	MC	MPSC	
				Driver's CDL Type	Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other	
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #	Class #

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####			Owner Information		

WITNESS	Witness Information			Witness Information		

Investigated at Scene Yes	Reported Date (Time) 03/26/2017 (12:33)	1st Investigator Name (Badge) HILL (68)	2nd Investigator Name (Badge)	Photos No
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Narrative
UNIT 2 WAS TRAVELING NORTH ON SOUTH OLD WOODWARD NEAR DAINES. UNIT 2 WAS THEN STRUCK BY UNIT 1 WHILE UNIT 1 WAS BACKING FROM A PARKING SPACE IN FRONT OF 379 S OLD WOODWARD. THERE WAS MINOR DAMAGE TO THE REAR OF UNIT 1 AND FRONT OF UNIT 2. UNIT 1 WAS CITED FOR UNSAFE/IMPROPER BACKING CAUSING AN ACCIDENT.



SANITIZED

Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/##/#### (17)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action None		
Unit Type MV	Driver Information ##### ##### BLOOMFIELD, MI 48301-2268 (###) ###-####			Driver is Owner No	Injury O	Position Front - Left	Restraint Restraint Use Unknown				
Driver Condition at Time of Crash 1st Appeared Normal				2nd Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed			
Hospital NONE				Ambulance NONE							
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending	Test Results:	Interlock Device No				
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending	Test Results:	Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other				
Vehicle Registration #####	State MI	Vehicle Description 2017 FORD	Year	Make	Model F150	Color GRAY					
VIN #####	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type	Vehicle Defect					
Insurance Company #####		Insurance Policy # #####		Towed By		Towed To					
Location of Greatest Damage 04	First Impact 04	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction N	Vehicle Use Private	Action Prior Stopped on Roadway					
Sequence of Events ● 17 - Motor Veh in Transport				First		Second		Third		Fourth	
● indicates MOST harmful event											

PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint		
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint		
				Injury	Ejected	Trapped	Airbag Deployed			
Hospital				Ambulance						
Passenger Information				Date of Birth (Age)	Sex	Position	Restraint			
				Injury	Ejected	Trapped	Airbag Deployed			
Hospital				Ambulance						

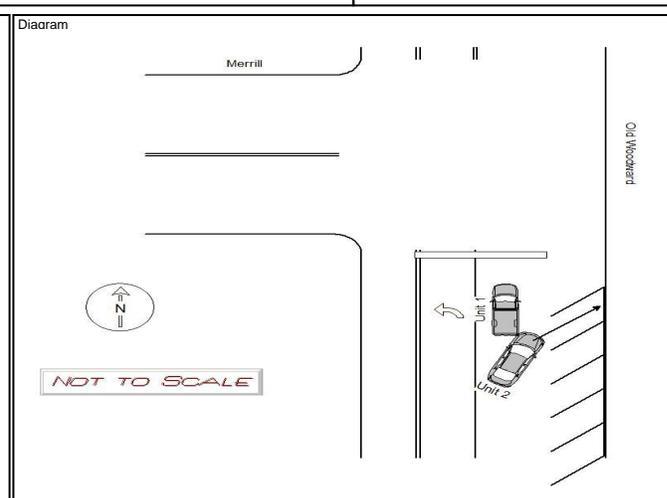
TRUCK/BUS	Carrier Information				USDOT	MC	MPSC		
					Driver's CDL Type	Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other		
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information			
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WITNESS	Witness Information				Witness Information			
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Investigated at Scene Yes	Reported Date (Time) 06/04/2017 (00:18)	1st Investigator Name (Badge) ZALE (63)	2nd Investigator Name (Badge)	Photos No
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Narrative
DRIVER OF UNIT 1 STATED HE WAS STOPPED AT THE LIGHT AT OLD WOODWARD AND MERRILL WHEN A VEHICLE STRUCK HIS RIGHT TAILLIGHT WHILE IT WAS ENTERING PARKING. DRIVER OF UNIT 1 STATED HE GOT OUT AND CHECKED FOR DAMAGE AND INITIALLY DID NOT LOCATE ANY. DRIVER OF UNIT 1 STATED HE HAD CONTACT WITH DRIVER OF UNIT 2. DRIVER OF UNIT 1 STATED HE DID NOT EXCHANGE INFO WITH DRIVER OF UNIT 2 BECAUSE HE DID NOT SEE DAMAGE. \NNDRIVER OF UNIT 1 LATER NOTICED A CRACK IN HIS TAILLIGHT AND SCRATCH IN THE PAINT WHEN HE CHECKED HIS VEHICLE A SECOND TIME. DRIVER OF UNIT 1 THEN CONTACTED BIPD TO REPORT THE DAMAGE/ACCIDENT.\NNDRIVER OF UNIT 2 WAS DESCRIBED AS AN APPROXIMATELY 50 Y/O WHITE MALE DRIVING A VEHICLE (POSSIBLY AUDI) WHO LEFT NB ON OLD WOODWARD. \NNI CHECKED THE DISPATCH CAMERA WHICH WAS NOT POINTED IN THE DIRECTION OF THE ACCIDENT.



SANITIZED

Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (46)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 03	Hazardous Action None
Unit Type MV	Driver Information ##### ##### ROYAL OAK, MI 48067-2931 (###) ###-####			Driver is Owner No	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt		
Driver Condition at Time of Crash 1st Appeared Normal				2nd Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed	
Hospital NONE				Ambulance NONE					
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
Vehicle Registration #####	State MI	Vehicle Description 2017	Year 2017	Make LINCOLN	Model MKZ	Color RED			
VIN #####	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type	Vehicle Defect			
Insurance Company #####		Insurance Policy # #####		Towed By BOB ADAMS TOWING		Towed To			
Location of Greatest Damage 02	First Impact 02	Extent of Damage (Power Unit and/or Trailers) Disabling Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Going Straight Ahead		
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)			Second		Third		Fourth		

Passenger Information ##### ##### BRENTWOOD, TN ### (###) ###-####			Date of Birth (Age) ###/###/#### (76)	Sex F	Position 2nd Row - Right	Restraint Shoulder and Lap Belt		
Hospital REFUSED			Ambulance REFUSED					
Passenger Information ##### ##### BRENTWOOD, TN ### (###) ###-####			Date of Birth (Age) ###/###/#### (73)	Sex M	Position Front - Right	Restraint Shoulder and Lap Belt		
Hospital REFUSED			Ambulance REFUSED					
Passenger Information			Date of Birth (Age)	Sex	Position	Restraint		
Hospital			Ambulance					

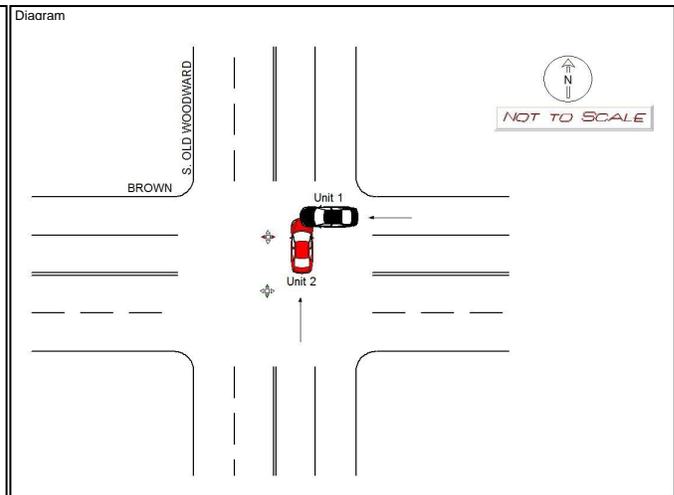
Carrier Information			USDOT	MC	MPSC			
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.			Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #	Class #

Owner Information	Owner Information
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Witness Information	Witness Information
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Investigated at Scene Yes	Reported Date (Time) 09/10/2017 (13:53)	1st Investigator Name (Badge) PEDERSEN (62)	2nd Investigator Name (Badge)	Photos No
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Narrative
 UNIT 1 WAS TRAVELING WEST ON BROWN WHEN IT DISREGARDED THE RED TRAFFIC SIGNAL AT OLD WOODWARD AND STRUCK UNIT 2. UNIT 1 HAD FRONT LEFT DAMAGE, U2 HAD FRONT RIGHT DAMAGE. BOTH VEHICLES TOWED. A PASSENGER OF U2 EVALUATED BY BIFD FOR FACE PAIN. DRIVER OF U1 CITED.



SANITIZED

Unit Number 02	Unit Known No	State Driver License Number #####	Date of Birth (Age) ##/##/####	License Type <input type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	Total Occupants 00	Hazardous Action
Unit Type MV	Driver Information ##### ##### (###) ###-####			Driver is Owner No	Injury	Position	Restraint	
Driver Condition at Time of Crash 1st 2nd			Driver Distracted By Unknown			Ejected	Trapped	Airbag Deployed
Hospital NONE				Ambulance NONE				
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input type="radio"/> Not Offered		Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered		Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
Vehicle Registration BRY6616	State MI	Vehicle Description Year 2008	Make JEEP	Model GRAND CHEROKEE		Color BLACK		
VIN 1J8GR48K68C240691	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect			
Insurance Company #####		Insurance Policy # #####		Towed By BOB ADAMS TOWING		Towed To		
Location of Greatest Damage 08	First Impact 08	Extent of Damage (Power Unit and/or Trailers) Disabling Damage	Vehicle Direction W	Vehicle Use Private		Action Prior Parked		
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)			Second	Third	Fourth			

PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
				Injury	Ejected	Trapped	Airbag Deployed
	Hospital			Ambulance			
	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
			Injury	Ejected	Trapped	Airbag Deployed	
Hospital			Ambulance				
Passenger Information			Date of Birth (Age)	Sex	Position	Restraint	
			Injury	Ejected	Trapped	Airbag Deployed	
Hospital			Ambulance				

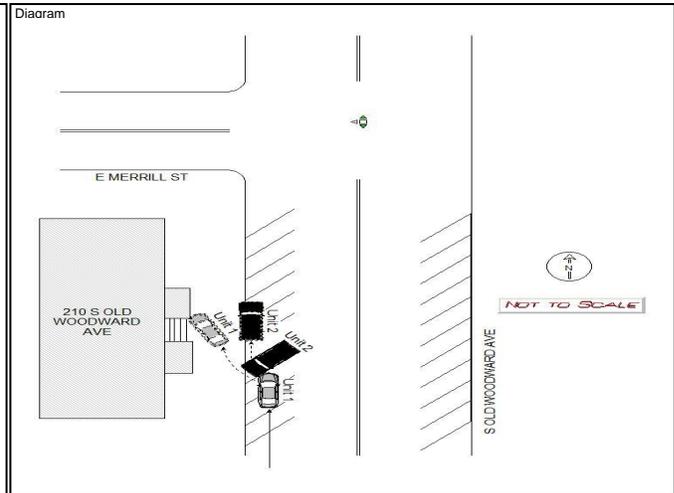
TRUCK/BUS	Carrier Information			USDOT	MC	MPSC
				Driver's CDL Type	Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.	Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####			Owner Information		

WITNESS	Witness Information ##### ##### #####, ## #####-#### (###) ###-####			Witness Information		

Investigated at Scene Yes	Reported Date (Time) 10/28/2017 (02:24)	1st Investigator Name (Badge) SYTS (66)	2nd Investigator Name (Badge) BOUCHARD (72)	Photos No
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Narrative
 UNIT 1 WAS TRAVELING N/B IN THE S/B ROADSIDE ANGLED PARKING SPACES ON S OLD WOODWARD AVE. UNIT 2 WAS LEGALLY PARKED IN THE ANGLED PARKING SPACES ON THE S/B SIDE OF S OLD WOODWARD. UNIT 1 STRUCK UNIT 2 ON THE DRIVER SIDE FRONT CAUSING SEVERE WHEEL DAMAGE TO UNIT 2 AND SEVERE FRONT END DAMAGE TO UNIT 1. AFTER THE COLLISION UNIT 1 WENT OFF THE ROADWAY AND STRUCK THE BUILDING AT 210 S OLD WOODWARD. THE DRIVER OF UNIT 1 WAS ARRESTED FOR OWI.



SANITIZED

Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (65)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action None
Unit Type MV	Driver Information ##### ##### BIRMINGHAM, MI 48009-3018 (###) ###-####			Driver is Owner Yes	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt		
Driver Condition at Time of Crash 1st Appeared Normal				2nd Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed	
Hospital NONE				Ambulance NONE					
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending	Test Results:	Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending	Test Results:	Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
Vehicle Registration 1JND1	State MI	Vehicle Description	Year 2013	Make PORSCHE	Model CAYENNE	Color WHITE			
VIN WP1AC2A2XDLA91420	Vehicle Type Passenger Car, SUV, Van	Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect					
Insurance Company #####	Insurance Policy # #####	Towed By			Towed To				
Location of Greatest Damage 01	First Impact 01	Extent of Damage (Power Unit and/or Trailers) Functional Damage	Vehicle Direction N	Vehicle Use Private	Action Prior Stopped on Roadway				
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)		First	Second	Third	Fourth				

PASSENGERS	Passenger Information	Date of Birth (Age)	Sex	Position	Restraint
	Injury	Ejected	Trapped	Airbag Deployed	
Hospital	Ambulance				
Passenger Information	Date of Birth (Age)	Sex	Position	Restraint	
Injury	Ejected	Trapped	Airbag Deployed		
Hospital	Ambulance				
Passenger Information	Date of Birth (Age)	Sex	Position	Restraint	
Injury	Ejected	Trapped	Airbag Deployed		
Hospital	Ambulance				

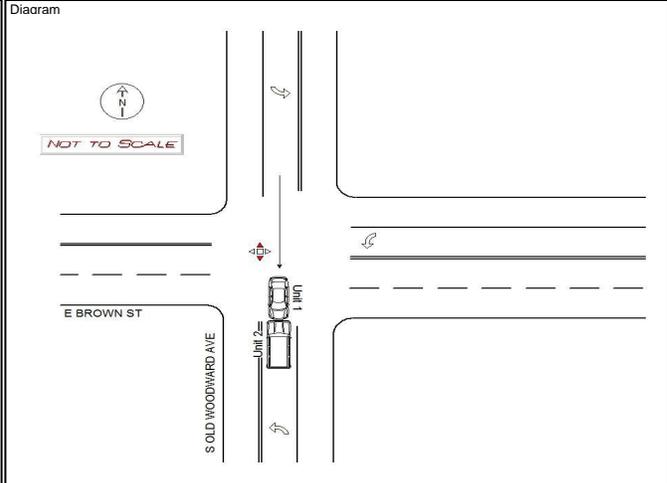
TRUCK/BUS	Carrier Information	USDOT	MC	MPSC
	Driver's CDL Type	Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other	
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.	Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill
ID #	Class #			

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####	Owner Information
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WITNESS	Witness Information	Witness Information
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Investigated at Scene Yes	Reported Date (Time) 11/29/2017 (20:49)	1st Investigator Name (Badge) SYTS (66)	2nd Investigator Name (Badge)	Photos No
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Narrative
UNIT 2 WAS STOPPED AT THE INTERSECTION OF N/B S OLD WOODWARD AND BROWN IN THE LEFT TURNING LANE. A RED LIGHT WAS ACTIVE FOR NORTH AND SOUTH TRAFFIC. UNIT 1 WAS TRAVELING S/B ON S OLD WOODWARD TRAVELING IN THE LEFT TURN LANE FOR E/B BROWN. THE DRIVER OF UNIT 1 STATED SHE WAS DISTRACTED BECAUSE SHE WAS ON HER CELL PHONE. UNIT 1 DROVE STRAIGHT THRU THE INTERSECTION IN THE LEFT TURN LANE STRIKING UNIT 2 HEAD ON. BOTH VEHICLES HAD FRONT MIDDLE DAMAGE. THE DRIVER OF UNIT 1 WAS ISSUED A VIOLATION FOR CARELESS DRIVING. THE DRIVER OF UNIT 1 HAD A MINOR INJURY TO HER FACE.



SANITIZED

Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (43)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action None
Unit Type MV	Driver Information ##### ##### HIGHLAND PARK, MI 48203-3351 (###) ###-####			Driver is Owner No	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt		
Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted	Ejected	Trapped	Airbag Deployed Not Deployed
Hospital NONE				Ambulance NONE					
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending	Test Results:	Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending	Test Results:	Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
Vehicle Registration BCE8891	State MI	Vehicle Description Year 2008	Make TOYOTA	Model 1 A	Color SILVER				
VIN JTDKB20U787701073	Vehicle Type Passenger Car, SUV, Van	Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect					
Automation System(s) in Vehicle		Automation System Level in Vehicle			Automation System Level Engaged at Time of Crash				
Insurance Company #####		Insurance Policy # #####			Towed By		Towed To		
Location of Greatest Damage 05	First Impact 05	Extent of Damage (Power Unit and/or Trailers) Functional Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Stopped on Roadway		
Sequence of Events First ● 17 - Motor Veh in Transport				Second		Third		Fourth	

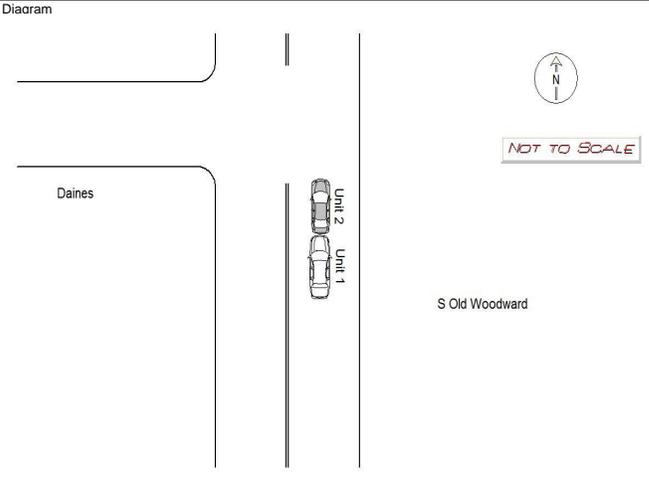
PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint	
	Injury	Ejected	Trapped	Airbag Deployed				
Hospital				Ambulance				
PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint	
	Injury	Ejected	Trapped	Airbag Deployed				
Hospital				Ambulance				

TRUCK/BUS	Carrier Information			USDOT	MC	MPSC		
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.			Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #
Driver's CDL Type			Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other				

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####			Owner Information				
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WITNESS	Witness Information			Witness Information				
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Investigated at Scene Yes	Reported Date (Time) 12/08/2017 (10:00)	1st Investigator Name (Badge) LT. C KOCH (06)	2nd Investigator Name (Badge)	Photos No
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Narrative V2 WAS STOPPED IN THE ROADWAY NORTHBOUND ON S OLD WOODWARD. V1 WAS BEHIND V2. V1 SAID A BUS WAS COMING UP BEHIND HER AND SHE THOUGHT IT WAS NOT GOING TO STOP AND SHE DRIVE INTO V2, HITTING HIS REAR BUMPER WITH HER FRONT BUMPER. CITATION WAS ISSUED TO V1	Diagram 
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SANITIZED

Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/##/#### (54)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 02	Hazardous Action None
Unit Type MV	Driver Information ##### ##### BIRMINGHAM, MI 48009-7511 (###) ###-####			Driver is Owner No	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt		
Driver Condition at Time of Crash 1st Appeared Normal				2nd Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed	
Hospital NONE				Ambulance NONE					
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
Vehicle Registration #####	State MI	Vehicle Description Year 2014	Make BUICK	Model ENCLAVE	Color				
VIN #####	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect				
Insurance Company #####		Insurance Policy # #####		Towed By	Towed To				
Location of Greatest Damage 05	First Impact 05	Extent of Damage (Power Unit and/or Trailers) Functional Damage		Vehicle Direction W	Vehicle Use Private		Action Prior Turning Right		
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)				Second		Third		Fourth	

Passenger Information ##### ##### BIRMINGHAM, MI 48009-7511 (###) ###-####				Date of Birth (Age) ###/##/#### (54)	Sex M	Position Front - Right	Restraint Shoulder and Lap Belt		
Hospital NONE				Ambulance NONE					
Passenger Information				Date of Birth (Age)	Sex	Position	Restraint		
Hospital				Ambulance					
Passenger Information				Date of Birth (Age)	Sex	Position	Restraint		
Hospital				Ambulance					

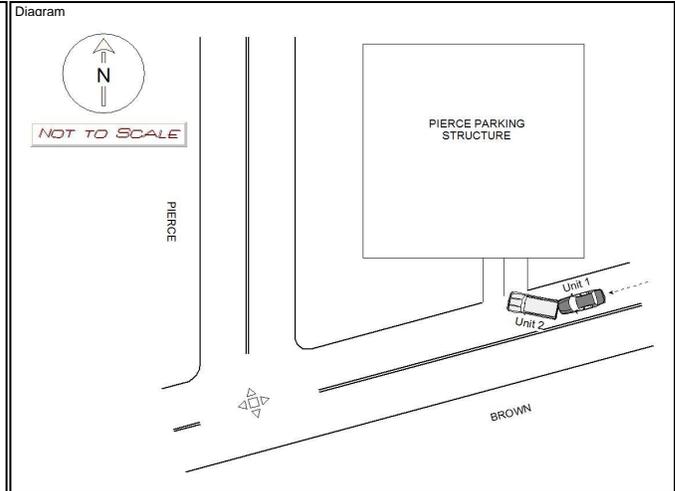
Carrier Information			USDOT	MC	MPSC			
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.			Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #	Class #
Driver's CDL Type			Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other				

Owner Information ##### ##### #####, ## #####-#### (###) ###-####	Owner Information
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Witness Information	Witness Information
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Investigated at Scene Yes	Reported Date (Time) 01/26/2017 (18:56)	1st Investigator Name (Badge) BUTTIGIEG (67)	2nd Investigator Name (Badge)	Photos No
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Narrative
UNIT 2 WAS HEADING W/B ON BROWN STREET ATTEMPTING TO TURN INTO THE PIERCE PARKING STRUCTURE. WHILE MAKING A RIGHT HAND TURN, UNIT 2 WAS REAR ENDED BY UNIT 1. UNIT 1 STATED HE WAS LOOKING AT A PEDESTRIAN WALKING ON THE SIDEWALK AND DID NOT NOTICE THAT UNIT 2 WAS TURNING. UNIT 1 WAS FOUND AT FAULT IN THE ACCIDENT AND ISSUED A CITATION FOR FAILURE TO STOP IN AN ASSURED CLEAR DISTANCE AHEAD (ACCIDENT).



SANITIZED

Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/##/#### (46)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action Unable to Stop
Unit Type MV	Driver Information ##### ##### ROYAL OAK, MI 48073-1628 (###) ###-####			Driver is Owner Yes	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt		
Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted	Ejected	Trapped	Airbag Deployed Not Deployed
Hospital NONE					Ambulance NONE				
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results O Pending	Test Results:	Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results O Pending	Test Results:	Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
Vehicle Registration #####	State MI	Vehicle Description 2015	Year	Make BMW	Model X1	Color WHITE			
VIN #####	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type	Vehicle Defect			
Insurance Company #####		Insurance Policy # #####		Towed By		Towed To			
Location of Greatest Damage 02	First Impact 02	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction S	Vehicle Use Private	Action Prior Going Straight Ahead			
Sequence of Events ● 17 - Motor Veh in Transport			First		Second		Third		Fourth
● indicates MOST harmful event									

Passenger Information	Date of Birth (Age)	Sex	Position	Restraint
	Injury	Ejected	Trapped	Airbag Deployed
Hospital Ambulance				
Passenger Information	Date of Birth (Age)	Sex	Position	Restraint
	Injury	Ejected	Trapped	Airbag Deployed
Hospital Ambulance				
Passenger Information	Date of Birth (Age)	Sex	Position	Restraint
	Injury	Ejected	Trapped	Airbag Deployed
Hospital Ambulance				

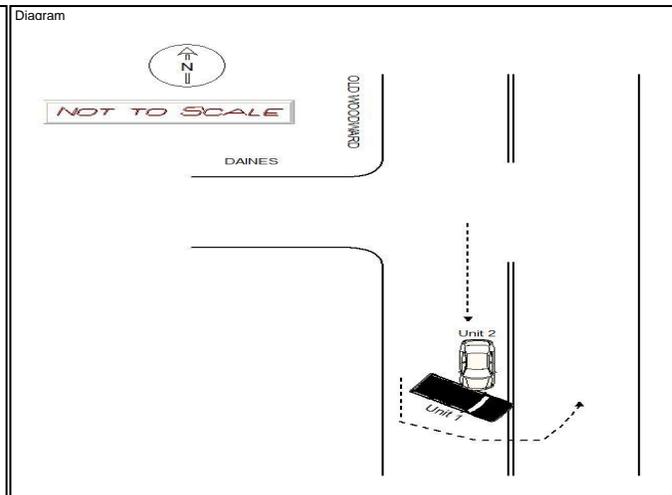
Carrier Information	USDOT	MC	MPSC
Driver's CDL Type	Endorsements OH OP OT ON OS OX	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other	
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.	Vehicle Configuration	Cargo Body Type	Medical Card
		Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #
		Class #	

Owner Information ##### ##### #####, ## #####-#### (###) ###-####	Owner Information
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Witness Information	Witness Information
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Investigated at Scene Yes	Reported Date (Time) 03/12/2017 (13:33)	1st Investigator Name (Badge) SGT. SPRINGER (51)	2nd Investigator Name (Badge)	Photos No
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Narrative
 UNIT 1 WAS S/B OLD WOODWARD, JUST SOUTH OF DAINES, WHEN IT BEGAN MAKING A LEFT TURN/U-TURN INTO A PARKING SPACE IN THE N/B OLD WOODWARD LANE. UNIT 2 WAS DIRECTLY BEHIND UNIT 1. WOODWARD HAS A DOUBLE YELLOW LANE SEPARATING S/B AND N/B LANES, ADDITIONALLY THERE ARE MULTIPLE "NO U-TURN" SIGNS POSTED ON OLD WOODWARD. WHEN UNIT 1 BEGAN MAKING THE PRO TURN, UNIT 2 WAS UNABLE TO STOP IN AN ASSURED CLEAR DISTANCE AHEAD AND COLLIDED WITH UNIT 1. UNIT 1 DRIVER WAS SUSPENDED OUT OF FL, AND ARRESTED FOR DWLS.



SANITIZED

Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (31)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 02	Hazardous Action None
Unit Type MV	Driver Information ##### ROSEVILLE, MI 48066-5103 (###) ###-####			Driver is Owner No	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt		
Driver Condition at Time of Crash 1st Appeared Normal				2nd Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed	
Hospital NONE				Ambulance NONE					
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input type="radio"/> Hazardous <input checked="" type="radio"/> Other		
Vehicle Registration CKT7161	State MI	Vehicle Description Year 2016	Make LINCOLN	Model MKZ	Color GRAY				
VIN 3LN6L2LU3GR623405	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect				
Automation System(s) in Vehicle		Automation System Level in Vehicle			Automation System Level Engaged at Time of Crash				
Insurance Company #####			Insurance Policy # #####		Towed By BOB ADAMS TOWING		Towed To		
Location of Greatest Damage 03	First Impact 03	Extent of Damage (Power Unit and/or Trailers) Disabling Damage		Vehicle Direction W	Vehicle Use Private		Action Prior Going Straight Ahead		
Sequence of Events First ● 17 - Motor Veh in Transport				Second		Third		Fourth	

Passenger Information ##### HIGHLAND PARK, MI ### (###) ###-####			Date of Birth (Age) ##/##/#### (54)	Sex F	Position Front - Right	Restraint Shoulder and Lap Belt			
Hospital REFUSED			Ambulance REFUSED						
Passenger Information #####			Date of Birth (Age)	Sex	Position	Restraint			
Hospital			Ambulance						

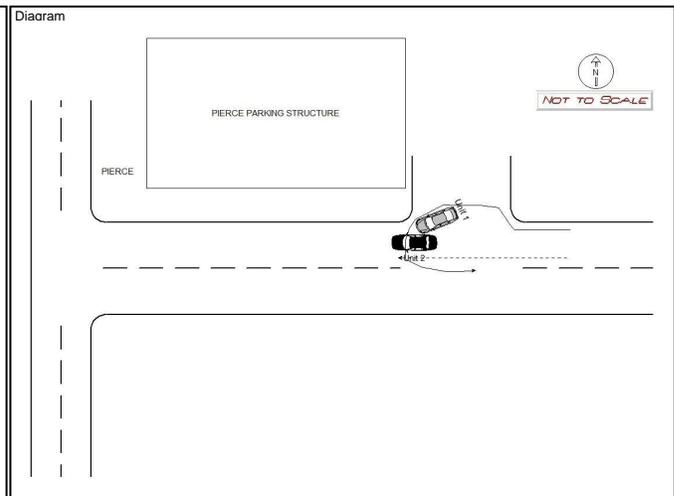
Carrier Information			USDOT	MC	MPSC			
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.			Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #	Class #

Owner Information ##### ##### #####, ## #####-#### (###) ###-####	Owner Information
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Witness Information	Witness Information
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Investigated at Scene Yes	Reported Date (Time) 01/06/2018 (13:40)	1st Investigator Name (Badge) MACUMBER (71)	2nd Investigator Name (Badge)	Photos No
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Narrative
 U2 WAS TRAVELING BEHIND U1 WB ON BROWN. U1 SLOWED, VEERED SLIGHTLY OFF THE ROADWAY TO THE RIGHT, AND THEN ATTEMPTED TO MAKE A U-TURN IN ORDER TO GO EB ON BROWN. AS U1 WAS OFF OF THE ROADWAY, U2 STARTED TO PASS U1. AT THIS TIME U1 TURNED BACK ONTO THE ROADWAY CONDUCTING THE U-TURN. THIS ACTION CAUSED U1 TO STRIKE U2 CAUSING DAMAGE TO BOTH VEHICLES. U2P1 STATED THE RIGHT SIDE OF HER HEAD AND BACK WERE SORE. U2P1 REFUSED MEDICAL TREATMENT BUT STATED HER HUSBAND WOULD BE DRIVING HER TO THE HOSPITAL. U2 WAS TOWED FROM THE SCENE.



SANITIZED

Authority: 1949 PA 300, Sec.257.622
Compliance: Required MSP UD-10E
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 0919769
Crash ID 1480446

Page 01 of 01
File Class 93001

STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900	Department Name Birmingham Police Department					Incident # 180014519
Crash Date 08/29/2018	Crash Time 15:05	No. of Units 02	Crash Type Rear End	Special Circumstances <input checked="" type="checkbox"/> None <input type="checkbox"/> Fleeing Police	<input type="checkbox"/> Hit and Run <input type="checkbox"/> Unknown	<input type="checkbox"/> School Bus <input type="checkbox"/> Animal
County 63 - Oakland	Traffic Control None	Relation to Roadway On the Road		Weather Clear	Area INTR Within Intersection	
City/Twsp 80 - Birmingham	Contributing Circumstances 1st None		2nd	Light Daylight	Road Surface Condition Dry	Total Lanes 02
Work Zone (if applicable) Type		Workers Present	Activity	Location		

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction AT		Trafficway Not Physically Divided		
	Prefix E	Intersecting Road Name MERRILL	Road Type ST	Suffix	Divided Roadway

Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (60)	License Type <input checked="" type="checkbox"/> Operator <input type="checkbox"/> Chauffeur <input type="checkbox"/> Moped	Endorsements <input type="checkbox"/> Cycle <input type="checkbox"/> Farm <input type="checkbox"/> Recreation	Sex F	Total Occupants 01	Hazardous Action Unable to Stop
Unit Type MV	Driver Information ##### ##### BEVERLY HILLS, MI 48025-3352 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt	
Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted	Ejected	Trapped	Airbag Deployed Not Deployed

Hospital NONE	Ambulance NONE				
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="checkbox"/> Breath <input type="checkbox"/> Blood <input type="checkbox"/> Urine <input type="checkbox"/> Field <input type="checkbox"/> PBT <input type="checkbox"/> Refused <input checked="" type="checkbox"/> Not Offered	Alcohol Test Results <input type="checkbox"/> Pending	Test Results:	Interlock Device No
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="checkbox"/> Blood <input type="checkbox"/> Urine <input type="checkbox"/> Field <input type="checkbox"/> Refused <input checked="" type="checkbox"/> Not Offered	Drug Test Results <input type="checkbox"/> Pending	Test Results:	Citation Issued <input checked="" type="checkbox"/> Hazardous <input type="checkbox"/> Other

Vehicle Registration DNF9055	State MI	Vehicle Description 2013	Year 2013	Make INFINITI	Model G37	Color CHERRY
VIN JN1CV6FE4DM230033	Vehicle Type Passenger Car, SUV, Van	Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect		
Automation System(s) in Vehicle	Automation System Level in Vehicle	Automation System Level Engaged at Time of Crash				

Insurance Company #####	Insurance Policy # #####	Towed By	Towed To		
Location of Greatest Damage 01	First Impact 01	Extent of Damage (Power Unit and/or Trailers) Functional Damage	Vehicle Direction N	Vehicle Use Private	Action Prior Going Straight Ahead
Sequence of Events First ● 17 - Motor Veh in Transport		Second	Third	Fourth	

PASSENGERS	Passenger Information		Date of Birth (Age)	Sex	Position	Restraint
	Injury	Ejected	Trapped	Airbag Deployed		
	Hospital		Ambulance			
PASSENGERS	Passenger Information		Date of Birth (Age)	Sex	Position	Restraint
	Injury	Ejected	Trapped	Airbag Deployed		
	Hospital		Ambulance			

TRUCK/BUS	Carrier Information		USDOT	MC	MPSC		
	Driver's CDL Type		Endorsements <input type="checkbox"/> H <input type="checkbox"/> P <input type="checkbox"/> T <input type="checkbox"/> N <input type="checkbox"/> S <input type="checkbox"/> X	CDL Exempt <input type="checkbox"/> Farm <input type="checkbox"/> Other			
GVWR/GCWR <input type="checkbox"/> 10,000 lbs. or Less <input type="checkbox"/> 10,001 - 26,000 lbs. <input type="checkbox"/> Greater than 26,000 lbs.		Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="checkbox"/> Placard <input type="checkbox"/> Cargo Spill	ID #	Class #

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####		Owner Information
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Damaged Property	Public	Owner & Phone
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SANITIZED

Authority: 1949 PA 300, Sec.257.622
Compliance: Required MSP UD-10E
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 0937248
Crash ID 1530059

Page 01 of 01
File Class 93001

STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department				Incident # 180017781		
Crash Date 10/26/2018		Crash Time 11:04	No. of Units 02	Crash Type Other		Special Circumstances <input checked="" type="checkbox"/> None <input type="checkbox"/> Fleeing Police <input type="checkbox"/> Hit and Run <input type="checkbox"/> Unknown <input type="checkbox"/> School Bus <input type="checkbox"/> Animal	Special Checks <input type="checkbox"/> Fatal <input type="checkbox"/> Non-Traffic Area <input type="checkbox"/> ORV/Snowmobile	
County 63 - Oakland		Traffic Control None		Relation to Roadway On the Road		Weather Cloudy	Area NON-FRWY Straight Roadway	
City/Twsp 80 - Birmingham		Contributing Circumstances 1st None 2nd		Light Daylight	Road Surface Condition Dry	Total Lanes 02	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type		Workers Present	Activity		Location			

LOCATION	Prefix S	Primary Road Name OLD WOODWARD		Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 50 Feet N		Trafficway Not Physically Divided			
	Prefix HAZEL	Intersecting Road Name		Road Type ST	Suffix	Divided Roadway

Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (62)	License Type <input checked="" type="checkbox"/> Operator <input type="checkbox"/> Chauffeur <input type="checkbox"/> Moped	Endorsements <input type="checkbox"/> Cycle <input type="checkbox"/> Farm <input type="checkbox"/> Recreation	Sex F	Total Occupants 01	Hazardous Action Improper Turn
Unit Type MV	Driver Information ##### WEST BLOOMFIELD, MI 48322-4417 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt	
Driver Condition at Time of Crash 1st Appeared Normal 2nd				Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed	

Hospital NONE	Ambulance NONE
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Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="checkbox"/> Breath <input type="checkbox"/> Blood <input type="checkbox"/> Urine <input type="checkbox"/> Field <input type="checkbox"/> PBT <input type="checkbox"/> Refused <input checked="" type="checkbox"/> Not Offered	Alcohol Test Results <input type="checkbox"/> Pending	Test Results:	Interlock Device No
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Drug Suspected No	Contributing Factor No	Drug Test Type <input type="checkbox"/> Blood <input type="checkbox"/> Urine <input type="checkbox"/> Field <input type="checkbox"/> Refused <input checked="" type="checkbox"/> Not Offered	Drug Test Results <input type="checkbox"/> Pending	Test Results:	Citation Issued <input checked="" type="checkbox"/> Hazardous <input type="checkbox"/> Other
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Vehicle Registration CLN2563	State MI	Vehicle Description Year 2018	Make LINCOLN	Model MKC	Color WHITE
VIN 5LMCJ2D95JUL23218	Vehicle Type Passenger Car, SUV, Van	Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect	
Automation System(s) in Vehicle	Automation System Level in Vehicle	Automation System Level Engaged at Time of Crash			

Insurance Company #####	Insurance Policy # #####	Towed By	Towed To
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Location of Greatest Damage 07	First Impact 07	Extent of Damage (Power Unit and/or Trailers) Minor Damage	Vehicle Direction S	Vehicle Use Private	Action Prior Making U-Turn
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Sequence of Events ● 17 - Motor Veh in Transport	Second	Third	Fourth
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PASSENGERS	Passenger Information		Date of Birth (Age)	Sex	Position	Restraint
	Injury	Ejected	Trapped	Airbag Deployed		

Hospital	Ambulance
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PASSENGERS	Passenger Information		Date of Birth (Age)	Sex	Position	Restraint
	Injury	Ejected	Trapped	Airbag Deployed		

Hospital	Ambulance
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TRUCK/BUS	Carrier Information		USDOT	MC	MPSC		
	GVWR/GCWR <input type="checkbox"/> 10,000 lbs. or Less <input type="checkbox"/> 10,001 - 26,000 lbs. <input type="checkbox"/> Greater than 26,000 lbs.		Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="checkbox"/> Placard <input type="checkbox"/> Cargo Spill	ID #

Driver's CDL Type	Endorsements OH OP OT ON OS OX	CDL Exempt <input type="checkbox"/> Farm <input type="checkbox"/> Other
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Owner Information ##### ##### #####, ## #####-#### (###) ###-####	Owner Information
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Damaged Property	Public	Owner & Phone
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SANITIZED

Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/##/#### (18)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 01	Hazardous Action None
Unit Type MV	Driver Information ##### ##### ROYAL OAK, MI 48073-1744 (###) ###-####			Driver is Owner No	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt		
Driver Condition at Time of Crash 1st Appeared Normal				2nd Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed	
Hospital NONE				Ambulance NONE					
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending	Test Results:	Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending	Test Results:	Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
Vehicle Registration DZG6828	State MI	Vehicle Description Year 2002	Make CHEVROLET	Model IMPALA	Color RED				
VIN 2G1WF52E929223542	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect				
Automation System(s) in Vehicle		Automation System Level in Vehicle			Automation System Level Engaged at Time of Crash				
Insurance Company #####			Insurance Policy # #####		Towed By		Towed To		
Location of Greatest Damage 03	First Impact 03	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction S	Vehicle Use Private		Action Prior Going Straight Ahead		
Sequence of Events First ● 17 - Motor Veh in Transport				Second		Third		Fourth	

PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint	
	Injury	Ejected	Trapped	Airbag Deployed				
Hospital			Ambulance					
PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint	
	Injury	Ejected	Trapped	Airbag Deployed				
Hospital			Ambulance					

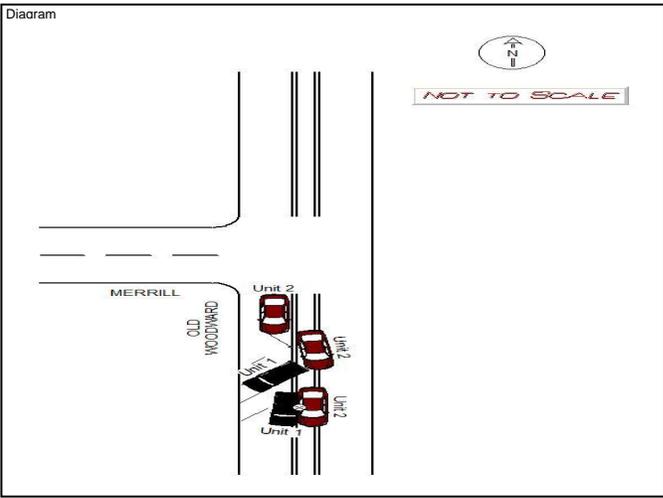
TRUCK/BUS	Carrier Information			USDOT	MC	MPSC		
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.			Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #
Driver's CDL Type			Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other				

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####			Owner Information				
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WITNESS	Witness Information			Witness Information				
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Investigated at Scene Yes	Reported Date (Time) 11/27/2018 (22:30)	1st Investigator Name (Badge) N.HILL (68)	2nd Investigator Name (Badge)	Photos No
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Narrative
 UNIT 2 WAS TRAVELING SOUTHBOUND ON OLD WOODWARD SOUTH OF MERRILL. UNIT 1 WAS BACKING FROM A PARKING SPACE ON OLD WOODWARD SOUTH OF MERRILL ON THE WEST SIDE OF THE STREET. UNIT 1 BACKED INTO UNIT 2'S PATH OF TRAVEL CAUSING UNIT 2 TO SWERVE INTO THE TURN LANE. UNIT 1 SIDESWIPE UNIT 2 WHILE TRANSITIONING FROM BACKING INTO PROCEEDING SOUTHBOUND ON OLD WOODWARD. THERE WAS MINOR DAMAGE TO THE RIGHT SIDE OF UNIT 2 AND LEFT FRONT OF UNIT 1. UNIT 1 STOPPED AND EXCHANGED WORDS WITH UNIT 2 BUT THEN FLED THE SCENE. UNIT 2 OBTAINED A LICENSE PLATE NUMBER (MI:DWD9102) FOR UNIT 1. I WAS ABLE TO FIND THE DRIVER OF UNIT 2, VANESSA PETROS, THROUGH CLEMIS SEARCH OF PHONE NUMBERS FOR THE PLATE GIVEN. PETROS THEN CAME INTO BIPD TO PROVIDE THE INFORMATION FOR THE REPORT. I ISSUED PETROS A CITATION FOR IMPROPER/UNSAFE BACKING CAUSING AN ACCIDENT, AND FAIL TO STOP FOR A PDA.



SANITIZED

Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (58)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action None
Unit Type MV	Driver Information ##### ##### ROYAL OAK, MI 48073-2250 (###) ###-####			Driver is Owner Yes	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt		
Driver Condition at Time of Crash 1st Appeared Normal				2nd Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed	
Hospital NONE				Ambulance NONE					
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending	Test Results:	Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending	Test Results:	Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
Vehicle Registration BXJ9179	State MI	Vehicle Description Year 2015	Make HONDA	Model	Color SILVER				
VIN 19XFB2F95FE058319	Vehicle Type Passenger Car, SUV, Van	Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect					
Automation System(s) in Vehicle	Automation System Level in Vehicle			Automation System Level Engaged at Time of Crash					
Insurance Company #####	Insurance Policy # #####			Towed By			Towed To		
Location of Greatest Damage 07	First Impact 07	Extent of Damage (Power Unit and/or Trailers) Functional Damage		Vehicle Direction S	Vehicle Use Private		Action Prior Going Straight Ahead		
Sequence of Events First ● 17 - Motor Veh in Transport				Second		Third		Fourth	

PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint	
	Injury	Ejected	Trapped	Airbag Deployed				
Hospital				Ambulance				
PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint	
	Injury	Ejected	Trapped	Airbag Deployed				
Hospital				Ambulance				

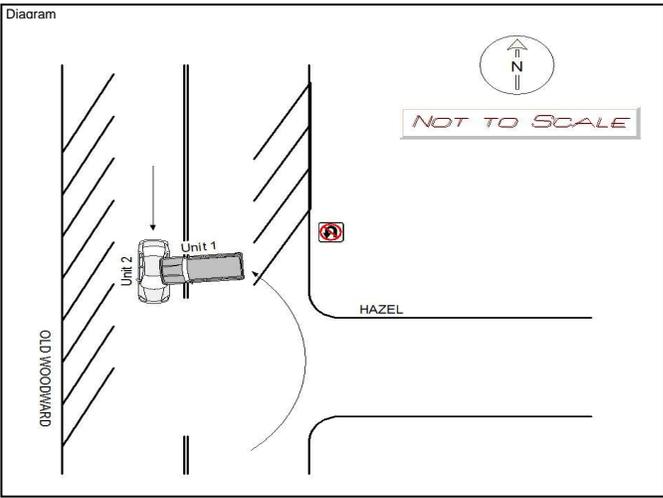
TRUCK/BUS	Carrier Information			USDOT	MC	MPSC	
	Driver's CDL Type			Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other		
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.	Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #	Class #

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####			Owner Information		
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WITNESS	Witness Information			Witness Information		
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Investigated at Scene Yes	Reported Date (Time) 03/26/2019 (15:19)	1st Investigator Name (Badge) PEDERSEN (62)	2nd Investigator Name (Badge)	Photos No
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Narrative
 UNIT 1 WAS TRAVELING NORTHBOUND OLD WOODWARD. \NUNIT 2 WAS TRAVELING SOUTHBOUND OLD WOODWARD. \NU1 MADE AN IMPROPER U-TURN IN AN ATTEMPT TO PARK IN SOUTHBOUND PARKING SPACES ON THE WEST SIDE OF THE STREET AND STRUCK THE ONCOMING U2. \NDAMAGE TO FRONT OF U1 AND ENTIRE LEFT SIDE OF U2.\NPOSTED "NO U-TURNS." \NDRIVER OF U1 CITED FOR CAUSING ACCIDENT.



SANITIZED

Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/##/#### (25)	License Type ● Operator ○ Chauffeur ○ Moped	Endorsements ○ Cycle ○ Farm ○ Recreation	Sex M	Total Occupants 01	Hazardous Action None
Unit Type MV	Driver Information ##### ##### ON DUTY, MI 99999 (###) ###-####			Driver is Owner No	Injury C	Position Front - Left	Restraint Shoulder and Lap Belt		
Driver Condition at Time of Crash 1st Appeared Normal				2nd Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed	
Hospital WILLIAM BEAUMONT HOSPITAL					Ambulance BIRMINGHAM FIRE DEPT				
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type ○ Breath ○ Blood ○ Urine ○ Field ○ PBT ○ Refused ● Not Offered			Alcohol Test Results ○ Pending	Test Results:	Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type ○ Blood ○ Urine ○ Field ○ Refused ● Not Offered			Drug Test Results ○ Pending	Test Results:	Citation Issued ○ Hazardous ○ Other		
Vehicle Registration 022X813	State MI	Vehicle Description Year 2013	Make CHEVROLET	Model CAPRICE	Color BLACK				
VIN 6G1MK5U27DL829703	Vehicle Type Passenger Car, SUV, Van	Special Vehicles Police Vehicle	Private Trailer Type	Vehicle Defect					
Automation System(s) in Vehicle		Automation System Level in Vehicle			Automation System Level Engaged at Time of Crash				
Insurance Company #####			Insurance Policy # #####			Towed By BOB ADAMS TOWING		Towed To	
Location of Greatest Damage 08	First Impact 08	Extent of Damage (Power Unit and/or Trailers) Disabling Damage		Vehicle Direction W	Vehicle Use Other Government			Action Prior Going Straight Ahead	
Sequence of Events ● indicates MOST harmful event)		First ● 17 - Motor Veh in Transport	Second	Third	Fourth				

PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint	
	Injury	Ejected	Trapped	Airbag Deployed				
Hospital				Ambulance				
PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint	
	Injury	Ejected	Trapped	Airbag Deployed				
Hospital				Ambulance				

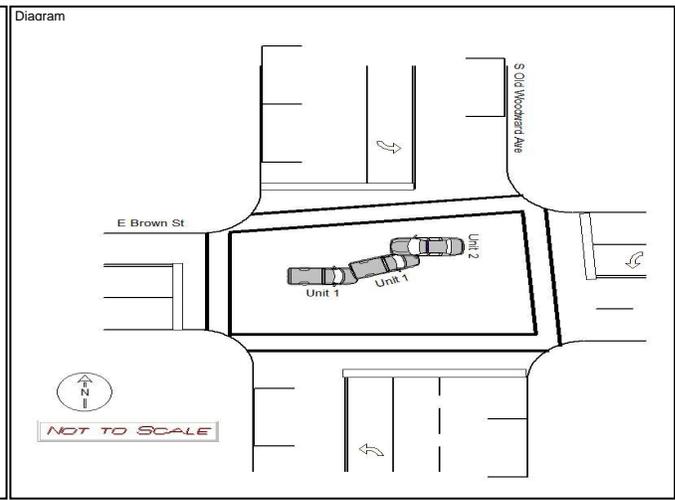
TRUCK/BUS	Carrier Information			USDOT	MC	MPSC
	Driver's CDL Type			Endorsements OH OP OT ON OS OX	CDL Exempt ○ Farm ○ Other	
GVWR/GCWR ○ 10,000 lbs. or Less ○ 10,001 - 26,000 lbs. ○ Greater than 26,000 lbs.	Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material ○ Placard ○ Cargo Spill	ID # Class #

OWNERS	Owner Information			Owner Information		

WITNESS	Witness Information ##### ##### #####, ## #####-#### (###) ###-####			Witness Information		

Investigated at Scene Yes	Reported Date (Time) 03/30/2019 (22:06)	1st Investigator Name (Badge) BUNTING (003)	2nd Investigator Name (Badge)	Photos No
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Narrative
OFFICER HILL WAS TRAVELING IN PATROL CAR #565 (UNIT #2), WESTBOUND ON BROWN AT OLD WOODWARD. OFFICER HILL WAS PROCEEDING THROUGH A GREEN LIGHT WHILE TRAVELING WESTBOUND ON BROWN THROUGH THE OLD WOODWARD INTERSECTION. INAS OFFICER HILL WAS TRAVELING THROUGH THE INTERSECTION HIS PATROL CAR WAS STRUCK BY UNIT #1. UNIT #1 WAS TRAVELING EASTBOUND ON BROWN, AND TURNING LEFT ONTO NORTHBOUND OLD WOODWARD. WHEN UNIT #1 PROCEEDED TO MAKE A LEFT TURN ONTO NORTHBOUND OLD WOODWARD, UNIT #1 STRUCK THE DRIVER'S SIDE FRONT TIRE AREA OF PATROL CAR #565. INTHE DAMAGE ON THE PATROL CAR WAS DISABLING. THE DAMAGE ON THE PICK-UP TRUCK WAS DISABLING. IN* AHMAD BERRO, IS AN INDEPENDENT WITNESS THAT SAW THE ACCIDENT OCCUR. BERRO'S INFORMATION IS ATTACHED TO THIS REPORT. INNBOTH VEHICLES WERE TOWED AND TAKEN TO BY BOB ADAMS. PICTURES WERE TAKEN OF THE ACCIDENT SCENE AND ARE ATTACHED.



SANITIZED

Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (31)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action None
Unit Type MV	Driver Information ##### ##### LAKE ORION, MI 48362-1935 (###) ###-####			Driver is Owner Yes	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt		
Driver Condition at Time of Crash 1st Appeared Normal				2nd Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed	
Hospital NONE				Ambulance NONE					
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending	Test Results:	Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending	Test Results:	Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
Vehicle Registration DSW0679	State MI	Vehicle Description Year 2017	Make CHEVROLET	Model	Color BLACK				
VIN 2GNALCEKXH6324171	Vehicle Type Passenger Car, SUV, Van	Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect					
Automation System(s) in Vehicle		Automation System Level in Vehicle			Automation System Level Engaged at Time of Crash				
Insurance Company #####		Insurance Policy # #####			Towed By BOB ADAMS TOWING		Towed To		
Location of Greatest Damage 02	First Impact 02	Extent of Damage (Power Unit and/or Trailers) Disabling Damage		Vehicle Direction E	Vehicle Use Private		Action Prior Going Straight Ahead		
Sequence of Events First ● 17 - Motor Veh in Transport				Second		Third		Fourth	

PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint	
	Injury	Ejected	Trapped	Airbag Deployed				
Hospital				Ambulance				
PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint	
	Injury	Ejected	Trapped	Airbag Deployed				
Hospital				Ambulance				

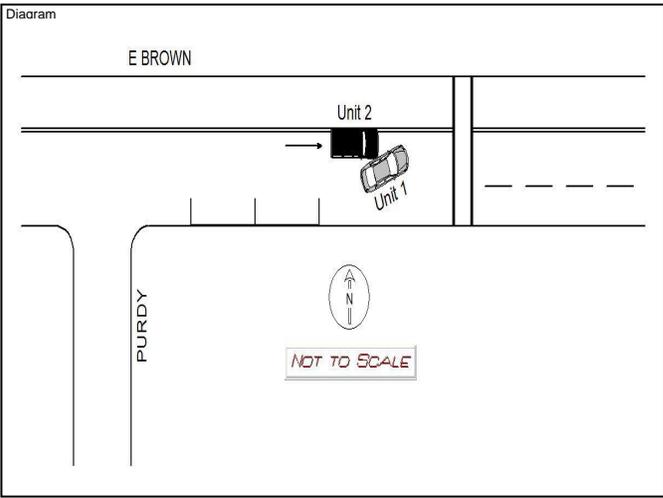
TRUCK/BUS	Carrier Information			USDOT	MC	MPSC		
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.			Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #
Driver's CDL Type			Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other				

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####			Owner Information				
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WITNESS	Witness Information			Witness Information				
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Investigated at Scene Yes	Reported Date (Time) 04/29/2019 (12:35)	1st Investigator Name (Badge) SYTS (66)	2nd Investigator Name (Badge)	Photos No
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Narrative
 UNIT 1 WAS EB ON BROWN STOPPED WAITING TO TURN INTO A PRIVATE DRIVE. UNIT 2 WAS TRAVELING EB BROWN APPROACHING UNIT 1. UNIT 1 SAID SHE WAS IN THE EB LANE WAITING FOR TRAFFIC TO CLEAR TO MAKE THE LEFT TURN. SHE ATTEMPTED TO TURN WHEN STRUCK BY UNIT 2 ON THE DRIVER-SIDE MIDDLE. UNIT 2 SAID UNIT 1 WAS NO LONGER IN THE LANE AND HE THOUGHT SHE WAS MERGING INTO THE ONCOMING SECOND LANE. UNIT 1 TURNED ALL OF A SUDDEN AND HE STRUCK UNIT 1. BASED ON ALL THE EVIDENCE BOTH SIDES WERE PLAUSIBLE. NO FAULT WAS GIVEN. REPORT FOR INSURANCE PURPOSES ONLY.



SANITIZED

Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (68)	License Type ● Operator ○ Chauffeur ○ Moped	Endorsements ○ Cycle ○ Farm ○ Recreation	Sex F	Total Occupants 01	Hazardous Action None
Unit Type MV	Driver Information ##### ##### BIRMINGHAM, MI 48009-1389 (###) ###-####			Driver is Owner Yes	Injury C	Position Front - Left	Restraint Shoulder and Lap Belt		
Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted	Ejected	Trapped	Airbag Deployed Deployed - Front
Hospital NONE				Ambulance NONE					
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type ○ Breath ○ Blood ○ Urine ○ Field ○ PBT ○ Refused ● Not Offered			Alcohol Test Results ○ Pending	Test Results:	Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type ○ Blood ○ Urine ○ Field ○ Refused ● Not Offered			Drug Test Results ○ Pending	Test Results:	Citation Issued ○ Hazardous ○ Other		
Vehicle Registration DPQ9906	State MI	Vehicle Description 2017	Year	Make FORD	Model ESCAPE	Color SILVER			
VIN 1FMCU9GD4HUB87774	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect				
Automation System(s) in Vehicle		Automation System Level in Vehicle			Automation System Level Engaged at Time of Crash				
Insurance Company #####			Insurance Policy # #####			Towed By		Towed To	
Location of Greatest Damage 05	First Impact 05	Extent of Damage (Power Unit and/or Trailers) Functional Damage		Vehicle Direction S	Vehicle Use Private	Action Prior Stopped on Roadway			
Sequence of Events ● indicates MOST harmful event)		First ● 17 - Motor Veh in Transport		Second		Third		Fourth	

PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint	
	Injury	Ejected	Trapped	Airbag Deployed				
Hospital			Ambulance					
PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint	
	Injury	Ejected	Trapped	Airbag Deployed				
Hospital			Ambulance					

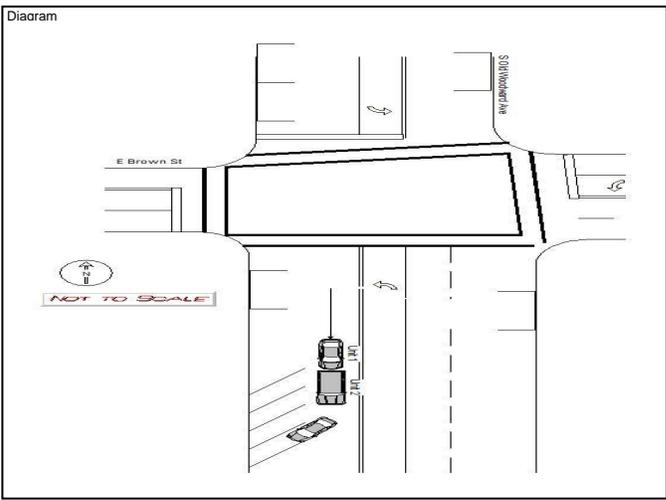
TRUCK/BUS	Carrier Information			USDOT	MC	MPSC		
	GVWR/GCWR ○ 10,000 lbs. or Less ○ 10,001 - 26,000 lbs. ○ Greater than 26,000 lbs.			Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material ○ Placard ○ Cargo Spill	ID #
Driver's CDL Type			Endorsements OH OP OT ON OS OX		CDL Exempt ○ Farm ○ Other			

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####			Owner Information				
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WITNESS	Witness Information			Witness Information				
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Investigated at Scene No	Reported Date (Time) 08/15/2019 (17:44)	1st Investigator Name (Badge) SYTS (66)	2nd Investigator Name (Badge)	Photos No
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Narrative
 UNIT 2 WAS SB S OLD WOODWARD SOUTH OF BROWN STOPPED ON THE ROADWAY WAITING FOR PARKING TO BACK OUT. UNIT 1 WAS FOLLOWING BEHIND UNIT 2 AND REAR-ENDED UNIT 1. UNIT 1 INCURRED FRONT CENTER DAMAGE. UNIT 2 INCURRED REAR-CENTER DAMAGE. THE DRIVER OF UNIT 2 SAID SHE HAD A SORE NECK AND WENT TO THE DOCTOR FOR IT. THE DRIVER OF UNIT 1 WAS ISSUED A VIOLATION FOR FTSWACDA.



SANITIZED

Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (73)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action None
Unit Type MV	Driver Information ##### FARMINGTON HILLS, MI 48334-4046 (###) ###-####			Driver is Owner Injury O	Position Front - Left		Restraint Shoulder and Lap Belt		
Driver Condition at Time of Crash 1st Appeared Normal				2nd Driver Distracted By		Ejected	Trapped	Airbag Deployed Not Deployed	
Hospital REFUSED				Ambulance REFUSED					
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
Vehicle Registration #####	State MI	Vehicle Description Year 2011	Make INFINITI	Model G37	Color BLACK				
VIN #####	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect				
Insurance Company #####		Insurance Policy # #####		Towed By BOB ADAMS TOWING			Towed To		
Location of Greatest Damage 02	First Impact 02	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Going Straight Ahead		
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)				Second		Third		Fourth	

Passenger Information	Date of Birth (Age)	Sex	Position		Restraint
	Injury	Ejected	Trapped	Airbag Deployed	
Hospital		Ambulance			
Passenger Information	Date of Birth (Age)	Sex	Position		Restraint
	Injury	Ejected	Trapped	Airbag Deployed	
Hospital		Ambulance			
Passenger Information	Date of Birth (Age)	Sex	Position		Restraint
	Injury	Ejected	Trapped	Airbag Deployed	
Hospital		Ambulance			

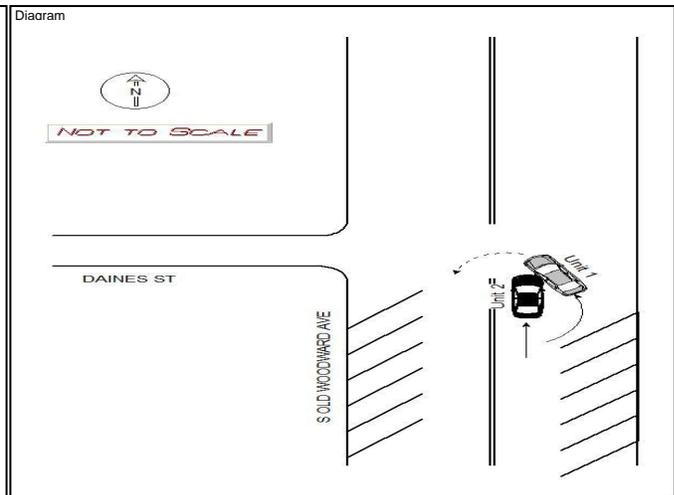
Carrier Information		USDOT	MC	MPSC
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration	Cargo Body Type	Medical Card
Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other	
Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #	

Owner Information	Owner Information
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Witness Information	Witness Information
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Investigated at Scene Yes	Reported Date (Time) 02/25/2016 (11:58)	1st Investigator Name (Badge) SYTS (66)	2nd Investigator Name (Badge)	Photos No
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Narrative
 BOTH VEHICLES WERE TRAVELING N/B ON S OLD WOODWARD AVE. \N\nVEHICLE 1 ATTEMPTED TO MAKE A PROHIBITED U-TURN BY SWINGING OUT OF THE LANE TO MAKE THE TURN. \N\nVEHICLE 2 STRUCK VEHICLE 1 IN THE DRIVER-SIDE DOOR. \N\nVEHICLE 1 INCURRED DAMAGE ON THE FRONT PASSENGER-SIDE. \N\nTHE DRIVER OF VEHICLE 1 WAS ISSUED A VIOLATION FOR A PRO-TURN.



SANITIZED

Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/##/#### (49)	License Type <input type="radio"/> Operator <input checked="" type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 04	Hazardous Action None	
Unit Type MV	Driver Information ##### ##### DETROIT, MI 48221-4912 (###) ###-####			Driver is Owner No	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt			
Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted	Ejected	Trapped	Airbag Deployed Not Deployed	
Hospital NONE				Ambulance NONE						
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending	Test Results:	Interlock Device No			
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending	Test Results:	Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other			
Vehicle Registration 106X047	State MI	Vehicle Description 2017	Year	Make GILLIG	Model BUS	Color				
VIN 15GGD2719H1189243	Vehicle Type Truck / Bus		Special Vehicles Bus	Private Trailer Type	Vehicle Defect					
Automation System(s) in Vehicle No		Automation System Level in Vehicle No Automation			Automation System Level Engaged at Time of Crash No Automation					
Insurance Company #####			Insurance Policy # #####			Towed By		Towed To		
Location of Greatest Damage 08	First Impact 08	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction N	Vehicle Use Other Government		Action Prior Going Straight Ahead			
Sequence of Events ● 17 - Motor Veh in Transport				First		Second		Third		Fourth

PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
	Injury	Ejected	Trapped	Airbag Deployed			
Hospital				Ambulance			
PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
	Injury	Ejected	Trapped	Airbag Deployed			
Hospital				Ambulance			

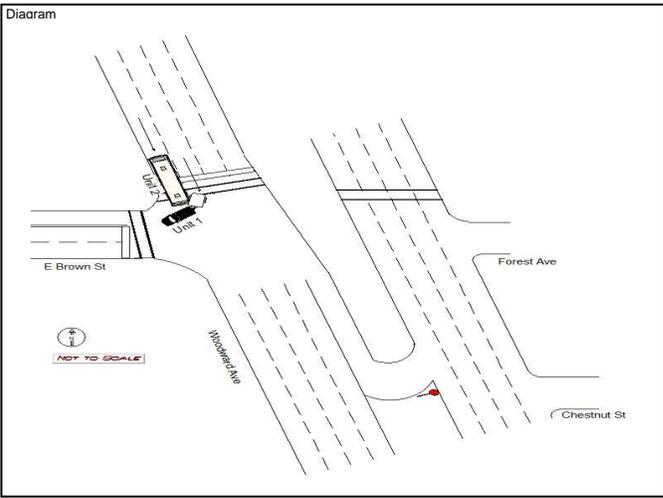
TRUCK/BUS	Carrier Information SUBURBAN MOBILITY AUTHORITY 2021 BARRETT DR TROY, MI 48084			USDOT	MC	MPSC	
	Driver's CDL Type None		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input checked="" type="radio"/> Other			
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input checked="" type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration Bus 16+	Cargo Body Type 14	Medical Card No	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #	Class #

OWNERS	Owner Information			Owner Information		

WITNESS	Witness Information			Witness Information		

Investigated at Scene Yes	Reported Date (Time) 02/10/2020 (10:29)	1st Investigator Name (Badge) SYTS (66)	2nd Investigator Name (Badge)	Photos No
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Narrative
 UNIT 2 WAS A CITY SMARTBUS TRAVELING SB WOODWARD IN THE LEFT LANE APPROACHING BROWN. UNIT 2 HAD JUST STOPPED FOR PASSENGERS AT WOODWARD AND MAPLE. UNIT 1 WAS TRAVLING SB WOODWARD IN THE SECOND LANE FROM THE LEFT TOWING A BOX TRAILER. UNIT 1 TURNED FROM THE SECOND LANE ON TO WB BROWN. THE BUS CAME TO A STOP AND WAS STRUCK ON THE DRIVER-SIDE FRONT FROM THE TRAILER. UNIT 2 INCURRED MINOR DAMAGE. UNIT 1 MADE MULTIPLE ATTEMPTS TO GET THE CAMERA FOOTAGE FROM THE BUS IN AN ATTEMPT TO GET THE PLATE OF UNIT 1 BUT I NEVER RECIEVED A CALL BACK. UNIT 1 REMAINS UNKNOWN. ALL PASSENGERS WERE TRANSFERRED TO A DIFFERENT BUSS PRIOR TO MY ARRIVAL. THEY SAID NO INJURIES WERE REPORTED.



SANITIZED

Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/##/#### (64)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 01	Hazardous Action None
Unit Type MV	Driver Information ##### STERLING HEIGHTS, MI 48310-4218 (###) ###-####			Driver is Owner Yes	Injury O	Position Front - Left	Restraint Restraint Use Unknown		
Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted	Ejected	Trapped	Airbag Deployed Not Deployed
Hospital NONE				Ambulance NONE					
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
Vehicle Registration DFM9742	State MI	Vehicle Description Year 2003	Make SUBARU	Model FORESTER	Color TAN				
VIN JF1SG63623H745870	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect				
Automation System(s) in Vehicle No		Automation System Level in Vehicle No Automation			Automation System Level Engaged at Time of Crash No Automation				
Insurance Company #####			Insurance Policy # #####		Towed By		Towed To		
Location of Greatest Damage 03	First Impact 03	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Avoiding Vehicle Angle		
Sequence of Events First ● 17 - Motor Veh in Transport				Second		Third		Fourth	

PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
	Injury	Ejected	Trapped	Airbag Deployed			
Hospital				Ambulance			
PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
	Injury	Ejected	Trapped	Airbag Deployed			
Hospital				Ambulance			

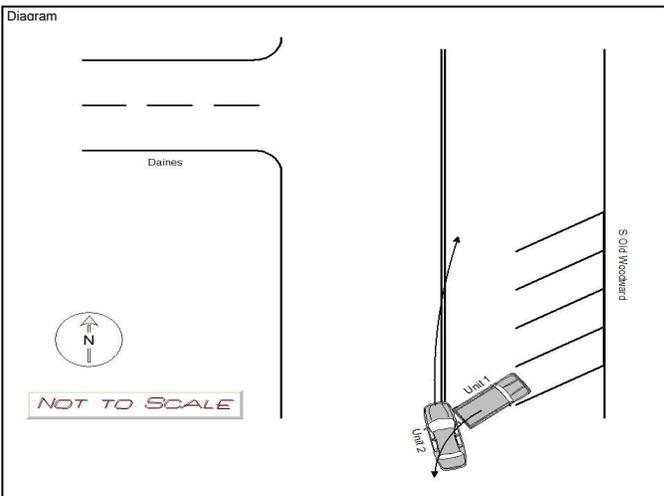
TRUCK/BUS	Carrier Information			USDOT	MC	MPSC		
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.			Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #
Driver's CDL Type			Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X		CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other			

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####			Owner Information				
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WITNESS	Witness Information			Witness Information				
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Investigated at Scene Yes	Reported Date (Time) 03/06/2020 (11:44)	1st Investigator Name (Badge) OFC. J ZALE (063)	2nd Investigator Name (Badge)	Photos No
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Narrative
DRIVER OF UNIT 1 ADVISED HE BACKED OUT OF HIS SPACE. HE SAID UNIT 2 WAS DRIVING FAST. HE SAID UNIT 2 SWERVED AND STRUCK HIS VEHICLE. UNIT 1 HAD SCRATCH DAMAGE TO THE CORNER (REAR/LEFT) OF ITS BUMPER. UNIT 2 HAD DAMAGE FROM THE DRIVER SIDE FRONT FENDER TO THE REAR FENDER AND DAMAGE TO THE PASSENGER SIDE WING MIRROR. DRIVER OF UNIT 2 SAID SHE WAS NOT DRIVING FAST AND THAT THE LIGHT AHEAD (BROWN) WAS RED SO SHE WAS GOING SLOW. BASED ON DAMAGE UNIT 1 IS FOUND AT FAULT FOR IMPROPER/UNSAFE BACKING. UNIT 1 ADVISED SHE SAW THE ACCIDENT THAT UNIT 1 WAS AT FAULT AND HE BACKED INTO UNIT 2.



SANITIZED

Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (56)	License Type ● Operator ○ Chauffeur ○ Moped	Endorsements ○ Cycle ○ Farm ○ Recreation	Sex M	Total Occupants 04	Hazardous Action None		
Unit Type MV	Driver Information ##### ##### GROSSE ILE, MI 48138-2318 (###) ###-####			Driver is Owner Yes	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt				
Driver Condition at Time of Crash 1st Appeared Normal				2nd Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed			
Hospital NONE				Ambulance NONE							
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type ○ Breath ○ Blood ○ Urine ○ Field ○ PBT ○ Refused ● Not Offered			Alcohol Test Results ○ Pending	Test Results:	Interlock Device No				
Drug Suspected No	Contributing Factor No	Drug Test Type ○ Blood ○ Urine ○ Field ○ Refused ● Not Offered			Drug Test Results ○ Pending	Test Results:	Citation Issued ○ Hazardous ○ Other				
Vehicle Registration EFE5357	State MI	Vehicle Description Year 2020	Make LINCOLN	Model AVIATOR	Color TAN						
VIN 5LM5J7XC3LGL26696	Vehicle Type Passenger Car, SUV, Van	Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect							
Automation System(s) in Vehicle No	Automation System Level in Vehicle No Automation			Automation System Level Engaged at Time of Crash No Automation							
Insurance Company #####	Insurance Policy # #####			Towed By			Towed To				
Location of Greatest Damage 07	First Impact 07	Extent of Damage (Power Unit and/or Trailers) Functional Damage		Vehicle Direction E	Vehicle Use Private		Action Prior Going Straight Ahead				
Sequence of Events ● 17 - Motor Veh in Transport				First		Second		Third		Fourth	

PASSENGERS	Passenger Information ##### ##### GROSSE ILE, MI 48138-2318 (###) ###-####	Date of Birth (Age) ##/##/#### (55)	Sex F	Position Front - Right	Restraint Shoulder and Lap Belt
		Injury O	Ejected	Trapped	Airbag Deployed Not Deployed
	Hospital NONE		Ambulance NONE		
PASSENGERS	Passenger Information ##### ##### GROSSE ILE, MI 48138-2318 (###) ###-####	Date of Birth (Age) ##/##/#### (19)	Sex F	Position 2nd Row - Left	Restraint Shoulder and Lap Belt
		Injury O	Ejected	Trapped	Airbag Deployed Not Deployed
	Hospital NONE		Ambulance NONE		

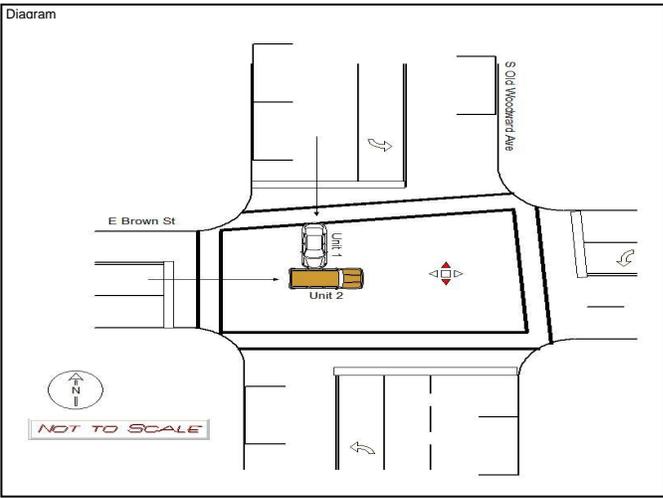
TRUCK/BUS	Carrier Information	USDOT	MC	MPSC			
		Driver's CDL Type	Endorsements OH OP OT ON OS OX	CDL Exempt ○ Farm ○ Other			
	GVWR/GCWR ○ 10,000 lbs. or Less ○ 10,001 - 26,000 lbs. ○ Greater than 26,000 lbs.	Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material ○ Placard ○ Cargo Spill	ID #	Class #

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####	Owner Information

WITNESS	Witness Information	Witness Information

Investigated at Scene Yes	Reported Date (Time) 08/16/2020 (10:34)	1st Investigator Name (Badge) PEDERSENC (62)	2nd Investigator Name (Badge)	Photos No
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Narrative
UNIT 1 WAS TRAVELING SOUTH ON OLD WOODWARD. UNIT 2 WAS TRAVELING EAST ON BROWN. UNIT 1 DISREGARDED THE RED LIGHT AND PROCEEDED THROUGH THE INTERSECTION AT BROWN AND STRUCK THE ONCOMING U2. DAMAGE TO THE FRONT OF U1 AND LEFT SIDE OF U2. DRIVER OF U1 CITED FOR CAUSING THE ACCIDENT.



SANITIZED

Authority: 1949 PA 300, Sec.257.622
Compliance: Required MSP UD-10E
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 1123312
Crash ID 2115892

Page 01 of 01
File Class 93001

STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900	Department Name Birmingham Police Department			Incident # 200016958		
Crash Date 10/07/2020	Crash Time 22:58	No. of Units 01	Crash Type Single Motor Vehicle	Special Circumstances <input checked="" type="checkbox"/> None <input type="checkbox"/> Fleeting Police <input type="checkbox"/> Hit and Run <input type="checkbox"/> Unknown <input type="checkbox"/> School Bus <input type="checkbox"/> Animal		Special Checks <input type="checkbox"/> Fatal <input type="checkbox"/> Non-Traffic Area <input type="checkbox"/> ORV/Snowmobile
County 63 - Oakland	Traffic Control None	Relation to Roadway On the Road		Weather Clear	Area NON-FRWY Straight Roadway	
City/Twp 80 - Birmingham	Contributing Circumstances 1st None 2nd		Light Dark-Lighted	Road Surface Condition Dry	Total Lanes 03	Speed Limit 25
Work Zone (if applicable) Type Constr. / Maint.		Workers Present No	Activity Lane Closure	Location No Warning Signs		

LOCATION	Prefix E	Primary Road Name BROWN	Road Type ST	Suffix	Divided Roadway	
	Distance / Direction 75 Feet SW		Trafficway Not Physically Divided			
	Prefix S	Intersecting Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway	

Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (21)	License Type <input checked="" type="checkbox"/> Operator <input type="checkbox"/> Chauffeur <input type="checkbox"/> Moped	Endorsements <input type="checkbox"/> Cycle <input type="checkbox"/> Farm <input type="checkbox"/> Recreation	Sex F	Total Occupants 01	Hazardous Action Careless Driving
Unit Type MV	Driver Information ##### BLOOMFIELD HILLS, MI 48301-3122 (###) ###-####			Driver is Owner No	Injury O	Position Front - Left	Restraint Restraint Use Unknown		
Driver Condition at Time of Crash 1st Emotional 2nd				Driver Distracted By Unknown		Ejected	Trapped	Airbag Deployed Not Deployed	

Hospital NONE	Ambulance NONE			
Alcohol Suspected Yes	Contributing Factor Yes	Alcohol Test Type <input type="checkbox"/> Breath <input checked="" type="checkbox"/> Field <input type="checkbox"/> Blood <input checked="" type="checkbox"/> PBT <input type="checkbox"/> Urine <input type="checkbox"/> Refused <input type="checkbox"/> Not Offered	Alcohol Test Results <input type="checkbox"/> Pending Test Results: .10	Interlock Device No
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="checkbox"/> Blood <input type="checkbox"/> Urine <input type="checkbox"/> Refused <input checked="" type="checkbox"/> Not Offered	Drug Test Results <input type="checkbox"/> Pending Test Results:	Citation Issued <input checked="" type="checkbox"/> Hazardous <input type="checkbox"/> Other

Vehicle Registration DTN1731	State MI	Vehicle Description 2020	Year 2020	Make JEEP	Model GRAND CHEROK	Color BLACK
VIN 1C4RJFBG9LC420487	Vehicle Type Passenger Car, SUV, Van	Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect		
Automation System(s) in Vehicle No	Automation System Level in Vehicle No Automation	Automation System Level Engaged at Time of Crash No Automation				
Insurance Company #####	Insurance Policy # #####	Towed By JAKE'S AUTOMOTIVE	Towed To JAKE'S AUTOMOTIVE			
Location of Greatest Damage 08	First Impact 02	Extent of Damage (Power Unit and/or Trailers) Disabling Damage	Vehicle Direction NW	Vehicle Use Private	Action Prior Turning Left	
Sequence of Events First 01 - Loss of Control		Second 48 - Work Zone/Maint. Equip.		Third 39 - Tree	Fourth 41 - Building	

PASSENGERS	Passenger Information		Date of Birth (Age)	Sex	Position	Restraint
			Injury	Ejected	Trapped	Airbag Deployed
	Hospital		Ambulance			
Passenger Information		Date of Birth (Age)	Sex	Position	Restraint	
		Injury	Ejected	Trapped	Airbag Deployed	
Hospital		Ambulance				

TRUCK/BUS	Carrier Information	USDOT	MC	MPSC			
	Driver's CDL Type	Endorsements OH OP OT ON OS OX	CDL Exempt <input type="checkbox"/> Farm <input type="checkbox"/> Other				
GVWR/GCWR <input type="checkbox"/> 10,000 lbs. or Less <input type="checkbox"/> 10,001 - 26,000 lbs. <input type="checkbox"/> Greater than 26,000 lbs.		Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="checkbox"/> Placard <input type="checkbox"/> Cargo Spill	ID #	Class #

OWNERS	Owner Information		Owner Information	

Damaged Property SCRATCHES TO BUILDING	Public No	Owner & Phone ##### (###) ###-####
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TRANSIT SCHEDULES



450/460 WOODWARD LOCAL Northbound for Weekday

ROUTE	WOODWARD & STATE FAIRGROUND DS	WOODWARD & 9 MILE RD.	ROYAL OAK TRANSIT CENTER	WOODWARD & 11 MILE RD.	WOODWARD & 13 MILE RD.	WOODWARD & DAINES	SOMERSET COLLECTION	WOODWARD & CHARLES LANE	PHOENIX CENTER
460	4:50AM	4:55AM	5:01AM	5:03AM	5:08AM	5:14AM	5:24AM	-	-
450	5:20AM	5:24AM	-	5:29AM	5:34AM	5:40AM	-	5:51AM	6:00AM
460	5:50AM	5:55AM	6:01AM	6:03AM	6:08AM	6:14AM	6:24AM	-	-
450	6:20AM	6:24AM	-	6:29AM	6:34AM	6:40AM	-	6:51AM	7:00AM
460	6:50AM	6:55AM	7:01AM	7:03AM	7:08AM	7:14AM	7:24AM	-	-
450	7:20AM	7:25AM	-	7:30AM	7:35AM	7:41AM	-	7:53AM	8:02AM
460	7:50AM	7:56AM	8:03AM	8:06AM	8:11AM	8:17AM	8:27AM	-	-
450	8:20AM	8:26AM	-	8:32AM	8:38AM	8:44AM	-	8:56AM	9:05AM
460	8:50AM	8:56AM	9:03AM	9:06AM	9:12AM	9:18AM	9:28AM	-	-
450	9:20AM	9:26AM	-	9:32AM	9:38AM	9:45AM	-	9:58AM	10:07AM
460	9:50AM	9:56AM	10:03AM	10:06AM	10:12AM	10:19AM	10:29AM	-	-
450	10:20AM	10:26AM	-	10:32AM	10:38AM	10:45AM	-	10:58AM	11:07AM
460	10:50AM	10:56AM	11:03AM	11:06AM	11:12AM	11:19AM	11:29AM	-	-
450	11:20AM	11:26AM	-	11:32AM	11:39AM	11:46AM	-	11:59AM	12:10PM
460	11:50AM	11:56AM	12:03PM	12:06PM	12:13PM	12:20PM	12:32PM	-	-
450	12:20PM	12:26PM	-	12:33PM	12:40PM	12:47PM	-	1:00PM	1:11PM
460	12:50PM	12:56PM	1:03PM	1:06PM	1:13PM	1:20PM	1:32PM	-	-
450	1:20PM	1:26PM	-	1:33PM	1:40PM	1:47PM	-	2:00PM	2:11PM
460	1:50PM	1:56PM	2:03PM	2:06PM	2:13PM	2:20PM	2:32PM	-	-
450	2:20PM	2:26PM	-	2:33PM	2:40PM	2:47PM	-	3:00PM	3:11PM
460	2:50PM	2:56PM	3:03PM	3:06PM	3:13PM	3:20PM	3:32PM	-	-
450	3:20PM	3:26PM	-	3:33PM	3:39PM	3:46PM	-	3:59PM	4:09PM
460	3:50PM	3:56PM	4:03PM	4:06PM	4:12PM	4:19PM	4:30PM	-	-
450	4:20PM	4:26PM	-	4:32PM	4:38PM	4:45PM	-	4:58PM	5:08PM
460	4:50PM	4:56PM	5:03PM	5:06PM	5:12PM	5:19PM	5:30PM	-	-
450	5:20PM	5:26PM	-	5:32PM	5:38PM	5:45PM	-	5:58PM	6:08PM
460	5:50PM	5:56PM	6:03PM	6:06PM	6:12PM	6:19PM	6:30PM	-	-
450	6:20PM	6:26PM	-	6:32PM	6:38PM	6:45PM	-	6:58PM	7:08PM
460	6:50PM	6:56PM	7:03PM	7:06PM	7:12PM	7:19PM	7:30PM	-	-
450	7:20PM	7:25PM	-	7:31PM	7:37PM	7:44PM	-	7:56PM	8:06PM
460	7:50PM	7:55PM	8:02PM	8:05PM	8:10PM	8:17PM	8:27PM	-	-
450	8:20PM	8:25PM	-	8:31PM	8:37PM	8:44PM	-	8:56PM	9:06PM
460	8:50PM	8:55PM	9:02PM	9:05PM	9:10PM	9:17PM	9:27PM	-	-
450	9:20PM	9:25PM	-	9:31PM	9:37PM	9:44PM	-	9:56PM	10:06PM
460	9:50PM	9:55PM	10:02PM	10:05PM	10:10PM	10:17PM	10:27PM	-	-
450	10:20PM	10:25PM	-	10:31PM	10:37PM	10:44PM	-	10:56PM	11:06PM
460	10:50PM	10:55PM	11:02PM	11:04PM	11:09PM	11:14PM	11:23PM	-	-
450	11:20PM	11:25PM	-	11:31PM	11:37PM	11:44PM	-	11:56PM	12:06AM



450/460 WOODWARD LOCAL Southbound for Weekday

ROUTE	PHOENIX CENTER	WOODWARD & CHARLES LANE	SOMERSET COLLECTION	WOODWARD & DAINES	WOODWARD & 13 MILE RD.	WOODWARD & 11 MILE RD.	ROYAL OAK TRANSIT CENTER	WOODWARD & 9 MILE RD.	WOODWARD & STATE FAIRGROUN DS
450	4:31AM	4:39AM	-	4:50AM	4:55AM	5:00AM	-	5:05AM	5:10AM
460	-	-	5:10AM	5:17AM	5:22AM	5:27AM	5:29AM	5:35AM	5:40AM
450	5:31AM	5:39AM	-	5:50AM	5:55AM	6:00AM	-	6:05AM	6:10AM
460	-	-	6:05AM	6:15AM	6:20AM	6:25AM	6:28AM	6:35AM	6:40AM
450	6:30AM	6:39AM	-	6:50AM	6:55AM	7:00AM	-	7:05AM	7:10AM
460	-	-	7:05AM	7:15AM	7:20AM	7:25AM	7:28AM	7:35AM	7:40AM
450	7:28AM	7:37AM	-	7:48AM	7:53AM	8:00AM	-	8:05AM	8:10AM
460	-	-	8:00AM	8:12AM	8:18AM	8:25AM	8:28AM	8:35AM	8:40AM
450	8:26AM	8:36AM	-	8:47AM	8:53AM	9:00AM	-	9:05AM	9:10AM
460	-	-	9:00AM	9:12AM	9:18AM	9:25AM	9:28AM	9:35AM	9:40AM
450	9:26AM	9:36AM	-	9:47AM	9:53AM	10:00AM	-	10:05AM	10:10AM
460	-	-	10:00AM	10:12AM	10:18AM	10:25AM	10:28AM	10:35AM	10:40AM
450	10:26AM	10:36AM	-	10:47AM	10:53AM	11:00AM	-	11:05AM	11:10AM
460	-	-	11:00AM	11:12AM	11:18AM	11:25AM	11:28AM	11:35AM	11:40AM
450	11:25AM	11:35AM	-	11:46AM	11:52AM	11:59AM	-	12:05PM	12:10PM
460	-	-	11:57AM	12:11PM	12:17PM	12:24PM	12:27PM	12:35PM	12:40PM
450	12:21PM	12:33PM	-	12:46PM	12:52PM	12:59PM	-	1:05PM	1:10PM
460	-	-	12:58PM	1:11PM	1:17PM	1:24PM	1:27PM	1:35PM	1:40PM
450	1:21PM	1:33PM	-	1:46PM	1:52PM	1:59PM	-	2:05PM	2:10PM
460	-	-	1:58PM	2:11PM	2:17PM	2:24PM	2:27PM	2:35PM	2:40PM
450	2:21PM	2:33PM	-	2:46PM	2:52PM	2:59PM	-	3:05PM	3:10PM
460	-	-	2:58PM	3:11PM	3:17PM	3:24PM	3:27PM	3:35PM	3:40PM
450	3:21PM	3:33PM	-	3:46PM	3:52PM	3:59PM	-	4:05PM	4:10PM
460	-	-	3:58PM	4:11PM	4:17PM	4:24PM	4:27PM	4:35PM	4:40PM
450	4:21PM	4:33PM	-	4:46PM	4:52PM	4:59PM	-	5:05PM	5:10PM
460	-	-	4:58PM	5:11PM	5:17PM	5:24PM	5:27PM	5:35PM	5:40PM
450	5:21PM	5:33PM	-	5:46PM	5:52PM	5:59PM	-	6:05PM	6:10PM
460	-	-	5:58PM	6:11PM	6:17PM	6:24PM	6:27PM	6:35PM	6:40PM
450	6:21PM	6:33PM	-	6:46PM	6:52PM	6:59PM	-	7:05PM	7:10PM
460	-	-	6:58PM	7:11PM	7:17PM	7:24PM	7:27PM	7:35PM	7:40PM
450	7:24PM	7:35PM	-	7:48PM	7:54PM	8:00PM	-	8:05PM	8:10PM
460	-	-	8:00PM	8:12PM	8:18PM	8:24PM	8:27PM	8:35PM	8:40PM
450	8:26PM	8:37PM	-	8:50PM	8:56PM	9:02PM	-	9:07PM	9:12PM
460	-	-	9:01PM	9:13PM	9:19PM	9:25PM	9:28PM	9:35PM	9:40PM
450	9:26PM	9:37PM	-	9:50PM	9:56PM	10:02PM	-	10:07PM	10:12PM
460	-	-	10:03PM	10:13PM	10:19PM	10:25PM	10:28PM	10:35PM	10:40PM
450	10:24PM	10:35PM	-	10:48PM	10:54PM	11:00PM	-	11:05PM	11:10PM
460	-	-	11:05PM	11:15PM	11:20PM	11:26PM	11:28PM	11:35PM	11:40PM



450/460 WOODWARD LOCAL Northbound for Saturday

ROUTE	WOODWARD & STATE FAIRGROUND DS	WOODWARD & 9 MILE RD.	ROYAL OAK TRANSIT CENTER	WOODWARD & 11 MILE RD.	WOODWARD & 13 MILE RD.	WOODWARD & DAINES	SOMERSET COLLECTION	WOODWARD & CHARLES LANE	PHOENIX CENTER
460	4:50AM	4:55AM	5:01AM	5:03AM	5:08AM	5:14AM	5:24AM	-	-
450	5:20AM	5:24AM	-	5:29AM	5:34AM	5:40AM	-	5:51AM	6:00AM
460	5:50AM	5:55AM	6:01AM	6:03AM	6:08AM	6:14AM	6:24AM	-	-
450	6:20AM	6:24AM	-	6:29AM	6:34AM	6:40AM	-	6:51AM	7:00AM
460	6:50AM	6:55AM	7:01AM	7:03AM	7:08AM	7:14AM	7:24AM	-	-
450	7:20AM	7:25AM	-	7:30AM	7:35AM	7:41AM	-	7:53AM	8:02AM
460	7:50AM	7:56AM	8:03AM	8:06AM	8:11AM	8:17AM	8:27AM	-	-
450	8:20AM	8:26AM	-	8:32AM	8:38AM	8:44AM	-	8:56AM	9:05AM
460	8:50AM	8:56AM	9:03AM	9:06AM	9:12AM	9:18AM	9:28AM	-	-
450	9:20AM	9:26AM	-	9:32AM	9:38AM	9:45AM	-	9:58AM	10:07AM
460	9:50AM	9:56AM	10:03AM	10:06AM	10:12AM	10:19AM	10:29AM	-	-
450	10:20AM	10:26AM	-	10:32AM	10:38AM	10:45AM	-	10:58AM	11:07AM
460	10:50AM	10:56AM	11:03AM	11:06AM	11:12AM	11:19AM	11:29AM	-	-
450	11:20AM	11:26AM	-	11:32AM	11:39AM	11:46AM	-	11:59AM	12:10PM
460	11:50AM	11:56AM	12:03PM	12:06PM	12:13PM	12:20PM	12:32PM	-	-
450	12:20PM	12:26PM	-	12:33PM	12:40PM	12:47PM	-	1:00PM	1:11PM
460	12:50PM	12:56PM	1:03PM	1:06PM	1:13PM	1:20PM	1:32PM	-	-
450	1:20PM	1:26PM	-	1:33PM	1:40PM	1:47PM	-	2:00PM	2:11PM
460	1:50PM	1:56PM	2:03PM	2:06PM	2:13PM	2:20PM	2:32PM	-	-
450	2:20PM	2:26PM	-	2:33PM	2:40PM	2:47PM	-	3:00PM	3:11PM
460	2:50PM	2:56PM	3:03PM	3:06PM	3:13PM	3:20PM	3:32PM	-	-
450	3:20PM	3:26PM	-	3:33PM	3:39PM	3:46PM	-	3:59PM	4:09PM
460	3:50PM	3:56PM	4:03PM	4:06PM	4:12PM	4:19PM	4:30PM	-	-
450	4:20PM	4:26PM	-	4:32PM	4:38PM	4:45PM	-	4:58PM	5:08PM
460	4:50PM	4:56PM	5:03PM	5:06PM	5:12PM	5:19PM	5:30PM	-	-
450	5:20PM	5:26PM	-	5:32PM	5:38PM	5:45PM	-	5:58PM	6:08PM
460	5:50PM	5:56PM	6:03PM	6:06PM	6:12PM	6:19PM	6:30PM	-	-
450	6:20PM	6:26PM	-	6:32PM	6:38PM	6:45PM	-	6:58PM	7:08PM
460	6:50PM	6:56PM	7:03PM	7:06PM	7:12PM	7:19PM	7:30PM	-	-
450	7:20PM	7:25PM	-	7:31PM	7:37PM	7:44PM	-	7:56PM	8:06PM
460	7:50PM	7:55PM	8:02PM	8:05PM	8:10PM	8:17PM	8:27PM	-	-
450	8:20PM	8:25PM	-	8:31PM	8:37PM	8:44PM	-	8:56PM	9:06PM
460	8:50PM	8:55PM	9:02PM	9:05PM	9:10PM	9:17PM	9:27PM	-	-
450	9:20PM	9:25PM	-	9:31PM	9:37PM	9:44PM	-	9:56PM	10:06PM
460	9:50PM	9:55PM	10:02PM	10:05PM	10:10PM	10:17PM	10:27PM	-	-
450	10:20PM	10:25PM	-	10:31PM	10:37PM	10:44PM	-	10:56PM	11:06PM
460	10:50PM	10:55PM	11:02PM	11:04PM	11:09PM	11:14PM	11:23PM	-	-
450	11:20PM	11:25PM	-	11:31PM	11:37PM	11:44PM	-	11:56PM	12:06AM



450/460 WOODWARD LOCAL Southbound for Saturday

ROUTE	PHOENIX CENTER	WOODWARD & CHARLES LANE	SOMERSET COLLECTION	WOODWARD & DAINES	WOODWARD & 13 MILE RD.	WOODWARD & 11 MILE RD.	ROYAL OAK TRANSIT CENTER	WOODWARD & 9 MILE RD.	WOODWARD & STATE FAIRGROUN DS
450	4:31AM	4:39AM	-	4:50AM	4:55AM	5:00AM	-	5:05AM	5:10AM
460	-	-	5:10AM	5:17AM	5:22AM	5:27AM	5:29AM	5:35AM	5:40AM
450	5:31AM	5:39AM	-	5:50AM	5:55AM	6:00AM	-	6:05AM	6:10AM
460	-	-	6:05AM	6:15AM	6:20AM	6:25AM	6:28AM	6:35AM	6:40AM
450	6:30AM	6:39AM	-	6:50AM	6:55AM	7:00AM	-	7:05AM	7:10AM
460	-	-	7:05AM	7:15AM	7:20AM	7:25AM	7:28AM	7:35AM	7:40AM
450	7:28AM	7:37AM	-	7:48AM	7:53AM	8:00AM	-	8:05AM	8:10AM
460	-	-	8:00AM	8:12AM	8:18AM	8:25AM	8:28AM	8:35AM	8:40AM
450	8:26AM	8:36AM	-	8:47AM	8:53AM	9:00AM	-	9:05AM	9:10AM
460	-	-	9:00AM	9:12AM	9:18AM	9:25AM	9:28AM	9:35AM	9:40AM
450	9:26AM	9:36AM	-	9:47AM	9:53AM	10:00AM	-	10:05AM	10:10AM
460	-	-	10:00AM	10:12AM	10:18AM	10:25AM	10:28AM	10:35AM	10:40AM
450	10:26AM	10:36AM	-	10:47AM	10:53AM	11:00AM	-	11:05AM	11:10AM
460	-	-	11:00AM	11:12AM	11:18AM	11:25AM	11:28AM	11:35AM	11:40AM
450	11:25AM	11:35AM	-	11:46AM	11:52AM	11:59AM	-	12:05PM	12:10PM
460	-	-	11:57AM	12:11PM	12:17PM	12:24PM	12:27PM	12:35PM	12:40PM
450	12:21PM	12:33PM	-	12:46PM	12:52PM	12:59PM	-	1:05PM	1:10PM
460	-	-	12:58PM	1:11PM	1:17PM	1:24PM	1:27PM	1:35PM	1:40PM
450	1:21PM	1:33PM	-	1:46PM	1:52PM	1:59PM	-	2:05PM	2:10PM
460	-	-	1:58PM	2:11PM	2:17PM	2:24PM	2:27PM	2:35PM	2:40PM
450	2:21PM	2:33PM	-	2:46PM	2:52PM	2:59PM	-	3:05PM	3:10PM
460	-	-	2:58PM	3:11PM	3:17PM	3:24PM	3:27PM	3:35PM	3:40PM
450	3:21PM	3:33PM	-	3:46PM	3:52PM	3:59PM	-	4:05PM	4:10PM
460	-	-	3:58PM	4:11PM	4:17PM	4:24PM	4:27PM	4:35PM	4:40PM
450	4:21PM	4:33PM	-	4:46PM	4:52PM	4:59PM	-	5:05PM	5:10PM
460	-	-	4:58PM	5:11PM	5:17PM	5:24PM	5:27PM	5:35PM	5:40PM
450	5:21PM	5:33PM	-	5:46PM	5:52PM	5:59PM	-	6:05PM	6:10PM
460	-	-	5:58PM	6:11PM	6:17PM	6:24PM	6:27PM	6:35PM	6:40PM
450	6:21PM	6:33PM	-	6:46PM	6:52PM	6:59PM	-	7:05PM	7:10PM
460	-	-	6:58PM	7:11PM	7:17PM	7:24PM	7:27PM	7:35PM	7:40PM
450	7:24PM	7:35PM	-	7:48PM	7:54PM	8:00PM	-	8:05PM	8:10PM
460	-	-	8:00PM	8:12PM	8:18PM	8:24PM	8:27PM	8:35PM	8:40PM
450	8:26PM	8:37PM	-	8:50PM	8:56PM	9:02PM	-	9:07PM	9:12PM
460	-	-	9:01PM	9:13PM	9:19PM	9:25PM	9:28PM	9:35PM	9:40PM
450	9:26PM	9:37PM	-	9:50PM	9:56PM	10:02PM	-	10:07PM	10:12PM
460	-	-	10:03PM	10:13PM	10:19PM	10:25PM	10:28PM	10:35PM	10:40PM
450	10:24PM	10:35PM	-	10:48PM	10:54PM	11:00PM	-	11:05PM	11:10PM
460	-	-	11:05PM	11:15PM	11:20PM	11:26PM	11:28PM	11:35PM	11:40PM



450/460 WOODWARD LOCAL Northbound for Sunday

ROUTE	WOODWARD & STATE FAIRGROUN DS	WOODWARD & 9 MILE RD.	ROYAL OAK TRANSIT CENTER	WOODWARD & 11 MILE RD.	WOODWARD & 13 MILE RD.	WOODWARD & DAINES	SOMERSET COLLECTION	WOODWARD & CHARLES LANE	PHOENIX CENTER
460	6:50AM	6:55AM	7:01AM	7:03AM	7:08AM	7:14AM	7:24AM	-	-
450	7:50AM	7:56AM	-	8:02AM	8:07AM	8:13AM	-	8:25AM	8:34AM
460	8:50AM	8:56AM	9:03AM	9:06AM	9:12AM	9:18AM	9:28AM	-	-
450	9:50AM	9:56AM	-	10:02AM	10:08AM	10:15AM	-	10:28AM	10:37AM
460	10:50AM	10:56AM	11:03AM	11:06AM	11:12AM	11:19AM	11:29AM	-	-
450	11:54AM	12:00PM	-	12:07PM	12:14PM	12:21PM	-	12:34PM	12:45PM
460	12:50PM	12:56PM	1:03PM	1:06PM	1:13PM	1:20PM	1:32PM	-	-
450	1:50PM	1:56PM	-	2:03PM	2:10PM	2:17PM	-	2:30PM	2:41PM
460	2:50PM	2:56PM	3:03PM	3:06PM	3:13PM	3:20PM	3:32PM	-	-
450	3:50PM	3:56PM	-	4:02PM	4:08PM	4:15PM	-	4:28PM	4:38PM
460	4:50PM	4:56PM	5:03PM	5:06PM	5:12PM	5:19PM	5:30PM	-	-
450	5:50PM	5:56PM	-	6:02PM	6:08PM	6:15PM	-	6:28PM	6:38PM
460	6:50PM	6:56PM	7:03PM	7:06PM	7:12PM	7:19PM	7:30PM	-	-
450	7:44PM	7:49PM	-	7:55PM	8:01PM	8:08PM	-	8:20PM	8:30PM
460	8:50PM	8:55PM	9:02PM	9:05PM	9:10PM	9:17PM	9:27PM	-	-
450	9:50PM	9:55PM	-	10:01PM	10:07PM	10:14PM	-	10:26PM	10:36PM
460	10:50PM	10:55PM	11:02PM	11:04PM	11:09PM	11:14PM	11:23PM	-	-



450/460 WOODWARD LOCAL Southbound for Sunday

ROUTE	PHOENIX CENTER	WOODWARD & CHARLES LANE	SOMERSET COLLECTION	WOODWARD & DAINES	WOODWARD & 13 MILE RD.	WOODWARD & 11 MILE RD.	ROYAL OAK TRANSIT CENTER	WOODWARD & 9 MILE RD.	WOODWARD & STATE FAIRGROUN DS
460	-	-	5:50AM	5:57AM	6:02AM	6:07AM	6:10AM	6:17AM	6:22AM
450	6:50AM	6:59AM	-	7:10AM	7:15AM	7:20AM	-	7:25AM	7:30AM
460	-	-	7:50AM	8:00AM	8:06AM	8:13AM	8:16AM	8:23AM	8:28AM
450	8:50AM	9:00AM	-	9:11AM	9:17AM	9:24AM	-	9:29AM	9:34AM
460	-	-	9:50AM	10:02AM	10:08AM	10:15AM	10:18AM	10:25AM	10:30AM
450	10:50AM	11:00AM	-	11:11AM	11:17AM	11:24AM	-	11:29AM	11:34AM
460	-	-	11:50AM	12:02PM	12:08PM	12:15PM	12:18PM	12:26PM	12:31PM
450	12:50PM	1:02PM	-	1:15PM	1:21PM	1:28PM	-	1:34PM	1:39PM
460	-	-	1:50PM	2:03PM	2:09PM	2:16PM	2:19PM	2:27PM	2:32PM
450	2:50PM	3:02PM	-	3:15PM	3:21PM	3:28PM	-	3:34PM	3:39PM
460	-	-	3:50PM	4:03PM	4:09PM	4:16PM	4:19PM	4:27PM	4:32PM
450	4:50PM	5:02PM	-	5:15PM	5:21PM	5:28PM	-	5:34PM	5:39PM
460	-	-	5:50PM	6:03PM	6:09PM	6:16PM	6:19PM	6:27PM	6:32PM
450	6:50PM	7:02PM	-	7:15PM	7:21PM	7:28PM	-	7:34PM	7:39PM
460	-	-	7:50PM	8:03PM	8:09PM	8:15PM	8:18PM	8:26PM	8:31PM
450	8:50PM	9:01PM	-	9:14PM	9:20PM	9:26PM	-	9:31PM	9:36PM
460	-	-	9:50PM	10:02PM	10:08PM	10:14PM	10:17PM	10:24PM	10:29PM
450	10:56PM	11:07PM	-	11:20PM	11:26PM	11:32PM	-	11:37PM	11:42PM
460	-	-	11:25PM	11:35PM	11:39PM	11:44PM	11:46PM	11:52PM	11:57PM

Section 3.5

Phase I Environmental Site Assessment



Corporate Headquarters
Lansing, Michigan
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Michigan Locations
Berkley Bay City
Grand Rapids Chesterfield
Lansing Oak Park

December 11, 2020

Mr. John Hindo
Boji Group, LLC
124 West Allegan Street, Suite 2100
Lansing, Michigan 48933

**Re: Phase I Environmental Site Assessment of the Commercial Properties
Located at 300-394 South Old Woodward Avenue and
294 East Brown Street, Birmingham, Michigan
PM Environmental, Inc. Project No. 01-12660-0-0001**

Dear Mr. Hindo:

PM Environmental, Incorporated (PM) has completed the Phase I Environmental Site Assessment (ESA) of the above referenced property. This Phase I ESA was conducted in accordance with (1) the United States Environmental Protection Agency (USEPA) Standards and Practices for All Appropriate Inquiries {(AAI), 40 CFR Part 312} and (2) guidelines established by the American Society for Testing and Materials (ASTM) International in the *Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process / Designation E 1527-13* (ASTM Standard Practice E 1527-13).

The Phase I ESA for the above referenced property represents the product of PM's professional expertise and judgment in the environmental consulting industry, and it is reasonable for **BOJI GROUP, LLC** to rely on PM's Phase I ESA report.

If you have any questions related to this report, please do not hesitate to contact our office at 248.336.9988.

Sincerely,
PM ENVIRONMENTAL, INC.

Lauren Babuska
Project Consultant

Beth Sexton
Chief Operating Officer

EXECUTIVE SUMMARY

PM Environmental, Inc., (PM) was retained to conduct a Phase I Environmental Site Assessment (ESA) of the Commercial Properties located at 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Oakland County, Michigan (hereafter referred to as the “subject property”). This Phase I ESA was conducted in accordance with (1) the United States Environmental Protection Agency (USEPA) Standards and Practices for All Appropriate Inquiries {(AAI), 40 CFR Part 312} and (2) guidelines established by the American Society for Testing and Materials (ASTM) International in the *Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process / Designation E 1527-13* (ASTM Standard Practice E 1527-13).

THIS REPORT WAS PREPARED FOR THE EXCLUSIVE USE OF BOJI GROUP, LLC, WHO MAY RELY ON THE REPORT’S CONTENTS.

Item	Comments		
Number of Parcels and Acreage	Three parcels totaling 1.25 acres		
Parcel Identifier in this report, Parcel Address, and Number of Building(s) and Square Footage per Parcel	Northeastern Parcel	300 South Old Woodward Avenue	4,300 square foot single-story building with partial basement
	Southeastern Parcel	360-394 South Old Woodward Avenue	7,913 square foot single-story building with partial basement
	Western Parcel	294 East Brown Street	13,290 square foot two-story building with basement
Current Property Use	Operations on the northeastern and western parcels consist of general office activities. Operations on the southeastern parcel consist of retail sales and shoe repair activities.		

Reasonably ascertainable records for the subject property extended back to approximately 1921. Data failure occurred prior to that date. However, PM did not identify any significant data gaps during the completion of this Phase I ESA.

The following paragraphs provide historical summaries for each subject parcel. Recognized environmental conditions (RECs) identified as discussed in that section later in this summary. Former potential operations of concern and unknown operations that have not been identified as a REC are discussed in this section for clarification.

Standard and other historical sources document the northeastern parcel, identified as 300 South Old Woodward Avenue, was developed prior to 1921 with a dwelling and shed structure. A small storefront building was constructed in the eastern portion of the parcel between 1926 and 1931. The dwelling and shed structure were demolished by 1945 when the northern portion of the current building was constructed in the same area of the parcel. The small storefront building was demolished by 1949. The southern addition of the current building was completed in 1954 and additional southeastern addition was completed in 1994. The building was labeled as a storefront in the 1949 Sanborn map, with a used car sales operation depicted south of the building. Based on local street directories documenting the southeastern parcel being occupied by a dealership, it is likely that the used car sales operations were for the dealership / surface lot and not associated with the current building. The building has been occupied by various professional offices since at least 1951.

PM was unable to determine the occupants of the former small storefront building (constructed between 1926 and 1931 and demolished by 1949) or the occupants of the current building from construction in 1945 until 1951 when first known office use was identified. Based on the relatively small scale and short timeframe of former operations, PM has not identified the unknown operations as a REC. Additionally, PM has not identified the former automotive sales lot on the property as a REC.

The southeastern parcel, identified as 360-394 South Old Woodward Avenue, was developed prior to 1921 with a dwelling and garage structure. The former dwelling was converted to a storefront by 1926. PM was unable to confirm the operations of the former storefront building on the property between at least 1926 and 1929. However, based on the small scale and short timeframe of operations, PM has not identified the unknown operations as a REC.

The southeastern parcel was redeveloped in approximately 1929 with a majority of the current building, occupied by an automotive service operation and gasoline dispensing station, with at least four USTs located along South Old Woodward Avenue. Gasoline dispensing operations ceased at some time between 1960 and 1970 and an addition to the service building was completed in the area of former dispensing operations between 1967 and 1974. The building was occupied by automotive service operations until at least 1967. The building was divided into multiple tenant spaces during at least the late-1960s and occupied by a theater between at least 1966 and 1986, automotive sales with potential service operations between at least 1980 and 1988, a potential dry cleaner (Moore Cleaners) between at least 1969 and 1976, automotive sales in the mid-2000s, and Frank's Shoe Service and additional retail operations since at least 1969. Cobbler activities (Frank's Shoe Service) include shoe repair, painting, leather conditioning, and polishing. Based on the small scale of operations and lack of waste generated, PM has not identified the cobbler activities as a REC.

The western parcel, identified as 294 East Brown Street, was developed prior to 1921 with two dwellings in the western portion and a former roadway (Ann Street), transecting the parcel from north to south. An additional dwelling was constructed in the northeastern portion of the parcel between 1926 and 1931. A former dwelling in the northwestern portion was demolished and a majority of the current building was constructed in 1956. The former northeastern and remaining western dwellings were converted for office use. The former converted dwellings / office buildings were demolished, the southern addition was completed on the current building, and the former roadway was closed between 1967 and 1974. The current building was occupied by various offices, retail sales, or salons between 1958 and 1971, Chudik's Furs between at least 1970 and 1991, and various professional offices since at least 1998.

The following table summarizes the conditions identified as part of this assessment. Affirmative answers are further discussed below the table:

Type of Condition	Identified During the Course of this Assessment
De Minimis Condition	No
Significant Data Gap	No
Historical Recognized Environmental Condition (HREC)	No
Recognized Environmental Condition (REC)	Yes
Controlled Recognized Environmental Condition (CREC)	No

Type of Condition	Identified During the Course of this Assessment
Significant Non-ASTM Scope Considerations and/or Business Environmental Risks	No

Recognized Environmental Condition

We have performed a Phase I Environmental Site Assessment in conformance with the scope and limitations of ASTM Practice E 1527-13 of the Commercial Properties located at 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Oakland County, Michigan, the property. Any exceptions to, or deletions from, this practice are described in Section 1.4 of this report. This assessment has revealed no evidence of recognized environmental conditions connected with the property except the following:

- The current building on the southeastern parcel, identified as 360-394 South Old Woodward Avenue, was historically occupied by automotive service operations between at least 1929 and 1967. Additionally, records suggest automotive sales between at least 1980 and 1988 appear to have included limited service or repair operations. Historical interior waste streams associated with the former service operations would have consisted of general hazardous substances and/or petroleum products. This time period preceded major environmental regulations and current waste management and disposal procedures. The historical waste management practices associated with the former service operations are unknown and may be a source of subsurface contamination.
- Historical interior waste streams associated with the former service operations would have consisted of general hazardous substances and/or petroleum products. This time period preceded major environmental regulations and current waste management and disposal procedures. The historical waste management practices associated with the former service operations are unknown and may be a source of subsurface contamination.
- Former service operations on the southeastern parcel may have utilized In-ground hoists, which have an underground reservoir for hydraulic fluids, which can contain polychlorinated biphenyls (PCBs). The potential exists that a release occurred from the former hydraulic hoist system and/or underground reservoir. Additionally, the potential exists for orphaned reservoirs to be present on the subject property.
- The southeastern parcel was historically occupied by a gasoline dispensing station between at least 1929 and the 1960s. Review of available records document at least four underground storage tanks (USTs) associated with these operations. A gasoline tank was also depicted east of this parcel, in the South Old Woodward Avenue right of way in the 1926 Sanborn map. Available City of Birmingham Fire Department records document the removal of five abandoned USTs from the property in 1970. No additional information on the condition of the USTs upon removal or contents of the USTs was available in reasonably ascertainable records. PM was unable to confirm whether the fifth UST removed was the former UST depicted in the right of way in the 1926 Sanborn map or was an additional UST and the right of way UST is still present. The potential exists for orphan USTs to be present on the southeastern parcel and/or for subsurface contamination to be present from the former UST system(s).

- The current building on the southeastern parcel was occupied by a potential dry cleaner (Moore Cleaners) between at least 1969 and 1976. No information on the operations was available from reasonably ascertainable sources reviewed as part of this Phase I ESA. Dry cleaning operations commonly involve the usage of general hazardous substances and/or petroleum products, which, if improperly managed and/or disposed of, can be a source of contamination. This time period preceded major environmental regulations and current waste management and disposal procedures. The potential exists for the former occupant to have been an on-site dry cleaner and for subsurface contamination to be present from these former operations.

- The current building on the western parcel, identified as 294 East Brown Street, was historically occupied by a fur retailer (Chudik's Furs) with potential repair or cleaning operations between at least 1970 and 1991. In PM's experience, fur retailers commonly have repair and cleaning operations that involve the usage of general hazardous substances and/or petroleum products, which, if improperly managed and/or disposed of, can be a source of contamination. Reasonably ascertainable City of Birmingham Fire Department records document that Chudik's Furs was divided into a sewing room, bridal room, and work room with paint cabinet, further indicating repairs and/or cleaning activities were conducted on-site. A significant portion of this time period preceded major environmental regulations and current waste management and disposal procedures. The historical waste management practices associated with the former fur retailer and potential repair and cleaning operations are unknown and may be a source of subsurface contamination.

No adjoining and/or nearby RECs have been identified.

Recommendations

These RECs have been brought to the attention of the client within the requirements of the ASTM Standard Designation E 1527-13.

PM is concurrently completing a Phase II ESA to investigate the RECs identified, which will be provided under separate cover.

The summary presented above is general in nature and should not be considered apart from the entire text of the report, which contains the qualifications, considerations and subject property details mentioned herein. Details of findings and conclusions are elaborated upon in this report.

This report has been reviewed for its completeness and accuracy. Please feel free to contact our office at 248.336.9988 to discuss this report.

REPORT PREPARED BY:
PM Environmental, Inc.



Lauren Babuska
Project Consultant

REPORT REVIEWED BY:
PM Environmental, Inc.



Beth Sexton
Chief Operating Officer

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1.0 INTRODUCTION

This Phase I ESA was conducted in accordance with (1) the United States Environmental Protection Agency (USEPA) Standards and Practices for All Appropriate Inquiries {(AAI), 40 CFR Part 312} and (2) guidelines established by the American Society for Testing and Materials (ASTM) International in the *Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process / Designation E 1527-13* (ASTM Standard Practice E 1527-13).

THIS REPORT WAS PREPARED FOR THE EXCLUSIVE USE OF BOJI GROUP, LLC, WHO MAY RELY ON THE REPORT'S CONTENTS.

PM acknowledges that this party may rely on the contents and conclusions presented in this report. Unless stated otherwise in writing, PM makes no other warranty, representation, or extension of reliance upon the findings of this report to any other entity or third party.

1.1: Property Overview

Subject Property Location/Address	300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Oakland County, Michigan		
Number of Parcels and Acreage	Three parcels totaling 1.25 acres		
Parcel Identifier in this report, Parcel Address, and Number of Building(s) and Square Footage per Parcel	Northeastern Parcel	300 South Old Woodward Avenue	4,300 square foot single-story building with partial basement
	Southeastern Parcel	360-394 South Old Woodward Avenue	7,913 square foot single-story building with partial basement
	Western Parcel	294 East Brown Street	13,290 square foot two-story building with basement
Current Property Use	Operations on the northeastern and western parcels consist of general office activities. Operations on the southeastern parcel consist of retail sales and shoe repair activities.		
Current Zoning	B-1: Neighborhood Business		

The subject property location is depicted on Figure 1, Property Vicinity Map. A diagram of the subject property and adjoining properties is included as Figure 2, Generalized Diagram of the Subject Property and Adjoining Properties. Photographs taken during the site reconnaissance are included in Appendix A.

1.2: Purpose and Scope of Services

The purpose of this Phase I ESA was to evaluate the current and historical conditions of the subject property in an effort to identify *recognized environmental conditions* (RECs), *controlled recognized environmental conditions* (CRECs), and *historical recognized environmental conditions* (HRECs) in connection with the subject property. This Phase I ESA is intended to reduce, but not eliminate, uncertainty regarding the potential for RECs, CRECs, and HRECs in connection with the subject property.

Acronyms and terms used in this report are described in Appendix F. Additionally, PM's scope of services is included in Appendix F.

1.3: Significant Assumptions

Pursuant to ASTM Standard Practice E 1527-13, PM assumes that the information provided by all sources and parties, including the User, is accurate and complete, except where obvious inconsistencies or inaccuracies were identified.

1.4: Limitations, Deviations, and Special Terms and Conditions

There are no deviations from the ASTM Standard. Non-ASTM Scope considerations are included in Section 11.0. Any physical limitations identified during the completion of this report are referenced in Section 7.0.

Due to changing environmental regulatory conditions and potential on-site or adjacent activities occurring after this assessment, the client may not presume the continuing applicability to the subject property of the conclusions in this assessment for more than 180 days after the report's issuance date, per ASTM Standard Practice E 1527-13.

To the best of PM's knowledge, no special terms or conditions apply to the preparation of this Phase I ESA that would deviate the scope of work from the ASTM Standard Practice E 1527-13.

PM was not provided with a copy of the recorded land title records for subject property by the client and was not requested to complete a title search. Therefore, PM cannot comment on any potential relevant information that may have been obtained through review of these records.

2.0 USER PROVIDED INFORMATION

The ASTM Standard defines a User as "the party seeking to use Practice E 1527 to complete an environmental site assessment. A User may include, without limitation, a potential purchaser of property, a potential tenant of property, an owner of property, a lender, or a property manager." The User has specific obligations for completing a successful application of this practice as outlined in Section 6 of the ASTM Standard Practice E 1527-13.

In order to qualify for one of the Landowner Liability Protections (LLPs) offered by the Small Business Liability Relief and Brownfield's Revitalization Act of 2001 (the "Brownfield's Amendments") (if desired), the User must provide certain information (if available) identified in the User Questionnaire to the environmental professional. Failure to provide this information could result in a determination that "all appropriate inquiry" is not complete.

The following responses were provided by the User. A copy of the completed User Questionnaire is included in Appendix B.

Question	Response
Name of Preparer and User Entity	Mr. John Hindo; Boji Group, LLC
Are you aware of any environmental cleanup liens against the property that are filed or recorded under federal, tribal, state or local law?	No
Are you aware of any Activity and Use Limitations, such as engineering controls, land use restrictions or institutional controls that are in place at the site and/or have been filed or recorded in a registry under federal, tribal, state or local law?	No

Question	Response
As the user of this ESA do you have any specialized knowledge or experience related to the property or nearby properties? For example, are you involved in the same line of business as the current or former occupants of the property or an adjoining property so that you would have specialized knowledge of the chemicals and processes used by this type of business?	No
Does the purchase price being paid for this property reasonably reflect the fair market value of the property?	Yes
If you conclude that there is a difference, have you considered whether the lower purchase price is because contamination is known or believed to be present at the property?	Not applicable
Are you aware of commonly known or reasonably ascertainable information about the property that would help the environmental professional to identify conditions indicative of releases or threatened releases? For example, as user:	
Do you know the past uses of the property?	No
Do you know of specific chemicals that are present or once were present at the property?	No
Do you know of spills or other chemical releases that have taken place at the property?	No
Do you know of any environmental cleanups that have taken place at the property?	No
As the user of this ESA, based on your knowledge and experience related to the property are there any obvious indicators that point to the presence or likely presence of contamination at the property?	No

2.1: Recorded Land Title Records

PM requested reasonably ascertainable recorded land title records for the subject property from the User. However, PM did not receive any title records from the User within the time constraints of this report. Additionally, PM was not requested to complete a title search by the User. PM did review available environmental lien and activity and use limitations for the subject property, which are further discussed in Section 4.10. Based upon the information reviewed as part of this Phase I ESA, PM has not identified the lack of provided land title records as a data failure that represents a significant data gap.

2.2: Reason for Performing this Phase I ESA

According to the User, this Phase I ESA was conducted as part of environmental due diligence related to purchasing the subject property.

3.0 PHYSICAL SETTING

PHYSICAL SETTING INFORMATION FOR THE SUBJECT PROPERTY AND SURROUNDING AREA		SOURCE
Topography: Refer to Figure 1 for an excerpt of the Topographic Map		
<i>Site Elevation</i>	768 feet above mean sea level (msl)	United States Geological Survey Division (U.S.G.S.) 7.5-Minute Topographic Map of the Birmingham, Michigan Quadrangle, 1968 (photo revised in 1981)
<i>Topographic Gradient</i>	South-southeast	
<i>Closest Surface Water</i>	Rouge River located 1,940 feet northwest and 2,900 feet west at an elevation of approximately 740 to 720 feet above msl, respectively	
General Soil Characteristics: Refer to Appendix B for a copy of the custom soil survey		
<i>Soil Type</i>	Udorthents and Udipsamments, nearly level to hilly	United States Department of Agriculture, Custom Soil Resource Report for Oakland County, Michigan (survey area data: June 1, 2020)
<i>Description</i>	<p>A typical Udorthents soil profile consists of silt loam to 8.0 inches below ground surface (bgs), underlain by clay loam to 80.0 inches bgs. The soil is well drained with a depth to the water table of more than 80.0 inches bgs. The risk of corrosion is moderate for uncoated steel and low for concrete.</p> <p>A typical Udipsamments soil profile consists of fine sandy loam to 4.0 inches bgs, loamy fine sand to 30.0 inches bgs, underlain by gravelly loamy fine sand to 80.0 inches bgs. The soil is well drained with a depth to the water table of more than 80.0 inches bgs. The risk of corrosion is low for uncoated steel and concrete.</p>	
Area Specific Geology/Hydrogeology Characteristics		
<i>Geology</i>	Geology generally consists of sand to between 2.0 feet and 5.0 feet bgs, underlain by stiff clay to at least 20.0 feet bgs, the maximum depth explored. In addition, a sand seam was encountered at approximately 12.0 feet bgs	Previous site investigations on the south adjoining property (June 2014-August 2016)
<i>Hydrogeology</i>	Limited, perched, discontinuous groundwater was encountered at approximately 12.0 feet bgs where a sand seam was encountered. Groundwater flow direction was not calculated.	
Oil and Gas Wells		
<i>Current Oil and Gas Wells on Subject Property</i>	None identified	Michigan Department of Environment, Great Lakes, and Energy (EGLE) Geologic Survey Division (GSD) web site
<i>Historical Oil and Gas Wells on Subject Property</i>	None identified	

4.0 RECORDS REVIEW

PM reviewed reasonably ascertainable records to identify obvious uses of the subject property from the present, back to the property’s obvious first developed use, or back to 1940, whichever is earlier. Reasonably ascertainable records reviewed as part of this Phase I ESA documented the use of the property back to 1921. Data failure occurred prior to that date. In PM’s professional opinion, this data failure does not represent a significant data gap.

4.1: Aerial Photographs and Sanborn Maps

PM reviewed reasonably ascertainable aerial photographs for the subject property area. The sources and years reviewed are identified in the table below. Relevant aerial photographs are included in Appendix B.

PM reviewed reasonably ascertainable Sanborn Fire Insurance Maps for the subject property area, which were obtained from EDR. The sources and years reviewed are identified in the table below. Relevant Sanborn Maps are included in Appendix B.

The following table summarizes the sources reviewed and the information obtained about the subject property from these sources. Information obtained about the adjoining properties from these sources is summarized in Section 8.0.

Aerial Photographs and Sanborn Maps Summary

Year and Source	Summary of Information
1921 Sanborn Map (EDR)	Four dwellings and three shed or garage structures are depicted across the property. Ann Street (no longer present) intersects the western parcel from north to south. East Brown Street is depicted north, South Old Woodward Avenue (identified as South Woodward Avenue) is depicted east, and Daines Street is depicted south of the property.
1926 Sanborn Map (EDR)	A previously identified dwelling in the southeastern portion is currently identified as a storefront, and additional sheds are depicted in the eastern and western portions. A gasoline tank (of unknown capacity) is depicted in the western portion of South Old Woodward Avenue right of way, directly adjoining to the subject property. The remainder generally appears similar to the previous Sanborn year.
1931 Sanborn Map (EDR)	The previously identified storefront in the southeastern portion and previously identified gasoline tank within the right of way are no longer depicted. A majority of the current building, occupied by automotive service and filling station with four storage tanks along South Old Woodward Avenue, is depicted in the southeastern portion. An additional dwelling is depicted in the northern-central portion. The remainder appears similar to the previous Sanborn year.
1940 Aerial (Oakland County)	Due to scale and resolution, definitive details could not be identified. However, a majority of the current building in the southeastern portion is visible.
1949 Sanborn Map (EDR)	Previously identified sheds/garages and a northeastern dwelling are no longer depicted. A portion of the current building in the northeastern portion is depicted as a storefront with used automotive sales labeled south of the building. PM was unable to determine through review of the Sanborn map whether the labeling is related to the occupant of the building or for the surface lot to the south. The remainder appears similar to the previous Sanborn year.

Phase I ESA of the Commercial Properties
Located at 300-394 South Old Woodward Avenue, Birmingham, Michigan
PM Project No. 01-12660-0-0001; December 11, 2020

Year and Source	Summary of Information
1952 Aerial (WSU)	A portion of the current northeastern building and majority of the current southeastern building are visible on the northeastern and southeastern parcels. A paved parking lot is visible south of the northeastern building. Three dwellings are visible in the northern-central and western portions with a roadway intersecting the western parcel from north to south. Appears similar to the previous Sanborn year.
1957 Aerial (WSU)	A previously identified dwelling in the northwestern portion is no longer visible and a majority of the current western building is visible. A southern addition is visible on the current northeastern building. The remainder appears similar to the previous aerial and Sanborn years.
1960 Sanborn Map (EDR)	Previously identified dwellings in the northern-central and southwestern portions are identified as offices. The current northeastern building is identified as an office with parking lot south of the building. Previously identified storage tanks are no longer depicted in the southeastern portion and the current southeastern building is identified as vacant. The current western building is divided into three storefronts. The remainder appears similar to the previous aerial and Sanborn years.
1961 Aerial (MSU)	Similar to the previous aerial and Sanborn years.
1963 Aerial (Oakland County)	Similar to the previous aerial and Sanborn years.
1967 Aerial (WSU)	Similar to the previous aerial and Sanborn years.
1974 Aerial (Oakland County)	The previously identified office buildings in the northern-central and southwestern portions are no longer visible. The former Ann Street roadway transecting the western parcel appears to be closed and a paved parking lot is visible in the central portion. A southeastern addition is visible on the current southeastern building and a southern addition is visible on the current western building. The remainder appears similar to the previous aerial and Sanborn years. Generally, appears similar to the current layout.
1980 Aerial (Oakland County)	Similar to the previous aerial and Sanborn years.
1990 Aerial (Oakland County)	Similar to the previous aerial and Sanborn years.
1997 Aerial (Oakland County)	Similar to the previous aerial and Sanborn years.
2000 Aerial (Oakland County)	Similar to the previous aerial and Sanborn years.
2005 Aerial (Oakland County)	Similar to the previous aerial and Sanborn years.
2010 Aerial (Oakland County)	Similar to the previous aerial and Sanborn years.
2015 Aerial (Oakland County)	Similar to the previous aerial and Sanborn years.
2017 Aerial (Oakland County)	Similar to the previous aerial and Sanborn years.

A summary of this information along with other historical sources is included in Section 6.0.

4.2: Local Street Directories

Reasonably ascertainable local street directories for Birmingham, Michigan were researched. Directories were available from 1937 to 2014. Directories were researched in at least five-year increments, when available. It should not be construed that the earliest date represented is the initial date of occupancy. Additionally, PM reviewed historical address directory listings for the subject property along Brown Street, former Ann Street, and Daines Street, which were identified on Sanborn maps. No pre-1937 historical addresses along South Old Woodward Avenue were identified. Relevant historical address listings are included below, all additional historical addresses associated with the subject property were either not listed or residential.

Subject Property: 300-394 South Old Woodward Avenue

300 South Old Woodward Avenue

2014	Capital Title Lutz Financial Services
2013	Capital Title Lutz Financial Services Real Estate Offices
2012-2011	Capital Title Real Estate Offices
2008-1998	Real Estate Offices
1990-1989	Real Estate Offices Law Office
1987-1973	Real Estate Offices
1971-1937	Not Listed

344 South Old Woodward Avenue

2014-1989	Not Listed
1987-1986	Kojaian Construction
1984-1937	Not Listed

350 South Old Woodward Avenue

2014-2011	Not Listed
2008	Demery Company
2006-1937	Not Listed

360 South Old Woodward Avenue

2014-1978	Frank's Shoe Service
1976-1969	Frank's Shoe Service Moore Cleaners
1967-1966	Jack Lawrie Service BoJax Collision Service White Automotive Service
1961-1960	Not Listed
1958-1957	Goldhar Zimmer, Inc.

1955-1944 Jess McNeal, Inc. automotive repair
1940-1937 Winningham Chevrolet Company

394 South Old Woodward Avenue

2014-2011 Not Listed
2008-2004 The Motorcar Gallery, Inc.
2002-1989 Not Listed
1988-1986 The Car Emporium
Executive Import
Executive Motor
1985-1981 Sport Cars of BHM
1978-1966 Studio 4 Theater
1961-1937 Not Listed

Subject Property: 286-294 East Brown Street

286 East Brown Street

2014-1974 Not Listed
1971-1970 Fred Stickel Arc
1966-1965 Mart Agency, Inc.
Herb Ring Jewelry
Sutton Associates
Robinson Architect
Stickel & Associates
Benjamin Adv
Elmore Leonard, Inc.
Lewco Products Company
Asphalt Seal Coating
Anaconda Aluminum
1962-1961 Stickel & Associates
Brady Placement Service
Herb Ring Jewelry
Oakland City Medical Soc
Robinson Architecture
Robinson JFG Division
Pulva Corporation
Vapor Recovery
Dean Bros Pump, Inc.
Angell Manufacturing Company
1959-1958 Anthony Moody Architecture
Stickel & Associates
Ring Distinctive Jewelry
Brady & Associates
Knickerbocker & Associates
1955-1937 Not Listed

292 East Brown Street

2014-1989	Not Listed
1984-1974	No Phone
1971-1970	Leon & Merlin Hair Leon's Beauty Shop
1966-1965	Leon's Beauty Shop
1962-1961	Leon's Beauty Shop
	Young Peoples Studio
1959-1958	Authentic, Inc. Leon's Hairdresser
1955-1937	Residential

294 East Brown Street

2014-2013	Attorneys Title Agency
2008-1998	Century 21 Town & Country
1994-1993	Not Listed
1989-1970	Chudik Fine Furs & Apparels
1966-1937	Not Listed

Historical East Brown Street Addresses: 310-312 East Brown Street

310 East Brown Street

2014-1961	Not Listed
1959-1958	Slim Zelle, Inc.
1955-1937	Not Listed

312 East Brown Street

2014-1970	Not Listed
1966-1965	Convertors, Inc. Chamberlain Plumbing & Heating Safeguard Systems Mass Marketing Dist Mojonnier Bros Company Leonard Bros Van Blackstretch Magazine United Thoroughbred Witco Chemical Company Corning Glass Works Patrick & Company Peterson & Son R&C Appliance Service Ted Moore Heating Royal TV Service Company Gardner Pubcns Modern Machine Magazine Products Finishing MG

	Park Nameplate Company
	Nationwide Bus Firm
	Campbell Construction Company
1962-1961	Schermerhorn Bros
	Midwest Tele Sec SE
	Witherspoon Construction
	S&W Water Softener
	Louis Dow Company
	Signal Stat Corporation
	Cranbrook Pres Inc
	TV Doctor
	Burton Abstract Company
	Oberti Bros
	Louis Overti Building
	Ted Moore Heating
1959-1958	Building Service Center
1955-1937	Residential

Historical Daines Street Address: 283 Daines Street

2014-1998	Not Listed
1994-1970	No Phone
1966-1965	DC Nolta Insurance Agency
	Income Security Agency
1962-1961	DC Nolta Insurance Agency
	National Homes
1959-1954	Residential
1953-1952	Not Listed
1951-1937	Residential

A summary of this information along with other historical sources is included in Section 6.0.

PM also reviewed listings for adjoining commercial properties. Information from the listings reviewed is included in Section 8.0.

4.3: Assessing Department

Reasonably ascertainable assessment information provided by the Oakland County Equalization Department was obtained and reviewed. Assessing records document that the subject property consists of three parcels containing a total of 1.25 acres.

Assessing records document the northeastern parcel, identified as 300 South Old Woodward Avenue, contains 0.30 acres, and is developed with a 4,300 square foot building with partial basement, constructed in 1968. However, a historical field card and building sketch documents a portion of the building was constructed in 1945 with additions completed in 1954 and 1994. Records indicate the current building has been occupied by Lutz Real Estate Investments since at least 2012.

The southeastern parcel, identified as 360-394 South Old Woodward Avenue, contains 0.19 acres, and is developed with a 7,913 square foot building with partial basement, constructed in

1956. However, review of additional historical sources documents a portion of the current building was constructed in approximately 1929, with a southeastern addition completed between 1967 and 1974. A historical field card documents extensive interior renovation in 1993, including the removal of a false second story, and that the building was previously occupied by a theater.

The western parcel, identified as 294 East Brown Street, contains 0.76 acres, and is developed with a two-story, 13,290 square foot building with full basement, constructed in 1956. A historical field card documents extensive interior renovation in 1993 for professional offices.

Copies of available assessment records for the subject property and the current legal description are included in Appendix B.

4.4: Building Department

PM submitted a Freedom of Information Act (FOIA) request to the City of Birmingham Building Department to review records for the subject property. Despite numerous follow-up attempts, PM did not receive a response within the time constraints of this report. If PM does receive a response, and it changes the findings of the report, the client will be notified.

4.5: Fire Department

PM submitted a FOIA request to the City of Birmingham Fire Department to review records for the subject property. PM received a written response with available records.

Available fire records for the northeastern parcel, identified as 300 South Old Woodward Avenue, document the building was occupied by Brook Real Estate between at least 1951 and 1989. A 1951 inspection record and sketch document the building was utilized for offices and was connected to natural gas with gas furnaces located in the partial basement. No additional relevant information was included in the records provided.

Available fire records for the southeastern parcel, identified as 360-394 South Old Woodward Avenue, indicate the property was occupied by LaDue Oil Station in at least April 1929 and that four 1,000-gallon tanks were installed at the property. Overwriting indicate the former tanks were removed from the property in July 1970 prior to construction (likely of the building addition). A 1970 Plan Review Record indicates the property was to be redeveloped with a 386-seat theater (Studio IV Theatre). The Plan Review Record indicates that five tanks were removed from the Woodward Avenue side of the property in July 1970. Fire records document the southeastern parcel was occupied by a theater until at least 1986, and various automotive sale operations between at least 1980 and 1988 with noted garage work and repair areas in at least 1982. Refer to Section 4.8 for additional information on former tanks at the subject property.

Available fire records for the western parcel, identified as 294 East Brown Street, document a 1973 permit to erect a tent for use by Chudik Furs, Inc. Records document the building was occupied by Chudik Furs between at least 1973 and 1991 with a sewing room, bridal room, and work room with paint cabinet. Fire inspections between 1993 and 2010 document the building was occupied by professional offices during that date range.

Copies of relevant fire records are included in Appendix B.

4.6: Health Department

PM submitted a FOIA request to the Oakland County Health Division to review records for the subject property. PM received a written response from a representative of the division indicating no files were available for the subject property.

4.7: Utilities

4.7.1: Municipal Water/Water Wells

The subject property is currently connected to municipal water. PM attempted to obtain initial tap information from the City of Birmingham Department of Public Services; however, a response was not received within the time constraints of this report. Review of Sanborn maps indicates municipal water has been available to the subject property since at least 1910. Based upon this information and the highly developed location, the former residential structures were likely connected to municipal water in 1910 or within several years of availability, and potentially utilized private water wells prior to availability of municipal water. All current structures were likely connected to municipal water during construction. Based on the lack of current use, PM has not identified the potential former water wells as a REC.

4.7.2: Sanitary Sewer/Septic System

The subject property is currently connected to municipal sewer. PM attempted to obtain initial tap information from the City of Birmingham Department of Public Services; however, a response was not received within the time constraints of this report. Review of Sanborn maps indicates municipal water has been available to the subject property area since at least 1910. Municipal sewer has likely been available since municipal water availability; therefore, the former residential structures were likely connected to municipal sewer in 1910 or within several years of availability, and potentially utilized private septic field prior to municipal sewer availability. All current structures were likely connected to municipal sewer during construction. Based on the residential use of the property prior to known municipal sewer availability, PM has not identified the potential former septic fields as a REC.

4.7.3: Heat Source

The subject property is connected to natural gas, which is supplied by Consumers Energy. Review of the Consumers Energy SIMS website indicates parcels were connected to natural gas in 1929, 1946, and 1956, which is consistent initial construction dates for current buildings. No historical tap records were available for review for former structures, and original gas mains have been retired with no documentation of when originally installed. No alternative heat sources have been identified through review of reasonably ascertainable information.

PM was unable to determine the heat source for the former dwellings on the subject property prior to natural gas availability. No documentation of fuel oil use was identified during review of reasonably ascertainable records, and no visual evidence of fuel oil use was identified during the site reconnaissance. There is the potential for a fuel oil AST or UST to have been used at the property and for a release to have occurred. However, based upon PM's experience, the risk of a release associated with a potential fuel oil UST is low. If a fuel oil UST is discovered in the future and/or evidence of a release of historical fuel oil is identified, further evaluation may be necessary.

4.8: Underground Storage Tank (UST) Systems

Review of reasonably ascertainable standard and other historical sources, and site observations, have not identified the current presence of USTs on the subject property. Specifically, no records of active USTs were identified though review of reasonably ascertainable records and PM did not observe any evidence of USTs (i.e. fill ports, vent pipes, etc.) during the site reconnaissance. Additionally, the representatives of the current owners indicated they had no knowledge of current USTs associated with the subject property.

The southeastern parcel of the subject property, 360-394 South Old Woodward Avenue, contained at least four former USTs, with a potential fifth or sixth UST in the right-of-way for South Old Woodward Avenue. The following table indicates the size of the UST, contents, location (if known), the dates of installation and removal, and the source of the information.

Historical UST Information

Size	Contents	Location	Date Installed	Date Removed	Source
1,000-gallon	Unknown	Southeastern corner of property	1929	1970	Fire Dept. and Sanborn Map
1,000-gallon	Unknown				
1,000-gallon	Unknown				
1,000-gallon	Unknown				
Unknown	Unknown	Unknown	Unknown	1970	Fire Dept.
Unknown	Gasoline	Directly east of the property, within South Old Woodward Avenue right of way	Prior to 1926	Unknown	Sanborn Map

No additional information on the condition of the USTs upon removal in 1970 or contents of the USTs was available in reasonably ascertainable records. PM was unable to confirm whether the fifth UST removed in 1970 was the former UST depicted in the right of way in the 1926 Sanborn map or was an additional UST and the right of way UST is still present. **The potential exists for orphan USTs to be present on the southeastern parcel and/or for subsurface contamination to be present from the former UST system(s), which represents a REC.**

4.9: Previous Environmental Reports

No previous site investigations were identified by PM for the subject property. Previous reports may exist for the subject property, however, none were provided to PM by the client or owner of the property, and none were available with the appropriate state regulatory agencies.

4.10: Environmental Liens, Activity and Use Limitations, and Government Institutional and Engineering Controls

PM has not identified any record of environmental liens, activity and use limitations, or institutional controls or engineering controls associated with the subject property through review of reasonable ascertainable records.

5.0 INTERVIEWS

The objective of completing interviews with knowledgeable site contacts is to obtain information about the uses and physical characteristics of the property. In general, interviewees supported the information reviewed from other historical sources (i.e. aerial photos, city records, etc.).

Represents	Interviewed	Name and Title	Length of Time Associated with Subject Property	Comments
<p>Current Property Owner, Key Site Manager, and Current Occupant – 300 South Old Woodward Avenue</p>	<p>Yes</p>	<p>Mr. Adam Lutz, Chief Executive Officer of Lutz Financial Services and representative of the current owner (BRB Equities LLC)</p>	<p>Nine years</p>	<p>Mr. Lutz has leased the 300 South Old Woodward Avenue building since 2011 and completed a full interior renovation of the building. Mr. Lutz indicated the building has historically been occupied by professional offices. Mr. Lutz was unaware of any aboveground storage tanks (ASTs) or USTs associated with the subject property. Mr. Lutz also provided access to the southeastern parcel subject building (360-394 South Old Woodward Avenue) and indicated the building has been occupied by various retail or the current shoe repair operations since at least 2011. No additional information was reported that would be considered material to identifying RECs associated with the property.</p>
<p>Current Property Owner – 360-394 South Old Woodward Avenue</p>	<p>No</p>	<p>Frank Konjarevich Trust</p>	<p>Since at least 2000</p>	<p>PM requested contact information for the current owner of the southeastern subject parcel; however, information was not received within the time constraints of this report. Current occupant and representative of the current owner on the northeastern parcel provided access and relevant information. Refer above for additional information.</p>

Represents	Interviewed	Name and Title	Length of Time Associated with Subject Property	Comments
Current Property Owner, Key Site Manager, and Current Occupant – 294 East Brown Street	Yes	Mr. John North, Chief Executive Officer of Coldwell Banker and representative of the current owner (Trott Properties, 294 LLC)	Ten years	Mr. North indicated he has leased the 200 East Brown Street building since 2010 and completed a full interior renovation of the in 2010. Mr. North was unaware of any ASTs or USTs associated with the subject property. No additional information was reported that would be considered material to identifying RECs associated with the subject property.
Former Property Owner	No	Not applicable	Not applicable	Contact information for the former owner was not reasonably ascertainable or provided by the User.
Former Occupant(s)	No	Not applicable	Not applicable	Contact information for the former occupants was not reasonably ascertainable or provided by the User.
Other(s)	No	Not applicable	Not applicable	No other relevant interviews were conducted as part of this Phase I ESA.

6.0 SUMMARY OF HISTORICAL USE

Standard and other historical sources document the northeastern parcel, identified as 300 South Old Woodward Avenue, was developed prior to 1921 with a dwelling and shed structure. A small storefront building was constructed in the eastern portion of the parcel between 1926 and 1931. The dwelling and shed structure were demolished by 1945 when the northern portion of the current building was constructed in the same area of the parcel. The small storefront building was demolished by 1949. The southern addition of the current building was completed in 1954 and additional southeastern addition was completed in 1994. The building was labeled as a storefront in the 1949 Sanborn map, with a used car sales operation depicted south of the building. Based on local street directories documenting the southeastern parcel being occupied by a dealership, it is likely that the used car sales operations were for the dealership / surface lot and not associated with the current building. The building has been occupied by various professional offices since at least 1951.

PM was unable to determine the occupants of the former small storefront building (constructed between 1926 and 1931 and demolished by 1949) or the occupants of the current building from construction in 1945 until 1951 when first known office use was identified. Based on the relatively small scale and short timeframe of former operations, PM has not identified the unknown operations as a REC. Additionally, PM has not identified the former automotive sales lot on the property as a REC.

The southeastern parcel, identified as 360-394 South Old Woodward Avenue, was developed prior to 1921 with a dwelling and garage structure. The former dwelling was converted to a storefront by 1926. PM was unable to confirm the operations of the former storefront building on the property between at least 1926 and 1929. However, based on the small scale and short timeframe of operations, PM has not identified the unknown operations as a REC.

The southeastern parcel was redeveloped in approximately 1929 with a majority of the current building, occupied by an automotive service operation and gasoline dispensing station, with at least four USTs located along South Old Woodward Avenue. Gasoline dispensing operations ceased at some time between 1960 and 1970 and an addition to the service building was completed in the area of former dispensing operations between 1967 and 1974. The building was occupied by automotive service operations until at least 1967. The building was divided into multiple tenant spaces during at least the late-1960s and occupied by a theater between at least 1966 and 1986, automotive sales with potential service operations between at least 1980 and 1988, a potential dry cleaner (Moore Cleaners) between at least 1969 and 1976, automotive sales in the mid-2000s, and Frank's Shoe Service and additional retail operations since at least 1969. Cobbler activities (Frank's Shoe Service) include shoe repair, painting, leather conditioning, and polishing. Based on the small scale of operations and lack of waste generated, PM has not identified the cobbler activities as a REC.

The building was historically occupied by automotive service operations between at least 1929 and 1967. Additionally, records suggest automotive sales between at least 1980 and 1988 appear to have included limited service or repair operations. Historical interior waste streams associated with the former service operations would have consisted of general hazardous substances and/or petroleum products. This time period preceded major environmental regulations and current waste management and disposal procedures. **The historical waste management practices associated with the former service operations are unknown and may be a source of subsurface contamination, which represents a REC.**

Former service operations on the southeastern parcel may have utilized In-ground hoists, which have an underground reservoir for hydraulic fluids, which can contain polychlorinated biphenyls (PCBs). **The potential exists that a release occurred from the former hydraulic hoist system and/or underground reservoir. Additionally, the potential exists for orphaned reservoirs to be present on the subject property, which represents a REC.**

The current building on the southeastern parcel was occupied by a potential dry cleaner (Moore Cleaners) between at least 1969 and 1976. No information on the operations was available from reasonably ascertainable sources reviewed as part of this Phase I ESA. Dry cleaning operations commonly involve the usage of general hazardous substances and/or petroleum products, which, if improperly managed and/or disposed of, can be a source of contamination. This time period preceded major environmental regulations and current waste management and disposal procedures. **The potential exists for the former occupant to have been an on-site dry cleaner and for subsurface contamination to be present from these former operations, which represents a REC.**

The western parcel, identified as 294 East Brown Street, was developed prior to 1921 with two dwellings in the western portion and a former roadway (Ann Street), transecting the parcel from north to south. An additional dwelling was constructed in the northeastern portion of the parcel between 1926 and 1931. A former dwelling in the northwestern portion was demolished and a majority of the current building was constructed in 1956. The former northeastern and remaining

western dwellings were converted for office use. The former converted dwellings / office buildings were demolished, the southern addition was completed on the current building, and the former roadway was closed between 1967 and 1974. The current building was occupied by various offices, retail sales, or salons between 1958 and 1971, Chudik’s Furs between at least 1970 and 1991, and various professional offices since at least 1998.

The building was historically occupied by a fur retailer (Chudik’s Furs) with potential repair or cleaning operations between at least 1970 and 1991. In PM’s experience fur retailers commonly have repair and cleaning operations that may involve the usage of general hazardous substances and/or petroleum products, which, if improperly managed and/or disposed of, can be a source of contamination. Additionally, available fire records document that Chudik’s Furs was divided into a sewing room, bridal room, and work room with paint cabinet, further indicating repairs and/or cleaning activities were conducted on-site. A significant portion of this time period preceded major environmental regulations and current waste management and disposal procedures. **The historical waste management practices associated with the former fur retailer and potential repair and cleaning operations are unknown and may be a source of subsurface contamination, which represents a REC.**

7.0 SUBJECT PROPERTY RECONNAISSANCE

Reconnaissance Information	
PM Field Personnel:	Ms. Devon Nagengast
Site Reconnaissance Date:	November 19 and November 25, 2020
Escort:	Mr. Adam Lutz, Chief Executive Officer of Lutz Financial Services and Mr. John North, Chief Executive Officer of Coldwell Banker
Limitations:	Access not obtained to the attic in 360 South Old Woodward and observations in the basement of 394 South Old Woodward were limited by lack of lighting. However, PM has not identified these limitations as a significant data gap.

7.1: Subject Property Observations

The northeastern parcel, 300 South Old Woodward Avenue, is developed with 4,300 square foot building, which is divided into lobby area, offices, open workspaces, conference rooms, breakrooms, mechanical/storage areas, restroom, and partial basement.

The southeastern parcel, 360-394 South Old Woodward Avenue, is developed with a 7,913 square foot building, which is divided into two tenant spaces. The tenant spaces are further divided into retail areas, offices, mechanical/storage areas, break room, cobbler repair area, restrooms, and partial basement.

The western parcel, 294 East Brown Street, is developed with a two-story, 13,290 square foot building, which is divided into lobby area, offices, open workspaces, conference rooms, breakrooms, mechanical/storage areas, restroom, and full basement.

Interior finish materials generally include carpeting, ceramic floor tiles, 12 inch by 12 inch vinyl floor tiles, poured concrete floors, wood paneling walls, concrete block walls, drywall walls and ceilings, wood frame ceilings, metal deck ceilings, and suspended acoustical ceiling tiles.

Exterior pavement is present surrounding the subject buildings with paved parking areas in the central and eastern-central portions of the property. The remainder of the property contains groomed grass and landscaped areas.

The following table summarizes the site observations. Affirmative responses are discussed in more detail following the table.

Category	Feature	Observed
Interior Equipment	Elevators	Yes
	Air Compressors	Yes
	Incinerators	No
	Waste Treatment Systems	No
	Presses/Stamping Equipment	No
	Press Pits and/or In-ground Pits	No
	Hydraulic Lifts or In-ground hoists	No
	Paint Booth	Yes
	Plating Tanks	No
	Parts Washers	No
	Lathes, Screw Machines, etc.	No
Aboveground Chemical or Other Waste Storage or Waste Streams	Aboveground Storage Tanks (ASTs)	No
	Drums, Barrels and/or Containers > 5 gallons	No
	Chip Hoppers	No
	Hazardous or Petroleum Waste Streams	No
Underground Chemical or Waste Storage, Drainage or Collection Systems	Underground Storage Tanks	No
	Fuel Dispensers	No
	Sumps or Cisterns	Yes
	Dry Wells	No
	Oil/Water Separators	No
	Floor Drains, Trench Drains, etc.	Yes
	Pipeline Markers	No
Exterior Observations	Stressed Vegetation	No
	Stained Soil or Pavement	No
	Monitoring Wells	No
	Pad or Pole Mounted Transformers and/or Capacitors	Yes
	Soil Piles of Unknown Origin	No
	Exterior Dumpsters with Staining	No
	Leachate or Other Waste Seeps	No
	Trash, Debris, and/or Other Waste Materials	No
	Uncontrolled Dumping or Disposal Areas	No
	Surface Water Discoloration, Sheen or Free Product	No
	Strong, Pungent or Noxious Odors	No
	Storm water retention or detention ponds	No
	Pits, Ponds, Lagoons	No

Elevators: PM observed one hydraulic lift elevator in the western building (294 East Brown Street), which was installed prior to 2010. PM was unable to determine the date of original installation. No visual indication of leakage was observed in the area of the elevator operating equipment. PM observed the most recent inspection logs dated from 2020, which documented no major leaks or equipment failures. The hydraulic elevator unit should be inspected periodically for leakage as part of the on-going maintenance activities. If leakage is identified, the unit should be repaired, and any fluid or fluid-soaked waste should be disposed of in accordance with applicable federal, state, and local regulations.

Air Compressors: PM observed an air compressor in the northern tenant space of the southeastern building (360-394 South Old Woodward Avenue), adjacent to cobbler and painting activities. The air compressor was in fair condition and staged on concrete that appeared to be in generally good condition. PM was unable to determine the age of the air compressor. No significant staining or evidence of poor waste management practices was observed associated with the air compressor. Based on the observed site conditions, PM has not identified the air compressor as a REC.

Paint Booths: PM observed painting, leather conditioning, and polishing activities conducted within make-shift tabletop paint booths in the northern tenant space of the southeastern building (360-394 South Old Woodward Avenue). Materials utilized during cobbler activities were stored within containers of less than five-gallon adjoining to the paint booths. PM observed limited staining near the paint booths; however, the floors within the vicinity appeared to be in generally good condition with no significant cracking and/or pitting observed. Based on the relatively small scale of painting activities and location aboveground/tabletop, PM has not identified the painting, leather conditioning, and polishing activities as a REC.

Sumps or Cisterns: PM observed sump pumps in a mechanical/storage area of the northeastern building (300 South Old Woodward Avenue) and within the basement of the western building (294 East Brown Street). The sumps are reportedly utilized to prevent flooding. The sumps were observed to be covered with no evidence of poor waste management practices or staining. Based on the observed site conditions, PM has not identified the sumps as a REC.

Floor Drains, Trench Drains, etc.: PM observed circular floor drains in each basement of the subject buildings. No staining or evidence of poor waste management practices was observed associated with the drains. The drains likely discharge to the municipal sewer system.

Pad or Pole Mounted Transformers and/or Capacitors: The subject property is supplied with overhead secondary electrical service from two pole-mounted electrical transformers located northwest of the southeastern parcel (360-394 Old Woodward Avenue). The transformers are likely the property of the public utility and were not labeled regarding PCB content. No leakage of the transformers was observed at the time of the site reconnaissance.

7.1.1: Current Operations

The northeastern building, 300 South Old Woodward Avenue, is occupied by Lutz Financial Services and Gemini Risk Partners, and the western building, 294 East Brown Street, is occupied by Coldwell Banker Weir Manuel. Operations consist of general office activities. The southeastern building, 360-394 South Old Woodward Avenue is occupied by Frank's Shoe Service and Roche Bobois (furniture store). Operations consist of retail sales and shoe repair activities.

8.0 ADJOINING PROPERTIES

The following paragraphs provide information about the adjoining properties obtained during the site reconnaissance and through review of reasonably ascertainable information.

North Adjoining Properties, across East Brown Street

The north adjoining property, identified as 298 South Old Woodward Avenue, is currently occupied by the Daxton Hotel. Review of historical sources document the property was residential between at least 1910 and 1921. A multi-tenant storefront building was constructed in the southeastern portion between 1921 and 1926. A former dwelling in the northern portion of the property was converted into a hall by 1949 and a former dwelling in the western portion was converted to a storefront or office building by 1960. The northern hall building was demolished between 1960 and 1963 and the northern portion of the property was utilized for parking. The buildings were occupied by various offices, retail, or commercial operations, including a printing operation in at least 1949. The former buildings were demolished between 2019 and 2020, when construction of the current hotel began. Based on the small scale of former printing operations, short timeframe of known operations, insufficient groundwater to act as a transport mechanism, and distance of former operations from the subject property (over 100 feet across East Brown Street), PM has not identified this property as a REC.

The north adjoining property, identified as 255 East Brown Street, is currently occupied by Wells Fargo Advisors. Review of historical sources document the property was residential between at least 1921 and 1952. The former dwellings were demolished, and the property was utilized for parking between at least 1955 and 1980. The property was redeveloped with the current building between 1980 and 1983. The building has been occupied by various office and commercial operations since at least 1983.

The remaining north adjoining property is currently utilized for parking and was historically residential or vacant land.

East Adjoining Properties, across South Old Woodward Avenue

The northeast adjoining property, identified as 255 South Old Woodward Avenue, is currently occupied by an office building. Review of historical sources document the property was residential and occupied by a church between at least 1910 and 1949. The former church building was demolished, and former dwellings were converted for storefront use by 1957. The buildings were occupied by various professional offices. The property was redeveloped with the current building between 1980 and 1986. The current building has been occupied by various offices and retail operations since at least 1986, including Gas Station TV since at least 2011. Gas Station TV is a data company that provides marketing services to gasoline dispensing stations. This property is identified in the regulatory database. Refer to Section 9.2 for additional information.

The east adjoining property, identified as 325 South Old Woodward Avenue, is currently occupied by Adachi Restaurant. Review of historical sources document the property was developed as residential in at least 1910. The former dwelling was converted into or demolished and replaced with the current building between 1921 and 1926. The building was occupied by Masonic Lodge prior to the 1960s and has been occupied by various offices or restaurants since the late-1960s. The northern portion of the property was developed between 1931 and 1940 with a gasoline service station, which extended into the northern right of way. The former gasoline service station was demolished between 1964 and 1966. Based on the insufficient groundwater to act as a transport mechanism and distance of former gasoline service station operations from the subject property (over 115 feet across South Old Woodward Avenue), PM has not identified this property as a REC.

The east adjoining property, identified as 355 South Old Woodward Avenue, is currently occupied by a multi-tenant medical and office building. Review of historical sources document the property

was developed prior to 1921 with a dwelling and parking garage. A 1,000-gallon gasoline UST was documented in the right-of-way of South Old Woodward Avenue in the 1921 Sanborn map. The dwelling was redeveloped for retail use by 1926 and was demolished by 1931. The property was utilized as part of the Eastern Michigan Railways from that time until between 1940 and 1944 when the current building was constructed. A portion of the current building was occupied by a movie theater until the 1980s, when it was redeveloped as a parking garage, and the remainder has been utilized for various retail shops, offices, and/or restaurants since at least 1947. Based on the likely removal of the former gasoline UST during road maintenance activities, length of time since UST operations (i.e. over 80 years), insufficient groundwater to act as a transport mechanism, and distance from the subject property (over 55 feet and across South Old Woodward Avenue), PM has not identified the historical gasoline UST associated with the property as a REC.

The southeast adjoining property, identified as 373-401 South Old Woodward Avenue, is currently occupied by a multi-tenant commercial building. Review of historical sources document the property was developed as residential prior to 1921 with a lumber yard in the eastern portion. The northern and eastern portions of the property were redeveloped between 1926 and 1931 with a bus station, including offices and retail shops, along Woodward Avenue. The remaining dwellings were demolished between 1967 and 1974. The bus station was demolished between 1974 and 1980, and the property was redeveloped with the current building by 1983. Review of Sanborn maps identified gasoline tanks associated with the bus station were historically located in the eastern portion of this property. Based on the distance of the former USTs from the subject property (over 200 feet across South Old Woodward Avenue), and insufficient groundwater to act as a transport mechanism, PM has not identified this property as a REC.

South Adjoining Properties, across Daines Street

The south adjoining property, identified as 400-410 South Old Woodward Avenue, is currently occupied by The Forefront, a multi-tenant commercial and residential building. Review of historical sources document the property was developed as residential in at least 1921. A northern dwelling was converted into a vulcanizing operation between 1921 and 1926, which operated at the property until the structure was demolished in 1930. A central dwelling was demolished in 1930, and the northern and central portions of the property were redeveloped with a gasoline filling station and automotive service garage in late 1930, with additions constructed at various times between 1949 and 1967. The gasoline filling station and automotive service garage were redeveloped for retail use in 1958 and were subsequently demolished in 2015, when the current building was constructed. Occupants of the former northern buildings included various automotive dealerships or service operations between at least 1930 and 1957 and Green's Art Supply between at least 1958 and 2014. A southeastern dwelling was redeveloped as a plumbing supply company between 1921 and 1926, which operated (and included several additions) until the early 1950s, when the building was demolished, and the area was converted into a parking lot until construction of the current building. A western dwelling was demolished between 1931 and 1940, when the area was converted into a parking lot, until construction of the current building. The current building has been occupied by various retail, commercial, and residential operations since construction. This property is identified in the regulatory database. Refer to Section 9.2 for additional information.

The south adjoining property, identified as 280 Daines Street, is currently occupied by the Downtown Birmingham Veterinarian. Review of historical sources document the property was developed as residential in at least 1921. Former dwellings were converted for professional offices

use during the 1960s. A majority of the former buildings were demolished in the early-1980s, and the current building was constructed. The property has been occupied by various professional firms (i.e. legal, real estate, etc.) since at least 1988.

The remaining south adjoining property is currently utilized for parking and was historically residential or vacant land.

West Adjoining Property

The west adjoining property, identified as 260 East Brown Street, is currently occupied by E.H. Bluestein Company, a professional management company. Review of historical sources document the property was residential between at least 1921 and 1963. Former dwellings were demolished at various times between 1963 and 1980 and the property was redeveloped with the current building between 1980 and 1988. The building has been occupied by various professional offices since at least 1988.

9.0 REGULATORY RECORDS REVIEW

PM retained EDR to provide current regulatory database information compiled by a variety of federal and state regulatory agencies. A copy of the complete database is included in Appendix D. The following information was obtained:

Type	Regulatory Agency Database	Approximate Minimum Search Distance (AMSD)	Number of Sites within AMSD
Federal	National Priority List (NPL) Sites	1 mile	0
Federal	Delisted National Priority List (DNPL) Sites	½ mile	0
Federal	Superfund Enterprise Management System (SEMS) (formerly CERCLIS – renamed in 2015) Sites	½ mile	0
Federal	SEMS-Archive Sites (formerly CERLIS-NFRAP – renamed 2015)	½ mile	0
Federal	Resource Conservation and Recovery Act (RCRA) Corrective Action Report (CORRACTS) Sites	1 mile	0
Federal	RCRA non-CORRACTS Treatment, Storage or Disposal Facilities (TSDF) Sites	½ mile	0
Federal	RCRA Large Quantity Generators (LQG) Sites	subject property and adjoining properties	0
Federal	RCRA Small Quantity Generators (SQG) Sites	subject property and adjoining properties	0
Federal	RCRA Very Small Quantity Generators (VSQG) Sites	subject property and adjoining properties	1
Federal	RCRA Non-Generators (NON-GEN) Sites	subject property and adjoining properties	0
Federal	Institutional Control / Engineering Control Registries	subject property	0
Federal	Environmental Response and Notification System (ERNS)	subject property	0
State & Tribal	Hazardous Waste Sites (HWS) (equivalents to NPL and CERCLIS)	1 mile	0
State & Tribal	Solid Waste Facilities/Landfill Sites (SWF/LF)	½ mile	0

Type	Regulatory Agency Database	Approximate Minimum Search Distance (AMSD)	Number of Sites within AMSD
State & Tribal	Leaking Underground Storage Tank (LUST) Sites	½ mile	18
State & Tribal	Registered Underground Storage Tank (UST) Sites	subject property and adjoining properties	1
State & Tribal	Institutional Control / Engineering Control Registries	subject property	0
State & Tribal	Brownfield Sites	½ mile	3
State & Tribal	Michigan Inventory of Facilities (Includes Part 201 Sites and Baseline Environmental Assessment {BEA} Sites)	½ mile	46
Either	Unmappable Database Listings (a.k.a. Orphan Sites)	database-dependent	1

9.1: Subject Property and Occupant Listings

The subject property or its known occupants are not identified in the referenced databases.

9.2: Adjoining and Nearby Sites

PM’s review of the referenced databases also considered the potential or likelihood of contamination from adjoining and nearby sites. To evaluate which of the adjoining and nearby sites identified in the regulatory database report present an environmental risk to the subject property, PM considered the following criteria:

- The type of database on which the site is identified.
- The topographic position of the identified site relative to the subject property.
- The direction and distance of the identified site from the subject property.
- Local soil conditions in the subject property area.
- The known or inferred groundwater flow direction in the subject property area.
- The status of the respective regulatory agency-required investigation(s) of the identified site, if any.
- Surface and subsurface obstructions and diversions (e.g., buildings, roads, sewer systems, utility service lines, rivers, lakes, and ditches) located between the identified site and the subject property.

Only those sites that are judged to present a potential environmental risk to the subject property and/or warrant additional clarification are further evaluated. Using the referenced criteria, and based upon a review of readily available information contained within the regulatory database report, PM did not identify adjoining (i.e., bordering) or nearby sites (e.g., properties within a ¼-mile radius) listed in the regulatory database report that were judged to present a potential environmental risk to the subject property, with the exception of the following:

Essco of Birmingham LLC – This property is identified as 255 South Old Woodward Avenue and is the northeast adjoining property. Review of the regulatory database documents an occupant is a RCRA-VSQG of hazardous waste with no reported violations. Review of available EGLE records document the occupant has generated waste since at least 2015 related to real estate property. No additional relevant information was documented. Based on the lack of reported violations, insufficient groundwater to act as a transport mechanism, and the distance of

operations from the subject property (over 140 feet across East Brown Street and South Old Woodward Avenue), PM has not identified this property as a REC.

Green's Art Supply a.k.a. Former Gasoline Dispensing Station – This property is identified as 400 South Old Woodward Avenue and is the south adjoining property. Review of the regulatory database documents this property is a former UST site, Brownfield site, and BEA site. Review of available EGLE records document former USTs were removed and contaminated soil was excavated from the property. Verification soil remediation (VSR) samples were collected from the property following excavation activities. Analytical soil sample results document that impacted soil had been remediated to below Part 201 generic cleanup criteria. Based on this information, insufficient groundwater to act as a transport mechanism, and distance from the subject property (over 50 feet across Daines Street), PM has not identified this property as a REC.

Weiss Samona and Woodward Brown Associates, LLC – This property is identified as 34901 Woodward Avenue and is located within one-eighth of a mile northeast. Review of the regulatory database documents this property is a US Brownfields site and a BEA site. Review of available EGLE records document the BEA was completed in 2010 and identified contamination above Part 201 generic cleanup criteria on the property. However, based on the insufficient groundwater to act as a transport mechanism and distance from the subject property (over 390 feet across multiple roadways), PM has not identified this property as a REC.

Jax Kar Wash #048 – This property is identified as 34745 Woodward Avenue and is located within one-eighth of a mile east. Review of the regulatory database documents this property is an open LUST site with one release reported in 2000 and BEA site. Review of available EGLE records document multiple site investigations were completed between 2001 and 2005, which document soil and groundwater contamination are present above Part 213 Risk Based Screening Levels (RBSLs), which has not been delineated towards the subject property. However, based on insufficient groundwater to act as a transport mechanism and distance from the subject property (over 285 feet across South Old Woodward Avenue), PM has not identified this property as a REC.

Estate Motors LTD – This property is identified as 464 South Woodward Avenue and is located within one-eighth of a mile south. Review of the regulatory database documents this property is a closed LUST site with two reported releases in 1991 and 1992, which were granted Type A and Type B closures in 1993 and 1994, respectively. Review of available EGLE records document metals remain on the property above Part 213 RBSLs. However, based on the low mobility of metals within soil, insufficient groundwater to act as a transport mechanism, and distance from the subject property (over 220 feet across Daines Street), PM has not identified this property as a REC.

Brown Street Office Building – This property is identified as 200 East Brown Street and is located within one eighth of a mile west. Review of the regulatory database documents this property is a BEA site. Review of available EGLE records document soil contamination remains on-site above Part 201 cleanup criteria. Contamination was documented to be delineated towards the subject property. Based on this information, insufficient groundwater to act as a transport mechanism, and distance from the subject property (over 200 feet), PM has not identified this property as a REC.

Additional properties within one-eighth of a mile northeast and east were identified in the regulatory database as LUST and BEA sites. However, based on distance considerations and

insufficient groundwater to act as a transport mechanism, PM has not identified these properties as a REC.

10.0 FINDINGS, OPINIONS AND CONCLUSIONS

10.1: De Minimis Condition

A de minimis condition, as defined in the ASTM Standard, is a condition that generally does not present a threat to human health or the environment and generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies. Conditions determined to be de minimis are not RECs or CRECs. No de minimis conditions were identified during this assessment.

10.2: Significant Data Gaps

A data gap, as defined in the ASTM Standard, is a lack of or inability to obtain information required by the ASTM Standard despite good faith efforts by the environmental professional to gather such information. The environmental professional must then determine whether these gaps are significant. PM did not identify or encounter any instances of significant data gaps during the course of this ESA.

10.3: Historical Recognized Environmental Conditions (HRECs)

An HREC, as defined in the ASTM Standard, is a past release of hazardous substances or petroleum products that has occurred in connection with the subject property and has been addressed to the satisfaction of the applicable regulatory authority or meeting unrestricted residential use criteria established by a regulatory authority, without subjecting the subject property to any required controls. PM has not identified any HRECs in association with the subject property.

10.4: Recognized Environmental Conditions (RECs)

We have performed a Phase I Environmental Site Assessment in conformance with the scope and limitations of ASTM Practice E 1527-13 of the Commercial Properties located at 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Oakland County, Michigan, the property. Any exceptions to, or deletions from, this practice are described in Section 1.4 of this report. This assessment has revealed no evidence of recognized environmental conditions connected with the property except the following:

- The current building on the southeastern parcel, identified as 360-394 South Old Woodward Avenue, was historically occupied by automotive service operations between at least 1929 and 1967. Additionally, records suggest automotive sales between at least 1980 and 1988 appear to have included limited service or repair operations. Historical interior waste streams associated with the former service operations would have consisted of general hazardous substances and/or petroleum products. This time period preceded major environmental regulations and current waste management and disposal procedures. The historical waste management practices associated with the former service operations are unknown and may be a source of subsurface contamination.

- Former service operations on the southeastern parcel may have utilized In-ground hoists, which have an underground reservoir for hydraulic fluids, which can contain polychlorinated biphenyls (PCBs). The potential exists that a release occurred from the former hydraulic hoist system and/or underground reservoir. Additionally, the potential exists for orphaned reservoirs to be present on the subject property.
- The southeastern parcel was historically occupied by a gasoline dispensing station between at least 1929 and the 1960s. Review of available records document at least four underground storage tanks (USTs) associated with these operations. A gasoline tank was also depicted east of this parcel, in the South Old Woodward Avenue right of way in the 1926 Sanborn map. Available City of Birmingham Fire Department records document the removal of five abandoned USTs from the property in 1970. No additional information on the condition of the USTs upon removal or contents of the USTs was available in reasonably ascertainable records. PM was unable to confirm whether the fifth UST removed was the former UST depicted in the right of way in the 1926 Sanborn map or was an additional UST and the right of way UST is still present. The potential exists for orphan USTs to be present on the southeastern parcel and/or for subsurface contamination to be present from the former UST system(s).
- The current building on the southeastern parcel was occupied by a potential dry cleaner (Moore Cleaners) between at least 1969 and 1976. No information on the operations was available from reasonably ascertainable sources reviewed as part of this Phase I ESA. Dry cleaning operations commonly involve the usage of general hazardous substances and/or petroleum products, which, if improperly managed and/or disposed of, can be a source of contamination. This time period preceded major environmental regulations and current waste management and disposal procedures. The potential exists for the former occupant to have been an on-site dry cleaner and for subsurface contamination to be present from these former operations.
- The current building on the western parcel, identified as 294 East Brown Street, was historically occupied by a fur retailer (Chudik's Furs) with potential repair or cleaning operations between at least 1970 and 1991. In PM's experience, fur retailers commonly have repair and cleaning operations that involve the usage of general hazardous substances and/or petroleum products, which, if improperly managed and/or disposed of, can be a source of contamination. Reasonably ascertainable City of Birmingham Fire Department records document that Chudik's Furs was divided into a sewing room, bridal room, and work room with paint cabinet, further indicating repairs and/or cleaning activities were conducted on-site. A significant portion of this time period preceded major environmental regulations and current waste management and disposal procedures. The historical waste management practices associated with the former fur retailer and potential repair and cleaning operations are unknown and may be a source of subsurface contamination.

No adjoining and/or nearby RECs have been identified.

10.5: Controlled Recognized Environmental Conditions (CRECs)

A CREC, as defined in the ASTM Standard, is a recognized environmental condition (REC) resulting from a past release of hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority with hazardous substances or

petroleum products allowed to remain in place subject to the implementation of required controls. PM has not identified any CRECs in association with the subject property.

10.6: Recommendations

We have performed a Phase I Environmental Site Assessment in conformance with the scope and limitations of ASTM Practice E 1527-13 of the Commercial Properties located at 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Oakland County, Michigan, the property. Any exceptions to, or deletions from, this practice are described in Section 1.4 of this report. This assessment has revealed no evidence of recognized environmental conditions connected with the property except as listed in Section 10.4 of this report.

PM is concurrently completing a Phase II ESA to investigate the RECs identified, which will be provided under separate cover.

11.0 NON-ASTM SCOPE CONSIDERATIONS/BUSINESS ENVIRONMENTAL RISKS

PM has included a discussion of Non-ASTM Scope Considerations based upon industry standards and lender requirements. A Business Environmental Risk is defined as a risk which can have a material environmental or environmentally-driven impact on the business associated with the current or planned use of a parcel of commercial real estate, not necessarily limited to those environmental issues required to be investigated in this practice.

Non-ASTM Item	Observations or Information
Potential Asbestos Containing Materials (ACMs)	<p>Based on PM's limited visual observations during the site reconnaissance, suspect ACMs identified included 12 inch by 12 inch vinyl floor tiles, drywall walls and ceilings, and suspended acoustical ceiling tiles. The materials appeared to be in good condition apart from limited damaged vinyl floor tiles. These materials should be sampled, and if found to be asbestos containing, should be repaired or removed by a licensed asbestos contractor in accordance with all applicable federal, state, and local regulations. Repair or removal operations should be supervised by an independent, third party industrial hygiene firm.</p> <p>Buildings constructed prior to, but no later than, 1980 with suspect asbestos containing building materials are required by Federal regulations to designate those materials as "Presumed Asbestos Containing Materials" in the absence of analytical data. As such, there are several Federal requirements the building owner must adhere to regarding notification and management of these materials in pre-1980 buildings. Additionally, in the future, a comprehensive asbestos survey should be completed prior to significant renovation or demolition activities.</p>

Non-ASTM Item	Observations or Information
Lead Based Paint (LBP)	Based on the original construction of the subject buildings in 1929, 1945, and 1956 (pre-1978 when Federal regulations banned the use of LBP), there is the potential for existing paint to be lead based or contain lead. However, the painted surfaces were observed to be in generally good condition, the subject buildings are not of residential or child-occupied use, and there is no regulatory requirement for the owner to sample suspect painted building components at this time. Therefore, no further action is recommended regarding suspected lead in paint at the subject property. If a more definitive determination is preferred for outside contractor or maintenance activities that may disturb painted building components, PM can provide a scope of work to address.
Visual Mold or Significant Moisture Damage	PM performed a limited visual assessment for the presence of mold, conditions conducive to mold, and evidence of moisture in readily accessible interior areas of the subject property. No significant suspect mold and/or evidence of moisture was observed, beyond the presence of very small quantities commonly found in locations such as frequently wet areas and stained ceiling tiles.

12.0 SIGNATURE(S) OF ENVIRONMENTAL PROFESSIONAL(S)

We declare that, to the best of our professional knowledge and belief, we meet the definition of *Environmental professional* as defined in §312.10 of 40 CFR 312 and we have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property. We have developed and performed the all appropriate inquires in conformance with the standards and practices set forth in 40 CFR Part 312.



Lauren Babuska
 Project Consultant



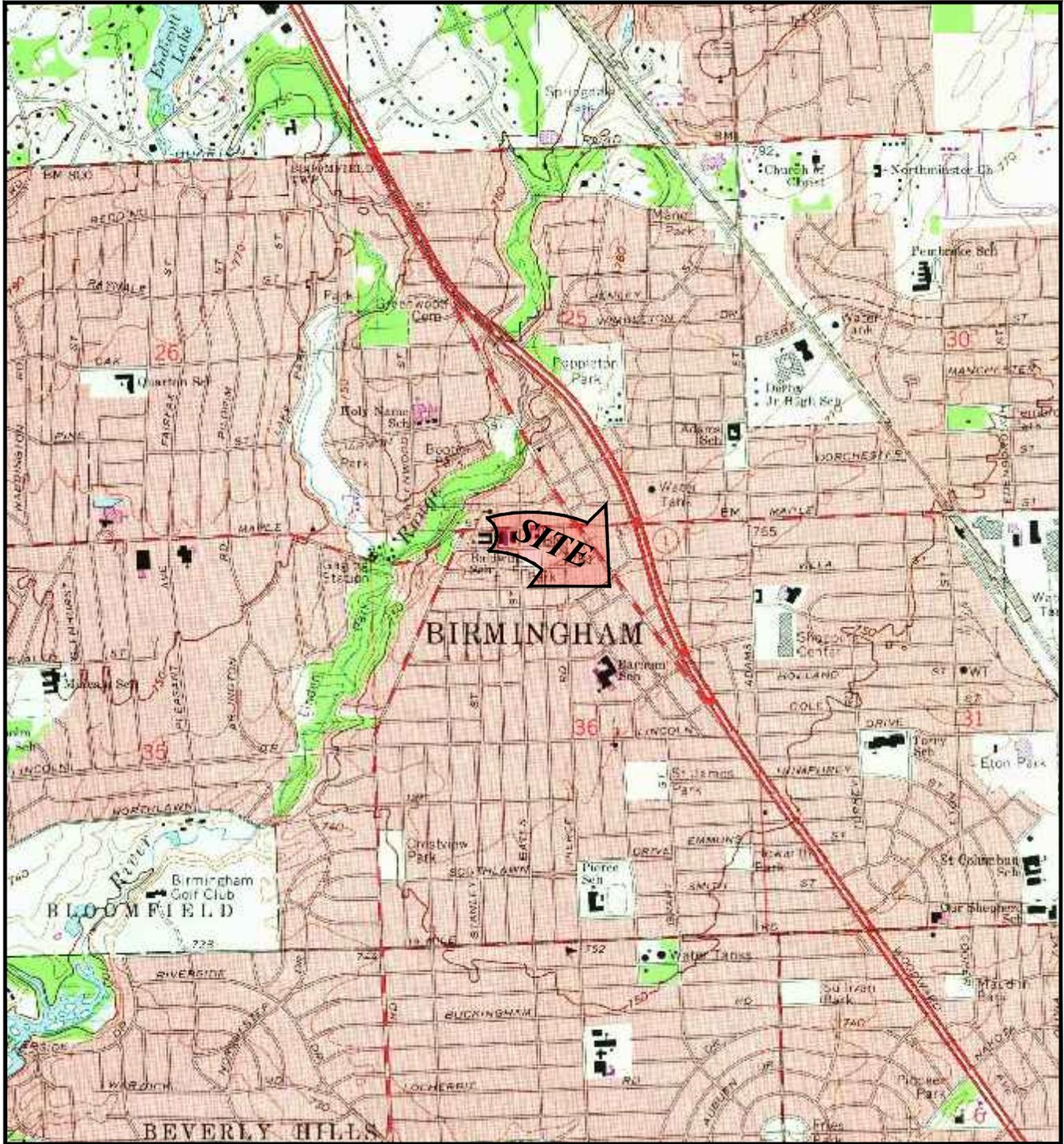
Beth Sexton
 Chief Operating Officer

13.0 REFERENCES

The following published sources were utilized during completion of this Phase I ESA:

- *Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process*, ASTM International, ASTM Designation E 1527-13, Published November 2013.
- R.L. Polk's Directories, obtained from the State of Michigan Library in Lansing, Michigan. City: Birmingham. Years: 1937-1951.
- Bresser's Cross-Index City Directories, Bresser's in Detroit, Michigan. City: Birmingham. Years: 1952-2014.
- United States Geological Survey Division (U.S.G.S.) 7.5 Minute Topographic Map Birmingham, Michigan Quadrangle, 1968 (photo-revised 1981).
- *Custom Soil Resource Report for Oakland County, Michigan*, U.S. Department of Agriculture, survey area data: June 1, 2020.

Figures



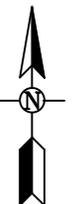
MICHIGAN QUADRANGLE LOCATION

OAKLAND COUNTY

FIGURE 1

PROPERTY VICINITY MAP

UNITED STATES GEOLOGICAL SURVEY, 7.5 MINUTE SERIES
BIRMINGHAM, MI QUADRANGLE, 1968. PHOTO REVISED 1981.



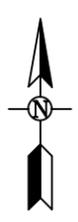
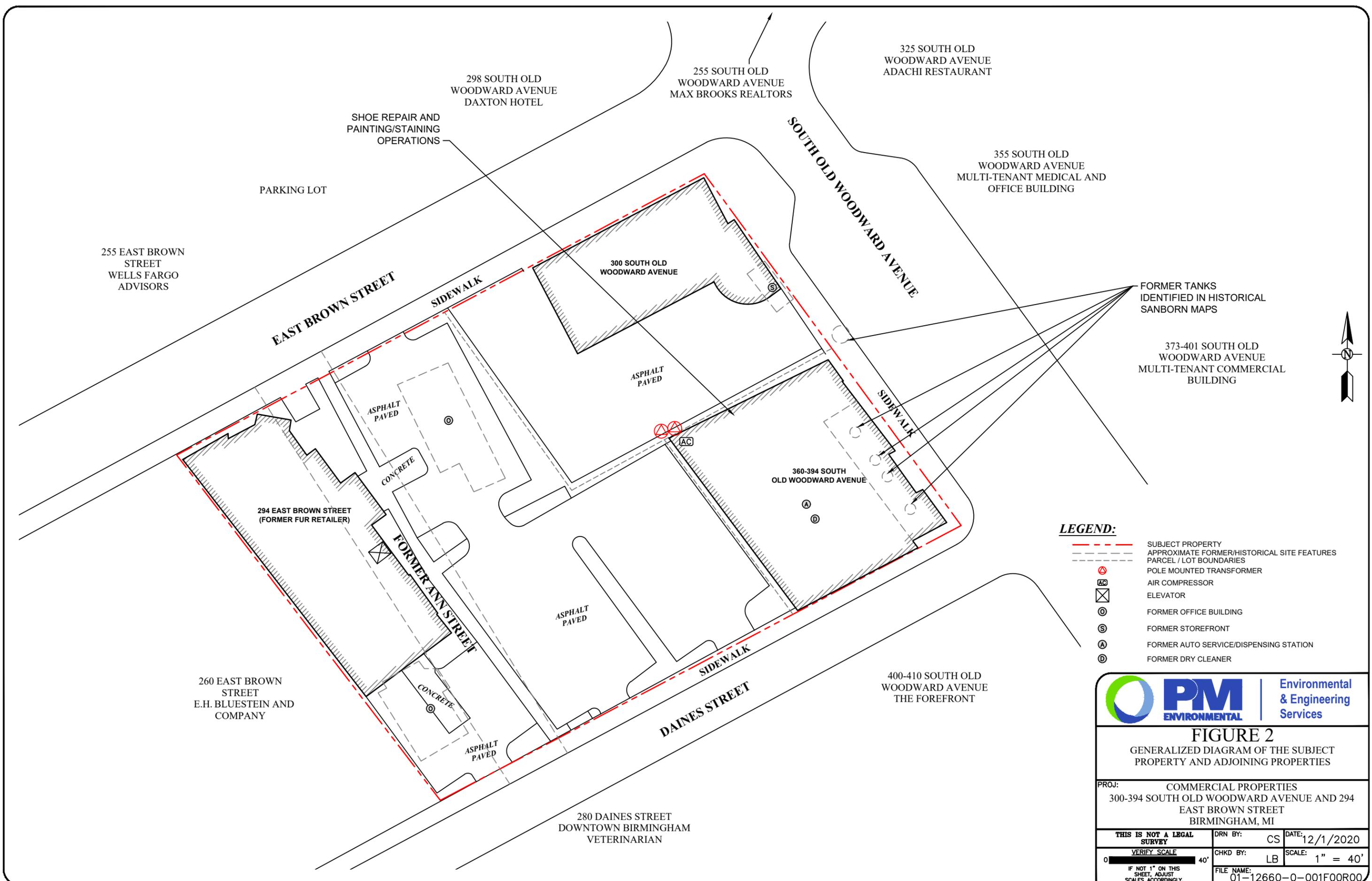
PROJ: COMMERCIAL PROPERTIES
300-394 SOUTH OLD WOODWARD AVENUE
AND 294 EAST BROWN STREET
BIRMINGHAM, MI

THIS IS NOT A LEGAL SURVEY

VERIFY SCALE
0 2,000'

IF NOT 1" ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

DRN BY:	CS	DATE:	12/1/2020
CHKD BY:	LB	SCALE:	1" = 2,000'
FILE NAME:	01-12660-0-001F00R00		



- LEGEND:**
- SUBJECT PROPERTY
 - APPROXIMATE FORMER/HISTORICAL SITE FEATURES
 - PARCEL / LOT BOUNDARIES
 - ⊙ POLE MOUNTED TRANSFORMER
 - AC AIR COMPRESSOR
 - ELEVATOR
 - ⊙ FORMER OFFICE BUILDING
 - ⊙ FORMER STOREFRONT
 - A FORMER AUTO SERVICE/DISPENSING STATION
 - D FORMER DRY CLEANER



FIGURE 2
GENERALIZED DIAGRAM OF THE SUBJECT PROPERTY AND ADJOINING PROPERTIES

PROJ: COMMERCIAL PROPERTIES
300-394 SOUTH OLD WOODWARD AVENUE AND 294 EAST BROWN STREET
BIRMINGHAM, MI

THIS IS NOT A LEGAL SURVEY	DRN BY: CS	DATE: 12/1/2020	
VERIFY SCALE	CHKD BY: LB	SCALE: 1" = 40'	
IF NOT 1" ON THIS SHEET, ADJUST SCALES ACCORDINGLY.	FILE NAME: 01-12660-0-001F00R00		

Appendix A



SITE PHOTOGRAPHS



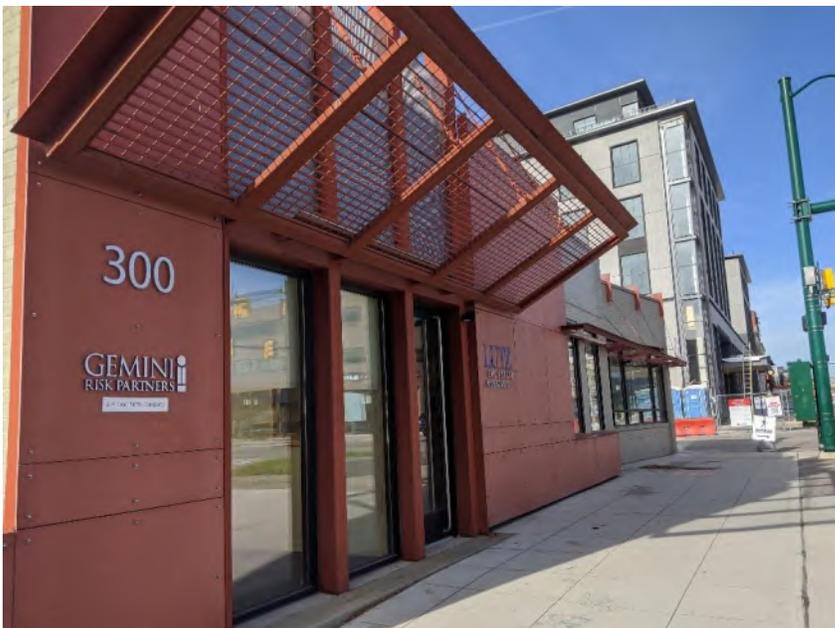
Photographs From Site Reconnaissance
PM Project No. 01-12660-0-0001
Location: 300-394 South Old Woodward Avenue and
294 East Brown Street, Birmingham, Michigan

Photograph 1



The north facing wall of the subject building,
300 South Old Woodward Avenue.

Photograph 2



The east facing wall of the subject building, 300
South Old Woodward Avenue.



Photographs From Site Reconnaissance
PM Project No. 01-12660-0-0001
Location: 300-394 South Old Woodward Avenue and
294 East Brown Street, Birmingham, Michigan

Photograph 3



A typical office in 300 South Old Woodward Avenue.

Photograph 4



A typical conference room in 300 South Old Woodward Avenue.



Photographs From Site Reconnaissance
PM Project No. 01-12660-0-0001
Location: 300-394 South Old Woodward Avenue and
294 East Brown Street, Birmingham, Michigan

Photograph 5



The basement in 300 South Old Woodward Avenue.

Photograph 6



The mechanical room and sump in the basement of 300 South Old Woodward Avenue.



Photographs From Site Reconnaissance
PM Project No. 01-12660-0-0001
Location: 300-394 South Old Woodward Avenue and
294 East Brown Street, Birmingham, Michigan

Photograph 7



The north facing wall of the subject building,
360-394 South Old Woodward Avenue.

Photograph 8



The east facing wall of the subject building, 360
South Old Woodward Avenue.



Photographs From Site Reconnaissance
PM Project No. 01-12660-0-0001
Location: 300-394 South Old Woodward Avenue and
294 East Brown Street, Birmingham, Michigan

Photograph 9



Shoe repair area in 360 South Old Woodward Avenue.

Photograph 10



The retail area in 360 South Old Woodward Avenue.



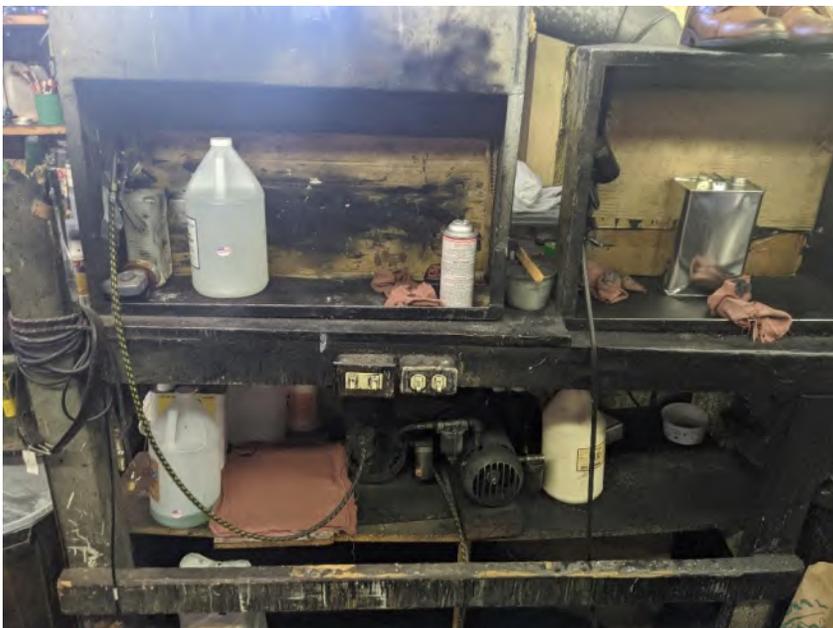
Photographs From Site Reconnaissance
PM Project No. 01-12660-0-0001
Location: 300-394 South Old Woodward Avenue and
294 East Brown Street, Birmingham, Michigan

Photograph 11



Shoe repair area in 360 South Old Woodward Avenue.

Photograph 12



Painting and staining booth along the northern interior wall of 360 South Old Woodward Avenue.



Photographs From Site Reconnaissance
PM Project No. 01-12660-0-0001
Location: 300-394 South Old Woodward Avenue and
294 East Brown Street, Birmingham, Michigan

Photograph 13



The air compressor in the northwestern portion
of 360 South Old Woodward Avenue.

Photograph 14



The basement in 360 South Old Woodward
Avenue.



Photographs From Site Reconnaissance
PM Project No. 01-12660-0-0001
Location: 300-394 South Old Woodward Avenue and
294 East Brown Street, Birmingham, Michigan

Photograph 15



A typical floor drain in the basement of 360 South Old Woodward Avenue.

Photograph 16



The east facing wall of the subject building, 394 South Old Woodward Avenue.



Photographs From Site Reconnaissance
PM Project No. 01-12660-0-0001
Location: 300-394 South Old Woodward Avenue and
294 East Brown Street, Birmingham, Michigan

Photograph 17



The retail area in 394 South Old Woodward Avenue.

Photograph 18



A typical loading bay/storage area in 394 South Old Woodward Avenue.



Photographs From Site Reconnaissance
PM Project No. 01-12660-0-0001
Location: 300-394 South Old Woodward Avenue and
294 East Brown Street, Birmingham, Michigan

Photograph 19



The electrical room in 394 South Old Woodward Avenue.

Photograph 20



The pole-mounted transformers located northwest of the subject building identified as 360-394 Old Woodward Avenue.



Photographs From Site Reconnaissance
PM Project No. 01-12660-0-0001
Location: 300-394 South Old Woodward Avenue and
294 East Brown Street, Birmingham, Michigan

Photograph 21



The east facing wall of the subject building, 294 East Brown Street.

Photograph 22



The west facing wall of the subject building, 294 East Brown Street.



Photographs From Site Reconnaissance
PM Project No. 01-12660-0-0001
Location: 300-394 South Old Woodward Avenue and
294 East Brown Street, Birmingham, Michigan

Photograph 23



A typical office in 294 East Brown Street.

Photograph 24



A typical employee break area in 294 East Brown Street.



Photographs From Site Reconnaissance
PM Project No. 01-12660-0-0001
Location: 300-394 South Old Woodward Avenue and
294 East Brown Street, Birmingham, Michigan

Photograph 25



The basement in 294 East Brown Street.

Photograph 26



The elevator equipment room located in the
basement of 294 East Brown Street.



Photographs From Site Reconnaissance
PM Project No. 01-12660-0-0001
Location: 300-394 South Old Woodward Avenue and
294 East Brown Street, Birmingham, Michigan

Photograph 27



The sump located in the mechanical room in the basement of 294 East Brown Street.

Photograph 28



A typical floor drain located within the mechanical areas in 294 East Brown Street.



Photographs From Site Reconnaissance
PM Project No. 01-12660-0-0001
Location: 300-394 South Old Woodward Avenue and
294 East Brown Street, Birmingham, Michigan

Photograph 29



The north adjoining property, 298 South Old Woodward Avenue.

Photograph 30



The northeast adjoining property, 255 South Old Woodward Avenue.



Photographs From Site Reconnaissance
PM Project No. 01-12660-0-0001
Location: 300-394 South Old Woodward Avenue and
294 East Brown Street, Birmingham, Michigan

Photograph 31



The northwest adjoining property, 255 East Brown Street.

Photograph 32



The east adjoining property, 355 South Old Woodward Avenue.



Photographs From Site Reconnaissance
PM Project No. 01-12660-0-0001
Location: 300-394 South Old Woodward Avenue and
294 East Brown Street, Birmingham, Michigan

Photograph 33



The northeast adjoining property, 325 South
Old Woodward Avenue.

Photograph 34



The southeast adjoining property, 373-401
South Old Woodward Avenue.



Photographs From Site Reconnaissance
PM Project No. 01-12660-0-0001
Location: 300-394 South Old Woodward Avenue and
294 East Brown Street, Birmingham, Michigan

Photograph 35



The south adjoining property, 400-410 South Old Woodward Avenue.

Photograph 36



The southwest adjoining property, 280 Daines Street.



Photographs From Site Reconnaissance
PM Project No. 01-12660-0-0001
Location: 300-394 South Old Woodward Avenue and
294 East Brown Street, Birmingham, Michigan

Photograph 37



The west adjoining property, 260 East Brown Street.

Appendix B



USER QUESTIONNAIRE

PHASE I ESA - ASTM USER QUESTIONNAIRE

Project:	300-360 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Michigan
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The ASTM Standard defines a User as "the party seeking to use Practice E 1527 to complete an environmental site assessment. A User may include, without limitation, a potential purchaser of property, a potential tenant of property, an owner of property, a lender, or a property manager.

In order to qualify for one of the Landowner Liability Protections (LLPs) offered by the Small Business Liability Relief and Brownfield's Revitalization Act of 2001 (the "Brownfield's Amendments") the **User** must provide the following information (if available) to the environmental professional. Failure to provide this information could result in a determination that "all appropriate inquiry" is not complete.

If you are the User, please answer the following questions to the best of your knowledge and provide a completed copy to PM.

1. Environmental Clean-up liens that are filed or recorded against the site (40 CFR 312.25)

Are you aware of any environmental cleanup liens against the property that are filed or recorded under federal, tribal, state or local law? **Yes**

No

If so, please describe that type of liens:

2. Activity and land use limitations that are in place on the site or that have been filed in a registry (40 CFR 312.26)

Are you aware of any Activity and Use Limitations (AULs), such as engineering controls, land use restrictions, or institutional controls that are in place at the site and/or have been filed or recorded in a registry under federal, tribal, state, or local law? **Yes**

No

If yes, what type of AULs are you aware of?

3. Specialized knowledge or experience of the person seeking to qualify for a LLP (40 CFR 312.28)

As the user of this ESA do you have any specialized knowledge or experience related to the property or nearby properties? For example, are you involved in the same line of business as the current or former occupants of the property or an adjoining property so that you would have specialized knowledge of the chemicals and the processes used by this type of business? **Yes**

No

If yes, what type of business are you associated with?

What types of chemicals are used in your business?

PHASE I ESA - ASTM USER QUESTIONNAIRE

Project:	300-360 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Michigan
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4. Relationship to the purchase price to the fair market value of the property if it were not contaminated (40 CFR 312.29)

Does the purchase price being paid for this property reasonably reflect the fair market value of the property? Yes No

If you conclude that there is a difference, have you considered whether the lower purchase price is because contamination is known or believed to be present at the property? Yes No

5. Commonly known or reasonably ascertainable information about the property (40 CFR 312.30)

Are you aware of commonly known or reasonably ascertainable information about the property that would help the environmental professional to identify conditions indicative of releases or threatened releases? For example as a user:

a. Do you know of the past uses of the property? Yes No

If yes, please list what past uses are you aware of? _____

b. Do you know of specific chemicals that are present or once were present at the property? Yes No

If yes, please list what chemicals you are aware of? _____

c. Do you know of spills or other chemical releases that have taken place on the property? Yes No

d. Do you know of any environmental cleanups which have taken place on the property? Yes No

If yes, do you have copies of any of the reports documenting the work? Yes No

If you have any documentation of previous environmental site assessment activities or other relevant information, please provide copies to PM when you return this questionnaire.

PHASE I ESA - ASTM USER QUESTIONNAIRE

Project:	300-360 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Michigan
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6. The degree of the obviousness of the presence of likely presence of contamination at the property and the ability to detect the contamination by appropriate investigation (40CFR 312.31)

As the user of this ESA, based on your knowledge and experience related to the property are there any obvious indicators that point to the presence or likely presence of contamination on the property? **Yes** **No**

If yes, please comment on what those indicators are:

Completed By (User): Baji Grapi LLC

Company Name for Real Estate Transaction: _____

Street Address: _____

City, State, Zip code: _____

User Phone Number: _____

Signature of the User: [Signature], VP

Date Questionnaire was completed on: 11/11/2020

SOIL SURVEY INFORMATION



United States
Department of
Agriculture

NRCS

Natural
Resources
Conservation
Service

A product of the National
Cooperative Soil Survey,
a joint effort of the United
States Department of
Agriculture and other
Federal agencies, State
agencies including the
Agricultural Experiment
Stations, and local
participants

Custom Soil Resource Report for Oakland County, Michigan



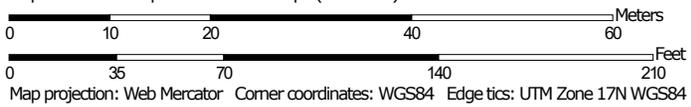
Soil Map

The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

Custom Soil Resource Report Soil Map



Map Scale: 1:747 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 17N WGS84

MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features

-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features

Water Features

 Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Oakland County, Michigan
 Survey Area Data: Version 19, Jun 1, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Dec 31, 2009—Mar 4, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
EtmaaE	Udorthents and Udipsamments, nearly level to hilly	1.3	100.0%
Totals for Area of Interest		1.3	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Custom Soil Resource Report

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Oakland County, Michigan

EtmaaE—Udorthents and Udipsamments, nearly level to hilly

Map Unit Setting

National map unit symbol: 2m785
Elevation: 680 to 1,000 feet
Mean annual precipitation: 31 to 32 inches
Mean annual air temperature: 47 to 47 degrees F
Frost-free period: 137 to 179 days
Farmland classification: Not prime farmland

Map Unit Composition

Udorthents and similar soils: 60 percent
Udipsamments and similar soils: 40 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Udorthents

Setting

Landform: Ground moraines
Landform position (three-dimensional): Rise
Down-slope shape: Concave
Across-slope shape: Convex
Parent material: Loamy till

Typical profile

A - 0 to 8 inches: silt loam
C - 8 to 39 inches: clay loam
Cd - 39 to 80 inches: clay loam

Properties and qualities

Slope: 0 to 30 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Well drained
Runoff class: Medium
Capacity of the most limiting layer to transmit water (Ksat): Very low to low (0.00 to 0.01 in/hr)
Depth to water table: More than 80 inches
Frequency of flooding: None
Frequency of ponding: None
Calcium carbonate, maximum content: 30 percent
Available water capacity: Moderate (about 6.5 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Hydrologic Soil Group: C
Ecological site: F099XY007MI - Lake Plain Flats
Hydric soil rating: No

Description of Udipsamments

Setting

Landform: Ground moraines
Landform position (three-dimensional): Rise
Down-slope shape: Concave

Custom Soil Resource Report

Across-slope shape: Convex

Parent material: Sandy glaciofluvial deposits

Typical profile

A - 0 to 4 inches: fine sandy loam

C1 - 4 to 12 inches: loamy fine sand

C2 - 12 to 30 inches: loamy fine sand

C3 - 30 to 80 inches: gravelly loamy fine sand

Properties and qualities

Slope: 0 to 30 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Well drained

Runoff class: Medium

Capacity of the most limiting layer to transmit water (Ksat): High to very high (2.00 to 20.00 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None

Frequency of ponding: None

Calcium carbonate, maximum content: 35 percent

Available water capacity: Low (about 4.5 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Hydrologic Soil Group: A

Ecological site: F099XY004MI - Warm Dry Sandy Ridge

Hydric soil rating: No

Soil Information for All Uses

Soil Reports

The Soil Reports section includes various formatted tabular and narrative reports (tables) containing data for each selected soil map unit and each component of each unit. No aggregation of data has occurred as is done in reports in the Soil Properties and Qualities and Suitabilities and Limitations sections.

The reports contain soil interpretive information as well as basic soil properties and qualities. A description of each report (table) is included.

Soil Qualities and Features

This folder contains tabular reports that present various soil qualities and features. The reports (tables) include all selected map units and components for each map unit. Soil qualities are behavior and performance attributes that are not directly measured, but are inferred from observations of dynamic conditions and from soil properties. Example soil qualities include natural drainage, and frost action. Soil features are attributes that are not directly part of the soil. Example soil features include slope and depth to restrictive layer. These features can greatly impact the use and management of the soil.

Soil Features

This table gives estimates of various soil features. The estimates are used in land use planning that involves engineering considerations.

A *restrictive layer* is a nearly continuous layer that has one or more physical, chemical, or thermal properties that significantly impede the movement of water and air through the soil or that restrict roots or otherwise provide an unfavorable root environment. Examples are bedrock, cemented layers, dense layers, and frozen layers. The table indicates the hardness and thickness of the restrictive layer, both of which significantly affect the ease of excavation. *Depth to top* is the vertical distance from the soil surface to the upper boundary of the restrictive layer.

Subsidence is the settlement of organic soils or of saturated mineral soils of very low density. Subsidence generally results from either desiccation and shrinkage, or oxidation of organic material, or both, following drainage. Subsidence takes place gradually, usually over a period of several years. The table shows the expected

Custom Soil Resource Report

initial subsidence, which usually is a result of drainage, and total subsidence, which results from a combination of factors.

Potential for frost action is the likelihood of upward or lateral expansion of the soil caused by the formation of segregated ice lenses (frost heave) and the subsequent collapse of the soil and loss of strength on thawing. Frost action occurs when moisture moves into the freezing zone of the soil. Temperature, texture, density, saturated hydraulic conductivity (Ksat), content of organic matter, and depth to the water table are the most important factors considered in evaluating the potential for frost action. It is assumed that the soil is not insulated by vegetation or snow and is not artificially drained. Silty and highly structured, clayey soils that have a high water table in winter are the most susceptible to frost action. Well drained, very gravelly, or very sandy soils are the least susceptible. Frost heave and low soil strength during thawing cause damage to pavements and other rigid structures.

Risk of corrosion pertains to potential soil-induced electrochemical or chemical action that corrodes or weakens uncoated steel or concrete. The rate of corrosion of uncoated steel is related to such factors as soil moisture, particle-size distribution, acidity, and electrical conductivity of the soil. The rate of corrosion of concrete is based mainly on the sulfate and sodium content, texture, moisture content, and acidity of the soil. Special site examination and design may be needed if the combination of factors results in a severe hazard of corrosion. The steel or concrete in installations that intersect soil boundaries or soil layers is more susceptible to corrosion than the steel or concrete in installations that are entirely within one kind of soil or within one soil layer.

For uncoated steel, the risk of corrosion, expressed as *low*, *moderate*, or *high*, is based on soil drainage class, total acidity, electrical resistivity near field capacity, and electrical conductivity of the saturation extract.

For concrete, the risk of corrosion also is expressed as *low*, *moderate*, or *high*. It is based on soil texture, acidity, and amount of sulfates in the saturation extract.

Custom Soil Resource Report

Soil Features—Oakland County, Michigan									
Map symbol and soil name	Restrictive Layer				Subsidence		Potential for frost action	Risk of corrosion	
	Kind	Depth to top	Thickness	Hardness	Initial	Total		Uncoated steel	Concrete
		<i>Low-RV-High</i>	<i>Range</i>		<i>Low-High</i>	<i>Low-High</i>			
		<i>In</i>	<i>In</i>		<i>In</i>	<i>In</i>			
Etm _{aa} E— Udorthents and Udipsamments, nearly level to hilly									
Udorthents	Densic material	- 39-	—	Very strongly cemented	—	—	Moderate	Moderate	Low
Udipsamments		—	—		—	—	Low	Low	Low

AERIAL PHOTOGRAPHS

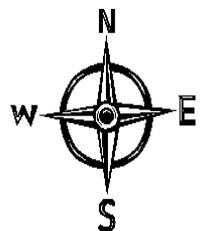


Location: 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Michigan

PM Project No. 01-12660-0-0001

Aerial Year: 1940

Source: Oakland County





Subject Property

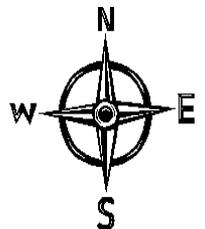


Location: 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Michigan

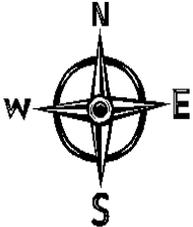
PM Project No. 01-12660-0-0001

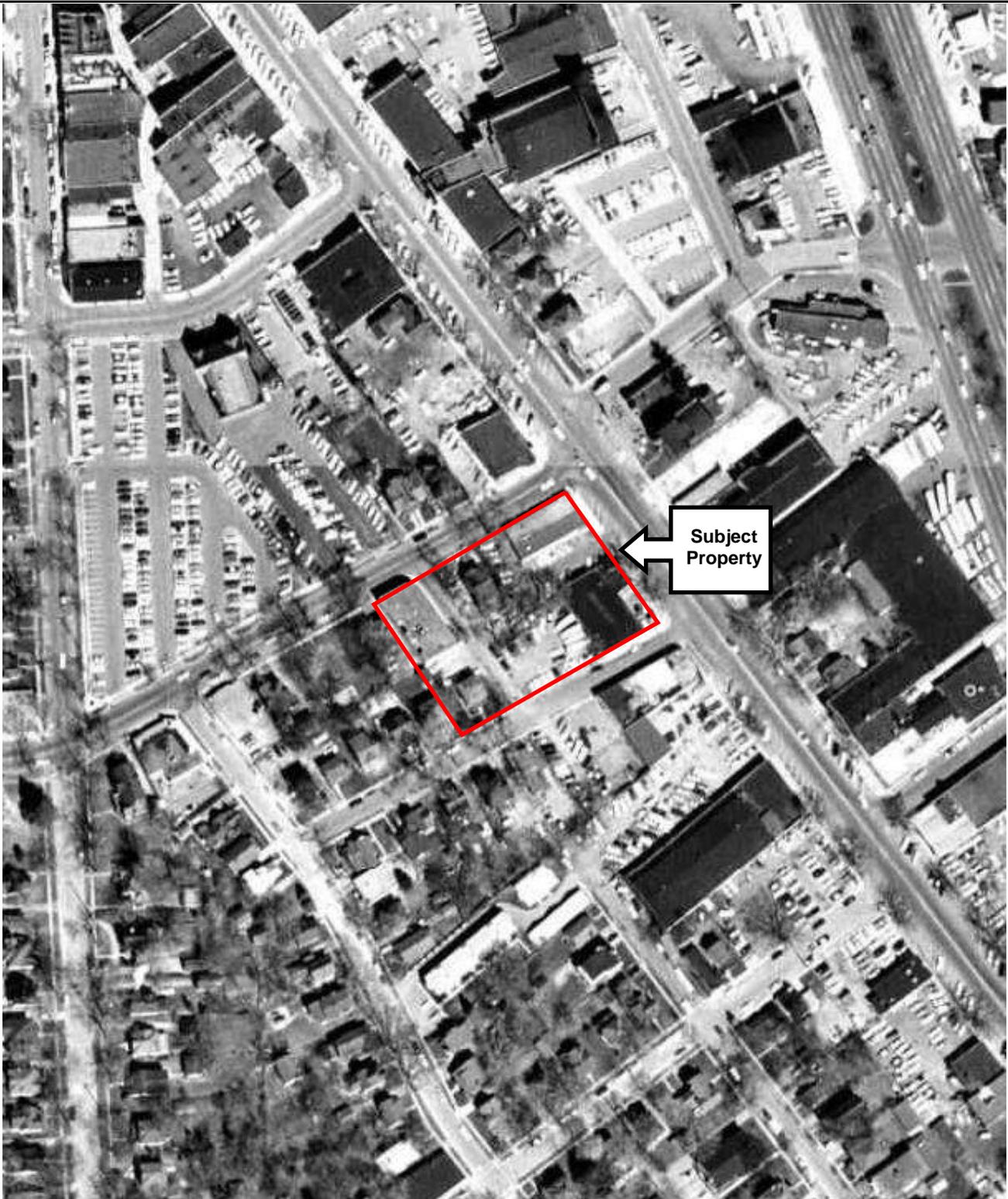
Aerial Year: 1949

Source: Wayne State University





	Location: 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Michigan	
	PM Project No. 01-12660-0-0001	
	Aerial Year: 1952	
	Source: Wayne State University	



Subject Property

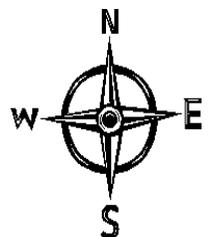


Location: 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Michigan

PM Project No. 01-12660-0-0001

Aerial Year: 1963

Source: Oakland County





Subject
Property

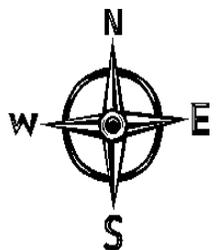


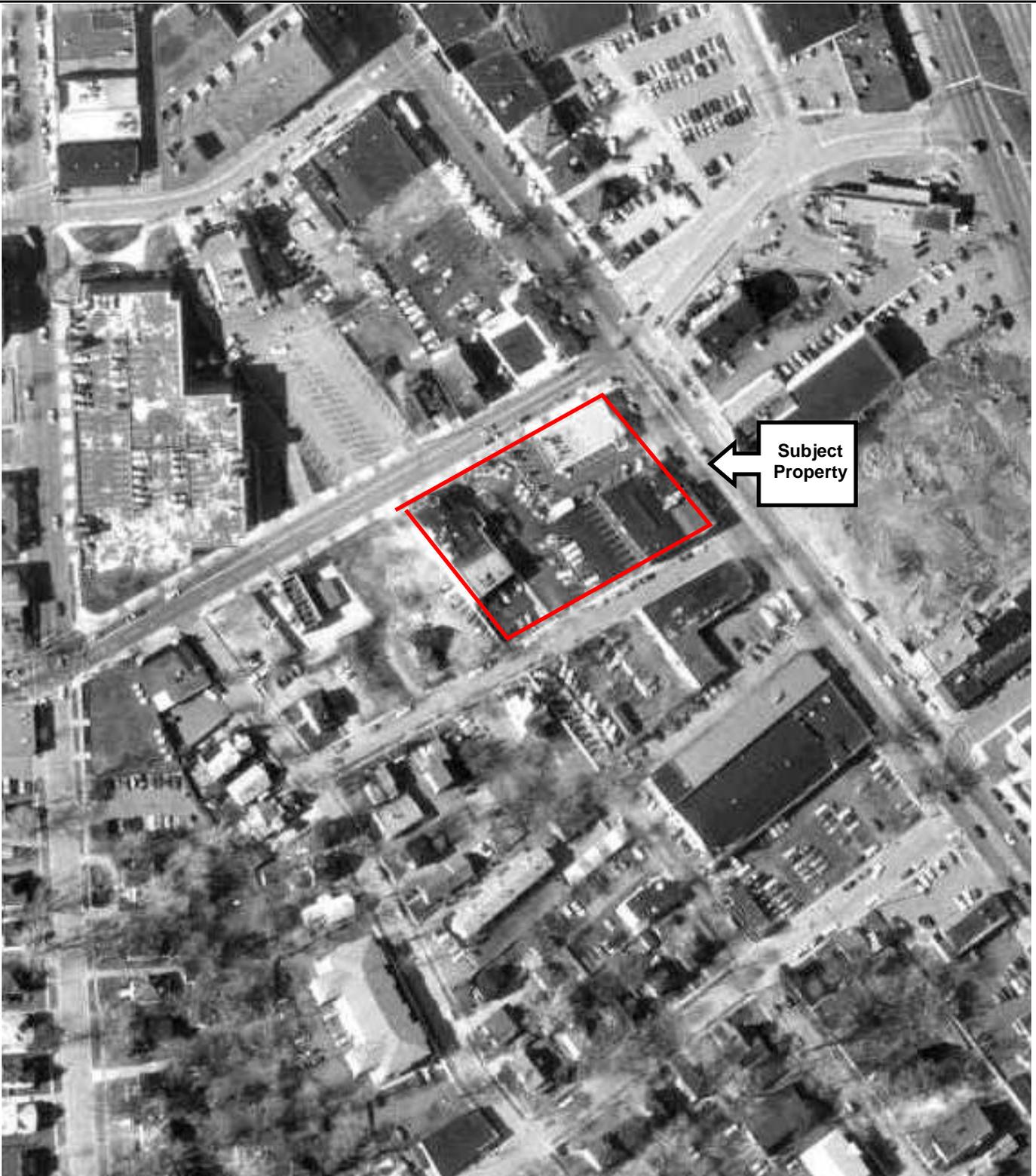
Location: 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Michigan

PM Project No. 01-12660-0-0001

Aerial Year: 1974

Source: Oakland County



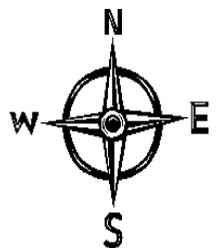


Location: 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Michigan

PM Project No. 01-12660-0-0001

Aerial Year: 1980

Source: Oakland County





Subject Property

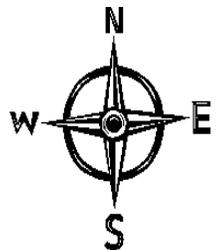


Location: 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Michigan

PM Project No. 01-12660-0-0001

Aerial Year: 1997

Source: Oakland County





Subject
Property

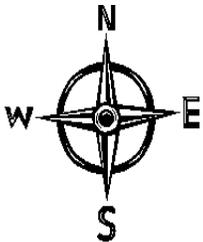


Location: 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Michigan

PM Project No. 01-12660-0-0001

Aerial Year: 2010

Source: Oakland County



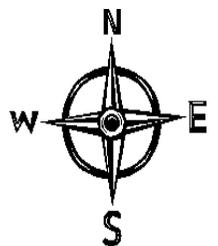


Location: 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Michigan

PM Project No. 01-12660-0-0001

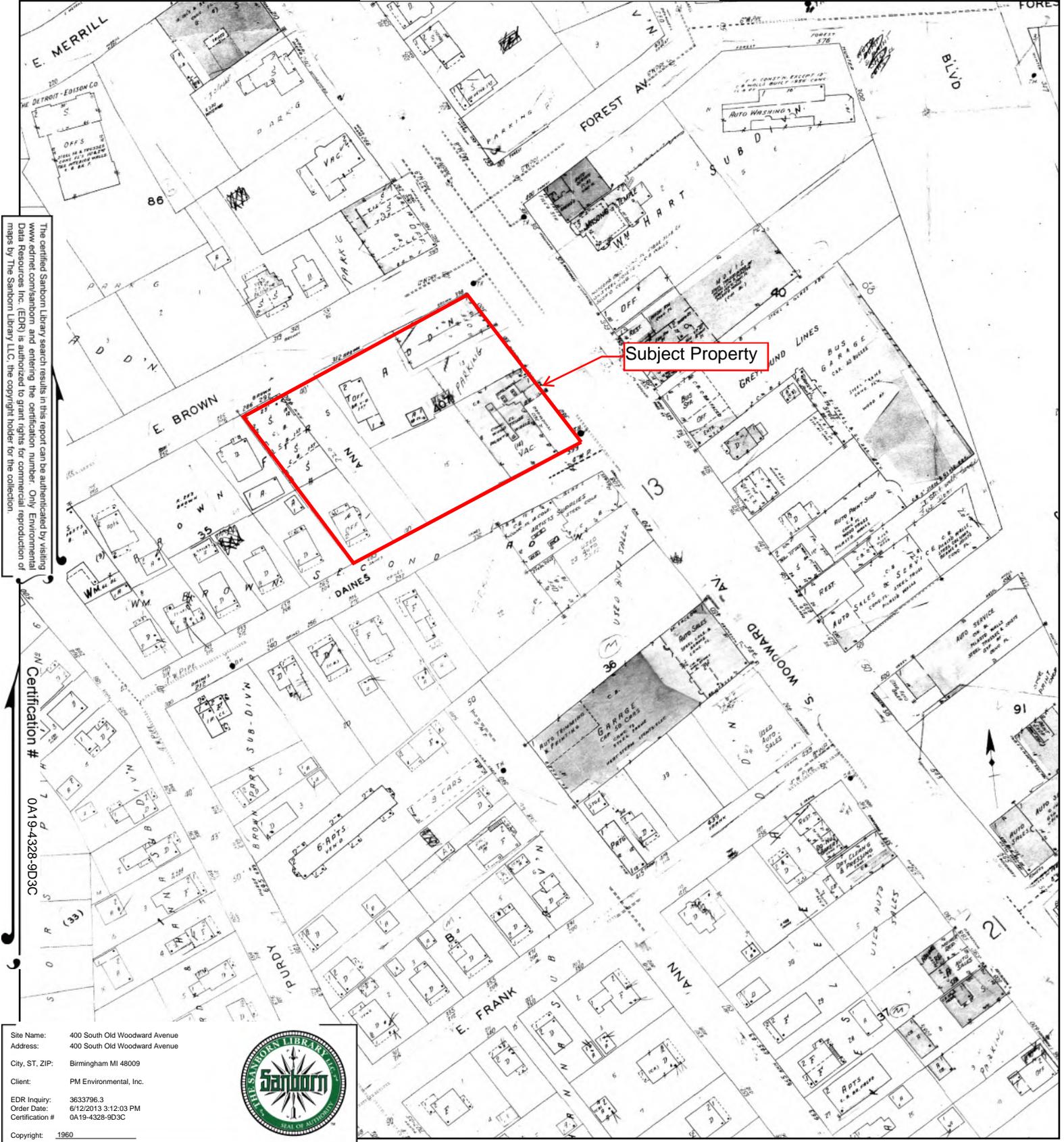
Aerial Year: 2017

Source: Oakland County



SANBORN FIRE INSURANCE MAPS

1960 Certified Sanborn Map



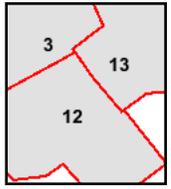
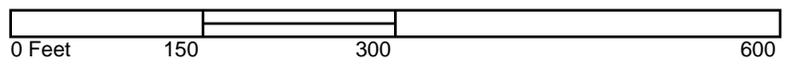
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Certification # 0A19-4328-9D3C

Site Name: 400 South Old Woodward Avenue
 Address: 400 South Old Woodward Avenue
 City, ST, ZIP: Birmingham MI 48009
 Client: PM Environmental, Inc.
 EDR Inquiry: 3633796.3
 Order Date: 6/12/2013 3:12:03 PM
 Certification #: 0A19-4328-9D3C
 Copyright: 1960



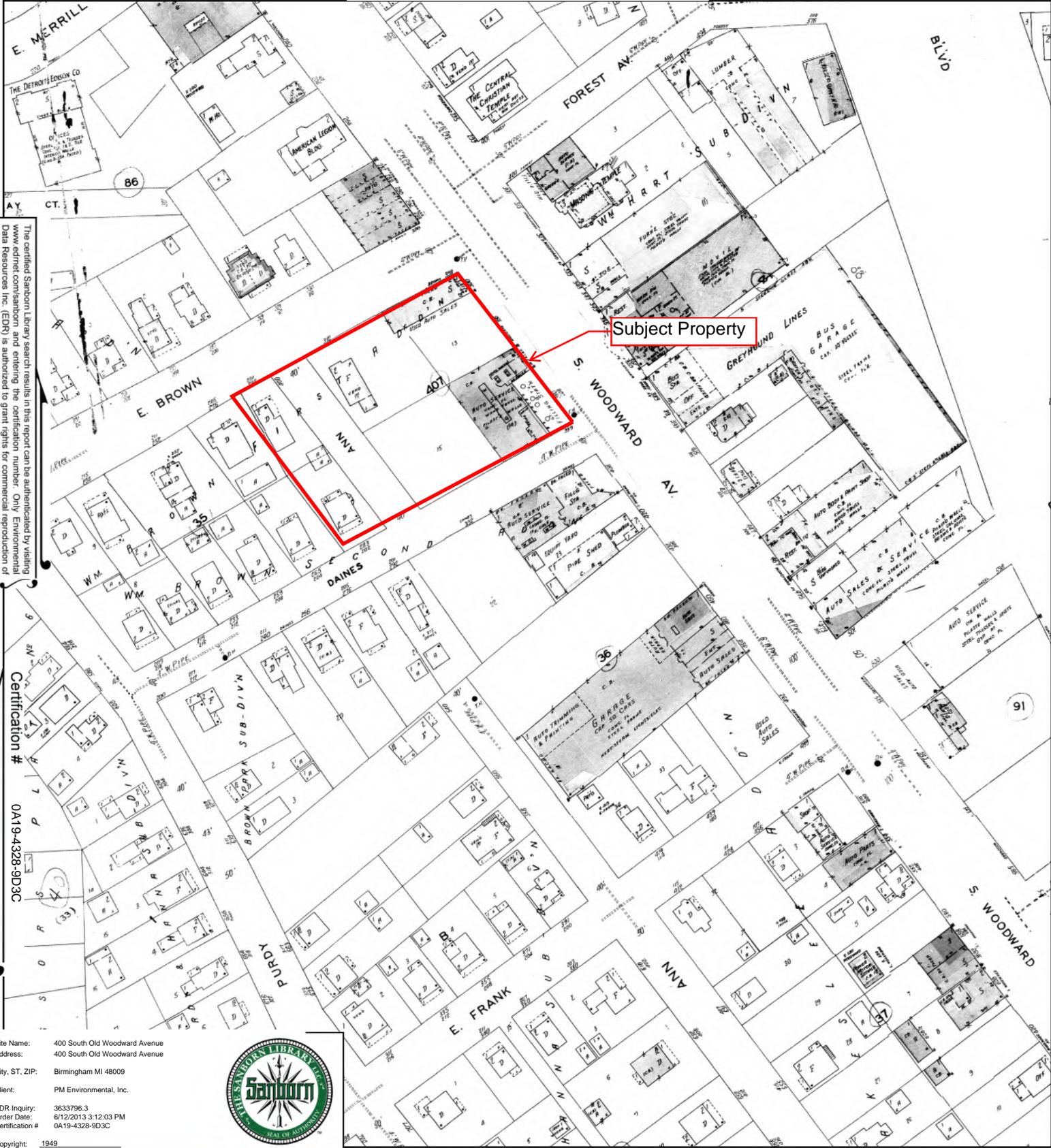
This Certified Sanborn Map combines the following sheets. Outlined areas indicate map sheets within the collection.



- Volume 1, Sheet 3
- Volume 1, Sheet 12
- Volume 1, Sheet 13



1949 Certified Sanborn Map



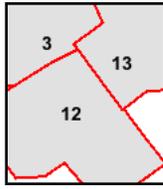
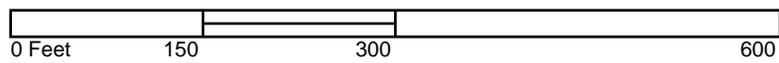
The certified Sanborn Library search results in this report can be authenticated by visiting www.edrnet.com/sanborn and entering the certification number. Only Environmental Data Resource Inc. (EDR) is authorized to grant rights for commercial reproduction of maps by The Sanborn Library LLC, the copyright holder for the collection.

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 EDR Inquiry: 3633796.3
 Order Date: 6/12/2013 3:12:03 PM
 Certification #: 0A19-4328-9D3C
 Copyright: 1949



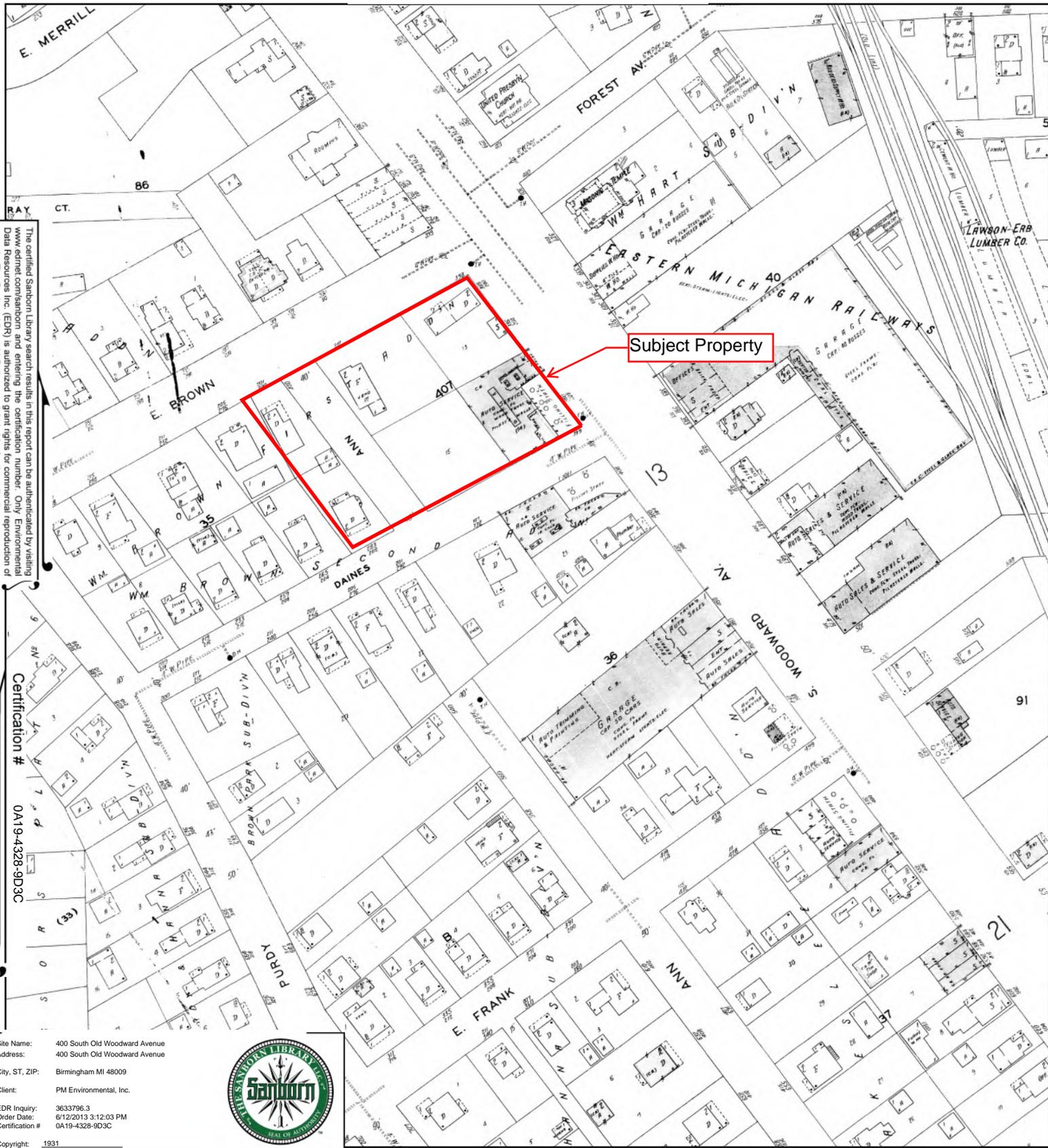
This Certified Sanborn Map combines the following sheets.
 Outlined areas indicate map sheets within the collection.



Volume 1, Sheet 3
 Volume 1, Sheet 12
 Volume 1, Sheet 13



1931 Certified Sanborn Map



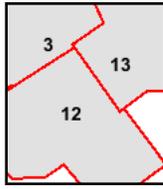
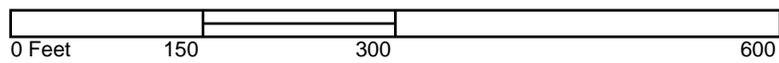
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Site Name: 400 South Old Woodward Avenue
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 City, ST, ZIP: Birmingham MI 48009
 Client: PM Environmental, Inc.
 EDR Inquiry: 3633796.3
 Order Date: 6/12/2013 3:12:03 PM
 Certification #: 0A19-4328-9D3C



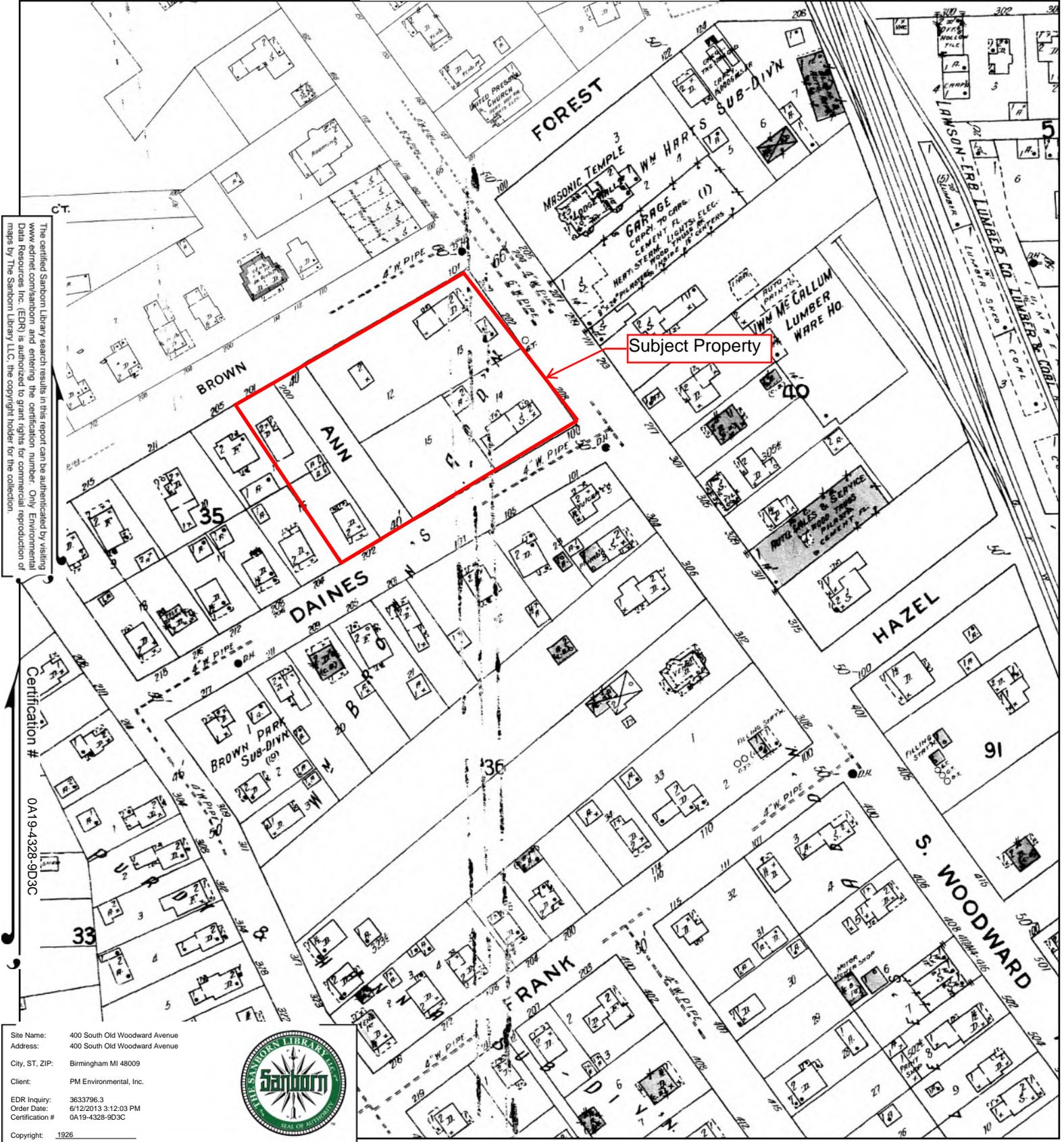
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Volume 1, Sheet 3
 Volume 1, Sheet 12
 Volume 1, Sheet 13



1926 Certified Sanborn Map



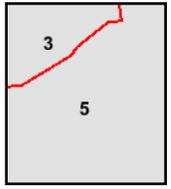
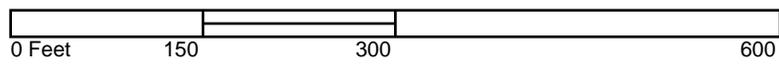
The certified Sanborn Library search results in this report can be authenticated by visiting www.edrnet.com/sanborn and entering the certification number. Only Environmental Data Resources Inc. (EDR) is authorized to grant rights for commercial reproduction of maps by The Sanborn Library LLC, the copyright holder for the collection.

Certification # 0A19-4328-9D3C

Site Name: 400 South Old Woodward Avenue
 Address: 400 South Old Woodward Avenue
 City, ST, ZIP: Birmingham MI 48009
 Client: PM Environmental, Inc.
 EDR Inquiry: 3633796.3
 Order Date: 6/12/2013 3:12:03 PM
 Certification #: 0A19-4328-9D3C
 Copyright: 1926



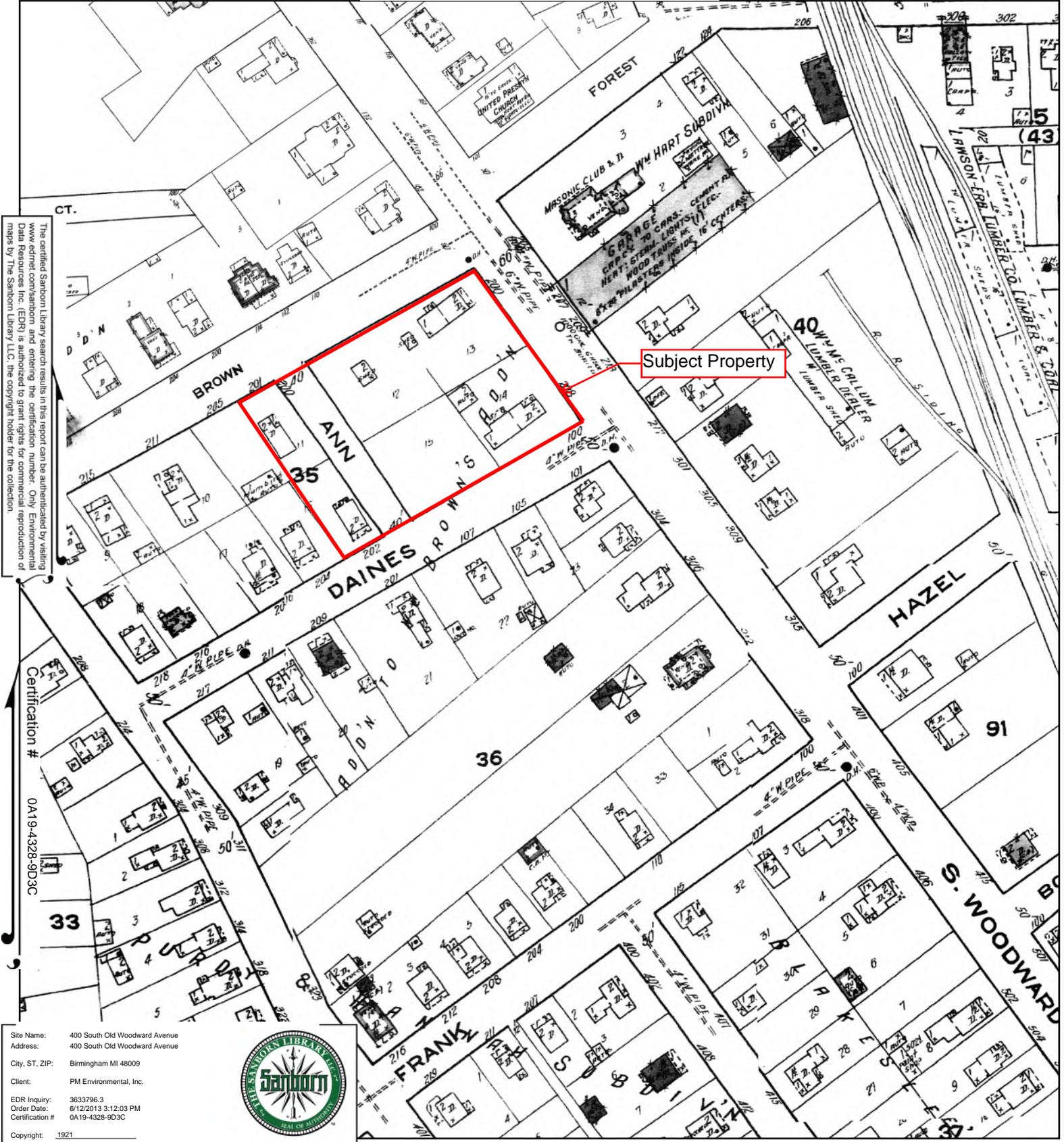
This Certified Sanborn Map combines the following sheets.
 Outlined areas indicate map sheets within the collection.



Volume 1, Sheet 5
 Volume 1, Sheet 3



1921 Certified Sanborn Map



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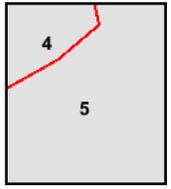
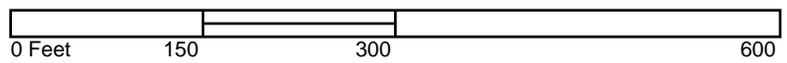
Certification # 0A19-4328-9D3C

Site Name: 400 South Old Woodward Avenue
 Address: 400 South Old Woodward Avenue
 City, ST, ZIP: Birmingham MI 48009
 Client: PM Environmental, Inc.
 EDR Inquiry: 3633796.3
 Order Date: 6/12/2013 3:12:03 PM
 Certification #: 0A19-4328-9D3C



Copyright: 1921

This Certified Sanborn Map combines the following sheets. Outlined areas indicate map sheets within the collection.



Volume 1, Sheet 4
 Volume 1, Sheet 5



ASSESSING DEPARTMENT RECORDS

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.
DDJ BIRMINGHAM LLC	TROTT PROPERTIES	2,750,000	12/30/2009	WD	1-ValidSale	41771:326	SelectSource	100.0
CAMBRIDGE PROPERTY MGMT	DDJ BIRMINGHAM	5,628,000	07/03/2007	WD	1-ValidSale	39596:704	SelectSource	100.0

Property Address	Class: 201 Bus Imp	Zoning: BI	Building Permit(s)	Date	Number	Status
294 E BROWN ST	School: BIRMINGHAM CITY SCHOOL DIST		Other	08/07/2019	08PS19-0039	Closed
Owner's Name/Address	P.R.E. 0%		Other	08/07/2019	08PTU19-0010	Closed
	ITOnly: POST		Other	08/07/2019	08PT19-0018	Closed
TROTT PROPERTIES 294 LLC 31440 NORTHWESTERN HWY STE 300 FARMINGTON HILLS MI 48334-5422	2020 Est TCV 3,519,135 TCV/TFA: 264.80		CentralAir/Generator	06/11/2019	08PE18-0843	Closed

Tax Description	X Improved	Vacant	Land Value Estimates for Land Table COM.Land Table COMM Ind Land Rates 2							
			Description	Frontage	Depth	Front	Depth	Rate %Adj.	Reason	Value
T2N, R10E, SEC 36 BROWN'S ADD NELY 1/2 OF LOT 11 & SWLY 1/2 OF LOT 12, ALSO LOT 15 & NELY 1/2 OF LOT 16 OF 'BROWN'S ADD NO 1', ALSO ALL OF VAC ANN ST ADJ TO SAME	X		Dirt Road	1.00	0.00	1.0000	1.0000	0	0	0
	X		Gravel Road							
	X		Paved Road							
	X		Storm Sewer							
	X		Sidewalk							
	X		Water							
	X		Sewer							
	X		Electric							
	X		Gas							
	X		Curb							
	X		Street Lights							
	X		Standard Utilities							
	X		Underground Utils.							

Comments/Influences	X	Land Improvement Cost Estimates						
		Description	Rate	Size	% Good	Cash Value		
7/24/13 MVD PARTITION WALLS, NC, CLOSE BP. 21	X	Commercial Local Cost Land Improvements						
11-07-11 MTT review of quality and % good	X	Description	Rate	Size	% Good	Arch Mult	Cash Value	
11-08-10 BP TO RENOVATED INT, CP #28	X	PA1-AsphaltPaving	2.45	21996	34	100	18,323	
06/04/09 Reviewed exterior, corrected file. # 33	X	Total Estimated Land Improvements True Cash Value =					18,323	



Topography of Site			Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
X	Level		2020	946,610	812,960	1,759,570			1,349,230C
	Rolling		2019	946,610	726,200	1,672,810			1,324,080C
	Low		2018	946,610	618,620	1,565,230			1,293,050C
	High		2017	860,560	541,040	1,401,600			1,266,460C
	Landscaped								
	Swamp								
	Wooded								
	Pond								
	Waterfront								
	Ravine								
	Wetland								
	Flood Plain								
	Who	When	What						
	021	07/24/2013	BuildingPe						
	028	11/08/2010	BuildingPe						
	033	06/04/2009	Other						

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*** Information herein deemed reliable but not guaranteed***

Desc. of Bldg/Section: Building 1, Section 1 Calculator Occupancy: Office Buildings		<<<<< Calculator Cost Computations >>>>>	
Class: C		Class: C Quality: Average	
Floor Area: 6,785		Stories: 1 Story Height: 10 Perimeter: 397	
Gross Bldg Area: 13,290		Base Rate for Upper Floors = 112.53	
Stories Above Grd: 1		Office Basement Basement, Base Rate for Basement = 76.75 (Basement Fireproofing Rate = 0.00)	
Average Sty Hght : 10		(10) Heating system: Package Heating & Cooling Cost/SqFt: 20.77 100%	
Bsmnt Wall Hght : 10		Bsmnt Heating system: Package Heating & Cooling Cost/SqFt: 20.70	
Depr. Table : 2%		Adjusted Square Foot Cost for Upper Floors = 133.30	
Effective Age : 52		Adjusted Square Foot Cost for Basement = 97.45	
Physical %Good: 40		Total Floor Area: 6,785 Base Cost New of Upper Floors = 904,440	
Func. %Good : 100		Basement Area: 6,960 Base Cost New of Basement = 678,252	
Economic %Good: 100		6,785 Sq.Ft. of Sprinklers @ 4.92, Cost New = 33,382	
1956 Year Built		Reproduction/Replacement Cost = 1,616,074	
Remodeled		Eff.Age:52 Phy.%Good/Abnr.Phy./Func./Econ./Overall %Good: 40 /100/100/100/40.0	
Overall Bldg Height		Total Depreciated Cost = 646,430	
Comments:		ECF (E.C.F. Table COF) 1.600 => TCV of Bldg: 1 = 1,034,287	
Area #1:		Replacement Cost/Floor Area= 238.18 Est. TCV/Floor Area= 152.44	
Type #1:			
Area #2:			
Type #2:			
* Mezzanine Info *			
Area: 6960			
Perimeter: 397			
Type: Office Basement			
Heat: Package Heating & Cooling			
* Sprinkler Info *			
Area: 6785			
Type: Average			

(1) Excavation/Site Prep:		(7) Interior:			(11) Electric and Lighting:			(39) Miscellaneous:		
(2) Foundation:		(8) Plumbing:			Outlets:			Fixtures:		
X	Poured Conc	Brick/Stone	Block	Many Above Ave.	Average Typical	Few None	Few Average	Many Unfinished Typical	Few Average	Many Unfinished Typical
(3) Frame:		Total Fixtures			Urinals			Flex Conduit		
		3-Piece Baths			Wash Bowls			Rigid Conduit		
		2-Piece Baths			Water Heaters			Armored Cable		
		Shower Stalls			Wash Fountains			Non-Metalic		
		Toilets			Water Softeners			Bus Duct		
(4) Floor Structure:		(9) Sprinklers:			(13) Roof Structure:			(40) Exterior Wall:		
					Slope=0			Thickness		
(5) Floor Cover:		(10) Heating and Cooling:			(14) Roof Cover:			Bsmnt Insul.		
		Gas Oil			Coal Stoker					
(6) Ceiling:		Hand Fired Boiler								

*** Information herein deemed reliable but not guaranteed***

Desc. of Bldg/Section: Building 1, Section 2 Calculator Occupancy: Office Buildings				<<<< Calculator Cost Computations >>>>																											
Class: C Floor Area: 6,505 Gross Bldg Area: 13,290 Stories Above Grd: 1 Average Sty Hght : 10 Bsmnt Wall Hght		Construction Cost		Class: C Quality: Average Stories: 1 Story Height: 10 Perimeter: 370																											
		<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:15%;">High</td> <td style="width:15%;">Above Ave.</td> <td style="width:15%;">Ave.</td> <td style="width:15%;">X</td> <td style="width:15%;">Low</td> </tr> </table>	High	Above Ave.	Ave.	X	Low	Base Rate for Upper Floors = 112.10																							
High	Above Ave.	Ave.	X	Low																											
Depr. Table : 2% Effective Age : 52 Physical %Good: 40 Func. %Good : 100 Economic %Good: 100		** ** Calculator Cost Data ** **		(10) Heating system: Package Heating & Cooling Cost/SqFt: 20.69 100% Adjusted Square Foot Cost for Upper Floors = 132.79																											
1956 Year Built Remodeled		Quality: Average Heat#1: Package Heating & Cooling 100 Heat#2: Electric, Cable or Baseboard 0% Ave. SqFt/Story: 6505 Ave. Perimeter: 370 Has Elevators: X		Total Floor Area: 6,505 Base Cost New of Upper Floors = 863,799 6,505 Sq.Ft. of Sprinklers @ 4.92, Cost New = 32,005																											
Overall Bldg Height		Area: Perimeter: Type: Heat:		Total Depreciated Cost = 358,322 ECF (E.C.F. Table COF) 1.600 => TCV of Bldg: 2 = 573,315 Replacement Cost/Floor Area= 137.71 Est. TCV/Floor Area= 88.13																											
Comments:		*** Basement Info ***																													
		Area #1: Type #1: Area #2: Type #2:																													
		* Mezzanine Info *																													
		Area: 6505 Type: Average																													
(1) Excavation/Site Prep:		(7) Interior:		(11) Electric and Lighting:																											
(2) Foundation:		(8) Plumbing:		(13) Roof Structure: Slope=0																											
<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:10%; text-align: center;">X</td> <td style="width:20%;">Poured Conc</td> <td style="width:10%; text-align: center;">Footings</td> <td style="width:10%; text-align: center;">Brick/Stone</td> <td style="width:10%; text-align: center;">Block</td> </tr> </table>		X	Poured Conc	Footings	Brick/Stone	Block	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:15%; text-align: center;">Many Above Ave.</td> <td style="width:15%; text-align: center;">Average Typical</td> <td style="width:15%; text-align: center;">Few None</td> </tr> <tr> <td style="width:15%;">Total Fixtures</td> <td style="width:15%;">Urinals</td> <td style="width:15%;">3-Piece Baths</td> </tr> <tr> <td>2-Piece Baths</td> <td>Wash Bowls</td> <td>Shower Stalls</td> </tr> <tr> <td>Toilets</td> <td>Water Heaters</td> <td>Wash Fountains</td> </tr> <tr> <td></td> <td>Water Softeners</td> <td></td> </tr> </table>		Many Above Ave.	Average Typical	Few None	Total Fixtures	Urinals	3-Piece Baths	2-Piece Baths	Wash Bowls	Shower Stalls	Toilets	Water Heaters	Wash Fountains		Water Softeners		<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:50%; text-align: center;">Outlets:</td> <td style="width:50%; text-align: center;">Fixtures:</td> </tr> <tr> <td style="width:50%;">Few Average Many Unfinished Typical</td> <td style="width:50%;">Few Average Many Unfinished Typical</td> </tr> <tr> <td style="width:50%;">Flex Conduit Rigid Conduit Armored Cable Non-Metalic Bus Duct</td> <td style="width:50%;">Incandescent Fluorescent Mercury Sodium Vapor Transformer</td> </tr> </table>		Outlets:	Fixtures:	Few Average Many Unfinished Typical	Few Average Many Unfinished Typical	Flex Conduit Rigid Conduit Armored Cable Non-Metalic Bus Duct	Incandescent Fluorescent Mercury Sodium Vapor Transformer
X	Poured Conc	Footings	Brick/Stone	Block																											
Many Above Ave.	Average Typical	Few None																													
Total Fixtures	Urinals	3-Piece Baths																													
2-Piece Baths	Wash Bowls	Shower Stalls																													
Toilets	Water Heaters	Wash Fountains																													
	Water Softeners																														
Outlets:	Fixtures:																														
Few Average Many Unfinished Typical	Few Average Many Unfinished Typical																														
Flex Conduit Rigid Conduit Armored Cable Non-Metalic Bus Duct	Incandescent Fluorescent Mercury Sodium Vapor Transformer																														
(3) Frame:		(9) Sprinklers:		(14) Roof Cover:																											
(4) Floor Structure:		(10) Heating and Cooling:		(40) Exterior Wall:																											
(5) Floor Cover:		<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:10%; text-align: center;">Gas Oil</td> <td style="width:10%; text-align: center;">Coal Stoker</td> <td style="width:10%; text-align: center;">Hand Fired Boiler</td> </tr> </table>		Gas Oil	Coal Stoker	Hand Fired Boiler	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:50%; text-align: center;">Thickness</td> <td style="width:50%; text-align: center;">Bsmnt Insul.</td> </tr> </table>		Thickness	Bsmnt Insul.																					
Gas Oil	Coal Stoker	Hand Fired Boiler																													
Thickness	Bsmnt Insul.																														
(6) Ceiling:																															

*** Information herein deemed reliable but not guaranteed***

(08) 19-36-204-021

CVT:	City of Birmingham	PIN:	(08) 19-36-204-021
Status:	Active	Parcel Type:	Land
Add Date:	12/9/1981	Delete Date:	
		Last Activity:	9/1/2020 4:07:47 PM

Tax Description	
1	T2N, R10E, SEC 36
2	BROWN'S ADD
3	NELY 1/2 OF LOT 11 &
4	SWLY 1/2 OF LOT 12, ALSO
5	LOT 15 & NELY 1/2 OF LOT 16
6	OF 'BROWN'S ADD NO 1', ALSO
7	ALL OF VAC ANN ST
8	ADJ TO SAME

Legacy Lineage			
Parent(s)	Delete Date	Child(ren)	Add Date
FROM 018	12/9/1981		

Address Information			
Primary Mailing Address	Site Address Indicator	Addressee(s)	Address
		★ Trott Properties 294 LLC	266 Elm St Ste 100 Birmingham MI 48009-6337
		★ Trott Properties 294 LLC	294 E Brown St Birmingham MI 48009-6205

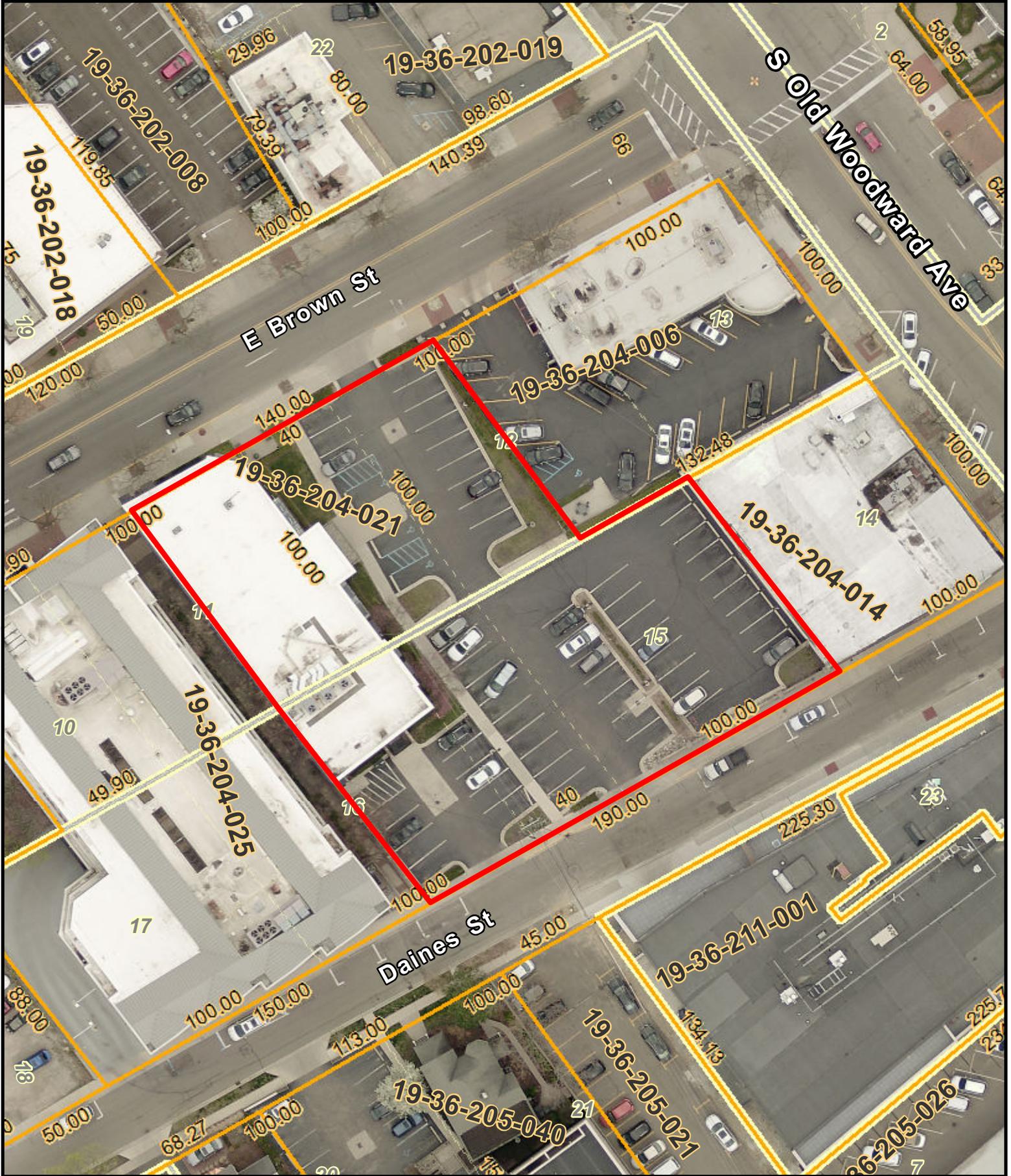
Related PINs			
CVT	PIN	Parcel Type	Status
08	99-01-002-845	Business Account	Inactive
08	99-00-011-180	Business Account	Active
08	99-00-011-182	Business Account	Active

Notes
9/1/20 new mailing address per Change Form. prr

Address Info Legend

	= Primary Mailing
	= Primary Site
	= Extra Site
	= Primary
	= Secondary
	= Care Of
	= Other
Black	= Individual

081936204021



- 2 Foot Contours
- 5 Foot Contours
- FEMA Base Flood Elevations
- FEMA Cross Sections
- 100 yr - FEMA Floodplain
- 100 yr (detailed) - FEMA Floodplain
- 500 yr - FEMA Floodplain
- FLOODWAY - FEMA Floodplain

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DAVID COULTER
 Economic Development & Community Affairs
Oakland County Executive

Date Created: 11/19/2020

NORTH
 1 inch = 50 feet

**OAKLAND COUNTY EQUALIZATION
COMMERCIAL/INDUSTRIAL FORM** (4/00)

PARCEL I.D.: 02-12-3-1-1-1

BUSINESS NAME: _____

ADDRESS: 21A E Brown

PROPERTY TYPE: office

SECTIONS & LEVELS TO MATCH RECORD	SECTION:	1	SECTION:	2	SECTION:		SECTION:	
	LEVEL:	01 -- 00	LEVEL:	02 -- 12	LEVEL:	--	LEVEL:	--
ROOF								
FRAME								
EXTERIOR WALL		HT: 10		HT: 10		HT:		HT:
FLOOR								
CEILING FINISH								
FLOOR FINISH								
PARTITIONING								
LIGHTING								
PLUMBING								
HEAT								
AIR COND.								
SPRINKLERS								
YEAR BUILT	EFF. YEAR	CONDITION	1980	2000	2000	2000		

CALCULATIONS/NOTES: See copy for P & A calcs

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.				
Property Address		Class: 201 Bus Imp	Zoning: BI	Building Permit(s)		Date	Number	Status				
300 S OLD WOODWARD AVE		School: BIRMINGHAM CITY SCHOOL DIST		Other		08/05/2019	08PTU19-0009	Closed				
Owner's Name/Address		P.R.E. 0%		Other		08/05/2019	08PTU19-0007	Closed				
BRB EQUITIES LLC LUTZ INVESTMENTS 300 S OLD WOODWARD AVE BIRMINGHAM MI 48009-6254		ITOnly: POST		Other		08/05/2019	08PT19-0007	Closed				
		2020 Est TCV 1,305,334 TCV/TFA: 303.57		Alteration/Remodel		10/11/2011	PB11-0105	Closed				
Tax Description		X Improved	Vacant	Land Value Estimates for Land Table COM.Land Table COMM Ind Land Rates 2								
T2N, R10E, SEC 36 BROWN'S ADD E 50 FT OF LOT 12, ALSO WLY PART OF LOT 13 MEAS 82.45 FT ON N LOT LINE & 82.48 FT ON S LOT LINE		Public Improvements		* Factors *								
Comments/Influences		Dirt Road		Description	Frontage	Depth	Front	Depth	Rate %Adj.	Reason	Value	
1/14/2016 Reviewed settlement for 2016. current value justified per sale at 400 S Old Woodward Sale (tear down) for \$2 000,000. #23		Gravel Road		1.00		0.00		1.0000		1.0000		0
11-14-2013 Reviewed % good for MTT. #28 8/21/12 NEW TENANT, INT PARTITION, CARPET ETC, EXT FACADE WORK, CP. #21		Paved Road		COM/IND RA Rate \$64.43		13247 SqFt		64.43000		100		853,504
		Storm Sewer		1 Actual Front Feet, 0.30 Total Acres		Total Est. Land Value =				853,504		
		Sidewalk		Land Improvement Cost Estimates								
		Water		Description		Rate		Size % Good		Cash Value		
		Sewer		Commercial Local Cost Land Improvements								
		Electric		Description		Rate		Size % Good Arch Mult		Cash Value		
		Gas		PA1-AsphaltPaving		2.45		8395 43 100		8,844		
		Curb		Total Estimated Land Improvements True Cash Value =						8,844		
		Street Lights										
		Standard Utilities										
		Underground Utils.										
		Topography of Site										
		X Level		Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value		
		Rolling		2020	426,750	225,920	652,670			377,330C		
		Low		2019	426,750	202,070	628,820			370,300C		
		High		2018	426,750	172,350	599,100			361,630C		
		Landscaped		2017	387,920	150,930	538,850			354,200C		
		Swamp										
		Wooded										
		Pond										
		Waterfront										
		Ravine										
		Wetland										
		Flood Plain										
		Who	When	What								
		021	08/21/2012	BuildingPe								
		021	11/09/2011	BuildingPe								
		CWA	10/12/2009	SelectActi								



*** Information herein deemed reliable but not guaranteed***

Desc. of Bldg/Section: Building 1, Section 1
 Calculator Occupancy: Office Buildings

Class: C
 Floor Area: 4,300
 Gross Bldg Area: 4,300
 Stories Above Grd: 1
 Average Sty Hght : 12
 Bsmnt Wall Hght : 8

Depr. Table : 2%
 Effective Age : 51
 Physical %Good: 40
 Func. %Good : 100
 Economic %Good: 100

1968	Year Built
	Remodeled
	Overall Bldg Height

Comments:

Construction Cost

High	Above Ave.	Ave.	X	Low
------	------------	------	---	-----

** ** Calculator Cost Data ** **

Quality: Average
 Heat#1: Package Heating & Cooling 100
 Heat#2: Electric, Cable or Baseboard 0%
 Ave. SqFt/Story: 4300
 Ave. Perimeter: 304
 Has Elevators:

*** Basement Info ***

Area: 701
 Perimeter: 106
 Type: Office Basement
 Heat: Package Heating & Cooling

* Mezzanine Info *

Area #1:
 Type #1:
 Area #2:
 Type #2:

* Sprinkler Info *

Area:
 Type:

<<<<< Calculator Cost Computations >>>>>

Class: C Quality: Average
 Stories: 1 Story Height: 12 Perimeter: 304

Base Rate for Upper Floors = 119.63
 Office Basement Basement, Base Rate for Basement = 90.72
 (Basement Fireproofing Rate = 0.00)

(10) Heating system: Package Heating & Cooling Cost/SqFt: 22.56 100%
 Bsmnt Heating system: Package Heating & Cooling Cost/SqFt: 24.47
 Adjusted Square Foot Cost for Upper Floors = 142.19
 Adjusted Square Foot Cost for Basement = 115.19

Total Floor Area: 4,300 Base Cost New of Upper Floors = 611,417
 Basement Area: 701 Base Cost New of Basement = 80,748

Reproduction/Replacement Cost = 692,165
 Eff.Age:51 Phy.%Good/Abnr.Phy./Func./Econ./Overall %Good: 40 /100/100/100/40.0
 Total Depreciated Cost = 276,866

ECF (E.C.F. Table COF) 1.600 => TCV of Bldg: 1 = 442,986
 Replacement Cost/Floor Area= 160.97 Est. TCV/Floor Area= 103.02

(1) Excavation/Site Prep:	(7) Interior:	(11) Electric and Lighting:	(39) Miscellaneous:
(2) Foundation:	(8) Plumbing:	Outlets:	(40) Exterior Wall:
X Poured Conc	Many Above Ave.	Few Average Many Unfinished Typical	
	Average Typical	Few Average Many Unfinished Typical	Bsmnt Insul.
Brick/Stone	Total Fixtures	Flex Conduit Rigid Conduit Armored Cable Non-Metalic Bus Duct	
Block	3-Piece Baths	Incandescent Fluorescent Mercury Sodium Vapor Transformer	
(3) Frame:	2-Piece Baths	(13) Roof Structure: Slope=0	
	Shower Stalls	(14) Roof Cover:	
	Toilets		
(4) Floor Structure:	Urinals Wash Bowls Water Heaters Wash Fountains Water Softeners		
(5) Floor Cover:	(9) Sprinklers:		
	(10) Heating and Cooling:		
	Gas Oil Coal Stoker Hand Fired Boiler		
(6) Ceiling:			

*** Information herein deemed reliable but not guaranteed***

081936204006



-  2 Foot Contours
-  5 Foot Contours
-  FEMA Base Flood Elevations
-  FEMA Cross Sections
-  100 yr - FEMA Floodplain
-  100 yr (detailed) - FEMA Floodplain
-  500 yr - FEMA Floodplain
-  FLOODWAY - FEMA Floodplain

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David Coulter
 Oakland County Executive

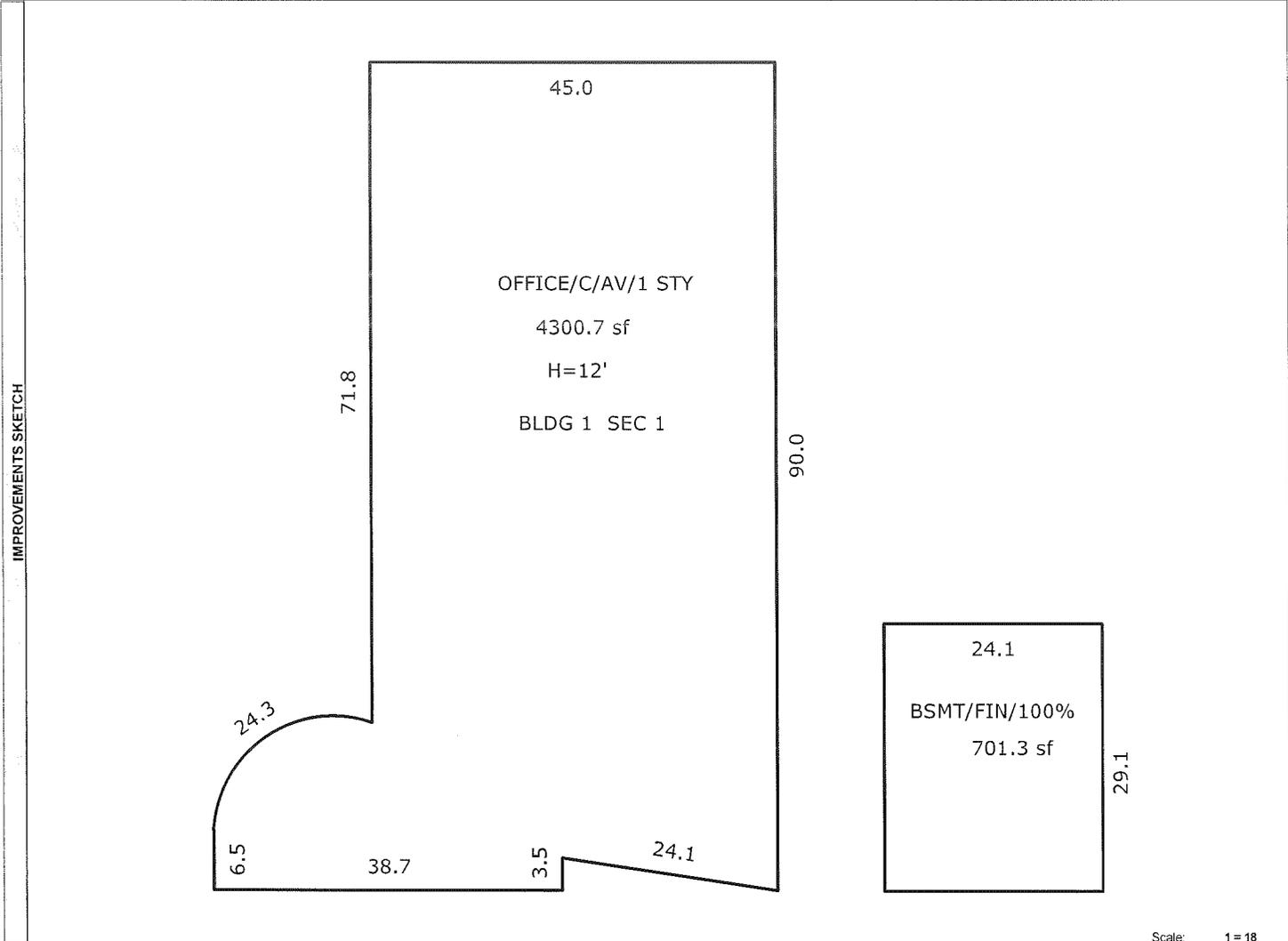
Date Created: 11/19/2020

 NORTH
 1 inch = 50 feet

SKETCH/AREA TABLE ADDENDUM

File No 08-19-36-204-006

SUBJECT	Property Address 300 S OLD WOODWARD AVE			
	City BIRMINGHAM	County OAKLAND	State MI	Zip 48009-6254
	Owner BRB EQUITIES LLC			
	Client			
	Appraiser Name			



Scale: 1 = 18

AREA CALCULATIONS	AREA CALCULATIONS SUMMARY					SKETCH HISTORY	
	Code	Description	Factor	Net Size	Perimeter	08/22/12 #19	
	OPB/C/AV/1	OFFICE/C/AV/1 STY	1.00	4300.7	303.9	4300.7	
	CBS/FN/100	BSMT/FIN/100%	1.00	701.3	106.4	701.3	
	Net BUILDING Area (rounded w/ factors)				4301		
	COMMENTS		UNIT IN PLACE				

200 Woodward					04	19	36	004	000		
PROPERTY ADDRESS		USE	ZONE	CITY, VILLAGE, TWP NAME		PARCEL IDENTIFICATION					
NO CONTROL		OAKLAND COUNTY EQUALIZATION DEPARTMENT								PROCESS DATE:	

PLAN

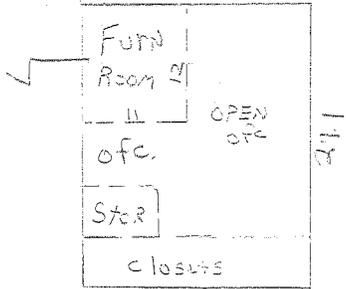


SCALE _____ FRONT _____

BSMT
AREA

241

12x11
NO FINISH



Parcel Number	Permit Number	Owner's Name	Address	Permit Type
08-19-36-204-006	PB11-0105	BRB EQUITIES LLC	300 S OLD WOODWARD AVE	SelectType

Iss. Date	Fin. Date	Exp. Date	Value	Fee	Contractor	Permit Category	Rec. Status
10/11/2011	08/21/2012	/ /	189,805	0.00		Alteration/Remodel	ISSUED

Assessor Status	Class	Neigh	Zoning	Gen. Alpha	Gen. Num	Sq.Ft.	Length	Width	Buildings	Units	Census Type
Closed	201	COF	AV		0	0	0	0	0	0	Not Used

Work Description:
EXT DEMO TO FACADE/INT REMOD OF 4466SF

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.

Property Address	Class: 201 Bus Imp	Zoning: BI	Building Permit(s)	Date	Number	Status
394 S OLD WOODWARD AVE	School: BIRMINGHAM CITY SCHOOL DIST		Alteration/Remodel	11/07/2014	0814B-0042A	Closed
Owner's Name/Address	P.R.E. 0%		Other	06/08/2011	08110467	Closed
	ITOnly: POST		SelectCategory	01/01/2000	08032638992739	Closed

FRANK KONJAREVICH TRUST
 LOIS KONJAREVICH TRUST
 394 S OLD WOODWARD AVE
 BIRMINGHAM MI 48009-6254

2020 Est TCV 1,433,576 TCV/TFA: 181.17						
X	Improved	Vacant	Land Value Estimates for Land Table COM.Land Table COMM Ind Land Rates 2			

Tax Description
 T2N, R10E, SEC 36 BROWN'S ADD NO 1 LOT 14
 EXC PART TAKEN FOR WOODWARD AVE WIDENING
 Comments/Influences

Public Improvements		* Factors *						Value
Description	Frontage	Depth	Front	Depth	Rate	%Adj.	Reason	Value
	1.00	0.00	1.0000	1.0000		0	0	0
COM/IND RA Rate	\$79.00		8250 SqFt	79.00000	100			651,750
1 Actual Front Feet, 0.19 Total Acres Total Est. Land Value =								651,750

04/20/15 - BP ALT/REMODEL N/C CP #23
 8-10-11 N/C. C/P. #21

- X Dirt Road
- X Gravel Road
- X Paved Road
- X Storm Sewer
- X Sidewalk
- X Water
- X Sewer
- X Electric
- X Gas
- X Curb
- Street Lights
- Standard Utilities
- Underground Utils.



- Topography of Site
- X Level
- Rolling
- Low
- High
- Landscaped
- Swamp
- Wooded
- Pond
- Waterfront
- Ravine
- Wetland
- Flood Plain

Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/ Other	Taxable Value
2020	325,880	390,910	716,790			526,010C
2019	325,880	372,520	698,400			516,210C
2018	325,880	312,780	638,660			504,120C
2017	296,260	285,480	581,740			493,760C

The Equalizer. Copyright (c) 1999 - 2009.
 Licensed To: County of Oakland, Michigan

Who	When	What
023	04/20/2015	BuildingPe
021	08/10/2011	BuildingPe
026	04/08/2002	Other

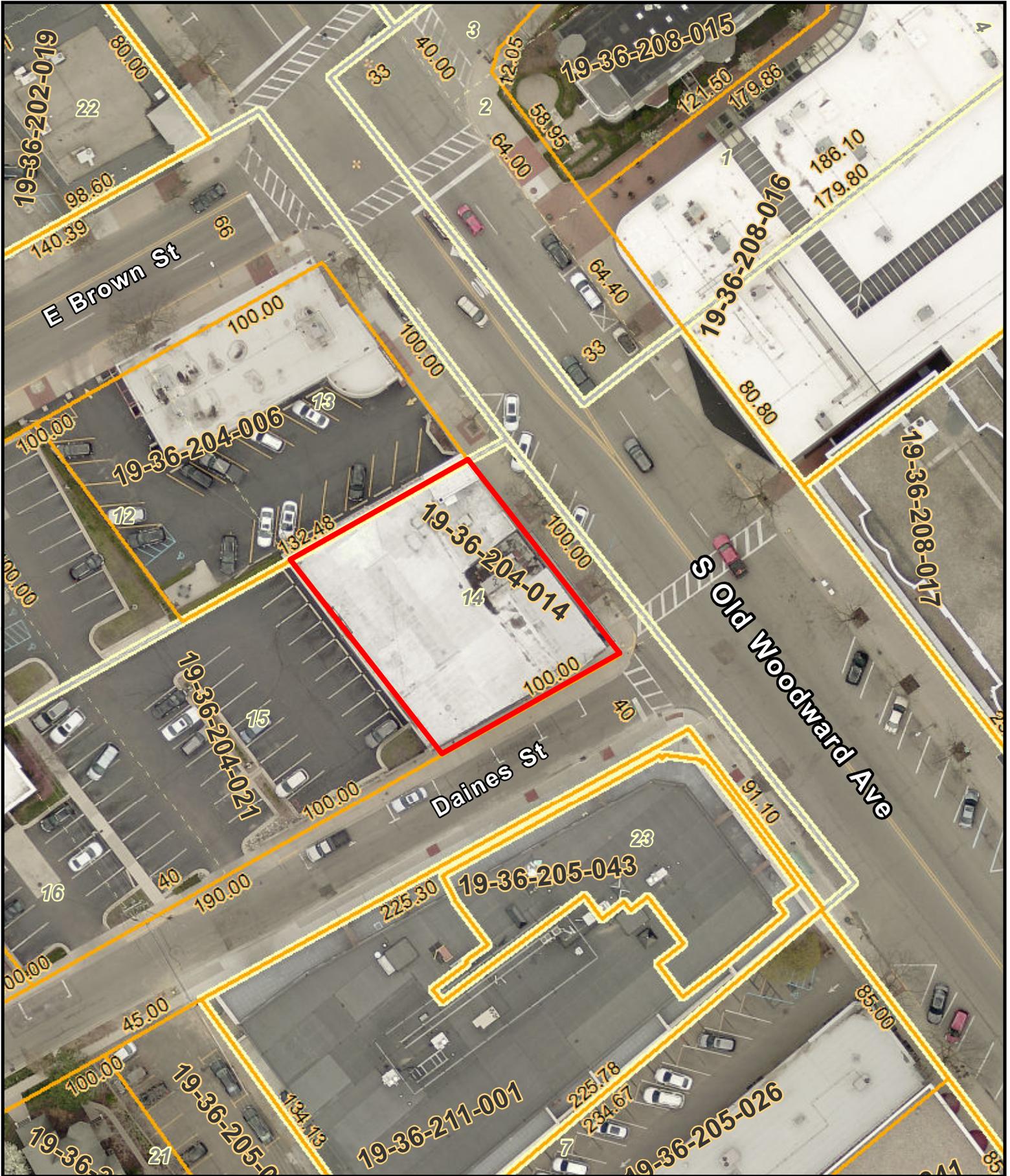
*** Information herein deemed reliable but not guaranteed***

Desc. of Bldg/Section: Building 1, Section 1 Calculator Occupancy: Stores - Retail		<<<<< Calculator Cost Computations >>>>>	
Class: C		Class: C Quality: Average	
Floor Area: 7,913 Gross Bldg Area: 7,913 Stories Above Grd: 1 Average Sty Hght : 18 Bsmnt Wall Hght : 8		Stories: 1 Story Height: 18 Perimeter: 369	
Depr. Table : 2% Effective Age : 41 Physical %Good: 44 Func. %Good : 100 Economic %Good: 100		Base Rate for Upper Floors = 92.17 Storage Basement Basement, Base Rate for Basement = 45.50 (Basement Fireproofing Rate = 0.00)	
1963 Year Built Remodeled		(10) Heating system: Zoned A.C. Warm & Cooled Air Cost/SqFt: 20.84 100% Bsmnt Heating system: No Heating or Cooling Cost/SqFt: 0.00	
Overall Bldg Height		Adjusted Square Foot Cost for Upper Floors = 113.01 Adjusted Square Foot Cost for Basement = 45.50	
Comments:		Total Floor Area: 7,913 Base Cost New of Upper Floors = 894,248 Basement Area: 900 Base Cost New of Basement = 40,950	
* Mezzanine Info *		Reproduction/Replacement Cost = 935,198 Eff.Age:41 Phy.%Good/Abnr.Phy./Func./Econ./Overall %Good: 44 /100/100/100/44.0 Total Depreciated Cost = 411,487	
* Sprinkler Info *		ECF (E.C.F. Table CRL) 1.900 => TCV of Bldg: 1 = 781,826 Replacement Cost/Floor Area= 118.19 Est. TCV/Floor Area= 98.80	

(1) Excavation/Site Prep:		(7) Interior:			(11) Electric and Lighting:		(39) Miscellaneous:	
(2) Foundation:		(8) Plumbing:			Outlets:		Fixtures:	
X Poured Conc	Brick/Stone	Block	Footings	Many Above Ave.	Average Typical	Few None	Few Average Many Unfinished Typical	Few Average Many Unfinished Typical
(3) Frame:		Total Fixtures			Urinals		Flex Conduit Rigid Conduit Armored Cable Non-Metalic Bus Duct	
		3-Piece Baths			Wash Bowls		Incandescent Fluorescent Mercury Sodium Vapor Transformer	
		2-Piece Baths			Water Heaters		(40) Exterior Wall:	
		Shower Stalls			Wash Fountains			
		Toilets			Water Softeners		Thickness	
(4) Floor Structure:		(9) Sprinklers:			(13) Roof Structure: Slope=0		Bsmnt Insul.	
(5) Floor Cover:		(10) Heating and Cooling:			(14) Roof Cover:			
		Gas Oil	Coal Stoker	Hand Fired Boiler				
(6) Ceiling:								

*** Information herein deemed reliable but not guaranteed***

081936204014



-  2 Foot Contours
-  5 Foot Contours
-  FEMA Base Flood Elevations
-  FEMA Cross Sections
-  100 yr - FEMA Floodplain
-  100 yr (detailed) - FEMA Floodplain
-  500 yr - FEMA Floodplain
-  FLOODWAY - FEMA Floodplain

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David Coulter
 Oakland County Executive

Date Created: 11/19/2020

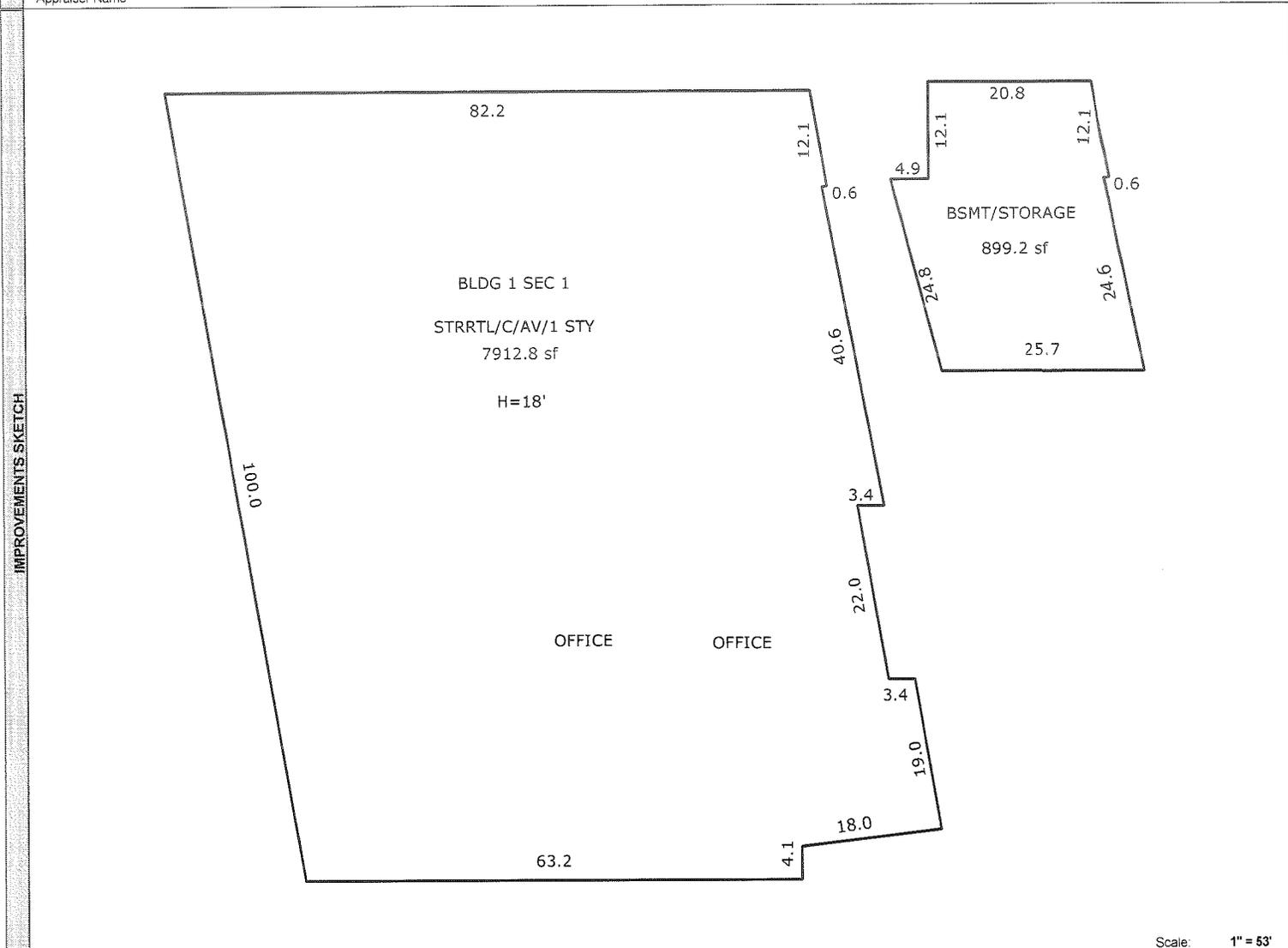

 NORTH
 1 inch = 50 feet

SKETCH/AREA TABLE ADDENDUM

Parcel No 08-19-36-204-014

File No 08-19-36-204-014

SUBJECT	Property Address 394 S OLD WOODWARD AVE			
	City BIRMINGHAM	County OAKLAND	State MI	Zip 48009-6254
	Owner FRANK KONJAREVICH TRUST			
	Client 00000			
	Appraiser Name			



Scale: 1" = 53'

AREA CALCULATIONS	AREA CALCULATIONS SUMMARY					SKETCH HISTORY	
	Code	Description	Factor	Net Size	Perimeter	08/18/11 #19	
	STR/C/AV/1	STRRTL/C/AV/1 STY	1.00	7912.81	368.7	7912.81	
CBS/STG	BSMT/STORAGE	1.00	899.24	125.6	899.24		
Net BUILDING Area (rounded w/ factors)						7913	
						COMMENTS	UNIT IN PLACE

Parcel Number	Permit Number	Owner's Name	Address	Permit Type
08-19-36-204-014	08032638992739	FRANK KONJAREVICH TRUST	394 S OLD WOODWARD AVE	SelectType

Iss. Date	Fin. Date	Exp. Date	Value	Fee	Contractor	Permit Category	Rec. Status
01/01/2000	08/31/2005	/ /	0	0.00		SelectCategory	ISSUED

Assessor Status	Class	Neigh	Zoning	Gen. Alpha	Gen. Num	Sq.Ft.	Length	Width	Buildings	Units	Census Type
Closed	BI	CRL	AV		0	0	0	0	0	0	Not Used

Work Description:
8-31-05 N/R

Parcel Number	Permit Number	Owner's Name	Address	Permit Type
08-19-36-204-014	08110467	FRANK KONJAREVICH TRUST	394 S OLD WOODWARD AVE	SelectType

Iss. Date	Fin. Date	Exp. Date	Value	Fee	Contractor	Permit Category	Rec. Status
06/08/2011	08/10/2011	/ /	0	0.00		Other	ISSUED

Assessor Status	Class	Neigh	Zoning	Gen. Alpha	Gen. Num	Sq.Ft.	Length	Width	Buildings	Units	Census Type
Closed	201	CRL	AV		0	0	0	0	0	0	Not Used

Work Description:
OCCUPANCY

Parcel Number	Permit Number	Owner's Name	Address	Permit Type
08-19-36-204-014	0814B-0042A	FRANK KONJAREVICH TRUST	394 S OLD WOODWARD AVE	Building

Iss. Date	Fin. Date	Exp. Date	Value	Fee	Contractor	Permit Category	Rec. Status
11/07/2014	04/20/2015	/ /	0	0.00		Alteration/Remodel	ISSUED

Assessor Status	Class	Neigh	Zoning	Gen. Alpha	Gen. Num	Sq.Ft.	Length	Width	Buildings	Units	Census Type
Closed	201	CRL	BI		0	0	0	0	0	0	Not Used

Work Description:
JTBE14-0042 RENOV INT/EXT

FIRE DEPARTMENT RECORDS

A-59
Left
which copy
Completed Aug 4, 82

FIRE DEPARTMENT OF T CITY OF BIRMINGHAM
FIRE PREVENTION BUREAU - 646-1127

NOTICE OF FIRE HAZARD

DATE July 12 1982

NAME

SPORTS CAR EXCHANGE

ADDRESS

394 S. Woodward

Inspection of the premises located at

First Notice 6-1-82

reveals a fire hazard. You are hereby requested to correct the following conditions on or before

~~AT ONCE~~

BOCA Code

19

SEC. 605.0 - MAINTENANCE OF EXITWAYS

① 605.1 - OBSTRUCTION: Will be removed

And kept clear of storage

② Need ONE ABC 10#/6 Extinguisher in work AREA.

FOR ANY QUESTIONS ON THIS NOTICE,
CALL ME AT MI 6-1127

By E. Mudge (Fire Inspector)

A-59
Completed

FIRE DEPARTMENT OF T CITY OF BIRMINGHAM
FIRE PREVENTION BUREAU - 646-1127

NOTICE OF FIRE HAZARD

DATE April 20 1982

NAME

Sport Car

ADDRESS

394 S. Woodward

Inspection of the premises located at

reveals a fire hazard. You are hereby requested to correct the following conditions on or before

19

Remove storage out of exitway to outside
Need extinguisher in garage work
area. (ABC Ext)

By E. Mudge (Fire Inspector)

CITY OF BIRMINGHAM, MICHIGAN
FIRE DEPARTMENT

VIOLATION NOTICE

A-52

Notice Issued To Sports Car Exchange Address of job: 394 S. Woodward
Address 394 S. Woodward Notice Date July 30, 19 82
B'ham, Michigan Inspection Date July 12, 19 82

The following listed items were noted at the above Job address, and do not comply with the Birmingham City Code: _____ of _____

JUL 30 1982

Complied at Scene

Mr. Singerman.

BOCA Code

① Sec - 605.0 = Maintenance of Exitways from said building = Obstruction will be removed and kept clear of storage

② Put one 10# A.B.C. extinguisher in repair area.

You are further notified that you are required to correct conditions listed, and all such work shall be complete within 2 days from the date of this notice. Action will be taken against you for violation of the City Code if you fail, neglect or refuse to comply with this notice within the time limits herein set forth.

Call 646-1127 when above corrections have been made.

Earl E. Mudge
FIRE PREVENTION BUREAU

CITY OF BIRMINGHAM, MICHIGAN
FIRE DEPARTMENT

VIOLATION NOTICE

Notice Issued To Sports Car Exchange Address of job: 394 S. Woodward
Address 394 S. Woodward Notice Date July 30, 19 82
B'ham, Michigan Inspection Date July 12, 19 82

The following listed items were noted at the above Job address, and do not comply with the Birmingham City Code: _____ of _____

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Earl E. Mudge
FIRE PREVENTION BUREAU

BIRMINGHAM FIRE DEPARTMENT
572 South Adams Road

Field Inspection
Report

Field Inspection
Report

Name of business Sports Car Exchange Date 1-28-81

Address 394 S. Woodward. Number on building? Yes No

Name of individual interviewed _____

Class of occupancy: Apt. Retail Store Service Station

Church Office Bldg. School Factory Lumber Yard & Mill

Storage Laundromat Bump Shop Restaurant

Fire extinguishers: Service date expiring Class: A B C ABC

Housekeeping: Good Fair Poor Fire doors operative? Yes No

Exits marked? Yes No Exit signs maintained? Yes No

Condition of exposed electrical wiring & fuses: Good Fair Poor

Remarks: Open Gas Can. - Cover on Sump pump.

no extinguisher.

Inspector D. Edgerton

394

S. Woodward

House No.

Street

(Account 11R1320)

1549-70

10-21-70

Date

Receipt No. 82714

Permit No.

NOT VALID UNTIL STAMPED PAID BY CITY TREASURER

Building Inspection Department
City of Birmingham
PERMIT

BUILDING

The Department of Inspection Hereby Grants Permission to

- Detroit Independent Sprinkler Co.
- 100 W. Alexandrine
- Detroit, Michigan 48201

For the purpose of doing the work as described on the application and plans submitted and placed on file bearing this Permit Number, at the location designated.

Tel. No. 833-1600

EST. COST \$ 3,200.

DESCRIPTION OF WORK: Building - commercial - sprinkler system(new) AT

LOT NO. _____ SUBDIVISION 120-22

OWNER'S NAME AND ADDRESS {

- Studio Four Theatre
- 392 S. Woodward

REGULAR FEE	26.00
PENALTY FEE	
PLAN CHECK FEE	13.00
TOTAL FEE	\$ 39.00

ASSESSOR'S COPY

ISSUED BY HC Weber/def
Building Official

VILLAGE OF BIRMINGHAM

OIL BURNER INSPECTION RECORD

April 8th, 19 29

Name LaDue Oil Station.

Address Woodward Ave & Daines St. Lot No. 14

Subdivision _____

Burner _____

Size of Tank 'S 4-1000 Gal. tanks. Test 5 lbs.

Extinguisher _____ Make U.S. 7 gauge steel.

Installed By Standard Oil Co. V.Griffith Fire Dept.
Underwriters No'S. Inspector

Recommendations: Northwest tank-No. 887044
Remarks: Northeast " " 887069
Southwest " " 236506
Southeast " " 887071

File No. A-59

FIRE DEPARTMENT OF THE CITY OF BIRMINGHAM
FIRE PREVENTION BUREAU - 646-1127

NOTICE OF FIRE HAZARD

DATE 2-25 19 91

NAME Fred Lavery - Used Cars

ADDRESS 394 S. Woodward

Inspection of the Premises located at ABOVE

reveals a fire hazard. You are hereby requested to correct the following conditions. A reinspection will be conducted in

approximately 14 days to insure compliance. ① Secure electric

outlet on west wall of show room

② Replace extension cord to radio by

hot water heater with approved wiring

③ Replace open ceiling tile

By TIM WANGER (Fire Inspector)

PLAN REVIEW RECORD
BIRMINGHAM FIRE DEPT.

STEWART
GORLICH 272-7474
COMMEN. WEALTH INVS. CO.

STUDIO IV THEATRE

START DATE 1-4-70
COMPL. _____

RUSS

NAME & LOCATION OF BLDG. FRANKS - 360 S. WOOD

DESCRIPTION OF BUILDING THEATRE - 386 SEATS 385

CRANNER CO.

FIRE LIMITS YES ZONING _____

USE GROUP TYPE OF CONSTR. SHOWN ON PLANS HEIGHT OF BUILDING

FIRE PROTECTION

FIRE EXTINGUISHERS YES
STANDPIPES YES
FIREWALLS
FIRE DIVISION
SPRINKLER SYSTEM YES BATH R.S. & STORAGE
FIRE ALARMS
FIREBREAKS YES ON PLANS
BETWEEN
FIRE WALLS

CLASS "A" CLASS "B" OR LESS

FIRE DOORS THROUGH FIREWALLS FIRE DOORS THROUGH FIREWALLS

FIRE DAMPERS IN DUCTS NO FIRE DOORS

CHIMNEY & HEATING EQUIPMENT

LIGHTING

KIND OF HEATING
SECONDARY AIR
INCINERATOR
FIRE DOOR IN BOILER ROOM
KIND OF FUEL
CHIMNEY OR VENT REQUIRED
SPRINKLER PROTECTION
EXIT LIGHTS
EMERGENCY LIGHTS
EXITWAY ENCLOSURES
LIGHTED APT. CORR.
EXITS

MISCELLANEOUS

T. ROGVAY ASSOCIATES, INC. - 838 3434 -
REMOVE 5 TANKS IN WOODWARD SIDE REMOVED 7-14-70
418.85 - 418.91 - 418.93 - 418.95

3 W.P. EXTIN. 1 D.C. EXTING - 2 HOSE CAB. 75' HOSE

BFD-BFP-2 3" WATER S. OK BY SGT. RICHARD GROUP
STATE F.M. OFFICE

FIRE DEPARTMENT OF THE CITY OF BIRMINGHAM
FIRE PREVENTION BUREAU

NOTICE OF FIRE HAZARD

DATE Oct. 2 1978

NAME Chudiks Furs

ADDRESS 294 BROWN 10/27/78 OK

Inspection of the premises located at Same

reveals a fire hazard. You are hereby requested to correct the following conditions on or before 10

Days. 19: Service Fire Extinguishers
Recommend replacement with 10 lb ABC
Extinguishers. (10 lbs. of powder)

By D. Edgerton (Fire Inspector)

A-56

MAR 9 1984

FIRE DEPARTMENT OF THE CITY OF BIRMINGHAM
FIRE PREVENTION BUREAU — 646-2977

NOTICE OF FIRE HAZARD

DATE MARCH 9 1984

NAME CHUDIKS FURS & APPAREL

ADDRESS 294 E. BROWN

Inspection of the premises located at ABOVE

reveals a fire hazard. You are hereby requested to correct the following conditions on or before _____

MARCH 19 1984: REPAIR ELECTRICAL WIRING IN FUR
SEWING ROOM AND IN BROOM ROOM BEHIND MAIN CLEAR STAIRWELL
SOUTH END AND REMOVE GASOLINE CAN AND SNOWBLOWER MOUNT
FIRE EXTINGUISHER IN VISIBLE PLACE ON 1ST FLOOR FIRE DOOR
7 WORK ROOM AND PAINT CABINET TO BE CLOSED AT ALL TIMES

By G. Kozlowski (Fire Inspector)

Appendix C



NO PREVIOUS SITE INVESTIGATION

Appendix D



ENVIRONMENTAL DATABASE SEARCH

294 E Brown St and 300-394 S Old Woodward Ave
294 E Brown St and 300-394 S Old Woodward Ave
Birmingham, MI 48009

Inquiry Number: 06273155.2r
November 19, 2020

The EDR Radius Map™ Report



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

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Orphan Summary	221
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GEOCHECK ADDENDUM

GeoCheck - Not Requested

Thank you for your business.
Please contact EDR at 1-800-352-0050
with any questions or comments.

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EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-13), the ASTM Standard Practice for Environmental Site Assessments for Forestland or Rural Property (E 2247-16), the ASTM Standard Practice for Limited Environmental Due Diligence: Transaction Screen Process (E 1528-14) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

TARGET PROPERTY INFORMATION

ADDRESS

294 E BROWN ST AND 300-394 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

COORDINATES

Latitude (North): 42.5441520 - 42° 32' 38.94"
Longitude (West): 83.2128580 - 83° 12' 46.28"
Universal Transverse Mercator: Zone 17
UTM X (Meters): 318297.0
UTM Y (Meters): 4712354.5
Elevation: 768 ft. above sea level

USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property Map: 6066350 BIRMINGHAM, MI
Version Date: 2014

AERIAL PHOTOGRAPHY IN THIS REPORT

Portions of Photo from: 20140628
Source: USDA

MAPPED SITES SUMMARY

Target Property Address:
294 E BROWN ST AND 300-394 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
A1	GREEN'S ART SUPPLY	400 SOUTH OLD WOODWA	INVENTORY	Lower	100, 0.019, ESE
A2	FORMER GASOLINE DISP	400 S OLD WOODWARD A	UST	Lower	100, 0.019, ESE
A3	GREEN'S ART SUPPLY	400 SOUTH OLD WOODWA	US BROWNFIELDS	Lower	100, 0.019, ESE
A4	WOODWARD DETROIT CVS	444 S OLD WOODWARD A	RCRA-VSQG	Lower	195, 0.037, ESE
5	BROWN STREET OFFICE	200 EAST BROWN	BEA	Higher	197, 0.037, WSW
A6	MITCHELL GEORGE E CL	458 S WOODWARD AVE	EDR Hist Cleaner	Lower	211, 0.040, ESE
A7	MITCHELL GEORGE E CL	458 S OLD WOODWARD A	EDR Hist Cleaner	Lower	221, 0.042, ESE
A8	ESTATE MOTORS	464 S WOODWARD AVE	LUST, UST	Lower	230, 0.044, ESE
A9	ESTATE MOTORS LTD	464 S OLD WOODWARD A	RCRA NonGen / NLR, FINDS, ECHO	Lower	231, 0.044, ESE
B10	ESSCO OF BIRMINGHAM	255 S OLD WOODWARD A	RCRA-VSQG	Higher	280, 0.053, North
B11	GAS STATION TV	255 S OLD WOODWARD A	EDR Hist Auto	Higher	280, 0.053, North
C12	BRITANNIA PROPERTIES	401 S OLD WOODWARD A	EDR Hist Auto	Lower	286, 0.054, East
D13	JAX KAR WASH #048	34745 WOODWARD AVE	LUST, UST, INVENTORY, BEA, WDS	Higher	381, 0.072, NE
C14	FRANKLIN SAVINGS BAN	479 S OLD WOODWARD A	UST	Lower	399, 0.076, East
B15	UPTOWN ENTERTAINMENT	211 S OLD WOODWARD A	RCRA NonGen / NLR	Higher	450, 0.085, North
E16	MAVERICK EXPRESS INC	555 S WOODWARD	EDR Hist Auto	Lower	459, 0.087, ESE
E17	BIRMINGHAM CLEANERS	1253 555 S WOODWARD	EDR Hist Cleaner	Lower	459, 0.087, ESE
D18	WOODWARD BROWN ASSOC	34901 WOODWARD AVENU	INVENTORY	Higher	482, 0.091, NE
D19	WOODWARD BROWN ASSOC	34901 WOODWARD AVENU	BEA	Higher	498, 0.094, NE
D20	WEISS SAMONA	34901 WOODWARD AVENU	US BROWNFIELDS, FINDS	Higher	498, 0.094, NE
D21	WOODWARD BROWN ASSOC	34901 WOODWARD	INVENTORY	Higher	498, 0.094, NE
E22	MITCHELL GEORGE E CL	534 S WOODWARD AVE	EDR Hist Cleaner	Lower	519, 0.098, SE
F23	BIRMINGHAM CAMERA SH	168 S OLD WOODWARD A	RCRA NonGen / NLR, FINDS, ECHO	Higher	612, 0.116, NNW
G24	34965 WOODWARD AVENU	34965 WOODWARD AVENU	INVENTORY	Higher	627, 0.119, NNE
H25	SPEEDWAY LLC	34750 WOODWARD AVE	RCRA-VSQG, UST, FINDS, ECHO	Higher	679, 0.129, ENE
H26	SPEEDWAY #8721	34750 WOODWARD 347 B	LUST, INVENTORY, Financial Assurance	Higher	679, 0.129, ENE
G27	SHELL - HUNTER	34977 WOODWARD AVE	LUST, UST, INVENTORY	Higher	725, 0.137, NNE
G28	CATALYST DEVELOPMENT	34977 WOODWARD AVE	AUL, BEA, WDS	Higher	725, 0.137, NNE
G29	CATALYST DEVELOPMENT	34977 WOODWARD AVE	RCRA-VSQG, FINDS, ECHO	Higher	725, 0.137, NNE
30	BURTON KATZMAN	336 E MAPLE RD	RCRA NonGen / NLR	Higher	735, 0.139, North
G31	CATALYST DEVELOPMENT	34977 WOODWARD AVENU	INVENTORY	Higher	751, 0.142, NNE
H32	MALLY, C . LANE PROP	575 SOUTH HUNTER BLV	BEA	Lower	774, 0.147, ENE
H33	CARMAN TILLARD	910 N HUNTER BLVD	LUST, UST	Lower	777, 0.147, ENE
I34	FRED LAVERY CO	34602 WOODWARD AVE	UST	Lower	783, 0.148, East
I35	FRED LAVERY CO	34602 WOODWARD AVE	RCRA-VSQG, FINDS, ECHO	Lower	783, 0.148, East
J36	165 - 217 PIERCE STR	165 - 217 PIERCE STR	INVENTORY	Higher	793, 0.150, NW
F37	FULLER CENTRAL PARK	111 S OLD WOODWARD	RCRA-VSQG, FINDS, ECHO	Higher	804, 0.152, NNW
38	BARNUM HEALTH CENTER	746 PURDY ST	UST	Lower	835, 0.158, South
K39	VILLAGE JEEP EAGLE	666 S WOODWARD	UST	Lower	857, 0.162, SE

MAPPED SITES SUMMARY

Target Property Address:
294 E BROWN ST AND 300-394 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
L40	HOLIDAY INN	34952 WOODWARD AVE	RCRA-VSQQ	Higher	858, 0.162, NE
M41	GOLLING MOTORS, INC.	34500 WOODWARD	INVENTORY, BEA	Lower	870, 0.165, ESE
M42	GOLLING MOTORS, INC.	34500 WOODWARD AVENU	INVENTORY	Lower	870, 0.165, ESE
K43	VILLAGE AMC/JEEP INC	666 S OLD WOODWARD A	RCRA NonGen / NLR, FINDS, ECHO	Lower	894, 0.169, SE
N44	SUNOCO #0008-4178	35001 WOODWARD AVE	LUST, UST, INVENTORY, BEA, WDS	Higher	894, 0.169, NNE
N45	SUNOCO SERVICE STATI	35001 WOODWARD AVE	RCRA NonGen / NLR, FINDS, ECHO	Higher	894, 0.169, NNE
J46	BIRMINGHAM CO (M5711	155 HENRIETTA ST	UST	Higher	936, 0.177, NW
J47	MICHIGAN BELL TELEPH	155 HENRIETTA ST	RCRA-VSQQ, FINDS, ECHO	Higher	936, 0.177, NW
L48	JERRY BURNS CLEANERS	615 E MAPLE RD	RCRA NonGen / NLR, FINDS, ECHO	Higher	1008, 0.191, NNE
L49	JERRY BURNS DRY CLEA	615 E. MAPLE	DRYCLEANERS	Higher	1020, 0.193, NE
K50	JIMMIES RUSTICS	690 SOUTH OLD WOODWA	BEA	Lower	1054, 0.200, SE
L51	KROGER CO OF MICHIGA	685 E MAPLE RD	RCRA-VSQQ	Higher	1055, 0.200, NE
L52	J C & C ENTERPRISES	700 E MAPLE RD	RCRA NonGen / NLR	Higher	1074, 0.203, NE
O53	TIFFANY FLORIST	772 S OLD WOODWARD A	LUST, UST, INVENTORY	Lower	1161, 0.220, SE
O54	VIRGINIA C CLOHSET T	784 S OLD WOODWARD A	RCRA NonGen / NLR	Lower	1165, 0.221, SE
O55	WOODWARD AND GEORGE,	772-784 SOUTH OLD WO	INVENTORY	Lower	1184, 0.224, SE
O56	WOODWARD AND GEORGE,	772-784 SOUTH OLD WO	BEA	Lower	1184, 0.224, SE
57	WM BEAUMONT HOSPITAL	35046 WOODWARD AVE	RCRA-VSQQ, FINDS, ECHO	Higher	1198, 0.227, NNE
P58	GOODYEAR TIRE CENTER	835 HAYNES ST	LUST, UST, WDS	Lower	1205, 0.228, ESE
P59	HALBEISEN TOM INC	835 HAYNES ST	RCRA-VSQQ, FINDS, ECHO	Lower	1205, 0.228, ESE
Q60	MAPLE ELM DEVELOPMEN	820 E MAPLE	RCRA NonGen / NLR, FINDS, ECHO	Higher	1281, 0.243, NE
Q61	ALL SEASONS OF BIRMI	820 E MAPLE	AST	Higher	1281, 0.243, NE
62	WABEEK ASSOC GEN PAR	280 W MAPLE RD	UST	Higher	1300, 0.246, NW
Q63	HAMILTON FUNERAL HOM	820 EAST MAPLE ROAD	INVENTORY, BEA	Higher	1327, 0.251, NE
P64	LAVERY MI DEALERSHIP	907 AND 911 HAYNES S	INVENTORY	Lower	1366, 0.259, ESE
P65	FRED LAVERY COMPANY	907 AND 911 HAYNES S	INVENTORY	Lower	1366, 0.259, ESE
66	PROPOSED BALDWIN HOU	200 CHESTER ST	LUST, UST, WDS	Higher	1455, 0.276, WNW
67	AMERICAR	860 S OLD WOODWARD A	LUST, UST, WDS	Lower	1501, 0.284, SE
R68	ELMWOOD PROPERTIES I	920-970 EAST MAPLE R	BEA	Higher	1513, 0.287, NE
S69	COMERICA BANK BIRMIN	322 N. OLD WOODWARD	INVENTORY	Higher	1585, 0.300, NNW
R70	PARKING LOT (DIETZ C	985 E MAPLE RD	INVENTORY, BEA	Higher	1644, 0.311, NE
R71	PARKING LOT (DIETZ C	985 E MAPLE RD	LUST, UST	Higher	1644, 0.311, NE
R72	BUDGET RENT-A-CAR	1000 E MAPLE RD	LUST, UST, INVENTORY, WDS	Lower	1645, 0.312, ENE
R73	OSOS TONTOS LLC	985 EAST MAPLE	BEA	Lower	1647, 0.312, ENE
S74	344 NORTH OLD WOODWA	344 NORTH OLD WOODWA	INVENTORY	Higher	1710, 0.324, NNW
75	BIRMINGHAM PUBLIC SC	550 W MERRILL ST	LUST, INVENTORY	Higher	1720, 0.326, WNW
76	FIRST CHURCH OF CHRI	191 N. CHESTER ST.	INVENTORY	Higher	1780, 0.337, NW
77	PERRY DRUG STORES IN	597 S ADAMS RD	INVENTORY, WDS	Lower	1787, 0.338, East
78	THE PLANT STATION	720 S ADAMS RD	LUST, UST	Lower	1803, 0.341, ESE

MAPPED SITES SUMMARY

Target Property Address:
 294 E BROWN ST AND 300-394 S OLD WOODWARD AVE
 BIRMINGHAM, MI 48009

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
T79	BIRMINGHAM STANDARD	1088 E MAPLE RD	LUST, UST, WDS	Lower	1865, 0.353, ENE
U80	912 OLD WOODWARD, LL	912 SOUTH OLD WOODWA	INVENTORY	Lower	1872, 0.355, SE
U81	912 SOUTH OLD WOODWA	912 SOUTH OLD WOODWA	US BROWNFIELDS, FINDS	Lower	1872, 0.355, SE
U82	912 OLD WOODWARD, LL	912 SOUTH OLD WOODWA	INVENTORY	Lower	1872, 0.355, SE
T83	MOBIL OIL CORP	1065 E MAPLE RD	INVENTORY, AIRS, WDS	Lower	1917, 0.363, ENE
U84	OFFICE BUILDING & PA	1000 SOUTH OLD WOODW	BEA	Lower	1963, 0.372, SE
U85	WOODLINC/MICH LTD PA	1050 S OLD WOODWARD	LUST, INVENTORY	Lower	1978, 0.375, SE
86	MAPLE GAS INC	1065 W MAPLE RD	LUST, UST, AUL, INVENTORY, Financial Assurance	Lower	2081, 0.394, ENE
87	QUARTON WOODWARD SER	1599 S WOODWARD AVE	LUST, UST, AUL, INVENTORY, WDS	Lower	2127, 0.403, SE
88	908 S. ADAMS, LLC	908 SOUTH ADAMS ROAD	INVENTORY	Lower	2163, 0.410, SE
89	GHEEN RESIDENCE	272 RAVINE ROAD	INVENTORY, WDS	Lower	2350, 0.445, NNW

EXECUTIVE SUMMARY

TARGET PROPERTY SEARCH RESULTS

The target property was not listed in any of the databases searched by EDR.

DATABASES WITH NO MAPPED SITES

No mapped sites were found in EDR's search of available ("reasonably ascertainable ") government records either on the target property or within the search radius around the target property for the following databases:

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL..... National Priority List
Proposed NPL..... Proposed National Priority List Sites
NPL LIENS..... Federal Superfund Liens

Federal Delisted NPL site list

Delisted NPL..... National Priority List Deletions

Federal CERCLIS list

FEDERAL FACILITY..... Federal Facility Site Information listing
SEMS..... Superfund Enterprise Management System

Federal CERCLIS NFRAP site list

SEMS-ARCHIVE..... Superfund Enterprise Management System Archive

Federal RCRA CORRACTS facilities list

CORRACTS..... Corrective Action Report

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF..... RCRA - Treatment, Storage and Disposal

Federal RCRA generators list

RCRA-LQG..... RCRA - Large Quantity Generators
RCRA-SQG..... RCRA - Small Quantity Generators

Federal institutional controls / engineering controls registries

LUCIS..... Land Use Control Information System
US ENG CONTROLS..... Engineering Controls Sites List
US INST CONTROLS..... Institutional Controls Sites List

EXECUTIVE SUMMARY

Federal ERNS list

ERNS..... Emergency Response Notification System

State- and tribal - equivalent CERCLIS

SHWS..... This state does not maintain a SHWS list. See the Federal CERCLIS list and Federal NPL list.

State and tribal landfill and/or solid waste disposal site lists

SWF/LF..... Solid Waste Facilities Database

State and tribal leaking storage tank lists

INDIAN LUST..... Leaking Underground Storage Tanks on Indian Land

State and tribal registered storage tank lists

FEMA UST..... Underground Storage Tank Listing

INDIAN UST..... Underground Storage Tanks on Indian Land

State and tribal voluntary cleanup sites

INDIAN VCP..... Voluntary Cleanup Priority Listing

State and tribal Brownfields sites

BROWNFIELDS..... Brownfields and UST Site Database

ADDITIONAL ENVIRONMENTAL RECORDS

Local Lists of Landfill / Solid Waste Disposal Sites

HIST LF..... Inactive Solid Waste Facilities

SWRCY..... Recycling Facilities

INDIAN ODI..... Report on the Status of Open Dumps on Indian Lands

DEBRIS REGION 9..... Torres Martinez Reservation Illegal Dump Site Locations

ODI..... Open Dump Inventory

IHS OPEN DUMPS..... Open Dumps on Indian Land

Local Lists of Hazardous waste / Contaminated Sites

US HIST CDL..... Delisted National Clandestine Laboratory Register

PART 201..... Part 201 Site List

CDL..... Clandestine Drug Lab Listing

DEL PART 201..... Delisted List of Contaminated Sites

US CDL..... National Clandestine Laboratory Register

PFAS..... PFAS Contaminated Sites Listing

Local Land Records

LIENS..... Lien List

EXECUTIVE SUMMARY

LIENS 2..... CERCLA Lien Information

Records of Emergency Release Reports

HMIRS..... Hazardous Materials Information Reporting System
SPILLS..... Pollution Emergency Alerting System

Other Ascertainable Records

FUDS..... Formerly Used Defense Sites
DOD..... Department of Defense Sites
SCRD DRYCLEANERS..... State Coalition for Remediation of Drycleaners Listing
US FIN ASSUR..... Financial Assurance Information
EPA WATCH LIST..... EPA WATCH LIST
2020 COR ACTION..... 2020 Corrective Action Program List
TSCA..... Toxic Substances Control Act
TRIS..... Toxic Chemical Release Inventory System
SSTS..... Section 7 Tracking Systems
ROD..... Records Of Decision
RMP..... Risk Management Plans
RAATS..... RCRA Administrative Action Tracking System
PRP..... Potentially Responsible Parties
PADS..... PCB Activity Database System
ICIS..... Integrated Compliance Information System
FTTS..... FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
MLTS..... Material Licensing Tracking System
COAL ASH DOE..... Steam-Electric Plant Operation Data
COAL ASH EPA..... Coal Combustion Residues Surface Impoundments List
PCB TRANSFORMER..... PCB Transformer Registration Database
RADINFO..... Radiation Information Database
HIST FTTS..... FIFRA/TSCA Tracking System Administrative Case Listing
DOT OPS..... Incident and Accident Data
CONSENT..... Superfund (CERCLA) Consent Decrees
INDIAN RESERV..... Indian Reservations
FUSRAP..... Formerly Utilized Sites Remedial Action Program
UMTRA..... Uranium Mill Tailings Sites
LEAD SMELTERS..... Lead Smelter Sites
US AIRS..... Aerometric Information Retrieval System Facility Subsystem
US MINES..... Mines Master Index File
ABANDONED MINES..... Abandoned Mines
FINDS..... Facility Index System/Facility Registry System
UXO..... Unexploded Ordnance Sites
ECHO..... Enforcement & Compliance History Information
DOCKET HWC..... Hazardous Waste Compliance Docket Listing
FUELS PROGRAM..... EPA Fuels Program Registered Listing
AIRS..... Permit and Emissions Inventory Data
ASBESTOS..... ASBESTOS
COAL ASH..... Coal Ash Disposal Sites
Financial Assurance..... Financial Assurance Information Listing
LEAD..... Lead Safe Housing Registry
NPDES..... List of Active NPDES Permits
UIC..... Underground Injection Wells Database
WDS..... Waste Data System
MINES MRDS..... Mineral Resources Data System

EXECUTIVE SUMMARY

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP..... EDR Proprietary Manufactured Gas Plants

EDR RECOVERED GOVERNMENT ARCHIVES

Exclusive Recovered Govt. Archives

RGA PART 201..... Recovered Government Archive State Hazardous Waste Facilities List

RGA LF..... Recovered Government Archive Solid Waste Facilities List

RGA LUST..... Recovered Government Archive Leaking Underground Storage Tank

SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were identified in the following databases.

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property.

Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in ***bold italics*** are in multiple databases.

Unmappable (orphan) sites are not considered in the foregoing analysis.

STANDARD ENVIRONMENTAL RECORDS

Federal RCRA generators list

RCRA-VSQQ: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Very small quantity generators (VSQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

A review of the RCRA-VSQQ list, as provided by EDR, and dated 06/15/2020 has revealed that there are 11 RCRA-VSQQ sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ESSCO OF BIRMINGHAM EPA ID:: MIK656803600	255 S OLD WOODWARD A	N 0 - 1/8 (0.053 mi.)	B10	48
<i>SPEEDWAY LLC</i> EPA ID:: MID985666387	<i>34750 WOODWARD AVE</i>	<i>ENE 1/8 - 1/4 (0.129 mi.)</i>	<i>H25</i>	<i>69</i>
<i>CATALYST DEVELOPMENT</i> EPA ID:: MIR000044230	<i>34977 WOODWARD AVE</i>	<i>NNE 1/8 - 1/4 (0.137 mi.)</i>	<i>G29</i>	<i>91</i>
<i>FULLER CENTRAL PARK</i>	<i>111 S OLD WOODWARD</i>	<i>NNW 1/8 - 1/4 (0.152 mi.)</i>	<i>F37</i>	<i>112</i>

EXECUTIVE SUMMARY

EPA ID:: MIK478599987				
HOLIDAY INN EPA ID:: MIK541799672	34952 WOODWARD AVE	NE 1/8 - 1/4 (0.162 mi.)	L40	116
MICHIGAN BELL TELEPH EPA ID:: MIT270013519	155 HENRIETTA ST	NW 1/8 - 1/4 (0.177 mi.)	J47	141
KROGER CO OF MICHIGA EPA ID:: MIK996275632	685 E MAPLE RD	NE 1/8 - 1/4 (0.200 mi.)	L51	149
WM BEAUMONT HOSPITAL EPA ID:: MIK132883016	35046 WOODWARD AVE	NNE 1/8 - 1/4 (0.227 mi.)	57	160

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
WOODWARD DETROIT CVS EPA ID:: MIK166505639	444 S OLD WOODWARD A	ESE 0 - 1/8 (0.037 mi.)	A4	15
FRED LAVERY CO EPA ID:: MID985613389	34602 WOODWARD AVE	E 1/8 - 1/4 (0.148 mi.)	I35	103
HALBEISEN TOM INC EPA ID:: MID985643790	835 HAYNES ST	ESE 1/8 - 1/4 (0.228 mi.)	P59	165

State and tribal leaking storage tank lists

LUST: The Leaking Underground Storage Tank Incident Reports contain an inventory of reported leaking underground storage tank incidents. The data come from the Department of Environmental Quality's Leaking Underground Storage Tank (LUST) Database.

A review of the LUST list, as provided by EDR, and dated 07/16/2020 has revealed that there are 18 LUST sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JAX KAR WASH #048 Facility Id: 00001952 Release Status: Open Substance Release: Unknown	34745 WOODWARD AVE	NE 0 - 1/8 (0.072 mi.)	D13	51
SPEEDWAY #8721 Facility Id: 00016370 Release Status: Closed Release Status: Open Substance Release: Unknown Substance Release: Gasoline,Gasoline,Gasoline,Diesel	34750 WOODWARD 347 B	ENE 1/8 - 1/4 (0.129 mi.)	H26	81
SHELL - HUNTER Facility Id: 00002267 Release Status: Closed Release Status: Open Substance Release: Unknown,Unknown Substance Release: Gasoline Substance Release: Used Oil	34977 WOODWARD AVE	NNE 1/8 - 1/4 (0.137 mi.)	G27	82
SUNOCO #0008-4178 Facility Id: 00005935	35001 WOODWARD AVE	NNE 1/8 - 1/4 (0.169 mi.)	N44	124

EXECUTIVE SUMMARY

Release Status: Closed
Substance Release: Unknown

PROPOSED BALDWIN HOU Facility Id: 00037464 Release Status: Closed Substance Release: Heating Oil	200 CHESTER ST	WNW 1/4 - 1/2 (0.276 mi.)	66	177
PARKING LOT (DIETZ C) Facility Id: 50002129 Release Status: Open Substance Release: Unknown	985 E MAPLE RD	NE 1/4 - 1/2 (0.311 mi.)	R71	182
BIRMINGHAM PUBLIC SC Facility Id: 50000584 Release Status: Open	550 W MERRILL ST	WNW 1/4 - 1/2 (0.326 mi.)	75	189

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ESTATE MOTORS Facility Id: 00015180 Release Status: Closed Substance Release: Gasoline Substance Release: Unknown	464 S WOODWARD AVE	ESE 0 - 1/8 (0.044 mi.)	A8	26
CARMAN TILLARD Facility Id: 50001216 Release Status: Closed	910 N HUNTER BLVD	ENE 1/8 - 1/4 (0.147 mi.)	H33	100
TIFFANY FLORIST Facility Id: 00042132 Release Status: Open Substance Release: Gasoline,Gasoline	772 S OLD WOODWARD A	SE 1/8 - 1/4 (0.220 mi.)	O53	154
GOODYEAR TIRE CENTER Facility Id: 00021777 Release Status: Closed Substance Release: Used Oil	835 HAYNES ST	ESE 1/8 - 1/4 (0.228 mi.)	P58	164
AMERICAR Facility Id: 00034958 Release Status: Closed	860 S OLD WOODWARD A	SE 1/4 - 1/2 (0.284 mi.)	67	179
BUDGET RENT-A-CAR Facility Id: 00007720 Release Status: Open	1000 E MAPLE RD	ENE 1/4 - 1/2 (0.312 mi.)	R72	184
THE PLANT STATION Facility Id: 00018613 Release Status: Closed Substance Release: Gasoline,Unknown	720 S ADAMS RD	ESE 1/4 - 1/2 (0.341 mi.)	78	191
BIRMINGHAM STANDARD Facility Id: 00001897 Release Status: Closed	1088 E MAPLE RD	ENE 1/4 - 1/2 (0.353 mi.)	T79	194
WOODLINC/MICH LTD PA Facility Id: 00039226 Release Status: Open Substance Release: Gasoline	1050 S OLD WOODWARD	SE 1/4 - 1/2 (0.375 mi.)	U85	205
MAPLE GAS INC	1065 W MAPLE RD	ENE 1/4 - 1/2 (0.394 mi.)	86	206

EXECUTIVE SUMMARY

Facility Id: 00016689
 Release Status: Closed
 Substance Release: Used Oil,Gasoline
 Substance Release: Gasoline,Gasoline,Gasoline,Used Oil
 Substance Release: Unknown

QUARTON WOODWARD SER **1599 S WOODWARD AVE** **SE 1/4 - 1/2 (0.403 mi.)** **87** **211**
 Facility Id: 00033030
 Release Status: Closed
 Substance Release: Gasoline

State and tribal registered storage tank lists

UST: The Underground Storage Tank database contains registered USTs. USTs are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA). The data come from the Department of Environmental Quality's Michigan UST database.

A review of the UST list, as provided by EDR, has revealed that there are 15 UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JAX KAR WASH #048 Database: UST, Date of Government Version: 05/07/2019 Tank Status: Removed from Ground Facility Type: CLOSED Facility Id: 00001952	34745 WOODWARD AVE	NE 0 - 1/8 (0.072 mi.)	D13	51
SPEEDWAY LLC Database: UST, Date of Government Version: 05/07/2019 Tank Status: Currently In Use Tank Status: Removed from Ground Facility Type: ACTIVE Facility Id: 00016370	34750 WOODWARD AVE	ENE 1/8 - 1/4 (0.129 mi.)	H25	69
SHELL - HUNTER Database: UST, Date of Government Version: 05/07/2019 Tank Status: Removed from Ground Facility Type: CLOSED Facility Id: 00002267	34977 WOODWARD AVE	NNE 1/8 - 1/4 (0.137 mi.)	G27	82
SUNOCO #0008-4178 Database: UST, Date of Government Version: 05/07/2019 Tank Status: Removed from Ground Facility Type: CLOSED Facility Id: 00005935	35001 WOODWARD AVE	NNE 1/8 - 1/4 (0.169 mi.)	N44	124
BIRMINGHAM CO (M5711) Database: UST, Date of Government Version: 05/07/2019 Tank Status: Currently In Use Facility Type: ACTIVE Facility Id: 00011669	155 HENRIETTA ST	NW 1/8 - 1/4 (0.177 mi.)	J46	139
WABEEK ASSOC GEN PAR Database: UST, Date of Government Version: 05/07/2019 Tank Status: Removed from Ground Facility Type: CLOSED	280 W MAPLE RD	NW 1/8 - 1/4 (0.246 mi.)	62	175

EXECUTIVE SUMMARY

Facility Id: 00034440

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
FORMER GASOLINE DISP Database: UST, Date of Government Version: 05/07/2019 Tank Status: Removed from Ground Facility Type: CLOSED Facility Id: 00042635	400 S OLD WOODWARD A	ESE 0 - 1/8 (0.019 mi.)	A2	8
ESTATE MOTORS Database: UST, Date of Government Version: 05/07/2019 Database: UST 2, Date of Government Version: 07/12/2020 Tank Status: Removed from Ground Facility ID: 00015180 Facility Type: CLOSED Facility Id: 00015180	464 S WOODWARD AVE	ESE 0 - 1/8 (0.044 mi.)	A8	26
FRANKLIN SAVINGS BAN Database: UST, Date of Government Version: 05/07/2019 Tank Status: Removed from Ground Facility Type: CLOSED Facility Id: 00013244	479 S OLD WOODWARD A	E 0 - 1/8 (0.076 mi.)	C14	54
CARMAN TILLARD Database: UST, Date of Government Version: 05/07/2019 Database: UST 2, Date of Government Version: 07/12/2020 Tank Status: Non-Registered Tank Facility ID: 50001216 Facility Type: CLOSED Facility Id: 50001216	910 N HUNTER BLVD	ENE 1/8 - 1/4 (0.147 mi.)	H33	100
FRED LAVERY CO Database: UST, Date of Government Version: 05/07/2019 Tank Status: Removed from Ground Facility Type: CLOSED Facility Id: 00014864	34602 WOODWARD AVE	E 1/8 - 1/4 (0.148 mi.)	I34	102
BARNUM HEALTH CENTER Database: UST, Date of Government Version: 05/07/2019 Tank Status: Temporarily Out of Use Facility Type: CLOSED Facility Id: 00017691	746 PURDY ST	S 1/8 - 1/4 (0.158 mi.)	38	115
VILLAGE JEEP EAGLE Database: UST, Date of Government Version: 05/07/2019 Tank Status: Removed from Ground Facility Type: CLOSED Facility Id: 00005612	666 S WOODWARD	SE 1/8 - 1/4 (0.162 mi.)	K39	116
TIFFANY FLORIST Database: UST, Date of Government Version: 05/07/2019 Tank Status: Removed from Ground Tank Status: Closed in Ground Facility Type: CLOSED Facility Id: 00042132	772 S OLD WOODWARD A	SE 1/8 - 1/4 (0.220 mi.)	O53	154
GOODYEAR TIRE CENTER Database: UST, Date of Government Version: 05/07/2019 Tank Status: Removed from Ground	835 HAYNES ST	ESE 1/8 - 1/4 (0.228 mi.)	P58	164

EXECUTIVE SUMMARY

Facility Type: CLOSED
Facility Id: 00021777

AST: The Aboveground Storage Tank database contains registered ASTs. The data come from the Department of Natural Resources' Michigan AST database.

A review of the AST list, as provided by EDR, and dated 05/06/2020 has revealed that there is 1 AST site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ALL SEASONS OF BIRMI Facility Id: 81084523 List Status: Aboveground Tank Status: Inactive	820 E MAPLE	NE 1/8 - 1/4 (0.243 mi.)	Q61	175

State and tribal institutional control / engineering control registries

AUL: A listing of sites with institutional and/or engineering controls in place.

A review of the AUL list, as provided by EDR, and dated 08/25/2020 has revealed that there are 3 AUL sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CATALYST DEVELOPMENT Facility ID: 00002267	34977 WOODWARD AVE	NNE 1/8 - 1/4 (0.137 mi.)	G28	90
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
MAPLE GAS INC Facility ID: 00016689	1065 W MAPLE RD	ENE 1/4 - 1/2 (0.394 mi.)	86	206
QUARTON WOODWARD SER Facility ID: 00033030	1599 S WOODWARD AVE	SE 1/4 - 1/2 (0.403 mi.)	87	211

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS: The EPA's listing of Brownfields properties from the Cleanups in My Community program, which provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

A review of the US BROWNFIELDS list, as provided by EDR, and dated 06/01/2020 has revealed that there are 3 US BROWNFIELDS sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
WEISS SAMONA	34901 WOODWARD AVENU	NE 0 - 1/8 (0.094 mi.)	D20	59

EXECUTIVE SUMMARY

ACRES property ID: 115761
Cleanup Completion Date: -

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
GREEN'S ART SUPPLY ACRES property ID: 170095 Cleanup Completion Date: -	400 SOUTH OLD WOODWA	ESE 0 - 1/8 (0.019 mi.)	A3	9
912 SOUTH OLD WOODWA ACRES property ID: 171161 Cleanup Completion Date: -	912 SOUTH OLD WOODWA	SE 1/4 - 1/2 (0.355 mi.)	U81	200

Local Lists of Hazardous waste / Contaminated Sites

INVENTORY: The Inventory of Facilities has three data sources: Facilities under Part 201, Environmental Remediation, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA) identified through state funded or private party response activities (Projects); Facilities under Part 213, Leaking Underground Storage Tanks of the NREPA; and Facilities identified through submittals of Baseline Environmental Assessments (BEA) submitted pursuant to Part 201 or Part 213 of the NREPA. The Part 201 Projects Inventory does not include all of the facilities that are subject to regulation under Part 201 because owners are not required to inform the Department of Environmental Quality (DEQ) about the facilities and can pursue cleanup independently. Facilities that are not known to DEQ are not on the Inventory, nor are locations with releases that resulted in low environmental impact. Part 213 facilities listed here may have more than one release; a list of releases for which corrective actions have been completed and list of releases for which corrective action has not been completed is located on the Leaking Underground Storage Tanks Site Search webpage. The DEQ may or may not have reviewed and concurred with the conclusion that the corrective actions described in a closure report meets criteria. A BEA is a document that new or prospective property owners/operations disclose to the DEQ identifying the property as a facility pursuant to Part 201 and Part 213. The Inventory of BEA Facilities overlaps in part with the Part 201 Projects facilities and Part 213 facilities. There may be more than one BEA for each facility.

A review of the INVENTORY list, as provided by EDR, and dated 07/20/2020 has revealed that there are 32 INVENTORY sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JAX KAR WASH #048 Facility ID: 00001952	34745 WOODWARD AVE	NE 0 - 1/8 (0.072 mi.)	D13	51
WOODWARD BROWN ASSOC Facility ID: 63005920	34901 WOODWARD AVENU	NE 0 - 1/8 (0.091 mi.)	D18	58
WOODWARD BROWN ASSOC Facility ID: 63005920	34901 WOODWARD	NE 0 - 1/8 (0.094 mi.)	D21	64
34965 WOODWARD AVENU Facility ID: 63006065	34965 WOODWARD AVENU	NNE 0 - 1/8 (0.119 mi.)	G24	69
SPEEDWAY #8721 Facility ID: 00016370	34750 WOODWARD 347 B	ENE 1/8 - 1/4 (0.129 mi.)	H26	81
SHELL - HUNTER Facility ID: 00002267	34977 WOODWARD AVE	NNE 1/8 - 1/4 (0.137 mi.)	G27	82
CATALYST DEVELOPMENT Facility ID: 63005889	34977 WOODWARD AVENU	NNE 1/8 - 1/4 (0.142 mi.)	G31	100
165 - 217 PIERCE STR SUNOCO #0008-4178	165 - 217 PIERCE STR 35001 WOODWARD AVE	NW 1/8 - 1/4 (0.150 mi.) NNE 1/8 - 1/4 (0.169 mi.)	J36 N44	111 124

EXECUTIVE SUMMARY

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HAMILTON FUNERAL HOM COMERICA BANK BIRMIN Facility ID: 63005254	820 EAST MAPLE ROAD 322 N. OLD WOODWARD	NE 1/4 - 1/2 (0.251 mi.) NNW 1/4 - 1/2 (0.300 mi.)	Q63 S69	176 181
PARKING LOT (DIETZ C Facility ID: 50002129	985 E MAPLE RD	NE 1/4 - 1/2 (0.311 mi.)	R70	182
344 NORTH OLD WOODWA Facility ID: 63500536	344 NORTH OLD WOODWA	NNW 1/4 - 1/2 (0.324 mi.)	S74	189
BIRMINGHAM PUBLIC SC Facility ID: 50000584	550 W MERRILL ST	WNW 1/4 - 1/2 (0.326 mi.)	75	189
FIRST CHURCH OF CHRI Facility ID: 63005278	191 N. CHESTER ST.	NW 1/4 - 1/2 (0.337 mi.)	76	190
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
GREEN'S ART SUPPLY GOLLING MOTORS, INC. Facility ID: 63005949	400 SOUTH OLD WOODWA 34500 WOODWARD	ESE 0 - 1/8 (0.019 mi.) ESE 1/8 - 1/4 (0.165 mi.)	A1 M41	8 120
GOLLING MOTORS, INC. Facility ID: 63005949	34500 WOODWARD AVENU	ESE 1/8 - 1/4 (0.165 mi.)	M42	120
TIFFANY FLORIST Facility ID: 00042132	772 S OLD WOODWARD A	SE 1/8 - 1/4 (0.220 mi.)	O53	154
WOODWARD AND GEORGE, LAVERY MI DEALERSHIP FRED LAVERY COMPANY BUDGET RENT-A-CAR Facility ID: 00007720	772-784 SOUTH OLD WO 907 AND 911 HAYNES S 907 AND 911 HAYNES S 1000 E MAPLE RD	SE 1/8 - 1/4 (0.224 mi.) ESE 1/4 - 1/2 (0.259 mi.) ESE 1/4 - 1/2 (0.259 mi.) ENE 1/4 - 1/2 (0.312 mi.)	O55 P64 P65 R72	160 177 177 184
PERRY DRUG STORES IN Facility ID: 63501342	597 S ADAMS RD	E 1/4 - 1/2 (0.338 mi.)	77	190
912 OLD WOODWARD, LL Facility ID: 63006025	912 SOUTH OLD WOODWA	SE 1/4 - 1/2 (0.355 mi.)	U80	200
912 OLD WOODWARD, LL Facility ID: 63006025	912 SOUTH OLD WOODWA	SE 1/4 - 1/2 (0.355 mi.)	U82	203
MOBIL OIL CORP WOODLINC/MICH LTD PA Facility ID: 00039226	1065 E MAPLE RD 1050 S OLD WOODWARD	ENE 1/4 - 1/2 (0.363 mi.) SE 1/4 - 1/2 (0.375 mi.)	T83 U85	204 205
MAPLE GAS INC Facility ID: 00016689	1065 W MAPLE RD	ENE 1/4 - 1/2 (0.394 mi.)	86	206
QUARTON WOODWARD SER Facility ID: 00033030	1599 S WOODWARD AVE	SE 1/4 - 1/2 (0.403 mi.)	87	211
908 S. ADAMS, LLC GHEEN RESIDENCE Facility ID: 63006037	908 SOUTH ADAMS ROAD 272 RAVINE ROAD	SE 1/4 - 1/2 (0.410 mi.) NNW 1/4 - 1/2 (0.445 mi.)	88 89	219 219

EXECUTIVE SUMMARY

Other Ascertainable Records

RCRA NonGen / NLR: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

A review of the RCRA NonGen / NLR list, as provided by EDR, and dated 06/15/2020 has revealed that there are 10 RCRA NonGen / NLR sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
UPTOWN ENTERTAINMENT EPA ID:: MIK151544753	211 S OLD WOODWARD A	N 0 - 1/8 (0.085 mi.)	B15	55
BIRMINGHAM CAMERA SH EPA ID:: MID985652064	168 S OLD WOODWARD A	NNW 0 - 1/8 (0.116 mi.)	F23	65
BURTON KATZMAN EPA ID:: MIK851343467	336 E MAPLE RD	N 1/8 - 1/4 (0.139 mi.)	30	96
SUNOCO SERVICE STATI EPA ID:: MID087750204	35001 WOODWARD AVE	NNE 1/8 - 1/4 (0.169 mi.)	N45	130
JERRY BURNS CLEANERS EPA ID:: MID985605112	615 E MAPLE RD	NNE 1/8 - 1/4 (0.191 mi.)	L48	145
J C & C ENTERPRISES EPA ID:: MIK559424759	700 E MAPLE RD	NE 1/8 - 1/4 (0.203 mi.)	L52	152
MAPLE ELM DEVELOPMEN EPA ID:: MIK204939963	820 E MAPLE	NE 1/8 - 1/4 (0.243 mi.)	Q60	172

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ESTATE MOTORS LTD EPA ID:: MID040571135	464 S OLD WOODWARD A	ESE 0 - 1/8 (0.044 mi.)	A9	44
VILLAGE AMC/JEEP INC EPA ID:: MID058819707	666 S OLD WOODWARD A	SE 1/8 - 1/4 (0.169 mi.)	K43	120
VIRGINIA C CLOHSET T EPA ID:: MIK322432543	784 S OLD WOODWARD A	SE 1/8 - 1/4 (0.221 mi.)	O54	157

BEA: A BEA is a document that new or prospective property owners/operations disclose to the DEQ identifying the property as a facility pursuant to Part 201 and Part 213. The Inventory of BEA Facilities overlaps in part with the Part 201 Projects facilities and Part 213 facilities. There may be more than one BEA for each facility.

A review of the BEA list, as provided by EDR, and dated 08/21/2013 has revealed that there are 14 BEA sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
BROWN STREET OFFICE	200 EAST BROWN	WSW 0 - 1/8 (0.037 mi.)	5	25
JAX KAR WASH #048	34745 WOODWARD AVE	NE 0 - 1/8 (0.072 mi.)	D13	51
WOODWARD BROWN ASSOC	34901 WOODWARD AVENU	NE 0 - 1/8 (0.094 mi.)	D19	58
CATALYST DEVELOPMENT	34977 WOODWARD AVE	NNE 1/8 - 1/4 (0.137 mi.)	G28	90
SUNOCO #0008-4178	35001 WOODWARD AVE	NNE 1/8 - 1/4 (0.169 mi.)	N44	124
HAMILTON FUNERAL HOM	820 EAST MAPLE ROAD	NE 1/4 - 1/2 (0.251 mi.)	Q63	176

EXECUTIVE SUMMARY

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ELMWOOD PROPERTIES I PARKING LOT (DIETZ C	920-970 EAST MAPLE R 985 E MAPLE RD	NE 1/4 - 1/2 (0.287 mi.) NE 1/4 - 1/2 (0.311 mi.)	R68 R70	181 182

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
MALLY, C . LANE PROP GOLLING MOTORS, INC.	575 SOUTH HUNTER BLV 34500 WOODWARD	ENE 1/8 - 1/4 (0.147 mi.) ESE 1/8 - 1/4 (0.165 mi.)	H32 M41	100 120
JIMMIES RUSTICS	690 SOUTH OLD WOODWA	SE 1/8 - 1/4 (0.200 mi.)	K50	149
WOODWARD AND GEORGE,	772-784 SOUTH OLD WO	SE 1/8 - 1/4 (0.224 mi.)	O56	160
OSOS TONTOS LLC	985 EAST MAPLE	ENE 1/4 - 1/2 (0.312 mi.)	R73	188
OFFICE BUILDING & PA	1000 SOUTH OLD WOODW	SE 1/4 - 1/2 (0.372 mi.)	U84	205

DRYCLEANERS: A listing of drycleaning facilities in Michigan.

A review of the DRYCLEANERS list, as provided by EDR, and dated 12/12/2019 has revealed that there is 1 DRYCLEANERS site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JERRY BURNS DRY CLEA Establishment#: 6300337	615 E. MAPLE	NE 1/8 - 1/4 (0.193 mi.)	L49	148

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR Hist Auto: EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

A review of the EDR Hist Auto list, as provided by EDR, has revealed that there are 3 EDR Hist Auto sites within approximately 0.125 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
GAS STATION TV	255 S OLD WOODWARD A	N 0 - 1/8 (0.053 mi.)	B11	51
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
BRITANNIA PROPERTIES	401 S OLD WOODWARD A	E 0 - 1/8 (0.054 mi.)	C12	51
MAVERICK EXPRESS INC	555 S WOODWARD	ESE 0 - 1/8 (0.087 mi.)	E16	58

EXECUTIVE SUMMARY

EDR Hist Cleaner: EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, laundromat, cleaning/laundry, wash & dry etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

A review of the EDR Hist Cleaner list, as provided by EDR, has revealed that there are 4 EDR Hist Cleaner sites within approximately 0.125 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
MITCHELL GEORGE E CL	458 S WOODWARD AVE	ESE 0 - 1/8 (0.040 mi.)	A6	25
MITCHELL GEORGE E CL	458 S OLD WOODWARD A	ESE 0 - 1/8 (0.042 mi.)	A7	26
BIRMINGHAM CLEANERS	1253 555 S WOODWARD	ESE 0 - 1/8 (0.087 mi.)	E17	58
MITCHELL GEORGE E CL	534 S WOODWARD AVE	SE 0 - 1/8 (0.098 mi.)	E22	65

EXECUTIVE SUMMARY

Due to poor or inadequate address information, the following sites were not mapped. Count: 1 records.

Site Name

Database(s)

CDL

OVERVIEW MAP - 06273155.2R



Target Property

Sites at elevations higher than or equal to the target property

Sites at elevations lower than the target property

Manufactured Gas Plants

National Priority List Sites

Dept. Defense Sites

Indian Reservations BIA

Power transmission lines

Special Flood Hazard Area (1%)

0.2% Annual Chance Flood Hazard

National Wetland Inventory

State Wetlands

This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: 294 E Brown St and 300-394 S Old Woodward Ave
 ADDRESS: 294 E Brown St and 300-394 S Old Woodward Ave
 Birmingham MI 48009
 LAT/LONG: 42.544152 / 83.212858

CLIENT: PM Environmental, Inc.
 CONTACT: Kayla Strand
 INQUIRY #: 06273155.2r
 DATE: November 19, 2020 9:37 am

DETAIL MAP - 06273155.2R



-  Target Property
-  Sites at elevations higher than or equal to the target property
-  Sites at elevations lower than the target property
-  Manufactured Gas Plants
-  Sensitive Receptors
-  National Priority List Sites
-  Dept. Defense Sites

-  Indian Reservations BIA
-  Special Flood Hazard Area (1%)
-  0.2% Annual Chance Flood Hazard
-  National Wetland Inventory
-  State Wetlands



This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

<p>SITE NAME: 294 E Brown St and 300-394 S Old Woodward Ave ADDRESS: 294 E Brown St and 300-394 S Old Woodward Ave Birmingham MI 48009 LAT/LONG: 42.544152 / 83.212858</p>	<p>CLIENT: PM Environmental, Inc. CONTACT: Kayla Strand INQUIRY #: 06273155.2r DATE: November 19, 2020 9:38 am</p>
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MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
STANDARD ENVIRONMENTAL RECORDS								
<i>Federal NPL site list</i>								
NPL	1.000		0	0	0	0	NR	0
Proposed NPL	1.000		0	0	0	0	NR	0
NPL LIENS	1.000		0	0	0	0	NR	0
<i>Federal Delisted NPL site list</i>								
Delisted NPL	1.000		0	0	0	0	NR	0
<i>Federal CERCLIS list</i>								
FEDERAL FACILITY	0.500		0	0	0	NR	NR	0
SEMS	0.500		0	0	0	NR	NR	0
<i>Federal CERCLIS NFRAP site list</i>								
SEMS-ARCHIVE	0.500		0	0	0	NR	NR	0
<i>Federal RCRA CORRACTS facilities list</i>								
CORRACTS	1.000		0	0	0	0	NR	0
<i>Federal RCRA non-CORRACTS TSD facilities list</i>								
RCRA-TSDF	0.500		0	0	0	NR	NR	0
<i>Federal RCRA generators list</i>								
RCRA-LQG	0.250		0	0	NR	NR	NR	0
RCRA-SQG	0.250		0	0	NR	NR	NR	0
RCRA-VSQG	0.250		2	9	NR	NR	NR	11
<i>Federal institutional controls / engineering controls registries</i>								
LUCIS	0.500		0	0	0	NR	NR	0
US ENG CONTROLS	0.500		0	0	0	NR	NR	0
US INST CONTROLS	0.500		0	0	0	NR	NR	0
<i>Federal ERNS list</i>								
ERNS	TP		NR	NR	NR	NR	NR	0
<i>State- and tribal - equivalent CERCLIS</i>								
SHWS	1.000		0	0	0	0	NR	0
<i>State and tribal landfill and/or solid waste disposal site lists</i>								
SWF/LF	0.500		0	0	0	NR	NR	0
<i>State and tribal leaking storage tank lists</i>								
LUST	0.500		2	6	10	NR	NR	18
INDIAN LUST	0.500		0	0	0	NR	NR	0
<i>State and tribal registered storage tank lists</i>								
FEMA UST	0.250		0	0	NR	NR	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
UST	0.250		4	11	NR	NR	NR	15
AST	0.250		0	1	NR	NR	NR	1
INDIAN UST	0.250		0	0	NR	NR	NR	0
State and tribal institutional control / engineering control registries								
AUL	0.500		0	1	2	NR	NR	3
State and tribal voluntary cleanup sites								
INDIAN VCP	0.500		0	0	0	NR	NR	0
State and tribal Brownfields sites								
BROWNFIELDS	0.500		0	0	0	NR	NR	0
ADDITIONAL ENVIRONMENTAL RECORDS								
Local Brownfield lists								
US BROWNFIELDS	0.500		2	0	1	NR	NR	3
Local Lists of Landfill / Solid Waste Disposal Sites								
HIST LF	0.500		0	0	0	NR	NR	0
SWRCY	0.500		0	0	0	NR	NR	0
INDIAN ODI	0.500		0	0	0	NR	NR	0
DEBRIS REGION 9	0.500		0	0	0	NR	NR	0
ODI	0.500		0	0	0	NR	NR	0
IHS OPEN DUMPS	0.500		0	0	0	NR	NR	0
Local Lists of Hazardous waste / Contaminated Sites								
US HIST CDL	TP		NR	NR	NR	NR	NR	0
PART 201	1.000		0	0	0	0	NR	0
INVENTORY	0.500		5	9	18	NR	NR	32
CDL	TP		NR	NR	NR	NR	NR	0
DEL PART 201	1.000		0	0	0	0	NR	0
US CDL	TP		NR	NR	NR	NR	NR	0
PFAS	0.500		0	0	0	NR	NR	0
Local Land Records								
LIENS	TP		NR	NR	NR	NR	NR	0
LIENS 2	TP		NR	NR	NR	NR	NR	0
Records of Emergency Release Reports								
HMIRS	TP		NR	NR	NR	NR	NR	0
SPILLS	TP		NR	NR	NR	NR	NR	0
Other Ascertainable Records								
RCRA NonGen / NLR	0.250		3	7	NR	NR	NR	10
FUDS	1.000		0	0	0	0	NR	0
DOD	1.000		0	0	0	0	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
SCRD DRYCLEANERS	0.500		0	0	0	NR	NR	0
US FIN ASSUR	TP		NR	NR	NR	NR	NR	0
EPA WATCH LIST	TP		NR	NR	NR	NR	NR	0
2020 COR ACTION	0.250		0	0	NR	NR	NR	0
TSCA	TP		NR	NR	NR	NR	NR	0
TRIS	TP		NR	NR	NR	NR	NR	0
SSTS	TP		NR	NR	NR	NR	NR	0
ROD	1.000		0	0	0	0	NR	0
RMP	TP		NR	NR	NR	NR	NR	0
RAATS	TP		NR	NR	NR	NR	NR	0
PRP	TP		NR	NR	NR	NR	NR	0
PADS	TP		NR	NR	NR	NR	NR	0
ICIS	TP		NR	NR	NR	NR	NR	0
FTTS	TP		NR	NR	NR	NR	NR	0
MLTS	TP		NR	NR	NR	NR	NR	0
COAL ASH DOE	TP		NR	NR	NR	NR	NR	0
COAL ASH EPA	0.500		0	0	0	NR	NR	0
PCB TRANSFORMER	TP		NR	NR	NR	NR	NR	0
RADINFO	TP		NR	NR	NR	NR	NR	0
HIST FTTS	TP		NR	NR	NR	NR	NR	0
DOT OPS	TP		NR	NR	NR	NR	NR	0
CONSENT	1.000		0	0	0	0	NR	0
INDIAN RESERV	1.000		0	0	0	0	NR	0
FUSRAP	1.000		0	0	0	0	NR	0
UMTRA	0.500		0	0	0	NR	NR	0
LEAD SMELTERS	TP		NR	NR	NR	NR	NR	0
US AIRS	TP		NR	NR	NR	NR	NR	0
US MINES	0.250		0	0	NR	NR	NR	0
ABANDONED MINES	0.250		0	0	NR	NR	NR	0
FINDS	TP		NR	NR	NR	NR	NR	0
UXO	1.000		0	0	0	0	NR	0
ECHO	TP		NR	NR	NR	NR	NR	0
DOCKET HWC	TP		NR	NR	NR	NR	NR	0
FUELS PROGRAM	0.250		0	0	NR	NR	NR	0
AIRS	TP		NR	NR	NR	NR	NR	0
ASBESTOS	TP		NR	NR	NR	NR	NR	0
BEA	0.500		3	6	5	NR	NR	14
COAL ASH	0.500		0	0	0	NR	NR	0
DRYCLEANERS	0.250		0	1	NR	NR	NR	1
Financial Assurance	TP		NR	NR	NR	NR	NR	0
LEAD	TP		NR	NR	NR	NR	NR	0
NPDES	TP		NR	NR	NR	NR	NR	0
UIC	TP		NR	NR	NR	NR	NR	0
WDS	TP		NR	NR	NR	NR	NR	0
MINES MRDS	TP		NR	NR	NR	NR	NR	0

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP	1.000		0	0	0	0	NR	0
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MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
EDR Hist Auto	0.125		3	NR	NR	NR	NR	3
EDR Hist Cleaner	0.125		4	NR	NR	NR	NR	4
<u>EDR RECOVERED GOVERNMENT ARCHIVES</u>								
<i>Exclusive Recovered Govt. Archives</i>								
RGA PART 201	TP		NR	NR	NR	NR	NR	0
RGA LF	TP		NR	NR	NR	NR	NR	0
RGA LUST	TP		NR	NR	NR	NR	NR	0
- Totals --		0	28	51	36	0	0	115

NOTES:

TP = Target Property

NR = Not Requested at this Search Distance

Sites may be listed in more than one database

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s) EDR ID Number
EPA ID Number

A1
ESE
< 1/8
0.019 mi.
100 ft.

GREEN'S ART SUPPLY
400 SOUTH OLD WOODWARD
OAKLAND (County), MI 48009

INVENTORY S122898711
N/A

Site 1 of 8 in cluster A

Relative:
Lower

INVENTORY:

Actual:
766 ft.

Name: GREEN'S ART SUPPLY
Address: 400 SOUTH OLD WOODWARD
City,State,Zip: MI 48009
Bea Number: 201406069LV
Township: Birmingham
District: Southeast MI
Data Source: BEA
Latitude: Not reported
Longitude: Not reported

A2
ESE
< 1/8
0.019 mi.
100 ft.

FORMER GASOLINE DISPENSING STATION
400 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

UST U004241575
N/A

Site 2 of 8 in cluster A

Relative:
Lower

UST:

Actual:
766 ft.

Name: FORMER GASOLINE DISPENSING STATION
Address: 400 S OLD WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-6610
Facility Type: CLOSED
Facility ID: 00042635
Facility Region: 1
Owner Name: 400 S OLD WOODWARD LLC
Owner Address: 640 N OLD WOODWARD SUITE 100
Owner City: BIRMINGHAM
Owner State: MI
Owner Zip: 48009
Owner Contact: Not reported
Owner Phone: 2483209995
Contact: Joseph Jonna
Contact Phone: (248) 320-9995
Date of Collection: Not reported
Accuracy: Not reported
Horizontal Datum: Not reported
Accuracy Value Unit: Not reported
Source: Not reported
Point Line Area: Not reported
Desc Category: Not reported
Method of Collection: Not reported
District: Region 1 - SE Michigan District Office
Tank ID: 2
Capacity: 2000
Tank Status: Removed from Ground
Substance: Diesel
Install Date: 01/01/1930
Remove Date: 10/16/2015
Tank Number: UTK-140531-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Other
Piping Material: Not reported
Piping Type: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FORMER GASOLINE DISPENSING STATION (Continued)

U004241575

Tank Construction: Asphalt Coated or Bare Steel,Other
Impressed Device: Not reported
Latitude: Not reported
Longitude: Not reported

Name: FORMER GASOLINE DISPENSING STATION
Address: 400 S OLD WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-6610
Facility Type: CLOSED
Facility ID: 00042635
Facility Region: 1
Owner Name: 400 S OLD WOODWARD LLC
Owner Address: 640 N OLD WOODWARD SUITE 100
Owner City: BIRMINGHAM
Owner State: MI
Owner Zip: 48009
Owner Contact: Not reported
Owner Phone: 2483209995
Contact: Joseph Jonna
Contact Phone: (248) 320-9995
Date of Collection: Not reported
Accuracy: Not reported
Horizontal Datum: Not reported
Accuracy Value Unit: Not reported
Source: Not reported
Point Line Area: Not reported
Desc Category: Not reported
Method of Collection: Not reported
District: Region 1 - SE Michigan District Office
Tank ID: 1
Capacity: 2000
Tank Status: Removed from Ground
Substance: Diesel
Install Date: 01/01/1930
Remove Date: 10/16/2015
Tank Number: UTK-140530-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Other
Piping Material: Not reported
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel,Other
Impressed Device: Not reported
Latitude: Not reported
Longitude: Not reported

A3
ESE
< 1/8
0.019 mi.
100 ft.

GREEN'S ART SUPPLY
400 SOUTH OLD WOODWARD AVENUE
BIRMINGHAM, MI 48009
Site 3 of 8 in cluster A

US BROWNFIELDS 1016603767
N/A

Relative:
Lower

US BROWNFIELDS:

Actual:
766 ft.

Name: GREEN'S ART SUPPLY
Address: 400 SOUTH OLD WOODWARD AVENUE
City,State,Zip: BIRMINGHAM, MI 48009
Recipient Name: Oakland County Michigan
Grant Type: Assessment

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

GREEN'S ART SUPPLY (Continued)

1016603767

Property Number:	19-36-205-042
Parcel size:	0.58
Latitude:	42.543816
Longitude:	-83.21211
HCM Label:	Address Matching-House Number
Map Scale:	-
Point of Reference:	Entrance Point of a Facility or Station
Highlights:	Planned mixed use development consisting of commercial retail, office, and residential condominiums
Datum:	North American Datum of 1983
Acres Property ID:	170095
IC Data Access:	-
Start Date:	-
Redev Completion Date:	-
Completed Date:	-
Acres Cleaned Up:	-
Cleanup Funding:	-
Cleanup Funding Source:	-
Assessment Funding:	1200
Assessment Funding Source:	EPA
Redevelopment Funding:	-
Redev. Funding Source:	-
Redev. Funding Entity Name:	-
Redevelopment Start Date:	-
Assessment Funding Entity:	US EPA - Brownfields Assessment Cooperative Agreement
Cleanup Funding Entity:	-
Grant Type:	Petroleum
Accomplishment Type:	Phase I Environmental Assessment
Accomplishment Count:	Y
Cooperative Agreement Number:	00E01208
Start Date:	12/20/2013
Ownership Entity:	-
Completion Date:	2/7/2014
Current Owner:	-
Did Owner Change:	-
Cleanup Required:	N
Video Available:	N
Photo Available:	Y
Institutional Controls Required:	N
IC Category Proprietary Controls:	-
IC Cat. Info. Devices:	-
IC Cat. Gov. Controls:	-
IC Cat. Enforcement Permit Tools:	-
IC in place date:	-
IC in place:	N
State/tribal program date:	-
State/tribal program ID:	-
State/tribal NFA date:	-
Air cleaned:	-
Asbestos found:	-
Asbestos cleaned:	-
Controlled substance found:	-
Controlled substance cleaned:	-
Drinking water affected:	-
Drinking water cleaned:	-
Groundwater affected:	-
Groundwater cleaned:	-

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

GREEN'S ART SUPPLY (Continued)

1016603767

Lead contaminant found:	Y
Lead cleaned up:	-
No media affected:	-
Unknown media affected:	-
Other cleaned up:	-
Other metals found:	-
Other metals cleaned:	-
Other contaminants found:	-
Other contams found description:	-
PAHs found:	-
PAHs cleaned up:	-
PCBs found:	-
PCBs cleaned up:	-
Petro products found:	-
Petro products cleaned:	-
Sediments found:	-
Sediments cleaned:	-
Soil affected:	Y
Soil cleaned up:	-
Surface water cleaned:	-
VOCs found:	Y
VOCs cleaned:	-
Cleanup other description:	-
Num. of cleanup and re-dev. jobs:	-
Past use greenspace acreage:	-
Past use residential acreage:	-
Surface Water:	-
Past use commercial acreage:	0.58
Past use industrial acreage:	-
Future use greenspace acreage:	-
Future use residential acreage:	-
Future use commercial acreage:	-
Future use industrial acreage:	-
Superfund Fed. landowner flag:	-
Arsenic cleaned up:	-
Cadmium cleaned up:	-
Chromium cleaned up:	-
Copper cleaned up:	-
Iron cleaned up:	-
mercury cleaned up:	-
Nickel Cleaned Up:	-
No clean up:	-
Pesticides cleaned up:	-
Selenium cleaned up:	-
SVOCs cleaned up:	-
Unknown clean up:	-
Arsenic contaminant found:	-
Cadmium contaminant found:	-
Chromium contaminant found:	-
Copper contaminant found:	-
Iron contaminant found:	-
Mercury contaminant found:	-
Nickel contaminant found:	-
No contaminant found:	-
Pesticides contaminant found:	-
Selenium contaminant found:	-
SVOCs contaminant found:	-

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

GREEN'S ART SUPPLY (Continued)

1016603767

Unknown contaminant found: -
 Future Use: Multistory 0
 Media affected Bluiding Material: -
 Media affected indoor air: -
 Building material media cleaned up: -
 Indoor air media cleaned up: -
 Unknown media cleaned up: -
 Past Use: Multistory -
 Property Description:

Original development of the subject property occurred prior to 1921 with four residential dwellings. The former northern dwelling was converted into a vulcanizing operation between 1921 and 1926, which operated at the property until the structure was demolished in 1930. The eastern dwelling was redeveloped as a plumbing supply company between 1921 and 1926, which operated (and included several additions) until the early 1950s when the building was demolished. The central dwelling was demolished in 1930, and the northern and central portions of the subject property were redeveloped with a gasoline filling station and automotive service garage in late 1930. The former western dwelling was demolished between 1931 and 1940, and the area was converted into a parking lot. The northern and central portions of the property were occupied by Sternal s Auto Supply/Service until 1957 and Standard Oil Company in at least 1945. The southern warehouse portion of the current building was constructed between 1949 and 1952, and was historically utilized as offices for an Edsel automotive dealership until approximately 1957. The building was redeveloped for retail use in 1958 and the northern portion of the building was expanded between 1963 and 1967 to include the current layout. The property has been occupied by Green s Art Supply since 1958.

Below Poverty Number: 103
 Below Poverty Percent: 2.74
 Meidan Income: 7180
 Meidan Income Number: 282
 Meidan Income Percent: 7.5
 Vacant Housing Number: 191
 Vacant Housing Percent: 9.26
 Unemployed Number: 90
 Unemployed Percent: 2.39

Name: GREEN'S ART SUPPLY
 Address: 400 SOUTH OLD WOODWARD AVENUE
 City,State,Zip: BIRMINGHAM, MI 48009
 Recipient Name: Oakland County Michigan
 Grant Type: Assessment
 Property Number: 19-36-205-042
 Parcel size: 0.58
 Latitude: 42.543816
 Longitude: -83.21211
 HCM Label: Address Matching-House Number
 Map Scale: -
 Point of Reference: Entrance Point of a Facility or Station
 Highlights: Planned mixed use development consisting of commercial retail, office, and residential condominiums
 Datum: North American Datum of 1983
 Acres Property ID: 170095
 IC Data Access: -
 Start Date: -
 Redev Completion Date: -

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

GREEN'S ART SUPPLY (Continued)

1016603767

Completed Date: -
Acres Cleaned Up: -
Cleanup Funding: -
Cleanup Funding Source: -
Assessment Funding: 9900
Assessment Funding Source: EPA
Redevelopment Funding: -
Redev. Funding Source: -
Redev. Funding Entity Name: -
Redevelopment Start Date: -
Assessment Funding Entity: US EPA - Brownfields Assessment Cooperative Agreement
Cleanup Funding Entity: -
Grant Type: Petroleum
Accomplishment Type: Phase II Environmental Assessment
Accomplishment Count: N
Cooperative Agreement Number: 00E01208
Start Date: 12/20/2013
Ownership Entity: -
Completion Date: 2/7/2014
Current Owner: -
Did Owner Change: -
Cleanup Required: N
Video Available: N
Photo Available: Y
Institutional Controls Required: N
IC Category Proprietary Controls: -
IC Cat. Info. Devices: -
IC Cat. Gov. Controls: -
IC Cat. Enforcement Permit Tools: -
IC in place date: -
IC in place: N
State/tribal program date: -
State/tribal program ID: -
State/tribal NFA date: -
Air cleaned: -
Asbestos found: -
Asbestos cleaned: -
Controlled substance found: -
Controlled substance cleaned: -
Drinking water affected: -
Drinking water cleaned: -
Groundwater affected: -
Groundwater cleaned: -
Lead contaminant found: Y
Lead cleaned up: -
No media affected: -
Unknown media affected: -
Other cleaned up: -
Other metals found: -
Other metals cleaned: -
Other contaminants found: -
Other contams found description: -
PAHs found: -
PAHs cleaned up: -
PCBs found: -
PCBs cleaned up: -
Petro products found: -

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

GREEN'S ART SUPPLY (Continued)

1016603767

Petro products cleaned:	-
Sediments found:	-
Sediments cleaned:	-
Soil affected:	Y
Soil cleaned up:	-
Surface water cleaned:	-
VOCs found:	Y
VOCs cleaned:	-
Cleanup other description:	-
Num. of cleanup and re-dev. jobs:	-
Past use greenspace acreage:	-
Past use residential acreage:	-
Surface Water:	-
Past use commercial acreage:	0.58
Past use industrial acreage:	-
Future use greenspace acreage:	-
Future use residential acreage:	-
Future use commercial acreage:	-
Future use industrial acreage:	-
Superfund Fed. landowner flag:	-
Arsenic cleaned up:	-
Cadmium cleaned up:	-
Chromium cleaned up:	-
Copper cleaned up:	-
Iron cleaned up:	-
mercury cleaned up:	-
Nickel Cleaned Up:	-
No clean up:	-
Pesticides cleaned up:	-
Selenium cleaned up:	-
SVOCs cleaned up:	-
Unknown clean up:	-
Arsenic contaminant found:	-
Cadmium contaminant found:	-
Chromium contaminant found:	-
Copper contaminant found:	-
Iron contaminant found:	-
Mercury contaminant found:	-
Nickel contaminant found:	-
No contaminant found:	-
Pesticides contaminant found:	-
Selenium contaminant found:	-
SVOCs contaminant found:	-
Unknown contaminant found:	-
Future Use: Multistory	0
Media affected Bluiding Material:	-
Media affected indoor air:	-
Building material media cleaned up:	-
Indoor air media cleaned up:	-
Unknown media cleaned up:	-
Past Use: Multistory	-
Property Description:	

Original development of the subject property occurred prior to 1921 with four residential dwellings. The former northern dwelling was converted into a vulcanizing operation between 1921 and 1926, which operated at the property until the structure was demolished in 1930. The eastern dwelling was redeveloped as a plumbing supply company between 1921 and 1926, which operated (and included several additions)

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

GREEN'S ART SUPPLY (Continued)

1016603767

until the early 1950s when the building was demolished. The central dwelling was demolished in 1930, and the northern and central portions of the subject property were redeveloped with a gasoline filling station and automotive service garage in late 1930. The former western dwelling was demolished between 1931 and 1940, and the area was converted into a parking lot. The northern and central portions of the property were occupied by Sternal s Auto Supply/Service until 1957 and Standard Oil Company in at least 1945. The southern warehouse portion of the current building was constructed between 1949 and 1952, and was historically utilized as offices for an Edsel automotive dealership until approximately 1957. The building was redeveloped for retail use in 1958 and the northern portion of the building was expanded between 1963 and 1967 to include the current layout. The property has been occupied by Green s Art Supply since 1958.

Below Poverty Number:	103
Below Poverty Percent:	2.74
Meidan Income:	7180
Meidan Income Number:	282
Meidan Income Percent:	7.5
Vacant Housing Number:	191
Vacant Housing Percent:	9.26
Unemployed Number:	90
Unemployed Percent:	2.39

A4
ESE
 < 1/8
 0.037 mi.
 195 ft.

WOODWARD DETROIT CVS LLC
444 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

RCRA-VSQG 1014954689
MIK166505639

Site 4 of 8 in cluster A

Relative:
Lower
Actual:
766 ft.

RCRA-VSQG:	
Date Form Received by Agency:	2016-05-06 00:00:00.0
Handler Name:	WOODWARD DETROIT CVS LLC
Handler Address:	444 S OLD WOODWARD AVE
Handler City,State,Zip:	BIRMINGHAM, MI 48009
EPA ID:	MIK166505639
Contact Name:	NICOLE WILKINSON
Contact Address:	Not reported
Contact City,State,Zip:	Not reported
Contact Telephone:	401-770-7132
Contact Fax:	Not reported
Contact Email:	NICOLE.WILKINSON@CVSHEALTH.COM
Contact Title:	Not reported
EPA Region:	05
Land Type:	Private
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
Non-Notifier:	Not reported
Biennial Report Cycle:	Not reported
Accessibility:	Not reported
Active Site Indicator:	Handler Activities
State District Owner:	Not reported
State District:	Not reported
Mailing Address:	ONE CVS DR
Mailing City,State,Zip:	WOONSOCKET, RI 02895
Owner Name:	WOODWARD DETROIT CVS LLC
Owner Type:	Private
Operator Name:	WOODWARD DETROIT CVS LLC
Operator Type:	Private

Map ID
 Direction
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 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

WOODWARD DETROIT CVS LLC (Continued)

1014954689

Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2016-12-05 14:10:26.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Map ID
Direction
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MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WOODWARD DETROIT CVS LLC (Continued)

1014954689

Biennial: List of Years

Year: 2013

[Click Here for Biennial Reporting System Data:](#)

Hazardous Waste Summary:

Waste Code:	D001
Waste Description:	IGNITABLE WASTE
Waste Code:	D002
Waste Description:	CORROSIVE WASTE
Waste Code:	D007
Waste Description:	CHROMIUM
Waste Code:	D009
Waste Description:	MERCURY
Waste Code:	D010
Waste Description:	SELENIUM
Waste Code:	D011
Waste Description:	SILVER
Waste Code:	D024
Waste Description:	M-CRESOL
Waste Code:	P001
Waste Description:	2H-1-BENZOPYRAN-2-ONE, 4-HYDROXY-3-(3-OXO-1-PHENYLBUTYL)-, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3% (OR) WARFARIN, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3%
Waste Code:	P075
Waste Description:	NICOTINE, & SALTS (OR) PYRIDINE, 3-(1-METHYL-2-PYRROLIDINYL)-,(S)-, & SALTS
Waste Code:	P081
Waste Description:	1,2,3-PROPANETRIOL, TRINITRATE (R) (OR) NITROGLYCERINE (R)
Waste Code:	P188
Waste Description:	BENZOIC ACID, 2-HYDROXY-, COMPD. WITH (3AS-CIS)-1,2,3,3A,8,8A-HEXAHYDRO-1,3A,8-TRIMETHYLPYRROLO[2,3-B]INDOL-5-YL METHYLCARBAMATE ESTER (1:1) (OR) PHYSOSTIGMINE SALICYLATE
Waste Code:	U122
Waste Description:	FORMALDEHYDE
Waste Code:	U165
Waste Description:	NAPHTHALENE
Waste Code:	U188
Waste Description:	PHENOL

Handler - Owner Operator:

Owner/Operator Indicator:

Owner/Operator Name:

Operator

WOODWARD DETROIT CVS LLC

Map ID
Direction
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WOODWARD DETROIT CVS LLC (Continued)

1014954689

Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1993-04-29 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Map ID
Direction
Distance
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MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WOODWARD DETROIT CVS LLC (Continued)

1014954689

Owner/Operator Indicator: Owner
Owner/Operator Name: WOODWARD DETROIT CVS LLC
Legal Status: Private
Date Became Current: 1993-04-29 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator
Owner/Operator Name: WOODWARD DETROIT CVS LLC
Legal Status: Private
Date Became Current: 1993-04-29 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
Owner/Operator Name: WOODWARD DETROIT CVS LLC
Legal Status: Private
Date Became Current: 1998-03-31 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
Owner/Operator Name: WOODWARD DETROIT CVS LLC
Legal Status: Private
Date Became Current: 1998-03-31 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
Owner/Operator Name: WOODWARD DETROIT CVS LLC
Legal Status: Private
Date Became Current: 1998-03-31 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported

Map ID
Direction
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WOODWARD DETROIT CVS LLC (Continued)

1014954689

Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	GALYN ASSOCIATES LTD PARTNERSHIP (PROPER
Legal Status:	Private
Date Became Current:	1993-04-29 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	GALYN ASSOCIATES LTD PARTNERSHIP (PROPER
Legal Status:	Private
Date Became Current:	1993-04-29 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WOODWARD DETROIT CVS LLC (Continued)

1014954689

Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	GALYN ASSOCIATES LP
Legal Status:	Private
Date Became Current:	1993-04-29 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	1435 N GLENGARRY RD
Owner/Operator City,State,Zip:	BLOOMFIELD VILLAGE, MI 48301
Owner/Operator Telephone:	248-642-8289
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1993-04-29 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WOODWARD DETROIT CVS LLC (Continued)

1014954689

Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Historic Generators:

Receive Date:	2014-02-28 00:00:00.0
Handler Name:	CVS PHARMACY #8136
Federal Waste Generator Description:	Large Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2012-05-21 00:00:00.0
Handler Name:	WOODWARD DETROIT CVS LLC
Federal Waste Generator Description:	Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WOODWARD DETROIT CVS LLC (Continued)

1014954689

Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2013-07-29 00:00:00.0
Handler Name:	WOODWARD DETROIT CVS LLC
Federal Waste Generator Description:	Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2014-05-16 00:00:00.0
Handler Name:	WOODWARD DETROIT CVS LLC
Federal Waste Generator Description:	Large Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2014-10-22 00:00:00.0
Handler Name:	WOODWARD DETROIT CVS LLC
Federal Waste Generator Description:	Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2015-01-21 00:00:00.0
Handler Name:	WOODWARD DETROIT CVS LLC
Federal Waste Generator Description:	Large Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2015-04-24 00:00:00.0
Handler Name:	WOODWARD DETROIT CVS LLC

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WOODWARD DETROIT CVS LLC (Continued)

1014954689

Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: No
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

Receive Date: 2015-06-22 00:00:00.0
Handler Name: WOODWARD DETROIT CVS LLC
Federal Waste Generator Description: Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: No
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

Receive Date: 2015-10-26 00:00:00.0
Handler Name: WOODWARD DETROIT CVS LLC
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: No
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

Receive Date: 2016-05-06 00:00:00.0
Handler Name: WOODWARD DETROIT CVS LLC
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 44611
NAICS Description: PHARMACIES AND DRUG STORES

NAICS Code: 812922
NAICS Description: ONE-HOUR PHOTOFINISHING

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

WOODWARD DETROIT CVS LLC (Continued)

1014954689

Facility Has Received Notices of Violations:
 Violations: No Violations Found

Evaluation Action Summary:
 Evaluations: No Evaluations Found

5
WSW
 < 1/8
 0.037 mi.
 197 ft.

BROWN STREET OFFICE BUILDING
200 EAST BROWN
BIRMINGHAM, MI

BEA S109094147
N/A

Relative:
Higher
Actual:
769 ft.

BEA:
 Secondary Address: Not reported
 BEA Number: 3891
 District: Southeast MI
 Date Received: 05/02/2008
 Submitter Name: SMS & Associates, LLC
 Petition Determination: Affirmed
 Petition Disclosure: 1
 Category: No Hazardous Substance(s)
 Determination 20107A: No Request
 Reviewer: tiernang
 Division Assigned: RRD

A6
ESE
 < 1/8
 0.040 mi.
 211 ft.

MITCHELL GEORGE E CLEANERS
458 S WOODWARD AVE
BIRMINGHAM, MI 48009
Site 5 of 8 in cluster A

EDR Hist Cleaner 1019994874
N/A

Relative:
Lower
Actual:
766 ft.

EDR Hist Cleaner

Year:	Name:	Type:
1995	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
1996	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
2011	GEORGE E MITCHELL CLEANERS	Drycleaning Plants, Except Rugs, NEC
2012	GEORGE E MITCHELL CLEANERS	Drycleaning Plants, Except Rugs, NEC
2013	GEORGE E MITCHELL CLEANERS	Drycleaning Plants, Except Rugs, NEC
2014	GEORGE E MITCHELL CLEANERS	Drycleaning Plants, Except Rugs, NEC

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

A7 **MITCHELL GEORGE E CLEANERS**
ESE **458 S OLD WOODWARD AVE**
< 1/8 **BIRMINGHAM, MI 48009**
0.042 mi.
221 ft. **Site 6 of 8 in cluster A**

EDR Hist Cleaner **1018699216**
N/A

Relative: EDR Hist Cleaner
Lower

Actual: 766 ft.	Year:	Name:	Type:
	1997	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
	1998	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
	1999	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
	2000	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
	2001	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
	2002	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
	2003	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
	2004	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
	2005	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
	2006	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
	2007	GEORGE E MITCHELL CLEANERS	Drycleaning Plants, Except Rugs, NEC
	2008	GEORGE E MITCHELL CLEANERS	Drycleaning Plants, Except Rugs, NEC
	2009	GEORGE E MITCHELL CLEANERS	Drycleaning Plants, Except Rugs, NEC
	2010	GEORGE E MITCHELL CLEANERS	Drycleaning Plants, Except Rugs, NEC

A8 **ESTATE MOTORS**
ESE **464 S WOODWARD AVE**
< 1/8 **BIRMINGHAM, MI 48011**
0.044 mi.
230 ft. **Site 7 of 8 in cluster A**

LUST **U004181541**
UST **N/A**

Relative: LUST:
Lower

Actual: Name: ESTATE MOTORS
765 ft. Address: 464 S WOODWARD AVE
 City,State,Zip: BIRMINGHAM, MI 99999
 Facility ID: 00015180
 Source: STATE OF MICHIGAN
 Owner Name: OWNER ADDRESS UNKNOWN
 Owner Address: Not Recorded
 Owner City,St,Zip: Not Recorded, XX 99999
 Owner Contact: Not reported
 Owner Phone: Not reported
 Country: USA
 District: Warren
 Site Name: Estate Motors
 Latitude: 42.54384
 Longitude: -83.21181
 Date of Collection: 01/11/2001
 Method of Collection: Address Matching-House Number
 Accuracy: 100
 Accuracy Value Unit: FEET
 Horizontal Data: NAD83
 Point Line Area: POINT
 Desc Category: Plant Entrance (Freight)

Leak Number: C-1669-91
 Release Date: 08/09/1991
 Substance Released: Unknown
 Release Status: Closed
 Release Closed Date: 01/06/1993

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESTATE MOTORS (Continued)

U004181541

Leak Number: C-2071-92
Release Date: 11/20/1992
Substance Released: Gasoline
Release Status: Closed
Release Closed Date: 06/30/1994

UST:

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Facility Type: CLOSED
Facility ID: 00015180
Facility Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: NOT RECORDED
Owner City: NOT RECORDED
Owner State: XX
Owner Zip: 99999
Owner Contact: Not reported
Owner Phone: Not reported
Contact: Not reported
Contact Phone: Not reported
Date of Collection: Not reported
Accuracy: Not reported
Horizontal Datum: Not reported
Accuracy Value Unit: Not reported
Source: Not reported
Point Line Area: Not reported
Desc Category: Not reported
Method of Collection: Not reported
District: Not reported
Tank ID: 9
Capacity: 6000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: 05/01/1986
Remove Date: 09/13/1991
Tank Number: UTK-022981-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel
Impressed Device: Not reported
Latitude: Not reported
Longitude: Not reported

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Facility Type: CLOSED
Facility ID: 00015180
Facility Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: NOT RECORDED
Owner City: NOT RECORDED
Owner State: XX

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESTATE MOTORS (Continued)

U004181541

Owner Zip: 99999
Owner Contact: Not reported
Owner Phone: Not reported
Contact: Not reported
Contact Phone: Not reported
Date of Collection: Not reported
Accuracy: Not reported
Horizontal Datum: Not reported
Accuracy Value Unit: Not reported
Source: Not reported
Point Line Area: Not reported
Desc Category: Not reported
Method of Collection: Not reported
District: Not reported
Tank ID: 5
Capacity: 3000
Tank Status: Removed from Ground
Substance: Used Oil
Install Date: 04/05/1971
Remove Date: 09/13/1991
Tank Number: UTK-013217-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel
Impressed Device: Not reported
Latitude: Not reported
Longitude: Not reported

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Facility Type: CLOSED
Facility ID: 00015180
Facility Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: NOT RECORDED
Owner City: NOT RECORDED
Owner State: XX
Owner Zip: 99999
Owner Contact: Not reported
Owner Phone: Not reported
Contact: Not reported
Contact Phone: Not reported
Date of Collection: Not reported
Accuracy: Not reported
Horizontal Datum: Not reported
Accuracy Value Unit: Not reported
Source: Not reported
Point Line Area: Not reported
Desc Category: Not reported
Method of Collection: Not reported
District: Not reported
Tank ID: 4
Capacity: 10000

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESTATE MOTORS (Continued)

U004181541

Tank Status:	Removed from Ground
Substance:	Diesel
Install Date:	04/05/1975
Remove Date:	09/13/1991
Tank Number:	UTK-030692-15
Tank Details Compartments:	Not reported
Tank Release Detection:	Not reported
Pipe Release Detection:	Not reported
Piping Material:	Galvanized Steel
Piping Type:	Not reported
Tank Construction:	Asphalt Coated or Bare Steel
Impressed Device:	Not reported
Latitude:	Not reported
Longitude:	Not reported
Name:	ESTATE MOTORS
Address:	464 S WOODWARD AVE
City,State,Zip:	BIRMINGHAM, MI 48011
Facility Type:	CLOSED
Facility ID:	00015180
Facility Region:	Not reported
Owner Name:	OWNER ADDRESS UNKNOWN
Owner Address:	NOT RECORDED
Owner City:	NOT RECORDED
Owner State:	XX
Owner Zip:	99999
Owner Contact:	Not reported
Owner Phone:	Not reported
Contact:	Not reported
Contact Phone:	Not reported
Date of Collection:	Not reported
Accuracy:	Not reported
Horizontal Datum:	Not reported
Accuracy Value Unit:	Not reported
Source:	Not reported
Point Line Area:	Not reported
Desc Category:	Not reported
Method of Collection:	Not reported
District:	Not reported
Tank ID:	3
Capacity:	2000
Tank Status:	Removed from Ground
Substance:	Used Oil
Install Date:	04/04/1974
Remove Date:	05/01/1986
Tank Number:	UTK-076416-15
Tank Details Compartments:	Not reported
Tank Release Detection:	Not reported
Pipe Release Detection:	Not reported
Piping Material:	Galvanized Steel
Piping Type:	Not reported
Tank Construction:	Asphalt Coated or Bare Steel
Impressed Device:	Not reported
Latitude:	Not reported
Longitude:	Not reported
Name:	ESTATE MOTORS

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESTATE MOTORS (Continued)

U004181541

Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Facility Type: CLOSED
Facility ID: 00015180
Facility Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: NOT RECORDED
Owner City: NOT RECORDED
Owner State: XX
Owner Zip: 99999
Owner Contact: Not reported
Owner Phone: Not reported
Contact: Not reported
Contact Phone: Not reported
Date of Collection: Not reported
Accuracy: Not reported
Horizontal Datum: Not reported
Accuracy Value Unit: Not reported
Source: Not reported
Point Line Area: Not reported
Desc Category: Not reported
Method of Collection: Not reported
District: Not reported
Tank ID: 2
Capacity: 2000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: 04/04/1974
Remove Date: 05/01/1986
Tank Number: UTK-076411-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel
Impressed Device: Not reported
Latitude: Not reported
Longitude: Not reported

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Facility Type: CLOSED
Facility ID: 00015180
Facility Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: NOT RECORDED
Owner City: NOT RECORDED
Owner State: XX
Owner Zip: 99999
Owner Contact: Not reported
Owner Phone: Not reported
Contact: Not reported
Contact Phone: Not reported
Date of Collection: Not reported
Accuracy: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESTATE MOTORS (Continued)

U004181541

Horizontal Datum: Not reported
Accuracy Value Unit: Not reported
Source: Not reported
Point Line Area: Not reported
Desc Category: Not reported
Method of Collection: Not reported
District: Not reported
Tank ID: 13
Capacity: 1000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: Not reported
Remove Date: 01/01/1992
Tank Number: UTK-086615-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Other
Piping Material: Bare Steel
Piping Type: Suction: No Valve at Tank
Tank Construction: Asphalt Coated or Bare Steel,Other
Impressed Device: Not reported
Latitude: Not reported
Longitude: Not reported

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Facility Type: CLOSED
Facility ID: 00015180
Facility Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: NOT RECORDED
Owner City: NOT RECORDED
Owner State: XX
Owner Zip: 99999
Owner Contact: Not reported
Owner Phone: Not reported
Contact: Not reported
Contact Phone: Not reported
Date of Collection: Not reported
Accuracy: Not reported
Horizontal Datum: Not reported
Accuracy Value Unit: Not reported
Source: Not reported
Point Line Area: Not reported
Desc Category: Not reported
Method of Collection: Not reported
District: Not reported
Tank ID: 12
Capacity: 1000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: Not reported
Remove Date: 01/01/1992
Tank Number: UTK-011057-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESTATE MOTORS (Continued)

U004181541

Pipe Release Detection: Other
Piping Material: Bare Steel
Piping Type: Suction: No Valve at Tank
Tank Construction: Asphalt Coated or Bare Steel,Other
Impressed Device: Not reported
Latitude: Not reported
Longitude: Not reported

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Facility Type: CLOSED
Facility ID: 00015180
Facility Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: NOT RECORDED
Owner City: NOT RECORDED
Owner State: XX
Owner Zip: 99999
Owner Contact: Not reported
Owner Phone: Not reported
Contact: Not reported
Contact Phone: Not reported
Date of Collection: Not reported
Accuracy: Not reported
Horizontal Datum: Not reported
Accuracy Value Unit: Not reported
Source: Not reported
Point Line Area: Not reported
Desc Category: Not reported
Method of Collection: Not reported
District: Not reported
Tank ID: 11
Capacity: 1000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: Not reported
Remove Date: 01/01/1992
Tank Number: UTK-086611-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Other
Piping Material: Bare Steel
Piping Type: Suction: No Valve at Tank
Tank Construction: Asphalt Coated or Bare Steel,Other
Impressed Device: Not reported
Latitude: Not reported
Longitude: Not reported

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Facility Type: CLOSED
Facility ID: 00015180
Facility Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: NOT RECORDED

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESTATE MOTORS (Continued)

U004181541

Owner City: NOT RECORDED
Owner State: XX
Owner Zip: 99999
Owner Contact: Not reported
Owner Phone: Not reported
Contact: Not reported
Contact Phone: Not reported
Date of Collection: Not reported
Accuracy: Not reported
Horizontal Datum: Not reported
Accuracy Value Unit: Not reported
Source: Not reported
Point Line Area: Not reported
Desc Category: Not reported
Method of Collection: Not reported
District: Not reported
Tank ID: 10
Capacity: 1000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: Not reported
Remove Date: 01/01/1992
Tank Number: UTK-086608-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Other
Piping Material: Bare Steel
Piping Type: Suction: No Valve at Tank
Tank Construction: Asphalt Coated or Bare Steel,Other
Impressed Device: Not reported
Latitude: Not reported
Longitude: Not reported

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Facility Type: CLOSED
Facility ID: 00015180
Facility Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: NOT RECORDED
Owner City: NOT RECORDED
Owner State: XX
Owner Zip: 99999
Owner Contact: Not reported
Owner Phone: Not reported
Contact: Not reported
Contact Phone: Not reported
Date of Collection: Not reported
Accuracy: Not reported
Horizontal Datum: Not reported
Accuracy Value Unit: Not reported
Source: Not reported
Point Line Area: Not reported
Desc Category: Not reported
Method of Collection: Not reported
District: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESTATE MOTORS (Continued)

U004181541

Tank ID: 1
Capacity: 2000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: 04/04/1974
Remove Date: 05/01/1986
Tank Number: UTK-076407-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel
Impressed Device: Not reported
Latitude: Not reported
Longitude: Not reported

[Click this hyperlink](#) while viewing on your computer to access additional MI_UST: detail in the EDR Site Report.

UST 2:

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: Not reported
Owner Address: Not reported
Owner City: Not reported
Owner State: Not reported
Owner Zip: Not reported
Owner Phone: Not reported
Record ID: UTK-086611-15
Facility Status: Inactive
Tank ID: 11
Tank Status: Removed from Ground
Tank Capacity: 1000
Tank Content: Gasoline
Install Date: Not reported
Removal Date: 01/01/1992
Tank Release Detect: Not reported
Pipe Release Detect: Other
Tank Piping Material: Bare Steel
Tank Constr. Material: Asphalt Coated or Bare Steel,Other

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: Not reported
Owner Address: Not reported
Owner City: Not reported
Owner State: Not reported
Owner Zip: Not reported
Owner Phone: Not reported
Record ID: UTK-086615-15
Facility Status: Inactive
Tank ID: 13

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESTATE MOTORS (Continued)

U004181541

Tank Status: Removed from Ground
Tank Capacity: 1000
Tank Content: Gasoline
Install Date: Not reported
Removal Date: 01/01/1992
Tank Release Detect: Not reported
Pipe Release Detect: Other
Tank Piping Material: Bare Steel
Tank Constr. Material: Asphalt Coated or Bare Steel,Other

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: Not reported
Owner Address: Not reported
Owner City: Not reported
Owner State: Not reported
Owner Zip: Not reported
Owner Phone: Not reported
Record ID: UTK-022981-15
Facility Status: Inactive
Tank ID: 9
Tank Status: Removed from Ground
Tank Capacity: 6000
Tank Content: Gasoline
Install Date: 05/01/1986
Removal Date: 09/13/1991
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Galvanized Steel
Tank Constr. Material: Asphalt Coated or Bare Steel

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: Not reported
Owner Address: Not reported
Owner City: Not reported
Owner State: Not reported
Owner Zip: Not reported
Owner Phone: Not reported
Record ID: UTK-076416-15
Facility Status: Inactive
Tank ID: 3
Tank Status: Removed from Ground
Tank Capacity: 2000
Tank Content: Used Oil
Install Date: 04/04/1974
Removal Date: 05/01/1986
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Galvanized Steel
Tank Constr. Material: Asphalt Coated or Bare Steel

Name: ESTATE MOTORS

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESTATE MOTORS (Continued)

U004181541

Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: Not reported
Owner Address: Not reported
Owner City: Not reported
Owner State: Not reported
Owner Zip: Not reported
Owner Phone: Not reported
Record ID: UTK-013217-15
Facility Status: Inactive
Tank ID: 5
Tank Status: Removed from Ground
Tank Capacity: 3000
Tank Content: Used Oil
Install Date: 04/05/1971
Removal Date: 09/13/1991
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Galvanized Steel
Tank Constr. Material: Asphalt Coated or Bare Steel

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: Not reported
Owner Address: Not reported
Owner City: Not reported
Owner State: Not reported
Owner Zip: Not reported
Owner Phone: Not reported
Record ID: UTK-086608-15
Facility Status: Inactive
Tank ID: 10
Tank Status: Removed from Ground
Tank Capacity: 1000
Tank Content: Gasoline
Install Date: Not reported
Removal Date: 01/01/1992
Tank Release Detect: Not reported
Pipe Release Detect: Other
Tank Piping Material: Bare Steel
Tank Constr. Material: Asphalt Coated or Bare Steel,Other

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: Not reported
Owner Address: Not reported
Owner City: Not reported
Owner State: Not reported
Owner Zip: Not reported
Owner Phone: Not reported
Record ID: UTK-016735-15
Facility Status: Inactive

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESTATE MOTORS (Continued)

U004181541

Tank ID: 7
Tank Status: Currently In Use
Tank Capacity: 55
Tank Content: Other
Install Date: 04/04/1976
Removal Date: Not reported
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Galvanized Steel
Tank Constr. Material: Asphalt Coated or Bare Steel

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: Not reported
Owner Address: Not reported
Owner City: Not reported
Owner State: Not reported
Owner Zip: Not reported
Owner Phone: Not reported
Record ID: UTK-038362-15
Facility Status: Inactive
Tank ID: 6
Tank Status: Currently In Use
Tank Capacity: 55
Tank Content: Other
Install Date: 04/04/1976
Removal Date: Not reported
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Galvanized Steel
Tank Constr. Material: Asphalt Coated or Bare Steel

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: Not reported
Owner Address: Not reported
Owner City: Not reported
Owner State: Not reported
Owner Zip: Not reported
Owner Phone: Not reported
Record ID: UTK-030692-15
Facility Status: Inactive
Tank ID: 4
Tank Status: Removed from Ground
Tank Capacity: 10000
Tank Content: Diesel
Install Date: 04/05/1975
Removal Date: 09/13/1991
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Galvanized Steel
Tank Constr. Material: Asphalt Coated or Bare Steel

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESTATE MOTORS (Continued)

U004181541

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: Not reported
Owner Address: Not reported
Owner City: Not reported
Owner State: Not reported
Owner Zip: Not reported
Owner Phone: Not reported
Record ID: UTK-076411-15
Facility Status: Inactive
Tank ID: 2
Tank Status: Removed from Ground
Tank Capacity: 2000
Tank Content: Gasoline
Install Date: 04/04/1974
Removal Date: 05/01/1986
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Galvanized Steel
Tank Constr. Material: Asphalt Coated or Bare Steel

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: Not reported
Owner Address: Not reported
Owner City: Not reported
Owner State: Not reported
Owner Zip: Not reported
Owner Phone: Not reported
Record ID: UTK-076432-15
Facility Status: Inactive
Tank ID: 8
Tank Status: Removed from Ground
Tank Capacity: 55
Tank Content: Other
Install Date: 04/04/1976
Removal Date: 08/02/1990
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Galvanized Steel
Tank Constr. Material: Asphalt Coated or Bare Steel

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: Not reported
Owner Address: Not reported
Owner City: Not reported
Owner State: Not reported
Owner Zip: Not reported
Owner Phone: Not reported
Record ID: UTK-011057-15

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESTATE MOTORS (Continued)

U004181541

Facility Status: Inactive
Tank ID: 12
Tank Status: Removed from Ground
Tank Capacity: 1000
Tank Content: Gasoline
Install Date: Not reported
Removal Date: 01/01/1992
Tank Release Detect: Not reported
Pipe Release Detect: Other
Tank Piping Material: Bare Steel
Tank Constr. Material: Asphalt Coated or Bare Steel,Other

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: Not Recorded
Owner City: Not reported
Owner State: Not reported
Owner Zip: 99999
Owner Phone: Not reported
Record ID: UTK-011057-15
Facility Status: Not reported
Tank ID: Not reported
Tank Status: Removed from Ground
Tank Capacity: Not reported
Tank Content: Not reported
Install Date: 01/01/1900
Removal Date: 01/01/1900
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Not reported
Tank Constr. Material: Not reported

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: Not Recorded
Owner City: Not reported
Owner State: Not reported
Owner Zip: 99999
Owner Phone: Not reported
Record ID: UTK-013217-15
Facility Status: Not reported
Tank ID: Not reported
Tank Status: Removed from Ground
Tank Capacity: Not reported
Tank Content: Not reported
Install Date: 01/01/1900
Removal Date: 01/01/1900
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Not reported
Tank Constr. Material: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESTATE MOTORS (Continued)

U004181541

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: Not Recorded
Owner City: Not reported
Owner State: Not reported
Owner Zip: 99999
Owner Phone: Not reported
Record ID: UTK-016735-15
Facility Status: Not reported
Tank ID: Not reported
Tank Status: Currently In Use
Tank Capacity: Not reported
Tank Content: Not reported
Install Date: 01/01/1900
Removal Date: 01/01/1900
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Not reported
Tank Constr. Material: Not reported

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: Not Recorded
Owner City: Not reported
Owner State: Not reported
Owner Zip: 99999
Owner Phone: Not reported
Record ID: UTK-022981-15
Facility Status: Not reported
Tank ID: Not reported
Tank Status: Removed from Ground
Tank Capacity: Not reported
Tank Content: Not reported
Install Date: 01/01/1900
Removal Date: 01/01/1900
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Not reported
Tank Constr. Material: Not reported

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: Not Recorded
Owner City: Not reported
Owner State: Not reported
Owner Zip: 99999
Owner Phone: Not reported
Record ID: UTK-030692-15

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESTATE MOTORS (Continued)

U004181541

Facility Status: Not reported
Tank ID: Not reported
Tank Status: Removed from Ground
Tank Capacity: Not reported
Tank Content: Not reported
Install Date: 01/01/1900
Removal Date: 01/01/1900
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Not reported
Tank Constr. Material: Not reported

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: Not Recorded
Owner City: Not reported
Owner State: Not reported
Owner Zip: 99999
Owner Phone: Not reported
Record ID: UTK-038362-15
Facility Status: Not reported
Tank ID: Not reported
Tank Status: Currently In Use
Tank Capacity: Not reported
Tank Content: Not reported
Install Date: 01/01/1900
Removal Date: 01/01/1900
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Not reported
Tank Constr. Material: Not reported

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: Not Recorded
Owner City: Not reported
Owner State: Not reported
Owner Zip: 99999
Owner Phone: Not reported
Record ID: UTK-076407-15
Facility Status: Not reported
Tank ID: Not reported
Tank Status: Removed from Ground
Tank Capacity: Not reported
Tank Content: Not reported
Install Date: 01/01/1900
Removal Date: 01/01/1900
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Not reported
Tank Constr. Material: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESTATE MOTORS (Continued)

U004181541

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: Not Recorded
Owner City: Not reported
Owner State: Not reported
Owner Zip: 99999
Owner Phone: Not reported
Record ID: UTK-076411-15
Facility Status: Not reported
Tank ID: Not reported
Tank Status: Removed from Ground
Tank Capacity: Not reported
Tank Content: Not reported
Install Date: 01/01/1900
Removal Date: 01/01/1900
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Not reported
Tank Constr. Material: Not reported

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: Not Recorded
Owner City: Not reported
Owner State: Not reported
Owner Zip: 99999
Owner Phone: Not reported
Record ID: UTK-076416-15
Facility Status: Not reported
Tank ID: Not reported
Tank Status: Removed from Ground
Tank Capacity: Not reported
Tank Content: Not reported
Install Date: 01/01/1900
Removal Date: 01/01/1900
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Not reported
Tank Constr. Material: Not reported

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: Not Recorded
Owner City: Not reported
Owner State: Not reported
Owner Zip: 99999
Owner Phone: Not reported
Record ID: UTK-076432-15

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESTATE MOTORS (Continued)

U004181541

Facility Status: Not reported
Tank ID: Not reported
Tank Status: Removed from Ground
Tank Capacity: Not reported
Tank Content: Not reported
Install Date: 01/01/1900
Removal Date: 01/01/1900
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Not reported
Tank Constr. Material: Not reported

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: Not Recorded
Owner City: Not reported
Owner State: Not reported
Owner Zip: 99999
Owner Phone: Not reported
Record ID: UTK-086608-15
Facility Status: Not reported
Tank ID: Not reported
Tank Status: Removed from Ground
Tank Capacity: Not reported
Tank Content: Not reported
Install Date: 01/01/1900
Removal Date: 01/01/1900
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Not reported
Tank Constr. Material: Not reported

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: Not Recorded
Owner City: Not reported
Owner State: Not reported
Owner Zip: 99999
Owner Phone: Not reported
Record ID: UTK-086611-15
Facility Status: Not reported
Tank ID: Not reported
Tank Status: Removed from Ground
Tank Capacity: Not reported
Tank Content: Not reported
Install Date: 01/01/1900
Removal Date: 01/01/1900
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Not reported
Tank Constr. Material: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESTATE MOTORS (Continued)

U004181541

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: Not Recorded
Owner City: Not reported
Owner State: Not reported
Owner Zip: 99999
Owner Phone: Not reported
Record ID: UTK-086615-15
Facility Status: Not reported
Tank ID: Not reported
Tank Status: Removed from Ground
Tank Capacity: Not reported
Tank Content: Not reported
Install Date: 01/01/1900
Removal Date: 01/01/1900
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Not reported
Tank Constr. Material: Not reported

Name: ESTATE MOTORS
Address: 464 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48011
Region: Not reported
Owner Name: Not reported
Owner Address: Not reported
Owner City: Not reported
Owner State: Not reported
Owner Zip: Not reported
Owner Phone: Not reported
Record ID: UTK-076407-15
Facility Status: Inactive
Tank ID: 1
Tank Status: Removed from Ground
Tank Capacity: 2000
Tank Content: Gasoline
Install Date: 04/04/1974
Removal Date: 05/01/1986
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Galvanized Steel
Tank Constr. Material: Asphalt Coated or Bare Steel

A9
ESE
< 1/8
0.044 mi.
231 ft.

ESTATE MOTORS LTD
464 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009
Site 8 of 8 in cluster A

RCRA NonGen / NLR **1000158893**
FINDS **MID040571135**
ECHO

Relative:
Lower
Actual:
765 ft.

RCRA NonGen / NLR:
Date Form Received by Agency: 1998-11-02 00:00:00.0
Handler Name: ESTATE MOTORS LTD
Handler Address: 464 S OLD WOODWARD AVE
Handler City,State,Zip: BIRMINGHAM, MI 48009
EPA ID: MID040571135

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESTATE MOTORS LTD (Continued)

1000158893

Contact Name:	JOHN POLK
Contact Address:	464 S OLD WOODWARD AVE
Contact City,State,Zip:	BIRMINGHAM, MI 48009
Contact Telephone:	313-644-8400
Contact Fax:	Not reported
Contact Email:	Not reported
Contact Title:	Not reported
EPA Region:	05
Land Type:	Private
Federal Waste Generator Description:	Not a generator, verified
Non-Notifier:	Not reported
Biennial Report Cycle:	Not reported
Accessibility:	Not reported
Active Site Indicator:	Not reported
State District Owner:	Not reported
State District:	Not reported
Mailing Address:	464 S OLD WOODWARD AVE
Mailing City,State,Zip:	BIRMINGHAM, MI 48009
Owner Name:	HESQUIERE CHARLES G JR
Owner Type:	Private
Operator Name:	NAME NOT REPORTED
Operator Type:	Private
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDs Where RCRA CA has Been Imposed Universe:	No
TSDs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDs Only Subject to CA under Discretionary Auth Universe:	No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESTATE MOTORS LTD (Continued)

1000158893

Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSD Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Hazardous Waste Summary:

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator:	Operator
Owner/Operator Name:	NAME NOT REPORTED
Legal Status:	Private
Date Became Current:	1970-01-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	HESQUIERE CHARLES G JR
Legal Status:	Private
Date Became Current:	1970-01-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	NAME NOT REPORTED
Legal Status:	Private
Date Became Current:	1970-01-01 00:00:00.
Date Ended Current:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESTATE MOTORS LTD (Continued)

1000158893

Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	HESQUIERE CHARLES G JR
Legal Status:	Private
Date Became Current:	1970-01-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Historic Generators:

Receive Date:	1998-11-02 00:00:00.0
Handler Name:	ESTATE MOTORS LTD
Federal Waste Generator Description:	Not a generator, verified
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	Yes
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

Receive Date:	1986-10-06 00:00:00.0
Handler Name:	ESTATE MOTORS LTD
Federal Waste Generator Description:	Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

List of NAICS Codes and Descriptions:

NAICS Code:	11131
NAICS Description:	ORANGE GROVES

Facility Has Received Notices of Violations:

Violations:	No Violations Found
-------------	---------------------

Evaluation Action Summary:

Evaluations:	No Evaluations Found
--------------	----------------------

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

ESTATE MOTORS LTD (Continued)

1000158893

FINDS:

Registry ID: 110003593111

Click Here:

Environmental Interest/Information System:

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000158893
 Registry ID: 110003593111
 DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110003593111>
 Name: ESTATE MOTORS LTD
 Address: 464 S OLD WOODWARD AVE
 City,State,Zip: BIRMINGHAM, MI 48009

B10
North
< 1/8
0.053 mi.
280 ft.

ESSCO OF BIRMINGHAM LLC
255 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009
Site 1 of 3 in cluster B

RCRA-VSQQ 1017770828
MIK656803600

Relative:
Higher
Actual:
773 ft.

RCRA-VSQQ:
 Date Form Received by Agency: 2015-01-21 00:00:00.0
 Handler Name: ESSCO OF BIRMINGHAM LLC
 Handler Address: 255 S OLD WOODWARD AVE
 Handler City,State,Zip: BIRMINGHAM, MI 48009
 EPA ID: MIK656803600
 Contact Name: STEFANIE FOUMIA
 Contact Address: Not reported
 Contact City,State,Zip: Not reported
 Contact Telephone: 248-645-5900
 Contact Fax: 248-645-5922
 Contact Email: JESSHAKI@ESSCODEVELOPMENT.COM
 Contact Title: Not reported
 EPA Region: 05
 Land Type: Private
 Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
 Non-Notifier: Not reported
 Biennial Report Cycle: Not reported
 Accessibility: Not reported
 Active Site Indicator: Handler Activities
 State District Owner: Not reported
 State District: Not reported
 Mailing Address: 210 OLD WOODWARD AVE
 Mailing City,State,Zip: BIRMINGHAM, MI 48009
 Owner Name: ESSCO OF BIRMINGHAM LLC
 Owner Type: Private
 Operator Name: ESSCO OF BIRMINGHAM LLC
 Operator Type: Private

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

ESSCO OF BIRMINGHAM LLC (Continued)

1017770828

Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2015-01-30 09:08:48.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESSCO OF BIRMINGHAM LLC (Continued)

1017770828

Hazardous Waste Summary:

Waste Code: D001
Waste Description: IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator: Operator
Owner/Operator Name: ESSCO OF BIRMINGHAM LLC
Legal Status: Private
Date Became Current: 2000-06-01 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
Owner/Operator Name: ESSCO OF BIRMINGHAM LLC
Legal Status: Private
Date Became Current: 2000-06-01 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 2015-01-21 00:00:00.0
Handler Name: ESSCO OF BIRMINGHAM LLC
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 531190
NAICS Description: LESSORS OF OTHER REAL ESTATE PROPERTY

Facility Has Received Notices of Violations:

Violations: No Violations Found

Evaluation Action Summary:

Evaluations: No Evaluations Found

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

B11
North
< 1/8
0.053 mi.
280 ft.

GAS STATION TV
255 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

EDR Hist Auto 1022226173
N/A

Site 2 of 3 in cluster B

Relative: EDR Hist Auto
Higher

Actual: 773 ft.

Year:	Name:	Type:
2009	GAS STATION TV	Gasoline Service Stations
2010	GAS STATION TV	Gasoline Service Stations
2011	GAS STATION TV	Gasoline Service Stations
2012	GAS STATION TV	Gasoline Service Stations

C12
East
< 1/8
0.054 mi.
286 ft.

BRITANNIA PROPERTIES LLC
401 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

EDR Hist Auto 1020586160
N/A

Site 1 of 2 in cluster C

Relative: EDR Hist Auto
Lower

Actual: 767 ft.

Year:	Name:	Type:
2009	BRITANNIA PROPERTIES LLC	Gasoline Service Stations, NEC
2010	BRITANNIA PROPERTIES LLC	Gasoline Service Stations, NEC
2011	BRITANNIA PROPERTIES LLC	Gasoline Service Stations, NEC
2011	GAS CITY CORPORATE OFFICES	Gasoline Service Stations
2012	BRITANNIA PROPERTIES LLC	Gasoline Service Stations, NEC
2012	GAS CITY LTD	Gasoline Service Stations, NEC
2012	GAS CITY CORPORATE OFFICES	Gasoline Service Stations
2013	GAS CITY LTD	Gasoline Service Stations, NEC
2013	GAS CITY CORPORATE OFFICES	Gasoline Service Stations
2014	GAS CITY CORPORATE OFFICES	Gasoline Service Stations
2014	GAS CITY LTD	Gasoline Service Stations, NEC

D13
NE
< 1/8
0.072 mi.
381 ft.

JAX KAR WASH #048
34745 WOODWARD AVE
BIRMINGHAM, MI 48009

LUST U003319644
UST N/A
INVENTORY
BEA
WDS

Site 1 of 5 in cluster D

Relative: LUST:
Higher

Actual: 770 ft.

Name:	JAX KAR WASH #048
Address:	34745 WOODWARD AVE
City,State,Zip:	BIRMINGHAM, MI 48009-
Facility ID:	00001952
Source:	STATE OF MICHIGAN
Owner Name:	JaxKar Wash #048
Owner Address:	Not reported
Owner City,St,Zip:	UNKNOWN, MI
Owner Contact:	Not reported
Owner Phone:	Not reported
Country:	USA
District:	Warren
Site Name:	Jax Kar Wash #048
Latitude:	42.53949
Longitude:	-83.20706
Date of Collection:	01/11/2001

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JAX KAR WASH #048 (Continued)

U003319644

Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-0859-00
Release Date: 10/27/2000
Substance Released: Unknown
Release Status: Open
Release Closed Date: Not reported

UST:

Name: JAX KAR WASH #048
Address: 34745 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-0927
Facility Type: CLOSED
Facility ID: 00001952
Facility Region: 1
Owner Name: JAX KAR WASH #048
Owner Address: 34745 WOODWARD
Owner City: BIRMINGHAM
Owner State: MI
Owner Zip: 48011
Owner Contact: Not reported
Owner Phone: Not reported
Contact: Abdeem Shakoor
Contact Phone: (781) 231-9300
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 2
Capacity: 10000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: 01/01/1966
Remove Date: 10/27/2000
Tank Number: UTK-091831-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel
Impressed Device: Not reported
Latitude: 42.53949
Longitude: -83.20706

Name: JAX KAR WASH #048
Address: 34745 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-0927

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JAX KAR WASH #048 (Continued)

U003319644

Facility Type: CLOSED
Facility ID: 00001952
Facility Region: 1
Owner Name: JAX KAR WASH #048
Owner Address: 34745 WOODWARD
Owner City: BIRMINGHAM
Owner State: MI
Owner Zip: 48011
Owner Contact: Not reported
Owner Phone: Not reported
Contact: Abdeem Shakoor
Contact Phone: (781) 231-9300
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 1
Capacity: 10000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: 01/01/1966
Remove Date: 10/27/2000
Tank Number: UTK-091828-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel
Impressed Device: Not reported
Latitude: 42.53949
Longitude: -83.20706

INVENTORY:

Name: JAX KAR WASH
Address: 34745 WOODWARD AVENUE
City,State,Zip: MI 48009
Bea Number: 200101459LV
Township: Birmingham
District: Southeast MI
Data Source: BEA
Latitude: Not reported
Longitude: Not reported

Name: JAX KAR WASH #048
Address: 34745 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009
Bea Number: Not reported
Township: Not reported
District: Southeast MI
Data Source: Part 213
Latitude: 42.53949

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JAX KAR WASH #048 (Continued)

U003319644

Longitude: -83.20706

BEA:

Secondary Address: Not reported
BEA Number: 1459
District: Southeast MI
Date Received: 08/08/2001
Submitter Name: BMW CAR WASH, L.L.C.
Petition Determination: No Request
Petition Disclosure: 0
Category: Same Hazardous Substance(s)
Determination 20107A: No Request
Reviewer: cokt
Division Assigned: Storage Tank Division

WDS:

Name: WASH DEPOT
Address: 34745 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009
Site Id: MIG000026887
WMD Id: 429618
Site Specific Name: WASH DEPOT
Mailing Address: 34745 WOODWARD AVE
Mailing City/State/Zip: 48009
Mailing County: OAKLAND

C14
East
< 1/8
0.076 mi.
399 ft.

FRANKLIN SAVINGS BANK
479 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

Site 2 of 2 in cluster C

UST U003867174
N/A

Relative:
Lower

UST:

Actual:
765 ft.

Name: FRANKLIN SAVINGS BANK
Address: 479 S OLD WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-6652
Facility Type: CLOSED
Facility ID: 00013244
Facility Region: 1
Owner Name: FRANKLIN BANK
Owner Address: PO BOX 5006
Owner City: SOUTHFIELD
Owner State: MI
Owner Zip: 48086-5006
Owner Contact: Not reported
Owner Phone: 2483589526
Contact: DOUGLAS DOSSIN
Contact Phone: (313) 358-0818
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

FRANKLIN SAVINGS BANK (Continued)

U003867174

Tank ID: 1
 Capacity: 1000
 Tank Status: Removed from Ground
 Substance: Used Oil
 Install Date: Not reported
 Remove Date: 09/28/1988
 Tank Number: UTK-001044-15
 Tank Details Compartments: Not reported
 Tank Release Detection: Not reported
 Pipe Release Detection: Not reported
 Piping Material: Unknown
 Piping Type: Not reported
 Tank Construction: Asphalt Coated or Bare Steel
 Impressed Device: Not reported
 Latitude: 42.54392
 Longitude: -83.21143

B15
North
< 1/8
0.085 mi.
450 ft.

UPTOWN ENTERTAINMENT
211 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

RCRA NonGen / NLR

1016958103
MIK151544753

Site 3 of 3 in cluster B

Relative:
Higher
Actual:
776 ft.

RCRA NonGen / NLR:
 Date Form Received by Agency: 2014-01-10 00:00:00.0
 Handler Name: UPTOWN ENTERTAINMENT
 Handler Address: 211 S OLD WOODWARD AVE
 Handler City,State,Zip: BIRMINGHAM, MI 48009
 EPA ID: MIK151544753
 Contact Name: DUSTIN HAURWELL
 Contact Address: Not reported
 Contact City,State,Zip: Not reported
 Contact Telephone: 248-723-6230
 Contact Fax: Not reported
 Contact Email: Not reported
 Contact Title: Not reported
 EPA Region: 05
 Land Type: Private
 Federal Waste Generator Description: Not a generator, verified
 Non-Notifier: Not reported
 Biennial Report Cycle: Not reported
 Accessibility: Not reported
 Active Site Indicator: Not reported
 State District Owner: Not reported
 State District: Not reported
 Mailing Address: 211 S OLD WOODWARD AVE
 Mailing City,State,Zip: BIRMINGHAM, MI 48009
 Owner Name: UPTOWN ENTERTAINMENT
 Owner Type: Private
 Operator Name: UPTOWN ENTERTAINMENT
 Operator Type: Private
 Short-Term Generator Activity: No
 Importer Activity: No
 Mixed Waste Generator: No
 Transporter Activity: No
 Transfer Facility Activity: No
 Recycler Activity with Storage: No
 Small Quantity On-Site Burner Exemption: No

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

UPTOWN ENTERTAINMENT (Continued)

1016958103

Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRC Permit Baseline:	Not on the Baseline
2018 GPRC Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRC Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDs Where RCRA CA has Been Imposed Universe:	No
TSDs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSD Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2015-01-05 10:34:24.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Hazardous Waste Summary:

Waste Code: D001
 Waste Description: IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator: Operator

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

UPTOWN ENTERTAINMENT (Continued)

1016958103

Owner/Operator Name: UPTOWN ENTERTAINMENT
Legal Status: Private
Date Became Current: 2014-01-10 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
Owner/Operator Name: UPTOWN ENTERTAINMENT
Legal Status: Private
Date Became Current: 2014-01-10 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Historic Generators:
Receive Date: 2014-01-10 00:00:00.0
Handler Name: UPTOWN ENTERTAINMENT
Federal Waste Generator Description: Not a generator, verified
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:
NAICS Code: 562910
NAICS Description: REMEDIATION SERVICES

Facility Has Received Notices of Violations:
Violations: No Violations Found

Evaluation Action Summary:
Evaluations: No Evaluations Found

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

E16 **MAVERICK EXPRESS INC** **EDR Hist Auto** **1022110556**
ESE **555 S WOODWARD** **N/A**
< 1/8 **BIRMINGHAM, MI 48011**
0.087 mi.
459 ft. **Site 1 of 3 in cluster E**
Relative: EDR Hist Auto
Lower
Actual: Year: Name: Type:
764 ft. 1983 MAVERICK EXPRESS INC Gasoline Service Stations

E17 **BIRMINGHAM CLEANERS INC** **EDR Hist Cleaner** **1019940021**
ESE **1253 555 S WOODWARD** **N/A**
< 1/8 **BIRMINGHAM, MI 48009**
0.087 mi.
459 ft. **Site 2 of 3 in cluster E**
Relative: EDR Hist Cleaner
Lower
Actual: Year: Name: Type:
764 ft. 1991 MUNSON JAMES S INC Drycleaning Plants, Except Rugs
 1991 BIRMINGHAM CLEANERS INC Drycleaning Plants, Except Rugs
 1991 WATKINS MANAGEMENT CO Drycleaning Plants, Except Rugs, NEC
 1992 WATKINS MANAGEMENT CO Drycleaning Plants, Except Rugs, NEC
 1992 BIRMINGHAM CLEANERS INC Drycleaning Plants, Except Rugs
 1992 MUNSON JAMES S INC Drycleaning Plants, Except Rugs

D18 **WOODWARD BROWN ASSOCIATES, LLC** **INVENTORY** **S114029255**
NE **34901 WOODWARD AVENUE** **N/A**
< 1/8 **OAKLAND (County), MI 48073**
0.091 mi.
482 ft. **Site 2 of 5 in cluster D**
Relative: INVENTORY:
Higher Name: WOODWARD BROWN ASSOCIATES, LLC
Actual: Address: 34901 WOODWARD AVENUE
773 ft. City,State,Zip: MI 48073
 Bea Number: 201004572LV
 Township: Birmingham
 District: Southeast MI
 Data Source: BEA
 Latitude: 42.54567
 Longitude: -83.21134

D19 **WOODWARD BROWN ASSOCIATES, LLC** **BEA** **S110624723**
NE **34901 WOODWARD AVENUE** **N/A**
< 1/8 **BIRMINGHAM, MI 48073**
0.094 mi.
498 ft. **Site 3 of 5 in cluster D**
Relative: BEA:
Higher Secondary Address: Not reported
Actual: BEA Number: 4572
773 ft. District: Southeast MI
 Date Received: 09/16/2010
 Submitter Name: Woodward Brown Associates, LLC
 Petition Determination: No Request

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

WOODWARD BROWN ASSOCIATES, LLC (Continued)

S110624723

Petition Disclosure: 0
 Category: No Hazardous Substance(s)
 Determination 20107A: No Request
 Reviewer: berakr
 Division Assigned: RRD

**D20
 NE
 < 1/8
 0.094 mi.
 498 ft.**

**WEISS SAMONA
 34901 WOODWARD AVENUE
 BIRMINGHAM, MI 48009**

**US BROWNFIELDS
 FINDS 1016357344
 N/A**

Site 4 of 5 in cluster D

**Relative:
 Higher**

US BROWNFIELDS:

**Actual:
 773 ft.**

Name:	WEISS SAMONA
Address:	34901 WOODWARD AVENUE
City, State, Zip:	BIRMINGHAM, MI 48009
Recipient Name:	Oakland County
Grant Type:	Assessment
Property Number:	-
Parcel size:	0.52
Latitude:	42.545658
Longitude:	-83.2113339
HCM Label:	-
Map Scale:	-
Point of Reference:	-
Highlights:	-
Datum:	-
Acres Property ID:	115761
IC Data Access:	-
Start Date:	-
Redev Completion Date:	-
Completed Date:	-
Acres Cleaned Up:	-
Cleanup Funding:	-
Cleanup Funding Source:	-
Assessment Funding:	2800
Assessment Funding Source:	EPA
Redevelopment Funding:	-
Redev. Funding Source:	-
Redev. Funding Entity Name:	-
Redevelopment Start Date:	-
Assessment Funding Entity:	US EPA - Brownfields Assessment Cooperative Agreement
Cleanup Funding Entity:	-
Grant Type:	Hazardous
Accomplishment Type:	Phase I Environmental Assessment
Accomplishment Count:	N
Cooperative Agreement Number:	00E92301
Start Date:	4/27/2010
Ownership Entity:	Private
Completion Date:	-
Current Owner:	-
Did Owner Change:	-
Cleanup Required:	U
Video Available:	-
Photo Available:	Y
Institutional Controls Required:	U
IC Category Proprietary Controls:	-
IC Cat. Info. Devices:	-

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WEISS SAMONA (Continued)

1016357344

IC Cat. Gov. Controls:	-
IC Cat. Enforcement Permit Tools:	-
IC in place date:	-
IC in place:	-
State/tribal program date:	-
State/tribal program ID:	-
State/tribal NFA date:	-
Air cleaned:	-
Asbestos found:	-
Asbestos cleaned:	-
Controlled substance found:	-
Controlled substance cleaned:	-
Drinking water affected:	-
Drinking water cleaned:	-
Groundwater affected:	Y
Groundwater cleaned:	-
Lead contaminant found:	Y
Lead cleaned up:	-
No media affected:	-
Unknown media affected:	-
Other cleaned up:	-
Other metals found:	Y
Other metals cleaned:	-
Other contaminants found:	-
Other contaminants found description:	-
PAHs found:	-
PAHs cleaned up:	-
PCBs found:	-
PCBs cleaned up:	-
Petro products found:	-
Petro products cleaned:	-
Sediments found:	-
Sediments cleaned:	-
Soil affected:	Y
Soil cleaned up:	-
Surface water cleaned:	-
VOCs found:	Y
VOCs cleaned:	-
Cleanup other description:	-
Num. of cleanup and re-dev. jobs:	-
Past use greenspace acreage:	-
Past use residential acreage:	-
Surface Water:	-
Past use commercial acreage:	0.52
Past use industrial acreage:	-
Future use greenspace acreage:	-
Future use residential acreage:	-
Future use commercial acreage:	-
Future use industrial acreage:	-
Superfund Fed. landowner flag:	-
Arsenic cleaned up:	-
Cadmium cleaned up:	-
Chromium cleaned up:	-
Copper cleaned up:	-
Iron cleaned up:	-
mercury cleaned up:	-
Nickel Cleaned Up:	-

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

WEISS SAMONA (Continued)

1016357344

No clean up: -
 Pesticides cleaned up: -
 Selenium cleaned up: -
 SVOCs cleaned up: -
 Unknown clean up: -
 Arsenic contaminant found: -
 Cadmium contaminant found: -
 Chromium contaminant found: -
 Copper contaminant found: -
 Iron contaminant found: -
 Mercury contaminant found: -
 Nickel contaminant found: -
 No contaminant found: -
 Pesticides contaminant found: -
 Selenium contaminant found: -
 SVOCs contaminant found: -
 Unknown contaminant found: -
 Future Use: Multistory -
 Media affected Bluiding Material: -
 Media affected indoor air: -
 Building material media cleaned up: -
 Indoor air media cleaned up: -
 Unknown media cleaned up: -
 Past Use: Multistory -
 Property Description:

The Property was developed as a feed mill in 1915. From at least 1921 to at least 1931 the Property was used as a lumber and coal yard, with up to nine buildings and several areas labeled as lumber piles. By 1944 the northern portion of the Property was developed with a bowling alley and by 1949 the southwest corner of the Property was developed with a hand laundry building. The southern portion of the Property was occupied by a used car lot by 1960. The bowling alley reportedly operated until at least 1973 when it was occupied for retail uses. A commercial strip mall building was constructed by 1974 and occupied the southern portion of the Property until 2005. Since the demolition of the buildings in 2005, the Property has been used as a parking lot.

Below Poverty Number: 80
 Below Poverty Percent: 2.48
 Meidan Income: 10501
 Meidan Income Number: 237
 Meidan Income Percent: 7.33
 Vacant Housing Number: 169
 Vacant Housing Percent: 9.31
 Unemployed Number: 75
 Unemployed Percent: 2.32

Name: WEISS SAMONA
 Address: 34901 WOODWARD AVENUE
 City,State,Zip: BIRMINGHAM, MI 48009
 Recipient Name: Oakland County
 Grant Type: Assessment
 Property Number: -
 Parcel size: 0.52
 Latitude: 42.545658
 Longitude: -83.2113339
 HCM Label: -
 Map Scale: -
 Point of Reference: -

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

WEISS SAMONA (Continued)

1016357344

Highlights:	-
Datum:	-
Acres Property ID:	115761
IC Data Access:	-
Start Date:	-
Redev Completion Date:	-
Completed Date:	-
Acres Cleaned Up:	-
Cleanup Funding:	-
Cleanup Funding Source:	-
Assessment Funding:	5400
Assessment Funding Source:	EPA
Redevelopment Funding:	-
Redev. Funding Source:	-
Redev. Funding Entity Name:	-
Redevelopment Start Date:	-
Assessment Funding Entity:	US EPA - Brownfields Assessment Cooperative Agreement
Cleanup Funding Entity:	-
Grant Type:	Hazardous
Accomplishment Type:	Phase II Environmental Assessment
Accomplishment Count:	N
Cooperative Agreement Number:	00E92301
Start Date:	5/26/2010
Ownership Entity:	Private
Completion Date:	-
Current Owner:	-
Did Owner Change:	-
Cleanup Required:	U
Video Available:	-
Photo Available:	Y
Institutional Controls Required:	U
IC Category Proprietary Controls:	-
IC Cat. Info. Devices:	-
IC Cat. Gov. Controls:	-
IC Cat. Enforcement Permit Tools:	-
IC in place date:	-
IC in place:	-
State/tribal program date:	-
State/tribal program ID:	-
State/tribal NFA date:	-
Air cleaned:	-
Asbestos found:	-
Asbestos cleaned:	-
Controlled substance found:	-
Controlled substance cleaned:	-
Drinking water affected:	-
Drinking water cleaned:	-
Groundwater affected:	Y
Groundwater cleaned:	-
Lead contaminant found:	Y
Lead cleaned up:	-
No media affected:	-
Unknown media affected:	-
Other cleaned up:	-
Other metals found:	Y
Other metals cleaned:	-
Other contaminants found:	-

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WEISS SAMONA (Continued)

1016357344

Other contams found description:	-
PAHs found:	-
PAHs cleaned up:	-
PCBs found:	-
PCBs cleaned up:	-
Petro products found:	-
Petro products cleaned:	-
Sediments found:	-
Sediments cleaned:	-
Soil affected:	Y
Soil cleaned up:	-
Surface water cleaned:	-
VOCs found:	Y
VOCs cleaned:	-
Cleanup other description:	-
Num. of cleanup and re-dev. jobs:	-
Past use greenspace acreage:	-
Past use residential acreage:	-
Surface Water:	-
Past use commercial acreage:	0.52
Past use industrial acreage:	-
Future use greenspace acreage:	-
Future use residential acreage:	-
Future use commercial acreage:	-
Future use industrial acreage:	-
Superfund Fed. landowner flag:	-
Arsenic cleaned up:	-
Cadmium cleaned up:	-
Chromium cleaned up:	-
Copper cleaned up:	-
Iron cleaned up:	-
mercury cleaned up:	-
Nickel Cleaned Up:	-
No clean up:	-
Pesticides cleaned up:	-
Selenium cleaned up:	-
SVOCs cleaned up:	-
Unknown clean up:	-
Arsenic contaminant found:	-
Cadmium contaminant found:	-
Chromium contaminant found:	-
Copper contaminant found:	-
Iron contaminant found:	-
Mercury contaminant found:	-
Nickel contaminant found:	-
No contaminant found:	-
Pesticides contaminant found:	-
Selenium contaminant found:	-
SVOCs contaminant found:	-
Unknown contaminant found:	-
Future Use: Multistory	-
Media affected Bluiding Material:	-
Media affected indoor air:	-
Building material media cleaned up:	-
Indoor air media cleaned up:	-
Unknown media cleaned up:	-
Past Use: Multistory	-

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

WEISS SAMONA (Continued)

1016357344

Property Description: The Property was developed as a feed mill in 1915. From at least 1921 to at least 1931 the Property was used as a lumber and coal yard, with up to nine buildings and several areas labeled as lumber piles. By 1944 the northern portion of the Property was developed with a bowling alley and by 1949 the southwest corner of the Property was developed with a hand laundry building. The southern portion of the Property was occupied by a used car lot by 1960. The bowling alley reportedly operated until at least 1973 when it was occupied for retail uses. A commercial strip mall building was constructed by 1974 and occupied the southern portion of the Property until 2005. Since the demolition of the buildings in 2005, the Property has been used as a parking lot.

Below Poverty Number: 80
 Below Poverty Percent: 2.48
 Meidan Income: 10501
 Meidan Income Number: 237
 Meidan Income Percent: 7.33
 Vacant Housing Number: 169
 Vacant Housing Percent: 9.31
 Unemployed Number: 75
 Unemployed Percent: 2.32

FINDS:

Registry ID: 110043085050

Click Here:

Environmental Interest/Information System:

US EPA Assessment, Cleanup and Redevelopment Exchange System (ACRES) is an federal online database for Brownfields Grantees to electronically submit data directly to EPA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

**D21
 NE
 < 1/8
 0.094 mi.
 498 ft.**

**WOODWARD BROWN ASSOC LLC
 34901 WOODWARD
 BIRMINGHAM, MI 48009
 Site 5 of 5 in cluster D**

**INVENTORY S114029254
 N/A**

**Relative:
 Higher
 Actual:
 773 ft.**

INVENTORY:
 Name: WOODWARD BROWN ASSOC LLC
 Address: 34901 WOODWARD
 City,State,Zip: BIRMINGHAM, MI 48009
 Bea Number: Not reported
 Township: Birmingham
 District: Southeast MI
 Data Source: Part 201
 Latitude: 42.54567
 Longitude: -83.21134

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

BIRMINGHAM CAMERA SHOP (Continued)

1000828149

Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRC Permit Baseline:	Not on the Baseline
2018 GPRC Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRC Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDs Where RCRA CA has Been Imposed Universe:	No
TSDs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSD Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Hazardous Waste Summary:

Waste Code: D001
 Waste Description: IGNITABLE WASTE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BIRMINGHAM CAMERA SHOP (Continued)

1000828149

Handler - Owner Operator:

Owner/Operator Indicator: Owner
Owner/Operator Name: DAY WILLIAM
Legal Status: Private
Date Became Current: 1970-01-01 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
Owner/Operator Name: DAY WILLIAM
Legal Status: Private
Date Became Current: 1970-01-01 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator
Owner/Operator Name: DAY WILLIAM
Legal Status: Private
Date Became Current: 1970-01-01 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator
Owner/Operator Name: DAY WILLIAM
Legal Status: Private
Date Became Current: 1970-01-01 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 1994-06-20 00:00:00.0
Handler Name: BIRMINGHAM CAMERA SHOP
Federal Waste Generator Description: Not a generator, verified
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BIRMINGHAM CAMERA SHOP (Continued)

1000828149

Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

Receive Date: 1992-10-01 00:00:00.0
Handler Name: BIRMINGHAM CAMERA SHOP
Federal Waste Generator Description: Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: No
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 44313
NAICS Description: CAMERA AND PHOTOGRAPHIC SUPPLIES STORES

Facility Has Received Notices of Violations:

Violations: No Violations Found

Evaluation Action Summary:

Evaluations: No Evaluations Found

FINDS:

Registry ID: 110003675443

Click Here:

Environmental Interest/Information System:

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000828149
Registry ID: 110003675443
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110003675443>
Name: BIRMINGHAM CAMERA SHOP
Address: 168 S OLD WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

G24
NNE
< 1/8
0.119 mi.
627 ft.

34965 WOODWARD AVENUE
34965 WOODWARD AVENUE
BIRMINGHAM, MI 48009

INVENTORY **S118622157**
N/A

Site 1 of 5 in cluster G

Relative:
Higher
Actual:
777 ft.

INVENTORY:

Name: PEABODY OWNER, LLC
 Address: 34965 WOODWARD AVENUE
 City,State,Zip: MI 48009
 Bea Number: 201607216LV
 Township: Birmingham
 District: Southeast MI
 Data Source: BEA
 Latitude: 42.54618
 Longitude: -83.21161

Name: 34965 WOODWARD AVENUE
 Address: 34965 WOODWARD AVENUE
 City,State,Zip: BIRMINGHAM, MI 48009
 Bea Number: Not reported
 Township: Birmingham
 District: Southeast MI
 Data Source: Part 201
 Latitude: 42.54618
 Longitude: -83.21161

Name: ALDEN DEVELOPMENT GROUP, LLC
 Address: 34965 WOODWARD AVENUE
 City,State,Zip: MI 48009
 Bea Number: 201606862LV
 Township: Birmingham
 District: Southeast MI
 Data Source: BEA
 Latitude: 42.54618
 Longitude: -83.21161

H25
ENE
1/8-1/4
0.129 mi.
679 ft.

SPEEDWAY LLC
34750 WOODWARD AVE
BIRMINGHAM, MI 48009

RCRA-VSQQ **1000844604**
UST **MID985666387**
FINDS
ECHO

Site 1 of 4 in cluster H

Relative:
Higher
Actual:
768 ft.

RCRA-VSQQ:

Date Form Received by Agency: 2012-08-20 00:00:00.0
 Handler Name: SPEEDWAY LLC
 Handler Address: 34750 WOODWARD AVE
 Handler City,State,Zip: BIRMINGHAM, MI 48009
 EPA ID: MID985666387
 Contact Name: CHARLES A BESSE
 Contact Address: Not reported
 Contact City,State,Zip: Not reported
 Contact Telephone: 937-863-6272
 Contact Fax: 937-863-6078
 Contact Email: CABESSE@SPEEDWAY.COM
 Contact Title: Not reported
 EPA Region: 05
 Land Type: Private
 Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
 Non-Notifier: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

SPEEDWAY LLC (Continued)

1000844604

Biennial Report Cycle:	Not reported
Accessibility:	Not reported
Active Site Indicator:	Handler Activities
State District Owner:	Not reported
State District:	Not reported
Mailing Address:	PO BOX 1500
Mailing City, State, Zip:	SPRINGFIELD, OH 45501
Owner Name:	SPEEDWAY LLC
Owner Type:	Private
Operator Name:	SPEEDWAY LLC
Operator Type:	Private
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDs Where RCRA CA has Been Imposed Universe:	No
TSDs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSD Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SPEEDWAY LLC (Continued)

1000844604

Financial Assurance Required:	Not reported
Handler Date of Last Change:	2012-09-05 15:29:56.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Hazardous Waste Summary:

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator:	Operator
Owner/Operator Name:	SPEEDWAY LLC
Legal Status:	Private
Date Became Current:	1999-06-10 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Operator
Owner/Operator Name:	SPEEDWAY SUPERAMERICA LLC
Legal Status:	Private
Date Became Current:	1999-12-11 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	SPEEDWAY LLC
Legal Status:	Private
Date Became Current:	1999-06-10 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	SPEEDWAY SUPERAMERICA LLC
Legal Status:	Private
Date Became Current:	1999-12-11 00:00:00.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SPEEDWAY LLC (Continued)

1000844604

Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
Owner/Operator Name: SPEEDWAY SUPERAMERICA LLC
Legal Status: Private
Date Became Current: 1999-12-11 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator
Owner/Operator Name: SPEEDWAY SUPERAMERICA LLC
Legal Status: Private
Date Became Current: 1999-12-11 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
Owner/Operator Name: SPEEDWAY SUPERAMERICA LLC
Legal Status: Private
Date Became Current: 1999-12-11 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator
Owner/Operator Name: SPEEDWAY SUPERAMERICA LLC
Legal Status: Private
Date Became Current: 1999-12-11 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SPEEDWAY LLC (Continued)

1000844604

Historic Generators:

Receive Date:	1998-09-17 00:00:00.0
Handler Name:	SPEEDWAY SUPERAMERICA LLC
Federal Waste Generator Description:	Not a generator, verified
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	1993-09-02 00:00:00.0
Handler Name:	SPEEDWAY SUPERAMERICA LLC
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2005-06-03 00:00:00.0
Handler Name:	SPEEDWAY SUPERAMERICA LLC
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2012-08-20 00:00:00.0
Handler Name:	SPEEDWAY LLC
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	Yes
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

List of NAICS Codes and Descriptions:

NAICS Code:	44711
NAICS Description:	GASOLINE STATIONS WITH CONVENIENCE STORES

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SPEEDWAY LLC (Continued)

1000844604

Facility Has Received Notices of Violations:

Violations: No Violations Found

Evaluation Action Summary:

Evaluations: No Evaluations Found

UST:

Name: SPEEDWAY #8721
Address: 34750 WOODWARD 347 BLVD
City,State,Zip: BIRMINGHAM, MI 48009
Facility Type: ACTIVE
Facility ID: 00016370
Facility Region: 1
Owner Name: SPEEDWAY LLC
Owner Address: PO BOX 1500
Owner City: SPRINGFIELD
Owner State: OH
Owner Zip: 45501
Owner Contact: Not reported
Owner Phone: 9378643000
Contact: Eric Swaisgood
Contact Phone: (937) 863-6513
Date of Collection: 04/06/2007
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off
District: Region 1 - SE Michigan District Office
Tank ID: 9
Capacity: 8000
Tank Status: Currently In Use
Substance: Diesel
Install Date: 05/01/1992
Remove Date: Not reported
Tank Number: UTK-018955-15
Tank Details Compartments: Not reported
Tank Release Detection: Automatic Tank Gauging
Pipe Release Detection: Automatic Line Leak Detectors,Line Tightness Testing
Piping Material: Fiberglass Reinforced Plastic
Piping Type: Pressure (Remote)
Tank Construction: Cathodically Protected Steel
Impressed Device: Not reported
Latitude: 42.54488
Longitude: -83.20977

Name: SPEEDWAY #8721
Address: 34750 WOODWARD 347 BLVD
City,State,Zip: BIRMINGHAM, MI 48009
Facility Type: ACTIVE
Facility ID: 00016370
Facility Region: 1
Owner Name: SPEEDWAY LLC

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SPEEDWAY LLC (Continued)

1000844604

Owner Address: PO BOX 1500
Owner City: SPRINGFIELD
Owner State: OH
Owner Zip: 45501
Owner Contact: Not reported
Owner Phone: 9378643000
Contact: Eric Swaisgood
Contact Phone: (937) 863-6513
Date of Collection: 04/06/2007
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off
District: Region 1 - SE Michigan District Office
Tank ID: 8
Capacity: 10000
Tank Status: Currently In Use
Substance: Gasoline
Install Date: 05/01/1992
Remove Date: Not reported
Tank Number: UTK-087832-15
Tank Details Compartments: Not reported
Tank Release Detection: Automatic Tank Gauging
Pipe Release Detection: Automatic Line Leak Detectors,Line Tightness Testing
Piping Material: Fiberglass Reinforced Plastic
Piping Type: Pressure (Remote)
Tank Construction: Cathodically Protected Steel
Impressed Device: Not reported
Latitude: 42.54488
Longitude: -83.20977

Name: SPEEDWAY #8721
Address: 34750 WOODWARD 347 BLVD
City,State,Zip: BIRMINGHAM, MI 48009
Facility Type: ACTIVE
Facility ID: 00016370
Facility Region: 1
Owner Name: SPEEDWAY LLC
Owner Address: PO BOX 1500
Owner City: SPRINGFIELD
Owner State: OH
Owner Zip: 45501
Owner Contact: Not reported
Owner Phone: 9378643000
Contact: Eric Swaisgood
Contact Phone: (937) 863-6513
Date of Collection: 04/06/2007
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SPEEDWAY LLC (Continued)

1000844604

District: Region 1 - SE Michigan District Office
Tank ID: 7
Capacity: 10000
Tank Status: Currently In Use
Substance: Gasoline
Install Date: 05/01/1992
Remove Date: Not reported
Tank Number: UTK-088271-15
Tank Details Compartments: Not reported
Tank Release Detection: Automatic Tank Gauging
Pipe Release Detection: Automatic Line Leak Detectors,Line Tightness Testing
Piping Material: Fiberglass Reinforced Plastic
Piping Type: Pressure (Remote)
Tank Construction: Cathodically Protected Steel
Impressed Device: Not reported
Latitude: 42.54488
Longitude: -83.20977

Name: SPEEDWAY #8721
Address: 34750 WOODWARD 347 BLVD
City,State,Zip: BIRMINGHAM, MI 48009
Facility Type: ACTIVE
Facility ID: 00016370
Facility Region: 1
Owner Name: SPEEDWAY LLC
Owner Address: PO BOX 1500
Owner City: SPRINGFIELD
Owner State: OH
Owner Zip: 45501
Owner Contact: Not reported
Owner Phone: 9378643000
Contact: Eric Swaisgood
Contact Phone: (937) 863-6513
Date of Collection: 04/06/2007
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off
District: Region 1 - SE Michigan District Office
Tank ID: 6
Capacity: 12000
Tank Status: Currently In Use
Substance: Gasoline
Install Date: 05/01/1992
Remove Date: Not reported
Tank Number: UTK-025147-15
Tank Details Compartments: Not reported
Tank Release Detection: Automatic Tank Gauging
Pipe Release Detection: Automatic Line Leak Detectors,Line Tightness Testing
Piping Material: Fiberglass Reinforced Plastic
Piping Type: Pressure (Remote)
Tank Construction: Cathodically Protected Steel
Impressed Device: Not reported
Latitude: 42.54488

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SPEEDWAY LLC (Continued)

1000844604

Longitude: -83.20977

Name: SPEEDWAY #8721
Address: 34750 WOODWARD 347 BLVD
City,State,Zip: BIRMINGHAM, MI 48009
Facility Type: ACTIVE
Facility ID: 00016370
Facility Region: 1
Owner Name: SPEEDWAY LLC
Owner Address: PO BOX 1500
Owner City: SPRINGFIELD
Owner State: OH
Owner Zip: 45501
Owner Contact: Not reported
Owner Phone: 9378643000
Contact: Eric Swaisgood
Contact Phone: (937) 863-6513
Date of Collection: 04/06/2007
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off
District: Region 1 - SE Michigan District Office
Tank ID: 5
Capacity: 550
Tank Status: Removed from Ground
Substance: Used Oil
Install Date: 04/22/1959
Remove Date: 03/01/1992
Tank Number: UTK-088262-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel
Impressed Device: Not reported
Latitude: 42.54488
Longitude: -83.20977

Name: SPEEDWAY #8721
Address: 34750 WOODWARD 347 BLVD
City,State,Zip: BIRMINGHAM, MI 48009
Facility Type: ACTIVE
Facility ID: 00016370
Facility Region: 1
Owner Name: SPEEDWAY LLC
Owner Address: PO BOX 1500
Owner City: SPRINGFIELD
Owner State: OH
Owner Zip: 45501
Owner Contact: Not reported
Owner Phone: 9378643000
Contact: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SPEEDWAY LLC (Continued)

1000844604

Contact Phone:	Not reported
Date of Collection:	Not reported
Accuracy:	Not reported
Horizontal Datum:	Not reported
Accuracy Value Unit:	Not reported
Source:	Not reported
Point Line Area:	Not reported
Desc Category:	Not reported
Method of Collection:	Not reported
District:	Not reported
Tank ID:	4
Capacity:	1000
Tank Status:	Removed from Ground
Substance:	Other(FUEL OIL)
Install Date:	04/22/1959
Remove Date:	03/01/1992
Tank Number:	UTK-088257-15
Tank Details Compartments:	Not reported
Tank Release Detection:	Not reported
Pipe Release Detection:	Not reported
Piping Material:	Galvanized Steel
Piping Type:	Not reported
Tank Construction:	Asphalt Coated or Bare Steel
Impressed Device:	Not reported
Latitude:	Not reported
Longitude:	Not reported
Name:	SPEEDWAY #8721
Address:	34750 WOODWARD 347 BLVD
City,State,Zip:	BIRMINGHAM, MI 48009
Facility Type:	ACTIVE
Facility ID:	00016370
Facility Region:	1
Owner Name:	SPEEDWAY LLC
Owner Address:	PO BOX 1500
Owner City:	SPRINGFIELD
Owner State:	OH
Owner Zip:	45501
Owner Contact:	Not reported
Owner Phone:	9378643000
Contact:	Eric Swaisgood
Contact Phone:	(937) 863-6513
Date of Collection:	04/06/2007
Accuracy:	100
Horizontal Datum:	NAD83
Accuracy Value Unit:	FEET
Source:	STATE OF MICHIGAN
Point Line Area:	POINT
Desc Category:	Plant Entrance (Freight)
Method of Collection:	GPS Code Meas. Standard Positioning Service SA Off
District:	Region 1 - SE Michigan District Office
Tank ID:	3
Capacity:	12000
Tank Status:	Removed from Ground
Substance:	Diesel
Install Date:	04/21/1974
Remove Date:	03/01/1992

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SPEEDWAY LLC (Continued)

1000844604

Tank Number: UTK-035901-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel
Impressed Device: Not reported
Latitude: 42.54488
Longitude: -83.20977

Name: SPEEDWAY #8721
Address: 34750 WOODWARD 347 BLVD
City,State,Zip: BIRMINGHAM, MI 48009
Facility Type: ACTIVE
Facility ID: 00016370
Facility Region: 1
Owner Name: SPEEDWAY LLC
Owner Address: PO BOX 1500
Owner City: SPRINGFIELD
Owner State: OH
Owner Zip: 45501
Owner Contact: Not reported
Owner Phone: 9378643000
Contact: Eric Swaisgood
Contact Phone: (937) 863-6513
Date of Collection: 04/06/2007
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off
District: Region 1 - SE Michigan District Office
Tank ID: 2
Capacity: 12000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: 04/21/1974
Remove Date: 03/01/1992
Tank Number: UTK-035900-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel
Impressed Device: Not reported
Latitude: 42.54488
Longitude: -83.20977

Name: SPEEDWAY #8721
Address: 34750 WOODWARD 347 BLVD
City,State,Zip: BIRMINGHAM, MI 48009
Facility Type: ACTIVE
Facility ID: 00016370

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SPEEDWAY LLC (Continued)

1000844604

Facility Region: 1
Owner Name: SPEEDWAY LLC
Owner Address: PO BOX 1500
Owner City: SPRINGFIELD
Owner State: OH
Owner Zip: 45501
Owner Contact: Not reported
Owner Phone: 9378643000
Contact: Eric Swaisgood
Contact Phone: (937) 863-6513
Date of Collection: 04/06/2007
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off
District: Region 1 - SE Michigan District Office
Tank ID: 1
Capacity: 6000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: 04/21/1972
Remove Date: 03/02/1992
Tank Number: UTK-039018-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel
Impressed Device: Not reported
Latitude: 42.54488
Longitude: -83.20977

FINDS:

Registry ID: 110003685968

Click Here:

Environmental Interest/Information System:

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000844604
Registry ID: 110003685968
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110003685968>
Name: SPEEDWAY LLC
Address: 34750 WOODWARD AVE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SPEEDWAY LLC (Continued)

1000844604

City,State,Zip: BIRMINGHAM, MI 48009

H26
ENE
1/8-1/4
0.129 mi.
679 ft.

SPEEDWAY #8721
34750 WOODWARD 347 BLVD
BIRMINGHAM, MI 48009

LUST
INVENTORY
Financial Assurance

S118615272
N/A

Site 2 of 4 in cluster H

Relative:
Higher
Actual:
768 ft.

LUST:
Name: SPEEDWAY #8721
Address: 34750 WOODWARD 347 BLVD
City,State,Zip: BIRMINGHAM, MI 48009-
Facility ID: 00016370
Source: STATE OF MICHIGAN
Owner Name: SpeedwayLLC
Owner Address: Not reported
Owner City,St,Zip: UNKNOWN, MI
Owner Contact: Not reported
Owner Phone: Not reported
Country: USA
District: Warren
Site Name: Speedway #8721
Latitude: 42.54488
Longitude: -83.20977
Date of Collection: 04/06/2007
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-0161-14
Release Date: 12/09/2014
Substance Released: Gasoline,Gasoline,Gasoline,Diesel
Release Status: Open
Release Closed Date: Not reported

Leak Number: C-1633-91
Release Date: 08/27/1991
Substance Released: Unknown
Release Status: Closed
Release Closed Date: 02/09/1996

INVENTORY:

Name: SPEEDWAY #8721
Address: 34750 WOODWARD 347 BLVD
City,State,Zip: BIRMINGHAM, MI 48009
Bea Number: Not reported
Township: Not reported
District: Southeast MI
Data Source: Part 213
Latitude: 42.54489
Longitude: -83.20977

FINANCIAL ASSURANCE 3:

Name: SPEEDWAY #8721
Address: 34750 WOODWARD 347 BLVD

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SPEEDWAY #8721 (Continued)

S118615272

City,State,Zip: BIRMINGHAM, MI 48009
Facility ID: 00016370
Exempt: No
Expiration Date: 12/31/2020
Bond Rating Tests: UNCHECKED
Commerical Insurance: UNCHECKED
Guarantee: UNCHECKED
Letter of Credit: UNCHECKED
Risk Retention Group: UNCHECKED
Self Insurance: UNCHECKED
State Funds: UNCHECKED
Surety Bond: CHECKED
Trust Funds: UNCHECKED
Year: 2019

**G27
NNE
1/8-1/4
0.137 mi.
725 ft.**

**SHELL - HUNTER
34977 WOODWARD AVE
BIRMINGHAM, MI 48009
Site 2 of 5 in cluster G**

**LUST U003319719
UST N/A
INVENTORY**

**Relative:
Higher
Actual:
779 ft.**

LUST:
Name: SHELL - HUNTER
Address: 34977 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-
Facility ID: 00002267
Source: STATE OF MICHIGAN
Owner Name: CatalystDevelopment Co LLC
Owner Address: Not reported
Owner City,St,Zip: UNKNOWN, MI
Owner Contact: Not reported
Owner Phone: Not reported
Country: USA
District: Warren
Site Name: Shell - Hunter
Latitude: 42.53925
Longitude: -83.20683
Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-0274-08
Release Date: 12/10/2008
Substance Released: Used Oil
Release Status: Open
Release Closed Date: Not reported

Leak Number: C-0480-89
Release Date: 12/08/1989
Substance Released: Not reported
Release Status: Closed
Release Closed Date: 05/23/2000

Leak Number: C-1061-89

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SHELL - HUNTER (Continued)

U003319719

Release Date: 12/08/1989
Substance Released: Gasoline
Release Status: Closed
Release Closed Date: 05/23/2000

Leak Number: C-1336-98
Release Date: 12/30/1998
Substance Released: Unknown,Unknown
Release Status: Closed
Release Closed Date: 08/04/1999

UST:

Name: SHELL - HUNTER
Address: 34977 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-0900
Facility Type: CLOSED
Facility ID: 00002267
Facility Region: 1
Owner Name: CATALYST DEVELOPMENT CO LLC
Owner Address: 100 W MICHIGAN AVE STE 300
Owner City: KALAMAZOO
Owner State: MI
Owner Zip: 49007
Owner Contact: Not reported
Owner Phone: 2694926811
Contact: Ms Patti Ownes
Contact Phone: (269) 492-6811
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 9
Capacity: 1000
Tank Status: Removed from Ground
Substance: Used Oil
Install Date: 12/01/1989
Remove Date: 12/07/1999
Tank Number: UTK-016231-15
Tank Details Compartments: Not reported
Tank Release Detection: Interstitial Monitoring Double Walled Tank/Piping
Pipe Release Detection: GroundWater Monitoring,Interstitial Monitoring Second Containment,Line Tightness Testing,Other
Piping Material: Fiberglass Reinforced Plastic
Piping Type: Pressure (Remote)
Tank Construction: Double Walled,Fiberglass Reinforced Plastic
Impressed Device: Not reported
Latitude: 42.53925
Longitude: -83.20683

Name: SHELL - HUNTER
Address: 34977 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-0900
Facility Type: CLOSED

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SHELL - HUNTER (Continued)

U003319719

Facility ID: 00002267
Facility Region: 1
Owner Name: CATALYST DEVELOPMENT CO LLC
Owner Address: 100 W MICHIGAN AVE STE 300
Owner City: KALAMAZOO
Owner State: MI
Owner Zip: 49007
Owner Contact: Not reported
Owner Phone: 2694926811
Contact: Ms Patti Ownes
Contact Phone: (269) 492-6811
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 6
Capacity: 12000
Tank Status: Removed from Ground
Substance: Diesel,Gasoline
Install Date: 12/01/1999
Remove Date: 10/29/2003
Tank Number: UTK-070128-15
Tank Details Compartments: Not reported
Tank Release Detection: Automatic Tank Gauging
Pipe Release Detection: Automatic Line Leak Detectors,Interstitial Monitoring Double Walled Piping
Piping Material: Double Walled,Flexible Piping
Piping Type: Pressure (Remote)
Tank Construction: Fiberglass Reinforced Plastic
Impressed Device: Not reported
Latitude: 42.53925
Longitude: -83.20683

Name: SHELL - HUNTER
Address: 34977 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-0900
Facility Type: CLOSED
Facility ID: 00002267
Facility Region: 1
Owner Name: CATALYST DEVELOPMENT CO LLC
Owner Address: 100 W MICHIGAN AVE STE 300
Owner City: KALAMAZOO
Owner State: MI
Owner Zip: 49007
Owner Contact: Not reported
Owner Phone: 2694926811
Contact: Ms Patti Ownes
Contact Phone: (269) 492-6811
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SHELL - HUNTER (Continued)

U003319719

Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 5
Capacity: 15000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: 12/01/1999
Remove Date: 10/29/2003
Tank Number: UTK-003852-15
Tank Details Compartments: Not reported
Tank Release Detection: Automatic Tank Gauging
Pipe Release Detection: Automatic Line Leak Detectors, Interstitial Monitoring Double Walled Piping

Piping Material: Double Walled, Flexible Piping
Piping Type: Pressure (Remote)
Tank Construction: Fiberglass Reinforced Plastic
Impressed Device: Not reported
Latitude: 42.53925
Longitude: -83.20683

Name: SHELL - HUNTER
Address: 34977 WOODWARD AVE
City, State, Zip: BIRMINGHAM, MI 48009-0900
Facility Type: CLOSED
Facility ID: 00002267
Facility Region: 1
Owner Name: CATALYST DEVELOPMENT CO LLC
Owner Address: 100 W MICHIGAN AVE STE 300
Owner City: KALAMAZOO
Owner State: MI
Owner Zip: 49007
Owner Contact: Not reported
Owner Phone: 2694926811
Contact: Ms Patti Ownes
Contact Phone: (269) 492-6811
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 4
Capacity: 550
Tank Status: Removed from Ground
Substance: Used Oil
Install Date: 04/15/1949
Remove Date: 10/13/1989
Tank Number: UTK-070120-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SHELL - HUNTER (Continued)

U003319719

Piping Material: Galvanized Steel
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel
Impressed Device: Not reported
Latitude: 42.53925
Longitude: -83.20683

Name: SHELL - HUNTER
Address: 34977 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-0900
Facility Type: CLOSED
Facility ID: 00002267
Facility Region: 1
Owner Name: CATALYST DEVELOPMENT CO LLC
Owner Address: 100 W MICHIGAN AVE STE 300
Owner City: KALAMAZOO
Owner State: MI
Owner Zip: 49007
Owner Contact: Not reported
Owner Phone: 2694926811
Contact: Ms Patti Ownes
Contact Phone: (269) 492-6811
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 3
Capacity: 10000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: 12/01/1982
Remove Date: 12/07/1999
Tank Number: UTK-070116-15
Tank Details Compartments: Not reported
Tank Release Detection: Automatic Tank Gauging,Inventory Control
Pipe Release Detection: Line Tightness Testing
Piping Material: Fiberglass Reinforced Plastic
Piping Type: Pressure (Remote)
Tank Construction: Fiberglass Reinforced Plastic
Impressed Device: Not reported
Latitude: 42.53925
Longitude: -83.20683

Name: SHELL - HUNTER
Address: 34977 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-0900
Facility Type: CLOSED
Facility ID: 00002267
Facility Region: 1
Owner Name: CATALYST DEVELOPMENT CO LLC
Owner Address: 100 W MICHIGAN AVE STE 300
Owner City: KALAMAZOO

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SHELL - HUNTER (Continued)

U003319719

Owner State: MI
Owner Zip: 49007
Owner Contact: Not reported
Owner Phone: 2694926811
Contact: Ms Patti Ownes
Contact Phone: (269) 492-6811
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 2
Capacity: 10000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: 12/01/1982
Remove Date: 12/07/1999
Tank Number: UTK-027540-15
Tank Details Compartments: Not reported
Tank Release Detection: Automatic Tank Gauging,Inventory Control
Pipe Release Detection: Line Tightness Testing
Piping Material: Fiberglass Reinforced Plastic
Piping Type: Pressure (Remote)
Tank Construction: Fiberglass Reinforced Plastic
Impressed Device: Not reported
Latitude: 42.53925
Longitude: -83.20683

Name: SHELL - HUNTER
Address: 34977 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-0900
Facility Type: CLOSED
Facility ID: 00002267
Facility Region: 1
Owner Name: CATALYST DEVELOPMENT CO LLC
Owner Address: 100 W MICHIGAN AVE STE 300
Owner City: KALAMAZOO
Owner State: MI
Owner Zip: 49007
Owner Contact: Not reported
Owner Phone: 2694926811
Contact: Ms Patti Ownes
Contact Phone: (269) 492-6811
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 11

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SHELL - HUNTER (Continued)

U003319719

Capacity: 500
Tank Status: Removed from Ground
Substance: Used Oil
Install Date: Not reported
Remove Date: 02/09/2009
Tank Number: UTK-124418-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Other
Piping Material: Unknown
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel,Other
Impressed Device: Not reported
Latitude: 42.53925
Longitude: -83.20683

Name: SHELL - HUNTER
Address: 34977 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-0900
Facility Type: CLOSED
Facility ID: 00002267
Facility Region: 1
Owner Name: CATALYST DEVELOPMENT CO LLC
Owner Address: 100 W MICHIGAN AVE STE 300
Owner City: KALAMAZOO
Owner State: MI
Owner Zip: 49007
Owner Contact: Not reported
Owner Phone: 2694926811
Contact: Ms Patti Ownes
Contact Phone: (269) 492-6811
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 10
Capacity: Not reported
Tank Status: Removed from Ground
Substance: Kerosene
Install Date: Not reported
Remove Date: 12/01/1998
Tank Number: UTK-070381-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Bare Steel
Piping Type: Suction:Valve at Tank
Tank Construction: Asphalt Coated or Bare Steel
Impressed Device: Not reported
Latitude: 42.53925
Longitude: -83.20683

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SHELL - HUNTER (Continued)

U003319719

Name: SHELL - HUNTER
Address: 34977 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-0900
Facility Type: CLOSED
Facility ID: 00002267
Facility Region: 1
Owner Name: CATALYST DEVELOPMENT CO LLC
Owner Address: 100 W MICHIGAN AVE STE 300
Owner City: KALAMAZOO
Owner State: MI
Owner Zip: 49007
Owner Contact: Not reported
Owner Phone: 2694926811
Contact: Ms Patti Ownes
Contact Phone: (269) 492-6811
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 1
Capacity: 8000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: 09/01/1971
Remove Date: 12/07/1999
Tank Number: UTK-070109-15
Tank Details Compartments: Not reported
Tank Release Detection: Automatic Tank Gauging,Inventory Control
Pipe Release Detection: Line Tightness Testing
Piping Material: Fiberglass Reinforced Plastic
Piping Type: Pressure (Remote)
Tank Construction: Fiberglass Reinforced Plastic
Impressed Device: Not reported
Latitude: 42.53925
Longitude: -83.20683

INVENTORY:

Name: SHELL - HUNTER
Address: 34977 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009
Bea Number: Not reported
Township: Not reported
District: Southeast MI
Data Source: Part 213
Latitude: 42.53925
Longitude: -83.20683

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

G28
NNE
1/8-1/4
0.137 mi.
725 ft.

CATALYST DEVELOPMENT CO 8 LLC
34977 WOODWARD AVE
BIRMINGHAM, MI 48104
Site 3 of 5 in cluster G

AUL S104912434
BEA N/A
WDS

Relative:
Higher
Actual:
779 ft.

AUL:
 Name: BIRMINGHAM SERVICES INC. (SHELL - HUNTER)
 Address: 34977 WOODWARD AVENUE
 City,State,Zip: BIRMINGHAM, MI 44306
 Status: Pending
 Site Name: Not reported
 Property: On-site location
 Land Use Restriction Type: RC
 Program Type: Part 213
 Program Support Assigned User: Not reported
 Program Support Assigned Date: Not reported
 Legal Description Of Property: Not reported
 Based On The Deq Ref #: 11121309003
 MDEQ Reference Number: RC-RRD-213-09-003
 Property Or Description Restricted Area: Not reported
 Lead Division: RRD
 File Name Of Hyperlinked Legal Doc: Not reported
 Mapped Polygons Area In Acres: 0.29999999999999999
 Mapped Polygons Area In Square Miles: Not reported
 Date Data Entry Started: Not reported
 Date Data Entry Finished: Not reported
 Individual Or Staff Assoc With The Mapping: Not reported
 Program Used To Map Restricted Features: Not reported
 Date Legal Paperwork Stamped/Filed/Register Of Deeds: 01/12/2009
 Commercial I Land Use Restriction: 0
 Commercial Ii Land Use Restriction: 0
 Commercial Iii Land Use Restriction: 0
 Commercial Iv Land Use Restriction: 0
 Industrial Land Use Restriction: 0
 Residential Land Use Restriction: 1
 Recreational Land Use Restriction: 0
 Multiple Land-Use Restrictions: 0
 Site Specific Restrictions: 0
 Groundwater Consumption Restrictions: 0
 Groundwater Contact Restrictions: 0
 Special Well Construction Requirements: 0
 Special Building Restrictions: 0
 Excavation And Soil Movement Restrictions: 0
 Soil Movement Requirements: 0
 There Is A Restriction On All Construction: 0
 Monitoring Well Protected, No Tampering Or Removal: 0
 There Is An Exposure Barrier In Place: 0
 There Is A Health And Safety Plan: 0
 There Is A Permanent Marker On The Site: 0
 Comment: Gas Station, Birmingham Services Inc
 Map Comments: Not reported

BEA:
 Secondary Address: (FORMERLY 120 S. HUNTER STREET)
 BEA Number: 1071
 District: Southeast MI
 Date Received: 02/07/2000
 Submitter Name: ANDREW BOJI

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CATALYST DEVELOPMENT CO 8 LLC (Continued)

S104912434

Petition Determination: No Request
Petition Disclosure: 0
Category: Same Hazardous Substance(s)
Determination 20107A: No Request
Reviewer: tempm
Division Assigned: Storage Tank Division

Secondary Address: Not reported
BEA Number: 4000
District: Southeast MI
Date Received: 09/12/2008
Submitter Name: Catalyst Development Co. 8, LLC
Petition Determination: No Request
Petition Disclosure: 0
Category: Same Hazardous Substance(s)
Determination 20107A: No Request
Reviewer: tiernang
Division Assigned: Storage Tank Division

Secondary Address: (Formerly 120 Hunter)
BEA Number: 2187
District: Southeast MI
Date Received: 11/05/2003
Submitter Name: Fuller Central Park Properties IV, LLC
Petition Determination: Affirmed
Petition Disclosure: 1
Category: No Hazardous Substance(s)
Determination 20107A: Affirmed
Reviewer: mitchelf
Division Assigned: Storage Tank Division

WDS:

Name: CATALYST DEVELOPMENT CO 8 LLC
Address: 34977 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48104
Site Id: MIR000044230
WMD Id: 413573
Site Specific Name: CATALYST DEVELOPMENT CO 8 LLC
Mailing Address: 34977 WOODWARD AVE
Mailing City/State/Zip: 48104
Mailing County: OAKLAND

G29
NNE
1/8-1/4
0.137 mi.
725 ft.

CATALYST DEVELOPMENT CO 8 LLC
34977 WOODWARD AVE
BIRMINGHAM, MI 48009
Site 4 of 5 in cluster G

RCRA-VSQG 1001961007
FINDS MIR000044230
ECHO

Relative:
Higher
Actual:
779 ft.

RCRA-VSQG:
Date Form Received by Agency: 2009-01-20 00:00:00.0
Handler Name: CATALYST DEVELOPMENT CO 8 LLC
Handler Address: 34977 WOODWARD AVE
Handler City,State,Zip: BIRMINGHAM, MI 48104
EPA ID: MIR000044230
Contact Name: MIKE BRYANT
Contact Address: 34977 WOODWARD AVE
Contact City,State,Zip: BIRMINGHAM, MI 48104

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

CATALYST DEVELOPMENT CO 8 LLC (Continued)

1001961007

Contact Telephone:	269-217-5157
Contact Fax:	Not reported
Contact Email:	Not reported
Contact Title:	Not reported
EPA Region:	05
Land Type:	Private
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
Non-Notifier:	Not reported
Biennial Report Cycle:	Not reported
Accessibility:	Not reported
Active Site Indicator:	Handler Activities
State District Owner:	Not reported
State District:	Not reported
Mailing Address:	34977 WOODWARD AVE
Mailing City, State, Zip:	BIRMINGHAM, MI 48104
Owner Name:	CATALYST DEVELOPMENT CO & LLC
Owner Type:	Private
Operator Name:	CATALYST DEVELOPMENT CO & LLC
Operator Type:	Private
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CATALYST DEVELOPMENT CO 8 LLC (Continued)

1001961007

Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Hazardous Waste Summary:

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator:	Owner
Owner/Operator Name:	CATALYST DEVELOPMENT CO & LLC
Legal Status:	Private
Date Became Current:	2008-07-02 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	CATALYST DEVELOPMENT CO & LLC
Legal Status:	Private
Date Became Current:	2008-07-02 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	CATALYST DEVELOPMENT CO & LLC
Legal Status:	Private
Date Became Current:	2008-07-02 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CATALYST DEVELOPMENT CO 8 LLC (Continued)

1001961007

Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator
Owner/Operator Name: CATALYST DEVELOPMENT CO & LLC
Legal Status: Private
Date Became Current: 2008-07-02 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator
Owner/Operator Name: CATALYST DEVELOPMENT CO & LLC
Legal Status: Private
Date Became Current: 2008-07-02 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator
Owner/Operator Name: CATALYST DEVELOPMENT CO & LLC
Legal Status: Private
Date Became Current: 2008-07-02 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 2002-06-10 00:00:00.0
Handler Name: CATALYST DEVELOPMENT CO 8 LLC
Federal Waste Generator Description: Not a generator, verified
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: No
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

Receive Date: 2000-01-20 00:00:00.0
Handler Name: CATALYST DEVELOPMENT CO 8 LLC
Federal Waste Generator Description: Small Quantity Generator

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CATALYST DEVELOPMENT CO 8 LLC (Continued)

1001961007

State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2009-01-20 00:00:00.0
Handler Name:	CATALYST DEVELOPMENT CO 8 LLC
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	Yes
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

List of NAICS Codes and Descriptions:

NAICS Code:	44719
NAICS Description:	OTHER GASOLINE STATIONS

Facility Has Received Notices of Violations:

Violations:	No Violations Found
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Evaluation Action Summary:

Evaluations:	No Evaluations Found
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FINDS:

Registry ID:	110006413087
--------------	--------------

Click Here:

Environmental Interest/Information System:

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid:	1001961007
Registry ID:	110006413087
DFR URL:	http://echo.epa.gov/detailed-facility-report?fid=110006413087
Name:	CATALYST DEVELOPMENT CO 8 LLC
Address:	34977 WOODWARD AVE

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

CATALYST DEVELOPMENT CO 8 LLC (Continued)

1001961007

City,State,Zip: BIRMINGHAM, MI 48009

30
North
1/8-1/4
0.139 mi.
735 ft.

BURTON KATZMAN
336 E MAPLE RD
BIRMINGHAM, MI 48009

RCRA NonGen / NLR

1007990194
MIK851343467

Relative:
Higher
Actual:
780 ft.

RCRA NonGen / NLR:	
Date Form Received by Agency:	2005-11-01 00:00:00.0
Handler Name:	BURTON KATZMAN
Handler Address:	336 E MAPLE RD
Handler City,State,Zip:	BIRMINGHAM, MI 48009
EPA ID:	MIK851343467
Contact Name:	COLLEEN LOREDO
Contact Address:	336 E MAPLE RD
Contact City,State,Zip:	BIRMINGHAM, MI 48009
Contact Telephone:	313-382-2500
Contact Fax:	Not reported
Contact Email:	Not reported
Contact Title:	Not reported
EPA Region:	05
Land Type:	Other
Federal Waste Generator Description:	Not a generator, verified
Non-Notifier:	Not reported
Biennial Report Cycle:	Not reported
Accessibility:	Not reported
Active Site Indicator:	Not reported
State District Owner:	Not reported
State District:	Not reported
Mailing Address:	30100 TELEGRAPH RD
Mailing City,State,Zip:	BINGHAM FARMS, MI 48025
Owner Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Owner Type:	Private
Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Operator Type:	Private
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

BURTON KATZMAN (Continued)

1007990194

2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Hazardous Waste Summary:

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator:	Operator
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2005-11-02 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2005-11-02 00:00:00.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BURTON KATZMAN (Continued)

1007990194

Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2005-11-02 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2005-11-02 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2005-11-02 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2005-11-02 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BURTON KATZMAN (Continued)

1007990194

Historic Generators:

Receive Date: 1980-01-01 00:00:00.0
Handler Name: BURTON KATZMAN
Federal Waste Generator Description: Not a generator, verified
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: No
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

Receive Date: 2005-02-22 00:00:00.0
Handler Name: BURTON KATZMAN
Federal Waste Generator Description: Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: No
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

Receive Date: 2005-11-01 00:00:00.0
Handler Name: BURTON KATZMAN
Federal Waste Generator Description: Not a generator, verified
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 45211
NAICS Description: DEPARTMENT STORES

Facility Has Received Notices of Violations:

Violations: No Violations Found

Evaluation Action Summary:

Evaluations: No Evaluations Found

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

G31
NNE
1/8-1/4
0.142 mi.
751 ft.

CATALYST DEVELOPMENT CO. 8, LLC
34977 WOODWARD AVENUE
OAKLAND (County), MI

INVENTORY **S114029235**
N/A

Site 5 of 5 in cluster G

Relative:
Higher

INVENTORY:

Actual:
779 ft.

Name: CATALYST DEVELOPMENT CO. 8, LLC
Address: 34977 WOODWARD AVENUE
City,State,Zip: MI
Bea Number: 200804000LV
Township: Birmingham
District: Southeast MI
Data Source: BEA
Latitude: 42.54663
Longitude: -83.21171

H32
ENE
1/8-1/4
0.147 mi.
774 ft.

MALLY, C . LANE PROPERTY
575 SOUTH HUNTER BLVD.
BIRMINGHAM, MI

BEA **S104910029**
N/A

Site 3 of 4 in cluster H

Relative:
Lower

BEA:

Actual:
766 ft.

Secondary Address: Not reported
BEA Number: 107
District: Southeast MI
Date Received: 05/09/1996
Submitter Name: C. LANE MALLY
Petition Determination: Affirmed
Petition Disclosure: 1
Category: No Hazardous Substance(s)
Determination 20107A: No Request
Reviewer: mitchelf
Division Assigned: Storage Tank Division

H33
ENE
1/8-1/4
0.147 mi.
777 ft.

CARMAN TILLARD
910 N HUNTER BLVD
BIRMINGHAM, MI 48009

LUST **U004275219**
UST **N/A**

Site 4 of 4 in cluster H

Relative:
Lower

LUST:

Actual:
765 ft.

Name: CARMAN TILLARD
Address: 910 N HUNTER BLVD
City,State,Zip: BIRMINGHAM, MI 48009-
Facility ID: 50001216
Source: STATE OF MICHIGAN
Owner Name: NrtOwner
Owner Address: Not reported
Owner City,St,Zip: UNKNOWN, MI
Owner Contact: Not reported
Owner Phone: Not reported
Country: USA
District: Warren
Site Name: Carman Tillard
Latitude: 42.55449
Longitude: -83.21908

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CARMAN TILLARD (Continued)

U004275219

Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-0309-90
Release Date: 02/20/1990
Substance Released: Not reported
Release Status: Closed
Release Closed Date: 04/04/1996

UST:

Name: CARMAN TILLARD
Address: 910 N HUNTER BLVD
City,State,Zip: BIRMINGHAM, MI 48009
Facility Type: CLOSED
Facility ID: 50001216
Facility Region: 1
Owner Name: NRT OWNER
Owner Address: UNKNOWN
Owner City: UNKNOWN
Owner State: MI
Owner Zip: 99999
Owner Contact: Not reported
Owner Phone: Not reported
Contact: Not reported
Contact Phone: Not reported
Date of Collection: Not reported
Accuracy: Not reported
Horizontal Datum: Not reported
Accuracy Value Unit: Not reported
Source: Not reported
Point Line Area: Not reported
Desc Category: Not reported
Method of Collection: Not reported
District: Not reported
Tank ID: 1
Capacity: Not reported
Tank Status: Non-Registered Tank
Substance: Not reported
Install Date: Not reported
Remove Date: Not reported
Tank Number: UTK-041616-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Not reported
Piping Type: Not reported
Tank Construction: Not reported
Impressed Device: Not reported
Latitude: Not reported
Longitude: Not reported

UST 2:

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CARMAN TILLARD (Continued)

U004275219

Name: CARMAN TILLARD
Address: 910 N HUNTER BLVD
City,State,Zip: BIRMINGHAM, MI 48009
Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: Not Recorded
Owner City: Not reported
Owner State: Not reported
Owner Zip: 99999
Owner Phone: Not reported
Record ID: UTK-041616-15
Facility Status: Not reported
Tank ID: Not reported
Tank Status: Non-Registered Tank
Tank Capacity: Not reported
Tank Content: Not reported
Install Date: 01/01/1900
Removal Date: 01/01/1900
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Not reported
Tank Constr. Material: Not reported

I34
East
1/8-1/4
0.148 mi.
783 ft.

FRED LAVERY CO
34602 WOODWARD AVE
BIRMINGHAM, MI 48009

UST U003323187
N/A

Site 1 of 2 in cluster I

Relative:
Lower
Actual:
763 ft.

UST:
Name: FRED LAVERY CO
Address: 34602 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-0924
Facility Type: CLOSED
Facility ID: 00014864
Facility Region: 1
Owner Name: FRED LAVERY CO
Owner Address: 499 S HUNTER BLVD
Owner City: BIRMINGHAM
Owner State: MI
Owner Zip: 48009-6706
Owner Contact: Not reported
Owner Phone: 3136455930
Contact: BILL STANLEY
Contact Phone: (313) 645-5930
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 1
Capacity: 550
Tank Status: Removed from Ground
Substance: Used Oil

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

FRED LAVERY CO (Continued)

U003323187

Install Date: 02/27/1971
 Remove Date: 07/19/1990
 Tank Number: UTK-099226-15
 Tank Details Compartments: Not reported
 Tank Release Detection: Not reported
 Pipe Release Detection: Not reported
 Piping Material: Galvanized Steel
 Piping Type: Not reported
 Tank Construction: Asphalt Coated or Bare Steel
 Impressed Device: Not reported
 Latitude: 42.54307
 Longitude: -83.20982

I35
East
1/8-1/4
0.148 mi.
783 ft.

FRED LAVERY CO
34602 WOODWARD AVE
BIRMINGHAM, MI 48009

RCRA-VSQQ 1000528909
FINDS MID985613389
ECHO

Site 2 of 2 in cluster I

Relative:
Lower
Actual:
763 ft.

RCRA-VSQQ:
 Date Form Received by Agency: 2010-03-23 00:00:00.0
 Handler Name: FRED LAVERY CO
 Handler Address: 34602 WOODWARD AVE
 Handler City,State,Zip: BIRMINGHAM, MI 48009
 EPA ID: MID985613389
 Contact Name: ALI HAJI-SHETKH
 Contact Address: 34602 WOODWARD AVE
 Contact City,State,Zip: BIRMINGHAM, MI 48009
 Contact Telephone: 248-645-5930
 Contact Fax: Not reported
 Contact Email: Not reported
 Contact Title: Not reported
 EPA Region: 05
 Land Type: Private
 Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
 Non-Notifier: Not reported
 Biennial Report Cycle: Not reported
 Accessibility: Not reported
 Active Site Indicator: Handler Activities
 State District Owner: Not reported
 State District: Not reported
 Mailing Address: PO BOX 3017
 Mailing City,State,Zip: BIRMINGHAM, MI 48012
 Owner Name: LAVERY FRED
 Owner Type: Private
 Operator Name: LAVERY FRED
 Operator Type: Private
 Short-Term Generator Activity: No
 Importer Activity: No
 Mixed Waste Generator: No
 Transporter Activity: No
 Transfer Facility Activity: No
 Recycler Activity with Storage: No
 Small Quantity On-Site Burner Exemption: No
 Smelting Melting and Refining Furnace Exemption: No
 Underground Injection Control: No
 Off-Site Waste Receipt: No
 Universal Waste Indicator: No

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

FRED LAVERY CO (Continued)

1000528909

Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Hazardous Waste Summary:

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator:	Operator
Owner/Operator Name:	LAVERY FRED
Legal Status:	Private
Date Became Current:	1991-05-17 00:00:00.
Date Ended Current:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FRED LAVERY CO (Continued)

1000528909

Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	LAVERY FRED
Legal Status:	Private
Date Became Current:	1991-05-17 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	LAVERY FRED
Legal Status:	Private
Date Became Current:	1991-05-17 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	LAVERY FRED
Legal Status:	Private
Date Became Current:	1991-05-17 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	LAVERY FRED
Legal Status:	Private
Date Became Current:	1991-05-17 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	LAVERY FRED

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FRED LAVERY CO (Continued)

1000528909

Legal Status: Private
Date Became Current: 1991-05-17 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
Owner/Operator Name: LAVERY FRED
Legal Status: Private
Date Became Current: 1991-05-17 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
Owner/Operator Name: LAVERY FRED
Legal Status: Private
Date Became Current: 1991-05-17 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
Owner/Operator Name: LAVERY FRED
Legal Status: Private
Date Became Current: 1991-05-17 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator
Owner/Operator Name: LAVERY FRED
Legal Status: Private
Date Became Current: 1991-05-17 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FRED LAVERY CO (Continued)

1000528909

Owner/Operator Indicator: Operator
Owner/Operator Name: LAVERY FRED
Legal Status: Private
Date Became Current: 1991-05-17 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
Owner/Operator Name: LAVERY FRED
Legal Status: Private
Date Became Current: 1991-05-17 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator
Owner/Operator Name: LAVERY FRED
Legal Status: Private
Date Became Current: 1991-05-17 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator
Owner/Operator Name: LAVERY FRED
Legal Status: Private
Date Became Current: 1991-05-17 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 1998-10-14 00:00:00.0
Handler Name: FRED LAVERY CO
Federal Waste Generator Description: Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FRED LAVERY CO (Continued)

1000528909

Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	1991-05-17 00:00:00.0
Handler Name:	FRED LAVERY CO
Federal Waste Generator Description:	Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2002-08-13 00:00:00.0
Handler Name:	FRED LAVERY CO
Federal Waste Generator Description:	Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2008-07-28 00:00:00.0
Handler Name:	FRED LAVERY CO
Federal Waste Generator Description:	Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2009-03-16 00:00:00.0
Handler Name:	FRED LAVERY CO
Federal Waste Generator Description:	Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FRED LAVERY CO (Continued)

1000528909

Receive Date: 2009-10-19 00:00:00.0
Handler Name: FRED LAVERY CO
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: No
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

Receive Date: 2010-03-23 00:00:00.0
Handler Name: FRED LAVERY CO
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 44112
NAICS Description: USED CAR DEALERS

Facility Has Received Notices of Violation:

Found Violation: Yes
Agency Which Determined Violation: State
Violation Short Description: LDR - General
Date Violation was Determined: 2009-10-19 00:00:00.0
Actual Return to Compliance Date: 2009-11-09 00:00:00.0
Return to Compliance Qualifier: Documented
Violation Responsible Agency: State
Scheduled Compliance Date: Not reported
Enforcement Identifier: 001
Date of Enforcement Action: 2009-10-20 00:00:00.0
Enforcement Responsible Agency: State
Enforcement Docket Number: Not reported
Enforcement Attorney: Not reported
Corrective Action Component: No
Appeal Initiated Date: Not reported
Appeal Resolution Date: Not reported
Disposition Status Date: Not reported
Disposition Status: Not reported
Disposition Status Description: Not reported
Consent/Final Order Sequence Number: Not reported
Consent/Final Order Respondent Name: Not reported
Consent/Final Order Lead Agency: Not reported
Enforcement Type: WRITTEN INFORMAL
Enforcement Responsible Person: Not reported
Enforcement Responsible Sub-Organization: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FRED LAVERY CO (Continued)

1000528909

SEP Sequence Number: Not reported
SEP Expenditure Amount: Not reported
SEP Scheduled Completion Date: Not reported
SEP Actual Date: Not reported
SEP Defaulted Date: Not reported
SEP Type: Not reported
SEP Type Description: Not reported
Proposed Amount: Not reported
Final Monetary Amount: Not reported
Paid Amount: Not reported
Final Count: Not reported
Final Amount: Not reported

Found Violation: Yes
Agency Which Determined Violation: State
Violation Short Description: State Statute or Regulation
Date Violation was Determined: 2009-10-19 00:00:00.0
Actual Return to Compliance Date: 2009-11-09 00:00:00.0
Return to Compliance Qualifier: Documented
Violation Responsible Agency: State
Scheduled Compliance Date: Not reported
Enforcement Identifier: 001
Date of Enforcement Action: 2009-10-20 00:00:00.0
Enforcement Responsible Agency: State
Enforcement Docket Number: Not reported
Enforcement Attorney: Not reported
Corrective Action Component: No
Appeal Initiated Date: Not reported
Appeal Resolution Date: Not reported
Disposition Status Date: Not reported
Disposition Status: Not reported
Disposition Status Description: Not reported
Consent/Final Order Sequence Number: Not reported
Consent/Final Order Respondent Name: Not reported
Consent/Final Order Lead Agency: Not reported
Enforcement Type: WRITTEN INFORMAL
Enforcement Responsible Person: Not reported
Enforcement Responsible Sub-Organization: Not reported
SEP Sequence Number: Not reported
SEP Expenditure Amount: Not reported
SEP Scheduled Completion Date: Not reported
SEP Actual Date: Not reported
SEP Defaulted Date: Not reported
SEP Type: Not reported
SEP Type Description: Not reported
Proposed Amount: Not reported
Final Monetary Amount: Not reported
Paid Amount: Not reported
Final Count: Not reported
Final Amount: Not reported

Evaluation Action Summary:
Evaluation Date: 2009-10-19 00:00:00.0
Evaluation Responsible Agency: State
Found Violation: Yes
Evaluation Type Description: COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FRED LAVERY CO (Continued)

1000528909

Evaluation Responsible Sub-Organization: Not reported
Actual Return to Compliance Date: 2009-11-09 00:00:00.0
Scheduled Compliance Date: Not reported
Date of Request: Not reported
Date Response Received: Not reported
Request Agency: Not reported
Former Citation: Not reported

Evaluation Date: 2009-10-19 00:00:00.0
Evaluation Responsible Agency: State
Found Violation: Yes
Evaluation Type Description: COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier: Not reported
Evaluation Responsible Sub-Organization: Not reported
Actual Return to Compliance Date: 2009-11-09 00:00:00.0
Scheduled Compliance Date: Not reported
Date of Request: Not reported
Date Response Received: Not reported
Request Agency: Not reported
Former Citation: Not reported

FINDS:

Registry ID: 110003657757

Click Here:

Environmental Interest/Information System:

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000528909
Registry ID: 110003657757
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110003657757>
Name: FRED LAVERY CO
Address: 34602 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009

J36
NW
1/8-1/4
0.150 mi.
793 ft.

**165 - 217 PIERCE STREET
165 - 217 PIERCE STREET
OAKLAND (County), MI 48009**

**INVENTORY S120851764
N/A**

Site 1 of 3 in cluster J

**Relative:
Higher
Actual:
781 ft.**

INVENTORY:
Name: 165 - 217 PIERCE STREET
Address: 165 - 217 PIERCE STREET
City,State,Zip: MI 48009
Bea Number: 201707682LV
Township: Birmingham

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

165 - 217 PIERCE STREET (Continued)

S120851764

District: Southeast MI
 Data Source: BEA
 Latitude: Not reported
 Longitude: Not reported

**F37
 NNW
 1/8-1/4
 0.152 mi.
 804 ft.**

**FULLER CENTRAL PARK PROPERTIES LLC
 111 S OLD WOODWARD
 BIRMINGHAM, MI 48009**

**RCRA-VSQQ 1016142307
 FINDS MIK478599987
 ECHO**

Site 2 of 2 in cluster F

**Relative:
 Higher
 Actual:
 781 ft.**

RCRA-VSQQ:
 Date Form Received by Agency: 2013-03-12 00:00:00.0
 Handler Name: FULLER CENTRAL PARK PROPERTIES LLC
 Handler Address: 111 S OLD WOODWARD
 Handler City,State,Zip: BIRMINGHAM, MI 48009
 EPA ID: MIK478599987
 Contact Name: STEVEN G QUINTAL
 Contact Address: Not reported
 Contact City,State,Zip: Not reported
 Contact Telephone: 248-642-0024
 Contact Fax: 248-642-0136
 Contact Email: STEVE@FULLERCENTRALPARK.COM
 Contact Title: Not reported
 EPA Region: 05
 Land Type: Private
 Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
 Non-Notifier: Not reported
 Biennial Report Cycle: Not reported
 Accessibility: Not reported
 Active Site Indicator: Handler Activities
 State District Owner: Not reported
 State District: Not reported
 Mailing Address: 112 PEABODY ST
 Mailing City,State,Zip: BIRMINGHAM, MI 48009
 Owner Name: FULLER CENTRAL PARK PROPERTIES LLC
 Owner Type: Private
 Operator Name: FULLER CENTRAL PARK PROPERTIES LLC
 Operator Type: Private
 Short-Term Generator Activity: No
 Importer Activity: No
 Mixed Waste Generator: No
 Transporter Activity: No
 Transfer Facility Activity: No
 Recycler Activity with Storage: No
 Small Quantity On-Site Burner Exemption: No
 Smelting Melting and Refining Furnace Exemption: No
 Underground Injection Control: No
 Off-Site Waste Receipt: No
 Universal Waste Indicator: No
 Universal Waste Destination Facility: No
 Federal Universal Waste: No
 Active Site Fed-Reg Treatment Storage and Disposal Facility: Not reported
 Active Site Converter Treatment storage and Disposal Facility: Not reported
 Active Site State-Reg Treatment Storage and Disposal Facility: Not reported
 Active Site State-Reg Handler: ---
 Federal Facility Indicator: Not reported
 Hazardous Secondary Material Indicator: NN

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

FULLER CENTRAL PARK PROPERTIES LLC (Continued)

1016142307

Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDs Where RCRA CA has Been Imposed Universe:	No
TSDs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2013-03-13 09:15:57.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Hazardous Waste Summary:

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator:	Owner
Owner/Operator Name:	FULLER CENTRAL PARK PROPERTIES LLC
Legal Status:	Private
Date Became Current:	1976-06-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City, State, Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Operator
---------------------------	----------

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FULLER CENTRAL PARK PROPERTIES LLC (Continued)

1016142307

Owner/Operator Name: FULLER CENTRAL PARK PROPERTIES LLC
Legal Status: Private
Date Became Current: 1976-06-01 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 2013-03-12 00:00:00.0
Handler Name: FULLER CENTRAL PARK PROPERTIES LLC
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 531312
NAICS Description: NONRESIDENTIAL PROPERTY MANAGERS

Facility Has Received Notices of Violations:

Violations: No Violations Found

Evaluation Action Summary:

Evaluations: No Evaluations Found

FINDS:

Registry ID: 110055448608

Click Here:

Environmental Interest/Information System:

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1016142307
Registry ID: 110055448608
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110055448608>

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FULLER CENTRAL PARK PROPERTIES LLC (Continued)

1016142307

Name: FULLER CENTRAL PARK PROPERTIES LLC
Address: 111 S OLD WOODWARD
City,State,Zip: BIRMINGHAM, MI 48009

38
South
1/8-1/4
0.158 mi.
835 ft.

BARNUM HEALTH CENTER
746 PURDY ST
BIRMINGHAM, MI 48009

UST U003833692
N/A

Relative:
Lower
Actual:
764 ft.

UST:
Name: BARNUM HEALTH CENTER
Address: 746 PURDY ST
City,State,Zip: BIRMINGHAM 48009-1768
Facility Type: CLOSED
Facility ID: 00017691
Facility Region: Not reported
Owner Name: BEAUMONT INFORMATION SERVICE CENTER
Owner Address: 1350 STEPHENSON HWY
Owner City: TROY
Owner State: MI
Owner Zip: 48083
Owner Contact: Not reported
Owner Phone: 2485516351
Contact: JIM ANDERSON
Contact Phone: (734) 285-3737
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 1
Capacity: 10000
Tank Status: Temporarily Out of Use
Substance: Diesel,Other(HEAT-CONSUMPTIVE USE)
Install Date: 05/01/1951
Remove Date: Not reported
Tank Number: Not reported
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Not reported
Piping Type: Not reported
Tank Construction: Not reported
Impressed Device: Not reported
Latitude: 42.54198
Longitude: -83.21291

MAP FINDINGS

Map ID			EDR ID Number
Direction			EPA ID Number
Distance			
Elevation	Site	Database(s)	

K39 SE 1/8-1/4 0.162 mi. 857 ft.	VILLAGE JEEP EAGLE 666 S WOODWARD BIRMINGHAM, MI 48011 Site 1 of 3 in cluster K	UST	U003320620 N/A
---	--	------------	---------------------------------

Relative: Lower Actual: 761 ft.	UST: Name: VILLAGE JEEP EAGLE Address: 666 S WOODWARD City,State,Zip: BIRMINGHAM, MI 48011 Facility Type: CLOSED Facility ID: 00005612 Facility Region: Not reported Owner Name: CHRYSLER REALTY CORP Owner Address: 1450 W LONG LAKE RD STE 280 Owner City: TROY Owner State: MI Owner Zip: 48098 Owner Contact: Not reported Owner Phone: 3137370299 Contact: F.G. NEUMAN Contact Phone: (313) 229-8639 Date of Collection: Not reported Accuracy: 15 Horizontal Datum: NAD83 Accuracy Value Unit: METERS Source: STATE OF MICHIGAN Point Line Area: POINT Desc Category: Not reported Method of Collection: Interpolation-Map District: Region 1 - SE Michigan District Office Tank ID: 1 Capacity: 250 Tank Status: Removed from Ground Substance: Not reported Install Date: 05/07/1966 Remove Date: 08/30/1990 Tank Number: UTK-005255-15 Tank Details Compartments: Not reported Tank Release Detection: Not reported Pipe Release Detection: Not reported Piping Material: Unknown Piping Type: Not reported Tank Construction: Unknown Impressed Device: Not reported Latitude: 42.54253 Longitude: -83.20964	
--	---	--

L40 NE 1/8-1/4 0.162 mi. 858 ft.	HOLIDAY INN 34952 WOODWARD AVE BIRMINGHAM, MI 48009 Site 1 of 5 in cluster L	RCRA-VSQG	1007098585 MIK541799672
---	---	------------------	--

Relative: Higher Actual: 774 ft.	RCRA-VSQG: Date Form Received by Agency: 2006-07-31 00:00:00.0 Handler Name: HOLIDAY INN Handler Address: 34952 WOODWARD AVE Handler City,State,Zip: BIRMINGHAM, MI 48009 EPA ID: MIK541799672	
---	--	--

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

HOLIDAY INN (Continued)

1007098585

Contact Name:	JOHN SCHIMETZ
Contact Address:	34952 WOODWARD AVE
Contact City,State,Zip:	BIRMINGHAM, MI 48009
Contact Telephone:	734-855-0105
Contact Fax:	Not reported
Contact Email:	Not reported
Contact Title:	Not reported
EPA Region:	05
Land Type:	Private
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
Non-Notifier:	Not reported
Biennial Report Cycle:	Not reported
Accessibility:	Not reported
Active Site Indicator:	Handler Activities
State District Owner:	Not reported
State District:	Not reported
Mailing Address:	11853 BELDEN CT
Mailing City,State,Zip:	LIVONIA, MI 48150
Owner Name:	HOLIDAY INNS
Owner Type:	Private
Operator Name:	HOLIDAY INNS
Operator Type:	Private
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HOLIDAY INN (Continued)

1007098585

Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSD Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Hazardous Waste Summary:

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator:	Operator
Owner/Operator Name:	HOLIDAY INNS
Legal Status:	Private
Date Became Current:	2001-09-18 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	HOLIDAY INNS
Legal Status:	Private
Date Became Current:	2001-09-18 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Operator
Owner/Operator Name:	HOLIDAY INNS
Legal Status:	Private
Date Became Current:	2001-09-18 00:00:00.
Date Ended Current:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HOLIDAY INN (Continued)

1007098585

Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
Owner/Operator Name: HOLIDAY INNS
Legal Status: Private
Date Became Current: 2001-09-18 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 2006-07-31 00:00:00.0
Handler Name: HOLIDAY INN
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

Receive Date: 2001-09-18 00:00:00.0
Handler Name: HOLIDAY INN
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: No
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 72111
NAICS Description: HOTELS (EXCEPT CASINO HOTELS) AND MOTELS

Facility Has Received Notices of Violations:

Violations: No Violations Found

Evaluation Action Summary:

Evaluations: No Evaluations Found

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

M41
ESE
1/8-1/4
0.165 mi.
870 ft.

GOLLING MOTORS, INC.
34500 WOODWARD
BIRMINGHAM, MI 48009

Site 1 of 2 in cluster M

INVENTORY **S111333595**
BEA **N/A**

Relative:
Lower

Actual:
762 ft.

INVENTORY:
Name: GOLLING MOTORS, INC.
Address: 34500 WOODWARD
City,State,Zip: BIRMINGHAM, MI 48009
Bea Number: Not reported
Township: Birmingham
District: Southeast MI
Data Source: Part 201
Latitude: 42.54345
Longitude: -83.20896

BEA:
Secondary Address: Not reported
BEA Number: 4941
District: Southeast MI
Date Received: 10/05/2011
Submitter Name: Golling Motors, Inc.
Petition Determination: No Request
Petition Disclosure: 0
Category: Not reported
Determination 20107A: No Request
Reviewer: berakr
Division Assigned: RD

M42
ESE
1/8-1/4
0.165 mi.
870 ft.

GOLLING MOTORS, INC.
34500 WOODWARD AVENUE
OAKLAND (County), MI 48009

Site 2 of 2 in cluster M

INVENTORY **S114029283**
BEA **N/A**

Relative:
Lower

Actual:
762 ft.

INVENTORY:
Name: GOLLING MOTORS, INC.
Address: 34500 WOODWARD AVENUE
City,State,Zip: MI 48009
Bea Number: 201104941LV
Township: Birmingham
District: Southeast MI
Data Source: BEA
Latitude: 42.54345
Longitude: -83.20896

K43
SE
1/8-1/4
0.169 mi.
894 ft.

VILLAGE AMC/JEEP INC
666 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

Site 2 of 3 in cluster K

RCRA NonGen / NLR **1000276202**
FINDS **MID058819707**
ECHO

Relative:
Lower

Actual:
760 ft.

RCRA NonGen / NLR:
Date Form Received by Agency: 1998-09-17 00:00:00.0
Handler Name: VILLAGE AMC/JEEP INC
Handler Address: 666 S OLD WOODWARD AVE
Handler City,State,Zip: BIRMINGHAM, MI 48009

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

VILLAGE AMC/JEEP INC (Continued)

1000276202

EPA ID:	MID058819707
Contact Name:	ROBERT CANN
Contact Address:	666 S OLD WOODWARD AVE
Contact City,State,Zip:	BIRMINGHAM, MI 48009
Contact Telephone:	313-646-3900
Contact Fax:	Not reported
Contact Email:	Not reported
Contact Title:	Not reported
EPA Region:	05
Land Type:	Private
Federal Waste Generator Description:	Not a generator, verified
Non-Notifier:	Not reported
Biennial Report Cycle:	Not reported
Accessibility:	Not reported
Active Site Indicator:	Not reported
State District Owner:	Not reported
State District:	Not reported
Mailing Address:	666 S OLD WOODWARD AVE
Mailing City,State,Zip:	BIRMINGHAM, MI 48009
Owner Name:	VILLAGE AMC/JEEP INC
Owner Type:	Private
Operator Name:	VILLAGE AMC/JEEP INC
Operator Type:	Private
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDs Where RCRA CA has Been Imposed Universe:	No
TSDs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

VILLAGE AMC/JEEP INC (Continued)

1000276202

TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Hazardous Waste Summary:

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator:	Operator
Owner/Operator Name:	VILLAGE AMC/JEEP INC
Legal Status:	Private
Date Became Current:	1970-01-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Operator
Owner/Operator Name:	VILLAGE AMC/JEEP INC
Legal Status:	Private
Date Became Current:	1970-01-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	VILLAGE AMC/JEEP INC
Legal Status:	Private
Date Became Current:	1970-01-01 00:00:00.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

VILLAGE AMC/JEEP INC (Continued)

1000276202

Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
Owner/Operator Name: VILLAGE AMC/JEEP INC
Legal Status: Private
Date Became Current: 1970-01-01 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 1998-09-17 00:00:00.0
Handler Name: VILLAGE AMC/JEEP INC
Federal Waste Generator Description: Not a generator, verified
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

Receive Date: 1985-09-09 00:00:00.0
Handler Name: VILLAGE AMC/JEEP INC
Federal Waste Generator Description: Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: No
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 11131
NAICS Description: ORANGE GROVES

Facility Has Received Notices of Violations:

Violations: No Violations Found

Evaluation Action Summary:

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

VILLAGE AMC/JEEP INC (Continued)

1000276202

Evaluations: No Evaluations Found

FINDS:

Registry ID: 110003599428

Click Here:

Environmental Interest/Information System:

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

Click this hyperlink while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000276202
Registry ID: 110003599428
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110003599428>
Name: VILLAGE AMC/JEEP INC
Address: 666 S OLD WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009

N44
NNE
1/8-1/4
0.169 mi.
894 ft.

SUNOCO #0008-4178
35001 WOODWARD AVE
BIRMINGHAM, MI 48009
Site 1 of 2 in cluster N

LUST **U003320721**
UST **N/A**
INVENTORY
BEA
WDS

Relative:
Higher
Actual:
780 ft.

LUST:
Name: SUNOCO #0008-4178
Address: 35001 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-
Facility ID: 00005935
Source: STATE OF MICHIGAN
Owner Name: SunocoInc (R&M)
Owner Address: Not reported
Owner City,St,Zip: UNKNOWN, MI
Owner Contact: Not reported
Owner Phone: Not reported
Country: USA
District: Warren
Site Name: Sunoco #0008-4178
Latitude: 42.54698
Longitude: -83.21428
Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-0924-96

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUNOCO #0008-4178 (Continued)

U003320721

Release Date: 11/07/1996
Substance Released: Unknown
Release Status: Closed
Release Closed Date: 06/08/2010

UST:

Name: SUNOCO #0008-4178
Address: 35001 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-0933
Facility Type: CLOSED
Facility ID: 00005935
Facility Region: 1
Owner Name: SUNOCO INC (R&M)
Owner Address: 1735 MARKET ST 12ND FLOOR
Owner City: PHILADELPHIA
Owner State: PA
Owner Zip: 19103
Owner Contact: Not reported
Owner Phone: 2152468513
Contact: Kathleen McCaney
Contact Phone: (215) 246-8513
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 6
Capacity: 1000
Tank Status: Removed from Ground
Substance: Used Oil
Install Date: 04/01/1988
Remove Date: 10/14/1998
Tank Number: UTK-044675-15
Tank Details Compartments: Not reported
Tank Release Detection: Tank Tightness Testing
Pipe Release Detection: Line Tightness Testing
Piping Material: Fiberglass Reinforced Plastic
Piping Type: Not reported
Tank Construction: Composite (Steel With Fiberglass)
Impressed Device: Not reported
Latitude: 42.54698
Longitude: -83.21428

Name: SUNOCO #0008-4178
Address: 35001 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-0933
Facility Type: CLOSED
Facility ID: 00005935
Facility Region: 1
Owner Name: SUNOCO INC (R&M)
Owner Address: 1735 MARKET ST 12ND FLOOR
Owner City: PHILADELPHIA
Owner State: PA
Owner Zip: 19103

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUNOCO #0008-4178 (Continued)

U003320721

Owner Contact: Not reported
Owner Phone: 2152468513
Contact: Kathleen McCaney
Contact Phone: (215) 246-8513
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 5
Capacity: 8000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: 05/05/1982
Remove Date: 10/01/2003
Tank Number: UTK-001064-15
Tank Details Compartments: Not reported
Tank Release Detection: Automatic Tank Gauging,Inventory Control,Tank Tightness Testing
Pipe Release Detection: Automatic Line Leak Detectors,Line Tightness Testing
Piping Material: Fiberglass Reinforced Plastic
Piping Type: Pressure (Remote)
Tank Construction: Fiberglass Reinforced Plastic
Impressed Device: Not reported
Latitude: 42.54698
Longitude: -83.21428

Name: SUNOCO #0008-4178
Address: 35001 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-0933
Facility Type: CLOSED
Facility ID: 00005935
Facility Region: 1
Owner Name: SUNOCO INC (R&M)
Owner Address: 1735 MARKET ST 12ND FLOOR
Owner City: PHILADELPHIA
Owner State: PA
Owner Zip: 19103
Owner Contact: Not reported
Owner Phone: 2152468513
Contact: Kathleen McCaney
Contact Phone: (215) 246-8513
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 4
Capacity: 8000
Tank Status: Removed from Ground

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUNOCO #0008-4178 (Continued)

U003320721

Substance: Gasoline
Install Date: 05/05/1982
Remove Date: 10/01/2003
Tank Number: UTK-033696-15
Tank Details Compartments: Not reported
Tank Release Detection: Automatic Tank Gauging,Inventory Control,Tank Tightness Testing
Pipe Release Detection: Automatic Line Leak Detectors,Line Tightness Testing
Piping Material: Fiberglass Reinforced Plastic
Piping Type: Pressure (Remote)
Tank Construction: Composite (Steel With Fiberglass),Fiberglass Reinforced Plastic
Impressed Device: Not reported
Latitude: 42.54698
Longitude: -83.21428

Name: SUNOCO #0008-4178
Address: 35001 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-0933
Facility Type: CLOSED
Facility ID: 00005935
Facility Region: 1
Owner Name: SUNOCO INC (R&M)
Owner Address: 1735 MARKET ST 12ND FLOOR
Owner City: PHILADELPHIA
Owner State: PA
Owner Zip: 19103
Owner Contact: Not reported
Owner Phone: 2152468513
Contact: Kathleen McCaney
Contact Phone: (215) 246-8513
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 3
Capacity: 6000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: 05/05/1981
Remove Date: 10/01/2003
Tank Number: UTK-072971-15
Tank Details Compartments: Not reported
Tank Release Detection: Automatic Tank Gauging,Inventory Control,Tank Tightness Testing
Pipe Release Detection: Automatic Line Leak Detectors,Line Tightness Testing
Piping Material: Fiberglass Reinforced Plastic
Piping Type: Pressure (Remote)
Tank Construction: Composite (Steel With Fiberglass)
Impressed Device: Not reported
Latitude: 42.54698
Longitude: -83.21428

Name: SUNOCO #0008-4178
Address: 35001 WOODWARD AVE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUNOCO #0008-4178 (Continued)

U003320721

City,State,Zip: BIRMINGHAM, MI 48009-0933
Facility Type: CLOSED
Facility ID: 00005935
Facility Region: 1
Owner Name: SUNOCO INC (R&M)
Owner Address: 1735 MARKET ST 12ND FLOOR
Owner City: PHILADELPHIA
Owner State: PA
Owner Zip: 19103
Owner Contact: Not reported
Owner Phone: 2152468513
Contact: Kathleen McCaney
Contact Phone: (215) 246-8513
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 2
Capacity: 1000
Tank Status: Removed from Ground
Substance: Used Oil
Install Date: 05/05/1970
Remove Date: 04/01/1988
Tank Number: UTK-072966-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Bare Steel,Fiberglass Reinforced Plastic
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel,Composite (Steel With Fiberglass)
Impressed Device: Not reported
Latitude: 42.54698
Longitude: -83.21428

Name: SUNOCO #0008-4178
Address: 35001 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-0933
Facility Type: CLOSED
Facility ID: 00005935
Facility Region: 1
Owner Name: SUNOCO INC (R&M)
Owner Address: 1735 MARKET ST 12ND FLOOR
Owner City: PHILADELPHIA
Owner State: PA
Owner Zip: 19103
Owner Contact: Not reported
Owner Phone: 2152468513
Contact: Kathleen McCaney
Contact Phone: (215) 246-8513
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUNOCO #0008-4178 (Continued)

U003320721

Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 1
Capacity: 6000
Tank Status: Removed from Ground
Substance: Diesel
Install Date: 05/05/1982
Remove Date: 04/01/1988
Tank Number: UTK-047664-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Fiberglass Reinforced Plastic
Piping Type: Pressure (Remote)
Tank Construction: Composite (Steel With Fiberglass),Fiberglass Reinforced Plastic
Impressed Device: Not reported
Latitude: 42.54698
Longitude: -83.21428

INVENTORY:

Name: SUNOCO GASOLINE STATION (FORMER)
Address: 35001 WOODWARD AVENUE
City,State,Zip: MI 48009
Bea Number: 200402477LV
Township: Birmingham
District: Southeast MI
Data Source: BEA
Latitude: Not reported
Longitude: Not reported

BEA:

Secondary Address: Not reported
BEA Number: 2477
District: Southeast MI
Date Received: 07/30/2004
Submitter Name: Birmingham Property, LLC
Petition Determination: No Request
Petition Disclosure: 0
Category: No Hazardous Substance(s)
Determination 20107A: No Request
Reviewer: mitchelf
Division Assigned: Environmental Response Division

WDS:

Name: SUNOCO INC
Address: 35001 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009
Site Id: MID087750204
WMD Id: 397695
Site Specific Name: HORTONS BIRMINGHAM SUNOCO NUMBER 84178
Mailing Address: 1801 MARKET STREET
Mailing City/State/Zip: 19103

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

SUNOCO #0008-4178 (Continued)

U003320721

Mailing County: Not reported

N45
NNE
1/8-1/4
0.169 mi.
894 ft.

SUNOCO SERVICE STATION 84178
35001 WOODWARD AVE
BIRMINGHAM, MI 48009

RCRA NonGen / NLR
FINDS
ECHO

1004722718
MID087750204

Site 2 of 2 in cluster N

Relative:
Higher
Actual:
780 ft.

RCRA NonGen / NLR:	
Date Form Received by Agency:	2004-03-01 00:00:00.0
Handler Name:	SUNOCO SERVICE STATION 84178
Handler Address:	35001 WOODWARD AVE
Handler City,State,Zip:	BIRMINGHAM, MI 48009
EPA ID:	MID087750204
Contact Name:	LINDA HOFFMAN
Contact Address:	Not reported
Contact City,State,Zip:	Not reported
Contact Telephone:	215-977-6841
Contact Fax:	Not reported
Contact Email:	Not reported
Contact Title:	Not reported
EPA Region:	05
Land Type:	Other
Federal Waste Generator Description:	Not a generator, verified
Non-Notifier:	Not reported
Biennial Report Cycle:	2003
Accessibility:	Not reported
Active Site Indicator:	Not reported
State District Owner:	Not reported
State District:	Not reported
Mailing Address:	1801 MARKET STREET
Mailing City,State,Zip:	PHILADELPHIA, PA 19103
Owner Name:	CURRENT OWNER-OPERATOR IS NOT REGULATED
Owner Type:	Other
Operator Name:	CURRENT OWNER-OPERATOR IS NOT REGULATED
Operator Type:	Other
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

SUNOCO SERVICE STATION 84178 (Continued)

1004722718

2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2004-11-23 00:00:00.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Biennial: List of Years

Year: 2003

[Click Here for Biennial Reporting System Data:](#)

Hazardous Waste Summary:

Waste Code: D001
 Waste Description: IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator:	Operator
Owner/Operator Name:	CURRENT OWNER-OPERATOR IS NOT REGULATED
Legal Status:	Other
Date Became Current:	2003-11-07 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUNOCO SERVICE STATION 84178 (Continued)

1004722718

Owner/Operator Indicator: Operator
Owner/Operator Name: NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status: Private
Date Became Current: 2003-11-08 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
Owner/Operator Name: NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status: Private
Date Became Current: 2003-11-08 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator
Owner/Operator Name: NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status: Private
Date Became Current: 2003-11-08 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator
Owner/Operator Name: NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status: Private
Date Became Current: 2003-11-08 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator
Owner/Operator Name: NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status: Private
Date Became Current: 2003-11-08 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUNOCO SERVICE STATION 84178 (Continued)

1004722718

Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2003-11-08 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2003-11-08 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2003-11-08 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2003-11-08 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2003-11-08 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUNOCO SERVICE STATION 84178 (Continued)

1004722718

Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	CURRENT OWNER-OPERATOR IS NOT REGULATED
Legal Status:	Other
Date Became Current:	2003-11-07 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Historic Generators:	
Receive Date:	1998-10-14 00:00:00.0
Handler Name:	SUNOCO INC
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2002-11-22 00:00:00.0
Handler Name:	SUNOCO INC
Federal Waste Generator Description:	Large Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	1980-08-18 00:00:00.0
Handler Name:	SUNOCO INC
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUNOCO SERVICE STATION 84178 (Continued)

1004722718

Receive Date: 2003-11-07 00:00:00.0
Handler Name: SUNOCO INC
Federal Waste Generator Description: Not a generator, verified
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: No
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

Receive Date: 2003-11-07 00:00:00.0
Handler Name: SUNOCO INC
Federal Waste Generator Description: Not a generator, verified
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: No
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

Receive Date: 1992-01-01 00:00:00.0
Handler Name: SUNOCO SERVICE STATION
Federal Waste Generator Description: Large Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: No
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

Receive Date: 2004-03-01 00:00:00.0
Handler Name: SUNOCO SERVICE STATION 84178
Federal Waste Generator Description: Not a generator, verified
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 4471
NAICS Description: GASOLINE STATIONS

NAICS Code: 44711

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUNOCO SERVICE STATION 84178 (Continued)

1004722718

NAICS Description: GASOLINE STATIONS WITH CONVENIENCE STORES

Facility Has Received Notices of Violation:

Found Violation:	Yes
Agency Which Determined Violation:	State
Violation Short Description:	Used Oil - Generators
Date Violation was Determined:	2002-11-22 00:00:00.0
Actual Return to Compliance Date:	2003-03-13 00:00:00.0
Return to Compliance Qualifier:	Documented
Violation Responsible Agency:	State
Scheduled Compliance Date:	2003-01-08 00:00:00.0
Enforcement Identifier:	001
Date of Enforcement Action:	2002-12-05 00:00:00.0
Enforcement Responsible Agency:	State
Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	No
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported
Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported
Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	WRITTEN INFORMAL
Enforcement Responsible Person:	Not reported
Enforcement Responsible Sub-Organization:	Not reported
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported
Final Monetary Amount:	Not reported
Paid Amount:	Not reported
Final Count:	Not reported
Final Amount:	Not reported
Found Violation:	Yes
Agency Which Determined Violation:	State
Violation Short Description:	Universal Waste - Small Quantity Handlers
Date Violation was Determined:	2002-11-22 00:00:00.0
Actual Return to Compliance Date:	2003-03-13 00:00:00.0
Return to Compliance Qualifier:	Documented
Violation Responsible Agency:	State
Scheduled Compliance Date:	2003-01-08 00:00:00.0
Enforcement Identifier:	001
Date of Enforcement Action:	2002-12-05 00:00:00.0
Enforcement Responsible Agency:	State
Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	No
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUNOCO SERVICE STATION 84178 (Continued)

1004722718

Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported
Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	WRITTEN INFORMAL
Enforcement Responsible Person:	Not reported
Enforcement Responsible Sub-Organization:	Not reported
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported
Final Monetary Amount:	Not reported
Paid Amount:	Not reported
Final Count:	Not reported
Final Amount:	Not reported
Found Violation:	Yes
Agency Which Determined Violation:	State
Violation Short Description:	State Statute or Regulation
Date Violation was Determined:	2002-11-22 00:00:00.0
Actual Return to Compliance Date:	2003-03-13 00:00:00.0
Return to Compliance Qualifier:	Documented
Violation Responsible Agency:	State
Scheduled Compliance Date:	2003-01-08 00:00:00.0
Enforcement Identifier:	001
Date of Enforcement Action:	2002-12-05 00:00:00.0
Enforcement Responsible Agency:	State
Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	No
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported
Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported
Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	WRITTEN INFORMAL
Enforcement Responsible Person:	Not reported
Enforcement Responsible Sub-Organization:	Not reported
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported
Final Monetary Amount:	Not reported
Paid Amount:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUNOCO SERVICE STATION 84178 (Continued)

1004722718

Final Count: Not reported
Final Amount: Not reported

Evaluation Action Summary:

Evaluation Date: 2002-11-22 00:00:00.0
Evaluation Responsible Agency: State
Found Violation: Yes
Evaluation Type Description: COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier: Not reported
Evaluation Responsible Sub-Organization: Not reported
Actual Return to Compliance Date: 2003-03-13 00:00:00.0
Scheduled Compliance Date: 2003-01-08 00:00:00.0
Date of Request: Not reported
Date Response Received: Not reported
Request Agency: Not reported
Former Citation: Not reported

Evaluation Date: 2002-11-22 00:00:00.0
Evaluation Responsible Agency: State
Found Violation: Yes
Evaluation Type Description: COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier: Not reported
Evaluation Responsible Sub-Organization: Not reported
Actual Return to Compliance Date: 2003-03-13 00:00:00.0
Scheduled Compliance Date: 2003-01-08 00:00:00.0
Date of Request: Not reported
Date Response Received: Not reported
Request Agency: Not reported
Former Citation: Not reported

Evaluation Date: 2002-11-22 00:00:00.0
Evaluation Responsible Agency: State
Found Violation: Yes
Evaluation Type Description: COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier: Not reported
Evaluation Responsible Sub-Organization: Not reported
Actual Return to Compliance Date: 2003-03-13 00:00:00.0
Scheduled Compliance Date: 2003-01-08 00:00:00.0
Date of Request: Not reported
Date Response Received: Not reported
Request Agency: Not reported
Former Citation: Not reported

FINDS:

Registry ID: 110003607124

Click Here:

Environmental Interest/Information System:

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.
HAZARDOUS WASTE BIENNIAL REPORTER

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUNOCO SERVICE STATION 84178 (Continued)

1004722718

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1004722718
Registry ID: 110003607124
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110003607124>
Name: SUNOCO SERVICE STATION 84178
Address: 35001 WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009

**J46
NW
1/8-1/4
0.177 mi.
936 ft.**

**BIRMINGHAM CO (M57110)
155 HENRIETTA ST
BIRMINGHAM, MI 48009
Site 2 of 3 in cluster J**

**UST U003322266
N/A**

**Relative:
Higher
Actual:
782 ft.**

UST:

Name: BIRMINGHAM CO (M57110)
Address: 155 HENRIETTA ST
City,State,Zip: BIRMINGHAM, MI 48009-3367
Facility Type: ACTIVE
Facility ID: 00011669
Facility Region: 1
Owner Name: AT&T MICHIGAN
Owner Address: 308 S AKARD STE 1700
Owner City: DALLAS
Owner State: TX
Owner Zip: 75202
Owner Contact: Not reported
Owner Phone: 8776482073
Contact: Chris McCaslin
Contact Phone: (214) 464-5553
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 3
Capacity: 4000
Tank Status: Currently In Use
Substance: Diesel
Install Date: 05/08/1969
Remove Date: Not reported
Tank Number: UTK-061382-15
Tank Details Compartments: Not reported
Tank Release Detection: Automatic Tank Gauging,Manual (Static) Tank Gauging
Pipe Release Detection: Interstitial Monitoring Second Containment
Piping Material: Unknown
Piping Type: Suction:Valve at Tank
Tank Construction: Fiberglass Reinforced Plastic
Impressed Device: Not reported
Latitude: 42.54619

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BIRMINGHAM CO (M57110) (Continued)

U003322266

Longitude: -83.21589

Name: BIRMINGHAM CO (M57110)
Address: 155 HENRIETTA ST
City,State,Zip: BIRMINGHAM, MI 48009-3367
Facility Type: ACTIVE
Facility ID: 00011669
Facility Region: 1
Owner Name: AT&T MICHIGAN
Owner Address: 308 S AKARD STE 1700
Owner City: DALLAS
Owner State: TX
Owner Zip: 75202
Owner Contact: Not reported
Owner Phone: 8776482073
Contact: Chris McCaslin
Contact Phone: (214) 464-5553
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 2
Capacity: 4000
Tank Status: Currently In Use
Substance: Diesel
Install Date: 05/08/1969
Remove Date: Not reported
Tank Number: UTK-033381-15
Tank Details Compartments: Not reported
Tank Release Detection: Automatic Tank Gauging,Manual (Static) Tank Gauging
Pipe Release Detection: Interstitial Monitoring Second Containment
Piping Material: Unknown
Piping Type: Suction:Valve at Tank
Tank Construction: Fiberglass Reinforced Plastic
Impressed Device: Not reported
Latitude: 42.54619
Longitude: -83.21589

Name: BIRMINGHAM CO (M57110)
Address: 155 HENRIETTA ST
City,State,Zip: BIRMINGHAM, MI 48009-3367
Facility Type: ACTIVE
Facility ID: 00011669
Facility Region: 1
Owner Name: AT&T MICHIGAN
Owner Address: 308 S AKARD STE 1700
Owner City: DALLAS
Owner State: TX
Owner Zip: 75202
Owner Contact: Not reported
Owner Phone: 8776482073
Contact: Chris McCaslin

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BIRMINGHAM CO (M57110) (Continued)

U003322266

Contact Phone: (214) 464-5553
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 1
Capacity: 4000
Tank Status: Currently In Use
Substance: Diesel
Install Date: 05/08/1969
Remove Date: Not reported
Tank Number: UTK-061373-15
Tank Details Compartments: Not reported
Tank Release Detection: Automatic Tank Gauging,Manual (Static) Tank Gauging
Pipe Release Detection: Interstitial Monitoring Second Containment
Piping Material: Unknown
Piping Type: Suction:Valve at Tank
Tank Construction: Fiberglass Reinforced Plastic
Impressed Device: Not reported
Latitude: 42.54619
Longitude: -83.21589

J47
NW
1/8-1/4
0.177 mi.
936 ft.

MICHIGAN BELL TELEPHONE COMPANY
155 HENRIETTA ST
BIRMINGHAM, MI 48009
Site 3 of 3 in cluster J

RCRA-VSQG 1000237764
FINDS MIT270013519
ECHO

Relative:
Higher
Actual:
782 ft.

RCRA-VSQG:
Date Form Received by Agency: 2002-12-05 00:00:00.0
Handler Name: MICHIGAN BELL TELEPHONE COMPANY
Handler Address: 155 HENRIETTA ST
Handler City,State,Zip: BIRMINGHAM, MI 48009
EPA ID: MIT270013519
Contact Name: ZANKHANA SHAH
Contact Address: 155 HENRIETTA ST
Contact City,State,Zip: BIRMINGHAM, MI 48009
Contact Telephone: 847-384-5694
Contact Fax: Not reported
Contact Email: Not reported
Contact Title: Not reported
EPA Region: 05
Land Type: Private
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
Non-Notifier: Not reported
Biennial Report Cycle: Not reported
Accessibility: Not reported
Active Site Indicator: Handler Activities
State District Owner: Not reported
State District: Not reported
Mailing Address: 36 S FAIRVIEW - 4TH FLOOR
Mailing City,State,Zip: PARK RIDGE, IL 60068
Owner Name: MICH BELL TELEPHONE

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

MICHIGAN BELL TELEPHONE COMPANY (Continued)

1000237764

Owner Type:	Private
Operator Name:	MICH BELL TELEPHONE
Operator Type:	Private
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDs Where RCRA CA has Been Imposed Universe:	No
TSDs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSD Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MICHIGAN BELL TELEPHONE COMPANY (Continued)

1000237764

Sub-Part P Indicator: Not reported

Hazardous Waste Summary:

Waste Code: D001
Waste Description: IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator: Owner
Owner/Operator Name: MICH BELL TELEPHONE
Legal Status: Private
Date Became Current: 1998-06-21 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator
Owner/Operator Name: MICH BELL TELEPHONE
Legal Status: Private
Date Became Current: 1998-06-21 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator
Owner/Operator Name: MICH BELL TELEPHONE
Legal Status: Private
Date Became Current: 1998-06-21 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
Owner/Operator Name: MICH BELL TELEPHONE
Legal Status: Private
Date Became Current: 1998-06-21 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MICHIGAN BELL TELEPHONE COMPANY (Continued)

1000237764

Historic Generators:

Receive Date: 1981-06-01 00:00:00.0
Handler Name: MICHIGAN BELL TELEPHONE COMPANY
Federal Waste Generator Description: Not a generator, verified
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: No
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

Receive Date: 2002-12-05 00:00:00.0
Handler Name: MICHIGAN BELL TELEPHONE COMPANY
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 51711
NAICS Description: WIRED TELECOMMUNICATIONS CARRIERS

Facility Has Received Notices of Violations:

Violations: No Violations Found

Evaluation Action Summary:

Evaluations: No Evaluations Found

FINDS:

Registry ID: 110003719183

Click Here:

Environmental Interest/Information System:

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000237764

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

EDR ID Number
 EPA ID Number

MICHIGAN BELL TELEPHONE COMPANY (Continued)

1000237764

Registry ID: 110003719183
 DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110003719183>
 Name: MICHIGAN BELL TELEPHONE COMPANY
 Address: 155 HENRIETTA ST
 City,State,Zip: BIRMINGHAM, MI 48009

**L48
 NNE
 1/8-1/4
 0.191 mi.
 1008 ft.**

**JERRY BURNS CLEANERS
 615 E MAPLE RD
 BIRMINGHAM, MI 48009**

**RCRA NonGen / NLR
 FINDS
 ECHO**

**1000465820
 MID985605112**

Site 2 of 5 in cluster L

**Relative:
 Higher
 Actual:
 778 ft.**

RCRA NonGen / NLR:
 Date Form Received by Agency: 1998-09-17 00:00:00.0
 Handler Name: JERRY BURNS CLEANERS
 Handler Address: 615 E MAPLE RD
 Handler City,State,Zip: BIRMINGHAM, MI 48009
 EPA ID: MID985605112
 Contact Name: ARMEN NAZARIAN
 Contact Address: 615 E MAPLE RD
 Contact City,State,Zip: BIRMINGHAM, MI 48009
 Contact Telephone: 313-646-8733
 Contact Fax: Not reported
 Contact Email: Not reported
 Contact Title: Not reported
 EPA Region: 05
 Land Type: Private
 Federal Waste Generator Description: Not a generator, verified
 Non-Notifier: Not reported
 Biennial Report Cycle: Not reported
 Accessibility: Not reported
 Active Site Indicator: Not reported
 State District Owner: Not reported
 State District: Not reported
 Mailing Address: 615 E MAPLE RD
 Mailing City,State,Zip: BIRMINGHAM, MI 48009
 Owner Name: NAZARIAN ARMEN
 Owner Type: Private
 Operator Name: NAZARIAN ARMEN
 Operator Type: Private
 Short-Term Generator Activity: No
 Importer Activity: No
 Mixed Waste Generator: No
 Transporter Activity: No
 Transfer Facility Activity: No
 Recycler Activity with Storage: No
 Small Quantity On-Site Burner Exemption: No
 Smelting Melting and Refining Furnace Exemption: No
 Underground Injection Control: No
 Off-Site Waste Receipt: No
 Universal Waste Indicator: No
 Universal Waste Destination Facility: No
 Federal Universal Waste: No
 Active Site Fed-Reg Treatment Storage and Disposal Facility: Not reported
 Active Site Converter Treatment storage and Disposal Facility: Not reported
 Active Site State-Reg Treatment Storage and Disposal Facility: Not reported
 Active Site State-Reg Handler: ---
 Federal Facility Indicator: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

JERRY BURNS CLEANERS (Continued)

1000465820

Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Hazardous Waste Summary:

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator:	Operator
Owner/Operator Name:	NAZARIAN ARMEN
Legal Status:	Private
Date Became Current:	1970-01-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JERRY BURNS CLEANERS (Continued)

1000465820

Owner/Operator Indicator: Owner
Owner/Operator Name: NAZARIAN ARMEN
Legal Status: Private
Date Became Current: 1970-01-01 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
Owner/Operator Name: NAZARIAN ARMEN
Legal Status: Private
Date Became Current: 1970-01-01 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator
Owner/Operator Name: NAZARIAN ARMEN
Legal Status: Private
Date Became Current: 1970-01-01 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 1998-09-17 00:00:00.0
Handler Name: JERRY BURNS CLEANERS
Federal Waste Generator Description: Not a generator, verified
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

Receive Date: 1991-02-05 00:00:00.0
Handler Name: JERRY BURNS CLEANERS
Federal Waste Generator Description: Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

JERRY BURNS CLEANERS (Continued)

1000465820

Spent Lead Acid Battery Importer: No
 Spent Lead Acid Battery Exporter: No
 Current Record: No
 Non Storage Recycler Activity: Not reported
 Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 81232
 NAICS Description: DRYCLEANING AND LAUNDRY SERVICES (EXCEPT COIN-OPERATED)

Facility Has Received Notices of Violations:

Violations: No Violations Found

Evaluation Action Summary:

Evaluations: No Evaluations Found

FINDS:

Registry ID: 110003652379

Click Here:

Environmental Interest/Information System:

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000465820
 Registry ID: 110003652379
 DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110003652379>
 Name: JERRY BURNS CLEANERS
 Address: 615 E MAPLE RD
 City,State,Zip: BIRMINGHAM, MI 48009

**L49
 NE
 1/8-1/4
 0.193 mi.
 1020 ft.**

**JERRY BURNS DRY CLEANERS
 615 E. MAPLE
 BIRMINGHAM, MI 48011**

**DRYCLEANERS S125694198
 N/A**

Site 3 of 5 in cluster L

**Relative:
 Higher**

DRYCLEANERS:
 Name: JERRY BURNS DRY CLEANERS
 Address: 615 E. MAPLE
 City,State,Zip: BIRMINGHAM, MI 48011
 fadd2: Not reported
 Facility Status: Closed
 Establishment#: 6300337
 DCM #: Not reported
 DCM Type: Not reported
 Total lb: Not reported

**Actual:
 777 ft.**

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

JERRY BURNS DRY CLEANERS (Continued)

S125694198

Inspector: Not reported
 Last Insp Date: Not reported

**K50
 SE
 1/8-1/4
 0.200 mi.
 1054 ft.**

**JIMMIES RUSTICS
 690 SOUTH OLD WOODWARD
 BIRMINGHAM, MI**

**BEA S107596787
 N/A**

Site 3 of 3 in cluster K

**Relative:
 Lower**

BEA:
 Secondary Address: Not reported
 BEA Number: 3058
 District: Southeast MI
 Date Received: 02/08/2006
 Submitter Name: Perimeter Properties
 Petition Determination: No Request
 Petition Disclosure: 0
 Category: No Hazardous Substance(s)
 Determination 20107A: No Request
 Reviewer: william
 Division Assigned: Environmental Response Division

**Actual:
 760 ft.**

**L51
 NE
 1/8-1/4
 0.200 mi.
 1055 ft.**

**KROGER CO OF MICHIGAN
 685 E MAPLE RD
 BIRMINGHAM, MI 48009**

**RCRA-VSQG 1010785838
 MIK996275632**

Site 4 of 5 in cluster L

**Relative:
 Higher**

RCRA-VSQG:
 Date Form Received by Agency: 2007-10-02 00:00:00.0
 Handler Name: KROGER CO OF MICHIGAN
 Handler Address: 685 E MAPLE RD
 Handler City,State,Zip: BIRMINGHAM, MI 48009
 EPA ID: MIK996275632
 Contact Name: JIM WARD
 Contact Address: 685 E MAPLE RD
 Contact City,State,Zip: BIRMINGHAM, MI 48009
 Contact Telephone: 614-898-3506
 Contact Fax: Not reported
 Contact Email: Not reported
 Contact Title: Not reported
 EPA Region: 05
 Land Type: Private
 Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
 Non-Notifier: Not reported
 Biennial Report Cycle: Not reported
 Accessibility: Not reported
 Active Site Indicator: Handler Activities
 State District Owner: Not reported
 State District: Not reported
 Mailing Address: 4111 EXECUTIVE PKWY
 Mailing City,State,Zip: WESTERVILLE, OH 43081
 Owner Name: KROGER CO
 Owner Type: Private
 Operator Name: KROGER CO
 Operator Type: Private

**Actual:
 777 ft.**

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

KROGER CO OF MICHIGAN (Continued)

1010785838

Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

KROGER CO OF MICHIGAN (Continued)

1010785838

Hazardous Waste Summary:

Waste Code: D001
Waste Description: IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator: Operator
Owner/Operator Name: KROGER CO
Legal Status: Private
Date Became Current: 1998-08-12 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
Owner/Operator Name: KROGER CO
Legal Status: Private
Date Became Current: 1998-08-12 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 2007-10-02 00:00:00.0
Handler Name: KROGER CO OF MICHIGAN
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 44511
NAICS Description: SUPERMARKETS AND OTHER GROCERY (EXCEPT CONVENIENCE) STORES

Facility Has Received Notices of Violations:

Violations: No Violations Found

Evaluation Action Summary:

Evaluations: No Evaluations Found

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

J C & C ENTERPRISES LLC (Continued)

1012211265

Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Hazardous Waste Summary:

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator:	Operator
Owner/Operator Name:	J C & C ENTERPRISES LLC
Legal Status:	Private
Date Became Current:	1992-10-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	J C & C ENTERPRISES LLC
Legal Status:	Private
Date Became Current:	1992-10-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

J C & C ENTERPRISES LLC (Continued)

1012211265

Owner/Operator Telephone: Not reported
 Owner/Operator Telephone Ext: Not reported
 Owner/Operator Fax: Not reported
 Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 2009-12-01 00:00:00.0
 Handler Name: J C & C ENTERPRISES LLC
 Federal Waste Generator Description: Not a generator, verified
 State District Owner: Not reported
 Large Quantity Handler of Universal Waste: No
 Recognized Trader Importer: No
 Recognized Trader Exporter: No
 Spent Lead Acid Battery Importer: No
 Spent Lead Acid Battery Exporter: No
 Current Record: Yes
 Non Storage Recycler Activity: Not reported
 Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 53112
 NAICS Description: LESSORS OF NONRESIDENTIAL BUILDINGS (EXCEPT MINIWAREHOUSES)

Facility Has Received Notices of Violations:

Violations: No Violations Found

Evaluation Action Summary:

Evaluations: No Evaluations Found

O53
SE
1/8-1/4
0.220 mi.
1161 ft.

TIFFANY FLORIST
772 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

Site 1 of 4 in cluster O

LUST **U004123610**
UST **N/A**
INVENTORY

Relative:
Lower
Actual:
759 ft.

LUST:
 Name: TIFFANY FLORIST
 Address: 772 S OLD WOODWARD AVE
 City,State,Zip: BIRMINGHAM, MI 48009-
 Facility ID: 00042132
 Source: STATE OF MICHIGAN
 Owner Name: VirginiaC Clohset Trust
 Owner Address: Not reported
 Owner City,St,Zip: UNKNOWN, MI
 Owner Contact: Not reported
 Owner Phone: Not reported
 Country: USA
 District: Warren
 Site Name: Tiffany Florist
 Latitude: 42.54149
 Longitude: -83.20967
 Date of Collection: 03/14/2014
 Method of Collection: Interpolation-Photo
 Accuracy: 10
 Accuracy Value Unit: FEET

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

TIFFANY FLORIST (Continued)

U004123610

Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-0157-08
Release Date: 07/21/2008
Substance Released: Gasoline,Gasoline
Release Status: Open
Release Closed Date: Not reported

UST:

Name: TIFFANY FLORIST
Address: 772 S OLD WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-6600
Facility Type: CLOSED
Facility ID: 00042132
Facility Region: 1
Owner Name: VIRGINIA C CLOHSET TRUST
Owner Address: C/O PHIL CLOHSET 1595 NORTHLAWN
Owner City: BIRMINGHAM
Owner State: MI
Owner Zip: 48009
Owner Contact: Not reported
Owner Phone: 2486466534
Contact: Phil Clohset
Contact Phone: (248) 646-6534
Date of Collection: 03/14/2014
Accuracy: 10
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Interpolation-Photo
District: Region 1 - SE Michigan District Office
Tank ID: 3
Capacity: 500
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: 01/01/1947
Remove Date: 07/10/2008
Tank Number: UTK-124023-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Other
Piping Material: Not reported
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel,Other
Impressed Device: Not reported
Latitude: 42.54149
Longitude: -83.20967

Name: TIFFANY FLORIST
Address: 772 S OLD WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-6600
Facility Type: CLOSED
Facility ID: 00042132
Facility Region: 1

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

TIFFANY FLORIST (Continued)

U004123610

Owner Name: VIRGINIA C CLOHSET TRUST
Owner Address: C/O PHIL CLOHSET 1595 NORTHLAWN
Owner City: BIRMINGHAM
Owner State: MI
Owner Zip: 48009
Owner Contact: Not reported
Owner Phone: 2486466534
Contact: Phil Clohset
Contact Phone: (248) 646-6534
Date of Collection: 03/14/2014
Accuracy: 10
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Interpolation-Photo
District: Region 1 - SE Michigan District Office
Tank ID: 2
Capacity: 500
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: 01/01/1947
Remove Date: 07/10/2008
Tank Number: UTK-124022-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Other
Piping Material: Not reported
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel,Other
Impressed Device: Not reported
Latitude: 42.54149
Longitude: -83.20967

Name: TIFFANY FLORIST
Address: 772 S OLD WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-6600
Facility Type: CLOSED
Facility ID: 00042132
Facility Region: 1
Owner Name: VIRGINIA C CLOHSET TRUST
Owner Address: C/O PHIL CLOHSET 1595 NORTHLAWN
Owner City: BIRMINGHAM
Owner State: MI
Owner Zip: 48009
Owner Contact: Not reported
Owner Phone: 2486466534
Contact: Phil Clohset
Contact Phone: (248) 646-6534
Date of Collection: 03/14/2014
Accuracy: 10
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

TIFFANY FLORIST (Continued)

U004123610

Method of Collection: Interpolation-Photo
District: Region 1 - SE Michigan District Office
Tank ID: 1
Capacity: 1000
Tank Status: Closed in Ground
Substance: Gasoline
Install Date: 01/01/1947
Remove Date: 07/07/2008
Tank Number: UTK-124009-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Other
Piping Material: Unknown
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel,Other
Impressed Device: Not reported
Latitude: 42.54149
Longitude: -83.20967

INVENTORY:

Name: TIFFANY FLORIST
Address: 772 S OLD WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009
Bea Number: Not reported
Township: Not reported
District: Southeast MI
Data Source: Part 213
Latitude: 42.54149
Longitude: -83.20968

O54
SE
1/8-1/4
0.221 mi.
1165 ft.

VIRGINIA C CLOHSET TRUST
784 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009
Site 2 of 4 in cluster O

RCRA NonGen / NLR **1011489214**
MIK322432543

Relative:
Lower
Actual:
759 ft.

RCRA NonGen / NLR:
Date Form Received by Agency: 2008-06-27 00:00:00.0
Handler Name: VIRGINIA C CLOHSET TRUST
Handler Address: 784 S OLD WOODWARD AVE
Handler City,State,Zip: BIRMINGHAM, MI 48009
EPA ID: MIK322432543
Contact Name: PHIL CLOHSET
Contact Address: 784 S OLD WOODWARD AVE
Contact City,State,Zip: BIRMINGHAM, MI 48009
Contact Telephone: 248-646-6534
Contact Fax: Not reported
Contact Email: Not reported
Contact Title: Not reported
EPA Region: 05
Land Type: Private
Federal Waste Generator Description: Not a generator, verified
Non-Notifier: Not reported
Biennial Report Cycle: Not reported
Accessibility: Not reported
Active Site Indicator: Not reported
State District Owner: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

VIRGINIA C CLOHSET TRUST (Continued)

1011489214

State District:	Not reported
Mailing Address:	1595 NORTHLAWN BLVD
Mailing City, State, Zip:	BIRMINGHAM, MI 48009
Owner Name:	VIRGINIA C CLOHSET TRUST
Owner Type:	Private
Operator Name:	VIRGINIA C CLOHSET TRUST
Operator Type:	Private
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

VIRGINIA C CLOHSET TRUST (Continued)

1011489214

Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Hazardous Waste Summary:

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator:	Operator
Owner/Operator Name:	VIRGINIA C CLOHSET TRUST
Legal Status:	Private
Date Became Current:	2005-01-02 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	VIRGINIA C CLOHSET TRUST
Legal Status:	Private
Date Became Current:	2005-01-02 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Historic Generators:

Receive Date:	2008-06-27 00:00:00.0
Handler Name:	VIRGINIA C CLOHSET TRUST
Federal Waste Generator Description:	Not a generator, verified
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	Yes
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

List of NAICS Codes and Descriptions:

NAICS Code:	45311
NAICS Description:	FLORISTS

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

VIRGINIA C CLOHSET TRUST (Continued)

1011489214

Facility Has Received Notices of Violations:

Violations: No Violations Found

Evaluation Action Summary:

Evaluations: No Evaluations Found

O55
SE
1/8-1/4
0.224 mi.
1184 ft.

WOODWARD AND GEORGE, LLC
772-784 SOUTH OLD WOODWARD
OAKLAND (County), MI 48009

INVENTORY **S114039925**
N/A

Site 3 of 4 in cluster O

Relative:
Lower
Actual:
759 ft.

INVENTORY:
Name: WOODWARD AND GEORGE, LLC
Address: 772-784 SOUTH OLD WOODWARD
City,State,Zip: MI 48009
Bea Number: 200804025LV
Township: Birmingham
District: Southeast MI
Data Source: BEA
Latitude: Not reported
Longitude: Not reported

O56
SE
1/8-1/4
0.224 mi.
1184 ft.

WOODWARD AND GEORGE, LLC
772-784 SOUTH OLD WOODWARD
BIRMINGHAM, MI 48009

BEA **S109345280**
N/A

Site 4 of 4 in cluster O

Relative:
Lower
Actual:
759 ft.

BEA:
Secondary Address: Not reported
BEA Number: 4025
District: Southeast MI
Date Received: 10/17/2008
Submitter Name: Woodward and George, LLC
Petition Determination: No Request
Petition Disclosure: 0
Category: No Hazardous Substance(s)
Determination 20107A: No Request
Reviewer: mitchelf
Division Assigned: RRD

57
NNE
1/8-1/4
0.227 mi.
1198 ft.

WM BEAUMONT HOSPITAL
35046 WOODWARD AVE
BIRMINGHAM, MI 48009

RCRA-VSQQ **1016453456**
FINDS **MIK132883016**
ECHO

Relative:
Higher
Actual:
780 ft.

RCRA-VSQQ:
Date Form Received by Agency: 2014-02-05 00:00:00.0
Handler Name: WM BEAUMONT HOSPITAL
Handler Address: 35046 WOODWARD AVE
Handler City,State,Zip: BIRMINGHAM, MI 48009

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WM BEAUMONT HOSPITAL (Continued)

1016453456

EPA ID:	MIK132883016
Contact Name:	DAVE MULKA
Contact Address:	Not reported
Contact City,State,Zip:	Not reported
Contact Telephone:	248-690-4001
Contact Fax:	Not reported
Contact Email:	Not reported
Contact Title:	Not reported
EPA Region:	05
Land Type:	Private
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
Non-Notifier:	Not reported
Biennial Report Cycle:	Not reported
Accessibility:	Not reported
Active Site Indicator:	Handler Activities
State District Owner:	Not reported
State District:	Not reported
Mailing Address:	35046 WOODWARD AVE
Mailing City,State,Zip:	BIRMINGHAM, MI 48009
Owner Name:	WM BEAUMONT HOSPITAL
Owner Type:	Private
Operator Name:	WM BEAUMONT HOSPITAL
Operator Type:	Private
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	Yes
Universal Waste Destination Facility:	Yes
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WM BEAUMONT HOSPITAL (Continued)

1016453456

TSDFs Only Subject to CA under Discretionary Auth Universe: No
Corrective Action Priority Ranking: No NCAPS ranking
Environmental Control Indicator: No
Institutional Control Indicator: No
Human Exposure Controls Indicator: N/A
Groundwater Controls Indicator: N/A
Operating TSDF Universe: Not reported
Full Enforcement Universe: Not reported
Significant Non-Complier Universe: No
Unaddressed Significant Non-Complier Universe: No
Addressed Significant Non-Complier Universe: No
Significant Non-Complier With a Compliance Schedule Universe: No
Financial Assurance Required: Not reported
Handler Date of Last Change: 2014-02-25 15:12:27.0
Recognized Trader-Importer: No
Recognized Trader-Exporter: No
Importer of Spent Lead Acid Batteries: No
Exporter of Spent Lead Acid Batteries: No
Recycler Activity Without Storage: Not reported
Manifest Broker: Not reported
Sub-Part P Indicator: Not reported

Hazardous Waste Summary:

Waste Code: D001
Waste Description: IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator: Owner
Owner/Operator Name: WM BEAUMONT HOSPITAL
Legal Status: Private
Date Became Current: 2013-11-12 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator
Owner/Operator Name: WM BEAUMONT HOSPITAL
Legal Status: Private
Date Became Current: 2013-11-12 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 2014-02-05 00:00:00.0
Handler Name: WM BEAUMONT HOSPITAL
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WM BEAUMONT HOSPITAL (Continued)

1016453456

State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	Yes
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

List of NAICS Codes and Descriptions:

NAICS Code:	621111
NAICS Description:	OFFICES OF PHYSICIANS (EXCEPT MENTAL HEALTH SPECIALISTS)

NAICS Code:	621512
NAICS Description:	DIAGNOSTIC IMAGING CENTERS

Facility Has Received Notices of Violations:

Violations:	No Violations Found
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Evaluation Action Summary:

Evaluations:	No Evaluations Found
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FINDS:

Registry ID:	110058886987
--------------	--------------

Click Here:

Environmental Interest/Information System:

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid:	1016453456
Registry ID:	110058886987
DFR URL:	http://echo.epa.gov/detailed-facility-report?fid=110058886987
Name:	WM BEAUMONT HOSPITAL
Address:	35046 WOODWARD AVE
City,State,Zip:	BIRMINGHAM, MI 48009

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

P58 **GOODYEAR TIRE CENTER 1685**
ESE **835 HAYNES ST**
1/8-1/4 **BIRMINGHAM, MI 48009**
0.228 mi.
1205 ft. **Site 1 of 4 in cluster P**

LUST **U000263055**
UST **N/A**
WDS

Relative:
Lower

LUST:
Name: GOODYEAR TIRE CENTER 1685
Address: 835 HAYNES ST
City,State,Zip: BIRMINGHAM, MI 48009-
Facility ID: 00021777
Source: STATE OF MICHIGAN
Owner Name: GoodyearTire Center
Owner Address: Not reported
Owner City,St,Zip: UNKNOWN, MI
Owner Contact: Not reported
Owner Phone: Not reported
Country: USA
District: Warren
Site Name: Goodyear Tire & Rubber Co
Latitude: 42.54196
Longitude: -83.20949
Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-0700-93
Release Date: 06/04/1993
Substance Released: Used Oil
Release Status: Closed
Release Closed Date: 09/30/1994

UST:

Name: GOODYEAR TIRE CENTER 1685
Address: 835 HAYNES ST
City,State,Zip: BIRMINGHAM, MI 48009-6771
Facility Type: CLOSED
Facility ID: 00021777
Facility Region: 1
Owner Name: GOODYEAR TIRE CENTER
Owner Address: PO BOX 5099
Owner City: SOUTHFIELD
Owner State: MI
Owner Zip: 48086-5099
Owner Contact: Not reported
Owner Phone: 7346473370
Contact: ERIC SCHULTZ
Contact Phone: (734) 647-3370
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

GOODYEAR TIRE CENTER 1685 (Continued)

U000263055

District: Region 1 - SE Michigan District Office
Tank ID: 1
Capacity: 500
Tank Status: Removed from Ground
Substance: Used Oil
Install Date: 04/16/1975
Remove Date: 06/04/1993
Tank Number: UTK-001817-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Bare Steel
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel
Impressed Device: Not reported
Latitude: 42.54196
Longitude: -83.20949

WDS:

Name: HALBEISEN TOM INC
Address: 835 HAYNES ST
City,State,Zip: BIRMINGHAM, MI 48009
Site Id: MID985643790
WMD Id: 407279
Site Specific Name: HALBEISEN TOM INC
Mailing Address: 835 HAYNES ST
Mailing City/State/Zip: 48009
Mailing County: OAKLAND

P59
ESE
1/8-1/4
0.228 mi.
1205 ft.

HALBEISEN TOM INC
835 HAYNES ST
BIRMINGHAM, MI 48009
Site 2 of 4 in cluster P

RCRA-VSQG **1000691549**
FINDS **MID985643790**
ECHO

Relative:
Lower
Actual:
759 ft.

RCRA-VSQG:
Date Form Received by Agency: 2004-04-19 00:00:00.0
Handler Name: HALBEISEN TOM INC
Handler Address: 835 HAYNES ST
Handler City,State,Zip: BIRMINGHAM, MI 48009
EPA ID: MID985643790
Contact Name: THOMAS HALBEISEN
Contact Address: 835 HAYNES ST
Contact City,State,Zip: BIRMINGHAM, MI 48009
Contact Telephone: 248-647-3370
Contact Fax: Not reported
Contact Email: Not reported
Contact Title: Not reported
EPA Region: 05
Land Type: Private
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
Non-Notifier: Not reported
Biennial Report Cycle: Not reported
Accessibility: Not reported
Active Site Indicator: Handler Activities
State District Owner: Not reported
State District: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HALBEISEN TOM INC (Continued)

1000691549

Mailing Address:	835 HAYNES ST
Mailing City,State,Zip:	BIRMINGHAM, MI 48009
Owner Name:	HALBEISEN TOM INC
Owner Type:	Private
Operator Name:	HALBEISEN TOM INC
Operator Type:	Private
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HALBEISEN TOM INC (Continued)

1000691549

Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Hazardous Waste Summary:

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator:	Operator
Owner/Operator Name:	HALBEISEN TOM INC
Legal Status:	Private
Date Became Current:	1992-06-05 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Operator
Owner/Operator Name:	HALBEISEN TOM INC
Legal Status:	Private
Date Became Current:	1992-06-05 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	HALBEISEN TOM INC
Legal Status:	Private
Date Became Current:	1992-06-05 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	HALBEISEN TOM INC
Legal Status:	Private
Date Became Current:	1992-06-05 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HALBEISEN TOM INC (Continued)

1000691549

Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	HALBEISEN TOM INC
Legal Status:	Private
Date Became Current:	1992-06-05 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	HALBEISEN TOM INC
Legal Status:	Private
Date Became Current:	1992-06-05 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	HALBEISEN TOM INC
Legal Status:	Private
Date Became Current:	1992-06-05 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	HALBEISEN TOM INC
Legal Status:	Private
Date Became Current:	1992-06-05 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	HALBEISEN TOM INC
Legal Status:	Private
Date Became Current:	1992-06-05 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HALBEISEN TOM INC (Continued)

1000691549

Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
Owner/Operator Name: HALBEISEN TOM INC
Legal Status: Private
Date Became Current: 1992-06-05 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 1998-11-16 00:00:00.0
Handler Name: HALBEISEN TOM INC
Federal Waste Generator Description: Not a generator, verified
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: No
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

Receive Date: 2003-06-23 00:00:00.0
Handler Name: HALBEISEN TOM INC
Federal Waste Generator Description: Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: No
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

Receive Date: 1992-06-05 00:00:00.0
Handler Name: HALBEISEN TOM INC
Federal Waste Generator Description: Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: No
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HALBEISEN TOM INC (Continued)

1000691549

Receive Date: 2003-07-22 00:00:00.0
Handler Name: HALBEISEN TOM INC
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: No
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

Receive Date: 2004-04-19 00:00:00.0
Handler Name: HALBEISEN TOM INC
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 44131
NAICS Description: AUTOMOTIVE PARTS AND ACCESSORIES STORES

Facility Has Received Notices of Violation:

Found Violation: No
Agency Which Determined Violation: Not reported
Violation Short Description: Not reported
Date Violation was Determined: Not reported
Actual Return to Compliance Date: Not reported
Return to Compliance Qualifier: Not reported
Violation Responsible Agency: Not reported
Scheduled Compliance Date: Not reported
Enforcement Identifier: Not reported
Date of Enforcement Action: Not reported
Enforcement Responsible Agency: Not reported
Enforcement Docket Number: Not reported
Enforcement Attorney: Not reported
Corrective Action Component: Not reported
Appeal Initiated Date: Not reported
Appeal Resolution Date: Not reported
Disposition Status Date: Not reported
Disposition Status: Not reported
Disposition Status Description: Not reported
Consent/Final Order Sequence Number: Not reported
Consent/Final Order Respondent Name: Not reported
Consent/Final Order Lead Agency: Not reported
Enforcement Type: Not reported
Enforcement Responsible Person: Not reported
Enforcement Responsible Sub-Organization: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HALBEISEN TOM INC (Continued)

1000691549

SEP Sequence Number: Not reported
SEP Expenditure Amount: Not reported
SEP Scheduled Completion Date: Not reported
SEP Actual Date: Not reported
SEP Defaulted Date: Not reported
SEP Type: Not reported
SEP Type Description: Not reported
Proposed Amount: Not reported
Final Monetary Amount: Not reported
Paid Amount: Not reported
Final Count: Not reported
Final Amount: Not reported

Evaluation Action Summary:

Evaluation Date: 2018-06-05 00:00:00.0
Evaluation Responsible Agency: State
Found Violation: No
Evaluation Type Description: COMPLIANCE ASSISTANCE VISIT
Evaluation Responsible Person Identifier: Not reported
Evaluation Responsible Sub-Organization: Not reported
Actual Return to Compliance Date: Not reported
Scheduled Compliance Date: Not reported
Date of Request: Not reported
Date Response Received: Not reported
Request Agency: Not reported
Former Citation: Not reported

FINDS:

Registry ID: 110003671893

Click Here:

Environmental Interest/Information System:

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000691549
Registry ID: 110003671893
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110003671893>
Name: HALBEISEN TOM INC
Address: 835 HAYNES ST
City,State,Zip: BIRMINGHAM, MI 48009

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

Q60 NE 1/8-1/4 0.243 mi. 1281 ft. Relative: Higher Actual: 770 ft.	MAPLE ELM DEVELOPMENT COMPANY LLC 820 E MAPLE BIRMINGHAM, MI 48009 Site 1 of 3 in cluster Q RCRA NonGen / NLR: Date Form Received by Agency: Handler Name: Handler Address: Handler City,State,Zip: EPA ID: Contact Name: Contact Address: Contact City,State,Zip: Contact Telephone: Contact Fax: Contact Email: Contact Title: EPA Region: Land Type: Federal Waste Generator Description: Non-Notifier: Biennial Report Cycle: Accessibility: Active Site Indicator: State District Owner: State District: Mailing Address: Mailing City,State,Zip: Owner Name: Owner Type: Operator Name: Operator Type: Short-Term Generator Activity: Importer Activity: Mixed Waste Generator: Transporter Activity: Transfer Facility Activity: Recycler Activity with Storage: Small Quantity On-Site Burner Exemption: Smelting Melting and Refining Furnace Exemption: Underground Injection Control: Off-Site Waste Receipt: Universal Waste Indicator: Universal Waste Destination Facility: Federal Universal Waste: Active Site Fed-Reg Treatment Storage and Disposal Facility: Active Site Converter Treatment storage and Disposal Facility: Active Site State-Reg Treatment Storage and Disposal Facility: Active Site State-Reg Handler: Federal Facility Indicator: Hazardous Secondary Material Indicator: Sub-Part K Indicator: Commercial TSD Indicator: Treatment Storage and Disposal Type: 2018 GPRA Permit Baseline: 2018 GPRA Renewals Baseline: Permit Renewals Workload Universe:	2013-11-01 00:00:00.0 MAPLE ELM DEVELOPMENT COMPANY LLC 820 E MAPLE BIRMINGHAM, MI 48009 MIK204939963 MARK HIGHLEN Not reported Not reported 248-737-6175 248-737-6175 MHIGHLEN@BEZTALI.COM Not reported 05 Private Not a generator, verified Not reported Not reported Not reported Not reported Not reported Not reported Not reported 31731 NORTH WESTERN HWY FARMINGTON HILLS, MI 48334 MAPLE ELM DEVELOPMENT COMPANY LLC Private MAPLE ELM DEVELOPMENT COMPANY LLC Private Not reported Not reported Not reported --- Not reported NN Not reported No Not reported Not on the Baseline Not on the Baseline Not reported	RCRA NonGen / NLR FINDS ECHO 1016449162 MIK204939963
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Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MAPLE ELM DEVELOPMENT COMPANY LLC (Continued)

1016449162

Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2013-11-12 10:09:23.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Hazardous Waste Summary:

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator:	Owner
Owner/Operator Name:	MAPLE ELM DEVELOPMENT COMPANY LLC
Legal Status:	Private
Date Became Current:	2012-03-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Operator
Owner/Operator Name:	MAPLE ELM DEVELOPMENT COMPANY LLC
Legal Status:	Private
Date Became Current:	2012-03-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MAPLE ELM DEVELOPMENT COMPANY LLC (Continued)

1016449162

Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 2013-11-01 00:00:00.0
Handler Name: MAPLE ELM DEVELOPMENT COMPANY LLC
Federal Waste Generator Description: Not a generator, verified
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 531311
NAICS Description: RESIDENTIAL PROPERTY MANAGERS

Facility Has Received Notices of Violations:

Violations: No Violations Found

Evaluation Action Summary:

Evaluations: No Evaluations Found

FINDS:

Registry ID: 110056377059

Click Here:

Environmental Interest/Information System:

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1016449162
Registry ID: 110056377059
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110056377059>
Name: MAPLE ELM DEVELOPMENT COMPANY LLC
Address: 820 E MAPLE
City,State,Zip: BIRMINGHAM, MI 48009

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

Q61 **ALL SEASONS OF BIRMINGHAM**
NE **820 E MAPLE**
1/8-1/4 **BIRMINGHAM, MI 48009**
0.243 mi.
1281 ft. **Site 2 of 3 in cluster Q**

AST **A100446389**
N/A

Relative: **AST:**
Higher Name: ALL SEASONS OF BIRMINGHAM
Address: 820 E MAPLE
City: BIRMINGHAM
Zip: 480096400
Facility ID: 81084523
Facility Phone: Not reported
Owner Name: Not reported
Owner Address: Not reported
Owner City,St,Zip: Not reported
Owner County: Not reported
Owner Contact: Not reported
Owner Telephone: Not reported
District: Not reported
Contact: Not reported
List Status: Abovegroun
Date of Collection: Not reported
Accuracy: Not reported
Source: Not reported
Point Line Area: Not reported
Description Category: Not reported
Method of Collection: Not reported
Horizontal Datum: Not reported
Latitude: Not reported
Longitude: Not reported

Tank Id: ATK-140348-15
Tank Status: Inactive
Capacity (in gallons): Not reported
Installation Date: Not reported
Substance Stored: Not reported
Removed/Closed Date: Not reported

62 **WABEEK ASSOC GEN PARTNERSHIP**
NW **280 W MAPLE RD**
1/8-1/4 **BIRMINGHAM, MI 48009**
0.246 mi.
1300 ft.

UST **U003834374**
N/A

Relative: **UST:**
Higher Name: WABEEK ASSOC GEN PARTNERSHIP
Address: 280 W MAPLE RD
City,State,Zip: BIRMINGHAM 48009-3344
Facility Type: CLOSED
Facility ID: 00034440
Facility Region: Not reported
Owner Name: MUTUAL BENEFIT LIFE
Owner Address: C/O MORRIS & BERKE 901 WILSHIRE DR SUITE 370
Owner City: TROY
Owner State: MI
Owner Zip: 48084
Owner Contact: Not reported
Owner Phone: 7343626808
Contact: A LYLE BECKWITH

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WABEEK ASSOC GEN PARTNERSHIP (Continued)

U003834374

Contact Phone: (734) 362-6808
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 1
Capacity: Not reported
Tank Status: Removed from Ground
Substance: Other(FUEL OIL)
Install Date: 01/01/1928
Remove Date: 12/02/1993
Tank Number: Not reported
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Not reported
Piping Type: Not reported
Tank Construction: Not reported
Impressed Device: Not reported
Latitude: 42.54669
Longitude: -83.21687

**Q63
NE
1/4-1/2
0.251 mi.
1327 ft.**

**HAMILTON FUNERAL HOME PROPERTY
820 EAST MAPLE ROAD
BIRMINGHAM, MI 48009
Site 3 of 3 in cluster Q**

**INVENTORY S111832674
BEA N/A**

**Relative:
Higher**

INVENTORY:
Name: HAMILTON FUNERAL HOME PROPERTY
Address: 820 EAST MAPLE ROAD
City,State,Zip: MI 48009
Bea Number: 201205134LV
Township: Birmingham
District: Southeast MI
Data Source: BEA
Latitude: Not reported
Longitude: Not reported

**Actual:
770 ft.**

BEA:
Secondary Address: Not reported
BEA Number: 5134
District: Southeast MI
Date Received: 03/27/2012
Submitter Name: Maple Elm Development Company, LLC
Petition Determination: No Request
Petition Disclosure: 0
Category: Not reported
Determination 20107A: No Request
Reviewer: berakr
Division Assigned: RD

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

P64
ESE
1/4-1/2
0.259 mi.
1366 ft.

LAVERY MI DEALERSHIP PROPERTIES NO.1,LLC
907 AND 911 HAYNES STREET
OAKLAND (County), MI 48009

INVENTORY **S116710717**
N/A

Site 3 of 4 in cluster P

Relative:
Lower

INVENTORY:

Name: LAVERY MI DEALERSHIP PROPERTIES NO.1,LLC
Address: 907 AND 911 HAYNES STREET
City,State,Zip: MI 48009
Bea Number: 201406074LV
Township: Birmingham
District: Southeast MI
Data Source: BEA
Latitude: Not reported
Longitude: Not reported

Actual:
759 ft.

P65
ESE
1/4-1/2
0.259 mi.
1366 ft.

FRED LAVERY COMPANY
907 AND 911 HAYNES STREET
OAKLAND (County), MI 48009

INVENTORY **S116710696**
N/A

Site 4 of 4 in cluster P

Relative:
Lower

INVENTORY:

Name: FRED LAVERY COMPANY
Address: 907 AND 911 HAYNES STREET
City,State,Zip: MI 48009
Bea Number: 201406073LV
Township: Birmingham
District: Southeast MI
Data Source: BEA
Latitude: Not reported
Longitude: Not reported

Actual:
759 ft.

66
WNW
1/4-1/2
0.276 mi.
1455 ft.

PROPOSED BALDWIN HOUSE SITE
200 CHESTER ST
BIRMINGHAM, MI 48009

LUST **U001777213**
UST **N/A**
WDS

Relative:
Higher

LUST:

Name: PROPOSED BALDWIN HOUSE SITE
Address: 200 CHESTER ST
City,State,Zip: BIRMINGHAM, MI 48009-
Facility ID: 00037464
Source: STATE OF MICHIGAN
Owner Name: BirminghamLtd Divided Assc Ptn
Owner Address: Not reported
Owner City,St,Zip: UNKNOWN, MI
Owner Contact: Not reported
Owner Phone: Not reported
Country: USA
District: Warren
Site Name: Baldwin House Site
Latitude: 42.54567
Longitude: -83.21853
Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number

Actual:
782 ft.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

PROPOSED BALDWIN HOUSE SITE (Continued)

U001777213

Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-0628-93
Release Date: 05/19/1993
Substance Released: Heating Oil
Release Status: Closed
Release Closed Date: 03/23/1995

UST:

Name: PROPOSED BALDWIN HOUSE SITE
Address: 200 CHESTER ST
City,State,Zip: BIRMINGHAM, MI 48009-1420
Facility Type: CLOSED
Facility ID: 00037464
Facility Region: 1
Owner Name: BIRMINGHAM LTD DIVIDED ASSC PTN
Owner Address: 29777 TELEGRAPH RD STE 2100
Owner City: SOUTHFIELD
Owner State: MI
Owner Zip: 48034-7637
Owner Contact: Not reported
Owner Phone: 3133582323
Contact: Marv Rubin
Contact Phone: (313) 358-2323
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 1
Capacity: Not reported
Tank Status: Closed in Ground
Substance: Other(UNK)
Install Date: Not reported
Remove Date: 01/01/1969
Tank Number: UTK-066679-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Tank Construction: Unknown
Impressed Device: Not reported
Latitude: 42.54567
Longitude: -83.21853

WDS:

Name: BALDWIN HOUSE
Address: 200 CHESTER ST

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

PROPOSED BALDWIN HOUSE SITE (Continued)

U001777213

City,State,Zip: BIRMINGHAM, MI 48009
Site Id: MIK756294448
WMD Id: 489340
Site Specific Name: BALDWIN HOUSE
Mailing Address: 200 CHESTER ST
Mailing City/State/Zip: 48009
Mailing County: OAKLAND

**67
SE
1/4-1/2
0.284 mi.
1501 ft.**

**AMERICAR
860 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009**

**LUST U000263070
UST N/A
WDS**

**Relative:
Lower
Actual:
758 ft.**

LUST:
Name: AMERICAR
Address: 860 S OLD WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-
Facility ID: 00034958
Source: STATE OF MICHIGAN
Owner Name: BeierDean G % Robert R. Shuman
Owner Address: Not reported
Owner City,St,Zip: UNKNOWN, MI
Owner Contact: Not reported
Owner Phone: Not reported
Country: USA
District: Warren
Site Name: Americar Rental
Latitude: 42.54084
Longitude: -83.20877
Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-0468-89
Release Date: 08/29/1989
Substance Released: Not reported
Release Status: Closed
Release Closed Date: 08/16/1990

UST:
Name: AMERICAR
Address: 860 S OLD WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-6722
Facility Type: CLOSED
Facility ID: 00034958
Facility Region: 1
Owner Name: BEIER DEAN G % ROBERT R. SHUMAN
Owner Address: 200 E LONG LAKE RD SUITE110
Owner City: BLOOMFIELD HILLS
Owner State: MI
Owner Zip: 48304
Owner Contact: Not reported
Owner Phone: 3136459400

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

AMERICAR (Continued)

U000263070

Contact: Not reported
Contact Phone: () -
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 2
Capacity: 1000
Tank Status: Removed from Ground
Substance: Used Oil
Install Date: 01/01/1948
Remove Date: 02/15/1991
Tank Number: UTK-009930-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel,Unknown
Impressed Device: Not reported
Latitude: 42.54084
Longitude: -83.20877

Name: AMERICAR
Address: 860 S OLD WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-6722
Facility Type: CLOSED
Facility ID: 00034958
Facility Region: 1
Owner Name: BEIER DEAN G % ROBERT R. SHUMAN
Owner Address: 200 E LONG LAKE RD SUITE110
Owner City: BLOOMFIELD HILLS
Owner State: MI
Owner Zip: 48304
Owner Contact: Not reported
Owner Phone: 3136459400
Contact: Not reported
Contact Phone: () -
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 1
Capacity: 1000
Tank Status: Removed from Ground
Substance: Heating Oil
Install Date: 01/01/1948

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

AMERICAR (Continued)

U000263070

Remove Date: 02/15/1991
Tank Number: UTK-012888-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel,Unknown
Impressed Device: Not reported
Latitude: 42.54084
Longitude: -83.20877

WDS:

Name: AMERICAR RENTAL SYSTEM
Address: 860 S OLD WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009
Site Id: MIG000012614
WMD Id: 456124
Site Specific Name: AMERICAR RENTAL SYSTEM
Mailing Address: 860 S OLD WOODWARD AVE
Mailing City/State/Zip: 48009
Mailing County: OAKLAND

**R68
NE
1/4-1/2
0.287 mi.
1513 ft.**

**ELMWOOD PROPERTIES I, LLC
920-970 EAST MAPLE ROAD
BIRMINGHAM, MI
Site 1 of 5 in cluster R**

**BEA S104912490
N/A**

**Relative:
Higher
Actual:
768 ft.**

BEA:
Secondary Address: Not reported
BEA Number: 1133
District: Southeast MI
Date Received: 05/02/2000
Submitter Name: ELMWOOD PROPERTIES I, LLC
Petition Determination: Affirmed
Petition Disclosure: 1
Category: No Hazardous Substance(s)
Determination 20107A: No Request
Reviewer: temppm
Division Assigned: Environmental Response Division

**S69
NNW
1/4-1/2
0.300 mi.
1585 ft.**

**COMERICA BANK BIRMINGHAM
322 N. OLD WOODWARD
BIRMINGHAM, MI 48009
Site 1 of 2 in cluster S**

**INVENTORY S114028625
N/A**

**Relative:
Higher
Actual:
773 ft.**

INVENTORY:
Name: COMERICA BANK BIRMINGHAM
Address: 322 N. OLD WOODWARD
City,State,Zip: BIRMINGHAM, MI 48009
Bea Number: Not reported
Township: Birmingham
District: Southeast MI
Data Source: Part 201

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

COMERICA BANK BIRMINGHAM (Continued)

S114028625

Latitude: 42.54826
Longitude: -83.2162

**R70
NE
1/4-1/2
0.311 mi.
1644 ft.**

**PARKING LOT (DIETZ CORP)
985 E MAPLE RD
BIRMINGHAM, MI 48009**

**INVENTORY S102851965
BEA N/A**

Site 2 of 5 in cluster R

**Relative:
Higher
Actual:
768 ft.**

INVENTORY:
Name: PARKING LOT (DIETZ CORP)
Address: 985 E MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009
Bea Number: Not reported
Township: Not reported
District: Southeast MI
Data Source: Part 213
Latitude: 42.54696
Longitude: -83.20728

BEA:

Secondary Address: Not reported
BEA Number: 430
District: Southeast MI
Date Received: 09/12/1997
Submitter Name: PAUL DIETZ
Petition Determination: Affirmed
Petition Disclosure: 1
Category: No Hazardous Substance(s)
Determination 20107A: Affirmed
Reviewer: temppm
Division Assigned: Storage Tank Division

Secondary Address: Not reported
BEA Number: 566
District: Southeast MI
Date Received: 03/23/1998
Submitter Name: BSP REALTY
Petition Determination: Affirmed
Petition Disclosure: 1
Category: No Hazardous Substance(s)
Determination 20107A: Affirmed
Reviewer: temppm
Division Assigned: Storage Tank Division

**R71
NE
1/4-1/2
0.311 mi.
1644 ft.**

**PARKING LOT (DIETZ CORP)
985 E MAPLE RD
BIRMINGHAM, MI 48009**

**LUST U004275225
UST N/A**

Site 3 of 5 in cluster R

**Relative:
Higher
Actual:
768 ft.**

LUST:
Name: PARKING LOT (DIETZ CORP)
Address: 985 E MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009-
Facility ID: 50002129

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

PARKING LOT (DIETZ CORP) (Continued)

U004275225

Source: STATE OF MICHIGAN
Owner Name: NrtOwner
Owner Address: Not reported
Owner City,St,Zip: UNKNOWN, MI
Owner Contact: Not reported
Owner Phone: Not reported
Country: USA
District: Warren
Site Name: Parking Lot (dietz Corp)
Latitude: 42.54696
Longitude: -83.20728
Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-0999-97
Release Date: 10/14/1997
Substance Released: Unknown
Release Status: Open
Release Closed Date: Not reported

UST:

Name: PARKING LOT (DIETZ CORP)
Address: 985 E MAPLE RD
City,State,Zip: BIRMINGHAM 48009-6410
Facility Type: CLOSED
Facility ID: 50002129
Facility Region: Not reported
Owner Name: NRT OWNER
Owner Address: UNKNOWN
Owner City: UNKNOWN
Owner State: MI
Owner Zip: 99999
Owner Contact: Not reported
Owner Phone: Not reported
Contact: Not reported
Contact Phone: Not reported
Date of Collection: Not reported
Accuracy: Not reported
Horizontal Datum: Not reported
Accuracy Value Unit: Not reported
Source: Not reported
Point Line Area: Not reported
Desc Category: Not reported
Method of Collection: Not reported
District: Not reported
Tank ID: 1
Capacity: Not reported
Tank Status: Removed from Ground
Substance: Not reported
Install Date: Not reported
Remove Date: 10/14/1997
Tank Number: Not reported
Tank Details Compartments: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

PARKING LOT (DIETZ CORP) (Continued)

U004275225

Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Not reported
Piping Type: Not reported
Tank Construction: Not reported
Impressed Device: Not reported
Latitude: Not reported
Longitude: Not reported

UST 2:

Name: PARKING LOT (DIETZ CORP)
Address: 985 E MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009-6410
Region: Not reported
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: Not Recorded
Owner City: Not reported
Owner State: Not reported
Owner Zip: 99999
Owner Phone: Not reported
Record ID: UTK-009763-15
Facility Status: Not reported
Tank ID: Not reported
Tank Status: Removed from Ground
Tank Capacity: Not reported
Tank Content: Not reported
Install Date: 01/01/1900
Removal Date: 01/01/1900
Tank Release Detect: Not reported
Pipe Release Detect: Not reported
Tank Piping Material: Not reported
Tank Constr. Material: Not reported

R72
ENE
1/4-1/2
0.312 mi.
1645 ft.

BUDGET RENT-A-CAR
1000 E MAPLE RD
BIRMINGHAM, MI 48009
Site 4 of 5 in cluster R

LUST **U000261651**
UST **N/A**
INVENTORY
WDS

Relative:
Lower
Actual:
766 ft.

LUST:
Name: BUDGET RENT-A-CAR
Address: 1000 E MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009-
Facility ID: 00007720
Source: STATE OF MICHIGAN
Owner Name: ConineRentals, Inc
Owner Address: Not reported
Owner City,St,Zip: UNKNOWN, MI
Owner Contact: Not reported
Owner Phone: Not reported
Country: USA
District: Warren
Site Name: Budget Rent A Car
Latitude: 42.54670
Longitude: -83.20653
Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BUDGET RENT-A-CAR (Continued)

U000261651

Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-0844-90
Release Date: 05/11/1990
Substance Released: Not reported
Release Status: Open
Release Closed Date: Not reported

Leak Number: C-0990-90
Release Date: 06/01/1990
Substance Released: Not reported
Release Status: Open
Release Closed Date: Not reported

UST:

Name: BUDGET RENT-A-CAR
Address: 1000 E MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009-6423
Facility Type: CLOSED
Facility ID: 00007720
Facility Region: 1
Owner Name: CONINE RENTALS, INC
Owner Address: 8715 WICKHAM RD
Owner City: ROMULUS
Owner State: MI
Owner Zip: 48174-1915
Owner Contact: Not reported
Owner Phone: 7343266880
Contact: MARY BOYD
Contact Phone: (313) 540-3211
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 4
Capacity: 550
Tank Status: Removed from Ground
Substance: Used Oil
Install Date: Not reported
Remove Date: 06/17/1991
Tank Number: UTK-039364-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Tank Construction: Unknown
Impressed Device: Not reported
Latitude: 42.54670

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BUDGET RENT-A-CAR (Continued)

U000261651

Longitude: -83.20653

Name: BUDGET RENT-A-CAR
Address: 1000 E MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009-6423
Facility Type: CLOSED
Facility ID: 00007720
Facility Region: 1
Owner Name: CONINE RENTALS, INC
Owner Address: 8715 WICKHAM RD
Owner City: ROMULUS
Owner State: MI
Owner Zip: 48174-1915
Owner Contact: Not reported
Owner Phone: 7343266880
Contact: MARY BOYD
Contact Phone: (313) 540-3211
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 3
Capacity: 1000
Tank Status: Removed from Ground
Substance: Kerosene
Install Date: Not reported
Remove Date: 06/17/1991
Tank Number: UTK-089523-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Tank Construction: Unknown
Impressed Device: Not reported
Latitude: 42.54670
Longitude: -83.20653

Name: BUDGET RENT-A-CAR
Address: 1000 E MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009-6423
Facility Type: CLOSED
Facility ID: 00007720
Facility Region: 1
Owner Name: CONINE RENTALS, INC
Owner Address: 8715 WICKHAM RD
Owner City: ROMULUS
Owner State: MI
Owner Zip: 48174-1915
Owner Contact: Not reported
Owner Phone: 7343266880
Contact: MARY BOYD

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BUDGET RENT-A-CAR (Continued)

U000261651

Contact Phone: (313) 540-3211
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 2
Capacity: 10000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: Not reported
Remove Date: 06/17/1991
Tank Number: UTK-089519-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Tank Construction: Unknown
Impressed Device: Not reported
Latitude: 42.54670
Longitude: -83.20653

Name: BUDGET RENT-A-CAR
Address: 1000 E MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009-6423
Facility Type: CLOSED
Facility ID: 00007720
Facility Region: 1
Owner Name: CONINE RENTALS, INC
Owner Address: 8715 WICKHAM RD
Owner City: ROMULUS
Owner State: MI
Owner Zip: 48174-1915
Owner Contact: Not reported
Owner Phone: 7343266880
Contact: MARY BOYD
Contact Phone: (313) 540-3211
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 1
Capacity: 10000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: Not reported
Remove Date: 06/17/1991

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BUDGET RENT-A-CAR (Continued)

U000261651

Tank Number: UTK-089516-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Tank Construction: Unknown
Impressed Device: Not reported
Latitude: 42.54670
Longitude: -83.20653

INVENTORY:

Name: BUDGET RENT-A-CAR
Address: 1000 E MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009
Bea Number: Not reported
Township: Not reported
District: Southeast MI
Data Source: Part 213
Latitude: 42.5467
Longitude: -83.20654

WDS:

Name: BUDGET RENT A CAR
Address: 1000 E MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009
Site Id: MIG000018867
WMD Id: 453923
Site Specific Name: BUDGET RENT A CAR
Mailing Address: 1000 E MAPLE RD
Mailing City/State/Zip: 48009
Mailing County: OAKLAND

R73
ENE
1/4-1/2
0.312 mi.
1647 ft.

OSOS TONTOS LLC
985 EAST MAPLE
BIRMINGHAM, MI 48104
Site 5 of 5 in cluster R

BEA S113828182
N/A

Relative:
Lower
Actual:
767 ft.

BEA:
Secondary Address: Not reported
BEA Number: 5627
District: Southeast MI
Date Received: 06/25/2013
Submitter Name: Osos Tontos LLC
Petition Determination: No Request
Petition Disclosure: 0
Category: Not reported
Determination 20107A: No Request
Reviewer: mitchelf
Division Assigned: Storage Tank Division

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

S74
NNW
1/4-1/2
0.324 mi.
1710 ft.

344 NORTH OLD WOODWARD AVENUE
344 NORTH OLD WOODWARD AVENUE
BIRMINGHAM, MI

INVENTORY **S123643087**
N/A

Site 2 of 2 in cluster S

Relative:
Higher
Actual:
771 ft.

INVENTORY:
Name: 344 NORTH OLD WOODWARD AVENUE
Address: 344 NORTH OLD WOODWARD AVENUE
City,State,Zip: BIRMINGHAM, MI
Bea Number: Not reported
Township: Not reported
District: Southeast MI
Data Source: Part 201
Latitude: 42.54895
Longitude: -83.21577

75
WNW
1/4-1/2
0.326 mi.
1720 ft.

BIRMINGHAM PUBLIC SCHOOLS
550 W MERRILL ST
BIRMINGHAM, MI 48009

LUST **S102851783**
INVENTORY **N/A**

Relative:
Higher
Actual:
780 ft.

LUST:
Name: BIRMINGHAM PUBLIC SCHOOLS
Address: 550 W MERRILL ST
City,State,Zip: BIRMINGHAM, MI 48009-
Facility ID: 50000584
Source: STATE OF MICHIGAN
Owner Name: NrtOwner
Owner Address: Not reported
Owner City,St,Zip: UNKNOWN, MI
Owner Contact: Not reported
Owner Phone: Not reported
Country: USA
District: Warren
Site Name: Birmingham Public Schools
Latitude: 42.54592
Longitude: -83.21942
Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-1462-90
Release Date: 08/08/1990
Substance Released: Not reported
Release Status: Open
Release Closed Date: Not reported

INVENTORY:
Name: BIRMINGHAM PUBLIC SCHOOLS
Address: 550 W MERRILL ST
City,State,Zip: BIRMINGHAM, MI 48009
Bea Number: Not reported
Township: Not reported
District: Southeast MI

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BIRMINGHAM PUBLIC SCHOOLS (Continued)

S102851783

Data Source: Part 213
Latitude: 42.54593
Longitude: -83.21942

76
NW
1/4-1/2
0.337 mi.
1780 ft.

FIRST CHURCH OF CHRIST
191 N. CHESTER ST.
BIRMINGHAM, MI 48009

INVENTORY **S114028648**
N/A

Relative:
Higher
Actual:
780 ft.

INVENTORY:
Name: FIRST CHURCH OF CHRIST
Address: 191 N. CHESTER ST.
City,State,Zip: BIRMINGHAM, MI 48009
Bea Number: Not reported
Township: Birmingham
District: Southeast MI
Data Source: Part 201
Latitude: 42.54709
Longitude: -83.21811

77
East
1/4-1/2
0.338 mi.
1787 ft.

PERRY DRUG STORES INC
597 S ADAMS RD
BIRMINGHAM, MI 48009

INVENTORY **S112452279**
WDS **N/A**

Relative:
Lower
Actual:
757 ft.

INVENTORY:
Name: 597-725 SOUTH ADAMS ROAD
Address: 597 SOUTH ADAMS ROAD
City,State,Zip: BIRMINGHAM, MI
Bea Number: Not reported
Township: Not reported
District: Southeast MI
Data Source: Part 201
Latitude: 42.54285
Longitude: -83.20396

WDS:
Name: PERRY DRUG STORES INC
Address: 597 S ADAMS RD
City,State,Zip: BIRMINGHAM, MI 48009
Site Id: MIK196218299
WMD Id: 491808
Site Specific Name: RITE AID #4303
Mailing Address: 30 HUNTER LN
Mailing City/State/Zip: 17011
Mailing County: Not reported

MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Site

Database(s)

EDR ID Number
 EPA ID Number

78
ESE
1/4-1/2
0.341 mi.
1803 ft.

THE PLANT STATION
720 S ADAMS RD
BIRMINGHAM, MI 48009

LUST **U003324173**
UST **N/A**

Relative:
Lower
Actual:
756 ft.

LUST:
 Name: THE PLANT STATION
 Address: 720 S ADAMS RD
 City,State,Zip: BIRMINGHAM, MI 48009-
 Facility ID: 00018613
 Source: STATE OF MICHIGAN
 Owner Name: LynnE. Arft
 Owner Address: Not reported
 Owner City,St,Zip: UNKNOWN, MI
 Owner Contact: Not reported
 Owner Phone: Not reported
 Country: USA
 District: Warren
 Site Name: The Plant Station
 Latitude: 42.54215
 Longitude: -83.20557
 Date of Collection: 10/05/2004
 Method of Collection: Address Matching-House Number
 Accuracy: 100
 Accuracy Value Unit: FEET
 Horizontal Data: NAD83
 Point Line Area: POINT
 Desc Category: Plant Entrance (Freight)

Leak Number: C-0922-97
 Release Date: 10/13/1997
 Substance Released: Gasoline,Unknown
 Release Status: Closed
 Release Closed Date: 11/24/1998

UST:
 Name: THE PLANT STATION
 Address: 720 S ADAMS RD
 City,State,Zip: BIRMINGHAM, MI 48009-6930
 Facility Type: CLOSED
 Facility ID: 00018613
 Facility Region: 1
 Owner Name: LYNN E. ARFT
 Owner Address: 720 ADAMS
 Owner City: BIRMINGHAM
 Owner State: MI
 Owner Zip: 48011
 Owner Contact: Not reported
 Owner Phone: 3136428900
 Contact: LYNN E. ARFT
 Contact Phone: (313) 642-8900
 Date of Collection: 10/05/2004
 Accuracy: 100
 Horizontal Datum: NAD83
 Accuracy Value Unit: FEET
 Source: STATE OF MICHIGAN
 Point Line Area: POINT
 Desc Category: Plant Entrance (Freight)
 Method of Collection: Address Matching-House Number

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

THE PLANT STATION (Continued)

U003324173

District: Region 1 - SE Michigan District Office
Tank ID: 4
Capacity: 6000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: 04/11/1969
Remove Date: 07/01/1987
Tank Number: UTK-027193-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel
Impressed Device: Not reported
Latitude: 42.54215
Longitude: -83.20557

Name: THE PLANT STATION
Address: 720 S ADAMS RD
City,State,Zip: BIRMINGHAM, MI 48009-6930
Facility Type: CLOSED
Facility ID: 00018613
Facility Region: 1
Owner Name: LYNN E. ARFT
Owner Address: 720 ADAMS
Owner City: BIRMINGHAM
Owner State: MI
Owner Zip: 48011
Owner Contact: Not reported
Owner Phone: 3136428900
Contact: LYNN E. ARFT
Contact Phone: (313) 642-8900
Date of Collection: 10/05/2004
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 3
Capacity: 6000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: 04/11/1958
Remove Date: 07/01/1987
Tank Number: UTK-041161-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel
Impressed Device: Not reported
Latitude: 42.54215

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

THE PLANT STATION (Continued)

U003324173

Longitude: -83.20557

Name: THE PLANT STATION
Address: 720 S ADAMS RD
City,State,Zip: BIRMINGHAM, MI 48009-6930
Facility Type: CLOSED
Facility ID: 00018613
Facility Region: 1
Owner Name: LYNN E. ARFT
Owner Address: 720 ADAMS
Owner City: BIRMINGHAM
Owner State: MI
Owner Zip: 48011
Owner Contact: Not reported
Owner Phone: 3136428900
Contact: LYNN E. ARFT
Contact Phone: (313) 642-8900
Date of Collection: 10/05/2004
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 2
Capacity: 6000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: 04/11/1958
Remove Date: 07/01/1987
Tank Number: UTK-067987-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel
Impressed Device: Not reported
Latitude: 42.54215
Longitude: -83.20557

Name: THE PLANT STATION
Address: 720 S ADAMS RD
City,State,Zip: BIRMINGHAM, MI 48009-6930
Facility Type: CLOSED
Facility ID: 00018613
Facility Region: 1
Owner Name: LYNN E. ARFT
Owner Address: 720 ADAMS
Owner City: BIRMINGHAM
Owner State: MI
Owner Zip: 48011
Owner Contact: Not reported
Owner Phone: 3136428900
Contact: LYNN E. ARFT

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

THE PLANT STATION (Continued)

U003324173

Contact Phone: (313) 642-8900
Date of Collection: 10/05/2004
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 1
Capacity: 4000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: 04/11/1985
Remove Date: 07/01/1987
Tank Number: UTK-067985-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel,Cathodically Protected Steel
Impressed Device: Not reported
Latitude: 42.54215
Longitude: -83.20557

T79
ENE
1/4-1/2
0.353 mi.
1865 ft.

BIRMINGHAM STANDARD
1088 E MAPLE RD
BIRMINGHAM, MI 48009
Site 1 of 2 in cluster T

LUST **U000261690**
UST **N/A**
WDS

Relative:
Lower
Actual:
763 ft.

LUST:
Name: BIRMINGHAM STANDARD
Address: 1088 E MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009-
Facility ID: 00001897
Source: STATE OF MICHIGAN
Owner Name: BirminghamStandard
Owner Address: Not reported
Owner City,St,Zip: UNKNOWN, MI
Owner Contact: Not reported
Owner Phone: Not reported
Country: USA
District: Warren
Site Name: Amoco #5349
Latitude: 42.54671
Longitude: -83.20611
Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-0863-85

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BIRMINGHAM STANDARD (Continued)

U000261690

Release Date: 01/01/1900
Substance Released: Not reported
Release Status: Closed
Release Closed Date: 05/21/1996

UST:

Name: BIRMINGHAM STANDARD
Address: 1088 E MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009-6423
Facility Type: CLOSED
Facility ID: 00001897
Facility Region: 1
Owner Name: BIRMINGHAM STANDARD
Owner Address: 4215 YORBA LINDA BLVD
Owner City: ROYAL OAK
Owner State: MI
Owner Zip: 48073-6463
Owner Contact: Not reported
Owner Phone: 3136424888
Contact: J E WESTON
Contact Phone: (734) 953-7013
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 7
Capacity: 560
Tank Status: Removed from Ground
Substance: Used Oil
Install Date: 04/11/1986
Remove Date: 11/22/1994
Tank Number: UTK-027732-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel,Cathodically Protected Steel
Impressed Device: Not reported
Latitude: 42.54671
Longitude: -83.20611

Name: BIRMINGHAM STANDARD
Address: 1088 E MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009-6423
Facility Type: CLOSED
Facility ID: 00001897
Facility Region: 1
Owner Name: BIRMINGHAM STANDARD
Owner Address: 4215 YORBA LINDA BLVD
Owner City: ROYAL OAK
Owner State: MI
Owner Zip: 48073-6463

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BIRMINGHAM STANDARD (Continued)

U000261690

Owner Contact: Not reported
Owner Phone: 3136424888
Contact: J E WESTON
Contact Phone: (734) 953-7013
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 6
Capacity: 560
Tank Status: Removed from Ground
Substance: Diesel
Install Date: 04/11/1952
Remove Date: 01/31/1994
Tank Number: UTK-007192-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel
Impressed Device: Not reported
Latitude: 42.54671
Longitude: -83.20611

Name: BIRMINGHAM STANDARD
Address: 1088 E MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009-6423
Facility Type: CLOSED
Facility ID: 00001897
Facility Region: 1
Owner Name: BIRMINGHAM STANDARD
Owner Address: 4215 YORBA LINDA BLVD
Owner City: ROYAL OAK
Owner State: MI
Owner Zip: 48073-6463
Owner Contact: Not reported
Owner Phone: 3136424888
Contact: J E WESTON
Contact Phone: (734) 953-7013
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 5
Capacity: 6000
Tank Status: Removed from Ground

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BIRMINGHAM STANDARD (Continued)

U000261690

Substance: Gasoline
Install Date: 04/11/1952
Remove Date: 11/22/1994
Tank Number: UTK-074034-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel
Impressed Device: Not reported
Latitude: 42.54671
Longitude: -83.20611

Name: BIRMINGHAM STANDARD
Address: 1088 E MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009-6423
Facility Type: CLOSED
Facility ID: 00001897
Facility Region: 1
Owner Name: BIRMINGHAM STANDARD
Owner Address: 4215 YORBA LINDA BLVD
Owner City: ROYAL OAK
Owner State: MI
Owner Zip: 48073-6463
Owner Contact: Not reported
Owner Phone: 3136424888
Contact: J E WESTON
Contact Phone: (734) 953-7013
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 4
Capacity: 5500
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: 04/11/1952
Remove Date: 11/22/1994
Tank Number: UTK-074031-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel
Impressed Device: Not reported
Latitude: 42.54671
Longitude: -83.20611

Name: BIRMINGHAM STANDARD
Address: 1088 E MAPLE RD

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BIRMINGHAM STANDARD (Continued)

U000261690

City,State,Zip: BIRMINGHAM, MI 48009-6423
Facility Type: CLOSED
Facility ID: 00001897
Facility Region: 1
Owner Name: BIRMINGHAM STANDARD
Owner Address: 4215 YORBA LINDA BLVD
Owner City: ROYAL OAK
Owner State: MI
Owner Zip: 48073-6463
Owner Contact: Not reported
Owner Phone: 3136424888
Contact: J E WESTON
Contact Phone: (734) 953-7013
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 3
Capacity: 5500
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: 04/11/1952
Remove Date: 11/22/1994
Tank Number: UTK-010360-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel
Impressed Device: Not reported
Latitude: 42.54671
Longitude: -83.20611

Name: BIRMINGHAM STANDARD
Address: 1088 E MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009-6423
Facility Type: CLOSED
Facility ID: 00001897
Facility Region: 1
Owner Name: BIRMINGHAM STANDARD
Owner Address: 4215 YORBA LINDA BLVD
Owner City: ROYAL OAK
Owner State: MI
Owner Zip: 48073-6463
Owner Contact: Not reported
Owner Phone: 3136424888
Contact: J E WESTON
Contact Phone: (734) 953-7013
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BIRMINGHAM STANDARD (Continued)

U000261690

Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 2
Capacity: 4000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: 04/11/1952
Remove Date: 11/22/1994
Tank Number: UTK-074029-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel
Impressed Device: Not reported
Latitude: 42.54671
Longitude: -83.20611

Name: BIRMINGHAM STANDARD
Address: 1088 E MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009-6423
Facility Type: CLOSED
Facility ID: 00001897
Facility Region: 1
Owner Name: BIRMINGHAM STANDARD
Owner Address: 4215 YORBA LINDA BLVD
Owner City: ROYAL OAK
Owner State: MI
Owner Zip: 48073-6463
Owner Contact: Not reported
Owner Phone: 3136424888
Contact: J E WESTON
Contact Phone: (734) 953-7013
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 1
Capacity: 4000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: 04/11/1952
Remove Date: 11/22/1994
Tank Number: UTK-030847-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

BIRMINGHAM STANDARD (Continued)

U000261690

Piping Material: Unknown
 Piping Type: Not reported
 Tank Construction: Asphalt Coated or Bare Steel
 Impressed Device: Not reported
 Latitude: 42.54671
 Longitude: -83.20611

WDS:

Name: AMOCO OIL CO
 Address: 1088 E MAPLE RD
 City,State,Zip: BIRMINGHAM, MI 48009
 Site Id: MID985618065
 WMD Id: 405686
 Site Specific Name: AMOCO OIL CO 5349 BIRMINGHAM
 Mailing Address: 30230 ORCHARD LAKE RD
 Mailing City/State/Zip: 48334
 Mailing County: OAKLAND

U80
SE
 1/4-1/2
 0.355 mi.
 1872 ft.

912 OLD WOODWARD, LLC
912 SOUTH OLD WOODWARD AVENUE
OAKLAND (County), MI 48009
 Site 1 of 5 in cluster U

INVENTORY S116385988
N/A

Relative:
Lower
Actual:
756 ft.

INVENTORY:
 Name: 912 OLD WOODWARD, LLC
 Address: 912 SOUTH OLD WOODWARD AVENUE
 City,State,Zip: MI 48009
 Bea Number: 201405920LV
 Township: Birmingham
 District: Southeast MI
 Data Source: BEA
 Latitude: 42.5399
 Longitude: -83.20821

U81
SE
 1/4-1/2
 0.355 mi.
 1872 ft.

912 SOUTH OLD WOODWARD
912 SOUTH OLD WOODWARD
BIRMINGHAM, MI 48009
 Site 2 of 5 in cluster U

US BROWNFIELDS 1016603615
FINDS N/A

Relative:
Lower
Actual:
756 ft.

US BROWNFIELDS:
 Name: 912 SOUTH OLD WOODWARD
 Address: 912 SOUTH OLD WOODWARD
 City,State,Zip: BIRMINGHAM, MI 48009
 Recipient Name: Oakland County Michigan
 Grant Type: Assessment
 Property Number: 08-19-36-279-004
 Parcel size: 0.11
 Latitude: 42.539969
 Longitude: -83.20807
 HCM Label: Address Matching-House Number
 Map Scale: -
 Point of Reference: Entrance Point of a Facility or Station
 Highlights: Have build plan for over 90,000 of improvement to building.
 Including, but not limited to exterior improvements: tearing off all

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

912 SOUTH OLD WOODWARD (Continued)

1016603615

wood off building(deteriorated) and exposing brick, repairing all brick, add detail molding to exterior, new exterior signs and lighting, repair leaking roof. Including, but not limited to interior improvements: open up layout, add ADA compliant bathroom, new carpet, updated lighting, build to accommodate bridal business in the now vacant area and part of the kitchen showroom. Bridal store will take approximately 5,000 square feet and Kitchen showroom approximately 2100 square feet.

Datum: North American Datum of 1983
Acres Property ID: 171161
IC Data Access: -
Start Date: -
Redev Completion Date: -
Completed Date: -
Acres Cleaned Up: -
Cleanup Funding: -
Cleanup Funding Source: -
Assessment Funding: 4000
Assessment Funding Source: EPA
Redevelopment Funding: -
Redev. Funding Source: -
Redev. Funding Entity Name: -
Redevelopment Start Date: -
Assessment Funding Entity: US EPA - Brownfields Assessment Cooperative Agreement
Cleanup Funding Entity: -
Grant Type: Petroleum
Accomplishment Type: Phase II Environmental Assessment
Accomplishment Count: Y
Cooperative Agreement Number: 00E01208
Start Date: 2/14/2014
Ownership Entity: -
Completion Date: 2/28/2014
Current Owner: -
Did Owner Change: -
Cleanup Required: N
Video Available: N
Photo Available: Y
Institutional Controls Required: N
IC Category Proprietary Controls: -
IC Cat. Info. Devices: -
IC Cat. Gov. Controls: -
IC Cat. Enforcement Permit Tools: -
IC in place date: -
IC in place: N
State/tribal program date: -
State/tribal program ID: -
State/tribal NFA date: -
Air cleaned: -
Asbestos found: -
Asbestos cleaned: -
Controlled substance found: -
Controlled substance cleaned: -
Drinking water affected: -
Drinking water cleaned: -
Groundwater affected: -
Groundwater cleaned: -
Lead contaminant found: -

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

912 SOUTH OLD WOODWARD (Continued)

1016603615

Lead cleaned up:	-
No media affected:	-
Unknown media affected:	-
Other cleaned up:	-
Other metals found:	-
Other metals cleaned:	-
Other contaminants found:	-
Other contams found description:	-
PAHs found:	-
PAHs cleaned up:	-
PCBs found:	-
PCBs cleaned up:	-
Petro products found:	-
Petro products cleaned:	-
Sediments found:	-
Sediments cleaned:	-
Soil affected:	Y
Soil cleaned up:	-
Surface water cleaned:	-
VOCs found:	Y
VOCs cleaned:	-
Cleanup other description:	-
Num. of cleanup and re-dev. jobs:	-
Past use greenspace acreage:	-
Past use residential acreage:	-
Surface Water:	-
Past use commercial acreage:	0.11
Past use industrial acreage:	-
Future use greenspace acreage:	-
Future use residential acreage:	-
Future use commercial acreage:	0.11
Future use industrial acreage:	-
Superfund Fed. landowner flag:	-
Arsenic cleaned up:	-
Cadmium cleaned up:	-
Chromium cleaned up:	-
Copper cleaned up:	-
Iron cleaned up:	-
mercury cleaned up:	-
Nickel Cleaned Up:	-
No clean up:	-
Pesticides cleaned up:	-
Selenium cleaned up:	-
SVOCs cleaned up:	-
Unknown clean up:	-
Arsenic contaminant found:	-
Cadmium contaminant found:	-
Chromium contaminant found:	-
Copper contaminant found:	-
Iron contaminant found:	-
Mercury contaminant found:	-
Nickel contaminant found:	-
No contaminant found:	-
Pesticides contaminant found:	-
Selenium contaminant found:	-
SVOCs contaminant found:	-
Unknown contaminant found:	-

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

912 SOUTH OLD WOODWARD (Continued)

1016603615

Future Use: Multistory	-
Media affected Bluiding Material:	-
Media affected indoor air:	-
Building material media cleaned up:	-
Indoor air media cleaned up:	-
Unknown media cleaned up:	-
Past Use: Multistory	-
Property Description:	Standard and historical sources document the property was developed with the current building in 1927. Prior to that, the property was vacant land. The property was occupied by a plumber in at least 1931, a steel processing and heat treating company and a tool manufacturer in at least 1944, various automotive service garages from 1947 until 1967, and has been occupied by various offices since 1969.
Below Poverty Number:	83
Below Poverty Percent:	2.09
Meidan Income:	14933
Meidan Income Number:	305
Meidan Income Percent:	7.68
Vacant Housing Number:	142
Vacant Housing Percent:	6.81
Unemployed Number:	67
Unemployed Percent:	1.69

FINDS:

Registry ID: 110059657697

Click Here:

Environmental Interest/Information System:

US EPA Assessment, Cleanup and Redevelopment Exchange System (ACRES) is an federal online database for Brownfields Grantees to electronically submit data directly to EPA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

U82
SE
1/4-1/2
0.355 mi.
1872 ft.

912 OLD WOODWARD, LLC
912 SOUTH OLD WOODWARD AVENUE
BIRMINGHAM, MI 48009

INVENTORY S116385989
N/A

Site 3 of 5 in cluster U

Relative:
Lower
Actual:
756 ft.

INVENTORY:
 Name: 912 OLD WOODWARD, LLC
 Address: 912 SOUTH OLD WOODWARD AVENUE
 City,State,Zip: BIRMINGHAM, MI 48009
 Bea Number: Not reported
 Township: Birmingham
 District: Southeast MI
 Data Source: Part 201
 Latitude: 42.5399
 Longitude: -83.20821

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

T83
ENE
1/4-1/2
0.363 mi.
1917 ft.

MOBIL OIL CORP
1065 E MAPLE RD
BIRMINGHAM, MI 48009

Site 2 of 2 in cluster T

INVENTORY
AIRS
WDS

S111135724
N/A

Relative:
Lower
Actual:
765 ft.

INVENTORY:
Name: MAPLE GAS PROPERTY, LLC
Address: 1065 EAST MAPLE ROAD
City,State,Zip: MI 48009
Bea Number: 201606876LV
Township: Birmingham
District: Southeast MI
Data Source: BEA
Latitude: Not reported
Longitude: Not reported

AIRS:
Name: MOBIL OIL CORPORATION
Address: 1065 E MAPLE ROAD
City,State,Zip: BIRMINGHAM, MI 48012
State Registration Number: N3990
Naics Code: Not reported
Contact Email: Not reported
Contact Name: MIGUEL FIGUEROA
Contact Phone: 3139485026
Contact Address: 30 OAK HOLLOW STREET
Contact Address 2: SUITE 245
Contact City,St,Zip: SOUTHFIELD, MI 48034
Permit Number: 592-93
Date Received: 07/26/1993
Application Reason: SOIL VAPOR EXTRACT
Record Type: Not reported
State County FIPS: Not reported
Facility Category: Not reported
SIC Primary: Not reported
Tribal Code: Not reported
Facility Status Code: Not reported
Facility Status: Active
Supplemental Location Text: Not reported
Business Name: Not reported
Principal Product: Not reported
Principal Product Description: Not reported
UTM Zone (Geo Coordinates Universal Transverse Mercator System): Not reported
UTM Horizontal Coord: Not reported
UTM Vertical Coord: Not reported
Mailing Name: Not reported
Mailing Contact Person: Not reported
Mailing Street: Not reported
Mailing City: Not reported
Mailing State: Not reported
Mailing Zip: Not reported
Mailing Zip 4 Extension: Not reported
Compliance Person: Not reported
Compliance Area Code: Not reported
Compliance Phone Number: Not reported
Emission Inventory Contact Person: Not reported
EI Contact Area Code: Not reported
EI Contact Phone Number: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MOBIL OIL CORP (Continued)

S111135724

Permit Contact Person: Not reported
Permit Contact Person Area Code: Not reported
Permit Contact Person Phone Number: Not reported
Federal Employer Id Number: Not reported
Of Employees: Not reported
Reporting Year: Not reported
Date Record Was Created: Not reported

WDS:

Name: MOBIL OIL CORP
Address: 1065 E MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009
Site Id: MID985610443
WMD Id: 404936
Site Specific Name: MOBIL OIL CORP
Mailing Address: 30 OAK HOLLOW ST
Mailing City/State/Zip: 4803
Mailing County: OAKLAND

U84
SE
1/4-1/2
0.372 mi.
1963 ft.

OFFICE BUILDING & PARLING LOT
1000 SOUTH OLD WOODWARD AVENUE
BIRMINGHAM, MI

BEA S110624681
N/A

Site 4 of 5 in cluster U

Relative:
Lower
Actual:
756 ft.

BEA:
Secondary Address: Not reported
BEA Number: 4565
District: Southeast MI
Date Received: 08/18/2010
Submitter Name: Perimeter Properties, LLC
Petition Determination: No Request
Petition Disclosure: 0
Category: No Hazardous Substance(s)
Determination 20107A: No Request
Reviewer: mitchelf
Division Assigned: Storage Tank Division

U85
SE
1/4-1/2
0.375 mi.
1978 ft.

WOODLINC/MICH LTD PARTNERSHIP
1050 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

LUST U003834711
INVENTORY N/A

Site 5 of 5 in cluster U

Relative:
Lower
Actual:
756 ft.

LUST:
Name: WOODLINC/MICH LTD PARTNERSHIP
Address: 1050 S OLD WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-
Facility ID: 00039226
Source: STATE OF MICHIGAN
Owner Name: Woodlinc/MichLtd Partnership
Owner Address: Not reported
Owner City,St,Zip: UNKNOWN, MI
Owner Contact: Not reported
Owner Phone: Not reported
Country: USA

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WOODLINC/MICH LTD PARTNERSHIP (Continued)

U003834711

District: Warren
Site Name: Woodlinc/mich Ltd Partnership
Latitude: 42.54057
Longitude: -83.20848
Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-1071-96
Release Date: 12/20/1996
Substance Released: Gasoline
Release Status: Open
Release Closed Date: Not reported

INVENTORY:

Name: WOODLINC/MICH LTD PARTNERSHIP
Address: 1050 S OLD WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009
Bea Number: Not reported
Township: Not reported
District: Southeast MI
Data Source: Part 213
Latitude: 42.54058
Longitude: -83.20848

**86
ENE
1/4-1/2
0.394 mi.
2081 ft.**

**MAPLE GAS INC
1065 W MAPLE RD
BIRMINGHAM, MI 48009**

**LUST U004117527
UST N/A
AUL
INVENTORY
Financial Assurance**

**Relative:
Lower
Actual:
766 ft.**

LUST:
Name: MAPLE GAS INC
Address: 1065 W MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009-
Facility ID: 00016689
Source: STATE OF MICHIGAN
Owner Name: MapleGas Inc
Owner Address: Not reported
Owner City,St,Zip: UNKNOWN, MI
Owner Contact: Not reported
Owner Phone: Not reported
Country: USA
District: Warren
Site Name: Mobil SS #03-K9Q
Latitude: 42.54758
Longitude: -83.20580
Date of Collection: 10/04/2007
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MAPLE GAS INC (Continued)

U004117527

Leak Number: C-0322-04
Release Date: 07/15/2004
Substance Released: Gasoline,Gasoline,Gasoline,Used Oil
Release Status: Closed
Release Closed Date: 02/10/2016

Leak Number: C-0571-93
Release Date: 05/12/1993
Substance Released: Used Oil,Gasoline
Release Status: Closed
Release Closed Date: 07/31/1996

Leak Number: C-1693-91
Release Date: 08/19/1991
Substance Released: Unknown
Release Status: Closed
Release Closed Date: 07/31/1996

Leak Number: C-1748-91
Release Date: 08/26/1991
Substance Released: Unknown
Release Status: Closed
Release Closed Date: 07/31/1996

UST:

Name: MAPLE GAS INC
Address: 1065 W MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009
Facility Type: ACTIVE
Facility ID: 00016689
Facility Region: 1
Owner Name: MAPLE GAS INC
Owner Address: 1065 E MAPLE RD
Owner City: BIRMINGHAM
Owner State: MI
Owner Zip: 48009
Owner Contact: Not reported
Owner Phone: 2482582000
Contact: Kyle Hannawa
Contact Phone: (248) 755-2509
Date of Collection: 10/04/2007
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off
District: Region 1 - SE Michigan District Office
Tank ID: 4
Capacity: 1000
Tank Status: Removed from Ground
Substance: Used Oil
Install Date: 06/01/1984
Remove Date: 06/01/2005
Tank Number: UTK-068335-15
Tank Details Compartments: Not reported
Tank Release Detection: Automatic Tank Gauging

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MAPLE GAS INC (Continued)

U004117527

Pipe Release Detection: Automatic Line Leak Detectors,Line Tightness Testing,Other
Piping Material: Fiberglass Reinforced Plastic
Piping Type: Not reported
Tank Construction: Composite (Steel With Fiberglass),Epoxy Coated Steel,Fiberglass Reinforced Plastic,Other
Impressed Device: Not reported
Latitude: 42.54758
Longitude: -83.20580

Name: MAPLE GAS INC
Address: 1065 W MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009
Facility Type: ACTIVE
Facility ID: 00016689
Facility Region: 1
Owner Name: MAPLE GAS INC
Owner Address: 1065 E MAPLE RD
Owner City: BIRMINGHAM
Owner State: MI
Owner Zip: 48009
Owner Contact: Not reported
Owner Phone: 2482582000
Contact: Kyle Hannawa
Contact Phone: (248) 755-2509
Date of Collection: 10/04/2007
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off
District: Region 1 - SE Michigan District Office
Tank ID: 3
Capacity: 6000
Tank Status: Currently In Use
Substance: Gasoline
Install Date: 04/21/1984
Remove Date: Not reported
Tank Number: UTK-020894-15
Tank Details Compartments: Not reported
Tank Release Detection: Automatic Tank Gauging
Pipe Release Detection: Automatic Line Leak Detectors,Line Tightness Testing
Piping Material: Fiberglass Reinforced Plastic
Piping Type: Pressure (Remote)
Tank Construction: Fiberglass Reinforced Plastic
Impressed Device: Not reported
Latitude: 42.54758
Longitude: -83.20580

Name: MAPLE GAS INC
Address: 1065 W MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009
Facility Type: ACTIVE
Facility ID: 00016689
Facility Region: 1
Owner Name: MAPLE GAS INC
Owner Address: 1065 E MAPLE RD

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MAPLE GAS INC (Continued)

U004117527

Owner City: BIRMINGHAM
Owner State: MI
Owner Zip: 48009
Owner Contact: Not reported
Owner Phone: 2482582000
Contact: Kyle Hannawa
Contact Phone: (248) 755-2509
Date of Collection: 10/04/2007
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off
District: Region 1 - SE Michigan District Office
Tank ID: 2
Capacity: 8000
Tank Status: Currently In Use
Substance: Gasoline
Install Date: 04/21/1984
Remove Date: Not reported
Tank Number: UTK-068331-15
Tank Details Compartments: Not reported
Tank Release Detection: Automatic Tank Gauging
Pipe Release Detection: Automatic Line Leak Detectors, Line Tightness Testing
Piping Material: Fiberglass Reinforced Plastic
Piping Type: Pressure (Remote)
Tank Construction: Fiberglass Reinforced Plastic
Impressed Device: Not reported
Latitude: 42.54758
Longitude: -83.20580

Name: MAPLE GAS INC
Address: 1065 W MAPLE RD
City, State, Zip: BIRMINGHAM, MI 48009
Facility Type: ACTIVE
Facility ID: 00016689
Facility Region: 1
Owner Name: MAPLE GAS INC
Owner Address: 1065 E MAPLE RD
Owner City: BIRMINGHAM
Owner State: MI
Owner Zip: 48009
Owner Contact: Not reported
Owner Phone: 2482582000
Contact: Kyle Hannawa
Contact Phone: (248) 755-2509
Date of Collection: 10/04/2007
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off
District: Region 1 - SE Michigan District Office

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MAPLE GAS INC (Continued)

U004117527

Tank ID: 1
Capacity: 10000
Tank Status: Currently In Use
Substance: Gasoline
Install Date: 04/21/1984
Remove Date: Not reported
Tank Number: UTK-009824-15
Tank Details Compartments: Not reported
Tank Release Detection: Automatic Tank Gauging
Pipe Release Detection: Automatic Line Leak Detectors,Line Tightness Testing
Piping Material: Fiberglass Reinforced Plastic
Piping Type: Pressure (Remote)
Tank Construction: Fiberglass Reinforced Plastic
Impressed Device: Not reported
Latitude: 42.54758
Longitude: -83.20580

AUL:

Name: MOBIL #03-K9Q
Address: 1065 WEST MAPLE ROAD
City,State,Zip: BIRMINGHAM, MI 48009
Status: Recorded
Site Name: Not reported
Property: on-site
Land Use Restriction Type: RC
Program Type: Part 213
Program Support Assigned User: Nicholas Ekel
Program Support Assigned Date: 06/24/2016
Legal Description Of Property: Not reported
Based On The Deq Ref #: 11121314091
MDEQ Reference Number: RC-RRD-213-14-091
Property Or Description Restricted Area: Not reported
Lead Division: RD
File Name Of Hyperlinked Legal Doc: U:\\KERMIT\\11121314091.PDF
Mapped Polygons Area In Acres: 0.3523
Mapped Polygons Area In Square Miles: 0.0005
Date Data Entry Started: 09/09/2016
Date Data Entry Finished: 09/09/2016
Individual Or Staff Assoc With The Mapping: Nicholas Ekel
Program Used To Map Restricted Features: ArcGIS 10.3
Date Legal Paperwork Stamped/Filed/Register Of Deeds: 11/13/2015
Commercial I Land Use Restriction: 0
Commercial Ii Land Use Restriction: 0
Commercial Iii Land Use Restriction: 0
Commercial Iv Land Use Restriction: 0
Industrial Land Use Restriction: 0
Residential Land Use Restriction: 1
Recreational Land Use Restriction: 0
Multiple Land-Use Restrictions: 0
Site Specific Restrictions: 1
Groundwater Consumption Restrictions: 1
Groundwater Contact Restrictions: 0
Special Well Construction Requirements: 0
Special Building Restrictions: 1
Excavation And Soil Movement Restrictions: 1
Soil Movement Requirements: 0
There Is A Restriction On All Construction: 0

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MAPLE GAS INC (Continued)

U004117527

Monitoring Well Protected, No Tampering Or Removal: 0
There Is An Exposure Barrier In Place: 1
There Is A Health And Safety Plan: 0
There Is A Permanent Marker On The Site: 0
Comment: April 24, 2014 consultant requested DEQ reference #.
Map Comments: 20160624 - LRUR is NOT mapped in KERMIT - Nick Ekel 20160909 - LRUR is mapped in KERMIT - Nick Ekel

INVENTORY:

Name: MAPLE GAS INC
Address: 1065 W MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009
Bea Number: Not reported
Township: Not reported
District: Southeast MI
Data Source: Part 213
Latitude: 42.54759
Longitude: -83.20581

FINANCIAL ASSURANCE 3:

Name: MAPLE GAS INC
Address: 1,065 W MAPLE RD
City,State,Zip: BIRMINGHAM, MI 48009
Facility ID: 00016689
Exempt: No
Expiration Date: 02/14/2021
Bond Rating Tests: UNCHECKED
Commerical Insurance: UNCHECKED
Guarantee: UNCHECKED
Letter of Credit: UNCHECKED
Risk Retention Group: UNCHECKED
Self Insurance: UNCHECKED
State Funds: CHECKED
Surety Bond: UNCHECKED
Trust Funds: UNCHECKED
Year: 2021

87
SE
1/4-1/2
0.403 mi.
2127 ft.

QUARTON WOODWARD SERVICE
1599 S WOODWARD AVE
BIRMINGHAM, MI 48009

LUST U000261883
UST N/A
AUL
INVENTORY
WDS

Relative:
Lower
Actual:
755 ft.

LUST:
Name: QUARTON WOODWARD SERVICE
Address: 1599 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-
Facility ID: 00033030
Source: STATE OF MICHIGAN
Owner Name: MrAlex Fratarcongeli
Owner Address: Not reported
Owner City,St,Zip: UNKNOWN, MI
Owner Contact: Not reported
Owner Phone: Not reported
Country: USA
District: Warren
Site Name: Quarton Woodward Service

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

QUARTON WOODWARD SERVICE (Continued)

U000261883

Latitude: 42.53975
Longitude: -83.20728
Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-0328-97
Release Date: 05/19/1997
Substance Released: Gasoline
Release Status: Closed
Release Closed Date: 01/24/2019

UST:

Name: QUARTON WOODWARD SERVICE
Address: 1599 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-5128
Facility Type: CLOSED
Facility ID: 00033030
Facility Region: 1
Owner Name: MR ALEX FRATARCONGELI
Owner Address: 2507 W MAPLE RD
Owner City: BLOOMFIELD HILLS
Owner State: MI
Owner Zip: 48301-2750
Owner Contact: Not reported
Owner Phone: 2486422882
Contact: ALEX FRATERCZNGELI
Contact Phone: (248) 642-2882
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 8
Capacity: 550
Tank Status: Removed from Ground
Substance: Used Oil
Install Date: Not reported
Remove Date: 05/21/1997
Tank Number: UTK-030049-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel
Impressed Device: Not reported
Latitude: 42.53975
Longitude: -83.20728

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

QUARTON WOODWARD SERVICE (Continued)

U000261883

Name: QUARTON WOODWARD SERVICE
Address: 1599 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-5128
Facility Type: CLOSED
Facility ID: 00033030
Facility Region: 1
Owner Name: MR ALEX FRATARCONGELI
Owner Address: 2507 W MAPLE RD
Owner City: BLOOMFIELD HILLS
Owner State: MI
Owner Zip: 48301-2750
Owner Contact: Not reported
Owner Phone: 2486422882
Contact: ALEX FRATERCZNGELI
Contact Phone: (248) 642-2882
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 7
Capacity: 550
Tank Status: Removed from Ground
Substance: Diesel
Install Date: Not reported
Remove Date: 05/21/1997
Tank Number: UTK-033304-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Tank Construction: Asphalt Coated or Bare Steel
Impressed Device: Not reported
Latitude: 42.53975
Longitude: -83.20728

Name: QUARTON WOODWARD SERVICE
Address: 1599 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-5128
Facility Type: CLOSED
Facility ID: 00033030
Facility Region: 1
Owner Name: MR ALEX FRATARCONGELI
Owner Address: 2507 W MAPLE RD
Owner City: BLOOMFIELD HILLS
Owner State: MI
Owner Zip: 48301-2750
Owner Contact: Not reported
Owner Phone: 2486422882
Contact: ALEX FRATERCZNGELI
Contact Phone: (248) 642-2882
Date of Collection: 01/11/2001

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

QUARTON WOODWARD SERVICE (Continued)

U000261883

Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 6
Capacity: 550
Tank Status: Removed from Ground
Substance: Used Oil
Install Date: Not reported
Remove Date: 05/21/1997
Tank Number: UTK-064248-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Tank Construction: Unknown
Impressed Device: Not reported
Latitude: 42.53975
Longitude: -83.20728

Name: QUARTON WOODWARD SERVICE
Address: 1599 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-5128
Facility Type: CLOSED
Facility ID: 00033030
Facility Region: 1
Owner Name: MR ALEX FRATARCONGELI
Owner Address: 2507 W MAPLE RD
Owner City: BLOOMFIELD HILLS
Owner State: MI
Owner Zip: 48301-2750
Owner Contact: Not reported
Owner Phone: 2486422882
Contact: ALEX FRATERCZNGELI
Contact Phone: (248) 642-2882
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 5
Capacity: 6000
Tank Status: Removed from Ground
Substance: Diesel
Install Date: Not reported
Remove Date: 05/21/1997
Tank Number: UTK-064246-15
Tank Details Compartments: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

QUARTON WOODWARD SERVICE (Continued)

U000261883

Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Tank Construction: Unknown
Impressed Device: Not reported
Latitude: 42.53975
Longitude: -83.20728

Name: QUARTON WOODWARD SERVICE
Address: 1599 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-5128
Facility Type: CLOSED
Facility ID: 00033030
Facility Region: 1
Owner Name: MR ALEX FRATARCONGELI
Owner Address: 2507 W MAPLE RD
Owner City: BLOOMFIELD HILLS
Owner State: MI
Owner Zip: 48301-2750
Owner Contact: Not reported
Owner Phone: 2486422882
Contact: ALEX FRATERCZNGELI
Contact Phone: (248) 642-2882
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 4
Capacity: 6000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: Not reported
Remove Date: 05/21/1997
Tank Number: UTK-064240-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Tank Construction: Unknown
Impressed Device: Not reported
Latitude: 42.53975
Longitude: -83.20728

Name: QUARTON WOODWARD SERVICE
Address: 1599 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-5128
Facility Type: CLOSED
Facility ID: 00033030
Facility Region: 1
Owner Name: MR ALEX FRATARCONGELI

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

QUARTON WOODWARD SERVICE (Continued)

U000261883

Owner Address: 2507 W MAPLE RD
Owner City: BLOOMFIELD HILLS
Owner State: MI
Owner Zip: 48301-2750
Owner Contact: Not reported
Owner Phone: 2486422882
Contact: ALEX FRATERCZNGELI
Contact Phone: (248) 642-2882
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 3
Capacity: 6000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: Not reported
Remove Date: 05/21/1997
Tank Number: UTK-064236-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Tank Construction: Unknown
Impressed Device: Not reported
Latitude: 42.53975
Longitude: -83.20728

Name: QUARTON WOODWARD SERVICE
Address: 1599 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-5128
Facility Type: CLOSED
Facility ID: 00033030
Facility Region: 1
Owner Name: MR ALEX FRATARCONGELI
Owner Address: 2507 W MAPLE RD
Owner City: BLOOMFIELD HILLS
Owner State: MI
Owner Zip: 48301-2750
Owner Contact: Not reported
Owner Phone: 2486422882
Contact: ALEX FRATERCZNGELI
Contact Phone: (248) 642-2882
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

QUARTON WOODWARD SERVICE (Continued)

U000261883

District: Region 1 - SE Michigan District Office
Tank ID: 2
Capacity: 6000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: Not reported
Remove Date: 05/21/1997
Tank Number: UTK-064231-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Tank Construction: Unknown
Impressed Device: Not reported
Latitude: 42.53975
Longitude: -83.20728

Name: QUARTON WOODWARD SERVICE
Address: 1599 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009-5128
Facility Type: CLOSED
Facility ID: 00033030
Facility Region: 1
Owner Name: MR ALEX FRATARCONGELI
Owner Address: 2507 W MAPLE RD
Owner City: BLOOMFIELD HILLS
Owner State: MI
Owner Zip: 48301-2750
Owner Contact: Not reported
Owner Phone: 2486422882
Contact: ALEX FRATERCZNGELI
Contact Phone: (248) 642-2882
Date of Collection: 01/11/2001
Accuracy: 100
Horizontal Datum: NAD83
Accuracy Value Unit: FEET
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
District: Region 1 - SE Michigan District Office
Tank ID: 1
Capacity: 6000
Tank Status: Removed from Ground
Substance: Gasoline
Install Date: Not reported
Remove Date: 05/21/1997
Tank Number: UTK-064230-15
Tank Details Compartments: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Tank Construction: Unknown
Impressed Device: Not reported
Latitude: 42.53975

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

QUARTON WOODWARD SERVICE (Continued)

U000261883

Longitude: -83.20728

AUL:

Name: QUARTON WOODWARD SERVICE FORMER
Address: 1599 SOUTH WOODWARD AVENUE
City,State,Zip: BIRMINGHAM, MI 48009
Status: Recorded
Site Name: Not reported
Property: On-Site
Land Use Restriction Type: RC
Program Type: Part 213
Program Support Assigned User: Nicholas Ekel
Program Support Assigned Date: 11/05/2018
Legal Description Of Property: Not reported
Based On The Deq Ref #: 11121316174
MDEQ Reference Number: RC-RRD-213-16-174
Property Or Description Restricted Area: Not reported
Lead Division: RRD
File Name Of Hyperlinked Legal Doc: U:\\KERMIT\\11121316174.PDF
Mapped Polygons Area In Acres: 0.3638000000000001
Mapped Polygons Area In Square Miles: 0.0005
Date Data Entry Started: 11/05/2018
Date Data Entry Finished: 11/05/2018
Individual Or Staff Assoc With The Mapping: Nicholas Ekel
Program Used To Map Restricted Features: ArcGIS 10.5
Date Legal Paperwork Stamped/Filed/Register Of Deeds: 06/22/2018
Commercial I Land Use Restriction: 0
Commercial Ii Land Use Restriction: 0
Commercial Iii Land Use Restriction: 0
Commercial Iv Land Use Restriction: 0
Industrial Land Use Restriction: 0
Residential Land Use Restriction: 1
Recreational Land Use Restriction: 0
Multiple Land-Use Restrictions: 0
Site Specific Restrictions: 1
Groundwater Consumption Restrictions: 1
Groundwater Contact Restrictions: 0
Special Well Construction Requirements: 0
Special Building Restrictions: 1
Excavation And Soil Movement Restrictions: 0
Soil Movement Requirements: 0
There Is A Restriction On All Construction: 0
Monitoring Well Protected, No Tampering Or Removal: 0
There Is An Exposure Barrier In Place: 0
There Is A Health And Safety Plan: 0
There Is A Permanent Marker On The Site: 0
Comment: 20160919 - Reference number was requested by William Teasel of Service Environmental Engineerin, Inc. - Nick Ekel
Map Comments: 20181105 - LRUR is NOT mapped in KERMIT - Nick Ekel 20181105 - LRUR is mapped in KERMIT - Nick Ekel

INVENTORY:

Name: QUARTON WOODWARD SERVICE
Address: 1599 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009
Bea Number: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

QUARTON WOODWARD SERVICE (Continued)

U000261883

Township: Not reported
District: Southeast MI
Data Source: Part 213
Latitude: 42.53976
Longitude: -83.20729

WDS:

Name: QUARTON WOODWARD SERVICE
Address: 1599 S WOODWARD AVE
City,State,Zip: BIRMINGHAM, MI 48009
Site Id: MIR000022970
WMD Id: 411471
Site Specific Name: QUARTON WOODWARD SVC
Mailing Address: 2507 W MAPLE RD
Mailing City/State/Zip: 48322
Mailing County: OAKLAND

88
SE
1/4-1/2
0.410 mi.
2163 ft.

908 S. ADAMS, LLC
908 SOUTH ADAMS ROAD
OAKLAND (County), MI 48009

INVENTORY S121186637
N/A

Relative:
Lower
Actual:
754 ft.

INVENTORY:
Name: 908 S. ADAMS, LLC
Address: 908 SOUTH ADAMS ROAD
City,State,Zip: MI 480097038
Bea Number: 201707813LV
Township: Birmingham
District: Southeast MI
Data Source: BEA
Latitude: Not reported
Longitude: Not reported

89
NNW
1/4-1/2
0.445 mi.
2350 ft.

GHEEN RESIDENCE
272 RAVINE ROAD
BIRMINGHAM, MI 48009

INVENTORY S117057927
WDS N/A

Relative:
Lower
Actual:
758 ft.

INVENTORY:
Name: GHEEN RESIDENCE
Address: 272 RAVINE ROAD
City,State,Zip: BIRMINGHAM, MI 48009
Bea Number: Not reported
Township: Birmingham
District: Southeast MI
Data Source: Part 201
Latitude: 42.55063
Longitude: -83.21524

WDS:

Name: ERIC GHEEN
Address: 272 RAVINE RD
City,State,Zip: BIRMINGHAM, MI 48009

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

GHEEN RESIDENCE (Continued)

S117057927

Site Id: MIK407668698
WMD Id: 493758
Site Specific Name: LOCAL HOME CLEANUP
Mailing Address: 272 RAVINE RD
Mailing City/State/Zip: 48009
Mailing County: OAKLAND

Count: 1 records.

ORPHAN SUMMARY

City	EDR ID	Site Name	Site Address	Zip	Database(s)
ROYAL OAK	S125337879		WOODWARD AVE FOURTEEN MILE	48073	CDL

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

To maintain currency of the following federal and state databases, EDR contacts the appropriate governmental agency on a monthly or quarterly basis, as required.

Number of Days to Update: Provides confirmation that EDR is reporting records that have been updated within 90 days from the date the government agency made the information available to the public.

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL: National Priority List

National Priorities List (Superfund). The NPL is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund Program. NPL sites may encompass relatively large areas. As such, EDR provides polygon coverage for over 1,000 NPL site boundaries produced by EPA's Environmental Photographic Interpretation Center (EPIC) and regional EPA offices.

Date of Government Version: 07/29/2020	Source: EPA
Date Data Arrived at EDR: 08/03/2020	Telephone: N/A
Date Made Active in Reports: 08/25/2020	Last EDR Contact: 11/05/2020
Number of Days to Update: 22	Next Scheduled EDR Contact: 01/11/2021
	Data Release Frequency: Quarterly

NPL Site Boundaries

Sources:

EPA's Environmental Photographic Interpretation Center (EPIC)
Telephone: 202-564-7333

EPA Region 1
Telephone 617-918-1143

EPA Region 6
Telephone: 214-655-6659

EPA Region 3
Telephone 215-814-5418

EPA Region 7
Telephone: 913-551-7247

EPA Region 4
Telephone 404-562-8033

EPA Region 8
Telephone: 303-312-6774

EPA Region 5
Telephone 312-886-6686

EPA Region 9
Telephone: 415-947-4246

EPA Region 10
Telephone 206-553-8665

Proposed NPL: Proposed National Priority List Sites

A site that has been proposed for listing on the National Priorities List through the issuance of a proposed rule in the Federal Register. EPA then accepts public comments on the site, responds to the comments, and places on the NPL those sites that continue to meet the requirements for listing.

Date of Government Version: 07/29/2020	Source: EPA
Date Data Arrived at EDR: 08/03/2020	Telephone: N/A
Date Made Active in Reports: 08/25/2020	Last EDR Contact: 11/05/2020
Number of Days to Update: 22	Next Scheduled EDR Contact: 01/11/2021
	Data Release Frequency: Quarterly

NPL LIENS: Federal Superfund Liens

Federal Superfund Liens. Under the authority granted the USEPA by CERCLA of 1980, the USEPA has the authority to file liens against real property in order to recover remedial action expenditures or when the property owner received notification of potential liability. USEPA compiles a listing of filed notices of Superfund Liens.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 10/15/1991
Date Data Arrived at EDR: 02/02/1994
Date Made Active in Reports: 03/30/1994
Number of Days to Update: 56

Source: EPA
Telephone: 202-564-4267
Last EDR Contact: 08/15/2011
Next Scheduled EDR Contact: 11/28/2011
Data Release Frequency: No Update Planned

Federal Delisted NPL site list

Delisted NPL: National Priority List Deletions

The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

Date of Government Version: 07/29/2020
Date Data Arrived at EDR: 08/03/2020
Date Made Active in Reports: 08/25/2020
Number of Days to Update: 22

Source: EPA
Telephone: N/A
Last EDR Contact: 11/05/2020
Next Scheduled EDR Contact: 01/11/2021
Data Release Frequency: Quarterly

Federal CERCLIS list

FEDERAL FACILITY: Federal Facility Site Information listing

A listing of National Priority List (NPL) and Base Realignment and Closure (BRAC) sites found in the Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS) Database where EPA Federal Facilities Restoration and Reuse Office is involved in cleanup activities.

Date of Government Version: 04/03/2019
Date Data Arrived at EDR: 04/05/2019
Date Made Active in Reports: 05/14/2019
Number of Days to Update: 39

Source: Environmental Protection Agency
Telephone: 703-603-8704
Last EDR Contact: 10/02/2020
Next Scheduled EDR Contact: 01/11/2021
Data Release Frequency: Varies

SEMS: Superfund Enterprise Management System

SEMS (Superfund Enterprise Management System) tracks hazardous waste sites, potentially hazardous waste sites, and remedial activities performed in support of EPA's Superfund Program across the United States. The list was formerly known as CERCLIS, renamed to SEMS by the EPA in 2015. The list contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). This dataset also contains sites which are either proposed to or on the National Priorities List (NPL) and the sites which are in the screening and assessment phase for possible inclusion on the NPL.

Date of Government Version: 07/29/2020
Date Data Arrived at EDR: 08/03/2020
Date Made Active in Reports: 08/25/2020
Number of Days to Update: 22

Source: EPA
Telephone: 800-424-9346
Last EDR Contact: 11/05/2020
Next Scheduled EDR Contact: 01/25/2021
Data Release Frequency: Quarterly

Federal CERCLIS NFRAP site list

SEMS-ARCHIVE: Superfund Enterprise Management System Archive

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

SEMS-ARCHIVE (Superfund Enterprise Management System Archive) tracks sites that have no further interest under the Federal Superfund Program based on available information. The list was formerly known as the CERCLIS-NFRAP, renamed to SEMS ARCHIVE by the EPA in 2015. EPA may perform a minimal level of assessment work at a site while it is archived if site conditions change and/or new information becomes available. Archived sites have been removed and archived from the inventory of SEMS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list the site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. The decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be potential NPL site.

Date of Government Version: 07/29/2020	Source: EPA
Date Data Arrived at EDR: 08/03/2020	Telephone: 800-424-9346
Date Made Active in Reports: 08/25/2020	Last EDR Contact: 11/05/2020
Number of Days to Update: 22	Next Scheduled EDR Contact: 01/25/2021
	Data Release Frequency: Quarterly

Federal RCRA CORRACTS facilities list

CORRACTS: Corrective Action Report

CORRACTS identifies hazardous waste handlers with RCRA corrective action activity.

Date of Government Version: 06/15/2020	Source: EPA
Date Data Arrived at EDR: 06/22/2020	Telephone: 800-424-9346
Date Made Active in Reports: 09/17/2020	Last EDR Contact: 09/22/2020
Number of Days to Update: 87	Next Scheduled EDR Contact: 01/04/2021
	Data Release Frequency: Quarterly

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF: RCRA - Treatment, Storage and Disposal

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Transporters are individuals or entities that move hazardous waste from the generator offsite to a facility that can recycle, treat, store, or dispose of the waste. TSDFs treat, store, or dispose of the waste.

Date of Government Version: 06/15/2020	Source: Environmental Protection Agency
Date Data Arrived at EDR: 06/22/2020	Telephone: 312-886-6186
Date Made Active in Reports: 09/18/2020	Last EDR Contact: 09/22/2020
Number of Days to Update: 88	Next Scheduled EDR Contact: 01/04/2021
	Data Release Frequency: Quarterly

Federal RCRA generators list

RCRA-LQG: RCRA - Large Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

Date of Government Version: 06/15/2020	Source: Environmental Protection Agency
Date Data Arrived at EDR: 06/22/2020	Telephone: 312-886-6186
Date Made Active in Reports: 09/18/2020	Last EDR Contact: 09/22/2020
Number of Days to Update: 88	Next Scheduled EDR Contact: 01/04/2021
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

RCRA-SQG: RCRA - Small Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

Date of Government Version: 06/15/2020	Source: Environmental Protection Agency
Date Data Arrived at EDR: 06/22/2020	Telephone: 312-886-6186
Date Made Active in Reports: 09/18/2020	Last EDR Contact: 09/22/2020
Number of Days to Update: 88	Next Scheduled EDR Contact: 01/04/2021
	Data Release Frequency: Quarterly

RCRA-VSQG: RCRA - Very Small Quantity Generators (Formerly Conditionally Exempt Small Quantity Generators)

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Very small quantity generators (VSQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

Date of Government Version: 06/15/2020	Source: Environmental Protection Agency
Date Data Arrived at EDR: 06/22/2020	Telephone: 312-886-6186
Date Made Active in Reports: 09/18/2020	Last EDR Contact: 09/22/2020
Number of Days to Update: 88	Next Scheduled EDR Contact: 01/04/2021
	Data Release Frequency: Quarterly

Federal institutional controls / engineering controls registries

LUCIS: Land Use Control Information System

LUCIS contains records of land use control information pertaining to the former Navy Base Realignment and Closure properties.

Date of Government Version: 08/06/2020	Source: Department of the Navy
Date Data Arrived at EDR: 08/21/2020	Telephone: 843-820-7326
Date Made Active in Reports: 11/11/2020	Last EDR Contact: 11/05/2020
Number of Days to Update: 82	Next Scheduled EDR Contact: 02/22/2021
	Data Release Frequency: Varies

US ENG CONTROLS: Engineering Controls Sites List

A listing of sites with engineering controls in place. Engineering controls include various forms of caps, building foundations, liners, and treatment methods to create pathway elimination for regulated substances to enter environmental media or effect human health.

Date of Government Version: 10/28/2020	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/05/2020	Telephone: 703-603-0695
Date Made Active in Reports: 11/18/2020	Last EDR Contact: 11/05/2020
Number of Days to Update: 13	Next Scheduled EDR Contact: 03/08/2021
	Data Release Frequency: Varies

US INST CONTROLS: Institutional Controls Sites List

A listing of sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.

Date of Government Version: 10/28/2020	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/05/2020	Telephone: 703-603-0695
Date Made Active in Reports: 11/18/2020	Last EDR Contact: 11/05/2020
Number of Days to Update: 13	Next Scheduled EDR Contact: 03/08/2021
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Federal ERNS list

ERNS: Emergency Response Notification System

Emergency Response Notification System. ERNS records and stores information on reported releases of oil and hazardous substances.

Date of Government Version: 06/15/2020

Date Data Arrived at EDR: 06/22/2020

Date Made Active in Reports: 09/17/2020

Number of Days to Update: 87

Source: National Response Center, United States Coast Guard

Telephone: 202-267-2180

Last EDR Contact: 09/22/2020

Next Scheduled EDR Contact: 01/04/2021

Data Release Frequency: Quarterly

State- and tribal - equivalent CERCLIS

SHWS: This state does not maintain a SHWS list. See the Federal CERCLIS list and Federal NPL list.

This state does not maintain a SHWS list. See the Federal CERCLIS list and Federal NPL list.

Date of Government Version: N/A

Date Data Arrived at EDR: 10/31/2013

Date Made Active in Reports: 11/20/2013

Number of Days to Update: 20

Source: Department of Environment, Great Lakes, and Energy

Telephone: 517-284-5103

Last EDR Contact: 10/14/2020

Next Scheduled EDR Contact: 02/01/2021

Data Release Frequency: No Update Planned

State and tribal landfill and/or solid waste disposal site lists

SWF/LF: Solid Waste Facilities Database

Solid Waste Facilities/Landfill Sites. SWF/LF type records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. Depending on the state, these may be active or inactive facilities or open dumps that failed to meet RCRA Subtitle D Section 4004 criteria for solid waste landfills or disposal sites.

Date of Government Version: 06/22/2020

Date Data Arrived at EDR: 06/23/2020

Date Made Active in Reports: 09/09/2020

Number of Days to Update: 78

Source: Department of Environment, Great Lakes, and Energy

Telephone: 517-335-4035

Last EDR Contact: 09/23/2020

Next Scheduled EDR Contact: 01/04/2021

Data Release Frequency: Semi-Annually

State and tribal leaking storage tank lists

LUST: Leaking Underground Storage Tank Sites

Leaking Underground Storage Tank Incident Reports. LUST records contain an inventory of reported leaking underground storage tank incidents. Not all states maintain these records, and the information stored varies by state.

Date of Government Version: 07/16/2020

Date Data Arrived at EDR: 08/10/2020

Date Made Active in Reports: 10/30/2020

Number of Days to Update: 81

Source: Department of Environment, Great Lakes, and Energy

Telephone: 517-373-9837

Last EDR Contact: 11/10/2020

Next Scheduled EDR Contact: 02/22/2021

Data Release Frequency: Annually

INDIAN LUST R6: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in New Mexico and Oklahoma.

Date of Government Version: 04/08/2020

Date Data Arrived at EDR: 05/20/2020

Date Made Active in Reports: 08/12/2020

Number of Days to Update: 84

Source: EPA Region 6

Telephone: 214-665-6597

Last EDR Contact: 10/23/2020

Next Scheduled EDR Contact: 02/01/2021

Data Release Frequency: Varies

INDIAN LUST R1: Leaking Underground Storage Tanks on Indian Land

A listing of leaking underground storage tank locations on Indian Land.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 04/29/2020
Date Data Arrived at EDR: 05/20/2020
Date Made Active in Reports: 08/12/2020
Number of Days to Update: 84

Source: EPA Region 1
Telephone: 617-918-1313
Last EDR Contact: 10/23/2020
Next Scheduled EDR Contact: 02/01/2021
Data Release Frequency: Varies

INDIAN LUST R7: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Iowa, Kansas, and Nebraska

Date of Government Version: 04/15/2020
Date Data Arrived at EDR: 05/20/2020
Date Made Active in Reports: 08/12/2020
Number of Days to Update: 84

Source: EPA Region 7
Telephone: 913-551-7003
Last EDR Contact: 10/23/2020
Next Scheduled EDR Contact: 02/01/2021
Data Release Frequency: Varies

INDIAN LUST R4: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Florida, Mississippi and North Carolina.

Date of Government Version: 04/14/2020
Date Data Arrived at EDR: 05/26/2020
Date Made Active in Reports: 08/12/2020
Number of Days to Update: 78

Source: EPA Region 4
Telephone: 404-562-8677
Last EDR Contact: 10/23/2020
Next Scheduled EDR Contact: 02/01/2021
Data Release Frequency: Varies

INDIAN LUST R9: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Arizona, California, New Mexico and Nevada

Date of Government Version: 04/08/2020
Date Data Arrived at EDR: 05/20/2020
Date Made Active in Reports: 08/12/2020
Number of Days to Update: 84

Source: Environmental Protection Agency
Telephone: 415-972-3372
Last EDR Contact: 10/23/2020
Next Scheduled EDR Contact: 02/01/2021
Data Release Frequency: Varies

INDIAN LUST R8: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Colorado, Montana, North Dakota, South Dakota, Utah and Wyoming.

Date of Government Version: 04/14/2020
Date Data Arrived at EDR: 05/20/2020
Date Made Active in Reports: 08/12/2020
Number of Days to Update: 84

Source: EPA Region 8
Telephone: 303-312-6271
Last EDR Contact: 10/23/2020
Next Scheduled EDR Contact: 02/01/2021
Data Release Frequency: Varies

INDIAN LUST R10: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Alaska, Idaho, Oregon and Washington.

Date of Government Version: 04/14/2020
Date Data Arrived at EDR: 05/20/2020
Date Made Active in Reports: 08/12/2020
Number of Days to Update: 84

Source: EPA Region 10
Telephone: 206-553-2857
Last EDR Contact: 10/23/2020
Next Scheduled EDR Contact: 02/01/2021
Data Release Frequency: Varies

INDIAN LUST R5: Leaking Underground Storage Tanks on Indian Land
Leaking underground storage tanks located on Indian Land in Michigan, Minnesota and Wisconsin.

Date of Government Version: 04/14/2020
Date Data Arrived at EDR: 05/20/2020
Date Made Active in Reports: 08/12/2020
Number of Days to Update: 84

Source: EPA, Region 5
Telephone: 312-886-7439
Last EDR Contact: 10/23/2020
Next Scheduled EDR Contact: 02/01/2021
Data Release Frequency: Varies

State and tribal registered storage tank lists

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

FEMA UST: Underground Storage Tank Listing

A listing of all FEMA owned underground storage tanks.

Date of Government Version: 02/01/2020	Source: FEMA
Date Data Arrived at EDR: 03/19/2020	Telephone: 202-646-5797
Date Made Active in Reports: 06/09/2020	Last EDR Contact: 10/01/2020
Number of Days to Update: 82	Next Scheduled EDR Contact: 01/18/2021
	Data Release Frequency: Varies

UST 2: Underground Storage Tank Listing

A listing of underground storage tank site locations that have unknown owner information.

Date of Government Version: 07/12/2020	Source: Department of Licensing & Regulatory Affairs
Date Data Arrived at EDR: 07/16/2020	Telephone: 517-373-1820
Date Made Active in Reports: 10/02/2020	Last EDR Contact: 10/07/2020
Number of Days to Update: 78	Next Scheduled EDR Contact: 01/25/2021
	Data Release Frequency: Varies

UST: Underground Storage Tank Facility List

Registered Underground Storage Tanks. UST's are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA) and must be registered with the state department responsible for administering the UST program. Available information varies by state program.

Date of Government Version: 05/07/2019	Source: Department of Licensing & Regulatory Affairs
Date Data Arrived at EDR: 08/13/2019	Telephone: 517-373-1820
Date Made Active in Reports: 10/24/2019	Last EDR Contact: 10/09/2020
Number of Days to Update: 72	Next Scheduled EDR Contact: 02/22/2021
	Data Release Frequency: Annually

AST: Aboveground Tanks

Registered Aboveground Storage Tanks.

Date of Government Version: 05/06/2020	Source: Department of Licensing & Regulatory Affairs
Date Data Arrived at EDR: 05/06/2020	Telephone: 517-373-1820
Date Made Active in Reports: 07/22/2020	Last EDR Contact: 11/16/2020
Number of Days to Update: 77	Next Scheduled EDR Contact: 02/22/2021
	Data Release Frequency: No Update Planned

INDIAN UST R7: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 7 (Iowa, Kansas, Missouri, Nebraska, and 9 Tribal Nations).

Date of Government Version: 04/03/2020	Source: EPA Region 7
Date Data Arrived at EDR: 05/20/2020	Telephone: 913-551-7003
Date Made Active in Reports: 08/12/2020	Last EDR Contact: 10/23/2020
Number of Days to Update: 84	Next Scheduled EDR Contact: 02/01/2021
	Data Release Frequency: Varies

INDIAN UST R4: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 4 (Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, Tennessee and Tribal Nations)

Date of Government Version: 04/14/2020	Source: EPA Region 4
Date Data Arrived at EDR: 05/26/2020	Telephone: 404-562-9424
Date Made Active in Reports: 08/12/2020	Last EDR Contact: 10/23/2020
Number of Days to Update: 78	Next Scheduled EDR Contact: 02/01/2021
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN UST R5: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 5 (Michigan, Minnesota and Wisconsin and Tribal Nations).

Date of Government Version: 04/14/2020	Source: EPA Region 5
Date Data Arrived at EDR: 05/20/2020	Telephone: 312-886-6136
Date Made Active in Reports: 08/12/2020	Last EDR Contact: 10/23/2020
Number of Days to Update: 84	Next Scheduled EDR Contact: 02/01/2021
	Data Release Frequency: Varies

INDIAN UST R10: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 10 (Alaska, Idaho, Oregon, Washington, and Tribal Nations).

Date of Government Version: 04/14/2020	Source: EPA Region 10
Date Data Arrived at EDR: 05/20/2020	Telephone: 206-553-2857
Date Made Active in Reports: 08/12/2020	Last EDR Contact: 10/23/2020
Number of Days to Update: 84	Next Scheduled EDR Contact: 02/01/2021
	Data Release Frequency: Varies

INDIAN UST R1: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 1 (Connecticut, Maine, Massachusetts, New Hampshire, Rhode Island, Vermont and ten Tribal Nations).

Date of Government Version: 04/29/2020	Source: EPA, Region 1
Date Data Arrived at EDR: 05/20/2020	Telephone: 617-918-1313
Date Made Active in Reports: 08/12/2020	Last EDR Contact: 10/23/2020
Number of Days to Update: 84	Next Scheduled EDR Contact: 02/01/2021
	Data Release Frequency: Varies

INDIAN UST R8: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 8 (Colorado, Montana, North Dakota, South Dakota, Utah, Wyoming and 27 Tribal Nations).

Date of Government Version: 04/14/2020	Source: EPA Region 8
Date Data Arrived at EDR: 05/20/2020	Telephone: 303-312-6137
Date Made Active in Reports: 08/13/2020	Last EDR Contact: 10/23/2020
Number of Days to Update: 85	Next Scheduled EDR Contact: 02/01/2021
	Data Release Frequency: Varies

INDIAN UST R9: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 9 (Arizona, California, Hawaii, Nevada, the Pacific Islands, and Tribal Nations).

Date of Government Version: 04/08/2020	Source: EPA Region 9
Date Data Arrived at EDR: 05/20/2020	Telephone: 415-972-3368
Date Made Active in Reports: 08/12/2020	Last EDR Contact: 10/23/2020
Number of Days to Update: 84	Next Scheduled EDR Contact: 02/01/2021
	Data Release Frequency: Varies

INDIAN UST R6: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 6 (Louisiana, Arkansas, Oklahoma, New Mexico, Texas and 65 Tribes).

Date of Government Version: 04/08/2020	Source: EPA Region 6
Date Data Arrived at EDR: 05/20/2020	Telephone: 214-665-7591
Date Made Active in Reports: 08/12/2020	Last EDR Contact: 10/23/2020
Number of Days to Update: 84	Next Scheduled EDR Contact: 02/01/2021
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

State and tribal institutional control / engineering control registries

AUL: Engineering and Institutional Controls

A listing of sites with institutional and/or engineering controls in place.

Date of Government Version: 08/25/2020

Source: Department of Environment, Great Lakes, and Energy

Date Data Arrived at EDR: 08/26/2020

Telephone: 517-373-4828

Date Made Active in Reports: 11/18/2020

Last EDR Contact: 11/16/2020

Number of Days to Update: 84

Next Scheduled EDR Contact: 03/08/2021

Data Release Frequency: Quarterly

State and tribal voluntary cleanup sites

INDIAN VCP R1: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 1.

Date of Government Version: 07/27/2015

Source: EPA, Region 1

Date Data Arrived at EDR: 09/29/2015

Telephone: 617-918-1102

Date Made Active in Reports: 02/18/2016

Last EDR Contact: 09/16/2020

Number of Days to Update: 142

Next Scheduled EDR Contact: 01/04/2021

Data Release Frequency: Varies

INDIAN VCP R7: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 7.

Date of Government Version: 03/20/2008

Source: EPA, Region 7

Date Data Arrived at EDR: 04/22/2008

Telephone: 913-551-7365

Date Made Active in Reports: 05/19/2008

Last EDR Contact: 04/20/2009

Number of Days to Update: 27

Next Scheduled EDR Contact: 07/20/2009

Data Release Frequency: Varies

State and tribal Brownfields sites

BROWNFIELDS: Brownfields and USTfield Site Database

All state funded Part 201 and 213 sites, as well as LUST sites that have been redeveloped by private entities using the BEA process. Be aware that this is not a list of all of the potential brownfield sites in Michigan.

Date of Government Version: 01/15/2016

Source: Department of Environment, Great Lakes, and Energy

Date Data Arrived at EDR: 02/02/2016

Telephone: 517-373-4805

Date Made Active in Reports: 04/04/2016

Last EDR Contact: 10/14/2020

Number of Days to Update: 62

Next Scheduled EDR Contact: 02/01/2021

Data Release Frequency: Varies

BROWNFIELDS 2: Brownfields Building and Land Site Locations

A listing of brownfield building and land site locations. The listing is a collaborative effort of Michigan Economic Development Corporation, Michigan Economic Developers Association, Detroit Edison, Detroit Area Commercial Board of Realtors

Date of Government Version: 07/20/2020

Source: Economic Development Corporation

Date Data Arrived at EDR: 07/21/2020

Telephone: 888-522-0103

Date Made Active in Reports: 10/07/2020

Last EDR Contact: 11/10/2020

Number of Days to Update: 78

Next Scheduled EDR Contact: 02/01/2021

Data Release Frequency: Varies

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS: A Listing of Brownfields Sites

Brownfields are real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. Cleaning up and reinvesting in these properties takes development pressures off of undeveloped, open land, and both improves and protects the environment. Assessment, Cleanup and Redevelopment Exchange System (ACRES) stores information reported by EPA Brownfields grant recipients on brownfields properties assessed or cleaned up with grant funding as well as information on Targeted Brownfields Assessments performed by EPA Regions. A listing of ACRES Brownfield sites is obtained from Cleanups in My Community. Cleanups in My Community provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 06/01/2020
Date Data Arrived at EDR: 06/02/2020
Date Made Active in Reports: 06/09/2020
Number of Days to Update: 7

Source: Environmental Protection Agency
Telephone: 202-566-2777
Last EDR Contact: 09/15/2020
Next Scheduled EDR Contact: 12/28/2020
Data Release Frequency: Semi-Annually

Local Lists of Landfill / Solid Waste Disposal Sites

HIST LF: Inactive Solid Waste Facilities

The database contains historical information and is no longer updated.

Date of Government Version: 03/01/1997
Date Data Arrived at EDR: 02/28/2003
Date Made Active in Reports: 03/06/2003
Number of Days to Update: 6

Source: Department of Environment, Great Lakes, and Energy
Telephone: 517-335-4034
Last EDR Contact: 02/28/2003
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

SWRCY: Recycling Facilities

A listing of recycling center locations.

Date of Government Version: 07/23/2020
Date Data Arrived at EDR: 07/24/2020
Date Made Active in Reports: 10/12/2020
Number of Days to Update: 80

Source: Department of Environment, Great Lakes, and Energy
Telephone: 517-241-5719
Last EDR Contact: 09/16/2020
Next Scheduled EDR Contact: 01/04/2021
Data Release Frequency: Varies

INDIAN ODI: Report on the Status of Open Dumps on Indian Lands

Location of open dumps on Indian land.

Date of Government Version: 12/31/1998
Date Data Arrived at EDR: 12/03/2007
Date Made Active in Reports: 01/24/2008
Number of Days to Update: 52

Source: Environmental Protection Agency
Telephone: 703-308-8245
Last EDR Contact: 10/20/2020
Next Scheduled EDR Contact: 02/08/2021
Data Release Frequency: Varies

ODI: Open Dump Inventory

An open dump is defined as a disposal facility that does not comply with one or more of the Part 257 or Part 258 Subtitle D Criteria.

Date of Government Version: 06/30/1985
Date Data Arrived at EDR: 08/09/2004
Date Made Active in Reports: 09/17/2004
Number of Days to Update: 39

Source: Environmental Protection Agency
Telephone: 800-424-9346
Last EDR Contact: 06/09/2004
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

DEBRIS REGION 9: Torres Martinez Reservation Illegal Dump Site Locations

A listing of illegal dump sites location on the Torres Martinez Indian Reservation located in eastern Riverside County and northern Imperial County, California.

Date of Government Version: 01/12/2009
Date Data Arrived at EDR: 05/07/2009
Date Made Active in Reports: 09/21/2009
Number of Days to Update: 137

Source: EPA, Region 9
Telephone: 415-947-4219
Last EDR Contact: 10/13/2020
Next Scheduled EDR Contact: 02/01/2021
Data Release Frequency: No Update Planned

IHS OPEN DUMPS: Open Dumps on Indian Land

A listing of all open dumps located on Indian Land in the United States.

Date of Government Version: 04/01/2014
Date Data Arrived at EDR: 08/06/2014
Date Made Active in Reports: 01/29/2015
Number of Days to Update: 176

Source: Department of Health & Human Services, Indian Health Service
Telephone: 301-443-1452
Last EDR Contact: 10/30/2020
Next Scheduled EDR Contact: 02/08/2021
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Local Lists of Hazardous waste / Contaminated Sites

US HIST CDL: National Clandestine Laboratory Register

A listing of clandestine drug lab locations that have been removed from the DEAs National Clandestine Laboratory Register.

Date of Government Version: 03/18/2020
Date Data Arrived at EDR: 03/19/2020
Date Made Active in Reports: 06/09/2020
Number of Days to Update: 82

Source: Drug Enforcement Administration
Telephone: 202-307-1000
Last EDR Contact: 11/16/2020
Next Scheduled EDR Contact: 03/08/2021
Data Release Frequency: No Update Planned

INVENTORY: Inventory of Facilities

The Inventory of Facilities has three data sources: Facilities under Part 201, Environmental Remediation, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA) identified through state funded or private party response activities (Projects); Facilities under Part 213, Leaking Underground Storage Tanks of the NREPA; and Facilities identified through submittals of Baseline Environmental Assessments (BEA) submitted pursuant to Part 201 or Part 213 of the NREPA. The Part 201 Projects Inventory does not include all of the facilities that are subject to regulation under Part 201 because owners are not required to inform the Department of Environmental Quality (DEQ) about the facilities and can pursue cleanup independently. Facilities that are not known to DEQ are not on the Inventory, nor are locations with releases that resulted in low environmental impact. Part 213 facilities listed here may have more than one release; a list of releases for which corrective actions have been completed and list of releases for which corrective action has not been completed is located on the Leaking Underground Storage Tanks Site Search webpage. The DEQ may or may not have reviewed and concurred with the conclusion that the corrective actions described in a closure report meets criteria. A BEA is a document that new or prospective property owners/operations disclose to the DEQ identifying the property as a facility pursuant to Part 201 and Part 213. The Inventory of BEA Facilities overlaps in part with the Part 201 Projects facilities and Part 213 facilities. There may be more than one BEA for each facility.

Date of Government Version: 07/20/2020
Date Data Arrived at EDR: 07/21/2020
Date Made Active in Reports: 10/07/2020
Number of Days to Update: 78

Source: Department of Environment, Great Lakes, and Energy
Telephone: 517-284-5136
Last EDR Contact: 10/19/2020
Next Scheduled EDR Contact: 02/01/2021
Data Release Frequency: Quarterly

PART 201: Part 201 Site List

A Part 201 Listed site is a location that has been evaluated and scored by the DEQ using the Part 201 scoring model. The location is or includes a "facility" as defined by Part 201, where there has been a release of a hazardous substance(s) in excess of the Part 201 residential criteria, and/or where corrective actions have not been completed under Part 201 to meet the applicable cleanup criteria for unrestricted residential use. The Part 201 List does not include all of the sites of contamination that are subject to regulation under Part 201 because owners are not required to inform the DEQ about the sites and can pursue cleanup independently. Sites of environmental contamination that are not known to DEQ are not on the list, nor are sites with releases that resulted in low environmental impact.

Date of Government Version: 10/01/2013
Date Data Arrived at EDR: 10/03/2014
Date Made Active in Reports: 10/03/2014
Number of Days to Update: 0

Source: Department of Environment, Great Lakes, and Energy
Telephone: 517-284-5103
Last EDR Contact: 07/22/2019
Next Scheduled EDR Contact: 11/04/2019
Data Release Frequency: No Update Planned

CDL: Clandestine Drug Lab Listing

A listing of clandestine drug lab locations.

Date of Government Version: 06/03/2020
Date Data Arrived at EDR: 07/07/2020
Date Made Active in Reports: 09/24/2020
Number of Days to Update: 79

Source: Department of Community Health
Telephone: 517-373-3740
Last EDR Contact: 10/14/2020
Next Scheduled EDR Contact: 02/01/2021
Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

DEL PART 201: Delisted List of Contaminated Sites

A deleted site has been removed from the Part 201 List because information known to the DEQ at the time of the evaluation does not support inclusion on the Part 201 List. This designation is often applied to sites where changes in cleanup criteria resulted in a determination that the site no longer exceeds any applicable cleanup criterion.

A delisted site has been removed from the Part 201 List because response actions have reduced the levels of contaminants to concentrations which meet or are below the criteria for unrestricted residential use.

Date of Government Version: 08/01/2013
Date Data Arrived at EDR: 08/01/2013
Date Made Active in Reports: 09/11/2013
Number of Days to Update: 41

Source: Department of Environment, Great Lakes, and Energy
Telephone: 517-373-9541
Last EDR Contact: 07/22/2019
Next Scheduled EDR Contact: 11/04/2019
Data Release Frequency: Varies

US CDL: Clandestine Drug Labs

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

Date of Government Version: 03/18/2020
Date Data Arrived at EDR: 03/19/2020
Date Made Active in Reports: 06/09/2020
Number of Days to Update: 82

Source: Drug Enforcement Administration
Telephone: 202-307-1000
Last EDR Contact: 11/16/2020
Next Scheduled EDR Contact: 03/08/2021
Data Release Frequency: Quarterly

PFAS: PFAS Contaminated Sites Listing

PFAS have been widely used in numerous industrial and residential applications since the 1950s. Their stability and unique chemical properties produce waterproof, stain resistant, and nonstick qualities in products. They are found in some firefighting foams and a wide range of consumer products such as carpet treatments, non-stick cookware, water-resistant fabrics, food packaging materials, and personal care products.

Date of Government Version: 08/07/2020
Date Data Arrived at EDR: 08/10/2020
Date Made Active in Reports: 10/30/2020
Number of Days to Update: 81

Source: Department of Environment, Great Lakes & Energy
Telephone: 517-284-9278
Last EDR Contact: 11/12/2020
Next Scheduled EDR Contact: 02/22/2021
Data Release Frequency: Varies

Local Land Records

LIENS: Lien List

An Environmental Lien is a charge, security, or encumbrance upon title to a property to secure the payment of a cost, damage, debt, obligation, or duty arising out of response actions, cleanup, or other remediation of hazardous substances or petroleum products upon a property, including (but not limited to) liens imposed pursuant to CERCLA 42 USC * 9607(1) and similar state or local laws. In other words: a lien placed upon a property's title due to an environmental condition

Date of Government Version: 10/11/2019
Date Data Arrived at EDR: 10/17/2019
Date Made Active in Reports: 12/11/2019
Number of Days to Update: 55

Source: Department of Environment, Great Lakes, and Energy
Telephone: 517-241-7603
Last EDR Contact: 10/16/2020
Next Scheduled EDR Contact: 01/25/2021
Data Release Frequency: Varies

LIENS 2: CERCLA Lien Information

A Federal CERCLA ("Superfund") lien can exist by operation of law at any site or property at which EPA has spent Superfund monies. These monies are spent to investigate and address releases and threatened releases of contamination. CERCLIS provides information as to the identity of these sites and properties.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 07/29/2020
Date Data Arrived at EDR: 08/03/2020
Date Made Active in Reports: 08/25/2020
Number of Days to Update: 22

Source: Environmental Protection Agency
Telephone: 202-564-6023
Last EDR Contact: 11/05/2020
Next Scheduled EDR Contact: 01/11/2021
Data Release Frequency: Semi-Annually

Records of Emergency Release Reports

HMIRS: Hazardous Materials Information Reporting System

Hazardous Materials Incident Report System. HMIRS contains hazardous material spill incidents reported to DOT.

Date of Government Version: 06/22/2020
Date Data Arrived at EDR: 06/23/2020
Date Made Active in Reports: 09/17/2020
Number of Days to Update: 86

Source: U.S. Department of Transportation
Telephone: 202-366-4555
Last EDR Contact: 09/22/2020
Next Scheduled EDR Contact: 01/04/2021
Data Release Frequency: Quarterly

PEAS: Pollution Emergency Alerting System

Environmental pollution emergencies reported to the Department of Environmental Quality such as tanker accidents, pipeline breaks, and release of reportable quantities of hazardous substances.

Date of Government Version: 03/31/2020
Date Data Arrived at EDR: 04/28/2020
Date Made Active in Reports: 07/16/2020
Number of Days to Update: 79

Source: Department of Environment, Great Lakes, and Energy
Telephone: 517-373-8427
Last EDR Contact: 10/23/2020
Next Scheduled EDR Contact: 02/01/2021
Data Release Frequency: Quarterly

Other Ascertainable Records

RCRA NonGen / NLR: RCRA - Non Generators / No Longer Regulated

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

Date of Government Version: 06/15/2020
Date Data Arrived at EDR: 06/22/2020
Date Made Active in Reports: 09/18/2020
Number of Days to Update: 88

Source: Environmental Protection Agency
Telephone: 312-886-6186
Last EDR Contact: 09/22/2020
Next Scheduled EDR Contact: 01/04/2021
Data Release Frequency: Quarterly

FUDS: Formerly Used Defense Sites

The listing includes locations of Formerly Used Defense Sites properties where the US Army Corps of Engineers is actively working or will take necessary cleanup actions.

Date of Government Version: 08/05/2020
Date Data Arrived at EDR: 08/13/2020
Date Made Active in Reports: 10/21/2020
Number of Days to Update: 69

Source: U.S. Army Corps of Engineers
Telephone: 202-528-4285
Last EDR Contact: 11/17/2020
Next Scheduled EDR Contact: 03/01/2021
Data Release Frequency: Varies

DOD: Department of Defense Sites

This data set consists of federally owned or administered lands, administered by the Department of Defense, that have any area equal to or greater than 640 acres of the United States, Puerto Rico, and the U.S. Virgin Islands.

Date of Government Version: 12/31/2005
Date Data Arrived at EDR: 11/10/2006
Date Made Active in Reports: 01/11/2007
Number of Days to Update: 62

Source: USGS
Telephone: 888-275-8747
Last EDR Contact: 10/13/2020
Next Scheduled EDR Contact: 01/25/2021
Data Release Frequency: Semi-Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

FEDLAND: Federal and Indian Lands

Federally and Indian administrated lands of the United States. Lands included are administrated by: Army Corps of Engineers, Bureau of Reclamation, National Wild and Scenic River, National Wildlife Refuge, Public Domain Land, Wilderness, Wilderness Study Area, Wildlife Management Area, Bureau of Indian Affairs, Bureau of Land Management, Department of Justice, Forest Service, Fish and Wildlife Service, National Park Service.

Date of Government Version: 04/02/2018	Source: U.S. Geological Survey
Date Data Arrived at EDR: 04/11/2018	Telephone: 888-275-8747
Date Made Active in Reports: 11/06/2019	Last EDR Contact: 10/08/2020
Number of Days to Update: 574	Next Scheduled EDR Contact: 01/18/2021
	Data Release Frequency: N/A

SCRD DRYCLEANERS: State Coalition for Remediation of Drycleaners Listing

The State Coalition for Remediation of Drycleaners was established in 1998, with support from the U.S. EPA Office of Superfund Remediation and Technology Innovation. It is comprised of representatives of states with established drycleaner remediation programs. Currently the member states are Alabama, Connecticut, Florida, Illinois, Kansas, Minnesota, Missouri, North Carolina, Oregon, South Carolina, Tennessee, Texas, and Wisconsin.

Date of Government Version: 01/01/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 02/03/2017	Telephone: 615-532-8599
Date Made Active in Reports: 04/07/2017	Last EDR Contact: 11/09/2020
Number of Days to Update: 63	Next Scheduled EDR Contact: 02/22/2021
	Data Release Frequency: Varies

US FIN ASSUR: Financial Assurance Information

All owners and operators of facilities that treat, store, or dispose of hazardous waste are required to provide proof that they will have sufficient funds to pay for the clean up, closure, and post-closure care of their facilities.

Date of Government Version: 06/15/2020	Source: Environmental Protection Agency
Date Data Arrived at EDR: 06/22/2020	Telephone: 202-566-1917
Date Made Active in Reports: 09/10/2020	Last EDR Contact: 09/22/2020
Number of Days to Update: 80	Next Scheduled EDR Contact: 01/04/2021
	Data Release Frequency: Quarterly

EPA WATCH LIST: EPA WATCH LIST

EPA maintains a "Watch List" to facilitate dialogue between EPA, state and local environmental agencies on enforcement matters relating to facilities with alleged violations identified as either significant or high priority. Being on the Watch List does not mean that the facility has actually violated the law only that an investigation by EPA or a state or local environmental agency has led those organizations to allege that an unproven violation has in fact occurred. Being on the Watch List does not represent a higher level of concern regarding the alleged violations that were detected, but instead indicates cases requiring additional dialogue between EPA, state and local agencies - primarily because of the length of time the alleged violation has gone unaddressed or unresolved.

Date of Government Version: 08/30/2013	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/21/2014	Telephone: 617-520-3000
Date Made Active in Reports: 06/17/2014	Last EDR Contact: 11/02/2020
Number of Days to Update: 88	Next Scheduled EDR Contact: 02/15/2021
	Data Release Frequency: Quarterly

2020 COR ACTION: 2020 Corrective Action Program List

The EPA has set ambitious goals for the RCRA Corrective Action program by creating the 2020 Corrective Action Universe. This RCRA cleanup baseline includes facilities expected to need corrective action. The 2020 universe contains a wide variety of sites. Some properties are heavily contaminated while others were contaminated but have since been cleaned up. Still others have not been fully investigated yet, and may require little or no remediation. Inclusion in the 2020 Universe does not necessarily imply failure on the part of a facility to meet its RCRA obligations.

Date of Government Version: 09/30/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/08/2018	Telephone: 703-308-4044
Date Made Active in Reports: 07/20/2018	Last EDR Contact: 11/06/2020
Number of Days to Update: 73	Next Scheduled EDR Contact: 02/15/2021
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

TSCA: Toxic Substances Control Act

Toxic Substances Control Act. TSCA identifies manufacturers and importers of chemical substances included on the TSCA Chemical Substance Inventory list. It includes data on the production volume of these substances by plant site.

Date of Government Version: 12/31/2016	Source: EPA
Date Data Arrived at EDR: 06/17/2020	Telephone: 202-260-5521
Date Made Active in Reports: 09/10/2020	Last EDR Contact: 09/18/2020
Number of Days to Update: 85	Next Scheduled EDR Contact: 12/28/2020
	Data Release Frequency: Every 4 Years

TRIS: Toxic Chemical Release Inventory System

Toxic Release Inventory System. TRIS identifies facilities which release toxic chemicals to the air, water and land in reportable quantities under SARA Title III Section 313.

Date of Government Version: 12/31/2018	Source: EPA
Date Data Arrived at EDR: 08/14/2020	Telephone: 202-566-0250
Date Made Active in Reports: 11/04/2020	Last EDR Contact: 11/17/2020
Number of Days to Update: 82	Next Scheduled EDR Contact: 03/01/2021
	Data Release Frequency: Annually

SSTS: Section 7 Tracking Systems

Section 7 of the Federal Insecticide, Fungicide and Rodenticide Act, as amended (92 Stat. 829) requires all registered pesticide-producing establishments to submit a report to the Environmental Protection Agency by March 1st each year. Each establishment must report the types and amounts of pesticides, active ingredients and devices being produced, and those having been produced and sold or distributed in the past year.

Date of Government Version: 07/20/2020	Source: EPA
Date Data Arrived at EDR: 07/21/2020	Telephone: 202-564-4203
Date Made Active in Reports: 10/08/2020	Last EDR Contact: 10/19/2020
Number of Days to Update: 79	Next Scheduled EDR Contact: 02/01/2021
	Data Release Frequency: Annually

ROD: Records Of Decision

Record of Decision. ROD documents mandate a permanent remedy at an NPL (Superfund) site containing technical and health information to aid in the cleanup.

Date of Government Version: 07/29/2020	Source: EPA
Date Data Arrived at EDR: 08/03/2020	Telephone: 703-416-0223
Date Made Active in Reports: 08/25/2020	Last EDR Contact: 11/05/2020
Number of Days to Update: 22	Next Scheduled EDR Contact: 12/14/2020
	Data Release Frequency: Annually

RMP: Risk Management Plans

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

When Congress passed the Clean Air Act Amendments of 1990, it required EPA to publish regulations and guidance for chemical accident prevention at facilities using extremely hazardous substances. The Risk Management Program Rule (RMP Rule) was written to implement Section 112(r) of these amendments. The rule, which built upon existing industry codes and standards, requires companies of all sizes that use certain flammable and toxic substances to develop a Risk Management Program, which includes a(n): Hazard assessment that details the potential effects of an accidental release, an accident history of the last five years, and an evaluation of worst-case and alternative accidental releases; Prevention program that includes safety precautions and maintenance, monitoring, and employee training measures; and Emergency response program that spells out emergency health care, employee training measures and procedures for informing the public and response agencies (e.g the fire department) should an accident occur.

Date of Government Version: 07/24/2020	Source: Environmental Protection Agency
Date Data Arrived at EDR: 08/03/2020	Telephone: 202-564-8600
Date Made Active in Reports: 10/21/2020	Last EDR Contact: 10/14/2020
Number of Days to Update: 79	Next Scheduled EDR Contact: 02/01/2021
	Data Release Frequency: Varies

RAATS: RCRA Administrative Action Tracking System

RCRA Administration Action Tracking System. RAATS contains records based on enforcement actions issued under RCRA pertaining to major violators and includes administrative and civil actions brought by the EPA. For administration actions after September 30, 1995, data entry in the RAATS database was discontinued. EPA will retain a copy of the database for historical records. It was necessary to terminate RAATS because a decrease in agency resources made it impossible to continue to update the information contained in the database.

Date of Government Version: 04/17/1995	Source: EPA
Date Data Arrived at EDR: 07/03/1995	Telephone: 202-564-4104
Date Made Active in Reports: 08/07/1995	Last EDR Contact: 06/02/2008
Number of Days to Update: 35	Next Scheduled EDR Contact: 09/01/2008
	Data Release Frequency: No Update Planned

PRP: Potentially Responsible Parties

A listing of verified Potentially Responsible Parties

Date of Government Version: 04/27/2020	Source: EPA
Date Data Arrived at EDR: 05/06/2020	Telephone: 202-564-6023
Date Made Active in Reports: 06/09/2020	Last EDR Contact: 11/05/2020
Number of Days to Update: 34	Next Scheduled EDR Contact: 02/15/2021
	Data Release Frequency: Quarterly

PADS: PCB Activity Database System

PCB Activity Database. PADS Identifies generators, transporters, commercial storers and/or brokers and disposers of PCB's who are required to notify the EPA of such activities.

Date of Government Version: 10/09/2019	Source: EPA
Date Data Arrived at EDR: 10/11/2019	Telephone: 202-566-0500
Date Made Active in Reports: 12/20/2019	Last EDR Contact: 10/02/2020
Number of Days to Update: 70	Next Scheduled EDR Contact: 01/18/2021
	Data Release Frequency: Annually

ICIS: Integrated Compliance Information System

The Integrated Compliance Information System (ICIS) supports the information needs of the national enforcement and compliance program as well as the unique needs of the National Pollutant Discharge Elimination System (NPDES) program.

Date of Government Version: 11/18/2016	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/23/2016	Telephone: 202-564-2501
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 10/01/2020
Number of Days to Update: 79	Next Scheduled EDR Contact: 01/18/2021
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

FTTS: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

FTTS tracks administrative cases and pesticide enforcement actions and compliance activities related to FIFRA, TSCA and EPCRA (Emergency Planning and Community Right-to-Know Act). To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 04/09/2009	Source: EPA/Office of Prevention, Pesticides and Toxic Substances
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 08/18/2017
Number of Days to Update: 25	Next Scheduled EDR Contact: 12/04/2017
	Data Release Frequency: No Update Planned

FTTS INSP: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

A listing of FIFRA/TSCA Tracking System (FTTS) inspections and enforcements.

Date of Government Version: 04/09/2009	Source: EPA
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 08/18/2017
Number of Days to Update: 25	Next Scheduled EDR Contact: 12/04/2017
	Data Release Frequency: No Update Planned

MLTS: Material Licensing Tracking System

MLTS is maintained by the Nuclear Regulatory Commission and contains a list of approximately 8,100 sites which possess or use radioactive materials and which are subject to NRC licensing requirements. To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 08/05/2020	Source: Nuclear Regulatory Commission
Date Data Arrived at EDR: 08/10/2020	Telephone: 301-415-7169
Date Made Active in Reports: 10/08/2020	Last EDR Contact: 10/13/2020
Number of Days to Update: 59	Next Scheduled EDR Contact: 01/31/2021
	Data Release Frequency: Quarterly

COAL ASH DOE: Steam-Electric Plant Operation Data

A listing of power plants that store ash in surface ponds.

Date of Government Version: 12/31/2018	Source: Department of Energy
Date Data Arrived at EDR: 12/04/2019	Telephone: 202-586-8719
Date Made Active in Reports: 01/15/2020	Last EDR Contact: 09/04/2020
Number of Days to Update: 42	Next Scheduled EDR Contact: 12/14/2020
	Data Release Frequency: Varies

COAL ASH EPA: Coal Combustion Residues Surface Impoundments List

A listing of coal combustion residues surface impoundments with high hazard potential ratings.

Date of Government Version: 01/12/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/05/2019	Telephone: N/A
Date Made Active in Reports: 11/11/2019	Last EDR Contact: 08/31/2020
Number of Days to Update: 251	Next Scheduled EDR Contact: 12/14/2020
	Data Release Frequency: Varies

PCB TRANSFORMER: PCB Transformer Registration Database

The database of PCB transformer registrations that includes all PCB registration submittals.

Date of Government Version: 09/13/2019	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/06/2019	Telephone: 202-566-0517
Date Made Active in Reports: 02/10/2020	Last EDR Contact: 11/06/2021
Number of Days to Update: 96	Next Scheduled EDR Contact: 02/15/2021
	Data Release Frequency: Varies

RADINFO: Radiation Information Database

The Radiation Information Database (RADINFO) contains information about facilities that are regulated by U.S. Environmental Protection Agency (EPA) regulations for radiation and radioactivity.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 07/01/2019
Date Data Arrived at EDR: 07/01/2019
Date Made Active in Reports: 09/23/2019
Number of Days to Update: 84

Source: Environmental Protection Agency
Telephone: 202-343-9775
Last EDR Contact: 09/24/2020
Next Scheduled EDR Contact: 01/11/2021
Data Release Frequency: Quarterly

HIST FTTS: FIFRA/TSCA Tracking System Administrative Case Listing

A complete administrative case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006
Date Data Arrived at EDR: 03/01/2007
Date Made Active in Reports: 04/10/2007
Number of Days to Update: 40

Source: Environmental Protection Agency
Telephone: 202-564-2501
Last EDR Contact: 12/17/2007
Next Scheduled EDR Contact: 03/17/2008
Data Release Frequency: No Update Planned

HIST FTTS INSP: FIFRA/TSCA Tracking System Inspection & Enforcement Case Listing

A complete inspection and enforcement case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006
Date Data Arrived at EDR: 03/01/2007
Date Made Active in Reports: 04/10/2007
Number of Days to Update: 40

Source: Environmental Protection Agency
Telephone: 202-564-2501
Last EDR Contact: 12/17/2008
Next Scheduled EDR Contact: 03/17/2008
Data Release Frequency: No Update Planned

DOT OPS: Incident and Accident Data

Department of Transportation, Office of Pipeline Safety Incident and Accident data.

Date of Government Version: 01/02/2020
Date Data Arrived at EDR: 01/28/2020
Date Made Active in Reports: 04/17/2020
Number of Days to Update: 80

Source: Department of Transportation, Office of Pipeline Safety
Telephone: 202-366-4595
Last EDR Contact: 10/27/2020
Next Scheduled EDR Contact: 02/08/2021
Data Release Frequency: Quarterly

CONSENT: Superfund (CERCLA) Consent Decrees

Major legal settlements that establish responsibility and standards for cleanup at NPL (Superfund) sites. Released periodically by United States District Courts after settlement by parties to litigation matters.

Date of Government Version: 06/30/2020
Date Data Arrived at EDR: 07/15/2020
Date Made Active in Reports: 07/21/2020
Number of Days to Update: 6

Source: Department of Justice, Consent Decree Library
Telephone: Varies
Last EDR Contact: 10/01/2020
Next Scheduled EDR Contact: 01/18/2021
Data Release Frequency: Varies

BRS: Biennial Reporting System

The Biennial Reporting System is a national system administered by the EPA that collects data on the generation and management of hazardous waste. BRS captures detailed data from two groups: Large Quantity Generators (LQG) and Treatment, Storage, and Disposal Facilities.

Date of Government Version: 12/31/2015
Date Data Arrived at EDR: 02/22/2017
Date Made Active in Reports: 09/28/2017
Number of Days to Update: 218

Source: EPA/NTIS
Telephone: 800-424-9346
Last EDR Contact: 09/22/2020
Next Scheduled EDR Contact: 01/04/2021
Data Release Frequency: Biennially

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN RESERV: Indian Reservations

This map layer portrays Indian administered lands of the United States that have any area equal to or greater than 640 acres.

Date of Government Version: 12/31/2014	Source: USGS
Date Data Arrived at EDR: 07/14/2015	Telephone: 202-208-3710
Date Made Active in Reports: 01/10/2017	Last EDR Contact: 10/06/2020
Number of Days to Update: 546	Next Scheduled EDR Contact: 01/18/2021
	Data Release Frequency: Semi-Annually

FUSRAP: Formerly Utilized Sites Remedial Action Program

DOE established the Formerly Utilized Sites Remedial Action Program (FUSRAP) in 1974 to remediate sites where radioactive contamination remained from Manhattan Project and early U.S. Atomic Energy Commission (AEC) operations.

Date of Government Version: 08/08/2017	Source: Department of Energy
Date Data Arrived at EDR: 09/11/2018	Telephone: 202-586-3559
Date Made Active in Reports: 09/14/2018	Last EDR Contact: 11/06/2020
Number of Days to Update: 3	Next Scheduled EDR Contact: 02/15/2021
	Data Release Frequency: Varies

UMTRA: Uranium Mill Tailings Sites

Uranium ore was mined by private companies for federal government use in national defense programs. When the mills shut down, large piles of the sand-like material (mill tailings) remain after uranium has been extracted from the ore. Levels of human exposure to radioactive materials from the piles are low; however, in some cases tailings were used as construction materials before the potential health hazards of the tailings were recognized.

Date of Government Version: 08/30/2019	Source: Department of Energy
Date Data Arrived at EDR: 11/15/2019	Telephone: 505-845-0011
Date Made Active in Reports: 01/28/2020	Last EDR Contact: 08/21/2020
Number of Days to Update: 74	Next Scheduled EDR Contact: 11/30/2020
	Data Release Frequency: Varies

LEAD SMELTER 1: Lead Smelter Sites

A listing of former lead smelter site locations.

Date of Government Version: 07/29/2020	Source: Environmental Protection Agency
Date Data Arrived at EDR: 08/03/2020	Telephone: 703-603-8787
Date Made Active in Reports: 08/25/2020	Last EDR Contact: 11/05/2020
Number of Days to Update: 22	Next Scheduled EDR Contact: 01/11/2021
	Data Release Frequency: Varies

LEAD SMELTER 2: Lead Smelter Sites

A list of several hundred sites in the U.S. where secondary lead smelting was done from 1931 and 1964. These sites may pose a threat to public health through ingestion or inhalation of contaminated soil or dust

Date of Government Version: 04/05/2001	Source: American Journal of Public Health
Date Data Arrived at EDR: 10/27/2010	Telephone: 703-305-6451
Date Made Active in Reports: 12/02/2010	Last EDR Contact: 12/02/2009
Number of Days to Update: 36	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

US AIRS (AFS): Aerometric Information Retrieval System Facility Subsystem (AFS)

The database is a sub-system of Aerometric Information Retrieval System (AIRS). AFS contains compliance data on air pollution point sources regulated by the U.S. EPA and/or state and local air regulatory agencies. This information comes from source reports by various stationary sources of air pollution, such as electric power plants, steel mills, factories, and universities, and provides information about the air pollutants they produce. Action, air program, air program pollutant, and general level plant data. It is used to track emissions and compliance data from industrial plants.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 10/12/2016
Date Data Arrived at EDR: 10/26/2016
Date Made Active in Reports: 02/03/2017
Number of Days to Update: 100

Source: EPA
Telephone: 202-564-2496
Last EDR Contact: 09/26/2017
Next Scheduled EDR Contact: 01/08/2018
Data Release Frequency: Annually

US AIRS MINOR: Air Facility System Data A listing of minor source facilities.

Date of Government Version: 10/12/2016
Date Data Arrived at EDR: 10/26/2016
Date Made Active in Reports: 02/03/2017
Number of Days to Update: 100

Source: EPA
Telephone: 202-564-2496
Last EDR Contact: 09/26/2017
Next Scheduled EDR Contact: 01/08/2018
Data Release Frequency: Annually

MINES VIOLATIONS: MSHA Violation Assessment Data

Mines violation and assessment information. Department of Labor, Mine Safety & Health Administration.

Date of Government Version: 05/28/2020
Date Data Arrived at EDR: 05/28/2020
Date Made Active in Reports: 08/13/2020
Number of Days to Update: 77

Source: DOL, Mine Safety & Health Admi
Telephone: 202-693-9424
Last EDR Contact: 09/10/2020
Next Scheduled EDR Contact: 12/14/2020
Data Release Frequency: Quarterly

US MINES: Mines Master Index File

Contains all mine identification numbers issued for mines active or opened since 1971. The data also includes violation information.

Date of Government Version: 08/04/2020
Date Data Arrived at EDR: 08/25/2020
Date Made Active in Reports: 11/18/2020
Number of Days to Update: 85

Source: Department of Labor, Mine Safety and Health Administration
Telephone: 303-231-5959
Last EDR Contact: 08/25/2020
Next Scheduled EDR Contact: 12/07/2020
Data Release Frequency: Semi-Annually

US MINES 2: Ferrous and Nonferrous Metal Mines Database Listing

This map layer includes ferrous (ferrous metal mines are facilities that extract ferrous metals, such as iron ore or molybdenum) and nonferrous (Nonferrous metal mines are facilities that extract nonferrous metals, such as gold, silver, copper, zinc, and lead) metal mines in the United States.

Date of Government Version: 05/06/2020
Date Data Arrived at EDR: 05/27/2020
Date Made Active in Reports: 08/13/2020
Number of Days to Update: 78

Source: USGS
Telephone: 703-648-7709
Last EDR Contact: 08/28/2020
Next Scheduled EDR Contact: 12/07/2020
Data Release Frequency: Varies

US MINES 3: Active Mines & Mineral Plants Database Listing

Active Mines and Mineral Processing Plant operations for commodities monitored by the Minerals Information Team of the USGS.

Date of Government Version: 04/14/2011
Date Data Arrived at EDR: 06/08/2011
Date Made Active in Reports: 09/13/2011
Number of Days to Update: 97

Source: USGS
Telephone: 703-648-7709
Last EDR Contact: 08/28/2020
Next Scheduled EDR Contact: 12/07/2020
Data Release Frequency: Varies

ABANDONED MINES: Abandoned Mines

An inventory of land and water impacted by past mining (primarily coal mining) is maintained by OSMRE to provide information needed to implement the Surface Mining Control and Reclamation Act of 1977 (SMCRA). The inventory contains information on the location, type, and extent of AML impacts, as well as, information on the cost associated with the reclamation of those problems. The inventory is based upon field surveys by State, Tribal, and OSMRE program officials. It is dynamic to the extent that it is modified as new problems are identified and existing problems are reclaimed.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 06/22/2020
Date Data Arrived at EDR: 06/22/2020
Date Made Active in Reports: 09/10/2020
Number of Days to Update: 80

Source: Department of Interior
Telephone: 202-208-2609
Last EDR Contact: 09/16/2020
Next Scheduled EDR Contact: 12/21/2020
Data Release Frequency: Quarterly

FINDS: Facility Index System/Facility Registry System

Facility Index System. FINDS contains both facility information and 'pointers' to other sources that contain more detail. EDR includes the following FINDS databases in this report: PCS (Permit Compliance System), AIRS (Aerometric Information Retrieval System), DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes), FURS (Federal Underground Injection Control), C-DOCKET (Criminal Docket System used to track criminal enforcement actions for all environmental statutes), FFIS (Federal Facilities Information System), STATE (State Environmental Laws and Statutes), and PADS (PCB Activity Data System).

Date of Government Version: 02/03/2020
Date Data Arrived at EDR: 03/03/2020
Date Made Active in Reports: 05/28/2020
Number of Days to Update: 86

Source: EPA
Telephone: (312) 353-2000
Last EDR Contact: 09/15/2020
Next Scheduled EDR Contact: 12/14/2020
Data Release Frequency: Quarterly

DOCKET HWC: Hazardous Waste Compliance Docket Listing

A complete list of the Federal Agency Hazardous Waste Compliance Docket Facilities.

Date of Government Version: 05/31/2018
Date Data Arrived at EDR: 07/26/2018
Date Made Active in Reports: 10/05/2018
Number of Days to Update: 71

Source: Environmental Protection Agency
Telephone: 202-564-0527
Last EDR Contact: 11/17/2020
Next Scheduled EDR Contact: 03/08/2021
Data Release Frequency: Varies

UXO: Unexploded Ordnance Sites

A listing of unexploded ordnance site locations

Date of Government Version: 12/31/2018
Date Data Arrived at EDR: 07/02/2020
Date Made Active in Reports: 09/17/2020
Number of Days to Update: 77

Source: Department of Defense
Telephone: 703-704-1564
Last EDR Contact: 10/08/2020
Next Scheduled EDR Contact: 01/25/2021
Data Release Frequency: Varies

ECHO: Enforcement & Compliance History Information

ECHO provides integrated compliance and enforcement information for about 800,000 regulated facilities nationwide.

Date of Government Version: 06/27/2020
Date Data Arrived at EDR: 07/02/2020
Date Made Active in Reports: 09/28/2020
Number of Days to Update: 88

Source: Environmental Protection Agency
Telephone: 202-564-2280
Last EDR Contact: 10/06/2020
Next Scheduled EDR Contact: 01/18/2021
Data Release Frequency: Quarterly

FUELS PROGRAM: EPA Fuels Program Registered Listing

This listing includes facilities that are registered under the Part 80 (Code of Federal Regulations) EPA Fuels Programs. All companies now are required to submit new and updated registrations.

Date of Government Version: 08/17/2020
Date Data Arrived at EDR: 08/17/2020
Date Made Active in Reports: 10/21/2020
Number of Days to Update: 65

Source: EPA
Telephone: 800-385-6164
Last EDR Contact: 11/13/2020
Next Scheduled EDR Contact: 03/01/2021
Data Release Frequency: Quarterly

AIRS: Permit and Emissions Inventory Data

Permit and emissions inventory data.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 06/15/2020
Date Data Arrived at EDR: 06/17/2020
Date Made Active in Reports: 09/01/2020
Number of Days to Update: 76

Source: Department of Environment, Great Lakes, and Energy
Telephone: 517-373-7074
Last EDR Contact: 09/10/2020
Next Scheduled EDR Contact: 12/28/2020
Data Release Frequency: Annually

ASBESTOS: Asbestos Notification Listing Asbestos

Date of Government Version: 09/30/2020
Date Data Arrived at EDR: 10/06/2020
Date Made Active in Reports: 10/28/2020
Number of Days to Update: 22

Source: Department of Licensing & Regulatory Affairs
Telephone: 517-284-7699
Last EDR Contact: 10/01/2020
Next Scheduled EDR Contact: 02/08/2021
Data Release Frequency: Quarterly

BEA: Baseline Environmental Assessment Database

A BEA is a document that new or prospective property owners/operations disclose to the DEQ identifying the property as a facility pursuant to Part 201 and Part 213. The Inventory of BEA Facilities overlaps in part with the Part 201 Projects facilities and Part 213 facilities. There may be more than one BEA for each facility.

Date of Government Version: 08/21/2013
Date Data Arrived at EDR: 08/23/2013
Date Made Active in Reports: 09/12/2013
Number of Days to Update: 20

Source: Department of Environment, Great Lakes, and Energy
Telephone: 517-373-9541
Last EDR Contact: 11/04/2020
Next Scheduled EDR Contact: 02/22/2021
Data Release Frequency: No Update Planned

COAL ASH: Coal Ash Disposal Sites

Coal fired power plants in Southeast Michigan that have coal ash handling on site.

Date of Government Version: 03/23/2020
Date Data Arrived at EDR: 04/01/2020
Date Made Active in Reports: 06/17/2020
Number of Days to Update: 77

Source: Department of Environment, Great Lakes, and Energy
Telephone: 586-753-3754
Last EDR Contact: 10/05/2020
Next Scheduled EDR Contact: 01/11/2021
Data Release Frequency: Varies

DRYCLEANERS: Drycleaning Establishments

A listing of drycleaning facilities in Michigan.

Date of Government Version: 12/12/2019
Date Data Arrived at EDR: 01/14/2020
Date Made Active in Reports: 03/11/2020
Number of Days to Update: 57

Source: Department of Environment, Great Lakes, and Energy
Telephone: 517-335-4586
Last EDR Contact: 10/16/2020
Next Scheduled EDR Contact: 01/25/2021
Data Release Frequency: Quarterly

Financial Assurance 1: Financial Assurance Information Listing

Financial assurance information.

Date of Government Version: 07/01/2020
Date Data Arrived at EDR: 07/08/2020
Date Made Active in Reports: 09/24/2020
Number of Days to Update: 78

Source: Department of Environment, Great Lakes, and Energy
Telephone: 517-335-6610
Last EDR Contact: 09/23/2020
Next Scheduled EDR Contact: 01/11/2021
Data Release Frequency: Semi-Annually

FINANCIAL ASSURANCE 3: Financial Assurance Information Listing

Financial assurance information for underground storage tank facilities.

Date of Government Version: 03/03/2020
Date Data Arrived at EDR: 03/06/2020
Date Made Active in Reports: 05/26/2020
Number of Days to Update: 81

Source: Department of Licensing & Regulatory Affairs
Telephone: 517-335-7279
Last EDR Contact: 09/23/2020
Next Scheduled EDR Contact: 01/11/2021
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Financial Assurance 2: Financial Assurance Information Listing

A listing of financial assurance information for solid waste facilities. Financial assurance is intended to ensure that resources are available to pay for the cost of closure, post-closure care, and corrective measures if the owner or operator of a regulated facility is unable or unwilling to pay.

Date of Government Version: 06/24/2020
Date Data Arrived at EDR: 06/25/2020
Date Made Active in Reports: 07/01/2020
Number of Days to Update: 6

Source: Department of Environment, Great Lakes, and Energy
Telephone: 517-335-4034
Last EDR Contact: 09/16/2020
Next Scheduled EDR Contact: 01/04/2021
Data Release Frequency: Varies

LEAD CERT: Lead Safe Housing Registry

A listing of Michigan properties included in the Lead Safe Housing Registry.

Date of Government Version: 03/25/2020
Date Data Arrived at EDR: 03/25/2020
Date Made Active in Reports: 06/15/2020
Number of Days to Update: 82

Source: Department of Community Health
Telephone: 517-335-9699
Last EDR Contact: 08/26/2020
Next Scheduled EDR Contact: 12/14/2020
Data Release Frequency: Quarterly

NPDES: List of Active NPDES Permits

General information regarding NPDES (National Pollutant Discharge Elimination System) permits and NPDES Storm Water permits.

Date of Government Version: 04/01/2020
Date Data Arrived at EDR: 04/03/2020
Date Made Active in Reports: 06/19/2020
Number of Days to Update: 77

Source: Department of Environment, Great Lakes, and Energy
Telephone: 517-241-1300
Last EDR Contact: 10/02/2020
Next Scheduled EDR Contact: 01/11/2021
Data Release Frequency: Varies

UIC: Underground Injection Wells Database

A listing of underground injection well locations. The UIC Program is responsible for regulating the construction, operation, permitting, and closure of injection wells that place fluids underground for storage or disposal.

Date of Government Version: 07/08/2019
Date Data Arrived at EDR: 07/09/2019
Date Made Active in Reports: 09/19/2019
Number of Days to Update: 72

Source: Department of Environment, Great Lakes, and Energy
Telephone: 517-241-1515
Last EDR Contact: 10/09/2020
Next Scheduled EDR Contact: 01/31/2021
Data Release Frequency: Quarterly

WDS: Waste Data System

The Waste Data System (WDS) tracks activities at facilities regulated by the Solid Waste, Scrap Tire, Hazardous Waste, and Liquid Industrial Waste programs.

Date of Government Version: 06/27/2020
Date Data Arrived at EDR: 06/29/2020
Date Made Active in Reports: 09/14/2020
Number of Days to Update: 77

Source: Department of Environment, Great Lakes, and Energy
Telephone: 517-284-6562
Last EDR Contact: 11/11/2020
Next Scheduled EDR Contact: 03/01/2021
Data Release Frequency: Varies

MINES MRDS: Mineral Resources Data System

Mineral Resources Data System

Date of Government Version: 04/06/2018
Date Data Arrived at EDR: 10/21/2019
Date Made Active in Reports: 10/24/2019
Number of Days to Update: 3

Source: USGS
Telephone: 703-648-6533
Last EDR Contact: 08/28/2020
Next Scheduled EDR Contact: 12/07/2020
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

PCS ENF: Enforcement data

No description is available for this data

Date of Government Version: 12/31/2014
Date Data Arrived at EDR: 02/05/2015
Date Made Active in Reports: 03/06/2015
Number of Days to Update: 29

Source: EPA
Telephone: 202-564-2497
Last EDR Contact: 10/02/2020
Next Scheduled EDR Contact: 01/18/2021
Data Release Frequency: Varies

PCS INACTIVE: Listing of Inactive PCS Permits

An inactive permit is a facility that has shut down or is no longer discharging.

Date of Government Version: 11/05/2014
Date Data Arrived at EDR: 01/06/2015
Date Made Active in Reports: 05/06/2015
Number of Days to Update: 120

Source: EPA
Telephone: 202-564-2496
Last EDR Contact: 10/02/2020
Next Scheduled EDR Contact: 01/18/2021
Data Release Frequency: Semi-Annually

PCS: Permit Compliance System

PCS is a computerized management information system that contains data on National Pollutant Discharge Elimination System (NPDES) permit holding facilities. PCS tracks the permit, compliance, and enforcement status of NPDES facilities.

Date of Government Version: 07/14/2011
Date Data Arrived at EDR: 08/05/2011
Date Made Active in Reports: 09/29/2011
Number of Days to Update: 55

Source: EPA, Office of Water
Telephone: 202-564-2496
Last EDR Contact: 10/02/2020
Next Scheduled EDR Contact: 01/18/2021
Data Release Frequency: Semi-Annually

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP: EDR Proprietary Manufactured Gas Plants

The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

Date of Government Version: N/A
Date Data Arrived at EDR: N/A
Date Made Active in Reports: N/A
Number of Days to Update: N/A

Source: EDR, Inc.
Telephone: N/A
Last EDR Contact: N/A
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

EDR Hist Auto: EDR Exclusive Historical Auto Stations

EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

Date of Government Version: N/A
Date Data Arrived at EDR: N/A
Date Made Active in Reports: N/A
Number of Days to Update: N/A

Source: EDR, Inc.
Telephone: N/A
Last EDR Contact: N/A
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

EDR Hist Cleaner: EDR Exclusive Historical Cleaners

EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, laundromat, cleaning/laundry, wash & dry etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

Date of Government Version: N/A	Source: EDR, Inc.
Date Data Arrived at EDR: N/A	Telephone: N/A
Date Made Active in Reports: N/A	Last EDR Contact: N/A
Number of Days to Update: N/A	Next Scheduled EDR Contact: N/A
	Data Release Frequency: Varies

EDR RECOVERED GOVERNMENT ARCHIVES

Exclusive Recovered Govt. Archives

RGA PART 201: Recovered Government Archive State Hazardous Waste Facilities List

The EDR Recovered Government Archive State Hazardous Waste database provides a list of SHWS incidents derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environmental Quality in Michigan.

Date of Government Version: N/A	Source: Department of Environment, Great Lakes, and Energy
Date Data Arrived at EDR: 07/01/2013	Telephone: N/A
Date Made Active in Reports: 12/24/2013	Last EDR Contact: 06/01/2012
Number of Days to Update: 176	Next Scheduled EDR Contact: N/A
	Data Release Frequency: Varies

RGA LF: Recovered Government Archive Solid Waste Facilities List

The EDR Recovered Government Archive Landfill database provides a list of landfills derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environmental Quality in Michigan.

Date of Government Version: N/A	Source: Department of Environment, Great Lakes, and Energy
Date Data Arrived at EDR: 07/01/2013	Telephone: N/A
Date Made Active in Reports: 01/13/2014	Last EDR Contact: 06/01/2012
Number of Days to Update: 196	Next Scheduled EDR Contact: N/A
	Data Release Frequency: Varies

RGA LUST: Recovered Government Archive Leaking Underground Storage Tank

The EDR Recovered Government Archive Leaking Underground Storage Tank database provides a list of LUST incidents derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environmental Quality in Michigan.

Date of Government Version: N/A	Source: Department of Environment, Great Lakes, and Energy
Date Data Arrived at EDR: 07/01/2013	Telephone: N/A
Date Made Active in Reports: 12/24/2013	Last EDR Contact: 06/01/2012
Number of Days to Update: 176	Next Scheduled EDR Contact: N/A
	Data Release Frequency: Varies

OTHER DATABASE(S)

Depending on the geographic area covered by this report, the data provided in these specialty databases may or may not be complete. For example, the existence of wetlands information data in a specific report does not mean that all wetlands in the area covered by the report are included. Moreover, the absence of any reported wetlands information does not necessarily mean that wetlands do not exist in the area covered by the report.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

CT MANIFEST: Hazardous Waste Manifest Data

Facility and manifest data. Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a tsd facility.

Date of Government Version: 08/10/2020
Date Data Arrived at EDR: 10/20/2020
Date Made Active in Reports: 11/02/2020
Number of Days to Update: 13

Source: Department of Energy & Environmental Protection
Telephone: 860-424-3375
Last EDR Contact: 11/09/2020
Next Scheduled EDR Contact: 02/22/2021
Data Release Frequency: No Update Planned

NJ MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2018
Date Data Arrived at EDR: 04/10/2019
Date Made Active in Reports: 05/16/2019
Number of Days to Update: 36

Source: Department of Environmental Protection
Telephone: N/A
Last EDR Contact: 10/09/2020
Next Scheduled EDR Contact: 01/18/2021
Data Release Frequency: Annually

NY MANIFEST: Facility and Manifest Data

Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a TSD facility.

Date of Government Version: 01/01/2019
Date Data Arrived at EDR: 04/29/2020
Date Made Active in Reports: 07/10/2020
Number of Days to Update: 72

Source: Department of Environmental Conservation
Telephone: 518-402-8651
Last EDR Contact: 10/30/2020
Next Scheduled EDR Contact: 02/08/2021
Data Release Frequency: Quarterly

PA MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 06/30/2018
Date Data Arrived at EDR: 07/19/2019
Date Made Active in Reports: 09/10/2019
Number of Days to Update: 53

Source: Department of Environmental Protection
Telephone: 717-783-8990
Last EDR Contact: 10/07/2020
Next Scheduled EDR Contact: 01/25/2021
Data Release Frequency: Annually

RI MANIFEST: Manifest information

Hazardous waste manifest information

Date of Government Version: 12/31/2018
Date Data Arrived at EDR: 10/02/2019
Date Made Active in Reports: 12/10/2019
Number of Days to Update: 69

Source: Department of Environmental Management
Telephone: 401-222-2797
Last EDR Contact: 11/11/2020
Next Scheduled EDR Contact: 03/01/2021
Data Release Frequency: Annually

WI MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 05/31/2018
Date Data Arrived at EDR: 06/19/2019
Date Made Active in Reports: 09/03/2019
Number of Days to Update: 76

Source: Department of Natural Resources
Telephone: N/A
Last EDR Contact: 09/02/2020
Next Scheduled EDR Contact: 12/21/2020
Data Release Frequency: Annually

Oil/Gas Pipelines

Source: Endeavor Business Media

Petroleum Bundle (Crude Oil, Refined Products, Petrochemicals, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)) N = Natural Gas Bundle (Natural Gas, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)). This map includes information copyrighted by Endeavor Business Media. This information is provided on a best effort basis and Endeavor Business Media does not guarantee its accuracy nor warrant its fitness for any particular purpose. Such information has been reprinted with the permission of Endeavor Business Media.

Electric Power Transmission Line Data

Source: Endeavor Business Media

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GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Sensitive Receptors: There are individuals deemed sensitive receptors due to their fragile immune systems and special sensitivity to environmental discharges. These sensitive receptors typically include the elderly, the sick, and children. While the location of all sensitive receptors cannot be determined, EDR indicates those buildings and facilities - schools, daycares, hospitals, medical centers, and nursing homes - where individuals who are sensitive receptors are likely to be located.

AHA Hospitals:

Source: American Hospital Association, Inc.

Telephone: 312-280-5991

The database includes a listing of hospitals based on the American Hospital Association's annual survey of hospitals.

Medical Centers: Provider of Services Listing

Source: Centers for Medicare & Medicaid Services

Telephone: 410-786-3000

A listing of hospitals with Medicare provider number, produced by Centers of Medicare & Medicaid Services, a federal agency within the U.S. Department of Health and Human Services.

Nursing Homes

Source: National Institutes of Health

Telephone: 301-594-6248

Information on Medicare and Medicaid certified nursing homes in the United States.

Public Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on elementary and secondary public education in the United States. It is a comprehensive, annual, national statistical database of all public elementary and secondary schools and school districts, which contains data that are comparable across all states.

Private Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on private school locations in the United States.

Daycare Centers: Day Care Centers, Group & Family Homes

Source: Bureau of REgulatory Services

Telephone: 517-373-8300

Flood Zone Data: This data was obtained from the Federal Emergency Management Agency (FEMA). It depicts 100-year and 500-year flood zones as defined by FEMA. It includes the National Flood Hazard Layer (NFHL) which incorporates Flood Insurance Rate Map (FIRM) data and Q3 data from FEMA in areas not covered by NFHL.

Source: FEMA

Telephone: 877-336-2627

Date of Government Version: 2003, 2015

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005 and 2010 from the U.S. Fish and Wildlife Service.

State Wetlands Data: Wetlands Inventory

Source: Department of Natural Resources

Telephone: 517-241-2254

Current USGS 7.5 Minute Topographic Map

Source: U.S. Geological Survey

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

STREET AND ADDRESS INFORMATION

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Appendix E



PM PROFESSIONAL RESUMES

DEVON NAGENGAST

STAFF CONSULTANT

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Devon Nagengast is a Staff Consultant at PM Environmental, Inc. She specializes in Environmental Due Diligence by managing Phase I Environmental Site Assessments throughout the Midwest.

AREAS OF EXPERTISE

- Staff consultant for Phase I Environmental Site Assessments (ESAs)
- Assists with data collection and evaluation for Transaction Screen Assessments, Phase I ESAs and other due diligence reports
- History of biological surveying strengthens site assessment skills
- Experience in implementation and completion of various site assessment standards and professional protocol and commercial lending requirements (ASTM E-1527)



EDUCATION

- Oakland University
B.S. Environmental Science,
concentration in Sustainability and
Resource Management

LAUREN BABUSKA

PROJECT CONSULTANT

1.800.313.2966 www.pmenv.com babuska@pmenv.com

Lauren Babuska is a Project Consultant at PM Environmental, Inc. and has served clients in multiple states since 2014. She specializes in Environmental Due Diligence including Phase I Environmental Site Assessments and customized environmental assessments to support all forms of real estate transactions.

AREAS OF EXPERTISE

- Project consultant for Phase I Environmental Site Assessments (ESAs)
- Assist with site investigation for Phase I ESAs
- Assist with data collection and evaluation for Transaction Screen Assessments, Phase I ESAs and other due diligence reports
- Experience in implementation and completion of various site assessment standards and professional protocol and commercial lending requirements (ASTM E-1527)
- Peer Technical Review of Phase I ESAs and other due diligence reports using ASTM Standard 1527



EDUCATION

- University of Michigan
B.S. Geological Sciences

CERTIFICATIONS

- Meets the definition of Environmental Professional as defined in 312.10 of 40 CFR 312

BETH SEXTON

CHIEF OPERATING OFFICER

1.800.313.2966 www.pmenv.com sexton@pmenv.com

Beth Sexton is the Chief Operating Officer for PM Environmental, Inc. Sexton has over a decade of experience performing environmental due diligence on a variety of properties for financial institutions and borrowers, retail chains, industrial conglomerates, and real estate developers. She specializes in Environmental Due Diligence, portfolio management, mergers and acquisitions, and transactional real estate and development. Sexton is the national client manager for numerous Fortune 100 financial institutions, retail chains, industrial conglomerates, and real estate developers.

She has managed multiple large scale commercial, retail, and industrial redevelopments involving multiple service lines within the company. Sexton has presented on national panels within the environmental industry on topics such as Environmental Due Diligence and corporate management.

AREAS OF EXPERTISE

- Corporate oversight of all departments within PM
- Strategic development and implementation of multiple service line teams to support major redevelopments and complex mergers and acquisitions, utilizing all of the PM service lines
- Strategic development, implementation, training, and launches of multiple service line teams to develop Environmental Risk Management programs for lending institutions and Fortune 1000 real estate intensive industries including retail, logistics, multifamily housing, petroleum, utilizing all of the PM service lines
- Data collection, site investigation, and preparation of Phase I Environmental Site Assessment (ESA) and related due diligence projects
- Senior technical review of due diligence related projects
- Quality assurance/quality control oversight for report documents
- Experience in implementation and completion of various site assessment standards and professional protocol and commercial lending requirements (ASTM E-1527, ASTM E-1528)
- Phase II ESAs and site investigation projects, Baseline Environmental Assessments (BEAs), continuing obligations, and due care projects
- Limited bulk asbestos containing materials samples
- Peer/senior technical review of thousands of Phase I and Phase II ESAs
- Peer/senior technical review for numerous BEAs and due care plans in accordance with P.A. 451



EDUCATION

- Michigan State University
B.A. International Relations
Specialization: Environmental Economics
- University of Michigan Masters of Science Resource Policy and Behavior
- EGLE Cleanup Criteria Training
- ASTM Phase I and Phase II Processes Training
- Zweig White Principals Academy

CERTIFICATIONS

- Meets the definition of Environmental Professional as defined in § 312.10 of 40 CFR 312

PROFESSIONAL ACTIVITIES

- Environmental Bankers Association
- Former CREW Network Board Liaison for CREW Detroit Outreach

AWARDS

- 2018 DBusiness 30 in Their Thirties

Appendix F



COMMON ACRONYMS AND TERMINOLOGY USED IN THE COURSE OF THIS PHASE I ESA

The following is a list of common acronyms:

All Appropriate Inquiry	AAI
Asbestos Containing Materials	ACM
Aboveground Storage Tank	AST
American Society for Testing Materials	ASTM
Approximate Minimum Search Distance	ASMD
Comprehensive Environmental Response, Compensation and Liability Act	CERCLA
Environmental Data Resources	EDR
Environmental Site Assessment	ESA
Federal Emergency Response Notification System	ERNS
Large Quantity Generator	LQG
Leaking Underground Storage Tank	LUST
National Priority List	NPL
No Further Remedial Action Planned	NFRAP
PM Environmental, Inc.	PME
Polychlorinated Biphenyls	PCBs
Resource Conservation and Recovery Act	RCRA
Small Quantity Generator	SQG
Treatment Storage and Disposal Facility	TSD
Underground Storage Tank	UST
United States Environmental Protection Agency	USEPA

TERMINOLOGY

The following provides definitions and descriptions of certain terms that may be used in this report. Several terms are defined by ASTM Standard Practice E 1527. The Standard Practice should be referenced for further detail (such as the precise wording), related definitions, or additional explanation regarding the meaning of terms.

Asbestos containing material (ACM): Any material found to contain greater than 1% asbestos using an analytical method that is approved by the USEPA for asbestos analysis.

De minimis conditions: Conditions that generally do not present a material risk or harm to public health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies.

Friable material: Defined in the National Emission Standards for Hazardous Air Pollutants (NESHAP) as a material that can be pulverized or reduced to dust using hand pressure only.

General risk of enforcement action: The likelihood that an environmental condition would be subject to enforcement action if brought to the attention of appropriate

governmental agencies. If the circumstances suggest an enforcement action would be more likely than not, then the condition is considered a general risk of enforcement action.

Historical recognized environmental condition (HREC): Environmental condition which in the past would have been considered a recognized environmental condition, but which may or may not be considered a recognized environmental condition currently. The final decision rests with the environmental professional and will be influenced by the current impact of the historical recognized environmental condition on the subject property. If a past release of any hazardous substances or petroleum products has occurred in connection with the subject property, with such remediation accepted by the responsible regulatory agency (for example, as evidenced by the issuance of a no further action letter or equivalent), this condition shall be considered a historical recognized environmental condition.

Non-friable material: Defined by National Emission Standards for Hazardous Air Pollutants (NESHAP) as a material that cannot be pulverized or reduced to dust using hand pressure only. According to NESHAP, non-friable building materials include those in Category I (packings, gaskets, resilient floor coverings/adhesives, and asphalt roofing materials) and those in Category II (all other materials).

Recognized environmental condition (REC): The presence or likely presence of any hazardous substances or petroleum products on a property under conditions that indicate an existing release, a past release, or a material threat of a release of any hazardous substances or petroleum products into structures on the subject property or into the ground, ground water, or surface water of the subject property. The term includes hazardous substances or petroleum products even under conditions in compliance with laws. The term is not intended to include de minimis conditions that generally do not present a material risk of harm to public health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies.

Subject property: The area that is the focus of a Phase I Environmental Site Assessment. The boundaries are not necessarily consistent with recorded legal descriptions of real estate, and are defined by the User.

Suspect ACM of concern: Defined as “(I) all friable suspect ACMs (II) any non-friable suspect ACMs expected to be disturbed by renovation or demolition activities planned for the subject property.”

General Scope of Services for Phase I ESA

The purpose of the Phase I ESA is to gather sufficient information to develop an independent professional opinion about the environmental condition of the subject property. The ESA will be conducted in an attempt to satisfy the ASTM Standard (E-1527-13) and the U.S. EPA Standards and Practices for All Appropriate Inquiry as defined in the Small Business Liability Relief and Brownfields Revitalization Act. The Phase I ESA will encompass the following scope of work:

Records Review

- Federal and State database search for sites within the ASTM approximate minimum search distances.
- Review of one or more additional state environmental record sources (e.g., fire department, health department, published local or state site contamination lists, etc.). PM is typically exhaustive in inquiry with these resources.
- Utilization of as many of the ASTM standard historical sources as necessary and as reasonably ascertainable and likely to be useful to document all obvious uses of the subject property from the present, back to the subject property's first developed usage (agricultural or the placement of fill) or 1940, whichever is earlier (e.g., aerial photographs, fire insurance maps, topographic maps, street directories, building record and other sources including knowledgeable interviewees). PM is typically exhaustive in usage of these resources to document subject property historical usages. **Chain of title is not typically consulted by PM unless all other standard and historical sources cannot adequately document subject property usages or if required by a lender. A separate fee to the lump sum quoted will be assessed for obtainment of chain of title.**
- A records review in accordance with the requirements for a Vapor Intrusion Assessment per ASTM E-2600-08 is not included in this scope of work.

Site Reconnaissance

- The objective of the site reconnaissance is to obtain information regarding the likelihood of recognized environmental conditions in connection with the subject property.
- The exterior of the subject property and any structures, as well as, pathways, roads, etc., will be visually and physically observed.
- The interior of the structures on the subject property will be visually and physically observed. This includes all common areas, maintenance and repair rooms, boiler rooms and representative number of occupant spaces. Observations under floors, above ceilings or behind walls are not required unless specified by requirements other than the ASTM standard.
- PM will evaluate non-ASTM scope issues with a visual inspection, and comment on asbestos containing building materials, lead based paint, and water intrusion associated with mold. Sampling is not included within this scope of work, but can be completed under a separate proposal.
- Current and past uses of the subject property and adjoining properties, and general uses of surrounding properties, to the extent visually and physically observed will be recorded. Emphasis is placed on subject property or adjoining property usages involving use, treatment, storage, disposal or generation of hazardous substances or petroleum products. These observations may include process details on raw material and waste management practices.
- General description of structures and improvements on the subject property (number and age of buildings, ancillary structures, utilities, storage tanks, hazardous substance and petroleum product usage, general chemical or raw material usage, heating and cooling, stains, solid waste, waste water, etc.).

Interviews with Owners and Occupants

- Interviews with owners, occupants, key site manager and user (person on behalf Phase I ESA conducted), typically with regard to information about current and historical uses, general site setting information, site specific documents, litigation, administrative orders, notices of violations with regard to environmental issues, etc.

Interviews with Local Government Officials

- A reasonable attempt will be made to interview at least one staff member of any of the following: the local fire department, the local agency or state agency having jurisdiction over environmental matters in the area in which the subject property is located, and/or the local health department. PM is typically exhaustive in its inquiry of these sources, unless professional experience has indicated the resource is not beneficial.

Evaluation and Report Preparation

- The report of the Phase I ESA findings will generally follow the ASTM format unless otherwise requested by the client or as outlined in any applicable lender requirements. The report will include documentation of sources, methodology, limitations, and credentials. *Liability/risk evaluations, recommendations for Phase II ESA testing and remediation techniques are not provided within the scope of an ASTM performed assessment.* Phase I ESA reports are kept in the strictest client confidence and are issued directly to the client. Issuance or reliance on the Phase I ESA report for purposes of making loan decisions by a private lender may be included in the Phase I ESA report if specified by the client.

USER'S CONTINUING OBLIGATIONS UNDER CERCLA

Conducting a Phase I ESA alone does not provide a landowner with protection against CERCLA liability. Landowners who want to maintain a bona Fide Prospective Purchaser, an Innocent Landowner, or a Contiguous Property Owner Defense must also comply with other pre-acquisition and post-acquisition requirements in the CERCLA regulations and AAI standards. The responsibilities for each defense are summarized below.

Bona Fide Prospective Purchaser Responsibilities

The Bona Fide Prospective Purchaser defense is intended for individuals or entities purchasing a property known to be contaminated. To obtain and maintain the defense, the individual or entity seeking the defense must also satisfy the following requirements (AAI, Section II D.1.):

- Have acquired a property after all disposal activities involving hazardous substances ceased at the property;
- Provide all legally required notices with respect to the discovery or release of any hazardous substances at the property;
- Exercise appropriate care by taking reasonable steps to stop continuing releases, prevent any threatened future releases, and prevent or limit human, environmental, or natural resources exposure to any previously released hazardous substance;
- Provide full cooperation, assistance, and access to persons authorized to conduct response actions or natural resource restorations;
- Comply with land use restrictions established or relied on in connection with a response action;
- Not impede the effectiveness or integrity of any institutional controls;
- Comply with any CERCLA request for information or administrative subpoena; and
- Not be potentially liable, or affiliated with any other person who is potentially liable for response costs for addressing releases at the property.

Innocent Landowner Responsibilities

The Innocent Landowner Defense protects individuals or entities (ultimately the "property owner") purchasing a property that is not known to be contaminated. The property owner must also satisfy the following requirements to obtain and maintain the defense (AAI, Section II D.3 and CERCLA Section 107(b)(3)):

- Have no reason to know that any hazardous substance which is the subject of a release of threatened release was disposed of on, in, or at the facility;
- Provide full cooperation, assistance and access to persons authorized to conduct response actions at the property;
- Comply with any land use restrictions and not impeding the effectiveness or integrity of any institutional controls;

- Take reasonable steps to stop continuing releases, prevent any threatened release, and prevent to limit human, environmental, or natural resource exposure to any hazardous substances released on or from the landowner's property;
- Demonstrate that the act or omission that caused the release or threat of release of hazardous substances and the resulting damages were caused by the third party with whom the person does not have employment, agency, or contractual relationship;
- Exercise due care with respect to the hazardous substance concerned, taking into consideration the characteristics of such hazardous substance, in light of all relevant facts and circumstances;
- Take precautions against foreseeable acts or omissions of a third party and the consequences that could result from such acts or omissions.

Contiguous Property Owner Defense

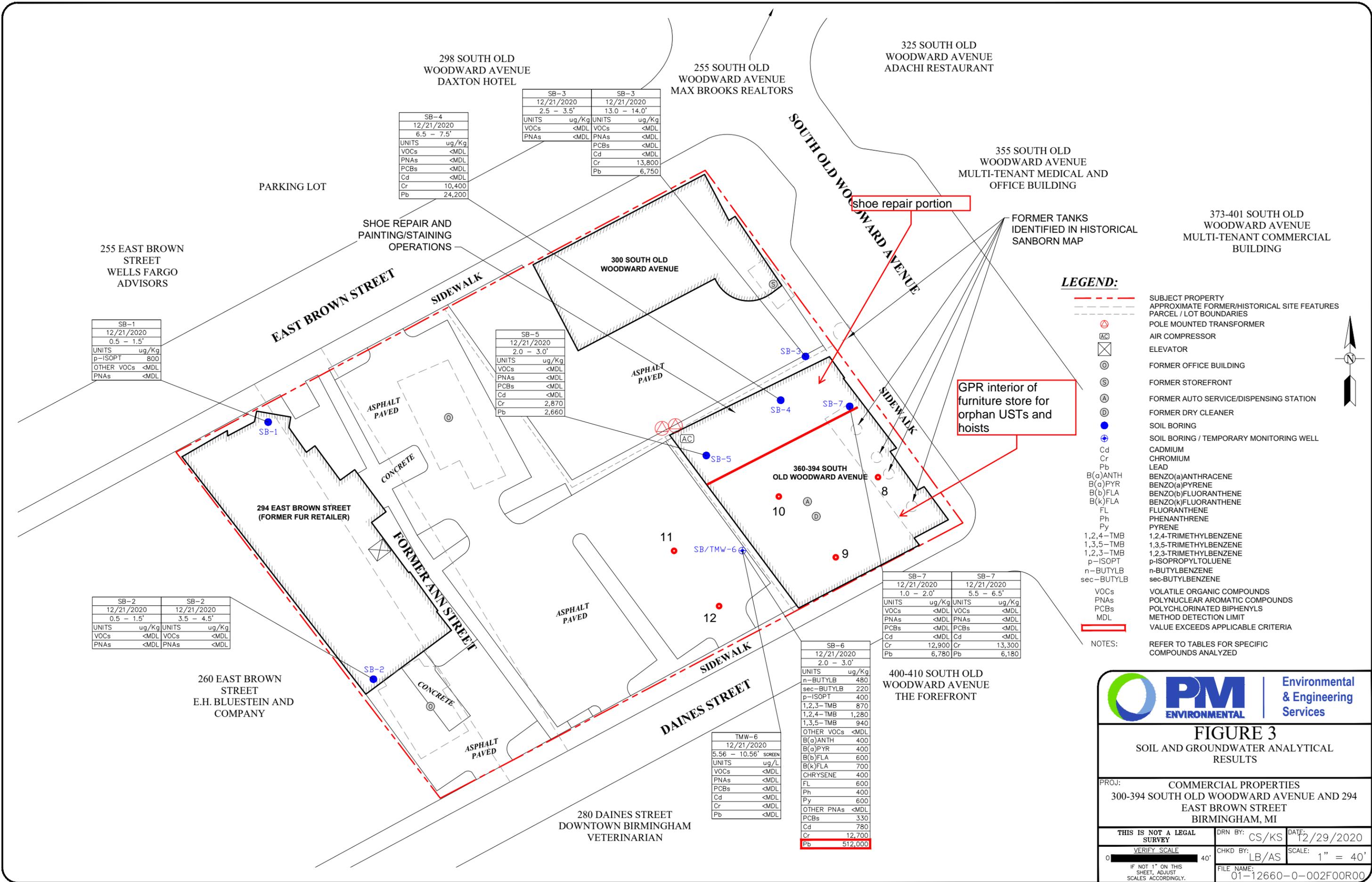
The Contiguous Property Owner Defense protects individuals or entities purchasing a property that is not known to be contaminated, but could be contaminated by migration from a contiguous property owned by someone else. To qualify as a contiguous property owner, a landowner must have no knowledge of contamination prior to acquisition, or reason to know of contamination at the time of acquisition, have conducted AAI, and meet all of the criteria set forth in AAI Section II.D.2 and CERCLA Section 107(q)(1)(A), which include:

- Not cause, contribute, or consent to the release or threatened release;
- Not be potentially liable nor affiliated with any other person potentially liable for response costs at the property;
- Take reasonable steps to stop continuing releases, prevent any threatened release, and prevent or limit human, environmental, or natural resource exposure to any hazardous substances released on or from the landowner's property;
- Provide full cooperation, assistance, and access to persons authorized to conduct response actions or natural resource restorations;
- Comply with land use restrictions established or relied on in connection with a response action;
- Not impede the effectiveness or integrity of any institutional controls;
- Comply with any CERCLA request for information or administrative subpoena;
- Provide all legally required notices with respect to discovery or release of any hazardous substances at the property.

Persons who know, or have reason to know, that the property is or could be contaminated at the time of acquisition of a property cannot qualify for the liability protection as a contiguous property owner, but may be entitled to Bona Fide Prospective Purchaser status.

Section 3.6

Geotechnical Investigation



298 SOUTH OLD
WOODWARD AVENUE
DAXTON HOTEL

255 SOUTH OLD
WOODWARD AVENUE
MAX BROOKS REALTORS

325 SOUTH OLD
WOODWARD AVENUE
ADACHI RESTAURANT

355 SOUTH OLD
WOODWARD AVENUE
MULTI-TENANT MEDICAL AND
OFFICE BUILDING

373-401 SOUTH OLD
WOODWARD AVENUE
MULTI-TENANT COMMERCIAL
BUILDING

255 EAST BROWN
STREET
WELLS FARGO
ADVISORS

SHOE REPAIR AND
PAINTING/STAINING
OPERATIONS

shoe repair portion

FORMER TANKS
IDENTIFIED IN HISTORICAL
SANBORN MAP

PARKING LOT

300 SOUTH OLD
WOODWARD AVENUE

360-394 SOUTH
OLD WOODWARD AVENUE

294 EAST BROWN STREET
(FORMER FUR RETAILER)

FORMER ANN STREET

260 EAST BROWN
STREET
E.H. BLUESTEIN AND
COMPANY

ASPHALT
PAVED

400-410 SOUTH OLD
WOODWARD AVENUE
THE FOREFRONT

280 DAINES STREET
DOWNTOWN BIRMINGHAM
VETERINARIAN

SB-1	
12/21/2020	
0.5 - 1.5'	
UNITS	ug/Kg
p-ISOPT	800
OTHER VOCs	<MDL
PNAAs	<MDL

SB-4	
12/21/2020	
6.5 - 7.5'	
UNITS	ug/Kg
VOCs	<MDL
PNAAs	<MDL
PCBs	<MDL
Cd	<MDL
Cr	10,400
Pb	24,200

SB-3	
12/21/2020	
2.5 - 3.5'	
UNITS	ug/Kg
VOCs	<MDL
PNAAs	<MDL
PCBs	<MDL
Cd	<MDL
Cr	13,800
Pb	6,750

SB-5	
12/21/2020	
2.0 - 3.0'	
UNITS	ug/Kg
VOCs	<MDL
PNAAs	<MDL
PCBs	<MDL
Cd	<MDL
Cr	2,870
Pb	2,660

SB-2	
12/21/2020	
0.5 - 1.5'	
UNITS	ug/Kg
VOCs	<MDL
PNAAs	<MDL

SB-2	
12/21/2020	
3.5 - 4.5'	
UNITS	ug/Kg
VOCs	<MDL
PNAAs	<MDL

TMW-6	
12/21/2020	
5.56 - 10.56' SCREEN	
UNITS	ug/L
VOCs	<MDL
PNAAs	<MDL
PCBs	<MDL
Cd	<MDL
Cr	<MDL
Pb	<MDL

SB-6	
12/21/2020	
2.0 - 3.0'	
UNITS	ug/Kg
n-BUTYLB	480
sec-BUTYLB	220
p-ISOPT	400
1,2,3-TMB	870
1,2,4-TMB	1,280
1,3,5-TMB	940
OTHER VOCs	<MDL
B(a)ANTH	400
B(a)PYR	400
B(b)FLA	600
B(k)FLA	700
CHRYSENE	400
FL	600
Ph	400
Py	600
OTHER PNAAs	<MDL
PCBs	330
Cd	780
Cr	12,700
Pb	512,000

SB-7	
12/21/2020	
1.0 - 2.0'	
UNITS	ug/Kg
VOCs	<MDL
PNAAs	<MDL
PCBs	<MDL
Cd	<MDL
Cr	12,900
Pb	6,780

LEGEND:

- SUBJECT PROPERTY
- APPROXIMATE FORMER/HISTORICAL SITE FEATURES
- PARCEL / LOT BOUNDARIES
- POLE MOUNTED TRANSFORMER
- AIR COMPRESSOR
- ELEVATOR
- FORMER OFFICE BUILDING
- FORMER STOREFRONT
- FORMER AUTO SERVICE/DISPENSING STATION
- FORMER DRY CLEANER
- SOIL BORING
- SOIL BORING / TEMPORARY MONITORING WELL
- Cd
- Cr
- Pb
- B(o)ANTH
- B(o)PYR
- B(b)FLA
- B(k)FLA
- FL
- Ph
- Py
- 1,2,4-TMB
- 1,3,5-TMB
- 1,2,3-TMB
- p-ISOPT
- n-BUTYLB
- sec-BUTYLB
- VOCs
- PNAAs
- PCBs
- MDL

NOTES: REFER TO TABLES FOR SPECIFIC COMPOUNDS ANALYZED



FIGURE 3
SOIL AND GROUNDWATER ANALYTICAL RESULTS

PROJ: COMMERCIAL PROPERTIES
300-394 SOUTH OLD WOODWARD AVENUE AND 294 EAST BROWN STREET
BIRMINGHAM, MI

THIS IS NOT A LEGAL SURVEY
VERIFY SCALE
IF NOT 1" ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

DRN BY: CS/KS
CHKD BY: LB/AS
FILE NAME: 01-12660-0-002F00R00

DATE: 12/29/2020
SCALE: 1" = 40'



Project No.: 01-12660-0-003

Boring Log

Project Name: Former Cass St School Property **Boring No.:** SB-1

Address: 300-360 S Old Woodward Ave

Drill Rig: HA

Facility ID#:

Drilling Method: HA

Date Drilled: 12/21/2020

Sampling Method: Grab

Logged By: Denielle Wilcox

Drilling Contractor: PME

SUBSURFACE PROFILE			SAMPLE			No Well Installed
Depth (ft.)	Soil Type Graphic	Description and Comments	Sample Interval	% Recovery	PID (ppm)	
0		Ground Surface				
		CONCRETE				
		CL- (Stiff) SANDY CLAY (moist) Brown/Gray, low-plasticity, trace gravel	SB-1	100	0.0	
			0.5 - 1.5'	100	0.0	
2				100	0.0	
				100	0.0	
4				100	0.0	
				100	0.0	
6						

Completion Notes: EOB @ 6' bgs.

Legend:

EOB End of Boring
 Bgs. Below Ground Surface
 NR No Recovery
 NA Not Applicable
 Ft. Feet



Project No.: 01-12660-0-003

Boring Log

Project Name: Former Cass St School Property **Boring No.:** SB-2

Address: 300-360 S Old Woodward Ave

Drill Rig: HA

Facility ID#:

Drilling Method: HA

Date Drilled: 12/21/2020

Sampling Method: Grab

Logged By: Denielle Wilcox

Drilling Contractor: PME

SUBSURFACE PROFILE			SAMPLE			No Well Installed
Depth (ft.)	Soil Type Graphic	Description and Comments	Sample Interval	% Recovery	PID (ppm)	
0		Ground Surface				
		CONCRETE				
		SP- (Loose) SAND (moist) Brown, fine to medium, poorly-graded, trace gravel	SB-2	100	0.0	
		CL- (Stiff) SANDY CLAY (moist) Brown, low-plasticity, trace gravel	0.5 - 1.5'	100	0.0	
2				100	0.0	
			SB-2	100	0.0	
4			3.5 - 4.5'	100	0.0	
				100	0.0	
6				100	0.0	
				100	0.0	
8				100	0.0	
				100	0.0	
10						

Completion Notes: EOB @ 10' bgs.

Legend:

- EOB End of Boring
- Bgs. Below Ground Surface
- NR No Recovery
- NA Not Applicable
- Ft. Feet



Project No.: 01-12660-0-003

Boring Log

Project Name: Former Cass St School Property **Boring No.:** SB-3

Address: 300-360 S Old Woodward Ave

Drill Rig: 6712 DT Geoprobe

Facility ID#:

Drilling Method: Direct Push

Date Drilled: 12/21/2020

Sampling Method: Grab

Logged By: Denielle Wilcox

Drilling Contractor: PME

SUBSURFACE PROFILE			SAMPLE			No Well Installed
Depth (ft.)	Soil Type Graphic	Description and Comments	Sample Interval	% Recovery	PID (ppm)	
0		Ground Surface				
0		CONCRETE		80	0.0	
0		CL- (Medium Soft) SANDY CLAY (moist) Dark Brown, low-plasticity, trace gravel		80	0.0	
2			SB-3	80	0.0	
2		CL- (Stiff) SANDY CLAY (moist) Brown/Gray, low-plasticity, trace gravel	2.5 - 3.5'	80	0.0	
4				80	0.0	
4				80	0.0	
6				100	0.0	
6				100	0.0	
8				100	0.0	
8				100	0.0	
10				100	0.0	
10				90	0.0	
12				90	0.0	
12				90	0.0	
14			SB-3	90	0.0	
14		CL- (Medium Stiff) SANDY CLAY (moist) Gray, medium-plasticity, trace gravel	13.0 - 14.0'	90	0.0	
16				100	0.0	
16				100	0.0	
18				100	0.0	
18				100	0.0	
20				100	0.0	

Completion Notes: EOB @ 20' bgs.

Legend:

EOB End of Boring
 Bgs. Below Ground Surface
 NR No Recovery
 NA Not Applicable
 Ft. Feet



Project No.: 01-12660-0-003

Boring Log

Project Name: Former Cass St School Property **Boring No.:** SB-4

Address: 300-360 S Old Woodward Ave

Drill Rig: HA

Facility ID#:

Drilling Method: HA

Date Drilled: 12/21/2020

Sampling Method: Grab

Logged By: Denielle Wilcox

Drilling Contractor: PME

SUBSURFACE PROFILE			SAMPLE			No Well Installed
Depth (ft.)	Soil Type Graphic	Description and Comments	Sample Interval	% Recovery	PID (ppm)	
0		Ground Surface				
		CONCRETE				
		SP- (Loose) SAND (moist) Brown, fine to medium, poorly-graded, trace gravel	SB-4 0.5 - 1.5'	100	0.0	
2				100	0.0	
				100	0.0	
4				100	0.0	
				100	0.0	
6				100	0.0	
				100	0.0	
8				100	0.0	
		CL- (Stiff) SANDY CLAY (moist) Brown, low-plasticity, trace gravel	SB-4 6.5 - 7.5'	100	0.0	
10				100	0.0	
				100	0.0	

Completion Notes: EOB @ 10' bgs.

Legend:

- EOB End of Boring
- Bgs. Below Ground Surface
- NR No Recovery
- NA Not Applicable
- Ft. Feet



Project No.: 01-12660-0-003

Boring Log

Project Name: Former Cass St School Property **Boring No.:** SB-5

Address: 300-360 S Old Woodward Ave

Drill Rig: HA

Facility ID#:

Drilling Method: HA

Date Drilled: 12/21/2020

Sampling Method: Grab

Logged By: Denielle Wilcox

Drilling Contractor: PME

SUBSURFACE PROFILE			SAMPLE			No Well Installed
Depth (ft.)	Soil Type Graphic	Description and Comments	Sample Interval	% Recovery	PID (ppm)	
0		Ground Surface				
		CONCRETE				
		SP- (Loose) SAND (moist) Brown, fine to medium, poorly-graded, trace gravel		100	0.0	
				100	0.0	
2			SB-5 2.0 - 3.0'	100	0.0	
		CONCRETE SLAB REFUSAL				

Completion Notes: EOB @ 3' bgs.

Legend:

EOB End of Boring
 Bgs. Below Ground Surface
 NR No Recovery
 NA Not Applicable
 Ft. Feet



Project No.: 01-12660-0-003

Well Log

Project Name: Former Cass St School Property **Well No.:** SB/TMW-6

Address: 300-360 S Old Woodward Ave

Drill Rig: 6712 DT Geoprobe

Facility ID#:

Drilling Method: Direct Push

Date Drilled: 12/21/2020

Sampling Method: Grab

Logged By: Danielle Wilcox

Drilling Contractor: PME

SUBSURFACE PROFILE			SAMPLE			Completion Details
Depth (ft.)	Soil Type Graphic	Description and Comments	Sample Interval	% Recovery	PID (ppm)	
0		Ground Surface				<p>1" PVC Casing</p> <p>1" 10-Slot PVC Screen</p> <p>Ground Surface</p> <p>5.56'</p> <p>Approximate Water Level (4.66')</p> <p>10.56'</p>
		CONCRETE		70	-	
		CONCRETE, BRICK, GLASS DEBRIS		70	194.6	
2		CL- (Stiff) SANDY CLAY (moist) Dark Brown, low-plasticity, trace gravel	SB-6 2.0 - 3.0'	70	452.3	
4		CL- (Medium Stiff) SANDY CLAY (moist) Brown/Gray, medium-plasticity, trace gravel, 1" sand seam @ 4.75' (damp)		70	113.5	
6				70	25.8	
8		CL- (Stiff) SILTY CLAY (damp) Brown, low-plasticity		80	4.3	
10				80	3.5	
12				80	2.7	
14		CL- (Medium Stiff) CLAY (moist) Gray, medium-plasticity, trace gravel		80	2.4	
16				80	2.2	
18				80	2.0	
20				80	1.7	
				80	1.0	
				80	0.9	
				80	0.0	
				60	0.0	
				60	0.0	
				60	0.0	
				60	0.0	
				60	0.0	

Completion Notes: EOB @ 20' bgs.

Legend:
 EOB End of Boring
 Bgs. Below Ground Surface
 NR No Recovery
 NA Not Applicable
 Ft. Feet



Project No.: 01-12660-0-003

Boring Log

Project Name: Former Cass St School Property **Boring No.:** SB-7

Address: 300-360 S Old Woodward Ave

Drill Rig: HA

Facility ID#:

Drilling Method: HA

Date Drilled: 12/21/2020

Sampling Method: Grab

Logged By: Denielle Wilcox

Drilling Contractor: PME

SUBSURFACE PROFILE			SAMPLE			No Well Installed
Depth (ft.)	Soil Type Graphic	Description and Comments	Sample Interval	% Recovery	PID (ppm)	
0		Ground Surface				
		CONCRETE				
		CL- (Stiff) SANDY CLAY (moist) Brown, low-plasticity, trace gravel		100	0.0	
			SB-7 1.0 - 2.0'	100	0.0	
2				100	0.0	
				100	0.0	
4				100	0.0	
				100	0.0	
6			SB-7 5.5 - 6.5'	100	0.0	
		CL- (Stiff) CLAY (moist) Gray, low-plasticity, trace gravel		100	0.0	
				100	0.0	
8				100	0.0	
				100	0.0	
10				100	0.0	

Completion Notes: EOB @ 10' bgs.

Legend:

EOB End of Boring
 Bgs. Below Ground Surface
 NR No Recovery
 NA Not Applicable
 Ft. Feet

Section 3.7

Air Quality Information



MICHIGAN DEPARTMENT OF
ENVIRONMENT, GREAT LAKES, AND ENERGY

AIR QUALITY ANNUAL REPORT

2019



Michigan Department of Environment, Great Lakes, and Energy
Michigan.gov/EGLE | 800-662-9278

Air Quality Annual Report

2019

Executive summary

This report gives an overview of the air quality for 2019. Current data for Michigan can be found on MIAir (www.deqmiair.org) and Air Quality alerts can be delivered directly to email by signing up for the Michigan EnviroFlash program (<http://miair.enviroflash.info/>). In April 2019, by the Governor's executive order, the Michigan Department of Environmental Quality (MDEQ) became the Michigan Department of Environment, Great Lakes, and Energy (EGLE). While the data in this report was partly collected in 2019 under the agency name of MDEQ, this report will use EGLE.

The federal Clean Air Act (CAA) requires the United States Environmental Protection Agency (USEPA) to establish National Ambient Air Quality Standards (NAAQS) for six criteria pollutants considered harmful to public health and the environment.

The six pollutants monitored by EGLE, Air Quality Division (AQD) are:

1. Carbon monoxide (CO)
2. Lead (Pb)
3. Nitrogen dioxide (NO₂)
4. Ozone (O₃)
5. Particulate matter smaller than 10 and 2.5 microns in diameter (PM₁₀ and PM_{2.5}, respectively)
6. Sulfur dioxide (SO₂)

EGLE has established a network of more than 40 monitoring sites throughout the state that monitor for one or more of the criteria pollutants (Figure 1.1 and Table 1.3).

Congress passed the CAA in 1970; however, Michigan has had a long-standing history of environmental awareness well before the Act was established. In 1887, Detroit was the first city in Michigan to adopt an air quality ordinance, which declared that the dense smoke from burning coal was a public nuisance.

The USEPA reviews the criteria pollutant standards every five years. Over time, based upon health data, the standards have been tightened to better protect public health (see Appendix D). Areas that meet the NAAQS are considered in "attainment." Locations where air pollution levels persistently exceed the NAAQS may be designated as "nonattainment." The tightening standards are why some areas in the state may be designated to nonattainment from attainment even though monitoring shows that air quality continues to improve.

Since EGLE began monitoring in the early 1970s, criteria pollutant levels have continually decreased (see Chap. 2-7). The air is much cleaner today than when the CAA began. The entire state of Michigan is in attainment for CO, Pb, NO₂, and particulate matter. Although portions of the state are in nonattainment for SO₂ and O₃, as illustrated in the figure below, levels of these pollutants are still decreasing. The NAAQS levels have also decreased recently, which prompted these nonattainment areas. EGLE is currently working on State Implementation Plans (SIPs) to reduce pollutants further and bring the entire state into attainment for SO₂ and ozone.

Attainment Status for the National Ambient Air Quality Standards



Several changes to the monitoring network occurred during 2019.

- Five sites were shut down: Livonia, Linwood, and Wyandotte to reduce workload; the Eliza Howell Downwind site since it is not needed for the near-road network; and Sault St. Marie, a tribal site, due to discontinued federal funding.
- Lead monitoring at Belding-Reed Street was discontinued since Belding is now in attainment for lead and a second site is no longer needed there (Belding-Merrick Street still monitors for lead). However, meteorological monitors continue at this site (Chap. 3).
- PM_{2.5} Speciation and EC/OC were shut down at Tecumseh to reduce workload and because the data are not required (Chap. 7).
- Several changes were made to the PM_{2.5} network, exchanging Federal Reference Method (FRM) manual filter-based monitors for continuous, federal equivalent method (FEM) monitors, the beta attenuation monitors (BAMs) due to funding changes. Sites that were affected were Tecumseh, Ypsilanti, Eliza Howell Near-road, Bay City, Houghton Lake, Holland, Seney, and Flint (Chap. 7).
- The Livonia Near-road monitor is in the process of moving since site access was lost in July 2019.
- The NO_x monitor at E. 7 Mile was switched to an NO_y and a NO_x monitor was added to Jenison.
- Sampling continues for the Gordie Howe International Bridge project special study.

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INTRODUCTION

Air quality regulations in Michigan are based on National Ambient Air Quality Standards (NAAQS) established by United States Environmental Protection Agency (USEPA) based on the federal Clean Air Act (CAA). The NAAQS designates six criteria pollutants considered harmful to public health and the environment. The USEPA must describe the characteristics and potential health and welfare effects for these criteria pollutants. These standards define the maximum permissible concentration of criteria pollutants in the air (see Table 1.1).

The Michigan Department of Environment, Great Lakes, and Energy (EGLE), Air Quality Division (AQD) monitors the six criteria pollutants, which are:

- Carbon monoxide (CO);
- Lead (Pb);
- Nitrogen dioxide (NO₂);
- Ozone (O₃);
- Particulate matter smaller than 10 and 2.5 microns in diameter (PM₁₀ and PM_{2.5}, respectively); and
- Sulfur dioxide (SO₂).

Chapters 2 through 7 provide information on each of the six criteria pollutants and include:

- Michigan's monitoring requirements for 2019;
- Attainment / nonattainment status;
- Monitoring site locations (tables and maps show all the monitors active in 2019); and
- Air quality trends from 2014-2019 broken down by location.¹

The 2019 data for each criteria pollutant is available in **Appendix A**.

The AQD also monitors air toxics. Air toxics are other hazardous air pollutants that can affect human health and the environment.² This data can be found in **Appendix B**.

The purpose of this report is to provide a snapshot of Michigan's 2019 air quality data, air quality trends, overview of the monitoring network (available in much greater detail in the [2019 Network Review](#)),³ air toxics monitoring program, and other AQD programs, such as Mlair and the Emissions Inventory.⁴

¹ Air quality trends are based on actual statewide monitored readings, which are also listed in the USEPA's Air Quality Subsystem Quick Look Report Data at www3.epa.gov/airtrends/.

² [An Overview of Michigan Air Toxic Rules](#) is available on the AQD website at www.michigan.gov/air (select "Permits," then "Toxics Laws and Rules.")

³ Available online at www.michigan.gov/documents/deq/deq-aqd-amu-2019_air_monitoring_network_review__623679_7.pdf

⁴ [Online information](#) about criteria pollutants and air toxics, along with this and previous Annual Air Quality Reports, are available via the AQD's website at www.michigan.gov/air (select "Monitoring").

CHAPTER 1: BACKGROUND INFORMATION

This section summarizes the development of the NAAQS (see **Appendix D** for further details) and how compliance with these standards is determined. Also included is an overview of Michigan's air sampling network, attainment status of the state, and information on MIAir and the Air Quality Index (AQI).

National Ambient Air Quality Standards (NAAQS)

Under the CAA, the USEPA established a primary and secondary NAAQS for each criteria pollutant. The primary standard is designed to protect public health with an adequate margin of safety, including the health of the most susceptible individuals in a population, such as children, the elderly, and those with chronic respiratory ailments. Secondary standards are chosen to protect public welfare (personal comfort and well-being) and the environment.

In addition, the NAAQS have various averaging times to address health impacts. Short averaging times reflect the potential for acute (immediate) effects, whereas long-term averaging times are designed to protect against chronic (long-term) effects.

NAAQS have been established for CO, Pb, NO₂, particulate matter (PM), O₃, and SO₂. **Table 1.1** lists the primary and secondary NAAQS, averaging time, and concentration level for each criteria pollutant in effect in 2019. The concentrations are listed as parts per million (ppm), micrograms per cubic meter (µg/m³), and/or milligrams per cubic meter (mg/m³).

Table 1.1: NAAQS in Effect during 2019 for Criteria Pollutants

Pollutant	Primary (health) Level	Primary Averaging Time	Secondary (welfare) Level	Secondary Averaging Time
CO 8-hour average	9 ppm (10 mg/m ³)	8-hour average, not to be exceeded more than once per year (1971)	None*	None*
CO 1-hour average	35 ppm (40 mg/m ³)	1-hour average, not to be exceeded more than once per year (1971)	None*	None*
Lead	0.15 µg/m ³	Maximum rolling 3-month average (2008)	Same as Primary	Same as Primary
NO ₂ Annual mean	0.053 ppm (100 µg/m ³)	Annual mean (1971)	Same as Primary	Same as Primary
NO ₂ 1-hour average	0.100 ppm	98 th percentile of 1-hour average, averaged over 3 years (2010)	Same as Annual	Same as Annual
PM ₁₀	150 µg/m ³	24-hour average, not to be exceeded more than once per year over 3 years (1987)	Same as Primary	Same as Primary
PM _{2.5} Annual average	12.0 µg/m ³	Annual mean averaged over 3 years (2012)	15.0 µg/m ³	Annual mean
PM _{2.5} 24-hour average	35 µg/m ³	98 th percentile of 24-hour concentration, averaged over 3 years (2006)	Same as Primary	Same as Primary
Ozone	0.070 ppm	Annual 4 th highest 8-hour daily max averaged over 3 years (2015)	Same as Primary	Same as Primary
SO ₂	0.075 ppm	99 th percentile of 1-hour daily max averaged over 3 years (2010)	0.5 ppm	3 hours

*In 1985, the USEPA revoked the secondary standard for CO (for public welfare) due to a lack of evidence of adverse effects on public welfare at or near ambient concentrations.

Michigan Air Sampling Network

EGLE's AQD operates the Michigan Air Sampling Network (MASN), along with other governmental agencies. For instance, the O₃ and PM_{2.5} monitor in Manistee County is a tribal monitor handled by the Little River Band of Ottawa Indians. A second tribal monitor in Sault Ste. Marie was shut down in February 2019 due to an unrenewed federal grant. Their data is not included in this report, since there are only two months of data. **Figure 1.1** is a picture the deck at the Allen Park site. **Figure 1.2** shows a map of the 2019 MASN monitoring sites.

The MASN consists of federal reference method (FRM) monitors that enable continuous monitoring for the gaseous pollutants CO, NO₂, O₃, and SO₂ providing real-time hourly data. PM and Pb monitors measure concentrations over a 24-hour period. In addition, continuous PM_{2.5} and PM₁₀ monitors provide real-time hourly data for PM. PM_{2.5} chemical speciation monitors determine the chemical composition of PM_{2.5}. The MASN data is also used to provide timely reporting to EGLE's air quality reporting web page ([MIAir](#)). The types of monitoring conducted in 2019 and the MASN locations are shown in **Table 1.3**.

Figure 1.1: Allen Park Site



The **NCore network** began January 1, 2011, as part of the USEPA’s 2006 amended air monitoring requirements. NCore is a multi-pollutant network that integrates several advance measurement systems for particles, pollutant gases, and meteorology. Michigan has two NCore sites; Allen Park and Grand Rapids-Monroe Street. Further information on this network is provided in **Chapters 2** through **7**.

The **Near-road Monitoring Network** focuses on vehicle emissions and how they disperse near roadways. Data from these sites are presented in **Chapters 2, 5, and 7**.

Figure 1.2: 2019 MASN Monitoring Sites

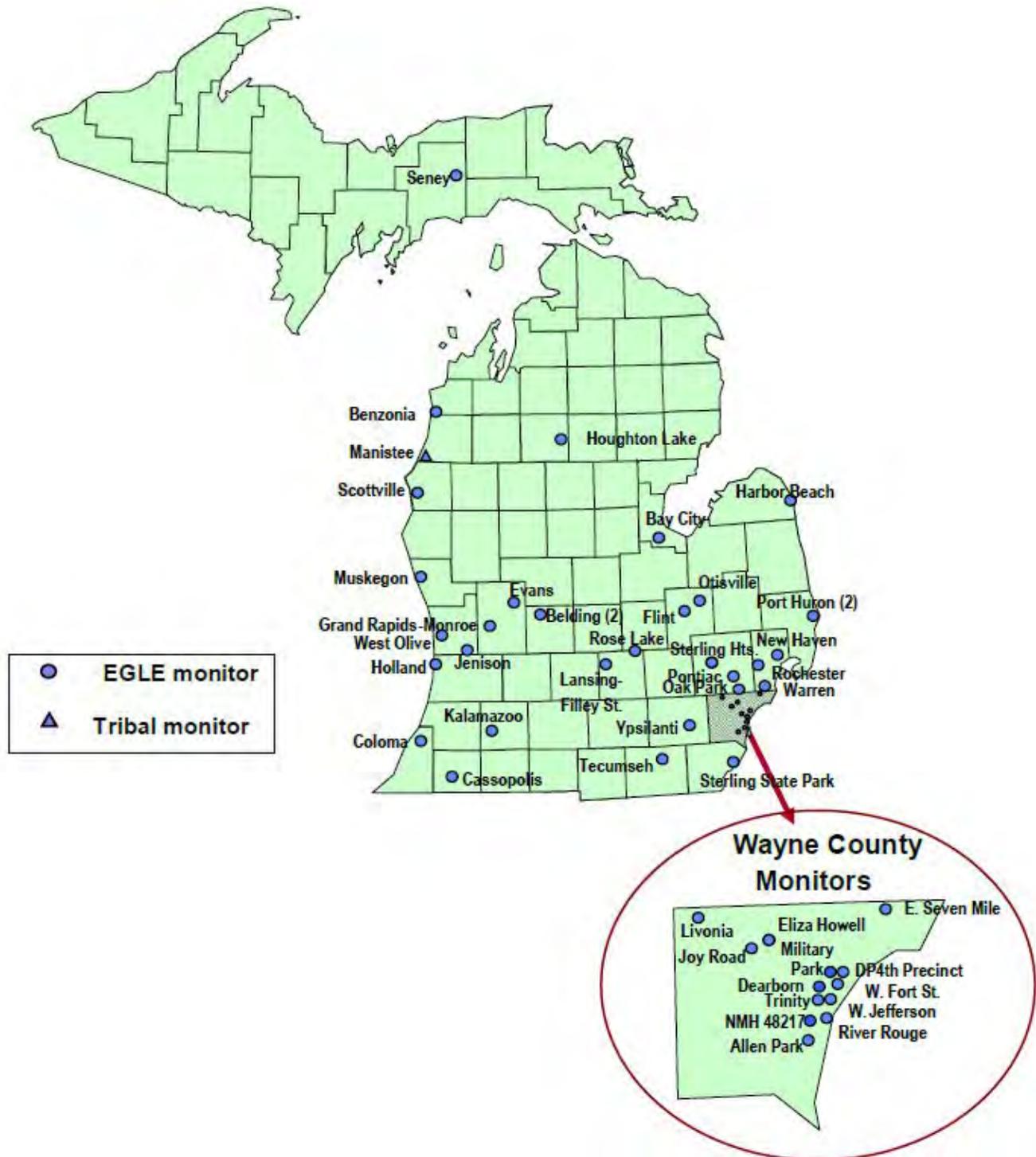


Figure 1.3 Types of Monitoring Conducted in 2019 and MASN Location

Area	AQS ID	Site Name	CO	NO ₂	Trace NO _y	O ₃	PM ₁₀	PM _{2.5}	PM _{2.5} Continuous	PM _{2.5} Speciation	SO ₂	VOC	Carbonyls	Trace Metals & Wind	Speed & Direction, Temp.	Relative Humidity	Solar Radiation	Barometric Pressure
Detroit-Ann Arbor	260910007	Tecumseh				√			√B						√			√
	260990009	New Haven				√	√								√	√	√	
	260991003	Warren				√												
	261250001	Oak Park				√	√								√			
	261470005	Port Huron				√	√	√T			√				√			
	261470031	Port Huron-Rural St.												√				
	261610008	Ypsilanti				√	√	√B							√			√
	261630001	Allen Park	√*	√	√	√	√	√T	√+A	√*					√	√		√
	261630005	River Rouge											√	√	√			
	261630015	Detroit-W. Fort St.		√			√	√	√B	√+A	√	√	√	√	√	√		√
	261630019	Detroit-E. 7 Mile			√	√		√							√	√		√
	261630027	Detroit-W. Jefferson												√				
	261630033	Dearborn					√^	√	√T	√+A		√	√	√#	√	√		√
	261630093	Eliza Howell-Roadway	√	√					√B						√			
	261630095	Livonia-Roadway	√	√				√							√	√		√
	261630097	NMH 48217							√T		√			√				
261360098	GHB-DP4th Precinct	√	√					√B	A	√			√					
261360099	GHB-Trinity	√	√					√B	A	√			√	√				
261360100	GHB-Military Park		√					√B	A	√			√					
Flint	260490021	Flint				√	√	√B							√			√
	260492001	Otisville				√									√			
Grand Rapids	261390005	Jenison		√		√	√	√							√			
	261390011	West Olive								√					√			
	260810020	Grand Rapids-Monroe	√*	√	√	√	√	√T	√	√*				√				√
	260810022	Evans				√								√				
Lansing/East Lansing	260650018	Lansing-Filley St.		√		√	√	√T			√				√			√
	260370002	Rose Lake				√												
Monroe Co	261150006	Sterling State Park								√				√				
Huron Co	260630007	Harbor Beach				√								√				
Bay Co	260170014	Bay City						√B						√				
Missaukee Co	261130001	Houghton Lake		√		√		√B						√				√
Allegan Co	260050003	Holland				√		√B						√	√	√	√	
Benzie Co	260190003	Benzonia				√												
Berrien Co	260210014	Coloma				√								√				
Cass Co	260270003	Cassopolis				√								√				
Kalamazoo Co	260770008	Kalamazoo				√	√	√T						√				
Manistee Co	261010922	Manistee \$				√	√							√			√	√
Mason Co	261050007	Scottville				√								√				
Muskegon Co	261210039	Muskegon				√								√				
Schoolcraft Co	261530001	Seney Nat'l Wildlife				√		√B						√	√	√	√	√
onia Co	260670002	Belding-Reed St.												√				
	260670003	Belding-Merrick St.												√				

√ = Data Collected

& = 5 trace metals: As, Cd, Mn, Ni and Pb

= 9 additional metals sampled: Ba, Be, Cr, Co, Cu, Fe, Mo, V, Zn

B = BAM continuous PM2.5 monitor

T = TEOM continuous PM2.5 monitor

\$ = Tribal monitor

* = Trace monitor

^ = Continuous PM10 monitor

A = Aethalometer monitor

Current Attainment Status

Areas of the state that are below the NAAQS concentration level are called attainment areas. The entire state of Michigan is in attainment for the following pollutants:

- CO
- Pb
- NO₂
- Particulate Matter

Nonattainment areas are those that have been classified by the USEPA as having concentrations over the NAAQS level. Portions of the state are in nonattainment for SO₂ and O₃ (see **Figure 1.4**). The SO₂ nonattainment area includes a portion of Wayne County and a portion of St. Clair County. Ozone nonattainment areas include a portion of Allegan County, Berrien County, a portion of Muskegon County and the 7-county area of Southeast Michigan, which includes Livingston, Macomb, Monroe, Oakland, St. Clair, Washtenaw, and Wayne Counties. Nonattainment status for O₃ was effective on August 3, 2019.

Figure 1.4: Attainment Status for the National Ambient Air Quality Standards



Mlair – Air Quality Information in Real-Time

Mlair is the internet tool that provides real-time air quality information via EGLE’s web page. The deqmiair.org hotlink opens to the current Air Quality Index (AQI) map and displays air quality forecasts for “today” and “tomorrow.” **Mlair** also hosts EnviroFlash, the automated air quality notification system.

Air Quality Index

The Air Quality Index (AQI) is a simple tool developed to communicate current air quality information to the public. The current day’s color-coded AQI values, ranging from Good to Hazardous (see **Table 1.3**), are displayed in a forecast table and as dots on a Michigan map (see example below).

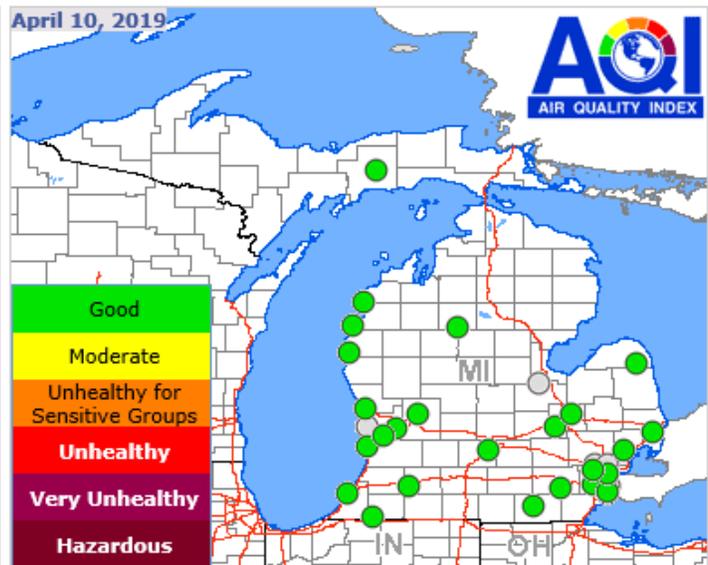
Latest AQI Information

Location	Current AQI Value	Forecast	
		Today	Tomorrow
Ann Arbor	19 - O ₃	PM _{2.5}	PM _{2.5}
Benton Harbor	23 - O ₃	PM _{2.5}	PM _{2.5}
Detroit	28 - O ₃	PM _{2.5}	PM _{2.5}
Eastern U.P.	34 - O ₃	PM _{2.5}	PM _{2.5}
Flint	24 - O ₃	PM _{2.5}	PM _{2.5}
Grand Rapids	24 - O ₃	PM _{2.5}	PM _{2.5}
Houghton Lake	28 - O ₃	PM _{2.5}	PM _{2.5}
Kalamazoo	23 - O ₃	PM _{2.5}	PM _{2.5}
Lansing	18 - O ₃	PM _{2.5}	PM _{2.5}
Ludington	28 - O ₃	PM _{2.5}	PM _{2.5}
Saginaw	37 - O ₃	PM _{2.5}	PM _{2.5}
Traverse City	30 - O ₃	PM _{2.5}	PM _{2.5}

[AQI Breakpoints](#) [Actions To Protect Health](#)

Select Map: Statewide

[Legend](#)



Click on site to display hourly monitor values

As can be seen from the annual summaries in **Appendix C**, air quality in Michigan is generally in the Good or Moderate range. An area will occasionally fall into the Unhealthy for Sensitive Groups range, but rarely reaches Unhealthy levels.

Mlair includes an “Air Quality Index Fact Sheet” link: michigan.gov/documents/deq/deq-aqd-aqifacts_273090_7.pdf, which contains activity recommendations based on the AQI levels (also **Table 1.4**).

Air Quality Forecasts

AQD meteorologists provide air pollution forecasts to alert the public when air pollution levels may become elevated. Action! Days are declared when levels are expected to reach or exceed the Unhealthy for Sensitive Groups AQI health indicator. On Action! Days, businesses, industry, government and the public are encouraged to reduce air pollution levels by limiting vehicle use, refueling only after 6 PM, carpooling, walking, biking or taking public transit, deferring the use of gasoline-powered lawn and recreation equipment, limiting the use of volatile chemicals and curtailing all burning. More information on voluntary air pollution control measures can be found under the Action! Days tab on **Mlair**.

The weather plays a significant role in air quality (see [Chapter 9](#) for an annual weather summary) and can either help increase or decrease the amount of pollution in the air. High temperatures, sun, and longer days (i.e., more daylight hours) are conducive to ozone formation, whereas rain tends to wash pollutants out of the air. *Action!* Days are declared when meteorological conditions are conducive for the formation of elevated ground-level O₃ or PM_{2.5} concentrations.

Table 1.2 shows that there were some *Action!* Days declared during the summer of 2019.

Table 1.2: Action! Days Declared During Summer 2019

Location	Year	Number	Dates
Ann Arbor	2019	5	7/3, 7/15, 7/18, 7/19, 7/20
Benton Harbor	2019	3	7/18, 7/19, 7/20
Detroit	2019	5	7/3, 7/15, 7/18, 7/19, 7/20
Grand Rapids	2019	4	7/15, 7/18, 7/19, 7/20

Air Quality Notification

EnviroFlash is a free service that provides automated air quality (AQI) and ultraviolet (UV) forecasts to subscribers. Those enrolled receive e-mail or mobile phone text messages when the health level they select is predicted to occur. AIRNow iPhone and Android applications deliver ozone and fine particle air quality forecasts plus detailed real-time information that can be used to better protect health when planning daily activities. To learn more about this program, select the **Mlair** button from Michigan’s Air Quality page www.michigan.gov/air. To receive notices, choose the “Air Quality Notification” tab and click the “Enroll in AQI EnviroFlash” link. Michigan’s EnviroFlash network has the potential to reach up to 98% of the state’s population.

AIRNow

EGLÉ supplies Michigan air monitoring data to AIRNow, the USEPA’s nation-wide air quality mapping system. Information about AIRNow is available at www.airnow.gov or you can select the AIRNow hot link at the bottom of each **Mlair** web page.

Table 1.3: AQI Colors and Health Statements

AQI Color, Category and Value	Particulate Matter ($\mu\text{g}/\text{m}^3$) 24-hour	Ozone (ppm) 8-hour / 1-hour	Carbon Monoxide (ppm) 8-hour	Sulfur Dioxide (ppm) 24-hour	Nitrogen Dioxide (ppm) 1-hour
GREEN: Good 1- 50	None	None	None	None	None
YELLOW: Moderate 51- 100	Unusually sensitive people should consider reducing prolonged or heavy exertion.	Unusually sensitive people should consider reducing prolonged or heavy exertion.	None	None	None
ORANGE: Unhealthy for Sensitive Groups 101- 150	People with heart or lung disease, children, and older adults should reduce prolonged or heavy exertion.	People with heart or lung disease, children & older adults, and people who are active outdoors should reduce prolonged or heavy exertion.	People with heart disease, such as angina, should limit heavy exertion and avoid sources of CO, such as heavy traffic.	People with asthma should consider limiting outdoor exertion.	None
RED: Unhealthy 151- 200	People with heart or lung disease, children, and older adults should avoid prolonged or heavy exertion. Everyone should reduce prolonged or heavy exertion.	People with heart or lung disease, children & older adults, and people who are active outdoors should avoid prolonged or heavy exertion. Everyone should reduce prolonged or heavy exertion.	People with heart disease, such as angina, should reduce moderate exertion and avoid sources of CO, such as heavy traffic.	Children, Asthmatics, and People with heart or lung disease should reduce outdoor exertion.	None
PURPLE: Very Unhealthy 201- 300	People with heart or lung disease, children, and older adults should avoid all physical exertion outdoors. Everyone else should limit outdoor exertion.	People with heart or lung disease, children & older adults, and people who are active outdoors should avoid all physical exertion outdoors. Everyone else should limit outdoor exertion.	People with heart disease, such as angina, should avoid exertion and sources of CO, such as heavy traffic.	Children, asthmatics, and people with heart or lung disease should avoid outdoor exertion. Everyone should reduce outdoor exertion.	Children and people with respiratory disease, such as asthma, should reduce outdoor exertion.
MAROON: Hazardous 301- 500	People with heart or lung disease, children, and older adults should remain indoors. Everyone should avoid prolonged or heavy exertion.	People with heart or lung disease, children, and older adults should remain indoors. Everyone should avoid all outdoor exertion.	People with heart disease, such as angina, should avoid exertion and sources of CO, such as heavy traffic. Everyone else should limit heavy exertion.	Children, Asthmatics, and people with heart or lung disease should remain indoors. Everyone should avoid outdoor exertion.	Children and People with respiratory disease, such as asthma, should avoid outdoor exertion.

CHAPTER 2: CARBON MONOXIDE (CO)

Carbon monoxide is a gas formed during incomplete burning of fuel. CO is colorless, odorless, and tasteless, and is lethal at elevated concentrations. Levels peak during colder months primarily due to cold temperatures that affect combustion efficiency of engines. The CO NAAQS is 9 ppm for the second highest 8-hour average and 35 ppm for the second highest 1-hour average. Its sources and effects are provided below.

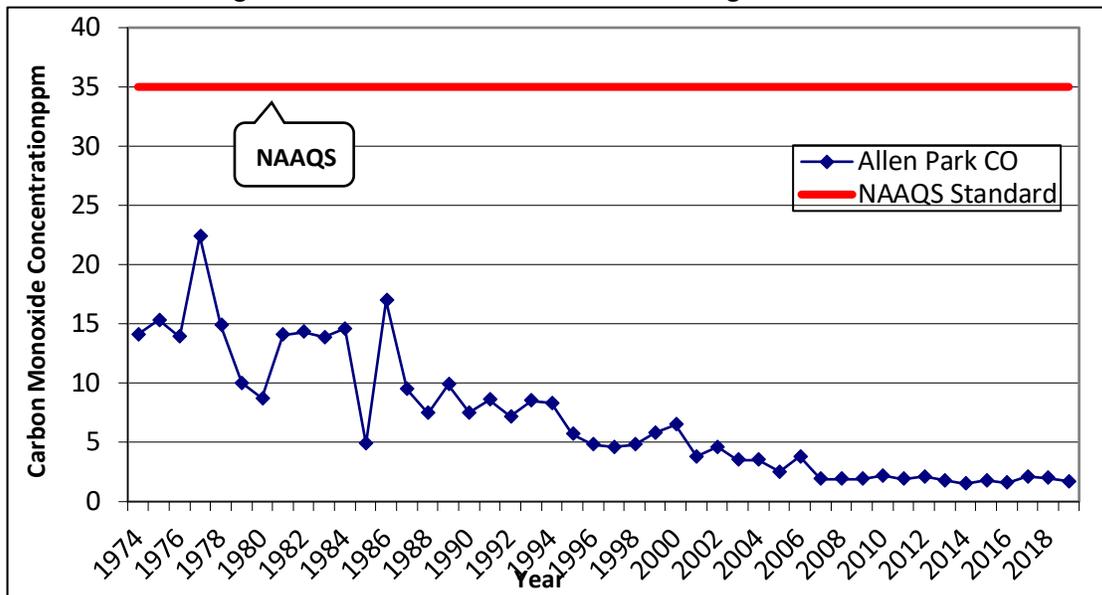
Sources: CO is given off whenever fuel or other carbon-based materials are burned. Outdoor exposure sources include automobile exhaust, industrial processes (metal processing and chemical production), and non-vehicle fuel combustion. Natural sources include volcanos, forest fires and photochemical reactions in the atmosphere. Indoor exposure sources include wood stoves and fireplaces, gas ranges with continuous pilot flame ignition, unvented gas or kerosene heaters, and cigarette smoke.

Effects: CO enters the bloodstream through the lungs, where it displaces oxygen delivered to the organs and tissues. Elevated levels can cause visual impairment, interfere with mental acuity by reducing learning ability and manual dexterity, and can decrease work performance in the completion of complex tasks. In extreme cases, unconsciousness and death can occur. CO also alters atmospheric photochemistry contributing to the formation of ground-level O₃, which can trigger serious respiratory problems.

Population most at risk: Those who suffer from cardiovascular (heart and respiratory) disease, fetuses, infants, and the elderly are most at risk for exposure to elevated levels of CO. People with angina and peripheral vascular disease are especially at risk, as their circulatory systems are already compromised and less efficient at carrying oxygen; however, elevated CO levels can also affect healthy people.

Historical Trends: Southeast Michigan has been monitoring for CO for 45 years. **Figure 2.1** shows the CO trend at Allen Park to be well below the 1-hour standard of 35 ppm. This standard has not changed since 1971.

Figure 2.1: Historical 1-hour CO Averages at Allen Park



Figures 2.2 and 2.3 show CO emission sources and CO emissions by county (courtesy of the USEPA's State and County Emission Summaries).

Figure 2.2: CO Emissions by Source Sector

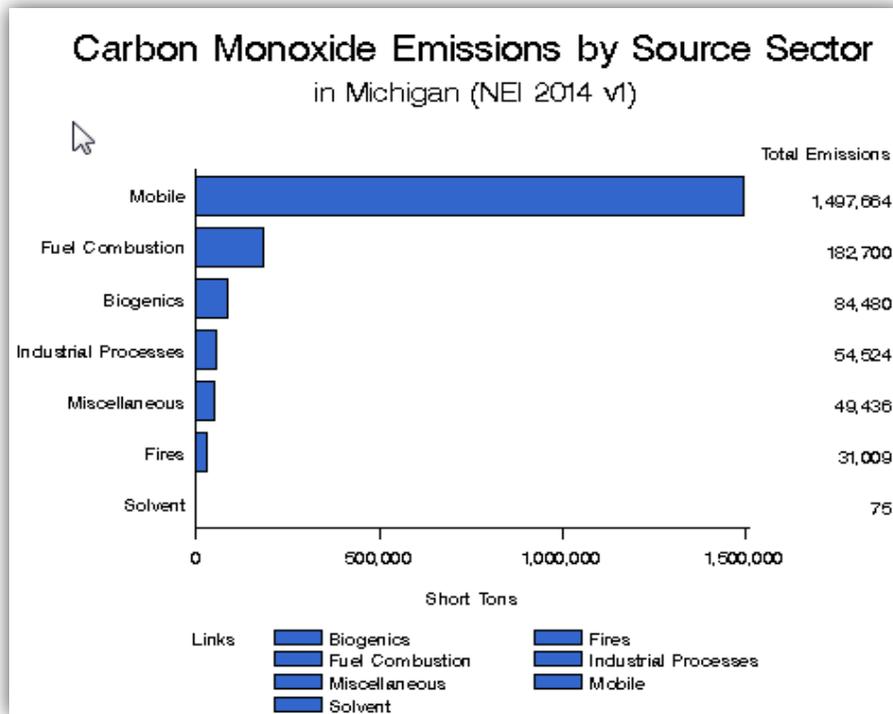


Figure 2.3: CO Emissions in 2014

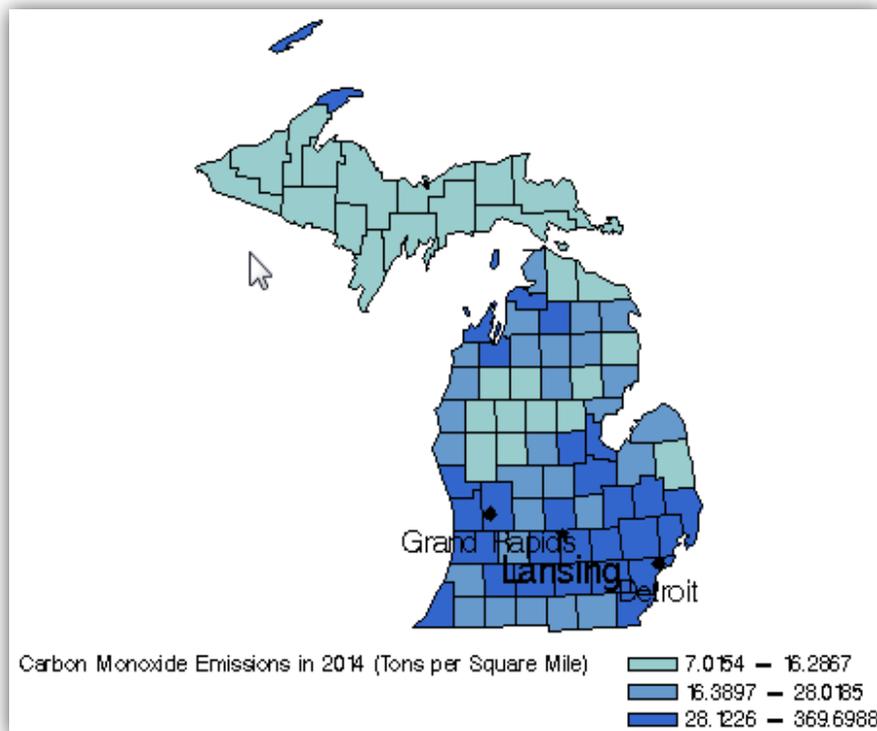


Figure 2.4 shows the location of each CO monitor that operated in 2019.

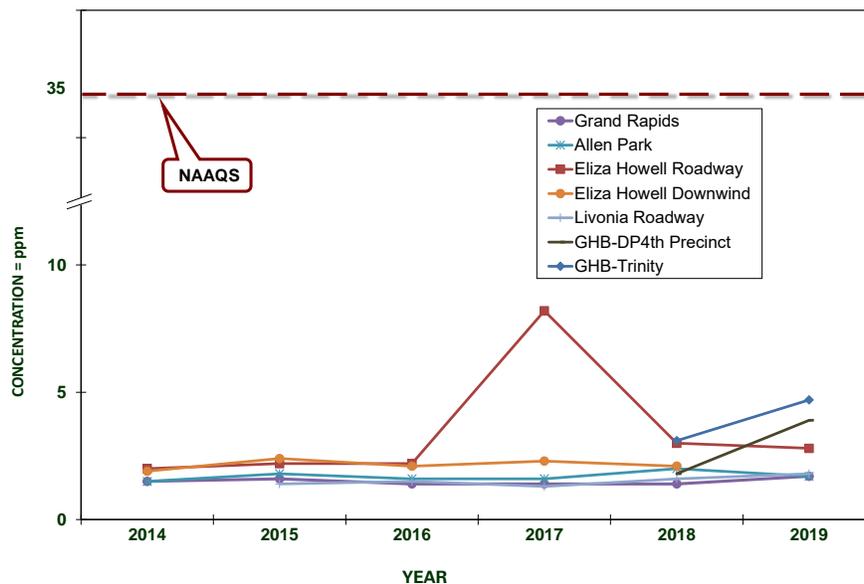
- Near-roadway network sites: Eliza Howell Park and Livonia.
- NCore Network: Grand Rapids and Allen Park measure trace CO (lower detection levels 1 ppm-50 ppm).
- Gordie Howe International Bridge (GHB) project: Detroit Police 4th Precinct (DP4th Precinct) and Trinity St. Marks (Trinity), started summer and fall 2018, respectively.

Figure 2.4: CO Monitors in 2019



Figure 2.5 shows the second highest 1-hour CO concentrations for Michigan from 2013-2019, which demonstrates that there have not been any exceedances of the 1-hour CO NAAQS.

Figure 2.5: CO Levels in Michigan from 2014-2019 (2nd Highest 1-Hour Maximum Values)



CHAPTER 3: LEAD (PB)

Lead is a highly toxic metal found in coal, oil, and other fuels. It is also found in older paints, municipal solid waste and sewage sludge, and may be released to the atmosphere during combustion. In 2008, the USEPA lowered the Pb NAAQS from a maximum quarterly average of $1.5 \mu\text{g}/\text{m}^3$ to a 3-month rolling average of $0.15 \mu\text{g}/\text{m}^3$. Its sources and effects are presented below.

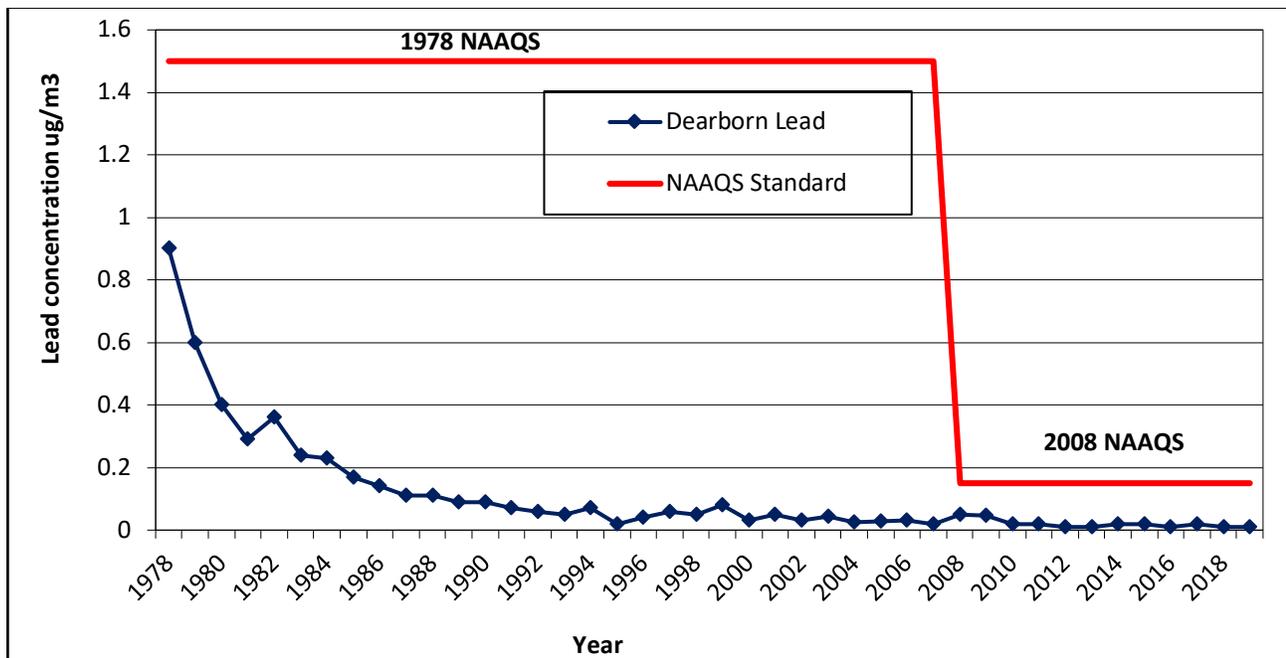
Sources: With the phase-out of leaded gas in the 1970s, the major sources of Pb emissions have been due to ore and metals processing and piston-engine aircraft operating on leaded aviation fuel. Other industrial sources include Pb acid battery manufacturers, waste incinerators, and utilities. The highest air concentrations of Pb are usually found near lead smelters.

Effects: Exposure occurs through the inhalation or ingestion of Pb in food, water, soil, or dust particles. Pb primarily accumulates in the body's blood, bones, and soft tissues, and adversely affects the nervous system as well as the cardiovascular system, reproductive system, blood, kidneys, and other organs.

Population most at risk: Fetuses and children are most at risk since low levels of Pb may cause central nervous system damage. Excessive Pb exposure during the early years of life is associated with lower IQ scores and neurological impairment (seizures, mental development, and behavioral disorders). Even at low doses, lead exposure is associated with changes in fundamental enzymatic, metabolic, and homeostatic mechanisms in the body, and Pb may be a factor in high blood pressure and subsequent heart disease.

Historical Trends: Southeast Michigan has been monitoring for lead for 40 years. **Figure 3.1** shows the trend for lead at Dearborn. The largest decrease in Pb in the air is due to the removal of Pb in gasoline. By 1975, most newly manufactured vehicles no longer required leaded gasoline, and as a result, there was a dramatic decrease in ambient Pb levels. In 1996, the USEPA banned the sale of leaded fuel for use in on-road vehicles. The graph also shows the decrease in the Pb standard that occurred in 2008.

Figure 3.1: Historical Quarterly / 3-month Averages for Lead at Dearborn



Figures 3.2 and 3.3 show Pb emission sources and Pb emissions by county (courtesy of the USEPA’s State and County Emission Summaries).

Figure 3.2: Pb Emissions by Source Sector

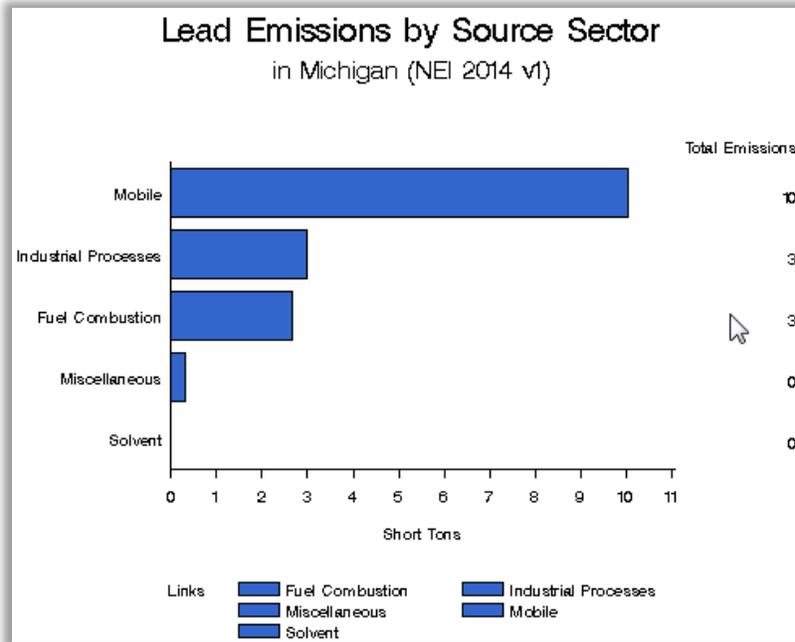


Figure 3.3: Pb Emissions in 2014

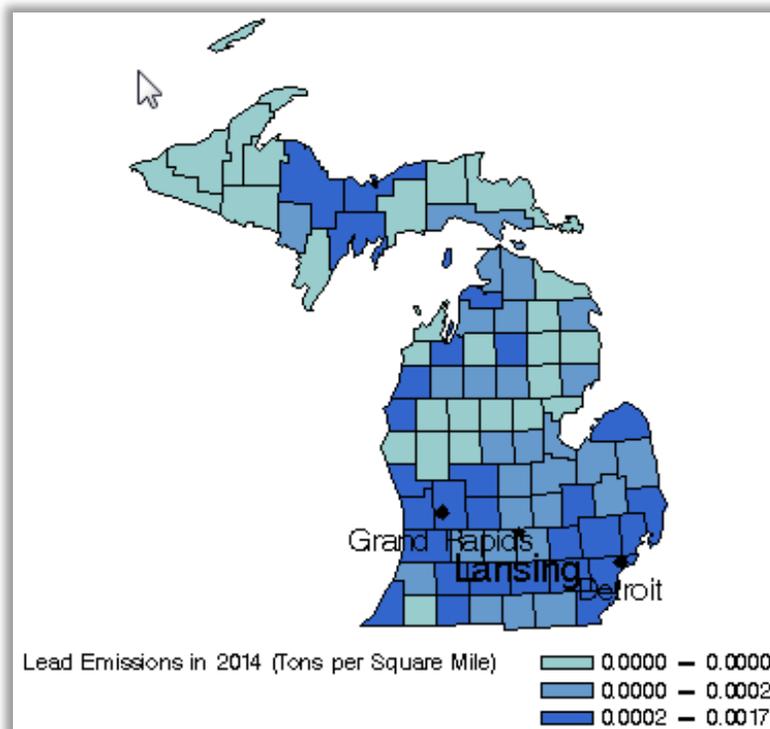


Figure 3.4 shows the location of the Pb monitors in the MASN in 2019. When the Pb NAAQS was lowered in 2008, the monitoring network was modified to consist of source-oriented monitors and population-oriented monitors. As part of the 2008 Pb NAAQS, EGLE must monitor near stationary sources emitting more than 1/2 ton of Pb per year.

- Source-oriented sites: Port Huron-Rural St. and Belding-Merrick St. The second site, Belding-Reed St. was shut down on January 1, 2019, since lead levels are below the standard and both sites are no longer necessary. The two sites in Belding previously were above the standard, but values for both the sites have been below the NAAQS for the past five years. Belding was designated to attainment on July 31, 2018.
- National Air Toxics Trend Sites (NATTS): Dearborn lead and trace metals, both as total suspended particulate (TSP) and PM₁₀. Lead measurements as PM_{2.5} are also made throughout the PM_{2.5} speciation network.
- NCore sites: Allen Park and Grand Rapids.
- Network consistency: River Rouge, Detroit-W. Jefferson, New Mount Hermon (NMH) 48217, and Detroit-W. Fort St. On January 1, 2018, lead sampling was started at all the TSP metals sites to maintain consistency and to be more protective of public health. Many older homes, which often contain lead-based paint, are being demolished in the Detroit area near these monitors.
- Secondary monitor: Port Huron-Rural St. to comply with the USEPA’s collocation regulations.
- Gordie Howe International Bridge (GHB) project: DP4th Precinct, Trinity, and Military Park.

Figure 3.4: Lead (Pb) Monitors in 2019

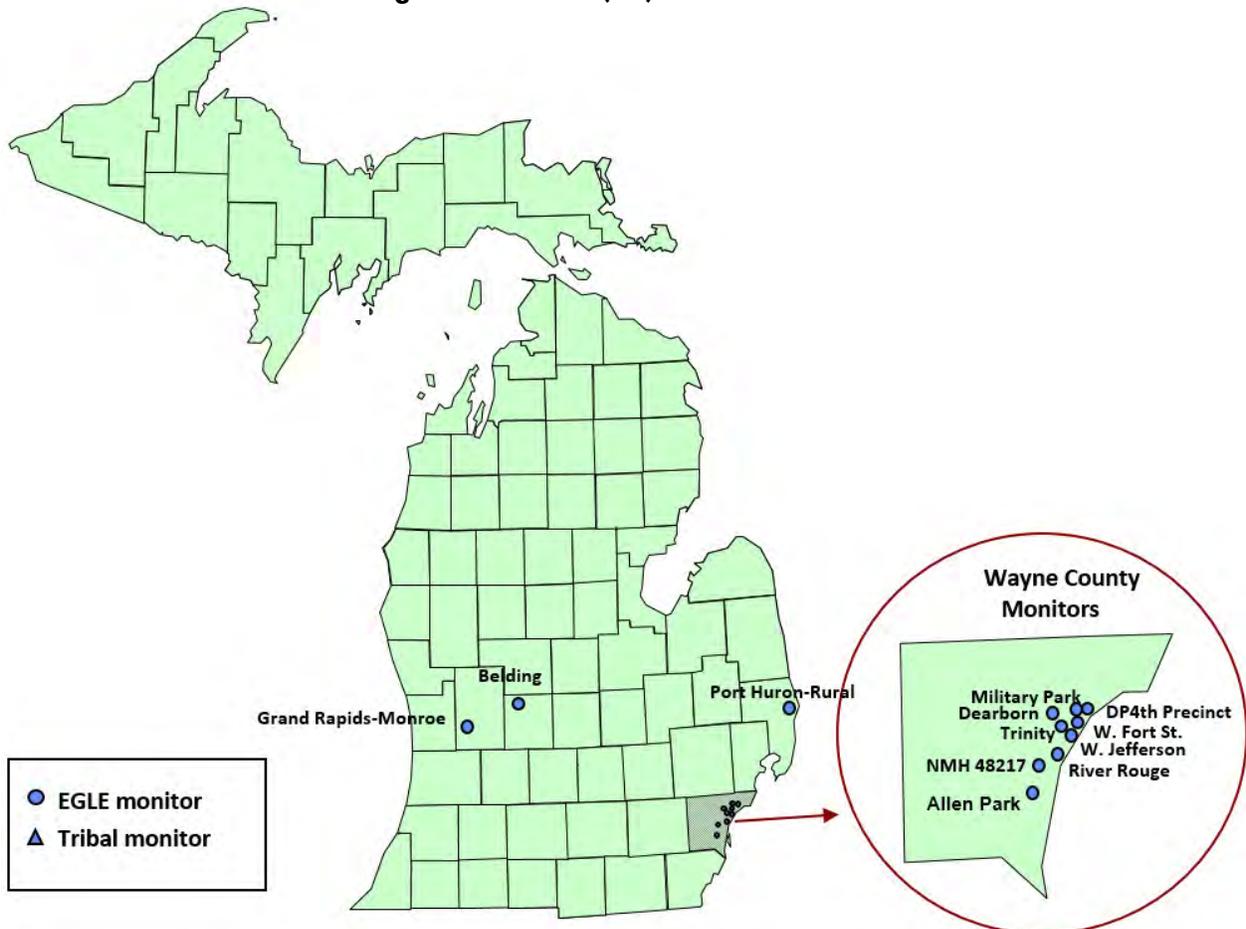
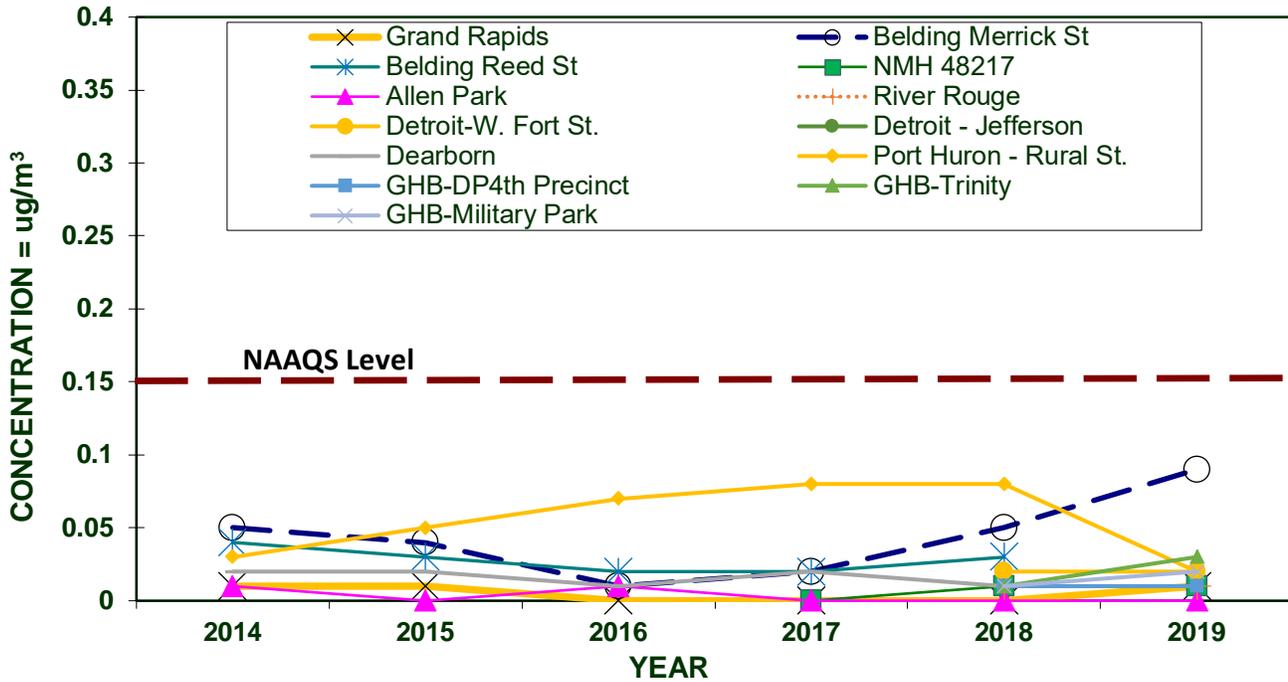


Figure 3.5 shows the maximum 3-month rolling average values for Pb from 2014 to 2019. All Pb monitor sites in Michigan are below the standard.

Figure 3.5: Lead Levels in Michigan from 2014-2019 (Maximum 3-month Average Values)



CHAPTER 4: NITROGEN DIOXIDE (NO₂)

Nitrogen dioxide is a reddish-brown, highly reactive gas formed through oxidation of nitric oxide (NO). Upon dilution, it becomes yellow or invisible. High concentrations produce a pungent odor and lower levels have an odor similar to bleach. NO_x is the term used to describe the sum of NO, NO₂, and other nitrogen oxides. NO_x can lead to the formation of O₃ and NO₂ and can react with other substances in the atmosphere to form particulate matter or acidic products that are deposited in rain (acid rain), fog, or snow. Since 1971, the primary and secondary standard for NO₂ was an annual mean of 0.053 ppm. In January 2010, the USEPA added a 1-hour NO₂ standard of 100 ppb, taking the form of the 98th percentile averaged over three years. The sources and effects of NO₂ are as follows:

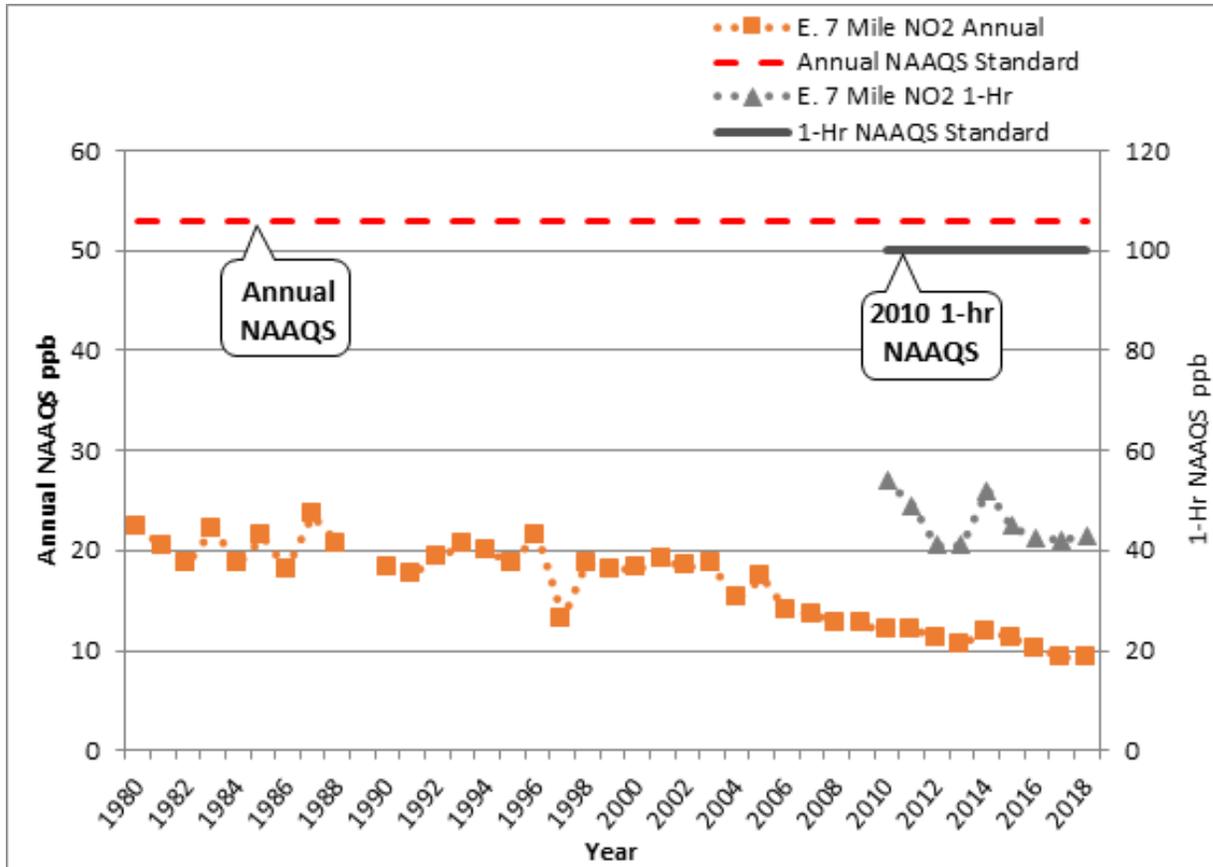
Sources: NO_x compounds and their transformed products occur both naturally and because of human activities. Natural sources of NO_x are lightning, forest fires, bacterial processes in soil, and stratospheric intrusion. Stratospheric intrusion is when the air upper atmosphere (stratosphere) descends towards the surface of the earth and mixes with the air at breathing level. Ammonia and other nitrogen compounds produced naturally are important in the cycling of nitrogen through the ecosystem. The major sources of man-made (anthropogenic) NO_x emissions come from high-temperature combustion processes such as those occurring in automobiles and power plants. Home heaters and gas stoves produce substantial amounts of NO₂ in indoor settings.

Effects: Exposure to NO₂ occurs through the respiratory system, irritating the lungs. Short-term NO₂ exposures (i.e., less than three hours) can produce coughing and changes in airway responsiveness and lung function. Evidence suggests that long-term exposures to NO₂ may lead to increased susceptibility to respiratory infection and may cause structural changes in the lungs. Exercise increases the ventilation rate and hence exposure to NO₂. Nitrate particles and NO₂ can block the transmission of light, resulting in visibility impairment (i.e., smog or haze). Nitrogen deposition can lead to fertilization, excessive nutrient enrichment, or acidification of terrestrial, wetland, and aquatic systems that can upset the delicate balance in those ecosystems.

Population most at risk: Individuals with pre-existing respiratory illnesses and asthmatics are more sensitive to the effects of NO₂ than the general population. Short-term NO₂ exposure can increase respiratory illnesses in children.

Historical Trends: Southeast Michigan has been monitoring for NO₂ for almost 40 years. **Figure 4.1** shows the trend for NO₂ at E. 7 Mile Road, which has been well below the annual standard of 53 ppb and shows a downward trend. In 2010, the USEPA added a 1-hour standard for NO₂, which has also remained well below the standard in Michigan. Southeast Michigan is highly industrialized; therefore, it is a good indicator of the air quality improvement for the rest of the state.

Figure 4.1: Historical Annual and 1-hour NO₂ at E. 7 Mile Road



Figures 4.2 and 4.3 show NO₂ emission sources and NO₂ emissions by county (courtesy of the USEPA’s State and County Emission Summaries).

Figure 4.2: NO₂ Emissions by Source Sector

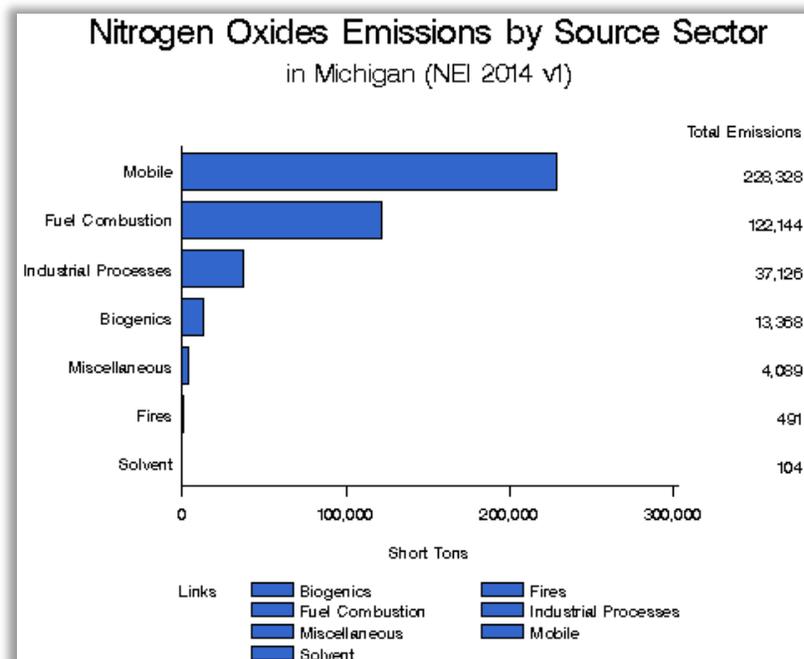


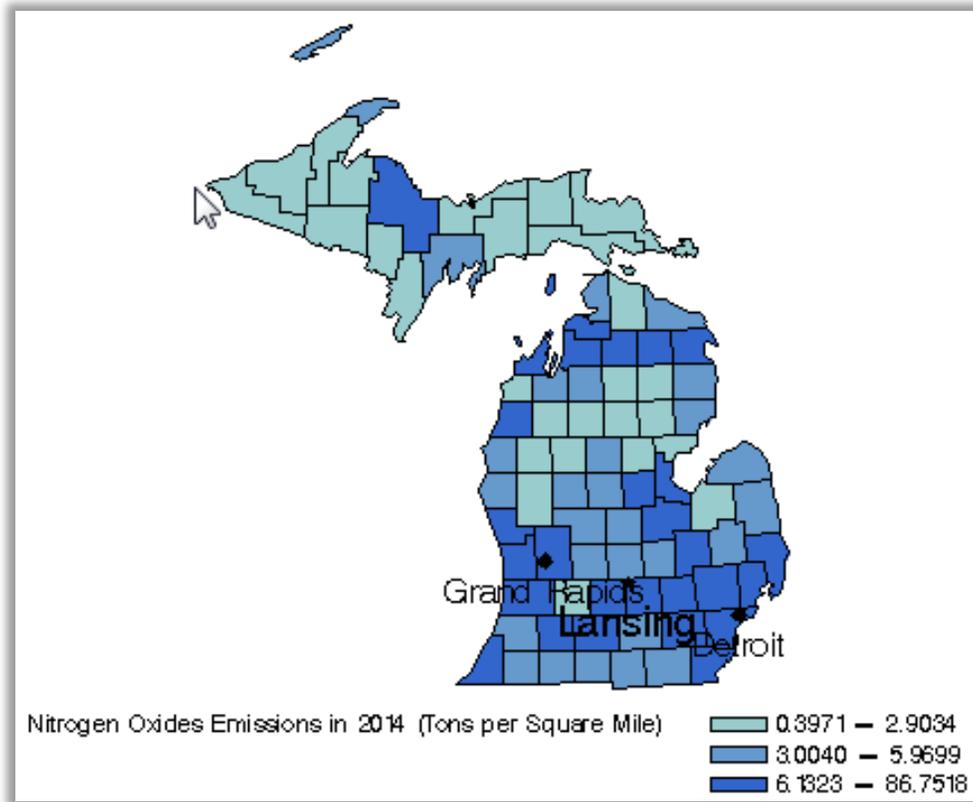
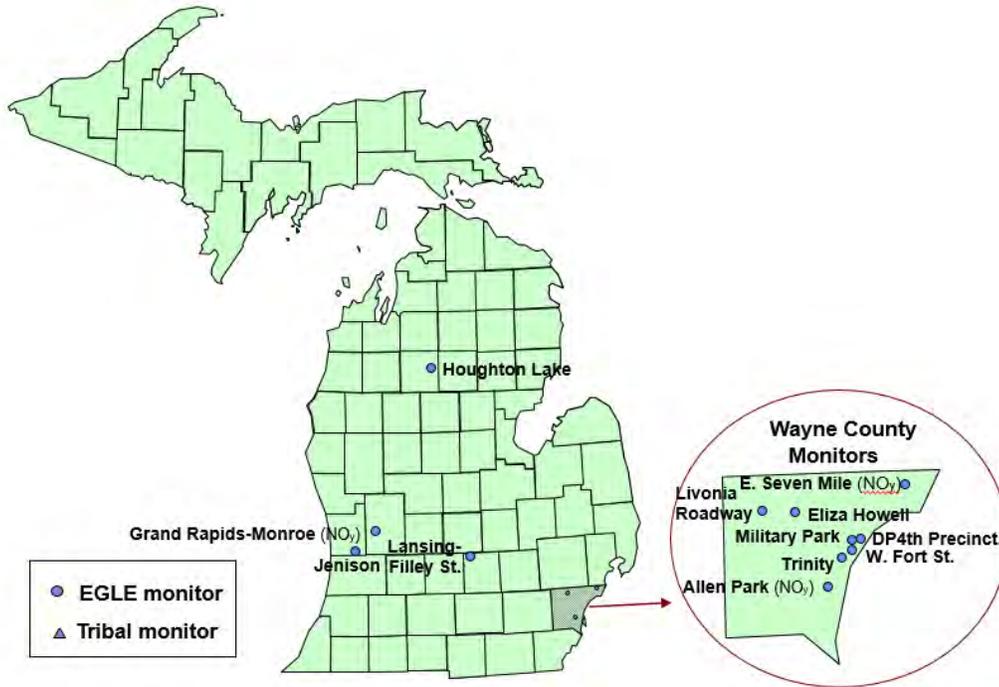
Figure 4.3: NO₂ Emissions in 2014

Figure 4.4 shows the location of all NO₂ monitors that operated in 2019.

- Downwind urban scale site: E. 7 Mile in Detroit and Jenison for the Grand Rapids area
- Near-roadway Network sites: Detroit Eliza Howell roadway site, the downwind site was shut down since it is not necessary for the near-road network. The Livonia roadway site needed to be moved since EGLE lost site access. A suitable replacement has not been found.
- NCore sites: Grand Rapids and Allen Park, monitor NO_Y, which includes NO_X, nitric acid and organic and inorganic nitrates (not used for attainment/ nonattainment purposes).
- Photochemical Assessment Monitoring Station (PAMS) Network: The NO_X monitor at E. 7 Mile was switched to a NO_Y for PAMS. Direct NO₂ will also be monitored at E. 7 Mile when the PAMS network is completely installed at this site.
- Background monitors for modeling: Lansing and Houghton Lake.
- Gordie Howe International Bridge (GBH) project: W. Fort St., DP4th Precinct, Trinity, and Military Park (GHB)

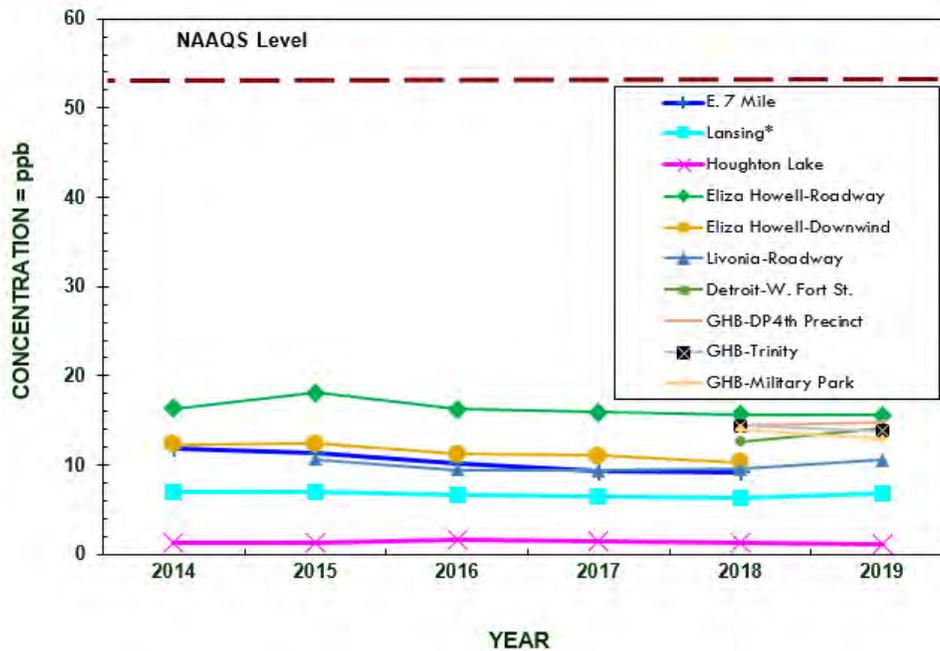
Figure 4.4: Nitrogen Dioxide (NO₂)/NO_y Monitors in 2019



Michigan’s ambient NO₂ levels have always been well below the NAAQS. Since March 3, 1978, all areas in Michigan have been in attainment for the annual NO₂ NAAQS. As shown in **Figure 4.5**, all monitoring sites have had an annual NO₂ concentration at less than half of the 0.053 ppm NAAQS.

Even though there are no nonattainment areas for NO₂ in Michigan and monitoring for attainment purposes is not required, monitors continue to operate to support photochemical model validation work.

Figure 4.5: NO₂ Levels in MI from 2014-2019 (Annual Arithmetic Mean)**



*Indicates site was moved 2018 and concentrations were averaged together for both locations.

**Since Allen Park and Grand Rapids are monitoring NO_y, those sites are not included in graph.

CHAPTER 5: SULFUR DIOXIDE (SO₂)

Sulfur dioxide is a gas formed by the burning of sulfur-containing material. Odorless at typical ambient concentrations, SO₂ can react with other atmospheric chemicals to form sulfuric acid. At higher concentrations it has a pungent, irritating odor similar to a struck match. When sulfur-bearing fuel is burned, the sulfur is oxidized to form SO₂, which then reacts with other pollutants to form aerosols. These aerosols can form particles in the air causing increases in PM_{2.5} levels. In liquid form, it is found in clouds, fog, rain, aerosol particles, and in surface films on these particles. In June 2010, the USEPA changed the primary SO₂ standard to a 99th percentile of 1-hour concentrations not to exceed 0.075 ppm, averaged over a 3-year period. The secondary standard has not changed and is a 3-hour average that cannot exceed 0.5 ppm once per year. Its sources and effects are presented below.

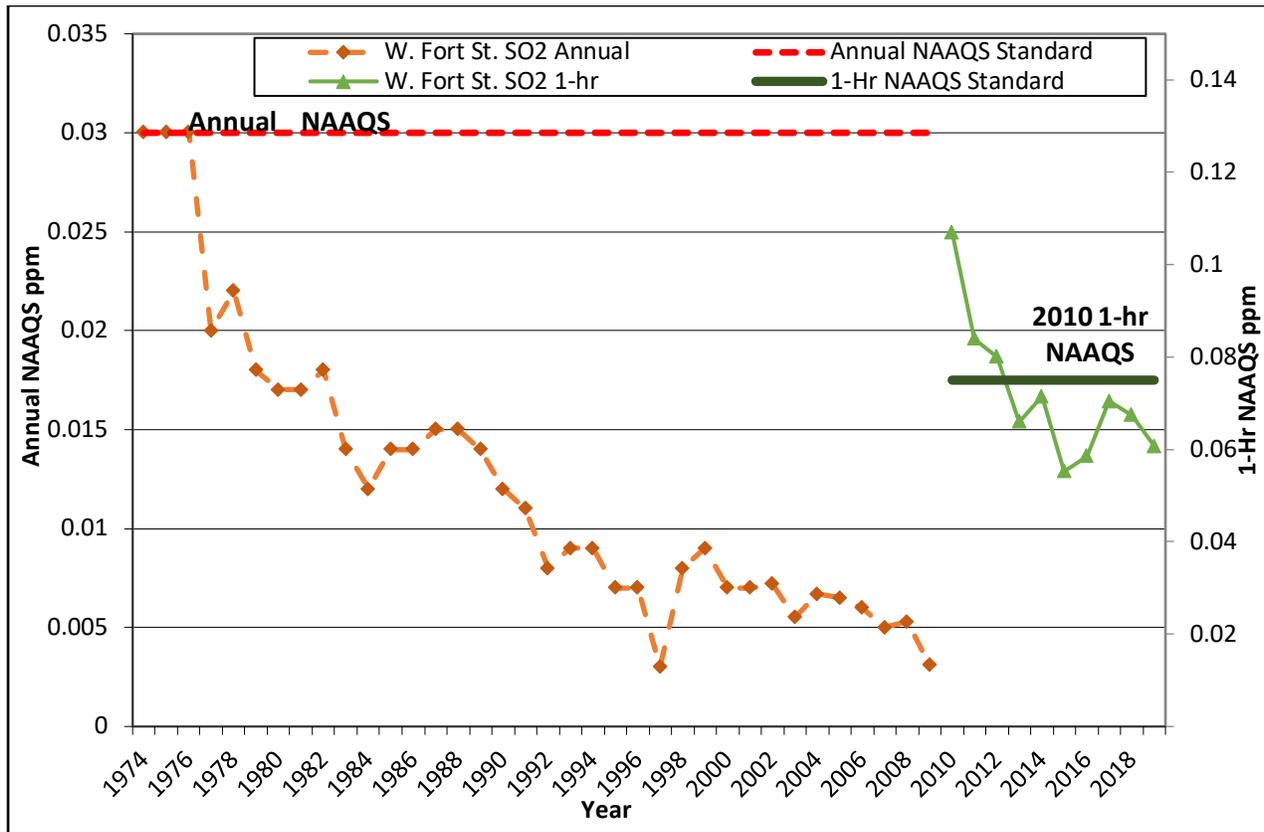
Sources: Coal-burning power plants are the largest source of SO₂ emissions. Other sources include industrial processes such as extracting metal from ore, and non-road transportation sources, and natural sources such as volcanoes. SO₂ and particulate matter are often emitted together.

Effects: Exposure to elevated levels can aggravate symptoms in asthmatics and cause respiratory problems in healthy groups. SO₂ and NO_x together are the major precursors to acid rain and are associated with the acidification of soils, lakes, and streams, as well as accelerated corrosion of buildings and monuments.

Population most at risk: Asthmatics, children, and the elderly are especially sensitive to SO₂ exposure. Asthmatics receiving short-term exposures during moderate exertion may experience reduced lung function and symptoms, such as wheezing, chest tightness, or shortness of breath. Depending on the concentration, SO₂ may also cause symptoms in people who do not have asthma.

Historical Trends: Southeast Michigan has been monitoring for SO₂ for 45 years. **Figure 5.1** shows the SO₂ trend for the old annual standard and the new 1-hour standard for W. Fort Street in Detroit. Michigan had been in attainment for SO₂ since 1982 with levels consistently well below the annual SO₂ NAAQS. In 2010, when the USEPA changed the standard from an annual average to a 1-hour standard, a portion of Wayne County was designated nonattainment. In September 2016, a portion of St. Clair County was also designated as nonattainment by the USEPA based on emissions and modeling. Even though the areas are in nonattainment for the 1-hour SO₂ standard, SO₂ concentrations have decreased at these sites and are currently under the NAAQS, although modeling results are not below the NAAQS.

Figure 5.1: Historical Annual and 1-hour SO₂ Averages at W. Fort St.



Figures 5.2 and 5.3 show SO₂ emission sources and SO₂ emissions by county (courtesy of the USEPA's State and County Emission Summaries).

Figure 5.2: SO₂ Emissions by Source Sector

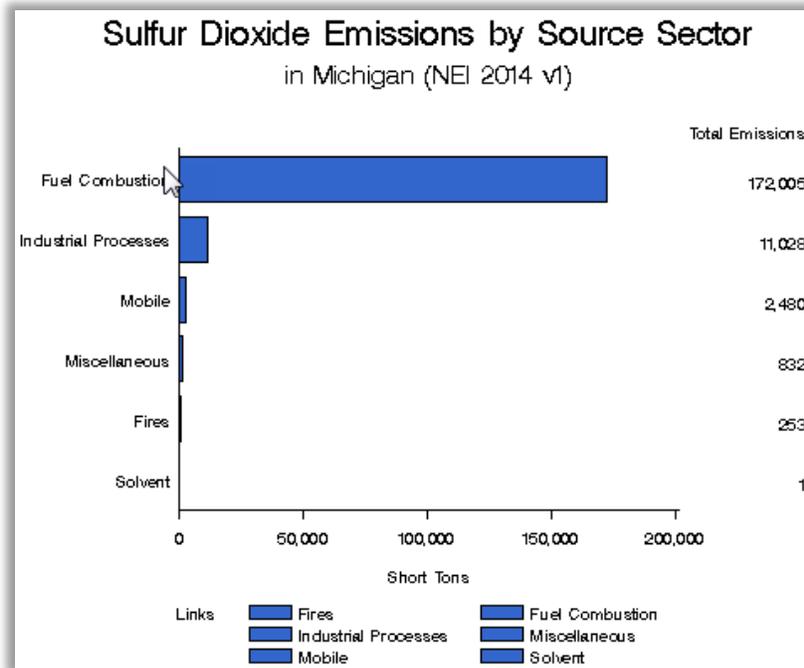


Figure 5.3: SO₂ Emissions in 2014

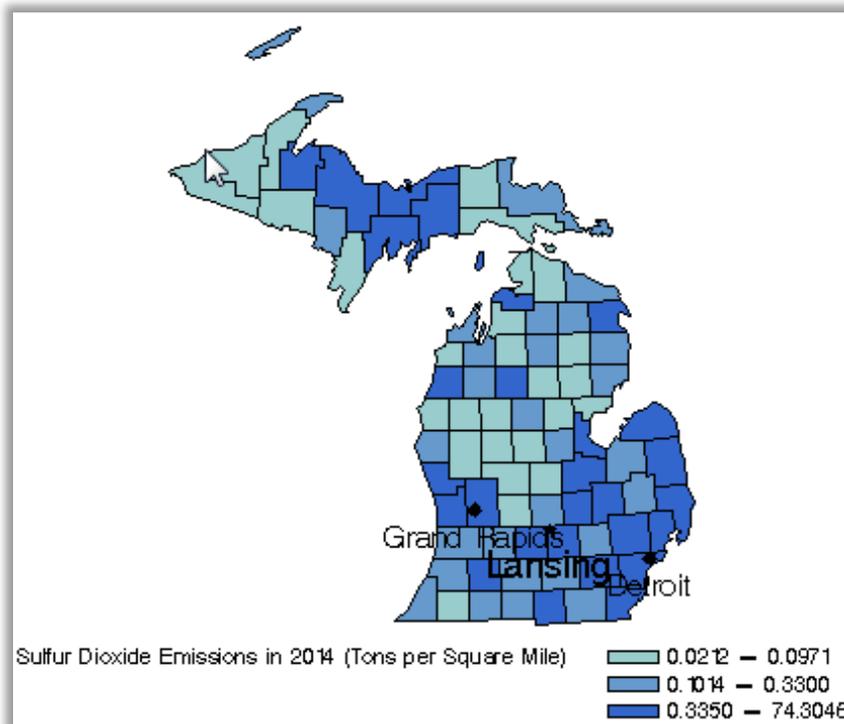


Figure 5.4 shows the location of each SO₂ monitor that operated in 2019.

- NCore sites: Allen Park and Grand Rapids have trace SO₂ monitors that have lower detection limits than traditional SO₂ monitors.
- Source-oriented sites: Lansing, Port Huron, W. Fort St., Sterling State Park, West Olive.
- Community monitoring project: NMH 48217.
- GHB project: DP4th Precinct, Trinity, and Military Park.

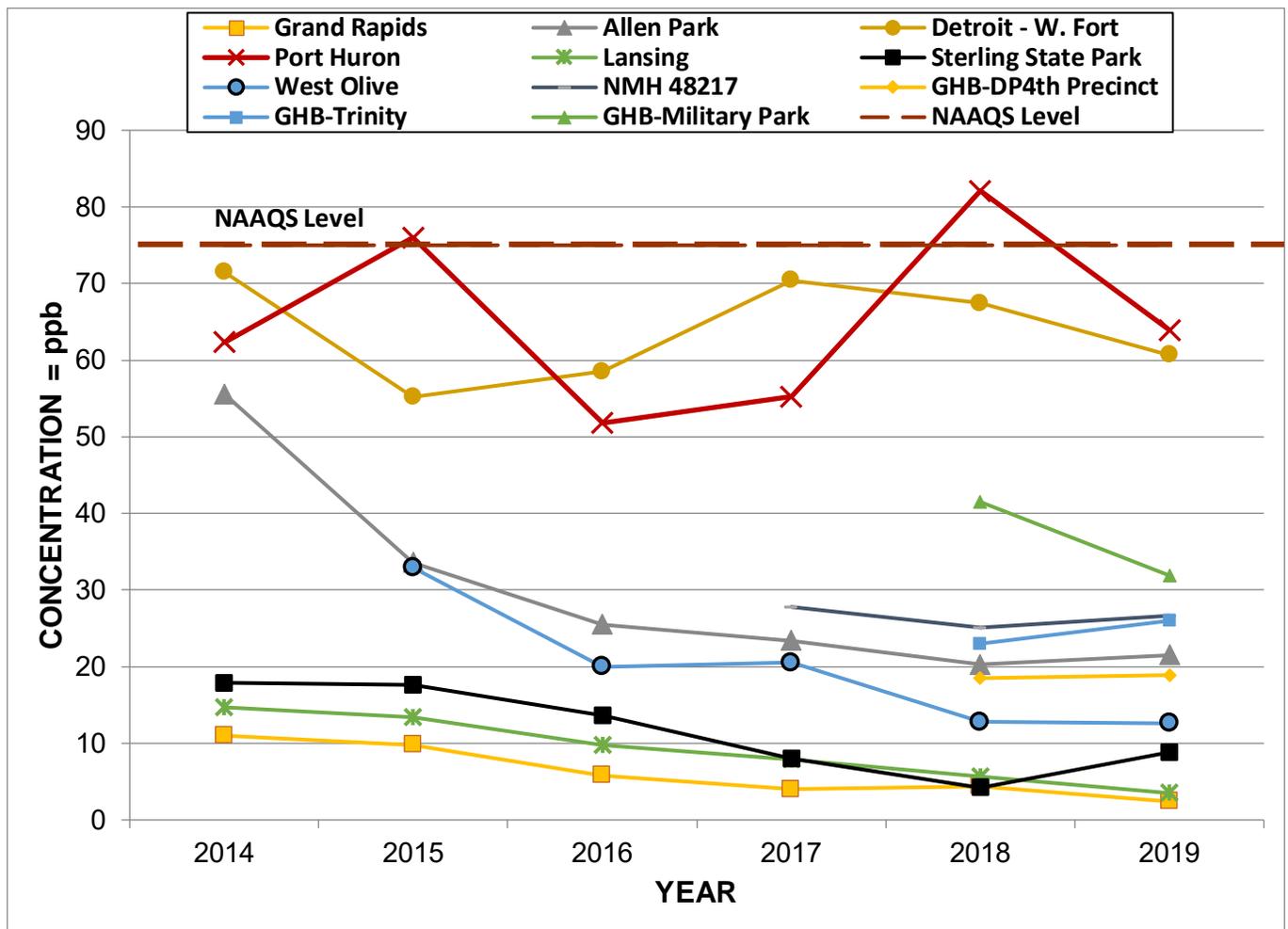
Figure 5.4: Sulfur Dioxide (SO₂) Monitors in 2019



Figure 5.5 shows that all the SO₂ sites in Michigan are below the standard even though there is a nonattainment area for SO₂. The standard is a three-year average, therefore having one point above the NAAQS level line does not mean the monitor is over the standard. SO₂ pollution is extremely variable and would require a large monitoring network to designate areas as attainment. Therefore, SO₂ attainment depends on both emission modeling and monitoring data.

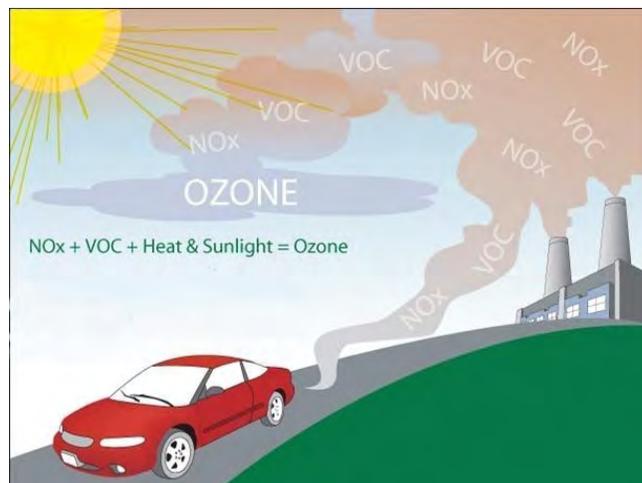
The NCore sites, Grand Rapids and Allen Park, monitor for trace SO₂. For trend purposes, all SO₂ data are graphed together in **Figure 5.5**.

Figure 5.5: SO₂ Level in Michigan from 2014-2019 (1-Hour 99th Percentile)



CHAPTER 6: OZONE (O₃)

Ground-level O₃ is created by reactions involving nitrogen oxides (NO_x) and volatile organic compounds (VOCs), or hydrocarbons, in the presence of sunlight as the illustration to the right depicts (image courtesy of the USEPA). These reactions usually occur during the hot summer months as ultraviolet radiation from the sun initiates a sequence of photochemical reactions. In Earth's upper atmosphere (the stratosphere), O₃ helps by absorbing much of the sun's ultraviolet radiation, but in the lower atmosphere (the



troposphere), ozone is an air pollutant. O₃ is also a key ingredient of urban smog and can be transported hundreds of miles under certain meteorological conditions. Ozone levels are often higher in rural areas than in cities due to transport to regions downwind from the actual emissions of NO_x and VOCs. Shoreline monitors along Lake Michigan often measure high ozone concentrations due to transport from upwind states. The ozone NAAQS was revised by the USEPA and became effective in November 2015. It is a 3-year average of the 4th highest daily maximum 8-hour average concentration that must not exceed 0.070 ppm. The sources and effects of ozone follow.

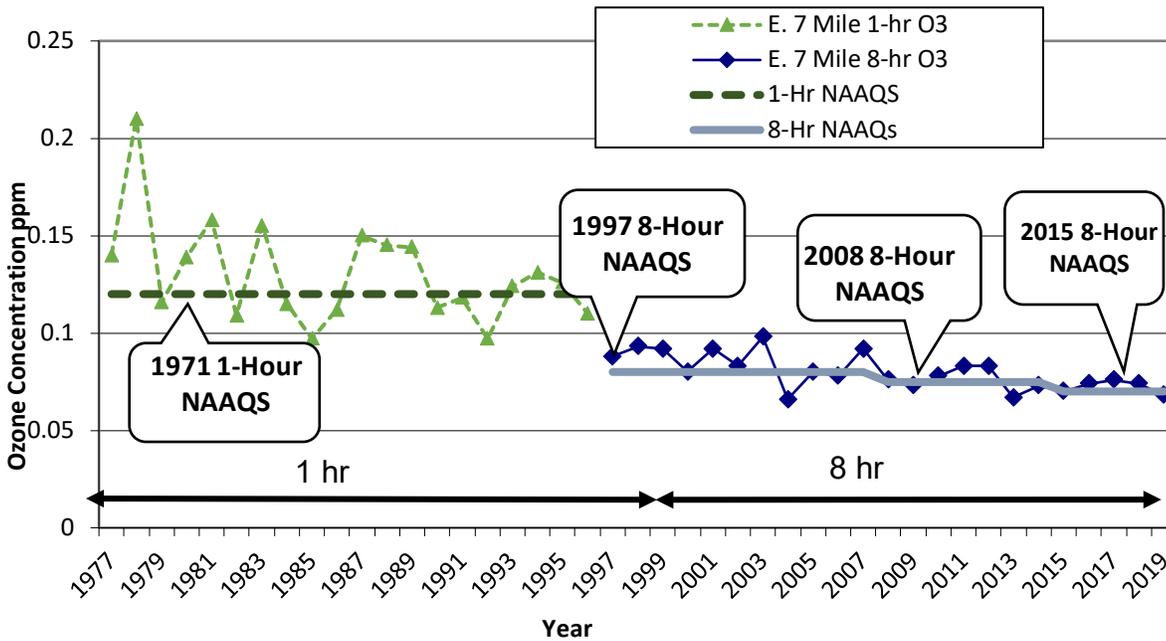
Sources: Major sources of NO_x and VOCs are engine exhaust, emissions from industrial facilities, combustion from power plants, gasoline vapors, chemical solvents, and biogenic emissions from natural sources. Ground-level O₃ can also be transported hundreds of miles under certain wind regimes. As a result, the long-range transport of air pollutants impacts the air quality of regions downwind from the actual area of formation.

Effects: Elevated O₃ exposure can irritate airways, reduce lung function, aggravate asthma and chronic lung diseases like emphysema and bronchitis, and inflame and damage the cells lining the lungs. Other effects include increased respiratory related hospital admissions with symptoms such as chest pain, shortness of breath, throat irritation, and cough. O₃ may also reduce the immune system's ability to fight off bacterial infections in the respiratory system, and long-term, repeated exposure may cause permanent lung damage. O₃ also impacts vegetation and forest ecosystems, including agricultural crop and forest yield reductions, diminished resistance to pests and pathogens, and reduced survivability of tree seedlings.

Population most at risk: Individuals most susceptible to the effects of O₃ exposure include those with a pre-existing or chronic respiratory disease, children who are active outdoors and adults who actively exercise or work outdoors.

Historical Trends: Southeast Michigan has been monitoring for ozone for over 40 years. **Figure 6.1** shows the ozone levels at the Detroit E. 7 Mile Road site. This graph shows how the standard changed from a 1-hour average of 0.120 ppm to an 8-hour average of 0.08 ppm in 1997. The standard was further lowered to 0.075 ppm in 2008 and to 0.070 ppm at the end of 2015. Ozone depends on weather conditions, so ozone concentrations are more variable than other pollutants. Ozone is also monitored primarily in warmer months. In the 2015 NAAQS, the ozone season was extended to by two months to March 1 to October 31.

Figure 6.1: Historical 1-hour and 8-hour Ozone at E. 7 Mile



Figures 6.2 and 6.3 show VOC emission sources and VOC emissions by county (courtesy of the USEPA’s State and County Emission Summaries).

Figure 6.2: VOC Emissions by Source Sector

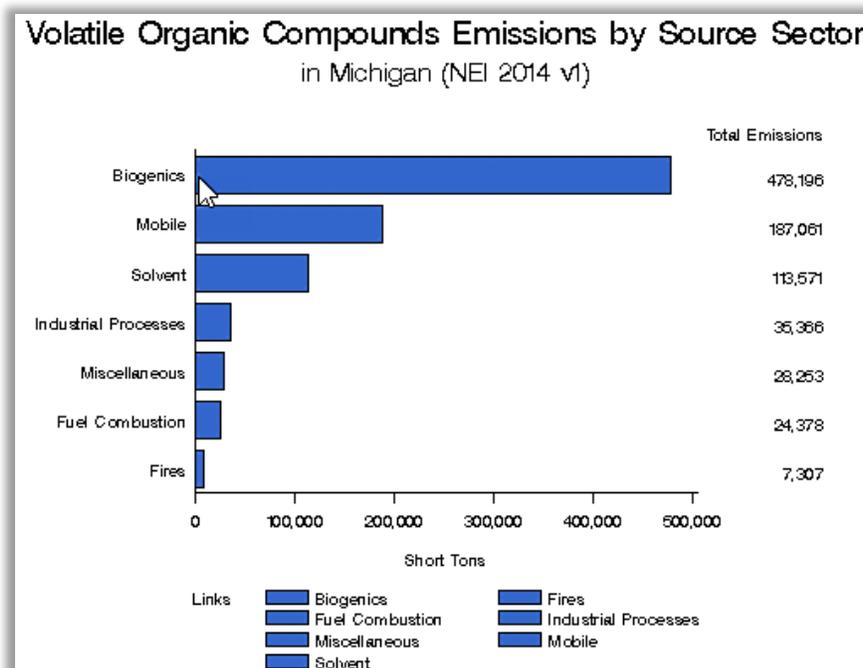


Figure 6.3: VOC Emissions in 2014

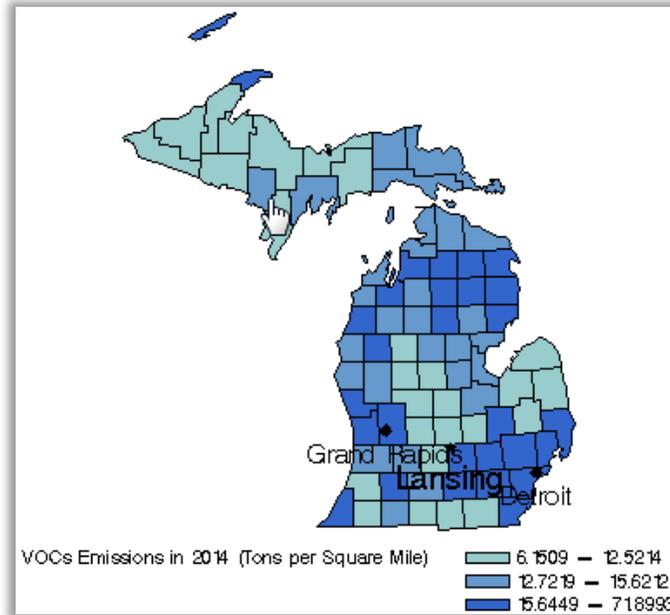


Figure 6.4 shows all O₃ air quality monitors active in Michigan at the beginning of the 2019 ozone season.

- Background site monitors: Houghton Lake, Scottville, Seney.
- Transport site monitors: Benzonia, Coloma, Harbor Beach, Holland, Muskegon, Tecumseh.
- Tribal site: Manistee
- Population-oriented monitors: all other sites.

Figure 6.4: Ozone Monitors in 2019



Table 6.1 shows the three-year averages of ozone. The USEPA uses these values (called design values) to determine attainment/nonattainment areas. In 2016, several monitors violated the 2015 standard of 0.070 ppm. The AQD recommended several counties be designated as nonattainment. The USEPA made their final designations for the 2015 standard on April 30, 2018 (effective August 3, 2018) based on 2014-2016 data. Livingston, Macomb, Monroe, Oakland, St. Clair, Washtenaw, and Wayne Counties were designated nonattainment in Southeast Michigan, and all of Berrien County, and portions of Allegan and Muskegon Counties were designated nonattainment in Western Michigan. In 2019 Berrien County was below the standard and a redesignation request was submitted to the USEPA in January of 2020.

The O₃ monitoring season in Michigan is from March 1 through October 31. During this time O₃ monitoring data is available for the public via the AQD's website (discussed in **Chapter 1**). However, year-round O₃ monitoring is conducted at the following four sites: Allen Park, Grand Rapids, Houghton Lake, and Lansing. This data helps in attainment designations, and urban air quality and population exposure assessments.

Table 6.1: 3-Year Average of the 4th Highest 8-hour Ozone Values from 2015-2017, 2016-2018, 2017-2019 (concentrations in ppm)

Areas	County	Monitor Sites	2015-2017	2016-2018	2017-2019
Detroit-Ann Arbor	Lenawee	Tecumseh	0.066	0.068	0.065
	Macomb	New Haven	0.071	0.072	0.068
		Warren	0.066	0.069	0.066
	Oakland	Oak Park	0.070	0.073	0.070
	St. Clair	Port Huron	0.071	0.072	0.071
	Washtenaw	Ypsilanti	0.067	0.069	0.066
	Wayne	Allen Park	0.066	0.068	0.066
E. 7 Mile		0.073	0.074	0.072	
Flint	Genesee	Flint	0.067	0.068	0.064
		Otisville	0.067	0.068	0.063
Grand Rapids	Ottawa	Jenison	0.068	0.070	0.067
	Kent	Grand Rapids	0.068	0.070	0.066
		Evans	0.067	0.068	0.064
Muskegon Co	Muskegon	Muskegon	0.074	0.076	0.074
Allegan Co	Allegan	Holland	0.073	0.073	0.072
Huron	Huron	Harbor Beach	0.067	0.068	0.064
Kalamazoo-Battle Creek	Kalamazoo	Kalamazoo	0.069	0.071	0.066
Lansing-East Lansing	Ingham	Lansing	0.067	0.068*	0.063
	Clinton	Rose Lake	0.066*	0.069*	0.062
Benton Harbor	Berrien	Coloma	0.073	0.073	0.069
Benzie Co	Benzie	Benzonia	0.065	0.068	0.063
Cass Co	Cass	Cassopolis	0.072	0.074	0.070
Mason Co	Mason	Scottville	0.068	0.068	0.063
Missaukee Co	Missaukee	Houghton	0.066	0.067	0.062
Manistee Co	Manistee	Manistee	0.067	0.066	0.064
Schoolcraft Co	Schoolcraft	Seney	0.067	0.064	0.059

Numbers in bold indicate 3-year averages over the 2015 ozone standard of 0.070 ppm.

*The three-year average is using data averaged from sites that were moved.

Tables 6.2 and 6.3 highlight the number of days when two or more O₃ monitors exceeded 0.070 ppm. It also specifies in which month they occurred and the temperature range.

Table 6.2: 2019 West Michigan Ozone Season

Daily High Temperature Range		2019 WEST MICHIGAN OZONE SEASON															
		March		April		May		June		July		August		September		October	
		Days	O ₃ Days	Days	O ₃ Days	Days	O ₃ Days	Days	O ₃ Days	Days	O ₃ Days	Days	O ₃ Days	Days	O ₃ Days	Days	O ₃ Days
95	>=	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
94	<=	0	0	0	0	0	0	0	0	7	2	0	0	0	0	0	
89	<=	0	0	0	0	0	0	4	0	9	0	10	0	3	0	0	
84	<=	0	0	0	0	0	0	7	0	12	0	11	0	7	0	0	
79	<=	0	0	1	0	7	0	8	0	3	0	5	0	3	0	1	
74	<=	0	0	3	0	6	0	6	0	0	0	5	0	9	0	3	
69	<=	0	0	5	0	6	0	3	0	0	0	0	0	7	0	6	
64	<=	1	0	5	0	3	0	2	0	0	0	0	0	1	0	3	
59	<=	3	0	3	0	7	0	0	0	0	0	0	0	0	0	6	
54	<=	2	0	4	0	1	0	0	0	0	0	0	0	0	0	8	
49	<=	25	0	9	0	1	0	0	0	0	0	0	0	0	0	4	
Totals		31	0	30	0	31	0	30	0	31	2	31	0	30	0	31	0

Days: Number of days during month when the daily high temperature falls within the specified temperature range.
O₃ Days: Number of days, during specified temperature range, when two or more area monitors exceeded 70 ppb.

For West Michigan, there were two O₃ exceedance days in July when ozone exceeded 0.070 ppm at two or more ozone monitors. The temperatures for those days ranged between 90°F and 94°F.

Table 6.3: 2019 Southeast Michigan Ozone Season

Daily High Temperature Range		2019 SOUTHEAST MICHIGAN OZONE SEASON															
		March		April		May		June		July		August		September		October	
		Days	O ₃ Days	Days	O ₃ Days	Days	O ₃ Days	Days	O ₃ Days	Days	O ₃ Days	Days	O ₃ Days	Days	O ₃ Days	Days	O ₃ Days
95	>=	0	0	0	0	0	0	0	0	1	0	0	0	0	0	0	
94	<=	0	0	0	0	0	0	2	0	8	1	0	0	0	0	0	
89	<=	0	0	0	0	1	0	3	1	10	0	9	0	5	0	1	
84	<=	0	0	0	0	3	0	3	0	10	0	12	0	2	0	0	
79	<=	0	0	0	0	2	0	12	0	2	0	8	0	11	0	0	
74	<=	0	0	3	0	6	0	6	0	0	0	2	0	8	0	6	
69	<=	1	0	5	0	9	0	2	0	0	0	0	0	3	0	4	
64	<=	1	0	3	0	4	0	2	0	0	0	0	0	1	0	9	
59	<=	1	0	6	0	1	0	0	0	0	0	0	0	0	0	6	
54	<=	3	0	4	0	5	0	0	0	0	0	0	0	0	0	3	
49	<=	25	0	9	0	0	0	0	0	0	0	0	0	0	0	2	
Totals		31	0	30	0	31	0	30	1	31	1	31	0	30	0	31	0

Days: Number of days during month when the daily high temperature falls within the specified temperature range.
O₃ Days: Number of days, during specified temperature range, when two or more area monitors exceeded 70 ppb.

For Southeast Michigan, there was one day each in June and July when ozone exceeded 0.070 ppm at two or more ozone monitors. The temperature for those days ranged between 85°F and 94°F.

Table 6.4 gives a breakdown of the O₃ days and the specific monitors that went over the standard in western, central/upper, and eastern Michigan in 2019.

Table 6.4: Monitors with 8-Hour Exceedances (>0.070 ppm) of the Ozone Standard

Date	Western Michigan	Central / Upper Michigan	Eastern Michigan	Total
6/27/2019	Manistee		E. Seven Mile, Oak Park	3
7/1/2019			E. 7 Mile	1
7/2/2019	Coloma, Holland			2
7/5/2019	Holland			1
7/10/2019	Coloma, Holland, Muskegon		E. 7 Mile, New Haven, Port Huron	6
7/15/2019			Oak Park	1
7/27/2019			Port Huron	1
7/28/2019	Holland			1
8/12/2019			Port Huron	1
TOTAL				17

On July 10, 2019, there were 6 monitors and on June 27, 2019, there were 3 monitor readings that exceeded the level of the standard. The site with the most exceedances in the western region of Michigan was Holland with four. The central/upper Michigan sites had no exceedances. Port Huron and E. 7 Mile had 3 exceedances each in eastern Michigan

Figure 6.5 shows the 4th highest 8-hour O₃ values for Southeast Michigan monitoring sites from 2014-2019. Detroit-E. 7 Mile and Port Huron site violated the 3-year standard.

Figure 6.6 shows the 4th highest 8-hour O₃ values for Grand Rapids-Muskegon-Holland CSA. Muskegon and Holland violated the 3-year standard.

Figure 6.7 shows 4th highest 8-hour O₃ values for mid-Michigan. Coloma and Kalamazoo violated the 3-year standard.

Figure 6.8 shows 4th highest 8-hour O₃ values for Northern Lower and Upper Peninsula. No sites violated the 3-year standard.

Figure 6.5: O₃ Levels in Detroit-Warren-Flint CSA from 2014-2019 - (4th Highest 8-Hour O₃ Values).

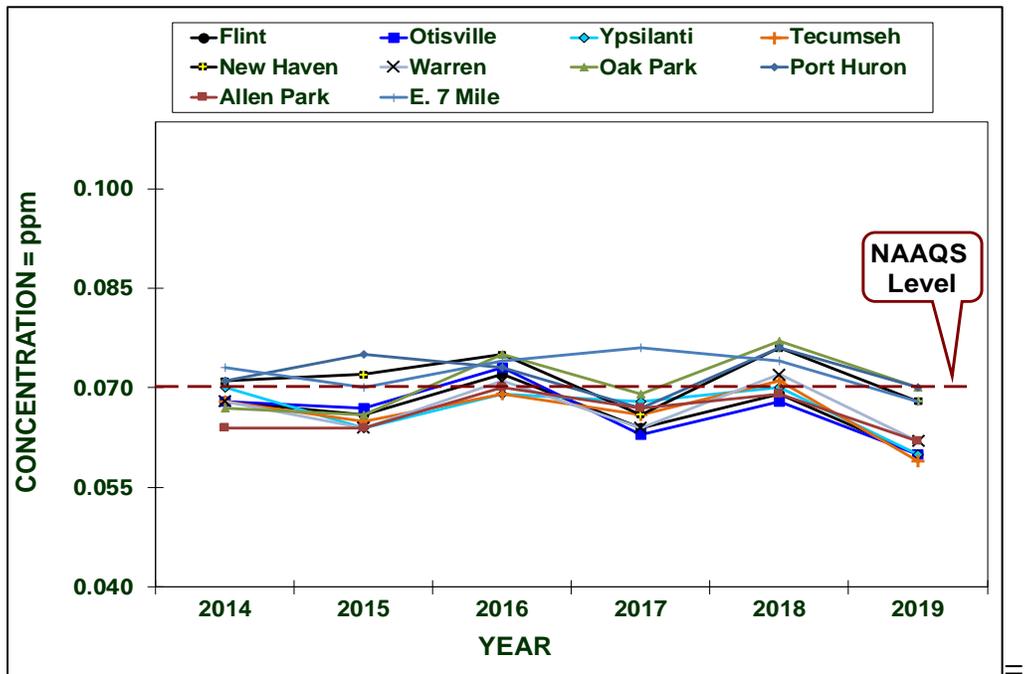


Figure 6.6: O₃ Levels in the Grand Rapids-Muskegon-Holland CSA from 2014-2019 (4th Highest 8-Hour O₃ Values)

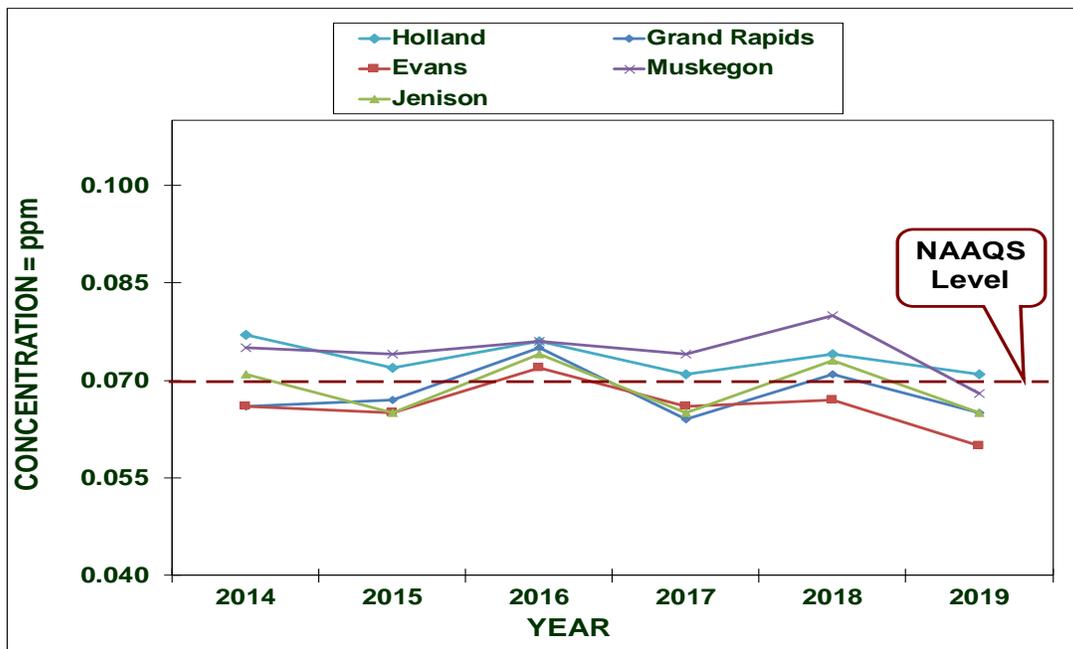


Figure 6.7: O₃ Levels in the Kalamazoo-Portage MSA, Lansing-E. Lansing-Owosso CSA, Niles-Benton Harbor MSA, & South Bend-Mishawaka (IN-MI) MSAs from 2014-2019 (4th Highest 8-Hour O₃ Values)

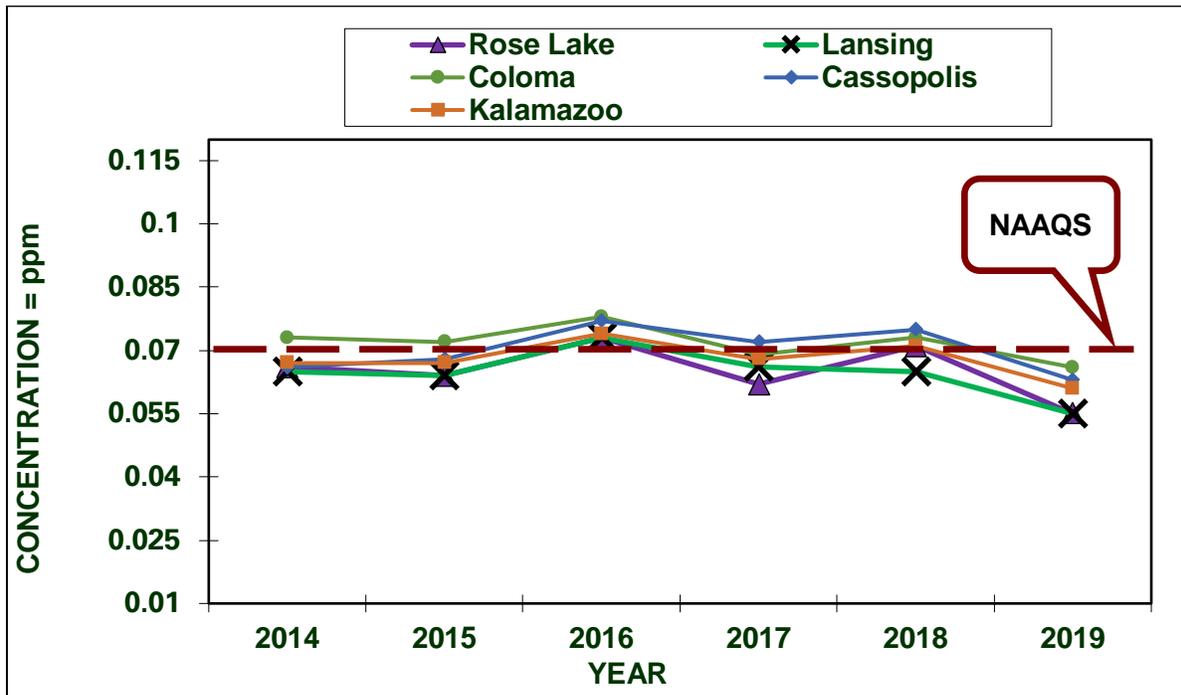
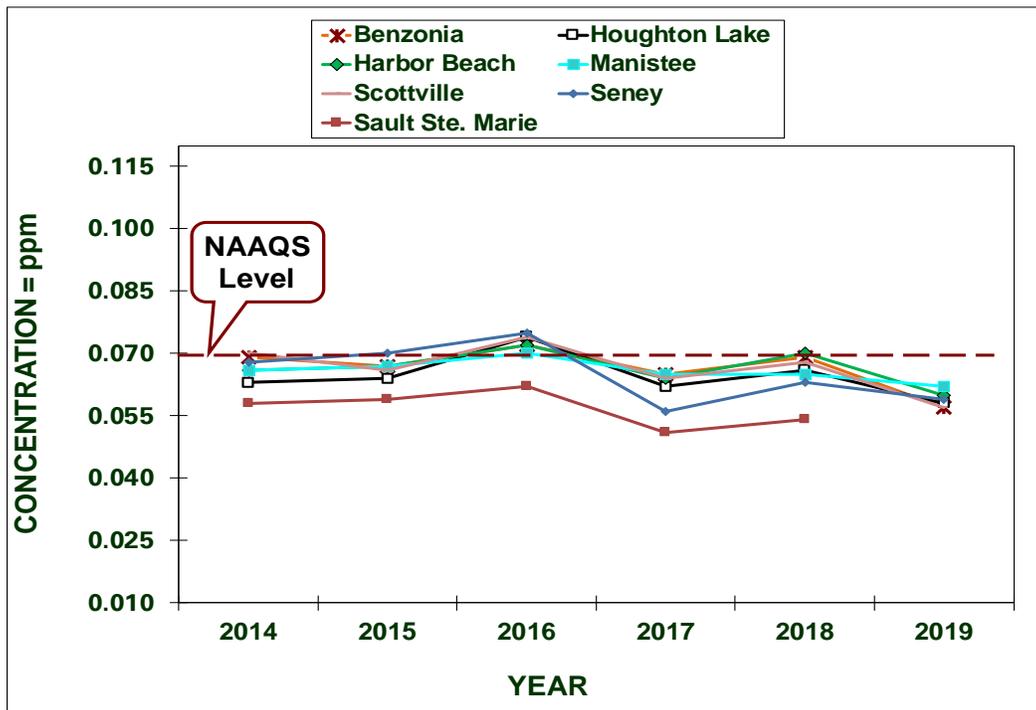


Figure 6.8: O₃ Levels in MI's Northern Lower and Upper Peninsula Areas from 2014-2019 (4th Highest 8-Hour O₃ Values)



CHAPTER 7: PARTICULATE MATTER (PM₁₀, PM_{10-2.5}, PM_{2.5}, PM_{2.5} CHEMICAL SPECIATION AND TSP)

Particulate matter (PM) is a general term used for a mixture of solid particles and liquid droplets (aerosols) found in the air. These are further categorized according to size; larger particles with diameters of less than 50 micrometers (μm) are classified as total suspended particulates (TSP). PM₁₀ consists of “coarse particles” less than 10 μm in diameter (about one-seventh the diameter of a human hair) and PM_{2.5} are much smaller “fine particles” equal to or less than 2.5 μm in diameter. PM₁₀ has a 24-hour average standard of 150 $\mu\text{g}/\text{m}^3$ not to be exceeded more than once per year over 3 years. PM_{2.5} has an annual average standard of 12 $\mu\text{g}/\text{m}^3$, and a 98th percentile 24-hour concentration of 35 $\mu\text{g}/\text{m}^3$ averaged over 3 years. The sources and effects of PM are as follows:

Sources: PM can be emitted directly (primary) or may form in the atmosphere (secondary).

Most man-made particulate emissions are classified as TSP. PM₁₀ consists of primary particles that can originate from power plants, various manufacturing processes, wood stoves and fireplaces, agriculture and forestry practices, fugitive dust sources (road dust and windblown soil), and forest fires. PM_{2.5} can come directly from primary particle emissions or through secondary reactions that include VOCs, SO₂, and NO_x emissions originating from power plants, motor vehicles (especially diesel trucks and buses), industrial facilities, and other types of combustion sources.

Effects: Exposure to PM can aggravate existing cardiovascular ailments and even cause death in susceptible populations. PM may affect breathing and the cellular defenses of the lungs and has been linked with heart and lung disease. Smaller particles (PM₁₀ or smaller) pose the greatest problems, because they can penetrate deep in the lungs and possibly into the bloodstream. PM is the major cause of reduced visibility in many parts of the United States. PM_{2.5} is considered a primary visibility-reducing component of urban and regional haze. Airborne particles impact vegetation ecosystems and damage paints, building materials and surfaces. Deposition of acid aerosols and salts increases corrosion of metals and impacts plant tissue.

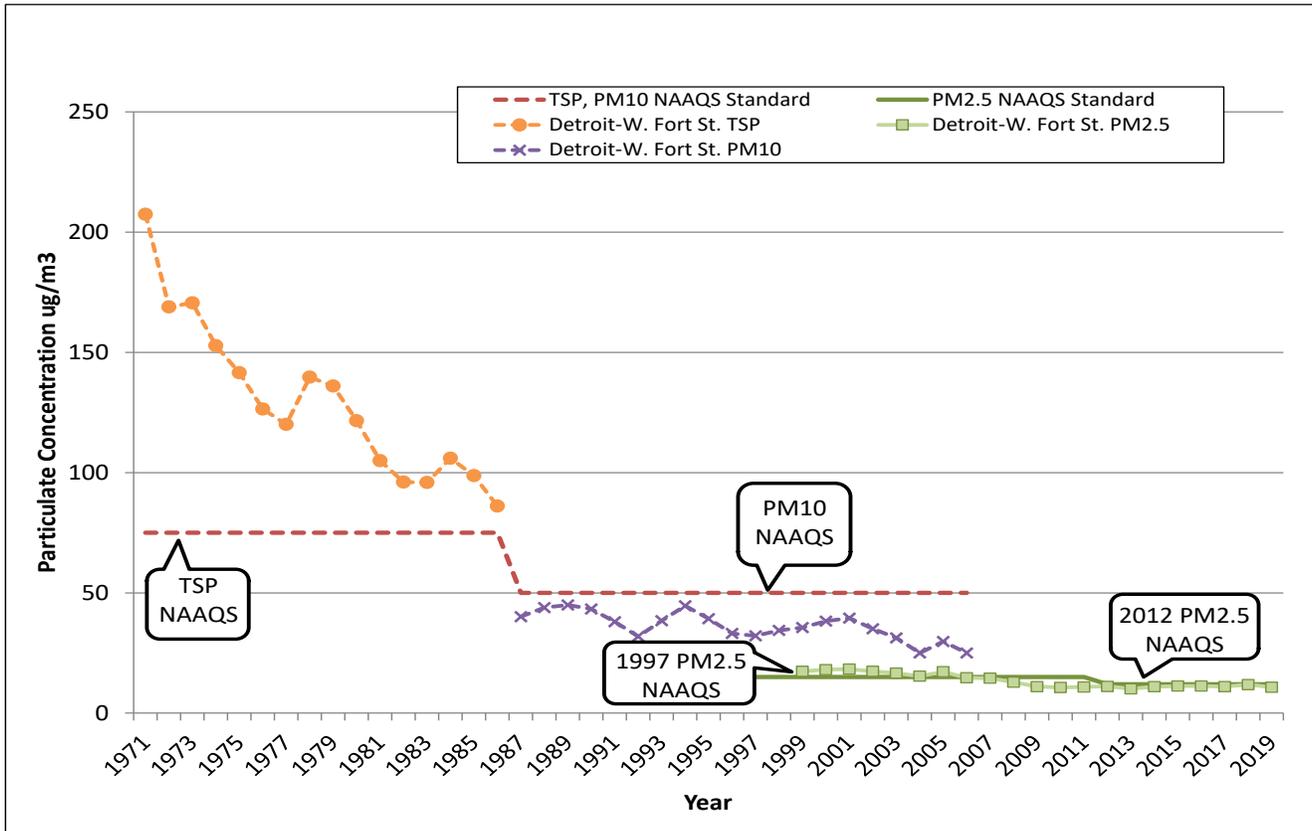
Population most at risk: People with heart or lung disease, the elderly, and children are at highest risk from exposure to PM.

Historical Trends: Southeast Michigan has been monitoring for particulate for over 40 years. **Figure 7.1** shows the trends for particulate matter. In 1971, the USEPA promulgated an annual and 24-hour particulate standard based on total suspended particulates (TSP). In 1987, the USEPA changed the standard to PM₁₀. Health studies indicated that particles smaller than 10 microns affect respiration. In 1997, the USEPA added additional NAAQS for a smaller particle fraction size, PM_{2.5}, which can get deeper into the lungs and possibly into the blood stream. In 2006, the USEPA revoked the PM₁₀ annual standard but kept the PM₁₀ 24-hour standard. The PM_{2.5} 24-hour standard was also reduced from 65 $\mu\text{g}/\text{m}^3$ to 35 $\mu\text{g}/\text{m}^3$. In 2012, the USEPA reduced the annual standard from 15 $\mu\text{g}/\text{m}^3$ to 12 $\mu\text{g}/\text{m}^3$.



Particulate trends show that particulate concentrations have decreased, and the state is in compliance for all particulate NAAQS; however, Michigan has had past nonattainment issues in Southeast Michigan for TSP, PM₁₀ and PM_{2.5}.

Figure 7.1: Historical Annual Particulate Matter at W. Fort St. (SWHS)



PM₁₀

Figures 7.2 and 7.3 show PM₁₀ emission sources and PM₁₀ emissions by county (courtesy of the USEPA's State and County Emission Summaries).

Figure 7.2: PM₁₀ Emissions by Source Sector

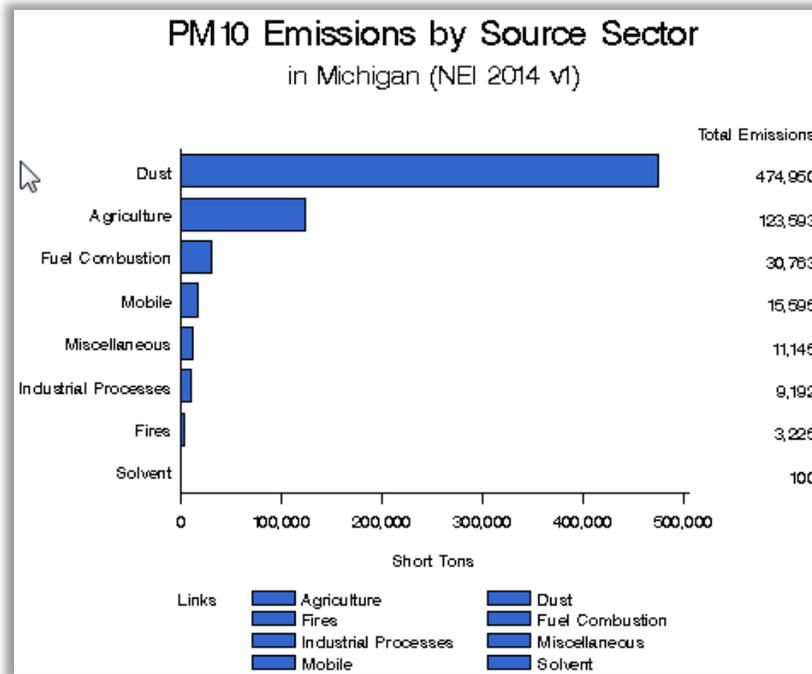
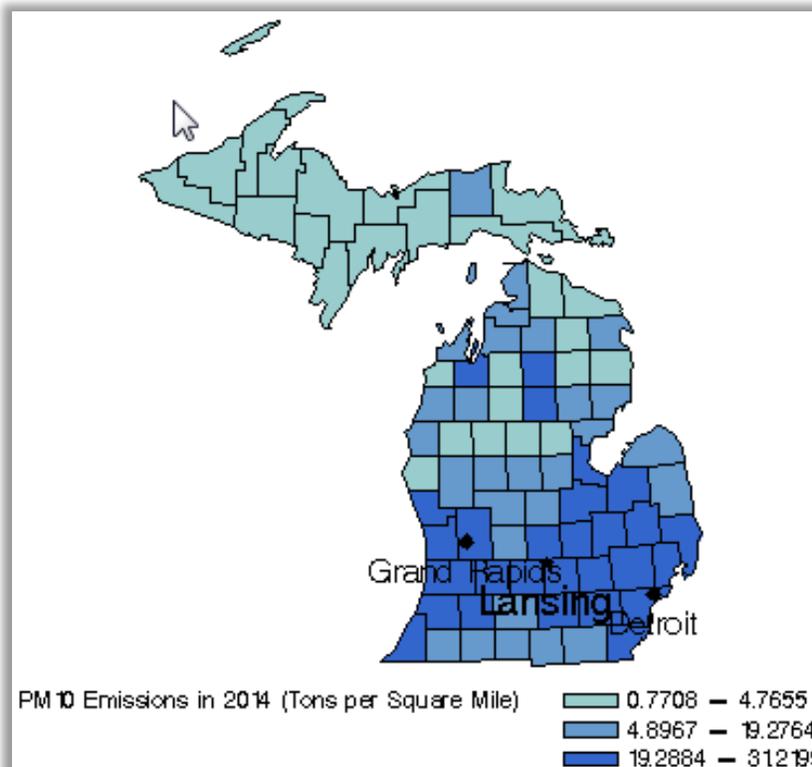


Figure 7.3: PM₁₀ Emissions in 2014



Since October 1996, all areas in Michigan have been in attainment with the PM₁₀ NAAQS. Due to the recent focus upon PM_{2.5} and because of the relatively low concentrations of PM₁₀ measured in recent years, Michigan's PM₁₀ network has been reduced to a minimum level. Table 1-3 identifies the locations of PM₁₀ monitoring stations that were operating in Michigan during 2016. These monitors are located mostly in the state's largest populated urban areas: three in the Detroit area and two in Grand Rapids. To better characterize the nature of particulate matter in Michigan, many of the existing PM₁₀ monitors are co-located with PM_{2.5} monitors in population-oriented areas.

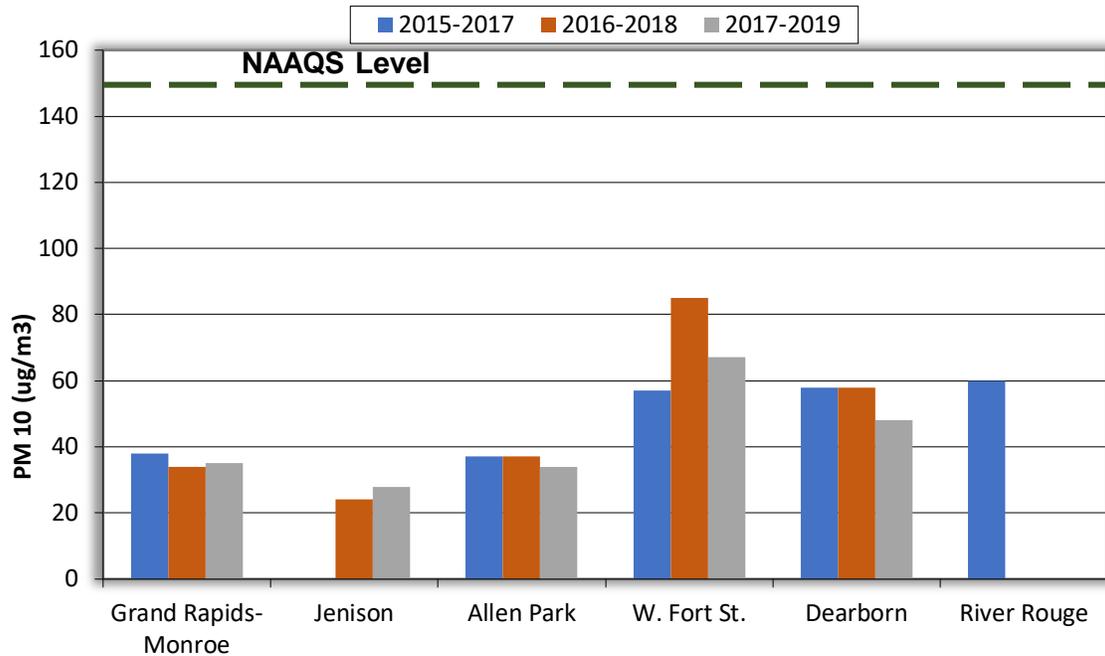
Figure 7.4 shows the location of each PM₁₀ monitor. All PM₁₀ monitors are population-oriented monitors. A second PM₁₀ monitor was added to the Grand Rapids area in Jenison (**Figure 7.5**) based on the USEPA's population requirements.

Figure 7.4: PM₁₀ Monitors in 2019



Figure 7.6 shows the PM₁₀ levels in Michigan compared to the 24-hour average NAAQS of 150 µg/m³. This standard must not be exceeded on average more than once per year over a 3-year period. The design value is the 4th highest value over a 3-year period. The PM₁₀ levels at all sites in Michigan are well below the national standard.

Figure 7.6: 24-Hour PM₁₀ Design Value

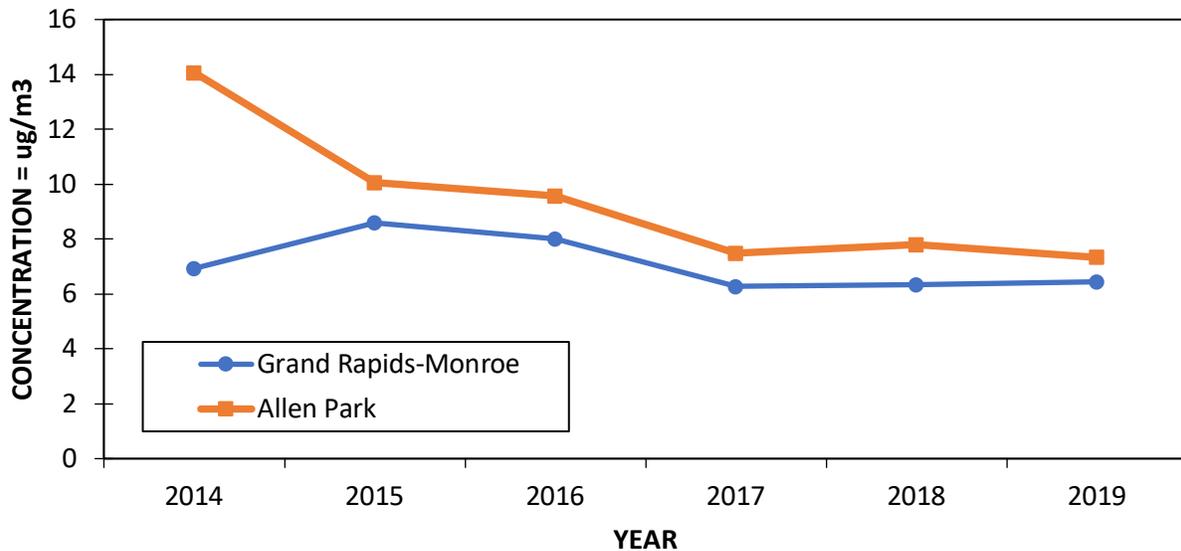


PM_{10-2.5}

The 2006 amended air monitoring regulations specified that measurements of PM course (PM_{10-2.5}) needed to be added to the NCore sites.⁵ EGLE began PM course monitoring at Allen Park and Grand Rapids-Monroe Street in 2010. **Figure 7.7** shows the PM_{10-2.5} levels in Michigan.

⁵ Current information can be found at www3.epa.gov/ttn/amtic/ncoreguidance.html.

Figure 7.7: PM Coarse Levels in Michigan from 2014-2019 (Annual Arithmetic Mean)



PM_{2.5}

In December 2012, the USEPA revised the annual primary standard to 12 µg/m³ while the annual secondary standard remained at 15 µg/m³. The primary and secondary 24-hour standard remained at 35 µg/m³. In December 2014, the USEPA determined that no area in Michigan violated the 2012 standard and the state was classified as unclassifiable/attainment.

Figures 7.8 and 7.9 show PM_{2.5} emission sources and PM_{2.5} emissions by county (from the USEPA’s State and County Emission Summaries).

Figure 7.8: PM_{2.5} Emissions by Source Sector

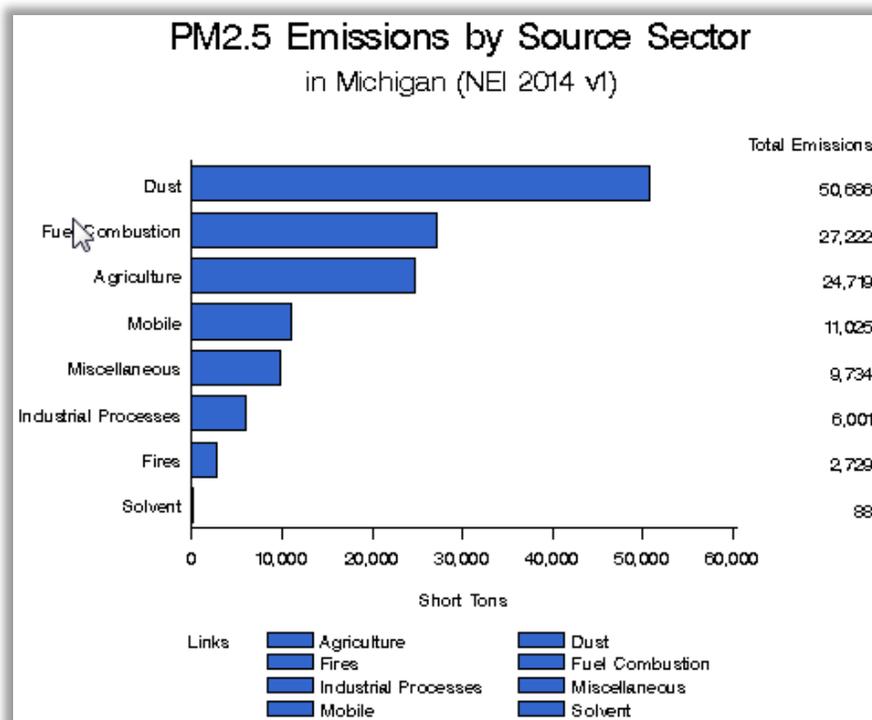
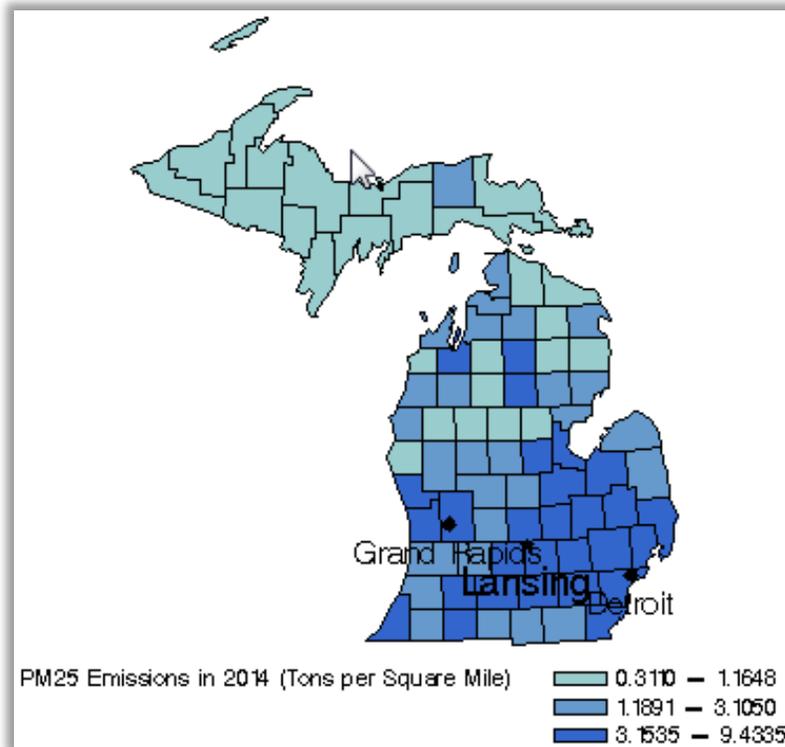


Figure 7.9: PM_{2.5} Emissions in 2014



Fine particulate matter (PM_{2.5}) is measured using three techniques: a filter-based Federal Reference Method (FRM), Continuous Methods, and Chemical Speciation Methods. These methods are described in more detail in Appendix A.

Figure 7.10 shows the location of each PM_{2.5} monitor.

PM_{2.5} FRM Monitoring Network: PM_{2.5} FRM filter-based monitors are deployed to characterize background or regional PM_{2.5} transport collectively from upwind sources as well as population-oriented sites. Several changes occurred in the FRM network in 2019.

- Loss of site access shut down: Livonia Near-road and Livonia was shut down July 2019, but a suitable replacement site for the near-road site has not been found yet.
- Monitors shut down: Livonia, Linwood, Wyandotte, and Eliza Howell-downwind were shut down to reduce costs and workload. Eliza Howell-downwind also is not required for near-road monitoring. Sault Ste. Marie was shutdown February 2019 due to funding.
- Collocation sites: Five PM_{2.5} FRM monitoring sites are co-located with PM₁₀ monitors to allow for PM_{2.5} and PM₁₀ comparisons.⁶ Co-located PM₁₀ and PM_{2.5} sites include Grand Rapids-Monroe, Dearborn, Allen Park, Detroit's W. Fort Street (SWHS), and newly added site, Jenison.
- Change in sampling frequency: The sampling frequency at Allen Park was reduced from daily to 1 in 3-day sampling.
- Switched FRMs to BAMs: Houghton Lake and Tecumseh were switched to BAMs since the USEPA is reducing the funding for FRMs.

Figure 7.10: PM_{2.5} Monitors in 2019



⁶ Requirements for PM_{2.5} FRM sites are obtained from the Revised Requirements for Designation of Reference and Equivalent Methods for PM_{2.5} and Ambient Air Quality Surveillance for PM [62 FR 38763]; Guidance for Using Continuous Monitors in PM_{2.5} Monitoring Networks [EPA-454/R-98-012, May 1998]; and Appendix N to Part 50 - Interpretation of the National Ambient Air Quality Standards for PM [40 CFR Part 50, July 1, 1998].

Continuous PM_{2.5} Network: Short-term measurements of PM_{2.5} or PM₁₀ are updated on an hourly basis using TEOM or BAM instruments. At least one continuous monitor is required at the NCore PM_{2.5} monitoring site in a metropolitan area with a population greater than one million. Both Detroit (Allen Park) and Grand Rapids (Monroe) meet this requirement.⁷ Under the revised 2006 air monitoring regulations, 50 percent of the FRM monitoring sites are now required to have a continuous PM_{2.5} monitor. For Michigan, there are 22 FRM monitoring sites, 12 of which also had TEOMs or BAMs.

- BAMS replaced TEOMS: Tecumseh and Houghton Lake stopped running the FRMs on January 1, 2019 and the BAMS will be used for NAAQS comparison. Seney was formerly running a TEOM and by changing it to a BAM, it will be used for NAAQS comparison in the Upper Peninsula of Michigan starting January 1, 2019. The Sault Ste. Marie tribal monitor site, also in the Upper Peninsula was running a BAM until February 2019 when funding was discontinued at that site. A BAM replaced the TEOM at Ypsilanti but continues to be collocated with an FRM.
- GHB project: DP4th Precinct, Trinity, and Military Park; also, the PM_{2.5} BAM monitor was added to Detroit-W. Fort St. as a special project for the Gordie Howe International Bridge construction.

Speciation Monitors: Speciation monitors consist of filter-based, 24-hour monitors and continuous speciation aethalometers. Continuous monitors are used to determine diurnal changes in PM_{2.5} composition.

- 24-hour speciation monitors: Allen Park and Grand Rapids (NCore sites), Dearborn (NATTS site), and Detroit-W. Fort St. The Tecumseh speciation monitor was shut down in 2019. These monitors are placed in population-oriented stations in both urban and rural locations. PM_{2.5} chemical speciation samples are collected over a 24-hour period and analyzed to determine various components of PM_{2.5}. The primary objectives of the chemical speciation monitoring sites are to provide data that will be used to determine sources of poor air quality and to support the development of attainment strategies. Historical speciation data for Michigan indicates that PM_{2.5} is made up of 30 percent nitrate compounds, 30 percent sulfate compounds, 30 percent organic carbon,⁸ and 10 percent unidentified or trace elements.
- Aethalometers: Allen Park, Dearborn, and the GHB project (DP4th Precinct, Trinity, Military Park, and Detroit-W. Fort St. started in 2018). These continuous monitors measure black carbon, a combustion by-product typical of transportation sources.

Figure 1.3 in [Chapter 1](#) shows all of Michigan's PM_{2.5} FRM monitoring stations operating in 2019 and denotes which sites have TEOM, BAM, Speciation, or Aethalometer monitors in operation.

⁷ Under the Guidance for Using Continuous Monitors in PM_{2.5} Monitoring Networks [EPA-454/R-98-012, May 1998].

⁸ To better understand the chemical composition of the organic carbon fraction, several studies have been conducted in Southeast Michigan to further investigate organic carbon. Information can be found in the Michigan 2012 Ambient Air Monitoring Network Review, available at http://www.michigan.gov/documents/deq/deq-aqd-aqe-2012-Air-Mon-Network-Review_357137_7.pdf

Table 7.1 provides the design value, the 3-year average of the annual mean PM_{2.5} concentrations for 2017-2019. Michigan's levels are below the 12 µg/m³ primary standard.⁹

Stations labeled #2 provide a precision estimate of the overall measurement and operate on a one-in-six sampling schedule. All other monitors are sampled on a one-in-three-day schedule. Allen Park samples daily but was switched to a one-in-three-day schedule in July 2019.

Table 7.1: 3-Year Average of the Annual Mean PM_{2.5} Concentrations						
Areas	County	Monitoring Sites	2017	2018	2019	2017-2019 Mean
Detroit-Ann Arbor	Lenawee	Tecumseh	7.34	7.96	8.50	8.1
		Livingston				
	Macomb	New Haven	7.41	7.82	7.30	7.5
	Oakland	Oak Park	8.11	8.27	7.74	8.0
	St. Clair	Port Huron	8.01	8.09	7.64	7.9
	Washtenaw	Ypsilanti #1	7.93	8.35	8.33	8.2
		Ypsilanti #2	8.32	8.81	7.57	8.2
	Wayne	Allen Park	8.47	9.14	8.69	8.8
		Detroit-Linwood	8.99	8.86		8.9
		Detroit-E. 7 Mile	7.88	8.40	7.61	8.0
		Detroit-W. Fort St.	11.01	11.89	10.76	11.2
		Detroit-W. Lafayette	7.93*	8.87*		8.4
		Wyandotte	7.18	8.02		7.6
		Dearborn #1	10.57	10.80	9.90	10.4
		Dearborn #2	10.82	11.06	9.08	10.3
Livonia	7.98	7.45*		7.9		
Livonia-Roadway	7.60	9.10	8.36*	8.3		
Flint	Genesee	Flint	7.10	7.33	6.81	7.3
	Lapeer					
Grand Rapids	Ottawa	Jenison		8.32*	8.30	8.3
	Kent	Grand Rapids-Wealthy	9.15			9.0
		Grand Rapids #1	8.12	8.45	8.20	8.2
		Grand Rapids #2	8.31	8.93	7.2*	8.2
Allegan Co	Allegan	Holland	7.49	7.61	7.15	7.4
Monroe Co	Monroe	Luna Pier				
		Sterling State Park	7.71			7.7
Kalamazoo-Battle Creek	Calhoun	Kalamazoo #1	8.03	8.47	7.35*	7.9
		Kalamazoo #2	8.36	8.68	6.83	8.0
	Van Buren					
Lansing-East Lansing	Ingham	Lansing	7.23	7.73**	7.27*	7.5*
	Clinton					
	Eaton					
Benton Harbor	Berrien	Coloma	7.99			7.7
Bay Co	Bay	Bay City	6.75	7.15	6.78	6.9
Missaukee Co	Missaukee	Houghton Lake	4.81	5.42	5.8*	5.4
Manistee Co	Manistee	Manistee	5.84	6.13	4.93*	5.6
Schoolcraft Co	Schoolcraft	Seney		4.1*	4.30	4.2
Chippewa Co	Chippewa	Sault Ste. Marie #1	6.10*			6.1*

*Indicates the site does not have a complete year of data.

**Indicates site was moved during the year and concentrations were averaged together for both locations

⁹ For comparison to the standard, the average annual means is rounded to the nearest 0.1 µg/m³.

Table 7.2 provides the 24-hour 98th percentile PM_{2.5} concentrations for 2017-2019 showing Michigan's levels are below the 35 µg/m³ standard (3-year average).¹⁰

Table 7.2: 24-Hour 98th Percentile PM_{2.5} Values Averaged over 3 Years						
Areas	County	Monitoring Sites	2017	2018	2019	2017-2019 Mean
Detroit-Ann Arbor	Lenawee	Tecumseh	17.5	23.4	22.1	21
		Livingston				
	Macomb	New Haven	17.0	18.9	18.7	18
		Oakland	Oak Park	20.1	20.1	18.2
	St. Clair	Port Huron	19.2	19.6	20.3	20
	Washtenaw	Ypsilanti #1	18.8	21.3	21.2	20
		Ypsilanti #2	19.0	19.1	22.9	20
	Wayne	Allen Park	21.8	22.8	20.0	22
		Detroit-Linwood	25.0	18.6		22
		Detroit-E. 7 Mile	16.6	21.5	19.6	19
		Detroit-W. Fort St.	30.0	28.1	22.5	27
		Detroit-W. Lafayette	19.5	26.9		23
		Wyandotte	19.3	20.4		20
		Dearborn #1	24.5	26.1	24.0	25
		Dearborn #2	23.5	26.6	24.2	25
		Livonia	19.1	18.1		19
Livonia-Roadway		19.0	29.0	22.8*	24	
Flint	Genesee	Flint	16.8	16.9	17.5	17
Grand Rapids	Ottawa	Jenison		22.3	24.4	23
		Kent	Grand Rapids-Wealthy	26.2		
		Grand Rapids #1	22.6	18.9	23.2	22
		Grand Rapids #2	22.8	26.5	18.9	23
Allegan Co	Allegan	Holland	24.6	21.2	18.2	21
Monroe Co	Monroe	Luna Pier				
		Sterling State Park	20.5			21
Kalamazoo-Battle Creek	Calhoun					
	Kalamazoo	Kalamazoo #1	22.6	19.1	16.9	20
		Kalamazoo #2	22.5	19.1	15.8	19
Van Buren						
Lansing-East Lansing	Ingham	Lansing	17.1	19.5**	22.3*	20
	Clinton					
	Eaton					
Benton Harbor	Berrien	Coloma	26.2			26
Bay Co	Bay	Bay City	22.4	17.8	17.5	19
Missaukee Co	Missaukee	Houghton Lake	14.9	16.2	15.1	15
Manistee Co	Manistee	Manistee	19.2	16.9	14.9	17
Schoolcraft Co	Schoolcraft	Seney		19*	14.3	17
Chippewa Co	Chippewa	Sault Ste. Marie #1	8.3*			8

*Indicates the site does not have a complete year of data.

**Indicates site was moved during the year and concentrations were averaged together for both locations.

¹⁰ The 98th percentile value was obtained from the USEPA AQS. To comparing calculated values, the 3-year 24-hour average is rounded to the nearest 1 µg/m³.

Figures 7.11 through 7.14 illustrate the current annual mean PM_{2.5} trend for each monitoring site in Michigan. For clarity, the monitoring sites within the Detroit-Warren-Flint CSA have been broken down into two graphs.

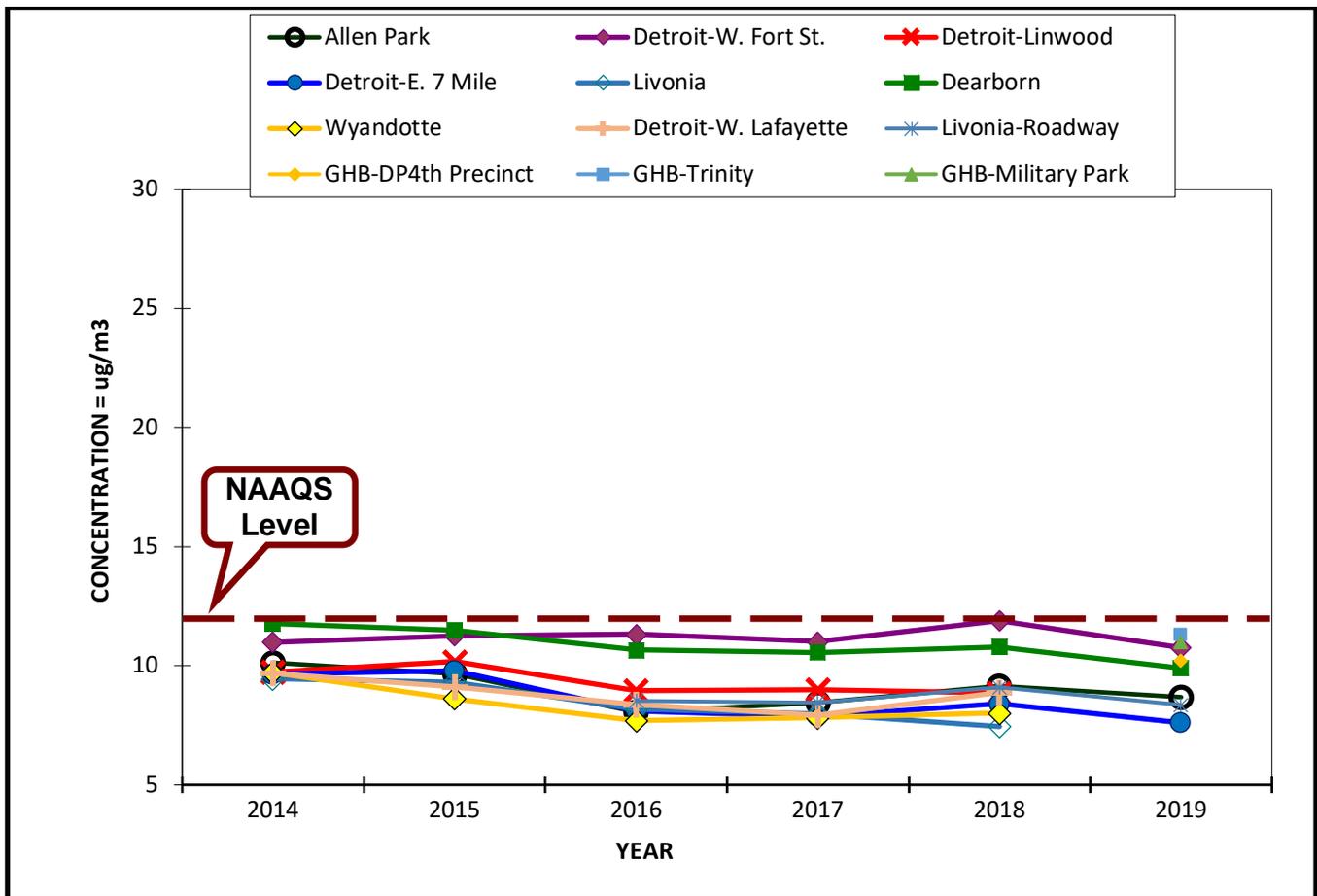
Figure 7.11 shows the 2019 levels in Wayne County remained below the PM_{2.5} NAAQS standard. Historically, Dearborn has had the highest concentrations in the state, but W. Fort St. now has the highest concentrations. All sites are below the annual PM_{2.5} NAAQS standard. The Gordie Howe International Bridge sites are included in these graphs.

Figure 7.12 contains the remainder of those sites in the Detroit-Warren-Flint CSA that are outside of Wayne County. These sites also show readings in 2019 are below the PM_{2.5} NAAQS.

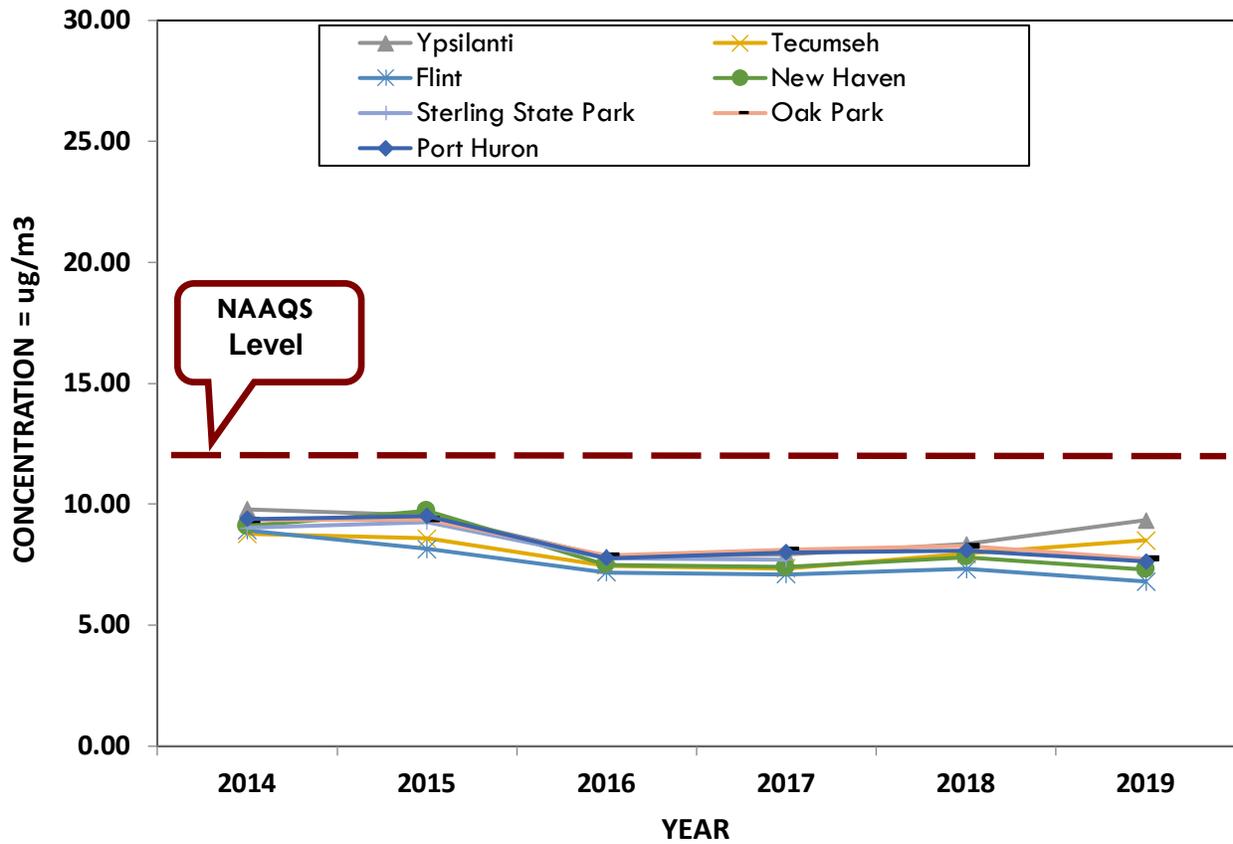
Figure 7.13 combines the PM_{2.5} monitoring sites located in West Michigan-Grand Rapids-Muskegon-Holland CSA, Kalamazoo, and Benton Harbor MSAs. All sites are below the annual PM_{2.5} NAAQS.

Figure 7.14 displays the remaining monitoring sites in the Northern Lower and Upper Peninsula. All sites are below the annual PM_{2.5} NAAQS standard.

Figure 7.11: Detroit-Warren-Flint CSA (Wayne County Only)
Annual Arithmetic Means for PM_{2.5} from 2014-2019



**Figure 7.12: Detroit-Warren-Flint CSA (without Wayne County)
Annual Arithmetic Means for PM_{2.5} from 2014-2019**



**Figure 7.13: West MI - Grand Rapids-Muskegon-Holland CSA, Kalamazoo and Benton Harbor MSAs
Annual Arithmetic Means for PM_{2.5} from 2014-2019**

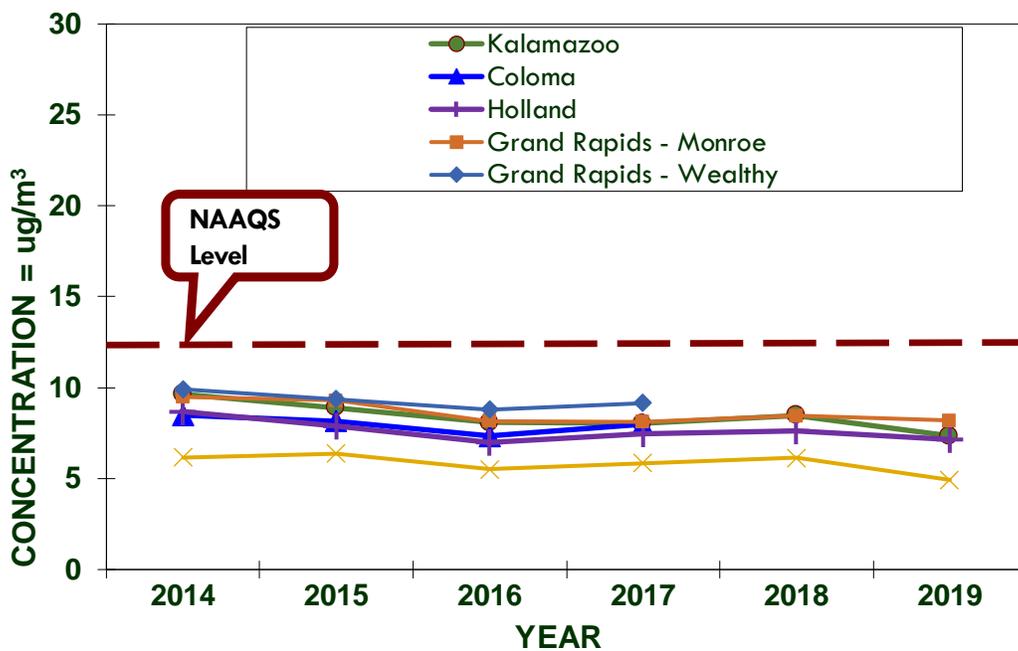
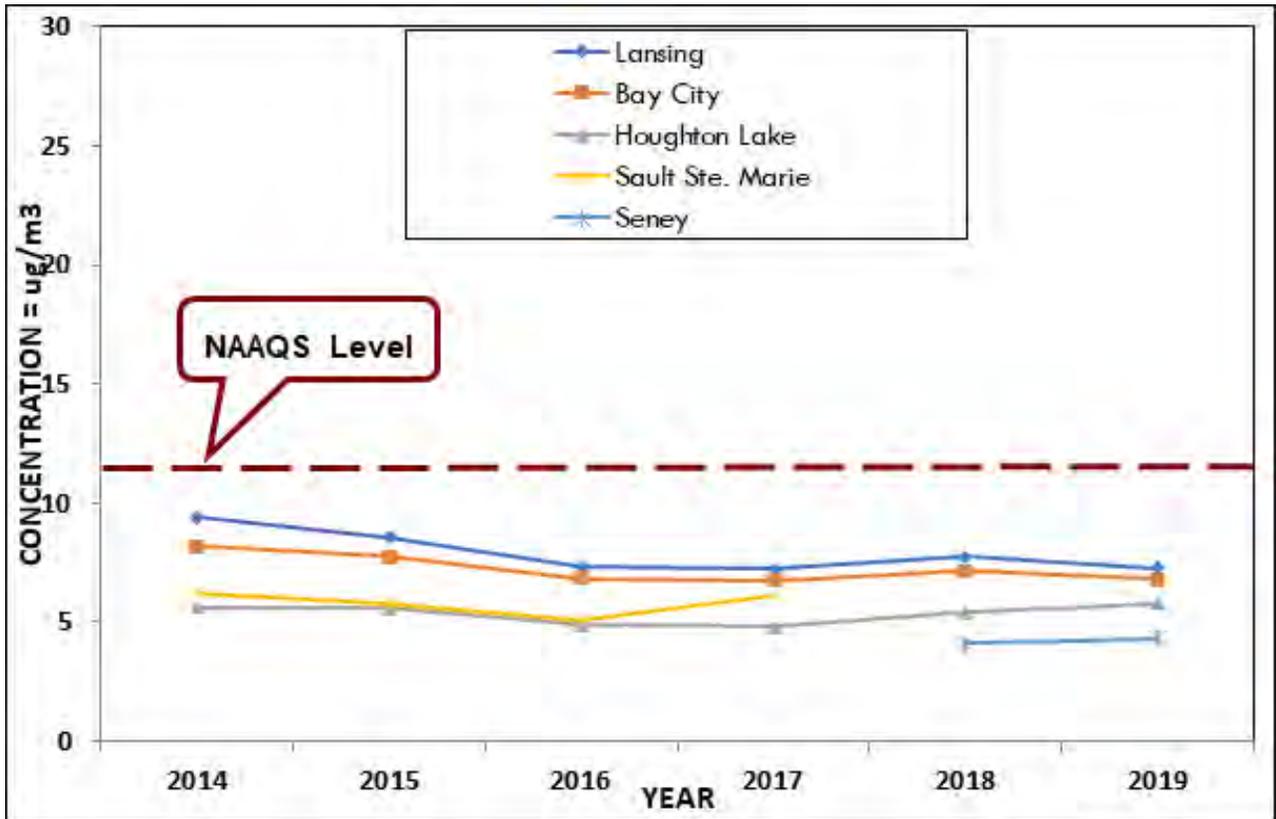


Figure 7.14: Lansing-E. Lansing CSA, Saginaw-Bay City CSA, Cadillac MiSA and Upper Peninsula Annual Arithmetic Means for PM_{2.5} from 2014-2019



CHAPTER 8: TOXIC AIR POLLUTANTS

In addition to the six criteria pollutants discussed in previous chapters, the AQD monitors for a wide variety of substances classified as toxic air pollutants, and/or Hazardous Air Pollutants (HAPs). Under the Clean Air Act, the USEPA specifically addresses a group of 187 HAPs. Under Michigan's air regulations, Toxic Air Contaminants (TACs) are defined as all non-criteria pollutants that may be "...*harmful to public health or the environment when present in the outdoor atmosphere in sufficient quantities and duration.*" The definition of TACs lists 42 substances that are not TACs, indicating that all others are TACs. The sources and effects of toxics are as follows:

Sources: Air toxics come from a variety of mobile, stationary, and indoor man-made sources as well as outdoor natural sources. Mobile sources include motor vehicles, stationary sources include industrial factories and power plants, indoor sources include household cleaners, and natural sources include forest fires and eruptions from volcanoes.

Effects: Once air toxics enter the body, there is a wide range of potential health effects. They include: the aggravation of asthma; irritation to the eyes, nose, and throat; carcinogenicity; developmental toxicity (birth defects); nervous system effects; and various other effects on internal organs. Some effects appear after a shorter period of exposure, while others may appear after long-term exposure or after a long period of time has passed since the exposure ended. Most toxic effects are not unique to one substance, and some effects may be of concern only after the substance has deposited to the ground or to a water body (e.g., mercury, dioxin), followed by exposure through an oral pathway such as the eating of fish or produce. This further complicates the assessment of air toxics concerns due to the broad range of susceptibility that various people may have.

Population most at risk: People with asthma, children, and the elderly are generally at the highest risk for health effects from exposure to air toxics.

Air Toxics can be categorized as:

- **Metals:** Examples include aluminum, arsenic, beryllium, barium, cadmium, chromium, cobalt, copper, iron, mercury, manganese, molybdenum, nickel, lead, vanadium, and zinc.
- **Organic Substances:** Further divided into sub-categories that include -
 - VOCs, include benzene (found in gasoline), perchloroethylene (emitted from some dry-cleaning facilities), and methylene chloride (a solvent and paint stripper used by industry);
 - carbonyl compounds (formaldehyde, acetone, and acetaldehyde);
 - semi-volatile compounds (SVOCs);
 - polycyclic aromatic hydrocarbons (PAHs)/polynuclear aromatic hydrocarbons (PNAs);
 - pesticides and;
 - polychlorinated biphenyls (PCBs).

Other substances: Asbestos, dioxin, and radionuclides such as radon.

Because air toxics are such a large and diverse group of substances, regulatory agencies sometimes further refine these classifications to address specific concerns.

For example:

- Some initiatives have targeted those substances that are persistent, bioaccumulative and toxic (PBT), such as mercury, which accumulates in body tissues.
- The USEPA has developed an Integrated Urban Air Toxics Strategy with a focus on 30 substances (the Urban HAPs List).¹¹

The evaluation of air toxics levels is difficult due to several factors.

- There are no health-protective NAAQS. Instead, air quality assessments utilize various short- and long-term screening levels and health-based levels estimated to be safe considering the critical effects of concern for specific substances.
- There is incomplete toxicity information for many substances. For some air toxics, the analytical detection limits are too high to consistently measure the amount present, and in some cases, the risk assessment-based levels are below the detection limits.
- Data gaps are present regarding the potential for interactive toxic effects for co-exposure to multiple substances present in emissions and in ambient air. Air toxics also pose a challenge due to monitoring and analytical methods that are either unavailable for some compounds or cost-prohibitive for others (e.g., dioxins).

These factors make it difficult to accurately assess the potential health concerns of all air toxics. Nevertheless, it is feasible and important to characterize the potential health hazards and risks associated with many air toxics.

Table 8.1 shows the monitoring stations and what air toxic was monitored at each station in 2019. This table can also be found in **Appendix B** with the Air Toxics Monitoring Summary.

The PM₁₀ metals sampling for Mn was also shut down at River Rouge to reduce cost and workload. TSP Metals were added to the three new GHB sites, DP4th Precinct, Military Park, and Trinity.

¹¹ USEPA's Air Toxics website: Urban Strategy is located at www.epa.gov/urban-air-toxics.

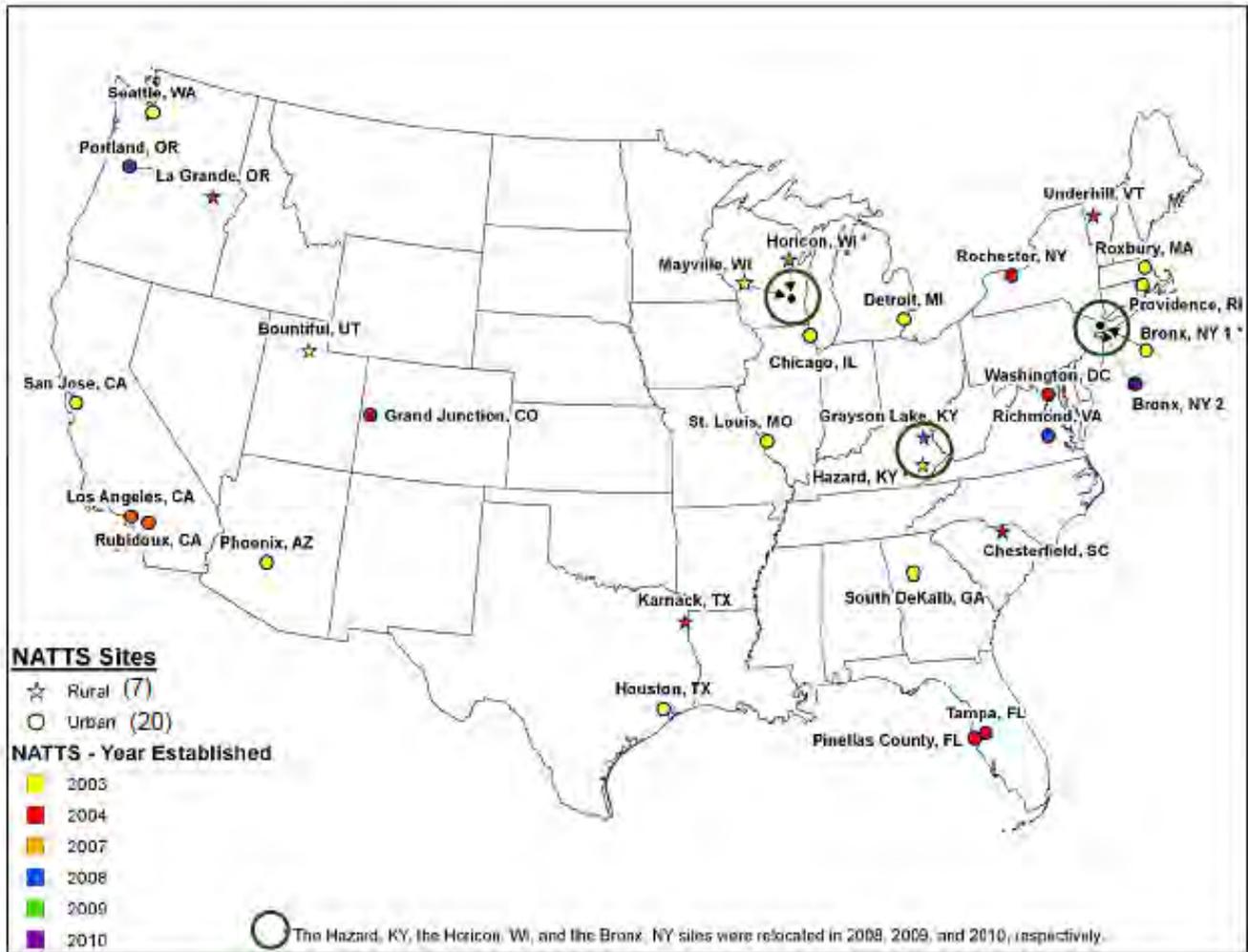
Table 8.1: 2019 Toxics Sampling Sites

Site Name	VOC	Carbonyl	PAHs	Metals TSP	Metals PM ₁₀	Speciated PM _{2.5}
Allen Park				x		x
Dearborn	x	x	x	x	x	x
Detroit-W. Fort St.	x	x		x		x
Detroit-W. Jefferson				x		
Grand Rapids-Monroe				x		x
Belding-Merrick St.				x		
NMH 48217				x		
Port Huron-Rural St.				x		
River Rouge		x		x		
GHB-DP4th Precinct				x		
GHB-Military Park				x		
GHB-Trinity				x		

National Monitoring Efforts and Data Analysis

The USEPA administers national programs that identify air toxics levels, detect trends, and prioritize air toxics research. EGLE participates in these programs. In addition, the AQD operates a site in Dearborn that is part of the USEPA's NATTS. The purpose of the NATTS network is to detect trends in high-risk air toxics such as benzene, formaldehyde, chromium, and 1,3-butadiene and to measure the progress of air toxics regulatory programs at the national level. Currently, the NATTS network contains 27 stations; 20 urban and 7 rural (see **Figure 8.1**). The USEPA requires that the NATTS sites measure VOCs, carbonyls, PAHs, and trace metals on a once-every-six-day sampling schedule. The Dearborn NATTS site measures trace metals as TSP, PM₁₀, and PM_{2.5}.

Figure 8.1: National Air Toxics Trends Sites



CHAPTER 9: METEOROLOGICAL INFORMATION

Figures 9.1 through 9.3 show average daily temperatures, and Figures 9.4 through 9.6 show total monthly precipitation amounts compared to their climatic norms for sites in the Northern, Southern Lower and Upper Peninsula. These figures were constructed by averaging data from several National Weather Service stations and therefore are not meant to be representative of any one single location in Michigan. Instead, they are intended to depict the regional trends that occurred during the year 2019.

Figure 9.1: Southern Lower Peninsula Observed Average Monthly Temperatures vs. Normal Average Monthly Temperatures

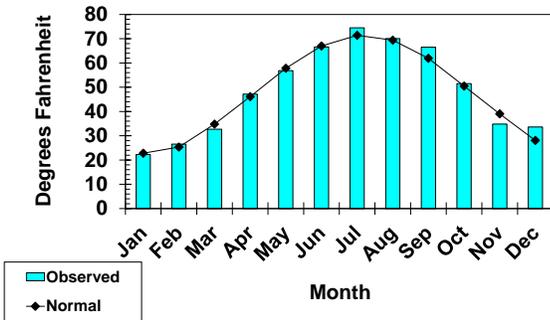


Figure 9.2: Northern Lower Peninsula Observed Average Monthly Temperatures vs. Normal Average Monthly Temperatures

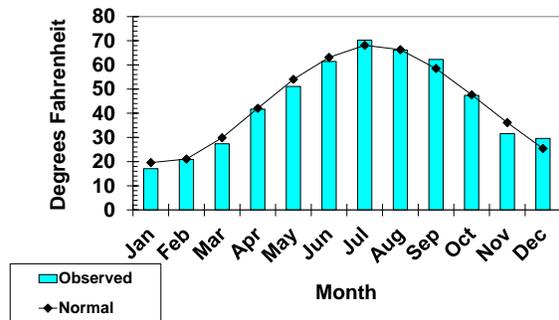


Figure 9.3: Upper Peninsula Observed Average Monthly Temperatures vs. Normal Average Monthly Temperatures

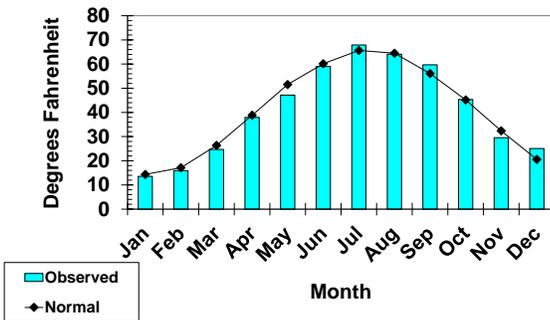


Figure 9.4: Southern Lower Peninsula Observed Monthly Precipitation vs. Normal Monthly Precipitation

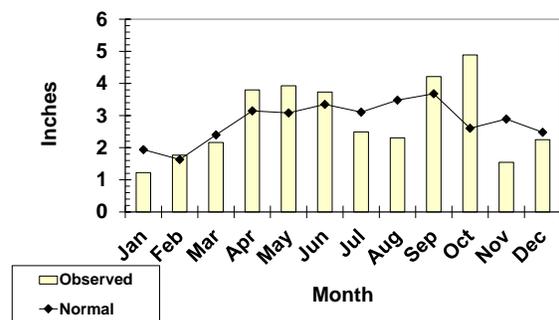


Figure 9.5: Northern Lower Peninsula Observed Monthly Precipitation vs. Normal Monthly Precipitation

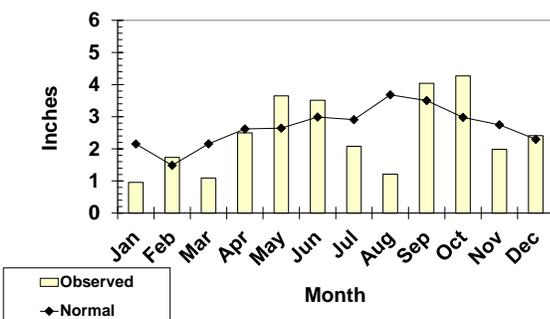
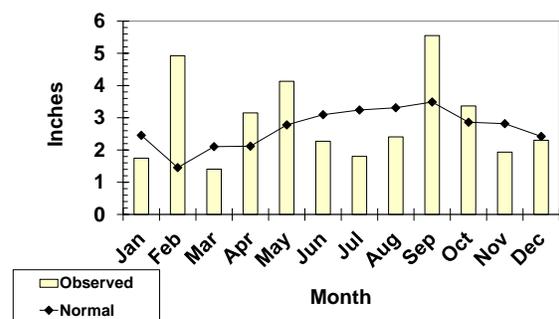


Figure 9.6: Upper Peninsula Observed Monthly Precipitation vs. Normal Monthly Precipitation



CHAPTER 10: SPECIAL PROJECTS

EGLÉ completed the sampling for one special project and began a new project for the Gordie Howe International Bridge. Each of these projects are discussed below.

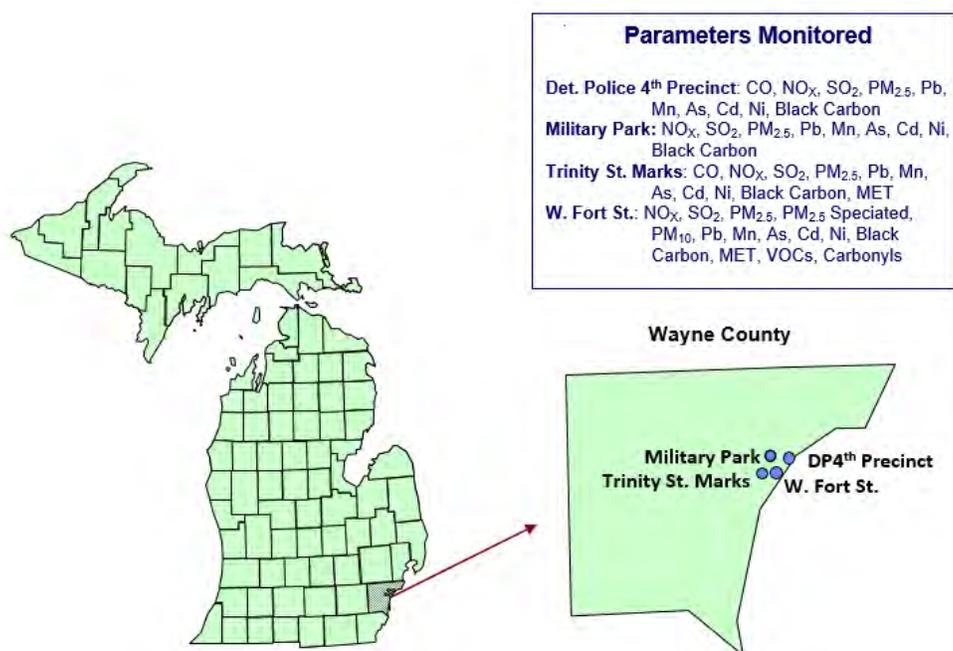
Near-road Air Toxics Grant: The Community Scale Air Toxics Ambient Monitoring (CSATAM) grant completed data collection in 2018 and the final report was received October 2019. This report can be found on EGLÉ's website under Monitoring¹².

Gordie Howe International Bridge Project: The second special purpose monitoring project is related to a joint Canadian-American venture. The Gordie Howe International Bridge will be built linking Windsor, Ontario and Detroit, Michigan. Construction is slated to begin in 2019-2020.

EGLÉ is conducting ambient air quality monitoring in the Delray community to ascertain air pollution levels in the community. The three new sites, indicated below, will monitor air pollutants before, during, and after construction of the bridge. In addition, NO_x, continuous PM_{2.5}, and black carbon was added to the Detroit-W. Fort St. (261630015) monitoring site for this project.

- **Trinity (261630098):** meteorological parameters, NO_x, SO₂, CO, continuous PM_{2.5}, black carbon, and five trace metals including lead.
- **DP4TH Precinct (261630099):** NO_x, SO₂, CO, continuous PM_{2.5}, black carbon, and five trace metals including lead.
- **Military Park (261630100):** NO_x, SO₂, continuous PM_{2.5}, black carbon, and five trace metals including lead.

Figure 10.1: Gordie Howe International Bridge Sites



The data from these sites is reported along with the other sites in the previous chapters and in the following appendices.

¹² For the full report [Michigan.gov/documents/egle/egle-aqd-amu-detroit_near_road_air_pollution_eval_669319_7.pdf](https://www.michigan.gov/documents/egle/egle-aqd-amu-detroit_near_road_air_pollution_eval_669319_7.pdf)

APPENDIX A: CRITERIA POLLUTANT SUMMARY FOR 2019

Appendix A utilizes the USEPA's 2019 Air Quality System (AQS) Quick Look Report Data to present a summary of ambient air quality data collected for the criteria pollutants at monitoring locations throughout Michigan. Concentrations of non-gaseous pollutants are generally given in $\mu\text{g}/\text{m}^3$ and in ppm for gaseous pollutants. The following define some of the terms listed in the **Appendix A** reports.

Site I.D.: The AQS site ID is the USEPA's code number for these sites.

POC: The Parameter Occurrence Code or POC is used to assist in distinguishing different uses of monitors, i.e., under Pb, NO_2 , and SO_2 , POC #1-5 are used to help differentiate between individual monitors. For PM, the POC numbers are used more for the type of monitoring, such as:

- 1 - FRM;
- 2 - Co-located FRM;
- 3 - TEOM hourly PM_{10} and $\text{PM}_{2.5}$ measurements; and
- 5 - $\text{PM}_{2.5}$ speciation monitors (shown at right is a Met One SASS – speciation air sampling system).

OBS: For Pb, TSP, $\text{PM}_{2.5}$, and PM_{10} , the # OBS (number of observations) refers to the number of valid 24-hour values gathered.

For continuous monitors (CO , NO_2 , O_3 , $\text{PM}_{2.5}$ TEOM, BAM and SO_2), # OBS refers to the total valid hourly averages obtained from the analyzer.

Values: The value is listed for each criteria pollutant per its NAAQS (primary and secondary). The number of exceedances per site for the primary and secondary standards utilize running averages for continuous monitors (except for O_3) and does not include averages considered invalid due to limited sampling times. For example, a particulate-mean based only on six months could not be considered as violating the annual standard. As noted, each site is allowed one short-term standard exceedance before a violation is determined.



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Criteria Pollutant Summary For 2019

CO measured in ppm

Site ID	POC	City	County	Year	# OBS	1-hr Highest Value	1-hr 2 nd Highest Value	1-hr OBS > 35	8-hr Highest Value	8-hr 2 nd Highest Value	8-hr OBS > 9
260810020	1	Grand Rapids-Monroe	Kent	2019	7901	1.7	1.7	0	1.3	1.3	0
261630001	1	Allen Park	Wayne	2019	8319	1.9	1.7	0	1.4	1.4	0
261630093	1	Eliza Howell-Roadway	Wayne	2019	7574	3.2	2.8	0	1.8	1.7	0
261630095	1	Livonia-Roadway	Wayne	2019	4099	2.1	1.8	0	1.4	1.2	0
261630098	1	GHB-DP4th Precinct	Wayne	2019	7599	5.6	3.9	0	3.0	1.8	0
261630099	1	GHB-Trinity*	Wayne	2019	8309	5.2	4.7	0	2.2	2.0	0

*Indicates site does not have a complete year of data.

Pb (24-hour) measured in µg/m³

Site ID	POC	City	County	Year	# OBS	Highest rolling 3-month Arith Mean	Highest Value (24-hr)	2 nd Highest Value (24-hr)
260670003	1	Belding-Merrick St.	Ionia	2019	61	0.09	0.752	0.194
260810020	1	Grand Rapids-Monroe	Kent	2019	60	0.01	0.045	0.011
261470031	1	Port Huron-Rural St.	St. Clair	2019	61	0.02	0.113	0.059
261630001	1	Allen Park	Wayne	2019	60	0.00	0.006	0.006
261630005	1	River Rouge	Wayne	2019	61	0.01	0.033	0.021
261630015	1	Detroit-W. Fort St.	Wayne	2019	59	0.02	0.062	0.039
261630027	1	Detroit-W. Jefferson	Wayne	2019	60	0.01	0.045	0.043
261630033	1	Dearborn	Wayne	2019	59	0.01	0.042	0.026
261630097	1	NMH 48217	Wayne	2019	61	0.01	0.018	0.009
261630098	1	GHB-DP4th Precinct	Wayne	2019	59	0.01	0.020	0.019
261630099	1	GHB-Trinity	Wayne	2019	60	0.03	0.303	0.040
261630100	1	GHB-Military Park	Wayne	2019	61	0.02	0.078	0.067

NO₂ measured in ppb

Site ID	POC	City	County	Year	# OBS	1-Hr Highest Value	1-Hr 2 nd Highest Value	98 th Percentile 1-hr	Annual Arith Mean
260650018	1	Lansing	Ingham	2019	8336	54.4	47.5	43.7	6.91
261130001	1	Houghton Lake	Missaukee	2019	7929	11.8	11.3	8.0	1.07
261390005	1	Jenison	Ottawa	2019	8145	50.0	45.0	36.0	5.65
261630015	1	Detroit-W. Fort St.	Wayne	2019	7424	55.5	53.5	50.1	14.05
261630093	1	Eliza Howell-Roadway	Wayne	2019	8105	56.2	51.7	45.4	15.55
261630095	1	Livonia-Roadway	Wayne	2019	4070	72.2	52.2	49.0	10.57*
261630098	1	GHB-DP4th Precinct	Wayne	2019	8270	60.7	56.1	49.6	14.83
261630099	1	GHB-Trinity	Wayne	2019	7781	55.3	49.9	46.1	13.86
161630100	1	GHB-Military Park	Wayne	2019	8312	54.7	53.3	47.3	12.92

*Indicates site does not have a complete year of data.

NO_y measured in ppb

Site ID	POC	City	County	Year	# OBS	1-Hr Highest Value	1-Hr 2 nd Highest Value	Annual Arith Mean
260810020	1	Grand Rapids-Monroe	Kent	2019	6935	210.0	200.0	11.40
261630001	1	Allen Park	Wayne	2019	7898	217.7	213.0	14.84
261630019	1	Detroit-E. 7 Mile	Wayne	2019	3474	109.7	77.5	9.17*

*Indicates site does not have a complete year of data.

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O₃ (1-hour) measured in ppm

Site ID	POC	City	County	Year	Num Meas	Num Req	Highest Value	2 nd Highest Value	3 rd Highest Value	4 th Highest Value	Day Max >= 0.125 Measured	Values >= 0.125 Estimated	Missed Days < 0.125 Standard
260050003	1	Holland	Allegan	2019	245	245	0.093	0.084	0.081	0.078	0	0	0
260190003	1	Benzonia	Benzie	2019	238	245	0.072	0.072	0.066	0.065	0	0	0
260210014	1	Coloma	Berrien	2019	245	245	0.084	0.081	0.081	0.078	0	0	0
260270003	2	Cassopolis	Cass	2019	245	245	0.081	0.078	0.073	0.071	0	0	0
260370002	2	Rose Lake 2	Clinton	2019	233	245	0.066	0.063	0.060	0.060	0	0	0
260490021	1	Flint	Genesee	2019	245	245	0.070	0.070	0.065	0.065	0	0	0
260492001	1	Otisville	Genesee	2019	242	245	0.071	0.070	0.065	0.064	0	0	0
260630007	1	Harbor Beach	Huron	2019	245	245	0.077	0.075	0.074	0.068	0	0	0
260650018	1	Lansing-Filley St.	Ingham	2019	245	245	0.061	0.061	0.060	0.059	0	0	0
260770008	1	Kalamazoo	Kalamazoo	2019	242	245	0.072	0.068	0.067	0.067	0	0	1
260810020	1	Grand Rapids-Monroe	Kent	2019	354	365	0.077	0.075	0.072	0.068	0	0	2
260810022	1	Evans	Kent	2019	245	245	0.072	0.072	0.068	0.068	0	0	0
260910007	1	Tecumseh	Lenawee	2019	241	245	0.069	0.067	0.066	0.065	0	0	0
260990009	1	New Haven	Macomb	2019	244	245	0.084	0.081	0.079	0.079	0	0	1
260991003	1	Warren	Macomb	2019	241	245	0.080	0.078	0.073	0.071	0	0	1
261010922	1	Manistee	Manistee	2019	238	245	0.076	0.069	0.069	0.067	0	0	1
261050007	1	Scottville	Mason	2019	245	245	0.068	0.067	0.062	0.062	0	0	0

O₃ (1-hour) measured in ppm, continued

Site ID	POC	City	County	Year	Num Meas	Num Req	Highest Value	2 nd Highest Value	3 rd Highest Value	4 th Highest Value	Day Max >= 0.125 Measured	Values >= 0.125 Estimated	Missed Days < 0.125 Standard
261130001	1	Houghton Lake	Missaukee	2019	240	245	0.063	0.062	0.062	0.062	0	0	1
261210039	1	Muskegon	Muskegon	2019	244	245	0.091	0.080	0.080	0.078	0	0	1
261250001	2	Oak Park	Oakland	2019	245	245	0.088	0.085	0.083	0.076	0	0	0
261390005	1	Jenison	Ottawa	2019	245	245	0.080	0.074	0.071	0.069	0	0	0
261470005	1	Port Huron	St. Clair	2019	237	245	0.083	0.082	0.080	0.079	0	0	1
261530001	1	Seney	Schoolcraft	2019	245	245	0.077	0.068	0.066	0.063	0	0	0
261610008	1	Ypsilanti	Washtenaw	2019	245	245	0.087	0.076	0.071	0.071	0	0	0
261630001	2	Allen Park	Wayne	2019	342	365	0.072	0.072	0.069	0.067	0	0	2
261630019	2	Detroit-E. 7 Mile	Wayne	2019	242	245	0.083	0.081	0.081	0.077	0	0	0

* Indicates site was moved from Lansing to Lansing-Filley St.

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O₃ (8-hour) measured in ppm

Site ID	POC	City	County	Year	% OBS	Valid Days Measured	Highest Value	2 nd Highest Value	3 rd Highest Value	4 th Highest Value	Day Max > 0.070
260050003	1	Holland	Allegan	2019	100	245	0.075	0.073	0.072	0.071	4
260190003	1	Benzonia	Benzie	2019	97	238	0.068	0.060	0.059	0.057	0
260210014	1	Coloma	Berrien	2019	100	245	0.074	0.071	0.069	0.066	2
260270003	2	Cassopolis	Cass	2019	100	245	0.067	0.065	0.064	0.064	0
260370002	1	Rose Lake 2	Clinton	2019	94	230	0.060	0.058	0.055	0.055	0
260490021	1	Flint	Genesee	2019	99	243	0.061	0.061	0.061	0.060	0
260492001	1	Otisville	Genesee	2019	98	241	0.062	0.062	0.060	0.060	0
260630007	1	Harbor Beach	Huron	2019	100	245	0.067	0.067	0.062	0.060	0
260650018	1	Lansing-Filley St.	Ingham	2019	100	245	0.057	0.057	0.057	0.055	0
260770008	1	Kalamazoo	Kalamazoo	2019	98	239	0.065	0.064	0.062	0.061	0
260810020	1	Grand Rapids	Kent	2019	96	352	0.067	0.067	0.066	0.065	0
260810022	1	Evans	Kent	2019	99	243	0.065	0.064	0.063	0.060	0
260910007	1	Tecumseh	Lenawee	2019	98	241	0.063	0.062	0.062	0.059	0
260990009	1	New Haven	Macomb	2019	100	244	0.071	0.064	0.063	0.063	1
260991003	1	Warren	Macomb	2019	98	240	0.070	0.068	0.067	0.062	0
261010922	1	Manistee	Manistee	2019	98	239	0.071	0.062	0.062	0.062	1
261050007	1	Scottville	Mason	2019	100	245	0.059	0.058	0.057	0.057	0
261130001	1	Houghton Lake	Missaukee	2019	98	239	0.059	0.059	0.058	0.058	0
261210039	1	Muskegon	Muskegon	2019	99	243	0.080	0.069	0.068	0.068	1
261250001	2	Oak Park	Oakland	2019	100	245	0.077	0.072	0.067	0.066	2
261390005	1	Jenison	Ottawa	2019	100	245	0.070	0.066	0.066	0.065	0
261470005	1	Port Huron	St. Clair	2019	96	236	0.073	0.072	0.072	0.070	3
261530001	1	Seney	Schoolcraft	2019	100	245	0.067	0.061	0.060	0.059	0
261610008	1	Ypsilanti	Washtenaw	2019	100	245	0.064	0.062	0.062	0.060	0
261630001	2	Allen Park	Wayne	2019	92	337	0.063	0.063	0.062	0.062	0
261630019	2	Detroit-E. 7 Mile	Wayne	2019	98	240	0.074	0.074	0.073	0.068	3

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PM_{2.5} (24-hour) FRM measured in µg/m³ at local conditions

Site ID	POC	Monitor	City	County	Year	# OBS	Highest Value	2 nd Highest Value	3 rd Highest Value	4 th Highest Value	98%	Wtd. Arith. Mean
260050003	1	FRM	Holland	Allegan	2019	106	29.7	21.2	18.2	17.8	18.2	7.15
260170014	1	FRM	Bay City	Bay	2019	120	27.2	24.2	17.5	17.2	17.5	6.78
260490021	1	FRM	Flint	Genesee	2019	116	20.2	18.4	17.5	16.5	17.5	6.81
260650018	1	FRM	Lansing-Filley St.	Ingham	2019	54	23.7	22.3	20.9	19.0	22.3	7.27*
260770008	1	FRM	Kalamazoo	Kalamazoo	2019	106	25.8	17.8	16.9	16.7	16.9	7.35*
260770008	2	FRM	Kalamazoo	Kalamazoo	2019	60	28.3	17.8	16.7	15.8	17.8	6.83
260810020	1	FRM	Grand Rapids-Monroe	Kent	2019	113	26.5	25.1	23.2	21.0	23.2	8.20
260810020	2	FRM	Grand Rapids-Monroe	Kent	2019	54	25.1	18.9	17.9	14.8	18.9	7.20*
260990009	1	FRM	New Haven	Macomb	2019	119	28.5	20.0	18.7	18.7	18.7	7.30
261010922	1	FRM	Manistee	Manistee	2019	98	20.5	14.9	14.2	13.9	14.9	4.93*
261250001	1	FRM	Oak Park	Oakland	2019	115	28.3	21.7	18.2	17.8	18.2	7.74
261390005	1	FRM	Jenison	Ottawa	2019	114	30.1	29.4	24.4	22.9	24.4	8.30
261470005	1	FRM	Port Huron	St. Clair	2019	117	27.4	21.6	20.3	19.5	20.3	7.64
261610008	1	FRM	Ypsilanti	Washtenaw	2019	117	29.4	22.7	21.2	20.2	21.2	8.33
261610008	2	FRM	Ypsilanti	Washtenaw	2019	58	29.7	22.9	15.6	15.3	22.9	7.57
261630001	1	FRM	Allen Park	Wayne	2019	227	29.1	26.9	22.3	22.1	22.0	8.69
261630015	1	FRM	Detroit-W. Fort St.	Wayne	2019	103	29.9	23.0	22.5	20.7	22.5	10.76*
261630019	1	FRM	Detroit-E. 7 Mile	Wayne	2019	115	28.2	20.6	19.6	18.1	19.6	7.61
261630033	1	FRM	Dearborn	Wayne	2019	118	34.6	24.0	24.0	22.4	24.0	9.90
261630033	2	FRM	Dearborn	Wayne	2019	55	34.7	24.2	20.7	19.8	24.2	9.08
261630095	1	FRM	Livonia-Roadway	Wayne	2019	59	30.5	22.8	19.5	15.1	22.8	8.36*

*Indicates the site does not have a complete year of data.

PM_{2.5} (24-hour) FEM measured in µg/m³ at local conditions

Site ID	POC	Monitor	City	County	Year	# OBS	Highest Value	2 nd Highest Value	3 rd Highest Value	4 th Highest Value	98%	Wtd. Arith. Mean
260490021	3	BAM	Flint	Genesee	2019	318	22.2	20.4	19.3	19.1	18.6	7.33*
260910007	3	BAM	Tecumseh	Lenawee	2019	358	30.8	28.9	25.4	25.3	22.7	8.44
261130001	3	BAM	Houghton Lake	Missaukee	2019	327	21.7	21.0	20.9	20.7	15.1	5.79*
261530001	3	BAM	Seney	Schoolcraft	2019	347	23.2	21.1	18.1	16.8	14.1	4.25
261610008	3	BAM	Ypsilanti	Washtenaw	2019	184	26.2	24.8	23.8	22.0	22.0	8.60*

* Indicates the site does not have a complete year of data.

PM_{2.5} Continuous, Non-Regulatory (1-Hour) Measured in µg/m³

Site ID	POC	Monitor	City	County	Year	# OBS	Highest Value	2 nd Highest Value	3 rd Highest Value	4 th Highest Value	Wtd. Arith. Mean
260170014	3	TEOM	Bay City	Bay	2019	6955	50.0	39.0	35.0	34.0	6.66
260650012	3	TEOM	Lansing-Filley St.	Ingham	2019	7774	63.8	63.7	60.3	45.6	7.43
260770008	3	TEOM	Kalamazoo	Kalamazoo	2019	7722	53.0	42.0	40.0	36.0	7.54
260810020	3	TEOM	Grand Rapids-Monroe	Kent	2019	7461	155.0	69.0	56.0	45.0	7.58
261470005	3	TEOM	Port Huron	St. Clair	2019	7790	56.0	53.0	45.0	44.0	7.49
261630001	3	TEOM	Allen Park	Wayne	2019	6415	62.0	53.0	53.0	51.0	8.49
261630015	3	BAM	Detroit-W. Fort St.	Wayne	2019	8345	270.6	227.9	188.8	183.8	12.60
261630033	3	TEOM	Dearborn	Wayne	2019	6502	72.0	66.0	52.0	45.0	9.54*
261630097	3	TEOM	NMH 48217	Wayne	2019	6472	75.7	71.2	71.2	65.7	8.33*
261630098	3	BAM	GHB-DP4th Precinct	Wayne	2019	8727	157.9	137.0	128.3	104.6	10.27
261630099	3	BAM	GHB-Trinity	Wayne	2019	8680	157.9	137.0	128.3	104.6	11.35
261630100	3	BAM	GHB-Military Park	Wayne	2019	8731	388.0	263.6	171.3	151.3	11.04

* Indicates the site does not have a complete year of data.

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PM10 (24-hour) measured in $\mu\text{g}/\text{m}^3$

Site ID	POC	Monitor	City	County	Year	# OBS	# Req.	ValidDays	% OBS	Highest Value	2 nd Highest Value	3 rd Highest Value	4 th Highest Value	Wtd Arith Mean
260810020	1	GRAV	Grand Rapids-Monroe	Kent	2019	57	61	57	93	104	49	43	35	15.9*
261390005	1	GRAV	Jenison	Ottawa	2019	59	61	59	97	180	104	68	50	17.2
261630001	1	GRAV	Allen Park	Wayne	2019	59	61	57	93	29	24	24	24	13.1*
261630015	1	GRAV	Detroit-W. Fort St.	Wayne	2019	60	61	60	98	67	65	63	55	25.3
261630033	1	GRAV	Dearborn	Wayne	2019	60	61	56	92	45	44	41	38	20.5
261630033	9	GRAV	Dearborn	Wayne	2019	34	30	27	90	44	38	35	33	20.4*

PM₁₀ TEOM (1-hour) measured in $\mu\text{g}/\text{m}^3$

Site ID	POC	Monitor	City	County	Year	# OBS	Highest Value	2 nd Highest Value	3 rd Highest Value	4 th Highest Value	Wtd. Arith. Mean
261630033	3	TEOM	Dearborn	Wayne	2019	8457	48	47	42	42	17.5

PM_{10-2.5} (24-hour) measured in $\mu\text{g}/\text{m}^3$

Site ID	Monitor	City	County	Year	# OBS	Highest Value	2 nd Highest Value	3 rd Highest Value	4 th Highest Value	Wtd. Arith. Mean
260810020	GRAV	Grand Rapids-Monroe	Kent	2019	94	21.7	21.3	15.8	14.3	6.46*
261630001	GRAV	Allen Park	Wayne	2019	103	25.6	19.5	17.0	16.2	7.33*

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SO₂ measured in ppb

Site ID	POC	City	County	Year	# OBS	1-hr Highest Value	1-hr 2 nd Highest Value	99 th %ile: 1-hr	24-hr Highest Value	24-hr 2 nd Highest Value	OBS >0.5	Arith Mean
260650018	1	Lansing-Filley St.	Ingham	2019	8363	4.2	3.9	3.5	1.8	1.7	0	0.84
260810020	2	Grand Rapids-Monroe	Kent	2019	8299	4.4	4.4	2.4	1.0	0.9	0	0.40
261150006	1	Sterling State Park	Monroe	2019	8229	10.9	9.6	8.8	3.4	3.0	0	0.64
261390011	1	West Olive	Ottawa	2019	8275	93.1	18.6	13.6	6.2	5.3	0	0.58
261470005	1	Port Huron	St. Clair	2019	8353	73.4	71.9	63.9	16.3	14.4	0	2.52
261630001	1	Allen Park	Wayne	2019	8227	33.0	26.2	21.5	4.8	4.1	0	0.66
261630015	1	Detroit-W. Fort St.	Wayne	2019	8330	68.2	65.3	60.7	16.1	15.7	0	3.03
261630097	1	NMH 48217	Wayne	2019	8316	34.8	33.2	26.6	7.3	7.1	0	0.97
261630098	1	GHB-DP4th Precinct	Wayne	2019	8324	28.6	26.2	18.9	5.9	5.4	0	1.07
261630099	1	GHB-Trinity	Wayne	2019	8365	46.2	42.0	26.0	11.5	6.6	0	1.15
261630100	1	GHB-Military Park	Wayne	2019	8352	37.4	34.2	31.9	12.2	9.4	0	0.81

APPENDIX B: 2019 AIR TOXICS MONITORING SUMMARY FOR METALS, VOCS, CARBONYL COMPOUNDS, PAHS, HEXAVALENT CHROMIUM & SPECIATED PM_{2.5}

Appendix B provides summary statistics of ambient air concentrations of various substances monitored in Michigan during 2019. At each monitoring site, air samples were taken over a 24-hour period (midnight to midnight). These air samples represent the average air concentration during that 24-hour period. The frequency of air samples collected is typically done once every 6 or 12 days. Sometimes the sampled air concentration is lower than the laboratory's analytical method detection level (MDL). When the concentration is lower than the MDL, two options are used to estimate the air concentration. The calculation of the minimum average ("Average (ND=0)") uses 0.0 µg/m³ for a value less than the MDL. In the calculation of the maximum average ("Average (ND=MDL/2)") the MDL divided by 2 (i.e., ½ the MDL) is substituted for air concentrations less than the MDL.

Table B shows the monitoring stations and what types of air toxics were monitored at each station in 2019. The following terms and acronyms are used in **Appendix B-1** and **B-2** data tables:

- Num Obs: Number of Observations (number of daily air samples taken during the year)
- Obs>MDL: Number of daily samples above the MDL
- Average (ND=0): average air concentration in 2019, assuming daily samples below MDL were equal to 0.0 µg/m³.
- Average (ND=MDL/2): average air concentration in 2019, assuming daily samples below MDL were equal to one half the MDL.
- MDL: Analytical MDL in units of µg/m³
- Max1: Highest daily air concentration during 2019
- Max2: Second highest daily air concentration during 2019
- Max3: Third highest daily air concentration during 2019
- µg/m³: Micrograms per cubic meter (1,000,000 µg = 1 g)

Table B: 2019 Toxics Sampling Sites

SITE NAME	VOC	Carbonyl	PAHs	Metals TSP	Metals PM₁₀	Speciated PM_{2.5}
Allen Park				x	x	x
Dearborn	x	x	x	x	x	x
Detroit-W. Fort St.	x	x		x		x
Detroit-W. Jefferson				x		
Grand Rapids-Monroe				x		x
Belding-Merrick St.				x		
NMH 48217				x		
Port Huron-Rural St.				x		
River Rouge		x		x		
GHB-DP4th Precinct				x		
GHB-Military Park				x		
GHB-Trinity				x		

VOC = volatile organic compound; PAHs = polycyclic aromatic hydrocarbon; TSP = total suspended particulate

PM₁₀ = particulate matter with aerodynamic diameter less than 10 µm; Mn = manganese.

APPENDIX B-1 DATA TABLES

Allen Park (261630001) Concentrations in micrograms per cubic meter ($\mu\text{g}/\text{m}^3$)

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Arsenic (Tsp) Stp	60	60	0.00109	0.00109	0.0000342	0.00458	0.00304	0.00298
Arsenic Pm10 Stp	30	30	0.000687	0.000687	0.000033	0.00404	0.00123	0.00119
Cadmium (Tsp) Stp	60	60	0.000119	0.000119	0.0000161	0.00035	0.00032	0.00026
Cadmium Pm10 Stp	30	30	0.000166	0.000166	0.0000133	0.00077	0.00036	0.00033
Lead (Tsp) Lc Frm/Fem	60	60	0.00306	0.00306		0.0067	0.00655	0.00595
Lead Pm10 Lc	30	30	0.00182	0.00182		0.0036	0.0033	0.00307
Manganese (Tsp) Stp	60	60	0.0185	0.0185	0.000614	0.0504	0.0421	0.0374
Manganese Pm10 Stp	28	28	0.00795	0.00795	0.000181	0.0241	0.0174	0.0163
Nickel (Tsp) Stp	60	60	0.00116	0.00116	0.000592	0.00597	0.00292	0.00263
Nickel Pm10 Stp	30	30	0.000739	0.000739	0.000542	0.00123	0.00113	0.00105

Dearborn (261630033) Concentrations in micrograms per cubic meter ($\mu\text{g}/\text{m}^3$)

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
1,1,2,2-Tetrachloroethane	58	8	0.00661	0.0516	0.105	0.0748	0.0645	0.0597
1,1,2-Trichloroethane	58	2	0.000216	0.0302	0.0622	0.00655	0.006	0
1,1-Dichloroethane	58	5	0.000705	0.0143	0.0296	0.0146	0.00809	0.00688
1,1-Dichloroethylene	58	0	0	0.0246	0.0492	0	0	0
1,2,4-Trichlorobenzene	58	18	0.00907	0.292	0.893	0.0423	0.0416	0.0356
1,2,4-Trimethylbenzene	58	58	0.927	0.927	0.125	4.61	4.21	3.52
1,2-Dichlorobenzene	58	8	0.000674	0.0768	0.175	0.00541	0.00541	0.00481
1,2-Dichloropropane	58	3	0.000971	0.0252	0.0513	0.0226	0.018	0.0157
1,3,5-Trimethylbenzene	58	58	0.272	0.272	0.0539	1.41	1.23	1.18
1,3-Butadiene	58	57	0.0487	0.0489	0.0243	0.182	0.124	0.0943
1,3-Dichlorobenzene	58	2	0.00106	0.074	0.151	0.0583	0.00301	0
1,4-Dichlorobenzene	58	21	0.0179	0.0752	0.168	0.24	0.155	0.0848
2,5-Dimethylbenzaldehyde	17	0	0	0.00339	0.00678	0	0	0
9-Fluorenone (Tsp) Stp	13	13	0.000976	0.000976	4.04E-05	0.00261	0.00138	0.00136
Acenaphthene (Tsp) Stp	59	56	0.0065	0.0065	0.000132	0.0308	0.0256	0.0248
Acenaphthylene (Tsp) Stp	59	55	0.000308	0.000309	8.72E-06	0.00129	0.00116	0.000881
Acetaldehyde	65	65	1.94	1.94	0.0345	2.96	2.91	2.89
Acetone	65	65	2.78	2.78	0.507	6.73	6.08	5.67
Acetonitrile	58	58	0.496	0.496	0.105	1.41	1.35	1.15
Acetylene	61	56	0.61	0.612	0.0883	3.56	2.85	1.94
Acrylonitrile	58	16	0.0382	0.0554	0.0475	0.243	0.194	0.193
Anthracene (Tsp) Stp	59	58	0.000376	0.000376	3.47E-05	0.00184	0.00171	0.0011
Arsenic (Tsp) Stp	91	91	0.00195	0.00195	4.50E-05	0.0234	0.0175	0.0108
Arsenic Pm10 Stp	94	94	0.00111	0.00111	5.35E-05	0.0029	0.00286	0.0028
Barium (Tsp) Stp	91	91	0.0311	0.0311	0.00645	0.265	0.248	0.201
Barium PM ₁₀ Stp	90	90	0.0112	0.0112	5.81E-04	0.0225	0.0215	0.0207
Benzaldehyde	65	65	0.171	0.171	0.00788	0.42	0.405	0.369
Benzene	58	58	0.589	0.589	0.0314	1.35	1.23	1.04
Benzo[A]Anthracene (Tsp) Stp	59	59	0.000172	0.000172	9.32E-06	0.000802	0.000686	0.000539
Benzo[A]Pyrene (Tsp) Stp	59	59	0.000141	0.000141	1.43E-05	0.000375	0.000374	0.000356
Benzo[B]Fluoranthene (Tsp) Stp	59	58	0.000473	0.000473	8.32E-06	0.00204	0.00164	0.00137
Benzo[E]Pyrene (Tsp) Stp	59	59	0.000273	0.000273	5.51E-06	0.00108	0.00105	0.000808
Benzo[G,H,I]Perylene (Tsp) Stp	59	56	0.000209	0.000209	6.70E-06	0.000955	0.000539	0.000482

Dearborn (261630033) Concentrations in micrograms per cubic meter ($\mu\text{g}/\text{m}^3$) - continued

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Benzo[K]Fluoranthene (Tsp) Stp	59	58	0.000137	0.000137	4.21E-06	0.00056	0.000472	0.000383
Beryllium (Tsp) Stp	91	91	0.000119	0.000119	2.96E-05	0.00121	0.00117	0.00098
Beryllium PM ₁₀ Stp	95	88	1.89E-05	1.92E-05	8.86E-06	7.00E-05	7.00E-05	6.00E-05
Bromochloromethane	61	0	0	0.0249	0.0524	0	0	0
Bromodichloromethane	58	8	0.00617	0.0382	0.0744	0.0898	0.059	0.0583
Bromoform	58	20	0.00606	0.0431	0.124	0.0403	0.0279	0.0258
Bromomethane	58	49	0.0703	0.0733	0.0384	0.905	0.505	0.387
Butyraldehyde	63	63	0.882	0.882	0.0546	3.3	2.89	2.84
Cadmium (Tsp) Stp	91	91	0.000373	0.000373	2.25E-05	0.00356	0.00269	0.00264
Cadmium PM ₁₀ Stp	95	95	0.000216	0.000216	1.68E-05	0.00115	0.00112	0.0011
Carbon Disulfide	61	58	0.0708	0.0708	0.13	0.433	0.258	0.171
Carbon Tetrachloride	58	58	0.625	0.625	0.0686	1.03	0.937	0.818
Chlorobenzene	58	19	0.00596	0.0209	0.0453	0.0281	0.0249	0.0239
Chloroethane	58	32	0.02	0.0295	0.0425	0.117	0.0826	0.0602
Chloroform	58	58	0.817	0.817	0.0405	1.42	1.22	1.18
Chloromethane	58	58	1.21	1.21	0.0624	1.61	1.56	1.48
Chloroprene	61	0	0	0.0281	0.0592	0	0	0
Chromium (Tsp) Stp	91	91	0.00944	0.00944	0.00146	0.0972	0.0887	0.0779
Chromium PM ₁₀ Stp	95	95	0.00235	0.00235	0.00158	0.0048	0.00441	0.00425
Chrysene (Tsp) Stp	59	59	0.00041	0.00041	6.84E-06	0.0017	0.00137	0.00135
Cis-1,2-Dichloroethene	58	0	0	0.0666	0.133	0	0	0
Cis-1,3-Dichloropropene	58	0	0	0.0225	0.045	0	0	0
Cobalt (Tsp) Stp	91	91	0.000324	0.000324	3.96E-05	0.00299	0.00277	0.00229
Cobalt PM ₁₀ Stp	95	91	9.25E-05	9.32E-05	3.07E-05	0.00023	0.00021	0.0002
Copper (Tsp) Stp	91	91	0.0396	0.0396	0.00152	0.397	0.231	0.224
Copper PM ₁₀ Stp	95	95	0.0338	0.0338	0.000631	0.125	0.107	0.1
Coronene (Tsp) Stp	59	59	0.00011	0.00011	3.46E-06	0.000579	0.000229	0.000227
Crotonaldehyde	61	60	0.152	0.152	0.0102	0.876	0.735	0.62
Cyclopenta[Cd]Pyrene (Tsp) Stp	13	13	3.81E-05	3.81E-05	4.16E-06	0.00015	9.48E-05	3.82E-05
Dibenzo[A,H]Anthracene (Tsp) Stp	59	44	3.18E-05	3.35E-05	1.50E-05	0.000134	0.00011	8.93E-05
Dibromochloromethane	58	5	0.00113	0.0439	0.0947	0.0281	0.0162	0.0136
Dichlorodifluoromethane	58	58	2.31	2.31	0.183	2.97	2.73	2.67
Dichloromethane	58	58	5.39	5.39	0.173	58.4	15.4	13.5
Ethyl Acrylate	58	1	0.000498	0.00801	0.0153	0.0289	0	0
Ethylbenzene	58	58	0.368	0.368	0.073	2.62	0.869	0.79
Ethylene Dibromide	58	0	0	0.0507	0.101	0	0	0
Ethylene Dichloride	58	57	0.0764	0.0767	0.0348	0.108	0.105	0.105
Fluoranthene (Tsp) Stp	59	59	0.00447	0.00447	3.58E-05	0.0228	0.0202	0.0176

Dearborn (261630033) Concentrations in micrograms per cubic meter ($\mu\text{g}/\text{m}^3$) - continued

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Fluorene (Tsp) Stp	59	59	0.00594	0.00594	0.000135	0.0253	0.0238	0.023
Formaldehyde	65	65	2.86	2.86	0.0537	6.95	6.05	5.96
Freon 114	61	58	0.108	0.108	0.072	0.146	0.131	0.131
Hexachlorobutadiene	61	18	0.006	0.178	0.602	0.0277	0.0267	0.0224
Hexanaldehyde	64	62	0.0925	0.0927	0.0125	0.245	0.245	0.208
Indeno[1,2,3-Cd]Pyrene (Tsp) Stp	59	59	0.000215	0.000215	1.64E-05	0.00059	0.000503	0.000469
Iron (Tsp) Stp	91	91	2.05	2.05	0.023	17.1	17.1	17
Iron Pm10 Stp	95	95	0.571	0.571	0.00862	1.54	1.52	1.29
Isovaleraldehyde	17	0	0	0.0162	0.0324	0	0	0
Lead (Tsp) Lc Frm/Fem	90	90	0.00862	0.00862		0.043	0.0384	0.0267
Lead Pm10 Lc	95	95	0.00667	0.00667		0.0435	0.0421	0.0221
M/P Xylene	58	58	1.17	1.17	0.124	9.21	2.83	2.81
Manganese (Tsp) Stp	91	91	0.124	0.124	0.000795	1.19	1.08	1.01
Manganese PM ₁₀ Stp	95	95	0.0287	0.0287	0.000273	0.101	0.082	0.0761
Methyl Chloroform	58	29	0.00871	0.029	0.0813	0.03	0.0273	0.0256
Methyl Ethyl Ketone	62	62	0.396	0.396	0.317	0.931	0.869	0.828
Methyl Isobutyl Ketone	58	58	0.301	0.301	0.0418	0.848	0.75	0.701
Methyl Methacrylate	61	16	0.00569	0.0948	0.266	0.0565	0.0459	0.0438
Methyl Tert-Butyl Ether	58	1	0.000212	0.0283	0.0568	0.0123	0	0
Molybdenum (Tsp) Stp	91	91	0.00203	0.00203	0.000142	0.0373	0.0287	0.0136
Molybdenum PM ₁₀ Stp	95	95	0.000929	0.000929	0.000201	0.00395	0.0038	0.00254
Naphthalene (Tsp) Stp	59	59	0.0687	0.0687	0.00221	0.181	0.161	0.148
Nickel (Tsp) Stp	91	91	0.00347	0.00347	0.000767	0.0723	0.0281	0.0182
Nickel PM ₁₀ Stp	93	93	0.00135	0.00135	0.000986	0.00786	0.00287	0.00258
N-Octane	61	58	0.119	0.119	0.109	0.279	0.266	0.255
O-Xylene	58	58	0.396	0.396	0.0846	2.26	0.921	0.829
Perylene (Tsp) Stp	59	35	1.74E-05	1.93E-05	1.05E-05	8.55E-05	6.93E-05	6.87E-05
Phenanthrene (Tsp) Stp	59	59	0.0115	0.0115	0.000224	0.0477	0.0449	0.0406
Propionaldehyde	65	65	0.409	0.409	0.0693	1.02	0.805	0.745
Propylene	61	58	0.48	0.48	0.168	1.23	1.17	1.04
Pyrene (Tsp) Stp	59	59	0.00228	0.00228	5.35E-05	0.00916	0.00811	0.00811
Retene (Tsp) Stp	13	13	0.000192	0.000192	0.000347	0.000422	0.000293	0.000282
Styrene	58	57	0.533	0.533	0.0643	4.98	1.77	1.56
Tert-Butyl Ethyl Ether	61	2	0.000178	0.0144	0.0309	0.00627	0.0046	0
Tetrachloroethylene	58	58	0.25	0.25	0.0812	1.42	1.35	1.04
Tolualdehydes	5	2	0.0876	0.0974	0.0323	0.312	0.126	0
Toluene	58	58	0.987	0.987	0.0686	2.85	2.38	2.25
Trans-1,2-Dichloroethylene	58	16	0.00446	0.0211	0.046	0.103	0.0214	0.019

Dearborn (261630033) Concentrations in micrograms per cubic meter ($\mu\text{g}/\text{m}^3$) - continued

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Trans-1,3-Dichloropropene	58	1	0.00061	0.0314	0.0626	0.0354	0	0
Trichloroethylene	58	29	0.0159	0.0324	0.0661	0.0639	0.0586	0.058
Trichlorofluoromethane	58	58	1.25	1.25	0.0676	1.64	1.59	1.51
Valeraldehyde	64	63	0.0792	0.0793	0.012	0.183	0.166	0.165
Vanadium (Tsp) Stp	91	91	0.00437	0.00437	6.44E-05	0.0538	0.0376	0.0338
Vanadium PM ₁₀ Stp	94	94	0.00113	0.00113	5.38E-05	0.00843	0.00248	0.00246
Vinyl Chloride	58	3	0.000366	0.0127	0.0261	0.0133	0.00511	0.00281
Zinc (Tsp) Stp	91	91	0.183	0.183	0.00509	2.12	0.984	0.892
Zinc PM ₁₀ Stp	94	94	0.0935	0.0935	0.00199	0.527	0.394	0.388

Detroit-W. Fort St. (N. Delray-SWHS) (261630015) Concentrations in micrograms per cubic meter ($\mu\text{g}/\text{m}^3$)

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
1,1,2,2-Tetrachloroethane	29	0	0	0.161	0.323	0	0	0
1,1,2-Trichloroethane	29	0	0	0.049	0.0981	0	0	0
1,1-Dichloroethane	29	0	0	0.0857	0.171	0	0	0
1,1-Dichloroethylene	29	0	0	0.0778	0.156	0	0	0
1,2,4-Trichlorobenzene	29	0	0	0.693	1.39	0	0	0
1,2,4-Trimethylbenzene	29	1	0.0203	0.169	0.307	0.59	0	0
1,2-Dichlorobenzene	29	0	0	0.184	0.369	0	0	0
1,2-Dichloropropane	29	0	0	0.55	1.1	0	0	0
1,3,5-Trimethylbenzene	29	0	0	0.12	0.24	0	0	0
1,3-Butadiene	29	0	0	0.06	0.12	0	0	0

Detroit-W. Fort St. (N. Delray-SWHS) (261630015) Concentrations in micrograms per cubic meter ($\mu\text{g}/\text{m}^3$)

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
1,3-Dichlorobenzene	29	0	0	0.141	0.283	0	0	0
1,4-Dichlorobenzene	29	0	0	0.193	0.386	0	0	0
2,2,4-Trimethylpentane	29	0	0	0.0734	0.147	0	0	0
Acetaldehyde	30	30	2.06	2.06		4.26	4.06	2.9
Acetone	30	30	2.95	2.95		5.91	5.29	4.26
Acetonitrile	29	19	2.68	2.77	0.5	44	20	1.3
Acrolein - Unverified	30	28	0.0762	0.0816		0.129	0.122	0.115
Acrylonitrile	29	0	0	0.398	0.796	0	0	0
Arsenic (Tsp) Stp	61	61	0.0015	0.0015	0.0000345	0.00497	0.00402	0.00364
Benzaldehyde	30	30	0.27	0.27		0.616	0.497	0.48
Benzene	29	26	0.636	0.64	0.0951	2.7	1.2	1.1
Bromodichloromethane	29	0	0	0.075	0.15	0	0	0
Bromoform	29	0	0	0.174	0.349	0	0	0
Bromomethane	29	0	0	0.111	0.221	0	0	0
Cadmium (Tsp) Stp	61	61	0.000266	0.000266	0.0000163	0.00259	0.00077	0.00065
Carbon Tetrachloride	29	0	0	0.114	0.228	0	0	0
Chlorobenzene	29	0	0	0.103	0.207	0	0	0
Chloroethane	29	0	0	0.06	0.12	0	0	0
Chloroform	29	0	0	0.06	0.12	0	0	0
Chloromethane	29	28	1.34	1.34	0.16	2.5	2.3	2.2
Cis-1,2-Dichloroethene	29	0	0	0.0631	0.126	0	0	0
Cis-1,3-Dichloropropene	29	0	0	0.065	0.13	0	0	0
Crotonaldehyde	30	0	0			0	0	0
Dibromochloromethane	29	0	0	0.148	0.296	0	0	0
Dichlorodifluoromethane	29	28	2.24	2.25	0.251	2.7	2.6	2.5
Dichloromethane	29	11	0.215	0.323	0.347	1.1	0.79	0.74
Ethylbenzene	29	3	0.0641	0.195	0.293	0.76	0.6	0.5
Ethylene Dibromide	29	0	0	0.149	0.297	0	0	0
Ethylene Dichloride	29	0	0	0.0964	0.193	0	0	0
Formaldehyde	30	30	3.27	3.27		6.14	5.48	5.27
Hexanaldehyde	30	30	0.395	0.395		0.811	0.678	0.678
Lead (Tsp) Lc Frm/Fem	62	59	0.0112	0.0112		0.0626	0.0397	0.0358
M/P Xylene	29	9	0.32	0.574	0.737	1.3	1.3	1.2
Manganese (Tsp) Stp	62	62	0.0587	0.0587	0.000612	0.2	0.197	0.168
Manganese PM ₁₀ Stp	28	28	0.0257	0.0257	0.000181	0.0804	0.0781	0.0565
Methacrolein	30	30	0.134	0.134		0.354	0.341	0.21
Methyl Chloroform	29	0	0	0.106	0.211	0	0	0
Methyl Ethyl Ketone	29	3	0.145	0.638	1.1	1.5	1.5	1.2
Methyl Isobutyl Ketone	29	0	0	0.432	0.864	0	0	0
Methyl Tert-Butyl Ether	29	1	0.0621	0.154	0.191	1.8	0	0

Detroit-W. Fort St. (N. Delray-SWHS) (261630015) -continued

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
N-Hexane	29	17	0.404	0.422	0.087	1.4	1.2	1
Nickel (Tsp) Stp	61	61	0.003	0.003	0.000598	0.00761	0.00731	0.0058
O-Xylene	29	6	0.151	0.282	0.331	1.3	0.74	0.69
Propionaldehyde	30	30	0.406	0.406		0.909	0.833	0.731
Styrene	29	21	12.3	12.4	0.77	140	98	84
Tetrachloroethylene	29	23	3.2	3.22	0.233	25	15	13
Tolualdehydes	30	2	0.00368	0.0552		0.0603	0.0501	0
Toluene	29	26	0.915	0.938	0.443	1.8	1.7	1.7
Trans-1,2-Dichloroethylene	29	1	0.0414	0.114	0.15	1.2	0	0
Trans-1,3-Dichloropropene	29	1	0.0483	0.0917	0.0901	1.4	0	0
Trichloroethylene	29	1	0.0552	0.136	0.167	1.6	0	0
Trichlorofluoromethane	29	28	1.38	1.39	0.231	2.3	2.1	2
Valeraldehyde	30	30	0.366	0.366		0.757	0.718	0.686
Vinyl Chloride	29	1	0.0269	0.0897	0.13	0.78	0	0

Detroit, W. Jefferson, South Delray (261630027) Concentrations in micrograms per cubic meter ($\mu\text{g}/\text{m}^3$)

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Arsenic (Tsp) Stp	60	60	0.00171	0.00171	0.0000358	0.00499	0.00429	0.0036
Cadmium (Tsp) Stp	60	60	0.000317	0.000317	0.0000163	0.00312	0.0008	0.00068
Lead (Tsp) Lc Frm/Fem	61	60	0.0108	0.0108		0.046	0.0432	0.0265
Manganese (Tsp) Stp	60	60	0.151	0.151	0.000651	0.663	0.648	0.575
Nickel (Tsp) Stp	60	60	0.00301	0.00301	0.000628	0.00729	0.00718	0.00714

Port Huron-Rural St. (261470031), Speciated PM_{2.5} (µg/m³)

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Arsenic (Tsp) Stp	61	61	0.00111	0.00111	0.0000346	0.0118	0.00831	0.00512
Cadmium (Tsp) Stp	61	60	0.0002	0.0002	0.0000162	0.00112	0.00091	0.00085
Lead (Tsp) Lc Frm/Fem	91	91	0.0176	0.0176		0.122	0.114	0.067
Manganese (Tsp) Stp	61	61	0.00726	0.00726	0.000622	0.0268	0.024	0.0195
Nickel (Tsp) Stp	61	61	0.000881	0.000881	0.000599	0.0025	0.0019	0.00182

River Rouge (261630005) Concentrations in micrograms per cubic meter (µg/m³)

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Acetaldehyde	30	30	2.52	2.52		3.78	3.66	3.09
Acetone	30	30	2.75	2.75		5.85	5.02	4.15
Acrolein - Unverified	30	29	0.0786	0.0813		0.141	0.137	0.125
Arsenic (Tsp) Stp	61	61	0.00155	0.00155	0.0000348	0.0118	0.00813	0.00341
Benzaldehyde	30	30	0.165	0.165		0.547	0.299	0.281
Cadmium (Tsp) Stp	61	61	0.000315	0.000315	0.0000163	0.0016	0.00092	0.00086
Crotonaldehyde	30	0	0			0	0	0
Formaldehyde	30	30	3.37	3.37		6.58	6.47	5.38
Hexanaldehyde	30	30	0.211	0.211		0.774	0.526	0.469
Lead (Tsp) Lc Frm/Fem	62	61	0.00615	0.00615		0.0332	0.0213	0.0174
Manganese (Tsp) Stp	61	61	0.0438	0.0438	6.33E-04	0.152	0.105	0.0999
Methacrolein	30	30	0.15	0.15		0.474	0.378	0.238
Nickel (Tsp) Stp	61	61	0.00131	0.00131	0.000609	0.00298	0.00252	0.00233
Propionaldehyde	30	30	0.385	0.385		1.01	0.837	0.649
Tolualdehydes	30	5	0.0117	0.0699		0.0865	0.0774	0.0702
Valeraldehyde	30	30	0.18	0.18		0.799	0.395	0.336

Grand Rapids-Monroe St. (260810020) Concentrations in micrograms per cubic meter ($\mu\text{g}/\text{m}^3$)

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Arsenic (Tsp) Stp	61	61	0.000853	0.000853	0.0000335	0.00515	0.00219	0.00214
Cadmium (Tsp) Stp	61	61	0.0000782	0.0000782	0.0000163	0.00025	0.00021	0.00018
Lead (Tsp) Lc Frm/Fem	62	60	0.00373	0.00373		0.0451	0.0118	0.0101
Manganese (Tsp) Stp	61	61	0.0102	0.0102	0.000593	0.0271	0.0264	0.0251
Nickel (Tsp) Stp	61	61	0.000966	0.000966	0.000572	0.00515	0.00253	0.00219

Belding-Merrick St. (260670003) Concentrations in micrograms per cubic meter ($\mu\text{g}/\text{m}^3$)

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Arsenic (Tsp) Stp	61	61	0.00107	0.00107	0.0000348	0.00482	0.00394	0.00343
Cadmium (Tsp) Stp	61	61	0.00102	0.00102	0.0000161	0.0413	0.00392	0.00326
Lead (Tsp) Lc Frm/Fem	61	61	0.0304	0.0304		0.753	0.195	0.152
Manganese (Tsp) Stp	61	61	0.0061	0.0061	0.00062	0.0177	0.0118	0.0116
Nickel (Tsp) Stp	61	61	0.000653	0.000653	0.000598	0.00189	0.00148	0.00124

NMH 48217 (261630097) Concentrations in micrograms per cubic meter ($\mu\text{g}/\text{m}^3$)

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Arsenic (Tsp) Stp	61	61	0.001	0.001	0.0000334	0.00292	0.00273	0.00234
Cadmium (Tsp) Stp	61	61	0.000143	0.000143	0.000016	0.00144	0.00039	0.00034
Lead (Tsp) Lc Frm/Fem	61	61	0.00436	0.00436		0.0181	0.00984	0.00954
Manganese (Tsp) Stp	61	61	0.0199	0.0199	0.000604	0.0422	0.0394	0.0387
Nickel (Tsp) Stp	61	61	0.0016	0.0016	0.000583	0.0202	0.00901	0.00513

DP 4th Precinct (261630098) Concentrations in micrograms per cubic meter ($\mu\text{g}/\text{m}^3$)

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Arsenic (Tsp) Stp	60	60	0.00112	0.00112	0.0000354	0.00265	0.00233	0.00227
Cadmium (Tsp) Stp	60	60	0.000159	0.000159	0.0000162	0.00138	0.00034	0.00034
Lead (Tsp) Lc Frm/Fem	60	59	0.00732	0.00732		0.0203	0.0192	0.0179
Manganese (Tsp) Stp	60	60	0.0485	0.0485	0.00063	0.13	0.123	0.121
Nickel (Tsp) Stp	60	60	0.00207	0.00207	0.000607	0.00578	0.00555	0.00502

Military Park (261630100) Concentrations in micrograms per cubic meter ($\mu\text{g}/\text{m}^3$)

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Arsenic (Tsp) Stp	61	61	0.00122	0.00122	0.0000343	0.00276	0.00273	0.00263
Cadmium (Tsp) Stp	61	61	0.000235	0.000235	0.0000161	0.00142	0.00093	0.00072
Lead (Tsp) Lc Frm/Fem	61	61	0.0117	0.0117		0.0782	0.0678	0.0661
Manganese (Tsp) Stp	61	61	0.0456	0.0456	0.000619	0.15	0.134	0.132
Nickel (Tsp) Stp	61	61	0.00145	0.00145	0.000595	0.00369	0.00312	0.00282

Trinity (261630099) Concentrations in micrograms per cubic meter ($\mu\text{g}/\text{m}^3$)

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Arsenic (Tsp) Stp	61	61	0.00149	0.00149	0.0000341	0.00941	0.00391	0.00304
Cadmium (Tsp) Stp	61	61	0.000219	0.000219	0.0000161	0.00093	0.00053	0.00052
Lead (Tsp) Lc Frm/Fem	60	60	0.0145	0.0145		0.303	0.041	0.0285
Manganese (Tsp) Stp	61	61	0.08	0.08	0.000614	0.265	0.224	0.223
Nickel (Tsp) Stp	61	61	0.00271	0.00271	0.000592	0.00784	0.0076	0.00719

APPENDIX B-2 Data Tables

Allen Park (261630001), Speciated PM_{2.5} (µg/m³)

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Aluminum Pm2.5 Lc	119	87	0.0274	0.0274	0.0322	0.14	0.134	0.12
Ammonium Ion Pm2.5 Lc	119	118	0.525	0.525	0.0069	4.17	2.66	2.39
Antimony Pm2.5 Lc	119	71	0.00497	0.00497	0.0388	0.0333	0.0278	0.0247
Arsenic Pm2.5 Lc	119	54	0.0000371	0.000201	0.00186	0.0021	0.00011	0.00011
Barium Pm2.5 Lc	119	66	0.0105	0.0105	0.08	0.0535	0.0426	0.0423
Bromine Pm2.5 Lc	119	25	0.000387	0.00218	0.00454	0.00741	0.00654	0.00478
Cadmium Pm2.5 Lc	119	70	0.00421	0.00421	0.0158	0.0212	0.0212	0.0188
Calcium Pm2.5 Lc	119	119	0.089	0.089	0.00882	0.472	0.462	0.454
Cerium Pm2.5 Lc	119	57	0.00916	0.00916	0.0953	0.0639	0.0514	0.0482
Cesium Pm2.5 Lc	119	61	0.00805	0.00805	0.0537	0.0666	0.0547	0.0431
Chlorine Pm2.5 Lc	119	105	0.0203	0.0203	0.00433	0.918	0.325	0.0658
Chromium Pm2.5 Lc	119	97	0.00338	0.00338	0.00275	0.0309	0.0303	0.022
Cobalt Pm2.5 Lc	119	42	0.00031	0.00031	0.0033	0.00276	0.00252	0.00199
Copper Pm2.5 Lc	119	102	0.0074	0.0074	0.0113	0.0396	0.0335	0.0328
Ec Csn_Rev Unadjusted Pm2.5 Lc Tot	120	120	0.438	0.438	0.0117	1.5	1.46	1.03
Indium Pm2.5 Lc	119	59	0.00471	0.00487	0.038	0.0447	0.034	0.0281
Iron Pm2.5 Lc	119	119	0.0989	0.0989	0.0175	0.333	0.328	0.322
Lead Pm2.5 Lc	119	82	0.0038	0.0038	0.0122	0.024	0.0151	0.0147
Magnesium Pm2.5 Lc	119	72	0.0208	0.0238	0.0462	0.121	0.114	0.112
Manganese Pm2.5 Lc	119	103	0.00329	0.00329	0.00639	0.0132	0.0124	0.0109
Nickel Pm2.5 Lc	119	96	0.00124	0.00124	0.00186	0.0081	0.00795	0.00747
Oc Csn_Rev Unadjusted Pm2.5 Lc Tot	120	120	1.91	1.91	0.358	5.17	4.94	3.94
Phosphorus Pm2.5 Lc	119	112	0.000408	0.000484	0.00258	0.00675	0.00494	0.00416
Potassium Ion Pm2.5 Lc	119	119	0.0364	0.0364	0.0606	0.419	0.18	0.134
Potassium Pm2.5 Lc	119	119	0.0486	0.0486	0.00631	0.18	0.146	0.135
Rubidium Pm2.5 Lc	119	55	0.00075	0.00075	0.00887	0.00858	0.00612	0.00604
Selenium Pm2.5 Lc	119	74	0.001	0.00102	0.00526	0.00598	0.00589	0.00543
Silicon Pm2.5 Lc	119	112	0.0729	0.0729	0.0176	0.418	0.385	0.37
Silver Pm2.5 Lc	119	59	0.0038	0.0038	0.0164	0.0244	0.0203	0.0193
Sodium Ion Pm2.5 Lc	119	118	0.0599	0.0599	0.00879	2.56	0.84	0.489
Sodium Pm2.5 Lc	119	82	0.0624	0.0624	0.0915	0.591	0.506	0.372
Strontium Pm2.5 Lc	119	76	0.00112	0.00112	0.00722	0.00639	0.0061	0.00573
Sulfate Pm2.5 Lc	119	119	0.905	0.905	0.0217	2.78	2.65	2.17

Allen Park (261630001), Speciated PM_{2.5} (µg/m³) - cotinued

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Sulfur Pm2.5 Lc	119	119	0.335	0.335	0.00371	0.997	0.902	0.836
Tin Pm2.5 Lc	119	65	0.00477	0.00477	0.0488	0.0403	0.0265	0.0251
Titanium Pm2.5 Lc	119	98	0.00363	0.00363	0.0035	0.0146	0.0139	0.0135
Total Nitrate Pm2.5 Lc	119	119	1.56	1.56	0.0394	12.4	8.33	7.77
Vanadium Pm2.5 Lc	119	33	0.000176	0.00066	0.00134	0.00188	0.00187	0.00142
Zinc Pm2.5 Lc	119	119	0.0165	0.0165	0.00316	0.151	0.057	0.0459
Zirconium Pm2.5 Lc	119	70	0.004	0.004	0.0359	0.0281	0.0261	0.0238

Dearborn (261630033), Speciated PM_{2.5} (µg/m³)

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Aluminum Pm2.5 Lc	61	46	0.0336	0.0336	0.0322	0.255	0.122	0.122
Ammonium Ion Pm2.5 Lc	61	61	0.546	0.546	0.00684	2.4	2.33	1.57
Antimony Pm2.5 Lc	61	45	0.00674	0.00674	0.0388	0.0247	0.0212	0.018
Arsenic Pm2.5 Lc	61	26	2.03E-05	9.65E-05	0.00186	0.00011	0.00011	0.00006
Barium Pm2.5 Lc	61	35	0.0115	0.0115	0.0801	0.0679	0.056	0.0507
Bromine Pm2.5 Lc	61	25	0.000699	0.00204	0.00454	0.00927	0.00486	0.00413
Cadmium Pm2.5 Lc	61	33	0.00375	0.00375	0.0158	0.0176	0.0155	0.0143
Calcium Pm2.5 Lc	61	61	0.145	0.145	0.00887	0.864	0.836	0.624
Cerium Pm2.5 Lc	61	34	0.0127	0.0127	0.0954	0.079	0.0519	0.0505
Cesium Pm2.5 Lc	61	28	0.00574	0.00574	0.0538	0.036	0.0264	0.025
Chlorine Pm2.5 Lc	61	59	0.0391	0.0391	0.00433	0.271	0.222	0.177
Chromium Pm2.5 Lc	61	53	0.00259	0.00259	0.00276	0.0264	0.0128	0.00713
Cobalt Pm2.5 Lc	61	28	0.000569	0.000569	0.0033	0.00563	0.00336	0.00276
Copper Pm2.5 Lc	61	61	0.0259	0.0259	0.0114	0.0841	0.0711	0.0642
Ec Csn_Rev Unadjusted Pm2.5 Lc Tot	60	60	0.518	0.518	0.0117	1.17	1.17	1.01
Indium Pm2.5 Lc	61	38	0.00498	0.00498	0.0381	0.0266	0.0224	0.0179
Iron Pm2.5 Lc	61	61	0.359	0.359	0.0176	1.29	1.23	1.12
Lead Pm2.5 Lc	61	49	0.00614	0.00614	0.0122	0.0319	0.0188	0.0139
Magnesium Pm2.5 Lc	61	47	0.0387	0.041	0.0463	0.272	0.157	0.145
Manganese Pm2.5 Lc	61	57	0.0114	0.0114	0.0064	0.0421	0.0367	0.0347
Nickel Pm2.5 Lc	61	46	0.00137	0.00137	0.00186	0.0106	0.00729	0.00509
Oc Csn_Rev Unadjusted	60	60	2.1	2.1	0.356	4.6	4.36	4.29

Dearborn (261630033), Speciated PM_{2.5} (µg/m³) - continued

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Pm2.5 Lc Tot								
Phosphorus Pm2.5 Lc	61	57	0.000243	0.000343	0.00257	0.00605	0.00216	0.00141
Potassium Ion Pm2.5 Lc	61	61	0.0466	0.0466	0.0606	0.198	0.174	0.14
Potassium Pm2.5 Lc	61	61	0.0654	0.0654	0.00627	0.247	0.183	0.174
Rubidium Pm2.5 Lc	61	34	0.00128	0.00135	0.00888	0.00476	0.00473	0.00471
Selenium Pm2.5 Lc	61	42	0.0013	0.0013	0.00527	0.0042	0.00417	0.00393
Silicon Pm2.5 Lc	61	58	0.0889	0.0889	0.0177	0.706	0.361	0.345
Silver Pm2.5 Lc	61	36	0.00294	0.00294	0.0164	0.0158	0.0151	0.0124
Sodium Ion Pm2.5 Lc	61	61	0.0539	0.0539	0.00886	0.308	0.241	0.214
Sodium Pm2.5 Lc	61	48	0.0711	0.0711	0.0916	0.475	0.394	0.386
Strontium Pm2.5 Lc	61	33	0.0015	0.0015	0.00723	0.0178	0.0081	0.0077
Sulfate Pm2.5 Lc	61	61	1.15	1.15	0.0218	3.63	2.71	2.27
Sulfur Pm2.5 Lc	61	61	0.408	0.408	0.00372	1.16	1.02	0.889
Tin Pm2.5 Lc	61	35	0.00566	0.00566	0.0488	0.0339	0.0259	0.0256
Titanium Pm2.5 Lc	61	54	0.00462	0.00462	0.0035	0.0385	0.0166	0.0146
Total Nitrate Pm2.5 Lc	61	61	1.62	1.62	0.0393	12.3	7.23	5.74
Vanadium Pm2.5 Lc	61	20	0.000169	0.000619	0.00134	0.0018	0.00131	0.0011
Zinc Pm2.5 Lc	61	61	0.0667	0.0667	0.00317	0.475	0.3	0.297
Zirconium Pm2.5 Lc	61	35	0.00293	0.00293	0.0359	0.0183	0.0149	0.0105

Detroit, W Fort St. (N. Delray-SWHS) (261630015), Speciated PM_{2.5} (µg/m³)

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Aluminum Pm2.5 Lc	61	47	0.271	0.271	0.0322	11.2	0.818	0.605
Ammonium Ion Pm2.5 Lc	61	61	0.653	0.653	0.00684	4.71	2.7	2.39
Antimony Pm2.5 Lc	61	32	0.00571	0.00571	0.0388	0.0282	0.026	0.0246
Arsenic Pm2.5 Lc	61	24	0.0000193	0.0000955	0.00186	0.00011	0.00011	0.00006
Barium Pm2.5 Lc	61	37	0.0111	0.0111	0.0801	0.0527	0.0505	0.0487
Bromine Pm2.5 Lc	61	24	0.000897	0.00227	0.00454	0.0103	0.00743	0.00569
Cadmium Pm2.5 Lc	61	34	0.00463	0.00463	0.0158	0.0245	0.0245	0.0231
Calcium Pm2.5 Lc	61	61	0.0983	0.0983	0.00887	0.458	0.325	0.229
Cerium Pm2.5 Lc	61	23	0.00585	0.00585	0.0954	0.0434	0.0433	0.0296
Cesium Pm2.5 Lc	61	30	0.007	0.007	0.0538	0.056	0.0334	0.0314
Chlorine Pm2.5 Lc	61	56	0.0427	0.0427	0.00433	0.369	0.216	0.204
Chromium Pm2.5 Lc	61	52	0.00158	0.00158	0.00276	0.0105	0.00644	0.00516
Cobalt Pm2.5 Lc	61	22	0.000365	0.000365	0.0033	0.00401	0.00365	0.00182
Copper Pm2.5 Lc	61	60	0.00819	0.00819	0.0114	0.0368	0.021	0.0197
Ec Csn_Rev Unadjusted Pm2.5 Lc Tot	60	60	0.712	0.712	0.0117	1.53	1.52	1.49
Indium Pm2.5 Lc	61	31	0.00456	0.00456	0.0381	0.0251	0.021	0.0192
Iron Pm2.5 Lc	61	61	0.173	0.173	0.0175	0.684	0.576	0.507
Lead Pm2.5 Lc	61	50	0.00595	0.00595	0.0122	0.0368	0.0301	0.0156
Magnesium Pm2.5 Lc	61	30	0.0277	0.0324	0.0463	0.427	0.128	0.107
Manganese Pm2.5 Lc	61	57	0.00513	0.00513	0.0064	0.0199	0.0147	0.0146
Nickel Pm2.5 Lc	61	48	0.000974	0.000974	0.00186	0.00592	0.00384	0.00349
Oc Csn_Rev Unadjusted Pm2.5 Lc Tot	60	60	3.13	3.13	0.348	8.95	6.08	5.15
Phosphorus Pm2.5 Lc	61	58	0.000317	0.000394	0.00257	0.00343	0.00242	0.00224
Potassium Ion Pm2.5 Lc	61	61	0.187	0.187	0.0606	2.49	2.24	1.26
Potassium Pm2.5 Lc	61	60	0.209	0.209	0.00627	2.67	2.36	1.23
Rubidium Pm2.5 Lc	61	29	0.000929	0.000929	0.00887	0.00498	0.00483	0.00457

Detroit, W Fort St. (N. Delray-SWHS) (261630015), Speciated PM_{2.5} (µg/m³) - continued

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Selenium Pm2.5 Lc	61	40	0.00124	0.00124	0.00526	0.00511	0.00423	0.00421
Silicon Pm2.5 Lc	61	59	0.122	0.122	0.0177	2.32	0.399	0.312
Silver Pm2.5 Lc	61	34	0.00392	0.00392	0.0164	0.0212	0.0195	0.019
Sodium Ion Pm2.5 Lc	61	61	0.0432	0.0432	0.00885	0.209	0.197	0.161
Sodium Pm2.5 Lc	61	53	0.0549	0.0549	0.0916	0.192	0.162	0.15
Strontium Pm2.5 Lc	61	42	0.00142	0.00142	0.00722	0.00622	0.00509	0.00481
Sulfate Pm2.5 Lc	61	61	1.36	1.36	0.0218	3.78	3.28	3.1
Sulfur Pm2.5 Lc	61	61	0.47	0.47	0.00371	1.23	1.15	1.12
Tin Pm2.5 Lc	61	36	0.00434	0.00434	0.0488	0.0273	0.0262	0.0253
Titanium Pm2.5 Lc	61	58	0.0183	0.0183	0.0035	0.308	0.159	0.0535
Total Nitrate Pm2.5 Lc	61	61	1.85	1.85	0.0393	12	7.34	7.19
Vanadium Pm2.5 Lc	61	27	0.000621	0.000995	0.00134	0.0135	0.00402	0.00322
Zinc Pm2.5 Lc	61	61	0.0373	0.0373	0.00317	0.46	0.134	0.106
Zirconium Pm2.5 Lc	61	35	0.00385	0.00385	0.0359	0.0172	0.0158	0.0144

Grand Rapids-Monroe St. (260810020), Speciated PM_{2.5} (µg/m³)

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Aluminum Pm2.5 Lc	121	66	0.0146	0.0146	0.0322	0.146	0.142	0.134
Ammonium Ion Pm2.5 Lc	121	120	0.686	0.686	0.00692	4.44	4.23	3.56
Antimony Pm2.5 Lc	121	69	0.00517	0.00517	0.0388	0.0333	0.0289	0.0256
Arsenic Pm2.5 Lc	121	56	0.0000193	0.000165	0.00186	0.00011	0.00011	0.00011
Barium Pm2.5 Lc	121	71	0.0111	0.0111	0.0801	0.132	0.0759	0.0643
Bromine Pm2.5 Lc	121	27	0.000379	0.00215	0.00454	0.00651	0.00518	0.00514
Cadmium Pm2.5 Lc	121	70	0.00465	0.00465	0.0158	0.0248	0.0246	0.0242
Calcium Pm2.5 Lc	121	121	0.0298	0.0298	0.00885	0.162	0.0926	0.0876
Cerium Pm2.5 Lc	121	61	0.0119	0.0119	0.0954	0.0644	0.0593	0.0583
Cesium Pm2.5 Lc	121	66	0.00867	0.00867	0.0538	0.0469	0.0468	0.0385
Chlorine Pm2.5 Lc	121	82	0.00583	0.00583	0.00432	0.153	0.0986	0.0344
Chromium Pm2.5 Lc	121	92	0.00461	0.00461	0.00276	0.191	0.0588	0.0335
Cobalt Pm2.5 Lc	121	37	0.000252	0.000252	0.0033	0.00341	0.00306	0.00247
Copper Pm2.5 Lc	121	98	0.00404	0.00404	0.0114	0.0533	0.0171	0.0167
Ec Csn_Rev Unadjusted Pm2.5 Lc Tot	116	116	0.366	0.366	0.0117	1.11	0.984	0.93
Indium Pm2.5 Lc	121	65	0.00447	0.00447	0.0381	0.0249	0.0201	0.0196
Iron Pm2.5 Lc	121	121	0.072	0.072	0.0176	0.609	0.498	0.285
Lead Pm2.5 Lc	121	85	0.00372	0.00372	0.0122	0.0165	0.0144	0.0142
Magnesium Pm2.5 Lc	121	74	0.0196	0.0227	0.0463	0.252	0.0729	0.0708
Manganese Pm2.5 Lc	121	97	0.00259	0.00259	0.0064	0.0229	0.0149	0.0123

Grand Rapids-Monroe St. (260810020), Speciated PM_{2.5} (µg/m³) - continued

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Nickel Pm2.5 Lc	121	84	0.00126	0.00127	0.00186	0.0415	0.0144	0.00932
Oc Csn_Rev Unadjusted Pm2.5 Lc Tot	116	116	1.89	1.89	0.362	4.87	4.55	4.14
Phosphorus Pm2.5 Lc	121	113	0.00101	0.0011	0.00258	0.0931	0.00392	0.00356
Potassium Ion Pm2.5 Lc	121	120	0.0495	0.0495	0.0606	1.79	0.193	0.174
Potassium Pm2.5 Lc	121	121	0.0606	0.0606	0.00631	1.76	0.211	0.197
Rubidium Pm2.5 Lc	121	69	0.000863	0.000936	0.00888	0.00787	0.00704	0.00445
Selenium Pm2.5 Lc	121	73	0.000867	0.000867	0.00527	0.00477	0.00453	0.00418
Silicon Pm2.5 Lc	121	108	0.0322	0.0322	0.0175	0.272	0.186	0.163
Silver Pm2.5 Lc	121	60	0.00358	0.00358	0.0164	0.0246	0.0211	0.02
Sodium Ion Pm2.5 Lc	121	119	0.024	0.024	0.00882	0.171	0.148	0.146
Sodium Pm2.5 Lc	121	82	0.0414	0.0414	0.0917	0.182	0.173	0.169
Strontium Pm2.5 Lc	121	71	0.0013	0.0013	0.00723	0.0407	0.0177	0.00478
Sulfate Pm2.5 Lc	121	121	0.948	0.948	0.0217	3.19	3.09	2.44
Sulfur Pm2.5 Lc	121	121	0.329	0.329	0.00372	1.08	0.969	0.904
Tin Pm2.5 Lc	121	76	0.00613	0.00613	0.0489	0.0323	0.0303	0.0226
Titanium Pm2.5 Lc	121	99	0.00293	0.00295	0.00351	0.0155	0.0129	0.00926
Total Nitrate Pm2.5 Lc	121	121	1.99	1.99	0.0393	13.5	12.4	9.93
Vanadium Pm2.5 Lc	121	35	0.000131	0.000608	0.00134	0.00135	0.0013	0.00115
Zinc Pm2.5 Lc	121	121	0.0134	0.0134	0.00317	0.0434	0.04	0.04
Zirconium Pm2.5 Lc	121	70	0.00487	0.00487	0.0359	0.0213	0.0184	0.0182

APPENDIX C: 2019 AIR QUALITY INDEX (AQI) PIE CHARTS

Appendix C contains pie charts that were created to show the AQI values for each of Michigan's 2019 monitoring sites and includes the total number of days measurements were taken, along with the pollutant distribution of the AQI values for those measurements. It is important to note that not all pollutants are measured at each site. In fact, some sites only obtain AQI measurements for that portion of the year corresponding to the ozone season; therefore, the number of days for each site may not be equivalent to 365. **Figures C.1** through **C.7** are grouped by Metropolitan Statistical Area (MSA). MSAs are geographic regions based on population and employment data that the US Census compiles. They are defined by the US Office of Management and Budget. More information on MSAs can be found on the US Census website: www.census.gov. **Figures C.8** and **C.9** show the remaining sites (not part of a CSA) located in Michigan's Upper and Lower Peninsulas, respectively.

See Legend for Appendix C Pie Charts



Figure C.1: AQI Summaries for Detroit-Warren-Dearborn MSA

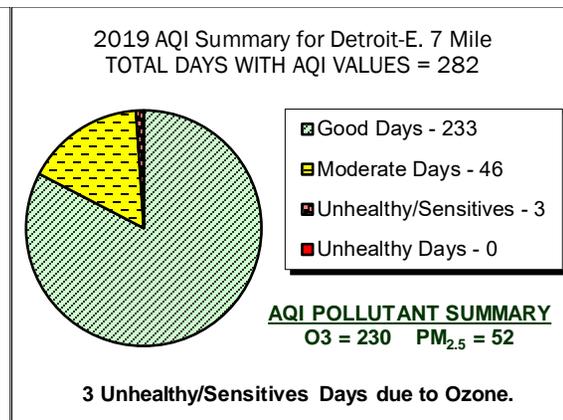
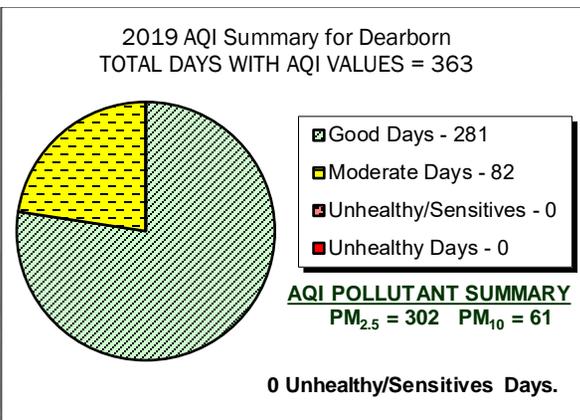
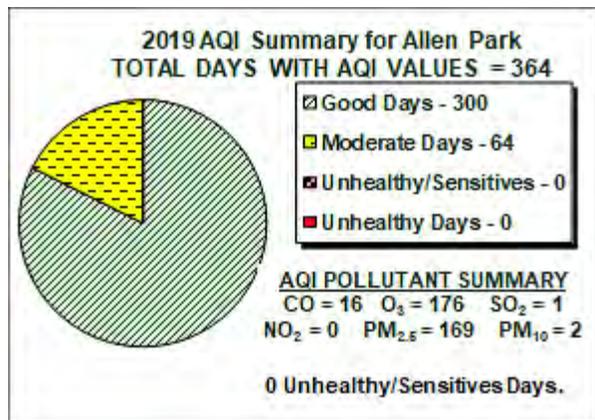
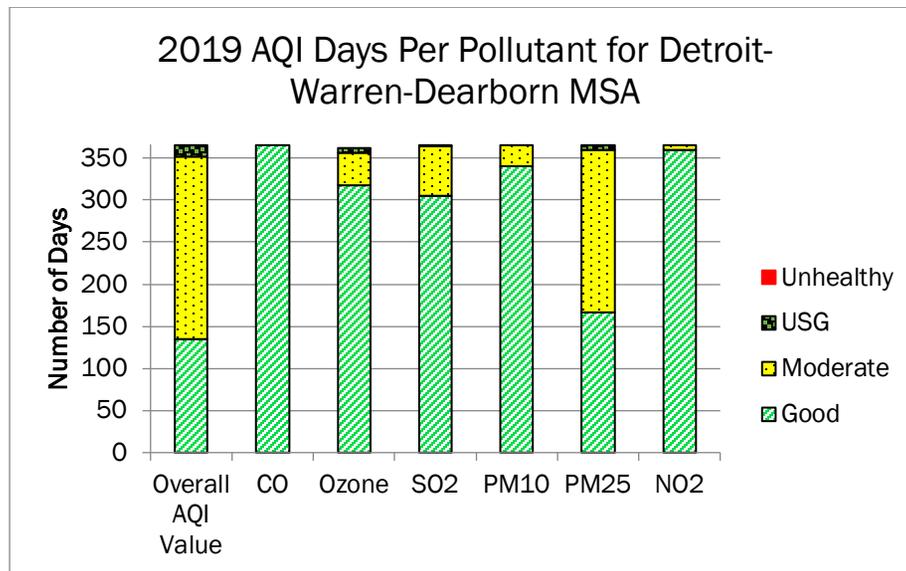


Figure C1, continued: AQI Summaries for Detroit-Warren-Dearborn-MSA

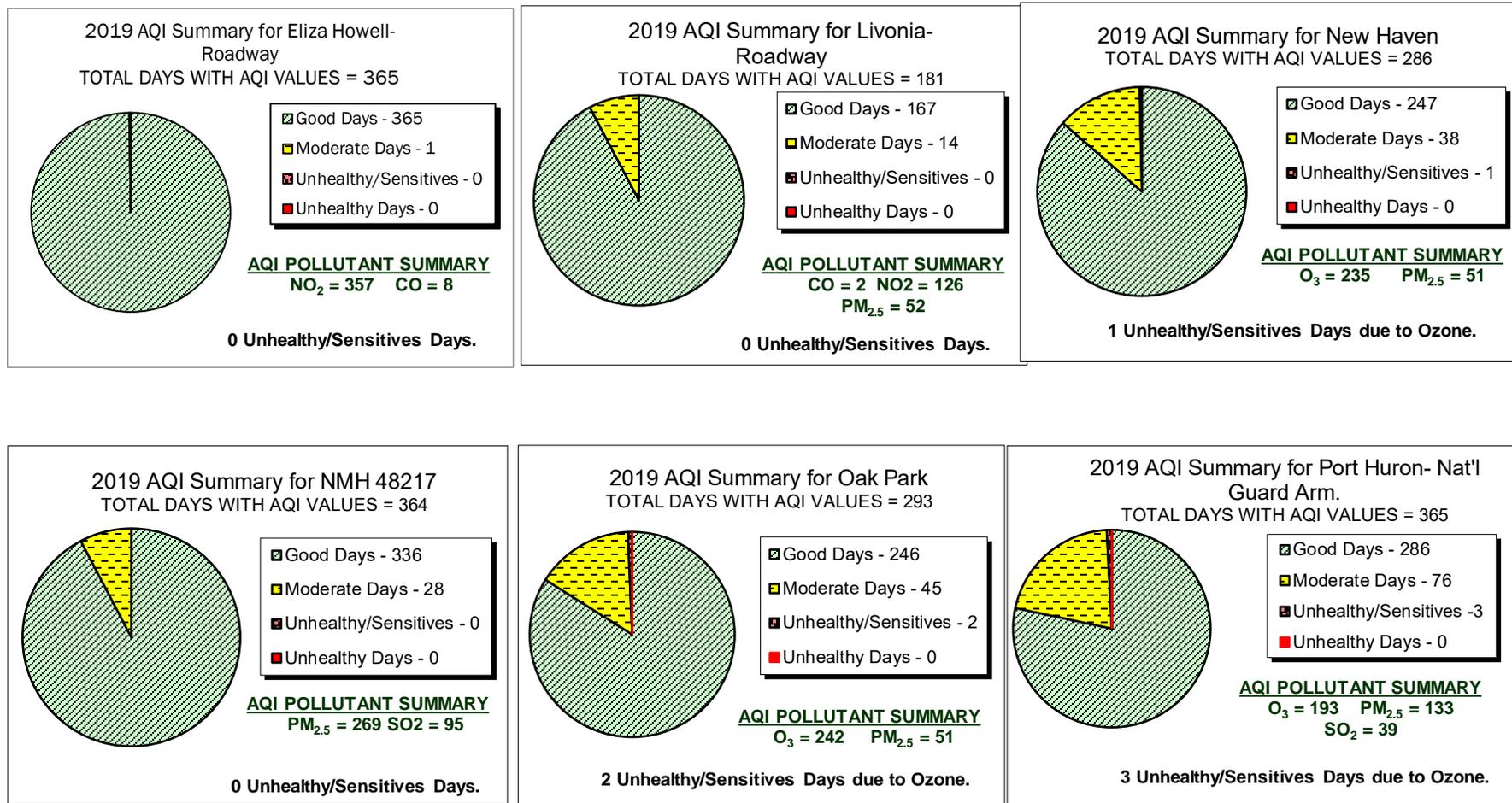


Figure C1, continued: AQI Summaries for Detroit-Warren-Dearborn-MSA

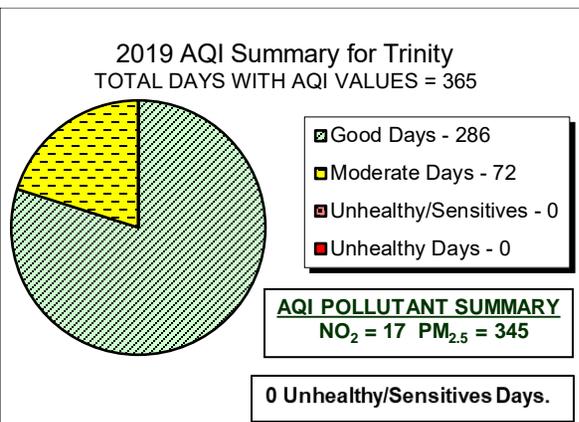
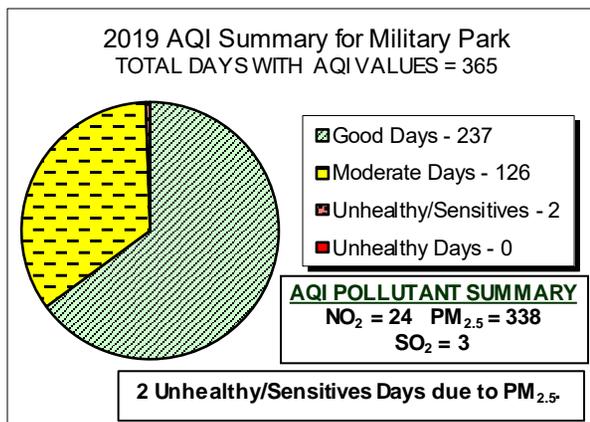
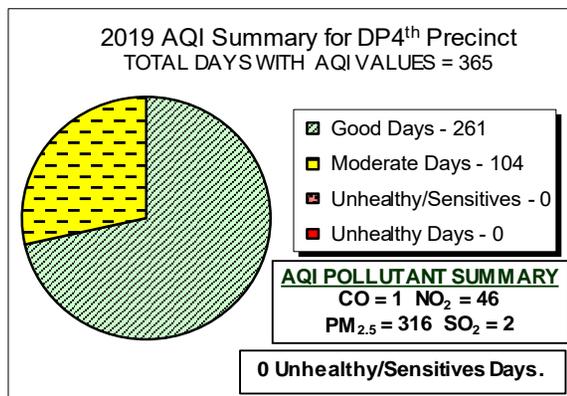
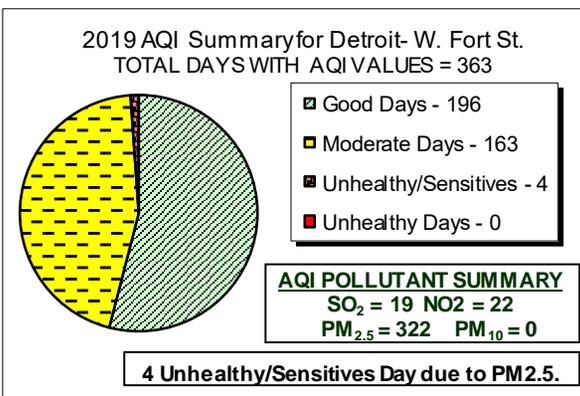
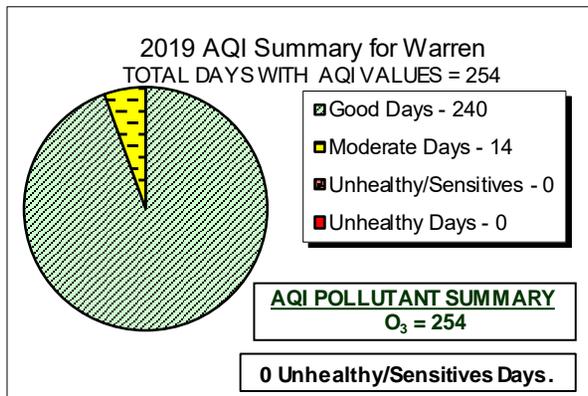


Figure C2: AQI Summaries for Flint MSA

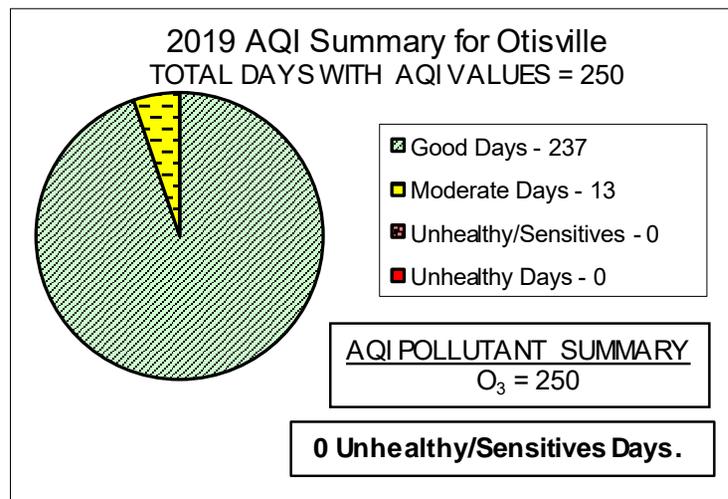
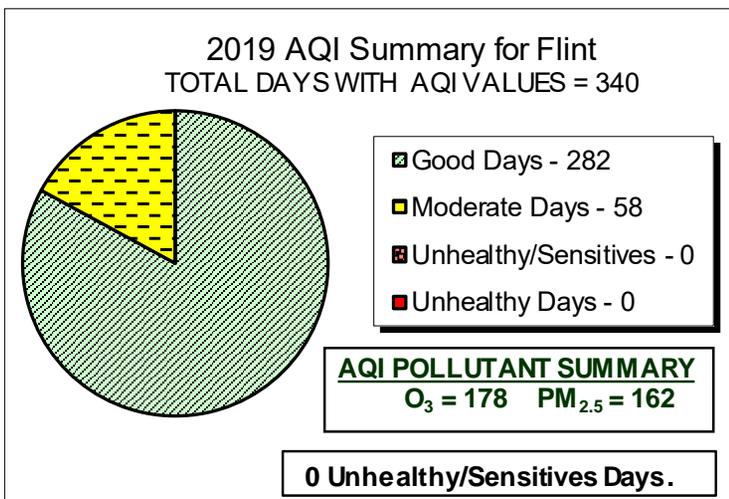
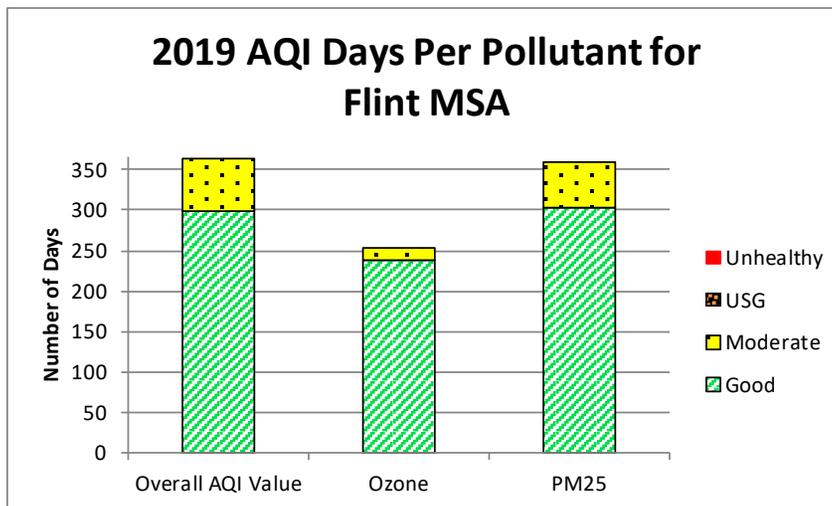
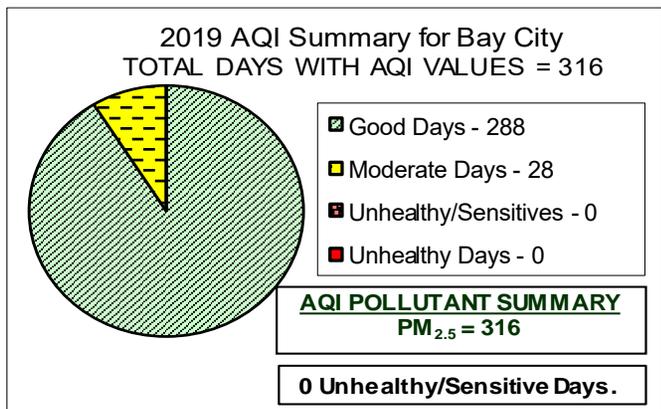


Figure C3: AQI Summary for Saginaw-Midland-Bay City-MSA



*Note: This site does not have AQI per pollutant graphs since only one pollutant is monitored in one location in these areas.

Figure C4: Ann Arbor MSA

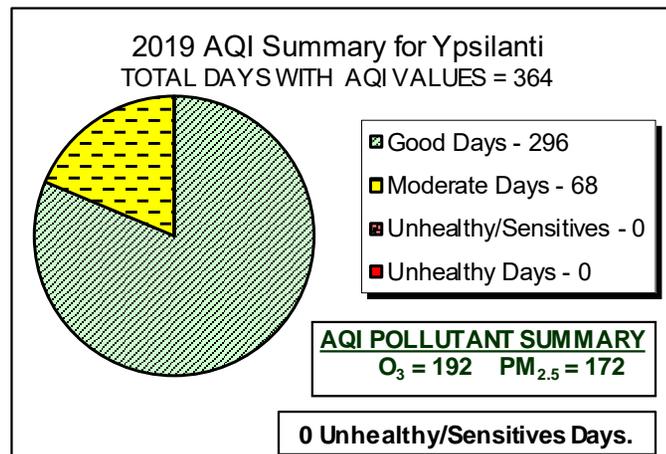
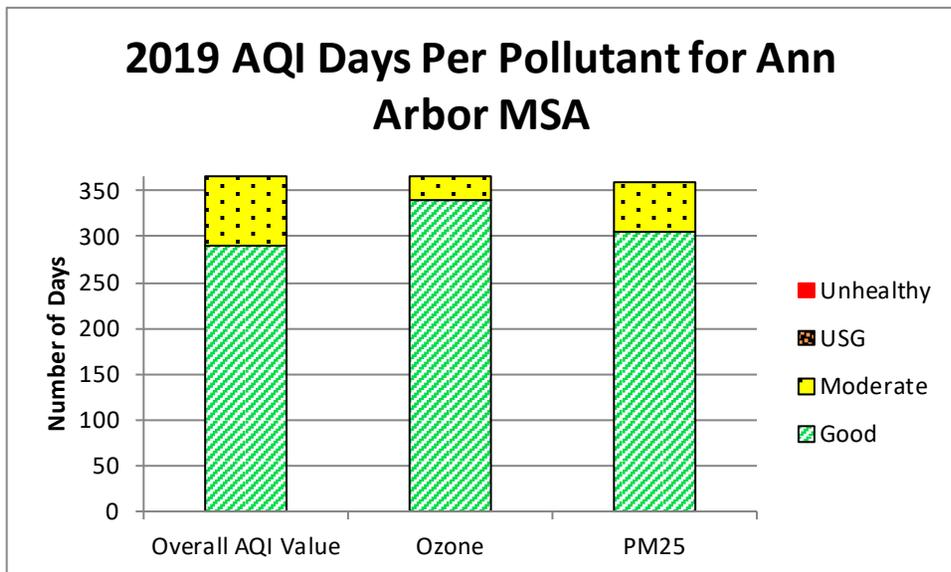


Figure C5: AQI Summaries for Lansing-East Lansing-MSA

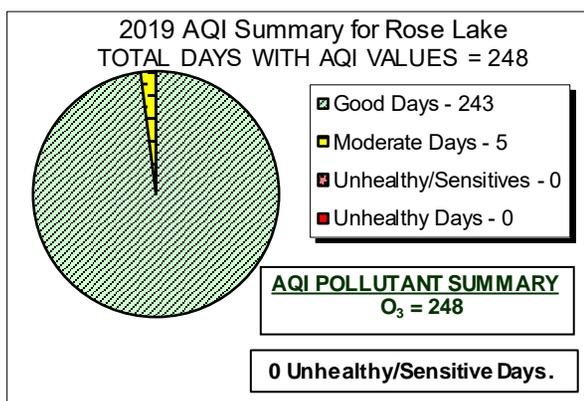
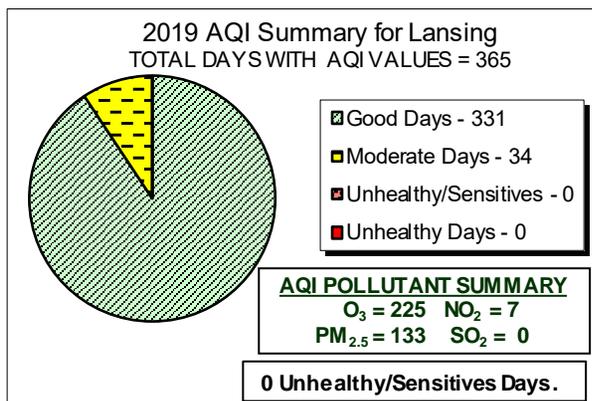
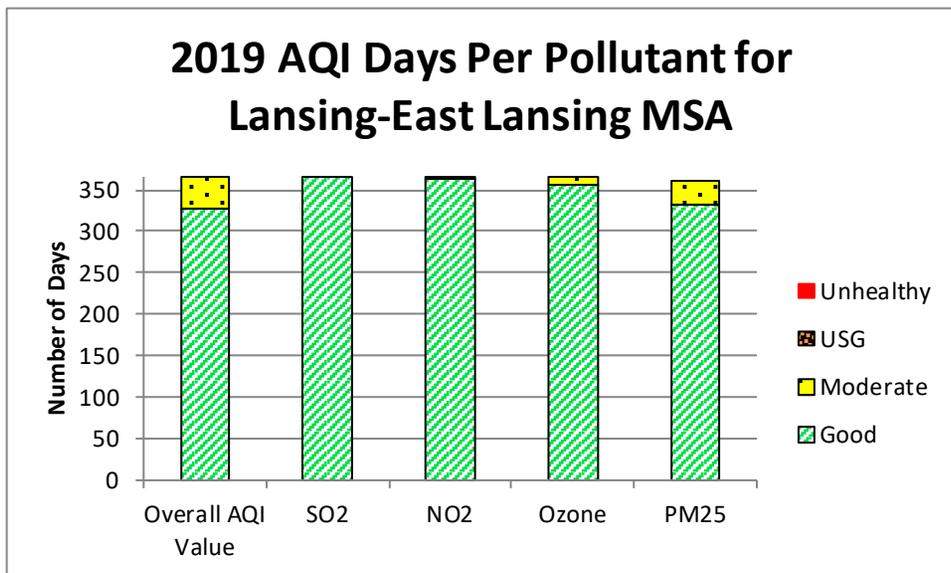


Figure C6: AQI Summaries for Grand Rapids-Wyoming MSA

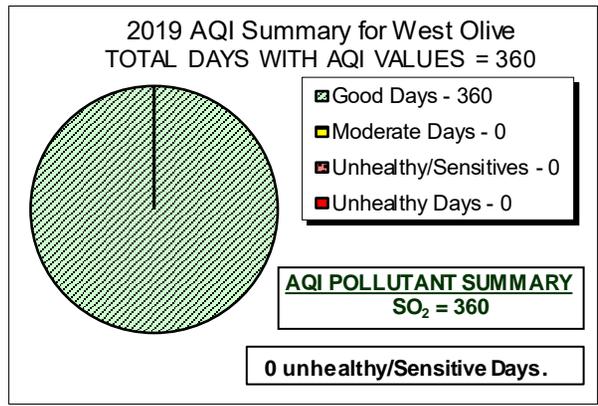
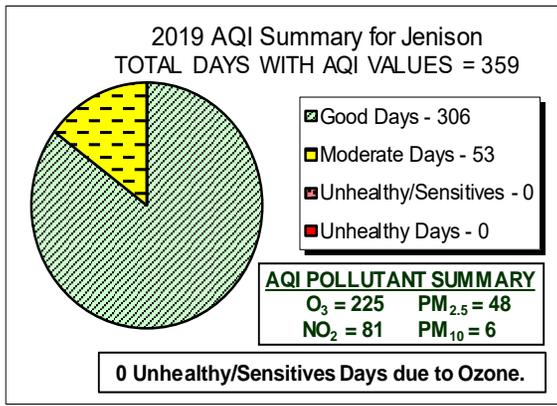
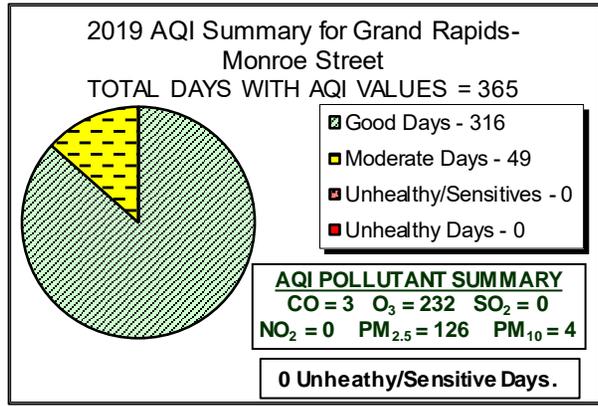
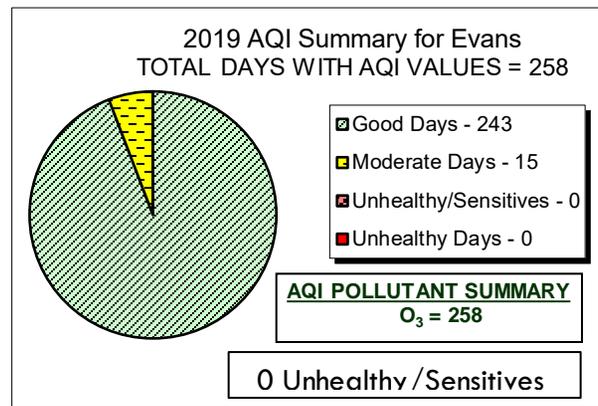
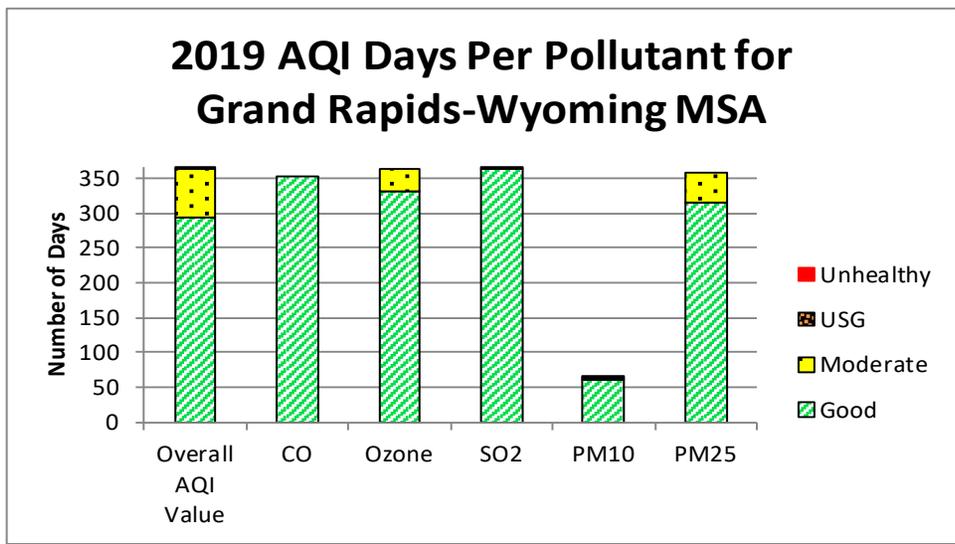
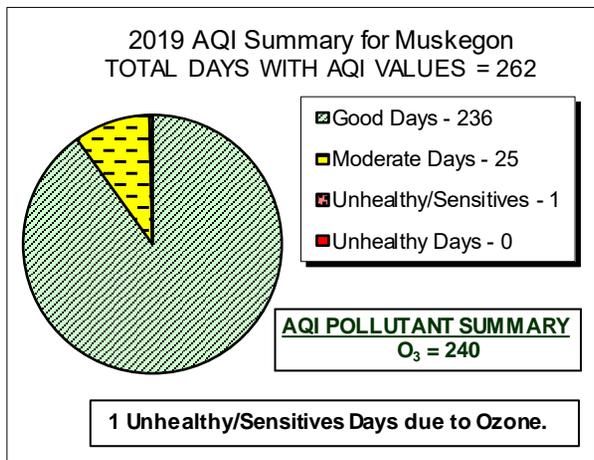


Figure C7: Muskegon MSA



*Note: This site does not have AQI per pollutant graphs since only one pollutant is monitored in one location in these areas.

Figure C8: AQI Summaries for Michigan's Other Lower Peninsula Areas

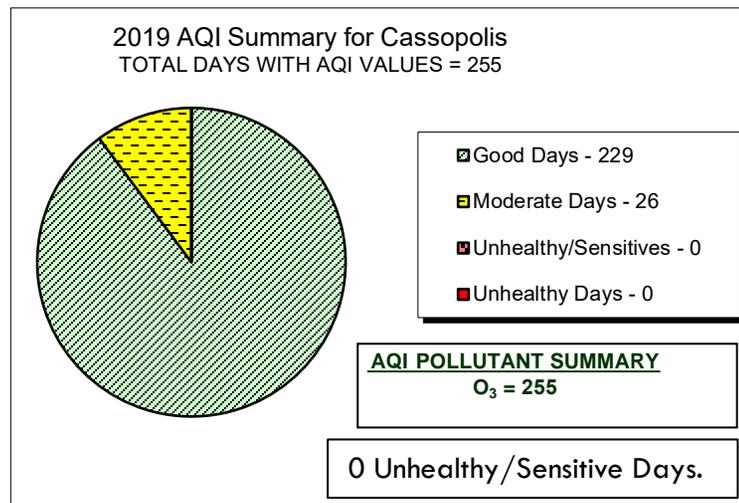
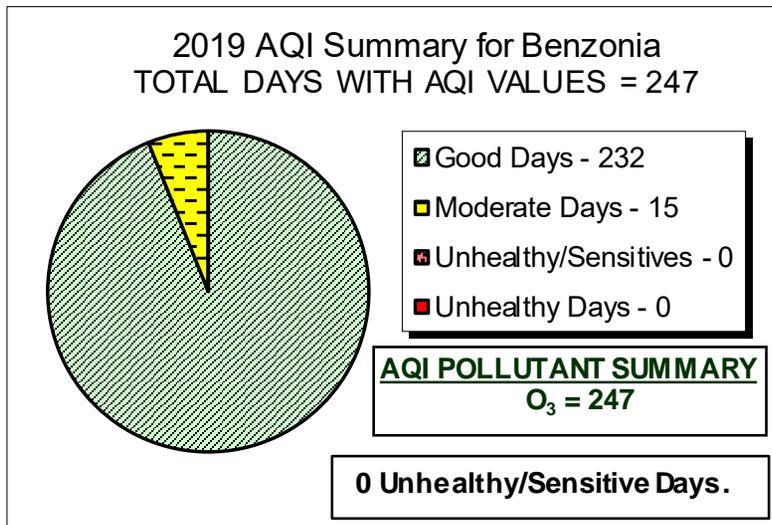
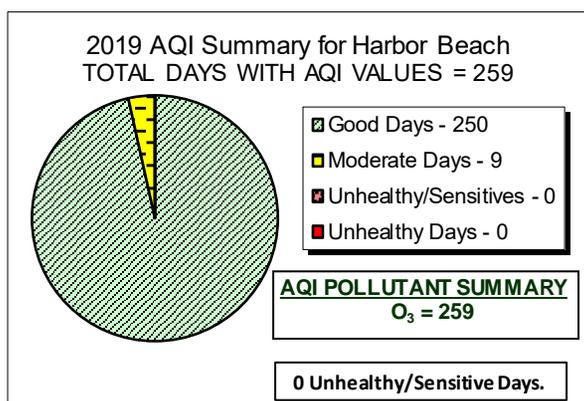
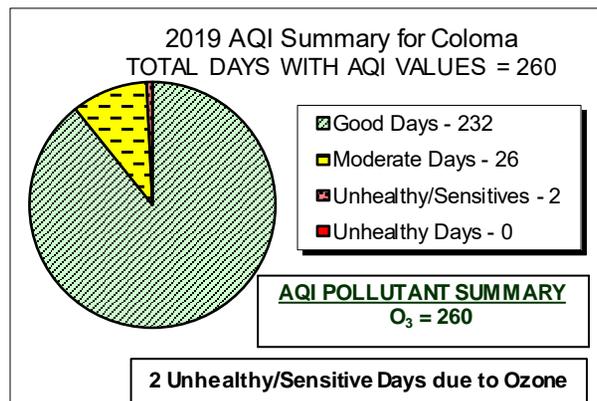


Figure C8, continued: AQI Summaries for Michigan's Other Lower Peninsula Areas



• Note: These sites do not have AQI per pollutant graphs since only one pollutant is monitored in one location in these areas.

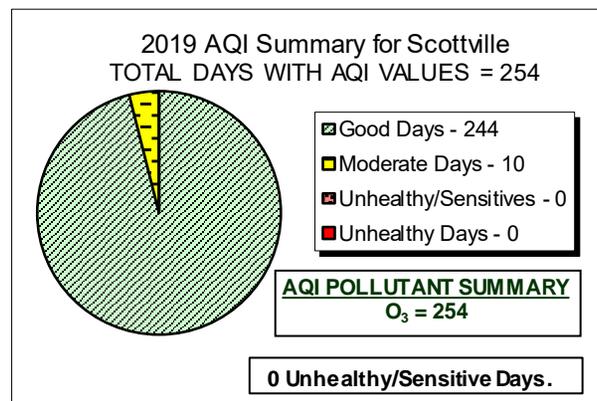


Figure C8, continued: AQI Summaries for Michigan's Other Lower Peninsula Areas

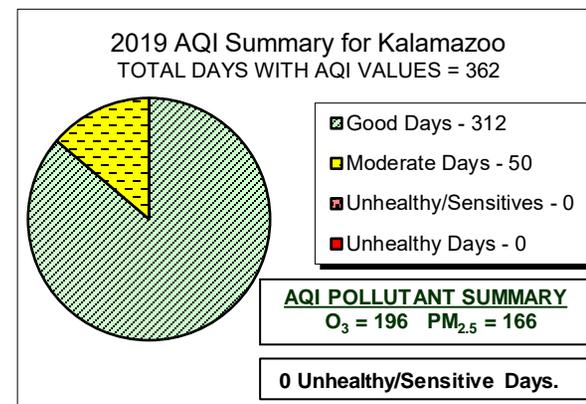
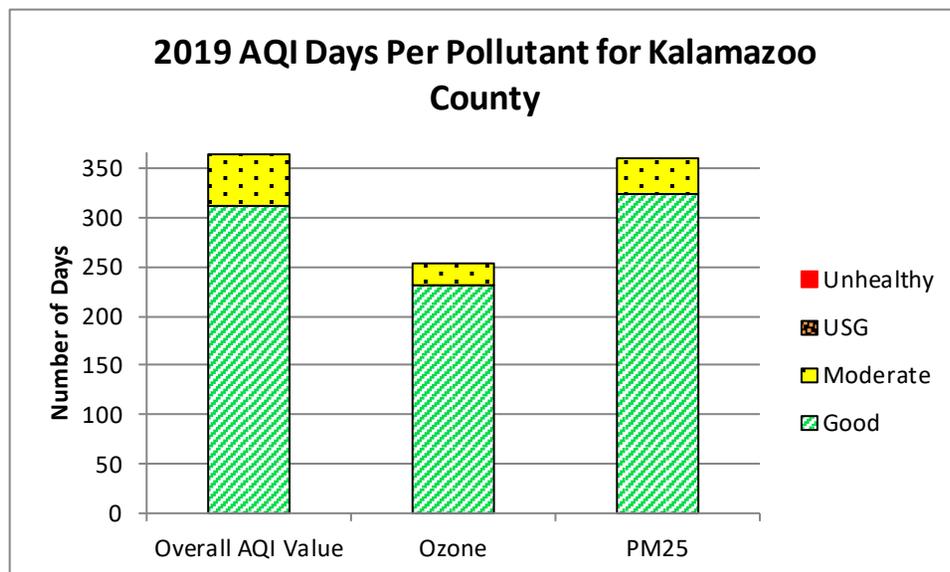
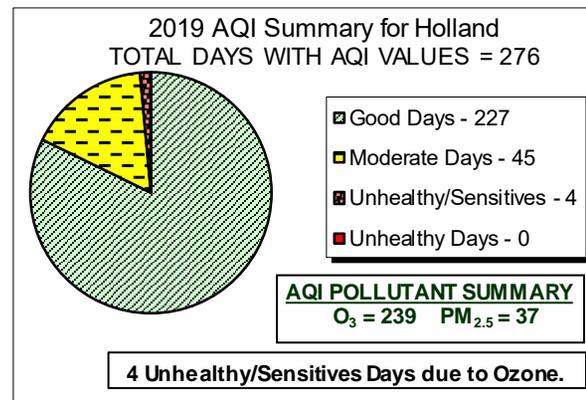
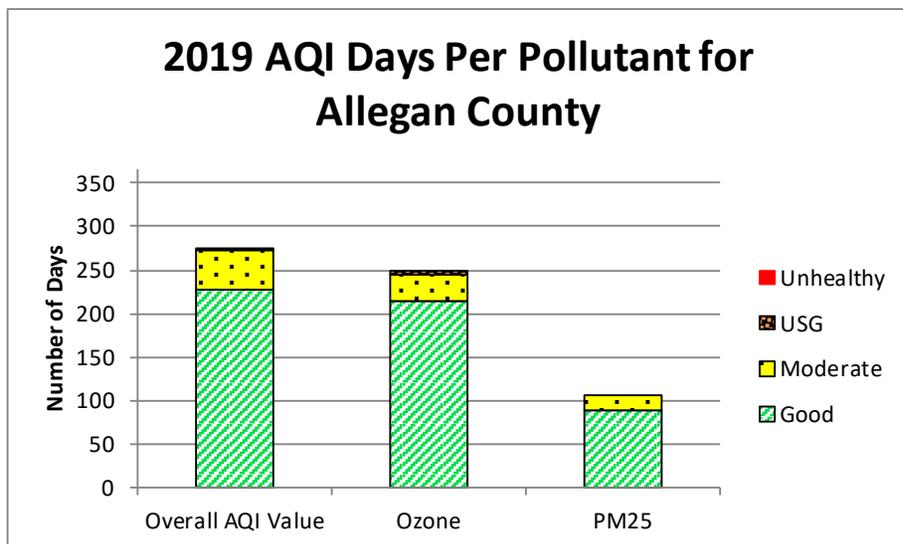
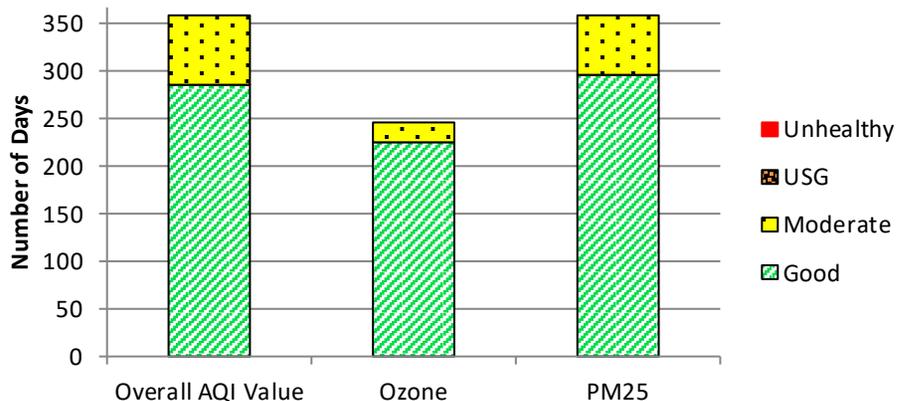


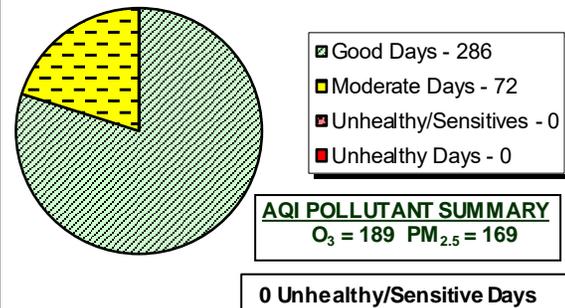
Figure C8, continued: AQI Summaries for Michigan's Other Lower Peninsula Areas

2019 AQI Days Per Pollutant for Lenewee County

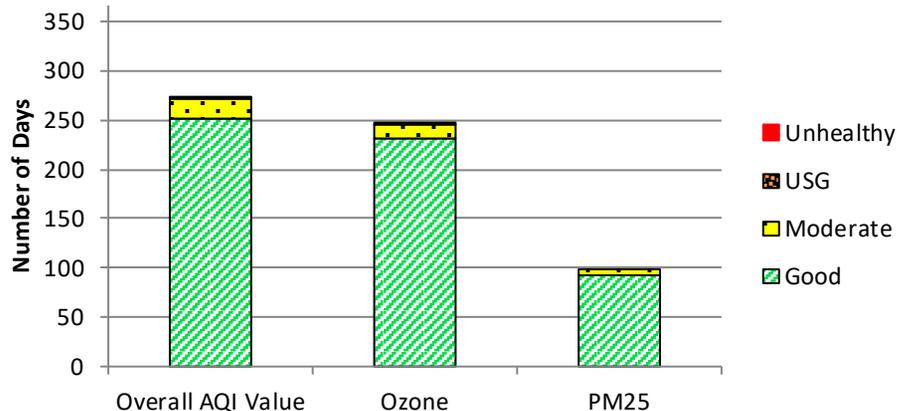


2019 AQI Summary for Tecumseh

TOTAL DAYS WITH AQI VALUES = 358



2019 AQI Days Per Pollutant for Manistee County



2019 AQI Summary for Manistee

TOTAL DAYS WITH AQI VALUES = 269

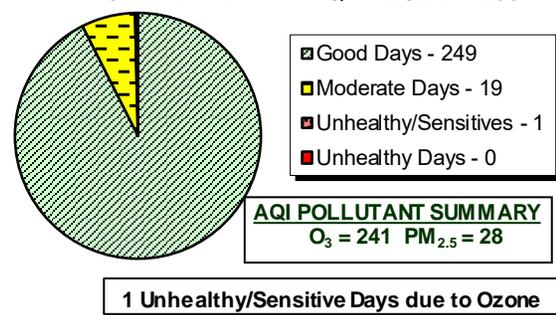


Figure C8, continued: AQI Summaries for Michigan's Other Lower Peninsula Areas

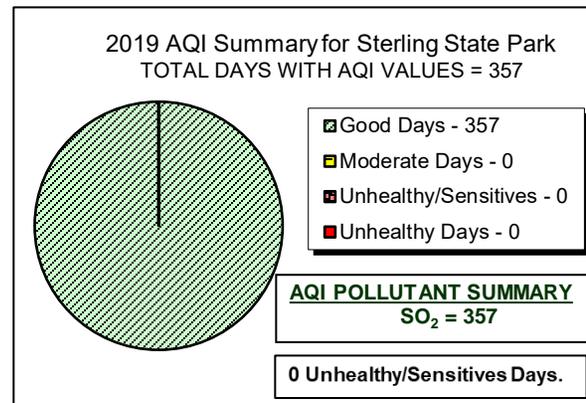
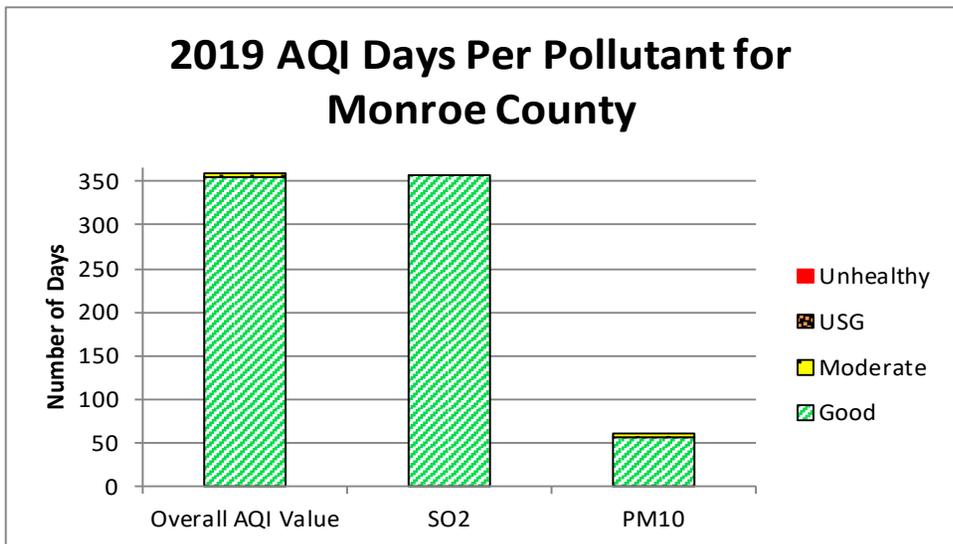
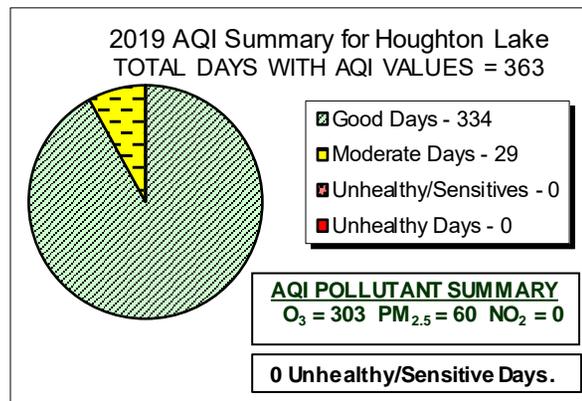
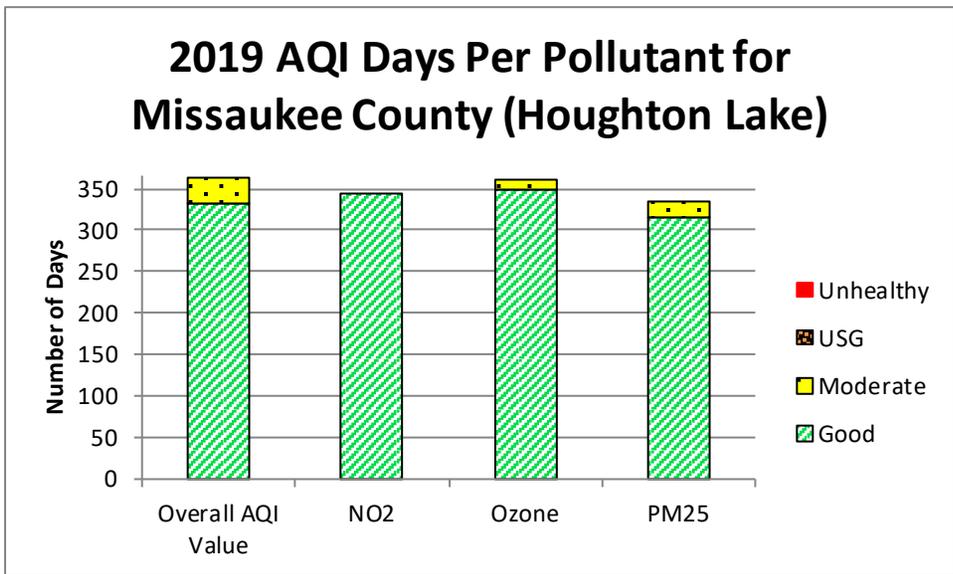
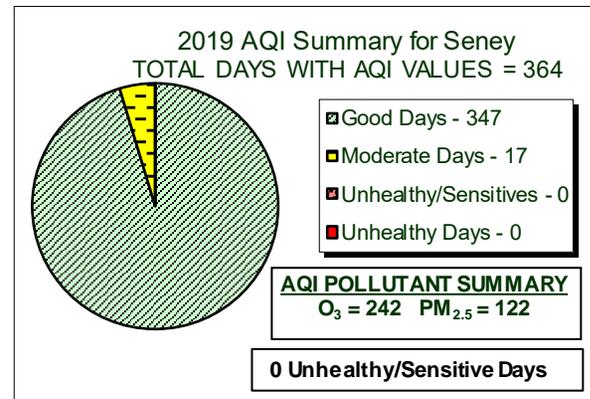
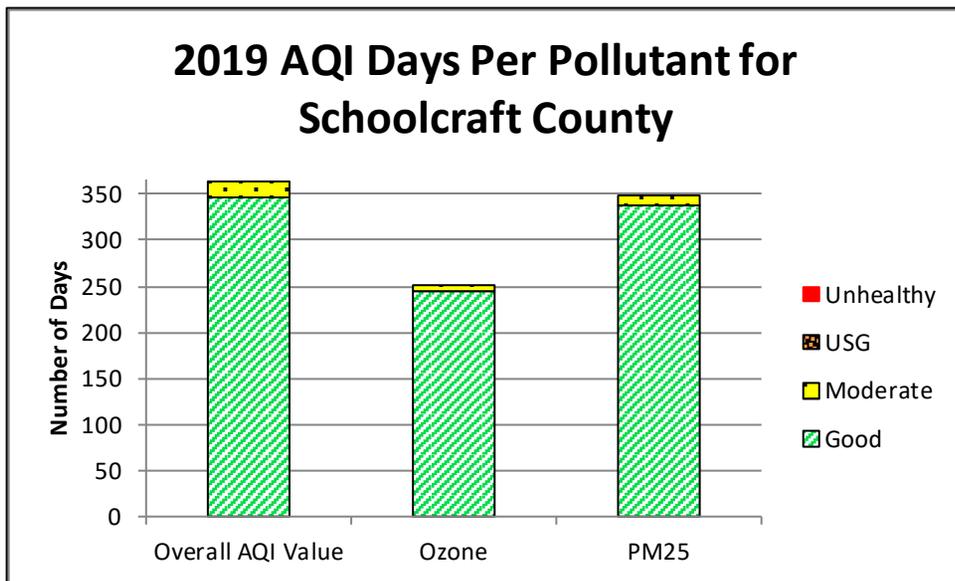


Figure C9: AQI Summary for Upper Peninsula



APPENDIX D - SUMMARY

Appendix D summarizes the development of the NAAQS and how compliance with these standards is determined. Also included is the variety of monitoring techniques, requirements used to ensure quality data is obtained, and a history of NAAQS changes that have occurred since the inceptions of the CAA.

National Ambient Air Quality Standards (NAAQS)

Under Section 109 of the CAA, the USEPA established a primary and secondary NAAQS for each pollutant for which air quality criteria have been issued. The primary standard is designed to protect the public health with an adequate margin of safety, including the health of the most susceptible individuals in a population, such as children, the elderly, and those with chronic respiratory ailments. Factors in selecting the margin of safety for the primary standard include the nature and severity of the health effects involved and the size of the sensitive population at risk. Secondary standards are chosen to protect public welfare (personal comfort and well-being) and the environment by limiting economic damage, impacts on visibility and climate, and harmful effects on soil, water, crops, vegetation, wildlife, and buildings.

In addition, the NAAQS have various averaging times to address health impacts. Short averaging times reflect the potential for acute (immediate) effects, whereas long-term averaging times are designed to protect against chronic (long-term) effects.

NAAQS have been established for CO, Pb, NO₂, PM, O₃, and SO₂. **Table 1.1** lists the primary and secondary NAAQS, averaging time and concentration level for each criteria pollutant in effect in 2018. The concentrations are listed as parts per million (ppm), micrograms per cubic meter (µg/m³), and/or milligrams per cubic meter (mg/m³).

Table D1.1: NAAQS in Effect during 2019 for Criteria Pollutants

Pollutant	Primary (health) Level	Primary Averaging Time	Secondary (welfare) Level	Secondary Averaging Time
Carbon Monoxide (CO) 8-hour average	9 ppm (10 mg/m ³)	8-hour average, not to be exceeded more than once per year (1971)	None*	None*
Carbon Monoxide (CO) 1-hour average	35 ppm (40 mg/m ³)	1-hour average, not to be exceeded more than once per year (1971)	None*	None*
Lead (Pb)	0.15 µg/m ³	Maximum rolling 3-month average (2008)	Same as Primary	Same as Primary
Nitrogen Dioxide (NO ₂) Annual mean	0.053 ppm (100 µg/m ³)	Annual mean (1971)	Same as Primary	Same as Primary
Nitrogen Dioxide (NO ₂) 1-hour average	0.100 ppm	98 th percentile of 1-hour average, averaged over 3 years (2010)	Same as Annual	Same as Annual
Particulate Matter (PM ₁₀)	150 µg/m ³	24-hour average, not to be exceeded more than once per year over 3 years (1987)	Same as Primary	Same as Primary
Particulate Matter (PM _{2.5}) Annual average	12.0 µg/m ³	Annual mean averaged over 3 years (2012)	15.0 µg/m ³	Annual mean
Particulate Matter (PM _{2.5}) 24-hour average	35 µg/m ³	98 th percentile of 24-hour concentration, averaged over 3 years (2006)	Same as Primary	Same as Primary
Ozone (O ₃)	0.070 ppm	Annual 4 th highest 8-hour daily max averaged over 3 years (2015)	Same as Primary	Same as Primary
Sulfur Dioxide (SO ₂)	0.075 ppm	99 th percentile of 1-hour daily max averaged over 3 years (2010)	0.5 ppm	3 hours

*In 1985, the USEPA revoked the secondary standard for CO (for public welfare) due to a lack of evidence of adverse effects on public welfare at or near ambient concentrations.

To demonstrate compliance with the NAAQS, the USEPA has defined specific criteria for each pollutant, which are summarized in **Table D1.2**.

Table D1.2: Criteria for the Determination of Compliance with the NAAQS

Pollutant	Criteria for Compliance
CO	Compliance with the CO standard is met when the second highest, non-overlapping, 35 ppm, 1-hour average standard and/or the 9 ppm, 8-hour average standard is not exceeded more than once per year.
Pb	Compliance with the Pb standard is met when daily values collected for three consecutive months are averaged and do not exceed the 0.15 $\mu\text{g}/\text{m}^3$ standard.
NO ₂	Compliance is met when the annual arithmetic mean concentration does not exceed the 0.053 ppm standard and the 98 th percentile* of the daily maximum 1-hour concentration averaged over 3 years does not exceed 100 ppb.
PM ₁₀	The 24-hour PM ₁₀ primary and secondary standards are met when 150 $\mu\text{g}/\text{m}^3$ is not exceeded more than once per year on average over 3 years.
PM _{2.5}	The annual PM _{2.5} primary and secondary standards are met when the annual arithmetic mean concentration is less than or equal to 12 $\mu\text{g}/\text{m}^3$ and 15 $\mu\text{g}/\text{m}^3$, respectively. The 24-hour PM _{2.5} primary and secondary standards are met when the 3-year average of the 98 th percentile** 24-hour concentration is less than or equal to 35 $\mu\text{g}/\text{m}^3$.
O ₃	The 8-hour O ₃ primary and secondary standards are met when the 3-year average of the 4 th highest daily maximum 8-hour average concentration is less than or equal to 0.070 ppm.
SO ₂	To determine compliance, the 99 th percentile*** 1-hour concentration averaged over a 3-year period does not exceed 0.075 ppm, and the 3-hour average concentration shall not exceed 0.5 ppm more than once per calendar year.

*98th percentile daily maximum 1-hour value is the value below which nominally 98 percent of all daily maximum 1-hour concentration values fall, using the ranking and selection method specified in section 5.2 of appendix S of CFR Part 50.

** 98th percentile is the daily value out of a year of PM_{2.5} monitoring data below which 98 percent of all daily values fall using the ranking and selection method specified in section 4.5(a) of appendix N of CFR Part 50.

*** 99th percentile daily maximum 1-hour value is the value below which nominally 99 percent of all daily maximum 1-hour concentration values fall, using the ranking and selection method specified in section 5 of appendix T of CFR Part 50.

As part of the USEPA's grant to EGLE, the AQD provides an annual Network Review document¹³ of all monitoring data collected from the previous year and recommendations on any network changes. These recommendations are based on each monitor's exceedance history, changes in population distribution, and modifications to federal monitoring requirements under the CAA. Under the amended air monitoring regulations that began in 2007, states are required to solicit public comment (in May of each year) on their future air monitoring network design prior to submitting the annual review to the USEPA in July.

¹³ [Most recent Network Reviews](#)

Types of Monitors

Federal Reference Method (FRM): method of sampling and analyzing the ambient air for an air pollutant that USEPA uses as the “gold standard” for measuring that pollutant. FRM monitors are used to designate attainment/nonattainment areas. The gaseous pollutants CO, NO₂, O₃, and SO₂ are measured with continuous FRM monitors that provide real-time hourly data. The FRM for PM and Pb requires a filter that measure concentrations over a 24-hour period. These filters must be further analyzed in a laboratory; therefore, the samples results are delayed.

Rural background monitors: measure background air quality in non-urban areas

Aethalometers: measure carbon black, a combustion by-product typical of transportation sources, by concentrating particulate on a filter tape and measuring changes in optical transmissivity and absorption.

EC/OC instruments measure elemental carbon using pyrolysis coupled with a nondispersive infrared detector to separate the elemental and organic carbon fractions.

Federal Equivalent Method (FEM): method for measuring the concentration of an air pollutant in the ambient air that has been designated as equivalent to the FRM.

Continuous Monitors: measure data in real-time, meaning concentrations of the air pollutant are usually available within an hour on the M_{air} website.

TEOM: tapered element oscillating monitors (TEOMs) are continuous PM monitor that is used only for real-time data indications since they are not FEMs and cannot be used for attainment/nonattainment designations.

BAM: Beta attenuation monitors (BAMs) are real-time, continuous PM_{2.5} monitor that is FEM, thus can be used for attainment/nonattainment designation.

PM_{2.5} FRM Monitoring: The concentrations of PM_{2.5} measured over a 24-hour time period are determined using the filter-based gravimetric FRM. Data generated by the FRM monitors are used for comparisons to the NAAQS in Michigan. The sites are located in urban, commercial, and residential areas where people are exposed to PM_{2.5}.

Chemical Speciation Monitoring: Speciated monitoring provides a better understanding of the chemical composition of PM_{2.5} material and better characterizes background levels. Single event Met-One Speciation Air Sampling System (SASS) monitors are used throughout Michigan’s speciation network

National Air Toxics Trend Station (NATTS): Network developed to fulfill the need for long-term hazardous air pollutants (HAPs) monitoring data of consistent quality. Among the principle objectives are assessing trends and emission reduction program effectiveness, assessing and verifying air quality models.

NCore Network: began January 1, 2011, as part of the USEPA’s 2006 amended air monitoring requirements. National Core (NCore) sites provide a full suite of measurements at one location. NCore stations collect the following measurements: ozone, SO₂ (trace), CO (trace), NO_y (reactive oxides of nitrogen), PM_{2.5} FRM, continuous PM_{2.5}, speciated PM_{2.5}, wind speed, wind direction, relative humidity, and ambient temperature. In addition, filter-based measurements are required for PM coarse (PM_{10-2.5}) on a once every three-day sampling frequency. This information will support scientific studies ranging across technological, health, and atmospheric process disciplines. Michigan has two NCore sites; Allen Park and Grand Rapids-Monroe Street.

Near-road Monitoring Network: focuses on vehicle emissions and how they disperse near-roadways, was approved by USEPA in 2011. This network, now referred to as the near-roadway network, is focused on high traffic urban roads in Core-Based Statistical Areas (CBSAs) with more than one million people. In 2011 Michigan took over the USEPA's pre-existing near-roadway site at Eliza Howell Park in Detroit. A second near-road site was added in Livonia in January 2015.

Population-Oriented Monitors: monitors that are located in an area where many people live, also considered ambient air.

Transport monitors: measure air pollutants that have travelled a distance from the emission sources and are formed in the atmosphere when certain pollutants are present, like ozone.

Source-Oriented/Point-Source Monitors: monitors that are located near a specific emissions source (e.g., factory) of a pollutant.

Primary Monitor: data from these monitors are used to compare to the NAAQS and must meet quality assurance criteria.

Secondary/Precision/Co-located Monitor: two or more air samplers, analyzers, or other instruments that are operated simultaneously while located side by side. These are used for quality assurance purposes.

Urban Scale Monitors: measures air pollution concentrations in more populated urban areas.

Quality Assurance

The AQD's Air Monitoring Unit (AMU) ensures that all data collected and reported is of high quality and meets federal requirements. The AMU has a quality system in place that includes a Quality Assurance Project Plan (QAPP), standard operating procedures (SOPs), standardized forms and documentation policies, and a robust audit and assessment program.

The monitoring network adheres to the requirements in Title 40 of the Code of Federal Regulations (CFR), Parts 50, 53, and 58. This ensures that the monitors are correctly sited, operated in accordance to the federal reference methods, and adhere to the quality assurance requirements.

Quality assurance checks are conducted by site operators at the frequencies required in the regulations and unit procedures. Independent audits are conducted by the AMU's Quality Assurance (QA) Team, which has a separate reporting line of supervision. The quality assurance checks and audits are reported to the USEPA each quarter.

External audits are conducted annually by the USEPA. The USEPA conducts Performance Evaluation Program (PEP) audits for PM_{2.5} samplers and the National Performance Audit Program (NPAP) checks for the gaseous monitors. The USEPA also conducts program-wide Technical Systems Audits (TSAs) every three years to evaluate overall program operations and assess adequacy of documentation and records retention. External audits are also conducted on the laboratory operations for certain analytical techniques using performance evaluation samples.

Historical NAAQS Changes

1971

- CO: 1-hour maximum not to exceed 35 ppm more than once in a year / 8-hour maximum not to exceed 9 ppm more than once in a year.
- NO₂: Annual average of 553 ppb or less
- SO₂: 24-Hour concentration of 0.14 ppm not exceeded more than once per year / Annual average of 0.03 ppm or less.
- Ozone: Total photochemical oxidants: 1-hour max of 0.08 ppm not exceeded once per yr
- TSP: 24-hour average not to exceed 260 µg/m³ more than once per yr / Annual geometric mean of 75 µg/m³

1978

- Lead: Calendar quarter average of 1.5 µg/m³ not to be exceeded

1979

- Ozone: 1-hour maximum concentration is 0.12 ppm one or less hour per yr

1987

- PM₁₀: 24-hour average not to exceed 150 µg/m³ more than once per yr on average over a 3-yr period / Annual mean of 50 µg/m³ or less average over 3 yrs

1997

- Ozone: 4th highest daily maximum 8-hour concentration averaged over 3 yrs is 0.08 ppm or less
- PM_{2.5}: Annual mean of 15.0 µg/m³ or less average over 3 yrs / 98th percentile of 24-hour average of 65 µg/m³ or less averaged over 3 yrs

2006

- TSP & PM₁₀: Annual average revoked / 24-hour average retained
- PM_{2.5}: Annual mean retained / 98th percentile of 24-hour average of 35 µg/m³ or less averaged over 3 yrs

2008

- Lead: 3-month average of 0.15 µg/m³ not to be exceeded
- Ozone: 4th highest daily maximum 8-hour concentration averaged over 3 yrs is 0.075 ppm or less

2010

- NO₂: 98th percentile of the 1-hour concentration averaged over 3 yrs is 100 ppb or less
- SO₂: 1-hour average of 99th percentile is 75 ppb or less, averaged over 3 yrs. Previous revoked

2012

- PM_{2.5}: Annual mean of 12.0 µg/m³ or less average over 3 yrs.

2015

- Ozone: 4th highest daily maximum 8-hour concentration averaged over 3 yrs is 0.070 ppm or less

APPENDIX E: ACRONYMS AND THEIR DEFINITIONS

>	Greater than
<	Less than
≥	Greater than or equal to
≤	Less than or equal to
%	Percent
µg/m ³	Micrograms per cubic meter
µm	Micrometer
AIRS ID	Aerometric Information Retrieval System Identification Number
AMU	Air Monitoring Unit
AQD	Air Quality Division
AQES	Air Quality Evaluation Section
AQI	Air Quality Index
AQS	Air Quality System (EPA air monitoring data archive)
As	Arsenic
BAM	Beta Attenuation Monitor (hourly PM _{2.5} measurement monitor)
BC	Black Carbon
BTEX	Benzene, Toluene, Ethylbenzene and Xylene
CAA	Clean Air Act
CBSA	Core-Based Statistical Area
Cd	Cadmium
CFR	Code of Federal Regulations
CO	Carbon monoxide
CSA	Consolidated Statistical Area
EC/OC	Elemental carbon/Organic carbon
EGLE	Michigan Department of Environment, Great Lakes and Energy
FDMS	Filter Dynamic Measurement System
FEM	Federal Equivalent Method
FIA	Family Independence Agency
FR	Federal Register
FRM	Federal Reference Method
GHB	Gordie Howe International Bridges
HAP	Hazardous Air Pollutant
hr	Hour
Lc	Local Conditions

MASN	Michigan Air Sampling Network
MDL	Method Detection Limit
mg/m ³	Milligrams per meter cubed
MI	Michigan
MiSA.....	Micropolitan Statistical Area
Mn.....	Manganese
MSA.....	Metropolitan Statistical Area
NAAQS.....	National Ambient Air Quality Standard
NAMS	National Air Monitoring Station
NATTS.....	National Air Toxics Trend Sites
NCORE	National Core Monitoring Sites
ND.....	Non-detect
NEI	National Emission Inventory
Ni	Nickel
NMH 48217 ...	New Mount Hermon 48217 ZIP code monitoring site
NO	Nitric Oxide
NO ₂	Nitrogen Dioxide
NO _x	Oxides of Nitrogen
NO _y	Oxides of Nitrogen + nitric acid + organic and inorganic nitrates
NPAP.....	National Performance Audit Program
O ₃	Ozone
Obs/OBS.....	Observations
PAMS	Photochemical Assessment Monitoring Station
PAH	Polynuclear Aromatic Hydrocarbon
Pb.....	Lead
PBT.....	Persistent, Bioaccumulative and Toxic
PCB.....	Polychlorinated Biphenyls
PEP	Performance Evaluation Program
PM.....	Particulate Matter
PM _{2.5}	Particulate Matter with an aerodynamic diameter less than or equal to 2.5 microns
PM ₁₀	Particulate Matter with a diameter of 10 microns or less
PM _{10-2.5}	Coarse PM equal to the concentration difference between PM ₁₀ and PM _{2.5}
PNA.....	Polynuclear Aromatic Hydrocarbons
POC.....	Parameter Occurrence Code
ppb.....	Parts Per Billion
ppm	Parts Per Million = mg/kg, mg/L, µg/g (1 ppm = 1,000 ppb)
QA	Quality Assurance
QAPP	Quality Assurance Project Plan

SASS..... Speciation Air Sampling System (PM_{2.5} Speciation Sampler)
SO₂ Sulfur Dioxide
SOP Standard Operating Procedures
STN..... Speciation Trend Network (PM_{2.5})
Stp Standard Temperature and Pressure
SVOC..... Semi-Volatile Compound
SWHS Southwestern High School
TAC..... Toxic Air Contaminant
TEOM..... Tapered element oscillating microbalance (hourly PM_{2.5} measurement monitor)
tpy Ton per year
TRI..... Toxic Release Inventory
TSA Technical Systems Audit
TSP..... Total Suspended Particulate
US United States
USEPA..... United States Environmental Protection Agency
UV Ultra-violet
VOC Volatile Organic Compounds

ACKNOWLEDGMENTS

This publication was prepared utilizing information provided by the Air Quality Evaluation Section (AQES) and other staff of the Michigan Department of Environment, Great Lakes, and Energy; Air Quality Division. Copies can be obtained online at: www.Michigan.gov/Air, under “Monitoring,” then “Annual Air Quality Reports,” or call 517-284-6747 to request a hard copy.

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Other units within the AQES: Strategy Development Unit, BioWatch Unit, Toxics Unit, and the Emissions Reporting & Assessment Unit.

The Air Quality Division also wishes to acknowledge the many significant contributions of Mitch Toonstra of the **City of Grand Rapids, Air Pollution Control Division**, which operates and maintains air monitoring equipment in West Michigan.

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231-775-3960 Fax: 231-775-4050

Counties: Benzie, Grand Traverse, Kalkaska, Lake, Leelanau, Manistee, Mason, Missaukee, Osceola, and Wexford

Cadillac District - Gaylord Office

(Northeast Lower Peninsula)
2100 West M-32
Gaylord, MI 49735-9282
989-731-4920 Fax: 989-731-6181

Counties: Alcona, Alpena, Antrim, Charlevoix, Cheboygan, Crawford, Emmet, Montmorency, Oscoda, Otsego, Presque Isle, and Roscommon

Detroit District

(Wayne County)
Cadillac Place, Suite 2-300
3058 West Grand Blvd.
Detroit, MI 48202-6058
313-456-4700 Fax: 313-456-4692

Counties: Wayne

Grand Rapids District

(Central West Michigan)
350 Ottawa Avenue, NW Unit 10
Grand Rapids, MI 49503
616-356-0500 Fax: 616-356-0201

Counties: Barry, Ionia, Kent, Mecosta, Montcalm, Muskegon, Newaygo, Oceana, and Ottawa

Jackson District

(South Central Michigan)
State Office Building, 4th Floor
301 E Louis B Glick Highway
Jackson, MI 49201-1556
517-780-7690 Fax: 517-780-7855

Counties: Hillsdale, Jackson, Lenawee, Monroe, and Washtenaw

Kalamazoo District

(Southwest Michigan)
7953 Adobe Road
Kalamazoo, MI 49009-5026
269-567-3500 Fax: 269-567-3555

Counties: Allegan, Berrien, Branch, Calhoun, Cass, Kalamazoo, St. Joseph, and Van Buren

Lansing District

(Central Michigan)
P.O. Box 30242
Constitution Hall, 525 W. Allegan St., 1 South
Lansing, MI 48909-7760
517-284-6651 Fax: 517-241-3571

Counties: Clinton, Eaton, Genesee, Gratiot, Ingham, Lapeer, Livingston, and Shiawassee

Saginaw Bay District

(Central East Michigan)
401 Ketchum Street, Suite B
Bay City, MI 48708
989-894-6200 Fax: 989-891-9237

Counties: Arenac, Bay, Clare, Gladwin, Huron, Iosco, Isabella, Midland, Ogemaw, Saginaw, Sanilac, and Tuscola

Southeast Michigan District

(Southeast Michigan)
27700 Donald Court
Warren, MI 48092-2793
586-753-3700 Fax: 586-753-3731

Counties: Macomb, Oakland, and St. Clair

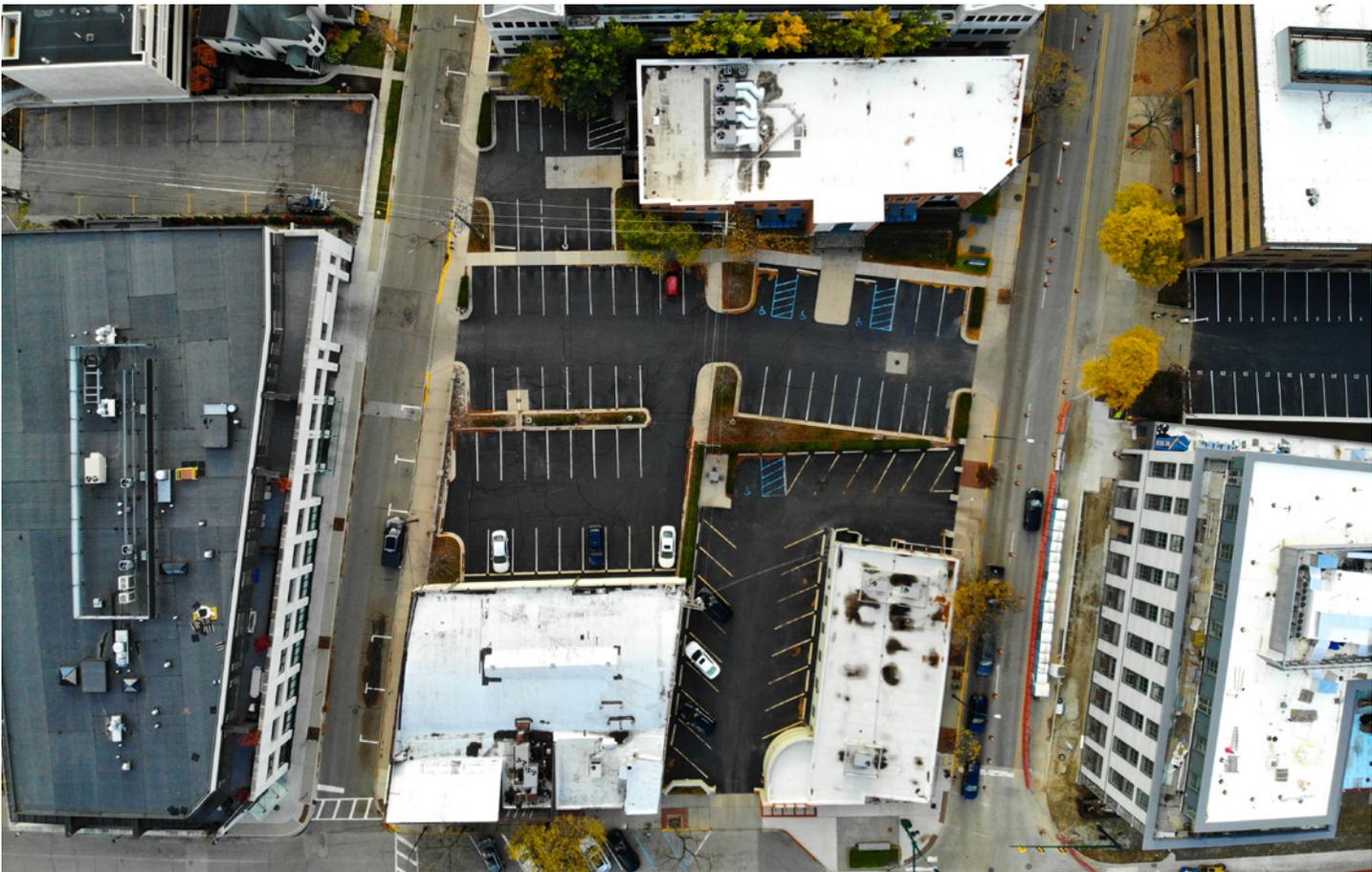
Upper Peninsula District

(Entire Upper Peninsula)
1504 West Washington Street
Marquette, MI 49855
906-228-4853 Fax: 906-228-4940

Counties: All counties in the Upper Peninsula

Section 3.8

Site Photographs



Aerial Photograph



Aerial Photograph - E. Brown Street & S. Old Woodward Avenue



Aerial Photograph - Daines Street & S. Old Woodward Avenue



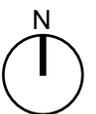
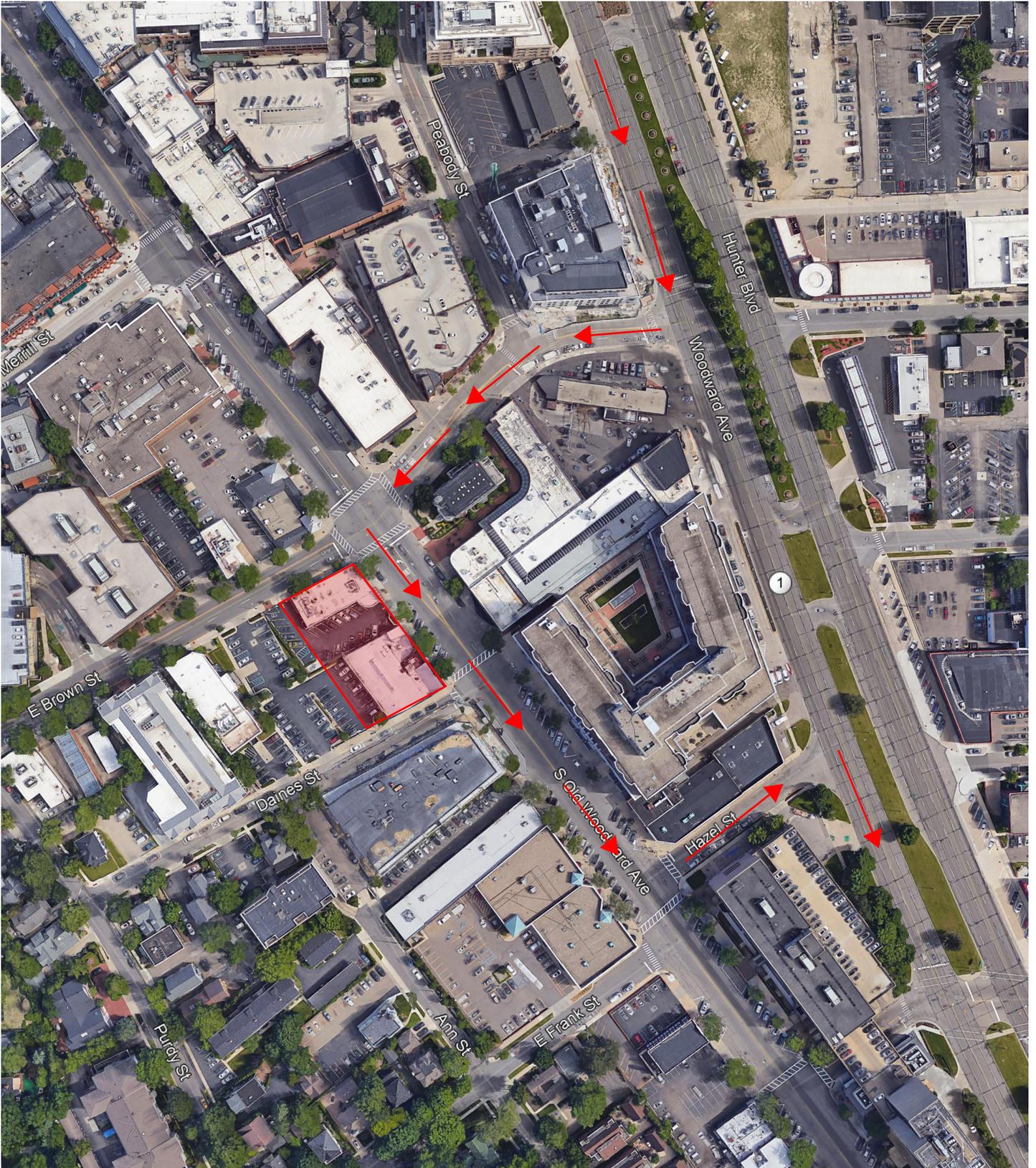
Aerial Photograph - Daines Street & S. Old Woodward Avenue

Section 3.9

Site Logistics

Proposed Haul Routes Map

RH Birmingham



Section 4.0

Mechanical Equipment Specifications



Submittal Data Sheet

10-Ton, 230V VRV AURORA HR

RELQ120TATJU

FEATURES

- VRF Industry's first air cooled system that delivers heating down to -22°F (-30°C) as standard
- Daikin's inverter based vapor injection compressor delivers high heating capacity of up to 100% at 0°F (-18°C), up to 85% at -13°F (-25°C) and up to 60% at -22°F (-30°C)
- Refrigerant-cooled efficient and stable inverter board operation, independent of ambient conditions
- Added peace of mind with Auto Changeover ability to back up (auxiliary) heat
- Year round comfort and energy efficiency delivered by combining VRV and VRT technologies
- Available in 6, 8, 10 ton single modules and 12, 16, 20 ton multi-module systems
- Compatible with the VRV-IV T-series Branch Selector Boxes
- Seamless connection to all VRV M, P and T series indoor and air processing units
- Ships factory standard with coil guards
- Assembled in the US to increase flexibility and reduce lead times
- Standard Limited Warranty: 10-year limited parts warranty



BENEFITS

- Refrigerant cooled inverted technology allows installation without an additional drain pan heater
- Designed and optimized for Total Cost of Construction (TCC) and reduced Life Cycle Cost (LCC)
- Modular and lightweight - enables flexibility in system layout and installation
- Engineered with Daikin's inverter based vapor injection compressor for optimized part load efficiency
- Heat exchanger coil wraps around on all 4 sides of the unit to increase the surface area / efficiency
- Corrosion resistant, 1000 hours salt spray tested Daikin PE blue fin heat exchanger
- Long pipe lengths up to 1640 ft total and ability to connect up to 20 indoor units with up to 98 ft vertical separation between indoor units provides design and installation flexibility
- Digital display on the unit for improved and faster configuration, commissioning, and troubleshooting





Submittal Data Sheet

10-Ton, 230V VRV AURORA HR
RELQ120TATJU

PERFORMANCE

Outdoor Unit Model No.	RELQ120TATJU	Outdoor Unit Name:	10-Ton, 230V VRV AURORA HR
Type:	Heat Recovery	Unit Combination:	
Rated Cooling Conditions:	Indoor (°F DB/WB): 80 / 67 Ambient (°F DB/WB): 95 / 75	Rated Heating Conditions:	Indoor (°F DB/WB): 70 / 60 Ambient (°F DB/WB): 47 / 43
Rated Piping Length(ft):			
Rated Height Difference (ft):	0.00		
Rated Cooling Capacity (Btu/hr):	114,000	Rated Heating Capacity (Btu/hr):	129,000
Nom Cooling Capacity (Btu/hr):	120,000	Nom Heating Capacity (Btu/hr):	135,000
Cooling Input Power (kW):	8.10	Heating Input Power (kW):	9.47
EER (Non-Ducted/Ducted):	13.70 / 12.40	Heating COP (Non-Ducted/Ducted):	4.0 / 3.5
IEER (Non-Ducted/Ducted):	23.40 / 19.60	Heating COP 17F (Non-Ducted/Ducted):	2.3 / 2.3
		SCHE (Non-Ducted/Ducted):	26.70 / 21.40

OUTDOOR UNIT DETAILS

Power Supply (V/Hz/Ph):	208-230 / 60 / 3	Compressor Stage:	
Power Supply Connections:	L1, L2, L3 Ground	Capacity Control Range (%):	9 - 100
Min. Circuit Amps MCA (A):	83.4	Capacity Index Limit:	84.0 - 156.0
Max Overcurrent Protection (MOP) (A):	90	Airflow Rate (H) (CFM):	8806
Max Starting Current MSC(A):		Gas Pipe Connection (inch):	1-1/8
Rated Load Amps RLA(A):	39.3	Liquid Pipe Connection (inch):	1/2
Dimensions (Height) (in):	66-11/16	H/L Pressure Connection (inch)	3/4
Dimensions (Width) (in):	48-7/8	H/L Equalizing Connection (inch)	
Dimensions (Depth) (in):	30-3/16	Sound Pressure (H) (dBA):	64
Net Weight (lb):	793	Sound Power Level (dBA):	84.5
		Max. No. of Indoor Units:	20

Submittal Data Sheet

10-Ton, 230V VRV AURORA HR
RELQ120TATJU

SYSTEM DETAILS

Refrigerant Type:	R-410A	Cooling Operation Range (°F DB):	23 - 122
Holding Refrigerant Charge (lbs):	25.8	Heating Operation Range (°F WB):	-22 - 60
Additional Charge (lb/ft):		Max. Pipe Length (Vertical) (ft):	295
Pre-charge Piping (Length) (ft):		Cooling Range w/Baffle (°F DB):	-
Max. Pipe Length (Total) (ft):	1,640	Heating Range w/Baffle (°F WB):	-
Max Height Separation (Ind to Ind ft):	0		

DIMENSIONAL DRAWING

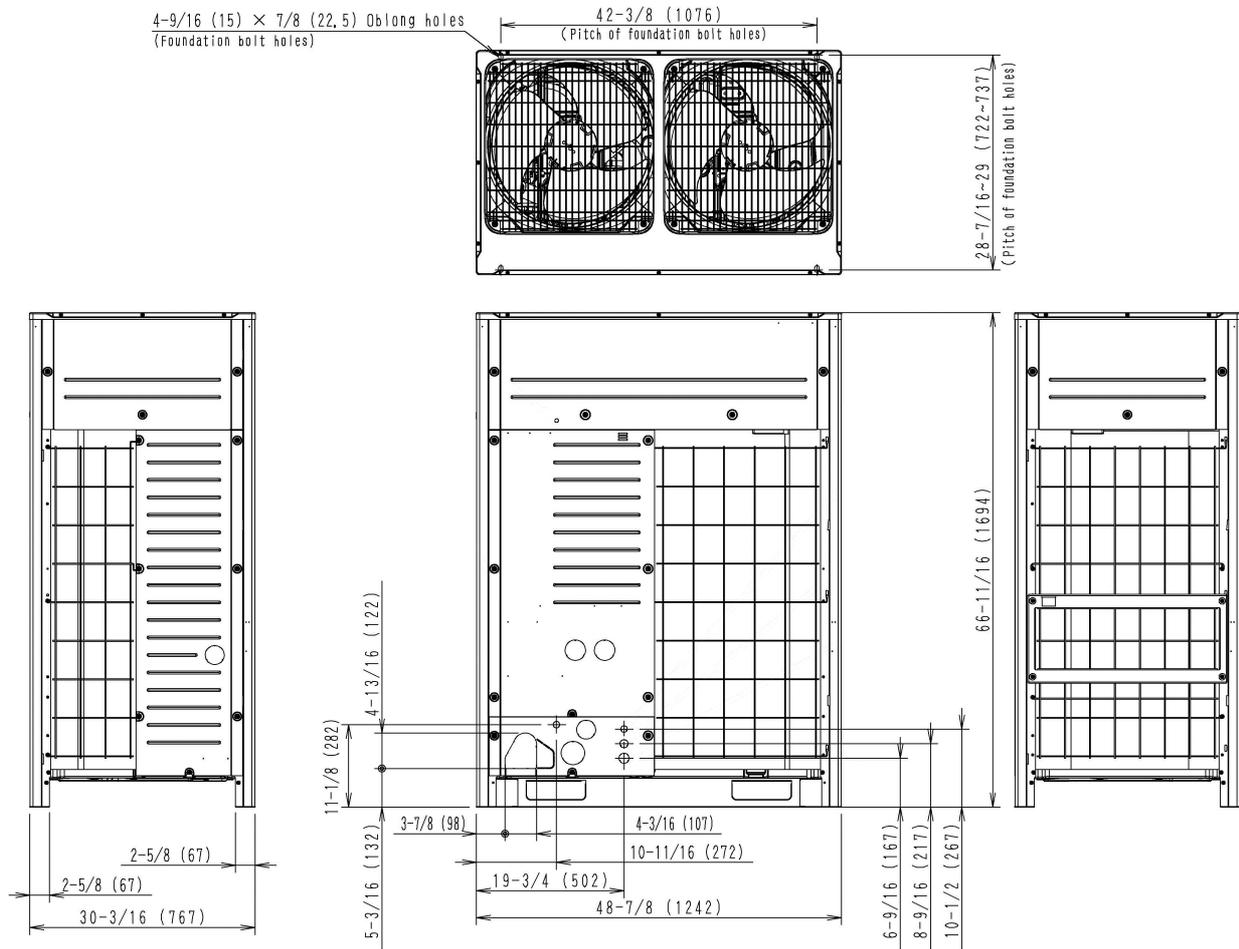
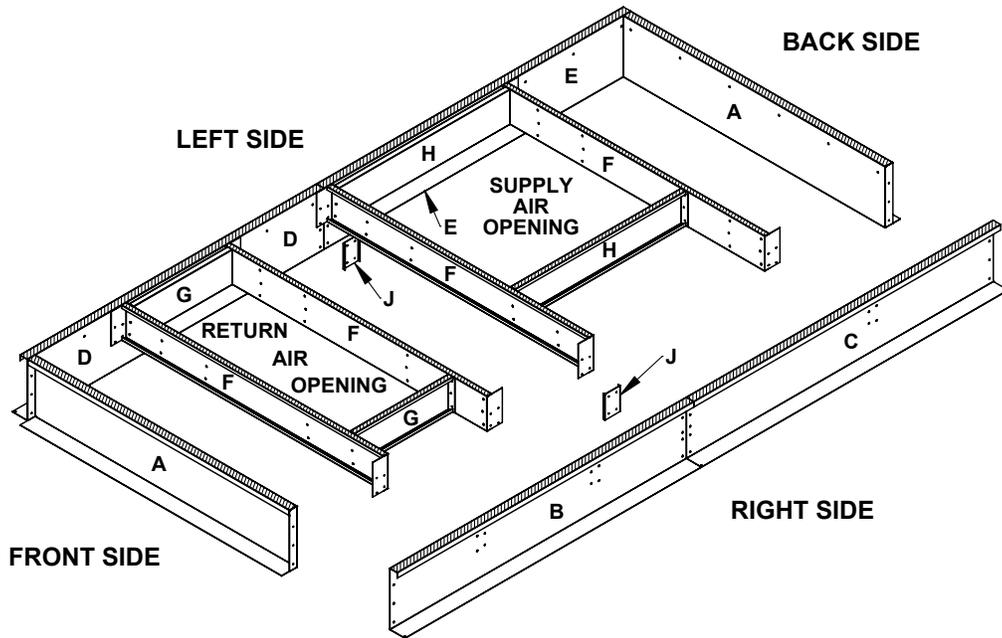


Figure 16: Roof Curb Assembly (DPS 016-028)'



- NOTE:**
1. Check submittal drawing for gas/water/electrical/supply/return air opening
 2. Horizontal above the roof gas connection only
 3. All dimensions in inches

Standard Roof Curb – Large Cabinet

Roof Curb for ERW – Large Cabinet

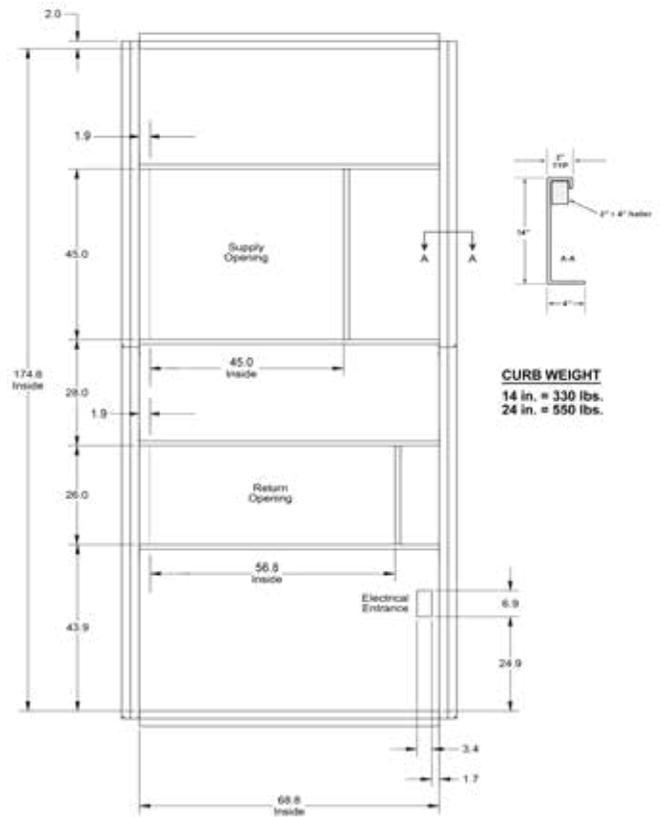
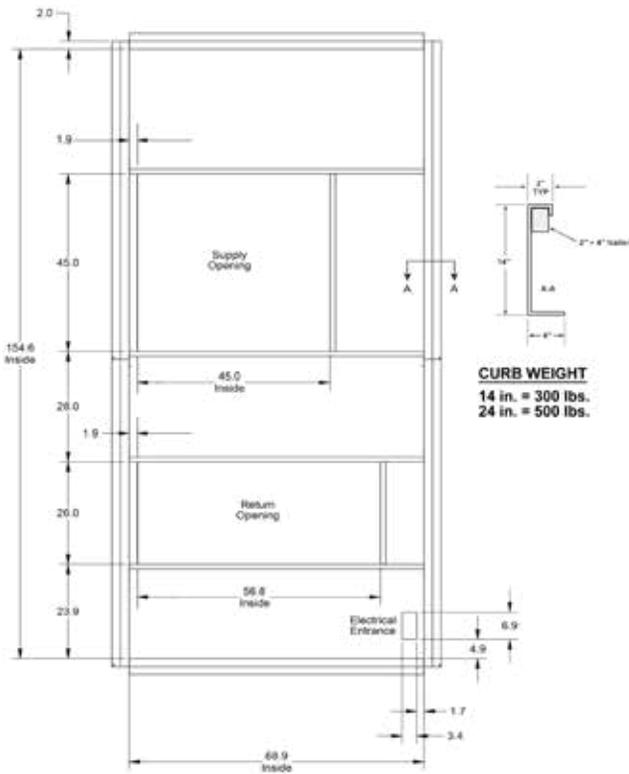
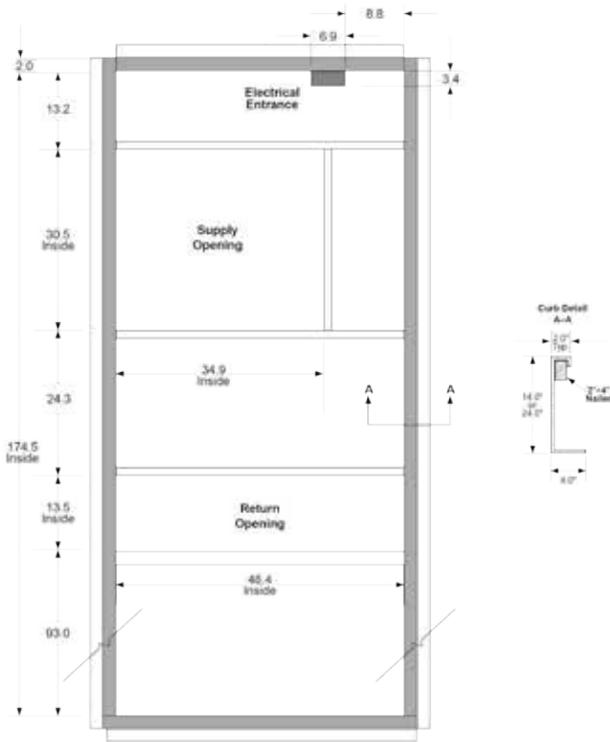


Figure 17: Roof Curb Assembly (DPS 007–015, 016–028) with CORE ERV

CORE Roof Curb – Medium Cabinet (DPS 007 – 015)



CORE Roof Curb – Large Cabinet (DPS 016 – 028)

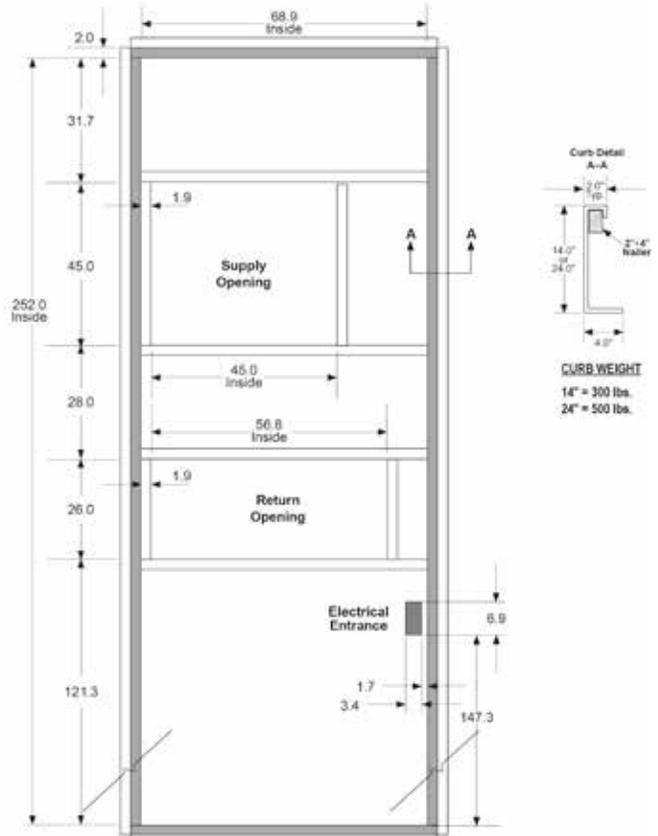
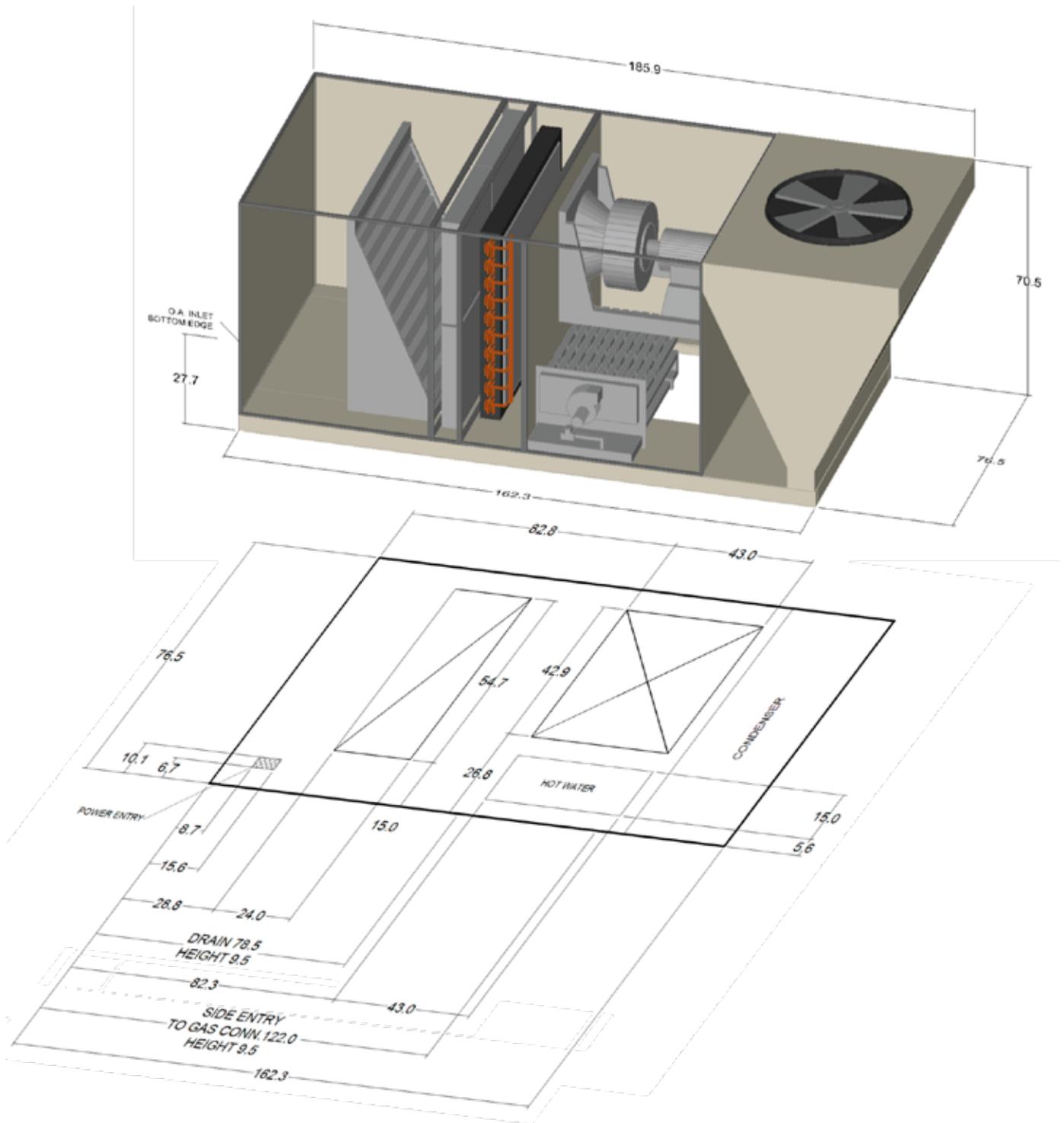
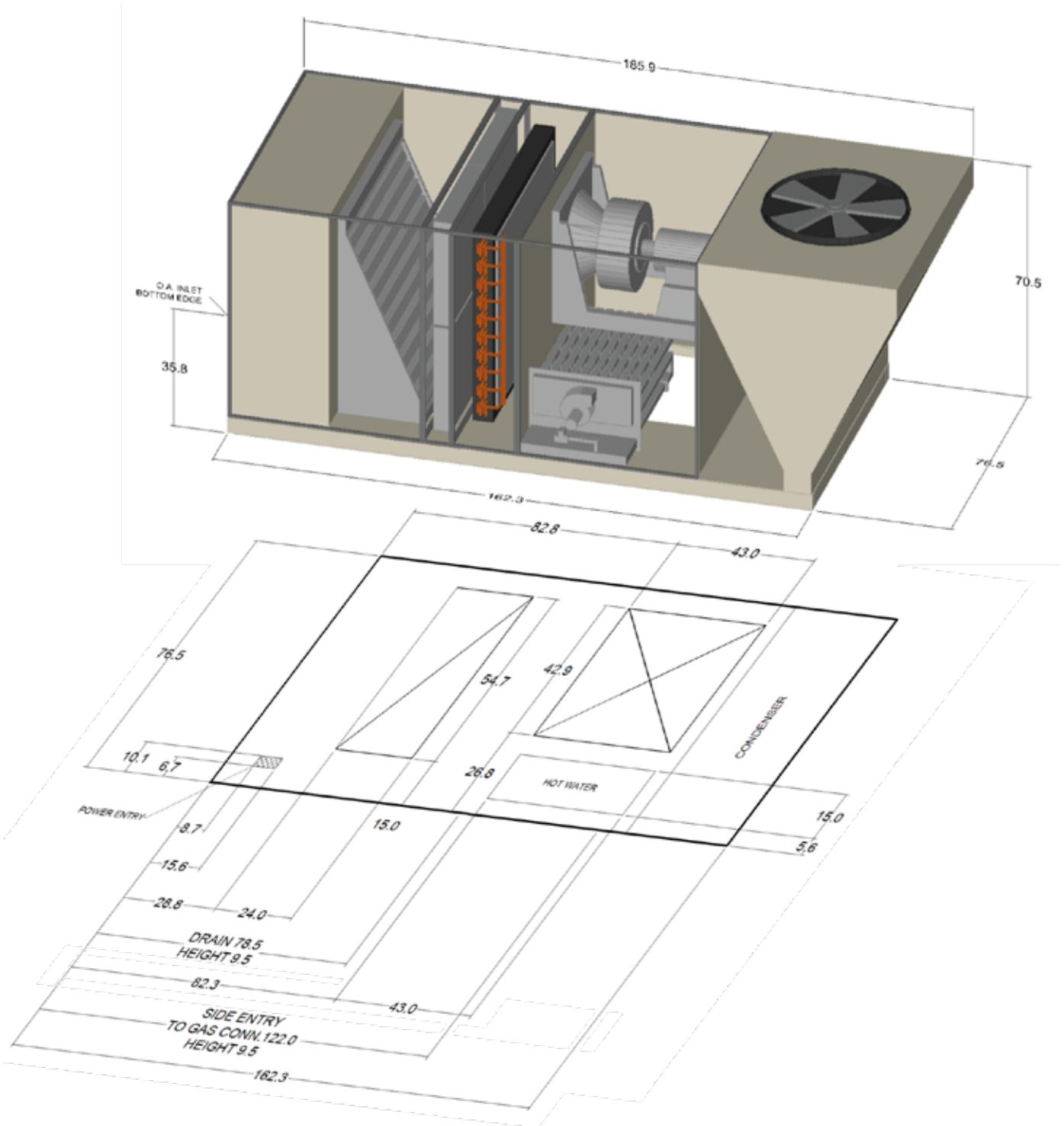


Figure 34: DPS 016–028, 30% or 100% Outdoor Air, No Energy Recovery



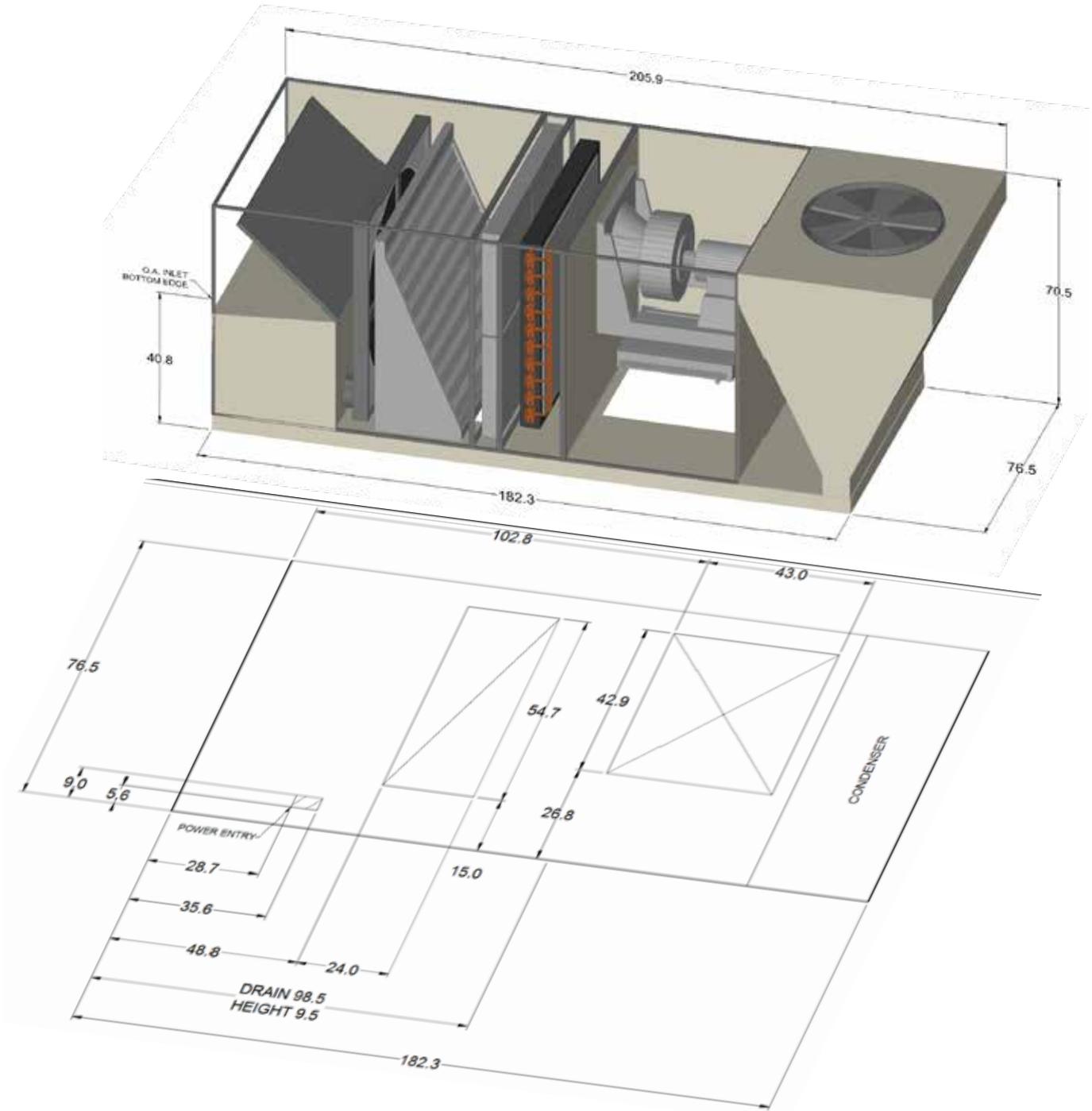
NOTE:
 1. Recommended location for optional field-cut side power connection.

Figure 35: DPS 016-028, Economizer No Energy Recovery



NOTE:
 1. Recommended location for optional field-cut side power connection.
 2. Horizontal gas connection only. Gas pipe routing within the roof curb is not available.

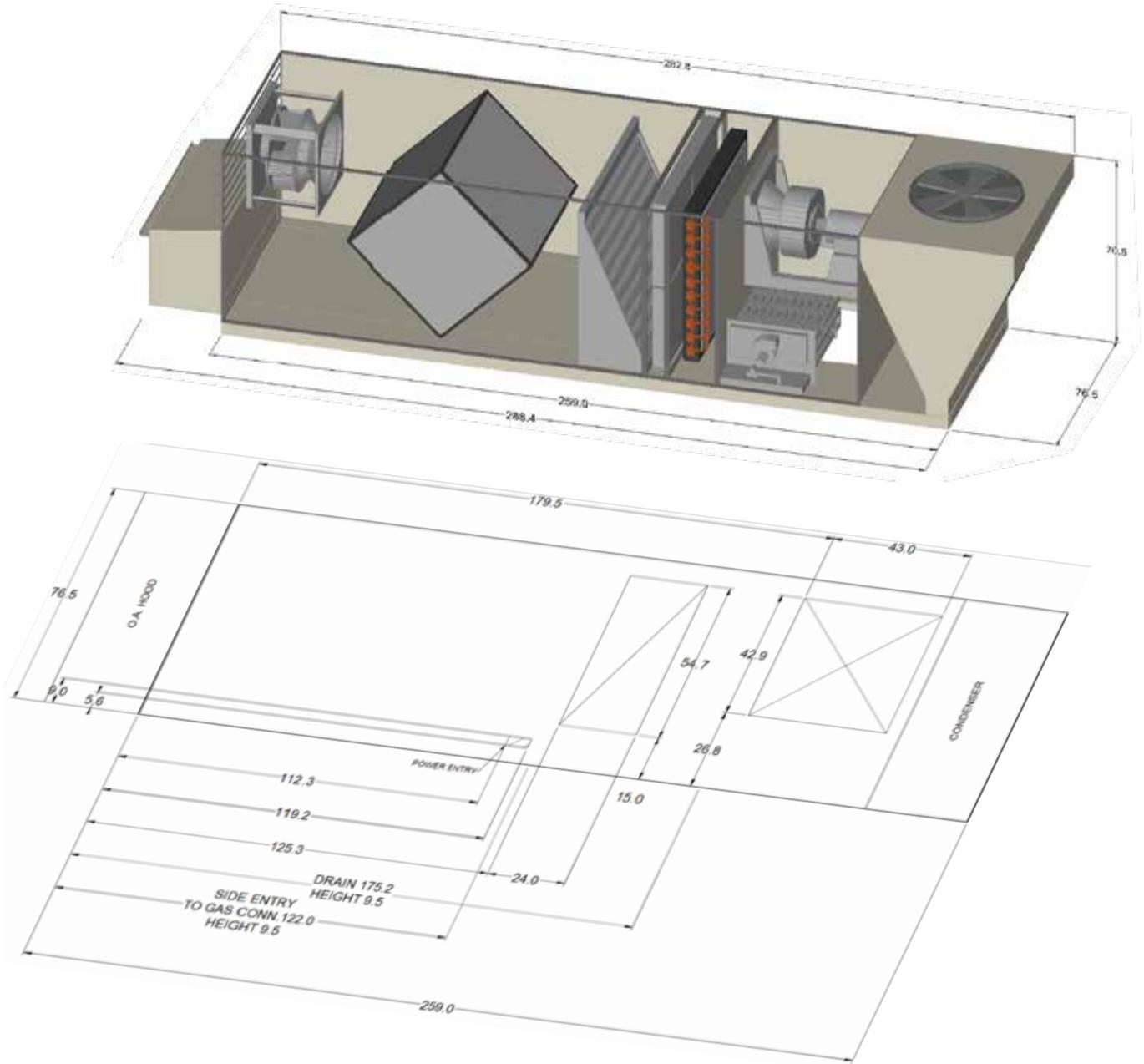
Figure 36: DPS 016–028, Energy Recovery



NOTE:

1. Recommended location for optional field-cut side power connection.
2. Horizontal gas connection only. Gas pipe routing within the roof curb is not available.

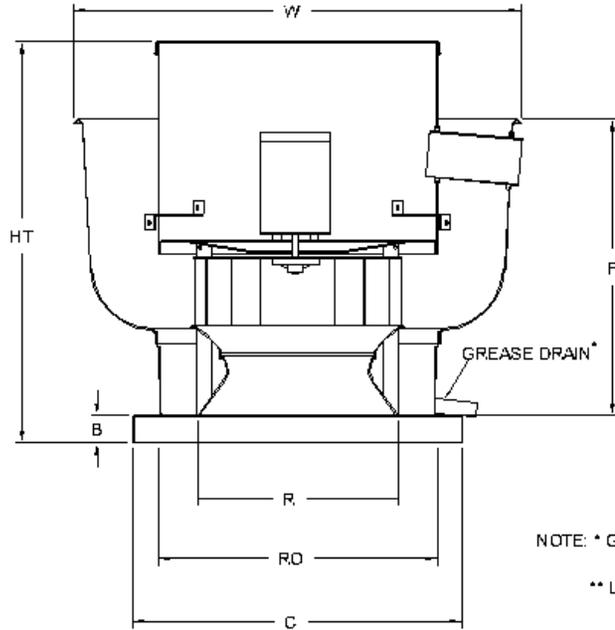
Figure 37: DPS 016–028, CORE Energy Recovery



NOTE:

1. Recommended location for optional field-cut side power connection.
2. Horizontal gas connection only. Gas pipe routing within the roof curb is not available.

DU SERIES UPBLAST EXHAUST FANS (UL705)



FEATURES:

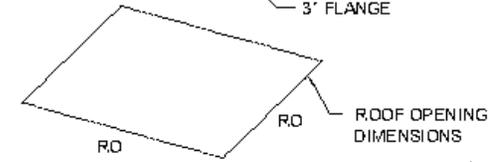
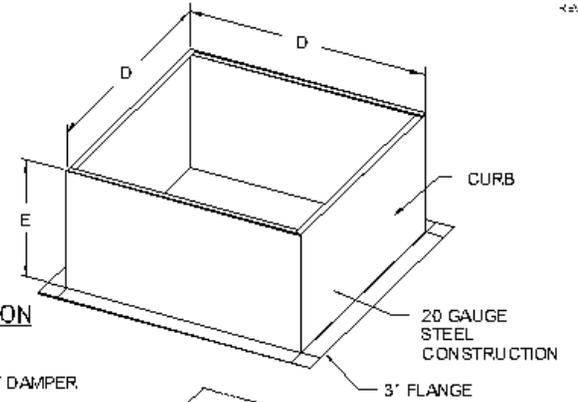
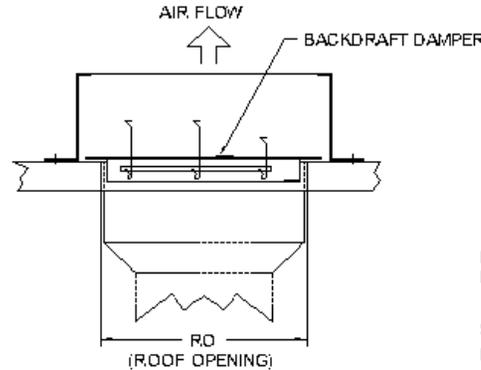
- DIRECT DRIVE CONSTRUCTION (NO BELTS/ PULLEYS)
- ROOF MOUNTED FANS
- UL705
- VARIABLE SPEED CONTROL
- INTERNAL WIRING
- WEATHERPROOF DISCONNECT
- THERMAL OVERLOAD PROTECTION (SINGLE PHASE)

OPTIONS:

- BACKDRAFT DAMPER
- HINGED FAN
- PITCHED CURB
- INSULATED CURB
- BIRD SCREEN
- LOW PROFILE OPTION

NOTE: * GREASE DRAIN NOT REQ'D ON DU10/12/HFA
 ** LOW PROFILE 'HT' DIMENSION CHANGES.

BACKDRAFT DAMPER INSTALLATION



PITCHED CURBS ARE AVAILABLE FOR PITCHED ROOFS.

SPECIFY PITCH:
 EXAMPLE: 7/12 PITCH = 30° SLOPE

DU DIRECT DRIVE CENTRIFUGAL UP-BLAST EXHAUST FANS DIMENSIONAL DATA

FAN MODEL	HT	**HT	W	B	C	F	R	RO	WEIGHT LB
DU10	14 1/2	N/A	17 3/4	2	19	9 1/2	8 1/8	13	30
DU12	18	17	22	2	19	14 1/2	10 5/8	13	40
DU30	25 1/4	20 1/4	25 1/2	2	21	18 1/2	12 1/8	16	50
DU33	25 1/4	20 1/4	25 1/2	2	21	18 1/2	12 1/8	16	50
DU50	27 1/4	23 1/4	28 7/8	2	21	21 1/2	13 1/4	16	55
DU85	30 1/2	25 1/2	31 7/8	2	24 3/4	23	14 7/8	20	60
DU180	33 3/4	N/A	39 3/8	2	28	22 5/8	16 1/2	24	190
DU200	33 3/8	N/A	38 7/8	2	28	29 1/2	18	24	195
DU240	37 1/2	N/A	43 3/8	2	33	30 5/8	23 7/8	28	270
DU300	44	N/A	52 3/4	2	40	33 1/2	24	36	410
DU360	49 9/16	N/A	63 5/16	2	44	43 7/16	25 1/4	40	470

CURB DIMENSIONAL DATA

FAN MODEL	D	E
DU10	17 1/2	12
DU12	17 1/2	12
DU30	19 1/2	12
DU33	19 1/2	12
DU50	19 1/2	12
DU85	23	12
DU180	26 1/2	12
DU200	26 1/2	12
DU240	31 1/2	12
DU300	38 1/2	12
DU360	42 1/2	12

AD Series Modular Roof Mount and Inline

Direct Fired Heated Make-Up Air



The AD Series Direct Gas-Fired Heater is ETL listed for use in tempering make-up air. Unit meets ANSI Z83.4a-2001/CSA3.7a-2001 safety standards and is designed for natural or propane gas applications. The heaters are rated for indoor/outdoor installations in commercial occupancies. A unique feature is the self-adjusting burner profile plates allowing variable-air-volume applications. The plates ensure proper air velocity and pressure drop across the burner for clean combustion. Spring-loaded profile plates react to the momentum of the fresh air stream, therefore, no motors or actuators are needed to drive them, nor do they need to be manually set to a specific position.

Features & Benefits

- G90 galvanized construction • Easy access doors
- Lifting points • Redundant gas valves • Disconnect switch
- Pre-wired, pre-piped controls • Horizontal or down discharge
- Vibration isolation • Fully insulated casing w/ aluminum casting
- Adjustable drive sheaves • Stainless steel burner
- Electronic flame modulation • Burner observation port
- 120 volt control transformer with single point electrical connection
- Intermittent spark pilot with timed safety lockout
- High temperature limit switch • Airflow proving switch
- Economizer inlet thermostat • Motor starter

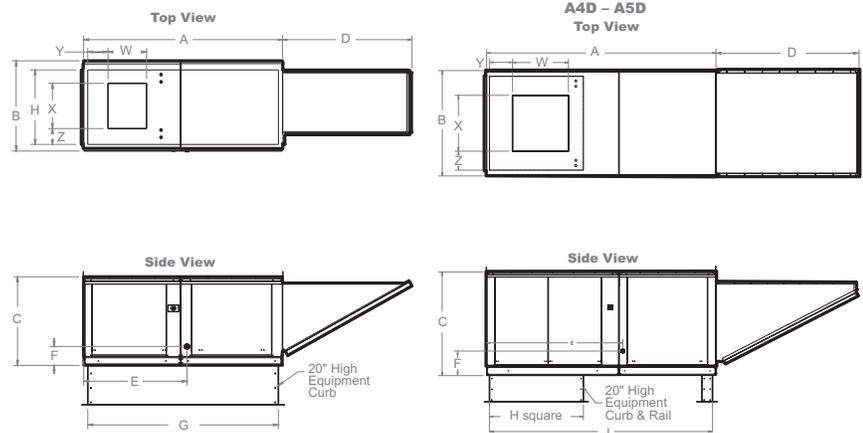
Options

- Propane fuel application • Room override thermostat
- Clogged filter switch • Motorized intake damper
- Remote control panel including summer/winter switch & operating lights
- Freeze stat with bypass timer • Hi/Low gas pressure switches
- Room modulating thermostat • Convenience outlet
- High gas pressure regulator • Cooling Interlock
- DX cooling coils • V-Bank filter intake
- Evaporative cooler intake • Auxiliary starters
- Sloped filter intake • Indoor hanging cradle
- Inlet gas pressure gauge • VAV packages
- Roof curbs

Certifications



ETL Listed and Certified to
ANSI Z83.4a-2001/CSA 3.7a-2001



Measurements

MODEL	Unit Dimensions					
	A	B	C	D	E	F
A1-D	74 7/16	27 3/8	29 3/4	44 5/16	34 13/16	7 13/16
A2-D	82 7/16	37 3/8	36 3/4	53 11/16	42 13/16	7 13/16
A3-D	87 7/16	41 3/8	43 3/8	51 5/8	47 13/16	9 1/2
A4-D	118 1/2	48 7/16	51 7/16	75	66 5/16	13 9/16
A5-D	128 1/2	59 3/16	58 7/16	75	76 7/16	13 13/16

Measurements

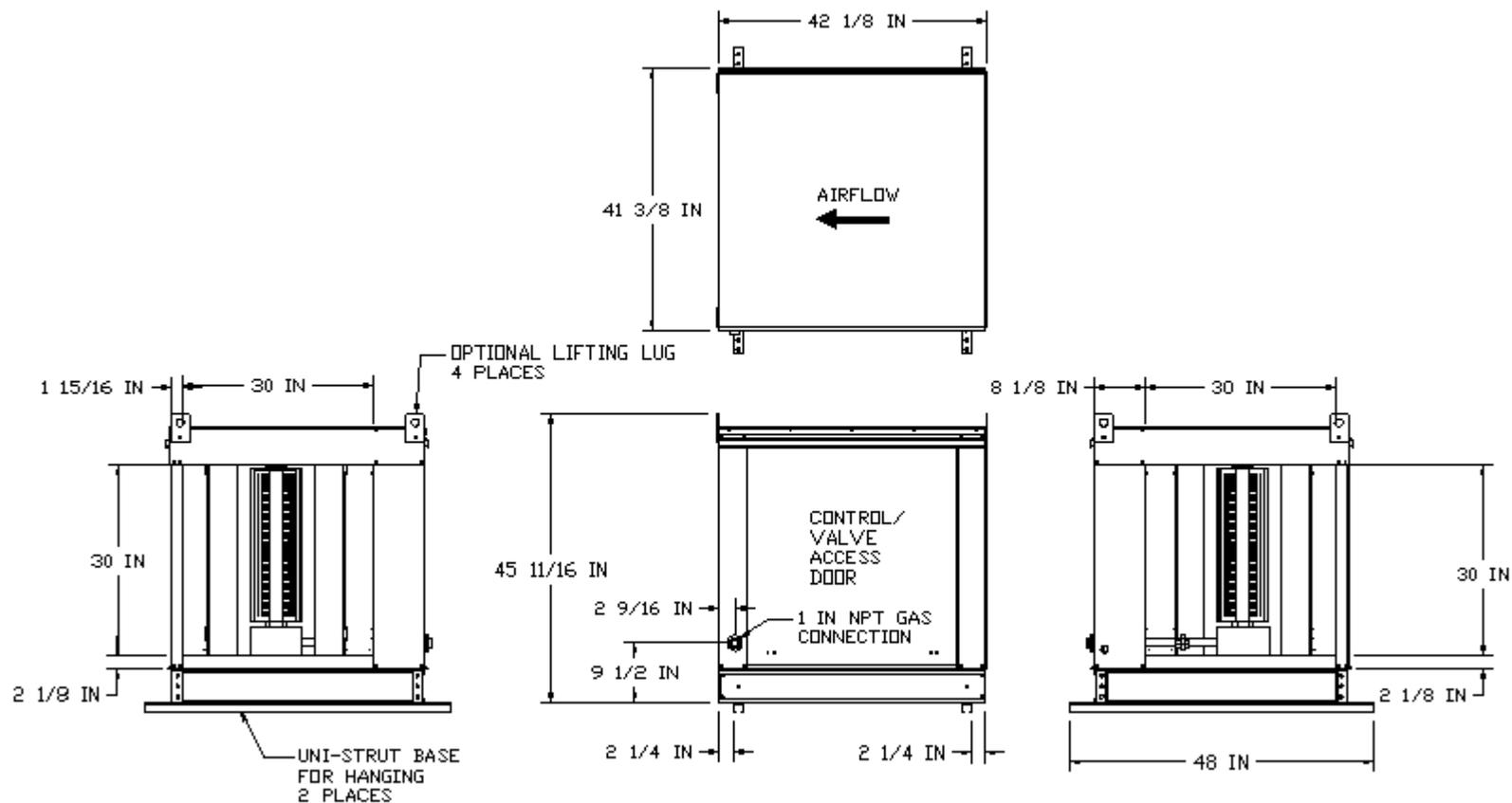
MODEL	Blower				Curb & Rail		
	W	X	Y	Z	G	H	J
A1-D	11 3/8	13 1/8	5 5/8	4 15/16	71	21	n/a
A2-D	15 7/8	18 5/8	8 3/8	6 15/16	79	31	n/a
A3-D	18 7/8	21 7/8	10 3/8	6 11/16	84	35	n/a
A4-D	24 7/8	24 7/8	10 11/16	8 9/16	-	42	115 3/16
A5-D	31 3/8	31 3/8	12 15/16	10 11/16	-	52 3/4	125 3/16

MODEL	Unit Information			
	Filter Size	Burner Size	Pipe Size	Weight (lbs)
A1-D	(3) 16 x 20	250 or 500	3/4"	350
A2-D	(3) 20 x 25	500 or 750	1"	550
A3-D	(6) 16 x 20	1000	1"	650
A4-D	(10) 16 x 20	1500	1 1/4"	1100
A5-D	(8) 20 x 25	2500	1 1/2"	1350

BHP (Brake Horsepower): The actual power developed by a motor as measured by the force applied to a shaft or flywheel.

Performance		Static Pressure in Inches W.G.								
MODEL	CFM	0.00" RPM/BHP	0.25" RPM/BHP	0.50 RPM/BHP	0.75 RPM/BHP	1.00 RPM/BHP	1.25 RPM/BHP	1.50 RPM/BHP	1.75 RPM/BHP	2.00 RPM/BHP
A1-D	1000	366 / 0.06	628 / 0.14	826 / 0.25	998 / 0.38	1140 / 0.51	1259 / 0.64	1362 / 0.77	1451 / 0.88	1531 / 0.99
A1-D	1250	457 / 0.11	686 / 0.22	857 / 0.33	1014 / 0.47	1157 / 0.63	1286 / 0.80	1398 / 0.96	1501 / 1.13	1590 / 1.28
A1-D	1500	548 / 0.19	752 / 0.32	906 / 0.45	1045 / 0.60	1176 / 0.76	1300 / 0.94	1415 / 1.13	1523 / 1.34	1620 / 1.53
A1-D	1750	639 / 0.31	821 / 0.45	965 / 0.60	1091 / 0.76	1209 / 0.93	1323 / 1.12	1432 / 1.32	1536 / 1.54	1636 / 1.77
A1-D	2000	730 / 0.46	892 / 0.62	1030 / 0.79	1147 / 0.97	1255 / 1.15	1359 / 1.34	1459 / 1.55	1558 / 1.78	
A1-D	2250	821 / 0.65	966 / 0.83	1098 / 1.03	1210 / 1.22	1310 / 1.42	1406 / 1.62	1499 / 1.84		
A1-D	2500	913 / 0.90	1042 / 1.08	1168 / 1.31	1275 / 1.52	1371 / 1.74	1462 / 1.96			
A1-D	2750	1004 / 1.20	1120 / 1.39	1239 / 1.64	1343 / 1.88					
A1-D	3000	1095 / 1.55	1200 / 1.76							
A2-D	2500	405 / 0.31	571 / 0.53	704 / 0.81	811 / 1.11	903 / 1.41	985 / 1.71	1060 / 2.02	1128 / 2.33	1190 / 2.64
A2-D	3000	486 / 0.54	624 / 0.76	753 / 1.10	856 / 1.44	946 / 1.80	1027 / 2.15	1101 / 2.52	1170 / 2.88	1233 / 3.25
A2-D	3500	566 / 0.85	682 / 1.09	804 / 1.46	905 / 1.85	992 / 2.26	1071 / 2.67	1144 / 3.08	1211 / 3.50	1275 / 3.93
A2-D	4000	647 / 1.27	744 / 1.51	856 / 1.91	955 / 2.35	1040 / 2.80	1118 / 3.27	1188 / 3.73	1255 / 4.20	1317 / 4.68
A2-D	4500	728 / 1.81	811 / 2.06	912 / 2.46	1006 / 2.95	1090 / 3.45	1166 / 3.96	1236 / 4.48	1300 / 5.00	
A2-D	5000	809 / 2.48	881 / 2.74	970 / 3.15	1060 / 3.66	1142 / 4.20	1216 / 4.77			
A2-D	5500	890 / 3.30	954 / 3.57	1032 / 3.98	1116 / 4.50					
A2-D	6000	971 / 4.28	1028 / 4.56	1098 / 4.98						
A3-D	3500	320 / 0.40	440 / 0.56	550 / 0.87	645 / 1.21	729 / 1.58	806 / 1.97	874 / 2.37	937 / 2.77	994 / 3.18
A3-D	4000	345 / 0.50	470 / 0.74	572 / 1.07	662 / 1.44	743 / 1.85	818 / 2.27	886 / 2.71	950 / 3.15	1008 / 3.61
A3-D	4500	388 / 0.71	502 / 0.96	598 / 1.32	682 / 1.72	760 / 2.15	832 / 2.60	898 / 3.06	962 / 3.56	1021 / 4.06
A3-D	5000	431 / 0.98	535 / 1.24	626 / 1.62	706 / 2.04	779 / 2.49	848 / 2.97	913 / 3.47	975 / 4.00	1033 / 4.53
A3-D	5500	474 / 1.30	569 / 1.57	656 / 1.97	732 / 2.42	802 / 2.90	868 / 3.40	930 / 3.93	989 / 4.48	
A3-D	6000	517 / 1.69	605 / 1.97	686 / 2.39	759 / 2.86	826 / 3.36	889 / 3.89	949 / 4.45		
A3-D	6500	560 / 2.15	641 / 2.43	719 / 2.87	789 / 3.36	853 / 3.89	913 / 4.45			
A3-D	7000	604 / 2.68	678 / 2.97	752 / 3.42	819 / 3.94	881 / 4.49				
A3-D	7500	647 / 3.30	716 / 3.59	786 / 4.05	850 / 4.59					
A3-D	8000	690 / 4.00	755 / 4.30	820 / 4.77						
A4-D	7000	350 / 1.05	408 / 1.32	473 / 1.75	539 / 2.22	602 / 2.71	663 / 3.22	719 / 3.75	772 / 4.30	821 / 4.85
A4-D	8000	376 / 1.31	448 / 1.83	506 / 2.31	563 / 2.81	620 / 3.35	676 / 3.92	730 / 4.50	781 / 5.10	830 / 5.70
A4-D	9000	423 / 1.87	490 / 2.46	542 / 2.99	593 / 3.55	644 / 4.13	695 / 4.73	745 / 5.36	793 / 6.01	840 / 6.68
A4-D	10000	470 / 2.56	533 / 3.23	581 / 3.83	627 / 4.43	673 / 5.05	718 / 5.70	764 / 6.38	809 / 7.07	854 / 7.78
A4-D	11000	517 / 3.40	576 / 4.16	621 / 4.82	663 / 5.48	705 / 6.15	747 / 6.84	788 / 7.55	830 / 8.29	871 / 9.05
A4-D	12000	564 / 4.42	620 / 5.26	663 / 5.99	702 / 6.70	740 / 7.42	778 / 8.16	816 / 8.92	854 / 9.70	
A4-D	13000	611 / 5.62	664 / 6.55	705 / 7.34	742 / 8.12	777 / 8.89	813 / 9.68			
A5-D	10000	260 / 1.21	375 / 2.25	456 / 3.16	524 / 4.10	587 / 5.09	644 / 6.12	696 / 7.18	744 / 8.25	788 / 9.32
A5-D	11000	286 / 1.61	395 / 2.78	473 / 3.79	538 / 4.79	598 / 5.85	654 / 6.95	706 / 8.09	754 / 9.26	799 / 10.43
A5-D	12000	312 / 2.09	414 / 3.39	490 / 4.50	554 / 5.59	612 / 6.71	665 / 7.88	716 / 9.09	764 / 10.33	808 / 11.60
A5-D	13000	338 / 2.66	434 / 4.08	509 / 5.32	571 / 6.49	626 / 7.68	678 / 8.91	727 / 10.19	774 / 11.50	818 / 12.85
A5-D	14000	364 / 3.32	454 / 4.85	528 / 6.23	588 / 7.50	642 / 8.77	692 / 10.06	740 / 11.40	785 / 12.78	828 / 14.19
A5-D	15000	389 / 4.09	474 / 5.72	547 / 7.25	606 / 8.63	659 / 9.98	707 / 11.34	753 / 12.74	797 / 14.18	840 / 15.66
A5-D	16000	415 / 4.96	494 / 6.70	567 / 8.38	625 / 9.88	676 / 11.32	723 / 12.75	768 / 14.23	811 / 15.73	852 / 17.27
A5-D	17000	441 / 5.95	515 / 7.78	586 / 9.62	644 / 11.24	694 / 12.79	740 / 14.31	784 / 15.86	825 / 17.43	865 / 19.03
A5-D	18000	467 / 7.06	536 / 8.98	606 / 10.98	663 / 12.74	713 / 14.39	758 / 16.01	800 / 17.63	841 / 19.27	
A5-D	19000	493 / 8.30	557 / 10.30	626 / 12.45	682 / 14.36	731 / 16.14	776 / 17.86	818 / 19.56		
A5-D	20000	519 / 9.69	579 / 11.76	646 / 14.06	702 / 16.12	751 / 18.03	794 / 19.85			
A5-D	21000	545 / 11.21	602 / 13.36	666 / 15.80	722 / 18.02					

D3 -- INLINE DIRECT FIRED MODULE

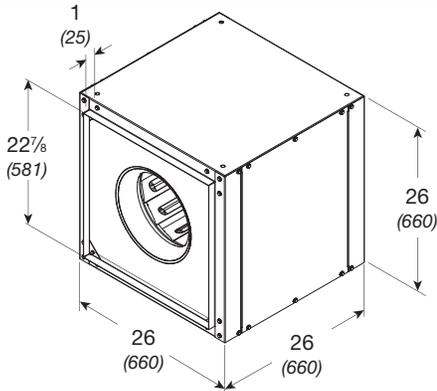


NOTES:

- 1) ALL DIMENSIONS ARE NOMINAL AND GIVEN IN INCHES.
- 2) RECOMMENDED INLET DUCT SIZE = 32 IN TALL X 32 IN WIDE.
- 3) RECOMMENDED DISCHARGE DUCT SIZE = 32 IN TALL X 32 IN WIDE.

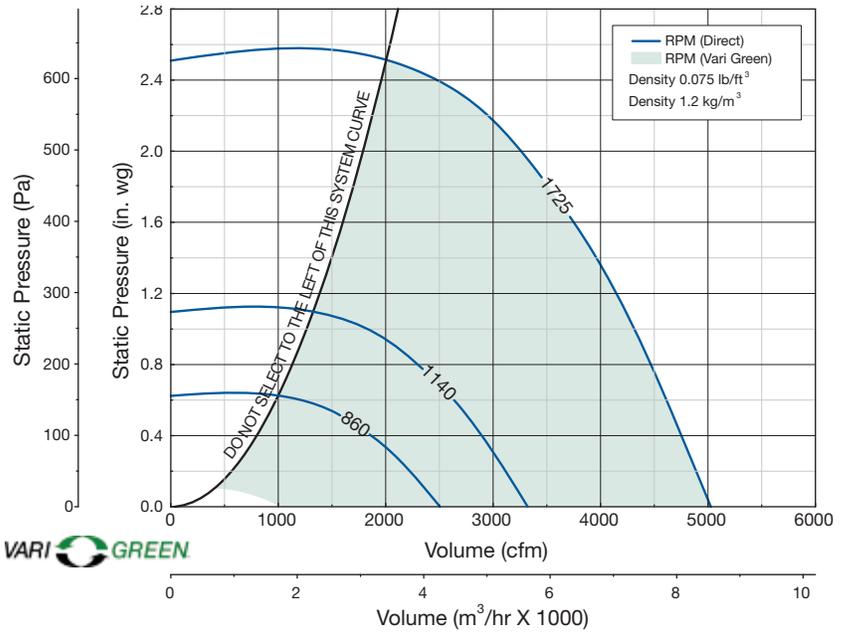
UNIT INFORMATION			
FILTER SIZE	BURNER SIZE	BLOWER SIZE	WEIGHT (lbs)
N/A	18" or 24"	N/A	300

SQ 160 - Direct Drive



Damper size = 23 x 23 (584 x 584)
 Unit weight** = 160 (73)
 Housing thickness = 18 ga
 Outlet velocity = 0.275 x cfm

Dimensions shown in inches (millimeters) and weight is shown in pounds (kilograms).
 **Weight shown is largest cataloged Open Drip Proof motor.



Motor HP	Fan RPM	CFM / Static Pressure in Inches wg											
		0.000	0.250	0.500	0.750	1.000	1.250	1.500	1.750	1.875	2.000		
160													
VG-3/4	C-1/4	860	CFM	2506	2148	1605							
			BHP	0.20	0.23	0.24							
			Sones	8.8	7.2	6.5							
VG-1	B-1/2	1140	CFM	3322	3062	2773	2388	1808					
			BHP	0.470	0.510	0.540	0.560	0.510					
			Sones	14.0	12.8	11.9	11.4	10.8					
VG-1	A-2	1300	CFM	3788	3562	3320	3033	2685	2223				
			BHP	0.70	0.74	0.78	0.81	0.84	0.79				
			Sones	16.8	15.8	14.8	14.5	14.1	13.7				
VG-2	A-2	1725	CFM	5027	4857	4684	4504	4312	4094	3845	3575	3414	3236
			BHP	1.64	1.69	1.74	1.80	1.85	1.89	1.93	1.95	1.94	1.91
			Sones	26	25	24	24	24	24	24	24	24	24

Performance certified is for installation type B: Free inlet, Ducted outlet. Performance ratings do not include the effects of appurtenances (accessories).
 The sound ratings shown are loudness values in fan sones at 1.5 m (5 feet) in a hemispherical free field calculated per AMCA International Standard 301. Values shown are for installation type B: free inlet hemispherical sone levels.



Combined CIS & Site Plan Review Application Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: _____
 Address: _____

 Phone Number: _____
 Fax Number: _____
 Email address: _____

2. Property Owner

Name: _____
 Address: _____

 Phone Number: _____
 Fax Number: _____
 Email address: _____

3. Applicant's Attorney/Contact Person

Name: _____
 Address: _____

 Phone Number: _____
 Fax Number: _____
 Email address: _____

4. Project Designer/Developer

Name: _____
 Address: _____

 Phone Number: _____
 Fax Number: _____
 Email address: _____

5. Required Attachments

- I. Two (2) paper copies and one (1) digital copy of all project plans including:
 - i. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject site's property lines;
 - ii. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
 - iii. A certified Land Survey;
 - iv. Interior floor plans;
 - v. A Landscape Plan;
 - vi. A Photometric Plan;
 - vii. Colored elevation drawings for each building elevation;
- II. Specification sheets for all proposed materials, light fixtures and mechanical equipment;
- III. Samples of all proposed materials;
- IV. Photographs of existing conditions on the site including all structures, parking areas, landscaping and adjacent structures;
- V. Current aerial photographs of the site and surrounding properties;
- VI. Warranty Deed, or Consent of Property Owner if applicant is not the owner;
- VII. Any other data requested by the Planning Board, Planning Department, or other City Departments.

6. Project Information

Address/Location of the property: _____

 Name of development: _____

 Sidwell #: _____
 Current Use: _____

 Current zoning: _____

 Is the property located in the floodplain? _____

Name of Historic District Site is Located in: _____

 Date of HDC Approval: _____
 Date of DRB Approval: _____
 Area of Site in Acres: _____
 Proposed Use: _____
 Will proposed project require the division of platted lots? ____

 Will proposed project require the combination of platted lots?

7. Details of the Proposed Development (attach separate sheet if necessary)

8. Buildings and Structures

Number of Buildings on Site: _____
Height of Buildings & # of Stories: _____

Use of Buildings: _____
Height of Rooftop Mechanical Equipment: _____

9. Floor Use and Area (in Square Feet)

Proposed Commercial Structures:

Total basement floor area: _____
Number of square feet per upper floor: _____
Total floor area: _____
Floor area ratio (total floor area ÷ total land area): _____
Open space: _____
Percent of open space: _____

Office Space: _____
Retail Space: _____
Industrial Space: _____
Assembly Space: _____
Seating Capacity: _____
Maximum Occupancy Load: _____

Proposed Residential Structures:

Total number of units: _____
Number of one bedroom units: _____
Number of two bedroom units: _____
Number of three bedroom units: _____
Open space: _____
Percent of open space: _____

Rental units or condominiums? _____
Size of one bedroom units: _____
Size of two bedroom units: _____
Size of three bedroom units: _____
Seating Capacity: _____
Maximum Occupancy Load: _____

Proposed Additions:

Total basement floor area, if any, of addition: _____
Number of floors to be added: _____
Square footage added per floor: _____
Total building floor area (including addition): _____
Floor area ratio (total floor area ÷ total land area): _____
Open Space: _____
Percent of open space: _____

Use of addition: _____
Height of addition: _____
Office space in addition: _____
Retail space in addition: _____
Industrial space in addition: _____
Assembly space in addition: _____
Maximum building occupancy load (including addition): _____

10. Required and Proposed Setbacks

Required front setback: _____
Required rear setback: _____
Required total side setback: _____
Side setback: _____

Proposed front setback: _____
Proposed rear setback: _____
Proposed total side setback: _____
Second side setback: _____

11. Required and Proposed Parking

Required number of parking spaces: _____
Typical angle of parking spaces: _____
Typical width of maneuvering lanes: _____
Location of parking on site: _____
Location of parking off site: _____
Number of light standards in parking area: _____
Screenwall material: _____

Proposed number of parking spaces: _____
Typical size of parking spaces: _____
Number of spaces <180 sq. ft.: _____
Number of handicap spaces: _____
Shared parking agreement? _____
Height of light standards in parking area: _____
Height of screenwall: _____

12. Landscaping

Location of landscape areas: _____

Proposed landscape material: _____

13. Streetscape

Sidewalk width: _____
Number of benches: _____
Number of planters: _____
Number of existing street trees: _____
Number of proposed street trees: _____
Streetscape Plan submitted? _____

Description of benches or planters: _____

Species of existing trees: _____

Species of proposed trees: _____

14. Loading

Required number of loading spaces: _____
Typical angle of loading spaces: _____
Screenwall material: _____
Location of loading spaces on site: _____

Proposed number of loading spaces: _____
Typical size of loading spaces: _____
Height of screenwall: _____
Typical time loading spaces are used: _____

15. Exterior Waste Receptacles

Required number of waste receptacles: _____
Location of waste receptacles: _____
Screenwall material: _____

Proposed number of waste receptacles: _____
Size of waste receptacles: _____
Height of screenwall: _____

16. Mechanical Equipment

Utilities and Transformers:

Number of ground mounted transformers: _____
Size of transformers (L•W•H): _____
Number of utility easements: _____
Screenwall material: _____

Location of all ground mounted utilities: _____

Height of screenwall: _____

Ground Mounted Mechanical Equipment:

Number of ground mounted units: _____
Size of ground mounted units (L•W•H): _____
Screenwall material: _____

Location of all ground mounted units: _____

Height of screenwall: _____

Rooftop Mechanical Equipment:

Number of rooftop units: _____
Type of rooftop units: _____

Screenwall material: _____
Location of screenwall: _____

Location of all rooftop units: _____
Size of rooftop units (L•W•H): _____
Percentage of rooftop covered by mechanical units: _____
Height of screenwall: _____
Distance from rooftop units to all screenwalls: _____

17. Accessory Buildings

Number of accessory buildings: _____
Location of accessory buildings: _____

Size of accessory buildings: _____
Height of accessory buildings: _____

18. Building Lighting

Number of light standards on building: _____
Size of light fixtures (L•W•H): _____

Type of light standards on building: _____

Height from grade: _____

Maximum wattage per fixture: _____
Light level at each property line: _____

Proposed wattage per fixture: _____

19. Site Lighting

Number of light fixtures: _____
Size of light fixtures (L•W•H): _____
Maximum wattage per fixture: _____
Light level at each property line: _____

Type of light fixtures: _____
Height from grade: _____
Proposed wattage per fixture: _____
Holiday tree lighting receptacles: _____

20. Adjacent Properties

Number of properties within 200 ft.: _____

Property #1

Number of buildings on site: _____
Zoning district: _____
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: _____

North, south, east or west of property? _____

Property #2

Number of buildings on site: _____
Zoning district: _____
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: _____

North, south, east or west of property? _____

Property #3

Number of buildings on site: _____
Zoning district: _____
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: _____

North, south, east or west of property? _____

Property #4

Number of buildings on site: _____
Zoning district: _____
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: _____

North, south, east or west of property? _____

Property #5

Number of buildings on site: _____
Zoning district: _____
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: _____

North, south, east or west of property? _____

Property #6

Number of buildings on site: _____
Zoning district: _____
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: _____

North, south, east or west of property? _____

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner: _____
REFER TO CONSENT OF PROPERTY OWNER FORM IN APPENDIX 3.1 Date: _____

Print Name: _____
REFER TO CONSENT OF PROPERTY OWNER FORM IN APPENDIX B.1

Signature of Applicant:  _____ Date: 2/17/2021

Print Name: DAVE STANCHAK

Signature of Architect:  _____ Date: 2/18/2021

Print Name: VICTOR SAROKI

Office Use Only

Application #: _____ Date Received: _____ Fee: _____

Date of Approval: _____ Date of Denial: _____ Accepted by: _____



COMBINED SITE PLAN REVIEW & COMMUNITY IMPACT STUDY APPLICATION CHECKLIST- PLANNING DIVISION

Applicant: _____ Case #: _____ Date: _____

Address: _____ Project: _____

All site plans and elevation drawings prepared for approval shall be prepared in accordance with the following specifications and other applicable requirements of the City of Birmingham. If more than one page is used, each page shall be numbered sequentially. All plans must be legible and of sufficient quality to provide for quality reproduction or recording. Plans must be no larger than 24" x 36", and must be folded and stapled together. The address of the site must be clearly noted on all plans and supporting documentation.

Site Plan

A full Site Plan detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- ___ 1. Name and address of applicant and proof of ownership;
- ___ 2. Name of Development (if applicable);
- ___ 3. Address of site and legal description of the real estate;
- ___ 4. Name and address of the land surveyor;
- ___ 5. Legend and notes, including a graphic scale, north point, and date;
- ___ 6. A separate location map;
- ___ 7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land;
- ___ 8. Aerial photographs of the subject site and surrounding properties;
- ___ 9. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
- ___ 10. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject site's property lines;
- ___ 11. Interior floor plans;
- ___ 12. A chart indicating the dates of any previous approvals by the Planning Board, Board of Zoning Appeals, Design Review Board, or the Historic District Commission ("HDC");
- ___ 13. Existing and proposed layout of streets, open space and other basic elements of the plan;
- ___ 14. Existing and proposed utilities and easements and their purpose;

- ___ 15. Location of natural streams, regulated drains, 100-year flood plains, floodway, water courses, marshes, wooded areas, isolated preserve-able trees, wetlands, historic features, existing structures, dry wells, utility lines, fire hydrants and any other significant feature(s) that may influence the design of the development;
- ___ 16. General description, location, and types of structures on site;
- ___ 17. Location of sidewalks, curb cuts, and parking lots on subject site and all sites within 200 ft. of the property line;
- ___ 18. Details of existing or proposed lighting, signage and other pertinent development features;
- ___ 19. Elevation drawings showing proposed design;
- ___ 20. Screening to be utilized in concealing any exposed mechanical or electrical equipment and all trash receptacle areas;
- ___ 21. Location of all exterior lighting fixtures;
- ___ 22. A Photometric Plan depicting proposed illuminance levels at all property lines;
- ___ 23. A Landscape Plan showing all existing and proposed planting and screening materials, including the number, size, and type of plantings proposed and the method of irrigation; and
- ___ 24. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.

Elevation Drawings

Complete elevation drawings detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- ___ 25. Color elevation drawings showing the proposed design for each façade of the building;
- ___ 26. List of all materials to be used for the building, marked on the elevation drawings;
- ___ 27. Elevation drawings of all screenwalls to be utilized in concealing any exposed mechanical or electrical equipment, trash receptacle areas and parking areas;
- ___ 28. Details of existing or proposed lighting, signage and other pertinent development features;
- ___ 29. A list of any requested design changes;
- ___ 30. Itemized list and specification sheets of all materials, light fixtures and mechanical equipment to be used, including exact size specifications, color, style, and the name of the manufacturer;
- ___ 31. Location of all exterior lighting fixtures, exact size specifications, color, style and the name of the manufacturer of all fixtures, and a photometric analysis of all exterior lighting fixtures showing light levels to all property lines; and
- ___ 32. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.



**COMMUNITY IMPACT STUDY CHECKLIST
PLANNING DIVISION**

Applicant: _____ Case #: _____ Date: _____

Address: _____ Project: _____

All Community Impact Studies prepared for approval must contain the following information:

General Information

- ___ 1. Name and address of applicant and proof of ownership;
- ___ 2. Name of Development (if applicable);
- ___ 3. Address of site and legal description of the real estate;
- ___ 4. Name and address of the land surveyor;
- ___ 5. Legend and notes, including a graphic scale, north point, and date;
- ___ 6. A separate location map;
- ___ 7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land;
- ___ 8. Details of all proposed site plan changes;

Planning & Zoning Issues

- ___ 9. Recommended land use of the subject property as designated on the Future Land Use Map of the City's Master Plan;
- ___ 10. Goals and objectives of the city's Master Plans that demonstrate the City's support of the proposed development;
- ___ 11. Whether or not the project site is located within an area of the City for which an Urban Design Plan has been adopted by the Planning Board in which special design criteria or other supplemental development requirements apply;
- ___ 12. The current zoning classification of the subject property;
- ___ 13. The zoning classification required for the proposed development;
- ___ 14. The existing land uses adjacent to the proposed project;
- ___ 15. Complete the attached "Zoning Requirements Analysis" chart;

Land Development Issues

- ___ 16. A Survey and Site Drainage Plan;
- ___ 17. Identify any sensitive soils on site that will require stabilization or alteration in order to support the proposed development;
- ___ 18. Whether or not the proposed development will occur on a steep slope, and if so, the measures that will be taken to overcome potential erosion, slope stability and runoff;

- _____ 19. The volume of excavated soils to be removed from the site and /or delivered to the site, and a map of the proposed haul routes;
- _____ 20. Identify the potential hazards and nuisances that may be created by the proposed development and the suggested methods of mitigating such hazards;

Private Utilities

- _____ 21. Indicate the source of all required private utilities to be provided;
- _____ 22. Provide verification that all required utility easements have been secured for necessary private utilities;

Noise Levels

- _____ 23. Provide a reading of existing ambient noise and estimated future noise levels on the site;
- _____ 24. Indicate whether the project will be exposed to or cause noise levels which exceed those levels prescribed in Chapter 50, Division 4, Section 50-71 through 50-77 of the Birmingham City Code, as amended;
- _____ 25. Indicate whether the site is appropriate for the proposed activities and facilities given the existing ambient noise and the estimated future noise levels of the site;

Air Quality

- _____ 26. Indicate whether the project is located in the vicinity of a monitoring station where air quality violations have been registered and, if so, provide information as to whether the project will increase air quality problems in the area;
- _____ 27. Indicate if the nature of the project or its potential users would be particularly sensitive to existing air pollution levels and, if so, indicate how the project has been designed to mitigate possible adverse effects;
- _____ 28. Indicate whether the proposal will establish a trend which, if continued, may lead to violation of air quality standards in the future;
- _____ 29. Indicate whether the proposed project will have parking facilities for more than 75 cars and indicate percentage of required parking that is proposed;

Environmental Design and Historic Values

- _____ 30. Indicate whether there will be demonstrable destruction or physical alteration of the natural or human-made environment on site or in the right-of-way (i.e. clearance of trees, substantial regrading etc.);
- _____ 31. Indicate whether there will be an intrusion of elements out of character or scale with the existing physical environment (i.e. significant changes in size, scale of building, floor levels, entrance patterns, height, materials, color or style from that of surrounding developments);
- _____ 32. Indicate all elements of the project that are eligible for LEED points if the building were to be LEED certified (i.e. extensive use of natural daylight, use of low VOC paint, use of renewable/recycled resources, energy efficient mechanical systems, use of wind and solar power, geothermal heating etc.);
- _____ 33. Indicate whether the proposed structure will block or degrade views, change the skyline or create a new focal point;
- _____ 34. Indicate whether there will be objectionable visual pollution introduced directly or indirectly due to loading docks, trash receptacles or parking, and indicate mitigation measures for same;
- _____ 35. Indicate whether there will be an interference with or impairment of ambient conditions necessary for the enjoyment of the physical environment (i.e. vibration, dust, odor, heat, glare etc.);
- _____ 36. Indicate whether the project area and environs contain any properties listed on the National Register of Historic Places or the City's inventory of historic structures;
- _____ 37. Provide any information on the project area that the State Historic Preservation Office (SHPO) may have;

- _____ 38. Indicate whether there will be other properties within the boundaries or in the vicinity of the project that appear to be historic and thus require consultation with the SHPO as to eligibility for the National Register;
- _____ 39. Indicate whether the Department of the Interior has been requested to make a determination of eligibility on properties the SHPO or HDC deems eligible and affected by the project;
- _____ 40. Provide proof that the HDC has been given an opportunity to comment on properties that are listed on or have been found eligible for the National Register and which would be affected by the project;

Refuse

- _____ 41. Indicate whether the existing or planned solid waste disposal system will adequately service the proposed development including space for separation of recyclable materials;
- _____ 42. Indicate whether the design capacity of the existing or planned solid waste disposal system will be exceeded as a result of the project;

Sanitary Sewer

- _____ 43. Indicate whether existing or planned waste water systems will be able to adequately service the proposed development;
- _____ 44. Indicate whether the design capacity of these facilities will be exceeded as a result of the project;
- _____ 45. Indicate the elements of the project that have been incorporated to reduce the amount of water entering the sewer system (such as low flush toilets, EnergyStar appliances, restricted flow faucets, greywater recycling etc.);

Storm Sewer

- _____ 46. Indicate whether existing or planned storm water disposal and treatment systems will adequately serve the proposed development;
- _____ 47. Indicate whether the design capacity of these facilities will be exceeded as a result of the project;
- _____ 48. Indicate the elements of the project that have been incorporated to reduce the amount of storm water entering the sewer system (such as the use of pervious concrete, rain gardens, greywater recycling, green pavers etc.);

Water Service

- _____ 49. Indicate whether either the municipal water utility or on-site water supply system is adequate to serve the proposed project;
- _____ 50. Indicate whether the water quality is safe from both a chemical and bacteriological standpoint;
- _____ 51. Indicate whether the intended location of the service will be compatible with the location and elevation of the main;

Public Safety

- _____ 52. Whether or not the project location provides adequate access to police, fire and emergency medical services;
- _____ 53. Whether or not the proposed project design provides easy access for emergency vehicles and individuals (ie. are there obstacles to access, such as one-way roads, narrow bridges etc.);
- _____ 54. Whether or not there are plans for a security system which can be expanded, and whether approval for same has been granted by the police department;
- _____ 55. Detailed description of all fire access to the building, site, fire hydrants and water connections;
- _____ 56. Whether or not there are plans for adherence to all city and N.F.P.A. fire codes;

- _____ 57. Proof that one elevator has been designed to accommodate a medical cart;
- _____ 58. Detailed specifications on all fire lanes/parking lot surfaces/alleys/streets to demonstrate the ability to accommodate the weight of emergency / fire vehicles;
- _____ 59. Detailed description of all fire suppression systems;

Transportation issues

- _____ 60. Provide completed FORM A – Transportation Study Questionnaire (Abbreviated);
- _____ 61. Provide completed FORM B – Transportation Study Questionnaire if required by the city’s transportation consultant;
- _____ 62. Indicate whether transportation facilities and services will be adequate to meet the needs of all users (i.e. access to public transportation, bicycle accommodations, pedestrian connections, disabled, elderly etc.);
- _____ 63. Indicate how the project will improve the mobility of all groups by providing transportation choices;
- _____ 64. Indicate how the users of the building will be encouraged to use public transit and non-motorized forms of transportation;
- _____ 65. Indicate the elements that have been incorporated into the site and surrounding right-of-way to encourage mode shift away from private vehicle trips;
- _____ 66. Indicate the elements of the project that have been provided to improve the comfort and safety of cyclists (such as secured or covered bicycle parking, lockers, bike lanes/paths, bicycle share program etc.);
- _____ 67. Indicate the elements of the project that have been provided to improve the comfort and safety of pedestrians (such as wheelchair ramps, crosswalk markings, pedestrian activated signal lights, bulb outs, benches, landscaping, lighting etc.);
- _____ 68. Indicate the elements of the project that have been provided to encourage the use of sustainable transportation modes (such as receptacles for electric vehicle charging, parking for scooters/Smart cars etc.);

Natural Features

- _____ 69. Indicate whether there are any visual indicators of pond and / or stream water quality problems on or near the site;
- _____ 70. Indicate whether the project will involve any increase in impervious surface area and, if so, indicate the runoff control measures that will be undertaken;
- _____ 71. Indicate whether the project will affect surface water flows on water levels of ponds or other water bodies;
- _____ 72. Indicate whether the project may affect or be affected by a wetland, flood plain, or floodway;
- _____ 73. Indicate whether the project location or construction will adversely impact unique natural features on or near the site;
- _____ 74. Indicate whether the project will either destroy or isolate a unique natural feature from public access;
- _____ 75. Indicate whether any unique natural feature will pose safety hazards for the proposed development;
- _____ 76. Indicate whether the project will damage or destroy existing wildlife habitats; and

Other Information

- _____ 77. Any other information as may reasonably be required by the City to assure an adequate analysis of all existing and proposed site features and conditions.

Professional Qualifications

The preparer(s) of the CIS must indicate their professional qualifications, which must include registration in the state of Michigan in their profession where licensing is a state requirement for the practice of the profession (i.e. engineer, surveyor, architect etc.). Where the state does not require licensing (ie. planner, urban designer, economist etc.), the

preparer must demonstrate acceptable credentials including, but not limited to, membership in professional societies, university degrees, documentation illustrating professional experience in preparing CIS related materials for similar projects.



ZONING REQUIREMENTS ANALYSIS

Development Standard	Required	Proposed	Variance Required
Zoning Classification			
Front Setback			
Rear Setback			
Side Setback			
FAR - Percentage			
FAR – Square Footage			
Open Space – Percentage			
Open Space – Square Footage			
Number of Residential Units			
Minimum Floor Area			
Maximum Height			
Parking			
Loading			
Screening			



Notice Signs - Rental Application Community Development

1. Applicant

Name: _____
Address: _____

Phone Number: _____
Fax Number: _____
Email address: _____

Property Owner

Name: _____
Address: _____

Phone Number: _____
Fax Number: _____
Email address: _____

2. Project Information

Address/Location of Property: _____
Name of Development: _____
Area in Acres: _____

Name of Historic District site is in, if any: _____
Current Use: _____
Current Zoning: _____

3. Date of Board Review

Board of Building Trades Appeals: _____
City Commission: _____
Historic District Commission: _____
Planning Board: _____

Board of Zoning Appeals: _____
Design Review Board: _____
Housing Board of Appeals: _____

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.

Signature of Applicant:  Date: _____

Office Use Only

Application #: _____ Date Received: _____ Fee: _____

Date of Approval: _____ Date of Denial: _____ Reviewed by: _____



FEE SCHEDULE

Application	Fees
Administrative Approval	\$100
Administrative Sign Approval	\$100
Board of Zoning Appeals* <ul style="list-style-type: none"> • Single Family Residential • All Other Zoning Districts 	\$310 \$510
Community Impact Study Review*	\$2,050
Design Review*	\$350
Division/Combination of Platted Lots	\$200
Historic District Review* <ul style="list-style-type: none"> • Single Family Residential • All Other Zoning Districts 	No Charge \$350
Public Notice Sign <ul style="list-style-type: none"> • Notice Sign Rental • Returnable Sign Bond 	\$50 \$100 ➔ \$150 total
Preliminary/Final Site Plan Review <ul style="list-style-type: none"> • R4 – R8 Zoning District • Nonresidential Districts 	\$850, plus \$50 per dwelling unit \$1,050, plus \$50 per acre or portion of acre
Special Land Use Permit* <ul style="list-style-type: none"> • Plus Site Plan Review • Plus Design Review • Plus Publish of Legal Notice • Plus Sign Rental and Deposit 	\$800 \$1,050 \$350 \$450 \$150 ➔ \$2,800 total
Special Land Use Permit Annual Renewal	\$200
Temporary Use Permit	\$100
Zoning Compliance Letter	\$50

***The fees for Board of Zoning Appeals, Community Impact Study Review, Design Review, Site Plan Review, Historic District Review and Special Land Use Permits shall be double the listed amounts in the event the work is commenced prior to the filing of an application for review by the City of Birmingham.**



Williams Williams Rattner & Plunkett, P.C.
Attorneys and Counselors

380 North Old Woodward Avenue
Suite 300

Birmingham, Michigan 48009

Tel: (248) 642-0333

Fax: (248) 642-0856

February 24, 2021

Richard D. Rattner
rdr@wwrplaw.com

City Commission
Planning Board
City of Birmingham
151 Martin Street
Birmingham, MI 48009
Attn: Thomas Markus and Jana Ecker

Re: RH Gallery Submittal Overview

Dear Commissioners and Members of the Planning Board:

On behalf of RH, Inc. (“Applicant”), we are pleased to submit the applications and supporting materials for a new RH Gallery, to be located on 300 & 394 S. Old Woodward and part of 294 E. Brown Street (“Property”). The Applicant proposes to develop its innovative retail concept featuring artistic installations of home furnishings in a gallery setting in a new 49,000sf four-story building, with an indoor/outdoor rooftop restaurant with wine/beer sales (“Development”). The following applications are being submitted to request the required City approvals to facilitate the Development:

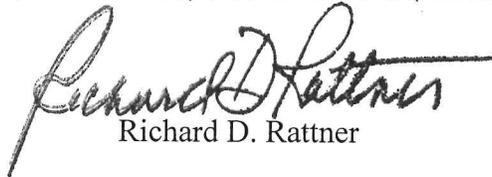
1. Application for Zoning Map Change – The Applicant is requesting a conditional rezoning pursuant to MCL 125.3405 and Section 7.02 of the City Zoning Ordinance to change the overlay zoning district for the Property from the D3 Zone to the D4 Zone to allow a four-story building with a restaurant on the top level. As part of this application, the Applicant is also requesting the extension of the City’s economic development zone to the Property to allow the Applicant to obtain an economic development license required to bring a new Class C license into the City for wine and beer sales. The Applicant offers to condition such rezoning approvals on its proposed use and development of the Property, which will be memorialized in a conditional rezoning agreement agreed upon with the City and recorded against the Property.
2. Special Land Use Permit Application – Economic Development License (“SLUP”) – Required pursuant to Chapter 10, Article II, Division 3 of the City Code to enable the Applicant to transfer a liquor license into the City for economic development purposes.
3. Combined CIS & Site Plan Review Application – Submitted as part of the SLUP Application requirements.

4. Division of Platted Lots Application – Two applications are being submitted to facilitate an adjustment of the property boundary line between (i) 294 E. Brown Street and 394 S. Old Woodward and (ii) 294 E. Brown Street and 300 S. Old Woodward, for the purpose of squaring off and providing a straight west property line for the Development.
5. Combination of Platted Lots Application – Required for the purpose of combining the resulting parcels into a single parcel after the land divisions.

We appreciate your consideration of our submittals and look forward to working with the City to bring the Applicant's RH Gallery to this community.

Very truly yours,

WILLIAMS, WILLIAMS, RATTNER & PLUNKETT, P.C.



Richard D. Rattner

RDR/cmc
Enclosures



CONSENT OF PROPERTY OWNER

I, Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95 _____, OF THE STATE OF Michigan AND
(Name of Property Owner)
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 394 S. Old Woodward;
(Address of Affected Property)
2. That I have read and examined the Application for **ZONING MAP CHANGE** made to the City of
Birmingham by: RH, Inc.;
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of
Birmingham.

Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95
Name of Owner (Printed): _____

Signature of Owner: Frank Konjarevich **Date:** 2/24/21

APPLICATION FOR ZONING MAP OR ORDINANCE CHANGE
Birmingham, Michigan

A letter of authority, or power of attorney, shall be attached in case the appeal is made by a person other than the actual owner of the property.

Date Received: _____ Received By: _____

Resolution No. _____ Approved/Denied _____

Application Fee: \$1,500.00 Receipt Number _____

The petitioner shall be responsible for any costs incurred by consultant, including but not limited to traffic and environmental, contracted by the city to review the proposed site plan and/or community impact study as determined by the city planner.

LEGAL DESCRIPTION – PARCELS I & II

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

PARCEL I:

THE EAST 1/2 OF LOT(S) 11 OF BROWN'S ADDITION TO THE CITY OF BIRMINGHAM AND THE EAST 1/2 OF LOT 16 OF BROWN'S ADDITION NO. 1, IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING THE VACATED WEST 20 FEET OF ANN STREET ADJOINING LOT 11 AND THE VACATED WEST 19 FEET OF ANN STREET ADJOINING LOT 16.

PARCEL II:

THE WEST 1/2 OF LOT(S) 12 OF BROWN'S ADDITION TO THE VILLAGE (NOW CITY) OF BIRMINGHAM, OF PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST, TOWNSHIP OF BLOOMFIELD (NOW CITY OF BIRMINGHAM), OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, ALSO LOT 15, ADDITION TO WILLIAM BROWN'S ADDITION NO. 1, BEING A PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING VACATED 20 FEET OF ANN STREET, ADJOINING THE WESTERLY SIDE OF LOT 12 AND VACATED 21 FEET OF ANN STREET ADJOINING THE WESTERLY SIDE OF LOT 15.

ADDRESS: 294 E. BROWN STREET, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-021

LEGAL DESCRIPTION – PARCEL 2

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

THE EASTERLY 50 FEET OF LOT 12, AND THE WESTERLY PART OF LOT 13, MEASURING 82.45 FEET ON THE NORTH LOT LINE AND 82.48 FEET ON THE SOUTH LOT LINE OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

ADDRESS: 300 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-006

LEGAL DESCRIPTION – PARCEL 3

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

LOT(S) 14, EXCEPT THAT PART TAKEN FOR WIDENING WOODWARD AVENUE OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

ADDRESS: 394 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-014



Williams Williams Rattner & Plunkett, P.C.
Attorneys and Counselors

380 North Old Woodward Avenue
Suite 300
Birmingham, Michigan 48009

Tel: (248) 642-0333

Fax: (248) 642-0856

February 24, 2021

Richard D. Rattner
rdr@wwrplaw.com

Hand-Delivered

Planning Board
City Commission
City of Birmingham
151 Martin St.
Birmingham, MI 48012

Re: Application for Zoning Map and Ordinance Change (“Application”) for Property at 300 and 394 S. Old Woodward and 294 E. Brown Street, Birmingham, Michigan (“Subject Property”) submitted by RH, Inc. (“Applicant”)

Dear Members of the Planning Board and the City Commission:

This letter supports the above-referenced Application for Zoning Map or Ordinance Change of the Subject Property. The Applicant requests two amendments:

- (i) to change the zoning district of the Subject Property from B2/D3 Overlay to B2/D4 Overlay; and
- (ii) to modify the Economic Development License map at Appendix C, Exhibit 1 of the Zoning Ordinance to include the Subject Property.

Executive Summary -- The Subject Property

The Birmingham Zoning Ordinance (“Zoning Ordinance”) at Sec. 1.04 provides that the purpose of the Zoning Ordinance is to “...guide the growth and development of the City in accordance with the goals, objectives and strategies stated within the Birmingham Master Plan (“Birmingham Plan”), and Downtown Birmingham 2016 Plan (“2016 Plan”).” The Downtown Birmingham 2016 Plan (1996) reveals both requests to rezone the Subject Property to B2/D4 and to put the Subject Property into the Economic Development License zone meet the spirit and intent of the ordinance as well as the 2016 Plan. The zoning amendments will permit the Applicant to develop the Subject Property into a one of the most exciting and successful home furnishing retail galleries in the country, complete with a fourth-floor restaurant. The entire site will be occupied by the RH home line design gallery and fourth-floor restaurant. The proposed

building will be a perfect complement to the Daxton Hotel across Brown Street to the north, and thus activate the southwest corner of Brown Street, further extending the central business district to the south.

The 2016 Plan, at p. 181, in the Downtown Birmingham “Vision Statement” specifically states that future plans should “[s]trengthen the spatial and architectural character of the downtown area and ensure buildings are compatible, in mass and scale, with their immediate surroundings and the downtown’s traditional two and four-story buildings.” The rezoning of the Subject Property to B2/D4 allows a four-story building of a similar mass and complimentary architecture to the landmark building on the north side of Brown Street, the new Daxton Hotel. The rezoning to D4 and the inclusion of the site into the Economic Development License zone will also permit the Subject Property to be developed into a stand-alone retail space on a size that Birmingham has not enjoyed since the days of Jacobson’s and Crowley’s, with the addition of a first class restaurant. This reinforces the identifiable Downtown and brings a mix of uses, including retail and commercial, consistent with the goals of the 2016 Plan.

The Vision Statement also provides one goal of the 2016 Plan, to “[e]ncourage first floor retail businesses, services, and other activities which are required for everyday living.” The Applicant plans to use the Subject Property for one of its exemplary home design and furniture retail stores, goods everyone touches daily. Floors one through three of the new building will be dedicated to the retail use, while the fourth floor will offer food and beverage service. Another “vision” of the 2016 Plan is to “[e]nsure the economic vitality of the downtown business community” and to “[b]e designed for safety, comfort, convenience, and enjoyment of pedestrians, rather than vehicular traffic.” The Applicant’s stand-alone retail store will be a destination for home interior shoppers, thereby drawing people into Downtown and adding to Downtown’s economic vitality. This retail store will be like no other in Birmingham with a pedestrian-friendly retail concept designed for people to enjoy a glass of wine (or beverage of choice) while leisurely strolling through the retail galleries.

In summary, RH’s use not only complies with the Vision Statement of the 2016 Plan but has the distinct advantage of creating a new and modern shopping destination with a mix of retail and restaurant uses unique to this area, while at the same time it will extend the central business district of Downtown by the addition of an architecturally complementary building.

Subject Property and District Intent of the D4 Downtown Overlay

The Downtown Overlay District identifies four purposes underpinning the planning of the district. These four purposes further enhance the goals, objectives and strategies stated within the Downtown Birmingham Overlay District Ordinance at Section 3.01.

Section 301 A -Encourage and direct development within the boundaries of the Downtown Overlay District and implement the Downtown Birmingham 2016 Plan

The Subject Property is in the area identified as “Retail 1” in the 2016 Plan. Two of the three recommendations for the Retail 1 area made by the 2016 Plan directly pertain to the Subject Property: (i) to enlarge the central business district by merging it with South Old Woodward; and (ii) to connect all areas to each other by reducing apparent and actual physical barriers, by connecting discontinuous retail frontages, and, in some case, by installing recommended streetscape and signage improvements. The Applicant’s proposed mixed-use retail/restaurant building satisfies the purpose of direct development in the Downtown Overlay. It also will enlarge the central business district south of Brown Street, as the Subject Property and the proposed new building will front South Old Woodward and encompass the area between Brown and Daines. The Applicant plans a four-story building to satisfy all design requirements of the D4 zone of the Downtown Overlay. It will replace a block currently occupied by single-story buildings and a surface parking lot facing South Old Woodward. Hence, the new development will provide a continuous and harmonious streetscape of retail frontages on the west side of South Old Woodward between Brown and Daines.

Section 3.01 B -Encourage a form of development that will achieve the physical qualities necessary to maintain and enhance the economic vitality of Downtown Birmingham and to maintain the desired character of the City as stated in the Downtown Birmingham 2016 Plan

The form of development proposed by the Applicant is for a four-story mixed-use retail/restaurant building with a 30-car underground garage, designed in accordance with the D4 zone. The physical qualities of the building will enhance the economic vitality of Downtown by adding a unique stand-alone retail/restaurant business of a size not enjoyed in Birmingham since the days of Jacobson’s and Crowley’s department stores. The RH gallery will replace one-story office (Lutz Capital offices), Frank’s shoe repair shop, and the Roche Bobois gallery. The desired character of the City stated in the 2016 Plan will be enhanced by development of this impressive new four-story structure that will continue a unified South Old Woodward streetscape south of Brown Street.

Section 3.01 C -Ensure that new buildings are compatible with their context and the desired character of the city; ensure that all uses relate to the pedestrian; and ensure that retail be safeguarded along specific street frontages

The Applicant's proposed development of an RH store will be compatible with the context of the neighborhood. Across the street on South Old Woodward is a two-story office building and just south of that is the 10-story Birmingham Place. South of Daines on the west side of South Old Woodward is the three-story Forefront development. To the north of Brown on the west side of South Old Woodward is the five-story Daxton Hotel. The Applicants 4-story retail/restaurant building will be a perfect fit for the area and extend the Downtown Overlay streetscape by replacing single story buildings and surface parking that currently face South Old Woodward. Moreover, the RH shopping retail shopping experience is geared to pedestrian traffic by encouraging people to relax in the retail setting, with a beverage, and to stroll through all the store's galleries. As a destination, the RH will draw shoppers into the central business district and inspire them to continue their stroll through the Downtown shopping area. This mixed-use building is the best type of development for Birmingham. It combines a mixed-use of retail and restaurant. It enhances the streetscape and attracts pedestrian traffic. All of these advantages result in activating South Old Woodward.

Section 3.01 D - Ensure that new buildings are compatible with and enhance the historic districts which reflect the city's cultural, social, economic, political, and architectural heritage

While the Subject Property is not in the historic district, the new RH building is a handsome classic design. Its design elements reflect the past, including linear lines similar to the exterior design of the Daxton Hotel, with materials in harmony with development in Downtown Birmingham and a design that references the classic architecture at Cranbrook. The use of the building as a furniture, design retail showcase and restaurant, itself contributes to the City's cultural, social, economic and architectural design heritage.

Rezoning Amendment – Sec. 7.02 (B)(2)(b)(i)-(iii)

The Zoning Ordinance at Sec. 7.02 requires that as part of the application for rezoning, the applicant should address certain issues to be considered by the Planning Board and the City Commission. Please consider the following comments with respect to these issues. Both the requested changes from the D3 to the D4 zone and the inclusion of the Property on the Economic Development License map are addressed below.

7.02(B)(2)(b)(i) - An Explanation of Why the Rezoning is Necessary for the Preservation and Enjoyment of the Rights and Usage Commonly Associated with Property Ownership

The rezoning of the Subject Property to B2/D4 would result in the preservation and enjoyment of the rights of usage commonly associated with property ownership for the Applicant. This Property is unique in that it sits across Brown Street from the five-story Daxton Hotel and kitty-corner from the 10-story Birmingham Place. However, this Property is currently zoned B2/D3. While a four-story building may be constructed in the D3 zone, the Ordinance mandates the fourth floor to be residential. This area of South Old Woodward has more apartments and condominiums than any other area of Downtown Birmingham. There are residential units in Birmingham Place, the 555 Building, and the Forefront. The Applicant is a retailer seeking four stories of retail operations with food and beverage services on the fourth floor. The rezoning is necessary to preserve the Applicant's enjoyment of its permitted uses of retail and restaurant in the Downtown Overlay District. Both uses are permitted in the Downtown Overlay; note that all restaurants serving alcoholic beverages are subject to a special land use.

Other property owners in the South Old Woodward corridor, including most of those across South Old Woodward south of Brown Street, enjoy the designation of the Economic Development License zone, including those of principally residential buildings and whether the properties face South Old Woodward or Woodward Avenue. Further, the iconic Phoenicia restaurant serves alcoholic beverages in the Subject Property's current D3 zone on the west side of South Old Woodward. Placing the Subject Property in the Economic Development License zone would allow the Applicant to enjoy the same restaurant use with alcoholic beverage service as is enjoyed by many of the neighboring property owners.

Sec. 7.02(B)(2)(b)(ii) - An Explanation of Why the Existing Zoning Classification is No Longer Appropriate

After reviewing the 2016 Plan, the existing zoning for the Subject Property should be updated so it is possible to allow a four-story retail development. The RH experience is one of stand-alone buildings in walkable neighborhoods. Destination stores with restaurant amenities are one of the ways retailers like RH continue to thrive. RH offers customers the cultural experience of visiting a gallery. This is good news for cities like Birmingham. Malls draw pedestrian shoppers away from downtown areas while the Applicant's project will bring shoppers into Downtown Birmingham. Additionally, with Birmingham Place and the 555 Building just south of the Subject Property, the streetscape of South Old Woodward in this area of the City is architecturally balanced by the addition of the Applicant's proposed, classically

designed four-story building with a top-floor restaurant, drawing pedestrians off the street to shop and relax in a restaurant setting.

Similarly, the new or returning concept of stand-alone destination retail supports placing the Subject Property in the Economic Development License zone. Current zoning of the Subject Property does not support the RH concept of a destination retail that is a dramatic, economic improvement to the Property, and that offers a first-class dining experience. The RH concept complements the goals of the Birmingham Master Plan and is a benefit to the City. The changes in the zoning requested here will allow this concept to be developed in our City. Hence, the current zoning is no longer appropriate.

Sec. 7.02(B)(2)(b)(iii) - An Explanation of Why the Proposed Zoning will not be Detrimental to the Surrounding Properties

The rezoning of this Property to B2/D4 is complimentary to the surrounding properties, rather than detrimental. First, the uses proposed for the building and the D4 zone will allow the Property to accommodate a large, stand-alone, destination retailer. Second, it will bring a unique strolling shopping experience to the nearby residents of Birmingham Place, the 555 Building, and residential neighborhoods, as well as permit a handsome, four story building with underground garage designed to the standards of the D4 zone. Third, it will give new life to the South Old Woodward streetscape between Brown and Daines, while at the same time it will comply with the spirit and intent of the 2016 Plan and the Birmingham Zoning Ordinances.

Sec. 7.02(B)(5)(a)-(e) – Applicant Satisfies the Required Findings of Fact

(a) Applicant meets the objectives of the City’s current master plan and the 2016 Plan.

As discussed, the proposed RH satisfies the City’s Master Plan and 2016 Plan for the Retail 1 district. The Applicant’s proposed mixed-use retail/restaurant building satisfies the purpose of direct development in the Downtown Overlay. It also will enlarge the central business district south of Brown Street, as the Subject Property and the proposed new building will front South Old Woodward and encompass the area between Brown and Daines. The new RH will offer a unique gallery shopping and dining destination for pedestrian along South Old Woodward, all consistent with the goals of the Master Plan and 2016 Plan.

(b) The proposed development is consistent with existing uses in the area.

The Applicant’s proposed mixed-uses of the Subject Property for a retail gallery and restaurant are consistent with existing uses in the area. The Daxton Hotel sits to the north of Brown Street, with a mix of hotel, restaurant and retail uses. Across the street is Birmingham

Place with a mix of office, retail and residential. To the south across Daines is the Forefront, also with a mix of office and residential uses, while the 555 Building further to the south includes restaurant, retail and residential.

(c) The proposed zoning classification is consistent with those in the general area.

Rezoning the Subject Property from D3 to D4 is consistent with zoning in the area. The Daxton Hotel is zoned D4, as is the property on the northeast corner of Brown and S. Old Woodward. Birmingham Place is a D5 building, as is the 555 Building. While neighbors on the west side of Old Woodward are zoned D3, the D3 zone similarly permits four story buildings, so the proposed development is not inconsistent with the general zoning in the area and is entirely consistent with the other developments at the corners of Brown and S. Old Woodward.

(d) The proposed use of the Subject Property is not suitable under existing zoning.

The Applicant proposes a mixed use of retail and restaurant. Current zoning requires the fourth story to be a residential use. The RH gallery retail concept does not include residential, making current zoning unsuitable and supporting a change in zoning to D4 that does not require fourth-floor residential. In addition, the RH design includes a full-service restaurant that will itself be a welcome amenity to the South Woodward corridor. The change to the Economic Development License map to include the Subject Property is necessary to accommodate the restaurant use.

(e) The trend of development in the area supports rezoning of the Subject Property to D4.

As the Planning Board is aware, the Daxton Hotel is a five-story, mixed-use building in the D4 zone, adjacent to the Subject Property across Brown Street to the north. In addition, development is proposed for the property at the northeast corner of Brown and S. Old Woodward for a D4 building. It makes sense for this corner of Brown and Old Woodward also to be developed to the D4 standards, to complete the intersection with a retail building and restaurant in a harmonious and consistent manner. Further, Birmingham Place and the 555 Building add greater structural mass to the South Old Woodward corridor and a D4 development of the Subject Property will provide greater balance to the massing and streetscape of this area of Downtown.

Conclusion

The merging of the destination retail experience with the offering of restaurant and liquor services will create something new in the City of Birmingham that will enhance the surrounding properties, not be detrimental to them. Simply stated, it will draw pedestrians to South Old

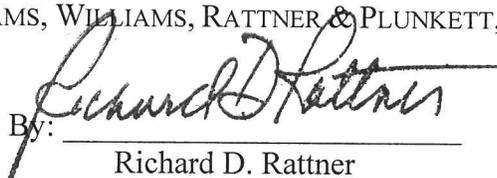
Woodward which will help to keep the area a healthy and vibrant. With developments such as this, the South Old Woodward area can be more than just an outpost of Downtown Birmingham but will become an exciting, attractive district. The new RH will offer something entirely different: a shopping, strolling, eating and drinking experience. For these reasons, placing the Subject Property in the Economic Development License zone and rezoning the Property to D4 will benefit the surrounding properties.

Respectfully, Applicant requests that the Planning Board recommend to the City Commission: (i) rezone the Property from B2/D3 to B2/D4; and (ii) amend the Economic Development License zone map of Appendix C, Exhibit 1 of the Zoning Ordinance to include the Subject Property, and that the City Commission rezone the Property from B2/D3 to B2/D4 zone of the Downtown Overlay District and amend the Economic Development License zone map of Appendix C, Exhibit 1 of the Zoning Ordinance to include the Subject Property.

Should you have any further questions or comments with regard to the above, please do not hesitate to call. With kind regards, I am,

Very truly yours,

WILLIAMS, WILLIAMS, RATTNER & PLUNKETT, P.C.

By: 

Richard D. Rattner
Attorney for Applicant



Special Land Use Permit Application – Economic Development License Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: RHF&B Michigan, LLC
 Address: 15 Koch Road
Corte Madera, CA 94925
 Phone Number: (415) 936-9642
 Fax Number: N/A
 Email address: ds@rh.com

3. Applicant's Attorney/Contact Person

Name: Dave Stanchak, President
 Address: 15 Koch Road
Corte Madera, CA 94925
 Phone Number: (415) 936-9642
 Fax Number: N/A
 Email address: ds@rh.com

2. Property Owner

Name: See attached Consent Form for each of the 3 property owners
 Address: See Consent Form
 Phone Number: See Consent Form
 Fax Number: _____
 Email address: See Consent Form

4. Project Designer/Developer

Name: Victor Saroki, FAIA
 Address: 430 N. Old Woodward Ave., Fl. 3
Birmingham, MI 48009
 Phone Number: (248) 258-5707
 Fax Number: N/A
 Email address: vsaroki@sarokiarchitecture.com

5. Required Attachments

- I. Two (2) paper copies and one (1) digital copy of all project plans including:
 - i. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject sites property lines;
 - ii. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
 - iii. A certified Land Survey;
 - iv. Interior floor plans;
 - v. A Landscape Plan;
 - vi. A Photometric Plan;
 - vii. Colored elevation drawings for each building elevation;
- II. Specification sheets for all proposed materials, light fixtures and mechanical equipment;
- III. Samples of all proposed materials;
- IV. Photographs of existing conditions on the site including all structures, parking areas, landscaping and adjacent structures;
- V. Current aerial photographs of the site and surrounding properties;
- VI. Warranty Deed, or Consent of Property Owner if the applicant is not the owner;
- VII. Any other data requested by the Planning Board, Planning Department, or other City Departments.

6. Project Information

Address/Location of the property: 300-394 S. Old Woodward Ave. & part of 294 E Brown St (Southwest Corner of S. Old Woodward Ave. and E. Brown St.)
 Name of development: RH Birmingham
 Sidwell #: 19-36-204-006; 19-36-204-014; and 19-36-204-021
 Current Use: Office and Retail
 Proposed Use: Retail and Restaurant
 Area of Site in Acres: .46 Acres
 Current zoning: B2 General Business/D3 Overlay
 Is the property located in the floodplain? No
 Name of Historic District Site is Located in: N/A
 Date of Historic District Commission Approval: N/A

Date of Application for Preliminary Site Plan: 02/19/21
 Date of Preliminary Site Plan Approval: _____
 Date of Application for Final Site Plan: _____
 Date of Final Site Plan Approval: _____
 Date of Application for Revised Final Site Plan: _____
 Date of Revised Final Site Plan Approval: _____
 Date of Design Review Board Approval: _____
 Is there a current SLUP in effect for this site? No
 Date of Application for SLUP: 02/24/21
 Date of SLUP Approval: _____
 Date of Last SLUP Amendment: _____

7. Details of the Proposed Development (attach separate sheet if necessary)

Commanding four levels and over 49,810 interior and exterior square feet, this innovative retail concept features artistic installations of home furnishings in a gallery setting, showcasing RH Interiors, RH Modern, and RH Outdoors. RH's seamlessly integrated culinary offering, the RH rooftop restaurant highlights an ingredient-driven menu. RH Birmingham will also include an interactive design atelier offering professional design services in a studio environment and a rooftop park. A SLUP is required for alcoholic beverage service for on-site consumption in the B2 Zone.

8. Buildings and Structures

Number of Buildings on Site: 1
Height of Buildings & # of Stories: 67 feet / 4 levels above grade

Use of Buildings: Retail and Restaurant
Height of Rooftop Mechanical Equipment: 69 feet

9. Floor Use and Area (in Square Feet)

Structures:
Restaurant Space: 3,500 square feet (not including kitchen & back of house)
Office Space: N/A
Retail Space: 43,088 square feet

Number of Residential Units: N/A
Rental or Condominium? N/A
Total Floor Area: 49,810 square feet

10. Proposed Restaurant Operation

Number of Indoor Seats: +/- 128 (subject to change)
Number of Outdoor Seats: +/- 42 (subject to change)
Entertainment Proposed: N/A
Previous LCC Complaints? None
Number of Tables along Street Façade: None
Type of Cuisine: See attached menu

Bar Area? TBD
Number of Seats at Bar: None
Full Service Kitchen? Yes
Percentage of Glazing Proposed: TBD
Years of Experience in Birmingham: 0
Years of Experience Outside Birmingham: _____

11. Proposed Setbacks

Required Front Setback: 0 feet
Required Rear Setback: 0 feet
Required Total Side Setback: Not Required

Proposed Front Setback: 0 feet
Proposed Rear Setback: 10.5 feet
Proposed Total Side Setback: 20 feet

12. Outdoor Dining Facility

Location (sidewalk right-of-way or on-street parking space): Rooftop
Hours of Operation: _____
Width of unobstructed sidewalk between door and café? (5 ft. required): N/A
Platform Proposed: N/A
Trash Receptacles: See Plan Drawings

Number of Tables/Chairs: 14 patio tables/no chairs
Material of Tables/Chairs: RH Furniture
Tables Umbrellas Height & Material: _____
Number and Location of Parking Spaces Utilized: 24
Below grade parking spaces
Screenwall Material: See Plan Drawings
Enclosure Material: See Plan Drawings

13. Required and Proposed Parking

Required number of parking spaces: N/A
Location of parking on site: Below Grade for 24 vehicles
Screenwall material: N/A

Shared Parking Agreement? N/A
Location of parking off site: Street
Height of screenwall: N/A

14. Landscaping

Location of landscape areas: Street trees along S. Old Woodward Ave. and E. Brown Street. New landscape plantings between streetscape and outdoor terrace along Daines Street. Trees and plantings on rooftop terrace.

Proposed landscape material: See Landscape Plan

15. Streetscape

Sidewalk width: 7.5 feet to 14 feet wide
Number of benches: 3 (2 proposed / 1 existing)
Number of planters: 6 (along S. Old Woodward Ave.)
Number of existing street trees: 6
Number of proposed street trees: 9
Streetscape plan submitted? Yes

Description of benches or planters: Per City Specifications
Species of existing trees: See Landscape Plan
Species of proposed trees: See Landscape Plan

16. Loading

Required number of loading spaces: 1
Typical angle of loading spaces: 90 degrees
Screenwall material: N/A
Location of loading spaces on site: Parking Garage Ramp

Proposed number of loading spaces: 1
Typical size of loading spaces: 12 feet wide x 40 feet long x 14 feet high
Height of screenwall: N/A
Typical time loading spaces are used: Early Morning

17. Exterior Waste Receptacles

Required number of waste receptacles: 2 part of streetscape-no exterior dumpster
Location of waste receptacles: 1 on Brown Street and 1 on Daines Street
Screenwall material: N/A

Proposed number of waste receptacles: 2
Size of waste receptacles: Per City Specifications
Height of screenwall: N/A - no exterior dumpster

18. Mechanical Equipment

Utilities and Transformers:

Number of ground mounted transformers: 1
Size of transformers (L•W•H): 4 feet x 4 feet (exact size TBD)
Number of utility easements: N/A
Screenwall material: See Plan Drawings

Location of all utilities & easements:
Height of screenwall: TBD

Ground Mounted Mechanical Equipment:

Number of ground mounted units: 0
Size of ground mounted units (L•W•H): N/A
Screenwall material: See Landscape Plan

Location of all ground mounted units: Southeast corner
Height of screenwall: See Landscape Plan

Rooftop Mechanical Equipment:

Number of rooftop units: 2
Type of rooftop units: 1 MAU and 1 VRF Condensing Unit
Screenwall material: Stucco
Location of screenwall: Fourth Floor Mechanical Well

Location of all rooftop units: Fourth Floor Mechanical Well
Size of rooftop units (L•W•H): TBD
Percentage of rooftop covered by mechanical units: Approx. 15%
Height of screenwall: 12 feet
Distance from rooftop units to all screenwalls: TBD

19. Accessory Buildings

Number of accessory buildings: N/A
Location of accessory buildings: N/A

Size of accessory buildings: N/A
Height of accessory buildings: N/A

20. Building Lighting

Number of light standards on building: See Photometric Plan
Size of light fixtures (L•W•H): Varies (See Photometric Plan)
Maximum wattage per fixture: Varies (See Photometric Plan)
Light level at each property line: See Photometric Plan

Type of light standards on building: Varies (See Photometric Plan)
Height from grade: Varies (See Photometric Plan)
Proposed wattage per fixture: Varies (See Photometric Plan)

21. Site Lighting

Number of light fixtures: See Photometric Plan
Size of light fixtures (L•W•H): See Photometric Plan
Maximum wattage per fixture: See Photometric Plan
Light level at each property line: See Photometric Plan

Type of light fixtures: See Photometric Plan
Height from grade: See Photometric Plan
Proposed wattage per fixture: See Photometric Plan
Holiday tree lighting receptacles: See Photometric Plan

22. Adjacent Properties

Number of properties within 200 ft.: 6

Property #1

Number of buildings on site: 1
Zoning district: B-4 (D-4 Overlay Zoning District)
Use type: Hotel
Square footage of principal building: 99,661 square feet
Square footage of accessory buildings: N/A
Number of parking spaces: 2 levels of below grade parking

Property #2

Number of buildings on site: 1
Zoning district: B-2B (D-2 Overlay Zoning District)
Use type: Office and residential condo/rental units
Square footage of principal building: 60,000 square feet
Square footage of accessory buildings: N/A
Number of parking spaces: Below grade parking

Property #3

Number of buildings on site: 1
Zoning district: B-2 (D-3 Overlay Zoning District)
Use type: Office
Square footage of principal building: 13,290 square feet
Square footage of accessory buildings: N/A
Number of parking spaces: 46 surface spaces

Property #4

Number of buildings on site: 1
Zoning district: B-2 (D-3 Overlay Zoning District)
Use type: Restaurant and office
Square footage of principal building: 8,912 square feet
Square footage of accessory buildings: N/A
Number of parking spaces: 0

Property #5

Number of buildings on site: 1
Zoning district: B-3 (D-3 Overlay Zoning District)
Use type: Retail and office
Square footage of principal building: 79,935 square feet
Square footage of accessory buildings: N/A
Number of parking spaces: Parking below on grade (within building)

Property #6

Number of buildings on site: 1
Zoning district: B-4 (D-4 Overlay Zoning District)
Use type: Retail and Office
Square footage of principal building: 69,222 square feet
Square footage of accessory buildings: N/A
Number of parking spaces: Below grade parking

Property Description: 298 S. Old Woodward Ave.
Daxton Hotel - 5-story hotel with ground floor restaruant

North, south, east or west of property? North

Property Description: 400 S. Old Woodward Ave.
The forefront
3-story mixed-use building

North, south, east or west of property? South

Property Description: 297 E. Brown Street
Coldwell Banker Weir Manuel
2-story office building

North, south, east or west of property? West

Property Description: 325 S. Old Woodward Ave.
Adachi restaurant and office
2-story mixed-use building

North, south, east or west of property? East

Property Description: 355 S. Old Woodward Ave.
2-story mixed-use building

North, south, east or west of property? East

Property Description: 255 S. Old Woodward Ave.
3-story mixed-use building

North, south, east or west of property? North

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner: _____ Date: _____

Print Name: See attached consent form for each of the (3) property owners

Signature of Applicant:  _____ Date: 2.24.21

Print Name: **Dave Stanchak, President**

Signature of Architect:  _____ Date: 2.24.21

Print Name: **Victor Saroki**

<i>Office Use Only</i>		
Application #: _____	Date Received: _____	Fee: _____
Date of Approval: _____	Date of Denial: _____	Accepted by: _____



CONSENT OF PROPERTY OWNER

I, Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95 _____, OF THE STATE OF Michigan AND
(Name of Property Owner)
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 394 S. Old Woodward;
(Address of Affected Property)

2. That I have read and examined the Application for **SPECIAL LAND USE PERMT-ECONOMIC DEVELOPMENT LICENSE** made to the City of
Birmingham by: RH F&B Michigan, LLC;
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the City of
Birmingham.

Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95
Name of Owner (Printed): _____

Signature of Owner: Frank Konjarevich **Date:** 2/24/01



SPECIAL LAND USE PERMIT APPLICATION CHECKLIST – PLANNING DIVISION

Applicant: RHF&B Michigan, LLC Case #: _____ Date: 02/17/21
Address: 15 Koch Road, Corte Madera, CA 94925 Project: RH Birmingham

All site plans and elevation drawings prepared for approval shall be prepared in accordance with the following specifications and other applicable requirements of the City of Birmingham. If more than one page is used, each page shall be numbered sequentially. All plans must be legible and of sufficient quality to provide for quality reproduction or recording. Plans must be no larger than 24" x 36", and must be folded and stapled together. The address of the site must be clearly noted on all plans and supporting documentation.

Site Plan for Special Land Use Permit

A full Site Plan detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

1. Name and address of applicant and proof of ownership;
2. Name of Development (if applicable);
3. Address of site and legal description of the real estate;
4. Name and address of the land surveyor;
5. Legend and notes, including a graphic scale, north point, and date;
6. A separate location map;
7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land;
8. Aerial photographs of the subject site and surrounding properties;
9. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
10. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject sites property lines;
11. Interior floor plans;
12. A chart indicating the dates of any previous approvals by the Planning Board, Board of Zoning Appeals, Design Review Board, or the Historic District Commission ("HDC");

- 13. Existing and proposed layout of streets, open space and other basic elements of the plan;
- 14. Existing and proposed utilities and easements and their purpose;
- 15. Location of natural streams, regulated drains, 100-year flood plains, floodway, water courses, marshes, wooded areas, isolated preserve-able trees, wetlands, historic features, existing structures, dry wells, utility lines, fire hydrants and any other significant feature(s) that may influence the design of the development;
- 16. General description, location, and types of structures on site;
- 17. Location of sidewalks, curb cuts, and parking lots on subject site and all sites within 200 ft. of the property line;
- 18. Details of existing or proposed lighting, signage and other pertinent development features;
- 19. Elevation drawings showing proposed design;
- 20. Screening to be utilized in concealing any exposed mechanical or electrical equipment and all trash receptacle areas;
- 21. Location of all exterior lighting fixtures;
- 22. A Photometric Plan depicting proposed illuminance levels at all property lines;
- 23. A Landscape Plan showing all existing and proposed planting and screening materials, including the number, size, and type of plantings proposed and the method of irrigation; and
- 24. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.

Elevation Drawings

Complete elevation drawings detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- 25. Color elevation drawings showing the proposed design for each façade of the building;
- 26. List of all materials to be used for the building, marked on the elevation drawings;
- 27. Elevation drawings of all screenwalls to be utilized in concealing any exposed mechanical or electrical equipment, trash receptacle areas and parking areas;
- 28. Details of existing or proposed lighting, signage and other pertinent development features;
- 29. A list of any requested design changes;
- 30. Itemized list and specification sheets of all materials, light fixtures and mechanical equipment to be used, including exact size specifications, color, style, and the name of the manufacturer;
- 31. Location of all exterior lighting fixtures, exact size specifications, color, style and the name of the manufacturer of all fixtures, and a photometric analysis of all exterior lighting fixtures showing light levels to all property lines; and
- 32. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.

CONTRACT FOR TRANSFER OF A LIQUOR LICENSE
(ECONOMIC DEVELOPMENT)

This Contract is entered into this ____ day of _____ (month), 2021 (year), by and between RHF&B Michigan, LLC, whose address is 15 Koch Road, Corte Madera, CA 94925, (Licensee) and the **CITY OF BIRMINGHAM**, a Michigan Municipal Corporation, whose address is 151 Martin Street, Birmingham, Michigan 48012 (City).

RECITALS:

WHEREAS, Licensee wishes to transfer the location of its liquor license from _____ to 300-394 S Old Woodward Ave, Birmingham, Michigan (Property); and

WHEREAS, local legislative approval is required by the **CITY OF BIRMINGHAM** for the transfer of a _____ liquor license pursuant to MCLA §436.1501 of the Michigan Liquor Control Code of 1998; and

WHEREAS, Licensee desires to enter into this Contract as an inducement to the **CITY OF BIRMINGHAM** to approve the request of the aforementioned transfer of the liquor license; and,

WHEREAS, the **CITY OF BIRMINGHAM** is relying upon this Contract in giving its approval to the transfer of the on-premises licenses as described herein.

NOW, THEREFORE, the parties agree as follows:

1. Licensee shall be permitted to transfer the location of its liquor license from _____ to the Property. Any transfer of the aforementioned license from the Property to any other location in the CITY OF BIRMINGHAM shall require the approval of the Birmingham City Commission in accordance with Section 10-83. In addition, any expansion of the building location at the Property shall also require the approval of the Birmingham City Commission.
2. Licensee does hereby agree that it shall establish as Economic Development, as defined in Birmingham City Code Chapter 126, Zoning, Article 9, section 9.02, at the Property.
3. Licensee further acknowledges that it must secure a Special Land Use Permit for Economic Development as required by the Birmingham City Code. It is further agreed that it shall comply with all provisions of the Special Land Use Permit, or any amendments thereto, as a condition of this contract. Licensee further acknowledges and agrees that a violation of any provision of the Special Land Use Permit or the Michigan Liquor Control Code is a violation of the terms of the contract entitling the City to exercise any or all of the remedies provided herein.
4. Licensee further agrees that it shall not apply or seek from the Michigan Liquor Control Commission any permit endorsements to its liquor license whether available in the current Michigan Liquor Control Code or in future Michigan Liquor Control Codes, or amendments thereto, without the prior approval of the Birmingham City Commission.
5. Licensee further agrees that it shall not seek any change in its license status/class whether such changes are available now in the current Michigan Liquor Control Code or in future Michigan Liquor Control Codes, or amendments thereto, without prior approval of the Birmingham City Commission.

6. Licensee agrees that it shall adhere to all Federal, State and Local laws currently in effect or as subsequently amended or enacted.

7. Licensee agrees that its failure to follow any of the provisions herein shall be grounds for the Michigan Liquor Control Commission to suspend, revoke or not renew its liquor license and/or for the Birmingham City Commission to revoke the Special Land Use Permit, either of which would prohibit Licensee from operating the Economic Development. Licensee agrees that in addition to the City of Birmingham's right to seek suspension, revocation or non-renewal of its liquor license and/or revocation of the Special Land Use Permit, the City retains any and all rights to enforce this Contract that may be available to it in law or in equity. Licensee further agrees that it shall reimburse the City all of its costs and actual attorney fees incurred by the City in seeking the suspension, revocation or non-renewal of its liquor license and revocation of the Special Land Use Permit, as well as enforcing such other rights as may be available at law and/or in equity.

8. To the fullest extent permitted by law, Licensee and any entity or person for whom Licensee is legally liable, agrees to be responsible for any liability, defend, pay on behalf of, indemnify, and hold harmless the City, its elected and appointed officials, employees and volunteers and others working on behalf of the City against any and all claims, demands, suits, or loss, including all costs connected therewith, including all costs and actual attorney fees, and for any damages which may be asserted, claimed or recovered against or from the City, its elected and appointed officials, employees, volunteers or others working on behalf of the City, by reason of personal injury, including bodily injury, death and/or property damage, including loss of use thereof, which arises out of or is in any way connected or associated with Licensee's operation of a Economic Development at the Property.

9. In the event Licensee fails to reimburse the City the costs and/or attorney fees as required herein, or any part thereof, then said amount could be transferred to the tax roll in accordance with Section 1-14 of the Birmingham City Code.

10. Any disputes arising under this Contract, not within the jurisdiction of the Michigan Liquor Control Commission, shall be settled either by commencement of a suit in Oakland County Circuit Court or by compulsory arbitration, at the election of the City. The Licensee shall notify the City of any dispute it has arising out of this Contract and shall demand that the City elect whether the dispute is to be resolved by submitting it to compulsory arbitration or by commencement of a suit in Oakland County Circuit Court. The City shall make its election in writing within thirty (30) days from the receipt of such notice. If the City elects to have the dispute resolved by compulsory arbitration, it shall be settled pursuant to Chapter 50 of the Revised Judicature Act for the State of Michigan, with each of the parties appointing one arbitrator and the two thus appointed appointing a third. In the event the City fails to make such an election, any dispute between the parties may be resolved by the filing of a suit in the Oakland County Circuit Court.

11. This Contract shall be governed by and performed, interpreted and enforced in accordance with the laws of the State of Michigan.

12. If any provision of this contract is declared invalid, illegal or unenforceable, such provision shall be severed from this contract and all other provisions shall remain in full force and effect.

13. This Contract shall be binding upon and apply and inure to the benefit of the parties hereto and their respective successors or assigns. The covenants, conditions, and the agreements herein contained are hereby declared binding on the CITY OF BIRMINGHAM and Licensee. It is further agreed that there shall be no change, modification, or alteration hereof, except in writing, signed by both of the parties hereto. Neither party shall assign any of the rights under this contract without prior approval, in writing, of the other. Any attempt at assignment without prior written consent shall be void and of no effect.



Notice Signs - Rental Application Community Development

1. Applicant

Name: RHF&B Michigan, LLC
Address: 15 Koch Road
Corte Madera, CA 94925
Phone Number: (415) 936-9642
Fax Number: N/A
Email address: ds@rh.com

Property Owner

Name: See attached Consent Form for each of the 3 property owners
Address: See Consent Form
Phone Number: See Consent Form
Fax Number: N/A
Email address: See Consent Form

2. Project Information

Address/Location of Property: 300-394 S. Old Woodward Ave.
Name of Development: RH Birmingham
Area in Acres: .46 acres

Name of Historic District site is in, if any: Not in any historic district
Current Use: Retail and Office
Current Zoning: D-3

3. Date of Board Review

Board of Building Trades Appeals: N/A
City Commission: TBD
Historic District Commission: N/A
Planning Board: 03/24/21

Board of Zoning Appeals: 300-394 S. Old Woodward Ave.
Design Review Board: N/A
Housing Board of Appeals: N/A

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.

Signature of Applicant:  Date: 2.24.21

Office Use Only

Application #: _____ Date Received: _____ Fee: _____
Date of Approval: _____ Date of Denial: _____ Reviewed by: _____

RH ROOFTOP RESTAURANT

FOR THE TABLE

- ARTISANAL PROSCIUTTO* Seasonal Fruit, Warm Baguette 24
- DÉLICE DE BOURGOGNE CHEESE Strawberry Preserves, Warm Baguette 19
- PROSCIUTTO AND DÉLICE BOARD* Seasonal Fruit, Strawberry Preserves, Warm Baguette 43
- SHRIMP COCKTAIL Lemon, Dijonnaise, Cocktail Sauce 25
- CRISPY ARTICHOKE* Potato, Rosemary, Aioli, Lemon 19
- BURRATA Cherry Tomatoes, Genovese Basil Pesto, Charred Sourdough 23

SALADS

- GEM LETTUCE Radish, Feta Cheese, Avocado, Buttermilk Herb Dressing 18
- ARUGULA Fennel, Grapes, Sunflower Seeds, Parmigiano-Reggiano, Citrus Vinaigrette 18
- SHAVED VEGETABLES Baby Greens, Pecans, Cider Vinaigrette 19
- KALE CAESAR* Garlic Sourdough Crumbs, Parmigiano-Reggiano, Classic Caesar Dressing 18

ENTRÉES

Served à la carte

- RH BURGER* Sharp American, Pickles, Onion, Dijonnaise 20
ADD: Avocado 4, Thick Cut Pork Belly Bacon 6
- SHAVED RIBEYE ON CHARRED GARLIC BREAD* Emmentaler Swiss Cheese, Cherry Peppers, Au Jus 24
- LOBSTER ROLL Drawn Butter, Mayonnaise, Old Bay 30
- BROILED SALMON* Honey, Black Pepper, Brown Butter, Lemon 32
- ROASTED HALF CHICKEN* Garlic Confit, Potato Purée, Natural Jus 34
- 16OZ CHARRED RIBEYE STEAK* Steak Salt 56

SIDES

- FRENCH FRIES Garlic Aioli 9
- TRUFFLED FRIES* Black Truffles, Parmigiano-Reggiano, Parsley, Truffle Aioli 18
- SIMPLE GREEN SALAD Radish, Citrus Vinaigrette 9
- POTATO PURÉE Yukon Gold Potatoes, Chive Butter, Maldon Salt 9
- CHARRED HEIRLOOM BROCCOLINI Lemon, Garlic Confit, Calabrian Chili 11
- WILD MUSHROOMS Garlic, Thyme, Sherry Vinegar 12

*These items can be cooked to order. Please let us know if you have any allergies or dietary restrictions as not all ingredients are listed.
Consuming raw or undercooked foods such as meats, poultry, seafood, shellfish, or eggs may increase risk of foodborne illness.
Individuals with certain underlying health conditions may be at higher risk.

RH BELLINI

Prosecco, Peach Purée 15

RH MIMOSA

Prosecco, Fresh Squeezed Orange Juice 15

WINE BY THE GLASS

SPARKLING

BISOL Prosecco, Valdobbiadene, Italy, NV 14 / 56
JUVÉ Y CAMPS Cava, Reserva de la Familia, Penedès, Spain 2016 17 / 68
NICOLAS FEUILLATTE Brut Rosé, Champagne, France NV 35 / 140
DOMAINE CHANDON Brut, Étoile, Carneros, California NV 25 / 100
PIERRE SPARR Brut Rosé, Crémant d'Alsace, France NV 16 / 64
SCHRAMSBERG Brut Rosé, North Coast, California 2017 22 / 88
ROEDERER ESTATE Brut Rosé, Mendocino, California NV 20 / 80
PIERRE GIMONNET Cuis 1er Cru, Champagne, France NV 30 / 120
PERRIER JOUËT Grand Brut, Champagne, France NV 35 / 140
VEUVE CLICQUOT Brut, Yellow Label, Champagne, France NV 32 / 128

WHITE

J&H SELBACH Riesling Kabinett, Mosel, Germany 2016 18 / 72
SCARPETTA Pinot Grigio, Friuli, Italy 2019 14 / 56
A TO Z Pinot Gris, Oregon 2018 16 / 64
ALLAN SCOTT Sauvignon Blanc, Marlborough, New Zealand 2020 15 / 60
MICHEL REDDE Sauvignon Blanc, Sancerre, France 2018 25 / 100
TWOMEY Sauvignon Blanc, Napa Valley, California 2019 20 / 80
DOMAINE FERRET Chardonnay, Pouilly-Fuissé, Burgundy, France 2017 33 / 132
AERENA Chardonnay, Sonoma, California 2019 17 / 68
CHATEAU MONTELENA Chardonnay, Napa Valley, California 2016 35 / 140
HARTFORD COURT Chardonnay, Russian River Valley, Sonoma, California 2018 20 / 80

WINE BY THE BOTTLE

SPARKLING & WHITE

CHARLES HEIDSIECK Blanc des Millénaires, Champagne, France 2004 300
DOM PÉRIGNON Champagne, France 2009 320
DOMAINE LAROCHE Chardonnay, Les Blanchots, Chablis Grand Cru, France 2018 250
SONOMA-CUTRER Chardonnay, Les Pierres, Sonoma, California 2017 125
CAKEBREAD CELLARS Chardonnay, Reserve, Carneros, California 2017 155

PINOT NOIR

MAISON CHAMPY Le Rognet, Corton Grand Cru, Burgundy France 2016 280
GARY FARRELL Hallberg Vineyard, Russian River Valley, California 2016 140
PATZ & HALL Gap's Crown Vineyard, Sonoma Coast, California 2016 150
ZENA CROWN VINEYARD Slope, Eola-Amity Hills, Willamette Valley, Oregon 2016 160
KOSTA BROWNE Sonoma Coast, California 2018 210

ROSÉ

MIRAVAL Studio, Méditerranée, France 2019 16 / 64
PUECH-HAUT Argali, Languedoc, France 2019 18 / 72
CHÂTEAU D'ESCLANS Whispering Angel, Côtes de Provence, France 2019 20 / 80
ESPRIT GASSIER Côtes de Provence, France 2019 22 / 88
LA SPINETTA Il Rosé di Casanova, Tuscany, Italy 2019 14 / 56
DAOU Discovery Collection, Paso Robles, California 2019 17 / 68
SCRIBE Pinot Noir, Sonoma, California 2019 20 / 80
BLACKBIRD VINEYARDS Arriviste, Napa Valley, California 2019 15 / 60
DOMAINES OTT Château Romassan, Bandol, France 2019 30 / 120
CHÂTEAU D'AQUERIA Tavel, France 2018 19 / 76

RED

LIOCO Pinot Noir, Mendocino County, California 2019 17 / 68
GROS VENTRE CELLARS Pinot Noir, North Coast, California 2018 22 / 88
BOUCHARD Pinot Noir, Beaune du Château 1er Cru, Burgundy, France 2017 30 / 120
CATENA Malbec, Vista Flores, Mendoza, Argentina 2017 15 / 60
ANTINORI Cabernet Sauvignon Blend, Il Bruciato, Tuscany, Italy 2018 23 / 92
MARQUÉS DE CÁCERES Tempranillo, Reserva, Rioja, Spain 2015 16 / 64
HOURGLASS Proprietary Blend, HGIll, Napa Valley, California 2018 20 / 80
SILVER OAK Cabernet Sauvignon, Alexander Valley, California 2016 37 / 148
DUCKHORN Cabernet Sauvignon, Napa Valley, California 2017 32 / 128
CAYMUS-SUISUN Petite Sirah, Grand Durif, Suisun Valley, California 2018 25 / 100

RED VARIETALS

CHÂTEAU DE NALYS Grand Vin, Châteauneuf-du-Pape, France 2017 195
MICHELE CHIARLO Cerequio, Barolo, Italy 2016 250
MARCHESI ANTINORI Tignanello, Tuscany, Italy 2017 280
CHÂTEAU RAUZAN-SÉGLA Grand Cru Classé, Margaux, France 2017 390
PENFOLDS Shiraz, RWT Bin 798, Barossa Valley, Australia 2017 295

CABERNET SAUVIGNON

LAIL VINEYARDS Blueprint, Napa Valley, California 2018 180
THE MASCOT Napa Valley, California 2014 240
CAYMUS VINEYARDS Special Selection, Napa Valley, California 2016 350
SPOTTSWOOD St. Helena, Napa Valley, California 2017 395
SHAFFER Hillside Select, Stags Leap District, Napa Valley, California 2016 475

COFFEE

Drip 4
Espresso 4
Cortado 4.50
Cappuccino 5.50
Latte, Chai Latte 7
Matcha Latte 7
Hot Chocolate 5
Cold Brew 6

TEA

RH Breakfast 6
Lord Bergamot 6
Jasmine / Silver Tip 6
Meadow Chamomile 6
Peppermint Leaves 6
Bai Hao Oolong 6
Unsweetened Iced Tea 4.50

JUICES & SODAS

Pressed Juicery Greens / Roots
Citrus / Orange Turmeric 11
Fresh Squeezed
Lemonade / Orange 6
Coke / Diet Coke 5
Fentimans
Rose Lemonade / Ginger Beer 7

BEER

KSA Kölsch 8
Stizio Italian Pilsner 8
Villager S.F. IPA 8
Animal Tropical IPA 8



Williams Williams Rattner & Plunkett, P.C.
Attorneys and Counselors

380 North Old Woodward Avenue
Suite 300

Birmingham, Michigan 48009

Tel: (248) 642-0333

Fax: (248) 642-0856

February 24, 2021

Richard D. Rattner
rdr@wwrplaw.com

City Commission
Planning Board
City of Birmingham
151 Martin Street
Birmingham, MI 48009
Attn: Thomas Markus and Jana Ecker

Re: *Special Land Use Permit Application – Economic Development License (“SLUP-EDL”) for 300 and 394 S. Old Woodward and a portion of 294 E. Brown Street, Birmingham, Michigan (“Subject Property”) submitted by RHFBB, LLC (“RH” or “Applicant”) and Special Land Use Permit for B2 on-premises consumption of alcoholic beverages for the Subject Property (“SLUP-B2”) submitted by Applicant (the SLUP-EDL and SLUP-B2 are sometimes referred to as the “Applications”)*

Dear Commissioners and Members of the Planning Board:

This letter accompanies the two Applications of the RHFBB, LLC for a Special Land Use Permit - Economic Development License and Special Land Use Permit for B2 to operate an establishment with a liquor license to be obtained by Economic Development License in the B2/D4 district. The Applicant is requesting to transfer a liquor license (“License”) into the City pursuant to the Birmingham Code of Ordinances, Section 10-42 and Section 10-62.

This SLUP will allow the exciting new, unique mixed-use RH retail store to have a fourth-floor restaurant with alcoholic beverage sales for on premises consumption. The new RH store will include the first three floors of retail galleries and a top floor restaurant. It will attract Birmingham residents and will be a destination for visitors to the South Old Woodward area of the central business district (“CBD”), consistent with the 2016 Plan for Birmingham. The application for SLUP and all site plan requirements relevant to this presentation are submitted with this letter.

The following outline demonstrates that this new RH gallery store and restaurant fulfills all ordinance and planning requirements for a Special Land Use Permit for an Economic Development Liquor License, as well as the requirements to transfer a license into the city, plus the general requirements for a Special Land Use Permit in the B2 zone.

I. Requirements for Special Land Use Permit (Section 126, Article 7, Section 7.36(A)(1-6).

- A. **7.336(A)(1).** “The use is consistent with and will promote the intent and purpose of this Zoning Ordinance.”

A review of the Applicant’s project clearly demonstrates that this newly proposed RH mixed-use gallery retail store and restaurant is consistent with and will promote the intent and purpose of the Zoning Ordinance.

First, with respect to the zoning district, the subject property is zoned B-2, General Business, and the Applicant has applied for a zoning change from D-3 to D-4 in the Downtown Overlay District in order to include a fourth-floor restaurant. The RH stand-alone retail store will be a new four-story structure located on the southwest corner of Brown Street and South Old Woodward Avenue, similar in mass and scale to the Daxton Hotel immediately to the north. The B-2 District specifically permits “alcoholic beverage sales with on premises consumption” pursuant to a special use permit.

Second, Section 7.36(A)(1) provides that a Special Land Use Permit shall be consistent with the “. . . intent and purpose . . .” of the zoning ordinance. The intent and purpose of the zoning ordinance of the City of Birmingham as set forth at Article 1, Section 1.04 of the Zoning Ordinance, is to “. . . guide the growth and development of the City in accordance with the goals, objectives and strategies stated within the Birmingham Master Plan and Downtown Birmingham 2016 Plan.”

1. Intent and goals of the Downtown Birmingham 2016 Plan (“2016 Plan”).

This area of the CBD is identified in the 2016 Plan as the “Retail 1” area and is discussed at pages 26-27 of the 2016 Plan (attached for your reference). The RH store/restaurant also is consistent with all the relevant recommendations and fits every one of the relevant bullet points set forth in the “Downtown Birmingham Vision Statement” discussed at page 181 of the 2016 Plan (attached for your reference).

- a. Relevant recommendations of the 2016 Plan for the “Retail 1” South Woodward CBD.
- i. The first bullet point recommendation set forth at page 26 of the 2016 Plan, recommends that the City “enlarge the CBD shopping district area by merging it with the South Woodward... [area].”

The new RH, with its first three floors of retail and fourth floor restaurant, will bring

significant patronage to the southern point of the CBD and will serve as a destination for residents and visitors to the City, helping to extend the CBD and pedestrian traffic south of Brown Street along South Old Woodward area.

- ii. The second relevant bullet point recommends that the City “connect all areas to each other by reducing apparent and actual physical barriers, by connecting discontinuous retail frontages, and, in some cases, by installing the recommended streetscape and signage improvements.”

The subject site consists of a single-story office building housing Lutz Capital, a surface parking lot, and the mostly single-story buildings housing Frank’s Shoe Repair and Roche Bobois. These buildings and surface lot were barriers to street-level retail and failed to inspire a pedestrian-friendly activated sidewalk, leaving a pedestrian “dead zone” south of Brown on S. Old Woodward. The new RH and its amenities will combine these frontages into one attractive, pedestrian-friendly structure with street-level retail galleries and a fourth-floor restaurant. The RH restaurant will provide the enjoyable experience of rooftop dining plus offer residents and visitors the unique experience of strolling through design galleries with one’s beverage of choice. The new RH is designed to fully comply with the standards of the B2 zone and Downtown Overlay District.

The presence of RH south of Brown Street will extend the CBD past Brown. The project is consistent with both goals for the Retail 1 area under the 2016 Plan. The RH retail store and restaurant will add economic vitality to the South Old Woodward corridor by serving residents and visitors as a retail destination. There are few eating establishments in this area of the City, as well, and the RH will include the welcome addition of a unique top floor eating establishment. These uses encourage pedestrian traffic, activate the sidewalk, and help to extend and connect the CBD with the South Woodward neighborhood. There is no other business in the CBD like the RH. The last time Birmingham enjoyed this type of retail development was during the days of Jacobson’s department store. RH’s Application encourages redevelopment of the southern CBD, south of Brown Street along the South Woodward corridor area while at the same time satisfies the planning amenities envisioned in the 2016 Plan.

- b. “The Downtown Birmingham Vision Statement” in the 2016 Plan.”

At Page 181 of the 2016 Plan (attached), 17 bullet points are identified as being a summary of the vision for downtown Birmingham. Again, the RH development has the advantage of being consistent with all the relevant bullet points presented in that 2016 Plan.

- i. “Ensure the economic viability of downtown business community.”

The development of the RH store/restaurant at this location continues the revitalization of

economic activity along South Old Woodward past Brown Street. It increases the availability of large shopping venues and restaurant experiences in this part of Downtown, providing amenities to residents and attracting visitors and to Downtown and the South Old Woodward corridor. RH's first floor retail space and sidewalk redesign – in accord with the South Old Woodward reconstruction plan --will extend the walkability of the CBD and provide pedestrian destinations south of Brown Street. A retail establishment the caliber of RH in a walkable cosmopolitan community, with its unique shopping experience of strolling through design galleries with a glass of wine or beverage of choice, cannot be executed without a liquor license.

Furthermore, there is no alternative to Downtown Birmingham for RH in southeastern Michigan for one of its flagship retail stores. RH understands the effects internet shopping has had on large shopping malls. It is transitioning from that uncertain business model to the development of stand-alone stores, with an attractive offering of a unique shopping and dining experience. Downtown Birmingham is a perfect fit for one of RH's select locations. It cannot offer the high-level experience associated with RH, however, without a liquor license and food/beverage service on premises. Birmingham historically has been known as a Downtown shopping destination. The Applicant's new four-story RH promotes and helps grow Downtown Birmingham as a shopping destination.

- ii. “New development should be designed for safety, comfort, convenience and enjoyment of pedestrians, rather than vehicular traffic.”

The RH store/restaurant provides a unique experience for both Birmingham residents and visitors of Birmingham alike. The proposed plan includes an underground parking garage for customers and employees, although the Applicant anticipates use of the nearby Pierce Street garage. The building, primarily retail with a fourth-floor restaurant facility is designed to appeal to pedestrians walking from the CBD towards South Woodward. The RH can be accessed by pedestrians without use of a car. All the residents living in or near the south area of the CBD, including residents across Old Woodward at Birmingham Place and the 555 building, as well as across Daines Street at the Forefront and any other nearby residents, will be able to walk to the RH. This pedestrian-friendly location and use is particularly appropriate for the City of Birmingham and the “treasured heritage” of the City as a walkable community. The new, unique and attractive retail space and rooftop restaurant will extend the CBD and support the CBD as an integral part in the lives of Birmingham residents.

The streetscape design includes widened sidewalks with trees and raised planters, placed to enhance the pedestrian experience, as well as pedestrian-level lighting and hanging planters. The design also includes benches, receptacles, and bicycle racks to further encourage multi-modal traffic flow. The main entrance is welcoming and inviting to pedestrians, with large first floor windows and a canopied doorway at the corner of Brown and South Old Woodward.

- iii. “Strengthen the spatial and architectural character of the downtown area and ensure buildings are compatible, in mass and scale, with their immediate surroundings and the downtown’s traditional two- to four-story buildings.”

This new building is designed by the renowned Birmingham architecture firm, Saroki Architecture. The design meets the zoning criteria for the D-4 and Downtown Overlay Districts. The building is a 4-story mixed use building that is consistent with the mass and scale of the surrounding buildings and will complement the architecture of the Daxton Hotel and other buildings in Downtown. The subject site is currently occupied by a one-story office building, a surface parking lot, a shoe repair shop, and a boutique furniture store. The four-story RH building, with its mix of retail and restaurant uses, will significantly strengthen the architectural and spatial character of the current lot and structures.

- iv. “Ensure good land use transitions and structural compatibility in form and mass to the traditional, residential neighborhoods surrounding downtown.”

The location of the RH offers a unique opportunity for development which will be convenient to, and an amenity for, all the residents living in the residential single-family areas surrounding the CBD and South Woodward. One of the visions of the 2016 Plan is to extend the CBD into the South Woodward area to provide services needed by Birmingham residents, and the RH will provide a transition point which will extend the CBD beyond Brown Street into the South Woodward area. The RH is the continuation of such pedestrian-oriented development in this area, like the Daxton, and will bring more foot traffic south of Brown Street into the South Woodward area. The RH will offer these residents uses that will encourage increased social and retail activities in and around the southern area of the CBD.

- v. “Create and reinforce identifiable districts within the downtown to provide a sense of place and a variety of experiences.”

The redevelopment of the South Woodward retail area depends upon the development of new and exciting retail and restaurant uses. The redevelopment of the Subject Property works to increase the identifiability of the South Old Woodward corridor, as well as create and strengthen the Downtown as a shopping destination. Plus, RH will add a new and unique shopping and dining experience while extending the CBD the South Woodward retail area further to the south.

- vi. “Encourage a diverse mix of uses including retail, commercial, entertainment, cultural, civic, and especially residential.”

The RH is the epitome of a mixed-use retail space. It combines high-end, stand-alone retail with a unique top-floor restaurant, creating a unique strolling shopping experience and all built above underground parking in one building.

- vii. “Encourage first floor retail businesses, services, and other activities which are required for everyday living.”

The RH retail space will be located at street level through the third floor. The street level entrance is accessible from the sidewalk at the corner of Brown and Old Woodward, inviting pedestrians and creating the atmosphere and street activation encouraged by the 2016 Plan. The RH building will continue the ambiance of the northern part of the CBD and extend it south of Brown Street.

- viii. “Provide easily accessible, identifiable, and convenient parking in an amount to support downtown density and use.”

The proposed development is located within the Parking Assessment District, so no further on-site parking is required for commercial use. Nonetheless, the Applicant is in a unique position to offer easily accessible parking. The development includes an underground garage that will allow for approximately 30 cars. Further, RH desires to offer a valet service for customers, which will assist to ease any burden on parking. In addition, RH is exploring with the City the possibility of an arrangement for reserved parking spaces in the Pierce Street garage.

The foregoing is a discussion of several of the more relevant bullet points which are set forth in the Downtown Birmingham Vision Statement. As can be seen, the introduction of RH’s restaurant (with alcoholic beverage consumption on premises) in this area complies with the 2016 Plan and its vision for Downtown Birmingham.

- B. 7.36(A)(2).** “The use will be compatible with adjacent uses of land, the natural environment, and the capabilities of the public services and facilities effected by the land use.”

As stated above, the mixed retail/restaurant uses of the RH store is compatible with adjacent uses of land and sets the stage for a more pedestrian-friendly and environmentally conscious streetscape south of Brown Street at the southern extension of the CBD. RH will not present any issues for added public services or facilities for the land use. All existing facilities and services in this area will easily serve the new building.

- C. 7.36(A)(3).** “The use is consistent with public health, safety and welfare of the city.”

The use of an Economic Development liquor license for this exciting new mixed-use retail/restaurant development south of Brown Street is not only consistent with the health, safety and welfare of the community, but because of the services it provides, it is a benefit to the residents of this area and the City at large by adding a large retailer and a unique dining

establishment to the area where few restaurants are located. As stated above, the widened sidewalks, underground parking and proposed valet service are consistent with the health, safety and welfare of the residents of the City. The proposed RH development has been designed to result in no interference with traffic.

D. 7.36(A)(4). “The use is in compliance with all other requirements of the zoning ordinance.”

The site plan and building plans presented demonstrate that the new RH building has been designed consistent with the standards of the Downtown Overlay and otherwise complies with the ordinances of the City of Birmingham, in addition to being clearly consistent with the 2016 Plan as set forth in this letter.

E. 7.36(A)(5). “The Use Will Not Be Injurious to the Surrounding Neighborhood.”

There is no activity of RH which will be injurious to surrounding neighbors. In fact, this large retail space and top-floor restaurant, will be beneficial to its neighbors. This location is immediately adjacent to other commercial and office uses, including the Daxton Hotel directly to the north, the Forefront to the south, and Birmingham Place across the street. It offers a new retail concept to Downtown Birmingham, plus a new fourth-floor restaurant to which pedestrians can easily walk. It adds to the diversity of the uses in the neighborhood, which presently are dominated by offices, high rise multifamily, and single-story shops, with only two other restaurants south of Brown Street (former Triple Nickel and Phoenicia). Note that the Subject Property does not border on areas zoned single family residential.

F. 7.36(A)(6). “The RH establishment is not in violation of any State or Federal Statutes.”

The RH and its restaurant are designed and will be operated in a manner which is intended to comply with all relevant laws and regulations of the local, state, and federal authorities.

II. Birmingham City Code

Two sections of the City Code are relevant to this SLUP proposal.

A. Sec. 10-61. - Request for transfer of license into city.

“Persons desiring to transfer a liquor license from outside the city limits into the city limits in excess of the city's quota licenses shall make an application to the city commission and pay the applicable theater liquor license transfer review fee as set forth in appendix A of

this Code. In addition to those items and conditions set forth in section 10-42¹, the application shall set forth in detail its proposed project, including, but not limited to”:

1. **10-61(1):** “Utilization of said liquor licenses and details on the number of quota liquor licenses in escrow at the time of application.”

Applicant is proposing to transfer an existing license from outside the City of Birmingham under the City’s Economic Development license transfer Ordinance Section 10-62. The Applicant understands there are no quota licenses available to transfer to the Applicant available in the City.

With respect to escrow licenses, the following 6 liquor licenses are in escrow in Birmingham, but to the Applicant’s knowledge they are not available for purchase; they are controlled by landlords or are being transferred to future tenants of the buildings where they are held:

0261553 PEABODY OWNER, LLC
34965 Woodward Ave., Birmingham, MI 48009-0931

240015 WILLITS CO-LICENSE LLC / MITCHELL'S ENTERTAINMENT, INC.
115 Willits St., Birmingham, MI 48009-3317

238851 THE PALLADIUM OF BIRMINGHAM, LLC
201 Hamilton Row, Birmingham, MI 48009-3455

¹ Section 10-42:

1. **10-42(1):** “An applicant will be given consideration only if he proposes to provide and continues to provide for the service of meals to be consumed on the premises.” The RHFB will have a restaurant that will provide on-premises service to all its customers who desire it.
2. **10-42 (2):** “The location proposed, and methods of operation must not detrimentally and unreasonably impact nearby property owners, businesses and residents.” The location and methods of operation will benefit nearby property owners, businesses, and residents by increasing pedestrian traffic to the South Old Woodward area and extend the CBD south of Brown Street, plus it will provide residents with another unique shopping and dining experience that can be accessed without a car.
3. **10-42 (3):** “All applicable health and safety codes and ordinances, including zoning, must be met.” The Applicant plans to meet all safety codes and ordinances.
4. **10-42 (4):** “Applicants will be required to submit a detailed plan of proposed operation as part of their application for transfer, which shall include a plot plan of the site, a plan for any proposed change in exterior and interior design, lay-out of any proposed change to ancillary facilities and a general operational statements outlining the proposed manner in which the establishment will be operated, including a schedule of the hours of operation, crowd control plans, use of the facility, parking provisions and the estimated cost of any proposed improvements.” Please see the site plan submission made with this Application for Special Land Use Permit – Economic Development License.

233843 CRUSH, LLC /TRIPLE NICKEL
555 S. Old Woodward Ave., Birmingham, MI 48009-6658

0269104 ESSCO OF BIRMINGHAM, LLC
250-280 E. Merrill St., Birmingham, MI 48009

0270861 ESSCO OF BIRMINGHAM, LLC
210 S. Old Woodward, Ste. 100, Birmingham, MI 48009

2. **10-61(2):** “Proposed and/or existing site plan of the property, building floor plan and an operations floor plan.”

Please see the site plan submission made with this application for Special Land Use Permit – Economic Development License.

3. **10-61(3):** “An economic impact analysis.”

There is a significant positive economic impact on the City by the RH project. The City benefits economically by each of the following effects:

- i. Number of permanent new jobs created: 130 new, permanent positions will be created with the opening of the retail (50 employees) and restaurant operations (70 employees).
 - ii. Number of temporary construction and trade jobs: several hundred construction jobs are created by the project during the approximate two-year construction period.
 - iii. Almost all the construction and trade impact will be within 20 to 30 miles of the site.
 - iv. Total investment in the project: approximately \$25 Million Dollars.
 - v. Increase in assessed value for the City: the present assessed values of 300 and 394 S. Old Woodward together are approximately \$1.3 Million Dollars. The Applicant is planning to spend \$25 Million to develop the Subject Property; hence, the proposed project is a substantial economic development under either test set forth in Section 10-61 of the Ordinance.
4. **10-61(4):** “A copy of the special land use permit application and supporting documentation submitted by the applicant.”

Please see the Special Land Use application submitted with this letter.

5. **10-61(5)**: “All documentation submitted to the MLCC requesting the transfer.”

Applicant’s MLCC application has been filed with the City Police Department.

6. **10-61(6)**: “Full identification and history of the license holder(s) as it pertains to the license proposed to be transferred, including all complaints filed with the state liquor control commission (LCC) or actions taken by any municipality or the LCC to suspend, revoke or deny the non-renewal of said license and all other documentation setting forth the detail of the substantial economic development proposed by the applicant, including the approximate dollar amount of the investment to be made, number of jobs to be created and other benefits to the city. The city deems projects resulting in a 500 percent increase in assessed value post-development over the pre-development assessed value or the parcel and/or projects with an investment of more than \$10,000,000.00, whichever is less, to be substantial. However, special circumstances may warrant flexibility on the minimum investment at the sole discretion of the city commission.”

- a. Applicant has no identification and history pertaining to the license proposed to be transferred, and no complaints or other actions taken by any person or entity to suspend, revoke, deny or denial of renewal of said license.
- b. The applicant is investing approximately \$25 Million Dollars in the design, engineering, approval and construction of the interior (including kitchens) and exterior of this 50,750 square foot retail store and restaurant.
- c. Applicant expects to create approximately 130 permanent jobs, and approximately several hundred construction jobs at the site.

7. **10-61(7)**: “Information detailing how the proposed operation will create or sustain development in the city consistent with the master plan.”

See Section I of the Requirements for SLUP contained in this letter.

8. **10-61(8)**: “Such other items deemed necessary by city administration.”

The Applicant will provide further items deemed necessary by the City administration.

B. Sec. 10-62. - Application for transfer of liquor license into the city for economic development purposes.

“10-62(a) Selection criteria: In addition to the usual factors and criteria used by the city commission for liquor license requests, including those listed in section 10-42², the commission shall consider the following non-exclusive list of criteria to assist in the determination of which of the existing establishment applicants, if any, should be approved”:

1. **10-62(1):** “The applicant's demonstrated ability to finance the proposed project.”

The Applicant is a publicly traded company, and the project is being financed internally.

2. **10-62(2):** “The applicant's track record with the City including responding to City and/or citizen concerns.”

RH and its developers commit to promptly and properly addressing the City’s and citizen’s concerns with all aspects of development. The Applicant intends to promptly respond to all the City and/or citizen concerns.

3. **10-62(3):** “Whether the applicant has an adequate site plan to handle the proposed liquor license activities.”

The attached site plan shows in detail that the restaurant facility is designed by restaurant professionals. There are adequate facilities, including parking, to handle vehicular outcomes of the business as well as the expected pedestrian traffic from the Birmingham residential clientele.

4. **10-62(4):** Whether the applicant has adequate health and sanitary facilities.

All the health and safety facilities at the premises will comply with local, state and federal laws.

5. **10-62(5):** “The establishment’s location in relation to the determined interest in development.”

As set forth above, the development satisfies several goals of the City’s 2016 Plan related to extension of the CBD further south along South Old Woodward. The Subject Property is presently in the D3 Overlay and Applicant is requesting a zoning change to D4. In either case, the Downtown Overlay encourages a three to four-story building at this site where presently there are single story buildings and a surface parking lot. The City has established in its master planning a determined interest in commercial development in the South Old Woodward corridor.

² Please see a discussion of the 10-42 requirements in Footnote 1.

6. **10-62(6)**: “The extent that cuisine offered by applicant is represented in the city.”

The unique concept of a large retail establishment with fourth floor dining, and the opportunity for strolling through the RH retail galleries with a beverage of choice, does not exist in the City of Birmingham and will be something new to the City.

7. **10-62(7)**: “The percentage of proceeds from the sale of food products as compared to the sale of alcoholic beverages.”

The Applicant predicts that food and beverage sales will be roughly equivalent, while the retail sales will far exceed the revenue generated by the restaurant.

8. **10-62(8)**: “Whether the applicant has outstanding obligation to the city (i.e. property taxes paid, utilities paid, etc.).”

The Applicant has not outstanding obligations to the City of Birmingham.

III. Conclusion

The foregoing sections of this letter have concentrated on the zoning ordinances, the Master Plan and 2016 Plan, and the ordinance requirements for Special Land Use Permits and the Economic Development License. This review clearly demonstrates that the RH’s proposed retail establishment and restaurant satisfy the requirements, guidelines, and goals established in the 2016 Plan and City ordinances. The location of the RH in the Retail 1 area, extending the CBD further south, makes this proposal especially attractive, since it will extend pedestrian interest and foot traffic into an area of the Downtown that presently is less activated than other CBD areas. In addition, it will greatly expand the retail and dining choices in the City, especially south of Brown Street, and offer the residents of Birmingham and visitors to the City a truly unique experience in all of Michigan, strengthening Birmingham as a retail destination.

Accordingly, the Applicant respectfully requests the Planning Board to favorably recommend this Application for Special Land Use Permit – Economic Development License to the City Commission, and the Special Land Use Permit for the B2 with the hope that the City Commission will grant the Applicant, RHFB, LLC, a Special Land Use Permit – Economic Development License.

Should you have any further questions or comments regarding any of the above, please do not hesitate to call. With kind regards, I am,

Very truly yours,
WILLIAMS, WILLIAMS, RATTNER & PLUNKETT, P.C.



Richard D. Rattner

RDR/cmc
Enclosure-SLUP Application

Division of Platted Lots Application #1



Division of Platted Lots Application #1 Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: RH, Inc.
Address: 15 Koch Road
Corte Madera, CA 94925
Phone Number: (415) 936-9642
Fax Number: N/A
Email address: ds@rh.com

2. Property Owner

Name: See attached Consent Form for each of the 2 property owners
Address: See Consent Form
Phone Number: See Consent Form
Fax Number: N/A
Email address: See Consent Form

3. Applicant's Attorney/Contact Person

Name: Richard D. Rattner
Address: 380 N. Old Woodward Ave., Ste. 300
Birmingham, MI 48009
Phone Number: (248) 642-0333
Fax Number: (248) 642-0856
Email address: rdr@wrplaw.com

4. Project Designer/Developer

Name: Victor Saroki, FAIA
Address: 430 N. Old Woodward Ave., Fl. 3
Birmingham, MI 48009
Phone Number: (248) 258-5707
Fax Number: N/A
Email address: vsaroki@sarokiarchitecture.com

5. Project Information

Address/Location of Property: 294 E. Brown Street and 300
S. Old Woodward Ave.
Sidwell #: 19-36-204-021 and 19-36-204-006
Parcel #: 19-36-204-021 and 19-36-204-006
Current Zoning: B2/D3

Legal Description: See attached survey

6. Required Attachments

- I. Two (2) copies of a *registered* land survey showing:
 - i. All existing and proposed platted lot lines;
 - ii. Legal descriptions of proposed lots;
 - iii. Footprints of proposed development(s) including proposed building envelope(s) with front, side and rear setbacks clearly marked;
- II. One (1) digital copy of plans;
- III. Proof of ownership;
- IV. Written statement of reasons for request;
- V. A letter of authority or power of attorney in the event the application is made by a person other than the property owner;
- VI. Sketches of proposed development (*optional*);
- VII. Other data having a direct bearing on the request.
- VIII. Any other data requested by the Planning Board, Planning Department, or other City Departments.

7. Details of the Proposed Development (attach separate sheet if necessary)

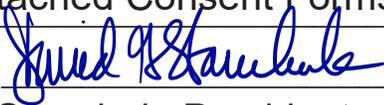
Commanding four levels and over 49,810 interior and exterior square feet, this innovative retail concept features artistic installations of home furnishings in a gallery setting, showcasing RH Interiors, RH Modern, and RH Outdoors. RH's seamlessly integrated culinary offering, the RH rooftop restaurant highlights an ingredient-driven menu. RH Birmingham will also include an interactive design atelier offering professional design services in a studio environment and a rooftop park. A SLUP is required for alcoholic beverage service for on-site consumption in the B2 Zone.

(I), (We), the undersigned, do hereby request to divide lots of record in the City of Birmingham, Oakland County, Michigan. (I), (We), do hereby swear that all of the statements, signatures, and descriptions appearing on and with this request are in all respects true and accurate to the best of (my), (our), knowledge.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Property Owner: _____ Date: _____

Print Name: See attached Consent Forms

Signature of Applicant:  Date: 2.24.21

Print Name: Dave Stanchak, President

Office Use Only

Application#: _____ Date Received: _____ Fee: _____

Date of Approval: _____ Date of Denial: _____ Reviewed By: _____



CONSENT OF PROPERTY OWNER

I, Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95 _____, OF THE STATE OF Michigan AND
(Name of Property Owner)

COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 394 S. Old Woodward;
(Address of Affected Property)
2. That I have read and examined the Application for **DIVISION OF PLATTED LOTS** made to the City of Birmingham by: RH, Inc.;
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95
Name of Owner (Printed): _____

Signature of Owner: Frank Konjarevich **Date:** 2/24/21



Notice Signs - Rental Application Community Development

1. Applicant

Name: RHF&B Michigan, LLC
Address: 15 Koch Road
Corte Madera, CA 94925
Phone Number: (415) 936-9642
Fax Number: N/A
Email address: ds@rh.com

Property Owner

Name: See attached Consent Form for each of the 3 property owners
Address: See Consent Form
Phone Number: See Consent Form
Fax Number: N/A
Email address: See Consent Form

2. Project Information

Address/Location of Property: 300-394 S. Old Woodward Ave.
Name of Development: RH Birmingham
Area in Acres: .46 acres

Name of Historic District site is in, if any: Not in any historic district
Current Use: Retail and Office
Current Zoning: D-3

3. Date of Board Review

Board of Building Trades Appeals: N/A
City Commission: TBD
Historic District Commission: N/A
Planning Board: 03/24/21

Board of Zoning Appeals: 300-394 S. Old Woodward Ave.
Design Review Board: N/A
Housing Board of Appeals: N/A

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.

Signature of Applicant:  Date: 2.24.21

Office Use Only

Application #: _____ Date Received: _____ Fee: _____
Date of Approval: _____ Date of Denial: _____ Reviewed by: _____

Exhibit A - Land Division No. 1

PARENT PARCEL

LEGAL DESCRIPTION - PARCELS I & II (PER TITLE COMMITMENT)

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

PARCEL I:

THE EAST 1/2 OF LOT(S) 11 OF BROWN'S ADDITION TO THE CITY OF BIRMINGHAM AND THE EAST 1/2 OF LOT 16 OF BROWN'S ADDITION NO. 1, IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING THE VACATED WEST 20 FEET OF ANN STREET ADJOINING LOT 11 AND THE VACATED WEST 19 FEET OF ANN STREET ADJOINING LOT 16.

PARCEL II:

THE WEST 1/2 OF LOT(S) 12 OF BROWN'S ADDITION TO THE VILLAGE (NOW CITY) OF BIRMINGHAM, OF PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST, TOWNSHIP OF BLOOMFIELD (NOW CITY OF BIRMINGHAM), OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, ALSO LOT 15, ADDITION TO WILLIAM BROWN'S ADDITION NO. 1, BEING A PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING VACATED 20 FEET OF ANN STREET, ADJOINING THE WESTERLY SIDE OF LOT 12 AND VACATED 21 FEET OF ANN STREET ADJOINING THE WESTERLY SIDE OF LOT 15.

ADDRESS: 294 E. BROWN STREET, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-021

LEGAL DESCRIPTION - PARCEL 2 (PER TITLE COMMITMENT)

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

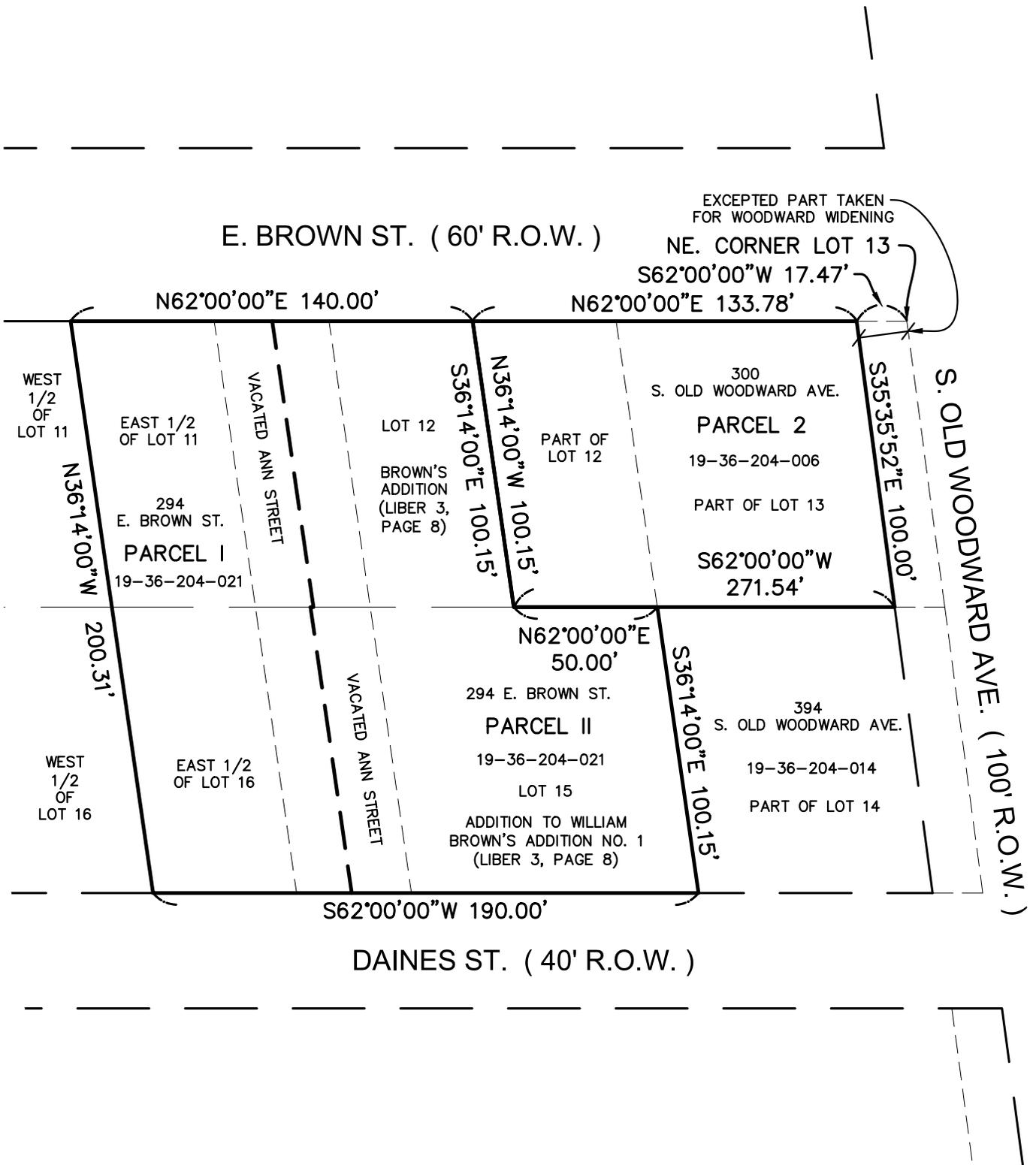
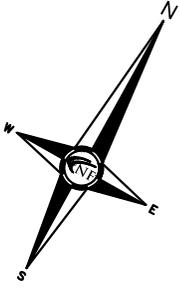
THE EASTERLY 50 FEET OF LOT 12, AND THE WESTERLY PART OF LOT 13, MEASURING 82.45 FEET ON THE NORTH LOT LINE AND 82.48 FEET ON THE SOUTH LOT LINE OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

ADDRESS: 300 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-006

Exhibit A

PARENT PARCEL



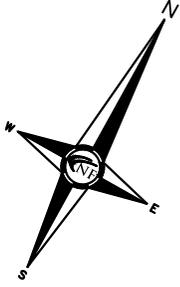
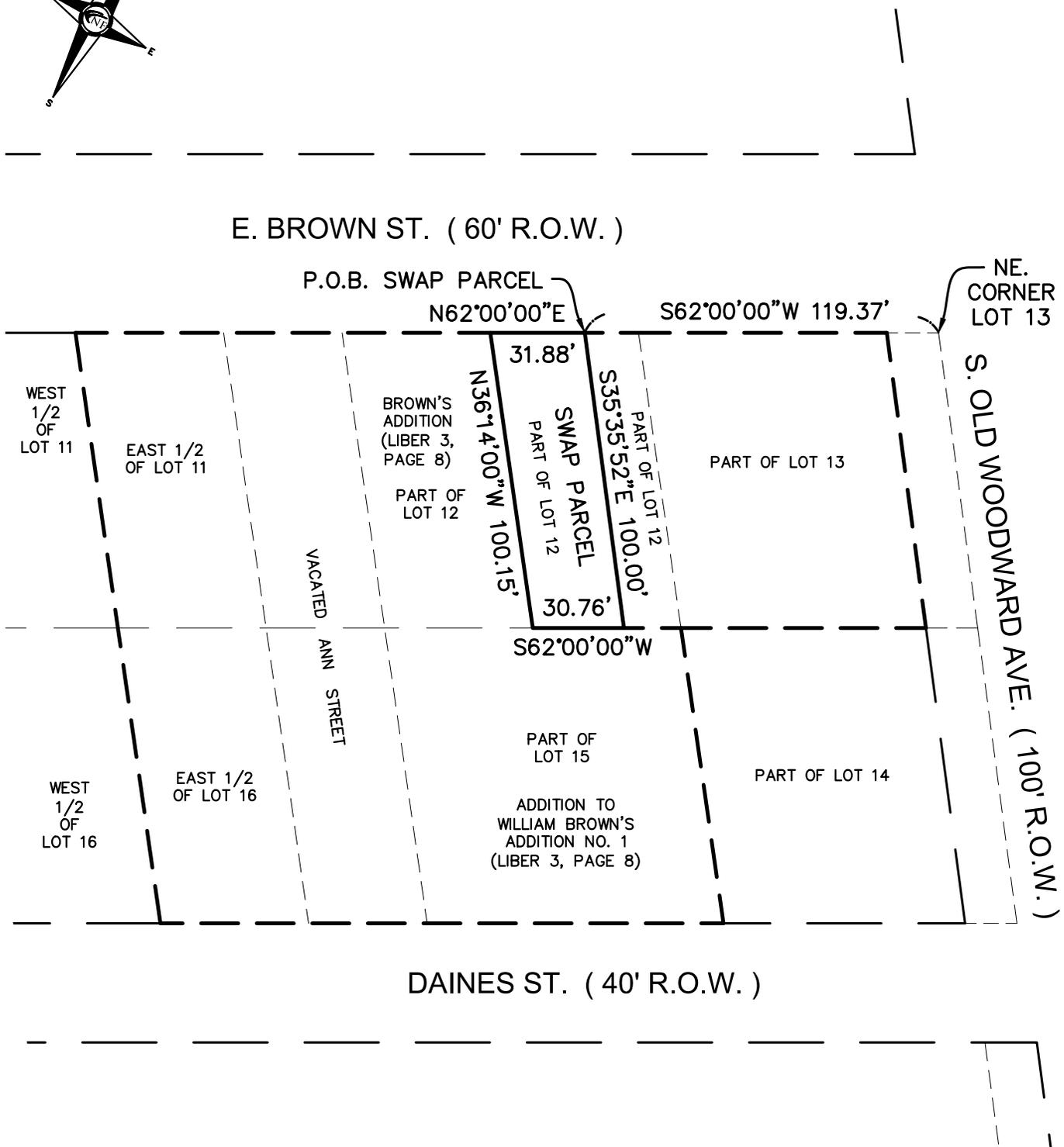


Exhibit A

SWAP PARCEL



LEGAL DESCRIPTION - SWAP PARCEL

LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI,
DESCRIBED AS FOLLOWS:

PART OF LOT 12 OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; BEING DESCRIBED AS: BEGINNING AT A POINT DISTANT S.62°00'00"W. 119.37 FEET FROM THE NORTHEAST CORNER OF LOT 13 OF SAID BROWN'S ADDITION SUBDIVISION; THENCE S.35°35'52"E. 100.00 FEET; THENCE S.62°00'00"W. 30.76 FEET; THENCE N.36°14'00"W. 100.15 FEET; THENCE N.62°00'00"E. 31.88 FEET TO THE POINT OF BEGINNING.

CONTAINING: 3,104.39 SQUARE FEET OR 0.07 ACRES OF LAND

PART OF TAX ID NUMBER: 19-36-204-006

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
WWW.NFE-ENGR.COM

REVISED
02-24-2021

SCALE	DATE	DRAWN	JOB NO.	SHEET
1" = 50'	1-28-2021	M.C.	M106	3 of 5

Exhibit A

RESULTING PARCEL

LEGAL DESCRIPTION - PARCEL A

LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI,
DESCRIBED AS FOLLOWS:

THE EAST 1/2 OF LOT 11, PART OF LOT 12 AND ALL OF VACATED ANN STREET ADJACENT THEREOF OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS AND THE EAST 1/2 OF LOT 16, LOT 15 AND ALL OF VACATED ANN STREET ADJACENT THEREOF OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, ALL BEING DESCRIBED AS: BEGINNING AT A POINT DISTANT S.62°00'00"W. 119.37 FEET FROM THE NORTHEAST CORNER OF SAID LOT 13 OF BROWN'S ADDITION SUBDIVISION; THENCE S.35°35'52"E. 100.00 FEET; THENCE N.62°00'00"E. 19.24 FEET; THENCE S.36°14'00"E. 100.15 FEET; THENCE S.62°00'00"W. 190.00 FEET; THENCE N.36°14'00"W. 200.31 FEET; THENCE N.62°00'00"E. 171.88 FEET TO THE POINT OF BEGINNING.

CONTAINING: 35,814.67 SQUARE FEET OR 0.82 ACRES OF LAND

ADDRESS: 294 E. BROWN STREET, BIRMINGHAM, MI 48009

PART OF TAX ID NUMBER: 19-36-204-021

LEGAL DESCRIPTION - PARCEL B

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

PART OF LOTS 12 AND 13, EXCEPT THAT PART TAKEN FOR WIDENING WOODWARD AVENUE OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; BEING MORE PARTICULARLY DESCRIBED AS: BEGINNING AT A POINT DISTANT S.62°00'00"W. 17.47 FEET FROM THE NORTHEAST CORNER OF SAID LOT 13 OF BROWN'S ADDITION SUBDIVISION; THENCE S.35°35'52"E. 100.00 FEET; THENCE S.62°00'00"W. 101.90 FEET; THENCE N.35°35'52"W. 100.00 FEET; THENCE N.62°00'00"E. 101.90 FEET TO THE POINT OF BEGINNING.

CONTAINING: 10,100.54 SQUARE FEET OR 0.23 ACRES OF LAND

ADDRESS: 300 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

PART OF TAX ID NUMBER: 19-36-204-006

Exhibit A

RESULTING PARCEL



EXCEPTED PART TAKEN FOR WOODWARD WIDENING

NE. CORNER LOT 13

S62°00'00"W 119.37'

S62°00'00"W 17.47'

N62°00'00"E 101.90'

E. BROWN ST. (60' R.O.W.)

P.O.B. PARCEL A

N62°00'00"E 171.88'

P.O.B. PARCEL B

300
S. OLD WOODWARD AVE.

PARCEL B

19-36-204-006

PART OF LOT 13

S62°00'00"W
101.90'

WEST
1/2
OF
LOT 11

EAST 1/2
OF LOT 11

VACATED ANN STREET

PART OF
LOT 12

BROWN'S
ADDITION
(LIBER 3,
PAGE 8)

PART OF
LOT 12

SWAP PARCEL

S35°35'52"E 100.00'

N35°35'52"W 100.00'

PART OF LOT 12

S35°35'52"E 100.00'

S. OLD WOODWARD AVE. (100' R.O.W.)

N36°14'00"W

200.31'

N62°00'00"E 19.24'

294 E. BROWN ST.

PARCEL A

19-36-204-021

LOT 15

ADDITION TO WILLIAM
BROWN'S ADDITION NO. 1
(LIBER 3, PAGE 8)

S36°14'00"E 100.15'

394
S. OLD WOODWARD AVE.

19-36-204-014

PART OF LOT 14

WEST
1/2
OF
LOT 16

EAST 1/2
OF LOT 16

VACATED ANN STREET

S62°00'00"W 190.00'

DAINES ST. (40' R.O.W.)

Division of Platted Lots Application #2



Division of Platted Lots Application #2 Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: RH, Inc.
Address: 15 Koch Road
Corte Madera, CA 94925
Phone Number: (415) 936-9642
Fax Number: N/A
Email address: ds@rh.com

2. Property Owner

Name: See attached Consent Form for each of the 2 property owners
Address: See Consent Form
Phone Number: See Consent Form
Fax Number: N/A
Email address: See Consent Form

3. Applicant's Attorney/Contact Person

Name: Richard D. Rattner
Address: 380 N. Old Woodward Ave., Ste. 300
Birmingham, MI 48009
Phone Number: (248) 642-0333
Fax Number: (248) 642-0856
Email address: rdr@wrplaw.com

4. Project Designer/Developer

Name: Victor Saroki, FAIA
Address: 430 N. Old Woodward Ave., Fl. 3
Birmingham, MI 48009
Phone Number: (248) 258-5707
Fax Number: N/A
Email address: vsaroki@sarokiarchitecture.com

5. Project Information

Address/Location of Property: 294 E. Brown Street and 394
S. Old Woodward Ave.
Sidwell #: 19-36-204-021 and 19-36-204-014
Parcel #: 19-36-204-021 and 19-36-204-014
Current Zoning: B2/D3

Legal Description: See attached survey

6. Required Attachments

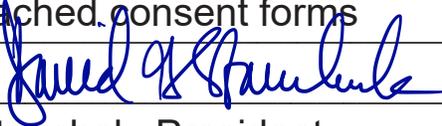
- I. Two (2) copies of a *registered* land survey showing:
 - i. All existing and proposed platted lot lines;
 - ii. Legal descriptions of proposed lots;
 - iii. Footprints of proposed development(s) including proposed building envelope(s) with front, side and rear setbacks clearly marked;
- II. One (1) digital copy of plans;
- III. Proof of ownership;
- IV. Written statement of reasons for request;
- V. A letter of authority or power of attorney in the event the application is made by a person other than the property owner;
- VI. Sketches of proposed development (*optional*);
- VII. Other data having a direct bearing on the request.
- VIII. Any other data requested by the Planning Board, Planning Department, or other City Departments.

7. Details of the Proposed Development (attach separate sheet if necessary)

Commanding four levels and over 49,810 interior and exterior square feet, this innovative retail concept features artistic installations of home furnishings in a gallery setting, showcasing RH Interiors, RH Modern, and RH Outdoors. RH's seamlessly integrated culinary offering, the RH rooftop restaurant highlights an ingredient-driven menu. RH Birmingham will also include an interactive design atelier offering professional design services in a studio environment and a rooftop park. A SLUP is required for alcoholic beverage service for on-site consumption in the B2 Zone.

(I), (We), the undersigned, do hereby request to divide lots of record in the City of Birmingham, Oakland County, Michigan. (I), (We), do hereby swear that all of the statements, signatures, and descriptions appearing on and with this request are in all respects true and accurate to the best of (my), (our), knowledge.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Property Owner: _____ Date: _____
Print Name: See attached consent forms _____
Signature of Applicant:  _____ Date: 2-24-21
Print Name: Dave Stanchak, President _____

Office Use Only

Application#: _____ Date Received: _____ Fee: _____
Date of Approval: _____ Date of Denial: _____ Reviewed By: _____



CONSENT OF PROPERTY OWNER

I, Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95 _____, OF THE STATE OF Michigan AND
(Name of Property Owner)

COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 394 S. Old Woodward;
(Address of Affected Property)
2. That I have read and examined the Application for **DIVISION OF PLATTED LOTS** made to the City of Birmingham by: RH, Inc.;
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

Name of Owner (Printed): Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95 _____

Signature of Owner: Frank Konjarevich **Date:** 2/24/21



Notice Signs - Rental Application Community Development

1. Applicant

Name: RHF&B Michigan, LLC
Address: 15 Koch Road
Corte Madera, CA 94925
Phone Number: (415) 936-9642
Fax Number: N/A
Email address: ds@rh.com

Property Owner

Name: See attached Consent Form for each of the 3 property owners
Address: See Consent Form
Phone Number: See Consent Form
Fax Number: N/A
Email address: See Consent Form

2. Project Information

Address/Location of Property: 300-394 S. Old Woodward Ave.
Name of Development: RH Birmingham
Area in Acres: .46 acres

Name of Historic District site is in, if any: Not in any historic district
Current Use: Retail and Office
Current Zoning: D-3

3. Date of Board Review

Board of Building Trades Appeals: N/A
City Commission: TBD
Historic District Commission: N/A
Planning Board: 03/24/21

Board of Zoning Appeals: 300-394 S. Old Woodward Ave.
Design Review Board: N/A
Housing Board of Appeals: N/A

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.

Signature of Applicant:  Date: 2.24.21

Office Use Only

Application #: _____ Date Received: _____ Fee: _____
Date of Approval: _____ Date of Denial: _____ Reviewed by: _____

Exhibit A - Land Division No. 2

PARENT PARCEL

LEGAL DESCRIPTION - PARCEL 1

LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI,
DESCRIBED AS FOLLOWS:

THE EAST 1/2 OF LOT 11, PART OF LOT 12 AND ALL OF VACATED ANN STREET ADJACENT THEREOF OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS AND THE EAST 1/2 OF LOT 16, LOT 15 AND ALL OF VACATED ANN STREET ADJACENT THEREOF OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, ALL BEING DESCRIBED AS: BEGINNING AT A POINT DISTANT S.62°00'00"W. 119.37 FEET FROM THE NORTHEAST CORNER OF SAID LOT 13 OF BROWN'S ADDITION SUBDIVISION; THENCE S.35°35'52"E. 100.00 FEET; THENCE N.62°00'00"E. 19.24 FEET; THENCE S.36°14'00"E. 100.15 FEET; THENCE S.62°00'00"W. 190.00 FEET; THENCE N.36°14'00"W. 200.31 FEET; THENCE N.62°00'00"E. 171.88 FEET TO THE POINT OF BEGINNING.

ADDRESS: 294 E. BROWN STREET, BIRMINGHAM, MI 48009

PART OF TAX ID NUMBER: 19-36-204-021

LEGAL DESCRIPTION - PARCEL 3 (PER TITLE COMMITMENT)

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

LOT(S) 14, EXCEPT THAT PART TAKEN FOR WIDENING WOODWARD AVENUE OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

ADDRESS: 394 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-014

Exhibit A

PARENT PARCEL

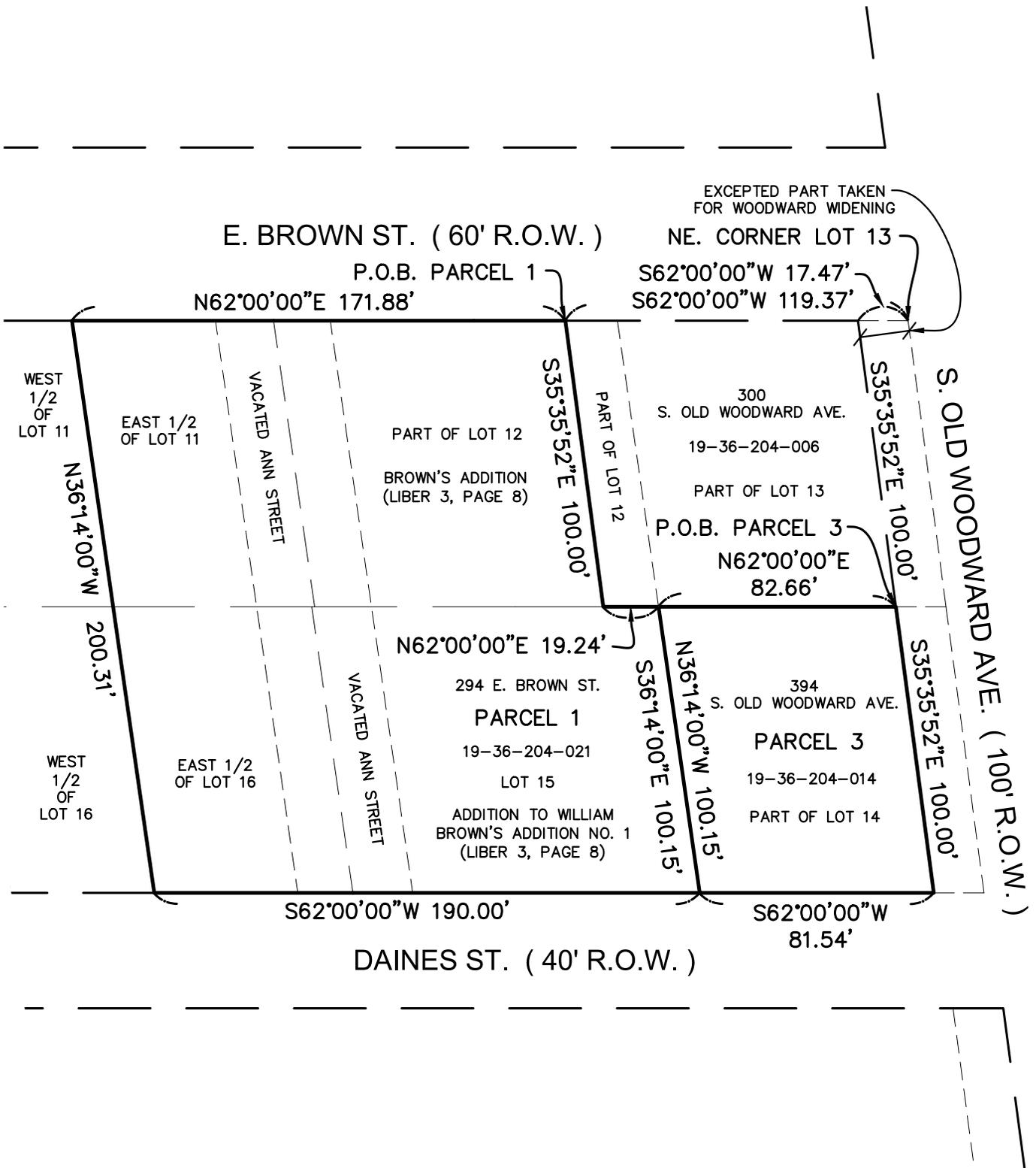
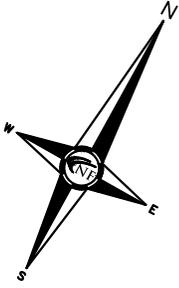
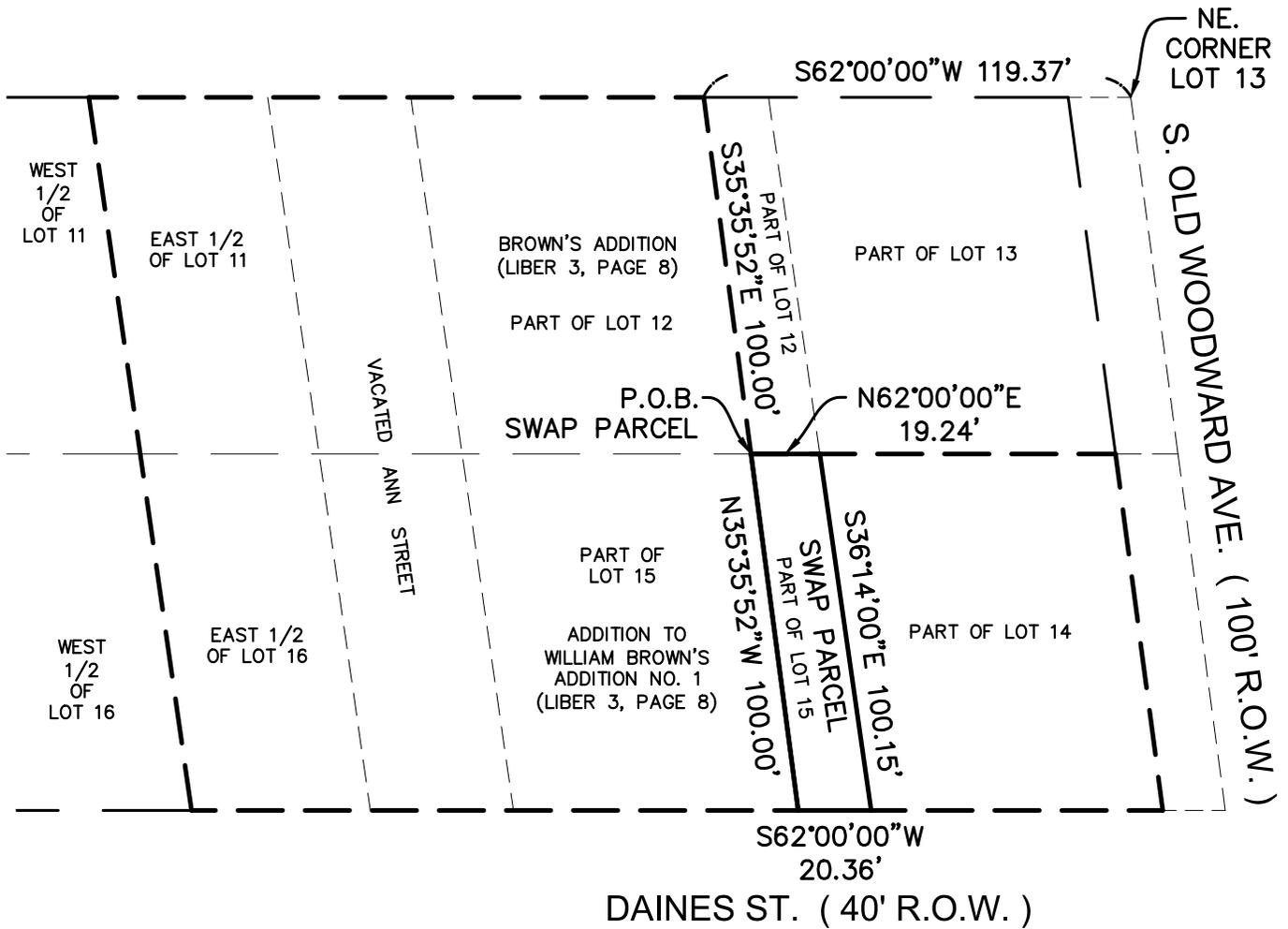




Exhibit A

SWAP PARCEL

E. BROWN ST. (60' R.O.W.)



LEGAL DESCRIPTION - SWAP PARCEL

LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI,
DESCRIBED AS FOLLOWS:

PART OF LOT 15 OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, BEING DESCRIBED AS: BEGINNING AT A POINT DISTANT S.62°00'00\"W. 119.37 FEET AND S.35°35'52\"E. 100.00 FEET FROM THE NORTHEAST CORNER OF LOT 13 OF BROWN'S ADDITION SUBDIVISION AS RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; THENCE N.62°00'00\"E. 19.24 FEET; THENCE S.35°14'00\"E. 100.15 FEET; THENCE S.62°00'00\"W. 20.36 FEET; THENCE N.35°35'52\"W. 100.00 FEET TO THE POINT OF BEGINNING.

CONTAINING: 1,962.79 SQUARE FEET OR 0.04 ACRES OF LAND

PART OF TAX ID NUMBER: 19-36-204-021

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
WWW.NFE-ENGR.COM

REVISED
02-24-2021

SCALE	DATE	DRAWN	JOB NO.	SHEET
1" = 50'	1-28-2021	M.C.	M106	3 of 5

Exhibit A

RESULTING PARCEL

LEGAL DESCRIPTION - PARCEL A

LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI,
DESCRIBED AS FOLLOWS:

THE EAST 1/2 OF LOT 11, PART OF LOT 12 AND ALL OF VACATED ANN STREET ADJACENT THEREOF OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS AND THE EAST 1/2 OF LOT 16, PART OF LOT 15 AND ALL OF VACATED ANN STREET ADJACENT THEREOF OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, ALL BEING DESCRIBED AS: BEGINNING AT A POINT DISTANT S.62°00'00"W. 119.37 FEET FROM THE NORTHEAST CORNER OF SAID LOT 13 OF BROWN'S ADDITION SUBDIVISION; THENCE S.35°35'52"E. 200.00 FEET; THENCE S.62°00'00"W. 169.64 FEET; THENCE N.36°14'00"W. 200.31 FEET; THENCE N.62°00'00"E. 171.88 FEET TO THE POINT OF BEGINNING.

CONTAINING: 33,851.88 SQUARE FEET OR 0.78 ACRES OF LAND

ADDRESS: 294 E. BROWN STREET, BIRMINGHAM, MI 48009

PART OF TAX ID NUMBER: 19-36-204-021

LEGAL DESCRIPTION - PARCEL B

LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI,
DESCRIBED AS FOLLOWS:

PART OF LOTS 14 AND 15, EXCEPT THAT PART TAKEN FOR WIDENING WOODWARD AVENUE OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; ALL BEING DESCRIBED AS: BEGINNING AT A POINT DISTANT S.62°00'00"W. 17.47 FEET AND S.35°35'52"E. 100.00 FEET FROM THE NORTHEAST CORNER OF LOT 13 OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; THENCE S.35°35'52"E. 100.00 FEET; THENCE S.62°00'00"W. 101.90 FEET; THENCE N.35°35'52"W. 100.00 FEET; THENCE N.62°00'00"E. 101.90 FEET TO THE POINT OF BEGINNING.

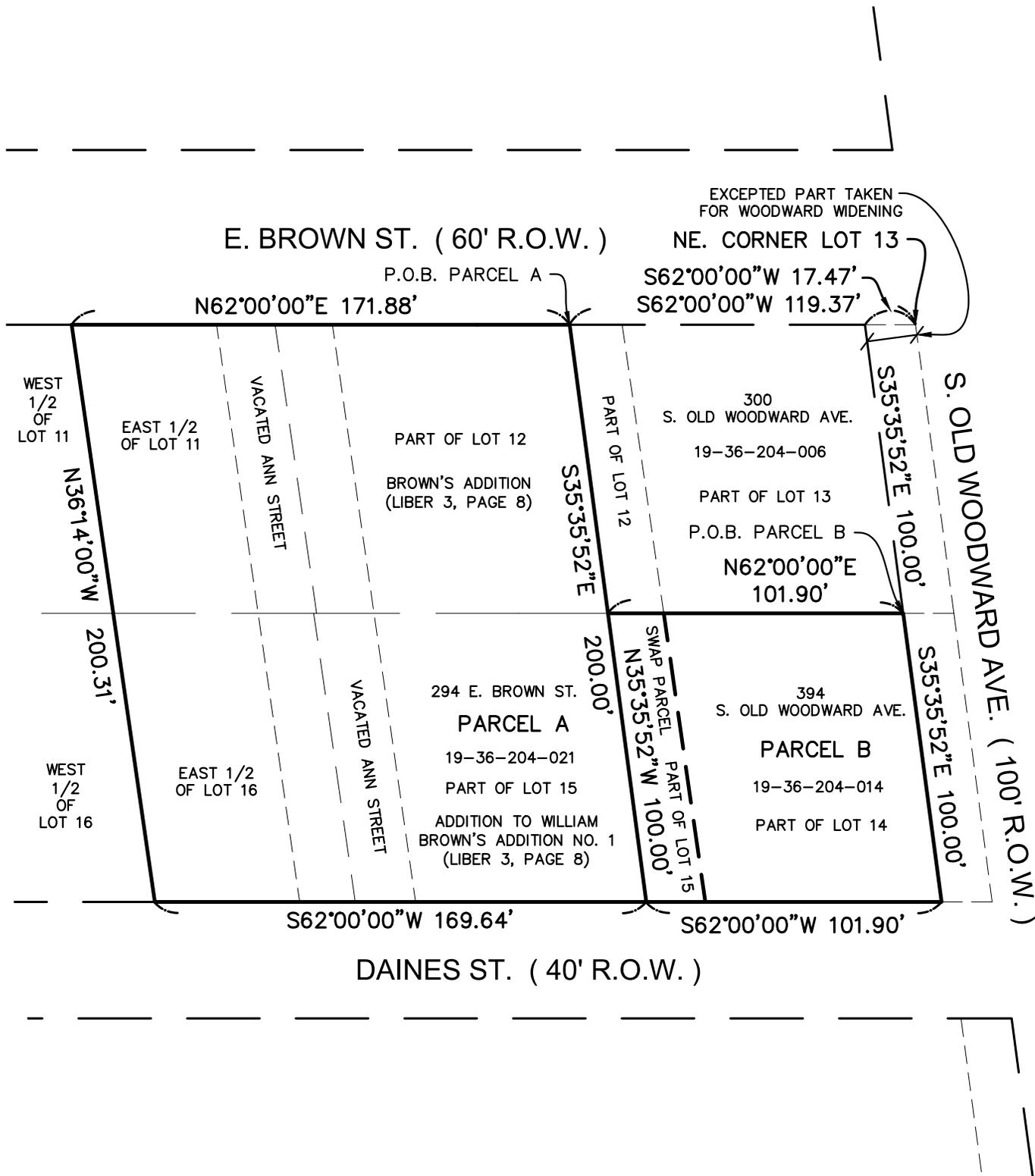
CONTAINING: 10,100.54 SQUARE FEET OR 0.23 ACRES OF LAND

ADDRESS: 394 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

PART OF TAX ID NUMBER: 19-36-204-014

Exhibit A

RESULTING PARCEL





Combination of Platted Lots Application

Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: RH, Inc.
Address: 15 Koch Road
Corte Madera, CA 94925
Phone Number: (415) 936-9642
Fax Number: N/A
Email address: ds@rh.com

2. Property Owner

Name: See attached Consent Form for each of the 3 property owners
Address: See Consent Form
Phone Number: See Consent Form
Fax Number: N/A
Email address: See Consent Form

3. Applicant's Attorney/Contact Person

Name: Richard D. Rattner
Address: 380 N. Old Woodward Ave., Ste. 300
Birmingham, MI 48009
Phone Number: (248) 642-0333
Fax Number: (248) 642-0856
Email address: rdr@wrplaw.com

4. Project Designer/Developer

Name: Victor Saroki, FAIA
Address: 430 N. Old Woodward Ave., Fl. 3
Birmingham, MI 48009
Phone Number: (248) 258-5707
Fax Number: N/A
Email address: vsaroki@sarokiarchitecture.com

5. Project Information

Address/Location of Property: 300 & 394 S. Old Woodward Ave. /
294 E. Brown Street
Sidwell #: 19-36-204-021, 19-36-204-006 & 19-36-204-014
Parcel #: 19-36-204-021, 19-36-204-006 & 19-36-204-014
Current Zoning: B2/D3

Legal Description: See attached survey

6. Required Attachments

- I. Two (2) copies of a *registered* land survey showing:
 - i. All existing and proposed platted lot lines;
 - ii. Legal descriptions of proposed lots;
 - iii. Locations of existing/surrounding structures for at least 500 ft. in all directions;
 - iv. Footprints of proposed development including proposed building envelope with front, side and rear setbacks clearly marked;
- II. One (1) digital copy of plans;
- III. Proof of ownership;
- IV. Written statement of reasons for request;
- V. A letter of authority or power of attorney in the event the application is made by a person other than the property owner;
- VI. Sketches of proposed development (*optional*);
- VII. Other data having a direct bearing on the request.
- VIII. Any other data requested by the Planning Board, Planning Department, or other City Departments.

7. Details of the Proposed Development (attach separate sheet if necessary)

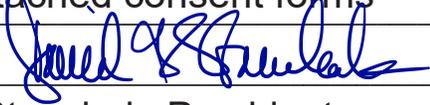
Commanding four levels and over 49,810 interior and exterior square feet, this innovative retail concept features artistic installations of home furnishings in a gallery setting, showcasing RH Interiors, RH Modern, and RH Outdoors. RH's seamlessly integrated culinary offering, the RH rooftop restaurant highlights an ingredient-driven menu. RH Birmingham will also include an interactive design atelier offering professional design services in a studio environment and a rooftop park. A SLUP is required for alcoholic beverage service for on-site consumption in the B2 Zone.

(I), (We), the undersigned, do hereby request to combine lots of record in the City of Birmingham, Oakland County, Michigan. (I), (We), do hereby swear that all of the statements, signatures, and descriptions appearing on and with this request are in all respects true and accurate to the best of (my), (our), knowledge.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Property Owner: _____ Date: _____

Print Name: See attached consent forms

Signature of Applicant:  _____ Date: 2.24.21

Print Name: Dave Stanchak, President

Office Use Only

Application#: _____ Date Received: _____ Fee: _____

Date of Approval: _____ Date of Denial: _____ Reviewed By: _____



CONSENT OF PROPERTY OWNER

I, Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95 _____, OF THE STATE OF **Michigan** AND
(Name of Property Owner)

COUNTY OF **Oakland** STATE THE FOLLOWING:

1. That I am the owner of real estate located at **394 S. Od Woodward**;
(Address of Affected Property)
2. That I have read and examined the Application for **COMBINATION OF PLATTED LOTS** made to the City of
Birmingham by: **RH, Inc.**;
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of
Birmingham.

Name of Owner (Printed): Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95 _____

Signature of Owner: Frank Konjarevich **Date:** 2/24/21



Notice Signs - Rental Application Community Development

1. Applicant

Name: RHF&B Michigan, LLC
Address: 15 Koch Road
Corte Madera, CA 94925
Phone Number: (415) 936-9642
Fax Number: N/A
Email address: ds@rh.com

Property Owner

Name: See attached Consent Form for each of the 3 property owners
Address: See Consent Form
Phone Number: See Consent Form
Fax Number: N/A
Email address: See Consent Form

2. Project Information

Address/Location of Property: 300-394 S. Old Woodward Ave.
Name of Development: RH Birmingham
Area in Acres: .46 acres

Name of Historic District site is in, if any: Not in any historic district
Current Use: Retail and Office
Current Zoning: D-3

3. Date of Board Review

Board of Building Trades Appeals: N/A
City Commission: TBD
Historic District Commission: N/A
Planning Board: 03/24/21

Board of Zoning Appeals: 300-394 S. Old Woodward Ave.
Design Review Board: N/A
Housing Board of Appeals: N/A

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.

Signature of Applicant:  Date: 2.24.21

Office Use Only

Application #: _____ Date Received: _____ Fee: _____
Date of Approval: _____ Date of Denial: _____ Reviewed by: _____

Exhibit A

LAND COMBINATION

LEGAL DESCRIPTION - PARCEL 2

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

PART OF LOTS 12 AND 13, EXCEPT THAT PART TAKEN FOR WIDENING WOODWARD AVENUE OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; BEING MORE PARTICULARLY DESCRIBED AS: BEGINNING AT A POINT DISTANT S.62°00'00"W. 17.47 FEET FROM THE NORTHEAST CORNER OF SAID LOT 13 OF BROWN'S ADDITION SUBDIVISION; THENCE S.35°35'52"E. 100.00 FEET; THENCE S.62°00'00"W. 101.90 FEET; THENCE N.35°35'52"W. 100.00 FEET; THENCE N.62°00'00"E. 101.90 FEET TO THE POINT OF BEGINNING.

CONTAINING: 10,100.54 SQUARE FEET OR 0.23 ACRES OF LAND

ADDRESS: 300 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

PART OF TAX ID NUMBER: 19-36-204-006

LEGAL DESCRIPTION - PARCEL 3

LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

PART OF LOTS 14 AND 15, EXCEPT THAT PART TAKEN FOR WIDENING WOODWARD AVENUE OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; ALL BEING DESCRIBED AS: BEGINNING AT A POINT DISTANT S.62°00'00"W. 17.47 FEET AND S.35°35'52"E. 100.00 FEET FROM THE NORTHEAST CORNER OF LOT 13 OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; THENCE S.35°35'52"E. 100.00 FEET; THENCE S.62°00'00"W. 101.90 FEET; THENCE N.35°35'52"W. 100.00 FEET; THENCE N.62°00'00"E. 101.90 FEET TO THE POINT OF BEGINNING.

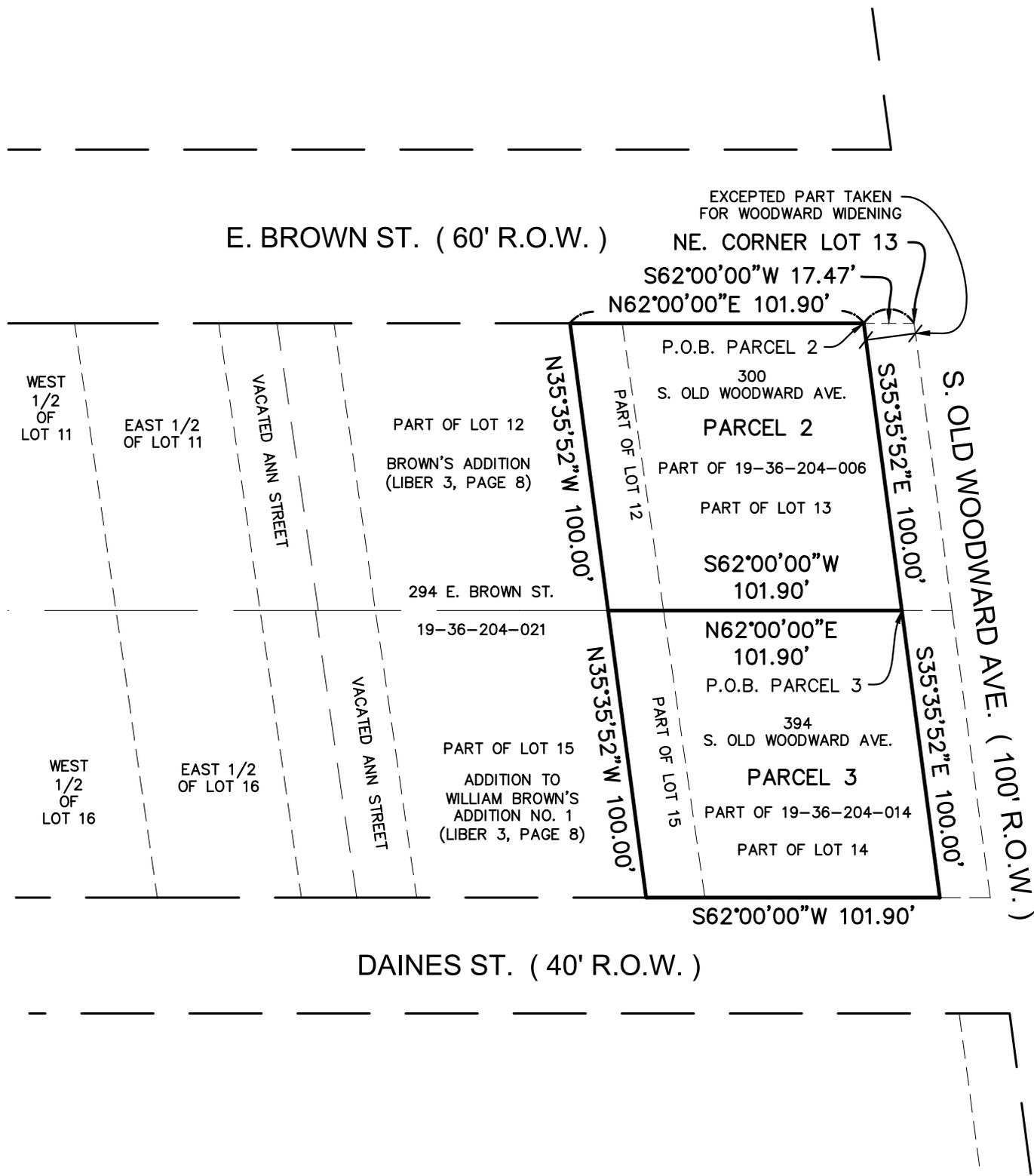
CONTAINING: 10,100.54 SQUARE FEET OR 0.23 ACRES OF LAND

ADDRESS: 394 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

PART OF TAX ID NUMBER: 19-36-204-014

Exhibit A

LAND COMBINATION



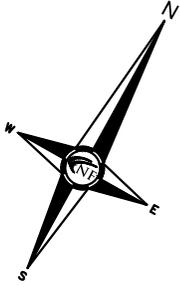
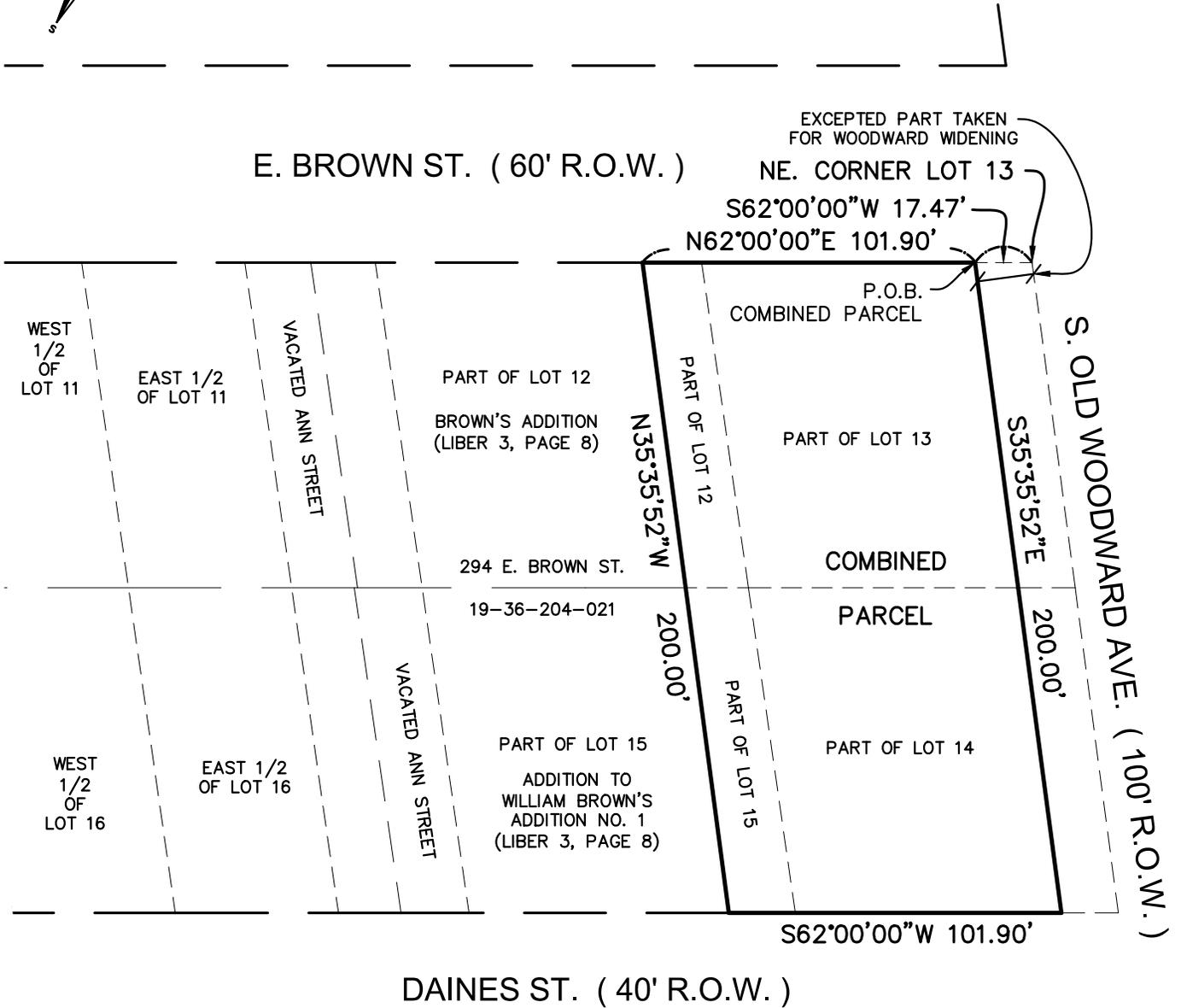


Exhibit A

LAND COMBINATION



LEGAL DESCRIPTION - COMBINED PARCEL

LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI,
DESCRIBED AS FOLLOWS:

PART OF LOTS 12 AND 13, EXCEPT THAT PART TAKEN FOR WIDENING
WOODWARD AVENUE OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE
PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND
COUNTY RECORDS AND PART OF LOTS 14 AND 15, EXCEPT THAT PART
TAKEN FOR WIDENING WOODWARD AVENUE OF ADDITION TO WILLIAM BROWN'S
ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3
OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; ALL BEING DESCRIBED
AS: BEGINNING AT A POINT DISTANT S.62°00'00"W. 17.47 FEET FROM THE
NORTHEAST CORNER OF SAID LOT 13 OF BROWN'S ADDITION SUBDIVISION;
THENCE S.35°35'52"E. 200.00 FEET; THENCE S.62°00'00"W. 101.90 FEET;
THENCE N.35°35'52"W. 200.00 FEET; THENCE N.62°00'00"E. 101.90 FEET TO
THE POINT OF BEGINNING.

CONTAINING: 20,201.08 SQUARE FEET OR 0.46 ACRES OF LAND

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
WWW.NFE-ENGR.COM

REVISED
02-24-2021

SCALE	DATE	DRAWN	JOB NO.	SHEET
1" = 50'	1-28-2021	M.C.	M106	3 of 3



CONSENT OF PROPERTY OWNER

I, BRB Equities, LLC OF THE STATE OF Michigan AND
(Name of Property Owner)

COUNTY OF Oakland STATE THE FOLLOWING:

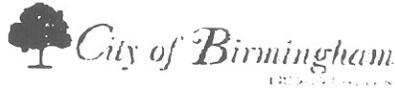
1. That I am the owner of real estate located at 300 S. Old Woodward;
(Address of Affected Property)

2. That I have read and examined the Application for **ZONING MAP CHANGE** made to the City of
Birmingham by: RH, Inc.;
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the City of
Birmingham.

Name of Owner (Printed): BRB Equities, LLC

Signature of Owner: Date: 2/28/2021



CONSENT OF PROPERTY OWNER

I, BRB Equities, LLC, OF THE STATE OF Michigan AND
(Name of Property Owner)
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 300 S. Old Woodward;
(Address of Affected Property)

2. That I have read and examined the Application for **SPECIAL LAND USE PERMIT-ECONOMIC DEVELOPMENT PERMIT** made to the City of

Birmingham by: RH F&B Michigan, LLC;
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

Name of Owner (Printed): BRB Equities, LLC

Signature of Owner: BARB L Date: 2/26/2021



CONSENT OF PROPERTY OWNER

I, BRB Equities, LLC, OF THE STATE OF Michigan AND
(Name of Property Owner)
COUNTY OF Oakland STATE THE FOLLOWING:

- 1. That I am the owner of real estate located at 300 S. Old Woodward;
(Address of Affected Property)
- 2. That I have read and examined the Application for **DIVISION OF PLATTED LOTS** made to the City of
Birmingham by: RH, Inc.;
(Name of Applicant)
- 3. That I have no objections to, and consent to the request(s) described in the Application made to the City of
Birmingham.

Name of Owner (Printed): BRB Equities, LLC

Signature of Owner: Date: 3/24/2021



CONSENT OF PROPERTY OWNER

I, BRB Equities, LLC OF THE STATE OF Michigan AND

(Name of Property Owner)

COUNTY OF Oakland STATE THE FOLLOWING:

- 1. That I am the owner of real estate located at 300 S. Old Woodward; (Address of Affected Property)
2. That I have read and examined the Application for COMBINATION OF PLATTED LOTS made to the City of Birmingham by: RH, Inc.; (Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

Name of Owner (Printed): BRB Equities, LLC

Signature of Owner: [Handwritten Signature] Date: 2/24/2021

IDEAS

Surrendering Our Cities to Cars Would Be a Historic Blunder

Communities shouldn't give back the street space that they reclaimed during the pandemic.

6:00 AM ET

Janette Sadik-Khan

Former commissioner of the New York City Department of Transportation

Seth Solomonow

Co-author of *Streetfight: Handbook for an Urban Revolution*



JEFF GRITCHEN / MEDIANEWS GROUP / ORANGE COUNTY REGISTER / GETTY

AMID THE DEVASTATION caused by the pandemic, an urban awakening occurred. It would have been international news on its own, had the health crisis not overshadowed it. As businesses and offices closed their doors, cities opened their streets for residents and restaurants hungry for space and socially distant outdoor activity—a radical transformation of asphalt into active places at an astonishing scale and pace. The revival of street life revealed how much of their own vitality cities had conceded to cars. But this sudden flowering is now in peril as traffic returns.

In April 2020, rush-hour traffic in the United States dropped by three-quarters. A renaissance of bike riding began in hundreds of cities around the globe, supported by new temporary lanes and pedestrian-priority street redesigns in places such as Austin, Boston, and Oakland. City officials converted hundreds of streets and individual vehicular lanes and thousands of parking spaces in New York, Los Angeles, San Francisco, Philadelphia, Seattle, and Washington, D.C., for better uses. Local residents dusted off patio and camping chairs and set them out in the street to play bingo. People strolled and spoke with neighbors, assumed lotus position at mid-block yoga sessions

RECOMMENDED READING

General Override

DAVID A. GRAHAM



Restoring the ‘Soul of the Nation’ Means Taking in Refugees

ADAM SERWER



[Tom Vanderbilt: [The pandemic shows what cars have done to cities](#)]

When restaurants reopened, dining al fresco became the safest way for patrons to support them and their employees. New York City alone [reclaimed 10,000 parking spaces](#) for outdoor seating—offering a lifeline to thousands of restaurants. San Francisco’s [Valencia Street in the Mission District](#) became a weekend restaurant street. Chicago Mayor Lori Lightfoot [expanded a successful summertime dining-streets program](#) including more than 300 restaurants into the colder seasons and announced a competition to design structures to keep diners safe and warm.

The car-free-streets trend spread far beyond the usual list of progressive cities. Among those reallocating space for biking, walking, or outdoor drinking and dining were [Boise, Idaho](#); [Salt Lake City](#); [Tampa, Florida](#); [Milwaukee](#); [Nashville](#); and [Louisville, Kentucky](#). A survey of 130 American mayors found that [92 percent of cities](#) had created some kind of outdoor-dining program by last summer.

Although [New York](#), [Seattle](#), and other cities are making recent street-level changes permanent, others, including San Diego, are [treating](#) last year’s car-free streets as just a pandemic fling. Many others, such as D.C., [appear poised to let some or all of last year’s improvements lapse](#).

For cities to return to the pre-pandemic status quo would be a historic blunder. Last year’s innovations provided a road map—no pun intended—for undoing the planning sins of the 20th century. With traffic congestion still well below normal levels, and with the memory of car-free streets still fresh, cities can keep reducing their dependence on private vehicle ownership by making their streets more attractive and accessible to people without cars. Of the 130 mayors interviewed last summer by Boston University researchers, nearly half said they had closed some roads to through traffic, and about a third had shut some roads to all car traffic. Sadly, only a handful intended to make the changes permanent. A majority, [the survey found](#), “have not embraced the pandemic as an opportunity to fundamentally reimagine how they allocate space in the public realm, particularly roadways.”

A MERICANS HAVE PAID dearly for a transportation system that didn’t work well before the pandemic. Even in many of the country’s densest cities, roads prioritize personal cars, trucks, and SUVs, making car ownership a virtual requirement to reach most jobs and services. Motor-vehicle emissions are [the leading](#)

increased in cities before the pandemic, and many people don't have enough choices for getting around. Forty-five percent of Americans [lack access to public transportation](#), and 9 percent of households lack [access to a car](#). Even in highly urbanized areas, complete sidewalk networks and adequate crossings for pedestrians are far from a given. In many areas, roadways are designed so exclusively for motor vehicles that the idea of riding a bike is viewed as reckless.

[Greg Shill: [Americans shouldn't have to drive, but the law insists on it](#)]

In part because of these planning choices, every year since World War II [more than 30,000 people have died on American roads](#). In a grim irony, last year's plunge in traffic congestion [turned streets into deadly speedways](#), causing 42,000 people to lose their life in a motor-vehicle crash—the highest level in 13 years and [the largest one-year increase](#) in nearly a century.

Especially in cities, the most effective way to prevent these dangers is through roadway redesigns that reduce car speeding and promote other ways of getting around. Instead, local governments and tech companies alike are counting on smarter cars to miraculously reduce traffic congestion and roadside casualties. For some time, [2020 had been hyped as the year of driverless cars](#), expected to usher in a new era of safe, robotically enabled mobility. But that promise remains an elusive fantasy in 2021, and Americans can't pin our hopes on smarter cars to reverse the problems caused by their internal-combustion ancestors. When the pandemic finally eases, many cities will be left with battered transit systems, a renewed influx of traditional cars, and the same roadways—an outcome that few, if any, U.S. cities are doing enough to forestall.

[Derek Thompson: [Superstar cities are in trouble](#)]

The Biden administration can help to some degree, and it is saying the right things. “You should not have to own a car to prosper in this country,” Transportation Secretary Pete Buttigieg [tweeted last month](#), “no matter what kind of community you're living in.” President Joe Biden recently [unveiled a \\$2 trillion infrastructure plan](#) that would double federal spending on public transportation systems in cities, to \$85 billion, and devote another \$20 billion to improving roadway safety. It [also includes \\$20 billion](#) to undo the damage highways have inflicted on cities, particularly in Black neighborhoods.

Biden and Buttigieg can do another major service for cities: fix the federal government's arcane, outdated, absurdly car-centric yet hugely influential [street-design manual](#), which state and local transportation planners use to make a host of decisions—how wide roadway lanes should be, how bike lanes should be marked, where to install crosswalks and traffic signals. Currently under revision, the guide (with the aptly cumbersome name “Manual of Uniform Traffic Control Devices”) focuses far more on maintaining car traffic flow than on facilitating transit or assisting pedestrians and cyclists, and it is silent on the kind of mixed-use streets that emerged during the pandemic.

Making pandemic-era bike lanes and outdoor-dining areas permanent fixtures should not require a global calamity, but cities outside the United States have taken far better advantage of the opportunity than their American counterparts. Having converted the Rue de Rivoli into a car-free corridor during the height of the pandemic, Paris Mayor Anne Hidalgo this year announced [a \\$300 million plan](#) to remake the fabled Champs-

To serve their residents well, U.S. cities can't just return to the pre-pandemic norm. They need to come back more resilient, more sustainable, more economically connected, and more equitable. Reclaiming city streets from the domination of cars is never easy, but it will never be easier than it is right now.

