

**VIRTUAL MEETING OF THE BIRMINGHAM PLANNING BOARD**  
**WEDNESDAY, MARCH 24, 2021**  
**7:30 PM**

**<https://zoom.us/j/111656967> or dial: 877-853-5247 Toll-Free, Meeting Code: 111656967**

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- A. Roll Call
- B. Review and Approval of the Minutes of the regular meeting of **March 10, 2021**
- C. Chairpersons' Comments
- D. Review of the Agenda
- E. Special Land Use Permit Reviews
  - 1. **856 N. Old Woodward – Fruition (New Building – The Pearl)**, Special Land Use Permit Review to permit the operation of a new food and drink establishment (no alcohol) in an O2 zone district(**Postponed from January 27, 2021**).
  - 2. **300 & 394 S. Old Woodward, and portions of 294 E. Brown – New Construction (Capital Title/Lutz & Frank's Shoe Service, portions of Coldwell Banker Weir Manual parking lot)**, Request for a Special Land Use Permit to consider approval of a new 4 story building, including a request to operate a restaurant using an Economic Development Liquor License.
- F. Final Site Plan & Design Reviews
  - 1. **35001 Woodward – The Maple (Vacant lot, Hunter House)** – Request for Final Site Plan and Design Review to revise first floor of new 5 story mixed use building to include surface parking (**Postponed from January 27, 2021, new request to postpone to May 26, 2021**).
  - 2. **856 N. Old Woodward – Fruition (New Building – The Pearl)**, Final Site Plan and Design Review for changes to the building for the operation of a new food and drink establishment (no alcohol) in an O2 zone district (**Postponed from January 27, 2021**).
- G. Community Impact Study Review
  - 1. **300 & 394 S. Old Woodward, and portions of 294 E. Brown – New Construction (Capital Title/Lutz & Frank's Shoe Service, portions of Coldwell Banker Weir Manual parking lot)**, Community Impact Study to consider approval of a new 4 story building, including a request to operate a restaurant using an Economic Development Liquor License.
- H. Preliminary Site Plan Review
  - 2. **300 & 394 S. Old Woodward, and portions of 294 E. Brown – New Construction (Capital Title/Lutz & Frank's Shoe Service, portions of Coldwell Banker Weir Manual parking lot)**, Preliminary Site Plan Review to consider approval of a new 4 story building, including a request to operate a restaurant using an Economic Development Liquor License.

I. Miscellaneous Business and Communications:

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**Notice: Due to Building Security, public entrance during non-business hours is through the Police Department—Pierce St. Entrance only.**  
Individuals with disabilities requiring assistance to enter the building should request aid via the intercom system at the parking lot entrance gate on Henrietta St.

Persons with disabilities that may require assistance for effective participation in this public meeting should contact the City Clerk's Office at the number (248) 530-1880, or (248) 644-5115 (for the hearing impaired) at least one day before the meeting to request help in mobility, visual, hearing, or other assistance.

*Las personas con incapacidad que requieren algún tipo de ayuda para la participación en esta sesión pública deben ponerse en contacto con la oficina del escribano de la ciudad en el número (248) 530-1800 o al (248) 644-5115 (para las personas con incapacidad auditiva) por lo menos un día antes de la reunión para solicitar ayuda a la movilidad, visual, auditiva, o de otras asistencias. (Title VI of the Civil Rights Act of 1964).*

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- a. Communications
  - b. Administrative Approval Correspondence
  - c. Draft Agenda for the next Regular Planning Board Meeting (**April 14, 2021**)
  - d. Other Business

J. Planning Division Action Items

- a. Staff Report on Previous Requests
- b. Additional Items from tonight's meeting

K. Adjournment



**City Of Birmingham**  
**Regular Meeting Of The Planning Board**  
**Wednesday, March 10, 2021**  
Held Remotely Via Zoom And Telephone Access

Minutes of the regular meeting of the City of Birmingham Planning Board held on March 10, 2021.  
Chair Scott Clein convened the meeting at 7:30 p.m.

**A. Roll Call**

**Present:** Chair Scott Clein; Board Members Robin Boyle, Stuart Jeffares, Bert Koseck, Daniel Share, Janelle Whipple-Boyce, Bryan Williams; Alternate Board Members Jason Emerine, Nasseem Ramin; Student Representatives Daniel Murphy, Jane Wineman (all located in Birmingham, MI)

**Absent:** None.

**Administration:** Jana Ecker, Planning Director ("PD")  
Brooks Cowan, City Planner  
Nick Dupuis, City Planner  
Laura Eichenhorn, City Transcriptionist

**03-033-21**

**B. Approval Of The Minutes Of The Regular Planning Board Meeting of February 24, 2021**

Mr. Share said "or the applicant reduces the overall building signage by 47.76 square feet" should be removed from the resolutions for the SLUP and Final Site Plan approval for Birmingham Pub.

Chair Clein recommended the paragraph at the top of page six be amended in terms of grammar. He suggested it could read: 'Chair Clein said the zig-zag pattern that would result from the addition of the dining pods would have negative ramifications for those with visual impairments.'

**Motion by Mr. Share**

**Seconded by Mr. Williams to approve the minutes of the Regular Planning Board Meeting of February 24, 2021 as amended.**

**Motion carried, 7-0.**

ROLL CALL VOTE

Yeas: Share, Williams, Koseck, Boyle, Whipple-Boyce, Clein, Jeffares

Nays: None

**03-034-21**

### **C. Chair's Comments**

Chair Clein welcomed everyone to the virtual meeting. He stated the meeting was being held under the auspices of state legislation. Chair Clein reviewed the meeting's procedures. He described the focus and purpose of the first study session item.

Chair Clein welcomed the Board's new student representatives.

**03-035-21**

### **D. Review Of The Agenda**

There were no changes to the agenda.

**03-036-21**

### **E. Study Session Items**

#### **1. Direction from Review of First Draft of 2040 Birmingham Plan**

PD Ecker introduced the item.

Recommendations from the Board members were as follows:

- The revision should note in the direction regarding neighborhoods that the potential population increase for Birmingham went from 2,000 people to 1,000 people.
- Slowing traffic on Woodward should receive greater attention.
- Instead of talking about Woodward north of Maple, the focus should be expanded to be on Woodward from 14 Mile to 16 Mile.
- Words like 'green' and 'sustainable' should be defined.
- The Plan should be careful about incentivizing renovation over new construction in all cases. Sometimes it is greener or more fiscally sound to build new, so nuance has to be allowed.
- 'Incentivizing' renovation should be clarified to mean in terms of more flexible planning techniques and not in terms of monetary incentives.
- Electric charging stations should be mentioned as part of the drive towards sustainability.
- In addition to creating new historic districts, it would be helpful to have options for strengthening the ones that already exist.
- While something should be done regarding Old Woodward south of Haynes, selling it is not the only available option. It could be used or zoned differently, for instance.
- The housing proposals for the South Old Woodward alleys should also prevent hazardous cross traffic where the streets come in at an angle into the commercial or residential zones.
- The Plan should be relevant, distinctive, and bold. A prologue should be included that describes the context of the pandemic during which the plan was written. A dashboard with figures about Birmingham in terms of households, population size, permitting or other data could be included at the beginning of the plan.

- While the boldness should not be applied to the neighborhoods, as residents are largely satisfied with them as they are, it should be applied to thinking about other areas of the City including but not limited to the Triangle and Rail districts.
- The senior center should be prioritized.
- Including 'stretch goals' which point Birmingham in the right direction would be a positive part of the plan for application outside of the neighborhoods.
- The master planning team should reach out to the Birmingham School Board to review their long term planning and to see where the City's and the School District's interests might align.
- The Plan has to be flexible enough to allow for changes to strategy when very unusual circumstances arise, like has happened in the past year with the pandemic.

A number of members of the Planning Board commended the master planning team on their letter regarding the revisions that will be applied to the first draft.

#### Public Comment

Larry Bertollini said he would like to see: allowances for greater lot coverage for things like car ports in the rear of homes that would not cause drainage issues; beautification of Adams Square; and, discussion of how the golf courses could be more utilized for the benefit of residents.

Andrew Haig commended the master planning team and the Planning Board on their work. He expressed some concern in trying to consider the School Board's plans in the City's master planning process since they function independently. He also said he would like to see the Plan broach the topic of narrowing Woodward like Ferndale is doing.

Jack Burns said that as more people remain in work from home positions, the most successful communities will develop and retain 15 minute neighborhoods. He said that Birmingham is close to already having 15 minute neighborhoods, but could solicit local institutions of higher education to develop more of a physical presence within the City.

Beth J (complete last name not given) said she hoped the master planning process would not delay the planned improvements to S. Old Woodward.

Andy Bastile said he was interested in how the master plan could factor in potential future developments in autonomous vehicles.

David Bloom commended everyone who worked on the Plan. He said getting current resident buy-in to the Plan would be the most important aspect of the Plan overall.

Jeff Bozell asked if there was frustration with the School Board on the part of the Planning Board in regards to the master planning process.

Chair Clein said there was no frustration at all on the part of the Planning Board. He said there was only an acknowledgement that the School Board functions independently from the City but still could be considered as part of the planning process.

There was Board consensus that the letter dated March 8, 2021 from DPZ could be submitted directly to the Commission along with the above comments from the Board, and did not need to return to the Board for further discussion.

Chair Clein thanked all involved in the master planning process thus far. He noted that while buy-in from current residents is important, the Plan's focus is on the next 20 years during which the population of Birmingham will inevitably shift and change. He said the Plan must strike a balance between the interests of the current population and what will help the community thrive long-term.

## **2. Status Update on Study Session Items**

PD Ecker reviewed the item.

Mr. Jeffares recommended the Board aim to complete whatever the two simplest items would be first.

The Board decided to discuss this item in conjunction with the next item.

## **3. Action List 2021-2022**

CP Dupuis introduced item.

Mr. Williams noted that only April-June 2021 will not be focused on the master planning process.

Chair Clein suggested that since the Commission and City Attorney have discussed medical marijuana regulations that it should be moved higher up on the list.

Ms. Whipple-Boyce said outdoor dining should be addressed as soon as feasible since the Commission would likely want to have the changes in place for winter 2021 and the item is a complicated one.

There was consensus that the quickest topics on the list to resolve would be the Special Land Use Review process, the glazing standards and the solar panel regulations. It was agreed that some combination of these three topics would be discussed at the Board's April 2021 meeting. At subsequent meetings the Board would work on the outdoor dining and medical marijuana regulations.

### **Motion by Mr. Williams**

**Seconded by Mr. Share to approve and recommend to the City Commission the Planning Board Action List as amended for 2021-2022.**

Jeffrey Atto thanked the Board for working to make the installation of solar panels a less onerous process for residents.

**Motion carried, 7-0.**

**ROLL CALL VOTE**

Yeas: Williams, Share, Koseck, Boyle, Whipple-Boyce, Clein, Jeffares

Nays: None

**03-37-21**

**F. Miscellaneous Business and Communications:**

**a. Communications**

**b. Administrative Approval Correspondence**

CP Dupuis reviewed two proposed changes to EM Bistro's plans. He noted the outdoor seating had been updated to align with the Commission's recommendations, and that the indoor dining plans proposed a seating increase from 46 seats to 48 seats.

Noting that the proposed 48 seats still keeps the indoor seating well below the 65 seat limit for bistros, Mr. Boyle recommended the changes be administratively approved.

The Board concurred with Mr. Boyle.

**c. Draft Agenda for the next Regular Planning Board Meeting (March 24, 2021)**

**d. Other Business**

**03-038-21**

**G. Planning Division Action Items**

**a. Staff Report on Previous Requests**

**b. Additional Items from tonight's meeting**

**03-039-21**

**H. Adjournment**

No further business being evident, the Chair adjourned the meeting at 9:03 p.m.

Jana L. Ecker

Planning Director



# MEMORANDUM

Planning Division

**DATE:** March 24<sup>th</sup>, 2021

**TO:** Jana Ecker, Planning Director

**FROM:** Brooks Cowan, City Planner

**SUBJECT:** 856 N. Old Woodward – Fruition – Special Land Use Permit & Final Site Plan Review ([Changes in Blue](#))

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## Introduction

The applicant has applied to operate a food and drink establishment in the O2 (Office-Commercial) zoning district at the north end of Downtown Birmingham. Food and drink establishments in the O2 Zone require a Special Land Use Permit. There will be no liquor sales for on-premise or off-premise consumption at this location. Fruition is currently approved as a specialty foods store for carryout ONLY and does not have indoor seating at this time.

The owner of 856 N. Old Woodward received Final Site Plan approval in 2016 for a four story mixed-use building known as The Pearl. The approved plans indicated retail and parking on the first floor, residential uses on floors 2-4, and one level of underground parking. The first floor retail has been demised into three separate tenant spaces. The building is not within the Parking Assessment District and must provide all commercial and residential parking on site.

The proposed new restaurant, Fruition, plans to serve fast healthy foods including acai bowls, avocado toast and an assortment of drinks. [The initial proposal included the kitchen in the rear, a service counter, and a total of 16 seats; 8 located at two tables and 8 located at four high tops with a bench. No outdoor seats were proposed.](#)

[On January 27<sup>th</sup>, 2021, the Planning Board discussed the application and motioned to postpone the hearing for Fruition due to a shortage of 12 parking spaces. It was recommended that the applicant attempt to work with the building owner and neighboring tenants to have the required parking variance reduced or eliminated. Postponement was recommended by staff because representatives of 856 N. Old Woodward "The Pearl" had previously requested that the Planning Division approve amended floor plans for the neighboring building tenants Aurora Medi-Spa with 2 service chairs \(reduced from 5\), and Lash Lounge with 4 chairs \(reduced from 7\). City staff did not approve the amended plans submitted because the applications were incomplete. It was recommended that Fruition's hearing be postponed in order to allow the building owner and representatives an opportunity to coordinate with the three tenants and possibly finalize the updated plans for Aurora Medi-Spa and Lash Lounge by providing the City with all necessary requirements. Doing so could reduce or eliminate the parking variance required for Fruition and assist in their approval process.](#)

At this time, the City has not received finalized plans for Aurora Medi-Spa or Lash Lounge that indicate a reduction of service chairs and thereby reducing the total parking requirement for the building. Representatives of Fruition have indicated that they were unable to work out an agreement with the building owner to have neighboring tenants reduce the number of service chairs. Therefore, the parking variance required for the applicant remains at 12.

The applicant has since submitted an updated floor plan with 6 seats and wishes to have a discussion where a condition of their SLUP approval is that the applicant be restricted to 6 seats. The intent of this is to demonstrate to the Board of Zoning Appeals a willingness to try to meet the ordinance to the best extent possible.

## 1.0 Land Use and Zoning

- 1.1 Existing Land Use – The subject site is a 4-story mixed-use building with first floor retail and residential use above.
- 1.2 Zoning – The subject site exists within the O2 (Office-Commercial) and D2 (Downtown Overlay) zoning districts.
- 1.3 Summary of Adjacent Land Use and Zoning –

	North	South	East	West
<b>Existing Land Use</b>	Commercial	Commercial	Public Property	Multiple Family Residential
<b>Existing Zoning District</b>	B2-B General Business	O2 – Office Commercial	PP – Public Property	R6 – Multiple Family Residential
<b>Overlay Zoning District</b>	D2	D2	P	N/A

## 2.0 Setback, Height and Use Requirements

Please see the attached zoning compliance summary sheet for details on setback and height requirements. There are no bulk, height or placement issues associated with the proposed project as no changes are proposed to the mass or footprint of the building.

The applicant is along the retail frontage line where specialty foods stores and food and drink establishments satisfy the retail requirement. As previously mentioned, the applicant is currently approved as a specialty foods store which is permitted in the O2 zone. Specialty foods stores are required to be carry-out only, meanwhile food and drink establishments within the O2 zone are required to obtain a SLUP. The owner of the business has acknowledged that they may only have chairs and tables in the front lobby for seating if they obtain a Special Land Use Permit and are approved by City Commission as a food and drink establishment.

The menu includes items such as Acai bowls with ingredients such as granola, fruits, coconut shavings and chocolate chips. Fruition also offers bagels and toast with an assortment of toppings such as avocado spread with blueberries, feta, and pumpkin seeds. Drink options also include various type of lattes and fruit smoothies. The applicant has stated that their hours of operation will be 7:30am to 8:00pm Monday through Friday, 9:00am to 6:00pm Saturday, and 10:00am to 4:00pm Sunday. The owners have a similar operation located in Grand Rapids, Michigan where they have indicated that about 80% of their business is carry-out.

### **3.0 Screening and Landscaping**

- 3.1 Dumpster Screening – All trash receptacles are located within the building with access from the ground level parking area. The trash room is fully enclosed behind the first floor retail spaces.
- 3.2 Parking Lot Screening – There are 65 parking spaces within the building and all 65 parking spaces are screened within the building. The first floor parking is setback 49 feet from the front façade with retail space in between.
- 3.3 Mechanical Equipment Screening – There are no changes proposed to the existing mechanical units or screening.
- 3.4 Landscaping – No changes proposed.
- 3.5 Streetscape – The building has a 7' sidewalk with one City standard bench at the northwest corner of the site. Four City standard bike racks are adjacent to the bench. Two City standard light poles exist in the median between the street parking and N. Old Woodward. **The approved site plans for The Pearl indicated a bench and four City standard bike racks on the southwest corner of the building, however these have not been installed. The City is currently working with the property owner on these items.**

### **4.0 Parking, Loading and Circulation**

- 4.1 Parking – The subject site is not located within the Parking Assessment District, therefore 856 N. Old Woodward must provide all parking on-site. The property exists outside the northern edge of the Parking Assessment District and shares access with the Lot 6 northbound access drive. When the owner of 856 N. Old Woodward received Final Site Plan approval in July of 2016, the site plans indicated 4,500 square feet of retail for the first floor space and the retail calculation of 1 per 300 square feet was used to determine parking requirements. At the moment, the owner of the subject property has applied to occupy the three first floor tenant spaces with a salon, a spa, and a food and drink establishment which have different parking requirements than the retail 1 per 300 square feet requirement.



Fruition is located within a 1,224 SF space and currently operates as a specialty foods store as carry-out only, therefore requiring 4 parking spaces as-is (1 per 300 SF). However, food and drink establishments with indoor seating require 1 parking space per 75 square feet, therefore a total of 16 parking spaces is required as a condition of SLUP approval for the applicant to be considered a food and drink establishment and have indoor dining.

Parking Requirement Table of Current Tenants for The Pearl

Tennant	Use	Units / Square Feet / Service Chairs	Parking Requirement	Total Required Parking
Residents	Residential	20 x 2 beds 6 x 3 beds	2 bed = 1.5 3 bed = 2	42 space
Lash Lounge	Salon / Spa	1,361 SF 7 Chairs	2 per Chair	14 spaces
<b>Fruition</b>	<b>Specialty Foods Store – Carryout</b>	<b>1,227 SF</b>	<b>1 per 300 SF</b>	<b>4 spaces (w/o SLUP approval)</b>
Aurora Medi-Spa	Salon / Spa	1,450 SF (10 chairs)	(2 per Chair) OR 1 per 300	10 spaces
				= 70 spaces required

For background related to parking issues with the subject property, on November 9<sup>th</sup>, 2020, the building owner applied to have the 5 metered parking spaces in front of the building counted towards their parking requirement which section 4.54(G)(4) permits with City Commission approval. The City Commission determined that they would prefer that the applicant apply to be within the Parking Assessment District, and motioned to deny the applicant's request for the 5 metered parking spaces to be included in their parking requirements.

On December 2<sup>nd</sup>, 2020, the Advisory Parking Committee held a hearing considering the applicant's request to be included within the Parking Assessment District. The APC discussed how 856 N. Old Woodward was required to provide all parking on site from the beginning of the planning phase and should have to continue to do so. **The Advisory Parking Committee then passed a motion to recommend that City Commission deny the applicant's request to be included within the Parking Assessment District.**

On January 11<sup>th</sup>, 2021, the City Commission considered the application of 856 N. Old Woodward to be included within the Parking Assessment District and decided to take no action. There was concern that by allowing the building into the district, the applicant could occupy its three tenant spaces with high intensity parking uses, and the Commission felt that there is already a shortage of parking at this end of town. During discussion, City Manager Markus mentioned that perhaps it would be a fair compromise to bring back the consideration to allow

the property to count the on-street spaces at the following meeting. This way the City still knows the cap on parking spaces this property may use.

On January 25, 2021, City Commission approved 856 N. Old Woodward's request to count the 5 on-street parking spaces in front of the Pearl towards the property's parking requirement – increasing their total parking count to 70 spaces.

Of the 70 parking spaces total - 65 parking spaces are on site while another 5 are on-street. There are 25 ground level parking spaces available to the public, 20 are on-site behind the commercial tenants while another 5 are on-street metered parking spaces accessible to all of the public. Meanwhile there are 45 parking spaces located in the basement level. The residential units require 42 spaces which are served by the basement level and the applicant has indicated retail managers will have access to the basement level for parking.

For Fruition to obtain SLUP approval as a food and drink establishment, they must satisfy their parking requirement of 16 spaces. Given the uses and submitted floor plans for the three tenant spaces at 856 N. Old Woodward, the total number of parking spaces required is 82, an excess of 12 from the 70 spaces that 856 N. Old Woodward may count towards their requirement.

Residential	42 spaces
Lash Lounge	14 spaces
Aurora Medi-Spa	10 spaces
<u>Fruition (F&amp;D)</u>	<u>16 spaces</u>
Total	82 spaces

**Fruition must obtain a variance of 12 parking spaces from the Board of Zoning Appeals in order to operate as a food and drink establishment.**

There are a number of variables affecting Fruition's ability to satisfy the parking requirements of the Zoning Ordinance. The subject's application is currently impacted by the uses and current floor plans of the other two salon/spa tenants in the building's commercial space.

Hypothetically, if the two neighboring tenant spaces were vacated and re-occupied as retail uses, they would require 10 of the 28 available commercial parking spaces and Fruition could then satisfy the parking requirement because more than 16 spaces remain. Fruition's current inability to meet the parking requirement is impacted by the current uses and floor plans of the other two tenants, however this could change at some point in the future and provide the ability for Fruition to satisfy their parking requirements.

It is also of note that the applicant has exhausted all possibilities of trying to meet the parking requirement. 856 N. Old Woodward applied to be within the Parking Assessment District. Their application was recommended for denial by the Advisory Parking Committee, and then City Commission took no action on

the application. The applicant was then encouraged to attempt to work with the building owner and neighbors to possibly have the neighboring salon/spa uses reduce their number of service chairs. Their effort to do so was unsuccessful and their required variance for parking still remains at 12 spaces.

The applicant has submitted an updated floor plan for Fruition indicating seating for 6 patrons and a waiting bench – this is a reduction of 10 seats from their original plan for 16. The applicant is requesting that consideration be taken into account that the occupied seating area is much less than 300 SF, which is the total amount of space a restaurant with 4 parking spaces would be permitted (requirement is 1 per 75 SF). The applicant intends to make the same case with the BZA if/when they go for a variance.

The applicant has submitted a second floor plan for discussion that includes a waiting bench kiosk. There are no tables involved in the floor plan, it only suggests expanding the “waiting bench” area. **Given the gray area between the Ordinance’s definition of a Specialty Foods Store vs. a Food or Drink Establishment, staff recommends the Planning Board discuss if expanding the waiting bench area continues to meet the definition and intent of a Specialty Foods Store.**

- 4.2 Loading – The retail space is less than 5,000 square feet and therefore is not required to provide a loading space, however the building has one 12’ by 40’ loading space on the ground level adjacent to the trash room.
- 4.3 Vehicular Circulation and Access – Vehicles may access the site from N. Old Woodward. There are two curb cuts from N. Old Woodward, one for entering and another for exiting the site. The access drive in front of the building is one-way northbound and has 5 metered public parking spaces on the western side. (There previously was 6 spaces but 1 was removed to provide adequate handicapped loading space).

Entry to the ground level and underground parking is through an entrance facing N. Old Woodward on the south side of the frontage. There are 20 open and accessible spaces on the first floor behind the retail space, (one of the spaces being a lift). There are 45 spaces accessible through a gate on the underground parking level.

- 4.4 Pedestrian Circulation and Access – Pedestrian access to the store is located through a single door on the N. Old Woodward façade. No changes are proposed to the entrance.

## **5.0 Lighting**

There are no new exterior light fixtures proposed as a part of this project.

## **6.0 Departmental Reports**

- 6.1 Engineering Division – The Engineering Division has not provided any comments at this time. All comments received will be provided to the Planning Board during the Special Land Use Permit Review.
- 6.2 Department of Public Services – The Department of Public Services has not provided any comments at this time. All comments received will be provided to the Planning Board during the Special Land Use Permit Review.
- 6.3 Fire Department – The Fire Department has no concerns at this time.
- 6.4 Police Department – No concerns from the Police Department, however it is of note that the Advisory Parking Committee motioned to deny recommending that 856 N. Old Woodward be included in the Parking Assessment District.
- 6.5 Building Division – The Building Division has not provided any comments at this time. All comments received will be provided to the Planning Board during the Special Land Use Permit Review.

## 7.0 Design Review

There are no exterior material changes proposed for the building which was approved in 2016. The applicant was previously approved for a sign as a specialty foods store. The sign says "Fruition Acai & Coffee Cafe" in black stud mount formed plastic dimensional letters. The signage projects 1.5 inches from the wall and occupies a total of 20 square feet.

## 8.0 Required Attachments

	Submitted	Not Submitted	Not Required
Existing Conditions Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Detailed and Scaled Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Certified Land Survey	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Floor Plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Landscape Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Photometric Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Colored Elevations	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Material Specification Sheets	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Material Samples	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site & Aerial Photographs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

## 9.0 Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

1. The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
2. The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
3. The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property nor diminish the value thereof.
4. The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
5. The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
6. The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

Additionally, Article 7, Section 7.36 states that the City Commission shall not approve of any requests for a special land use permit unless it determines that the following standards are met:

1. The use is consistent with and will promote the intent and purpose of this Zoning Ordinance.
2. The use will be compatible with adjacent uses of land, the natural environment, and the capabilities of public services and facilities affected by the land use.
3. The use is consistent with the public health, safety and welfare of the city.
4. The use is in compliance with all other requirements of this Zoning Ordinance.
5. The use will not be injurious to the surrounding neighborhood.
6. The use is in compliance with state and federal statutes.

**Given the shortage of parking spaces for the building, it does not appear that the applicant satisfies the approval criteria for Site Plan Review and Special Land Use Permit applications until a parking variance is obtained, the building is admitted into the Parking Assessment District, or the parking requirements of the neighboring tenants are reduced.**

## **10.0 Recommendation**

Based on a review of the site plan submitted, the Planning Division recommends that the Planning Board **APPROVE** a recommendation to the City Commission of the Special Land Use Permit and Final Site Plan for 856 N. Old Woodward – Fruition with the condition that the applicant obtain a variance for 12 parking spaces from the Board of Zoning Appeals.

The recommendation of approval is based upon the fact that the applicant has exhausted all possibilities in attempting to resolve their parking requirement issue. The use appears to align with the goals of the Downtown Overlay and could help activate

the northern edge of town. Recommending approval give the applicant a chance to make their case to the Board of Zoning Appeals.

### 11.0 Sample Motion Language

Motion to recommend **APPROVAL** to the City Commission for the Special Land Use Permit and Final Site Plan for 856 N. Old Woodward – Fruition, with the following condition:

1. That the applicant maintain the proposed floor plan with three tables and six chairs; and
2. That the applicant obtains a variance of 12 parking spaces from the Board of Zoning Appeals.

**OR**

Motion to **POSTPONE** the Special Land Use Permit and Final Site Plan for 856 N. Old Woodward – Fruition – pending receipt of the following:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**OR**

Motion to recommend the **DENIAL** to the City Commission of the Special Land Use Permit and Final Site Plan for 856 N. Old Woodward – Fruition – for the following reasons:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**Zoning Compliance Summary Sheet  
Special Land Use Permit & Final Site Plan  
856 N. Old Woodward – Fruition**

**Existing Site:** 4 Story Mixed-Use Building  
 Zoning: 02 (Office-Commercial) & D2 (Downtown Overlay)  
 Land Use: Commercial

**Existing Land Use and Zoning of Adjacent Properties:**

	<b>North</b>	<b>South</b>	<b>East</b>	<b>West</b>
<b>Existing Land Use</b>	Commercial	Commercial	Public Property	Multiple-Family Residential
<b>Existing Zoning District</b>	B2-B (General Business)	02 (Office-Commercial)	PP (Public Property)	R6 (Multi-Family Residential)
<b>Overlay Zoning District</b>	D2	D2	N/A	N/A

**Land Area:** existing: 24,718 sq. ft. or .56 Acres  
 proposed: Same as existing

**Minimum Lot Area:** required: N/A  
 proposed: N/A

**Minimum Floor Area:** required: N/A  
 proposed: N/A

**Maximum Total Floor Area:** required: N/A for residential, retail and parking uses  
 proposed: N/A

**Minimum Open Space:** required: N/A  
 proposed: N/A

**Maximum Lot Coverage:** required: N/A  
 proposed: N/A

**Front Setback:** required: D2: 0', building must be on the frontage line (Planning Board may adjust to average of any abutting building)

	proposed:	10.8' from frontage line (setback of abutting building to the south is 12.8', setback of abutting building to the north is 10.8')
<b>Side Setbacks:</b>	required:	D2: 0'
	proposed:	11' easement (to South), 0' (to North)
<b>Rear Setback:</b>	required:	D2: 10' if alley, if no alley, equal to rear setback of adjacent, pre-existing building (12.8' & 24.8')
	proposed:	12.8'
<b>Max. Bldg. Height:</b>	permitted:	D2- 56' (including the mechanical and other equipment) and 3 stories, if the third story is used for residential, and setback 10'
	proposed:	56' & 4 stories, third and fourth stories are setback 10'
<b>On June 14, 2016, the Board of Zoning Appeals granted a variance to the applicant to allow a fourth story within the maximum height limits.</b>		
<b>Minimum Eave Height:</b>	required:	20'
	proposed:	30'
<b>First Floor Ceiling:</b>	required:	10' minimum clearance finished floor to finished ceiling on first floor
	proposed:	18' floor to ceiling
<b>Front Entry:</b>	required:	Principal pedestrian entrance on frontage line, Planning Board may adjust.
	proposed:	The principal entrances are located on the frontage line facing N. Old Woodward
<b>Parking:</b>	required:	<b>82</b>
	proposed:	<b>70</b>
<b>The applicant must obtain a variance for 12 parking spaces from the Board of Zoning Appeals</b>		
	required:	Parking on first floor cannot be located within 20' of the frontage line or front façade.
	proposed:	Parking on first floor is located 49' back from the front façade.
<b>Loading Area:</b>	required:	N/A
	proposed:	N/A



**Screening:**

<u>Parking:</u>	required:	32" masonry screen wall
	proposed:	All required parking will be screened behind a 49' deep retail space along the front of the building. Six additional spaces are proposed in front of the building on private property in the ROW.
<u>AC/Mech. units:</u>	required:	Screening to compliment the building
	proposed:	Mechanical units will be screened within a 5' deep mechanical well on the rooftop of the building.
<u>Elect. Transformer:</u>	required:	Fully screened from public view
	proposed:	The electrical transformer will be located at the rear of the building, screened by the building itself.
<u>Dumpster:</u>	required:	6' high capped masonry wall with wooden gates
	proposed:	Dumpster will be located inside building; access to dumpster is within the underground parking level and fully screened by the building.

## 6 Chairs







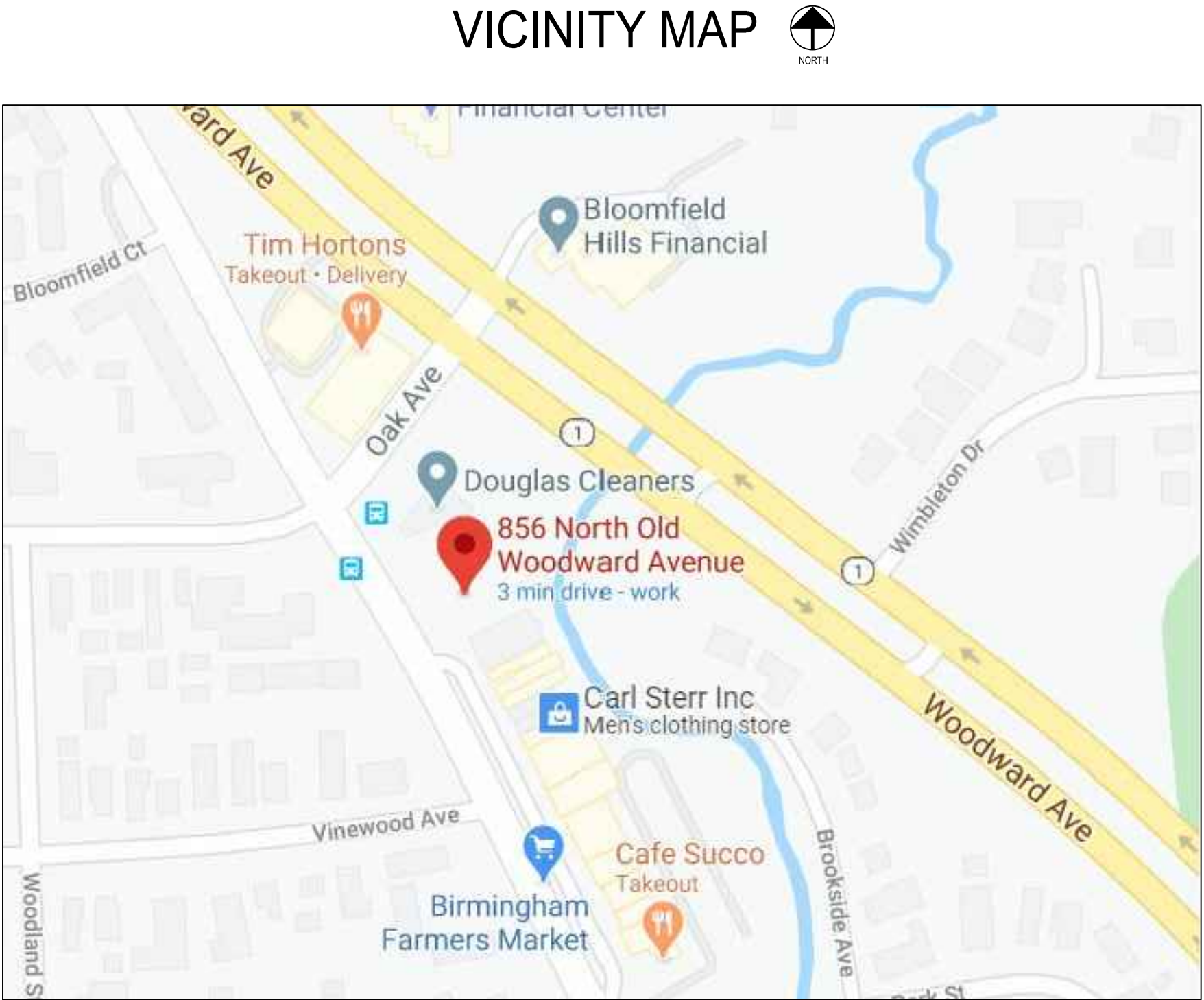
# FRUITION SPECIALTY FOOD STORE

856 N. OLD WOODWARD AVE  
BIRMINGHAM ,MI. 48009

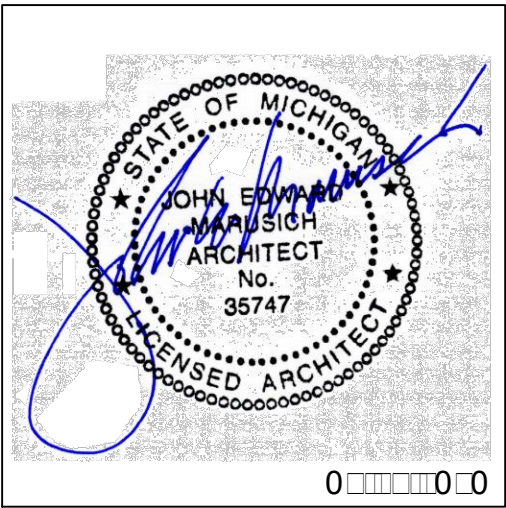
SITE INFORMATION	
SHEET NO.	SHEET CONTEXT
A-0	TITLE SHEET
A-1	FLOOR PLAN
E-1	ELECTRICAL PLAN
M-1	MECHANICAL PLAN
P-1	PLUMBING PLAN

PROJECT DESCRIPTION
A SMALL STORE SELLING AND SERVING ACAI AND OTHER FRESHLY PREPARED AND PREPACKAGED HIGH-NUTRIENT SPECIALTY HEALTHY FOOD CHOICES.

BUILDING CODE REVIEW	
BUILDING DEPARTMENT - CITY OF WESTLAND, MICHIGAN	
BUILDING:	2015 MICHIGAN BUILDING CODE
PLUMBING:	2015 MICHIGAN PLUMBING CODE ( IPC 2015 )
MECHANICAL:	2015 MICHIGAN MECHANICAL CODE W/ STATE
ELECTRICAL :	2015 MICHIGAN ELECTRICAL CODE ( IECC 2012 )
ENERGY :	2015 MICHIGAN UNIFORM ENERGY CODE ( IECC 2015 )
FIRE :	2015 MICHIGAN FIRE PREVENTION CODE ( IECC 2015 )
ACCESS :	2015 MICHIGAN BARRIER FREE - ICC / ANSI A 117.1 ( 2012 )



FRUITION  
SPECIALTY FOOD STORE  
856 N. OLD WOODWARD AVE  
BIRMINGHAM ,MI. 48009













PROJECT #	20 - 22
ISSUE DATE #	07/01/2020
REVISION HISTORY	
OWNER REVIEW	07/07/2020
PERMIT SET	07/22/2020
PERMIT SET REVISION	08/14/2020
PERMIT SET REVISION 2	08/25/2020
PERMIT SET REVISION 3	11/12/2020

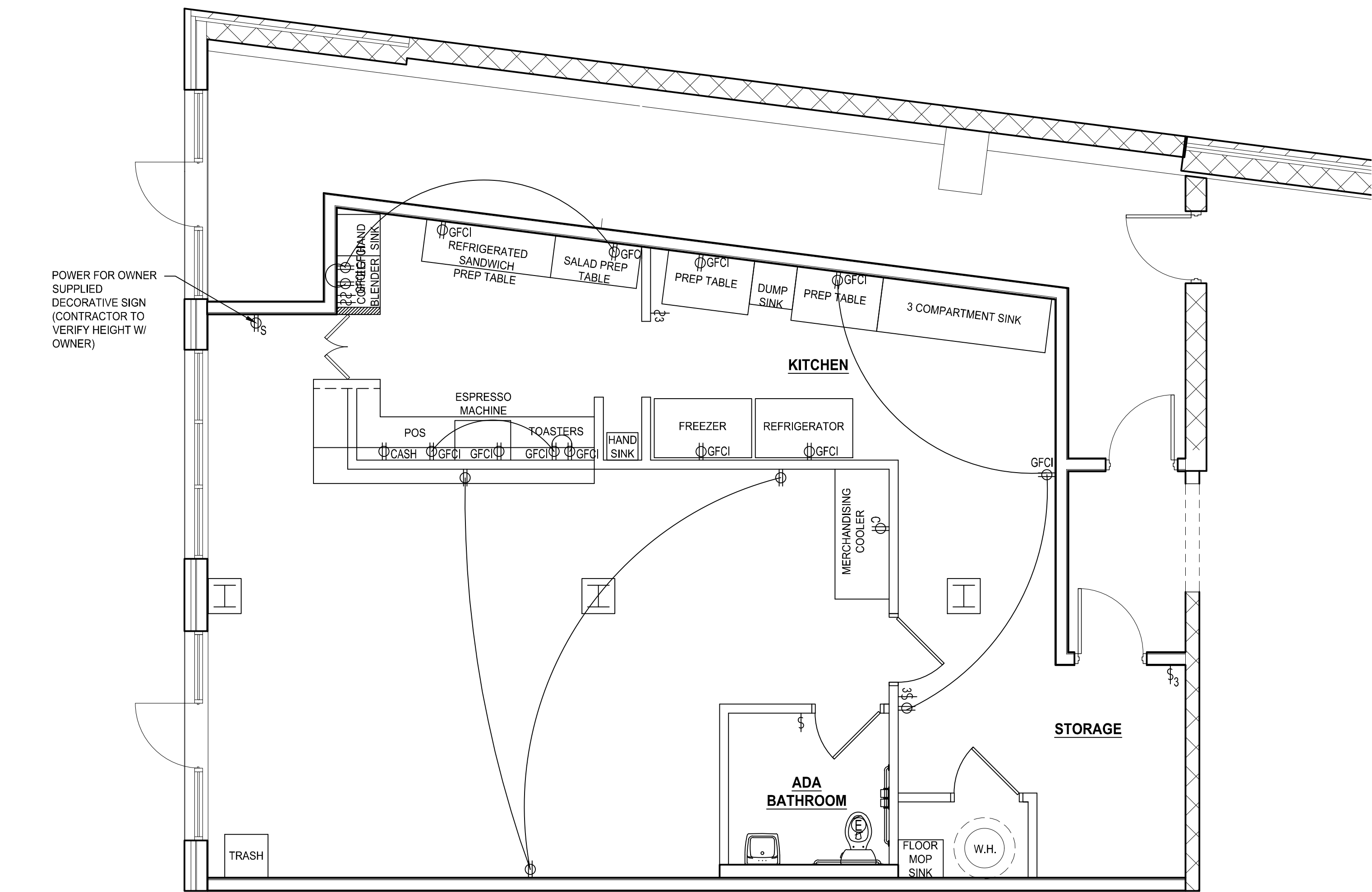
DRAWN BY: NM  
CHECKED BY: JM

SHEET CONTENTS  
ELECTRICAL PLANS

SEAL  
STATE OF MICHIGAN  
JOHN MARUSICH  
ARCHITECT  
No. 10474  
EXPIRED APR 2020  
11/12/2020

SHEET #  
E1

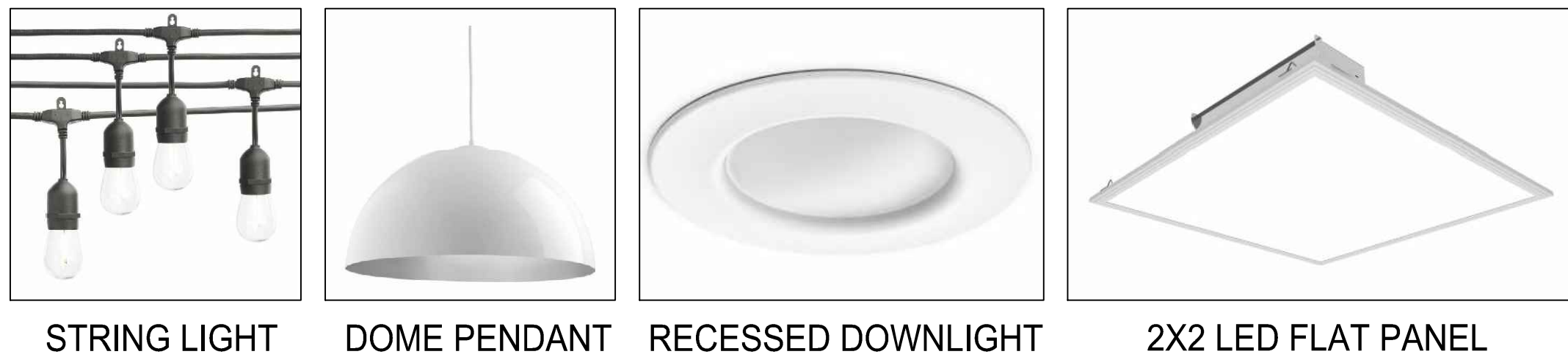
OWNER / OWNER'S AGENT APPROVED & ACCEPTED  
DATE: / / 2020



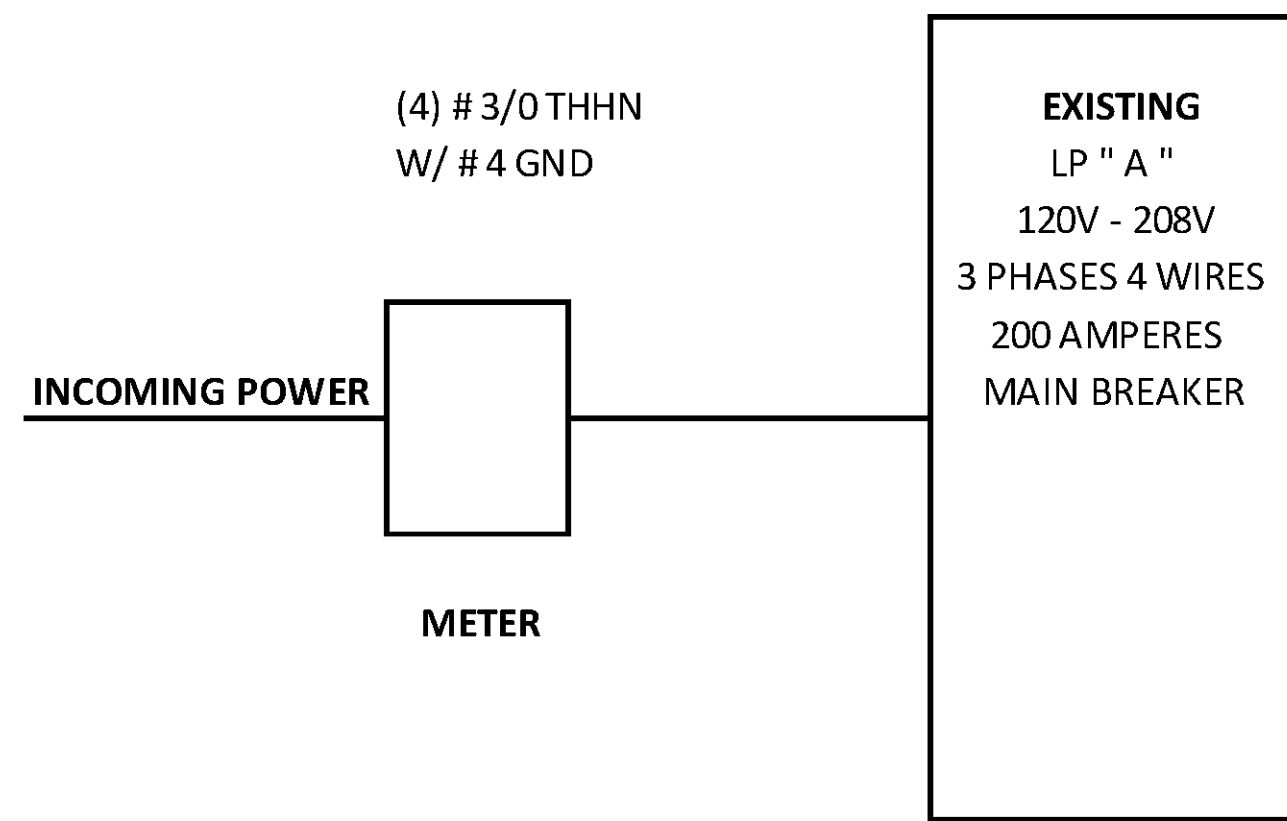
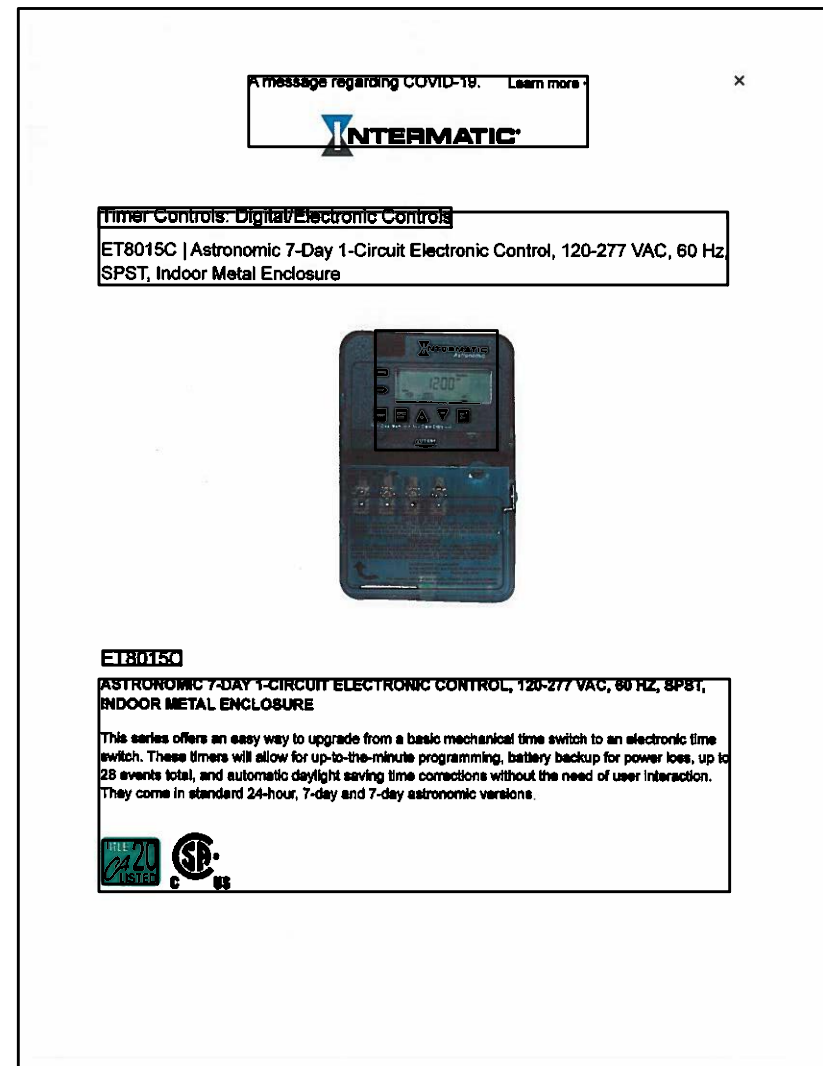
**ELECTRICAL - POWER PLAN**  
SCALE: 1/4" = 1'  
NORTH

EXISTING PANEL LP "A" 120V - 208V 200 AMPERES MAIN DISCONNECT											
NO	DESCRIPTION	PHASES			AMP	AMP	PHASES			DESCRIPTION	NO
		A	B	C			A	B	C		
1	FRONT LIGHTS & EGRESS	920			20		2800			HVAC	2
3	SERVICE COUNTER LIGHTS & EGRESS		650		20	30		2800			4
5	KITCHEN LIGHTS & EGRESS			450	20				2800		6
7	RESTROOM LIGHTS/BATH FAN	350			20	20	1200			TOASTER	8
9	SIGN		320		20	20		1200		TOASTER	10
11	WINDOW REC			600	20	20			1200	ESPRESSO MACHINE REC	12
13	MENU SIGN	300			20	20	1000			POS SYSTEM REC	14
15	COFFEE BLENDER REC		1200		20	20		1000		LOUNGE GENERAL REC	16
17	SANDWICH REF REC			750	20						18
19	SALAD PREP TABLE REC	900									20
21	PREP TABLE REC		900								22
23	STORAGE GENERAL REC			1200							24
25	WATER HEATER REC	350									26
27	REFRIGERATOR REC		650								28
29	FREEZER REC			900							30
31	MERCHANDISING COOLER REC	820									32
33											34
35											36
37											38
39											40
41									800	ROOF GFI REC/REC BY PANEL	42

A= 8,640 WATTS, B= 8,720 WATTS, C= 8,700 WATTS. TOTAL= 26,060 WATTS.  
REQUIRED AMPERES = 26,060 WATTS X 1.25/ 208V / 1.732 = 90.42 AMPERES.  
EXISTING PANEL: 200 AMPERES, 120V-208V, 3 PHASES, 4 WIRES AND # 4 GND.



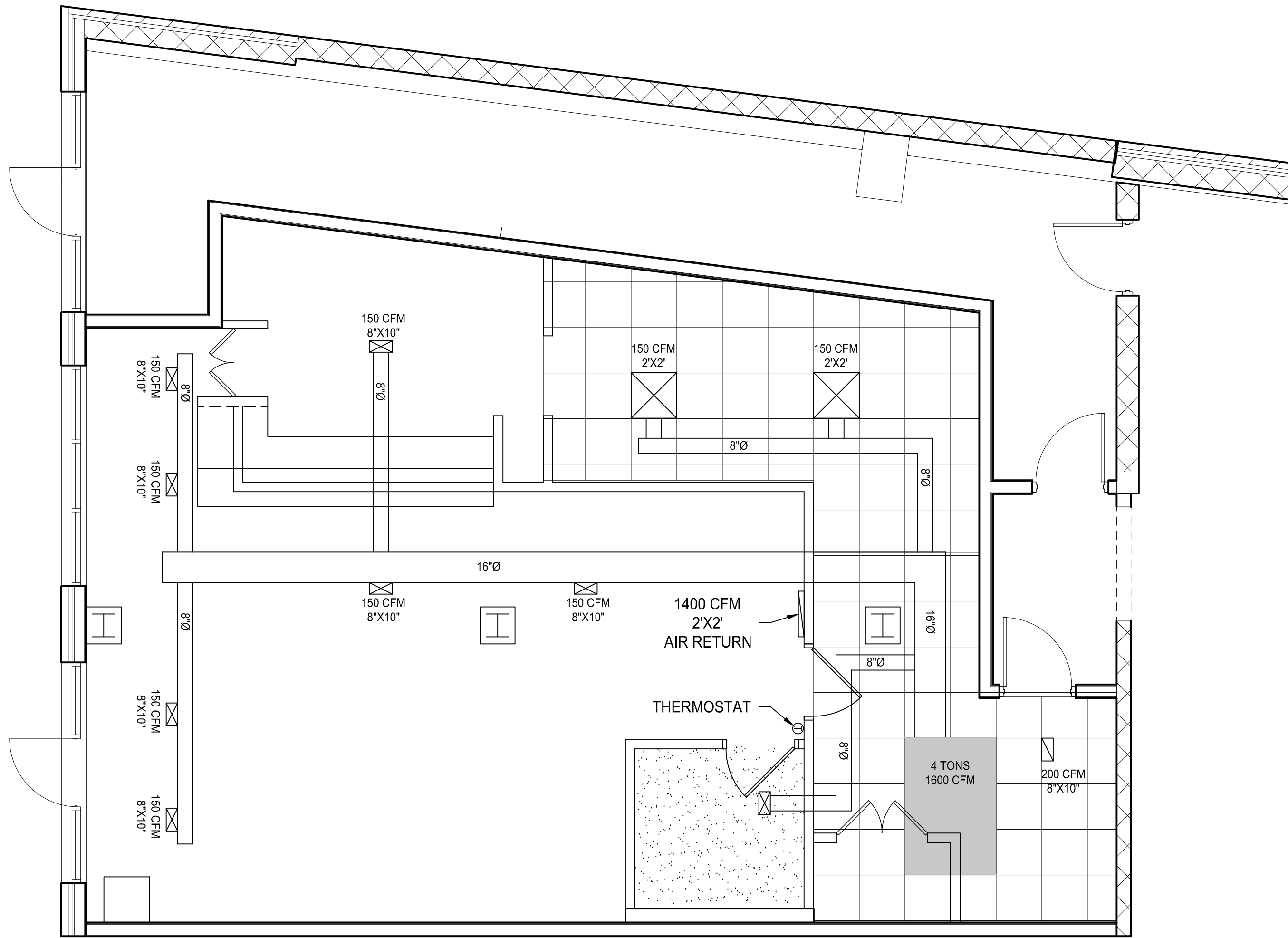
LIGHTING & ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
⊕	WALL MOUNTED DUPLEX OUTLET 15 W
⊕ <sub>G</sub>	WALL MOUNTED DUPLEX OUTLET 15 W WITH GFCI
⊕ <sub>DISP</sub>	WALL MOUNTED DISPOSAL OUTLET
⊕	220 V. WALL OUTLET
⊕	CEILING MOUNTED EXHAUSTED FAN 100 CFM
⊕ <sub>3</sub>	3 WAY WALL SWITCH
⊕	WALL SWITCH
⊕	CEILING MOUNTED LIGHT
⊕	STRING LIGHT
⊕	HANG PENDANT
■	2X2 LED FLAT PANEL LIGHT



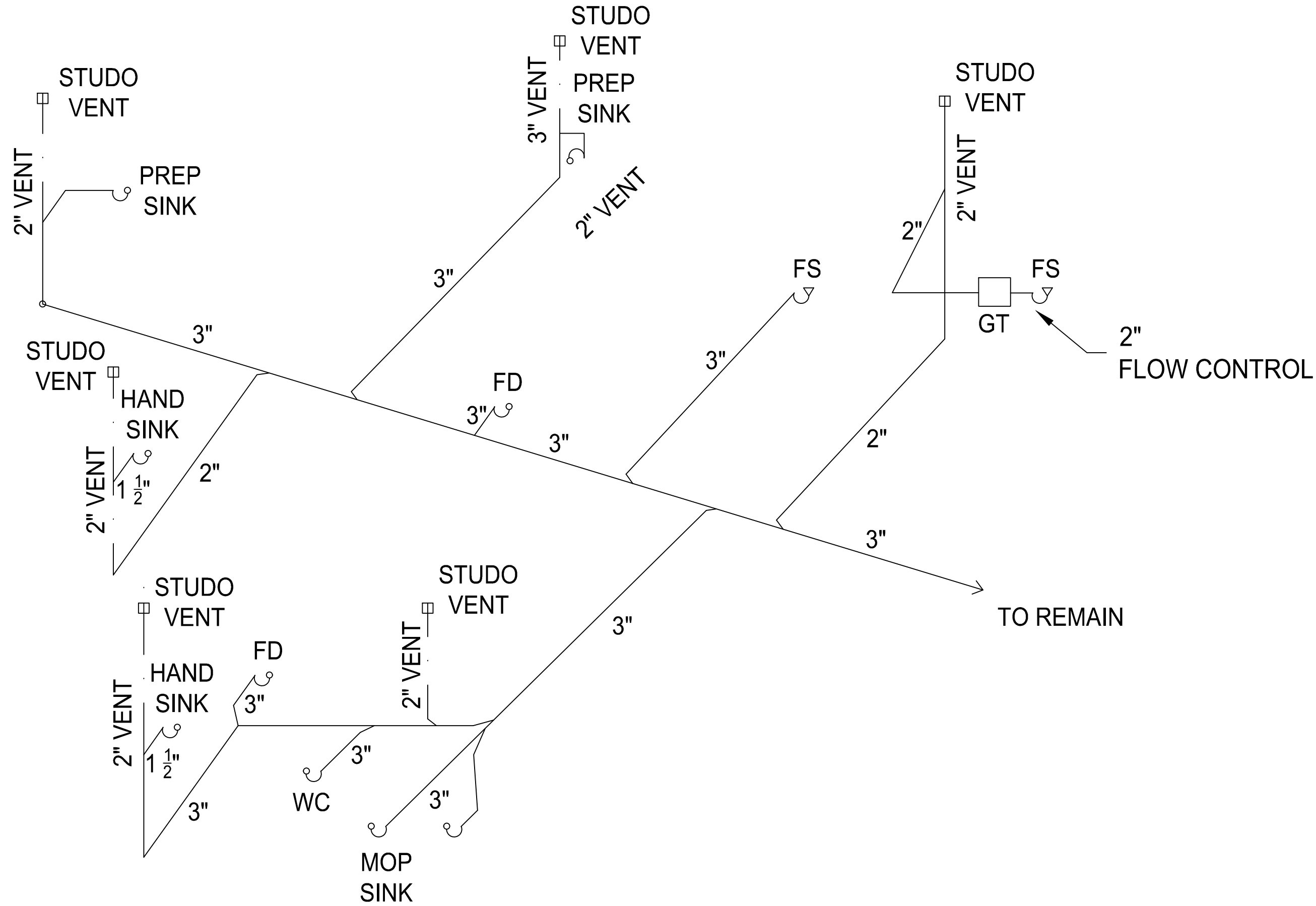
**NOTE**  
• ALL LIGHTS TO BE ON ASTRONOMICAL TIME CLOCK AT PANEL BOX EXCEPT FOR LIGHTS IN PH. TOILET WHICH WILL BE A MOTION SENSOR SWITCH

**NOTE**  
• ALL LIGHTS WILL BE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR





**MECHANICAL PLAN**  
SCALE: 1/4" = 1'  
NORTH



**RISER DIAGRAM**  
SCALE: 1/4" = 1'

MECHANICAL LEGEND	
SYMBOL	DESCRIPTION
	HVAC UNIT
	AIR SUPPLY
	AIR RETURN
	THERMOSTAT
	AIR SUPPLY



**MARUSICH  
ARCHITECTURE**

600 WOODWARD AVENUE  
BLOOMFIELD HILLS, MI 48304  
SUITE 100

PHONE (413) 400-0640  
PHONE (413) 400-0640

WWW.MARUSICHARCHITECTURE.COM

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**OWNER**

**LINDSEY  
SAYLES**

1150 GROS VENTRE DR SE  
GRAND RAPIDS, MI 49546  
LSAYLES.FRUITCONGR@GMAIL.COM

**PROJECT NAME**

**FRUITION  
SPECIALTY FOOD  
STORE**

855 N OLD WOODWARD AVE - SUITE A81  
BIRMINGHAM, MI 48009

PROJECT # 20 - 22

ISSUE DATE # 07/01/2020

**REVISION HISTORY**

OWNER REVIEW	07/07/2020
PERMIT SET	07/22/2020
PERMIT SET REVISION	08/14/2020
PERMIT SET REVISION 2	08/25/2020


DRAWN BY: NM

CHECKED BY: JM

SHEET CONTENTS  
**MECHANICAL PLAN**

SEAL



OWNER / OWNER'S AGENT APPROVED & ACCEPTED

DATE: / / 2020

SHEET #

M1





MARUSICH  
ARCHITECTURE

600 WOODWARD AVENUE  
BLOOMFIELD HILLS, MI 48304  
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PHONE (248) 444-4444  
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1150 GROS VENTRE DR SE  
GRAND RAPIDS, MI, 49546  
LSAYLES.FRUITCONGR@GMAIL.COM

PROJECT NAME

FRUITON  
SPECIALTY FOOD  
STORE

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BIRMINGHAM, MI, 48009

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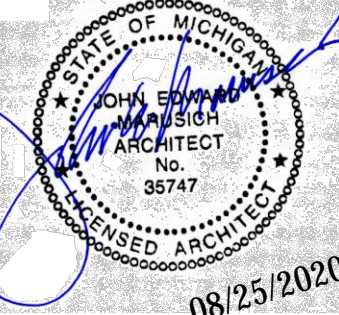
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SHEET CONTENTS

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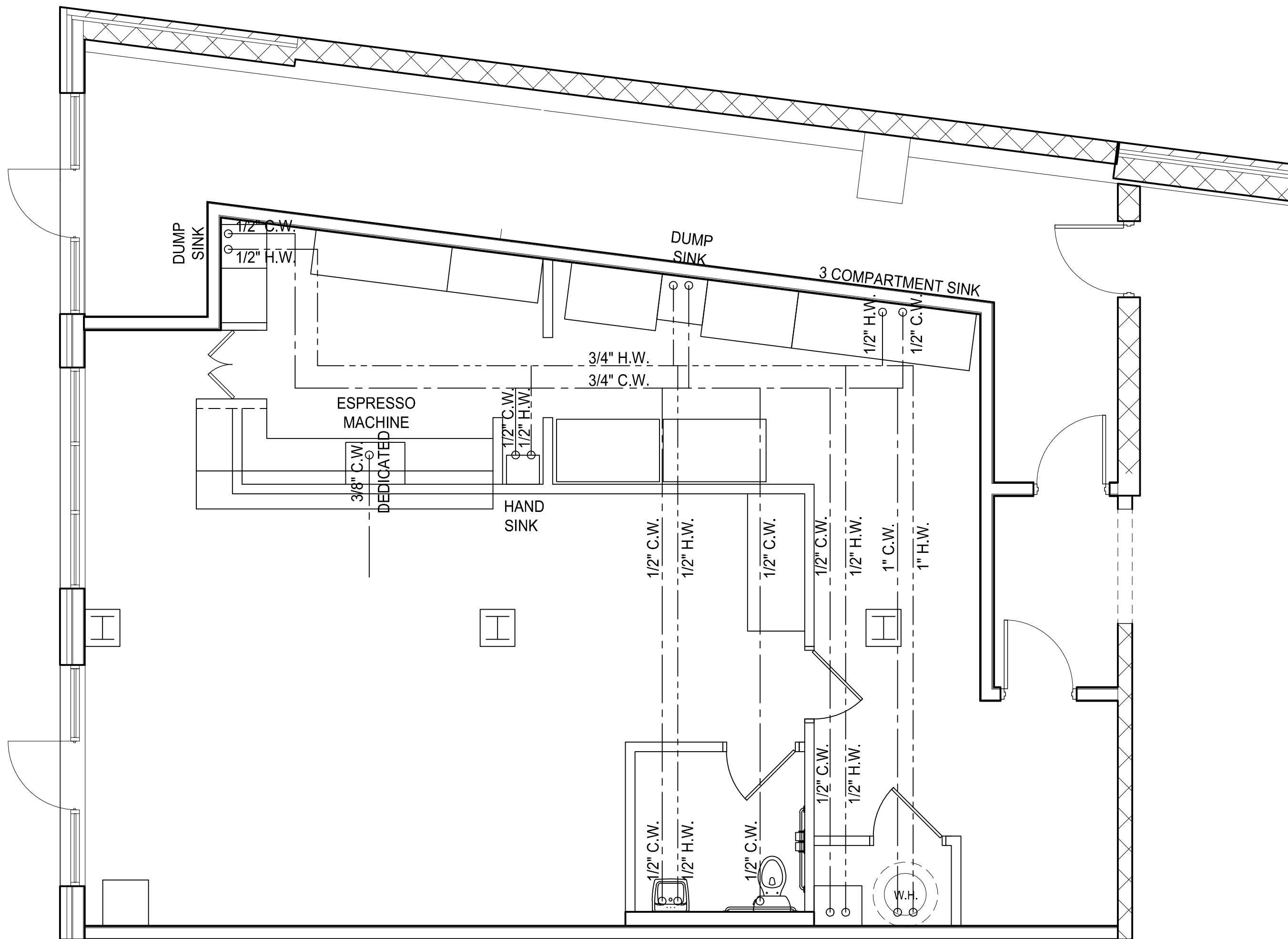
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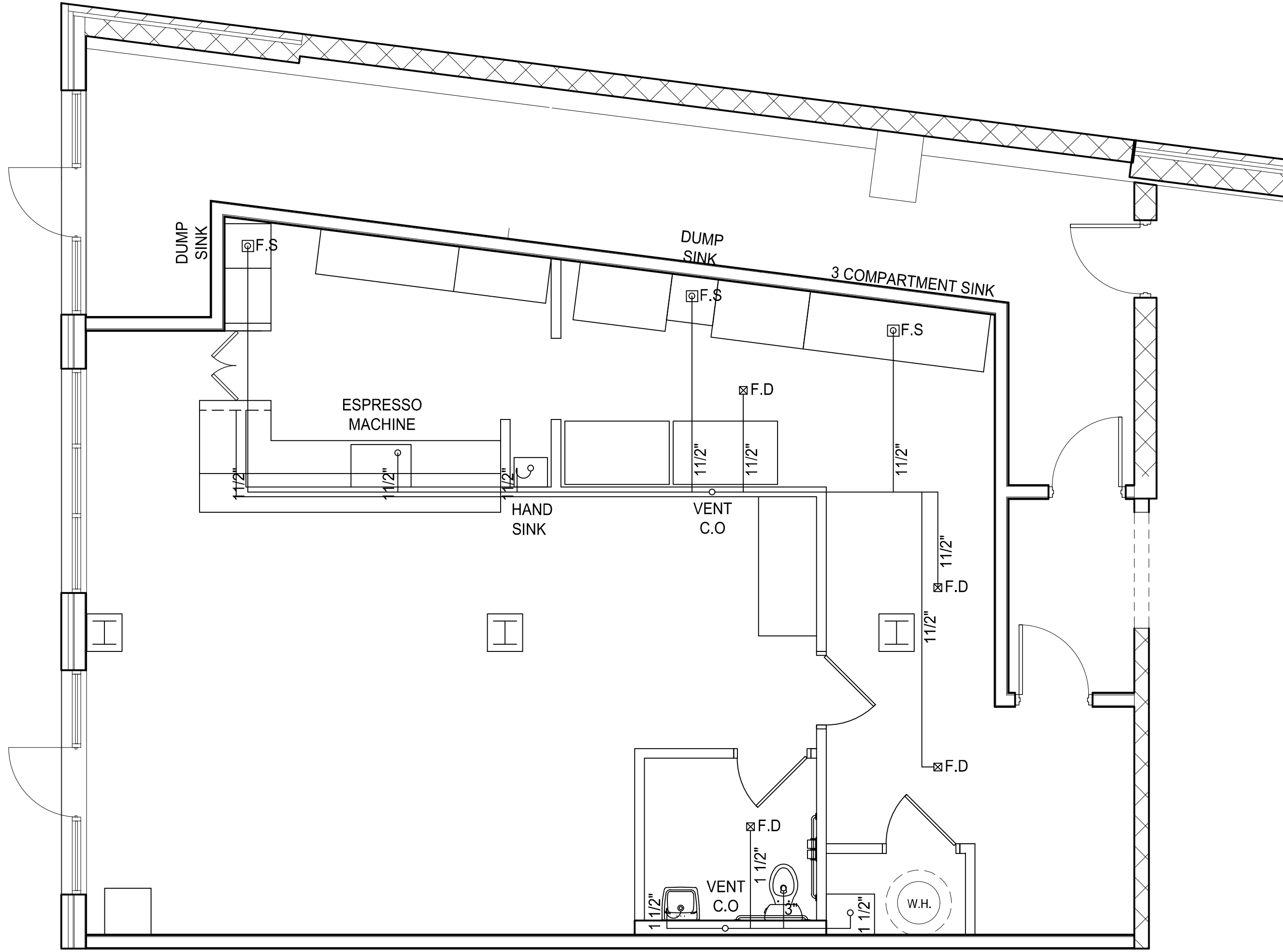
SHEET # 1

OWNER / OWNER'S AGENT APPROVED & ACCEPTED

DATE: / / 2020

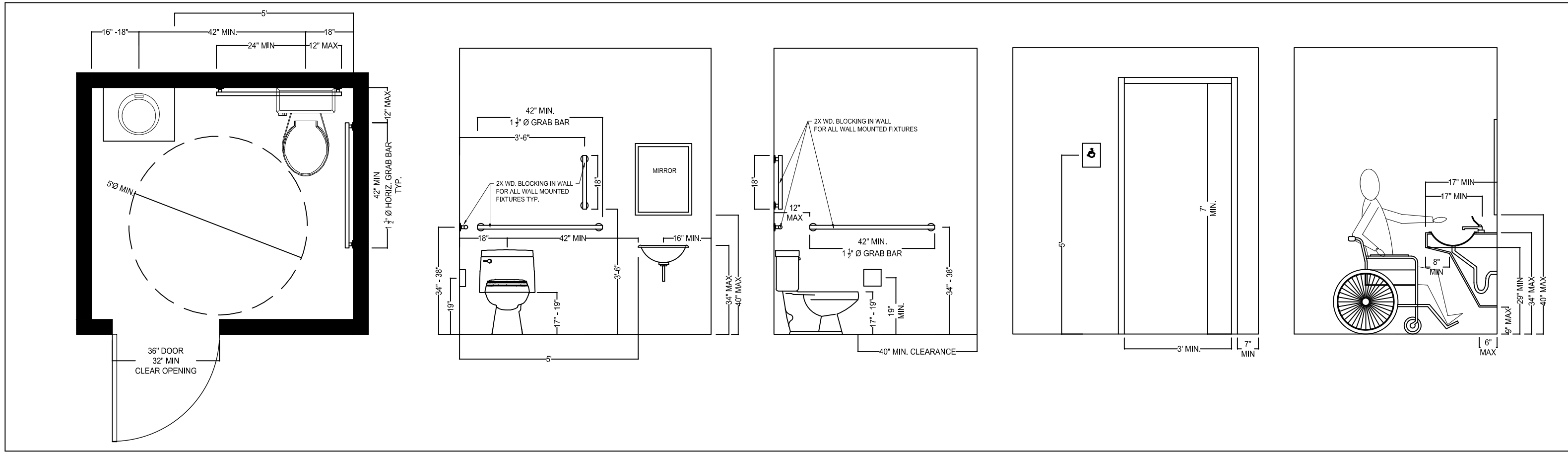


PLUMBING - WATER SUPPLY PLAN  
SCALE: 1/4" = 1'  
NORTH



PLUMBING - SANITARY PLAN  
SCALE: 1/4" = 1'  
NORTH

PLUMBING LEGEND	
SYMBOL	DESCRIPTION
----	COLD WATER
----	HOT WATER
----	SANITARY LINE
C.O.	CLEAN OUT
F.D.	FLOOR DRAIN
F.S.	FLOOR SINK
2 1/2"	VALVE



P.H. TOILET STANDARD DIMENSIONS  
SCALE: 1/2" = 1'

HOT WATER CACULATION						
EQUIPMENT	QUALITY	GPH	TOTAL	TEMP REQ'D	% FROM 140	TOTAL GPH
RESTROOM SINKS	1	5.0	5	110	70	3.5
HAND SINK	2	5.0	10	110	70	7
PREP SINK	1	10.0	10	140	100	10.0
3 COMP SINK	1	35.0	45	140	100	35.0
MOP SINK	1	15.0	15	140	100	15
TOTAL						70.5

WATER HEATER'S BTU REQUIRED: 70.5 GPH X (140 - 40) X 8.33 LB/GAL / 80% = 73,408 BTU  
PROVIDED WATER HEATER: RHEEM,80 GALLONS 80,000 BTU





36880 WOODWARD AVENUE  
SUITE 100, BLOOMFIELD HILLS  
MICHIGAN 48304 - 0920

PHONE: (248) 839 5807  
johnm@marusicharchitecture.com

Client:

FLS Properties #5 LLC  
2950 Walnut Lake Road,  
West Bloomfield, MI 48323

Project:

The Pearl - Core & Shell  
856 Old North Woodward

[illegible]

Seal:

Note:

Do not scale drawings. Use  
calculated dimensions only.  
Verify existing conditions in field.

North Arrow:



## First Floor Plan

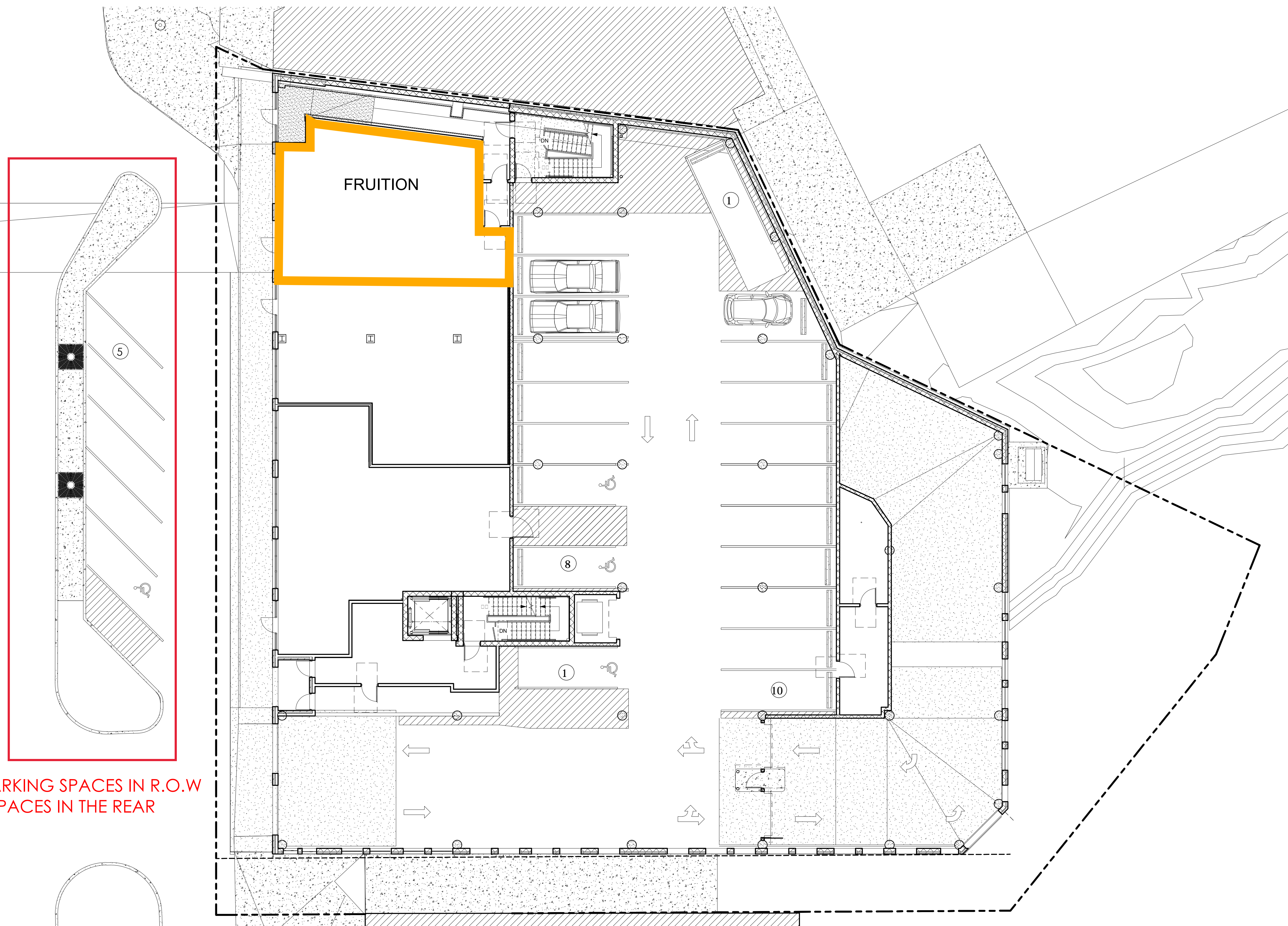
Project Number:

16-135

Sheet Number:

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A.101



### First Floor Plan

5 PARKING SPACES IN R.O.W  
20 SPACES IN THE REAR





36880 WOODWARD AVENUE  
SUITE 100, BLOOMFIELD HILLS  
MICHIGAN 48304 - 0920

PHONE: (248) 839 5807  
johnm@marusicharchitecture.com

Client:

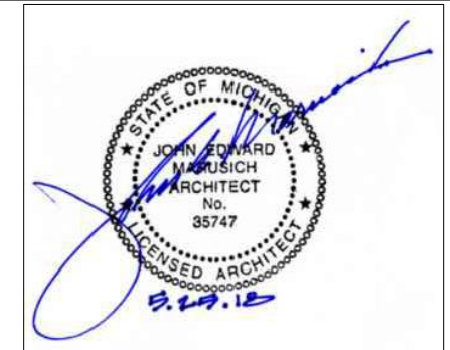
LS Marketing LLC  
 10 West Loop Road  
 West Branch, ID 83721

Project:

Thompson-Crow Shook  
6 Old North Woodford

[illegible]

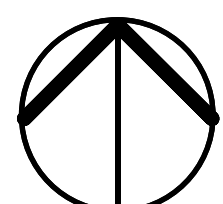
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Note:

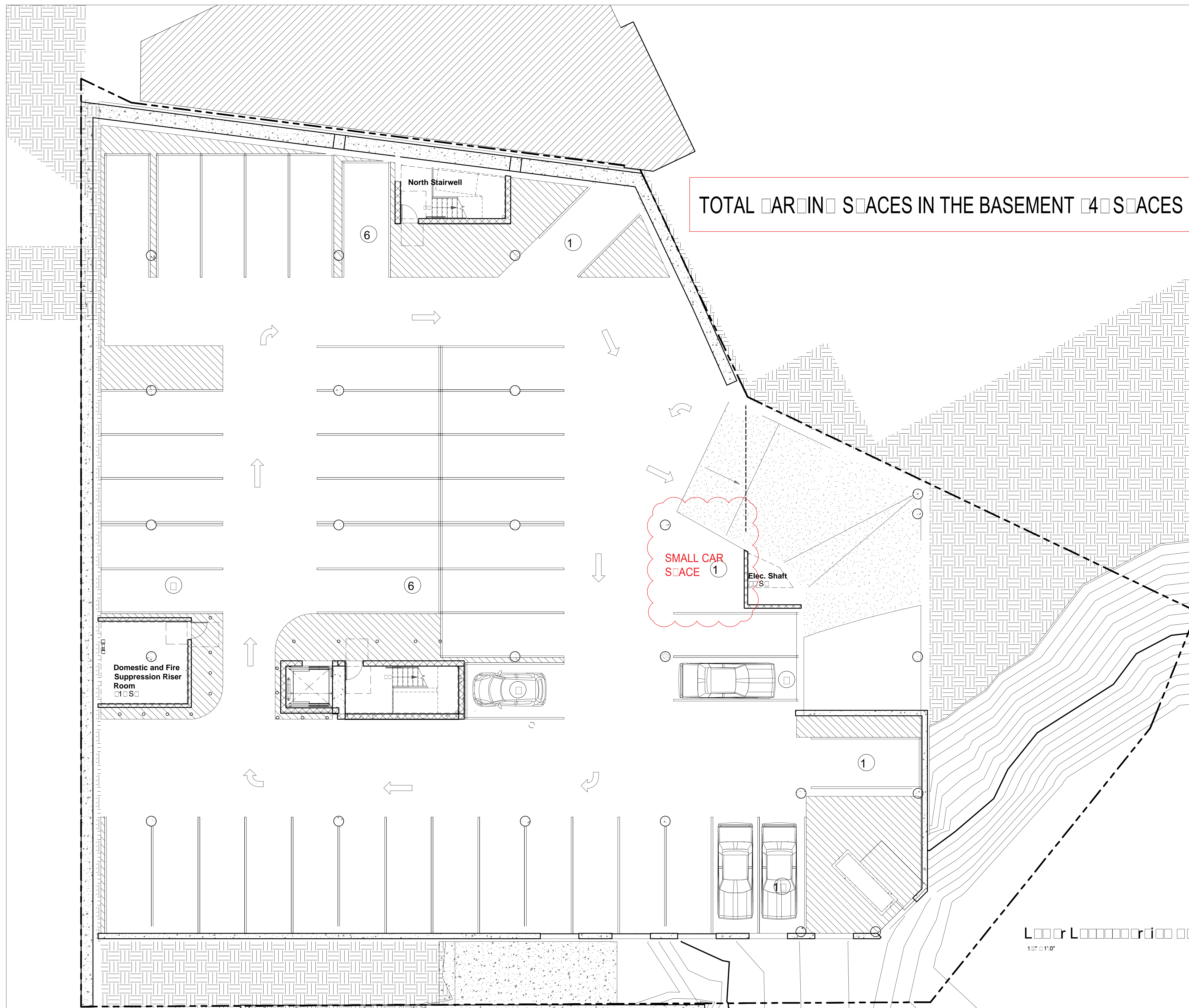
Do not scale drawings. Use  
calculated dimensions only.  
Verify existing conditions in field.

North Arrow:



Sheet Title:

L  or L   
 or







## Special Land Use Permit Application

### Planning Division

Form will not be processed until it is completely filled out.

#### 1. Applicant

Name: Lindsey Sayles  
Address: 1150 Gros Ventre SE  
Grand Rapids MI 49546  
Phone Number: 616-375-2324  
Fax Number: \_\_\_\_\_  
Email address: lsayles.fruitiongr@gmail.com

#### 2. Property Owner

Name: FLS PROPERTIES #5 LLC  
Address: 2950 WALNUT LAKE RD  
W. BLOOMFIELD MI 48323  
Phone Number: 248 680 1401  
Fax Number: \_\_\_\_\_  
Email address: FSIMON@SIMONATTYS.COM

#### 3. Applicant's Attorney/Contact Person

Name: Lindsey Sayles  
Address: 1150 Gros Ventre SE  
Grand Rapids, MI 49546  
Phone Number: 616-375-2324  
Fax Number: \_\_\_\_\_  
Email address: lsayles.fruitiongr@gmail.com

#### 4. Project Designer/Developer

Name: JOHN MARUSICH  
Address: 3680 WOODWARD AVE.  
B.H. MI  
Phone Number: 313 482 0645  
Fax Number: \_\_\_\_\_  
Email address: johnm.marusich  
architecture@gmail.com

#### 5. Required Attachments

- I. Two (2) paper copies and one (1) digital copy of all project plans including:
  - i. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject site's property lines;
  - ii. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
  - iii. A certified Land Survey;
  - iv. Interior floor plans;

- v. A Landscape Plan;
- vi. A Photometric Plan;
- vii. Colored elevation drawings for each building elevation;

- II. Specification sheets for all proposed materials, light fixtures and mechanical equipment;
- III. Samples of all proposed materials;
- IV. Photographs of existing conditions on the site including all structures, parking areas, landscaping and adjacent structures;
- V. Current aerial photographs of the site and surrounding properties;
- VI. Warranty Deed, or Consent of Property Owner if applicant is not the owner;
- VII. Any other data requested by the Planning Board, Planning Department, or other City Departments.

#### 6. Project Information

Address/Location of the property: 856 N. OLD  
WOODWARD SUITE 100  
Name of development: FRUITION  
Sidwell #: \_\_\_\_\_  
Current Use: VACANT RETAIL  
Proposed Use: JUICE BAR  
Area of Site in Acres: 1224 S.F.  
Current zoning: 02/02  
Is the property located in the floodplain? NO  
Name of Historic District Site is located in: NO  
Date of Historic District Commission Approval: NA  
Date of Application for Preliminary Site Plan: NA  
Date of Preliminary Site Plan Approval: NA

Date of Application for Final Site Plan: NA  
Date of Final Site Plan Approval: NA  
Date of Application for Revised Final Site Plan: NA  
Date of Revised Final Site Plan Approval: NA  
Date of Design Review Board Approval: NA  
Is there a current SLUP in effect for this site? NO  
Date of Application for SLUP: NA  
Date of SLUP Approval: NA  
Date of Last SLUP Amendment: NA  
Will proposed project require the division of platted lots? NO  
Will proposed project require the combination of platted lots? NO

SEP 14 2020  
CITY OF BIRMINGHAM  
COMMUNITY DEVELOPMENT DEPT.

7. Details of the Proposed Development (attach separate sheet if necessary)

BUILD OUT RETAIL SPACE TO A JUICE BAR  
SPECIALTY FOOD STORE

8. Buildings and Structures

Number of Buildings on Site: ONE  
Height of Buildings & # of Stories: 56 FT.

Use of Buildings: MIXED-USE  
Height of Rooftop Mechanical Equipment:

9. Floor Use and Area (in Square Feet)

Proposed Commercial Structures:

Total basement floor area: ☐  
Number of square feet per upper floor: ☐  
Total floor area: ☐  
Floor area ratio (total floor area ÷ total land area): ☐  
Open space: ☐  
Percent of open space: ☐

Office Space: ☐  
Retail Space: 1224 SF.  
Industrial Space: ☐  
Assembly Space: ☐  
Seating Capacity: ☐  
Maximum Occupancy Load: ☐

Proposed Residential Structures:

Total number of units: ☐  
Number of one bedroom units: ☐  
Number of two bedroom units: ☐  
Number of three bedroom units: ☐  
Open space: ☐  
Percent of open space: ☐

Rental units or condominiums? ☐  
Size of one bedroom units: ☐  
Size of two bedroom units: ☐  
Size of three bedroom units: ☐  
Seating Capacity: ☐  
Maximum Occupancy Load: ☐

Proposed Additions:

Total basement floor area, if any, of addition: ☐  
Number of floors to be added: ☐  
Square footage added per floor: ☐  
Total building floor area (including addition): ☐  
Floor area ratio (total floor area ÷ total land area): ☐  
Open Space: ☐  
Percent of open space: ☐

Use of addition: ☐  
Height of addition: ☐  
Office space in addition: ☐  
Retail space in addition: ☐  
Industrial space in addition: ☐  
Assembly space in addition: ☐  
Maximum building occupancy load (including addition): ☐

10. Required and Proposed Setbacks

Required front setback: ☐  
Required rear setback: ☐  
Required total side setback: ☐  
Side setback: ☐

Proposed front setback: ☐  
Proposed rear setback: ☐  
Proposed total side setback: ☐  
Second side setback: ☐

11. Required and Proposed Parking

Required number of parking spaces: 8 SEE CALC.  
Typical angle of parking spaces: 90  
Typical width of maneuvering lanes: 18' SEE PLANS  
Location of parking on site: SEE SITE  
Location of parking off site: SEE SITE PLAN  
Number of light standards in parking area: NONE  
Screenwall material: NA

Proposed number of parking spaces: 8  
Typical size of parking spaces: 180 S.F.  
Number of spaces < 180 sq. ft.:  
Number of handicap spaces: 2 FOR RETAIL  
Shared parking agreement? NO  
Height of light standards in parking area: NA  
Height of screenwall: NA

\* TOTAL SPACE 1224 S.F.  
4 SPACES REQ IF NORMAL  
RETAIL  
THE PEARL PROJECT AS A WHOLE  
HAS 8 EXTRA SPACES

375 SEATING / 15 = 5 SPAC  
849 OTHER / 300 = 3 SPAC  
REQUIRED 8 SPAC

## 12. Landscaping

Location of landscape areas:

Proposed landscape material:

## 13. Streetscape

Sidewalk width:

Number of benches:

Number of planters:

Number of existing street trees:

Number of proposed street trees:

Streetscape plan submitted?

Description of benches or planters:

Species of existing trees:

Species of proposed trees:

## 14. Loading

Required number of loading spaces:

Typical angle of loading spaces:

Screenwall material:

Location of loading spaces on site:

Proposed number of loading spaces:

Typical size of loading spaces:

Height of screenwall:

Typical time loading spaces are used:

## 15. Exterior Waste Receptacles

Required number of waste receptacles:

Location of waste receptacles:

Screenwall material:

Proposed number of waste receptacles:

Size of waste receptacles:

Height of screenwall:

## 16. Mechanical Equipment

### Utilities and Transformers:

Number of ground mounted transformers:

Size of transformers (L•W•H):

Number of utility easements:

Screenwall material:

Location of all utilities & easements:

Height of screenwall:

### Ground Mounted Mechanical Equipment:

Number of ground mounted units:

Size of ground mounted units (L•W•H):

Screenwall material:

Location of all ground mounted units:

Height of screenwall:

### Rooftop Mechanical Equipment:

Number of rooftop units:

Type of rooftop units:

Screenwall material:

Location of screenwall:

Location of all rooftop units:

Size of rooftop units (L•W•H):

Percentage of rooftop covered by mechanical units:

Height of screenwall:

Distance from rooftop units to all screenwalls:

## 17. Accessory Buildings

Number of accessory buildings:

Location of accessory buildings:

Size of accessory buildings:

Height of accessory buildings:

## 18. Building Lighting

Number of light standards on building:

Type of light standards on building:

Size of light fixtures (L•W•H):  
Maximum wattage per fixture:  
Light level at each property line:

Height from grade:  
Proposed wattage per fixture:

### 19. Site Lighting

Number of light fixtures:  
Size of light fixtures (L•W•H):  
Maximum wattage per fixture:  
Light level at each property line:

Type of light fixtures:  
Height from grade:  
Proposed wattage per fixture:  
Holiday tree lighting receptacles:

### 20. Adjacent Properties

Number of properties within 200 ft.:

#### Property #1

Number of buildings on site:  
Zoning district:  
Use type:  
Square footage of principal building:  
Square footage of accessory buildings:  
Number of parking spaces:

Property Description:

North, south, east or west of property?

#### Property #2

Number of buildings on site:  
Zoning district:  
Use type:  
Square footage of principal building:  
Square footage of accessory buildings:  
Number of parking spaces:

Property Description:

North, south, east or west of property?

#### Property #3

Number of buildings on site:  
Zoning district:  
Use type:  
Square footage of principal building:  
Square footage of accessory buildings:  
Number of parking spaces:

Property Description:

North, south, east or west of property?

#### Property #4

Number of buildings on site:  
Zoning district:  
Use type:  
Square footage of principal building:  
Square footage of accessory buildings:  
Number of parking spaces:

Property Description:

North, south, east or west of property?

#### Property #5

Number of buildings on site:  
Zoning district:  
Use type:  
Square footage of principal building:  
Square footage of accessory buildings:  
Number of parking spaces:

Property Description:

North, south, east or west of property?



The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner: [Signature] Date: 9-9-20

Print Name: Lindsey Sayles

Signature of Applicant: [Signature] Date: 9-9-20

Print Name: Lindsey Sayles

Signature of Architect: [Signature] Date: 9.4.2020

Print Name: JOHN MARUSICH

Office Use Only

Application #: \_\_\_\_\_ Date Received: \_\_\_\_\_ Fee: \_\_\_\_\_

Date of Approval: \_\_\_\_\_ Date of Denial: \_\_\_\_\_ Accepted by: \_\_\_\_\_

THE PEARL

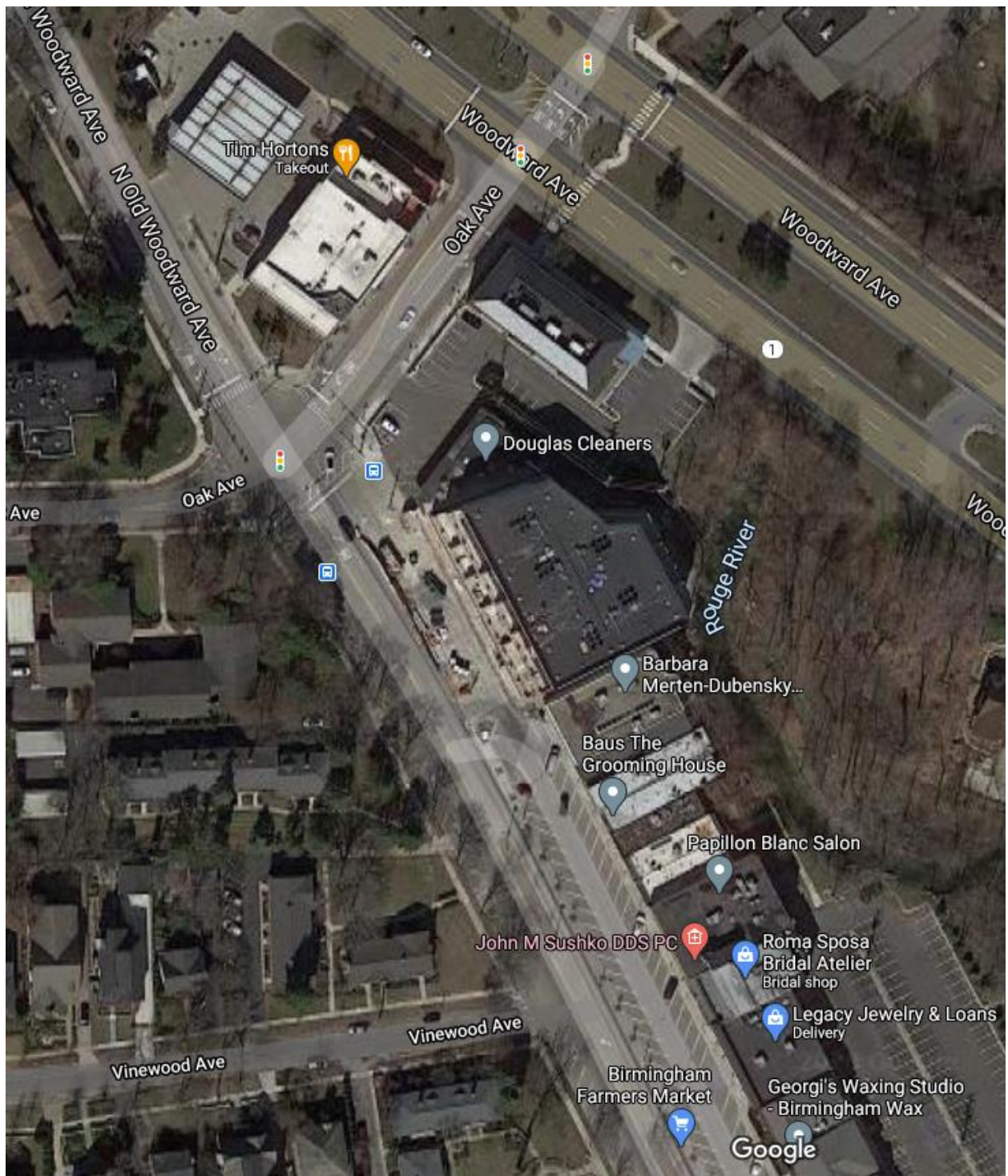
42 RES. REQ  
15 RET. REQ.

57 TOTAL REQ

65 PROVIDED  
- 57 REQ

8 EXTRA





**Fruition:** the point at which a plan or project is realized.

# FRUITION

Fruition was started by two sisters who strive to live health and happy lives. They believe that being healthy leads to happiness. Fruition is a fast, simple, and healthy establishment serving fast healthy food for Grand Rapids. We pride our self on having good vibes and having great food in our store. We have many gluten free and vegan options, as well a wide variety of foods. Our passion is to provide healthy food to kickstart a healthy lifestyle for all. At Fruition we're always creating new and delicious foods and perfecting our menu to provide the best products. For the owners and employees, Fruition is not only a business but it is a passion. Our employees all dedicate their time to making great products and help customers find the best food options for them. Come in and see us! Be sure to check out our social media pages to find deals, fun prizes, and aesthetic pictures of our beautiful products.

Tag us in your photos **@thefruitionlife** !

FRUITION ACAI & JUICE BAR BIRMINGHAM  
856 NORTH OLD WOODWARD STE 100  
BIRMINGHAM, MI 48009

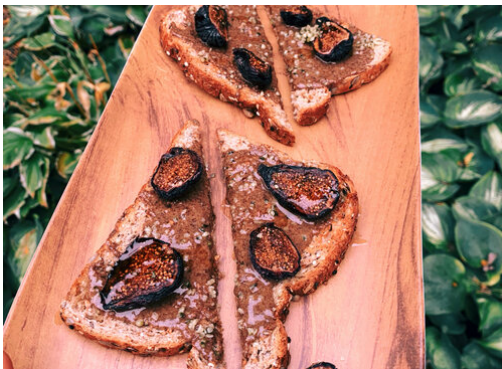
FRUITION ACAI & JUICE BAR EASTTOWN  
1405 LAKE DRIVE SE  
GRAND RAPIDS, MI 49506

[INFO@THEFRUITIONLIFE.COM](mailto:INFO@THEFRUITIONLIFE.COM)

©2018-2020 FRUITION

# FRUITION

## ACAI & JUICE BAR

[ABOUT US](#)[EASTOWN MENU](#)[BIRMINGHAM MENU](#)[CONTACT US](#)

## \*COMING SOON\* FRUITION MENU BIRMINGHAM

### ACAI BOWLS

**SUN'S UP-** Acai, Granola, Strawberry,  
Banana, Blueberry, Honey \$10.25

**THE ESSENTIALS-** Acai, Peanut Butter,  
Greek Yogurt, Granola, Blueberry,  
Pineapple, Hemp Seed, Honey & Coconut  
\$11.25

**BIRM' BOWL-** Acai, Granola Butter,  
Granola, Strawberry, Raspberries, Banana  
Chips & Chocolate Chips \$11.5

**FRUITION-** Acai, Peanut Butter, Granola,  
Strawberry, Banana, Pineapple, Kiwi,  
Honey & Coconut shavings \$11





**MOOD-** Acai, Almond Butter, Granola, Strawberry, Blueberry & Cacao Nibs \$11

**HEALTH(NO)NUT-** Acai, Granola, Strawberry, Kiwi, Pineapple & Honey  
\$10.75

**SWEET TOOTH-** Acai, Peanut Butter, Granola, Banana & Chocolate Chips  
\$10.25

**NOT MY BIRTHDAY-** Acai, Birthday Cake Granola, Blueberries, Banana, topped with Coconut Whip made in house & sprinkles \$11.50

Add any topping listed above to any bowl  
(\$.50/topping)



### TOASTS/BAGELS

**THE BASICS-** Dave's Killer Bagel with Cream Cheese Spread \$5

**ONLY AVO-** Dave's Killer Bread or Bagel topped with Avocado Spread \$6.5

**EVERYTHING AVO-** Dave's Killer Bread or Bagel topped with Cream Cheese & Avocado Spread seasoned with EBTB \$7

**I PEEL GOOD-** Dave's Killer Bread or Bagel topped with Peanut Butter, Banana slices, Hemp Seed, Sliced Almonds, Cinnamon & Honey \$7.5

**FULL OF FLAV'-** Dave's Killer Bread or Bagel, Mascarpone Cheese, Strawberry, Mint Leaf, Lemon Zest, Honey & Chia Seed \$8

**COOLCUMBER-** Dave's Killer Bread or Bagel topped with Hummus, Spiralized Cucumber, Olive Oil, Salt & Pepper \$7

**BRAVOCADO-** Dave's Killer Bread or Bagel topped with Avocado Spread, Blueberry, Feta, Pumpkin Seeds, drizzled with a Balsamic glaze. \$8

**FIGGIN' GOOD-** Dave's Killer Bread or Bagel topped with Granola Butter, Figs, Hemp Seed, drizzled with Maple Syrup \$8

## LATTES

Add COLLAGEN to any Latte for \$.75

CHOICE OF HOT OR ICED, 12oz/16oz

**CLEAN BEAN-** Espresso, Pure Vanilla Bean Syrup, Choice of Milk \$4.75/\$5.75

**MACA MOCA-** Espresso, Pure Maple Syrup, Cocoa Powder, Maca Powder, Choice of Milk \$5/\$6

**SHORT N' SWEET-** Espresso, Cinnamon, Light Brown Sugar, Choice of Milk \$4.75/\$5.75

**JOE-JITO-** Coconut Sugar, Fresh Mint, Half & Half, Brewed Coffee \$6/\$6.75

**MATCHA MADE IN HEAVEN-** Matcha, Maple Syrup, Cinnamon, Choice of Milk \$5/\$6

**PLAIN JANE-** Espresso, Choice of Milk \$4/\$4.5

**BIRM' BABY BIRM'** (Try as a Meal Replacement)- Brewed Coffee, Organic Coconut Oil & Grass Fed Butter (16 oz/HOT) \$6.5

**CARAMEL CREAM** (Try as a Meal Replacement)- Brewed Coffee, Organic Coconut Oil, Grass Fed Butter, Salt, Vanilla Extract & Honey (16 oz/HOT) \$6.75

**AC/DT**- Lemon, Honey, Cayenne, Cinnamon, Apple Cider Vinegar, Hot Water (16oz/HOT) \$5.5

See you soon!

---

FRUITION ACAI & JUICE  
BAR EASTOWN  
1405 LAKE DRIVE SE  
GRAND RAPIDS, MI 49506

FRUITION ACAI & JUICE BAR  
BIRMINGHAM  
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# FRUITION

## ACAI & JUICE BAR

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## ABOUT US







**Fruition:** the point at which a plan or project is realized.

## FRUITION

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Tag us in your photos **@thefruitionlife** !



## **BEST OF BIRM**

**BIRM' BOWL**- Acai, Granola Butter, Granola, Strawberry, Raspberries, Banana Chips & Chocolate Chips **\$11.5**

**FRUITION**- Acai, Peanut Butter, Granola, Strawberry, Banana, Pineapple, Kiwi, Honey & Coconut Shavings **\$11**

**BRAVOCADO**- Dave's Killer Bread or Bagel topped with Avocado Spread, Blueberry, Feta, Pumpkin Seeds, drizzled with a Balsamic glaze. **\$8**

**FIGGIN' GOOD**- Dave's Killer Bread or Bagel topped with Granola Butter, Figs, Hemp Seed, drizzled with Maple Syrup **\$8**

**BIRM' BABY BIRM'** (Try as a Meal Replacement)- Brewed Coffee, Organic Coconut Oil & Grass Fed Butter (16 oz/HOT) **\$6.5**

**CARAMEL CREAM** (Try as a Meal Replacement)- Brewed Coffee, Organic Coconut Oil, Grass Fed Butter, Salt, Vanilla Extract & Honey (16 oz/HOT) **\$6.75**

## **ACAI BOWLS**

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**MOOD-** Acai, Almond Butter, Granola, Strawberry, Blueberry & Cacao Nibs **\$11**

**HEALTH(NO)NUT-** Acai, Granola, Strawberry, Kiwi, Pineapple & Honey **\$10.75**

**SWEET TOOTH-** Acai, Peanut Butter, Granola, Banana & Chocolate Chips **\$10.25**

**NOT MY BIRTHDAY-** Acai, Birthday Cake Granola, Blueberries, Banana, topped with Coconut Whip made in house & Sprinkles **\$11.50**

**Add any topping listed above to any bowl (\$.50/topping)**

## **TOASTS/BAGELS**

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**ONLY AVO-** Dave's Killer Bread or Bagel topped with Avocado Spread **\$6.5**

**EVERYTHING AVO-** Dave's Killer Bread or Bagel topped with Cream Cheese & Avocado Spread seasoned with EBTB **\$7**

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**COOLCUMBER-** Dave's Killer Bread or Bagel topped with Hummus, Spiralized Cucumber, Olive Oil, Salt & Pepper **\$7**

**LATTES**

**Add COLLAGEN to any Latte for \$.75**  
**Substitute Almond or Oat Milk + \$.50**

**CHOICE OF HOT OR ICED, 12oz/16oz**

**CLEAN BEAN-** Espresso, Pure Vanilla Bean Syrup, Choice of Milk **\$4.75/\$5.75**

**MACA MOCA-** Espresso, Pure Maple Syrup, Cocoa Powder, Maca Powder, Choice of Milk **\$5/\$6**

**SHORT N' SWEET-** Espresso, Cinnamon, Light Brown Sugar, Choice of Milk **\$4.75/\$5.75**

**JOE-JITO-**Coconut Sugar, Fresh Mint, Half & Half, Brewed Coffee **\$6/\$6.75**

**MATCHA MADE IN HEAVEN-** Matcha, Maple Syrup, Cinnamon, Choice of Milk **\$5/\$6**

**PLAIN JANE-** Espresso, Choice of Milk **\$4/\$4.5**

**AC/DT-** Lemon, Honey, Cayenne, Cinnamon, Apple Cider Vinegar, Hot Water (16oz only) **\$5.5**

Birmingham Hours of Operation (COVID Restrictions)

Monday-Friday 7:30am-7pm

Saturday- 9am-5pm

Sundays-CLOSED

Once restrictions lifted we would be open on Sundays from 10am-4pm.



Brooks Cowan &lt;bcowan@bhamgov.org&gt;

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**Fruition**

1 message

---

**Leah Cason** <lcason07@gmail.com>

Thu, Oct 8, 2020 at 8:23 AM

To: bcowan@bhamgov.org

Cc: Lindsey Sayles &lt;lsayles.fruitiongr@gmail.com&gt;

Good Morning Brooks!

Just wanted to follow up my voicemail yesterday with an email, I imagine you are insanely busy. I had a few questions to ask you regarding what is acceptable and what is not during the time we do not have the land permit. I was talking with our architect and project manager yesterday and they thought it might be best for me to email you. As you know, we are planning to be an actual "sit down" cafe as soon as possible, back in August, I was under the impression from John (our architect) that we were on schedule to be presented in September so everything has kind of been a mess. That being said, I am hoping to change our seating until then so it basically only offers a "waiting bench" and we will serve our menu items only as "to-go" so in takeout & disposable containers. This bench most likely would only fit 4-5 people at a time. Our cafe in Grand Rapids is 80% carry out now, so I am hoping that will be the case here as well! Another thing, we have our exterior sign being proofed this week and as of now, it will read "Fruition Acai & Coffee Cafe", is that okay with you? The installation process for this, including positioning & pricing, really makes sense to have this all put up at one time. If you have ANY other recommendations on things we can do to our interior in the mean time to make it more premit free friendly, please let me know! I am all ears!

I hope this email finds you well, like I said on the voicemail I do NOT want to step on anyone's toes this just hasn't been the best situation from the start so I am hoping to get some clarification!

Thank you very much,  
Leah Cason



Brooks Cowan &lt;bcowan@bhamgov.org&gt;

---

**Re: Fruition Juice Bar**

---

**Emil Cherkasov** <emil@forwardcommercial.com>

Fri, Aug 14, 2020 at 1:08 PM

To: Brooks Cowan &lt;bcowan@bhamgov.org&gt;

Cc: Jeff Zielke &lt;jzielke@bhamgov.org&gt;, Nicholas Dupuis &lt;ndupuis@bhamgov.org&gt;, Nour Makkieh &lt;nourm@marusicharchitecture.com&gt;, John Marusich &lt;johnm.marusicharchitecture@gmail.com&gt;

Brooks,

I confirmed with tenant, it will be carryout only.

There is an understanding that if they decide to redesign their space later on and add seating, that they will need to apply for special land use permit.

Yours truly,

Emil Cherkasov

Principal

Forward Commercial Group

[6785 Telegraph Rd, Suite 250](#)[Bloomfield Hills MI 48301](#)

P. 248-662-5066

C. 248-894-3604

[www.forwardcommercial.com](http://www.forwardcommercial.com)

[Quoted text hidden]

Attention: City Board Birmingham

My name is Lindsey Sayles. My sister and I are the owners of Fruition Acai & Juice Bar. We opened Fruition's doors in Grand Rapids in 2018 with the hopes of expanding to other cities in the future. Little did we know, a worldwide pandemic would hit and force us to work much harder than we ever have to stay in business. We had to get creative with new ways for take-out options, ways to keep our staff employed in some of the scariest and trying times, running back and forth daily to Costco and Meijer because our food suppliers were shutting down unexpectedly overnight. We quickly realized how many doors to small businesses were closing, and fast. We didn't want to be a part of that statistic if there was any way possible for us to avoid it. We put our heads together as a team and managed to stay afloat. While many businesses were closing their doors, we decided to take a chance and open a second location and after many months of prospecting and researching different cities, we fell in love with the City of Birmingham.

I'm writing to you today because we were misled by our landlord in our ability to open our doors as a small café. We only became aware of the need for a Special Land Use Permit to operate as a café in this space (as initially submitted to him) 2.5 months after our lease agreement was signed and our buildout began. This is not to mention the heavy parking requirements required by the city for such a small space that we also were not aware of. After nearly emptying our savings account from our first store on the buildout of a second in Birmingham, we are hopeful that you will consider granting us the necessary permits to allow for 6-8 seats inside of our shop. Unfortunately, we do not see Fruition making a profit worthwhile in this location as a "Carry-out" only shop. We are a small, locally owned business, hopeful that we can operate as what we intended in this newly developed area of Birmingham.

We genuinely appreciate your consideration and time hearing us out.

Lindsey Sayles and Leah Cason



Date: March 19, 2021

To: Planning Board Members

From: Jana L. Ecker, Planning Director

Re: **300 - 394 S. Old Woodward and a portion of 294 E. Brown Street – New Mixed Use 4 story Building, Community Impact Study—Preliminary Site Plan Review**

---

## Community Impact Study

### I. INTRODUCTION

The subject site includes the properties known as 300 – 394 S. Old Woodward, and portions of the property located at 294 E. Brown. These properties are currently occupied by Capital Title/Lutz, Roche Bobois/Frank's Shoe Service and Coldwell Banker Weir Manual. The entire property has a total land area of 54,052.96 sq.ft. or 1.24 acres. It is located on the west side of S. Old Woodward, including the entire block of S. Old Woodward from Brown Street south to Daines Street and all parcels are zoned B2 General Business and D-3 in the Downtown Birmingham Overlay District.

The applicant is proposing to rearrange the parcel lines for the above three properties to create two new parcels through the lot split and combination process. The applicant is proposing to split off the westernmost portion of the 300 S. Old Woodward (currently parking lot) and combine this portion with the parcel at 294 E. Brown Street. In addition, the applicant is proposing to split off the easternmost portion of the L-shaped parcel at 294 E. Brown and combine this with the parcel at 394 S. Old Woodward. Finally, the applicant proposes to combine the new parcels at 300 and 394 S. Old Woodward to create one large new parcel that will run from Brown south to Daines. **The applicant is required to obtain approval of the City Commission for the proposed lot splits and lot combination to create the new lot that is the subject of this application and shown on the site plan.** The applicant has submitted these applications to the City Commission for their review.

Both existing buildings (currently 300 and 394 S. Old Woodward) on the lot to be newly created are proposed to be demolished to construct a new 4 story mixed use building with retail and design uses on the first 3 floors, and a restaurant on the fourth floor. One level of underground parking is proposed to house 24 cars. As the building is located within the Parking Assessment District, no on-site parking is required for the proposed commercial uses.

In order to permit the use of a restaurant on the fourth floor, the applicant is also

proposing a rezoning of the new parcel encompassing 300 – 394 S. Old Woodward from D-3 to D-4 in the Overlay District. In addition, the applicant will be proposing zoning amendments to the B2 zoning district to allow the use of economic development liquor licenses with a Special Land Use Permit on this site, which will include an application for an amendment to Exhibit 1, Appendix C, to add the properties at 300 – 394 S. Old Woodward to this map.

The new 4 story building is proposed to be 50,483 sq.ft. in size (not including the underground parking level), thus requiring the applicant to prepare a Community Impact Study in accordance with Article 7, section 7.27(E) of the Zoning Ordinance as they are proposing a new building containing more than 20,000 square feet of gross floor area.

## II. COMMUNITY IMPACT STUDY

As stated above, the applicant was required to prepare a Community Impact Study given the size of the proposed development. The Zoning Ordinance recognizes that buildings of a certain size may affect community services, the environment, and neighboring properties. The CIS acts as a foundation for discussion between the Planning Board and the applicant, beyond the normal scope of information addressed in the Preliminary Site Plan Review application. The Planning Board “accepts” the CIS prior to taking action on a Preliminary Site Plan.

### A. Planning & Zoning Issues:

#### Use

The property is currently zoned B2 and D-3 in the Overlay District. The proposed retail, design services and restaurant uses are permitted principal uses in the B2 and D-3 zone districts. **However, the proposed restaurant use is not permitted on the fourth floor of a building in the D-3 Downtown Overlay zone, as a fourth floor is only permitted in this zone if it is used for residential units. Thus, the applicant will be required to obtain a variance for the use of the fourth floor as a restaurant, or to obtain approval of a rezoning of the property to D-4 in the Downtown Overlay. The applicant has submitted a rezoning petition to rezone the subject site from D-3 to D-4 in the Downtown Overlay.**

In addition, the applicant is proposing that the restaurant on the fourth floor serve alcoholic liquors, thus requiring a liquor license and a Special Land Use Permit. The applicant has advised that they wish to seek an Economic Development liquor license for use on this site given the significant investment in the redevelopment of the site. **However, Economic Development liquor licenses are not permitted for use on**

**the site, as none of the properties involved in this application are included on the map contained in Appendix C, Exhibit 1, of the Zoning Ordinance. Thus, the applicant will be required to obtain a variance for the use of an Economic Development license on the site, or obtain approval of a zoning amendment to alter the map contained in Appendix C, Exhibit 1 of the Zoning Ordinance to include the subject property. The applicant has submitted a request for an amendment to the Zoning Ordinance to amend Appendix C, Exhibit 1 to include the subject site. Should the zoning amendment be approved, the applicant will then be required to obtain a Special Land Use Permit along with Final Site Plan and Design approval from the City Commission.**

Master Plan Compliance: Downtown Birmingham 2016 Plan

Article 3, section 3.01 of the Zoning Ordinance states that the purposes of the Downtown Birmingham Overlay District are to:

- (a) Encourage and direct development within the boundaries of the Overlay Zoning District and implement the 2016 Plan;
- (b) Encourage a form of development that will achieve the physical qualities necessary to maintain and enhance the economic vitality of downtown Birmingham and to maintain the desired character of the City of Birmingham as stated in the 2016 Plan;
- (c) Encourage the renovation of buildings; ensure that new buildings are compatible with their context and the desired character of the city; ensure that all uses relate to the pedestrian; and, ensure that retail be safeguarded along specific street frontages; and
- (d) Ensure that new buildings are compatible with and enhance the historic districts which reflect the city's cultural, social, economic, political, and architectural heritage.

The proposed development implements the recommendations contained in the Downtown Birmingham 2016 Master Plan ("2016 Plan") as the applicant is proposing a mixed use building with first floor retail space, and the applicant has proposed high quality materials and provided architectural elements to provide a pedestrian scale on all sides of the proposed building.

In addition, the DB 2016 Report encourages D-3 flexible use buildings in this area, to provide a connection between Downtown and the south end of S. Old Woodward, and encourages anchor retail development. The proposed retail, gallery, design services and restaurant uses all work together to provide a significant retail anchor at this location, activating this

area. The 2016 Plan states that “Traditional American cities, except the very largest, rarely exceed five stories in building height and most commonly range from two to four stories. Downtown Birmingham adheres to this rule, with the most memorable streets tending to be at least two stories and the least memorable being mostly one story”. The Planning Division finds that the proposed four story building does meet the spirit and intent of the 2016 Plan as it does provide for significant massing at this important corner of Brown and S. Old Woodward. The proposed four story development also provides a transition from the five story Daxton Hotel to the north and the three story Forefront building to the south.

The proposed development and uses relate to the pedestrian, as the building is located at the property line and was designed with human scale detailing on the first floor, including canopies, large windows, and pedestrian entrances on S. Old Woodward, Daines and Brown streets. The 2016 Plan encourages proper building mass and scale to create an environment that is more comfortable to pedestrians creating a walkable downtown. The proposed development will help improve the visual appearance of the area, by creating a denser, more compact development with enough height to create a street wall along both S. Old Woodward, E. Brown and Daines. The main entry to the building is located along S. Old Woodward, with prominent entries also located on Daines, E. Brown Street and on the west elevation of the building at a proposed courtyard space.

In addition, the 2016 Plan encourages pedestrian-scale features which should be incorporated on the first floor of buildings and at entrances to help relate buildings to the streetscape. The design for the proposed building includes high quality materials, extensive storefront glazing, canopies, as well as pedestrian scale building lighting along both the S. Old Woodward, E. Brown and Daines façades.

Streetscape components are an integral part of the 2016 Plan. The applicant is required to maintain the pedestrian scale street lighting and street trees along S. Old Woodward and E. Brown Street. The Planning Board may wish to recommend the addition of benches and/or trash receptacles along S. Old Woodward in the public right-of-way. The applicant has not yet provided a streetscape plan. A full design review will be conducted at the time of Final Site Plan and Design Review.

## **B. Land Development Issues:**

The applicant has provided a survey of existing site conditions, which includes topographic conditions to demonstrate existing drainage conditions.

The applicant has submitted a Phase 1 Environmental Site Assessment dated December 11, 2020, prepared by PM Environmental. The report indicates that there is some evidence of recognized environmental conditions ("RECs") that are assumed to be present but could not be confirmed. These include the possibility of hazardous substances and /or petroleum products given prior use of the property for automotive service and sales, a dry cleaning facility, a fur retailer with possible repair or cleaning operations, and a gasoline dispensing station with underground storage tanks. Automotive service and repair facilities can include the use of hydraulic fluids and PCBs, and gasoline stations contain underground storage tanks that may have been orphaned and / or leaked into the surrounding soils. The previous dry cleaning use is likely to have involve the use of general hazardous substances, which may have caused subsurface contamination due to improper storage, management and / or disposal. Finally, the Phase 1 states that the fur retailer previous in operation on the site is likely to have involved the use of general hazardous substances for the cleaning and repair of fur garments, which may have caused subsurface contamination due to improper storage, management and / or disposal.

The applicant has submitted a document entitled Soil and Groundwater Analytical Results with readings taken on December 21, 2020. This analysis was prepared by PM Environmental, and included seven soil borings. Two borings were taken through asphalt paving, and five borings were taken below existing buildings on the site. The underlying native soil was stiff clay. The soil boring logs were also provided.

The applicant has stated in the CIS that approximately 23,000 cubic yards of soil will be excavated and removed from the site, along with the debris from the demolition of the existing buildings and parking lots. The CIS proposes haul routes to and from the site to come in from SB Woodward on Brown Street, then proceed south on S. Old Woodward, continuing away from the site on SB S. Old Woodward, then east on Hazel Street back to SB Woodward Avenue. A map detailing the proposed haul route was included with the CIS for your review.

The CIS states that the development may cause miscellaneous noise nuisances due to demolition activities, and the operation of heavy equipment. The CIS states that the site will be protected with barricades and clearly marked to protect pedestrians and motorists. The applicant proposes the use of water spray guns and sweepers to control dust and clean up any soil or debris tracked out of the construction zone.

### **C. Utilities, Noise and Air Issues:**

In accordance with the 2016 Plan, all utilities on the site should be buried

to visually enhance the site. Thus, the applicant will be required to bury all utilities on the site. The applicant has not indicated which utility companies will be servicing the site, but has indicated that all new lines on this site will be run underground as required.

As noted in the CIS, the applicant states that current ambient noise levels at the site are compatible with the proposed mixed use project. A noise study was prepared by Kolano and Saha Engineers, Inc. dated February 22, 2021. Noise readings were taken on site at a location 125' west of S. Old Woodward Avenue, and 100' south of E. Brown Street on February 15 – 17, 2021 using a Bruel & Kjaer 2270 environmental noise analyzer with a precision outdoor microphone assembly. The noise study reports that during the period of study, there were large amounts of snow falling and accumulating, as well as snow removal activity. Thus, while the presence of snow absorbs and reduces noise readings, snow removal activities also produced increased noise levels at six different times during the study. None of these levels were above the maximum noise levels for snow clearance as provided in the City Code. Two other readings were taken where construction related activity in the adjacent area caused spikes in the noise levels on site, also below the maximum levels permitted for construction activities. With the exception of the these snow clearance and construction events, the ambient noise levels on the site were below the day and night commercial noise levels of 90 dBA (daytime) and 75 dBA (nighttime).

The noise study states that the once the proposed building is completed, the primary sources of noise expected will be from heating and cooling systems and delivery trucks, both of which will be of similar levels to those emanating from adjacent buildings, and will be within the noise limits permitted in the City Code. Specification sheets for all mechanical equipment will be reviewed at Final Site Plan Review for noise output to ensure that the City's noise limits for commercial property will be met.

The applicant has stated in the CIS that the closest air quality monitoring station is located in Oak Park and that there are no air quality violations in this attainment area. The applicant has stated that the proposed development will be consistent with similar downtown building types and uses, and new construction materials and techniques will result in a cleaner, more sustainable building than those existing on the site. However, the CIS states that the additional density of the new building will create some additional pollution.

#### **D. Environmental Design and Historic Values:**

The applicant has indicated that no demonstrable destruction of natural features will take place at the site, as the site is largely impervious.

Demolition will include the elimination of two buildings and two surface parking areas. The proposed building will be similar in size, scale and materials to neighboring buildings, and will bring enhanced activity to an underutilized site. The CIS states that the new building will not block or degrade views from surrounding buildings, as the designers have studied the surroundings and designed the proposed building and site to enhance the overall area. The proposed building will alter the skyline on S. Old Woodward, as it blends in between the new five story Daxton Hotel north of the site, and the three story Forefront Building south of the site. The proposed new four story building will provide a transition between the properties to the north and south, and will assist in providing a focal point to visually reduce the width of S. Old Woodward. Along E. Brown Street, the proposed 4 story building will assist in balancing the mass of the 5 story Daxton Hotel on the north side of the street. The CIS states that there are very few trees on the site currently. These will be removed, and new, enhanced landscaped areas will be added on site. A complete design review, including streetscape elements, will be conducted as a part of the Final Site Plan review process.

The site is not listed on the National Register of Historic Places, nor is it on the City's list of historic sites. Review by the SHPO and HDC is not required. The CIS states that there are no properties or elements within the site plan boundaries that are historic. No historic properties are directly adjacent to the site. However, the Peabody Mansion located at 325 S. Old Woodward is across Old Woodward from the subject site.

#### **E. Refuse, Sewer and Water:**

The proposed floor plan for the first floor shows two back of house rooms towards the center of the building. These trash rooms are replicated on the upper floors of the building as well, so that each floor has two trash rooms. The CIS states that the trash rooms will be air-conditioned and will provide adequate space for separation of recyclable materials. The CIS further states that all trash will be removed for daily scheduled pick up. No details have been provided at this time to show the number or size of trash or recycling containers, nor to indicate how recycling will be collected within the building. The CIS does state that all trash generated from the proposed development will be normal and can be handled via standard removal practices.

The CIS states that there is a 12" existing water service within both the S. Old Woodward and E. Brown Street right-of-ways. An 8" water main also exists in the Daines Street right-of-way. The CIS states that the existing 12" water main along S. Old Woodward was installed in 2007 and has sufficient capacity to service the proposed building. The CIS further states that the applicant **may** use low flow toilets, faucets and greywater

recycling to reduce the amount of water entering the sewer system.

The CIS indicates that an existing sanitary sewer exists within the S. Old Woodward right-of-way in front of the proposed site, which will have the capacity to service the proposed development. The CIS also states that the storm sewer system that serves the site will not be exceeded or adversely affected by the runoff from the proposed development as no additional runoff will be directed to drain to the municipal storm sewer system along S. Old Woodward. In addition, the amount of impervious area on the site will be reduced due to landscaping and rooftop gardens and terraces.

#### **F. Public Safety:**

The applicant has stated that the proposed development provides adequate access for police, fire and emergency vehicles from E. Brown, Daines Street and S. Old Woodward. The CIS states that one of the elevators in the building will accommodate a medical cart, stretchers and emergency equipment. The applicant has advised that both elevators will accommodate a medical cart and other emergency equipment.

The Police and Fire Departments have not expressed any concerns. The applicant has advised that the building will have a full fire suppression system and/or standpipe, and will provide a Knox Box. The applicant has indicated that they will provide a Fire Department connection, but the location is not shown on the site plan or building elevations. **The Fire Department will require further information to ensure that all life safety issues have been addressed, including details on the fire suppression system, fire access and the Knox Box location.** This was not provided in the CIS and will be required at the time of Final Site Plan review. The CIS states that there will be security systems for the building. **The Police Department has not granted approval of the proposed security system at this time, but the applicant has indicated that the future tenant will submit this information for approval after final design is complete.**

#### **G. Transportation Issues:**

The CIS states that the subject site is accessible by SMART bus service (Route #1652) within 400' of the site, by motor vehicle, bicycle or on foot. The CIS indicates that proposed streetscape improvements will enhance the pedestrian environment, and crosswalk improvements will enhance pedestrian safety in the area. Given the location of the proposed development, a vast majority of retail options, restaurants, and personal services are also available within walking distance of the site.



The applicant has provided a Transportation Impact Study (“TIS”) prepared by ROWE Professional Services Company, dated February 24, 2021, using the City’s updated Transportation Impact Study form. The applicant’s TIS concluded that the vehicular traffic impacts of the proposed development will not have a significant impact at the study intersections or on the surrounding road network. Specifically, the study found that the proposed development will only generate 26 new vehicle trips during the PM peak hour, and 57 new trips during the SAT peak hour. Thus, the study concluded that no site access or transportation infrastructure improvements are recommended to support the proposed building and uses.

The City’s transportation consultant (“F & V”) has reviewed the TIS, and a review letter dated March 17, 2021 is attached for your review. **F & V has requested additional information and updates to the assumptions and methodologies utilized in the preparation of the TIS. F & V recommends that the applicant update the TIS as outlined in the letter dated March 17, 2021, and submit the preliminary outline of the updated study to the City prior to performing the analysis.**

#### **H. Parking Issues:**

The applicant indicates that a total of 24 parking spaces are proposed, with all spaces located in the underground parking level. As the property is located within the Parking Assessment District, no on site parking is required as no residential use is proposed.

#### **I. Natural Features:**

The applicant has indicated that there will be little impact on natural features or bodies of water as a result of the proposed development, as the site is currently 100% impervious surface. Existing site trees and shrubs will be removed, but extensive landscaping will be provided with the new development.

#### **J. Departmental Reports**

1. Engineering Division – Comments from the Engineering will be provided prior to the Planning Board meeting on March 24, 2021.
2. Department of Public Services – The Department of Public Services will provide their comments prior to the Planning Board meeting on March 24, 2021.
3. Fire Department – The Fire Department will provide their comments

prior to the Planning Board meeting on March 24, 2021.

4. Police Department – The Police Department will provide their comments prior to the Planning Board meeting on March 24, 2021.
5. Building Division – The Building Division has examined the plans for the proposed project. The plans were provided to the Planning Department for site plan review purposes only and present conceptual elevations and floor plans. Although the plans lack sufficient detail to perform a code review, the following comments are offered for review purposes and applicant consideration:

The north and south exits stairway enclosures both are connected to the exit discharge (exterior of the building) on the first floor by exit passageways as permitted by Section 1023.3.1 of the building code. Exit passageways are subject to the requirements of Section 1024 of the code. Section 1024.5 limits the openings into exit passageways to the exit stair and normally occupied areas of the building. **The B.O.H. room in the north passageway and the receiving area, trash room and freight elevator shown in the south passageway are not permitted.** The applicant has now submitted revised plans that correct this issue.

#### **K. Summary of CIS:**

The following issues remain outstanding with regards to the CIS:

- (1) The applicant must update the TIS as outlined in the March 17, 2021 letter from F & V and resubmit for review;
- (2) The applicant is required to provide information on all life safety issues for Fire Dept. approval; and
- (3) The applicant is required to provide information on the proposed security system for approval by the Police Department.

#### **L. Suggested Action:**

1. To postpone action on the Community Impact Study as provided by the applicant for the proposed development at 300 - 394 S. Old Woodward and a portion of 294 E. Brown Street, allowing the applicant the opportunity to address the issues raised above.

Or

2. To accept the Community Impact Study as provided by the applicant for the proposed development at 300 - 394 S. Old Woodward and a portion of

294 E. Brown Street with the following conditions:

- (1) The applicant provide a soil report for the subject site;
- (2) The applicant must update the TIS as outlined in the March 17, 2021 letter from F & V and resubmit for review;
- (3) The applicant is required to provide information on all life safety issues and Fire Dept. approval; and
- (4) The applicant is required to provide information on the proposed security system for approval by the Police Department.

Or

3. To decline the Community Impact Study as provided by the applicant for the proposed development at 300 - 394 S. Old Woodward and a portion of 294 E. Brown Street for the following reasons:
  - a. \_\_\_\_\_
  - b. \_\_\_\_\_
  - c. \_\_\_\_\_

# Preliminary Site Plan Review

## III. Preliminary Site Plan Review

### 1.0 Land Use and Zoning

1.1. Existing Land Use – The existing land uses on the site include Capital Title/Lutz and Coldwell Banker Weir Manual real estate services, as well as Roche Bobois' retail use and Frank's Shoe Repair Services. The existing Capital Title/Lutz and Frank's Shoe Repair building are proposed to be demolished to allow construction of the proposed four story mixed use building.

1.2 Zoning – The property is zoned B2 General Business, and D-3 in the Downtown Overlay District. The proposed retail, gallery, design services and restaurant use and surrounding uses appear to conform to the permitted uses of the zoning district. **However, the use of the fourth floor as a restaurant is not permitted in the D-3 zoning district, which allows a fourth floor only when used for residential units. Thus, the applicant must obtain a variance for this use, or obtain the requested rezoning from D-3 to D-4 in the Downtown Overlay District.**

In addition, the applicant is proposing that the restaurant on the fourth floor serve alcoholic liquors, thus requiring a liquor license and a Special Land Use Permit. The applicant has advised that they wish to seek an Economic Development liquor license for use on this site given the significant investment in the redevelopment of the site. **However, Economic Development liquor licenses are not permitted for use on the site, as none of the properties involved in this application are included on the map contained in Appendix C, Exhibit 1, of the Zoning Ordinance. Thus, the applicant will be required to obtain a variance for the use of an Economic Development license on the site, or obtain approval of a zoning amendment to alter the map contained in Appendix C, Exhibit 1 of the Zoning Ordinance to include the subject property. The applicant has submitted a request for an amendment to the Zoning Ordinance to amend Appendix C, Exhibit 1 to include the subject site.**

1.3 Summary of Adjacent Land Use and Zoning - The following chart summarizes existing land use and zoning adjacent to and/or in the vicinity of the subject site, including the 2016 Regulating Plan.

	North	South	East	West
<b>Existing Land Use</b>	Retail/ Commercial / Hotel	Retail/ Commercial & Residential	Retail/ Commercial	Commercial/ Parking
<b>Existing Zoning District</b>	B-4 Business Residential	B-2B General Business	B-2 General Business & B-3 Office- Residential	B-2 General Business
<b>Overlay Zoning District</b>	D-4	D-2	D-3	D-3

## 2.0 Setback and Height Requirements

Please see the attached Zoning Compliance Summary Sheet for detailed zoning compliance information. The proposed four story building meets all of the setback and placement requirements of the D-3 zoning district, and most of the height, scale and mass development standards. **However, the applicant will be required to reduce the height of the proposed building to 68' and 3 stories and the eave height to 34' maximum, or obtain the requested rezoning of the site from D-3 to D-4 in the Downtown Overlay District, or obtain a variance from the Board of Zoning Appeals.**

## 3.0 Screening and Landscaping

- 3.1 Dumpster Screening – The applicant is proposing to store all trash in containers in two back of house rooms located towards the center of the building on each floor. All trash rooms will be air conditioned. The rooms have no windows and are fully screened within the building on all levels.
- 3.2 Parking Lot Screening – The applicant is proposing 24 parking spaces in the underground parking level. No barrier-free parking spaces are indicated at this time. The underground parking area is fully enclosed, with a 20.5' wide vehicular entrance off of Daines. Six public parking spaces are also located on S. Old Woodward, including 1 barrier-free space.

- 3.3 Mechanical Equipment Screening –The applicant has provided specification sheets for a selection of mechanical equipment. **A roof plan has not been provided at this time, but will be required at Final Site Plan and Design Review.** From the building elevations it appears that two mechanical enclosures are proposed on the rooftop of the restaurant back of house areas, to be screened by a parapet system. The applicant is also proposing a ground-mounted transformer to be located along the north elevation of the building on E. Brown. The transformer is proposed to be screened by Green Velvet Boxwoods on the east side, Emerald Green Arborvitae on the south side, and additional plantings are shown on the north and west sides of the transformer, but no species type or size is indicated at this time. **Details regarding the type, size and placement of all mechanical equipment and associated screening must be provided at the time of Final Site Plan review.**
- 3.4 Landscaping –A detailed landscape plan has been provided which shows extensive plantings surrounding the building, and on the rooftop terrace space adjacent to the fourth floor restaurant.

The only landscaping requirements that apply to the proposed development are the street tree standards, and mechanical equipment screening. The Downtown Overlay District requires that one street tree be provided for every 40' of street frontage. Thus, 5 street trees are required along S. Old Woodward, and 8 Kindred Spirit Columnar Oak street trees are proposed. Three street trees are required along both E. Brown and Daines Street. Four Hybrid Elm street trees are proposed along E. Brown, but space is not available for the addition of street trees along Daines, as a minimum 5' wide sidewalk would not remain. **The applicant must obtain a waiver of the street tree requirement from the City's Arborist on Daines.** The applicant has however proposed 3 Green Vase Zelkovia trees on private property along the sidewalk edge that will function as street trees along Daines Street.

As stated, extensive landscaping is proposed surrounding the building on all sides. In the right-of-way along S. Old Woodward, All Gold Japanese Grass is proposed in large raised planters between street trees. This design may change as the plans for the improvements to S. Old Woodward between Brown Street and Lincoln progress. **All plantings along S. Old Woodward will be required to be consistent with the enhanced streetscape design planned by the City for future construction.**

On the E. Brown frontage, Green Velvet Boxwoods are proposed to

line the sidewalk, with Little Quick Fire Hydrangea and Slender Silhouette Sweetgum trees mixed in, and Green Carpet Pachysandra proposed as groundcover. Additional landscaping is proposed to screen the transformer as discussed above. On the Daines Street frontage, the applicant is proposing a landscaped outdoor courtyard, to be surrounded on three sides by a masonry and metal picket screen wall, with All Gold Japanese Grass planted on the outside of the wall, and three Green Vase Zelkovia trees lining the street on the inside of the wall. Within the courtyard area and flanking the building entrances, Green Velvet Boxwood and Slender Silhouette Sweetgum trees and Little Quick Fire Hydrangea shrubs are also proposed. **Six additional shrubs are located in the courtyard area, but no species information has been provided at this time.**

Along the western elevation of the building, the applicant is proposing to create a pedestrian via lined on both sides by extensive landscaping and punctuated by several outdoor seating areas. The pedestrian via proposed is 5' wide, and is lined to the east with Green Velvet Boxwood, Bobo Hydrangea and K. Forester Feather Grass, with Little Quick Fire Hydrangea shrubs in planters at the western building entry. **Six additional shrubs are located along the western elevation of the building, but no species information has been provided at this time.**

The proposed via is also lined to the west with a clipped evergreen hedge of Hatfield Yews and Limelight Hydrangea shrubs on the subject site. In addition, the applicant is proposing landscaping improvements extending onto the property to the west at 294 E. Brown Street. Plantings proposed on the adjacent property include Hatfield Yews, Bobo Hydrangeas, Incrediball Hydrangea, Frans Fontaine Hornbeam trees and Limelight Hydrangea shrubs. **All landscaping changes proposed for the adjacent site must receive separate Planning approval and are not included in this site plan review approval.**

### 3.5 Streetscape Elements

In accordance with Downtown Streetscape Standards, the following streetscape standards must be met.

- Provide Sidewalks - Based on the drawings submitted the sidewalk along S. Old Woodward is proposed to be 15' in width, with an 8' pedestrian path at its narrowest, and street trees and planting beds in the furnishing zone closer to the curbline. The existing sidewalk along Daines Street will

remain at 6.5' in width. While this does not permit space for street trees, the applicant is proposing 3 trees on their property that will act in lieu of street trees. The sidewalk proposed along E. Brown is proposed to be 13' in width, with a 7.5' pedestrian path and street trees in tree wells lining the roadway.

- Exposed aggregate along curb with broom finish in pedestrian path – The applicant has provided the standard sidewalk design with a broom finish pedestrian path and exposed aggregate between the pedestrian path and the curb on S. Old Woodward and E. Brown. The applicant will be required to replace all existing sidewalk to provide the exposed aggregate sections in the furniture zone along S. Old Woodward, and to use the required joint pattern. **All streetscape elements on S. Old Woodward will be required to be consistent with the enhanced streetscape design planned by the City for future construction.**
- Pedestrian level street lighting along all sidewalks with hanging planters. Plans submitted indicate the required pedestrian scale street lights are in place along S. Old Woodward and E. Brown Street, spaced 40' on center as required. Pedestrian scale lighting is not required along Daines Street. **No details have been provided regarding the existence or installation of hanging planters.**
- Benches and trash receptacles in park and plaza areas and along adjoining sidewalks where pedestrian activity will benefit as determined by the Planning Board. The applicant is proposing to add a City bench, trash receptacle and a bicycle rack along E. Brown Street, adjacent to the new via. All furniture proposed must be the City approved standard design for the Downtown Overlay District. Along S. Old Woodward, there is an existing granite bench near the corner of E. Brown Street. The Planning Board may wish to recommend the addition of benches, bicycle racks and/or trash receptacles along S. Old Woodward. **However, all streetscape elements on S. Old Woodward will be required to be consistent with the enhanced streetscape design planned by the City for future construction.**

The proposed 6.5' sidewalk along Daines is not wide enough to allow room for street furniture. However, as noted above the proposed courtyard area on private property will provide an enhanced pedestrian experience along Daines.

**The applicant will be required to provide a complete streetscape plan at the time of Final Site Plan review that meets**



each of the streetscape standards listed above.

#### 4.0 Parking, Loading and Circulation

- 4.1 Parking – No on-site parking is required for the proposed retail or commercial uses as the site is located within the Parking Assessment District. However, the applicant is proposing 24 parking spaces on site in an underground parking level. All parking spaces meet the minimum size requirement of 180 square feet, and are not located within the first floor storefronts. Six public right-of-way parking spaces exist along the S. Old Woodward frontage at this time. **The applicant has expressed a desire for a small valet parking operation, which must be reviewed and approved by the Police Department and/or City Commission.**
- 4.2 Loading – In accordance with Article 4, section 4.22 of the Zoning Ordinance, three loading spaces are required for the proposed development as the building is 50,483 sq.ft. in size. The applicant is proposing two loading spaces on the entry drive to the underground parking level, which is fully screened within the building. One portion of a loading space extends outside of the building, but landscaping materials assist in screening on both the east and west sides of this drive should this loading space be needed. **The applicant will be required to add a loading space, or obtain a variance from the Board of Zoning Appeals.**
- 4.3 Vehicular Circulation and Access – The proposed development includes the removal of one curb cut on S. Old Woodward, and one curb cut on E. Brown Street. The existing curb cut on Daines will be relocated to the west to provide vehicular access to the underground parking level. Vehicles entering the site from Daines do so via a 20.5' wide entrance to park under the building. With regards to internal circulation on the site, a minimum 17' wide two way drive has been provided through the parking level. The proposed drive widths on the interior of the site are adequate for proper maneuvering within the site.
- 4.4 Pedestrian Circulation and Access – As discussed above, the applicant has provided pedestrian entrances on all sides of the building. The main entrances are located on the east and west elevations of the building, directly across from the other, leading to a great room in the center of the building. Smaller entrances are also located on E. Brown, and off of the courtyard area on Daines. All entrances are directly accessible from a City sidewalk or the new pedestrian via which connects the City sidewalks on E. Brown and Daines.

## 5.0 Lighting

The applicant has submitted a photometric plan as part of the Preliminary Site Plan Review application. No lighting specification sheets have been provided at this time, and must be submitted at Final Site Plan review to determine compliance with the Zoning Ordinance lighting standards.

The photometric plan and building elevations show two large lantern style light fixtures at all entrances on each of the four building elevations, to be mounted at 9' above grade. The photometric plan also shows 26 Bega 17 watt LED in-grade floodlights proposed around the entire building. Eight other light fixtures are proposed that appear to be mounted at a height of 12' in each of the street trees lining S. Old Woodward and E. Brown Street. **No details or specification sheets for the proposed fixtures have been provided at this time. However, none of the fixtures appear to be cut-off fixtures. A full review of the lighting plan will be performed at the time of Final Site Plan review. The applicant must submit specification sheets on all proposed lighting with the Final Site Plan Application.**

## 6.0 Departmental Reports

6.1 Engineering Division – The Engineering Department will provide comments prior to the Planning Board meeting on March 24, 2021.

6.2 Department of Public Services – The Department of Public Services will provide comments prior to the Planning Board meeting on March 24, 2021.

6.3 Fire Department – The Fire Department will provide comments prior to the Planning Board meeting on March 24, 2021.

6.4 Police Department – The Police Department will provide comments prior to the Planning Board meeting on March 24, 2021.

6. Building Division – The Building Division has examined the plans for the proposed project. The plans were provided to the Planning Department for site plan review purposes only and present conceptual elevations and floor plans. Although the plans lack sufficient detail to perform a code review, the following comments are offered for review purposes and applicant consideration:

The north and south exits stairway enclosures both are connected to the exit discharge (exterior of the building) on the first floor by exit passageways as permitted by Section

1023.3.1 of the building code. Exit passageways are subject to the requirements of Section 1024 of the code. Section 1024.5 limits the openings into exit passageways to the exit stair and normally occupied areas of the building. **The B.O.H. room in the north passageway and the receiving area, trash room and freight elevator shown in the south passageway are not permitted.** The applicant has now submitted revised plans that correct this issue.

## **7.0 Design Review**

A detailed design review will be conducted at the Final Site Plan review. At this time, the applicant has provided elevations and renderings of the proposed building. Contextual renderings have also been provided to show the existing S. Old Woodward streetscape and skyline. Some basic information on building materials has also been provided. The applicant is proposing to utilize the following materials for the construction of the four story, mixed use building:

- Reddish-brown Norman brick for the main body of the building;
- Mankato Limestone to highlight vertical portions of the building at each of the entrances;
- Hope steel windows and doors in black;
- Stucco to match the Mankato Limestone on portions of the upper level parapet and rooftop mechanical screen walls;
- Black metal awnings and railings; and
- Clear glazing on all windows, tinted glazing on the rooftop of the restaurant conservatory.

**No material samples or color specifics have been provided at this time, but will be required at the time of Final Site Plan review.**

Article 3, section 3.04(E), Downtown Overlay District, of the Zoning Ordinance contains architectural and design standards that will apply to this building, including specific requirements for the design and relief of front façades, glazing requirements, window and door standards and proportions, roof design, building materials, awnings and other pedestrian scaled architectural features.

The proposed building appears to meet most of the architectural standards set out in Article 3, Downtown Birmingham Overlay District, of the Zoning Ordinance as the first floor storefronts are directly accessible from the sidewalk, the storefront windows are vertically proportioned, no blank walls face a public street, balconies and railings are made of metal, and the main entries incorporate canopy features to add architectural interest on a pedestrian scale. In addition, it appears that at least 90% of the exterior finish of the building is brick, limestone and glass, the storefront windows have mullion systems, and the required

storefront glazing minimum appears to have been met. All of this will be verified at Final Site Plan and Design Review.

All proposed building signage will be reviewed at Final Site Plan and Design Review in conjunction with the proposed Special Land Use Permit application. The signage as proposed would be considered building identification signage, and would not be permitted to be illuminated.

One design issue that the Planning Board may wish to discuss concerns the required screen wall along S. Old Woodward where the building does not extend all the way down to Daines. While a screen wall is required to be between 2.5' and 3.5' in height in the absence of a building façade, the proposed masonry screen wall has several areas that are open and accented with steel picket fencing. While openings in required screen walls are permitted to allow for pedestrian and vehicle access, the Planning Board may wish to discuss the number and width of the open sections of the screen wall. Between the screen wall and the proposed plantings in the courtyard, while there is not a building façade, there is much to add pedestrian interest and define the street wall.

**The Planning Division will reserve detailed analysis and comments regarding architectural standards and design related issues for the Final Site Plan and Design Review.**

## **8.0 Approval Criteria**

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- (1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- (2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- (3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property not diminish the value thereof.
- (4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- (5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and

purpose of this chapter.

- (6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

## **9.0 Recommendation**

Based on a review of the site plan revisions submitted, the Planning Division recommends that the Planning Board POSTPONE the Preliminary Site Plan for 300 - 394 S. Old Woodward and a portion of 294 E. Brown Street pending receipt of an updated CIS addressing all issues noted in the CIS review above.

## **10.0 Sample Motion Language**

Motion to POSTPONE the Preliminary Site Plan for 300 - 394 S. Old Woodward and a portion of 294 E. Brown Street pending receipt of an updated CIS addressing all issues noted in the CIS review above.

OR

Motion to APPROVE the Preliminary Site Plan for 300 - 394 S. Old Woodward and a portion of 294 E. Brown Street subject to the following conditions:

- (1) The applicant is required to obtain approval of the City Commission for the proposed lot splits and lot combination to create the new lot that is the subject of this application and shown on the site plan;
- (2) The applicant obtain a variance for the use of the fourth floor as a restaurant, or obtain approval of a rezoning of the property to D-4 in the Downtown Overlay;
- (3) The applicant obtain a variance for the use of an Economic Development license on the site, or obtain approval of a zoning amendment to alter the map contained in Appendix C, Exhibit 1 of the Zoning Ordinance to include the subject property;
- (4) The applicant reduce the height of the proposed building to 68' and 3 stories and the eave height to 34' maximum, or obtain the requested rezoning of the site from D-3 to D-4 in the Downtown Overlay District, or obtain a variance from the Board of Zoning Appeals;
- (5) The applicant provide a roof plan, details regarding the type, size and placement of all mechanical equipment and associated screening, and specification sheets for all equipment at the time of Final Site Plan Review;
- (6) The applicant update the landscape plan to provide species and size details on all proposed plantings, and provide material specifications

on hardscape items at the time of Final Site Plan Review;

- (7) The applicant is required to receive separate Planning approval for all landscaping changes proposed for the adjacent site, as they are not included in this site plan review approval;
- (8) The applicant must submit a complete streetscape plan, including detail on hanging planters, at the time of Final Site Plan review;
- (9) All streetscape elements on S. Old Woodward will be required to be consistent with the enhanced streetscape design planned by the City for future construction;
- (10) The applicant must obtain approval of the Police Department and / or City Commission for any valet operation proposed;
- (11) The applicant must submit all light fixture specification sheets and material and color samples at Final Site Plan Review;
- (12) Compliance with the requirements of all departments;
- (13) The applicant is required to add a loading space, or obtain a variance from the Board of Zoning Appeals; and
- (14) The applicant provide all material samples, specifications and colors at the time of Final Site Plan Review.

OR

Motion to DENY the Preliminary Site Plan for 300 - 394 S. Old Woodward and a portion of 294 E. Brown Street

**Zoning Compliance Summary Sheet**  
**Preliminary Site Plan Review & Community Impact Study**  
**300 and 394 S. Old Woodward, portions of 294 E. Brown – Mixed Use Building**

---

**Existing Site:**

**Zoning:** B-2, General Business, D-3 (**Proposed for rezoning to D-4, thus D-4 requirements are in blue type for comparison purposes**)  
**Land Use:** Lutz/Capital Title, Frank's Shoe Repair & portion of Coldwell Banker Weir Manual parking lot

**Existing Land Use and Zoning of Adjacent Properties:**

	North	South	East	West
<b>Existing Land Use</b>	Retail/ Commercial	Retail/ Commercial & Residential	Retail/ Commercial	Commercial/ Parking
<b>Existing Zoning District</b>	B-4 Business Residential	B-2B General Business	B-2 General Business & B-3 Office- Residential	B-2 General Business
<b>Overlay Zoning District</b>	D-4	D-2	D-3	D-3

**Land Area:** existing: 54,052.96 sq.ft. or 1.24 acres (total of all parcels prior to lot splits / combination)  
proposed: 20,380 sq.ft. (new lot created after splits / combination)

**Minimum Lot Area:** required: N/A  
proposed: N/A

**Minimum Floor Area Per Unit:** required: N/A as no residential use is proposed  
proposed: N/A

**Maximum Total Floor Area:** required: N/A  
proposed: N/A

<b>Minimum Open Space:</b>	required:	N/A
	Proposed:	N/A
<b>Maximum Lot Coverage:</b>	required:	N/A
	proposed:	N/A
<b>Front Setback:</b>	required:	0', building facades at the first story must be located at the frontage line (on or within 3' of the frontage line), Planning Board may adjust to average setback.
	proposed:	0 – 1' along S. Old Woodward
<b>Side Setbacks:</b>	required:	0'
	proposed:	3.58' on Brown, 15.5 – 30.41' on Daines
<b>Rear Setback:</b>	required:	10' from midpoint of alley or equal to that of adjacent building (7' – Forefront Building)
	proposed:	10.83' (no alley)
<b>Max. Bldg. Height:</b>	permitted:	D-3 – 68' overall (including mechanical), 34' maximum eave height, 4 stories (if 4th floor is used for residential and is set back 10' or on a 45 degree or less plane from the eave line). <b>D-4 – 80' overall (including mechanical), 58' maximum eave height, 5 stories (if 5th floor is used for residential and is set back 10' or on a 45 degree or less plane from the eave line).</b>
	proposed:	69' overall height at tallest point including mechanical equipment and screening, 52' to the eave line, 4 stories.

**The height of the proposed building must be reduced to 68' and 3 stories, and the eave height reduced to 34' maximum, or the applicant must obtain the requested rezoning of the site from D-3 to D-4 in the Downtown Overlay District.**

<b>Minimum Eave Height:</b>	required:	20'.
	proposed:	52'
<b>Floor to Ceiling Height:</b>	required:	10' in height between finished floor and finished ceiling on the first level.
	proposed:	18'

---



**Front Entry:**                      required:      Principal pedestrian entrances must be on the frontage line (S. Old Woodward).  
   proposed:      Main entry 3' off frontage line on S. Old Woodward

**The City Attorney deemed this section to be invalid as it is in conflict with the Building Code, thus the applicant is not required to comply with this provision.**

**Absence of Building Façade:**                      required:      Screen wall along all frontage lines where there is no building façade to provide a continuous street wall.  
   proposed:      Building provides continuous street wall on S. Old Woodward, with the exception of the southernmost 30.4' of frontage next to Daines Street. This area is enclosed with a 3.5' high masonry screen wall with open portions of black steel picket fencing

**The Planning Board may wish to consider the number and width of openings in the masonry screen wall that are accented with steel picket fencing. Openings are permitted to allow for pedestrian and vehicle access.**

**Opening Width:**                      required:      Maximum 25' wide opening.  
   proposed:      One 20.5' wide opening on Daines is proposed for vehicular access to the underground parking level.

**Parking:**                                      required:      None as property is located in the Parking Assessment District.  
   proposed:      24 parking spaces in underground parking level

**Parking in Frontage:**                      required:      No parking in front open space or within 20' of building frontage  
   proposed:      None

**Loading Area:**                              required:      3 loading spaces (building is over 50,000 sq.ft. in size), must be 12' by 40' by 14' in height.  
   proposed:      2 loading spaces, enclosed within the building at vehicular entry (12' by 40' by 18' in height)

---

**The applicant will be required to provide an additional loading space, or obtain a variance from the Board of Zoning Appeals.**

**Screening:**

<u>Parking:</u>	required:	Minimum 32" high masonry wall with stone cap.
	proposed:	All parking is proposed within the building.

<u>Loading:</u>	required:	Minimum 6' screening where open to public view
	proposed:	Loading spaces are proposed within the building.

<u>Rooftop Mechanical:</u>	required:	Full screening to compliment the building.
	proposed:	All rooftop mechanical appears to be screened by a screening system matching the building.

**The applicant will be required to provide all mechanical specification sheets and screening details at Final Site Plan Review.**

<u>Elect. Transformer:</u>	required:	Fully screened from public view.
	proposed:	One transformer location is noted along the north elevation of the building on S. Brown Street, fully screened by plantings.

<u>Dumpster:</u>	required:	6' high capped masonry wall with wooden gates
	proposed:	All trash and recyclable storage is proposed within the structure, with direct access from the northern elevation along Daines.



# MKSK

March 17, 2021

VIA EMAIL [Jecker@bhamgov.org](mailto:Jecker@bhamgov.org)

Ms. Jana L. Ecker  
Planning Director  
City of Birmingham  
151 Martin Street, P.O. Box 3001  
Birmingham, MI 48012

**RE: RH Development  
300 S. Old Woodward Ave. Birmingham, MI  
Traffic Impact Statement Review**

Dear Ms. Ecker:

Fleis & VandenBrink (F&V) staff have completed our review of the proposed RH Development Traffic Impact Statement prepared by Rowe PSC, dated February 24, 2021, which was received by F&V on March 8, 2021. Based on our review of the TIS we have the following comments:

### EXISTING TRAFFIC VOLUMES

1. The Saturday peak hours were adjusted up by 52% to account for COVID impacts. This was based on weekday data. The Saturday traffic volumes are more typical of pre-COVID operations, therefore the adjustment factors considered in this evaluation likely provide a conservative analysis.

### TRIP GENERATION

2. The trip generation calculations used the study were scaled from an existing 79,349 SF RH development in West Palm Beach, Florida to calculate the trips generated for this 49,810 SF store in Birmingham, Michigan. The trip generation for this site should be revised include the evaluation of the higher of the following two options: The total trip generation associated with the 79,349 SF RH Site, or the ITE Trip Generation, 10<sup>th</sup> Edition calculations for Furniture Store and Restaurant (including any rooftop and outdoor dining areas).
3. The analysis used 1.42 persons per vehicle occupancy rate of for the Furniture Store vehicle-based trips; however, no evaluation of the Restaurant land use was considered for this site. Both the Restaurant and Furniture Store should be included in the evaluation.
4. ITE data was used to calculate the modal split for this site. The City of Birmingham SEMCOG modal split data should be used in the calculations.
5. The trip generation analysis did not include any analysis or reduction for internal trip reduction. Given the infill nature of this project, this should be considered in the evaluation.
6. The person trips used in this analysis should be revised to reflect the comments noted herein regarding the trip generation, vehicle occupancy, modal split, and internal trips. In addition, the engineer is advised to submit the trip generation to the City for review prior to performing the analysis.
7. Provide a person-trip generation comparison between the existing land uses and the proposed land uses for this site.

**27725 Stansbury Boulevard, Suite 195  
Farmington Hills, MI 48334**  
P: 248.536.0080  
F: 248.536.0079  
[www.fveng.com](http://www.fveng.com)

## TRIP DISTRIBUTION

8. The trip distribution calculations should be reviewed to insure they are applicable for this development. Information should be provided regarding the calculation methodology. In addition, the engineer is advised to submit the trip distribution to the City for review prior to performing the analysis.

## EXISTING/BACKGROUND/FUTURE CONDITIONS

9. The intersection operational analyses provided includes delay and LOS summarized by approach. It is recommended to provide detailed data by *movement*, as delays are noted for left-turns on Brown Street and it is unclear how the LOS is impacted by the left-turning movements.
10. The future conditions analysis is based on the aforementioned data that requires revision, including the additional vehicle, pedestrian, and bike traffic generated by the site. Therefore, no comments are provided at this time.
11. The Figures included in the TIS should be revised to show the vehicle, pedestrian, and bike trips generated at the study intersections.
12. The Synchro models prepared for this analysis should be included in subsequent submittals.
13. The signal at Old Woodward & Brown Street includes leading pedestrian intervals and these should be included in the operational and queueing analysis. Provide a copy of the signal timing permit used in the analysis in the Appendix.

## SITE CIRCULATION

14. Additional information is necessary to determine the traffic impacts associated with the proposed parking garage operations and projected vehicle queuing. The analysis performed assumes the garage provides a free flow operation (no gate) and is open for use. If the parking garage will have restrictions, this needs to be considered in the evaluation. Provide additional information regarding the proposed parking garage operations and subsequent projected vehicle queuing.

## CRASH ANALYSIS

15. The results of the crash analysis indicate there is a high volume of parking related crashes in the vicinity of the project. Recommendations include: Review of existing "No U-Turn" signs, additional signage, and public outreach on how to properly enter and exit angle parking spaces.

## MULTIMODAL CONSIDERATIONS

16. The Multi-Modal plan includes the addition of shared-use lane markings "Sharrows" on both Brown Street and Old Woodward. The site plan provides a bike rack that can accommodate two (2) bikes. It is recommended that the bike parking provided for this site can accommodate, at a minimum, the number daily bikes that will be generated by the proposed development.
17. There is an existing transit Stop on Old Woodward at Daines. No additional transit stop improvements are proposed with this project.

## SUMMARY

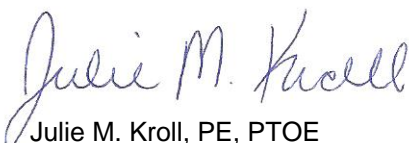
An updated TIS is requested to address the items identified herein. In addition, the engineer is advised to submit the preliminary to the City for review prior to performing the analysis.

We hope that this report addresses the City's needs regarding this project. If you have any questions, please do not hesitate to contact us at your convenience.

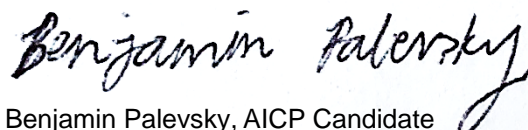
Sincerely,

FLEIS & VANDENBRINK ENGINEERING, INC.

MKSK



Julie M. Kroll, PE, PTOE  
Traffic Engineering Services Manager

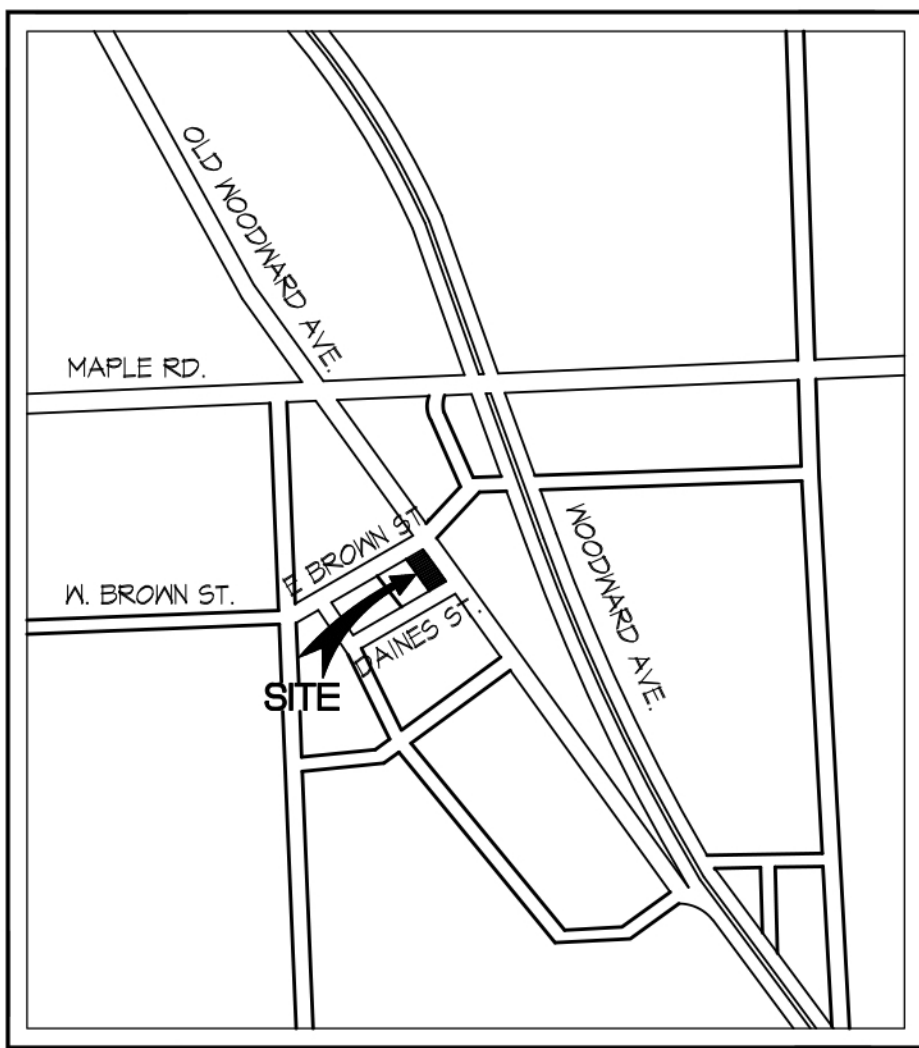


Benjamin Palevsky, AICP Candidate  
Urban Planner

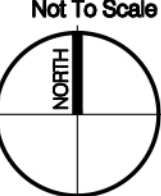


ZONED B4

BROWN STREET



site location map:



ZONED B3 (Across Old Woodward)

OLD WOODWARD AVENUE

**LEGAL DESCRIPTION - SWAP PARCEL 1**  
LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:  
PART OF LOT 12 OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; BEING DESCRIBED AS: BEGINNING AT A POINT DISTANT 5.62°00'00"W. 119.37 FEET FROM THE NORTHEAST CORNER OF LOT 13 OF SAID BROWN'S ADDITION SUBDIVISION; THENCE S.35°35'52"E. 100.00 FEET; THENCE S.62°00'00"W. 30.76 FEET; THENCE N.36°14'00"W. 100.15 FEET; THENCE N.62°00'00"E. 31.88 FEET TO THE POINT OF BEGINNING. CONTAINING: 3,104 SQUARE FEET OR 0.07 ACRES OF LAND

**LEGAL DESCRIPTION - SWAP PARCEL 2**  
LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:  
PART OF LOT 15 OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; BEING DESCRIBED AS: BEGINNING AT A POINT DISTANT 5.62°00'00"W. 119.37 FEET AND S.35°35'52"E. 100.00 FEET FROM THE NORTHEAST CORNER OF LOT 13 OF BROWN'S ADDITION SUBDIVISION AS RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; THENCE N.62°00'00"E. 19.24 FEET; THENCE S.35°14'00"E. 100.15 FEET; THENCE S.62°00'00"W. 20.36 FEET; THENCE N.35°35'52"W. 100.00 FEET TO THE POINT OF BEGINNING. CONTAINING: 1,963 SQUARE FEET OR 0.04 ACRES OF LAND

**SAROKI**  
ARCHITECTURE

430 N. OLD WOODWARD  
BIRMINGHAM, MI 48009

P. 248.258.5707  
F. 248.258.5515

SarokiArchitecture.com

**Project:**  
RH / Mixed-Use  
300 S Old Woodward  
Birmingham, MI 48009

**Date:** 03-17-2021 **Issued For:** Preliminary Site Plan App.

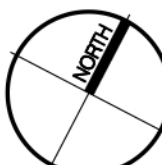
Sheet No.:

**SP01**  
Architectural Site Plan

BUILDING SQUARE FOOTAGE TOTALS	
FIRST LEVEL:	13,400 SF
SECOND LEVEL:	14,344 SF
THIRD LEVEL:	14,344 SF
FOURTH LEVEL:	7,722 SF
TOTAL:	49,810 SF
LOWER PARKING LEVEL: 15,073 SF (24 PARKING SPACES)	

DAINES STREET

ZONED B-2B



Architectural Site Plan  
SCALE: 3/32" = 1'-0"

1 2 3 4 5 6 7 8 9 10

A  
B  
C  
D  
E  
F  
G  
H



A  
B  
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F  
G  
H

BROWN STREET

OLD WOODWARD AVENUE

DAINES STREET

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Project:  
RH / Mixed-Use  
300 S Old Woodward  
Birmingham, MI 48009

Date: Issued For:  
03-16-2021 Preliminary Site Plan App.

Sheet No.:

**A100**  
Lower Parking Level Floor Plan

  **Parking Level Floor Plan**  
SCALE: 3/32" = 1'-0"

1 2 3 4 5 6 7 8 9 10



A  
B  
C  
D  
E  
F  
G  
H

1 2 3 4 5 6 7 8 9 10



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300 S Old Woodward  
Birmingham, MI 48009

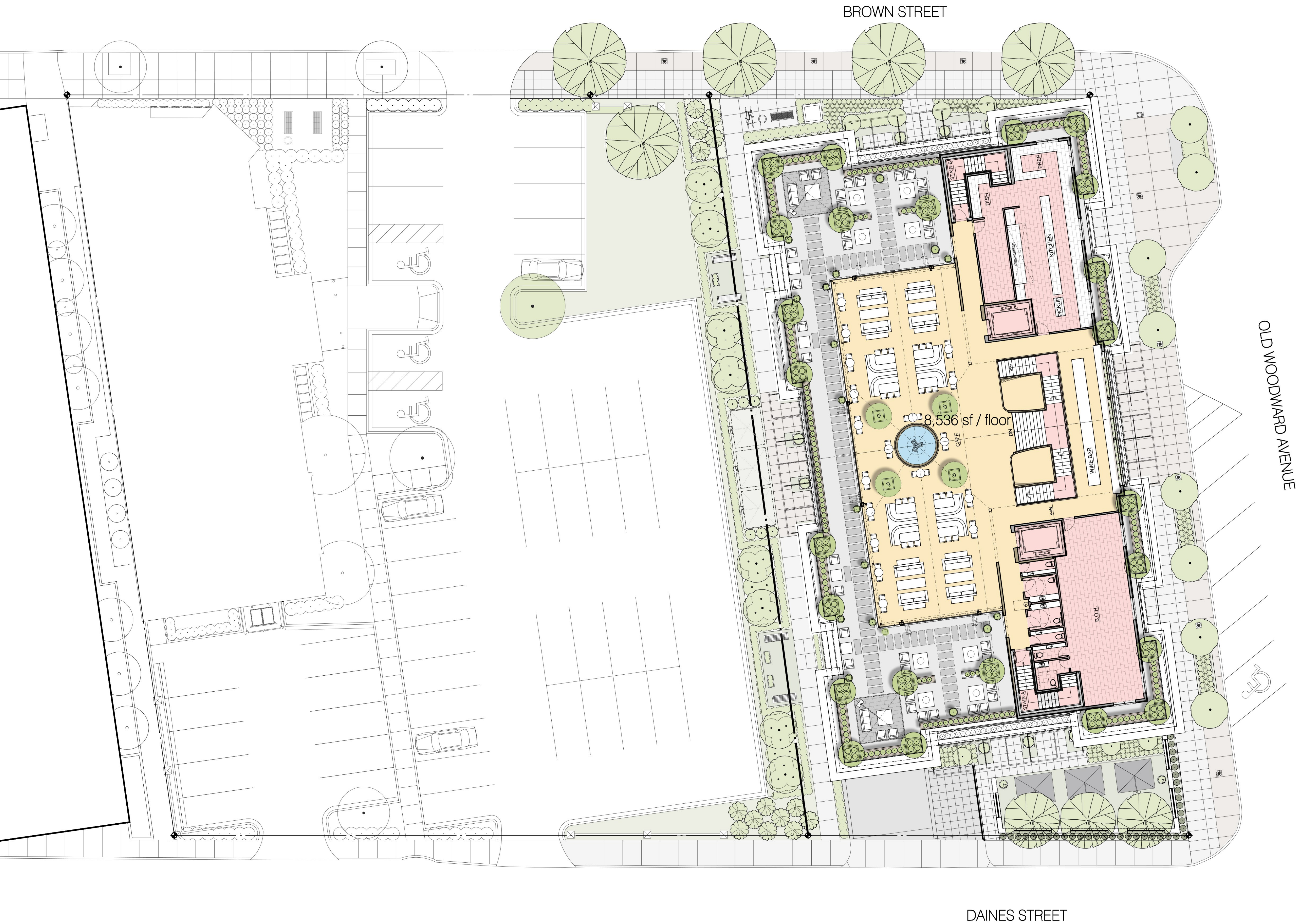
**Date:** 03-17-2021 **Issued For:** Preliminary Site Plan App.

**Sheet No.:**  
**A120**  
Second Level Floor Plan

Second Level Floor Plan  
SCALE: 3/32" = 1'-0"



A  
B  
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D  
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G  
H



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Project:  
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300 S Old Woodward  
Birmingham, MI 48009

Date: Issued For:  
03-17-2021 Preliminary Site Plan App.

Sheet No.:  
**A140**  
Fourth Level Floor Plan

Fourth Level Floor Plan  
SCALE: 3/32" = 1'-0"



A

B

C

D

E

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G

H



**SAROKI**  
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BIRMINGHAM, MI 48009  
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**Project:**  
RH / Mixed-Use  
300 S Old Woodward  
Birmingham, MI 48009

**Date:** 03-17-2021 **Issued For:** Preliminary Site Plan App.

**Sheet No.:**  
**A210**  
EXTERIOR ELEVATION



A

B

C

D

E

F

G

H



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Project:  
RH / Mixed-Use  
300 S Old Woodward  
Birmingham, MI 48009

Date: Issued For:  
03-17-2021 Preliminary Site Plan App.

Sheet No.:  
**A212**  
EXTERIOR ELEVATION

H9  
A212  
West Exterior Elevation  
SCALE: 1/8" = 1'-0"

1 2 3 4 5 6 7 8 9 10



A

B

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D

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1

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9

10



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**Project:**  
RH / Mixed-Use  
300 S Old Woodward  
Birmingham, MI 48009

**Date:** 03-17-2021 **Issued For:** Preliminary Site Plan App.

**Sheet No.:**  
**A214**  
EXTERIOR ELEVATION

H9  
A214  
North Exterior Elevation  
SCALE: 1/8" = 1'-0"



A

B

C

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E

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**SAROKI**  
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**Project:**  
RH / Mixed-Use  
300 S Old Woodward  
Birmingham, MI 48009

**Date:** 03-17-2021 **Issued For:** Preliminary Site Plan App.

**Sheet No.:**  
**A216**  
EXTERIOR ELEVATION

H9  
A216  
South Exterior Elevation  
SCALE: 1/8" = 1'-0"



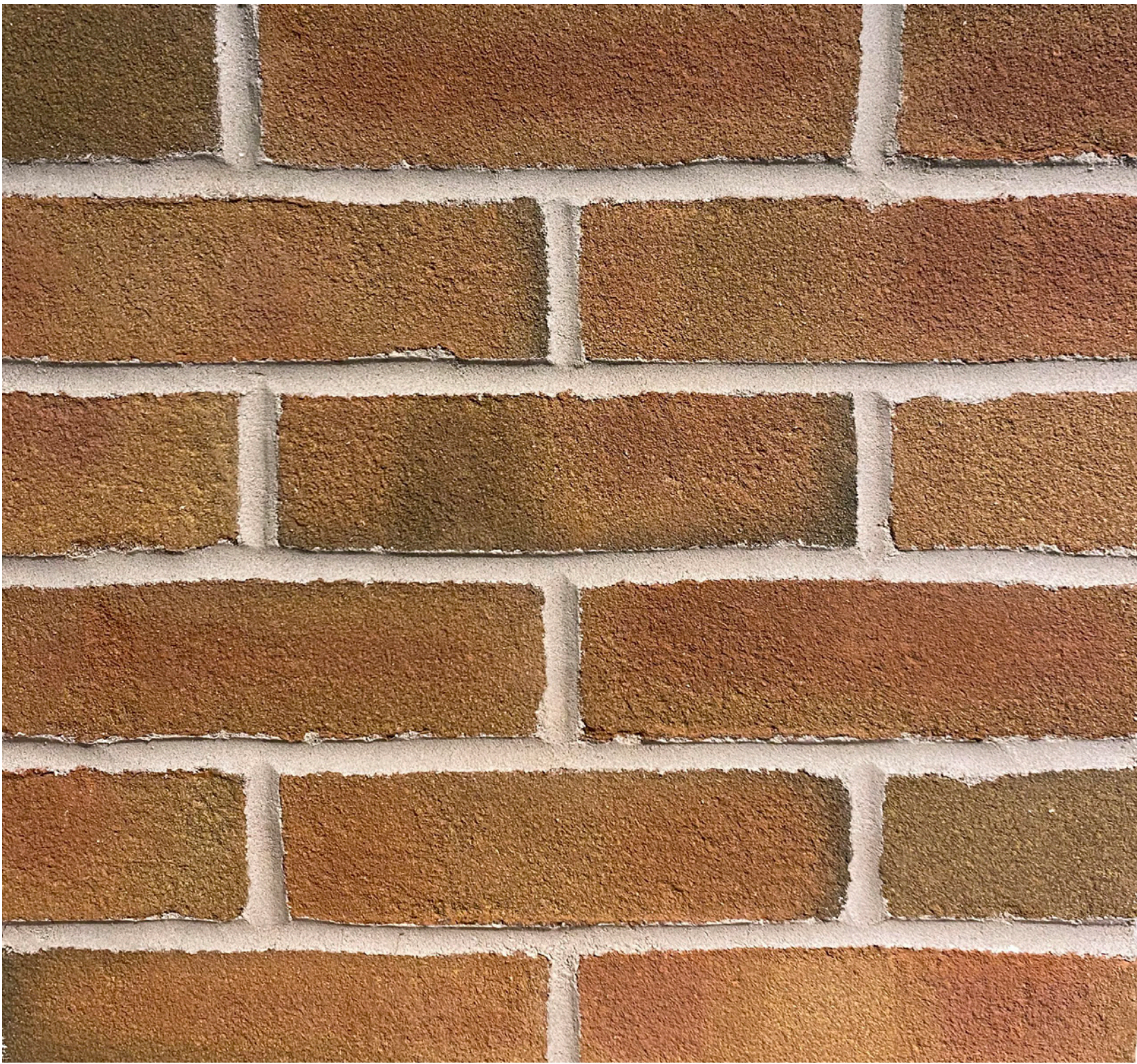
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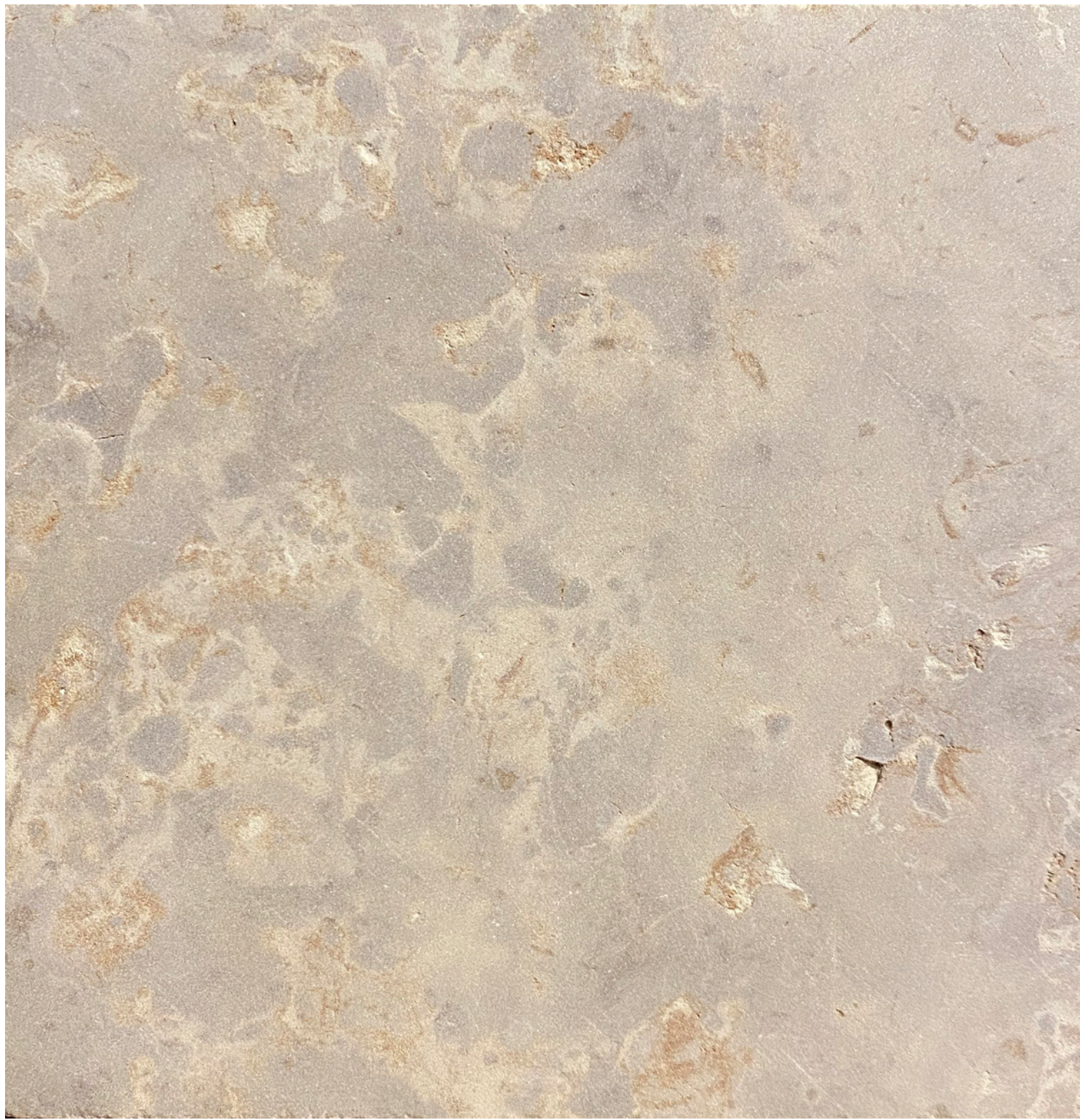
A218  
EXTERIOR ELEVATION



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H



Architectural Brick  
Norman Brick Type (3" x 12")



Mankato Limestone



Hope's Steel Windows & Doors



Exterior Light Fixtures & Steel Canopies



Steel and Glass Rooftop Restaurant

**SAROKI**  
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Project:  
RH / Mixed-Use  
300 S Old Woodward  
Birmingham, MI 48009

Date: 02-22-2021 Issued For: CONCEPT REVIEW

Sheet No.:  
**A900**  
Exterior Materials



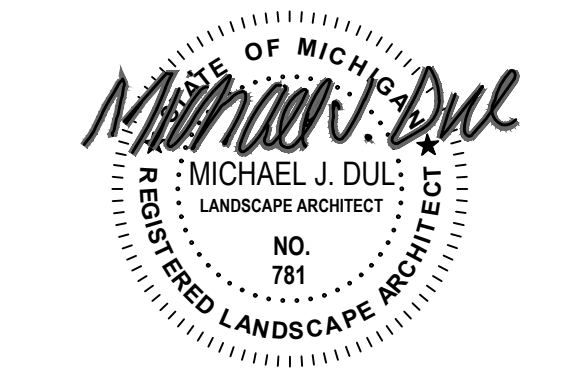


LANDSCAPE  
ARCHITECTURE

**MICHAEL J. DUL**  
& ASSOCIATES, INC.

212 DAINES STREET  
BIRMINGHAM  
MICHIGAN 48009

P 248 644 3410  
F 248 644 0819



**SAROKI**  
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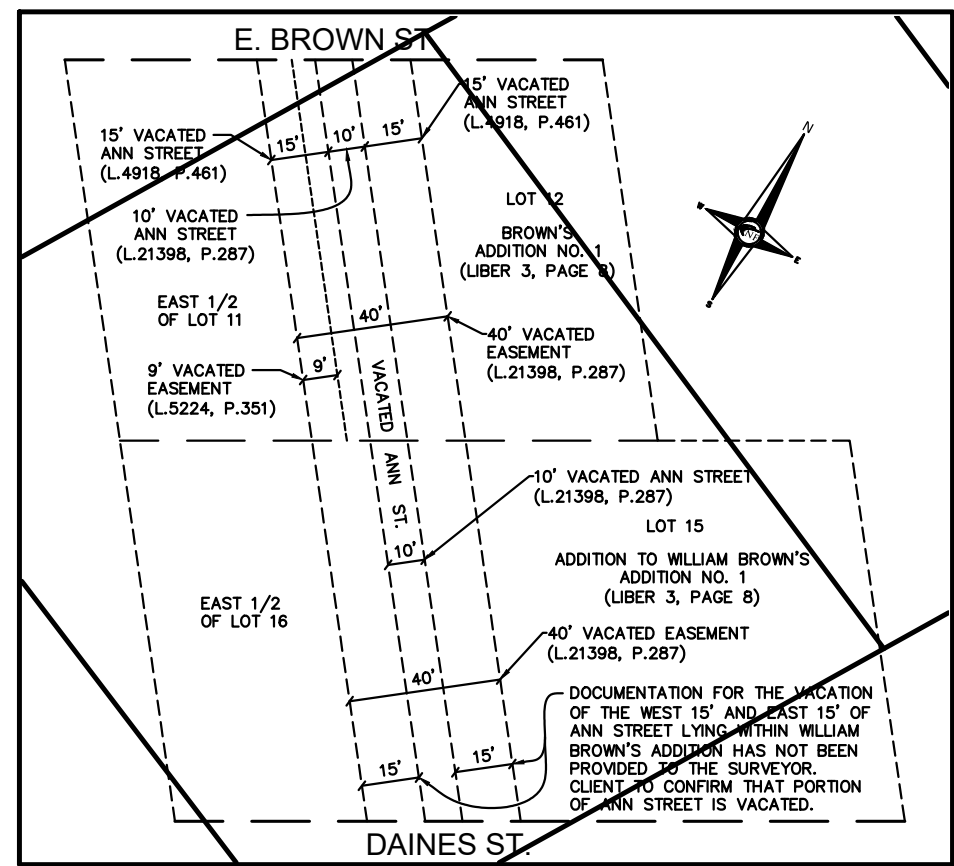
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**Project:**  
RH / Mixed-Use  
300 S Old Woodward  
Birmingham, MI 48009

**Date:** 02-24-2021  
**Issued For:** Preliminary Site Plan App.

**Sheet No.:**  
**L1.1**  
Landscape Plan





ANN STREET SKETCH

### FLOOD HAZARD NOTE

THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NO. 28125C05377 BEARING AN EFFECTIVE DATE OF 09-29-2006.

### MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER A033240501, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY. DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON DECEMBER 29, 2020. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE UTILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

### TOPOGRAPHIC SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

### ALTA SURVEY NOTES

THERE IS NO VISIBLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AND THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIR.

THERE IS NO VISIBLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

THERE IS NO VISIBLE EVIDENCE OF ANY WETLAND AREAS.

LOCATION OF UTILITIES EXISTING ON OR SERVING THE PROPERTY AS DETERMINED BY OBSERVED EVIDENCE OR BY PLANS REQUESTED BY THE SURVEYOR AND OBTAINED FROM UTILITY COMPANIES.

THE SUBJECT PROPERTY HAS ACCESS TO S. OLD WOODWARD AVENUE, E. BROWN STREET AND DAINES STREET, ALL BEING A PUBLICLY DEDICATED ROAD.

### BASIS OF BEARING NOTE

ALL BEARINGS ARE IN RELATION TO THE PREVIOUSLY ESTABLISHED SOUTH RIGHT-OF-WAY LINE OF STREET (60' WIDE) (NOW KNOWN AS BROWN STREET) OF BROWN'S ADDITION AS RECORDED IN LIBER 3 OF PLATS, PAGE 8, OAKLAND COUNTY RECORDS. (N.62.2.)

### DATUM NOTE

ALL ELEVATIONS SHOWN HEREON ARE ON THE CITY OF BIRMINGHAM'S VERTICAL DATUM, REFERENCED HEREON, IS ONE (1.00) FOOT HIGHER THAN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88).

### SURVEY DATA

**SITE AREA:**  
PARCEL I: 13,818.22 SQUARE FEET OR 0.317 ACRES  
PARCEL II: 18,892.08 SQUARE FEET OR 0.433 ACRES  
PARCEL 2: 13,204.93 SQUARE FEET OR 0.303 ACRES  
PARCEL 3: 8,157.75 SQUARE FEET OR 0.187 ACRES  
**TOTAL:** 54,052.96 SQUARE FEET OR 1.24 ACRES

**ZONED:**  
B2, GENERAL BUSINESS DISTRICT

### PARKING SPACES:

PARCEL I: 9 REGULAR SPACES  
PARCEL II: 46 REGULAR SPACES AND 3 BARRIER-FREE SPACES  
PARCEL 2: 20 REGULAR SPACES AND 1 BARRIER-FREE SPACE  
PARCEL 3: NO ON-SITE PARKING SPACES

A SURVEYOR CANNOT MAKE A CERTIFICATION ON THE BASIS OF AN INTERPRETATION OR OPINION OF ANOTHER PARTY. A ZONING ENDORSEMENT LETTER SHOULD BE OBTAINED FROM THE CITY OF BIRMINGHAM TO INSURE CONFORMITY AS WELL AS MAKE A FINAL DETERMINATION OF THE REQUIRED BUILDING SETBACK REQUIREMENTS.

### DTE DISCLAIMER NOTE

PLEASE NOTE THAT DTE HAS NEW REGULATIONS THAT MAY IMPACT DEVELOPMENT OUTSIDE THEIR EASEMENT OR THE PUBLIC RIGHT OF WAY. CLIENT SHALL CONTACT DTE TO DETERMINE THE "NEW STRUCTURES AND POWER LINE" REQUIREMENTS AS THEY MAY APPLY TO ANY FUTURE BUILDING OR RENOVATION OF A STRUCTURE. DTE ENERGY CAN BE CONTACTED AT 800-477-4747

### LEGAL DESCRIPTION - PARCEL 2 (PER TITLE COMMITMENT)

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

THE EASTERLY 50 FEET OF LOT 12, AND THE WESTERLY PART OF LOT 13, MEASURING 82.45 FEET ON THE NORTH LOT LINE AND 82.48 FEET ON THE SOUTH LOT LINE OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

ADDRESS: 300 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-006

### TITLE REPORT NOTES - PARCEL 2

REFERENCE FIRST AMERICAN TITLE INSURANCE COMPANY FILE NUMBER: 910055, COMMITMENT DATE: DECEMBER 21, 2020, REVISION B.

SCHEDULE B, PART II, EXCEPTIONS:

- EXCEPTIONS: 1, 4, 5, 6, 7, 8, 10, 11, 14 AND 15 REFER TO THE OWNERSHIP OF THE PROPERTY AND/OR ARE NOT PLOTTABLE.
- ANY FACTS, RIGHTS, INTERESTS OR CLAIMS NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY MAKING INQUIRY OF PERSONS IN POSSESSION THEREOF OF THE LAND.
- EASEMENTS, ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS.
- TERMS AND CONDITIONS CONTAINED IN RESOLUTION AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 8715, PAGE 137, (NO EASEMENTS OR RESTRICTIONS WITHIN SAID DOCUMENT, NOT PLOTTED).
- INTEREST, IF ANY, OF THE UNITED STATES, STATE OF MICHIGAN, OR ANY POLITICAL SUBDIVISION THEREOF, IN THE OIL, GAS AND MINERALS IN AND UNDER THAT MAY BE PRODUCED FROM THE CAPTIONED LAND.
- RIGHTS OF TENANTS, IF ANY, UNDER ANY UNRECORDED LEASES.

### LEGAL DESCRIPTION - PARCEL 3 (PER TITLE COMMITMENT)

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

LOT(S) 14, EXCEPT THAT PART TAKEN FOR WIDENING WOODWARD AVENUE OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

ADDRESS: 394 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-014

### TITLE REPORT NOTES - PARCEL 3

REFERENCE FIRST AMERICAN TITLE INSURANCE COMPANY FILE NUMBER: 910145, COMMITMENT DATE: DECEMBER 21, 2020, REVISION: A.

SCHEDULE B, PART II, EXCEPTIONS:

- EXCEPTIONS: 1, 4, 5, 6, 7, 8, 10, 13 AND 14 REFER TO THE OWNERSHIP OF THE PROPERTY AND/OR ARE NOT PLOTTABLE.
- ANY FACTS, RIGHTS, INTERESTS OR CLAIMS NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY MAKING INQUIRY OF PERSONS IN POSSESSION THEREOF OF THE LAND.
- EASEMENTS, ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS.
- TERMS AND CONDITIONS CONTAINED IN RESOLUTION AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 8715, PAGE 137, (NO EASEMENTS OR RESTRICTIONS WITHIN SAID DOCUMENT, NOT PLOTTED).
- INTEREST, IF ANY, OF THE UNITED STATES, STATE OF MICHIGAN, OR ANY POLITICAL SUBDIVISION THEREOF, IN THE OIL, GAS AND MINERALS IN AND UNDER THAT MAY BE PRODUCED FROM THE CAPTIONED LAND.
- RIGHTS OF TENANTS, IF ANY, UNDER ANY UNRECORDED LEASES.

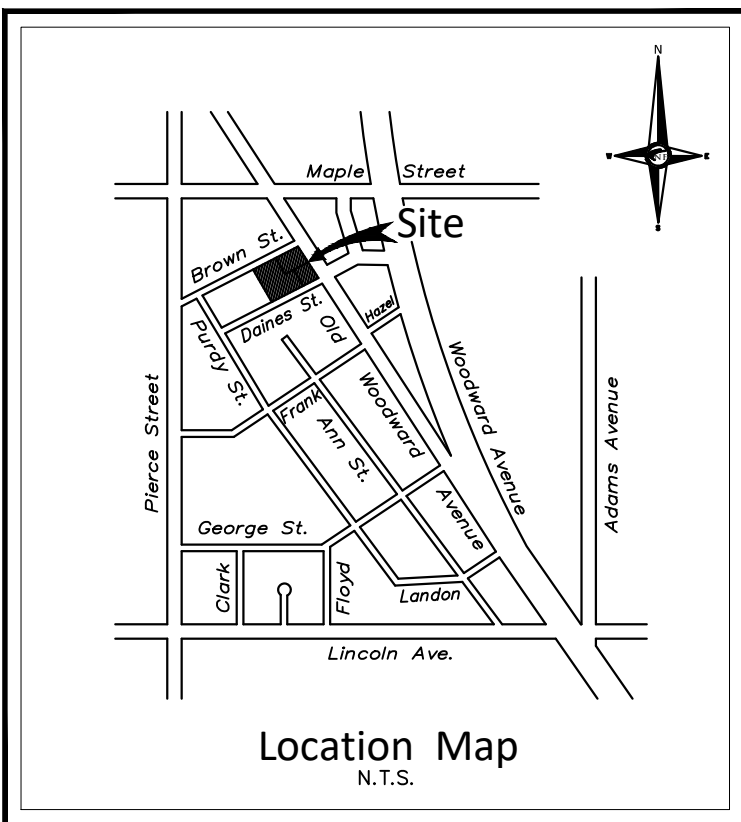
### CERTIFICATE OF SURVEY

CERTIFIED TO:

—PURCHASER'S ASSIGNEE  
—TROTTER PROPERTIES 294, LLC, A MICHIGAN LIMITED LIABILITY COMPANY, AS TO PARCEL 1  
—BRB EQUITIES, L.L.C., AS TO PARCEL 2  
—FRANK T. KONJAREVICH OR LOIS H. KONJAREVICH (OR SUCCESSOR TRUSTEES) AS THE TRUSTEE FOR THE FRANK T. KONJAREVICH REVOCABLE LIVING TRUST DATED MAY 22, 1995, AS TO PARCEL 3  
—FIRST AMERICAN TITLE INSURANCE COMPANY AND EACH OF THEIR RESPECTIVE SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDE ITEMS 1, 2, 3, 4, 6(a), 7(c), 7(b)(1), 7(c), 8, 9, 11, 12, 14, 16, 17, 18 AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 16, 2020.

*Kevin Navaroli*  
KEVIN NAVAROLI, P.S. NO. 4001053503 DATE 1-24-2021



Location Map

### LEGAL DESCRIPTION - PARCELS I & II (PER TITLE COMMITMENT)

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

PARCEL I: THE EAST 1/2 OF LOT(S) 11 OF BROWN'S ADDITION TO THE CITY OF BIRMINGHAM AND THE EAST 1/2 OF LOT 16 OF BROWN'S ADDITION NO. 1, IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING THE VACATED WEST 20 FEET OF ANN STREET ADJOINING LOT 11 AND THE VACATED WEST 19 FEET OF ANN STREET ADJOINING LOT 16.

PARCEL II: THE WEST 1/2 OF LOT(S) 12 OF BROWN'S ADDITION TO THE VILLAGE (NOW CITY) OF BIRMINGHAM, OF PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST, TOWNSHIP OF BLOOMFIELD (NOW CITY OF BIRMINGHAM), OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, ALSO LOT 15, ADDITION TO WILLIAM BROWN'S ADDITION NO. 1, BEING A PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING VACATED 20 FEET OF ANN STREET, ADJOINING THE WESTERLY SIDE OF LOT 12 AND VACATED 21 FEET OF ANN STREET ADJOINING THE WESTERLY SIDE OF LOT 15.

ADDRESS: 294 E. BROWN STREET, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-021

### TITLE REPORT NOTES - PARCELS I & II

REFERENCE FIRST AMERICAN TITLE INSURANCE COMPANY FILE NUMBER: 915853, COMMITMENT DATE: DECEMBER 8, 2020.

SCHEDULE B, PART II, EXCEPTIONS:

- EXCEPTIONS: 1, 4, 5, 6, 7, 8 AND 16 REFER TO THE OWNERSHIP OF THE PROPERTY AND/OR ARE NOT PLOTTABLE.
- ANY FACTS, RIGHTS, INTERESTS OR CLAIMS NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY MAKING INQUIRY OF PERSONS IN POSSESSION THEREOF OF THE LAND.
- EASEMENTS, ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS.
- TERMS AND CONDITIONS CONTAINED IN RESOLUTION AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 8715, PAGE 137, (NO EASEMENTS OR RESTRICTIONS WITHIN SAID DOCUMENT, NOT PLOTTED).
- INTEREST, IF ANY, OF THE UNITED STATES, STATE OF MICHIGAN, OR ANY POLITICAL SUBDIVISION THEREOF, IN THE OIL, GAS AND MINERALS IN AND UNDER THAT MAY BE PRODUCED FROM THE CAPTIONED LAND.
- RIGHTS OF TENANTS, IF ANY, UNDER ANY UNRECORDED LEASES.

NOTE: DOCUMENT FOR THE VACATION OF THE WEST 15 FEET AND EAST 15 FEET OF ANN STREET LYING WITHIN WILLIAMS BROWN'S ADDITION HAS NOT BEEN PROVIDED TO THE SURVEYOR. CLIENT TO CONFIRM THAT PORTION OF ANN STREET IS VACATED.

### LEGEND

MANHOLE(MH)	EXISTING SANITARY SEWER
CO	EXISTING SANITARY CLEAN OUT
HYDRANT(HYD)	EXISTING WATER MAIN
GATE VALVE(GVW)	EXISTING WATER MAIN
MANHOLE(MH)	CATCH BASIN(CB)
CB	EXISTING STORM SEWER
CB	EX. BEEHIVE CATCH BASIN
UTILITY POLE	EX. UNDERGROUND (UG) CABLE
GUY WIRE	OVERHEAD (OH) LINES
LP	LIGHT POLE
↑	SIGN
ASPH.	EXISTING GAS MAIN
CONC.	ASPHALT
FD. / FND.	FOUND
RET. WALL	RETAINING WALL
R.O.W.	RIGHT-OF-WAY
SPK	SET PK NAIL
(TYP)	TYPICAL
(R)	RECORDED
(M)	MEASURED
C/L	CENTERLINE
P/L	PROPERTY LINE
GM	GAS METER
EM	ELECTRIC METER
PM	PARKING METER
AC	AIR CONDITIONING UNIT
LS	LANDSCAPE



## NOWAK & FRAUS ENGINEERS

CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL (248) 332-7931  
FAX (248) 332-8257  
WWW.NOWAKFRAUS.COM

SEAL

### PROJECT

294 E. Brown St. and  
300 & 394  
S. Old Woodward Ave.  
Birmingham, MI 48009

### CLIENT

Saroki Architecture  
430 N. Old Woodward Ave.  
Birmingham, MI 48009

Contact: Victor Saroki  
Phone: 248.258.5707

### PROJECT LOCATION

Part of the NE 1/4  
of Section 36,  
T.2N., R.10E.,  
City of Birmingham,  
Oakland County, Michigan

### SHEET

ALTA/NSPS Land Title /  
Topographic Survey



DATE ISSUED/REVISED  
00-00-00

DRAWN BY:

M. Carnaghi

DESIGNED BY:

APPROVED BY:

K. Navaroli

DATE:

February 24, 2021

SCALE: 1" = 20'

20 10 0 10 20 30

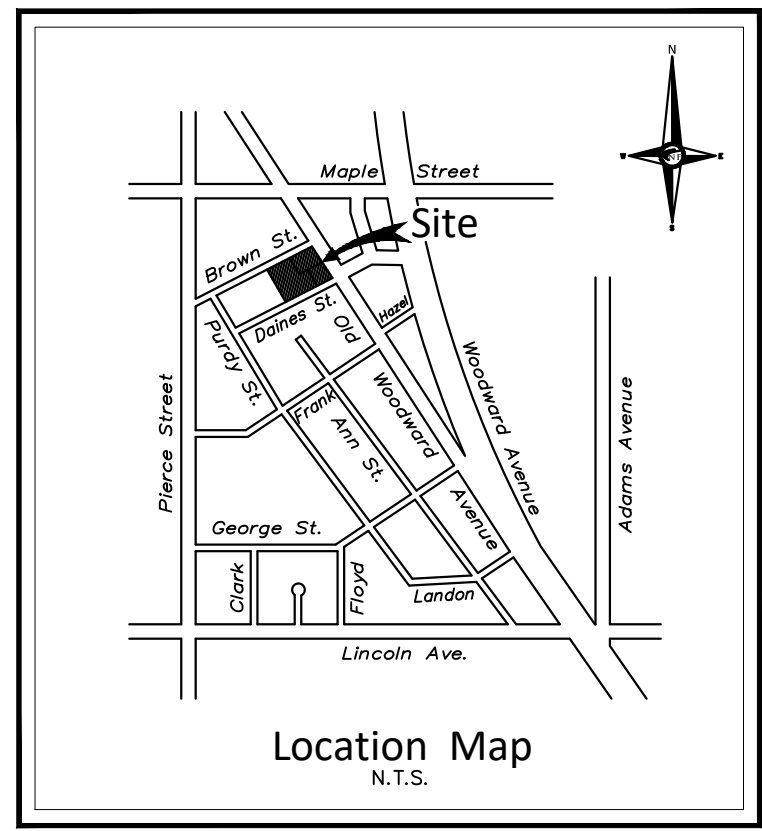
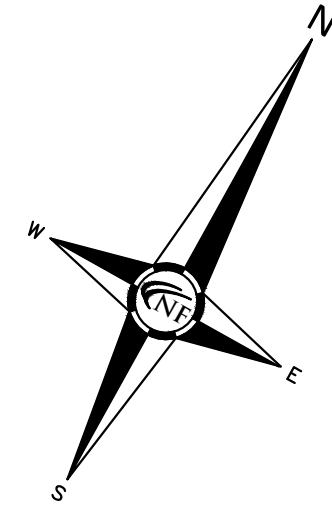
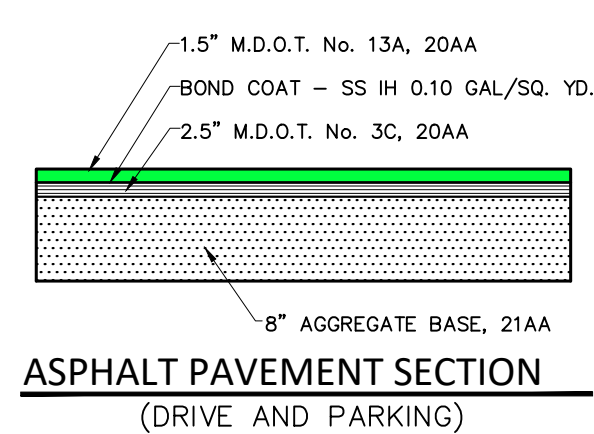
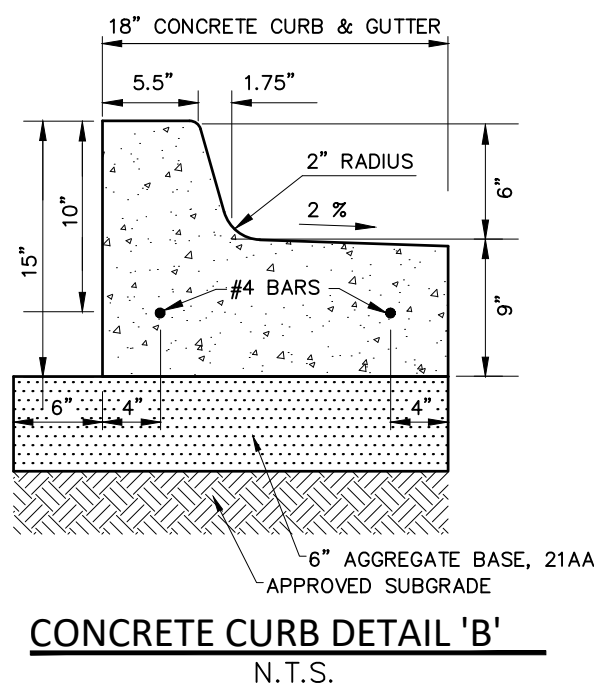
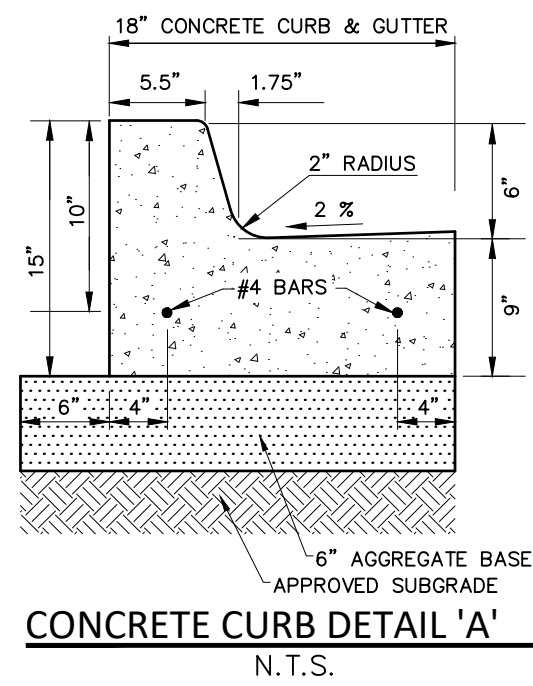
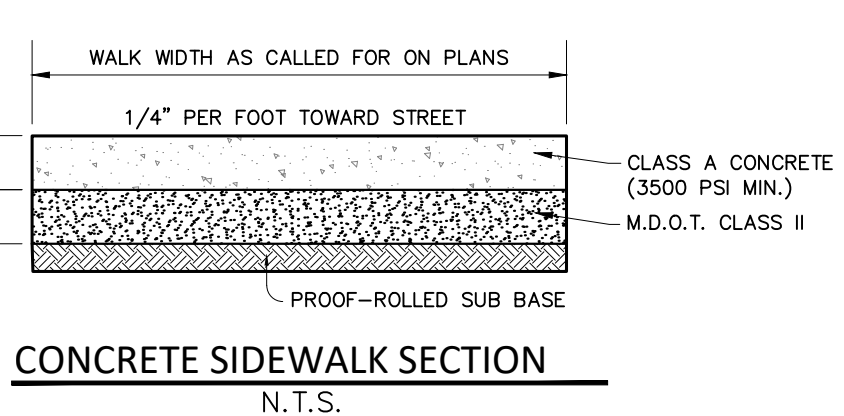
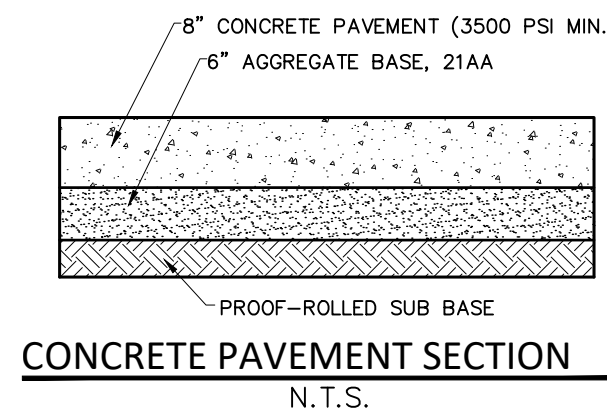
NFE JOB NO.

M106

SHEET NO.

SP-1

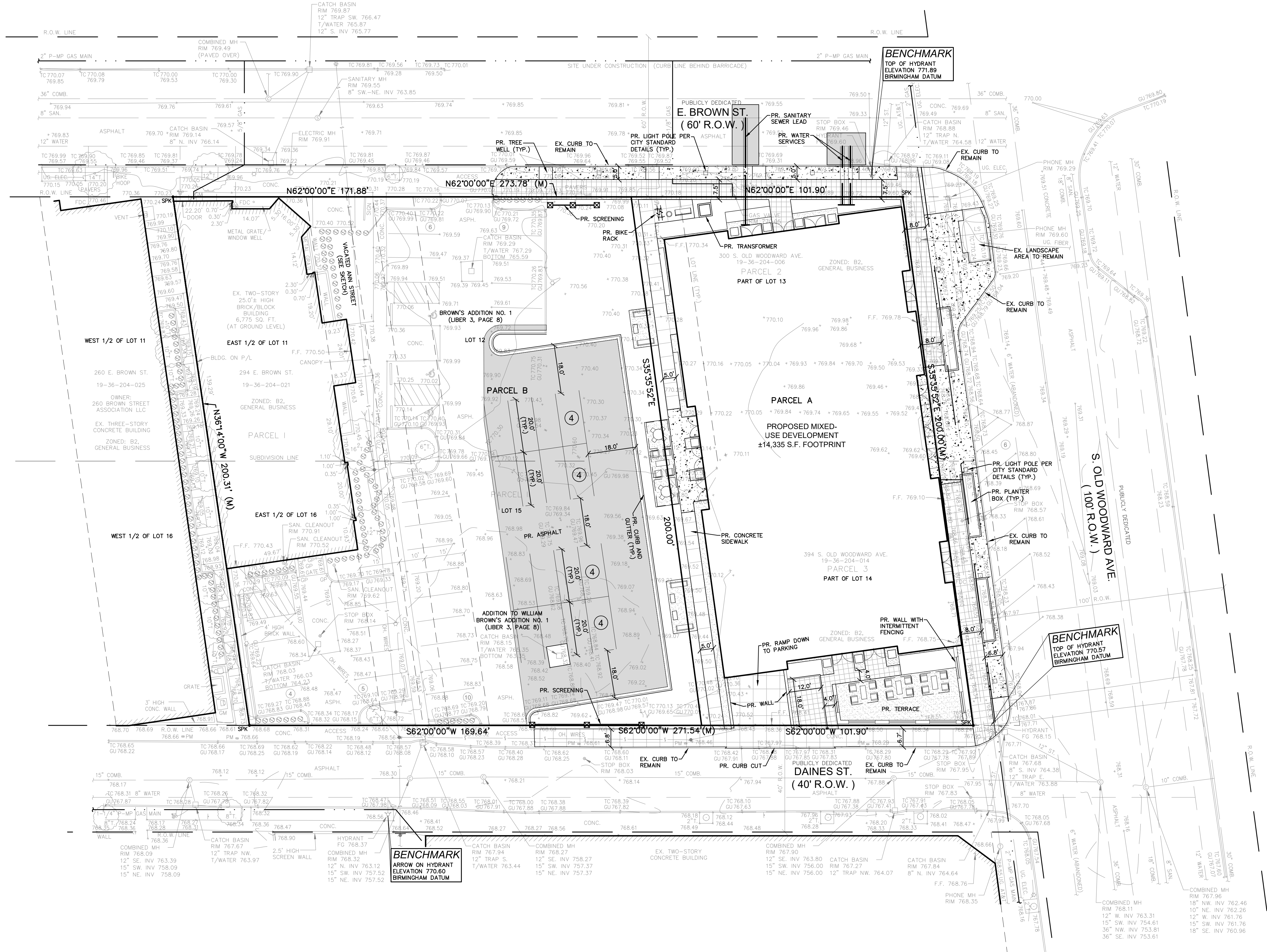




**NOWAK & FRAUS ENGINEERS**

**CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS**

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TEL. (248) 332-7931  
FAX. (248) 332-8257  
WWW.NOWAKFRAUS.COM



**GENERAL PAVING NOTES**

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

- CONCRETE:** PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
- ASPHALT:** BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 110UL, 20AA; SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 110OT, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD, MAXIMUM 2 INCH LIFT.

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-5184.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKewise ARRANGE FOR ALL INSPECTION.

EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADI.

SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

**COVID-19 PANDEMIC CONDITION**

DUE TO THE UNPRECEDENTED COVID-19 PANDEMIC CONDITION AND RESTRICTIONS THE STANDARD DATA WHICH IS OBTAINED FROM MISS DIG / CALL 811 HAS BEEN RESTRICTED TO CRITICAL INFRASTRUCTURE ONLY. NFE WILL MAKE EVERY EFFORT TO OBTAIN CURRENT REFERENCE DATA FROM THE GOVERNING AGENCIES. HOWEVER, THIS DATA MAY BE PARTIAL OR INCOMPLETE. NFE WILL ISSUE THIS SURVEY WITH THE BEST AVAILABLE INFORMATION FROM OUR FIELD SURVEY AND OTHER AVAILABLE REFERENCE DATA. NFE WILL NOT BE RESPONSIBLE FOR INCOMPLETE OR PARTIAL DATA PROVIDED BY THIRD PARTY FACILITY OWNERS. NFE IS NOT RESPONSIBLE FOR BURIED UTILITIES FOR WHICH PLANS WERE NOT FURNISHED OR CANNOT BE OBSERVED IN THE FIELD.

ALL CONSTRUCTION DOCUMENTS WILL BE UPDATED WHEN THE UTILITY INFORMATION IS PROVIDED BY THE FACILITY OWNER UP UNTIL THE TIME OF SUBMITTAL. ONCE THE PLANS HAVE BEEN SUBMITTED AND APPROVED IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN A MISS DIG TICKET PRIOR TO COMMENCING ANY CONSTRUCTION REQUIRING EXCAVATION. CONTRACTOR SHALL IMMEDIATELY NOTIFY NFE OF ANY UTILITIES FLAGGED BY MISS DIG THAT WERE NOT SHOWN ON THE PLANS OR UTILITIES UNCOVERED DURING THEIR WORK.

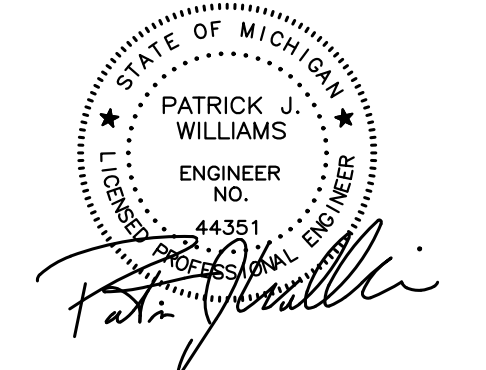
**PAVING LEGEND**

- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT

**LEGEND**

- MANHOLE
- HYDRANT
- MANHOLE CATCH BASIN
- UTILITY POLE
- GUY WIRE
- C.O.
- HYDRANT
- INLET
- EXISTING SANITARY SEWER
- SAN. CLEAN OUT
- EXISTING WATER MAIN
- EXISTING STORM SEWER
- EX. R. Y. CATCH BASIN
- EXISTING BURIED CABLES
- OVERHEAD LINES
- LIGHT POLE
- SIGN
- EXISTING GAS MAIN
- PR. SANITARY SEWER
- PR. WATER MAIN
- PR. STORM SEWER
- PR. R. Y. CATCH BASIN
- PROPOSED LIGHT POLE

SEAL



PROJECT

294 E. Brown St. and  
300 & 394  
S. Old Woodward Ave.  
Birmingham, MI 48009

CLIENT

Saroki Architecture  
430 N. Old Woodward Ave.  
Birmingham, MI 48009

Contact: Victor Saroki  
Phone: 248.258.5707

PROJECT LOCATION

Part of the NE 1/4  
of Section 36  
T.2N., R.10E.,  
City of Birmingham,  
Oakland County, Michigan

SHEET

Dimensional Site Plan



DATE ISSUED/REVISED

00-00-00

DRAWN BY:

A. Eizember

DESIGNED BY:

A. Eizember

APPROVED BY:

P. Williams

DATE:

February 24, 2021

SCALE: 1" = 20'

20 10 0 10 20 30

NFE JOB NO.

M106

SHEET NO.

SP-2



Drive-over LED in-grade floodlights

**Enclosures:** Outer housing of high tensile strength stainless steel; inner housing is factory sealed and fabricated of heavy gauge stainless steel. Reflector made of pure anodized aluminum.

**Trim Ring:** Heavy gauge, machined stainless steel secured to inner housing by five (5) stainless steel hex head fasteners. Trim is sealed in place using molded, one piece high temperature silicone gasket. Glass is clear tempered, 1/2" thick, machined flush to trim ring.

**Electrical:** 13.9W LED luminaire, 17 total system watts, -20° C start temperature, integral 120V through 277V electronic LED driver, 0-10V, TRIAC, and ELV dimmable. The LED module and driver are mounted on a removable inner assembly for easy replacement. Standard LED color temperature is 4000K with an 85 CRI. Available in 3000K (85 CRI); add suffix K3 to order.  
**Note:** Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

**Finish:** Machined #4 brushed stainless steel. Custom colors not available.  
**CSA:** certified to U.S. and Canadian standards for wet locations. Protection class IP68.

**Temperature caution:** The column "T" in this chart indicates the temperature in degrees Celsius which is reached on the center of the glass surface during operation. Surface temperatures are for exterior applications. For interior applications add 10° C to temperatures shown.

**Note:** A foundation and proper drainage must be supplied by the customer. These luminaires are designed to bear pressure loads up to 4,400 lbs. from vehicles with pneumatic tires. The luminaires must not be used for traffic lanes where they are subject to horizontal pressure from vehicles braking, accelerating and changing direction.

**Weight:** 9.5 lbs.

**Luminaire Lumens:** 970

Type:  
BEGA Product:  
Project:  
Voltage:  
Color:  
Options:  
Modified:



1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 566-9474 www.bega-us.com  
Copyright BEGA 2017 Updated 1/18

Mounting Height Note

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

General Note

- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

Ordering Note

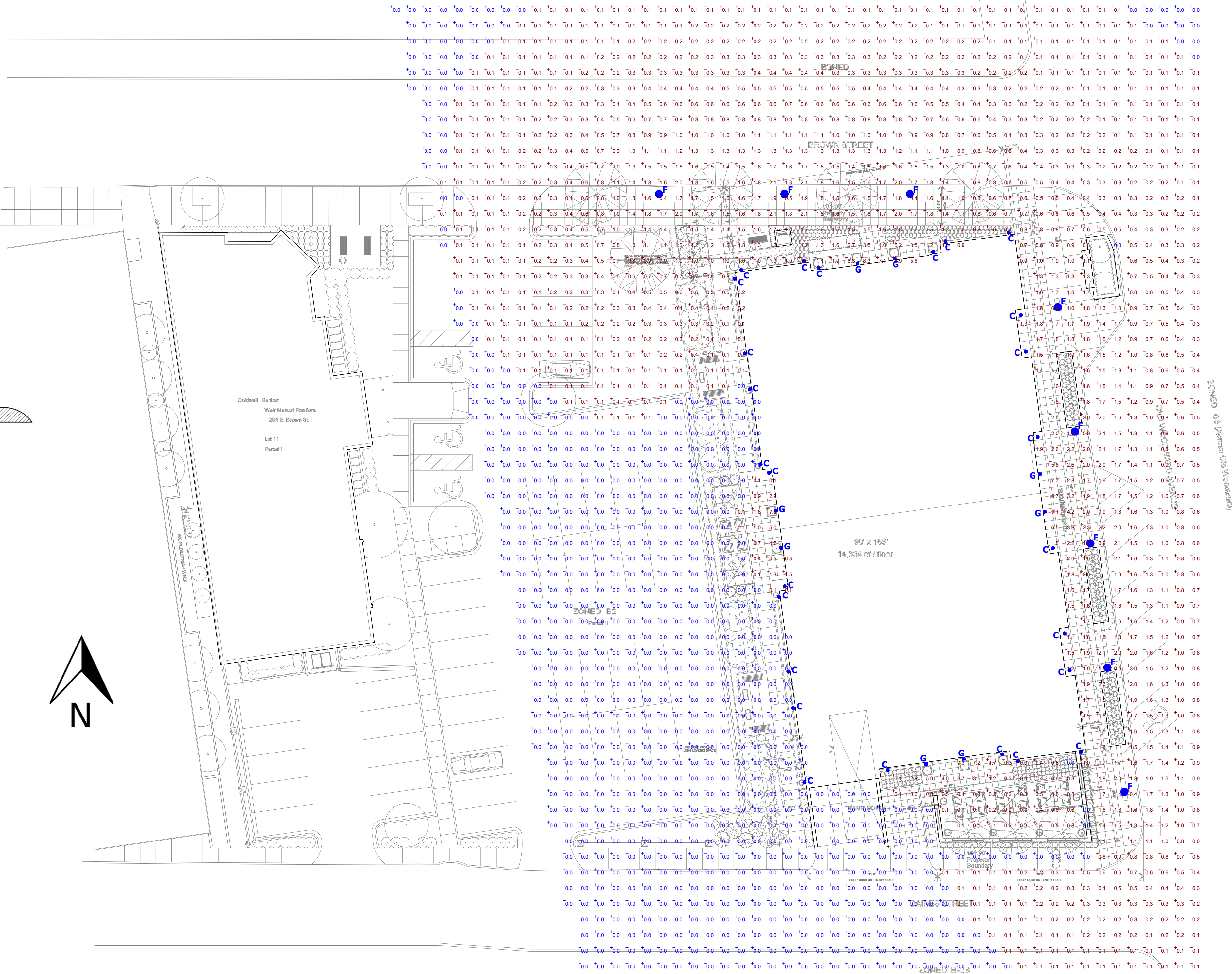
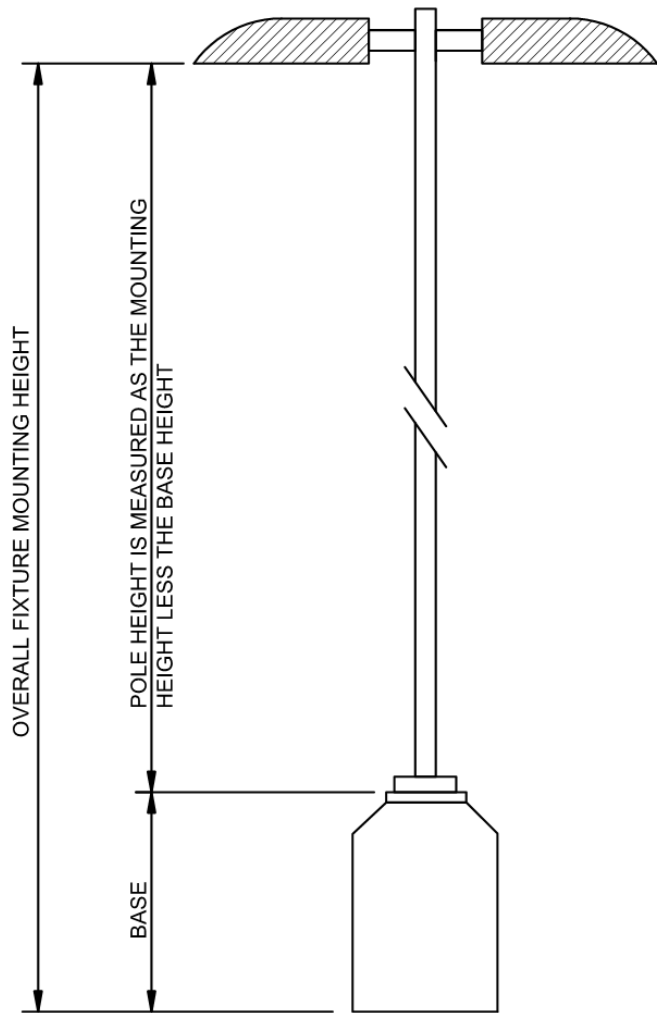
FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Drawing Note

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Alternates Note

THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.



Plan View  
Scale - 1" = 20ft

Schedule									
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF
	C	26	BEGA	77007+K4	LED IN-GRADE FLOODLIGHT	LED	1	967	0.9
	F	8	UNKNOWN	SUPPLIED AND VERIFIED BY OTHERS	SUPPLIED AND VERIFIED BY OTHERS	SUPPLIED AND VERIFIED BY OTHERS	1	UNKNOWN	0.75
	G	8	LANTERN SUPPLIED BY RH	LANTERN SUPPLIED BY RH	LANTERN SUPPLIED BY RH	LANTERN SUPPLIED BY RH	1	UNKNOWN	0.9

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
OVERALL	+	0.5 fc	9.1 fc	0.0 fc	N/A	N/A























# Community Impact Study

**RH BIRMINGHAM**

**300-394 South Old Woodward Avenue**

Birmingham, MI

**Prepared By**

Saroki Architecture

430 N. Old Woodward Ave.

Birmingham, MI 48009

**Owner/Developer**

RH, INC.

15 Koch Rd.

Corte Madera, CA 94925



**RH BIRMINGHAM**  
**300-394 South Old Woodward Avenue**

Birmingham, MI

**Development Team**

**Owner/Developer**

RH, INC.  
15 Koch Rd.  
Corte Madera, CA 94925  
(415) 936-9642

**Architect**

Saroki Architecture  
430 N. Old Woodward Ave  
Birmingham MI, 48009  
(248) 258-5707

**Surveyor & Civil Engineer**

Nowak & Fraus Engineers  
46777 Woodward Ave.  
Pontiac, MI 48342  
(248) 332-7931

**Landscape Architect**

Michael J Dul & Associates, Inc.  
212 Danes Street  
Birmingham, MI 48009  
(248) 644-3410

**Environmental Engineer**

PM Environmental, INC.  
4080 West Eleven Mile Road  
Berkley, MI 48072  
(248) 414-1425

**MEP Engineer**

MA Engineering  
400 S. Old Woodward, Suite 100  
Birmingham, MI 48009  
(248) 258-1610

**Geotechnical Engineer**

**(Geotechnical Investigation & Engineering)**  
McDowell & Associates  
21355 Hatcher Avenue  
Ferndale, MI 48220  
(248) 399-2066

**Acoustical Engineer**

Kolano and Saha Engineers, Inc.  
3559 Sashabaw Road  
Waterford, MI 48329  
(248) 674-4100

**Traffic Engineer**

ROWE Professional Services Company  
27280 Haggerty Road, Ste. C-2  
Farmington Hills, MI 48331  
(248) 675-1096

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# **Section 1**

## **CIS Checklist & Zoning Requirements Analysis**



## COMMUNITY IMPACT STUDY CHECKLIST PLANNING DIVISION

Applicant: \_\_\_\_\_ Case #: \_\_\_\_\_ Date: \_\_\_\_\_

Address: \_\_\_\_\_ Project: \_\_\_\_\_

All Community Impact Studies prepared for approval must contain the following information:

### General Information

- \_\_\_\_\_ 1. Name and address of applicant and proof of ownership;
- \_\_\_\_\_ 2. Name of Development (if applicable);
- \_\_\_\_\_ 3. Address of site and legal description of the real estate;
- \_\_\_\_\_ 4. Name and address of the land surveyor;
- \_\_\_\_\_ 5. Legend and notes, including a graphic scale, north point, and date;
- \_\_\_\_\_ 6. A separate location map;
- \_\_\_\_\_ 7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land;
- \_\_\_\_\_ 8. Details of all proposed site plan changes;

### Planning & Zoning Issues

- \_\_\_\_\_ 9. Recommended land use of the subject property as designated on the Future Land Use Map of the City's Master Plan;
- \_\_\_\_\_ 10. Goals and objectives of the city's Master Plans that demonstrate the City's support of the proposed development;
- \_\_\_\_\_ 11. Whether or not the project site is located within an area of the City for which an Urban Design Plan has been adopted by the Planning Board in which special design criteria or other supplemental development requirements apply;
- \_\_\_\_\_ 12. The current zoning classification of the subject property;
- \_\_\_\_\_ 13. The zoning classification required for the proposed development;
- \_\_\_\_\_ 14. The existing land uses adjacent to the proposed project;
- \_\_\_\_\_ 15. Complete the attached "Zoning Requirements Analysis" chart;

### Land Development Issues

- \_\_\_\_\_ 16. A Survey and Site Drainage Plan;
- \_\_\_\_\_ 17. Identify any sensitive soils on site that will require stabilization or alteration in order to support the proposed development;
- \_\_\_\_\_ 18. Whether or not the proposed development will occur on a steep slope, and if so, the measures that will be taken to overcome potential erosion, slope stability and runoff;

- \_\_\_\_\_ 19. The volume of excavated soils to be removed from the site and /or delivered to the site, and a map of the proposed haul routes;
- \_\_\_\_\_ 20. Identify the potential hazards and nuisances that may be created by the proposed development and the suggested methods of mitigating such hazards;

### **Private Utilities**

- \_\_\_\_\_ 21. Indicate the source of all required private utilities to be provided;
- \_\_\_\_\_ 22. Provide verification that all required utility easements have been secured for necessary private utilities;

### **Noise Levels**

- \_\_\_\_\_ 23. Provide a reading of existing ambient noise and estimated future noise levels on the site;
- \_\_\_\_\_ 24. Indicate whether the project will be exposed to or cause noise levels which exceed those levels prescribed in Chapter 50, Division 4, Section 50-71 through 50-77 of the Birmingham City Code, as amended;
- \_\_\_\_\_ 25. Indicate whether the site is appropriate for the proposed activities and facilities given the existing ambient noise and the estimated future noise levels of the site;

### **Air Quality**

- \_\_\_\_\_ 26. Indicate whether the project is located in the vicinity of a monitoring station where air quality violations have been registered and, if so, provide information as to whether the project will increase air quality problems in the area;
- \_\_\_\_\_ 27. Indicate if the nature of the project or its potential users would be particularly sensitive to existing air pollution levels and, if so, indicate how the project has been designed to mitigate possible adverse effects;
- \_\_\_\_\_ 28. Indicate whether the proposal will establish a trend which, if continued, may lead to violation of air quality standards in the future;
- \_\_\_\_\_ 29. Indicate whether the proposed project will have parking facilities for more than 75 cars and indicate percentage of required parking that is proposed;

### **Environmental Design and Historic Values**

- \_\_\_\_\_ 30. Indicate whether there will be demonstrable destruction or physical alteration of the natural or human-made environment on site or in the right-of-way (i.e. clearance of trees, substantial regrading etc.);
- \_\_\_\_\_ 31. Indicate whether there will be an intrusion of elements out of character or scale with the existing physical environment (i.e. significant changes in size, scale of building, floor levels, entrance patterns, height, materials, color or style from that of surrounding developments);
- \_\_\_\_\_ 32. Indicate all elements of the project that are eligible for LEED points if the building were to be LEED certified (i.e. extensive use of natural daylight, use of low VOC paint, use of renewable/recycled resources, energy efficient mechanical systems, use of wind and solar power, geothermal heating etc.);
- \_\_\_\_\_ 33. Indicate whether the proposed structure will block or degrade views, change the skyline or create a new focal point;
- \_\_\_\_\_ 34. Indicate whether there will be objectionable visual pollution introduced directly or indirectly due to loading docks, trash receptacles or parking, and indicate mitigation measures for same;
- \_\_\_\_\_ 35. Indicate whether there will be an interference with or impairment of ambient conditions necessary for the enjoyment of the physical environment (i.e. vibration, dust, odor, heat, glare etc.);
- \_\_\_\_\_ 36. Indicate whether the project area and environs contain any properties listed on the National Register of Historic Places or the City's inventory of historic structures;
- \_\_\_\_\_ 37. Provide any information on the project area that the State Historic Preservation Office (SHPO) may have;

- \_\_\_\_\_ 38. Indicate whether there will be other properties within the boundaries or in the vicinity of the project that appear to be historic and thus require consultation with the SHPO as to eligibility for the National Register;
- \_\_\_\_\_ 39. Indicate whether the Department of the Interior has been requested to make a determination of eligibility on properties the SHPO or HDC deems eligible and affected by the project;
- \_\_\_\_\_ 40. Provide proof that the HDC has been given an opportunity to comment on properties that are listed on or have been found eligible for the National Register and which would be affected by the project;

#### **Refuse**

- \_\_\_\_\_ 41. Indicate whether the existing or planned solid waste disposal system will adequately service the proposed development including space for separation of recyclable materials;
- \_\_\_\_\_ 42. Indicate whether the design capacity of the existing or planned solid waste disposal system will be exceeded as a result of the project;

#### **Sanitary Sewer**

- \_\_\_\_\_ 43. Indicate whether existing or planned waste water systems will be able to adequately service the proposed development;
- \_\_\_\_\_ 44. Indicate whether the design capacity of these facilities will be exceeded as a result of the project;
- \_\_\_\_\_ 45. Indicate the elements of the project that have been incorporated to reduce the amount of water entering the sewer system (such as low flush toilets, EnergyStar appliances, restricted flow faucets, greywater recycling etc.);

#### **Storm Sewer**

- \_\_\_\_\_ 46. Indicate whether existing or planned storm water disposal and treatment systems will adequately serve the proposed development;
- \_\_\_\_\_ 47. Indicate whether the design capacity of these facilities will be exceeded as a result of the project;
- \_\_\_\_\_ 48. Indicate the elements of the project that have been incorporated to reduce the amount of storm water entering the sewer system (such as the use of pervious concrete, rain gardens, greywater recycling, green pavers etc.);

#### **Water Service**

- \_\_\_\_\_ 49. Indicate whether either the municipal water utility or on-site water supply system is adequate to serve the proposed project;
- \_\_\_\_\_ 50. Indicate whether the water quality is safe from both a chemical and bacteriological standpoint;
- \_\_\_\_\_ 51. Indicate whether the intended location of the service will be compatible with the location and elevation of the main;

#### **Public Safety**

- \_\_\_\_\_ 52. Whether or not the project location provides adequate access to police, fire and emergency medical services;
- \_\_\_\_\_ 53. Whether or not the proposed project design provides easy access for emergency vehicles and individuals (ie. are there obstacles to access, such as one-way roads, narrow bridges etc.);
- \_\_\_\_\_ 54. Whether or not there are plans for a security system which can be expanded, and whether approval for same has been granted by the police department;
- \_\_\_\_\_ 55. Detailed description of all fire access to the building, site, fire hydrants and water connections;
- \_\_\_\_\_ 56. Whether or not there are plans for adherence to all city and N.F.P.A. fire codes;



- \_\_\_\_\_ 57. Proof that one elevator has been designed to accommodate a medical cart;
- \_\_\_\_\_ 58. Detailed specifications on all fire lanes/parking lot surfaces/alleys/streets to demonstrate the ability to accommodate the weight of emergency / fire vehicles;
- \_\_\_\_\_ 59. Detailed description of all fire suppression systems;

### **Transportation issues**

- \_\_\_\_\_ 60. Provide completed FORM A – Transportation Study Questionnaire (Abbreviated);
- \_\_\_\_\_ 61. Provide completed FORM B – Transportation Study Questionnaire if required by the city’s transportation consultant;
- \_\_\_\_\_ 62. Indicate whether transportation facilities and services will be adequate to meet the needs of all users (i.e. access to public transportation, bicycle accommodations, pedestrian connections, disabled, elderly etc.);
- \_\_\_\_\_ 63. Indicate how the project will improve the mobility of all groups by providing transportation choices;
- \_\_\_\_\_ 64. Indicate how the users of the building will be encouraged to use public transit and non-motorized forms of transportation;
- \_\_\_\_\_ 65. Indicate the elements that have been incorporated into the site and surrounding right-of-way to encourage mode shift away from private vehicle trips;
- \_\_\_\_\_ 66. Indicate the elements of the project that have been provided to improve the comfort and safety of cyclists (such as secured or covered bicycle parking, lockers, bike lanes/paths, bicycle share program etc.);
- \_\_\_\_\_ 67. Indicate the elements of the project that have been provided to improve the comfort and safety of pedestrians (such as wheelchair ramps, crosswalk markings, pedestrian activated signal lights, bulb outs, benches, landscaping, lighting etc.);
- \_\_\_\_\_ 68. Indicate the elements of the project that have been provided to encourage the use of sustainable transportation modes (such as receptacles for electric vehicle charging, parking for scooters/Smart cars etc.);

### **Natural Features**

- \_\_\_\_\_ 69. Indicate whether there are any visual indicators of pond and / or stream water quality problems on or near the site;
- \_\_\_\_\_ 70. Indicate whether the project will involve any increase in impervious surface area and, if so, indicate the runoff control measures that will be undertaken;
- \_\_\_\_\_ 71. Indicate whether the project will affect surface water flows on water levels of ponds or other water bodies;
- \_\_\_\_\_ 72. Indicate whether the project may affect or be affected by a wetland, flood plain, or floodway;
- \_\_\_\_\_ 73. Indicate whether the project location or construction will adversely impact unique natural features on or near the site;
- \_\_\_\_\_ 74. Indicate whether the project will either destroy or isolate a unique natural feature from public access;
- \_\_\_\_\_ 75. Indicate whether any unique natural feature will pose safety hazards for the proposed development;
- \_\_\_\_\_ 76. Indicate whether the project will damage or destroy existing wildlife habitats; and

### **Other Information**

- \_\_\_\_\_ 77. Any other information as may reasonably be required by the City to assure an adequate analysis of all existing and proposed site features and conditions.

### **Professional Qualifications**

The preparer(s) of the CIS must indicate their professional qualifications, which must include registration in the state of Michigan in their profession where licensing is a state requirement for the practice of the profession (i.e. engineer, surveyor, architect etc.). Where the state does not require licensing (ie. planner, urban designer, economist etc.), the

preparer must demonstrate acceptable credentials including, but not limited to, membership in professional societies, university degrees, documentation illustrating professional experience in preparing CIS related materials for similar projects.



## ZONING REQUIREMENTS ANALYSIS

Development Standard	Required	Proposed	Variance Required
Zoning Classification			
Front Setback			
Rear Setback			
Side Setback			
FAR - Percentage			
FAR – Square Footage			
Open Space – Percentage			
Open Space – Square Footage			
Number of Residential Units			
Minimum Floor Area			
Maximum Height			
Parking			
Loading			
Screening			

## **Section 2**

### **CIS Checklist Supplemental Information**



## **Section 2**

### **CIS Checklist Supplemental Information**

#### **RH BIRMINGHAM**

Birmingham, MI 48009

#### **Combined CIS & Site Plan Review Application**

Planning Division

#### **GENERAL INFORMATION:**

1. Name and address of applicant and proof of ownership

**RH, INC.  
15 Koch Rd.  
Corte Madera, CA 94925  
(415) 936-9642**

**The (3) land parcels in the proposed development are owned by the following. Refer to Appendix 3.1 for Consent of Property Owner forms and Proof of Ownership.**

- 1. Address: 300 S. Old Woodward Ave  
Owner: BRB Equities, LLC**
- 2. Address: 394 S. Old Woodward Ave  
Owner: Frank T. Konjarevich Revocable Living Trust dated May 22, 1995**
- 3. Address: 294 E. Brown Street  
Owner: Trott Properties 294, LLC**

2. Name of Development

**RH Birmingham**

3. Address of site and legal description of the real estate

**300-394 South Old Woodward Avenue  
Birmingham, MI 48009**

**(Refer to Exhibit A for legal description provided in Appendix 3.0)**

4. Name and address of the surveyor

**Nowak & Fraus Engineers  
46777 Woodward Ave.  
Pontiac, MI 48342  
(248) 332-7931**

5. Legend and notes, including a graphic scale, north point, and date

**See Site Plan**

6. A separate location map

**See location map in Appendix 3.2.**

7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land

**Refer to zoning map provided in Appendix 3.2.**

8. Details of all proposed site plan changes

**Refer to Preliminary Site Plan Review drawings.**

#### **PLANNING AND ZONING ISSUES:**

9. Recommended land use of the subject property as designated on the future land use map of the city's master plan

**Zoned D-3**

10. Goals and objectives of the city's master plan that demonstrate the city's support of the proposed development

**The Downtown Birmingham 2016 Plan (1996): Recommended land use for this parcel is D-3 Flexible Use (appendix F-2, page 94). The intersection of Brown and Old Woodward is identified as a general redevelopment area in the 2016 Plan as Redevelopment Site II (Page 105, Appendix G-1). A conceptual build-out shown on Page 130 Appendix G-21 illustrates continuous frontage along S Old Woodward Ave which our proposed development reflects. Retail 5 & 6 (pg. 31-35) encourage anchor developments, liner retail, creating retail loops for connection, improving pedestrian crossings, and linking pedestrian traffic from the CBD to the South Old Woodward area. The proposed development meets the goals and objectives of the current master plan.**

11. Whether or not the project site is located within an area of the city for which an Urban Design Plan has been adopted by the Planning Board in which special design criteria or other supplemental development requirements apply

**The proposed project is within the Downtown Overlay Zoning.**

12. The current zoning classification of the subject property

**The current zoning classification for the subject property is D-3 in the Downtown Overlay Zoning.**

13. The zoning classification required for the proposed development

**The zoning classification required for the proposed development is D-4 in the Downtown Overlay Zoning.**

14. The existing land uses adjacent to the proposed project

**North: 5-story hotel building & 3-story Mixed-Use Building, zoned D-4 overlay zoning  
South: 3-story mixed-use building, zoned D-2 overlay zoning  
East: 2-story mixed-use buildings, zoned D-3 overlay zoning  
West: 2-story office building, zoned D-3 overlay zoning**

15. Complete the attached "Zoning Requirements Analysis" chart

**Refer to Section 1 for Zoning Requirements Analysis.**

### **LAND DEVELOPMENT ISSUES**

16. A survey and site drainage plan

**(See Civil Engineering drawings) Refer to the enclosed survey of the site.**

17. Identify any sensitive soils on the site that will require stabilization or alteration in order to support the proposed development

**Refer to the Environmental Soil Profiles and Geotechnical Investigation in Appendix 3.6.**

18. Whether or not the proposed development will occur on a steep slope, and if so, the measures that will be taken to overcome potential erosion, slope stability and runoff

**The proposed development does not occur on a steep slope. There is very little grade change on the parcels. However, during construction of the development, care will be taken to prevent any sediment laden soils from leaving the site and to stabilize any steep slopes by employing soil erosion best management techniques.**



19. The volume of excavated soils to be removed from the site and/or delivered to the site, and a map of the proposed haul routes.

**The volume of excavated soils is estimated to be 23,000 cubic yards. Refer to Appendix 3.9 for proposed haul route.**

20. Identify the potential hazards and nuisances that may be created by the proposed development and the suggested methods of mitigating such hazards

**Pedestrian and traffic control which will be clearly marked and identified with either jersey barriers, fencing, signage, street and sidewalk closures clearly identified, etc. Signage at the gates clearly noting areas as “do not enter”, etc. Misc. noise nuisances that may occur are demo of the existing structures, starting of large equipment, safety back-up alarms, and heavy machinery. Dust mitigation and track out clean-up will be accomplished with water spray guns and sweepers.**

#### **PRIVATE UTILITIES**

21. Indicate the source of all required private utilities to be provided

**Refer to Civil Engineering Drawings.**

22. Provide verification that all required utility easements have been secured for necessary private utilities

**It is unlikely that easements for private utility services will be required as all existing services and leads will be within the public right-of-way.**

#### **NOISE LEVELS**

23. Provide a reading of existing ambient noise and estimated future noise levels on the site.

**Refer to the Noise Impact Study completed by Kolano and Saha Engineers, Inc. in Appendix 3.3.**

24. Indicate whether the project will be exposed to or cause noise levels which exceed those levels prescribed in Chapter 50, Division 4, Section 50-71 through 50-77 of the Birmingham City Code, as amended

**Refer to the Noise Impact Study completed by Kolano and Saha Engineers, Inc. in Appendix 3.3.**

25. Indicate whether the site is appropriate for the proposed activities and facilities given the existing ambient noise and the estimated future noise levels of the site

**Refer to the Noise Impact Study completed by Kolano and Saha Engineers, Inc. in Appendix 3.3.**

### **AIR QUALITY**

26. Indicate whether the project is located in the vicinity of a monitoring station where air quality violations have been registered and, if so. Provide information as to whether the project will increase air quality problems in the area

**This development is located within the Southeast Air Quality District and the closest monitoring stations are located in Oak Park and Pontiac. Current ambient air quality standards are below the minimum standards from the EPA (Refer to air quality information in Appendix 3.7).**

27. Indicate if the nature of the project or its potential users would be particularly sensitive to existing air pollution levels and, if so, indicate how the project has been designed to mitigate possible adverse effects

**This development is consistent with similar downtown Birmingham building types and uses. Newer buildings are built with cleaner, more sustainable materials and equipment, which should mitigate some of these effects.**

28. Indicate whether the proposal will establish a trend which, if continued, may lead to violation of air quality standards in the future

**This development will not establish any trends pertaining to air quality standards, though there will be some additional pollution from the additional density of the built environment, which would be the case of any development.**

29. Indicate whether the proposed project will have parking facilities for more than 75 cars and indicate percentage of required parking that is proposed

**The proposed development will have one level of below grade parking that will hold 24 cars and street parking for 6 cars (Total = 36 cars). There is no percentage of required parking because the proposed project is within the parking assessment district.**



## **ENVIRONMENTAL DESIGN AND HISTORIC VALUES**

30. Indicate whether there will be demonstrable destruction or physical alteration of the natural or human-made environment on site or in the right-of-way (i.e. Clearance of trees, substantial regrading etc.)

**The existing structures will be demolished, along with the surface lot to make way for the proposed building. There are very few trees currently on these sites. The proposed development will greatly enhance the built environment with new trees, landscaping, and walks.**

31. Indicate whether there will be an intrusion of elements out of character or scale with the existing physical environment (i.e. Significant changes in size, scale of building, floor levels, entrance patterns, height materials, color or style from that of surrounding developments)

**The proposed buildings are similar in size, scale, and materiality to the existing neighboring buildings. The overall development brings density and activity to an underutilized site.**

32. Indicate all elements of the project that are eligible for LEED points if the building were to be LEED certified (i.e. Extensive use of natural daylight, use of low VOC paint, use of renewable/recycled resources, energy efficient mechanical systems, use of wind and solar power, geothermal heating etc.)

**Not Applicable**

33. Indicate whether the proposed structure will block or degrade views, change the skyline or create a new focal point

**The proposed building will not block or degrade views, as there has been thoughtful consideration to the adjacent properties, to enhance the overall area. The proposed development would lead to an increase in activity and would create a new area of focus on an underutilized site.**

34. Indicate whether there will be objectionable visual pollution introduced indirectly due to loading docks, trash receptacles or parking, and indicate mitigation measures for same

**There will not be objectionable visual pollution, as we are improving views to and from the site. Access to loading will be located off Daines Street on the parking ramp. Trash receptacles will be inside the building and hidden from view. Since there is no surface parking, parking aesthetics will be greatly improved by the proposed development.**

35. Indicate whether there will be an interference with or impairment of ambient conditions necessary for the enjoyment of the physical environment (i.e. Vibration, dust, odor, heat, glare, etc.)

**There will be no interference with or impairment of ambient conditions necessary for the enjoyment of the physical environment.**

36. Indicate whether the project area and environs contain any properties listed on the National Register of Historic Places or the city's inventory of historic structures

**The project area is not listed on the National Register of Historic Places or the City's inventory of historic structures.**

37. Provide any information on the project area that the State Historic Preservation Office (SHPO) may have.

**This office is not aware of the subject property appearing on the state registered historic properties.**

38. Indicate whether there will be other properties within the boundaries or in the vicinity of the project that appear to be historic and thus require consultation with the SHPO as to eligibility for the National Register

**No historic properties are directly adjacent to the site. The closest historic properties are 325 S. Old Woodward Ave (across S. Old Woodward Ave), 211 S. Old Woodward Ave, and 220 E. Merrill Street.**

39. Indicate whether the Department of the Interior has been requested to make a determination of eligibility on properties the SHPO or HDC deems eligible and affected by the project

**There is no indication that the Department of the Interior has been requested to make a determination of the historic value of the surrounding properties.**

40. Provide proof that the HDC has been given an opportunity to comment on properties that are listed on or have been found eligible for the National Register and which would be affected by the project.

**HDC review is not required for this development.**



## **REFUSE**

41. Indicate whether the existing or planned solid waste disposal system will adequately service the proposed development including space for separation of recyclable materials.

**There will be an air-conditioned refuse area on the first floor that will have adequate space for separation of recyclable materials. The refuse will be removed for daily scheduled pick-up.**

42. Indicate whether the design capacity of the existing or planned solid waste disposal system will be exceeded as a result of the project

**Solid waste generated from this development will be normal and can be handled via standard practices by local waste management.**

## **SANITARY SEWER**

43. Indicate whether existing or planned wastewater systems will be able to adequately service the proposed development

**Public gravity sanitary sewer exists within the South Old Woodward Avenue right-of-way along the frontage of the proposed development. It is anticipated that the existing sanitary sewer will have the capacity to adequately service the proposed development. Per preliminary meetings and correspondence with the City, the existing sewer along the frontage of the property has the capacity to handle the flows from the proposed development. The planned sewer service flow basis of design and capacity of the existing sewer will be reviewed and confirmed by the City Engineer prior to final site plan approvals.**

44. Indicate whether the design capacity of the facilities will be exceeded as a result of the project

**It is not anticipated that the design capacity of the existing sanitary sewer will be exceeded by the development. Per preliminary meetings and correspondence with the City, the existing sewer along the frontage of the property has the capacity to handle the flows from the proposed development. The planned sewer service flow basis of design and capacity of the existing sewer will be reviewed and confirmed by the City Engineer prior to final site plan approvals.**

45. Indicate the elements of the project that have been incorporated to reduce the amount of water entering the sewer system (such as low flush toilets, Energy Star appliances, restricted flow faucets, greywater recycling etc.)

**Low-flush toilets, restricted flow faucets, and greywater recycling may be incorporated to reduce the amount of water entering the sewer system.**

#### **STORM SEWER**

46. Indicate whether existing or planned storm water disposal and treatment systems will adequately serve the proposed development

**In existing conditions, .46 acres of the site (which is currently fully developed) drains via a storm sewer conveyance pipe network. No stormwater treatment measures are incorporated into the existing drainage system. The planned storm water management design will be reviewed and confirmed by the City Engineer prior to final site plan approvals.**

47. Indicate whether the design capacity of the facilities will be exceeded as a result of the project

**It is not anticipated that the design capacity of the existing municipal storm sewer systems in the area will be exceeded or adversely affected by the runoff from the proposed development. In proposed conditions, no additional runoff will be directed to drain to the municipal storm sewer system along South Old Woodward Avenue. Therefore, drainage from the site will not adversely affect the municipal system. The proposed pipe conveyance system will be designed to handle a 10-year design frequency storm in accordance with City standards.**

48. Indicate the elements of the project that have been incorporated to reduce the amount of storm water entering the sewer system (such as the use of pervious concrete, rain gardens, greywater recycling, green pavers etc.)

**In proposed conditions, the amount of impervious area will be reduced due to landscaping and roof terraces/gardens, thus reducing the overall amount of storm water entering the municipal storm systems.**



## **WATER SERVICE**

49. Indicate whether either the municipal water utility or on-site water supply system is adequate to serve the proposed project

**Public 12-inch water mains exist both within the South Old Woodward Avenue right-of-way and the E. Brown Street right-of-way along the frontage of the proposed development. A Public 8-inch water main exists within the Daines Street right-of-way. Per preliminary meetings and correspondence with the City, the existing 12-inch water main along South Old Woodward was installed in 2007 and should have the capacity to service the proposed building types. The planned water usage design and capacity of the existing water main will be reviewed and confirmed by the City Engineer prior to final site plan approvals.**

50. Indicate whether the water quality is safe from both a chemical and bacteriologist standpoint

**It is not anticipated that the water quality of the existing water main supply system is unsafe. The proposed water main will need to be field tested from both a chemical and bacteriological standpoint, in accordance with State and City standards, prior to making the connections to the existing water network and placing the proposed water main in service.**

51. Indicate whether intended location of the service will be compatible with the location and elevation of the main

**The proposed water supply design is compatible with the existing system and will not require rerouting, significant alterations, or modifications.**

## **PUBLIC SAFETY**

52. Whether or not the project location provides adequate access to police, fire and emergency medical services

**The proposed development offers direct access for emergency personnel from multiple access points (E. Brown Street, S. Old Woodward Avenue, and Daines Street).**

53. Whether or not the proposed project design provides easy access for emergency vehicles and individuals (ie. Are there obstacles to access, such as one-way roads, narrow bridges etc.)

**E. Brown Street, S. Old Woodward Avenue, and Daines Street provide easy access for emergency vehicles and individuals.**

54. Whether or not there are any plans for a security system which can be expanded, and whether approval for same has been granted by the police department.

**RH will have a security system per the retail tenant's requirements. It is the responsibility of the tenant to submit plans to the police department for approval.**

55. Detailed description of all fire access to the building, site, fire hydrants and water connections

**Refer to Civil Engineering Drawings.**

56. Whether or not there are plans for adherence to all city and N.F.P.A. fire codes

**All code requirements will be met.**

57. Proof that one elevator has been designed to accommodate a medical cart

**The proposed building will have one elevator that will accommodate a medical cart.**

58. Detailed specifications on all fire lanes/parking lot surfaces/alleys/streets to demonstrate the ability to accommodate the weight of emergency/ fire vehicles

**Refer to Civil Engineering Drawings.**

59. Detailed description of all fire suppression systems

**Full fire suppression system and/or standpipe, Siamese FDC, and knox box will be provided where required. Fire suppression drawings will be based on a performance specification. Drawings will be issued for the building with requirements for a design-build fire suppression contractor to submit full working plans and specifications for review which will then be submitted for approval prior to construction.**

## **TRANSPORTATION ISSUES**

60. Provide completed FORM A-Transportation Study Questionnaire (Abbreviated)

**Refer to the Traffic Impact Study by ROWE Professional Services Company in Appendix 3.4.**

61. Provide completed FORM B- Transportation Study Questionnaire if required by the city's transportation consultant

**Refer to the Traffic Impact Study by ROWE Professional Services Company in Appendix 3.4.**



62. Indicate whether transportation facilities and services will be adequate to meet the needs of all users (i.e. access to public transportation bicycle accommodations, pedestrian connections, disabled, elderly etc.)

**There is a SMART bus stop (#1652) located on S. Old Woodward Avenue between Daines Street and E. Frank Street, within proximity to the proposed building. Pedestrian connectivity will be improved with new streetscape elements.**

63. Indicate how the project will improve the mobility of all groups by providing transportation choices

**The proposed development can be easily accessed on three street fronts by vehicle, bicycle, or pedestrian traffic.**

64. Indicate how the users of the building will be encouraged to use the public transit and non-motorized forms of transportation

**There is a SMART bus stop within 400 feet of the site. The new sidewalks and streetscape elements are designed for pedestrian connectivity. New bike racks will be added to the existing streetscape around the project development.**

65. Indicate the elements that have been incorporated into the site and surrounding right of way to encourage mode shift away from private vehicle trips

**There is a SMART bus stop within 400 feet of the site. New bike racks will be added to the existing streetscape around the project development.**

66. Indicate the elements of the project that have been provided to improve the comfort and safety cyclists (such as secured or covered bicycle parking, lockers, bike lanes/paths, bicycle share program etc.)

**New bike racks will be added at the existing streetscape around the project development., in addition to illumination along walks and entries for safety and security.**

67. Indicate the elements of the project that have been provided to improve the comfort and safety of pedestrians (such as wheelchair ramps, crosswalk markings, pedestrian activated signal lights, bulb out, benches, landscaping, lighting etc.)

**There are markings on crosswalks. In addition, there are streetlights, benches, and landscape located along the sidewalks throughout the development. Building entrances would be at grade.**

68. Indicate the elements of the project that have been provided to encourage the use of sustainable transportation modes (such as receptacles for electric vehicle charging, parking for scooters/smart cars etc.)

**There will be electric vehicle charging in the below grade parking structure, along with parking for compact cars. New bike racks will be added around the development. In addition, it is walkable from the surrounding areas.**

## **NATURAL FEATURES**

69. Indicate whether there any visual indicators of pond and/or stream water quality problems on or near the site

**No water quality issues are known to exist.**

70. Indicate whether the project will invoke any increase in impervious surface area and, if so, indicate the runoff control measures that will be undertaken.

**The project proposes to decrease the impervious area of the existing site, thus runoff peak discharge rate and discharge volumes are expected to be reduced in proposed conditions.**

71. Indicate whether the project will affect surface water flows or water levels of ponds or other water bodies

**Effects to the surface water levels of water bodies in the area are not anticipated.**

72. Indicate whether the project may affect or be affected by a wetland, flood plain, or floodway

**The property does not lie within a special flood hazard area as defined by the Federal Emergency Management Agency; The property lies within Zone X of the Flood Insurance Rate Map identified as Map No. 26125C0537F bearing an effective 9/29/2006.**

73. Indicate whether the project location or construction will adversely impact unique natural features on or near the site

**It is not anticipated that the project location or construction will adversely impact unique natural features on or near the site. It is the intent to enhance the site through the proposed development.**

74. Indicate whether the project will either destroy or isolate a unique natural feature from public access

**It is not anticipated the development will destroy or isolate any unique natural feature from public access.**



75. Indicate whether any unique natural feature will pose safety hazards for the proposed development

**It is not anticipated that any existing natural feature will pose safety hazards for the proposed development.**

76. Indicate whether the project will damage or destroy existing wildlife habitats

**The existing site is urban land and it is not anticipated that the proposed project will destroy any existing wildlife or habitats.**

#### **OTHER INFORMATION**

77. Any other information as may reasonably be required by the city to assure an adequate analysis of all existing and proposed site features and conditions

**Our team will provide any additional information that the city requests during the site plan review process.**

## **PROFESSIONAL QUALIFICATIONS**

The preparer(s) of the CIS must indicate their professional qualifications, which must include registration in the state of Michigan in their profession where licensing is a state requirement for the practice of the profession (i.e. engineer, surveyor, architect etc.). Where the state does not require licensing (i.e. planner, urban designer, economist etc.), the preparer must demonstrate acceptable credentials including, but not limited to, membership in professional societies, university degrees, documentation illustrating professional experience in preparing CIS related materials for similar projects.

Preparer: Victor Saroki, FAIA. State of Michigan Architectural Registration no. 1301030354.



# Section 3

## Appendix

<b>Section 3</b>	Appendix
<b>3.0</b>	Legal Descriptions
<b>3.1</b>	Proof of Ownership
	Consent of Property Owner
	Warranty Deed
<b>3.2</b>	Maps
	Zoning Map
	Location Map
<b>3.3</b>	Noise Impact Study
<b>3.4</b>	Traffic Impact Study
<b>3.5</b>	Phase I Environmental Site Assessment
<b>3.6</b>	Geotechnical Investigation
<b>3.7</b>	Air Quality Information
<b>3.8</b>	Site Photographs
<b>3.9</b>	Site Logistics
	Preliminary Haul Routes Map
<b>4.0</b>	Mechanical Equipment Specifications

## **Section 3.0**

### **Legal Descriptions**



# Exhibit A

## LOT SPLIT / COMBINATION

### LEGAL DESCRIPTION - PARCELS I & II (PER TITLE COMMITMENT)

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

PARCEL I:  
THE EAST 1/2 OF LOT(S) 11 OF BROWN'S ADDITION TO THE CITY OF BIRMINGHAM AND THE EAST 1/2 OF LOT 16 OF BROWN'S ADDITION NO. 1, IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING THE VACATED WEST 20 FEET OF ANN STREET ADJOINING LOT 11 AND THE VACATED WEST 19 FEET OF ANN STREET ADJOINING LOT 16.

PARCEL II:  
THE WEST 1/2 OF LOT(S) 12 OF BROWN'S ADDITION TO THE VILLAGE (NOW CITY) OF BIRMINGHAM, OF PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST, TOWNSHIP OF BLOOMFIELD (NOW CITY OF BIRMINGHAM), OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, ALSO LOT 15, ADDITION TO WILLIAM BROWN'S ADDITION NO. 1, BEING A PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING VACATED 20 FEET OF ANN STREET, ADJOINING THE WESTERLY SIDE OF LOT 12 AND VACATED 21 FEET OF ANN STREET ADJOINING THE WESTERLY SIDE OF LOT 15.

ADDRESS: 294 E. BROWN STREET, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-021

### LEGAL DESCRIPTION - PARCEL 2 (PER TITLE COMMITMENT)

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

THE EASTERLY 50 FEET OF LOT 12, AND THE WESTERLY PART OF LOT 13, MEASURING 82.45 FEET ON THE NORTH LOT LINE AND 82.48 FEET ON THE SOUTH LOT LINE OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

ADDRESS: 300 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-006

### LEGAL DESCRIPTION - PARCEL 3 (PER TITLE COMMITMENT)

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

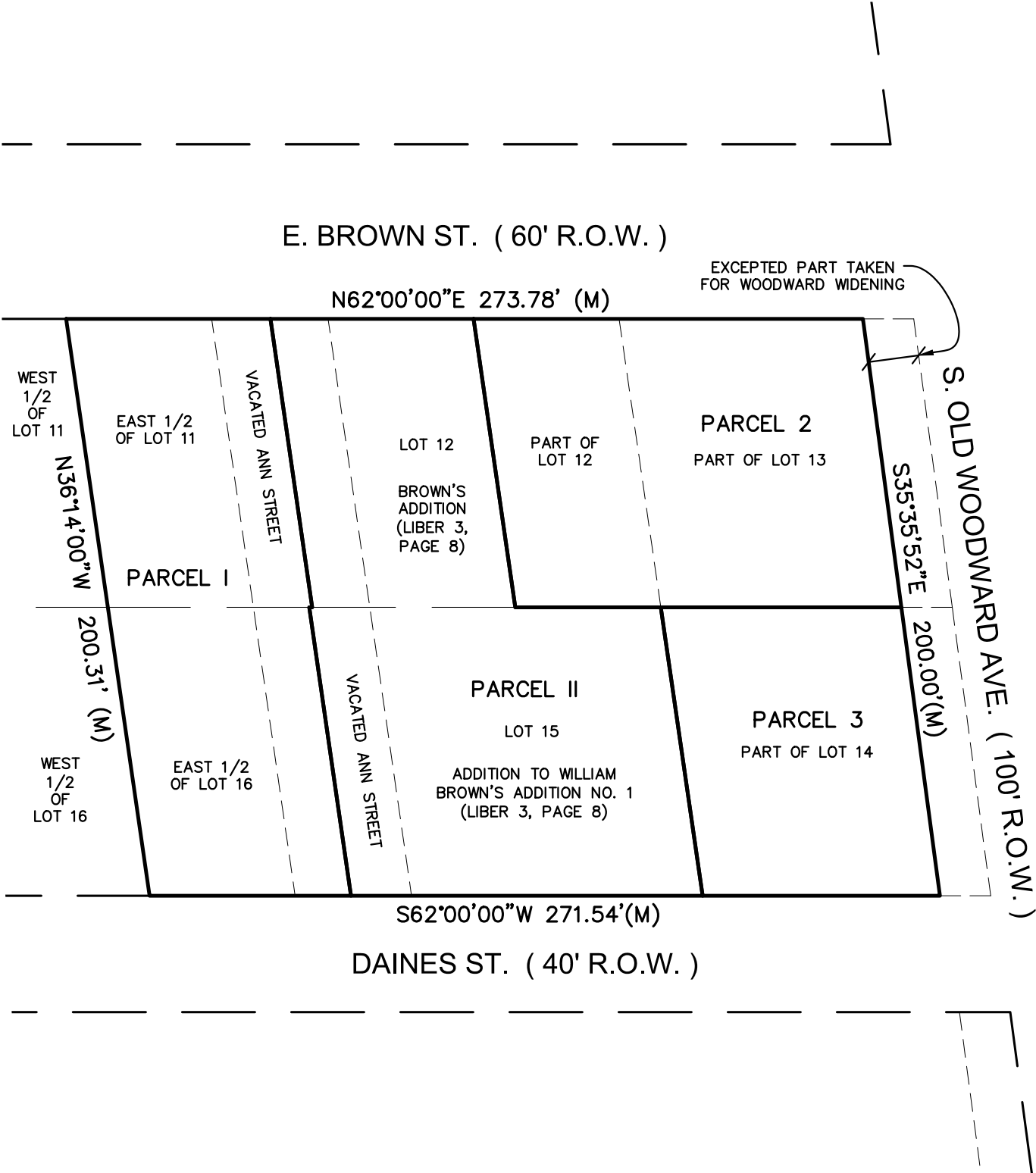
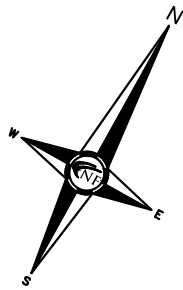
LOT(S) 14, EXCEPT THAT PART TAKEN FOR WIDENING WOODWARD AVENUE OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

ADDRESS: 394 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-014

Exhibit A

LOT SPLIT / COMBINATION





# Exhibit A

## LOT SPLIT / COMBINATION

### LEGAL DESCRIPTION - PROPOSED PARCEL A

LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI,  
DESCRIBED AS FOLLOWS:

PART OF LOTS 12 AND 13, EXCEPT THAT PART TAKEN FOR WIDENING  
WOODWARD AVENUE OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE  
PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND  
COUNTY RECORDS AND PART OF LOTS 14 AND 15, EXCEPT THAT PART  
TAKEN FOR WIDENING WOODWARD AVENUE OF ADDITION TO WILLIAM BROWN'S  
ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3  
OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; ALL BEING DESCRIBED  
AS: BEGINNING AT A POINT DISTANT S.62°00'00"W. 17.47 FEET FROM THE  
NORTHEAST CORNER OF SAID LOT 13 OF BROWN'S ADDITION SUBDIVISION;  
THENCE S.35°35'52"E. 200.00 FEET; THENCE S.62°00'00"W. 101.90 FEET;  
THENCE N.35°35'52"W. 200.00 FEET; THENCE N.62°00'00"E. 101.90 FEET TO  
THE POINT OF BEGINNING.

CONTAINING: 20,201.08 SQUARE FEET OR 0.46 ACRES OF LAND

### LEGAL DESCRIPTION - PROPOSED PARCEL B

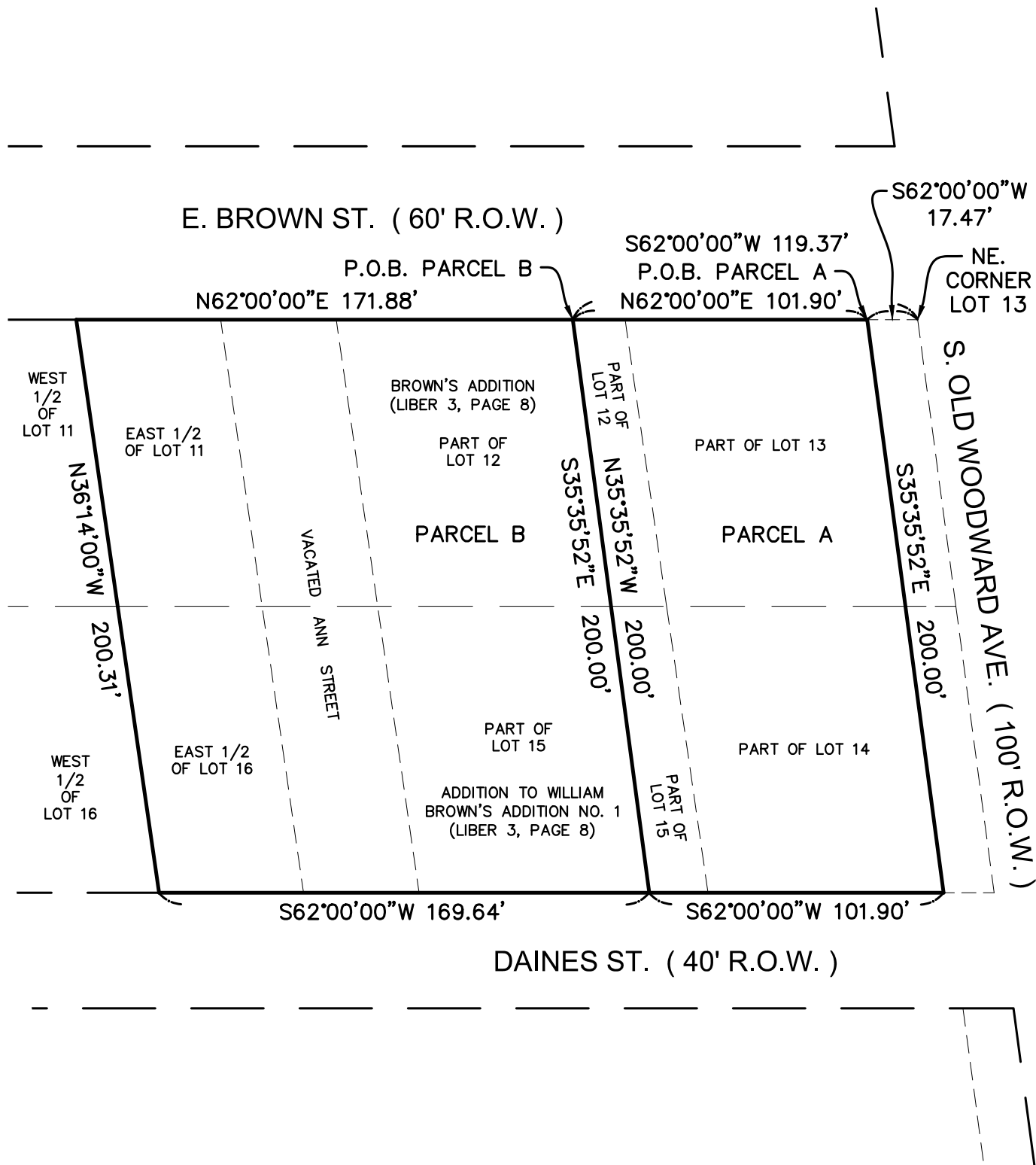
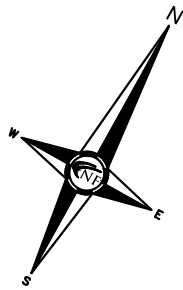
LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI,  
DESCRIBED AS FOLLOWS:

THE EAST 1/2 OF LOT 11, PART OF LOT 12 AND ALL OF VACATED ANN  
STREET ADJACENT THEREOF OF BROWN'S ADDITION SUBDIVISION ACCORDING  
TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF  
OAKLAND COUNTY RECORDS AND THE EAST 1/2 OF LOT 16, PART OF LOT  
15 AND ALL OF VACATED ANN STREET ADJACENT THEREOF OF ADDITION TO  
WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF  
RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS,  
ALL BEING DESCRIBED AS: BEGINNING AT A POINT DISTANT S.62°00'00"W.  
119.37 FEET FROM THE NORTHEAST CORNER OF SAID LOT 13 OF BROWN'S  
ADDITION SUBDIVISION; THENCE S.35°35'52"E. 200.00 FEET; THENCE  
S.62°00'00"W. 169.64 FEET; THENCE N.36°14'00"W. 200.31 FEET; THENCE  
N.62°00'00"E. 171.88 FEET TO THE POINT OF BEGINNING.

CONTAINING: 33,851.88 SQUARE FEET OR 0.78 ACRES OF LAND

Exhibit A

LOT SPLIT / COMBINATION





## **Section 3.1**

### **Proof of Ownership**

**CONSENT OF PROPERTY OWNER**

I, **BRB Equities, LLC**, OF THE STATE OF **Michigan** AND  
(Name of Property Owner)  
COUNTY OF **Oakland** STATE THE FOLLOWING:

1. That I am the owner of real estate located at **300 S. Old Woodward**;  
(Address of Affected Property)  
Combined CIS & Site Plan Review
2. That I have read and examined the Application for Administrative Approval made to the City of  
**RH, INC.**  
Birmingham by: \_\_\_\_\_;  
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Name of Owner (Printed): **BRB Equities, LLC**

Signature of Owner:  Date: 2/19/2021



LIBER 30401 PG 501

425016  
 LIBER 30401 PAGE 501  
 \$13.00 DEED - COMBINED  
 \$4.00 REMUNERATION  
 08/19/2003 12:09:36 P.M. RECEIPT# 73041  
 PAID RECORDED - OAKLAND COUNTY  
 G. WILLIAM CADDELL, CLERK/REGISTER OF DEEDS

QUIT CLAIM DEED STATUTORY FORM

KNOW ALL MEN BY THESE PRESENTS: That MBI Holding Inc.

whose street number and postoffice address is 4858 Willow Lane, Orchard Lake, MI 48324

Quit Claims to BRB Equities L.L.C.

whose street number and postoffice address is 4858 Willow Lane, Orchard Lake, MI 48324

the following described premises situated in the City of Birmingham, County of Oakland and State of Michigan, to wit:

Lot 13, and the East 1/2 of Lot 12, - of William Brown's Addition to the Village (now City) of Birmingham, according to the plat thereof as recorded in liber 3, page 8 of Plats, Oakland County Records, excepting that portion thereof taken for highway purposes.

*See attached*

Commonly known as 300 S. Old Woodward  
 Tax Item No: 19-36-204-006

for the sum of one (\$1.00) Dollar

Tax Exempt Pursuant to MCL 207.505(a) and MCL 207.526(a)

Dated this 28<sup>th</sup> day of APRIL, 2003

Signed and sealed in presence of

Signed and sealed:

*Artemus M. Pappas*  
 Print ARTEMUS M. PAPPAS

*Bowen R. Broock*  
 MBI Holdings, by Bowen R. Broock it's  
 President

*Chad Clark*  
 Print CHAD CLARK

STATE OF Michigan

) S.S.

COUNTY OF Oakland

The foregoing instrument was acknowledged before me this 28<sup>th</sup> day of APRIL, 2003, by Bowen R. Broock, President on behalf of MBI Holdings Inc.

My commission expires 10-7-04

*Artemus M. Pappas*  
 Artemus M. Pappas  
 Notary Public, OAKLAND County, Michigan

After recording return to: MARK HALL  
 MBI Holdings, Inc.  
 4858 Willow Lane

Orchard Lake, MI 48324

Drafted By: Devon Title Agency  
 Under the direction of: MBI Holdings Inc.  
 4858 Willow Lane  
 Orchard Lake, MI 48324

## DEVON TITLE AGENCY

37000 WOODWARD AVE., BLOOMFIELD HILLS, MI 48304  
 28351 SCHOENHERR, SUITE 100, WARREN, MI 48088-6333  
 15700 W. 10 MILE, SUITE 104, SOUTHFIELD, MI 48075  
 38047 ANN ARBOR ROAD, LIVONIA, MI 48150

O.K. - KB

95820

Order No.: 95820  
Property: 300 Old Woodward, S, Birmingham, MI 48009

---

**EXHIBIT**

The Easterly 50 feet of Lot 12, and the Westerly part of Lot 13, measuring 82.45 feet on the North lot line and 82.48 feet on the South lot line; BROWN'S ADDITION SUBDIVISION, plat of the West 1/2 of the Northeast 1/4 of Section 36, Town 2 North, Range 10 East, being an addition to the Village of Birmingham, Oakland County, Michigan, as recorded in Liber 3 of Plats, Page 8 of Oakland County Records.

Commonly known as 300 S. Old Woodward  
Tax Item No: 19-36-204-006

3008



495643  
LIBER 30959 PAGE 105  
\$13.00 DEED - COMBINED  
\$4.00 REDEMPTION  
10/01/2003 12:14:57 P.M. RECEIPT# 56184  
PAID RECORDED - OAKLAND COUNTY  
G. WILLIAM CARROLL, CLERK/REGISTER OF DEEDS

**QUIT CLAIM DEED STATUTORY FORM**

**KNOW ALL MEN BY THESE PRESENTS:** That MBI Holdings Inc.

whose street number and postoffice address is 4858 Willow Lane, Orchard Lake, MI 48324

Quit Claims to BRB Equities, LLC

whose street number and postoffice address is 4858 Willow Lane, Orchard Lake, MI 48324

the following described premises situated in the City of Birmingham, County of Oakland and State of Michigan, to wit:

Lot 13, and the East 1/2 of Lot 12, - of William Brown's Addition to the Village (now City) of Birmingham, according to the plat thereof as recorded in liber 3, page 8 of Plats, Oakland County Records, excepting that portion thereof taken for highway purposes.

*see attached*

Commonly known as 300 S. Old Woodward  
Tax Item No: 19-36-204-006

for the sum of one (\$1.00) Dollar

Tax Exempt Pursuant to MCL 207.505(a) and MCL 207.526(a)

Dated this 28 day of APRIL, 2003

Signed and sealed in presence of

Signed and sealed:

Print

*Bowen R. Brook*  
MBI Holdings, by Bowen R. Brook it's  
President

Print

STATE OF Michigan

} S.S.

COUNTY OF Oakland

The foregoing instrument was acknowledged before me this 28 day of APRIL, 2003, by Bowen R. Brook, President on behalf of MBI Holdings, Inc.

My commission expires 10-13-03

*Elise L. L'Evoy*  
ELISE L. L'EVVOIS

Notary Public, OAKLAND County, Michigan

After recording return to: *Bowen Brook*  
MBI Holdings, Inc.  
4858 Willow Lane

Orchard Lake, MI 48324

Drafted By: Devon Title Agency  
Under the direction of: MBI Holdings, Inc. / *Bowen Brook*  
4858 Willow Lane  
Orchard Lake, MI 48324

**O.K. - MH**

DEVON TITLE AGENCY  
37000 WOODWARD AVE., BLOOMFIELD HILLS, MI 48304  
28351 SCHOENHERR, SUITE 100, WARREN, MI 48088-6333  
15700 W. 10 MILE, SUITE 104, SOUTHFIELD, MI 48075  
38047 ANN ARBOR ROAD, LIVONIA, MI 48150

Order No.: 95820  
Property: 300 Old Woodward, S. Birmingham, MI 48009

---

**EXHIBIT**

The Easterly 50 feet of Lot 12, and the Westerly part of Lot 13, measuring 82.45 feet on the North lot line and 82.48 feet on the South lot line; BROWN'S ADDITION SUBDIVISION, plat of the West 1/2 of the Northeast 1/4 of Section 36, Town 2 North, Range 10 East, being an addition to the Village of Birmingham, Oakland County, Michigan, as recorded in Liber 3 of Plats, Page 8 of Oakland County Records.

Commonly known as 300 S. Old Woodward  
Tax Item No: 19-36-204-006

3008'





CONSENT OF PROPERTY OWNER

I, Frank T. Konjarevich or Lois H. Konjarevich as the Trustee for the Frank T. Konjarevich Revocable Living Trust dated \_\_\_\_\_, OF THE STATE OF **Michigan** AND  
(Name of Property Owner)  
COUNTY OF **Oakland** STATE THE FOLLOWING:

1. That I am the owner of real estate located at **394 S. Old Woodward**;  
(Address of Affected Property)  
Combined CIS & Site Plan Review
2. That I have read and examined the Application for ~~Administrative Approval~~ made to the City of  
**RH, INC.**  
Birmingham by: \_\_\_\_\_;  
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

**By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.**

Frank T. Konjarevich or Lois H. Konjarevich as the Trustee for the Frank T. Konjarevich Revocable Living Trust dated May 22, 1995  
Name of Owner (Printed): \_\_\_\_\_

Signature of Owner: Frank Konjarevich Date: 2/19/21

Quit Claim Deed - 863

Available from Target Information Management, Inc. (517) 337-1211

LIBER 15489-601

State Bar of Michigan Form

JUN 29 1995 11 16 19

The Grantor(s) **FRANK T. KONJAREVICH and LOIS H. KONJAREVICH, his wife**  
**32860 Ardwick, Farmington Hills, Michigan 48334**, whose address is

quit claim(s) to **FRANK T. KONJAREVICH or LOIS H. KONJAREVICH (or Successor Trustee) as the Trustee for the FRANK T. KONJAREVICH REVOCABLE LIVING TRUST dated May 22, 1995**

whose address is **32860 Ardwick, Farmington Hills, Michigan 48334**

the following described premises situated in the City of **Birmingham** County of **Oakland** and State of Michigan

\$ 7.00 DEED

\$ 2.00 REMONUMENTATION

29 JUN 95 11:48 A.M.

RECEIPT# 1568

PAID TO RECORDER - OAKLAND COUNTY

LYNN D. ALLEN, CLERK/REGISTER OF DEEDS

Lot 14, except that part taken for widening Woodward Avenue, Addition to William Brown's Addition No. 1, as recorded in liber 3, page 8 of Plats, Oakland County Records.

Tax Item No. 19-36-204-014

3008

for the sum of Exempt pursuant to MCLA 207.505(a) &amp; MCLA 207.526(a)

Dated this 22nd day of May, 19 95

Signed in the Presence of

P. Mark Accettura  
 \* P. MARK ACCETTURA

Sheryl L. Walker  
 \* SHERYL L. WALKER

Signed by:

Frank T. Konjarevich  
 \* FRANK T. KONJAREVICH  
Lois H. Konjarevich  
 \* LOIS H. KONJAREVICH

STATE OF MICHIGAN, }  
 COUNTY OF OAKLAND } SS.

The foregoing instrument was acknowledged before me this 22nd day of May 19 95, by FRANK T. KONJAREVICH and LOIS H. KONJAREVICH

P. Mark Accettura  
 \*P. MARK ACCETTURA  
 Notary Public, Oakland County,  
 Michigan

My commission expires: 1/28/97

When Recorded Return To: <b>DAGUANNO AND ACCETTURA</b> (Name) <b>34705 W. 12 Mile Road, Suite 311</b> (Street Address) <b>Farmington Hills, MI 48331</b> (City and State)	Send Subsequent Tax Bills To:  <b>GRANTEE</b>	Drafted By: <b>P. MARK ACCETTURA</b> <b>DAGUANNO AND ACCETTURA</b> Business Address: <b>34705 W. 12 Mile Road</b> <b>Suite 311</b> <b>Farmington Hills, MI</b> <b>48331</b>
---	---	--

Tax Parcel # \_\_\_\_\_ Recording Fee \_\_\_\_\_ Transfer Tax \_\_\_\_\_

\* Type or print names under signatures

OK - G.K.





CONSENT OF PROPERTY OWNER

I, Trott Properties 294, LLC, OF THE STATE OF Michigan AND  
(Name of Property Owner)  
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 294 E. Brown Street;  
(Address of Affected Property)

Combined CIS & Site Plan Review

2. That I have read and examined the Application for ~~Administrative Approval~~ made to the City of

Birmingham by: RH, INC.;  
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Name of Owner (Printed): Trott Properties 294, LLC

Signature of Owner:  Date: \_\_\_\_\_

OAKLAND COUNTY TREASURERS CERTIFICATE  
THEREBY CERTIFY that there are no TAX LIENS or TITLES  
held by the state or any individual against the within description  
and all TAXES on same are paid for five years previous to the  
date of this instrument as appears by the records in the office  
except as stated.

JAN 12 2010

ANDREW E. MEISNER, County Treasurer  
Sec. 135, Act 206, 1893 as amended

1.00

000525

LIBER 41771 PG 326

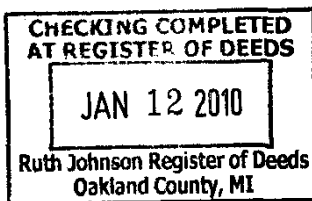
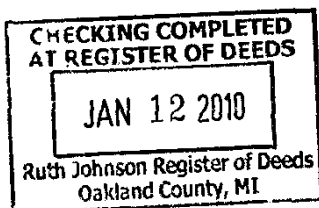
7760  
LIBER 41771 PAGE 326  
\$19.00 DEED - COMBINED  
\$4.00 REMONUMENTATION  
01/15/2010 08:17:17 A.M. RECEIPT# 3767

PAID RECORDED - OAKLAND COUNTY  
RUTH JOHNSON, CLERK/REGISTER OF DEEDS

### WARRANTY DEED

The Grantor, **DDJ - BIRMINGHAM, LLC**, a Delaware limited liability company  
("Grantor"),  
whose address is 1148 Alpine Road, Walnut Creek, CA 94596,  
Conveys and Warrants to **TROTT PROPERTIES 294, LLC**, a Michigan limited liability company  
("Grantee"),  
whose address is 31440 Northwestern Highway, Farmington Hills, MI 48334,  
the premises situated in the City of Birmingham, County of Oakland, State of Michigan, described in  
Exhibit A attached hereto and incorporated herein by reference, together with all and singular tenements,  
hereditaments, improvements, appurtenances and easements benefiting the said premises, for the sum of  
Ten Dollars (\$10.00) and other good and valuable consideration (see Real Estate Transfer Tax Valuation  
Affidavit), the receipt and sufficiency of which are hereby acknowledged, subject only to those matters  
described in Exhibit B attached hereto and incorporated herein by reference.  
Grantor grants Grantee the right to make all permitted divisions under Section 108 of the Land Divisions  
Act, Act No. 288 of the Public Acts of 1967.

Dated as of December 30, 2009.



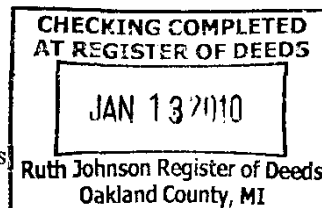
#### GRANTOR:

**DDJ - BIRMINGHAM, LLC**,  
a Delaware limited liability company

By:

  
Robert Dailey, Managing Member

[Notary Page Follows]



RECEIVED  
OAKLAND COUNTY  
REGISTER OF DEEDS  
2010 JAN 12 PM 12:34

4P  
ST

382325 sr

23+1

O.K. - A.N.

1840717

REVERSE TO BE AFFIXED AFTER RECORDING

JAN - 7 2010

4/23



**CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT**

State of California

County of Contra Costa }On 12/29/09 before me, Christine M. Johnson Notary Public  
Date Here Insert Name and Title of the Officer  
personally appeared Robert Dailey  
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Place Notary Seal Above

Signature

Signature of Notary Public

**OPTIONAL**

*Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.*

**Description of Attached Document**Title or Type of Document: Warranty DeedDocument Date: - Number of Pages: -Signer(s) Other Than Named Above: -**Capacity(ies) Claimed by Signer(s)**Signer's Name: Robert Dailey

- ☐ Individual  
☐ Corporate Officer — Title(s): \_\_\_\_\_  
☐ Partner — ☐ Limited ☐ General  
☐ Attorney in Fact  
☐ Trustee  
☐ Guardian or Conservator

☒ Other: managing member

Signer Is Representing: \_\_\_\_\_

RIGHT THUMBPRINT  
OF SIGNER

Top of thumb here



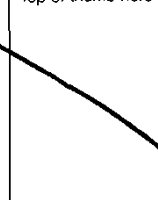
Signer's Name: \_\_\_\_\_

- ☐ Individual  
☐ Corporate Officer — Title(s): \_\_\_\_\_  
☐ Partner — ☐ Limited ☐ General  
☐ Attorney in Fact  
☐ Trustee  
☐ Guardian or Conservator  
☐ Other: \_\_\_\_\_

Signer Is Representing: \_\_\_\_\_

RIGHT THUMBPRINT  
OF SIGNER

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LIBER 41771 PG 328

**EXHIBIT A**  
Legal Description

The land referred to in this document is described as follows:

Land in the City of Birmingham, County of Oakland, State of Michigan, to-wit:

City of Birmingham

Tax Rolls Description:

The Northeasterly 1/2 of Lot 11 and the Southwesterly 1/2 of Lot 12, Brown's Addition, as recorded in Liber 3, Page 8 of Plats, Oakland County Records, also Lot 15 and the Northeasterly 1/2 of Lot 16 of Brown's Addition No. 1, as recorded in Liber 3, Page 8, Oakland County Records, also all of vacated Ann Street adjacent to the same.

Record Description:

Parcel 1:

The East 1/2 of Lot 11, Brown's Addition to the City of Birmingham and the East 1/2 of Lot 16 of Brown's Addition No. 1, in the City of Birmingham, Oakland County, Michigan, as recorded in Liber 3 of Plats, Page 8, Oakland County Records, including the vacated West 20 feet of Ann Street adjoining Lot 11 and the vacated West 19 feet of Ann Street adjoining Lot 16.

Parcel II:

The West 1/2 of Lot 12 of Brown's Addition to the Village (now City) of Birmingham, of part of the West 1/2 of the Northeast 1/4 of Section 36, Town 2 North, Range 10 East, Township of Bloomfield (now City of Birmingham), Oakland County, Michigan, as recorded in Liber 3, Page 8 of Plats, Oakland County Records; also Lot 15, Addition to William Brown's Addition No. 1, being a part of the West 1/2 of the Northeast 1/4 of Section 36, Town 2 North, Range 10 East, according to the plat thereof as recorded in Liber 3, Page 8 of Plats, Oakland County Records, including vacated 20 feet of Ann Street, adjoining the Westerly side of Lot 12 and vacated 21 feet of Ann Street adjoining the Westerly side of Lot 15.

More commonly known as: 294 East Brown Street, Birmingham, MI

Tax Item No. 19-36-204-021



LIBER 41771 PG 29

**EXHIBIT B**

Permitted Exceptions

1. Liens for real estate taxes which are not yet due and payable.
2. Terms of the Resolution of the Birmingham City Commission recorded in Liber 21398, Page 287, Oakland County Records, vacating the remaining 10 foot portion of Ann Street and the 40 foot wide easement between Brown and Daines Streets.

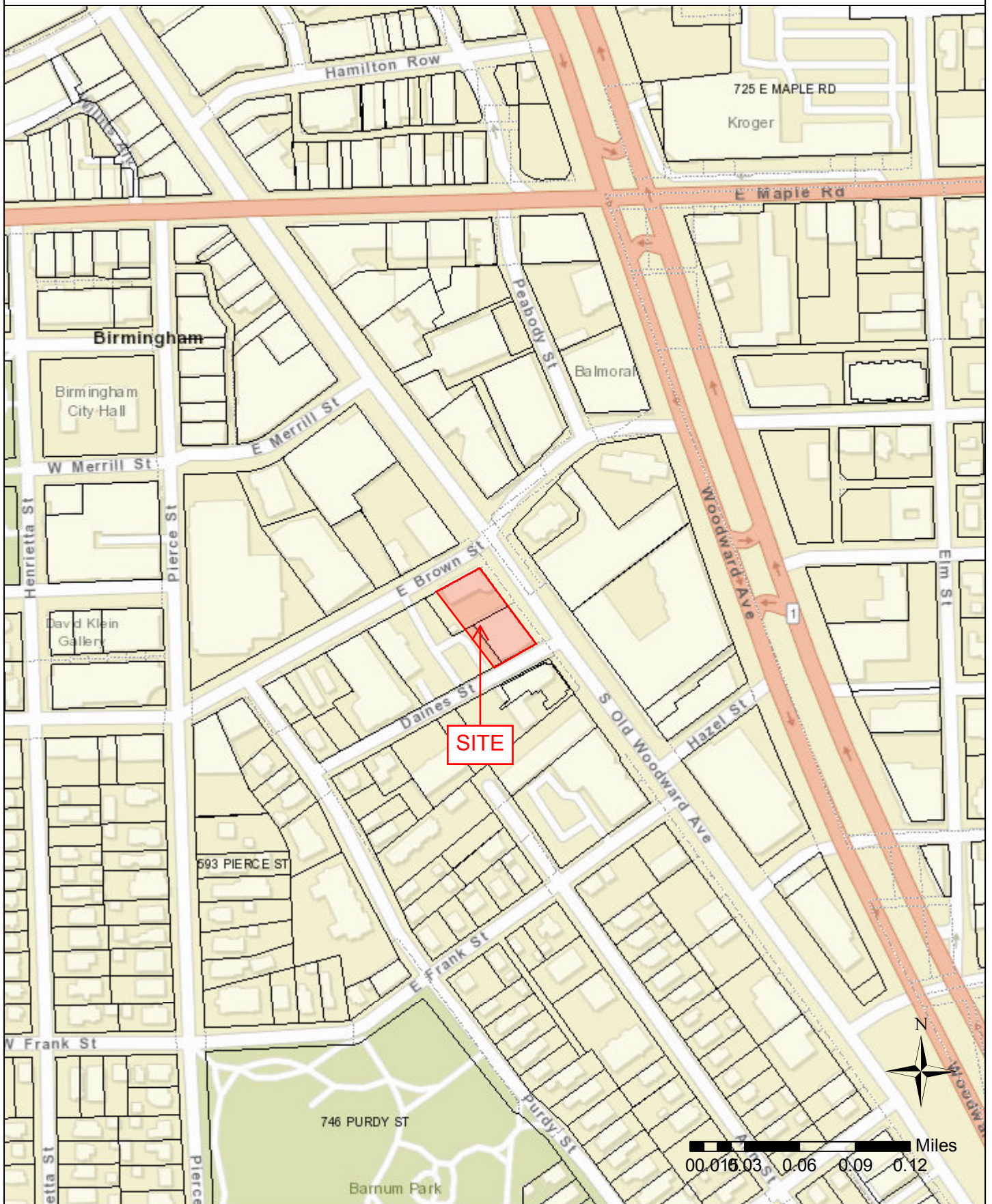
Return to:  
Trott Properties 294, LLC.  
31440 Northwestern Highway  
Farmington Hills, MI 48334

## **Section 3.2**

### **Maps**

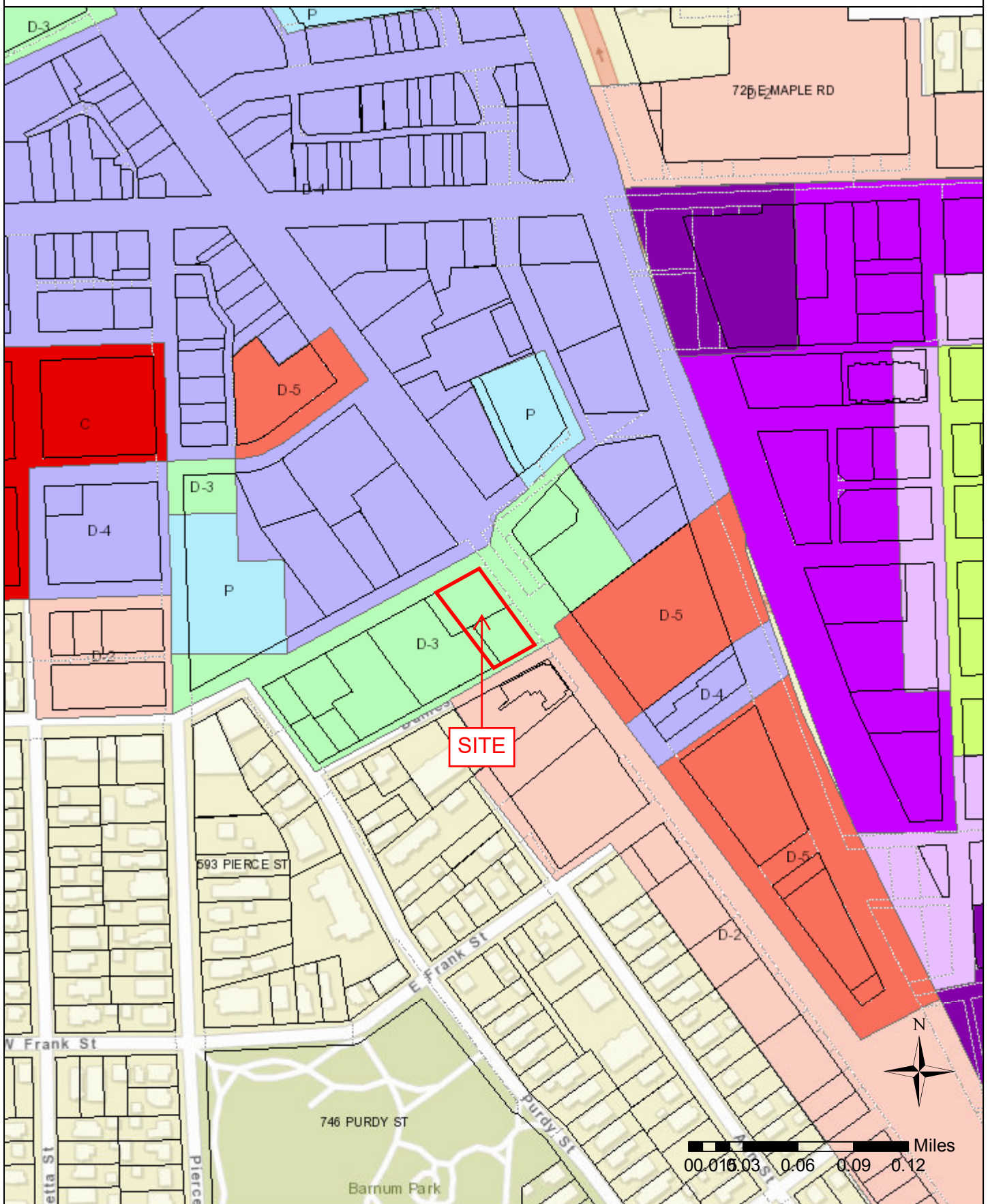


# Location Map





# Zoning Map





## **Section 3.3**

### **Noise Impact Study**



2021-026  
February 22, 2021

Mr. Alexander Saroki  
Saroki Architecture  
2051 Villa Rd, Suite 106  
Bloomfield Hills, MI 48304

Subject: **Birmingham CIS - Sound Level Measurements and Noise Impact Assessment**  
re: Restoration Hardware  
Birmingham, MI

Mr. Saroki:

At your request and authorization, Kolano and Saha Engineers, Inc. (K&SE) conducted an investigation to evaluate the community noise associated with the proposed Restoration Hardware development. This investigation included measurements of existing site noise levels at the proposed development site to understand the current ambient noise conditions. It also included a review and evaluation of the proposed development to help assess if noise associated with this development will be compatible at this location or if there are any specific noise sources that are likely to need some attention to noise control to meet the City Noise Ordinance limits.

### **On-Site Sound Level Measurements**

We conducted measurements using a Brüel & Kjær 2270 environmental noise analyzer with a precision outdoor microphone assembly. This instrumentation was calibrated before and after measurements using an acoustic calibrator traceable to the National Institute for Standards and Technology.

Measurements were conducted near the proposed site for a 24+ hour period to capture the existing ambient sound levels. Sound level measurements were conducted at a position that was in the vicinity of what is expected to be at the middle of the west wall of the proposed new building. This position is located 125 feet west of S. Old Woodward Ave. and 100 feet south of E. Brown St. Details of this measurement position is provided in **Exhibit 1**.

The measurement equipment captured sound levels starting at 8PM on February 15, 2021 and continued until 5PM on February 17, 2021. Due to limited timing to complete our study, measurements were conducted during a period with new snow fall of approximately 5-inches and the resulting snow clearing activities, both of which affected the sound levels measured. Snow on the ground absorbs sound and tends to reduce outdoor sound levels. However, equipment used to remove/relocate snow tends to be noisy and was noted to generate a significant level of noise during portions of our measurements at this site. The measurement results are provided in **Exhibit 2**. The results of the measurements are presented in a graph of sound level versus time. These graphs contain three plot lines; the 5-minute  $L_{eq}$  (energy average level), the hourly  $L_{eq}$  and the daytime and nighttime averaged sound levels.



### **City of Birmingham Noise Ordinance**

The City of Birmingham addresses noise in their ordinance under *Part II – City Code, Chapter 50 – Environment, Article II. Nuisances, Division 4 – Noise*. This ordinance provides information of Definitions, general prohibitions, specific prohibitions, decibel level prohibitions, general exemptions and test procedures.

The objective limits cited in this ordinance (as Table 1) are:

Use of Property Producing the Sound	Use of Property Receiving the Sound	Sunday to Saturday 7:00 a.m. to 7:00 p.m.	Sunday to Saturday 7:00 p.m. to 7:00 a.m.
Residential	Residential	75	60
Commercial	Residential	80	60
Residential	Commercial	80	60
Commercial	Commercial	90	75

Exemptions to these limits include power equipment operations between 7AM and 7PM that do not exceed 100 dB(A) at or beyond the property line, construction noise between 7AM and 7PM Monday-Saturday excluding holidays (with additional provisions), and snow removal which does not exceed 90 dB(A) at or beyond the property line.

The adjacent properties to this development include office buildings, commercial retail, banking and a multi-family residential building. The noise associated with the proposed retail development is expected to be primarily related to on-site vehicular noise and building mechanical equipment.

### **Proposed Development Noise Impact**

The proposed retail building is similar to other multi-story retail buildings in Birmingham. The proposed 3 story building is expected to be all retail for Restoration Hardware, plus a rooftop terrace with a restaurant. The sources of noise expected from the building include:

#### **Building Wide Heating and Cooling Mechanical Systems**

Heating and cooling for the building are expected to be managed by large unitary air-handling equipment located on the roof level. Mechanical units of this scale have the potential to contribute a significant level of noise beyond the property boundary. Though, if located sufficiently away from the property lines and with screen walls, these elements are not expected to exceed the ordinance limits.

With the restaurant located on the roof level, the kitchen exhaust is expected to be simpler with a shorter exhaust duct run than if it were located on the first floor. Even still, the kitchen exhaust fan has the potential to be a source of noise that may approach ordinance limits. Proper fan selection and efficient duct design can help prevent this from becoming an issue.

### **Delivery Trucks**

Trucks are expected to make deliveries to and from the Restoration Hardware building to stock retail items and the restaurant. These deliveries are expected to be similar to other retail stores in Birmingham and are not expected to be a noise issue.

### **Conclusion**

Based on the information we have been provided and with proper mechanical selections and shieling, we anticipate that the proposed development will not produce excessive noise contribution to the adjacent community and will be within the Birmingham Noise Ordinance limits.

Mr. Saroki, we are glad that we could assist you in this project. Please don't hesitate with any questions or if you need additional assistance.

Sincerely,

**KOLANO AND SAHA ENGINEERS, INC.**



Darren Brown, P.E.  
INCE Board Certified  
Senior Consultant



EXHIBIT 1

SITE PLAN DETAILING THE SOUND LEVEL MEASUREMENT LOCATION  
FOR THE PROPOSED RESTORATION HARDWARE

Community Impact Study for: Saroki Architecture

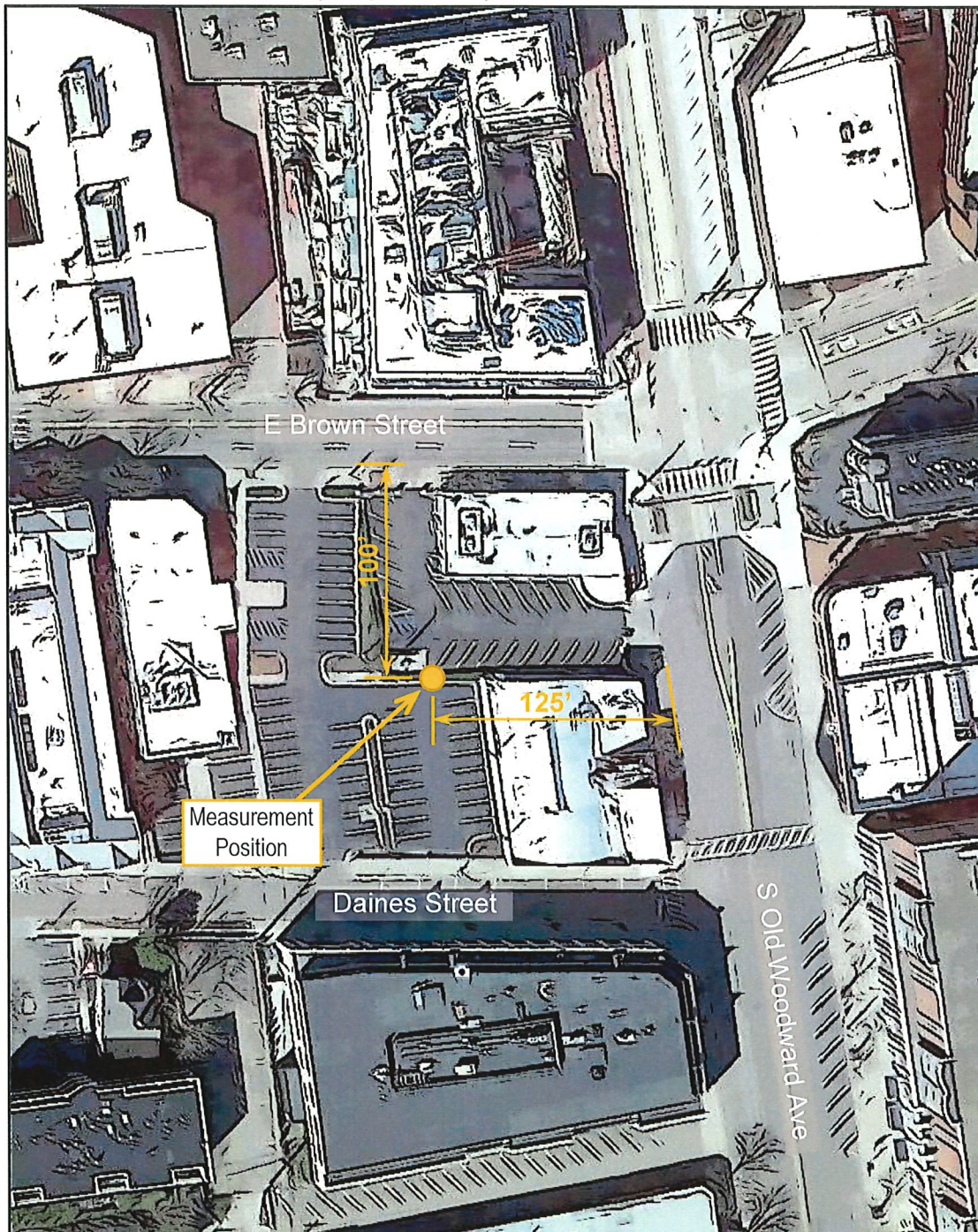
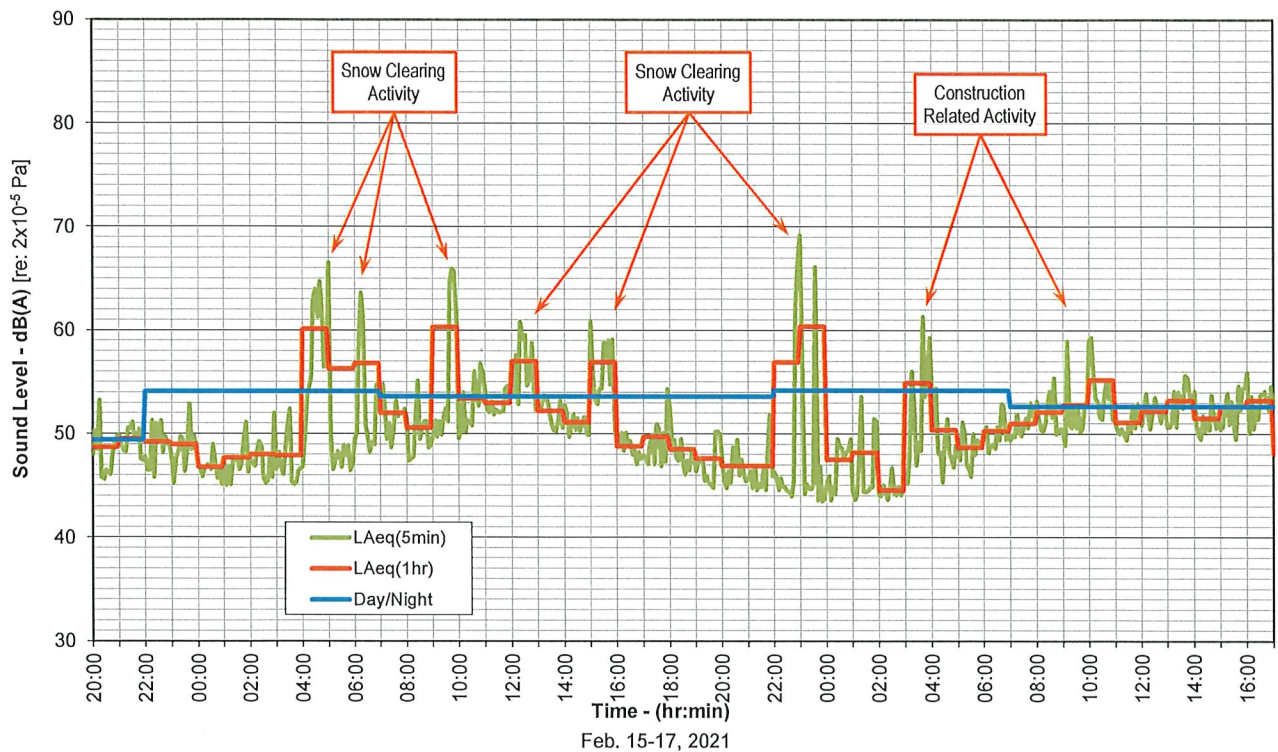




EXHIBIT 2

**Ambient Sound Levels at the Proposed Restoration Hardware Site**  
Measured 125 Feet West of S Old Woodward Ave, and 100 Feet South of Brown Street

Measurements Conducted for: Saroki Architecture





## **Section 3.4**

### **Traffic Impact Study**



# ROWE PROFESSIONAL SERVICES COMPANY

*Large Firm Resources. Personal Attention.*

## Memorandum

**To:** Alexander Saroki, AIA, NCARB – Saroki Architecture  
**From:** Paul T. O'Meara, PE and Brandon M. Hayes, PE, P.Eng.  
**Date:** February 24, 2021  
**RE:** Traffic Impact Statement for RH Development, 300 S. Old Woodward Ave., Birmingham

---

ROWE Professional Services Company has completed a Traffic Impact Statement (TIS) related to the proposed Restoration Hardware (RH) located on the west side of S. Old Woodward Avenue between E. Brown Street and Daines Street in Birmingham, MI. The current site plan (included in the materials attached to this report) shows three (3) floors of retail use (42,088 square feet [SF] total) and a rooftop restaurant (7,722 SF) with an anticipated opening date in 2022. There will be a vehicle ramp leading to underground parking with a driveway on the north side of Daines Street. This TIS was prepared to determine if any improvements would be necessary to mitigate traffic impacts to the adjacent road network. This report has been completed in accordance with the requirements specified by the City of Birmingham.

### TRAFFIC IMPACT STATEMENT

#### Existing Conditions

S. Old Woodward Avenue is under the jurisdiction of the City of Birmingham. Through the study area, the posted speed limit is 25 mph. S. Old Woodward is classified as a Major Collector roadway. Although no recent AADT data has been published for S. Old Woodward in the immediate vicinity of Brown Street, AADT volume data is available farther to the south (100 feet north of Haynes Street) and to the north (between Ravine Road and Euclid Avenue). Those 2019 AADT volumes published by the Southeast Michigan Council of Governments (SEMCOG) were reported as 10,136 vehicles per day (vpd) and 11,551 vpd, respectively.

E. Brown Street is under the jurisdiction of the City of Birmingham. Through the study area, the posted speed limit is 25 mph. E. Brown is classified as a Major Collector roadway. In the immediate vicinity of S. Old Woodward, traffic volume data published by SEMCOG in 2019 indicated that the AADT of the segment immediately west of S. Old Woodward was 8,566 vpd.

#### Traffic Counts

Turning movement counts (TMCs) were collected during the weekday PM (4 p.m. to 6 p.m.) and Saturday midday (11 a.m. to 1 p.m.) peak periods on February 3, 2021 and February 6, 2021 at the intersections of:

- S. Old Woodward Avenue & E. Brown Street; and
- S. Old Woodward Avenue & Daines Street.

Engineering | Surveying | Aerial Photography/Mapping | Landscape Architecture | Planning

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[www.rowepsc.com](http://www.rowepsc.com)



Due to the impact of COVID-19, current traffic volume data is not representative of typical operations. The City of Birmingham and their consultant provided a TMC conducted at the intersection of S. Old Woodward Ave. and Brown St. in 2019. This allowed ROWE to calculate the 2021 adjusted existing traffic volumes by applying the City-approved 0.5% per year growth rate to the 2019 data. This traffic volume normalization process yielded adjusted 2021 Existing Conditions traffic volumes at the intersection, without the impact of COVID-19.

Subsequently, a comparison was drawn between the adjusted 2021 Existing Conditions traffic data and the data collected at the adjacent intersection (S. Old Woodward Ave. and Daines St.) in February of 2021 for this project. The traffic volume comparison indicated the following for the PM peak hour:

- SB exiting volume, S. Old Woodward & Brown (2019 counts normalized to 2021): **391 vph**
- SB entering volume, S. Old Woodward & Daines (2021 counts): **227 vph**
- NB exiting volume, S. Old Woodward & Daines (2021 counts): **314 vph**
- NB entering volume, S. Old Woodward & Brown (2019 counts normalized to 2021): **404 vph**
- Total entering vehicles, S. Old Woodward & Brown (2019 counts normalized to 2021): **1,451 vph**
- Total entering vehicles, S. Old Woodward & Brown (2021 counts): **949 vph**

Therefore, PM peak hour southbound vehicle volumes at the intersection of S. Old Woodward Avenue and Daines Street were increased by 72% to normalize the traffic volume data collected in 2021 for this project. In addition, the northbound vehicle volumes at this intersection were increased by 29% to normalize the traffic volume data.

The total entering vehicle volume at the intersection of S. Old Woodward Avenue and Brown Street for the 2021 adjusted PM peak hour TMCs (based on the City's provided 2019 data) was compared to the total entering vehicle volume for the 2021 PM peak hour TMCs collected in February of 2021. The calculation indicated that the 2021 traffic volume data collected for this project should be increased by 53% to match pre-COVID traffic conditions adjusted for 2021. Therefore, all Saturday peak period TMCs were increased by 53% to calculate the 2021 Saturday (SAT) peak hour TMCs at all study intersections.

All traffic counts used in this study are attached to this memorandum. The existing adjusted peak hour traffic volumes are shown in Figure 1 attached to this memo.

### **Background Traffic Scenario**

Historical traffic data were referenced to determine the applicable growth rate for the existing traffic volumes for the project build-out year in 2022. Based on this review, a background growth rate of 0.5 percent was utilized after review and approval from the City. The background traffic volumes are shown in Figure 2 attached to this memorandum.

### **Trip Generation**

RH is a luxury brand in the home furnishings and design marketplace. The rooftop will contain a 7,722 SF high-end restaurant. In order to accurately estimate the trips generated by this development, manual turning movements counts were conducted during the Weekday PM and Saturday Midday time periods at the site driveways of a similar 79,249 SF RH development with rooftop restaurant in West Palm Beach, Florida in 2019. The as-counted trip generation rates for the existing 79,239 SF development were scaled to be proportional to the proposed 49,810 SF development. The results of the trip generation forecast is provided below in Table 1.

**Table 1**  
**Trip Generation for RH Development – Proxy Site**

Land Use	Land Use Code	Units	PM Peak Hour			Saturday Peak Hour		
			In	Out	Total	In	Out	Total
Restoration Hardware <sup>1</sup>	N/A	49,810 SF	14	12	26	23	17	40

<sup>1</sup>Counts based on data from RH West Palm Beach, FL site (79,349 SF); scaled to reflect proposed size.

Following this trip generation exercise, the City requested that ROWE conduct the trip generation analysis using traditional methods published by ITE. Therefore, using the information and methodologies specified in the latest version of *Trip Generation* (Trip Generation Manual, 10th Edition, 2017), ROWE forecast the weekday PM and SAT peak hour trips associated with the proposed development. The results of the trip generation forecast are provided below in Table 2.

**Table 2**  
**Trip Generation for RH Development – Trip Generation, 10<sup>th</sup> Edition**

Land Use	Land Use Code	Units	PM Peak Hour			Saturday Peak Hour			Weekday
			In	Out	Total	In	Out	Total	
Furniture Store	890	49,810 SF	12	14	26	31	26	57	304

The vehicle trip projections using the *Trip Generation Manual* were reasonably close to the vehicle trip projections using the West Palm Beach proxy site methodology, thereby validating the trip generation analysis for the development.

The vehicle trips in Table 2 were converted to person-trips by using the baseline vehicle mode split and baseline vehicle occupancy rates published by ITE in Appendix B of the ITE *Trip Generation Handbook, 3rd Edition*. The vehicle mode splits and vehicle occupancy rates for the studies contained within the *Trip Generation Handbook* are provided in Table 3 below.

**Table 3**  
**Vehicle Occupancy and Mode Share for RH Development**

Land Use	Land Use Code	Weekday Average	
		Vehicle Occupancy	Vehicle Mode Share (minimum)
Furniture Store	890	1.42	0.96

Appendix B of the *Trip Generation Handbook, 3<sup>rd</sup> Edition* specifies a weekday average vehicle occupancy rate of 1.42 for Furniture Store vehicle-based trips. No vehicle occupancy data is published for trips made on a weekend; however, it is reasonable to assume that the published weekday average data would similarly apply to the Saturday peak hour. Appendix B also specifies a *minimum* vehicle mode share of 96% of all Furniture Store person-trips. Therefore, it was assumed that the remaining 4% of person-trips were made via walking (2%), cycling (1%), and transit (1%). The vehicular trip generation associated with the new development was converted to a person-trip generation by applying the vehicle occupancy rate to the vehicular trip generation. This calculation is shown in Table 4 below. Subsequently, the vehicle mode share percentages were applied to the total number of person-trips to project the number of person-trips utilizing vehicle travel, walking, cycling, and transit travel to the site. This calculation is shown in Table 5 below.



**Table 4**  
**Person-Trip Generation for RH Development**

Land Use	Land Use Code	Units	PM Peak Hour			Saturday Peak Hour			Weekday
			In	Out	Total	In	Out	Total	
Furniture Store	890	49,810 SF	17	20	37	44	37	81	432

**Table 5**  
**Person-Trip Generation by Travel Mode for RH Development**

Travel Mode	Land Use	Units	PM Peak Hour			Saturday Peak Hour			Weekday
			In	Out	Total	In	Out	Total	
Vehicle	Furniture Store	49,810 SF	16	19	35	42	36	78	415
Walking	Furniture Store	49,810 SF	1	1	2	1	1	2	9
Cycling	Furniture Store	49,810 SF	0	0	0	1	0	1	4
Transit	Furniture Store	49,810 SF	0	0	0	0	0	0	4
<b>Total New Person-Trips</b>			<b>17</b>	<b>20</b>	<b>37</b>	<b>44</b>	<b>37</b>	<b>81</b>	<b>432</b>

### Trip Distribution

The existing traffic volumes were used to develop a trip distribution model for the PM and SAT peak hours for the new vehicle traffic that will be generated by the proposed development. Table 6 provides the probable distribution based on the existing traffic patterns.

**Table 6**  
**Trip Distribution**

Direction	Via	PM Peak Hour		SAT Peak Hour	
		To	From	To	From
North	S. Old Woodward Avenue	38%	28%	42%	18%
South	S. Old Woodward Avenue	29%	27%	23%	32%
East	E. Brown Street	22%	23%	25%	27%
West	E. Brown Street	7%	16%	5%	12%
	Daines Street	3%	6%	4%	11%
<b>Total</b>		<b>100%</b>	<b>100%</b>	<b>100%</b>	<b>100%</b>

The trip assignments for the site are shown in Figure 3 attached to this memo. The background traffic volumes were combined with the site generated traffic volumes to obtain the total future traffic volumes, which are shown in Figure 4 attached to this memo.

### Level of Service Analysis

Level of service (LOS) analyses for existing, background, and total future (build) conditions for the AM and PM peak hours were performed for the intersections of:

- S. Old Woodward Avenue & Brown Street
  - Signalized Intersection
- S. Old Woodward Avenue & Daines Street
  - Unsignalized Intersection

According to the most recent edition of the Highway Capacity Manual (6th Edition), LOS ranges from A to F, with LOS A representing desirable traffic operations characterized by low vehicle delays and LOS F representing extremely poor traffic operations characterized by excessive vehicle delays and long vehicle queues. LOS D or above is generally considered to be acceptable in an urban/suburban area. Table 7 presents the criteria for defining the various LOS for signalized and unsignalized intersections.

**Table 7**  
**LOS Criteria**

LOS	Average Stopped Delay/Vehicle (seconds)	
	Signalized Intersection	Unsignalized Intersection
A	≤ 10	≤ 10
B	> 10 and ≤ 20	> 10 and ≤ 15
C	> 20 and ≤ 35	> 15 and ≤ 25
D	> 35 and ≤ 55	> 25 and ≤ 35
E	> 55 and ≤ 80	> 35 and ≤ 50
F	> 80	> 50

The results of the LOS analyses for the intersection listed above are summarized in Table 8 through Table 10. Full LOS output reports are attached to this memorandum.

### **Existing Conditions**

The results of the LOS analysis for *Existing Conditions* indicate that all approaches of the study intersections operate at LOS C or better during the PM and SAT peak hours. The results of the operational analysis for *Existing Conditions* are presented in Table 8.

**Table 8**  
**LOS Analysis for Existing Conditions**

Intersection	Control Type	Approach	PM Peak Hour	SAT Peak Hour
S. Old Woodward Ave. & E. Brown St.	Signalized	EB	C 22.4	B 17.7
		WB	C 21.9	B 18.6
		NB	C 21.7	C 24.7
		SB	B 19.4	C 24.1
		<b>Overall</b>	<b>C 21.6</b>	<b>C 21.7</b>
S. Old Woodward Ave. & Daines St.	Unsignalized	EB	B 13.6	B 12.7
		NB LT	A 8.5	A 8.2
		SB	FREE	FREE

The following observations were made following the *Existing Conditions* analysis:

#### ***S. Old Woodward Ave. & E. Brown St.***

- Minor vehicle queues are possible at the northbound left turn lane. After reviewing the microsimulation analysis, it was noted that 95<sup>th</sup> percentile queue lengths reached 128 feet (5 vehicles) during the PM peak hour and 126 feet (5 vehicles) during the SAT peak hour. A queue spillback into the adjacent northbound through lane is possible, although unlikely. If this issue re-emerges as traffic volumes continue to recover and normalize with the reduction in magnitude of pandemic effects, the City of Birmingham could consider adding additional green time to the northbound/southbound phase at this signalized intersection. However, this situation should be monitored going forward, and no intersection improvements or signal timing changes are recommended at this time.

### **Background Conditions**

When considering the assessment of the *Background Conditions* traffic scenario, ROWE assumed that the Old Woodward Ave. streetscape improvements project will be completed after the 2022 analysis year (representing build-out of the proposed development). Functionally, the streetscape project will provide an exclusive left turn opportunity for northbound S. Old Woodward



Ave. traffic to turn onto westbound Daines St. The striping of this left turn lane associated with the streetscape project will provide a capacity improvement once completed; the effects of this capacity improvement are not present in this study, but it is expected that vehicle delays and queues will be reduced once the streetscape project has been completed. The results of the LOS analysis for *Background Conditions* indicate that all approaches of the study intersections continue to operate at LOS C or better during the PM and SAT peak hours. The results of the operational analysis for *Background Conditions (without the proposed development)* are presented in Table 9.

**Table 9**  
**LOS Analysis for Background Conditions**

Intersection	Control Type	Approach	PM Peak Hour	SAT Peak Hour
S. Old Woodward Ave. & E. Brown St.	Signalized	EB	C 22.4	B 17.7
		WB	C 21.9	B 18.6
		NB	C 21.7	C 24.8
		SB	B 19.4	C 24.1
		<b>Overall</b>	<b>C 21.6</b>	<b>C 21.7</b>
S. Old Woodward Ave. & Daines St.	Unsignalized	EB	B 13.6	B 12.7
		NB LT	A 8.5	A 8.2
		SB	FREE	FREE

The following observations were made following the *Background Conditions* analysis:

*S. Old Woodward Ave. & E. Brown St.*

- Minor vehicle queues remain possible at the northbound left turn lane. After reviewing the microsimulation analysis, it was noted that 95<sup>th</sup> percentile queue lengths reached 125 feet (5 vehicles) during the PM peak hour and 132 feet (5 vehicles) during the SAT peak hour. No additional intersection improvements or signal timing changes are recommended at this time on the basis of the Background Conditions analysis.

**Future Conditions**

The results of the LOS analysis for *Future Conditions* indicate that all approaches of the study intersections continue to operate at LOS C or better during the PM and SAT peak hours. The results of the operational analysis for Future Conditions (*with the proposed development*) are presented in Table 10.

**Table 10**  
**LOS Analysis for Future Conditions**

Intersection	Control Type	Approach	PM Peak Hour	SAT Peak Hour
S. Old Woodward Ave. & E. Brown St.	Signalized	EB	C 22.4	B 17.7
		WB	C 22.0	B 18.7
		NB	C 21.9	C 25.3
		SB	B 19.5	C 24.4
		<b>Overall</b>	<b>C 21.7</b>	<b>C 22.0</b>
S. Old Woodward Ave. & Daines St.	Unsignalized	EB	C 16.4	C 17.8
		NB LT	A 8.5	A 8.3
		SB	FREE	FREE
Daines St. & Site Driveway	Unsignalized	EB LT	A 7.3	A 7.3
		WB	FREE	FREE
		SB	A 8.9	A 8.9

The following observations were made following the **Future Conditions** analysis:

**S. Old Woodward Ave. & E. Brown St.**

- Minor vehicle queues remain possible at the northbound left turn lane. After reviewing the microsimulation analysis, it was noted that 95<sup>th</sup> percentile queue lengths reached 136 feet (5-6 vehicles) during the PM peak hour and 131 feet (5 vehicles) during the SAT peak hour. No additional intersection improvements or signal timing changes are recommended at this time on the basis of the Future Conditions analysis.

**S. Old Woodward Ave. & Daines St.**

- Minor increases in vehicle queues were noted on the eastbound approach following the assignment of site-generated vehicle trips to the adjacent road network. After reviewing the microsimulation analysis, it was noted that 95<sup>th</sup> percentile queue lengths were reported as 43 feet (1-2 vehicles) during the PM peak hour and 51 feet (2 vehicles) during the SAT peak hour. Overall, this intersection operates well despite the new vehicle trips, and no intersection improvements are recommended at this time on the basis of the Future Conditions analysis.

**Site Circulation**

95<sup>th</sup> percentile queue lengths were assessed at the underground vehicle parking egress point on Daines Street. These queue lengths did not exceed 36 feet (1-2 vehicles) during the PM peak hour and 42 feet (1-2 vehicles) during the SAT peak hour. In addition, the assessment of 95<sup>th</sup> percentile queue lengths at S. Old Woodward Ave. and Daines St. indicated that queue lengths would not exceed 43 feet (1-2 vehicles) during the PM peak hour and 51 feet (2 vehicles) during the SAT peak hour. No vehicle impacts at the parking garage egress are anticipated based on the short vehicle queues assessed on the southbound Site Driveway approach at Daines Street. In addition, no queue spillback driveway blockages are expected based on the short vehicle queues assessed on the eastbound Daines Street approach at S. Old Woodward Ave.

**Crash Analysis**

A crash analysis was conducted along all roadways bordering the site. Traffic crash data was reviewed for the most recent and complete five years (January 1, 2016 – December 31, 2020) of available data. The results of this analysis revealed there were a total of 48 crashes on these segments. Of these 48 crashes, there were no fatal or serious injury (A) crashes; 2 minor injury (B) crashes and 7 potential injury (C) crashes were reported. Thirty-nine (39) of the crashes were reported as property damage only (O) crashes. Below is a summary of all crash types within the studied segments:

- 15 Angle Crashes
  - 2 crashes occurred in icy/snowy road condition
  - 1 crash involved alcohol/drugs
  - 6 crashes involved a vehicle attempting to complete an illegal U-Turn into a parking space
  - 2 additional crashes involved a vehicle attempting to back out of a parking space
  - 1 crash involved a vehicle striking a parked vehicle
  - 3 crashes involved a vehicle turning without assured clear distance
  - 3 crashes involved red-light running
- 10 Rear-End Crashes
  - 1 crash occurred in icy/snowy road condition
  - All crashes involved a vehicle failing to stop for slowing or stopped traffic
- 9 Sideswipe Crashes



- 4 crashes involved a vehicle attempting to enter or exit a parking space
  - 3 crashes involved a vehicle attempting to pass another vehicle
  - 2 crashes involved a vehicle striking a parked vehicle
- 5 Backing Crashes
  - All crashes involved a vehicle attempting to back out of a parking space
- 4 Other Crashes
  - 1 crash involved a vehicle attempting to park
  - 1 crash involved a vehicle attempting to complete an illegal U-Turn into a parking space
  - 1 crash involved a bus attempting to turn right and striking a parked vehicle
  - 1 crash involved a pedestrian/bike
- 3 Single Motor Vehicle Crashes
  - 1 crash involved alcohol/drugs
  - 1 crash involved a bike failing to yield for a parking vehicle
  - 1 crash involved a vehicle striking a fire hydrant
- 1 Head-On Crash
  - Crash involved a vehicle crossing the centerline of the roadway
- 1 Other Crash
  - 1 crash involved an unknown vehicle striking a parked vehicle

Twenty-three (23) crashes involved the on-street parking along S Old Woodward Avenue. Of these crashes, 7 involved a vehicle attempting to make an illegal U-Turn into a parking space, 12 involved a vehicle entering or exiting a parking space, and 4 involved a vehicle striking a parked vehicle. The addition of boulevards as part of the S Old Woodward Avenue reconstruction project will remove the ability to complete a U-Turn in some areas. For other areas, the existing “No U-Turn” signs should be reviewed to confirm that they are placed in visible areas and are not blocked by tree limbs or other signs. Additional signage and public outreach on how to properly enter and exit angle parking may help reduce the number of crashes. Additionally, the prevalence of backup cameras and blind spot warning systems in newer vehicles can help assist in safe parking maneuvers.

No additional crash patterns were identified. A summary of the crash data is attached to this memorandum.

### **Multimodal Considerations**

#### **Cyclists**

Although shared lane markings have been proposed to designate E. Brown Street as a cyclist route, no pavement markings have been installed to date. The proposed development includes one bike rack on Brown Street; it can accommodate parking for two bicycles. No further bike network enhancements are required to support the subject development.

#### **Pedestrians**

Adjacent to the site, sidewalks are located on both sides of S. Old Woodward Ave., E. Brown St., and Daines St. ADA-compliant pedestrian crossings are located on every approach at the signalized intersection of S. Old Woodward Ave. and E. Brown St. A midblock pedestrian crossing is also located across S. Old Woodward Ave. on the north side of the intersection with Daines St. The proposed development will maintain the existing sidewalk configuration. No further

enhancements to pedestrian access are required to support the development.

### Transit Users

*Route 450/460 – Woodward Local* have scheduled stop locations at S. Old Woodward & Daines. These routes, administered by SMART, run for approximately 18 hours on weekdays and Saturdays, and for approximately 16 hours on Sundays. Headways are approximately 60 minutes for each of the two independent numbered routes. No additional bus stops or routes are required to support the subject development.

### **Conclusions and Recommendations for the Traffic Impact Study**

The proposed development comprises a Restoration Hardware (RH) located on the west side of S. Old Woodward Avenue between E Brown Street and Daines Street in Birmingham, MI. The current site plan shows three (3) floors of retail use (42,088 SF total) and a rooftop restaurant (7,722 SF) with an anticipated opening date in 2022. The proposed development will have access to Daines Street via a single vehicle driveway that will lead to underground parking.

The proposed development is forecast to generate 26 new trips during the PM peak hour (12 inbound and 14 outbound from the site) and 57 new trips during the SAT peak hour (31 inbound and 26 outbound from the site).

An operational analysis was performed for *Existing Conditions*, *Background Conditions (without the proposed development)*, and *Future Conditions (with the proposed development)* for the intersections of:

- S. Old Woodward Avenue & Brown Street; and
- S. Old Woodward Avenue & Daines Street.

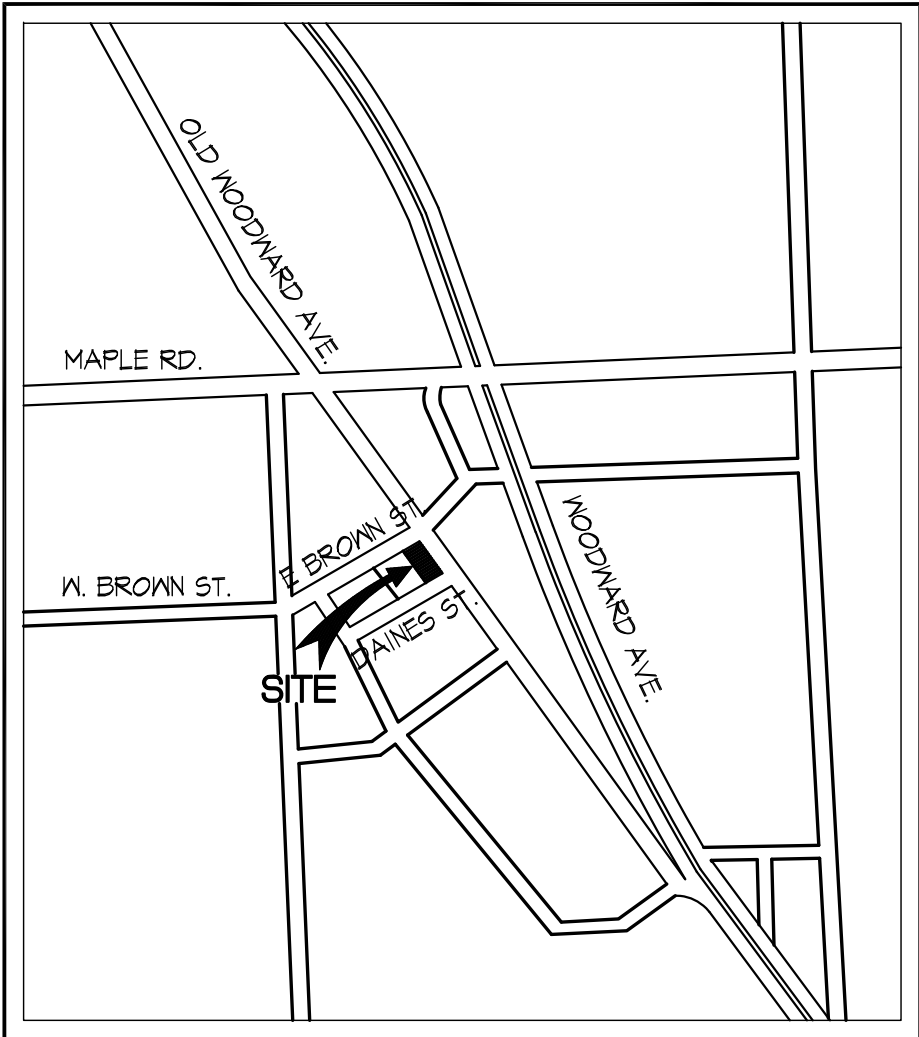
The operational analysis indicated that all approaches of the study intersections will operate at LOS C or better during both the PM and SAT peak hours. No improvements are required to mitigate unacceptable traffic operations during any of the analysis scenarios.

Overall, the proposed project does not have a significant impact at the study intersections or on the surrounding road network. No transportation infrastructure improvements will be required to support the development on opening day.

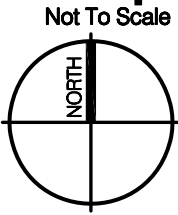
### Attachments



# **SITE PLAN**



site location map:



**LEGAL DESCRIPTION - SWAP PARCEL 1**  
LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:  
PART OF LOT 12 OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; BEING DESCRIBED AS: BEGINNING AT A POINT DISTANT 5.62'00"00"W. 119.37 FEET FROM THE NORTHEAST CORNER OF LOT 13 OF SAID BROWN'S ADDITION SUBDIVISION; THENCE S.35°35'52"E. 100.00 FEET; THENCE S.62°00'00"W. 30.76 FEET; THENCE N.36°14'00"W. 100.15 FEET; THENCE N.62°00'00"E. 31.88 FEET TO THE POINT OF BEGINNING. CONTAINING: 3,104 SQUARE FEET OR 0.07 ACRES OF LAND

**LEGAL DESCRIPTION - SWAP PARCEL 2**  
LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:  
PART OF LOT 15 OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, BEING DESCRIBED AS: BEGINNING AT A POINT DISTANT 5.62'00"00"W. 119.37 FEET AND S.35°35'52"E. 100.00 FEET FROM THE NORTHEAST CORNER OF LOT 13 OF BROWN'S ADDITION SUBDIVISION AS RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; THENCE N.62°00'00"E. 19.24 FEET; THENCE S.35°14'00"E. 100.15 FEET; THENCE S.62°00'00"W. 20.36 FEET; THENCE N.35°35'52"W. 100.00 FEET TO THE POINT OF BEGINNING. CONTAINING: 1,963 SQUARE FEET OR 0.04 ACRES OF LAND

**SAROKI**  
ARCHITECTURE

430 N. OLD WOODWARD  
BIRMINGHAM, MI 48009  
P. 248.258.5707  
F. 248.258.5515

SarokiArchitecture.com

Project:  
RH / Mixed-Use  
300 S Old Woodward  
Birmingham, MI 48009

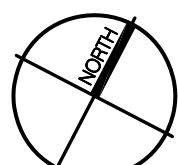
Date: Issued For:

02-24-2021 Preliminary Site Plan App.

Sheet No.:

SP01

Architectural Site Plan

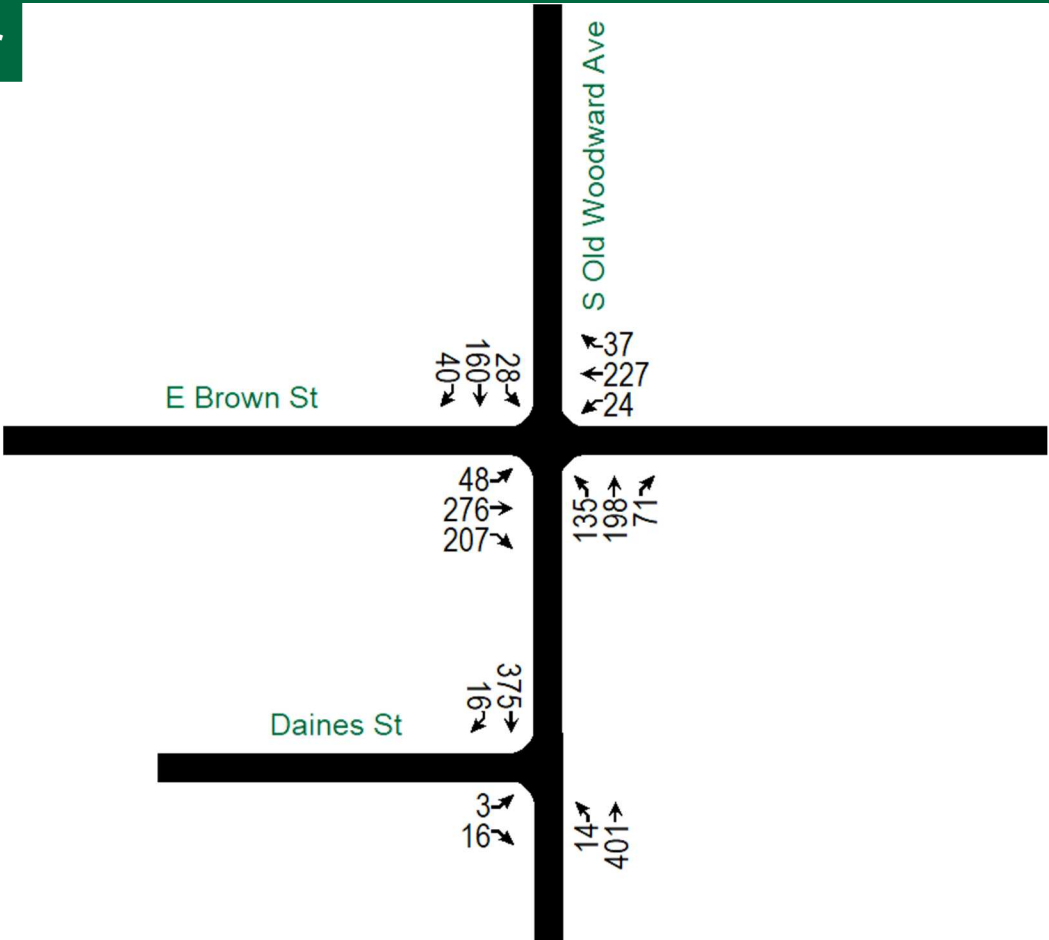


Architectural Site Plan  
SCALE: 3/32" = 1'-0"

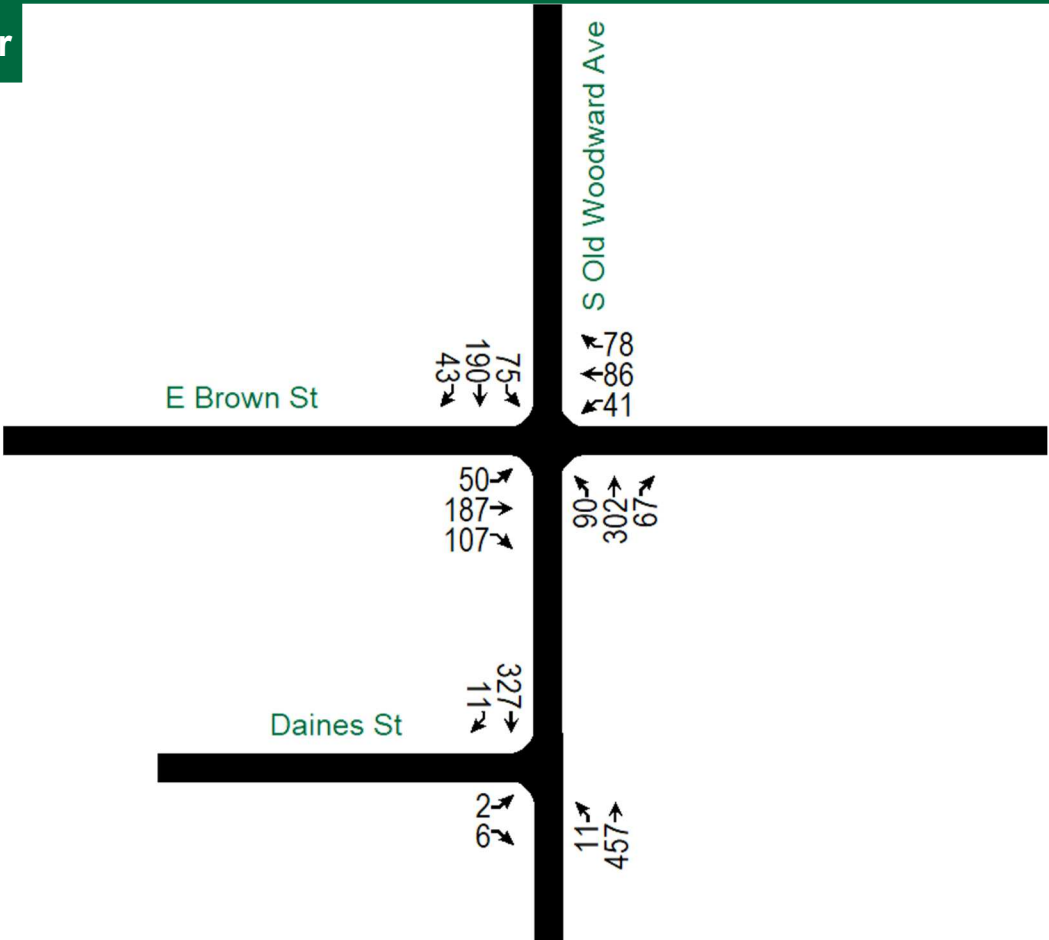


## **REPORT FIGURES**

PM Peak Hour



SAT Peak Hour

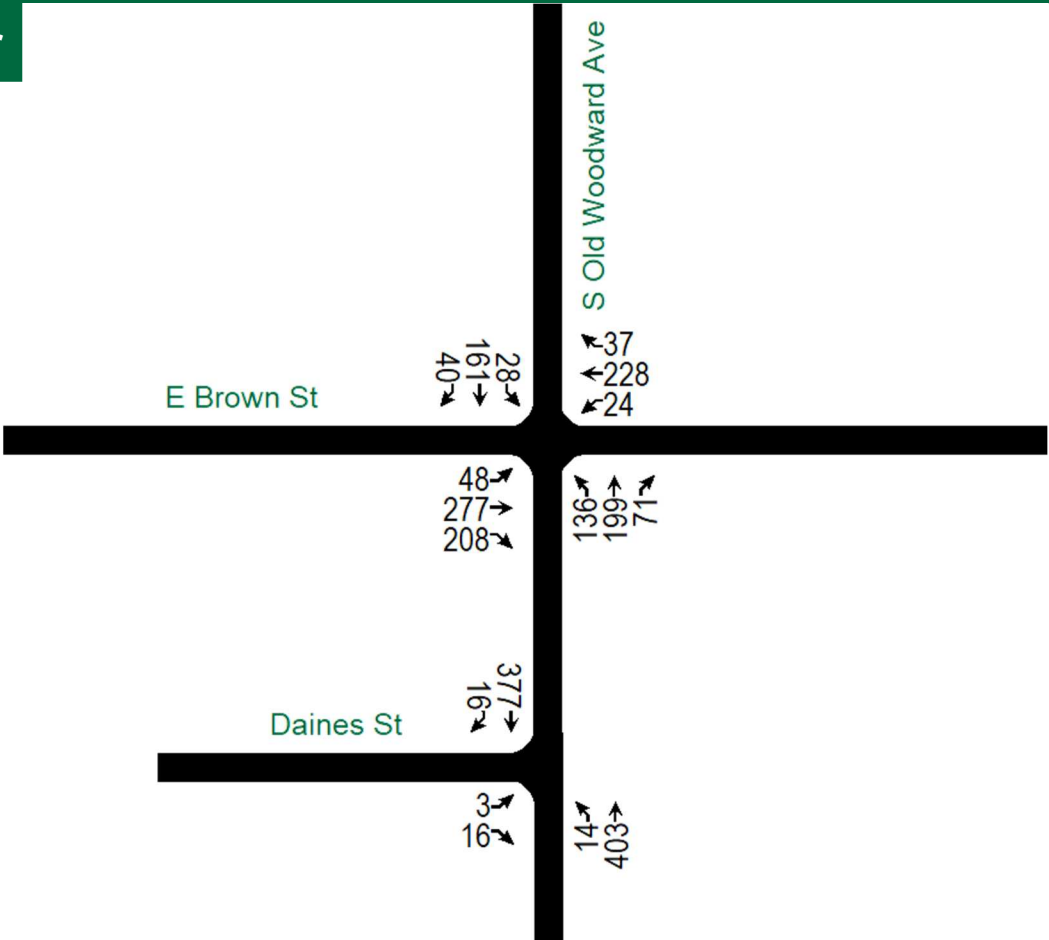


ROWE PROFESSIONAL  
SERVICES COMPANY

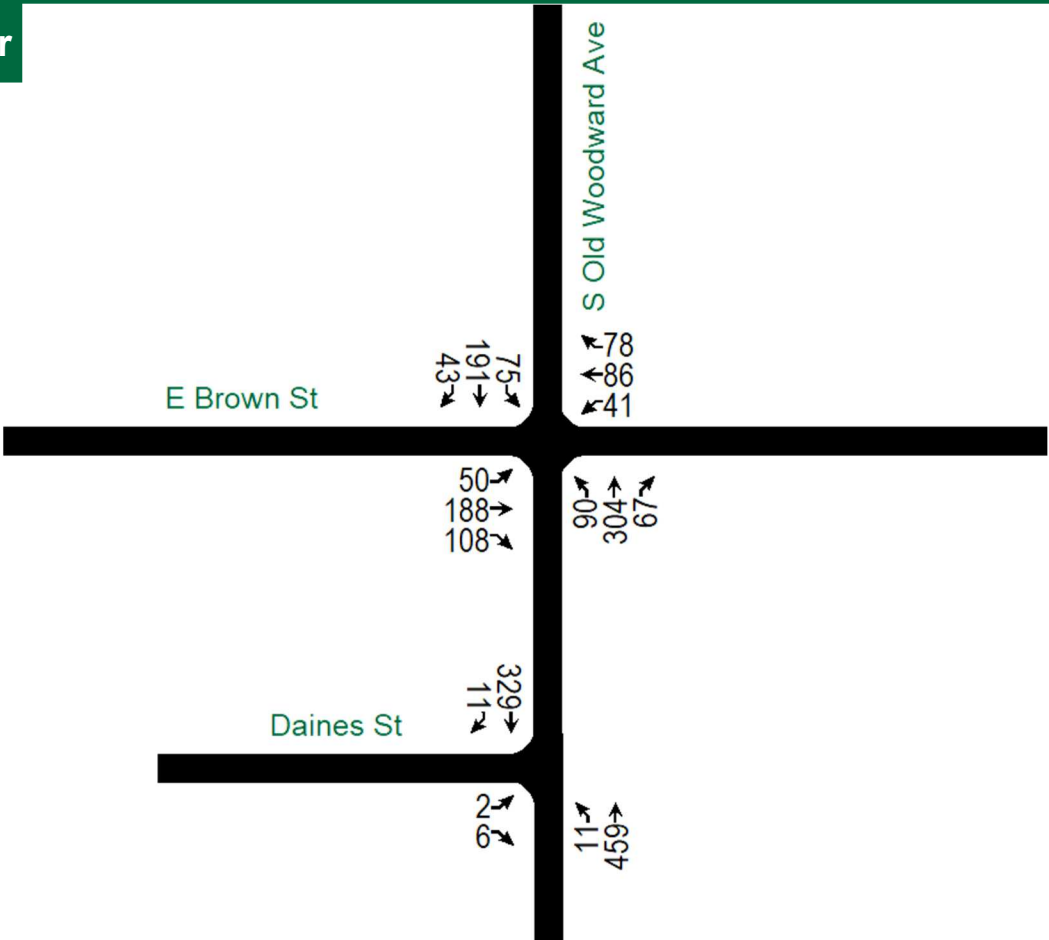
Large Firm Resources. Personal Attention.



PM Peak Hour



SAT Peak Hour

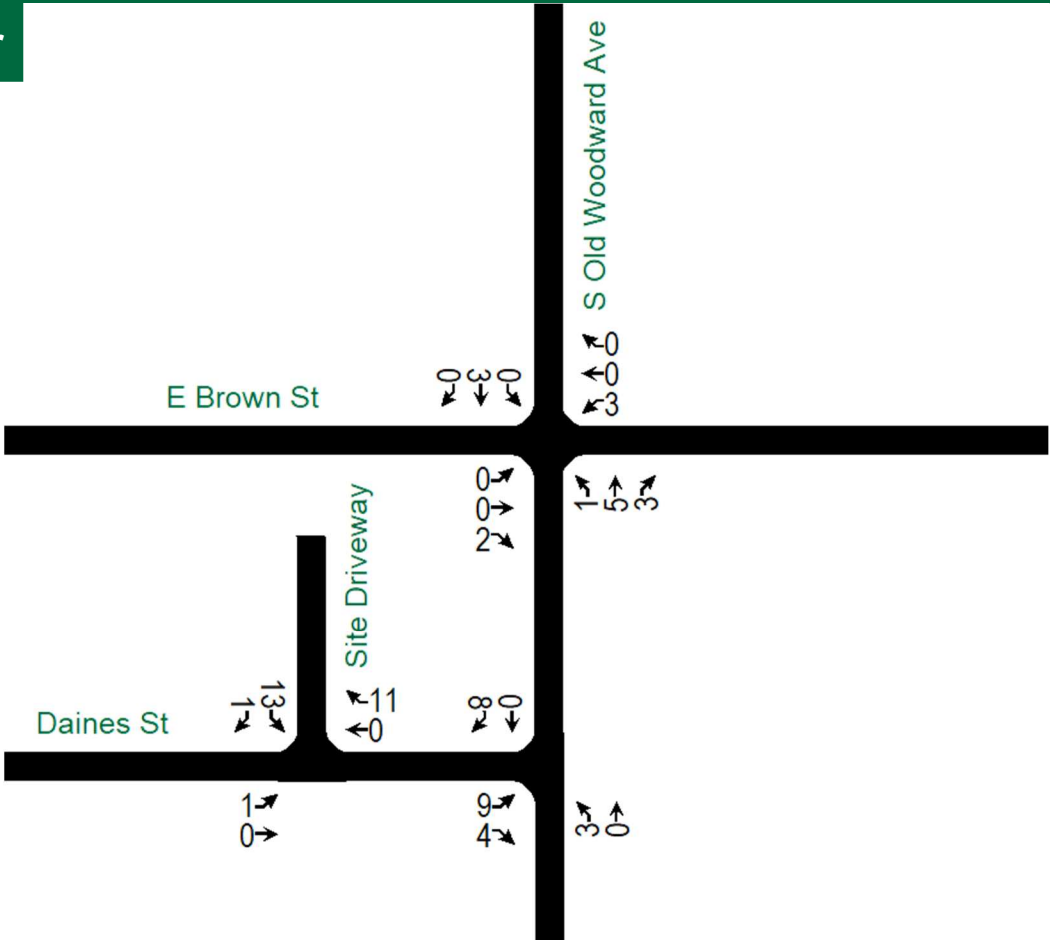


ROWE PROFESSIONAL  
SERVICES COMPANY

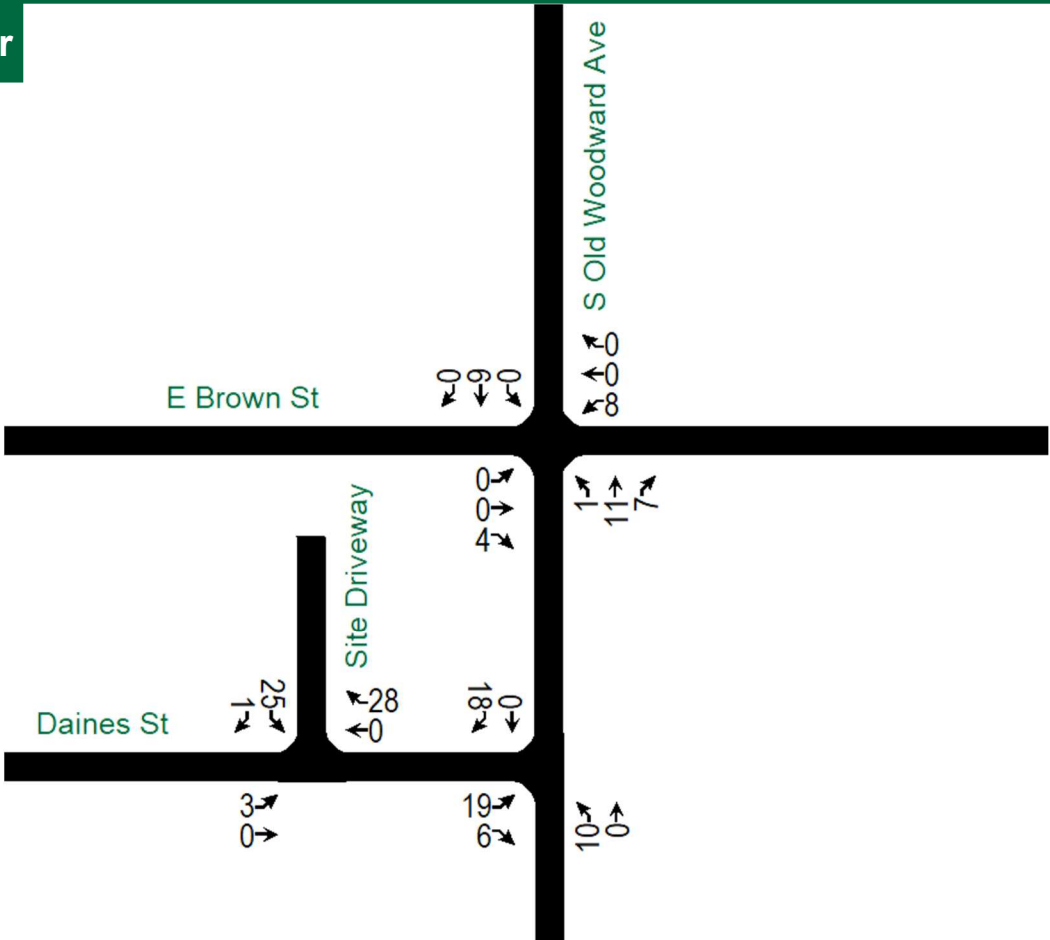
Large Firm Resources. Personal Attention.

2022 Background Conditions Traffic Volumes  
RH TIS  
Figure 2

PM Peak Hour



SAT Peak Hour

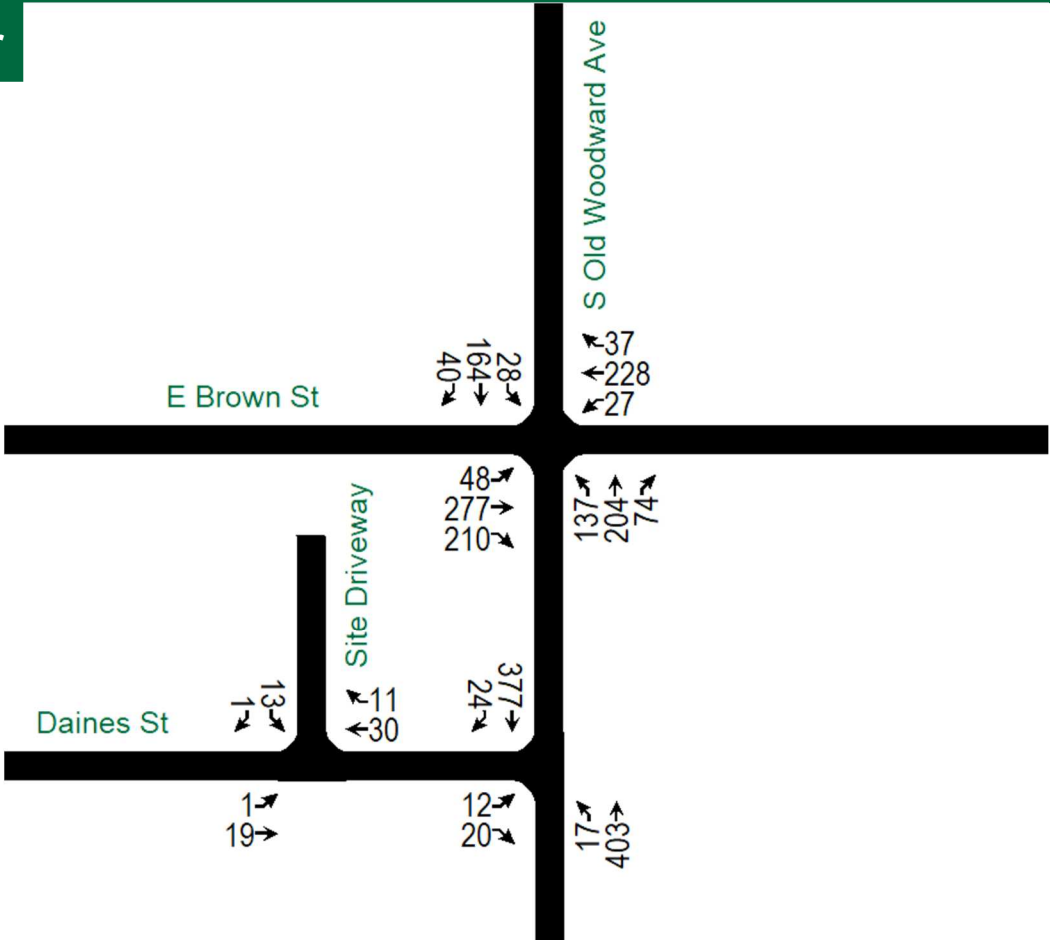


ROWE PROFESSIONAL  
SERVICES COMPANY

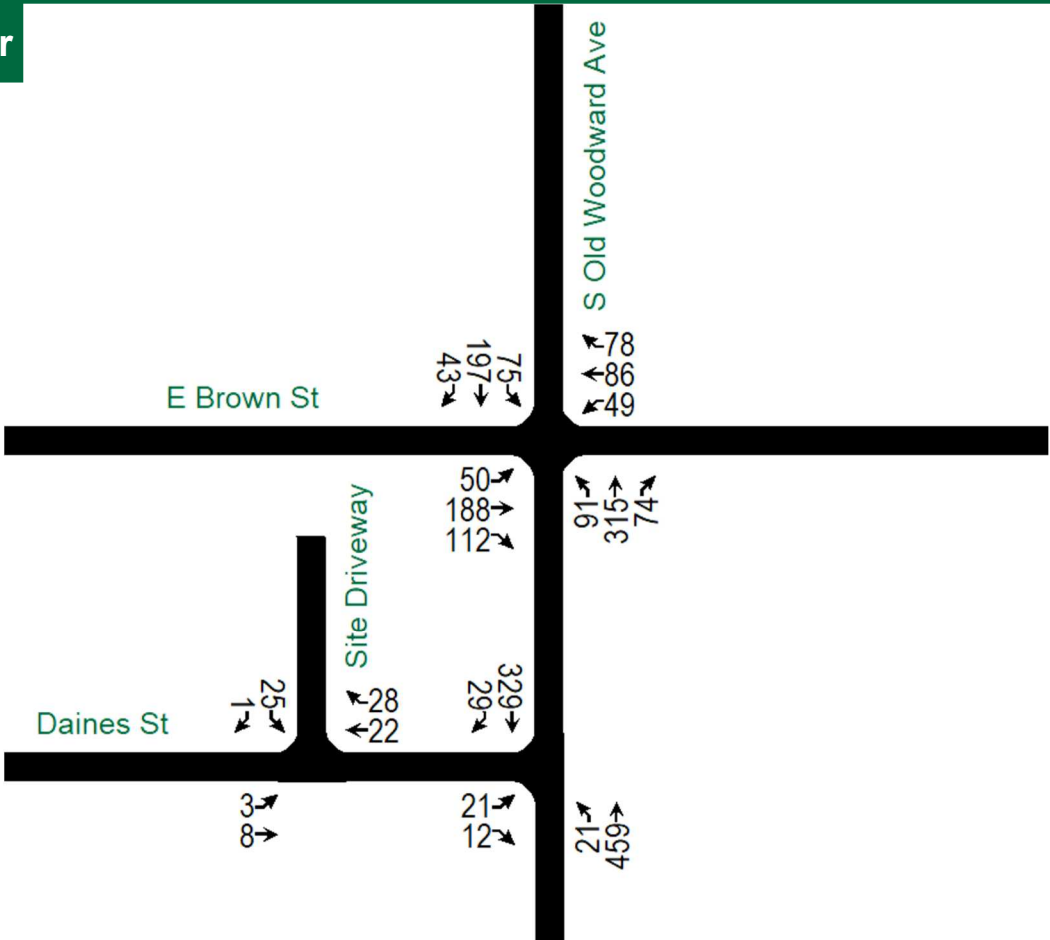
Large Firm Resources. Personal Attention.



PM Peak Hour



SAT Peak Hour



ROWE PROFESSIONAL  
SERVICES COMPANY

Large Firm Resources. Personal Attention.

2022 Future Conditions Traffic Volumes  
RH TIS  
Figure 4

## **TRAFFIC COUNTS**



# S. Old Woodward and Daines Street (unsignal... - TMC

Wed Feb 3, 2021

Full Length (4 PM-6 PM)

All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks,  
Pedestrians, Bicycles on Crosswalk)

All Movements

ID: 811221, Location: 42.544201, -83.211842

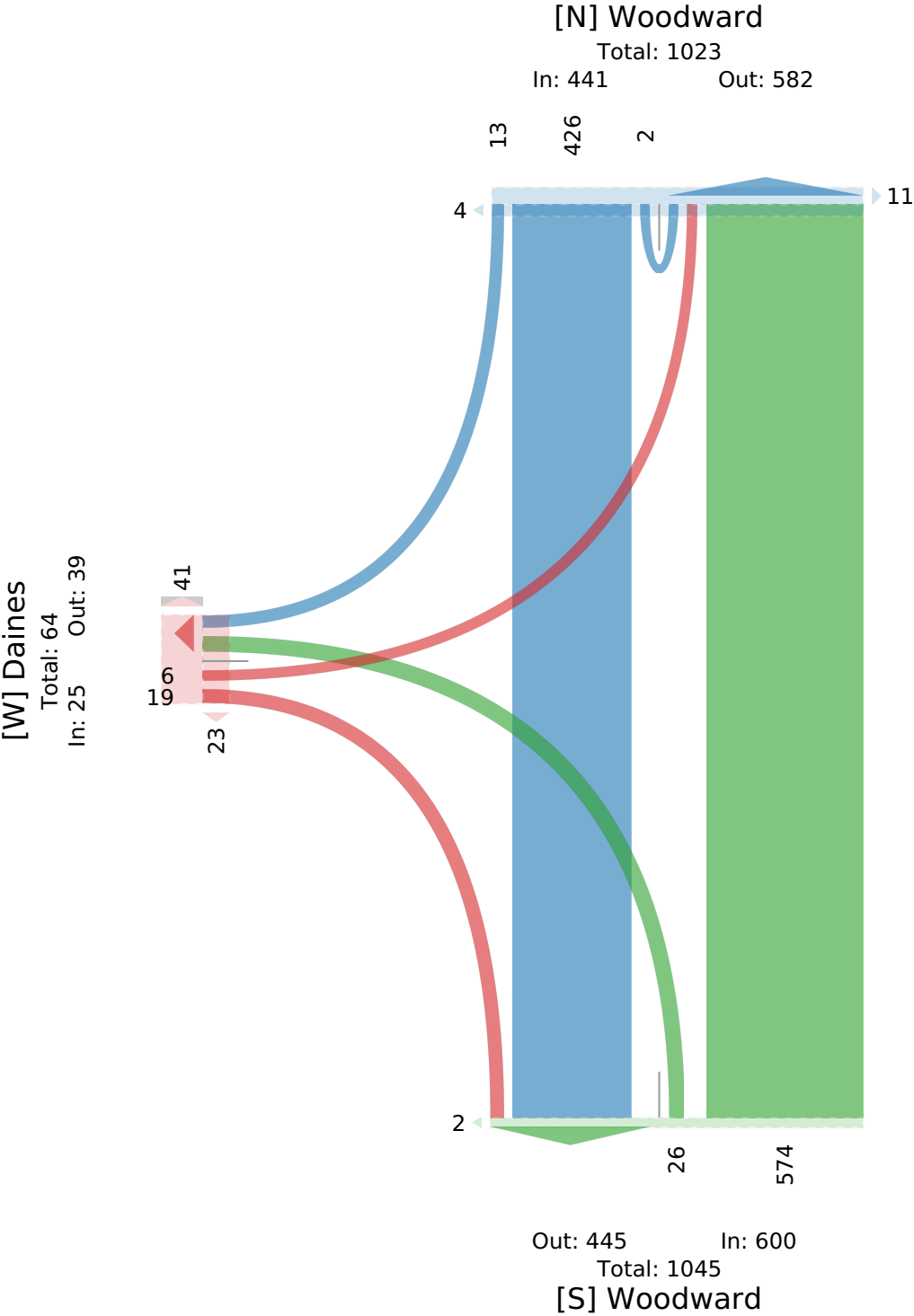


Provided by: Gewalt Hamilton Associates Inc.  
625 Forest Edge Drive, Vernon Hills, IL, 60061, US

Leg Direction	Daines Eastbound					Woodward Northbound					Woodward Southbound					
Time	L	R	U	App	Ped*	L	T	U	App	Ped*	T	R	U	App	Ped*	Int
2021-02-03 4:00PM	0	0	0	0	8	4	74	0	78	0	63	2	0	65	1	143
4:15PM	2	5	0	7	4	4	70	0	74	2	53	0	0	53	1	134
4:30PM	1	4	0	5	11	5	82	0	87	0	57	1	2	60	2	152
4:45PM	0	0	0	0	14	0	69	0	69	0	48	2	0	50	5	119
Hourly Total	3	9	0	12	37	13	295	0	308	2	221	5	2	228	9	548
5:00PM	1	3	0	4	4	5	83	0	88	0	61	3	0	64	2	156
5:15PM	0	2	0	2	4	1	78	0	79	0	52	3	0	55	2	136
5:30PM	2	3	0	5	8	5	55	0	60	0	47	0	0	47	0	112
5:45PM	0	2	0	2	11	2	63	0	65	0	45	2	0	47	2	114
Hourly Total	3	10	0	13	27	13	279	0	292	0	205	8	0	213	6	518
<b>Total</b>	6	19	0	25	64	26	574	0	600	2	426	13	2	441	15	1066
<b>% Approach</b>	24.0%	76.0%	0%	-	-	4.3%	95.7%	0%	-	-	96.6%	2.9%	0.5%	-	-	-
<b>% Total</b>	0.6%	1.8%	0%	2.3%	-	2.4%	53.8%	0%	56.3%	-	40.0%	1.2%	0.2%	41.4%	-	-
<b>Lights</b>	6	19	0	25	-	25	568	0	593	-	416	13	2	431	-	1049
<b>% Lights</b>	100%	100%	0%	100%	-	96.2%	99.0%	0%	98.8%	-	97.7%	100%	100%	97.7%	-	98.4%
<b>Articulated Trucks</b>	0	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0
<b>% Articulated Trucks</b>	0%	0%	0%	0%	-	0%	0%	0%	0%	-	0%	0%	0%	0%	-	0%
<b>Buses and Single-Unit Trucks</b>	0	0	0	0	-	1	6	0	7	-	10	0	0	10	-	17
<b>% Buses and Single-Unit Trucks</b>	0%	0%	0%	0%	-	3.8%	1.0%	0%	1.2%	-	2.3%	0%	0%	2.3%	-	1.6%
<b>Pedestrians</b>	-	-	-	-	64	-	-	-	-	2	-	-	-	-	15	-
<b>% Pedestrians</b>	-	-	-	-	100%	-	-	-	-	100%	-	-	-	-	100%	-
<b>Bicycles on Crosswalk</b>	-	-	-	-	0	-	-	-	-	0	-	-	-	-	0	-
<b>% Bicycles on Crosswalk</b>	-	-	-	-	0%	-	-	-	-	0%	-	-	-	-	0%	-

\*Pedestrians and Bicycles on Crosswalk. L: Left, R: Right, T: Thru, U: U-Turn

S. Old Woodward and Daines Street (unsignali... - TMC  
Wed Feb 3, 2021  
Full Length (4 PM-6 PM)  
All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks,  
Pedestrians, Bicycles on Crosswalk)  
All Movements  
ID: 811221, Location: 42.544201, -83.211842





# S. Old Woodward and Daines Street (unsignali... - TMC

Wed Feb 3, 2021

PM Peak (4:30 PM - 5:30 PM) - Overall Peak Hour

All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks,  
Pedestrians, Bicycles on Crosswalk)

All Movements

ID: 811221, Location: 42.544201, -83.211842

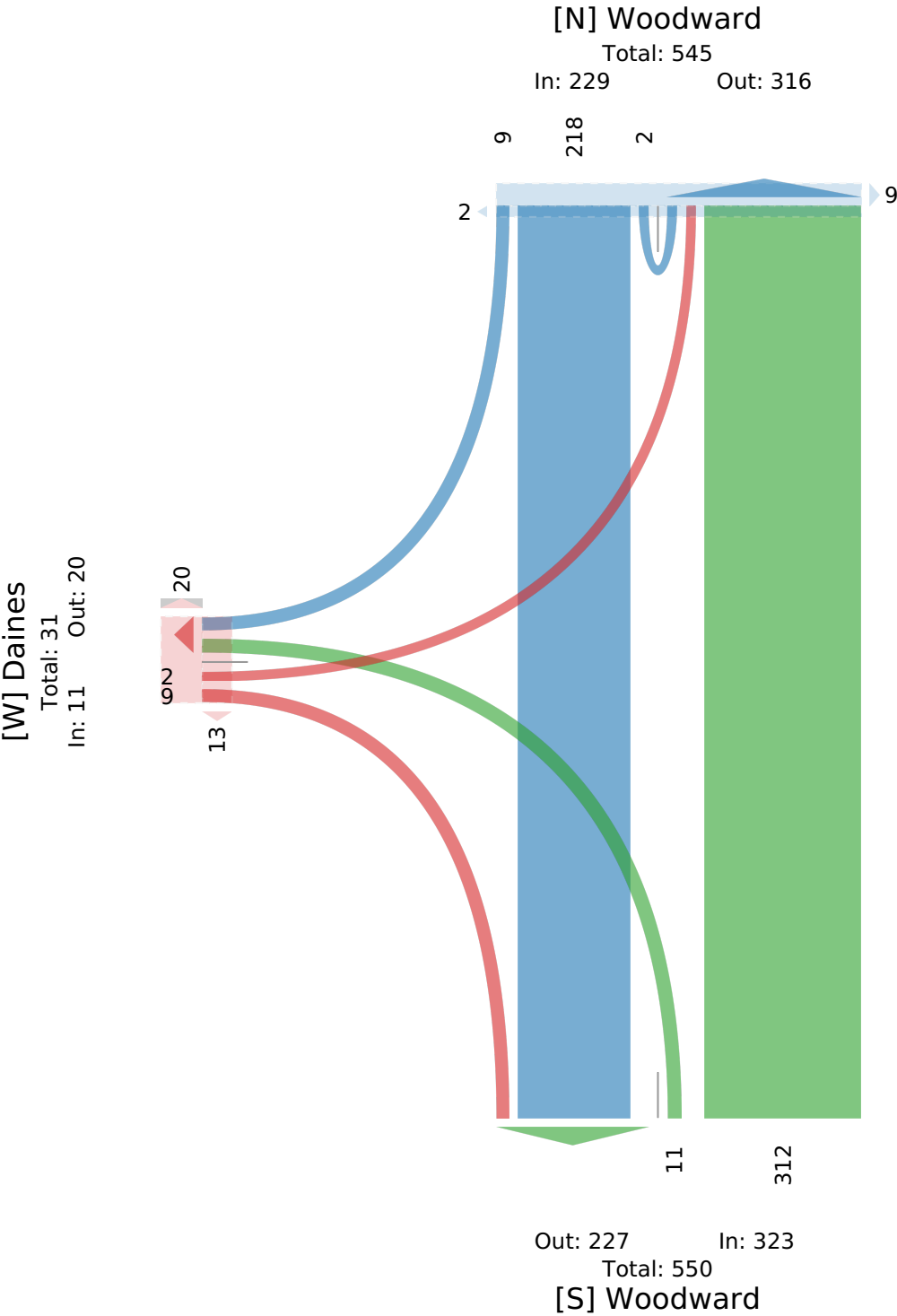


Provided by: Gewalt Hamilton Associates Inc.  
625 Forest Edge Drive, Vernon Hills, IL, 60061, US

Leg Direction	Daines Eastbound					Woodward Northbound					Woodward Southbound					
Time	L	R	U	App	Ped*	L	T	U	App	Ped*	T	R	U	App	Ped*	Int
2021-02-03 4:30PM	1	4	0	5	11	5	82	0	87	0	57	1	2	60	2	152
4:45PM	0	0	0	0	14	0	69	0	69	0	48	2	0	50	5	119
5:00PM	1	3	0	4	4	5	83	0	88	0	61	3	0	64	2	156
5:15PM	0	2	0	2	4	1	78	0	79	0	52	3	0	55	2	136
<b>Total</b>	2	9	0	11	33	11	312	0	323	0	218	9	2	229	11	563
<b>% Approach</b>	18.2%	81.8%	0%	-	-	3.4%	96.6%	0%	-	-	95.2%	3.9%	0.9%	-	-	-
<b>% Total</b>	0.4%	1.6%	0%	2.0%	-	2.0%	55.4%	0%	57.4%	-	38.7%	1.6%	0.4%	40.7%	-	-
<b>PHF</b>	0.500	0.563	-	0.550	-	0.550	0.940	-	0.918	-	0.893	0.750	0.250	0.895	-	0.902
<b>Lights</b>	2	9	0	11	-	10	310	0	320	-	213	9	2	224	-	555
<b>% Lights</b>	100%	100%	0%	100%	-	90.9%	99.4%	0%	99.1%	-	97.7%	100%	100%	97.8%	-	98.6%
<b>Articulated Trucks</b>	0	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0
<b>% Articulated Trucks</b>	0%	0%	0%	0%	-	0%	0%	0%	0%	-	0%	0%	0%	0%	-	0%
<b>Buses and Single-Unit Trucks</b>	0	0	0	0	-	1	2	0	3	-	5	0	0	5	-	8
<b>% Buses and Single-Unit Trucks</b>	0%	0%	0%	0%	-	9.1%	0.6%	0%	0.9%	-	2.3%	0%	0%	2.2%	-	1.4%
Pedestrians	-	-	-	-	33	-	-	-	-	0	-	-	-	-	11	-
% Pedestrians	-	-	-	-	100%	-	-	-	-	-	-	-	-	-	100%	-
Bicycles on Crosswalk	-	-	-	-	0	-	-	-	-	0	-	-	-	-	0	-
% Bicycles on Crosswalk	-	-	-	-	0%	-	-	-	-	-	-	-	-	-	0%	-

\* Pedestrians and Bicycles on Crosswalk. L: Left, R: Right, T: Thru, U: U-Turn

S. Old Woodward and Daines Street (unsignali... - TMC  
Wed Feb 3, 2021  
PM Peak (4:30 PM - 5:30 PM) - Overall Peak Hour  
All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks,  
Pedestrians, Bicycles on Crosswalk)  
All Movements  
ID: 811221, Location: 42.544201, -83.211842





# S. Old Woodward and Daines Street (unsignalized) - TMC

Sat Feb 6, 2021

Full Length (11 AM-1 PM)

All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks, Pedestrians, Bicycles on Crosswalk)

All Movements

ID: 811223, Location: 42.544221, -83.211866

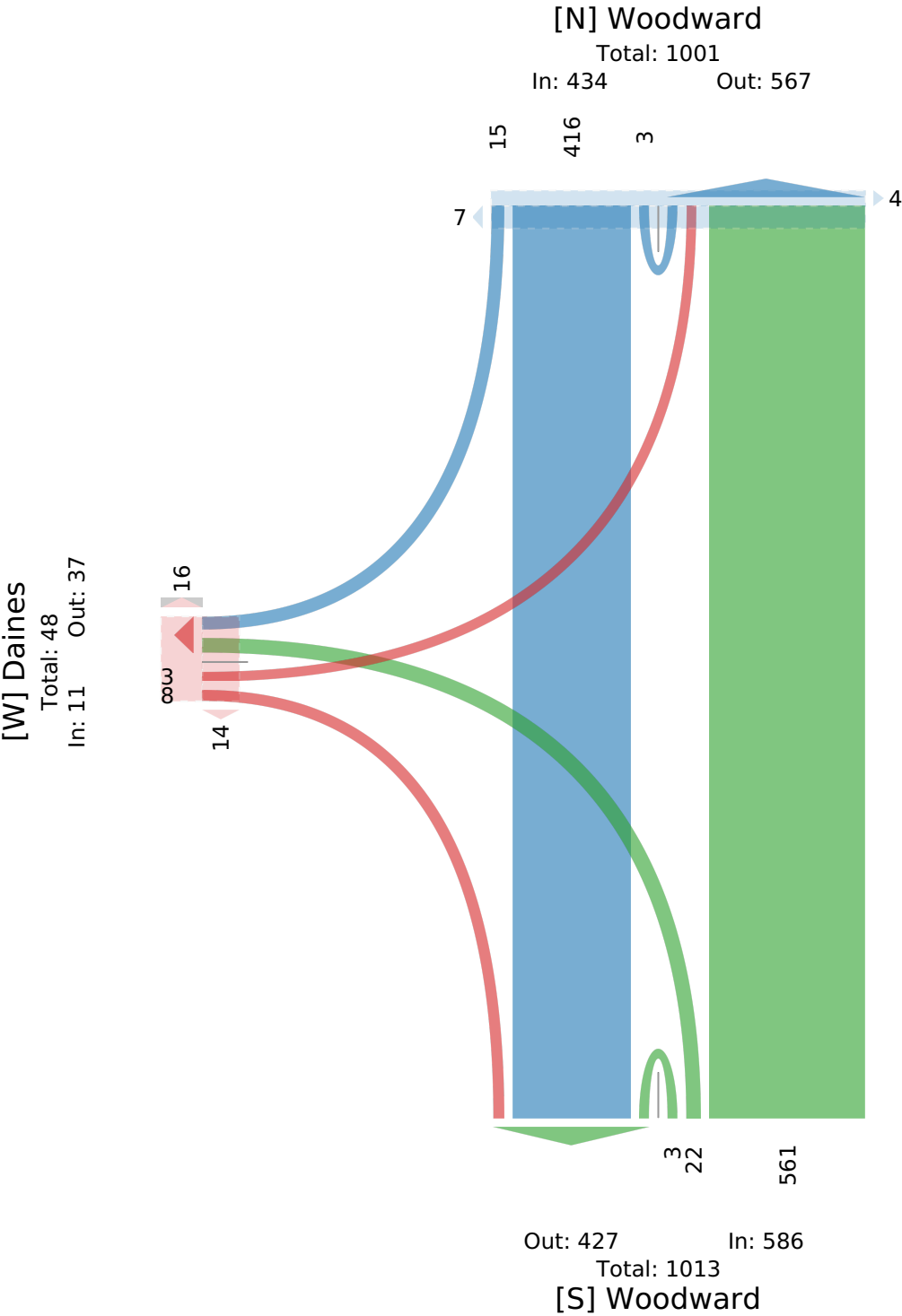


Provided by: Gewalt Hamilton Associates Inc.  
625 Forest Edge Drive, Vernon Hills, IL, 60061, US

Leg Direction	Daines Eastbound					Woodward Northbound					Woodward Southbound					
Time	L	R	U	App	Ped*	L	T	U	App	Ped*	T	R	U	App	Ped*	Int
2021-02-06 11:00AM	0	1	0	1	1	3	66	0	69	0	45	4	0	49	1	119
11:15AM	1	0	0	1	1	6	75	0	81	0	48	0	2	50	1	132
11:30AM	0	1	0	1	6	3	65	1	69	0	50	2	0	52	1	122
11:45AM	1	2	0	3	7	3	56	0	59	0	59	2	1	62	1	124
Hourly Total	2	4	0	6	15	15	262	1	278	0	202	8	3	213	4	497
12:00PM	0	1	0	1	2	1	69	0	70	0	51	2	0	53	1	124
12:15PM	0	3	0	3	2	3	80	1	84	0	53	0	0	53	2	140
12:30PM	0	0	0	0	4	3	70	1	74	0	55	4	0	59	0	133
12:45PM	1	0	0	1	7	0	80	0	80	0	55	1	0	56	4	137
Hourly Total	1	4	0	5	15	7	299	2	308	0	214	7	0	221	7	534
<b>Total</b>	3	8	0	11	30	22	561	3	586	0	416	15	3	434	11	1031
<b>% Approach</b>	27.3%	72.7%	0%	-	-	3.8%	95.7%	0.5%	-	-	95.9%	3.5%	0.7%	-	-	-
<b>% Total</b>	0.3%	0.8%	0%	1.1%	-	2.1%	54.4%	0.3%	56.8%	-	40.3%	1.5%	0.3%	42.1%	-	-
<b>Lights</b>	3	8	0	11	-	21	554	3	578	-	406	15	3	424	-	1013
<b>% Lights</b>	100%	100%	0%	100%	-	95.5%	98.8%	100%	98.6%	-	97.6%	100%	100%	97.7%	-	98.3%
<b>Articulated Trucks</b>	0	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0
<b>% Articulated Trucks</b>	0%	0%	0%	0%	-	0%	0%	0%	0%	-	0%	0%	0%	0%	-	0%
<b>Buses and Single-Unit Trucks</b>	0	0	0	0	-	1	7	0	8	-	10	0	0	10	-	18
<b>% Buses and Single-Unit Trucks</b>	0%	0%	0%	0%	-	4.5%	1.2%	0%	1.4%	-	2.4%	0%	0%	2.3%	-	1.7%
Pedestrians	-	-	-	-	29	-	-	-	-	0	-	-	-	-	11	
% Pedestrians	-	-	-	-	96.7%	-	-	-	-	-	-	-	-	-	100%	-
Bicycles on Crosswalk	-	-	-	-	1	-	-	-	-	0	-	-	-	-	0	
% Bicycles on Crosswalk	-	-	-	-	3.3%	-	-	-	-	-	-	-	-	-	0%	-

\* Pedestrians and Bicycles on Crosswalk. L: Left, R: Right, T: Thru, U: U-Turn

S. Old Woodward and Daines Street (unsignali... - TMC  
Sat Feb 6, 2021  
Full Length (11 AM-1 PM)  
All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks,  
Pedestrians, Bicycles on Crosswalk)  
All Movements  
ID: 811223, Location: 42.544221, -83.211866





# S. Old Woodward and Daines Street (unsignal... - TMC

Sat Feb 6, 2021

Midday Peak (WKND) (12 PM - 1 PM) - Overall Peak Hour

All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks,  
Pedestrians, Bicycles on Crosswalk)

All Movements

ID: 811223, Location: 42.544221, -83.211866

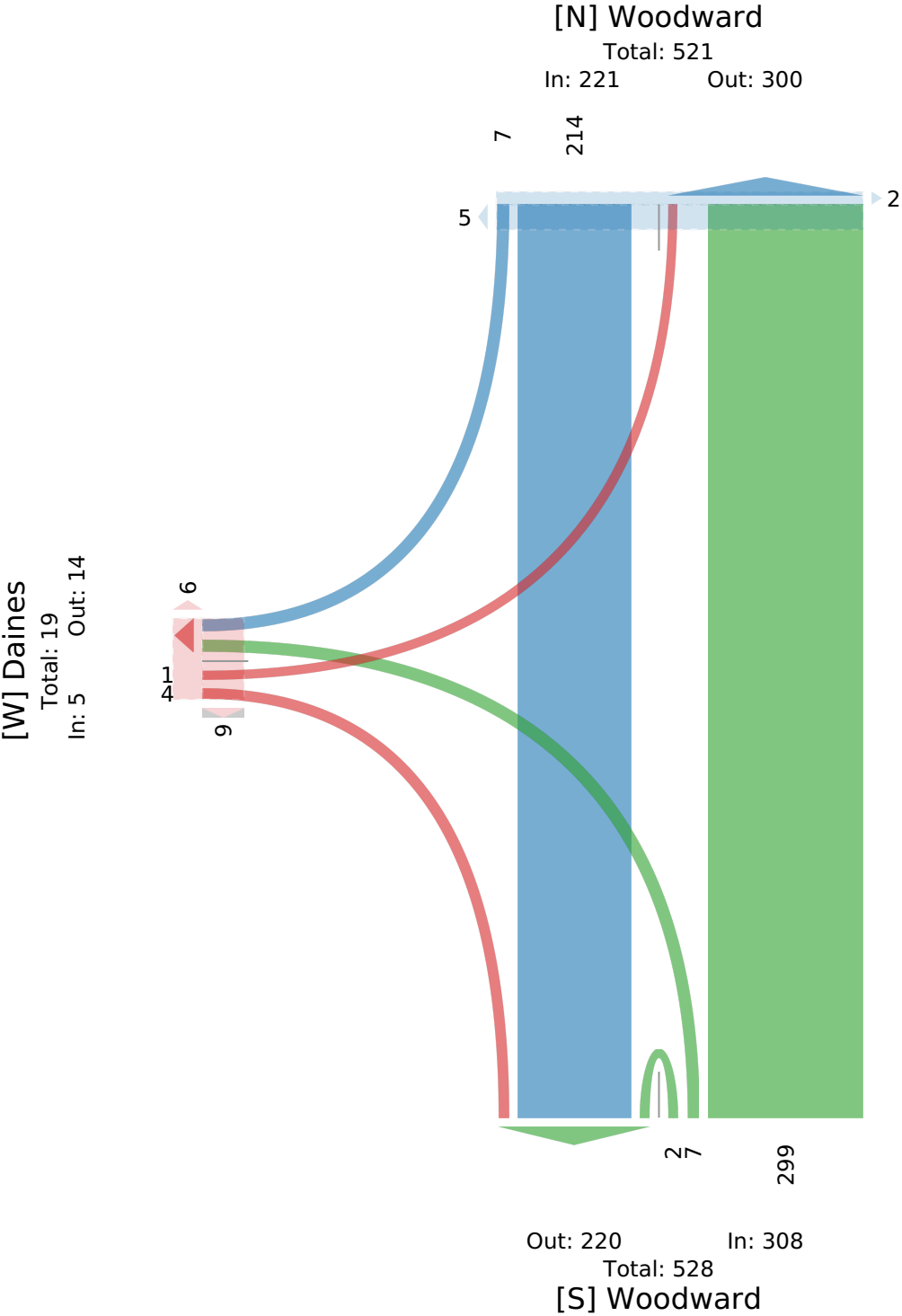


Provided by: Gewalt Hamilton Associates Inc.  
625 Forest Edge Drive, Vernon Hills, IL, 60061, US

Leg Direction	Daines Eastbound					Woodward Northbound					Woodward Southbound					
Time	L	R	U	App	Ped*	L	T	U	App	Ped*	T	R	U	App	Ped*	Int
2021-02-06 12:00PM	0	1	0	1	2	1	69	0	70	0	51	2	0	53	1	124
12:15PM	0	3	0	3	2	3	80	1	84	0	53	0	0	53	2	140
12:30PM	0	0	0	0	4	3	70	1	74	0	55	4	0	59	0	133
12:45PM	1	0	0	1	7	0	80	0	80	0	55	1	0	56	4	137
<b>Total</b>	1	4	0	5	15	7	299	2	308	0	214	7	0	221	7	534
<b>% Approach</b>	20.0%	80.0%	0%	-	-	2.3%	97.1%	0.6%	-	-	96.8%	3.2%	0%	-	-	-
<b>% Total</b>	0.2%	0.7%	0%	0.9%	-	1.3%	56.0%	0.4%	57.7%	-	40.1%	1.3%	0%	41.4%	-	-
<b>PHF</b>	0.250	0.333	-	0.417	-	0.583	0.934	0.500	0.917	-	0.973	0.438	-	0.936	-	0.954
<b>Lights</b>	1	4	0	5	-	6	295	2	303	-	208	7	0	215	-	523
<b>% Lights</b>	100%	100%	0%	100%	-	85.7%	98.7%	100%	98.4%	-	97.2%	100%	0%	97.3%	-	97.9%
<b>Articulated Trucks</b>	0	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0
<b>% Articulated Trucks</b>	0%	0%	0%	0%	-	0%	0%	0%	0%	-	0%	0%	0%	0%	-	0%
<b>Buses and Single-Unit Trucks</b>	0	0	0	0	-	1	4	0	5	-	6	0	0	6	-	11
<b>% Buses and Single-Unit Trucks</b>	0%	0%	0%	0%	-	14.3%	1.3%	0%	1.6%	-	2.8%	0%	0%	2.7%	-	2.1%
Pedestrians	-	-	-	-	15	-	-	-	-	0	-	-	-	-	7	-
% Pedestrians	-	-	-	-	100%	-	-	-	-	-	-	-	-	-	100%	-
Bicycles on Crosswalk	-	-	-	-	0	-	-	-	-	0	-	-	-	-	0	-
% Bicycles on Crosswalk	-	-	-	-	0%	-	-	-	-	-	-	-	-	-	0%	-

\*Pedestrians and Bicycles on Crosswalk. L: Left, R: Right, T: Thru, U: U-Turn

S. Old Woodward and Daines Street (unsignali... - TMC  
Sat Feb 6, 2021  
Midday Peak (WKND) (12 PM - 1 PM) - Overall Peak Hour  
All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks,  
Pedestrians, Bicycles on Crosswalk)  
All Movements  
ID: 811223, Location: 42.544221, -83.211866





# S. Old Woodward Avenue and Brown Street (sig... - TMC

Wed Feb 3, 2021

Full Length (4 PM-6 PM)

All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks, Pedestrians, Bicycles on Crosswalk)

All Movements

ID: 811220, Location: 42.544769, -83.212379

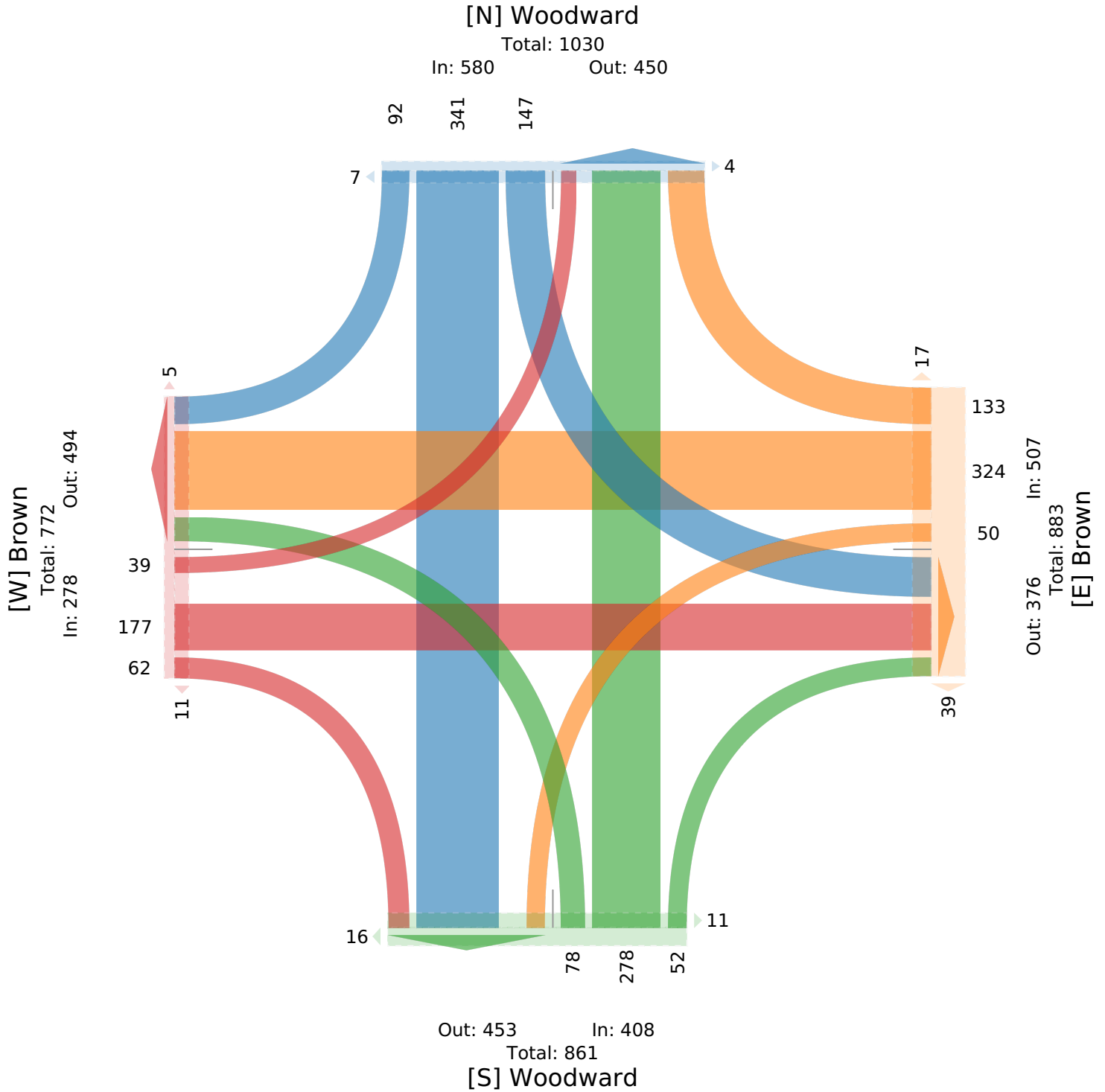


Provided by: Gewalt Hamilton Associates Inc.  
625 Forest Edge Drive, Vernon Hills, IL, 60061, US

Leg Direction	Brown Eastbound						Brown Westbound						Woodward Northbound						Woodward Southbound						
Time	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	Int
2021-02-03 4:00PM	6	21	9	0	36	2	3	45	15	0	63	8	12	44	6	0	62	3	21	40	14	0	75	0	236
4:15PM	6	18	13	0	37	6	5	42	17	0	64	7	13	34	3	0	50	7	20	33	17	0	70	0	221
4:30PM	6	22	5	0	33	1	7	37	17	0	61	6	13	36	7	0	56	2	12	62	12	0	86	4	236
4:45PM	3	27	7	0	37	1	6	44	18	0	68	13	11	30	5	0	46	2	11	47	13	0	71	5	222
Hourly Total	21	88	34	0	143	10	21	168	67	0	256	34	49	144	21	0	214	14	64	182	56	0	302	9	915
5:00PM	8	28	10	0	46	1	8	55	16	0	79	4	7	41	12	0	60	6	25	51	9	0	85	0	270
5:15PM	4	24	4	0	32	0	6	40	17	0	63	2	8	36	7	0	51	1	25	36	10	0	71	1	217
5:30PM	3	18	2	0	23	3	8	38	19	0	65	5	8	27	4	0	39	1	19	33	6	0	58	0	185
5:45PM	3	19	12	0	34	2	7	23	14	0	44	11	6	30	8	0	44	5	14	39	11	0	64	1	186
Hourly Total	18	89	28	0	135	6	29	156	66	0	251	22	29	134	31	0	194	13	83	159	36	0	278	2	858
<b>Total</b>	39	177	62	0	278	16	50	324	133	0	507	56	78	278	52	0	408	27	147	341	92	0	580	11	1773
<b>% Approach</b>	14.0%	63.7%	22.3%	0%	-	-	9.9%	63.9%	26.2%	0%	-	-	19.1%	68.1%	12.7%	0%	-	-	25.3%	58.8%	15.9%	0%	-	-	-
<b>% Total</b>	2.2%	10.0%	3.5%	0%	15.7%	-	2.8%	18.3%	7.5%	0%	28.6%	-	4.4%	15.7%	2.9%	0%	23.0%	-	8.3%	19.2%	5.2%	0%	32.7%	-	-
<b>Lights</b>	39	177	62	0	278	-	50	322	131	0	503	-	78	271	52	0	401	-	147	336	91	0	574	-	1756
<b>% Lights</b>	100%	100%	100%	0%	100%	-	100%	99.4%	98.5%	0%	99.2%	-	100%	97.5%	100%	0%	98.3%	-	100%	98.5%	98.9%	0%	99.0%	-	99.0%
<b>Articulated Trucks</b>	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0
<b>% Articulated Trucks</b>	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%
<b>Buses and Single-Unit Trucks</b>	0	0	0	0	0	-	0	2	2	0	4	-	0	7	0	0	7	-	0	5	1	0	6	-	17
<b>% Buses and Single-Unit Trucks</b>	0%	0%	0%	0%	0%	-	0%	0.6%	1.5%	0%	0.8%	-	0%	2.5%	0%	0%	1.7%	-	0%	1.5%	1.1%	0%	1.0%	-	1.0%
<b>Pedestrians</b>	-	-	-	-	-	16	-	-	-	-	-	56	-	-	-	-	-	27	-	-	-	-	-	11	-
<b>% Pedestrians</b>	-	-	-	-	-	100%	-	-	-	-	-	100%	-	-	-	-	-	100%	-	-	-	-	-	100%	-
<b>Bicycles on Crosswalk</b>	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-
<b>% Bicycles on Crosswalk</b>	-	-	-	-	-	0%	-	-	-	-	-	0%	-	-	-	-	-	0%	-	-	-	-	-	0%	-

\*Pedestrians and Bicycles on Crosswalk. L: Left, R: Right, T: Thru, U: U-Turn

S. Old Woodward Avenue and Brown Street (sig... - TMC  
 Wed Feb 3, 2021  
 Full Length (4 PM-6 PM)  
 All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks,  
 Pedestrians, Bicycles on Crosswalk)  
 All Movements  
 ID: 811220, Location: 42.544769, -83.212379





# S. Old Woodward Avenue and Brown Street (sig... - TMC

Wed Feb 3, 2021

PM Peak (4:15 PM - 5:15 PM) - Overall Peak Hour

All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks, Pedestrians, Bicycles on Crosswalk)

All Movements

ID: 811220, Location: 42.544769, -83.212379



Provided by: Gewalt Hamilton Associates Inc.  
625 Forest Edge Drive, Vernon Hills, IL, 60061, US

Leg Direction	Brown Eastbound						Brown Westbound						Woodward Northbound						Woodward Southbound						
Time	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	Int
2021-02-03 4:15PM	6	18	13	0	37	6	5	42	17	0	64	7	13	34	3	0	50	7	20	33	17	0	70	0	221
4:30PM	6	22	5	0	33	1	7	37	17	0	61	6	13	36	7	0	56	2	12	62	12	0	86	4	236
4:45PM	3	27	7	0	37	1	6	44	18	0	68	13	11	30	5	0	46	2	11	47	13	0	71	5	222
5:00PM	8	28	10	0	46	1	8	55	16	0	79	4	7	41	12	0	60	6	25	51	9	0	85	0	270
Total	23	95	35	0	153	9	26	178	68	0	272	30	44	141	27	0	212	17	68	193	51	0	312	9	949
% Approach	15.0%	62.1%	22.9%	0%	-	-	9.6%	65.4%	25.0%	0%	-	-	20.8%	66.5%	12.7%	0%	-	-	21.8%	61.9%	16.3%	0%	-	-	-
% Total	2.4%	10.0%	3.7%	0%	16.1%	-	2.7%	18.8%	7.2%	0%	28.7%	-	4.6%	14.9%	2.8%	0%	22.3%	-	7.2%	20.3%	5.4%	0%	32.9%	-	-
PHF	0.719	0.848	0.673	-	0.832	-	0.813	0.809	0.944	-	0.861	-	0.846	0.860	0.563	-	0.883	-	0.680	0.778	0.750	-	0.907	-	0.879
Lights	23	95	35	0	153	-	26	178	67	0	271	-	44	136	27	0	207	-	68	191	50	0	309	-	940
% Lights	100%	100%	100%	0%	100%	-	100%	100%	98.5%	0%	99.6%	-	100%	96.5%	100%	0%	97.6%	-	100%	99.0%	98.0%	0%	99.0%	-	99.1%
Articulated Trucks	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0
% Articulated Trucks	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%
Buses and Single-Unit Trucks	0	0	0	0	0	-	0	0	1	0	1	-	0	5	0	0	5	-	0	2	1	0	3	-	9
% Buses and Single-Unit Trucks	0%	0%	0%	0%	0%	-	0%	0%	1.5%	0%	0.4%	-	0%	3.5%	0%	0%	2.4%	-	0%	1.0%	2.0%	0%	1.0%	-	0.9%
Pedestrians	-	-	-	-	-	9	-	-	-	-	-	30	-	-	-	-	-	17	-	-	-	-	-	9	
% Pedestrians	-	-	-	-	-	100%	-	-	-	-	-	100%	-	-	-	-	-	100%	-	-	-	-	-	100%	-
Bicycles on Crosswalk	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	
% Bicycles on Crosswalk	-	-	-	-	-	0%	-	-	-	-	-	0%	-	-	-	-	-	0%	-	-	-	-	-	0%	-

\*Pedestrians and Bicycles on Crosswalk. L: Left, R: Right, T: Thru, U: U-Turn

# S. Old Woodward Avenue and Brown Street (sig... - TMC

Wed Feb 3, 2021

PM Peak (4:15 PM - 5:15 PM) - Overall Peak Hour

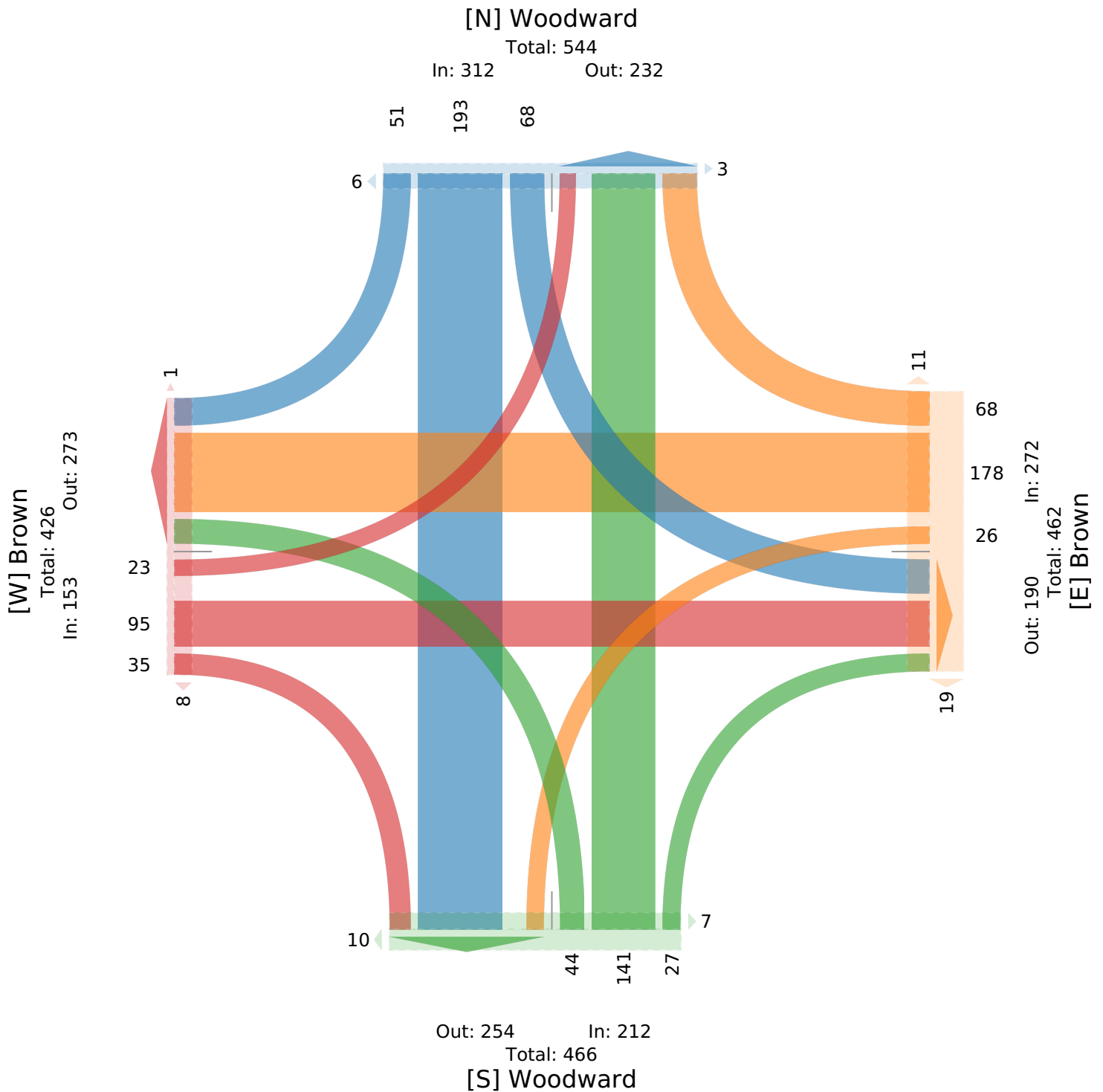
All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks,  
Pedestrians, Bicycles on Crosswalk)

All Movements

ID: 811220, Location: 42.544769, -83.212379



Provided by: Gewalt Hamilton Associates Inc.  
625 Forest Edge Drive, Vernon Hills, IL, 60061, US





# S. Old Woodward Avenue and Brown Street (sig... - TMC

Sat Feb 6, 2021

Full Length (11 AM-1 PM)

All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks, Pedestrians, Bicycles on Crosswalk)

All Movements

ID: 811222, Location: 42.544798, -83.212409



Provided by: Gewalt Hamilton Associates Inc.  
625 Forest Edge Drive, Vernon Hills, IL, 60061, US

Leg Direction	Brown Eastbound						Brown Westbound						Woodward Northbound						Woodward Southbound						
Time	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	Int
2021-02-06 11:00AM	3	29	14	0	46	3	4	12	10	0	26	1	10	50	10	0	70	0	7	32	4	0	43	0	185
11:15AM	5	28	11	0	44	5	2	17	6	0	25	2	20	43	11	0	74	4	8	36	8	0	52	0	195
11:30AM	8	36	18	0	62	2	7	21	14	0	42	0	17	38	12	0	67	1	9	29	10	0	48	0	219
11:45AM	6	30	17	0	53	6	4	11	10	0	25	5	15	32	9	0	56	3	12	39	5	0	56	5	190
Hourly Total	22	123	60	0	205	16	17	61	40	0	118	8	62	163	42	0	267	8	36	136	27	0	199	5	789
12:00PM	5	32	15	0	52	6	9	15	15	0	39	2	9	48	12	0	69	1	8	30	13	0	51	0	211
12:15PM	11	29	16	0	56	4	7	18	20	0	45	5	12	51	10	0	73	2	7	32	3	0	42	1	216
12:30PM	9	29	21	0	59	6	9	8	7	0	24	7	20	48	7	0	75	2	15	30	6	0	51	0	209
12:45PM	8	32	18	0	58	7	2	15	9	0	26	7	17	47	14	0	78	0	19	31	6	0	56	4	218
Hourly Total	33	122	70	0	225	23	27	56	51	0	134	21	58	194	43	0	295	5	49	123	28	0	200	5	854
<b>Total</b>	55	245	130	0	430	39	44	117	91	0	252	29	120	357	85	0	562	13	85	259	55	0	399	10	1643
<b>% Approach</b>	12.8%	57.0%	30.2%	0%	-	-	17.5%	46.4%	36.1%	0%	-	-	21.4%	63.5%	15.1%	0%	-	-	21.3%	64.9%	13.8%	0%	-	-	-
<b>% Total</b>	3.3%	14.9%	7.9%	0%	26.2%	-	2.7%	7.1%	5.5%	0%	15.3%	-	7.3%	21.7%	5.2%	0%	34.2%	-	5.2%	15.8%	3.3%	0%	24.3%	-	-
<b>Lights</b>	55	242	128	0	425	-	43	116	89	0	248	-	118	352	85	0	555	-	85	251	53	0	389	-	1617
<b>% Lights</b>	100%	98.8%	98.5%	0%	98.8%	-	97.7%	99.1%	97.8%	0%	98.4%	-	98.3%	98.6%	100%	0%	98.8%	-	100%	96.9%	96.4%	0%	97.5%	-	98.4%
<b>Articulated Trucks</b>	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0
<b>% Articulated Trucks</b>	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%
<b>Buses and Single-Unit Trucks</b>	0	3	2	0	5	-	1	1	2	0	4	-	2	5	0	0	7	-	0	8	2	0	10	-	26
<b>% Buses and Single-Unit Trucks</b>	0%	1.2%	1.5%	0%	1.2%	-	2.3%	0.9%	2.2%	0%	1.6%	-	1.7%	1.4%	0%	0%	1.2%	-	0%	3.1%	3.6%	0%	2.5%	-	1.6%
<b>Pedestrians</b>	-	-	-	-	-	39	-	-	-	-	-	29	-	-	-	-	-	13	-	-	-	-	-	10	
<b>% Pedestrians</b>	-	-	-	-	-	100%	-	-	-	-	-	100%	-	-	-	-	-	100%	-	-	-	-	-	100%	-
<b>Bicycles on Crosswalk</b>	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	
<b>% Bicycles on Crosswalk</b>	-	-	-	-	-	0%	-	-	-	-	-	0%	-	-	-	-	-	0%	-	-	-	-	-	0%	-

\* Pedestrians and Bicycles on Crosswalk. L: Left, R: Right, T: Thru, U: U-Turn

S. Old Woodward Avenue and Brown Street (sig... - TMC

Sat Feb 6, 2021

Full Length (11 AM-1 PM)

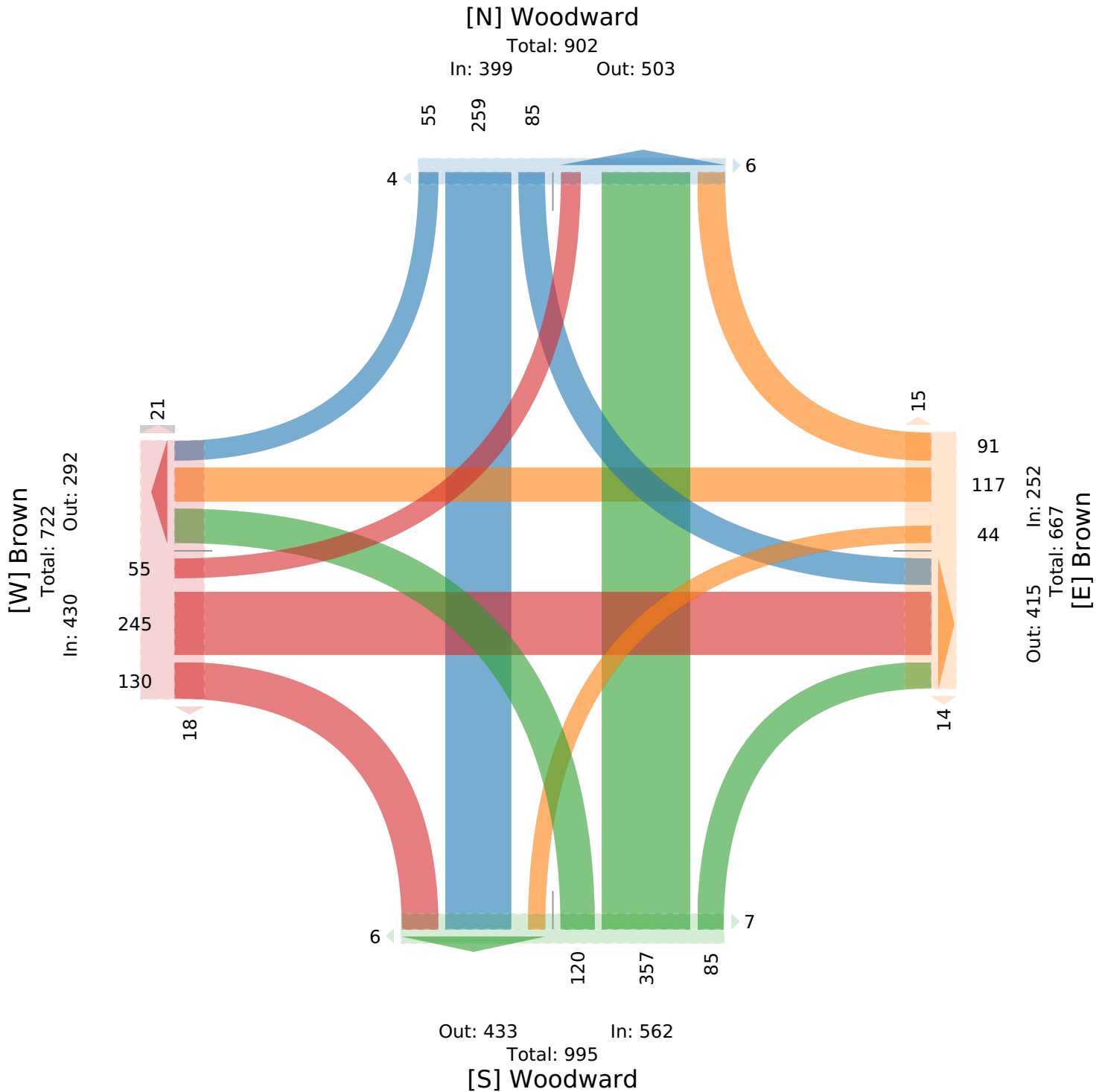
All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks,  
Pedestrians, Bicycles on Crosswalk)

All Movements

ID: 811222, Location: 42.544798, -83.212409



Provided by: Gewalt Hamilton Associates Inc.  
625 Forest Edge Drive, Vernon Hills, IL, 60061, US





# S. Old Woodward Avenue and Brown Street (sig... - TMC

Sat Feb 6, 2021

Midday Peak (WKND) (12 PM - 1 PM) - Overall Peak Hour

All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks, Pedestrians, Bicycles on Crosswalk)

All Movements

ID: 811222, Location: 42.544798, -83.212409



Provided by: Gewalt Hamilton Associates Inc.  
625 Forest Edge Drive, Vernon Hills, IL, 60061, US

Leg Direction	Brown Eastbound						Brown Westbound						Woodward Northbound						Woodward Southbound						
Time	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	L	T	R	U	App	Ped*	Int
2021-02-06 12:00PM	5	32	15	0	52	6	9	15	15	0	39	2	9	48	12	0	69	1	8	30	13	0	51	0	211
12:15PM	11	29	16	0	56	4	7	18	20	0	45	5	12	51	10	0	73	2	7	32	3	0	42	1	216
12:30PM	9	29	21	0	59	6	9	8	7	0	24	7	20	48	7	0	75	2	15	30	6	0	51	0	209
12:45PM	8	32	18	0	58	7	2	15	9	0	26	7	17	47	14	0	78	0	19	31	6	0	56	4	218
<b>Total</b>	33	122	70	0	225	23	27	56	51	0	134	21	58	194	43	0	295	5	49	123	28	0	200	5	854
<b>% Approach</b>	14.7%	54.2%	31.1%	0%	-	-	20.1%	41.8%	38.1%	0%	-	-	19.7%	65.8%	14.6%	0%	-	-	24.5%	61.5%	14.0%	0%	-	-	-
<b>% Total</b>	3.9%	14.3%	8.2%	0%	26.3%	-	3.2%	6.6%	6.0%	0%	15.7%	-	6.8%	22.7%	5.0%	0%	34.5%	-	5.7%	14.4%	3.3%	0%	23.4%	-	-
<b>PHF</b>	0.750	0.953	0.833	-	0.953	-	0.750	0.778	0.638	-	0.744	-	0.725	0.951	0.768	-	0.946	-	0.645	0.961	0.538	-	0.893	-	0.979
<b>Lights</b>	33	120	69	0	222	-	27	56	51	0	134	-	57	191	43	0	291	-	49	118	28	0	195	-	842
<b>% Lights</b>	100%	98.4%	98.6%	0%	98.7%	-	100%	100%	100%	0%	100%	-	98.3%	98.5%	100%	0%	98.6%	-	100%	95.9%	100%	0%	97.5%	-	98.6%
<b>Articulated Trucks</b>	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0
<b>% Articulated Trucks</b>	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%	0%	0%	0%	0%	-	0%
<b>Buses and Single-Unit Trucks</b>	0	2	1	0	3	-	0	0	0	0	0	-	1	3	0	0	4	-	0	5	0	0	5	-	12
<b>% Buses and Single-Unit Trucks</b>	0%	1.6%	1.4%	0%	1.3%	-	0%	0%	0%	0%	0%	-	1.7%	1.5%	0%	0%	1.4%	-	0%	4.1%	0%	0%	2.5%	-	1.4%
<b>Pedestrians</b>	-	-	-	-	-	23	-	-	-	-	-	21	-	-	-	-	-	5	-	-	-	-	-	5	
<b>% Pedestrians</b>	-	-	-	-	-	100%	-	-	-	-	-	100%	-	-	-	-	-	100%	-	-	-	-	-	100%	-
<b>Bicycles on Crosswalk</b>	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	
<b>% Bicycles on Crosswalk</b>	-	-	-	-	-	0%	-	-	-	-	-	0%	-	-	-	-	-	0%	-	-	-	-	-	0%	-

\* Pedestrians and Bicycles on Crosswalk. L: Left, R: Right, T: Thru, U: U-Turn

# S. Old Woodward Avenue and Brown Street (sig... - TMC

Sat Feb 6, 2021

Midday Peak (WKND) (12 PM - 1 PM) - Overall Peak Hour

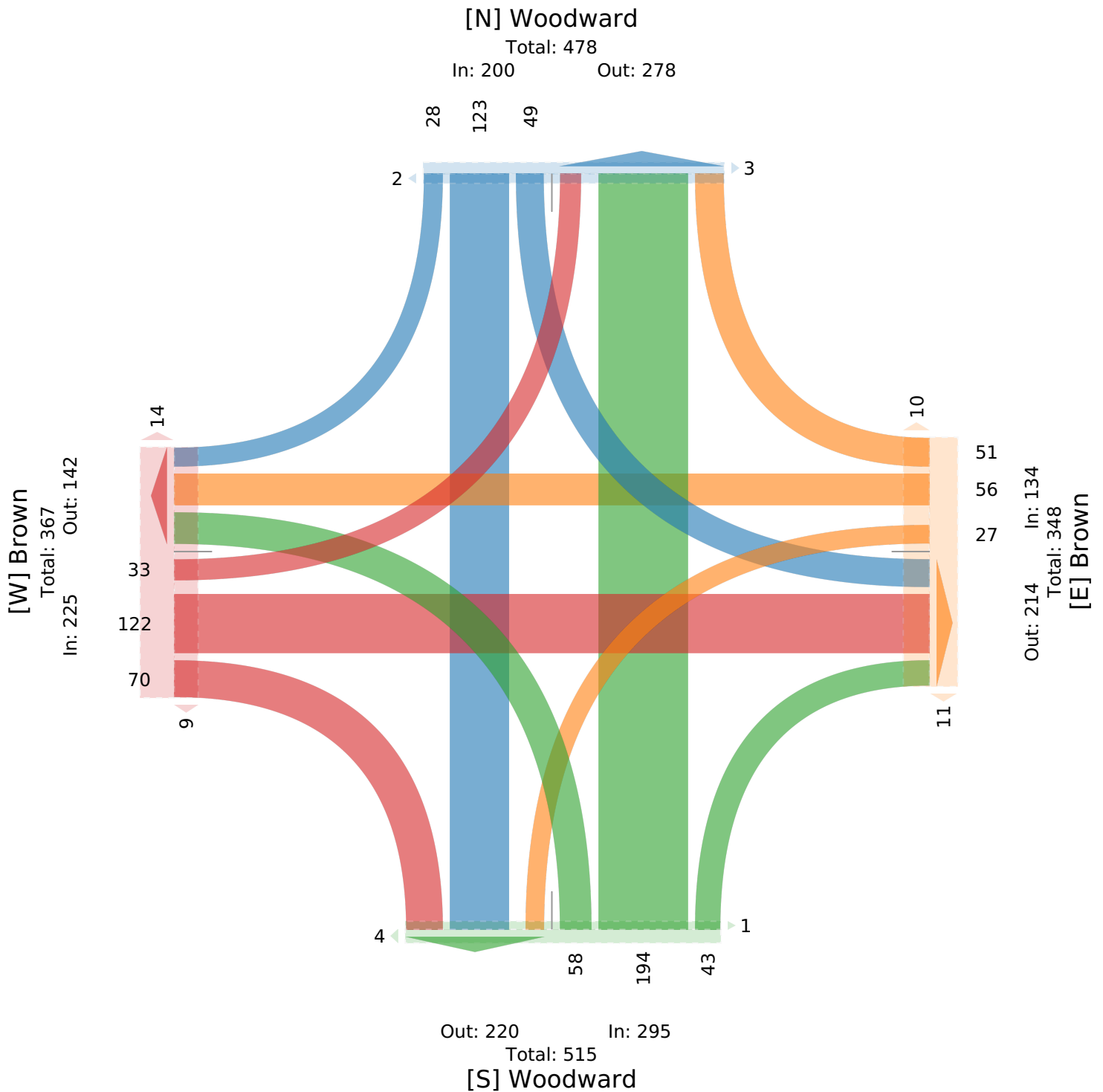
All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks,  
Pedestrians, Bicycles on Crosswalk)

All Movements

ID: 811222, Location: 42.544798, -83.212409



Provided by: Gewalt Hamilton Associates Inc.  
625 Forest Edge Drive, Vernon Hills, IL, 60061, US



# Traffic Data Collection, LLC

www.tdccounts.com

Phone: 586.786-5407

Traffic Study Performed For:

**Fleis & VandenBrink**



**Project: Birmingham 2019 Ped. Study**  
**Study: 11 Hr Video Turning Movement Count**  
**Weather: Sunny/Cldy. Dry PM Deg's 70's**  
**Count By Miovision Video VCU 4PU SW**

**File Name : PED\_5 Brown & Old Woodward\_6-6-19**  
**Site Code : PED\_5**  
**Start Date : 6/6/2019**  
**Page No : 1**

11 Hour video multi-modal traffic study was conducted during weekday (Thursday) from 7:00 AM morning - 6:00 PM afternoon peak hours.

Groups Printed- All Vehicles (no classification) - Bikes On Road - Bikes On Walk - Peds

Start Time	S. Woodward Ave. Southbound					E. Brown St. Westbound					S. Woodward Ave. Northbound					Woodward Heights Eastbound					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
07:00 AM	3	9	2	2	16	0	18	2	7	27	8	6	18	1	33	6	21	2	12	41	117
07:15 AM	6	5	2	4	17	3	26	1	9	39	6	11	15	3	35	3	40	7	2	52	143
07:30 AM	5	16	6	5	32	6	29	3	8	46	9	25	17	1	52	17	52	11	3	83	213
07:45 AM	4	11	1	5	21	5	39	4	4	52	8	20	37	4	69	19	43	9	0	71	213
Total	18	41	11	16	86	14	112	10	28	164	31	62	87	9	189	45	156	29	17	247	686
08:00 AM	12	11	2	1	26	4	48	2	23	77	16	23	42	2	83	20	57	10	2	89	275
08:15 AM	4	26	2	0	32	4	42	4	15	65	13	27	43	4	87	25	49	5	5	84	268
08:30 AM	3	28	5	2	38	6	44	3	21	74	10	24	31	0	65	23	59	10	0	92	269
08:45 AM	11	16	4	2	33	7	62	3	27	99	14	36	44	16	110	36	52	19	2	109	351
Total	30	81	13	5	129	21	196	12	86	315	53	110	160	22	345	104	217	44	9	374	1163
09:00 AM	6	27	9	6	48	5	38	4	31	78	16	35	65	9	125	34	38	10	2	84	335
09:15 AM	7	18	8	4	37	6	25	4	21	56	13	31	43	10	97	29	50	7	4	90	280
09:30 AM	11	30	6	4	51	4	26	7	13	50	15	38	29	5	87	35	48	8	4	95	283
09:45 AM	10	27	5	0	42	9	31	8	19	67	10	47	23	10	90	25	45	11	0	81	280
Total	34	102	28	14	178	24	120	23	84	251	54	151	160	34	399	123	181	36	10	350	1178
10:00 AM	9	26	7	6	48	12	31	8	16	67	4	36	26	10	76	27	45	6	1	79	270
10:15 AM	10	29	8	0	47	12	23	4	9	48	17	39	27	2	85	27	42	14	1	84	264
10:30 AM	13	39	4	1	57	13	20	2	10	45	8	39	20	7	74	26	34	11	2	73	249
10:45 AM	7	38	11	1	57	8	31	4	14	57	16	39	25	9	89	20	53	17	1	91	294
Total	39	132	30	8	209	45	105	18	49	217	45	153	98	28	324	100	174	48	5	327	1077
11:00 AM	16	25	10	4	55	17	20	7	13	57	11	40	21	5	77	39	35	17	2	93	282
11:15 AM	11	34	9	0	54	7	27	6	11	51	13	30	28	6	77	22	33	14	1	70	252
11:30 AM	14	40	9	1	64	19	26	8	26	79	9	46	20	8	83	40	49	12	2	103	329
11:45 AM	15	24	7	2	48	11	26	6	31	74	16	43	28	15	102	33	47	21	2	103	327
Total	56	123	35	7	221	54	99	27	81	261	49	159	97	34	339	134	164	64	7	369	1190
12:00 PM	20	43	13	7	83	11	38	11	24	84	14	44	23	12	93	49	62	13	0	124	384
12:15 PM	13	34	20	8	75	17	28	9	32	86	14	52	34	11	111	26	70	10	4	110	382
12:30 PM	13	37	10	4	64	14	41	8	32	95	11	39	26	12	88	22	53	12	2	89	336
12:45 PM	14	37	12	9	72	22	19	8	41	90	5	40	27	13	85	33	51	18	4	106	353
Total	60	151	55	28	294	64	126	36	129	355	44	175	110	48	377	130	236	53	10	429	1455
01:00 PM	7	33	15	2	57	16	26	8	26	76	7	39	21	14	81	29	56	9	10	104	318
01:15 PM	6	55	14	3	78	18	28	12	35	93	20	50	26	18	114	37	57	5	4	103	388
01:30 PM	13	45	11	0	69	16	34	7	30	87	12	63	18	16	109	40	62	9	3	114	379
01:45 PM	11	38	10	3	62	11	33	7	18	69	9	38	19	10	76	19	39	17	4	79	286
Total	37	171	50	8	266	61	121	34	109	325	48	190	84	58	380	125	214	40	21	400	1371
02:00 PM	12	34	5	1	52	18	37	12	22	89	14	32	22	7	75	33	63	7	1	104	320
02:15 PM	6	42	8	4	60	15	35	4	27	81	17	38	27	13	95	26	51	12	5	94	330
02:30 PM	10	33	10	2	55	16	37	7	27	87	20	35	22	10	87	37	51	6	5	99	328
02:45 PM	8	33	11	12	64	9	35	5	35	84	13	50	29	13	105	24	61	6	4	95	348
Total	36	142	34	19	231	58	144	28	111	341	64	155	100	43	362	120	226	31	15	392	1326
03:00 PM	13	44	11	8	76	10	31	6	13	60	19	50	29	17	115	35	83	11	14	143	394
03:15 PM	7	20	5	4	36	11	32	8	17	68	20	43	32	6	101	32	63	8	6	109	314
03:30 PM	9	42	13	5	69	9	50	11	16	86	9	51	30	7	97	28	60	5	14	107	359
03:45 PM	8	34	7	4	53	10	35	7	21	73	20	51	17	7	95	29	48	12	14	103	324
Total	37	140	36	21	234	40	148	32	67	287	68	195	108	37	408	124	254	36	48	462	1391



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Phone: 586.786-5407

Traffic Study Performed For:

**Fleis & VandenBrink**



**Project: Birmingham 2019 Ped. Study**  
**Study: 11 Hr Video Turning Movement Count**  
**Weather: Sunny/Cldy. Dry PM Deg's 70's**  
**Count By Miovision Video VCU 4PU SW**

**File Name : PED\_5 Brown & Old Woodward\_6-6-19**  
**Site Code : PED\_5**  
**Start Date : 6/6/2019**  
**Page No : 2**

Groups Printed- All Vehicles (no classification) - Bikes On Road - Bikes On Walk - Peds

	S. Woodward Ave. Southbound					E. Brown St. Westbound					S. Woodward Ave. Northbound					Woodward Heights Eastbound					
Start Time	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Int. Total
04:00 PM	10	30	7	5	52	8	42	10	13	73	22	46	33	5	106	43	74	10	16	143	374
04:15 PM	6	29	10	6	51	12	40	5	15	72	21	59	24	4	108	36	63	11	12	122	353
04:30 PM	7	33	8	5	53	11	52	6	23	92	15	50	29	12	106	40	55	8	19	122	373
04:45 PM	6	28	8	3	45	9	42	6	10	67	14	53	39	4	110	41	72	13	10	136	358
Total	29	120	33	19	201	40	176	27	61	304	72	208	125	25	430	160	264	42	57	523	1458
05:00 PM	10	44	11	6	71	6	55	8	23	92	23	45	29	14	111	60	73	8	9	150	424
05:15 PM	12	41	4	4	61	11	68	5	12	96	15	56	37	14	122	60	64	13	3	140	419
05:30 PM	12	45	5	1	63	11	60	5	15	91	18	42	29	14	103	44	64	14	8	130	387
05:45 PM	10	34	14	1	59	6	58	4	20	88	8	38	38	5	89	31	70	3	7	111	347
Total	44	164	34	12	254	34	241	22	70	367	64	181	133	47	425	195	271	38	27	531	1577
Grand Total	420	1367	359	157	2303	455	1588	269	875	3187	592	1739	1262	385	3978	1360	2357	461	226	4404	13872
Apprch %	18.2	59.4	15.6	6.8		14.3	49.8	8.4	27.5		14.9	43.7	31.7	9.7		30.9	53.5	10.5	5.1		
Total %	3	9.9	2.6	1.1	16.6	3.3	11.4	1.9	6.3	23	4.3	12.5	9.1	2.8	28.7	9.8	17	3.3	1.6	31.7	
All Vehicles (no classification)	420	1364	359	0	2143	455	1587	269	0	2311	592	1736	1262	0	3590	1359	2357	461	0	4177	12221
% All Vehicles (no classification)	100	99.8	100	0	93.1	100	99.9	100	0	72.5	100	99.8	100	0	90.2	99.9	100	100	0	94.8	88.1
Bikes On Road	0	3	0	0	3	0	1	0	0	1	0	3	0	0	3	1	0	0	0	1	8
% Bikes On Road	0	0.2	0	0	0.1	0	0.1	0	0	0	0	0.2	0	0	0.1	0.1	0	0	0	0	0.1
Bikes On Walk	0	0	0	4	4	0	0	0	5	5	0	0	0	8	8	0	0	0	9	9	26
% Bikes On Walk	0	0	0	2.5	0.2	0	0	0	0.6	0.2	0	0	0	2.1	0.2	0	0	0	4	0.2	0.2
Peds	0	0	0	153	153	0	0	0	870	870	0	0	0	377	377	0	0	0	217	217	1617
% Peds	0	0	0	97.5	6.6	0	0	0	99.4	27.3	0	0	0	97.9	9.5	0	0	0	96	4.9	11.7

TDC Traffic Comments: Signalized intersection with ped. signals for all quadrants, no push buttons. Video VCU camera was located within SE intersection quadrant. Building under construction within NW intersection quadrant. Sidewalk rerouted & maintained with ped. barricades. Traffic counts performed for Fleis & Vandenbrink for City of Birmingham Pedestrian & Bicycle Spring\_2019 Traffic Study for various citywide locations.

# Traffic Data Collection, LLC

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Phone: 586.786-5407

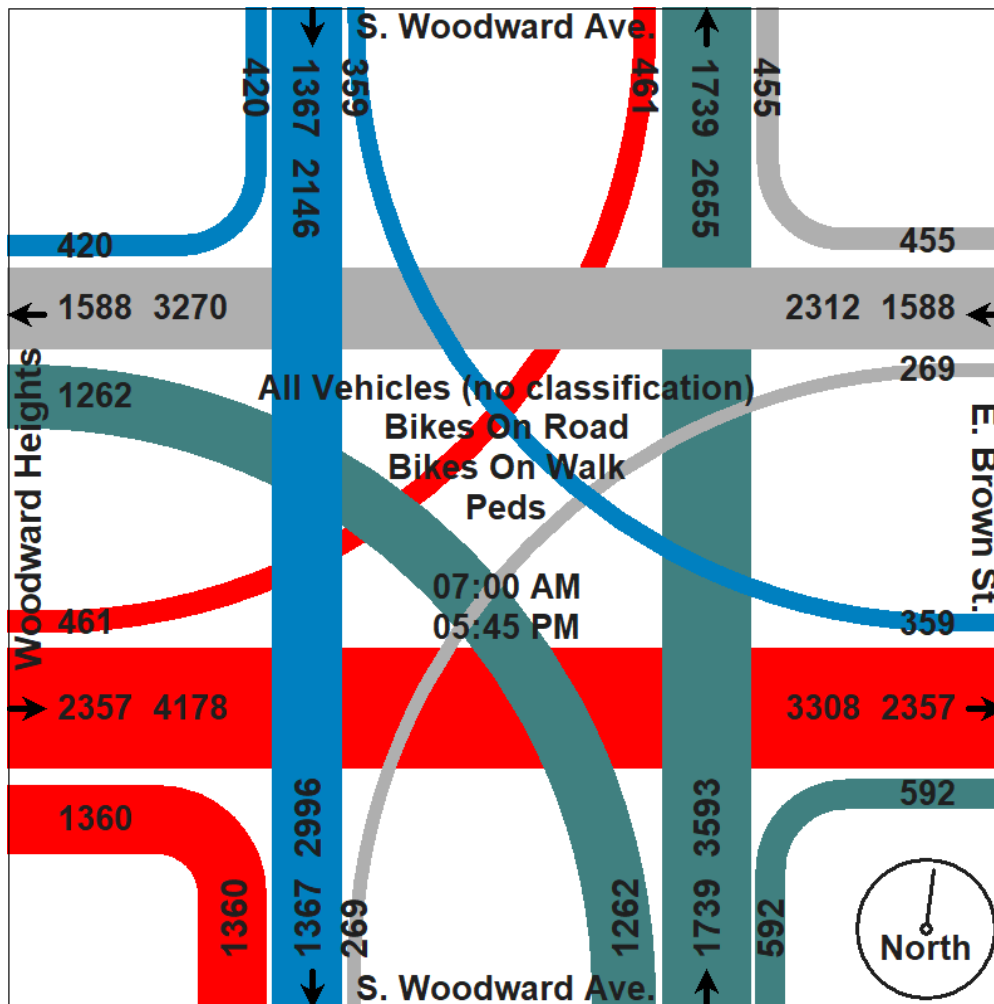
Traffic Study Performed For:

**Fleis & VandenBrink**



Project: Birmingham 2019 Ped. Study  
Study: 11 Hr Video Turning Movement Count  
Weather: Sunny/Cldy. Dry PM Deg's 70's  
Count By Miovision Video VCU 4PU SW

File Name : PED\_5 Brown & Old Woodward\_6-6-19  
Site Code : PED\_5  
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**File Name : PED\_5 Brown & Old Woodward\_6-6-19**  
**Site Code : PED\_5**  
**Start Date : 6/6/2019**  
**Page No : 4**

	S. Woodward Ave. Southbound					E. Brown St. Westbound					S. Woodward Ave. Northbound					Woodward Heights Eastbound					
Start Time	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Int. Total
Peak Hour Analysis From 07:00 AM to 11:45 AM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 08:45 AM																					
08:45 AM	11	16	4	2	33	7	62	3	27	99	14	36	44	16	110	36	52	19	2	109	351
09:00 AM	6	27	9	6	48	5	38	4	31	78	16	35	65	9	125	34	38	10	2	84	335
09:15 AM	7	18	8	4	37	6	25	4	21	56	13	31	43	10	97	29	50	7	4	90	280
09:30 AM	11	30	6	4	51	4	26	7	13	50	15	38	29	5	87	35	48	8	4	95	283
Total Volume	35	91	27	16	169	22	151	18	92	283	58	140	181	40	419	134	188	44	12	378	1249
% App. Total	20.7	53.8	16	9.5		7.8	53.4	6.4	32.5		13.8	33.4	43.2	9.5		35.4	49.7	11.6	3.2		
PHF	.795	.758	.750	.667	.828	.786	.609	.643	.742	.715	.906	.921	.696	.625	.838	.931	.904	.579	.750	.867	.890
All Vehicles (no classification)	35	91	27	0	153	22	151	18	0	191	58	140	181	0	379	134	188	44	0	366	1089
% All Vehicles (no classification)	100	100	100	0	90.5	100	100	100	0	67.5	100	100	100	0	90.5	100	100	100	0	96.8	87.2
Bikes On Road	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
% Bikes On Road	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Bikes On Walk	0	0	0	0	0	0	0	0	0	0	0	0	0	1	1	0	0	0	0	0	1
% Bikes On Walk	0	0	0	0	0	0	0	0	0	0	0	0	0	2.5	0.2	0	0	0	0	0	0.1
Peds	0	0	0	16	16	0	0	0	92	92	0	0	0	39	39	0	0	0	12	12	159
% Peds	0	0	0	100	9.5	0	0	0	100	32.5	0	0	0	97.5	9.3	0	0	0	100	3.2	12.7



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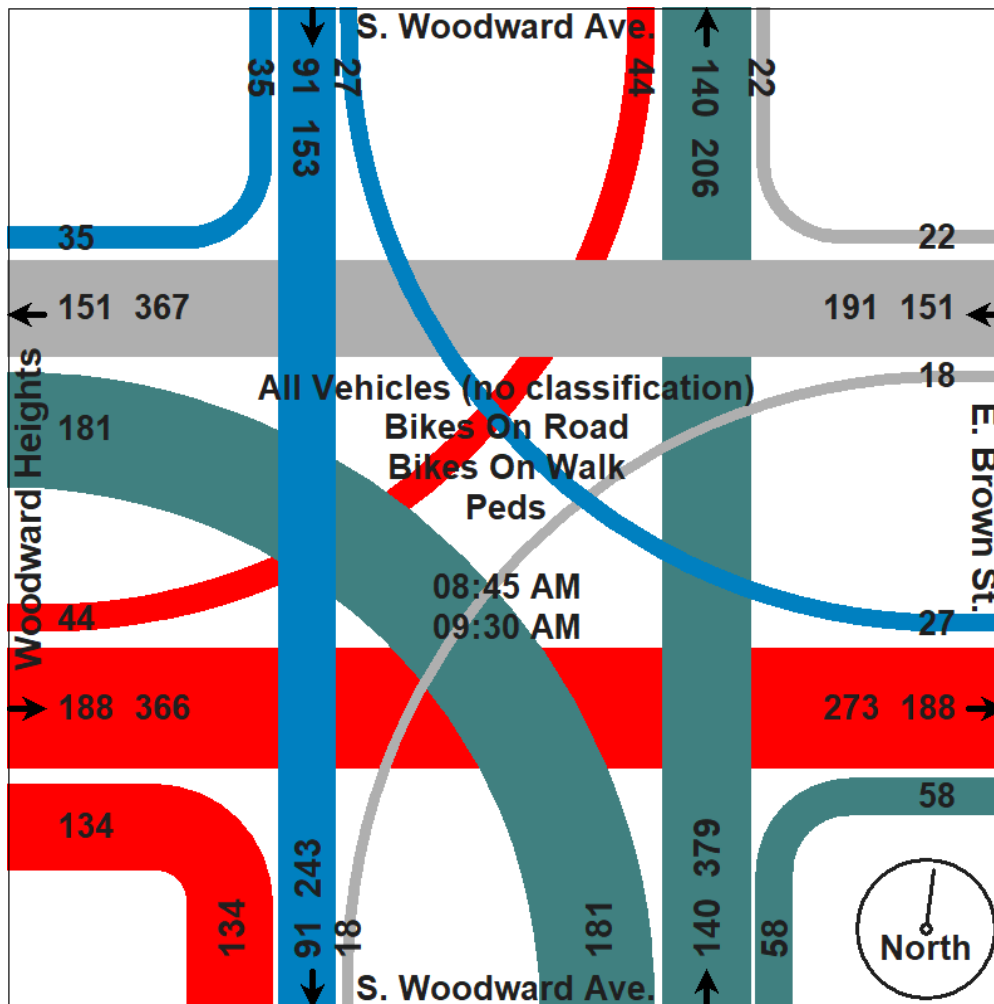
Traffic Study Performed For:

**Fleis & VandenBrink**



Project: Birmingham 2019 Ped. Study  
Study: 11 Hr Video Turning Movement Count  
Weather: Sunny/Cldy. Dry PM Deg's 70's  
Count By Miovision Video VCU 4PU SW

File Name : PED\_5 Brown & Old Woodward\_6-6-19  
Site Code : PED\_5  
Start Date : 6/6/2019  
Page No : 5



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Traffic Study Performed For:

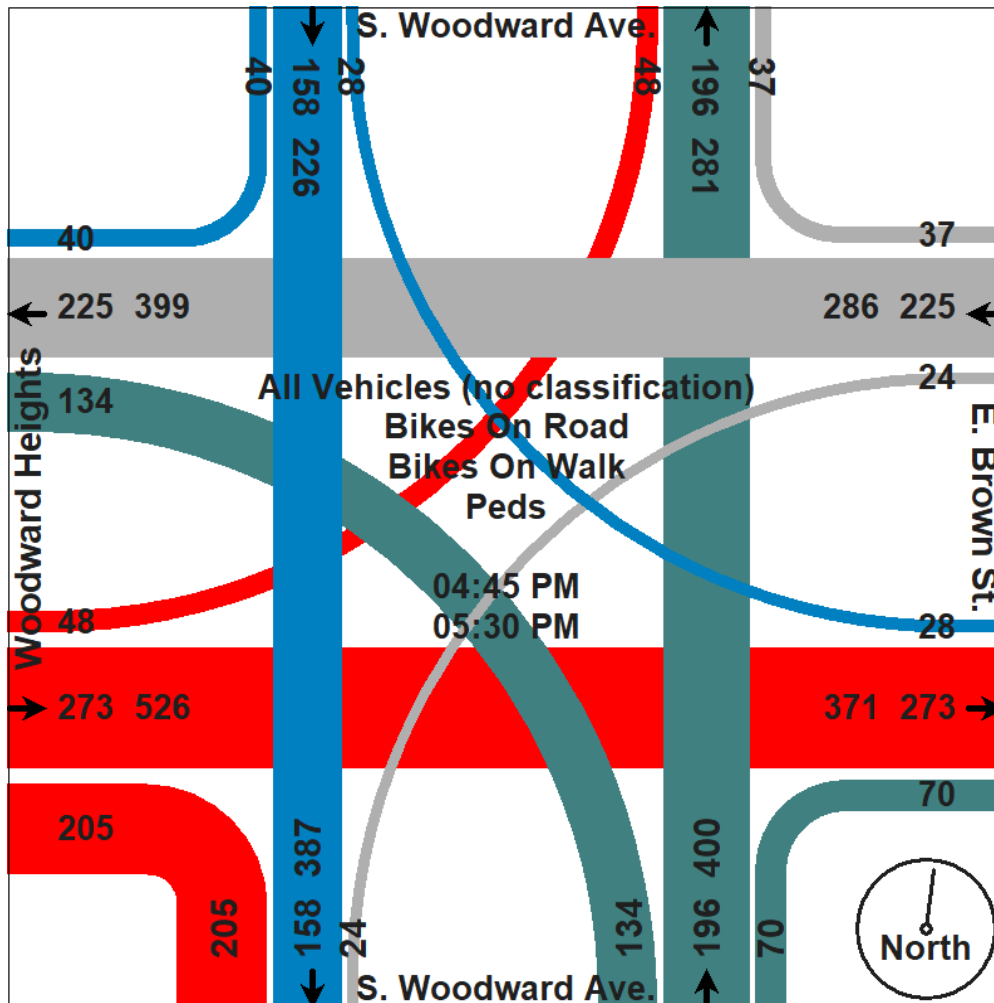
**Fleis & VandenBrink**



**Project:** Birmingham 2019 Ped. Study  
**Study:** 11 Hr Video Turning Movement Count  
**Weather:** Sunny/Cldy. Dry PM Deg's 70's  
**Count By:** Miovision Video VCU 4PU SW

**File Name :** PED\_5 Brown & Old Woodward\_6-6-19  
**Site Code :** PED\_5  
**Start Date :** 6/6/2019  
**Page No :** 6

	S. Woodward Ave. Southbound					E. Brown St. Westbound					S. Woodward Ave. Northbound					Woodward Heights Eastbound					
Start Time	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Int. Total
Peak Hour Analysis From 12:00 PM to 05:45 PM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 04:45 PM																					
04:45 PM	6	28	8	3	45	9	42	6	10	67	14	53	39	4	110	41	72	13	10	136	358
05:00 PM	10	44	11	6	71	6	55	8	23	92	23	45	29	14	111	60	73	8	9	150	424
05:15 PM	12	41	4	4	61	11	68	5	12	96	15	56	37	14	122	60	64	13	3	140	419
05:30 PM	12	45	5	1	63	11	60	5	15	91	18	42	29	14	103	44	64	14	8	130	387
Total Volume	40	158	28	14	240	37	225	24	60	346	70	196	134	46	446	205	273	48	30	556	1588
% App. Total	16.7	65.8	11.7	5.8		10.7	65	6.9	17.3		15.7	43.9	30	10.3		36.9	49.1	8.6	5.4		
PHF	.833	.878	.636	.583	.845	.841	.827	.750	.652	.901	.761	.875	.859	.821	.914	.854	.935	.857	.750	.927	.936
All Vehicles (no classification)	40	157	28	0	225	37	225	24	0	286	70	194	134	0	398	205	273	48	0	526	1435
% All Vehicles (no classification)	100	99.4	100	0	93.8	100	100	100	0	82.7	100	99.0	100	0	89.2	100	100	100	0	94.6	90.4
Bikes On Road	0	1	0	0	1	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	3
% Bikes On Road	0	0.6	0	0	0.4	0	0	0	0	0	0	1.0	0	0	0.4	0	0	0	0	0	0.2
Bikes On Walk	0	0	0	0	0	0	0	0	0	0	0	0	0	1	1	0	0	0	0	0	1
% Bikes On Walk	0	0	0	0	0	0	0	0	0	0	0	0	0	2.2	0.2	0	0	0	0	0	0.1
Peds	0	0	0	14	14	0	0	0	60	60	0	0	0	45	45	0	0	0	30	30	149
% Peds	0	0	0	100	5.8	0	0	0	100	17.3	0	0	0	97.8	10.1	0	0	0	100	5.4	9.4



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File Name : PED\_5 Brown & Old Woodward\_6-6-19  
Site Code : PED\_5  
Start Date : 6/6/2019  
Page No : 7

## Aerial Photo
























## **LOS OUTPUT REPORTS**

# HCM 6th Signalized Intersection Summary




## 1: S Old Woodward Ave & E Brown St

2021 Existing Conditions  
PM Peak Hour

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	48	276	207	24	227	37	135	198	71	28	160	40
Future Volume (veh/h)	48	276	207	24	227	37	135	198	71	28	160	40
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	0.96		0.90	0.98		0.87	0.96		0.92	0.98		0.91
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	2000	2000	2000	1984	1984	1984	2048	2048	2048	1984	1984	1984
Adj Flow Rate, veh/h	52	297	223	27	252	41	148	218	78	33	188	47
Peak Hour Factor	0.93	0.93	0.93	0.90	0.90	0.90	0.91	0.91	0.91	0.85	0.85	0.85
Percent Heavy Veh, %	0	0	0	1	1	1	2	2	2	1	1	1
Cap, veh/h	126	690	490	305	632	103	455	578	207	403	616	154
Arrive On Green	0.39	0.39	0.39	0.39	0.39	0.39	0.41	0.41	0.41	0.41	0.41	0.41
Sat Flow, veh/h	203	1774	1259	874	1624	264	1147	1405	503	1067	1499	375
Grp Volume(v), veh/h	318	0	254	27	0	293	148	0	296	33	0	235
Grp Sat Flow(s),veh/h/ln	1801	0	1435	874	0	1888	1147	0	1908	1067	0	1873
Q Serve(g_s), s	0.8	0.0	11.8	2.1	0.0	10.1	9.0	0.0	9.7	2.0	0.0	7.6
Cycle Q Clear(g_c), s	10.9	0.0	11.8	14.0	0.0	10.1	16.6	0.0	9.7	11.7	0.0	7.6
Prop In Lane	0.16		0.88	1.00		0.14	1.00		0.26	1.00		0.20
Lane Grp Cap(c), veh/h	747	0	558	305	0	734	455	0	784	403	0	770
V/C Ratio(X)	0.43	0.00	0.46	0.09	0.00	0.40	0.33	0.00	0.38	0.08	0.00	0.31
Avail Cap(c_a), veh/h	747	0	558	305	0	734	455	0	784	403	0	770
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	20.0	0.0	20.4	25.6	0.0	19.9	23.4	0.0	18.5	22.6	0.0	17.8
Incr Delay (d2), s/veh	1.8	0.0	2.7	0.6	0.0	1.6	1.9	0.0	1.4	0.4	0.0	1.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	5.1	0.0	4.3	0.5	0.0	4.7	2.6	0.0	4.5	0.5	0.0	3.5
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	21.8	0.0	23.1	26.2	0.0	21.5	25.3	0.0	19.9	23.0	0.0	18.9
LnGrp LOS	C	A	C	C	A	C	C	A	B	C	A	B
Approach Vol, veh/h		572			320			444			268	
Approach Delay, s/veh		22.4			21.9			21.7			19.4	
Approach LOS		C			C			C			B	
Timer - Assigned Phs		2		4		6		8				
Phs Duration (G+Y+Rc), s		46.0		44.0		46.0		44.0				
Change Period (Y+Rc), s		9.0		9.0		9.0		9.0				
Max Green Setting (Gmax), s		37.0		35.0		37.0		35.0				
Max Q Clear Time (g_c+I1), s		18.6		13.8		13.7		16.0				
Green Ext Time (p_c), s		2.4		4.0		1.6		1.9				
<b>Intersection Summary</b>												
HCM 6th Ctrl Delay				21.6								
HCM 6th LOS				C								

HCM 6th TWSC  
2: S Old Woodward Ave & Daines St

2021 Existing Conditions  
PM Peak Hour

Intersection						
Int Delay, s/veh	0.6					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	3	16	14	401	375	16
Future Vol, veh/h	3	16	14	401	375	16
Conflicting Peds, #/hr	33	33	33	0	0	44
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	60	60	92	92	90	90
Heavy Vehicles, %	0	0	1	1	2	2
Mvmt Flow	5	27	15	436	417	18

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	969	503	479	0	-	0
Stage 1	470	-	-	-	-	-
Stage 2	499	-	-	-	-	-
Critical Hdwy	6.4	6.2	4.11	-	-	-
Critical Hdwy Stg 1	5.4	-	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-	-
Follow-up Hdwy	3.5	3.3	2.209	-	-	-
Pot Cap-1 Maneuver	284	573	1089	-	-	-
Stage 1	633	-	-	-	-	-
Stage 2	614	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	256	526	1043	-	-	-
Mov Cap-2 Maneuver	256	-	-	-	-	-
Stage 1	595	-	-	-	-	-
Stage 2	588	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	13.6	0.3	0
HCM LOS	B		

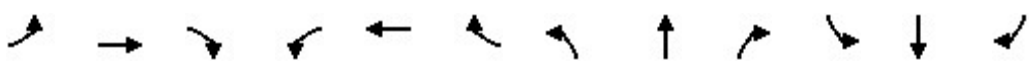
Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1043	-	451	-	-
HCM Lane V/C Ratio	0.015	-	0.07	-	-
HCM Control Delay (s)	8.5	0	13.6	-	-
HCM Lane LOS	A	A	B	-	-
HCM 95th %tile Q(veh)	0	-	0.2	-	-



# HCM 6th Signalized Intersection Summary




## 1: S Old Woodward Ave & E Brown St

2021 Existing Conditions  
SAT Peak Hour

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↔↔		↔	↔		↔	↔		↔	↔	
Traffic Volume (veh/h)	50	187	107	41	86	78	90	302	67	75	190	43
Future Volume (veh/h)	50	187	107	41	86	78	90	302	67	75	190	43
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	0.99		0.97	0.99		0.97	0.99		0.98	1.00		0.96
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1984	1984	1984	2000	2000	2000	2064	2064	2064	1969	1969	1969
Adj Flow Rate, veh/h	53	197	113	55	116	105	95	318	71	84	213	48
Peak Hour Factor	0.95	0.95	0.95	0.74	0.74	0.74	0.95	0.95	0.95	0.89	0.89	0.89
Percent Heavy Veh, %	1	1	1	0	0	0	1	1	1	2	2	2
Cap, veh/h	210	753	432	455	402	364	402	614	137	305	583	131
Arrive On Green	0.42	0.42	0.42	0.42	0.42	0.42	0.38	0.38	0.38	0.38	0.38	0.38
Sat Flow, veh/h	376	1785	1022	1072	951	861	1157	1626	363	991	1543	348
Grp Volume(v), veh/h	188	0	175	55	0	221	95	0	389	84	0	261
Grp Sat Flow(s),veh/h/ln	1603	0	1580	1072	0	1813	1157	0	1989	991	0	1890
Q Serve(g_s), s	0.7	0.0	6.5	3.2	0.0	7.2	5.8	0.0	13.6	6.4	0.0	9.0
Cycle Q Clear(g_c), s	7.9	0.0	6.5	9.6	0.0	7.2	14.8	0.0	13.6	20.1	0.0	9.0
Prop In Lane	0.28		0.65	1.00		0.48	1.00		0.18	1.00		0.18
Lane Grp Cap(c), veh/h	728	0	667	455	0	765	402	0	751	305	0	714
V/C Ratio(X)	0.26	0.00	0.26	0.12	0.00	0.29	0.24	0.00	0.52	0.28	0.00	0.37
Avail Cap(c_a), veh/h	728	0	667	455	0	765	402	0	751	305	0	714
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	16.7	0.0	16.9	20.0	0.0	17.1	25.5	0.0	21.7	29.4	0.0	20.2
Incr Delay (d2), s/veh	0.9	0.0	1.0	0.5	0.0	1.0	1.4	0.0	2.5	2.2	0.0	1.4
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	2.6	0.0	2.5	0.9	0.0	3.2	1.7	0.0	6.8	1.7	0.0	4.2
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	17.6	0.0	17.8	20.6	0.0	18.1	26.9	0.0	24.2	31.7	0.0	21.7
LnGrp LOS	B	A	B	C	A	B	C	A	C	C	A	C
Approach Vol, veh/h		363			276			484			345	
Approach Delay, s/veh		17.7			18.6			24.7			24.1	
Approach LOS		B			B			C			C	
Timer - Assigned Phs		2		4		6		8				
Phs Duration (G+Y+Rc), s		43.0		47.0		43.0		47.0				
Change Period (Y+Rc), s		9.0		9.0		9.0		9.0				
Max Green Setting (Gmax), s		34.0		38.0		34.0		38.0				
Max Q Clear Time (g_c+I1), s		16.8		9.9		22.1		11.6				
Green Ext Time (p_c), s		2.7		2.5		1.6		1.7				
<b>Intersection Summary</b>												
HCM 6th Ctrl Delay				21.7								
HCM 6th LOS				C								

HCM 6th TWSC  
2: S Old Woodward Ave & Daines St

2021 Existing Conditions  
SAT Peak Hour




















Intersection						
Int Delay, s/veh	0.3					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	2	6	11	457	327	11
Future Vol, veh/h	2	6	11	457	327	11
Conflicting Peds, #/hr	25	18	18	0	0	25
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	60	60	92	92	94	94
Heavy Vehicles, %	0	0	2	2	3	3
Mvmt Flow	3	10	12	497	348	12
Major/Minor	Minor2	Major1		Major2		
Conflicting Flow All	925	397	385	0	-	0
Stage 1	379	-	-	-	-	-
Stage 2	546	-	-	-	-	-
Critical Hdwy	6.4	6.2	4.12	-	-	-
Critical Hdwy Stg 1	5.4	-	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-	-
Follow-up Hdwy	3.5	3.3	2.218	-	-	-
Pot Cap-1 Maneuver	301	657	1173	-	-	-
Stage 1	696	-	-	-	-	-
Stage 2	584	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	283	627	1145	-	-	-
Mov Cap-2 Maneuver	283	-	-	-	-	-
Stage 1	670	-	-	-	-	-
Stage 2	570	-	-	-	-	-
Approach	EB	NB		SB		
HCM Control Delay, s	12.7	0.2		0		
HCM LOS	B					
Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR	
Capacity (veh/h)	1145	-	481	-	-	
HCM Lane V/C Ratio	0.01	-	0.028	-	-	
HCM Control Delay (s)	8.2	0	12.7	-	-	
HCM Lane LOS	A	A	B	-	-	
HCM 95th %tile Q(veh)	0	-	0.1	-	-	

# HCM 6th Signalized Intersection Summary

## 1: S Old Woodward Ave & E Brown St

2022 Background Conditions




PM Peak Hour

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	48	277	208	24	228	37	136	199	71	28	161	40
Future Volume (veh/h)	48	277	208	24	228	37	136	199	71	28	161	40
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	0.96		0.90	0.98		0.87	0.96		0.92	0.98		0.91
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	2000	2000	2000	1984	1984	1984	2048	2048	2048	1984	1984	1984
Adj Flow Rate, veh/h	52	298	224	27	253	41	149	219	78	33	189	47
Peak Hour Factor	0.93	0.93	0.93	0.90	0.90	0.90	0.91	0.91	0.91	0.85	0.85	0.85
Percent Heavy Veh, %	0	0	0	1	1	1	2	2	2	1	1	1
Cap, veh/h	125	690	490	304	632	102	454	578	206	402	617	153
Arrive On Green	0.39	0.39	0.39	0.39	0.39	0.39	0.41	0.41	0.41	0.41	0.41	0.41
Sat Flow, veh/h	202	1773	1260	873	1625	263	1146	1407	501	1066	1501	373
Grp Volume(v), veh/h	319	0	255	27	0	294	149	0	297	33	0	236
Grp Sat Flow(s),veh/h/ln	1802	0	1434	873	0	1888	1146	0	1908	1066	0	1874
Q Serve(g_s), s	0.8	0.0	11.9	2.1	0.0	10.1	9.1	0.0	9.8	2.0	0.0	7.6
Cycle Q Clear(g_c), s	10.9	0.0	11.9	14.0	0.0	10.1	16.7	0.0	9.8	11.8	0.0	7.6
Prop In Lane	0.16		0.88	1.00		0.14	1.00		0.26	1.00		0.20
Lane Grp Cap(c), veh/h	747	0	558	304	0	734	454	0	785	402	0	770
V/C Ratio(X)	0.43	0.00	0.46	0.09	0.00	0.40	0.33	0.00	0.38	0.08	0.00	0.31
Avail Cap(c_a), veh/h	747	0	558	304	0	734	454	0	785	402	0	770
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	20.0	0.0	20.4	25.6	0.0	19.9	23.5	0.0	18.5	22.6	0.0	17.9
Incr Delay (d2), s/veh	1.8	0.0	2.7	0.6	0.0	1.6	1.9	0.0	1.4	0.4	0.0	1.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	5.2	0.0	4.3	0.5	0.0	4.7	2.7	0.0	4.5	0.5	0.0	3.5
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	21.8	0.0	23.1	26.2	0.0	21.5	25.4	0.0	19.9	23.0	0.0	18.9
LnGrp LOS	C	A	C	C	A	C	C	A	B	C	A	B
Approach Vol, veh/h		574			321			446			269	
Approach Delay, s/veh		22.4			21.9			21.7			19.4	
Approach LOS		C			C			C			B	
Timer - Assigned Phs		2		4		6		8				
Phs Duration (G+Y+Rc), s		46.0		44.0		46.0		44.0				
Change Period (Y+Rc), s		9.0		9.0		9.0		9.0				
Max Green Setting (Gmax), s		37.0		35.0		37.0		35.0				
Max Q Clear Time (g_c+I1), s		18.7		13.9		13.8		16.0				
Green Ext Time (p_c), s		2.4		4.0		1.6		1.9				
<b>Intersection Summary</b>												
HCM 6th Ctrl Delay				21.6								
HCM 6th LOS				C								



HCM 6th TWSC  
2: S Old Woodward Ave & Daines St

2022 Background Conditions  
PM Peak Hour

Intersection						
Int Delay, s/veh	0.6					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	3	16	14	403	377	16
Future Vol, veh/h	3	16	14	403	377	16
Conflicting Peds, #/hr	33	33	33	0	0	44
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	60	60	92	92	90	90
Heavy Vehicles, %	0	0	1	1	2	2
Mvmt Flow	5	27	15	438	419	18

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	973	505	481	0	-	0
Stage 1	472	-	-	-	-	-
Stage 2	501	-	-	-	-	-
Critical Hdwy	6.4	6.2	4.11	-	-	-
Critical Hdwy Stg 1	5.4	-	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-	-
Follow-up Hdwy	3.5	3.3	2.209	-	-	-
Pot Cap-1 Maneuver	282	571	1087	-	-	-
Stage 1	632	-	-	-	-	-
Stage 2	613	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	254	524	1041	-	-	-
Mov Cap-2 Maneuver	254	-	-	-	-	-
Stage 1	594	-	-	-	-	-
Stage 2	587	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	13.6	0.3	0
HCM LOS	B		




















Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1041	-	449	-	-
HCM Lane V/C Ratio	0.015	-	0.071	-	-
HCM Control Delay (s)	8.5	0	13.6	-	-
HCM Lane LOS	A	A	B	-	-
HCM 95th %tile Q(veh)	0	-	0.2	-	-

# HCM 6th Signalized Intersection Summary

## 1: S Old Woodward Ave & E Brown St




2022 Background Conditions

SAT Peak Hour

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	50	188	108	41	86	78	90	304	67	75	191	43
Future Volume (veh/h)	50	188	108	41	86	78	90	304	67	75	191	43
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	0.99		0.97	0.99		0.97	0.99		0.98	1.00		0.96
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1984	1984	1984	2000	2000	2000	2064	2064	2064	1969	1969	1969
Adj Flow Rate, veh/h	53	198	114	55	116	105	95	320	71	84	215	48
Peak Hour Factor	0.95	0.95	0.95	0.74	0.74	0.74	0.95	0.95	0.95	0.89	0.89	0.89
Percent Heavy Veh, %	1	1	1	0	0	0	1	1	1	2	2	2
Cap, veh/h	209	754	433	454	402	364	400	615	136	303	584	130
Arrive On Green	0.42	0.42	0.42	0.42	0.42	0.42	0.38	0.38	0.38	0.38	0.38	0.38
Sat Flow, veh/h	374	1786	1026	1070	951	861	1155	1628	361	990	1546	345
Grp Volume(v), veh/h	189	0	176	55	0	221	95	0	391	84	0	263
Grp Sat Flow(s),veh/h/ln	1606	0	1580	1070	0	1813	1155	0	1989	990	0	1891
Q Serve(g_s), s	0.7	0.0	6.5	3.2	0.0	7.2	5.8	0.0	13.7	6.5	0.0	9.0
Cycle Q Clear(g_c), s	7.9	0.0	6.5	9.7	0.0	7.2	14.9	0.0	13.7	20.2	0.0	9.0
Prop In Lane	0.28		0.65	1.00		0.48	1.00		0.18	1.00		0.18
Lane Grp Cap(c), veh/h	729	0	667	454	0	765	400	0	751	303	0	714
V/C Ratio(X)	0.26	0.00	0.26	0.12	0.00	0.29	0.24	0.00	0.52	0.28	0.00	0.37
Avail Cap(c_a), veh/h	729	0	667	454	0	765	400	0	751	303	0	714
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	16.7	0.0	16.9	20.0	0.0	17.1	25.6	0.0	21.7	29.5	0.0	20.2
Incr Delay (d2), s/veh	0.9	0.0	1.0	0.5	0.0	1.0	1.4	0.0	2.6	2.3	0.0	1.5
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	2.6	0.0	2.5	0.9	0.0	3.2	1.7	0.0	6.8	1.7	0.0	4.2
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	17.6	0.0	17.9	20.6	0.0	18.1	27.0	0.0	24.3	31.8	0.0	21.7
LnGrp LOS	B	A	B	C	A	B	C	A	C	C	A	C
Approach Vol, veh/h		365			276			486			347	
Approach Delay, s/veh		17.7			18.6			24.8			24.1	
Approach LOS		B			B			C			C	
Timer - Assigned Phs		2		4		6		8				
Phs Duration (G+Y+Rc), s		43.0		47.0		43.0		47.0				
Change Period (Y+Rc), s		9.0		9.0		9.0		9.0				
Max Green Setting (Gmax), s		34.0		38.0		34.0		38.0				
Max Q Clear Time (g_c+I1), s		16.9		9.9		22.2		11.7				
Green Ext Time (p_c), s		2.7		2.5		1.6		1.7				
<b>Intersection Summary</b>												
HCM 6th Ctrl Delay				21.7								
HCM 6th LOS				C								

HCM 6th TWSC  
2: S Old Woodward Ave & Daines St

2022 Background Conditions  
SAT Peak Hour




















Intersection						
Int Delay, s/veh	0.3					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	2	6	11	459	329	11
Future Vol, veh/h	2	6	11	459	329	11
Conflicting Peds, #/hr	25	18	18	0	0	25
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	60	60	92	92	94	94
Heavy Vehicles, %	0	0	2	2	3	3
Mvmt Flow	3	10	12	499	350	12
Major/Minor	Minor2	Major1		Major2		
Conflicting Flow All	929	399	387	0	-	0
Stage 1	381	-	-	-	-	-
Stage 2	548	-	-	-	-	-
Critical Hdwy	6.4	6.2	4.12	-	-	-
Critical Hdwy Stg 1	5.4	-	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-	-
Follow-up Hdwy	3.5	3.3	2.218	-	-	-
Pot Cap-1 Maneuver	300	655	1171	-	-	-
Stage 1	695	-	-	-	-	-
Stage 2	583	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	281	625	1143	-	-	-
Mov Cap-2 Maneuver	281	-	-	-	-	-
Stage 1	668	-	-	-	-	-
Stage 2	569	-	-	-	-	-
Approach	EB	NB		SB		
HCM Control Delay, s	12.7	0.2		0		
HCM LOS	B					
Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR	
Capacity (veh/h)	1143	-	479	-	-	
HCM Lane V/C Ratio	0.01	-	0.028	-	-	
HCM Control Delay (s)	8.2	0	12.7	-	-	
HCM Lane LOS	A	A	B	-	-	
HCM 95th %tile Q(veh)	0	-	0.1	-	-	



# HCM 6th Signalized Intersection Summary




## 1: S Old Woodward Ave & E Brown St

2022 Future Conditions  
PM Peak Hour

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	48	277	210	27	228	37	137	204	74	28	164	40
Future Volume (veh/h)	48	277	210	27	228	37	137	204	74	28	164	40
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	0.96		0.90	0.98		0.87	0.96		0.92	0.98		0.91
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	2000	2000	2000	1984	1984	1984	2048	2048	2048	1984	1984	1984
Adj Flow Rate, veh/h	52	298	226	30	253	41	151	224	81	33	193	47
Peak Hour Factor	0.93	0.93	0.93	0.90	0.90	0.90	0.91	0.91	0.91	0.85	0.85	0.85
Percent Heavy Veh, %	0	0	0	1	1	1	2	2	2	1	1	1
Cap, veh/h	125	688	493	303	632	102	451	576	208	397	620	151
Arrive On Green	0.39	0.39	0.39	0.39	0.39	0.39	0.41	0.41	0.41	0.41	0.41	0.41
Sat Flow, veh/h	201	1769	1267	871	1625	263	1143	1400	506	1059	1508	367
Grp Volume(v), veh/h	320	0	256	30	0	294	151	0	305	33	0	240
Grp Sat Flow(s),veh/h/ln	1805	0	1432	871	0	1888	1143	0	1907	1059	0	1875
Q Serve(g_s), s	0.8	0.0	11.9	2.4	0.0	10.1	9.3	0.0	10.1	2.0	0.0	7.8
Cycle Q Clear(g_c), s	11.0	0.0	11.9	14.3	0.0	10.1	17.0	0.0	10.1	12.1	0.0	7.8
Prop In Lane	0.16		0.88	1.00		0.14	1.00		0.27	1.00		0.20
Lane Grp Cap(c), veh/h	748	0	557	303	0	734	451	0	784	397	0	771
V/C Ratio(X)	0.43	0.00	0.46	0.10	0.00	0.40	0.33	0.00	0.39	0.08	0.00	0.31
Avail Cap(c_a), veh/h	748	0	557	303	0	734	451	0	784	397	0	771
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	20.0	0.0	20.5	25.8	0.0	19.9	23.6	0.0	18.6	22.8	0.0	17.9
Incr Delay (d2), s/veh	1.8	0.0	2.7	0.7	0.0	1.6	2.0	0.0	1.5	0.4	0.0	1.1
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	5.2	0.0	4.3	0.5	0.0	4.7	2.7	0.0	4.7	0.6	0.0	3.5
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	21.8	0.0	23.2	26.4	0.0	21.5	25.6	0.0	20.0	23.2	0.0	18.9
LnGrp LOS	C	A	C	C	A	C	C	A	C	C	A	B
Approach Vol, veh/h		576			324			456			273	
Approach Delay, s/veh		22.4			22.0			21.9			19.5	
Approach LOS		C			C			C			B	
Timer - Assigned Phs		2		4		6		8				
Phs Duration (G+Y+Rc), s		46.0		44.0		46.0		44.0				
Change Period (Y+Rc), s		9.0		9.0		9.0		9.0				
Max Green Setting (Gmax), s		37.0		35.0		37.0		35.0				
Max Q Clear Time (g_c+I1), s		19.0		13.9		14.1		16.3				
Green Ext Time (p_c), s		2.5		4.1		1.6		1.9				
<b>Intersection Summary</b>												
HCM 6th Ctrl Delay				21.7								
HCM 6th LOS				C								

HCM 6th TWSC  
2: S Old Woodward Ave & Daines St




2022 Future Conditions  
PM Peak Hour

Intersection						
Int Delay, s/veh	1.1					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	12	20	17	403	377	24
Future Vol, veh/h	12	20	17	403	377	24
Conflicting Peds, #/hr	33	33	33	0	0	44
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	60	60	92	92	90	90
Heavy Vehicles, %	0	0	1	1	2	2
Mvmt Flow	20	33	18	438	419	27

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	984	510	490	0	-	0
Stage 1	477	-	-	-	-	-
Stage 2	507	-	-	-	-	-
Critical Hdwy	6.4	6.2	4.11	-	-	-
Critical Hdwy Stg 1	5.4	-	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-	-
Follow-up Hdwy	3.5	3.3	2.209	-	-	-
Pot Cap-1 Maneuver	278	567	1078	-	-	-
Stage 1	629	-	-	-	-	-
Stage 2	609	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	249	520	1033	-	-	-
Mov Cap-2 Maneuver	249	-	-	-	-	-
Stage 1	589	-	-	-	-	-
Stage 2	583	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	16.4	0.3	0
HCM LOS	C		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1033	-	369	-	-
HCM Lane V/C Ratio	0.018	-	0.145	-	-
HCM Control Delay (s)	8.5	0	16.4	-	-
HCM Lane LOS	A	A	C	-	-
HCM 95th %tile Q(veh)	0.1	-	0.5	-	-




















Intersection						
Int Delay, s/veh	1.8					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	1	19	30	11	13	1
Future Vol, veh/h	1	19	30	11	13	1
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	1	21	33	12	14	1
Major/Minor	Major1	Major2		Minor2		
Conflicting Flow All	45	0	-	0	62	39
Stage 1	-	-	-	-	39	-
Stage 2	-	-	-	-	23	-
Critical Hdwy	4.12	-	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	2.218	-	-	-	3.518	3.318
Pot Cap-1 Maneuver	1563	-	-	-	944	1033
Stage 1	-	-	-	-	983	-
Stage 2	-	-	-	-	1000	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	1563	-	-	-	943	1033
Mov Cap-2 Maneuver	-	-	-	-	943	-
Stage 1	-	-	-	-	982	-
Stage 2	-	-	-	-	1000	-
Approach	EB	WB		SB		
HCM Control Delay, s	0.4	0		8.9		
HCM LOS				A		
Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1	
Capacity (veh/h)	1563	-	-	-	949	
HCM Lane V/C Ratio	0.001	-	-	-	0.016	
HCM Control Delay (s)	7.3	0	-	-	8.9	
HCM Lane LOS	A	A	-	-	A	
HCM 95th %tile Q(veh)	0	-	-	-	0	



# HCM 6th Signalized Intersection Summary




## 1: S Old Woodward Ave & E Brown St




2022 Future Conditions  
SAT Peak Hour

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	50	188	112	49	86	78	91	315	74	75	197	43
Future Volume (veh/h)	50	188	112	49	86	78	91	315	74	75	197	43
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	0.99		0.97	0.99		0.97	0.99		0.98	1.00		0.96
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1984	1984	1984	2000	2000	2000	2064	2064	2064	1969	1969	1969
Adj Flow Rate, veh/h	53	198	118	66	116	105	96	332	78	84	221	48
Peak Hour Factor	0.95	0.95	0.95	0.74	0.74	0.74	0.95	0.95	0.95	0.89	0.89	0.89
Percent Heavy Veh, %	1	1	1	0	0	0	1	1	1	2	2	2
Cap, veh/h	207	747	443	452	402	364	396	607	143	290	587	128
Arrive On Green	0.42	0.42	0.42	0.42	0.42	0.42	0.38	0.38	0.38	0.38	0.38	0.38
Sat Flow, veh/h	370	1769	1049	1066	951	861	1149	1608	378	973	1555	338
Grp Volume(v), veh/h	192	0	177	66	0	221	96	0	410	84	0	269
Grp Sat Flow(s),veh/h/ln	1614	0	1574	1066	0	1813	1149	0	1986	973	0	1893
Q Serve(g_s), s	0.7	0.0	6.6	3.9	0.0	7.2	6.0	0.0	14.6	6.7	0.0	9.3
Cycle Q Clear(g_c), s	7.9	0.0	6.6	10.5	0.0	7.2	15.2	0.0	14.6	21.2	0.0	9.3
Prop In Lane	0.28		0.67	1.00		0.48	1.00		0.19	1.00		0.18
Lane Grp Cap(c), veh/h	733	0	665	452	0	765	396	0	750	290	0	715
V/C Ratio(X)	0.26	0.00	0.27	0.15	0.00	0.29	0.24	0.00	0.55	0.29	0.00	0.38
Avail Cap(c_a), veh/h	733	0	665	452	0	765	396	0	750	290	0	715
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	16.7	0.0	16.9	20.3	0.0	17.1	25.8	0.0	22.0	30.3	0.0	20.3
Incr Delay (d2), s/veh	0.9	0.0	1.0	0.7	0.0	1.0	1.5	0.0	2.9	2.5	0.0	1.5
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	2.7	0.0	2.5	1.0	0.0	3.2	1.8	0.0	7.2	1.8	0.0	4.3
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	17.6	0.0	17.9	21.0	0.0	18.1	27.3	0.0	24.8	32.8	0.0	21.8
LnGrp LOS	B	A	B	C	A	B	C	A	C	C	A	C
Approach Vol, veh/h		369			287			506			353	
Approach Delay, s/veh		17.7			18.7			25.3			24.4	
Approach LOS		B			B			C			C	
Timer - Assigned Phs		2		4		6		8				
Phs Duration (G+Y+Rc), s		43.0		47.0		43.0		47.0				
Change Period (Y+Rc), s		9.0		9.0		9.0		9.0				
Max Green Setting (Gmax), s		34.0		38.0		34.0		38.0				
Max Q Clear Time (g_c+I1), s		17.2		9.9		23.2		12.5				
Green Ext Time (p_c), s		2.9		2.6		1.5		1.7				
<b>Intersection Summary</b>												
HCM 6th Ctrl Delay				22.0								
HCM 6th LOS				C								

HCM 6th TWSC  
2: S Old Woodward Ave & Daines St

2022 Future Conditions  
SAT Peak Hour

Intersection						
Int Delay, s/veh	1.2					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	21	12	21	459	329	29
Future Vol, veh/h	21	12	21	459	329	29
Conflicting Peds, #/hr	25	18	18	0	0	25
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	60	60	92	92	94	94
Heavy Vehicles, %	0	0	2	2	3	3
Mvmt Flow	35	20	23	499	350	31
Major/Minor	Minor2	Major1		Major2		
Conflicting Flow All	961	409	406	0	-	0
Stage 1	391	-	-	-	-	-
Stage 2	570	-	-	-	-	-
Critical Hdwy	6.4	6.2	4.12	-	-	-
Critical Hdwy Stg 1	5.4	-	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-	-
Follow-up Hdwy	3.5	3.3	2.218	-	-	-
Pot Cap-1 Maneuver	287	647	1153	-	-	-
Stage 1	688	-	-	-	-	-
Stage 2	570	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	266	617	1126	-	-	-
Mov Cap-2 Maneuver	266	-	-	-	-	-
Stage 1	653	-	-	-	-	-
Stage 2	556	-	-	-	-	-
Approach	EB	NB		SB		
HCM Control Delay, s	17.8	0.4		0		
HCM LOS	C					
Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR	
Capacity (veh/h)	1126	-	335	-	-	
HCM Lane V/C Ratio	0.02	-	0.164	-	-	
HCM Control Delay (s)	8.3	0	17.8	-	-	
HCM Lane LOS	A	A	C	-	-	
HCM 95th %tile Q(veh)	0.1	-	0.6	-	-	

Intersection						
Int Delay, s/veh	2.9					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	3	8	22	28	25	1
Future Vol, veh/h	3	8	22	28	25	1
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	3	9	24	30	27	1
Major/Minor	Major1	Major2		Minor2		
Conflicting Flow All	54	0	-	0	54	39
Stage 1	-	-	-	-	39	-
Stage 2	-	-	-	-	15	-
Critical Hdwy	4.12	-	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	2.218	-	-	-	3.518	3.318
Pot Cap-1 Maneuver	1551	-	-	-	954	1033
Stage 1	-	-	-	-	983	-
Stage 2	-	-	-	-	1008	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	1551	-	-	-	952	1033
Mov Cap-2 Maneuver	-	-	-	-	952	-
Stage 1	-	-	-	-	981	-
Stage 2	-	-	-	-	1008	-
Approach	EB	WB		SB		
HCM Control Delay, s	2	0		8.9		
HCM LOS	A					
Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1	
Capacity (veh/h)	1551	-	-	-	955	
HCM Lane V/C Ratio	0.002	-	-	-	0.03	
HCM Control Delay (s)	7.3	0	-	-	8.9	
HCM Lane LOS	A	A	-	-	A	
HCM 95th %tile Q(veh)	0	-	-	-	0.1	



# **MICROSIMULATION OUTPUT REPORTS**

Queuing and Blocking Report  
2021 Existing Conditions

02/23/2021

Intersection: 1: S Old Woodward Ave & E Brown St

Movement	EB	EB	WB	WB	NB	NB	SB	SB
Directions Served	LT	TR	L	TR	L	TR	L	TR
Maximum Queue (ft)	236	179	113	220	120	186	64	173
Average Queue (ft)	119	89	27	110	73	117	20	75
95th Queue (ft)	195	155	78	190	128	191	49	136
Link Distance (ft)	488	488		227		173		392
Upstream Blk Time (%)				0		2		
Queuing Penalty (veh)				0		8		
Storage Bay Dist (ft)			90		75		150	
Storage Blk Time (%)			0	15	11	22		1
Queuing Penalty (veh)			0	4	30	29		0

Intersection: 2: S Old Woodward Ave & Daines St

Movement	EB	NB	SB
Directions Served	LR	LT	TR
Maximum Queue (ft)	45	150	93
Average Queue (ft)	13	36	21
95th Queue (ft)	37	106	66
Link Distance (ft)	465	373	173
Upstream Blk Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk Time (%)			
Queuing Penalty (veh)			

Zone Summary

Zone wide Queuing Penalty: 72

Queuing and Blocking Report  
2021 Existing Conditions

02/23/2021

Intersection: 1: S Old Woodward Ave & E Brown St

Movement	EB	EB	WB	WB	NB	NB	SB	SB
Directions Served	LT	TR	L	TR	L	TR	L	TR
Maximum Queue (ft)	161	135	85	164	120	185	124	168
Average Queue (ft)	80	46	25	64	62	144	51	90
95th Queue (ft)	135	93	65	125	126	212	97	149
Link Distance (ft)	488	488		227		173		392
Upstream Blk Time (%)				0		5		
Queuing Penalty (veh)				0		23		
Storage Bay Dist (ft)			90		75		150	
Storage Blk Time (%)			0	4	7	32	0	1
Queuing Penalty (veh)			0	2	26	29	0	1

Intersection: 2: S Old Woodward Ave & Daines St

Movement	EB	NB	SB
Directions Served	LR	LT	TR
Maximum Queue (ft)	31	148	58
Average Queue (ft)	5	38	8
95th Queue (ft)	23	104	37
Link Distance (ft)	465	373	173
Upstream Blk Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk Time (%)			
Queuing Penalty (veh)			

Zone Summary

Zone wide Queuing Penalty: 79



# Queuing and Blocking Report

## 2022 Background Conditions

02/23/2021

### Intersection: 1: S Old Woodward Ave & E Brown St

Movement	EB	EB	WB	WB	NB	NB	SB	SB
Directions Served	LT	TR	L	TR	L	TR	L	TR
Maximum Queue (ft)	201	185	118	224	119	185	112	184
Average Queue (ft)	121	89	29	103	72	115	23	81
95th Queue (ft)	189	161	80	180	125	190	65	157
Link Distance (ft)	488	488		227		173		392
Upstream Blk Time (%)				0		2		
Queuing Penalty (veh)				0		10		
Storage Bay Dist (ft)			90		75		150	
Storage Blk Time (%)			1	12	12	19		1
Queuing Penalty (veh)			3	3	32	26		0

### Intersection: 2: S Old Woodward Ave & Daines St

Movement	EB	NB	SB
Directions Served	LR	LT	TR
Maximum Queue (ft)	31	134	103
Average Queue (ft)	11	29	17
95th Queue (ft)	33	86	63
Link Distance (ft)	465	373	173
Upstream Blk Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk Time (%)			
Queuing Penalty (veh)			

### Zone Summary

Zone wide Queuing Penalty: 75

## Queuing and Blocking Report 2022 Background Conditions

02/23/2021

### Intersection: 1: S Old Woodward Ave & E Brown St

Movement	EB	EB	WB	WB	NB	NB	SB	SB
Directions Served	LT	TR	L	TR	L	TR	L	TR
Maximum Queue (ft)	151	135	78	130	120	185	97	160
Average Queue (ft)	82	44	25	58	68	145	45	91
95th Queue (ft)	131	91	61	111	132	212	88	145
Link Distance (ft)	488	488		227		173		392
Upstream Blk Time (%)						5		
Queuing Penalty (veh)						24		
Storage Bay Dist (ft)			90		75		150	
Storage Blk Time (%)			0	3	7	33		0
Queuing Penalty (veh)			0	1	27	29		0

### Intersection: 2: S Old Woodward Ave & Daines St

Movement	EB	NB	SB
Directions Served	LR	LT	TR
Maximum Queue (ft)	27	156	82
Average Queue (ft)	7	37	10
95th Queue (ft)	25	108	47
Link Distance (ft)	465	373	173
Upstream Blk Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk Time (%)			
Queuing Penalty (veh)			

### Zone Summary

Zone wide Queuing Penalty: 82

# Queuing and Blocking Report

## 2022 Future Conditions

02/23/2021

### Intersection: 1: S Old Woodward Ave & E Brown St

Movement	EB	EB	WB	WB	NB	NB	SB	SB
Directions Served	LT	TR	L	TR	L	TR	L	TR
Maximum Queue (ft)	218	203	113	209	120	186	89	175
Average Queue (ft)	124	91	26	102	80	124	22	78
95th Queue (ft)	196	169	74	180	136	200	65	144
Link Distance (ft)	488	488		227		173		392
Upstream Blk Time (%)				1		4		
Queuing Penalty (veh)				0		16		
Storage Bay Dist (ft)			90		75		150	
Storage Blk Time (%)			0	11	10	24		1
Queuing Penalty (veh)			1	3	28	33		0

### Intersection: 2: S Old Woodward Ave & Daines St

Movement	EB	NB	SB
Directions Served	LR	LT	TR
Maximum Queue (ft)	60	164	92
Average Queue (ft)	17	40	17
95th Queue (ft)	43	110	63
Link Distance (ft)	86	373	173
Upstream Blk Time (%)	0		
Queuing Penalty (veh)	0		
Storage Bay Dist (ft)			
Storage Blk Time (%)			
Queuing Penalty (veh)			

### Intersection: 101: Daines St & Site Driveway

Movement	SB
Directions Served	LR
Maximum Queue (ft)	29
Average Queue (ft)	12
95th Queue (ft)	36
Link Distance (ft)	121
Upstream Blk Time (%)	
Queuing Penalty (veh)	
Storage Bay Dist (ft)	
Storage Blk Time (%)	
Queuing Penalty (veh)	

### Zone Summary

Zone wide Queuing Penalty: 82



# Queuing and Blocking Report

## 2022 Future Conditions

02/23/2021

### Intersection: 1: S Old Woodward Ave & E Brown St

Movement	EB	EB	WB	WB	NB	NB	SB	SB
Directions Served	LT	TR	L	TR	L	TR	L	TR
Maximum Queue (ft)	163	120	124	187	120	186	147	216
Average Queue (ft)	87	47	36	65	63	157	53	104
95th Queue (ft)	145	96	88	133	131	217	111	182
Link Distance (ft)	488	488		227		173		392
Upstream Blk Time (%)				0		10		
Queuing Penalty (veh)				0		47		
Storage Bay Dist (ft)			90		75		150	
Storage Blk Time (%)			1	3	4	38		2
Queuing Penalty (veh)			1	2	17	35		2

### Intersection: 2: S Old Woodward Ave & Daines St

Movement	EB	NB	SB
Directions Served	LR	LT	TR
Maximum Queue (ft)	65	172	122
Average Queue (ft)	21	56	16
95th Queue (ft)	51	142	68
Link Distance (ft)	92	373	173
Upstream Blk Time (%)	1		0
Queuing Penalty (veh)	0		0
Storage Bay Dist (ft)			
Storage Blk Time (%)			
Queuing Penalty (veh)			

### Intersection: 101: Daines St & Site Driveway

Movement	EB	SB
Directions Served	LT	LR
Maximum Queue (ft)	6	35
Average Queue (ft)	0	17
95th Queue (ft)	4	42
Link Distance (ft)	338	131
Upstream Blk Time (%)		
Queuing Penalty (veh)		
Storage Bay Dist (ft)		
Storage Blk Time (%)		
Queuing Penalty (veh)		

### Zone Summary

Zone wide Queuing Penalty: 104

## **CRASH ANALYSIS / UD-10 FORMS**

Page 01 of 01  
File Class 93001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department					Reviewer WALD (00016)				
Crash Date 03/14/2016		Crash Time 07:18	No. of Units 02	Crash Type Angle	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal			Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile			
County 63 - Oakland		Traffic Control Signal		Relation to Roadway On Road		Weather Fog		Area INTR Within Intersection			
City/Twsp 80 - Birmingham		Contributing Circumstances 1st			2nd		Light Dark-Lighted	Road Surface Condition Wet	Total Lanes 03	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type		Workers Present			Activity		Location				

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction AT	<div>Trafficway</div> <div>Not Physically Divided</div>			
	Prefix E	Intersecting Road Name BROWN	Road Type ST	Suffix	Divided Roadway

Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (45)	License Type ● Operator ○ Chauffeur ○ Moped	Endorsements ○ Cycle ○ Farm ○ Recreation	Sex M	Total Occupants 02	Hazardous Action Failed to Yield
Unit Type MV	Driver Information ##### ##### SOUTHFIELD, MI 48076-7733 (###) ###-####			Driver is Owner	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt		
Driver Condition at Time of Crash 1st Appeared Normal				2nd Driver Distracted By		Ejected	Trapped	Airbag Deployed Not Deployed	
Hospital REFUSED					Ambulance REFUSED				
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type ○ Breath   ○ Blood   ○ Urine ○ Field   ○ PBT   ○ Refused   ● Not Offered			Alcohol Test Results ○ Pending   Test Results:		Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type ○ Blood   ○ Urine ○ Field   ○ Refused   ○ Not Offered			Drug Test Results ○ Pending   Test Results:		Citation Issued ● Hazardous ○ Other		
Vehicle Registration #####		State MI	Vehicle Description 2015	Make DODGE	Model JOURNEY			Color BLACK	
VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect	
Insurance Company #####			Insurance Policy # #####		Towed By PRIVATE, FARM BUREAU			Towed To	
Location of Greatest Damage 08		First Impact 08	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction E	Vehicle Use Private		Action Prior Turning Left	
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)		First Second		Third		Fourth			

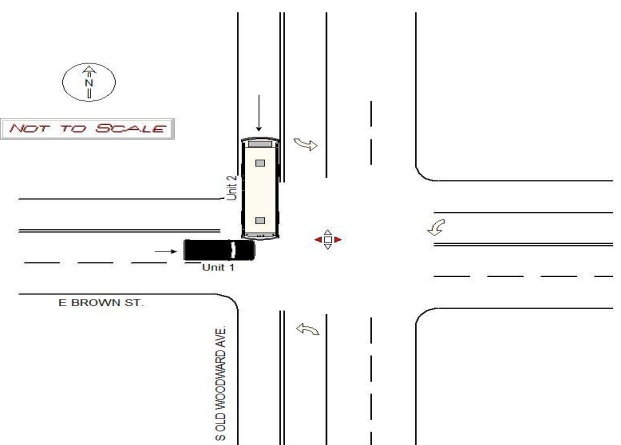
PASSENGERS	Passenger Information ##### ##### (###) ###-####		Date of Birth (Age) ##/##/#### (29)		Sex F	Position Front - Right		Restraint Shoulder and Lap Belt		
			Injury O	Ejected	Trapped	Airbag Deployed Not Equipped				
	Hospital REFUSED					Ambulance REFUSED				
	Passenger Information		Date of Birth (Age)		Sex	Position			Restraint	
			Injury	Ejected	Trapped	Airbag Deployed				
	Hospital					Ambulance				
	Passenger Information		Date of Birth (Age)		Sex	Position			Restraint	
			Injury	Ejected	Trapped	Airbag Deployed				
	Hospital					Ambulance				

TRUCK/BUS	Carrier Information			USDOT		MC		MPSC							
				Driver's CDL Type		Endorsements		CDL Exempt							
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.			Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #		Class #	
<input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X		<input type="radio"/> Farm <input type="radio"/> Other													

OWNERS	Owner Information	Owner Information

Damaged Property	Public	Owner & Phone



UNIT/DRIVER	Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (48)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action None	
	Unit Type MV	Driver Information ##### ##### TROY, MI 48098-4580 (###) ###-####				Driver is Owner <input type="checkbox"/>	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
	Driver Condition at Time of Crash 1st Appeared Normal				Driver Distracted By		Ejected	Trapped	Airbag Deployed Not Deployed		
	Hospital REFUSED					Ambulance REFUSED					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other			
	Vehicle Registration #####		State MI	Vehicle Description Year Make Model Color							
	VIN #####		Vehicle Type Truck / Bus		Special Vehicles Not Applicable	Private Trailer Type		Vehicle Defect			
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To		
	Location of Greatest Damage 02		First Impact 02	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction S	Vehicle Use Commercial (Business)		Action Prior Going Straight Ahead		
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)											
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	TRUCK/BUS	Carrier Information SMART BUS 660 WOODWARD AVE ST 950 DETROIT, MI 48226					USDOT		MC	MPSC	
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input checked="" type="radio"/> Greater than 26,000 lbs.					Vehicle Configuration Bus 16+	Cargo Body Type 97	Medical Card No	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID # Class #		
Owner Information					Owner Information						
Witness Information ##### ##### #####, ## #####-#### (###) ###-####					Witness Information						
INVESTIGATOR	Investigated at Scene Yes	Reported Date (Time) 03/14/2016 (07:18)	1st Investigator Name (Badge) SYTS (66)			2nd Investigator Name (Badge)			Photos No		
	Narrative VEHICLE 2 WAS A SMART BUS TRAVELING S/B ON S OLD WOODWARD PROCEEDING THRU A FLASHING YELLOW LIGHT. VEHICLE 1 WAS TRAVELING E/B ON E BROWN ST. VEHICLE 1 HAD A BLINKING RED LIGHT AT THE INTERSECTION. VEHICLE 1 PROCEED THROUGH THE INTERSECTION ATTEMPTING TO TURN LEFT AND GOT STRUCK ON THE DRIVER-SIDE FRONT. VEHICLE 2 INCURRED MINOR DAMAGE TO THE FRONT RIGHT BUMPER. THE DRIVER OF VEHICLE 1 WAS ISSUED A VIOLATION FOR FAIL TO YIELD RIGHT OF WAY. THE DRIVER OF THE BUS SAID THERE WERE NO INJURIES AND THE FEW PASSENGERS ON BOARD WERE TRANSFERRED TO ANOTHER BUS PRIOR TO MY ARRIVAL.										
Diagram 											

Authority: 1949 PA 300, Sec.257-622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 0655498  
Crash ID 9706838

Page 01 of 01  
File Class 9300-1

Incident #  
160005211

Reviewer  
KEARNEY (00008)

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department										
Crash Date 05/10/2016	Crash Time 13:06	No. of Units 02	Crash Type Angle	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile						
County 63 - Oakland	Traffic Control Signal		Relation to Roadway On Road		Weather Cloudy		Area INTR Within Intersection					
City/Twsp 80 - Birmingham	Contributing Circumstances 1st		2nd		Light Daylight	Road Surface Condition Wet	Total Lanes 04	Speed Limit 25	Posted Yes			
Work Zone (if applicable) Type										Workers Present	Activity	Location

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway	
	Distance / Direction AT					Trafficway Not Physically Divided
	Prefix E	Intersecting Road Name BROWN	Road Type ST	Suffix	Divided Roadway	

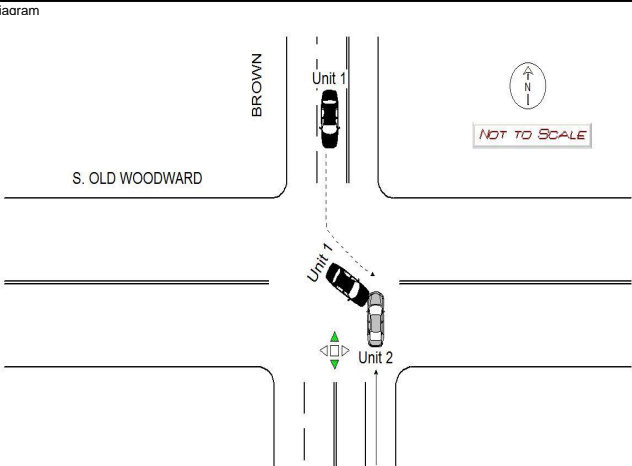
UNIT/DRIVER	Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/##/#### (66)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 01	Hazardous Action Failed to Yield	
	Unit Type MV	Driver Information ##### BLOOMFIELD HILLS, MI 48302-2160 (###) ###-####				Driver is Owner Injury O	Position Front - Left		Restraint Shoulder and Lap Belt		
	Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By		Ejected	Trapped	Airbag Deployed Not Deployed
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results:		Interlock Device No	
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results:		Citation Issued <input checked="" type="radio"/> Hazardous <input type="radio"/> Other	
	Vehicle Registration #####		State MI	Vehicle Description Year 2008		Make CADILLAC	Model CTS	Color BLACK			
	VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect		
	Insurance Company #####			Insurance Policy # #####			Towed By			Towed To	
	Location of Greatest Damage 01		First Impact 01	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Turning Left		
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)											

PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
	Injury				Ejected	Trapped	Airbag Deployed	
	Hospital							Ambulance
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
	Injury				Ejected	Trapped	Airbag Deployed	
	Hospital							Ambulance
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
	Injury				Ejected	Trapped	Airbag Deployed	
	Hospital							Ambulance

TRUCK/BUS	Carrier Information				USDOT		MC	MPSC
	Driver's CDL Type				Endorsements OH OP OT ON OS OX		CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other	
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information				Owner Information			
--------	-------------------	--	--	--	-------------------	--	--	--

Damaged Property				Public	Owner & Phone			
------------------	--	--	--	--------	---------------	--	--	--

UNIT/DRIVER	Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (23)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action None
	Unit Type MV	Driver Information ##### BINGHAM FARMS, MI 48025-4614 (###) ###-####				Driver is Owner <input type="radio"/>	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt
	Driver Condition at Time of Crash 1st Appeared Normal				Driver Distracted By		Ejected	Trapped	Airbag Deployed Not Deployed	
	Hospital NONE					Ambulance NONE				
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results:		Interlock Device No
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other
	Vehicle Registration #####		State MI	Vehicle Description 2007	Year	Make SAAB	Model 9/5	Color GRAY		
	VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect	
	Insurance Company #####			Insurance Policy # #####			Towed By BOB ADAMS		Towed To	
	Location of Greatest Damage 08		First Impact 08	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction W	Vehicle Use Private		Action Prior Going Straight Ahead	
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)										
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
	TRUCK/BUS	Carrier Information				USDOT		MC	MPSC	
				Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other			
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID # Class #	
Owner Information				Owner Information						
Witness Information				Witness Information						
Investigated at Scene Yes				Reported Date (Time) 05/10/2016 (13:06)		1st Investigator Name (Badge) R. KEARNEY (8)		2nd Investigator Name (Badge)		
Photos No										
Narrative UNIT 2 WAS STRAIGHT AHEAD ON W/B BROWN WITH A GREEN LIGHT. UNIT 1 ATTEMPTED TO MAKE A LEFT TURN FROM E/B BROWN ONTO N/B S OLD WOODWARD. UNIT 1 TURNED IN FRONT OF UNIT 2, CAUSING A COLLISION. DRIVER OF UNIT 1 ISSUED FOR FAIL TO YIELD/ACCIDENT. NO INJURIES REPORTED. NO WITNESSES.				Diagram 						



Authority: 1949 PA 300, Sec.257-622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 0665801  
Crash ID 9735747

Page 01 of 01  
File Class 93001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department				Incident # 160006781			
Crash Date 06/13/2016		Crash Time 09:41	No. of Units 02	Crash Type Angle		Special Circumstances <input checked="" type="checkbox"/> None <input type="checkbox"/> Fleeing Police <input type="checkbox"/> Hit and Run <input type="checkbox"/> Unknown <input type="checkbox"/> School Bus <input type="checkbox"/> Animal		Special Checks <input type="checkbox"/> Fatal <input type="checkbox"/> Non-Traffic Area <input type="checkbox"/> ORV/Snowmobile	
County 63 - Oakland		Traffic Control None		Relation to Roadway On Road		Weather Clear		Area NON-FRWY Driveway Related	
City/Twsp 80 - Birmingham		Contributing Circumstances 1st		2nd		Light Daylight		Road Surface Condition Dry	
Work Zone (if applicable) Type		Workers Present		Activity		Location			

LOCATION	Prefix E	Primary Road Name BROWN	Road Type ST	Suffix	Divided Roadway
	Distance / Direction 150 Feet W				
	Trafficway Not Physically Divided				
	Prefix S	Intersecting Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway

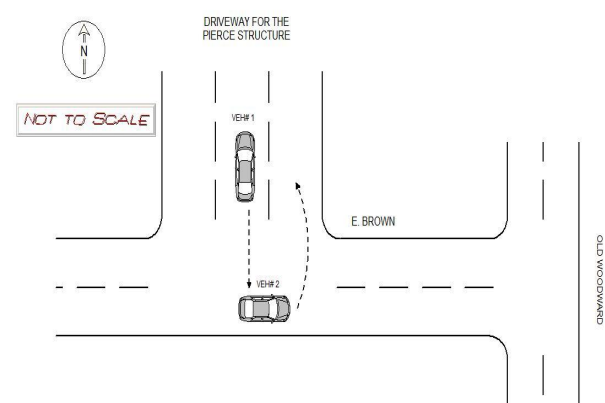
UNIT/DRIVER	Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/##/#### (55)	License Type <input checked="" type="checkbox"/> Operator <input type="checkbox"/> Chauffeur <input type="checkbox"/> Moped	Endorsements <input type="checkbox"/> Cycle <input type="checkbox"/> Farm <input type="checkbox"/> Recreation	Sex M	Total Occupants 01	Hazardous Action Improper Backing
	Unit Type MV	Driver Information ##### ##### BIRMINGHAM, MI 48009-1248 (###) ###-####				Driver is Owner Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
	Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By		Ejected	Trapped
	Hospital NONE				Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="checkbox"/> Breath <input type="checkbox"/> Blood <input type="checkbox"/> Urine <input type="checkbox"/> Field <input type="checkbox"/> PBT <input type="checkbox"/> Refused <input checked="" type="checkbox"/> Not Offered			Alcohol Test Results <input type="checkbox"/> Pending		Test Results: Interlock Device No		
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="checkbox"/> Blood <input type="checkbox"/> Urine <input type="checkbox"/> Field <input type="checkbox"/> Refused <input type="checkbox"/> Not Offered			Drug Test Results <input type="checkbox"/> Pending		Test Results: Citation Issued <input checked="" type="checkbox"/> Hazardous <input checked="" type="checkbox"/> Other		
	Vehicle Registration #####		State MI	Vehicle Description Year 2013		Make FORD	Model EXPLORER		Color BLACK	
	VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect	
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To	
	Location of Greatest Damage 04		First Impact 04	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction S	Vehicle Use Private		Action Prior Backing	
	Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)									

PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
	Injury				Ejected	Trapped	Airbag Deployed	
	Hospital				Ambulance			
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
	Injury				Ejected	Trapped	Airbag Deployed	
	Hospital				Ambulance			
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
	Injury				Ejected	Trapped	Airbag Deployed	
	Hospital				Ambulance			
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
	Injury				Ejected	Trapped	Airbag Deployed	
	Hospital				Ambulance			

TRUCK/BUS	Carrier Information		USDOT		MC	MPSC
	GVWR/GCWR <input type="checkbox"/> 10,000 lbs. or Less <input type="checkbox"/> 10,001 - 26,000 lbs. <input type="checkbox"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card
	Hazardous Material <input type="checkbox"/> Placard <input type="checkbox"/> Cargo Spill		ID #	Class #		

Owner Information	Owner Information
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Damaged Property	Public	Owner & Phone
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UNIT/DRIVER	Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (48)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action None	
	Unit Type MV	Driver Information ##### ##### BIRMINGHAM, MI 48009-1884 (###) ###-####				Driver is Owner <input type="radio"/>	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
	Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By		Ejected <input type="checkbox"/>	Trapped <input type="checkbox"/>	Airbag Deployed Not Deployed
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results:		Interlock Device No	
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other	
	Vehicle Registration #####		State MI	Vehicle Description 2007	Year	Make BMW	Model 650I	Color BLACK			
	VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect		
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To		
	Location of Greatest Damage 06		First Impact 05	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction E	Vehicle Use Private		Action Prior Slowing/Stop on Roadway		
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)											
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	TRUCK/BUS	Carrier Information				USDOT		MC	MPSC		
				Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other				
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID # Class #	
Owner Information				Owner Information							
Witness Information				Witness Information							
Investigated at Scene Yes				Reported Date (Time) 06/13/2016 (09:41)		1st Investigator Name (Badge) LT. RAYMOND FAES (11)		2nd Investigator Name (Badge)		Photos No	
Narrative VEH#1 WAS BACKING FROM THE PIERCE PARKING STRUCTURE DRIVEWAY, WHEN HE BACKED INTO THE REAR LEFT QUARTER PANEL OF VEH#2. NINVEH#2 WAS STOPPED ON BROWN STREET WAITING FOR TRAFFIC TO CLEAR TO PULL INTO THE PARKING STRUCTURE, WHEN HE WAS STRUCK BY VEH#1.				Diagram 							

Authority: 1949 PA 300, Sec.257.622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 0667484  
Crash ID 9738577

Page 01 of 01  
File Class 93001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department				Incident # 160007005			
Crash Date 06/17/2016		Crash Time 22:25	No. of Units 02	Crash Type Rear End		Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile	
County 63 - Oakland		Traffic Control Signal		Relation to Roadway On Road		Weather Clear		Area NON-FRWY Straight Roadway	
City/Twsp 80 - Birmingham		Contributing Circumstances 1st		2nd		Light Dark-Lighted		Road Surface Condition Dry	
Work Zone (if applicable) Type		Workers Present		Activity		Location			

LOCATION	Prefix S		Primary Road Name OLD WOODWARD		Road Type AVE		Suffix Divided Roadway	
	Distance / Direction 25 Feet S		Trafficway Not Physically Divided					
	Prefix E		Intersecting Road Name BROWN		Road Type ST		Suffix Divided Roadway	

UNIT/DRIVER	Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/##/#### (64)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action Unable to Stop
	Unit Type MV	Driver Information ##### DETROIT, MI 48221-1891 (###) ###-####				Driver is Owner Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
	Driver Condition at Time of Crash 1st				2nd		Driver Distracted By		Ejected	Trapped
	Hospital NONE				Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results: Interlock Device No		
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results: Citation Issued <input checked="" type="radio"/> Hazardous <input type="radio"/> Other		
	Vehicle Registration #####		State MI	Vehicle Description 2014		Make FORD	Model 85 A		Color SILVER	
	VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect	
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To	
	Location of Greatest Damage 01		First Impact 01	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Going Straight Ahead	

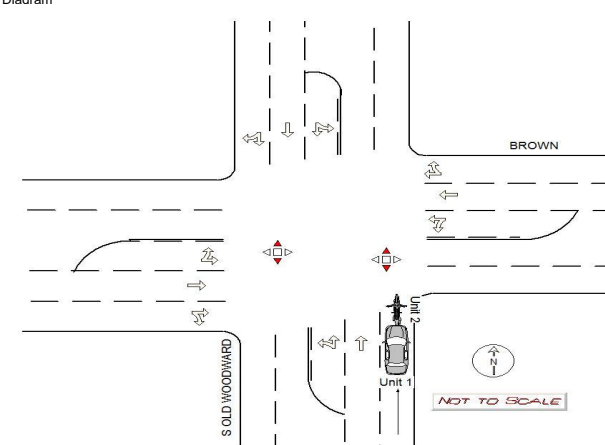
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
	Injury				Ejected	Trapped	Airbag Deployed	
	Hospital				Ambulance			
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
	Injury				Ejected	Trapped	Airbag Deployed	
	Hospital				Ambulance			
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
	Injury				Ejected	Trapped	Airbag Deployed	
	Hospital				Ambulance			

TRUCK/BUS	Carrier Information				USDOT		MC	MPSC
	Driver's CDL Type				Endorsements OH OP OT ON OS OX		CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other	
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information		Owner Information	

Damaged Property	Public	Owner & Phone



UNIT/DRIVER	Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (36)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action None	
	Unit Type MV	Driver Information ##### ##### SOUTHFIELD, MI 48033-2716 (###) ###-####				Driver is Owner <input type="radio"/>	Injury O	Position Front - Left		Restraint Helmet Worn	
	Driver Condition at Time of Crash 1st Appeared Normal				Driver Distracted By		Ejected	Trapped	Airbag Deployed Not Deployed		
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results:		Interlock Device No	
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other	
	Vehicle Registration #####		State MI	Vehicle Description 2016	Year	Make BMW	Model 6 A		Color BLACK		
	VIN #####		Vehicle Type Motorcycle		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect		
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To		
	Location of Greatest Damage 05		First Impact 05	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Stopped on Roadway		
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)											
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	TRUCK/BUS	Carrier Information				USDOT		MC	MPSC		
				Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other				
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #	
Owner Information				Owner Information							
Witness Information				Witness Information							
Investigated at Scene Yes				Reported Date (Time) 06/17/2016 (22:25)		1st Investigator Name (Badge) MANZO (64)		2nd Investigator Name (Badge)		Photos No	
Narrative UNIT 2 WAS TRAVELING N/B ON S OLD WOODWARD. UNIT 2 STOPPED AT BROWN AND S OLD WOODWARD. UNIT 1 WAS TRAVELING N/B ON S OLD WOODWARD BEHIND UNIT 2. THE DRIVER OF UNIT 1 STATED HE GOT DISTRACTED BY INDIVIDUALS ON THE SIDEWALK. UNIT 1 FAILED TO STOP AND STRUCK UNIT 2 IN THE REAR. NO INJURIES. DRIVER OF UNIT 1 CITED FOR FTSWACDA.				Diagram 							

Authority: 1949 PA 300, Sec.257.622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 0667712  
Crash ID 9739219

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File Class 93001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department		Incident # 160007040	
Crash Date 06/18/2016		Crash Time 19:28		No. of Units 02	
Crash Type Sideswipe-Same		Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police		<input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal	
County 63 - Oakland		Traffic Control Signal		Relation to Roadway On Road	
City/Twsp 80 - Birmingham		Contributing Circumstances 1st 2nd		Weather Clear	
Work Zone (if applicable) Type		Workers Present		Activity	
Location		Road Surface Condition Dry		Total Lanes 02	
Speed Limit 25		Posted Yes		Area NON-FRWY Straight Roadway	

Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
Distance / Direction 75 Feet S		Trafficway Not Physically Divided		
Prefix	Intersecting Road Name MERRILL	Road Type	Suffix	Divided Roadway

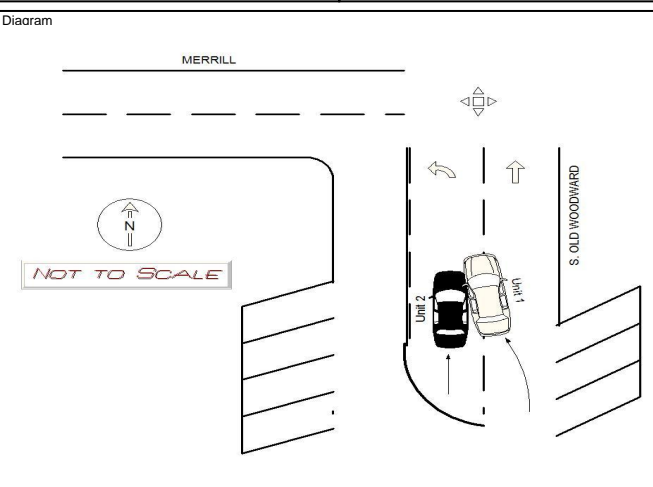
Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/##/#### (21)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 02	Hazardous Action Failed to Yield
Unit Type MV	Driver Information ##### ROCHESTER HILLS, MI 48307-1126 (###) ###-####				Driver is Owner Injury O	Position Front - Left	Restraint Shoulder and Lap Belt		
Driver Condition at Time of Crash 1st Appeared Normal				Driver Distracted By		Ejected	Trapped	Airbag Deployed Not Deployed	
Hospital NONE		Ambulance NONE							
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input checked="" type="radio"/> Hazardous <input type="radio"/> Other		
Vehicle Registration #####		State MI	Vehicle Description 2009	Make FORD	Model FUSION	Color WHITE			
VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect	
Insurance Company #####		Insurance Policy # #####		Towed By		Towed To			
Location of Greatest Damage 07		First Impact 07	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Changing Lanes	
Sequence of Events ● indicates MOST harmful event		First ● 17 - Motor Veh in Transport		Second		Third		Fourth	

Passenger Information ##### FERNDAL, MI 48220-110 (###) ###-####		Date of Birth (Age) ###/##/#### (29)	Sex M	Position Front - Right	Restraint Shoulder and Lap Belt
Hospital NONE		Ambulance NONE			
Passenger Information		Date of Birth (Age)	Sex	Position	Restraint
Injury		Ejected	Trapped	Airbag Deployed	
Hospital		Ambulance			
Passenger Information		Date of Birth (Age)	Sex	Position	Restraint
Injury		Ejected	Trapped	Airbag Deployed	
Hospital		Ambulance			

Carrier Information		USDOT		MC	MPSC
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card
Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #		

Owner Information		Owner Information	
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Damaged Property	Public	Owner & Phone
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UNIT/DRIVER	Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (42)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action None		
	Unit Type MV	Driver Information ##### ##### ROYAL OAK, MI 48073-4415 (###) ###-####				Driver is Owner <input type="radio"/>	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt		
	Driver Condition at Time of Crash 1st Appeared Normal				Driver Distracted By		Ejected	Trapped	Airbag Deployed Not Deployed			
	Hospital NONE					Ambulance NONE						
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending	Test Results:		Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending	Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other			
	Vehicle Registration #####		State MI	Vehicle Description 2014	Make CHEVROLET	Model IMPALA	Color BLACK					
	VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect					
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To			
	Location of Greatest Damage 02		First Impact 02	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Going Straight Ahead			
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)												
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint			
					Injury	Ejected	Trapped	Airbag Deployed				
	Hospital				Ambulance							
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint			
					Injury	Ejected	Trapped	Airbag Deployed				
	Hospital				Ambulance							
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint			
					Injury	Ejected	Trapped	Airbag Deployed				
	Hospital				Ambulance							
	TRUCK/BUS	Carrier Information				USDOT		MC	MPSC			
				Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other					
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #		
Owner Information				Owner Information								
Witness Information				Witness Information								
Investigated at Scene Yes				Reported Date (Time) 06/18/2016 (19:28)		1st Investigator Name (Badge) MANZO (64)		2nd Investigator Name (Badge)		Photos No		
Narrative UNIT 1 AND UNIT 2 WERE TRAVELING N/B ON S. OLD WOODWARD NEAR MERRILL. UNIT 2 GOT INTO THE LEFT TURN LANE AND CONTINUED FORWARD. UNIT 1 CUT OVER INTO THE TURN LANE LATE AND STRUCK UNIT 2. NO INJURIES. DRIVER OF UNIT 1 CITED FOR FAILURE TO YIELD.				Diagram 								



Authority: 1949 PA 300, Sec.257-622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External #  
0671248

Crash ID  
9756027

Page 01 of 01  
File Class 93001

Incident #  
160007564

Reviewer  
KEARNEY (00008)

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department										
Crash Date 07/01/2016	Crash Time 00:02	No. of Units 02	Crash Type Rear End	Special Circumstances <input checked="" type="checkbox"/> None <input type="checkbox"/> Fleeing Police <input type="checkbox"/> Hit and Run <input type="checkbox"/> Unknown <input type="checkbox"/> School Bus <input type="checkbox"/> Animal		Special Checks <input type="checkbox"/> Fatal <input type="checkbox"/> Non-Traffic Area <input type="checkbox"/> ORV/Snowmobile						
County 63 - Oakland	Traffic Control Signal		Relation to Roadway On Road		Weather Clear		Area NON-FRWY Straight Roadway					
City/Twsp 80 - Birmingham	Contributing Circumstances 1st		2nd		Light Dark-Unlighted	Road Surface Condition Dry	Total Lanes 03	Speed Limit 25	Posted Yes			
Work Zone (if applicable) Type										Workers Present	Activity	Location

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway	
	Distance / Direction 10 Feet N					Trafficway Not Physically Divided
	Prefix E	Intersecting Road Name BROWN	Road Type ST	Suffix	Divided Roadway	

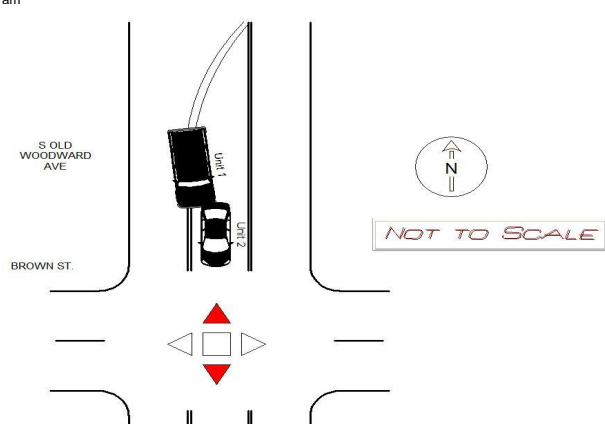
UNIT/DRIVER	Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (26)	License Type <input checked="" type="checkbox"/> Operator <input type="checkbox"/> Chauffeur <input type="checkbox"/> Moped	Endorsements <input type="checkbox"/> Cycle <input type="checkbox"/> Farm <input type="checkbox"/> Recreation	Sex M	Total Occupants 01	Hazardous Action Unable to Stop	
	Unit Type MV	Driver Information ##### ##### ROYAL OAK, MI 48073-4314 (###) ###-####				Driver is Owner Injury O	Position Front - Left		Restraint Shoulder and Lap Belt		
	Driver Condition at Time of Crash 1st				2nd		Driver Distracted By		Ejected	Trapped	Airbag Deployed Not Deployed
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected Yes	Contributing Factor Yes	Alcohol Test Type <input type="checkbox"/> Breath <input checked="" type="checkbox"/> Field <input type="checkbox"/> Blood <input checked="" type="checkbox"/> PBT <input type="checkbox"/> Urine <input type="checkbox"/> Refused <input type="checkbox"/> Not Offered			Alcohol Test Results <input type="checkbox"/> Pending Test Results: .04		Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="checkbox"/> Blood <input type="checkbox"/> Field <input type="checkbox"/> Urine <input type="checkbox"/> Refused <input type="checkbox"/> Not Offered			Drug Test Results <input type="checkbox"/> Pending Test Results:		Citation Issued <input checked="" type="checkbox"/> Hazardous <input type="checkbox"/> Other			
	Vehicle Registration #####		State MI	Vehicle Description Year 2015		Make CHEVROLET	Model TRAX	Color BLACK			
	VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type	Vehicle Defect			
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To		
	Location of Greatest Damage 08		First Impact 08	Extent of Damage (Power Unit and/or Trailers) Disabling Damage		Vehicle Direction S	Vehicle Use Private		Action Prior Going Straight Ahead		
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)											

PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
	Injury				Ejected	Trapped	Airbag Deployed	
	Hospital							Ambulance
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
	Injury				Ejected	Trapped	Airbag Deployed	
	Hospital							Ambulance
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
	Injury				Ejected	Trapped	Airbag Deployed	
	Hospital							Ambulance

TRUCK/BUS	Carrier Information				USDOT	MC	MPSC
	Driver's CDL Type				Endorsements OH OP OT ON OS OX	CDL Exempt <input type="checkbox"/> Farm <input type="checkbox"/> Other	
	GVWR/GCWR <input type="checkbox"/> 10,000 lbs. or Less <input type="checkbox"/> 10,001 - 26,000 lbs. <input type="checkbox"/> Greater than 26,000 lbs.	Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="checkbox"/> Placard <input type="checkbox"/> Cargo Spill	ID #

OWNERS	Owner Information				Owner Information			

Damaged Property	Public	Owner & Phone

UNIT/DRIVER	Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (26)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 01	Hazardous Action None	
	Unit Type MV	Driver Information ##### ##### ROCHESTER, MI 48307-6062 (###) ###-####				Driver is Owner <input type="checkbox"/>	Injury C	Position Front - Left		Restraint Shoulder and Lap Belt	
	Driver Condition at Time of Crash 1st 2nd				Driver Distracted By		Ejected <input type="checkbox"/>	Trapped <input type="checkbox"/>	Airbag Deployed Not Deployed		
	Hospital REFUSED					Ambulance BIRMINGHAM FIRE DEPT					
	Alcohol Suspected Yes	Contributing Factor Yes	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Field <input type="radio"/> Blood <input checked="" type="radio"/> PBT <input type="radio"/> Urine <input type="radio"/> Refused <input type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending	Test Results: .02		Interlock Device No		
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Field <input type="radio"/> Urine <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending	Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
	Vehicle Registration #####		State MI	Vehicle Description Year 2009	Make VOLKSWAGEN	Model JETTA	Color BLACK				
	VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect				
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To		
	Location of Greatest Damage 04		First Impact 04	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction S	Vehicle Use Private		Action Prior Stopped on Roadway		
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)											
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
TRUCK/BUS	Carrier Information				USDOT		MC	MPSC			
					Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other			
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #
	Owner Information				Owner Information						
	Witness Information				Witness Information						
Investigated at Scene Yes		Reported Date (Time) 07/01/2016 (00:02)		1st Investigator Name (Badge) ISEID (61)		2nd Investigator Name (Badge)		Photos No			
Narrative UNIT TWO WAS STOPPED FOR THE RED LIGHT, S/B OLD WOODWARD AND BROWN, IN THE LEFT TURN ONLY LANE. UNIT ONE DRIVER STATED HE WAS REACHING FOR HIS PHONE WHEN HE WAS GOING S/B ON OLD WOODWARD JUST NORTH OF BROWN. UNIT ONE DRIVER STATED HE SWERVED TO THE LEFT AND REAR ENDED UNIT TWO. I PERFORMED SFST ON UNIT ONE DRIVER, HIS SOBRIETIES WERE OKAY. PBT WAS .048% BAC\NNUNIT ONE DRIVER WAS ISSUED A CITATION FOR FAILING TO STOP WITHIN ASSURED CLEAR DISTANCE AHEAD. UNIT TWO DRIVER WAS SEEN BY BIFD, REFUSED TO BE TRANSPORTED TO THE HOSPITAL.					Diagram 						

Page 01 of 01  
File Class 93001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department					Reviewer KEARNEY (00008)				
Crash Date 07/27/2016	Crash Time 16:05	No. of Units 02	Crash Type Other	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeting Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile					
County 63 - Oakland		Traffic Control None		Relation to Roadway On Road		Weather Clear		Area NON-FRWY Legal Parking			
City/Twsp 80 - Birmingham		Contributing Circumstances 1st			2nd Daylight		Road Surface Condition Dry		Total Lanes 02	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type											
Workers Present				Activity				Location			

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 125 Feet S		Trafficway Not Physically Divided		
	Prefix	Intersecting Road Name MERRILL	Road Type	Suffix	Divided Roadway

Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (50)	License Type ● Operator ○ Chauffeur ○ Moped	Endorsements ○ Cycle ○ Farm ○ Recreation	Sex M	Total Occupants 02	Hazardous Action Other
Unit Type MV	Driver Information ##### ##### BIRMINGHAM, MI 48009-1777 (###) ###-####			Driver is Owner	Injury C	Position Front - Left		Restraint Shoulder and Lap Belt	
Driver Condition at Time of Crash 1st Appeared Normal				Driver Distracted By			Ejected	Trapped	Airbag Deployed Not Deployed
Hospital REFUSED					Ambulance REFUSED				
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type ○ Breath    ○ Blood    ○ Urine ○ Field    ○ PBT    ○ Refused    ● Not Offered			Alcohol Test Results ○ Pending    Test Results:		Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type ○ Blood    ○ Urine ○ Field    ○ Refused    ○ Not Offered			Drug Test Results ○ Pending    Test Results:		Citation Issued ● Hazardous ○ Other		
Vehicle Registration #####		State MI	Vehicle Description 1999	Make BMW	Model		Color SILVER		
VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect	
Insurance Company #####			Insurance Policy # #####			Towed By		Towed To	
Location of Greatest Damage 02		First Impact 08	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction S	Vehicle Use Private		Action Prior Entering Parking	
Sequence of Events (● indicates MOST harmful event)		First 18 - Parked Motor Vehicle		Second 34 - Curb		Third ● 41 - Building		Fourth	

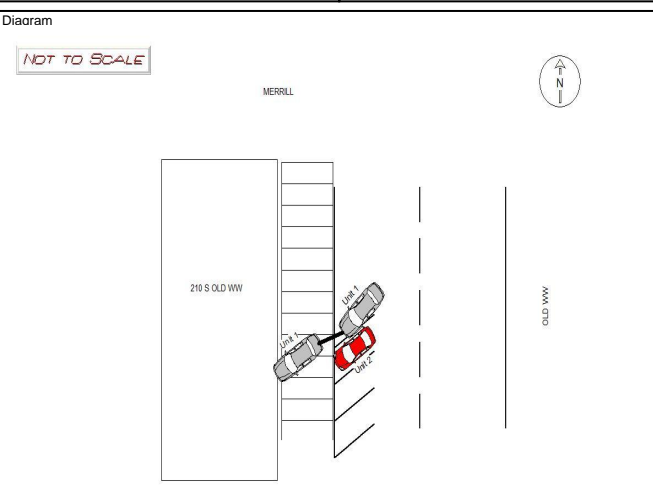
PASSENGERS	Passenger Information ##### ##### BIRMINGHAM, MI 48009-177 (###) ###-####		Date of Birth (Age) ##/##/#### (16)		Sex M	Position Front - Right		Restraint Shoulder and Lap Belt	
			Injury O	Ejected	Trapped	Airbag Deployed Not Equipped			
	Hospital NONE				Ambulance NONE				
	Passenger Information		Date of Birth (Age)		Sex	Position		Restraint	
			Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance				
	Passenger Information		Date of Birth (Age)		Sex	Position		Restraint	
			Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance				

TRUCK/BUS	Carrier Information			USDOT		MC		MPSC							
				Driver's CDL Type		Endorsements		CDL Exempt							
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.			Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #		Class #	
<input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X		<input type="radio"/> Farm <input type="radio"/> Other													

OWNERS	Owner Information	Owner Information

Damaged Property 210 S OLD WOODWARD	Public No	Owner & Phone ##### (###) ###-####
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UNIT/DRIVER	Unit Number 02	Unit Known No	State Driver License Number #####	Date of Birth (Age) ##/##/####	License Type <input type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	Total Occupants 00	Hazardous Action	
	Unit Type MV	Driver Information ##### ##### (###) ###-####			Driver is Owner	Injury	Position	Restraint Restraint Use Unknown		
	Driver Condition at Time of Crash 1st 2nd			Driver Distracted By			Ejected	Trapped	Airbag Deployed Not Equipped	
	Hospital NONE				Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input type="radio"/> Not Offered		Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered		Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other			
	Vehicle Registration #####		State MI	Vehicle Description Year 2009	Make PONTIAC	Model VIBE	Color RED			
	VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect			
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To	
	Location of Greatest Damage 03		First Impact 03	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction S	Vehicle Use Private		Action Prior Parked	
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)										
PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position		Restraint		
				Injury	Ejected	Trapped	Airbag Deployed			
	Hospital			Ambulance						
	Passenger Information			Date of Birth (Age)	Sex	Position		Restraint		
				Injury	Ejected	Trapped	Airbag Deployed			
	Hospital			Ambulance						
	Passenger Information			Date of Birth (Age)	Sex	Position		Restraint		
				Injury	Ejected	Trapped	Airbag Deployed			
	Hospital			Ambulance						
	TRUCK/BUS	Carrier Information			USDOT		MC	MPSC		
			Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other				
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #		
OWNERS	Owner Information			Owner Information						
WITNESS	Witness Information			Witness Information						
Investigated at Scene Yes		Reported Date (Time) 07/27/2016 (16:05)	1st Investigator Name (Badge) JEWELL (30)		2nd Investigator Name (Badge)		Photos No			
Narrative DRIVER OF VEHICLE 1 STATED HE ATTEMPTED TO PARK AT THE YELLOW CURB FOR A MOMENT WHEN HE FORGOT TO PUT THE VEHICLE IN PARK. THE VEHICLE STRUCK A PARKED CAR, WENT OVER THE CURB, STRUCK A FLOWER POT, AND THEN THE BUILDING.				Diagram NOT TO SCALE 						

Authority: 1949 PA 300, Sec.257-622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 0681420  
Crash ID 9778371

Page 01 of 01  
File Class 93001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department				Incident # 160009015			
Crash Date 08/05/2016		Crash Time 16:11	No. of Units 02	Crash Type Sideswipe-Same	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile		
County 63 - Oakland		Traffic Control None		Relation to Roadway On Road		Weather Clear		Area NON-FRWY Straight Roadway	
City/Twsp 80 - Birmingham		Contributing Circumstances 1st		2nd		Light Daylight		Road Surface Condition Dry	
Work Zone (if applicable) Type		Workers Present		Activity		Location			

LOCATION	Prefix S		Primary Road Name OLD WOODWARD		Road Type AVE		Suffix Divided Roadway	
	Distance / Direction 50 Feet S				Trafficway Not Physically Divided			
	Prefix E		Intersecting Road Name BROWN		Road Type ST		Suffix Divided Roadway	

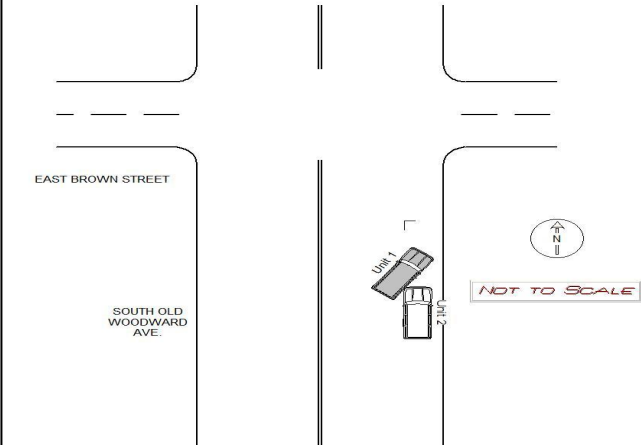
UNIT/DRIVER	Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/##/#### (48)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 01	Hazardous Action Other	
	Unit Type MV	Driver Information ##### BLOOMFIELD HILLS, MI 48301-3416 (###) ###-####				Driver is Owner Injury O	Position Front - Left		Restraint Shoulder and Lap Belt		
	Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By		Ejected	Trapped	
	Hospital NONE				Ambulance NONE						
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results:		Interlock Device No	
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other	
	Vehicle Registration #####		State MI	Vehicle Description 2013		Make CHEVROLET	Model TAHOE K1500		Color		
	VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect		
	Insurance Company #####			Insurance Policy # #####			Towed By			Towed To	
	Location of Greatest Damage 03		First Impact 03	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Turning Right		

PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
	Injury				Ejected	Trapped	Airbag Deployed	
	Hospital				Ambulance			
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
	Injury				Ejected	Trapped	Airbag Deployed	
	Hospital				Ambulance			
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
	Injury				Ejected	Trapped	Airbag Deployed	
	Hospital				Ambulance			
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint

TRUCK/BUS	Carrier Information				USDOT		MC	MPSC
	Driver's CDL Type				Endorsements OH OP OT ON OS OX		CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other	
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information		Owner Information	

Damaged Property	Public	Owner & Phone

UNIT/DRIVER	Unit Number 02	Unit Known No	State Driver License Number #####		Date of Birth (Age) ##/##/####	License Type <input type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	Total Occupants 00	Hazardous Action
	Unit Type MV	Driver Information ##### ##### (###) ###-####				Driver is Owner	Injury	Position		Restraint Restraint Use Unknown
	Driver Condition at Time of Crash 1st 2nd				Driver Distracted By		Ejected	Trapped	Airbag Deployed Not Equipped	
	Hospital NONE					Ambulance NONE				
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending	Test Results:		Interlock Device No	
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending	Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other	
	Vehicle Registration #####		State MI	Vehicle Description 2015	Year	Make GMC	Model TERRAIN		Color WHITE	
	VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect	
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To	
	Location of Greatest Damage 08		First Impact 08	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Parked	
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)										
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
TRUCK/BUS	Carrier Information				USDOT		MC	MPSC		
					Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other		
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.				Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #	Class #
OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information					
	Witness Information					Witness Information				
WITNESS	Investigated at Scene Yes				Reported Date (Time) 08/05/2016 (16:11)		1st Investigator Name (Badge) ISEID (61)		2nd Investigator Name (Badge)	
									Photos No	
Narrative UNIT TWO WAS PARKED OFF OF SOUTH OLD WOODWARD. UNIT ONE WAS ATTEMPTED TO PARK IN A PARKING SPOT IN FRONT OF UNIT TWO. UNIT ONE SIDE SWIPED UNIT TWO. VERY MINOR DAMAGE. WNNREPORT OF INSURANCE PURPOSES ONLY					Diagram 					



# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department							Reviewer WALD (00016)			
Crash Date 11/12/2016		Crash Time 12:47	No. of Units 02	Crash Type Rear End		Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Hit and Run <input type="radio"/> School Bus <input type="radio"/> Fleeing Police <input type="radio"/> Unknown <input type="radio"/> Animal			Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile			
County 63 - Oakland		Traffic Control None			Relation to Roadway On the Road		Weather Clear		Area NON-FRWY Straight Roadway			
City/Twsp 80 - Birmingham		Contributing Circumstances 1st None                                  2nd				Light Daylight		Road Surface Condition Dry		Total Lanes 02	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type                                  Workers Present                                  Activity                                  Location												

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 20 Feet S		Trafficway Not Physically Divided		
	Prefix E	Intersecting Road Name BROWN	Road Type ST	Suffix	Divided Roadway

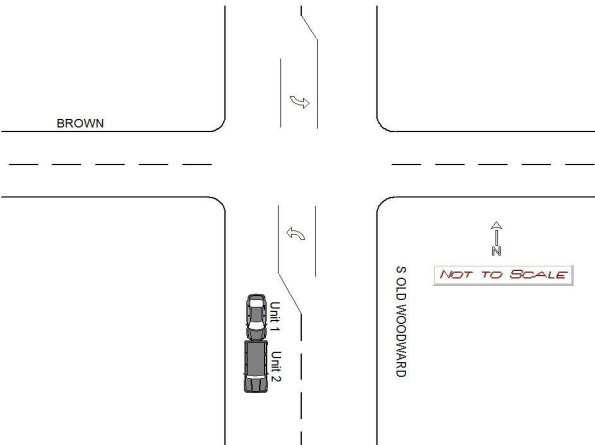
Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/##/#### (44)	License Type ● Operator ○ Chauffeur ○ Moped	Endorsements ○ Cycle ○ Farm ○ Recreation	Sex M	Total Occupants 01	Hazardous Action Unable to Stop
Unit Type MV	Driver Information ##### ##### CLARKSTON, MI 48346-4813 (###) ###-####			Driver is Owner Yes	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt		
Driver Condition at Time of Crash 1st Appeared Normal				Driver Distracted By Not Distracted			Ejected	Trapped	Airbag Deployed Not Deployed
Hospital NONE					Ambulance NONE				
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type ○ Breath    ○ Blood    ○ Urine ○ Field    ○ PBT    ○ Refused    ● Not Offered			Alcohol Test Results ○ Pending    Test Results:		Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type ○ Blood    ○ Urine ○ Field    ○ Refused    ● Not Offered			Drug Test Results ○ Pending    Test Results:		Citation Issued ● Hazardous ○ Other		
Vehicle Registration #####		State MI	Vehicle Description Year    Make 2014    HONDA	Model ACCORD			Color GRAY		
VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect	
Insurance Company #####			Insurance Policy # #####			Towed By		Towed To	
Location of Greatest Damage 01	First Impact 01	Extent of Damage (Power Unit and/or Trailers) Functional Damage		Vehicle Direction S	Vehicle Use Private			Action Prior Going Straight Ahead	
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)		First Second		Third			Fourth		

PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
				Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance		
	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
				Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance		
	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
				Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance		
	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
				Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance		

TRUCK/BUS	Carrier Information			USDOT		MC		MPSC							
				Driver's CDL Type		Endorsements		CDL Exempt							
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.			Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #		Class #	
<input type="radio"/> Farm <input type="radio"/> Other															

OWNERS	Owner Information	Owner Information
	##### ##### #####, ## #####-#### (###) ###-####	

Damaged Property	Public	Owner & Phone
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UNIT/DRIVER	Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (46)	License Type ● Operator ○ Chauffeur ○ Moped	Endorsements ○ Cycle ○ Farm ○ Recreation	Sex M	Total Occupants 01	Hazardous Action None	
	Unit Type MV	Driver Information ##### ##### WARREN, MI 48089-1778 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
	Driver Condition at Time of Crash 1st Appeared Normal				Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed		
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type ○ Breath   ○ Blood   ○ Urine ○ Field   ○ PBT   ○ Refused   ● Not Offered			Alcohol Test Results ○ Pending	Test Results:		Interlock Device No		
	Drug Suspected No	Contributing Factor No	Drug Test Type ○ Blood   ○ Urine ○ Field   ○ Refused   ● Not Offered			Drug Test Results ○ Pending	Test Results:		Citation Issued ○ Hazardous ○ Other		
	Vehicle Registration #####		State MI	Vehicle Description 2016	Year	Make TOYOTA	Model 8 A	Color GRAY			
	VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect		
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To		
	Location of Greatest Damage 05		First Impact 05	Extent of Damage (Power Unit and/or Trailers) Functional Damage		Vehicle Direction S	Vehicle Use Private		Action Prior Going Straight Ahead		
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)											
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
TRUCK/BUS	Carrier Information				USDOT		MC	MPSC			
					Driver's CDL Type		Endorsements ○ H   ○ P   ○ T ○ N   ○ S   ○ X	CDL Exempt ○ Farm ○ Other			
GVWR/GCWR ○ 10,000 lbs. or Less   ○ 10,001 - 26,000 lbs.   ○ Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material ○ Placard   ○ Cargo Spill		ID # Class #	
OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information						
WITNESS	Witness Information				Witness Information						
Investigated at Scene Yes		Reported Date (Time) 11/12/2016 (12:47)		1st Investigator Name (Badge) BOUCHARD (72)		2nd Investigator Name (Badge)		Photos No			
Narrative VEHICLES 1 AND 2 WERE TRAVELING S/B S OLD WOODWARD JUST SOUTH OF BROWN. VEHICLE 1 WAS TRAVELING FASTER THAN THE RATE OF TRAFFIC FLOW, FAILED TO STOP WITHIN THE ASSURED DISTANCE AND STRUCK VEHICLE 2.					Diagram 						

Authority: 1949 PA 300, Sec.257 622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External #  
0730643

Crash ID  
9890771

Page 01 of 01  
File Class 93001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department				Incident # 160013627			
Crash Date 11/28/2016		Crash Time 06:10	No. of Units 02	Crash Type Angle		Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeting Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile	
County 63 - Oakland		Traffic Control Signal		Relation to Roadway On the Road		Weather Clear		Area INTR Within Intersection	
City/Twsp 80 - Birmingham		Contributing Circumstances 1st None		2nd		Light Dark-Lighted		Road Surface Condition Dry	
Work Zone (if applicable) Type		Workers Present		Activity		Location			

LOCATION	Prefix E		Primary Road Name BROWN		Road Type ST		Suffix		Divided Roadway	
	Distance / Direction 15 Feet W		Trafficway Not Physically Divided							
	Prefix S		Intersecting Road Name OLD WOODWARD		Road Type AVE		Suffix		Divided Roadway	

UNIT/DRIVER	Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/##/#### (33)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 03	Hazardous Action Improper Turn	
	Unit Type MV	Driver Information ##### ##### KEEGO HARBOR, MI 48320-1440 (###) ###-####				Driver is Owner No	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
	Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Other Activity Inside Veh		Ejected	Trapped	
	Hospital NONE				Ambulance NONE						
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results: Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results: Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other			
	Vehicle Registration #####		State MI	Vehicle Description 2011		Make INTERNATIONAL	Model 4300SBALP4X2		Color RED		
	VIN #####		Vehicle Type Other		Special Vehicles Ambulance		Private Trailer Type		Vehicle Defect		
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To		
	Location of Greatest Damage 03		First Impact 03	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction S	Vehicle Use Commercial (Business)		Action Prior Turning Right		

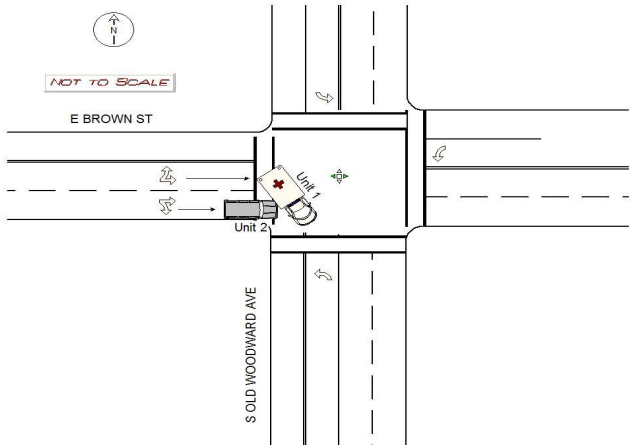
PASSENGERS	Passenger Information ##### ##### (###) ###-####				Date of Birth (Age) ###/##/#### (29)	Sex M	Position Other Enclosed Passenger	Restraint Restraint Use Unknown		
	Injury O				Ejected	Trapped	Airbag Deployed Not Equipped			
	Hospital NONE				Ambulance NONE					
	Passenger Information ##### ##### BIRMINGHAM, FM 48009 (###) ###-####				Date of Birth (Age) ###/##/#### (98)	Sex F	Position Other Enclosed Passenger	Restraint Restraint Use Unknown		
	Injury O				Ejected	Trapped	Airbag Deployed Not Equipped			
	Hospital NONE				Ambulance NONE					
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint		
	Injury				Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance					

TRUCK/BUS	Carrier Information				USDOT		MC	MPSC	
	Driver's CDL Type				Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X		CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other		
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill

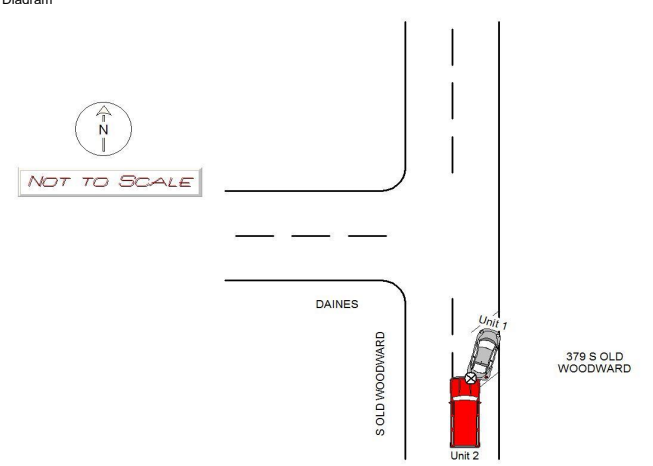
OWNERS	Owner Information				Owner Information			

Damaged Property		Public	Owner & Phone



UNIT/DRIVER	Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (46)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 01	Hazardous Action None	
	Unit Type MV	Driver Information ##### ##### BIRMINGHAM, MI 48009-1657 (###) ###-####				Driver is Owner No	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
	Driver Condition at Time of Crash 1st Appeared Normal				Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed		
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results O Pending	Test Results:		Interlock Device No		
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results O Pending	Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
	Vehicle Registration #####	State MI	Vehicle Description Year 2013	Make HONDA	Model CR-V	Color GRAY					
	VIN #####	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect					
	Insurance Company #####		Insurance Policy # #####		Towed By BOB ADAMS TOWING			Towed To			
	Location of Greatest Damage 01	First Impact 08	Extent of Damage (Power Unit and/or Trailers) Disabling Damage		Vehicle Direction E	Vehicle Use Private		Action Prior Going Straight Ahead			
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)											
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	TRUCK/BUS	Carrier Information				USDOT		MC	MPSC		
				Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other				
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #		
Owner Information				Owner Information							
Witness Information				Witness Information							
Investigated at Scene Yes				Reported Date (Time) 11/28/2016 (06:10)		1st Investigator Name (Badge) SYTS (66)		2nd Investigator Name (Badge)		Photos No	
Narrative BOTH VEHICLES WERE TRAVELING E/B ON E BROWN ST. \N\nVEHICLE 1 WAS AN AMBULANCE TRAVELING IN THE MIDDLE LANE. THE AMBULANCE WAS NOT RUNNING WITH LIGHTS AND SIRENS AND ATTEMPTED TO MAKE A RIGHT TURN FROM THE WRONG LANE. \N\nVEHICLE 2 WAS TRAVELING E/B IN THE CURB LANE. THE VEHICLE WAS GOING STRAIGHT THRU THE INTERSECTION WHEN STRUCK BY VEHICLE 1. \N\nVEHICLE 1 MADE THE IMPROPER RIGHT TURN STRIKING VEHICLE 2. \N\nVEHICLE 1 INCURRED DAMAGE ON THE MIDDLE OF THE PASSENGER SIDE. \N\nVEHICLE 2 INCURRED HEAVY DAMAGE ON THE FRONT BUMPER/GRILL AREA.											
Diagram 											

Authority: 1949 PA 300, Sec.257.622 Compliance: Required MSP UD-10E Penalty: \$100 and/or 90 days (Rev 01/2016)				External # 0765982				Crash ID 1003969				Page 01 of 01 File Class 93001							
STATE OF MICHIGAN TRAFFIC CRASH REPORT												Incident # 170003095							
ORI MI 6325900				Department Name Birmingham Police Department								Reviewer SPRINGER (00051)							
Crash Date 03/26/2017		Crash Time 12:33		No. of Units 02		Crash Type Backing		Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal				Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile							
County 63 - Oakland		Traffic Control None				Relation to Roadway On the Road		Weather Rain		Area NON-FRWY Straight Roadway									
City/Twsp 80 - Birmingham		Contributing Circumstances 1st None				2nd		Light Daylight		Road Surface Condition Wet		Total Lanes 02		Speed Limit 25		Posted Yes			
Work Zone (if applicable) Type Workers Present Activity Location																			
LOCATION																			
Prefix S OLD WOODWARD				Road Type				Suffix				Divided Roadway							
Distance / Direction 20 Feet S				Trafficway Not Physically Divided															
Prefix DAINES				Road Type				Suffix				Divided Roadway							
UNIT/DRIVER																			
Unit Number 01		Unit Known Yes		State MI		Driver License Number #####		Date of Birth (Age) ###/##/#### (19)		License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped		Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation		Sex F		Total Occupants 01		Hazardous Action Improper Backing	
Unit Type MV		Driver Information ##### ##### ROYAL OAK, MI 48067-1128 (###) ###-####						Driver is Owner No		Injury O		Position Front - Left		Restraint Shoulder and Lap Belt					
Driver Condition at Time of Crash 1st Appeared Normal						2nd						Driver Distracted By Not Distracted		Ejected		Trapped		Airbag Deployed Not Deployed	
Hospital NONE				Ambulance NONE															
Alcohol Suspected No		Contributing Factor No		Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered				Alcohol Test Results <input type="radio"/> Pending				Test Results:		Interlock Device No					
Drug Suspected No		Contributing Factor No		Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered				Drug Test Results <input type="radio"/> Pending				Test Results:		Citation Issued <input checked="" type="radio"/> Hazardous <input type="radio"/> Other					
Vehicle Registration #####		State MI		Vehicle Description 2008		Make SMART		Model FORTWO				Color SILVER							
VIN #####		Vehicle Type Passenger Car, SUV, Van				Special Vehicles Not Applicable				Private Trailer Type				Vehicle Defect					
Insurance Company #####				Insurance Policy # #####				Towed By				Towed To							
Location of Greatest Damage 06		First Impact 06		Extent of Damage (Power Unit and/or Trailers) Minor Damage				Vehicle Direction N		Vehicle Use Private				Action Prior Backing					
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)																			
PASSENGERS																			
Passenger Information								Date of Birth (Age)		Sex		Position		Restraint					
Injury				Ejected		Trapped		Airbag Deployed											
Hospital								Ambulance											
Passenger Information								Date of Birth (Age)		Sex		Position		Restraint					
Injury				Ejected		Trapped		Airbag Deployed											
Hospital								Ambulance											
Passenger Information								Date of Birth (Age)		Sex		Position		Restraint					
Injury				Ejected		Trapped		Airbag Deployed											
Hospital								Ambulance											
TRUCK/BUS																			
Carrier Information								USDOT				MC		MPSC					
Driver's CDL Type								Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X				CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other							
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.				Vehicle Configuration				Cargo Body Type		Medical Card		Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #		Class #			
OWNERS																			
Owner Information ##### ##### #####, ## #####-#### (###) ###-####								Owner Information											
Damaged Property								Public		Owner & Phone									

UNIT/DRIVER	Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/##/#### (81)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 01	Hazardous Action None		
	Unit Type MV	Driver Information ##### BLOOMFIELD HILLS, MI 48304-5141 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt		
	Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed	
	Hospital NONE					Ambulance NONE						
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results O Pending		Test Results:		Interlock Device No		
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results O Pending		Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
	Vehicle Registration #####		State MI	Vehicle Description 2009	Year	Make FORD	Model ESCAPE		Color RED			
	VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect			
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To			
	Location of Greatest Damage 02		First Impact 02	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Going Straight Ahead			
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)												
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint			
					Injury	Ejected	Trapped	Airbag Deployed				
	Hospital				Ambulance							
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint			
					Injury	Ejected	Trapped	Airbag Deployed				
	Hospital				Ambulance							
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint			
					Injury	Ejected	Trapped	Airbag Deployed				
	Hospital				Ambulance							
	TRUCK/BUS	Carrier Information				USDOT		MC	MPSC			
				Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other					
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #	
Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information								
Witness Information				Witness Information								
Investigated at Scene Yes				Reported Date (Time) 03/26/2017 (12:33)		1st Investigator Name (Badge) HILL (68)		2nd Investigator Name (Badge)		Photos No		
Narrative UNIT 2 WAS TRAVELING NORTH ON SOUTH OLD WOODWARD NEAR DAINES. UNIT 2 WAS THEN STRUCK BY UNIT 1 WHILE UNIT 1 WAS BACKING FROM A PARKING SPACE IN FRONT OF 379 S OLD WOODWARD. THERE WAS MINOR DAMAGE TO THE REAR OF UNIT 1 AND FRONT OF UNIT 2. UNIT 1 WAS CITED FOR UNSAFE/IMPROPER BACKING CAUSING AN ACCIDENT.				Diagram 								



Authority: 1949 PA 300, Sec.257 622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External #  
0785737

Crash ID  
1062720

Page 01 of 01  
File Class PDA

Incident #  
170006075

Reviewer  
WEBB (00020)

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department							
Crash Date 06/04/2017	Crash Time 00:18	No. of Units 02	Crash Type Sideswipe-Same	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile			
County 63 - Oakland	Traffic Control Signal	Relation to Roadway On the Road		Weather Clear		Area NON-FRWY Straight Roadway			
City/Twsp 80 - Birmingham	Contributing Circumstances 1st Unknown		2nd		Light Dark-Lighted	Road Surface Condition Dry	Total Lanes 03	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type Workers Present Activity Location									

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 20 Feet S				
	Trafficway Not Physically Divided				
	Prefix E	Intersecting Road Name MERRILL	Road Type ST	Suffix	Divided Roadway

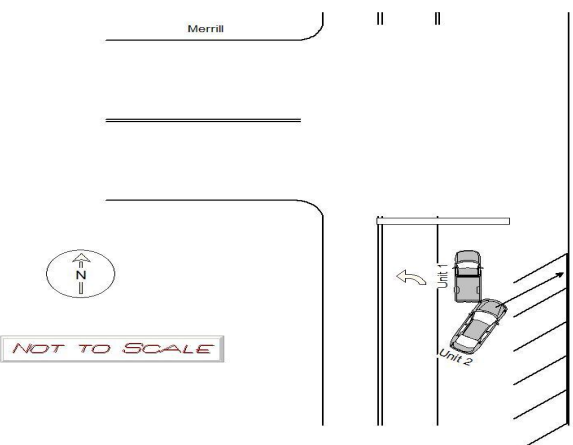
UNIT/DRIVER	Unit Number 01	Unit Known No	State Driver License Number #####		Date of Birth (Age) ##/##/####	License Type <input type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	Total Occupants	Hazardous Action Unknown	
	Unit Type MV	Driver Information ##### ##### (###) ###-####				Driver is Owner No	Injury	Position	Restraint Restraint Use Unknown		
	Driver Condition at Time of Crash 1st				2nd		Driver Distracted By Unknown		Ejected	Trapped	Airbag Deployed Unknown
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending	Test Results:	Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending	Test Results:	Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other			
	Vehicle Registration #####		State	Vehicle Description		Year	Make	Model	Color		
	VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect		
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To		
	Location of Greatest Damage 11		First Impact 11	Extent of Damage (Power Unit and/or Trailers) Unknown		Vehicle Direction	Vehicle Use		Action Prior Entering Parking		
	Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)										

PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
	Injury				Ejected	Trapped	Airbag Deployed	
	Hospital				Ambulance			
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
	Injury				Ejected	Trapped	Airbag Deployed	
	Hospital				Ambulance			
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
	Injury				Ejected	Trapped	Airbag Deployed	
	Hospital				Ambulance			

TRUCK/BUS	Carrier Information				USDOT		MC	MPSC
	Driver's CDL Type				Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X		CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other	
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information				Owner Information			
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Damaged Property	Public	Owner & Phone
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UNIT/DRIVER	Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (17)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action None
	Unit Type MV	Driver Information ##### ##### BLOOMFIELD, MI 48301-2268 (###) ###-####				Driver is Owner No	Injury O	Position Front - Left		Restraint Restraint Use Unknown
	Driver Condition at Time of Crash 1st Appeared Normal				2nd Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed	
	Hospital NONE					Ambulance NONE				
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results O Pending	Test Results:		Interlock Device No	
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results O Pending	Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other	
	Vehicle Registration #####	State MI	Vehicle Description Year 2017	Make FORD	Model F150	Color GRAY				
	VIN #####	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type	Vehicle Defect			
	Insurance Company #####		Insurance Policy # #####		Towed By		Towed To			
	Location of Greatest Damage 04	First Impact 04	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction N	Vehicle Use Private	Action Prior Stopped on Roadway			
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)										
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
	TRUCK/BUS	Carrier Information				USDOT		MC	MPSC	
				Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other			
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #	
OWNERS	Owner Information ##### ##### #####				Owner Information					
WITNESS	Witness Information				Witness Information					
Investigated at Scene Yes		Reported Date (Time) 06/04/2017 (00:18)		1st Investigator Name (Badge) ZALE (63)		2nd Investigator Name (Badge)		Photos No		
Narrative DRIVER OF UNIT 1 STATED HE WAS STOPPED AT THE LIGHT AT OLD WOODWARD AND MERRILL WHEN A VEHICLE STRUCK HIS RIGHT TAILLIGHT WHILE IT WAS ENTERING PARKING. DRIVER OF UNIT 1 STATED HE GOT OUT AND CHECKED FOR DAMAGE AND INITIALLY DID NOT LOCATE ANY. DRIVER OF UNIT 1 STATED HE HAD CONTACT WITH DRIVER OF UNIT 2. DRIVER OF UNIT 1 STATED HE DID NOT EXCHANGE INFO WITH DRIVER OF UNIT 2 BECAUSE HE DID NOT SEE DAMAGE. \NNDRIVER OF UNIT 1 LATER NOTICED A CRACK IN HIS TAILLIGHT AND SCRATCH IN THE PAINT WHEN HE CHECKED HIS VEHICLE A SECOND TIME. DRIVER OF UNIT 1 THEN CONTACTED BIPD TO REPORT THE DAMAGE/ACCIDENT.\NNDRIVER OF UNIT 2 WAS DESCRIBED AS AN APPROXIMATELY 50 Y/O WHITE MALE DRIVING A VEHICLE (POSSIBLY AUDI) WHO LEFT NB ON OLD WOODWARD. \NNI CHECKED THE DISPATCH CAMERA WHICH WAS NOT POINTED IN THE DIRECTION OF THE ACCIDENT.					Diagram 					

Authority: 1949 PA 300, Sec.257.622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 0812608  
Crash ID 1140543

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File Class 93001

Incident # 170010490

Reviewer KEARNEY (00008)

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900	Department Name Birmingham Police Department								
Crash Date 09/07/2017	Crash Time 17:11	No. of Units 02	Crash Type Other	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile			
County 63 - Oakland	Traffic Control Signal		Relation to Roadway On the Road		Weather Cloudy		Area NON-FRWY Straight Roadway		
City/Twsp 80 - Birmingham	Contributing Circumstances 1st None		2nd		Light Daylight	Road Surface Condition Dry	Total Lanes 02	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type Workers Present Activity Location									

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 25 Feet S				
	Trafficway Not Physically Divided				
	Prefix	Intersecting Road Name MERRILL	Road Type	Suffix	Divided Roadway

UNIT/DRIVER	Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/##/#### (38)	License Type <input type="radio"/> Operator <input checked="" type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 02	Hazardous Action Other	
	Unit Type MV	Driver Information ##### ##### SAINT CLAIR SHORES, MI 48081-3901 (###) ###-####				Driver is Owner No	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt		
	Driver Condition at Time of Crash 1st Appeared Normal					2nd		Driver Distracted By Not Distracted		Ejected Trapped Airbag Deployed Not Deployed	
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other			
	Vehicle Registration #####		State MI	Vehicle Description 2003		Make BUS	Model		Color WHITE		
	VIN #####		Vehicle Type Truck / Bus		Special Vehicles Bus		Private Trailer Type		Vehicle Defect		
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To		
	Location of Greatest Damage 04		First Impact 04	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Going Straight Ahead		
Sequence of Events First ● 18 - Parked Motor Vehicle (● indicates MOST harmful event)											

PASSENGERS	Passenger Information ##### ##### ### (###) ###-####				Date of Birth (Age) ###/##/#### (57)	Sex F	Position Other Enclosed Passenger	Restraint No Belts Available	
	Injury O				Ejected	Trapped	Airbag Deployed Not Deployed		
	Hospital NONE				Ambulance NONE				
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint	
	Injury				Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance				
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint	
	Injury				Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance				

TRUCK/BUS	Carrier Information SMART 660 WOODWARD AVE DETROIT, MI 48226				USDOT		MC	MPSC	
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input checked="" type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.				Vehicle Configuration Bus 16+		Cargo Body Type 14	Medical Card Yes	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill
	ID #				Class #				

OWNERS	Owner Information ##### ##### #####				Owner Information			
	#####, ## #####-#### (###) ###-####							

Damaged Property	Public	Owner & Phone
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UNIT/DRIVER	Unit Number 02	Unit Known No	State Driver License Number #####		Date of Birth (Age) ##/##/####	License Type <input type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	Total Occupants 00	Hazardous Action		
	Unit Type MV	Driver Information ##### ##### (###) ###-####				Driver is Owner No	Injury	Position		Restraint		
	Driver Condition at Time of Crash 1st 2nd				Driver Distracted By Unknown		Ejected	Trapped	Airbag Deployed			
	Hospital NONE				Ambulance NONE							
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No				
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other				
	Vehicle Registration #####		State MI	Vehicle Description Year 2015 Make JEEP		Model GRAND CHEROKEE			Color BLACK			
	VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect			
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To			
	Location of Greatest Damage 06		First Impact 06	Extent of Damage (Power Unit and/or Trailers) Functional Damage		Vehicle Direction E	Vehicle Use Private		Action Prior Parked			
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)										Second	Third	Fourth
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint			
					Injury	Ejected	Trapped	Airbag Deployed				
	Hospital				Ambulance							
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint			
					Injury	Ejected	Trapped	Airbag Deployed				
Hospital				Ambulance								
Passenger Information				Date of Birth (Age)	Sex	Position		Restraint				
				Injury	Ejected	Trapped	Airbag Deployed					
Hospital				Ambulance								
TRUCK/BUS	Carrier Information				USDOT		MC	MPSC				
					Driver's CDL Type <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X		Endorsements <input type="radio"/> Farm <input type="radio"/> Other		CDL Exempt			
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID # Class #			
OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information							
	Witness Information				Witness Information							
WITNESS	Investigated at Scene Yes				Reported Date (Time) 09/07/2017 (17:11)		1st Investigator Name (Badge) DEARING-MANNING (73)		2nd Investigator Name (Badge)			
									Photos No			
Narrative UNIT 1 WAS NB ON S OLD WOODWARD. UNIT 2 WAS PARKED IN ANGLED PARKING ON S OLD WOODWARD ON THE EAST SIDE OF THE STREET. UNIT 1 WAS A SMART BUS ATTEMPTING TO PICK UP PASSENGERS AND COULD NOT MAKE THE TURN STRIKING UNIT 2. NO CITATIONS ISSUED OR INJURIES REPORTED. \NNDAMAGE TO UNIT 1: DENT ON REAR PASSENGER SIDE CORNER. \NNDAMAGE TO UNIT 2: BROKEN DRIVER SIDE BRAKE LIGHT, SCRATCHES/CRACKS IN REAR BUMPER ON DRIVER SIDE.					Diagram 							

Authority: 1949 PA 300, Sec.257.622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 0813384  
Crash ID 1143036

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File Class 93001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department				Incident # 170010614			
Crash Date 09/10/2017		Crash Time 13:53	No. of Units 02	Crash Type Angle		Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile	
County 63 - Oakland		Traffic Control Signal		Relation to Roadway On the Road		Weather Clear		Area INTR Within Intersection	
City/Twsp 80 - Birmingham		Contributing Circumstances 1st None		2nd		Light Daylight		Road Surface Condition Dry	
Work Zone (if applicable) Type		Workers Present		Activity		Location			

LOCATION	Prefix S		Primary Road Name OLD WOODWARD		Road Type AVE		Suffix		Divided Roadway	
	Distance / Direction AT		Trafficway Not Physically Divided							
	Prefix E		Intersecting Road Name BROWN		Road Type ST		Suffix		Divided Roadway	

UNIT/DRIVER	Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/##/#### (43)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 01	Hazardous Action Disregard Traffic Control	
	Unit Type MV	Driver Information ##### ##### BLOOMFIELD TOWNSHIP, MI 48301-1616 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
	Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted		Ejected	Trapped	
	Hospital NONE				Ambulance NONE						
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input checked="" type="radio"/> Hazardous <input type="radio"/> Other			
	Vehicle Registration #####		State MI	Vehicle Description 2017 LINCOLN		Make MKZ		Color BLACK			
	VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect		
	Insurance Company #####		Insurance Policy # #####		Towed By BOB ADAMS TOWING				Towed To		
	Location of Greatest Damage 08		First Impact 08	Extent of Damage (Power Unit and/or Trailers) Disabling Damage		Vehicle Direction W		Vehicle Use Private		Action Prior Going Straight Ahead	

Sequence of Events  
● 17 - Motor Veh in Transport  
(● indicates MOST harmful event)

PASSENGERS	Passenger Information				Date of Birth (Age)		Sex	Position		Restraint
	Injury				Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance					
	Passenger Information				Date of Birth (Age)		Sex	Position		Restraint
	Injury				Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance					
	Passenger Information				Date of Birth (Age)		Sex	Position		Restraint
	Injury				Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance					

TRUCK/BUS	Carrier Information				USDOT		MC	MPSC	
	Driver's CDL Type				Endorsements OH OP OT ON OS OX		CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other		
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information			
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Damaged Property		Public	Owner & Phone
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UNIT/DRIVER	Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (46)	License Type ● Operator ○ Chauffeur ○ Moped	Endorsements ○ Cycle ○ Farm ○ Recreation	Sex F	Total Occupants 03	Hazardous Action None	
	Unit Type MV	Driver Information ##### ##### ROYAL OAK, MI 48067-2931 (###) ###-####				Driver is Owner No	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt		
	Driver Condition at Time of Crash 1st Appeared Normal				Driver Distracted By Not Distracted			Ejected	Trapped	Airbag Deployed Not Deployed	
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type ○ Breath   ○ Blood   ○ Urine ○ Field   ○ PBT   ○ Refused   ● Not Offered			Alcohol Test Results ○ Pending   Test Results:		Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type ○ Blood   ○ Urine ○ Field   ○ Refused   ● Not Offered			Drug Test Results ○ Pending   Test Results:		Citation Issued ○ Hazardous ○ Other			
	Vehicle Registration #####	State MI	Vehicle Description 2017	Year	Make LINCOLN	Model MKZ	Color RED				
	VIN #####	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect			
	Insurance Company #####		Insurance Policy # #####		Towed By BOB ADAMS TOWING			Towed To			
	Location of Greatest Damage 02		First Impact 02	Extent of Damage (Power Unit and/or Trailers) Disabling Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Going Straight Ahead		
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)											
PASSENGERS	Passenger Information ##### ##### BRENTWOOD, TN ### (###) ###-####				Date of Birth (Age) ##/##/#### (76)	Sex F	Position 2nd Row - Right	Restraint Shoulder and Lap Belt			
	Injury B	Ejected	Trapped	Airbag Deployed Not Deployed							
	Hospital REFUSED				Ambulance REFUSED						
	Passenger Information ##### ##### BRENTWOOD, TN ### (###) ###-####				Date of Birth (Age) ##/##/#### (73)	Sex M	Position Front - Right	Restraint Shoulder and Lap Belt			
	Injury C	Ejected	Trapped	Airbag Deployed Not Deployed							
TRUCK/BUS	Carrier Information				USDOT		MC	MPSC			
					Driver's CDL Type		Endorsements ○ H   ○ P   ○ T ○ N   ○ S   ○ X	CDL Exempt ○ Farm ○ Other			
	GVWR/GCWR ○ 10,000 lbs. or Less   ○ 10,001 - 26,000 lbs.   ○ Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material ○ Placard   ○ Cargo Spill		ID #	Class #	
OWNERS	Owner Information					Owner Information					
WITNESS	Witness Information					Witness Information					
Investigated at Scene Yes		Reported Date (Time) 09/10/2017 (13:53)		1st Investigator Name (Badge) PEDERSEN (62)		2nd Investigator Name (Badge)		Photos No			
Narrative UNIT 1 WAS TRAVELING WEST ON BROWN WHEN IT DISREGARDED THE RED TRAFFIC SIGNAL AT OLD WOODWARD AND STRUCK UNIT 2. WNU1 HAD FRONT LEFT DAMAGE, U2 HAD FRONT RIGHT DAMAGE. BOTH VEHICLES TOWED. WNPASSENGER OF U2 EVALUATED BY BIFD FOR FACE PAIN. DRIVER OF U1 CITED.					Diagram 						



Page 01 of 01  
File Class 93001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name <b>Birmingham Police Department</b>							Reviewer <b>FAES (00011)</b>			
Crash Date <b>10/28/2017</b>		Crash Time <b>02:24</b>	No. of Units <b>02</b>	Crash Type <b>Angle</b>		Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Hit and Run <input type="radio"/> School Bus <input type="radio"/> Fleeing Police <input type="radio"/> Unknown <input type="radio"/> Animal			Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile			
County <b>63 - Oakland</b>		Traffic Control <b>None</b>			Relation to Roadway <b>On-Street Parking</b>		Weather <b>Cloudy</b>		Area <b>NON-FRWY Legal Parking</b>			
City/Twsp <b>80 - Birmingham</b>		Contributing Circumstances <div style="display: flex; justify-content: space-between;"> <span><b>1st Other</b></span> <span><b>2nd</b></span> </div>				Light <b>Dark-Lighted</b>		Road Surface Condition <b>Wet</b>		Total Lanes <b>02</b>	Speed Limit <b>25</b>	Posted <b>Yes</b>
<div style="display: flex; justify-content: space-between;"> <div>Work Zone (if applicable) Type</div> <div>Workers Present</div> <div>Activity</div> <div>Location</div> </div>												

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 180 Feet S		Trafficway Not Physically Divided		
	Prefix E	Intersecting Road Name MERRILL	Road Type ST	Suffix	Divided Roadway

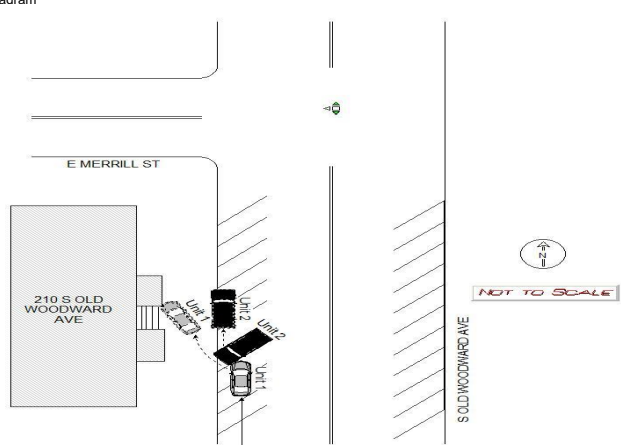
Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/##/#### (24)	License Type ● Operator ○ Chauffeur ○ Moped	Endorsements ○ Cycle ○ Farm ○ Recreation	Sex F	Total Occupants 01	Hazardous Action Reckless Driving	
Unit Type MV	Driver Information ##### ##### ORTONVILLE, MI 48462-8516 (###) ###-####				Driver is Owner Yes	Injury C	Position Front - Left		Restraint Restraint Use Unknown	
Driver Condition at Time of Crash 1st Other				2nd		Driver Distracted By Unknown		Ejected	Trapped	Airbag Deployed Deployed - Front
Hospital WILLIAM BEAUMONT HOSPITAL						Ambulance BIRMINGHAM FIRE DEPT				
Alcohol Suspected Yes	Contributing Factor Yes	Alcohol Test Type ○ Breath    ● Blood    ○ Urine ○ Field    ● PBT    ○ Refused    ○ Not Offered			Alcohol Test Results ● Pending    Test Results:		Interlock Device No			
Drug Suspected No	Contributing Factor No	Drug Test Type ○ Blood    ○ Urine ○ Field    ○ Refused    ● Not Offered			Drug Test Results ○ Pending    Test Results:		Citation Issued ● Hazardous ○ Other			
Vehicle Registration CDZ6159		State MI	Vehicle Description Year 2003	Make BUICK	Model CENTURY			Color SILVER		
VIN 2G4WS52J931276141			Vehicle Type Passenger Car, SUV, Van	Special Vehicles Not Applicable	Private Trailer Type			Vehicle Defect		
Insurance Company #####			Insurance Policy # #####		Towed By BOB ADAMS TOWING			Towed To		
Location of Greatest Damage 08	First Impact 08	Extent of Damage (Power Unit and/or Trailers) Disabling Damage			Vehicle Direction N	Vehicle Use Private		Action Prior Going Straight Ahead		
Sequence of Events (● indicates MOST harmful event)		First ● 18 - Parked Motor Vehicle			Second 41 - Building		Third Fourth			

PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
				Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance		
	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
				Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance		
	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
				Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance		
	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
				Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance		

TRUCK/BUS	Carrier Information			USDOT		MC		MPSC							
				Driver's CDL Type		Endorsements		CDL Exempt							
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.			Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #		Class #	
<input type="radio"/> OH <input type="radio"/> O P <input type="radio"/> OT <input type="radio"/> ON <input type="radio"/> OS <input type="radio"/> OX		<input type="radio"/> Farm <input type="radio"/> Other													

OWNERS	Owner Information	Owner Information
	##### ##### #####, ## #####-#### (###) ###-####	

Damaged Property	Public	Owner & Phone
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UNIT/DRIVER	Unit Number 02	Unit Known No	State Driver License Number #####	Date of Birth (Age) ##/##/####	License Type <input type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	Total Occupants 00	Hazardous Action
	Unit Type MV	Driver Information ##### (###) ###-####			Driver is Owner No	Injury	Position		Restraint
	Driver Condition at Time of Crash 1st 2nd				Driver Distracted By Unknown		Ejected	Trapped	Airbag Deployed
	Hospital NONE				Ambulance NONE				
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input type="radio"/> Not Offered		Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No		
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered		Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
	Vehicle Registration BRY6616	State MI	Vehicle Description BRY6616	Year 2008	Make JEEP	Model GRAND CHEROKEE		Color BLACK	
	VIN 1J8GR48K68C240691	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect	
	Insurance Company #####		Insurance Policy # #####		Towed By BOB ADAMS TOWING			Towed To	
	Location of Greatest Damage 08		First Impact 08	Extent of Damage (Power Unit and/or Trailers) Disabling Damage		Vehicle Direction W	Vehicle Use Private		Action Prior Parked
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)									
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint
					Injury	Ejected	Trapped	Airbag Deployed	
	Hospital				Ambulance				
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint
					Injury	Ejected	Trapped	Airbag Deployed	
	Hospital				Ambulance				
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint
					Injury	Ejected	Trapped	Airbag Deployed	
	Hospital				Ambulance				
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint
				Injury	Ejected	Trapped	Airbag Deployed		
Hospital				Ambulance					
TRUCK/BUS	Carrier Information				USDOT		MC	MPSC	
					Driver's CDL Type <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X		CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other		
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID # Class #
OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information				
	Witness Information ##### ##### #####, ## #####-#### (###) ###-####				Witness Information				
Investigated at Scene Yes		Reported Date (Time) 10/28/2017 (02:24)		1st Investigator Name (Badge) SYTS (66)		2nd Investigator Name (Badge) BOUCHARD (72)		Photos No	
Narrative UNIT 1 WAS TRAVELING N/B IN THE S/B ROADSIDE ANGLED PARKING SPACES ON S OLD WOODWARD AVE. UNIT 2 WAS LEGALLY PARKED IN THE ANGLED PARKING SPACES ON THE S/B SIDE OF S OLD WOODWARD. UNIT 1 STRUCK UNIT 2 ON THE DRIVER SIDE FRONT CAUSING SEVERE WHEEL DAMAGE TO UNIT 2 AND SEVERE FRONT END DAMAGE TO UNIT 1. AFTER THE COLLISION UNIT 1 WENT OFF THE ROADWAY AND STRUCK THE BUILDING AT 210 S OLD WOODWARD. THE DRIVER OF UNIT 1 WAS ARRESTED FOR OWI.					Diagram 				

Page 01 of 01  
File Class 93001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department					Reviewer BUNTING (00003)					
Crash Date 11/29/2017		Crash Time 20:49	No. of Units 02	Crash Type Head On	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal			Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile				
County 63 - Oakland		Traffic Control Signal		Relation to Roadway On the Road		Weather Clear		Area INTR Within Intersection				
City/Twsp 80 - Birmingham		Contributing Circumstances 1st None			2nd		Light Dark-Lighted	Road Surface Condition Dry		Total Lanes 03	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type												
Workers Present				Activity				Location				

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 10 Feet S		Trafficway Not Physically Divided		
	Prefix E	Intersecting Road Name BROWN	Road Type ST	Suffix	Divided Roadway

Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (26)	License Type ● Operator ○ Chauffeur ○ Moped	Endorsements ○ Cycle ○ Farm ○ Recreation	Sex F	Total Occupants 01	Hazardous Action Careless Driving
Unit Type MV	Driver Information ##### ##### BLOOMFIELD HILLS, MI 48301-1049 (###) ###-####			Driver is Owner Yes	Injury B	Position Front - Left		Restraint Shoulder and Lap Belt	
Driver Condition at Time of Crash 1st Emotional 2nd				Driver Distracted By Comm Dev (Text,Type,Dial)		Ejected	Trapped	Airbag Deployed Not Deployed	
Hospital REFUSED					Ambulance BIRMINGHAM FIRE DEPT				
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type ○ Breath ○ Blood ○ Urine ○ Field ○ PBT ○ Refused ● Not Offered			Alcohol Test Results ○ Pending Test Results:		Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type ○ Blood ○ Urine ○ Field ○ Refused ● Not Offered			Drug Test Results ○ Pending Test Results:		Citation Issued ● Hazardous ○ Other		
Vehicle Registration GLUX65		State FL	Vehicle Description 2012	Make HONDA	Model 4D		Color WHITE		
VIN 1HGCP2F38CA022110			Vehicle Type Passenger Car, SUV, Van	Special Vehicles Not Applicable	Private Trailer Type		Vehicle Defect		
Insurance Company #####			Insurance Policy # #####		Towed By		Towed To		
Location of Greatest Damage 01	First Impact 01	Extent of Damage (Power Unit and/or Trailers) Functional Damage		Vehicle Direction S	Vehicle Use Private		Action Prior Going Straight Ahead		
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)				First	Second	Third	Fourth		

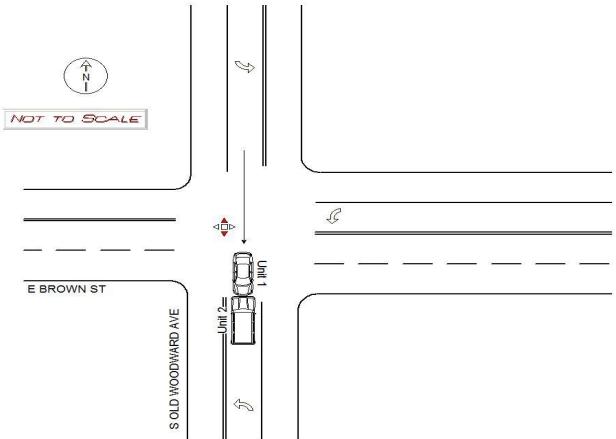
PASSENGERS	Passenger Information			Date of Birth (Age)		Sex	Position		Restraint
				Injury	Ejected	Trapped	Airbag Deployed		
	Hospital					Ambulance			
	Passenger Information			Date of Birth (Age)		Sex	Position		Restraint
				Injury	Ejected	Trapped	Airbag Deployed		
	Hospital					Ambulance			
	Passenger Information			Date of Birth (Age)		Sex	Position		Restraint
				Injury	Ejected	Trapped	Airbag Deployed		
	Hospital					Ambulance			

TRUCK/BUS	Carrier Information			USDOT		MC		MPSC						
				Driver's CDL Type		Endorsements		CDL Exempt						
						<input type="checkbox"/> H <input type="checkbox"/> P <input type="checkbox"/> T <input type="checkbox"/> N <input type="checkbox"/> S <input type="checkbox"/> X		<input type="checkbox"/> Farm <input type="checkbox"/> Other						
GVWR/GCWR			Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material		ID #		Class #	
<input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.									<input type="radio"/> Placard <input type="radio"/> Cargo Spill					

OWNERS	Owner Information	Owner Information
	#####	
	#####	
	#####, ## #####-#### (###) ###-####	

Damaged Property	Public	Owner & Phone
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UNIT/DRIVER	Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (65)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action None	
	Unit Type MV	Driver Information ##### ##### BIRMINGHAM, MI 48009-3018 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
	Driver Condition at Time of Crash 1st Appeared Normal				2nd Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed		
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results O Pending	Test Results:		Interlock Device No		
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results O Pending	Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
	Vehicle Registration 1JND1	State MI	Vehicle Description Year 2013	Make PORSCHÉ	Model CAYENNE	Color WHITE					
	VIN WP1AC2A2XDLA91420	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect					
	Insurance Company #####		Insurance Policy # #####		Towed By		Towed To				
	Location of Greatest Damage 01	First Impact 01	Extent of Damage (Power Unit and/or Trailers) Functional Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Stopped on Roadway			
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)											
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	TRUCK/BUS	Carrier Information				USDOT		MC	MPSC		
				Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other				
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #		
Owner Information ##### ##### #####				Owner Information							
Witness Information				Witness Information							
Investigated at Scene Yes				Reported Date (Time) 11/29/2017 (20:49)		1st Investigator Name (Badge) SYTS (66)		2nd Investigator Name (Badge)		Photos No	
Narrative UNIT 2 WAS STOPPED AT THE INTERSECTION OF N/B S OLD WOODWARD AND BROWN IN THE LEFT TURNING LANE. A RED LIGHT WAS ACTIVE FOR NORTH AND SOUTH TRAFFIC. UNIT 1 WAS TRAVELING S/B ON S OLD WOODWARD TRAVELING IN THE LEFT TURN LANE FOR E/B BROWN. THE DRIVER OF UNIT 1 STATED SHE WAS DISTRACTED BECAUSE SHE WAS ON HER CELL PHONE. UNIT 1 DROVE STRAIGHT THRU THE INTERSECTION IN THE LEFT TURN LANE STRIKING UNIT 2 HEAD ON. BOTH VEHICLES HAD FRONT MIDDLE DAMAGE. THE DRIVER OF UNIT 1 WAS ISSUED A VIOLATION FOR CARELESS DRIVING. THE DRIVER OF UNIT 1 HAD A MINOR INJURY TO HER FACE.					Diagram 						

Authority: 1949 PA 300, Sec.257-622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 0841283  
Crash ID 1240105

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File Class 93001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department		Incident # 170016567						
Crash Date 12/08/2017		Crash Time 10:00	No. of Units 02	Crash Type Rear End	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal	Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile				
County 63 - Oakland		Traffic Control None		Relation to Roadway On the Road		Weather Clear		Area NON-FRWY Straight Roadway		
City/Twsp 80 - Birmingham		Contributing Circumstances 1st Backup - Reg. Congestion 2nd		Light Daylight		Road Surface Condition Dry		Total Lanes 02	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type		Workers Present		Activity		Location				

LOCATION	Prefix	Primary Road Name S OLD WOODWARD	Road Type	Suffix	Divided Roadway
	Distance / Direction 100 Feet S		Trafficway Not Physically Divided		
	Prefix	Intersecting Road Name DAINES	Road Type	Suffix	Divided Roadway

UNIT / DRIVER	Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (73)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 01	Hazardous Action Unable to Stop
	Unit Type MV	Driver Information ##### BLOOMFIELD HILLS, MI 48302-1966 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt
	Driver Condition at Time of Crash 1st Appeared Normal 2nd				Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed	
	Hospital NONE		Ambulance NONE							
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered		Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered		Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input checked="" type="radio"/> Hazardous <input type="radio"/> Other			
	Vehicle Registration DTB0231		State MI	Vehicle Description Year 2017		Make LINCOLN	Model MKC	Color WHITE		
	VIN 5LMTJ3DH3HUL46875		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type	Vehicle Defect		
	Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash			
	Insurance Company #####		Insurance Policy # #####				Towed By		Towed To	

PASSENGERS	Passenger Information		Date of Birth (Age)	Sex	Position	Restraint
			Injury	Ejected	Trapped	Airbag Deployed
	Hospital		Ambulance			
	Passenger Information		Date of Birth (Age)	Sex	Position	Restraint
			Injury	Ejected	Trapped	Airbag Deployed
	Hospital		Ambulance			

TRUCK / BUS	Carrier Information		USDOT	MC	MPSC	
			Driver's CDL Type	Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other	
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.	Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####		Owner Information	
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Damaged Property	Public	Owner & Phone
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UNIT / DRIVER	Unit Number	02	Unit Known	Yes	State	MI	Driver License Number	#####	Date of Birth (Age)	###/###/#### (43)	License Type	<input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements	<input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	M	Total Occupants	01	Hazardous Action	None
	Unit Type	MV	Driver Information							Driver is Owner	Injury	O	Position	Front - Left	Restraint					
	##### ##### HIGHLAND PARK, MI 48203-3351 (###) ###-####							No												
	Driver Condition at Time of Crash							Driver Distracted By			Ejected	Trapped	Airbag Deployed							
	1st Appeared Normal							2nd Not Distracted					Not Deployed							
	Hospital							Ambulance												
	NONE							NONE												
	Alcohol Suspected	No	Contributing Factor	No	Alcohol Test Type			Alcohol Test Results			Interlock Device									
				<input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			<input type="radio"/> Pending Test Results:			No										
	Drug Suspected	No	Contributing Factor	No	Drug Test Type			Drug Test Results			Citation Issued									
			<input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			<input type="radio"/> Pending Test Results:			<input type="radio"/> Hazardous <input type="radio"/> Other											
Vehicle Registration		BCE8891		State	MI	Vehicle Description	Year	2008	Make	TOYOTA	Model	1 A	Color	SILVER						
VIN				JTDKB20U787701073				Vehicle Type		Passenger Car, SUV, Van		Special Vehicles		Not Applicable		Private Trailer Type		Vehicle Defect		
Automation System(s) in Vehicle				Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash												
Insurance Company				#####				Insurance Policy #				#####				Towed By		Towed To		
Location of Greatest Damage		05		First Impact	05		Extent of Damage (Power Unit and/or Trailers)		Functional Damage		Vehicle Direction	N		Vehicle Use		Private		Action Prior		
Sequence of Events		First		● 17 - Motor Veh in Transport		Second				Third				Fourth						
PASSENGERS	Passenger Information							Date of Birth (Age)		Sex	Position			Restraint						
								Injury	Ejected	Trapped	Airbag Deployed									
	Hospital							Ambulance												
	Passenger Information							Date of Birth (Age)		Sex	Position			Restraint						
							Injury	Ejected	Trapped	Airbag Deployed										
Hospital							Ambulance													
TRUCK / BUS	Carrier Information							USDOT		MC		MPSC								
								Driver's CDL Type		Endorsements		CDL Exempt								
								<input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X		<input type="radio"/> Farm <input type="radio"/> Other										
GVWR/GCWR				<input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.				Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material		<input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #	
OWNERS	Owner Information							Owner Information												
	##### ##### #####, ## #####-#### (###) ###-####																			
WITNESS	Witness Information							Witness Information												
Investigated at Scene	Yes	Reported Date (Time)	12/08/2017 (10:00)		1st Investigator Name (Badge)		LT. C KOCH (06)		2nd Investigator Name (Badge)				Photos		No					
Narrative							Diagram													
V2 WAS STOPPED IN THE ROADWAY NORTHBOUND ON S OLD WOODWARD. V1 WAS BEHIND V2. V1 SAID A BUS WAS COMING UP BEHIND HER AND SHE THOUGHT IT WAS NOT GOING TO STOP AND SHE DRIVE INTO V2, HITTING HIS REAR BUMPER WITH HER FRONT BUMPER. CITATION WAS ISSUED TO V1																				



Page 01 of 01  
File Class 93001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department					Reviewer BUNTING (00003)					
Crash Date 01/26/2017		Crash Time 18:56	No. of Units 02	Crash Type Rear End	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal			Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile				
County 63 - Oakland		Traffic Control None		Relation to Roadway On the Road		Weather Clear		Area NON-FRWY Straight Roadway				
City/Twsp 80 - Birmingham		Contributing Circumstances 1st None			2nd		Light Dark-Lighted	Road Surface Condition Dry		Total Lanes 02	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type												
Workers Present				Activity				Location				

LOCATION	Prefix E	Primary Road Name BROWN	Road Type ST	Suffix	Divided Roadway
	Distance / Direction 250 Feet E		Trafficway Not Physically Divided		
	Prefix	Intersecting Road Name PIERCE	Road Type ST	Suffix	Divided Roadway

Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (55)	License Type ● Operator ○ Chauffeur ○ Moped	Endorsements ○ Cycle ○ Farm ○ Recreation	Sex M	Total Occupants 01	Hazardous Action Unable to Stop
Unit Type MV	Driver Information ##### ##### FRANKLIN, MI 48025 (###) ###-####			Driver is Owner No	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
Driver Condition at Time of Crash 1st Appeared Normal				2nd Driver Distracted By Activity Outside Vehicle		Ejected	Trapped	Airbag Deployed Not Deployed	
Hospital NONE					Ambulance NONE				
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type ○ Breath    ○ Blood    ○ Urine ○ Field    ○ PBT    ○ Refused    ● Not Offered			Alcohol Test Results ○ Pending    Test Results:		Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type ○ Blood    ○ Urine ○ Field    ○ Refused    ● Not Offered			Drug Test Results ○ Pending    Test Results:		Citation Issued ● Hazardous ○ Other		
Vehicle Registration #####	State MI	Vehicle Description 2014	Make CADILLAC	Model CTS	Color GRAY				
VIN #####	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect		
Insurance Company #####		Insurance Policy # #####		Towed By			Towed To		
Location of Greatest Damage 01	First Impact 01	Extent of Damage (Power Unit and/or Trailers) Functional Damage		Vehicle Direction W	Vehicle Use Private		Action Prior Going Straight Ahead		
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)		First		Second		Third		Fourth	

PASSENGERS	Passenger Information			Date of Birth (Age)		Sex	Position		Restraint
				Injury	Ejected	Trapped	Airbag Deployed		
	Hospital					Ambulance			
	Passenger Information			Date of Birth (Age)		Sex	Position		Restraint
				Injury	Ejected	Trapped	Airbag Deployed		
	Hospital					Ambulance			
	Passenger Information			Date of Birth (Age)		Sex	Position		Restraint
				Injury	Ejected	Trapped	Airbag Deployed		
	Hospital					Ambulance			

TRUCK/BUS	Carrier Information			USDOT		MC		MPSC						
				Driver's CDL Type		Endorsements		CDL Exempt						
						<input type="checkbox"/> H <input type="checkbox"/> P <input type="checkbox"/> T <input type="checkbox"/> N <input type="checkbox"/> S <input type="checkbox"/> X		<input type="checkbox"/> Farm <input type="checkbox"/> Other						
GVWR/GCWR			Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material		ID #		Class #	
<input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.									<input type="radio"/> Placard <input type="radio"/> Cargo Spill					

OWNERS	Owner Information	Owner Information
	#####	
	#####	
	#####, ## #####-#### (###) ###-####	

Damaged Property	Public	Owner & Phone
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UNIT/DRIVER	Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (54)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 02	Hazardous Action None	
	Unit Type MV	Driver Information ##### BIRMINGHAM, MI 48009-7511 (###) ###-####				Driver is Owner No	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
	Driver Condition at Time of Crash 1st Appeared Normal				Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed		
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results O Pending	Test Results:		Interlock Device No		
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results O Pending	Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
	Vehicle Registration #####	State MI	Vehicle Description 2014	Year	Make BUICK	Model ENCLAVE	Color				
	VIN #####	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type	Vehicle Defect				
	Insurance Company #####		Insurance Policy # #####		Towed By		Towed To				
	Location of Greatest Damage 05	First Impact 05	Extent of Damage (Power Unit and/or Trailers) Functional Damage		Vehicle Direction W	Vehicle Use Private	Action Prior Turning Right				
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)											
PASSENGERS	Passenger Information ##### BIRMINGHAM, MI 48009-7511 (###) ###-####				Date of Birth (Age) ##/##/#### (54)	Sex M	Position Front - Right		Restraint Shoulder and Lap Belt		
					Injury O	Ejected	Trapped	Airbag Deployed Not Deployed			
	Hospital NONE				Ambulance NONE						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	TRUCK/BUS	Carrier Information					USDOT		MC	MPSC	
					Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other			
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #		
OWNERS	Owner Information ##### ##### #####					Owner Information					
	Witness Information					Witness Information					
WITNESS	Investigated at Scene Yes					Reported Date (Time) 01/26/2017 (18:56)		1st Investigator Name (Badge) BUTTIGIEG (67)		2nd Investigator Name (Badge)	
	Photos No										
Narrative UNIT 2 WAS HEADING W/B ON BROWN STREET ATTEMPTING TO TURN INTO THE PIERCE PARKING STRUCTURE. WHILE MAKING A RIGHT HAND TURN, UNIT 2 WAS REAR ENDED BY UNIT 1. UNIT 1 STATED HE WAS LOOKING AT A PEDESTRIAN WALKING ON THE SIDEWALK AND DID NOT NOTICE THAT UNIT 2 WAS TURNING. UNIT 1 WAS FOUND AT FAULT IN THE ACCIDENT AND ISSUED A CITATION FOR FAILURE TO STOP IN AN ASSURED CLEAR DISTANCE AHEAD (ACCIDENT).					Diagram 						

Page 01 of 01  
File Class 9300-1

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department					Reviewer WALD (00016)					
Crash Date 03/12/2017		Crash Time 13:33	No. of Units 02	Crash Type Angle	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeting Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal			Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile				
County 63 - Oakland		Traffic Control None		Relation to Roadway On the Road		Weather Clear		Area NON-FRWY Straight Roadway				
City/Twsp 80 - Birmingham		Contributing Circumstances 1st None			2nd		Light Daylight	Road Surface Condition Dry		Total Lanes 02	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type		Workers Present			Activity		Location					

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 50 Feet S		Trafficway Not Physically Divided		
	Prefix E	Intersecting Road Name DAINES	Road Type ST	Suffix	Divided Roadway

Unit Number 01	Unit Known Yes	State FL	Driver License Number #####	Date of Birth (Age) ##/##/#### (22)	License Type ● Operator ○ Chauffeur ○ Moped	Endorsements ○ Cycle ○ Farm ○ Recreation	Sex F	Total Occupants 02	Hazardous Action Improper Turn
Unit Type MV	Driver Information ##### TROY, MI 48084 (###) ###-####			Driver is Owner No	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt		
Driver Condition at Time of Crash 1st Appeared Normal				Driver Distracted By Not Distracted			Ejected	Trapped	Airbag Deployed Not Deployed
Hospital NONE					Ambulance NONE				
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type ○ Breath    ○ Blood    ○ Urine ○ Field    ○ PBT    ○ Refused    ● Not Offered			Alcohol Test Results ○ Pending    Test Results:		Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type ○ Blood    ○ Urine ○ Field    ○ Refused    ● Not Offered			Drug Test Results ○ Pending    Test Results:		Citation Issued ● Hazardous ● Other		
Vehicle Registration #####	State FL	Vehicle Description 2015	Make JEEP	Model RENEGADE			Color BLACK		
VIN #####	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect		
Insurance Company #####		Insurance Policy # #####			Towed By		Towed To		
Location of Greatest Damage 07	First Impact 07	Extent of Damage (Power Unit and/or Trailers) Functional Damage		Vehicle Direction E	Vehicle Use Private		Action Prior Turning Left		
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)				First	Second	Third	Fourth		

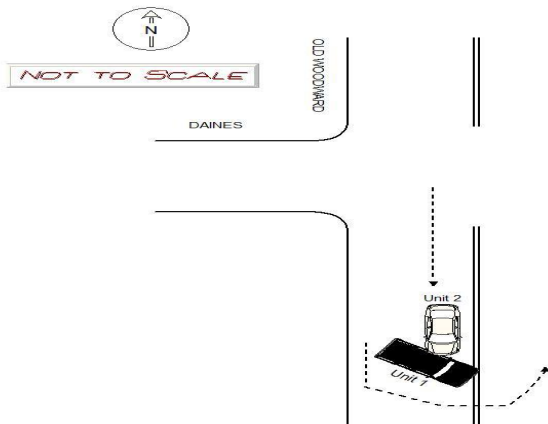
PASSENGERS	Passenger Information ##### ##### PORT ST LUCIE, FL 34983    (###) ###-####			Date of Birth (Age) ##/##/#### (22)		Sex F	Position Front - Right		Restraint Shoulder and Lap Belt		
				Injury O	Ejected	Trapped	Airbag Deployed Not Deployed				
	Hospital NONE					Ambulance NONE					
	Passenger Information			Date of Birth (Age)		Sex	Position			Restraint	
				Injury	Ejected	Trapped	Airbag Deployed				
	Hospital					Ambulance					
	Passenger Information			Date of Birth (Age)		Sex	Position			Restraint	
				Injury	Ejected	Trapped	Airbag Deployed				
	Hospital					Ambulance					

TRUCK/BUS	Carrier Information			USDOT			MC		MPSC			
				Driver's CDL Type			Endorsements		CDL Exempt			
							<input type="checkbox"/> H <input type="checkbox"/> P <input type="checkbox"/> T <input type="checkbox"/> N <input type="checkbox"/> S <input type="checkbox"/> X		<input type="checkbox"/> Farm <input type="checkbox"/> Other			
GVWR/GCWR			Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material		ID #	Class #
<input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.									<input type="radio"/> Placard <input type="radio"/> Cargo Spill			

OWNERS	Owner Information	Owner Information
	#####	
	#####	
	#####, ## #####-#### (###) ###-####	

Damaged Property	Public	Owner & Phone
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UNIT/DRIVER	Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (46)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action Unable to Stop	
	Unit Type MV	Driver Information ##### ##### ROYAL OAK, MI 48073-1628 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
	Driver Condition at Time of Crash 1st Appeared Normal				Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed		
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results O Pending Test Results:		Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results O Pending Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other			
	Vehicle Registration #####		State MI	Vehicle Description 2015	Make BMW	Model X1	Color WHITE				
	VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect		
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To		
	Location of Greatest Damage 02		First Impact 02	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction S	Vehicle Use Private		Action Prior Going Straight Ahead		
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)											
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
				Injury	Ejected	Trapped	Airbag Deployed				
TRUCK/BUS	Carrier Information				USDOT		MC	MPSC			
					Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other			
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #
OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information						
WITNESS	Witness Information				Witness Information						
Investigated at Scene Yes		Reported Date (Time) 03/12/2017 (13:33)		1st Investigator Name (Badge) SGT. SPRINGER (51)		2nd Investigator Name (Badge)		Photos No			
Narrative UNIT 1 WAS S/B OLD WOODWARD, JUST SOUTH OF DAINES, WHEN IT BEGAN MAKING A LEFT TURN/U-TURN INTO A PARKING SPACE IN THE N/B OLD WOODWARD LANE. UNIT 2 WAS DIRECTLY BEHIND UNIT 1. W/OLD WOODWARD HAS A DOUBLE YELLOW LANE SEPARATING S/B AND N/B LANES, ADDITIONALLY THERE ARE MULTIPLE "NO U-TURN" SIGNS POSTED ON OLD WOODWARD. W/UNIT 1 BEGAN MAKING THE PRO TURN, UNIT 2 WAS UNABLE TO STOP IN AN ASSURED CLEAR DISTANCE AHEAD AND COLLIDED WITH UNIT 1. W/UNIT 1 DRIVER WAS SUSPENDED OUT OF FL, AND ARRESTED FOR DWLS.					Diagram 						

Authority: 1949 PA 300, Sec.257.622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 0852433  
Crash ID 1276578

Page 01 of 01  
File Class 93001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department				Incident # 180000377			
Crash Date 01/06/2018		Crash Time 13:40	No. of Units 02	Crash Type Angle		Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Hit and Run <input type="radio"/> Fleeing Police <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile	
County 63 - Oakland		Traffic Control None		Relation to Roadway On the Road		Weather Clear		Area NON-FRWY Straight Roadway	
City/Twsp 80 - Birmingham		Contributing Circumstances 1st None		2nd		Light Daylight		Road Surface Condition Dry	
Work Zone (if applicable) Type		Workers Present		Activity		Location			

LOCATION	Prefix E	Primary Road Name BROWN	Road Type ST	Suffix	Divided Roadway
	Distance / Direction 40 Feet W				
	Trafficway Not Physically Divided				
UNIT / DRIVER	Prefix S	Intersecting Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway

Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (21)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 01	Hazardous Action Failed to Yield
Unit Type MV	Driver Information ##### ROCHESTER HILLS, MI 48307-4740 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt
Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted		Ejected	Trapped
Hospital NONE		Ambulance NONE							
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results: Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results: Citation Issued <input checked="" type="radio"/> Hazardous <input type="radio"/> Other		
Vehicle Registration DQA0370		State MI	Vehicle Description Year 2011		Make CHEVROLET	Model CRUZE		Color GRAY	
VIN 1G1PC5SH4B7125978		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect	
Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash			
Insurance Company #####			Insurance Policy # #####			Towed By		Towed To	
Location of Greatest Damage 01		First Impact 01	Extent of Damage (Power Unit and/or Trailers) Functional Damage		Vehicle Direction S	Vehicle Use Private		Action Prior Making U-Turn	
Sequence of Events ● 17 - Motor Veh in Transport		First		Second		Third		Fourth	

PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
				Injury	Ejected	Trapped	Airbag Deployed
	Hospital			Ambulance			
	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
TRUCK/BUS				Injury	Ejected	Trapped	Airbag Deployed
	Hospital			Ambulance			

OWNERS	Carrier Information			USDOT	MC	MPSC		
				Driver's CDL Type	Endorsements OH OP OT ON OS OX	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other		
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.			Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

Owner Information ##### ##### #####, ## #####-#### (###) ###-####		Owner Information	
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Damaged Property	Public	Owner & Phone
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UNIT / DRIVER	Unit Number	02	Unit Known	Yes	State	MI	Driver License Number	#####	Date of Birth (Age)	###/###/#### (31)	License Type	<input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements	<input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	F	Total Occupants	02	Hazardous Action	None
	Unit Type	MV	Driver Information							Driver is Owner	Injury	O	Position	Front - Left	Restraint					
	ROSEVILLE, MI 48066-5103 (###) ###-####							No		O	Front - Left		Shoulder and Lap Belt							
	Driver Condition at Time of Crash								Driver Distracted By				Ejected	Trapped	Airbag Deployed					
	1st Appeared Normal								2nd Not Distracted						Not Deployed					
	Hospital								Ambulance											
	NONE								NONE											
	Alcohol Suspected	No	Contributing Factor	No	Alcohol Test Type				Alcohol Test Results				Interlock Device							
					<input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered				<input type="radio"/> Pending Test Results:				No							
	Drug Suspected	No	Contributing Factor	No	Drug Test Type				Drug Test Results				Citation Issued							
				<input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered				<input type="radio"/> Pending Test Results:				<input type="radio"/> Hazardous <input checked="" type="radio"/> Other								
Vehicle Registration		CKT7161		State	MI	Vehicle Description		Year	2016	Make	LINCOLN	Model		MKZ		Color		GRAY		
VIN				3LN6L2LU3GR623405				Vehicle Type		Passenger Car, SUV, Van		Special Vehicles		Not Applicable		Private Trailer Type		Vehicle Defect		
Automation System(s) in Vehicle				Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash												
Insurance Company				Insurance Policy #				Towed By				Towed To								
#####				#####				BOB ADAMS TOWING												
Location of Greatest Damage	03	First Impact	03	Extent of Damage (Power Unit and/or Trailers)				Disabling Damage		Vehicle Direction	W	Vehicle Use		Private		Action Prior				
										W						Going Straight Ahead				
Sequence of Events				First				Second				Third				Fourth				
				<input checked="" type="radio"/> 17 - Motor Veh in Transport																
				(• indicates MOST harmful event)																
PASSENGERS	Passenger Information								Date of Birth (Age)		Sex	F	Position		Restraint					
	#####								###/###/#### (54)		F	Front - Right		Shoulder and Lap Belt						
	#####								Injury		C	Ejected	Trapped	Airbag Deployed		Not Deployed				
	HIGHLAND PARK, MI ### (###) ###-####																			
	Hospital								REFUSED		Ambulance		REFUSED							
Passenger Information								Date of Birth (Age)		Sex		Position		Restraint						
Injury								Ejected	Trapped	Airbag Deployed										
Hospital										Ambulance										
TRUCK / BUS	Carrier Information								USDOT		MC		MPSC							
									Driver's CDL Type		Endorsements		CDL Exempt							
											<input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X		<input type="radio"/> Farm <input type="radio"/> Other							
GVWR/GCWR				Vehicle Configuration				Cargo Body Type		Medical Card		Hazardous Material		ID #		Class #				
				<input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.								<input type="radio"/> Placard <input type="radio"/> Cargo Spill								
OWNERS	Owner Information								Owner Information											
	#####								#####											
#####								#####												
#####								#####												
WITNESS	Witness Information								Witness Information											
Investigated at Scene	Yes	Reported Date (Time)	01/06/2018 (13:40)		1st Investigator Name (Badge)		MACUMBER (71)		2nd Investigator Name (Badge)				Photos		No					
Narrative								Diagram												
U2 WAS TRAVELING BEHIND U1 WB ON BROWN. U1 SLOWED, VEERED SLIGHTLY OFF THE ROADWAY TO THE RIGHT, AND THEN ATTEMPTED TO MAKE A U-TURN IN ORDER TO GO EB ON BROWN. AS U1 WAS OFF OF THE ROADWAY, U2 STARTED TO PASS U1. AT THIS TIME U1 TURNED BACK ONTO THE ROADWAY CONDUCTING THE U-TURN. THIS ACTION CAUSED U1 TO STRIKE U2 CAUSING DAMAGE TO BOTH VEHICLES. U2P1 STATED THE RIGHT SIDE OF HER HEAD AND BACK WERE SORE. U2P1 REFUSED MEDICAL TREATMENT BUT STATED HER HUSBAND WOULD BE DRIVING HER TO THE HOSPITAL. U2 WAS TOWED FROM THE SCENE.																				



Authority: 1949 PA 300, Sec.257.622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 0869305  
Crash ID 1327029

Page 01 of 01  
File Class 54001

Incident #  
180003951

Reviewer  
KOCH (00006)

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department							
Crash Date 02/28/2018	Crash Time 16:45	No. of Units 02	Crash Type Unknown	Special Circumstances <input type="radio"/> None <input type="radio"/> Fleeing Police <input checked="" type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile			
County 63 - Oakland	Traffic Control None	Relation to Roadway On the Road		Weather Clear		Area NON-FRWY Straight Roadway			
City/Twsp 80 - Birmingham	Contributing Circumstances 1st None		2nd		Light Daylight	Road Surface Condition Dry	Total Lanes 02	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type Workers Present Activity Location									

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type	Suffix	Divided Roadway
	Distance / Direction 150 Feet SE				
	Trafficway Not Physically Divided				
	Prefix	Intersecting Road Name MERRILL	Road Type	Suffix	Divided Roadway

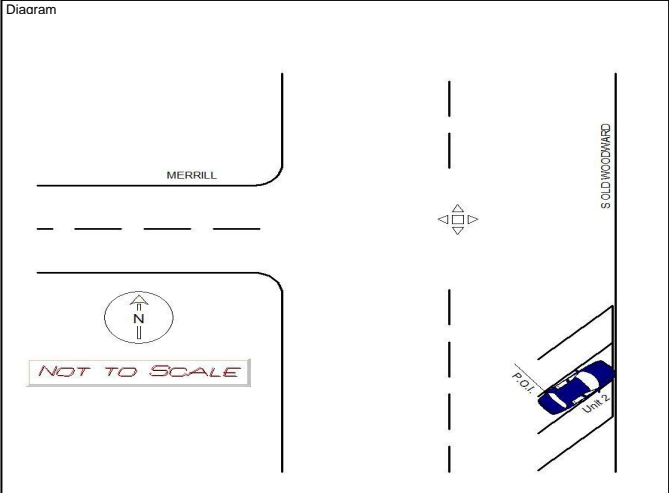
UNIT / DRIVER	Unit Number 01	Unit Known No	State MI	Driver License Number #####	Date of Birth (Age) ##/##/####	License Type <input type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	Total Occupants	Hazardous Action Unknown	
	Unit Type MV	Driver Information ##### ##### (###) ###-####				Driver is Owner No	Injury	Position	Restraint Restraint Use Unknown		
	Driver Condition at Time of Crash 1st				2nd		Driver Distracted By Unknown		Ejected	Trapped	Airbag Deployed Unknown
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results: Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results: Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other			
	Vehicle Registration		State	Vehicle Description		Year	Make	Model	Color		
	VIN		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect		
	Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash				
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To		
Location of Greatest Damage 11	First Impact 11	Extent of Damage (Power Unit and/or Trailers) Unknown		Vehicle Direction	Vehicle Use		Action Prior				
Sequence of Events ● 18 - Parked Motor Vehicle (● indicates MOST harmful event)											

PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
					Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance			
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
					Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance			

TRUCK / BUS	Carrier Information				USDOT		MC	MPSC
					Driver's CDL Type OH OP OT ON OS OX		CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other	
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information				Owner Information			

Damaged Property	Public	Owner & Phone

UNIT / DRIVER	Unit Number 02	Unit Known No	State Driver License Number #####		Date of Birth (Age) ##/##/####		License Type <input type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped		Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation		Sex	Total Occupants 00	Hazardous Action
	Unit Type MV	Driver Information ##### ##### (###) ###-####				Driver is Owner No		Injury	Position		Restraint		
	Driver Condition at Time of Crash 1st 2nd					Driver Distracted By Unknown			Ejected	Trapped	Airbag Deployed		
	Hospital NONE					Ambulance NONE							
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input type="radio"/> Not Offered				Alcohol Test Results <input type="radio"/> Pending		Test Results:		Interlock Device No		
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered				Drug Test Results <input type="radio"/> Pending		Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
	Vehicle Registration CHN4916		State MI	Vehicle Description Year 2018		Make NISSAN		Model SENTRA		Color BLUE			
	VIN 3N1AB7AP2JY202819		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect				
	Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash						
	Insurance Company #####			Insurance Policy # #####			Towed By			Towed To			
Location of Greatest Damage 06		First Impact 06	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction NE		Vehicle Use Private		Action Prior Parked				
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)													
PASSENGERS	Passenger Information				Date of Birth (Age)		Sex	Position		Restraint			
	Hospital						Ambulance						
	Passenger Information				Date of Birth (Age)		Sex	Position		Restraint			
	Hospital						Ambulance						
TRUCK / BUS	Carrier Information				USDOT		MC	MPSC					
					Driver's CDL Type		Endorsements OH OP OT ON OS OX		CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other				
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #	
OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information								
	Witness Information				Witness Information								
WITNESS	Investigated at Scene No				Reported Date (Time) 02/28/2018 (16:45)		1st Investigator Name (Badge) MANZO (64)		2nd Investigator Name (Badge)		Photos No		
	Narrative UNIT 2 WAS PARKED OUTSIDE 235 S OLD WW. \N\NUNIT 2 WAS STRUCK WHILE PARKED BY UNKNOWN UNIT 1.\N\NNO FURTHER INFORMATION FOR UNIT 1. NO INJURIES.\N\NHIT AND RUN. REPORT FOR INSURANCE.												
Diagram 													

Authority: 1949 PA 300, Sec.257.622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 0919769  
Crash ID 1480446

Page 01 of 01  
File Class 93001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department				Incident # 180014519			
Crash Date 08/29/2018		Crash Time 15:05	No. of Units 02	Crash Type Rear End	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile		
County 63 - Oakland		Traffic Control None		Relation to Roadway On the Road		Weather Clear		Area INTR Within Intersection	
City/Twsp 80 - Birmingham		Contributing Circumstances 1st None		2nd		Light Daylight		Road Surface Condition Dry	
Total Lanes 02		Speed Limit 25		Posted Yes					
Work Zone (if applicable) Type Workers Present Activity Location									

LOCATION	Prefix S		Primary Road Name OLD WOODWARD		Road Type AVE		Suffix Divided Roadway	
	Distance / Direction AT		Trafficway Not Physically Divided					
	Prefix E		Intersecting Road Name MERRILL		Road Type ST		Suffix Divided Roadway	

UNIT / DRIVER	Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (60)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 01	Hazardous Action Unable to Stop
	Unit Type MV	Driver Information ##### ##### BEVERLY HILLS, MI 48025-3352 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt
	Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted		Ejected	Trapped
	Hospital NONE				Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No		
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input checked="" type="radio"/> Hazardous <input type="radio"/> Other		
	Vehicle Registration DNF9055		State MI	Vehicle Description 2013		Make INFINITI	Model G37		Color CHERRY	
	VIN JN1CV6FE4DM230033		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect	
	Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash			
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To	

PASSENGERS	Passenger Information				Date of Birth (Age)		Sex	Position		Restraint
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
	Passenger Information				Date of Birth (Age)		Sex	Position		Restraint
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					

TRUCK / BUS	Carrier Information				USDOT		MC	MPSC	
					Driver's CDL Type		Endorsements OH OP OT ON OS OX	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other	
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information			

Damaged Property		Public	Owner & Phone
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UNIT / DRIVER	Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/##/#### (40)	License Type ● Operator ○ Chauffeur ○ Moped	Endorsements ○ Cycle ○ Farm ○ Recreation	Sex F	Total Occupants 01	Hazardous Action None	
	Unit Type MV	Driver Information ##### ##### BIRMINGHAM, MI 48009-1740 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt		
	Driver Condition at Time of Crash 1st Appeared Normal				2nd Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed		
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type ○ Breath   ○ Blood   ○ Urine ○ Field   ○ PBT   ○ Refused   ● Not Offered			Alcohol Test Results ○ Pending   Test Results:		Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type ○ Blood   ○ Urine ○ Field   ○ Refused   ● Not Offered			Drug Test Results ○ Pending   Test Results:		Citation Issued ○ Hazardous ○ Other			
	Vehicle Registration DMA6826		State MI	Vehicle Description Year 2016	Make LINCOLN	Model MKC	Color WHITE				
	VIN 5LMCJ3D92GUJ27090		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect				
	Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash				
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To		
Location of Greatest Damage 05	First Impact 05	Extent of Damage (Power Unit and/or Trailers) Functional Damage			Vehicle Direction N	Vehicle Use Private		Action Prior Slowing/Stop on Roadway			
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)											
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
TRUCK / BUS	Carrier Information				USDOT		MC	MPSC			
					Driver's CDL Type		Endorsements OH OP OT ON OS OX	CDL Exempt ○ Farm ○ Other			
	GVWR/GCWR ○ 10,000 lbs. or Less   ○ 10,001 - 26,000 lbs.   ○ Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card	Hazardous Material ○ Placard   ○ Cargo Spill		ID #	Class #
OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information						
	Witness Information				Witness Information						
WITNESS	Investigated at Scene Yes				Reported Date (Time) 08/29/2018 (15:05)		1st Investigator Name (Badge) HUSTED (53)		2nd Investigator Name (Badge)		Photos No
	Narrative UNIT #1 AND #2 BOTH N/B ON OLD WOODWARD STARTING UP AT THE GREEN LIGHT FROM MERRILL. #2 ADVISED THAT SHE HIT HER BRAKES FOR A PERSON THAT SHE THOUGHT MIGHT ATTEMPT TO CROSS THE ROAD. #1 ADVISED THAT #2 SLAMMED ON HER BRAKES FOR NO REASON AND THAT THERE HAD BEEN SOME ROAD RAGE SOUTH OF THIS INCIDENT. WITNESS ADVISED THAT #1 WAS BLOWING HER HORN WHEN SHE STRUCK #2. CITY CAMERAS WERE DOWN. U/O ISSUED CITATION TO #1 FOR FTSWACDA. MINOR DAMAGE TO BOTH.										Diagram 

Authority: 1949 PA 300, Sec.257.622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External #  
0937248

Crash ID  
1530059

Page 01 of 01  
File Class 93001

Incident #  
180017781

Reviewer  
WALD (00016)

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department							
Crash Date 10/26/2018	Crash Time 11:04	No. of Units 02	Crash Type Other	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile			
County 63 - Oakland	Traffic Control None	Relation to Roadway On the Road		Weather Cloudy		Area NON-FRWY Straight Roadway			
City/Twsp 80 - Birmingham	Contributing Circumstances 1st None		2nd		Light Daylight	Road Surface Condition Dry	Total Lanes 02	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type Workers Present Activity Location									

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 50 Feet N				
	Trafficway Not Physically Divided				
	Prefix HAZEL	Intersecting Road Name	Road Type ST	Suffix	Divided Roadway

UNIT / DRIVER	Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (62)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 01	Hazardous Action Improper Turn	
	Unit Type MV	Driver Information ##### WEST BLOOMFIELD, MI 48322-4417 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
	Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results:		Interlock Device No	
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results:		Citation Issued <input checked="" type="radio"/> Hazardous <input type="radio"/> Other	
	Vehicle Registration CLN2563		State MI	Vehicle Description 2018	Make LINCOLN	Model MKC	Color WHITE				
	VIN 5LMCJ2D95JUL23218		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect				
	Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash				
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To		

PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
					Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance			
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
					Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance			

TRUCK / BUS	Carrier Information				USDOT	MC	MPSC
					Driver's CDL Type	Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.	Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information			

Damaged Property	Public	Owner & Phone
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UNIT / DRIVER	Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (61)	License Type ● Operator ○ Chauffeur ○ Moped	Endorsements ○ Cycle ○ Farm ○ Recreation	Sex M	Total Occupants 01	Hazardous Action None
	Unit Type MV	Driver Information ##### ##### SOUTHFIELD, MI 48075-3108 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt	
	Driver Condition at Time of Crash 1st Appeared Normal				2nd Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed	
	Hospital NONE					Ambulance NONE				
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type ○ Breath   ○ Blood   ○ Urine ○ Field   ○ PBT   ○ Refused   ● Not Offered			Alcohol Test Results ○ Pending	Test Results:	Interlock Device No		
	Drug Suspected No	Contributing Factor No	Drug Test Type ○ Blood   ○ Urine ○ Field   ○ Refused   ● Not Offered			Drug Test Results ○ Pending	Test Results:	Citation Issued ○ Hazardous ○ Other		
	Vehicle Registration DVG1492	State MI	Vehicle Description 2005	Year	Make CHEVROLET	Model EXPRESS G1500	Color SILVER			
	VIN 1GBFH15T051141135	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type	Vehicle Defect			
	Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash			
	Insurance Company #####		Insurance Policy # #####				Towed By		Towed To	
Location of Greatest Damage 04	First Impact 04	Extent of Damage (Power Unit and/or Trailers) No Damage		Vehicle Direction E	Vehicle Use Private		Action Prior Backing			
Sequence of Events ● First   ● 17 - Motor Veh in Transport   Second   Third   Fourth (● indicates MOST harmful event)										
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
				Injury	Ejected	Trapped	Airbag Deployed			
Hospital				Ambulance						
TRUCK / BUS	Carrier Information				USDOT		MC	MPSC		
					Driver's CDL Type		Endorsements OH   OP   OT ON   OS   OX	CDL Exempt ○ Farm ○ Other		
	GVWR/GCWR ○ 10,000 lbs. or Less   ○ 10,001 - 26,000 lbs.   ○ Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material ○ Placard   ○ Cargo Spill		ID #	Class #
OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information					
	Witness Information				Witness Information					
WITNESS	Investigated at Scene Yes				Reported Date (Time) 10/26/2018 (11:04)	1st Investigator Name (Badge) WALD (016)		2nd Investigator Name (Badge)		Photos No
	Narrative #1 S/B OLD WOODWARD. #2, BACKING OUT OF ANGLE PARKING SPOT. #1 CONDUCTED ILLEGAL U-TURN (POSTED), TO ENTER EMPTY PARKING STALL. BOTH COLLIDED.				Diagram 					



Page 01 of 01  
File Class 54001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department					Reviewer FAES (00011)				
Crash Date 11/27/2018		Crash Time 22:30	No. of Units 02	Crash Type Sideswipe-Same	Special Circumstances <input type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input checked="" type="radio"/> Unknown <input type="radio"/> School Bus <input checked="" type="radio"/> Animal (Unknown)			Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile			
County 63 - Oakland		Traffic Control None		Relation to Roadway On the Road		Weather Cloudy		Area NON-FRWY Straight Roadway			
City/Twsp 80 - Birmingham		Contributing Circumstances 1st None 2nd			Light Dark-Lighted		Road Surface Condition Wet		Total Lanes 03	Speed Limit 25	Posted Yes
<div> <div>Work Zone (if applicable) Type</div> <div>Workers Present</div> <div>Activity</div> <div>Location</div> </div>											

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 50 Feet S		Trafficway Not Physically Divided		
	Prefix E	Intersecting Road Name MERRILL	Road Type ST	Suffix	Divided Roadway

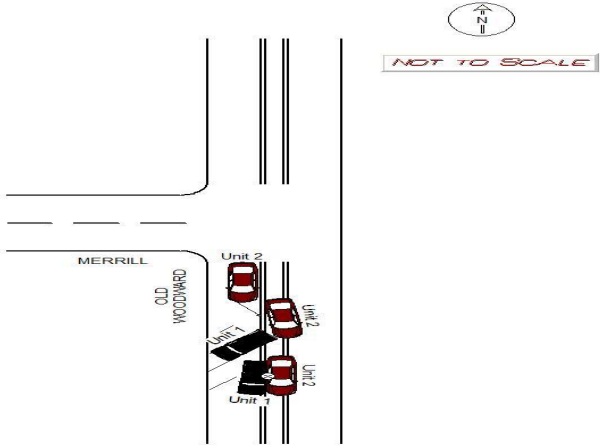
Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/##/#### (24)	License Type ● Operator ○ Chauffeur ○ Moped	Endorsements ○ Cycle ○ Farm ○ Recreation	Sex F	Total Occupants 01	Hazardous Action Improper Backing
Unit Type MV	Driver Information ##### ##### COMMERCE TOWNSHIP, MI 48390-2246 (###) ###-####			Driver is Owner No	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
Driver Condition at Time of Crash 1st Unknown				Driver Distracted By Unknown			Ejected	Trapped	Airbag Deployed Not Deployed
Hospital NONE					Ambulance NONE				
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type ○ Breath   ○ Blood   ○ Urine ○ Field   ○ PBT   ○ Refused   ● Not Offered			Alcohol Test Results ○ Pending   Test Results:		Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type ○ Blood   ○ Urine ○ Field   ○ Refused   ● Not Offered			Drug Test Results ○ Pending   Test Results:		Citation Issued ● Hazardous ○ Other		
Vehicle Registration DWD9102		State MI	Vehicle Description 2018	Year 2018	Make GMC	Model TERRAIN	Color BLACK		
VIN 3GKALTEV8JL276517		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect	
Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash			
Insurance Company #####			Insurance Policy # #####			Towed By		Towed To	
Location of Greatest Damage 08	First Impact 08	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction S	Vehicle Use Private		Action Prior Starting Up on Roadway		
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)									

PASSENGERS	Passenger Information			Date of Birth (Age)		Sex	Position	Restraint
				Injury	Ejected	Trapped	Airbag Deployed	
	Hospital					Ambulance		
	Passenger Information			Date of Birth (Age)		Sex	Position	Restraint
				Injury	Ejected	Trapped	Airbag Deployed	
	Hospital					Ambulance		

TRUCK/BUS	Carrier Information			USDOT		MC		MPSC							
				Driver's CDL Type		Endorsements		CDL Exempt							
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.			Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #		Class #	
<input type="radio"/> H <input type="radio"/> O <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X		<input type="radio"/> Farm <input type="radio"/> Other													

OWNERS	Owner Information	Owner Information
	#####	
	#####	
	#####, ## #####-#### (###) ###-####	

Damaged Property	Public	Owner & Phone
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UNIT / DRIVER	Unit Number <b>02</b>	Unit Known <b>Yes</b>	State <b>MI</b>	Driver License Number <b>#####</b>	Date of Birth (Age) <b>###/##/#### (18)</b>	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex <b>F</b>	Total Occupants <b>01</b>	Hazardous Action <b>None</b>		
	Unit Type <b>MV</b>	Driver Information <b>#####</b> <b>#####</b> <b>ROYAL OAK, MI 48073-1744 (###) ###-####</b>				Driver is Owner <b>No</b>	Injury <b>O</b>	Position <b>Front - Left</b>	Restraint <b>Shoulder and Lap Belt</b>			
	Driver Condition at Time of Crash 1st <b>Appeared Normal</b>					Driver Distracted By <b>Not Distracted</b>		Ejected	Trapped	Airbag Deployed <b>Not Deployed</b>		
	Hospital <b>NONE</b>					Ambulance <b>NONE</b>						
	Alcohol Suspected <b>No</b>	Contributing Factor <b>No</b>	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending      Test Results:		Interlock Device <b>No</b>				
	Drug Suspected <b>No</b>	Contributing Factor <b>No</b>	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending      Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other				
	Vehicle Registration <b>DZG6828</b>		State <b>MI</b>	Vehicle Description <b>2002</b>	Year <b>2002</b>	Make <b>CHEVROLET</b>	Model <b>IMPALA</b>		Color <b>RED</b>			
	VIN <b>2G1WF52E929223542</b>		Vehicle Type <b>Passenger Car, SUV, Van</b>		Special Vehicles <b>Not Applicable</b>		Private Trailer Type		Vehicle Defect			
	Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash					
	Insurance Company <b>#####</b>			Insurance Policy # <b>#####</b>			Towed By			Towed To		
Location of Greatest Damage <b>03</b>	First Impact <b>03</b>	Extent of Damage (Power Unit and/or Trailers) <b>Minor Damage</b>			Vehicle Direction <b>S</b>	Vehicle Use <b>Private</b>		Action Prior <b>Going Straight Ahead</b>				
Sequence of Events ● <b>17 - Motor Veh in Transport</b> (● indicates MOST harmful event)												
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint			
					Injury	Ejected	Trapped	Airbag Deployed				
	Hospital				Ambulance							
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint			
					Injury	Ejected	Trapped	Airbag Deployed				
	Hospital				Ambulance							
	Carrier Information				USDOT		MC	MPSC				
					Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other				
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #
	Owner Information <b>#####</b> <b>#####</b> <b>#####</b>				Owner Information							
Witness Information				Witness Information								
Investigated at Scene <b>Yes</b>	Reported Date (Time) <b>11/27/2018 (22:30)</b>	1st Investigator Name (Badge) <b>N.HILL (68)</b>			2nd Investigator Name (Badge)			Photos <b>No</b>				
Narrative UNIT 2 WAS TRAVELING SOUTHBOUND ON OLD WOODWARD SOUTH OF MERRILL. UNIT 1 WAS BACKING FROM A PARKING SPACE ON OLD WOODWARD SOUTH OF MERRILL ON THE WEST SIDE OF THE STREET. UNIT 1 BACKED INTO UNIT 2'S PATH OF TRAVEL CAUSING UNIT 2 TO SWERVE INTO THE TURN LANE. UNIT 1 SIDESWIPE UNIT 2 WHILE TRANSITIONING FROM BACKING INTO PROCEEDING SOUTHBOUND ON OLD WOODWARD. THERE WAS MINOR DAMAGE TO THE RIGHT SIDE OF UNIT 2 AND LEFT FRONT OF UNIT 1. UNIT 1 STOPPED AND EXCHANGED WORDS WITH UNIT 2 BUT THEN FLED THE SCENE. UNIT 2 OBTAINED A LICENSE PLATE NUMBER (MI:DWD9102) FOR UNIT 1. I WAS ABLE TO FIND THE DRIVER OF UNIT 2, VANESSA PETROS, THROUGH CLEMIS SEARCH OF PHONE NUMBERS FOR THE PLATE GIVEN. PETROS THEN CAME INTO BIPD TO PROVIDE THE INFORMATION FOR THE REPORT. I ISSUED PETROS A CITATION FOR IMPROPER/UNSAFE BACKING CAUSING AN ACCIDENT, AND FAIL TO STOP FOR A PDA.					Diagram 							

Authority: 1949 PA 300, Sec.257-622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External #  
0952985

Crash ID  
1579486

Page 01 of 01  
File Class 93001

Incident #  
180020267

Reviewer  
WEBB (00020)

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department							
Crash Date 12/13/2018	Crash Time 19:25	No. of Units 02	Crash Type Backing	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile			
County 63 - Oakland	Traffic Control Signal	Relation to Roadway On the Road		Weather Cloudy		Area NON-FRWY Straight Roadway			
City/Twsp 80 - Birmingham	Contributing Circumstances 1st Unknown		2nd		Light Dark-Lighted	Road Surface Condition Dry	Total Lanes 03	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type Workers Present Activity Location									

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 10 Feet N				
	Trafficway Not Physically Divided				
	Prefix E	Intersecting Road Name BROWN	Road Type ST	Suffix	Divided Roadway

UNIT / DRIVER	Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (64)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action Improper Backing	
	Unit Type MV	Driver Information ##### ##### ORCHARD LAKE, MI 48324-2306 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
	Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Unknown		Ejected	Trapped	Airbag Deployed Not Deployed
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results: Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results: Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other			
	Vehicle Registration DFA1965	State MI	Vehicle Description 2017	Make LAND ROVER	Model RANGE ROVER SPO	Color BLACK					
	VIN SALWG2FV7HA693538	Vehicle Type Passenger Car, SUV, Van	Special Vehicles Not Applicable		Private Trailer Type	Vehicle Defect					
	Automation System(s) in Vehicle		Automation System Level in Vehicle			Automation System Level Engaged at Time of Crash					
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To		
Location of Greatest Damage 06	First Impact 06	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction SW	Vehicle Use Private		Action Prior Backing				
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)											

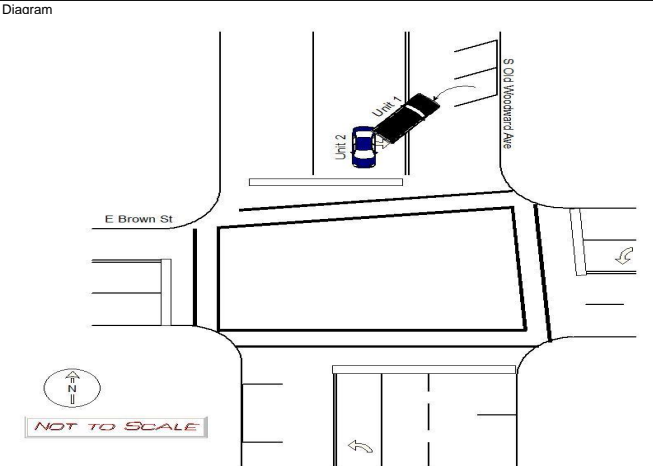
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
					Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance			
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
					Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance			

TRUCK / BUS	Carrier Information				USDOT	MC	MPSC
					Driver's CDL Type	Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.	Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information			

Damaged Property	Public	Owner & Phone



UNIT / DRIVER	Unit Number <b>02</b>	Unit Known <b>Yes</b>	State <b>MI</b>	Driver License Number <b>#####</b>	Date of Birth (Age) <b>###/##/#### (55)</b>	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex <b>M</b>	Total Occupants <b>01</b>	Hazardous Action <b>None</b>	
	Unit Type <b>MV</b>	Driver Information <b>#####</b> <b>WEST BLOOMFIELD, MI 48322-4304 (###) ###-####</b>				Driver is Owner <b>No</b>	Injury <b>O</b>	Position <b>Front - Left</b>	Restraint <b>Shoulder and Lap Belt</b>		
	Driver Condition at Time of Crash 1st <b>Appeared Normal</b>					Driver Distracted By <b>Unknown</b>		Ejected	Trapped	Airbag Deployed <b>Not Deployed</b>	
	Hospital <b>NONE</b>					Ambulance <b>NONE</b>					
	Alcohol Suspected <b>No</b>	Contributing Factor <b>No</b>	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending      Test Results:		Interlock Device <b>No</b>			
	Drug Suspected <b>No</b>	Contributing Factor <b>No</b>	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending      Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other			
	Vehicle Registration <b>DA64372</b>		State <b>MI</b>	Vehicle Description <b>2008</b>	Year	Make <b>CHEVROLET</b>	Model <b>IMPALA</b>		Color <b>BLUE</b>		
	VIN <b>2G1WT58K889244476</b>		Vehicle Type <b>Passenger Car, SUV, Van</b>		Special Vehicles <b>Not Applicable</b>		Private Trailer Type		Vehicle Defect		
	Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash				
	Insurance Company <b>#####</b>			Insurance Policy # <b>#####</b>			Towed By			Towed To	
Location of Greatest Damage <b>06</b>	First Impact <b>06</b>	Extent of Damage (Power Unit and/or Trailers) <b>Minor Damage</b>			Vehicle Direction <b>S</b>	Vehicle Use <b>Private</b>			Action Prior <b>Stopped on Roadway</b>		
Sequence of Events ● <b>17 - Motor Veh in Transport</b> (● indicates MOST harmful event)											
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
TRUCK / BUS	Carrier Information				USDOT		MC	MPSC			
					Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other			
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #
OWNERS	Owner Information <b>#####</b> <b>#####</b> <b>#####, ## #####-#### (###) ###-####</b>				Owner Information						
WITNESS	Witness Information				Witness Information						
Investigated at Scene <b>No</b>	Reported Date (Time) <b>12/13/2018 (19:25)</b>	1st Investigator Name (Badge) <b>MCINTYRE (74)</b>			2nd Investigator Name (Badge)			Photos <b>No</b>			
Narrative UNIT 1 WAS IN A PARKING SPACE ON S OLD WOODWARD, NORTH OF BROWN. UNIT 2 WAS STOPPED FOR A RED LIGHT, S/B ON OLD WOODWARD AT BROWN. UNIT 1 BACKED OUT OF THE SPACE AND STRUCK UNIT 2 IN THE REAR, LEFT. UNIT 1 STATED BECAUSE HE WAS IN AN SUV AND ELEVATED, HE DID NOT SEE UNIT 2. THERE WAS MINOR DAMAGE TO THE REAR, LEFT OF BOTH UNIT 1 AND UNIT 2.					Diagram 						

Authority: 1949 PA 300, Sec.257.622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 0969250  
Crash ID 1636339

Page 01 of 01  
File Class 93001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department				Incident # 190001911			
Crash Date 02/07/2019		Crash Time 14:45	No. of Units 02	Crash Type Sideswipe-Same	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile		
County 63 - Oakland		Traffic Control None		Relation to Roadway On the Road		Weather Rain		Area NON-FRWY Straight Roadway	
City/Twsp 80 - Birmingham		Contributing Circumstances 1st None		2nd		Light Daylight		Road Surface Condition Wet	
Work Zone (if applicable) Type		Workers Present		Activity		Location			

Prefix DAINES		Road Type ST		Suffix Divided Roadway			
Distance / Direction 50 Feet W		Trafficway Not Physically Divided					
Prefix S		Intersecting Road Name OLD WOODWARD		Road Type AVE		Suffix Divided Roadway	

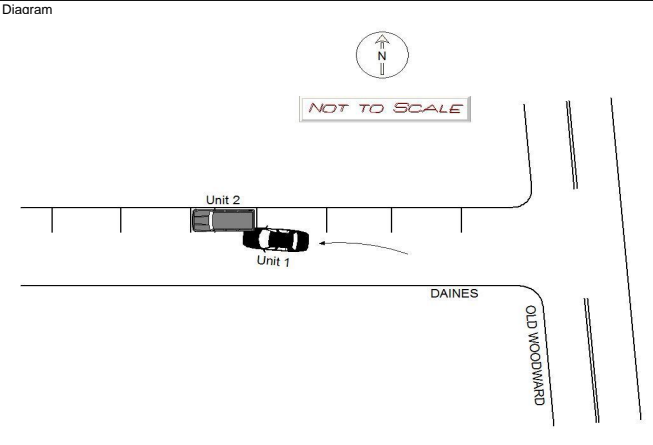
Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (72)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action Careless Driving
Unit Type MV	Driver Information ##### ##### ROYAL OAK, MI 48067-2449 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt
Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted		Ejected	Trapped
Hospital NONE				Ambulance NONE					
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input checked="" type="radio"/> Hazardous <input type="radio"/> Other		
Vehicle Registration 6HXB2	State MI	Vehicle Description 2006	Year	Make FORD	Model FUSION	Color BLACK			
VIN 3FAFP08156R158593	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect		
Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash			
Insurance Company #####		Insurance Policy # #####				Towed By		Towed To	
Location of Greatest Damage 02	First Impact 02	Extent of Damage (Power Unit and/or Trailers) Functional Damage		Vehicle Direction W	Vehicle Use Private		Action Prior Going Straight Ahead		
Sequence of Events ● 18 - Parked Motor Vehicle		First		Second		Third		Fourth	

PASSENGERS	Passenger Information		Date of Birth (Age)		Sex	Position		Restraint
			Injury	Ejected	Trapped	Airbag Deployed		
	Hospital		Ambulance					
PASSENGERS	Passenger Information		Date of Birth (Age)		Sex	Position		Restraint
			Injury	Ejected	Trapped	Airbag Deployed		
	Hospital		Ambulance					

TRUCK/BUS	Carrier Information		USDOT		MC	MPSC		
			Driver's CDL Type		Endorsements OH OP OT ON OS OX	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other		
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####		Owner Information	
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Damaged Property	Public	Owner & Phone
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UNIT / DRIVER	Unit Number 02	Unit Known No	State Driver License Number #####		Date of Birth (Age) ##/##/####	License Type <input type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	Total Occupants 00	Hazardous Action
	Unit Type MV	Driver Information ##### ##### (###) ###-####				Driver is Owner No	Injury	Position		Restraint
	Driver Condition at Time of Crash 1st 2nd				Driver Distracted By Unknown		Ejected	Trapped	Airbag Deployed	
	Hospital NONE					Ambulance NONE				
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending	Test Results:		Interlock Device No	
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending	Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other	
	Vehicle Registration 4HNC91		State MI	Vehicle Description Year 2010		Make LEXUS	Model RX450H		Color GRAY	
	VIN JTJBC1BA8A2008829		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect	
	Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash			
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To	
Location of Greatest Damage 06		First Impact 06	Extent of Damage (Power Unit and/or Trailers) Functional Damage		Vehicle Direction W	Vehicle Use Private		Action Prior Parked		
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)										
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
TRUCK / BUS	Carrier Information				USDOT		MC	MPSC		
					Driver's CDL Type OH OP OT ON OS OX		CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other			
TRUCK / BUS	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID # Class #	
	OWNER INFORMATION ##### ##### #####, ## #####-#### (###) ###-####				OWNER INFORMATION					
WITNESS	Witness Information				Witness Information					
Investigated at Scene Yes		Reported Date (Time) 02/07/2019 (14:45)		1st Investigator Name (Badge) PEDERSEN (62)		2nd Investigator Name (Badge)		Photos No		
Narrative UNIT 1 WAS TRAVELING WEST ON DAINES FROM OLD WOODWARD WHEN IT STRUCK THE REAR OF THE PARKED UNIT 2. MINOR DAMAGE TO THE FRONT RIGHT OF U1 AND THE REAR LEFT OF U2.					Diagram 					



Authority: 1949 PA 300, Sec.257.622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 0976505  
Crash ID 1658762

Page 01 of 01  
File Class 93001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department				Incident # 190003160			
Crash Date 03/03/2019		Crash Time 15:22	No. of Units 02	Crash Type Sideswipe-Same	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile		
County 63 - Oakland		Traffic Control None		Relation to Roadway On the Road		Weather Clear		Area NON-FRWY Straight Roadway	
City/Twsp 80 - Birmingham		Contributing Circumstances 1st None		2nd		Light Daylight		Road Surface Condition Dry	
Total Lanes 03		Speed Limit 25		Posted Yes					
Work Zone (if applicable) Type Workers Present Activity Location									

LOCATION	Prefix E		Primary Road Name BROWN		Road Type ST		Suffix Divided Roadway	
	Distance / Direction 100 Feet W				Trafficway Not Physically Divided			
	Prefix OLD WOODWARD		Road Type AVE		Suffix Divided Roadway			

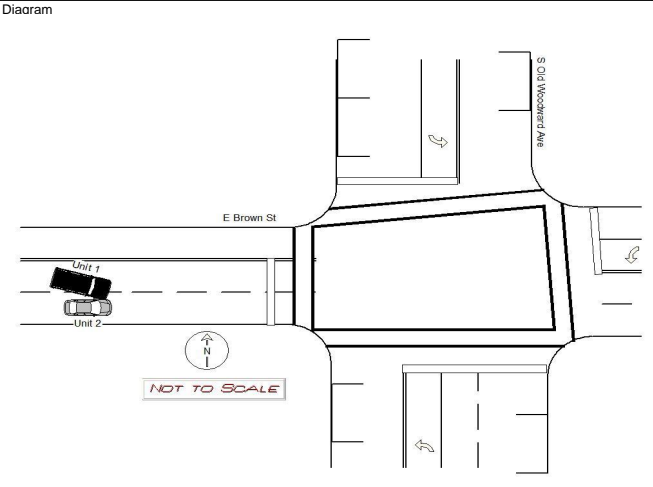
UNIT / DRIVER	Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (34)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 01	Hazardous Action Failed to Yield
	Unit Type MV	Driver Information ##### ##### CANTON, MI 48188 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt
	Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted		Ejected	Trapped
	Hospital NONE				Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No		
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input checked="" type="radio"/> Hazardous <input type="radio"/> Other		
	Vehicle Registration DQT6316		State MI	Vehicle Description 2019		Make CHEVROLET	Model TAHOE		Color BLACK	
	VIN 1GNSKAKC3KR252945		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect	
	Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash			
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To	
Location of Greatest Damage 03		First Impact 03	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction E	Vehicle Use Private		Action Prior Changing Lanes		
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)										

PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					

TRUCK / BUS	Carrier Information				USDOT		MC	MPSC	
					Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other	
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	
ID #		Class #							

OWNERS	Owner Information ##### ##### #####, ## ####-#### (###) ###-####				Owner Information			

Damaged Property		Public	Owner & Phone

UNIT / DRIVER	Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (84)	License Type ● Operator ○ Chauffeur ○ Moped	Endorsements ○ Cycle ○ Farm ○ Recreation	Sex F	Total Occupants 01	Hazardous Action None	
	Unit Type MV	Driver Information ##### ##### BIRMINGHAM, MI 48009 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt		
	Driver Condition at Time of Crash 1st Appeared Normal				Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed		
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type ○ Breath   ○ Blood   ○ Urine ○ Field   ○ PBT   ○ Refused   ● Not Offered			Alcohol Test Results ○ Pending	Test Results:	Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type ○ Blood   ○ Urine ○ Field   ○ Refused   ● Not Offered			Drug Test Results ○ Pending	Test Results:	Citation Issued ○ Hazardous ○ Other			
	Vehicle Registration DXQ9256	State MI	Vehicle Description Year 2012	Make HYUNDAI	Model ELANTRA	Color SILVER					
	VIN KMMDH4AE5CU305496	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect					
	Automation System(s) in Vehicle		Automation System Level in Vehicle			Automation System Level Engaged at Time of Crash					
	Insurance Company #####		Insurance Policy # #####			Towed By		Towed To			
Location of Greatest Damage 07	First Impact 07	Extent of Damage (Power Unit and/or Trailers) Functional Damage		Vehicle Direction E	Vehicle Use Private		Action Prior Going Straight Ahead				
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)											
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
TRUCK / BUS	Carrier Information				USDOT	MC	MPSC				
					Driver's CDL Type	Endorsements OH OP OT ON OS OX	CDL Exempt ○ Farm ○ Other				
	GVWR/GCWR ○ 10,000 lbs. or Less   ○ 10,001 - 26,000 lbs.   ○ Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material ○ Placard   ○ Cargo Spill		ID #	Class #	
OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information						
	Witness Information				Witness Information						
WITNESS	Investigated at Scene Yes				Reported Date (Time) 03/03/2019 (15:22)		1st Investigator Name (Badge) MCCANHAM (76)		2nd Investigator Name (Badge) HUSTED (53)		Photos No
	Narrative THE DRIVER OF UNIT 1 ATTEMPTED TO CHANGE LANES TO TURN SB ON OLD WOODWARD FROM BROWN. UNIT 2 WAS TRAVELING EB IN THE FAR RIGHT LANE OF BROWN. THE DRIVER OF UNIT 1 DID NOT SEE UNIT 2 AND STRUCK UNIT 2 CAUSING FUNCTIONAL DAMAGE TO BOTH VEHICLES. THERE WERE NO INJURIES IN THE CRASH. THE DRIVER OF UNIT 1 WAS ISSUED A CITATION FOR FAILING TO YIELD CAUSING AN ACCIDENT.										Diagram 

Authority: 1949 PA 300, Sec.257.622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External #  
0982647

Crash ID  
1675718

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File Class 93001

Incident #  
190004519

Reviewer  
KOCH (00006)

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department							
Crash Date 03/26/2019	Crash Time 15:19	No. of Units 02	Crash Type Angle	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile			
County 63 - Oakland	Traffic Control None	Relation to Roadway On the Road		Weather Clear		Area NON-FRWY Straight Roadway			
City/Twsp 80 - Birmingham	Contributing Circumstances 1st None		2nd		Light Daylight	Road Surface Condition Dry	Total Lanes 02	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type Workers Present Activity Location									

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 10 Feet N				
	Trafficway Not Physically Divided				
	Prefix HAZEL	Intersecting Road Name	Road Type ST	Suffix	Divided Roadway

UNIT / DRIVER	Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (76)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 01	Hazardous Action Improper Turn	
	Unit Type MV	Driver Information ##### BLOOMFIELD HILLS, MI 48302-2834 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
	Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results: Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results: Citation Issued <input checked="" type="radio"/> Hazardous <input type="radio"/> Other			
	Vehicle Registration DLW3810		State MI	Vehicle Description Year 2018		Make LINCOLN	Model MKC		Color GRAY		
	VIN 5LMTJ3DH1JUL18756		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect		
	Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash				
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To		
Location of Greatest Damage 01		First Impact 01	Extent of Damage (Power Unit and/or Trailers) Functional Damage		Vehicle Direction W	Vehicle Use Private		Action Prior Making U-Turn			
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)											

PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
					Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance			
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
					Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance			

TRUCK / BUS	Carrier Information				USDOT		MC	MPSC
					Driver's CDL Type OH OP OT ON OS OX		CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other	
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information			

Damaged Property		Public	Owner & Phone



UNIT / DRIVER	Unit Number	02	Unit Known	Yes	State	MI	Driver License Number	#####	Date of Birth (Age)	###/###/#### (58)	License Type	<input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements	<input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	M	Total Occupants	01	Hazardous Action	None		
	Unit Type	MV	Driver Information							Driver is Owner	Injury	O	Position	Front - Left	Restraint							
	##### ##### ROYAL OAK, MI 48073-2250 (###) ###-####																					
	Driver Condition at Time of Crash							1st		2nd		Driver Distracted By		Ejected	Trapped	Airbag Deployed						
	Appeared Normal											Not Distracted				Not Deployed						
	Hospital							NONE		Ambulance							NONE					
	Alcohol Suspected	No	Contributing Factor	No	Alcohol Test Type		<input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered		Alcohol Test Results		O Pending		Test Results:		Interlock Device							
	No		No		Drug Test Type		<input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered		Drug Test Results		O Pending		Test Results:		Citation Issued							
	No		No		O Blood <input type="radio"/> O Urine		O Field <input type="radio"/> O Refused <input checked="" type="radio"/> Not Offered		O Pending		Test Results:		O Hazardous O Other									
	Vehicle Registration		BXJ9179		State	MI	Vehicle Description		Year	2015	Make	HONDA		Model		Color						
VIN		19XFB2F95FE058319		Vehicle Type		Passenger Car, SUV, Van		Special Vehicles		Not Applicable		Private Trailer Type		Vehicle Defect								
Automation System(s) in Vehicle				Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash														
Insurance Company		#####		Insurance Policy #		#####		Towed By				Towed To										
Location of Greatest Damage		07		First Impact	07		Extent of Damage (Power Unit and/or Trailers)		Functional Damage		Vehicle Direction		S		Vehicle Use		Private		Action Prior		Going Straight Ahead	
Sequence of Events		First		● 17 - Motor Veh in Transport		Second		Third		Fourth												
● indicates MOST harmful event)																						
PASSENGERS	Passenger Information							Date of Birth (Age)		Sex	Position	Restraint										
	Hospital									Ambulance												
	Passenger Information							Date of Birth (Age)		Sex	Position	Restraint										
Hospital									Ambulance													
TRUCK / BUS	Carrier Information							USDOT		MC	MPSC											
								Driver's CDL Type		Endorsements		CDL Exempt										
										<input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X		<input type="radio"/> Farm <input type="radio"/> Other										
GVWR/GCWR							Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material		ID #	Class #						
<input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.													<input type="radio"/> Placard <input type="radio"/> Cargo Spill									
OWNERS	Owner Information							Owner Information														
	##### ##### #####, ## #####-#### (###) ###-####																					
WITNESS	Witness Information							Witness Information														
Investigated at Scene		Yes		Reported Date (Time)		03/26/2019 (15:19)		1st Investigator Name (Badge)		PEDERSEN (62)		2nd Investigator Name (Badge)				Photos		No				
Narrative										Diagram												
UNIT 1 WAS TRAVELING NORTHBOUND OLD WOODWARD. \NUIT 2 WAS TRAVELING SOUTHBOUND OLD WOODWARD. \NU1 MADE AN IMPROPER U-TURN IN AN ATTEMPT TO PARK IN SOUTHBOUND PARKING SPACES ON THE WEST SIDE OF THE STREET AND STRUCK THE ONCOMING U2. \NNDAMAGE TO FRONT OF U1 AND ENTIRE LEFT SIDE OF U2.\NNPOSTED "NO U-TURNS." \NDRIVER OF U1 CITED FOR CAUSING ACCIDENT.																						

Authority: 1949 PA 300, Sec.257.622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 0983775  
Crash ID 1679705

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File Class 93001

Incident # 190004809

Reviewer BUNTING (00003)

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department										
Crash Date 03/30/2019	Crash Time 22:06	No. of Units 02	Crash Type Angle	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeting Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal			Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile					
County 63 - Oakland		Traffic Control None		Relation to Roadway On the Road		Weather Sleet / Hail		Area INTR Within Intersection				
City/Twsp 80 - Birmingham		Contributing Circumstances 1st None		2nd		Light Dark-Lighted		Road Surface Condition Snow		Total Lanes 02	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type Workers Present Activity Location												

LOCATION	Prefix E	Primary Road Name BROWN	Road Type ST	Suffix	Divided Roadway
	Distance / Direction 20 Feet E				
	Trafficway Not Physically Divided				
UNIT / DRIVER	Prefix	Intersecting Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway

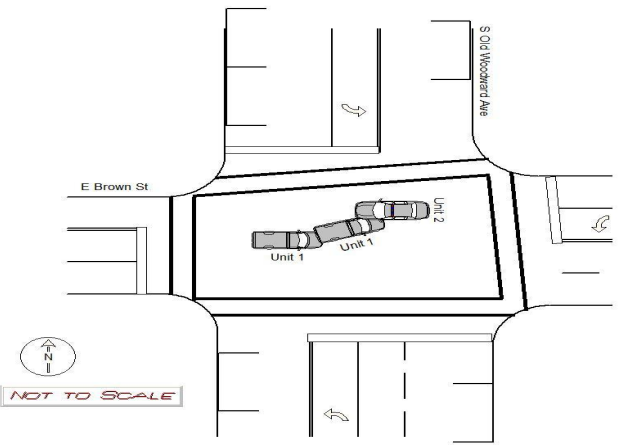
Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/##/#### (18)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 04	Hazardous Action Failed to Yield			
Unit Type MV	Driver Information ##### ##### CLINTON TOWNSHIP, MI 48038-4753 (###) ###-####				Driver is Owner No	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt			
Driver Condition at Time of Crash 1st Appeared Normal					2nd		Driver Distracted By Unknown		Ejected <input type="checkbox"/>	Trapped <input type="checkbox"/>	Airbag Deployed Not Deployed	
Hospital NONE		Ambulance NONE										
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results:		Interlock Device No			
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results:		Citation Issued <input checked="" type="radio"/> Hazardous <input type="radio"/> Other			
Vehicle Registration DZG3984	State MI	Vehicle Description 2018	Year	Make FORD	Model F150	Color WHITE						
VIN 1FTEW1EP5JFD33258		Vehicle Type Pickup Truck	Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect					
Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash						
Insurance Company #####		Insurance Policy # #####				Towed By 19BC01922		Towed To				
Location of Greatest Damage 02	First Impact 02	Extent of Damage (Power Unit and/or Trailers) Disabling Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Turning Left					
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)												

PASSENGERS	Passenger Information ##### ##### EAST LANSING, MI 48825-3800 (###) ###-####				Date of Birth (Age) ###/##/#### (18)	Sex M	Position 2nd Row - Right	Restraint Restraint Use Unknown	
					Injury O	Ejected <input type="checkbox"/>	Trapped <input type="checkbox"/>	Airbag Deployed Not Deployed	
	Hospital NONE				Ambulance NONE				
	Passenger Information ##### ##### WARREN, MI 48091-6513 (###) ###-####				Date of Birth (Age) ###/##/#### (18)	Sex M	Position Front - Right	Restraint Shoulder and Lap Belt	
				Injury O	Ejected <input type="checkbox"/>	Trapped <input type="checkbox"/>	Airbag Deployed Not Deployed		
Hospital NONE				Ambulance NONE					

TRUCK/BUS	Carrier Information				USDOT		MC	MPSC	
					Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other	
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information ##### ##### #####				Owner Information			
	#####				#####			

Damaged Property	Public	Owner & Phone
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UNIT / DRIVER	Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (25)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action None
	Unit Type MV	Driver Information ##### ON DUTY, MI 99999 (###) ###-####				Driver is Owner No	Injury C	Position Front - Left		Restraint Shoulder and Lap Belt
	Driver Condition at Time of Crash 1st Appeared Normal				Driver Distracted By 2nd Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed	
	Hospital WILLIAM BEAUMONT HOSPITAL					Ambulance BIRMINGHAM FIRE DEPT				
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending	Test Results:		Interlock Device No	
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending	Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other	
	Vehicle Registration 022X813	State MI	Vehicle Description Year 2013	Make CHEVROLET	Model CAPRICE	Color BLACK				
	VIN 6G1MK5U27DL829703	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Police Vehicle	Private Trailer Type	Vehicle Defect				
	Automation System(s) in Vehicle		Automation System Level in Vehicle			Automation System Level Engaged at Time of Crash				
	Insurance Company #####		Insurance Policy # #####			Towed By BOB ADAMS TOWING		Towed To		
Location of Greatest Damage 08	First Impact 08	Extent of Damage (Power Unit and/or Trailers) Disabling Damage		Vehicle Direction W	Vehicle Use Other Government		Action Prior Going Straight Ahead			
Sequence of Events First ● 17 - Motor Veh in Transport ● indicates MOST harmful event										
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
TRUCK / BUS	Carrier Information				USDOT	MC	MPSC			
					Driver's CDL Type OH OP OT ON OS OX	Endorsements <input type="radio"/> Farm <input type="radio"/> Other	CDL Exempt			
OWNERS	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.				Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #	Class #
	Owner Information				Owner Information					
WITNESS	Witness Information ##### ##### #####, ## #####-#### (###) ###-####				Witness Information					
Investigated at Scene Yes		Reported Date (Time) 03/30/2019 (22:06)		1st Investigator Name (Badge) BUNTING (003)		2nd Investigator Name (Badge)		Photos No		
Narrative OFFICER HILL WAS TRAVELING IN PATROL CAR #565 (UNIT #2), WESTBOUND ON BROWN AT OLD WOODWARD. OFFICER HILL WAS PROCEEDING THROUGH A GREEN LIGHT WHILE TRAVELING WESTBOUND ON BROWN THROUGH THE OLD WOODWARD INTERSECTION. \NNAS OFFICER HILL WAS TRAVELING THROUGH THE INTERSECTION HIS PATROL CAR WAS STRUCK BY UNIT #1. UNIT #1 WAS TRAVELING EASTBOUND ON BROWN, AND TURNING LEFT ONTO NORTHBOUND OLD WOODWARD. WHEN UNIT #1 PROCEEDED TO MAKE A LEFT TURN ONTO NORTHBOUND OLD WOODWARD, UNIT #1 STRUCK THE DRIVER'S SIDE FRONT TIRE AREA OF PATROL CAR #565. \NNTHE DAMAGE ON THE PATROL CAR WAS DISABLING. THE DAMAGE ON THE PICK-UP TRUCK WAS DISABLING. \NN* AHMAD BERRO, IS AN INDEPENDENT WITNESS THAT SAW THE ACCIDENT OCCUR. BERRO'S INFORMATION IS ATTACHED TO THIS REPORT. \NNBOTH VEHICLES WERE TOWED AND TAKEN TO BY BOB ADAMS. PICTURES WERE TAKEN OF THE ACCIDENT SCENE AND ARE ATTACHED.					Diagram 					



Authority: 1949 PA 300, Sec.257-622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External #  
0990191

Crash ID  
1698851

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File Class 93001

Incident #  
190006264

Reviewer  
KOCH (00006)

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department							
Crash Date 04/26/2019	Crash Time 13:06	No. of Units 02	Crash Type Angle	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile			
County 63 - Oakland	Traffic Control Signal		Relation to Roadway On the Road		Weather Cloudy		Area NON-FRWY Straight Roadway		
City/Twsp 80 - Birmingham	Contributing Circumstances 1st None		2nd		Light Daylight	Road Surface Condition Dry	Total Lanes 04	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type Workers Present Activity Location									

LOCATION	Prefix E	Primary Road Name BROWN	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 10 Feet W				
	Trafficway Not Physically Divided				
	Prefix S	Intersecting Road Name OLD WOODWARD	Road Type ST	Suffix	Divided Roadway

UNIT / DRIVER	Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (87)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action Failed to Yield	
	Unit Type MV	Driver Information ##### SOUTHFIELD, MI 48034-4639 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
	Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results: Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results: Citation Issued <input checked="" type="radio"/> Hazardous <input type="radio"/> Other			
	Vehicle Registration DXK9825		State MI	Vehicle Description 2017		Make LINCOLN	Model		Color BLUE		
	VIN 3LN6L5F9XHR659022		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect		
	Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash				
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To		
Location of Greatest Damage 08		First Impact 08	Extent of Damage (Power Unit and/or Trailers) Functional Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Turning Left			
Sequence of Events First <input checked="" type="radio"/> 17 - Motor Veh in Transport ( <input checked="" type="radio"/> indicates MOST harmful event)											

PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
					Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance			
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
					Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance			

TRUCK / BUS	Carrier Information				USDOT	MC	MPSC	
					Driver's CDL Type	Endorsements OH OP OT ON OS OX	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other	
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information			

Damaged Property		Public	Owner & Phone

UNIT / DRIVER	Unit Number	02	Unit Known	Yes	State	MI	Driver License Number	#####	Date of Birth (Age)	###/###/#### (35)	License Type	<input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements	<input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	F	Total Occupants	02	Hazardous Action	None			
	Unit Type	MV	Driver Information							Driver is Owner	No	Injury	O	Position	Front - Left	Restraint							
	BLOOMFIELD HILLS, MI 48302-0684 (###) ###-####																						
	Driver Condition at Time of Crash									Driver Distracted By				Ejected	Trapped	Airbag Deployed							
	1st Appeared Normal									2nd Not Distracted								Not Deployed					
	Hospital										Ambulance												
	NONE										NONE												
	Alcohol Suspected	No	Contributing Factor	No	Alcohol Test Type				Alcohol Test Results				Test Results:				Interlock Device						
					<input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered				<input type="radio"/> Pending <input type="radio"/> Pending <input type="radio"/> Pending <input type="radio"/> Pending								No						
	Drug Suspected	No	Contributing Factor	No	Drug Test Type				Drug Test Results				Test Results:				Citation Issued						
				<input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered				<input type="radio"/> Pending <input type="radio"/> Pending <input type="radio"/> Pending <input type="radio"/> Pending								<input type="radio"/> Hazardous <input type="radio"/> Other							
Vehicle Registration	0LUU84	State	MI	Vehicle Description	Year	2016	Make	FORD	Model											Color	BLUE		
VIN	1FM5K8D88GGA84290			Vehicle Type	Passenger Car, SUV, Van			Special Vehicles	Not Applicable			Private Trailer Type				Vehicle Defect							
Automation System(s) in Vehicle				Automation System Level in Vehicle								Automation System Level Engaged at Time of Crash											
Insurance Company				Insurance Policy #				Towed By				Towed To											
#####				#####																			
Location of Greatest Damage	08	First Impact	08	Extent of Damage (Power Unit and/or Trailers)				Vehicle Direction		W		Vehicle Use				Private				Action Prior		Going Straight Ahead	
Sequence of Events				First				Second				Third				Fourth							
				<input checked="" type="radio"/> 17 - Motor Veh in Transport (• indicates MOST harmful event)																			
PASSENGERS	Passenger Information							Date of Birth (Age)	###/###/#### (35)	Sex	F	Position	Front - Right	Restraint									
	BLOOMFIELD HILLS, MI 48302-0684 (###) ###-####							Injury	O	Ejected		Trapped		Airbag Deployed									
													Not Deployed										
	Hospital							Ambulance															
	NONE							NONE															
TRUCK / BUS	Carrier Information							USDOT		MC		MPSC											
								Driver's CDL Type		Endorsements		CDL Exempt											
										<input type="radio"/> H <input type="radio"/> O <input type="radio"/> N		<input type="radio"/> P <input type="radio"/> S <input type="radio"/> X		<input type="radio"/> Farm <input type="radio"/> Other									
	GVWR/GCWR							Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material		ID #		Class #					
	<input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.													<input type="radio"/> Placard <input type="radio"/> Cargo Spill									
OWNERS	Owner Information							Owner Information															
	#####							#####															
WITNESS	Witness Information							Witness Information															
Investigated at Scene	No	Reported Date (Time)	04/26/2019 (13:06)		1st Investigator Name (Badge)		LT. C KOCH (06)		2nd Investigator Name (Badge)				Photos		No								
Narrative									Diagram														
V2 WAS WEST BOUND ON BROWN AT S OLD WOODWARD. V1 WAS TURNING NORTH FROM EAST BOUND BROWN TO S OLD WOODWARD. V1 HIT V2 IN THE LEFT FRONT END WITH HIS LEFT FRONT END. CITATION ISSUED TO V1.																							

Authority: 1949 PA 300, Sec.257.622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 0990845  
Crash ID 1702147

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File Class 93001

Incident # 190006390

Reviewer WALD (00016)

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department							
Crash Date 04/29/2019	Crash Time 12:35	No. of Units 02	Crash Type Sideswipe-Same	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile			
County 63 - Oakland	Traffic Control None	Relation to Roadway On the Road		Weather Rain		Area NON-FRWY Straight Roadway			
City/Twsp 80 - Birmingham	Contributing Circumstances 1st None		2nd		Light Daylight	Road Surface Condition Wet	Total Lanes 02	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type Workers Present Activity Location									

LOCATION	Prefix E	Primary Road Name BROWN	Road Type ST	Suffix	Divided Roadway
	Distance / Direction 200 Feet E				
	Trafficway Not Physically Divided				
	Prefix	Intersecting Road Name PURDY	Road Type ST	Suffix	Divided Roadway

UNIT / DRIVER	Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (31)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 01	Hazardous Action None	
	Unit Type MV	Driver Information ##### ##### OAK PARK, MI 48237-1773 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
	Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Deployed - Curtain
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results: Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results: Citation Issued <input type="radio"/> Hazardous <input checked="" type="radio"/> Other			
	Vehicle Registration DTS8732	State MI	Vehicle Description 2012	Year	Make FORD	Model		Color GRAY			
	VIN 3FAHP0HA9CR101673	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect			
	Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash				
	Insurance Company #####			Insurance Policy # #####			Towed By BOB ADAMS TOWING		Towed To		
Location of Greatest Damage 07	First Impact 07	Extent of Damage (Power Unit and/or Trailers) Disabling Damage		Vehicle Direction E	Vehicle Use Private		Action Prior Turning Left				
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)											

PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
					Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance			
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
					Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance			

TRUCK / BUS	Carrier Information				USDOT	MC	MPSC
					Driver's CDL Type	Endorsements OH OP OT ON OS OX	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.	Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information			
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Damaged Property	Public	Owner & Phone
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UNIT / DRIVER	Unit Number	02	Unit Known	Yes	State	MI	Driver License Number	#####	Date of Birth (Age)	###/###/#### (31)	License Type	<input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements	<input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	M	Total Occupants	01	Hazardous Action	None
	Unit Type	MV	Driver Information							Driver is Owner	Injury	O	Position	Front - Left	Restraint					
	##### ##### LAKE ORION, MI 48362-1935 (###) ###-####							Yes		O	Front - Left		Shoulder and Lap Belt							
	Driver Condition at Time of Crash								Driver Distracted By				Ejected	Trapped	Airbag Deployed					
	1st Appeared Normal								2nd Not Distracted						Not Deployed					
	Hospital								Ambulance											
	Alcohol Suspected		No		Contributing Factor		No		Alcohol Test Type				Alcohol Test Results		Interlock Device					
	No				No				<input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered				<input type="radio"/> Pending Test Results:		No					
	Drug Suspected		No		Contributing Factor		No		Drug Test Type				Drug Test Results		Citation Issued					
	No				No				<input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered				<input type="radio"/> Pending Test Results:		<input type="radio"/> Hazardous <input type="radio"/> Other					
Vehicle Registration			DSW0679		State	MI	Vehicle Description		Year	2017	Make	CHEVROLET		Model						
VIN			2GNALCEKXH6324171		Vehicle Type		Passenger Car, SUV, Van		Special Vehicles		Not Applicable		Private Trailer Type	Vehicle Defect						
Automation System(s) in Vehicle					Automation System Level in Vehicle					Automation System Level Engaged at Time of Crash										
Insurance Company					Insurance Policy #					Towed By					Towed To					
#####					#####					BOB ADAMS TOWING										
Location of Greatest Damage		02		First Impact	02		Extent of Damage (Power Unit and/or Trailers)		Disabling Damage		Vehicle Direction	E		Vehicle Use	Private		Action Prior			
																Going Straight Ahead				
Sequence of Events				First				Second				Third				Fourth				
				<input checked="" type="radio"/> 17 - Motor Veh in Transport																
				<input checked="" type="radio"/> indicates MOST harmful event																
PASSENGERS	Passenger Information								Date of Birth (Age)		Sex	Position		Restraint						
									Injury	Ejected	Trapped	Airbag Deployed								
	Hospital								Ambulance											
	Passenger Information								Date of Birth (Age)		Sex	Position		Restraint						
									Injury	Ejected	Trapped	Airbag Deployed								
Hospital								Ambulance												
TRUCK / BUS	Carrier Information								USDOT		MC	MPSC								
									Driver's CDL Type		Endorsements		CDL Exempt							
											<input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X		<input type="radio"/> Farm <input type="radio"/> Other							
GVWR/GCWR				<input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.				Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material		ID #		Class #		
														<input type="radio"/> Placard <input type="radio"/> Cargo Spill						
OWNERS	Owner Information								Owner Information											
	##### ##### #####, ## #####-#### (###) ###-####																			
WITNESS	Witness Information								Witness Information											
Investigated at Scene		Yes		Reported Date (Time)		04/29/2019 (12:35)		1st Investigator Name (Badge)		SYTS (66)		2nd Investigator Name (Badge)				Photos		No		
Narrative										Diagram										
UNIT 1 WAS EB ON BROWN STOPPED WAITING TO TURN INTO A PRIVATE DRIVE. UNIT 2 WAS TRAVELING EB BROWN APPROACHING UNIT 1. UNIT 1 SAID SHE WAS IN THE EB LANE WAITING FOR TRAFFIC TO CLEAR TO MAKE THE LEFT TURN. SHE ATTEMPTED TO TURN WHEN STRUCK BY UNIT 2 ON THE DRIVER-SIDE MIDDLE. UNIT 2 SAID UNIT 1 WAS NO LONGER IN THE LANE AND HE THOUGHT SHE WAS MERGING INTO THE ONCOMING SECOND LANE. UNIT 1 TURNED ALL OF A SUDDEN AND HE STRUCK UNIT 1. BASED ON ALL THE EVIDENCE BOTH SIDES WERE PLAUSIBLE. NO FAULT WAS GIVEN. REPORT FOR INSURANCE PURPOSES ONLY.																				

Authority: 1949 PA 300, Sec.257.622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 0993568  
Crash ID 1729604

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File Class 54001

Incident # 190006943

Reviewer LYON (00152)

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department						
Crash Date 05/08/2019	Crash Time 18:11	No. of Units 02	Crash Type Other	Special Circumstances <input type="radio"/> None <input type="radio"/> Fleeing Police <input checked="" type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile		
County 63 - Oakland	Traffic Control None	Relation to Roadway On the Road		Weather Clear		Area NON-FRWY Straight Roadway		
City/Twsp 80 - Birmingham	Contributing Circumstances 1st None 2nd		Light Daylight		Road Surface Condition Dry	Total Lanes 02	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type Workers Present Activity Location								

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 20 Feet NW				
	Trafficway Not Physically Divided				
UNIT / DRIVER	Prefix E	Intersecting Road Name BROWN	Road Type ST	Suffix	Divided Roadway

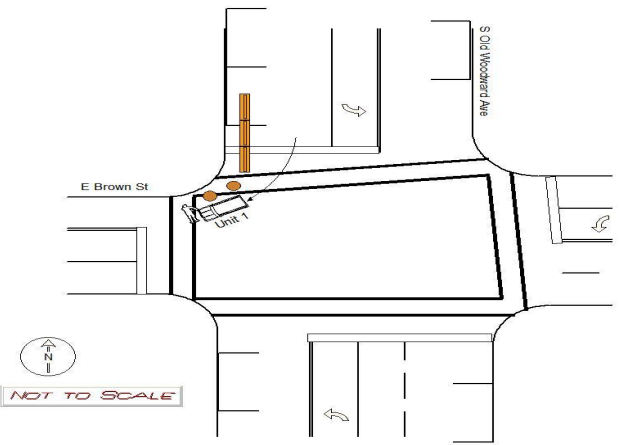
Unit Number 01	Unit Known No	State Driver License Number #####		Date of Birth (Age) ##/##/####	License Type <input type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	Total Occupants 01	Hazardous Action Unknown
Unit Type MV	Driver Information ##### ##### (###) ###-####				Driver is Owner No	Injury	Position	Restraint Restraint Use Unknown	
Driver Condition at Time of Crash 1st 2nd					Driver Distracted By Unknown		Ejected	Trapped	Airbag Deployed Unknown
Hospital NONE					Ambulance NONE				
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
Vehicle Registration EAU1105	State MI	Vehicle Description 2017	Make BMW	Model		Color WHITE			
VIN 5UXKT0C30H0V96761		Vehicle Type Passenger Car, SUV, Van	Special Vehicles Not Applicable	Private Trailer Type		Vehicle Defect			
Automation System(s) in Vehicle		Automation System Level in Vehicle			Automation System Level Engaged at Time of Crash				
Insurance Company #####		Insurance Policy # #####			Towed By		Towed To		
Location of Greatest Damage 02	First Impact 02	Extent of Damage (Power Unit and/or Trailers) No Damage		Vehicle Direction W	Vehicle Use Private		Action Prior Turning Right		
Sequence of Events ● First 15 - Pedestrian (● indicates MOST harmful event)									

PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
				Injury	Ejected	Trapped	Airbag Deployed
	Hospital			Ambulance			
	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
				Injury	Ejected	Trapped	Airbag Deployed
	Hospital			Ambulance			

TRUCK/BUS	Carrier Information			USDOT	MC	MPSC	
				Driver's CDL Type	Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other	
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.	Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information ##### ##### #####		Owner Information ##### ##### #####	
	#####, ## #####-#### (###) ###-####		#####, ## #####-#### (###) ###-####	

Damaged Property	Public	Owner & Phone
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UNIT / DRIVER	Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (65)	License Type <input type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 00	Hazardous Action None	
	Unit Type P	Driver Information ##### ##### BIRMINGHAM, MI 48009-2036 (###) ###-####				Driver is Owner No	Injury C	Position Pedestrian		Restraint No Belts Available	
	Driver Condition at Time of Crash 1st 2nd					Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Equipped	
	Hospital WILLIAM BEAUMONT HOSPITAL					Ambulance BIRMINGHAM FIRE DEPT					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending	Test Results:	Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending	Test Results:	Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other			
	Vehicle Registration		State	Vehicle Description		Year	Make	Model	Color		
	VIN		Vehicle Type		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect		
	Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash				
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To		
Location of Greatest Damage 11	First Impact 11	Extent of Damage (Power Unit and/or Trailers) No Damage		Vehicle Direction	Vehicle Use		Action Prior Going Straight Ahead				
Sequence of Events ● First ● 17 - Motor Veh in Transport		Second		Third		Fourth					
● indicates MOST harmful event)											
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
TRUCK / BUS	Carrier Information				USDOT		MC	MPSC			
					Driver's CDL Type	Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other				
OWNERS	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.				Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID # Class #	
	Owner Information				Owner Information						
WITNESS	Witness Information ##### ##### #####				Witness Information ##### ##### #####						
	#####, ## #####-#### (###) ###-####				#####, ## #####-#### (###) ###-####						
Investigated at Scene Yes		Reported Date (Time) 05/08/2019 (18:11)		1st Investigator Name (Badge) MANZO (64)		2nd Investigator Name (Badge)		Photos No			
Narrative UNIT 1 WAS TRAVELING S/B ON OLD WW NEAR BROWN. UNIT 2 WAS A PEDESTRIAN WALKING IN THE CROSSWALK, N/B ON OLD WW AT BROWN. UNIT 2 HAD A WALK SIGN AND BEGAN CROSSING THE STREET. UNIT 1 MADE A RIGHT TURN AND STRUCK UNIT 2'S ELBOW WITH THE PASSENGER SIDE MIRROR. UNIT 1 THEN LEFT THE AREA. A WITNESS CONTACTED BIPD AND PROVIDED HER ACCOUNT OF THE INCIDENT AND A POSSIBLE PLATE (MI/EAU1105). A PEDESTRIAN HAD VERY MINOR POSSIBLE INJURY TO HIS RIGHT ELBOW. BIPD ARRIVED ON SCENE AND TREATED HIM. PEDESTRIAN REQUESTED TO BE TRANSPORTED TO ROYAL OAK BEAUMONT. BIPD TRANSPORTED HIM. THE PLATE PROVIDED CAME BACK TO A MERCEDES TO AN INDIVIDUAL OUT OF BERKLEY. BERKLEY PD CHECKED THE RESIDENCE WITH NO SUCCESS. CLEMIS DID NOT HAVE ANY CONTACT INFORMATION FOR THE PLATE OR REGISTERED OWNER. NO UNIT 1 WAS CONTACTED AND ADVISED THAT THE VEHICLE WAS DROPPED OFF AT A VALET PRIOR TO THE ACCIDENT. THEREFORE A VALET WAS INVOLVED WITH THE BMW IN THE ACCIDENT. A HOUSE VALET COMPANY ADVISED OF THE INCIDENT ALONG WITH EMPLOYEES. IN HOUSE VALET PROVIDED INSURANCE INFORMATION FOR ACCIDENT. BIPD INVESTIGATION ON GOING. REFERENCE BIPD REPORT #19-6943.					Diagram 						



Authority: 1949 PA 300, Sec.257-622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External #  
1011221

Crash ID  
1760608

Page 01 of 02  
File Class 93001

Incident #  
190010616

Reviewer  
WALD (00016)

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department							
Crash Date 07/09/2019	Crash Time 16:55	No. of Units 03	Crash Type Rear End	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile			
County 63 - Oakland	Traffic Control Signal		Relation to Roadway On the Road		Weather Clear		Area NON-FRWY Straight Roadway		
City/Twsp 80 - Birmingham	Contributing Circumstances 1st None		2nd		Light Daylight	Road Surface Condition Dry	Total Lanes 03	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type Workers Present Activity Location									

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 15 Feet S				
	Trafficway Not Physically Divided				
	Prefix E	Intersecting Road Name BROWN	Road Type ST	Suffix	Divided Roadway

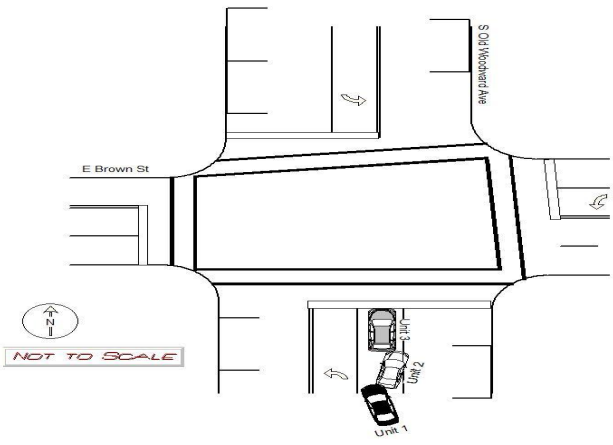
UNIT / DRIVER	Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (51)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action Unable to Stop	
	Unit Type MV	Driver Information ##### ##### ROYAL OAK, MI 48067-3754 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
	Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results: Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results: Citation Issued <input checked="" type="radio"/> Hazardous <input type="radio"/> Other			
	Vehicle Registration EBX7894		State MI	Vehicle Description 2016 LINCOLN		Make	Model MKX	Color BLACK			
	VIN 2LMTJ8LR7GBL80059		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect		
	Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash				
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To		
Location of Greatest Damage 02		First Impact 02	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Going Straight Ahead			
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)											

PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
					Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance			
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
					Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance			

TRUCK / BUS	Carrier Information				USDOT	MC	MPSC	
					Driver's CDL Type	Endorsements OH OP OT ON OS OX	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other	
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information			

Damaged Property		Public	Owner & Phone

UNIT / DRIVER	Unit Number <b>02</b>	Unit Known <b>Yes</b>	State <b>MI</b>	Driver License Number <b>#####</b>	Date of Birth (Age) <b>###/##/#### (49)</b>	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex <b>M</b>	Total Occupants <b>01</b>	Hazardous Action <b>None</b>	
	Unit Type <b>MV</b>	Driver Information <b>#####</b> <b>GROSSE POINTE, MI 48230-1503 (###) ###-####</b>				Driver is Owner <b>Yes</b>	Injury <b>O</b>	Position <b>Front - Left</b>	Restraint <b>Shoulder and Lap Belt</b>		
	Driver Condition at Time of Crash 1st <b>Appeared Normal</b>					Driver Distracted By <b>Not Distracted</b>		Ejected	Trapped	Airbag Deployed <b>Not Deployed</b>	
	Hospital <b>NONE</b>					Ambulance <b>NONE</b>					
	Alcohol Suspected <b>No</b>	Contributing Factor <b>No</b>	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending      Test Results:		Interlock Device <b>No</b>			
	Drug Suspected <b>No</b>	Contributing Factor <b>No</b>	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending      Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other			
	Vehicle Registration <b>ONLY01</b>	State <b>MI</b>	Vehicle Description <b>2013</b>	Year <b>2013</b>	Make <b>TOYOTA</b>	Model <b>PRIUS V</b>	Color <b>WHITE</b>				
	VIN <b>JTDZN3EU4D3202558</b>	Vehicle Type <b>Passenger Car, SUV, Van</b>		Special Vehicles <b>Not Applicable</b>		Private Trailer Type	Vehicle Defect				
	Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash				
	Insurance Company <b>#####</b>			Insurance Policy # <b>#####</b>			Towed By		Towed To		
Location of Greatest Damage <b>06</b>	First Impact <b>06</b>	Extent of Damage (Power Unit and/or Trailers) <b>Minor Damage</b>			Vehicle Direction <b>N</b>	Vehicle Use <b>Private</b>		Action Prior <b>Stopped on Roadway</b>			
Sequence of Events ● <b>17 - Motor Veh in Transport</b>					Second <b>17 - Motor Veh in Transport</b>		Third		Fourth		
● indicates MOST harmful event)											
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
TRUCK / BUS	Carrier Information				USDOT		MC	MPSC			
					Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other			
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #
OWNERS	Owner Information <b>#####</b> <b>#####</b> <b>#####, ## #####-#### (###) ###-####</b>				Owner Information						
WITNESS	Witness Information				Witness Information						
Investigated at Scene <b>No</b>	Reported Date (Time) <b>07/09/2019 (16:55)</b>	1st Investigator Name (Badge) <b>MOODY (26)</b>			2nd Investigator Name (Badge) <b>SYTS (66)</b>			Photos <b>No</b>			
Narrative DRIVER OF VEHICLE #1 STATED HE WAS ON NB OLD WOODWARD, APPROACHING BROWN, WHEN HE REAR ENDED VEHICLE #2, SENDING VEHICLE #2 INTO VEHICLE #3. DRIVER OF VEHICLE #1 STATED HE BELIEVED TRAFFIC STOPPED QUICKLY AND HE COULDN'T STOP IN TIME, BUT ALSO ADMITTED HE LOOKED BRIEFLY TO HIS LEFT BEFORE THE COLLISION. WINDRIVERS OF VEHICLES #2 AND #3 SAID TRAFFIC WAS COMPLETELY STOPPED FOR A RED LIGHT. WINDRIVERS OF VEHICLES #2 AND #3 SAID TRAFFIC WAS COMPLETELY STOPPED FOR A RED LIGHT. WINDRIVERS OF VEHICLES #2 AND #3 SAID TRAFFIC WAS COMPLETELY STOPPED FOR A RED LIGHT. WINDRIVER OF VEHICLE #2 LIVES IN MEXICO; HIS INFORMATION IS HIS PARENTS ADDRESS WHERE HE IS CURRENTLY VISITING.					Diagram 						

Authority: 1949 PA 300, Sec.257-622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External #  
1011221

Crash ID  
1760608

Page 02 of 02  
File Class 93001

Incident #  
190010616

Reviewer  
WALD (00016)

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department							
Crash Date 07/09/2019	Crash Time 16:55	No. of Units 03	Crash Type Rear End	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile			
County 63 - Oakland	Traffic Control Signal	Relation to Roadway On the Road		Weather Clear		Area NON-FRWY Straight Roadway			
City/Twsp 80 - Birmingham	Contributing Circumstances 1st None		2nd		Light Daylight	Road Surface Condition Dry	Total Lanes 03	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type Workers Present Activity Location									

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 15 Feet S				
	Trafficway Not Physically Divided				
	Prefix E	Intersecting Road Name BROWN	Road Type ST	Suffix	Divided Roadway

UNIT / DRIVER	Unit Number 03	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (29)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action None	
	Unit Type MV	Driver Information ##### ##### BLOOMFIELD HILLS, MI 48302-2052 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt		
	Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results:		Interlock Device No	
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other	
	Vehicle Registration DUR8347		State MI	Vehicle Description 2018		Make FORD	Model F150		Color		
	VIN 1FTEW1EP5JFB56291		Vehicle Type Pickup Truck		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect		
	Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash				
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To		
Location of Greatest Damage 04		First Impact 04	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Stopped on Roadway			
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)											

PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
					Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance			
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
					Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance			

TRUCK / BUS	Carrier Information				USDOT	MC	MPSC	
					Driver's CDL Type	Endorsements OH OP OT ON OS OX	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other	
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information			

Damaged Property		Public	Owner & Phone

UNIT / DRIVER	Unit Number	Unit Known	State	Driver License Number	Date of Birth (Age)	License Type <input type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	Total Occupants	Hazardous Action
	Unit Type	Driver Information				Driver is Owner	Injury	Position		Restraint
	Driver Condition at Time of Crash 1st2nd				Driver Distracted By		Ejected	Trapped	Airbag Deployed	
	Hospital					Ambulance				
	Alcohol Suspected	Contributing Factor	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending	Test Results:	Interlock Device		
	Drug Suspected	Contributing Factor	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending	Test Results:	Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
	Vehicle Registration	State	Vehicle Description	Year	Make	Model	Color			
	VIN	Vehicle Type		Special Vehicles		Private Trailer Type		Vehicle Defect		
	Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash			
	Insurance Company			Insurance Policy #			Towed By		Towed To	
	Location of Greatest Damage	First Impact	Extent of Damage (Power Unit and/or Trailers)		Vehicle Direction	Vehicle Use		Action Prior		
	Sequence of Events		First		Second		Third		Fourth	
	(● indicates MOST harmful event)									
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
TRUCK / BUS	Carrier Information				USDOT		MC	MPSC		
					Driver's CDL Type	Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other			
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID # Class #	
OWNERS	Owner Information				Owner Information					
WITNESS	Witness Information				Witness Information					
Investigated at Scene										
Reported Date (Time)		1st Investigator Name (Badge)			2nd Investigator Name (Badge)			Photos		
Narrative					Diagram					



Authority: 1949 PA 300, Sec.257.622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External #  
1021798

Crash ID  
1789909

Page 01 of 01  
File Class 93001

Incident #  
190012822

Reviewer  
LYON (00152)

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department							
Crash Date 08/14/2019	Crash Time 15:00	No. of Units 02	Crash Type Rear End	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile			
County 63 - Oakland	Traffic Control None		Relation to Roadway On the Road		Weather Clear		Area NON-FRWY Straight Roadway		
City/Twsp 80 - Birmingham	Contributing Circumstances 1st None		2nd		Light Daylight	Road Surface Condition Dry	Total Lanes 04	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type Workers Present Activity Location									

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 25 Feet S				
	Trafficway Not Physically Divided				
UNIT / DRIVER	Prefix E	Intersecting Road Name BROWN	Road Type ST	Suffix	Divided Roadway

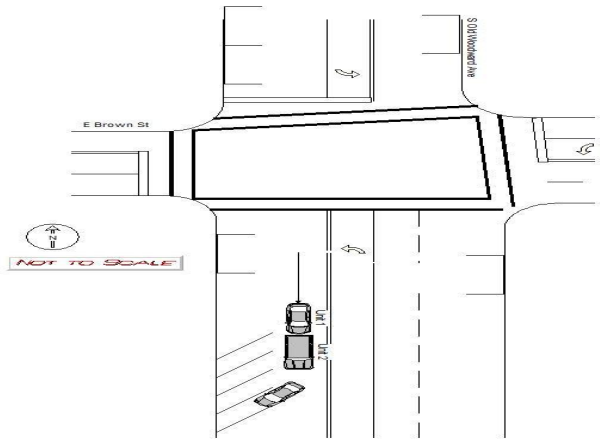
Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (18)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action Unable to Stop	
Unit Type MV	Driver Information ##### ##### OAK PARK, MI 48237-2101 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed
Hospital NONE					Ambulance NONE					
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results: Interlock Device No			
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results: Citation Issued <input checked="" type="radio"/> Hazardous <input type="radio"/> Other			
Vehicle Registration DRL6616	State MI	Vehicle Description 2002	Make FORD	Model MUSTANG	Color SILVER					
VIN 1FAPF44432F174936		Vehicle Type Passenger Car, SUV, Van	Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect					
Automation System(s) in Vehicle		Automation System Level in Vehicle			Automation System Level Engaged at Time of Crash					
Insurance Company #####		Insurance Policy # #####			Towed By		Towed To			
Location of Greatest Damage 01	First Impact 01	Extent of Damage (Power Unit and/or Trailers) Functional Damage		Vehicle Direction S	Vehicle Use Private		Action Prior Going Straight Ahead			
Sequence of Events ● 17 - Motor Veh in Transport										
● indicates MOST harmful event)										

PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
				Injury	Ejected	Trapped	Airbag Deployed
	Hospital			Ambulance			
	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
TRUCK/BUS				Injury	Ejected	Trapped	Airbag Deployed
	Hospital			Ambulance			

Carrier Information	USDOT	MC	MPSC			
Driver's CDL Type		Endorsements OH OP OT ON OS OX	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other			
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.	Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #	Class #

Owner Information ##### ##### #####, ## #####-#### (###) ###-####	Owner Information
--	-------------------

Damaged Property	Public	Owner & Phone
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UNIT / DRIVER	Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (68)	License Type ● Operator ○ Chauffeur ○ Moped	Endorsements ○ Cycle ○ Farm ○ Recreation	Sex F	Total Occupants 01	Hazardous Action None
	Unit Type MV	Driver Information ##### ##### BIRMINGHAM, MI 48009-1389 (###) ###-####				Driver is Owner Yes	Injury C	Position Front - Left	Restraint Shoulder and Lap Belt	
	Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted		Ejected	Trapped
	Hospital NONE				Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type ○ Breath   ○ Blood   ○ Urine ○ Field   ○ PBT   ○ Refused   ● Not Offered			Alcohol Test Results ○ Pending   Test Results:		Interlock Device No		
	Drug Suspected No	Contributing Factor No	Drug Test Type ○ Blood   ○ Urine ○ Field   ○ Refused   ● Not Offered			Drug Test Results ○ Pending   Test Results:		Citation Issued ○ Hazardous ○ Other		
	Vehicle Registration DPQ9906	State MI	Vehicle Description Year 2017	Make FORD	Model ESCAPE	Color SILVER				
	VIN 1FMCU9GD4HUB87774	Vehicle Type Passenger Car, SUV, Van	Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect					
	Automation System(s) in Vehicle		Automation System Level in Vehicle			Automation System Level Engaged at Time of Crash				
	Insurance Company #####		Insurance Policy # #####			Towed By		Towed To		
Location of Greatest Damage 05	First Impact 05	Extent of Damage (Power Unit and/or Trailers) Functional Damage		Vehicle Direction S	Vehicle Use Private		Action Prior Stopped on Roadway			
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)										
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint		
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint		
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
TRUCK / BUS	Carrier Information				USDOT		MC	MPSC		
					Driver's CDL Type	Endorsements OH ○ P ○ T ON ○ S ○ X	CDL Exempt ○ Farm ○ Other			
	GVWR/GCWR ○ 10,000 lbs. or Less   ○ 10,001 - 26,000 lbs.   ○ Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material ○ Placard   ○ Cargo Spill		ID #	Class #
OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information					
	Witness Information				Witness Information					
WITNESS	Investigated at Scene No	Reported Date (Time) 08/15/2019 (17:44)	1st Investigator Name (Badge) SYTS (66)		2nd Investigator Name (Badge)		Photos No			
	Narrative UNIT 2 WAS SB S OLD WOODWARD SOUTH OF BROWN STOPPED ON THE ROADWAY WAITING FOR PARKING TO BACK OUT. UNIT 1 WAS FOLLOWING BEHIND UNIT 2 AND REAR-ENDED UNIT 1. UNIT 1 INCURRED FRONT CENTER DAMAGE. UNIT 2 INCURRED REAR-CENTER DAMAGE. THE DRIVER OF UNIT 2 SAID SHE HAD A SORE NECK AND WENT TO THE DOCTOR FOR IT. THE DRIVER OF UNIT 1 WAS ISSUED A VIOLATION FOR FTSWACDA.				Diagram 					

Authority: 1949 PA 300, Sec.257-622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 1022873  
Crash ID 1793125

Page 01 of 01  
File Class 93001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department		Incident # 190013058	
Crash Date 08/19/2019		Crash Time 19:38		No. of Units 01	
Crash Type Single Motor Vehicle		Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile	
County 63 - Oakland		Traffic Control Signal		Relation to Roadway Sidewalk	
City/Twsp 80 - Birmingham		Contributing Circumstances 1st None 2nd		Weather Clear	
Work Zone (if applicable) Type		Workers Present		Activity	
Location		Road Surface Condition Dry		Total Lanes 03	
Speed Limit 25		Posted Yes		Area NON-FRWY Straight Roadway	

Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
Distance / Direction 10 Feet N		Trafficway Not Physically Divided		
Prefix E	Intersecting Road Name BROWN	Road Type ST	Suffix	Divided Roadway

Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (16)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 02	Hazardous Action Improper Lane Use
Unit Type MV	Driver Information ##### ##### ROYAL OAK, MI 48073-3865 (###) ###-####				Driver is Owner No	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt	
Driver Condition at Time of Crash 1st Appeared Normal 2nd				Driver Distracted By Unknown		Ejected	Trapped	Airbag Deployed Not Deployed	
Hospital NONE		Ambulance NONE							
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
Vehicle Registration DMA6443	State MI	Vehicle Description 2015	Make KIA	Model SORENTO	Color RED				
VIN 5XYKTC64FG571787	Vehicle Type Passenger Car, SUV, Van	Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect					
Automation System(s) in Vehicle		Automation System Level in Vehicle			Automation System Level Engaged at Time of Crash				
Insurance Company #####		Insurance Policy # #####			Towed By BOB ADAMS TOWING		Towed To		
Location of Greatest Damage 02	First Impact 02	Extent of Damage (Power Unit and/or Trailers) Disabling Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Turning Right		
Sequence of Events First ● 43 - Fire Hydrant		Second		Third		Fourth			

Passenger Information ##### ##### ROYAL OAK, MI 48067-3663 (###) ###-####	Date of Birth (Age) ###/###/#### (16)	Sex M	Position Front - Right	Restraint Shoulder and Lap Belt
Injury O	Ejected	Trapped	Airbag Deployed Not Deployed	
Hospital NONE		Ambulance NONE		
Passenger Information	Date of Birth (Age)	Sex	Position	Restraint
Injury	Ejected	Trapped	Airbag Deployed	
Hospital		Ambulance		

Carrier Information	USDOT	MC	MPSC
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.	Vehicle Configuration	Cargo Body Type	Medical Card
Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #

Owner Information ##### ##### #####	Owner Information #####
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Damaged Property	Public	Owner & Phone
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UNIT / DRIVER	Unit Number	Unit Known	State	Driver License Number	Date of Birth (Age)	License Type <input type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	Total Occupants	Hazardous Action		
	Unit Type	Driver Information				Driver is Owner	Injury	Position	Restraint			
	Driver Condition at Time of Crash 1st 2nd				Driver Distracted By			Ejected	Trapped	Airbag Deployed		
	Hospital					Ambulance						
	Alcohol Suspected	Contributing Factor	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending	Test Results:	Interlock Device				
	Drug Suspected	Contributing Factor	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending	Test Results:	Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other				
	Vehicle Registration	State	Vehicle Description	Year	Make	Model	Color					
	VIN	Vehicle Type		Special Vehicles			Private Trailer Type	Vehicle Defect				
	Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash					
	Insurance Company			Insurance Policy #			Towed By		Towed To			
	Location of Greatest Damage	First Impact	Extent of Damage (Power Unit and/or Trailers)			Vehicle Direction	Vehicle Use		Action Prior			
	Sequence of Events First		Second			Third		Fourth				
	● indicates MOST harmful event)											
	PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint			
				Injury	Ejected	Trapped	Airbag Deployed					
Hospital					Ambulance							
Passenger Information				Date of Birth (Age)	Sex	Position	Restraint					
				Injury	Ejected	Trapped	Airbag Deployed					
Hospital					Ambulance							
TRUCK / BUS	Carrier Information				USDOT		MC	MPSC				
					Driver's CDL Type	Endorsements OH OP OT ON OS OX	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other					
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #		
OWNERS	Owner Information				Owner Information							
WITNESS	Witness Information				Witness Information							
Investigated at Scene	Yes	Reported Date (Time)	08/19/2019 (19:38)		1st Investigator Name (Badge)		MCINTYRE (74)		2nd Investigator Name (Badge)		Photos	No
<b>Narrative</b> UNIT 1 WAS TRAVELING W/B ON BROWN, APPROACHING OLD WOODWARD. \NUNIT 1 TURNED RIGHT TO GO N/B ON OLD WOODWARD, FROM BROWN.\NUNIT 1 TURNED TOO SHARPLY AND STRUCK THE FIRE HYDRANT ON THE N/E CORNER OF OLD WOODWARD AND BROWN.\NNDRIVER OF UNIT 1 STATED HE JUST TURNED TOO SHARPLY, AND WAS NOT DISTRACTED. \NNTHERE WAS DAMAGE TO THE FRONT, RIGHT OF UNIT 1.\NNTHE FIRE HYDRANT APPEARED TO NOT BE DAMAGED. \NNDPS AND THE FIRE DEPARTMENT WERE NOTIFIED TO CHECK THE FIRE HYDRANT FOR POSSIBLE DAMAGE.					<b>Diagram</b> 							



Page 01 of 01  
File Class 54001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department							Reviewer KOCH (00006)			
Crash Date 10/22/2019		Crash Time 11:27	No. of Units 02	Crash Type Sideswipe-Opposite		Special Circumstances <input type="radio"/> None <input checked="" type="radio"/> Hit and Run <input type="radio"/> School Bus <input type="radio"/> Fleeing Police <input type="radio"/> Unknown <input type="radio"/> Animal			Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile			
County 63 - Oakland		Traffic Control None			Relation to Roadway On the Road		Weather Clear		Area NON-FRWY Straight Roadway			
City/Twsp 80 - Birmingham		Contributing Circumstances 1st Unknown                      2nd				Light Daylight		Road Surface Condition Dry		Total Lanes 03	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type                      Workers Present                      Activity                      Location												

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 50 Feet N		Trafficway Not Physically Divided		
	Prefix E	Intersecting Road Name BROWN	Road Type ST	Suffix	Divided Roadway

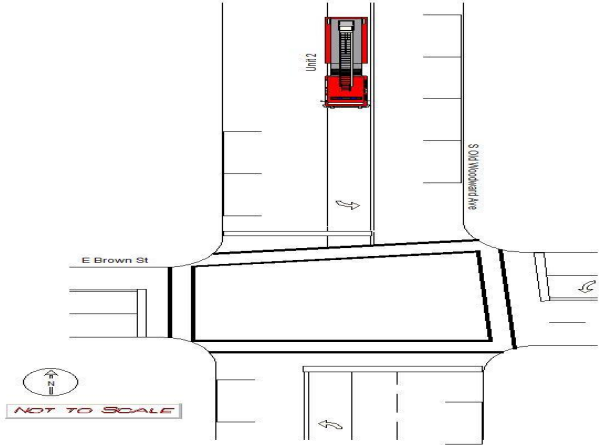
Unit Number 01	Unit Known No	State Driver License Number #####	Date of Birth (Age) ###/###/####	License Type ○ Operator ○ Chauffeur ○ Moped	Endorsements ○ Cycle ○ Farm ○ Recreation	Sex	Total Occupants	Hazardous Action Unknown
Unit Type MV	Driver Information ##### ##### (###) ###-####			Driver is Owner No	Injury	Position		Restraint Restraint Use Unknown
Driver Condition at Time of Crash 1st 2nd				Driver Distracted By Unknown		Ejected	Trapped	Airbag Deployed Unknown
Hospital NONE				Ambulance NONE				
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type ○ Breath   ○ Blood   ○ Urine ○ Field   ○ PBT   ○ Refused   ○ Not Offered		Alcohol Test Results ○ Pending   Test Results:		Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type ○ Blood   ○ Urine ○ Field   ○ Refused   ○ Not Offered		Drug Test Results ○ Pending   Test Results:		Citation Issued ○ Hazardous ○ Other		
Vehicle Registration		State	Vehicle Description	Year	Make	Model		Color
VIN		Vehicle Type		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect
Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash		
Insurance Company #####			Insurance Policy # #####			Towed By		Towed To
Location of Greatest Damage   11		First Impact 11	Extent of Damage (Power Unit and/or Trailers) Unknown		Vehicle Direction		Vehicle Use	
Sequence of Events (● indicates MOST harmful event)		First ● 17 - Motor Veh in Transport		Second		Third		Fourth

PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position		Restraint	
				Injury	Ejected	Trapped	Airbag Deployed		
	Hospital					Ambulance			
	Passenger Information			Date of Birth (Age)	Sex	Position		Restraint	
				Injury	Ejected	Trapped	Airbag Deployed		
	Hospital					Ambulance			

TRUCK/BUS	Carrier Information			USDOT			MC		MPSC			
				Driver's CDL Type		Endorsements <input type="checkbox"/> H <input type="checkbox"/> P <input type="checkbox"/> T <input type="checkbox"/> N <input type="checkbox"/> S <input type="checkbox"/> X		CDL Exempt <input type="checkbox"/> Farm <input type="checkbox"/> Other				
	GVWR/GCWR <input type="checkbox"/> 10,000 lbs. or Less <input type="checkbox"/> 10,001 - 26,000 lbs. <input type="checkbox"/> Greater than 26,000 lbs.			Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material <input type="checkbox"/> Placard <input type="checkbox"/> Cargo Spill		ID #

OWNERS	Owner Information	Owner Information

Damaged Property	Public	Owner & Phone
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UNIT / DRIVER	Unit Number 02	Unit Known No	State Driver License Number #####		Date of Birth (Age) ###/###/####	License Type O Operator O Chauffeur O Moped	Endorsements O Cycle O Farm O Recreation	Sex	Total Occupants 00	Hazardous Action
	Unit Type MV	Driver Information ##### ##### (###) ###-####				Driver is Owner No	Injury	Position		Restraint
	Driver Condition at Time of Crash 1st 2nd				Driver Distracted By Unknown		Ejected	Trapped	Airbag Deployed	
	Hospital NONE				Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type O Breath O Blood O Urine O Field O PBT O Refused O Not Offered			Alcohol Test Results O Pending	Test Results:		Interlock Device No	
	Drug Suspected No	Contributing Factor No	Drug Test Type O Blood O Urine O Field O Refused O Not Offered			Drug Test Results O Pending	Test Results:		Citation Issued O Hazardous O Other	
	Vehicle Registration MI		Vehicle Description PIERCE	Year	Make PIERCE	Model	Color RED			
	VIN 4P1CV01A0CA012709		Vehicle Type Other	Special Vehicles Not Applicable		Private Trailer Type	Vehicle Defect			
	Automation System(s) in Vehicle		Automation System Level in Vehicle			Automation System Level Engaged at Time of Crash				
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To	
Location of Greatest Damage 07		First Impact 07	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction S	Vehicle Use Other Government		Action Prior Parked		
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)										
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
TRUCK / BUS	Carrier Information				USDOT		MC	MPSC		
					Driver's CDL Type	Endorsements OH OP OT ON OS OX	CDL Exempt O Farm O Other			
	GVWR/GCWR O 10,000 lbs. or Less O 10,001 - 26,000 lbs. O Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material O Placard O Cargo Spill		ID # Class #	
OWNERS	Owner Information				Owner Information					
WITNESS	Witness Information				Witness Information					
Investigated at Scene Yes		Reported Date (Time) 10/22/2019 (11:27)		1st Investigator Name (Badge) S. BARONE (65)		2nd Investigator Name (Badge)		Photos No		
Narrative UNIT 2 BEING A BIFD PIERCE FIRE TRUCK (ENGINE 12) WAS PARKED AND UNOCCUPIED FACING SOUTHBOUND IN THE CENTER TURN LANE ON S OLD WOODWARD BETWEEN BROWN AND MERRILL. UNIT 2 DRIVER SIDE MIRROR WAS STRUCK BY UNKNOWN VEHICLE (UNIT 1). THEIR WAS DAMAGE TO UNIT 2 DRIVER SIDE MIRROR. BIPD CCTV AND BUSINESS CAMERAS WERE CHECKED WITH NEGATIVE RESULTS. NO PAINT TRANSFER OBSERVED ON UNIT 2 MIRROR.					Diagram 					

Authority: 1949 PA 300, Sec.257.622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External #  
1058348

Crash ID  
1906353

Page 01 of 01  
File Class 93001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department				Incident # 190019241			
Crash Date 12/07/2019		Crash Time 00:19	No. of Units 02	Crash Type Backing		Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Hit and Run <input type="radio"/> Fleeing Police <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile	
County 63 - Oakland		Traffic Control None		Relation to Roadway On-Street Parking		Weather Clear		Area NON-FRWY Legal Parking	
City/Twsp 80 - Birmingham		Contributing Circumstances 1st None		2nd		Light Dark-Lighted		Road Surface Condition Dry	
Work Zone (if applicable) Type		Workers Present		Activity		Location			

LOCATION	Prefix		Primary Road Name 210 S OLD WOODWARD		Road Type		Suffix		Divided Roadway	
	Distance / Direction 30 Feet E		Trafficway Not Physically Divided							
	Prefix S		Intersecting Road Name OLD WOODWARD		Road Type AVE		Suffix		Divided Roadway	

UNIT / DRIVER	Unit Number 01	Unit Known No	State Driver License Number #####		Date of Birth (Age) ##/##/####		License Type <input type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped		Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation		Sex	Total Occupants	Hazardous Action Unknown	
	Unit Type MV	Driver Information ##### ##### (###) ###-####				Driver is Owner No		Injury	Position		Restraint Restraint Use Unknown			
	Driver Condition at Time of Crash 1st				2nd		Driver Distracted By Unknown		Ejected	Trapped	Airbag Deployed Unknown			
	Hospital NONE				Ambulance NONE									
	Alcohol Suspected No		Contributing Factor No		Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input type="radio"/> Not Offered		Alcohol Test Results <input type="radio"/> Pending		Test Results:		Interlock Device No			
	Drug Suspected No		Contributing Factor No		Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered		Drug Test Results <input type="radio"/> Pending		Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other			
	Vehicle Registration		State	Vehicle Description		Year	Make	Model DURANGO		Color GRAY				
	VIN		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect					
	Automation System(s) in Vehicle		Automation System Level in Vehicle Unknown				Automation System Level Engaged at Time of Crash Unknown							
	Insurance Company #####			Insurance Policy # #####			Towed By			Towed To				

PASSENGERS	Passenger Information				Date of Birth (Age)		Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)		Sex	Position		Restraint	
				Injury	Ejected	Trapped	Airbag Deployed				
Hospital				Ambulance							

TRUCK / BUS	Carrier Information				USDOT		MC	MPSC					
					Driver's CDL Type OH OP OT ON OS OX		Endorsements <input type="radio"/> Farm <input type="radio"/> Other		CDL Exempt				
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.				Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #

OWNERS	Owner Information				Owner Information			

Damaged Property				Public	Owner & Phone			

UNIT / DRIVER	Unit Number 02	Unit Known No	State Driver License Number #####		Date of Birth (Age) ##/##/####		License Type <input type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped		Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation		Sex	Total Occupants 00	Hazardous Action
	Unit Type MV	Driver Information ##### ##### (###) ###-####				Driver is Owner No		Injury	Position		Restraint		
	Driver Condition at Time of Crash 1st 2nd					Driver Distracted By Unknown			Ejected	Trapped	Airbag Deployed		
	Hospital NONE					Ambulance NONE							
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input type="radio"/> Not Offered				Alcohol Test Results <input type="radio"/> Pending		Test Results:		Interlock Device No		
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered				Drug Test Results <input type="radio"/> Pending		Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
	Vehicle Registration ICL0ZE		State MI	Vehicle Description Year 2020		Make CADILLAC		Model CT6		Color GRAY			
	VIN 1G6KE5RS4LU100792		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect				
	Automation System(s) in Vehicle		Automation System Level in Vehicle Unknown				Automation System Level Engaged at Time of Crash Unknown						
	Insurance Company #####			Insurance Policy # #####			Towed By			Towed To			
Location of Greatest Damage 07		First Impact 07	Extent of Damage (Power Unit and/or Trailers) Functional Damage		Vehicle Direction W		Vehicle Use Private		Action Prior Parked				
Sequence of Events ● First ● 17 - Motor Veh in Transport ● indicates MOST harmful event													
PASSENGERS	Passenger Information				Date of Birth (Age)		Sex	Position		Restraint			
	Hospital									Ambulance			
	Passenger Information				Date of Birth (Age)		Sex	Position		Restraint			
	Hospital									Ambulance			
TRUCK / BUS	Carrier Information				USDOT		MC	MPSC					
					Driver's CDL Type OH OP OT ON OS OX		Endorsements CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other						
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #	
OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information								
WITNESS	Witness Information ##### ##### #####, ## #####-#### (###) ###-####				Witness Information								
Investigated at Scene Yes		Reported Date (Time) 12/07/2019 (00:19)		1st Investigator Name (Badge) MCCANHAM (76)		2nd Investigator Name (Badge)		Photos No					
Narrative UNIT 2 WAS PARKED, UNOCCUPIED, ON THE STREET IN FRONT OF VINOTECCA. ACCORDING TO VALET, UNIT 1 WAS A GREY DURANGO PARKED NEXT TO UNIT 2. UNIT 1 BACKED OUT AND SIDESWIPE UNIT 2 BEFORE TRAVELING SB OLD WOODWARD. VALET PROVIDED A PLATE THAT DID NOT COME BACK TO A DODGE DURANGO. WNTHERE WERE NO CAMERAS IN THE AREA TO RECORD THE INCIDENT.					Diagram 								



Authority: 1949 PA 300, Sec.257-622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 0627071  
Crash ID 9622603

Page 01 of 01  
File Class 93001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department				Incident # 160001017			
Crash Date 01/27/2016		Crash Time 19:16	No. of Units 02	Crash Type Rear End		Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile	
County 63 - Oakland		Traffic Control None		Relation to Roadway On Road		Weather Clear		Area NON-FRWY Straight Roadway	
City/Twsp 80 - Birmingham		Contributing Circumstances 1st		2nd		Light Dark-Lighted		Road Surface Condition Dry	
Work Zone (if applicable) Type		Workers Present		Activity		Location			

Prefix	Primary Road Name E BROWN ST	Road Type	Suffix	Divided Roadway
Distance / Direction 25 Feet E		Trafficway Not Physically Divided		
Prefix	Intersecting Road Name PURDY ST	Road Type	Suffix	Divided Roadway

Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (26)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action Unable to Stop
Unit Type MV	Driver Information ##### BLOOMFIELD HILLS, MI 48304-1260 (###) ###-####				Driver is Owner Injury O	Position Front - Left	Restraint Shoulder and Lap Belt		
Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By		Ejected	Trapped
Hospital REFUSED					Ambulance REFUSED				
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input checked="" type="radio"/> Hazardous <input type="radio"/> Other		
Vehicle Registration #####		State MI	Vehicle Description 2015 CHRYSLER		Model 25 A		Color BLACK		
VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect	
Insurance Company #####			Insurance Policy # #####		Towed By BOB ADAMS TOWING			Towed To	
Location of Greatest Damage 01		First Impact 01	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction E	Vehicle Use Private		Action Prior Going Straight Ahead	
Sequence of Events ● 17 - Motor Veh in Transport				Second		Third		Fourth	

PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
	Injury			Ejected	Trapped	Airbag Deployed	
	Hospital			Ambulance			
	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
Injury			Ejected	Trapped	Airbag Deployed		
Hospital			Ambulance				
Passenger Information			Date of Birth (Age)	Sex	Position	Restraint	
Injury			Ejected	Trapped	Airbag Deployed		
Hospital			Ambulance				

TRUCK/BUS	Carrier Information		USDOT		MC	MPSC		
	Driver's CDL Type		Endorsements OH OP OT ON OS OX		CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other			
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

Owner Information	Owner Information
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Damaged Property	Public	Owner & Phone
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UNIT/DRIVER	Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (56)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 01	Hazardous Action None	
	Unit Type MV	Driver Information ##### ##### BIRMINGHAM, MI 48009-6646 (###) ###-####				Driver is Owner <input type="radio"/>	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
	Driver Condition at Time of Crash 1st Appeared Normal				Driver Distracted By		Ejected	Trapped	Airbag Deployed Not Deployed		
	Hospital REFUSED					Ambulance REFUSED					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results:		Interlock Device No	
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other	
	Vehicle Registration #####		State MI	Vehicle Description Year 2015	Make JEEP	Model 165 A		Color BLACK			
	VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect		
	Insurance Company #####			Insurance Policy # #####			Towed By N/A		Towed To		
	Location of Greatest Damage 05		First Impact 05	Extent of Damage (Power Unit and/or Trailers)		Vehicle Direction E	Vehicle Use Private		Action Prior Going Straight Ahead		
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)											
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	TRUCK/BUS	Carrier Information				USDOT		MC	MPSC		
				Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other				
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #	
Owner Information				Owner Information							
Witness Information				Witness Information							
Investigated at Scene Yes				Reported Date (Time) 01/27/2016 (19:16)		1st Investigator Name (Badge) S. BARONE (65)		2nd Investigator Name (Badge)		Photos No	
Narrative UNIT 2 WAS TRAVELLING E/B ON E BROWN. UNIT 1 WAS ALSO TRAVELLING E/B ON E BROWN. UNIT 2 ABRUPTLY SLOWED FOR A PEDESTRIAN CROSSING THE CROSSWALK. UNIT 1 FAILED TO STOP IN TIME AND REAR-ENDED UNIT 2. UNIT 1 STATED THAT UNIT 2 STOPPED SUDDENLY AND HE COULDN'T STOP IN TIME. UNIT 1 FRONT END COLLIDED WITH UNIT 2 REAR END. \N\nBOTH DRIVERS WERE UNINJURED. \N\nUNIT 1 WAS TOWED DUE TO DAMAGE. UNIT 2 WAS DRIVEABLE WITH MINOR DAMAGE.				Diagram 							

Page 01 of 01  
File Class 93001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department					Reviewer WALD (00016)						
Crash Date 02/25/2016		Crash Time 11:58	No. of Units 02	Crash Type Angle	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeting Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal			Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile					
County 63 - Oakland		Traffic Control None		Relation to Roadway On Road		Weather Snow		Area NON-FRWY Straight Roadway					
City/Twsp 80 - Birmingham		Contributing Circumstances 1st			2nd		Light Daylight		Road Surface Condition Snow		Total Lanes 02	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type		Workers Present			Activity		Location						

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 5 Feet S	<div>Trafficway</div> <div>Not Physically Divided</div>			
	Prefix	Intersecting Road Name DAINES	Road Type ST	Suffix	Divided Roadway

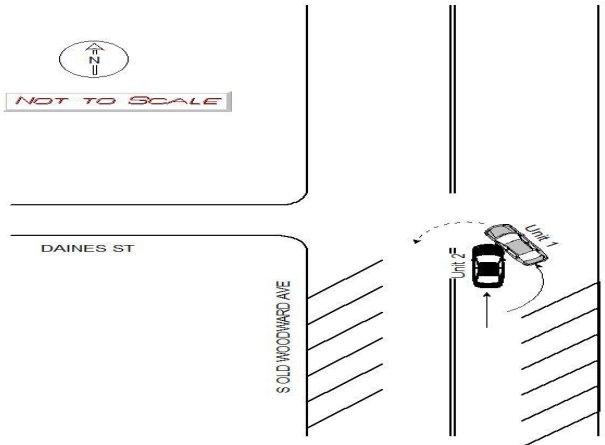
Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (50)	License Type ● Operator ○ Chauffeur ○ Moped	Endorsements ○ Cycle ○ Farm ○ Recreation	Sex F	Total Occupants 01	Hazardous Action Improper Turn
Unit Type MV	Driver Information ##### ##### DEARBORN, MI 48124-2298 (###) ###-####			Driver is Owner	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
Driver Condition at Time of Crash 1st Appeared Normal				Driver Distracted By		Ejected	Trapped	Airbag Deployed Not Deployed	
Hospital REFUSED					Ambulance REFUSED				
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type ○ Breath   ○ Blood   ○ Urine   ○ Field   ○ PBT   ○ Refused   ● Not Offered			Alcohol Test Results ○ Pending   Test Results:		Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type ○ Blood   ○ Urine   ○ Field   ○ Refused   ○ Not Offered			Drug Test Results ○ Pending   Test Results:		Citation Issued ● Hazardous ○ Other		
Vehicle Registration #####		State MI	Vehicle Description 2014	Make AUDI	Model A6		Color SILVER		
VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect	
Insurance Company #####			Insurance Policy # #####			Towed By		Towed To	
Location of Greatest Damage 07		First Impact 07	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction W	Vehicle Use Private		Action Prior Making U-Turn	
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)		First Second		Third		Fourth			

PASSENGERS	Passenger Information			Date of Birth (Age)		Sex	Position		Restraint
				Injury	Ejected	Trapped	Airbag Deployed		
	Hospital					Ambulance			
	Passenger Information			Date of Birth (Age)		Sex	Position		Restraint
				Injury	Ejected	Trapped	Airbag Deployed		
	Hospital					Ambulance			
	Passenger Information			Date of Birth (Age)		Sex	Position		Restraint
				Injury	Ejected	Trapped	Airbag Deployed		
	Hospital					Ambulance			

TRUCK/BUS	Carrier Information			USDOT			MC		MPSC		
				Driver's CDL Type			Endorsements <input type="checkbox"/> H <input type="checkbox"/> P <input type="checkbox"/> T <input type="checkbox"/> N <input type="checkbox"/> S <input type="checkbox"/> X		CDL Exempt <input type="checkbox"/> Farm <input type="checkbox"/> Other		
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.			Vehicle Configuration		Cargo Body Type		Medical Card		Hazardous Material <input type="checkbox"/> Placard <input type="checkbox"/> Cargo Spill	
										ID #      Class #	

OWNERS	Owner Information	Owner Information

Damaged Property	Public	Owner & Phone

UNIT/DRIVER	Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (73)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action None		
	Unit Type MV	Driver Information ##### ##### FARMINGTON HILLS, MI 48334-4046 (###) ###-####				Driver is Owner <input type="radio"/>	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt		
	Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By		Ejected <input type="checkbox"/>	Trapped <input type="checkbox"/>	Airbag Deployed Not Deployed	
	Hospital REFUSED					Ambulance REFUSED						
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results:		Interlock Device No		
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
	Vehicle Registration #####		State MI	Vehicle Description Year 2011	Make INFINITI	Model G37		Color BLACK				
	VIN #####		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect			
	Insurance Company #####			Insurance Policy # #####			Towed By BOB ADAMS TOWING			Towed To		
	Location of Greatest Damage 02		First Impact 02	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Going Straight Ahead			
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)												
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint			
					Injury	Ejected	Trapped	Airbag Deployed				
	Hospital				Ambulance							
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint			
					Injury	Ejected	Trapped	Airbag Deployed				
	Hospital				Ambulance							
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint			
					Injury	Ejected	Trapped	Airbag Deployed				
	Hospital				Ambulance							
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint			
				Injury	Ejected	Trapped	Airbag Deployed					
TRUCK/BUS	Carrier Information				USDOT		MC	MPSC				
					Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other				
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #	
OWNERS	Owner Information				Owner Information							
WITNESS	Witness Information				Witness Information							
Investigated at Scene Yes		Reported Date (Time) 02/25/2016 (11:58)		1st Investigator Name (Badge) SYTS (66)		2nd Investigator Name (Badge)		Photos No				
Narrative BOTH VEHICLES WERE TRAVELING N/B ON S OLD WOODWARD AVE.\\N\\VEHICLE 1 ATTEMPTED TO MAKE A PROHIBITED U-TURN BY SWINGING OUT OF THE LANE TO MAKE THE TURN.\\N\\VEHICLE 2 STRUCK VEHICLE 1 IN THE DRIVER-SIDE DOOR.\\N\\VEHICLE 1 INCURRED DAMAGE ON THE FRONT PASSENGER-SIDE.\\N\\THE DRIVER OF VEHICLE 1 WAS ISSUED A VIOLATION FOR A PRO-TURN.					Diagram 							



Authority: 1949 PA 300, Sec.257.622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 1070706  
Crash ID 1943021

Page 01 of 01  
File Class 93001

STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department				Incident # 200001096				
Crash Date 01/19/2020		Crash Time 02:21	No. of Units 02	Crash Type Angle		Special Circumstances <input type="radio"/> None <input checked="" type="radio"/> Hit and Run <input type="radio"/> Fleeing Police <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile		
County 63 - Oakland		Traffic Control None		Relation to Roadway On the Road		Weather Snow		Area NON-FRWY Straight Roadway		
City/Twsp 80 - Birmingham		Contributing Circumstances 1st None 2nd		Light Dark-Lighted		Road Surface Condition Snow		Total Lanes 02	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type		Workers Present		Activity		Location				

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 15 Feet W Trafficway Not Physically Divided				
	Prefix HAZEL	Intersecting Road Name	Road Type ST	Suffix	Divided Roadway

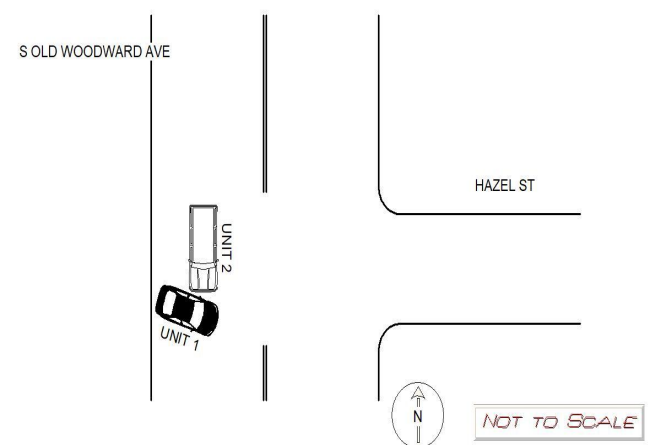
UNIT / DRIVER	Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (33)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 01	Hazardous Action Improper Turn
	Unit Type MV	Driver Information ##### WEST BLOOMFIELD, MI 48322-1527 (###) ###-####				Driver is Owner No	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt	
	Driver Condition at Time of Crash 1st Appeared Normal 2nd				Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed	
	Hospital NONE					Ambulance NONE				
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No		
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
	Vehicle Registration DVL5225		State MI	Vehicle Description Year 2018		Make MERCEDES BENZ	Model E	Color BLACK		
	VIN WDDZF6EBXJA441624		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type	Vehicle Defect		
	Automation System(s) in Vehicle No		Automation System Level in Vehicle No Automation				Automation System Level Engaged at Time of Crash No Automation			
	Insurance Company #####			Insurance Policy # #####			Towed By		Towed To	

PASSENGERS	Passenger Information				Date of Birth (Age)		Sex	Position		Restraint
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
	Passenger Information				Date of Birth (Age)		Sex	Position		Restraint
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					

TRUCK / BUS	Carrier Information				USDOT		MC	MPSC		
					Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other		
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information			

Damaged Property		Public	Owner & Phone

UNIT / DRIVER	Unit Number 02	Unit Known No	State #	Driver License Number #	Date of Birth (Age) ##/##/####	License Type <input type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	Total Occupants	Hazardous Action None	
	Unit Type MV	Driver Information ##### ##### ##### (###) ###-####				Driver is Owner No	Injury	Position	Restraint Restraint Use Unknown		
	Driver Condition at Time of Crash 1st 2nd				Driver Distracted By Unknown		Ejected	Trapped	Airbag Deployed Unknown		
	Hospital NONE				Ambulance NONE						
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending	Test Results:	Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending	Test Results:	Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other			
	Vehicle Registration		State	Vehicle Description Year Make Model Description CHEVROLET SUBURBAN Color WHITE							
	VIN		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable	Private Trailer Type		Vehicle Defect			
	Automation System(s) in Vehicle		Automation System Level in Vehicle Unknown				Automation System Level Engaged at Time of Crash Unknown				
	Insurance Company #			Insurance Policy # #			Towed By		Towed To		
Location of Greatest Damage 01	First Impact 01	Extent of Damage (Power Unit and/or Trailers) Unknown		Vehicle Direction S	Vehicle Use		Action Prior Going Straight Ahead				
Sequence of Events ● 17 - Motor Veh in Transport		First		Second		Third		Fourth			
● indicates MOST harmful event)											
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
TRUCK / BUS	Carrier Information				USDOT		MC	MPSC			
					Driver's CDL Type		Endorsements OH OP OT ON OS OX	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other			
TRUCK / BUS	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #
OWNERS	Owner Information				Owner Information						
WITNESS	Witness Information				Witness Information						
Investigated at Scene Yes		Reported Date (Time) 01/19/2020 (02:21)		1st Investigator Name (Badge) MCCANHAM (76)		2nd Investigator Name (Badge)		Photos No			
Narrative BOTH UNIT 1 AND UNIT 2 WERE SB ON OLD WOODWARD. THE DRIVER OF UNIT 1 ATTEMPTED TO MAKE A PROHIBITED U-TURN TO TRAVEL NB OLD WOODWARD. DURING UNIT 1'S U-TURN, UNIT 2 SLID INTO UNIT 1 CAUSING FUNCTIONAL DAMAGE TO UNIT 1. UNIT 2 DID NOT STOP AND CONTINUED S ON OLD WOODWARD AND THEN CONTINUED S ONTO WOODWARD. THE DRIVER OF UNIT 1 WAS UNABLE TO GET A PLATE FOR THE VEHICLE AND ONLY DESCRIBED THE VEHICLE AS A WHITE SUBURBAN. THE DRIVER OF UNIT 1 WAS NOT INJURED IN THE CRASH.					Diagram 						

Authority: 1949 PA 300, Sec.257-622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External #  
1076643

Crash ID  
1962336

Page 01 of 01  
File Class 93001

Incident #  
200002274

Reviewer  
WALD (00016)

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department						
Crash Date 02/08/2020	Crash Time 08:14	No. of Units 02	Crash Type Rear End	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police	<input type="radio"/> Hit and Run <input type="radio"/> Unknown	<input type="radio"/> School Bus <input type="radio"/> Animal	Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile	
County 63 - Oakland	Traffic Control Signal	Relation to Roadway On the Road		Weather Snow		Area NON-FRWY Straight Roadway		
City/Twsp 80 - Birmingham	Contributing Circumstances 1st None		2nd	Light Daylight	Road Surface Condition Snow	Total Lanes 03	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type Workers Present Activity Location								

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 15 Feet S				
	Trafficway Not Physically Divided				
	Prefix E	Intersecting Road Name BROWN	Road Type ST	Suffix	Divided Roadway

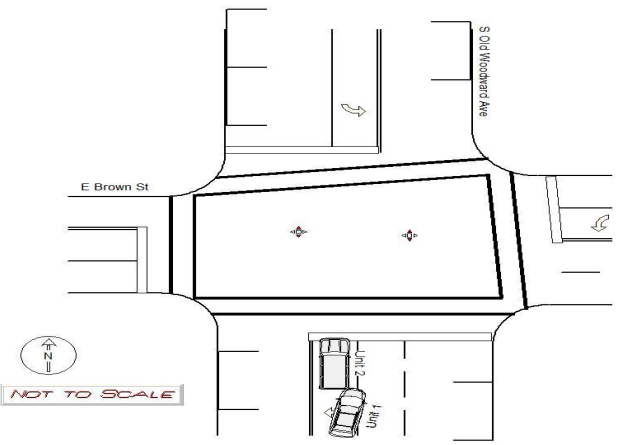
UNIT / DRIVER	Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (17)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action Unable to Stop	
	Unit Type MV	Driver Information ##### ##### HUNTINGTON WOODS, MI 48070-1705 (###) ###-####				Driver is Owner No	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt		
	Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results:		Interlock Device No	
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results:		Citation Issued <input checked="" type="radio"/> Hazardous <input type="radio"/> Other	
	Vehicle Registration EDG8409	State MI	Vehicle Description 2007	Make HONDA	Model ODYSSEY	Color SILVER					
	VIN 5FNRL38487B041768	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect			
	Automation System(s) in Vehicle No		Automation System Level in Vehicle No Automation			Automation System Level Engaged at Time of Crash No Automation					
	Insurance Company #####		Insurance Policy # #####			Towed By		Towed To			
	Location of Greatest Damage 08	First Impact 08	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Changing Lanes			
	Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)										

PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
					Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance			
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
					Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance			

TRUCK / BUS	Carrier Information				USDOT	MC	MPSC
					Driver's CDL Type	Endorsements OH OP OT ON OS OX	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.	Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information			

Damaged Property	Public	Owner & Phone

UNIT / DRIVER	Unit Number <b>02</b>	Unit Known <b>Yes</b>	State <b>MI</b>	Driver License Number <b>#####</b>	Date of Birth (Age) <b>###/###/#### (28)</b>	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex <b>M</b>	Total Occupants <b>01</b>	Hazardous Action <b>None</b>	
	Unit Type <b>MV</b>	Driver Information <b>#####</b> <b>#####</b> <b>ROYAL OAK, MI 48073-1528 (###) ###-####</b>				Driver is Owner <b>Yes</b>	Injury <b>O</b>	Position <b>Front - Left</b>	Restraint <b>Shoulder and Lap Belt</b>		
	Driver Condition at Time of Crash 1st <b>Appeared Normal</b>					Driver Distracted By <b>Not Distracted</b>			Ejected	Trapped	Airbag Deployed <b>Not Deployed</b>
	Hospital <b>NONE</b>					Ambulance <b>NONE</b>					
	Alcohol Suspected <b>No</b>	Contributing Factor <b>No</b>	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending      Test Results:		Interlock Device <b>No</b>			
	Drug Suspected <b>No</b>	Contributing Factor <b>No</b>	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending      Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other			
	Vehicle Registration <b>HQ40K</b>	State <b>MI</b>	Vehicle Description <b>2019</b>	Year	Make <b>CHEVROLET</b>	Model <b>TAHOE</b>	Color <b>SILVER</b>				
	VIN <b>1GNSKAKC3KR115259</b>	Vehicle Type <b>Passenger Car, SUV, Van</b>		Special Vehicles <b>Not Applicable</b>		Private Trailer Type	Vehicle Defect				
	Automation System(s) in Vehicle <b>No</b>		Automation System Level in Vehicle <b>No Automation</b>				Automation System Level Engaged at Time of Crash <b>No Automation</b>				
	Insurance Company <b>#####</b>			Insurance Policy # <b>#####</b>			Towed By		Towed To		
Location of Greatest Damage <b>06</b>	First Impact <b>06</b>	Extent of Damage (Power Unit and/or Trailers) <b>Minor Damage</b>			Vehicle Direction <b>N</b>	Vehicle Use <b>Private</b>		Action Prior <b>Slowing/Stop on Roadway</b>			
Sequence of Events First <input checked="" type="radio"/> <b>17 - Motor Veh in Transport</b> Second Third Fourth (• indicates MOST harmful event)											
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
TRUCK / BUS	Carrier Information					USDOT		MC	MPSC		
						Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other		
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #	
OWNERS	Owner Information <b>#####</b> <b>#####</b> <b>#####, ## #####-#### (###) ###-####</b>					Owner Information					
WITNESS	Witness Information					Witness Information					
Investigated at Scene <b>Yes</b>	Reported Date (Time) <b>02/08/2020 (08:14)</b>	1st Investigator Name (Badge) <b>S. BARONE (65)</b>			2nd Investigator Name (Badge)			Photos <b>No</b>			
Narrative UNIT 2 WAS STOPPED FACING N/B ON S OLD WOODWARD IN THE LEFT TURN LANE FOR W/B BROWN. UNIT 1 WAS TRAVELING N/B S OLD WOODWARD APPROACHING BROWN. UNIT 1 ENTERED LEFT HAND TURN LANE FOR W/B BROWN BUT WAS BEGINING TO SLIDE/LOSE CONTROL. UNIT 1 D/S FRONT STRUCK P/S RIGHT OF UNIT 2. BOTH VEHICLES WERE DRIVEABLE WITH MINOR DAMAGE. UNIT 1 DRIVER CITED FOR FAIL TO STOP IN ASSURED CLEAR DISTANCE (ACCIDENT).					Diagram 						



Authority: 1949 PA 300, Sec.257-622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External #  
1077280

Crash ID  
1976447

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File Class 93001

Incident #  
200002404

Reviewer  
KOCH (00006)

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department					
Crash Date 02/10/2020	Crash Time 10:29	No. of Units 02	Crash Type Angle	Special Circumstances <input type="radio"/> None <input type="radio"/> Fleeing Police <input checked="" type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal	Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile		
County 63 - Oakland	Traffic Control Signal	Relation to Roadway On the Road		Weather Cloudy	Area INTR Driveway Related		
City/Twsp 80 - Birmingham	Contributing Circumstances 1st None		2nd	Light Daylight	Road Surface Condition Wet	Total Lanes 04	
Speed Limit 45		Posted Yes					
Work Zone (if applicable) Type Workers Present Activity Location							

Prefix WOODWARD	Road Type AVE	Suffix S	Divided Roadway
Distance / Direction 10 Feet W		Trafficway Divided Hwy wo/Barrier	
Prefix E	Intersecting Road Name BROWN	Road Type ST	Suffix Divided Roadway

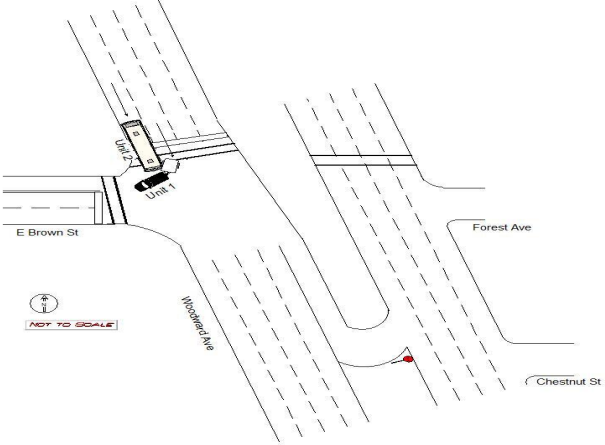
Unit Number 01	Unit Known No	State MI	Driver License Number #####	Date of Birth (Age) ##/##/####	License Type <input type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	Total Occupants	Hazardous Action Unknown
Unit Type MV	Driver Information ##### ##### (###) ###-####				Driver is Owner No	Injury	Position	Restraint Restraint Use Unknown	
Driver Condition at Time of Crash 1st 2nd				Driver Distracted By Unknown		Ejected	Trapped	Airbag Deployed Unknown	
Hospital NONE		Ambulance NONE							
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input type="radio"/> Not Offered		Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No			
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered		Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other			
Vehicle Registration	State	Vehicle Description	Year	Make	Model	Color			
VIN	Vehicle Type Pickup Truck	Special Vehicles Not Applicable		Private Trailer Type	Vehicle Defect				
Automation System(s) in Vehicle		Automation System Level in Vehicle Unknown		Automation System Level Engaged at Time of Crash Unknown					
Insurance Company #####		Insurance Policy # #####		Towed By		Towed To			
Location of Greatest Damage 11	First Impact 11	Extent of Damage (Power Unit and/or Trailers) Unknown		Vehicle Direction	Vehicle Use		Action Prior Turning Right		
Sequence of Events ● 17 - Motor Veh in Transport		First		Second		Third		Fourth	
● indicates MOST harmful event)									

PASSENGERS	Passenger Information		Date of Birth (Age)	Sex	Position	Restraint
			Injury	Ejected	Trapped	Airbag Deployed
	Hospital		Ambulance			
PASSENGERS	Passenger Information		Date of Birth (Age)	Sex	Position	Restraint
			Injury	Ejected	Trapped	Airbag Deployed
	Hospital		Ambulance			

TRUCK/BUS	Carrier Information		USDOT	MC	MPSC	
			Driver's CDL Type OH OP OT ON OS OX	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other		
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.	Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information		Owner Information	

Damaged Property	Public	Owner & Phone

Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (49)	License Type <input type="radio"/> Operator <input checked="" type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 04	Hazardous Action None	
Unit Type MV	Driver Information ##### ##### DETROIT, MI 48221-4912 (###) ###-####				Driver is Owner No	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted		Ejected	Trapped	
Hospital NONE				Ambulance NONE						
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No			
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other			
Vehicle Registration 106X047	State MI	Vehicle Description Year 2017	Make GILLIG	Model BUS	Color					
VIN 15GGD2719H1189243	Vehicle Type Truck / Bus		Special Vehicles Bus	Private Trailer Type	Vehicle Defect					
Automation System(s) in Vehicle No		Automation System Level in Vehicle No Automation			Automation System Level Engaged at Time of Crash No Automation					
Insurance Company #####		Insurance Policy # #####			Towed By		Towed To			
Location of Greatest Damage 08	First Impact 08	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction N	Vehicle Use Other Government			Action Prior Going Straight Ahead		
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)										
PASSENGERS										
Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
				Injury	Ejected	Trapped	Airbag Deployed			
Hospital				Ambulance						
Passenger Information				Date of Birth (Age)	Sex	Position		Restraint		
				Injury	Ejected	Trapped	Airbag Deployed			
Hospital				Ambulance						
TRUCK/BUS										
Carrier Information SUBURBAN MOBILITY AUTHORITY 2021 BARRETT DR TROY, MI 48084				USDOT		MC	MPSC			
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input checked="" type="radio"/> Greater than 26,000 lbs.				Vehicle Configuration Bus 16+		Cargo Body Type 14	Medical Card No	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #	Class #
OWNERS										
Owner Information					Owner Information					
WITNESS										
Witness Information					Witness Information					
Investigated at Scene Yes	Reported Date (Time) 02/10/2020 (10:29)	1st Investigator Name (Badge) SYTS (66)			2nd Investigator Name (Badge)			Photos No		
Narrative UNIT 2 WAS A CITY SMARTBUS TRAVELING SB WOODWARD IN THE LEFT LANE APPROACHING BROWN. UNIT 2 HAD JUST STOPPED FOR PASSENGERS AT WOODWARD AND MAPLE. UNIT 1 WAS TRAVLING SB WOODWARD IN THE SECOND LANE FROM THE LEFT TOWING A BOX TRAILER. UNIT 1 TURNED FROM THE SECOND LANE ON TO WB BROWN. THE BUS CAME TO A STOP AND WAS STRUCK ON THE DRIVER-SIDE FRONT FROM THE TRAILER. UNIT 2 INCURRED MINOR DAMAGE. UNIT 1 MADE MULTIPLE ATTEMPTS TO GET THE CAMERA FOOTAGE FROM THE BUS IN AN ATTEMPT TO GET THE PLATE OF UNIT 1 BUT I NEVER RECIEVED A CALL BACK. UNIT 1 REMAINS UNKNOWN. ALL PASSENGERS WERE TRANSFERRED TO A DIFFERENT BUSS PRIOR TO MY ARRIVAL. THEY SAID NO INJURIES WERE REPORTED.					Diagram 					

Authority: 1949 PA 300, Sec.257-622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External #  
1084461

Crash ID  
1983303

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File Class 93001

Incident #  
200003778

Reviewer  
WALD (00016)

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department							
Crash Date 03/06/2020	Crash Time 11:44	No. of Units 02	Crash Type Backing	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile			
County 63 - Oakland	Traffic Control None		Relation to Roadway On the Road		Weather Clear		Area NON-FRWY Straight Roadway		
City/Twsp 80 - Birmingham	Contributing Circumstances 1st None		2nd		Light Daylight	Road Surface Condition Dry	Total Lanes 02	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type Workers Present Activity Location									

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 100 Feet S				
	Trafficway Not Physically Divided				
UNIT / DRIVER	Prefix DAINES	Intersecting Road Name	Road Type ST	Suffix	Divided Roadway

Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (52)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 01	Hazardous Action Improper Backing	
Unit Type MV	Driver Information ##### ##### WEST BLOOMFIELD, MI 48324-3272 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left		Restraint Restraint Use Unknown	
Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed
Hospital NONE		Ambulance NONE								
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results:		Interlock Device No	
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other	
Vehicle Registration EDF9954	State MI	Vehicle Description 2019	Make VOLVO	Model XC90	Color SILVER					
VIN YV4A22PM0K1476620	Vehicle Type Passenger Car, SUV, Van	Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect						
Automation System(s) in Vehicle No	Automation System Level in Vehicle No Automation			Automation System Level Engaged at Time of Crash No Automation						
Insurance Company #####		Insurance Policy # #####			Towed By		Towed To			
Location of Greatest Damage 06	First Impact 06	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction S	Vehicle Use Private		Action Prior Backing			
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)										

PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
				Injury	Ejected	Trapped	Airbag Deployed
	Hospital			Ambulance			
	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
TRUCK / BUS				Injury	Ejected	Trapped	Airbag Deployed
	Hospital			Ambulance			

Carrier Information	USDOT	MC	MPSC			
Driver's CDL Type OH OP OT ON OS OX		CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other				
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.	Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #	Class #

Owner Information ##### ##### #####, ## #####-#### (###) ###-####	Owner Information
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Damaged Property	Public	Owner & Phone
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UNIT / DRIVER	Unit Number	02	Unit Known	Yes	State	MI	Driver License Number	#####	Date of Birth (Age)	###/###/#### (64)	License Type	<input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements	<input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	F	Total Occupants	01	Hazardous Action	None					
	Unit Type	MV	Driver Information ##### STERLING HEIGHTS, MI 48310-4218 (###) ###-####							Driver is Owner	Yes	Injury	O	Position	Front - Left	Restraint Restraint Use Unknown									
	Driver Condition at Time of Crash 1st Appeared Normal								2nd Driver Distracted By Not Distracted				Ejected		Trapped		Airbag Deployed Not Deployed								
	Hospital NONE										Ambulance NONE														
	Alcohol Suspected	No	Contributing Factor	No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered				Alcohol Test Results		<input type="radio"/> Pending		Test Results:		Interlock Device No										
	Drug Suspected	No	Contributing Factor	No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered				Drug Test Results		<input type="radio"/> Pending		Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other										
	Vehicle Registration		DFM9742		State	MI	Vehicle Description		Year		2003		Make	SUBARU		Model	FORESTER		Color	TAN					
	VIN		JF1SG63623H745870		Vehicle Type		Passenger Car, SUV, Van		Special Vehicles		Not Applicable		Private Trailer Type				Vehicle Defect								
	Automation System(s) in Vehicle		No		Automation System Level in Vehicle		No Automation		Automation System Level Engaged at Time of Crash		No Automation														
	Insurance Company				#####				Insurance Policy #				#####				Towed By		Towed To						
Location of Greatest Damage	03	First Impact	03	Extent of Damage (Power Unit and/or Trailers)				Minor Damage				Vehicle Direction	N		Vehicle Use	Private		Action Prior Avoiding Vehicle Angle							
Sequence of Events				First <input checked="" type="radio"/> 17 - Motor Veh in Transport				Second				Third				Fourth									
PASSENGERS	Passenger Information								Date of Birth (Age)		Sex	Position		Restraint											
	Hospital												Ambulance												
	Passenger Information								Date of Birth (Age)		Sex	Position		Restraint											
	Hospital												Ambulance												
TRUCK / BUS	Carrier Information								USDOT				MC		MPSC										
									Driver's CDL Type				Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X		CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other										
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.				Vehicle Configuration				Cargo Body Type		Medical Card		Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #									
OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####								Owner Information																
WITNESS	Witness Information								Witness Information																
Investigated at Scene		Yes		Reported Date (Time)		03/06/2020 (11:44)		1st Investigator Name (Badge)				OFC. J ZALE (063)				2nd Investigator Name (Badge)				Photos				No	
Narrative								Diagram																	
<p>DRIVER OF UNIT 1 ADVISED HE BACKED OUT OF HIS SPACE. HE SAID UNIT 2 WAS DRIVING FAST. HE SAID UNIT 2 SWERVED AND STRUCK HIS VEHICLE. UNIT 1 HAD SCRATCH DAMAGE TO THE CORNER (REAR/LEFT) OF ITS BUMPER. UNIT 2 HAD DAMAGE FROM THE DRIVER SIDE FRONT FENDER TO THE REAR FENDER AND DAMAGE TO THE PASSENGER SIDE WING MIRROR. DRIVER OF UNIT 2 SAID SHE WAS NOT DRIVING FAST AND THAT THE LIGHT AHEAD (BROWN) WAS RED SO SHE WAS GOING SLOW. UNIT 1 IS FOUND AT FAULT FOR IMPROPER/UNSAFE BACKING. UNIT 1 ADVISED SHE SAW THE ACCIDENT THAT UNIT 1 WAS AT FAULT AND HE BACKED INTO UNIT 2.</p>																									



Authority: 1949 PA 300, Sec.257-622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 1106545  
Crash ID 2060096

Page 01 of 02  
File Class 93001

Incident #  
200012364

Reviewer  
WALD (00016)

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department								
Crash Date 07/26/2020	Crash Time 13:11	No. of Units 02	Crash Type Angle	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal			Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile			
County 63 - Oakland	Traffic Control None		Relation to Roadway On the Road		Weather Clear		Area NON-FRWY Straight Roadway			
City/Twsp 80 - Birmingham	Contributing Circumstances 1st None		2nd		Light Daylight	Road Surface Condition Dry	Total Lanes 03	Speed Limit 25	Posted Yes	
Work Zone (if applicable) Type Workers Present Activity Location										

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 250 Feet N				
	Trafficway Not Physically Divided				
	Prefix E	Intersecting Road Name BROWN	Road Type ST	Suffix	Divided Roadway

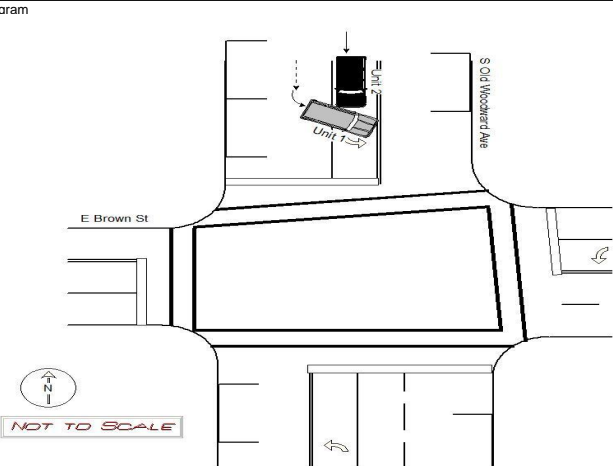
UNIT / DRIVER	Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (35)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 01	Hazardous Action Improper Turn
	Unit Type MV	Driver Information ##### STERLING HEIGHTS, MI 48312-4115 (###) ###-####				Driver is Owner No	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt	
	Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted		Ejected	Trapped
	Hospital NONE				Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results: Interlock Device No		
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results: Citation Issued <input checked="" type="radio"/> Hazardous <input type="radio"/> Other		
	Vehicle Registration AGN632	State MI	Vehicle Description 2014	Year	Make CHEVROLET	Model EQUINOX	Color BLUE			
	VIN 2GNFLGEK5E6322353	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type	Vehicle Defect			
	Automation System(s) in Vehicle No		Automation System Level in Vehicle No Automation				Automation System Level Engaged at Time of Crash No Automation			
	Insurance Company #####		Insurance Policy # #####				Towed By		Towed To	
	Location of Greatest Damage 07	First Impact 07	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction E	Vehicle Use Private		Action Prior Turning Left		
	Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)									

PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
					Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance			
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
					Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance			

TRUCK / BUS	Carrier Information				USDOT	MC	MPSC
					Driver's CDL Type	Endorsements OH OP OT ON OS OX	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.	Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information				Owner Information			

Damaged Property				Public	Owner & Phone			

UNIT / DRIVER	Unit Number 02	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (48)	License Type ● Operator ○ Chauffeur ○ Moped	Endorsements ○ Cycle ○ Farm ○ Recreation	Sex M	Total Occupants 04	Hazardous Action None	
	Unit Type MV	Driver Information ##### BLOOMFIELD HILLS, MI 48301-2504 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left	Restraint Shoulder and Lap Belt		
	Driver Condition at Time of Crash 1st Appeared Normal				2nd Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed		
	Hospital NONE					Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type ○ Breath   ○ Blood   ○ Urine ○ Field   ○ PBT   ○ Refused   ● Not Offered			Alcohol Test Results ○ Pending	Test Results:	Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type ○ Blood   ○ Urine ○ Field   ○ Refused   ● Not Offered			Drug Test Results ○ Pending	Test Results:	Citation Issued ○ Hazardous ○ Other			
	Vehicle Registration EES3985	State MI	Vehicle Description 2017	Year	Make CADILLAC	Model ESCALADE	Color BLACK				
	VIN 1GYS4BKJ8HR360083	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type	Vehicle Defect				
	Automation System(s) in Vehicle No		Automation System Level in Vehicle No Automation			Automation System Level Engaged at Time of Crash No Automation					
	Insurance Company #####		Insurance Policy # #####			Towed By		Towed To			
Location of Greatest Damage 02	First Impact 02	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction S	Vehicle Use Private		Action Prior Going Straight Ahead				
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)											
PASSENGERS	Passenger Information ##### ##### (###) ###-####				Date of Birth (Age) ###/###/#### (10)	Sex M	Position Front - Right	Restraint Shoulder and Lap Belt			
					Injury O	Ejected	Trapped	Airbag Deployed Not Deployed			
	Hospital NONE				Ambulance NONE						
	Passenger Information ##### ##### (###) ###-####				Date of Birth (Age) ###/###/#### (7)	Sex M	Position 2nd Row - Left	Restraint Child - Booster Seat			
				Injury O	Ejected	Trapped	Airbag Deployed Not Deployed				
Hospital NONE				Ambulance NONE							
TRUCK / BUS	Carrier Information					USDOT	MC	MPSC			
						Driver's CDL Type	Endorsements OH OP OT ON OS OX	CDL Exempt ○ Farm ○ Other			
GVWR/GCWR ○ 10,000 lbs. or Less   ○ 10,001 - 26,000 lbs.   ○ Greater than 26,000 lbs.					Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material ○ Placard   ○ Cargo Spill	ID #	Class #	
OWNERS	Owner Information ##### ##### #####					Owner Information					
	#####, ## #####-#### (###) ###-####										
WITNESS	Witness Information					Witness Information					
Investigated at Scene Yes		Reported Date (Time) 07/26/2020 (13:11)		1st Investigator Name (Badge) MANZO (64)		2nd Investigator Name (Badge)		Photos No			
Narrative UNIT 1 AND UNIT 2 WERE TRAVELING S/B ON OLD WW APPROACHING BROWN. UNIT 2 GOT INTO THE MIDDLE LANE TO MAKE A LEFT TURN ONTO BROWN. UNIT 1 DRIVER STATED SHE WANTED TO PARK ON THE N/B SIDE OF OLD WW. UNIT 1 MADE A LEFT "J" TURN INTO THE MIDDLE LANE. UNIT 2 STRUCK UNIT 1. NO U-TURN SIGNS POSTED N/B AND S/B OLD WW. NO INJURIES. DRIVER UNIT 1 CITED FOR IMPROPER TURN.					Diagram 						

Authority: 1949 PA 300, Sec.257.622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 1106545  
Crash ID 2060096

Page 02 of 02  
File Class 93001

Incident # 200012364

Reviewer WALD (00016)

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900	Department Name Birmingham Police Department							
Crash Date 07/26/2020	Crash Time 13:11	No. of Units 02	Crash Type Angle	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police	<input type="radio"/> Hit and Run <input type="radio"/> Unknown	<input type="radio"/> School Bus <input type="radio"/> Animal	Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile	
County 63 - Oakland	Traffic Control None	Relation to Roadway On the Road		Weather Clear		Area NON-FRWY Straight Roadway		
City/Twsp 80 - Birmingham	Contributing Circumstances 1st None 2nd		Light Daylight	Road Surface Condition Dry		Total Lanes 03	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type Workers Present Activity Location								

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 250 Feet N				
	Trafficway Not Physically Divided				
UNIT / DRIVER	Prefix E	Intersecting Road Name BROWN	Road Type ST	Suffix	Divided Roadway

Unit Number 02	Unit Known	State	Driver License Number	Date of Birth (Age)	License Type <input type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	Total Occupants	Hazardous Action
Unit Type	Driver Information			Driver is Owner	Injury	Position	Restraint		
Driver Condition at Time of Crash 1st 2nd				Driver Distracted By		Ejected	Trapped	Airbag Deployed	
Hospital					Ambulance				
Alcohol Suspected	Contributing Factor	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device		
Drug Suspected	Contributing Factor	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
Vehicle Registration	State	Vehicle Description	Year	Make	Model	Color			
VIN	Vehicle Type		Special Vehicles		Private Trailer Type	Vehicle Defect			
Automation System(s) in Vehicle		Automation System Level in Vehicle			Automation System Level Engaged at Time of Crash				
Insurance Company			Insurance Policy #		Towed By		Towed To		
Location of Greatest Damage	First Impact	Extent of Damage (Power Unit and/or Trailers)		Vehicle Direction	Vehicle Use		Action Prior		
Sequence of Events First		Second		Third		Fourth			
● indicates MOST harmful event)									

PASSENGERS	Passenger Information ##### ##### (###) ###-####			Date of Birth (Age) ###/###/#### (7)	Sex F	Position 2nd Row - Right	Restraint Child - Booster Seat
	Injury O	Ejected	Trapped	Airbag Deployed Not Deployed			
	Hospital NONE			Ambulance NONE			
	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
Hospital			Ambulance				

TRUCK/BUS	Carrier Information			USDOT	MC	MPSC	
	Driver's CDL Type			Endorsements OH OP OT ON OS OX	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other		
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.	Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information		Owner Information	
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Damaged Property	Public	Owner & Phone
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UNIT / DRIVER	Unit Number	Unit Known	State	Driver License Number	Date of Birth (Age)	License Type ○ Operator ○ Chauffeur ○ Moped	Endorsements ○ Cycle ○ Farm ○ Recreation	Sex	Total Occupants	Hazardous Action
	Unit Type	Driver Information				Driver is Owner	Injury	Position		Restraint
	Driver Condition at Time of Crash 1st 2nd				Driver Distracted By		Ejected	Trapped	Airbag Deployed	
	Hospital					Ambulance				
	Alcohol Suspected	Contributing Factor	Alcohol Test Type ○ Breath   ○ Blood   ○ Urine ○ Field   ○ PBT   ○ Refused   ○ Not Offered			Alcohol Test Results ○ Pending	Test Results:		Interlock Device	
	Drug Suspected	Contributing Factor	Drug Test Type ○ Blood   ○ Urine ○ Field   ○ Refused   ○ Not Offered			Drug Test Results ○ Pending	Test Results:		Citation Issued ○ Hazardous ○ Other	
	Vehicle Registration		State	Vehicle Description	Year	Make	Model	Color		
	VIN		Vehicle Type		Special Vehicles		Private Trailer Type		Vehicle Defect	
	Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash			
	Insurance Company			Insurance Policy #			Towed By		Towed To	
	Location of Greatest Damage		First Impact	Extent of Damage (Power Unit and/or Trailers)		Vehicle Direction	Vehicle Use		Action Prior	
	Sequence of Events		First	Second		Third		Fourth		
	● indicates MOST harmful event)									
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
TRUCK / BUS	Carrier Information				USDOT		MC	MPSC		
					Driver's CDL Type	Endorsements ○ H   ○ P   ○ T ○ N   ○ S   ○ X	CDL Exempt ○ Farm ○ Other			
	GVWR/GCWR ○ 10,000 lbs. or Less   ○ 10,001 - 26,000 lbs.   ○ Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material ○ Placard   ○ Cargo Spill		ID #	Class #
OWNERS	Owner Information				Owner Information					
WITNESS	Witness Information				Witness Information					
Investigated at Scene		Reported Date (Time)		1st Investigator Name (Badge)		2nd Investigator Name (Badge)		Photos		
Narrative					Diagram					



Authority: 1949 PA 300, Sec.257-622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 1111287  
Crash ID 2072994

Page 01 of 02  
File Class 93001

Incident # 200013847

Reviewer KOCH (00006)

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department							
Crash Date 08/16/2020	Crash Time 10:34	No. of Units 02	Crash Type Angle	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal			Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile		
County 63 - Oakland	Traffic Control Signal		Relation to Roadway On the Road		Weather Clear		Area INTR Within Intersection		
City/Twsp 80 - Birmingham	Contributing Circumstances 1st None 2nd		Light Daylight		Road Surface Condition Dry		Total Lanes 06	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type Workers Present Activity Location									

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction AT Trafficway Not Physically Divided				
	Prefix E	Intersecting Road Name BROWN	Road Type ST	Suffix	Divided Roadway

UNIT / DRIVER	Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (35)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 01	Hazardous Action Disregard Traffic Control
	Unit Type MV	Driver Information ##### ##### OAK PARK, MI 48237-1335 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt
	Driver Condition at Time of Crash 1st Appeared Normal 2nd				Driver Distracted By Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed	
	Hospital NONE					Ambulance NONE				
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No		
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input checked="" type="radio"/> Hazardous <input type="radio"/> Other		
	Vehicle Registration CCB8824		State MI	Vehicle Description Year 2016 Make TOYOTA		Model COROLLA		Color WHITE		
	VIN 2T1BURHEXGC648981		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect	
	Automation System(s) in Vehicle No		Automation System Level in Vehicle No Automation				Automation System Level Engaged at Time of Crash No Automation			
	Insurance Company #####			Insurance Policy # #####			Towed By BOB ADAMS TOWING			Towed To

PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
					Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance			
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint
					Injury	Ejected	Trapped	Airbag Deployed
	Hospital				Ambulance			

TRUCK / BUS	Carrier Information				USDOT	MC	MPSC	
					Driver's CDL Type	Endorsements OH OP OT ON OS OX	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other	
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information			

Damaged Property		Public	Owner & Phone

UNIT / DRIVER	Unit Number	02	Unit Known	Yes	State	MI	Driver License Number	#####	Date of Birth (Age)	###/###/#### (56)	License Type	<input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements	<input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	M	Total Occupants	04	Hazardous Action	None			
	Unit Type	MV		Driver Information ##### ##### GROSSE ILE, MI 48138-2318 (###) ###-####						Driver is Owner	Yes	Injury	O	Position	Front - Left		Restraint	Shoulder and Lap Belt					
	Driver Condition at Time of Crash 1st Appeared Normal									2nd Driver Distracted By Not Distracted				Ejected		Trapped		Airbag Deployed	Not Deployed				
	Hospital NONE									Ambulance NONE													
	Alcohol Suspected	No		Contributing Factor	No		Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results		O Pending		Test Results:		Interlock Device		No					
	Drug Suspected	No		Contributing Factor	No		Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results		O Pending		Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other							
	Vehicle Registration	EFE5357		State	MI		Vehicle Description	Year		2020		Make	LINCOLN		Model	AVIATOR		Color	TAN				
	VIN	5LM5J7XC3LGL26696		Vehicle Type	Passenger Car, SUV, Van		Special Vehicles	Not Applicable		Private Trailer Type			Vehicle Defect										
	Automation System(s) in Vehicle		No		Automation System Level in Vehicle				No Automation				Automation System Level Engaged at Time of Crash						No Automation				
	Insurance Company			#####			Insurance Policy #			#####			Towed By						Towed To				
Location of Greatest Damage	07		First Impact	07		Extent of Damage (Power Unit and/or Trailers)			Functional Damage			Vehicle Direction	E		Vehicle Use	Private		Action Prior			Going Straight Ahead		
Sequence of Events		First		● 17 - Motor Veh in Transport				Second				Third				Fourth							
PASSENGERS	Passenger Information ##### ##### GROSSE ILE, MI 48138-2318 (###) ###-####								Date of Birth (Age)	###/###/#### (55)		Sex	F	Position	Front - Right		Restraint	Shoulder and Lap Belt					
									Injury	O	Ejected		Trapped		Airbag Deployed	Not Deployed							
	Hospital NONE								Ambulance NONE														
	Passenger Information ##### ##### GROSSE ILE, MI 48138-2318 (###) ###-####								Date of Birth (Age)	###/###/#### (19)		Sex	F	Position	2nd Row - Left		Restraint	Shoulder and Lap Belt					
								Injury	O	Ejected		Trapped		Airbag Deployed	Not Deployed								
Hospital NONE								Ambulance NONE															
TRUCK / BUS	Carrier Information								USDOT		MC		MPSC										
									Driver's CDL Type		Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X		CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other										
GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.				Vehicle Configuration				Cargo Body Type		Medical Card		Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #								
OWNERS	Owner Information ##### ##### #####								Owner Information														
	#####								#####														
WITNESS	Witness Information								Witness Information														
Investigated at Scene	Yes	Reported Date (Time)	08/16/2020 (10:34)		1st Investigator Name (Badge)				PEDERSENC (62)				2nd Investigator Name (Badge)				Photos				No		
Narrative										Diagram													
UNIT 1 WAS TRAVELING SOUTH ON OLD WOODWARD. \NUNIT 2 WAS TRAVELING EAST ON BROWN. \NU1 DISREGARDED THE RED LIGHT AND PROCEEDED THROUGH THE INTERSECTION AT BROWN AND STRUCK THE ONCOMING U2. \NNDAMAGE TO THE FRONT OF U1 AND LEFT SIDE OF U2. \NNDRIVER OF U1 CITED FOR CAUSING THE ACCIDENT.																							

Authority: 1949 PA 300, Sec.257.622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 1111287  
Crash ID 2072994

Page 02 of 02  
File Class 93001

Incident # 200013847

Reviewer KOCH (00006)

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department										
Crash Date 08/16/2020	Crash Time 10:34	No. of Units 02	Crash Type Angle	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal			Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile					
County 63 - Oakland		Traffic Control Signal		Relation to Roadway On the Road		Weather Clear		Area INTR Within Intersection				
City/Twsp 80 - Birmingham		Contributing Circumstances 1st None		2nd		Light Daylight		Road Surface Condition Dry		Total Lanes 06	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type Workers Present Activity Location												

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction AT				
	Trafficway Not Physically Divided				
UNIT / DRIVER	Prefix E	Intersecting Road Name BROWN	Road Type ST	Suffix	Divided Roadway

Unit Number 02	Unit Known	State	Driver License Number	Date of Birth (Age)	License Type <input type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	Total Occupants	Hazardous Action	
Unit Type	Driver Information				Driver is Owner	Injury	Position	Restraint		
Driver Condition at Time of Crash 1st				2nd		Driver Distracted By		Ejected	Trapped	Airbag Deployed
Hospital					Ambulance					
Alcohol Suspected	Contributing Factor	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results:		Interlock Device	
Drug Suspected	Contributing Factor	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other	
Vehicle Registration	State	Vehicle Description	Year	Make	Model		Color			
VIN	Vehicle Type		Special Vehicles		Private Trailer Type		Vehicle Defect			
Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash				
Insurance Company			Insurance Policy #			Towed By		Towed To		
Location of Greatest Damage	First Impact	Extent of Damage (Power Unit and/or Trailers)		Vehicle Direction	Vehicle Use			Action Prior		
Sequence of Events First		Second			Third			Fourth		
● indicates MOST harmful event										

PASSENGERS	Passenger Information ##### ##### GROSSE ISLE, MI 48138 (###) ###-####			Date of Birth (Age) ###/###/#### (18)	Sex M	Position 2nd Row - Right	Restraint Shoulder and Lap Belt
				Injury O	Ejected	Trapped	Airbag Deployed Not Deployed
	Hospital NONE			Ambulance NONE			
	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
			Injury	Ejected	Trapped	Airbag Deployed	
Hospital			Ambulance				

TRUCK/BUS	Carrier Information			USDOT	MC	MPSC	
				Driver's CDL Type OH OP OT ON OS OX	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other		
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.	Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information		Owner Information	

Damaged Property	Public	Owner & Phone

UNIT / DRIVER	Unit Number	Unit Known	State	Driver License Number	Date of Birth (Age)	License Type ○ Operator ○ Chauffeur ○ Moped	Endorsements ○ Cycle ○ Farm ○ Recreation	Sex	Total Occupants	Hazardous Action
	Unit Type	Driver Information				Driver is Owner	Injury	Position		Restraint
	Driver Condition at Time of Crash 1st 2nd				Driver Distracted By		Ejected	Trapped	Airbag Deployed	
	Hospital					Ambulance				
	Alcohol Suspected	Contributing Factor	Alcohol Test Type ○ Breath   ○ Blood   ○ Urine ○ Field   ○ PBT   ○ Refused   ○ Not Offered			Alcohol Test Results ○ Pending   Test Results:		Interlock Device		
	Drug Suspected	Contributing Factor	Drug Test Type ○ Blood   ○ Urine ○ Field   ○ Refused   ○ Not Offered			Drug Test Results ○ Pending   Test Results:		Citation Issued ○ Hazardous ○ Other		
	Vehicle Registration		State	Vehicle Description	Year	Make	Model	Color		
	VIN		Vehicle Type		Special Vehicles		Private Trailer Type		Vehicle Defect	
	Automation System(s) in Vehicle		Automation System Level in Vehicle				Automation System Level Engaged at Time of Crash			
	Insurance Company			Insurance Policy #			Towed By		Towed To	
	Location of Greatest Damage		First Impact	Extent of Damage (Power Unit and/or Trailers)		Vehicle Direction	Vehicle Use		Action Prior	
	Sequence of Events		First	Second		Third		Fourth		
	(● indicates MOST harmful event)									
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
TRUCK / BUS	Carrier Information				USDOT		MC	MPSC		
					Driver's CDL Type		Endorsements ○ H   ○ P   ○ T ○ N   ○ S   ○ X	CDL Exempt ○ Farm ○ Other		
	GVWR/GCWR ○ 10,000 lbs. or Less   ○ 10,001 - 26,000 lbs.   ○ Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type		Medical Card	Hazardous Material ○ Placard   ○ Cargo Spill	ID #   Class #	
OWNERS	Owner Information				Owner Information					
WITNESS	Witness Information				Witness Information					
Investigated at Scene		Reported Date (Time)		1st Investigator Name (Badge)		2nd Investigator Name (Badge)		Photos		
Narrative					Diagram					



Authority: 1949 PA 300, Sec.257-622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 1111578  
Crash ID 2073867

Page 01 of 01  
File Class 93001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department		Incident # 200013929	
Crash Date 08/17/2020		Crash Time 11:00		No. of Units 02	
Crash Type Single Motor Vehicle		Special Circumstances <input type="radio"/> None <input type="radio"/> Fleeing Police <input checked="" type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile	
County 63 - Oakland		Traffic Control None		Relation to Roadway On the Road	
City/Twsp 80 - Birmingham		Contributing Circumstances 1st None		Weather Clear	
Work Zone (if applicable) Type		Workers Present		Activity	
Location		Road Surface Condition Dry		Total Lanes 02	
Speed Limit 25		Posted Yes		Area NON-FRWY Straight Roadway	

Prefix S	Primary Road Name OLD WOODWARD	Road Type	Suffix	Divided Roadway
Distance / Direction 50 Feet N		Trafficway Not Physically Divided		
Prefix HAZEL	Intersecting Road Name	Road Type	Suffix	Divided Roadway

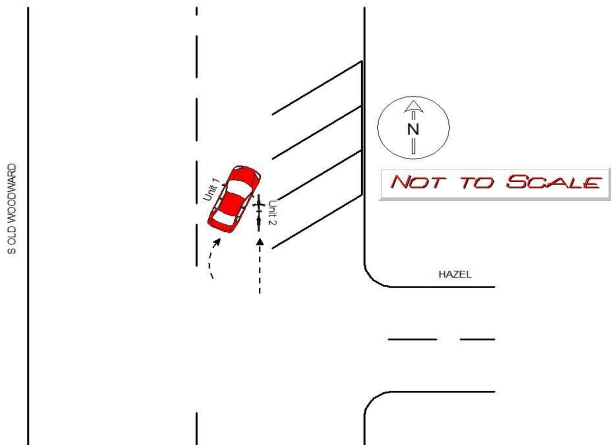
Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (62)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex M	Total Occupants 03	Hazardous Action None
Unit Type MV	Driver Information ##### ##### TROY, MI 48098-6609 (###) ###-####				Driver is Owner No	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt
Driver Condition at Time of Crash 1st Appeared Normal				Driver Distracted By 2nd Not Distracted		Ejected	Trapped	Airbag Deployed Not Deployed	
Hospital NONE		Ambulance NONE							
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other		
Vehicle Registration DUB0310	State MI	Vehicle Description 2020	Year	Make CADILLAC	Model XT6	Color RED			
VIN 1GYKPCRS5LZ101152		Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect	
Automation System(s) in Vehicle No		Automation System Level in Vehicle No Automation				Automation System Level Engaged at Time of Crash No Automation			
Insurance Company #####		Insurance Policy # #####			Towed By		Towed To		
Location of Greatest Damage 03	First Impact 03	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Turning Right		
Sequence of Events First ● 16 - Bicyclist (● indicates MOST harmful event)		Second		Third		Fourth			

PASSENGERS	Passenger Information		Date of Birth (Age)	Sex	Position	Restraint
	Injury		Ejected	Trapped	Airbag Deployed	
	Hospital		Ambulance			
PASSENGERS	Passenger Information		Date of Birth (Age)	Sex	Position	Restraint
	Injury		Ejected	Trapped	Airbag Deployed	
	Hospital		Ambulance			

TRUCK/BUS	Carrier Information		USDOT	MC	MPSC	
	Driver's CDL Type		Endorsements OH OP OT ON OS OX	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other		
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.	Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

Owner Information	Owner Information
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Damaged Property	Public	Owner & Phone
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UNIT / DRIVER	Unit Number 02	Unit Known No	State Driver License Number #####		Date of Birth (Age) ##/##/####	License Type <input type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	Total Occupants 01	Hazardous Action Improper Passing		
	Unit Type B	Driver Information ##### ##### (###) ###-####				Driver is Owner No	Injury	Position Bicyclist		Restraint Helmet Use Unknown		
	Driver Condition at Time of Crash 1st 2nd				Driver Distracted By Unknown		Ejected	Trapped	Airbag Deployed Not Equipped			
	Hospital NONE					Ambulance NONE						
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending Test Results:		Interlock Device No				
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other				
	Vehicle Registration		State	Vehicle Description		Year	Make	Model	Color			
	VIN		Vehicle Type		Special Vehicles Not Applicable		Private Trailer Type		Vehicle Defect			
	Automation System(s) in Vehicle		Automation System Level in Vehicle Unknown				Automation System Level Engaged at Time of Crash Unknown					
	Insurance Company #####			Insurance Policy # #####			Towed By			Towed To		
Location of Greatest Damage 11	First Impact 11	Extent of Damage (Power Unit and/or Trailers) No Damage		Vehicle Direction	Vehicle Use			Action Prior Overtaking or Passing				
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)												
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint			
					Injury	Ejected	Trapped	Airbag Deployed				
	Hospital				Ambulance							
TRUCK / BUS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint			
					Injury	Ejected	Trapped	Airbag Deployed				
	Hospital				Ambulance							
OWNERS	Carrier Information				USDOT		MC	MPSC				
					Driver's CDL Type OH OP OT ON OS OX		Endorsements CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other					
WITNESS	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.				Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #
	Owner Information				Owner Information							
WITNESS	Witness Information				Witness Information							
Investigated at Scene No		Reported Date (Time) 08/17/2020 (17:33)		1st Investigator Name (Badge) WALD (016)		2nd Investigator Name (Badge)		Photos No				
Narrative #1 WAS N/B OLD WOODWARD, TURNING RIGHT INTO PARKING STALL WITH SIGNAL ON. #2 WAS ILLEGALLY PASSING ON RIGHT AND RAN INTO #1 AS DRIVER WAS TURNING. CYCLIST DID NOT STOP AND FLED SCENE.					Diagram 							

Authority: 1949 PA 300, Sec.257.622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 1111801  
Crash ID 2074689

Page 01 of 01  
File Class 93001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department				Incident # 200013988			
Crash Date 08/18/2020		Crash Time 15:52	No. of Units 02	Crash Type Angle		Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Hit and Run <input type="radio"/> Fleeing Police <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile	
County 63 - Oakland		Traffic Control Signal		Relation to Roadway On the Road		Weather Clear		Area NON-FRWY Straight Roadway	
City/Twsp 80 - Birmingham		Contributing Circumstances 1st None		2nd		Light Daylight		Road Surface Condition Dry	
Work Zone (if applicable) Type		Workers Present		Activity		Location			

LOCATION	Prefix E	Primary Road Name BROWN	Road Type ST	Suffix	Divided Roadway
	Distance / Direction 100 Feet W				
	Trafficway Not Physically Divided				
UNIT / DRIVER	Prefix S	Intersecting Road Name WOODWARD	Road Type AVE	Suffix	Divided Roadway S

Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ##/##/#### (21)	License Type <input type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 01	Hazardous Action Improper Backing
Unit Type MV	Driver Information ##### ##### OAK PARK, MI 48237-3602 (###) ###-####				Driver is Owner Yes	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt
Driver Condition at Time of Crash 1st Appeared Normal				2nd		Driver Distracted By Not Distracted		Ejected	Trapped
Hospital NONE		Ambulance NONE							
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results: Interlock Device No		
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results: Citation Issued <input checked="" type="radio"/> Hazardous <input checked="" type="radio"/> Other		
Vehicle Registration LIC	State MI	Vehicle Description 2015	Make CHEVROLET	Model CRUZE	Color WHITE				
VIN 1G1PC5SB5F7126039	Vehicle Type Passenger Car, SUV, Van		Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect				
Automation System(s) in Vehicle No		Automation System Level in Vehicle No Automation			Automation System Level Engaged at Time of Crash No Automation				
Insurance Company #####		Insurance Policy # #####			Towed By		Towed To		
Location of Greatest Damage 06	First Impact 06	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction N	Vehicle Use Private		Action Prior Backing		
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)									

PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
				Injury	Ejected	Trapped	Airbag Deployed
	Hospital			Ambulance			
	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
				Injury	Ejected	Trapped	Airbag Deployed
	Hospital			Ambulance			

TRUCK/BUS	Carrier Information			USDOT	MC	MPSC		
				Driver's CDL Type	Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other		
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.			Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####		Owner Information	
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Damaged Property	Public	Owner & Phone
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UNIT / DRIVER	Unit Number	02	Unit Known	Yes	State	MI	Driver License Number	#####	Date of Birth (Age)	###/###/#### (20)	License Type	<input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements	<input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	M	Total Occupants	01	Hazardous Action	None					
	Unit Type	MV	Driver Information ##### ##### ROYAL OAK, MI 48067-1275 (###) ###-####								Driver is Owner	No	Injury	O	Position	Front - Left	Restraint Shoulder and Lap Belt								
	Driver Condition at Time of Crash 1st Appeared Normal								2nd				Driver Distracted By Not Distracted				Ejected	Trapped	Airbag Deployed Not Deployed						
	Hospital NONE										Ambulance NONE														
	Alcohol Suspected	No	Contributing Factor	No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered				Alcohol Test Results <input type="radio"/> Pending Test Results:				Interlock Device No												
	Drug Suspected	No	Contributing Factor	No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered				Drug Test Results <input type="radio"/> Pending Test Results:				Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other												
	Vehicle Registration		CKZ3148		State	MI	Vehicle Description		Year		2019		Make	HONDA		Model	INSIGHT		Color	GRAY					
	VIN		19XZE4F52KE020568		Vehicle Type		Passenger Car, SUV, Van		Special Vehicles		Not Applicable		Private Trailer Type				Vehicle Defect								
	Automation System(s) in Vehicle				No				Automation System Level in Vehicle				No Automation				Automation System Level Engaged at Time of Crash				No Automation				
	Insurance Company				#####				Insurance Policy #				#####				Towed By				Towed To				
Location of Greatest Damage		03		First Impact	03		Extent of Damage (Power Unit and/or Trailers)				Minor Damage		Vehicle Direction	E		Vehicle Use		Private		Action Prior		Stopped on Roadway			
Sequence of Events				First <input checked="" type="radio"/> 17 - Motor Veh in Transport				Second				Third				Fourth									
PASSENGERS	Passenger Information								Date of Birth (Age)		Sex	Position				Restraint									
	Hospital												Ambulance												
	Passenger Information								Date of Birth (Age)		Sex	Position				Restraint									
Hospital												Ambulance													
TRUCK / BUS	Carrier Information								USDOT				MC		MPSC										
									Driver's CDL Type				Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X		CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other										
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.				Vehicle Configuration				Cargo Body Type		Medical Card		Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #									
OWNERS	Owner Information								Owner Information																
WITNESS	Witness Information								Witness Information																
Investigated at Scene		Yes		Reported Date (Time)		08/18/2020 (15:52)		1st Investigator Name (Badge)				MANZO (64)				2nd Investigator Name (Badge)				Photos				No	
Narrative										Diagram															
UNIT 1 WAS PARKED IN THE JAX CAR WASH SIDE PARKING LOT. \NUNIT 2 WAS TRAVELING E/B ON E BROWN TOWARD WOODWARD. \NUNIT 1 BEGAN PULLING OUT OF THE PARKING SPOT. \NUNIT 2 STOPPED ON E BROWN FOR A RED LIGHT. \NAS UNIT 1 PULLED OUT INTO THE ROADWAY, UNIT 1 STRUCK UNIT 2. \NNO INJURIES. DRIVER OF UNIT 1 CITED FOR IMPROPER BACKING, NO OPS, NO PROOF INSURANCE.																									



Authority: 1949 PA 300, Sec.257-622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External #  
1118248

Crash ID  
2109114

Page 01 of 01  
File Class 93001

Incident #  
200015834

Reviewer  
KOCH (00006)

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department							
Crash Date 09/16/2020	Crash Time 16:33	No. of Units 02	Crash Type Sideswipe-Same	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal		Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile			
County 63 - Oakland	Traffic Control None		Relation to Roadway On the Road		Weather Clear		Area NON-FRWY Legal Parking		
City/Twsp 80 - Birmingham	Contributing Circumstances 1st None		2nd		Light Daylight	Road Surface Condition Dry	Total Lanes 03	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type Workers Present Activity Location									

LOCATION	Prefix S	Primary Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway
	Distance / Direction 30 Feet N				
	Trafficway Not Physically Divided				
UNIT / DRIVER	Prefix E	Intersecting Road Name BROWN	Road Type ST	Suffix	Divided Roadway

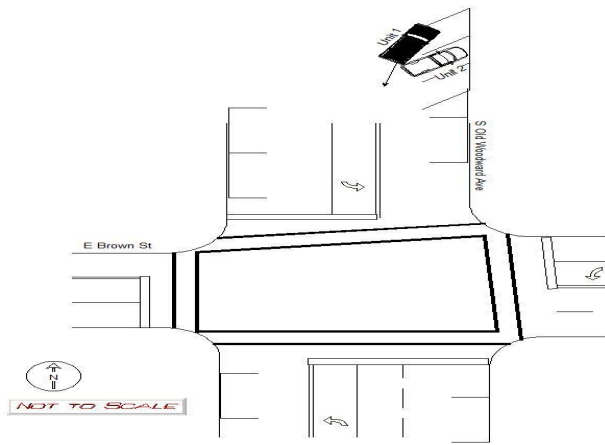
Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (36)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 01	Hazardous Action Improper Backing	
Unit Type MV	Driver Information ##### BLOOMFIELD HILLS, MI 48304-2642 (###) ###-####				Driver is Owner No	Injury O	Position Front - Left		Restraint Shoulder and Lap Belt	
Driver Condition at Time of Crash 1st Unknown				2nd		Driver Distracted By Unknown		Ejected	Trapped	Airbag Deployed Not Deployed
Hospital NONE		Ambulance NONE								
Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending		Test Results: Interlock Device No			
Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending		Test Results: Citation Issued <input checked="" type="radio"/> Hazardous <input type="radio"/> Other			
Vehicle Registration EHJ2851	State MI	Vehicle Description 2020	Make TOYOTA	Model LAND CRUISER	Color BLACK					
VIN JTMCY7AJ3L4093647	Vehicle Type Passenger Car, SUV, Van	Special Vehicles Not Applicable	Private Trailer Type	Vehicle Defect						
Automation System(s) in Vehicle No		Automation System Level in Vehicle No Automation			Automation System Level Engaged at Time of Crash No Automation					
Insurance Company #####		Insurance Policy # #####			Towed By		Towed To			
Location of Greatest Damage 03	First Impact 03	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction NE	Vehicle Use Private		Action Prior Leaving Parking			
Sequence of Events First ● 17 - Motor Veh in Transport (● indicates MOST harmful event)										

PASSENGERS	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
	Injury			Ejected	Trapped	Airbag Deployed	
	Hospital			Ambulance			
	Passenger Information			Date of Birth (Age)	Sex	Position	Restraint
Injury			Ejected	Trapped	Airbag Deployed		
Hospital			Ambulance				

TRUCK/BUS	Carrier Information			USDOT	MC	MPSC
	Driver's CDL Type			Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other	
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.	Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####		Owner Information	
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Damaged Property	Public	Owner & Phone
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UNIT / DRIVER	Unit Number 02	Unit Known No	State MI	Driver License Number #####	Date of Birth (Age) ###/###/####	License Type <input type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	Total Occupants 00	Hazardous Action
	Unit Type MV	Driver Information ##### ##### (###) ###-####				Driver is Owner No	Injury	Position		Restraint
	Driver Condition at Time of Crash 1st 2nd				Driver Distracted By Unknown		Ejected	Trapped	Airbag Deployed	
	Hospital NONE				Ambulance NONE					
	Alcohol Suspected No	Contributing Factor No	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending	Test Results:		Interlock Device No	
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending	Test Results:		Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other	
	Vehicle Registration DXJ7413	State MI	Vehicle Description 2015	Year	Make CHEVROLET	Model SILVERADO	Color WHITE			
	VIN 1GCVKREC9FZ369578	Vehicle Type Pickup Truck		Special Vehicles Not Applicable		Private Trailer Type	Vehicle Defect			
	Automation System(s) in Vehicle		Automation System Level in Vehicle Unknown			Automation System Level Engaged at Time of Crash Unknown				
	Insurance Company #####		Insurance Policy # #####			Towed By		Towed To		
Location of Greatest Damage 07	First Impact 07	Extent of Damage (Power Unit and/or Trailers) Minor Damage		Vehicle Direction NE	Vehicle Use Private		Action Prior Parked			
Sequence of Events ● 17 - Motor Veh in Transport (● indicates MOST harmful event)										
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
	Passenger Information				Date of Birth (Age)	Sex	Position		Restraint	
					Injury	Ejected	Trapped	Airbag Deployed		
	Hospital				Ambulance					
TRUCK / BUS	Carrier Information				USDOT	MC	MPSC			
					Driver's CDL Type OH OP OT ON OS OX	Endorsements <input type="radio"/> Farm <input type="radio"/> Other	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other			
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill		ID #	Class #
OWNERS	Owner Information ##### ##### #####, ## #####-#### (###) ###-####				Owner Information					
	Witness Information				Witness Information					
WITNESS	Investigated at Scene No	Reported Date (Time) 09/16/2020 (16:33)	1st Investigator Name (Badge) S. BARONE (65)		2nd Investigator Name (Badge)		Photos No			
	Narrative UNIT 2 WAS PARKED (UNOCCUPIED) FACING NB ON N OLD WOODWARD NORTH OF BROWN. UNIT 1 WAS LEAVING PARRALLEL PARKING SPOT JUST NORTH OF UNIT 2. UNIT 1 P/S FRONT COLLIDED WITH D/S OF UNIT 2. BOTH VEHICLES SUSTAINED MINOR DAMAGE. UNIT 1 DRIVER LEFT NOTE BUT DID NOT STAY ON SCENE OR CONTACT BIPD. UNIT 1 DRIVER CITED FOR IMPROPER/UNSAFE BACKING (ACCIDENT).									
Diagram 										

Authority: 1949 PA 300, Sec.257-622  
Compliance: Required MSP UD-10E  
Penalty: \$100 and/or 90 days (Rev 01/2016)

External # 1123312  
Crash ID 2115892

Page 01 of 01  
File Class 93001

# STATE OF MICHIGAN TRAFFIC CRASH REPORT

ORI MI 6325900		Department Name Birmingham Police Department		Incident # 200016958				
Crash Date 10/07/2020		Crash Time 22:58	No. of Units 01	Crash Type Single Motor Vehicle	Special Circumstances <input checked="" type="radio"/> None <input type="radio"/> Fleeing Police <input type="radio"/> Hit and Run <input type="radio"/> Unknown <input type="radio"/> School Bus <input type="radio"/> Animal	Special Checks <input type="radio"/> Fatal <input type="radio"/> Non-Traffic Area <input type="radio"/> ORV/Snowmobile		
County 63 - Oakland	Traffic Control None	Relation to Roadway On the Road		Weather Clear	Area NON-FRWY Straight Roadway			
City/Twsp 80 - Birmingham	Contributing Circumstances 1st None		2nd	Light Dark-Lighted	Road Surface Condition Dry	Total Lanes 03	Speed Limit 25	Posted Yes
Work Zone (if applicable) Type Constr. / Maint.		Workers Present No	Activity Lane Closure	Location No Warning Signs				

LOCATION	Prefix E	Primary Road Name BROWN	Road Type ST	Suffix	Divided Roadway
	Distance / Direction 75 Feet SW				
	Trafficway Not Physically Divided				
	Prefix S	Intersecting Road Name OLD WOODWARD	Road Type AVE	Suffix	Divided Roadway

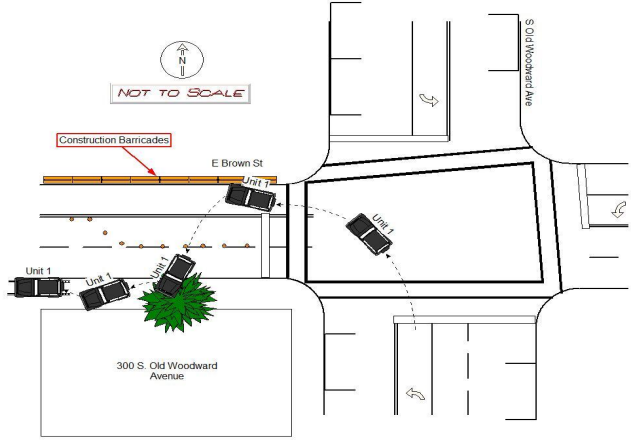
UNIT / DRIVER	Unit Number 01	Unit Known Yes	State MI	Driver License Number #####	Date of Birth (Age) ###/###/#### (21)	License Type <input checked="" type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex F	Total Occupants 01	Hazardous Action Careless Driving
	Unit Type MV	Driver Information ##### BLOOMFIELD HILLS, MI 48301-3122 (###) ###-####				Driver is Owner No	Injury O	Position Front - Left	Restraint Restraint Use Unknown	
	Driver Condition at Time of Crash 1st Emotional				2nd	Driver Distracted By Unknown		Ejected	Trapped	Airbag Deployed Not Deployed
	Hospital NONE		Ambulance NONE							
	Alcohol Suspected Yes	Contributing Factor Yes	Alcohol Test Type <input type="radio"/> Breath <input checked="" type="radio"/> Field <input type="radio"/> Blood <input checked="" type="radio"/> PBT <input type="radio"/> Urine <input type="radio"/> Refused <input type="radio"/> Not Offered		Alcohol Test Results <input type="radio"/> Pending Test Results: .10		Interlock Device No			
	Drug Suspected No	Contributing Factor No	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Field <input type="radio"/> Urine <input type="radio"/> Refused <input checked="" type="radio"/> Not Offered		Drug Test Results <input type="radio"/> Pending Test Results:		Citation Issued <input checked="" type="radio"/> Hazardous <input type="radio"/> Other			
	Vehicle Registration DTN1731	State MI	Vehicle Description 2020	Year	Make JEEP	Model GRAND CHEROK	Color BLACK			
	VIN 1C4RJFBG9LC420487	Vehicle Type Passenger Car, SUV, Van	Special Vehicles Not Applicable	Private Trailer Type		Vehicle Defect				
	Automation System(s) in Vehicle No		Automation System Level in Vehicle No Automation			Automation System Level Engaged at Time of Crash No Automation				
	Insurance Company #####		Insurance Policy # #####			Towed By JAKE'S AUTOMOTIVE		Towed To JAKE'S AUTOMOTIVE		

PASSENGERS	Passenger Information		Date of Birth (Age)	Sex	Position	Restraint
			Injury	Ejected	Trapped	Airbag Deployed
	Hospital		Ambulance			
	Passenger Information		Date of Birth (Age)	Sex	Position	Restraint
			Injury	Ejected	Trapped	Airbag Deployed
	Hospital		Ambulance			

TRUCK / BUS	Carrier Information		USDOT	MC	MPSC	
			Driver's CDL Type OH OP OT ON OS OX	Endorsements	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other	
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.	Vehicle Configuration	Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #

OWNERS	Owner Information		Owner Information	

Damaged Property SCRATCHES TO BUILDING	Public No	Owner & Phone ##### (###) ###-####
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UNIT / DRIVER	Unit Number	Unit Known	State	Driver License Number	Date of Birth (Age)	License Type <input type="radio"/> Operator <input type="radio"/> Chauffeur <input type="radio"/> Moped	Endorsements <input type="radio"/> Cycle <input type="radio"/> Farm <input type="radio"/> Recreation	Sex	Total Occupants	Hazardous Action	
	Unit Type	Driver Information				Driver is Owner	Injury	Position	Restraint		
	Driver Condition at Time of Crash 1st 2nd				Driver Distracted By			Ejected	Trapped	Airbag Deployed	
	Hospital					Ambulance					
	Alcohol Suspected	Contributing Factor	Alcohol Test Type <input type="radio"/> Breath <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> PBT <input type="radio"/> Refused <input type="radio"/> Not Offered			Alcohol Test Results <input type="radio"/> Pending	Test Results:	Interlock Device			
	Drug Suspected	Contributing Factor	Drug Test Type <input type="radio"/> Blood <input type="radio"/> Urine <input type="radio"/> Field <input type="radio"/> Refused <input type="radio"/> Not Offered			Drug Test Results <input type="radio"/> Pending	Test Results:	Citation Issued <input type="radio"/> Hazardous <input type="radio"/> Other			
	Vehicle Registration	State	Vehicle Description	Year	Make	Model	Color				
	VIN	Vehicle Type		Special Vehicles		Private Trailer Type	Vehicle Defect				
	Automation System(s) in Vehicle		Automation System Level in Vehicle			Automation System Level Engaged at Time of Crash					
	Insurance Company			Insurance Policy #			Towed By		Towed To		
Location of Greatest Damage		First Impact	Extent of Damage (Power Unit and/or Trailers)		Vehicle Direction	Vehicle Use		Action Prior			
Sequence of Events		First	Second		Third		Fourth				
(● indicates MOST harmful event)											
PASSENGERS	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint			
					Injury	Ejected	Trapped	Airbag Deployed			
	Hospital				Ambulance						
	Passenger Information				Date of Birth (Age)	Sex	Position	Restraint			
				Injury	Ejected	Trapped	Airbag Deployed				
Hospital				Ambulance							
TRUCK / BUS	Carrier Information				USDOT		MC	MPSC			
					Driver's CDL Type	Endorsements <input type="radio"/> H <input type="radio"/> P <input type="radio"/> T <input type="radio"/> N <input type="radio"/> S <input type="radio"/> X	CDL Exempt <input type="radio"/> Farm <input type="radio"/> Other				
	GVWR/GCWR <input type="radio"/> 10,000 lbs. or Less <input type="radio"/> 10,001 - 26,000 lbs. <input type="radio"/> Greater than 26,000 lbs.		Vehicle Configuration		Cargo Body Type	Medical Card	Hazardous Material <input type="radio"/> Placard <input type="radio"/> Cargo Spill	ID #	Class #		
OWNERS	Owner Information				Owner Information						
WITNESS	Witness Information				Witness Information						
Investigated at Scene Yes		Reported Date (Time) 10/07/2020 (22:58)		1st Investigator Name (Badge) ROMANOWSKI (00052)		2nd Investigator Name (Badge)		Photos Yes			
Narrative UNIT 1 - DRIVER WAS TURNING LEFT FROM S OLD WOODWARD ONTO E BROWN. DRIVER SAID SHE WAS NOT SURE WHAT HAPPENED. DAMAGE ON SCENE AND UNIT 1 SHOWED THE DRIVER HIT THE CONSTRUCTION BARRICADES ON THE NORTH SIDE OF THE ROAD. UNIT 1 THEN CROSSED OVER E BROWN AND HIT A TREE OFF THE ROADWAY. AFTER STRIKING THE TREE, UNIT 1 STRUCK 300 S OLD WOODWARD. \NNWITNESSES STATE AFTER UNIT 1 SETTLED, THE DRIVER TRIED MULTIPLE TIMES TO CONTINUE TO DRIVE THE VEHICLE, CAUSING MULTIPLE WHEEL MARKS AND SCRATCHES ON THE SIDEWALK. \NNALCOHOL WAS SUSPECTED AS BEING A CONTRIBUTING FACTOR. FIELD SOBRIETY EVALUATIONS WERE COMPLETED ALONG WITH A PBT. THE FIELD SOBRIETY EVALUATIONS DID NOT CONCLUDE IF THE DRIVER WAS IMPAIRED AND NO PROBABLE CAUSE FOR ARREST WAS OBTAINED. A SUBSEQUENT PBT SHOWED THE DRIVER'S BLOOD ALCOHOL CONTENT TO BE 0.10%. \NNALL PHOTOGRAPHS COULD NOT BE UPLOADED TO THIS DOCUMENTATION AND WERE ATTACHED TO BIPD REPORT #20-16958.					Diagram 						



# **TRANSIT SCHEDULES**



# 450/460 WOODWARD LOCAL Northbound for Weekday

ROUTE	WOODWARD & STATE FAIRGROUND DS	WOODWARD & 9 MILE RD.	ROYAL OAK TRANSIT CENTER	WOODWARD & 11 MILE RD.	WOODWARD & 13 MILE RD.	WOODWARD & DAINES	SOMERSET COLLECTION	WOODWARD & CHARLES LANE	PHOENIX CENTER
460	4:50AM	4:55AM	5:01AM	5:03AM	5:08AM	5:14AM	5:24AM	-	-
450	5:20AM	5:24AM	-	5:29AM	5:34AM	5:40AM	-	5:51AM	6:00AM
460	5:50AM	5:55AM	6:01AM	6:03AM	6:08AM	6:14AM	6:24AM	-	-
450	6:20AM	6:24AM	-	6:29AM	6:34AM	6:40AM	-	6:51AM	7:00AM
460	6:50AM	6:55AM	7:01AM	7:03AM	7:08AM	7:14AM	7:24AM	-	-
450	7:20AM	7:25AM	-	7:30AM	7:35AM	7:41AM	-	7:53AM	8:02AM
460	7:50AM	7:56AM	8:03AM	8:06AM	8:11AM	8:17AM	8:27AM	-	-
450	8:20AM	8:26AM	-	8:32AM	8:38AM	8:44AM	-	8:56AM	9:05AM
460	8:50AM	8:56AM	9:03AM	9:06AM	9:12AM	9:18AM	9:28AM	-	-
450	9:20AM	9:26AM	-	9:32AM	9:38AM	9:45AM	-	9:58AM	10:07AM
460	9:50AM	9:56AM	10:03AM	10:06AM	10:12AM	10:19AM	10:29AM	-	-
450	10:20AM	10:26AM	-	10:32AM	10:38AM	10:45AM	-	10:58AM	11:07AM
460	10:50AM	10:56AM	11:03AM	11:06AM	11:12AM	11:19AM	11:29AM	-	-
450	11:20AM	11:26AM	-	11:32AM	11:39AM	11:46AM	-	11:59AM	12:10PM
460	11:50AM	11:56AM	12:03PM	12:06PM	12:13PM	12:20PM	12:32PM	-	-
450	12:20PM	12:26PM	-	12:33PM	12:40PM	12:47PM	-	1:00PM	1:11PM
460	12:50PM	12:56PM	1:03PM	1:06PM	1:13PM	1:20PM	1:32PM	-	-
450	1:20PM	1:26PM	-	1:33PM	1:40PM	1:47PM	-	2:00PM	2:11PM
460	1:50PM	1:56PM	2:03PM	2:06PM	2:13PM	2:20PM	2:32PM	-	-
450	2:20PM	2:26PM	-	2:33PM	2:40PM	2:47PM	-	3:00PM	3:11PM
460	2:50PM	2:56PM	3:03PM	3:06PM	3:13PM	3:20PM	3:32PM	-	-
450	3:20PM	3:26PM	-	3:33PM	3:39PM	3:46PM	-	3:59PM	4:09PM
460	3:50PM	3:56PM	4:03PM	4:06PM	4:12PM	4:19PM	4:30PM	-	-
450	4:20PM	4:26PM	-	4:32PM	4:38PM	4:45PM	-	4:58PM	5:08PM
460	4:50PM	4:56PM	5:03PM	5:06PM	5:12PM	5:19PM	5:30PM	-	-
450	5:20PM	5:26PM	-	5:32PM	5:38PM	5:45PM	-	5:58PM	6:08PM
460	5:50PM	5:56PM	6:03PM	6:06PM	6:12PM	6:19PM	6:30PM	-	-
450	6:20PM	6:26PM	-	6:32PM	6:38PM	6:45PM	-	6:58PM	7:08PM
460	6:50PM	6:56PM	7:03PM	7:06PM	7:12PM	7:19PM	7:30PM	-	-
450	7:20PM	7:25PM	-	7:31PM	7:37PM	7:44PM	-	7:56PM	8:06PM
460	7:50PM	7:55PM	8:02PM	8:05PM	8:10PM	8:17PM	8:27PM	-	-
450	8:20PM	8:25PM	-	8:31PM	8:37PM	8:44PM	-	8:56PM	9:06PM
460	8:50PM	8:55PM	9:02PM	9:05PM	9:10PM	9:17PM	9:27PM	-	-
450	9:20PM	9:25PM	-	9:31PM	9:37PM	9:44PM	-	9:56PM	10:06PM
460	9:50PM	9:55PM	10:02PM	10:05PM	10:10PM	10:17PM	10:27PM	-	-
450	10:20PM	10:25PM	-	10:31PM	10:37PM	10:44PM	-	10:56PM	11:06PM
460	10:50PM	10:55PM	11:02PM	11:04PM	11:09PM	11:14PM	11:23PM	-	-
450	11:20PM	11:25PM	-	11:31PM	11:37PM	11:44PM	-	11:56PM	12:06AM



# 450/460 WOODWARD LOCAL Southbound for Weekday

ROUTE	PHOENIX CENTER	WOODWARD & CHARLES LANE	SOMERSET COLLECTION	WOODWARD & DAINES	WOODWARD & 13 MILE RD.	WOODWARD & 11 MILE RD.	ROYAL OAK TRANSIT CENTER	WOODWARD & 9 MILE RD.	WOODWARD & STATE FAIRGROUND DS
450	4:31AM	4:39AM	-	4:50AM	4:55AM	5:00AM	-	5:05AM	5:10AM
460	-	-	5:10AM	5:17AM	5:22AM	5:27AM	5:29AM	5:35AM	5:40AM
450	5:31AM	5:39AM	-	5:50AM	5:55AM	6:00AM	-	6:05AM	6:10AM
460	-	-	6:05AM	6:15AM	6:20AM	6:25AM	6:28AM	6:35AM	6:40AM
450	6:30AM	6:39AM	-	6:50AM	6:55AM	7:00AM	-	7:05AM	7:10AM
460	-	-	7:05AM	7:15AM	7:20AM	7:25AM	7:28AM	7:35AM	7:40AM
450	7:28AM	7:37AM	-	7:48AM	7:53AM	8:00AM	-	8:05AM	8:10AM
460	-	-	8:00AM	8:12AM	8:18AM	8:25AM	8:28AM	8:35AM	8:40AM
450	8:26AM	8:36AM	-	8:47AM	8:53AM	9:00AM	-	9:05AM	9:10AM
460	-	-	9:00AM	9:12AM	9:18AM	9:25AM	9:28AM	9:35AM	9:40AM
450	9:26AM	9:36AM	-	9:47AM	9:53AM	10:00AM	-	10:05AM	10:10AM
460	-	-	10:00AM	10:12AM	10:18AM	10:25AM	10:28AM	10:35AM	10:40AM
450	10:26AM	10:36AM	-	10:47AM	10:53AM	11:00AM	-	11:05AM	11:10AM
460	-	-	11:00AM	11:12AM	11:18AM	11:25AM	11:28AM	11:35AM	11:40AM
450	11:25AM	11:35AM	-	11:46AM	11:52AM	11:59AM	-	12:05PM	12:10PM
460	-	-	11:57AM	12:11PM	12:17PM	12:24PM	12:27PM	12:35PM	12:40PM
450	12:21PM	12:33PM	-	12:46PM	12:52PM	12:59PM	-	1:05PM	1:10PM
460	-	-	12:58PM	1:11PM	1:17PM	1:24PM	1:27PM	1:35PM	1:40PM
450	1:21PM	1:33PM	-	1:46PM	1:52PM	1:59PM	-	2:05PM	2:10PM
460	-	-	1:58PM	2:11PM	2:17PM	2:24PM	2:27PM	2:35PM	2:40PM
450	2:21PM	2:33PM	-	2:46PM	2:52PM	2:59PM	-	3:05PM	3:10PM
460	-	-	2:58PM	3:11PM	3:17PM	3:24PM	3:27PM	3:35PM	3:40PM
450	3:21PM	3:33PM	-	3:46PM	3:52PM	3:59PM	-	4:05PM	4:10PM
460	-	-	3:58PM	4:11PM	4:17PM	4:24PM	4:27PM	4:35PM	4:40PM
450	4:21PM	4:33PM	-	4:46PM	4:52PM	4:59PM	-	5:05PM	5:10PM
460	-	-	4:58PM	5:11PM	5:17PM	5:24PM	5:27PM	5:35PM	5:40PM
450	5:21PM	5:33PM	-	5:46PM	5:52PM	5:59PM	-	6:05PM	6:10PM
460	-	-	5:58PM	6:11PM	6:17PM	6:24PM	6:27PM	6:35PM	6:40PM
450	6:21PM	6:33PM	-	6:46PM	6:52PM	6:59PM	-	7:05PM	7:10PM
460	-	-	6:58PM	7:11PM	7:17PM	7:24PM	7:27PM	7:35PM	7:40PM
450	7:24PM	7:35PM	-	7:48PM	7:54PM	8:00PM	-	8:05PM	8:10PM
460	-	-	8:00PM	8:12PM	8:18PM	8:24PM	8:27PM	8:35PM	8:40PM
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450	10:24PM	10:35PM	-	10:48PM	10:54PM	11:00PM	-	11:05PM	11:10PM
460	-	-	11:05PM	11:15PM	11:20PM	11:26PM	11:28PM	11:35PM	11:40PM



# 450/460 WOODWARD LOCAL Northbound for Saturday

ROUTE	WOODWARD & STATE FAIRGROUN DS	WOODWARD & 9 MILE RD.	ROYAL OAK TRANSIT CENTER	WOODWARD & 11 MILE RD.	WOODWARD & 13 MILE RD.	WOODWARD & DAINES	SOMERSET COLLECTION	WOODWARD & CHARLES LANE	PHOENIX CENTER
460	4:50AM	4:55AM	5:01AM	5:03AM	5:08AM	5:14AM	5:24AM	-	-
450	5:20AM	5:24AM	-	5:29AM	5:34AM	5:40AM	-	5:51AM	6:00AM
460	5:50AM	5:55AM	6:01AM	6:03AM	6:08AM	6:14AM	6:24AM	-	-
450	6:20AM	6:24AM	-	6:29AM	6:34AM	6:40AM	-	6:51AM	7:00AM
460	6:50AM	6:55AM	7:01AM	7:03AM	7:08AM	7:14AM	7:24AM	-	-
450	7:20AM	7:25AM	-	7:30AM	7:35AM	7:41AM	-	7:53AM	8:02AM
460	7:50AM	7:56AM	8:03AM	8:06AM	8:11AM	8:17AM	8:27AM	-	-
450	8:20AM	8:26AM	-	8:32AM	8:38AM	8:44AM	-	8:56AM	9:05AM
460	8:50AM	8:56AM	9:03AM	9:06AM	9:12AM	9:18AM	9:28AM	-	-
450	9:20AM	9:26AM	-	9:32AM	9:38AM	9:45AM	-	9:58AM	10:07AM
460	9:50AM	9:56AM	10:03AM	10:06AM	10:12AM	10:19AM	10:29AM	-	-
450	10:20AM	10:26AM	-	10:32AM	10:38AM	10:45AM	-	10:58AM	11:07AM
460	10:50AM	10:56AM	11:03AM	11:06AM	11:12AM	11:19AM	11:29AM	-	-
450	11:20AM	11:26AM	-	11:32AM	11:39AM	11:46AM	-	11:59AM	12:10PM
460	11:50AM	11:56AM	12:03PM	12:06PM	12:13PM	12:20PM	12:32PM	-	-
450	12:20PM	12:26PM	-	12:33PM	12:40PM	12:47PM	-	1:00PM	1:11PM
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450	1:20PM	1:26PM	-	1:33PM	1:40PM	1:47PM	-	2:00PM	2:11PM
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460	10:50PM	10:55PM	11:02PM	11:04PM	11:09PM	11:14PM	11:23PM	-	-
450	11:20PM	11:25PM	-	11:31PM	11:37PM	11:44PM	-	11:56PM	12:06AM





# 450/460 WOODWARD LOCAL Southbound for Saturday

ROUTE	PHOENIX CENTER	WOODWARD & CHARLES LANE	SOMERSET COLLECTION	WOODWARD & DAINES	WOODWARD & 13 MILE RD.	WOODWARD & 11 MILE RD.	ROYAL OAK TRANSIT CENTER	WOODWARD & 9 MILE RD.	WOODWARD & STATE FAIRGROUND DS
450	4:31AM	4:39AM	-	4:50AM	4:55AM	5:00AM	-	5:05AM	5:10AM
460	-	-	5:10AM	5:17AM	5:22AM	5:27AM	5:29AM	5:35AM	5:40AM
450	5:31AM	5:39AM	-	5:50AM	5:55AM	6:00AM	-	6:05AM	6:10AM
460	-	-	6:05AM	6:15AM	6:20AM	6:25AM	6:28AM	6:35AM	6:40AM
450	6:30AM	6:39AM	-	6:50AM	6:55AM	7:00AM	-	7:05AM	7:10AM
460	-	-	7:05AM	7:15AM	7:20AM	7:25AM	7:28AM	7:35AM	7:40AM
450	7:28AM	7:37AM	-	7:48AM	7:53AM	8:00AM	-	8:05AM	8:10AM
460	-	-	8:00AM	8:12AM	8:18AM	8:25AM	8:28AM	8:35AM	8:40AM
450	8:26AM	8:36AM	-	8:47AM	8:53AM	9:00AM	-	9:05AM	9:10AM
460	-	-	9:00AM	9:12AM	9:18AM	9:25AM	9:28AM	9:35AM	9:40AM
450	9:26AM	9:36AM	-	9:47AM	9:53AM	10:00AM	-	10:05AM	10:10AM
460	-	-	10:00AM	10:12AM	10:18AM	10:25AM	10:28AM	10:35AM	10:40AM
450	10:26AM	10:36AM	-	10:47AM	10:53AM	11:00AM	-	11:05AM	11:10AM
460	-	-	11:00AM	11:12AM	11:18AM	11:25AM	11:28AM	11:35AM	11:40AM
450	11:25AM	11:35AM	-	11:46AM	11:52AM	11:59AM	-	12:05PM	12:10PM
460	-	-	11:57AM	12:11PM	12:17PM	12:24PM	12:27PM	12:35PM	12:40PM
450	12:21PM	12:33PM	-	12:46PM	12:52PM	12:59PM	-	1:05PM	1:10PM
460	-	-	12:58PM	1:11PM	1:17PM	1:24PM	1:27PM	1:35PM	1:40PM
450	1:21PM	1:33PM	-	1:46PM	1:52PM	1:59PM	-	2:05PM	2:10PM
460	-	-	1:58PM	2:11PM	2:17PM	2:24PM	2:27PM	2:35PM	2:40PM
450	2:21PM	2:33PM	-	2:46PM	2:52PM	2:59PM	-	3:05PM	3:10PM
460	-	-	2:58PM	3:11PM	3:17PM	3:24PM	3:27PM	3:35PM	3:40PM
450	3:21PM	3:33PM	-	3:46PM	3:52PM	3:59PM	-	4:05PM	4:10PM
460	-	-	3:58PM	4:11PM	4:17PM	4:24PM	4:27PM	4:35PM	4:40PM
450	4:21PM	4:33PM	-	4:46PM	4:52PM	4:59PM	-	5:05PM	5:10PM
460	-	-	4:58PM	5:11PM	5:17PM	5:24PM	5:27PM	5:35PM	5:40PM
450	5:21PM	5:33PM	-	5:46PM	5:52PM	5:59PM	-	6:05PM	6:10PM
460	-	-	5:58PM	6:11PM	6:17PM	6:24PM	6:27PM	6:35PM	6:40PM
450	6:21PM	6:33PM	-	6:46PM	6:52PM	6:59PM	-	7:05PM	7:10PM
460	-	-	6:58PM	7:11PM	7:17PM	7:24PM	7:27PM	7:35PM	7:40PM
450	7:24PM	7:35PM	-	7:48PM	7:54PM	8:00PM	-	8:05PM	8:10PM
460	-	-	8:00PM	8:12PM	8:18PM	8:24PM	8:27PM	8:35PM	8:40PM
450	8:26PM	8:37PM	-	8:50PM	8:56PM	9:02PM	-	9:07PM	9:12PM
460	-	-	9:01PM	9:13PM	9:19PM	9:25PM	9:28PM	9:35PM	9:40PM
450	9:26PM	9:37PM	-	9:50PM	9:56PM	10:02PM	-	10:07PM	10:12PM
460	-	-	10:03PM	10:13PM	10:19PM	10:25PM	10:28PM	10:35PM	10:40PM
450	10:24PM	10:35PM	-	10:48PM	10:54PM	11:00PM	-	11:05PM	11:10PM
460	-	-	11:05PM	11:15PM	11:20PM	11:26PM	11:28PM	11:35PM	11:40PM



## 450/460 WOODWARD LOCAL Northbound for Sunday

ROUTE	WOODWARD & STATE FAIRGROUN DS	WOODWARD & 9 MILE RD.	ROYAL OAK TRANSIT CENTER	WOODWARD & 11 MILE RD.	WOODWARD & 13 MILE RD.	WOODWARD & DAINES	SOMERSET COLLECTION	WOODWARD & CHARLES LANE	PHOENIX CENTER
460	6:50AM	6:55AM	7:01AM	7:03AM	7:08AM	7:14AM	7:24AM	-	-
450	7:50AM	7:56AM	-	8:02AM	8:07AM	8:13AM	-	8:25AM	8:34AM
460	8:50AM	8:56AM	9:03AM	9:06AM	9:12AM	9:18AM	9:28AM	-	-
450	9:50AM	9:56AM	-	10:02AM	10:08AM	10:15AM	-	10:28AM	10:37AM
460	10:50AM	10:56AM	11:03AM	11:06AM	11:12AM	11:19AM	11:29AM	-	-
450	11:54AM	12:00PM	-	12:07PM	12:14PM	12:21PM	-	12:34PM	12:45PM
460	12:50PM	12:56PM	1:03PM	1:06PM	1:13PM	1:20PM	1:32PM	-	-
450	1:50PM	1:56PM	-	2:03PM	2:10PM	2:17PM	-	2:30PM	2:41PM
460	2:50PM	2:56PM	3:03PM	3:06PM	3:13PM	3:20PM	3:32PM	-	-
450	3:50PM	3:56PM	-	4:02PM	4:08PM	4:15PM	-	4:28PM	4:38PM
460	4:50PM	4:56PM	5:03PM	5:06PM	5:12PM	5:19PM	5:30PM	-	-
450	5:50PM	5:56PM	-	6:02PM	6:08PM	6:15PM	-	6:28PM	6:38PM
460	6:50PM	6:56PM	7:03PM	7:06PM	7:12PM	7:19PM	7:30PM	-	-
450	7:44PM	7:49PM	-	7:55PM	8:01PM	8:08PM	-	8:20PM	8:30PM
460	8:50PM	8:55PM	9:02PM	9:05PM	9:10PM	9:17PM	9:27PM	-	-
450	9:50PM	9:55PM	-	10:01PM	10:07PM	10:14PM	-	10:26PM	10:36PM
460	10:50PM	10:55PM	11:02PM	11:04PM	11:09PM	11:14PM	11:23PM	-	-



## 450/460 WOODWARD LOCAL Southbound for Sunday

ROUTE	PHOENIX CENTER	WOODWARD & CHARLES LANE	SOMERSET COLLECTION	WOODWARD & DAINES	WOODWARD & 13 MILE RD.	WOODWARD & 11 MILE RD.	ROYAL OAK TRANSIT CENTER	WOODWARD & 9 MILE RD.	WOODWARD & STATE FAIRGROUN DS
460	-	-	5:50AM	5:57AM	6:02AM	6:07AM	6:10AM	6:17AM	6:22AM
450	6:50AM	6:59AM	-	7:10AM	7:15AM	7:20AM	-	7:25AM	7:30AM
460	-	-	7:50AM	8:00AM	8:06AM	8:13AM	8:16AM	8:23AM	8:28AM
450	8:50AM	9:00AM	-	9:11AM	9:17AM	9:24AM	-	9:29AM	9:34AM
460	-	-	9:50AM	10:02AM	10:08AM	10:15AM	10:18AM	10:25AM	10:30AM
450	10:50AM	11:00AM	-	11:11AM	11:17AM	11:24AM	-	11:29AM	11:34AM
460	-	-	11:50AM	12:02PM	12:08PM	12:15PM	12:18PM	12:26PM	12:31PM
450	12:50PM	1:02PM	-	1:15PM	1:21PM	1:28PM	-	1:34PM	1:39PM
460	-	-	1:50PM	2:03PM	2:09PM	2:16PM	2:19PM	2:27PM	2:32PM
450	2:50PM	3:02PM	-	3:15PM	3:21PM	3:28PM	-	3:34PM	3:39PM
460	-	-	3:50PM	4:03PM	4:09PM	4:16PM	4:19PM	4:27PM	4:32PM
450	4:50PM	5:02PM	-	5:15PM	5:21PM	5:28PM	-	5:34PM	5:39PM
460	-	-	5:50PM	6:03PM	6:09PM	6:16PM	6:19PM	6:27PM	6:32PM
450	6:50PM	7:02PM	-	7:15PM	7:21PM	7:28PM	-	7:34PM	7:39PM
460	-	-	7:50PM	8:03PM	8:09PM	8:15PM	8:18PM	8:26PM	8:31PM
450	8:50PM	9:01PM	-	9:14PM	9:20PM	9:26PM	-	9:31PM	9:36PM
460	-	-	9:50PM	10:02PM	10:08PM	10:14PM	10:17PM	10:24PM	10:29PM
450	10:56PM	11:07PM	-	11:20PM	11:26PM	11:32PM	-	11:37PM	11:42PM
460	-	-	11:25PM	11:35PM	11:39PM	11:44PM	11:46PM	11:52PM	11:57PM

## **Section 3.5**

### **Phase I Environmental Site Assessment**





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December 11, 2020

Mr. John Hindo  
Boji Group, LLC  
124 West Allegan Street, Suite 2100  
Lansing, Michigan 48933

**Re: Phase I Environmental Site Assessment of the Commercial Properties  
Located at 300-394 South Old Woodward Avenue and  
294 East Brown Street, Birmingham, Michigan  
PM Environmental, Inc. Project No. 01-12660-0-0001**

Dear Mr. Hindo:

PM Environmental, Incorporated (PM) has completed the Phase I Environmental Site Assessment (ESA) of the above referenced property. This Phase I ESA was conducted in accordance with (1) the United States Environmental Protection Agency (USEPA) Standards and Practices for All Appropriate Inquiries {(AAI), 40 CFR Part 312} and (2) guidelines established by the American Society for Testing and Materials (ASTM) International in the *Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process / Designation E 1527-13* (ASTM Standard Practice E 1527-13).

The Phase I ESA for the above referenced property represents the product of PM's professional expertise and judgment in the environmental consulting industry, and it is reasonable for **BOJI GROUP, LLC** to rely on PM's Phase I ESA report.

If you have any questions related to this report, please do not hesitate to contact our office at 248.336.9988.

Sincerely,  
**PM ENVIRONMENTAL, INC.**

Lauren Babuska  
Project Consultant

Beth Sexton  
Chief Operating Officer

## EXECUTIVE SUMMARY

PM Environmental, Inc., (PM) was retained to conduct a Phase I Environmental Site Assessment (ESA) of the Commercial Properties located at 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Oakland County, Michigan (hereafter referred to as the “subject property”). This Phase I ESA was conducted in accordance with (1) the United States Environmental Protection Agency (USEPA) Standards and Practices for All Appropriate Inquiries (AAI), 40 CFR Part 312 and (2) guidelines established by the American Society for Testing and Materials (ASTM) International in the *Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process / Designation E 1527-13* (ASTM Standard Practice E 1527-13).

**THIS REPORT WAS PREPARED FOR THE EXCLUSIVE USE OF BOJI GROUP, LLC, WHO MAY RELY ON THE REPORT’S CONTENTS.**

Item	Comments		
Number of Parcels and Acreage	Three parcels totaling 1.25 acres		
Parcel Identifier in this report, Parcel Address, and Number of Building(s) and Square Footage per Parcel	Northeastern Parcel	300 South Old Woodward Avenue	4,300 square foot single-story building with partial basement
	Southeastern Parcel	360-394 South Old Woodward Avenue	7,913 square foot single-story building with partial basement
	Western Parcel	294 East Brown Street	13,290 square foot two-story building with basement
Current Property Use	Operations on the northeastern and western parcels consist of general office activities. Operations on the southeastern parcel consist of retail sales and shoe repair activities.		

Reasonably ascertainable records for the subject property extended back to approximately 1921. Data failure occurred prior to that date. However, PM did not identify any significant data gaps during the completion of this Phase I ESA.

The following paragraphs provide historical summaries for each subject parcel. Recognized environmental conditions (RECs) identified as discussed in that section later in this summary. Former potential operations of concern and unknown operations that have not been identified as a REC are discussed in this section for clarification.

Standard and other historical sources document the northeastern parcel, identified as 300 South Old Woodward Avenue, was developed prior to 1921 with a dwelling and shed structure. A small storefront building was constructed in the eastern portion of the parcel between 1926 and 1931. The dwelling and shed structure were demolished by 1945 when the northern portion of the current building was constructed in the same area of the parcel. The small storefront building was demolished by 1949. The southern addition of the current building was completed in 1954 and additional southeastern addition was completed in 1994. The building was labeled as a storefront in the 1949 Sanborn map, with a used car sales operation depicted south of the building. Based on local street directories documenting the southeastern parcel being occupied by a dealership, it is likely that the used car sales operations were for the dealership / surface lot and not associated with the current building. The building has been occupied by various professional offices since at least 1951.

PM was unable to determine the occupants of the former small storefront building (constructed between 1926 and 1931 and demolished by 1949) or the occupants of the current building from construction in 1945 until 1951 when first known office use was identified. Based on the relatively small scale and short timeframe of former operations, PM has not identified the unknown operations as a REC. Additionally, PM has not identified the former automotive sales lot on the property as a REC.

The southeastern parcel, identified as 360-394 South Old Woodward Avenue, was developed prior to 1921 with a dwelling and garage structure. The former dwelling was converted to a storefront by 1926. PM was unable to confirm the operations of the former storefront building on the property between at least 1926 and 1929. However, based on the small scale and short timeframe of operations, PM has not identified the unknown operations as a REC.

The southeastern parcel was redeveloped in approximately 1929 with a majority of the current building, occupied by an automotive service operation and gasoline dispensing station, with at least four USTs located along South Old Woodward Avenue. Gasoline dispensing operations ceased at some time between 1960 and 1970 and an addition to the service building was completed in the area of former dispensing operations between 1967 and 1974. The building was occupied by automotive service operations until at least 1967. The building was divided into multiple tenant spaces during at least the late-1960s and occupied by a theater between at least 1966 and 1986, automotive sales with potential service operations between at least 1980 and 1988, a potential dry cleaner (Moore Cleaners) between at least 1969 and 1976, automotive sales in the mid-2000s, and Frank's Shoe Service and additional retail operations since at least 1969. Cobbler activities (Frank's Shoe Service) include shoe repair, painting, leather conditioning, and polishing. Based on the small scale of operations and lack of waste generated, PM has not identified the cobbler activities as a REC.

The western parcel, identified as 294 East Brown Street, was developed prior to 1921 with two dwellings in the western portion and a former roadway (Ann Street), transecting the parcel from north to south. An additional dwelling was constructed in the northeastern portion of the parcel between 1926 and 1931. A former dwelling in the northwestern portion was demolished and a majority of the current building was constructed in 1956. The former northeastern and remaining western dwellings were converted for office use. The former converted dwellings / office buildings were demolished, the southern addition was completed on the current building, and the former roadway was closed between 1967 and 1974. The current building was occupied by various offices, retail sales, or salons between 1958 and 1971, Chudik's Furs between at least 1970 and 1991, and various professional offices since at least 1998.

The following table summarizes the conditions identified as part of this assessment. Affirmative answers are further discussed below the table:

Type of Condition	Identified During the Course of this Assessment
De Minimis Condition	No
Significant Data Gap	No
Historical Recognized Environmental Condition (HREC)	No
Recognized Environmental Condition (REC)	Yes
Controlled Recognized Environmental Condition (CREC)	No

Type of Condition	Identified During the Course of this Assessment
Significant Non-ASTM Scope Considerations and/or Business Environmental Risks	No

### **Recognized Environmental Condition**

We have performed a Phase I Environmental Site Assessment in conformance with the scope and limitations of ASTM Practice E 1527-13 of the Commercial Properties located at 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Oakland County, Michigan, the property. Any exceptions to, or deletions from, this practice are described in Section 1.4 of this report. This assessment has revealed no evidence of recognized environmental conditions connected with the property except the following:

- The current building on the southeastern parcel, identified as 360-394 South Old Woodward Avenue, was historically occupied by automotive service operations between at least 1929 and 1967. Additionally, records suggest automotive sales between at least 1980 and 1988 appear to have included limited service or repair operations. Historical interior waste streams associated with the former service operations would have consisted of general hazardous substances and/or petroleum products. This time period preceded major environmental regulations and current waste management and disposal procedures. The historical waste management practices associated with the former service operations are unknown and may be a source of subsurface contamination.
- Historical interior waste streams associated with the former service operations would have consisted of general hazardous substances and/or petroleum products. This time period preceded major environmental regulations and current waste management and disposal procedures. The historical waste management practices associated with the former service operations are unknown and may be a source of subsurface contamination.
- Former service operations on the southeastern parcel may have utilized In-ground hoists, which have an underground reservoir for hydraulic fluids, which can contain polychlorinated biphenyls (PCBs). The potential exists that a release occurred from the former hydraulic hoist system and/or underground reservoir. Additionally, the potential exists for orphaned reservoirs to be present on the subject property.
- The southeastern parcel was historically occupied by a gasoline dispensing station between at least 1929 and the 1960s. Review of available records document at least four underground storage tanks (USTs) associated with these operations. A gasoline tank was also depicted east of this parcel, in the South Old Woodward Avenue right of way in the 1926 Sanborn map. Available City of Birmingham Fire Department records document the removal of five abandoned USTs from the property in 1970. No additional information on the condition of the USTs upon removal or contents of the USTs was available in reasonably ascertainable records. PM was unable to confirm whether the fifth UST removed was the former UST depicted in the right of way in the 1926 Sanborn map or was an additional UST and the right of way UST is still present. The potential exists for orphan USTs to be present on the southeastern parcel and/or for subsurface contamination to be present from the former UST system(s).



- The current building on the southeastern parcel was occupied by a potential dry cleaner (Moore Cleaners) between at least 1969 and 1976. No information on the operations was available from reasonably ascertainable sources reviewed as part of this Phase I ESA. Dry cleaning operations commonly involve the usage of general hazardous substances and/or petroleum products, which, if improperly managed and/or disposed of, can be a source of contamination. This time period preceded major environmental regulations and current waste management and disposal procedures. The potential exists for the former occupant to have been an on-site dry cleaner and for subsurface contamination to be present from these former operations.
- The current building on the western parcel, identified as 294 East Brown Street, was historically occupied by a fur retailer (Chudik's Furs) with potential repair or cleaning operations between at least 1970 and 1991. In PM's experience, fur retailers commonly have repair and cleaning operations that involve the usage of general hazardous substances and/or petroleum products, which, if improperly managed and/or disposed of, can be a source of contamination. Reasonably ascertainable City of Birmingham Fire Department records document that Chudik's Furs was divided into a sewing room, bridal room, and work room with paint cabinet, further indicating repairs and/or cleaning activities were conducted on-site. A significant portion of this time period preceded major environmental regulations and current waste management and disposal procedures. The historical waste management practices associated with the former fur retailer and potential repair and cleaning operations are unknown and may be a source of subsurface contamination.

No adjoining and/or nearby RECs have been identified.

### **Recommendations**

These RECs have been brought to the attention of the client within the requirements of the ASTM Standard Designation E 1527-13.

PM is concurrently completing a Phase II ESA to investigate the RECs identified, which will be provided under separate cover.

The summary presented above is general in nature and should not be considered apart from the entire text of the report, which contains the qualifications, considerations and subject property details mentioned herein. Details of findings and conclusions are elaborated upon in this report.

This report has been reviewed for its completeness and accuracy. Please feel free to contact our office at 248.336.9988 to discuss this report.

**REPORT PREPARED BY:**  
PM Environmental, Inc.



Lauren Babuska  
Project Consultant

**REPORT REVIEWED BY:**  
PM Environmental, Inc.



Beth Sexton  
Chief Operating Officer

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## **FIGURES**

Figure 1: Property Vicinity Map

Figure 2: Generalized Diagram of the Subject Property and Adjoining Properties

## **APPENDICES**

Appendix A: Property Photographs from Site Reconnaissance

Appendix B: Correspondence and Supporting Documentation

Appendix C: Previous Site Investigations

Appendix D: Regulatory Database and File Review Correspondence

Appendix E: Professional Resumes

Appendix F: Acronyms and Terminology, Scope of Work, ASTM Reference Document, and User's Continuing Obligations under CERCLA

## 1.0 INTRODUCTION

This Phase I ESA was conducted in accordance with (1) the United States Environmental Protection Agency (USEPA) Standards and Practices for All Appropriate Inquiries {(AAI), 40 CFR Part 312} and (2) guidelines established by the American Society for Testing and Materials (ASTM) International in the *Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process / Designation E 1527-13* (ASTM Standard Practice E 1527-13).

**THIS REPORT WAS PREPARED FOR THE EXCLUSIVE USE OF BOJI GROUP, LLC, WHO MAY RELY ON THE REPORT'S CONTENTS.**

PM acknowledges that this party may rely on the contents and conclusions presented in this report. Unless stated otherwise in writing, PM makes no other warranty, representation, or extension of reliance upon the findings of this report to any other entity or third party.

### 1.1: Property Overview

<b>Subject Property Location/Address</b>	300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Oakland County, Michigan		
<b>Number of Parcels and Acreage</b>	Three parcels totaling 1.25 acres		
<b>Parcel Identifier in this report, Parcel Address, and Number of Building(s) and Square Footage per Parcel</b>	Northeastern Parcel	300 South Old Woodward Avenue	4,300 square foot single-story building with partial basement
	Southeastern Parcel	360-394 South Old Woodward Avenue	7,913 square foot single-story building with partial basement
	Western Parcel	294 East Brown Street	13,290 square foot two-story building with basement
<b>Current Property Use</b>	Operations on the northeastern and western parcels consist of general office activities. Operations on the southeastern parcel consist of retail sales and shoe repair activities.		
<b>Current Zoning</b>	B-1: Neighborhood Business		

The subject property location is depicted on Figure 1, Property Vicinity Map. A diagram of the subject property and adjoining properties is included as Figure 2, Generalized Diagram of the Subject Property and Adjoining Properties. Photographs taken during the site reconnaissance are included in Appendix A.

### 1.2: Purpose and Scope of Services

The purpose of this Phase I ESA was to evaluate the current and historical conditions of the subject property in an effort to identify *recognized environmental conditions* (RECs), *controlled recognized environmental conditions* (CRECs), and *historical recognized environmental conditions* (HRECs) in connection with the subject property. This Phase I ESA is intended to reduce, but not eliminate, uncertainty regarding the potential for RECs, CRECs, and HRECs in connection with the subject property.

Acronyms and terms used in this report are described in Appendix F. Additionally, PM's scope of services is included in Appendix F.



### **1.3: Significant Assumptions**

Pursuant to ASTM Standard Practice E 1527-13, PM assumes that the information provided by all sources and parties, including the User, is accurate and complete, except where obvious inconsistencies or inaccuracies were identified.

### **1.4: Limitations, Deviations, and Special Terms and Conditions**

There are no deviations from the ASTM Standard. Non-ASTM Scope considerations are included in Section 11.0. Any physical limitations identified during the completion of this report are referenced in Section 7.0.

Due to changing environmental regulatory conditions and potential on-site or adjacent activities occurring after this assessment, the client may not presume the continuing applicability to the subject property of the conclusions in this assessment for more than 180 days after the report's issuance date, per ASTM Standard Practice E 1527-13.

To the best of PM's knowledge, no special terms or conditions apply to the preparation of this Phase I ESA that would deviate the scope of work from the ASTM Standard Practice E 1527-13.

PM was not provided with a copy of the recorded land title records for subject property by the client and was not requested to complete a title search. Therefore, PM cannot comment on any potential relevant information that may have been obtained through review of these records.

## **2.0 USER PROVIDED INFORMATION**

The ASTM Standard defines a User as "the party seeking to use Practice E 1527 to complete an environmental site assessment. A User may include, without limitation, a potential purchaser of property, a potential tenant of property, an owner of property, a lender, or a property manager." The User has specific obligations for completing a successful application of this practice as outlined in Section 6 of the ASTM Standard Practice E 1527-13.

In order to qualify for one of the Landowner Liability Protections (LLPs) offered by the Small Business Liability Relief and Brownfield's Revitalization Act of 2001 (the "Brownfield's Amendments") (if desired), the User must provide certain information (if available) identified in the User Questionnaire to the environmental professional. Failure to provide this information could result in a determination that "all appropriate inquiry" is not complete.

The following responses were provided by the User. A copy of the completed User Questionnaire is included in Appendix B.

<b>Question</b>	<b>Response</b>
Name of Preparer and User Entity	Mr. John Hindo; Boji Group, LLC
Are you aware of any environmental cleanup liens against the property that are filed or recorded under federal, tribal, state or local law?	No
Are you aware of any Activity and Use Limitations, such as engineering controls, land use restrictions or institutional controls that are in place at the site and/or have been filed or recorded in a registry under federal, tribal, state or local law?	No

Question	Response
As the user of this ESA do you have any specialized knowledge or experience related to the property or nearby properties? For example, are you involved in the same line of business as the current or former occupants of the property or an adjoining property so that you would have specialized knowledge of the chemicals and processes used by this type of business?	No
Does the purchase price being paid for this property reasonably reflect the fair market value of the property?	Yes
If you conclude that there is a difference, have you considered whether the lower purchase price is because contamination is known or believed to be present at the property?	Not applicable
Are you aware of commonly known or reasonably ascertainable information about the property that would help the environmental professional to identify conditions indicative of releases or threatened releases? For example, as user:	
Do you know the past uses of the property?	No
Do you know of specific chemicals that are present or once were present at the property?	No
Do you know of spills or other chemical releases that have taken place at the property?	No
Do you know of any environmental cleanups that have taken place at the property?	No
As the user of this ESA, based on your knowledge and experience related to the property are there any obvious indicators that point to the presence or likely presence of contamination at the property?	No

## **2.1: Recorded Land Title Records**

PM requested reasonably ascertainable recorded land title records for the subject property from the User. However, PM did not receive any title records from the User within the time constraints of this report. Additionally, PM was not requested to complete a title search by the User. PM did review available environmental lien and activity and use limitations for the subject property, which are further discussed in Section 4.10. Based upon the information reviewed as part of this Phase I ESA, PM has not identified the lack of provided land title records as a data failure that represents a significant data gap.

## **2.2: Reason for Performing this Phase I ESA**

According to the User, this Phase I ESA was conducted as part of environmental due diligence related to purchasing the subject property.

### 3.0 PHYSICAL SETTING

PHYSICAL SETTING INFORMATION FOR THE SUBJECT PROPERTY AND SURROUNDING AREA		SOURCE
Topography: Refer to Figure 1 for an excerpt of the Topographic Map		
Site Elevation	768 feet above mean sea level (msl)	United States Geological Survey Division (U.S.G.S.) 7.5-Minute Topographic Map of the Birmingham, Michigan Quadrangle, 1968 (photo revised in 1981)
Topographic Gradient	South-southeast	
Closest Surface Water	Rouge River located 1,940 feet northwest and 2,900 feet west at an elevation of approximately 740 to 720 feet above msl, respectively	
General Soil Characteristics: Refer to Appendix B for a copy of the custom soil survey		
Soil Type	Udorthents and Udipsamments, nearly level to hilly	United States Department of Agriculture, Custom Soil Resource Report for Oakland County, Michigan (survey area data: June 1, 2020)
Description	<p>A typical Udorthents soil profile consists of silt loam to 8.0 inches below ground surface (bgs), underlain by clay loam to 80.0 inches bgs. The soil is well drained with a depth to the water table of more than 80.0 inches bgs. The risk of corrosion is moderate for uncoated steel and low for concrete.</p> <p>A typical Udipsamments soil profile consists of fine sandy loam to 4.0 inches bgs, loamy fine sand to 30.0 inches bgs, underlain by gravelly loamy fine sand to 80.0 inches bgs. The soil is well drained with a depth to the water table of more than 80.0 inches bgs. The risk of corrosion is low for uncoated steel and concrete.</p>	
Area Specific Geology/Hydrogeology Characteristics		
Geology	Geology generally consists of sand to between 2.0 feet and 5.0 feet bgs, underlain by stiff clay to at least 20.0 feet bgs, the maximum depth explored. In addition, a sand seam was encountered at approximately 12.0 feet bgs	Previous site investigations on the south adjoining property (June 2014-August 2016)
Hydrogeology	Limited, perched, discontinuous groundwater was encountered at approximately 12.0 feet bgs where a sand seam was encountered. Groundwater flow direction was not calculated.	
Oil and Gas Wells		
Current Oil and Gas Wells on Subject Property	None identified	Michigan Department of Environment, Great Lakes, and Energy (EGLE) Geologic Survey Division (GSD) web site
Historical Oil and Gas Wells on Subject Property	None identified	

## 4.0 RECORDS REVIEW

PM reviewed reasonably ascertainable records to identify obvious uses of the subject property from the present, back to the property's obvious first developed use, or back to 1940, whichever is earlier. Reasonably ascertainable records reviewed as part of this Phase I ESA documented the use of the property back to 1921. Data failure occurred prior to that date. In PM's professional opinion, this data failure does not represent a significant data gap.

### 4.1: Aerial Photographs and Sanborn Maps

PM reviewed reasonably ascertainable aerial photographs for the subject property area. The sources and years reviewed are identified in the table below. Relevant aerial photographs are included in Appendix B.

PM reviewed reasonably ascertainable Sanborn Fire Insurance Maps for the subject property area, which were obtained from EDR. The sources and years reviewed are identified in the table below. Relevant Sanborn Maps are included in Appendix B.

The following table summarizes the sources reviewed and the information obtained about the subject property from these sources. Information obtained about the adjoining properties from these sources is summarized in Section 8.0.

#### Aerial Photographs and Sanborn Maps Summary

Year and Source	Summary of Information
1921 Sanborn Map (EDR)	Four dwellings and three shed or garage structures are depicted across the property. Ann Street (no longer present) intersects the western parcel from north to south. East Brown Street is depicted north, South Old Woodward Avenue (identified as South Woodward Avenue) is depicted east, and Daines Street is depicted south of the property.
1926 Sanborn Map (EDR)	A previously identified dwelling in the southeastern portion is currently identified as a storefront, and additional sheds are depicted in the eastern and western portions. A gasoline tank (of unknown capacity) is depicted in the western portion of South Old Woodward Avenue right of way, directly adjoining to the subject property. The remainder generally appears similar to the previous Sanborn year.
1931 Sanborn Map (EDR)	The previously identified storefront in the southeastern portion and previously identified gasoline tank within the right of way are no longer depicted. A majority of the current building, occupied by automotive service and filling station with four storage tanks along South Old Woodward Avenue, is depicted in the southeastern portion. An additional dwelling is depicted in the northern-central portion. The remainder appears similar to the previous Sanborn year.
1940 Aerial (Oakland County)	Due to scale and resolution, definitive details could not be identified. However, a majority of the current building in the southeastern portion is visible.
1949 Sanborn Map (EDR)	Previously identified sheds/garages and a northeastern dwelling are no longer depicted. A portion of the current building in the northeastern portion is depicted as a storefront with used automotive sales labeled south of the building. PM was unable to determine through review of the Sanborn map whether the labeling is related to the occupant of the building or for the surface lot to the south. The remainder appears similar to the previous Sanborn year.



**Phase I ESA of the Commercial Properties**  
**Located at 300-394 South Old Woodward Avenue, Birmingham, Michigan**  
**PM Project No. 01-12660-0-0001; December 11, 2020**

<b>Year and Source</b>	<b>Summary of Information</b>
1952 Aerial (WSU)	A portion of the current northeastern building and majority of the current southeastern building are visible on the northeastern and southeastern parcels. A paved parking lot is visible south of the northeastern building. Three dwellings are visible in the northern-central and western portions with a roadway intersecting the western parcel from north to south. Appears similar to the previous Sanborn year.
1957 Aerial (WSU)	A previously identified dwelling in the northwestern portion is no longer visible and a majority of the current western building is visible. A southern addition is visible on the current northeastern building. The remainder appears similar to the previous aerial and Sanborn years.
1960 Sanborn Map (EDR)	Previously identified dwellings in the northern-central and southwestern portions are identified as offices. The current northeastern building is identified as an office with parking lot south of the building. Previously identified storage tanks are no longer depicted in the southeastern portion and the current southeastern building is identified as vacant. The current western building is divided into three storefronts. The remainder appears similar to the previous aerial and Sanborn years.
1961 Aerial (MSU)	Similar to the previous aerial and Sanborn years.
1963 Aerial (Oakland County)	Similar to the previous aerial and Sanborn years.
1967 Aerial (WSU)	Similar to the previous aerial and Sanborn years.
1974 Aerial (Oakland County)	The previously identified office buildings in the northern-central and southwestern portions are no longer visible. The former Ann Street roadway transecting the western parcel appears to be closed and a paved parking lot is visible in the central portion. A southeastern addition is visible on the current southeastern building and a southern addition is visible on the current western building. The remainder appears similar to the previous aerial and Sanborn years. Generally, appears similar to the current layout.
1980 Aerial (Oakland County)	Similar to the previous aerial and Sanborn years.
1990 Aerial (Oakland County)	Similar to the previous aerial and Sanborn years.
1997 Aerial (Oakland County)	Similar to the previous aerial and Sanborn years.
2000 Aerial (Oakland County)	Similar to the previous aerial and Sanborn years.
2005 Aerial (Oakland County)	Similar to the previous aerial and Sanborn years.
2010 Aerial (Oakland County)	Similar to the previous aerial and Sanborn years.
2015 Aerial (Oakland County)	Similar to the previous aerial and Sanborn years.
2017 Aerial (Oakland County)	Similar to the previous aerial and Sanborn years.

A summary of this information along with other historical sources is included in Section 6.0.

## **4.2: Local Street Directories**

Reasonably ascertainable local street directories for Birmingham, Michigan were researched. Directories were available from 1937 to 2014. Directories were researched in at least five-year increments, when available. It should not be construed that the earliest date represented is the initial date of occupancy. Additionally, PM reviewed historical address directory listings for the subject property along Brown Street, former Ann Street, and Daines Street, which were identified on Sanborn maps. No pre-1937 historical addresses along South Old Woodward Avenue were identified. Relevant historical address listings are included below, all additional historical addresses associated with the subject property were either not listed or residential.

### **Subject Property: 300-394 South Old Woodward Avenue**

#### **300 South Old Woodward Avenue**

2014	Capital Title
	Lutz Financial Services
2013	Capital Title
	Lutz Financial Services
	Real Estate Offices
2012-2011	Capital Title
	Real Estate Offices
2008-1998	Real Estate Offices
1990-1989	Real Estate Offices
	Law Office
1987-1973	Real Estate Offices
1971-1937	Not Listed

#### **344 South Old Woodward Avenue**

2014-1989	Not Listed
1987-1986	Kojaian Construction
1984-1937	Not Listed

#### **350 South Old Woodward Avenue**

2014-2011	Not Listed
2008	Demery Company
2006-1937	Not Listed

#### **360 South Old Woodward Avenue**

2014-1978	Frank's Shoe Service
1976-1969	Frank's Shoe Service
	Moore Cleaners
1967-1966	Jack Lawrie Service
	BoJax Collision Service
	White Automotive Service
1961-1960	Not Listed
1958-1957	Goldhar Zimmer, Inc.

1955-1944 Jess McNeal, Inc. automotive repair  
1940-1937 Winningham Chevrolet Company

**394 South Old Woodward Avenue**

2014-2011 Not Listed  
2008-2004 The Motorcar Gallery, Inc.  
2002-1989 Not Listed  
1988-1986 The Car Emporium  
Executive Import  
Executive Motor  
1985-1981 Sport Cars of BHM  
1978-1966 Studio 4 Theater  
1961-1937 Not Listed

**Subject Property: 286-294 East Brown Street**

**286 East Brown Street**

2014-1974 Not Listed  
1971-1970 Fred Stickel Arc  
1966-1965 Mart Agency, Inc.  
Herb Ring Jewelry  
Sutton Associates  
Robinson Architect  
Stickel & Associates  
Benjamin Adv  
Elmore Leonard, Inc.  
Lewco Products Company  
Asphalt Seal Coating  
Anaconda Aluminum  
1962-1961 Stickel & Associates  
Brady Placement Service  
Herb Ring Jewelry  
Oakland City Medical Soc  
Robinson Architecture  
Robinson JFG Division  
Pulva Corporation  
Vapor Recovery  
Dean Bros Pump, Inc.  
Angell Manufacturing Company  
1959-1958 Anthony Moody Architecture  
Stickel & Associates  
Ring Distinctive Jewelry  
Brady & Associates  
Knickerbocker & Associates  
1955-1937 Not Listed

**292 East Brown Street**

2014-1989	Not Listed
1984-1974	No Phone
1971-1970	Leon & Merlin Hair Leon's Beauty Shop
1966-1965	Leon's Beauty Shop
1962-1961	Leon's Beauty Shop Young Peoples Studio
1959-1958	Authentic, Inc. Leon's Hairdresser
1955-1937	Residential

**294 East Brown Street**

2014-2013	Attorneys Title Agency
2008-1998	Century 21 Town & Country
1994-1993	Not Listed
1989-1970	Chudik Fine Furs & Apparels
1966-1937	Not Listed

***Historical East Brown Street Addresses: 310-312 East Brown Street***

**310 East Brown Street**

2014-1961	Not Listed
1959-1958	Slim Zelle, Inc.
1955-1937	Not Listed

**312 East Brown Street**

2014-1970	Not Listed
1966-1965	Convertors, Inc. Chamberlain Plumbing & Heating Safeguard Systems Mass Marketing Dist Mojonnier Bros Company Leonard Bros Van Blackstretch Magazine United Thoroughbred Witco Chemical Company Corning Glass Works Patrick & Company Peterson & Son R&C Appliance Service Ted Moore Heating Royal TV Service Company Gardner Pubcns Modern Machine Magazine Products Finishing MG



	Park Nameplate Company
	Nationwide Bus Firm
	Campbell Construction Company
1962-1961	Schermerhorn Bros
	Midwest Tele Sec SE
	Witherspoon Construction
	S&W Water Softener
	Louis Dow Company
	Signal Stat Corporation
	Cranbrook Pres Inc
	TV Doctor
	Burton Abstract Company
	Oberti Bros
	Louis Overti Building
	Ted Moore Heating
1959-1958	Building Service Center
1955-1937	Residential

***Historical Daines Street Address: 283 Daines Street***

2014-1998	Not Listed
1994-1970	No Phone
1966-1965	DC Nolta Insurance Agency
	Income Security Agency
1962-1961	DC Nolta Insurance Agency
	National Homes
1959-1954	Residential
1953-1952	Not Listed
1951-1937	Residential

A summary of this information along with other historical sources is included in Section 6.0.

PM also reviewed listings for adjoining commercial properties. Information from the listings reviewed is included in Section 8.0.

#### **4.3: Assessing Department**

Reasonably ascertainable assessment information provided by the Oakland County Equalization Department was obtained and reviewed. Assessing records document that the subject property consists of three parcels containing a total of 1.25 acres.

Assessing records document the northeastern parcel, identified as 300 South Old Woodward Avenue, contains 0.30 acres, and is developed with a 4,300 square foot building with partial basement, constructed in 1968. However, a historical field card and building sketch documents a portion of the building was constructed in 1945 with additions completed in 1954 and 1994. Records indicate the current building has been occupied by Lutz Real Estate Investments since at least 2012.

The southeastern parcel, identified as 360-394 South Old Woodward Avenue, contains 0.19 acres, and is developed with a 7,913 square foot building with partial basement, constructed in

1956. However, review of additional historical sources documents a portion of the current building was constructed in approximately 1929, with a southeastern addition completed between 1967 and 1974. A historical field card documents extensive interior renovation in 1993, including the removal of a false second story, and that the building was previously occupied by a theater.

The western parcel, identified as 294 East Brown Street, contains 0.76 acres, and is developed with a two-story, 13,290 square foot building with full basement, constructed in 1956. A historical field card documents extensive interior renovation in 1993 for professional offices.

Copies of available assessment records for the subject property and the current legal description are included in Appendix B.

#### **4.4: Building Department**

PM submitted a Freedom of Information Act (FOIA) request to the City of Birmingham Building Department to review records for the subject property. Despite numerous follow-up attempts, PM did not receive a response within the time constraints of this report. If PM does receive a response, and it changes the findings of the report, the client will be notified.

#### **4.5: Fire Department**

PM submitted a FOIA request to the City of Birmingham Fire Department to review records for the subject property. PM received a written response with available records.

Available fire records for the northeastern parcel, identified as 300 South Old Woodward Avenue, document the building was occupied by Brook Real Estate between at least 1951 and 1989. A 1951 inspection record and sketch document the building was utilized for offices and was connected to natural gas with gas furnaces located in the partial basement. No additional relevant information was included in the records provided.

Available fire records for the southeastern parcel, identified as 360-394 South Old Woodward Avenue, indicate the property was occupied by LaDue Oil Station in at least April 1929 and that four 1,000-gallon tanks were installed at the property. Overwriting indicate the former tanks were removed from the property in July 1970 prior to construction (likely of the building addition). A 1970 Plan Review Record indicates the property was to be redeveloped with a 386-seat theater (Studio IV Theatre). The Plan Review Record indicates that five tanks were removed from the Woodward Avenue side of the property in July 1970. Fire records document the southeastern parcel was occupied by a theater until at least 1986, and various automotive sale operations between at least 1980 and 1988 with noted garage work and repair areas in at least 1982. Refer to Section 4.8 for additional information on former tanks at the subject property.

Available fire records for the western parcel, identified as 294 East Brown Street, document a 1973 permit to erect a tent for use by Chudik Furs, Inc. Records document the building was occupied by Chudik Furs between at least 1973 and 1991 with a sewing room, bridal room, and work room with paint cabinet. Fire inspections between 1993 and 2010 document the building was occupied by professional offices during that date range.

Copies of relevant fire records are included in Appendix B.

#### **4.6: Health Department**

PM submitted a FOIA request to the Oakland County Health Division to review records for the subject property. PM received a written response from a representative of the division indicating no files were available for the subject property.

#### **4.7: Utilities**

##### **4.7.1: Municipal Water/Water Wells**

The subject property is currently connected to municipal water. PM attempted to obtain initial tap information from the City of Birmingham Department of Public Services; however, a response was not received within the time constraints of this report. Review of Sanborn maps indicates municipal water has been available to the subject property since at least 1910. Based upon this information and the highly developed location, the former residential structures were likely connected to municipal water in 1910 or within several years of availability, and potentially utilized private water wells prior to availability of municipal water. All current structures were likely connected to municipal water during construction. Based on the lack of current use, PM has not identified the potential former water wells as a REC.

##### **4.7.2: Sanitary Sewer/Septic System**

The subject property is currently connected to municipal sewer. PM attempted to obtain initial tap information from the City of Birmingham Department of Public Services; however, a response was not received within the time constraints of this report. Review of Sanborn maps indicates municipal water has been available to the subject property area since at least 1910. Municipal sewer has likely been available since municipal water availability; therefore, the former residential structures were likely connected to municipal sewer in 1910 or within several years of availability, and potentially utilized private septic field prior to municipal sewer availability. All current structures were likely connected to municipal sewer during construction. Based on the residential use of the property prior to known municipal sewer availability, PM has not identified the potential former septic fields as a REC.

##### **4.7.3: Heat Source**

The subject property is connected to natural gas, which is supplied by Consumers Energy. Review of the Consumers Energy SIMS website indicates parcels were connected to natural gas in 1929, 1946, and 1956, which is consistent initial construction dates for current buildings. No historical tap records were available for review for former structures, and original gas mains have been retired with no documentation of when originally installed. No alternative heat sources have been identified through review of reasonably ascertainable information.

PM was unable to determine the heat source for the former dwellings on the subject property prior to natural gas availability. No documentation of fuel oil use was identified during review of reasonably ascertainable records, and no visual evidence of fuel oil use was identified during the site reconnaissance. There is the potential for a fuel oil AST or UST to have been used at the property and for a release to have occurred. However, based upon PM's experience, the risk of a release associated with a potential fuel oil UST is low. If a fuel oil UST is discovered in the future and/or evidence of a release of historical fuel oil is identified, further evaluation may be necessary.

#### 4.8: Underground Storage Tank (UST) Systems

Review of reasonably ascertainable standard and other historical sources, and site observations, have not identified the current presence of USTs on the subject property. Specifically, no records of active USTs were identified through review of reasonably ascertainable records and PM did not observe any evidence of USTs (i.e. fill ports, vent pipes, etc.) during the site reconnaissance. Additionally, the representatives of the current owners indicated they had no knowledge of current USTs associated with the subject property.

The southeastern parcel of the subject property, 360-394 South Old Woodward Avenue, contained at least four former USTs, with a potential fifth or sixth UST in the right-of-way for South Old Woodward Avenue. The following table indicates the size of the UST, contents, location (if known), the dates of installation and removal, and the source of the information.

**Historical UST Information**

Size	Contents	Location	Date Installed	Date Removed	Source
1,000-gallon	Unknown	Southeastern corner of property	1929	1970	Fire Dept. and Sanborn Map
1,000-gallon	Unknown				
1,000-gallon	Unknown				
1,000-gallon	Unknown				
Unknown	Unknown	Unknown	Unknown	1970	Fire Dept.
Unknown	Gasoline	Directly east of the property, within South Old Woodward Avenue right of way	Prior to 1926	Unknown	Sanborn Map

No additional information on the condition of the USTs upon removal in 1970 or contents of the USTs was available in reasonably ascertainable records. PM was unable to confirm whether the fifth UST removed in 1970 was the former UST depicted in the right of way in the 1926 Sanborn map or was an additional UST and the right of way UST is still present. **The potential exists for orphan USTs to be present on the southeastern parcel and/or for subsurface contamination to be present from the former UST system(s), which represents a REC.**

#### 4.9: Previous Environmental Reports

No previous site investigations were identified by PM for the subject property. Previous reports may exist for the subject property, however, none were provided to PM by the client or owner of the property, and none were available with the appropriate state regulatory agencies.

#### 4.10: Environmental Liens, Activity and Use Limitations, and Government Institutional and Engineering Controls

PM has not identified any record of environmental liens, activity and use limitations, or institutional controls or engineering controls associated with the subject property through review of reasonable ascertainable records.



## 5.0 INTERVIEWS

The objective of completing interviews with knowledgeable site contacts is to obtain information about the uses and physical characteristics of the property. In general, interviewees supported the information reviewed from other historical sources (i.e. aerial photos, city records, etc.).

Represents	Interviewed	Name and Title	Length of Time Associated with Subject Property	Comments
Current Property Owner, Key Site Manager, and Current Occupant – 300 South Old Woodward Avenue	Yes	Mr. Adam Lutz, Chief Executive Officer of Lutz Financial Services and representative of the current owner (BRB Equities LLC)	Nine years	Mr. Lutz has leased the 300 South Old Woodward Avenue building since 2011 and completed a full interior renovation of the building. Mr. Lutz indicated the building has historically been occupied by professional offices. Mr. Lutz was unaware of any aboveground storage tanks (ASTs) or USTs associated with the subject property. Mr. Lutz also provided access to the southeastern parcel subject building (360-394 South Old Woodward Avenue) and indicated the building has been occupied by various retail or the current shoe repair operations since at least 2011. No additional information was reported that would be considered material to identifying RECs associated with the property.
Current Property Owner – 360-394 South Old Woodward Avenue	No	Frank Konjarevich Trust	Since at least 2000	PM requested contact information for the current owner of the southeastern subject parcel; however, information was not received within the time constraints of this report. Current occupant and representative of the current owner on the northeastern parcel provided access and relevant information. Refer above for additional information.

Represents	Interviewed	Name and Title	Length of Time Associated with Subject Property	Comments
Current Property Owner, Key Site Manager, and Current Occupant – 294 East Brown Street	Yes	Mr. John North, Chief Executive Officer of Coldwell Banker and representative of the current owner (Trott Properties, 294 LLC)	Ten years	Mr. North indicated he has leased the 200 East Brown Street building since 2010 and completed a full interior renovation of the in 2010. Mr. North was unaware of any ASTs or USTs associated with the subject property. No additional information was reported that would be considered material to identifying RECs associated with the subject property.
Former Property Owner	No	Not applicable	Not applicable	Contact information for the former owner was not reasonably ascertainable or provided by the User.
Former Occupant(s)	No	Not applicable	Not applicable	Contact information for the former occupants was not reasonably ascertainable or provided by the User.
Other(s)	No	Not applicable	Not applicable	No other relevant interviews were conducted as part of this Phase I ESA.

## 6.0 SUMMARY OF HISTORICAL USE

Standard and other historical sources document the northeastern parcel, identified as 300 South Old Woodward Avenue, was developed prior to 1921 with a dwelling and shed structure. A small storefront building was constructed in the eastern portion of the parcel between 1926 and 1931. The dwelling and shed structure were demolished by 1945 when the northern portion of the current building was constructed in the same area of the parcel. The small storefront building was demolished by 1949. The southern addition of the current building was completed in 1954 and additional southeastern addition was completed in 1994. The building was labeled as a storefront in the 1949 Sanborn map, with a used car sales operation depicted south of the building. Based on local street directories documenting the southeastern parcel being occupied by a dealership, it is likely that the used car sales operations were for the dealership / surface lot and not associated with the current building. The building has been occupied by various professional offices since at least 1951.

PM was unable to determine the occupants of the former small storefront building (constructed between 1926 and 1931 and demolished by 1949) or the occupants of the current building from construction in 1945 until 1951 when first known office use was identified. Based on the relatively small scale and short timeframe of former operations, PM has not identified the unknown operations as a REC. Additionally, PM has not identified the former automotive sales lot on the property as a REC.

The southeastern parcel, identified as 360-394 South Old Woodward Avenue, was developed prior to 1921 with a dwelling and garage structure. The former dwelling was converted to a storefront by 1926. PM was unable to confirm the operations of the former storefront building on the property between at least 1926 and 1929. However, based on the small scale and short timeframe of operations, PM has not identified the unknown operations as a REC.

The southeastern parcel was redeveloped in approximately 1929 with a majority of the current building, occupied by an automotive service operation and gasoline dispensing station, with at least four USTs located along South Old Woodward Avenue. Gasoline dispensing operations ceased at some time between 1960 and 1970 and an addition to the service building was completed in the area of former dispensing operations between 1967 and 1974. The building was occupied by automotive service operations until at least 1967. The building was divided into multiple tenant spaces during at least the late-1960s and occupied by a theater between at least 1966 and 1986, automotive sales with potential service operations between at least 1980 and 1988, a potential dry cleaner (Moore Cleaners) between at least 1969 and 1976, automotive sales in the mid-2000s, and Frank's Shoe Service and additional retail operations since at least 1969. Cobbler activities (Frank's Shoe Service) include shoe repair, painting, leather conditioning, and polishing. Based on the small scale of operations and lack of waste generated, PM has not identified the cobbler activities as a REC.

The building was historically occupied by automotive service operations between at least 1929 and 1967. Additionally, records suggest automotive sales between at least 1980 and 1988 appear to have included limited service or repair operations. Historical interior waste streams associated with the former service operations would have consisted of general hazardous substances and/or petroleum products. This time period preceded major environmental regulations and current waste management and disposal procedures. **The historical waste management practices associated with the former service operations are unknown and may be a source of subsurface contamination, which represents a REC.**

Former service operations on the southeastern parcel may have utilized In-ground hoists, which have an underground reservoir for hydraulic fluids, which can contain polychlorinated biphenyls (PCBs). **The potential exists that a release occurred from the former hydraulic hoist system and/or underground reservoir. Additionally, the potential exists for orphaned reservoirs to be present on the subject property, which represents a REC.**

The current building on the southeastern parcel was occupied by a potential dry cleaner (Moore Cleaners) between at least 1969 and 1976. No information on the operations was available from reasonably ascertainable sources reviewed as part of this Phase I ESA. Dry cleaning operations commonly involve the usage of general hazardous substances and/or petroleum products, which, if improperly managed and/or disposed of, can be a source of contamination. This time period preceded major environmental regulations and current waste management and disposal procedures. **The potential exists for the former occupant to have been an on-site dry cleaner and for subsurface contamination to be present from these former operations, which represents a REC.**

The western parcel, identified as 294 East Brown Street, was developed prior to 1921 with two dwellings in the western portion and a former roadway (Ann Street), transecting the parcel from north to south. An additional dwelling was constructed in the northeastern portion of the parcel between 1926 and 1931. A former dwelling in the northwestern portion was demolished and a majority of the current building was constructed in 1956. The former northeastern and remaining

western dwellings were converted for office use. The former converted dwellings / office buildings were demolished, the southern addition was completed on the current building, and the former roadway was closed between 1967 and 1974. The current building was occupied by various offices, retail sales, or salons between 1958 and 1971, Chudik's Furs between at least 1970 and 1991, and various professional offices since at least 1998.

The building was historically occupied by a fur retailer (Chudik's Furs) with potential repair or cleaning operations between at least 1970 and 1991. In PM's experience fur retailers commonly have repair and cleaning operations that may involve the usage of general hazardous substances and/or petroleum products, which, if improperly managed and/or disposed of, can be a source of contamination. Additionally, available fire records document that Chudik's Furs was divided into a sewing room, bridal room, and work room with paint cabinet, further indicating repairs and/or cleaning activities were conducted on-site. A significant portion of this time period preceded major environmental regulations and current waste management and disposal procedures. **The historical waste management practices associated with the former fur retailer and potential repair and cleaning operations are unknown and may be a source of subsurface contamination, which represents a REC.**

## 7.0 SUBJECT PROPERTY RECONNAISSANCE

Reconnaissance Information	
PM Field Personnel:	Ms. Devon Nagengast
Site Reconnaissance Date:	November 19 and November 25, 2020
Escort:	Mr. Adam Lutz, Chief Executive Officer of Lutz Financial Services and Mr. John North, Chief Executive Officer of Coldwell Banker
Limitations:	Access not obtained to the attic in 360 South Old Woodward and observations in the basement of 394 South Old Woodward were limited by lack of lighting. However, PM has not identified these limitations as a significant data gap.

### 7.1: Subject Property Observations

The northeastern parcel, 300 South Old Woodward Avenue, is developed with 4,300 square foot building, which is divided into lobby area, offices, open workspaces, conference rooms, breakrooms, mechanical/storage areas, restroom, and partial basement.

The southeastern parcel, 360-394 South Old Woodward Avenue, is developed with a 7,913 square foot building, which is divided into two tenant spaces. The tenant spaces are further divided into retail areas, offices, mechanical/storage areas, break room, cobbler repair area, restrooms, and partial basement.

The western parcel, 294 East Brown Street, is developed with a two-story, 13,290 square foot building, which is divided into lobby area, offices, open workspaces, conference rooms, breakrooms, mechanical/storage areas, restroom, and full basement.

Interior finish materials generally include carpeting, ceramic floor tiles, 12 inch by 12 inch vinyl floor tiles, poured concrete floors, wood paneling walls, concrete block walls, drywall walls and ceilings, wood frame ceilings, metal deck ceilings, and suspended acoustical ceiling tiles.



Exterior pavement is present surrounding the subject buildings with paved parking areas in the central and eastern-central portions of the property. The remainder of the property contains groomed grass and landscaped areas.

The following table summarizes the site observations. Affirmative responses are discussed in more detail following the table.

Category	Feature	Observed
Interior Equipment	Elevators	Yes
	Air Compressors	Yes
	Incinerators	No
	Waste Treatment Systems	No
	Presses/Stamping Equipment	No
	Press Pits and/or In-ground Pits	No
	Hydraulic Lifts or In-ground hoists	No
	Paint Booth	Yes
	Plating Tanks	No
	Parts Washers	No
	Lathes, Screw Machines, etc.	No
Aboveground Chemical or Other Waste Storage or Waste Streams	Aboveground Storage Tanks (ASTs)	No
	Drums, Barrels and/or Containers > 5 gallons	No
	Chip Hoppers	No
	Hazardous or Petroleum Waste Streams	No
Underground Chemical or Waste Storage, Drainage or Collection Systems	Underground Storage Tanks	No
	Fuel Dispensers	No
	Sumps or Cisterns	Yes
	Dry Wells	No
	Oil/Water Separators	No
	Floor Drains, Trench Drains, etc.	Yes
	Pipeline Markers	No
Exterior Observations	Stressed Vegetation	No
	Stained Soil or Pavement	No
	Monitoring Wells	No
	Pad or Pole Mounted Transformers and/or Capacitors	Yes
	Soil Piles of Unknown Origin	No
	Exterior Dumpsters with Staining	No
	Leachate or Other Waste Seeps	No
	Trash, Debris, and/or Other Waste Materials	No
	Uncontrolled Dumping or Disposal Areas	No
	Surface Water Discoloration, Sheen or Free Product	No
	Strong, Pungent or Noxious Odors	No
	Storm water retention or detention ponds	No
	Pits, Ponds, Lagoons	No

**Elevators:** PM observed one hydraulic lift elevator in the western building (294 East Brown Street), which was installed prior to 2010. PM was unable to determine the date of original installation. No visual indication of leakage was observed in the area of the elevator operating equipment. PM observed the most recent inspection logs dated from 2020, which documented no major leaks or equipment failures. The hydraulic elevator unit should be inspected periodically for leakage as part of the on-going maintenance activities. If leakage is identified, the unit should be repaired, and any fluid or fluid-soaked waste should be disposed of in accordance with applicable federal, state, and local regulations.

**Air Compressors:** PM observed an air compressor in the northern tenant space of the southeastern building (360-394 South Old Woodward Avenue), adjacent to cobbler and painting activities. The air compressor was in fair condition and staged on concrete that appeared to be in generally good condition. PM was unable to determine the age of the air compressor. No significant staining or evidence of poor waste management practices was observed associated with the air compressor. Based on the observed site conditions, PM has not identified the air compressor as a REC.

**Paint Booths:** PM observed painting, leather conditioning, and polishing activities conducted within make-shift tabletop paint booths in the northern tenant space of the southeastern building (360-394 South Old Woodward Avenue). Materials utilized during cobbler activities were stored within containers of less than five-gallon adjoining to the paint booths. PM observed limited staining near the paint booths; however, the floors within the vicinity appeared to be in generally good condition with no significant cracking and/or pitting observed. Based on the relatively small scale of painting activities and location aboveground/tabletop, PM has not identified the painting, leather conditioning, and polishing activities as a REC.

**Sumps or Cisterns:** PM observed sump pumps in a mechanical/storage area of the northeastern building (300 South Old Woodward Avenue) and within the basement of the western building (294 East Brown Street). The sumps are reportedly utilized to prevent flooding. The sumps were observed to be covered with no evidence of poor waste management practices or staining. Based on the observed site conditions, PM has not identified the sumps as a REC.

**Floor Drains, Trench Drains, etc.:** PM observed circular floor drains in each basement of the subject buildings. No staining or evidence of poor waste management practices was observed associated with the drains. The drains likely discharge to the municipal sewer system.

**Pad or Pole Mounted Transformers and/or Capacitors:** The subject property is supplied with overhead secondary electrical service from two pole-mounted electrical transformers located northwest of the southeastern parcel (360-394 Old Woodward Avenue). The transformers are likely the property of the public utility and were not labeled regarding PCB content. No leakage of the transformers was observed at the time of the site reconnaissance.

#### **7.1.1: Current Operations**

The northeastern building, 300 South Old Woodward Avenue, is occupied by Lutz Financial Services and Gemini Risk Partners, and the western building, 294 East Brown Street, is occupied by Coldwell Banker Weir Manuel. Operations consist of general office activities. The southeastern building, 360-394 South Old Woodward Avenue is occupied by Frank's Shoe Service and Roche Bobois (furniture store). Operations consist of retail sales and shoe repair activities.

### **8.0 ADJOINING PROPERTIES**

The following paragraphs provide information about the adjoining properties obtained during the site reconnaissance and through review of reasonably ascertainable information.

#### **North Adjoining Properties, across East Brown Street**

The north adjoining property, identified as 298 South Old Woodward Avenue, is currently occupied by the Daxton Hotel. Review of historical sources document the property was residential between at least 1910 and 1921. A multi-tenant storefront building was constructed in the southeastern portion between 1921 and 1926. A former dwelling in the northern portion of the property was converted into a hall by 1949 and a former dwelling in the western portion was converted to a storefront or office building by 1960. The northern hall building was demolished between 1960 and 1963 and the northern portion of the property was utilized for parking. The buildings were occupied by various offices, retail, or commercial operations, including a printing operation in at least 1949. The former buildings were demolished between 2019 and 2020, when construction of the current hotel began. Based on the small scale of former printing operations, short timeframe of known operations, insufficient groundwater to act as a transport mechanism, and distance of former operations from the subject property (over 100 feet across East Brown Street), PM has not identified this property as a REC.

The north adjoining property, identified as 255 East Brown Street, is currently occupied by Wells Fargo Advisors. Review of historical sources document the property was residential between at least 1921 and 1952. The former dwellings were demolished, and the property was utilized for parking between at least 1955 and 1980. The property was redeveloped with the current building between 1980 and 1983. The building has been occupied by various office and commercial operations since at least 1983.

The remaining north adjoining property is currently utilized for parking and was historically residential or vacant land.

### **East Adjoining Properties, across South Old Woodward Avenue**

The northeast adjoining property, identified as 255 South Old Woodward Avenue, is currently occupied by an office building. Review of historical sources document the property was residential and occupied by a church between at least 1910 and 1949. The former church building was demolished, and former dwellings were converted for storefront use by 1957. The buildings were occupied by various professional offices. The property was redeveloped with the current building between 1980 and 1986. The current building has been occupied by various offices and retail operations since at least 1986, including Gas Station TV since at least 2011. Gas Station TV is a data company that provides marketing services to gasoline dispensing stations. This property is identified in the regulatory database. Refer to Section 9.2 for additional information.

The east adjoining property, identified as 325 South Old Woodward Avenue, is currently occupied by Adachi Restaurant. Review of historical sources document the property was developed as residential in at least 1910. The former dwelling was converted into or demolished and replaced with the current building between 1921 and 1926. The building was occupied by Masonic Lodge prior to the 1960s and has been occupied by various offices or restaurants since the late-1960s. The northern portion of the property was developed between 1931 and 1940 with a gasoline service station, which extended into the northern right of way. The former gasoline service station was demolished between 1964 and 1966. Based on the insufficient groundwater to act as a transport mechanism and distance of former gasoline service station operations from the subject property (over 115 feet across South Old Woodward Avenue), PM has not identified this property as a REC.

The east adjoining property, identified as 355 South Old Woodward Avenue, is currently occupied by a multi-tenant medical and office building. Review of historical sources document the property

was developed prior to 1921 with a dwelling and parking garage. A 1,000-gallon gasoline UST was documented in the right-of-way of South Old Woodward Avenue in the 1921 Sanborn map. The dwelling was redeveloped for retail use by 1926 and was demolished by 1931. The property was utilized as part of the Eastern Michigan Railways from that time until between 1940 and 1944 when the current building was constructed. A portion of the current building was occupied by a movie theater until the 1980s, when it was redeveloped as a parking garage, and the remainder has been utilized for various retail shops, offices, and/or restaurants since at least 1947. Based on the likely removal of the former gasoline UST during road maintenance activities, length of time since UST operations (i.e. over 80 years), insufficient groundwater to act as a transport mechanism, and distance from the subject property (over 55 feet and across South Old Woodward Avenue), PM has not identified the historical gasoline UST associated with the property as a REC.

The southeast adjoining property, identified as 373-401 South Old Woodward Avenue, is currently occupied by a multi-tenant commercial building. Review of historical sources document the property was developed as residential prior to 1921 with a lumber yard in the eastern portion. The northern and eastern portions of the property were redeveloped between 1926 and 1931 with a bus station, including offices and retail shops, along Woodward Avenue. The remaining dwellings were demolished between 1967 and 1974. The bus station was demolished between 1974 and 1980, and the property was redeveloped with the current building by 1983. Review of Sanborn maps identified gasoline tanks associated with the bus station were historically located in the eastern portion of this property. Based on the distance of the former USTs from the subject property (over 200 feet across South Old Woodward Avenue), and insufficient groundwater to act as a transport mechanism, PM has not identified this property as a REC.

### **South Adjoining Properties, across Daines Street**

The south adjoining property, identified as 400-410 South Old Woodward Avenue, is currently occupied by The Forefront, a multi-tenant commercial and residential building. Review of historical sources document the property was developed as residential in at least 1921. A northern dwelling was converted into a vulcanizing operation between 1921 and 1926, which operated at the property until the structure was demolished in 1930. A central dwelling was demolished in 1930, and the northern and central portions of the property were redeveloped with a gasoline filling station and automotive service garage in late 1930, with additions constructed at various times between 1949 and 1967. The gasoline filling station and automotive service garage were redeveloped for retail use in 1958 and were subsequently demolished in 2015, when the current building was constructed. Occupants of the former northern buildings included various automotive dealerships or service operations between at least 1930 and 1957 and Green's Art Supply between at least 1958 and 2014. A southeastern dwelling was redeveloped as a plumbing supply company between 1921 and 1926, which operated (and included several additions) until the early 1950s, when the building was demolished, and the area was converted into a parking lot until construction of the current building. A western dwelling was demolished between 1931 and 1940, when the area was converted into a parking lot, until construction of the current building. The current building has been occupied by various retail, commercial, and residential operations since construction. This property is identified in the regulatory database. Refer to Section 9.2 for additional information.

The south adjoining property, identified as 280 Daines Street, is currently occupied by the Downtown Birmingham Veterinarian. Review of historical sources document the property was developed as residential in at least 1921. Former dwellings were converted for professional offices



use during the 1960s. A majority of the former buildings were demolished in the early-1980s, and the current building was constructed. The property has been occupied by various professional firms (i.e. legal, real estate, etc.) since at least 1988.

The remaining south adjoining property is currently utilized for parking and was historically residential or vacant land.

### **West Adjoining Property**

The west adjoining property, identified as 260 East Brown Street, is currently occupied by E.H. Bluestein Company, a professional management company. Review of historical sources document the property was residential between at least 1921 and 1963. Former dwellings were demolished at various times between 1963 and 1980 and the property was redeveloped with the current building between 1980 and 1988. The building has been occupied by various professional offices since at least 1988.

## **9.0 REGULATORY RECORDS REVIEW**

PM retained EDR to provide current regulatory database information compiled by a variety of federal and state regulatory agencies. A copy of the complete database is included in Appendix D. The following information was obtained:

<b>Type</b>	<b>Regulatory Agency Database</b>	<b>Approximate Minimum Search Distance (AMSD)</b>	<b>Number of Sites within AMSD</b>
Federal	National Priority List (NPL) Sites	1 mile	0
Federal	Delisted National Priority List (DNPL) Sites	½ mile	0
Federal	Superfund Enterprise Management System (SEMS) (formerly CERCLIS – renamed in 2015) Sites	½ mile	0
Federal	SEMS-Archive Sites (formerly CERLIS-NFRAP – renamed 2015)	½ mile	0
Federal	Resource Conservation and Recovery Act (RCRA) Corrective Action Report (CORRACTS) Sites	1 mile	0
Federal	RCRA non-CORRACTS Treatment, Storage or Disposal Facilities (TSDF) Sites	½ mile	0
Federal	RCRA Large Quantity Generators (LQG) Sites	subject property and adjoining properties	0
Federal	RCRA Small Quantity Generators (SQG) Sites	subject property and adjoining properties	0
Federal	RCRA Very Small Quantity Generators (VSQG) Sites	subject property and adjoining properties	1
Federal	RCRA Non-Generators (NON-GEN) Sites	subject property and adjoining properties	0
Federal	Institutional Control / Engineering Control Registries	subject property	0
Federal	Environmental Response and Notification System (ERNS)	subject property	0
State & Tribal	Hazardous Waste Sites (HWS) (equivalents to NPL and CERCLIS)	1 mile	0
State & Tribal	Solid Waste Facilities/Landfill Sites (SWF/LF)	½ mile	0

Type	Regulatory Agency Database	Approximate Minimum Search Distance (AMSD)	Number of Sites within AMSD
State & Tribal	Leaking Underground Storage Tank (LUST) Sites	½ mile	18
State & Tribal	Registered Underground Storage Tank (UST) Sites	subject property and adjoining properties	1
State & Tribal	Institutional Control / Engineering Control Registries	subject property	0
State & Tribal	Brownfield Sites	½ mile	3
State & Tribal	Michigan Inventory of Facilities (Includes Part 201 Sites and Baseline Environmental Assessment {BEA} Sites)	½ mile	46
Either	Unmappable Database Listings (a.k.a. Orphan Sites)	database-dependent	1

### 9.1: Subject Property and Occupant Listings

The subject property or its known occupants are not identified in the referenced databases.

### 9.2: Adjoining and Nearby Sites

PM's review of the referenced databases also considered the potential or likelihood of contamination from adjoining and nearby sites. To evaluate which of the adjoining and nearby sites identified in the regulatory database report present an environmental risk to the subject property, PM considered the following criteria:

- The type of database on which the site is identified.
- The topographic position of the identified site relative to the subject property.
- The direction and distance of the identified site from the subject property.
- Local soil conditions in the subject property area.
- The known or inferred groundwater flow direction in the subject property area.
- The status of the respective regulatory agency-required investigation(s) of the identified site, if any.
- Surface and subsurface obstructions and diversions (e.g., buildings, roads, sewer systems, utility service lines, rivers, lakes, and ditches) located between the identified site and the subject property.

Only those sites that are judged to present a potential environmental risk to the subject property and/or warrant additional clarification are further evaluated. Using the referenced criteria, and based upon a review of readily available information contained within the regulatory database report, PM did not identify adjoining (i.e., bordering) or nearby sites (e.g., properties within a ¼-mile radius) listed in the regulatory database report that were judged to present a potential environmental risk to the subject property, with the exception of the following:

**Essco of Birmingham LLC** – This property is identified as 255 South Old Woodward Avenue and is the northeast adjoining property. Review of the regulatory database documents an occupant is a RCRA-VSQQ of hazardous waste with no reported violations. Review of available EGLE records document the occupant has generated waste since at least 2015 related to real estate property. No additional relevant information was documented. Based on the lack of reported violations, insufficient groundwater to act as a transport mechanism, and the distance of

operations from the subject property (over 140 feet across East Brown Street and South Old Woodward Avenue), PM has not identified this property as a REC.

**Green's Art Supply a.k.a. Former Gasoline Dispensing Station** – This property is identified as 400 South Old Woodward Avenue and is the south adjoining property. Review of the regulatory database documents this property is a former UST site, Brownfield site, and BEA site. Review of available EGLE records document former USTs were removed and contaminated soil was excavated from the property. Verification soil remediation (VSR) samples were collected from the property following excavation activities. Analytical soil sample results document that impacted soil had been remediated to below Part 201 generic cleanup criteria. Based on this information, insufficient groundwater to act as a transport mechanism, and distance from the subject property (over 50 feet across Daines Street), PM has not identified this property as a REC.

**Weiss Samona and Woodward Brown Associates, LLC** – This property is identified as 34901 Woodward Avenue and is located within one-eighth of a mile northeast. Review of the regulatory database documents this property is a US Brownfields site and a BEA site. Review of available EGLE records document the BEA was completed in 2010 and identified contamination above Part 201 generic cleanup criteria on the property. However, based on the insufficient groundwater to act as a transport mechanism and distance from the subject property (over 390 feet across multiple roadways), PM has not identified this property as a REC.

**Jax Kar Wash #048** – This property is identified as 34745 Woodward Avenue and is located within one-eighth of a mile east. Review of the regulatory database documents this property is an open LUST site with one release reported in 2000 and BEA site. Review of available EGLE records document multiple site investigations were completed between 2001 and 2005, which document soil and groundwater contamination are present above Part 213 Risk Based Screening Levels (RBSLs), which has not been delineated towards the subject property. However, based on insufficient groundwater to act as a transport mechanism and distance from the subject property (over 285 feet across South Old Woodward Avenue), PM has not identified this property as a REC.

**Estate Motors LTD** – This property is identified as 464 South Woodward Avenue and is located within one-eighth of a mile south. Review of the regulatory database documents this property is a closed LUST site with two reported releases in 1991 and 1992, which were granted Type A and Type B closures in 1993 and 1994, respectively. Review of available EGLE records document metals remain on the property above Part 213 RBSLs. However, based on the low mobility of metals within soil, insufficient groundwater to act as a transport mechanism, and distance from the subject property (over 220 feet across Daines Street), PM has not identified this property as a REC.

**Brown Street Office Building** – This property is identified as 200 East Brown Street and is located within one eighth of a mile west. Review of the regulatory database documents this property is a BEA site. Review of available EGLE records document soil contamination remains on-site above Part 201 cleanup criteria. Contamination was documented to be delineated towards the subject property. Based on this information, insufficient groundwater to act as a transport mechanism, and distance from the subject property (over 200 feet), PM has not identified this property as a REC.

Additional properties within one-eighth of a mile northeast and east were identified in the regulatory database as LUST and BEA sites. However, based on distance considerations and

insufficient groundwater to act as a transport mechanism, PM has not identified these properties as a REC.

## **10.0 FINDINGS, OPINIONS AND CONCLUSIONS**

### **10.1: De Minimis Condition**

A de minimis condition, as defined in the ASTM Standard, is a condition that generally does not present a threat to human health or the environment and generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies. Conditions determined to be de minimis are not RECs or CRECs. No de minimis conditions were identified during this assessment.

### **10.2: Significant Data Gaps**

A data gap, as defined in the ASTM Standard, is a lack of or inability to obtain information required by the ASTM Standard despite good faith efforts by the environmental professional to gather such information. The environmental professional must then determine whether these gaps are significant. PM did not identify or encounter any instances of significant data gaps during the course of this ESA.

### **10.3: Historical Recognized Environmental Conditions (HRECs)**

An HREC, as defined in the ASTM Standard, is a past release of hazardous substances or petroleum products that has occurred in connection with the subject property and has been addressed to the satisfaction of the applicable regulatory authority or meeting unrestricted residential use criteria established by a regulatory authority, without subjecting the subject property to any required controls. PM has not identified any HRECs in association with the subject property.

### **10.4: Recognized Environmental Conditions (RECs)**

We have performed a Phase I Environmental Site Assessment in conformance with the scope and limitations of ASTM Practice E 1527-13 of the Commercial Properties located at 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Oakland County, Michigan, the property. Any exceptions to, or deletions from, this practice are described in Section 1.4 of this report. This assessment has revealed no evidence of recognized environmental conditions connected with the property except the following:

- The current building on the southeastern parcel, identified as 360-394 South Old Woodward Avenue, was historically occupied by automotive service operations between at least 1929 and 1967. Additionally, records suggest automotive sales between at least 1980 and 1988 appear to have included limited service or repair operations. Historical interior waste streams associated with the former service operations would have consisted of general hazardous substances and/or petroleum products. This time period preceded major environmental regulations and current waste management and disposal procedures. The historical waste management practices associated with the former service operations are unknown and may be a source of subsurface contamination.



- Former service operations on the southeastern parcel may have utilized In-ground hoists, which have an underground reservoir for hydraulic fluids, which can contain polychlorinated biphenyls (PCBs). The potential exists that a release occurred from the former hydraulic hoist system and/or underground reservoir. Additionally, the potential exists for orphaned reservoirs to be present on the subject property.
- The southeastern parcel was historically occupied by a gasoline dispensing station between at least 1929 and the 1960s. Review of available records document at least four underground storage tanks (USTs) associated with these operations. A gasoline tank was also depicted east of this parcel, in the South Old Woodward Avenue right of way in the 1926 Sanborn map. Available City of Birmingham Fire Department records document the removal of five abandoned USTs from the property in 1970. No additional information on the condition of the USTs upon removal or contents of the USTs was available in reasonably ascertainable records. PM was unable to confirm whether the fifth UST removed was the former UST depicted in the right of way in the 1926 Sanborn map or was an additional UST and the right of way UST is still present. The potential exists for orphan USTs to be present on the southeastern parcel and/or for subsurface contamination to be present from the former UST system(s).
- The current building on the southeastern parcel was occupied by a potential dry cleaner (Moore Cleaners) between at least 1969 and 1976. No information on the operations was available from reasonably ascertainable sources reviewed as part of this Phase I ESA. Dry cleaning operations commonly involve the usage of general hazardous substances and/or petroleum products, which, if improperly managed and/or disposed of, can be a source of contamination. This time period preceded major environmental regulations and current waste management and disposal procedures. The potential exists for the former occupant to have been an on-site dry cleaner and for subsurface contamination to be present from these former operations.
- The current building on the western parcel, identified as 294 East Brown Street, was historically occupied by a fur retailer (Chudik's Furs) with potential repair or cleaning operations between at least 1970 and 1991. In PM's experience, fur retailers commonly have repair and cleaning operations that involve the usage of general hazardous substances and/or petroleum products, which, if improperly managed and/or disposed of, can be a source of contamination. Reasonably ascertainable City of Birmingham Fire Department records document that Chudik's Furs was divided into a sewing room, bridal room, and work room with paint cabinet, further indicating repairs and/or cleaning activities were conducted on-site. A significant portion of this time period preceded major environmental regulations and current waste management and disposal procedures. The historical waste management practices associated with the former fur retailer and potential repair and cleaning operations are unknown and may be a source of subsurface contamination.

No adjoining and/or nearby RECs have been identified.

#### **10.5: Controlled Recognized Environmental Conditions (CRECs)**

A CREC, as defined in the ASTM Standard, is a recognized environmental condition (REC) resulting from a past release of hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority with hazardous substances or

petroleum products allowed to remain in place subject to the implementation of required controls. PM has not identified any CRECs in association with the subject property.

## **10.6: Recommendations**

We have performed a Phase I Environmental Site Assessment in conformance with the scope and limitations of ASTM Practice E 1527-13 of the Commercial Properties located at 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Oakland County, Michigan, the property. Any exceptions to, or deletions from, this practice are described in Section 1.4 of this report. This assessment has revealed no evidence of recognized environmental conditions connected with the property except as listed in Section 10.4 of this report.

PM is concurrently completing a Phase II ESA to investigate the RECs identified, which will be provided under separate cover.

## **11.0 NON-ASTM SCOPE CONSIDERATIONS/BUSINESS ENVIRONMENTAL RISKS**

PM has included a discussion of Non-ASTM Scope Considerations based upon industry standards and lender requirements. A Business Environmental Risk is defined as a risk which can have a material environmental or environmentally-driven impact on the business associated with the current or planned use of a parcel of commercial real estate, not necessarily limited to those environmental issues required to be investigated in this practice.

<b>Non-ASTM Item</b>	<b>Observations or Information</b>
Potential Asbestos Containing Materials (ACMs)	<p>Based on PM's limited visual observations during the site reconnaissance, suspect ACMs identified included 12 inch by 12 inch vinyl floor tiles, drywall walls and ceilings, and suspended acoustical ceiling tiles. The materials appeared to be in good condition apart from limited damaged vinyl floor tiles. These materials should be sampled, and if found to be asbestos containing, should be repaired or removed by a licensed asbestos contractor in accordance with all applicable federal, state, and local regulations. Repair or removal operations should be supervised by an independent, third party industrial hygiene firm.</p> <p>Buildings constructed prior to, but no later than, 1980 with suspect asbestos containing building materials are required by Federal regulations to designate those materials as "Presumed Asbestos Containing Materials" in the absence of analytical data. As such, there are several Federal requirements the building owner must adhere to regarding notification and management of these materials in pre-1980 buildings. Additionally, in the future, a comprehensive asbestos survey should be completed prior to significant renovation or demolition activities.</p>

Non-ASTM Item	Observations or Information
Lead Based Paint (LBP)	Based on the original construction of the subject buildings in 1929, 1945, and 1956 (pre-1978 when Federal regulations banned the use of LBP), there is the potential for existing paint to be lead based or contain lead. However, the painted surfaces were observed to be in generally good condition, the subject buildings are not of residential or child-occupied use, and there is no regulatory requirement for the owner to sample suspect painted building components at this time. Therefore, no further action is recommended regarding suspected lead in paint at the subject property. If a more definitive determination is preferred for outside contractor or maintenance activities that may disturbed painted building components, PM can provide a scope of work to address.
Visual Mold or Significant Moisture Damage	PM performed a limited visual assessment for the presence of mold, conditions conducive to mold, and evidence of moisture in readily accessible interior areas of the subject property. No significant suspect mold and/or evidence of moisture was observed, beyond the presence of very small quantities commonly found in locations such as frequently wet areas and stained ceiling tiles.

## 12.0 SIGNATURE(S) OF ENVIRONMENTAL PROFESSIONAL(S)

We declare that, to the best of our professional knowledge and belief, we meet the definition of *Environmental professional* as defined in §312.10 of 40 CFR 312 and we have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property. We have developed and performed the all appropriate inquiries in conformance with the standards and practices set forth in 40 CFR Part 312.



Lauren Babuska  
Project Consultant



Beth Sexton  
Chief Operating Officer

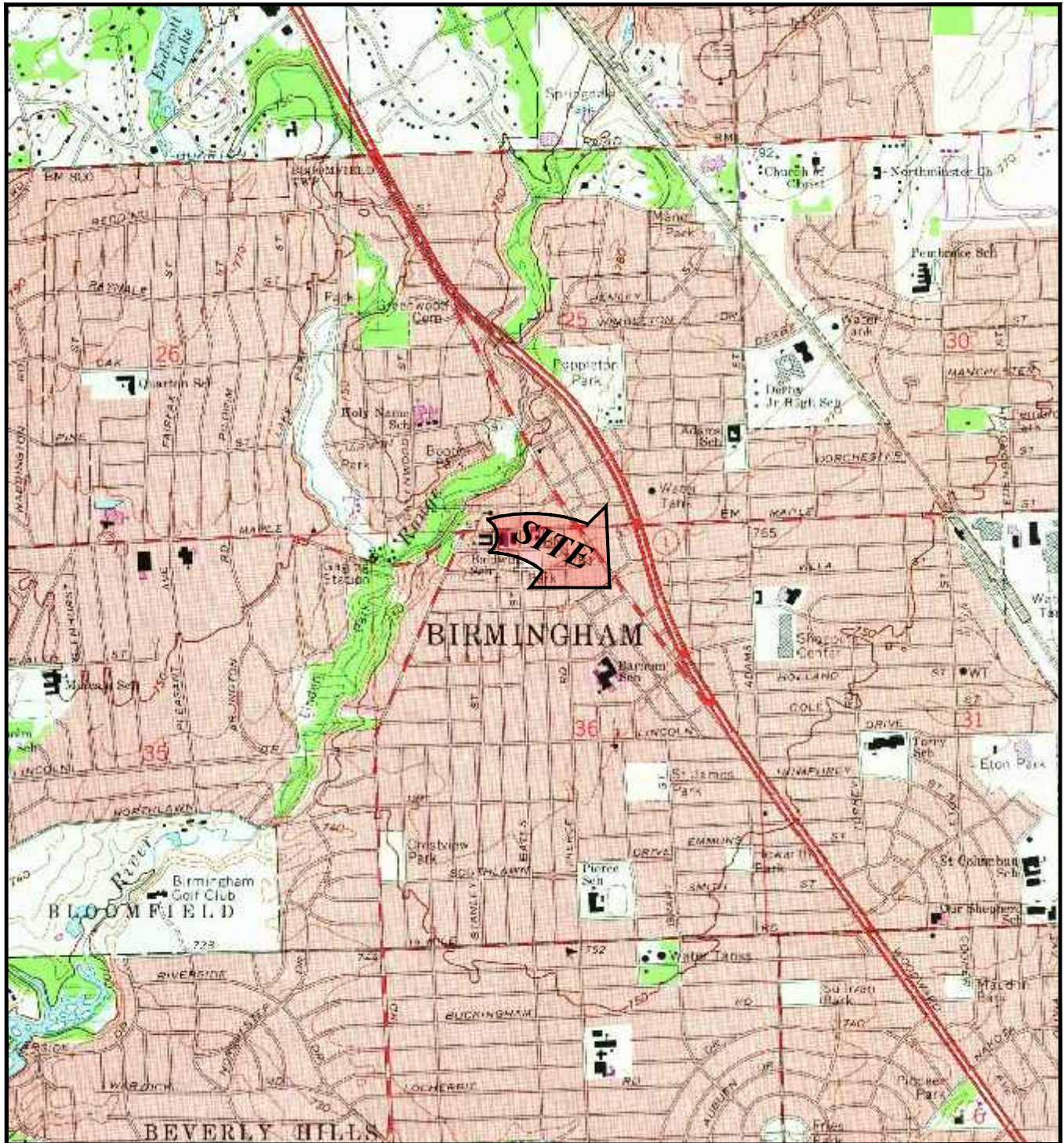
## 13.0 REFERENCES

The following published sources were utilized during completion of this Phase I ESA:

- *Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process*, ASTM International, ASTM Designation E 1527-13, Published November 2013.
- R.L. Polk's Directories, obtained from the State of Michigan Library in Lansing, Michigan. City: Birmingham. Years: 1937-1951.
- Bresser's Cross-Index City Directories, Bresser's in Detroit, Michigan. City: Birmingham. Years: 1952-2014.
- United States Geological Survey Division (U.S.G.S.) 7.5 Minute Topographic Map Birmingham, Michigan Quadrangle, 1968 (photo-revised 1981).
- *Custom Soil Resource Report for Oakland County, Michigan*, U.S. Department of Agriculture, survey area data: June 1, 2020.



## Figures

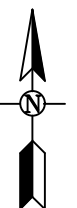


# OAKLAND COUNTY

FIGURE 1

PROPERTY VICINITY MAP

UNITED STATES GEOLOGICAL SURVEY, 7.5 MINUTE SERIES  
BIRMINGHAM, MI QUADRANGLE, 1968. PHOTO REVISED 1981.



**Environmental  
& Engineering  
Services**

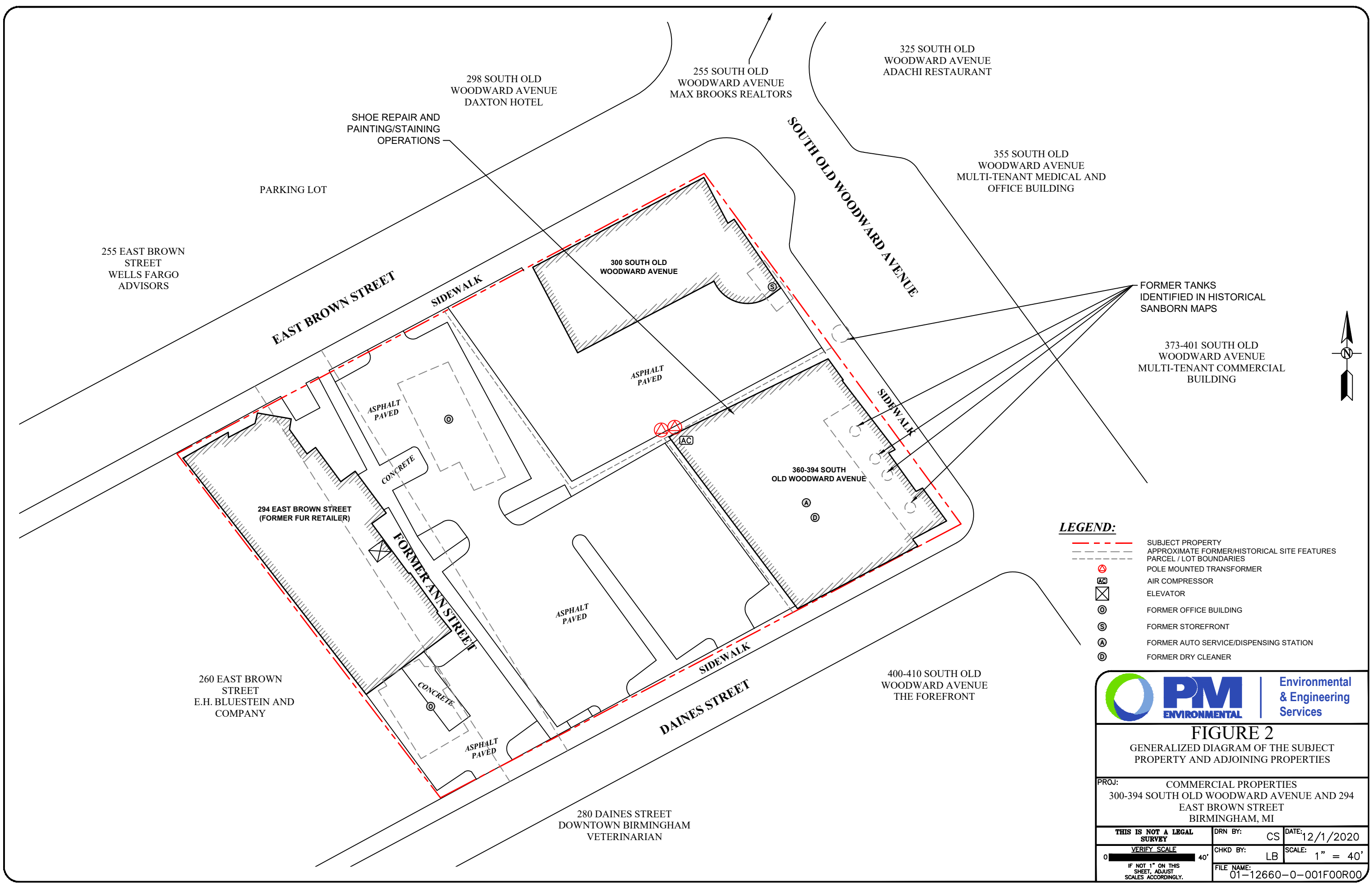
PROJ: COMMERCIAL PROPERTIES  
300-394 SOUTH OLD WOODWARD AVENUE  
AND 294 EAST BROWN STREET  
BIRMINGHAM, MI

**THIS IS NOT A LEGAL  
SURVEY**

**VERIFY SCALE**  
0 2,000'  
IF NOT 1" ON THIS  
SHEET, ADJUST  
SCALES ACCORDINGLY.

DRN BY: CS	DATE: 12/1/2020
CHKD BY: LB	SCALE: 1" = 2,000'
FILE NAME: 01-12660-0-001F00R00	





**LEGEND:**

- SUBJECT PROPERTY
- APPROXIMATE FORMER/HISTORICAL SITE FEATURES
- PARCEL / LOT BOUNDARIES
- POLE MOUNTED TRANSFORMER
- AIR COMPRESSOR
- ELEVATOR
- FORMER OFFICE BUILDING
- FORMER STOREFRONT
- FORMER AUTO SERVICE/DISPENSING STATION
- FORMER DRY CLEANER



**PM**  
ENVIRONMENTAL

Environmental  
& Engineering  
Services

**FIGURE 2**  
GENERALIZED DIAGRAM OF THE SUBJECT  
PROPERTY AND ADJOINING PROPERTIES

PROJ: COMMERCIAL PROPERTIES  
300-394 SOUTH OLD WOODWARD AVENUE AND 294  
EAST BROWN STREET  
BIRMINGHAM, MI

THIS IS NOT A LEGAL SURVEY	DRN BY: CS	DATE: 12/1/2020
VERIFY SCALE	CHKD BY: LB	SCALE: 1" = 40'
IF NOT 1" ON THIS SHEET, ADJUST SCALES ACCORDINGLY.		
FILE NAME: 01-12660-0-001F00R00		

# Appendix A



## SITE PHOTOGRAPHS



**Photographs From Site Reconnaissance**  
**PM Project No. 01-12660-0-0001**  
**Location: 300-394 South Old Woodward Avenue and**  
**294 East Brown Street, Birmingham, Michigan**

### Photograph 1



The north facing wall of the subject building,  
300 South Old Woodward Avenue.

### Photograph 2



The east facing wall of the subject building, 300  
South Old Woodward Avenue.



**Photographs From Site Reconnaissance**  
**PM Project No. 01-12660-0-0001**  
**Location: 300-394 South Old Woodward Avenue and**  
**294 East Brown Street, Birmingham, Michigan**

### Photograph 3



A typical office in 300 South Old Woodward Avenue.

### Photograph 4

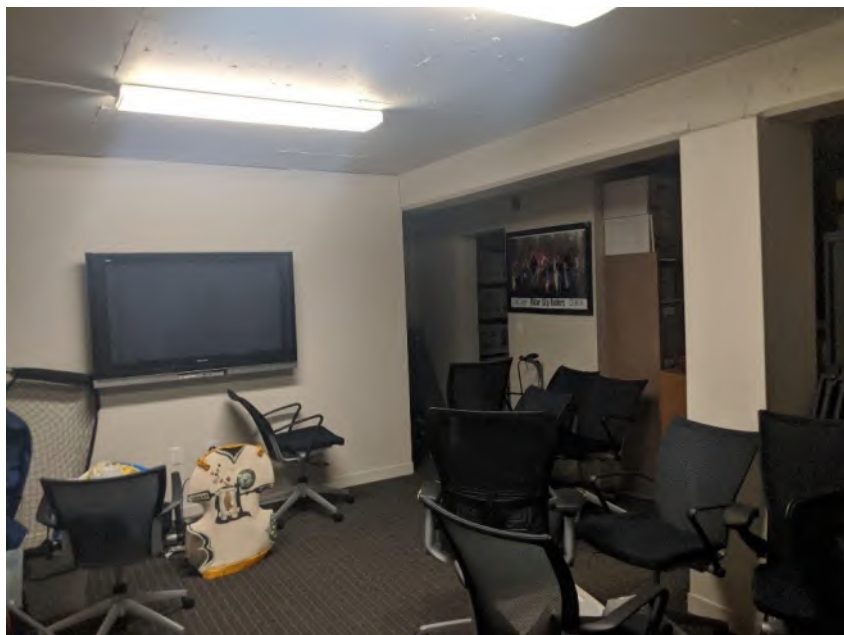


A typical conference room in 300 South Old Woodward Avenue.



Photographs From Site Reconnaissance  
PM Project No. 01-12660-0-0001  
Location: 300-394 South Old Woodward Avenue and  
294 East Brown Street, Birmingham, Michigan

### Photograph 5



The basement in 300 South Old Woodward Avenue.

### Photograph 6



The mechanical room and sump in the basement of 300 South Old Woodward Avenue.





**Photographs From Site Reconnaissance**  
**PM Project No. 01-12660-0-0001**  
**Location: 300-394 South Old Woodward Avenue and**  
**294 East Brown Street, Birmingham, Michigan**

### Photograph 7



The north facing wall of the subject building,  
360-394 South Old Woodward Avenue.

### Photograph 8



The east facing wall of the subject building, 360  
South Old Woodward Avenue.



**Photographs From Site Reconnaissance**  
**PM Project No. 01-12660-0-0001**  
**Location: 300-394 South Old Woodward Avenue and**  
**294 East Brown Street, Birmingham, Michigan**

### **Photograph 9**



Shoe repair area in 360 South Old Woodward Avenue.

### **Photograph 10**



The retail area in 360 South Old Woodward Avenue.



Photographs From Site Reconnaissance  
PM Project No. 01-12660-0-0001  
Location: 300-394 South Old Woodward Avenue and  
294 East Brown Street, Birmingham, Michigan

### Photograph 11



Shoe repair area in 360 South Old Woodward Avenue.

### Photograph 12



Painting and staining booth along the northern interior wall of 360 South Old Woodward Avenue.





**Photographs From Site Reconnaissance**  
**PM Project No. 01-12660-0-0001**  
**Location: 300-394 South Old Woodward Avenue and**  
**294 East Brown Street, Birmingham, Michigan**

### **Photograph 13**



The air compressor in the northwestern portion of 360 South Old Woodward Avenue.

### **Photograph 14**



The basement in 360 South Old Woodward Avenue.





**Photographs From Site Reconnaissance**  
**PM Project No. 01-12660-0-0001**  
**Location: 300-394 South Old Woodward Avenue and**  
**294 East Brown Street, Birmingham, Michigan**

### Photograph 15



A typical floor drain in the basement of 360 South Old Woodward Avenue.

### Photograph 16



The east facing wall of the subject building, 394 South Old Woodward Avenue.



**Photographs From Site Reconnaissance**  
**PM Project No. 01-12660-0-0001**  
**Location: 300-394 South Old Woodward Avenue and**  
**294 East Brown Street, Birmingham, Michigan**

### Photograph 17



The retail area in 394 South Old Woodward Avenue.

### Photograph 18

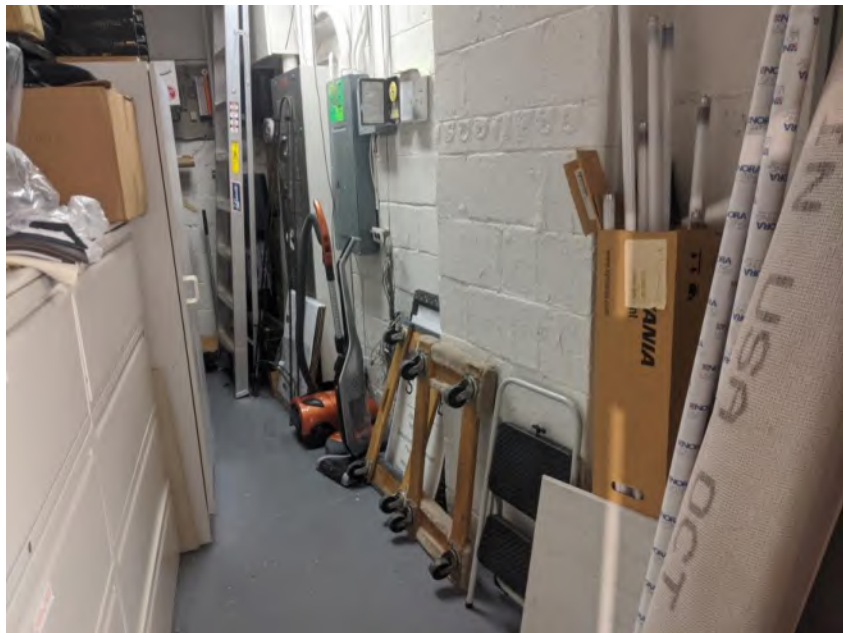


A typical loading bay/storage area in 394 South Old Woodward Avenue.



**Photographs From Site Reconnaissance**  
**PM Project No. 01-12660-0-0001**  
**Location: 300-394 South Old Woodward Avenue and**  
**294 East Brown Street, Birmingham, Michigan**

### **Photograph 19**



The electrical room in 394 South Old Woodward Avenue.

### **Photograph 20**



The pole-mounted transformers located northwest of the subject building identified as 360-394 Old Woodward Avenue.





**Photographs From Site Reconnaissance**  
**PM Project No. 01-12660-0-0001**  
**Location: 300-394 South Old Woodward Avenue and**  
**294 East Brown Street, Birmingham, Michigan**

### **Photograph 21**



The east facing wall of the subject building, 294 East Brown Street.

### **Photograph 22**



The west facing wall of the subject building, 294 East Brown Street.





**Photographs From Site Reconnaissance**  
**PM Project No. 01-12660-0-0001**  
**Location: 300-394 South Old Woodward Avenue and**  
**294 East Brown Street, Birmingham, Michigan**

### **Photograph 23**



A typical office in 294 East Brown Street.

### **Photograph 24**



A typical employee break area in 294 East Brown Street.



**Photographs From Site Reconnaissance**  
**PM Project No. 01-12660-0-0001**  
**Location: 300-394 South Old Woodward Avenue and**  
**294 East Brown Street, Birmingham, Michigan**

### **Photograph 25**



The basement in 294 East Brown Street.

### **Photograph 26**



The elevator equipment room located in the basement of 294 East Brown Street.



**Photographs From Site Reconnaissance**  
**PM Project No. 01-12660-0-0001**  
**Location: 300-394 South Old Woodward Avenue and**  
**294 East Brown Street, Birmingham, Michigan**

### **Photograph 27**



The sump located in the mechanical room in the basement of 294 East Brown Street.

### **Photograph 28**



A typical floor drain located within the mechanical areas in 294 East Brown Street.





**Photographs From Site Reconnaissance**  
**PM Project No. 01-12660-0-0001**  
**Location: 300-394 South Old Woodward Avenue and**  
**294 East Brown Street, Birmingham, Michigan**

### Photograph 29



The north adjoining property, 298 South Old Woodward Avenue.

### Photograph 30



The northeast adjoining property, 255 South Old Woodward Avenue.





**Photographs From Site Reconnaissance**  
**PM Project No. 01-12660-0-0001**  
**Location: 300-394 South Old Woodward Avenue and**  
**294 East Brown Street, Birmingham, Michigan**

### Photograph 31



The northwest adjoining property, 255 East Brown Street.

### Photograph 32



The east adjoining property, 355 South Old Woodward Avenue.



**Photographs From Site Reconnaissance**  
**PM Project No. 01-12660-0-0001**  
**Location: 300-394 South Old Woodward Avenue and**  
**294 East Brown Street, Birmingham, Michigan**

### **Photograph 33**



The northeast adjoining property, 325 South Old Woodward Avenue.

### **Photograph 34**



The southeast adjoining property, 373-401 South Old Woodward Avenue.





**Photographs From Site Reconnaissance**  
**PM Project No. 01-12660-0-0001**  
**Location: 300-394 South Old Woodward Avenue and**  
**294 East Brown Street, Birmingham, Michigan**

### **Photograph 35**



The south adjoining property, 400-410 South Old Woodward Avenue.

### **Photograph 36**



The southwest adjoining property, 280 Daines Street.



Photographs From Site Reconnaissance  
PM Project No. 01-12660-0-0001  
Location: 300-394 South Old Woodward Avenue and  
294 East Brown Street, Birmingham, Michigan

### Photograph 37



The west adjoining property, 260 East Brown Street.



## Appendix B

## USER QUESTIONNAIRE

## PHASE I ESA - ASTM USER QUESTIONNAIRE

Project:

300-360 South Old Woodward Avenue and 294 East Brown Street,  
Birmingham, Michigan

The ASTM Standard defines a User as "the party seeking to use Practice E 1527 to complete an environmental site assessment. A User may include, without limitation, a potential purchaser of property, a potential tenant of property, an owner of property, a lender, or a property manager.

In order to qualify for one of the Landowner Liability Protections (LLPs) offered by the Small Business Liability Relief and Brownfield's Revitalization Act of 2001 (the "Brownfield's Amendments") the **User** must provide the following information (if available) to the environmental professional. Failure to provide this information could result in a determination that "all appropriate inquiry" is not complete.

If you are the User, please answer the following questions to the best of your knowledge and provide a completed copy to PM.

### 1. Environmental Clean-up liens that are filed or recorded against the site (40 CFR 312.25)

Are you aware of any environmental cleanup liens against the property that are filed or recorded under federal, tribal, state or local law?

Yes

No

If so, please describe that type of liens:

### 2. Activity and land use limitations that are in place on the site or that have been filed in a registry (40 CFR 312.26)

Are you aware of any Activity and Use Limitations (AULs), such as engineering controls, land use restrictions, or institutional controls that are in place at the site and/or have been filed or recorded in a registry under federal, tribal, state, or local law?

Yes

No

If yes, what type of AULs are you aware of?

### 3. Specialized knowledge or experience of the person seeking to qualify for a LLP (40 CFR 312.28)

As the user of this ESA do you have any specialized knowledge or experience related to the property or nearby properties? For example, are you involved in the same line of business as the current or former occupants of the property or an adjoining property so that you would have specialized knowledge of the chemicals and the processes used by this type of business?

Yes

No

If yes, what type of business are you associated with?

What types of chemicals are used in your business?

## PHASE I ESA - ASTM USER QUESTIONNAIRE

Project:

300-360 South Old Woodward Avenue and 294 East Brown Street,  
Birmingham, Michigan

### 4. Relationship to the purchase price to the fair market value of the property if it were not contaminated (40 CFR 312.29)

Does the purchase price being paid for this property reasonably reflect the fair market value of the property?

Yes

No

If you conclude that there is a difference, have you considered whether the lower purchase price is because contamination is known or believed to be present at the property?

Yes

No

### 5. Commonly known or reasonably ascertainable information about the property (40 CFR 312.30)

Are you aware of commonly known or reasonably ascertainable information about the property that would help the environmental professional to identify conditions indicative of releases or threatened releases? For example as a user:

a. Do you know of the past uses of the property?

Yes

No

If yes, please list what past uses are you aware of?

---

b. Do you know of specific chemicals that are present or once were present at the property?

Yes

No

If yes, please list what chemicals you are aware of?

---

c. Do you know of spills or other chemical releases that have taken place on the property?

Yes

No

d. Do you know of any environmental cleanups which have taken place on the property?

Yes

No

If yes, do you have copies of any of the reports documenting the work?

Yes

No

If you have any documentation of previous environmental site assessment activities or other relevant information, please provide copies to PM when you return this questionnaire.



## PHASE I ESA - ASTM USER QUESTIONNAIRE

Project:	300-360 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Michigan
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### 6. The degree of the obviousness of the presence of likely presence of contamination at the property and the ability to detect the contamination by appropriate investigation (40CFR 312.31)

As the user of this ESA, based on your knowledge and experience related to the property are there any obvious indicators that point to the presence or likely presence of contamination on the property? **Yes**

**No**

If yes, please comment on what those indicators are:

Completed By (User):

Baji Grap, LLC

Company Name for  
Real Estate  
Transaction:

Street Address:

City, State, Zip code:

User Phone Number:

Signature of the User:

Ben H. H., VP

Date Questionnaire was  
completed on:

11/11/2020

## SOIL SURVEY INFORMATION



United States  
Department of  
Agriculture

NRCS

Natural  
Resources  
Conservation  
Service

A product of the National  
Cooperative Soil Survey,  
a joint effort of the United  
States Department of  
Agriculture and other  
Federal agencies, State  
agencies including the  
Agricultural Experiment  
Stations, and local  
participants

# Custom Soil Resource Report for Oakland County, Michigan



November 18, 2020

# Soil Map

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The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.



# Custom Soil Resource Report Soil Map



## Custom Soil Resource Report

### MAP LEGEND

#### Area of Interest (AOI)

 Area of Interest (AOI)

#### Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

#### Special Point Features

 Blowout

 Borrow Pit

 Clay Spot

 Closed Depression

 Gravel Pit

 Gravelly Spot

 Landfill

 Lava Flow

 Marsh or swamp

 Mine or Quarry

 Miscellaneous Water

 Perennial Water

 Rock Outcrop

 Saline Spot

 Sandy Spot

 Severely Eroded Spot


 Sinkhole

 Slide or Slip

 Sodic Spot

 Spoil Area

 Stony Spot

 Very Stony Spot

 Wet Spot

 Other

 Special Line Features

#### Water Features

 Streams and Canals


#### Transportation

 Rails


 Interstate Highways

 US Routes

 Major Roads

 Local Roads

#### Background

 Aerial Photography

### MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL:  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Oakland County, Michigan  
Survey Area Data: Version 19, Jun 1, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Dec 31, 2009—Mar 4, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
EtmaaE	Udorthents and Udipsamments, nearly level to hilly	1.3	100.0%
<b>Totals for Area of Interest</b>		<b>1.3</b>	<b>100.0%</b>

## Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

## Custom Soil Resource Report

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.



## Oakland County, Michigan

### EtmaaE—Udorthents and Udipsamments, nearly level to hilly

#### Map Unit Setting

*National map unit symbol:* 2m785  
*Elevation:* 680 to 1,000 feet  
*Mean annual precipitation:* 31 to 32 inches  
*Mean annual air temperature:* 47 to 47 degrees F  
*Frost-free period:* 137 to 179 days  
*Farmland classification:* Not prime farmland

#### Map Unit Composition

*Udorthents and similar soils:* 60 percent  
*Udipsamments and similar soils:* 40 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Description of Udorthents

##### Setting

*Landform:* Ground moraines  
*Landform position (three-dimensional):* Rise  
*Down-slope shape:* Concave  
*Across-slope shape:* Convex  
*Parent material:* Loamy till

##### Typical profile

*A - 0 to 8 inches:* silt loam  
*C - 8 to 39 inches:* clay loam  
*Cd - 39 to 80 inches:* clay loam

##### Properties and qualities

*Slope:* 0 to 30 percent  
*Depth to restrictive feature:* More than 80 inches  
*Drainage class:* Well drained  
*Runoff class:* Medium  
*Capacity of the most limiting layer to transmit water (Ksat):* Very low to low (0.00 to 0.01 in/hr)  
*Depth to water table:* More than 80 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Calcium carbonate, maximum content:* 30 percent  
*Available water capacity:* Moderate (about 6.5 inches)

##### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Hydrologic Soil Group:* C  
*Ecological site:* F099XY007MI - Lake Plain Flats  
*Hydric soil rating:* No

#### Description of Udipsamments

##### Setting

*Landform:* Ground moraines  
*Landform position (three-dimensional):* Rise  
*Down-slope shape:* Concave

## Custom Soil Resource Report

*Across-slope shape:* Convex

*Parent material:* Sandy glaciofluvial deposits

### Typical profile

*A - 0 to 4 inches:* fine sandy loam

*C1 - 4 to 12 inches:* loamy fine sand

*C2 - 12 to 30 inches:* loamy fine sand

*C3 - 30 to 80 inches:* gravelly loamy fine sand

### Properties and qualities

*Slope:* 0 to 30 percent

*Depth to restrictive feature:* More than 80 inches

*Drainage class:* Well drained

*Runoff class:* Medium

*Capacity of the most limiting layer to transmit water (Ksat):* High to very high (2.00 to 20.00 in/hr)

*Depth to water table:* More than 80 inches

*Frequency of flooding:* None

*Frequency of ponding:* None

*Calcium carbonate, maximum content:* 35 percent

*Available water capacity:* Low (about 4.5 inches)

### Interpretive groups

*Land capability classification (irrigated):* None specified

*Hydrologic Soil Group:* A

*Ecological site:* F099XY004MI - Warm Dry Sandy Ridge

*Hydric soil rating:* No

# Soil Information for All Uses

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## Soil Reports

The Soil Reports section includes various formatted tabular and narrative reports (tables) containing data for each selected soil map unit and each component of each unit. No aggregation of data has occurred as is done in reports in the Soil Properties and Qualities and Suitabilities and Limitations sections.

The reports contain soil interpretive information as well as basic soil properties and qualities. A description of each report (table) is included.

## Soil Qualities and Features

This folder contains tabular reports that present various soil qualities and features. The reports (tables) include all selected map units and components for each map unit. Soil qualities are behavior and performance attributes that are not directly measured, but are inferred from observations of dynamic conditions and from soil properties. Example soil qualities include natural drainage, and frost action. Soil features are attributes that are not directly part of the soil. Example soil features include slope and depth to restrictive layer. These features can greatly impact the use and management of the soil.

## Soil Features

This table gives estimates of various soil features. The estimates are used in land use planning that involves engineering considerations.

A *restrictive layer* is a nearly continuous layer that has one or more physical, chemical, or thermal properties that significantly impede the movement of water and air through the soil or that restrict roots or otherwise provide an unfavorable root environment. Examples are bedrock, cemented layers, dense layers, and frozen layers. The table indicates the hardness and thickness of the restrictive layer, both of which significantly affect the ease of excavation. *Depth to top* is the vertical distance from the soil surface to the upper boundary of the restrictive layer.

*Subsidence* is the settlement of organic soils or of saturated mineral soils of very low density. Subsidence generally results from either desiccation and shrinkage, or oxidation of organic material, or both, following drainage. Subsidence takes place gradually, usually over a period of several years. The table shows the expected

initial subsidence, which usually is a result of drainage, and total subsidence, which results from a combination of factors.

*Potential for frost action* is the likelihood of upward or lateral expansion of the soil caused by the formation of segregated ice lenses (frost heave) and the subsequent collapse of the soil and loss of strength on thawing. Frost action occurs when moisture moves into the freezing zone of the soil. Temperature, texture, density, saturated hydraulic conductivity ( $K_{sat}$ ), content of organic matter, and depth to the water table are the most important factors considered in evaluating the potential for frost action. It is assumed that the soil is not insulated by vegetation or snow and is not artificially drained. Silty and highly structured, clayey soils that have a high water table in winter are the most susceptible to frost action. Well drained, very gravelly, or very sandy soils are the least susceptible. Frost heave and low soil strength during thawing cause damage to pavements and other rigid structures.

*Risk of corrosion* pertains to potential soil-induced electrochemical or chemical action that corrodes or weakens uncoated steel or concrete. The rate of corrosion of uncoated steel is related to such factors as soil moisture, particle-size distribution, acidity, and electrical conductivity of the soil. The rate of corrosion of concrete is based mainly on the sulfate and sodium content, texture, moisture content, and acidity of the soil. Special site examination and design may be needed if the combination of factors results in a severe hazard of corrosion. The steel or concrete in installations that intersect soil boundaries or soil layers is more susceptible to corrosion than the steel or concrete in installations that are entirely within one kind of soil or within one soil layer.

For uncoated steel, the risk of corrosion, expressed as *low*, *moderate*, or *high*, is based on soil drainage class, total acidity, electrical resistivity near field capacity, and electrical conductivity of the saturation extract.

For concrete, the risk of corrosion also is expressed as *low*, *moderate*, or *high*. It is based on soil texture, acidity, and amount of sulfates in the saturation extract.



# Custom Soil Resource Report

Soil Features—Oakland County, Michigan									
Map symbol and soil name	Restrictive Layer				Subsidence		Potential for frost action	Risk of corrosion	
	Kind	Depth to top	Thickness	Hardness	Initial	Total		Uncoated steel	Concrete
		<i>Low-RV-High</i>	<i>Range</i>		<i>Low-High</i>	<i>Low-High</i>			
		<i>In</i>	<i>In</i>		<i>In</i>	<i>In</i>			
EtmaaE— Udorthents and Udipsamments, nearly level to hilly									
Udorthents	Densic material	- 39-	—	Very strongly cemented	—	—	Moderate	Moderate	Low
Udipsamments		—	—		—	—	Low	Low	Low

## AERIAL PHOTOGRAPHS

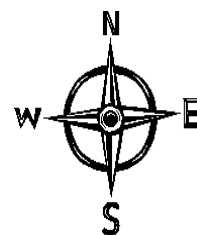


**Location: 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Michigan**

**PM Project No. 01-12660-0-0001**

**Aerial Year: 1940**

**Source: Oakland County**



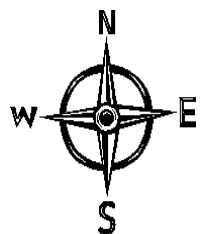


**Location: 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Michigan**

**PM Project No. 01-12660-0-0001**


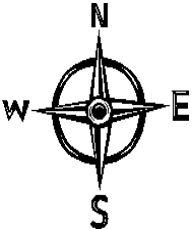
**Aerial Year: 1949**

**Source: Wayne State University**







	Location: 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Michigan	
	PM Project No. 01-12660-0-0001	
	Aerial Year: 1952	
	Source: Wayne State University	



Subject  
Property

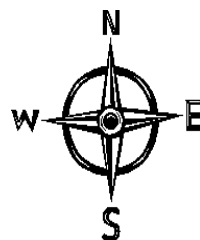


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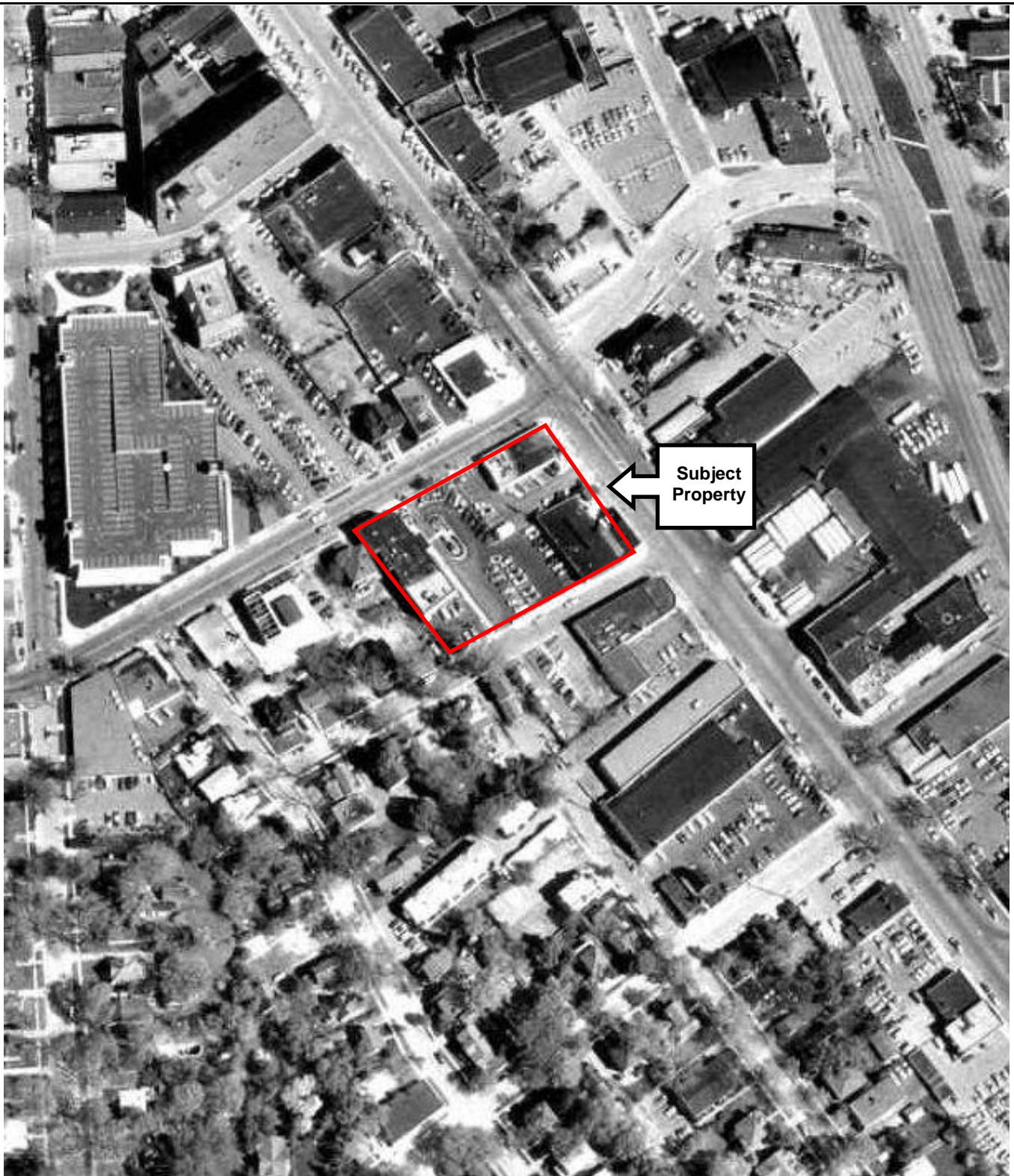
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Aerial Year: 1963

Source: Oakland County





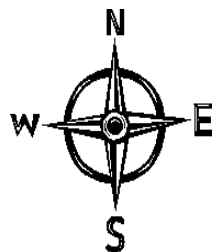


Location: 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Michigan

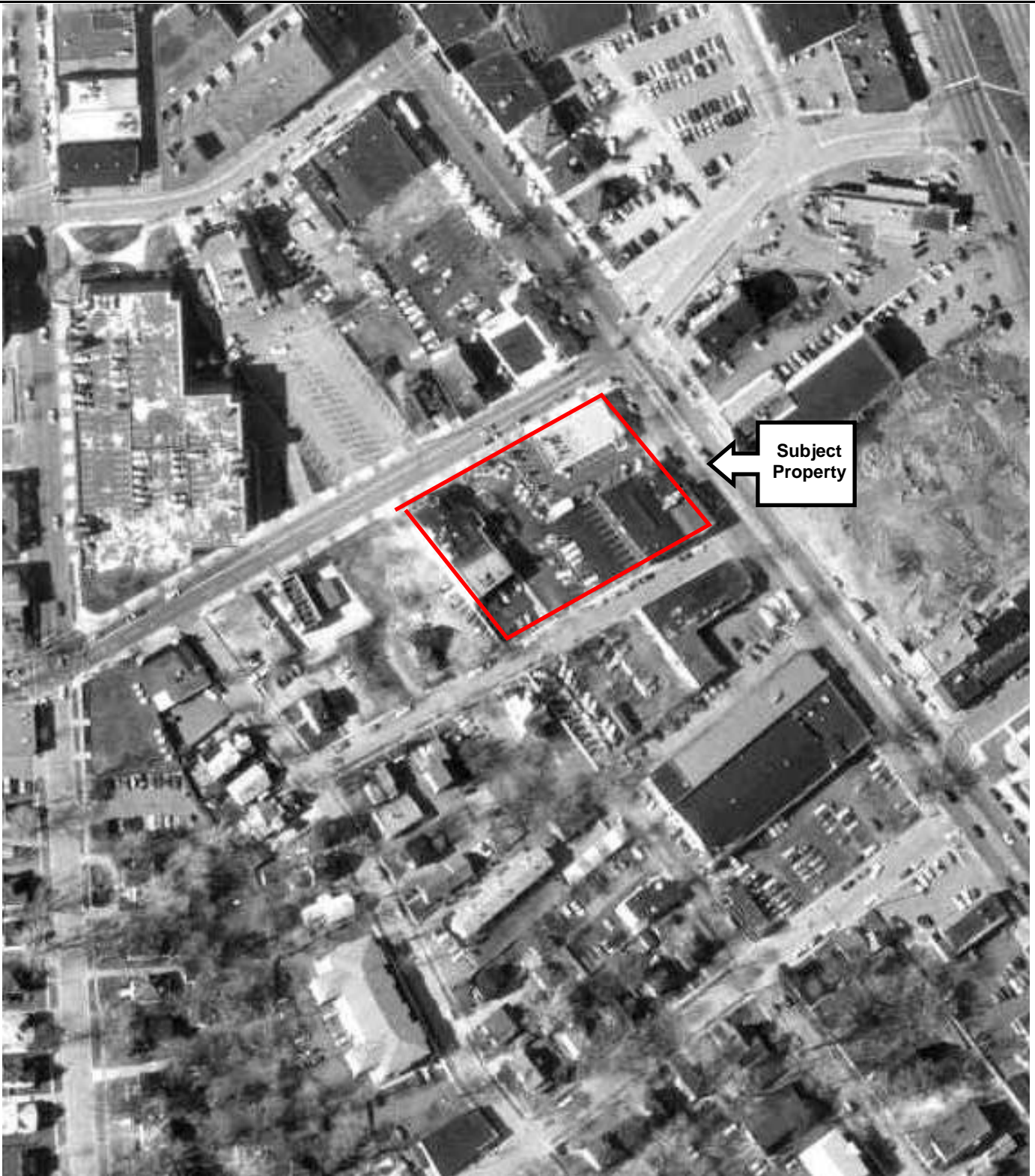
PM Project No. 01-12660-0-0001

Aerial Year: 1974

Source: Oakland County





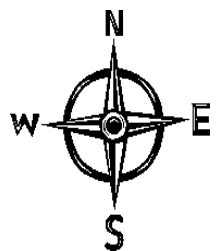


Location: 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Michigan

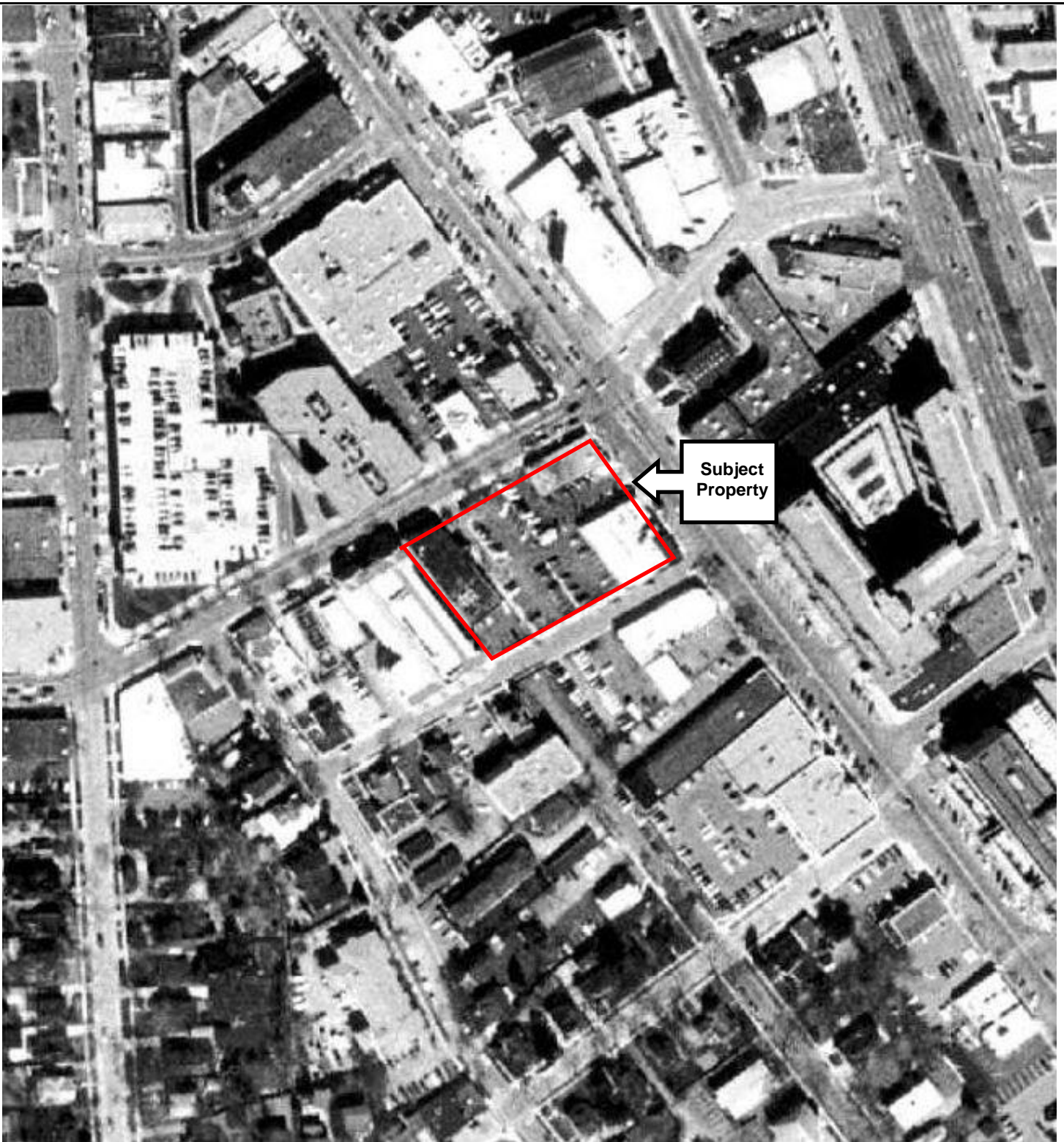
PM Project No. 01-12660-0-0001

Aerial Year: 1980

Source: Oakland County





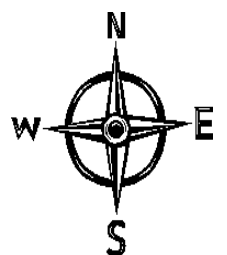


Location: 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Michigan

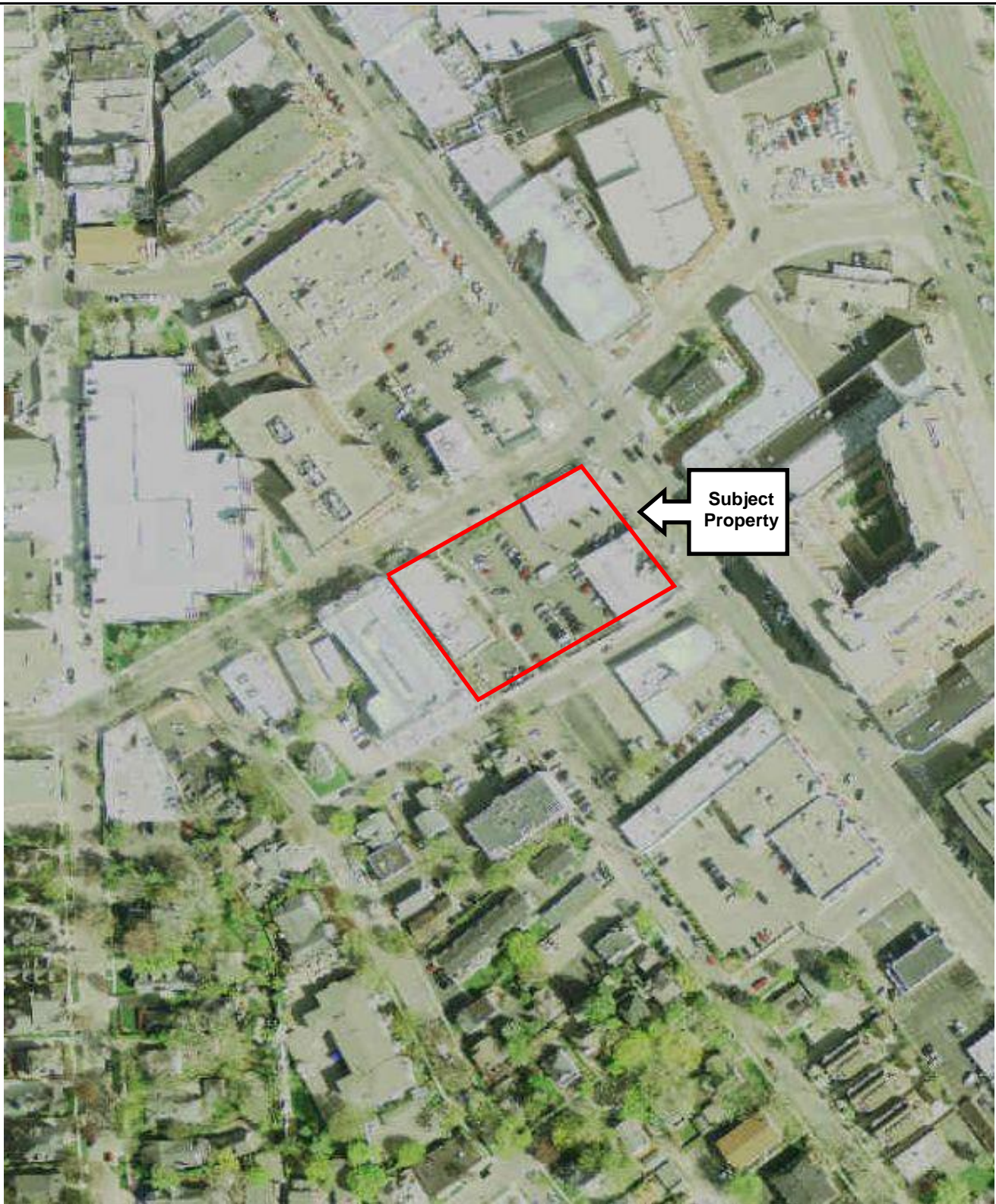
PM Project No. 01-12660-0-0001

Aerial Year: 1997

Source: Oakland County





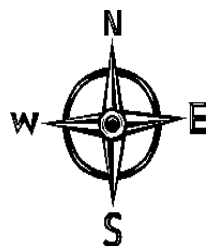


**Location: 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Michigan**

**PM Project No. 01-12660-0-0001**

**Aerial Year: 2010**

**Source: Oakland County**





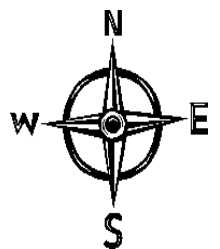


**Location: 300-394 South Old Woodward Avenue and 294 East Brown Street, Birmingham, Michigan**

**PM Project No. 01-12660-0-0001**

**Aerial Year: 2017**

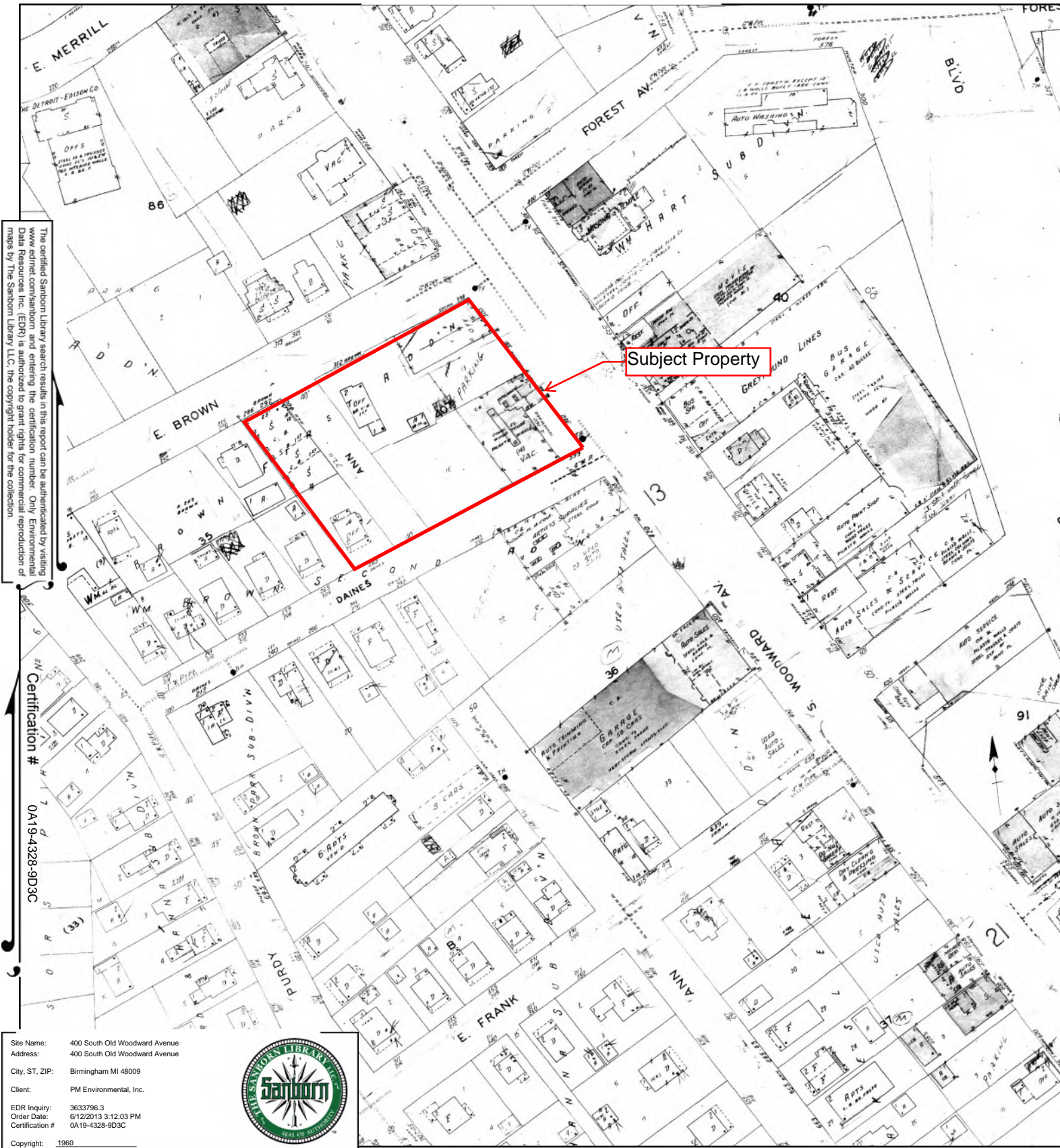
**Source: Oakland County**



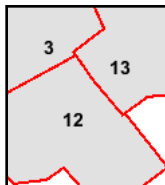
## SANBORN FIRE INSURANCE MAPS



# 1960 Certified Sanborn Map



This Certified Sanborn Map combines the following sheets.  
 Outlined areas indicate map sheets within the collection.

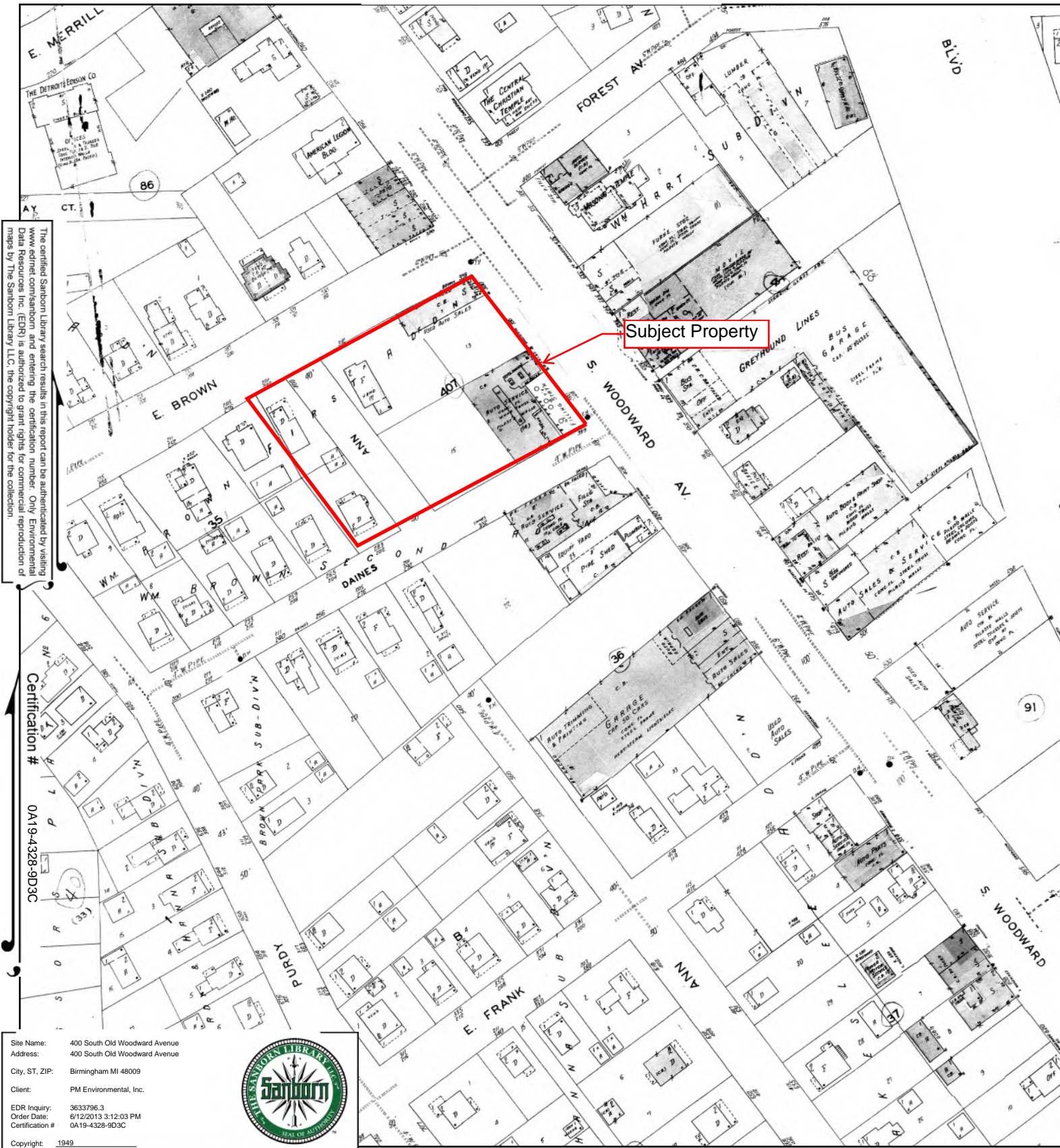


Volume 1, Sheet 3  
 Volume 1, Sheet 12  
 Volume 1, Sheet 13

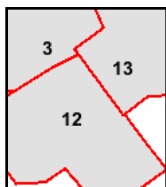
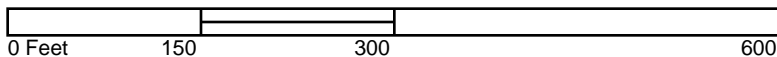




# 1949 Certified Sanborn Map



This Certified Sanborn Map combines the following sheets.  
 Outlined areas indicate map sheets within the collection.

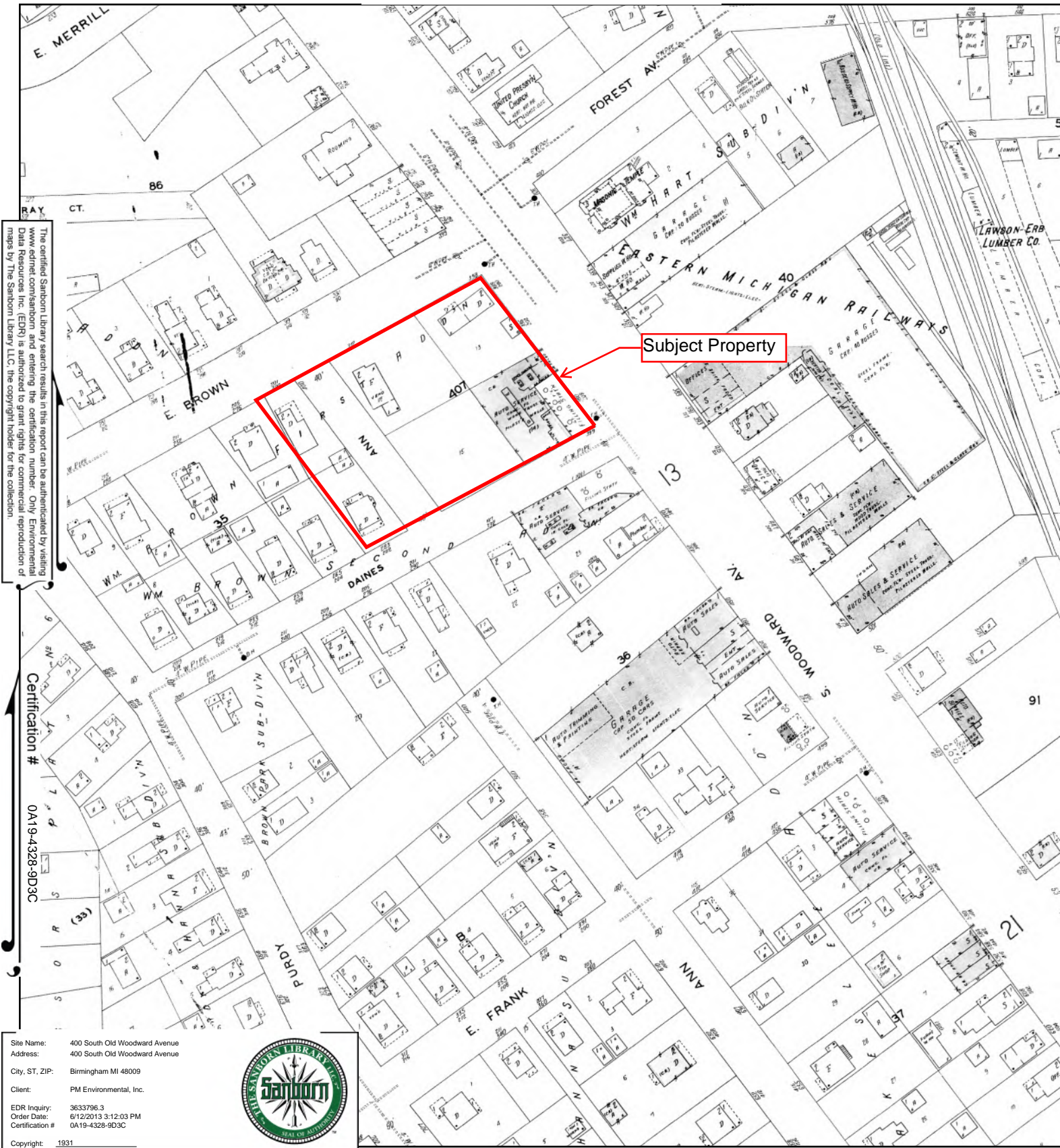


Volume 1, Sheet 3  
 Volume 1, Sheet 12  
 Volume 1, Sheet 13

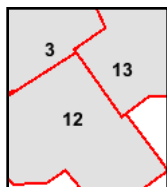
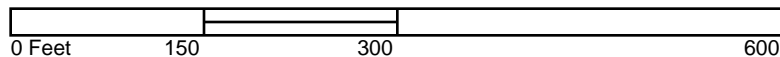




# 1931 Certified Sanborn Map



This Certified Sanborn Map combines the following sheets.  
 Outlined areas indicate map sheets within the collection.

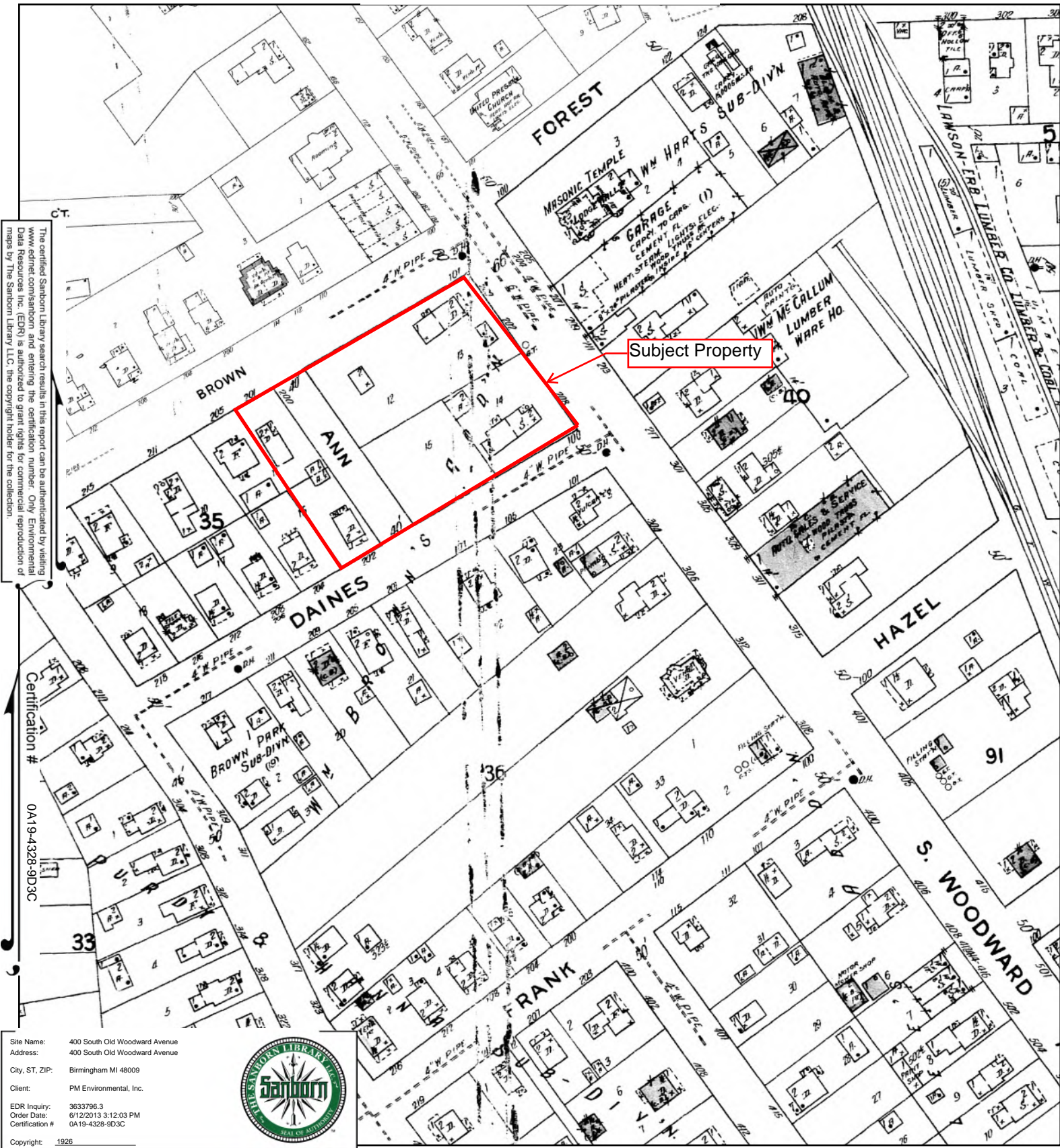


Volume 1, Sheet 3  
 Volume 1, Sheet 12  
 Volume 1, Sheet 13

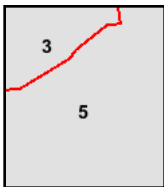
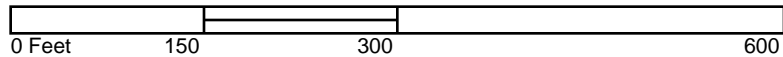




## 1926 Certified Sanborn Map



This Certified Sanborn Map combines the following sheets.  
 Outlined areas indicate map sheets within the collection.

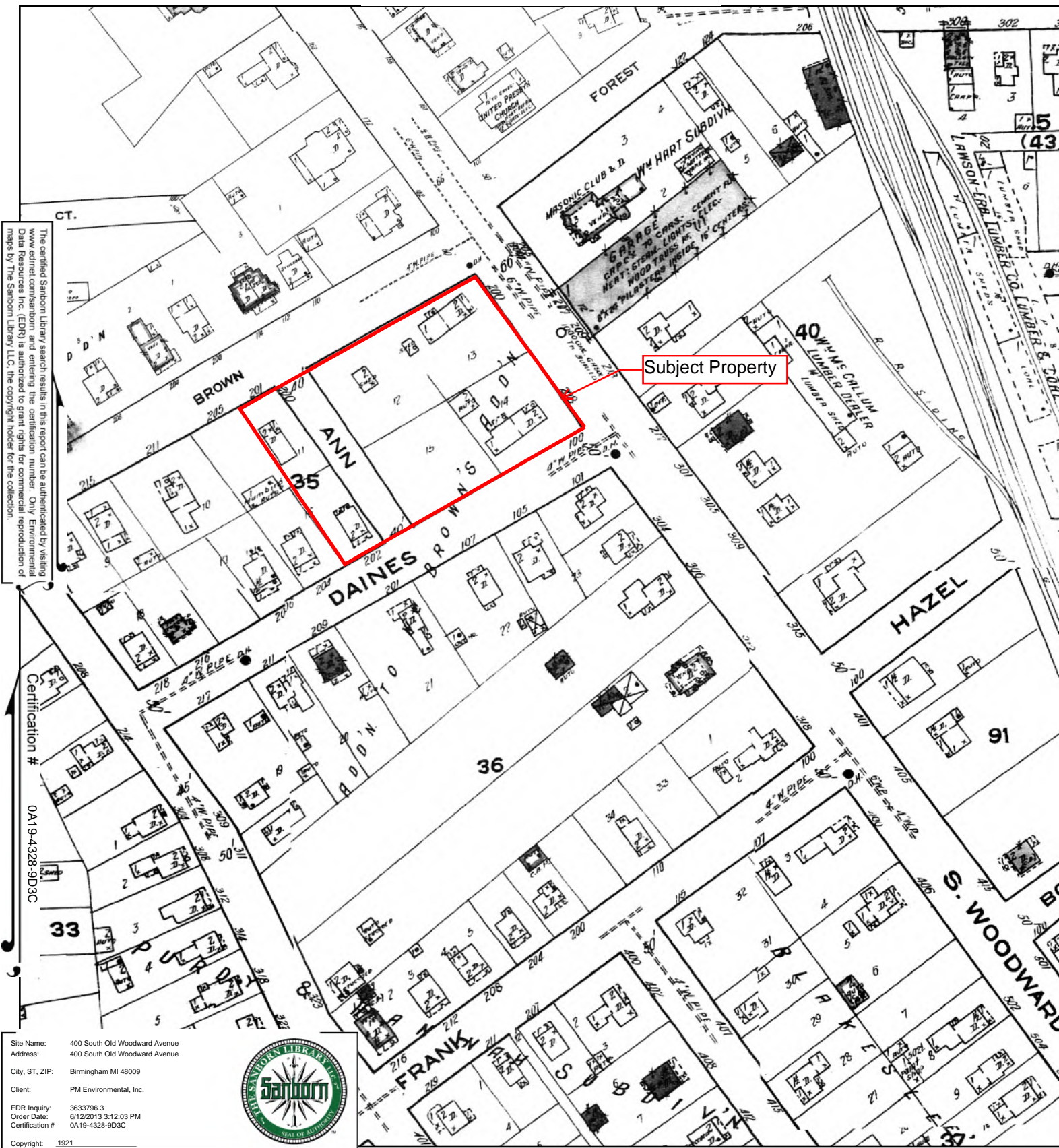


Volume 1, Sheet 5  
Volume 1, Sheet 3

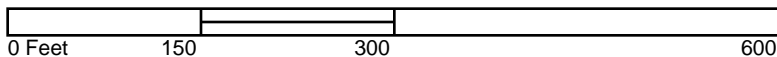




# 1921 Certified Sanborn Map



This Certified Sanborn Map combines the following sheets.  
 Outlined areas indicate map sheets within the collection.



Volume 1, Sheet 4  
 Volume 1, Sheet 5



## ASSESSING DEPARTMENT RECORDS

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.					
DDJ BIRMINGHAM LLC	TROTT PROPERTIES	2,750,000	12/30/2009	WD	1-ValidSale	41771:326	SelectSource	100.0					
CAMBRIDGE PROPERTY MGMT	DDJ BIRMINGHAM	5,628,000	07/03/2007	WD	1-ValidSale	39596:704	SelectSource	100.0					
Property Address		Class: 201 Bus Imp		Zoning: BI		Building Permit(s)		Date	Number	Status			
294 E BROWN ST		School: BIRMINGHAM CITY SCHOOL DIST		Other		08/07/2019		08PS19-0039		Closed			
Owner's Name/Address		P.R.E. 0%		Other		08/07/2019		08PTU19-0010		Closed			
TROT T PROPERTIES 294 LLC 31440 NORTHWESTERN HWY STE 300 FARMINGTON HILLS MI 48334-5422		ITOnly: POST		Other		08/07/2019		08PT19-0018		Closed			
		2020 Est TCV 3,519,135 TCV/TFA: 264.80		CentralAir/Generator		06/11/2019		08PE18-0843		Closed			
		X Improved	Vacant	Land Value Estimates for Land Table COM.Land Table COMM Ind Land Rates 2									
		Public Improvements		* Factors *									
				Description	Frontage	Depth	Front	Depth	Rate %Adj.	Reason	Value		
					1.00	0.00	1.0000	1.0000	0	0	0		
				COM/IND RA Rate	\$57.37		33000	SqFt	57.37000	100	1,893,210		
				1 Actual Front Feet, 0.76 Total Acres							Total Est. Land Value =	1,893,210	
				Land Improvement Cost Estimates									
				Description					Rate	Size % Good	Cash Value		
				Commercial Local Cost Land Improvements									
				Description					Rate	Size % Good	Arch Mult	Cash Value	
				PA1-AsphaltPaving					2.45	21996	34	100	18,323
				Total Estimated Land Improvements True Cash Value =								18,323	
		Topography of Site											
		X	Level										
		Rolling											
		Low											
		High											
		Landscaped											
		Swamp											
		Wooded											
		Pond											
		Waterfront											
		Ravine											
		Wetland											
		Flood Plain		Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/ Other	Taxable Value			
		Who	When	What	2020	946,610	812,960	1,759,570		1,349,230C			
		021	07/24/2013	BuildingPe	2019	946,610	726,200	1,672,810		1,324,080C			
		028	11/08/2010	BuildingPe	2018	946,610	618,620	1,565,230		1,293,050C			
		033	06/04/2009	Other	2017	860,560	541,040	1,401,600		1,266,460C			
		The Equalizer. Copyright (c) 1999 - 2009. Licensed To: County of Oakland, Michigan											







\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

**(08) 19-36-204-021**

CVT:	City of Birmingham	PIN:	(08) 19-36-204-021
Status:	Active	Parcel Type:	Land
Add Date:	12/9/1981	Delete Date:	
		Last Activity:	9/1/2020 4:07:47 PM

Tax Description	
1	T2N, R10E, SEC 36
2	BROWN'S ADD
3	NELY 1/2 OF LOT 11 &
4	SWLY 1/2 OF LOT 12, ALSO
5	LOT 15 & NELY 1/2 OF LOT 16
6	OF 'BROWN'S ADD NO 1', ALSO
7	ALL OF VAC ANN ST
8	ADJ TO SAME




Legacy Lineage			
Parent(s)	Delete Date	Child(ren)	Add Date
FROM 018	12/9/1981		

Address Information			
Primary Mailing Address	Site Address Indicator	Addressee(s)	Address
		★Trott Properties 294 LLC	266 Elm St Ste 100 Birmingham MI 48009-6337
		★Trott Properties 294 LLC	294 E Brown St Birmingham MI 48009-6205

Related PINs			
CVT	PIN	Parcel Type	Status
08	99-01-002-845	Business Account	Inactive
08	99-00-011-180	Business Account	Active
08	99-00-011-182	Business Account	Active

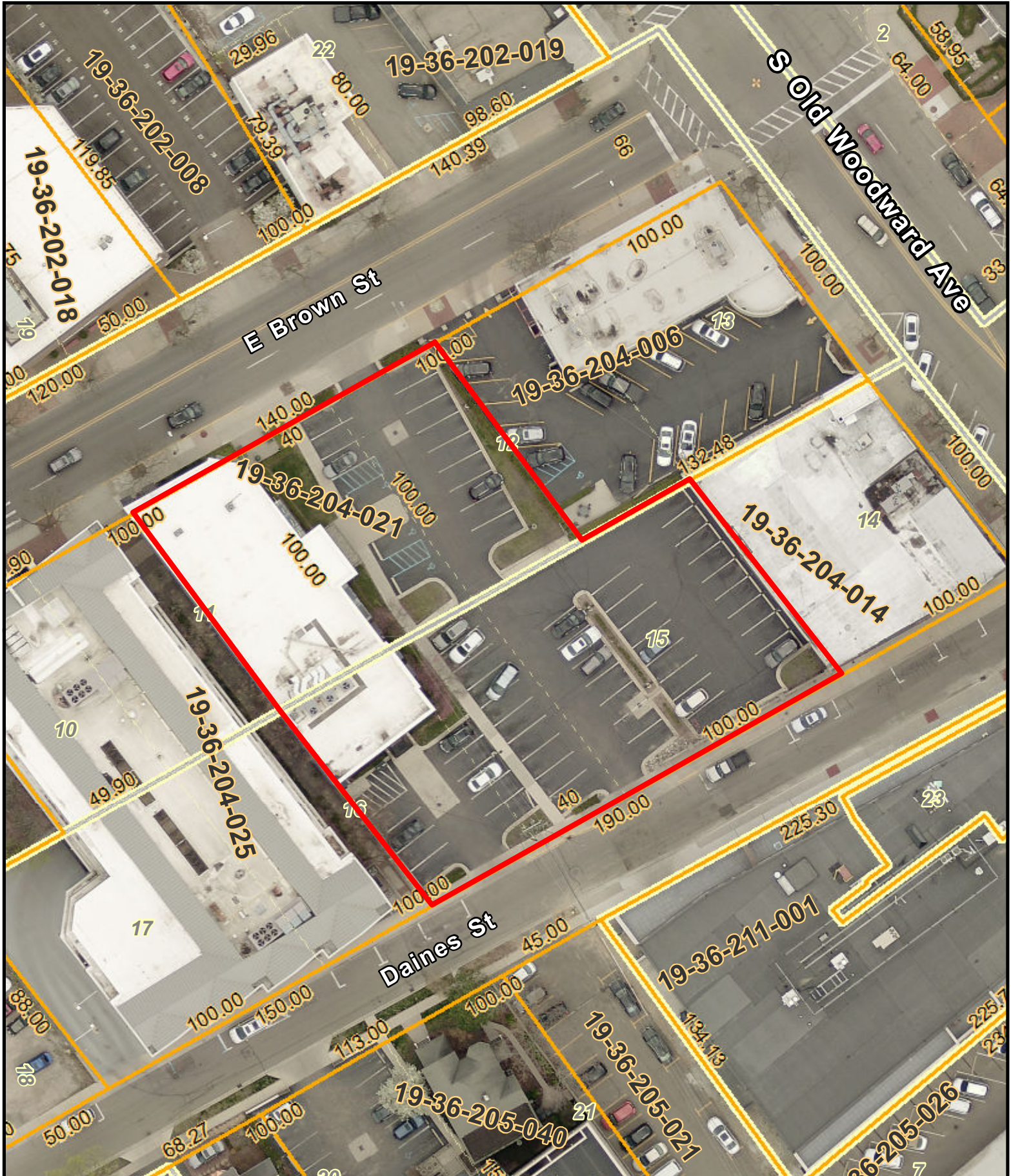
Notes
9/1/20 new mailing address per Change Form. prr









#### Address Info Legend

	= Primary Mailing
	= Primary Site
	= Extra Site
★	= Primary
◆	= Secondary
●	= Care Of
⦿	= Other
Black	= Individual



# 081936204021



-  2 Foot Contours
-  5 Foot Contours
-  FEMA Base Flood Elevations
-  FEMA Cross Sections
-  100 yr - FEMA Floodplain
-  100 yr (detailed) - FEMA Floodplain
-  500 yr - FEMA Floodplain
-  FLOODWAY - FEMA Floodplain

Disclaimer: The information provided herewith has been compiled from recorded deeds, plats, tax maps, surveys and other public records. It is not a legally recorded map or survey and is not intended to be used as one. Users should consult the information sources mentioned above when questions arise. FEMA Floodplain data may not always be present on the map.



**David Coulter**  
Oakland County Executive

Date Created: 11/19/2020



# SKETCH/AREA TABLE ADDENDUM

Parcel No 08-19-36-204-021

File No 08-19-36-204-021

SUBJECT

Property Address 294 E BROWN ST

City BIRMINGHAM

County OAKLAND

State MI

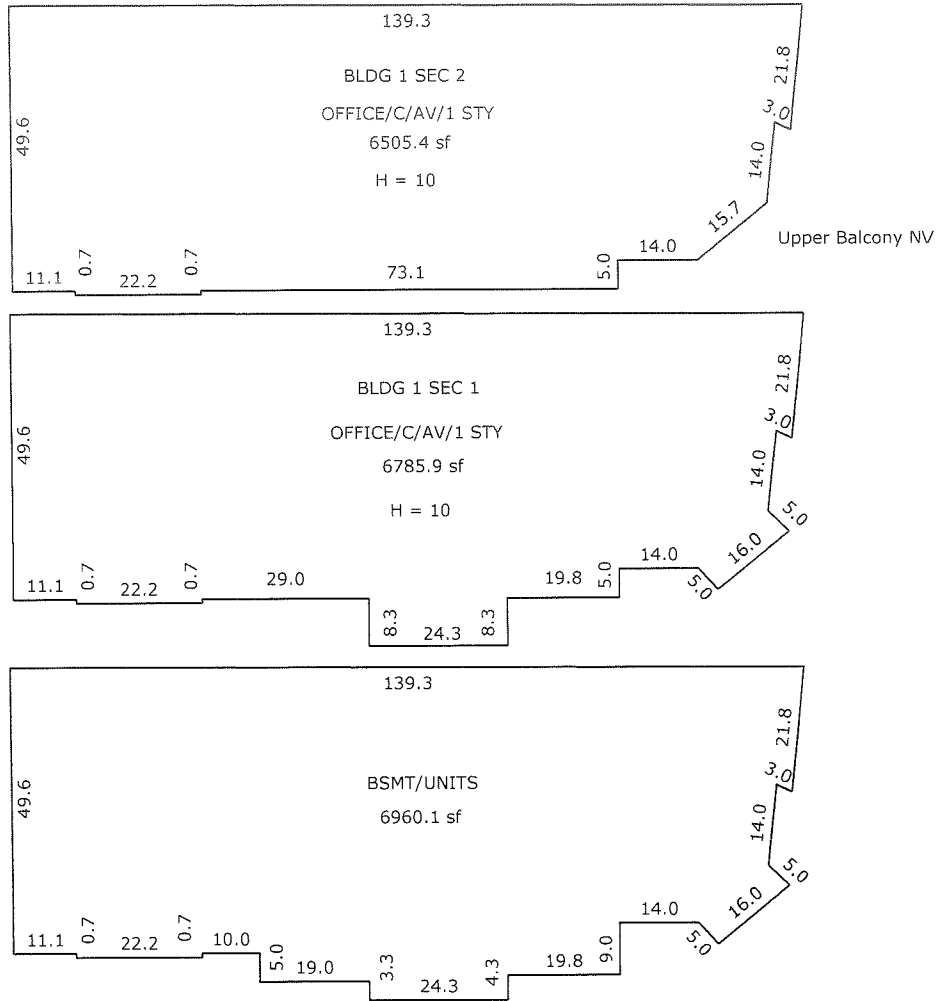
Zip 48009-6205

Owner TROTT PROPERTIES 294 LLC

Client 00000

Appraiser Name

IMPROVEMENTS SKETCH



Scale: 1" = 53'

AREA CALCULATIONS

## AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
OFB/C/AV/1	OFFICE/C/AV/1 STY	1.00	6505.41	370.1	
	OFFICE/C/AV/1 STY	1.00	6785.93	397.1	13291.33
CBS/UNITS	BSMT/UNITS	1.00	6960.12	397.1	6960.12
Net BUILDING Area			(rounded w/ factors)		13291

## Sketch History

07/02/08 AMS  
09/08/09 #09  
03/09/16 #29

Notes:

Comments



CITY/VILLAGE, TWP. NAME: BIRMINGHAM

294 E. BROWN

PROPERTY ADDRESS

BI

BI

08

19

36

204

021

USE

ZONE

PARCEL IDENTIFICATION

## FILE MAINTENANCE RECORD

DATE

FILE MAINTENANCE NOTES:

11/23/92

PERMIT WAS SUPPOSED TO HAVE BEEN CLOSED. (45)

06/29/93

REVIEWED INT &amp; EXT OF BLDG. INT IS CURRENTLY

UNDER EXTENSIVE RENOVATIONS. INTERIOR APPEARS

TO HAVE BEEN COMPLETELY GUTTED. NEW HEATING

COOLING, LIGHTING, PLUMBING, ELECTRICAL, DRY-

WALL, FLOORING, PARTITIONING ETC. OPENED

PERMIT DC1 TO REVIEW COMPLETED RENOVATION. #1

11-2-93

Occupied by Century 21 Town & Country. Partitioning changed to "3." for 1st & 2nd Floors. All individual offices. ex. for lobby. Basement has new cubicles and meeting "class" room. Close DC1 (31)

01/18/96

Close permit 96-1666 exterior light

1/18/97

Close 97-0230. exterior light replacement. New installed 3-single light poles. 12 coach lights on brick posts. replaced 10 matching coach lights on the building. All work completed (10)

4-8-02

Reviewed exterior, converted file (34)

10/9/10

BP remodel int for \$50,000. Remodel nearly complete. Reviewed % good and closed. BP #20

11-24-13

Moved some 6 sm y. Partition walls = N.C. Close B.P. (21)

**OAKLAND COUNTY EQUALIZATION  
COMMERCIAL/INDUSTRIAL FORM** (4/00)

PARCEL I.D.: 02 - 12 3-1-1-1-1-1

BUSINESS NAME: \_\_\_\_\_

ADDRESS: 214 E Brown

PROPERTY TYPE: office

SECTIONS & LEVELS TO MATCH RECORD			SECTION: <u>1</u>		SECTION: <u>2</u>		SECTION:		SECTION:	
			LEVEL:	<u>01 -- 00</u>	LEVEL:	<u>02 -- 02</u>	LEVEL:	<u>--</u>	LEVEL:	<u>--</u>
ROOF					<u>Flat</u>					
FRAME					<u>Timber /</u>					
EXTERIOR WALL			HT: <u>10</u>		HT: <u>10</u>		HT:		HT:	
FLOOR										
CEILING FINISH										
FLOOR FINISH										
PARTITIONING										
LIGHTING										
PLUMBING										
HEAT										
AIR COND.										
SPRINKLERS			<u>000</u>		<u>1000</u>					
YEAR BUILT	EFF. YEAR	CONDITION	<u>1950</u>	<u>2000</u>	<u>2000</u>	<u>2000</u>				

CALCULATIONS/NOTES: See appx for P & A calcs

Parcel Number	Permit Number	Owner's Name	Address	Permit Type
08-19-36-204-021	08PTU19-0010	TROTT PROPERTIES 294 LLC	294 E BROWN ST	Other

Iss. Date	Fin. Date	Exp. Date	Value	Fee	Contractor	Permit Category	Rec. Status
08/07/2019	08/07/2019	/ /	0	0.00		Other	ISSUED

Assessor Status	Class	Neigh	Zoning	Gen. Alpha	Gen. Num	Sq.Ft.	Length	Width	Buildings	Units	Census Type
Closed	201	COF	BI		0	0	0	0	0	0	Not Used

Work Description:  
PARTY


Parcel Number	Permit Number	Owner's Name	Address	Permit Type
08-19-36-204-021	JRIC13-0004	TROTT PROPERTIES 294 LLC	294 E BROWN ST	SelectType

Iss. Date	Fin. Date	Exp. Date	Value	Fee	Contractor	Permit Category	Rec. Status
02/25/2013	07/24/2013	/ /	0	0.00		Alteration/Remodel	ISSUED

Assessor Status	Class	Neigh	Zoning	Gen. Alpha	Gen. Num	Sq.Ft.	Length	Width	Buildings	Units	Census Type
Closed	201	COF	AV		0	0	0	0	0	0	Not Used

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.			
Property Address		Class: 201 Bus Imp		Zoning: BI		Building Permit(s)		Date	Number	Status	
300 S OLD WOODWARD AVE		School: BIRMINGHAM CITY SCHOOL DIST				Other		08/05/2019	08PTU19-0009	Closed	
		P.R.E. 0%				Other		08/05/2019	08PTU19-0007	Closed	
Owner's Name/Address		ITOnly: POST				Other		08/05/2019	08PT19-0007	Closed	
BRB EQUITIES LLC LUTZ INVESTMENTS 300 S OLD WOODWARD AVE BIRMINGHAM MI 48009-6254		2020 Est TCV 1,305,334 TCV/TFA: 303.57				Alteration/Remodel		10/11/2011	PB11-0105	Closed	
		X	Improved		Vacant	Land Value Estimates for Land Table COM.Land Table COMM Ind Land Rates 2					
			Public Improvements		* Factors *						
					Description	Frontage	Depth	Front	Depth	Rate %Adj. Reason	Value
						1.00	0.00	1.0000	1.0000	0 0	0
					COM/IND RA Rate	\$64.43		13247	SqFt	64.43000 100	853,504
					1 Actual Front Feet, 0.30 Total Acres Total Est. Land Value =						853,504
Tax Description		X	Dirt Road								
T2N, R10E, SEC 36 BROWN'S ADD E 50 FT OF LOT 12, ALSO WLY PART OF LOT 13 MEAS			Gravel Road								
82.45 FT ON N LOT LINE & 82.48 FT ON S LOT LINE			Paved Road								
			Storm Sewer								
			Sidewalk								
Comments/Influences		X	Water		Land Improvement Cost Estimates						
1/14/2016 Reviewed settlement for 2016. current value justified per sale at 400 S Old Woodward Sale (tear down) for \$2 000,000. #23		X	Sewer		Description Rate Size % Good Cash Value						
11-14-2013 Reviewed % good for MTT. #28		X	Electric		Commercial Local Cost Land Improvements						
8/21/12 NEW TENANT, INT PARTITION, CARPET ETC, EXT FACADE WORK, CP. #21		X	Gas		Description Rate Size % Good Arch Mult Cash Value						
		X	Curb		PA1-AsphaltPaving 2.45 8395 43 100 8,844						
			Street Lights		Total Estimated Land Improvements True Cash Value = 8,844						
			Standard Utilities								
			Underground Utils.								
			Topography of Site								
		X	Level								
			Rolling								
			Low								
			High								
			Landscaped								
			Swamp								
			Wooded								
			Pond								
			Waterfront								
			Ravine								
			Wetland								
			Flood Plain		Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/ Other	Taxable Value
			Who	When	What	2020	426,750	225,920	652,670		377,330C
			021	08/21/2012	BuildingPe	2019	426,750	202,070	628,820		370,300C
			021	11/09/2011	BuildingPe	2018	426,750	172,350	599,100		361,630C
			CWA	10/12/2009	SelectActi	2017	387,920	150,930	538,850		354,200C

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# 081936204006



- 2 Foot Contours
- 5 Foot Contours
- FEMA Base Flood Elevations
- FEMA Cross Sections
- 100 yr - FEMA Floodplain
- 100 yr (detailed) - FEMA Floodplain
- 500 yr - FEMA Floodplain
- FLOODWAY - FEMA Floodplain

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**OAKLAND COUNTY**  
 ECONOMIC DEVELOPMENT & COMMUNITY AFFAIRS  
**David Coulter**  
 Oakland County Executive

Date Created: 11/19/2020  
  
 NORTH  
 1 inch = 50 feet



# SKETCH/AREA TABLE ADDENDUM

File No 08-19-36-204-006

SUBJECT

Property Address 300 S OLD WOODWARD AVE

City BIRMINGHAM

County OAKLAND

State MI

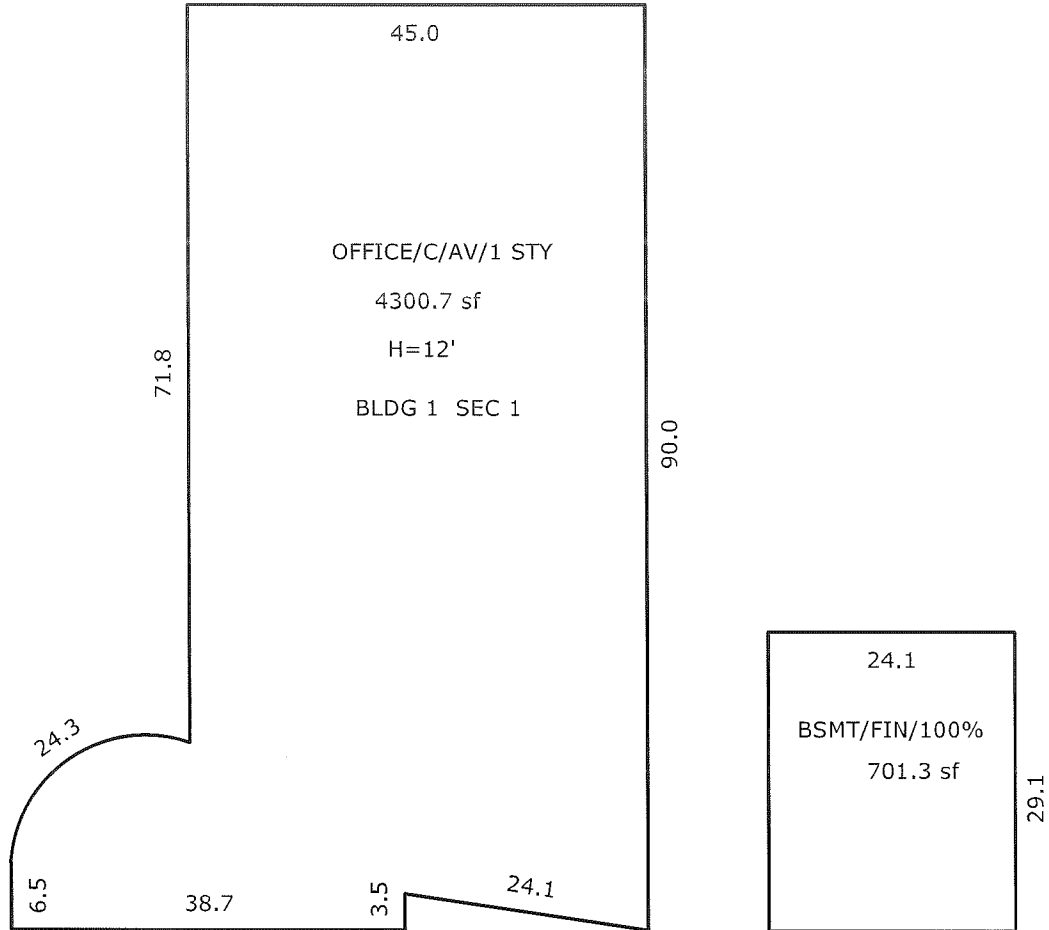
Zip 48009-6254

Owner BRB EQUITIES LLC

Client

Appraiser Name

IMPROVEMENTS SKETCH



Scale: 1" = 18'

AREA CALCULATIONS

## AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
OPB/C/AV/1	OFFICE/C/AV/1 STY	1.00	4300.7	303.9	4300.7
CBS/FN/100	BSMT/FIN/100%	1.00	701.3	106.4	701.3
Net BUILDING Area (rounded w/ factors)			4301		

## SKETCH HISTORY

08/22/12 #19

COMMENTS

UNIT IN PLACE

300 S. WOODWARD

22

BZ

CVT

19  
TWP

26  
JECT

204  
LOCK

PARCE

SUF

PROPERTY ADDRESS

USE

ZONE

PARCEL IDENTIFICATION

## DATE \_\_\_\_\_

## FILE MAINTENANCE NOTES:

1-7-97

INSPECTED INTERIOR, MEASURED EXTERIOR OF NEW FOSTER AREA  
NEW CARPET, PARTITIONS, HANDICAP RESTROOM, AC, CEILING TILES,  
LIGHTS, WINDOWS ON NORTH EAST AND SOUTH SIDES, KITCHEN AREA,  
NOW HEATING AND COOLING, NO SPRINKLERS, ALL OF BASEMENT  
AND 1<sup>ST</sup> FLOOR IS A/C'D, ALL WORK IS COMPLETE EXCEPT ALL  
PERMITS ⑦

4-8-02

Reviewed exterior, converted file (34)

6-4-09

Corrected sketch of bldg. (21)

11-9-11

Permit - for Interior construction and exterior  
Facade work - work is ongoing, ck in soon for completion. @

8-21-12

New tenant - Lutz Real Estate Investments. Interior clean-up. Partitioning work, carpeting, paint. "Squared off" front of bldg. New front facade. Took pk. close B.F. Removed wood shed (2012) at rear of property - No added value. (20)



2 300 Woodward					04	19	36	004	000	
PROPERTY ADDRESS		USE	ZONE	CITY, VILLAGE, TWP NAME		PARCEL IDENTIFICATION				
3										

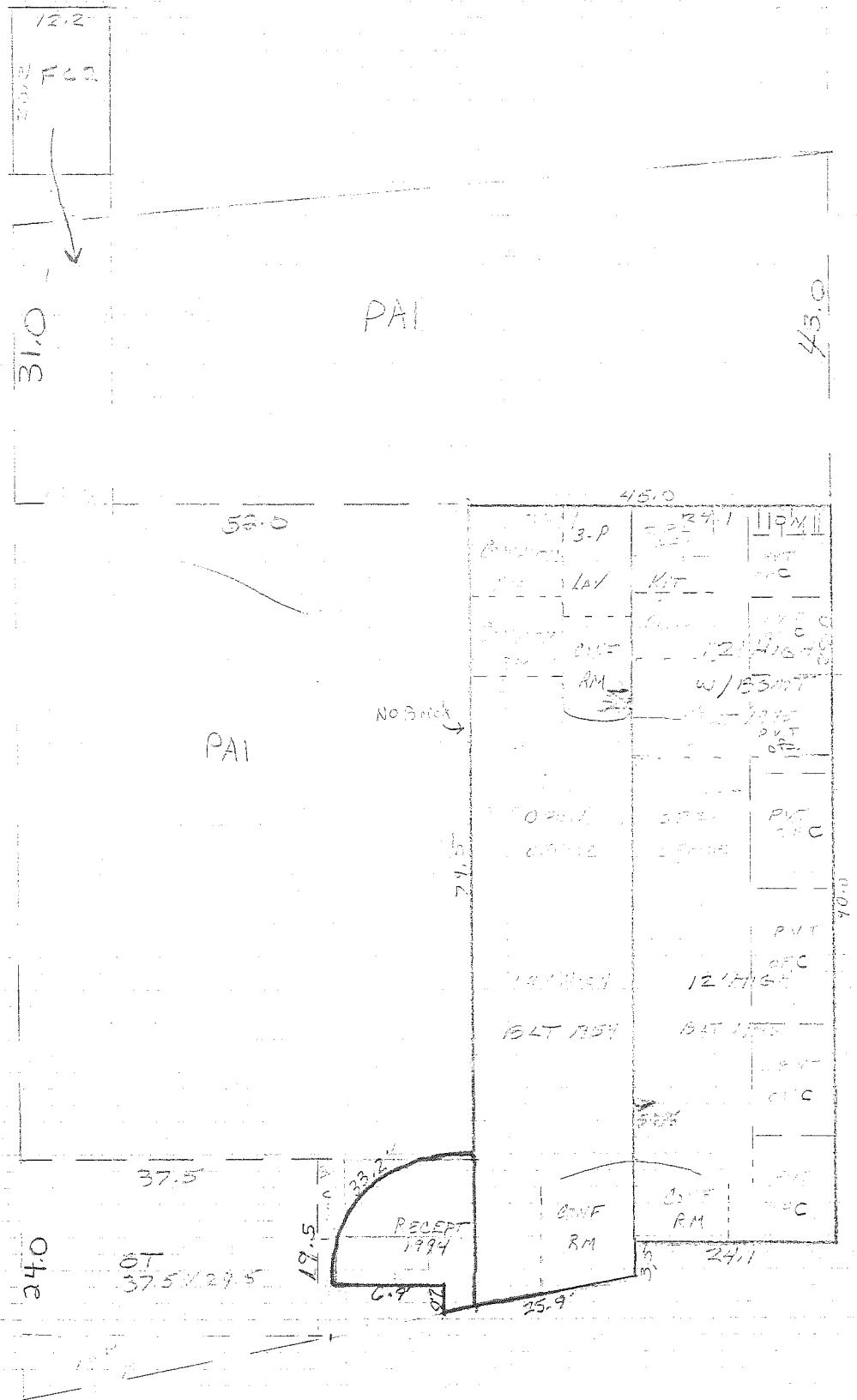
NO CONTROL		OAKLAND COUNTY EQUALIZATION DEPARTMENT				PROCESS DATE:	
------------	--	--	--	--	--	---------------	--

PLAN



SCALE \_\_\_\_\_ FRONT \_\_\_\_\_

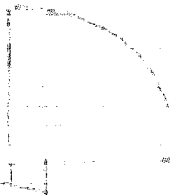
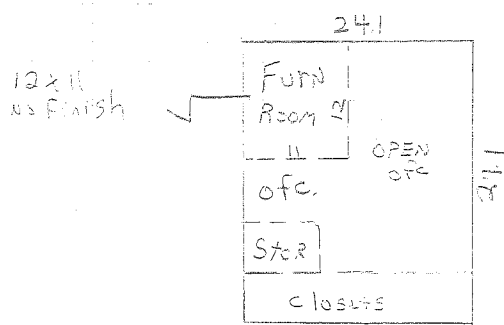
BSMT OVER →



WOODWARD

R=13.5'

BSMT  
AREA



Parcel Number	Permit Number	Owner's Name	Address	Permit Type
08-19-36-204-006	08PT19-0007	BRB EQUITIES LLC	300 S OLD WOODWARD AVE	Other

Iss. Date	Fin. Date	Exp. Date	Value	Fee	Contractor	Permit Category	Rec. Status
08/05/2019	08/05/2019	/ /	0	0.00		Other	ISSUED

Assessor Status	Class	Neigh	Zoning	Gen. Alpha	Gen. Num	Sq.Ft.	Length	Width	Buildings	Units	Census Type
Closed	201	COF	BI		0	0	0	0	0	0	Not Used

Work Description:  
TENT

Parcel Number	Permit Number	Owner's Name	Address	Permit Type
08-19-36-204-006	08PTU19-0007	BRB EQUITIES LLC	300 S OLD WOODWARD AVE	Other

Iss. Date	Fin. Date	Exp. Date	Value	Fee	Contractor	Permit Category	Rec. Status
08/05/2019	08/05/2019	/ /	0	0.00		Other	ISSUED

Assessor Status	Class	Neigh	Zoning	Gen. Alpha	Gen. Num	Sq.Ft.	Length	Width	Buildings	Units	Census Type
Closed	201	COF	BI		0	0	0	0	0	0	Not Used

Work Description:  
TENT

Parcel Number	Permit Number	Owner's Name	Address	Permit Type
08-19-36-204-006	08PTU19-0009	BRB EQUITIES LLC	300 S OLD WOODWARD AVE	Other

Iss. Date	Fin. Date	Exp. Date	Value	Fee	Contractor	Permit Category	Rec. Status
08/05/2019	08/05/2019	/ /	0	0.00		Other	ISSUED

Assessor Status	Class	Neigh	Zoning	Gen. Alpha	Gen. Num	Sq.Ft.	Length	Width	Buildings	Units	Census Type
Closed	201	COF	BI		0	0	0	0	0	0	Not Used



Parcel Number	Permit Number	Owner's Name	Address	Permit Type
08-19-36-204-006	PB11-0105	BRB EQUITIES LLC	300 S OLD WOODWARD AVE	SelectType

Iss. Date	Fin. Date	Exp. Date	Value	Fee	Contractor	Permit Category	Rec. Status
10/11/2011	08/21/2012	/ /	189,805	0.00		Alteration/Remodel	ISSUED

Assessor Status	Class	Neigh	Zoning	Gen. Alpha	Gen. Num	Sq.Ft.	Length	Width	Buildings	Units	Census Type
Closed	201	COF	AV		0	0	0	0	0	0	Not Used

Work Description:  
EXT DEMO TO FACADE/INT REMOD OF 4466SF

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.				
Property Address		Class: 201 Bus Imp	Zoning: BI	Building Permit(s)		Date	Number	Status				
394 S OLD WOODWARD AVE		School: BIRMINGHAM CITY SCHOOL DIST		Alteration/Remodel		11/07/2014	0814B-0042A	Closed				
		P.R.E. 0%		Other		06/08/2011	08110467	Closed				
Owner's Name/Address		ITOnly: POST		SelectCategory		01/01/2000	08032638992739	Closed				
FRANK KONJAREVICH TRUST LOIS KONJAREVICH TRUST 394 S OLD WOODWARD AVE BIRMINGHAM MI 48009-6254		2020 Est TCV 1,433,576 TCV/TFA: 181.17										
		X Improved	Vacant	Land Value Estimates for Land Table COM.Land Table COMM Ind Land Rates 2								
		Public Improvements		* Factors *								
				Description	Frontage	Depth	Front	Depth	Rate	%Adj.	Reason	Value
					1.00	0.00	1.0000	1.0000		0	0	0
				COM/IND RA Rate	\$79.00		8250 SqFt	79.00000	100			651,750
				1 Actual Front Feet, 0.19 Total Acres Total Est. Land Value =								651,750
Tax Description		Dirt Road										
T2N, R10E, SEC 36 BROWN'S ADD NO 1 LOT 14		Gravel Road										
EXC PART TAKEN FOR WOODWARD AVE WIDENING		Paved Road										
Comments/Influences		Storm Sewer										
04/20/15 - BP ALT/REMODEL N/C CP #23		Sidewalk										
8-10-11 N/C. C/P. #21		Water										
		Sewer										
		Electric										
		Gas										
		Curb										
		Street Lights										
		Standard Utilities										
		Underground Utils.										
		Topography of Site										
		X Level										
		Rolling										
		Low										
		High										
		Landscaped										
		Swamp										
		Wooded										
		Pond										
		Waterfront										
		Ravine										
		Wetland										
		Flood Plain										
		Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/ Other	Taxable Value				
Who		When	What	2020	325,880	390,910	716,790			526,010C		
023 04/20/2015 BuildingPe				2019	325,880	372,520	698,400			516,210C		
021 08/10/2011 BuildingPe				2018	325,880	312,780	638,660			504,120C		
026 04/08/2002 Other				2017	296,260	285,480	581,740			493,760C		



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# SKETCH/AREA TABLE ADDENDUM

Parcel No 08-19-36-204-014

File No 08-19-36-204-014

Property Address 394 S OLD WOODWARD AVE

City BIRMINGHAM

County OAKLAND

State MI

Zip 48009-6254

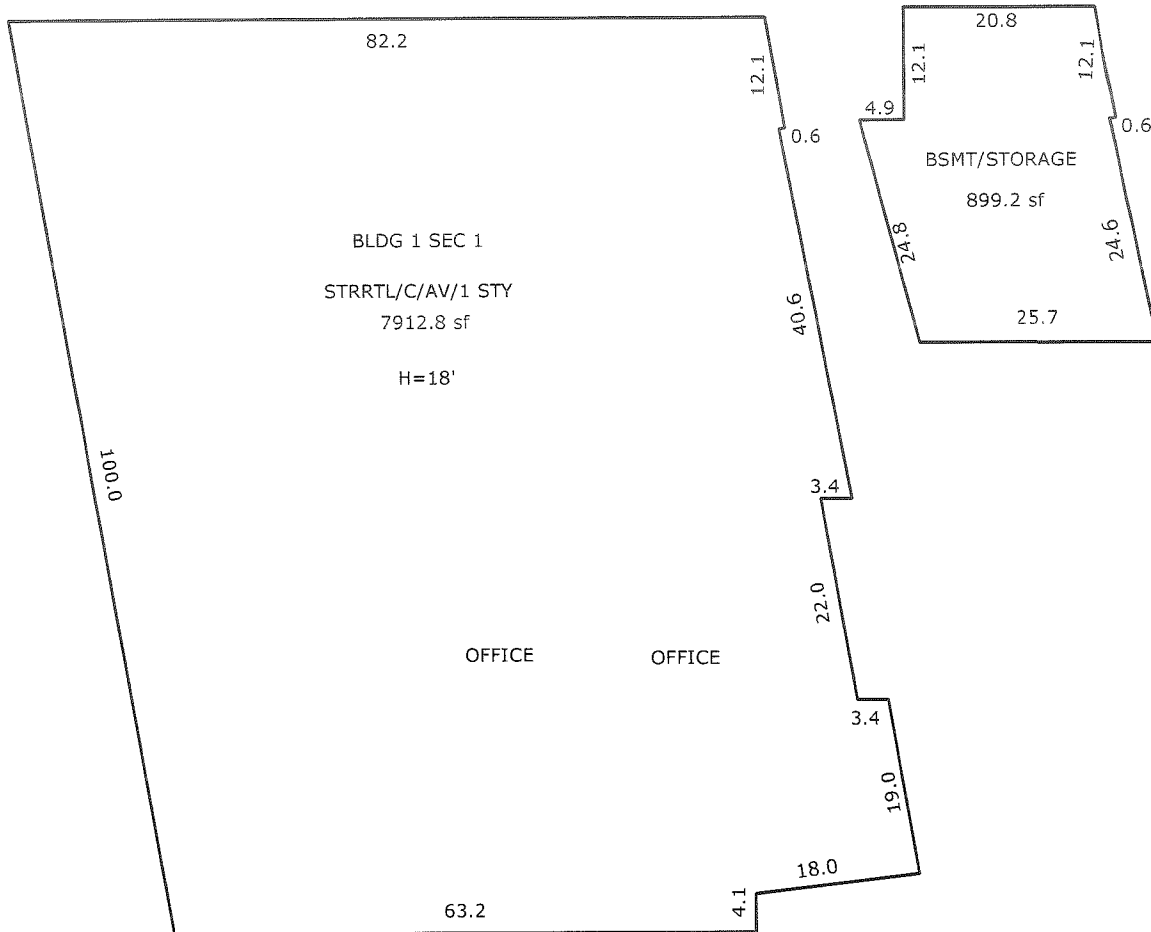
Owner FRANK KONJAREVICH TRUST

Client 00000

Appraiser Name

SUBJECT

IMPROVEMENTS SKETCH



Scale: 1" = 53'

AREA CALCULATIONS

## AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
STR/C/AV/1	STRRTL/C/AV/1 STY	1.00	7912.81	368.7	7912.81
CBS/STG	BSMT/STORAGE	1.00	899.24	125.6	899.24
Net BUILDING Area (rounded w/ factors)					7913

## SKETCH HISTORY

08/18/11 #19

COMMENTS

UNIT IN PLACE

Br. n. n. n. n.

394 S. WOODWARD

# FILE MAINTENANCE RECORD

[illegible]

Work Description:  
JTBE14-0042 RENOV INT/EXT

## FIRE DEPARTMENT RECORDS



FIRE DEPARTMENT OF THE CITY OF BIRMINGHAM  
FIRE PREVENTION BUREAU — 646-1127

NOTICE OF FIRE HAZARD

DATE July 12 1982

NAME

SPORTS CAR EXCHANGE

ADDRESS

394 S. Woodward

Inspection of the premises located at \_\_\_\_\_

First Notice 6-1-82

reveals a fire hazard. You are hereby requested to correct the following conditions on or before AT ONCE

BOCA CODE

19\_\_\_\_:

SEC. 605.0 - MAINTENANCE OF EXITWAYS

① 605.1 - OBSTRUCTION: Will be removed

And kept clear of storage

② Need one ABC 10#16 Extinguisher in work AREA.

FOR ANY QUESTIONS ON THIS NOTICE,  
CALL ME AT MI 6-1127

By

E. Mudge

(Fire Inspector)

FIRE DEPARTMENT OF THE CITY OF BIRMINGHAM  
FIRE PREVENTION BUREAU — 646-1127

NOTICE OF FIRE HAZARD

DATE April 20 1982

NAME

Sport Car

ADDRESS

394 S. Woodward

Inspection of the premises located at \_\_\_\_\_

reveals a fire hazard. You are hereby requested to correct the following conditions on or before \_\_\_\_\_

19\_\_\_\_:

Remove storage out of exitway to outside  
Need extinguisher in garage work  
area. (ABC Ext)

By

E. Mudge

(Fire Inspector)



## CITY OF BIRMINGHAM, MICHIGAN

## FIRE DEPARTMENT

## VIOLATION NOTICE

Notice Issued To Sports Car Exchange Address of job: 394 S. Woodward  
 Address 394 S. Woodward Notice Date July 30, 19 82  
B'ham, Michigan Inspection Date July 12, 19 82

The following listed items were noted at the above Job  
 address, and do not comply with the Birmingham City Code: \_\_\_\_\_ of \_\_\_\_\_

JUL 30 1982

Complied  
at Scene

Mr. Singerman.

B.O.C.A Code

① Sec - 605.0 = Maintenance of Exitways  
 from said building = Obstruction will  
 be Removed And Kept Clear of Storage

② Put one 10# A.B.C. extinguisher in repair area.

You are further notified that you are required to correct conditions listed, and all such work shall be complete  
 within 7 days from the date of this notice. Action will be taken against you for violation of the City Code  
 if you fail, neglect or refuse to comply with this notice within the time limits herein set forth.

Call 646-1127 when above corrections have been made.

Earl E. Mudge  
 FIRE PREVENTION BUREAU

## CITY OF BIRMINGHAM, MICHIGAN

## FIRE DEPARTMENT

## VIOLATION NOTICE

Notice Issued To Sports Car Exchange Address of job: 394 S. Woodward  
 Address 394 S. Woodward Notice Date July 30, 19 82  
B'ham, Michigan Inspection Date July 12, 19 82

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 if you fail, neglect or refuse to comply with this notice within the time limits herein set forth.

Call 646-1127 when above corrections have been made.

Earl E. Mudge  
 FIRE PREVENTION BUREAU





# VILLAGE OF BIRMINGHAM

## OIL BURNER INSPECTION RECORD

April 8th, 19 29

Name LaDue Oil Station.

Address Woodward Ave & Daines St. Lot No. 14

Subdivision

Burner

Size of Tank 'S' 4-1000 Gal. tanks. Test 5 lbs.

Extinguisher Make U.S. 7 gauge steel.

Installed By Standard Oil Co. V. Griffith Fire Dept.

Underwriters No'S.

Inspector

Recommendations: Northwest tank-No. 887044  
Remarks: Northeast " " 887069  
Southwest " " 236506  
Southeast " " 887071

File No.

A-59

### FIRE DEPARTMENT OF THE CITY OF BIRMINGHAM

FIRE PREVENTION BUREAU - 646-1127

### NOTICE OF FIRE HAZARD

DATE 2-25-91

NAME

Fred Lavery - Used Cars

ADDRESS

394 S. Woodward

Inspection of the Premises located at

ABOVE

reveals a fire hazard. You are hereby requested to correct the following conditions. A reinspection will be conducted in approximately 14 days to insure compliance.

- ① Secure electric outlet on west wall of show room
- ② Replace extension cord to radio by hot water heater with approved wiring
- ③ Replace open ceiling tile

By

TIM WANGER

(Fire Inspector)



PLAN REVIEW RECORD  
BIRMINGHAM FIRE DEPT.

STEWART  
GORLICH 272-7474  
COMMON WEALTH INVS. CO.

STUDIO IV THEATRE

START DATE 1-4-70  
COMPL. \_\_\_\_\_

NAME & LOCATION OF BLDG. FRANKS - 360 S. WOOD

DESCRIPTION OF BUILDING THEATRE - 386 SEATS 385

CRANNER CO.

FIRE LIMITS YES

ZONING \_\_\_\_\_

USE TYPE OF CONSTR.  
GROUP SHOWN ON PLANS

HEIGHT OF BUILDING \_\_\_\_\_

FIRE PROTECTION

FIRE EXTINGUISHERS YES  
STANDPIPES YES  
FIREWALLS \_\_\_\_\_  
FIRE DIVISION \_\_\_\_\_

SPRINKLER SYSTEM YES. BATH R. & STORAGE  
FIRE ALARMS \_\_\_\_\_  
FIREBREAKS YES ON PLANS  
BETWEEN \_\_\_\_\_  
FIRE WALLS \_\_\_\_\_

CLASS "A"

CLASS "B" OR LESS

FIRE DOORS THROUGH FIREWALLS \_\_\_\_\_

FIRE DOORS THROUGH FIREWALLS \_\_\_\_\_

FIRE DAMPERS IN DUCTS NO

FIRE DOORS \_\_\_\_\_

CHIMNEY & HEATING EQUIPMENT

LIGHTING

KIND OF HEATING \_\_\_\_\_  
SECONDARY AIR \_\_\_\_\_  
INCINERATOR \_\_\_\_\_  
FIRE DOOR IN BOILER ROOM \_\_\_\_\_  
KIND OF FUEL \_\_\_\_\_  
CHIMNEY OR VENT REQUIRED \_\_\_\_\_  
SPRINKLER PROTECTION \_\_\_\_\_

EXIT LIGHTS \_\_\_\_\_  
EMERGENCY LIGHTS \_\_\_\_\_  
EXITWAY ENCLOSURES \_\_\_\_\_  
LIGHTED APT. CORR. \_\_\_\_\_  
EXITS \_\_\_\_\_

MISCELLANEOUS

T. ROGVOY ASSOCIATES, INC. - 838 3434 -

REMOVE 5 TANKS IN WARDWARD SIDE REMOVED 7-14-70

418.85 - 418.91 - 418.93 - 418.95

3 W.P. EXTIN. 1 D.C. EXTING - 2 HOSE CAB. 75' HOSE

BFD-BFP-2

3" WATER 5.

OK BY SGT. RICHARD GROUP  
STATE F.M. OFFICE

FIRE DEPARTMENT OF THE CITY OF BIRMINGHAM  
FIRE PREVENTION BUREAU

NOTICE OF FIRE HAZARD

DATE Oct. 2 1978

NAME Chudiks Furs

ADDRESS 294 Brown 10/27/78 OK

Inspection of the premises located at Same

reveals a fire hazard. You are hereby requested to correct the following conditions on or before 10

Days. 19: Service Fire Extinguishers  
Recommend replacement with 10 lb ABC  
Extinguishers. (10 lbs. of powder)

By D. Edwards (Fire Inspector)

A-56

MAR 9 1984

FIRE DEPARTMENT OF THE CITY OF BIRMINGHAM  
FIRE PREVENTION BUREAU — 646-2977

NOTICE OF FIRE HAZARD

DATE MARCH 9 1984

NAME CHUDIKS FURS & APPAREL

ADDRESS 294 E. BROWN

Inspection of the premises located at ABOVE

reveals a fire hazard. You are hereby requested to correct the following conditions on or before

MARCH 19 1984: REPAIR ELECTRICAL WIRING IN FUR  
SEWING ROOM AND IN BROOM ROOM BEHIND MAIN (2) CLEAR STAIRWELL  
SOUTH END AND REMOVE GASOLINE CAN AND SMOKEBLOWER (2) MOUNT  
FIRE EXTINGUISHER IN VISIBLE PLACE ON 1ST FLOOR (2) FIRE DOOR  
2 WORK ROOM AND PAINT CABINET TO BE CLOSED AT ALL TIMES

By G. Kozlowski (Fire Inspector)

## Appendix C

NO PREVIOUS SITE INVESTIGATION



## Appendix D

## ENVIRONMENTAL DATABASE SEARCH

**294 E Brown St and 300-394 S Old Woodward Ave**

294 E Brown St and 300-394 S Old Woodward Ave

Birmingham, MI 48009

Inquiry Number: 06273155.2r

November 19, 2020

## The EDR Radius Map™ Report



6 Armstrong Road, 4th floor  
Shelton, CT 06484  
Toll Free: 800.352.0050  
[www.edrnet.com](http://www.edrnet.com)

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Map Findings .....	8
Orphan Summary .....	221
Government Records Searched/Data Currency Tracking .....	GR-1

### GEOCHECK ADDENDUM

#### GeoCheck - Not Requested

***Thank you for your business.***  
Please contact EDR at 1-800-352-0050  
with any questions or comments.

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## EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-13), the ASTM Standard Practice for Environmental Site Assessments for Forestland or Rural Property (E 2247-16), the ASTM Standard Practice for Limited Environmental Due Diligence: Transaction Screen Process (E 1528-14) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

### TARGET PROPERTY INFORMATION

#### ADDRESS

294 E BROWN ST AND 300-394 S OLD WOODWARD AVE  
BIRMINGHAM, MI 48009

#### COORDINATES

Latitude (North):	42.5441520 - 42° 32' 38.94"
Longitude (West):	83.2128580 - 83° 12' 46.28"
Universal Transverse Mercator:	Zone 17
UTM X (Meters):	318297.0
UTM Y (Meters):	4712354.5
Elevation:	768 ft. above sea level

### USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property Map:	6066350 BIRMINGHAM, MI
Version Date:	2014

### AERIAL PHOTOGRAPHY IN THIS REPORT

Portions of Photo from:	20140628
Source:	USDA

# MAPPED SITES SUMMARY

Target Property Address:  
294 E BROWN ST AND 300-394 S OLD WOODWARD AVE  
BIRMINGHAM, MI 48009

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
<a href="#">A1</a>	GREEN'S ART SUPPLY	400 SOUTH OLD WOODWA	INVENTORY	Lower	100, 0.019, ESE
<a href="#">A2</a>	FORMER GASOLINE DISP	400 S OLD WOODWARD A	UST	Lower	100, 0.019, ESE
<a href="#">A3</a>	GREEN'S ART SUPPLY	400 SOUTH OLD WOODWA	US BROWNFIELDS	Lower	100, 0.019, ESE
<a href="#">A4</a>	WOODWARD DETROIT CVS	444 S OLD WOODWARD A	RCRA-VSQG	Lower	195, 0.037, ESE
<a href="#">5</a>	BROWN STREET OFFICE	200 EAST BROWN	BEA	Higher	197, 0.037, WSW
<a href="#">A6</a>	MITCHELL GEORGE E CL	458 S WOODWARD AVE	EDR Hist Cleaner	Lower	211, 0.040, ESE
<a href="#">A7</a>	MITCHELL GEORGE E CL	458 S OLD WOODWARD A	EDR Hist Cleaner	Lower	221, 0.042, ESE
<a href="#">A8</a>	ESTATE MOTORS	464 S WOODWARD AVE	LUST, UST	Lower	230, 0.044, ESE
<a href="#">A9</a>	ESTATE MOTORS LTD	464 S OLD WOODWARD A	RCRA NonGen / NLR, FINDS, ECHO	Lower	231, 0.044, ESE
<a href="#">B10</a>	ESSCO OF BIRMINGHAM	255 S OLD WOODWARD A	RCRA-VSQG	Higher	280, 0.053, North
<a href="#">B11</a>	GAS STATION TV	255 S OLD WOODWARD A	EDR Hist Auto	Higher	280, 0.053, North
<a href="#">C12</a>	BRITANNIA PROPERTIES	401 S OLD WOODWARD A	EDR Hist Auto	Lower	286, 0.054, East
<a href="#">D13</a>	JAX KAR WASH #048	34745 WOODWARD AVE	LUST, UST, INVENTORY, BEA, WDS	Higher	381, 0.072, NE
<a href="#">C14</a>	FRANKLIN SAVINGS BAN	479 S OLD WOODWARD A	UST	Lower	399, 0.076, East
<a href="#">B15</a>	UPTOWN ENTERTAINMENT	211 S OLD WOODWARD A	RCRA NonGen / NLR	Higher	450, 0.085, North
<a href="#">E16</a>	MAVERICK EXPRESS INC	555 S WOODWARD	EDR Hist Auto	Lower	459, 0.087, ESE
<a href="#">E17</a>	BIRMINGHAM CLEANERS	1253 555 S WOODWARD	EDR Hist Cleaner	Lower	459, 0.087, ESE
<a href="#">D18</a>	WOODWARD BROWN ASSOC	34901 WOODWARD AVENU	INVENTORY	Higher	482, 0.091, NE
<a href="#">D19</a>	WOODWARD BROWN ASSOC	34901 WOODWARD AVENU	BEA	Higher	498, 0.094, NE
<a href="#">D20</a>	WEISS SAMONA	34901 WOODWARD AVENU	US BROWNFIELDS, FINDS	Higher	498, 0.094, NE
<a href="#">D21</a>	WOODWARD BROWN ASSOC	34901 WOODWARD	INVENTORY	Higher	498, 0.094, NE
<a href="#">E22</a>	MITCHELL GEORGE E CL	534 S WOODWARD AVE	EDR Hist Cleaner	Lower	519, 0.098, SE
<a href="#">F23</a>	BIRMINGHAM CAMERA SH	168 S OLD WOODWARD A	RCRA NonGen / NLR, FINDS, ECHO	Higher	612, 0.116, NNW
<a href="#">G24</a>	34965 WOODWARD AVENU	34965 WOODWARD AVENU	INVENTORY	Higher	627, 0.119, NNE
<a href="#">H25</a>	SPEEDWAY LLC	34750 WOODWARD AVE	RCRA-VSQG, UST, FINDS, ECHO	Higher	679, 0.129, ENE
<a href="#">H26</a>	SPEEDWAY #8721	34750 WOODWARD 347 B	LUST, INVENTORY, Financial Assurance	Higher	679, 0.129, ENE
<a href="#">G27</a>	SHELL - HUNTER	34977 WOODWARD AVE	LUST, UST, INVENTORY	Higher	725, 0.137, NNE
<a href="#">G28</a>	CATALYST DEVELOPMENT	34977 WOODWARD AVE	AUL, BEA, WDS	Higher	725, 0.137, NNE
<a href="#">G29</a>	CATALYST DEVELOPMENT	34977 WOODWARD AVE	RCRA-VSQG, FINDS, ECHO	Higher	725, 0.137, NNE
<a href="#">30</a>	BURTON KATZMAN	336 E MAPLE RD	RCRA NonGen / NLR	Higher	735, 0.139, North
<a href="#">G31</a>	CATALYST DEVELOPMENT	34977 WOODWARD AVENU	INVENTORY	Higher	751, 0.142, NNE
<a href="#">H32</a>	MALLY, C . LANE PROP	575 SOUTH HUNTER BLV	BEA	Lower	774, 0.147, ENE
<a href="#">H33</a>	CARMAN TILLARD	910 N HUNTER BLVD	LUST, UST	Lower	777, 0.147, ENE
<a href="#">I34</a>	FRED LAVERY CO	34602 WOODWARD AVE	UST	Lower	783, 0.148, East
<a href="#">I35</a>	FRED LAVERY CO	34602 WOODWARD AVE	RCRA-VSQG, FINDS, ECHO	Lower	783, 0.148, East
<a href="#">J36</a>	165 - 217 PIERCE STR	165 - 217 PIERCE STR	INVENTORY	Higher	793, 0.150, NW
<a href="#">F37</a>	FULLER CENTRAL PARK	111 S OLD WOODWARD	RCRA-VSQG, FINDS, ECHO	Higher	804, 0.152, NNW
<a href="#">38</a>	BARNUM HEALTH CENTER	746 PURDY ST	UST	Lower	835, 0.158, South
<a href="#">K39</a>	VILLAGE JEEP EAGLE	666 S WOODWARD	UST	Lower	857, 0.162, SE

# MAPPED SITES SUMMARY

Target Property Address:  
294 E BROWN ST AND 300-394 S OLD WOODWARD AVE  
BIRMINGHAM, MI 48009

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
<a href="#">L40</a>	HOLIDAY INN	34952 WOODWARD AVE	RCRA-VSQG	Higher	858, 0.162, NE
<a href="#">M41</a>	GOLLING MOTORS, INC.	34500 WOODWARD	INVENTORY, BEA	Lower	870, 0.165, ESE
<a href="#">M42</a>	GOLLING MOTORS, INC.	34500 WOODWARD AVENU	INVENTORY	Lower	870, 0.165, ESE
<a href="#">K43</a>	VILLAGE AMC/JEEP INC	666 S OLD WOODWARD A	RCRA NonGen / NLR, FINDS, ECHO	Lower	894, 0.169, SE
<a href="#">N44</a>	SUNOCO #0008-4178	35001 WOODWARD AVE	LUST, UST, INVENTORY, BEA, WDS	Higher	894, 0.169, NNE
<a href="#">N45</a>	SUNOCO SERVICE STATI	35001 WOODWARD AVE	RCRA NonGen / NLR, FINDS, ECHO	Higher	894, 0.169, NNE
<a href="#">J46</a>	BIRMINGHAM CO (M5711	155 HENRIETTA ST	UST	Higher	936, 0.177, NW
<a href="#">J47</a>	MICHIGAN BELL TELEPH	155 HENRIETTA ST	RCRA-VSQG, FINDS, ECHO	Higher	936, 0.177, NW
<a href="#">L48</a>	JERRY BURNS CLEANERS	615 E MAPLE RD	RCRA NonGen / NLR, FINDS, ECHO	Higher	1008, 0.191, NNE
<a href="#">L49</a>	JERRY BURNS DRY CLEA	615 E. MAPLE	DRYCLEANERS	Higher	1020, 0.193, NE
<a href="#">K50</a>	JIMMIES RUSTICS	690 SOUTH OLD WOODWA	BEA	Lower	1054, 0.200, SE
<a href="#">L51</a>	KROGER CO OF MICHIGA	685 E MAPLE RD	RCRA-VSQG	Higher	1055, 0.200, NE
<a href="#">L52</a>	J C & C ENTERPRISES	700 E MAPLE RD	RCRA NonGen / NLR	Higher	1074, 0.203, NE
<a href="#">O53</a>	TIFFANY FLORIST	772 S OLD WOODWARD A	LUST, UST, INVENTORY	Lower	1161, 0.220, SE
<a href="#">O54</a>	VIRGINIA C CLOHSET T	784 S OLD WOODWARD A	RCRA NonGen / NLR	Lower	1165, 0.221, SE
<a href="#">O55</a>	WOODWARD AND GEORGE,	772-784 SOUTH OLD WO	INVENTORY	Lower	1184, 0.224, SE
<a href="#">O56</a>	WOODWARD AND GEORGE,	772-784 SOUTH OLD WO	BEA	Lower	1184, 0.224, SE
<a href="#">57</a>	WM BEAUMONT HOSPITAL	35046 WOODWARD AVE	RCRA-VSQG, FINDS, ECHO	Higher	1198, 0.227, NNE
<a href="#">P58</a>	GOODYEAR TIRE CENTER	835 HAYNES ST	LUST, UST, WDS	Lower	1205, 0.228, ESE
<a href="#">P59</a>	HALBEISEN TOM INC	835 HAYNES ST	RCRA-VSQG, FINDS, ECHO	Lower	1205, 0.228, ESE
<a href="#">Q60</a>	MAPLE ELM DEVELOPMEN	820 E MAPLE	RCRA NonGen / NLR, FINDS, ECHO	Higher	1281, 0.243, NE
<a href="#">Q61</a>	ALL SEASONS OF BIRMI	820 E MAPLE	AST	Higher	1281, 0.243, NE
<a href="#">62</a>	WABEEK ASSOC GEN PAR	280 W MAPLE RD	UST	Higher	1300, 0.246, NW
<a href="#">Q63</a>	HAMILTON FUNERAL HOM	820 EAST MAPLE ROAD	INVENTORY, BEA	Higher	1327, 0.251, NE
<a href="#">P64</a>	LAVERY MI DEALERSHIP	907 AND 911 HAYNES S	INVENTORY	Lower	1366, 0.259, ESE
<a href="#">P65</a>	FRED LAVERY COMPANY	907 AND 911 HAYNES S	INVENTORY	Lower	1366, 0.259, ESE
<a href="#">66</a>	PROPOSED BALDWIN HOU	200 CHESTER ST	LUST, UST, WDS	Higher	1455, 0.276, WNW
<a href="#">67</a>	AMERICAR	860 S OLD WOODWARD A	LUST, UST, WDS	Lower	1501, 0.284, SE
<a href="#">R68</a>	ELMWOOD PROPERTIES I	920-970 EAST MAPLE R	BEA	Higher	1513, 0.287, NE
<a href="#">S69</a>	COMERICA BANK BIRMIN	322 N. OLD WOODWARD	INVENTORY	Higher	1585, 0.300, NNW
<a href="#">R70</a>	PARKING LOT (DIETZ C	985 E MAPLE RD	INVENTORY, BEA	Higher	1644, 0.311, NE
<a href="#">R71</a>	PARKING LOT (DIETZ C	985 E MAPLE RD	LUST, UST	Higher	1644, 0.311, NE
<a href="#">R72</a>	BUDGET RENT-A-CAR	1000 E MAPLE RD	LUST, UST, INVENTORY, WDS	Lower	1645, 0.312, ENE
<a href="#">R73</a>	OSOS TONTOS LLC	985 EAST MAPLE	BEA	Lower	1647, 0.312, ENE
<a href="#">S74</a>	344 NORTH OLD WOODWA	344 NORTH OLD WOODWA	INVENTORY	Higher	1710, 0.324, NNW
<a href="#">75</a>	BIRMINGHAM PUBLIC SC	550 W MERRILL ST	LUST, INVENTORY	Higher	1720, 0.326, WNW
<a href="#">76</a>	FIRST CHURCH OF CHRI	191 N. CHESTER ST.	INVENTORY	Higher	1780, 0.337, NW
<a href="#">77</a>	PERRY DRUG STORES IN	597 S ADAMS RD	INVENTORY, WDS	Lower	1787, 0.338, East
<a href="#">78</a>	THE PLANT STATION	720 S ADAMS RD	LUST, UST	Lower	1803, 0.341, ESE

# MAPPED SITES SUMMARY

Target Property Address:  
294 E BROWN ST AND 300-394 S OLD WOODWARD AVE  
BIRMINGHAM, MI 48009

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
<a href="#">T79</a>	BIRMINGHAM STANDARD	1088 E MAPLE RD	LUST, UST, WDS	Lower	1865, 0.353, ENE
<a href="#">U80</a>	912 OLD WOODWARD, LL	912 SOUTH OLD WOODWA	INVENTORY	Lower	1872, 0.355, SE
<a href="#">U81</a>	912 SOUTH OLD WOODWA	912 SOUTH OLD WOODWA	US BROWNFIELDS, FINDS	Lower	1872, 0.355, SE
<a href="#">U82</a>	912 OLD WOODWARD, LL	912 SOUTH OLD WOODWA	INVENTORY	Lower	1872, 0.355, SE
<a href="#">T83</a>	MOBIL OIL CORP	1065 E MAPLE RD	INVENTORY, AIRS, WDS	Lower	1917, 0.363, ENE
<a href="#">U84</a>	OFFICE BUILDING & PA	1000 SOUTH OLD WOODW	BEA	Lower	1963, 0.372, SE
<a href="#">U85</a>	WOODLINC/MICH LTD PA	1050 S OLD WOODWARD	LUST, INVENTORY	Lower	1978, 0.375, SE
<a href="#">86</a>	MAPLE GAS INC	1065 W MAPLE RD	LUST, UST, AUL, INVENTORY, Financial Assurance	Lower	2081, 0.394, ENE
<a href="#">87</a>	QUARTON WOODWARD SER	1599 S WOODWARD AVE	LUST, UST, AUL, INVENTORY, WDS	Lower	2127, 0.403, SE
<a href="#">88</a>	908 S. ADAMS, LLC	908 SOUTH ADAMS ROAD	INVENTORY	Lower	2163, 0.410, SE
<a href="#">89</a>	GHEEN RESIDENCE	272 RAVINE ROAD	INVENTORY, WDS	Lower	2350, 0.445, NNW



## EXECUTIVE SUMMARY

### TARGET PROPERTY SEARCH RESULTS

The target property was not listed in any of the databases searched by EDR.

### DATABASES WITH NO MAPPED SITES

No mapped sites were found in EDR's search of available ("reasonably ascertainable ") government records either on the target property or within the search radius around the target property for the following databases:

### STANDARD ENVIRONMENTAL RECORDS

#### ***Federal NPL site list***

NPL..... National Priority List  
Proposed NPL..... Proposed National Priority List Sites  
NPL LIENS..... Federal Superfund Liens

#### ***Federal Delisted NPL site list***

Delisted NPL..... National Priority List Deletions

#### ***Federal CERCLIS list***

FEDERAL FACILITY..... Federal Facility Site Information listing  
SEMS..... Superfund Enterprise Management System

#### ***Federal CERCLIS NFRAP site list***

SEMS-ARCHIVE..... Superfund Enterprise Management System Archive

#### ***Federal RCRA CORRACTS facilities list***

CORRACTS..... Corrective Action Report

#### ***Federal RCRA non-CORRACTS TSD facilities list***

RCRA-TSDF..... RCRA - Treatment, Storage and Disposal

#### ***Federal RCRA generators list***

RCRA-LQG..... RCRA - Large Quantity Generators  
RCRA-SQG..... RCRA - Small Quantity Generators

#### ***Federal institutional controls / engineering controls registries***

LUCIS..... Land Use Control Information System  
US ENG CONTROLS..... Engineering Controls Sites List  
US INST CONTROLS..... Institutional Controls Sites List

## EXECUTIVE SUMMARY

### ***Federal ERNS list***

ERNS..... Emergency Response Notification System

### ***State- and tribal - equivalent CERCLIS***

SHWS..... This state does not maintain a SHWS list. See the Federal CERCLIS list and Federal NPL list.

### ***State and tribal landfill and/or solid waste disposal site lists***

SWF/LF..... Solid Waste Facilities Database

### ***State and tribal leaking storage tank lists***

INDIAN LUST..... Leaking Underground Storage Tanks on Indian Land

### ***State and tribal registered storage tank lists***

FEMA UST..... Underground Storage Tank Listing

INDIAN UST..... Underground Storage Tanks on Indian Land

### ***State and tribal voluntary cleanup sites***

INDIAN VCP..... Voluntary Cleanup Priority Listing

### ***State and tribal Brownfields sites***

BROWNFIELDS..... Brownfields and UST Site Database

## **ADDITIONAL ENVIRONMENTAL RECORDS**

### ***Local Lists of Landfill / Solid Waste Disposal Sites***

HIST LF..... Inactive Solid Waste Facilities

SWRCY..... Recycling Facilities

INDIAN ODI..... Report on the Status of Open Dumps on Indian Lands

DEBRIS REGION 9..... Torres Martinez Reservation Illegal Dump Site Locations

ODI..... Open Dump Inventory

IHS OPEN DUMPS..... Open Dumps on Indian Land

### ***Local Lists of Hazardous waste / Contaminated Sites***

US HIST CDL..... Delisted National Clandestine Laboratory Register

PART 201..... Part 201 Site List

CDL..... Clandestine Drug Lab Listing

DEL PART 201..... Delisted List of Contaminated Sites

US CDL..... National Clandestine Laboratory Register

PFAS..... PFAS Contaminated Sites Listing

### ***Local Land Records***

LIENS..... Lien List

## EXECUTIVE SUMMARY

LIENS 2..... CERCLA Lien Information

### **Records of Emergency Release Reports**

HMIRS..... Hazardous Materials Information Reporting System  
SPILLS..... Pollution Emergency Alerting System

### **Other Ascertainable Records**

FUDS..... Formerly Used Defense Sites  
DOD..... Department of Defense Sites  
SCRD DRYCLEANERS..... State Coalition for Remediation of Drycleaners Listing  
US FIN ASSUR..... Financial Assurance Information  
EPA WATCH LIST..... EPA WATCH LIST  
2020 COR ACTION..... 2020 Corrective Action Program List  
TSCA..... Toxic Substances Control Act  
TRIS..... Toxic Chemical Release Inventory System  
SSTS..... Section 7 Tracking Systems  
ROD..... Records Of Decision  
RMP..... Risk Management Plans  
RAATS..... RCRA Administrative Action Tracking System  
PRP..... Potentially Responsible Parties  
PADS..... PCB Activity Database System  
ICIS..... Integrated Compliance Information System  
FTTS..... FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)  
MLTS..... Material Licensing Tracking System  
COAL ASH DOE..... Steam-Electric Plant Operation Data  
COAL ASH EPA..... Coal Combustion Residues Surface Impoundments List  
PCB TRANSFORMER..... PCB Transformer Registration Database  
RADINFO..... Radiation Information Database  
HIST FTTS..... FIFRA/TSCA Tracking System Administrative Case Listing  
DOT OPS..... Incident and Accident Data  
CONSENT..... Superfund (CERCLA) Consent Decrees  
INDIAN RESERV..... Indian Reservations  
FUSRAP..... Formerly Utilized Sites Remedial Action Program  
UMTRA..... Uranium Mill Tailings Sites  
LEAD SMELTERS..... Lead Smelter Sites  
US AIRS..... Aerometric Information Retrieval System Facility Subsystem  
US MINES..... Mines Master Index File  
ABANDONED MINES..... Abandoned Mines  
FINDS..... Facility Index System/Facility Registry System  
UXO..... Unexploded Ordnance Sites  
ECHO..... Enforcement & Compliance History Information  
DOCKET HWC..... Hazardous Waste Compliance Docket Listing  
FUELS PROGRAM..... EPA Fuels Program Registered Listing  
AIRS..... Permit and Emissions Inventory Data  
ASBESTOS..... ASBESTOS  
COAL ASH..... Coal Ash Disposal Sites  
Financial Assurance..... Financial Assurance Information Listing  
LEAD..... Lead Safe Housing Registry  
NPDES..... List of Active NPDES Permits  
UIC..... Underground Injection Wells Database  
WDS..... Waste Data System  
MINES MRDS..... Mineral Resources Data System

## EXECUTIVE SUMMARY

### EDR HIGH RISK HISTORICAL RECORDS

#### ***EDR Exclusive Records***

EDR MGP..... EDR Proprietary Manufactured Gas Plants

### EDR RECOVERED GOVERNMENT ARCHIVES

#### ***Exclusive Recovered Govt. Archives***

RGA PART 201..... Recovered Government Archive State Hazardous Waste Facilities List

RGA LF..... Recovered Government Archive Solid Waste Facilities List

RGA LUST..... Recovered Government Archive Leaking Underground Storage Tank

### SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were identified in the following databases.

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property.

Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in ***bold italics*** are in multiple databases.

Unmappable (orphan) sites are not considered in the foregoing analysis.

### STANDARD ENVIRONMENTAL RECORDS

#### ***Federal RCRA generators list***

RCRA-VSQG: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Very small quantity generators (VSQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

A review of the RCRA-VSQG list, as provided by EDR, and dated 06/15/2020 has revealed that there are 11 RCRA-VSQG sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ESSCO OF BIRMINGHAM EPA ID:: MIK656803600	255 S OLD WOODWARD A	N 0 - 1/8 (0.053 mi.)	B10	48
<b><i>SPEEDWAY LLC</i></b> EPA ID:: MID985666387	<b><i>34750 WOODWARD AVE</i></b>	<b><i>ENE 1/8 - 1/4 (0.129 mi.)</i></b>	<b><i>H25</i></b>	<b><i>69</i></b>
<b><i>CATALYST DEVELOPMENT</i></b> EPA ID:: MIR000044230	<b><i>34977 WOODWARD AVE</i></b>	<b><i>NNE 1/8 - 1/4 (0.137 mi.)</i></b>	<b><i>G29</i></b>	<b><i>91</i></b>
<b><i>FULLER CENTRAL PARK</i></b>	<b><i>111 S OLD WOODWARD</i></b>	<b><i>NNW 1/8 - 1/4 (0.152 mi.)</i></b>	<b><i>F37</i></b>	<b><i>112</i></b>



## EXECUTIVE SUMMARY

EPA ID:: MIK478599987				
HOLIDAY INN	34952 WOODWARD AVE	NE 1/8 - 1/4 (0.162 mi.)	L40	116
EPA ID:: MIK541799672				
<b>MICHIGAN BELL TELEPH</b>	<b>155 HENRIETTA ST</b>	<b>NW 1/8 - 1/4 (0.177 mi.)</b>	<b>J47</b>	<b>141</b>
EPA ID:: MIT270013519				
KROGER CO OF MICHIGA	685 E MAPLE RD	NE 1/8 - 1/4 (0.200 mi.)	L51	149
EPA ID:: MIK996275632				
<b>WM BEAUMONT HOSPITAL</b>	<b>35046 WOODWARD AVE</b>	<b>NNE 1/8 - 1/4 (0.227 mi.)</b>	<b>57</b>	<b>160</b>
EPA ID:: MIK132883016				
<b>Lower Elevation</b>	<b>Address</b>	<b>Direction / Distance</b>	<b>Map ID</b>	<b>Page</b>
WOODWARD DETROIT CVS	444 S OLD WOODWARD A	ESE 0 - 1/8 (0.037 mi.)	A4	15
EPA ID:: MIK166505639				
<b>FRED LAVERY CO</b>	<b>34602 WOODWARD AVE</b>	<b>E 1/8 - 1/4 (0.148 mi.)</b>	<b>I35</b>	<b>103</b>
EPA ID:: MID985613389				
<b>HALBEISEN TOM INC</b>	<b>835 HAYNES ST</b>	<b>ESE 1/8 - 1/4 (0.228 mi.)</b>	<b>P59</b>	<b>165</b>
EPA ID:: MID985643790				

### State and tribal leaking storage tank lists

LUST: The Leaking Underground Storage Tank Incident Reports contain an inventory of reported leaking underground storage tank incidents. The data come from the Department of Environmental Quality's Leaking Underground Storage Tank (LUST) Database.

A review of the LUST list, as provided by EDR, and dated 07/16/2020 has revealed that there are 18 LUST sites within approximately 0.5 miles of the target property.

<b>Equal/Higher Elevation</b>	<b>Address</b>	<b>Direction / Distance</b>	<b>Map ID</b>	<b>Page</b>
<b>JAX KAR WASH #048</b>	<b>34745 WOODWARD AVE</b>	<b>NE 0 - 1/8 (0.072 mi.)</b>	<b>D13</b>	<b>51</b>
Facility Id: 00001952				
Release Status: Open				
Substance Release: Unknown				
<b>SPEEDWAY #8721</b>	<b>34750 WOODWARD 347 B</b>	<b>ENE 1/8 - 1/4 (0.129 mi.)</b>	<b>H26</b>	<b>81</b>
Facility Id: 00016370				
Release Status: Closed				
Release Status: Open				
Substance Release: Unknown				
Substance Release: Gasoline,Gasoline,Gasoline,Diesel				
<b>SHELL - HUNTER</b>	<b>34977 WOODWARD AVE</b>	<b>NNE 1/8 - 1/4 (0.137 mi.)</b>	<b>G27</b>	<b>82</b>
Facility Id: 00002267				
Release Status: Closed				
Release Status: Open				
Substance Release: Unknown,Unknown				
Substance Release: Gasoline				
Substance Release: Used Oil				
<b>SUNOCO #0008-4178</b>	<b>35001 WOODWARD AVE</b>	<b>NNE 1/8 - 1/4 (0.169 mi.)</b>	<b>N44</b>	<b>124</b>
Facility Id: 00005935				

## EXECUTIVE SUMMARY

Release Status: Closed  
Substance Release: Unknown

<b>PROPOSED BALDWIN HOU</b> Facility Id: 00037464 Release Status: Closed Substance Release: Heating Oil	<b>200 CHESTER ST</b>	<b>WNW 1/4 - 1/2 (0.276 mi.)</b>	<b>66</b>	<b>177</b>
<b>PARKING LOT (DIETZ C)</b> Facility Id: 50002129 Release Status: Open Substance Release: Unknown	<b>985 E MAPLE RD</b>	<b>NE 1/4 - 1/2 (0.311 mi.)</b>	<b>R71</b>	<b>182</b>
<b>BIRMINGHAM PUBLIC SC</b> Facility Id: 50000584 Release Status: Open	<b>550 W MERRILL ST</b>	<b>WNW 1/4 - 1/2 (0.326 mi.)</b>	<b>75</b>	<b>189</b>

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>ESTATE MOTORS</b> Facility Id: 00015180 Release Status: Closed Substance Release: Gasoline Substance Release: Unknown	<b>464 S WOODWARD AVE</b>	<b>ESE 0 - 1/8 (0.044 mi.)</b>	<b>A8</b>	<b>26</b>
<b>CARMAN TILLARD</b> Facility Id: 50001216 Release Status: Closed	<b>910 N HUNTER BLVD</b>	<b>ENE 1/8 - 1/4 (0.147 mi.)</b>	<b>H33</b>	<b>100</b>
<b>TIFFANY FLORIST</b> Facility Id: 00042132 Release Status: Open Substance Release: Gasoline, Gasoline	<b>772 S OLD WOODWARD A</b>	<b>SE 1/8 - 1/4 (0.220 mi.)</b>	<b>O53</b>	<b>154</b>
<b>GOODYEAR TIRE CENTER</b> Facility Id: 00021777 Release Status: Closed Substance Release: Used Oil	<b>835 HAYNES ST</b>	<b>ESE 1/8 - 1/4 (0.228 mi.)</b>	<b>P58</b>	<b>164</b>
<b>AMERICAR</b> Facility Id: 00034958 Release Status: Closed	<b>860 S OLD WOODWARD A</b>	<b>SE 1/4 - 1/2 (0.284 mi.)</b>	<b>67</b>	<b>179</b>
<b>BUDGET RENT-A-CAR</b> Facility Id: 00007720 Release Status: Open	<b>1000 E MAPLE RD</b>	<b>ENE 1/4 - 1/2 (0.312 mi.)</b>	<b>R72</b>	<b>184</b>
<b>THE PLANT STATION</b> Facility Id: 00018613 Release Status: Closed Substance Release: Gasoline, Unknown	<b>720 S ADAMS RD</b>	<b>ESE 1/4 - 1/2 (0.341 mi.)</b>	<b>78</b>	<b>191</b>
<b>BIRMINGHAM STANDARD</b> Facility Id: 00001897 Release Status: Closed	<b>1088 E MAPLE RD</b>	<b>ENE 1/4 - 1/2 (0.353 mi.)</b>	<b>T79</b>	<b>194</b>
<b>WOODLINC/MICH LTD PA</b> Facility Id: 00039226 Release Status: Open Substance Release: Gasoline	<b>1050 S OLD WOODWARD</b>	<b>SE 1/4 - 1/2 (0.375 mi.)</b>	<b>U85</b>	<b>205</b>
<b>MAPLE GAS INC</b>	<b>1065 W MAPLE RD</b>	<b>ENE 1/4 - 1/2 (0.394 mi.)</b>	<b>86</b>	<b>206</b>

## EXECUTIVE SUMMARY

Facility Id: 00016689  
 Release Status: Closed  
 Substance Release: Used Oil,Gasoline  
 Substance Release: Gasoline,Gasoline,Gasoline,Used Oil  
 Substance Release: Unknown

<b>QUARTON WOODWARD SER</b>	<b>1599 S WOODWARD AVE</b>	<b>SE 1/4 - 1/2 (0.403 mi.)</b>	<b>87</b>	<b>211</b>
Facility Id: 00033030				
Release Status: Closed				
Substance Release: Gasoline				

### State and tribal registered storage tank lists

UST: The Underground Storage Tank database contains registered USTs. USTs are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA). The data come from the Department of Environmental Quality's Michigan UST database.

A review of the UST list, as provided by EDR, has revealed that there are 15 UST sites within approximately 0.25 miles of the target property.

Equal/Higher Elevation	Address	Direction / Distance	Map ID	Page
<b>JAX KAR WASH #048</b> Database: UST, Date of Government Version: 05/07/2019 Tank Status: Removed from Ground Facility Type: CLOSED Facility Id: 00001952	<b>34745 WOODWARD AVE</b>	<b>NE 0 - 1/8 (0.072 mi.)</b>	<b>D13</b>	<b>51</b>
<b>SPEEDWAY LLC</b> Database: UST, Date of Government Version: 05/07/2019 Tank Status: Currently In Use Tank Status: Removed from Ground Facility Type: ACTIVE Facility Id: 00016370	<b>34750 WOODWARD AVE</b>	<b>ENE 1/8 - 1/4 (0.129 mi.)</b>	<b>H25</b>	<b>69</b>
<b>SHELL - HUNTER</b> Database: UST, Date of Government Version: 05/07/2019 Tank Status: Removed from Ground Facility Type: CLOSED Facility Id: 00002267	<b>34977 WOODWARD AVE</b>	<b>NNE 1/8 - 1/4 (0.137 mi.)</b>	<b>G27</b>	<b>82</b>
<b>SUNOCO #0008-4178</b> Database: UST, Date of Government Version: 05/07/2019 Tank Status: Removed from Ground Facility Type: CLOSED Facility Id: 00005935	<b>35001 WOODWARD AVE</b>	<b>NNE 1/8 - 1/4 (0.169 mi.)</b>	<b>N44</b>	<b>124</b>
<b>BIRMINGHAM CO (M5711)</b> Database: UST, Date of Government Version: 05/07/2019 Tank Status: Currently In Use Facility Type: ACTIVE Facility Id: 00011669	<b>155 HENRIETTA ST</b>	<b>NW 1/8 - 1/4 (0.177 mi.)</b>	<b>J46</b>	<b>139</b>
<b>WABEEK ASSOC GEN PAR</b> Database: UST, Date of Government Version: 05/07/2019 Tank Status: Removed from Ground Facility Type: CLOSED	<b>280 W MAPLE RD</b>	<b>NW 1/8 - 1/4 (0.246 mi.)</b>	<b>62</b>	<b>175</b>

## EXECUTIVE SUMMARY

Facility Id: 00034440

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
FORMER GASOLINE DISP Database: UST, Date of Government Version: 05/07/2019 Tank Status: Removed from Ground Facility Type: CLOSED Facility Id: 00042635	400 S OLD WOODWARD A	ESE 0 - 1/8 (0.019 mi.)	A2	8
<b>ESTATE MOTORS</b> Database: UST, Date of Government Version: 05/07/2019 Database: UST 2, Date of Government Version: 07/12/2020 Tank Status: Removed from Ground Facility ID: 00015180 Facility Type: CLOSED Facility Id: 00015180	<b>464 S WOODWARD AVE</b>	<b>ESE 0 - 1/8 (0.044 mi.)</b>	<b>A8</b>	<b>26</b>
FRANKLIN SAVINGS BAN Database: UST, Date of Government Version: 05/07/2019 Tank Status: Removed from Ground Facility Type: CLOSED Facility Id: 00013244	479 S OLD WOODWARD A	E 0 - 1/8 (0.076 mi.)	C14	54
<b>CARMAN TILLARD</b> Database: UST, Date of Government Version: 05/07/2019 Database: UST 2, Date of Government Version: 07/12/2020 Tank Status: Non-Registered Tank Facility ID: 50001216 Facility Type: CLOSED Facility Id: 50001216	<b>910 N HUNTER BLVD</b>	<b>ENE 1/8 - 1/4 (0.147 mi.)</b>	<b>H33</b>	<b>100</b>
FRED LAVERY CO Database: UST, Date of Government Version: 05/07/2019 Tank Status: Removed from Ground Facility Type: CLOSED Facility Id: 00014864	34602 WOODWARD AVE	E 1/8 - 1/4 (0.148 mi.)	I34	102
BARNUM HEALTH CENTER Database: UST, Date of Government Version: 05/07/2019 Tank Status: Temporarily Out of Use Facility Type: CLOSED Facility Id: 00017691	746 PURDY ST	S 1/8 - 1/4 (0.158 mi.)	38	115
VILLAGE JEEP EAGLE Database: UST, Date of Government Version: 05/07/2019 Tank Status: Removed from Ground Facility Type: CLOSED Facility Id: 00005612	666 S WOODWARD	SE 1/8 - 1/4 (0.162 mi.)	K39	116
<b>TIFFANY FLORIST</b> Database: UST, Date of Government Version: 05/07/2019 Tank Status: Removed from Ground Tank Status: Closed in Ground Facility Type: CLOSED Facility Id: 00042132	<b>772 S OLD WOODWARD A</b>	<b>SE 1/8 - 1/4 (0.220 mi.)</b>	<b>O53</b>	<b>154</b>
<b>GOODYEAR TIRE CENTER</b> Database: UST, Date of Government Version: 05/07/2019 Tank Status: Removed from Ground	<b>835 HAYNES ST</b>	<b>ESE 1/8 - 1/4 (0.228 mi.)</b>	<b>P58</b>	<b>164</b>



## EXECUTIVE SUMMARY

Facility Type: CLOSED  
Facility Id: 00021777

AST: The Aboveground Storage Tank database contains registered ASTs. The data come from the Department of Natural Resources' Michigan AST database.

A review of the AST list, as provided by EDR, and dated 05/06/2020 has revealed that there is 1 AST site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ALL SEASONS OF BIRMI Facility Id: 81084523 List Status: Aboveground Tank Status: Inactive	820 E MAPLE	NE 1/8 - 1/4 (0.243 mi.)	Q61	175

### ***State and tribal institutional control / engineering control registries***

AUL: A listing of sites with institutional and/or engineering controls in place.

A review of the AUL list, as provided by EDR, and dated 08/25/2020 has revealed that there are 3 AUL sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>CATALYST DEVELOPMENT</b> Facility ID: 00002267	<b>34977 WOODWARD AVE</b>	<b>NNE 1/8 - 1/4 (0.137 mi.)</b>	<b>G28</b>	<b>90</b>
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>MAPLE GAS INC</b> Facility ID: 00016689	<b>1065 W MAPLE RD</b>	<b>ENE 1/4 - 1/2 (0.394 mi.)</b>	<b>86</b>	<b>206</b>
<b>QUARTON WOODWARD SER</b> Facility ID: 00033030	<b>1599 S WOODWARD AVE</b>	<b>SE 1/4 - 1/2 (0.403 mi.)</b>	<b>87</b>	<b>211</b>

### **ADDITIONAL ENVIRONMENTAL RECORDS**

#### ***Local Brownfield lists***

US BROWNFIELDS: The EPA's listing of Brownfields properties from the Cleanups in My Community program, which provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

A review of the US BROWNFIELDS list, as provided by EDR, and dated 06/01/2020 has revealed that there are 3 US BROWNFIELDS sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>WEISS SAMONA</b>	<b>34901 WOODWARD AVENUE</b>	<b>NE 0 - 1/8 (0.094 mi.)</b>	<b>D20</b>	<b>59</b>

## EXECUTIVE SUMMARY

ACRES property ID: 115761  
Cleanup Completion Date: -

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
GREEN'S ART SUPPLY ACRES property ID: 170095 Cleanup Completion Date: -	400 SOUTH OLD WOODWA	ESE 0 - 1/8 (0.019 mi.)	A3	9
<b>912 SOUTH OLD WOODWA</b> ACRES property ID: 171161 Cleanup Completion Date: -	<b>912 SOUTH OLD WOODWA</b>	<b>SE 1/4 - 1/2 (0.355 mi.)</b>	<b>U81</b>	<b>200</b>

### Local Lists of Hazardous waste / Contaminated Sites

INVENTORY: The Inventory of Facilities has three data sources: Facilities under Part 201, Environmental Remediation, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA) identified through state funded or private party response activities (Projects); Facilities under Part 213, Leaking Underground Storage Tanks of the NREPA; and Facilities identified through submittals of Baseline Environmental Assessments (BEA) submitted pursuant to Part 201 or Part 213 of the NREPA. The Part 201 Projects Inventory does not include all of the facilities that are subject to regulation under Part 201 because owners are not required to inform the Department of Environmental Quality (DEQ) about the facilities and can pursue cleanup independently. Facilities that are not known to DEQ are not on the Inventory, nor are locations with releases that resulted in low environmental impact. Part 213 facilities listed here may have more than one release; a list of releases for which corrective actions have been completed and list of releases for which corrective action has not been completed is located on the Leaking Underground Storage Tanks Site Search webpage. The DEQ may or may not have reviewed and concurred with the conclusion that the corrective actions described in a closure report meets criteria. A BEA is a document that new or prospective property owners/operations disclose to the DEQ identifying the property as a facility pursuant to Part 201 and Part 213. The Inventory of BEA Facilities overlaps in part with the Part 201 Projects facilities and Part 213 facilities. There may be more than one BEA for each facility.

A review of the INVENTORY list, as provided by EDR, and dated 07/20/2020 has revealed that there are 32 INVENTORY sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>JAX KAR WASH #048</b> Facility ID: 00001952	<b>34745 WOODWARD AVE</b>	<b>NE 0 - 1/8 (0.072 mi.)</b>	<b>D13</b>	<b>51</b>
WOODWARD BROWN ASSOC Facility ID: 63005920	34901 WOODWARD AVENU	NE 0 - 1/8 (0.091 mi.)	D18	58
WOODWARD BROWN ASSOC Facility ID: 63005920	34901 WOODWARD	NE 0 - 1/8 (0.094 mi.)	D21	64
34965 WOODWARD AVENU Facility ID: 63006065	34965 WOODWARD AVENU	NNE 0 - 1/8 (0.119 mi.)	G24	69
<b>SPEEDWAY #8721</b> Facility ID: 00016370	<b>34750 WOODWARD 347 B</b>	<b>ENE 1/8 - 1/4 (0.129 mi.)</b>	<b>H26</b>	<b>81</b>
<b>SHELL - HUNTER</b> Facility ID: 00002267	<b>34977 WOODWARD AVE</b>	<b>NNE 1/8 - 1/4 (0.137 mi.)</b>	<b>G27</b>	<b>82</b>
CATALYST DEVELOPMENT Facility ID: 63005889	34977 WOODWARD AVENU	NNE 1/8 - 1/4 (0.142 mi.)	G31	100
165 - 217 PIERCE STR <b>SUNOCO #0008-4178</b>	165 - 217 PIERCE STR <b>35001 WOODWARD AVE</b>	NW 1/8 - 1/4 (0.150 mi.) <b>NNE 1/8 - 1/4 (0.169 mi.)</b>	J36 <b>N44</b>	111 <b>124</b>

## EXECUTIVE SUMMARY

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>HAMILTON FUNERAL HOM</b> COMERICA BANK BIRMIN Facility ID: 63005254	<b>820 EAST MAPLE ROAD</b> 322 N. OLD WOODWARD	<b>NE 1/4 - 1/2 (0.251 mi.)</b> NNW 1/4 - 1/2 (0.300 mi.)	<b>Q63</b> S69	<b>176</b> 181
<b>PARKING LOT (DIETZ C</b> Facility ID: 50002129	<b>985 E MAPLE RD</b>	<b>NE 1/4 - 1/2 (0.311 mi.)</b>	<b>R70</b>	<b>182</b>
344 NORTH OLD WOODWA Facility ID: 63500536	344 NORTH OLD WOODWA	NNW 1/4 - 1/2 (0.324 mi.)	S74	189
<b>BIRMINGHAM PUBLIC SC</b> Facility ID: 50000584	<b>550 W MERRILL ST</b>	<b>WNW 1/4 - 1/2 (0.326 mi.)</b>	<b>75</b>	<b>189</b>
FIRST CHURCH OF CHRI Facility ID: 63005278	191 N. CHESTER ST.	NW 1/4 - 1/2 (0.337 mi.)	76	190
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
GREEN'S ART SUPPLY <b>GOLLING MOTORS, INC.</b> Facility ID: 63005949	400 SOUTH OLD WOODWA <b>34500 WOODWARD</b>	ESE 0 - 1/8 (0.019 mi.) <b>ESE 1/8 - 1/4 (0.165 mi.)</b>	A1 <b>M41</b>	8 <b>120</b>
GOLLING MOTORS, INC. Facility ID: 63005949	34500 WOODWARD AVENU	ESE 1/8 - 1/4 (0.165 mi.)	M42	120
<b>TIFFANY FLORIST</b> Facility ID: 00042132	<b>772 S OLD WOODWARD A</b>	<b>SE 1/8 - 1/4 (0.220 mi.)</b>	<b>O53</b>	<b>154</b>
WOODWARD AND GEORGE, LAVERY MI DEALERSHIP FRED LAVERY COMPANY <b>BUDGET RENT-A-CAR</b> Facility ID: 00007720	772-784 SOUTH OLD WO 907 AND 911 HAYNES S 907 AND 911 HAYNES S <b>1000 E MAPLE RD</b>	SE 1/8 - 1/4 (0.224 mi.) ESE 1/4 - 1/2 (0.259 mi.) ESE 1/4 - 1/2 (0.259 mi.) <b>ENE 1/4 - 1/2 (0.312 mi.)</b>	O55 P64 P65 <b>R72</b>	160 177 177 <b>184</b>
<b>PERRY DRUG STORES IN</b> Facility ID: 63501342	<b>597 S ADAMS RD</b>	<b>E 1/4 - 1/2 (0.338 mi.)</b>	<b>77</b>	<b>190</b>
912 OLD WOODWARD, LL Facility ID: 63006025	912 SOUTH OLD WOODWA	SE 1/4 - 1/2 (0.355 mi.)	U80	200
912 OLD WOODWARD, LL Facility ID: 63006025	912 SOUTH OLD WOODWA	SE 1/4 - 1/2 (0.355 mi.)	U82	203
<b>MOBIL OIL CORP</b> <b>WOODLINC/MICH LTD PA</b> Facility ID: 00039226	<b>1065 E MAPLE RD</b> <b>1050 S OLD WOODWARD</b>	<b>ENE 1/4 - 1/2 (0.363 mi.)</b> <b>SE 1/4 - 1/2 (0.375 mi.)</b>	<b>T83</b> <b>U85</b>	<b>204</b> <b>205</b>
<b>MAPLE GAS INC</b> Facility ID: 00016689	<b>1065 W MAPLE RD</b>	<b>ENE 1/4 - 1/2 (0.394 mi.)</b>	<b>86</b>	<b>206</b>
<b>QUARTON WOODWARD SER</b> Facility ID: 00033030	<b>1599 S WOODWARD AVE</b>	<b>SE 1/4 - 1/2 (0.403 mi.)</b>	<b>87</b>	<b>211</b>
908 S. ADAMS, LLC <b>GHEEN RESIDENCE</b> Facility ID: 63006037	908 SOUTH ADAMS ROAD <b>272 RAVINE ROAD</b>	SE 1/4 - 1/2 (0.410 mi.) <b>NNW 1/4 - 1/2 (0.445 mi.)</b>	88 <b>89</b>	219 <b>219</b>

## EXECUTIVE SUMMARY

### Other Ascertainable Records

RCRA NonGen / NLR: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

A review of the RCRA NonGen / NLR list, as provided by EDR, and dated 06/15/2020 has revealed that there are 10 RCRA NonGen / NLR sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
UPTOWN ENTERTAINMENT EPA ID:: MIK151544753	211 S OLD WOODWARD A	N 0 - 1/8 (0.085 mi.)	B15	55
<b>BIRMINGHAM CAMERA SH</b> EPA ID:: MID985652064	<b>168 S OLD WOODWARD A</b>	<b>NNW 0 - 1/8 (0.116 mi.)</b>	<b>F23</b>	<b>65</b>
BURTON KATZMAN EPA ID:: MIK851343467	336 E MAPLE RD	N 1/8 - 1/4 (0.139 mi.)	30	96
<b>SUNOCO SERVICE STATI</b> EPA ID:: MID087750204	<b>35001 WOODWARD AVE</b>	<b>NNE 1/8 - 1/4 (0.169 mi.)</b>	<b>N45</b>	<b>130</b>
<b>JERRY BURNS CLEANERS</b> EPA ID:: MID985605112	<b>615 E MAPLE RD</b>	<b>NNE 1/8 - 1/4 (0.191 mi.)</b>	<b>L48</b>	<b>145</b>
J C & C ENTERPRISES EPA ID:: MIK559424759	700 E MAPLE RD	NE 1/8 - 1/4 (0.203 mi.)	L52	152
<b>MAPLE ELM DEVELOPMEN</b> EPA ID:: MIK204939963	<b>820 E MAPLE</b>	<b>NE 1/8 - 1/4 (0.243 mi.)</b>	<b>Q60</b>	<b>172</b>
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>ESTATE MOTORS LTD</b> EPA ID:: MID040571135	<b>464 S OLD WOODWARD A</b>	<b>ESE 0 - 1/8 (0.044 mi.)</b>	<b>A9</b>	<b>44</b>
<b>VILLAGE AMC/JEEP INC</b> EPA ID:: MID058819707	<b>666 S OLD WOODWARD A</b>	<b>SE 1/8 - 1/4 (0.169 mi.)</b>	<b>K43</b>	<b>120</b>
VIRGINIA C CLOHSET T EPA ID:: MIK322432543	784 S OLD WOODWARD A	SE 1/8 - 1/4 (0.221 mi.)	O54	157

BEA: A BEA is a document that new or prospective property owners/operations disclose to the DEQ identifying the property as a facility pursuant to Part 201 and Part 213. The Inventory of BEA Facilities overlaps in part with the Part 201 Projects facilities and Part 213 facilities. There may be more than one BEA for each facility.

A review of the BEA list, as provided by EDR, and dated 08/21/2013 has revealed that there are 14 BEA sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
BROWN STREET OFFICE	200 EAST BROWN	WSW 0 - 1/8 (0.037 mi.)	5	25
<b>JAX KAR WASH #048</b>	<b>34745 WOODWARD AVE</b>	<b>NE 0 - 1/8 (0.072 mi.)</b>	<b>D13</b>	<b>51</b>
WOODWARD BROWN ASSOC	34901 WOODWARD AVENU	NE 0 - 1/8 (0.094 mi.)	D19	58
<b>CATALYST DEVELOPMENT</b>	<b>34977 WOODWARD AVE</b>	<b>NNE 1/8 - 1/4 (0.137 mi.)</b>	<b>G28</b>	<b>90</b>
<b>SUNOCO #0008-4178</b>	<b>35001 WOODWARD AVE</b>	<b>NNE 1/8 - 1/4 (0.169 mi.)</b>	<b>N44</b>	<b>124</b>
<b>HAMILTON FUNERAL HOM</b>	<b>820 EAST MAPLE ROAD</b>	<b>NE 1/4 - 1/2 (0.251 mi.)</b>	<b>Q63</b>	<b>176</b>



## EXECUTIVE SUMMARY

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ELMWOOD PROPERTIES I <b>PARKING LOT (DIETZ C</b>	920-970 EAST MAPLE R <b>985 E MAPLE RD</b>	NE 1/4 - 1/2 (0.287 mi.) <b>NE 1/4 - 1/2 (0.311 mi.)</b>	R68 <b>R70</b>	181 <b>182</b>
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
MALLY, C . LANE PROP <b>GOLLING MOTORS, INC.</b>	575 SOUTH HUNTER BLV <b>34500 WOODWARD</b>	ENE 1/8 - 1/4 (0.147 mi.) <b>ESE 1/8 - 1/4 (0.165 mi.)</b>	H32 <b>M41</b>	100 <b>120</b>
JIMMIES RUSTICS	690 SOUTH OLD WOODWA	SE 1/8 - 1/4 (0.200 mi.)	K50	149
WOODWARD AND GEORGE,	772-784 SOUTH OLD WO	SE 1/8 - 1/4 (0.224 mi.)	O56	160
OSOS TONTOS LLC	985 EAST MAPLE	ENE 1/4 - 1/2 (0.312 mi.)	R73	188
OFFICE BUILDING & PA	1000 SOUTH OLD WOODW	SE 1/4 - 1/2 (0.372 mi.)	U84	205

DRYCLEANERS: A listing of drycleaning facilities in Michigan.

A review of the DRYCLEANERS list, as provided by EDR, and dated 12/12/2019 has revealed that there is 1 DRYCLEANERS site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JERRY BURNS DRY CLEA Establishment#: 6300337	615 E. MAPLE	NE 1/8 - 1/4 (0.193 mi.)	L49	148

### EDR HIGH RISK HISTORICAL RECORDS

#### ***EDR Exclusive Records***

EDR Hist Auto: EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

A review of the EDR Hist Auto list, as provided by EDR, has revealed that there are 3 EDR Hist Auto sites within approximately 0.125 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
GAS STATION TV	255 S OLD WOODWARD A	N 0 - 1/8 (0.053 mi.)	B11	51
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
BRITANNIA PROPERTIES	401 S OLD WOODWARD A	E 0 - 1/8 (0.054 mi.)	C12	51
MAVERICK EXPRESS INC	555 S WOODWARD	ESE 0 - 1/8 (0.087 mi.)	E16	58

## EXECUTIVE SUMMARY

EDR Hist Cleaner: EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, laundromat, cleaning/laundry, wash & dry etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

A review of the EDR Hist Cleaner list, as provided by EDR, has revealed that there are 4 EDR Hist Cleaner sites within approximately 0.125 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
MITCHELL GEORGE E CL	458 S WOODWARD AVE	ESE 0 - 1/8 (0.040 mi.)	A6	25
MITCHELL GEORGE E CL	458 S OLD WOODWARD A	ESE 0 - 1/8 (0.042 mi.)	A7	26
BIRMINGHAM CLEANERS	1253 555 S WOODWARD	ESE 0 - 1/8 (0.087 mi.)	E17	58
MITCHELL GEORGE E CL	534 S WOODWARD AVE	SE 0 - 1/8 (0.098 mi.)	E22	65

## EXECUTIVE SUMMARY

Due to poor or inadequate address information, the following sites were not mapped. Count: 1 records.

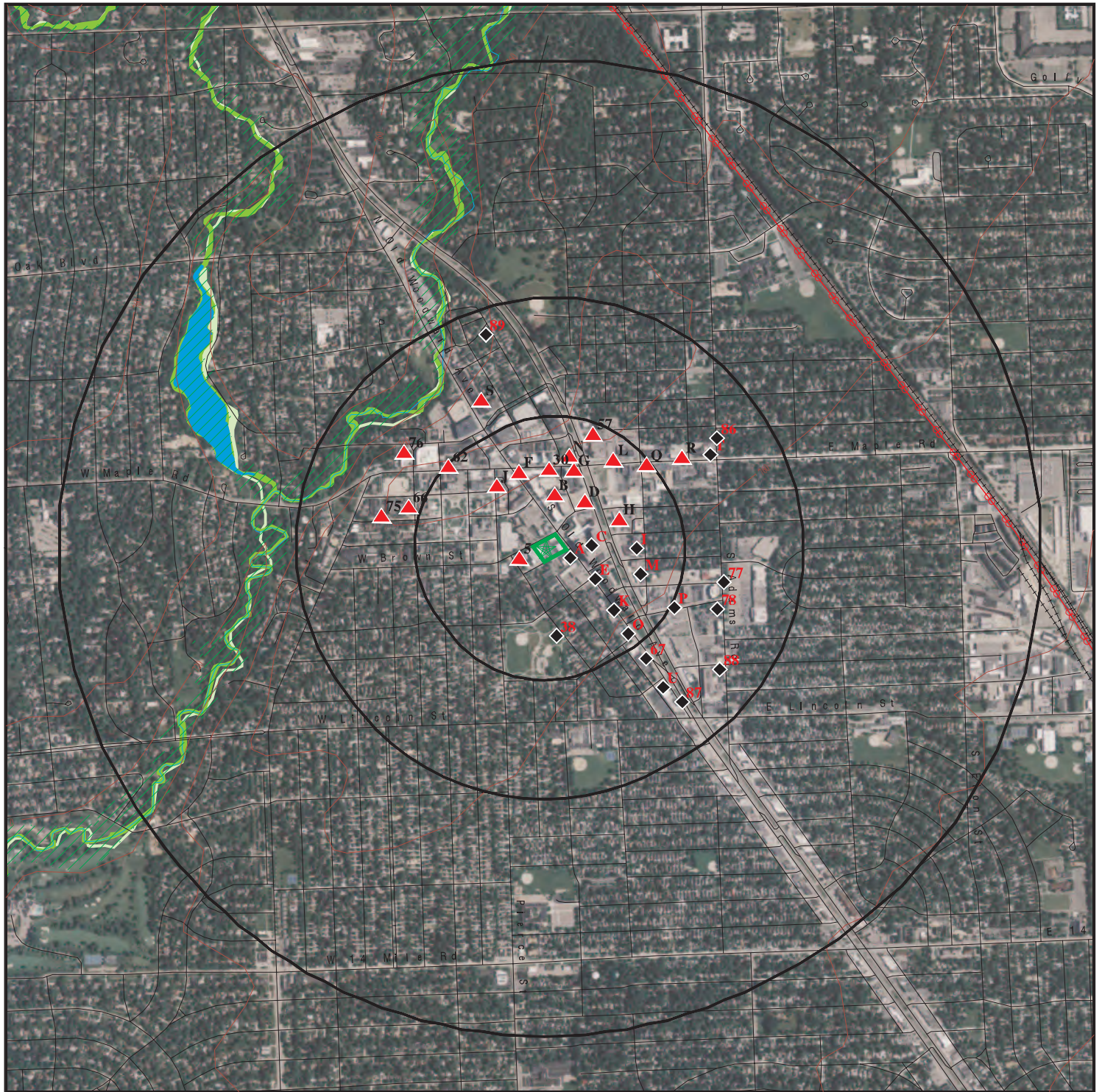
Site Name

Database(s)

CDL



# OVERVIEW MAP - 06273155.2R



Target Property

Sites at elevations higher than or equal to the target property

Sites at elevations lower than the target property

Manufactured Gas Plants

National Priority List Sites

Dept. Defense Sites

Indian Reservations BIA

Power transmission lines

Special Flood Hazard Area (1%)

0.2% Annual Chance Flood Hazard

National Wetland Inventory

State Wetlands



This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: 294 E Brown St and 300-394 S Old Woodward Ave  
ADDRESS: 294 E Brown St and 300-394 S Old Woodward Ave  
Birmingham MI 48009  
LAT/LONG: 42.544152 / 83.212858

CLIENT: PM Environmental, Inc.  
CONTACT: Kayla Strand  
INQUIRY #: 06273155.2r  
DATE: November 19, 2020 9:37 am



# DETAIL MAP - 06273155.2R



-  Target Property
-  Sites at elevations higher than or equal to the target property
-  Sites at elevations lower than the target property
-  Manufactured Gas Plants
-  Sensitive Receptors
-  National Priority List Sites
-  Dept. Defense Sites
-  Indian Reservations BIA
-  Special Flood Hazard Area (1%)
-  0.2% Annual Chance Flood Hazard
-  National Wetland Inventory
-  State Wetlands

This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: 294 E Brown St and 300-394 S Old Woodward Ave  
 ADDRESS: 294 E Brown St and 300-394 S Old Woodward Ave  
 Birmingham MI 48009  
 LAT/LONG: 42.544152 / 83.212858

CLIENT: PM Environmental, Inc.  
 CONTACT: Kayla Strand  
 INQUIRY #: 06273155.2r  
 DATE: November 19, 2020 9:38 am

## MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
<b>STANDARD ENVIRONMENTAL RECORDS</b>								
<b><i>Federal NPL site list</i></b>								
NPL	1.000		0	0	0	0	NR	0
Proposed NPL	1.000		0	0	0	0	NR	0
NPL LIENS	1.000		0	0	0	0	NR	0
<b><i>Federal Delisted NPL site list</i></b>								
Delisted NPL	1.000		0	0	0	0	NR	0
<b><i>Federal CERCLIS list</i></b>								
FEDERAL FACILITY	0.500		0	0	0	NR	NR	0
SEMS	0.500		0	0	0	NR	NR	0
<b><i>Federal CERCLIS NFRAP site list</i></b>								
SEMS-ARCHIVE	0.500		0	0	0	NR	NR	0
<b><i>Federal RCRA CORRACTS facilities list</i></b>								
CORRACTS	1.000		0	0	0	0	NR	0
<b><i>Federal RCRA non-CORRACTS TSD facilities list</i></b>								
RCRA-TSDF	0.500		0	0	0	NR	NR	0
<b><i>Federal RCRA generators list</i></b>								
RCRA-LQG	0.250		0	0	NR	NR	NR	0
RCRA-SQG	0.250		0	0	NR	NR	NR	0
RCRA-VSQG	0.250		2	9	NR	NR	NR	11
<b><i>Federal institutional controls / engineering controls registries</i></b>								
LUCIS	0.500		0	0	0	NR	NR	0
US ENG CONTROLS	0.500		0	0	0	NR	NR	0
US INST CONTROLS	0.500		0	0	0	NR	NR	0
<b><i>Federal ERNS list</i></b>								
ERNS	TP		NR	NR	NR	NR	NR	0
<b><i>State- and tribal - equivalent CERCLIS</i></b>								
SHWS	1.000		0	0	0	0	NR	0
<b><i>State and tribal landfill and/or solid waste disposal site lists</i></b>								
SWF/LF	0.500		0	0	0	NR	NR	0
<b><i>State and tribal leaking storage tank lists</i></b>								
LUST	0.500		2	6	10	NR	NR	18
INDIAN LUST	0.500		0	0	0	NR	NR	0
<b><i>State and tribal registered storage tank lists</i></b>								
FEMA UST	0.250		0	0	NR	NR	NR	0

## MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
UST	0.250		4	11	NR	NR	NR	15
AST	0.250		0	1	NR	NR	NR	1
INDIAN UST	0.250		0	0	NR	NR	NR	0
<b>State and tribal institutional control / engineering control registries</b>								
AUL	0.500		0	1	2	NR	NR	3
<b>State and tribal voluntary cleanup sites</b>								
INDIAN VCP	0.500		0	0	0	NR	NR	0
<b>State and tribal Brownfields sites</b>								
BROWNFIELDS	0.500		0	0	0	NR	NR	0
<b>ADDITIONAL ENVIRONMENTAL RECORDS</b>								
<b>Local Brownfield lists</b>								
US BROWNFIELDS	0.500		2	0	1	NR	NR	3
<b>Local Lists of Landfill / Solid Waste Disposal Sites</b>								
HIST LF	0.500		0	0	0	NR	NR	0
SWRCY	0.500		0	0	0	NR	NR	0
INDIAN ODI	0.500		0	0	0	NR	NR	0
DEBRIS REGION 9	0.500		0	0	0	NR	NR	0
ODI	0.500		0	0	0	NR	NR	0
IHS OPEN DUMPS	0.500		0	0	0	NR	NR	0
<b>Local Lists of Hazardous waste / Contaminated Sites</b>								
US HIST CDL	TP		NR	NR	NR	NR	NR	0
PART 201	1.000		0	0	0	0	NR	0
INVENTORY	0.500		5	9	18	NR	NR	32
CDL	TP		NR	NR	NR	NR	NR	0
DEL PART 201	1.000		0	0	0	0	NR	0
US CDL	TP		NR	NR	NR	NR	NR	0
PFAS	0.500		0	0	0	NR	NR	0
<b>Local Land Records</b>								
LIENS	TP		NR	NR	NR	NR	NR	0
LIENS 2	TP		NR	NR	NR	NR	NR	0
<b>Records of Emergency Release Reports</b>								
HMIRS	TP		NR	NR	NR	NR	NR	0
SPILLS	TP		NR	NR	NR	NR	NR	0
<b>Other Ascertainable Records</b>								
RCRA NonGen / NLR	0.250		3	7	NR	NR	NR	10
FUDS	1.000		0	0	0	0	NR	0
DOD	1.000		0	0	0	0	NR	0

## MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
SCRD DRYCLEANERS	0.500		0	0	0	NR	NR	0
US FIN ASSUR	TP		NR	NR	NR	NR	NR	0
EPA WATCH LIST	TP		NR	NR	NR	NR	NR	0
2020 COR ACTION	0.250		0	0	NR	NR	NR	0
TSCA	TP		NR	NR	NR	NR	NR	0
TRIS	TP		NR	NR	NR	NR	NR	0
SSTS	TP		NR	NR	NR	NR	NR	0
ROD	1.000		0	0	0	0	NR	0
RMP	TP		NR	NR	NR	NR	NR	0
RAATS	TP		NR	NR	NR	NR	NR	0
PRP	TP		NR	NR	NR	NR	NR	0
PADS	TP		NR	NR	NR	NR	NR	0
ICIS	TP		NR	NR	NR	NR	NR	0
FTTS	TP		NR	NR	NR	NR	NR	0
MLTS	TP		NR	NR	NR	NR	NR	0
COAL ASH DOE	TP		NR	NR	NR	NR	NR	0
COAL ASH EPA	0.500		0	0	0	NR	NR	0
PCB TRANSFORMER	TP		NR	NR	NR	NR	NR	0
RADINFO	TP		NR	NR	NR	NR	NR	0
HIST FTTS	TP		NR	NR	NR	NR	NR	0
DOT OPS	TP		NR	NR	NR	NR	NR	0
CONSENT	1.000		0	0	0	0	NR	0
INDIAN RESERV	1.000		0	0	0	0	NR	0
FUSRAP	1.000		0	0	0	0	NR	0
UMTRA	0.500		0	0	0	NR	NR	0
LEAD SMELTERS	TP		NR	NR	NR	NR	NR	0
US AIRS	TP		NR	NR	NR	NR	NR	0
US MINES	0.250		0	0	NR	NR	NR	0
ABANDONED MINES	0.250		0	0	NR	NR	NR	0
FINDS	TP		NR	NR	NR	NR	NR	0
UXO	1.000		0	0	0	0	NR	0
ECHO	TP		NR	NR	NR	NR	NR	0
DOCKET HWC	TP		NR	NR	NR	NR	NR	0
FUELS PROGRAM	0.250		0	0	NR	NR	NR	0
AIRS	TP		NR	NR	NR	NR	NR	0
ASBESTOS	TP		NR	NR	NR	NR	NR	0
BEA	0.500		3	6	5	NR	NR	14
COAL ASH	0.500		0	0	0	NR	NR	0
DRYCLEANERS	0.250		0	1	NR	NR	NR	1
Financial Assurance	TP		NR	NR	NR	NR	NR	0
LEAD	TP		NR	NR	NR	NR	NR	0
NPDES	TP		NR	NR	NR	NR	NR	0
UIC	TP		NR	NR	NR	NR	NR	0
WDS	TP		NR	NR	NR	NR	NR	0
MINES MRDS	TP		NR	NR	NR	NR	NR	0

### EDR HIGH RISK HISTORICAL RECORDS

#### ***EDR Exclusive Records***

EDR MGP	1.000		0	0	0	0	NR	0
---------	-------	--	---	---	---	---	----	---



## MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
EDR Hist Auto	0.125		3	NR	NR	NR	NR	3
EDR Hist Cleaner	0.125		4	NR	NR	NR	NR	4
<b><u>EDR RECOVERED GOVERNMENT ARCHIVES</u></b>								
<b><i>Exclusive Recovered Govt. Archives</i></b>								
RGA PART 201	TP		NR	NR	NR	NR	NR	0
RGA LF	TP		NR	NR	NR	NR	NR	0
RGA LUST	TP		NR	NR	NR	NR	NR	0
- Totals --		0	28	51	36	0	0	115

**NOTES:**

TP = Target Property

NR = Not Requested at this Search Distance

Sites may be listed in more than one database

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**A1**  
**ESE**  
**< 1/8**  
**0.019 mi.**  
**100 ft.**  
**GREEN'S ART SUPPLY**  
**400 SOUTH OLD WOODWARD**  
**OAKLAND (County), MI 48009**  
**Site 1 of 8 in cluster A**

**INVENTORY** **S122898711**  
**N/A**

**Relative:** INVENTORY:  
**Lower** Name: GREEN'S ART SUPPLY  
Address: 400 SOUTH OLD WOODWARD  
**Actual:** City,State,Zip: MI 48009  
**766 ft.** Bea Number: 201406069LV  
Township: Birmingham  
District: Southeast MI  
Data Source: BEA  
Latitude: Not reported  
Longitude: Not reported

**A2**  
**ESE**  
**< 1/8**  
**0.019 mi.**  
**100 ft.**  
**FORMER GASOLINE DISPENSING STATION**  
**400 S OLD WOODWARD AVE**  
**BIRMINGHAM, MI 48009**  
**Site 2 of 8 in cluster A**

**UST** **U004241575**  
**N/A**

**Relative:** UST:  
**Lower** Name: FORMER GASOLINE DISPENSING STATION  
Address: 400 S OLD WOODWARD AVE  
**Actual:** City,State,Zip: BIRMINGHAM, MI 48009-6610  
**766 ft.** Facility Type: CLOSED  
Facility ID: 00042635  
Facility Region: 1  
Owner Name: 400 S OLD WOODWARD LLC  
Owner Address: 640 N OLD WOODWARD SUITE 100  
Owner City: BIRMINGHAM  
Owner State: MI  
Owner Zip: 48009  
Owner Contact: Not reported  
Owner Phone: 2483209995  
Contact: Joseph Jonna  
Contact Phone: (248) 320-9995  
Date of Collection: Not reported  
Accuracy: Not reported  
Horizontal Datum: Not reported  
Accuracy Value Unit: Not reported  
Source: Not reported  
Point Line Area: Not reported  
Desc Category: Not reported  
Method of Collection: Not reported  
District: Region 1 - SE Michigan District Office  
Tank ID: 2  
Capacity: 2000  
Tank Status: Removed from Ground  
Substance: Diesel  
Install Date: 01/01/1930  
Remove Date: 10/16/2015  
Tank Number: UTK-140531-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Other  
Piping Material: Not reported  
Piping Type: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FORMER GASOLINE DISPENSING STATION (Continued)**

**U004241575**

Tank Construction: Asphalt Coated or Bare Steel,Other  
Impressed Device: Not reported  
Latitude: Not reported  
Longitude: Not reported

Name: FORMER GASOLINE DISPENSING STATION  
Address: 400 S OLD WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-6610  
Facility Type: CLOSED  
Facility ID: 00042635  
Facility Region: 1  
Owner Name: 400 S OLD WOODWARD LLC  
Owner Address: 640 N OLD WOODWARD SUITE 100  
Owner City: BIRMINGHAM  
Owner State: MI  
Owner Zip: 48009  
Owner Contact: Not reported  
Owner Phone: 2483209995  
Contact: Joseph Jonna  
Contact Phone: (248) 320-9995  
Date of Collection: Not reported  
Accuracy: Not reported  
Horizontal Datum: Not reported  
Accuracy Value Unit: Not reported  
Source: Not reported  
Point Line Area: Not reported  
Desc Category: Not reported  
Method of Collection: Not reported  
District: Region 1 - SE Michigan District Office  
Tank ID: 1  
Capacity: 2000  
Tank Status: Removed from Ground  
Substance: Diesel  
Install Date: 01/01/1930  
Remove Date: 10/16/2015  
Tank Number: UTK-140530-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Other  
Piping Material: Not reported  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel,Other  
Impressed Device: Not reported  
Latitude: Not reported  
Longitude: Not reported

**A3**  
**ESE**  
**< 1/8**  
**0.019 mi.**  
**100 ft.**

**GREEN'S ART SUPPLY**  
**400 SOUTH OLD WOODWARD AVENUE**  
**BIRMINGHAM, MI 48009**  
**Site 3 of 8 in cluster A**

**US BROWNFIELDS** **1016603767**  
**N/A**

**Relative:**  
**Lower**

**US BROWNFIELDS:**

**Actual:**  
**766 ft.**

Name: GREEN'S ART SUPPLY  
Address: 400 SOUTH OLD WOODWARD AVENUE  
City,State,Zip: BIRMINGHAM, MI 48009  
Recipient Name: Oakland County Michigan  
Grant Type: Assessment

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GREEN'S ART SUPPLY (Continued)**

**1016603767**

Property Number: 19-36-205-042  
Parcel size: 0.58  
Latitude: 42.543816  
Longitude: -83.21211  
HCM Label: Address Matching-House Number  
Map Scale: -  
Point of Reference: Entrance Point of a Facility or Station  
Highlights: Planned mixed use development consisting of commercial retail,  
office, and residential condominiums  
Datum: North American Datum of 1983  
Acres Property ID: 170095  
IC Data Access: -  
Start Date: -  
Redev Completion Date: -  
Completed Date: -  
Acres Cleaned Up: -  
Cleanup Funding: -  
Cleanup Funding Source: -  
Assessment Funding: 1200  
Assessment Funding Source: EPA  
Redevelopment Funding: -  
Redev. Funding Source: -  
Redev. Funding Entity Name: -  
Redevelopment Start Date: -  
Assessment Funding Entity: US EPA - Brownfields Assessment Cooperative Agreement  
Cleanup Funding Entity: -  
Grant Type: Petroleum  
Accomplishment Type: Phase I Environmental Assessment  
Accomplishment Count: Y  
Cooperative Agreement Number: 00E01208  
Start Date: 12/20/2013  
Ownership Entity: -  
Completion Date: 2/7/2014  
Current Owner: -  
Did Owner Change: -  
Cleanup Required: N  
Video Available: N  
Photo Available: Y  
Institutional Controls Required: N  
IC Category Proprietary Controls: -  
IC Cat. Info. Devices: -  
IC Cat. Gov. Controls: -  
IC Cat. Enforcement Permit Tools: -  
IC in place date: -  
IC in place: N  
State/tribal program date: -  
State/tribal program ID: -  
State/tribal NFA date: -  
Air cleaned: -  
Asbestos found: -  
Asbestos cleaned: -  
Controlled substance found: -  
Controlled substance cleaned: -  
Drinking water affected: -  
Drinking water cleaned: -  
Groundwater affected: -  
Groundwater cleaned: -



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GREEN'S ART SUPPLY (Continued)**

**1016603767**

Lead contaminant found:	Y
Lead cleaned up:	-
No media affected:	-
Unknown media affected:	-
Other cleaned up:	-
Other metals found:	-
Other metals cleaned:	-
Other contaminants found:	-
Other contams found description:	-
PAHs found:	-
PAHs cleaned up:	-
PCBs found:	-
PCBs cleaned up:	-
Petro products found:	-
Petro products cleaned:	-
Sediments found:	-
Sediments cleaned:	-
Soil affected:	Y
Soil cleaned up:	-
Surface water cleaned:	-
VOCs found:	Y
VOCs cleaned:	-
Cleanup other description:	-
Num. of cleanup and re-dev. jobs:	-
Past use greenspace acreage:	-
Past use residential acreage:	-
Surface Water:	-
Past use commercial acreage:	0.58
Past use industrial acreage:	-
Future use greenspace acreage:	-
Future use residential acreage:	-
Future use commercial acreage:	-
Future use industrial acreage:	-
Superfund Fed. landowner flag:	-
Arsenic cleaned up:	-
Cadmium cleaned up:	-
Chromium cleaned up:	-
Copper cleaned up:	-
Iron cleaned up:	-
mercury cleaned up:	-
Nickel Cleaned Up:	-
No clean up:	-
Pesticides cleaned up:	-
Selenium cleaned up:	-
SVOCs cleaned up:	-
Unknown clean up:	-
Arsenic contaminant found:	-
Cadmium contaminant found:	-
Chromium contaminant found:	-
Copper contaminant found:	-
Iron contaminant found:	-
Mercury contaminant found:	-
Nickel contaminant found:	-
No contaminant found:	-
Pesticides contaminant found:	-
Selenium contaminant found:	-
SVOCs contaminant found:	-

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GREEN'S ART SUPPLY (Continued)**

**1016603767**

Unknown contaminant found: -  
Future Use: Multistory 0  
Media affected Bluiding Material: -  
Media affected indoor air: -  
Building material media cleaned up: -  
Indoor air media cleaned up: -  
Unknown media cleaned up: -  
Past Use: Multistory -  
Property Description:

Original development of the subject property occurred prior to 1921 with four residential dwellings. The former northern dwelling was converted into a vulcanizing operation between 1921 and 1926, which operated at the property until the structure was demolished in 1930. The eastern dwelling was redeveloped as a plumbing supply company between 1921 and 1926, which operated (and included several additions) until the early 1950s when the building was demolished. The central dwelling was demolished in 1930, and the northern and central portions of the subject property were redeveloped with a gasoline filling station and automotive service garage in late 1930. The former western dwelling was demolished between 1931 and 1940, and the area was converted into a parking lot. The northern and central portions of the property were occupied by Sternal s Auto Supply/Service until 1957 and Standard Oil Company in at least 1945. The southern warehouse portion of the current building was constructed between 1949 and 1952, and was historically utilized as offices for an Edsel automotive dealership until approximately 1957. The building was redeveloped for retail use in 1958 and the northern portion of the building was expanded between 1963 and 1967 to include the current layout. The property has been occupied by Green s Art Supply since 1958.

Below Poverty Number: 103  
Below Poverty Percent: 2.74  
Meidan Income: 7180  
Meidan Income Number: 282  
Meidan Income Percent: 7.5  
Vacant Housing Number: 191  
Vacant Housing Percent: 9.26  
Unemployed Number: 90  
Unemployed Percent: 2.39

Name: GREEN'S ART SUPPLY  
Address: 400 SOUTH OLD WOODWARD AVENUE  
City,State,Zip: BIRMINGHAM, MI 48009  
Recipient Name: Oakland County Michigan  
Grant Type: Assessment  
Property Number: 19-36-205-042  
Parcel size: 0.58  
Latitude: 42.543816  
Longitude: -83.21211  
HCM Label: Address Matching-House Number  
Map Scale: -  
Point of Reference: Entrance Point of a Facility or Station  
Highlights: Planned mixed use development consisting of commercial retail, office, and residential condominiums  
Datum: North American Datum of 1983  
Acres Property ID: 170095  
IC Data Access: -  
Start Date: -  
Redev Completion Date: -

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GREEN'S ART SUPPLY (Continued)**

**1016603767**

Completed Date:	-
Acres Cleaned Up:	-
Cleanup Funding:	-
Cleanup Funding Source:	-
Assessment Funding:	9900
Assessment Funding Source:	EPA
Redevelopment Funding:	-
Redev. Funding Source:	-
Redev. Funding Entity Name:	-
Redevelopment Start Date:	-
Assessment Funding Entity:	US EPA - Brownfields Assessment Cooperative Agreement
Cleanup Funding Entity:	-
Grant Type:	Petroleum
Accomplishment Type:	Phase II Environmental Assessment
Accomplishment Count:	N
Cooperative Agreement Number:	00E01208
Start Date:	12/20/2013
Ownership Entity:	-
Completion Date:	2/7/2014
Current Owner:	-
Did Owner Change:	-
Cleanup Required:	N
Video Available:	N
Photo Available:	Y
Institutional Controls Required:	N
IC Category Proprietary Controls:	-
IC Cat. Info. Devices:	-
IC Cat. Gov. Controls:	-
IC Cat. Enforcement Permit Tools:	-
IC in place date:	-
IC in place:	N
State/tribal program date:	-
State/tribal program ID:	-
State/tribal NFA date:	-
Air cleaned:	-
Asbestos found:	-
Asbestos cleaned:	-
Controlled substance found:	-
Controlled substance cleaned:	-
Drinking water affected:	-
Drinking water cleaned:	-
Groundwater affected:	-
Groundwater cleaned:	-
Lead contaminant found:	Y
Lead cleaned up:	-
No media affected:	-
Unknown media affected:	-
Other cleaned up:	-
Other metals found:	-
Other metals cleaned:	-
Other contaminants found:	-
Other contaminants found description:	-
PAHs found:	-
PAHs cleaned up:	-
PCBs found:	-
PCBs cleaned up:	-
Petro products found:	-

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GREEN'S ART SUPPLY (Continued)**

**1016603767**

Petro products cleaned:	-
Sediments found:	-
Sediments cleaned:	-
Soil affected:	Y
Soil cleaned up:	-
Surface water cleaned:	-
VOCs found:	Y
VOCs cleaned:	-
Cleanup other description:	-
Num. of cleanup and re-dev. jobs:	-
Past use greenspace acreage:	-
Past use residential acreage:	-
Surface Water:	-
Past use commercial acreage:	0.58
Past use industrial acreage:	-
Future use greenspace acreage:	-
Future use residential acreage:	-
Future use commercial acreage:	-
Future use industrial acreage:	-
Superfund Fed. landowner flag:	-
Arsenic cleaned up:	-
Cadmium cleaned up:	-
Chromium cleaned up:	-
Copper cleaned up:	-
Iron cleaned up:	-
mercury cleaned up:	-
Nickel Cleaned Up:	-
No clean up:	-
Pesticides cleaned up:	-
Selenium cleaned up:	-
SVOCs cleaned up:	-
Unknown clean up:	-
Arsenic contaminant found:	-
Cadmium contaminant found:	-
Chromium contaminant found:	-
Copper contaminant found:	-
Iron contaminant found:	-
Mercury contaminant found:	-
Nickel contaminant found:	-
No contaminant found:	-
Pesticides contaminant found:	-
Selenium contaminant found:	-
SVOCs contaminant found:	-
Unknown contaminant found:	-
Future Use: Multistory	0
Media affected Bluiding Material:	-
Media affected indoor air:	-
Building material media cleaned up:	-
Indoor air media cleaned up:	-
Unknown media cleaned up:	-
Past Use: Multistory	-
Property Description:	

Original development of the subject property occurred prior to 1921 with four residential dwellings. The former northern dwelling was converted into a vulcanizing operation between 1921 and 1926, which operated at the property until the structure was demolished in 1930. The eastern dwelling was redeveloped as a plumbing supply company between 1921 and 1926, which operated (and included several additions)



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GREEN'S ART SUPPLY (Continued)**

**1016603767**

until the early 1950s when the building was demolished. The central dwelling was demolished in 1930, and the northern and central portions of the subject property were redeveloped with a gasoline filling station and automotive service garage in late 1930. The former western dwelling was demolished between 1931 and 1940, and the area was converted into a parking lot. The northern and central portions of the property were occupied by Sternal's Auto Supply/Service until 1957 and Standard Oil Company in at least 1945. The southern warehouse portion of the current building was constructed between 1949 and 1952, and was historically utilized as offices for an Edsel automotive dealership until approximately 1957. The building was redeveloped for retail use in 1958 and the northern portion of the building was expanded between 1963 and 1967 to include the current layout. The property has been occupied by Green's Art Supply since 1958.

Below Poverty Number: 103  
Below Poverty Percent: 2.74  
Median Income: 7180  
Median Income Number: 282  
Median Income Percent: 7.5  
Vacant Housing Number: 191  
Vacant Housing Percent: 9.26  
Unemployed Number: 90  
Unemployed Percent: 2.39

**A4**  
**ESE**  
**< 1/8**  
**0.037 mi.**  
**195 ft.**

**WOODWARD DETROIT CVS LLC**  
**444 S OLD WOODWARD AVE**  
**BIRMINGHAM, MI 48009**

**RCRA-VSQG 1014954689**  
**MIK166505639**

**Site 4 of 8 in cluster A**

**Relative:**  
**Lower**

**RCRA-VSQG:**

**Actual:**  
**766 ft.**

Date Form Received by Agency: 2016-05-06 00:00:00.0  
Handler Name: WOODWARD DETROIT CVS LLC  
Handler Address: 444 S OLD WOODWARD AVE  
Handler City,State,Zip: BIRMINGHAM, MI 48009  
EPA ID: MIK166505639  
Contact Name: NICOLE WILKINSON  
Contact Address: Not reported  
Contact City,State,Zip: Not reported  
Contact Telephone: 401-770-7132  
Contact Fax: Not reported  
Contact Email: NICOLE.WILKINSON@CVSHEALTH.COM  
Contact Title: Not reported  
EPA Region: 05  
Land Type: Private  
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator  
Non-Notifier: Not reported  
Biennial Report Cycle: Not reported  
Accessibility: Not reported  
Active Site Indicator: Handler Activities  
State District Owner: Not reported  
State District: Not reported  
Mailing Address: ONE CVS DR  
Mailing City,State,Zip: WOONSOCKET, RI 02895  
Owner Name: WOODWARD DETROIT CVS LLC  
Owner Type: Private  
Operator Name: WOODWARD DETROIT CVS LLC  
Operator Type: Private

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WOODWARD DETROIT CVS LLC (Continued)**

**1014954689**

Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDs Where RCRA CA has Been Imposed Universe:	No
TSDs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSD Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2016-12-05 14:10:26.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WOODWARD DETROIT CVS LLC (Continued)**

**1014954689**

Biennial: List of Years

Year: 2013

[Click Here for Biennial Reporting System Data:](#)

**Hazardous Waste Summary:**

Waste Code:	D001
Waste Description:	IGNITABLE WASTE
Waste Code:	D002
Waste Description:	CORROSIVE WASTE
Waste Code:	D007
Waste Description:	CHROMIUM
Waste Code:	D009
Waste Description:	MERCURY
Waste Code:	D010
Waste Description:	SELENIUM
Waste Code:	D011
Waste Description:	SILVER
Waste Code:	D024
Waste Description:	M-CRESOL
Waste Code:	P001
Waste Description:	2H-1-BENZOPYRAN-2-ONE, 4-HYDROXY-3-(3-OXO-1-PHENYLBUTYL)-, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3% (OR) WARFARIN, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3%
Waste Code:	P075
Waste Description:	NICOTINE, & SALTS (OR) PYRIDINE, 3-(1-METHYL-2-PYRROLIDINYL)-,(S)-, & SALTS
Waste Code:	P081
Waste Description:	1,2,3-PROPANETRIOL, TRINITRATE (R) (OR) NITROGLYCERINE (R)
Waste Code:	P188
Waste Description:	BENZOIC ACID, 2-HYDROXY-, COMPD. WITH (3AS-CIS)-1,2,3,3A,8,8A-HEXAHYDRO-1,3A,8-TRIMETHYLPYRROLO[2,3-B]INDOL-5-YL METHYLCARBAMATE ESTER (1:1) (OR) PHYSOSTIGMINE SALICYLATE
Waste Code:	U122
Waste Description:	FORMALDEHYDE
Waste Code:	U165
Waste Description:	NAPHTHALENE
Waste Code:	U188
Waste Description:	PHENOL

Handler - Owner Operator:

Owner/Operator Indicator:

Owner/Operator Name:

Operator

WOODWARD DETROIT CVS LLC

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WOODWARD DETROIT CVS LLC (Continued)**

**1014954689**

Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1993-04-29 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WOODWARD DETROIT CVS LLC (Continued)**

**1014954689**

Owner/Operator Indicator:	Owner
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1993-04-29 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1993-04-29 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WOODWARD DETROIT CVS LLC (Continued)**

**1014954689**

Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	GALYN ASSOCIATES LTD PARTNERSHIP (PROPER
Legal Status:	Private
Date Became Current:	1993-04-29 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	GALYN ASSOCIATES LTD PARTNERSHIP (PROPER
Legal Status:	Private
Date Became Current:	1993-04-29 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WOODWARD DETROIT CVS LLC (Continued)**

**1014954689**

Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	GALYN ASSOCIATES LP
Legal Status:	Private
Date Became Current:	1993-04-29 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	1435 N GLENGARRY RD
Owner/Operator City,State,Zip:	BLOOMFIELD VILLAGE, MI 48301
Owner/Operator Telephone:	248-642-8289
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1993-04-29 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WOODWARD DETROIT CVS LLC (Continued)**

**1014954689**

Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Operator
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	WOODWARD DETROIT CVS LLC
Legal Status:	Private
Date Became Current:	1998-03-31 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Historic Generators:	
Receive Date:	2014-02-28 00:00:00.0
Handler Name:	CVS PHARMACY #8136
Federal Waste Generator Description:	Large Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

Receive Date:	2012-05-21 00:00:00.0
Handler Name:	WOODWARD DETROIT CVS LLC
Federal Waste Generator Description:	Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WOODWARD DETROIT CVS LLC (Continued)**

**1014954689**

Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2013-07-29 00:00:00.0
Handler Name:	WOODWARD DETROIT CVS LLC
Federal Waste Generator Description:	Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2014-05-16 00:00:00.0
Handler Name:	WOODWARD DETROIT CVS LLC
Federal Waste Generator Description:	Large Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2014-10-22 00:00:00.0
Handler Name:	WOODWARD DETROIT CVS LLC
Federal Waste Generator Description:	Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2015-01-21 00:00:00.0
Handler Name:	WOODWARD DETROIT CVS LLC
Federal Waste Generator Description:	Large Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2015-04-24 00:00:00.0
Handler Name:	WOODWARD DETROIT CVS LLC

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WOODWARD DETROIT CVS LLC (Continued)**

**1014954689**

Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

Receive Date:	2015-06-22 00:00:00.0
Handler Name:	WOODWARD DETROIT CVS LLC
Federal Waste Generator Description:	Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

Receive Date:	2015-10-26 00:00:00.0
Handler Name:	WOODWARD DETROIT CVS LLC
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

Receive Date:	2016-05-06 00:00:00.0
Handler Name:	WOODWARD DETROIT CVS LLC
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	Yes
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

List of NAICS Codes and Descriptions:

NAICS Code:	44611
NAICS Description:	PHARMACIES AND DRUG STORES

NAICS Code:	812922
NAICS Description:	ONE-HOUR PHOTOFINISHING

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WOODWARD DETROIT CVS LLC (Continued)**

**1014954689**

Facility Has Received Notices of Violations:

Violations:

No Violations Found

Evaluation Action Summary:

Evaluations:

No Evaluations Found

**5**  
**WSW**  
**< 1/8**  
**0.037 mi.**  
**197 ft.**

**BROWN STREET OFFICE BUILDING**  
**200 EAST BROWN**  
**BIRMINGHAM, MI**

**BEA** **S109094147**  
**N/A**

**Relative:**  
**Higher**

**Actual:**  
**769 ft.**

BEA:

Secondary Address: Not reported  
BEA Number: 3891  
District: Southeast MI  
Date Received: 05/02/2008  
Submitter Name: SMS & Associates, LLC  
Petition Determination: Affirmed  
Petition Disclosure: 1  
Category: No Hazardous Substance(s)  
Determination 20107A: No Request  
Reviewer: tiernang  
Division Assigned: RRD

**A6**  
**ESE**  
**< 1/8**  
**0.040 mi.**  
**211 ft.**

**MITCHELL GEORGE E CLEANERS**  
**458 S WOODWARD AVE**  
**BIRMINGHAM, MI 48009**

**EDR Hist Cleaner** **1019994874**  
**N/A**

**Site 5 of 8 in cluster A**

**Relative:**  
**Lower**

**Actual:**  
**766 ft.**

EDR Hist Cleaner

Year:	Name:	Type:
1995	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
1996	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
2011	GEORGE E MITCHELL CLEANERS	Drycleaning Plants, Except Rugs, NEC
2012	GEORGE E MITCHELL CLEANERS	Drycleaning Plants, Except Rugs, NEC
2013	GEORGE E MITCHELL CLEANERS	Drycleaning Plants, Except Rugs, NEC
2014	GEORGE E MITCHELL CLEANERS	Drycleaning Plants, Except Rugs, NEC

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**A7**  
**ESE**  
**< 1/8**  
**0.042 mi.**  
**221 ft.**  
**MITCHELL GEORGE E CLEANERS**  
**458 S OLD WOODWARD AVE**  
**BIRMINGHAM, MI 48009**  
**Site 6 of 8 in cluster A**

**EDR Hist Cleaner** **1018699216**  
**N/A**

**Relative:** EDR Hist Cleaner  
**Lower**

<b>Actual:</b> <b>766 ft.</b>	<b>Year:</b>	<b>Name:</b>	<b>Type:</b>
	1997	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
	1998	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
	1999	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
	2000	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
	2001	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
	2002	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
	2003	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
	2004	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
	2005	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
	2006	MITCHELL GEORGE E CLEANERS	Drycleaning Plants, Except Rugs, NEC
	2007	GEORGE E MITCHELL CLEANERS	Drycleaning Plants, Except Rugs, NEC
	2008	GEORGE E MITCHELL CLEANERS	Drycleaning Plants, Except Rugs, NEC
	2009	GEORGE E MITCHELL CLEANERS	Drycleaning Plants, Except Rugs, NEC
	2010	GEORGE E MITCHELL CLEANERS	Drycleaning Plants, Except Rugs, NEC

**A8**  
**ESE**  
**< 1/8**  
**0.044 mi.**  
**230 ft.**  
**ESTATE MOTORS**  
**464 S WOODWARD AVE**  
**BIRMINGHAM, MI 48011**  
**Site 7 of 8 in cluster A**

**LUST** **U004181541**  
**UST** **N/A**

**Relative:** LUST:  
**Lower**

<b>Actual:</b> <b>765 ft.</b>	<b>Name:</b>	ESTATE MOTORS
	<b>Address:</b>	464 S WOODWARD AVE
	<b>City,State,Zip:</b>	BIRMINGHAM, MI 99999
	<b>Facility ID:</b>	00015180
	<b>Source:</b>	STATE OF MICHIGAN
	<b>Owner Name:</b>	OWNER ADDRESS UNKNOWN
	<b>Owner Address:</b>	Not Recorded
	<b>Owner City,St,Zip:</b>	Not Recorded, XX 99999
	<b>Owner Contact:</b>	Not reported
	<b>Owner Phone:</b>	Not reported
	<b>Country:</b>	USA
	<b>District:</b>	Warren
	<b>Site Name:</b>	Estate Motors
	<b>Latitude:</b>	42.54384
	<b>Longitude:</b>	-83.21181
	<b>Date of Collection:</b>	01/11/2001
	<b>Method of Collection:</b>	Address Matching-House Number
	<b>Accuracy:</b>	100
	<b>Accuracy Value Unit:</b>	FEET
	<b>Horizontal Data:</b>	NAD83
	<b>Point Line Area:</b>	POINT
	<b>Desc Category:</b>	Plant Entrance (Freight)
	<b>Leak Number:</b>	C-1669-91
	<b>Release Date:</b>	08/09/1991
	<b>Substance Released:</b>	Unknown
	<b>Release Status:</b>	Closed
	<b>Release Closed Date:</b>	01/06/1993



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESTATE MOTORS (Continued)**

**U004181541**

Leak Number: C-2071-92  
Release Date: 11/20/1992  
Substance Released: Gasoline  
Release Status: Closed  
Release Closed Date: 06/30/1994

**UST:**

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Facility Type: CLOSED  
Facility ID: 00015180  
Facility Region: Not reported  
Owner Name: OWNER ADDRESS UNKNOWN  
Owner Address: NOT RECORDED  
Owner City: NOT RECORDED  
Owner State: XX  
Owner Zip: 99999  
Owner Contact: Not reported  
Owner Phone: Not reported  
Contact: Not reported  
Contact Phone: Not reported  
Date of Collection: Not reported  
Accuracy: Not reported  
Horizontal Datum: Not reported  
Accuracy Value Unit: Not reported  
Source: Not reported  
Point Line Area: Not reported  
Desc Category: Not reported  
Method of Collection: Not reported  
District: Not reported  
Tank ID: 9  
Capacity: 6000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: 05/01/1986  
Remove Date: 09/13/1991  
Tank Number: UTK-022981-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Galvanized Steel  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel  
Impressed Device: Not reported  
Latitude: Not reported  
Longitude: Not reported

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Facility Type: CLOSED  
Facility ID: 00015180  
Facility Region: Not reported  
Owner Name: OWNER ADDRESS UNKNOWN  
Owner Address: NOT RECORDED  
Owner City: NOT RECORDED  
Owner State: XX

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESTATE MOTORS (Continued)**

**U004181541**

Owner Zip:	99999
Owner Contact:	Not reported
Owner Phone:	Not reported
Contact:	Not reported
Contact Phone:	Not reported
Date of Collection:	Not reported
Accuracy:	Not reported
Horizontal Datum:	Not reported
Accuracy Value Unit:	Not reported
Source:	Not reported
Point Line Area:	Not reported
Desc Category:	Not reported
Method of Collection:	Not reported
District:	Not reported
Tank ID:	5
Capacity:	3000
Tank Status:	Removed from Ground
Substance:	Used Oil
Install Date:	04/05/1971
Remove Date:	09/13/1991
Tank Number:	UTK-013217-15
Tank Details Compartments:	Not reported
Tank Release Detection:	Not reported
Pipe Release Detection:	Not reported
Piping Material:	Galvanized Steel
Piping Type:	Not reported
Tank Construction:	Asphalt Coated or Bare Steel
Impressed Device:	Not reported
Latitude:	Not reported
Longitude:	Not reported
Name:	ESTATE MOTORS
Address:	464 S WOODWARD AVE
City,State,Zip:	BIRMINGHAM, MI 48011
Facility Type:	CLOSED
Facility ID:	00015180
Facility Region:	Not reported
Owner Name:	OWNER ADDRESS UNKNOWN
Owner Address:	NOT RECORDED
Owner City:	NOT RECORDED
Owner State:	XX
Owner Zip:	99999
Owner Contact:	Not reported
Owner Phone:	Not reported
Contact:	Not reported
Contact Phone:	Not reported
Date of Collection:	Not reported
Accuracy:	Not reported
Horizontal Datum:	Not reported
Accuracy Value Unit:	Not reported
Source:	Not reported
Point Line Area:	Not reported
Desc Category:	Not reported
Method of Collection:	Not reported
District:	Not reported
Tank ID:	4
Capacity:	10000

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESTATE MOTORS (Continued)**

**U004181541**

Tank Status:	Removed from Ground
Substance:	Diesel
Install Date:	04/05/1975
Remove Date:	09/13/1991
Tank Number:	UTK-030692-15
Tank Details Compartments:	Not reported
Tank Release Detection:	Not reported
Pipe Release Detection:	Not reported
Piping Material:	Galvanized Steel
Piping Type:	Not reported
Tank Construction:	Asphalt Coated or Bare Steel
Impressed Device:	Not reported
Latitude:	Not reported
Longitude:	Not reported
Name:	ESTATE MOTORS
Address:	464 S WOODWARD AVE
City,State,Zip:	BIRMINGHAM, MI 48011
Facility Type:	CLOSED
Facility ID:	00015180
Facility Region:	Not reported
Owner Name:	OWNER ADDRESS UNKNOWN
Owner Address:	NOT RECORDED
Owner City:	NOT RECORDED
Owner State:	XX
Owner Zip:	99999
Owner Contact:	Not reported
Owner Phone:	Not reported
Contact:	Not reported
Contact Phone:	Not reported
Date of Collection:	Not reported
Accuracy:	Not reported
Horizontal Datum:	Not reported
Accuracy Value Unit:	Not reported
Source:	Not reported
Point Line Area:	Not reported
Desc Category:	Not reported
Method of Collection:	Not reported
District:	Not reported
Tank ID:	3
Capacity:	2000
Tank Status:	Removed from Ground
Substance:	Used Oil
Install Date:	04/04/1974
Remove Date:	05/01/1986
Tank Number:	UTK-076416-15
Tank Details Compartments:	Not reported
Tank Release Detection:	Not reported
Pipe Release Detection:	Not reported
Piping Material:	Galvanized Steel
Piping Type:	Not reported
Tank Construction:	Asphalt Coated or Bare Steel
Impressed Device:	Not reported
Latitude:	Not reported
Longitude:	Not reported

Name: ESTATE MOTORS

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESTATE MOTORS (Continued)**

**U004181541**

Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Facility Type: CLOSED  
Facility ID: 00015180  
Facility Region: Not reported  
Owner Name: OWNER ADDRESS UNKNOWN  
Owner Address: NOT RECORDED  
Owner City: NOT RECORDED  
Owner State: XX  
Owner Zip: 99999  
Owner Contact: Not reported  
Owner Phone: Not reported  
Contact: Not reported  
Contact Phone: Not reported  
Date of Collection: Not reported  
Accuracy: Not reported  
Horizontal Datum: Not reported  
Accuracy Value Unit: Not reported  
Source: Not reported  
Point Line Area: Not reported  
Desc Category: Not reported  
Method of Collection: Not reported  
District: Not reported  
Tank ID: 2  
Capacity: 2000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: 04/04/1974  
Remove Date: 05/01/1986  
Tank Number: UTK-076411-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Galvanized Steel  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel  
Impressed Device: Not reported  
Latitude: Not reported  
Longitude: Not reported

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Facility Type: CLOSED  
Facility ID: 00015180  
Facility Region: Not reported  
Owner Name: OWNER ADDRESS UNKNOWN  
Owner Address: NOT RECORDED  
Owner City: NOT RECORDED  
Owner State: XX  
Owner Zip: 99999  
Owner Contact: Not reported  
Owner Phone: Not reported  
Contact: Not reported  
Contact Phone: Not reported  
Date of Collection: Not reported  
Accuracy: Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESTATE MOTORS (Continued)**

**U004181541**

Horizontal Datum: Not reported  
Accuracy Value Unit: Not reported  
Source: Not reported  
Point Line Area: Not reported  
Desc Category: Not reported  
Method of Collection: Not reported  
District: Not reported  
Tank ID: 13  
Capacity: 1000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: Not reported  
Remove Date: 01/01/1992  
Tank Number: UTK-086615-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Other  
Piping Material: Bare Steel  
Piping Type: Suction: No Valve at Tank  
Tank Construction: Asphalt Coated or Bare Steel,Other  
Impressed Device: Not reported  
Latitude: Not reported  
Longitude: Not reported

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Facility Type: CLOSED  
Facility ID: 00015180  
Facility Region: Not reported  
Owner Name: OWNER ADDRESS UNKNOWN  
Owner Address: NOT RECORDED  
Owner City: NOT RECORDED  
Owner State: XX  
Owner Zip: 99999  
Owner Contact: Not reported  
Owner Phone: Not reported  
Contact: Not reported  
Contact Phone: Not reported  
Date of Collection: Not reported  
Accuracy: Not reported  
Horizontal Datum: Not reported  
Accuracy Value Unit: Not reported  
Source: Not reported  
Point Line Area: Not reported  
Desc Category: Not reported  
Method of Collection: Not reported  
District: Not reported  
Tank ID: 12  
Capacity: 1000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: Not reported  
Remove Date: 01/01/1992  
Tank Number: UTK-011057-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESTATE MOTORS (Continued)**

**U004181541**

Pipe Release Detection: Other  
Piping Material: Bare Steel  
Piping Type: Suction: No Valve at Tank  
Tank Construction: Asphalt Coated or Bare Steel,Other  
Impressed Device: Not reported  
Latitude: Not reported  
Longitude: Not reported

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Facility Type: CLOSED  
Facility ID: 00015180  
Facility Region: Not reported  
Owner Name: OWNER ADDRESS UNKNOWN  
Owner Address: NOT RECORDED  
Owner City: NOT RECORDED  
Owner State: XX  
Owner Zip: 99999  
Owner Contact: Not reported  
Owner Phone: Not reported  
Contact: Not reported  
Contact Phone: Not reported  
Date of Collection: Not reported  
Accuracy: Not reported  
Horizontal Datum: Not reported  
Accuracy Value Unit: Not reported  
Source: Not reported  
Point Line Area: Not reported  
Desc Category: Not reported  
Method of Collection: Not reported  
District: Not reported  
Tank ID: 11  
Capacity: 1000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: Not reported  
Remove Date: 01/01/1992  
Tank Number: UTK-086611-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Other  
Piping Material: Bare Steel  
Piping Type: Suction: No Valve at Tank  
Tank Construction: Asphalt Coated or Bare Steel,Other  
Impressed Device: Not reported  
Latitude: Not reported  
Longitude: Not reported

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Facility Type: CLOSED  
Facility ID: 00015180  
Facility Region: Not reported  
Owner Name: OWNER ADDRESS UNKNOWN  
Owner Address: NOT RECORDED

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESTATE MOTORS (Continued)**

**U004181541**

Owner City:	NOT RECORDED
Owner State:	XX
Owner Zip:	99999
Owner Contact:	Not reported
Owner Phone:	Not reported
Contact:	Not reported
Contact Phone:	Not reported
Date of Collection:	Not reported
Accuracy:	Not reported
Horizontal Datum:	Not reported
Accuracy Value Unit:	Not reported
Source:	Not reported
Point Line Area:	Not reported
Desc Category:	Not reported
Method of Collection:	Not reported
District:	Not reported
Tank ID:	10
Capacity:	1000
Tank Status:	Removed from Ground
Substance:	Gasoline
Install Date:	Not reported
Remove Date:	01/01/1992
Tank Number:	UTK-086608-15
Tank Details Compartments:	Not reported
Tank Release Detection:	Not reported
Pipe Release Detection:	Other
Piping Material:	Bare Steel
Piping Type:	Suction: No Valve at Tank
Tank Construction:	Asphalt Coated or Bare Steel,Other
Impressed Device:	Not reported
Latitude:	Not reported
Longitude:	Not reported
Name:	ESTATE MOTORS
Address:	464 S WOODWARD AVE
City,State,Zip:	BIRMINGHAM, MI 48011
Facility Type:	CLOSED
Facility ID:	00015180
Facility Region:	Not reported
Owner Name:	OWNER ADDRESS UNKNOWN
Owner Address:	NOT RECORDED
Owner City:	NOT RECORDED
Owner State:	XX
Owner Zip:	99999
Owner Contact:	Not reported
Owner Phone:	Not reported
Contact:	Not reported
Contact Phone:	Not reported
Date of Collection:	Not reported
Accuracy:	Not reported
Horizontal Datum:	Not reported
Accuracy Value Unit:	Not reported
Source:	Not reported
Point Line Area:	Not reported
Desc Category:	Not reported
Method of Collection:	Not reported
District:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESTATE MOTORS (Continued)**

**U004181541**

Tank ID: 1  
Capacity: 2000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: 04/04/1974  
Remove Date: 05/01/1986  
Tank Number: UTK-076407-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Galvanized Steel  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel  
Impressed Device: Not reported  
Latitude: Not reported  
Longitude: Not reported

[Click this hyperlink](#) while viewing on your computer to access additional MI\_UST: detail in the EDR Site Report.

**UST 2:**

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: Not reported  
Owner Address: Not reported  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: Not reported  
Owner Phone: Not reported  
Record ID: UTK-086611-15  
Facility Status: Inactive  
Tank ID: 11  
Tank Status: Removed from Ground  
Tank Capacity: 1000  
Tank Content: Gasoline  
Install Date: Not reported  
Removal Date: 01/01/1992  
Tank Release Detect: Not reported  
Pipe Release Detect: Other  
Tank Piping Material: Bare Steel  
Tank Constr. Material: Asphalt Coated or Bare Steel,Other

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: Not reported  
Owner Address: Not reported  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: Not reported  
Owner Phone: Not reported  
Record ID: UTK-086615-15  
Facility Status: Inactive  
Tank ID: 13



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESTATE MOTORS (Continued)**

**U004181541**

Tank Status: Removed from Ground  
Tank Capacity: 1000  
Tank Content: Gasoline  
Install Date: Not reported  
Removal Date: 01/01/1992  
Tank Release Detect: Not reported  
Pipe Release Detect: Other  
Tank Piping Material: Bare Steel  
Tank Constr. Material: Asphalt Coated or Bare Steel,Other

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: Not reported  
Owner Address: Not reported  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: Not reported  
Owner Phone: Not reported  
Record ID: UTK-022981-15  
Facility Status: Inactive  
Tank ID: 9  
Tank Status: Removed from Ground  
Tank Capacity: 6000  
Tank Content: Gasoline  
Install Date: 05/01/1986  
Removal Date: 09/13/1991  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Galvanized Steel  
Tank Constr. Material: Asphalt Coated or Bare Steel

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: Not reported  
Owner Address: Not reported  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: Not reported  
Owner Phone: Not reported  
Record ID: UTK-076416-15  
Facility Status: Inactive  
Tank ID: 3  
Tank Status: Removed from Ground  
Tank Capacity: 2000  
Tank Content: Used Oil  
Install Date: 04/04/1974  
Removal Date: 05/01/1986  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Galvanized Steel  
Tank Constr. Material: Asphalt Coated or Bare Steel

Name: ESTATE MOTORS

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESTATE MOTORS (Continued)**

**U004181541**

Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: Not reported  
Owner Address: Not reported  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: Not reported  
Owner Phone: Not reported  
Record ID: UTK-013217-15  
Facility Status: Inactive  
Tank ID: 5  
Tank Status: Removed from Ground  
Tank Capacity: 3000  
Tank Content: Used Oil  
Install Date: 04/05/1971  
Removal Date: 09/13/1991  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Galvanized Steel  
Tank Constr. Material: Asphalt Coated or Bare Steel

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: Not reported  
Owner Address: Not reported  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: Not reported  
Owner Phone: Not reported  
Record ID: UTK-086608-15  
Facility Status: Inactive  
Tank ID: 10  
Tank Status: Removed from Ground  
Tank Capacity: 1000  
Tank Content: Gasoline  
Install Date: Not reported  
Removal Date: 01/01/1992  
Tank Release Detect: Not reported  
Pipe Release Detect: Other  
Tank Piping Material: Bare Steel  
Tank Constr. Material: Asphalt Coated or Bare Steel,Other

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: Not reported  
Owner Address: Not reported  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: Not reported  
Owner Phone: Not reported  
Record ID: UTK-016735-15  
Facility Status: Inactive

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESTATE MOTORS (Continued)**

**U004181541**

Tank ID: 7  
Tank Status: Currently In Use  
Tank Capacity: 55  
Tank Content: Other  
Install Date: 04/04/1976  
Removal Date: Not reported  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Galvanized Steel  
Tank Constr. Material: Asphalt Coated or Bare Steel

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: Not reported  
Owner Address: Not reported  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: Not reported  
Owner Phone: Not reported  
Record ID: UTK-038362-15  
Facility Status: Inactive  
Tank ID: 6  
Tank Status: Currently In Use  
Tank Capacity: 55  
Tank Content: Other  
Install Date: 04/04/1976  
Removal Date: Not reported  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Galvanized Steel  
Tank Constr. Material: Asphalt Coated or Bare Steel

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: Not reported  
Owner Address: Not reported  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: Not reported  
Owner Phone: Not reported  
Record ID: UTK-030692-15  
Facility Status: Inactive  
Tank ID: 4  
Tank Status: Removed from Ground  
Tank Capacity: 10000  
Tank Content: Diesel  
Install Date: 04/05/1975  
Removal Date: 09/13/1991  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Galvanized Steel  
Tank Constr. Material: Asphalt Coated or Bare Steel

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESTATE MOTORS (Continued)**

**U004181541**

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: Not reported  
Owner Address: Not reported  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: Not reported  
Owner Phone: Not reported  
Record ID: UTK-076411-15  
Facility Status: Inactive  
Tank ID: 2  
Tank Status: Removed from Ground  
Tank Capacity: 2000  
Tank Content: Gasoline  
Install Date: 04/04/1974  
Removal Date: 05/01/1986  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Galvanized Steel  
Tank Constr. Material: Asphalt Coated or Bare Steel

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: Not reported  
Owner Address: Not reported  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: Not reported  
Owner Phone: Not reported  
Record ID: UTK-076432-15  
Facility Status: Inactive  
Tank ID: 8  
Tank Status: Removed from Ground  
Tank Capacity: 55  
Tank Content: Other  
Install Date: 04/04/1976  
Removal Date: 08/02/1990  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Galvanized Steel  
Tank Constr. Material: Asphalt Coated or Bare Steel

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: Not reported  
Owner Address: Not reported  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: Not reported  
Owner Phone: Not reported  
Record ID: UTK-011057-15



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESTATE MOTORS (Continued)**

**U004181541**

Facility Status: Inactive  
Tank ID: 12  
Tank Status: Removed from Ground  
Tank Capacity: 1000  
Tank Content: Gasoline  
Install Date: Not reported  
Removal Date: 01/01/1992  
Tank Release Detect: Not reported  
Pipe Release Detect: Other  
Tank Piping Material: Bare Steel  
Tank Constr. Material: Asphalt Coated or Bare Steel,Other

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: OWNER ADDRESS UNKNOWN  
Owner Address: Not Recorded  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: 99999  
Owner Phone: Not reported  
Record ID: UTK-011057-15  
Facility Status: Not reported  
Tank ID: Not reported  
Tank Status: Removed from Ground  
Tank Capacity: Not reported  
Tank Content: Not reported  
Install Date: 01/01/1900  
Removal Date: 01/01/1900  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Not reported  
Tank Constr. Material: Not reported

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: OWNER ADDRESS UNKNOWN  
Owner Address: Not Recorded  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: 99999  
Owner Phone: Not reported  
Record ID: UTK-013217-15  
Facility Status: Not reported  
Tank ID: Not reported  
Tank Status: Removed from Ground  
Tank Capacity: Not reported  
Tank Content: Not reported  
Install Date: 01/01/1900  
Removal Date: 01/01/1900  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Not reported  
Tank Constr. Material: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESTATE MOTORS (Continued)**

**U004181541**

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: OWNER ADDRESS UNKNOWN  
Owner Address: Not Recorded  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: 99999  
Owner Phone: Not reported  
Record ID: UTK-016735-15  
Facility Status: Not reported  
Tank ID: Not reported  
Tank Status: Currently In Use  
Tank Capacity: Not reported  
Tank Content: Not reported  
Install Date: 01/01/1900  
Removal Date: 01/01/1900  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Not reported  
Tank Constr. Material: Not reported

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: OWNER ADDRESS UNKNOWN  
Owner Address: Not Recorded  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: 99999  
Owner Phone: Not reported  
Record ID: UTK-022981-15  
Facility Status: Not reported  
Tank ID: Not reported  
Tank Status: Removed from Ground  
Tank Capacity: Not reported  
Tank Content: Not reported  
Install Date: 01/01/1900  
Removal Date: 01/01/1900  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Not reported  
Tank Constr. Material: Not reported

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: OWNER ADDRESS UNKNOWN  
Owner Address: Not Recorded  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: 99999  
Owner Phone: Not reported  
Record ID: UTK-030692-15

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESTATE MOTORS (Continued)**

**U004181541**

Facility Status: Not reported  
Tank ID: Not reported  
Tank Status: Removed from Ground  
Tank Capacity: Not reported  
Tank Content: Not reported  
Install Date: 01/01/1900  
Removal Date: 01/01/1900  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Not reported  
Tank Constr. Material: Not reported

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: OWNER ADDRESS UNKNOWN  
Owner Address: Not Recorded  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: 99999  
Owner Phone: Not reported  
Record ID: UTK-038362-15  
Facility Status: Not reported  
Tank ID: Not reported  
Tank Status: Currently In Use  
Tank Capacity: Not reported  
Tank Content: Not reported  
Install Date: 01/01/1900  
Removal Date: 01/01/1900  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Not reported  
Tank Constr. Material: Not reported

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: OWNER ADDRESS UNKNOWN  
Owner Address: Not Recorded  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: 99999  
Owner Phone: Not reported  
Record ID: UTK-076407-15  
Facility Status: Not reported  
Tank ID: Not reported  
Tank Status: Removed from Ground  
Tank Capacity: Not reported  
Tank Content: Not reported  
Install Date: 01/01/1900  
Removal Date: 01/01/1900  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Not reported  
Tank Constr. Material: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESTATE MOTORS (Continued)**

**U004181541**

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: OWNER ADDRESS UNKNOWN  
Owner Address: Not Recorded  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: 99999  
Owner Phone: Not reported  
Record ID: UTK-076411-15  
Facility Status: Not reported  
Tank ID: Not reported  
Tank Status: Removed from Ground  
Tank Capacity: Not reported  
Tank Content: Not reported  
Install Date: 01/01/1900  
Removal Date: 01/01/1900  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Not reported  
Tank Constr. Material: Not reported

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: OWNER ADDRESS UNKNOWN  
Owner Address: Not Recorded  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: 99999  
Owner Phone: Not reported  
Record ID: UTK-076416-15  
Facility Status: Not reported  
Tank ID: Not reported  
Tank Status: Removed from Ground  
Tank Capacity: Not reported  
Tank Content: Not reported  
Install Date: 01/01/1900  
Removal Date: 01/01/1900  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Not reported  
Tank Constr. Material: Not reported

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: OWNER ADDRESS UNKNOWN  
Owner Address: Not Recorded  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: 99999  
Owner Phone: Not reported  
Record ID: UTK-076432-15

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESTATE MOTORS (Continued)**

**U004181541**

Facility Status: Not reported  
Tank ID: Not reported  
Tank Status: Removed from Ground  
Tank Capacity: Not reported  
Tank Content: Not reported  
Install Date: 01/01/1900  
Removal Date: 01/01/1900  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Not reported  
Tank Constr. Material: Not reported

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: OWNER ADDRESS UNKNOWN  
Owner Address: Not Recorded  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: 99999  
Owner Phone: Not reported  
Record ID: UTK-086608-15  
Facility Status: Not reported  
Tank ID: Not reported  
Tank Status: Removed from Ground  
Tank Capacity: Not reported  
Tank Content: Not reported  
Install Date: 01/01/1900  
Removal Date: 01/01/1900  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Not reported  
Tank Constr. Material: Not reported

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: OWNER ADDRESS UNKNOWN  
Owner Address: Not Recorded  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: 99999  
Owner Phone: Not reported  
Record ID: UTK-086611-15  
Facility Status: Not reported  
Tank ID: Not reported  
Tank Status: Removed from Ground  
Tank Capacity: Not reported  
Tank Content: Not reported  
Install Date: 01/01/1900  
Removal Date: 01/01/1900  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Not reported  
Tank Constr. Material: Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESTATE MOTORS (Continued)**

**U004181541**

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: OWNER ADDRESS UNKNOWN  
Owner Address: Not Recorded  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: 99999  
Owner Phone: Not reported  
Record ID: UTK-086615-15  
Facility Status: Not reported  
Tank ID: Not reported  
Tank Status: Removed from Ground  
Tank Capacity: Not reported  
Tank Content: Not reported  
Install Date: 01/01/1900  
Removal Date: 01/01/1900  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Not reported  
Tank Constr. Material: Not reported

Name: ESTATE MOTORS  
Address: 464 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48011  
Region: Not reported  
Owner Name: Not reported  
Owner Address: Not reported  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: Not reported  
Owner Phone: Not reported  
Record ID: UTK-076407-15  
Facility Status: Inactive  
Tank ID: 1  
Tank Status: Removed from Ground  
Tank Capacity: 2000  
Tank Content: Gasoline  
Install Date: 04/04/1974  
Removal Date: 05/01/1986  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Galvanized Steel  
Tank Constr. Material: Asphalt Coated or Bare Steel

**A9**  
**ESE**  
**< 1/8**  
**0.044 mi.**  
**231 ft.**

**ESTATE MOTORS LTD**  
**464 S OLD WOODWARD AVE**  
**BIRMINGHAM, MI 48009**

**Site 8 of 8 in cluster A**

**Relative:**  
**Lower**

**Actual:**  
**765 ft.**

RCRA NonGen / NLR:  
Date Form Received by Agency:  
Handler Name:  
Handler Address:  
Handler City,State,Zip:  
EPA ID:

1998-11-02 00:00:00.0  
ESTATE MOTORS LTD  
464 S OLD WOODWARD AVE  
BIRMINGHAM, MI 48009  
MID040571135

**RCRA NonGen / NLR**  
**FINDS**  
**ECHO**

**1000158893**  
**MID040571135**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESTATE MOTORS LTD (Continued)**

**1000158893**

Contact Name:	JOHN POLK
Contact Address:	464 S OLD WOODWARD AVE
Contact City,State,Zip:	BIRMINGHAM, MI 48009
Contact Telephone:	313-644-8400
Contact Fax:	Not reported
Contact Email:	Not reported
Contact Title:	Not reported
EPA Region:	05
Land Type:	Private
Federal Waste Generator Description:	Not a generator, verified
Non-Notifier:	Not reported
Biennial Report Cycle:	Not reported
Accessibility:	Not reported
Active Site Indicator:	Not reported
State District Owner:	Not reported
State District:	Not reported
Mailing Address:	464 S OLD WOODWARD AVE
Mailing City,State,Zip:	BIRMINGHAM, MI 48009
Owner Name:	HESQUIERE CHARLES G JR
Owner Type:	Private
Operator Name:	NAME NOT REPORTED
Operator Type:	Private
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESTATE MOTORS LTD (Continued)**

**1000158893**

Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

**Hazardous Waste Summary:**

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

**Handler - Owner Operator:**

Owner/Operator Indicator:	Operator
Owner/Operator Name:	NAME NOT REPORTED
Legal Status:	Private
Date Became Current:	1970-01-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	HESQUIERE CHARLES G JR
Legal Status:	Private
Date Became Current:	1970-01-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Operator
Owner/Operator Name:	NAME NOT REPORTED
Legal Status:	Private
Date Became Current:	1970-01-01 00:00:00.
Date Ended Current:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESTATE MOTORS LTD (Continued)**

**1000158893**

Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	HESQUIERE CHARLES G JR
Legal Status:	Private
Date Became Current:	1970-01-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Historic Generators:

Receive Date:	1998-11-02 00:00:00.0
Handler Name:	ESTATE MOTORS LTD
Federal Waste Generator Description:	Not a generator, verified
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	Yes
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

Receive Date:	1986-10-06 00:00:00.0
Handler Name:	ESTATE MOTORS LTD
Federal Waste Generator Description:	Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

List of NAICS Codes and Descriptions:

NAICS Code:	11131
NAICS Description:	ORANGE GROVES

Facility Has Received Notices of Violations:

Violations:	No Violations Found
-------------	---------------------

Evaluation Action Summary:

Evaluations:	No Evaluations Found
--------------	----------------------

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESTATE MOTORS LTD (Continued)**

**1000158893**

**FINDS:**

Registry ID: 110003593111

Click Here:

**Environmental Interest/Information System:**

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

**ECHO:**

Envid: 1000158893  
Registry ID: 110003593111  
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110003593111>  
Name: ESTATE MOTORS LTD  
Address: 464 S OLD WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009

**B10**  
**North**  
**< 1/8**  
**0.053 mi.**  
**280 ft.**

**ESSCO OF BIRMINGHAM LLC**  
**255 S OLD WOODWARD AVE**  
**BIRMINGHAM, MI 48009**

**RCRA-VSQG 1017770828**  
**MIK656803600**

**Site 1 of 3 in cluster B**

**Relative:**  
**Higher**

**RCRA-VSQG:**

**Actual:**  
**773 ft.**

Date Form Received by Agency: 2015-01-21 00:00:00.0  
Handler Name: ESSCO OF BIRMINGHAM LLC  
Handler Address: 255 S OLD WOODWARD AVE  
Handler City,State,Zip: BIRMINGHAM, MI 48009  
EPA ID: MIK656803600  
Contact Name: STEFANIE FOUMIA  
Contact Address: Not reported  
Contact City,State,Zip: Not reported  
Contact Telephone: 248-645-5900  
Contact Fax: 248-645-5922  
Contact Email: JESSHAKI@ESSCODEVELOPMENT.COM  
Contact Title: Not reported  
EPA Region: 05  
Land Type: Private  
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator  
Non-Notifier: Not reported  
Biennial Report Cycle: Not reported  
Accessibility: Not reported  
Active Site Indicator: Handler Activities  
State District Owner: Not reported  
State District: Not reported  
Mailing Address: 210 OLD WOODWARD AVE  
Mailing City,State,Zip: BIRMINGHAM, MI 48009  
Owner Name: ESSCO OF BIRMINGHAM LLC  
Owner Type: Private  
Operator Name: ESSCO OF BIRMINGHAM LLC  
Operator Type: Private



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESSCO OF BIRMINGHAM LLC (Continued)**

**1017770828**

Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDs Where RCRA CA has Been Imposed Universe:	No
TSDs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSD Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2015-01-30 09:08:48.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ESSCO OF BIRMINGHAM LLC (Continued)**

**1017770828**

Hazardous Waste Summary:

Waste Code: D001  
Waste Description: IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator: Operator  
Owner/Operator Name: ESSCO OF BIRMINGHAM LLC  
Legal Status: Private  
Date Became Current: 2000-06-01 00:00:00.  
Date Ended Current: Not reported  
Owner/Operator Address: Not reported  
Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner  
Owner/Operator Name: ESSCO OF BIRMINGHAM LLC  
Legal Status: Private  
Date Became Current: 2000-06-01 00:00:00.  
Date Ended Current: Not reported  
Owner/Operator Address: Not reported  
Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 2015-01-21 00:00:00.0  
Handler Name: ESSCO OF BIRMINGHAM LLC  
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator  
State District Owner: Not reported  
Large Quantity Handler of Universal Waste: No  
Recognized Trader Importer: No  
Recognized Trader Exporter: No  
Spent Lead Acid Battery Importer: No  
Spent Lead Acid Battery Exporter: No  
Current Record: Yes  
Non Storage Recycler Activity: Not reported  
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 531190  
NAICS Description: LESSORS OF OTHER REAL ESTATE PROPERTY

Facility Has Received Notices of Violations:

Violations: No Violations Found

Evaluation Action Summary:

Evaluations: No Evaluations Found

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

EDR ID Number  
EPA ID Number

**B11**  
**North**  
**< 1/8**  
**0.053 mi.**  
**280 ft.**

**GAS STATION TV**  
**255 S OLD WOODWARD AVE**  
**BIRMINGHAM, MI 48009**

**EDR Hist Auto** **1022226173**  
**N/A**

**Site 2 of 3 in cluster B**

**Relative:**  
**Higher**

EDR Hist Auto

**Actual:**  
**773 ft.**

Year:	Name:	Type:
2009	GAS STATION TV	Gasoline Service Stations
2010	GAS STATION TV	Gasoline Service Stations
2011	GAS STATION TV	Gasoline Service Stations
2012	GAS STATION TV	Gasoline Service Stations

**C12**  
**East**  
**< 1/8**  
**0.054 mi.**  
**286 ft.**

**BRITANNIA PROPERTIES LLC**  
**401 S OLD WOODWARD AVE**  
**BIRMINGHAM, MI 48009**

**EDR Hist Auto** **1020586160**  
**N/A**

**Site 1 of 2 in cluster C**

**Relative:**  
**Lower**

EDR Hist Auto

**Actual:**  
**767 ft.**

Year:	Name:	Type:
2009	BRITANNIA PROPERTIES LLC	Gasoline Service Stations, NEC
2010	BRITANNIA PROPERTIES LLC	Gasoline Service Stations, NEC
2011	BRITANNIA PROPERTIES LLC	Gasoline Service Stations, NEC
2011	GAS CITY CORPORATE OFFICES	Gasoline Service Stations
2012	BRITANNIA PROPERTIES LLC	Gasoline Service Stations, NEC
2012	GAS CITY LTD	Gasoline Service Stations, NEC
2012	GAS CITY CORPORATE OFFICES	Gasoline Service Stations
2013	GAS CITY LTD	Gasoline Service Stations, NEC
2013	GAS CITY CORPORATE OFFICES	Gasoline Service Stations
2014	GAS CITY CORPORATE OFFICES	Gasoline Service Stations
2014	GAS CITY LTD	Gasoline Service Stations, NEC

**D13**  
**NE**  
**< 1/8**  
**0.072 mi.**  
**381 ft.**

**JAX KAR WASH #048**  
**34745 WOODWARD AVE**  
**BIRMINGHAM, MI 48009**

**LUST** **U003319644**  
**UST** **N/A**  
**INVENTORY**  
**BEA**  
**WDS**

**Site 1 of 5 in cluster D**

**Relative:**  
**Higher**

**Actual:**  
**770 ft.**

**LUST:**

Name:	JAX KAR WASH #048
Address:	34745 WOODWARD AVE
City,State,Zip:	BIRMINGHAM, MI 48009-
Facility ID:	00001952
Source:	STATE OF MICHIGAN
Owner Name:	JaxKar Wash #048
Owner Address:	Not reported
Owner City,St,Zip:	UNKNOWN, MI
Owner Contact:	Not reported
Owner Phone:	Not reported
Country:	USA
District:	Warren
Site Name:	Jax Kar Wash #048
Latitude:	42.53949
Longitude:	-83.20706
Date of Collection:	01/11/2001

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JAX KAR WASH #048 (Continued)**

**U003319644**

Method of Collection: Address Matching-House Number  
Accuracy: 100  
Accuracy Value Unit: FEET  
Horizontal Data: NAD83  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)

Leak Number: C-0859-00  
Release Date: 10/27/2000  
Substance Released: Unknown  
Release Status: Open  
Release Closed Date: Not reported

**UST:**

Name: JAX KAR WASH #048  
Address: 34745 WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-0927  
Facility Type: CLOSED  
Facility ID: 00001952  
Facility Region: 1  
Owner Name: JAX KAR WASH #048  
Owner Address: 34745 WOODWARD  
Owner City: BIRMINGHAM  
Owner State: MI  
Owner Zip: 48011  
Owner Contact: Not reported  
Owner Phone: Not reported  
Contact: Abdeem Shakoor  
Contact Phone: (781) 231-9300  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 2  
Capacity: 10000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: 01/01/1966  
Remove Date: 10/27/2000  
Tank Number: UTK-091831-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Galvanized Steel  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel  
Impressed Device: Not reported  
Latitude: 42.53949  
Longitude: -83.20706

Name: JAX KAR WASH #048  
Address: 34745 WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-0927

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JAX KAR WASH #048 (Continued)**

**U003319644**

Facility Type: CLOSED  
Facility ID: 00001952  
Facility Region: 1  
Owner Name: JAX KAR WASH #048  
Owner Address: 34745 WOODWARD  
Owner City: BIRMINGHAM  
Owner State: MI  
Owner Zip: 48011  
Owner Contact: Not reported  
Owner Phone: Not reported  
Contact: Abdeem Shakoor  
Contact Phone: (781) 231-9300  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 1  
Capacity: 10000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: 01/01/1966  
Remove Date: 10/27/2000  
Tank Number: UTK-091828-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Galvanized Steel  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel  
Impressed Device: Not reported  
Latitude: 42.53949  
Longitude: -83.20706

**INVENTORY:**

Name: JAX KAR WASH  
Address: 34745 WOODWARD AVENUE  
City,State,Zip: MI 48009  
Bea Number: 200101459LV  
Township: Birmingham  
District: Southeast MI  
Data Source: BEA  
Latitude: Not reported  
Longitude: Not reported

Name: JAX KAR WASH #048  
Address: 34745 WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009  
Bea Number: Not reported  
Township: Not reported  
District: Southeast MI  
Data Source: Part 213  
Latitude: 42.53949



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JAX KAR WASH #048 (Continued)**

**U003319644**

Longitude: -83.20706

**BEA:**

Secondary Address: Not reported  
BEA Number: 1459  
District: Southeast MI  
Date Received: 08/08/2001  
Submitter Name: BMW CAR WASH, L.L.C.  
Petition Determination: No Request  
Petition Disclosure: 0  
Category: Same Hazardous Substance(s)  
Determination 20107A: No Request  
Reviewer: coht  
Division Assigned: Storage Tank Division

**WDS:**

Name: WASH DEPOT  
Address: 34745 WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009  
Site Id: MIG000026887  
WMD Id: 429618  
Site Specific Name: WASH DEPOT  
Mailing Address: 34745 WOODWARD AVE  
Mailing City/State/Zip: 48009  
Mailing County: OAKLAND

**C14**  
**East**  
**< 1/8**  
**0.076 mi.**  
**399 ft.**

**FRANKLIN SAVINGS BANK**  
**479 S OLD WOODWARD AVE**  
**BIRMINGHAM, MI 48009**

**Site 2 of 2 in cluster C**

**UST U003867174**  
**N/A**

**Relative:**  
**Lower**

**UST:**

**Actual:**  
**765 ft.**

Name: FRANKLIN SAVINGS BANK  
Address: 479 S OLD WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-6652  
Facility Type: CLOSED  
Facility ID: 00013244  
Facility Region: 1  
Owner Name: FRANKLIN BANK  
Owner Address: PO BOX 5006  
Owner City: SOUTHFIELD  
Owner State: MI  
Owner Zip: 48086-5006  
Owner Contact: Not reported  
Owner Phone: 2483589526  
Contact: DOUGLAS DOSSIN  
Contact Phone: (313) 358-0818  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FRANKLIN SAVINGS BANK (Continued)**

**U003867174**

Tank ID: 1  
Capacity: 1000  
Tank Status: Removed from Ground  
Substance: Used Oil  
Install Date: Not reported  
Remove Date: 09/28/1988  
Tank Number: UTK-001044-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Unknown  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel  
Impressed Device: Not reported  
Latitude: 42.54392  
Longitude: -83.21143

**B15**  
**North**  
**< 1/8**  
**0.085 mi.**  
**450 ft.**

**UPTOWN ENTERTAINMENT**  
**211 S OLD WOODWARD AVE**  
**BIRMINGHAM, MI 48009**

**RCRA NonGen / NLR**

**1016958103**  
**MIK151544753**

**Site 3 of 3 in cluster B**

**Relative:**  
**Higher**  
**Actual:**  
**776 ft.**

RCRA NonGen / NLR:  
Date Form Received by Agency: 2014-01-10 00:00:00.0  
Handler Name: UPTOWN ENTERTAINMENT  
Handler Address: 211 S OLD WOODWARD AVE  
Handler City,State,Zip: BIRMINGHAM, MI 48009  
EPA ID: MIK151544753  
Contact Name: DUSTIN HAURWELL  
Contact Address: Not reported  
Contact City,State,Zip: Not reported  
Contact Telephone: 248-723-6230  
Contact Fax: Not reported  
Contact Email: Not reported  
Contact Title: Not reported  
EPA Region: 05  
Land Type: Private  
Federal Waste Generator Description: Not a generator, verified  
Non-Notifier: Not reported  
Biennial Report Cycle: Not reported  
Accessibility: Not reported  
Active Site Indicator: Not reported  
State District Owner: Not reported  
State District: Not reported  
Mailing Address: 211 S OLD WOODWARD AVE  
Mailing City,State,Zip: BIRMINGHAM, MI 48009  
Owner Name: UPTOWN ENTERTAINMENT  
Owner Type: Private  
Operator Name: UPTOWN ENTERTAINMENT  
Operator Type: Private  
Short-Term Generator Activity: No  
Importer Activity: No  
Mixed Waste Generator: No  
Transporter Activity: No  
Transfer Facility Activity: No  
Recycler Activity with Storage: No  
Small Quantity On-Site Burner Exemption: No

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**UPTOWN ENTERTAINMENT (Continued)**

**1016958103**

Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2015-01-05 10:34:24.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

**Hazardous Waste Summary:**

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

**Handler - Owner Operator:**

Owner/Operator Indicator:	Operator
---------------------------	----------

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**UPTOWN ENTERTAINMENT (Continued)**

**1016958103**

Owner/Operator Name:	UPTOWN ENTERTAINMENT
Legal Status:	Private
Date Became Current:	2014-01-10 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	UPTOWN ENTERTAINMENT
Legal Status:	Private
Date Became Current:	2014-01-10 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Historic Generators:

Receive Date:	2014-01-10 00:00:00.0
Handler Name:	UPTOWN ENTERTAINMENT
Federal Waste Generator Description:	Not a generator, verified
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	Yes
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

List of NAICS Codes and Descriptions:

NAICS Code:	562910
NAICS Description:	REMEDIATION SERVICES

Facility Has Received Notices of Violations:

Violations:	No Violations Found
-------------	---------------------

Evaluation Action Summary:

Evaluations:	No Evaluations Found
--------------	----------------------

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

EDR ID Number  
EPA ID Number

	Site	Database(s)	
<b>E16</b>	<b>MAVERICK EXPRESS INC</b>	<b>EDR Hist Auto</b>	<b>1022110556</b>
<b>ESE</b>	<b>555 S WOODWARD</b>		<b>N/A</b>
<b>&lt; 1/8</b>	<b>BIRMINGHAM, MI 48011</b>		
<b>0.087 mi.</b>			
<b>459 ft.</b>	<b>Site 1 of 3 in cluster E</b>		
<b>Relative:</b>	EDR Hist Auto		
<b>Lower</b>			
<b>Actual:</b>	Year: Name:	Type:	
<b>764 ft.</b>	1983 MAVERICK EXPRESS INC	Gasoline Service Stations	

<b>E17</b>	<b>BIRMINGHAM CLEANERS INC</b>	<b>EDR Hist Cleaner</b>	<b>1019940021</b>
<b>ESE</b>	<b>1253 555 S WOODWARD</b>		<b>N/A</b>
<b>&lt; 1/8</b>	<b>BIRMINGHAM, MI 48009</b>		
<b>0.087 mi.</b>			
<b>459 ft.</b>	<b>Site 2 of 3 in cluster E</b>		
<b>Relative:</b>	EDR Hist Cleaner		
<b>Lower</b>			
<b>Actual:</b>	Year: Name:	Type:	
<b>764 ft.</b>	1991 MUNSON JAMES S INC	Drycleaning Plants, Except Rugs	
	1991 BIRMINGHAM CLEANERS INC	Drycleaning Plants, Except Rugs	
	1991 WATKINS MANAGEMENT CO	Drycleaning Plants, Except Rugs, NEC	
	1992 WATKINS MANAGEMENT CO	Drycleaning Plants, Except Rugs, NEC	
	1992 BIRMINGHAM CLEANERS INC	Drycleaning Plants, Except Rugs	
	1992 MUNSON JAMES S INC	Drycleaning Plants, Except Rugs	

<b>D18</b>	<b>WOODWARD BROWN ASSOCIATES, LLC</b>	<b>INVENTORY</b>	<b>S114029255</b>
<b>NE</b>	<b>34901 WOODWARD AVENUE</b>		<b>N/A</b>
<b>&lt; 1/8</b>	<b>OAKLAND (County), MI 48073</b>		
<b>0.091 mi.</b>			
<b>482 ft.</b>	<b>Site 2 of 5 in cluster D</b>		
<b>Relative:</b>	INVENTORY:		
<b>Higher</b>	Name: WOODWARD BROWN ASSOCIATES, LLC		
<b>Actual:</b>	Address: 34901 WOODWARD AVENUE		
<b>773 ft.</b>	City,State,Zip: MI 48073		
	Bea Number: 201004572LV		
	Township: Birmingham		
	District: Southeast MI		
	Data Source: BEA		
	Latitude: 42.54567		
	Longitude: -83.21134		

<b>D19</b>	<b>WOODWARD BROWN ASSOCIATES, LLC</b>	<b>BEA</b>	<b>S110624723</b>
<b>NE</b>	<b>34901 WOODWARD AVENUE</b>		<b>N/A</b>
<b>&lt; 1/8</b>	<b>BIRMINGHAM, MI 48073</b>		
<b>0.094 mi.</b>			
<b>498 ft.</b>	<b>Site 3 of 5 in cluster D</b>		
<b>Relative:</b>	BEA:		
<b>Higher</b>	Secondary Address: Not reported		
<b>Actual:</b>	BEA Number: 4572		
<b>773 ft.</b>	District: Southeast MI		
	Date Received: 09/16/2010		
	Submitter Name: Woodward Brown Associates, LLC		
	Petition Determination: No Request		



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WOODWARD BROWN ASSOCIATES, LLC (Continued)**

**S110624723**

Petition Disclosure: 0  
Category: No Hazardous Substance(s)  
Determination 20107A: No Request  
Reviewer: berakr  
Division Assigned: RRD

**D20  
NE  
< 1/8  
0.094 mi.  
498 ft.**

**WEISS SAMONA  
34901 WOODWARD AVENUE  
BIRMINGHAM, MI 48009**

**US BROWNFIELDS  
FINDS**

**1016357344  
N/A**

**Site 4 of 5 in cluster D**

**Relative:  
Higher**

**US BROWNFIELDS:**

**Actual:  
773 ft.**

Name: WEISS SAMONA  
Address: 34901 WOODWARD AVENUE  
City,State,Zip: BIRMINGHAM, MI 48009  
Recipient Name: Oakland County  
Grant Type: Assessment  
Property Number: -  
Parcel size: 0.52  
Latitude: 42.545658  
Longitude: -83.2113339  
HCM Label: -  
Map Scale: -  
Point of Reference: -  
Highlights: -  
Datum: -  
Acres Property ID: 115761  
IC Data Access: -  
Start Date: -  
Redev Completion Date: -  
Completed Date: -  
Acres Cleaned Up: -  
Cleanup Funding: -  
Cleanup Funding Source: -  
Assessment Funding: 2800  
Assessment Funding Source: EPA  
Redevelopment Funding: -  
Redev. Funding Source: -  
Redev. Funding Entity Name: -  
Redevelopment Start Date: -  
Assessment Funding Entity: US EPA - Brownfields Assessment Cooperative Agreement  
Cleanup Funding Entity: -  
Grant Type: Hazardous  
Accomplishment Type: Phase I Environmental Assessment  
Accomplishment Count: N  
Cooperative Agreement Number: 00E92301  
Start Date: 4/27/2010  
Ownership Entity: Private  
Completion Date: -  
Current Owner: -  
Did Owner Change: -  
Cleanup Required: U  
Video Available: -  
Photo Available: Y  
Institutional Controls Required: U  
IC Category Proprietary Controls: -  
IC Cat. Info. Devices: -

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WEISS SAMONA (Continued)**

**1016357344**

IC Cat. Gov. Controls:	-
IC Cat. Enforcement Permit Tools:	-
IC in place date:	-
IC in place:	-
State/tribal program date:	-
State/tribal program ID:	-
State/tribal NFA date:	-
Air cleaned:	-
Asbestos found:	-
Asbestos cleaned:	-
Controlled substance found:	-
Controlled substance cleaned:	-
Drinking water affected:	-
Drinking water cleaned:	-
Groundwater affected:	Y
Groundwater cleaned:	-
Lead contaminant found:	Y
Lead cleaned up:	-
No media affected:	-
Unknown media affected:	-
Other cleaned up:	-
Other metals found:	Y
Other metals cleaned:	-
Other contaminants found:	-
Other contaminants found description:	-
PAHs found:	-
PAHs cleaned up:	-
PCBs found:	-
PCBs cleaned up:	-
Petro products found:	-
Petro products cleaned:	-
Sediments found:	-
Sediments cleaned:	-
Soil affected:	Y
Soil cleaned up:	-
Surface water cleaned:	-
VOCs found:	Y
VOCs cleaned:	-
Cleanup other description:	-
Num. of cleanup and re-dev. jobs:	-
Past use greenspace acreage:	-
Past use residential acreage:	-
Surface Water:	-
Past use commercial acreage:	0.52
Past use industrial acreage:	-
Future use greenspace acreage:	-
Future use residential acreage:	-
Future use commercial acreage:	-
Future use industrial acreage:	-
Superfund Fed. landowner flag:	-
Arsenic cleaned up:	-
Cadmium cleaned up:	-
Chromium cleaned up:	-
Copper cleaned up:	-
Iron cleaned up:	-
mercury cleaned up:	-
Nickel Cleaned Up:	-

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WEISS SAMONA (Continued)**

**1016357344**

No clean up: -  
Pesticides cleaned up: -  
Selenium cleaned up: -  
SVOCs cleaned up: -  
Unknown clean up: -  
Arsenic contaminant found: -  
Cadmium contaminant found: -  
Chromium contaminant found: -  
Copper contaminant found: -  
Iron contaminant found: -  
Mercury contaminant found: -  
Nickel contaminant found: -  
No contaminant found: -  
Pesticides contaminant found: -  
Selenium contaminant found: -  
SVOCs contaminant found: -  
Unknown contaminant found: -  
Future Use: Multistory -  
Media affected Bluiding Material: -  
Media affected indoor air: -  
Building material media cleaned up: -  
Indoor air media cleaned up: -  
Unknown media cleaned up: -  
Past Use: Multistory -  
Property Description:

The Property was developed as a feed mill in 1915. From at least 1921 to at least 1931 the Property was used as a lumber and coal yard, with up to nine buildings and several areas labeled as lumber piles. By 1944 the northern portion of the Property was developed with a bowling alley and by 1949 the southwest corner of the Property was developed with a hand laundry building. The southern portion of the Property was occupied by a used car lot by 1960. The bowling alley reportedly operated until at least 1973 when it was occupied for retail uses. A commercial strip mall building was constructed by 1974 and occupied the southern portion of the Property until 2005. Since the demolition of the buildings in 2005, the Property has been used as a parking lot.

Below Poverty Number: 80  
Below Poverty Percent: 2.48  
Meidan Income: 10501  
Meidan Income Number: 237  
Meidan Income Percent: 7.33  
Vacant Housing Number: 169  
Vacant Housing Percent: 9.31  
Unemployed Number: 75  
Unemployed Percent: 2.32

Name: WEISS SAMONA  
Address: 34901 WOODWARD AVENUE  
City,State,Zip: BIRMINGHAM, MI 48009  
Recipient Name: Oakland County  
Grant Type: Assessment  
Property Number: -  
Parcel size: 0.52  
Latitude: 42.545658  
Longitude: -83.2113339  
HCM Label: -  
Map Scale: -  
Point of Reference: -

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WEISS SAMONA (Continued)**

**1016357344**

Highlights:	-
Datum:	-
Acres Property ID:	115761
IC Data Access:	-
Start Date:	-
Redev Completion Date:	-
Completed Date:	-
Acres Cleaned Up:	-
Cleanup Funding:	-
Cleanup Funding Source:	-
Assessment Funding:	5400
Assessment Funding Source:	EPA
Redevelopment Funding:	-
Redev. Funding Source:	-
Redev. Funding Entity Name:	-
Redevelopment Start Date:	-
Assessment Funding Entity:	US EPA - Brownfields Assessment Cooperative Agreement
Cleanup Funding Entity:	-
Grant Type:	Hazardous
Accomplishment Type:	Phase II Environmental Assessment
Accomplishment Count:	N
Cooperative Agreement Number:	00E92301
Start Date:	5/26/2010
Ownership Entity:	Private
Completion Date:	-
Current Owner:	-
Did Owner Change:	-
Cleanup Required:	U
Video Available:	-
Photo Available:	Y
Institutional Controls Required:	U
IC Category Proprietary Controls:	-
IC Cat. Info. Devices:	-
IC Cat. Gov. Controls:	-
IC Cat. Enforcement Permit Tools:	-
IC in place date:	-
IC in place:	-
State/tribal program date:	-
State/tribal program ID:	-
State/tribal NFA date:	-
Air cleaned:	-
Asbestos found:	-
Asbestos cleaned:	-
Controlled substance found:	-
Controlled substance cleaned:	-
Drinking water affected:	-
Drinking water cleaned:	-
Groundwater affected:	Y
Groundwater cleaned:	-
Lead contaminant found:	Y
Lead cleaned up:	-
No media affected:	-
Unknown media affected:	-
Other cleaned up:	-
Other metals found:	Y
Other metals cleaned:	-
Other contaminants found:	-

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WEISS SAMONA (Continued)**

**1016357344**

Other contams found description:	-
PAHs found:	-
PAHs cleaned up:	-
PCBs found:	-
PCBs cleaned up:	-
Petro products found:	-
Petro products cleaned:	-
Sediments found:	-
Sediments cleaned:	-
Soil affected:	Y
Soil cleaned up:	-
Surface water cleaned:	-
VOCs found:	Y
VOCs cleaned:	-
Cleanup other description:	-
Num. of cleanup and re-dev. jobs:	-
Past use greenspace acreage:	-
Past use residential acreage:	-
Surface Water:	-
Past use commercial acreage:	0.52
Past use industrial acreage:	-
Future use greenspace acreage:	-
Future use residential acreage:	-
Future use commercial acreage:	-
Future use industrial acreage:	-
Superfund Fed. landowner flag:	-
Arsenic cleaned up:	-
Cadmium cleaned up:	-
Chromium cleaned up:	-
Copper cleaned up:	-
Iron cleaned up:	-
mercury cleaned up:	-
Nickel Cleaned Up:	-
No clean up:	-
Pesticides cleaned up:	-
Selenium cleaned up:	-
SVOCs cleaned up:	-
Unknown clean up:	-
Arsenic contaminant found:	-
Cadmium contaminant found:	-
Chromium contaminant found:	-
Copper contaminant found:	-
Iron contaminant found:	-
Mercury contaminant found:	-
Nickel contaminant found:	-
No contaminant found:	-
Pesticides contaminant found:	-
Selenium contaminant found:	-
SVOCs contaminant found:	-
Unknown contaminant found:	-
Future Use: Multistory	-
Media affected Bluiding Material:	-
Media affected indoor air:	-
Building material media cleaned up:	-
Indoor air media cleaned up:	-
Unknown media cleaned up:	-
Past Use: Multistory	-



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WEISS SAMONA (Continued)**

**1016357344**

Property Description:

The Property was developed as a feed mill in 1915. From at least 1921 to at least 1931 the Property was used as a lumber and coal yard, with up to nine buildings and several areas labeled as lumber piles. By 1944 the northern portion of the Property was developed with a bowling alley and by 1949 the southwest corner of the Property was developed with a hand laundry building. The southern portion of the Property was occupied by a used car lot by 1960. The bowling alley reportedly operated until at least 1973 when it was occupied for retail uses. A commercial strip mall building was constructed by 1974 and occupied the southern portion of the Property until 2005. Since the demolition of the buildings in 2005, the Property has been used as a parking lot.

Below Poverty Number: 80  
Below Poverty Percent: 2.48  
Meidan Income: 10501  
Meidan Income Number: 237  
Meidan Income Percent: 7.33  
Vacant Housing Number: 169  
Vacant Housing Percent: 9.31  
Unemployed Number: 75  
Unemployed Percent: 2.32

FINDS:

Registry ID: 110043085050

Click Here:

Environmental Interest/Information System:

US EPA Assessment, Cleanup and Redevelopment Exchange System (ACRES) is an federal online database for Brownfields Grantees to electronically submit data directly to EPA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

D21  
NE  
< 1/8  
0.094 mi.  
498 ft.

**WOODWARD BROWN ASSOC LLC**  
**34901 WOODWARD**  
**BIRMINGHAM, MI 48009**  
**Site 5 of 5 in cluster D**

**INVENTORY S114029254**  
**N/A**

**Relative:**  
**Higher**

INVENTORY:

**Actual:**  
**773 ft.**

Name: WOODWARD BROWN ASSOC LLC  
Address: 34901 WOODWARD  
City,State,Zip: BIRMINGHAM, MI 48009  
Bea Number: Not reported  
Township: Birmingham  
District: Southeast MI  
Data Source: Part 201  
Latitude: 42.54567  
Longitude: -83.21134

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

EDR ID Number  
EPA ID Number

**E22**  
**SE**  
**< 1/8**  
**0.098 mi.**  
**519 ft.**  
**MITCHELL GEORGE E CLEANERS INC**  
**534 S WOODWARD AVE**  
**BIRMINGHAM, MI 48067**  
**Site 3 of 3 in cluster E**

**EDR Hist Cleaner**  
**1020042154**  
**N/A**

**Relative:**  
**Lower**  
EDR Hist Cleaner

**Actual:**  
**763 ft.**

Year: Name:  
1969 MITCHELL-DOUGLAS CLEANERS  
1970 MITCHELL-DOUGLAS CLEANERS  
1971 MITCHELL GEORGE E CLEANERS  
1972 MITCHELL GEORGE E CLEANERS  
1973 MITCHELL GEORGE E CLEANERS  
1974 MITCHELL GEORGE E CLEANERS  
1975 MITCHELL GEORGE E CLEANERS  
1976 MITCHELL GEORGE E CLEANERS  
1977 MITCHELL GEORGE E CLEANERS  
1978 MITCHELL GEORGE E CLEANERS  
1979 MITCHELL GEORGE E CLEANERS  
1980 MITCHELL GEORGE E CLEANERS INC

Type:  
Drycleaning Plants, Except Rugs  
Drycleaning Plants, Except Rugs  
Drycleaning Plants, Except Rugs  
Drycleaning Plants, Except Rugs  
Drycleaning Plants, Except Rugs  
Drycleaning Plants, Except Rugs  
Drycleaning Plants, Except Rugs  
Drycleaning Plants, Except Rugs  
Drycleaning Plants, Except Rugs  
Drycleaning Plants, Except Rugs  
Drycleaning Plants, Except Rugs  
Drycleaning Plants, Except Rugs

**F23**  
**NNW**  
**< 1/8**  
**0.116 mi.**  
**612 ft.**  
**BIRMINGHAM CAMERA SHOP**  
**168 S OLD WOODWARD AVE**  
**BIRMINGHAM, MI 48009**  
**Site 1 of 2 in cluster F**

**RCRA NonGen / NLR**  
**FINDS**  
**ECHO**  
**1000828149**  
**MID985652064**

**Relative:**  
**Higher**  
**Actual:**  
**780 ft.**

RCRA NonGen / NLR:  
Date Form Received by Agency: 1994-06-20 00:00:00.0  
Handler Name: BIRMINGHAM CAMERA SHOP  
Handler Address: 168 S OLD WOODWARD AVE  
Handler City,State,Zip: BIRMINGHAM, MI 48009  
EPA ID: MID985652064  
Contact Name: WILLIAM DAY  
Contact Address: 168 S OLD WOODWARD AVE  
Contact City,State,Zip: BIRMINGHAM, MI 48009  
Contact Telephone: 248-644-0510  
Contact Fax: Not reported  
Contact Email: Not reported  
Contact Title: Not reported  
EPA Region: 05  
Land Type: Private  
Federal Waste Generator Description: Not a generator, verified  
Non-Notifier: Not reported  
Biennial Report Cycle: Not reported  
Accessibility: Not reported  
Active Site Indicator: Not reported  
State District Owner: Not reported  
State District: Not reported  
Mailing Address: 168 S OLD WOODWARD AVE  
Mailing City,State,Zip: BIRMINGHAM, MI 48009  
Owner Name: DAY WILLIAM  
Owner Type: Private  
Operator Name: DAY WILLIAM  
Operator Type: Private  
Short-Term Generator Activity: No  
Importer Activity: No  
Mixed Waste Generator: No  
Transporter Activity: No

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BIRMINGHAM CAMERA SHOP (Continued)**

**1000828149**

Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

**Hazardous Waste Summary:**

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BIRMINGHAM CAMERA SHOP (Continued)**

**1000828149**

Handler - Owner Operator:

Owner/Operator Indicator:	Owner
Owner/Operator Name:	DAY WILLIAM
Legal Status:	Private
Date Became Current:	1970-01-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	DAY WILLIAM
Legal Status:	Private
Date Became Current:	1970-01-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Operator
Owner/Operator Name:	DAY WILLIAM
Legal Status:	Private
Date Became Current:	1970-01-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Operator
Owner/Operator Name:	DAY WILLIAM
Legal Status:	Private
Date Became Current:	1970-01-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Historic Generators:

Receive Date:	1994-06-20 00:00:00.0
Handler Name:	BIRMINGHAM CAMERA SHOP
Federal Waste Generator Description:	Not a generator, verified
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BIRMINGHAM CAMERA SHOP (Continued)**

**1000828149**

Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	Yes
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	1992-10-01 00:00:00.0
Handler Name:	BIRMINGHAM CAMERA SHOP
Federal Waste Generator Description:	Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

List of NAICS Codes and Descriptions:

NAICS Code:	44313
NAICS Description:	CAMERA AND PHOTOGRAPHIC SUPPLIES STORES

Facility Has Received Notices of Violations:

Violations:	No Violations Found
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Evaluation Action Summary:

Evaluations:	No Evaluations Found
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FINDS:

Registry ID:	110003675443
--------------	--------------

Click Here:

Environmental Interest/Information System:

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid:	1000828149
Registry ID:	110003675443
DFR URL:	<a href="http://echo.epa.gov/detailed-facility-report?fid=110003675443">http://echo.epa.gov/detailed-facility-report?fid=110003675443</a>
Name:	BIRMINGHAM CAMERA SHOP
Address:	168 S OLD WOODWARD AVE
City,State,Zip:	BIRMINGHAM, MI 48009



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

EDR ID Number  
EPA ID Number

	Site	Database(s)	
<b>G24</b> <b>NNE</b> <b>&lt; 1/8</b> <b>0.119 mi.</b> <b>627 ft.</b>	<b>34965 WOODWARD AVENUE</b> <b>34965 WOODWARD AVENUE</b> <b>BIRMINGHAM, MI 48009</b>  <b>Site 1 of 5 in cluster G</b>	<b>INVENTORY</b>	<b>S118622157</b> <b>N/A</b>
<b>Relative:</b> <b>Higher</b>	<b>INVENTORY:</b>		
<b>Actual:</b> <b>777 ft.</b>	Name: PEABODY OWNER, LLC		
	Address: 34965 WOODWARD AVENUE		
	City,State,Zip: MI 48009		
	Bea Number: 201607216LV		
	Township: Birmingham		
	District: Southeast MI		
	Data Source: BEA		
	Latitude: 42.54618		
	Longitude: -83.21161		
	Name: 34965 WOODWARD AVENUE		
	Address: 34965 WOODWARD AVENUE		
	City,State,Zip: BIRMINGHAM, MI 48009		
	Bea Number: Not reported		
	Township: Birmingham		
	District: Southeast MI		
	Data Source: Part 201		
	Latitude: 42.54618		
	Longitude: -83.21161		
	Name: ALDEN DEVELOPMENT GROUP, LLC		
	Address: 34965 WOODWARD AVENUE		
	City,State,Zip: MI 48009		
	Bea Number: 201606862LV		
	Township: Birmingham		
	District: Southeast MI		
	Data Source: BEA		
	Latitude: 42.54618		
	Longitude: -83.21161		
<b>H25</b> <b>ENE</b> <b>1/8-1/4</b> <b>0.129 mi.</b> <b>679 ft.</b>	<b>SPEEDWAY LLC</b> <b>34750 WOODWARD AVE</b> <b>BIRMINGHAM, MI 48009</b>  <b>Site 1 of 4 in cluster H</b>	<b>RCRA-VSQG</b> <b>UST</b> <b>FINDS</b> <b>ECHO</b>	<b>1000844604</b> <b>MID985666387</b>
<b>Relative:</b> <b>Higher</b>	<b>RCRA-VSQG:</b>		
<b>Actual:</b> <b>768 ft.</b>	Date Form Received by Agency:	2012-08-20 00:00:00.0	
	Handler Name:	SPEEDWAY LLC	
	Handler Address:	34750 WOODWARD AVE	
	Handler City,State,Zip:	BIRMINGHAM, MI 48009	
	EPA ID:	MID985666387	
	Contact Name:	CHARLES A BESSE	
	Contact Address:	Not reported	
	Contact City,State,Zip:	Not reported	
	Contact Telephone:	937-863-6272	
	Contact Fax:	937-863-6078	
	Contact Email:	CABESSE@SPEEDWAY.COM	
	Contact Title:	Not reported	
	EPA Region:	05	
	Land Type:	Private	
	Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator	
	Non-Notifier:	Not reported	

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SPEEDWAY LLC (Continued)**

**1000844604**

Biennial Report Cycle:	Not reported
Accessibility:	Not reported
Active Site Indicator:	Handler Activities
State District Owner:	Not reported
State District:	Not reported
Mailing Address:	PO BOX 1500
Mailing City,State,Zip:	SPRINGFIELD, OH 45501
Owner Name:	SPEEDWAY LLC
Owner Type:	Private
Operator Name:	SPEEDWAY LLC
Operator Type:	Private
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SPEEDWAY LLC (Continued)**

**1000844604**

Financial Assurance Required:	Not reported
Handler Date of Last Change:	2012-09-05 15:29:56.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

**Hazardous Waste Summary:**

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

**Handler - Owner Operator:**

Owner/Operator Indicator:	Operator
Owner/Operator Name:	SPEEDWAY LLC
Legal Status:	Private
Date Became Current:	1999-06-10 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Operator
Owner/Operator Name:	SPEEDWAY SUPERAMERICA LLC
Legal Status:	Private
Date Became Current:	1999-12-11 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	SPEEDWAY LLC
Legal Status:	Private
Date Became Current:	1999-06-10 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	SPEEDWAY SUPERAMERICA LLC
Legal Status:	Private
Date Became Current:	1999-12-11 00:00:00.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SPEEDWAY LLC (Continued)**

**1000844604**

Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	SPEEDWAY SUPERAMERICA LLC
Legal Status:	Private
Date Became Current:	1999-12-11 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	SPEEDWAY SUPERAMERICA LLC
Legal Status:	Private
Date Became Current:	1999-12-11 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	SPEEDWAY SUPERAMERICA LLC
Legal Status:	Private
Date Became Current:	1999-12-11 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	SPEEDWAY SUPERAMERICA LLC
Legal Status:	Private
Date Became Current:	1999-12-11 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SPEEDWAY LLC (Continued)**

**1000844604**

Historic Generators:

Receive Date:	1998-09-17 00:00:00.0
Handler Name:	SPEEDWAY SUPERAMERICA LLC
Federal Waste Generator Description:	Not a generator, verified
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	1993-09-02 00:00:00.0
Handler Name:	SPEEDWAY SUPERAMERICA LLC
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2005-06-03 00:00:00.0
Handler Name:	SPEEDWAY SUPERAMERICA LLC
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2012-08-20 00:00:00.0
Handler Name:	SPEEDWAY LLC
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	Yes
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

List of NAICS Codes and Descriptions:

NAICS Code:	44711
NAICS Description:	GASOLINE STATIONS WITH CONVENIENCE STORES



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SPEEDWAY LLC (Continued)**

**1000844604**

Facility Has Received Notices of Violations:

Violations:

No Violations Found

Evaluation Action Summary:

Evaluations:

No Evaluations Found

**UST:**

Name: SPEEDWAY #8721  
Address: 34750 WOODWARD 347 BLVD  
City,State,Zip: BIRMINGHAM, MI 48009  
Facility Type: ACTIVE  
Facility ID: 00016370  
Facility Region: 1  
Owner Name: SPEEDWAY LLC  
Owner Address: PO BOX 1500  
Owner City: SPRINGFIELD  
Owner State: OH  
Owner Zip: 45501  
Owner Contact: Not reported  
Owner Phone: 9378643000  
Contact: Eric Swaisgood  
Contact Phone: (937) 863-6513  
Date of Collection: 04/06/2007  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off  
District: Region 1 - SE Michigan District Office  
Tank ID: 9  
Capacity: 8000  
Tank Status: Currently In Use  
Substance: Diesel  
Install Date: 05/01/1992  
Remove Date: Not reported  
Tank Number: UTK-018955-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Automatic Tank Gauging  
Pipe Release Detection: Automatic Line Leak Detectors,Line Tightness Testing  
Piping Material: Fiberglass Reinforced Plastic  
Piping Type: Pressure (Remote)  
Tank Construction: Cathodically Protected Steel  
Impressed Device: Not reported  
Latitude: 42.54488  
Longitude: -83.20977

Name: SPEEDWAY #8721  
Address: 34750 WOODWARD 347 BLVD  
City,State,Zip: BIRMINGHAM, MI 48009  
Facility Type: ACTIVE  
Facility ID: 00016370  
Facility Region: 1  
Owner Name: SPEEDWAY LLC

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SPEEDWAY LLC (Continued)**

**1000844604**

Owner Address: PO BOX 1500  
Owner City: SPRINGFIELD  
Owner State: OH  
Owner Zip: 45501  
Owner Contact: Not reported  
Owner Phone: 9378643000  
Contact: Eric Swaisgood  
Contact Phone: (937) 863-6513  
Date of Collection: 04/06/2007  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off  
District: Region 1 - SE Michigan District Office  
Tank ID: 8  
Capacity: 10000  
Tank Status: Currently In Use  
Substance: Gasoline  
Install Date: 05/01/1992  
Remove Date: Not reported  
Tank Number: UTK-087832-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Automatic Tank Gauging  
Pipe Release Detection: Automatic Line Leak Detectors, Line Tightness Testing  
Piping Material: Fiberglass Reinforced Plastic  
Piping Type: Pressure (Remote)  
Tank Construction: Cathodically Protected Steel  
Impressed Device: Not reported  
Latitude: 42.54488  
Longitude: -83.20977

Name: SPEEDWAY #8721  
Address: 34750 WOODWARD 347 BLVD  
City, State, Zip: BIRMINGHAM, MI 48009  
Facility Type: ACTIVE  
Facility ID: 00016370  
Facility Region: 1  
Owner Name: SPEEDWAY LLC  
Owner Address: PO BOX 1500  
Owner City: SPRINGFIELD  
Owner State: OH  
Owner Zip: 45501  
Owner Contact: Not reported  
Owner Phone: 9378643000  
Contact: Eric Swaisgood  
Contact Phone: (937) 863-6513  
Date of Collection: 04/06/2007  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SPEEDWAY LLC (Continued)**

**1000844604**

District: Region 1 - SE Michigan District Office  
Tank ID: 7  
Capacity: 10000  
Tank Status: Currently In Use  
Substance: Gasoline  
Install Date: 05/01/1992  
Remove Date: Not reported  
Tank Number: UTK-088271-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Automatic Tank Gauging  
Pipe Release Detection: Automatic Line Leak Detectors,Line Tightness Testing  
Piping Material: Fiberglass Reinforced Plastic  
Piping Type: Pressure (Remote)  
Tank Construction: Cathodically Protected Steel  
Impressed Device: Not reported  
Latitude: 42.54488  
Longitude: -83.20977

Name: SPEEDWAY #8721  
Address: 34750 WOODWARD 347 BLVD  
City,State,Zip: BIRMINGHAM, MI 48009  
Facility Type: ACTIVE  
Facility ID: 00016370  
Facility Region: 1  
Owner Name: SPEEDWAY LLC  
Owner Address: PO BOX 1500  
Owner City: SPRINGFIELD  
Owner State: OH  
Owner Zip: 45501  
Owner Contact: Not reported  
Owner Phone: 9378643000  
Contact: Eric Swaisgood  
Contact Phone: (937) 863-6513  
Date of Collection: 04/06/2007  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off  
District: Region 1 - SE Michigan District Office  
Tank ID: 6  
Capacity: 12000  
Tank Status: Currently In Use  
Substance: Gasoline  
Install Date: 05/01/1992  
Remove Date: Not reported  
Tank Number: UTK-025147-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Automatic Tank Gauging  
Pipe Release Detection: Automatic Line Leak Detectors,Line Tightness Testing  
Piping Material: Fiberglass Reinforced Plastic  
Piping Type: Pressure (Remote)  
Tank Construction: Cathodically Protected Steel  
Impressed Device: Not reported  
Latitude: 42.54488

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SPEEDWAY LLC (Continued)**

**1000844604**

Longitude: -83.20977

Name: SPEEDWAY #8721  
Address: 34750 WOODWARD 347 BLVD  
City,State,Zip: BIRMINGHAM, MI 48009  
Facility Type: ACTIVE  
Facility ID: 00016370  
Facility Region: 1  
Owner Name: SPEEDWAY LLC  
Owner Address: PO BOX 1500  
Owner City: SPRINGFIELD  
Owner State: OH  
Owner Zip: 45501  
Owner Contact: Not reported  
Owner Phone: 9378643000  
Contact: Eric Swaisgood  
Contact Phone: (937) 863-6513  
Date of Collection: 04/06/2007  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off  
District: Region 1 - SE Michigan District Office  
Tank ID: 5  
Capacity: 550  
Tank Status: Removed from Ground  
Substance: Used Oil  
Install Date: 04/22/1959  
Remove Date: 03/01/1992  
Tank Number: UTK-088262-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Galvanized Steel  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel  
Impressed Device: Not reported  
Latitude: 42.54488  
Longitude: -83.20977

Name: SPEEDWAY #8721  
Address: 34750 WOODWARD 347 BLVD  
City,State,Zip: BIRMINGHAM, MI 48009  
Facility Type: ACTIVE  
Facility ID: 00016370  
Facility Region: 1  
Owner Name: SPEEDWAY LLC  
Owner Address: PO BOX 1500  
Owner City: SPRINGFIELD  
Owner State: OH  
Owner Zip: 45501  
Owner Contact: Not reported  
Owner Phone: 9378643000  
Contact: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SPEEDWAY LLC (Continued)**

**1000844604**

Contact Phone:	Not reported
Date of Collection:	Not reported
Accuracy:	Not reported
Horizontal Datum:	Not reported
Accuracy Value Unit:	Not reported
Source:	Not reported
Point Line Area:	Not reported
Desc Category:	Not reported
Method of Collection:	Not reported
District:	Not reported
Tank ID:	4
Capacity:	1000
Tank Status:	Removed from Ground
Substance:	Other(FUEL OIL)
Install Date:	04/22/1959
Remove Date:	03/01/1992
Tank Number:	UTK-088257-15
Tank Details Compartments:	Not reported
Tank Release Detection:	Not reported
Pipe Release Detection:	Not reported
Piping Material:	Galvanized Steel
Piping Type:	Not reported
Tank Construction:	Asphalt Coated or Bare Steel
Impressed Device:	Not reported
Latitude:	Not reported
Longitude:	Not reported
Name:	SPEEDWAY #8721
Address:	34750 WOODWARD 347 BLVD
City,State,Zip:	BIRMINGHAM, MI 48009
Facility Type:	ACTIVE
Facility ID:	00016370
Facility Region:	1
Owner Name:	SPEEDWAY LLC
Owner Address:	PO BOX 1500
Owner City:	SPRINGFIELD
Owner State:	OH
Owner Zip:	45501
Owner Contact:	Not reported
Owner Phone:	9378643000
Contact:	Eric Swaisgood
Contact Phone:	(937) 863-6513
Date of Collection:	04/06/2007
Accuracy:	100
Horizontal Datum:	NAD83
Accuracy Value Unit:	FEET
Source:	STATE OF MICHIGAN
Point Line Area:	POINT
Desc Category:	Plant Entrance (Freight)
Method of Collection:	GPS Code Meas. Standard Positioning Service SA Off
District:	Region 1 - SE Michigan District Office
Tank ID:	3
Capacity:	12000
Tank Status:	Removed from Ground
Substance:	Diesel
Install Date:	04/21/1974
Remove Date:	03/01/1992



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SPEEDWAY LLC (Continued)**

**1000844604**

Tank Number: UTK-035901-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Galvanized Steel  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel  
Impressed Device: Not reported  
Latitude: 42.54488  
Longitude: -83.20977

Name: SPEEDWAY #8721  
Address: 34750 WOODWARD 347 BLVD  
City,State,Zip: BIRMINGHAM, MI 48009  
Facility Type: ACTIVE  
Facility ID: 00016370  
Facility Region: 1  
Owner Name: SPEEDWAY LLC  
Owner Address: PO BOX 1500  
Owner City: SPRINGFIELD  
Owner State: OH  
Owner Zip: 45501  
Owner Contact: Not reported  
Owner Phone: 9378643000  
Contact: Eric Swaisgood  
Contact Phone: (937) 863-6513  
Date of Collection: 04/06/2007  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off  
District: Region 1 - SE Michigan District Office  
Tank ID: 2  
Capacity: 12000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: 04/21/1974  
Remove Date: 03/01/1992  
Tank Number: UTK-035900-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Galvanized Steel  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel  
Impressed Device: Not reported  
Latitude: 42.54488  
Longitude: -83.20977

Name: SPEEDWAY #8721  
Address: 34750 WOODWARD 347 BLVD  
City,State,Zip: BIRMINGHAM, MI 48009  
Facility Type: ACTIVE  
Facility ID: 00016370

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SPEEDWAY LLC (Continued)**

**1000844604**

Facility Region: 1  
Owner Name: SPEEDWAY LLC  
Owner Address: PO BOX 1500  
Owner City: SPRINGFIELD  
Owner State: OH  
Owner Zip: 45501  
Owner Contact: Not reported  
Owner Phone: 9378643000  
Contact: Eric Swaisgood  
Contact Phone: (937) 863-6513  
Date of Collection: 04/06/2007  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off  
District: Region 1 - SE Michigan District Office  
Tank ID: 1  
Capacity: 6000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: 04/21/1972  
Remove Date: 03/02/1992  
Tank Number: UTK-039018-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Galvanized Steel  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel  
Impressed Device: Not reported  
Latitude: 42.54488  
Longitude: -83.20977

**FINDS:**

Registry ID: 110003685968

Click Here:

**Environmental Interest/Information System:**

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

**ECHO:**

Envid: 1000844604  
Registry ID: 110003685968  
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110003685968>  
Name: SPEEDWAY LLC  
Address: 34750 WOODWARD AVE

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SPEEDWAY LLC (Continued)**

**1000844604**

City,State,Zip: BIRMINGHAM, MI 48009

**H26**  
**ENE**  
**1/8-1/4**  
**0.129 mi.**  
**679 ft.**

**SPEEDWAY #8721**  
**34750 WOODWARD 347 BLVD**  
**BIRMINGHAM, MI 48009**

**LUST**  
**INVENTORY**  
**Financial Assurance**

**S118615272**  
**N/A**

**Site 2 of 4 in cluster H**

**Relative:**  
**Higher**  
**Actual:**  
**768 ft.**

**LUST:**

Name: SPEEDWAY #8721  
Address: 34750 WOODWARD 347 BLVD  
City,State,Zip: BIRMINGHAM, MI 48009-  
Facility ID: 00016370  
Source: STATE OF MICHIGAN  
Owner Name: SpeedwayLLC  
Owner Address: Not reported  
Owner City,St,Zip: UNKNOWN, MI  
Owner Contact: Not reported  
Owner Phone: Not reported  
Country: USA  
District: Warren  
Site Name: Speedway #8721  
Latitude: 42.54488  
Longitude: -83.20977  
Date of Collection: 04/06/2007  
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off  
Accuracy: 100  
Accuracy Value Unit: FEET  
Horizontal Data: NAD83  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)

Leak Number: C-0161-14  
Release Date: 12/09/2014  
Substance Released: Gasoline,Gasoline,Gasoline,Diesel  
Release Status: Open  
Release Closed Date: Not reported

Leak Number: C-1633-91  
Release Date: 08/27/1991  
Substance Released: Unknown  
Release Status: Closed  
Release Closed Date: 02/09/1996

**INVENTORY:**

Name: SPEEDWAY #8721  
Address: 34750 WOODWARD 347 BLVD  
City,State,Zip: BIRMINGHAM, MI 48009  
Bea Number: Not reported  
Township: Not reported  
District: Southeast MI  
Data Source: Part 213  
Latitude: 42.54489  
Longitude: -83.20977

**FINANCIAL ASSURANCE 3:**

Name: SPEEDWAY #8721  
Address: 34750 WOODWARD 347 BLVD

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SPEEDWAY #8721 (Continued)**

**S118615272**

City,State,Zip: BIRMINGHAM, MI 48009  
Facility ID: 00016370  
Exempt: No  
Expiration Date: 12/31/2020  
Bond Rating Tests: UNCHECKED  
Commerical Insurance: UNCHECKED  
Guarantee: UNCHECKED  
Letter of Credit: UNCHECKED  
Risk Retention Group: UNCHECKED  
Self Insurance: UNCHECKED  
State Funds: UNCHECKED  
Surety Bond: CHECKED  
Trust Funds: UNCHECKED  
Year: 2019

**G27**  
**NNE**  
**1/8-1/4**  
**0.137 mi.**  
**725 ft.**

**SHELL - HUNTER**  
**34977 WOODWARD AVE**  
**BIRMINGHAM, MI 48009**

**Site 2 of 5 in cluster G**

**LUST** **U003319719**  
**UST** **N/A**  
**INVENTORY**

**Relative:**  
**Higher**

**LUST:**

**Actual:**  
**779 ft.**

Name: SHELL - HUNTER  
Address: 34977 WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-  
Facility ID: 00002267  
Source: STATE OF MICHIGAN  
Owner Name: CatalystDevelopment Co LLC  
Owner Address: Not reported  
Owner City,St,Zip: UNKNOWN, MI  
Owner Contact: Not reported  
Owner Phone: Not reported  
Country: USA  
District: Warren  
Site Name: Shell - Hunter  
Latitude: 42.53925  
Longitude: -83.20683  
Date of Collection: 01/11/2001  
Method of Collection: Address Matching-House Number  
Accuracy: 100  
Accuracy Value Unit: FEET  
Horizontal Data: NAD83  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)

Leak Number: C-0274-08  
Release Date: 12/10/2008  
Substance Released: Used Oil  
Release Status: Open  
Release Closed Date: Not reported

Leak Number: C-0480-89  
Release Date: 12/08/1989  
Substance Released: Not reported  
Release Status: Closed  
Release Closed Date: 05/23/2000

Leak Number: C-1061-89

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SHELL - HUNTER (Continued)**

**U003319719**

Release Date: 12/08/1989  
Substance Released: Gasoline  
Release Status: Closed  
Release Closed Date: 05/23/2000

Leak Number: C-1336-98  
Release Date: 12/30/1998  
Substance Released: Unknown,Unknown  
Release Status: Closed  
Release Closed Date: 08/04/1999

**UST:**

Name: SHELL - HUNTER  
Address: 34977 WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-0900  
Facility Type: CLOSED  
Facility ID: 00002267  
Facility Region: 1  
Owner Name: CATALYST DEVELOPMENT CO LLC  
Owner Address: 100 W MICHIGAN AVE STE 300  
Owner City: KALAMAZOO  
Owner State: MI  
Owner Zip: 49007  
Owner Contact: Not reported  
Owner Phone: 2694926811  
Contact: Ms Patti Ownes  
Contact Phone: (269) 492-6811  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 9  
Capacity: 1000  
Tank Status: Removed from Ground  
Substance: Used Oil  
Install Date: 12/01/1989  
Remove Date: 12/07/1999  
Tank Number: UTK-016231-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Interstitial Monitoring Double Walled Tank/Piping  
Pipe Release Detection: GroundWater Monitoring,Interstitial Monitoring Second Containment,Line Tightness Testing,Other  
Piping Material: Fiberglass Reinforced Plastic  
Piping Type: Pressure (Remote)  
Tank Construction: Double Walled,Fiberglass Reinforced Plastic  
Impressed Device: Not reported  
Latitude: 42.53925  
Longitude: -83.20683

Name: SHELL - HUNTER  
Address: 34977 WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-0900  
Facility Type: CLOSED



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SHELL - HUNTER (Continued)**

**U003319719**

Facility ID: 00002267  
Facility Region: 1  
Owner Name: CATALYST DEVELOPMENT CO LLC  
Owner Address: 100 W MICHIGAN AVE STE 300  
Owner City: KALAMAZOO  
Owner State: MI  
Owner Zip: 49007  
Owner Contact: Not reported  
Owner Phone: 2694926811  
Contact: Ms Patti Ownes  
Contact Phone: (269) 492-6811  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 6  
Capacity: 12000  
Tank Status: Removed from Ground  
Substance: Diesel,Gasoline  
Install Date: 12/01/1999  
Remove Date: 10/29/2003  
Tank Number: UTK-070128-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Automatic Tank Gauging  
Pipe Release Detection: Automatic Line Leak Detectors,Interstitial Monitoring Double Walled Piping  
Piping Material: Double Walled,Flexible Piping  
Piping Type: Pressure (Remote)  
Tank Construction: Fiberglass Reinforced Plastic  
Impressed Device: Not reported  
Latitude: 42.53925  
Longitude: -83.20683  
  
Name: SHELL - HUNTER  
Address: 34977 WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-0900  
Facility Type: CLOSED  
Facility ID: 00002267  
Facility Region: 1  
Owner Name: CATALYST DEVELOPMENT CO LLC  
Owner Address: 100 W MICHIGAN AVE STE 300  
Owner City: KALAMAZOO  
Owner State: MI  
Owner Zip: 49007  
Owner Contact: Not reported  
Owner Phone: 2694926811  
Contact: Ms Patti Ownes  
Contact Phone: (269) 492-6811  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SHELL - HUNTER (Continued)**

**U003319719**

Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 5  
Capacity: 15000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: 12/01/1999  
Remove Date: 10/29/2003  
Tank Number: UTK-003852-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Automatic Tank Gauging  
Pipe Release Detection: Automatic Line Leak Detectors, Interstitial Monitoring Double Walled Piping  
  
Piping Material: Double Walled, Flexible Piping  
Piping Type: Pressure (Remote)  
Tank Construction: Fiberglass Reinforced Plastic  
Impressed Device: Not reported  
Latitude: 42.53925  
Longitude: -83.20683  
  
Name: SHELL - HUNTER  
Address: 34977 WOODWARD AVE  
City, State, Zip: BIRMINGHAM, MI 48009-0900  
Facility Type: CLOSED  
Facility ID: 00002267  
Facility Region: 1  
Owner Name: CATALYST DEVELOPMENT CO LLC  
Owner Address: 100 W MICHIGAN AVE STE 300  
Owner City: KALAMAZOO  
Owner State: MI  
Owner Zip: 49007  
Owner Contact: Not reported  
Owner Phone: 2694926811  
Contact: Ms Patti Ownes  
Contact Phone: (269) 492-6811  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 4  
Capacity: 550  
Tank Status: Removed from Ground  
Substance: Used Oil  
Install Date: 04/15/1949  
Remove Date: 10/13/1989  
Tank Number: UTK-070120-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SHELL - HUNTER (Continued)**

**U003319719**

Piping Material:	Galvanized Steel
Piping Type:	Not reported
Tank Construction:	Asphalt Coated or Bare Steel
Impressed Device:	Not reported
Latitude:	42.53925
Longitude:	-83.20683
Name:	SHELL - HUNTER
Address:	34977 WOODWARD AVE
City,State,Zip:	BIRMINGHAM, MI 48009-0900
Facility Type:	CLOSED
Facility ID:	00002267
Facility Region:	1
Owner Name:	CATALYST DEVELOPMENT CO LLC
Owner Address:	100 W MICHIGAN AVE STE 300
Owner City:	KALAMAZOO
Owner State:	MI
Owner Zip:	49007
Owner Contact:	Not reported
Owner Phone:	2694926811
Contact:	Ms Patti Ownes
Contact Phone:	(269) 492-6811
Date of Collection:	01/11/2001
Accuracy:	100
Horizontal Datum:	NAD83
Accuracy Value Unit:	FEET
Source:	STATE OF MICHIGAN
Point Line Area:	POINT
Desc Category:	Plant Entrance (Freight)
Method of Collection:	Address Matching-House Number
District:	Region 1 - SE Michigan District Office
Tank ID:	3
Capacity:	10000
Tank Status:	Removed from Ground
Substance:	Gasoline
Install Date:	12/01/1982
Remove Date:	12/07/1999
Tank Number:	UTK-070116-15
Tank Details Compartments:	Not reported
Tank Release Detection:	Automatic Tank Gauging,Inventory Control
Pipe Release Detection:	Line Tightness Testing
Piping Material:	Fiberglass Reinforced Plastic
Piping Type:	Pressure (Remote)
Tank Construction:	Fiberglass Reinforced Plastic
Impressed Device:	Not reported
Latitude:	42.53925
Longitude:	-83.20683
Name:	SHELL - HUNTER
Address:	34977 WOODWARD AVE
City,State,Zip:	BIRMINGHAM, MI 48009-0900
Facility Type:	CLOSED
Facility ID:	00002267
Facility Region:	1
Owner Name:	CATALYST DEVELOPMENT CO LLC
Owner Address:	100 W MICHIGAN AVE STE 300
Owner City:	KALAMAZOO

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SHELL - HUNTER (Continued)**

**U003319719**

Owner State: MI  
Owner Zip: 49007  
Owner Contact: Not reported  
Owner Phone: 2694926811  
Contact: Ms Patti Ownes  
Contact Phone: (269) 492-6811  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 2  
Capacity: 10000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: 12/01/1982  
Remove Date: 12/07/1999  
Tank Number: UTK-027540-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Automatic Tank Gauging,Inventory Control  
Pipe Release Detection: Line Tightness Testing  
Piping Material: Fiberglass Reinforced Plastic  
Piping Type: Pressure (Remote)  
Tank Construction: Fiberglass Reinforced Plastic  
Impressed Device: Not reported  
Latitude: 42.53925  
Longitude: -83.20683

Name: SHELL - HUNTER  
Address: 34977 WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-0900  
Facility Type: CLOSED  
Facility ID: 00002267  
Facility Region: 1  
Owner Name: CATALYST DEVELOPMENT CO LLC  
Owner Address: 100 W MICHIGAN AVE STE 300  
Owner City: KALAMAZOO  
Owner State: MI  
Owner Zip: 49007  
Owner Contact: Not reported  
Owner Phone: 2694926811  
Contact: Ms Patti Ownes  
Contact Phone: (269) 492-6811  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 11

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SHELL - HUNTER (Continued)**

**U003319719**

Capacity: 500  
Tank Status: Removed from Ground  
Substance: Used Oil  
Install Date: Not reported  
Remove Date: 02/09/2009  
Tank Number: UTK-124418-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Other  
Piping Material: Unknown  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel,Other  
Impressed Device: Not reported  
Latitude: 42.53925  
Longitude: -83.20683

Name: SHELL - HUNTER  
Address: 34977 WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-0900  
Facility Type: CLOSED  
Facility ID: 00002267  
Facility Region: 1  
Owner Name: CATALYST DEVELOPMENT CO LLC  
Owner Address: 100 W MICHIGAN AVE STE 300  
Owner City: KALAMAZOO  
Owner State: MI  
Owner Zip: 49007  
Owner Contact: Not reported  
Owner Phone: 2694926811  
Contact: Ms Patti Ownes  
Contact Phone: (269) 492-6811  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 10  
Capacity: Not reported  
Tank Status: Removed from Ground  
Substance: Kerosene  
Install Date: Not reported  
Remove Date: 12/01/1998  
Tank Number: UTK-070381-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Bare Steel  
Piping Type: Suction:Valve at Tank  
Tank Construction: Asphalt Coated or Bare Steel  
Impressed Device: Not reported  
Latitude: 42.53925  
Longitude: -83.20683



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SHELL - HUNTER (Continued)**

**U003319719**

Name: SHELL - HUNTER  
Address: 34977 WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-0900  
Facility Type: CLOSED  
Facility ID: 00002267  
Facility Region: 1  
Owner Name: CATALYST DEVELOPMENT CO LLC  
Owner Address: 100 W MICHIGAN AVE STE 300  
Owner City: KALAMAZOO  
Owner State: MI  
Owner Zip: 49007  
Owner Contact: Not reported  
Owner Phone: 2694926811  
Contact: Ms Patti Ownes  
Contact Phone: (269) 492-6811  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 1  
Capacity: 8000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: 09/01/1971  
Remove Date: 12/07/1999  
Tank Number: UTK-070109-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Automatic Tank Gauging,Inventory Control  
Pipe Release Detection: Line Tightness Testing  
Piping Material: Fiberglass Reinforced Plastic  
Piping Type: Pressure (Remote)  
Tank Construction: Fiberglass Reinforced Plastic  
Impressed Device: Not reported  
Latitude: 42.53925  
Longitude: -83.20683

**INVENTORY:**

Name: SHELL - HUNTER  
Address: 34977 WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009  
Bea Number: Not reported  
Township: Not reported  
District: Southeast MI  
Data Source: Part 213  
Latitude: 42.53925  
Longitude: -83.20683

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**G28** **CATALYST DEVELOPMENT CO 8 LLC**  
**NNE** **34977 WOODWARD AVE**  
**1/8-1/4** **BIRMINGHAM, MI 48104**  
**0.137 mi.**  
**725 ft.** **Site 3 of 5 in cluster G**

**AUL** **S104912434**  
**BEA** **N/A**  
**WDS**

**Relative:**  
**Higher**

**AUL:**

**Actual:**  
**779 ft.**

Name: BIRMINGHAM SERVICES INC. (SHELL - HUNTER)  
Address: 34977 WOODWARD AVENUE  
City,State,Zip: BIRMINGHAM, MI 44306  
Status: Pending  
Site Name: Not reported  
Property: On-site location  
Land Use Restriction Type: RC  
Program Type: Part 213  
Program Support Assigned User: Not reported  
Program Support Assigned Date: Not reported  
Legal Description Of Property: Not reported  
Based On The Deq Ref #: 11121309003  
MDEQ Reference Number: RC-RRD-213-09-003  
Property Or Description Restricted Area: Not reported  
Lead Division: RRD  
File Name Of Hyperlinked Legal Doc: Not reported  
Mapped Polygons Area In Acres: 0.29999999999999999  
Mapped Polygons Area In Square Miles: Not reported  
Date Data Entry Started: Not reported  
Date Data Entry Finished: Not reported  
Individual Or Staff Assoc With The Mapping: Not reported  
Program Used To Map Restricted Features: Not reported  
Date Legal Paperwork Stamped/Filed/Register Of Deeds: 01/12/2009  
Commercial I Land Use Restriction: 0  
Commercial Ii Land Use Restriction: 0  
Commercial Iii Land Use Restriction: 0  
Commercial Iv Land Use Restriction: 0  
Industrial Land Use Restriction: 0  
Residential Land Use Restriction: 1  
Recreational Land Use Restriction: 0  
Multiple Land-Use Restrictions: 0  
Site Specific Restrictions: 0  
Groundwater Consumption Restrictions: 0  
Groundwater Contact Restrictions: 0  
Special Well Construction Requirements: 0  
Special Building Restrictions: 0  
Excavation And Soil Movement Restrictions: 0  
Soil Movement Requirements: 0  
There Is A Restriction On All Construction: 0  
Monitoring Well Protected, No Tampering Or Removal: 0  
There Is An Exposure Barrier In Place: 0  
There Is A Health And Safety Plan: 0  
There Is A Permanent Marker On The Site: 0  
Comment: Gas Station, Birmingham Services Inc  
Map Comments: Not reported

**BEA:**

Secondary Address: (FORMERLY 120 S. HUNTER STREET)  
BEA Number: 1071  
District: Southeast MI  
Date Received: 02/07/2000  
Submitter Name: ANDREW BOJI

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CATALYST DEVELOPMENT CO 8 LLC (Continued)**

**S104912434**

Petition Determination: No Request  
Petition Disclosure: 0  
Category: Same Hazardous Substance(s)  
Determination 20107A: No Request  
Reviewer: temppm  
Division Assigned: Storage Tank Division

Secondary Address: Not reported  
BEA Number: 4000  
District: Southeast MI  
Date Received: 09/12/2008  
Submitter Name: Catalyst Development Co. 8, LLC  
Petition Determination: No Request  
Petition Disclosure: 0  
Category: Same Hazardous Substance(s)  
Determination 20107A: No Request  
Reviewer: tiernang  
Division Assigned: Storage Tank Division

Secondary Address: (Formerly 120 Hunter)  
BEA Number: 2187  
District: Southeast MI  
Date Received: 11/05/2003  
Submitter Name: Fuller Central Park Properties IV, LLC  
Petition Determination: Affirmed  
Petition Disclosure: 1  
Category: No Hazardous Substance(s)  
Determination 20107A: Affirmed  
Reviewer: mitchelf  
Division Assigned: Storage Tank Division

**WDS:**

Name: CATALYST DEVELOPMENT CO 8 LLC  
Address: 34977 WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48104  
Site Id: MIR000044230  
WMD Id: 413573  
Site Specific Name: CATALYST DEVELOPMENT CO 8 LLC  
Mailing Address: 34977 WOODWARD AVE  
Mailing City/State/Zip: 48104  
Mailing County: OAKLAND

**G29**  
**NNE**  
**1/8-1/4**  
**0.137 mi.**  
**725 ft.**

**CATALYST DEVELOPMENT CO 8 LLC**  
**34977 WOODWARD AVE**  
**BIRMINGHAM, MI 48009**  
**Site 4 of 5 in cluster G**

**RCRA-VSQG** **1001961007**  
**FINDS** **MIR000044230**  
**ECHO**

**Relative:**  
**Higher**  
**Actual:**  
**779 ft.**

**RCRA-VSQG:**  
Date Form Received by Agency: 2009-01-20 00:00:00.0  
Handler Name: CATALYST DEVELOPMENT CO 8 LLC  
Handler Address: 34977 WOODWARD AVE  
Handler City,State,Zip: BIRMINGHAM, MI 48104  
EPA ID: MIR000044230  
Contact Name: MIKE BRYANT  
Contact Address: 34977 WOODWARD AVE  
Contact City,State,Zip: BIRMINGHAM, MI 48104

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CATALYST DEVELOPMENT CO 8 LLC (Continued)**

**1001961007**

Contact Telephone:	269-217-5157
Contact Fax:	Not reported
Contact Email:	Not reported
Contact Title:	Not reported
EPA Region:	05
Land Type:	Private
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
Non-Notifier:	Not reported
Biennial Report Cycle:	Not reported
Accessibility:	Not reported
Active Site Indicator:	Handler Activities
State District Owner:	Not reported
State District:	Not reported
Mailing Address:	34977 WOODWARD AVE
Mailing City,State,Zip:	BIRMINGHAM, MI 48104
Owner Name:	CATALYST DEVELOPMENT CO & LLC
Owner Type:	Private
Operator Name:	CATALYST DEVELOPMENT CO & LLC
Operator Type:	Private
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CATALYST DEVELOPMENT CO 8 LLC (Continued)**

**1001961007**

Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSD Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

**Hazardous Waste Summary:**

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

**Handler - Owner Operator:**

Owner/Operator Indicator:	Owner
Owner/Operator Name:	CATALYST DEVELOPMENT CO & LLC
Legal Status:	Private
Date Became Current:	2008-07-02 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	CATALYST DEVELOPMENT CO & LLC
Legal Status:	Private
Date Became Current:	2008-07-02 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	CATALYST DEVELOPMENT CO & LLC
Legal Status:	Private
Date Became Current:	2008-07-02 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CATALYST DEVELOPMENT CO 8 LLC (Continued)**

**1001961007**

Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	CATALYST DEVELOPMENT CO & LLC
Legal Status:	Private
Date Became Current:	2008-07-02 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	CATALYST DEVELOPMENT CO & LLC
Legal Status:	Private
Date Became Current:	2008-07-02 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	CATALYST DEVELOPMENT CO & LLC
Legal Status:	Private
Date Became Current:	2008-07-02 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Historic Generators:	
Receive Date:	2002-06-10 00:00:00.0
Handler Name:	CATALYST DEVELOPMENT CO 8 LLC
Federal Waste Generator Description:	Not a generator, verified
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2000-01-20 00:00:00.0
Handler Name:	CATALYST DEVELOPMENT CO 8 LLC
Federal Waste Generator Description:	Small Quantity Generator

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CATALYST DEVELOPMENT CO 8 LLC (Continued)**

**1001961007**

State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2009-01-20 00:00:00.0
Handler Name:	CATALYST DEVELOPMENT CO 8 LLC
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	Yes
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

List of NAICS Codes and Descriptions:

NAICS Code:	44719
NAICS Description:	OTHER GASOLINE STATIONS

Facility Has Received Notices of Violations:

Violations:	No Violations Found
-------------	---------------------

Evaluation Action Summary:

Evaluations:	No Evaluations Found
--------------	----------------------

FINDS:

Registry ID:	110006413087
--------------	--------------

Click Here:

Environmental Interest/Information System:

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid:	1001961007
Registry ID:	110006413087
DFR URL:	<a href="http://echo.epa.gov/detailed-facility-report?fid=110006413087">http://echo.epa.gov/detailed-facility-report?fid=110006413087</a>
Name:	CATALYST DEVELOPMENT CO 8 LLC
Address:	34977 WOODWARD AVE

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CATALYST DEVELOPMENT CO 8 LLC (Continued)**

**1001961007**

City,State,Zip: BIRMINGHAM, MI 48009

**30**  
**North**  
**1/8-1/4**  
**0.139 mi.**  
**735 ft.**

**BURTON KATZMAN**  
**336 E MAPLE RD**  
**BIRMINGHAM, MI 48009**

**RCRA NonGen / NLR**

**1007990194**  
**MIK851343467**

**Relative:**  
**Higher**  
**Actual:**  
**780 ft.**

RCRA NonGen / NLR:  
Date Form Received by Agency: 2005-11-01 00:00:00.0  
Handler Name: BURTON KATZMAN  
Handler Address: 336 E MAPLE RD  
Handler City,State,Zip: BIRMINGHAM, MI 48009  
EPA ID: MIK851343467  
Contact Name: COLLEEN LOREDO  
Contact Address: 336 E MAPLE RD  
Contact City,State,Zip: BIRMINGHAM, MI 48009  
Contact Telephone: 313-382-2500  
Contact Fax: Not reported  
Contact Email: Not reported  
Contact Title: Not reported  
EPA Region: 05  
Land Type: Other  
Federal Waste Generator Description: Not a generator, verified  
Non-Notifier: Not reported  
Biennial Report Cycle: Not reported  
Accessibility: Not reported  
Active Site Indicator: Not reported  
State District Owner: Not reported  
State District: Not reported  
Mailing Address: 30100 TELEGRAPH RD  
Mailing City,State,Zip: BINGHAM FARMS, MI 48025  
Owner Name: NO ACTIVE O/OP AS NOT GENERATING WASTE  
Owner Type: Private  
Operator Name: NO ACTIVE O/OP AS NOT GENERATING WASTE  
Operator Type: Private  
Short-Term Generator Activity: No  
Importer Activity: No  
Mixed Waste Generator: No  
Transporter Activity: No  
Transfer Facility Activity: No  
Recycler Activity with Storage: No  
Small Quantity On-Site Burner Exemption: No  
Smelting Melting and Refining Furnace Exemption: No  
Underground Injection Control: No  
Off-Site Waste Receipt: No  
Universal Waste Indicator: No  
Universal Waste Destination Facility: No  
Federal Universal Waste: No  
Active Site Fed-Reg Treatment Storage and Disposal Facility: Not reported  
Active Site Converter Treatment storage and Disposal Facility: Not reported  
Active Site State-Reg Treatment Storage and Disposal Facility: Not reported  
Active Site State-Reg Handler: ---  
Federal Facility Indicator: Not reported  
Hazardous Secondary Material Indicator: NN  
Sub-Part K Indicator: Not reported  
Commercial TSD Indicator: No  
Treatment Storage and Disposal Type: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BURTON KATZMAN (Continued)**

**1007990194**

2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

**Hazardous Waste Summary:**

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

**Handler - Owner Operator:**

Owner/Operator Indicator:	Operator
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2005-11-02 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2005-11-02 00:00:00.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BURTON KATZMAN (Continued)**

**1007990194**

Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2005-11-02 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2005-11-02 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2005-11-02 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2005-11-02 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BURTON KATZMAN (Continued)**

**1007990194**

Historic Generators:

Receive Date:	1980-01-01 00:00:00.0
Handler Name:	BURTON KATZMAN
Federal Waste Generator Description:	Not a generator, verified
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

Receive Date:	2005-02-22 00:00:00.0
Handler Name:	BURTON KATZMAN
Federal Waste Generator Description:	Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

Receive Date:	2005-11-01 00:00:00.0
Handler Name:	BURTON KATZMAN
Federal Waste Generator Description:	Not a generator, verified
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	Yes
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

List of NAICS Codes and Descriptions:

NAICS Code:	45211
NAICS Description:	DEPARTMENT STORES

Facility Has Received Notices of Violations:

Violations:	No Violations Found
-------------	---------------------

Evaluation Action Summary:

Evaluations:	No Evaluations Found
--------------	----------------------

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**G31**  
**NNE**  
**1/8-1/4**  
**0.142 mi.**  
**751 ft.**  
**CATALYST DEVELOPMENT CO. 8, LLC**  
**34977 WOODWARD AVENUE**  
**OAKLAND (County), MI**  
**Site 5 of 5 in cluster G**

**INVENTORY** **S114029235**  
**N/A**

**Relative:** **Higher**  
**Actual:** **779 ft.**  
INVENTORY:  
Name: CATALYST DEVELOPMENT CO. 8, LLC  
Address: 34977 WOODWARD AVENUE  
City,State,Zip: MI  
Bea Number: 200804000LV  
Township: Birmingham  
District: Southeast MI  
Data Source: BEA  
Latitude: 42.54663  
Longitude: -83.21171

**H32**  
**ENE**  
**1/8-1/4**  
**0.147 mi.**  
**774 ft.**  
**MALLY, C . LANE PROPERTY**  
**575 SOUTH HUNTER BLVD.**  
**BIRMINGHAM, MI**  
**Site 3 of 4 in cluster H**

**BEA** **S104910029**  
**N/A**

**Relative:** **Lower**  
**Actual:** **766 ft.**  
BEA:  
Secondary Address: Not reported  
BEA Number: 107  
District: Southeast MI  
Date Received: 05/09/1996  
Submitter Name: C. LANE MALLY  
Petition Determination: Affirmed  
Petition Disclosure: 1  
Category: No Hazardous Substance(s)  
Determination 20107A: No Request  
Reviewer: mitchelf  
Division Assigned: Storage Tank Division

**H33**  
**ENE**  
**1/8-1/4**  
**0.147 mi.**  
**777 ft.**  
**CARMAN TILLARD**  
**910 N HUNTER BLVD**  
**BIRMINGHAM, MI 48009**  
**Site 4 of 4 in cluster H**

**LUST** **U004275219**  
**UST** **N/A**

**Relative:** **Lower**  
**Actual:** **765 ft.**  
LUST:  
Name: CARMAN TILLARD  
Address: 910 N HUNTER BLVD  
City,State,Zip: BIRMINGHAM, MI 48009-  
Facility ID: 50001216  
Source: STATE OF MICHIGAN  
Owner Name: NrtOwner  
Owner Address: Not reported  
Owner City,St,Zip: UNKNOWN, MI  
Owner Contact: Not reported  
Owner Phone: Not reported  
Country: USA  
District: Warren  
Site Name: Carman Tillard  
Latitude: 42.55449  
Longitude: -83.21908

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CARMAN TILLARD (Continued)**

**U004275219**

Date of Collection: 01/11/2001  
Method of Collection: Address Matching-House Number  
Accuracy: 100  
Accuracy Value Unit: FEET  
Horizontal Data: NAD83  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)

Leak Number: C-0309-90  
Release Date: 02/20/1990  
Substance Released: Not reported  
Release Status: Closed  
Release Closed Date: 04/04/1996

UST:

Name: CARMAN TILLARD  
Address: 910 N HUNTER BLVD  
City,State,Zip: BIRMINGHAM, MI 48009  
Facility Type: CLOSED  
Facility ID: 50001216  
Facility Region: 1  
Owner Name: NRT OWNER  
Owner Address: UNKNOWN  
Owner City: UNKNOWN  
Owner State: MI  
Owner Zip: 99999  
Owner Contact: Not reported  
Owner Phone: Not reported  
Contact: Not reported  
Contact Phone: Not reported  
Date of Collection: Not reported  
Accuracy: Not reported  
Horizontal Datum: Not reported  
Accuracy Value Unit: Not reported  
Source: Not reported  
Point Line Area: Not reported  
Desc Category: Not reported  
Method of Collection: Not reported  
District: Not reported  
Tank ID: 1  
Capacity: Not reported  
Tank Status: Non-Registered Tank  
Substance: Not reported  
Install Date: Not reported  
Remove Date: Not reported  
Tank Number: UTK-041616-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Not reported  
Piping Type: Not reported  
Tank Construction: Not reported  
Impressed Device: Not reported  
Latitude: Not reported  
Longitude: Not reported

UST 2:

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CARMAN TILLARD (Continued)**

**U004275219**

Name: CARMAN TILLARD  
Address: 910 N HUNTER BLVD  
City,State,Zip: BIRMINGHAM, MI 48009  
Region: Not reported  
Owner Name: OWNER ADDRESS UNKNOWN  
Owner Address: Not Recorded  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: 99999  
Owner Phone: Not reported  
Record ID: UTK-041616-15  
Facility Status: Not reported  
Tank ID: Not reported  
Tank Status: Non-Registered Tank  
Tank Capacity: Not reported  
Tank Content: Not reported  
Install Date: 01/01/1900  
Removal Date: 01/01/1900  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Not reported  
Tank Constr. Material: Not reported

**I34**  
**East**  
**1/8-1/4**  
**0.148 mi.**  
**783 ft.**

**FRED LAVERY CO**  
**34602 WOODWARD AVE**  
**BIRMINGHAM, MI 48009**

**UST U003323187**  
**N/A**

**Site 1 of 2 in cluster I**

**Relative:**  
**Lower**

**UST:**

**Actual:**  
**763 ft.**

Name: FRED LAVERY CO  
Address: 34602 WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-0924  
Facility Type: CLOSED  
Facility ID: 00014864  
Facility Region: 1  
Owner Name: FRED LAVERY CO  
Owner Address: 499 S HUNTER BLVD  
Owner City: BIRMINGHAM  
Owner State: MI  
Owner Zip: 48009-6706  
Owner Contact: Not reported  
Owner Phone: 3136455930  
Contact: BILL STANLEY  
Contact Phone: (313) 645-5930  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 1  
Capacity: 550  
Tank Status: Removed from Ground  
Substance: Used Oil

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FRED LAVERY CO (Continued)**

**U003323187**

Install Date: 02/27/1971  
Remove Date: 07/19/1990  
Tank Number: UTK-099226-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Galvanized Steel  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel  
Impressed Device: Not reported  
Latitude: 42.54307  
Longitude: -83.20982

**I35  
East  
1/8-1/4  
0.148 mi.  
783 ft.**

**FRED LAVERY CO  
34602 WOODWARD AVE  
BIRMINGHAM, MI 48009**

**RCRA-VSQQ  
FINDS  
ECHO**

**1000528909  
MID985613389**

**Site 2 of 2 in cluster I**

**Relative:  
Lower**

**RCRA-VSQQ:**

**Actual:  
763 ft.**

Date Form Received by Agency: 2010-03-23 00:00:00.0  
Handler Name: FRED LAVERY CO  
Handler Address: 34602 WOODWARD AVE  
Handler City,State,Zip: BIRMINGHAM, MI 48009  
EPA ID: MID985613389  
Contact Name: ALI HAJI-SHETKH  
Contact Address: 34602 WOODWARD AVE  
Contact City,State,Zip: BIRMINGHAM, MI 48009  
Contact Telephone: 248-645-5930  
Contact Fax: Not reported  
Contact Email: Not reported  
Contact Title: Not reported  
EPA Region: 05  
Land Type: Private  
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator  
Non-Notifier: Not reported  
Biennial Report Cycle: Not reported  
Accessibility: Not reported  
Active Site Indicator: Handler Activities  
State District Owner: Not reported  
State District: Not reported  
Mailing Address: PO BOX 3017  
Mailing City,State,Zip: BIRMINGHAM, MI 48012  
Owner Name: LAVERY FRED  
Owner Type: Private  
Operator Name: LAVERY FRED  
Operator Type: Private  
Short-Term Generator Activity: No  
Importer Activity: No  
Mixed Waste Generator: No  
Transporter Activity: No  
Transfer Facility Activity: No  
Recycler Activity with Storage: No  
Small Quantity On-Site Burner Exemption: No  
Smelting Melting and Refining Furnace Exemption: No  
Underground Injection Control: No  
Off-Site Waste Receipt: No  
Universal Waste Indicator: No



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FRED LAVERY CO (Continued)**

**1000528909**

Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

**Hazardous Waste Summary:**

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

**Handler - Owner Operator:**

Owner/Operator Indicator:	Operator
Owner/Operator Name:	LAVERY FRED
Legal Status:	Private
Date Became Current:	1991-05-17 00:00:00.
Date Ended Current:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FRED LAVERY CO (Continued)**

**1000528909**

Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	LAVERY FRED
Legal Status:	Private
Date Became Current:	1991-05-17 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	LAVERY FRED
Legal Status:	Private
Date Became Current:	1991-05-17 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	LAVERY FRED
Legal Status:	Private
Date Became Current:	1991-05-17 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	LAVERY FRED
Legal Status:	Private
Date Became Current:	1991-05-17 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	LAVERY FRED

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FRED LAVERY CO (Continued)**

**1000528909**

Legal Status: Private  
Date Became Current: 1991-05-17 00:00:00.  
Date Ended Current: Not reported  
Owner/Operator Address: Not reported  
Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner  
Owner/Operator Name: LAVERY FRED  
Legal Status: Private  
Date Became Current: 1991-05-17 00:00:00.  
Date Ended Current: Not reported  
Owner/Operator Address: Not reported  
Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner  
Owner/Operator Name: LAVERY FRED  
Legal Status: Private  
Date Became Current: 1991-05-17 00:00:00.  
Date Ended Current: Not reported  
Owner/Operator Address: Not reported  
Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner  
Owner/Operator Name: LAVERY FRED  
Legal Status: Private  
Date Became Current: 1991-05-17 00:00:00.  
Date Ended Current: Not reported  
Owner/Operator Address: Not reported  
Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator  
Owner/Operator Name: LAVERY FRED  
Legal Status: Private  
Date Became Current: 1991-05-17 00:00:00.  
Date Ended Current: Not reported  
Owner/Operator Address: Not reported  
Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FRED LAVERY CO (Continued)**

**1000528909**

Owner/Operator Indicator: Operator  
Owner/Operator Name: LAVERY FRED  
Legal Status: Private  
Date Became Current: 1991-05-17 00:00:00.  
Date Ended Current: Not reported  
Owner/Operator Address: Not reported  
Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner  
Owner/Operator Name: LAVERY FRED  
Legal Status: Private  
Date Became Current: 1991-05-17 00:00:00.  
Date Ended Current: Not reported  
Owner/Operator Address: Not reported  
Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator  
Owner/Operator Name: LAVERY FRED  
Legal Status: Private  
Date Became Current: 1991-05-17 00:00:00.  
Date Ended Current: Not reported  
Owner/Operator Address: Not reported  
Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator  
Owner/Operator Name: LAVERY FRED  
Legal Status: Private  
Date Became Current: 1991-05-17 00:00:00.  
Date Ended Current: Not reported  
Owner/Operator Address: Not reported  
Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Historic Generators:  
Receive Date: 1998-10-14 00:00:00.0  
Handler Name: FRED LAVERY CO  
Federal Waste Generator Description: Small Quantity Generator  
State District Owner: Not reported  
Large Quantity Handler of Universal Waste: No  
Recognized Trader Importer: No  
Recognized Trader Exporter: No  
Spent Lead Acid Battery Importer: No

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FRED LAVERY CO (Continued)**

**1000528909**

Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	1991-05-17 00:00:00.0
Handler Name:	FRED LAVERY CO
Federal Waste Generator Description:	Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2002-08-13 00:00:00.0
Handler Name:	FRED LAVERY CO
Federal Waste Generator Description:	Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2008-07-28 00:00:00.0
Handler Name:	FRED LAVERY CO
Federal Waste Generator Description:	Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2009-03-16 00:00:00.0
Handler Name:	FRED LAVERY CO
Federal Waste Generator Description:	Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FRED LAVERY CO (Continued)**

**1000528909**

Receive Date: 2009-10-19 00:00:00.0  
Handler Name: FRED LAVERY CO  
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator  
State District Owner: Not reported  
Large Quantity Handler of Universal Waste: No  
Recognized Trader Importer: No  
Recognized Trader Exporter: No  
Spent Lead Acid Battery Importer: No  
Spent Lead Acid Battery Exporter: No  
Current Record: No  
Non Storage Recycler Activity: Not reported  
Electronic Manifest Broker: Not reported

Receive Date: 2010-03-23 00:00:00.0  
Handler Name: FRED LAVERY CO  
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator  
State District Owner: Not reported  
Large Quantity Handler of Universal Waste: No  
Recognized Trader Importer: No  
Recognized Trader Exporter: No  
Spent Lead Acid Battery Importer: No  
Spent Lead Acid Battery Exporter: No  
Current Record: Yes  
Non Storage Recycler Activity: Not reported  
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 44112  
NAICS Description: USED CAR DEALERS

Facility Has Received Notices of Violation:

Found Violation: Yes  
Agency Which Determined Violation: State  
Violation Short Description: LDR - General  
Date Violation was Determined: 2009-10-19 00:00:00.0  
Actual Return to Compliance Date: 2009-11-09 00:00:00.0  
Return to Compliance Qualifier: Documented  
Violation Responsible Agency: State  
Scheduled Compliance Date: Not reported  
Enforcement Identifier: 001  
Date of Enforcement Action: 2009-10-20 00:00:00.0  
Enforcement Responsible Agency: State  
Enforcement Docket Number: Not reported  
Enforcement Attorney: Not reported  
Corrective Action Component: No  
Appeal Initiated Date: Not reported  
Appeal Resolution Date: Not reported  
Disposition Status Date: Not reported  
Disposition Status: Not reported  
Disposition Status Description: Not reported  
Consent/Final Order Sequence Number: Not reported  
Consent/Final Order Respondent Name: Not reported  
Consent/Final Order Lead Agency: Not reported  
Enforcement Type: WRITTEN INFORMAL  
Enforcement Responsible Person: Not reported  
Enforcement Responsible Sub-Organization: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FRED LAVERY CO (Continued)**

**1000528909**

SEP Sequence Number: Not reported  
SEP Expenditure Amount: Not reported  
SEP Scheduled Completion Date: Not reported  
SEP Actual Date: Not reported  
SEP Defaulted Date: Not reported  
SEP Type: Not reported  
SEP Type Description: Not reported  
Proposed Amount: Not reported  
Final Monetary Amount: Not reported  
Paid Amount: Not reported  
Final Count: Not reported  
Final Amount: Not reported  
  
Found Violation: Yes  
Agency Which Determined Violation: State  
Violation Short Description: State Statute or Regulation  
Date Violation was Determined: 2009-10-19 00:00:00.0  
Actual Return to Compliance Date: 2009-11-09 00:00:00.0  
Return to Compliance Qualifier: Documented  
Violation Responsible Agency: State  
Scheduled Compliance Date: Not reported  
Enforcement Identifier: 001  
Date of Enforcement Action: 2009-10-20 00:00:00.0  
Enforcement Responsible Agency: State  
Enforcement Docket Number: Not reported  
Enforcement Attorney: Not reported  
Corrective Action Component: No  
Appeal Initiated Date: Not reported  
Appeal Resolution Date: Not reported  
Disposition Status Date: Not reported  
Disposition Status: Not reported  
Disposition Status Description: Not reported  
Consent/Final Order Sequence Number: Not reported  
Consent/Final Order Respondent Name: Not reported  
Consent/Final Order Lead Agency: Not reported  
Enforcement Type: WRITTEN INFORMAL  
Enforcement Responsible Person: Not reported  
Enforcement Responsible Sub-Organization: Not reported  
SEP Sequence Number: Not reported  
SEP Expenditure Amount: Not reported  
SEP Scheduled Completion Date: Not reported  
SEP Actual Date: Not reported  
SEP Defaulted Date: Not reported  
SEP Type: Not reported  
SEP Type Description: Not reported  
Proposed Amount: Not reported  
Final Monetary Amount: Not reported  
Paid Amount: Not reported  
Final Count: Not reported  
Final Amount: Not reported

Evaluation Action Summary:  
Evaluation Date: 2009-10-19 00:00:00.0  
Evaluation Responsible Agency: State  
Found Violation: Yes  
Evaluation Type Description: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Evaluation Responsible Person Identifier: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FRED LAVERY CO (Continued)**

**1000528909**

Evaluation Responsible Sub-Organization:	Not reported
Actual Return to Compliance Date:	2009-11-09 00:00:00.0
Scheduled Compliance Date:	Not reported
Date of Request:	Not reported
Date Response Received:	Not reported
Request Agency:	Not reported
Former Citation:	Not reported
Evaluation Date:	2009-10-19 00:00:00.0
Evaluation Responsible Agency:	State
Found Violation:	Yes
Evaluation Type Description:	COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier:	Not reported
Evaluation Responsible Sub-Organization:	Not reported
Actual Return to Compliance Date:	2009-11-09 00:00:00.0
Scheduled Compliance Date:	Not reported
Date of Request:	Not reported
Date Response Received:	Not reported
Request Agency:	Not reported
Former Citation:	Not reported

**FINDS:**

Registry ID: 110003657757

Click Here:

**Environmental Interest/Information System:**

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

**ECHO:**

Envid:	1000528909
Registry ID:	110003657757
DFR URL:	<a href="http://echo.epa.gov/detailed-facility-report?fid=110003657757">http://echo.epa.gov/detailed-facility-report?fid=110003657757</a>
Name:	FRED LAVERY CO
Address:	34602 WOODWARD AVE
City,State,Zip:	BIRMINGHAM, MI 48009

J36  
NW  
1/8-1/4  
0.150 mi.  
793 ft.

**165 - 217 PIERCE STREET  
165 - 217 PIERCE STREET  
OAKLAND (County), MI 48009**

**INVENTORY S120851764  
N/A**

**Site 1 of 3 in cluster J**

**Relative:  
Higher**

**INVENTORY:**

**Actual:  
781 ft.**

Name:	165 - 217 PIERCE STREET
Address:	165 - 217 PIERCE STREET
City,State,Zip:	MI 48009
Bea Number:	201707682LV
Township:	Birmingham

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**165 - 217 PIERCE STREET (Continued)**

**S120851764**

District: Southeast MI  
Data Source: BEA  
Latitude: Not reported  
Longitude: Not reported

**F37  
NNW  
1/8-1/4  
0.152 mi.  
804 ft.**

**FULLER CENTRAL PARK PROPERTIES LLC  
111 S OLD WOODWARD  
BIRMINGHAM, MI 48009**

**RCRA-VSQQ 1016142307  
FINDS MIK478599987  
ECHO**

**Site 2 of 2 in cluster F**

**Relative:  
Higher**

**Actual:  
781 ft.**

RCRA-VSQQ:  
Date Form Received by Agency: 2013-03-12 00:00:00.0  
Handler Name: FULLER CENTRAL PARK PROPERTIES LLC  
Handler Address: 111 S OLD WOODWARD  
Handler City,State,Zip: BIRMINGHAM, MI 48009  
EPA ID: MIK478599987  
Contact Name: STEVEN G QUINTAL  
Contact Address: Not reported  
Contact City,State,Zip: Not reported  
Contact Telephone: 248-642-0024  
Contact Fax: 248-642-0136  
Contact Email: STEVE@FULLERCENTRALPARK.COM  
Contact Title: Not reported  
EPA Region: 05  
Land Type: Private  
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator  
Non-Notifier: Not reported  
Biennial Report Cycle: Not reported  
Accessibility: Not reported  
Active Site Indicator: Handler Activities  
State District Owner: Not reported  
State District: Not reported  
Mailing Address: 112 PEABODY ST  
Mailing City,State,Zip: BIRMINGHAM, MI 48009  
Owner Name: FULLER CENTRAL PARK PROPERTIES LLC  
Owner Type: Private  
Operator Name: FULLER CENTRAL PARK PROPERTIES LLC  
Operator Type: Private  
Short-Term Generator Activity: No  
Importer Activity: No  
Mixed Waste Generator: No  
Transporter Activity: No  
Transfer Facility Activity: No  
Recycler Activity with Storage: No  
Small Quantity On-Site Burner Exemption: No  
Smelting Melting and Refining Furnace Exemption: No  
Underground Injection Control: No  
Off-Site Waste Receipt: No  
Universal Waste Indicator: No  
Universal Waste Destination Facility: No  
Federal Universal Waste: No  
Active Site Fed-Reg Treatment Storage and Disposal Facility: Not reported  
Active Site Converter Treatment storage and Disposal Facility: Not reported  
Active Site State-Reg Treatment Storage and Disposal Facility: Not reported  
Active Site State-Reg Handler: ---  
Federal Facility Indicator: Not reported  
Hazardous Secondary Material Indicator: NN

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FULLER CENTRAL PARK PROPERTIES LLC (Continued)**

**1016142307**

Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSD Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2013-03-13 09:15:57.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

**Hazardous Waste Summary:**

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

**Handler - Owner Operator:**

Owner/Operator Indicator:	Owner
Owner/Operator Name:	FULLER CENTRAL PARK PROPERTIES LLC
Legal Status:	Private
Date Became Current:	1976-06-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Operator
---------------------------	----------



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FULLER CENTRAL PARK PROPERTIES LLC (Continued)**

**1016142307**

Owner/Operator Name:	FULLER CENTRAL PARK PROPERTIES LLC
Legal Status:	Private
Date Became Current:	1976-06-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Historic Generators:

Receive Date:	2013-03-12 00:00:00.0
Handler Name:	FULLER CENTRAL PARK PROPERTIES LLC
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	Yes
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

List of NAICS Codes and Descriptions:

NAICS Code:	531312
NAICS Description:	NONRESIDENTIAL PROPERTY MANAGERS

Facility Has Received Notices of Violations:

Violations:	No Violations Found
-------------	---------------------

Evaluation Action Summary:

Evaluations:	No Evaluations Found
--------------	----------------------

FINDS:

Registry ID:	110055448608
--------------	--------------

Click Here:

Environmental Interest/Information System:

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid:	1016142307
Registry ID:	110055448608
DFR URL:	<a href="http://echo.epa.gov/detailed-facility-report?fid=110055448608">http://echo.epa.gov/detailed-facility-report?fid=110055448608</a>

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FULLER CENTRAL PARK PROPERTIES LLC (Continued)**

**1016142307**

Name: FULLER CENTRAL PARK PROPERTIES LLC  
Address: 111 S OLD WOODWARD  
City,State,Zip: BIRMINGHAM, MI 48009

**38**  
**South**  
**1/8-1/4**  
**0.158 mi.**  
**835 ft.**

**BARNUM HEALTH CENTER**  
**746 PURDY ST**  
**BIRMINGHAM, MI 48009**

**UST U003833692**  
**N/A**

**Relative:**  
**Lower**

**UST:**

**Actual:**  
**764 ft.**

Name: BARNUM HEALTH CENTER  
Address: 746 PURDY ST  
City,State,Zip: BIRMINGHAM 48009-1768  
Facility Type: CLOSED  
Facility ID: 00017691  
Facility Region: Not reported  
Owner Name: BEAUMONT INFORMATION SERVICE CENTER  
Owner Address: 1350 STEPHENSON HWY  
Owner City: TROY  
Owner State: MI  
Owner Zip: 48083  
Owner Contact: Not reported  
Owner Phone: 2485516351  
Contact: JIM ANDERSON  
Contact Phone: (734) 285-3737  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 1  
Capacity: 10000  
Tank Status: Temporarily Out of Use  
Substance: Diesel,Other(HEAT-CONSUMPTIVE USE)  
Install Date: 05/01/1951  
Remove Date: Not reported  
Tank Number: Not reported  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Not reported  
Piping Type: Not reported  
Tank Construction: Not reported  
Impressed Device: Not reported  
Latitude: 42.54198  
Longitude: -83.21291

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**K39**  
**SE**  
**1/8-1/4**  
**0.162 mi.**  
**857 ft.**  
**VILLAGE JEEP EAGLE**  
**666 S WOODWARD**  
**BIRMINGHAM, MI 48011**  
**Site 1 of 3 in cluster K**

**UST** **U003320620**  
**N/A**

**Relative:**  
**Lower**

UST:

**Actual:**  
**761 ft.**

Name: VILLAGE JEEP EAGLE  
Address: 666 S WOODWARD  
City,State,Zip: BIRMINGHAM, MI 48011  
Facility Type: CLOSED  
Facility ID: 00005612  
Facility Region: Not reported  
Owner Name: CHRYSLER REALTY CORP  
Owner Address: 1450 W LONG LAKE RD STE 280  
Owner City: TROY  
Owner State: MI  
Owner Zip: 48098  
Owner Contact: Not reported  
Owner Phone: 3137370299  
Contact: F.G. NEUMAN  
Contact Phone: (313) 229-8639  
Date of Collection: Not reported  
Accuracy: 15  
Horizontal Datum: NAD83  
Accuracy Value Unit: METERS  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Not reported  
Method of Collection: Interpolation-Map  
District: Region 1 - SE Michigan District Office  
Tank ID: 1  
Capacity: 250  
Tank Status: Removed from Ground  
Substance: Not reported  
Install Date: 05/07/1966  
Remove Date: 08/30/1990  
Tank Number: UTK-005255-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Unknown  
Piping Type: Not reported  
Tank Construction: Unknown  
Impressed Device: Not reported  
Latitude: 42.54253  
Longitude: -83.20964

**L40**  
**NE**  
**1/8-1/4**  
**0.162 mi.**  
**858 ft.**  
**HOLIDAY INN**  
**34952 WOODWARD AVE**  
**BIRMINGHAM, MI 48009**  
**Site 1 of 5 in cluster L**

**RCRA-VSQQ** **1007098585**  
**MIK541799672**

**Relative:**  
**Higher**

RCRA-VSQQ:

**Actual:**  
**774 ft.**

Date Form Received by Agency: 2006-07-31 00:00:00.0  
Handler Name: HOLIDAY INN  
Handler Address: 34952 WOODWARD AVE  
Handler City,State,Zip: BIRMINGHAM, MI 48009  
EPA ID: MIK541799672

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**HOLIDAY INN (Continued)**

**1007098585**

Contact Name:	JOHN SCHIMETZ
Contact Address:	34952 WOODWARD AVE
Contact City,State,Zip:	BIRMINGHAM, MI 48009
Contact Telephone:	734-855-0105
Contact Fax:	Not reported
Contact Email:	Not reported
Contact Title:	Not reported
EPA Region:	05
Land Type:	Private
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
Non-Notifier:	Not reported
Biennial Report Cycle:	Not reported
Accessibility:	Not reported
Active Site Indicator:	Handler Activities
State District Owner:	Not reported
State District:	Not reported
Mailing Address:	11853 BELDEN CT
Mailing City,State,Zip:	LIVONIA, MI 48150
Owner Name:	HOLIDAY INNS
Owner Type:	Private
Operator Name:	HOLIDAY INNS
Operator Type:	Private
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**HOLIDAY INN (Continued)**

**1007098585**

Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

**Hazardous Waste Summary:**

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

**Handler - Owner Operator:**

Owner/Operator Indicator:	Operator
Owner/Operator Name:	HOLIDAY INNS
Legal Status:	Private
Date Became Current:	2001-09-18 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	HOLIDAY INNS
Legal Status:	Private
Date Became Current:	2001-09-18 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Operator
Owner/Operator Name:	HOLIDAY INNS
Legal Status:	Private
Date Became Current:	2001-09-18 00:00:00.
Date Ended Current:	Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**HOLIDAY INN (Continued)**

**1007098585**

Owner/Operator Address: Not reported  
Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner  
Owner/Operator Name: HOLIDAY INNS  
Legal Status: Private  
Date Became Current: 2001-09-18 00:00:00.  
Date Ended Current: Not reported  
Owner/Operator Address: Not reported  
Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

**Historic Generators:**

Receive Date: 2006-07-31 00:00:00.0  
Handler Name: HOLIDAY INN  
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator  
State District Owner: Not reported  
Large Quantity Handler of Universal Waste: No  
Recognized Trader Importer: No  
Recognized Trader Exporter: No  
Spent Lead Acid Battery Importer: No  
Spent Lead Acid Battery Exporter: No  
Current Record: Yes  
Non Storage Recycler Activity: Not reported  
Electronic Manifest Broker: Not reported

Receive Date: 2001-09-18 00:00:00.0  
Handler Name: HOLIDAY INN  
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator  
State District Owner: Not reported  
Large Quantity Handler of Universal Waste: No  
Recognized Trader Importer: No  
Recognized Trader Exporter: No  
Spent Lead Acid Battery Importer: No  
Spent Lead Acid Battery Exporter: No  
Current Record: No  
Non Storage Recycler Activity: Not reported  
Electronic Manifest Broker: Not reported

**List of NAICS Codes and Descriptions:**

NAICS Code: 72111  
NAICS Description: HOTELS (EXCEPT CASINO HOTELS) AND MOTELS

**Facility Has Received Notices of Violations:**

Violations: No Violations Found

**Evaluation Action Summary:**

Evaluations: No Evaluations Found

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**M41**  
**ESE**  
**1/8-1/4**  
**0.165 mi.**  
**870 ft.**  
**GOLLING MOTORS, INC.**  
**34500 WOODWARD**  
**BIRMINGHAM, MI 48009**  
**Site 1 of 2 in cluster M**

**INVENTORY**  
**BEA**  
**S111333595**  
**N/A**

**Relative:** INVENTORY:  
**Lower** Name: GOLLING MOTORS, INC.  
Address: 34500 WOODWARD  
**Actual:** City,State,Zip: BIRMINGHAM, MI 48009  
**762 ft.** Bea Number: Not reported  
Township: Birmingham  
District: Southeast MI  
Data Source: Part 201  
Latitude: 42.54345  
Longitude: -83.20896

BEA:  
Secondary Address: Not reported  
BEA Number: 4941  
District: Southeast MI  
Date Received: 10/05/2011  
Submitter Name: Golling Motors, Inc.  
Petition Determination: No Request  
Petition Disclosure: 0  
Category: Not reported  
Determination 20107A: No Request  
Reviewer: berakr  
Division Assigned: RD

**M42**  
**ESE**  
**1/8-1/4**  
**0.165 mi.**  
**870 ft.**  
**GOLLING MOTORS, INC.**  
**34500 WOODWARD AVENUE**  
**OAKLAND (County), MI 48009**  
**Site 2 of 2 in cluster M**

**INVENTORY**  
**S114029283**  
**N/A**

**Relative:** INVENTORY:  
**Lower** Name: GOLLING MOTORS, INC.  
Address: 34500 WOODWARD AVENUE  
**Actual:** City,State,Zip: MI 48009  
**762 ft.** Bea Number: 201104941LV  
Township: Birmingham  
District: Southeast MI  
Data Source: BEA  
Latitude: 42.54345  
Longitude: -83.20896

**K43**  
**SE**  
**1/8-1/4**  
**0.169 mi.**  
**894 ft.**  
**VILLAGE AMC/JEEP INC**  
**666 S OLD WOODWARD AVE**  
**BIRMINGHAM, MI 48009**  
**Site 2 of 3 in cluster K**

**RCRA NonGen / NLR**  
**FINDS**  
**ECHO**  
**1000276202**  
**MID058819707**

**Relative:** RCRA NonGen / NLR:  
**Lower** Date Form Received by Agency: 1998-09-17 00:00:00.0  
**Actual:** Handler Name: VILLAGE AMC/JEEP INC  
**760 ft.** Handler Address: 666 S OLD WOODWARD AVE  
Handler City,State,Zip: BIRMINGHAM, MI 48009

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**VILLAGE AMC/JEEP INC (Continued)**

**1000276202**

EPA ID:	MID058819707
Contact Name:	ROBERT CANN
Contact Address:	666 S OLD WOODWARD AVE
Contact City,State,Zip:	BIRMINGHAM, MI 48009
Contact Telephone:	313-646-3900
Contact Fax:	Not reported
Contact Email:	Not reported
Contact Title:	Not reported
EPA Region:	05
Land Type:	Private
Federal Waste Generator Description:	Not a generator, verified
Non-Notifier:	Not reported
Biennial Report Cycle:	Not reported
Accessibility:	Not reported
Active Site Indicator:	Not reported
State District Owner:	Not reported
State District:	Not reported
Mailing Address:	666 S OLD WOODWARD AVE
Mailing City,State,Zip:	BIRMINGHAM, MI 48009
Owner Name:	VILLAGE AMC/JEEP INC
Owner Type:	Private
Operator Name:	VILLAGE AMC/JEEP INC
Operator Type:	Private
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**VILLAGE AMC/JEEP INC (Continued)**

**1000276202**

TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

**Hazardous Waste Summary:**

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

**Handler - Owner Operator:**

Owner/Operator Indicator:	Operator
Owner/Operator Name:	VILLAGE AMC/JEEP INC
Legal Status:	Private
Date Became Current:	1970-01-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Operator
Owner/Operator Name:	VILLAGE AMC/JEEP INC
Legal Status:	Private
Date Became Current:	1970-01-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	VILLAGE AMC/JEEP INC
Legal Status:	Private
Date Became Current:	1970-01-01 00:00:00.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**VILLAGE AMC/JEEP INC (Continued)**

**1000276202**

Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	VILLAGE AMC/JEEP INC
Legal Status:	Private
Date Became Current:	1970-01-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Historic Generators:

Receive Date:	1998-09-17 00:00:00.0
Handler Name:	VILLAGE AMC/JEEP INC
Federal Waste Generator Description:	Not a generator, verified
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	Yes
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

Receive Date:	1985-09-09 00:00:00.0
Handler Name:	VILLAGE AMC/JEEP INC
Federal Waste Generator Description:	Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

List of NAICS Codes and Descriptions:

NAICS Code:	11131
NAICS Description:	ORANGE GROVES

Facility Has Received Notices of Violations:

Violations:	No Violations Found
-------------	---------------------

Evaluation Action Summary:



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**VILLAGE AMC/JEEP INC (Continued)**

**1000276202**

Evaluations:

No Evaluations Found

**FINDS:**

Registry ID: 110003599428

Click Here:

**Environmental Interest/Information System:**

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

**ECHO:**

Envid: 1000276202  
Registry ID: 110003599428  
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110003599428>  
Name: VILLAGE AMC/JEEP INC  
Address: 666 S OLD WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009

**N44**  
**NNE**  
**1/8-1/4**  
**0.169 mi.**  
**894 ft.**

**SUNOCO #0008-4178**  
**35001 WOODWARD AVE**  
**BIRMINGHAM, MI 48009**  
**Site 1 of 2 in cluster N**

**LUST**  
**UST**  
**INVENTORY**  
**BEA**  
**WDS**  
**U003320721**  
**N/A**

**Relative:**  
**Higher**  
**Actual:**  
**780 ft.**

**LUST:**

Name: SUNOCO #0008-4178  
Address: 35001 WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-  
Facility ID: 00005935  
Source: STATE OF MICHIGAN  
Owner Name: SunocoInc (R&M)  
Owner Address: Not reported  
Owner City,St,Zip: UNKNOWN, MI  
Owner Contact: Not reported  
Owner Phone: Not reported  
Country: USA  
District: Warren  
Site Name: Sunoco #0008-4178  
Latitude: 42.54698  
Longitude: -83.21428  
Date of Collection: 01/11/2001  
Method of Collection: Address Matching-House Number  
Accuracy: 100  
Accuracy Value Unit: FEET  
Horizontal Data: NAD83  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)

Leak Number: C-0924-96

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SUNOCO #0008-4178 (Continued)**

**U003320721**

Release Date: 11/07/1996  
Substance Released: Unknown  
Release Status: Closed  
Release Closed Date: 06/08/2010

**UST:**

Name: SUNOCO #0008-4178  
Address: 35001 WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-0933  
Facility Type: CLOSED  
Facility ID: 00005935  
Facility Region: 1  
Owner Name: SUNOCO INC (R&M)  
Owner Address: 1735 MARKET ST 12ND FLOOR  
Owner City: PHILADELPHIA  
Owner State: PA  
Owner Zip: 19103  
Owner Contact: Not reported  
Owner Phone: 2152468513  
Contact: Kathleen McCaney  
Contact Phone: (215) 246-8513  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 6  
Capacity: 1000  
Tank Status: Removed from Ground  
Substance: Used Oil  
Install Date: 04/01/1988  
Remove Date: 10/14/1998  
Tank Number: UTK-044675-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Tank Tightness Testing  
Pipe Release Detection: Line Tightness Testing  
Piping Material: Fiberglass Reinforced Plastic  
Piping Type: Not reported  
Tank Construction: Composite (Steel With Fiberglass)  
Impressed Device: Not reported  
Latitude: 42.54698  
Longitude: -83.21428

Name: SUNOCO #0008-4178  
Address: 35001 WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-0933  
Facility Type: CLOSED  
Facility ID: 00005935  
Facility Region: 1  
Owner Name: SUNOCO INC (R&M)  
Owner Address: 1735 MARKET ST 12ND FLOOR  
Owner City: PHILADELPHIA  
Owner State: PA  
Owner Zip: 19103

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SUNOCO #0008-4178 (Continued)**

**U003320721**

Owner Contact:	Not reported
Owner Phone:	2152468513
Contact:	Kathleen McCaney
Contact Phone:	(215) 246-8513
Date of Collection:	01/11/2001
Accuracy:	100
Horizontal Datum:	NAD83
Accuracy Value Unit:	FEET
Source:	STATE OF MICHIGAN
Point Line Area:	POINT
Desc Category:	Plant Entrance (Freight)
Method of Collection:	Address Matching-House Number
District:	Region 1 - SE Michigan District Office
Tank ID:	5
Capacity:	8000
Tank Status:	Removed from Ground
Substance:	Gasoline
Install Date:	05/05/1982
Remove Date:	10/01/2003
Tank Number:	UTK-001064-15
Tank Details Compartments:	Not reported
Tank Release Detection:	Automatic Tank Gauging,Inventory Control,Tank Tightness Testing
Pipe Release Detection:	Automatic Line Leak Detectors,Line Tightness Testing
Piping Material:	Fiberglass Reinforced Plastic
Piping Type:	Pressure (Remote)
Tank Construction:	Fiberglass Reinforced Plastic
Impressed Device:	Not reported
Latitude:	42.54698
Longitude:	-83.21428
Name:	SUNOCO #0008-4178
Address:	35001 WOODWARD AVE
City,State,Zip:	BIRMINGHAM, MI 48009-0933
Facility Type:	CLOSED
Facility ID:	00005935
Facility Region:	1
Owner Name:	SUNOCO INC (R&M)
Owner Address:	1735 MARKET ST 12ND FLOOR
Owner City:	PHILADELPHIA
Owner State:	PA
Owner Zip:	19103
Owner Contact:	Not reported
Owner Phone:	2152468513
Contact:	Kathleen McCaney
Contact Phone:	(215) 246-8513
Date of Collection:	01/11/2001
Accuracy:	100
Horizontal Datum:	NAD83
Accuracy Value Unit:	FEET
Source:	STATE OF MICHIGAN
Point Line Area:	POINT
Desc Category:	Plant Entrance (Freight)
Method of Collection:	Address Matching-House Number
District:	Region 1 - SE Michigan District Office
Tank ID:	4
Capacity:	8000
Tank Status:	Removed from Ground

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SUNOCO #0008-4178 (Continued)**

**U003320721**

Substance: Gasoline  
Install Date: 05/05/1982  
Remove Date: 10/01/2003  
Tank Number: UTK-033696-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Automatic Tank Gauging,Inventory Control,Tank Tightness Testing  
Pipe Release Detection: Automatic Line Leak Detectors,Line Tightness Testing  
Piping Material: Fiberglass Reinforced Plastic  
Piping Type: Pressure (Remote)  
Tank Construction: Composite (Steel With Fiberglass),Fiberglass Reinforced Plastic  
Impressed Device: Not reported  
Latitude: 42.54698  
Longitude: -83.21428

Name: SUNOCO #0008-4178  
Address: 35001 WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-0933  
Facility Type: CLOSED  
Facility ID: 00005935  
Facility Region: 1  
Owner Name: SUNOCO INC (R&M)  
Owner Address: 1735 MARKET ST 12ND FLOOR  
Owner City: PHILADELPHIA  
Owner State: PA  
Owner Zip: 19103  
Owner Contact: Not reported  
Owner Phone: 2152468513  
Contact: Kathleen McCaney  
Contact Phone: (215) 246-8513  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 3  
Capacity: 6000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: 05/05/1981  
Remove Date: 10/01/2003  
Tank Number: UTK-072971-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Automatic Tank Gauging,Inventory Control,Tank Tightness Testing  
Pipe Release Detection: Automatic Line Leak Detectors,Line Tightness Testing  
Piping Material: Fiberglass Reinforced Plastic  
Piping Type: Pressure (Remote)  
Tank Construction: Composite (Steel With Fiberglass)  
Impressed Device: Not reported  
Latitude: 42.54698  
Longitude: -83.21428

Name: SUNOCO #0008-4178  
Address: 35001 WOODWARD AVE

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SUNOCO #0008-4178 (Continued)**

**U003320721**

City,State,Zip: BIRMINGHAM, MI 48009-0933  
Facility Type: CLOSED  
Facility ID: 00005935  
Facility Region: 1  
Owner Name: SUNOCO INC (R&M)  
Owner Address: 1735 MARKET ST 12ND FLOOR  
Owner City: PHILADELPHIA  
Owner State: PA  
Owner Zip: 19103  
Owner Contact: Not reported  
Owner Phone: 2152468513  
Contact: Kathleen McCaney  
Contact Phone: (215) 246-8513  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 2  
Capacity: 1000  
Tank Status: Removed from Ground  
Substance: Used Oil  
Install Date: 05/05/1970  
Remove Date: 04/01/1988  
Tank Number: UTK-072966-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Bare Steel,Fiberglass Reinforced Plastic  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel,Composite (Steel With Fiberglass)  
Impressed Device: Not reported  
Latitude: 42.54698  
Longitude: -83.21428

Name: SUNOCO #0008-4178  
Address: 35001 WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-0933  
Facility Type: CLOSED  
Facility ID: 00005935  
Facility Region: 1  
Owner Name: SUNOCO INC (R&M)  
Owner Address: 1735 MARKET ST 12ND FLOOR  
Owner City: PHILADELPHIA  
Owner State: PA  
Owner Zip: 19103  
Owner Contact: Not reported  
Owner Phone: 2152468513  
Contact: Kathleen McCaney  
Contact Phone: (215) 246-8513  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SUNOCO #0008-4178 (Continued)**

**U003320721**

Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 1  
Capacity: 6000  
Tank Status: Removed from Ground  
Substance: Diesel  
Install Date: 05/05/1982  
Remove Date: 04/01/1988  
Tank Number: UTK-047664-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Fiberglass Reinforced Plastic  
Piping Type: Pressure (Remote)  
Tank Construction: Composite (Steel With Fiberglass),Fiberglass Reinforced Plastic  
Impressed Device: Not reported  
Latitude: 42.54698  
Longitude: -83.21428

**INVENTORY:**

Name: SUNOCO GASOLINE STATION (FORMER)  
Address: 35001 WOODWARD AVENUE  
City,State,Zip: MI 48009  
Bea Number: 200402477LV  
Township: Birmingham  
District: Southeast MI  
Data Source: BEA  
Latitude: Not reported  
Longitude: Not reported

**BEA:**

Secondary Address: Not reported  
BEA Number: 2477  
District: Southeast MI  
Date Received: 07/30/2004  
Submitter Name: Birmingham Property, LLC  
Petition Determination: No Request  
Petition Disclosure: 0  
Category: No Hazardous Substance(s)  
Determination 20107A: No Request  
Reviewer: mitchelf  
Division Assigned: Environmental Response Division

**WDS:**

Name: SUNOCO INC  
Address: 35001 WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009  
Site Id: MID087750204  
WMD Id: 397695  
Site Specific Name: HORTONS BIRMINGHAM SUNOCO NUMBER 84178  
Mailing Address: 1801 MARKET STREET  
Mailing City/State/Zip: 19103

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SUNOCO #0008-4178 (Continued)**

**U003320721**

Mailing County: Not reported

**N45**  
**NNE**  
**1/8-1/4**  
**0.169 mi.**  
**894 ft.**

**SUNOCO SERVICE STATION 84178**  
**35001 WOODWARD AVE**  
**BIRMINGHAM, MI 48009**  
  
**Site 2 of 2 in cluster N**

**RCRA NonGen / NLR**  
**FINDS**  
**ECHO**

**1004722718**  
**MID087750204**

**Relative:**  
**Higher**  
  
**Actual:**  
**780 ft.**

RCRA NonGen / NLR:  
Date Form Received by Agency: 2004-03-01 00:00:00.0  
Handler Name: SUNOCO SERVICE STATION 84178  
Handler Address: 35001 WOODWARD AVE  
Handler City,State,Zip: BIRMINGHAM, MI 48009  
EPA ID: MID087750204  
Contact Name: LINDA HOFFMAN  
Contact Address: Not reported  
Contact City,State,Zip: Not reported  
Contact Telephone: 215-977-6841  
Contact Fax: Not reported  
Contact Email: Not reported  
Contact Title: Not reported  
EPA Region: 05  
Land Type: Other  
Federal Waste Generator Description: Not a generator, verified  
Non-Notifier: Not reported  
Biennial Report Cycle: 2003  
Accessibility: Not reported  
Active Site Indicator: Not reported  
State District Owner: Not reported  
State District: Not reported  
Mailing Address: 1801 MARKET STREET  
Mailing City,State,Zip: PHILADELPHIA, PA 19103  
Owner Name: CURRENT OWNER-OPERATOR IS NOT REGULATED  
Owner Type: Other  
Operator Name: CURRENT OWNER-OPERATOR IS NOT REGULATED  
Operator Type: Other  
Short-Term Generator Activity: No  
Importer Activity: No  
Mixed Waste Generator: No  
Transporter Activity: No  
Transfer Facility Activity: No  
Recycler Activity with Storage: No  
Small Quantity On-Site Burner Exemption: No  
Smelting Melting and Refining Furnace Exemption: No  
Underground Injection Control: No  
Off-Site Waste Receipt: No  
Universal Waste Indicator: No  
Universal Waste Destination Facility: No  
Federal Universal Waste: No  
Active Site Fed-Reg Treatment Storage and Disposal Facility: Not reported  
Active Site Converter Treatment storage and Disposal Facility: Not reported  
Active Site State-Reg Treatment Storage and Disposal Facility: Not reported  
Active Site State-Reg Handler: ---  
Federal Facility Indicator: Not reported  
Hazardous Secondary Material Indicator: NN  
Sub-Part K Indicator: Not reported  
Commercial TSD Indicator: No  
Treatment Storage and Disposal Type: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SUNOCO SERVICE STATION 84178 (Continued)**

**1004722718**

2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2004-11-23 00:00:00.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Biennial: List of Years

Year: 2003

[Click Here for Biennial Reporting System Data:](#)

Hazardous Waste Summary:

Waste Code: D001  
Waste Description: IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator:	Operator
Owner/Operator Name:	CURRENT OWNER-OPERATOR IS NOT REGULATED
Legal Status:	Other
Date Became Current:	2003-11-07 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SUNOCO SERVICE STATION 84178 (Continued)**

**1004722718**

Owner/Operator Indicator:	Operator
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2003-11-08 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2003-11-08 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2003-11-08 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2003-11-08 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2003-11-08 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SUNOCO SERVICE STATION 84178 (Continued)**

**1004722718**

Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2003-11-08 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2003-11-08 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2003-11-08 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2003-11-08 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	NO ACTIVE O/OP AS NOT GENERATING WASTE
Legal Status:	Private
Date Became Current:	2003-11-08 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SUNOCO SERVICE STATION 84178 (Continued)**

**1004722718**

Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	CURRENT OWNER-OPERATOR IS NOT REGULATED
Legal Status:	Other
Date Became Current:	2003-11-07 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Historic Generators:

Receive Date:	1998-10-14 00:00:00.0
Handler Name:	SUNOCO INC
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

Receive Date:	2002-11-22 00:00:00.0
Handler Name:	SUNOCO INC
Federal Waste Generator Description:	Large Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

Receive Date:	1980-08-18 00:00:00.0
Handler Name:	SUNOCO INC
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SUNOCO SERVICE STATION 84178 (Continued)**

**1004722718**

Receive Date: 2003-11-07 00:00:00.0  
Handler Name: SUNOCO INC  
Federal Waste Generator Description: Not a generator, verified  
State District Owner: Not reported  
Large Quantity Handler of Universal Waste: No  
Recognized Trader Importer: No  
Recognized Trader Exporter: No  
Spent Lead Acid Battery Importer: No  
Spent Lead Acid Battery Exporter: No  
Current Record: No  
Non Storage Recycler Activity: Not reported  
Electronic Manifest Broker: Not reported

Receive Date: 2003-11-07 00:00:00.0  
Handler Name: SUNOCO INC  
Federal Waste Generator Description: Not a generator, verified  
State District Owner: Not reported  
Large Quantity Handler of Universal Waste: No  
Recognized Trader Importer: No  
Recognized Trader Exporter: No  
Spent Lead Acid Battery Importer: No  
Spent Lead Acid Battery Exporter: No  
Current Record: No  
Non Storage Recycler Activity: Not reported  
Electronic Manifest Broker: Not reported

Receive Date: 1992-01-01 00:00:00.0  
Handler Name: SUNOCO SERVICE STATION  
Federal Waste Generator Description: Large Quantity Generator  
State District Owner: Not reported  
Large Quantity Handler of Universal Waste: No  
Recognized Trader Importer: No  
Recognized Trader Exporter: No  
Spent Lead Acid Battery Importer: No  
Spent Lead Acid Battery Exporter: No  
Current Record: No  
Non Storage Recycler Activity: Not reported  
Electronic Manifest Broker: Not reported

Receive Date: 2004-03-01 00:00:00.0  
Handler Name: SUNOCO SERVICE STATION 84178  
Federal Waste Generator Description: Not a generator, verified  
State District Owner: Not reported  
Large Quantity Handler of Universal Waste: No  
Recognized Trader Importer: No  
Recognized Trader Exporter: No  
Spent Lead Acid Battery Importer: No  
Spent Lead Acid Battery Exporter: No  
Current Record: Yes  
Non Storage Recycler Activity: Not reported  
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 4471  
NAICS Description: GASOLINE STATIONS  
  
NAICS Code: 44711

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SUNOCO SERVICE STATION 84178 (Continued)**

**1004722718**

NAICS Description: GASOLINE STATIONS WITH CONVENIENCE STORES

Facility Has Received Notices of Violation:

Found Violation:	Yes
Agency Which Determined Violation:	State
Violation Short Description:	Used Oil - Generators
Date Violation was Determined:	2002-11-22 00:00:00.0
Actual Return to Compliance Date:	2003-03-13 00:00:00.0
Return to Compliance Qualifier:	Documented
Violation Responsible Agency:	State
Scheduled Compliance Date:	2003-01-08 00:00:00.0
Enforcement Identifier:	001
Date of Enforcement Action:	2002-12-05 00:00:00.0
Enforcement Responsible Agency:	State
Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	No
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported
Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported
Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	WRITTEN INFORMAL
Enforcement Responsible Person:	Not reported
Enforcement Responsible Sub-Organization:	Not reported
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported
Final Monetary Amount:	Not reported
Paid Amount:	Not reported
Final Count:	Not reported
Final Amount:	Not reported
Found Violation:	Yes
Agency Which Determined Violation:	State
Violation Short Description:	Universal Waste - Small Quantity Handlers
Date Violation was Determined:	2002-11-22 00:00:00.0
Actual Return to Compliance Date:	2003-03-13 00:00:00.0
Return to Compliance Qualifier:	Documented
Violation Responsible Agency:	State
Scheduled Compliance Date:	2003-01-08 00:00:00.0
Enforcement Identifier:	001
Date of Enforcement Action:	2002-12-05 00:00:00.0
Enforcement Responsible Agency:	State
Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	No
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SUNOCO SERVICE STATION 84178 (Continued)**

**1004722718**

Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported
Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	WRITTEN INFORMAL
Enforcement Responsible Person:	Not reported
Enforcement Responsible Sub-Organization:	Not reported
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported
Final Monetary Amount:	Not reported
Paid Amount:	Not reported
Final Count:	Not reported
Final Amount:	Not reported
Found Violation:	Yes
Agency Which Determined Violation:	State
Violation Short Description:	State Statute or Regulation
Date Violation was Determined:	2002-11-22 00:00:00.0
Actual Return to Compliance Date:	2003-03-13 00:00:00.0
Return to Compliance Qualifier:	Documented
Violation Responsible Agency:	State
Scheduled Compliance Date:	2003-01-08 00:00:00.0
Enforcement Identifier:	001
Date of Enforcement Action:	2002-12-05 00:00:00.0
Enforcement Responsible Agency:	State
Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	No
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported
Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported
Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	WRITTEN INFORMAL
Enforcement Responsible Person:	Not reported
Enforcement Responsible Sub-Organization:	Not reported
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported
Final Monetary Amount:	Not reported
Paid Amount:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SUNOCO SERVICE STATION 84178 (Continued)**

**1004722718**

Final Count: Not reported  
Final Amount: Not reported

Evaluation Action Summary:

Evaluation Date: 2002-11-22 00:00:00.0  
Evaluation Responsible Agency: State  
Found Violation: Yes  
Evaluation Type Description: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Evaluation Responsible Person Identifier: Not reported  
Evaluation Responsible Sub-Organization: Not reported  
Actual Return to Compliance Date: 2003-03-13 00:00:00.0  
Scheduled Compliance Date: 2003-01-08 00:00:00.0  
Date of Request: Not reported  
Date Response Received: Not reported  
Request Agency: Not reported  
Former Citation: Not reported

Evaluation Date: 2002-11-22 00:00:00.0  
Evaluation Responsible Agency: State  
Found Violation: Yes  
Evaluation Type Description: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Evaluation Responsible Person Identifier: Not reported  
Evaluation Responsible Sub-Organization: Not reported  
Actual Return to Compliance Date: 2003-03-13 00:00:00.0  
Scheduled Compliance Date: 2003-01-08 00:00:00.0  
Date of Request: Not reported  
Date Response Received: Not reported  
Request Agency: Not reported  
Former Citation: Not reported

Evaluation Date: 2002-11-22 00:00:00.0  
Evaluation Responsible Agency: State  
Found Violation: Yes  
Evaluation Type Description: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Evaluation Responsible Person Identifier: Not reported  
Evaluation Responsible Sub-Organization: Not reported  
Actual Return to Compliance Date: 2003-03-13 00:00:00.0  
Scheduled Compliance Date: 2003-01-08 00:00:00.0  
Date of Request: Not reported  
Date Response Received: Not reported  
Request Agency: Not reported  
Former Citation: Not reported

FINDS:

Registry ID: 110003607124

Click Here:

Environmental Interest/Information System:

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.  
HAZARDOUS WASTE BIENNIAL REPORTER



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SUNOCO SERVICE STATION 84178 (Continued)**

**1004722718**

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

**ECHO:**

Envid: 1004722718  
Registry ID: 110003607124  
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110003607124>  
Name: SUNOCO SERVICE STATION 84178  
Address: 35001 WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009

**J46  
NW  
1/8-1/4  
0.177 mi.  
936 ft.**

**BIRMINGHAM CO (M57110)  
155 HENRIETTA ST  
BIRMINGHAM, MI 48009  
Site 2 of 3 in cluster J**

**UST U003322266  
N/A**

**Relative:  
Higher**

**UST:**

**Actual:  
782 ft.**

Name: BIRMINGHAM CO (M57110)  
Address: 155 HENRIETTA ST  
City,State,Zip: BIRMINGHAM, MI 48009-3367  
Facility Type: ACTIVE  
Facility ID: 00011669  
Facility Region: 1  
Owner Name: AT&T MICHIGAN  
Owner Address: 308 S AKARD STE 1700  
Owner City: DALLAS  
Owner State: TX  
Owner Zip: 75202  
Owner Contact: Not reported  
Owner Phone: 8776482073  
Contact: Chris McCaslin  
Contact Phone: (214) 464-5553  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 3  
Capacity: 4000  
Tank Status: Currently In Use  
Substance: Diesel  
Install Date: 05/08/1969  
Remove Date: Not reported  
Tank Number: UTK-061382-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Automatic Tank Gauging,Manual (Static) Tank Gauging  
Pipe Release Detection: Interstitial Monitoring Second Containment  
Piping Material: Unknown  
Piping Type: Suction:Valve at Tank  
Tank Construction: Fiberglass Reinforced Plastic  
Impressed Device: Not reported  
Latitude: 42.54619

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BIRMINGHAM CO (M57110) (Continued)**

**U003322266**

Longitude: -83.21589

Name: BIRMINGHAM CO (M57110)  
Address: 155 HENRIETTA ST  
City,State,Zip: BIRMINGHAM, MI 48009-3367  
Facility Type: ACTIVE  
Facility ID: 00011669  
Facility Region: 1  
Owner Name: AT&T MICHIGAN  
Owner Address: 308 S AKARD STE 1700  
Owner City: DALLAS  
Owner State: TX  
Owner Zip: 75202  
Owner Contact: Not reported  
Owner Phone: 8776482073  
Contact: Chris McCaslin  
Contact Phone: (214) 464-5553  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 2  
Capacity: 4000  
Tank Status: Currently In Use  
Substance: Diesel  
Install Date: 05/08/1969  
Remove Date: Not reported  
Tank Number: UTK-033381-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Automatic Tank Gauging,Manual (Static) Tank Gauging  
Pipe Release Detection: Interstitial Monitoring Second Containment  
Piping Material: Unknown  
Piping Type: Suction:Valve at Tank  
Tank Construction: Fiberglass Reinforced Plastic  
Impressed Device: Not reported  
Latitude: 42.54619  
Longitude: -83.21589

Name: BIRMINGHAM CO (M57110)  
Address: 155 HENRIETTA ST  
City,State,Zip: BIRMINGHAM, MI 48009-3367  
Facility Type: ACTIVE  
Facility ID: 00011669  
Facility Region: 1  
Owner Name: AT&T MICHIGAN  
Owner Address: 308 S AKARD STE 1700  
Owner City: DALLAS  
Owner State: TX  
Owner Zip: 75202  
Owner Contact: Not reported  
Owner Phone: 8776482073  
Contact: Chris McCaslin

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BIRMINGHAM CO (M57110) (Continued)**

**U003322266**

Contact Phone: (214) 464-5553  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 1  
Capacity: 4000  
Tank Status: Currently In Use  
Substance: Diesel  
Install Date: 05/08/1969  
Remove Date: Not reported  
Tank Number: UTK-061373-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Automatic Tank Gauging,Manual (Static) Tank Gauging  
Pipe Release Detection: Interstitial Monitoring Second Containment  
Piping Material: Unknown  
Piping Type: Suction:Valve at Tank  
Tank Construction: Fiberglass Reinforced Plastic  
Impressed Device: Not reported  
Latitude: 42.54619  
Longitude: -83.21589

**J47  
NW  
1/8-1/4  
0.177 mi.  
936 ft.**

**MICHIGAN BELL TELEPHONE COMPANY  
155 HENRIETTA ST  
BIRMINGHAM, MI 48009**

**RCRA-VSQG 1000237764  
FINDS MIT270013519  
ECHO**

**Site 3 of 3 in cluster J**

**Relative:  
Higher  
Actual:  
782 ft.**

RCRA-VSQG:  
Date Form Received by Agency: 2002-12-05 00:00:00.0  
Handler Name: MICHIGAN BELL TELEPHONE COMPANY  
Handler Address: 155 HENRIETTA ST  
Handler City,State,Zip: BIRMINGHAM, MI 48009  
EPA ID: MIT270013519  
Contact Name: ZANKHANA SHAH  
Contact Address: 155 HENRIETTA ST  
Contact City,State,Zip: BIRMINGHAM, MI 48009  
Contact Telephone: 847-384-5694  
Contact Fax: Not reported  
Contact Email: Not reported  
Contact Title: Not reported  
EPA Region: 05  
Land Type: Private  
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator  
Non-Notifier: Not reported  
Biennial Report Cycle: Not reported  
Accessibility: Not reported  
Active Site Indicator: Handler Activities  
State District Owner: Not reported  
State District: Not reported  
Mailing Address: 36 S FAIRVIEW - 4TH FLOOR  
Mailing City,State,Zip: PARK RIDGE, IL 60068  
Owner Name: MICH BELL TELEPHONE

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MICHIGAN BELL TELEPHONE COMPANY (Continued)**

**1000237764**

Owner Type:	Private
Operator Name:	MICH BELL TELEPHONE
Operator Type:	Private
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MICHIGAN BELL TELEPHONE COMPANY (Continued)**

**1000237764**

Sub-Part P Indicator: Not reported

**Hazardous Waste Summary:**

Waste Code: D001  
Waste Description: IGNITABLE WASTE

**Handler - Owner Operator:**

Owner/Operator Indicator: Owner  
Owner/Operator Name: MICH BELL TELEPHONE  
Legal Status: Private  
Date Became Current: 1998-06-21 00:00:00.  
Date Ended Current: Not reported  
Owner/Operator Address: Not reported  
Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator  
Owner/Operator Name: MICH BELL TELEPHONE  
Legal Status: Private  
Date Became Current: 1998-06-21 00:00:00.  
Date Ended Current: Not reported  
Owner/Operator Address: Not reported  
Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator  
Owner/Operator Name: MICH BELL TELEPHONE  
Legal Status: Private  
Date Became Current: 1998-06-21 00:00:00.  
Date Ended Current: Not reported  
Owner/Operator Address: Not reported  
Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner  
Owner/Operator Name: MICH BELL TELEPHONE  
Legal Status: Private  
Date Became Current: 1998-06-21 00:00:00.  
Date Ended Current: Not reported  
Owner/Operator Address: Not reported  
Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MICHIGAN BELL TELEPHONE COMPANY (Continued)**

**1000237764**

Historic Generators:

Receive Date:	1981-06-01 00:00:00.0
Handler Name:	MICHIGAN BELL TELEPHONE COMPANY
Federal Waste Generator Description:	Not a generator, verified
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2002-12-05 00:00:00.0
Handler Name:	MICHIGAN BELL TELEPHONE COMPANY
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	Yes
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

List of NAICS Codes and Descriptions:

NAICS Code:	51711
NAICS Description:	WIRED TELECOMMUNICATIONS CARRIERS

Facility Has Received Notices of Violations:

Violations:	No Violations Found
-------------	---------------------

Evaluation Action Summary:

Evaluations:	No Evaluations Found
--------------	----------------------

FINDS:

Registry ID:	110003719183
--------------	--------------

Click Here:

Environmental Interest/Information System:

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid:	1000237764
--------	------------

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MICHIGAN BELL TELEPHONE COMPANY (Continued)**

**1000237764**

Registry ID: 110003719183  
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110003719183>  
Name: MICHIGAN BELL TELEPHONE COMPANY  
Address: 155 HENRIETTA ST  
City,State,Zip: BIRMINGHAM, MI 48009

**L48**  
**NNE**  
**1/8-1/4**  
**0.191 mi.**  
**1008 ft.**

**JERRY BURNS CLEANERS**  
**615 E MAPLE RD**  
**BIRMINGHAM, MI 48009**

**RCRA NonGen / NLR**  
**FINDS**  
**ECHO**

**1000465820**  
**MID985605112**

**Site 2 of 5 in cluster L**

**Relative:**  
**Higher**

RCRA NonGen / NLR:

**Actual:**  
**778 ft.**

Date Form Received by Agency: 1998-09-17 00:00:00.0  
Handler Name: JERRY BURNS CLEANERS  
Handler Address: 615 E MAPLE RD  
Handler City,State,Zip: BIRMINGHAM, MI 48009  
EPA ID: MID985605112  
Contact Name: ARMEN NAZARIAN  
Contact Address: 615 E MAPLE RD  
Contact City,State,Zip: BIRMINGHAM, MI 48009  
Contact Telephone: 313-646-8733  
Contact Fax: Not reported  
Contact Email: Not reported  
Contact Title: Not reported  
EPA Region: 05  
Land Type: Private  
Federal Waste Generator Description: Not a generator, verified  
Non-Notifier: Not reported  
Biennial Report Cycle: Not reported  
Accessibility: Not reported  
Active Site Indicator: Not reported  
State District Owner: Not reported  
State District: Not reported  
Mailing Address: 615 E MAPLE RD  
Mailing City,State,Zip: BIRMINGHAM, MI 48009  
Owner Name: NAZARIAN ARMEN  
Owner Type: Private  
Operator Name: NAZARIAN ARMEN  
Operator Type: Private  
Short-Term Generator Activity: No  
Importer Activity: No  
Mixed Waste Generator: No  
Transporter Activity: No  
Transfer Facility Activity: No  
Recycler Activity with Storage: No  
Small Quantity On-Site Burner Exemption: No  
Smelting Melting and Refining Furnace Exemption: No  
Underground Injection Control: No  
Off-Site Waste Receipt: No  
Universal Waste Indicator: No  
Universal Waste Destination Facility: No  
Federal Universal Waste: No  
Active Site Fed-Reg Treatment Storage and Disposal Facility: Not reported  
Active Site Converter Treatment storage and Disposal Facility: Not reported  
Active Site State-Reg Treatment Storage and Disposal Facility: Not reported  
Active Site State-Reg Handler: ---  
Federal Facility Indicator: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JERRY BURNS CLEANERS (Continued)**

**1000465820**

Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

**Hazardous Waste Summary:**

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

**Handler - Owner Operator:**

Owner/Operator Indicator:	Operator
Owner/Operator Name:	NAZARIAN ARMEN
Legal Status:	Private
Date Became Current:	1970-01-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JERRY BURNS CLEANERS (Continued)**

**1000465820**

Owner/Operator Indicator: Owner  
Owner/Operator Name: NAZARIAN ARMEN  
Legal Status: Private  
Date Became Current: 1970-01-01 00:00:00.  
Date Ended Current: Not reported  
Owner/Operator Address: Not reported  
Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner  
Owner/Operator Name: NAZARIAN ARMEN  
Legal Status: Private  
Date Became Current: 1970-01-01 00:00:00.  
Date Ended Current: Not reported  
Owner/Operator Address: Not reported  
Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator  
Owner/Operator Name: NAZARIAN ARMEN  
Legal Status: Private  
Date Became Current: 1970-01-01 00:00:00.  
Date Ended Current: Not reported  
Owner/Operator Address: Not reported  
Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Historic Generators:  
Receive Date: 1998-09-17 00:00:00.0  
Handler Name: JERRY BURNS CLEANERS  
Federal Waste Generator Description: Not a generator, verified  
State District Owner: Not reported  
Large Quantity Handler of Universal Waste: No  
Recognized Trader Importer: No  
Recognized Trader Exporter: No  
Spent Lead Acid Battery Importer: No  
Spent Lead Acid Battery Exporter: No  
Current Record: Yes  
Non Storage Recycler Activity: Not reported  
Electronic Manifest Broker: Not reported

Receive Date: 1991-02-05 00:00:00.0  
Handler Name: JERRY BURNS CLEANERS  
Federal Waste Generator Description: Small Quantity Generator  
State District Owner: Not reported  
Large Quantity Handler of Universal Waste: No  
Recognized Trader Importer: No  
Recognized Trader Exporter: No

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JERRY BURNS CLEANERS (Continued)**

**1000465820**

Spent Lead Acid Battery Importer: No  
Spent Lead Acid Battery Exporter: No  
Current Record: No  
Non Storage Recycler Activity: Not reported  
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 81232  
NAICS Description: DRYCLEANING AND LAUNDRY SERVICES (EXCEPT COIN-OPERATED)

Facility Has Received Notices of Violations:

Violations: No Violations Found

Evaluation Action Summary:

Evaluations: No Evaluations Found

FINDS:

Registry ID: 110003652379

Click Here:

Environmental Interest/Information System:

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000465820  
Registry ID: 110003652379  
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110003652379>  
Name: JERRY BURNS CLEANERS  
Address: 615 E MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009

**L49  
NE  
1/8-1/4  
0.193 mi.  
1020 ft.**

**JERRY BURNS DRY CLEANERS  
615 E. MAPLE  
BIRMINGHAM, MI 48011**

**DRYCLEANERS S125694198  
N/A**

**Site 3 of 5 in cluster L**

**Relative:  
Higher**

DRYCLEANERS:

**Actual:  
777 ft.**

Name: JERRY BURNS DRY CLEANERS  
Address: 615 E. MAPLE  
City,State,Zip: BIRMINGHAM, MI 48011  
fadd2: Not reported  
Facility Status: Closed  
Establishment#: 6300337  
DCM #: Not reported  
DCM Type: Not reported  
Total lb: Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JERRY BURNS DRY CLEANERS (Continued)**

**S125694198**

Inspector: Not reported  
Last Insp Date: Not reported

**K50  
SE  
1/8-1/4  
0.200 mi.  
1054 ft.**

**JIMMIES RUSTICS  
690 SOUTH OLD WOODWARD  
BIRMINGHAM, MI**

**BEA S107596787  
N/A**

**Site 3 of 3 in cluster K**

**Relative:  
Lower**

**BEA:**

**Actual:  
760 ft.**

Secondary Address: Not reported  
BEA Number: 3058  
District: Southeast MI  
Date Received: 02/08/2006  
Submitter Name: Perimeter Properties  
Petition Determination: No Request  
Petition Disclosure: 0  
Category: No Hazardous Substance(s)  
Determination 20107A: No Request  
Reviewer: willame  
Division Assigned: Environmental Response Division

**L51  
NE  
1/8-1/4  
0.200 mi.  
1055 ft.**

**KROGER CO OF MICHIGAN  
685 E MAPLE RD  
BIRMINGHAM, MI 48009**

**RCRA-VSQG 1010785838  
MIK996275632**

**Site 4 of 5 in cluster L**

**Relative:  
Higher**

**RCRA-VSQG:**

**Actual:  
777 ft.**

Date Form Received by Agency: 2007-10-02 00:00:00.0  
Handler Name: KROGER CO OF MICHIGAN  
Handler Address: 685 E MAPLE RD  
Handler City,State,Zip: BIRMINGHAM, MI 48009  
EPA ID: MIK996275632  
Contact Name: JIM WARD  
Contact Address: 685 E MAPLE RD  
Contact City,State,Zip: BIRMINGHAM, MI 48009  
Contact Telephone: 614-898-3506  
Contact Fax: Not reported  
Contact Email: Not reported  
Contact Title: Not reported  
EPA Region: 05  
Land Type: Private  
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator  
Non-Notifier: Not reported  
Biennial Report Cycle: Not reported  
Accessibility: Not reported  
Active Site Indicator: Handler Activities  
State District Owner: Not reported  
State District: Not reported  
Mailing Address: 4111 EXECUTIVE PKWY  
Mailing City,State,Zip: WESTERVILLE, OH 43081  
Owner Name: KROGER CO  
Owner Type: Private  
Operator Name: KROGER CO  
Operator Type: Private

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**KROGER CO OF MICHIGAN (Continued)**

**1010785838**

Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDs Where RCRA CA has Been Imposed Universe:	No
TSDs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSD Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**KROGER CO OF MICHIGAN (Continued)**

**1010785838**

Hazardous Waste Summary:

Waste Code: D001  
Waste Description: IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator: Operator  
Owner/Operator Name: KROGER CO  
Legal Status: Private  
Date Became Current: 1998-08-12 00:00:00.  
Date Ended Current: Not reported  
Owner/Operator Address: Not reported  
Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner  
Owner/Operator Name: KROGER CO  
Legal Status: Private  
Date Became Current: 1998-08-12 00:00:00.  
Date Ended Current: Not reported  
Owner/Operator Address: Not reported  
Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 2007-10-02 00:00:00.0  
Handler Name: KROGER CO OF MICHIGAN  
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator  
State District Owner: Not reported  
Large Quantity Handler of Universal Waste: No  
Recognized Trader Importer: No  
Recognized Trader Exporter: No  
Spent Lead Acid Battery Importer: No  
Spent Lead Acid Battery Exporter: No  
Current Record: Yes  
Non Storage Recycler Activity: Not reported  
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 44511  
NAICS Description: SUPERMARKETS AND OTHER GROCERY (EXCEPT CONVENIENCE) STORES

Facility Has Received Notices of Violations:

Violations: No Violations Found

Evaluation Action Summary:

Evaluations: No Evaluations Found

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

EDR ID Number  
EPA ID Number

L52  
NE  
1/8-1/4  
0.203 mi.  
1074 ft.

J C & C ENTERPRISES LLC  
700 E MAPLE RD  
BIRMINGHAM, MI 48009

RCRA NonGen / NLR

1012211265  
MIK559424759

Site 5 of 5 in cluster L

Relative:  
Higher

Actual:  
773 ft.

RCRA NonGen / NLR:

Date Form Received by Agency:

2009-12-01 00:00:00.0

Handler Name:

J C & C ENTERPRISES LLC

Handler Address:

700 E MAPLE RD

Handler City,State,Zip:

BIRMINGHAM, MI 48009

EPA ID:

MIK559424759

Contact Name:

CHERI TAUNT

Contact Address:

700 E MAPLE RD

Contact City,State,Zip:

BIRMINGHAM, MI 48009

Contact Telephone:

248-642-9185

Contact Fax:

Not reported

Contact Email:

Not reported

Contact Title:

Not reported

EPA Region:

05

Land Type:

Private

Federal Waste Generator Description:

Not a generator, verified

Non-Notifier:

Not reported

Biennial Report Cycle:

Not reported

Accessibility:

Not reported

Active Site Indicator:

Not reported

State District Owner:

Not reported

State District:

Not reported

Mailing Address:

700 E MAPLE RD

Mailing City,State,Zip:

BIRMINGHAM, MI 48009

Owner Name:

J C & C ENTERPRISES LLC

Owner Type:

Private

Operator Name:

J C & C ENTERPRISES LLC

Operator Type:

Private

Short-Term Generator Activity:

No

Importer Activity:

No

Mixed Waste Generator:

No

Transporter Activity:

No

Transfer Facility Activity:

No

Recycler Activity with Storage:

No

Small Quantity On-Site Burner Exemption:

No

Smelting Melting and Refining Furnace Exemption:

No

Underground Injection Control:

No

Off-Site Waste Receipt:

No

Universal Waste Indicator:

No

Universal Waste Destination Facility:

No

Federal Universal Waste:

No

Active Site Fed-Reg Treatment Storage and Disposal Facility:

Not reported

Active Site Converter Treatment storage and Disposal Facility:

Not reported

Active Site State-Reg Treatment Storage and Disposal Facility:

Not reported

Active Site State-Reg Handler:

---

Federal Facility Indicator:

Not reported

Hazardous Secondary Material Indicator:

NN

Sub-Part K Indicator:

Not reported

Commercial TSD Indicator:

No

Treatment Storage and Disposal Type:

Not reported

2018 GPRA Permit Baseline:

Not on the Baseline

2018 GPRA Renewals Baseline:

Not on the Baseline

Permit Renewals Workload Universe:

Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**J C & C ENTERPRISES LLC (Continued)**

**1012211265**

Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

**Hazardous Waste Summary:**

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

**Handler - Owner Operator:**

Owner/Operator Indicator:	Operator
Owner/Operator Name:	J C & C ENTERPRISES LLC
Legal Status:	Private
Date Became Current:	1992-10-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	J C & C ENTERPRISES LLC
Legal Status:	Private
Date Became Current:	1992-10-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**J C & C ENTERPRISES LLC (Continued)**

**1012211265**

Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 2009-12-01 00:00:00.0  
Handler Name: J C & C ENTERPRISES LLC  
Federal Waste Generator Description: Not a generator, verified  
State District Owner: Not reported  
Large Quantity Handler of Universal Waste: No  
Recognized Trader Importer: No  
Recognized Trader Exporter: No  
Spent Lead Acid Battery Importer: No  
Spent Lead Acid Battery Exporter: No  
Current Record: Yes  
Non Storage Recycler Activity: Not reported  
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 53112  
NAICS Description: LESSORS OF NONRESIDENTIAL BUILDINGS (EXCEPT MINIWAREHOUSES)

Facility Has Received Notices of Violations:

Violations: No Violations Found

Evaluation Action Summary:

Evaluations: No Evaluations Found

**O53**  
**SE**  
**1/8-1/4**  
**0.220 mi.**  
**1161 ft.**  
**Site 1 of 4 in cluster O**

**TIFFANY FLORIST**  
**772 S OLD WOODWARD AVE**  
**BIRMINGHAM, MI 48009**

**LUST**  
**UST**  
**INVENTORY**  
**U004123610**  
**N/A**

**Relative:**  
**Lower**  
**Actual:**  
**759 ft.**

**LUST:**  
Name: TIFFANY FLORIST  
Address: 772 S OLD WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-  
Facility ID: 00042132  
Source: STATE OF MICHIGAN  
Owner Name: VirginiaC Clohset Trust  
Owner Address: Not reported  
Owner City,St,Zip: UNKNOWN, MI  
Owner Contact: Not reported  
Owner Phone: Not reported  
Country: USA  
District: Warren  
Site Name: Tiffany Florist  
Latitude: 42.54149  
Longitude: -83.20967  
Date of Collection: 03/14/2014  
Method of Collection: Interpolation-Photo  
Accuracy: 10  
Accuracy Value Unit: FEET

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TIFFANY FLORIST (Continued)**

**U004123610**

Horizontal Data: NAD83  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)

Leak Number: C-0157-08  
Release Date: 07/21/2008  
Substance Released: Gasoline,Gasoline  
Release Status: Open  
Release Closed Date: Not reported

**UST:**

Name: TIFFANY FLORIST  
Address: 772 S OLD WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-6600  
Facility Type: CLOSED  
Facility ID: 00042132  
Facility Region: 1  
Owner Name: VIRGINIA C CLOHSET TRUST  
Owner Address: C/O PHIL CLOHSET 1595 NORTHLAWN  
Owner City: BIRMINGHAM  
Owner State: MI  
Owner Zip: 48009  
Owner Contact: Not reported  
Owner Phone: 2486466534  
Contact: Phil Clohset  
Contact Phone: (248) 646-6534  
Date of Collection: 03/14/2014  
Accuracy: 10  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Interpolation-Photo  
District: Region 1 - SE Michigan District Office  
Tank ID: 3  
Capacity: 500  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: 01/01/1947  
Remove Date: 07/10/2008  
Tank Number: UTK-124023-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Other  
Piping Material: Not reported  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel,Other  
Impressed Device: Not reported  
Latitude: 42.54149  
Longitude: -83.20967

Name: TIFFANY FLORIST  
Address: 772 S OLD WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-6600  
Facility Type: CLOSED  
Facility ID: 00042132  
Facility Region: 1

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TIFFANY FLORIST (Continued)**

**U004123610**

Owner Name: VIRGINIA C CLOHSET TRUST  
Owner Address: C/O PHIL CLOHSET 1595 NORTHLAWN  
Owner City: BIRMINGHAM  
Owner State: MI  
Owner Zip: 48009  
Owner Contact: Not reported  
Owner Phone: 2486466534  
Contact: Phil Clohset  
Contact Phone: (248) 646-6534  
Date of Collection: 03/14/2014  
Accuracy: 10  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Interpolation-Photo  
District: Region 1 - SE Michigan District Office  
Tank ID: 2  
Capacity: 500  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: 01/01/1947  
Remove Date: 07/10/2008  
Tank Number: UTK-124022-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Other  
Piping Material: Not reported  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel,Other  
Impressed Device: Not reported  
Latitude: 42.54149  
Longitude: -83.20967

Name: TIFFANY FLORIST  
Address: 772 S OLD WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-6600  
Facility Type: CLOSED  
Facility ID: 00042132  
Facility Region: 1  
Owner Name: VIRGINIA C CLOHSET TRUST  
Owner Address: C/O PHIL CLOHSET 1595 NORTHLAWN  
Owner City: BIRMINGHAM  
Owner State: MI  
Owner Zip: 48009  
Owner Contact: Not reported  
Owner Phone: 2486466534  
Contact: Phil Clohset  
Contact Phone: (248) 646-6534  
Date of Collection: 03/14/2014  
Accuracy: 10  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TIFFANY FLORIST (Continued)**

**U004123610**

Method of Collection: Interpolation-Photo  
District: Region 1 - SE Michigan District Office  
Tank ID: 1  
Capacity: 1000  
Tank Status: Closed in Ground  
Substance: Gasoline  
Install Date: 01/01/1947  
Remove Date: 07/07/2008  
Tank Number: UTK-124009-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Other  
Piping Material: Unknown  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel,Other  
Impressed Device: Not reported  
Latitude: 42.54149  
Longitude: -83.20967

**INVENTORY:**

Name: TIFFANY FLORIST  
Address: 772 S OLD WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009  
Bea Number: Not reported  
Township: Not reported  
District: Southeast MI  
Data Source: Part 213  
Latitude: 42.54149  
Longitude: -83.20968

**O54**  
**SE**  
**1/8-1/4**  
**0.221 mi.**  
**1165 ft.**

**VIRGINIA C CLOHSET TRUST**  
**784 S OLD WOODWARD AVE**  
**BIRMINGHAM, MI 48009**  
**Site 2 of 4 in cluster O**

**RCRA NonGen / NLR**

**1011489214**  
**MIK322432543**

**Relative:**  
**Lower**

RCRA NonGen / NLR:  
Date Form Received by Agency:

**Actual:**  
**759 ft.**

2008-06-27 00:00:00.0  
VIRGINIA C CLOHSET TRUST  
784 S OLD WOODWARD AVE  
BIRMINGHAM, MI 48009  
MIK322432543  
PHIL CLOHSET  
784 S OLD WOODWARD AVE  
BIRMINGHAM, MI 48009  
248-646-6534  
Not reported  
Not reported  
Not reported  
05  
Private  
Not a generator, verified  
Not reported  
Not reported  
Not reported  
Not reported  
Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**VIRGINIA C CLOHSET TRUST (Continued)**

**1011489214**

State District:	Not reported
Mailing Address:	1595 NORTHLAWN BLVD
Mailing City,State,Zip:	BIRMINGHAM, MI 48009
Owner Name:	VIRGINIA C CLOHSET TRUST
Owner Type:	Private
Operator Name:	VIRGINIA C CLOHSET TRUST
Operator Type:	Private
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**VIRGINIA C CLOHSET TRUST (Continued)**

**1011489214**

Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Hazardous Waste Summary:

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator:	Operator
Owner/Operator Name:	VIRGINIA C CLOHSET TRUST
Legal Status:	Private
Date Became Current:	2005-01-02 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	VIRGINIA C CLOHSET TRUST
Legal Status:	Private
Date Became Current:	2005-01-02 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Historic Generators:

Receive Date:	2008-06-27 00:00:00.0
Handler Name:	VIRGINIA C CLOHSET TRUST
Federal Waste Generator Description:	Not a generator, verified
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	Yes
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

List of NAICS Codes and Descriptions:

NAICS Code:	45311
NAICS Description:	FLORISTS

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**VIRGINIA C CLOHSET TRUST (Continued)**

**1011489214**

Facility Has Received Notices of Violations:  
Violations:

No Violations Found

Evaluation Action Summary:  
Evaluations:

No Evaluations Found

**O55**  
**SE**  
**1/8-1/4**  
**0.224 mi.**  
**1184 ft.**

**WOODWARD AND GEORGE, LLC**  
**772-784 SOUTH OLD WOODWARD**  
**OAKLAND (County), MI 48009**

**INVENTORY** **S114039925**  
**N/A**

**Site 3 of 4 in cluster O**

**Relative:**  
**Lower**  
**Actual:**  
**759 ft.**

**INVENTORY:**  
Name: WOODWARD AND GEORGE, LLC  
Address: 772-784 SOUTH OLD WOODWARD  
City,State,Zip: MI 48009  
Bea Number: 200804025LV  
Township: Birmingham  
District: Southeast MI  
Data Source: BEA  
Latitude: Not reported  
Longitude: Not reported

**O56**  
**SE**  
**1/8-1/4**  
**0.224 mi.**  
**1184 ft.**

**WOODWARD AND GEORGE, LLC**  
**772-784 SOUTH OLD WOODWARD**  
**BIRMINGHAM, MI 48009**

**BEA** **S109345280**  
**N/A**

**Site 4 of 4 in cluster O**

**Relative:**  
**Lower**  
**Actual:**  
**759 ft.**

**BEA:**  
Secondary Address: Not reported  
BEA Number: 4025  
District: Southeast MI  
Date Received: 10/17/2008  
Submitter Name: Woodward and George, LLC  
Petition Determination: No Request  
Petition Disclosure: 0  
Category: No Hazardous Substance(s)  
Determination 20107A: No Request  
Reviewer: mitchelf  
Division Assigned: RRD

**57**  
**NNE**  
**1/8-1/4**  
**0.227 mi.**  
**1198 ft.**

**WM BEAUMONT HOSPITAL**  
**35046 WOODWARD AVE**  
**BIRMINGHAM, MI 48009**

**RCRA-VSQQ** **1016453456**  
**FINDS** **MIK132883016**  
**ECHO**

**Relative:**  
**Higher**  
**Actual:**  
**780 ft.**

**RCRA-VSQQ:**  
Date Form Received by Agency: 2014-02-05 00:00:00.0  
Handler Name: WM BEAUMONT HOSPITAL  
Handler Address: 35046 WOODWARD AVE  
Handler City,State,Zip: BIRMINGHAM, MI 48009

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WM BEAUMONT HOSPITAL (Continued)**

**1016453456**

EPA ID:	MIK132883016
Contact Name:	DAVE MULKA
Contact Address:	Not reported
Contact City,State,Zip:	Not reported
Contact Telephone:	248-690-4001
Contact Fax:	Not reported
Contact Email:	Not reported
Contact Title:	Not reported
EPA Region:	05
Land Type:	Private
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
Non-Notifier:	Not reported
Biennial Report Cycle:	Not reported
Accessibility:	Not reported
Active Site Indicator:	Handler Activities
State District Owner:	Not reported
State District:	Not reported
Mailing Address:	35046 WOODWARD AVE
Mailing City,State,Zip:	BIRMINGHAM, MI 48009
Owner Name:	WM BEAUMONT HOSPITAL
Owner Type:	Private
Operator Name:	WM BEAUMONT HOSPITAL
Operator Type:	Private
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	Yes
Universal Waste Destination Facility:	Yes
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WM BEAUMONT HOSPITAL (Continued)**

**1016453456**

TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2014-02-25 15:12:27.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

**Hazardous Waste Summary:**

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

**Handler - Owner Operator:**

Owner/Operator Indicator:	Owner
Owner/Operator Name:	WM BEAUMONT HOSPITAL
Legal Status:	Private
Date Became Current:	2013-11-12 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Operator
Owner/Operator Name:	WM BEAUMONT HOSPITAL
Legal Status:	Private
Date Became Current:	2013-11-12 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

**Historic Generators:**

Receive Date:	2014-02-05 00:00:00.0
Handler Name:	WM BEAUMONT HOSPITAL
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WM BEAUMONT HOSPITAL (Continued)**

**1016453456**

State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	Yes
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

List of NAICS Codes and Descriptions:

NAICS Code:	621111
NAICS Description:	OFFICES OF PHYSICIANS (EXCEPT MENTAL HEALTH SPECIALISTS)
NAICS Code:	621512
NAICS Description:	DIAGNOSTIC IMAGING CENTERS

Facility Has Received Notices of Violations:

Violations:	No Violations Found
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Evaluation Action Summary:

Evaluations:	No Evaluations Found
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FINDS:

Registry ID:	110058886987
--------------	--------------

Click Here:

Environmental Interest/Information System:

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid:	1016453456
Registry ID:	110058886987
DFR URL:	<a href="http://echo.epa.gov/detailed-facility-report?fid=110058886987">http://echo.epa.gov/detailed-facility-report?fid=110058886987</a>
Name:	WM BEAUMONT HOSPITAL
Address:	35046 WOODWARD AVE
City,State,Zip:	BIRMINGHAM, MI 48009



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**P58** **GOODYEAR TIRE CENTER 1685**  
**ESE** **835 HAYNES ST**  
**1/8-1/4** **BIRMINGHAM, MI 48009**  
**0.228 mi.**  
**1205 ft.** **Site 1 of 4 in cluster P**

**LUST** **U000263055**  
**UST** **N/A**  
**WDS**

**Relative:**  
**Lower**

**LUST:**

**Actual:**  
**759 ft.**

Name: GOODYEAR TIRE CENTER 1685  
Address: 835 HAYNES ST  
City,State,Zip: BIRMINGHAM, MI 48009-  
Facility ID: 00021777  
Source: STATE OF MICHIGAN  
Owner Name: GoodyearTire Center  
Owner Address: Not reported  
Owner City,St,Zip: UNKNOWN, MI  
Owner Contact: Not reported  
Owner Phone: Not reported  
Country: USA  
District: Warren  
Site Name: Goodyear Tire & Rubber Co  
Latitude: 42.54196  
Longitude: -83.20949  
Date of Collection: 01/11/2001  
Method of Collection: Address Matching-House Number  
Accuracy: 100  
Accuracy Value Unit: FEET  
Horizontal Data: NAD83  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)

Leak Number: C-0700-93  
Release Date: 06/04/1993  
Substance Released: Used Oil  
Release Status: Closed  
Release Closed Date: 09/30/1994

**UST:**

Name: GOODYEAR TIRE CENTER 1685  
Address: 835 HAYNES ST  
City,State,Zip: BIRMINGHAM, MI 48009-6771  
Facility Type: CLOSED  
Facility ID: 00021777  
Facility Region: 1  
Owner Name: GOODYEAR TIRE CENTER  
Owner Address: PO BOX 5099  
Owner City: SOUTHFIELD  
Owner State: MI  
Owner Zip: 48086-5099  
Owner Contact: Not reported  
Owner Phone: 7346473370  
Contact: ERIC SCHULTZ  
Contact Phone: (734) 647-3370  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GOODYEAR TIRE CENTER 1685 (Continued)**

**U000263055**

District: Region 1 - SE Michigan District Office  
Tank ID: 1  
Capacity: 500  
Tank Status: Removed from Ground  
Substance: Used Oil  
Install Date: 04/16/1975  
Remove Date: 06/04/1993  
Tank Number: UTK-001817-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Bare Steel  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel  
Impressed Device: Not reported  
Latitude: 42.54196  
Longitude: -83.20949

**WDS:**

Name: HALBEISEN TOM INC  
Address: 835 HAYNES ST  
City,State,Zip: BIRMINGHAM, MI 48009  
Site Id: MID985643790  
WMD Id: 407279  
Site Specific Name: HALBEISEN TOM INC  
Mailing Address: 835 HAYNES ST  
Mailing City/State/Zip: 48009  
Mailing County: OAKLAND

**P59** **HALBEISEN TOM INC**  
**ESE** **835 HAYNES ST**  
**1/8-1/4** **BIRMINGHAM, MI 48009**  
**0.228 mi.**  
**1205 ft.** **Site 2 of 4 in cluster P**

**RCRA-VSQG** **1000691549**  
**FINDS** **MID985643790**  
**ECHO**

**Relative:**  
**Lower**

**RCRA-VSQG:**

**Actual:**  
**759 ft.**

Date Form Received by Agency: 2004-04-19 00:00:00.0  
Handler Name: HALBEISEN TOM INC  
Handler Address: 835 HAYNES ST  
Handler City,State,Zip: BIRMINGHAM, MI 48009  
EPA ID: MID985643790  
Contact Name: THOMAS HALBEISEN  
Contact Address: 835 HAYNES ST  
Contact City,State,Zip: BIRMINGHAM, MI 48009  
Contact Telephone: 248-647-3370  
Contact Fax: Not reported  
Contact Email: Not reported  
Contact Title: Not reported  
EPA Region: 05  
Land Type: Private  
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator  
Non-Notifier: Not reported  
Biennial Report Cycle: Not reported  
Accessibility: Not reported  
Active Site Indicator: Handler Activities  
State District Owner: Not reported  
State District: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**HALBEISEN TOM INC (Continued)**

**1000691549**

Mailing Address:	835 HAYNES ST
Mailing City,State,Zip:	BIRMINGHAM, MI 48009
Owner Name:	HALBEISEN TOM INC
Owner Type:	Private
Operator Name:	HALBEISEN TOM INC
Operator Type:	Private
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-03-03 13:15:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**HALBEISEN TOM INC (Continued)**

**1000691549**

Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

Hazardous Waste Summary:

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

Handler - Owner Operator:

Owner/Operator Indicator:	Operator
Owner/Operator Name:	HALBEISEN TOM INC
Legal Status:	Private
Date Became Current:	1992-06-05 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Operator
Owner/Operator Name:	HALBEISEN TOM INC
Legal Status:	Private
Date Became Current:	1992-06-05 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	HALBEISEN TOM INC
Legal Status:	Private
Date Became Current:	1992-06-05 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	HALBEISEN TOM INC
Legal Status:	Private
Date Became Current:	1992-06-05 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**HALBEISEN TOM INC (Continued)**

**1000691549**

Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	HALBEISEN TOM INC
Legal Status:	Private
Date Became Current:	1992-06-05 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	HALBEISEN TOM INC
Legal Status:	Private
Date Became Current:	1992-06-05 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	HALBEISEN TOM INC
Legal Status:	Private
Date Became Current:	1992-06-05 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	HALBEISEN TOM INC
Legal Status:	Private
Date Became Current:	1992-06-05 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	HALBEISEN TOM INC
Legal Status:	Private
Date Became Current:	1992-06-05 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**HALBEISEN TOM INC (Continued)**

**1000691549**

Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner  
Owner/Operator Name: HALBEISEN TOM INC  
Legal Status: Private  
Date Became Current: 1992-06-05 00:00:00.  
Date Ended Current: Not reported  
Owner/Operator Address: Not reported  
Owner/Operator City,State,Zip: Not reported  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

**Historic Generators:**

Receive Date: 1998-11-16 00:00:00.0  
Handler Name: HALBEISEN TOM INC  
Federal Waste Generator Description: Not a generator, verified  
State District Owner: Not reported  
Large Quantity Handler of Universal Waste: No  
Recognized Trader Importer: No  
Recognized Trader Exporter: No  
Spent Lead Acid Battery Importer: No  
Spent Lead Acid Battery Exporter: No  
Current Record: No  
Non Storage Recycler Activity: Not reported  
Electronic Manifest Broker: Not reported

Receive Date: 2003-06-23 00:00:00.0  
Handler Name: HALBEISEN TOM INC  
Federal Waste Generator Description: Small Quantity Generator  
State District Owner: Not reported  
Large Quantity Handler of Universal Waste: No  
Recognized Trader Importer: No  
Recognized Trader Exporter: No  
Spent Lead Acid Battery Importer: No  
Spent Lead Acid Battery Exporter: No  
Current Record: No  
Non Storage Recycler Activity: Not reported  
Electronic Manifest Broker: Not reported

Receive Date: 1992-06-05 00:00:00.0  
Handler Name: HALBEISEN TOM INC  
Federal Waste Generator Description: Small Quantity Generator  
State District Owner: Not reported  
Large Quantity Handler of Universal Waste: No  
Recognized Trader Importer: No  
Recognized Trader Exporter: No  
Spent Lead Acid Battery Importer: No  
Spent Lead Acid Battery Exporter: No  
Current Record: No  
Non Storage Recycler Activity: Not reported  
Electronic Manifest Broker: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**HALBEISEN TOM INC (Continued)**

**1000691549**

Receive Date: 2003-07-22 00:00:00.0  
Handler Name: HALBEISEN TOM INC  
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator  
State District Owner: Not reported  
Large Quantity Handler of Universal Waste: No  
Recognized Trader Importer: No  
Recognized Trader Exporter: No  
Spent Lead Acid Battery Importer: No  
Spent Lead Acid Battery Exporter: No  
Current Record: No  
Non Storage Recycler Activity: Not reported  
Electronic Manifest Broker: Not reported

Receive Date: 2004-04-19 00:00:00.0  
Handler Name: HALBEISEN TOM INC  
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator  
State District Owner: Not reported  
Large Quantity Handler of Universal Waste: No  
Recognized Trader Importer: No  
Recognized Trader Exporter: No  
Spent Lead Acid Battery Importer: No  
Spent Lead Acid Battery Exporter: No  
Current Record: Yes  
Non Storage Recycler Activity: Not reported  
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 44131  
NAICS Description: AUTOMOTIVE PARTS AND ACCESSORIES STORES

Facility Has Received Notices of Violation:

Found Violation: No  
Agency Which Determined Violation: Not reported  
Violation Short Description: Not reported  
Date Violation was Determined: Not reported  
Actual Return to Compliance Date: Not reported  
Return to Compliance Qualifier: Not reported  
Violation Responsible Agency: Not reported  
Scheduled Compliance Date: Not reported  
Enforcement Identifier: Not reported  
Date of Enforcement Action: Not reported  
Enforcement Responsible Agency: Not reported  
Enforcement Docket Number: Not reported  
Enforcement Attorney: Not reported  
Corrective Action Component: Not reported  
Appeal Initiated Date: Not reported  
Appeal Resolution Date: Not reported  
Disposition Status Date: Not reported  
Disposition Status: Not reported  
Disposition Status Description: Not reported  
Consent/Final Order Sequence Number: Not reported  
Consent/Final Order Respondent Name: Not reported  
Consent/Final Order Lead Agency: Not reported  
Enforcement Type: Not reported  
Enforcement Responsible Person: Not reported  
Enforcement Responsible Sub-Organization: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**HALBEISEN TOM INC (Continued)**

**1000691549**

SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported
Final Monetary Amount:	Not reported
Paid Amount:	Not reported
Final Count:	Not reported
Final Amount:	Not reported

Evaluation Action Summary:

Evaluation Date:	2018-06-05 00:00:00.0
Evaluation Responsible Agency:	State
Found Violation:	No
Evaluation Type Description:	COMPLIANCE ASSISTANCE VISIT
Evaluation Responsible Person Identifier:	Not reported
Evaluation Responsible Sub-Organization:	Not reported
Actual Return to Compliance Date:	Not reported
Scheduled Compliance Date:	Not reported
Date of Request:	Not reported
Date Response Received:	Not reported
Request Agency:	Not reported
Former Citation:	Not reported

**FINDS:**

Registry ID: 110003671893

Click Here:

Environmental Interest/Information System:

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

**ECHO:**

Envid:	1000691549
Registry ID:	110003671893
DFR URL:	<a href="http://echo.epa.gov/detailed-facility-report?fid=110003671893">http://echo.epa.gov/detailed-facility-report?fid=110003671893</a>
Name:	HALBEISEN TOM INC
Address:	835 HAYNES ST
City,State,Zip:	BIRMINGHAM, MI 48009

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

EDR ID Number  
EPA ID Number

	Site	Database(s)	
<b>Q60</b>	<b>MAPLE ELM DEVELOPMENT COMPANY LLC</b>	<b>RCRA NonGen / NLR</b>	<b>1016449162</b>
<b>NE</b>	<b>820 E MAPLE</b>	<b>FINDS</b>	<b>MIK204939963</b>
<b>1/8-1/4</b>	<b>BIRMINGHAM, MI 48009</b>	<b>ECHO</b>	
<b>0.243 mi.</b>			
<b>1281 ft.</b>	<b>Site 1 of 3 in cluster Q</b>		
<b>Relative:</b>	RCRA NonGen / NLR:		
<b>Higher</b>	Date Form Received by Agency:	2013-11-01 00:00:00.0	
	Handler Name:	MAPLE ELM DEVELOPMENT COMPANY LLC	
<b>Actual:</b>	Handler Address:	820 E MAPLE	
<b>770 ft.</b>	Handler City,State,Zip:	BIRMINGHAM, MI 48009	
	EPA ID:	MIK204939963	
	Contact Name:	MARK HIGHLEN	
	Contact Address:	Not reported	
	Contact City,State,Zip:	Not reported	
	Contact Telephone:	248-737-6175	
	Contact Fax:	248-737-6175	
	Contact Email:	MHIGHLEN@BEZTALI.COM	
	Contact Title:	Not reported	
	EPA Region:	05	
	Land Type:	Private	
	Federal Waste Generator Description:	Not a generator, verified	
	Non-Notifier:	Not reported	
	Biennial Report Cycle:	Not reported	
	Accessibility:	Not reported	
	Active Site Indicator:	Not reported	
	State District Owner:	Not reported	
	State District:	Not reported	
	Mailing Address:	31731 NORTH WESTERN HWY	
	Mailing City,State,Zip:	FARMINGTON HILLS, MI 48334	
	Owner Name:	MAPLE ELM DEVELOPMENT COMPANY LLC	
	Owner Type:	Private	
	Operator Name:	MAPLE ELM DEVELOPMENT COMPANY LLC	
	Operator Type:	Private	
	Short-Term Generator Activity:	No	
	Importer Activity:	No	
	Mixed Waste Generator:	No	
	Transporter Activity:	No	
	Transfer Facility Activity:	No	
	Recycler Activity with Storage:	No	
	Small Quantity On-Site Burner Exemption:	No	
	Smelting Melting and Refining Furnace Exemption:	No	
	Underground Injection Control:	No	
	Off-Site Waste Receipt:	No	
	Universal Waste Indicator:	No	
	Universal Waste Destination Facility:	No	
	Federal Universal Waste:	No	
	Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported	
	Active Site Converter Treatment storage and Disposal Facility:	Not reported	
	Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported	
	Active Site State-Reg Handler:	---	
	Federal Facility Indicator:	Not reported	
	Hazardous Secondary Material Indicator:	NN	
	Sub-Part K Indicator:	Not reported	
	Commercial TSD Indicator:	No	
	Treatment Storage and Disposal Type:	Not reported	
	2018 GPRA Permit Baseline:	Not on the Baseline	
	2018 GPRA Renewals Baseline:	Not on the Baseline	
	Permit Renewals Workload Universe:	Not reported	

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MAPLE ELM DEVELOPMENT COMPANY LLC (Continued)**

**1016449162**

Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2013-11-12 10:09:23.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	Not reported

**Hazardous Waste Summary:**

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

**Handler - Owner Operator:**

Owner/Operator Indicator:	Owner
Owner/Operator Name:	MAPLE ELM DEVELOPMENT COMPANY LLC
Legal Status:	Private
Date Became Current:	2012-03-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Operator
Owner/Operator Name:	MAPLE ELM DEVELOPMENT COMPANY LLC
Legal Status:	Private
Date Became Current:	2012-03-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MAPLE ELM DEVELOPMENT COMPANY LLC (Continued)**

**1016449162**

Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

**Historic Generators:**

Receive Date: 2013-11-01 00:00:00.0  
Handler Name: MAPLE ELM DEVELOPMENT COMPANY LLC  
Federal Waste Generator Description: Not a generator, verified  
State District Owner: Not reported  
Large Quantity Handler of Universal Waste: No  
Recognized Trader Importer: No  
Recognized Trader Exporter: No  
Spent Lead Acid Battery Importer: No  
Spent Lead Acid Battery Exporter: No  
Current Record: Yes  
Non Storage Recycler Activity: Not reported  
Electronic Manifest Broker: Not reported

**List of NAICS Codes and Descriptions:**

NAICS Code: 531311  
NAICS Description: RESIDENTIAL PROPERTY MANAGERS

**Facility Has Received Notices of Violations:**

Violations: No Violations Found

**Evaluation Action Summary:**

Evaluations: No Evaluations Found

**FINDS:**

Registry ID: 110056377059

Click Here:

**Environmental Interest/Information System:**

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

**ECHO:**

Envid: 1016449162  
Registry ID: 110056377059  
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110056377059>  
Name: MAPLE ELM DEVELOPMENT COMPANY LLC  
Address: 820 E MAPLE  
City,State,Zip: BIRMINGHAM, MI 48009

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**Q61**  
**NE**  
**1/8-1/4**  
**0.243 mi.**  
**1281 ft.**  
**ALL SEASONS OF BIRMINGHAM**  
**820 E MAPLE**  
**BIRMINGHAM, MI 48009**  
**Site 2 of 3 in cluster Q**

**AST** **A100446389**  
**N/A**

**Relative:**  
**Higher**

**AST:**

**Actual:**  
**770 ft.**

Name: ALL SEASONS OF BIRMINGHAM  
Address: 820 E MAPLE  
City: BIRMINGHAM  
Zip: 480096400  
Facility ID: 81084523  
Facility Phone: Not reported  
Owner Name: Not reported  
Owner Address: Not reported  
Owner City,St,Zip: Not reported  
Owner County: Not reported  
Owner Contact: Not reported  
Owner Telephone: Not reported  
District: Not reported  
Contact: Not reported  
List Status: Abovegroun  
Date of Collection: Not reported  
Accuracy: Not reported  
Source: Not reported  
Point Line Area: Not reported  
Description Category: Not reported  
Method of Collection: Not reported  
Horizontal Datum: Not reported  
Latitude: Not reported  
Longitude: Not reported  
  
Tank Id: ATK-140348-15  
Tank Status: Inactive  
Capacity (in gallons): Not reported  
Installation Date: Not reported  
Substance Stored: Not reported  
Removed/Closed Date: Not reported

**62**  
**NW**  
**1/8-1/4**  
**0.246 mi.**  
**1300 ft.**  
**WABEEK ASSOC GEN PARTNERSHIP**  
**280 W MAPLE RD**  
**BIRMINGHAM, MI 48009**

**UST** **U003834374**  
**N/A**

**Relative:**  
**Higher**

**UST:**

**Actual:**  
**782 ft.**

Name: WABEEK ASSOC GEN PARTNERSHIP  
Address: 280 W MAPLE RD  
City,State,Zip: BIRMINGHAM 48009-3344  
Facility Type: CLOSED  
Facility ID: 00034440  
Facility Region: Not reported  
Owner Name: MUTUAL BENEFIT LIFE  
Owner Address: C/O MORRIS & BERKE 901 WILSHIRE DR SUITE 370  
Owner City: TROY  
Owner State: MI  
Owner Zip: 48084  
Owner Contact: Not reported  
Owner Phone: 7343626808  
Contact: A LYLE BECKWITH

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WABEEK ASSOC GEN PARTNERSHIP (Continued)**

**U003834374**

Contact Phone: (734) 362-6808  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 1  
Capacity: Not reported  
Tank Status: Removed from Ground  
Substance: Other(FUEL OIL)  
Install Date: 01/01/1928  
Remove Date: 12/02/1993  
Tank Number: Not reported  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Not reported  
Piping Type: Not reported  
Tank Construction: Not reported  
Impressed Device: Not reported  
Latitude: 42.54669  
Longitude: -83.21687

**Q63**  
**NE**  
**1/4-1/2**  
**0.251 mi.**  
**1327 ft.**

**HAMILTON FUNERAL HOME PROPERTY**  
**820 EAST MAPLE ROAD**  
**BIRMINGHAM, MI 48009**

**INVENTORY** **S111832674**  
**BEA** **N/A**

**Site 3 of 3 in cluster Q**

**Relative:**  
**Higher**

**INVENTORY:**

**Actual:**  
**770 ft.**

Name: HAMILTON FUNERAL HOME PROPERTY  
Address: 820 EAST MAPLE ROAD  
City,State,Zip: MI 48009  
Bea Number: 201205134LV  
Township: Birmingham  
District: Southeast MI  
Data Source: BEA  
Latitude: Not reported  
Longitude: Not reported

**BEA:**

Secondary Address: Not reported  
BEA Number: 5134  
District: Southeast MI  
Date Received: 03/27/2012  
Submitter Name: Maple Elm Development Company, LLC  
Petition Determination: No Request  
Petition Disclosure: 0  
Category: Not reported  
Determination 20107A: No Request  
Reviewer: berakr  
Division Assigned: RD

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

EDR ID Number  
EPA ID Number

<b>P64</b> <b>ESE</b> <b>1/4-1/2</b> <b>0.259 mi.</b> <b>1366 ft.</b>	<b>LAVERY MI DEALERSHIP PROPERTIES NO.1,LLC</b> <b>907 AND 911 HAYNES STREET</b> <b>OAKLAND (County), MI 48009</b>  <b>Site 3 of 4 in cluster P</b>	<b>INVENTORY</b>	<b>S116710717</b> <b>N/A</b>
---	---	------------------	---------------------------------

<b>Relative:</b> <b>Lower</b>	<b>INVENTORY:</b>
	Name: LAVERY MI DEALERSHIP PROPERTIES NO.1,LLC
<b>Actual:</b> <b>759 ft.</b>	Address: 907 AND 911 HAYNES STREET
	City,State,Zip: MI 48009
	Bea Number: 201406074LV
	Township: Birmingham
	District: Southeast MI
	Data Source: BEA
	Latitude: Not reported
	Longitude: Not reported

<b>P65</b> <b>ESE</b> <b>1/4-1/2</b> <b>0.259 mi.</b> <b>1366 ft.</b>	<b>FRED LAVERY COMPANY</b> <b>907 AND 911 HAYNES STREET</b> <b>OAKLAND (County), MI 48009</b>  <b>Site 4 of 4 in cluster P</b>	<b>INVENTORY</b>	<b>S116710696</b> <b>N/A</b>
---	--	------------------	---------------------------------

<b>Relative:</b> <b>Lower</b>	<b>INVENTORY:</b>
	Name: FRED LAVERY COMPANY
<b>Actual:</b> <b>759 ft.</b>	Address: 907 AND 911 HAYNES STREET
	City,State,Zip: MI 48009
	Bea Number: 201406073LV
	Township: Birmingham
	District: Southeast MI
	Data Source: BEA
	Latitude: Not reported
	Longitude: Not reported

<b>66</b> <b>WNW</b> <b>1/4-1/2</b> <b>0.276 mi.</b> <b>1455 ft.</b>	<b>PROPOSED BALDWIN HOUSE SITE</b> <b>200 CHESTER ST</b> <b>BIRMINGHAM, MI 48009</b>	<b>LUST</b> <b>UST</b> <b>WDS</b>	<b>U001777213</b> <b>N/A</b>
--	--	---	---------------------------------

<b>Relative:</b> <b>Higher</b>	<b>LUST:</b>
	Name: PROPOSED BALDWIN HOUSE SITE
<b>Actual:</b> <b>782 ft.</b>	Address: 200 CHESTER ST
	City,State,Zip: BIRMINGHAM, MI 48009-
	Facility ID: 00037464
	Source: STATE OF MICHIGAN
	Owner Name: BirminghamLtd Divided Assc Ptn
	Owner Address: Not reported
	Owner City,St,Zip: UNKNOWN, MI
	Owner Contact: Not reported
	Owner Phone: Not reported
	Country: USA
	District: Warren
	Site Name: Baldwin House Site
	Latitude: 42.54567
	Longitude: -83.21853
	Date of Collection: 01/11/2001
	Method of Collection: Address Matching-House Number

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**PROPOSED BALDWIN HOUSE SITE (Continued)**

**U001777213**

Accuracy: 100  
Accuracy Value Unit: FEET  
Horizontal Data: NAD83  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)

Leak Number: C-0628-93  
Release Date: 05/19/1993  
Substance Released: Heating Oil  
Release Status: Closed  
Release Closed Date: 03/23/1995

**UST:**

Name: PROPOSED BALDWIN HOUSE SITE  
Address: 200 CHESTER ST  
City,State,Zip: BIRMINGHAM, MI 48009-1420  
Facility Type: CLOSED  
Facility ID: 00037464  
Facility Region: 1  
Owner Name: BIRMINGHAM LTD DIVIDED ASSC PTN  
Owner Address: 29777 TELEGRAPH RD STE 2100  
Owner City: SOUTHFIELD  
Owner State: MI  
Owner Zip: 48034-7637  
Owner Contact: Not reported  
Owner Phone: 3133582323  
Contact: Marv Rubin  
Contact Phone: (313) 358-2323  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 1  
Capacity: Not reported  
Tank Status: Closed in Ground  
Substance: Other(UNK)  
Install Date: Not reported  
Remove Date: 01/01/1969  
Tank Number: UTK-066679-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Unknown  
Piping Type: Not reported  
Tank Construction: Unknown  
Impressed Device: Not reported  
Latitude: 42.54567  
Longitude: -83.21853

**WDS:**

Name: BALDWIN HOUSE  
Address: 200 CHESTER ST

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**PROPOSED BALDWIN HOUSE SITE (Continued)**

**U001777213**

City,State,Zip: BIRMINGHAM, MI 48009  
Site Id: MIK756294448  
WMD Id: 489340  
Site Specific Name: BALDWIN HOUSE  
Mailing Address: 200 CHESTER ST  
Mailing City/State/Zip: 48009  
Mailing County: OAKLAND

**67  
SE  
1/4-1/2  
0.284 mi.  
1501 ft.**

**AMERICAR  
860 S OLD WOODWARD AVE  
BIRMINGHAM, MI 48009**

**LUST U000263070  
UST N/A  
WDS**

**Relative:  
Lower  
Actual:  
758 ft.**

**LUST:**  
Name: AMERICAR  
Address: 860 S OLD WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-  
Facility ID: 00034958  
Source: STATE OF MICHIGAN  
Owner Name: BeierDean G % Robert R. Shuman  
Owner Address: Not reported  
Owner City,St,Zip: UNKNOWN, MI  
Owner Contact: Not reported  
Owner Phone: Not reported  
Country: USA  
District: Warren  
Site Name: Americar Rental  
Latitude: 42.54084  
Longitude: -83.20877  
Date of Collection: 01/11/2001  
Method of Collection: Address Matching-House Number  
Accuracy: 100  
Accuracy Value Unit: FEET  
Horizontal Data: NAD83  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
  
Leak Number: C-0468-89  
Release Date: 08/29/1989  
Substance Released: Not reported  
Release Status: Closed  
Release Closed Date: 08/16/1990

**UST:**  
Name: AMERICAR  
Address: 860 S OLD WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-6722  
Facility Type: CLOSED  
Facility ID: 00034958  
Facility Region: 1  
Owner Name: BEIER DEAN G % ROBERT R. SHUMAN  
Owner Address: 200 E LONG LAKE RD SUITE110  
Owner City: BLOOMFIELD HILLS  
Owner State: MI  
Owner Zip: 48304  
Owner Contact: Not reported  
Owner Phone: 3136459400



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**AMERICAR (Continued)**

**U000263070**

Contact:	Not reported
Contact Phone:	( ) -
Date of Collection:	01/11/2001
Accuracy:	100
Horizontal Datum:	NAD83
Accuracy Value Unit:	FEET
Source:	STATE OF MICHIGAN
Point Line Area:	POINT
Desc Category:	Plant Entrance (Freight)
Method of Collection:	Address Matching-House Number
District:	Region 1 - SE Michigan District Office
Tank ID:	2
Capacity:	1000
Tank Status:	Removed from Ground
Substance:	Used Oil
Install Date:	01/01/1948
Remove Date:	02/15/1991
Tank Number:	UTK-009930-15
Tank Details Compartments:	Not reported
Tank Release Detection:	Not reported
Pipe Release Detection:	Not reported
Piping Material:	Unknown
Piping Type:	Not reported
Tank Construction:	Asphalt Coated or Bare Steel,Unknown
Impressed Device:	Not reported
Latitude:	42.54084
Longitude:	-83.20877
Name:	AMERICAR
Address:	860 S OLD WOODWARD AVE
City,State,Zip:	BIRMINGHAM, MI 48009-6722
Facility Type:	CLOSED
Facility ID:	00034958
Facility Region:	1
Owner Name:	BEIER DEAN G % ROBERT R. SHUMAN
Owner Address:	200 E LONG LAKE RD SUITE110
Owner City:	BLOOMFIELD HILLS
Owner State:	MI
Owner Zip:	48304
Owner Contact:	Not reported
Owner Phone:	3136459400
Contact:	Not reported
Contact Phone:	( ) -
Date of Collection:	01/11/2001
Accuracy:	100
Horizontal Datum:	NAD83
Accuracy Value Unit:	FEET
Source:	STATE OF MICHIGAN
Point Line Area:	POINT
Desc Category:	Plant Entrance (Freight)
Method of Collection:	Address Matching-House Number
District:	Region 1 - SE Michigan District Office
Tank ID:	1
Capacity:	1000
Tank Status:	Removed from Ground
Substance:	Heating Oil
Install Date:	01/01/1948

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**AMERICAR (Continued)**

**U000263070**

Remove Date: 02/15/1991  
Tank Number: UTK-012888-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Unknown  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel,Unknown  
Impressed Device: Not reported  
Latitude: 42.54084  
Longitude: -83.20877

**WDS:**

Name: AMERICAR RENTAL SYSTEM  
Address: 860 S OLD WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009  
Site Id: MIG000012614  
WMD Id: 456124  
Site Specific Name: AMERICAR RENTAL SYSTEM  
Mailing Address: 860 S OLD WOODWARD AVE  
Mailing City/State/Zip: 48009  
Mailing County: OAKLAND

**R68  
NE  
1/4-1/2  
0.287 mi.  
1513 ft.**

**ELMWOOD PROPERTIES I, LLC  
920-970 EAST MAPLE ROAD  
BIRMINGHAM, MI**

**BEA S104912490  
N/A**

**Site 1 of 5 in cluster R**

**Relative:  
Higher**

**BEA:**

**Actual:  
768 ft.**

Secondary Address: Not reported  
BEA Number: 1133  
District: Southeast MI  
Date Received: 05/02/2000  
Submitter Name: ELMWOOD PROPERTIES I, LLC  
Petition Determination: Affirmed  
Petition Disclosure: 1  
Category: No Hazardous Substance(s)  
Determination 20107A: No Request  
Reviewer: temppm  
Division Assigned: Environmental Response Division

**S69  
NNW  
1/4-1/2  
0.300 mi.  
1585 ft.**

**COMERICA BANK BIRMINGHAM  
322 N. OLD WOODWARD  
BIRMINGHAM, MI 48009**

**INVENTORY S114028625  
N/A**

**Site 1 of 2 in cluster S**

**Relative:  
Higher**

**INVENTORY:**

**Actual:  
773 ft.**

Name: COMERICA BANK BIRMINGHAM  
Address: 322 N. OLD WOODWARD  
City,State,Zip: BIRMINGHAM, MI 48009  
Bea Number: Not reported  
Township: Birmingham  
District: Southeast MI  
Data Source: Part 201

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**COMERICA BANK BIRMINGHAM (Continued)**

**S114028625**

Latitude: 42.54826  
Longitude: -83.2162

**R70**  
**NE**  
**1/4-1/2**  
**0.311 mi.**  
**1644 ft.**

**PARKING LOT (DIETZ CORP)**  
**985 E MAPLE RD**  
**BIRMINGHAM, MI 48009**

**INVENTORY**  
**BEA**

**S102851965**  
**N/A**

**Site 2 of 5 in cluster R**

**Relative:**  
**Higher**

**INVENTORY:**

**Actual:**  
**768 ft.**

Name: PARKING LOT (DIETZ CORP)  
Address: 985 E MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009  
Bea Number: Not reported  
Township: Not reported  
District: Southeast MI  
Data Source: Part 213  
Latitude: 42.54696  
Longitude: -83.20728

**BEA:**

Secondary Address: Not reported  
BEA Number: 430  
District: Southeast MI  
Date Received: 09/12/1997  
Submitter Name: PAUL DIETZ  
Petition Determination: Affirmed  
Petition Disclosure: 1  
Category: No Hazardous Substance(s)  
Determination 20107A: Affirmed  
Reviewer: temppm  
Division Assigned: Storage Tank Division

Secondary Address: Not reported  
BEA Number: 566  
District: Southeast MI  
Date Received: 03/23/1998  
Submitter Name: BSP REALTY  
Petition Determination: Affirmed  
Petition Disclosure: 1  
Category: No Hazardous Substance(s)  
Determination 20107A: Affirmed  
Reviewer: temppm  
Division Assigned: Storage Tank Division

**R71**  
**NE**  
**1/4-1/2**  
**0.311 mi.**  
**1644 ft.**

**PARKING LOT (DIETZ CORP)**  
**985 E MAPLE RD**  
**BIRMINGHAM, MI 48009**

**LUST**  
**UST**

**U004275225**  
**N/A**

**Site 3 of 5 in cluster R**

**Relative:**  
**Higher**

**LUST:**

**Actual:**  
**768 ft.**

Name: PARKING LOT (DIETZ CORP)  
Address: 985 E MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009-  
Facility ID: 50002129

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**PARKING LOT (DIETZ CORP) (Continued)**

**U004275225**

Source: STATE OF MICHIGAN  
Owner Name: NrtOwner  
Owner Address: Not reported  
Owner City,St,Zip: UNKNOWN, MI  
Owner Contact: Not reported  
Owner Phone: Not reported  
Country: USA  
District: Warren  
Site Name: Parking Lot (dietz Corp)  
Latitude: 42.54696  
Longitude: -83.20728  
Date of Collection: 01/11/2001  
Method of Collection: Address Matching-House Number  
Accuracy: 100  
Accuracy Value Unit: FEET  
Horizontal Data: NAD83  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)

Leak Number: C-0999-97  
Release Date: 10/14/1997  
Substance Released: Unknown  
Release Status: Open  
Release Closed Date: Not reported

**UST:**

Name: PARKING LOT (DIETZ CORP)  
Address: 985 E MAPLE RD  
City,State,Zip: BIRMINGHAM 48009-6410  
Facility Type: CLOSED  
Facility ID: 50002129  
Facility Region: Not reported  
Owner Name: NRT OWNER  
Owner Address: UNKNOWN  
Owner City: UNKNOWN  
Owner State: MI  
Owner Zip: 99999  
Owner Contact: Not reported  
Owner Phone: Not reported  
Contact: Not reported  
Contact Phone: Not reported  
Date of Collection: Not reported  
Accuracy: Not reported  
Horizontal Datum: Not reported  
Accuracy Value Unit: Not reported  
Source: Not reported  
Point Line Area: Not reported  
Desc Category: Not reported  
Method of Collection: Not reported  
District: Not reported  
Tank ID: 1  
Capacity: Not reported  
Tank Status: Removed from Ground  
Substance: Not reported  
Install Date: Not reported  
Remove Date: 10/14/1997  
Tank Number: Not reported  
Tank Details Compartments: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**PARKING LOT (DIETZ CORP) (Continued)**

**U004275225**

Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Not reported  
Piping Type: Not reported  
Tank Construction: Not reported  
Impressed Device: Not reported  
Latitude: Not reported  
Longitude: Not reported

**UST 2:**

Name: PARKING LOT (DIETZ CORP)  
Address: 985 E MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009-6410  
Region: Not reported  
Owner Name: OWNER ADDRESS UNKNOWN  
Owner Address: Not Recorded  
Owner City: Not reported  
Owner State: Not reported  
Owner Zip: 99999  
Owner Phone: Not reported  
Record ID: UTK-009763-15  
Facility Status: Not reported  
Tank ID: Not reported  
Tank Status: Removed from Ground  
Tank Capacity: Not reported  
Tank Content: Not reported  
Install Date: 01/01/1900  
Removal Date: 01/01/1900  
Tank Release Detect: Not reported  
Pipe Release Detect: Not reported  
Tank Piping Material: Not reported  
Tank Constr. Material: Not reported

**R72**  
**ENE**  
**1/4-1/2**  
**0.312 mi.**  
**1645 ft.**

**BUDGET RENT-A-CAR**  
**1000 E MAPLE RD**  
**BIRMINGHAM, MI 48009**

**Site 4 of 5 in cluster R**

**LUST**  
**UST**  
**INVENTORY**  
**WDS**

**U000261651**  
**N/A**

**Relative:**  
**Lower**

**Actual:**  
**766 ft.**

**LUST:**

Name: BUDGET RENT-A-CAR  
Address: 1000 E MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009-  
Facility ID: 00007720  
Source: STATE OF MICHIGAN  
Owner Name: ConineRentals, Inc  
Owner Address: Not reported  
Owner City,St,Zip: UNKNOWN, MI  
Owner Contact: Not reported  
Owner Phone: Not reported  
Country: USA  
District: Warren  
Site Name: Budget Rent A Car  
Latitude: 42.54670  
Longitude: -83.20653  
Date of Collection: 01/11/2001  
Method of Collection: Address Matching-House Number

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BUDGET RENT-A-CAR (Continued)**

**U000261651**

Accuracy: 100  
Accuracy Value Unit: FEET  
Horizontal Data: NAD83  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)

Leak Number: C-0844-90  
Release Date: 05/11/1990  
Substance Released: Not reported  
Release Status: Open  
Release Closed Date: Not reported

Leak Number: C-0990-90  
Release Date: 06/01/1990  
Substance Released: Not reported  
Release Status: Open  
Release Closed Date: Not reported

**UST:**

Name: BUDGET RENT-A-CAR  
Address: 1000 E MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009-6423  
Facility Type: CLOSED  
Facility ID: 00007720  
Facility Region: 1  
Owner Name: CONINE RENTALS, INC  
Owner Address: 8715 WICKHAM RD  
Owner City: ROMULUS  
Owner State: MI  
Owner Zip: 48174-1915  
Owner Contact: Not reported  
Owner Phone: 7343266880  
Contact: MARY BOYD  
Contact Phone: (313) 540-3211  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 4  
Capacity: 550  
Tank Status: Removed from Ground  
Substance: Used Oil  
Install Date: Not reported  
Remove Date: 06/17/1991  
Tank Number: UTK-039364-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Unknown  
Piping Type: Not reported  
Tank Construction: Unknown  
Impressed Device: Not reported  
Latitude: 42.54670



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BUDGET RENT-A-CAR (Continued)**

**U000261651**

Longitude: -83.20653

Name: BUDGET RENT-A-CAR  
Address: 1000 E MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009-6423  
Facility Type: CLOSED  
Facility ID: 00007720  
Facility Region: 1  
Owner Name: CONINE RENTALS, INC  
Owner Address: 8715 WICKHAM RD  
Owner City: ROMULUS  
Owner State: MI  
Owner Zip: 48174-1915  
Owner Contact: Not reported  
Owner Phone: 7343266880  
Contact: MARY BOYD  
Contact Phone: (313) 540-3211  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 3  
Capacity: 1000  
Tank Status: Removed from Ground  
Substance: Kerosene  
Install Date: Not reported  
Remove Date: 06/17/1991  
Tank Number: UTK-089523-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Unknown  
Piping Type: Not reported  
Tank Construction: Unknown  
Impressed Device: Not reported  
Latitude: 42.54670  
Longitude: -83.20653

Name: BUDGET RENT-A-CAR  
Address: 1000 E MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009-6423  
Facility Type: CLOSED  
Facility ID: 00007720  
Facility Region: 1  
Owner Name: CONINE RENTALS, INC  
Owner Address: 8715 WICKHAM RD  
Owner City: ROMULUS  
Owner State: MI  
Owner Zip: 48174-1915  
Owner Contact: Not reported  
Owner Phone: 7343266880  
Contact: MARY BOYD

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BUDGET RENT-A-CAR (Continued)**

**U000261651**

Contact Phone: (313) 540-3211  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 2  
Capacity: 10000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: Not reported  
Remove Date: 06/17/1991  
Tank Number: UTK-089519-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Unknown  
Piping Type: Not reported  
Tank Construction: Unknown  
Impressed Device: Not reported  
Latitude: 42.54670  
Longitude: -83.20653

Name: BUDGET RENT-A-CAR  
Address: 1000 E MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009-6423  
Facility Type: CLOSED  
Facility ID: 00007720  
Facility Region: 1  
Owner Name: CONINE RENTALS, INC  
Owner Address: 8715 WICKHAM RD  
Owner City: ROMULUS  
Owner State: MI  
Owner Zip: 48174-1915  
Owner Contact: Not reported  
Owner Phone: 7343266880  
Contact: MARY BOYD  
Contact Phone: (313) 540-3211  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 1  
Capacity: 10000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: Not reported  
Remove Date: 06/17/1991

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BUDGET RENT-A-CAR (Continued)**

**U000261651**

Tank Number: UTK-089516-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Unknown  
Piping Type: Not reported  
Tank Construction: Unknown  
Impressed Device: Not reported  
Latitude: 42.54670  
Longitude: -83.20653

**INVENTORY:**

Name: BUDGET RENT-A-CAR  
Address: 1000 E MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009  
Bea Number: Not reported  
Township: Not reported  
District: Southeast MI  
Data Source: Part 213  
Latitude: 42.5467  
Longitude: -83.20654

**WDS:**

Name: BUDGET RENT A CAR  
Address: 1000 E MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009  
Site Id: MIG000018867  
WMD Id: 453923  
Site Specific Name: BUDGET RENT A CAR  
Mailing Address: 1000 E MAPLE RD  
Mailing City/State/Zip: 48009  
Mailing County: OAKLAND

**R73**  
**ENE**  
**1/4-1/2**  
**0.312 mi.**  
**1647 ft.**  
**OSOS TONTOS LLC**  
**985 EAST MAPLE**  
**BIRMINGHAM, MI 48104**  
**Site 5 of 5 in cluster R**

**BEA S113828182**  
**N/A**

**Relative:**  
**Lower**  
**Actual:**  
**767 ft.**

**BEA:**  
Secondary Address: Not reported  
BEA Number: 5627  
District: Southeast MI  
Date Received: 06/25/2013  
Submitter Name: Osos Tontos LLC  
Petition Determination: No Request  
Petition Disclosure: 0  
Category: Not reported  
Determination 20107A: No Request  
Reviewer: mitchelf  
Division Assigned: Storage Tank Division

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**S74**  
**NNW**  
**1/4-1/2**  
**0.324 mi.**  
**1710 ft.**

**344 NORTH OLD WOODWARD AVENUE**  
**344 NORTH OLD WOODWARD AVENUE**  
**BIRMINGHAM, MI**

**Site 2 of 2 in cluster S**

**INVENTORY** **S123643087**  
**N/A**

**Relative:**  
**Higher**

**INVENTORY:**

**Actual:**  
**771 ft.**

Name: 344 NORTH OLD WOODWARD AVENUE  
Address: 344 NORTH OLD WOODWARD AVENUE  
City,State,Zip: BIRMINGHAM, MI  
Bea Number: Not reported  
Township: Not reported  
District: Southeast MI  
Data Source: Part 201  
Latitude: 42.54895  
Longitude: -83.21577

**75**  
**WNW**  
**1/4-1/2**  
**0.326 mi.**  
**1720 ft.**

**BIRMINGHAM PUBLIC SCHOOLS**  
**550 W MERRILL ST**  
**BIRMINGHAM, MI 48009**

**LUST** **S102851783**  
**INVENTORY** **N/A**

**Relative:**  
**Higher**

**LUST:**

**Actual:**  
**780 ft.**

Name: BIRMINGHAM PUBLIC SCHOOLS  
Address: 550 W MERRILL ST  
City,State,Zip: BIRMINGHAM, MI 48009-  
Facility ID: 50000584  
Source: STATE OF MICHIGAN  
Owner Name: NrtOwner  
Owner Address: Not reported  
Owner City,St,Zip: UNKNOWN, MI  
Owner Contact: Not reported  
Owner Phone: Not reported  
Country: USA  
District: Warren  
Site Name: Birmingham Public Schools  
Latitude: 42.54592  
Longitude: -83.21942  
Date of Collection: 01/11/2001  
Method of Collection: Address Matching-House Number  
Accuracy: 100  
Accuracy Value Unit: FEET  
Horizontal Data: NAD83  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)

Leak Number: C-1462-90  
Release Date: 08/08/1990  
Substance Released: Not reported  
Release Status: Open  
Release Closed Date: Not reported

**INVENTORY:**

Name: BIRMINGHAM PUBLIC SCHOOLS  
Address: 550 W MERRILL ST  
City,State,Zip: BIRMINGHAM, MI 48009  
Bea Number: Not reported  
Township: Not reported  
District: Southeast MI

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BIRMINGHAM PUBLIC SCHOOLS (Continued)**

**S102851783**

Data Source: Part 213  
Latitude: 42.54593  
Longitude: -83.21942

**76**  
**NW**  
**1/4-1/2**  
**0.337 mi.**  
**1780 ft.**

**FIRST CHURCH OF CHRIST**  
**191 N. CHESTER ST.**  
**BIRMINGHAM, MI 48009**

**INVENTORY** **S114028648**  
**N/A**

**Relative:**  
**Higher**

**INVENTORY:**

Name: FIRST CHURCH OF CHRIST  
Address: 191 N. CHESTER ST.  
City,State,Zip: BIRMINGHAM, MI 48009  
Bea Number: Not reported  
Township: Birmingham  
District: Southeast MI  
Data Source: Part 201  
Latitude: 42.54709  
Longitude: -83.21811

**Actual:**  
**780 ft.**

**77**  
**East**  
**1/4-1/2**  
**0.338 mi.**  
**1787 ft.**

**PERRY DRUG STORES INC**  
**597 S ADAMS RD**  
**BIRMINGHAM, MI 48009**

**INVENTORY** **S112452279**  
**WDS** **N/A**

**Relative:**  
**Lower**

**INVENTORY:**

Name: 597-725 SOUTH ADAMS ROAD  
Address: 597 SOUTH ADAMS ROAD  
City,State,Zip: BIRMINGHAM, MI  
Bea Number: Not reported  
Township: Not reported  
District: Southeast MI  
Data Source: Part 201  
Latitude: 42.54285  
Longitude: -83.20396

**Actual:**  
**757 ft.**

**WDS:**

Name: PERRY DRUG STORES INC  
Address: 597 S ADAMS RD  
City,State,Zip: BIRMINGHAM, MI 48009  
Site Id: MIK196218299  
WMD Id: 491808  
Site Specific Name: RITE AID #4303  
Mailing Address: 30 HUNTER LN  
Mailing City/State/Zip: 17011  
Mailing County: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**78**  
**ESE**  
**1/4-1/2**  
**0.341 mi.**  
**1803 ft.**

**THE PLANT STATION**  
**720 S ADAMS RD**  
**BIRMINGHAM, MI 48009**

**LUST** **U003324173**  
**UST** **N/A**

**Relative:**  
**Lower**

LUST:

**Actual:**  
**756 ft.**

Name: THE PLANT STATION  
Address: 720 S ADAMS RD  
City,State,Zip: BIRMINGHAM, MI 48009-  
Facility ID: 00018613  
Source: STATE OF MICHIGAN  
Owner Name: LynnE. Arft  
Owner Address: Not reported  
Owner City,St,Zip: UNKNOWN, MI  
Owner Contact: Not reported  
Owner Phone: Not reported  
Country: USA  
District: Warren  
Site Name: The Plant Station  
Latitude: 42.54215  
Longitude: -83.20557  
Date of Collection: 10/05/2004  
Method of Collection: Address Matching-House Number  
Accuracy: 100  
Accuracy Value Unit: FEET  
Horizontal Data: NAD83  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
  
Leak Number: C-0922-97  
Release Date: 10/13/1997  
Substance Released: Gasoline,Unknown  
Release Status: Closed  
Release Closed Date: 11/24/1998

UST:

Name: THE PLANT STATION  
Address: 720 S ADAMS RD  
City,State,Zip: BIRMINGHAM, MI 48009-6930  
Facility Type: CLOSED  
Facility ID: 00018613  
Facility Region: 1  
Owner Name: LYNN E. ARFT  
Owner Address: 720 ADAMS  
Owner City: BIRMINGHAM  
Owner State: MI  
Owner Zip: 48011  
Owner Contact: Not reported  
Owner Phone: 3136428900  
Contact: LYNN E. ARFT  
Contact Phone: (313) 642-8900  
Date of Collection: 10/05/2004  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**THE PLANT STATION (Continued)**

**U003324173**

District: Region 1 - SE Michigan District Office  
Tank ID: 4  
Capacity: 6000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: 04/11/1969  
Remove Date: 07/01/1987  
Tank Number: UTK-027193-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Galvanized Steel  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel  
Impressed Device: Not reported  
Latitude: 42.54215  
Longitude: -83.20557

Name: THE PLANT STATION  
Address: 720 S ADAMS RD  
City,State,Zip: BIRMINGHAM, MI 48009-6930  
Facility Type: CLOSED  
Facility ID: 00018613  
Facility Region: 1  
Owner Name: LYNN E. ARFT  
Owner Address: 720 ADAMS  
Owner City: BIRMINGHAM  
Owner State: MI  
Owner Zip: 48011  
Owner Contact: Not reported  
Owner Phone: 3136428900  
Contact: LYNN E. ARFT  
Contact Phone: (313) 642-8900  
Date of Collection: 10/05/2004  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 3  
Capacity: 6000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: 04/11/1958  
Remove Date: 07/01/1987  
Tank Number: UTK-041161-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Galvanized Steel  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel  
Impressed Device: Not reported  
Latitude: 42.54215

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**THE PLANT STATION (Continued)**

**U003324173**

Longitude: -83.20557

Name: THE PLANT STATION  
Address: 720 S ADAMS RD  
City,State,Zip: BIRMINGHAM, MI 48009-6930  
Facility Type: CLOSED  
Facility ID: 00018613  
Facility Region: 1  
Owner Name: LYNN E. ARFT  
Owner Address: 720 ADAMS  
Owner City: BIRMINGHAM  
Owner State: MI  
Owner Zip: 48011  
Owner Contact: Not reported  
Owner Phone: 3136428900  
Contact: LYNN E. ARFT  
Contact Phone: (313) 642-8900  
Date of Collection: 10/05/2004  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 2  
Capacity: 6000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: 04/11/1958  
Remove Date: 07/01/1987  
Tank Number: UTK-067987-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Galvanized Steel  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel  
Impressed Device: Not reported  
Latitude: 42.54215  
Longitude: -83.20557

Name: THE PLANT STATION  
Address: 720 S ADAMS RD  
City,State,Zip: BIRMINGHAM, MI 48009-6930  
Facility Type: CLOSED  
Facility ID: 00018613  
Facility Region: 1  
Owner Name: LYNN E. ARFT  
Owner Address: 720 ADAMS  
Owner City: BIRMINGHAM  
Owner State: MI  
Owner Zip: 48011  
Owner Contact: Not reported  
Owner Phone: 3136428900  
Contact: LYNN E. ARFT

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**THE PLANT STATION (Continued)**

**U003324173**

Contact Phone: (313) 642-8900  
Date of Collection: 10/05/2004  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 1  
Capacity: 4000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: 04/11/1985  
Remove Date: 07/01/1987  
Tank Number: UTK-067985-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Galvanized Steel  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel,Cathodically Protected Steel  
Impressed Device: Not reported  
Latitude: 42.54215  
Longitude: -83.20557

**T79**  
**ENE**  
**1/4-1/2**  
**0.353 mi.**  
**1865 ft.**

**BIRMINGHAM STANDARD**  
**1088 E MAPLE RD**  
**BIRMINGHAM, MI 48009**

**Site 1 of 2 in cluster T**

**LUST**  
**UST**  
**WDS**

**U000261690**  
**N/A**

**Relative:** LUST:  
**Lower** Name: BIRMINGHAM STANDARD  
Address: 1088 E MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009-  
Facility ID: 00001897  
Source: STATE OF MICHIGAN  
Owner Name: BirminghamStandard  
Owner Address: Not reported  
Owner City,St,Zip: UNKNOWN, MI  
Owner Contact: Not reported  
Owner Phone: Not reported  
Country: USA  
District: Warren  
Site Name: Amoco #5349  
Latitude: 42.54671  
Longitude: -83.20611  
Date of Collection: 01/11/2001  
Method of Collection: Address Matching-House Number  
Accuracy: 100  
Accuracy Value Unit: FEET  
Horizontal Data: NAD83  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)

Leak Number: C-0863-85

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BIRMINGHAM STANDARD (Continued)**

**U000261690**

Release Date: 01/01/1900  
Substance Released: Not reported  
Release Status: Closed  
Release Closed Date: 05/21/1996

**UST:**

Name: BIRMINGHAM STANDARD  
Address: 1088 E MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009-6423  
Facility Type: CLOSED  
Facility ID: 00001897  
Facility Region: 1  
Owner Name: BIRMINGHAM STANDARD  
Owner Address: 4215 YORBA LINDA BLVD  
Owner City: ROYAL OAK  
Owner State: MI  
Owner Zip: 48073-6463  
Owner Contact: Not reported  
Owner Phone: 3136424888  
Contact: J E WESTON  
Contact Phone: (734) 953-7013  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 7  
Capacity: 560  
Tank Status: Removed from Ground  
Substance: Used Oil  
Install Date: 04/11/1986  
Remove Date: 11/22/1994  
Tank Number: UTK-027732-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Unknown  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel,Cathodically Protected Steel  
Impressed Device: Not reported  
Latitude: 42.54671  
Longitude: -83.20611

Name: BIRMINGHAM STANDARD  
Address: 1088 E MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009-6423  
Facility Type: CLOSED  
Facility ID: 00001897  
Facility Region: 1  
Owner Name: BIRMINGHAM STANDARD  
Owner Address: 4215 YORBA LINDA BLVD  
Owner City: ROYAL OAK  
Owner State: MI  
Owner Zip: 48073-6463

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BIRMINGHAM STANDARD (Continued)**

**U000261690**

Owner Contact:	Not reported
Owner Phone:	3136424888
Contact:	J E WESTON
Contact Phone:	(734) 953-7013
Date of Collection:	01/11/2001
Accuracy:	100
Horizontal Datum:	NAD83
Accuracy Value Unit:	FEET
Source:	STATE OF MICHIGAN
Point Line Area:	POINT
Desc Category:	Plant Entrance (Freight)
Method of Collection:	Address Matching-House Number
District:	Region 1 - SE Michigan District Office
Tank ID:	6
Capacity:	560
Tank Status:	Removed from Ground
Substance:	Diesel
Install Date:	04/11/1952
Remove Date:	01/31/1994
Tank Number:	UTK-007192-15
Tank Details Compartments:	Not reported
Tank Release Detection:	Not reported
Pipe Release Detection:	Not reported
Piping Material:	Unknown
Piping Type:	Not reported
Tank Construction:	Asphalt Coated or Bare Steel
Impressed Device:	Not reported
Latitude:	42.54671
Longitude:	-83.20611
Name:	BIRMINGHAM STANDARD
Address:	1088 E MAPLE RD
City,State,Zip:	BIRMINGHAM, MI 48009-6423
Facility Type:	CLOSED
Facility ID:	00001897
Facility Region:	1
Owner Name:	BIRMINGHAM STANDARD
Owner Address:	4215 YORBA LINDA BLVD
Owner City:	ROYAL OAK
Owner State:	MI
Owner Zip:	48073-6463
Owner Contact:	Not reported
Owner Phone:	3136424888
Contact:	J E WESTON
Contact Phone:	(734) 953-7013
Date of Collection:	01/11/2001
Accuracy:	100
Horizontal Datum:	NAD83
Accuracy Value Unit:	FEET
Source:	STATE OF MICHIGAN
Point Line Area:	POINT
Desc Category:	Plant Entrance (Freight)
Method of Collection:	Address Matching-House Number
District:	Region 1 - SE Michigan District Office
Tank ID:	5
Capacity:	6000
Tank Status:	Removed from Ground

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BIRMINGHAM STANDARD (Continued)**

**U000261690**

Substance: Gasoline  
Install Date: 04/11/1952  
Remove Date: 11/22/1994  
Tank Number: UTK-074034-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Unknown  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel  
Impressed Device: Not reported  
Latitude: 42.54671  
Longitude: -83.20611

Name: BIRMINGHAM STANDARD  
Address: 1088 E MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009-6423  
Facility Type: CLOSED  
Facility ID: 00001897  
Facility Region: 1  
Owner Name: BIRMINGHAM STANDARD  
Owner Address: 4215 YORBA LINDA BLVD  
Owner City: ROYAL OAK  
Owner State: MI  
Owner Zip: 48073-6463  
Owner Contact: Not reported  
Owner Phone: 3136424888  
Contact: J E WESTON  
Contact Phone: (734) 953-7013  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 4  
Capacity: 5500  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: 04/11/1952  
Remove Date: 11/22/1994  
Tank Number: UTK-074031-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Unknown  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel  
Impressed Device: Not reported  
Latitude: 42.54671  
Longitude: -83.20611

Name: BIRMINGHAM STANDARD  
Address: 1088 E MAPLE RD



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BIRMINGHAM STANDARD (Continued)**

**U000261690**

City,State,Zip: BIRMINGHAM, MI 48009-6423  
Facility Type: CLOSED  
Facility ID: 00001897  
Facility Region: 1  
Owner Name: BIRMINGHAM STANDARD  
Owner Address: 4215 YORBA LINDA BLVD  
Owner City: ROYAL OAK  
Owner State: MI  
Owner Zip: 48073-6463  
Owner Contact: Not reported  
Owner Phone: 3136424888  
Contact: J E WESTON  
Contact Phone: (734) 953-7013  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 3  
Capacity: 5500  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: 04/11/1952  
Remove Date: 11/22/1994  
Tank Number: UTK-010360-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Unknown  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel  
Impressed Device: Not reported  
Latitude: 42.54671  
Longitude: -83.20611

Name: BIRMINGHAM STANDARD  
Address: 1088 E MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009-6423  
Facility Type: CLOSED  
Facility ID: 00001897  
Facility Region: 1  
Owner Name: BIRMINGHAM STANDARD  
Owner Address: 4215 YORBA LINDA BLVD  
Owner City: ROYAL OAK  
Owner State: MI  
Owner Zip: 48073-6463  
Owner Contact: Not reported  
Owner Phone: 3136424888  
Contact: J E WESTON  
Contact Phone: (734) 953-7013  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BIRMINGHAM STANDARD (Continued)**

**U000261690**

Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 2  
Capacity: 4000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: 04/11/1952  
Remove Date: 11/22/1994  
Tank Number: UTK-074029-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Unknown  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel  
Impressed Device: Not reported  
Latitude: 42.54671  
Longitude: -83.20611

Name: BIRMINGHAM STANDARD  
Address: 1088 E MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009-6423  
Facility Type: CLOSED  
Facility ID: 00001897  
Facility Region: 1  
Owner Name: BIRMINGHAM STANDARD  
Owner Address: 4215 YORBA LINDA BLVD  
Owner City: ROYAL OAK  
Owner State: MI  
Owner Zip: 48073-6463  
Owner Contact: Not reported  
Owner Phone: 3136424888  
Contact: J E WESTON  
Contact Phone: (734) 953-7013  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 1  
Capacity: 4000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: 04/11/1952  
Remove Date: 11/22/1994  
Tank Number: UTK-030847-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BIRMINGHAM STANDARD (Continued)**

**U000261690**

Piping Material: Unknown  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel  
Impressed Device: Not reported  
Latitude: 42.54671  
Longitude: -83.20611

**WDS:**

Name: AMOCO OIL CO  
Address: 1088 E MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009  
Site Id: MID985618065  
WMD Id: 405686  
Site Specific Name: AMOCO OIL CO 5349 BIRMINGHAM  
Mailing Address: 30230 ORCHARD LAKE RD  
Mailing City/State/Zip: 48334  
Mailing County: OAKLAND

**U80**  
**SE**  
**1/4-1/2**  
**0.355 mi.**  
**1872 ft.**

**912 OLD WOODWARD, LLC**  
**912 SOUTH OLD WOODWARD AVENUE**  
**OAKLAND (County), MI 48009**

**INVENTORY S116385988**  
**N/A**

**Site 1 of 5 in cluster U**

**Relative:**  
**Lower**  
**Actual:**  
**756 ft.**

**INVENTORY:**  
Name: 912 OLD WOODWARD, LLC  
Address: 912 SOUTH OLD WOODWARD AVENUE  
City,State,Zip: MI 48009  
Bea Number: 201405920LV  
Township: Birmingham  
District: Southeast MI  
Data Source: BEA  
Latitude: 42.5399  
Longitude: -83.20821

**U81**  
**SE**  
**1/4-1/2**  
**0.355 mi.**  
**1872 ft.**

**912 SOUTH OLD WOODWARD**  
**912 SOUTH OLD WOODWARD**  
**BIRMINGHAM, MI 48009**

**US BROWNFIELDS 1016603615**  
**FINDS N/A**

**Site 2 of 5 in cluster U**

**Relative:**  
**Lower**  
**Actual:**  
**756 ft.**

**US BROWNFIELDS:**  
Name: 912 SOUTH OLD WOODWARD  
Address: 912 SOUTH OLD WOODWARD  
City,State,Zip: BIRMINGHAM, MI 48009  
Recipient Name: Oakland County Michigan  
Grant Type: Assessment  
Property Number: 08-19-36-279-004  
Parcel size: 0.11  
Latitude: 42.539969  
Longitude: -83.20807  
HCM Label: Address Matching-House Number  
Map Scale: -  
Point of Reference: Entrance Point of a Facility or Station  
Highlights: Have build plan for over 90,000 of improvement to building.  
Including, but not limited to exterior improvements: tearing off all

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**912 SOUTH OLD WOODWARD (Continued)**

**1016603615**

wood off building(deteriorated) and exposing brick, repairing all brick, add detail molding to exterior, new exterior signs and lighting, repair leaking roof. Including, but not limited to interior improvements: open up layout, add ADA compliant bathroom, new carpet, updated lighting, build to accommodate bridal business in the now vacant area and part of the kitchen showroom. Bridal store will take approximately 5,000 square feet and Kitchen showroom approximately 2100 square feet.

Datum: North American Datum of 1983  
Acres Property ID: 171161  
IC Data Access: -  
Start Date: -  
Redev Completion Date: -  
Completed Date: -  
Acres Cleaned Up: -  
Cleanup Funding: -  
Cleanup Funding Source: -  
Assessment Funding: 4000  
Assessment Funding Source: EPA  
Redevelopment Funding: -  
Redev. Funding Source: -  
Redev. Funding Entity Name: -  
Redevelopment Start Date: -  
Assessment Funding Entity: US EPA - Brownfields Assessment Cooperative Agreement  
Cleanup Funding Entity: -  
Grant Type: Petroleum  
Accomplishment Type: Phase II Environmental Assessment  
Accomplishment Count: Y  
Cooperative Agreement Number: 00E01208  
Start Date: 2/14/2014  
Ownership Entity: -  
Completion Date: 2/28/2014  
Current Owner: -  
Did Owner Change: -  
Cleanup Required: N  
Video Available: N  
Photo Available: Y  
Institutional Controls Required: N  
IC Category Proprietary Controls: -  
IC Cat. Info. Devices: -  
IC Cat. Gov. Controls: -  
IC Cat. Enforcement Permit Tools: -  
IC in place date: -  
IC in place: N  
State/tribal program date: -  
State/tribal program ID: -  
State/tribal NFA date: -  
Air cleaned: -  
Asbestos found: -  
Asbestos cleaned: -  
Controlled substance found: -  
Controlled substance cleaned: -  
Drinking water affected: -  
Drinking water cleaned: -  
Groundwater affected: -  
Groundwater cleaned: -  
Lead contaminant found: -

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**912 SOUTH OLD WOODWARD (Continued)**

**1016603615**

Lead cleaned up:	-
No media affected:	-
Unknown media affected:	-
Other cleaned up:	-
Other metals found:	-
Other metals cleaned:	-
Other contaminants found:	-
Other contams found description:	-
PAHs found:	-
PAHs cleaned up:	-
PCBs found:	-
PCBs cleaned up:	-
Petro products found:	-
Petro products cleaned:	-
Sediments found:	-
Sediments cleaned:	-
Soil affected:	Y
Soil cleaned up:	-
Surface water cleaned:	-
VOCs found:	Y
VOCs cleaned:	-
Cleanup other description:	-
Num. of cleanup and re-dev. jobs:	-
Past use greenspace acreage:	-
Past use residential acreage:	-
Surface Water:	-
Past use commercial acreage:	0.11
Past use industrial acreage:	-
Future use greenspace acreage:	-
Future use residential acreage:	-
Future use commercial acreage:	0.11
Future use industrial acreage:	-
Superfund Fed. landowner flag:	-
Arsenic cleaned up:	-
Cadmium cleaned up:	-
Chromium cleaned up:	-
Copper cleaned up:	-
Iron cleaned up:	-
mercury cleaned up:	-
Nickel Cleaned Up:	-
No clean up:	-
Pesticides cleaned up:	-
Selenium cleaned up:	-
SVOCs cleaned up:	-
Unknown clean up:	-
Arsenic contaminant found:	-
Cadmium contaminant found:	-
Chromium contaminant found:	-
Copper contaminant found:	-
Iron contaminant found:	-
Mercury contaminant found:	-
Nickel contaminant found:	-
No contaminant found:	-
Pesticides contaminant found:	-
Selenium contaminant found:	-
SVOCs contaminant found:	-
Unknown contaminant found:	-

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**912 SOUTH OLD WOODWARD (Continued)**

**1016603615**

Future Use: Multistory -  
Media affected Bluiding Material: -  
Media affected indoor air: -  
Building material media cleaned up: -  
Indoor air media cleaned up: -  
Unknown media cleaned up: -  
Past Use: Multistory -  
Property Description:

Standard and historical sources document the property was developed with the current building in 1927. Prior to that, the property was vacant land. The property was occupied by a plumber in at least 1931, a steel processing and heat treating company and a tool manufacturer in at least 1944, various automotive service garages from 1947 until 1967, and has been occupied by various offices since 1969.

Below Poverty Number: 83  
Below Poverty Percent: 2.09  
Meidan Income: 14933  
Meidan Income Number: 305  
Meidan Income Percent: 7.68  
Vacant Housing Number: 142  
Vacant Housing Percent: 6.81  
Unemployed Number: 67  
Unemployed Percent: 1.69

**FINDS:**

Registry ID: 110059657697

Click Here:

**Environmental Interest/Information System:**

US EPA Assessment, Cleanup and Redevelopment Exchange System (ACRES) is an federal online database for Brownfields Grantees to electronically submit data directly to EPA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

**U82  
SE  
1/4-1/2  
0.355 mi.  
1872 ft.**

**912 OLD WOODWARD, LLC  
912 SOUTH OLD WOODWARD AVENUE  
BIRMINGHAM, MI 48009**

**INVENTORY S116385989  
N/A**

**Site 3 of 5 in cluster U**

**Relative:  
Lower**

**INVENTORY:**

**Actual:  
756 ft.**

Name: 912 OLD WOODWARD, LLC  
Address: 912 SOUTH OLD WOODWARD AVENUE  
City,State,Zip: BIRMINGHAM, MI 48009  
Bea Number: Not reported  
Township: Birmingham  
District: Southeast MI  
Data Source: Part 201  
Latitude: 42.5399  
Longitude: -83.20821



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

EDR ID Number  
EPA ID Number

**T83**  
**ENE**  
**1/4-1/2**  
**0.363 mi.**  
**1917 ft.**

**MOBIL OIL CORP**  
**1065 E MAPLE RD**  
**BIRMINGHAM, MI 48009**

**Site 2 of 2 in cluster T**

**INVENTORY**  
**AIRS**  
**WDS**

**S111135724**  
**N/A**

**Relative:**  
**Lower**

**INVENTORY:**

**Actual:**  
**765 ft.**

Name: MAPLE GAS PROPERTY, LLC  
Address: 1065 EAST MAPLE ROAD  
City,State,Zip: MI 48009  
Bea Number: 201606876LV  
Township: Birmingham  
District: Southeast MI  
Data Source: BEA  
Latitude: Not reported  
Longitude: Not reported

**AIRS:**

Name: MOBIL OIL CORPORATION  
Address: 1065 E MAPLE ROAD  
City,State,Zip: BIRMINGHAM, MI 48012  
State Registration Number: N3990  
Naics Code: Not reported  
Contact Email: Not reported  
Contact Name: MIGUEL FIGUEROA  
Contact Phone: 3139485026  
Contact Address: 30 OAK HOLLOW STREET  
Contact Address 2: SUITE 245  
Contact City,St,Zip: SOUTHFIELD, MI 48034  
Permit Number: 592-93  
Date Received: 07/26/1993  
Application Reason: SOIL VAPOR EXTRACTION  
Record Type: Not reported  
State County FIPS: Not reported  
Facility Category: Not reported  
SIC Primary: Not reported  
Tribal Code: Not reported  
Facility Status Code: Not reported  
Facility Status: Active  
Supplemental Location Text: Not reported  
Business Name: Not reported  
Principal Product: Not reported  
Principal Product Description: Not reported  
UTM Zone (Geo Coordinates Universal Transverse Mercator System): Not reported  
UTM Horizontal Coord: Not reported  
UTM Vertical Coord: Not reported  
Mailing Name: Not reported  
Mailing Contact Person: Not reported  
Mailing Street: Not reported  
Mailing City: Not reported  
Mailing State: Not reported  
Mailing Zip: Not reported  
Mailing Zip 4 Extension: Not reported  
Compliance Person: Not reported  
Compliance Area Code: Not reported  
Compliance Phone Number: Not reported  
Emission Inventory Contact Person: Not reported  
EI Contact Area Code: Not reported  
EI Contact Phone Number: Not reported

Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MOBIL OIL CORP (Continued)**

**S111135724**

Permit Contact Person: Not reported  
Permit Contact Person Area Code: Not reported  
Permit Contact Person Phone Number: Not reported  
Federal Employer Id Number: Not reported  
# Of Employees: Not reported  
Reporting Year: Not reported  
Date Record Was Created: Not reported

**WDS:**

Name: MOBIL OIL CORP  
Address: 1065 E MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009  
Site Id: MID985610443  
WMD Id: 404936  
Site Specific Name: MOBIL OIL CORP  
Mailing Address: 30 OAK HOLLOW ST  
Mailing City/State/Zip: 4803  
Mailing County: OAKLAND

**U84**  
**SE**  
**1/4-1/2**  
**0.372 mi.**  
**1963 ft.**

**OFFICE BUILDING & PARLING LOT**  
**1000 SOUTH OLD WOODWARD AVENUE**  
**BIRMINGHAM, MI**

**BEA S110624681**  
**N/A**

**Site 4 of 5 in cluster U**

**Relative:**  
**Lower**  
**Actual:**  
**756 ft.**

**BEA:**  
Secondary Address: Not reported  
BEA Number: 4565  
District: Southeast MI  
Date Received: 08/18/2010  
Submitter Name: Perimeter Properties, LLC  
Petition Determination: No Request  
Petition Disclosure: 0  
Category: No Hazardous Substance(s)  
Determination 20107A: No Request  
Reviewer: mitchelf  
Division Assigned: Storage Tank Division

**U85**  
**SE**  
**1/4-1/2**  
**0.375 mi.**  
**1978 ft.**

**WOODLINC/MICH LTD PARTNERSHIP**  
**1050 S OLD WOODWARD AVE**  
**BIRMINGHAM, MI 48009**

**LUST U003834711**  
**INVENTORY N/A**

**Site 5 of 5 in cluster U**

**Relative:**  
**Lower**  
**Actual:**  
**756 ft.**

**LUST:**  
Name: WOODLINC/MICH LTD PARTNERSHIP  
Address: 1050 S OLD WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-  
Facility ID: 00039226  
Source: STATE OF MICHIGAN  
Owner Name: Woodlinc/MichLtd Partnership  
Owner Address: Not reported  
Owner City,St,Zip: UNKNOWN, MI  
Owner Contact: Not reported  
Owner Phone: Not reported  
Country: USA

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WOODLINC/MICH LTD PARTNERSHIP (Continued)**

**U003834711**

District: Warren  
Site Name: Woodlinc/mich Ltd Partnership  
Latitude: 42.54057  
Longitude: -83.20848  
Date of Collection: 01/11/2001  
Method of Collection: Address Matching-House Number  
Accuracy: 100  
Accuracy Value Unit: FEET  
Horizontal Data: NAD83  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)

Leak Number: C-1071-96  
Release Date: 12/20/1996  
Substance Released: Gasoline  
Release Status: Open  
Release Closed Date: Not reported

**INVENTORY:**

Name: WOODLINC/MICH LTD PARTNERSHIP  
Address: 1050 S OLD WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009  
Bea Number: Not reported  
Township: Not reported  
District: Southeast MI  
Data Source: Part 213  
Latitude: 42.54058  
Longitude: -83.20848

**86  
ENE  
1/4-1/2  
0.394 mi.  
2081 ft.**

**MAPLE GAS INC  
1065 W MAPLE RD  
BIRMINGHAM, MI 48009**

**LUST  
UST  
AUL**

**U004117527  
N/A**

**INVENTORY  
Financial Assurance**

**Relative:  
Lower  
Actual:  
766 ft.**

**LUST:**

Name: MAPLE GAS INC  
Address: 1065 W MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009-  
Facility ID: 00016689  
Source: STATE OF MICHIGAN  
Owner Name: MapleGas Inc  
Owner Address: Not reported  
Owner City,St,Zip: UNKNOWN, MI  
Owner Contact: Not reported  
Owner Phone: Not reported  
Country: USA  
District: Warren  
Site Name: Mobil SS #03-K9Q  
Latitude: 42.54758  
Longitude: -83.20580  
Date of Collection: 10/04/2007  
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off  
Accuracy: 100  
Accuracy Value Unit: FEET  
Horizontal Data: NAD83  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MAPLE GAS INC (Continued)**

**U004117527**

Leak Number: C-0322-04  
Release Date: 07/15/2004  
Substance Released: Gasoline,Gasoline,Gasoline,Used Oil  
Release Status: Closed  
Release Closed Date: 02/10/2016

Leak Number: C-0571-93  
Release Date: 05/12/1993  
Substance Released: Used Oil,Gasoline  
Release Status: Closed  
Release Closed Date: 07/31/1996

Leak Number: C-1693-91  
Release Date: 08/19/1991  
Substance Released: Unknown  
Release Status: Closed  
Release Closed Date: 07/31/1996

Leak Number: C-1748-91  
Release Date: 08/26/1991  
Substance Released: Unknown  
Release Status: Closed  
Release Closed Date: 07/31/1996

**UST:**

Name: MAPLE GAS INC  
Address: 1065 W MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009  
Facility Type: ACTIVE  
Facility ID: 00016689  
Facility Region: 1  
Owner Name: MAPLE GAS INC  
Owner Address: 1065 E MAPLE RD  
Owner City: BIRMINGHAM  
Owner State: MI  
Owner Zip: 48009  
Owner Contact: Not reported  
Owner Phone: 2482582000  
Contact: Kyle Hannawa  
Contact Phone: (248) 755-2509  
Date of Collection: 10/04/2007  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off  
District: Region 1 - SE Michigan District Office  
Tank ID: 4  
Capacity: 1000  
Tank Status: Removed from Ground  
Substance: Used Oil  
Install Date: 06/01/1984  
Remove Date: 06/01/2005  
Tank Number: UTK-068335-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Automatic Tank Gauging

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MAPLE GAS INC (Continued)**

**U004117527**

Pipe Release Detection: Automatic Line Leak Detectors,Line Tightness Testing,Other  
Piping Material: Fiberglass Reinforced Plastic  
Piping Type: Not reported  
Tank Construction: Composite (Steel With Fiberglass),Epoxy Coated Steel,Fiberglass Reinforced Plastic,Other  
Impressed Device: Not reported  
Latitude: 42.54758  
Longitude: -83.20580

Name: MAPLE GAS INC  
Address: 1065 W MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009  
Facility Type: ACTIVE  
Facility ID: 00016689  
Facility Region: 1  
Owner Name: MAPLE GAS INC  
Owner Address: 1065 E MAPLE RD  
Owner City: BIRMINGHAM  
Owner State: MI  
Owner Zip: 48009  
Owner Contact: Not reported  
Owner Phone: 2482582000  
Contact: Kyle Hannawa  
Contact Phone: (248) 755-2509  
Date of Collection: 10/04/2007  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off  
District: Region 1 - SE Michigan District Office  
Tank ID: 3  
Capacity: 6000  
Tank Status: Currently In Use  
Substance: Gasoline  
Install Date: 04/21/1984  
Remove Date: Not reported  
Tank Number: UTK-020894-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Automatic Tank Gauging  
Pipe Release Detection: Automatic Line Leak Detectors,Line Tightness Testing  
Piping Material: Fiberglass Reinforced Plastic  
Piping Type: Pressure (Remote)  
Tank Construction: Fiberglass Reinforced Plastic  
Impressed Device: Not reported  
Latitude: 42.54758  
Longitude: -83.20580

Name: MAPLE GAS INC  
Address: 1065 W MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009  
Facility Type: ACTIVE  
Facility ID: 00016689  
Facility Region: 1  
Owner Name: MAPLE GAS INC  
Owner Address: 1065 E MAPLE RD

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MAPLE GAS INC (Continued)**

**U004117527**

Owner City: BIRMINGHAM  
Owner State: MI  
Owner Zip: 48009  
Owner Contact: Not reported  
Owner Phone: 2482582000  
Contact: Kyle Hannawa  
Contact Phone: (248) 755-2509  
Date of Collection: 10/04/2007  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off  
District: Region 1 - SE Michigan District Office  
Tank ID: 2  
Capacity: 8000  
Tank Status: Currently In Use  
Substance: Gasoline  
Install Date: 04/21/1984  
Remove Date: Not reported  
Tank Number: UTK-068331-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Automatic Tank Gauging  
Pipe Release Detection: Automatic Line Leak Detectors, Line Tightness Testing  
Piping Material: Fiberglass Reinforced Plastic  
Piping Type: Pressure (Remote)  
Tank Construction: Fiberglass Reinforced Plastic  
Impressed Device: Not reported  
Latitude: 42.54758  
Longitude: -83.20580

Name: MAPLE GAS INC  
Address: 1065 W MAPLE RD  
City, State, Zip: BIRMINGHAM, MI 48009  
Facility Type: ACTIVE  
Facility ID: 00016689  
Facility Region: 1  
Owner Name: MAPLE GAS INC  
Owner Address: 1065 E MAPLE RD  
Owner City: BIRMINGHAM  
Owner State: MI  
Owner Zip: 48009  
Owner Contact: Not reported  
Owner Phone: 2482582000  
Contact: Kyle Hannawa  
Contact Phone: (248) 755-2509  
Date of Collection: 10/04/2007  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off  
District: Region 1 - SE Michigan District Office



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MAPLE GAS INC (Continued)**

**U004117527**

Tank ID: 1  
Capacity: 10000  
Tank Status: Currently In Use  
Substance: Gasoline  
Install Date: 04/21/1984  
Remove Date: Not reported  
Tank Number: UTK-009824-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Automatic Tank Gauging  
Pipe Release Detection: Automatic Line Leak Detectors,Line Tightness Testing  
Piping Material: Fiberglass Reinforced Plastic  
Piping Type: Pressure (Remote)  
Tank Construction: Fiberglass Reinforced Plastic  
Impressed Device: Not reported  
Latitude: 42.54758  
Longitude: -83.20580

**AUL:**

Name: MOBIL #03-K9Q  
Address: 1065 WEST MAPLE ROAD  
City,State,Zip: BIRMINGHAM, MI 48009  
Status: Recorded  
Site Name: Not reported  
Property: on-site  
Land Use Restriction Type: RC  
Program Type: Part 213  
Program Support Assigned User: Nicholas Ekel  
Program Support Assigned Date: 06/24/2016  
Legal Description Of Property: Not reported  
Based On The Deq Ref #: 11121314091  
MDEQ Reference Number: RC-RRD-213-14-091  
Property Or Description Restricted Area: Not reported  
Lead Division: RD  
File Name Of Hyperlinked Legal Doc: U:\\KERMITE\\11121314091.PDF  
Mapped Polygons Area In Acres: 0.3523  
Mapped Polygons Area In Square Miles: 0.0005  
Date Data Entry Started: 09/09/2016  
Date Data Entry Finished: 09/09/2016  
Individual Or Staff Assoc With The Mapping: Nicholas Ekel  
Program Used To Map Restricted Features: ArcGIS 10.3  
Date Legal Paperwork Stamped/Filed/Register Of Deeds: 11/13/2015  
Commercial I Land Use Restriction: 0  
Commercial Ii Land Use Restriction: 0  
Commercial Iii Land Use Restriction: 0  
Commercial Iv Land Use Restriction: 0  
Industrial Land Use Restriction: 0  
Residential Land Use Restriction: 1  
Recreational Land Use Restriction: 0  
Multiple Land-Use Restrictions: 0  
Site Specific Restrictions: 1  
Groundwater Consumption Restrictions: 1  
Groundwater Contact Restrictions: 0  
Special Well Construction Requirements: 0  
Special Building Restrictions: 1  
Excavation And Soil Movement Restrictions: 1  
Soil Movement Requirements: 0  
There Is A Restriction On All Construction: 0

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MAPLE GAS INC (Continued)**

**U004117527**

Monitoring Well Protected, No Tampering Or Removal: 0  
There Is An Exposure Barrier In Place: 1  
There Is A Health And Safety Plan: 0  
There Is A Permanent Marker On The Site: 0  
Comment: April 24, 2014 consultant requested DEQ reference #.  
Map Comments: 20160624 - LRUR is NOT mapped in KERMIT - Nick Ekel 20160909 - LRUR is mapped in KERMIT - Nick Ekel

**INVENTORY:**

Name: MAPLE GAS INC  
Address: 1065 W MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009  
Bea Number: Not reported  
Township: Not reported  
District: Southeast MI  
Data Source: Part 213  
Latitude: 42.54759  
Longitude: -83.20581

**FINANCIAL ASSURANCE 3:**

Name: MAPLE GAS INC  
Address: 1,065 W MAPLE RD  
City,State,Zip: BIRMINGHAM, MI 48009  
Facility ID: 00016689  
Exempt: No  
Expiration Date: 02/14/2021  
Bond Rating Tests: UNCHECKED  
Commerical Insurance: UNCHECKED  
Guarantee: UNCHECKED  
Letter of Credit: UNCHECKED  
Risk Retention Group: UNCHECKED  
Self Insurance: UNCHECKED  
State Funds: CHECKED  
Surety Bond: UNCHECKED  
Trust Funds: UNCHECKED  
Year: 2021

87  
SE  
1/4-1/2  
0.403 mi.  
2127 ft.

**QUARTON WOODWARD SERVICE**  
**1599 S WOODWARD AVE**  
**BIRMINGHAM, MI 48009**

**LUST** **U000261883**  
**UST** **N/A**  
**AUL**  
**INVENTORY**  
**WDS**

**Relative:**  
**Lower**  
**Actual:**  
**755 ft.**

**LUST:**  
Name: QUARTON WOODWARD SERVICE  
Address: 1599 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-  
Facility ID: 00033030  
Source: STATE OF MICHIGAN  
Owner Name: MrAlex Fratarcongli  
Owner Address: Not reported  
Owner City,St,Zip: UNKNOWN, MI  
Owner Contact: Not reported  
Owner Phone: Not reported  
Country: USA  
District: Warren  
Site Name: Quarton Woodward Service

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**QUARTON WOODWARD SERVICE (Continued)**

**U000261883**

Latitude: 42.53975  
Longitude: -83.20728  
Date of Collection: 01/11/2001  
Method of Collection: Address Matching-House Number  
Accuracy: 100  
Accuracy Value Unit: FEET  
Horizontal Data: NAD83  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)

Leak Number: C-0328-97  
Release Date: 05/19/1997  
Substance Released: Gasoline  
Release Status: Closed  
Release Closed Date: 01/24/2019

**UST:**

Name: QUARTON WOODWARD SERVICE  
Address: 1599 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-5128  
Facility Type: CLOSED  
Facility ID: 00033030  
Facility Region: 1  
Owner Name: MR ALEX FRATARCONGELI  
Owner Address: 2507 W MAPLE RD  
Owner City: BLOOMFIELD HILLS  
Owner State: MI  
Owner Zip: 48301-2750  
Owner Contact: Not reported  
Owner Phone: 2486422882  
Contact: ALEX FRATERCZNGELI  
Contact Phone: (248) 642-2882  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 8  
Capacity: 550  
Tank Status: Removed from Ground  
Substance: Used Oil  
Install Date: Not reported  
Remove Date: 05/21/1997  
Tank Number: UTK-030049-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Unknown  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel  
Impressed Device: Not reported  
Latitude: 42.53975  
Longitude: -83.20728

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**QUARTON WOODWARD SERVICE (Continued)**

**U000261883**

Name: QUARTON WOODWARD SERVICE  
Address: 1599 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-5128  
Facility Type: CLOSED  
Facility ID: 00033030  
Facility Region: 1  
Owner Name: MR ALEX FRATARCONGELI  
Owner Address: 2507 W MAPLE RD  
Owner City: BLOOMFIELD HILLS  
Owner State: MI  
Owner Zip: 48301-2750  
Owner Contact: Not reported  
Owner Phone: 2486422882  
Contact: ALEX FRATERCZNGELI  
Contact Phone: (248) 642-2882  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 7  
Capacity: 550  
Tank Status: Removed from Ground  
Substance: Diesel  
Install Date: Not reported  
Remove Date: 05/21/1997  
Tank Number: UTK-033304-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Unknown  
Piping Type: Not reported  
Tank Construction: Asphalt Coated or Bare Steel  
Impressed Device: Not reported  
Latitude: 42.53975  
Longitude: -83.20728

Name: QUARTON WOODWARD SERVICE  
Address: 1599 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-5128  
Facility Type: CLOSED  
Facility ID: 00033030  
Facility Region: 1  
Owner Name: MR ALEX FRATARCONGELI  
Owner Address: 2507 W MAPLE RD  
Owner City: BLOOMFIELD HILLS  
Owner State: MI  
Owner Zip: 48301-2750  
Owner Contact: Not reported  
Owner Phone: 2486422882  
Contact: ALEX FRATERCZNGELI  
Contact Phone: (248) 642-2882  
Date of Collection: 01/11/2001

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**QUARTON WOODWARD SERVICE (Continued)**

**U000261883**

Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 6  
Capacity: 550  
Tank Status: Removed from Ground  
Substance: Used Oil  
Install Date: Not reported  
Remove Date: 05/21/1997  
Tank Number: UTK-064248-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Unknown  
Piping Type: Not reported  
Tank Construction: Unknown  
Impressed Device: Not reported  
Latitude: 42.53975  
Longitude: -83.20728

Name: QUARTON WOODWARD SERVICE  
Address: 1599 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-5128  
Facility Type: CLOSED  
Facility ID: 00033030  
Facility Region: 1  
Owner Name: MR ALEX FRATARCONGELI  
Owner Address: 2507 W MAPLE RD  
Owner City: BLOOMFIELD HILLS  
Owner State: MI  
Owner Zip: 48301-2750  
Owner Contact: Not reported  
Owner Phone: 2486422882  
Contact: ALEX FRATERCZNGELI  
Contact Phone: (248) 642-2882  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 5  
Capacity: 6000  
Tank Status: Removed from Ground  
Substance: Diesel  
Install Date: Not reported  
Remove Date: 05/21/1997  
Tank Number: UTK-064246-15  
Tank Details Compartments: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**QUARTON WOODWARD SERVICE (Continued)**

**U000261883**

Tank Release Detection:	Not reported
Pipe Release Detection:	Not reported
Piping Material:	Unknown
Piping Type:	Not reported
Tank Construction:	Unknown
Impressed Device:	Not reported
Latitude:	42.53975
Longitude:	-83.20728
Name:	QUARTON WOODWARD SERVICE
Address:	1599 S WOODWARD AVE
City,State,Zip:	BIRMINGHAM, MI 48009-5128
Facility Type:	CLOSED
Facility ID:	00033030
Facility Region:	1
Owner Name:	MR ALEX FRATARCONGELI
Owner Address:	2507 W MAPLE RD
Owner City:	BLOOMFIELD HILLS
Owner State:	MI
Owner Zip:	48301-2750
Owner Contact:	Not reported
Owner Phone:	2486422882
Contact:	ALEX FRATERCZNGELI
Contact Phone:	(248) 642-2882
Date of Collection:	01/11/2001
Accuracy:	100
Horizontal Datum:	NAD83
Accuracy Value Unit:	FEET
Source:	STATE OF MICHIGAN
Point Line Area:	POINT
Desc Category:	Plant Entrance (Freight)
Method of Collection:	Address Matching-House Number
District:	Region 1 - SE Michigan District Office
Tank ID:	4
Capacity:	6000
Tank Status:	Removed from Ground
Substance:	Gasoline
Install Date:	Not reported
Remove Date:	05/21/1997
Tank Number:	UTK-064240-15
Tank Details Compartments:	Not reported
Tank Release Detection:	Not reported
Pipe Release Detection:	Not reported
Piping Material:	Unknown
Piping Type:	Not reported
Tank Construction:	Unknown
Impressed Device:	Not reported
Latitude:	42.53975
Longitude:	-83.20728
Name:	QUARTON WOODWARD SERVICE
Address:	1599 S WOODWARD AVE
City,State,Zip:	BIRMINGHAM, MI 48009-5128
Facility Type:	CLOSED
Facility ID:	00033030
Facility Region:	1
Owner Name:	MR ALEX FRATARCONGELI



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**QUARTON WOODWARD SERVICE (Continued)**

**U000261883**

Owner Address: 2507 W MAPLE RD  
Owner City: BLOOMFIELD HILLS  
Owner State: MI  
Owner Zip: 48301-2750  
Owner Contact: Not reported  
Owner Phone: 2486422882  
Contact: ALEX FRATERCZNGELI  
Contact Phone: (248) 642-2882  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 3  
Capacity: 6000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: Not reported  
Remove Date: 05/21/1997  
Tank Number: UTK-064236-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Unknown  
Piping Type: Not reported  
Tank Construction: Unknown  
Impressed Device: Not reported  
Latitude: 42.53975  
Longitude: -83.20728

Name: QUARTON WOODWARD SERVICE  
Address: 1599 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-5128  
Facility Type: CLOSED  
Facility ID: 00033030  
Facility Region: 1  
Owner Name: MR ALEX FRATARCONGELI  
Owner Address: 2507 W MAPLE RD  
Owner City: BLOOMFIELD HILLS  
Owner State: MI  
Owner Zip: 48301-2750  
Owner Contact: Not reported  
Owner Phone: 2486422882  
Contact: ALEX FRATERCZNGELI  
Contact Phone: (248) 642-2882  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**QUARTON WOODWARD SERVICE (Continued)**

**U000261883**

District: Region 1 - SE Michigan District Office  
Tank ID: 2  
Capacity: 6000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: Not reported  
Remove Date: 05/21/1997  
Tank Number: UTK-064231-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Unknown  
Piping Type: Not reported  
Tank Construction: Unknown  
Impressed Device: Not reported  
Latitude: 42.53975  
Longitude: -83.20728

Name: QUARTON WOODWARD SERVICE  
Address: 1599 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009-5128  
Facility Type: CLOSED  
Facility ID: 00033030  
Facility Region: 1  
Owner Name: MR ALEX FRATARCONGELI  
Owner Address: 2507 W MAPLE RD  
Owner City: BLOOMFIELD HILLS  
Owner State: MI  
Owner Zip: 48301-2750  
Owner Contact: Not reported  
Owner Phone: 2486422882  
Contact: ALEX FRATERCZNGELI  
Contact Phone: (248) 642-2882  
Date of Collection: 01/11/2001  
Accuracy: 100  
Horizontal Datum: NAD83  
Accuracy Value Unit: FEET  
Source: STATE OF MICHIGAN  
Point Line Area: POINT  
Desc Category: Plant Entrance (Freight)  
Method of Collection: Address Matching-House Number  
District: Region 1 - SE Michigan District Office  
Tank ID: 1  
Capacity: 6000  
Tank Status: Removed from Ground  
Substance: Gasoline  
Install Date: Not reported  
Remove Date: 05/21/1997  
Tank Number: UTK-064230-15  
Tank Details Compartments: Not reported  
Tank Release Detection: Not reported  
Pipe Release Detection: Not reported  
Piping Material: Unknown  
Piping Type: Not reported  
Tank Construction: Unknown  
Impressed Device: Not reported  
Latitude: 42.53975

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**QUARTON WOODWARD SERVICE (Continued)**

**U000261883**

Longitude: -83.20728

**AUL:**

Name:	QUARTON WOODWARD SERVICE FORMER
Address:	1599 SOUTH WOODWARD AVENUE
City,State,Zip:	BIRMINGHAM, MI 48009
Status:	Recorded
Site Name:	Not reported
Property:	On-Site
Land Use Restriction Type:	RC
Program Type:	Part 213
Program Support Assigned User:	Nicholas Ekel
Program Support Assigned Date:	11/05/2018
Legal Description Of Property:	Not reported
Based On The Deq Ref #:	11121316174
MDEQ Reference Number:	RC-RRD-213-16-174
Property Or Description Restricted Area:	Not reported
Lead Division:	RRD
File Name Of Hyperlinked Legal Doc:	U:\\KERMIT\\11121316174.PDF
Mapped Polygons Area In Acres:	0.3638000000000001
Mapped Polygons Area In Square Miles:	0.0005
Date Data Entry Started:	11/05/2018
Date Data Entry Finished:	11/05/2018
Individual Or Staff Assoc With The Mapping:	Nicholas Ekel
Program Used To Map Restricted Features:	ArcGIS 10.5
Date Legal Paperwork Stamped/Filed/Register Of Deeds:	06/22/2018
Commercial I Land Use Restriction:	0
Commercial Ii Land Use Restriction:	0
Commercial Iii Land Use Restriction:	0
Commercial Iv Land Use Restriction:	0
Industrial Land Use Restriction:	0
Residential Land Use Restriction:	1
Recreational Land Use Restriction:	0
Multiple Land-Use Restrictions:	0
Site Specific Restrictions:	1
Groundwater Consumption Restrictions:	1
Groundwater Contact Restrictions:	0
Special Well Construction Requirements:	0
Special Building Restrictions:	1
Excavation And Soil Movement Restrictions:	0
Soil Movement Requirements:	0
There Is A Restriction On All Construction:	0
Monitoring Well Protected, No Tampering Or Removal:	0
There Is An Exposure Barrier In Place:	0
There Is A Health And Safety Plan:	0
There Is A Permanent Marker On The Site:	0
Comment:	20160919 - Reference number was requested by William Teasel of Service Environmental Engineerin, Inc. - Nick Ekel
Map Comments:	20181105 - LRUR is NOT mapped in KERMIT - Nick Ekel 20181105 - LRUR is mapped in KERMIT - Nick Ekel

**INVENTORY:**

Name:	QUARTON WOODWARD SERVICE
Address:	1599 S WOODWARD AVE
City,State,Zip:	BIRMINGHAM, MI 48009
Bea Number:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**QUARTON WOODWARD SERVICE (Continued)**

**U000261883**

Township: Not reported  
District: Southeast MI  
Data Source: Part 213  
Latitude: 42.53976  
Longitude: -83.20729

**WDS:**

Name: QUARTON WOODWARD SERVICE  
Address: 1599 S WOODWARD AVE  
City,State,Zip: BIRMINGHAM, MI 48009  
Site Id: MIR000022970  
WMD Id: 411471  
Site Specific Name: QUARTON WOODWARD SVC  
Mailing Address: 2507 W MAPLE RD  
Mailing City/State/Zip: 48322  
Mailing County: OAKLAND

**88**  
**SE**  
**1/4-1/2**  
**0.410 mi.**  
**2163 ft.**

**908 S. ADAMS, LLC**  
**908 SOUTH ADAMS ROAD**  
**OAKLAND (County), MI 48009**

**INVENTORY** **S121186637**  
**N/A**

**Relative:**  
**Lower**

**INVENTORY:**

**Actual:**  
**754 ft.**

Name: 908 S. ADAMS, LLC  
Address: 908 SOUTH ADAMS ROAD  
City,State,Zip: MI 480097038  
Bea Number: 201707813LV  
Township: Birmingham  
District: Southeast MI  
Data Source: BEA  
Latitude: Not reported  
Longitude: Not reported

**89**  
**NNW**  
**1/4-1/2**  
**0.445 mi.**  
**2350 ft.**

**GHEEN RESIDENCE**  
**272 RAVINE ROAD**  
**BIRMINGHAM, MI 48009**

**INVENTORY** **S117057927**  
**WDS** **N/A**

**Relative:**  
**Lower**

**INVENTORY:**

**Actual:**  
**758 ft.**

Name: GHEEN RESIDENCE  
Address: 272 RAVINE ROAD  
City,State,Zip: BIRMINGHAM, MI 48009  
Bea Number: Not reported  
Township: Birmingham  
District: Southeast MI  
Data Source: Part 201  
Latitude: 42.55063  
Longitude: -83.21524

**WDS:**

Name: ERIC GHEEN  
Address: 272 RAVINE RD  
City,State,Zip: BIRMINGHAM, MI 48009

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GHEEN RESIDENCE (Continued)**

**S117057927**

Site Id: MIK407668698  
WMD Id: 493758  
Site Specific Name: LOCAL HOME CLEANUP  
Mailing Address: 272 RAVINE RD  
Mailing City/State/Zip: 48009  
Mailing County: OAKLAND

Count: 1 records.

ORPHAN SUMMARY

City	EDR ID	Site Name	Site Address	Zip	Database(s)
ROYAL OAK	S125337879		WOODWARD AVE FOURTEEN MILE	48073	CDL



# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

To maintain currency of the following federal and state databases, EDR contacts the appropriate governmental agency on a monthly or quarterly basis, as required.

**Number of Days to Update:** Provides confirmation that EDR is reporting records that have been updated within 90 days from the date the government agency made the information available to the public.

## STANDARD ENVIRONMENTAL RECORDS

### ***Federal NPL site list***

#### **NPL: National Priority List**

National Priorities List (Superfund). The NPL is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund Program. NPL sites may encompass relatively large areas. As such, EDR provides polygon coverage for over 1,000 NPL site boundaries produced by EPA's Environmental Photographic Interpretation Center (EPIC) and regional EPA offices.

Date of Government Version: 07/29/2020	Source: EPA
Date Data Arrived at EDR: 08/03/2020	Telephone: N/A
Date Made Active in Reports: 08/25/2020	Last EDR Contact: 11/05/2020
Number of Days to Update: 22	Next Scheduled EDR Contact: 01/11/2021
	Data Release Frequency: Quarterly

#### **NPL Site Boundaries**

##### **Sources:**

EPA's Environmental Photographic Interpretation Center (EPIC)  
Telephone: 202-564-7333

EPA Region 1  
Telephone 617-918-1143

EPA Region 6  
Telephone: 214-655-6659

EPA Region 3  
Telephone 215-814-5418

EPA Region 7  
Telephone: 913-551-7247

EPA Region 4  
Telephone 404-562-8033

EPA Region 8  
Telephone: 303-312-6774

EPA Region 5  
Telephone 312-886-6686

EPA Region 9  
Telephone: 415-947-4246

EPA Region 10  
Telephone 206-553-8665

#### **Proposed NPL: Proposed National Priority List Sites**

A site that has been proposed for listing on the National Priorities List through the issuance of a proposed rule in the Federal Register. EPA then accepts public comments on the site, responds to the comments, and places on the NPL those sites that continue to meet the requirements for listing.

Date of Government Version: 07/29/2020	Source: EPA
Date Data Arrived at EDR: 08/03/2020	Telephone: N/A
Date Made Active in Reports: 08/25/2020	Last EDR Contact: 11/05/2020
Number of Days to Update: 22	Next Scheduled EDR Contact: 01/11/2021
	Data Release Frequency: Quarterly

#### **NPL LIENS: Federal Superfund Liens**

Federal Superfund Liens. Under the authority granted the USEPA by CERCLA of 1980, the USEPA has the authority to file liens against real property in order to recover remedial action expenditures or when the property owner received notification of potential liability. USEPA compiles a listing of filed notices of Superfund Liens.

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 10/15/1991  
Date Data Arrived at EDR: 02/02/1994  
Date Made Active in Reports: 03/30/1994  
Number of Days to Update: 56

Source: EPA  
Telephone: 202-564-4267  
Last EDR Contact: 08/15/2011  
Next Scheduled EDR Contact: 11/28/2011  
Data Release Frequency: No Update Planned

### ***Federal Delisted NPL site list***

Delisted NPL: National Priority List Deletions

The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

Date of Government Version: 07/29/2020  
Date Data Arrived at EDR: 08/03/2020  
Date Made Active in Reports: 08/25/2020  
Number of Days to Update: 22

Source: EPA  
Telephone: N/A  
Last EDR Contact: 11/05/2020  
Next Scheduled EDR Contact: 01/11/2021  
Data Release Frequency: Quarterly

### ***Federal CERCLIS list***

FEDERAL FACILITY: Federal Facility Site Information listing

A listing of National Priority List (NPL) and Base Realignment and Closure (BRAC) sites found in the Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS) Database where EPA Federal Facilities Restoration and Reuse Office is involved in cleanup activities.

Date of Government Version: 04/03/2019  
Date Data Arrived at EDR: 04/05/2019  
Date Made Active in Reports: 05/14/2019  
Number of Days to Update: 39

Source: Environmental Protection Agency  
Telephone: 703-603-8704  
Last EDR Contact: 10/02/2020  
Next Scheduled EDR Contact: 01/11/2021  
Data Release Frequency: Varies

SEMS: Superfund Enterprise Management System

SEMS (Superfund Enterprise Management System) tracks hazardous waste sites, potentially hazardous waste sites, and remedial activities performed in support of EPA's Superfund Program across the United States. The list was formerly known as CERCLIS, renamed to SEMS by the EPA in 2015. The list contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). This dataset also contains sites which are either proposed to or on the National Priorities List (NPL) and the sites which are in the screening and assessment phase for possible inclusion on the NPL.

Date of Government Version: 07/29/2020  
Date Data Arrived at EDR: 08/03/2020  
Date Made Active in Reports: 08/25/2020  
Number of Days to Update: 22

Source: EPA  
Telephone: 800-424-9346  
Last EDR Contact: 11/05/2020  
Next Scheduled EDR Contact: 01/25/2021  
Data Release Frequency: Quarterly

### ***Federal CERCLIS NFRAP site list***

SEMS-ARCHIVE: Superfund Enterprise Management System Archive

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

SEMS-ARCHIVE (Superfund Enterprise Management System Archive) tracks sites that have no further interest under the Federal Superfund Program based on available information. The list was formerly known as the CERCLIS-NFRAP, renamed to SEMS ARCHIVE by the EPA in 2015. EPA may perform a minimal level of assessment work at a site while it is archived if site conditions change and/or new information becomes available. Archived sites have been removed and archived from the inventory of SEMS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list the site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. The decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be potential NPL site.

Date of Government Version: 07/29/2020	Source: EPA
Date Data Arrived at EDR: 08/03/2020	Telephone: 800-424-9346
Date Made Active in Reports: 08/25/2020	Last EDR Contact: 11/05/2020
Number of Days to Update: 22	Next Scheduled EDR Contact: 01/25/2021
	Data Release Frequency: Quarterly

### ***Federal RCRA CORRACTS facilities list***

CORRACTS: Corrective Action Report

CORRACTS identifies hazardous waste handlers with RCRA corrective action activity.

Date of Government Version: 06/15/2020	Source: EPA
Date Data Arrived at EDR: 06/22/2020	Telephone: 800-424-9346
Date Made Active in Reports: 09/17/2020	Last EDR Contact: 09/22/2020
Number of Days to Update: 87	Next Scheduled EDR Contact: 01/04/2021
	Data Release Frequency: Quarterly

### ***Federal RCRA non-CORRACTS TSD facilities list***

RCRA-TSDF: RCRA - Treatment, Storage and Disposal

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Transporters are individuals or entities that move hazardous waste from the generator offsite to a facility that can recycle, treat, store, or dispose of the waste. TSDFs treat, store, or dispose of the waste.

Date of Government Version: 06/15/2020	Source: Environmental Protection Agency
Date Data Arrived at EDR: 06/22/2020	Telephone: 312-886-6186
Date Made Active in Reports: 09/18/2020	Last EDR Contact: 09/22/2020
Number of Days to Update: 88	Next Scheduled EDR Contact: 01/04/2021
	Data Release Frequency: Quarterly

### ***Federal RCRA generators list***

RCRA-LQG: RCRA - Large Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

Date of Government Version: 06/15/2020	Source: Environmental Protection Agency
Date Data Arrived at EDR: 06/22/2020	Telephone: 312-886-6186
Date Made Active in Reports: 09/18/2020	Last EDR Contact: 09/22/2020
Number of Days to Update: 88	Next Scheduled EDR Contact: 01/04/2021
	Data Release Frequency: Quarterly

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### RCRA-SQG: RCRA - Small Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

Date of Government Version: 06/15/2020	Source: Environmental Protection Agency
Date Data Arrived at EDR: 06/22/2020	Telephone: 312-886-6186
Date Made Active in Reports: 09/18/2020	Last EDR Contact: 09/22/2020
Number of Days to Update: 88	Next Scheduled EDR Contact: 01/04/2021
	Data Release Frequency: Quarterly

### RCRA-VSQG: RCRA - Very Small Quantity Generators (Formerly Conditionally Exempt Small Quantity Generators)

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Very small quantity generators (VSQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

Date of Government Version: 06/15/2020	Source: Environmental Protection Agency
Date Data Arrived at EDR: 06/22/2020	Telephone: 312-886-6186
Date Made Active in Reports: 09/18/2020	Last EDR Contact: 09/22/2020
Number of Days to Update: 88	Next Scheduled EDR Contact: 01/04/2021
	Data Release Frequency: Quarterly

### ***Federal institutional controls / engineering controls registries***

#### LUCIS: Land Use Control Information System

LUCIS contains records of land use control information pertaining to the former Navy Base Realignment and Closure properties.

Date of Government Version: 08/06/2020	Source: Department of the Navy
Date Data Arrived at EDR: 08/21/2020	Telephone: 843-820-7326
Date Made Active in Reports: 11/11/2020	Last EDR Contact: 11/05/2020
Number of Days to Update: 82	Next Scheduled EDR Contact: 02/22/2021
	Data Release Frequency: Varies

#### US ENG CONTROLS: Engineering Controls Sites List

A listing of sites with engineering controls in place. Engineering controls include various forms of caps, building foundations, liners, and treatment methods to create pathway elimination for regulated substances to enter environmental media or effect human health.

Date of Government Version: 10/28/2020	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/05/2020	Telephone: 703-603-0695
Date Made Active in Reports: 11/18/2020	Last EDR Contact: 11/05/2020
Number of Days to Update: 13	Next Scheduled EDR Contact: 03/08/2021
	Data Release Frequency: Varies

#### US INST CONTROLS: Institutional Controls Sites List

A listing of sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.

Date of Government Version: 10/28/2020	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/05/2020	Telephone: 703-603-0695
Date Made Active in Reports: 11/18/2020	Last EDR Contact: 11/05/2020
Number of Days to Update: 13	Next Scheduled EDR Contact: 03/08/2021
	Data Release Frequency: Varies

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## ***Federal ERNS list***

ERNS: Emergency Response Notification System

Emergency Response Notification System. ERNS records and stores information on reported releases of oil and hazardous substances.

Date of Government Version: 06/15/2020

Date Data Arrived at EDR: 06/22/2020

Date Made Active in Reports: 09/17/2020

Number of Days to Update: 87

Source: National Response Center, United States Coast Guard

Telephone: 202-267-2180

Last EDR Contact: 09/22/2020

Next Scheduled EDR Contact: 01/04/2021

Data Release Frequency: Quarterly

## ***State- and tribal - equivalent CERCLIS***

SHWS: This state does not maintain a SHWS list. See the Federal CERCLIS list and Federal NPL list.

This state does not maintain a SHWS list. See the Federal CERCLIS list and Federal NPL list.

Date of Government Version: N/A

Date Data Arrived at EDR: 10/31/2013

Date Made Active in Reports: 11/20/2013

Number of Days to Update: 20

Source: Department of Environment, Great Lakes, and Energy

Telephone: 517-284-5103

Last EDR Contact: 10/14/2020

Next Scheduled EDR Contact: 02/01/2021

Data Release Frequency: No Update Planned

## ***State and tribal landfill and/or solid waste disposal site lists***

SWF/LF: Solid Waste Facilities Database

Solid Waste Facilities/Landfill Sites. SWF/LF type records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. Depending on the state, these may be active or inactive facilities or open dumps that failed to meet RCRA Subtitle D Section 4004 criteria for solid waste landfills or disposal sites.

Date of Government Version: 06/22/2020

Date Data Arrived at EDR: 06/23/2020

Date Made Active in Reports: 09/09/2020

Number of Days to Update: 78

Source: Department of Environment, Great Lakes, and Energy

Telephone: 517-335-4035

Last EDR Contact: 09/23/2020

Next Scheduled EDR Contact: 01/04/2021

Data Release Frequency: Semi-Annually

## ***State and tribal leaking storage tank lists***

LUST: Leaking Underground Storage Tank Sites

Leaking Underground Storage Tank Incident Reports. LUST records contain an inventory of reported leaking underground storage tank incidents. Not all states maintain these records, and the information stored varies by state.

Date of Government Version: 07/16/2020

Date Data Arrived at EDR: 08/10/2020

Date Made Active in Reports: 10/30/2020

Number of Days to Update: 81

Source: Department of Environment, Great Lakes, and Energy

Telephone: 517-373-9837

Last EDR Contact: 11/10/2020

Next Scheduled EDR Contact: 02/22/2021

Data Release Frequency: Annually

INDIAN LUST R6: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in New Mexico and Oklahoma.

Date of Government Version: 04/08/2020

Date Data Arrived at EDR: 05/20/2020

Date Made Active in Reports: 08/12/2020

Number of Days to Update: 84

Source: EPA Region 6

Telephone: 214-665-6597

Last EDR Contact: 10/23/2020

Next Scheduled EDR Contact: 02/01/2021

Data Release Frequency: Varies

INDIAN LUST R1: Leaking Underground Storage Tanks on Indian Land

A listing of leaking underground storage tank locations on Indian Land.

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 04/29/2020  
Date Data Arrived at EDR: 05/20/2020  
Date Made Active in Reports: 08/12/2020  
Number of Days to Update: 84

Source: EPA Region 1  
Telephone: 617-918-1313  
Last EDR Contact: 10/23/2020  
Next Scheduled EDR Contact: 02/01/2021  
Data Release Frequency: Varies

**INDIAN LUST R7: Leaking Underground Storage Tanks on Indian Land**  
LUSTs on Indian land in Iowa, Kansas, and Nebraska

Date of Government Version: 04/15/2020  
Date Data Arrived at EDR: 05/20/2020  
Date Made Active in Reports: 08/12/2020  
Number of Days to Update: 84

Source: EPA Region 7  
Telephone: 913-551-7003  
Last EDR Contact: 10/23/2020  
Next Scheduled EDR Contact: 02/01/2021  
Data Release Frequency: Varies

**INDIAN LUST R4: Leaking Underground Storage Tanks on Indian Land**  
LUSTs on Indian land in Florida, Mississippi and North Carolina.

Date of Government Version: 04/14/2020  
Date Data Arrived at EDR: 05/26/2020  
Date Made Active in Reports: 08/12/2020  
Number of Days to Update: 78

Source: EPA Region 4  
Telephone: 404-562-8677  
Last EDR Contact: 10/23/2020  
Next Scheduled EDR Contact: 02/01/2021  
Data Release Frequency: Varies

**INDIAN LUST R9: Leaking Underground Storage Tanks on Indian Land**  
LUSTs on Indian land in Arizona, California, New Mexico and Nevada

Date of Government Version: 04/08/2020  
Date Data Arrived at EDR: 05/20/2020  
Date Made Active in Reports: 08/12/2020  
Number of Days to Update: 84

Source: Environmental Protection Agency  
Telephone: 415-972-3372  
Last EDR Contact: 10/23/2020  
Next Scheduled EDR Contact: 02/01/2021  
Data Release Frequency: Varies

**INDIAN LUST R8: Leaking Underground Storage Tanks on Indian Land**  
LUSTs on Indian land in Colorado, Montana, North Dakota, South Dakota, Utah and Wyoming.

Date of Government Version: 04/14/2020  
Date Data Arrived at EDR: 05/20/2020  
Date Made Active in Reports: 08/12/2020  
Number of Days to Update: 84

Source: EPA Region 8  
Telephone: 303-312-6271  
Last EDR Contact: 10/23/2020  
Next Scheduled EDR Contact: 02/01/2021  
Data Release Frequency: Varies

**INDIAN LUST R10: Leaking Underground Storage Tanks on Indian Land**  
LUSTs on Indian land in Alaska, Idaho, Oregon and Washington.

Date of Government Version: 04/14/2020  
Date Data Arrived at EDR: 05/20/2020  
Date Made Active in Reports: 08/12/2020  
Number of Days to Update: 84

Source: EPA Region 10  
Telephone: 206-553-2857  
Last EDR Contact: 10/23/2020  
Next Scheduled EDR Contact: 02/01/2021  
Data Release Frequency: Varies

**INDIAN LUST R5: Leaking Underground Storage Tanks on Indian Land**  
Leaking underground storage tanks located on Indian Land in Michigan, Minnesota and Wisconsin.

Date of Government Version: 04/14/2020  
Date Data Arrived at EDR: 05/20/2020  
Date Made Active in Reports: 08/12/2020  
Number of Days to Update: 84

Source: EPA, Region 5  
Telephone: 312-886-7439  
Last EDR Contact: 10/23/2020  
Next Scheduled EDR Contact: 02/01/2021  
Data Release Frequency: Varies

***State and tribal registered storage tank lists***



## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### FEMA UST: Underground Storage Tank Listing

A listing of all FEMA owned underground storage tanks.

Date of Government Version: 02/01/2020  
Date Data Arrived at EDR: 03/19/2020  
Date Made Active in Reports: 06/09/2020  
Number of Days to Update: 82

Source: FEMA  
Telephone: 202-646-5797  
Last EDR Contact: 10/01/2020  
Next Scheduled EDR Contact: 01/18/2021  
Data Release Frequency: Varies

### UST 2: Underground Storage Tank Listing

A listing of underground storage tank site locations that have unknown owner information.

Date of Government Version: 07/12/2020  
Date Data Arrived at EDR: 07/16/2020  
Date Made Active in Reports: 10/02/2020  
Number of Days to Update: 78

Source: Department of Licensing & Regulatory Affairs  
Telephone: 517-373-1820  
Last EDR Contact: 10/07/2020  
Next Scheduled EDR Contact: 01/25/2021  
Data Release Frequency: Varies

### UST: Underground Storage Tank Facility List

Registered Underground Storage Tanks. UST's are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA) and must be registered with the state department responsible for administering the UST program. Available information varies by state program.

Date of Government Version: 05/07/2019  
Date Data Arrived at EDR: 08/13/2019  
Date Made Active in Reports: 10/24/2019  
Number of Days to Update: 72

Source: Department of Licensing & Regulatory Affairs  
Telephone: 517-373-1820  
Last EDR Contact: 10/09/2020  
Next Scheduled EDR Contact: 02/22/2021  
Data Release Frequency: Annually

### AST: Aboveground Tanks

Registered Aboveground Storage Tanks.

Date of Government Version: 05/06/2020  
Date Data Arrived at EDR: 05/06/2020  
Date Made Active in Reports: 07/22/2020  
Number of Days to Update: 77

Source: Department of Licensing & Regulatory Affairs  
Telephone: 517-373-1820  
Last EDR Contact: 11/16/2020  
Next Scheduled EDR Contact: 02/22/2021  
Data Release Frequency: No Update Planned

### INDIAN UST R7: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 7 (Iowa, Kansas, Missouri, Nebraska, and 9 Tribal Nations).

Date of Government Version: 04/03/2020  
Date Data Arrived at EDR: 05/20/2020  
Date Made Active in Reports: 08/12/2020  
Number of Days to Update: 84

Source: EPA Region 7  
Telephone: 913-551-7003  
Last EDR Contact: 10/23/2020  
Next Scheduled EDR Contact: 02/01/2021  
Data Release Frequency: Varies

### INDIAN UST R4: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 4 (Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, Tennessee and Tribal Nations)

Date of Government Version: 04/14/2020  
Date Data Arrived at EDR: 05/26/2020  
Date Made Active in Reports: 08/12/2020  
Number of Days to Update: 78

Source: EPA Region 4  
Telephone: 404-562-9424  
Last EDR Contact: 10/23/2020  
Next Scheduled EDR Contact: 02/01/2021  
Data Release Frequency: Varies

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### INDIAN UST R5: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 5 (Michigan, Minnesota and Wisconsin and Tribal Nations).

Date of Government Version: 04/14/2020	Source: EPA Region 5
Date Data Arrived at EDR: 05/20/2020	Telephone: 312-886-6136
Date Made Active in Reports: 08/12/2020	Last EDR Contact: 10/23/2020
Number of Days to Update: 84	Next Scheduled EDR Contact: 02/01/2021
	Data Release Frequency: Varies

### INDIAN UST R10: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 10 (Alaska, Idaho, Oregon, Washington, and Tribal Nations).

Date of Government Version: 04/14/2020	Source: EPA Region 10
Date Data Arrived at EDR: 05/20/2020	Telephone: 206-553-2857
Date Made Active in Reports: 08/12/2020	Last EDR Contact: 10/23/2020
Number of Days to Update: 84	Next Scheduled EDR Contact: 02/01/2021
	Data Release Frequency: Varies

### INDIAN UST R1: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 1 (Connecticut, Maine, Massachusetts, New Hampshire, Rhode Island, Vermont and ten Tribal Nations).

Date of Government Version: 04/29/2020	Source: EPA, Region 1
Date Data Arrived at EDR: 05/20/2020	Telephone: 617-918-1313
Date Made Active in Reports: 08/12/2020	Last EDR Contact: 10/23/2020
Number of Days to Update: 84	Next Scheduled EDR Contact: 02/01/2021
	Data Release Frequency: Varies

### INDIAN UST R8: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 8 (Colorado, Montana, North Dakota, South Dakota, Utah, Wyoming and 27 Tribal Nations).

Date of Government Version: 04/14/2020	Source: EPA Region 8
Date Data Arrived at EDR: 05/20/2020	Telephone: 303-312-6137
Date Made Active in Reports: 08/13/2020	Last EDR Contact: 10/23/2020
Number of Days to Update: 85	Next Scheduled EDR Contact: 02/01/2021
	Data Release Frequency: Varies

### INDIAN UST R9: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 9 (Arizona, California, Hawaii, Nevada, the Pacific Islands, and Tribal Nations).

Date of Government Version: 04/08/2020	Source: EPA Region 9
Date Data Arrived at EDR: 05/20/2020	Telephone: 415-972-3368
Date Made Active in Reports: 08/12/2020	Last EDR Contact: 10/23/2020
Number of Days to Update: 84	Next Scheduled EDR Contact: 02/01/2021
	Data Release Frequency: Varies

### INDIAN UST R6: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 6 (Louisiana, Arkansas, Oklahoma, New Mexico, Texas and 65 Tribes).

Date of Government Version: 04/08/2020	Source: EPA Region 6
Date Data Arrived at EDR: 05/20/2020	Telephone: 214-665-7591
Date Made Active in Reports: 08/12/2020	Last EDR Contact: 10/23/2020
Number of Days to Update: 84	Next Scheduled EDR Contact: 02/01/2021
	Data Release Frequency: Varies

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## ***State and tribal institutional control / engineering control registries***

### **AUL: Engineering and Institutional Controls**

A listing of sites with institutional and/or engineering controls in place.

Date of Government Version: 08/25/2020

Date Data Arrived at EDR: 08/26/2020

Date Made Active in Reports: 11/18/2020

Number of Days to Update: 84

Source: Department of Environment, Great Lakes, and Energy

Telephone: 517-373-4828

Last EDR Contact: 11/16/2020

Next Scheduled EDR Contact: 03/08/2021

Data Release Frequency: Quarterly

## ***State and tribal voluntary cleanup sites***

### **INDIAN VCP R1: Voluntary Cleanup Priority Listing**

A listing of voluntary cleanup priority sites located on Indian Land located in Region 1.

Date of Government Version: 07/27/2015

Date Data Arrived at EDR: 09/29/2015

Date Made Active in Reports: 02/18/2016

Number of Days to Update: 142

Source: EPA, Region 1

Telephone: 617-918-1102

Last EDR Contact: 09/16/2020

Next Scheduled EDR Contact: 01/04/2021

Data Release Frequency: Varies

### **INDIAN VCP R7: Voluntary Cleanup Priority Listing**

A listing of voluntary cleanup priority sites located on Indian Land located in Region 7.

Date of Government Version: 03/20/2008

Date Data Arrived at EDR: 04/22/2008

Date Made Active in Reports: 05/19/2008

Number of Days to Update: 27

Source: EPA, Region 7

Telephone: 913-551-7365

Last EDR Contact: 04/20/2009

Next Scheduled EDR Contact: 07/20/2009

Data Release Frequency: Varies

## ***State and tribal Brownfields sites***

### **BROWNFIELDS: Brownfields and USTfield Site Database**

All state funded Part 201 and 213 sites, as well as LUST sites that have been redeveloped by private entities using the BEA process. Be aware that this is not a list of all of the potential brownfield sites in Michigan.

Date of Government Version: 01/15/2016

Date Data Arrived at EDR: 02/02/2016

Date Made Active in Reports: 04/04/2016

Number of Days to Update: 62

Source: Department of Environment, Great Lakes, and Energy

Telephone: 517-373-4805

Last EDR Contact: 10/14/2020

Next Scheduled EDR Contact: 02/01/2021

Data Release Frequency: Varies

### **BROWNFIELDS 2: Brownfields Building and Land Site Locations**

A listing of brownfield building and land site locations. The listing is a collaborative effort of Michigan Economic Development Corporation, Michigan Economic Developers Association, Detroit Edison, Detroit Area Commercial Board of Realtors

Date of Government Version: 07/20/2020

Date Data Arrived at EDR: 07/21/2020

Date Made Active in Reports: 10/07/2020

Number of Days to Update: 78

Source: Economic Development Corporation

Telephone: 888-522-0103

Last EDR Contact: 11/10/2020

Next Scheduled EDR Contact: 02/01/2021

Data Release Frequency: Varies

## **ADDITIONAL ENVIRONMENTAL RECORDS**

### ***Local Brownfield lists***

#### **US BROWNFIELDS: A Listing of Brownfields Sites**

Brownfields are real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. Cleaning up and reinvesting in these properties takes development pressures off of undeveloped, open land, and both improves and protects the environment. Assessment, Cleanup and Redevelopment Exchange System (ACRES) stores information reported by EPA Brownfields grant recipients on brownfields properties assessed or cleaned up with grant funding as well as information on Targeted Brownfields Assessments performed by EPA Regions. A listing of ACRES Brownfield sites is obtained from Cleanups in My Community. Cleanups in My Community provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 06/01/2020  
Date Data Arrived at EDR: 06/02/2020  
Date Made Active in Reports: 06/09/2020  
Number of Days to Update: 7

Source: Environmental Protection Agency  
Telephone: 202-566-2777  
Last EDR Contact: 09/15/2020  
Next Scheduled EDR Contact: 12/28/2020  
Data Release Frequency: Semi-Annually

### ***Local Lists of Landfill / Solid Waste Disposal Sites***

#### **HIST LF: Inactive Solid Waste Facilities**

The database contains historical information and is no longer updated.

Date of Government Version: 03/01/1997  
Date Data Arrived at EDR: 02/28/2003  
Date Made Active in Reports: 03/06/2003  
Number of Days to Update: 6

Source: Department of Environment, Great Lakes, and Energy  
Telephone: 517-335-4034  
Last EDR Contact: 02/28/2003  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: No Update Planned

#### **SWRCY: Recycling Facilities**

A listing of recycling center locations.

Date of Government Version: 07/23/2020  
Date Data Arrived at EDR: 07/24/2020  
Date Made Active in Reports: 10/12/2020  
Number of Days to Update: 80

Source: Department of Environment, Great Lakes, and Energy  
Telephone: 517-241-5719  
Last EDR Contact: 09/16/2020  
Next Scheduled EDR Contact: 01/04/2021  
Data Release Frequency: Varies

#### **INDIAN ODI: Report on the Status of Open Dumps on Indian Lands**

Location of open dumps on Indian land.

Date of Government Version: 12/31/1998  
Date Data Arrived at EDR: 12/03/2007  
Date Made Active in Reports: 01/24/2008  
Number of Days to Update: 52

Source: Environmental Protection Agency  
Telephone: 703-308-8245  
Last EDR Contact: 10/20/2020  
Next Scheduled EDR Contact: 02/08/2021  
Data Release Frequency: Varies

#### **ODI: Open Dump Inventory**

An open dump is defined as a disposal facility that does not comply with one or more of the Part 257 or Part 258 Subtitle D Criteria.

Date of Government Version: 06/30/1985  
Date Data Arrived at EDR: 08/09/2004  
Date Made Active in Reports: 09/17/2004  
Number of Days to Update: 39

Source: Environmental Protection Agency  
Telephone: 800-424-9346  
Last EDR Contact: 06/09/2004  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: No Update Planned

#### **DEBRIS REGION 9: Torres Martinez Reservation Illegal Dump Site Locations**

A listing of illegal dump sites location on the Torres Martinez Indian Reservation located in eastern Riverside County and northern Imperial County, California.

Date of Government Version: 01/12/2009  
Date Data Arrived at EDR: 05/07/2009  
Date Made Active in Reports: 09/21/2009  
Number of Days to Update: 137

Source: EPA, Region 9  
Telephone: 415-947-4219  
Last EDR Contact: 10/13/2020  
Next Scheduled EDR Contact: 02/01/2021  
Data Release Frequency: No Update Planned

#### **IHS OPEN DUMPS: Open Dumps on Indian Land**

A listing of all open dumps located on Indian Land in the United States.

Date of Government Version: 04/01/2014  
Date Data Arrived at EDR: 08/06/2014  
Date Made Active in Reports: 01/29/2015  
Number of Days to Update: 176

Source: Department of Health & Human Services, Indian Health Service  
Telephone: 301-443-1452  
Last EDR Contact: 10/30/2020  
Next Scheduled EDR Contact: 02/08/2021  
Data Release Frequency: Varies

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## ***Local Lists of Hazardous waste / Contaminated Sites***

### **US HIST CDL: National Clandestine Laboratory Register**

A listing of clandestine drug lab locations that have been removed from the DEAs National Clandestine Laboratory Register.

Date of Government Version: 03/18/2020  
Date Data Arrived at EDR: 03/19/2020  
Date Made Active in Reports: 06/09/2020  
Number of Days to Update: 82

Source: Drug Enforcement Administration  
Telephone: 202-307-1000  
Last EDR Contact: 11/16/2020  
Next Scheduled EDR Contact: 03/08/2021  
Data Release Frequency: No Update Planned

### **INVENTORY: Inventory of Facilities**

The Inventory of Facilities has three data sources: Facilities under Part 201, Environmental Remediation, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA) identified through state funded or private party response activities (Projects); Facilities under Part 213, Leaking Underground Storage Tanks of the NREPA; and Facilities identified through submittals of Baseline Environmental Assessments (BEA) submitted pursuant to Part 201 or Part 213 of the NREPA. The Part 201 Projects Inventory does not include all of the facilities that are subject to regulation under Part 201 because owners are not required to inform the Department of Environmental Quality (DEQ) about the facilities and can pursue cleanup independently. Facilities that are not known to DEQ are not on the Inventory, nor are locations with releases that resulted in low environmental impact. Part 213 facilities listed here may have more than one release; a list of releases for which corrective actions have been completed and list of releases for which corrective action has not been completed is located on the Leaking Underground Storage Tanks Site Search webpage. The DEQ may or may not have reviewed and concurred with the conclusion that the corrective actions described in a closure report meets criteria. A BEA is a document that new or prospective property owners/operations disclose to the DEQ identifying the property as a facility pursuant to Part 201 and Part 213. The Inventory of BEA Facilities overlaps in part with the Part 201 Projects facilities and Part 213 facilities. There may be more than one BEA for each facility.

Date of Government Version: 07/20/2020  
Date Data Arrived at EDR: 07/21/2020  
Date Made Active in Reports: 10/07/2020  
Number of Days to Update: 78

Source: Department of Environment, Great Lakes, and Energy  
Telephone: 517-284-5136  
Last EDR Contact: 10/19/2020  
Next Scheduled EDR Contact: 02/01/2021  
Data Release Frequency: Quarterly

### **PART 201: Part 201 Site List**

A Part 201 Listed site is a location that has been evaluated and scored by the DEQ using the Part 201 scoring model. The location is or includes a "facility" as defined by Part 201, where there has been a release of a hazardous substance(s) in excess of the Part 201 residential criteria, and/or where corrective actions have not been completed under Part 201 to meet the applicable cleanup criteria for unrestricted residential use. The Part 201 List does not include all of the sites of contamination that are subject to regulation under Part 201 because owners are not required to inform the DEQ about the sites and can pursue cleanup independently. Sites of environmental contamination that are not known to DEQ are not on the list, nor are sites with releases that resulted in low environmental impact.

Date of Government Version: 10/01/2013  
Date Data Arrived at EDR: 10/03/2014  
Date Made Active in Reports: 10/03/2014  
Number of Days to Update: 0

Source: Department of Environment, Great Lakes, and Energy  
Telephone: 517-284-5103  
Last EDR Contact: 07/22/2019  
Next Scheduled EDR Contact: 11/04/2019  
Data Release Frequency: No Update Planned

### **CDL: Clandestine Drug Lab Listing**

A listing of clandestine drug lab locations.

Date of Government Version: 06/03/2020  
Date Data Arrived at EDR: 07/07/2020  
Date Made Active in Reports: 09/24/2020  
Number of Days to Update: 79

Source: Department of Community Health  
Telephone: 517-373-3740  
Last EDR Contact: 10/14/2020  
Next Scheduled EDR Contact: 02/01/2021  
Data Release Frequency: No Update Planned

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### DEL PART 201: Delisted List of Contaminated Sites

A deleted site has been removed from the Part 201 List because information known to the DEQ at the time of the evaluation does not support inclusion on the Part 201 List. This designation is often applied to sites where changes in cleanup criteria resulted in a determination that the site no longer exceeds any applicable cleanup criterion.

A delisted site has been removed from the Part 201 List because response actions have reduced the levels of contaminants to concentrations which meet or are below the criteria for unrestricted residential use.

Date of Government Version: 08/01/2013  
Date Data Arrived at EDR: 08/01/2013  
Date Made Active in Reports: 09/11/2013  
Number of Days to Update: 41

Source: Department of Environment, Great Lakes, and Energy  
Telephone: 517-373-9541  
Last EDR Contact: 07/22/2019  
Next Scheduled EDR Contact: 11/04/2019  
Data Release Frequency: Varies

### US CDL: Clandestine Drug Labs

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

Date of Government Version: 03/18/2020  
Date Data Arrived at EDR: 03/19/2020  
Date Made Active in Reports: 06/09/2020  
Number of Days to Update: 82

Source: Drug Enforcement Administration  
Telephone: 202-307-1000  
Last EDR Contact: 11/16/2020  
Next Scheduled EDR Contact: 03/08/2021  
Data Release Frequency: Quarterly

### PFAS: PFAS Contaminated Sites Listing

PFAS have been widely used in numerous industrial and residential applications since the 1950s. Their stability and unique chemical properties produce waterproof, stain resistant, and nonstick qualities in products. They are found in some firefighting foams and a wide range of consumer products such as carpet treatments, non-stick cookware, water-resistant fabrics, food packaging materials, and personal care products.

Date of Government Version: 08/07/2020  
Date Data Arrived at EDR: 08/10/2020  
Date Made Active in Reports: 10/30/2020  
Number of Days to Update: 81

Source: Department of Environment, Great Lakes & Energy  
Telephone: 517-284-9278  
Last EDR Contact: 11/12/2020  
Next Scheduled EDR Contact: 02/22/2021  
Data Release Frequency: Varies

### Local Land Records

#### LIENS: Lien List

An Environmental Lien is a charge, security, or encumbrance upon title to a property to secure the payment of a cost, damage, debt, obligation, or duty arising out of response actions, cleanup, or other remediation of hazardous substances or petroleum products upon a property, including (but not limited to) liens imposed pursuant to CERCLA 42 USC \* 9607(1) and similar state or local laws. In other words: a lien placed upon a property's title due to an environmental condition

Date of Government Version: 10/11/2019  
Date Data Arrived at EDR: 10/17/2019  
Date Made Active in Reports: 12/11/2019  
Number of Days to Update: 55

Source: Department of Environment, Great Lakes, and Energy  
Telephone: 517-241-7603  
Last EDR Contact: 10/16/2020  
Next Scheduled EDR Contact: 01/25/2021  
Data Release Frequency: Varies

#### LIENS 2: CERCLA Lien Information

A Federal CERCLA ('Superfund') lien can exist by operation of law at any site or property at which EPA has spent Superfund monies. These monies are spent to investigate and address releases and threatened releases of contamination. CERCLIS provides information as to the identity of these sites and properties.



## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 07/29/2020  
Date Data Arrived at EDR: 08/03/2020  
Date Made Active in Reports: 08/25/2020  
Number of Days to Update: 22

Source: Environmental Protection Agency  
Telephone: 202-564-6023  
Last EDR Contact: 11/05/2020  
Next Scheduled EDR Contact: 01/11/2021  
Data Release Frequency: Semi-Annually

### ***Records of Emergency Release Reports***

#### **HMIRS: Hazardous Materials Information Reporting System**

Hazardous Materials Incident Report System. HMIRS contains hazardous material spill incidents reported to DOT.

Date of Government Version: 06/22/2020  
Date Data Arrived at EDR: 06/23/2020  
Date Made Active in Reports: 09/17/2020  
Number of Days to Update: 86

Source: U.S. Department of Transportation  
Telephone: 202-366-4555  
Last EDR Contact: 09/22/2020  
Next Scheduled EDR Contact: 01/04/2021  
Data Release Frequency: Quarterly

#### **PEAS: Pollution Emergency Alerting System**

Environmental pollution emergencies reported to the Department of Environmental Quality such as tanker accidents, pipeline breaks, and release of reportable quantities of hazardous substances.

Date of Government Version: 03/31/2020  
Date Data Arrived at EDR: 04/28/2020  
Date Made Active in Reports: 07/16/2020  
Number of Days to Update: 79

Source: Department of Environment, Great Lakes, and Energy  
Telephone: 517-373-8427  
Last EDR Contact: 10/23/2020  
Next Scheduled EDR Contact: 02/01/2021  
Data Release Frequency: Quarterly

### ***Other Ascertainable Records***

#### **RCRA NonGen / NLR: RCRA - Non Generators / No Longer Regulated**

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

Date of Government Version: 06/15/2020  
Date Data Arrived at EDR: 06/22/2020  
Date Made Active in Reports: 09/18/2020  
Number of Days to Update: 88

Source: Environmental Protection Agency  
Telephone: 312-886-6186  
Last EDR Contact: 09/22/2020  
Next Scheduled EDR Contact: 01/04/2021  
Data Release Frequency: Quarterly

#### **FUDS: Formerly Used Defense Sites**

The listing includes locations of Formerly Used Defense Sites properties where the US Army Corps of Engineers is actively working or will take necessary cleanup actions.

Date of Government Version: 08/05/2020  
Date Data Arrived at EDR: 08/13/2020  
Date Made Active in Reports: 10/21/2020  
Number of Days to Update: 69

Source: U.S. Army Corps of Engineers  
Telephone: 202-528-4285  
Last EDR Contact: 11/17/2020  
Next Scheduled EDR Contact: 03/01/2021  
Data Release Frequency: Varies

#### **DOD: Department of Defense Sites**

This data set consists of federally owned or administered lands, administered by the Department of Defense, that have any area equal to or greater than 640 acres of the United States, Puerto Rico, and the U.S. Virgin Islands.

Date of Government Version: 12/31/2005  
Date Data Arrived at EDR: 11/10/2006  
Date Made Active in Reports: 01/11/2007  
Number of Days to Update: 62

Source: USGS  
Telephone: 888-275-8747  
Last EDR Contact: 10/13/2020  
Next Scheduled EDR Contact: 01/25/2021  
Data Release Frequency: Semi-Annually

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### FEDLAND: Federal and Indian Lands

Federally and Indian administrated lands of the United States. Lands included are administrated by: Army Corps of Engineers, Bureau of Reclamation, National Wild and Scenic River, National Wildlife Refuge, Public Domain Land, Wilderness, Wilderness Study Area, Wildlife Management Area, Bureau of Indian Affairs, Bureau of Land Management, Department of Justice, Forest Service, Fish and Wildlife Service, National Park Service.

Date of Government Version: 04/02/2018	Source: U.S. Geological Survey
Date Data Arrived at EDR: 04/11/2018	Telephone: 888-275-8747
Date Made Active in Reports: 11/06/2019	Last EDR Contact: 10/08/2020
Number of Days to Update: 574	Next Scheduled EDR Contact: 01/18/2021
	Data Release Frequency: N/A

### SCRD DRYCLEANERS: State Coalition for Remediation of Drycleaners Listing

The State Coalition for Remediation of Drycleaners was established in 1998, with support from the U.S. EPA Office of Superfund Remediation and Technology Innovation. It is comprised of representatives of states with established drycleaner remediation programs. Currently the member states are Alabama, Connecticut, Florida, Illinois, Kansas, Minnesota, Missouri, North Carolina, Oregon, South Carolina, Tennessee, Texas, and Wisconsin.

Date of Government Version: 01/01/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 02/03/2017	Telephone: 615-532-8599
Date Made Active in Reports: 04/07/2017	Last EDR Contact: 11/09/2020
Number of Days to Update: 63	Next Scheduled EDR Contact: 02/22/2021
	Data Release Frequency: Varies

### US FIN ASSUR: Financial Assurance Information

All owners and operators of facilities that treat, store, or dispose of hazardous waste are required to provide proof that they will have sufficient funds to pay for the clean up, closure, and post-closure care of their facilities.

Date of Government Version: 06/15/2020	Source: Environmental Protection Agency
Date Data Arrived at EDR: 06/22/2020	Telephone: 202-566-1917
Date Made Active in Reports: 09/10/2020	Last EDR Contact: 09/22/2020
Number of Days to Update: 80	Next Scheduled EDR Contact: 01/04/2021
	Data Release Frequency: Quarterly

### EPA WATCH LIST: EPA WATCH LIST

EPA maintains a "Watch List" to facilitate dialogue between EPA, state and local environmental agencies on enforcement matters relating to facilities with alleged violations identified as either significant or high priority. Being on the Watch List does not mean that the facility has actually violated the law only that an investigation by EPA or a state or local environmental agency has led those organizations to allege that an unproven violation has in fact occurred. Being on the Watch List does not represent a higher level of concern regarding the alleged violations that were detected, but instead indicates cases requiring additional dialogue between EPA, state and local agencies - primarily because of the length of time the alleged violation has gone unaddressed or unresolved.

Date of Government Version: 08/30/2013	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/21/2014	Telephone: 617-520-3000
Date Made Active in Reports: 06/17/2014	Last EDR Contact: 11/02/2020
Number of Days to Update: 88	Next Scheduled EDR Contact: 02/15/2021
	Data Release Frequency: Quarterly

### 2020 COR ACTION: 2020 Corrective Action Program List

The EPA has set ambitious goals for the RCRA Corrective Action program by creating the 2020 Corrective Action Universe. This RCRA cleanup baseline includes facilities expected to need corrective action. The 2020 universe contains a wide variety of sites. Some properties are heavily contaminated while others were contaminated but have since been cleaned up. Still others have not been fully investigated yet, and may require little or no remediation. Inclusion in the 2020 Universe does not necessarily imply failure on the part of a facility to meet its RCRA obligations.

Date of Government Version: 09/30/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/08/2018	Telephone: 703-308-4044
Date Made Active in Reports: 07/20/2018	Last EDR Contact: 11/06/2020
Number of Days to Update: 73	Next Scheduled EDR Contact: 02/15/2021
	Data Release Frequency: Varies

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### TSCA: Toxic Substances Control Act

Toxic Substances Control Act. TSCA identifies manufacturers and importers of chemical substances included on the TSCA Chemical Substance Inventory list. It includes data on the production volume of these substances by plant site.

Date of Government Version: 12/31/2016	Source: EPA
Date Data Arrived at EDR: 06/17/2020	Telephone: 202-260-5521
Date Made Active in Reports: 09/10/2020	Last EDR Contact: 09/18/2020
Number of Days to Update: 85	Next Scheduled EDR Contact: 12/28/2020
	Data Release Frequency: Every 4 Years

### TRIS: Toxic Chemical Release Inventory System

Toxic Release Inventory System. TRIS identifies facilities which release toxic chemicals to the air, water and land in reportable quantities under SARA Title III Section 313.

Date of Government Version: 12/31/2018	Source: EPA
Date Data Arrived at EDR: 08/14/2020	Telephone: 202-566-0250
Date Made Active in Reports: 11/04/2020	Last EDR Contact: 11/17/2020
Number of Days to Update: 82	Next Scheduled EDR Contact: 03/01/2021
	Data Release Frequency: Annually

### SSTS: Section 7 Tracking Systems

Section 7 of the Federal Insecticide, Fungicide and Rodenticide Act, as amended (92 Stat. 829) requires all registered pesticide-producing establishments to submit a report to the Environmental Protection Agency by March 1st each year. Each establishment must report the types and amounts of pesticides, active ingredients and devices being produced, and those having been produced and sold or distributed in the past year.

Date of Government Version: 07/20/2020	Source: EPA
Date Data Arrived at EDR: 07/21/2020	Telephone: 202-564-4203
Date Made Active in Reports: 10/08/2020	Last EDR Contact: 10/19/2020
Number of Days to Update: 79	Next Scheduled EDR Contact: 02/01/2021
	Data Release Frequency: Annually

### ROD: Records Of Decision

Record of Decision. ROD documents mandate a permanent remedy at an NPL (Superfund) site containing technical and health information to aid in the cleanup.

Date of Government Version: 07/29/2020	Source: EPA
Date Data Arrived at EDR: 08/03/2020	Telephone: 703-416-0223
Date Made Active in Reports: 08/25/2020	Last EDR Contact: 11/05/2020
Number of Days to Update: 22	Next Scheduled EDR Contact: 12/14/2020
	Data Release Frequency: Annually

### RMP: Risk Management Plans

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

When Congress passed the Clean Air Act Amendments of 1990, it required EPA to publish regulations and guidance for chemical accident prevention at facilities using extremely hazardous substances. The Risk Management Program Rule (RMP Rule) was written to implement Section 112(r) of these amendments. The rule, which built upon existing industry codes and standards, requires companies of all sizes that use certain flammable and toxic substances to develop a Risk Management Program, which includes a(n): Hazard assessment that details the potential effects of an accidental release, an accident history of the last five years, and an evaluation of worst-case and alternative accidental releases; Prevention program that includes safety precautions and maintenance, monitoring, and employee training measures; and Emergency response program that spells out emergency health care, employee training measures and procedures for informing the public and response agencies (e.g the fire department) should an accident occur.

Date of Government Version: 07/24/2020	Source: Environmental Protection Agency
Date Data Arrived at EDR: 08/03/2020	Telephone: 202-564-8600
Date Made Active in Reports: 10/21/2020	Last EDR Contact: 10/14/2020
Number of Days to Update: 79	Next Scheduled EDR Contact: 02/01/2021
	Data Release Frequency: Varies

### RAATS: RCRA Administrative Action Tracking System

RCRA Administration Action Tracking System. RAATS contains records based on enforcement actions issued under RCRA pertaining to major violators and includes administrative and civil actions brought by the EPA. For administration actions after September 30, 1995, data entry in the RAATS database was discontinued. EPA will retain a copy of the database for historical records. It was necessary to terminate RAATS because a decrease in agency resources made it impossible to continue to update the information contained in the database.

Date of Government Version: 04/17/1995	Source: EPA
Date Data Arrived at EDR: 07/03/1995	Telephone: 202-564-4104
Date Made Active in Reports: 08/07/1995	Last EDR Contact: 06/02/2008
Number of Days to Update: 35	Next Scheduled EDR Contact: 09/01/2008
	Data Release Frequency: No Update Planned

### PRP: Potentially Responsible Parties

A listing of verified Potentially Responsible Parties

Date of Government Version: 04/27/2020	Source: EPA
Date Data Arrived at EDR: 05/06/2020	Telephone: 202-564-6023
Date Made Active in Reports: 06/09/2020	Last EDR Contact: 11/05/2020
Number of Days to Update: 34	Next Scheduled EDR Contact: 02/15/2021
	Data Release Frequency: Quarterly

### PADS: PCB Activity Database System

PCB Activity Database. PADS Identifies generators, transporters, commercial storers and/or brokers and disposers of PCB's who are required to notify the EPA of such activities.

Date of Government Version: 10/09/2019	Source: EPA
Date Data Arrived at EDR: 10/11/2019	Telephone: 202-566-0500
Date Made Active in Reports: 12/20/2019	Last EDR Contact: 10/02/2020
Number of Days to Update: 70	Next Scheduled EDR Contact: 01/18/2021
	Data Release Frequency: Annually

### ICIS: Integrated Compliance Information System

The Integrated Compliance Information System (ICIS) supports the information needs of the national enforcement and compliance program as well as the unique needs of the National Pollutant Discharge Elimination System (NPDES) program.

Date of Government Version: 11/18/2016	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/23/2016	Telephone: 202-564-2501
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 10/01/2020
Number of Days to Update: 79	Next Scheduled EDR Contact: 01/18/2021
	Data Release Frequency: Quarterly

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### FTTS: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

FTTS tracks administrative cases and pesticide enforcement actions and compliance activities related to FIFRA, TSCA and EPCRA (Emergency Planning and Community Right-to-Know Act). To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 04/09/2009  
Date Data Arrived at EDR: 04/16/2009  
Date Made Active in Reports: 05/11/2009  
Number of Days to Update: 25

Source: EPA/Office of Prevention, Pesticides and Toxic Substances  
Telephone: 202-566-1667  
Last EDR Contact: 08/18/2017  
Next Scheduled EDR Contact: 12/04/2017  
Data Release Frequency: No Update Planned

### FTTS INSP: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

A listing of FIFRA/TSCA Tracking System (FTTS) inspections and enforcements.

Date of Government Version: 04/09/2009  
Date Data Arrived at EDR: 04/16/2009  
Date Made Active in Reports: 05/11/2009  
Number of Days to Update: 25

Source: EPA  
Telephone: 202-566-1667  
Last EDR Contact: 08/18/2017  
Next Scheduled EDR Contact: 12/04/2017  
Data Release Frequency: No Update Planned

### MLTS: Material Licensing Tracking System

MLTS is maintained by the Nuclear Regulatory Commission and contains a list of approximately 8,100 sites which possess or use radioactive materials and which are subject to NRC licensing requirements. To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 08/05/2020  
Date Data Arrived at EDR: 08/10/2020  
Date Made Active in Reports: 10/08/2020  
Number of Days to Update: 59

Source: Nuclear Regulatory Commission  
Telephone: 301-415-7169  
Last EDR Contact: 10/13/2020  
Next Scheduled EDR Contact: 01/31/2021  
Data Release Frequency: Quarterly

### COAL ASH DOE: Steam-Electric Plant Operation Data

A listing of power plants that store ash in surface ponds.

Date of Government Version: 12/31/2018  
Date Data Arrived at EDR: 12/04/2019  
Date Made Active in Reports: 01/15/2020  
Number of Days to Update: 42

Source: Department of Energy  
Telephone: 202-586-8719  
Last EDR Contact: 09/04/2020  
Next Scheduled EDR Contact: 12/14/2020  
Data Release Frequency: Varies

### COAL ASH EPA: Coal Combustion Residues Surface Impoundments List

A listing of coal combustion residues surface impoundments with high hazard potential ratings.

Date of Government Version: 01/12/2017  
Date Data Arrived at EDR: 03/05/2019  
Date Made Active in Reports: 11/11/2019  
Number of Days to Update: 251

Source: Environmental Protection Agency  
Telephone: N/A  
Last EDR Contact: 08/31/2020  
Next Scheduled EDR Contact: 12/14/2020  
Data Release Frequency: Varies

### PCB TRANSFORMER: PCB Transformer Registration Database

The database of PCB transformer registrations that includes all PCB registration submittals.

Date of Government Version: 09/13/2019  
Date Data Arrived at EDR: 11/06/2019  
Date Made Active in Reports: 02/10/2020  
Number of Days to Update: 96

Source: Environmental Protection Agency  
Telephone: 202-566-0517  
Last EDR Contact: 11/06/2021  
Next Scheduled EDR Contact: 02/15/2021  
Data Release Frequency: Varies

### RADINFO: Radiation Information Database

The Radiation Information Database (RADINFO) contains information about facilities that are regulated by U.S. Environmental Protection Agency (EPA) regulations for radiation and radioactivity.

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 07/01/2019  
Date Data Arrived at EDR: 07/01/2019  
Date Made Active in Reports: 09/23/2019  
Number of Days to Update: 84

Source: Environmental Protection Agency  
Telephone: 202-343-9775  
Last EDR Contact: 09/24/2020  
Next Scheduled EDR Contact: 01/11/2021  
Data Release Frequency: Quarterly

### HIST FTTS: FIFRA/TSCA Tracking System Administrative Case Listing

A complete administrative case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006  
Date Data Arrived at EDR: 03/01/2007  
Date Made Active in Reports: 04/10/2007  
Number of Days to Update: 40

Source: Environmental Protection Agency  
Telephone: 202-564-2501  
Last EDR Contact: 12/17/2007  
Next Scheduled EDR Contact: 03/17/2008  
Data Release Frequency: No Update Planned

### HIST FTTS INSP: FIFRA/TSCA Tracking System Inspection & Enforcement Case Listing

A complete inspection and enforcement case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006  
Date Data Arrived at EDR: 03/01/2007  
Date Made Active in Reports: 04/10/2007  
Number of Days to Update: 40

Source: Environmental Protection Agency  
Telephone: 202-564-2501  
Last EDR Contact: 12/17/2008  
Next Scheduled EDR Contact: 03/17/2008  
Data Release Frequency: No Update Planned

### DOT OPS: Incident and Accident Data

Department of Transportation, Office of Pipeline Safety Incident and Accident data.

Date of Government Version: 01/02/2020  
Date Data Arrived at EDR: 01/28/2020  
Date Made Active in Reports: 04/17/2020  
Number of Days to Update: 80

Source: Department of Transportation, Office of Pipeline Safety  
Telephone: 202-366-4595  
Last EDR Contact: 10/27/2020  
Next Scheduled EDR Contact: 02/08/2021  
Data Release Frequency: Quarterly

### CONSENT: Superfund (CERCLA) Consent Decrees

Major legal settlements that establish responsibility and standards for cleanup at NPL (Superfund) sites. Released periodically by United States District Courts after settlement by parties to litigation matters.

Date of Government Version: 06/30/2020  
Date Data Arrived at EDR: 07/15/2020  
Date Made Active in Reports: 07/21/2020  
Number of Days to Update: 6

Source: Department of Justice, Consent Decree Library  
Telephone: Varies  
Last EDR Contact: 10/01/2020  
Next Scheduled EDR Contact: 01/18/2021  
Data Release Frequency: Varies

### BRS: Biennial Reporting System

The Biennial Reporting System is a national system administered by the EPA that collects data on the generation and management of hazardous waste. BRS captures detailed data from two groups: Large Quantity Generators (LQG) and Treatment, Storage, and Disposal Facilities.

Date of Government Version: 12/31/2015  
Date Data Arrived at EDR: 02/22/2017  
Date Made Active in Reports: 09/28/2017  
Number of Days to Update: 218

Source: EPA/NTIS  
Telephone: 800-424-9346  
Last EDR Contact: 09/22/2020  
Next Scheduled EDR Contact: 01/04/2021  
Data Release Frequency: Biennially



## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### INDIAN RESERV: Indian Reservations

This map layer portrays Indian administered lands of the United States that have any area equal to or greater than 640 acres.

Date of Government Version: 12/31/2014  
Date Data Arrived at EDR: 07/14/2015  
Date Made Active in Reports: 01/10/2017  
Number of Days to Update: 546

Source: USGS  
Telephone: 202-208-3710  
Last EDR Contact: 10/06/2020  
Next Scheduled EDR Contact: 01/18/2021  
Data Release Frequency: Semi-Annually

### FUSRAP: Formerly Utilized Sites Remedial Action Program

DOE established the Formerly Utilized Sites Remedial Action Program (FUSRAP) in 1974 to remediate sites where radioactive contamination remained from Manhattan Project and early U.S. Atomic Energy Commission (AEC) operations.

Date of Government Version: 08/08/2017  
Date Data Arrived at EDR: 09/11/2018  
Date Made Active in Reports: 09/14/2018  
Number of Days to Update: 3

Source: Department of Energy  
Telephone: 202-586-3559  
Last EDR Contact: 11/06/2020  
Next Scheduled EDR Contact: 02/15/2021  
Data Release Frequency: Varies

### UMTRA: Uranium Mill Tailings Sites

Uranium ore was mined by private companies for federal government use in national defense programs. When the mills shut down, large piles of the sand-like material (mill tailings) remain after uranium has been extracted from the ore. Levels of human exposure to radioactive materials from the piles are low; however, in some cases tailings were used as construction materials before the potential health hazards of the tailings were recognized.

Date of Government Version: 08/30/2019  
Date Data Arrived at EDR: 11/15/2019  
Date Made Active in Reports: 01/28/2020  
Number of Days to Update: 74

Source: Department of Energy  
Telephone: 505-845-0011  
Last EDR Contact: 08/21/2020  
Next Scheduled EDR Contact: 11/30/2020  
Data Release Frequency: Varies

### LEAD SMELTER 1: Lead Smelter Sites

A listing of former lead smelter site locations.

Date of Government Version: 07/29/2020  
Date Data Arrived at EDR: 08/03/2020  
Date Made Active in Reports: 08/25/2020  
Number of Days to Update: 22

Source: Environmental Protection Agency  
Telephone: 703-603-8787  
Last EDR Contact: 11/05/2020  
Next Scheduled EDR Contact: 01/11/2021  
Data Release Frequency: Varies

### LEAD SMELTER 2: Lead Smelter Sites

A list of several hundred sites in the U.S. where secondary lead smelting was done from 1931 and 1964. These sites may pose a threat to public health through ingestion or inhalation of contaminated soil or dust

Date of Government Version: 04/05/2001  
Date Data Arrived at EDR: 10/27/2010  
Date Made Active in Reports: 12/02/2010  
Number of Days to Update: 36

Source: American Journal of Public Health  
Telephone: 703-305-6451  
Last EDR Contact: 12/02/2009  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: No Update Planned

### US AIRS (AFS): Aerometric Information Retrieval System Facility Subsystem (AFS)

The database is a sub-system of Aerometric Information Retrieval System (AIRS). AFS contains compliance data on air pollution point sources regulated by the U.S. EPA and/or state and local air regulatory agencies. This information comes from source reports by various stationary sources of air pollution, such as electric power plants, steel mills, factories, and universities, and provides information about the air pollutants they produce. Action, air program, air program pollutant, and general level plant data. It is used to track emissions and compliance data from industrial plants.

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 10/12/2016  
Date Data Arrived at EDR: 10/26/2016  
Date Made Active in Reports: 02/03/2017  
Number of Days to Update: 100

Source: EPA  
Telephone: 202-564-2496  
Last EDR Contact: 09/26/2017  
Next Scheduled EDR Contact: 01/08/2018  
Data Release Frequency: Annually

### US AIRS MINOR: Air Facility System Data

A listing of minor source facilities.

Date of Government Version: 10/12/2016  
Date Data Arrived at EDR: 10/26/2016  
Date Made Active in Reports: 02/03/2017  
Number of Days to Update: 100

Source: EPA  
Telephone: 202-564-2496  
Last EDR Contact: 09/26/2017  
Next Scheduled EDR Contact: 01/08/2018  
Data Release Frequency: Annually

### MINES VIOLATIONS: MSHA Violation Assessment Data

Mines violation and assessment information. Department of Labor, Mine Safety & Health Administration.

Date of Government Version: 05/28/2020  
Date Data Arrived at EDR: 05/28/2020  
Date Made Active in Reports: 08/13/2020  
Number of Days to Update: 77

Source: DOL, Mine Safety & Health Admini  
Telephone: 202-693-9424  
Last EDR Contact: 09/10/2020  
Next Scheduled EDR Contact: 12/14/2020  
Data Release Frequency: Quarterly

### US MINES: Mines Master Index File

Contains all mine identification numbers issued for mines active or opened since 1971. The data also includes violation information.

Date of Government Version: 08/04/2020  
Date Data Arrived at EDR: 08/25/2020  
Date Made Active in Reports: 11/18/2020  
Number of Days to Update: 85

Source: Department of Labor, Mine Safety and Health Administration  
Telephone: 303-231-5959  
Last EDR Contact: 08/25/2020  
Next Scheduled EDR Contact: 12/07/2020  
Data Release Frequency: Semi-Annually

### US MINES 2: Ferrous and Nonferrous Metal Mines Database Listing

This map layer includes ferrous (ferrous metal mines are facilities that extract ferrous metals, such as iron ore or molybdenum) and nonferrous (Nonferrous metal mines are facilities that extract nonferrous metals, such as gold, silver, copper, zinc, and lead) metal mines in the United States.

Date of Government Version: 05/06/2020  
Date Data Arrived at EDR: 05/27/2020  
Date Made Active in Reports: 08/13/2020  
Number of Days to Update: 78

Source: USGS  
Telephone: 703-648-7709  
Last EDR Contact: 08/28/2020  
Next Scheduled EDR Contact: 12/07/2020  
Data Release Frequency: Varies

### US MINES 3: Active Mines & Mineral Plants Database Listing

Active Mines and Mineral Processing Plant operations for commodities monitored by the Minerals Information Team of the USGS.

Date of Government Version: 04/14/2011  
Date Data Arrived at EDR: 06/08/2011  
Date Made Active in Reports: 09/13/2011  
Number of Days to Update: 97

Source: USGS  
Telephone: 703-648-7709  
Last EDR Contact: 08/28/2020  
Next Scheduled EDR Contact: 12/07/2020  
Data Release Frequency: Varies

### ABANDONED MINES: Abandoned Mines

An inventory of land and water impacted by past mining (primarily coal mining) is maintained by OSMRE to provide information needed to implement the Surface Mining Control and Reclamation Act of 1977 (SMCRA). The inventory contains information on the location, type, and extent of AML impacts, as well as, information on the cost associated with the reclamation of those problems. The inventory is based upon field surveys by State, Tribal, and OSMRE program officials. It is dynamic to the extent that it is modified as new problems are identified and existing problems are reclaimed.

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 06/22/2020  
Date Data Arrived at EDR: 06/22/2020  
Date Made Active in Reports: 09/10/2020  
Number of Days to Update: 80

Source: Department of Interior  
Telephone: 202-208-2609  
Last EDR Contact: 09/16/2020  
Next Scheduled EDR Contact: 12/21/2020  
Data Release Frequency: Quarterly

### FINDS: Facility Index System/Facility Registry System

Facility Index System. FINDS contains both facility information and 'pointers' to other sources that contain more detail. EDR includes the following FINDS databases in this report: PCS (Permit Compliance System), AIRS (Aerometric Information Retrieval System), DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes), FURS (Federal Underground Injection Control), C-DOCKET (Criminal Docket System used to track criminal enforcement actions for all environmental statutes), FFIS (Federal Facilities Information System), STATE (State Environmental Laws and Statutes), and PADS (PCB Activity Data System).

Date of Government Version: 02/03/2020  
Date Data Arrived at EDR: 03/03/2020  
Date Made Active in Reports: 05/28/2020  
Number of Days to Update: 86

Source: EPA  
Telephone: (312) 353-2000  
Last EDR Contact: 09/15/2020  
Next Scheduled EDR Contact: 12/14/2020  
Data Release Frequency: Quarterly

### DOCKET HWC: Hazardous Waste Compliance Docket Listing

A complete list of the Federal Agency Hazardous Waste Compliance Docket Facilities.

Date of Government Version: 05/31/2018  
Date Data Arrived at EDR: 07/26/2018  
Date Made Active in Reports: 10/05/2018  
Number of Days to Update: 71

Source: Environmental Protection Agency  
Telephone: 202-564-0527  
Last EDR Contact: 11/17/2020  
Next Scheduled EDR Contact: 03/08/2021  
Data Release Frequency: Varies

### UXO: Unexploded Ordnance Sites

A listing of unexploded ordnance site locations

Date of Government Version: 12/31/2018  
Date Data Arrived at EDR: 07/02/2020  
Date Made Active in Reports: 09/17/2020  
Number of Days to Update: 77

Source: Department of Defense  
Telephone: 703-704-1564  
Last EDR Contact: 10/08/2020  
Next Scheduled EDR Contact: 01/25/2021  
Data Release Frequency: Varies

### ECHO: Enforcement & Compliance History Information

ECHO provides integrated compliance and enforcement information for about 800,000 regulated facilities nationwide.

Date of Government Version: 06/27/2020  
Date Data Arrived at EDR: 07/02/2020  
Date Made Active in Reports: 09/28/2020  
Number of Days to Update: 88

Source: Environmental Protection Agency  
Telephone: 202-564-2280  
Last EDR Contact: 10/06/2020  
Next Scheduled EDR Contact: 01/18/2021  
Data Release Frequency: Quarterly

### FUELS PROGRAM: EPA Fuels Program Registered Listing

This listing includes facilities that are registered under the Part 80 (Code of Federal Regulations) EPA Fuels Programs. All companies now are required to submit new and updated registrations.

Date of Government Version: 08/17/2020  
Date Data Arrived at EDR: 08/17/2020  
Date Made Active in Reports: 10/21/2020  
Number of Days to Update: 65

Source: EPA  
Telephone: 800-385-6164  
Last EDR Contact: 11/13/2020  
Next Scheduled EDR Contact: 03/01/2021  
Data Release Frequency: Quarterly

### AIRS: Permit and Emissions Inventory Data

Permit and emissions inventory data.

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 06/15/2020  
Date Data Arrived at EDR: 06/17/2020  
Date Made Active in Reports: 09/01/2020  
Number of Days to Update: 76

Source: Department of Environment, Great Lakes, and Energy  
Telephone: 517-373-7074  
Last EDR Contact: 09/10/2020  
Next Scheduled EDR Contact: 12/28/2020  
Data Release Frequency: Annually

### ASBESTOS: Asbestos Notification Listing Asbestos

Date of Government Version: 09/30/2020  
Date Data Arrived at EDR: 10/06/2020  
Date Made Active in Reports: 10/28/2020  
Number of Days to Update: 22

Source: Department of Licensing & Regulatory Affairs  
Telephone: 517-284-7699  
Last EDR Contact: 10/01/2020  
Next Scheduled EDR Contact: 02/08/2021  
Data Release Frequency: Quarterly

### BEA: Baseline Environmental Assessment Database

A BEA is a document that new or prospective property owners/operations disclose to the DEQ identifying the property as a facility pursuant to Part 201 and Part 213. The Inventory of BEA Facilities overlaps in part with the Part 201 Projects facilities and Part 213 facilities. There may be more than one BEA for each facility.

Date of Government Version: 08/21/2013  
Date Data Arrived at EDR: 08/23/2013  
Date Made Active in Reports: 09/12/2013  
Number of Days to Update: 20

Source: Department of Environment, Great Lakes, and Energy  
Telephone: 517-373-9541  
Last EDR Contact: 11/04/2020  
Next Scheduled EDR Contact: 02/22/2021  
Data Release Frequency: No Update Planned

### COAL ASH: Coal Ash Disposal Sites

Coal fired power plants in Southeast Michigan that have coal ash handling on site.

Date of Government Version: 03/23/2020  
Date Data Arrived at EDR: 04/01/2020  
Date Made Active in Reports: 06/17/2020  
Number of Days to Update: 77

Source: Department of Environment, Great Lakes, and Energy  
Telephone: 586-753-3754  
Last EDR Contact: 10/05/2020  
Next Scheduled EDR Contact: 01/11/2021  
Data Release Frequency: Varies

### DRYCLEANERS: Drycleaning Establishments

A listing of drycleaning facilities in Michigan.

Date of Government Version: 12/12/2019  
Date Data Arrived at EDR: 01/14/2020  
Date Made Active in Reports: 03/11/2020  
Number of Days to Update: 57

Source: Department of Environment, Great Lakes, and Energy  
Telephone: 517-335-4586  
Last EDR Contact: 10/16/2020  
Next Scheduled EDR Contact: 01/25/2021  
Data Release Frequency: Quarterly

### Financial Assurance 1: Financial Assurance Information Listing

Financial assurance information.

Date of Government Version: 07/01/2020  
Date Data Arrived at EDR: 07/08/2020  
Date Made Active in Reports: 09/24/2020  
Number of Days to Update: 78

Source: Department of Environment, Great Lakes, and Energy  
Telephone: 517-335-6610  
Last EDR Contact: 09/23/2020  
Next Scheduled EDR Contact: 01/11/2021  
Data Release Frequency: Semi-Annually

### FINANCIAL ASSURANCE 3: Financial Assurance Information Listing

Financial assurance information for underground storage tank facilities.

Date of Government Version: 03/03/2020  
Date Data Arrived at EDR: 03/06/2020  
Date Made Active in Reports: 05/26/2020  
Number of Days to Update: 81

Source: Department of Licensing & Regulatory Affairs  
Telephone: 517-335-7279  
Last EDR Contact: 09/23/2020  
Next Scheduled EDR Contact: 01/11/2021  
Data Release Frequency: Varies

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### Financial Assurance 2: Financial Assurance Information Listing

A listing of financial assurance information for solid waste facilities. Financial assurance is intended to ensure that resources are available to pay for the cost of closure, post-closure care, and corrective measures if the owner or operator of a regulated facility is unable or unwilling to pay.

Date of Government Version: 06/24/2020  
Date Data Arrived at EDR: 06/25/2020  
Date Made Active in Reports: 07/01/2020  
Number of Days to Update: 6

Source: Department of Environment, Great Lakes, and Energy  
Telephone: 517-335-4034  
Last EDR Contact: 09/16/2020  
Next Scheduled EDR Contact: 01/04/2021  
Data Release Frequency: Varies

### LEAD CERT: Lead Safe Housing Registry

A listing of Michigan properties included in the Lead Safe Housing Registry.

Date of Government Version: 03/25/2020  
Date Data Arrived at EDR: 03/25/2020  
Date Made Active in Reports: 06/15/2020  
Number of Days to Update: 82

Source: Department of Community Health  
Telephone: 517-335-9699  
Last EDR Contact: 08/26/2020  
Next Scheduled EDR Contact: 12/14/2020  
Data Release Frequency: Quarterly

### NPDES: List of Active NPDES Permits

General information regarding NPDES (National Pollutant Discharge Elimination System) permits and NPDES Storm Water permits.

Date of Government Version: 04/01/2020  
Date Data Arrived at EDR: 04/03/2020  
Date Made Active in Reports: 06/19/2020  
Number of Days to Update: 77

Source: Department of Environment, Great Lakes, and Energy  
Telephone: 517-241-1300  
Last EDR Contact: 10/02/2020  
Next Scheduled EDR Contact: 01/11/2021  
Data Release Frequency: Varies

### UIC: Underground Injection Wells Database

A listing of underground injection well locations. The UIC Program is responsible for regulating the construction, operation, permitting, and closure of injection wells that place fluids underground for storage or disposal.

Date of Government Version: 07/08/2019  
Date Data Arrived at EDR: 07/09/2019  
Date Made Active in Reports: 09/19/2019  
Number of Days to Update: 72

Source: Department of Environment, Great Lakes, and Energy  
Telephone: 517-241-1515  
Last EDR Contact: 10/09/2020  
Next Scheduled EDR Contact: 01/31/2021  
Data Release Frequency: Quarterly

### WDS: Waste Data System

The Waste Data System (WDS) tracks activities at facilities regulated by the Solid Waste, Scrap Tire, Hazardous Waste, and Liquid Industrial Waste programs.

Date of Government Version: 06/27/2020  
Date Data Arrived at EDR: 06/29/2020  
Date Made Active in Reports: 09/14/2020  
Number of Days to Update: 77

Source: Department of Environment, Great Lakes, and Energy  
Telephone: 517-284-6562  
Last EDR Contact: 11/11/2020  
Next Scheduled EDR Contact: 03/01/2021  
Data Release Frequency: Varies

### MINES MRDS: Mineral Resources Data System

Mineral Resources Data System

Date of Government Version: 04/06/2018  
Date Data Arrived at EDR: 10/21/2019  
Date Made Active in Reports: 10/24/2019  
Number of Days to Update: 3

Source: USGS  
Telephone: 703-648-6533  
Last EDR Contact: 08/28/2020  
Next Scheduled EDR Contact: 12/07/2020  
Data Release Frequency: Varies

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### PCS ENF: Enforcement data

No description is available for this data

Date of Government Version: 12/31/2014  
Date Data Arrived at EDR: 02/05/2015  
Date Made Active in Reports: 03/06/2015  
Number of Days to Update: 29

Source: EPA  
Telephone: 202-564-2497  
Last EDR Contact: 10/02/2020  
Next Scheduled EDR Contact: 01/18/2021  
Data Release Frequency: Varies

### PCS INACTIVE: Listing of Inactive PCS Permits

An inactive permit is a facility that has shut down or is no longer discharging.

Date of Government Version: 11/05/2014  
Date Data Arrived at EDR: 01/06/2015  
Date Made Active in Reports: 05/06/2015  
Number of Days to Update: 120

Source: EPA  
Telephone: 202-564-2496  
Last EDR Contact: 10/02/2020  
Next Scheduled EDR Contact: 01/18/2021  
Data Release Frequency: Semi-Annually

### PCS: Permit Compliance System

PCS is a computerized management information system that contains data on National Pollutant Discharge Elimination System (NPDES) permit holding facilities. PCS tracks the permit, compliance, and enforcement status of NPDES facilities.

Date of Government Version: 07/14/2011  
Date Data Arrived at EDR: 08/05/2011  
Date Made Active in Reports: 09/29/2011  
Number of Days to Update: 55

Source: EPA, Office of Water  
Telephone: 202-564-2496  
Last EDR Contact: 10/02/2020  
Next Scheduled EDR Contact: 01/18/2021  
Data Release Frequency: Semi-Annually

## EDR HIGH RISK HISTORICAL RECORDS

### ***EDR Exclusive Records***

#### EDR MGP: EDR Proprietary Manufactured Gas Plants

The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

Date of Government Version: N/A  
Date Data Arrived at EDR: N/A  
Date Made Active in Reports: N/A  
Number of Days to Update: N/A

Source: EDR, Inc.  
Telephone: N/A  
Last EDR Contact: N/A  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: No Update Planned

#### EDR Hist Auto: EDR Exclusive Historical Auto Stations

EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

Date of Government Version: N/A  
Date Data Arrived at EDR: N/A  
Date Made Active in Reports: N/A  
Number of Days to Update: N/A

Source: EDR, Inc.  
Telephone: N/A  
Last EDR Contact: N/A  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: Varies



## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### EDR Hist Cleaner: EDR Exclusive Historical Cleaners

EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, laundromat, cleaning/laundry, wash & dry etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

Date of Government Version: N/A  
Date Data Arrived at EDR: N/A  
Date Made Active in Reports: N/A  
Number of Days to Update: N/A

Source: EDR, Inc.  
Telephone: N/A  
Last EDR Contact: N/A  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: Varies

### EDR RECOVERED GOVERNMENT ARCHIVES

#### *Exclusive Recovered Govt. Archives*

#### RGA PART 201: Recovered Government Archive State Hazardous Waste Facilities List

The EDR Recovered Government Archive State Hazardous Waste database provides a list of SHWS incidents derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environmental Quality in Michigan.

Date of Government Version: N/A  
Date Data Arrived at EDR: 07/01/2013  
Date Made Active in Reports: 12/24/2013  
Number of Days to Update: 176

Source: Department of Environment, Great Lakes, and Energy  
Telephone: N/A  
Last EDR Contact: 06/01/2012  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: Varies

#### RGA LF: Recovered Government Archive Solid Waste Facilities List

The EDR Recovered Government Archive Landfill database provides a list of landfills derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environmental Quality in Michigan.

Date of Government Version: N/A  
Date Data Arrived at EDR: 07/01/2013  
Date Made Active in Reports: 01/13/2014  
Number of Days to Update: 196

Source: Department of Environment, Great Lakes, and Energy  
Telephone: N/A  
Last EDR Contact: 06/01/2012  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: Varies

#### RGA LUST: Recovered Government Archive Leaking Underground Storage Tank

The EDR Recovered Government Archive Leaking Underground Storage Tank database provides a list of LUST incidents derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environmental Quality in Michigan.

Date of Government Version: N/A  
Date Data Arrived at EDR: 07/01/2013  
Date Made Active in Reports: 12/24/2013  
Number of Days to Update: 176

Source: Department of Environment, Great Lakes, and Energy  
Telephone: N/A  
Last EDR Contact: 06/01/2012  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: Varies

### OTHER DATABASE(S)

Depending on the geographic area covered by this report, the data provided in these specialty databases may or may not be complete. For example, the existence of wetlands information data in a specific report does not mean that all wetlands in the area covered by the report are included. Moreover, the absence of any reported wetlands information does not necessarily mean that wetlands do not exist in the area covered by the report.

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### CT MANIFEST: Hazardous Waste Manifest Data

Facility and manifest data. Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a tsd facility.

Date of Government Version: 08/10/2020  
Date Data Arrived at EDR: 10/20/2020  
Date Made Active in Reports: 11/02/2020  
Number of Days to Update: 13

Source: Department of Energy & Environmental Protection  
Telephone: 860-424-3375  
Last EDR Contact: 11/09/2020  
Next Scheduled EDR Contact: 02/22/2021  
Data Release Frequency: No Update Planned

### NJ MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2018  
Date Data Arrived at EDR: 04/10/2019  
Date Made Active in Reports: 05/16/2019  
Number of Days to Update: 36

Source: Department of Environmental Protection  
Telephone: N/A  
Last EDR Contact: 10/09/2020  
Next Scheduled EDR Contact: 01/18/2021  
Data Release Frequency: Annually

### NY MANIFEST: Facility and Manifest Data

Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a TSD facility.

Date of Government Version: 01/01/2019  
Date Data Arrived at EDR: 04/29/2020  
Date Made Active in Reports: 07/10/2020  
Number of Days to Update: 72

Source: Department of Environmental Conservation  
Telephone: 518-402-8651  
Last EDR Contact: 10/30/2020  
Next Scheduled EDR Contact: 02/08/2021  
Data Release Frequency: Quarterly

### PA MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 06/30/2018  
Date Data Arrived at EDR: 07/19/2019  
Date Made Active in Reports: 09/10/2019  
Number of Days to Update: 53

Source: Department of Environmental Protection  
Telephone: 717-783-8990  
Last EDR Contact: 10/07/2020  
Next Scheduled EDR Contact: 01/25/2021  
Data Release Frequency: Annually

### RI MANIFEST: Manifest information

Hazardous waste manifest information

Date of Government Version: 12/31/2018  
Date Data Arrived at EDR: 10/02/2019  
Date Made Active in Reports: 12/10/2019  
Number of Days to Update: 69

Source: Department of Environmental Management  
Telephone: 401-222-2797  
Last EDR Contact: 11/11/2020  
Next Scheduled EDR Contact: 03/01/2021  
Data Release Frequency: Annually

### WI MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 05/31/2018  
Date Data Arrived at EDR: 06/19/2019  
Date Made Active in Reports: 09/03/2019  
Number of Days to Update: 76

Source: Department of Natural Resources  
Telephone: N/A  
Last EDR Contact: 09/02/2020  
Next Scheduled EDR Contact: 12/21/2020  
Data Release Frequency: Annually

### Oil/Gas Pipelines

Source: Endeavor Business Media

Petroleum Bundle (Crude Oil, Refined Products, Petrochemicals, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)) N = Natural Gas Bundle (Natural Gas, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)). This map includes information copyrighted by Endeavor Business Media. This information is provided on a best effort basis and Endeavor Business Media does not guarantee its accuracy nor warrant its fitness for any particular purpose. Such information has been reprinted with the permission of Endeavor Business Media.

### Electric Power Transmission Line Data

Source: Endeavor Business Media

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## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

**Sensitive Receptors:** There are individuals deemed sensitive receptors due to their fragile immune systems and special sensitivity to environmental discharges. These sensitive receptors typically include the elderly, the sick, and children. While the location of all sensitive receptors cannot be determined, EDR indicates those buildings and facilities - schools, daycares, hospitals, medical centers, and nursing homes - where individuals who are sensitive receptors are likely to be located.

### AHA Hospitals:

Source: American Hospital Association, Inc.

Telephone: 312-280-5991

The database includes a listing of hospitals based on the American Hospital Association's annual survey of hospitals.

### Medical Centers: Provider of Services Listing

Source: Centers for Medicare & Medicaid Services

Telephone: 410-786-3000

A listing of hospitals with Medicare provider number, produced by Centers of Medicare & Medicaid Services, a federal agency within the U.S. Department of Health and Human Services.

### Nursing Homes

Source: National Institutes of Health

Telephone: 301-594-6248

Information on Medicare and Medicaid certified nursing homes in the United States.

### Public Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on elementary and secondary public education in the United States. It is a comprehensive, annual, national statistical database of all public elementary and secondary schools and school districts, which contains data that are comparable across all states.

### Private Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on private school locations in the United States.

### Daycare Centers: Day Care Centers, Group & Family Homes

Source: Bureau of REgulatory Services

Telephone: 517-373-8300

**Flood Zone Data:** This data was obtained from the Federal Emergency Management Agency (FEMA). It depicts 100-year and 500-year flood zones as defined by FEMA. It includes the National Flood Hazard Layer (NFHL) which incorporates Flood Insurance Rate Map (FIRM) data and Q3 data from FEMA in areas not covered by NFHL.

Source: FEMA

Telephone: 877-336-2627

Date of Government Version: 2003, 2015

**NWI:** National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005 and 2010 from the U.S. Fish and Wildlife Service.

### State Wetlands Data: Wetlands Inventory

Source: Department of Natural Resources

Telephone: 517-241-2254

### Current USGS 7.5 Minute Topographic Map

Source: U.S. Geological Survey

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### STREET AND ADDRESS INFORMATION

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## Appendix E

## PM PROFESSIONAL RESUMES



# DEVON NAGENGAST

## STAFF CONSULTANT

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Devon Nagengast is a Staff Consultant at PM Environmental, Inc. She specializes in Environmental Due Diligence by managing Phase I Environmental Site Assessments throughout the Midwest.

### AREAS OF EXPERTISE

- Staff consultant for Phase I Environmental Site Assessments (ESAs)
- Assists with data collection and evaluation for Transaction Screen Assessments, Phase I ESAs and other due diligence reports
- History of biological surveying strengthens site assessment skills
- Experience in implementation and completion of various site assessment standards and professional protocol and commercial lending requirements (ASTM E-1527)



### EDUCATION

- Oakland University  
B.S. Environmental Science,  
concentration in Sustainability and  
Resource Management

# LAUREN BABUSKA

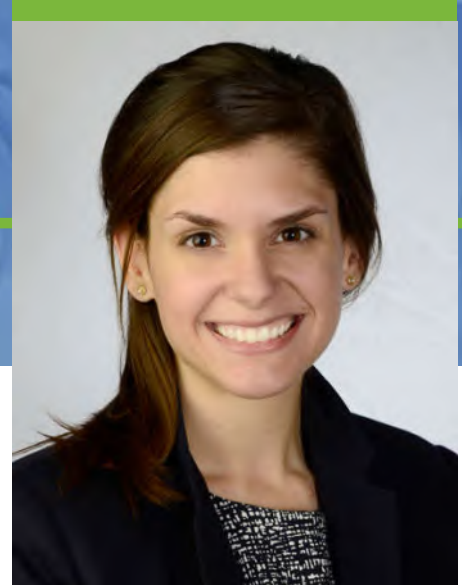
## PROJECT CONSULTANT

1.800.313.2966    [www.pmenv.com](http://www.pmenv.com)    [babuska@pmenv.com](mailto:babuska@pmenv.com)

Lauren Babuska is a Project Consultant at PM Environmental, Inc. and has served clients in multiple states since 2014. She specializes in Environmental Due Diligence including Phase I Environmental Site Assessments and customized environmental assessments to support all forms of real estate transactions.

### AREAS OF EXPERTISE

- Project consultant for Phase I Environmental Site Assessments (ESAs)
- Assist with site investigation for Phase I ESAs
- Assist with data collection and evaluation for Transaction Screen Assessments, Phase I ESAs and other due diligence reports
- Experience in implementation and completion of various site assessment standards and professional protocol and commercial lending requirements (ASTM E-1527)
- Peer Technical Review of Phase I ESAs and other due diligence reports using ASTM Standard 1527



### EDUCATION

- University of Michigan  
B.S. Geological Sciences

### CERTIFICATIONS

- Meets the definition of Environmental Professional as defined in 312.10 of 40 CFR 312

# BETH SEXTON

## CHIEF OPERATING OFFICER

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Beth Sexton is the Chief Operating Officer for PM Environmental, Inc. Sexton has over a decade of experience performing environmental due diligence on a variety of properties for financial institutions and borrowers, retail chains, industrial conglomerates, and real estate developers. She specializes in Environmental Due Diligence, portfolio management, mergers and acquisitions, and transactional real estate and development. Sexton is the national client manager for numerous Fortune 100 financial institutions, retail chains, industrial conglomerates, and real estate developers.

She has managed multiple large scale commercial, retail, and industrial redevelopments involving multiple service lines within the company. Sexton has presented on national panels within the environmental industry on topics such as Environmental Due Diligence and corporate management.

### AREAS OF EXPERTISE

- Corporate oversight of all departments within PM
- Strategic development and implementation of multiple service line teams to support major redevelopments and complex mergers and acquisitions, utilizing all of the PM service lines
- Strategic development, implementation, training, and launches of multiple service line teams to develop Environmental Risk Management programs for lending institutions and Fortune 1000 real estate intensive industries including retail, logistics, multifamily housing, petroleum, utilizing all of the PM service lines
- Data collection, site investigation, and preparation of Phase I Environmental Site Assessment (ESA) and related due diligence projects
- Senior technical review of due diligence related projects
- Quality assurance/quality control oversight for report documents
- Experience in implementation and completion of various site assessment standards and professional protocol and commercial lending requirements (ASTM E-1527, ASTM E-1528)
- Phase II ESAs and site investigation projects, Baseline Environmental Assessments (BEAs), continuing obligations, and due care projects
- Limited bulk asbestos containing materials samples
- Peer/senior technical review of thousands of Phase I and Phase II ESAs
- Peer/senior technical review for numerous BEAs and due care plans in accordance with P.A. 451



### EDUCATION

- Michigan State University  
B.A. International Relations  
Specialization: Environmental Economics
- University of Michigan Masters of Science Resource Policy and Behavior
- EGLE Cleanup Criteria Training
- ASTM Phase I and Phase II Processes Training
- Zweig White Principals Academy

### CERTIFICATIONS

- Meets the definition of Environmental Professional as defined in § 312.10 of 40 CFR 312

### PROFESSIONAL ACTIVITIES

- Environmental Bankers Association
- Former CREW Network Board Liaison for CREW Detroit Outreach

### AWARDS

- 2018 DBusiness 30 in Their Thirties

## Appendix F

## COMMON ACRONYMS AND TERMINOLOGY USED IN THE COURSE OF THIS PHASE I ESA

The following is a list of common acronyms:

All Appropriate Inquiry	AAI
Asbestos Containing Materials	ACM
Aboveground Storage Tank	AST
American Society for Testing Materials	ASTM
Approximate Minimum Search Distance	ASMD
Comprehensive Environmental Response, Compensation and Liability Act	CERCLA
Environmental Data Resources	EDR
Environmental Site Assessment	ESA
Federal Emergency Response Notification System	ERNS
Large Quantity Generator	LQG
Leaking Underground Storage Tank	LUST
National Priority List	NPL
No Further Remedial Action Planned	NFRAP
PM Environmental, Inc.	PME
Polychlorinated Biphenyls	PCBs
Resource Conservation and Recovery Act	RCRA
Small Quantity Generator	SQG
Treatment Storage and Disposal Facility	TSD
Underground Storage Tank	UST
United States Environmental Protection Agency	USEPA

### TERMINOLOGY

The following provides definitions and descriptions of certain terms that may be used in this report. Several terms are defined by ASTM Standard Practice E 1527. The Standard Practice should be referenced for further detail (such as the precise wording), related definitions, or additional explanation regarding the meaning of terms.

**Asbestos containing material (ACM):** Any material found to contain greater than 1% asbestos using an analytical method that is approved by the USEPA for asbestos analysis.

**De minimis conditions:** Conditions that generally do not present a material risk or harm to public health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies.

**Friable material:** Defined in the National Emission Standards for Hazardous Air Pollutants (NESHAP) as a material that can be pulverized or reduced to dust using hand pressure only.

**General risk of enforcement action:** The likelihood that an environmental condition would be subject to enforcement action if brought to the attention of appropriate

governmental agencies. If the circumstances suggest an enforcement action would be more likely than not, then the condition is considered a general risk of enforcement action.

**Historical recognized environmental condition (HREC):** Environmental condition which in the past would have been considered a recognized environmental condition, but which may or may not be considered a recognized environmental condition currently. The final decision rests with the environmental professional and will be influenced by the current impact of the historical recognized environmental condition on the subject property. If a past release of any hazardous substances or petroleum products has occurred in connection with the subject property, with such remediation accepted by the responsible regulatory agency (for example, as evidenced by the issuance of a no further action letter or equivalent), this condition shall be considered a historical recognized environmental condition.

**Non-friable material:** Defined by National Emission Standards for Hazardous Air Pollutants (NESHAP) as a material that cannot be pulverized or reduced to dust using hand pressure only. According to NESHAP, non-friable building materials include those in Category I (packings, gaskets, resilient floor coverings/adhesives, and asphalt roofing materials) and those in Category II (all other materials).

**Recognized environmental condition (REC):** The presence or likely presence of any hazardous substances or petroleum products on a property under conditions that indicate an existing release, a past release, or a material threat of a release of any hazardous substances or petroleum products into structures on the subject property or into the ground, ground water, or surface water of the subject property. The term includes hazardous substances or petroleum products even under conditions in compliance with laws. The term is not intended to include de minimis conditions that generally do not present a material risk of harm to public health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies.

**Subject property:** The area that is the focus of a Phase I Environmental Site Assessment. The boundaries are not necessarily consistent with recorded legal descriptions of real estate, and are defined by the User.

**Suspect ACM of concern:** Defined as “(I) all friable suspect ACMs (II) any non-friable suspect ACMs expected to be disturbed by renovation or demolition activities planned for the subject property.”



## **General Scope of Services for Phase I ESA**

The purpose of the Phase I ESA is to gather sufficient information to develop an independent professional opinion about the environmental condition of the subject property. The ESA will be conducted in an attempt to satisfy the ASTM Standard (E-1527-13) and the U.S. EPA Standards and Practices for All Appropriate Inquiry as defined in the Small Business Liability Relief and Brownfields Revitalization Act. The Phase I ESA will encompass the following scope of work:

### **Records Review**

- Federal and State database search for sites within the ASTM approximate minimum search distances.
- Review of one or more additional state environmental record sources (e.g., fire department, health department, published local or state site contamination lists, etc.). PM is typically exhaustive in inquiry with these resources.
- Utilization of as many of the ASTM standard historical sources as necessary and as reasonably ascertainable and likely to be useful to document all obvious uses of the subject property from the present, back to the subject property's first developed usage (agricultural or the placement of fill) or 1940, whichever is earlier (e.g., aerial photographs, fire insurance maps, topographic maps, street directories, building record and other sources including knowledgeable interviewees). PM is typically exhaustive in usage of these resources to document subject property historical usages. **Chain of title is not typically consulted by PM unless all other standard and historical sources cannot adequately document subject property usages or if required by a lender. A separate fee to the lump sum quoted will be assessed for obtainment of chain of title.**
- A records review in accordance with the requirements for a Vapor Intrusion Assessment per ASTM E-2600-08 is not included in this scope of work.

### **Site Reconnaissance**

- The objective of the site reconnaissance is to obtain information regarding the likelihood of recognized environmental conditions in connection with the subject property.
- The exterior of the subject property and any structures, as well as, pathways, roads, etc., will be visually and physically observed.
- The interior of the structures on the subject property will be visually and physically observed. This includes all common areas, maintenance and repair rooms, boiler rooms and representative number of occupant spaces. Observations under floors, above ceilings or behind walls are not required unless specified by requirements other than the ASTM standard.
- PM will evaluate non-ASTM scope issues with a visual inspection, and comment on asbestos containing building materials, lead based paint, and water intrusion associated with mold. Sampling is not included within this scope of work, but can be completed under a separate proposal.
- Current and past uses of the subject property and adjoining properties, and general uses of surrounding properties, to the extent visually and physically observed will be recorded. Emphasis is placed on subject property or adjoining property usages involving use, treatment, storage, disposal or generation of hazardous substances or petroleum products. These observations may include process details on raw material and waste management practices.
- General description of structures and improvements on the subject property (number and age of buildings, ancillary structures, utilities, storage tanks, hazardous substance and petroleum product usage, general chemical or raw material usage, heating and cooling, stains, solid waste, waste water, etc.).

### **Interviews with Owners and Occupants**

- Interviews with owners, occupants, key site manager and user (person on behalf Phase I ESA conducted), typically with regard to information about current and historical uses, general site setting information, site specific documents, litigation, administrative orders, notices of violations with regard to environmental issues, etc.

### **Interviews with Local Government Officials**

- A reasonable attempt will be made to interview at least one staff member of any of the following: the local fire department, the local agency or state agency having jurisdiction over environmental matters in the area in which the subject property is located, and/or the local health department. PM is typically exhaustive in its inquiry of these sources, unless professional experience has indicated the resource is not beneficial.

### **Evaluation and Report Preparation**

- The report of the Phase I ESA findings will generally follow the ASTM format unless otherwise requested by the client or as outlined in any applicable lender requirements. The report will include documentation of sources, methodology, limitations, and credentials. *Liability/risk evaluations, recommendations for Phase II ESA testing and remediation techniques are not provided within the scope of an ASTM performed assessment.* Phase I ESA reports are kept in the strictest client confidence and are issued directly to the client. Issuance or reliance on the Phase I ESA report for purposes of making loan decisions by a private lender may be included in the Phase I ESA report if specified by the client.

## **USER'S CONTINUING OBLIGATIONS UNDER CERCLA**

Conducting a Phase I ESA alone does not provide a landowner with protection against CERCLA liability. Landowners who want to maintain a bona fide Prospective Purchaser, an Innocent Landowner, or a Contiguous Property Owner Defense must also comply with other pre-acquisition and post-acquisition requirements in the CERCLA regulations and AAI standards. The responsibilities for each defense are summarized below.

### **Bona Fide Prospective Purchaser Responsibilities**

The Bona Fide Prospective Purchaser defense is intended for individuals or entities purchasing a property known to be contaminated. To obtain and maintain the defense, the individual or entity seeking the defense must also satisfy the following requirements (AAI, Section II D.1.):

- Have acquired a property after all disposal activities involving hazardous substances ceased at the property;
- Provide all legally required notices with respect to the discovery or release of any hazardous substances at the property;
- Exercise appropriate care by taking reasonable steps to stop continuing releases, prevent any threatened future releases, and prevent or limit human, environmental, or natural resources exposure to any previously released hazardous substance;
- Provide full cooperation, assistance, and access to persons authorized to conduct response actions or natural resource restorations;
- Comply with land use restrictions established or relied on in connection with a response action;
- Not impede the effectiveness or integrity of any institutional controls;
- Comply with any CERCLA request for information or administrative subpoena; and
- Not be potentially liable, or affiliated with any other person who is potentially liable for response costs for addressing releases at the property.

### **Innocent Landowner Responsibilities**

The Innocent Landowner Defense protects individuals or entities (ultimately the "property owner") purchasing a property that is not known to be contaminated. The property owner must also satisfy the following requirements to obtain and maintain the defense (AAI, Section II D.3 and CERCLA Section 107(b)(3)):

- Have no reason to know that any hazardous substance which is the subject of a release of threatened release was disposed of on, in, or at the facility;
- Provide full cooperation, assistance and access to persons authorized to conduct response actions at the property;
- Comply with any land use restrictions and not impeding the effectiveness or integrity of any institutional controls;

- Take reasonable steps to stop continuing releases, prevent any threatened release, and prevent or limit human, environmental, or natural resource exposure to any hazardous substances released on or from the landowner's property;
- Demonstrate that the act or omission that caused the release or threat of release of hazardous substances and the resulting damages were caused by the third party with whom the person does not have employment, agency, or contractual relationship;
- Exercise due care with respect to the hazardous substance concerned, taking into consideration the characteristics of such hazardous substance, in light of all relevant facts and circumstances;
- Take precautions against foreseeable acts or omissions of a third party and the consequences that could result from such acts or omissions.

### **Contiguous Property Owner Defense**

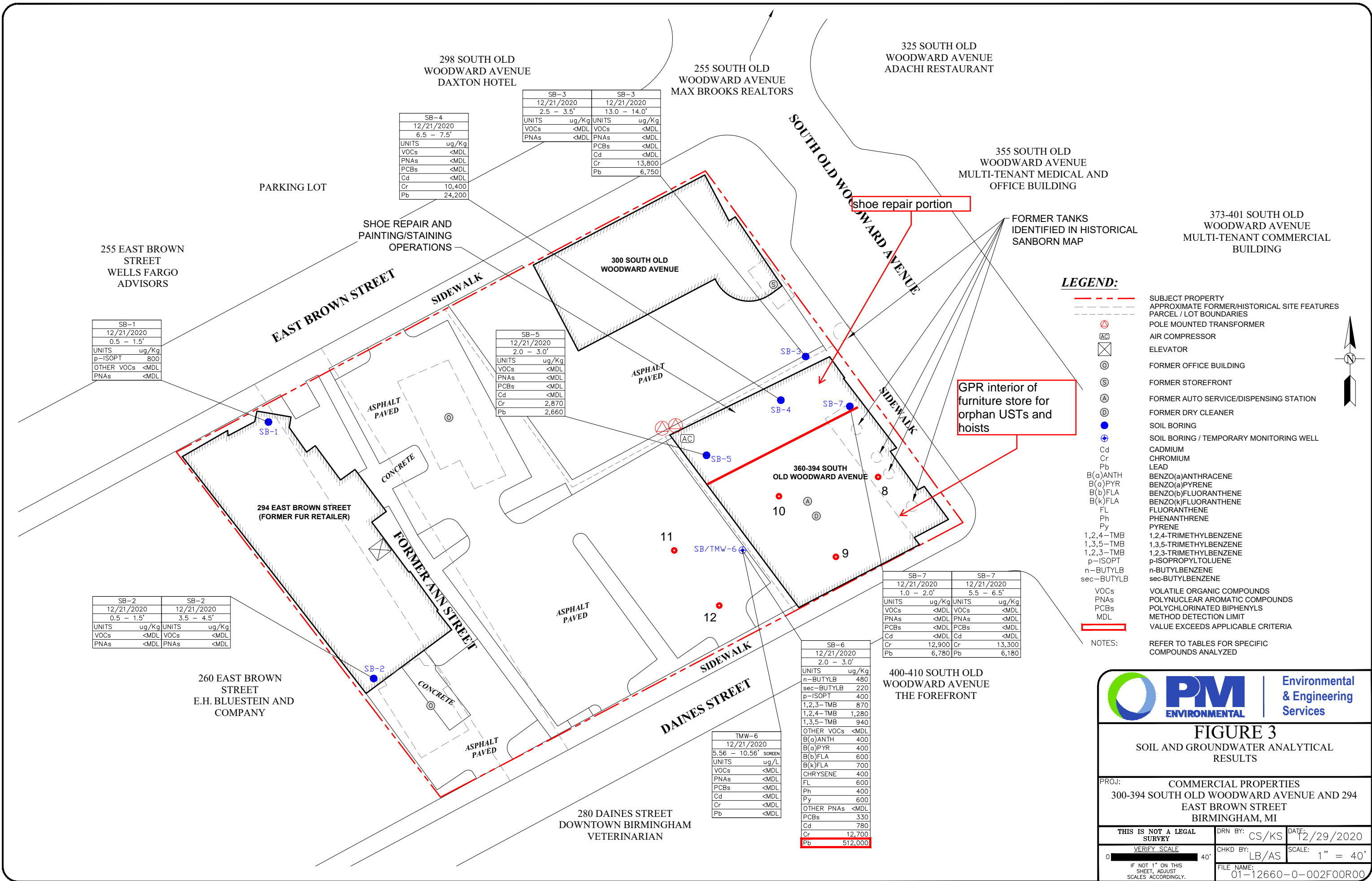
The Contiguous Property Owner Defense protects individuals or entities purchasing a property that is not known to be contaminated, but could be contaminated by migration from a contiguous property owned by someone else. To qualify as a contiguous property owner, a landowner must have no knowledge of contamination prior to acquisition, or reason to know of contamination at the time of acquisition, have conducted AAI, and meet all of the criteria set forth in AAI Section II.D.2 and CERCLA Section 107(q)(1)(A), which include:

- Not cause, contribute, or consent to the release or threatened release;
- Not be potentially liable nor affiliated with any other person potentially liable for response costs at the property;
- Take reasonable steps to stop continuing releases, prevent any threatened release, and prevent or limit human, environmental, or natural resource exposure to any hazardous substances released on or from the landowner's property;
- Provide full cooperation, assistance, and access to persons authorized to conduct response actions or natural resource restorations;
- Comply with land use restrictions established or relied on in connection with a response action;
- Not impede the effectiveness or integrity of any institutional controls;
- Comply with any CERCLA request for information or administrative subpoena;
- Provide all legally required notices with respect to discovery or release of any hazardous substances at the property.

Persons who know, or have reason to know, that the property is or could be contaminated at the time of acquisition of a property cannot qualify for the liability protection as a contiguous property owner, but may be entitled to Bona Fide Prospective Purchaser status.

## **Section 3.6**

# **Geotechnical Investigation**







**Project No.:** 01-12660-0-003

## Boring Log

**Project Name:** Former Cass St School Property **Boring No.:** SB-1

**Address:** 300-360 S Old Woodward Ave

**Drill Rig:** HA

**Facility ID#:**

**Drilling Method:** HA

**Date Drilled:** 12/21/2020

**Sampling Method:** Grab

**Logged By:** Denielle Wilcox

**Drilling Contractor:** PME

SUBSURFACE PROFILE			SAMPLE			No Well Installed
Depth (ft.)	Soil Type Graphic	Description and Comments	Sample Interval	% Recovery	PID (ppm)	
0		Ground Surface				
		<b>CONCRETE</b>				
		<b>CL- (Stiff) SANDY CLAY (moist)</b> Brown/Gray, low-plasticity, trace gravel	SB-1	100	0.0	
			0.5 - 1.5'	100	0.0	
2				100	0.0	
				100	0.0	
4				100	0.0	
				100	0.0	
6						

**Completion Notes:** EOB @ 6' bgs.

**Legend:**

EOB End of Boring  
Bgs. Below Ground Surface  
NR No Recovery  
NA Not Applicable  
Ft. Feet



**Project No.:** 01-12660-0-003

## Boring Log

**Project Name:** Former Cass St School Property **Boring No.:** SB-2

**Address:** 300-360 S Old Woodward Ave

**Drill Rig:** HA

**Facility ID#:**

**Drilling Method:** HA

**Date Drilled:** 12/21/2020

**Sampling Method:** Grab

**Logged By:** Denielle Wilcox

**Drilling Contractor:** PME

SUBSURFACE PROFILE			SAMPLE			No Well Installed
Depth (ft.)	Soil Type Graphic	Description and Comments	Sample Interval	% Recovery	PID (ppm)	
0		Ground Surface				
		<b>CONCRETE</b>				
		<b>SP- (Loose) SAND (moist)</b> Brown, fine to medium, poorly-graded, trace gravel	SB-2 0.5 - 1.5'	100	0.0	
		<b>CL- (Stiff) SANDY CLAY (moist)</b> Brown, low-plasticity, trace gravel		100	0.0	
2				100	0.0	
				100	0.0	
4			SB-2 3.5 - 4.5'	100	0.0	
				100	0.0	
				100	0.0	
6				100	0.0	
				100	0.0	
8				100	0.0	
				100	0.0	
10				100	0.0	

**Completion Notes:** EOB @ 10' bgs.

**Legend:**

EOB End of Boring  
Bgs. Below Ground Surface  
NR No Recovery  
NA Not Applicable  
Ft. Feet



**Project No.:** 01-12660-0-003

## Boring Log

**Project Name:** Former Cass St School Property **Boring No.:** SB-3

**Address:** 300-360 S Old Woodward Ave

**Drill Rig:** 6712 DT Geoprobe

**Facility ID#:**

**Drilling Method:** Direct Push

**Date Drilled:** 12/21/2020

**Sampling Method:** Grab

**Logged By:** Denielle Wilcox

**Drilling Contractor:** PME

SUBSURFACE PROFILE			SAMPLE			No Well Installed
Depth (ft.)	Soil Type Graphic	Description and Comments	Sample Interval	% Recovery	PID (ppm)	
0		Ground Surface				
		<b>CONCRETE</b>		80	0.0	
		<b>CL- (Medium Soft) SANDY CLAY (moist)</b>		80	0.0	
2		Dark Brown, low-plasticity, trace gravel		80	0.0	
			SB-3	80	0.0	
		<b>CL- (Stiff) SANDY CLAY (moist)</b>	2.5 - 3.5'	80	0.0	
4		Brown/Gray, low-plasticity, trace gravel		80	0.0	
				100	0.0	
6				100	0.0	
				100	0.0	
8				100	0.0	
				100	0.0	
10				90	0.0	
				90	0.0	
12				90	0.0	
			SB-3	90	0.0	
14		<b>CL- (Medium Stiff) SANDY CLAY (moist)</b>	13.0 - 14.0'	90	0.0	
		Gray, medium-plasticity, trace gravel		100	0.0	
16				100	0.0	
				100	0.0	
18				100	0.0	
				100	0.0	
20						

**Completion Notes:** EOB @ 20' bgs.

**Legend:**

EOB End of Boring  
 Bgs. Below Ground Surface  
 NR No Recovery  
 NA Not Applicable  
 Ft. Feet



**Project No.:** 01-12660-0-003

## Boring Log

**Project Name:** Former Cass St School Property **Boring No.:** SB-4

**Address:** 300-360 S Old Woodward Ave

**Drill Rig:** HA

**Facility ID#:**

**Drilling Method:** HA

**Date Drilled:** 12/21/2020

**Sampling Method:** Grab

**Logged By:** Denielle Wilcox

**Drilling Contractor:** PME

SUBSURFACE PROFILE			SAMPLE			No Well Installed
Depth (ft.)	Soil Type Graphic	Description and Comments	Sample Interval	% Recovery	PID (ppm)	
0		Ground Surface				
		<b>CONCRETE</b>				
		<b>SP- (Loose) SAND (moist)</b> Brown, fine to medium, poorly-graded, trace gravel	SB-4 0.5 - 1.5'	100	0.0	
2				100	0.0	
				100	0.0	
4				100	0.0	
				100	0.0	
6				100	0.0	
			SB-4	100	0.0	
		<b>CL- (Stiff) SANDY CLAY (moist)</b> Brown, low-plasticity, trace gravel	6.5 - 7.5'	100	0.0	
8				100	0.0	
10				100	0.0	

**Completion Notes:** EOB @ 10' bgs.

**Legend:**

EOB End of Boring  
Bgs. Below Ground Surface  
NR No Recovery  
NA Not Applicable  
Ft. Feet



**Project No.:** 01-12660-0-003

## Boring Log

**Project Name:** Former Cass St School Property **Boring No.:** SB-5

**Address:** 300-360 S Old Woodward Ave

**Drill Rig:** HA

**Facility ID#:**

**Drilling Method:** HA

**Date Drilled:** 12/21/2020

**Sampling Method:** Grab

**Logged By:** Denielle Wilcox

**Drilling Contractor:** PME

SUBSURFACE PROFILE			SAMPLE			No Well Installed
Depth (ft.)	Soil Type Graphic	Description and Comments	Sample Interval	% Recovery	PID (ppm)	
0		Ground Surface				
		<b>CONCRETE</b>				
		<b>SP- (Loose) SAND (moist)</b> Brown, fine to medium, poorly-graded, trace gravel		100	0.0	
				100	0.0	
2			SB-5 2.0 - 3.0'	100	0.0	
		<b>CONCRETE SLAB REFUSAL</b>				

**Completion Notes:** EOB @ 3' bgs.

**Legend:**

EOB End of Boring  
Bgs. Below Ground Surface  
NR No Recovery  
NA Not Applicable  
Ft. Feet



**Project No.:** 01-12660-0-003

## Well Log

**Project Name:** Former Cass St School Property **Well No.:** SB/TMW-6

**Address:** 300-360 S Old Woodward Ave

**Drill Rig:** 6712 DT Geoprobe

**Facility ID#:**

**Drilling Method:** Direct Push

**Date Drilled:** 12/21/2020

**Sampling Method:** Grab

**Logged By:** Danielle Wilcox

**Drilling Contractor:** PME

SUBSURFACE PROFILE			SAMPLE			Completion Details
Depth (ft.)	Soil Type Graphic	Description and Comments	Sample Interval	% Recovery	PID (ppm)	
0		Ground Surface				<p>1" PVC Casing</p> <p>1" 10-Slot PVC Screen</p> <p>Ground Surface</p> <p>Approximate Water Level (4.66')</p>
		<b>CONCRETE</b>		70	-	
		<b>CONCRETE, BRICK, GLASS DEBRIS</b>		70	194.6	
2		<b>CL- (Stiff) SANDY CLAY (moist)</b> Dark Brown, low-plasticity, trace gravel	SB-6 2.0 - 3.0'	70	452.3	
4		<b>CL- (Medium Stiff) SANDY CLAY (moist)</b> Brown/Gray, medium-plasticity, trace gravel, 1" sand seam @ 4.75' (damp)		70	113.5	
6				70	25.8	
		<b>CL- (Stiff) SILTY CLAY (damp)</b> Brown, low-plasticity		80	4.3	
8				80	3.5	
				80	2.7	
10				80	2.4	
				80	2.2	
12				80	2.0	
				80	1.7	
14		<b>CL- (Medium Stiff) CLAY (moist)</b> Gray, medium-plasticity, trace gravel		80	1.0	
16				80	0.9	
				80	0.0	
18				60	0.0	
				60	0.0	
20				60	0.0	
				60	0.0	

**Completion Notes:** EOB @ 20' bgs.

**Legend:**

EOB End of Boring  
Bgs. Below Ground Surface  
NR No Recovery  
NA Not Applicable  
Ft. Feet





**Project No.:** 01-12660-0-003

## Boring Log

**Project Name:** Former Cass St School Property **Boring No.:** SB-7

**Address:** 300-360 S Old Woodward Ave

**Drill Rig:** HA

**Facility ID#:**

**Drilling Method:** HA

**Date Drilled:** 12/21/2020

**Sampling Method:** Grab

**Logged By:** Denielle Wilcox

**Drilling Contractor:** PME

SUBSURFACE PROFILE			SAMPLE			No Well Installed
Depth (ft.)	Soil Type Graphic	Description and Comments	Sample Interval	% Recovery	PID (ppm)	
0		Ground Surface				
		<b>CONCRETE</b>				
		<b>CL- (Stiff) SANDY CLAY (moist)</b> Brown, low-plasticity, trace gravel		100	0.0	
			SB-7 1.0 - 2.0'	100	0.0	
2				100	0.0	
				100	0.0	
4				100	0.0	
				100	0.0	
6			SB-7 5.5 - 6.5'	100	0.0	
		<b>CL- (Stiff) CLAY (moist)</b> Gray, low-plasticity, trace gravel		100	0.0	
				100	0.0	
8				100	0.0	
				100	0.0	
10						

**Completion Notes:** EOB @ 10' bgs.

**Legend:**

EOB End of Boring  
Bgs. Below Ground Surface  
NR No Recovery  
NA Not Applicable  
Ft. Feet

## **Section 3.7**

### **Air Quality Information**



MICHIGAN DEPARTMENT OF  
ENVIRONMENT, GREAT LAKES, AND ENERGY

# AIR QUALITY ANNUAL REPORT

## 2019



Michigan Department of Environment, Great Lakes, and Energy  
*Michigan.gov/EGLE* | 800-662-9278

# Air Quality Annual Report

## 2019

### Executive summary

This report gives an overview of the air quality for 2019. Current data for Michigan can be found on MIAir ([www.deqmiair.org](http://www.deqmiair.org)) and Air Quality alerts can be delivered directly to email by signing up for the Michigan EnviroFlash program (<http://miair.enviroflash.info/>). In April 2019, by the Governor's executive order, the Michigan Department of Environmental Quality (MDEQ) became the Michigan Department of Environment, Great Lakes, and Energy (EGLE). While the data in this report was partly collected in 2019 under the agency name of MDEQ, this report will use EGLE.

The federal Clean Air Act (CAA) requires the United States Environmental Protection Agency (USEPA) to establish National Ambient Air Quality Standards (NAAQS) for six criteria pollutants considered harmful to public health and the environment.

The six pollutants monitored by EGLE, Air Quality Division (AQD) are:

1. Carbon monoxide (CO)
2. Lead (Pb)
3. Nitrogen dioxide (NO<sub>2</sub>)
4. Ozone (O<sub>3</sub>)
5. Particulate matter smaller than 10 and 2.5 microns in diameter (PM<sub>10</sub> and PM<sub>2.5</sub>, respectively)
6. Sulfur dioxide (SO<sub>2</sub>)

EGLE has established a network of more than 40 monitoring sites throughout the state that monitor for one or more of the criteria pollutants (Figure 1.1 and Table 1.3).

Congress passed the CAA in 1970; however, Michigan has had a long-standing history of environmental awareness well before the Act was established. In 1887, Detroit was the first city in Michigan to adopt an air quality ordinance, which declared that the dense smoke from burning coal was a public nuisance.

The USEPA reviews the criteria pollutant standards every five years. Over time, based upon health data, the standards have been tightened to better protect public health (see Appendix D). Areas that meet the NAAQS are considered in "attainment." Locations where air pollution levels persistently exceed the NAAQS may be designated as "nonattainment." The tightening standards are why some areas in the state may be designated to nonattainment from attainment even though monitoring shows that air quality continues to improve.

Since EGLE began monitoring in the early 1970s, criteria pollutant levels have continually decreased (see Chap. 2-7). The air is much cleaner today than when the CAA began. The entire state of Michigan is in attainment for CO, Pb, NO<sub>2</sub>, and particulate matter. Although portions of the state are in nonattainment for SO<sub>2</sub> and O<sub>3</sub>, as illustrated in the figure below, levels of these pollutants are still decreasing. The NAAQS levels have also decreased recently, which prompted these nonattainment areas. EGLE is currently working on State Implementation Plans (SIPs) to reduce pollutants further and bring the entire state into attainment for SO<sub>2</sub> and ozone.

Attainment Status for the National Ambient Air Quality Standards



Several changes to the monitoring network occurred during 2019.

- Five sites were shut down: Livonia, Linwood, and Wyandotte to reduce workload; the Eliza Howell Downwind site since it is not needed for the near-road network; and Sault St. Marie, a tribal site, due to discontinued federal funding.
- Lead monitoring at Belding-Reed Street was discontinued since Belding is now in attainment for lead and a second site is no longer needed there (Belding-Merrick Street still monitors for lead). However, meteorological monitors continue at this site (Chap. 3).
- PM<sub>2.5</sub> Speciation and EC/OC were shut down at Tecumseh to reduce workload and because the data are not required (Chap. 7).
- Several changes were made to the PM<sub>2.5</sub> network, exchanging Federal Reference Method (FRM) manual filter-based monitors for continuous, federal equivalent method (FEM) monitors, the beta attenuation monitors (BAMs) due to funding changes. Sites that were affected were Tecumseh, Ypsilanti, Eliza Howell Near-road, Bay City, Houghton Lake, Holland, Seney, and Flint (Chap. 7).
- The Livonia Near-road monitor is in the process of moving since site access was lost in July 2019.
- The NO<sub>x</sub> monitor at E. 7 Mile was switched to an NO<sub>y</sub> and a NO<sub>x</sub> monitor was added to Jenison.
- Sampling continues for the Gordie Howe International Bridge project special study.

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## INTRODUCTION

Air quality regulations in Michigan are based on National Ambient Air Quality Standards (NAAQS) established by United States Environmental Protection Agency (USEPA) based on the federal Clean Air Act (CAA). The NAAQS designates six criteria pollutants considered harmful to public health and the environment. The USEPA must describe the characteristics and potential health and welfare effects for these criteria pollutants. These standards define the maximum permissible concentration of criteria pollutants in the air (see Table 1.1).

The Michigan Department of Environment, Great Lakes, and Energy (EGLE), Air Quality Division (AQD) monitors the six criteria pollutants, which are:

- Carbon monoxide (CO);
- Lead (Pb);
- Nitrogen dioxide (NO<sub>2</sub>);
- Ozone (O<sub>3</sub>);
- Particulate matter smaller than 10 and 2.5 microns in diameter (PM<sub>10</sub> and PM<sub>2.5</sub>, respectively); and
- Sulfur dioxide (SO<sub>2</sub>).

**Chapters 2 through 7** provide information on each of the six criteria pollutants and include:

- Michigan's monitoring requirements for 2019;
- Attainment / nonattainment status;
- Monitoring site locations (tables and maps show all the monitors active in 2019); and
- Air quality trends from 2014-2019 broken down by location.<sup>1</sup>

The 2019 data for each criteria pollutant is available in **Appendix A**.

The AQD also monitors air toxics. Air toxics are other hazardous air pollutants that can affect human health and the environment.<sup>2</sup> This data can be found in **Appendix B**.

The purpose of this report is to provide a snapshot of Michigan's 2019 air quality data, air quality trends, overview of the monitoring network (available in much greater detail in the [2019 Network Review](#)),<sup>3</sup> air toxics monitoring program, and other AQD programs, such as Mlair and the Emissions Inventory.<sup>4</sup>

---

<sup>1</sup> Air quality trends are based on actual statewide monitored readings, which are also listed in the USEPA's Air Quality Subsystem Quick Look Report Data at [www3.epa.gov/airtrends/](http://www3.epa.gov/airtrends/).

<sup>2</sup> [An Overview of Michigan Air Toxic Rules](#) is available on the AQD website at [www.michigan.gov/air](http://www.michigan.gov/air) (select "Permits," then "Toxics Laws and Rules.")

<sup>3</sup> Available online at [www.michigan.gov/documents/deq/deq-aqd-amu-2019\\_air\\_monitoring\\_network\\_review\\_623679\\_7.pdf](http://www.michigan.gov/documents/deq/deq-aqd-amu-2019_air_monitoring_network_review_623679_7.pdf)

<sup>4</sup> [Online information](#) about criteria pollutants and air toxics, along with this and previous Annual Air Quality Reports, are available via the AQD's website at [www.michigan.gov/air](http://www.michigan.gov/air) (select "Monitoring").

## CHAPTER 1: BACKGROUND INFORMATION

This section summarizes the development of the NAAQS (see **Appendix D** for further details) and how compliance with these standards is determined. Also included is an overview of Michigan's air sampling network, attainment status of the state, and information on MIAir and the Air Quality Index (AQI).

### National Ambient Air Quality Standards (NAAQS)

Under the CAA, the USEPA established a primary and secondary NAAQS for each criteria pollutant. The primary standard is designed to protect public health with an adequate margin of safety, including the health of the most susceptible individuals in a population, such as children, the elderly, and those with chronic respiratory ailments. Secondary standards are chosen to protect public welfare (personal comfort and well-being) and the environment.

In addition, the NAAQS have various averaging times to address health impacts. Short averaging times reflect the potential for acute (immediate) effects, whereas long-term averaging times are designed to protect against chronic (long-term) effects.

NAAQS have been established for CO, Pb, NO<sub>2</sub>, particulate matter (PM), O<sub>3</sub>, and SO<sub>2</sub>. **Table 1.1** lists the primary and secondary NAAQS, averaging time, and concentration level for each criteria pollutant in effect in 2019. The concentrations are listed as parts per million (ppm), micrograms per cubic meter (µg/m<sup>3</sup>), and/or milligrams per cubic meter (mg/m<sup>3</sup>).

**Table 1.1: NAAQS in Effect during 2019 for Criteria Pollutants**

Pollutant	Primary (health) Level	Primary Averaging Time	Secondary (welfare) Level	Secondary Averaging Time
CO 8-hour average	9 ppm (10 mg/m <sup>3</sup> )	8-hour average, not to be exceeded more than once per year (1971)	None*	None*
CO 1-hour average	35 ppm (40 mg/m <sup>3</sup> )	1-hour average, not to be exceeded more than once per year (1971)	None*	None*
Lead	0.15 µg/m <sup>3</sup>	Maximum rolling 3-month average (2008)	Same as Primary	Same as Primary
NO <sub>2</sub> Annual mean	0.053 ppm (100 µg/m <sup>3</sup> )	Annual mean (1971)	Same as Primary	Same as Primary
NO <sub>2</sub> 1-hour average	0.100 ppm	98 <sup>th</sup> percentile of 1-hour average, averaged over 3 years (2010)	Same as Annual	Same as Annual
PM <sub>10</sub>	150 µg/m <sup>3</sup>	24-hour average, not to be exceeded more than once per year over 3 years (1987)	Same as Primary	Same as Primary
PM <sub>2.5</sub> Annual average	12.0 µg/m <sup>3</sup>	Annual mean averaged over 3 years (2012)	15.0 µg/m <sup>3</sup>	Annual mean
PM <sub>2.5</sub> 24-hour average	35 µg/m <sup>3</sup>	98 <sup>th</sup> percentile of 24-hour concentration, averaged over 3 years (2006)	Same as Primary	Same as Primary
Ozone	0.070 ppm	Annual 4 <sup>th</sup> highest 8-hour daily max averaged over 3 years (2015)	Same as Primary	Same as Primary
SO <sub>2</sub>	0.075 ppm	99 <sup>th</sup> percentile of 1-hour daily max averaged over 3 years (2010)	0.5 ppm	3 hours

\*In 1985, the USEPA revoked the secondary standard for CO (for public welfare) due to a lack of evidence of adverse effects on public welfare at or near ambient concentrations.

## Michigan Air Sampling Network

EGLE's AQD operates the Michigan Air Sampling Network (MASN), along with other governmental agencies. For instance, the O<sub>3</sub> and PM<sub>2.5</sub> monitor in Manistee County is a tribal monitor handled by the Little River Band of Ottawa Indians. A second tribal monitor in Sault Ste. Marie was shut down in February 2019 due to an unrenewed federal grant. Their data is not included in this report, since there are only two months of data. **Figure 1.1** is a picture the deck at the Allen Park site. **Figure 1.2** shows a map of the 2019 MASN monitoring sites.

The MASN consists of federal reference method (FRM) monitors that enable continuous monitoring for the gaseous pollutants CO, NO<sub>2</sub>, O<sub>3</sub>, and SO<sub>2</sub> providing real-time hourly data. PM and Pb monitors measure concentrations over a 24-hour period. In addition, continuous PM<sub>2.5</sub> and PM<sub>10</sub> monitors provide real-time hourly data for PM. PM<sub>2.5</sub> chemical speciation monitors determine the chemical composition of PM<sub>2.5</sub>. The MASN data is also used to provide timely reporting to EGLE's air quality reporting web page ([MIAir](#)). The types of monitoring conducted in 2019 and the MASN locations are shown in **Table 1.3**.

**Figure 1.1: Allen Park Site**

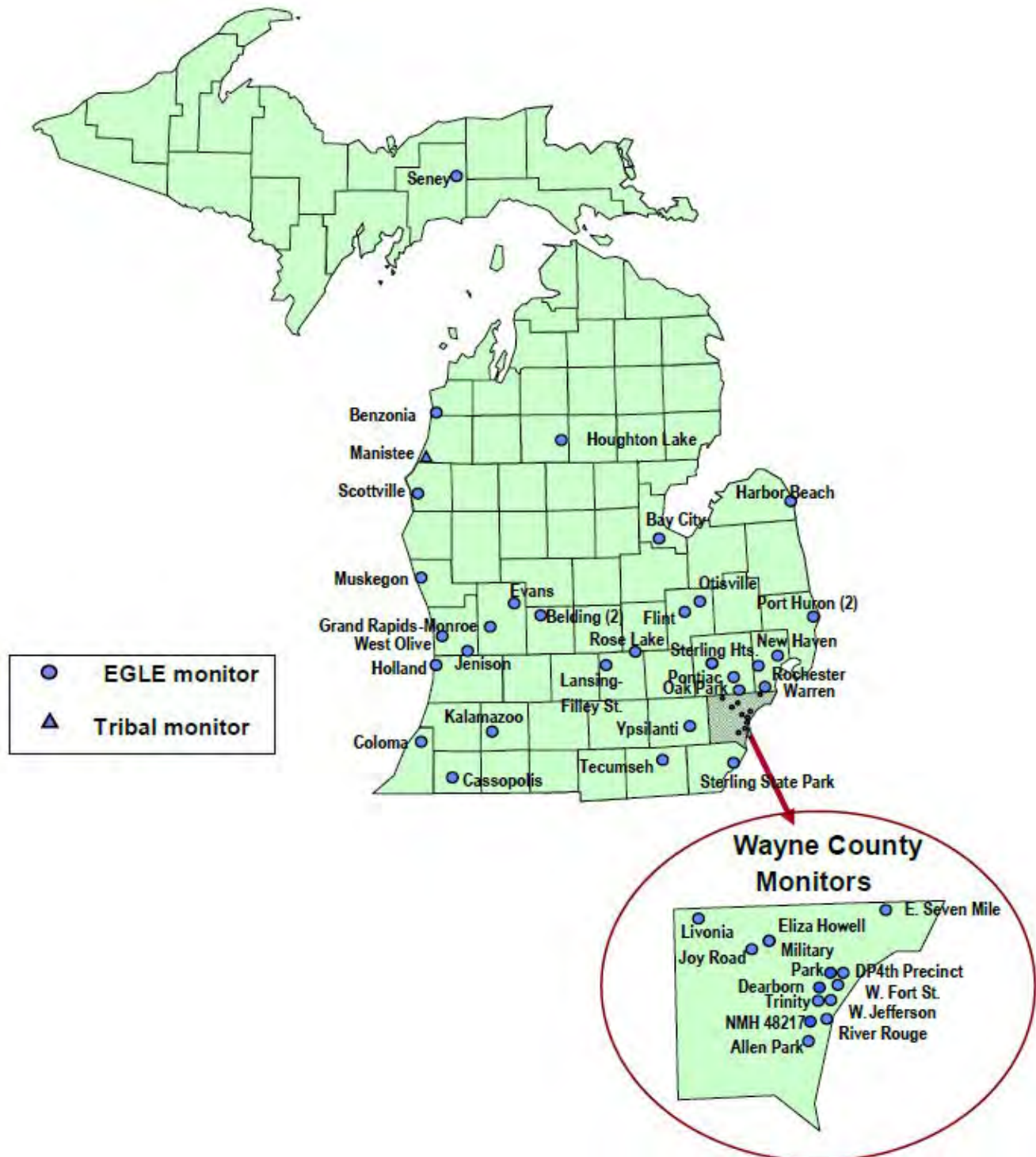




The **NCore network** began January 1, 2011, as part of the USEPA's 2006 amended air monitoring requirements. NCore is a multi-pollutant network that integrates several advance measurement systems for particles, pollutant gases, and meteorology. Michigan has two NCore sites; Allen Park and Grand Rapids-Monroe Street. Further information on this network is provided in **Chapters 2** through **7**.

The **Near-road Monitoring Network** focuses on vehicle emissions and how they disperse near roadways. Data from these sites are presented in **Chapters 2, 5, and 7**.

**Figure 1.2: 2019 MASN Monitoring Sites**



**Figure 1.3 Types of Monitoring Conducted in 2019 and MASN Location**

Area	AQS ID	Site Name	CO	NO <sub>2</sub>	Trace NO <sub>y</sub>	O <sub>3</sub>	PM <sub>10</sub>	PM <sub>2.5</sub>	PM <sub>2.5</sub> Continuous	PM <sub>2.5</sub> Speciation	SO <sub>2</sub>	VOC	Carbonyls	Trace Metals &	Wind	Speed & Direction, Temp.	Relative Humidity	Solar Radiation	Barometric Pressure
Detroit-Ann Arbor	260910007	Tecumseh				√			√B							√			√
	260990009	New Haven				√		√								√	√	√	
	260991003	Warren				√													
	261250001	Oak Park				√		√								√			
	261470005	Port Huron				√		√	√T		√					√			
	261470031	Port Huron-Rural St.												√					
	261610008	Ypsilanti				√		√	√B							√			√
	261630001	Allen Park	√*		√	√	√	√	√T	√+A	√*			√		√	√		√
	261630005	River Rouge											√	√		√			
	261630015	Detroit-W. Fort St.		√			√	√	√B	√+A	√	√	√	√		√	√		√
	261630019	Detroit-E. 7 Mile			√	√		√								√	√		√
	261630027	Detroit-W. Jefferson												√					
	261630033	Dearborn					√^	√	√T	√+A		√	√	√#		√	√		√
	261630093	Eliza Howell-Roadway	√	√					√B							√			
	261630095	Livonia-Roadway	√	√				√								√	√		√
	261630097	NMH 48217							√T		√			√					
	261360098	GHB-DP4th Precinct	√	√					√B	A	√			√					
	261360099	GHB-Trinity	√	√					√B	A	√			√		√			
	261360100	GHB-Military Park		√					√B	A	√			√					
Flint	260490021	Flint				√		√	√B							√			√
	260492001	Otisville				√										√			
Grand Rapids	261390005	Jenison		√		√	√	√								√			
	261390011	West Olive								√						√			
	260810020	Grand Rapids-Monroe	√*		√	√	√	√	√T	√	√*			√		√			√
	260810022	Evans				√										√			
Lansing/East Lansing	260650018	Lansing-Filley St.		√		√		√	√T		√					√			√
	260370002	Rose Lake				√													
Monroe Co	261150006	Sterling State Park									√					√			
Huron Co	260630007	Harbor Beach				√										√			
Bay Co	260170014	Bay City							√B							√			
Missaukee Co	261130001	Houghton Lake		√		√			√B							√			√
Allegan Co	260050003	Holland				√			√B							√	√	√	√
Benzie Co	260190003	Benzonia				√													
Berrien Co	260210014	Coloma				√										√			
Cass Co	260270003	Cassopolis				√										√			
Kalamazoo Co	260770008	Kalamazoo				√		√	√T							√			
Manistee Co	261010922	Manistee \$				√		√								√		√	√
Mason Co	261050007	Scottville				√										√			
Muskegon Co	261210039	Muskegon				√										√			
Schoolcraft Co	261530001	Seney Nat'l Wildlife				√			√B							√	√	√	√
Ionia Co	260670002	Belding-Reed St.														√			
	260670003	Belding-Merrick St.												√					

√ = Data Collected

&amp; = 5 trace metals: As, Cd, Mn, Ni and Pb

# = 9 additional metals sampled: Ba, Be, Cr, Co, Cu, Fe, Mo, V, Zn

B = BAM continuous PM<sub>2.5</sub> monitorT = TEOM continuous PM<sub>2.5</sub> monitor

\$ = Tribal monitor

\* = Trace monitor

^ = Continuous PM<sub>10</sub> monitor

A = Aethalometer monitor

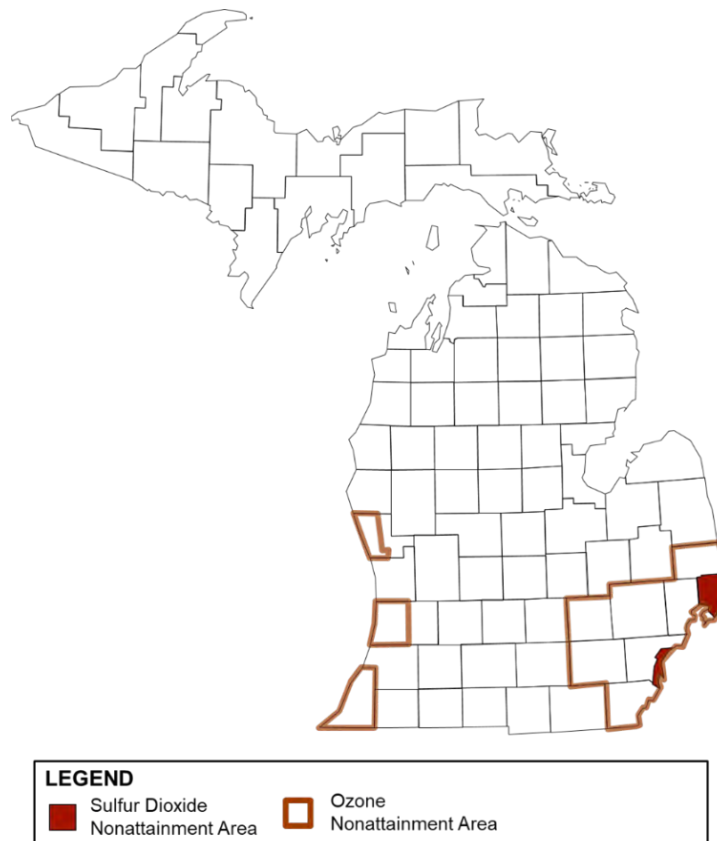
## Current Attainment Status

Areas of the state that are below the NAAQS concentration level are called attainment areas. The entire state of Michigan is in attainment for the following pollutants:

- CO
- Pb
- NO<sub>2</sub>
- Particulate Matter

Nonattainment areas are those that have been classified by the USEPA as having concentrations over the NAAQS level. Portions of the state are in nonattainment for SO<sub>2</sub> and O<sub>3</sub> (see **Figure 1.4**). The SO<sub>2</sub> nonattainment area includes a portion of Wayne County and a portion of St. Clair County. Ozone nonattainment areas include a portion of Allegan County, Berrien County, a portion of Muskegon County and the 7-county area of Southeast Michigan, which includes Livingston, Macomb, Monroe, Oakland, St. Clair, Washtenaw, and Wayne Counties. Nonattainment status for O<sub>3</sub> was effective on August 3, 2019.

**Figure 1.4: Attainment Status for the National Ambient Air Quality Standards**





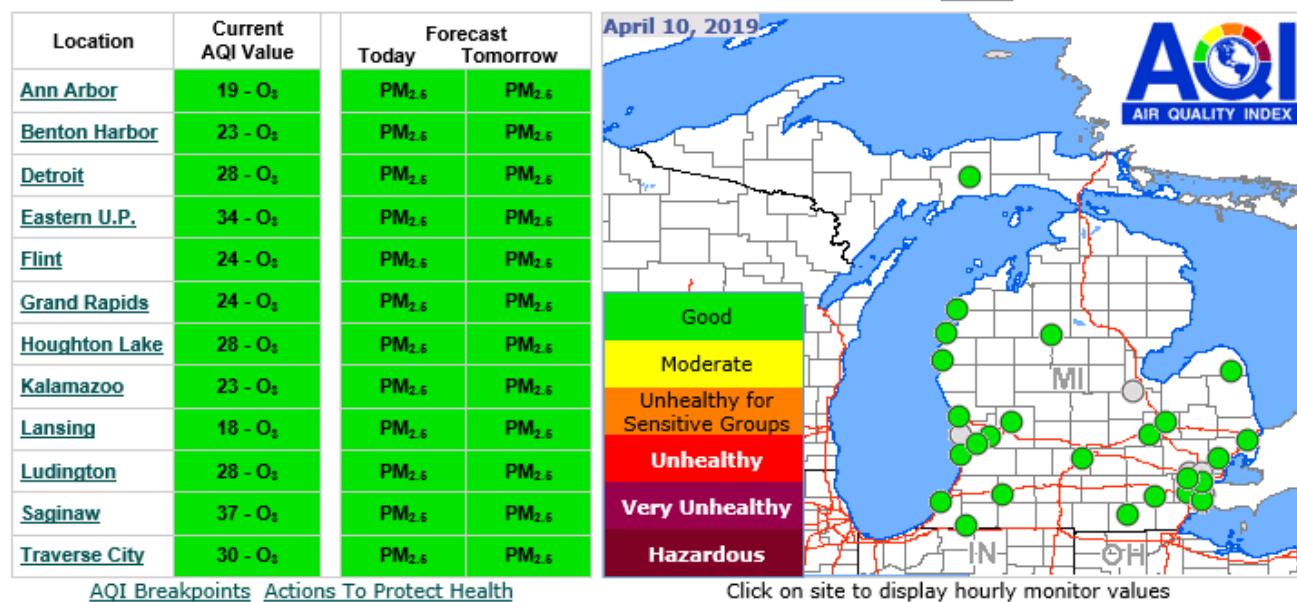
## Mlair – Air Quality Information in Real-Time

**Mlair** is the internet tool that provides real-time air quality information via EGLE's web page. The [deqmiair.org](http://deqmiair.org) hotlink opens to the current Air Quality Index (AQI) map and displays air quality forecasts for “today” and “tomorrow.” **Mlair** also hosts EnviroFlash, the automated air quality notification system.

## Air Quality Index

The Air Quality Index (AQI) is a simple tool developed to communicate current air quality information to the public. The current day's color-coded AQI values, ranging from Good to Hazardous (see **Table 1.3**), are displayed in a forecast table and as dots on a Michigan map (see example below).

### Latest AQI Information



As can be seen from the annual summaries in **Appendix C**, air quality in Michigan is generally in the Good or Moderate range. An area will occasionally fall into the Unhealthy for Sensitive Groups range, but rarely reaches Unhealthy levels.

**Mlair** includes an “Air Quality Index Fact Sheet” link: [michigan.gov/documents/deq/deq-aqd-aqifacts\\_273090\\_7.pdf](http://michigan.gov/documents/deq/deq-aqd-aqifacts_273090_7.pdf), which contains activity recommendations based on the AQI levels (also **Table 1.4**).

## Air Quality Forecasts

AQD meteorologists provide air pollution forecasts to alert the public when air pollution levels may become elevated. Action! Days are declared when levels are expected to reach or exceed the Unhealthy for Sensitive Groups AQI health indicator. On Action! Days, businesses, industry, government and the public are encouraged to reduce air pollution levels by limiting vehicle use, refueling only after 6 PM, carpooling, walking, biking or taking public transit, deferring the use of gasoline-powered lawn and recreation equipment, limiting the use of volatile chemicals and curtailing all burning. More information on voluntary air pollution control measures can be found under the Action! Days tab on **Mlair**.

The weather plays a significant role in air quality (see [Chapter 9](#) for an annual weather summary) and can either help increase or decrease the amount of pollution in the air. High temperatures, sun, and longer days (i.e., more daylight hours) are conducive to ozone formation, whereas rain tends to wash pollutants out of the air. *Action!* Days are declared when meteorological conditions are conducive for the formation of elevated ground-level O<sub>3</sub> or PM<sub>2.5</sub> concentrations.

**Table 1.2** shows that there were some *Action!* Days declared during the summer of 2019.

**Table 1.2: Action! Days Declared During Summer 2019**

Location	Year	Number	Dates
Ann Arbor	2019	5	7/3, 7/15, 7/18, 7/19, 7/20
Benton Harbor	2019	3	7/18, 7/19, 7/20
Detroit	2019	5	7/3, 7/15, 7/18, 7/19, 7/20
Grand Rapids	2019	4	7/15, 7/18, 7/19, 7/20

## Air Quality Notification

EnviroFlash is a free service that provides automated air quality (AQI) and ultraviolet (UV) forecasts to subscribers. Those enrolled receive e-mail or mobile phone text messages when the health level they select is predicted to occur. AIRNow iPhone and Android applications deliver ozone and fine particle air quality forecasts plus detailed real-time information that can be used to better protect health when planning daily activities. To learn more about this program, select the **Mlair** button from Michigan's Air Quality page [www.michigan.gov/air](http://www.michigan.gov/air). To receive notices, choose the "Air Quality Notification" tab and click the "Enroll in AQI EnviroFlash" link. Michigan's EnviroFlash network has the potential to reach up to 98% of the state's population.

## AIRNow

EGLI supplies Michigan air monitoring data to AIRNow, the USEPA's nation-wide air quality mapping system. Information about AIRNow is available at [www.airnow.gov](http://www.airnow.gov) or you can select the AIRNow hot link at the bottom of each **Mlair** web page.

Table 1.3: AQI Colors and Health Statements

AQI Color, Category and Value	Particulate Matter ( $\mu\text{g}/\text{m}^3$ ) 24-hour	Ozone (ppm) 8-hour / 1-hour	Carbon Monoxide (ppm) 8-hour	Sulfur Dioxide (ppm) 24-hour	Nitrogen Dioxide (ppm) 1-hour
<b>GREEN:</b> Good 1- 50	None	None	None	None	None
<b>YELLOW:</b> Moderate 51- 100	Unusually sensitive people should consider reducing prolonged or heavy exertion.	Unusually sensitive people should consider reducing prolonged or heavy exertion.	None	None	None
<b>ORANGE:</b> Unhealthy for Sensitive Groups 101- 150	People with heart or lung disease, children, and older adults should <b>reduce prolonged</b> or <b>heavy</b> exertion.	People with heart or lung disease, children & older adults, and people who are active outdoors should <b>reduce prolonged</b> or heavy exertion.	People with heart disease, such as angina, should limit heavy exertion and avoid sources of CO, such as heavy traffic.	People with asthma should consider limiting outdoor exertion.	None
<b>RED:</b> Unhealthy 151- 200	People with heart or lung disease, children, and older adults should avoid prolonged or heavy exertion. Everyone should reduce prolonged or heavy exertion.	People with heart or lung disease, children & older adults, and people who are active outdoors should <b>avoid prolonged</b> or heavy exertion. Everyone should reduce prolonged or heavy exertion.	People with heart disease, such as angina, should reduce moderate exertion and avoid sources of CO, such as heavy traffic.	Children, Asthmatics, and People with heart or lung disease should reduce outdoor exertion.	None
<b>PURPLE:</b> Very Unhealthy 201- 300	People with heart or lung disease, children, and older adults should <b>avoid all</b> physical exertion outdoors. Everyone else should limit outdoor exertion.	People with heart or lung disease, children & older adults, and people who are active outdoors should <b>avoid all</b> physical exertion outdoors. Everyone else should limit outdoor exertion.	People with heart disease, such as angina, should avoid exertion and sources of CO, such as heavy traffic.	Children, asthmatics, and people with heart or lung disease should avoid outdoor exertion. Everyone should reduce outdoor exertion.	Children and people with respiratory disease, such as asthma, should reduce outdoor exertion.
<b>MAROON:</b> Hazardous 301- 500	People with heart or lung disease, children, and older adults should remain indoors. Everyone should <b>avoid</b> prolonged or heavy exertion.	People with heart or lung disease, children, and older adults should remain indoors. Everyone should <b>avoid all</b> outdoor exertion.	People with heart disease, such as angina, should avoid exertion and sources of CO, such as heavy traffic. Everyone else should limit heavy exertion.	Children, Asthmatics, and people with heart or lung disease should remain indoors. Everyone should avoid outdoor exertion.	Children and People with respiratory disease, such as asthma, should avoid outdoor exertion.

## CHAPTER 2: CARBON MONOXIDE (CO)

Carbon monoxide is a gas formed during incomplete burning of fuel. CO is colorless, odorless, and tasteless, and is lethal at elevated concentrations. Levels peak during colder months primarily due to cold temperatures that affect combustion efficiency of engines. The CO NAAQS is 9 ppm for the second highest 8-hour average and 35 ppm for the second highest 1-hour average. Its sources and effects are provided below.

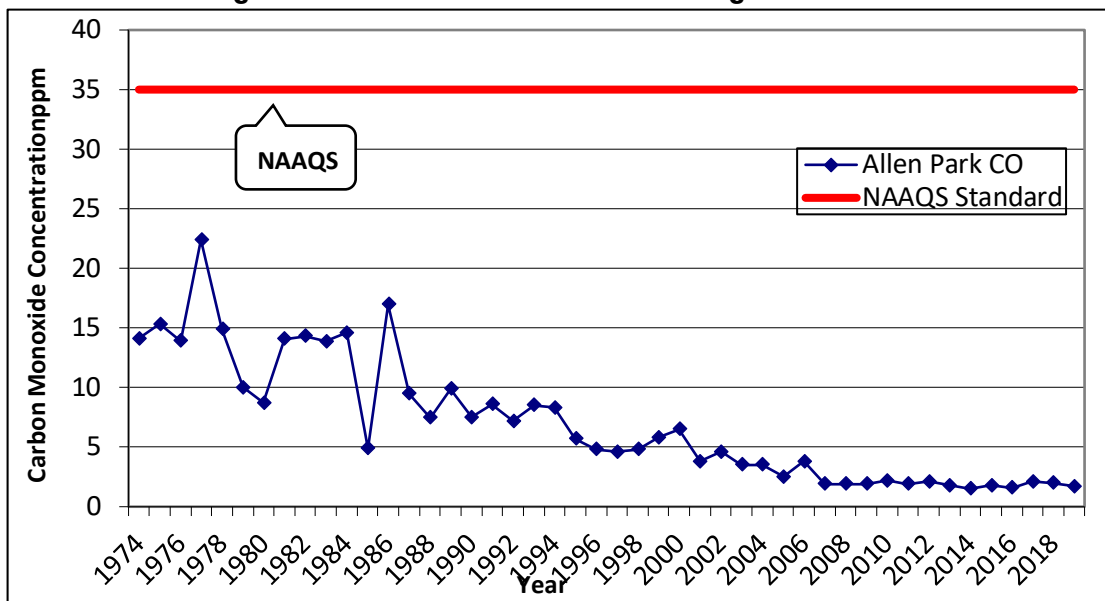
**Sources:** CO is given off whenever fuel or other carbon-based materials are burned. Outdoor exposure sources include automobile exhaust, industrial processes (metal processing and chemical production), and non-vehicle fuel combustion. Natural sources include volcanos, forest fires and photochemical reactions in the atmosphere. Indoor exposure sources include wood stoves and fireplaces, gas ranges with continuous pilot flame ignition, unvented gas or kerosene heaters, and cigarette smoke.

**Effects:** CO enters the bloodstream through the lungs, where it displaces oxygen delivered to the organs and tissues. Elevated levels can cause visual impairment, interfere with mental acuity by reducing learning ability and manual dexterity, and can decrease work performance in the completion of complex tasks. In extreme cases, unconsciousness and death can occur. CO also alters atmospheric photochemistry contributing to the formation of ground-level O<sub>3</sub>, which can trigger serious respiratory problems.

**Population most at risk:** Those who suffer from cardiovascular (heart and respiratory) disease, fetuses, infants, and the elderly are most at risk for exposure to elevated levels of CO. People with angina and peripheral vascular disease are especially at risk, as their circulatory systems are already compromised and less efficient at carrying oxygen; however, elevated CO levels can also affect healthy people.

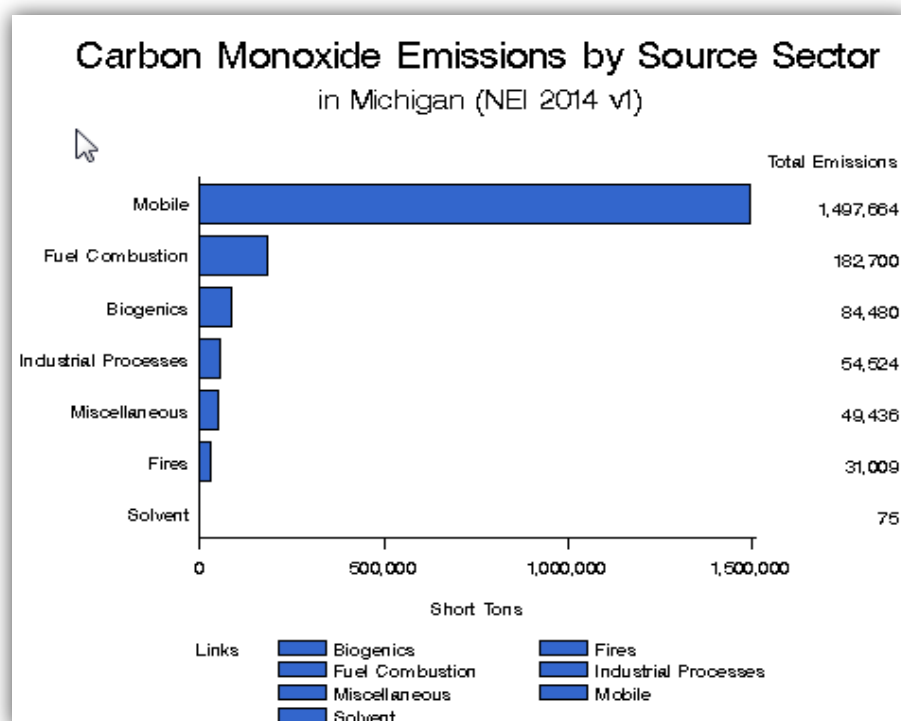
**Historical Trends:** Southeast Michigan has been monitoring for CO for 45 years. **Figure 2.1** shows the CO trend at Allen Park to be well below the 1-hour standard of 35 ppm. This standard has not changed since 1971.

**Figure 2.1: Historical 1-hour CO Averages at Allen Park**

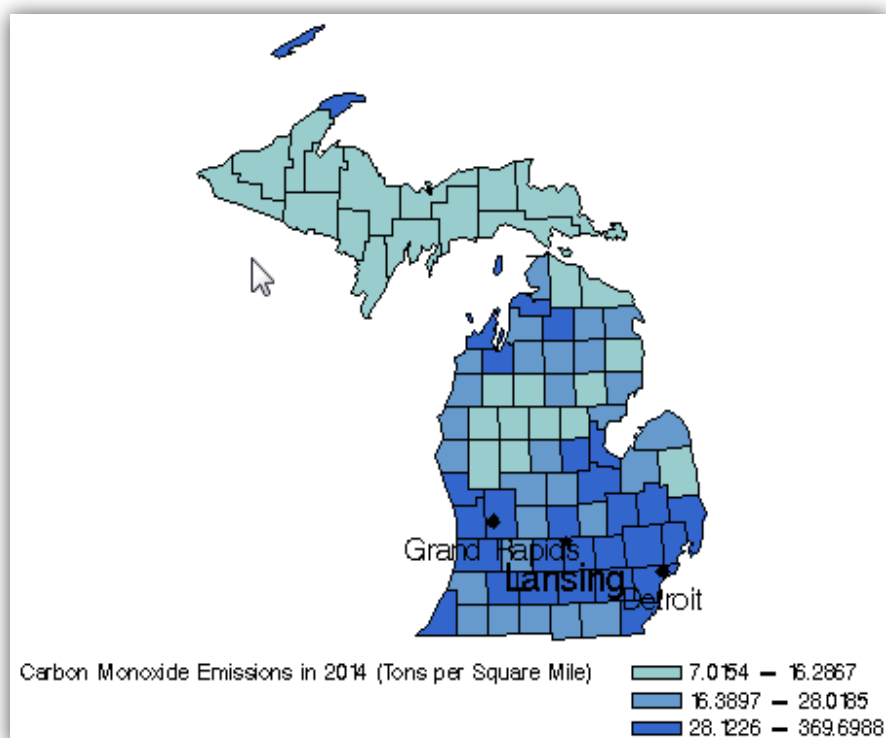


**Figures 2.2 and 2.3** show CO emission sources and CO emissions by county (courtesy of the USEPA's State and County Emission Summaries).

**Figure 2.2: CO Emissions by Source Sector**



**Figure 2.3: CO Emissions in 2014**



**Figure 2.4** shows the location of each CO monitor that operated in 2019.

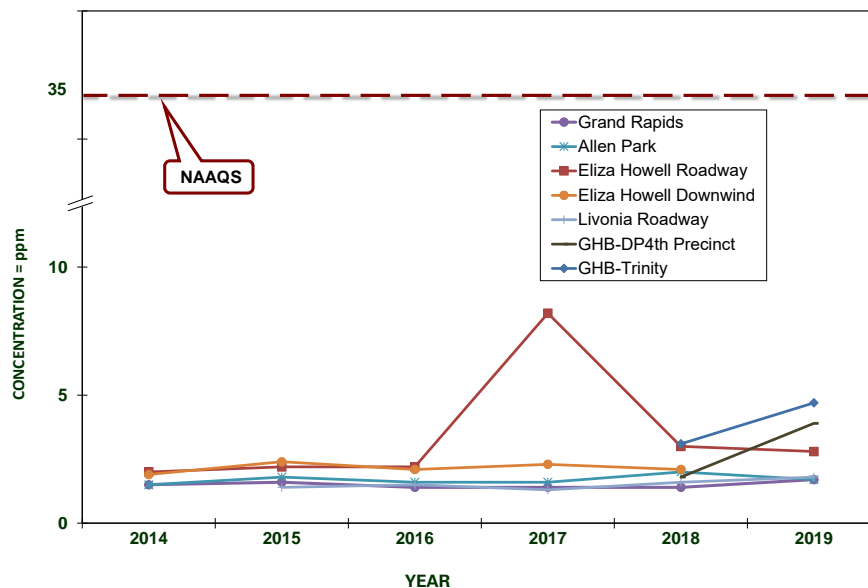
- Near-roadway network sites: Eliza Howell Park and Livonia.
- NCore Network: Grand Rapids and Allen Park measure trace CO (lower detection levels 1 ppm-50 ppm).
- Gordie Howe International Bridge (GHB) project: Detroit Police 4th Precinct (DP4th Precinct) and Trinity St. Marks (Trinity), started summer and fall 2018, respectively.

**Figure 2.4: CO Monitors in 2019**



**Figure 2.5** shows the second highest 1-hour CO concentrations for Michigan from 2013-2019, which demonstrates that there have not been any exceedances of the 1-hour CO NAAQS.

**Figure 2.5: CO Levels in Michigan from 2014-2019 (2<sup>nd</sup> Highest 1-Hour Maximum Values)**





## CHAPTER 3: LEAD (PB)

Lead is a highly toxic metal found in coal, oil, and other fuels. It is also found in older paints, municipal solid waste and sewage sludge, and may be released to the atmosphere during combustion. In 2008, the USEPA lowered the Pb NAAQS from a maximum quarterly average of  $1.5 \mu\text{g}/\text{m}^3$  to a 3-month rolling average of  $0.15 \mu\text{g}/\text{m}^3$ . Its sources and effects are presented below.

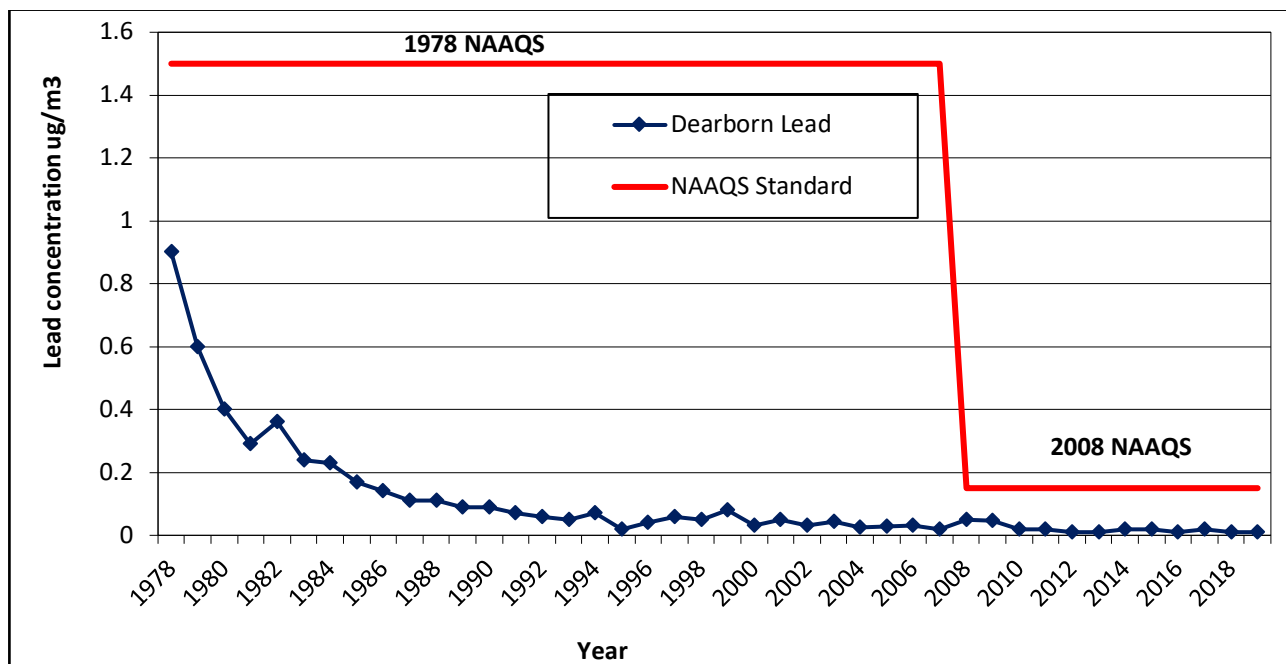
**Sources:** With the phase-out of leaded gas in the 1970s, the major sources of Pb emissions have been due to ore and metals processing and piston-engine aircraft operating on leaded aviation fuel. Other industrial sources include Pb acid battery manufacturers, waste incinerators, and utilities. The highest air concentrations of Pb are usually found near lead smelters.

**Effects:** Exposure occurs through the inhalation or ingestion of Pb in food, water, soil, or dust particles. Pb primarily accumulates in the body's blood, bones, and soft tissues, and adversely affects the nervous system as well as the cardiovascular system, reproductive system, blood, kidneys, and other organs.

**Population most at risk:** Fetuses and children are most at risk since low levels of Pb may cause central nervous system damage. Excessive Pb exposure during the early years of life is associated with lower IQ scores and neurological impairment (seizures, mental development, and behavioral disorders). Even at low doses, lead exposure is associated with changes in fundamental enzymatic, metabolic, and homeostatic mechanisms in the body, and Pb may be a factor in high blood pressure and subsequent heart disease.

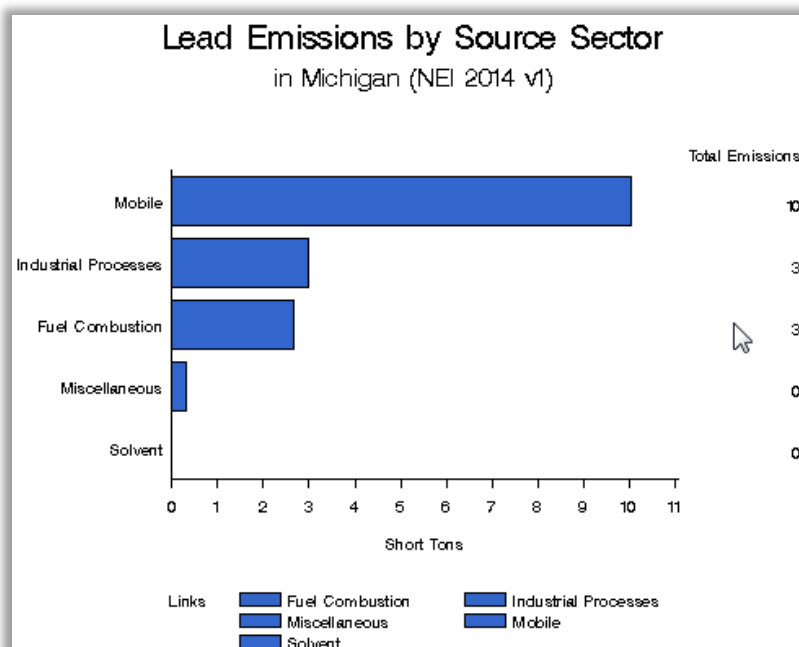
**Historical Trends:** Southeast Michigan has been monitoring for lead for 40 years. **Figure 3.1** shows the trend for lead at Dearborn. The largest decrease in Pb in the air is due to the removal of Pb in gasoline. By 1975, most newly manufactured vehicles no longer required leaded gasoline, and as a result, there was a dramatic decrease in ambient Pb levels. In 1996, the USEPA banned the sale of leaded fuel for use in on-road vehicles. The graph also shows the decrease in the Pb standard that occurred in 2008.

**Figure 3.1: Historical Quarterly / 3-month Averages for Lead at Dearborn**

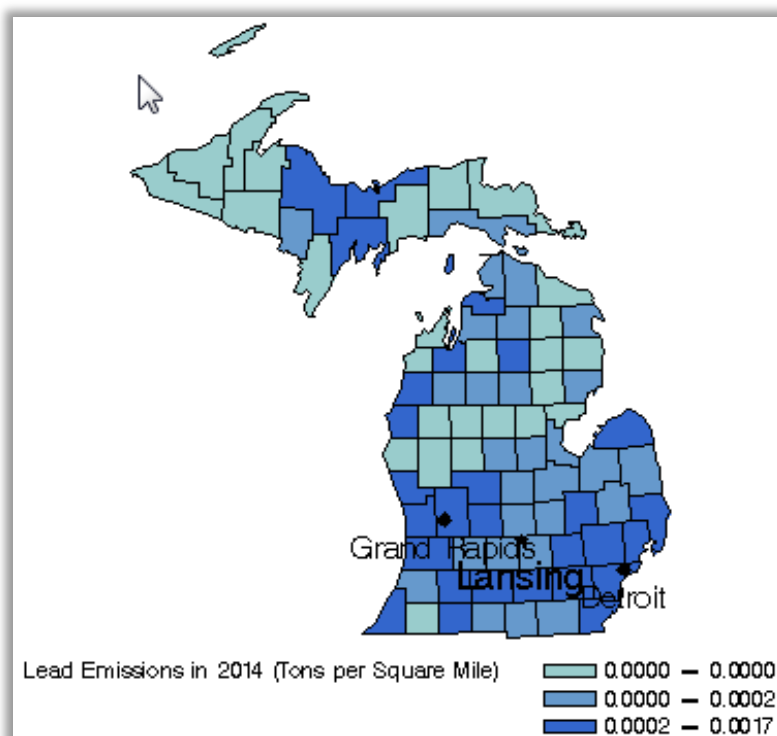


**Figures 3.2 and 3.3** show Pb emission sources and Pb emissions by county (courtesy of the USEPA's State and County Emission Summaries).

**Figure 3.2: Pb Emissions by Source Sector**



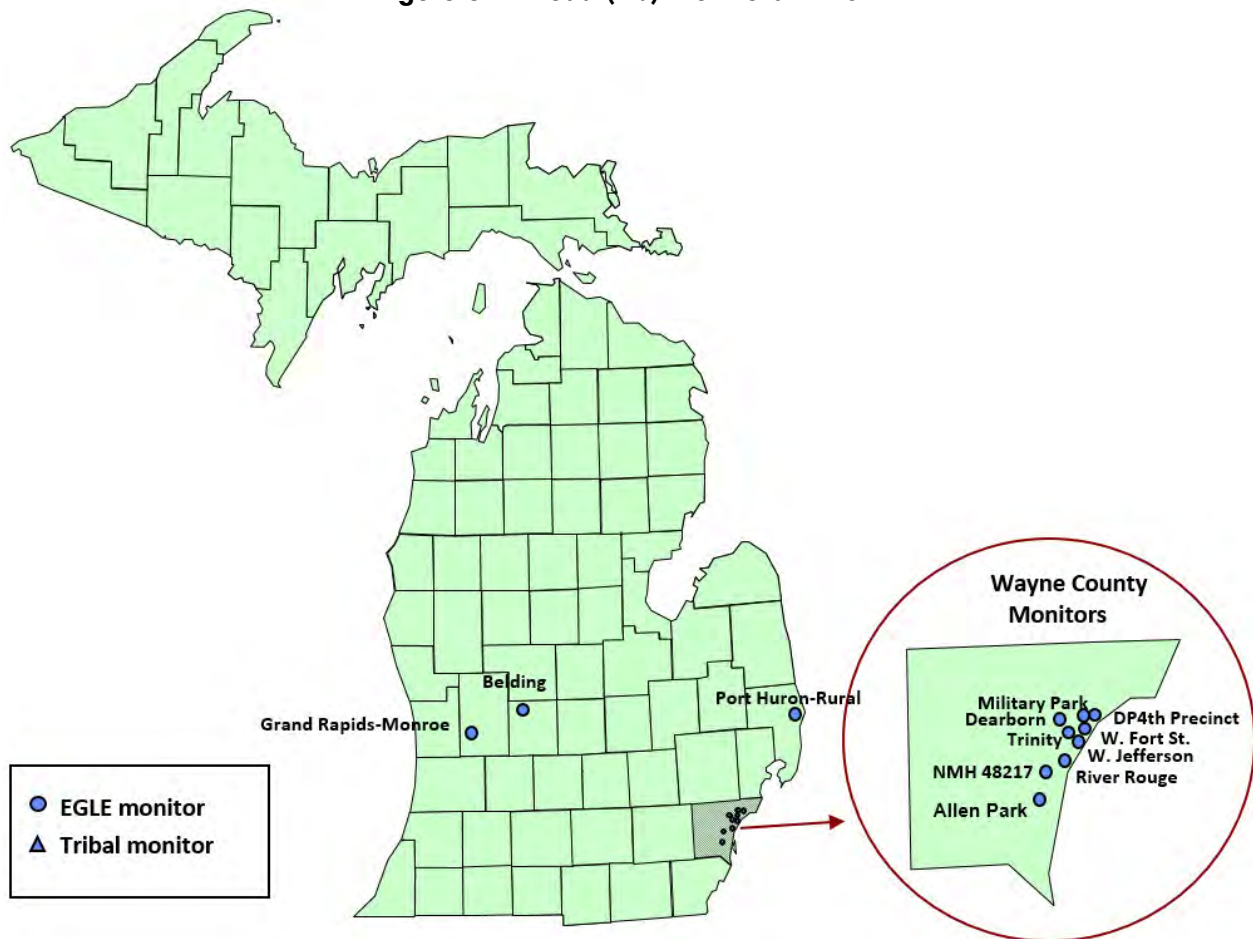
**Figure 3.3: Pb Emissions in 2014**



**Figure 3.4** shows the location of the Pb monitors in the MASN in 2019. When the Pb NAAQS was lowered in 2008, the monitoring network was modified to consist of source-oriented monitors and population-oriented monitors. As part of the 2008 Pb NAAQS, EGLE must monitor near stationary sources emitting more than 1/2 ton of Pb per year.

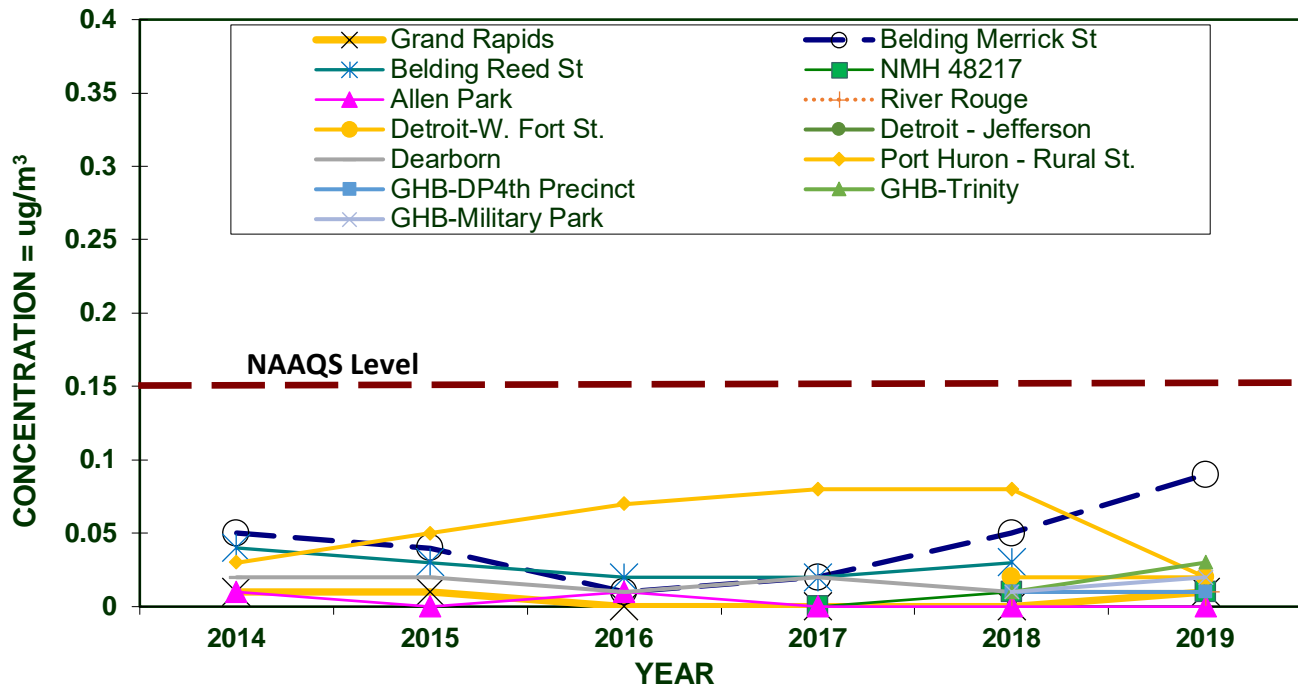
- Source-oriented sites: Port Huron-Rural St. and Belding-Merrick St. The second site, Belding-Reed St. was shut down on January 1, 2019, since lead levels are below the standard and both sites are no longer necessary. The two sites in Belding previously were above the standard, but values for both the sites have been below the NAAQS for the past five years. Belding was designated to attainment on July 31, 2018.
- National Air Toxics Trend Sites (NATTS): Dearborn lead and trace metals, both as total suspended particulate (TSP) and PM<sub>10</sub>. Lead measurements as PM<sub>2.5</sub> are also made throughout the PM<sub>2.5</sub> speciation network.
- NCore sites: Allen Park and Grand Rapids.
- Network consistency: River Rouge, Detroit-W. Jefferson, New Mount Hermon (NMH) 48217, and Detroit-W. Fort St. On January 1, 2018, lead sampling was started at all the TSP metals sites to maintain consistency and to be more protective of public health. Many older homes, which often contain lead-based paint, are being demolished in the Detroit area near these monitors.
- Secondary monitor: Port Huron-Rural St. to comply with the USEPA's collocation regulations.
- Gordie Howe International Bridge (GHB) project: DP4th Precinct, Trinity, and Military Park.

**Figure 3.4: Lead (Pb) Monitors in 2019**



**Figure 3.5** shows the maximum 3-month rolling average values for Pb from 2014 to 2019. All Pb monitor sites in Michigan are below the standard.

**Figure 3.5: Lead Levels in Michigan from 2014-2019 (Maximum 3-month Average Values)**



## CHAPTER 4: NITROGEN DIOXIDE (NO<sub>2</sub>)

Nitrogen dioxide is a reddish-brown, highly reactive gas formed through oxidation of nitric oxide (NO). Upon dilution, it becomes yellow or invisible. High concentrations produce a pungent odor and lower levels have an odor similar to bleach. NO<sub>x</sub> is the term used to describe the sum of NO, NO<sub>2</sub>, and other nitrogen oxides. NO<sub>x</sub> can lead to the formation of O<sub>3</sub> and NO<sub>2</sub> and can react with other substances in the atmosphere to form particulate matter or acidic products that are deposited in rain (acid rain), fog, or snow. Since 1971, the primary and secondary standard for NO<sub>2</sub> was an annual mean of 0.053 ppm. In January 2010, the USEPA added a 1-hour NO<sub>2</sub> standard of 100 ppb, taking the form of the 98<sup>th</sup> percentile averaged over three years. The sources and effects of NO<sub>2</sub> are as follows:

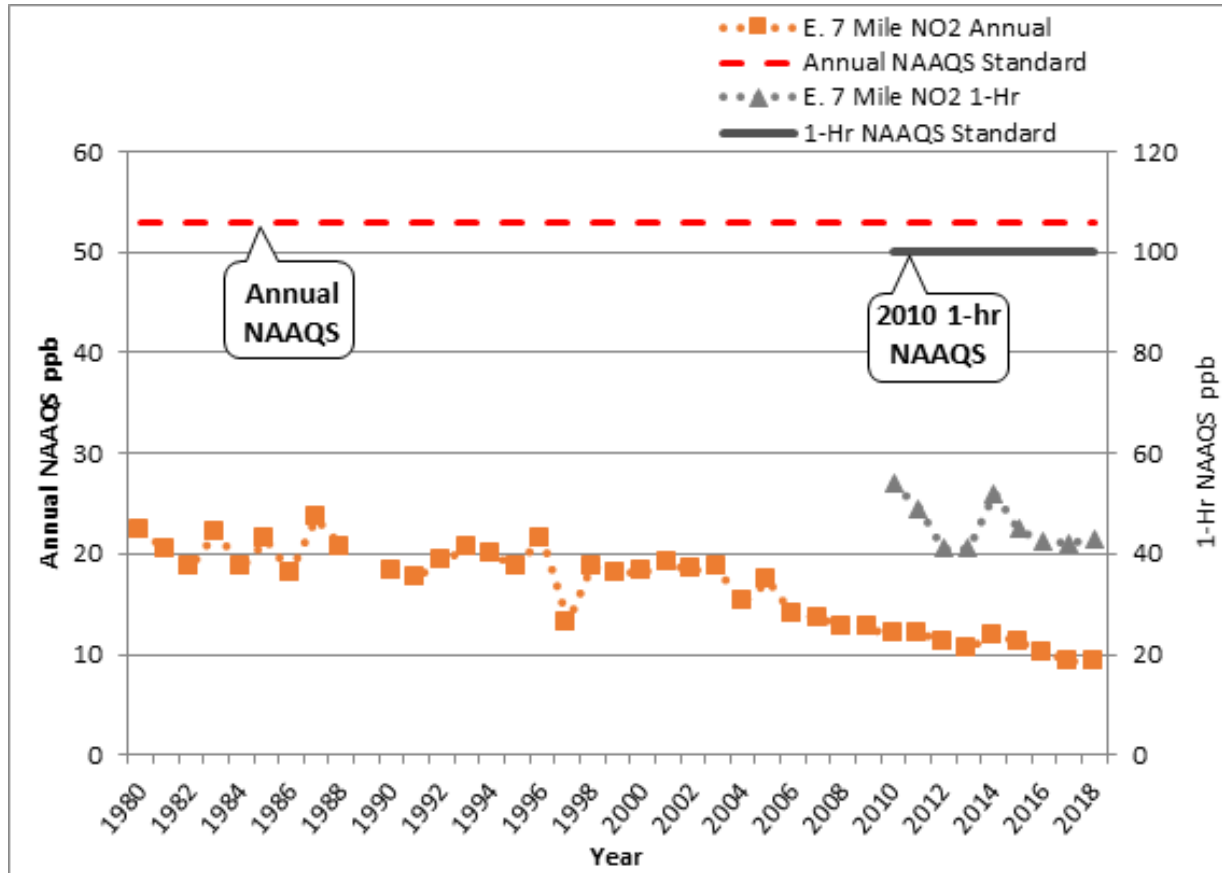
**Sources:** NO<sub>x</sub> compounds and their transformed products occur both naturally and because of human activities. Natural sources of NO<sub>x</sub> are lightning, forest fires, bacterial processes in soil, and stratospheric intrusion. Stratospheric intrusion is when the air upper atmosphere (stratosphere) descends towards the surface of the earth and mixes with the air at breathing level. Ammonia and other nitrogen compounds produced naturally are important in the cycling of nitrogen through the ecosystem. The major sources of man-made (anthropogenic) NO<sub>x</sub> emissions come from high-temperature combustion processes such as those occurring in automobiles and power plants. Home heaters and gas stoves produce substantial amounts of NO<sub>2</sub> in indoor settings.

**Effects:** Exposure to NO<sub>2</sub> occurs through the respiratory system, irritating the lungs. Short-term NO<sub>2</sub> exposures (i.e., less than three hours) can produce coughing and changes in airway responsiveness and lung function. Evidence suggests that long-term exposures to NO<sub>2</sub> may lead to increased susceptibility to respiratory infection and may cause structural changes in the lungs. Exercise increases the ventilation rate and hence exposure to NO<sub>2</sub>. Nitrate particles and NO<sub>2</sub> can block the transmission of light, resulting in visibility impairment (i.e., smog or haze). Nitrogen deposition can lead to fertilization, excessive nutrient enrichment, or acidification of terrestrial, wetland, and aquatic systems that can upset the delicate balance in those ecosystems.

**Population most at risk:** Individuals with pre-existing respiratory illnesses and asthmatics are more sensitive to the effects of NO<sub>2</sub> than the general population. Short-term NO<sub>2</sub> exposure can increase respiratory illnesses in children.

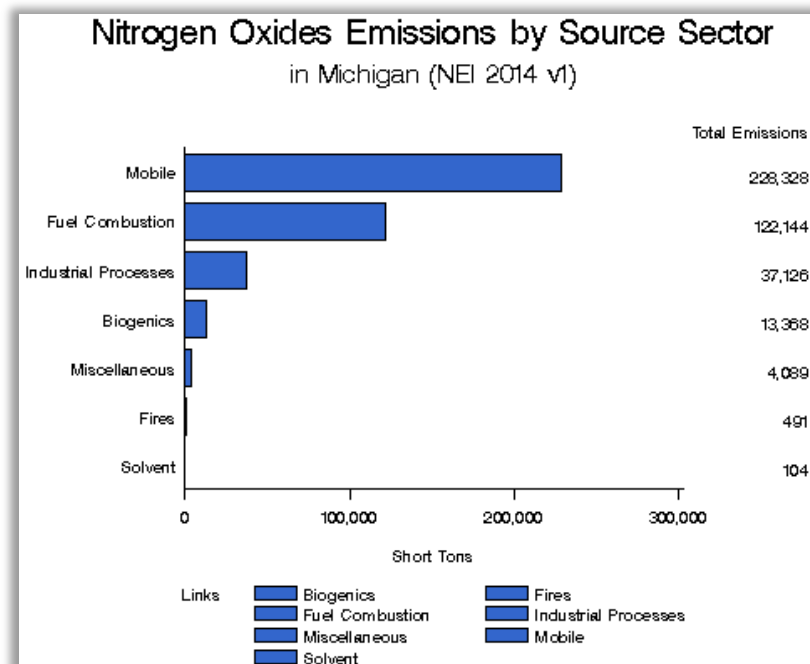
**Historical Trends:** Southeast Michigan has been monitoring for NO<sub>2</sub> for almost 40 years. **Figure 4.1** shows the trend for NO<sub>2</sub> at E. 7 Mile Road, which has been well below the annual standard of 53 ppb and shows a downward trend. In 2010, the USEPA added a 1-hour standard for NO<sub>2</sub>, which has also remained well below the standard in Michigan. Southeast Michigan is highly industrialized; therefore, it is a good indicator of the air quality improvement for the rest of the state.

**Figure 4.1: Historical Annual and 1-hour NO<sub>2</sub> at E. 7 Mile Road**

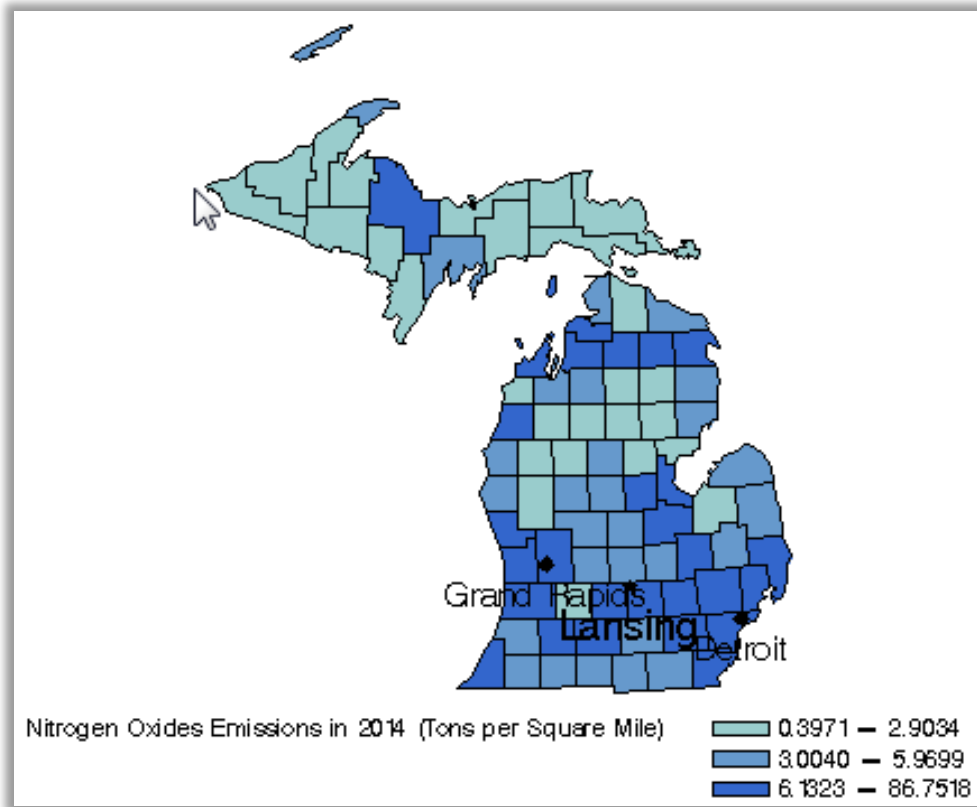


Figures 4.2 and 4.3 show NO<sub>2</sub> emission sources and NO<sub>2</sub> emissions by county (courtesy of the USEPA's State and County Emission Summaries).

**Figure 4.2: NO<sub>2</sub> Emissions by Source Sector**

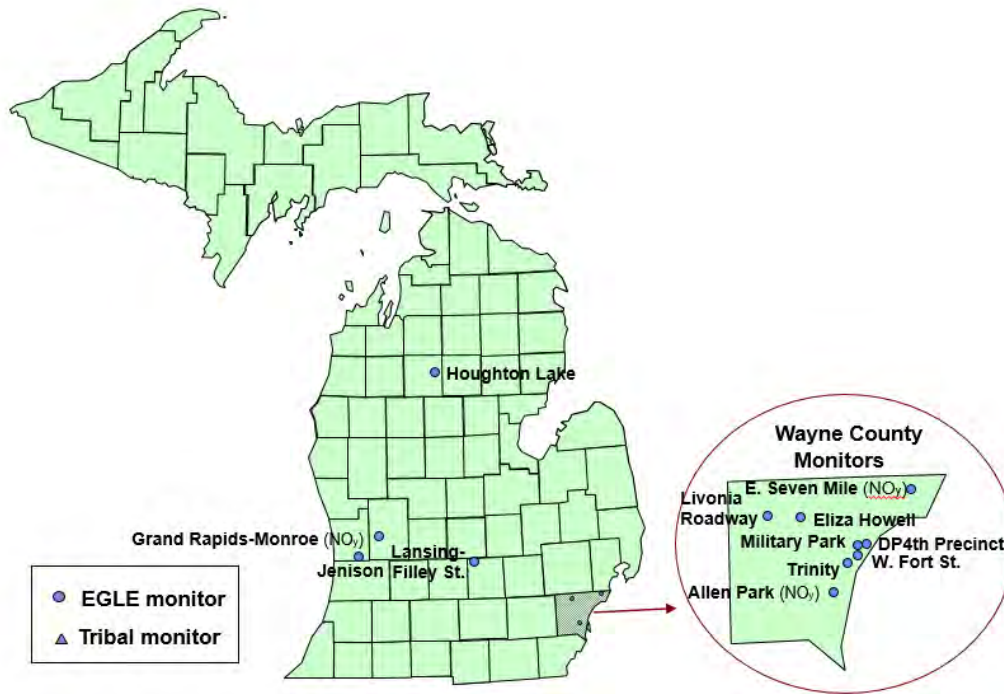




**Figure 4.3: NO<sub>2</sub> Emissions in 2014**

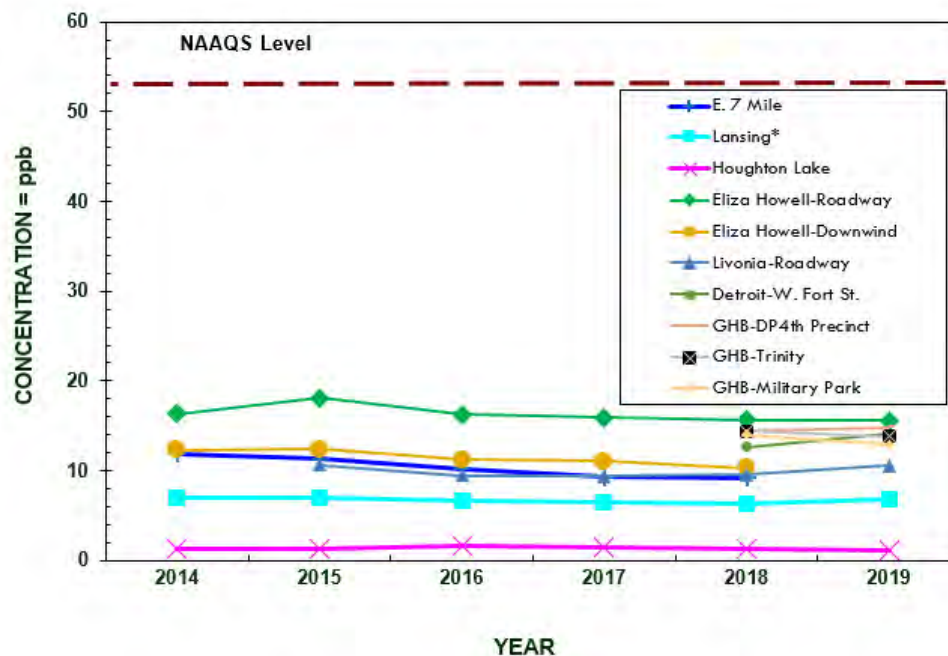
**Figure 4.4** shows the location of all NO<sub>2</sub> monitors that operated in 2019.

- Downwind urban scale site: E. 7 Mile in Detroit and Jenison for the Grand Rapids area
- Near-roadway Network sites: Detroit Eliza Howell roadway site, the downwind site was shut down since it is not necessary for the near-road network. The Livonia roadway site needed to be moved since EGLE lost site access. A suitable replacement has not been found.
- NCore sites: Grand Rapids and Allen Park, monitor NO<sub>y</sub>, which includes NO<sub>x</sub>, nitric acid and organic and inorganic nitrates (not used for attainment/ nonattainment purposes).
- Photochemical Assessment Monitoring Station (PAMS) Network: The NO<sub>x</sub> monitor at E. 7 Mile was switched to a NO<sub>y</sub> for PAMS. Direct NO<sub>2</sub> will also be monitored at E. 7 Mile when the PAMS network is completely installed at this site.
- Background monitors for modeling: Lansing and Houghton Lake.
- Gordie Howe International Bridge (GBH) project: W. Fort St., DP4th Precinct, Trinity, and Military Park (GHB)

**Figure 4.4: Nitrogen Dioxide (NO<sub>2</sub>)/NO<sub>y</sub> Monitors in 2019**

Michigan's ambient NO<sub>2</sub> levels have always been well below the NAAQS. Since March 3, 1978, all areas in Michigan have been in attainment for the annual NO<sub>2</sub> NAAQS. As shown in **Figure 4.5**, all monitoring sites have had an annual NO<sub>2</sub> concentration at less than half of the 0.053 ppm NAAQS.

Even though there are no nonattainment areas for NO<sub>2</sub> in Michigan and monitoring for attainment purposes is not required, monitors continue to operate to support photochemical model validation work.

**Figure 4.5: NO<sub>2</sub> Levels in MI from 2014-2019 (Annual Arithmetic Mean)\*\***

\*Indicates site was moved 2018 and concentrations were averaged together for both locations.

\*\*Since Allen Park and Grand Rapids are monitoring NO<sub>y</sub>, those sites are not included in graph.

## CHAPTER 5: SULFUR DIOXIDE (SO<sub>2</sub>)

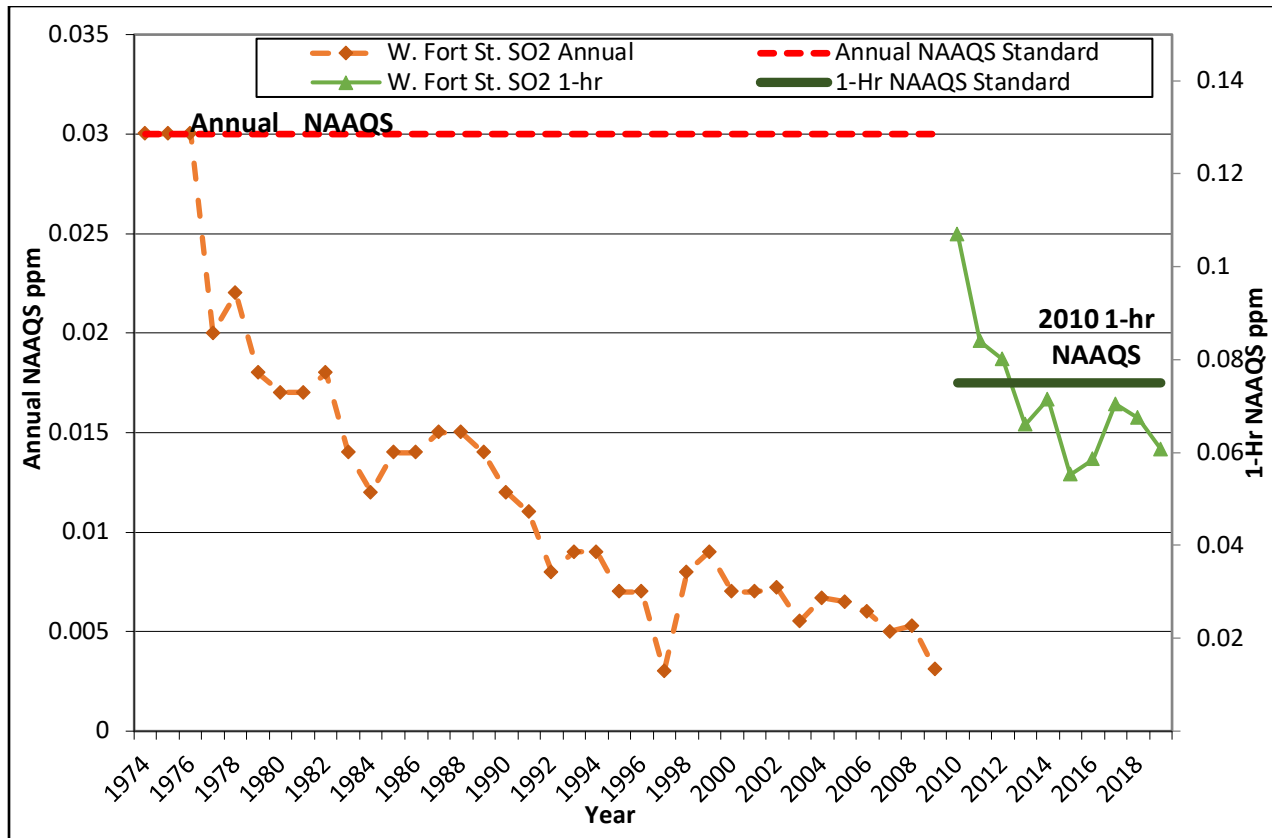
Sulfur dioxide is a gas formed by the burning of sulfur-containing material. Odorless at typical ambient concentrations, SO<sub>2</sub> can react with other atmospheric chemicals to form sulfuric acid. At higher concentrations it has a pungent, irritating odor similar to a struck match. When sulfur-bearing fuel is burned, the sulfur is oxidized to form SO<sub>2</sub>, which then reacts with other pollutants to form aerosols. These aerosols can form particles in the air causing increases in PM<sub>2.5</sub> levels. In liquid form, it is found in clouds, fog, rain, aerosol particles, and in surface films on these particles. In June 2010, the USEPA changed the primary SO<sub>2</sub> standard to a 99<sup>th</sup> percentile of 1-hour concentrations not to exceed 0.075 ppm, averaged over a 3-year period. The secondary standard has not changed and is a 3-hour average that cannot exceed 0.5 ppm once per year. Its sources and effects are presented below.

**Sources:** Coal-burning power plants are the largest source of SO<sub>2</sub> emissions. Other sources include industrial processes such as extracting metal from ore, and non-road transportation sources, and natural sources such as volcanoes. SO<sub>2</sub> and particulate matter are often emitted together.

**Effects:** Exposure to elevated levels can aggravate symptoms in asthmatics and cause respiratory problems in healthy groups. SO<sub>2</sub> and NO<sub>x</sub> together are the major precursors to acid rain and are associated with the acidification of soils, lakes, and streams, as well as accelerated corrosion of buildings and monuments.

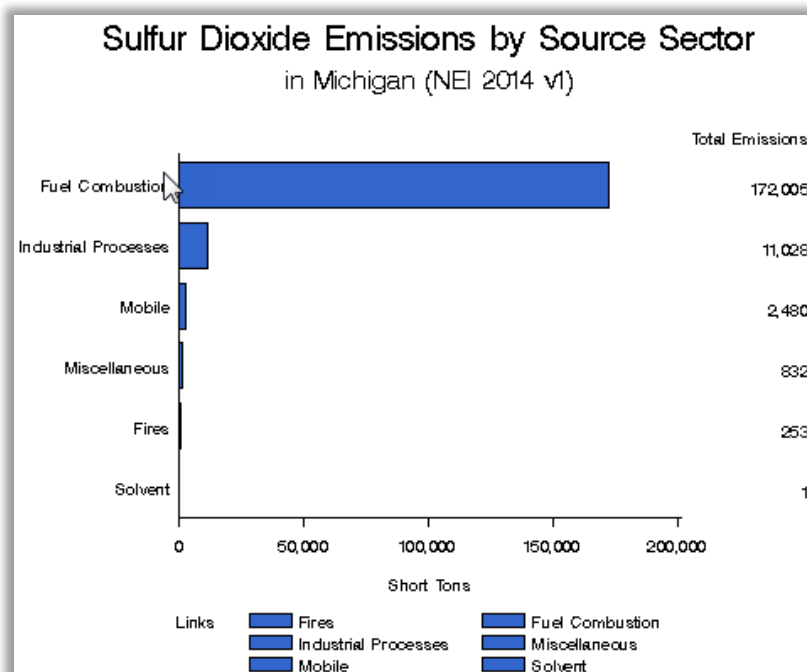
**Population most at risk:** Asthmatics, children, and the elderly are especially sensitive to SO<sub>2</sub> exposure. Asthmatics receiving short-term exposures during moderate exertion may experience reduced lung function and symptoms, such as wheezing, chest tightness, or shortness of breath. Depending on the concentration, SO<sub>2</sub> may also cause symptoms in people who do not have asthma.

**Historical Trends:** Southeast Michigan has been monitoring for SO<sub>2</sub> for 45 years. **Figure 5.1** shows the SO<sub>2</sub> trend for the old annual standard and the new 1-hour standard for W. Fort Street in Detroit. Michigan had been in attainment for SO<sub>2</sub> since 1982 with levels consistently well below the annual SO<sub>2</sub> NAAQS. In 2010, when the USEPA changed the standard from an annual average to a 1-hour standard, a portion of Wayne County was designated nonattainment. In September 2016, a portion of St. Clair County was also designated as nonattainment by the USEPA based on emissions and modeling. Even though the areas are in nonattainment for the 1-hour SO<sub>2</sub> standard, SO<sub>2</sub> concentrations have decreased at these sites and are currently under the NAAQS, although modeling results are not below the NAAQS.

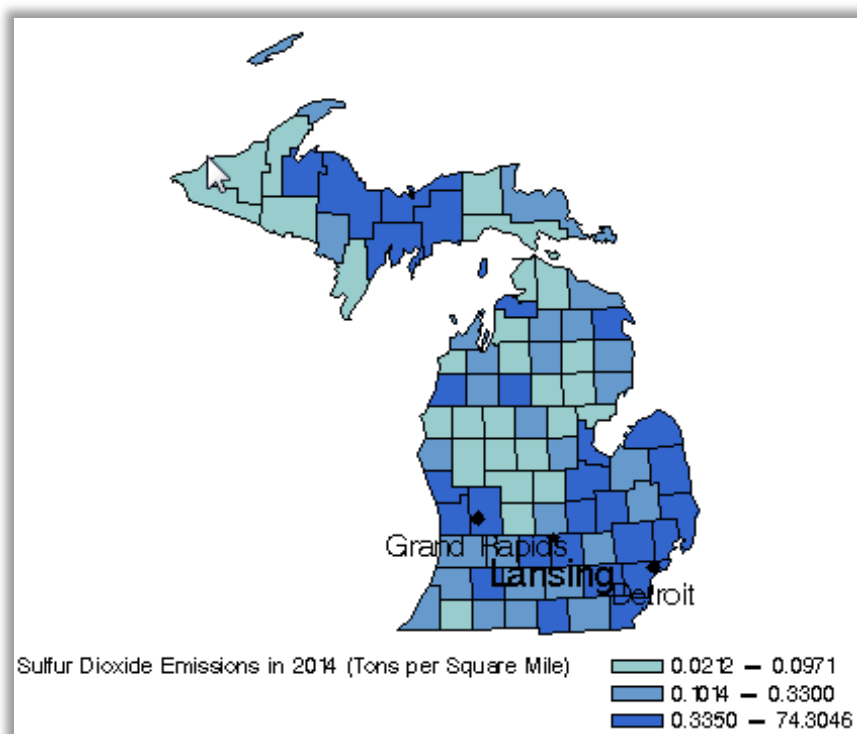
**Figure 5.1: Historical Annual and 1-hour SO<sub>2</sub> Averages at W. Fort St.**

Figures 5.2 and 5.3 show SO<sub>2</sub> emission sources and SO<sub>2</sub> emissions by county (courtesy of the USEPA's State and County Emission Summaries).

**Figure 5.2: SO<sub>2</sub> Emissions by Source Sector**



**Figure 5.3: SO<sub>2</sub> Emissions in 2014**



**Figure 5.4** shows the location of each SO<sub>2</sub> monitor that operated in 2019.

- NCore sites: Allen Park and Grand Rapids have trace SO<sub>2</sub> monitors that have lower detection limits than traditional SO<sub>2</sub> monitors.
- Source-oriented sites: Lansing, Port Huron, W. Fort St., Sterling State Park, West Olive.
- Community monitoring project: NMH 48217.
- GHB project: DP4th Precinct, Trinity, and Military Park.

**Figure 5.4: Sulfur Dioxide (SO<sub>2</sub>) Monitors in 2019**

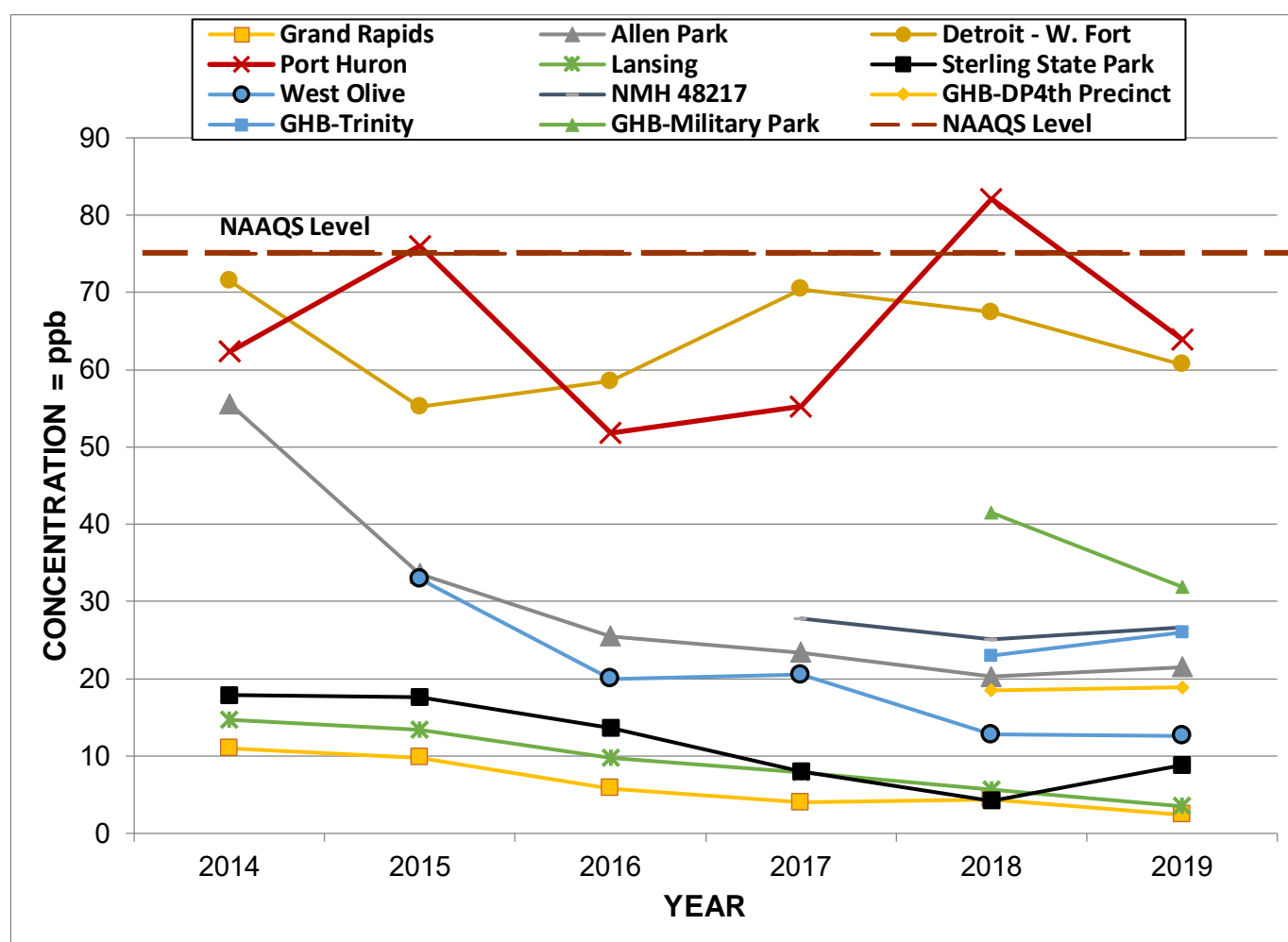




**Figure 5.5** shows that all the SO<sub>2</sub> sites in Michigan are below the standard even though there is a nonattainment area for SO<sub>2</sub>. The standard is a three-year average, therefore having one point above the NAAQS level line does not mean the monitor is over the standard. SO<sub>2</sub> pollution is extremely variable and would require a large monitoring network to designate areas as attainment. Therefore, SO<sub>2</sub> attainment depends on both emission modeling and monitoring data.

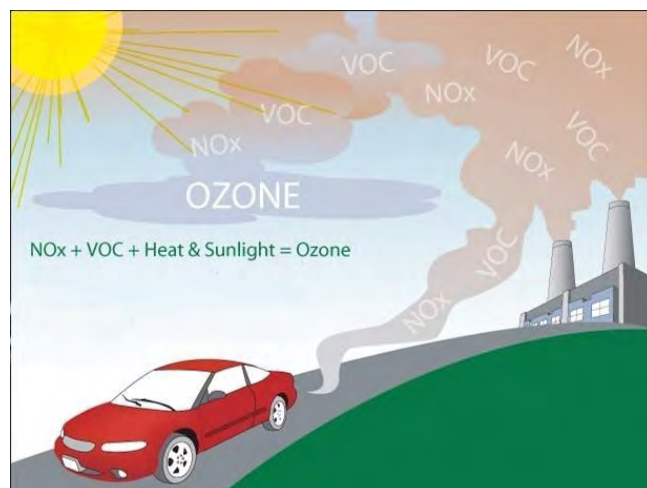
The NCore sites, Grand Rapids and Allen Park, monitor for trace SO<sub>2</sub>. For trend purposes, all SO<sub>2</sub> data are graphed together in **Figure 5.5**.

**Figure 5.5: SO<sub>2</sub> Level in Michigan from 2014-2019 (1-Hour 99<sup>th</sup> Percentile)**



## CHAPTER 6: OZONE (O<sub>3</sub>)

Ground-level O<sub>3</sub> is created by reactions involving nitrogen oxides (NO<sub>x</sub>) and volatile organic compounds (VOCs), or hydrocarbons, in the presence of sunlight as the illustration to the right depicts (image courtesy of the USEPA). These reactions usually occur during the hot summer months as ultraviolet radiation from the sun initiates a sequence of photochemical reactions. In Earth's upper atmosphere (the stratosphere), O<sub>3</sub> helps by absorbing much of the sun's ultraviolet radiation, but in the lower atmosphere (the



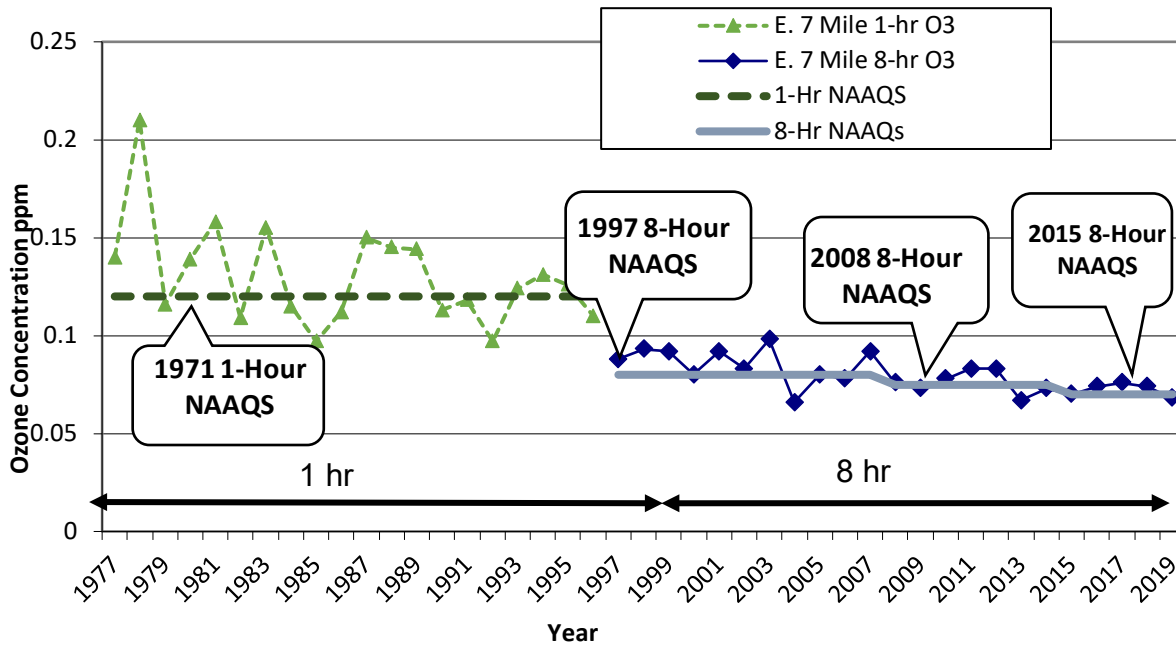
troposphere), ozone is an air pollutant. O<sub>3</sub> is also a key ingredient of urban smog and can be transported hundreds of miles under certain meteorological conditions. Ozone levels are often higher in rural areas than in cities due to transport to regions downwind from the actual emissions of NO<sub>x</sub> and VOCs. Shoreline monitors along Lake Michigan often measure high ozone concentrations due to transport from upwind states. The ozone NAAQS was revised by the USEPA and became effective in November 2015. It is a 3-year average of the 4th highest daily maximum 8-hour average concentration that must not exceed 0.070 ppm. The sources and effects of ozone follow.

**Sources:** Major sources of NO<sub>x</sub> and VOCs are engine exhaust, emissions from industrial facilities, combustion from power plants, gasoline vapors, chemical solvents, and biogenic emissions from natural sources. Ground-level O<sub>3</sub> can also be transported hundreds of miles under certain wind regimes. As a result, the long-range transport of air pollutants impacts the air quality of regions downwind from the actual area of formation.

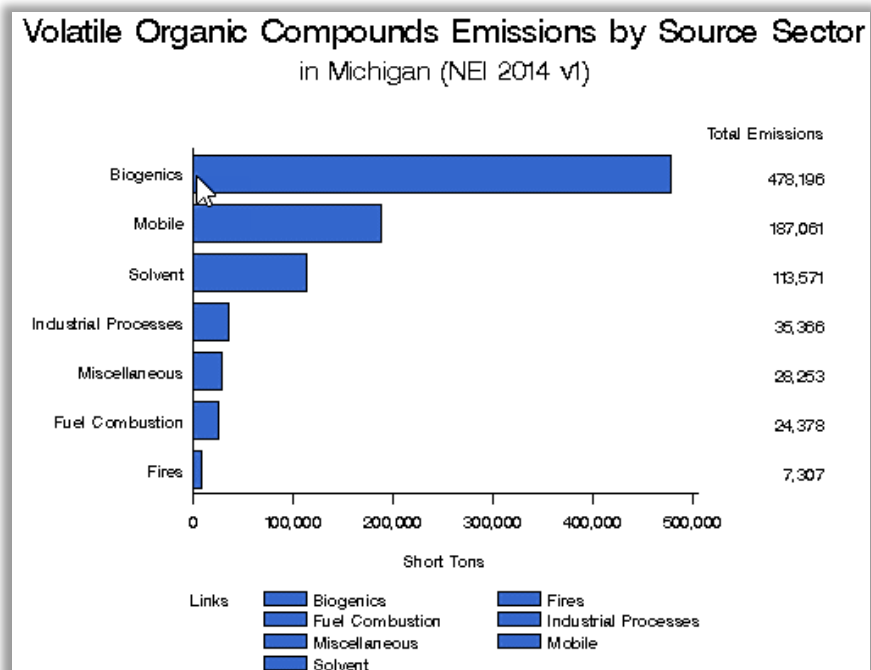
**Effects:** Elevated O<sub>3</sub> exposure can irritate airways, reduce lung function, aggravate asthma and chronic lung diseases like emphysema and bronchitis, and inflame and damage the cells lining the lungs. Other effects include increased respiratory related hospital admissions with symptoms such as chest pain, shortness of breath, throat irritation, and cough. O<sub>3</sub> may also reduce the immune system's ability to fight off bacterial infections in the respiratory system, and long-term, repeated exposure may cause permanent lung damage. O<sub>3</sub> also impacts vegetation and forest ecosystems, including agricultural crop and forest yield reductions, diminished resistance to pests and pathogens, and reduced survivability of tree seedlings.

**Population most at risk:** Individuals most susceptible to the effects of O<sub>3</sub> exposure include those with a pre-existing or chronic respiratory disease, children who are active outdoors and adults who actively exercise or work outdoors.

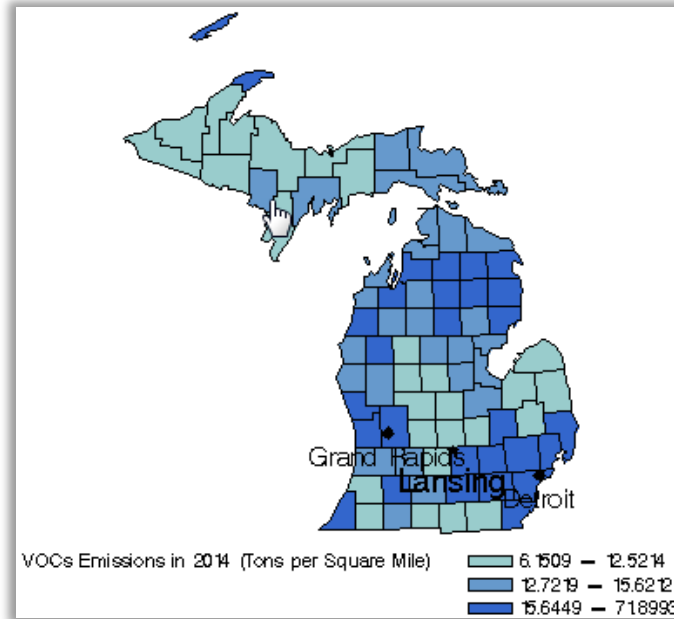
**Historical Trends:** Southeast Michigan has been monitoring for ozone for over 40 years. **Figure 6.1** shows the ozone levels at the Detroit E. 7 Mile Road site. This graph shows how the standard changed from a 1-hour average of 0.120 ppm to an 8-hour average of 0.08 ppm in 1997. The standard was further lowered to 0.075 ppm in 2008 and to 0.070 ppm at the end of 2015. Ozone depends on weather conditions, so ozone concentrations are more variable than other pollutants. Ozone is also monitored primarily in warmer months. In the 2015 NAAQS, the ozone season was extended to by two months to March 1 to October 31.

**Figure 6.1: Historical 1-hour and 8-hour Ozone at E. 7 Mile**

Figures 6.2 and 6.3 show VOC emission sources and VOC emissions by county (courtesy of the USEPA's State and County Emission Summaries).

**Figure 6.2: VOC Emissions by Source Sector**

**Figure 6.3: VOC Emissions in 2014**



**Figure 6.4** shows all O<sub>3</sub> air quality monitors active in Michigan at the beginning of the 2019 ozone season.

- Background site monitors: Houghton Lake, Scottville, Seney.
- Transport site monitors: Benzonia, Coloma, Harbor Beach, Holland, Muskegon, Tecumseh.
- Tribal site: Manistee
- Population-oriented monitors: all other sites.

**Figure 6.4: Ozone Monitors in 2019**



**Table 6.1** shows the three-year averages of ozone. The USEPA uses these values (called design values) to determine attainment/nonattainment areas. In 2016, several monitors violated the 2015 standard of 0.070 ppm. The AQD recommended several counties be designated as nonattainment. The USEPA made their final designations for the 2015 standard on April 30, 2018 (effective August 3, 2018) based on 2014-2016 data. Livingston, Macomb, Monroe, Oakland, St. Clair, Washtenaw, and Wayne Counties were designated nonattainment in Southeast Michigan, and all of Berrien County, and portions of Allegan and Muskegon Counties were designated nonattainment in Western Michigan. In 2019 Berrien County was below the standard and a redesignation request was submitted to the USEPA in January of 2020.

The O<sub>3</sub> monitoring season in Michigan is from March 1 through October 31. During this time O<sub>3</sub> monitoring data is available for the public via the AQD's website (discussed in **Chapter 1**). However, year-round O<sub>3</sub> monitoring is conducted at the following four sites: Allen Park, Grand Rapids, Houghton Lake, and Lansing. This data helps in attainment designations, and urban air quality and population exposure assessments.

**Table 6.1: 3-Year Average of the 4th Highest 8-hour Ozone Values from 2015-2017, 2016-2018, 2017-2019 (concentrations in ppm)**

Areas	County	Monitor Sites	2015-2017	2016-2018	2017-2019
Detroit-Ann Arbor	Lenawee	Tecumseh	0.066	0.068	0.065
	Macomb	New Haven	<b>0.071</b>	<b>0.072</b>	0.068
		Warren	0.066	0.069	0.066
	Oakland	Oak Park	0.070	<b>0.073</b>	0.070
	St. Clair	Port Huron	<b>0.071</b>	<b>0.072</b>	<b>0.071</b>
	Washtenaw	Ypsilanti	0.067	0.069	0.066
	Wayne	Allen Park	0.066	0.068	0.066
		E. 7 Mile	<b>0.073</b>	<b>0.074</b>	<b>0.072</b>
Flint	Genesee	Flint	0.067	0.068	0.064
		Otisville	0.067	0.068	0.063
Grand Rapids	Ottawa	Jenison	0.068	0.070	0.067
	Kent	Grand Rapids	0.068	0.070	0.066
		Evans	0.067	0.068	0.064
Muskegon Co	Muskegon	Muskegon	<b>0.074</b>	<b>0.076</b>	<b>0.074</b>
Allegan Co	Allegan	Holland	<b>0.073</b>	<b>0.073</b>	<b>0.072</b>
Huron	Huron	Harbor Beach	0.067	0.068	0.064
Kalamazoo-Battle Creek	Kalamazoo	Kalamazoo	0.069	<b>0.071</b>	0.066
Lansing-East Lansing	Ingham	Lansing	0.067	0.068*	0.063
	Clinton	Rose Lake	0.066*	0.069*	0.062
Benton Harbor	Berrien	Coloma	<b>0.073</b>	<b>0.073</b>	0.069
Benzie Co	Benzie	Benzonia	0.065	0.068	0.063
Cass Co	Cass	Cassopolis	<b>0.072</b>	<b>0.074</b>	0.070
Mason Co	Mason	Scottville	0.068	0.068	0.063
Missaukee Co	Missaukee	Houghton	0.066	0.067	0.062
Manistee Co	Manistee	Manistee	0.067	0.066	0.064
Schoolcraft Co	Schoolcraft	Seney	0.067	0.064	0.059

Numbers in bold indicate 3-year averages over the 2015 ozone standard of 0.070 ppm.

\*The three-year average is using data averaged from sites that were moved.

**Tables 6.2 and 6.3** highlight the number of days when two or more O<sub>3</sub> monitors exceeded 0.070 ppm. It also specifies in which month they occurred and the temperature range.

**Table 6.2: 2019 West Michigan Ozone Season**

Daily High Temperature Range		2019 WEST MICHIGAN OZONE SEASON															
		March		April		May		June		July		August		September		October	
		Days	O <sub>3</sub> Days	Days	O <sub>3</sub> Days	Days	O <sub>3</sub> Days	Days	O <sub>3</sub> Days	Days	O <sub>3</sub> Days	Days	O <sub>3</sub> Days	Days	O <sub>3</sub> Days	Days	O <sub>3</sub> Days
90	>= 95	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
85	<= 94	0	0	0	0	0	0	0	0	7	2	0	0	0	0	0	0
80	<= 89	0	0	0	0	0	0	4	0	9	0	10	0	3	0	0	0
75	<= 84	0	0	0	0	0	0	7	0	12	0	11	0	7	0	0	0
70	<= 79	0	0	1	0	7	0	8	0	3	0	5	0	3	0	1	0
65	<= 74	0	0	3	0	6	0	6	0	0	0	5	0	9	0	3	0
60	<= 69	0	0	5	0	6	0	3	0	0	0	0	0	7	0	6	0
55	<= 64	1	0	5	0	3	0	2	0	0	0	0	0	1	0	3	0
50	<= 59	3	0	3	0	7	0	0	0	0	0	0	0	0	0	6	0
45	<= 54	2	0	4	0	1	0	0	0	0	0	0	0	0	0	8	0
40	<= 49	25	0	9	0	1	0	0	0	0	0	0	0	0	0	4	0
Totals		31	0	30	0	31	0	30	0	31	2	31	0	30	0	31	0

**Days:** Number of days during month when the daily high temperature falls within the specified temperature range.

**O<sub>3</sub> Days:** Number of days, during specified temperature range, when two or more area monitors exceeded 70 ppb.

For West Michigan, there were two O<sub>3</sub> exceedance days in July when ozone exceeded 0.070 ppm at two or more ozone monitors. The temperatures for those days ranged between 90°F and 94°F.

**Table 6.3: 2019 Southeast Michigan Ozone Season**

Daily High Temperature Range		2019 SOUTHEAST MICHIGAN OZONE SEASON															
		March		April		May		June		July		August		September		October	
		Days	O <sub>3</sub> Days	Days	O <sub>3</sub> Days	Days	O <sub>3</sub> Days	Days	O <sub>3</sub> Days	Days	O <sub>3</sub> Days	Days	O <sub>3</sub> Days	Days	O <sub>3</sub> Days	Days	O <sub>3</sub> Days
90	>= 95	0	0	0	0	0	0	0	0	1	0	0	0	0	0	0	0
85	<= 94	0	0	0	0	0	0	2	0	8	1	0	0	0	0	0	0
80	<= 89	0	0	0	0	1	0	3	1	10	0	9	0	5	0	1	0
75	<= 84	0	0	0	0	3	0	3	0	10	0	12	0	2	0	0	0
70	<= 79	0	0	0	0	2	0	12	0	2	0	8	0	11	0	0	0
65	<= 74	0	0	3	0	6	0	6	0	0	0	2	0	8	0	6	0
60	<= 69	1	0	5	0	9	0	2	0	0	0	0	0	3	0	4	0
55	<= 64	1	0	3	0	4	0	2	0	0	0	0	0	1	0	9	0
50	<= 59	1	0	6	0	1	0	0	0	0	0	0	0	0	0	6	0
45	<= 54	3	0	4	0	5	0	0	0	0	0	0	0	0	0	3	0
40	<= 49	25	0	9	0	0	0	0	0	0	0	0	0	0	0	2	0
Totals		31	0	30	0	31	0	30	1	31	1	31	0	30	0	31	0

**Days:** Number of days during month when the daily high temperature falls within the specified temperature range.

**O<sub>3</sub> Days:** Number of days, during specified temperature range, when two or more area monitors exceeded 70 ppb.

For Southeast Michigan, there was one day each in June and July when ozone exceeded 0.070 ppm at two or more ozone monitors. The temperature for those days ranged between 85°F and 94°F.



**Table 6.4** gives a breakdown of the O<sub>3</sub> days and the specific monitors that went over the standard in western, central/upper, and eastern Michigan in 2019.

**Table 6.4: Monitors with 8-Hour Exceedances (>0.070 ppm) of the Ozone Standard**

Date	Western Michigan	Central / Upper Michigan	Eastern Michigan	Total
6/27/2019	Manistee		E. Seven Mile, Oak Park	3
7/1/2019			E. 7 Mile	1
7/2/2019	Coloma, Holland			2
7/5/2019	Holland			1
7/10/2019	Coloma, Holland, Muskegon		E. 7 Mile, New Haven, Port Huron	6
7/15/2019			Oak Park	1
7/27/2019			Port Huron	1
7/28/2019	Holland			1
8/12/2019			Port Huron	1
<b>TOTAL</b>				<b>17</b>

On July 10, 2019, there were 6 monitors and on June 27, 2019, there were 3 monitor readings that exceeded the level of the standard. The site with the most exceedances in the western region of Michigan was Holland with four. The central/upper Michigan sites had no exceedances. Port Huron and E. 7 Mile had 3 exceedances each in eastern Michigan

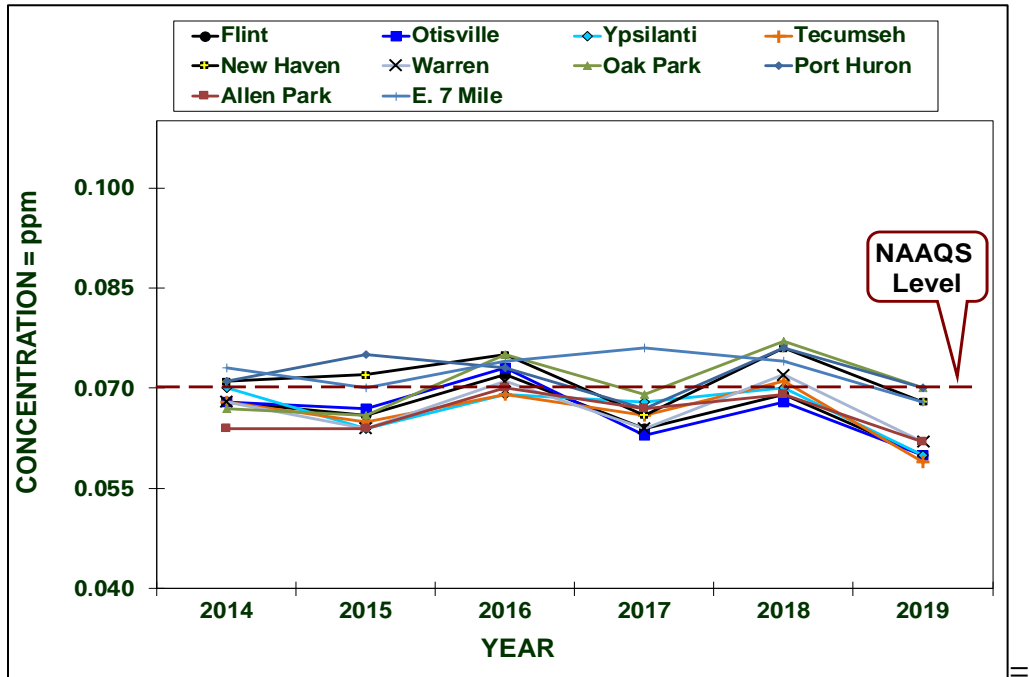
**Figure 6.5** shows the 4th highest 8-hour O<sub>3</sub> values for Southeast Michigan monitoring sites from 2014-2019. Detroit-E. 7 Mile and Port Huron site violated the 3-year standard.

**Figure 6.6** shows the 4th highest 8-hour O<sub>3</sub> values for Grand Rapids-Muskegon-Holland CSA. Muskegon and Holland violated the 3-year standard.

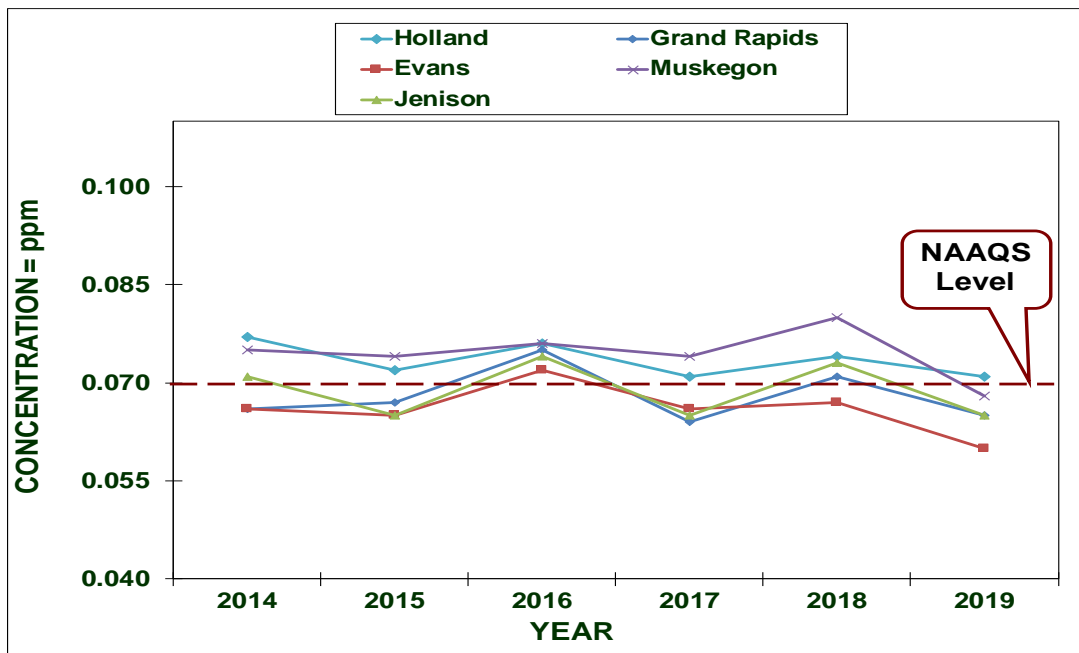
**Figure 6.7** shows 4th highest 8-hour O<sub>3</sub> values for mid-Michigan. Coloma and Kalamazoo violated the 3-year standard.

**Figure 6.8** shows 4th highest 8-hour O<sub>3</sub> values for Northern Lower and Upper Peninsula. No sites violated the 3-year standard.

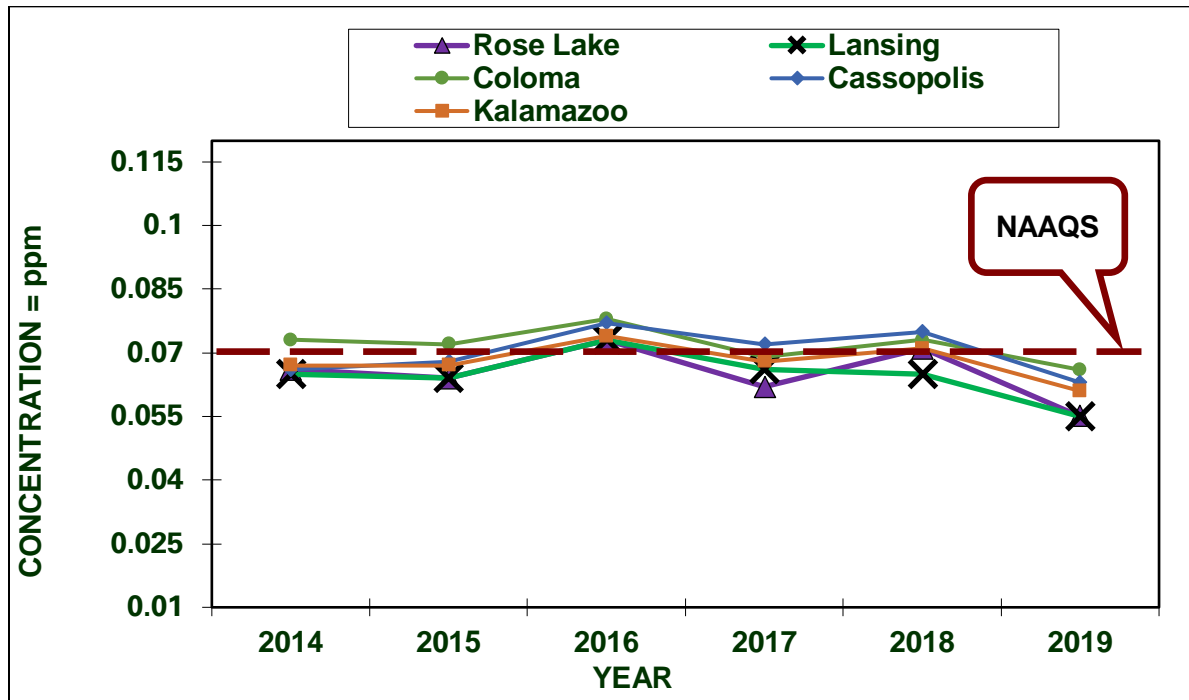
**Figure 6.5: O<sub>3</sub> Levels in Detroit-Warren-Flint CSA from 2014-2019 - (4<sup>th</sup> Highest 8-Hour O<sub>3</sub> Values).**



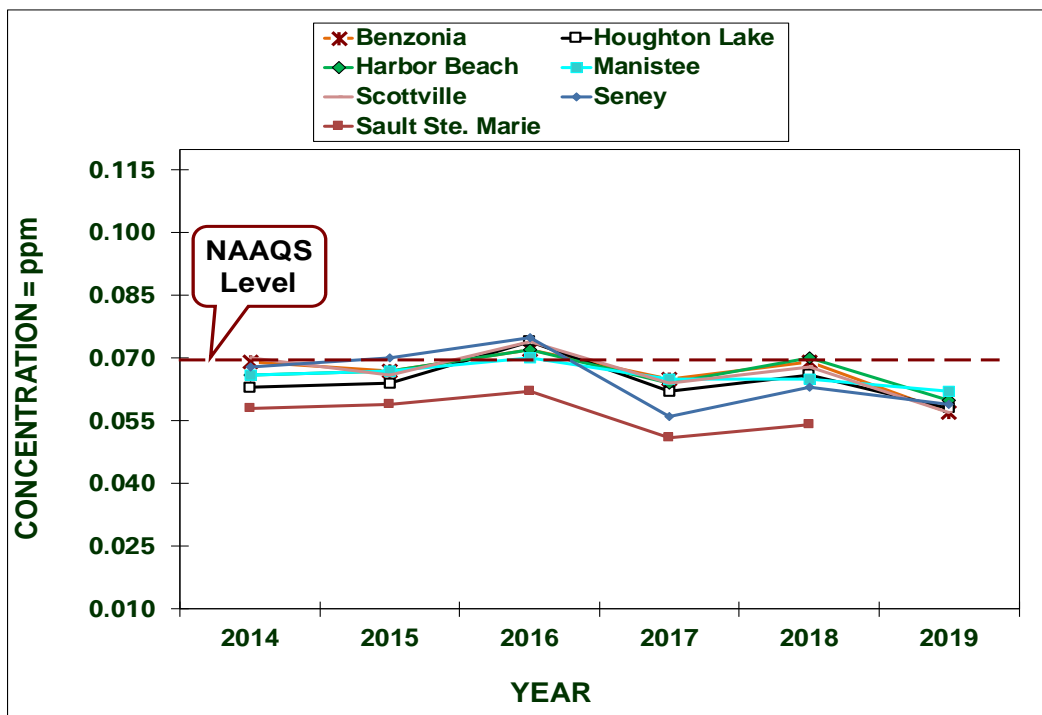
**Figure 6.6: O<sub>3</sub> Levels in the Grand Rapids-Muskegon-Holland CSA from 2014-2019 (4<sup>th</sup> Highest 8-Hour O<sub>3</sub> Values)**



**Figure 6.7: O<sub>3</sub> Levels in the Kalamazoo-Portage MSA, Lansing-E. Lansing-Owosso CSA, Niles-Benton Harbor MSA, & South Bend-Mishawaka (IN-MI) MSAs from 2014-2019 (4th Highest 8-Hour O<sub>3</sub> Values)**



**Figure 6.8: O<sub>3</sub> Levels in MI's Northern Lower and Upper Peninsula Areas from 2014-2019 (4th Highest 8-Hour O<sub>3</sub> Values)**



## CHAPTER 7: PARTICULATE MATTER (PM<sub>10</sub>, PM<sub>10-2.5</sub>, PM<sub>2.5</sub>, PM<sub>2.5</sub> CHEMICAL SPECIATION AND TSP)

Particulate matter (PM) is a general term used for a mixture of solid particles and liquid droplets (aerosols) found in the air. These are further categorized according to size; larger particles with diameters of less than 50 micrometers (µm) are classified as total suspended particulates (TSP). PM<sub>10</sub> consists of “coarse particles” less than 10 µm in diameter (about one-seventh the diameter of a human hair) and PM<sub>2.5</sub> are much smaller “fine particles” equal to or less than 2.5 µm in diameter. PM<sub>10</sub> has a 24-hour average standard of 150 µg/m<sup>3</sup> not to be exceeded more than once per year over 3 years. PM<sub>2.5</sub> has an annual average standard of 12 µg/m<sup>3</sup>, and a 98<sup>th</sup> percentile 24-hour concentration of 35 µg/m<sup>3</sup> averaged over 3 years. The sources and effects of PM are as follows:

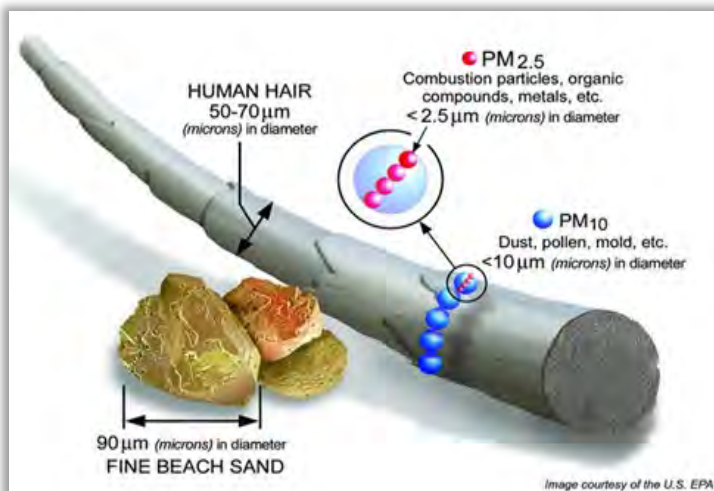
**Sources:** PM can be emitted directly (primary) or may form in the atmosphere (secondary).

Most man-made particulate emissions are classified as TSP. PM<sub>10</sub> consists of primary particles that can originate from power plants, various manufacturing processes, wood stoves and fireplaces, agriculture and forestry practices, fugitive dust sources (road dust and windblown soil), and forest fires. PM<sub>2.5</sub> can come directly from primary particle emissions or through secondary reactions that include VOCs, SO<sub>2</sub>, and NO<sub>x</sub> emissions originating from power plants, motor vehicles (especially diesel trucks and buses), industrial facilities, and other types of combustion sources.

**Effects:** Exposure to PM can aggravate existing cardiovascular ailments and even cause death in susceptible populations. PM may affect breathing and the cellular defenses of the lungs and has been linked with heart and lung disease. Smaller particles (PM<sub>10</sub> or smaller) pose the greatest problems, because they can penetrate deep in the lungs and possibly into the bloodstream. PM is the major cause of reduced visibility in many parts of the United States. PM<sub>2.5</sub> is considered a primary visibility-reducing component of urban and regional haze. Airborne particles impact vegetation ecosystems and damage paints, building materials and surfaces. Deposition of acid aerosols and salts increases corrosion of metals and impacts plant tissue.

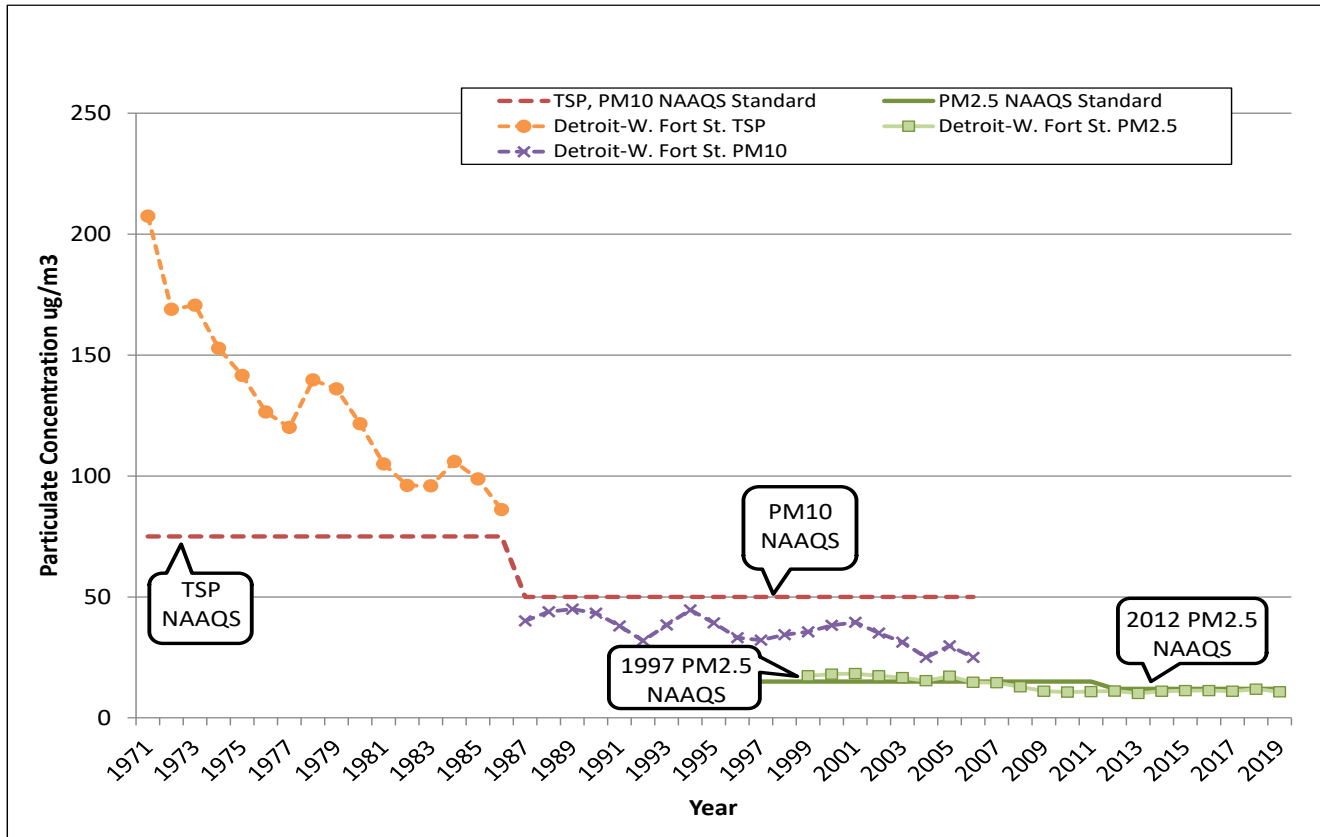
**Population most at risk:** People with heart or lung disease, the elderly, and children are at highest risk from exposure to PM.

**Historical Trends:** Southeast Michigan has been monitoring for particulate for over 40 years. **Figure 7.1** shows the trends for particulate matter. In 1971, the USEPA promulgated an annual and 24-hour particulate standard based on total suspended particulates (TSP). In 1987, the USEPA changed the standard to PM<sub>10</sub>. Health studies indicated that particles smaller than 10 microns affect respiration. In 1997, the USEPA added additional NAAQS for a smaller particle fraction size, PM<sub>2.5</sub>, which can get deeper into the lungs and possibly into the blood stream. In 2006, the USEPA revoked the PM<sub>10</sub> annual standard but kept the PM<sub>10</sub> 24-hour standard. The PM<sub>2.5</sub> 24-hour standard was also reduced from 65 µg/m<sup>3</sup> to 35 µg/m<sup>3</sup>. In 2012, the USEPA reduced the annual standard from 15 µg/m<sup>3</sup> to 12 µg/m<sup>3</sup>.



Particulate trends show that particulate concentrations have decreased, and the state is in compliance for all particulate NAAQS; however, Michigan has had past nonattainment issues in Southeast Michigan for TSP, PM<sub>10</sub> and PM<sub>2.5</sub>.

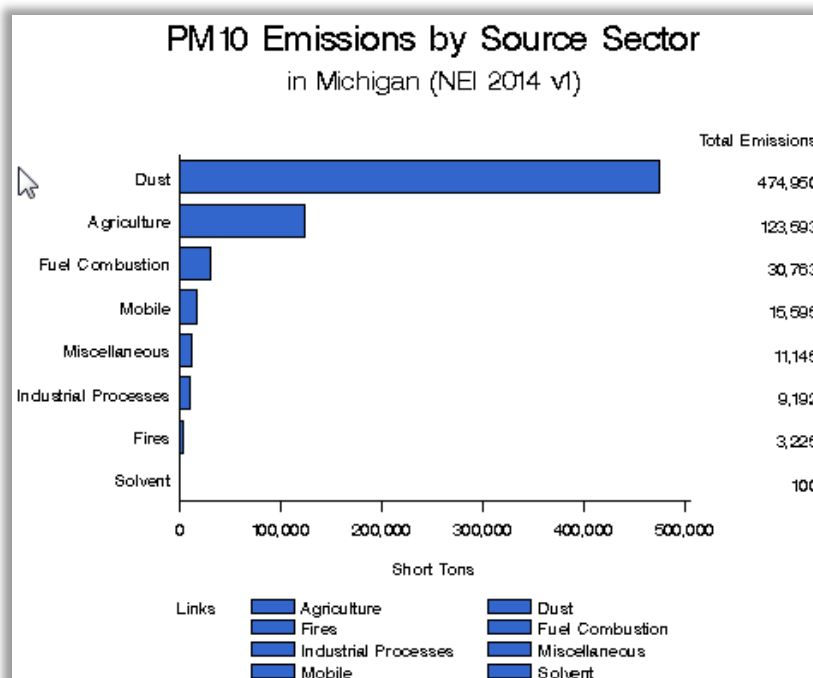
**Figure 7.1: Historical Annual Particulate Matter at W. Fort St. (SWHS)**



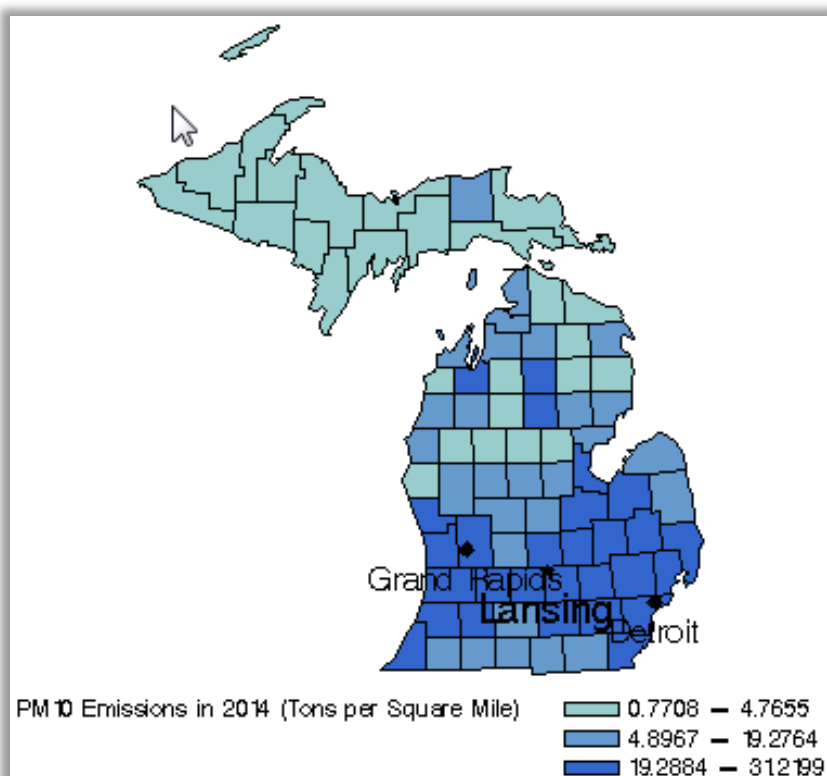
**PM<sub>10</sub>**

Figures 7.2 and 7.3 show PM<sub>10</sub> emission sources and PM<sub>10</sub> emissions by county (courtesy of the USEPA's State and County Emission Summaries).

**Figure 7.2: PM<sub>10</sub> Emissions by Source Sector**



**Figure 7.3: PM<sub>10</sub> Emissions in 2014**





Since October 1996, all areas in Michigan have been in attainment with the  $PM_{10}$  NAAQS. Due to the recent focus upon  $PM_{2.5}$  and because of the relatively low concentrations of  $PM_{10}$  measured in recent years, Michigan's  $PM_{10}$  network has been reduced to a minimum level. Table 1-3 identifies the locations of  $PM_{10}$  monitoring stations that were operating in Michigan during 2016. These monitors are located mostly in the state's largest populated urban areas: three in the Detroit area and two in Grand Rapids. To better characterize the nature of particulate matter in Michigan, many of the existing  $PM_{10}$  monitors are co-located with  $PM_{2.5}$  monitors in population-oriented areas.

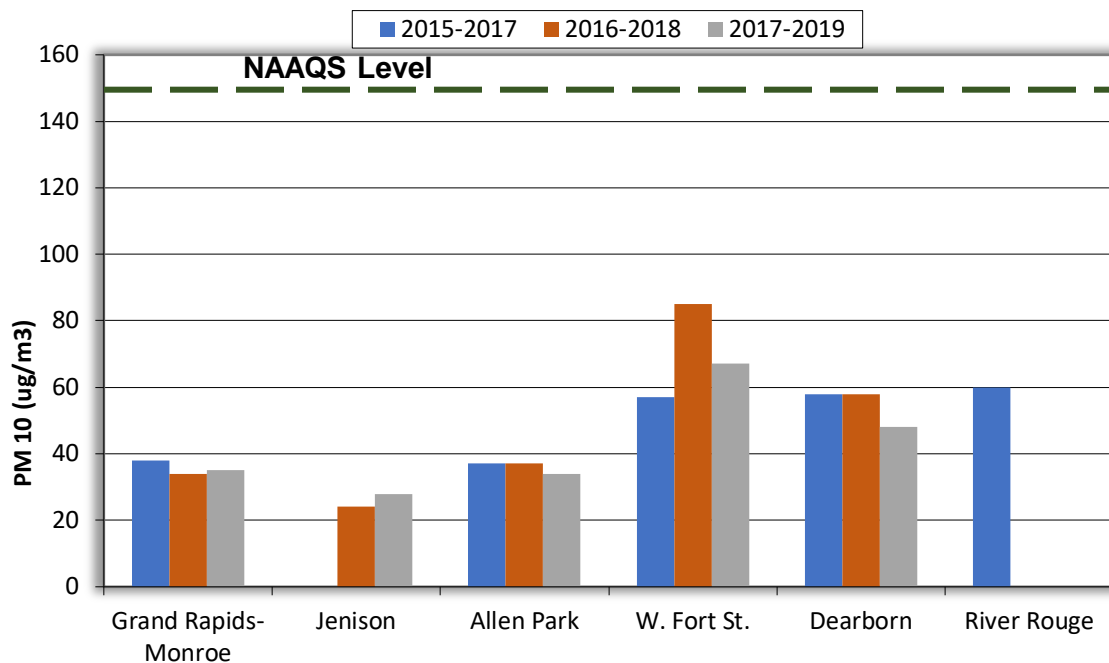
**Figure 7.4** shows the location of each  $PM_{10}$  monitor. All  $PM_{10}$  monitors are population-oriented monitors. A second  $PM_{10}$  monitor was added to the Grand Rapids area in Jenison (**Figure 7.5**) based on the USEPA's population requirements.

**Figure 7.4:  $PM_{10}$  Monitors in 2019**



**Figure 7.6** shows the  $PM_{10}$  levels in Michigan compared to the 24-hour average NAAQS of  $150 \mu\text{g}/\text{m}^3$ . This standard must not be exceeded on average more than once per year over a 3-year period. The design value is the 4<sup>th</sup> highest value over a 3-year period. The  $PM_{10}$  levels at all sites in Michigan are well below the national standard.

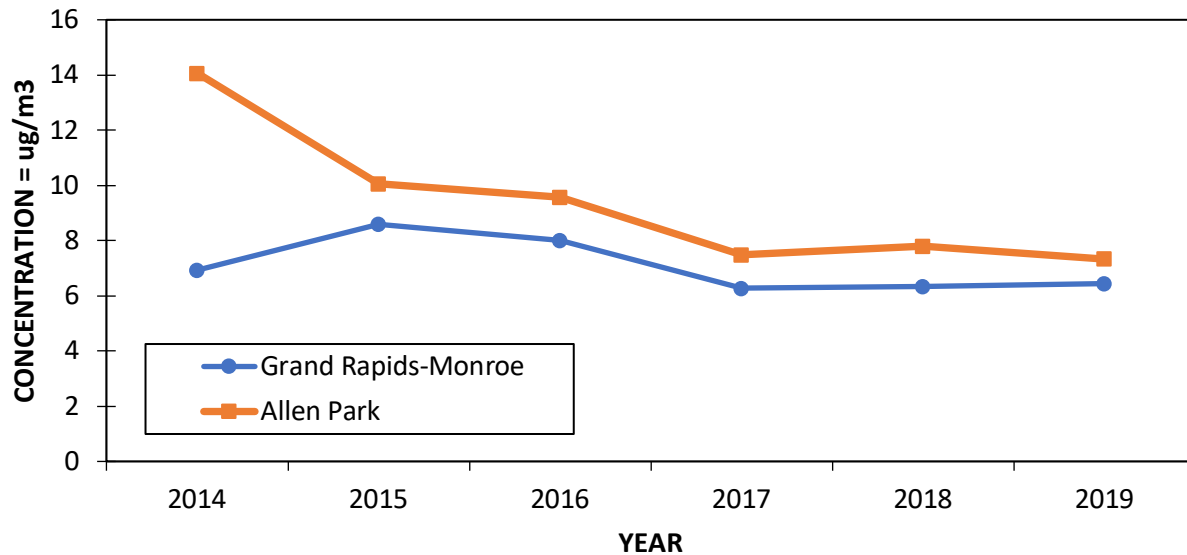
**Figure 7.6: 24-Hour  $PM_{10}$  Design Value**



### $PM_{10-2.5}$

The 2006 amended air monitoring regulations specified that measurements of PM course ( $PM_{10-2.5}$ ) needed to be added to the NCore sites.<sup>5</sup> EGLE began PM course monitoring at Allen Park and Grand Rapids-Monroe Street in 2010. **Figure 7.7** shows the  $PM_{10-2.5}$  levels in Michigan.

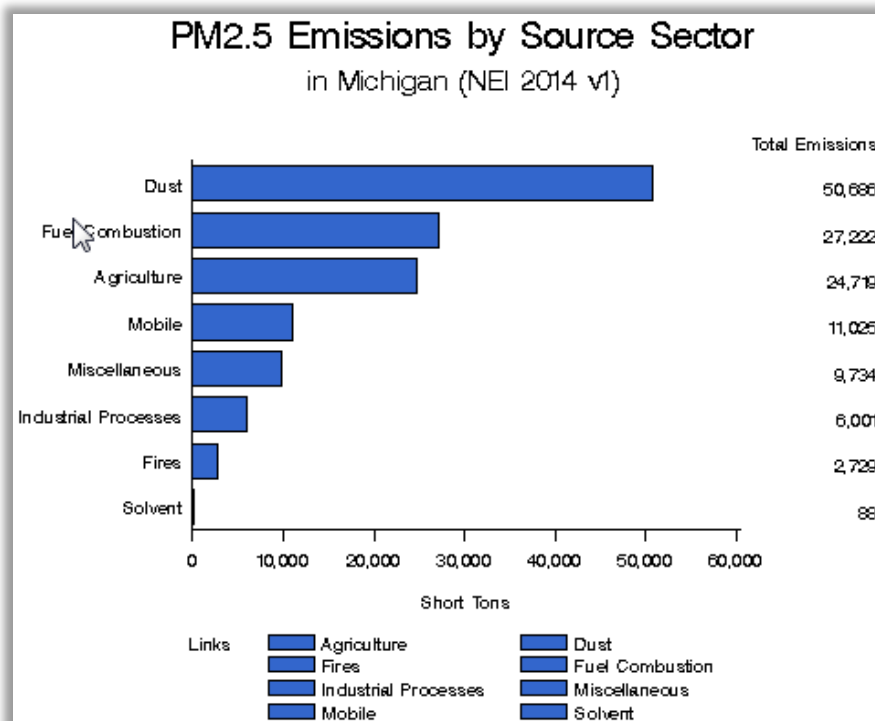
<sup>5</sup> Current information can be found at [www3.epa.gov/ttn/amtic/ncoreguidance.html](http://www3.epa.gov/ttn/amtic/ncoreguidance.html).

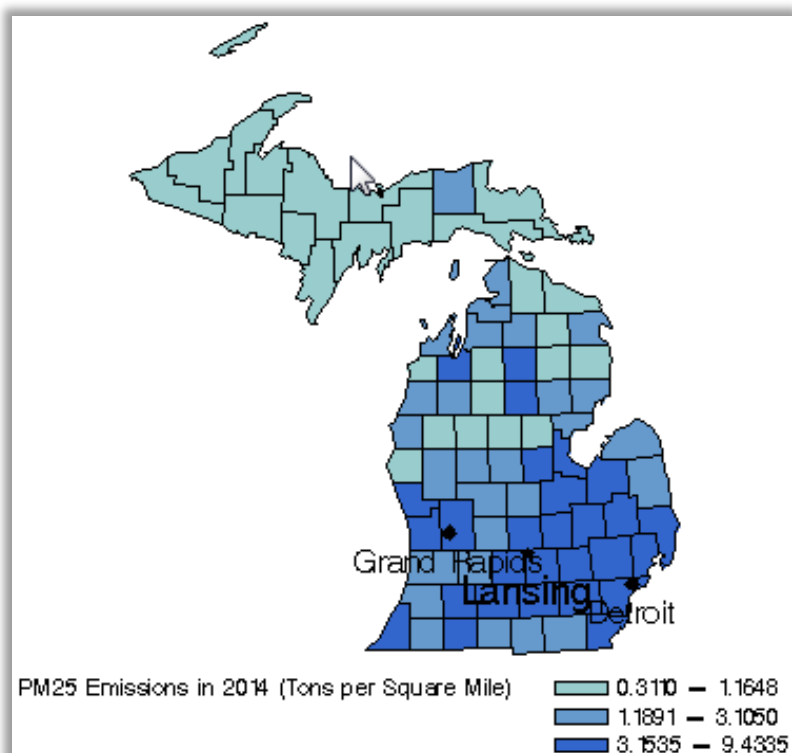
**Figure 7.7: PM Coarse Levels in Michigan from 2014-2019 (Annual Arithmetic Mean)**

### PM<sub>2.5</sub>

In December 2012, the USEPA revised the annual primary standard to 12  $\mu\text{g}/\text{m}^3$  while the annual secondary standard remained at 15  $\mu\text{g}/\text{m}^3$ . The primary and secondary 24-hour standard remained at 35  $\mu\text{g}/\text{m}^3$ . In December 2014, the USEPA determined that no area in Michigan violated the 2012 standard and the state was classified as unclassifiable/attainment.

**Figures 7.8 and 7.9** show PM<sub>2.5</sub> emission sources and PM<sub>2.5</sub> emissions by county (from the USEPA's State and County Emission Summaries).

**Figure 7.8: PM<sub>2.5</sub> Emissions by Source Sector**

**Figure 7.9: PM<sub>2.5</sub> Emissions in 2014**

Fine particulate matter (PM<sub>2.5</sub>) is measured using three techniques: a filter-based Federal Reference Method (FRM), Continuous Methods, and Chemical Speciation Methods. These methods are described in more detail in Appendix A.

**Figure 7.10** shows the location of each PM<sub>2.5</sub> monitor.

**PM<sub>2.5</sub> FRM Monitoring Network:** PM<sub>2.5</sub> FRM filter-based monitors are deployed to characterize background or regional PM<sub>2.5</sub> transport collectively from upwind sources as well as population-oriented sites. Several changes occurred in the FRM network in 2019.

- Loss of site access shut down: Livonia Near-road and Livonia was shut down July 2019, but a suitable replacement site for the near-road site has not been found yet.
- Monitors shut down: Livonia, Linwood, Wyandotte, and Eliza Howell-downwind were shut down to reduce costs and workload. Eliza Howell-downwind also is not required for near-road monitoring. Sault Ste. Marie was shutdown February 2019 due to funding.
- Collocation sites: Five PM<sub>2.5</sub> FRM monitoring sites are co-located with PM<sub>10</sub> monitors to allow for PM<sub>2.5</sub> and PM<sub>10</sub> comparisons.<sup>6</sup> Co-located PM<sub>10</sub> and PM<sub>2.5</sub> sites include Grand Rapids-Monroe, Dearborn, Allen Park, Detroit's W. Fort Street (SWHS), and newly added site, Jenison.
- Change in sampling frequency: The sampling frequency at Allen Park was reduced from daily to 1 in 3-day sampling.
- Switched FRMs to BAMs: Houghton Lake and Tecumseh were switched to BAMs since the USEPA is reducing the funding for FRMs.

**Figure 7.10: PM<sub>2.5</sub> Monitors in 2019**



<sup>6</sup> Requirements for PM<sub>2.5</sub> FRM sites are obtained from the Revised Requirements for Designation of Reference and Equivalent Methods for PM<sub>2.5</sub> and Ambient Air Quality Surveillance for PM [62 FR 38763]; Guidance for Using Continuous Monitors in PM<sub>2.5</sub> Monitoring Networks [EPA-454/R-98-012, May 1998]; and Appendix N to Part 50 - Interpretation of the National Ambient Air Quality Standards for PM [40 CFR Part 50, July 1, 1998].

**Continuous PM<sub>2.5</sub> Network:** Short-term measurements of PM<sub>2.5</sub> or PM<sub>10</sub> are updated on an hourly basis using TEOM or BAM instruments. At least one continuous monitor is required at the NCore PM<sub>2.5</sub> monitoring site in a metropolitan area with a population greater than one million. Both Detroit (Allen Park) and Grand Rapids (Monroe) meet this requirement.<sup>7</sup> Under the revised 2006 air monitoring regulations, 50 percent of the FRM monitoring sites are now required to have a continuous PM<sub>2.5</sub> monitor. For Michigan, there are 22 FRM monitoring sites, 12 of which also had TEOMs or BAMs.

- BAMS replaced TEOMS: Tecumseh and Houghton Lake stopped running the FRMs on January 1, 2019 and the BAMs will be used for NAAQS comparison. Seney was formerly running a TEOM and by changing it to a BAM, it will be used for NAAQS comparison in the Upper Peninsula of Michigan starting January 1, 2019. The Sault Ste. Marie tribal monitor site, also in the Upper Peninsula was running a BAM until February 2019 when funding was discontinued at that site. A BAM replaced the TEOM at Ypsilanti but continues to be collocated with an FRM.
- GHB project: DP4th Precinct, Trinity, and Military Park; also, the PM<sub>2.5</sub> BAM monitor was added to Detroit-W. Fort St. as a special project for the Gordie Howe International Bridge construction.

**Speciation Monitors:** Speciation monitors consist of filter-based, 24-hour monitors and continuous speciation aethalometers. Continuous monitors are used to determine diurnal changes in PM<sub>2.5</sub> composition.

- 24-hour speciation monitors: Allen Park and Grand Rapids (NCore sites), Dearborn (NATTS site), and Detroit-W. Fort St. The Tecumseh speciation monitor was shut down in 2019. These monitors are placed in population-oriented stations in both urban and rural locations. PM<sub>2.5</sub> chemical speciation samples are collected over a 24-hour period and analyzed to determine various components of PM<sub>2.5</sub>. The primary objectives of the chemical speciation monitoring sites are to provide data that will be used to determine sources of poor air quality and to support the development of attainment strategies. Historical speciation data for Michigan indicates that PM<sub>2.5</sub> is made up of 30 percent nitrate compounds, 30 percent sulfate compounds, 30 percent organic carbon,<sup>8</sup> and 10 percent unidentified or trace elements.
- Aethalometers: Allen Park, Dearborn, and the GHB project (DP4th Precinct, Trinity, Military Park, and Detroit-W. Fort St. started in 2018). These continuous monitors measure black carbon, a combustion by-product typical of transportation sources.

**Figure 1.3** in [Chapter 1](#) shows all of Michigan's PM<sub>2.5</sub> FRM monitoring stations operating in 2019 and denotes which sites have TEOM, BAM, Speciation, or Aethalometer monitors in operation.

<sup>7</sup> Under the Guidance for Using Continuous Monitors in PM<sub>2.5</sub> Monitoring Networks [EPA-454/R-98-012, May 1998].

<sup>8</sup> To better understand the chemical composition of the organic carbon fraction, several studies have been conducted in Southeast Michigan to further investigate organic carbon. Information can be found in the Michigan 2012 Ambient Air Monitoring Network Review, available at [http://www.michigan.gov/documents/deq/deq-aqd-aqe-2012-Air-Mon-Network-Review\\_357137\\_7.pdf](http://www.michigan.gov/documents/deq/deq-aqd-aqe-2012-Air-Mon-Network-Review_357137_7.pdf)



**Table 7.1** provides the design value, the 3-year average of the annual mean PM<sub>2.5</sub> concentrations for 2017-2019. Michigan's levels are below the 12 µg/m<sup>3</sup> primary standard.<sup>9</sup>

Stations labeled #2 provide a precision estimate of the overall measurement and operate on a one-in-six sampling schedule. All other monitors are sampled on a one-in-three-day schedule. Allen Park samples daily but was switched to a one-in-three-day schedule in July 2019.

<b>Table 7.1: 3-Year Average of the Annual Mean PM<sub>2.5</sub> Concentrations</b>						
Areas	County	Monitoring Sites	2017	2018	2019	2017-2019 Mean
Detroit-Ann Arbor	Lenawee	Tecumseh	7.34	7.96	8.50	8.1
	Livingston					
	Macomb	New Haven	7.41	7.82	7.30	7.5
	Oakland	Oak Park	8.11	8.27	7.74	8.0
	St. Clair	Port Huron	8.01	8.09	7.64	7.9
	Washtenaw	Ypsilanti #1	7.93	8.35	8.33	8.2
		Ypsilanti #2	8.32	8.81	7.57	8.2
	Wayne	Allen Park	8.47	9.14	8.69	8.8
		Detroit-Linwood	8.99	8.86		8.9
		Detroit-E. 7 Mile	7.88	8.40	7.61	8.0
		Detroit-W. Fort St.	11.01	11.89	10.76	11.2
		Detroit-W. Lafayette	7.93*	8.87*		8.4
		Wyandotte	7.18	8.02		7.6
		Dearborn #1	10.57	10.80	9.90	10.4
		Dearborn #2	10.82	11.06	9.08	10.3
		Livonia	7.98	7.45*		7.9
		Livonia-Roadway	7.60	9.10	8.36*	8.3
Flint	Genesee	Flint	7.10	7.33	6.81	7.3
	Lapeer					
Grand Rapids	Ottawa	Jenison		8.32*	8.30	8.3
	Kent	Grand Rapids-Wealthy	9.15			9.0
		Grand Rapids #1	8.12	8.45	8.20	8.2
		Grand Rapids #2	8.31	8.93	7.2*	8.2
Allegan Co	Allegan	Holland	7.49	7.61	7.15	7.4
Monroe Co	Monroe	Luna Pier				
		Sterling State Park	7.71			7.7
Kalamazoo-Battle Creek	Calhoun					
	Kalamazoo	Kalamazoo #1	8.03	8.47	7.35*	7.9
		Kalamazoo #2	8.36	8.68	6.83	8.0
	Van Buren					
Lansing-East Lansing	Ingham	Lansing	7.23	7.73**	7.27*	7.5*
	Clinton					
	Eaton					
Benton Harbor	Berrien	Coloma	7.99			7.7
Bay Co	Bay	Bay City	6.75	7.15	6.78	6.9
Missaukee Co	Missaukee	Houghton Lake	4.81	5.42	5.8*	5.4
Manistee Co	Manistee	Manistee	5.84	6.13	4.93*	5.6
Schoolcraft Co	Schoolcraft	Seney		4.1*	4.30	4.2
Chippewa Co	Chippewa	Sault Ste. Marie #1	6.10*			6.1*

\*Indicates the site does not have a complete year of data.

\*\*Indicates site was moved during the year and concentrations were averaged together for both locations

<sup>9</sup> For comparison to the standard, the average annual means is rounded to the nearest 0.1 µg/m<sup>3</sup>.

**Table 7.2** provides the 24-hour 98th percentile PM<sub>2.5</sub> concentrations for 2017-2019 showing Michigan's levels are below the 35 µg/m<sup>3</sup> standard (3-year average).<sup>10</sup>

<b>Table 7.2: 24-Hour 98th Percentile PM<sub>2.5</sub> Values Averaged over 3 Years</b>						
Areas	County	Monitoring Sites	2017	2018	2019	2017-2019 Mean
Detroit-Ann Arbor	Lenawee	Tecumseh	17.5	23.4	22.1	21
	Livingston					
	Macomb	New Haven	17.0	18.9	18.7	18
	Oakland	Oak Park	20.1	20.1	18.2	19
	St. Clair	Port Huron	19.2	19.6	20.3	20
	Washtenaw	Ypsilanti #1	18.8	21.3	21.2	20
		Ypsilanti #2	19.0	19.1	22.9	20
	Wayne	Allen Park	21.8	22.8	20.0	22
		Detroit-Linwood	25.0	18.6		22
		Detroit-E. 7 Mile	16.6	21.5	19.6	19
		Detroit-W. Fort St.	30.0	28.1	22.5	27
		Detroit-W. Lafayette	19.5	26.9		23
		Wyandotte	19.3	20.4		20
		Dearborn #1	24.5	26.1	24.0	25
		Dearborn #2	23.5	26.6	24.2	25
		Livonia	19.1	18.1		19
		Livonia-Roadway	19.0	29.0	22.8*	24
Flint	Genesee	Flint	16.8	16.9	17.5	17
Grand Rapids	Ottawa	Jenison		22.3	24.4	23
		Grand Rapids-Wealthy	26.2			24
	Kent	Grand Rapids #1	22.6	18.9	23.2	22
		Grand Rapids #2	22.8	26.5	18.9	23
Allegan Co	Allegan	Holland	24.6	21.2	18.2	21
Monroe Co	Monroe	Luna Pier				
		Sterling State Park	20.5			21
Kalamazoo-Battle Creek	Calhoun					
	Kalamazoo	Kalamazoo #1	22.6	19.1	16.9	20
		Kalamazoo #2	22.5	19.1	15.8	19
	Van Buren					
Lansing-East Lansing	Ingham	Lansing	17.1	19.5**	22.3*	20
	Clinton					
	Eaton					
Benton Harbor	Berrien	Coloma	26.2			26
Bay Co	Bay	Bay City	22.4	17.8	17.5	19
Missaukee Co	Missaukee	Houghton Lake	14.9	16.2	15.1	15
Manistee Co	Manistee	Manistee	19.2	16.9	14.9	17
Schoolcraft Co	Schoolcraft	Seney		19*	14.3	17
Chippewa Co	Chippewa	Sault Ste. Marie #1	8.3*			8

\*Indicates the site does not have a complete year of data.

\*\*Indicates site was moved during the year and concentrations were averaged together for both locations.

<sup>10</sup> The 98<sup>th</sup> percentile value was obtained from the USEPA AQS. To comparing calculated values, the 3-year 24-hour average is rounded to the nearest 1 µg/m<sup>3</sup>.

**Figures 7.11 through 7.14** illustrate the current annual mean  $PM_{2.5}$  trend for each monitoring site in Michigan. For clarity, the monitoring sites within the Detroit-Warren-Flint CSA have been broken down into two graphs.

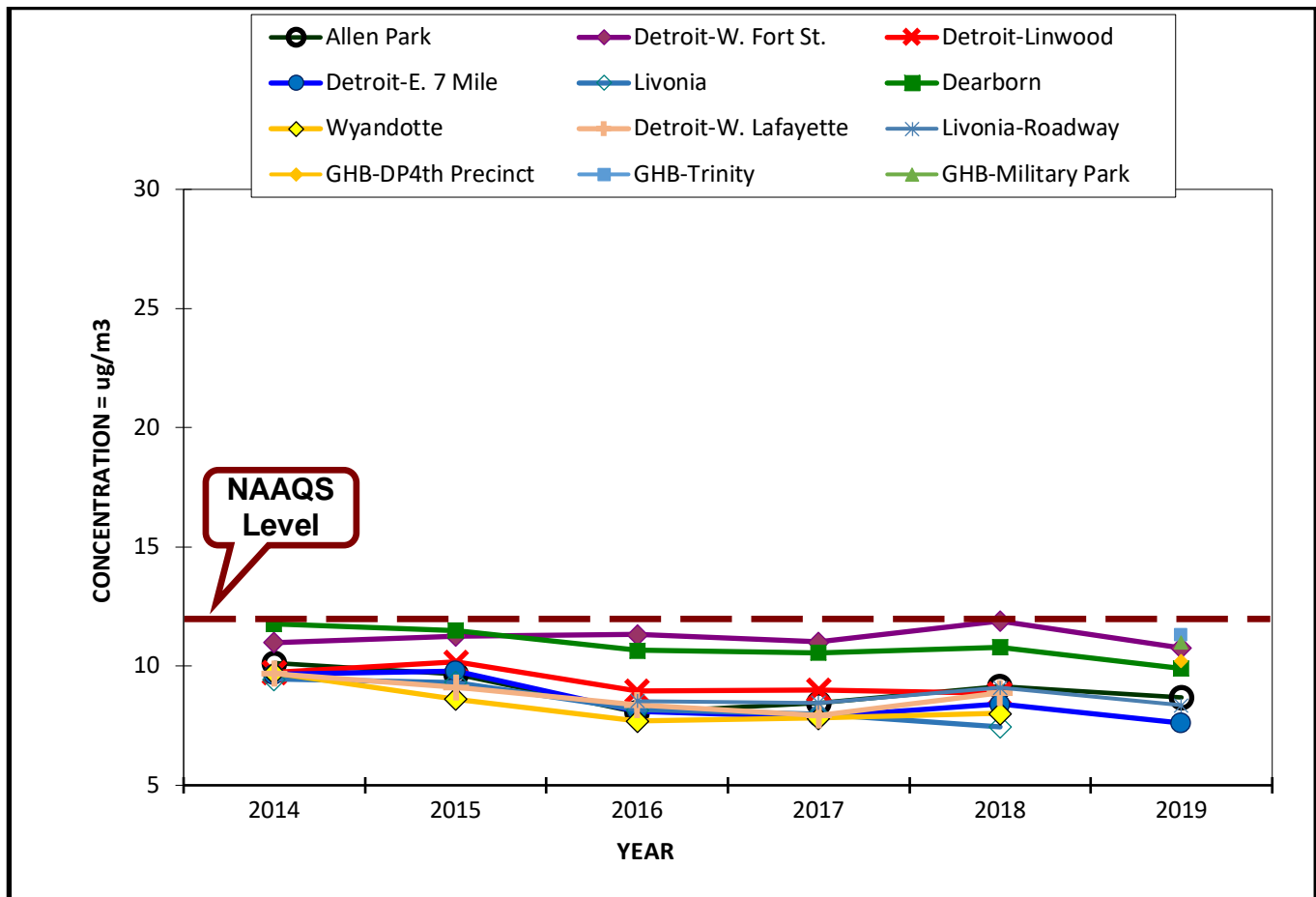
**Figure 7.11** shows the 2019 levels in Wayne County remained below the  $PM_{2.5}$  NAAQS standard. Historically, Dearborn has had the highest concentrations in the state, but W. Fort St. now has the highest concentrations. All sites are below the annual  $PM_{2.5}$  NAAQS standard. The Gordie Howe International Bridge sites are included in these graphs.

**Figure 7.12** contains the remainder of those sites in the Detroit-Warren-Flint CSA that are outside of Wayne County. These sites also show readings in 2019 are below the  $PM_{2.5}$  NAAQS.

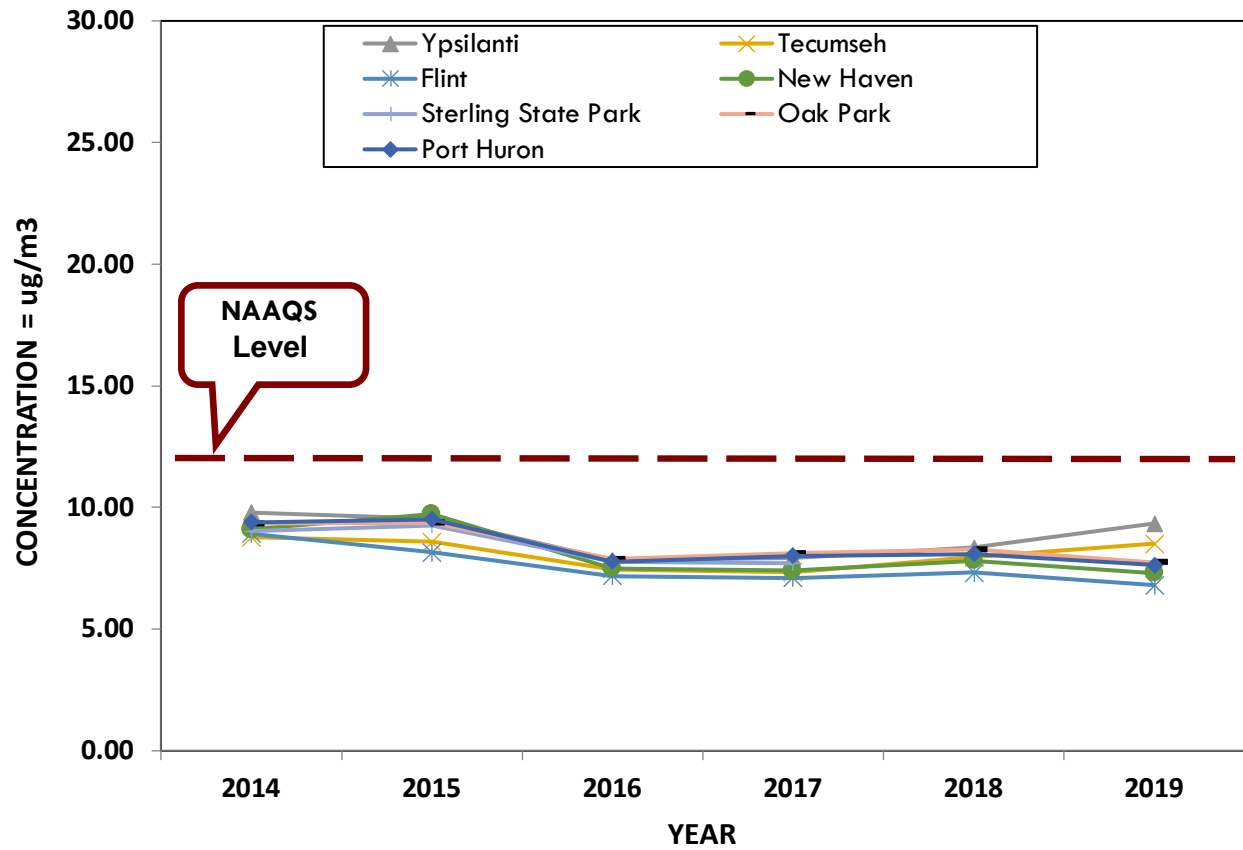
**Figure 7.13** combines the  $PM_{2.5}$  monitoring sites located in West Michigan-Grand Rapids-Muskegon-Holland CSA, Kalamazoo, and Benton Harbor MSAs. All sites are below the annual  $PM_{2.5}$  NAAQS.

**Figure 7.14** displays the remaining monitoring sites in the Northern Lower and Upper Peninsula. All sites are below the annual  $PM_{2.5}$  NAAQS standard.

**Figure 7.11: Detroit-Warren-Flint CSA (Wayne County Only)**  
**Annual Arithmetic Means for  $PM_{2.5}$  from 2014-2019**



**Figure 7.12: Detroit-Warren-Flint CSA (without Wayne County)**  
**Annual Arithmetic Means for PM<sub>2.5</sub> from 2014-2019**



**Figure 7.13: West MI - Grand Rapids-Muskegon-Holland CSA, Kalamazoo and Benton Harbor MSAs**  
**Annual Arithmetic Means for PM<sub>2.5</sub> from 2014-2019**

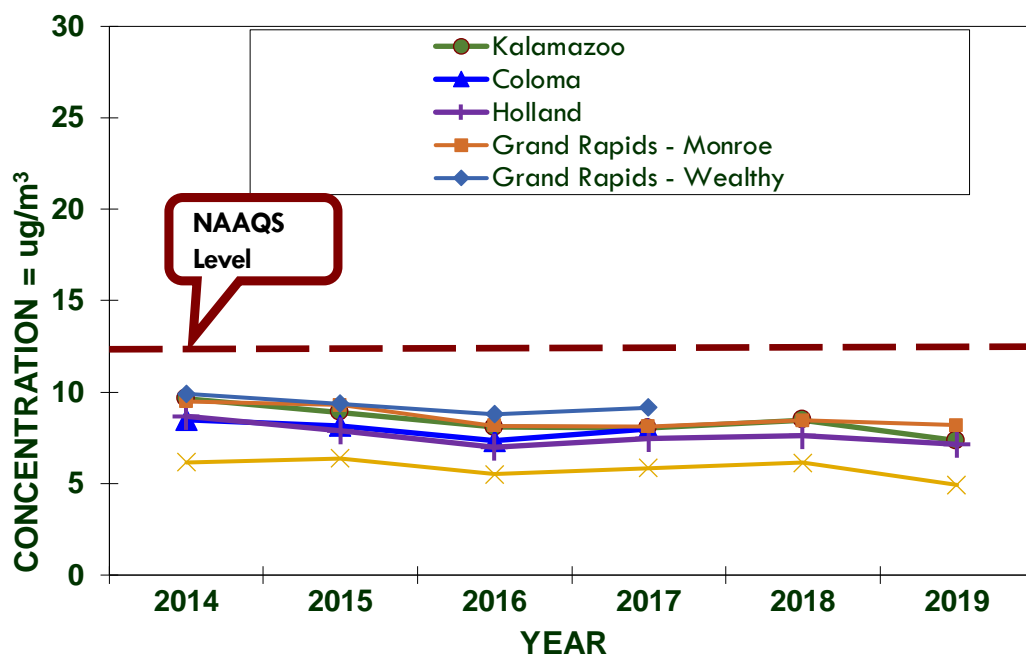
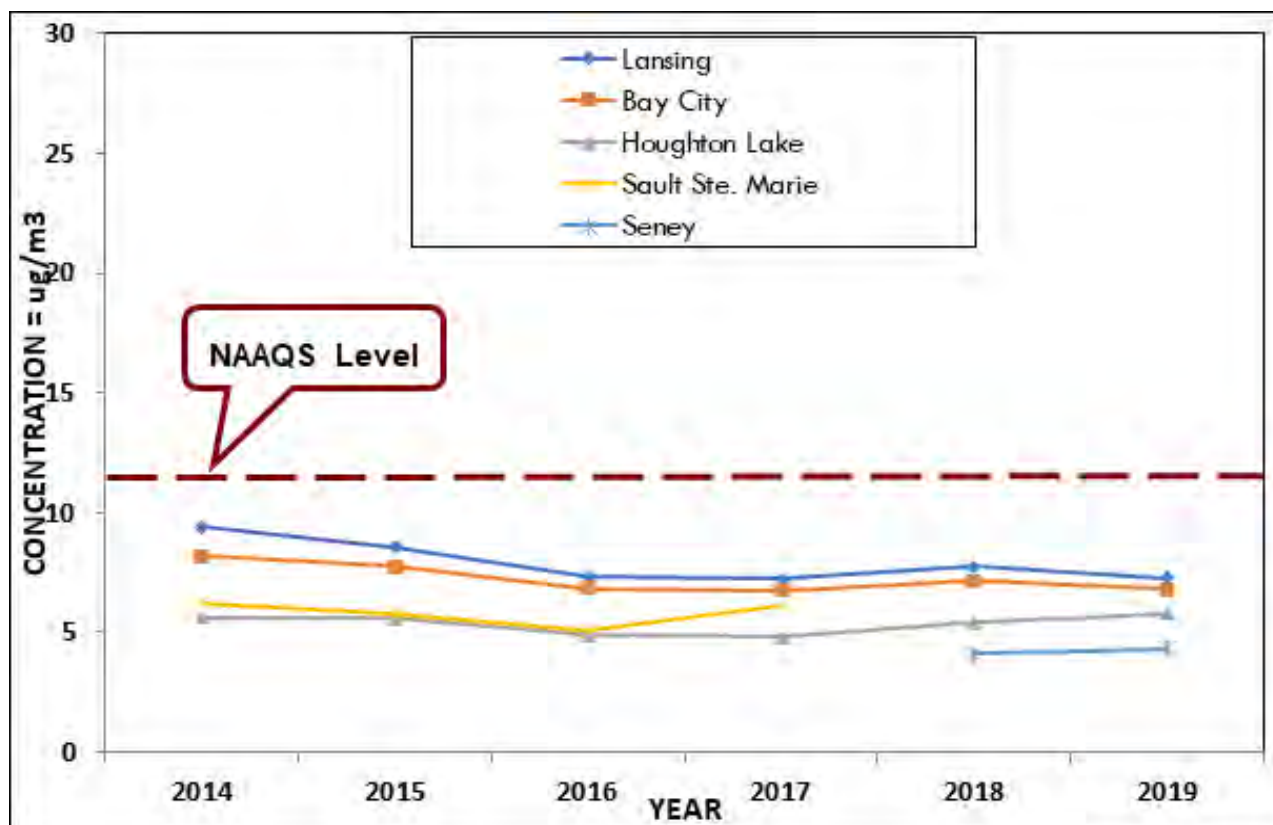


Figure 7.14: Lansing-E. Lansing CSA, Saginaw-Bay City CSA, Cadillac MiSA and Upper Peninsula Annual Arithmetic Means for PM<sub>2.5</sub> from 2014-2019



## CHAPTER 8: TOXIC AIR POLLUTANTS

In addition to the six criteria pollutants discussed in previous chapters, the AQD monitors for a wide variety of substances classified as toxic air pollutants, and/or Hazardous Air Pollutants (HAPs). Under the Clean Air Act, the USEPA specifically addresses a group of 187 HAPs. Under Michigan's air regulations, Toxic Air Contaminants (TACs) are defined as all non-criteria pollutants that may be *"...harmful to public health or the environment when present in the outdoor atmosphere in sufficient quantities and duration."* The definition of TACs lists 42 substances that are not TACs, indicating that all others are TACs. The sources and effects of toxics are as follows:

**Sources:** Air toxics come from a variety of mobile, stationary, and indoor man-made sources as well as outdoor natural sources. Mobile sources include motor vehicles, stationary sources include industrial factories and power plants, indoor sources include household cleaners, and natural sources include forest fires and eruptions from volcanoes.

**Effects:** Once air toxics enter the body, there is a wide range of potential health effects. They include: the aggravation of asthma; irritation to the eyes, nose, and throat; carcinogenicity; developmental toxicity (birth defects); nervous system effects; and various other effects on internal organs. Some effects appear after a shorter period of exposure, while others may appear after long-term exposure or after a long period of time has passed since the exposure ended. Most toxic effects are not unique to one substance, and some effects may be of concern only after the substance has deposited to the ground or to a water body (e.g., mercury, dioxin), followed by exposure through an oral pathway such as the eating of fish or produce. This further complicates the assessment of air toxics concerns due to the broad range of susceptibility that various people may have.

**Population most at risk:** People with asthma, children, and the elderly are generally at the highest risk for health effects from exposure to air toxics.

Air Toxics can be categorized as:

- **Metals:** Examples include aluminum, arsenic, beryllium, barium, cadmium, chromium, cobalt, copper, iron, mercury, manganese, molybdenum, nickel, lead, vanadium, and zinc.
- **Organic Substances:** Further divided into sub-categories that include -
  - VOCs, include benzene (found in gasoline), perchloroethylene (emitted from some dry-cleaning facilities), and methylene chloride (a solvent and paint stripper used by industry);
  - carbonyl compounds (formaldehyde, acetone, and acetaldehyde);
  - semi-volatile compounds (SVOCs);
  - polycyclic aromatic hydrocarbons (PAHs)/polynuclear aromatic hydrocarbons (PNAs);
  - pesticides and;
  - polychlorinated biphenyls (PCBs).



**Other substances:** Asbestos, dioxin, and radionuclides such as radon.

Because air toxics are such a large and diverse group of substances, regulatory agencies sometimes further refine these classifications to address specific concerns.

For example:

- Some initiatives have targeted those substances that are persistent, bioaccumulative and toxic (PBT), such as mercury, which accumulates in body tissues.
- The USEPA has developed an Integrated Urban Air Toxics Strategy with a focus on 30 substances (the Urban HAPs List).<sup>11</sup>

The evaluation of air toxics levels is difficult due to several factors.

- There are no health-protective NAAQS. Instead, air quality assessments utilize various short- and long-term screening levels and health-based levels estimated to be safe considering the critical effects of concern for specific substances.
- There is incomplete toxicity information for many substances. For some air toxics, the analytical detection limits are too high to consistently measure the amount present, and in some cases, the risk assessment-based levels are below the detection limits.
- Data gaps are present regarding the potential for interactive toxic effects for co-exposure to multiple substances present in emissions and in ambient air. Air toxics also pose a challenge due to monitoring and analytical methods that are either unavailable for some compounds or cost-prohibitive for others (e.g., dioxins).

These factors make it difficult to accurately assess the potential health concerns of all air toxics.

Nevertheless, it is feasible and important to characterize the potential health hazards and risks associated with many air toxics.

**Table 8.1** shows the monitoring stations and what air toxic was monitored at each station in 2019. This table can also be found in **Appendix B** with the Air Toxics Monitoring Summary.

The PM<sub>10</sub> metals sampling for Mn was also shut down at River Rouge to reduce cost and workload. TSP Metals were added to the three new GHB sites, DP4th Precinct, Military Park, and Trinity.

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<sup>11</sup> USEPA's Air Toxics website: Urban Strategy is located at [www.epa.gov/urban-air-toxics](http://www.epa.gov/urban-air-toxics).

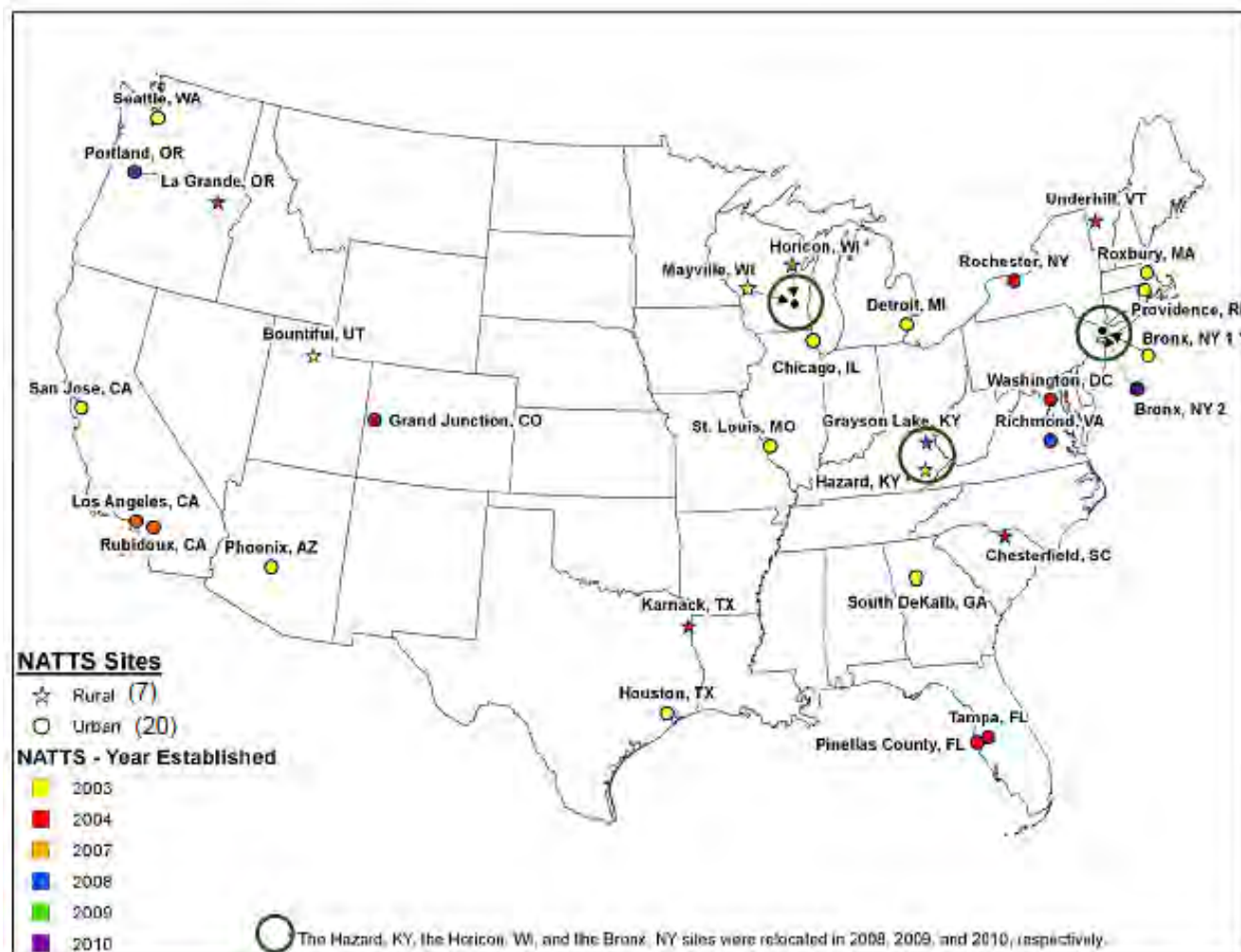
**Table 8.1: 2019 Toxics Sampling Sites**

Site Name	VOC	Carbonyl	PAHs	Metals TSP	Metals PM <sub>10</sub>	Speciated PM <sub>2.5</sub>
Allen Park				x		x
Dearborn	x	x	x	x	x	x
Detroit-W. Fort St.	x	x		x		x
Detroit-W. Jefferson				x		
Grand Rapids-Monroe				x		x
Belding-Merrick St.				x		
NMH 48217				x		
Port Huron-Rural St.				x		
River Rouge		x		x		
GHB-DP4th Precinct				x		
GHB-Military Park				x		
GHB-Trinity				x		

## National Monitoring Efforts and Data Analysis

The USEPA administers national programs that identify air toxics levels, detect trends, and prioritize air toxics research. EGLE participates in these programs. In addition, the AQD operates a site in Dearborn that is part of the USEPA's NATTS. The purpose of the NATTS network is to detect trends in high-risk air toxics such as benzene, formaldehyde, chromium, and 1,3-butadiene and to measure the progress of air toxics regulatory programs at the national level. Currently, the NATTS network contains 27 stations; 20 urban and 7 rural (see **Figure 8.1**). The USEPA requires that the NATTS sites measure VOCs, carbonyls, PAHs, and trace metals on a once-every-six-day sampling schedule. The Dearborn NATTS site measures trace metals as TSP, PM<sub>10</sub>, and PM<sub>2.5</sub>.

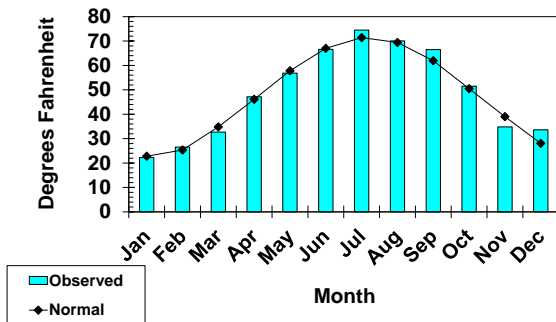
Figure 8.1: National Air Toxics Trends Sites



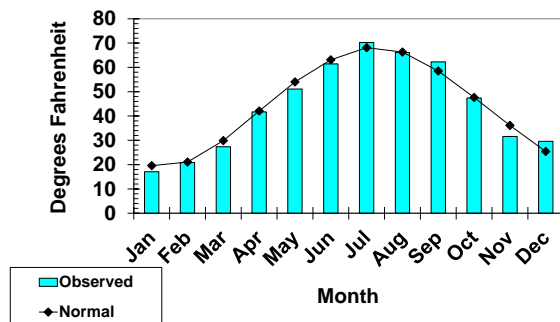
## CHAPTER 9: METEOROLOGICAL INFORMATION

**Figures 9.1 through 9.3** show average daily temperatures, and **Figures 9.4 through 9.6** show total monthly precipitation amounts compared to their climatic norms for sites in the Northern, Southern Lower and Upper Peninsula. These figures were constructed by averaging data from several National Weather Service stations and therefore are not meant to be representative of any one single location in Michigan. Instead, they are intended to depict the regional trends that occurred during the year 2019.

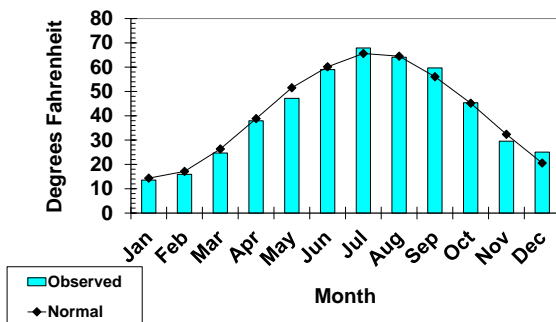
**Figure 9.1: Southern Lower Peninsula  
Observed Average Monthly Temperatures vs.  
Normal Average Monthly Temperatures**



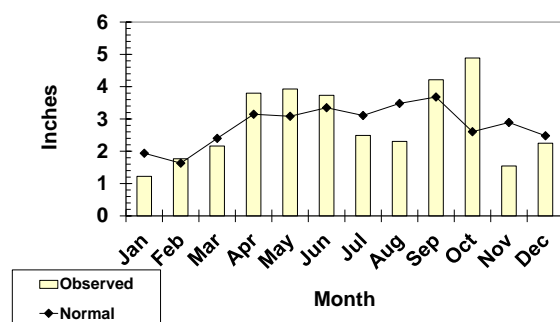
**Figure 9.2: Northern Lower Peninsula  
Observed Average Monthly Temperatures vs.  
Normal Average Monthly Temperatures**



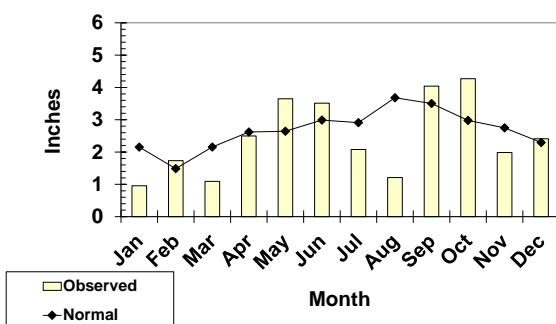
**Figure 9.3: Upper Peninsula  
Observed Average Monthly Temperatures vs.  
Normal Average Monthly Temperatures**



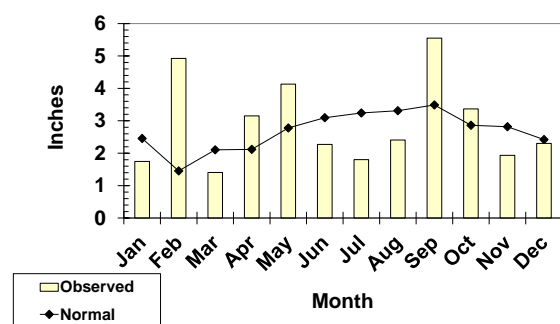
**Figure 9.4: Southern Lower Peninsula  
Observed Monthly Precipitation vs.  
Normal Monthly Precipitation**



**Figure 9.5: Northern Lower Peninsula  
Observed Monthly Precipitation vs.  
Normal Monthly Precipitation**



**Figure 9.6: Upper Peninsula  
Observed Monthly Precipitation vs.  
Normal Monthly Precipitation**



## CHAPTER 10: SPECIAL PROJECTS

EGLÉ completed the sampling for one special project and began a new project for the Gordie Howe International Bridge. Each of these projects are discussed below.

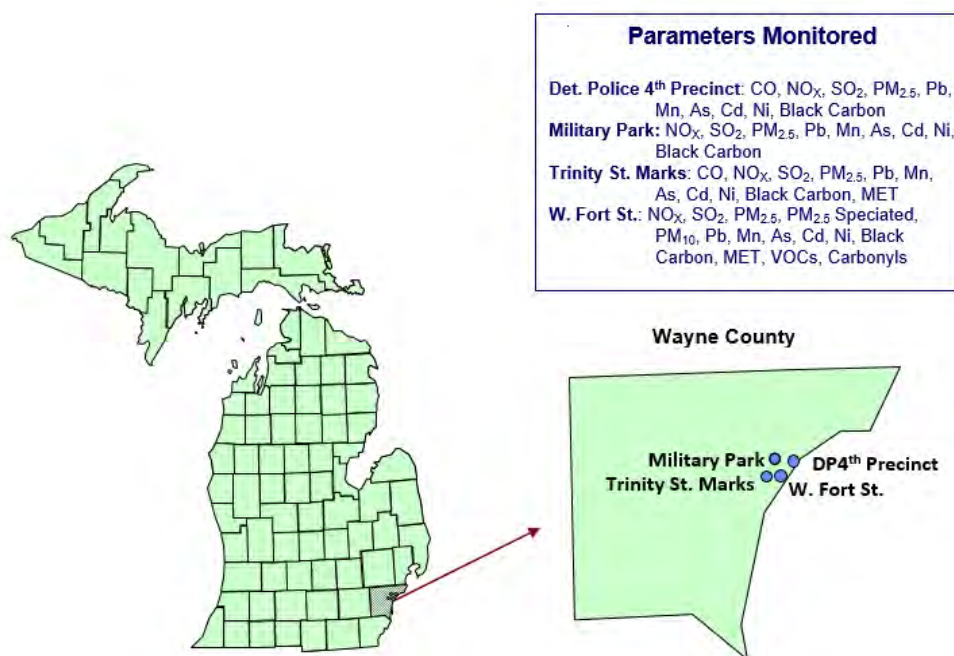
**Near-road Air Toxics Grant:** The Community Scale Air Toxics Ambient Monitoring (CSATAM) grant completed data collection in 2018 and the final report was received October 2019. This report can be found on EGLÉ's website under Monitoring<sup>12</sup>.

**Gordie Howe International Bridge Project:** The second special purpose monitoring project is related to a joint Canadian-American venture. The Gordie Howe International Bridge will be built linking Windsor, Ontario and Detroit, Michigan. Construction is slated to begin in 2019-2020.

EGLÉ is conducting ambient air quality monitoring in the Delray community to ascertain air pollution levels in the community. The three new sites, indicated below, will monitor air pollutants before, during, and after construction of the bridge. In addition, NO<sub>x</sub>, continuous PM<sub>2.5</sub>, and black carbon was added to the Detroit-W. Fort St. (261630015) monitoring site for this project.

- **Trinity (261630098):** meteorological parameters, NO<sub>x</sub>, SO<sub>2</sub>, CO, continuous PM<sub>2.5</sub>, black carbon, and five trace metals including lead.
- **DP4TH Precinct (261630099):** NO<sub>x</sub>, SO<sub>2</sub>, CO, continuous PM<sub>2.5</sub>, black carbon, and five trace metals including lead.
- **Military Park (261630100):** NO<sub>x</sub>, SO<sub>2</sub>, continuous PM<sub>2.5</sub>, black carbon, and five trace metals including lead.

**Figure 10.1: Gordie Howe International Bridge Sites**



The data from these sites is reported along with the other sites in the previous chapters and in the following appendices.

<sup>12</sup> For the full report [Michigan.gov/documents/egle/egle-aqd-amu-detroit\\_near\\_road\\_air\\_pollution\\_eval\\_669319\\_7.pdf](https://www.michigan.gov/documents/egle/egle-aqd-amu-detroit_near_road_air_pollution_eval_669319_7.pdf)

## APPENDIX A: CRITERIA POLLUTANT SUMMARY FOR 2019

**Appendix A** utilizes the USEPA's 2019 Air Quality System (AQS) Quick Look Report Data to present a summary of ambient air quality data collected for the criteria pollutants at monitoring locations throughout Michigan. Concentrations of non-gaseous pollutants are generally given in  $\mu\text{g}/\text{m}^3$  and in ppm for gaseous pollutants. The following define some of the terms listed in the **Appendix A** reports.

**Site I.D.:** The AQS site ID is the USEPA's code number for these sites.

**POC:** The Parameter Occurrence Code or POC is used to assist in distinguishing different uses of monitors, i.e., under Pb, NO<sub>2</sub>, and SO<sub>2</sub>, POC #1-5 are used to help differentiate between individual monitors. For PM, the POC numbers are used more for the type of monitoring, such as:

- 1 - FRM;
- 2 - Co-located FRM;
- 3 - TEOM hourly PM<sub>10</sub> and PM<sub>2.5</sub> measurements; and
- 5 - PM<sub>2.5</sub> speciation monitors (shown at right is a Met One SASS – speciation air sampling system).

**# OBS:** For Pb, TSP, PM<sub>2.5</sub>, and PM<sub>10</sub>, the # OBS (number of observations) refers to the number of valid 24-hour values gathered.

For continuous monitors (CO, NO<sub>2</sub>, O<sub>3</sub>, PM<sub>2.5</sub> TEOM, BAM and SO<sub>2</sub>), # OBS refers to the total valid hourly averages obtained from the analyzer.

**Values:** The value is listed for each criteria pollutant per its NAAQS (primary and secondary). The number of exceedances per site for the primary and secondary standards utilize running averages for continuous monitors (except for O<sub>3</sub>) and does not include averages considered invalid due to limited sampling times. For example, a particulate-mean based only on six months could not be considered as violating the annual standard. As noted, each site is allowed one short-term standard exceedance before a violation is determined.





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## Criteria Pollutant Summary For 2019

### CO measured in ppm

Site ID	POC	City	County	Year	# OBS	1-hr Highest Value	1-hr 2 <sup>nd</sup> Highest Value	1-hr OBS > 35	8-hr Highest Value	8-hr 2 <sup>nd</sup> Highest Value	8-hr OBS > 9
260810020	1	Grand Rapids-Monroe	Kent	2019	7901	1.7	1.7	0	1.3	1.3	0
261630001	1	Allen Park	Wayne	2019	8319	1.9	1.7	0	1.4	1.4	0
261630093	1	Eliza Howell-Roadway	Wayne	2019	7574	3.2	2.8	0	1.8	1.7	0
261630095	1	Livonia-Roadway	Wayne	2019	4099	2.1	1.8	0	1.4	1.2	0
261630098	1	GHB-DP4th Precinct	Wayne	2019	7599	5.6	3.9	0	3.0	1.8	0
261630099	1	GHB-Trinity*	Wayne	2019	8309	5.2	4.7	0	2.2	2.0	0

\*Indicates site does not have a complete year of data.

### Pb (24-hour) measured in µg/m<sup>3</sup>

Site ID	POC	City	County	Year	# OBS	Highest rolling 3-month Arith Mean	Highest Value (24-hr)	2 <sup>nd</sup> Highest Value (24-hr)
260670003	1	Belding-Merrick St.	Ionia	2019	61	0.09	0.752	0.194
260810020	1	Grand Rapids-Monroe	Kent	2019	60	0.01	0.045	0.011
261470031	1	Port Huron-Rural St.	St. Clair	2019	61	0.02	0.113	0.059
261630001	1	Allen Park	Wayne	2019	60	0.00	0.006	0.006
261630005	1	River Rouge	Wayne	2019	61	0.01	0.033	0.021
261630015	1	Detroit-W. Fort St.	Wayne	2019	59	0.02	0.062	0.039
261630027	1	Detroit-W. Jefferson	Wayne	2019	60	0.01	0.045	0.043
261630033	1	Dearborn	Wayne	2019	59	0.01	0.042	0.026
261630097	1	NMH 48217	Wayne	2019	61	0.01	0.018	0.009
261630098	1	GHB-DP4th Precinct	Wayne	2019	59	0.01	0.020	0.019
261630099	1	GHB-Trinity	Wayne	2019	60	0.03	0.303	0.040
261630100	1	GHB-Military Park	Wayne	2019	61	0.02	0.078	0.067

**NO<sub>2</sub> measured in ppb**

Site ID	POC	City	County	Year	# OBS	1-Hr Highest Value	1-Hr 2 <sup>nd</sup> Highest Value	98 <sup>th</sup> Percentile 1-hr	Annual Arith Mean
260650018	1	Lansing	Ingham	2019	8336	54.4	47.5	43.7	6.91
261130001	1	Houghton Lake	Missaukee	2019	7929	11.8	11.3	8.0	1.07
261390005	1	Jenison	Ottawa	2019	8145	50.0	45.0	36.0	5.65
261630015	1	Detroit-W. Fort St.	Wayne	2019	7424	55.5	53.5	50.1	14.05
261630093	1	Eliza Howell-Roadway	Wayne	2019	8105	56.2	51.7	45.4	15.55
261630095	1	Livonia-Roadway	Wayne	2019	4070	72.2	52.2	49.0	10.57*
261630098	1	GHB-DP4th Precinct	Wayne	2019	8270	60.7	56.1	49.6	14.83
261630099	1	GHB-Trinity	Wayne	2019	7781	55.3	49.9	46.1	13.86
161630100	1	GHB-Military Park	Wayne	2019	8312	54.7	53.3	47.3	12.92

\*Indicates site does not have a complete year of data.

**NO<sub>y</sub> measured in ppb**

Site ID	POC	City	County	Year	# OBS	1-Hr Highest Value	1-Hr 2 <sup>nd</sup> Highest Value	Annual Arith Mean
260810020	1	Grand Rapids-Monroe	Kent	2019	6935	210.0	200.0	11.40
261630001	1	Allen Park	Wayne	2019	7898	217.7	213.0	14.84
261630019	1	Detroit-E. 7 Mile	Wayne	2019	3474	109.7	77.5	9.17*

\*Indicates site does not have a complete year of data.

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**O<sub>3</sub> (1-hour) measured in ppm**

Site ID	POC	City	County	Year	Num Meas	Num Req	Highest Value	2 <sup>nd</sup> Highest Value	3 <sup>rd</sup> Highest Value	4 <sup>th</sup> Highest Value	Day Max >/= 0.125 Measured	Values >/= 0.125 Estimated	Missed Days < 0.125 Standard
260050003	1	Holland	Allegan	2019	245	245	0.093	0.084	0.081	0.078	0	0	0
260190003	1	Benzonia	Benzie	2019	238	245	0.072	0.072	0.066	0.065	0	0	0
260210014	1	Coloma	Berrien	2019	245	245	0.084	0.081	0.081	0.078	0	0	0
260270003	2	Cassopolis	Cass	2019	245	245	0.081	0.078	0.073	0.071	0	0	0
260370002	2	Rose Lake 2	Clinton	2019	233	245	0.066	0.063	0.060	0.060	0	0	0
260490021	1	Flint	Genesee	2019	245	245	0.070	0.070	0.065	0.065	0	0	0
260492001	1	Otisville	Genesee	2019	242	245	0.071	0.070	0.065	0.064	0	0	0
260630007	1	Harbor Beach	Huron	2019	245	245	0.077	0.075	0.074	0.068	0	0	0
260650018	1	Lansing-Filley St.	Ingham	2019	245	245	0.061	0.061	0.060	0.059	0	0	0
260770008	1	Kalamazoo	Kalamazoo	2019	242	245	0.072	0.068	0.067	0.067	0	0	1
260810020	1	Grand Rapids-Monroe	Kent	2019	354	365	0.077	0.075	0.072	0.068	0	0	2
260810022	1	Evans	Kent	2019	245	245	0.072	0.072	0.068	0.068	0	0	0
260910007	1	Tecumseh	Lenawee	2019	241	245	0.069	0.067	0.066	0.065	0	0	0
260990009	1	New Haven	Macomb	2019	244	245	0.084	0.081	0.079	0.079	0	0	1
260991003	1	Warren	Macomb	2019	241	245	0.080	0.078	0.073	0.071	0	0	1
261010922	1	Manistee	Manistee	2019	238	245	0.076	0.069	0.069	0.067	0	0	1
261050007	1	Scottville	Mason	2019	245	245	0.068	0.067	0.062	0.062	0	0	0

**O<sub>3</sub> (1-hour) measured in ppm, continued**

Site ID	POC	City	County	Year	Num Meas	Num Req	Highest Value	2 <sup>nd</sup> Highest Value	3 <sup>rd</sup> Highest Value	4 <sup>th</sup> Highest Value	Day Max ≥ 0.125 Measured	Values ≥ 0.125 Estimated	Missed Days < 0.125 Standard
261130001	1	Houghton Lake	Missaukee	2019	240	245	0.063	0.062	0.062	0.062	0	0	1
261210039	1	Muskegon	Muskegon	2019	244	245	0.091	0.080	0.080	0.078	0	0	1
261250001	2	Oak Park	Oakland	2019	245	245	0.088	0.085	0.083	0.076	0	0	0
261390005	1	Jenison	Ottawa	2019	245	245	0.080	0.074	0.071	0.069	0	0	0
261470005	1	Port Huron	St. Clair	2019	237	245	0.083	0.082	0.080	0.079	0	0	1
261530001	1	Seney	Schoolcraft	2019	245	245	0.077	0.068	0.066	0.063	0	0	0
261610008	1	Ypsilanti	Washtenaw	2019	245	245	0.087	0.076	0.071	0.071	0	0	0
261630001	2	Allen Park	Wayne	2019	342	365	0.072	0.072	0.069	0.067	0	0	2
261630019	2	Detroit-E. 7 Mile	Wayne	2019	242	245	0.083	0.081	0.081	0.077	0	0	0

\* Indicates site was moved from Lansing to Lansing-Filley St.

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## O<sub>3</sub> (8-hour) measured in ppm

Site ID	POC	City	County	Year	% OBS	Valid Days Measured	Highest Value	2 <sup>nd</sup> Highest Value	3 <sup>rd</sup> Highest Value	4 <sup>th</sup> Highest Value	Day Max > 0.070
260050003	1	Holland	Allegan	2019	100	245	0.075	0.073	0.072	0.071	4
260190003	1	Benzonia	Benzie	2019	97	238	0.068	0.060	0.059	0.057	0
260210014	1	Coloma	Berrien	2019	100	245	0.074	0.071	0.069	0.066	2
260270003	2	Cassopolis	Cass	2019	100	245	0.067	0.065	0.064	0.064	0
260370002	1	Rose Lake 2	Clinton	2019	94	230	0.060	0.058	0.055	0.055	0
260490021	1	Flint	Genesee	2019	99	243	0.061	0.061	0.061	0.060	0
260492001	1	Otisville	Genesee	2019	98	241	0.062	0.062	0.060	0.060	0
260630007	1	Harbor Beach	Huron	2019	100	245	0.067	0.067	0.062	0.060	0
260650018	1	Lansing-Filley St.	Ingham	2019	100	245	0.057	0.057	0.057	0.055	0
260770008	1	Kalamazoo	Kalamazoo	2019	98	239	0.065	0.064	0.062	0.061	0
260810020	1	Grand Rapids	Kent	2019	96	352	0.067	0.067	0.066	0.065	0
260810022	1	Evans	Kent	2019	99	243	0.065	0.064	0.063	0.060	0
260910007	1	Tecumseh	Lenawee	2019	98	241	0.063	0.062	0.062	0.059	0
260990009	1	New Haven	Macomb	2019	100	244	0.071	0.064	0.063	0.063	1
260991003	1	Warren	Macomb	2019	98	240	0.070	0.068	0.067	0.062	0
261010922	1	Manistee	Manistee	2019	98	239	0.071	0.062	0.062	0.062	1
261050007	1	Scottville	Mason	2019	100	245	0.059	0.058	0.057	0.057	0
261130001	1	Houghton Lake	Missaukee	2019	98	239	0.059	0.059	0.058	0.058	0
261210039	1	Muskegon	Muskegon	2019	99	243	0.080	0.069	0.068	0.068	1
261250001	2	Oak Park	Oakland	2019	100	245	0.077	0.072	0.067	0.066	2
261390005	1	Jenison	Ottawa	2019	100	245	0.070	0.066	0.066	0.065	0
261470005	1	Port Huron	St. Clair	2019	96	236	0.073	0.072	0.072	0.070	3
261530001	1	Seney	Schoolcraft	2019	100	245	0.067	0.061	0.060	0.059	0
261610008	1	Ypsilanti	Washtenaw	2019	100	245	0.064	0.062	0.062	0.060	0
261630001	2	Allen Park	Wayne	2019	92	337	0.063	0.063	0.062	0.062	0
261630019	2	Detroit-E. 7 Mile	Wayne	2019	98	240	0.074	0.074	0.073	0.068	3

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**PM<sub>2.5</sub> (24-hour) FRM measured in µg/m<sup>3</sup> at local conditions**

Site ID	POC	Monitor	City	County	Year	# OBS	Highest Value	2 <sup>nd</sup> Highest Value	3 <sup>rd</sup> Highest Value	4 <sup>th</sup> Highest Value	98%	Wtd. Arith. Mean
260050003	1	FRM	Holland	Allegan	2019	106	29.7	21.2	18.2	17.8	18.2	7.15
260170014	1	FRM	Bay City	Bay	2019	120	27.2	24.2	17.5	17.2	17.5	6.78
260490021	1	FRM	Flint	Genesee	2019	116	20.2	18.4	17.5	16.5	17.5	6.81
260650018	1	FRM	Lansing-Filley St.	Ingham	2019	54	23.7	22.3	20.9	19.0	22.3	7.27*
260770008	1	FRM	Kalamazoo	Kalamazoo	2019	106	25.8	17.8	16.9	16.7	16.9	7.35*
260770008	2	FRM	Kalamazoo	Kalamazoo	2019	60	28.3	17.8	16.7	15.8	17.8	6.83
260810020	1	FRM	Grand Rapids-Monroe	Kent	2019	113	26.5	25.1	23.2	21.0	23.2	8.20
260810020	2	FRM	Grand Rapids-Monroe	Kent	2019	54	25.1	18.9	17.9	14.8	18.9	7.20*
260990009	1	FRM	New Haven	Macomb	2019	119	28.5	20.0	18.7	18.7	18.7	7.30
261010922	1	FRM	Manistee	Manistee	2019	98	20.5	14.9	14.2	13.9	14.9	4.93*
261250001	1	FRM	Oak Park	Oakland	2019	115	28.3	21.7	18.2	17.8	18.2	7.74
261390005	1	FRM	Jenison	Ottawa	2019	114	30.1	29.4	24.4	22.9	24.4	8.30
261470005	1	FRM	Port Huron	St. Clair	2019	117	27.4	21.6	20.3	19.5	20.3	7.64
261610008	1	FRM	Ypsilanti	Washtenaw	2019	117	29.4	22.7	21.2	20.2	21.2	8.33
261610008	2	FRM	Ypsilanti	Washtenaw	2019	58	29.7	22.9	15.6	15.3	22.9	7.57
261630001	1	FRM	Allen Park	Wayne	2019	227	29.1	26.9	22.3	22.1	22.0	8.69
261630015	1	FRM	Detroit-W. Fort St.	Wayne	2019	103	29.9	23.0	22.5	20.7	22.5	10.76*
261630019	1	FRM	Detroit-E. 7 Mile	Wayne	2019	115	28.2	20.6	19.6	18.1	19.6	7.61
261630033	1	FRM	Dearborn	Wayne	2019	118	34.6	24.0	24.0	22.4	24.0	9.90
261630033	2	FRM	Dearborn	Wayne	2019	55	34.7	24.2	20.7	19.8	24.2	9.08
261630095	1	FRM	Livonia-Roadway	Wayne	2019	59	30.5	22.8	19.5	15.1	22.8	8.36*

\*Indicates the site does not have a complete year of data.



**PM<sub>2.5</sub> (24-hour) FEM measured in µg/m<sup>3</sup> at local conditions**

Site ID	POC	Monitor	City	County	Year	# OBS	Highest Value	2 <sup>nd</sup> Highest Value	3 <sup>rd</sup> Highest Value	4 <sup>th</sup> Highest Value	98%	Wtd. Arith. Mean
260490021	3	BAM	Flint	Genesee	2019	318	22.2	20.4	19.3	19.1	18.6	7.33*
260910007	3	BAM	Tecumseh	Lenawee	2019	358	30.8	28.9	25.4	25.3	22.7	8.44
261130001	3	BAM	Houghton Lake	Missaukee	2019	327	21.7	21.0	20.9	20.7	15.1	5.79*
261530001	3	BAM	Seney	Schoolcraft	2019	347	23.2	21.1	18.1	16.8	14.1	4.25
261610008	3	BAM	Ypsilanti	Washtenaw	2019	184	26.2	24.8	23.8	22.0	22.0	8.60*

\* Indicates the site does not have a complete year of data.

**PM<sub>2.5</sub> Continuous, Non-Regulatory (1-Hour) Measured in µg/m<sup>3</sup>**

Site ID	POC	Monitor	City	County	Year	# OBS	Highest Value	2 <sup>nd</sup> Highest Value	3 <sup>rd</sup> Highest Value	4 <sup>th</sup> Highest Value	Wtd. Arith. Mean
260170014	3	TEOM	Bay City	Bay	2019	6955	50.0	39.0	35.0	34.0	6.66
260650012	3	TEOM	Lansing-Filley St.	Ingham	2019	7774	63.8	63.7	60.3	45.6	7.43
260770008	3	TEOM	Kalamazoo	Kalamazoo	2019	7722	53.0	42.0	40.0	36.0	7.54
260810020	3	TEOM	Grand Rapids-Monroe	Kent	2019	7461	155.0	69.0	56.0	45.0	7.58
261470005	3	TEOM	Port Huron	St. Clair	2019	7790	56.0	53.0	45.0	44.0	7.49
261630001	3	TEOM	Allen Park	Wayne	2019	6415	62.0	53.0	53.0	51.0	8.49
261630015	3	BAM	Detroit-W. Fort St.	Wayne	2019	8345	270.6	227.9	188.8	183.8	12.60
261630033	3	TEOM	Dearborn	Wayne	2019	6502	72.0	66.0	52.0	45.0	9.54*
261630097	3	TEOM	NMH 48217	Wayne	2019	6472	75.7	71.2	71.2	65.7	8.33*
261630098	3	BAM	GHB-DP4th Precinct	Wayne	2019	8727	157.9	137.0	128.3	104.6	10.27
261630099	3	BAM	GHB-Trinity	Wayne	2019	8680	157.9	137.0	128.3	104.6	11.35
261630100	3	BAM	GHB-Military Park	Wayne	2019	8731	388.0	263.6	171.3	151.3	11.04

\* Indicates the site does not have a complete year of data.

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**PM<sub>10</sub> (24-hour) measured in  $\mu\text{g}/\text{m}^3$**

Site ID	POC	Monitor	City	County	Year	# OBS	# Req.	ValidDays	% OBS	Highest Value	2 <sup>nd</sup> Highest Value	3 <sup>rd</sup> Highest Value	4 <sup>th</sup> Highest Value	Wtd Arith Mean
260810020	1	GRAV	Grand Rapids-Monroe	Kent	2019	57	61	57	93	104	49	43	35	15.9*
261390005	1	GRAV	Jenison	Ottawa	2019	59	61	59	97	180	104	68	50	17.2
261630001	1	GRAV	Allen Park	Wayne	2019	59	61	57	93	29	24	24	24	13.1*
261630015	1	GRAV	Detroit-W. Fort St.	Wayne	2019	60	61	60	98	67	65	63	55	25.3
261630033	1	GRAV	Dearborn	Wayne	2019	60	61	56	92	45	44	41	38	20.5
261630033	9	GRAV	Dearborn	Wayne	2019	34	30	27	90	44	38	35	33	20.4*

**PM<sub>10</sub> TEOM (1-hour) measured in  $\mu\text{g}/\text{m}^3$**

Site ID	POC	Monitor	City	County	Year	# OBS	Highest Value	2 <sup>nd</sup> Highest Value	3 <sup>rd</sup> Highest Value	4 <sup>th</sup> Highest Value	Wtd. Arith. Mean
261630033	3	TEOM	Dearborn	Wayne	2019	8457	48	47	42	42	17.5

**PM<sub>10-2.5</sub> (24-hour) measured in  $\mu\text{g}/\text{m}^3$**

Site ID	Monitor	City	County	Year	# OBS	Highest Value	2 <sup>nd</sup> Highest Value	3 <sup>rd</sup> Highest Value	4 <sup>th</sup> Highest Value	Wtd. Arith. Mean
260810020	GRAV	Grand Rapids-Monroe	Kent	2019	94	21.7	21.3	15.8	14.3	6.46*
261630001	GRAV	Allen Park	Wayne	2019	103	25.6	19.5	17.0	16.2	7.33*

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**SO<sub>2</sub> measured in ppb**

Site ID	POC	City	County	Year	# OBS	1-hr Highest Value	1-hr 2 <sup>nd</sup> Highest Value	99 <sup>th</sup> %ile: 1- hr	24-hr Highest Value	24-hr 2 <sup>nd</sup> Highest Value	OBS >0.5	Arith Mean
260650018	1	Lansing-Filley St.	Ingham	2019	8363	4.2	3.9	3.5	1.8	1.7	0	0.84
260810020	2	Grand Rapids-Monroe	Kent	2019	8299	4.4	4.4	2.4	1.0	0.9	0	0.40
261150006	1	Sterling State Park	Monroe	2019	8229	10.9	9.6	8.8	3.4	3.0	0	0.64
261390011	1	West Olive	Ottawa	2019	8275	93.1	18.6	13.6	6.2	5.3	0	0.58
261470005	1	Port Huron	St. Clair	2019	8353	73.4	71.9	63.9	16.3	14.4	0	2.52
261630001	1	Allen Park	Wayne	2019	8227	33.0	26.2	21.5	4.8	4.1	0	0.66
261630015	1	Detroit-W. Fort St.	Wayne	2019	8330	68.2	65.3	60.7	16.1	15.7	0	3.03
261630097	1	NMH 48217	Wayne	2019	8316	34.8	33.2	26.6	7.3	7.1	0	0.97
261630098	1	GHB-DP4th Precinct	Wayne	2019	8324	28.6	26.2	18.9	5.9	5.4	0	1.07
261630099	1	GHB-Trinity	Wayne	2019	8365	46.2	42.0	26.0	11.5	6.6	0	1.15
261630100	1	GHB-Military Park	Wayne	2019	8352	37.4	34.2	31.9	12.2	9.4	0	0.81

## APPENDIX B: 2019 AIR TOXICS MONITORING SUMMARY FOR METALS, VOCS, CARBONYL COMPOUNDS, PAHS, HEXAVALENT CHROMIUM & SPECIATED PM<sub>2.5</sub>

Appendix B provides summary statistics of ambient air concentrations of various substances monitored in Michigan during 2019. At each monitoring site, air samples were taken over a 24-hour period (midnight to midnight). These air samples represent the average air concentration during that 24-hour period. The frequency of air samples collected is typically done once every 6 or 12 days. Sometimes the sampled air concentration is lower than the laboratory's analytical method detection level (MDL). When the concentration is lower than the MDL, two options are used to estimate the air concentration. The calculation of the minimum average ("Average (ND=0)") uses 0.0 µg/m<sup>3</sup> for a value less than the MDL. In the calculation of the maximum average ("Average (ND=MDL/2)") the MDL divided by 2 (i.e., ½ the MDL) is substituted for air concentrations less than the MDL.

**Table B** shows the monitoring stations and what types of air toxics were monitored at each station in 2019. The following terms and acronyms are used in **Appendix B-1** and **B-2** data tables:

- Num Obs: Number of Observations (number of daily air samples taken during the year)
- Obs>MDL: Number of daily samples above the MDL
- Average (ND=0): average air concentration in 2019, assuming daily samples below MDL were equal to 0.0 µg/m<sup>3</sup>.
- Average (ND=MDL/2): average air concentration in 2019, assuming daily samples below MDL were equal to one half the MDL.
- MDL: Analytical MDL in units of µg/m<sup>3</sup>
- Max1: Highest daily air concentration during 2019
- Max2: Second highest daily air concentration during 2019
- Max3: Third highest daily air concentration during 2019
- µg/m<sup>3</sup>: Micrograms per cubic meter (1,000,000 µg = 1 g)

**Table B: 2019 Toxics Sampling Sites**

<b>SITE NAME</b>	<b>VOC</b>	<b>Carbonyl</b>	<b>PAHs</b>	<b>Metals TSP</b>	<b>Metals PM<sub>10</sub></b>	<b>Speciated PM<sub>2.5</sub></b>
<b>Allen Park</b>				x	x	x
<b>Dearborn</b>	x	x	x	x	x	x
<b>Detroit-W. Fort St.</b>	x	x		x		x
<b>Detroit-W. Jefferson</b>				x		
<b>Grand Rapids-Monroe</b>				x		x
<b>Belding-Merrick St.</b>				x		
<b>NMH 48217</b>				x		
<b>Port Huron-Rural St.</b>				x		
<b>River Rouge</b>		x		x		
<b>GHB-DP4th Precinct</b>				x		
<b>GHB-Military Park</b>				x		
<b>GHB-Trinity</b>				x		

VOC = volatile organic compound; PAHs = polycyclic aromatic hydrocarbon; TSP = total suspended particulate

PM<sub>10</sub> = particulate matter with aerodynamic diameter less than 10 µm; Mn = manganese.

## APPENDIX B-1 DATA TABLES

Allen Park (261630001) Concentrations in micrograms per cubic meter ( $\mu\text{g}/\text{m}^3$ )

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Arsenic (Tsp) Stp	60	60	0.00109	0.00109	0.0000342	0.00458	0.00304	0.00298
Arsenic Pm10 Stp	30	30	0.000687	0.000687	0.000033	0.00404	0.00123	0.00119
Cadmium (Tsp) Stp	60	60	0.000119	0.000119	0.0000161	0.00035	0.00032	0.00026
Cadmium Pm10 Stp	30	30	0.000166	0.000166	0.0000133	0.00077	0.00036	0.00033
Lead (Tsp) Lc Frm/Fem	60	60	0.00306	0.00306		0.0067	0.00655	0.00595
Lead Pm10 Lc	30	30	0.00182	0.00182		0.0036	0.0033	0.00307
Manganese (Tsp) Stp	60	60	0.0185	0.0185	0.000614	0.0504	0.0421	0.0374
Manganese Pm10 Stp	28	28	0.00795	0.00795	0.000181	0.0241	0.0174	0.0163
Nickel (Tsp) Stp	60	60	0.00116	0.00116	0.000592	0.00597	0.00292	0.00263
Nickel Pm10 Stp	30	30	0.000739	0.000739	0.000542	0.00123	0.00113	0.00105



**Dearborn (261630033) Concentrations in micrograms per cubic meter (µg/m3)**

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
1,1,2,2-Tetrachloroethane	58	8	0.00661	0.0516	0.105	0.0748	0.0645	0.0597
1,1,2-Trichloroethane	58	2	0.000216	0.0302	0.0622	0.00655	0.006	0
1,1-Dichloroethane	58	5	0.000705	0.0143	0.0296	0.0146	0.00809	0.00688
1,1-Dichloroethylene	58	0	0	0.0246	0.0492	0	0	0
1,2,4-Trichlorobenzene	58	18	0.00907	0.292	0.893	0.0423	0.0416	0.0356
1,2,4-Trimethylbenzene	58	58	0.927	0.927	0.125	4.61	4.21	3.52
1,2-Dichlorobenzene	58	8	0.000674	0.0768	0.175	0.00541	0.00541	0.00481
1,2-Dichloropropane	58	3	0.000971	0.0252	0.0513	0.0226	0.018	0.0157
1,3,5-Trimethylbenzene	58	58	0.272	0.272	0.0539	1.41	1.23	1.18
1,3-Butadiene	58	57	0.0487	0.0489	0.0243	0.182	0.124	0.0943
1,3-Dichlorobenzene	58	2	0.00106	0.074	0.151	0.0583	0.00301	0
1,4-Dichlorobenzene	58	21	0.0179	0.0752	0.168	0.24	0.155	0.0848
2,5-Dimethylbenzaldehyde	17	0	0	0.00339	0.00678	0	0	0
9-Fluorenone (Tsp) Stp	13	13	0.000976	0.000976	4.04E-05	0.00261	0.00138	0.00136
Acenaphthene (Tsp) Stp	59	56	0.0065	0.0065	0.000132	0.0308	0.0256	0.0248
Acenaphthylene (Tsp) Stp	59	55	0.000308	0.000309	8.72E-06	0.00129	0.00116	0.000881
Acetaldehyde	65	65	1.94	1.94	0.0345	2.96	2.91	2.89
Acetone	65	65	2.78	2.78	0.507	6.73	6.08	5.67
Acetonitrile	58	58	0.496	0.496	0.105	1.41	1.35	1.15
Acetylene	61	56	0.61	0.612	0.0883	3.56	2.85	1.94
Acrylonitrile	58	16	0.0382	0.0554	0.0475	0.243	0.194	0.193
Anthracene (Tsp) Stp	59	58	0.000376	0.000376	3.47E-05	0.00184	0.00171	0.0011
Arsenic (Tsp) Stp	91	91	0.00195	0.00195	4.50E-05	0.0234	0.0175	0.0108
Arsenic Pm10 Stp	94	94	0.00111	0.00111	5.35E-05	0.0029	0.00286	0.0028
Barium (Tsp) Stp	91	91	0.0311	0.0311	0.00645	0.265	0.248	0.201
Barium PM <sub>10</sub> Stp	90	90	0.0112	0.0112	5.81E-04	0.0225	0.0215	0.0207
Benzaldehyde	65	65	0.171	0.171	0.00788	0.42	0.405	0.369
Benzene	58	58	0.589	0.589	0.0314	1.35	1.23	1.04
Benzo[A]Anthracene (Tsp) Stp	59	59	0.000172	0.000172	9.32E-06	0.000802	0.000686	0.000539
Benzo[A]Pyrene (Tsp) Stp	59	59	0.000141	0.000141	1.43E-05	0.000375	0.000374	0.000356
Benzo[B]Fluoranthene (Tsp) Stp	59	58	0.000473	0.000473	8.32E-06	0.00204	0.00164	0.00137
Benzo[E]Pyrene (Tsp) Stp	59	59	0.000273	0.000273	5.51E-06	0.00108	0.00105	0.000808
Benzo[G,H,I]Perylene (Tsp) Stp	59	56	0.000209	0.000209	6.70E-06	0.000955	0.000539	0.000482

**Dearborn (261630033) Concentrations in micrograms per cubic meter (µg/m3) - continued**

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Benzo[K]Fluoranthene (Tsp) Stp	59	58	0.000137	0.000137	4.21E-06	0.00056	0.000472	0.000383
Beryllium (Tsp) Stp	91	91	0.000119	0.000119	2.96E-05	0.00121	0.00117	0.00098
Beryllium PM <sub>10</sub> Stp	95	88	1.89E-05	1.92E-05	8.86E-06	7.00E-05	7.00E-05	6.00E-05
Bromochloromethane	61	0	0	0.0249	0.0524	0	0	0
Bromodichloromethane	58	8	0.00617	0.0382	0.0744	0.0898	0.059	0.0583
Bromoform	58	20	0.00606	0.0431	0.124	0.0403	0.0279	0.0258
Bromomethane	58	49	0.0703	0.0733	0.0384	0.905	0.505	0.387
Butyraldehyde	63	63	0.882	0.882	0.0546	3.3	2.89	2.84
Cadmium (Tsp) Stp	91	91	0.000373	0.000373	2.25E-05	0.00356	0.00269	0.00264
Cadmium PM <sub>10</sub> Stp	95	95	0.000216	0.000216	1.68E-05	0.00115	0.00112	0.0011
Carbon Disulfide	61	58	0.0708	0.0708	0.13	0.433	0.258	0.171
Carbon Tetrachloride	58	58	0.625	0.625	0.0686	1.03	0.937	0.818
Chlorobenzene	58	19	0.00596	0.0209	0.0453	0.0281	0.0249	0.0239
Chloroethane	58	32	0.02	0.0295	0.0425	0.117	0.0826	0.0602
Chloroform	58	58	0.817	0.817	0.0405	1.42	1.22	1.18
Chloromethane	58	58	1.21	1.21	0.0624	1.61	1.56	1.48
Chloroprene	61	0	0	0.0281	0.0592	0	0	0
Chromium (Tsp) Stp	91	91	0.00944	0.00944	0.00146	0.0972	0.0887	0.0779
Chromium PM <sub>10</sub> Stp	95	95	0.00235	0.00235	0.00158	0.0048	0.00441	0.00425
Chrysene (Tsp) Stp	59	59	0.00041	0.00041	6.84E-06	0.0017	0.00137	0.00135
Cis-1,2-Dichloroethene	58	0	0	0.0666	0.133	0	0	0
Cis-1,3-Dichloropropene	58	0	0	0.0225	0.045	0	0	0
Cobalt (Tsp) Stp	91	91	0.000324	0.000324	3.96E-05	0.00299	0.00277	0.00229
Cobalt PM <sub>10</sub> Stp	95	91	9.25E-05	9.32E-05	3.07E-05	0.00023	0.00021	0.0002
Copper (Tsp) Stp	91	91	0.0396	0.0396	0.00152	0.397	0.231	0.224
Copper PM <sub>10</sub> Stp	95	95	0.0338	0.0338	0.000631	0.125	0.107	0.1
Coronene (Tsp) Stp	59	59	0.00011	0.00011	3.46E-06	0.000579	0.000229	0.000227
Crotonaldehyde	61	60	0.152	0.152	0.0102	0.876	0.735	0.62
Cyclopenta[Cd]Pyrene (Tsp) Stp	13	13	3.81E-05	3.81E-05	4.16E-06	0.00015	9.48E-05	3.82E-05
Dibenzo[A,H]Anthracene (Tsp) Stp	59	44	3.18E-05	3.35E-05	1.50E-05	0.000134	0.00011	8.93E-05
Dibromochloromethane	58	5	0.00113	0.0439	0.0947	0.0281	0.0162	0.0136
Dichlorodifluoromethane	58	58	2.31	2.31	0.183	2.97	2.73	2.67
Dichloromethane	58	58	5.39	5.39	0.173	58.4	15.4	13.5
Ethyl Acrylate	58	1	0.000498	0.00801	0.0153	0.0289	0	0
Ethylbenzene	58	58	0.368	0.368	0.073	2.62	0.869	0.79
Ethylene Dibromide	58	0	0	0.0507	0.101	0	0	0
Ethylene Dichloride	58	57	0.0764	0.0767	0.0348	0.108	0.105	0.105
Fluoranthene (Tsp) Stp	59	59	0.00447	0.00447	3.58E-05	0.0228	0.0202	0.0176

**Dearborn (261630033) Concentrations in micrograms per cubic meter (µg/m3) - continued**

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Fluorene (Tsp) Stp	59	59	0.00594	0.00594	0.000135	0.0253	0.0238	0.023
Formaldehyde	65	65	2.86	2.86	0.0537	6.95	6.05	5.96
Freon 114	61	58	0.108	0.108	0.072	0.146	0.131	0.131
Hexachlorobutadiene	61	18	0.006	0.178	0.602	0.0277	0.0267	0.0224
Hexanaldehyde	64	62	0.0925	0.0927	0.0125	0.245	0.245	0.208
Indeno[1,2,3-Cd]Pyrene (Tsp) Stp	59	59	0.000215	0.000215	1.64E-05	0.00059	0.000503	0.000469
Iron (Tsp) Stp	91	91	2.05	2.05	0.023	17.1	17.1	17
Iron Pm10 Stp	95	95	0.571	0.571	0.00862	1.54	1.52	1.29
Isovaleraldehyde	17	0	0	0.0162	0.0324	0	0	0
Lead (Tsp) Lc Frm/Fem	90	90	0.00862	0.00862		0.043	0.0384	0.0267
Lead Pm10 Lc	95	95	0.00667	0.00667		0.0435	0.0421	0.0221
M/P Xylene	58	58	1.17	1.17	0.124	9.21	2.83	2.81
Manganese (Tsp) Stp	91	91	0.124	0.124	0.000795	1.19	1.08	1.01
Manganese PM <sub>10</sub> Stp	95	95	0.0287	0.0287	0.000273	0.101	0.082	0.0761
Methyl Chloroform	58	29	0.00871	0.029	0.0813	0.03	0.0273	0.0256
Methyl Ethyl Ketone	62	62	0.396	0.396	0.317	0.931	0.869	0.828
Methyl Isobutyl Ketone	58	58	0.301	0.301	0.0418	0.848	0.75	0.701
Methyl Methacrylate	61	16	0.00569	0.0948	0.266	0.0565	0.0459	0.0438
Methyl Tert-Butyl Ether	58	1	0.000212	0.0283	0.0568	0.0123	0	0
Molybdenum (Tsp) Stp	91	91	0.00203	0.00203	0.000142	0.0373	0.0287	0.0136
Molybdenum PM <sub>10</sub> Stp	95	95	0.000929	0.000929	0.000201	0.00395	0.0038	0.00254
Naphthalene (Tsp) Stp	59	59	0.0687	0.0687	0.00221	0.181	0.161	0.148
Nickel (Tsp) Stp	91	91	0.00347	0.00347	0.000767	0.0723	0.0281	0.0182
Nickel PM <sub>10</sub> Stp	93	93	0.00135	0.00135	0.000986	0.00786	0.00287	0.00258
N-Octane	61	58	0.119	0.119	0.109	0.279	0.266	0.255
O-Xylene	58	58	0.396	0.396	0.0846	2.26	0.921	0.829
Perylene (Tsp) Stp	59	35	1.74E-05	1.93E-05	1.05E-05	8.55E-05	6.93E-05	6.87E-05
Phenanthrene (Tsp) Stp	59	59	0.0115	0.0115	0.000224	0.0477	0.0449	0.0406
Propionaldehyde	65	65	0.409	0.409	0.0693	1.02	0.805	0.745
Propylene	61	58	0.48	0.48	0.168	1.23	1.17	1.04
Pyrene (Tsp) Stp	59	59	0.00228	0.00228	5.35E-05	0.00916	0.00811	0.00811
Retene (Tsp) Stp	13	13	0.000192	0.000192	0.000347	0.000422	0.000293	0.000282
Styrene	58	57	0.533	0.533	0.0643	4.98	1.77	1.56
Tert-Butyl Ethyl Ether	61	2	0.000178	0.0144	0.0309	0.00627	0.0046	0
Tetrachloroethylene	58	58	0.25	0.25	0.0812	1.42	1.35	1.04
Tolualdehydes	5	2	0.0876	0.0974	0.0323	0.312	0.126	0
Toluene	58	58	0.987	0.987	0.0686	2.85	2.38	2.25
Trans-1,2-Dichloroethylene	58	16	0.00446	0.0211	0.046	0.103	0.0214	0.019

**Dearborn (261630033) Concentrations in micrograms per cubic meter (µg/m<sup>3</sup>) - continued**

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Trans-1,3-Dichloropropene	58	1	0.00061	0.0314	0.0626	0.0354	0	0
Trichloroethylene	58	29	0.0159	0.0324	0.0661	0.0639	0.0586	0.058
Trichlorofluoromethane	58	58	1.25	1.25	0.0676	1.64	1.59	1.51
Valeraldehyde	64	63	0.0792	0.0793	0.012	0.183	0.166	0.165
Vanadium (Tsp) Stp	91	91	0.00437	0.00437	6.44E-05	0.0538	0.0376	0.0338
Vanadium PM <sub>10</sub> Stp	94	94	0.00113	0.00113	5.38E-05	0.00843	0.00248	0.00246
Vinyl Chloride	58	3	0.000366	0.0127	0.0261	0.0133	0.00511	0.00281
Zinc (Tsp) Stp	91	91	0.183	0.183	0.00509	2.12	0.984	0.892
Zinc PM <sub>10</sub> Stp	94	94	0.0935	0.0935	0.00199	0.527	0.394	0.388

**Detroit-W. Fort St. (N. Delray-SWHS) (261630015) Concentrations in micrograms per cubic meter (µg/m<sup>3</sup>)**

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
1,1,2,2-Tetrachloroethane	29	0	0	0.161	0.323	0	0	0
1,1,2-Trichloroethane	29	0	0	0.049	0.0981	0	0	0
1,1-Dichloroethane	29	0	0	0.0857	0.171	0	0	0
1,1-Dichloroethylene	29	0	0	0.0778	0.156	0	0	0
1,2,4-Trichlorobenzene	29	0	0	0.693	1.39	0	0	0
1,2,4-Trimethylbenzene	29	1	0.0203	0.169	0.307	0.59	0	0
1,2-Dichlorobenzene	29	0	0	0.184	0.369	0	0	0
1,2-Dichloropropane	29	0	0	0.55	1.1	0	0	0
1,3,5-Trimethylbenzene	29	0	0	0.12	0.24	0	0	0
1,3-Butadiene	29	0	0	0.06	0.12	0	0	0

**Detroit-W. Fort St. (N. Delray-SWHS) (261630015)** Concentrations in micrograms per cubic meter ( $\mu\text{g}/\text{m}^3$ )

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
1,3-Dichlorobenzene	29	0	0	0.141	0.283	0	0	0
1,4-Dichlorobenzene	29	0	0	0.193	0.386	0	0	0
2,2,4-Trimethylpentane	29	0	0	0.0734	0.147	0	0	0
Acetaldehyde	30	30	2.06	2.06		4.26	4.06	2.9
Acetone	30	30	2.95	2.95		5.91	5.29	4.26
Acetonitrile	29	19	2.68	2.77	0.5	44	20	1.3
Acrolein - Unverified	30	28	0.0762	0.0816		0.129	0.122	0.115
Acrylonitrile	29	0	0	0.398	0.796	0	0	0
Arsenic (Tsp) Stp	61	61	0.0015	0.0015	0.0000345	0.00497	0.00402	0.00364
Benzaldehyde	30	30	0.27	0.27		0.616	0.497	0.48
Benzene	29	26	0.636	0.64	0.0951	2.7	1.2	1.1
Bromodichloromethane	29	0	0	0.075	0.15	0	0	0
Bromoform	29	0	0	0.174	0.349	0	0	0
Bromomethane	29	0	0	0.111	0.221	0	0	0
Cadmium (Tsp) Stp	61	61	0.000266	0.000266	0.0000163	0.00259	0.00077	0.00065
Carbon Tetrachloride	29	0	0	0.114	0.228	0	0	0
Chlorobenzene	29	0	0	0.103	0.207	0	0	0
Chloroethane	29	0	0	0.06	0.12	0	0	0
Chloroform	29	0	0	0.06	0.12	0	0	0
Chloromethane	29	28	1.34	1.34	0.16	2.5	2.3	2.2
Cis-1,2-Dichloroethene	29	0	0	0.0631	0.126	0	0	0
Cis-1,3-Dichloropropene	29	0	0	0.065	0.13	0	0	0
Crotonaldehyde	30	0	0			0	0	0
Dibromochloromethane	29	0	0	0.148	0.296	0	0	0
Dichlorodifluoromethane	29	28	2.24	2.25	0.251	2.7	2.6	2.5
Dichloromethane	29	11	0.215	0.323	0.347	1.1	0.79	0.74
Ethylbenzene	29	3	0.0641	0.195	0.293	0.76	0.6	0.5
Ethylene Dibromide	29	0	0	0.149	0.297	0	0	0
Ethylene Dichloride	29	0	0	0.0964	0.193	0	0	0
Formaldehyde	30	30	3.27	3.27		6.14	5.48	5.27
Hexanaldehyde	30	30	0.395	0.395		0.811	0.678	0.678
Lead (Tsp) Lc Frm/Fem	62	59	0.0112	0.0112		0.0626	0.0397	0.0358
M/P Xylene	29	9	0.32	0.574	0.737	1.3	1.3	1.2
Manganese (Tsp) Stp	62	62	0.0587	0.0587	0.000612	0.2	0.197	0.168
Manganese PM <sub>10</sub> Stp	28	28	0.0257	0.0257	0.000181	0.0804	0.0781	0.0565
Methacrolein	30	30	0.134	0.134		0.354	0.341	0.21
Methyl Chloroform	29	0	0	0.106	0.211	0	0	0
Methyl Ethyl Ketone	29	3	0.145	0.638	1.1	1.5	1.5	1.2
Methyl Isobutyl Ketone	29	0	0	0.432	0.864	0	0	0
Methyl Tert-Butyl Ether	29	1	0.0621	0.154	0.191	1.8	0	0

**Detroit-W. Fort St. (N. Delray-SWHS) (261630015) -continued**

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
N-Hexane	29	17	0.404	0.422	0.087	1.4	1.2	1
Nickel (Tsp) Stp	61	61	0.003	0.003	0.000598	0.00761	0.00731	0.0058
O-Xylene	29	6	0.151	0.282	0.331	1.3	0.74	0.69
Propionaldehyde	30	30	0.406	0.406		0.909	0.833	0.731
Styrene	29	21	12.3	12.4	0.77	140	98	84
Tetrachloroethylene	29	23	3.2	3.22	0.233	25	15	13
Tolualdehydes	30	2	0.00368	0.0552		0.0603	0.0501	0
Toluene	29	26	0.915	0.938	0.443	1.8	1.7	1.7
Trans-1,2-Dichloroethylene	29	1	0.0414	0.114	0.15	1.2	0	0
Trans-1,3-Dichloropropene	29	1	0.0483	0.0917	0.0901	1.4	0	0
Trichloroethylene	29	1	0.0552	0.136	0.167	1.6	0	0
Trichlorofluoromethane	29	28	1.38	1.39	0.231	2.3	2.1	2
Valeraldehyde	30	30	0.366	0.366		0.757	0.718	0.686
Vinyl Chloride	29	1	0.0269	0.0897	0.13	0.78	0	0

**Detroit, W. Jefferson, South Delray (261630027) Concentrations in micrograms per cubic meter ( $\mu\text{g}/\text{m}^3$ )**

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Arsenic (Tsp) Stp	60	60	0.00171	0.00171	0.0000358	0.00499	0.00429	0.0036
Cadmium (Tsp) Stp	60	60	0.000317	0.000317	0.0000163	0.00312	0.0008	0.00068
Lead (Tsp) Lc Frm/Fem	61	60	0.0108	0.0108		0.046	0.0432	0.0265
Manganese (Tsp) Stp	60	60	0.151	0.151	0.000651	0.663	0.648	0.575
Nickel (Tsp) Stp	60	60	0.00301	0.00301	0.000628	0.00729	0.00718	0.00714



**Port Huron-Rural St. (261470031), Speciated PM<sub>2.5</sub> (µg/m<sup>3</sup>)**

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Arsenic (Tsp) Stp	61	61	0.00111	0.00111	0.0000346	0.0118	0.00831	0.00512
Cadmium (Tsp) Stp	61	60	0.0002	0.0002	0.0000162	0.00112	0.00091	0.00085
Lead (Tsp) Lc Frm/Fem	91	91	0.0176	0.0176		0.122	0.114	0.067
Manganese (Tsp) Stp	61	61	0.00726	0.00726	0.000622	0.0268	0.024	0.0195
Nickel (Tsp) Stp	61	61	0.000881	0.000881	0.000599	0.0025	0.0019	0.00182

**River Rouge (261630005) Concentrations in micrograms per cubic meter (µg/m<sup>3</sup>)**

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Acetaldehyde	30	30	2.52	2.52		3.78	3.66	3.09
Acetone	30	30	2.75	2.75		5.85	5.02	4.15
Acrolein - Unverified	30	29	0.0786	0.0813		0.141	0.137	0.125
Arsenic (Tsp) Stp	61	61	0.00155	0.00155	0.0000348	0.0118	0.00813	0.00341
Benzaldehyde	30	30	0.165	0.165		0.547	0.299	0.281
Cadmium (Tsp) Stp	61	61	0.000315	0.000315	0.0000163	0.0016	0.00092	0.00086
Crotonaldehyde	30	0	0			0	0	0
Formaldehyde	30	30	3.37	3.37		6.58	6.47	5.38
Hexanaldehyde	30	30	0.211	0.211		0.774	0.526	0.469
Lead (Tsp) Lc Frm/Fem	62	61	0.00615	0.00615		0.0332	0.0213	0.0174
Manganese (Tsp) Stp	61	61	0.0438	0.0438	6.33E-04	0.152	0.105	0.0999
Methacrolein	30	30	0.15	0.15		0.474	0.378	0.238
Nickel (Tsp) Stp	61	61	0.00131	0.00131	0.000609	0.00298	0.00252	0.00233
Propionaldehyde	30	30	0.385	0.385		1.01	0.837	0.649
Tolualdehydes	30	5	0.0117	0.0699		0.0865	0.0774	0.0702
Valeraldehyde	30	30	0.18	0.18		0.799	0.395	0.336

**Grand Rapids-Monroe St. (260810020)** Concentrations in micrograms per cubic meter ( $\mu\text{g}/\text{m}^3$ )

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Arsenic (Tsp) Stp	61	61	0.000853	0.000853	0.0000335	0.00515	0.00219	0.00214
Cadmium (Tsp) Stp	61	61	0.0000782	0.0000782	0.0000163	0.00025	0.00021	0.00018
Lead (Tsp) Lc Frm/Fem	62	60	0.00373	0.00373		0.0451	0.0118	0.0101
Manganese (Tsp) Stp	61	61	0.0102	0.0102	0.000593	0.0271	0.0264	0.0251
Nickel (Tsp) Stp	61	61	0.000966	0.000966	0.000572	0.00515	0.00253	0.00219

**Belding-Merrick St. (260670003)** Concentrations in micrograms per cubic meter ( $\mu\text{g}/\text{m}^3$ )

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Arsenic (Tsp) Stp	61	61	0.00107	0.00107	0.0000348	0.00482	0.00394	0.00343
Cadmium (Tsp) Stp	61	61	0.00102	0.00102	0.0000161	0.0413	0.00392	0.00326
Lead (Tsp) Lc Frm/Fem	61	61	0.0304	0.0304		0.753	0.195	0.152
Manganese (Tsp) Stp	61	61	0.0061	0.0061	0.00062	0.0177	0.0118	0.0116
Nickel (Tsp) Stp	61	61	0.000653	0.000653	0.000598	0.00189	0.00148	0.00124

**NMH 48217 (261630097)** Concentrations in micrograms per cubic meter ( $\mu\text{g}/\text{m}^3$ )

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Arsenic (Tsp) Stp	61	61	0.001	0.001	0.0000334	0.00292	0.00273	0.00234
Cadmium (Tsp) Stp	61	61	0.000143	0.000143	0.000016	0.00144	0.00039	0.00034
Lead (Tsp) Lc Frm/Fem	61	61	0.00436	0.00436		0.0181	0.00984	0.00954
Manganese (Tsp) Stp	61	61	0.0199	0.0199	0.000604	0.0422	0.0394	0.0387
Nickel (Tsp) Stp	61	61	0.0016	0.0016	0.000583	0.0202	0.00901	0.00513

**DP 4th Precinct (261630098)** Concentrations in micrograms per cubic meter ( $\mu\text{g}/\text{m}^3$ )

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Arsenic (Tsp) Stp	60	60	0.00112	0.00112	0.0000354	0.00265	0.00233	0.00227
Cadmium (Tsp) Stp	60	60	0.000159	0.000159	0.0000162	0.00138	0.00034	0.00034
Lead (Tsp) Lc Frm/Fem	60	59	0.00732	0.00732		0.0203	0.0192	0.0179
Manganese (Tsp) Stp	60	60	0.0485	0.0485	0.00063	0.13	0.123	0.121
Nickel (Tsp) Stp	60	60	0.00207	0.00207	0.000607	0.00578	0.00555	0.00502

**Military Park (261630100)** Concentrations in micrograms per cubic meter ( $\mu\text{g}/\text{m}^3$ )

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Arsenic (Tsp) Stp	61	61	0.00122	0.00122	0.0000343	0.00276	0.00273	0.00263
Cadmium (Tsp) Stp	61	61	0.000235	0.000235	0.0000161	0.00142	0.00093	0.00072
Lead (Tsp) Lc Frm/Fem	61	61	0.0117	0.0117		0.0782	0.0678	0.0661
Manganese (Tsp) Stp	61	61	0.0456	0.0456	0.000619	0.15	0.134	0.132
Nickel (Tsp) Stp	61	61	0.00145	0.00145	0.000595	0.00369	0.00312	0.00282

**Trinity (261630099)** Concentrations in micrograms per cubic meter ( $\mu\text{g}/\text{m}^3$ )

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Arsenic (Tsp) Stp	61	61	0.00149	0.00149	0.0000341	0.00941	0.00391	0.00304
Cadmium (Tsp) Stp	61	61	0.000219	0.000219	0.0000161	0.00093	0.00053	0.00052
Lead (Tsp) Lc Frm/Fem	60	60	0.0145	0.0145		0.303	0.041	0.0285
Manganese (Tsp) Stp	61	61	0.08	0.08	0.000614	0.265	0.224	0.223
Nickel (Tsp) Stp	61	61	0.00271	0.00271	0.000592	0.00784	0.0076	0.00719

## APPENDIX B-2 Data Tables

Allen Park (261630001), Speciated PM<sub>2.5</sub> (µg/m<sup>3</sup>)

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Aluminum Pm2.5 Lc	119	87	0.0274	0.0274	0.0322	0.14	0.134	0.12
Ammonium Ion Pm2.5 Lc	119	118	0.525	0.525	0.0069	4.17	2.66	2.39
Antimony Pm2.5 Lc	119	71	0.00497	0.00497	0.0388	0.0333	0.0278	0.0247
Arsenic Pm2.5 Lc	119	54	0.0000371	0.000201	0.00186	0.0021	0.00011	0.00011
Barium Pm2.5 Lc	119	66	0.0105	0.0105	0.08	0.0535	0.0426	0.0423
Bromine Pm2.5 Lc	119	25	0.000387	0.00218	0.00454	0.00741	0.00654	0.00478
Cadmium Pm2.5 Lc	119	70	0.00421	0.00421	0.0158	0.0212	0.0212	0.0188
Calcium Pm2.5 Lc	119	119	0.089	0.089	0.00882	0.472	0.462	0.454
Cerium Pm2.5 Lc	119	57	0.00916	0.00916	0.0953	0.0639	0.0514	0.0482
Cesium Pm2.5 Lc	119	61	0.00805	0.00805	0.0537	0.0666	0.0547	0.0431
Chlorine Pm2.5 Lc	119	105	0.0203	0.0203	0.00433	0.918	0.325	0.0658
Chromium Pm2.5 Lc	119	97	0.00338	0.00338	0.00275	0.0309	0.0303	0.022
Cobalt Pm2.5 Lc	119	42	0.00031	0.00031	0.0033	0.00276	0.00252	0.00199
Copper Pm2.5 Lc	119	102	0.0074	0.0074	0.0113	0.0396	0.0335	0.0328
Ec Csn_Rev Unadjusted Pm2.5 Lc Tot	120	120	0.438	0.438	0.0117	1.5	1.46	1.03
Indium Pm2.5 Lc	119	59	0.00471	0.00487	0.038	0.0447	0.034	0.0281
Iron Pm2.5 Lc	119	119	0.0989	0.0989	0.0175	0.333	0.328	0.322
Lead Pm2.5 Lc	119	82	0.0038	0.0038	0.0122	0.024	0.0151	0.0147
Magnesium Pm2.5 Lc	119	72	0.0208	0.0238	0.0462	0.121	0.114	0.112
Manganese Pm2.5 Lc	119	103	0.00329	0.00329	0.00639	0.0132	0.0124	0.0109
Nickel Pm2.5 Lc	119	96	0.00124	0.00124	0.00186	0.0081	0.00795	0.00747
Oc Csn_Rev Unadjusted Pm2.5 Lc Tot	120	120	1.91	1.91	0.358	5.17	4.94	3.94
Phosphorus Pm2.5 Lc	119	112	0.000408	0.000484	0.00258	0.00675	0.00494	0.00416
Potassium Ion Pm2.5 Lc	119	119	0.0364	0.0364	0.0606	0.419	0.18	0.134
Potassium Pm2.5 Lc	119	119	0.0486	0.0486	0.00631	0.18	0.146	0.135
Rubidium Pm2.5 Lc	119	55	0.00075	0.00075	0.00887	0.00858	0.00612	0.00604
Selenium Pm2.5 Lc	119	74	0.001	0.00102	0.00526	0.00598	0.00589	0.00543
Silicon Pm2.5 Lc	119	112	0.0729	0.0729	0.0176	0.418	0.385	0.37
Silver Pm2.5 Lc	119	59	0.0038	0.0038	0.0164	0.0244	0.0203	0.0193
Sodium Ion Pm2.5 Lc	119	118	0.0599	0.0599	0.00879	2.56	0.84	0.489
Sodium Pm2.5 Lc	119	82	0.0624	0.0624	0.0915	0.591	0.506	0.372
Strontium Pm2.5 Lc	119	76	0.00112	0.00112	0.00722	0.00639	0.0061	0.00573
Sulfate Pm2.5 Lc	119	119	0.905	0.905	0.0217	2.78	2.65	2.17

**Allen Park (261630001), Speciated PM<sub>2.5</sub> (µg/m<sup>3</sup>) - continued**

<b>Chemical Name</b>	<b>Num Obs</b>	<b>Obs &gt; MDL</b>	<b>Average (ND=0)</b>	<b>Average (ND=MDL/2)</b>	<b>MDL</b>	<b>Max 1</b>	<b>Max 2</b>	<b>Max 3</b>
Sulfur Pm2.5 Lc	119	119	0.335	0.335	0.00371	0.997	0.902	0.836
Tin Pm2.5 Lc	119	65	0.00477	0.00477	0.0488	0.0403	0.0265	0.0251
Titanium Pm2.5 Lc	119	98	0.00363	0.00363	0.0035	0.0146	0.0139	0.0135
Total Nitrate Pm2.5 Lc	119	119	1.56	1.56	0.0394	12.4	8.33	7.77
Vanadium Pm2.5 Lc	119	33	0.000176	0.00066	0.00134	0.00188	0.00187	0.00142
Zinc Pm2.5 Lc	119	119	0.0165	0.0165	0.00316	0.151	0.057	0.0459
Zirconium Pm2.5 Lc	119	70	0.004	0.004	0.0359	0.0281	0.0261	0.0238

**Dearborn (261630033), Speciated PM<sub>2.5</sub> (µg/m<sup>3</sup>)**

<b>Chemical Name</b>	<b>Num Obs</b>	<b>Obs &gt; MDL</b>	<b>Average (ND=0)</b>	<b>Average (ND=MDL/2)</b>	<b>MDL</b>	<b>Max 1</b>	<b>Max 2</b>	<b>Max 3</b>
Aluminum Pm2.5 Lc	61	46	0.0336	0.0336	0.0322	0.255	0.122	0.122
Ammonium Ion Pm2.5 Lc	61	61	0.546	0.546	0.00684	2.4	2.33	1.57
Antimony Pm2.5 Lc	61	45	0.00674	0.00674	0.0388	0.0247	0.0212	0.018
Arsenic Pm2.5 Lc	61	26	2.03E-05	9.65E-05	0.00186	0.00011	0.00011	0.00006
Barium Pm2.5 Lc	61	35	0.0115	0.0115	0.0801	0.0679	0.056	0.0507
Bromine Pm2.5 Lc	61	25	0.000699	0.00204	0.00454	0.00927	0.00486	0.00413
Cadmium Pm2.5 Lc	61	33	0.00375	0.00375	0.0158	0.0176	0.0155	0.0143
Calcium Pm2.5 Lc	61	61	0.145	0.145	0.00887	0.864	0.836	0.624
Cerium Pm2.5 Lc	61	34	0.0127	0.0127	0.0954	0.079	0.0519	0.0505
Cesium Pm2.5 Lc	61	28	0.00574	0.00574	0.0538	0.036	0.0264	0.025
Chlorine Pm2.5 Lc	61	59	0.0391	0.0391	0.00433	0.271	0.222	0.177
Chromium Pm2.5 Lc	61	53	0.00259	0.00259	0.00276	0.0264	0.0128	0.00713
Cobalt Pm2.5 Lc	61	28	0.000569	0.000569	0.0033	0.00563	0.00336	0.00276
Copper Pm2.5 Lc	61	61	0.0259	0.0259	0.0114	0.0841	0.0711	0.0642
Ec Csn_Rev Unadjusted Pm2.5 Lc Tot	60	60	0.518	0.518	0.0117	1.17	1.17	1.01
Indium Pm2.5 Lc	61	38	0.00498	0.00498	0.0381	0.0266	0.0224	0.0179
Iron Pm2.5 Lc	61	61	0.359	0.359	0.0176	1.29	1.23	1.12
Lead Pm2.5 Lc	61	49	0.00614	0.00614	0.0122	0.0319	0.0188	0.0139
Magnesium Pm2.5 Lc	61	47	0.0387	0.041	0.0463	0.272	0.157	0.145
Manganese Pm2.5 Lc	61	57	0.0114	0.0114	0.0064	0.0421	0.0367	0.0347
Nickel Pm2.5 Lc	61	46	0.00137	0.00137	0.00186	0.0106	0.00729	0.00509
Oc Csn_Rev Unadjusted	60	60	2.1	2.1	0.356	4.6	4.36	4.29



**Dearborn (261630033), Speciated PM<sub>2.5</sub> (µg/m<sup>3</sup>) - continued**

<b>Chemical Name</b>	<b>Num Obs</b>	<b>Obs &gt; MDL</b>	<b>Average (ND=0)</b>	<b>Average (ND=MDL/2)</b>	<b>MDL</b>	<b>Max 1</b>	<b>Max 2</b>	<b>Max 3</b>
Pm2.5 Lc Tot								
Phosphorus Pm2.5 Lc	61	57	0.000243	0.000343	0.00257	0.00605	0.00216	0.00141
Potassium Ion Pm2.5 Lc	61	61	0.0466	0.0466	0.0606	0.198	0.174	0.14
Potassium Pm2.5 Lc	61	61	0.0654	0.0654	0.00627	0.247	0.183	0.174
Rubidium Pm2.5 Lc	61	34	0.00128	0.00135	0.00888	0.00476	0.00473	0.00471
Selenium Pm2.5 Lc	61	42	0.0013	0.0013	0.00527	0.0042	0.00417	0.00393
Silicon Pm2.5 Lc	61	58	0.0889	0.0889	0.0177	0.706	0.361	0.345
Silver Pm2.5 Lc	61	36	0.00294	0.00294	0.0164	0.0158	0.0151	0.0124
Sodium Ion Pm2.5 Lc	61	61	0.0539	0.0539	0.00886	0.308	0.241	0.214
Sodium Pm2.5 Lc	61	48	0.0711	0.0711	0.0916	0.475	0.394	0.386
Strontium Pm2.5 Lc	61	33	0.0015	0.0015	0.00723	0.0178	0.0081	0.0077
Sulfate Pm2.5 Lc	61	61	1.15	1.15	0.0218	3.63	2.71	2.27
Sulfur Pm2.5 Lc	61	61	0.408	0.408	0.00372	1.16	1.02	0.889
Tin Pm2.5 Lc	61	35	0.00566	0.00566	0.0488	0.0339	0.0259	0.0256
Titanium Pm2.5 Lc	61	54	0.00462	0.00462	0.0035	0.0385	0.0166	0.0146
Total Nitrate Pm2.5 Lc	61	61	1.62	1.62	0.0393	12.3	7.23	5.74
Vanadium Pm2.5 Lc	61	20	0.000169	0.000619	0.00134	0.0018	0.00131	0.0011
Zinc Pm2.5 Lc	61	61	0.0667	0.0667	0.00317	0.475	0.3	0.297
Zirconium Pm2.5 Lc	61	35	0.00293	0.00293	0.0359	0.0183	0.0149	0.0105

**Detroit, W Fort St. (N. Delray-SWHS) (261630015), Speciated PM<sub>2.5</sub> (µg/m<sup>3</sup>)**

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Aluminum Pm2.5 Lc	61	47	0.271	0.271	0.0322	11.2	0.818	0.605
Ammonium Ion Pm2.5 Lc	61	61	0.653	0.653	0.00684	4.71	2.7	2.39
Antimony Pm2.5 Lc	61	32	0.00571	0.00571	0.0388	0.0282	0.026	0.0246
Arsenic Pm2.5 Lc	61	24	0.0000193	0.0000955	0.00186	0.00011	0.00011	0.00006
Barium Pm2.5 Lc	61	37	0.0111	0.0111	0.0801	0.0527	0.0505	0.0487
Bromine Pm2.5 Lc	61	24	0.000897	0.00227	0.00454	0.0103	0.00743	0.00569
Cadmium Pm2.5 Lc	61	34	0.00463	0.00463	0.0158	0.0245	0.0245	0.0231
Calcium Pm2.5 Lc	61	61	0.0983	0.0983	0.00887	0.458	0.325	0.229
Cerium Pm2.5 Lc	61	23	0.00585	0.00585	0.0954	0.0434	0.0433	0.0296
Cesium Pm2.5 Lc	61	30	0.007	0.007	0.0538	0.056	0.0334	0.0314
Chlorine Pm2.5 Lc	61	56	0.0427	0.0427	0.00433	0.369	0.216	0.204
Chromium Pm2.5 Lc	61	52	0.00158	0.00158	0.00276	0.0105	0.00644	0.00516
Cobalt Pm2.5 Lc	61	22	0.000365	0.000365	0.0033	0.00401	0.00365	0.00182
Copper Pm2.5 Lc	61	60	0.00819	0.00819	0.0114	0.0368	0.021	0.0197
Ec Csn_Rev Unadjusted Pm2.5 Lc Tot	60	60	0.712	0.712	0.0117	1.53	1.52	1.49
Indium Pm2.5 Lc	61	31	0.00456	0.00456	0.0381	0.0251	0.021	0.0192
Iron Pm2.5 Lc	61	61	0.173	0.173	0.0175	0.684	0.576	0.507
Lead Pm2.5 Lc	61	50	0.00595	0.00595	0.0122	0.0368	0.0301	0.0156
Magnesium Pm2.5 Lc	61	30	0.0277	0.0324	0.0463	0.427	0.128	0.107
Manganese Pm2.5 Lc	61	57	0.00513	0.00513	0.0064	0.0199	0.0147	0.0146
Nickel Pm2.5 Lc	61	48	0.000974	0.000974	0.00186	0.00592	0.00384	0.00349
Oc Csn_Rev Unadjusted Pm2.5 Lc Tot	60	60	3.13	3.13	0.348	8.95	6.08	5.15
Phosphorus Pm2.5 Lc	61	58	0.000317	0.000394	0.00257	0.00343	0.00242	0.00224
Potassium Ion Pm2.5 Lc	61	61	0.187	0.187	0.0606	2.49	2.24	1.26
Potassium Pm2.5 Lc	61	60	0.209	0.209	0.00627	2.67	2.36	1.23
Rubidium Pm2.5 Lc	61	29	0.000929	0.000929	0.00887	0.00498	0.00483	0.00457

**Detroit, W Fort St. (N. Delray-SWHS) (261630015), Speciated PM<sub>2.5</sub> (µg/m<sup>3</sup>) - continued**

Chemical Name	Num Obs	Obs > MDL	Average (ND=0)	Average (ND=MDL/2)	MDL	Max 1	Max 2	Max 3
Selenium Pm2.5 Lc	61	40	0.00124	0.00124	0.00526	0.00511	0.00423	0.00421
Silicon Pm2.5 Lc	61	59	0.122	0.122	0.0177	2.32	0.399	0.312
Silver Pm2.5 Lc	61	34	0.00392	0.00392	0.0164	0.0212	0.0195	0.019
Sodium Ion Pm2.5 Lc	61	61	0.0432	0.0432	0.00885	0.209	0.197	0.161
Sodium Pm2.5 Lc	61	53	0.0549	0.0549	0.0916	0.192	0.162	0.15
Strontium Pm2.5 Lc	61	42	0.00142	0.00142	0.00722	0.00622	0.00509	0.00481
Sulfate Pm2.5 Lc	61	61	1.36	1.36	0.0218	3.78	3.28	3.1
Sulfur Pm2.5 Lc	61	61	0.47	0.47	0.00371	1.23	1.15	1.12
Tin Pm2.5 Lc	61	36	0.00434	0.00434	0.0488	0.0273	0.0262	0.0253
Titanium Pm2.5 Lc	61	58	0.0183	0.0183	0.0035	0.308	0.159	0.0535
Total Nitrate Pm2.5 Lc	61	61	1.85	1.85	0.0393	12	7.34	7.19
Vanadium Pm2.5 Lc	61	27	0.000621	0.000995	0.00134	0.0135	0.00402	0.00322
Zinc Pm2.5 Lc	61	61	0.0373	0.0373	0.00317	0.46	0.134	0.106
Zirconium Pm2.5 Lc	61	35	0.00385	0.00385	0.0359	0.0172	0.0158	0.0144

**Grand Rapids-Monroe St. (260810020), Speciated PM<sub>2.5</sub> (µg/m<sup>3</sup>)**

<b>Chemical Name</b>	<b>Num Obs</b>	<b>Obs &gt; MDL</b>	<b>Average (ND=0)</b>	<b>Average (ND=MDL/2)</b>	<b>MDL</b>	<b>Max 1</b>	<b>Max 2</b>	<b>Max 3</b>
Aluminum Pm2.5 Lc	121	66	0.0146	0.0146	0.0322	0.146	0.142	0.134
Ammonium Ion Pm2.5 Lc	121	120	0.686	0.686	0.00692	4.44	4.23	3.56
Antimony Pm2.5 Lc	121	69	0.00517	0.00517	0.0388	0.0333	0.0289	0.0256
Arsenic Pm2.5 Lc	121	56	0.0000193	0.000165	0.00186	0.00011	0.00011	0.00011
Barium Pm2.5 Lc	121	71	0.0111	0.0111	0.0801	0.132	0.0759	0.0643
Bromine Pm2.5 Lc	121	27	0.000379	0.00215	0.00454	0.00651	0.00518	0.00514
Cadmium Pm2.5 Lc	121	70	0.00465	0.00465	0.0158	0.0248	0.0246	0.0242
Calcium Pm2.5 Lc	121	121	0.0298	0.0298	0.00885	0.162	0.0926	0.0876
Cerium Pm2.5 Lc	121	61	0.0119	0.0119	0.0954	0.0644	0.0593	0.0583
Cesium Pm2.5 Lc	121	66	0.00867	0.00867	0.0538	0.0469	0.0468	0.0385
Chlorine Pm2.5 Lc	121	82	0.00583	0.00583	0.00432	0.153	0.0986	0.0344
Chromium Pm2.5 Lc	121	92	0.00461	0.00461	0.00276	0.191	0.0588	0.0335
Cobalt Pm2.5 Lc	121	37	0.000252	0.000252	0.0033	0.00341	0.00306	0.00247
Copper Pm2.5 Lc	121	98	0.00404	0.00404	0.0114	0.0533	0.0171	0.0167
Ec Csn_Rev Unadjusted Pm2.5 Lc Tot	116	116	0.366	0.366	0.0117	1.11	0.984	0.93
Indium Pm2.5 Lc	121	65	0.00447	0.00447	0.0381	0.0249	0.0201	0.0196
Iron Pm2.5 Lc	121	121	0.072	0.072	0.0176	0.609	0.498	0.285
Lead Pm2.5 Lc	121	85	0.00372	0.00372	0.0122	0.0165	0.0144	0.0142
Magnesium Pm2.5 Lc	121	74	0.0196	0.0227	0.0463	0.252	0.0729	0.0708
Manganese Pm2.5 Lc	121	97	0.00259	0.00259	0.0064	0.0229	0.0149	0.0123

**Grand Rapids-Monroe St. (260810020), Speciated PM<sub>2.5</sub> (µg/m<sup>3</sup>) - continued**

<b>Chemical Name</b>	<b>Num Obs</b>	<b>Obs &gt; MDL</b>	<b>Average (ND=0)</b>	<b>Average (ND=MDL/2)</b>	<b>MDL</b>	<b>Max 1</b>	<b>Max 2</b>	<b>Max 3</b>
Nickel Pm2.5 Lc	121	84	0.00126	0.00127	0.00186	0.0415	0.0144	0.00932
Oc Csn_Rev Unadjusted Pm2.5 Lc Tot	116	116	1.89	1.89	0.362	4.87	4.55	4.14
Phosphorus Pm2.5 Lc	121	113	0.00101	0.0011	0.00258	0.0931	0.00392	0.00356
Potassium Ion Pm2.5 Lc	121	120	0.0495	0.0495	0.0606	1.79	0.193	0.174
Potassium Pm2.5 Lc	121	121	0.0606	0.0606	0.00631	1.76	0.211	0.197
Rubidium Pm2.5 Lc	121	69	0.000863	0.000936	0.00888	0.00787	0.00704	0.00445
Selenium Pm2.5 Lc	121	73	0.000867	0.000867	0.00527	0.00477	0.00453	0.00418
Silicon Pm2.5 Lc	121	108	0.0322	0.0322	0.0175	0.272	0.186	0.163
Silver Pm2.5 Lc	121	60	0.00358	0.00358	0.0164	0.0246	0.0211	0.02
Sodium Ion Pm2.5 Lc	121	119	0.024	0.024	0.00882	0.171	0.148	0.146
Sodium Pm2.5 Lc	121	82	0.0414	0.0414	0.0917	0.182	0.173	0.169
Strontium Pm2.5 Lc	121	71	0.0013	0.0013	0.00723	0.0407	0.0177	0.00478
Sulfate Pm2.5 Lc	121	121	0.948	0.948	0.0217	3.19	3.09	2.44
Sulfur Pm2.5 Lc	121	121	0.329	0.329	0.00372	1.08	0.969	0.904
Tin Pm2.5 Lc	121	76	0.00613	0.00613	0.0489	0.0323	0.0303	0.0226
Titanium Pm2.5 Lc	121	99	0.00293	0.00295	0.00351	0.0155	0.0129	0.00926
Total Nitrate Pm2.5 Lc	121	121	1.99	1.99	0.0393	13.5	12.4	9.93
Vanadium Pm2.5 Lc	121	35	0.000131	0.000608	0.00134	0.00135	0.0013	0.00115
Zinc Pm2.5 Lc	121	121	0.0134	0.0134	0.00317	0.0434	0.04	0.04
Zirconium Pm2.5 Lc	121	70	0.00487	0.00487	0.0359	0.0213	0.0184	0.0182

## APPENDIX C: 2019 AIR QUALITY INDEX (AQI) PIE CHARTS

Appendix C contains pie charts that were created to show the AQI values for each of Michigan's 2019 monitoring sites and includes the total number of days measurements were taken, along with the pollutant distribution of the AQI values for those measurements. It is important to note that not all pollutants are measured at each site. In fact, some sites only obtain AQI measurements for that portion of the year corresponding to the ozone season; therefore, the number of days for each site may not be equivalent to 365. **Figures C.1** through **C.7** are grouped by Metropolitan Statistical Area (MSA). MSAs are geographic regions based on population and employment data that the US Census compiles. They are defined by the US Office of Management and Budget. More information on MSAs can be found on the US Census website: [www.census.gov](http://www.census.gov). **Figures C.8** and **C.9** show the remaining sites (not part of a CSA) located in Michigan's Upper and Lower Peninsulas, respectively.

**See Legend for Appendix C Pie Charts**





Figure C.1: AQI Summaries for Detroit-Warren-Dearborn MSA

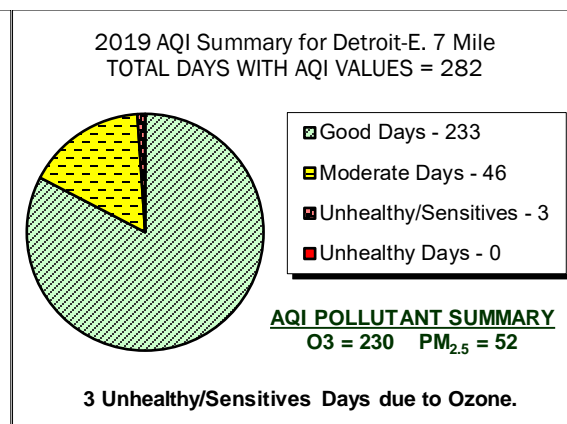
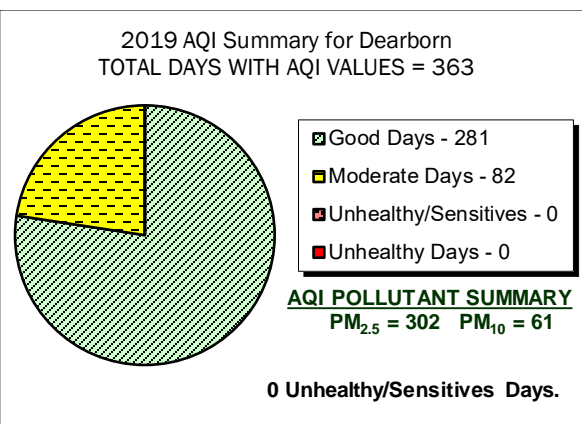
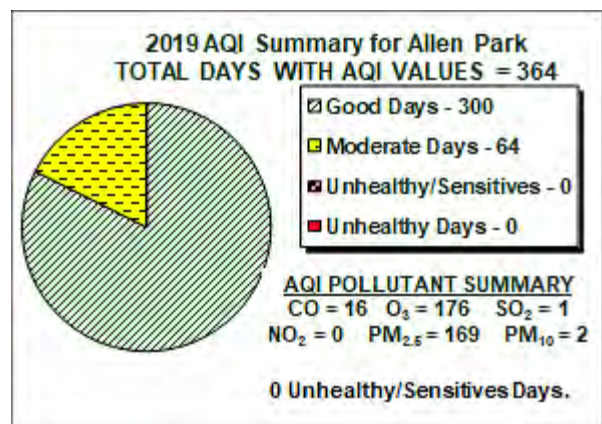
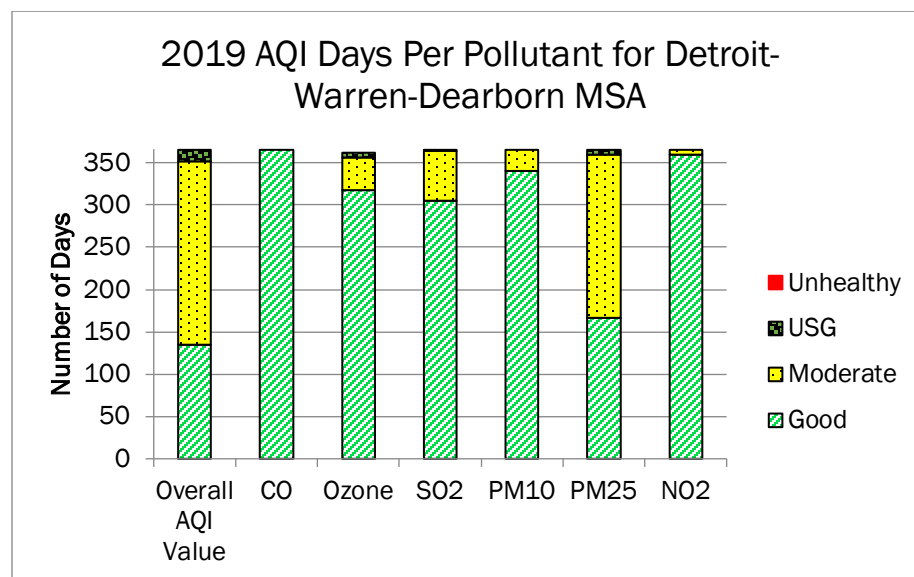


Figure C1, continued: AQI Summaries for Detroit-Warren-Dearborn-MSA

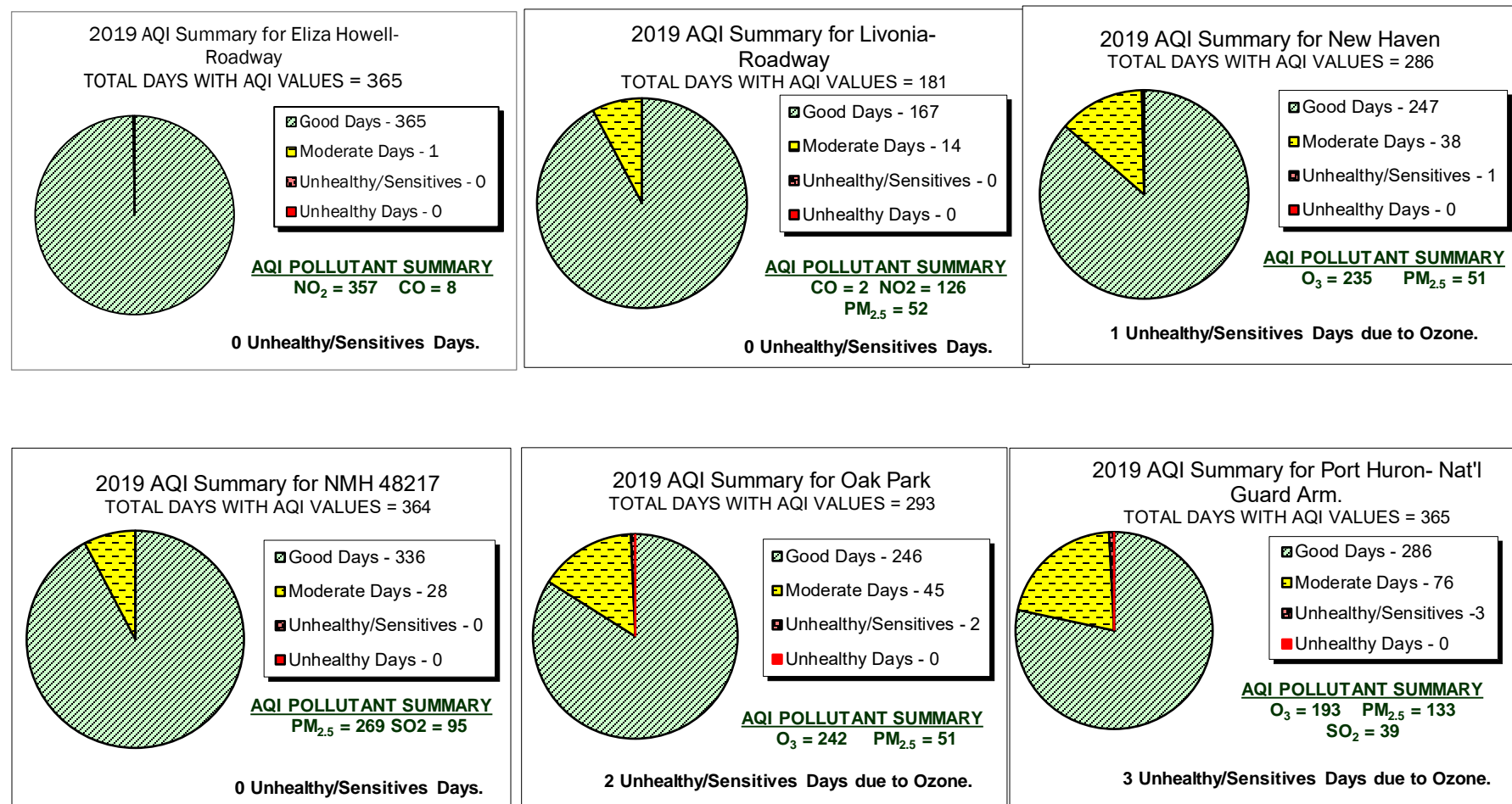


Figure C1, continued: AQI Summaries for Detroit-Warren-Dearborn-MSA

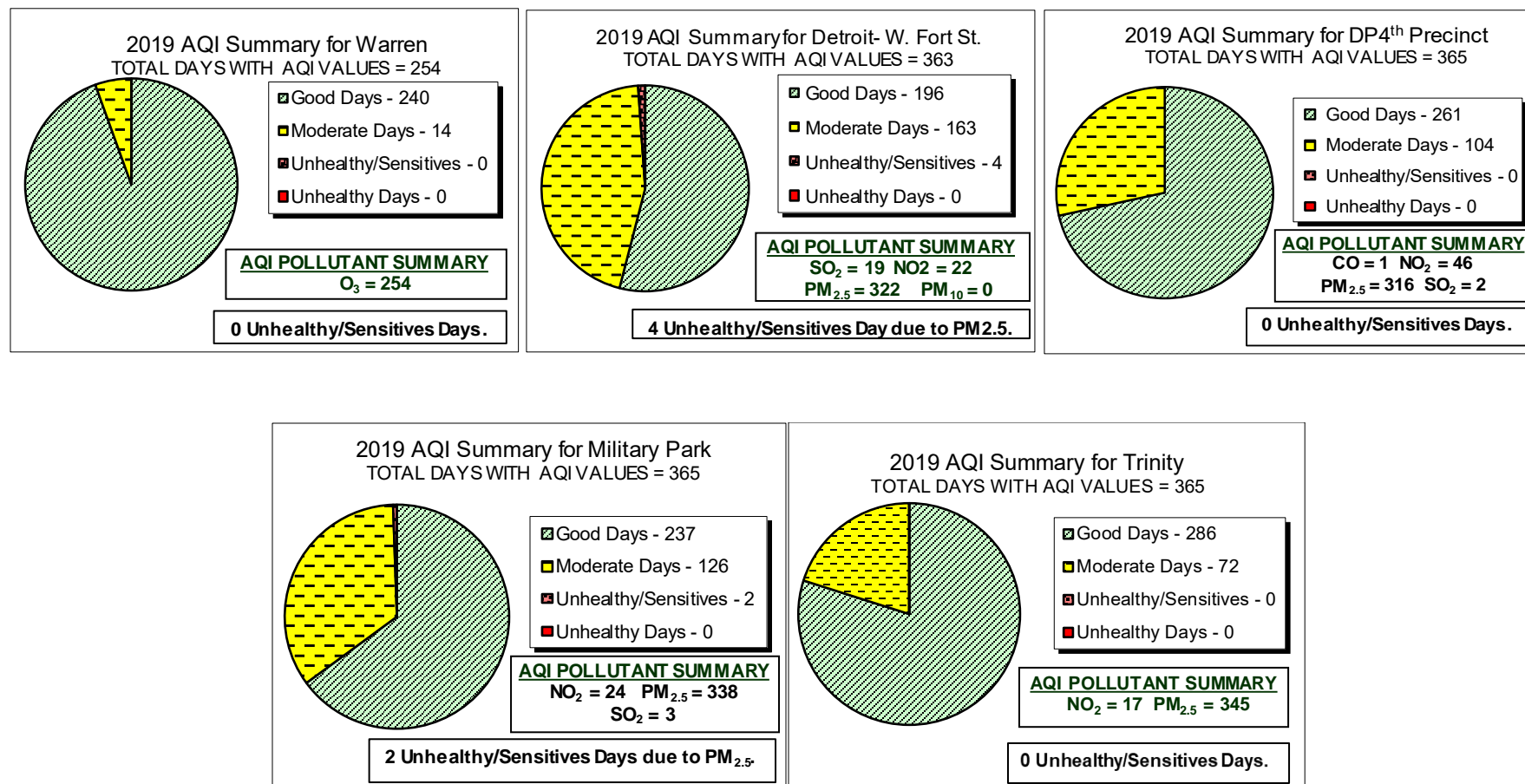


Figure C2: AQI Summaries for Flint MSA

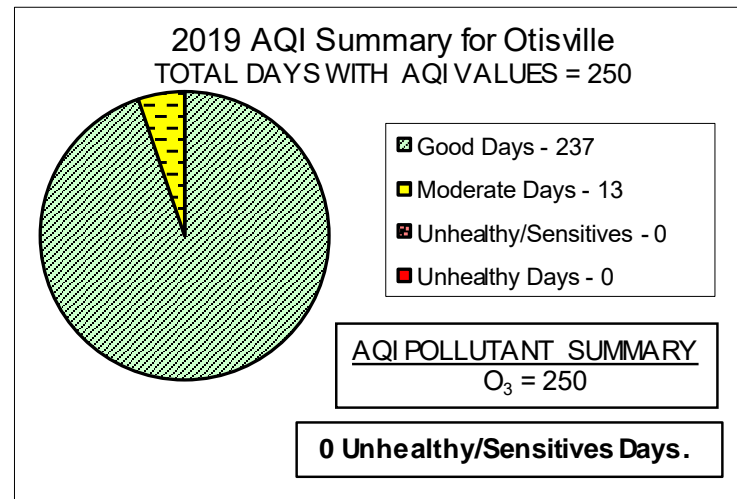
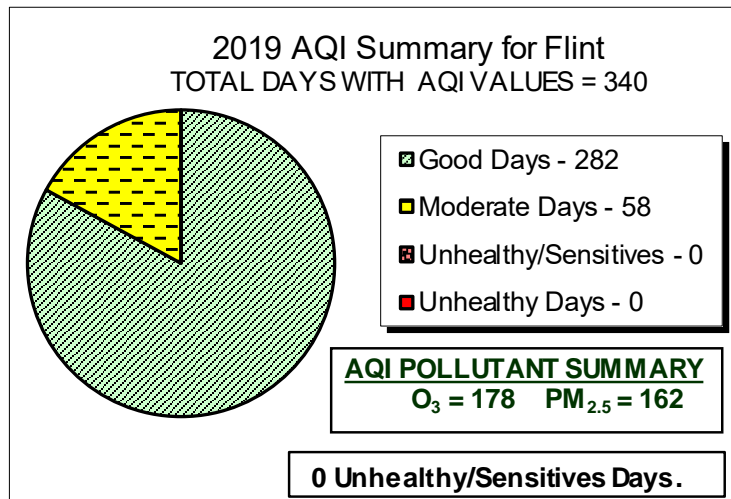
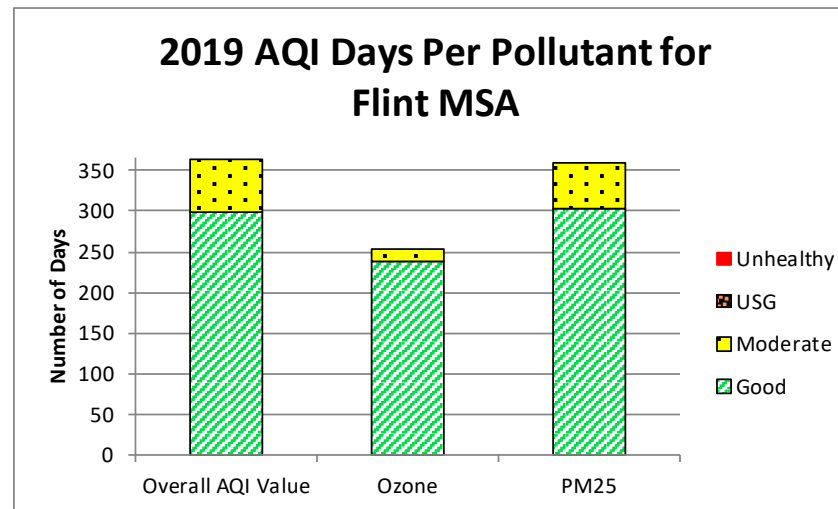
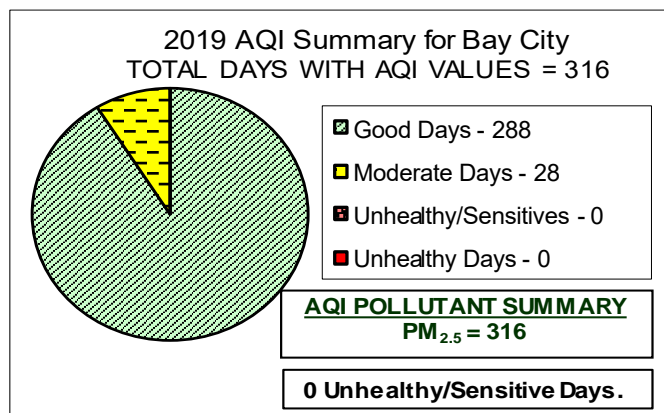


Figure C3: AQI Summary for Saginaw-Midland-Bay City-MSA



\*Note: This site does not have AQI per pollutant graphs since only one pollutant is monitored in one location in these areas.

Figure C4: Ann Arbor MSA

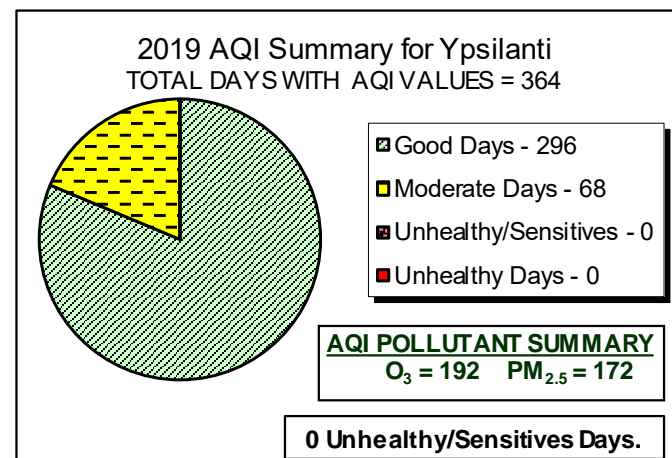
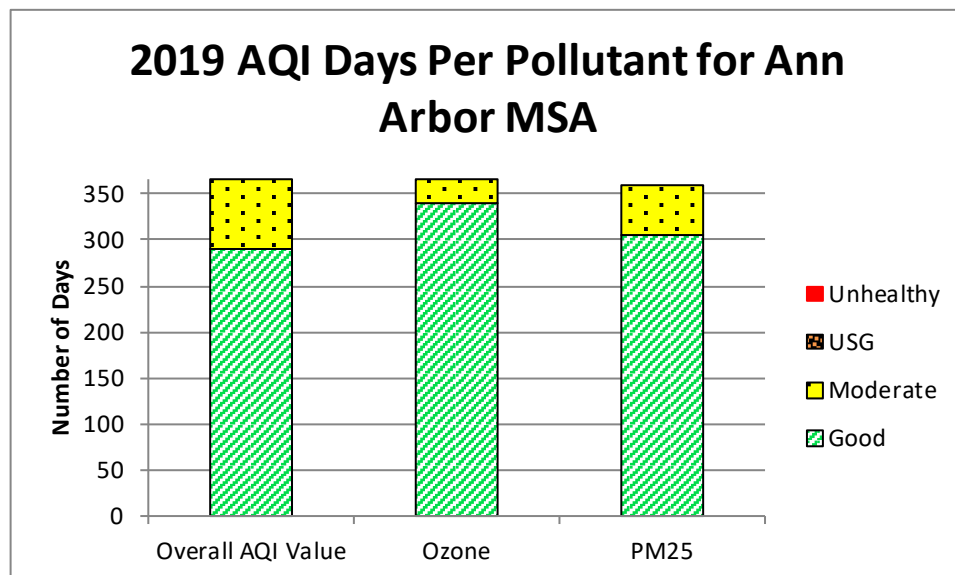


Figure C5: AQI Summaries for Lansing-East Lansing-MSA

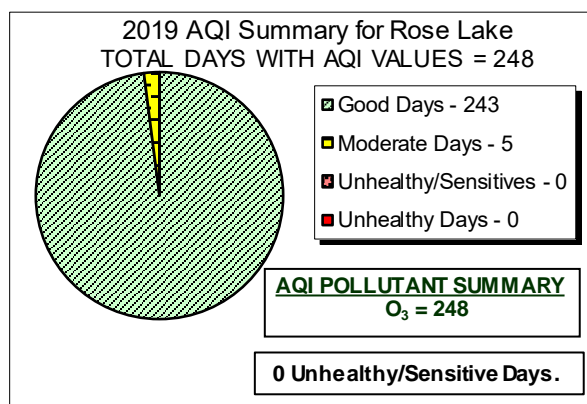
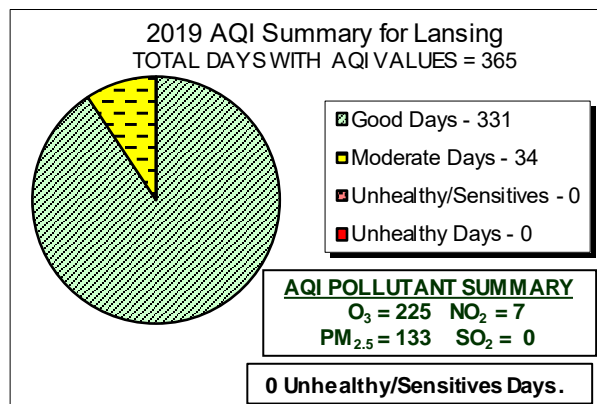
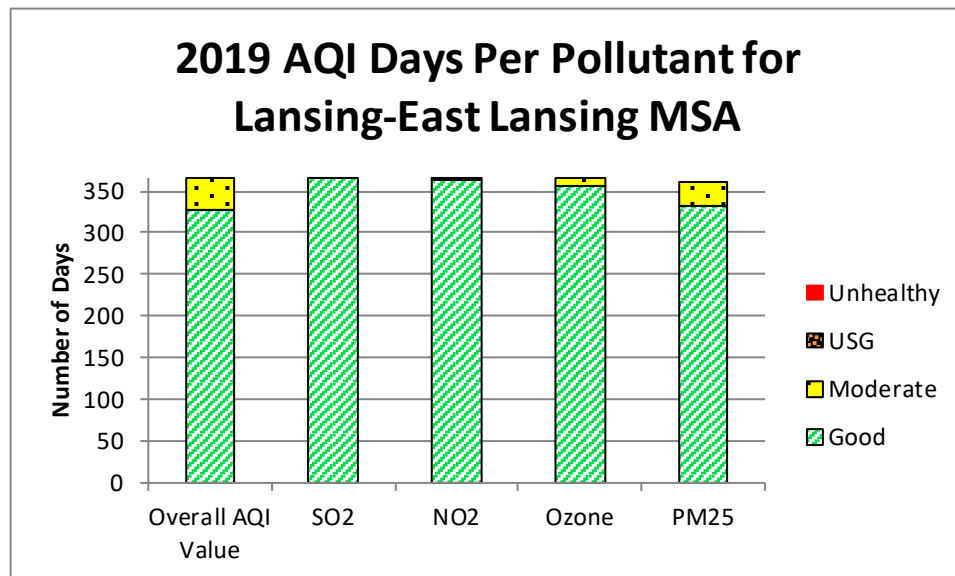




Figure C6: AQI Summaries for Grand Rapids-Wyoming MSA

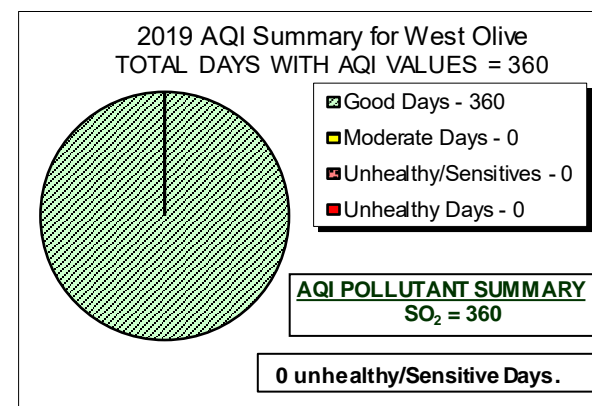
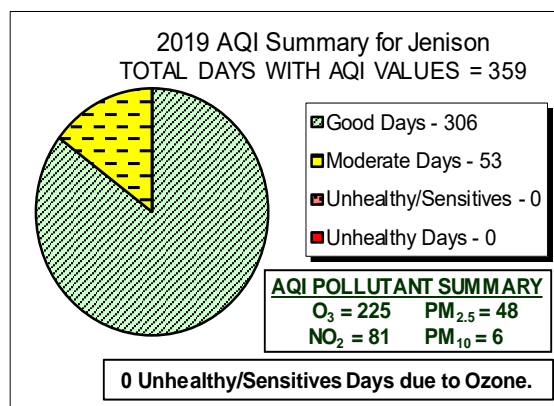
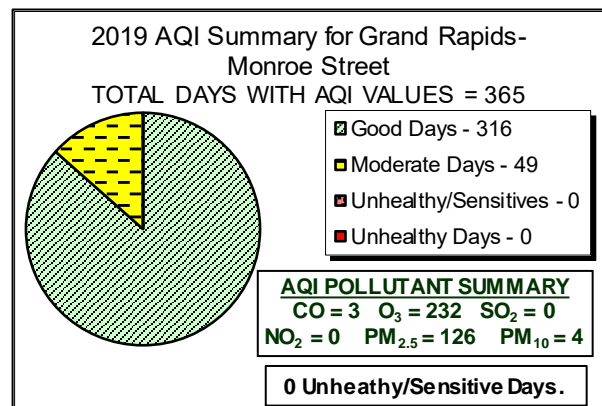
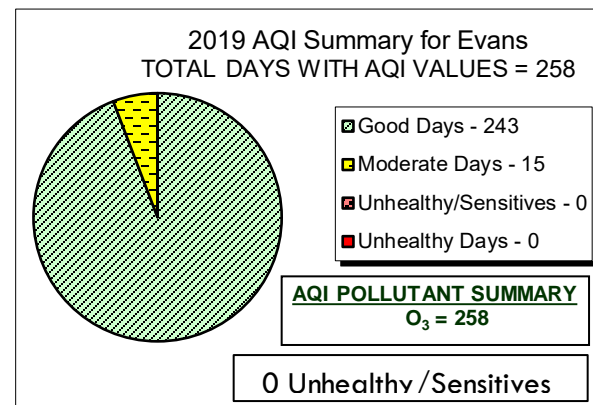
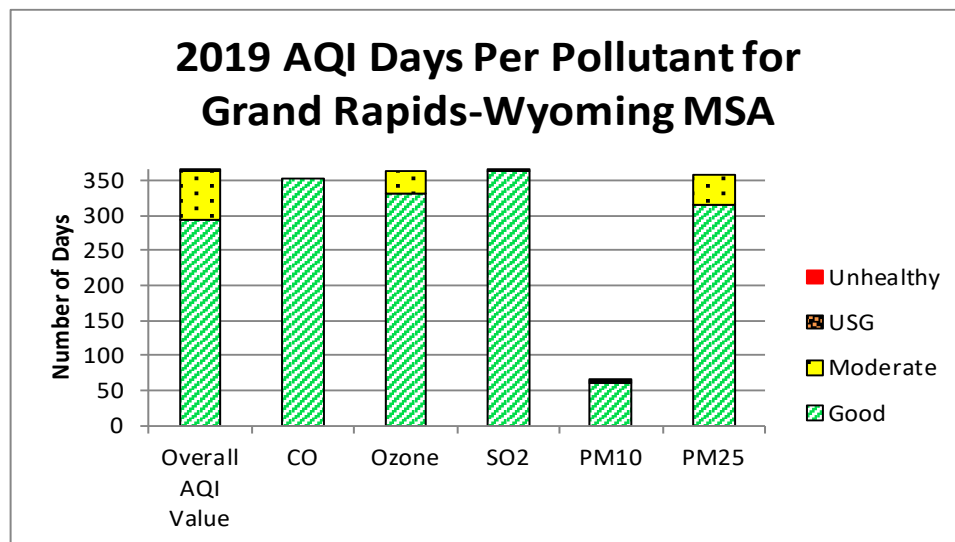
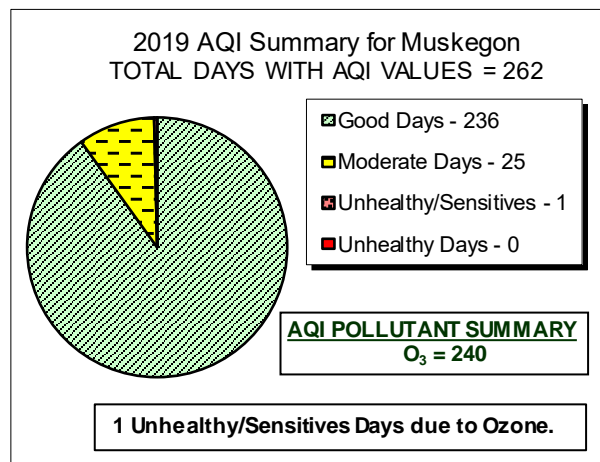


Figure C7: Muskegon MSA



\*Note: This site does not have AQI per pollutant graphs since only one pollutant is monitored in one location in these areas.

Figure C8: AQI Summaries for Michigan's Other Lower Peninsula Areas

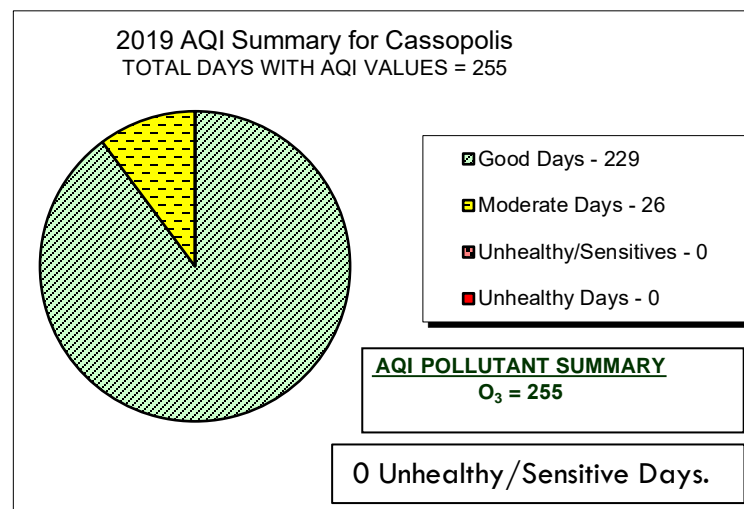
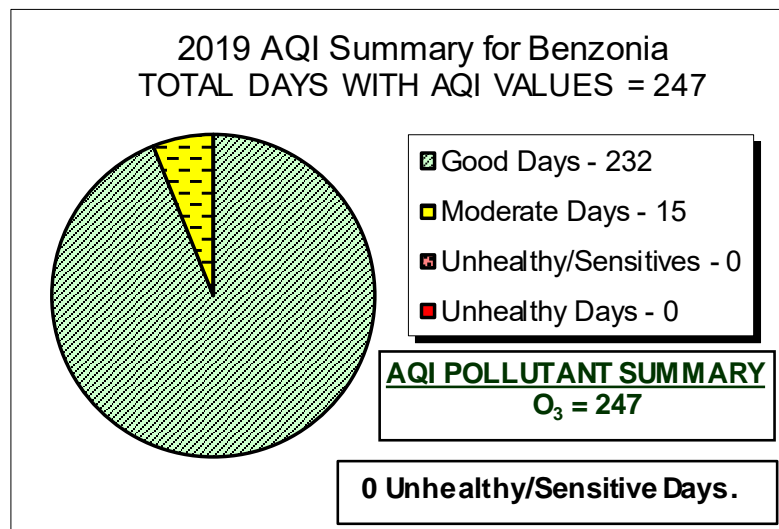
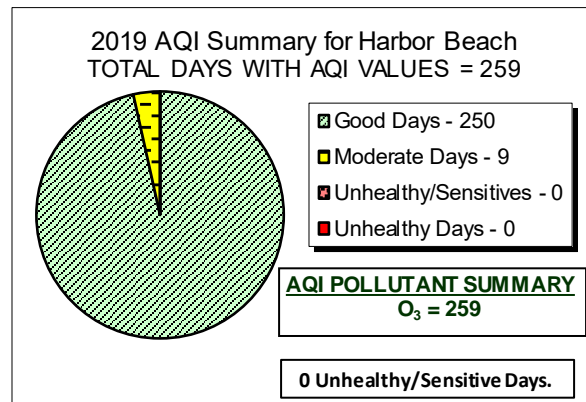
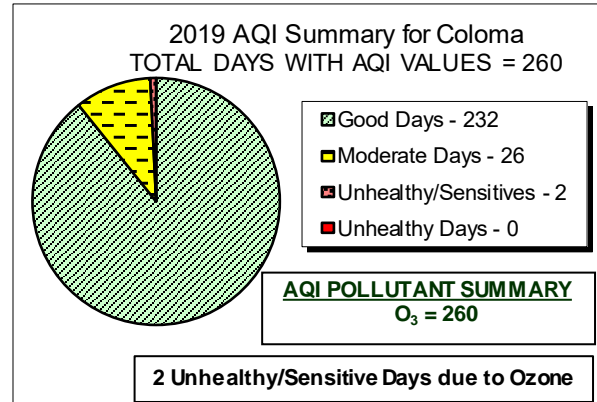


Figure C8, continued: AQI Summaries for Michigan's Other Lower Peninsula Areas



- Note: These sites do not have AQI per pollutant graphs since only one pollutant is monitored in one location in these areas.

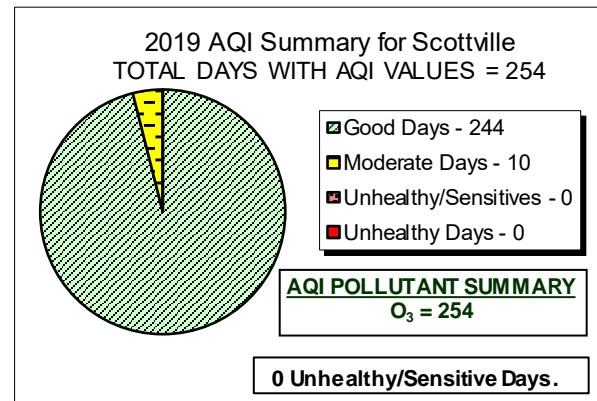


Figure C8, continued: AQI Summaries for Michigan's Other Lower Peninsula Areas

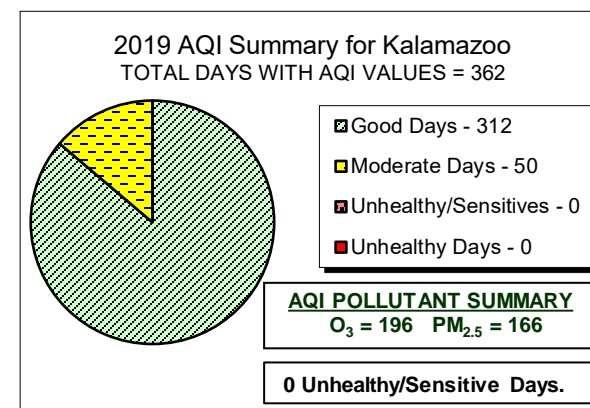
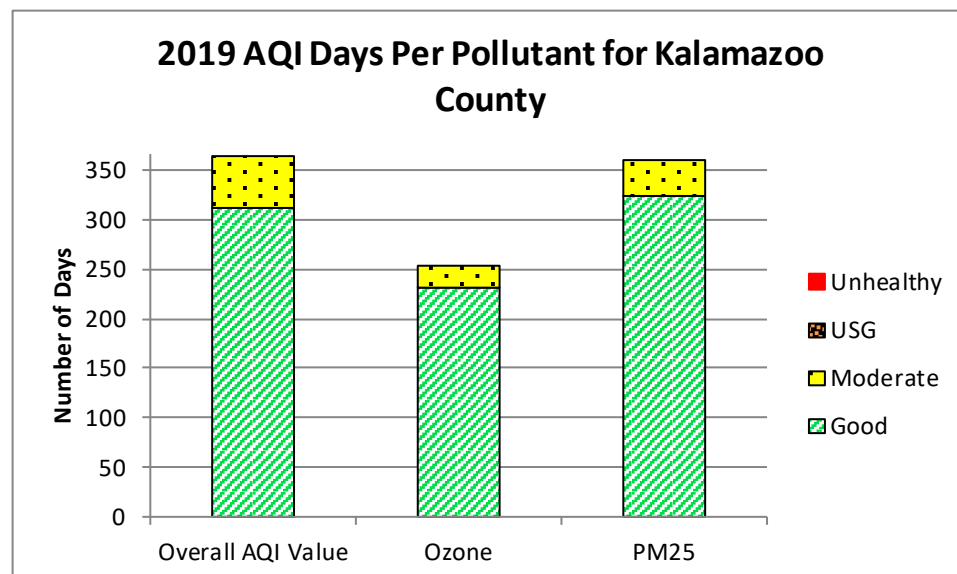
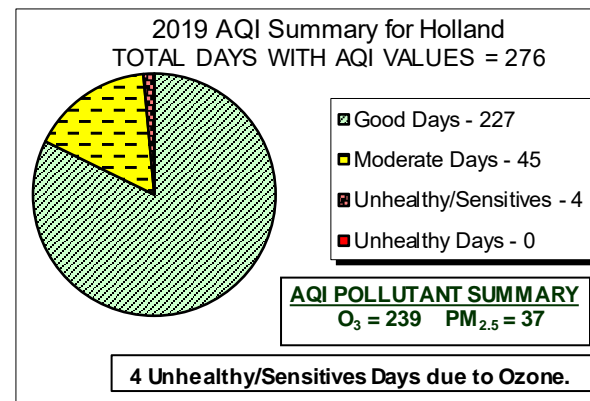
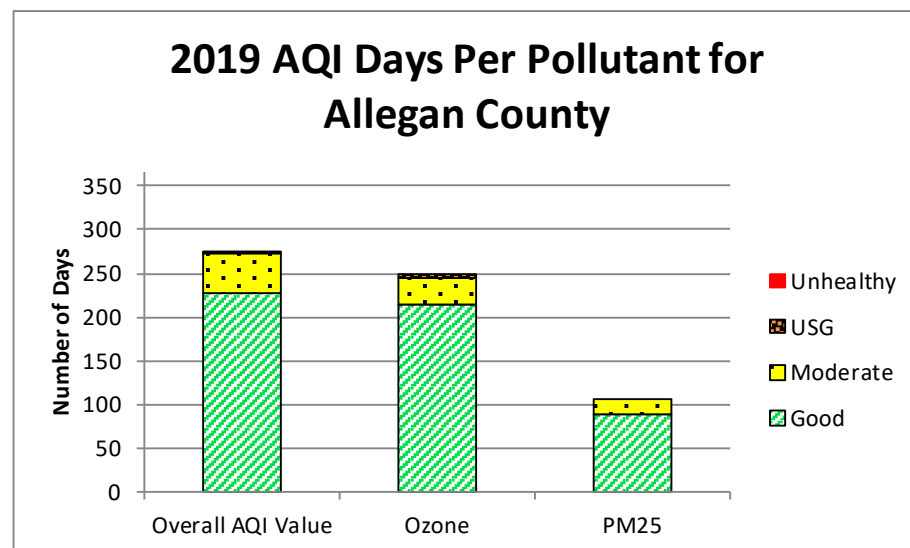
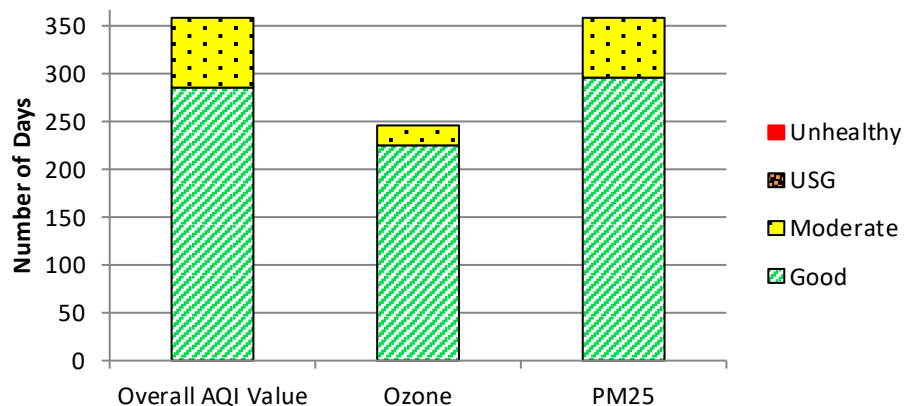


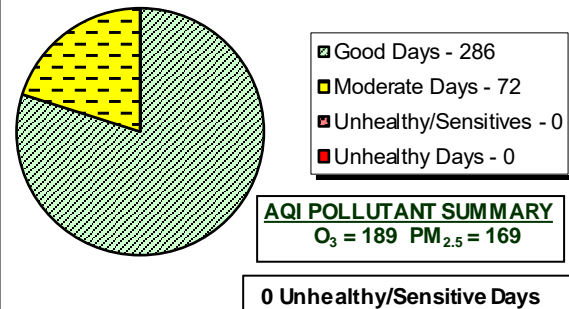
Figure C8, continued: AQI Summaries for Michigan's Other Lower Peninsula Areas

## 2019 AQI Days Per Pollutant for Lenewee County

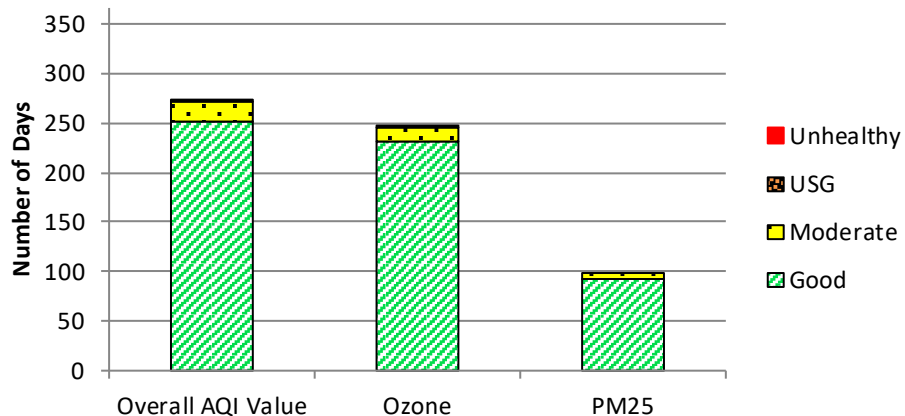


## 2019 AQI Summary for Tecumseh

TOTAL DAYS WITH AQI VALUES = 358



## 2019 AQI Days Per Pollutant for Manistee County



## 2019 AQI Summary for Manistee

TOTAL DAYS WITH AQI VALUES = 269

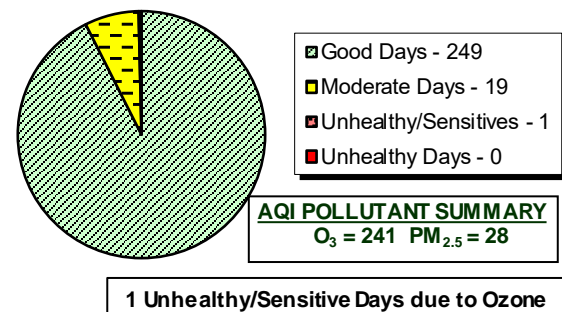
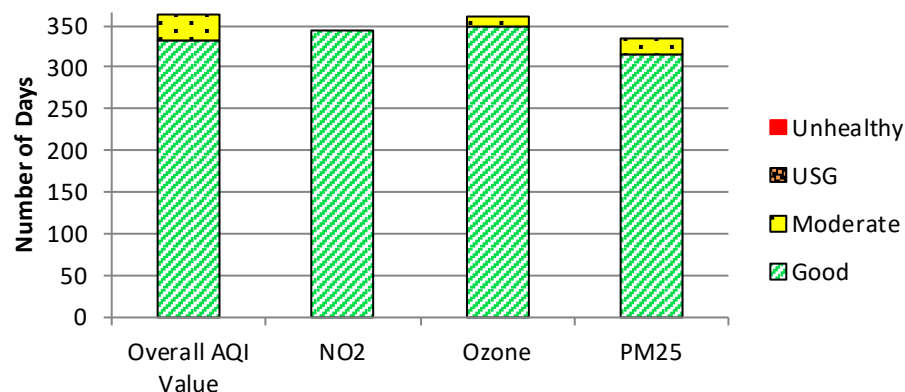
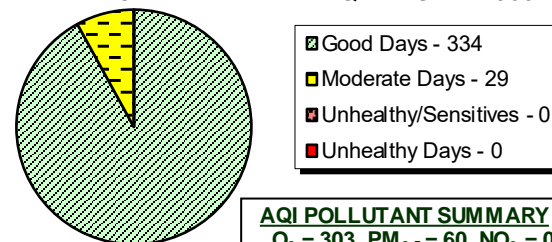


Figure C8, continued: AQI Summaries for Michigan's Other Lower Peninsula Areas

### 2019 AQI Days Per Pollutant for Missaukee County (Houghton Lake)



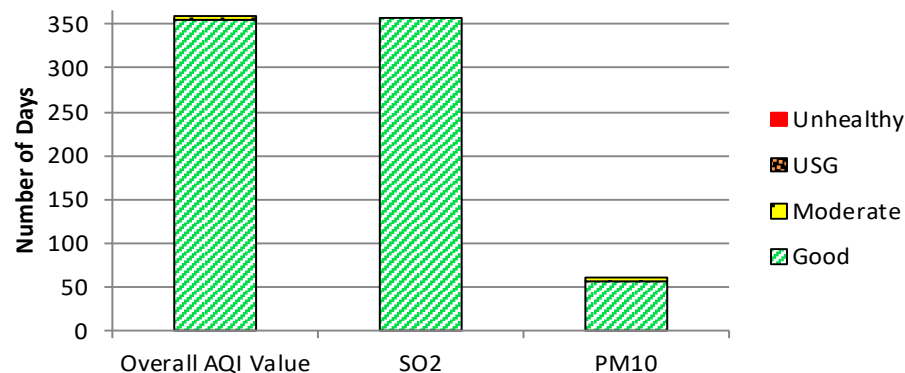
### 2019 AQI Summary for Houghton Lake TOTAL DAYS WITH AQI VALUES = 363



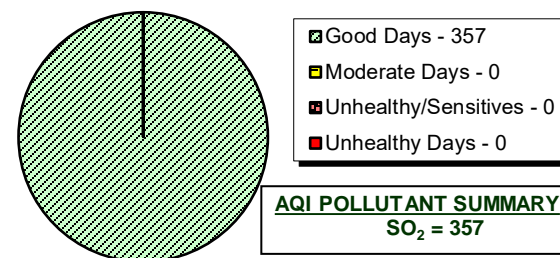
**AQI POLLUTANT SUMMARY**  
O<sub>3</sub> = 303 PM<sub>2.5</sub> = 60 NO<sub>2</sub> = 0

0 Unhealthy/Sensitive Days.

### 2019 AQI Days Per Pollutant for Monroe County



### 2019 AQI Summary for Sterling State Park TOTAL DAYS WITH AQI VALUES = 357

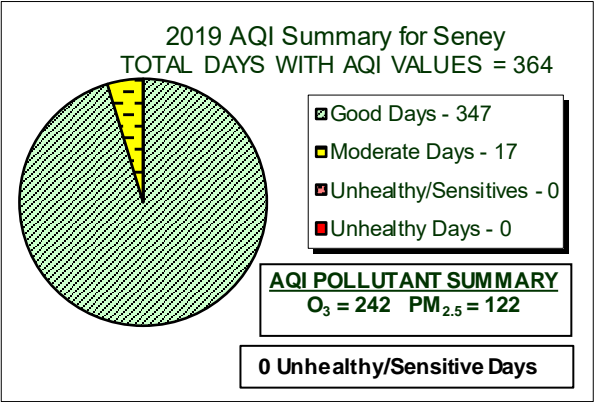
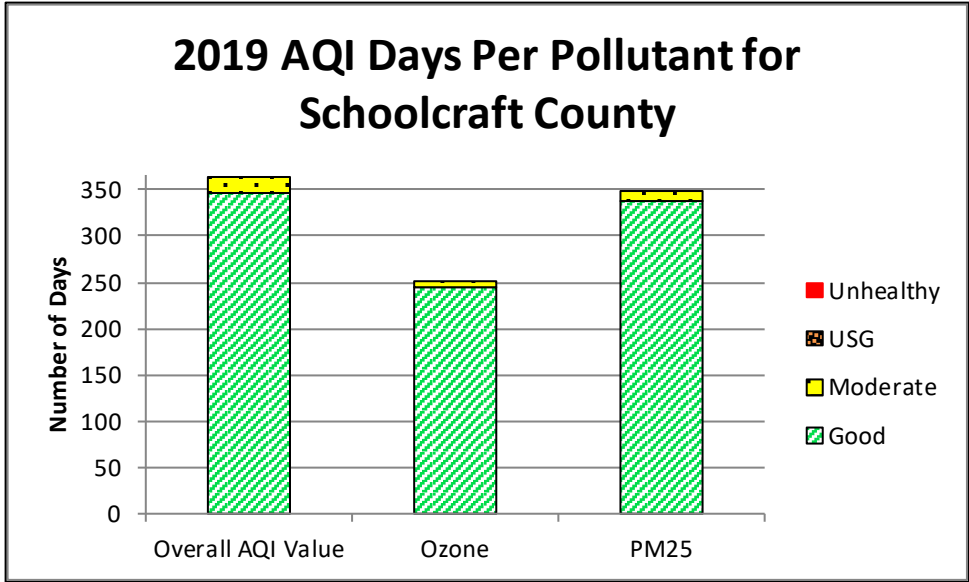


**AQI POLLUTANT SUMMARY**  
SO<sub>2</sub> = 357

0 Unhealthy/Sensitives Days.



Figure C9: AQI Summary for Upper Peninsula



## APPENDIX D - SUMMARY

Appendix D summarizes the development of the NAAQS and how compliance with these standards is determined. Also included is the variety of monitoring techniques, requirements used to ensure quality data is obtained, and a history of NAAQS changes that have occurred since the inceptions of the CAA.

### National Ambient Air Quality Standards (NAAQS)

Under Section 109 of the CAA, the USEPA established a primary and secondary NAAQS for each pollutant for which air quality criteria have been issued. The primary standard is designed to protect the public health with an adequate margin of safety, including the health of the most susceptible individuals in a population, such as children, the elderly, and those with chronic respiratory ailments. Factors in selecting the margin of safety for the primary standard include the nature and severity of the health effects involved and the size of the sensitive population at risk. Secondary standards are chosen to protect public welfare (personal comfort and well-being) and the environment by limiting economic damage, impacts on visibility and climate, and harmful effects on soil, water, crops, vegetation, wildlife, and buildings.

In addition, the NAAQS have various averaging times to address health impacts. Short averaging times reflect the potential for acute (immediate) effects, whereas long-term averaging times are designed to protect against chronic (long-term) effects.

NAAQS have been established for CO, Pb, NO<sub>2</sub>, PM, O<sub>3</sub>, and SO<sub>2</sub>. **Table 1.1** lists the primary and secondary NAAQS, averaging time and concentration level for each criteria pollutant in effect in 2018. The concentrations are listed as parts per million (ppm), micrograms per cubic meter (µg/m<sup>3</sup>), and/or milligrams per cubic meter (mg/m<sup>3</sup>).

**Table D1.1: NAAQS in Effect during 2019 for Criteria Pollutants**

<b>Pollutant</b>	<b>Primary (health) Level</b>	<b>Primary Averaging Time</b>	<b>Secondary (welfare) Level</b>	<b>Secondary Averaging Time</b>
Carbon Monoxide (CO) 8-hour average	9 ppm (10 mg/m <sup>3</sup> )	8-hour average, not to be exceeded more than once per year (1971)	None*	None*
Carbon Monoxide (CO) 1-hour average	35 ppm (40 mg/m <sup>3</sup> )	1-hour average, not to be exceeded more than once per year (1971)	None*	None*
Lead (Pb)	0.15 µg/m <sup>3</sup>	Maximum rolling 3-month average (2008)	Same as Primary	Same as Primary
Nitrogen Dioxide (NO <sub>2</sub> ) Annual mean	0.053 ppm (100 µg/m <sup>3</sup> )	Annual mean (1971)	Same as Primary	Same as Primary
Nitrogen Dioxide (NO <sub>2</sub> ) 1-hour average	0.100 ppm	98 <sup>th</sup> percentile of 1-hour average, averaged over 3 years (2010)	Same as Annual	Same as Annual
Particulate Matter (PM <sub>10</sub> )	150 µg/m <sup>3</sup>	24-hour average, not to be exceeded more than once per year over 3 years (1987)	Same as Primary	Same as Primary
Particulate Matter (PM <sub>2.5</sub> ) Annual average	12.0 µg/m <sup>3</sup>	Annual mean averaged over 3 years (2012)	15.0 µg/m <sup>3</sup>	Annual mean
Particulate Matter (PM <sub>2.5</sub> ) 24-hour average	35 µg/m <sup>3</sup>	98 <sup>th</sup> percentile of 24-hour concentration, averaged over 3 years (2006)	Same as Primary	Same as Primary
Ozone (O <sub>3</sub> )	0.070 ppm	Annual 4 <sup>th</sup> highest 8-hour daily max averaged over 3 years (2015)	Same as Primary	Same as Primary
Sulfur Dioxide (SO <sub>2</sub> )	0.075 ppm	99 <sup>th</sup> percentile of 1-hour daily max averaged over 3 years (2010)	0.5 ppm	3 hours

\*In 1985, the USEPA revoked the secondary standard for CO (for public welfare) due to a lack of evidence of adverse effects on public welfare at or near ambient concentrations.

To demonstrate compliance with the NAAQS, the USEPA has defined specific criteria for each pollutant, which are summarized in **Table D1.2**.

**Table D1.2: Criteria for the Determination of Compliance with the NAAQS**

Pollutant	Criteria for Compliance
CO	Compliance with the CO standard is met when the second highest, non-overlapping, 35 ppm, 1-hour average standard and/or the 9 ppm, 8-hour average standard is not exceeded more than once per year.
Pb	Compliance with the Pb standard is met when daily values collected for three consecutive months are averaged and do not exceed the 0.15 µg/m <sup>3</sup> standard.
NO <sub>2</sub>	Compliance is met when the annual arithmetic mean concentration does not exceed the 0.053 ppm standard and the 98 <sup>th</sup> percentile* of the daily maximum 1-hour concentration averaged over 3 years does not exceed 100 ppb.
PM <sub>10</sub>	The 24-hour PM <sub>10</sub> primary and secondary standards are met when 150 µg/m <sup>3</sup> is not exceeded more than once per year on average over 3 years.
PM <sub>2.5</sub>	The annual PM <sub>2.5</sub> primary and secondary standards are met when the annual arithmetic mean concentration is less than or equal to 12 µg/m <sup>3</sup> and 15 µg/m <sup>3</sup> , respectively. The 24-hour PM <sub>2.5</sub> primary and secondary standards are met when the 3-year average of the 98 <sup>th</sup> percentile** 24-hour concentration is less than or equal to 35 µg/m <sup>3</sup> .
O <sub>3</sub>	The 8-hour O <sub>3</sub> primary and secondary standards are met when the 3-year average of the 4 <sup>th</sup> highest daily maximum 8-hour average concentration is less than or equal to 0.070 ppm.
SO <sub>2</sub>	To determine compliance, the 99 <sup>th</sup> percentile*** 1-hour concentration averaged over a 3-year period does not exceed 0.075 ppm, and the 3-hour average concentration shall not exceed 0.5 ppm more than once per calendar year.

\*98<sup>th</sup> percentile daily maximum 1-hour value is the value below which nominally 98 percent of all daily maximum 1-hour concentration values fall, using the ranking and selection method specified in section 5.2 of appendix S of CFR Part 50.

\*\* 98<sup>th</sup> percentile is the daily value out of a year of PM<sub>2.5</sub> monitoring data below which 98 percent of all daily values fall using the ranking and selection method specified in section 4.5(a) of appendix N of CFR Part 50.

\*\*\* 99<sup>th</sup> percentile daily maximum 1-hour value is the value below which nominally 99 percent of all daily maximum 1-hour concentration values fall, using the ranking and selection method specified in section 5 of appendix T of CFR Part 50.

As part of the USEPA's grant to EGLE, the AQD provides an annual Network Review document<sup>13</sup> of all monitoring data collected from the previous year and recommendations on any network changes. These recommendations are based on each monitor's exceedance history, changes in population distribution, and modifications to federal monitoring requirements under the CAA. Under the amended air monitoring regulations that began in 2007, states are required to solicit public comment (in May of each year) on their future air monitoring network design prior to submitting the annual review to the USEPA in July.

<sup>13</sup> [Most recent Network Reviews](#)

## Types of Monitors

**Federal Reference Method (FRM):** method of sampling and analyzing the ambient air for an air pollutant that USEPA uses as the “gold standard” for measuring that pollutant. FRM monitors are used to designate attainment/nonattainment areas. The gaseous pollutants CO, NO<sub>2</sub>, O<sub>3</sub>, and SO<sub>2</sub> are measured with continuous FRM monitors that provide real-time hourly data. The FRM for PM and Pb requires a filter that measure concentrations over a 24-hour period. These filters must be further analyzed in a laboratory; therefore, the samples results are delayed.

**Rural background monitors:** measure background air quality in non-urban areas

**Aethalometers:** measure carbon black, a combustion by-product typical of transportation sources, by concentrating particulate on a filter tape and measuring changes in optical transmissivity and absorption.

**EC/OC instruments** measure elemental carbon using pyrolysis coupled with a nondispersive infrared detector to separate the elemental and organic carbon fractions.

**Federal Equivalent Method (FEM):** method for measuring the concentration of an air pollutant in the ambient air that has been designated as equivalent to the FRM.

**Continuous Monitors:** measure data in real-time, meaning concentrations of the air pollutant are usually available within an hour on the Mlair website.

**TEOM:** tapered element oscillating monitors (TEOMs) are continuous PM monitor that is used only for real-time data indications since they are not FEMs and cannot be used for attainment/nonattainment designations.

**BAM:** Beta attenuation monitors (BAMs) are real-time, continuous PM<sub>2.5</sub> monitor that is FEM, thus can be used for attainment/nonattainment designation.

**PM<sub>2.5</sub> FRM Monitoring:** The concentrations of PM<sub>2.5</sub> measured over a 24-hour time period are determined using the filter-based gravimetric FRM. Data generated by the FRM monitors are used for comparisons to the NAAQS in Michigan. The sites are located in urban, commercial, and residential areas where people are exposed to PM<sub>2.5</sub>.

**Chemical Speciation Monitoring:** Speciated monitoring provides a better understanding of the chemical composition of PM<sub>2.5</sub> material and better characterizes background levels. Single event Met-One Speciation Air Sampling System (SASS) monitors are used throughout Michigan’s speciation network

**National Air Toxics Trend Station (NATTS):** Network developed to fulfill the need for long-term hazardous air pollutants (HAPs) monitoring data of consistent quality. Among the principle objectives are assessing trends and emission reduction program effectiveness, assessing and verifying air quality models.

**NCore Network:** began January 1, 2011, as part of the USEPA’s 2006 amended air monitoring requirements. National Core (NCore) sites provide a full suite of measurements at one location. NCore stations collect the following measurements: ozone, SO<sub>2</sub> (trace), CO (trace), NO<sub>y</sub> (reactive oxides of nitrogen), PM<sub>2.5</sub> FRM, continuous PM<sub>2.5</sub>, speciated PM<sub>2.5</sub>, wind speed, wind direction, relative humidity, and ambient temperature. In addition, filter-based measurements are required for PM coarse (PM<sub>10-2.5</sub>) on a once every three-day sampling frequency. This information will support scientific studies ranging across technological, health, and atmospheric process disciplines. Michigan has two NCore sites; Allen Park and Grand Rapids-Monroe Street.

**Near-road Monitoring Network:** focuses on vehicle emissions and how they disperse near-roadways, was approved by USEPA in 2011. This network, now referred to as the near-roadway network, is focused on high traffic urban roads in Core-Based Statistical Areas (CBSAs) with more than one million people. In 2011 Michigan took over the USEPA's pre-existing near-roadway site at Eliza Howell Park in Detroit. A second near-road site was added in Livonia in January 2015.

**Population-Oriented Monitors:** monitors that are located in an area where many people live, also considered ambient air.

**Transport monitors:** measure air pollutants that have travelled a distance from the emission sources and are formed in the atmosphere when certain pollutants are present, like ozone.

**Source-Oriented/Point-Source Monitors:** monitors that are located near a specific emissions source (e.g., factory) of a pollutant.

**Primary Monitor:** data from these monitors are used to compare to the NAAQS and must meet quality assurance criteria.

**Secondary/Precision/Co-located Monitor:** two or more air samplers, analyzers, or other instruments that are operated simultaneously while located side by side. These are used for quality assurance purposes.

**Urban Scale Monitors:** measures air pollution concentrations in more populated urban areas.

## Quality Assurance

The AQD's Air Monitoring Unit (AMU) ensures that all data collected and reported is of high quality and meets federal requirements. The AMU has a quality system in place that includes a Quality Assurance Project Plan (QAPP), standard operating procedures (SOPs), standardized forms and documentation policies, and a robust audit and assessment program.

The monitoring network adheres to the requirements in Title 40 of the Code of Federal Regulations (CFR), Parts 50, 53, and 58. This ensures that the monitors are correctly sited, operated in accordance to the federal reference methods, and adhere to the quality assurance requirements.

Quality assurance checks are conducted by site operators at the frequencies required in the regulations and unit procedures. Independent audits are conducted by the AMU's Quality Assurance (QA) Team, which has a separate reporting line of supervision. The quality assurance checks and audits are reported to the USEPA each quarter.

External audits are conducted annually by the USEPA. The USEPA conducts Performance Evaluation Program (PEP) audits for PM<sub>2.5</sub> samplers and the National Performance Audit Program (NPAP) checks for the gaseous monitors. The USEPA also conducts program-wide Technical Systems Audits (TSAs) every three years to evaluate overall program operations and assess adequacy of documentation and records retention. External audits are also conducted on the laboratory operations for certain analytical techniques using performance evaluation samples.



## Historical NAAQS Changes

### 1971

- CO: 1-hour maximum not to exceed 35 ppm more than once in a year / 8-hour maximum not to exceed 9 ppm more than once in a year.
- NO<sub>2</sub>: Annual average of 553 ppb or less
- SO<sub>2</sub>: 24-Hour concentration of 0.14 ppm not exceeded more than once per year / Annual average of 0.03 ppm or less.
- Ozone: Total photochemical oxidants: 1-hour max of 0.08 ppm not exceeded once per yr
- TSP: 24-hour average not to exceed 260 µg/m<sup>3</sup> more than once per yr / Annual geometric mean of 75 µg/m<sup>3</sup>

### 1978

- Lead: Calendar quarter average of 1.5 µg/m<sup>3</sup> not to be exceeded

### 1979

- Ozone: 1-hour maximum concentration is 0.12 ppm one or less hour per yr

### 1987

- PM<sub>10</sub>: 24-hour average not to exceed 150 µg/m<sup>3</sup> more than once per yr on average over a 3-yr period / Annual mean of 50 µg/m<sup>3</sup> or less average over 3 yrs

### 1997

- Ozone: 4<sup>th</sup> highest daily maximum 8-hour concentration averaged over 3 yrs is 0.08 ppm or less
- PM<sub>2.5</sub>: Annual mean of 15.0 µg/m<sup>3</sup> or less average over 3 yrs / 98<sup>th</sup> percentile of 24-hour average of 65 µg/m<sup>3</sup> or less averaged over 3 yrs

### 2006

- TSP & PM<sub>10</sub>: Annual average revoked / 24-hour average retained
- PM<sub>2.5</sub>: Annual mean retained / 98<sup>th</sup> percentile of 24-hour average of 35 µg/m<sup>3</sup> or less averaged over 3 yrs

### 2008

- Lead: 3-month average of 0.15 µg/m<sup>3</sup> not to be exceeded
- Ozone: 4<sup>th</sup> highest daily maximum 8-hour concentration averaged over 3 yrs is 0.075 ppm or less

### 2010

- NO<sub>2</sub>: 98<sup>th</sup> percentile of the 1-hour concentration averaged over 3 yrs is 100 ppb or less
- SO<sub>2</sub>: 1-hour average of 99<sup>th</sup> percentile is 75 ppb or less, averaged over 3 yrs. Previous revoked

### 2012

- PM<sub>2.5</sub>: Annual mean of 12.0 µg/m<sup>3</sup> or less average over 3 yrs.

### 2015

- Ozone: 4<sup>th</sup> highest daily maximum 8-hour concentration averaged over 3 yrs is 0.070 ppm or less

## APPENDIX E: ACRONYMS AND THEIR DEFINITIONS

> .....	Greater than
< .....	Less than
≥ .....	Greater than or equal to
≤ .....	Less than or equal to
%.....	Percent
µg/m <sup>3</sup> .....	Micrograms per cubic meter
µm.....	Micrometer
AIRS ID.....	Aerometric Information Retrieval System Identification Number
AMU .....	Air Monitoring Unit
AQD .....	Air Quality Division
AQES.....	Air Quality Evaluation Section
AQI.....	Air Quality Index
AQS.....	Air Quality System (EPA air monitoring data archive)
As .....	Arsenic
BAM.....	Beta Attenuation Monitor (hourly PM <sub>2.5</sub> measurement monitor)
BC .....	Black Carbon
BTEX .....	Benzene, Toluene, Ethylbenzene and Xylene
CAA.....	Clean Air Act
CBSA.....	Core-Based Statistical Area
Cd .....	Cadmium
CFR .....	Code of Federal Regulations
CO .....	Carbon monoxide
CSA .....	Consolidated Statistical Area
EC/OC.....	Elemental carbon/Organic carbon
EGLE.....	Michigan Department of Environment, Great Lakes and Energy
FDMS.....	Filter Dynamic Measurement System
FEM.....	Federal Equivalent Method
FIA.....	Family Independence Agency
FR .....	Federal Register
FRM .....	Federal Reference Method
GHB.....	Gordie Howe International Bridges
HAP .....	Hazardous Air Pollutant
hr .....	Hour
Lc.....	Local Conditions

MASN .....	Michigan Air Sampling Network
MDL .....	Method Detection Limit
mg/m <sup>3</sup> .....	Milligrams per meter cubed
MI .....	Michigan
MiSA.....	Micropolitan Statistical Area
Mn.....	Manganese
MSA.....	Metropolitan Statistical Area
NAAQS.....	National Ambient Air Quality Standard
NAMS .....	National Air Monitoring Station
NATTS.....	National Air Toxics Trend Sites
NCore .....	National Core Monitoring Sites
ND.....	Non-detect
NEI .....	National Emission Inventory
Ni .....	Nickel
NMH 48217 ...	New Mount Hermon 48217 ZIP code monitoring site
NO .....	Nitric Oxide
NO <sub>2</sub> .....	Nitrogen Dioxide
NO <sub>x</sub> .....	Oxides of Nitrogen
NO <sub>y</sub> .....	Oxides of Nitrogen + nitric acid + organic and inorganic nitrates
NPAP.....	National Performance Audit Program
O <sub>3</sub> .....	Ozone
Obs/OBS.....	Observations
PAMS .....	Photochemical Assessment Monitoring Station
PAH .....	Polynuclear Aromatic Hydrocarbon
Pb.....	Lead
PBT.....	Persistent, Bioaccumulative and Toxic
PCB.....	Polychlorinated Biphenyls
PEP .....	Performance Evaluation Program
PM.....	Particulate Matter
PM <sub>2.5</sub> .....	Particulate Matter with an aerodynamic diameter less than or equal to 2.5 microns
PM <sub>10</sub> .....	Particulate Matter with a diameter of 10 microns or less
PM <sub>10-2.5</sub> .....	Coarse PM equal to the concentration difference between PM <sub>10</sub> and PM <sub>2.5</sub>
PNA .....	Polynuclear Aromatic Hydrocarbons
POC.....	Parameter Occurrence Code
ppb.....	Parts Per Billion
ppm .....	Parts Per Million = mg/kg, mg/L, µg/g (1 ppm = 1,000 ppb)
QA .....	Quality Assurance
QAPP .....	Quality Assurance Project Plan

SASS..... Speciation Air Sampling System (PM<sub>2.5</sub> Speciation Sampler)  
SO<sub>2</sub> ..... Sulfur Dioxide  
SOP ..... Standard Operating Procedures  
STN..... Speciation Trend Network (PM<sub>2.5</sub>)  
Stp ..... Standard Temperature and Pressure  
SVOC..... Semi-Volatile Compound  
SWHS ..... Southwestern High School  
TAC..... Toxic Air Contaminant  
TEOM..... Tapered element oscillating microbalance (hourly PM<sub>2.5</sub> measurement monitor)  
tpy ..... Ton per year  
TRI..... Toxic Release Inventory  
TSA ..... Technical Systems Audit  
TSP..... Total Suspended Particulate  
US ..... United States  
USEPA..... United States Environmental Protection Agency  
UV ..... Ultra-violet  
VOC ..... Volatile Organic Compounds

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MICHIGAN DEPARTMENT OF  
ENVIRONMENT, GREAT LAKES, AND ENERGY

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Cadillac, MI 49601-2158  
231-775-3960 Fax: 231-775-4050

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### **Detroit District**

(Wayne County)  
Cadillac Place, Suite 2-300  
3058 West Grand Blvd.  
Detroit, MI 48202-6058  
313-456-4700 Fax: 313-456-4692

*Counties: Wayne*

### **Grand Rapids District**

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Grand Rapids, MI 49503  
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### **Jackson District**

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State Office Building, 4th Floor  
301 E Louis B Glick Highway  
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517-780-7690 Fax: 517-780-7855

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Constitution Hall, 525 W. Allegan St., 1 South  
Lansing, MI 48909-7760  
517-284-6651 Fax: 517-241-3571

*Counties: Clinton, Eaton, Genesee, Gratiot, Ingham, Lapeer, Livingston, and Shiawassee*

### **Saginaw Bay District**

(Central East Michigan)  
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Bay City, MI 48708  
989-894-6200 Fax: 989-891-9237

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### **Southeast Michigan District**

(Southeast Michigan)  
27700 Donald Court  
Warren, MI 48092-2793  
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*Counties: Macomb, Oakland, and St. Clair*

### **Upper Peninsula District**

(Entire Upper Peninsula)  
1504 West Washington Street  
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906-228-4853 Fax: 906-228-4940

*Counties: All counties in the Upper Peninsula*

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## **Section 3.8**

### **Site Photographs**





Aerial Photograph



Aerial Photograph - E. Brown Street & S. Old Woodward Avenue





Aerial Photograph - Daines Street & S. Old Woodward Avenue



Aerial Photograph - Daines Street & S. Old Woodward Avenue



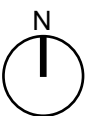
## **Section 3.9**

### **Site Logistics**



# Proposed Haul Routes Map

RH Birmingham





## **Section 4.0**

# **Mechanical Equipment Specifications**





## Submittal Data Sheet

10-Ton, 230V VRV AURORA HR

RELQ120TATJU

### FEATURES

- VRF Industry's first air cooled system that delivers heating down to -22°F (-30°C) as standard
- Daikin's inverter based vapor injection compressor delivers high heating capacity of up to 100% at 0°F (-18°C), up to 85% at -13°F (-25°C) and up to 60% at -22°F (-30°C)
- Refrigerant-cooled efficient and stable inverter board operation, independent of ambient conditions
- Added peace of mind with Auto Changeover ability to back up (auxiliary) heat
- Year round comfort and energy efficiency delivered by combining VRV and VRT technologies
- Available in 6, 8, 10 ton single modules and 12, 16, 20 ton multi-module systems
- Compatible with the VRV-IV T-series Branch Selector Boxes
- Seamless connection to all VRV M, P and T series indoor and air processing units
- Ships factory standard with coil guards
- Assembled in the US to increase flexibility and reduce lead times
- Standard Limited Warranty: 10-year limited parts warranty



### BENEFITS

- Refrigerant cooled inverted technology allows installation without an additional drain pan heater
- Designed and optimized for Total Cost of Construction (TCC) and reduced Life Cycle Cost (LCC)
- Modular and lightweight - enables flexibility in system layout and installation
- Engineered with Daikin's inverter based vapor injection compressor for optimized part load efficiency
- Heat exchanger coil wraps around on all 4 sides of the unit to increase the surface area / efficiency
- Corrosion resistant, 1000 hours salt spray tested Daikin PE blue fin heat exchanger
- Long pipe lengths up to 1640 ft total and ability to connect up to 20 indoor units with up to 98 ft vertical separation between indoor units provides design and installation flexibility
- Digital display on the unit for improved and faster configuration, commissioning, and troubleshooting





**Submittal Data Sheet**  
10-Ton, 230V VRV AURORA HR  
RELQ120TATJU

PERFORMANCE			
Outdoor Unit Model No.	RELQ120TATJU	Outdoor Unit Name:	10-Ton, 230V VRV AURORA HR
Type:	Heat Recovery	Unit Combination:	
Rated Cooling Conditions:	Indoor (°F DB/WB): 80 / 67 Ambient (°F DB/WB): 95 / 75	Rated Heating Conditions:	Indoor (°F DB/WB): 70 / 60 Ambient (°F DB/WB): 47 / 43
Rated Piping Length(ft):			
Rated Height Difference (ft):	0.00		
Rated Cooling Capacity (Btu/hr):	114,000	Rated Heating Capacity (Btu/hr):	129,000
Nom Cooling Capacity (Btu/hr):	120,000	Nom Heating Capacity (Btu/hr):	135,000
Cooling Input Power (kW):	8.10	Heating Input Power (kW):	9.47
EER (Non-Ducted/Ducted):	13.70 / 12.40	Heating COP (Non-Ducted/Ducted):	4.0 / 3.5
IEER (Non-Ducted/Ducted):	23.40 / 19.60	Heating COP 17F (Non-Ducted/Ducted):	2.3 / 2.3
		SCHE (Non-Ducted/Ducted):	26.70 / 21.40

OUTDOOR UNIT DETAILS			
Power Supply (V/Hz/Ph):	208-230 / 60 / 3	Compressor Stage:	
Power Supply Connections:	L1, L2, L3 Ground	Capacity Control Range (%):	9 - 100
Min. Circuit Amps MCA (A):	83.4	Capacity Index Limit:	84.0 - 156.0
Max Overcurrent Protection (MOP) (A):	90	Airflow Rate (H) (CFM):	8806
Max Starting Current MSC(A):		Gas Pipe Connection (inch):	1-1/8
Rated Load Amps RLA(A):	39.3	Liquid Pipe Connection (inch):	1/2
Dimensions (Height) (in):	66-11/16	H/L Pressure Connection (inch)	3/4
Dimensions (Width) (in):	48-7/8	H/L Equalizing Connection (inch)	
Dimensions (Depth) (in):	30-3/16	Sound Pressure (H) (dBA):	64
Net Weight (lb):	793	Sound Power Level (dBA):	84.5
		Max. No. of Indoor Units:	20

# Submittal Data Sheet

10-Ton, 230V VRV AURORA HR  
RELQ120TATJU

## SYSTEM DETAILS

Refrigerant Type:	R-410A	Cooling Operation Range (°F DB):	23 - 122
Holding Refrigerant Charge (lbs):	25.8	Heating Operation Range (°F WB):	-22 - 60
Additional Charge (lb/ft):		Max. Pipe Length (Vertical) (ft):	295
Pre-charge Piping (Length) (ft):		Cooling Range w/Baffle (°F DB):	-
Max. Pipe Length (Total) (ft):	1,640	Heating Range w/Baffle (°F WB):	-
Max Height Separation (Ind to Ind ft):	0		

## DIMENSIONAL DRAWING

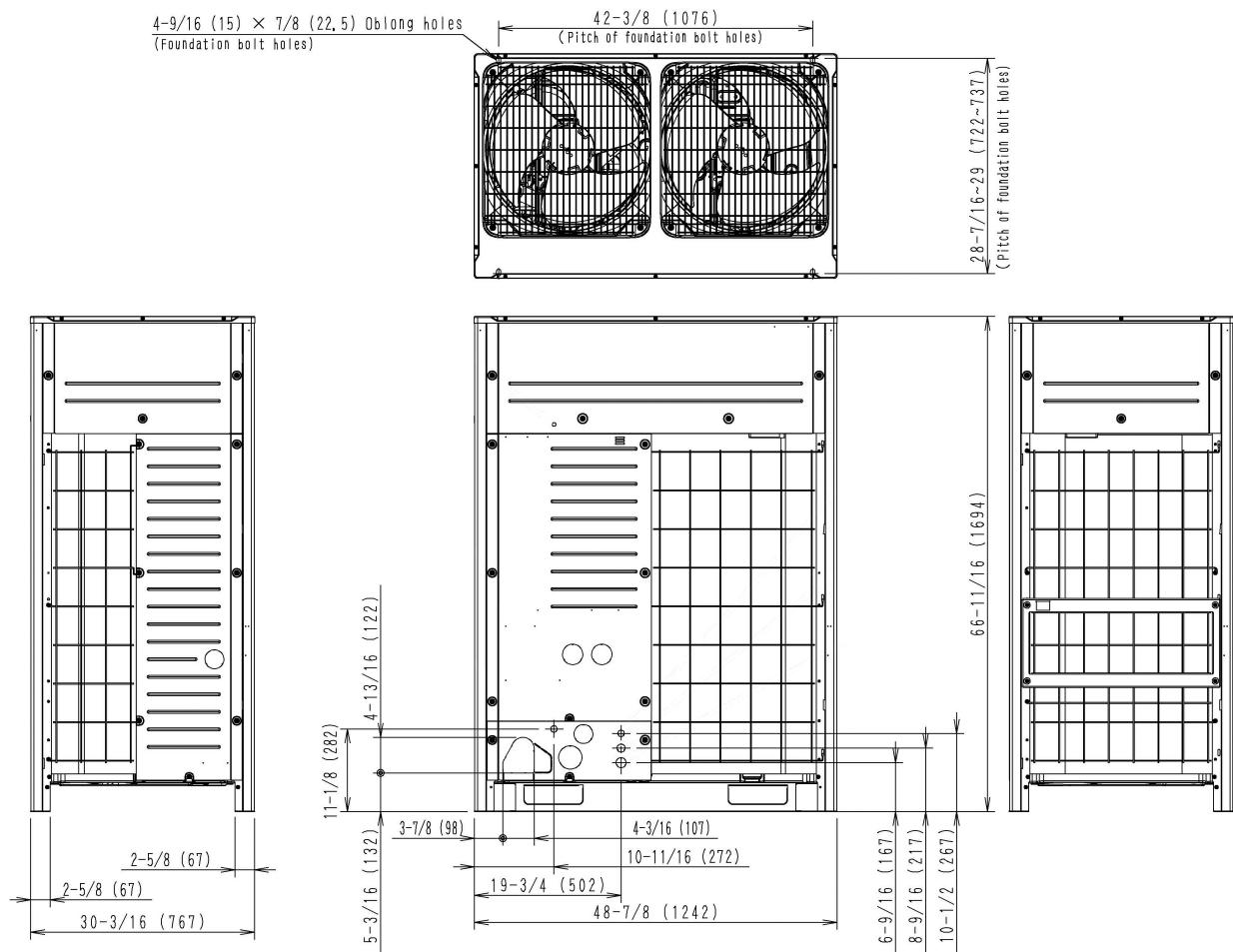
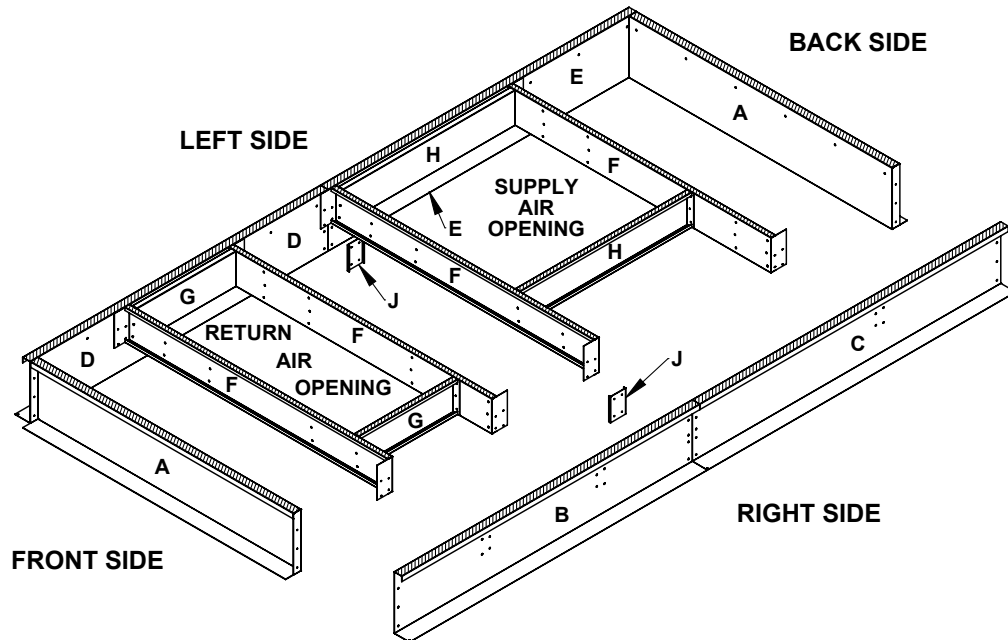
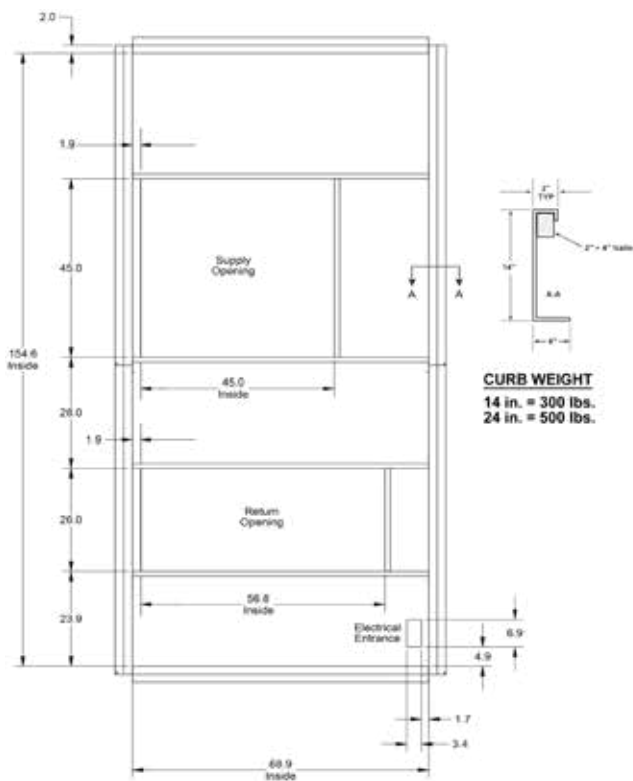


Figure 16: Roof Curb Assembly (DPS 016-028)'

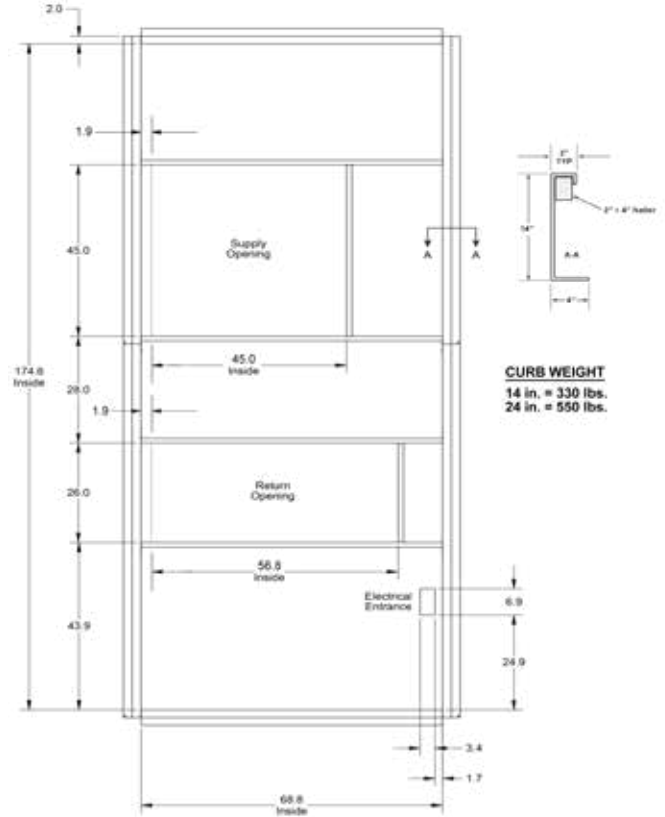


- NOTE:**
1. Check submittal drawing for gas/water/electrical/supply/return air opening
  2. Horizontal above the roof gas connection only
  3. All dimensions in inches

Standard Roof Curb – Large Cabinet

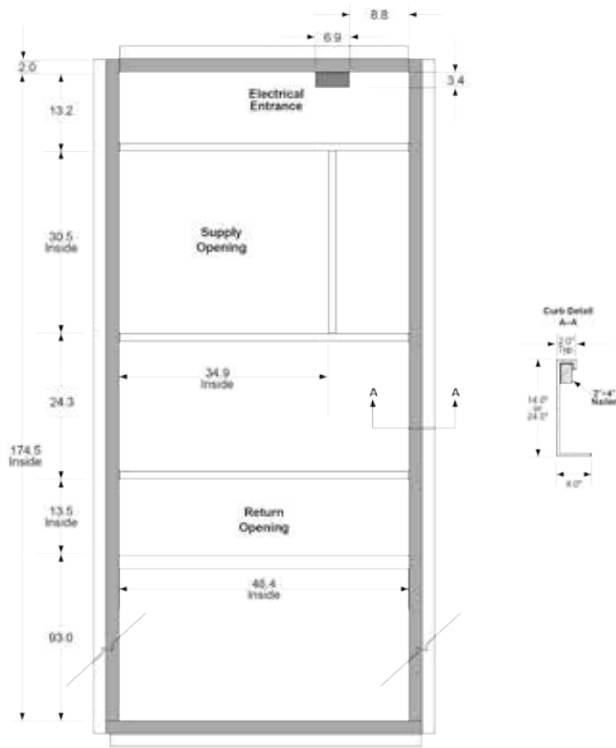


Roof Curb for ERW – Large Cabinet



**Figure 17: Roof Curb Assembly (DPS 007–015, 016–028) with CORE ERV**

**CORE Roof Curb – Medium Cabinet (DPS 007 – 015)**



**CORE Roof Curb – Large Cabinet (DPS 016 – 028)**

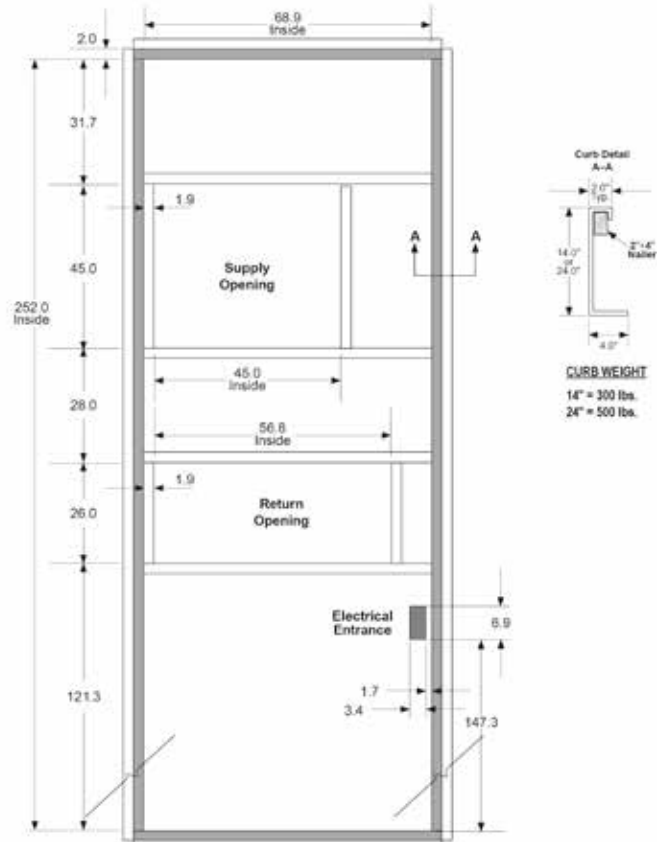
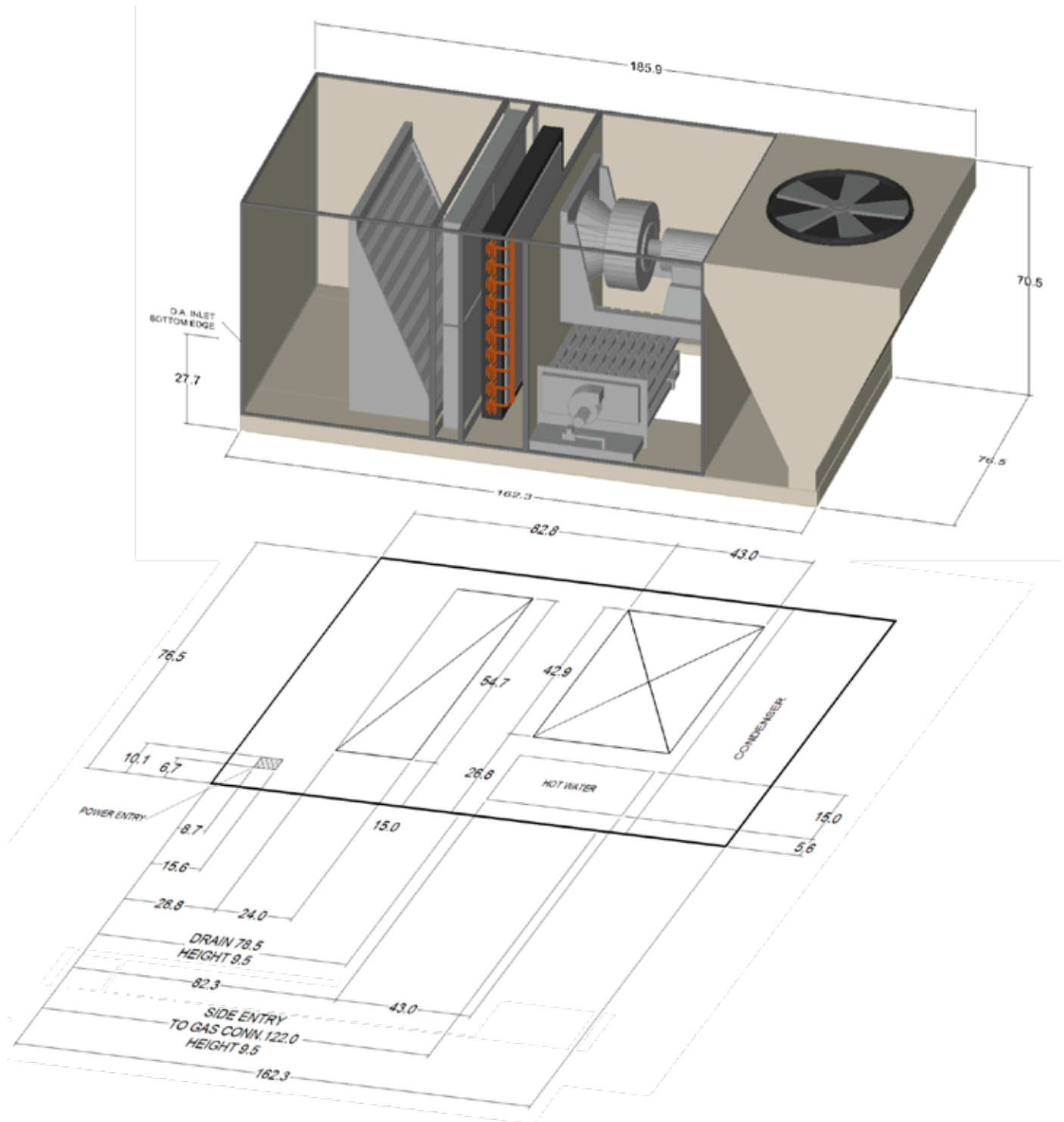


Figure 34: DPS 016–028, 30% or 100% Outdoor Air, No Energy Recovery

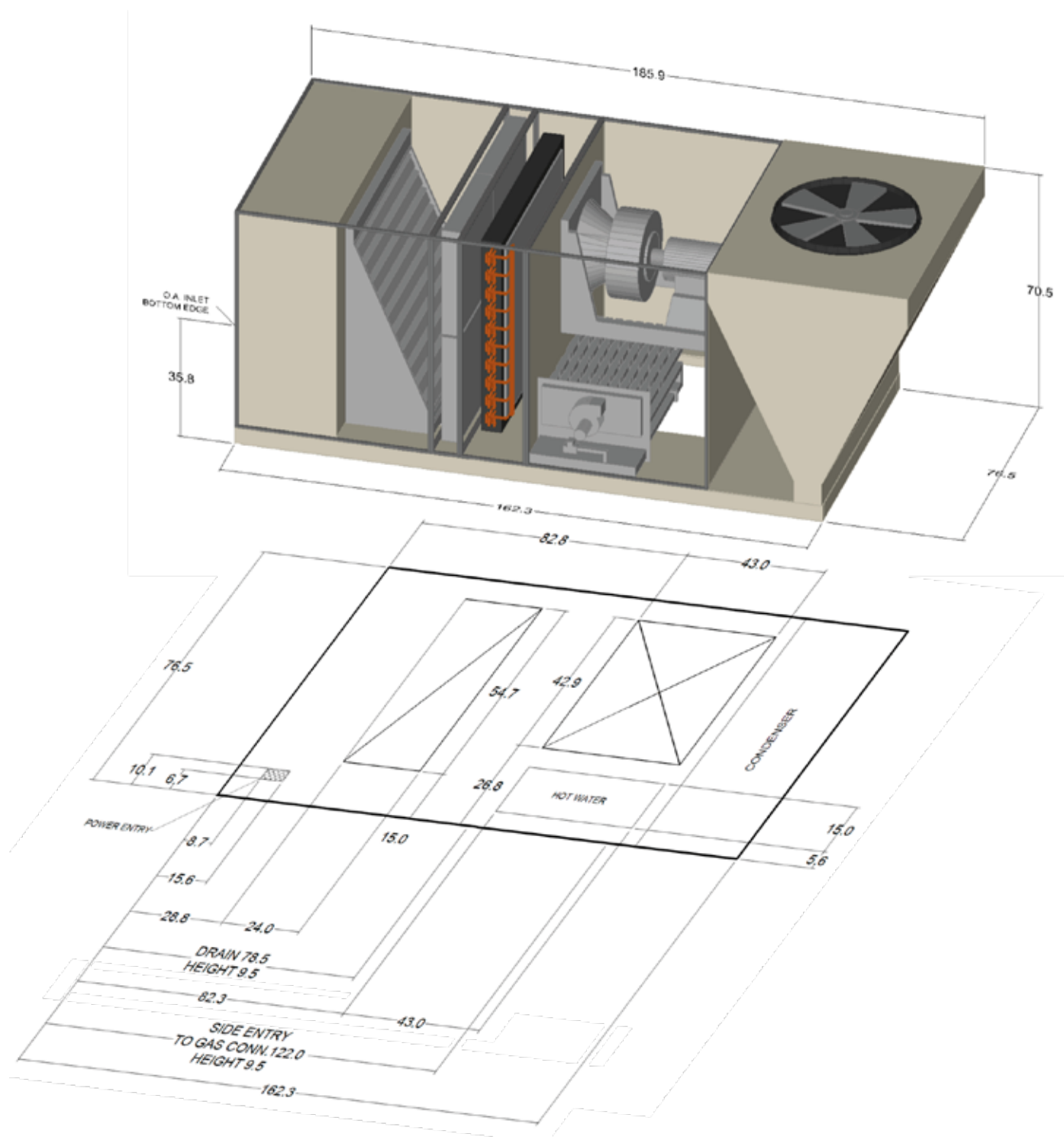


**NOTE:**

1. Recommended location for optional field-cut side power connection.



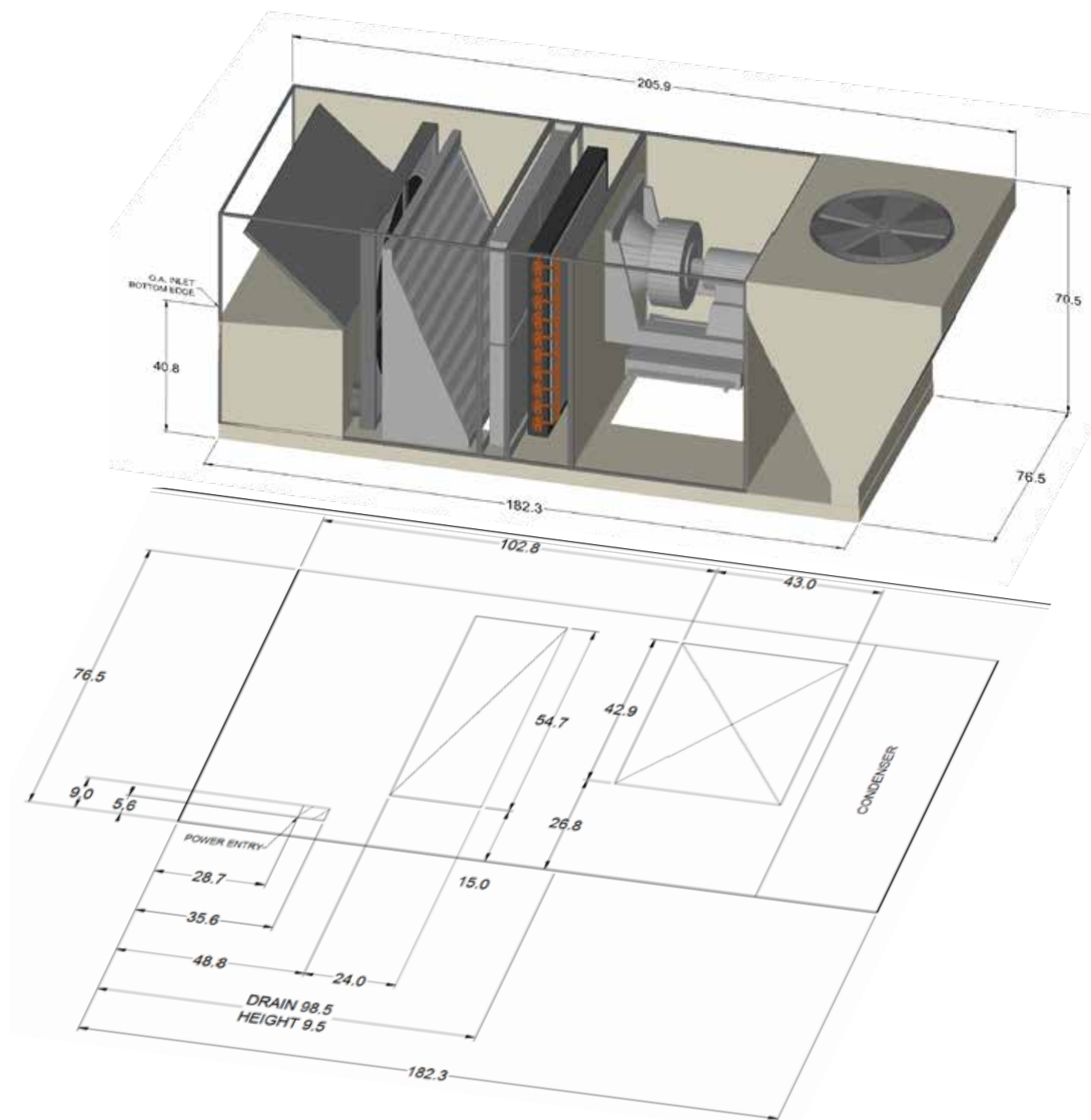
Figure 35: DPS 016–028, Economizer No Energy Recovery



**NOTE:**

1. Recommended location for optional field-cut side power connection.
2. Horizontal gas connection only. Gas pipe routing within the roof curb is not available.

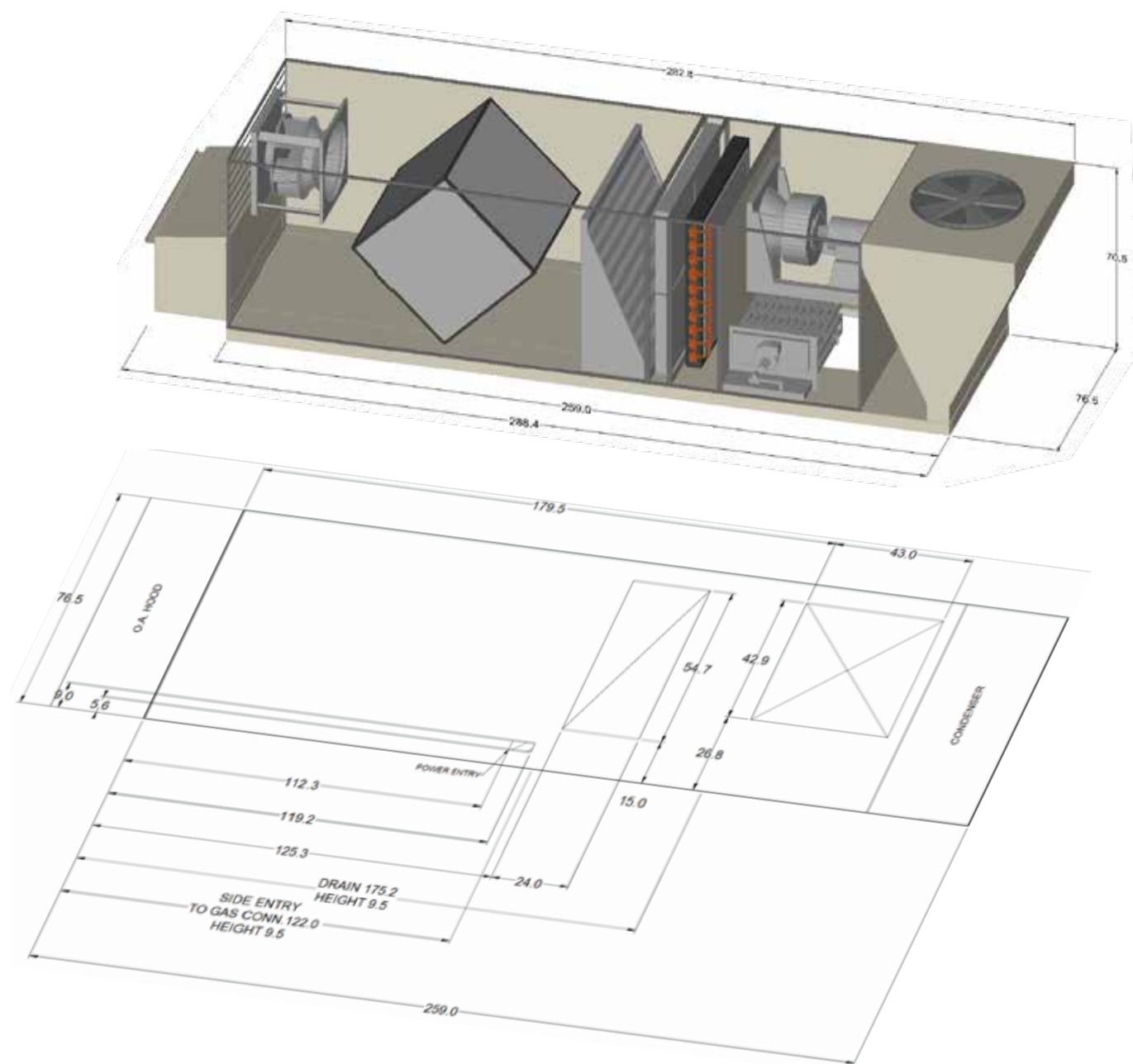
Figure 36: DPS 016–028, Energy Recovery



**NOTE:**

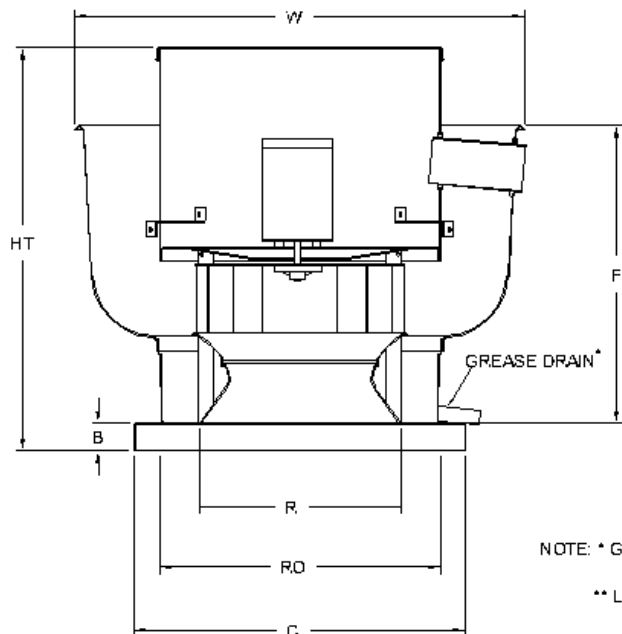
1. Recommended location for optional field-cut side power connection.
2. Horizontal gas connection only. Gas pipe routing within the roof curb is not available.

Figure 37: DPS 016-028, CORE Energy Recovery



**NOTE:**

1. Recommended location for optional field-cut side power connection.
2. Horizontal gas connection only. Gas pipe routing within the roof curb is not available.

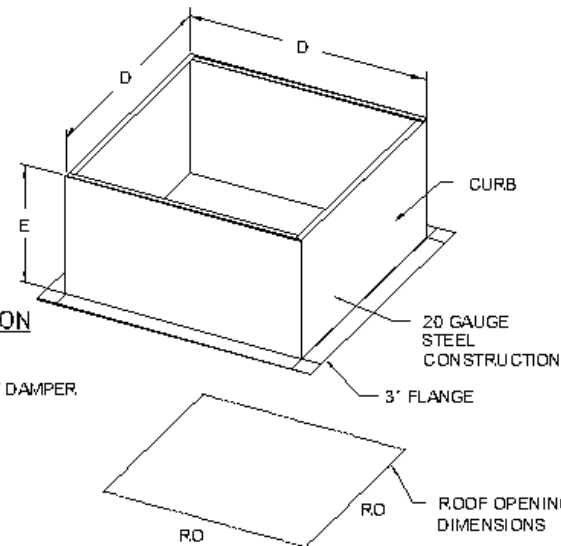
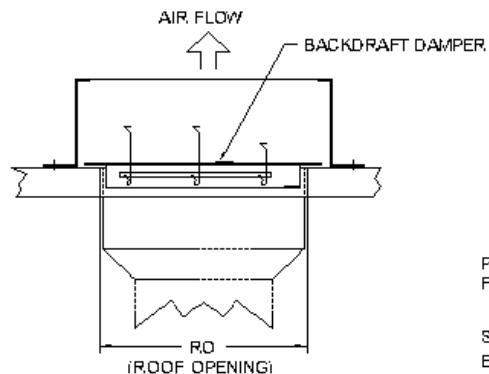
**DU SERIES UPBLAST EXHAUST FANS (UL705)****FEATURES:**

- DIRECT DRIVE CONSTRUCTION (NO BELTS/PULLEYS)
- ROOF MOUNTED FANS
- UL705
- VARIABLE SPEED CONTROL
- INTERNAL WIRING
- WEATHERPROOF DISCONNECT
- THERMAL OVERLOAD PROTECTION (SINGLE PHASE)

**OPTIONS:**

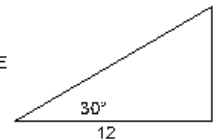
BACKDRAFT DAMPER  
HINGED FAN  
PITCHED CURB  
INSULATED CURB  
BIRD SCREEN  
LOW PROFILE OPTION

NOTE: \* GREASE DRAIN NOT REQ'D  
ON DU10L/HFA  
\*\* LOW PROFILE 'HT' DIMENSION  
CHANGES.

**BACKDRAFT DAMPER INSTALLATION**

PITCHED CURBS ARE AVAILABLE  
FOR PITCHED ROOFS.

SPECIFY PITCH:  
EXAMPLE: 7/12 PITCH = 30° SLOPE

**DU DIRECT DRIVE****CENTRIFUGAL UP-BLAST EXHAUST FANS DIMENSIONAL DATA**

FAN MODEL	HT	**HT	W	B	C	F	R	RO	WEIGHT LB
DU10	14 1/2	N/A	17 3/4	2	19	9 1/2	8 1/8	13	30
DU12	18	17	22	2	19	14 1/2	10 5/8	13	40
DU30	25 1/4	20 1/4	25 1/2	2	21	18 1/2	12 1/8	16	50
DU33	25 1/4	20 1/4	25 1/2	2	21	18 1/2	12 1/8	16	50
DU50	27 1/4	23 1/4	28 7/8	2	21	21 1/2	13 1/4	16	55
DU85	30 1/2	25 1/2	31 7/8	2	24 3/4	23	14 7/8	20	60
DU180	33 3/4	N/A	39 3/8	2	28	22 5/8	16 1/2	24	190
DU200	33 3/8	N/A	38 7/8	2	28	29 1/2	18	24	195
DU240	37 1/2	N/A	43 3/8	2	33	30 5/8	23 7/8	28	270
DU300	44	N/A	52 3/4	2	40	33 1/2	24	36	410
DU360	49 9/16	N/A	63 5/16	2	44	43 7/16	25 1/4	40	470

**CURB DIMENSIONAL DATA**

FAN MODEL	D	E
DU10	17 1/2	12
DU12	17 1/2	12
DU30	19 1/2	12
DU33	19 1/2	12
DU50	19 1/2	12
DU85	23	12
DU180	26 1/2	12
DU200	26 1/2	12
DU240	31 1/2	12
DU300	38 1/2	12
DU360	42 1/2	12

# AD Series Modular Roof Mount and Inline

## Direct Fired Heated Make-Up Air



The AD Series Direct Gas-Fired Heater is ETL listed for use in tempering make-up air. Unit meets ANSI Z83.4a-2001/CSA3.7a-2001 safety standards and is designed for natural or propane gas applications. The heaters are rated for indoor/outdoor installations in commercial occupancies. A unique feature is the self-adjusting burner profile plates allowing variable-air-volume applications. The plates ensure proper air velocity and pressure drop across the burner for clean combustion. Spring-loaded profile plates react to the momentum of the fresh air stream, therefore, no motors or actuators are needed to drive them, nor do they need to be manually set to a specific position.

### Features & Benefits

- G90 galvanized construction • Easy access doors
- Lifting points • Redundant gas valves • Disconnect switch
- Pre-wired, pre-piped controls • Horizontal or down discharge
- Vibration isolation • Fully insulated casing w/ aluminum casting
- Adjustable drive sheaves • Stainless steel burner
- Electronic flame modulation • Burner observation port
- 120 volt control transformer with single point electrical connection
- Intermittent spark pilot with timed safety lockout
- High temperature limit switch • Airflow proving switch
- Economizer inlet thermostat • Motor starter

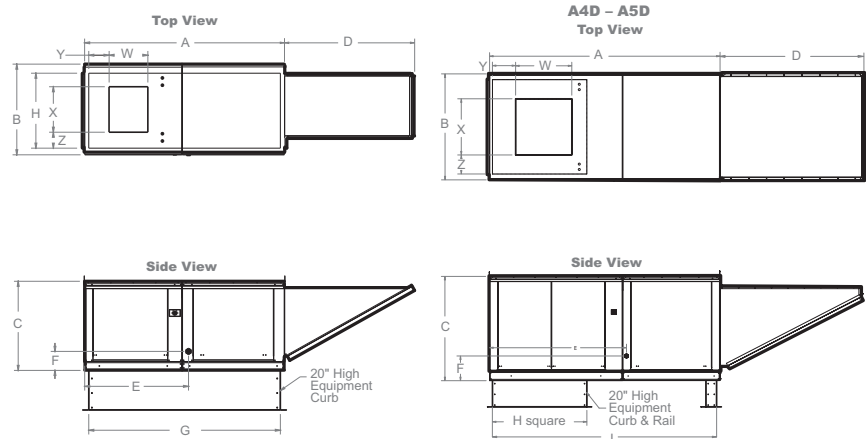
### Options

- Propane fuel application • Room override thermostat
- Clogged filter switch • Motorized intake damper
- Remote control panel including summer/winter switch & operating lights
- Freeze stat with bypass timer • Hi/Low gas pressure switches
- Room modulating thermostat • Convenience outlet
- High gas pressure regulator • Cooling Interlock
- DX cooling coils • V-Bank filter intake
- Evaporative cooler intake • Auxiliary starters
- Sloped filter intake • Indoor hanging cradle
- Inlet gas pressure gauge • WAV packages
- Roof curbs

### Certifications



ETL Listed and Certified to  
ANSI Z83.4a-2001/CSA 3.7a-2001



### Measurements

MODEL	Unit Dimensions					
	A	B	C	D	E	F
A1-D	74 7/16	27 3/8	29 3/4	44 5/16	34 13/16	7 13/16
A2-D	82 7/16	37 3/8	36 3/4	53 11/16	42 13/16	7 13/16
A3-D	87 7/16	41 3/8	43 3/8	51 5/8	47 13/16	9 1/2
A4-D	118 1/2	48 7/16	51 7/16	75	66 5/16	13 9/16
A5-D	128 1/2	59 3/16	58 7/16	75	76 7/16	13 13/16

### Measurements

MODEL	Blower				Curb & Rail		
	W	X	Y	Z	G	H	J
A1-D	11 3/8	13 1/8	5 5/8	4 15/16	71	21	n/a
A2-D	15 7/8	18 5/8	8 3/8	6 15/16	79	31	n/a
A3-D	18 7/8	21 7/8	10 3/8	6 11/16	84	35	n/a
A4-D	24 7/8	24 7/8	10 11/16	8 9/16	-	42	115 3/16
A5-D	31 3/8	31 3/8	12 15/16	10 11/16	-	52 3/4	125 3/16

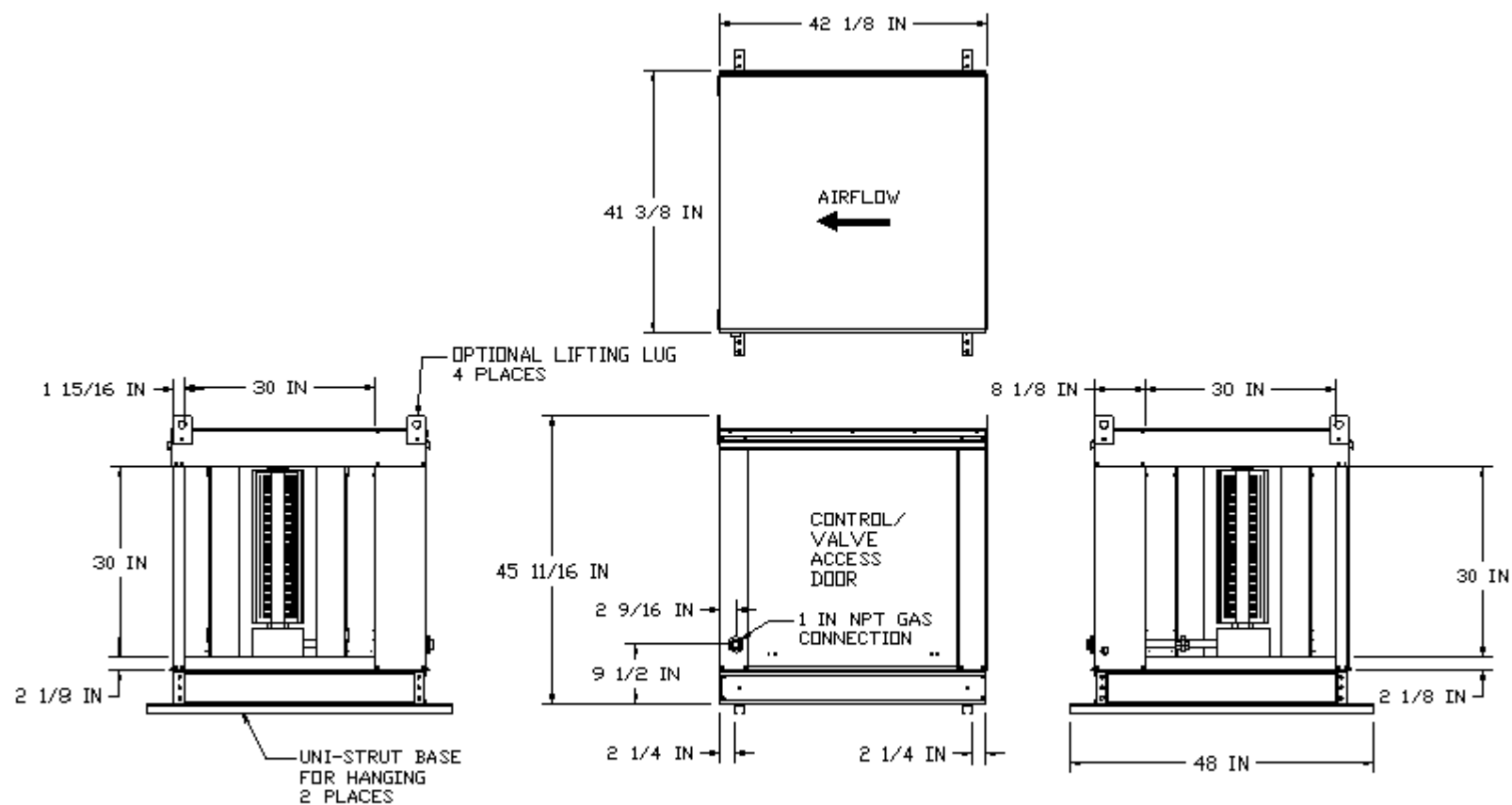
MODEL	Unit Information			
	Filter Size	Burner Size	Pipe Size	Weight (lbs)
A1-D	(3) 16 x 20	250 or 500	3/4"	350
A2-D	(3) 20 x 25	500 or 750	1"	550
A3-D	(6) 16 x 20	1000	1"	650
A4-D	(10) 16 x 20	1500	1 1/4"	1100
A5-D	(8) 20 x 25	2500	1 1/2"	1350

**BHP** (Brake Horsepower): The actual power developed by a motor as measured by the force applied to a shaft or flywheel.

Performance		Static Pressure in Inches W.G.								
MODEL	CFM	0.00" RPM/BHP	0.25" RPM/BHP	0.50 RPM/BHP	0.75 RPM/BHP	1.00 RPM/BHP	1.25 RPM/BHP	1.50 RPM/BHP	1.75 RPM/BHP	2.00 RPM/BHP
A1-D	1000	366 / 0.06	628 / 0.14	826 / 0.25	998 / 0.38	1140 / 0.51	1259 / 0.64	1362 / 0.77	1451 / 0.88	1531 / 0.99
A1-D	1250	457 / 0.11	686 / 0.22	857 / 0.33	1014 / 0.47	1157 / 0.63	1286 / 0.80	1398 / 0.96	1501 / 1.13	1590 / 1.28
A1-D	1500	548 / 0.19	752 / 0.32	906 / 0.45	1045 / 0.60	1176 / 0.76	1300 / 0.94	1415 / 1.13	1523 / 1.34	1620 / 1.53
A1-D	1750	639 / 0.31	821 / 0.45	965 / 0.60	1091 / 0.76	1209 / 0.93	1323 / 1.12	1432 / 1.32	1536 / 1.54	1636 / 1.77
A1-D	2000	730 / 0.46	892 / 0.62	1030 / 0.79	1147 / 0.97	1255 / 1.15	1359 / 1.34	1459 / 1.55	1558 / 1.78	
A1-D	2250	821 / 0.65	966 / 0.83	1098 / 1.03	1210 / 1.22	1310 / 1.42	1406 / 1.62	1499 / 1.84		
A1-D	2500	913 / 0.90	1042 / 1.08	1168 / 1.31	1275 / 1.52	1371 / 1.74	1462 / 1.96			
A1-D	2750	1004 / 1.20	1120 / 1.39	1239 / 1.64	1343 / 1.88					
A1-D	3000	1095 / 1.55	1200 / 1.76							
A2-D	2500	405 / 0.31	571 / 0.53	704 / 0.81	811 / 1.11	903 / 1.41	985 / 1.71	1060 / 2.02	1128 / 2.33	1190 / 2.64
A2-D	3000	486 / 0.54	624 / 0.76	753 / 1.10	856 / 1.44	946 / 1.80	1027 / 2.15	1101 / 2.52	1170 / 2.88	1233 / 3.25
A2-D	3500	566 / 0.85	682 / 1.09	804 / 1.46	905 / 1.85	992 / 2.26	1071 / 2.67	1144 / 3.08	1211 / 3.50	1275 / 3.93
A2-D	4000	647 / 1.27	744 / 1.51	856 / 1.91	955 / 2.35	1040 / 2.80	1118 / 3.27	1188 / 3.73	1255 / 4.20	1317 / 4.68
A2-D	4500	728 / 1.81	811 / 2.06	912 / 2.46	1006 / 2.95	1090 / 3.45	1166 / 3.96	1236 / 4.48	1300 / 5.00	
A2-D	5000	809 / 2.48	881 / 2.74	970 / 3.15	1060 / 3.66	1142 / 4.20	1216 / 4.77			
A2-D	5500	890 / 3.30	954 / 3.57	1032 / 3.98	1116 / 4.50					
A2-D	6000	971 / 4.28	1028 / 4.56	1098 / 4.98						
A3-D	3500	320 / 0.40	440 / 0.56	550 / 0.87	645 / 1.21	729 / 1.58	806 / 1.97	874 / 2.37	937 / 2.77	994 / 3.18
A3-D	4000	345 / 0.50	470 / 0.74	572 / 1.07	662 / 1.44	743 / 1.85	818 / 2.27	886 / 2.71	950 / 3.15	1008 / 3.61
A3-D	4500	388 / 0.71	502 / 0.96	598 / 1.32	682 / 1.72	760 / 2.15	832 / 2.60	898 / 3.06	962 / 3.56	1021 / 4.06
A3-D	5000	431 / 0.98	535 / 1.24	626 / 1.62	706 / 2.04	779 / 2.49	848 / 2.97	913 / 3.47	975 / 4.00	1033 / 4.53
A3-D	5500	474 / 1.30	569 / 1.57	656 / 1.97	732 / 2.42	802 / 2.90	868 / 3.40	930 / 3.93	989 / 4.48	
A3-D	6000	517 / 1.69	605 / 1.97	686 / 2.39	759 / 2.86	826 / 3.36	889 / 3.89	949 / 4.45		
A3-D	6500	560 / 2.15	641 / 2.43	719 / 2.87	789 / 3.36	853 / 3.89	913 / 4.45			
A3-D	7000	604 / 2.68	678 / 2.97	752 / 3.42	819 / 3.94	881 / 4.49				
A3-D	7500	647 / 3.30	716 / 3.59	786 / 4.05	850 / 4.59					
A3-D	8000	690 / 4.00	755 / 4.30	820 / 4.77						
A4-D	7000	350 / 1.05	408 / 1.32	473 / 1.75	539 / 2.22	602 / 2.71	663 / 3.22	719 / 3.75	772 / 4.30	821 / 4.85
A4-D	8000	376 / 1.31	448 / 1.83	506 / 2.31	563 / 2.81	620 / 3.35	676 / 3.92	730 / 4.50	781 / 5.10	830 / 5.70
A4-D	9000	423 / 1.87	490 / 2.46	542 / 2.99	593 / 3.55	644 / 4.13	695 / 4.73	745 / 5.36	793 / 6.01	840 / 6.68
A4-D	10000	470 / 2.56	533 / 3.23	581 / 3.83	627 / 4.43	673 / 5.05	718 / 5.70	764 / 6.38	809 / 7.07	854 / 7.78
A4-D	11000	517 / 3.40	576 / 4.16	621 / 4.82	663 / 5.48	705 / 6.15	747 / 6.84	788 / 7.55	830 / 8.29	871 / 9.05
A4-D	12000	564 / 4.42	620 / 5.26	663 / 5.99	702 / 6.70	740 / 7.42	778 / 8.16	816 / 8.92	854 / 9.70	
A4-D	13000	611 / 5.62	664 / 6.55	705 / 7.34	742 / 8.12	777 / 8.89	813 / 9.68			
A5-D	10000	260 / 1.21	375 / 2.25	456 / 3.16	524 / 4.10	587 / 5.09	644 / 6.12	696 / 7.18	744 / 8.25	788 / 9.32
A5-D	11000	286 / 1.61	395 / 2.78	473 / 3.79	538 / 4.79	598 / 5.85	654 / 6.95	706 / 8.09	754 / 9.26	799 / 10.43
A5-D	12000	312 / 2.09	414 / 3.39	490 / 4.50	554 / 5.59	612 / 6.71	665 / 7.88	716 / 9.09	764 / 10.33	808 / 11.60
A5-D	13000	338 / 2.66	434 / 4.08	509 / 5.32	571 / 6.49	626 / 7.68	678 / 8.91	727 / 10.19	774 / 11.50	818 / 12.85
A5-D	14000	364 / 3.32	454 / 4.85	528 / 6.23	588 / 7.50	642 / 8.77	692 / 10.06	740 / 11.40	785 / 12.78	828 / 14.19
A5-D	15000	389 / 4.09	474 / 5.72	547 / 7.25	606 / 8.63	659 / 9.98	707 / 11.34	753 / 12.74	797 / 14.18	840 / 15.66
A5-D	16000	415 / 4.96	494 / 6.70	567 / 8.38	625 / 9.88	676 / 11.32	723 / 12.75	768 / 14.23	811 / 15.73	852 / 17.27
A5-D	17000	441 / 5.95	515 / 7.78	586 / 9.62	644 / 11.24	694 / 12.79	740 / 14.31	784 / 15.86	825 / 17.43	865 / 19.03
A5-D	18000	467 / 7.06	536 / 8.98	606 / 10.98	663 / 12.74	713 / 14.39	758 / 16.01	800 / 17.63	841 / 19.27	
A5-D	19000	493 / 8.30	557 / 10.30	626 / 12.45	682 / 14.36	731 / 16.14	776 / 17.86	818 / 19.56		
A5-D	20000	519 / 9.69	579 / 11.76	646 / 14.06	702 / 16.12	751 / 18.03	794 / 19.85			
A5-D	21000	545 / 11.21	602 / 13.36	666 / 15.80	722 / 18.02					



## D3 -- INLINE DIRECT FIRED MODULE

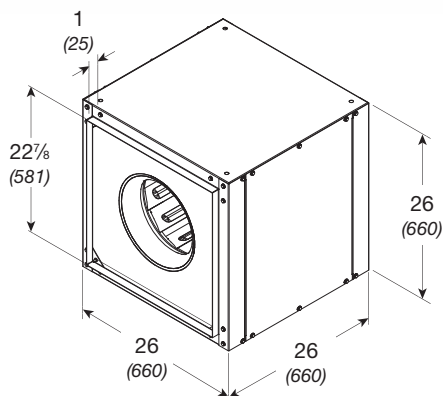


## NOTES:

- 1) ALL DIMENSIONS ARE NOMINAL AND GIVEN IN INCHES.
- 2) RECOMMENDED INLET DUCT SIZE = 32 IN TALL X 32 IN WIDE.
- 3) RECOMMENDED DISCHARGE DUCT SIZE = 32 IN TALL X 32 IN WIDE.

UNIT INFORMATION			
FILTER SIZE	BURNER SIZE	BLOWER SIZE	WEIGHT (lbs)
N/A	18" or 24"	N/A	300

# SQ 160 - Direct Drive



Damper size = 23 x 23 (584 x 584)

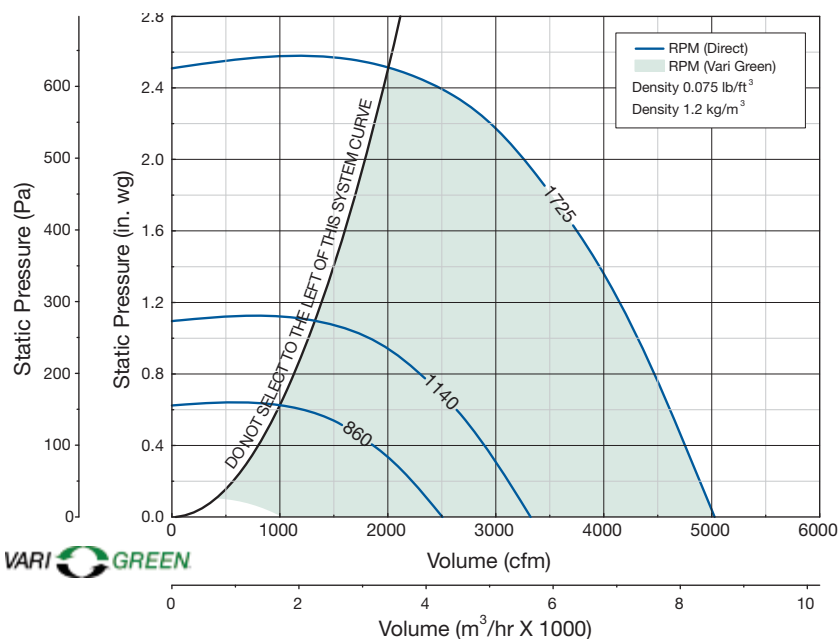
Unit weight\*\* = 160 (73)


Housing thickness = 18 ga

Outlet velocity = 0.275 x cfm

Dimensions shown in inches (millimeters) and weight is shown in pounds (kilograms).

\*\*Weight shown is largest cataloged Open Drip Proof motor.



Motor HP		Fan RPM		CFM / Static Pressure in Inches wg									
Direct				0.000	0.250	0.500	0.750	1.000	1.250	1.500	1.750	1.875	2.000
160													
 VG-3/4	C-1/4	860	CFM	2506	2148	1605							
			BHP	0.20	0.23	0.24							
			Sones	8.8	7.2	6.5							
	B-1/2	1140	CFM	3322	3062	2773	2388	1808					
			BHP	0.470	0.510	0.540	0.560	0.510					
			Sones	14.0	12.8	11.9	11.4	10.8					
VG-1	1300	CFM	3788	3562	3320	3033	2685	2223					
		BHP	0.70	0.74	0.78	0.81	0.84	0.79					
		Sones	16.8	15.8	14.8	14.5	14.1	13.7					
VG-2	A-2	1725	CFM	5027	4857	4684	4504	4312	4094	3845	3575	3414	3236
			BHP	1.64	1.69	1.74	1.80	1.85	1.89	1.93	1.95	1.94	1.91
			Sones	26	25	24	24	24	24	24	24	24	24

Performance certified is for installation type B: Free inlet, Ducted outlet. Performance ratings do not include the effects of appurtenances (accessories).

The sound ratings shown are loudness values in fan sones at 1.5 m (5 feet) in a hemispherical free field calculated per AMCA International Standard 301. Values shown are for installation type B: free inlet hemispherical sone levels.



## Combined CIS & Site Plan Review Application Planning Division

*Form will not be processed until it is completely filled out.*

### 1. Applicant

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email address: \_\_\_\_\_

### 2. Property Owner

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email address: \_\_\_\_\_

### 3. Applicant's Attorney/Contact Person

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email address: \_\_\_\_\_

### 4. Project Designer/Developer

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email address: \_\_\_\_\_

### 5. Required Attachments

- I. Two (2) paper copies and one (1) digital copy of all project plans including:
  - i. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject site's property lines;
  - ii. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
  - iii. A certified Land Survey;
  - iv. Interior floor plans;
  - v. A Landscape Plan;
  - vi. A Photometric Plan;
  - vii. Colored elevation drawings for each building elevation;
- II. Specification sheets for all proposed materials, light fixtures and mechanical equipment;
- III. Samples of all proposed materials;
- IV. Photographs of existing conditions on the site including all structures, parking areas, landscaping and adjacent structures;
- V. Current aerial photographs of the site and surrounding properties;
- VI. Warranty Deed, or Consent of Property Owner if applicant is not the owner;
- VII. Any other data requested by the Planning Board, Planning Department, or other City Departments.

### 6. Project Information

Address/Location of the property: \_\_\_\_\_  
\_\_\_\_\_  
Name of development: \_\_\_\_\_  
\_\_\_\_\_  
Sidwell #: \_\_\_\_\_  
Current Use: \_\_\_\_\_  
\_\_\_\_\_  
Current zoning: \_\_\_\_\_  
\_\_\_\_\_  
Is the property located in the floodplain? \_\_\_\_\_

Name of Historic District Site is Located in: \_\_\_\_\_  
\_\_\_\_\_  
Date of HDC Approval: \_\_\_\_\_  
Date of DRB Approval: \_\_\_\_\_  
Area of Site in Acres: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_  
Will proposed project require the division of platted lots? \_\_\_\_  
\_\_\_\_\_  
Will proposed project require the combination of platted lots? \_\_\_\_  
\_\_\_\_\_

## 7. Details of the Proposed Development (attach separate sheet if necessary)

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## 8. Buildings and Structures

Number of Buildings on Site: \_\_\_\_\_  
Height of Buildings & # of Stories: \_\_\_\_\_

Use of Buildings: \_\_\_\_\_  
Height of Rooftop Mechanical Equipment: \_\_\_\_\_

## 9. Floor Use and Area (in Square Feet)

### Proposed Commercial Structures:

Total basement floor area: \_\_\_\_\_  
Number of square feet per upper floor: \_\_\_\_\_  
Total floor area: \_\_\_\_\_  
Floor area ratio (total floor area ÷ total land area): \_\_\_\_\_  
Open space: \_\_\_\_\_  
Percent of open space: \_\_\_\_\_

Office Space: \_\_\_\_\_  
Retail Space: \_\_\_\_\_  
Industrial Space: \_\_\_\_\_  
Assembly Space: \_\_\_\_\_  
Seating Capacity: \_\_\_\_\_  
Maximum Occupancy Load: \_\_\_\_\_

### Proposed Residential Structures:

Total number of units: \_\_\_\_\_  
Number of one bedroom units: \_\_\_\_\_  
Number of two bedroom units: \_\_\_\_\_  
Number of three bedroom units: \_\_\_\_\_  
Open space: \_\_\_\_\_  
Percent of open space: \_\_\_\_\_

Rental units or condominiums? \_\_\_\_\_  
Size of one bedroom units: \_\_\_\_\_  
Size of two bedroom units: \_\_\_\_\_  
Size of three bedroom units: \_\_\_\_\_  
Seating Capacity: \_\_\_\_\_  
Maximum Occupancy Load: \_\_\_\_\_

### Proposed Additions:

Total basement floor area, if any, of addition: \_\_\_\_\_  
Number of floors to be added: \_\_\_\_\_  
Square footage added per floor: \_\_\_\_\_  
Total building floor area (including addition): \_\_\_\_\_  
Floor area ratio (total floor area ÷ total land area): \_\_\_\_\_  
Open Space: \_\_\_\_\_  
Percent of open space: \_\_\_\_\_

Use of addition: \_\_\_\_\_  
Height of addition: \_\_\_\_\_  
Office space in addition: \_\_\_\_\_  
Retail space in addition: \_\_\_\_\_  
Industrial space in addition: \_\_\_\_\_  
Assembly space in addition: \_\_\_\_\_  
Maximum building occupancy load (including addition): \_\_\_\_\_

## 10. Required and Proposed Setbacks

Required front setback: \_\_\_\_\_  
Required rear setback: \_\_\_\_\_  
Required total side setback: \_\_\_\_\_  
Side setback: \_\_\_\_\_

Proposed front setback: \_\_\_\_\_  
Proposed rear setback: \_\_\_\_\_  
Proposed total side setback: \_\_\_\_\_  
Second side setback: \_\_\_\_\_

## 11. Required and Proposed Parking

Required number of parking spaces: \_\_\_\_\_  
Typical angle of parking spaces: \_\_\_\_\_  
Typical width of maneuvering lanes: \_\_\_\_\_  
Location of parking on site: \_\_\_\_\_  
Location of parking off site: \_\_\_\_\_  
Number of light standards in parking area: \_\_\_\_\_  
Screenwall material: \_\_\_\_\_

Proposed number of parking spaces: \_\_\_\_\_  
Typical size of parking spaces: \_\_\_\_\_  
Number of spaces <180 sq. ft.: \_\_\_\_\_  
Number of handicap spaces: \_\_\_\_\_  
Shared parking agreement? \_\_\_\_\_  
Height of light standards in parking area: \_\_\_\_\_  
Height of screenwall: \_\_\_\_\_

## 12. Landscaping

Location of landscape areas: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Proposed landscape material: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## 13. Streetscape

Sidewalk width: \_\_\_\_\_  
Number of benches: \_\_\_\_\_  
Number of planters: \_\_\_\_\_  
Number of existing street trees: \_\_\_\_\_  
Number of proposed street trees: \_\_\_\_\_  
Streetscape Plan submitted? \_\_\_\_\_

Description of benches or planters: \_\_\_\_\_  
\_\_\_\_\_  
Species of existing trees: \_\_\_\_\_  
\_\_\_\_\_  
Species of proposed trees: \_\_\_\_\_  
\_\_\_\_\_

## 14. Loading

Required number of loading spaces: \_\_\_\_\_  
Typical angle of loading spaces: \_\_\_\_\_  
Screenwall material: \_\_\_\_\_  
Location of loading spaces on site: \_\_\_\_\_

Proposed number of loading spaces: \_\_\_\_\_  
Typical size of loading spaces: \_\_\_\_\_  
Height of screenwall: \_\_\_\_\_  
Typical time loading spaces are used: \_\_\_\_\_

## 15. Exterior Waste Receptacles

Required number of waste receptacles: \_\_\_\_\_  
Location of waste receptacles: \_\_\_\_\_  
Screenwall material: \_\_\_\_\_

Proposed number of waste receptacles: \_\_\_\_\_  
Size of waste receptacles: \_\_\_\_\_  
Height of screenwall: \_\_\_\_\_

## 16. Mechanical Equipment

### Utilities and Transformers:

Number of ground mounted transformers: \_\_\_\_\_  
Size of transformers (L•W•H): \_\_\_\_\_  
Number of utility easements: \_\_\_\_\_  
Screenwall material: \_\_\_\_\_

Location of all ground mounted utilities: \_\_\_\_\_  
\_\_\_\_\_  
Height of screenwall: \_\_\_\_\_

### Ground Mounted Mechanical Equipment:

Number of ground mounted units: \_\_\_\_\_  
Size of ground mounted units (L•W•H): \_\_\_\_\_  
Screenwall material: \_\_\_\_\_

Location of all ground mounted units: \_\_\_\_\_  
\_\_\_\_\_  
Height of screenwall: \_\_\_\_\_

### Rooftop Mechanical Equipment:

Number of rooftop units: \_\_\_\_\_  
Type of rooftop units: \_\_\_\_\_  
\_\_\_\_\_  
Screenwall material: \_\_\_\_\_  
Location of screenwall: \_\_\_\_\_  
\_\_\_\_\_

Location of all rooftop units: \_\_\_\_\_  
Size of rooftop units (L•W•H): \_\_\_\_\_  
Percentage of rooftop covered by mechanical units: \_\_\_\_\_  
Height of screenwall: \_\_\_\_\_  
Distance from rooftop units to all screenwalls: \_\_\_\_\_  
\_\_\_\_\_

## 17. Accessory Buildings

Number of accessory buildings: \_\_\_\_\_  
Location of accessory buildings: \_\_\_\_\_

Size of accessory buildings: \_\_\_\_\_  
Height of accessory buildings: \_\_\_\_\_

## 18. Building Lighting

Number of light standards on building: \_\_\_\_\_  
Size of light fixtures (L•W•H): \_\_\_\_\_

Type of light standards on building: \_\_\_\_\_  
\_\_\_\_\_  
Height from grade: \_\_\_\_\_

Maximum wattage per fixture: \_\_\_\_\_  
Light level at each property line: \_\_\_\_\_

Proposed wattage per fixture: \_\_\_\_\_

## 19. Site Lighting

Number of light fixtures: \_\_\_\_\_  
Size of light fixtures (L•W•H): \_\_\_\_\_  
Maximum wattage per fixture: \_\_\_\_\_  
Light level at each property line: \_\_\_\_\_

Type of light fixtures: \_\_\_\_\_  
Height from grade: \_\_\_\_\_  
Proposed wattage per fixture: \_\_\_\_\_  
Holiday tree lighting receptacles: \_\_\_\_\_

## 20. Adjacent Properties

Number of properties within 200 ft.: \_\_\_\_\_

### Property #1

Number of buildings on site: \_\_\_\_\_  
Zoning district: \_\_\_\_\_  
Use type: \_\_\_\_\_  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

North, south, east or west of property? \_\_\_\_\_

### Property #2

Number of buildings on site: \_\_\_\_\_  
Zoning district: \_\_\_\_\_  
Use type: \_\_\_\_\_  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

North, south, east or west of property? \_\_\_\_\_

### Property #3

Number of buildings on site: \_\_\_\_\_  
Zoning district: \_\_\_\_\_  
Use type: \_\_\_\_\_  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

North, south, east or west of property? \_\_\_\_\_

### Property #4

Number of buildings on site: \_\_\_\_\_  
Zoning district: \_\_\_\_\_  
Use type: \_\_\_\_\_  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

North, south, east or west of property? \_\_\_\_\_

### Property #5

Number of buildings on site: \_\_\_\_\_  
Zoning district: \_\_\_\_\_  
Use type: \_\_\_\_\_  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

North, south, east or west of property? \_\_\_\_\_

### Property #6

Number of buildings on site: \_\_\_\_\_  
Zoning district: \_\_\_\_\_  
Use type: \_\_\_\_\_  
Square footage of principal building: \_\_\_\_\_  
Square footage of accessory buildings: \_\_\_\_\_  
Number of parking spaces: \_\_\_\_\_

Property Description: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

North, south, east or west of property? \_\_\_\_\_



The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
REFER TO CONSENT OF PROPERTY OWNER FORM IN APPENDIX 3.1

Print Name: \_\_\_\_\_  
REFER TO CONSENT OF PROPERTY OWNER FORM IN APPENDIX 3.1

Signature of Applicant: \_\_\_\_\_ Date: 2/17/2021

Print Name: DAVE STANCHAK

Signature of Architect: \_\_\_\_\_ Date: 2/18/2021

Print Name: VICTOR SAROKI

*Office Use Only*

Application #: \_\_\_\_\_ Date Received: \_\_\_\_\_ Fee: \_\_\_\_\_

Date of Approval: \_\_\_\_\_ Date of Denial: \_\_\_\_\_ Accepted by: \_\_\_\_\_



## COMBINED SITE PLAN REVIEW & COMMUNITY IMPACT STUDY APPLICATION CHECKLIST- PLANNING DIVISION

Applicant: \_\_\_\_\_ Case #: \_\_\_\_\_ Date: \_\_\_\_\_

Address: \_\_\_\_\_ Project: \_\_\_\_\_

All site plans and elevation drawings prepared for approval shall be prepared in accordance with the following specifications and other applicable requirements of the City of Birmingham. If more than one page is used, each page shall be numbered sequentially. All plans must be legible and of sufficient quality to provide for quality reproduction or recording. Plans must be no larger than 24" x 36", and must be folded and stapled together. The address of the site must be clearly noted on all plans and supporting documentation.

### Site Plan

A full Site Plan detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- \_\_\_ 1. Name and address of applicant and proof of ownership;
- \_\_\_ 2. Name of Development (if applicable);
- \_\_\_ 3. Address of site and legal description of the real estate;
- \_\_\_ 4. Name and address of the land surveyor;
- \_\_\_ 5. Legend and notes, including a graphic scale, north point, and date;
- \_\_\_ 6. A separate location map;
- \_\_\_ 7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land;
- \_\_\_ 8. Aerial photographs of the subject site and surrounding properties;
- \_\_\_ 9. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
- \_\_\_ 10. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject site's property lines;
- \_\_\_ 11. Interior floor plans;
- \_\_\_ 12. A chart indicating the dates of any previous approvals by the Planning Board, Board of Zoning Appeals, Design Review Board, or the Historic District Commission ("HDC");
- \_\_\_ 13. Existing and proposed layout of streets, open space and other basic elements of the plan;
- \_\_\_ 14. Existing and proposed utilities and easements and their purpose;

- \_\_\_ 15. Location of natural streams, regulated drains, 100-year flood plains, floodway, water courses, marshes, wooded areas, isolated preserve-able trees, wetlands, historic features, existing structures, dry wells, utility lines, fire hydrants and any other significant feature(s) that may influence the design of the development;
- \_\_\_ 16. General description, location, and types of structures on site;
- \_\_\_ 17. Location of sidewalks, curb cuts, and parking lots on subject site and all sites within 200 ft. of the property line;
- \_\_\_ 18. Details of existing or proposed lighting, signage and other pertinent development features;
- \_\_\_ 19. Elevation drawings showing proposed design;
- \_\_\_ 20. Screening to be utilized in concealing any exposed mechanical or electrical equipment and all trash receptacle areas;
- \_\_\_ 21. Location of all exterior lighting fixtures;
- \_\_\_ 22. A Photometric Plan depicting proposed illuminance levels at all property lines;
- \_\_\_ 23. A Landscape Plan showing all existing and proposed planting and screening materials, including the number, size, and type of plantings proposed and the method of irrigation; and
- \_\_\_ 24. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.

### **Elevation Drawings**

Complete elevation drawings detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- \_\_\_ 25. Color elevation drawings showing the proposed design for each façade of the building;
- \_\_\_ 26. List of all materials to be used for the building, marked on the elevation drawings;
- \_\_\_ 27. Elevation drawings of all screenwalls to be utilized in concealing any exposed mechanical or electrical equipment, trash receptacle areas and parking areas;
- \_\_\_ 28. Details of existing or proposed lighting, signage and other pertinent development features;
- \_\_\_ 29. A list of any requested design changes;
- \_\_\_ 30. Itemized list and specification sheets of all materials, light fixtures and mechanical equipment to be used, including exact size specifications, color, style, and the name of the manufacturer;
- \_\_\_ 31. Location of all exterior lighting fixtures, exact size specifications, color, style and the name of the manufacturer of all fixtures, and a photometric analysis of all exterior lighting fixtures showing light levels to all property lines; and
- \_\_\_ 32. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.



## COMMUNITY IMPACT STUDY CHECKLIST

### PLANNING DIVISION

Applicant: \_\_\_\_\_ Case #: \_\_\_\_\_ Date: \_\_\_\_\_

Address: \_\_\_\_\_ Project: \_\_\_\_\_

All Community Impact Studies prepared for approval must contain the following information:

#### General Information

- \_\_\_\_\_ 1. Name and address of applicant and proof of ownership;
- \_\_\_\_\_ 2. Name of Development (if applicable);
- \_\_\_\_\_ 3. Address of site and legal description of the real estate;
- \_\_\_\_\_ 4. Name and address of the land surveyor;
- \_\_\_\_\_ 5. Legend and notes, including a graphic scale, north point, and date;
- \_\_\_\_\_ 6. A separate location map;
- \_\_\_\_\_ 7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land;
- \_\_\_\_\_ 8. Details of all proposed site plan changes;

#### Planning & Zoning Issues

- \_\_\_\_\_ 9. Recommended land use of the subject property as designated on the Future Land Use Map of the City's Master Plan;
- \_\_\_\_\_ 10. Goals and objectives of the city's Master Plans that demonstrate the City's support of the proposed development;
- \_\_\_\_\_ 11. Whether or not the project site is located within an area of the City for which an Urban Design Plan has been adopted by the Planning Board in which special design criteria or other supplemental development requirements apply;
- \_\_\_\_\_ 12. The current zoning classification of the subject property;
- \_\_\_\_\_ 13. The zoning classification required for the proposed development;
- \_\_\_\_\_ 14. The existing land uses adjacent to the proposed project;
- \_\_\_\_\_ 15. Complete the attached "Zoning Requirements Analysis" chart;

#### Land Development Issues

- \_\_\_\_\_ 16. A Survey and Site Drainage Plan;
- \_\_\_\_\_ 17. Identify any sensitive soils on site that will require stabilization or alteration in order to support the proposed development;
- \_\_\_\_\_ 18. Whether or not the proposed development will occur on a steep slope, and if so, the measures that will be taken to overcome potential erosion, slope stability and runoff;

- \_\_\_\_\_ 19. The volume of excavated soils to be removed from the site and /or delivered to the site, and a map of the proposed haul routes;
- \_\_\_\_\_ 20. Identify the potential hazards and nuisances that may be created by the proposed development and the suggested methods of mitigating such hazards;

### **Private Utilities**

- \_\_\_\_\_ 21. Indicate the source of all required private utilities to be provided;
- \_\_\_\_\_ 22. Provide verification that all required utility easements have been secured for necessary private utilities;

### **Noise Levels**

- \_\_\_\_\_ 23. Provide a reading of existing ambient noise and estimated future noise levels on the site;
- \_\_\_\_\_ 24. Indicate whether the project will be exposed to or cause noise levels which exceed those levels prescribed in Chapter 50, Division 4, Section 50-71 through 50-77 of the Birmingham City Code, as amended;
- \_\_\_\_\_ 25. Indicate whether the site is appropriate for the proposed activities and facilities given the existing ambient noise and the estimated future noise levels of the site;

### **Air Quality**

- \_\_\_\_\_ 26. Indicate whether the project is located in the vicinity of a monitoring station where air quality violations have been registered and, if so, provide information as to whether the project will increase air quality problems in the area;
- \_\_\_\_\_ 27. Indicate if the nature of the project or its potential users would be particularly sensitive to existing air pollution levels and, if so, indicate how the project has been designed to mitigate possible adverse effects;
- \_\_\_\_\_ 28. Indicate whether the proposal will establish a trend which, if continued, may lead to violation of air quality standards in the future;
- \_\_\_\_\_ 29. Indicate whether the proposed project will have parking facilities for more than 75 cars and indicate percentage of required parking that is proposed;

### **Environmental Design and Historic Values**

- \_\_\_\_\_ 30. Indicate whether there will be demonstrable destruction or physical alteration of the natural or human-made environment on site or in the right-of-way (i.e. clearance of trees, substantial regrading etc.);
- \_\_\_\_\_ 31. Indicate whether there will be an intrusion of elements out of character or scale with the existing physical environment (i.e. significant changes in size, scale of building, floor levels, entrance patterns, height, materials, color or style from that of surrounding developments);
- \_\_\_\_\_ 32. Indicate all elements of the project that are eligible for LEED points if the building were to be LEED certified (i.e. extensive use of natural daylight, use of low VOC paint, use of renewable/recycled resources, energy efficient mechanical systems, use of wind and solar power, geothermal heating etc.);
- \_\_\_\_\_ 33. Indicate whether the proposed structure will block or degrade views, change the skyline or create a new focal point;
- \_\_\_\_\_ 34. Indicate whether there will be objectionable visual pollution introduced directly or indirectly due to loading docks, trash receptacles or parking, and indicate mitigation measures for same;
- \_\_\_\_\_ 35. Indicate whether there will be an interference with or impairment of ambient conditions necessary for the enjoyment of the physical environment (i.e. vibration, dust, odor, heat, glare etc.);
- \_\_\_\_\_ 36. Indicate whether the project area and environs contain any properties listed on the National Register of Historic Places or the City's inventory of historic structures;
- \_\_\_\_\_ 37. Provide any information on the project area that the State Historic Preservation Office (SHPO) may have;

- \_\_\_\_\_ 38. Indicate whether there will be other properties within the boundaries or in the vicinity of the project that appear to be historic and thus require consultation with the SHPO as to eligibility for the National Register;
- \_\_\_\_\_ 39. Indicate whether the Department of the Interior has been requested to make a determination of eligibility on properties the SHPO or HDC deems eligible and affected by the project;
- \_\_\_\_\_ 40. Provide proof that the HDC has been given an opportunity to comment on properties that are listed on or have been found eligible for the National Register and which would be affected by the project;

#### **Refuse**

- \_\_\_\_\_ 41. Indicate whether the existing or planned solid waste disposal system will adequately service the proposed development including space for separation of recyclable materials;
- \_\_\_\_\_ 42. Indicate whether the design capacity of the existing or planned solid waste disposal system will be exceeded as a result of the project;

#### **Sanitary Sewer**

- \_\_\_\_\_ 43. Indicate whether existing or planned waste water systems will be able to adequately service the proposed development;
- \_\_\_\_\_ 44. Indicate whether the design capacity of these facilities will be exceeded as a result of the project;
- \_\_\_\_\_ 45. Indicate the elements of the project that have been incorporated to reduce the amount of water entering the sewer system (such as low flush toilets, EnergyStar appliances, restricted flow faucets, greywater recycling etc.);

#### **Storm Sewer**

- \_\_\_\_\_ 46. Indicate whether existing or planned storm water disposal and treatment systems will adequately serve the proposed development;
- \_\_\_\_\_ 47. Indicate whether the design capacity of these facilities will be exceeded as a result of the project;
- \_\_\_\_\_ 48. Indicate the elements of the project that have been incorporated to reduce the amount of storm water entering the sewer system (such as the use of pervious concrete, rain gardens, greywater recycling, green pavers etc.);

#### **Water Service**

- \_\_\_\_\_ 49. Indicate whether either the municipal water utility or on-site water supply system is adequate to serve the proposed project;
- \_\_\_\_\_ 50. Indicate whether the water quality is safe from both a chemical and bacteriological standpoint;
- \_\_\_\_\_ 51. Indicate whether the intended location of the service will be compatible with the location and elevation of the main;

#### **Public Safety**

- \_\_\_\_\_ 52. Whether or not the project location provides adequate access to police, fire and emergency medical services;
- \_\_\_\_\_ 53. Whether or not the proposed project design provides easy access for emergency vehicles and individuals (ie. are there obstacles to access, such as one-way roads, narrow bridges etc.);
- \_\_\_\_\_ 54. Whether or not there are plans for a security system which can be expanded, and whether approval for same has been granted by the police department;
- \_\_\_\_\_ 55. Detailed description of all fire access to the building, site, fire hydrants and water connections;
- \_\_\_\_\_ 56. Whether or not there are plans for adherence to all city and N.F.P.A. fire codes;



- \_\_\_\_\_ 57. Proof that one elevator has been designed to accommodate a medical cart;
- \_\_\_\_\_ 58. Detailed specifications on all fire lanes/parking lot surfaces/alleys/streets to demonstrate the ability to accommodate the weight of emergency / fire vehicles;
- \_\_\_\_\_ 59. Detailed description of all fire suppression systems;

### **Transportation issues**

- \_\_\_\_\_ 60. Provide completed FORM A – Transportation Study Questionnaire (Abbreviated);
- \_\_\_\_\_ 61. Provide completed FORM B – Transportation Study Questionnaire if required by the city’s transportation consultant;
- \_\_\_\_\_ 62. Indicate whether transportation facilities and services will be adequate to meet the needs of all users (i.e. access to public transportation, bicycle accommodations, pedestrian connections, disabled, elderly etc.);
- \_\_\_\_\_ 63. Indicate how the project will improve the mobility of all groups by providing transportation choices;
- \_\_\_\_\_ 64. Indicate how the users of the building will be encouraged to use public transit and non-motorized forms of transportation;
- \_\_\_\_\_ 65. Indicate the elements that have been incorporated into the site and surrounding right-of-way to encourage mode shift away from private vehicle trips;
- \_\_\_\_\_ 66. Indicate the elements of the project that have been provided to improve the comfort and safety of cyclists (such as secured or covered bicycle parking, lockers, bike lanes/paths, bicycle share program etc.);
- \_\_\_\_\_ 67. Indicate the elements of the project that have been provided to improve the comfort and safety of pedestrians (such as wheelchair ramps, crosswalk markings, pedestrian activated signal lights, bulb outs, benches, landscaping, lighting etc.);
- \_\_\_\_\_ 68. Indicate the elements of the project that have been provided to encourage the use of sustainable transportation modes (such as receptacles for electric vehicle charging, parking for scooters/Smart cars etc.);

### **Natural Features**

- \_\_\_\_\_ 69. Indicate whether there are any visual indicators of pond and / or stream water quality problems on or near the site;
- \_\_\_\_\_ 70. Indicate whether the project will involve any increase in impervious surface area and, if so, indicate the runoff control measures that will be undertaken;
- \_\_\_\_\_ 71. Indicate whether the project will affect surface water flows on water levels of ponds or other water bodies;
- \_\_\_\_\_ 72. Indicate whether the project may affect or be affected by a wetland, flood plain, or floodway;
- \_\_\_\_\_ 73. Indicate whether the project location or construction will adversely impact unique natural features on or near the site;
- \_\_\_\_\_ 74. Indicate whether the project will either destroy or isolate a unique natural feature from public access;
- \_\_\_\_\_ 75. Indicate whether any unique natural feature will pose safety hazards for the proposed development;
- \_\_\_\_\_ 76. Indicate whether the project will damage or destroy existing wildlife habitats; and

### **Other Information**

- \_\_\_\_\_ 77. Any other information as may reasonably be required by the City to assure an adequate analysis of all existing and proposed site features and conditions.

### **Professional Qualifications**

The preparer(s) of the CIS must indicate their professional qualifications, which must include registration in the state of Michigan in their profession where licensing is a state requirement for the practice of the profession (i.e. engineer, surveyor, architect etc.). Where the state does not require licensing (ie. planner, urban designer, economist etc.), the

preparer must demonstrate acceptable credentials including, but not limited to, membership in professional societies, university degrees, documentation illustrating professional experience in preparing CIS related materials for similar projects.



## ZONING REQUIREMENTS ANALYSIS

Development Standard	Required	Proposed	Variance Required
Zoning Classification			
Front Setback			
Rear Setback			
Side Setback			
FAR - Percentage			
FAR – Square Footage			
Open Space – Percentage			
Open Space – Square Footage			
Number of Residential Units			
Minimum Floor Area			
Maximum Height			
Parking			
Loading			
Screening			



## Notice Signs - Rental Application Community Development

### 1. Applicant

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email address: \_\_\_\_\_

### Property Owner

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email address: \_\_\_\_\_

### 2. Project Information

Address/Location of Property: \_\_\_\_\_  
Name of Development: \_\_\_\_\_  
Area in Acres: \_\_\_\_\_

Name of Historic District site is in, if any: \_\_\_\_\_  
Current Use: \_\_\_\_\_  
Current Zoning: \_\_\_\_\_

### 3. Date of Board Review

Board of Building Trades Appeals: \_\_\_\_\_  
City Commission: \_\_\_\_\_  
Historic District Commission: \_\_\_\_\_  
Planning Board: \_\_\_\_\_

Board of Zoning Appeals: \_\_\_\_\_  
Design Review Board: \_\_\_\_\_  
Housing Board of Appeals: \_\_\_\_\_

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.

Signature of Applicant: \_\_\_\_\_ Date: \_\_\_\_\_

#### Office Use Only

Application #: \_\_\_\_\_ Date Received: \_\_\_\_\_ Fee: \_\_\_\_\_

Date of Approval: \_\_\_\_\_ Date of Denial: \_\_\_\_\_ Reviewed by: \_\_\_\_\_



## FEE SCHEDULE

Application	Fees
Administrative Approval	\$100
Administrative Sign Approval	\$100
Board of Zoning Appeals* <ul style="list-style-type: none"> <li>Single Family Residential</li> <li>All Other Zoning Districts</li> </ul>	\$310 \$510
Community Impact Study Review*	\$2,050
Design Review*	\$350
Division/Combination of Platted Lots	\$200
Historic District Review* <ul style="list-style-type: none"> <li>Single Family Residential</li> <li>All Other Zoning Districts</li> </ul>	No Charge \$350
Public Notice Sign <ul style="list-style-type: none"> <li>Notice Sign Rental</li> <li>Returnable Sign Bond</li> </ul>	\$50 \$100 ➔ \$150 total
Preliminary/Final Site Plan Review <ul style="list-style-type: none"> <li>R4 – R8 Zoning District</li> <li>Nonresidential Districts</li> </ul>	\$850, plus \$50 per dwelling unit \$1,050, plus \$50 per acre or portion of acre
Special Land Use Permit* <ul style="list-style-type: none"> <li>Plus Site Plan Review</li> <li>Plus Design Review</li> <li>Plus Publish of Legal Notice</li> <li>Plus Sign Rental and Deposit</li> </ul>	\$800 \$1,050 \$350 \$450 \$150 ➔ \$2,800 total
Special Land Use Permit Annual Renewal	\$200
Temporary Use Permit	\$100
Zoning Compliance Letter	\$50

**\*The fees for Board of Zoning Appeals, Community Impact Study Review, Design Review, Site Plan Review, Historic District Review and Special Land Use Permits shall be double the listed amounts in the event the work is commenced prior to the filing of an application for review by the City of Birmingham.**



Williams Williams Rattner & Plunkett, P.C.  
Attorneys and Counselors

380 North Old Woodward Avenue  
Suite 300

Birmingham, Michigan 48009

Tel: (248) 642-0333

Fax: (248) 642-0856

February 24, 2021

Richard D. Rattner  
rdr@wwrplaw.com

City Commission  
Planning Board  
City of Birmingham  
151 Martin Street  
Birmingham, MI 48009  
Attn: Thomas Markus and Jana Ecker

**Re: RH Gallery Submittal Overview**

Dear Commissioners and Members of the Planning Board:

On behalf of RH, Inc. ("Applicant"), we are pleased to submit the applications and supporting materials for a new RH Gallery, to be located on 300 & 394 S. Old Woodward and part of 294 E. Brown Street ("Property"). The Applicant proposes to develop its innovative retail concept featuring artistic installations of home furnishings in a gallery setting in a new 49,000sf four-story building, with an indoor/outdoor rooftop restaurant with wine/beer sales ("Development"). The following applications are being submitted to request the required City approvals to facilitate the Development:

1. Application for Zoning Map Change – The Applicant is requesting a conditional rezoning pursuant to MCL 125.3405 and Section 7.02 of the City Zoning Ordinance to change the overlay zoning district for the Property from the D3 Zone to the D4 Zone to allow a four-story building with a restaurant on the top level. As part of this application, the Applicant is also requesting the extension of the City's economic development zone to the Property to allow the Applicant to obtain an economic development license required to bring a new Class C license into the City for wine and beer sales. The Applicant offers to condition such rezoning approvals on its proposed use and development of the Property, which will be memorialized in a conditional rezoning agreement agreed upon with the City and recorded against the Property.
2. Special Land Use Permit Application – Economic Development License ("SLUP") – Required pursuant to Chapter 10, Article II, Division 3 of the City Code to enable the Applicant to transfer a liquor license into the City for economic development purposes.
3. Combined CIS & Site Plan Review Application – Submitted as part of the SLUP Application requirements.

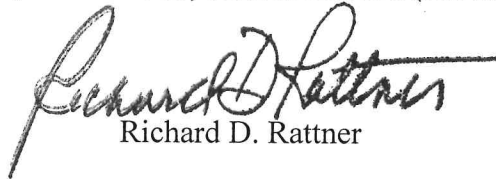


4. Division of Platted Lots Application – Two applications are being submitted to facilitate an adjustment of the property boundary line between (i) 294 E. Brown Street and 394 S. Old Woodward and (ii) 294 E. Brown Street and 300 S. Old Woodward, for the purpose of squaring off and providing a straight west property line for the Development.
5. Combination of Platted Lots Application – Required for the purpose of combining the resulting parcels into a single parcel after the land divisions.

We appreciate your consideration of our submittals and look forward to working with the City to bring the Applicant's RH Gallery to this community.

Very truly yours,

WILLIAMS, WILLIAMS, RATTNER & PLUNKETT, P.C.



Richard D. Rattner

RDR/cmc  
Enclosures

**APPLICATION FOR ZONING MAP OR ORDINANCE CHANGE**  
**Birmingham, Michigan**

**TO THE CITY COMMISSION:**

The undersigned hereby makes application to the City Commission to:

1. Zoning Map Change:

Change premises described as:

300 and 394 S. Old Woodward and part of 294 E. Brown Street

No. Street

See attached

Legal Description

\_\_\_\_\_ from its present zoning  
classification of B2/D3 overlay to B2/D4 overlay.

A sealed land survey showing location, size of lot and placement of building (if any) on  
the lot to scale must be attached.

Statements and reason for request or other data have a direct bearing on the request.

2. Change premises described as:

300 and 394 S. Old Woodward and part of 294 E. Brown Street

No. Street

See attached

Legal Description

\_\_\_\_\_ from its present zoning  
classification of B2/D3 overlay to extension of Economic Development Zone.

A sealed land survey showing location, size of lot and placement of building (if any) on  
the lot to scale must be attached.

Statements and reasons for request or other data have a direct bearing on the request.

Signature of Applicant: \_\_\_\_\_

Print Name: Dave Stanchak, President, RH, Inc.

Name of Owner: See attached consent form for each parcel

Address and Telephone Number: 15 Koch Road

Corte Madera, CA 94925

(415) 936-9642



### CONSENT OF PROPERTY OWNER

Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95  
I, \_\_\_\_\_, OF THE STATE OF Michigan AND  
(Name of Property Owner)  
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 394 S. Old Woodward;  
(Address of Affected Property)
2. That I have read and examined the Application for **ZONING MAP CHANGE** made to the City of  
Birmingham by: RH, Inc.;  
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95  
Name of Owner (Printed): \_\_\_\_\_

Signature of Owner: Frank Konjarevich Date: 2/24/21

**APPLICATION FOR ZONING MAP OR ORDINANCE CHANGE**  
**Birmingham, Michigan**

A letter of authority, or power of attorney, shall be attached in case the appeal is made by a person other than the actual owner of the property.

Date Received: \_\_\_\_\_ Received By: \_\_\_\_\_

Resolution No. \_\_\_\_\_ Approved/Denied \_\_\_\_\_

Application Fee: \$1,500.00      Receipt Number \_\_\_\_\_

The petitioner shall be responsible for any costs incurred by consultant, including but not limited to traffic and environmental, contracted by the city to review the proposed site plan and/or community impact study as determined by the city planner.

**LEGAL DESCRIPTION – PARCELS I & II**

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

PARCEL I:

THE EAST 1/2 OF LOT(S) 11 OF BROWN'S ADDITION TO THE CITY OF BIRMINGHAM AND THE EAST 1/2 OF LOT 16 OF BROWN'S ADDITION NO. 1, IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING THE VACATED WEST 20 FEET OF ANN STREET ADJOINING LOT 11 AND THE VACATED WEST 19 FEET OF ANN STREET ADJOINING LOT 16.

PARCEL II:

THE WEST 1/2 OF LOT(S) 12 OF BROWN'S ADDITION TO THE VILLAGE (NOW CITY) OF BIRMINGHAM, OF PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST, TOWNSHIP OF BLOOMFIELD (NOW CITY OF BIRMINGHAM), OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, ALSO LOT 15, ADDITION TO WILLIAM BROWN'S ADDITION NO. 1, BEING A PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING VACATED 20 FEET OF ANN STREET, ADJOINING THE WESTERLY SIDE OF LOT 12 AND VACATED 21 FEET OF ANN STREET ADJOINING THE WESTERLY SIDE OF LOT 15.

ADDRESS: 294 E. BROWN STREET, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-021

**LEGAL DESCRIPTION – PARCEL 2**

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

THE EASTERLY 50 FEET OF LOT 12, AND THE WESTERLY PART OF LOT 13, MEASURING 82.45 FEET ON THE NORTH LOT LINE AND 82.48 FEET ON THE SOUTH LOT LINE OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

ADDRESS: 300 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-006

**LEGAL DESCRIPTION – PARCEL 3**

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

LOT(S) 14, EXCEPT THAT PART TAKEN FOR WIDENING WOODWARD AVENUE OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

ADDRESS: 394 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-014

February 24, 2021

Richard D. Rattner  
[rdr@wwrplaw.com](mailto:rdr@wwrplaw.com)

***Hand-Delivered***

Planning Board  
City Commission  
City of Birmingham  
151 Martin St.  
Birmingham, MI 48012

***Re: Application for Zoning Map and Ordinance Change ("Application") for Property at 300 and 394 S. Old Woodward and 294 E. Brown Street, Birmingham, Michigan ("Subject Property") submitted by RH, Inc. ("Applicant")***

Dear Members of the Planning Board and the City Commission:

This letter supports the above-referenced Application for Zoning Map or Ordinance Change of the Subject Property. The Applicant requests two amendments:

- (i) to change the zoning district of the Subject Property from B2/D3 Overlay to B2/D4 Overlay; and
- (ii) to modify the Economic Development License map at Appendix C, Exhibit 1 of the Zoning Ordinance to include the Subject Property.

**Executive Summary -- The Subject Property**

The Birmingham Zoning Ordinance ("Zoning Ordinance") at Sec. 1.04 provides that the purpose of the Zoning Ordinance is to "...guide the growth and development of the City in accordance with the goals, objectives and strategies stated within the Birmingham Master Plan ("Birmingham Plan"), and Downtown Birmingham 2016 Plan ("2016 Plan")." The Downtown Birmingham 2016 Plan (1996) reveals both requests to rezone the Subject Property to B2/D4 and to put the Subject Property into the Economic Development License zone meet the spirit and intent of the ordinance as well as the 2016 Plan. The zoning amendments will permit the Applicant to develop the Subject Property into a one of the most exciting and successful home furnishing retail galleries in the country, complete with a fourth-floor restaurant. The entire site will be occupied by the RH home line design gallery and fourth-floor restaurant. The proposed



building will be a perfect complement to the Daxton Hotel across Brown Street to the north, and thus activate the southwest corner of Brown Street, further extending the central business district to the south.

The 2016 Plan, at p. 181, in the Downtown Birmingham “Vision Statement” specifically states that future plans should “[s]trengthen the spatial and architectural character of the downtown area and ensure buildings are compatible, in mass and scale, with their immediate surroundings and the downtown’s traditional two and four-story buildings.” The rezoning of the Subject Property to B2/D4 allows a four-story building of a similar mass and complimentary architecture to the landmark building on the north side of Brown Street, the new Daxton Hotel. The rezoning to D4 and the inclusion of the site into the Economic Development License zone will also permit the Subject Property to be developed into a stand-alone retail space on a size that Birmingham has not enjoyed since the days of Jacobson’s and Crowley’s, with the addition of a first class restaurant. This reinforces the identifiable Downtown and brings a mix of uses, including retail and commercial, consistent with the goals of the 2016 Plan.

The Vision Statement also provides one goal of the 2016 Plan, to “[e]ncourage first floor retail businesses, services, and other activities which are required for everyday living.” The Applicant plans to use the Subject Property for one of its exemplary home design and furniture retail stores, goods everyone touches daily. Floors one through three of the new building will be dedicated to the retail use, while the fourth floor will offer food and beverage service. Another “vision” of the 2016 Plan is to “[e]nsure the economic vitality of the downtown business community” and to “[b]e designed for safety, comfort, convenience, and enjoyment of pedestrians, rather than vehicular traffic.” The Applicant’s stand-alone retail store will be a destination for home interior shoppers, thereby drawing people into Downtown and adding to Downtown’s economic vitality. This retail store will be like no other in Birmingham with a pedestrian-friendly retail concept designed for people to enjoy a glass of wine (or beverage of choice) while leisurely strolling through the retail galleries.

In summary, RH’s use not only complies with the Vision Statement of the 2016 Plan but has the distinct advantage of creating a new and modern shopping destination with a mix of retail and restaurant uses unique to this area, while at the same time it will extend the central business district of Downtown by the addition of an architecturally complementary building.

#### **Subject Property and District Intent of the D4 Downtown Overlay**

The Downtown Overlay District identifies four purposes underpinning the planning of the district. These four purposes further enhance the goals, objectives and strategies stated within the Downtown Birmingham Overlay District Ordinance at Section 3.01.

**Section 301 A -Encourage and direct development within the boundaries of the Downtown Overlay District and implement the Downtown Birmingham 2016 Plan**

The Subject Property is in the area identified as “Retail 1” in the 2016 Plan. Two of the three recommendations for the Retail 1 area made by the 2016 Plan directly pertain to the Subject Property: (i) to enlarge the central business district by merging it with South Old Woodward; and (ii) to connect all areas to each other by reducing apparent and actual physical barriers, by connecting discontinuous retail frontages, and, in some case, by installing recommended streetscape and signage improvements. The Applicant’s proposed mixed-use retail/restaurant building satisfies the purpose of direct development in the Downtown Overlay. It also will enlarge the central business district south of Brown Street, as the Subject Property and the proposed new building will front South Old Woodward and encompass the area between Brown and Daines. The Applicant plans a four-story building to satisfy all design requirements of the D4 zone of the Downtown Overlay. It will replace a block currently occupied by single-story buildings and a surface parking lot facing South Old Woodward. Hence, the new development will provide a continuous and harmonious streetscape of retail frontages on the west side of South Old Woodward between Brown and Daines.

**Section 3.01 B -Encourage a form of development that will achieve the physical qualities necessary to maintain and enhance the economic vitality of Downtown Birmingham and to maintain the desired character of the City as stated in the Downtown Birmingham 2016 Plan**

The form of development proposed by the Applicant is for a four-story mixed-use retail/restaurant building with a 30-car underground garage, designed in accordance with the D4 zone. The physical qualities of the building will enhance the economic vitality of Downtown by adding a unique stand-alone retail/restaurant business of a size not enjoyed in Birmingham since the days of Jacobson’s and Crowley’s department stores. The RH gallery will replace one-story office (Lutz Capital offices), Frank’s shoe repair shop, and the Roche Bobois gallery. The desired character of the City stated in the 2016 Plan will be enhanced by development of this impressive new four-story structure that will continue a unified South Old Woodward streetscape south of Brown Street.



**Section 3.01 C -Ensure that new buildings are compatible with their context and the desired character of the city; ensure that all uses relate to the pedestrian; and ensure that retail be safeguarded along specific street frontages**

The Applicant's proposed development of an RH store will be compatible with the context of the neighborhood. Across the street on South Old Woodward is a two-story office building and just south of that is the 10-story Birmingham Place. South of Daines on the west side of South Old Woodward is the three-story Forefront development. To the north of Brown on the west side of South Old Woodward is the five-story Daxton Hotel. The Applicants 4-story retail/restaurant building will be a perfect fit for the area and extend the Downtown Overlay streetscape by replacing single story buildings and surface parking that currently face South Old Woodward. Moreover, the RH shopping retail shopping experience is geared to pedestrian traffic by encouraging people to relax in the retail setting, with a beverage, and to stroll through all the store's galleries. As a destination, the RH will draw shoppers into the central business district and inspire them to continue their stroll through the Downtown shopping area. This mixed-use building is the best type of development for Birmingham. It combines a mixed-use of retail and restaurant. It enhances the streetscape and attracts pedestrian traffic. All of these advantages result in activating South Old Woodward.

**Section 3.01 D - Ensure that new buildings are compatible with and enhance the historic districts which reflect the city's cultural, social, economic, political, and architectural heritage**

While the Subject Property is not in the historic district, the new RH building is a handsome classic design. Its design elements reflect the past, including linear lines similar to the exterior design of the Daxton Hotel, with materials in harmony with development in Downtown Birmingham and a design that references the classic architecture at Cranbrook. The use of the building as a furniture, design retail showcase and restaurant, itself contributes to the City's cultural, social, economic and architectural design heritage.

**Rezoning Amendment – Sec. 7.02 (B)(2)(b)(i)-(iii)**

The Zoning Ordinance at Sec. 7.02 requires that as part of the application for rezoning, the applicant should address certain issues to be considered by the Planning Board and the City Commission. Please consider the following comments with respect to these issues. Both the requested changes from the D3 to the D4 zone and the inclusion of the Property on the Economic Development License map are addressed below.

**7.02(B)(2)(b)(i) - An Explanation of Why the Rezoning is Necessary for the Preservation and Enjoyment of the Rights and Usage Commonly Associated with Property Ownership**

The rezoning of the Subject Property to B2/D4 would result in the preservation and enjoyment of the rights of usage commonly associated with property ownership for the Applicant. This Property is unique in that it sits across Brown Street from the five-story Daxton Hotel and kitty-corner from the 10-story Birmingham Place. However, this Property is currently zoned B2/D3. While a four-story building may be constructed in the D3 zone, the Ordinance mandates the fourth floor to be residential. This area of South Old Woodward has more apartments and condominiums than any other area of Downtown Birmingham. There are residential units in Birmingham Place, the 555 Building, and the Forefront. The Applicant is a retailer seeking four stories of retail operations with food and beverage services on the fourth floor. The rezoning is necessary to preserve the Applicant's enjoyment of its permitted uses of retail and restaurant in the Downtown Overlay District. Both uses are permitted in the Downtown Overlay; note that all restaurants serving alcoholic beverages are subject to a special land use.

Other property owners in the South Old Woodward corridor, including most of those across South Old Woodward south of Brown Street, enjoy the designation of the Economic Development License zone, including those of principally residential buildings and whether the properties face South Old Woodward or Woodward Avenue. Further, the iconic Phoenicia restaurant serves alcoholic beverages in the Subject Property's current D3 zone on the west side of South Old Woodward. Placing the Subject Property in the Economic Development License zone would allow the Applicant to enjoy the same restaurant use with alcoholic beverage service as is enjoyed by many of the neighboring property owners.

**Sec. 7.02(B)(2)(b)(ii) - An Explanation of Why the Existing Zoning Classification is No Longer Appropriate**

After reviewing the 2016 Plan, the existing zoning for the Subject Property should be updated so it is possible to allow a four-story retail development. The RH experience is one of stand-alone buildings in walkable neighborhoods. Destination stores with restaurant amenities are one of the ways retailers like RH continue to thrive. RH offers customers the cultural experience of visiting a gallery. This is good news for cities like Birmingham. Malls draw pedestrian shoppers away from downtown areas while the Applicant's project will bring shoppers into Downtown Birmingham. Additionally, with Birmingham Place and the 555 Building just south of the Subject Property, the streetscape of South Old Woodward in this area of the City is architecturally balanced by the addition of the Applicant's proposed, classically



designed four-story building with a top-floor restaurant, drawing pedestrians off the street to shop and relax in a restaurant setting.

Similarly, the new or returning concept of stand-alone destination retail supports placing the Subject Property in the Economic Development License zone. Current zoning of the Subject Property does not support the RH concept of a destination retail that is a dramatic, economic improvement to the Property, and that offers a first-class dining experience. The RH concept complements the goals of the Birmingham Master Plan and is a benefit to the City. The changes in the zoning requested here will allow this concept to be developed in our City. Hence, the current zoning is no longer appropriate.

**Sec. 7.02(B)(2)(b)(iii) - An Explanation of Why the Proposed Zoning will not be Detrimental to the Surrounding Properties**

The rezoning of this Property to B2/D4 is complimentary to the surrounding properties, rather than detrimental. First, the uses proposed for the building and the D4 zone will allow the Property to accommodate a large, stand-alone, destination retailer. Second, it will bring a unique strolling shopping experience to the nearby residents of Birmingham Place, the 555 Building, and residential neighborhoods, as well as permit a handsome, four story building with underground garage designed to the standards of the D4 zone. Third, it will give new life to the South Old Woodward streetscape between Brown and Daines, while at the same time it will comply with the spirit and intent of the 2016 Plan and the Birmingham Zoning Ordinances.

**Sec. 7.02(B)(5)(a)-(e) – Applicant Satisfies the Required Findings of Fact**

**(a) Applicant meets the objectives of the City’s current master plan and the 2016 Plan.**

As discussed, the proposed RH satisfies the City’s Master Plan and 2016 Plan for the Retail 1 district. The Applicant’s proposed mixed-use retail/restaurant building satisfies the purpose of direct development in the Downtown Overlay. It also will enlarge the central business district south of Brown Street, as the Subject Property and the proposed new building will front South Old Woodward and encompass the area between Brown and Daines. The new RH will offer a unique gallery shopping and dining destination for pedestrian along South Old Woodward, all consistent with the goals of the Master Plan and 2016 Plan.

**(b) The proposed development is consistent with existing uses in the area.**

The Applicant’s proposed mixed-uses of the Subject Property for a retail gallery and restaurant are consistent with existing uses in the area. The Daxton Hotel sits to the north of Brown Street, with a mix of hotel, restaurant and retail uses. Across the street is Birmingham

Place with a mix of office, retail and residential. To the south across Daines is the Forefront, also with a mix of office and residential uses, while the 555 Building further to the south includes restaurant, retail and residential.

**(c) The proposed zoning classification is consistent with those in the general area.**

Rezoning the Subject Property from D3 to D4 is consistent with zoning in the area. The Daxton Hotel is zoned D4, as is the property on the northeast corner of Brown and S. Old Woodward. Birmingham Place is a D5 building, as is the 555 Building. While neighbors on the west side of Old Woodward are zoned D3, the D3 zone similarly permits four story buildings, so the proposed development is not inconsistent with the general zoning in the area and is entirely consistent with the other developments at the corners of Brown and S. Old Woodward.

**(d) The proposed use of the Subject Property is not suitable under existing zoning.**

The Applicant proposes a mixed use of retail and restaurant. Current zoning requires the fourth story to be a residential use. The RH gallery retail concept does not include residential, making current zoning unsuitable and supporting a change in zoning to D4 that does not require fourth-floor residential. In addition, the RH design includes a full-service restaurant that will itself be a welcome amenity to the South Woodward corridor. The change to the Economic Development License map to include the Subject Property is necessary to accommodate the restaurant use.

**(e) The trend of development in the area supports rezoning of the Subject Property to D4.**

As the Planning Board is aware, the Daxton Hotel is a five-story, mixed-use building in the D4 zone, adjacent to the Subject Property across Brown Street to the north. In addition, development is proposed for the property at the northeast corner of Brown and S. Old Woodward for a D4 building. It makes sense for this corner of Brown and Old Woodward also to be developed to the D4 standards, to complete the intersection with a retail building and restaurant in a harmonious and consistent manner. Further, Birmingham Place and the 555 Building add greater structural mass to the South Old Woodward corridor and a D4 development of the Subject Property will provide greater balance to the massing and streetscape of this area of Downtown.

**Conclusion**

The merging of the destination retail experience with the offering of restaurant and liquor services will create something new in the City of Birmingham that will enhance the surrounding properties, not be detrimental to them. Simply stated, it will draw pedestrians to South Old



Woodward which will help to keep the area a healthy and vibrant. With developments such as this, the South Old Woodward area can be more than just an outpost of Downtown Birmingham but will become an exciting, attractive district. The new RH will offer something entirely different: a shopping, strolling, eating and drinking experience. For these reasons, placing the Subject Property in the Economic Development License zone and rezoning the Property to D4 will benefit the surrounding properties.

Respectfully, Applicant requests that the Planning Board recommend to the City Commission: (i) rezone the Property from B2/D3 to B2/D4; and (ii) amend the Economic Development License zone map of Appendix C, Exhibit 1 of the Zoning Ordinance to include the Subject Property, and that the City Commission rezone the Property from B2/D3 to B2/D4 zone of the Downtown Overlay District and amend the Economic Development License zone map of Appendix C, Exhibit 1 of the Zoning Ordinance to include the Subject Property.

Should you have any further questions or comments with regard to the above, please do not hesitate to call. With kind regards, I am,

Very truly yours,

WILLIAMS, WILLIAMS, RATTNER & PLUNKETT, P.C.

By: 

Richard D. Rattner  
Attorney for Applicant



## Special Land Use Permit Application – Economic Development License Planning Division

*Form will not be processed until it is completely filled out.*

### 1. Applicant

Name: RHF&B Michigan, LLC  
Address: 15 Koch Road  
Corte Madera, CA 94925  
Phone Number: (415) 936-9642  
Fax Number: N/A  
Email address: ds@rh.com

### 3. Applicant's Attorney/Contact Person

Name: Dave Stanchak, President  
Address: 15 Koch Road  
Corte Madera, CA 94925  
Phone Number: (415) 936-9642  
Fax Number: N/A  
Email address: ds@rh.com

### 2. Property Owner

Name: See attached Consent Form for each of the 3 property owners  
Address: See Consent Form  
Phone Number: See Consent Form  
Fax Number: See Consent Form  
Email address: See Consent Form

### 4. Project Designer/Developer

Name: Victor Saroki, FAIA  
Address: 430 N. Old Woodward Ave., Fl. 3  
Birmingham, MI 48009  
Phone Number: (248) 258-5707  
Fax Number: N/A  
Email address: vsaroki@sarokiarchitecture.com

### 5. Required Attachments

- I. Two (2) paper copies and one (1) digital copy of all project plans including:
  - i. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject sites property lines;
  - ii. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
  - iii. A certified Land Survey;
  - iv. Interior floor plans;
  - v. A Landscape Plan;
  - vi. A Photometric Plan;
  - vii. Colored elevation drawings for each building elevation;
- II. Specification sheets for all proposed materials, light fixtures and mechanical equipment;
- III. Samples of all proposed materials;
- IV. Photographs of existing conditions on the site including all structures, parking areas, landscaping and adjacent structures;
- V. Current aerial photographs of the site and surrounding properties;
- VI. Warranty Deed, or Consent of Property Owner if the applicant is not the owner;
- VII. Any other data requested by the Planning Board, Planning Department, or other City Departments.

### 6. Project Information

Address/Location of the property: 300-394 S. Old Woodward Ave. & part of 294 E Brown St (Southwest Corner of S. Old Woodward Ave. and E. Brown St.)  
Name of development: RH Birmingham  
Sdwell #: 19-36-204-006; 19-36-204-014; and 19-36-204-021  
Current Use: Office and Retail  
Proposed Use: Retail and Restaurant  
Area of Site in Acres: .46 Acres  
Current zoning: B2 General Business/D3 Overlay  
Is the property located in the floodplain? No  
Name of Historic District Site is Located in: N/A  
Date of Historic District Commission Approval: N/A

Date of Application for Preliminary Site Plan: 02/19/21  
Date of Preliminary Site Plan Approval:  
Date of Application for Final Site Plan:  
Date of Final Site Plan Approval:  
Date of Application for Revised Final Site Plan:  
Date of Revised Final Site Plan Approval:  
Date of Design Review Board Approval:  
Is there a current SLUP in effect for this site? No  
Date of Application for SLUP: 02/24/21  
Date of SLUP Approval:  
Date of Last SLUP Amendment:

## 7. Details of the Proposed Development (attach separate sheet if necessary)

Commanding four levels and over 49,810 interior and exterior square feet, this innovative retail concept features artistic installations of home furnishings in a gallery setting, showcasing RH Interiors, RH Modern, and RH Outdoors. RH's seamlessly integrated culinary offering, the RH rooftop restaurant highlights an ingredient-driven menu. RH Birmingham will also include an interactive design atelier offering professional design services in a studio environment and a rooftop park. A SLUP is required for alcoholic beverage service for on-site consumption in the B2 Zone.

## 8. Buildings and Structures

Number of Buildings on Site: 1  
Height of Buildings & # of Stories: 67 feet / 4 levels above grade

Use of Buildings: Retail and Restaurant  
Height of Rooftop Mechanical Equipment: 69 feet

## 9. Floor Use and Area (in Square Feet)

### Structures:

Restaurant Space: 3,500 square feet (not including kitchen & back of house)  
Office Space: N/A  
Retail Space: 43,088 square feet

Number of Residential Units: N/A  
Rental or Condominium? N/A  
Total Floor Area: 49,810 square feet

## 10. Proposed Restaurant Operation

Number of Indoor Seats: +/- 128 (subject to change)  
Number of Outdoor Seats: +/- 42 (subject to change)  
Entertainment Proposed: N/A  
Previous LCC Complaints? None  
Number of Tables along Street Façade: None  
Type of Cuisine: See attached menu

Bar Area? TBD  
Number of Seats at Bar: None  
Full Service Kitchen? Yes  
Percentage of Glazing Proposed: TBD  
Years of Experience in Birmingham: 0  
Years of Experience Outside Birmingham:

## 11. Proposed Setbacks

Required Front Setback: 0 feet  
Required Rear Setback: 0 feet  
Required Total Side Setback: Not Required

Proposed Front Setback: 0 feet  
Proposed Rear Setback: 10.5 feet  
Proposed Total Side Setback: 20 feet

## 12. Outdoor Dining Facility

Location (sidewalk right-of-way or on-street parking space): Rooftop  
Hours of Operation:   
Width of unobstructed sidewalk between door and café? (5 ft. required): N/A  
Platform Proposed: N/A  
Trash Receptacles: See Plan Drawings

Number of Tables/Chairs: 14 patio tables/no chairs  
Material of Tables/Chairs: RH Furniture  
Tables Umbrellas Height & Material:   
Number and Location of Parking Spaces Utilized: 24  
Below grade parking spaces  
Screenwall Material: See Plan Drawings  
Enclosure Material: See Plan Drawings

## 13. Required and Proposed Parking

Required number of parking spaces: N/A  
Location of parking on site: Below Grade for 24 vehicles  
Screenwall material: N/A

Shared Parking Agreement? N/A  
Location of parking off site: Street  
Height of screenwall: N/A

## 14. Landscaping

Location of landscape areas: Street trees along S. Old Woodward Ave. and E. Brown Street. New landscape plantings between streetscape and outdoor terrace along Daines Street. Trees and plantings on rooftop terrace.

Proposed landscape material: See Landscape Plan

## 15. Streetscape

Sidewalk width: 7.5 feet to 14 feet wide  
Number of benches: 3 (2 proposed / 1 existing)  
Number of planters: 6 (along S. Old Woodward Ave.)  
Number of existing street trees: 6  
Number of proposed street trees: 9  
Streetscape plan submitted? Yes

Description of benches or planters: Per City Specifications

Species of existing trees: See Landscape Plan

Species of proposed trees: See Landscape Plan

## 16. Loading

Required number of loading spaces: 1  
Typical angle of loading spaces: 90 degrees  
Screenwall material: N/A  
Location of loading spaces on site: Parking Garage Ramp

Proposed number of loading spaces: 1

Typical size of loading spaces: 12 feet wide x 40 feet long x 14 feet high

Height of screenwall: N/A

Typical time loading spaces are used: Early Morning

## 17. Exterior Waste Receptacles

Required number of waste receptacles: 2 part of streetscape-no exterior dumpster  
Location of waste receptacles: 1 on Brown Street and 1 on Daines Street  
Screenwall material: N/A

Proposed number of waste receptacles: 2

Size of waste receptacles: Per City Specifications

Height of screenwall: N/A - no exterior dumpster

## 18. Mechanical Equipment

### Utilities and Transformers:

Number of ground mounted transformers: 1  
Size of transformers (L•W•H): 4 feet x 4 feet (exact size TBD)  
Number of utility easements: N/A  
Screenwall material: See Plan Drawings

Location of all utilities & easements:

Height of screenwall: TBD

### Ground Mounted Mechanical Equipment:

Number of ground mounted units: 0  
Size of ground mounted units (L•W•H): N/A  
Screenwall material: See Landscape Plan

Location of all ground mounted units: Southeast corner

Height of screenwall: See Landscape Plan

### Rooftop Mechanical Equipment:

Number of rooftop units: 2  
Type of rooftop units: 1 MAU and 1 VRF Condensing Unit  
Screenwall material: Stucco  
Location of screenwall: Fourth Floor Mechanical Well

Location of all rooftop units: Fourth Floor Mechanical Well

Size of rooftop units (L•W•H): TBD

Percentage of rooftop covered by mechanical units: Approx. 15%

Height of screenwall: 12 feet

Distance from rooftop units to all screenwalls: TBD

## 19. Accessory Buildings

Number of accessory buildings: N/A  
Location of accessory buildings: N/A

Size of accessory buildings: N/A

Height of accessory buildings: N/A

## 20. Building Lighting

Number of light standards on building: See Photometric Plan  
Size of light fixtures (L•W•H): Varies (See Photometric Plan)  
Maximum wattage per fixture: Varies (See Photometric Plan)  
Light level at each property line: See Photometric Plan

Type of light standards on building: Varies (See Photometric Plan)

Height from grade: Varies (See Photometric Plan)

Proposed wattage per fixture: Varies (See Photometric Plan)

## 21. Site Lighting

Number of light fixtures: See Photometric Plan  
Size of light fixtures (L•W•H): See Photometric Plan  
Maximum wattage per fixture: See Photometric Plan  
Light level at each property line: See Photometric Plan

Type of light fixtures: See Photometric Plan

Height from grade: See Photometric Plan

Proposed wattage per fixture: See Photometric Plan

Holiday tree lighting receptacles: See Photometric Plan

## 22. Adjacent Properties

Number of properties within 200 ft.: 6

### Property #1

Number of buildings on site: 1  
Zoning district: B-4 (D-4 Overlay Zoning District)  
Use type: Hotel  
Square footage of principal building: 99,661 square feet  
Square footage of accessory buildings: N/A  
Number of parking spaces: 2 levels of below grade parking

### Property #2

Number of buildings on site: 1  
Zoning district: B-2B (D-2 Overlay Zoning District)  
Use type: Office and residential condo/rental units  
Square footage of principal building: 60,000 square feet  
Square footage of accessory buildings: N/A  
Number of parking spaces: Below grade parking

### Property #3

Number of buildings on site: 1  
Zoning district: B-2 (D-3 Overlay Zoning District)  
Use type: Office  
Square footage of principal building: 13,290 square feet  
Square footage of accessory buildings: N/A  
Number of parking spaces: 46 surface spaces

### Property #4

Number of buildings on site: 1  
Zoning district: B-2 (D-3 Overlay Zoning District)  
Use type: Restaurant and office  
Square footage of principal building: 8,912 square feet  
Square footage of accessory buildings: N/A  
Number of parking spaces: 0

### Property #5

Number of buildings on site: 1  
Zoning district: B-3 (D-3 Overlay Zoning District)  
Use type: Retail and office  
Square footage of principal building: 79,935 square feet  
Square footage of accessory buildings: N/A  
Number of parking spaces: Parking below on grade (within building)

### Property #6

Number of buildings on site: 1  
Zoning district: B-4 (D-4 Overlay Zoning District)  
Use type: Retail and Office  
Square footage of principal building: 69,222 square feet  
Square footage of accessory buildings: N/A  
Number of parking spaces: Below grade parking

Property Description: 298 S. Old Woodward Ave.  
Daxton Hotel - 5-story hotel with ground floor restaurant

North, south, east or west of property? North

Property Description: 400 S. Old Woodward Ave.  
The forefront  
3-story mixed-use building

North, south, east or west of property? South

Property Description: 297 E. Brown Street  
Coldwell Banker Weir Manuel  
2-story office building

North, south, east or west of property? West

Property Description: 325 S. Old Woodward Ave.  
Adachi restaurant and office  
2-story mixed-use building

North, south, east or west of property? East

Property Description: 355 S. Old Woodward Ave.  
2-story mixed-use building

North, south, east or west of property? East

Property Description: 255 S. Old Woodward Ave.  
3-story mixed-use building

North, south, east or west of property? North

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_

Print Name: See attached consent form for each of the (3) property owners

Signature of Applicant:  \_\_\_\_\_ Date: 2.24.21

Print Name: Dave Stanchak, President

Signature of Architect:  \_\_\_\_\_ Date: 2.24.21

Print Name: Victor Saroki

*Office Use Only*

Application #: \_\_\_\_\_ Date Received: \_\_\_\_\_ Fee: \_\_\_\_\_

Date of Approval: \_\_\_\_\_ Date of Denial: \_\_\_\_\_ Accepted by: \_\_\_\_\_





**CONSENT OF PROPERTY OWNER**

Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95  
I, \_\_\_\_\_, OF THE STATE OF Michigan AND  
(Name of Property Owner)  
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 394 S. Old Woodward;  
(Address of Affected Property)
2. That I have read and examined the Application for **SPECIAL LAND USE PERMT-ECONOMIC DEVELOPMENT LICENSE** made to the City of  
Birmingham by: RH F&B Michigan, LLC;  
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95  
**Name of Owner (Printed):** \_\_\_\_\_

**Signature of Owner:** Frank Konjarevich **Date:** 2/24/21



## SPECIAL LAND USE PERMIT APPLICATION CHECKLIST – PLANNING DIVISION

Applicant: RHF&B Michigan, LLC Case #: \_\_\_\_\_ Date: 02/17/21  
Address: 15 Koch Road, Corte Madera, CA 94925 Project: RH Birmingham

All site plans and elevation drawings prepared for approval shall be prepared in accordance with the following specifications and other applicable requirements of the City of Birmingham. If more than one page is used, each page shall be numbered sequentially. All plans must be legible and of sufficient quality to provide for quality reproduction or recording. Plans must be no larger than 24" x 36", and must be folded and stapled together. The address of the site must be clearly noted on all plans and supporting documentation.

### Site Plan for Special Land Use Permit

A full Site Plan detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- ☒ 1. Name and address of applicant and proof of ownership;
- ☒ 2. Name of Development (if applicable);
- ☒ 3. Address of site and legal description of the real estate;
- ☒ 4. Name and address of the land surveyor;
- ☒ 5. Legend and notes, including a graphic scale, north point, and date;
- ☒ 6. A separate location map;
- ☒ 7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land;
- ☒ 8. Aerial photographs of the subject site and surrounding properties;
- ☒ 9. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
- ☒ 10. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject sites property lines;
- ☒ 11. Interior floor plans;
- ☒ 12. A chart indicating the dates of any previous approvals by the Planning Board, Board of Zoning Appeals, Design Review Board, or the Historic District Commission ("HDC");

- ☒ 13. Existing and proposed layout of streets, open space and other basic elements of the plan;
- ☒ 14. Existing and proposed utilities and easements and their purpose;
- ☒ 15. Location of natural streams, regulated drains, 100-year flood plains, floodway, water courses, marshes, wooded areas, isolated preserve-able trees, wetlands, historic features, existing structures, dry wells, utility lines, fire hydrants and any other significant feature(s) that may influence the design of the development;
- ☒ 16. General description, location, and types of structures on site;
- ☒ 17. Location of sidewalks, curb cuts, and parking lots on subject site and all sites within 200 ft. of the property line;
- ☒ 18. Details of existing or proposed lighting, signage and other pertinent development features;
- ☒ 19. Elevation drawings showing proposed design;
- ☒ 20. Screening to be utilized in concealing any exposed mechanical or electrical equipment and all trash receptacle areas;
- ☒ 21. Location of all exterior lighting fixtures;
- ☒ 22. A Photometric Plan depicting proposed illuminance levels at all property lines;
- ☒ 23. A Landscape Plan showing all existing and proposed planting and screening materials, including the number, size, and type of plantings proposed and the method of irrigation; and
- ☒ 24. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.

### **Elevation Drawings**

Complete elevation drawings detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- ☒ 25. Color elevation drawings showing the proposed design for each façade of the building;
- ☒ 26. List of all materials to be used for the building, marked on the elevation drawings;
- ☒ 27. Elevation drawings of all screenwalls to be utilized in concealing any exposed mechanical or electrical equipment, trash receptacle areas and parking areas;
- ☒ 28. Details of existing or proposed lighting, signage and other pertinent development features;
- ☒ 29. A list of any requested design changes;
- ☒ 30. Itemized list and specification sheets of all materials, light fixtures and mechanical equipment to be used, including exact size specifications, color, style, and the name of the manufacturer;
- ☒ 31. Location of all exterior lighting fixtures, exact size specifications, color, style and the name of the manufacturer of all fixtures, and a photometric analysis of all exterior lighting fixtures showing light levels to all property lines; and
- ☒ 32. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.

**CONTRACT FOR TRANSFER OF A LIQUOR LICENSE**  
**(ECONOMIC DEVELOPMENT)**

This Contract is entered into this \_\_\_\_ day of \_\_\_\_\_ (month), 2021 (year), by and between RHF&B Michigan, LLC, whose address is 15 Koch Road, Corte Madera, CA 94925, (Licensee) and the **CITY OF BIRMINGHAM**, a Michigan Municipal Corporation, whose address is 151 Martin Street, Birmingham, Michigan 48012 (City).

**R E C I T A L S:**

**WHEREAS**, Licensee wishes to transfer the location of its liquor license from \_\_\_\_\_ to 300-394 S Old Woodward Ave, Birmingham, Michigan (Property); and

**WHEREAS**, local legislative approval is required by the **CITY OF BIRMINGHAM** for the transfer of a \_\_\_\_\_ liquor license pursuant to MCLA §436.1501 of the Michigan Liquor Control Code of 1998; and

**WHEREAS**, Licensee desires to enter into this Contract as an inducement to the **CITY OF BIRMINGHAM** to approve the request of the aforementioned transfer of the liquor license; and,

**WHEREAS**, the **CITY OF BIRMINGHAM** is relying upon this Contract in giving its approval to the transfer of the on-premises licenses as described herein.

**NOW, THEREFORE**, the parties agree as follows:

1. Licensee shall be permitted to transfer the location of its liquor license from \_\_\_\_\_ to the Property. Any transfer of the aforementioned license from the Property to any other location in the CITY OF BIRMINGHAM shall require the approval of the Birmingham City Commission in accordance with Section 10-83. In addition, any expansion of the building location at the Property shall also require the approval of the Birmingham City Commission.
2. Licensee does hereby agree that it shall establish as Economic Development, as defined in Birmingham City Code Chapter 126, Zoning, Article 9, section 9.02, at the Property.
3. Licensee further acknowledges that it must secure a Special Land Use Permit for Economic Development as required by the Birmingham City Code. It is further agreed that it shall comply with all provisions of the Special Land Use Permit, or any amendments thereto, as a condition of this contract. Licensee further acknowledges and agrees that a violation of any provision of the Special Land Use Permit or the Michigan Liquor Control Code is a violation of the terms of the contract entitling the City to exercise any or all of the remedies provided herein.
4. Licensee further agrees that it shall not apply or seek from the Michigan Liquor Control Commission any permit endorsements to its liquor license whether available in the current Michigan Liquor Control Code or in future Michigan Liquor Control Codes, or amendments thereto, without the prior approval of the Birmingham City Commission.
5. Licensee further agrees that it shall not seek any change in its license status/class whether such changes are available now in the current Michigan Liquor Control Code or in future Michigan Liquor Control Codes, or amendments thereto, without prior approval of the Birmingham City Commission.

6. Licensee agrees that it shall adhere to all Federal, State and Local laws currently in effect or as subsequently amended or enacted.

7. Licensee agrees that its failure to follow any of the provisions herein shall be grounds for the Michigan Liquor Control Commission to suspend, revoke or not renew its liquor license and/or for the Birmingham City Commission to revoke the Special Land Use Permit, either of which would prohibit Licensee from operating the Economic Development. Licensee agrees that in addition to the City of Birmingham's right to seek suspension, revocation or non-renewal of its liquor license and/or revocation of the Special Land Use Permit, the City retains any and all rights to enforce this Contract that may be available to it in law or in equity. Licensee further agrees that it shall reimburse the City all of its costs and actual attorney fees incurred by the City in seeking the suspension, revocation or non-renewal of its liquor license and revocation of the Special Land Use Permit, as well as enforcing such other rights as may be available at law and/or in equity.

8. To the fullest extent permitted by law, Licensee and any entity or person for whom Licensee is legally liable, agrees to be responsible for any liability, defend, pay on behalf of, indemnify, and hold harmless the City, its elected and appointed officials, employees and volunteers and others working on behalf of the City against any and all claims, demands, suits, or loss, including all costs connected therewith, including all costs and actual attorney fees, and for any damages which may be asserted, claimed or recovered against or from the City, its elected and appointed officials, employees, volunteers or others working on behalf of the City, by reason of personal injury, including bodily injury, death and/or property damage, including loss of use thereof, which arises out of or is in any way connected or associated with Licensee's operation of a Economic Development at the Property.

9. In the event Licensee fails to reimburse the City the costs and/or attorney fees as required herein, or any part thereof, then said amount could be transferred to the tax roll in accordance with Section 1-14 of the Birmingham City Code.

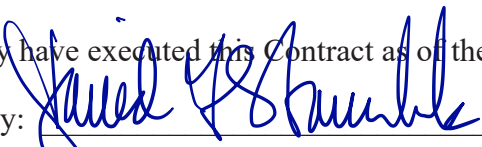
10. Any disputes arising under this Contract, not within the jurisdiction of the Michigan Liquor Control Commission, shall be settled either by commencement of a suit in Oakland County Circuit Court or by compulsory arbitration, at the election of the City. The Licensee shall notify the City of any dispute it has arising out of this Contract and shall demand that the City elect whether the dispute is to be resolved by submitting it to compulsory arbitration or by commencement of a suit in Oakland County Circuit Court. The City shall make its election in writing within thirty (30) days from the receipt of such notice. If the City elects to have the dispute resolved by compulsory arbitration, it shall be settled pursuant to Chapter 50 of the Revised Judicature Act for the State of Michigan, with each of the parties appointing one arbitrator and the two thus appointed appointing a third. In the event the City fails to make such an election, any dispute between the parties may be resolved by the filing of a suit in the Oakland County Circuit Court.

11. This Contract shall be governed by and performed, interpreted and enforced in accordance with the laws of the State of Michigan.

12. If any provision of this contract is declared invalid, illegal or unenforceable, such provision shall be severed from this contract and all other provisions shall remain in full force and effect.

13. This Contract shall be binding upon and apply and inure to the benefit of the parties hereto and their respective successors or assigns. The covenants, conditions, and the agreements herein contained are hereby declared binding on the CITY OF BIRMINGHAM and Licensee. It is further agreed that there shall be no change, modification, or alteration hereof, except in writing, signed by both of the parties hereto. Neither party shall assign any of the rights under this contract without prior approval, in writing, of the other. Any attempt at assignment without prior written consent shall be void and of no effect.

**IN WITNESS WHEREOF**, the parties hereby have executed this Contract as of the date set forth above.

By: 

Its: Dave Stanchak, President

Date: 2.24.21

CITY OF BIRMINGHAM

By: \_\_\_\_\_  
\_\_\_\_\_, Mayor

Date: \_\_\_\_\_

By: \_\_\_\_\_  
\_\_\_\_\_, Clerk

Date: \_\_\_\_\_





## Notice Signs - Rental Application Community Development

### 1. Applicant

Name: RHF&B Michigan, LLC

Address: 15 Koch Road  
Corte Madera, CA 94925

Phone Number: (415) 936-9642

Fax Number: N/A

Email address: ds@rh.com

### Property Owner

Name: See attached Consent Form for each of the 3 property owners

Address: See Consent Form

Phone Number: See Consent Form

Fax Number: N/A

Email address: See Consent Form

### 2. Project Information

Address/Location of Property: 300-394 S. Old Woodward Ave.

Name of Development: RH Birmingham

Area in Acres: .46 acres

Name of Historic District site is in, if any: Not in any historic district

Current Use: Retail and Office

Current Zoning: D-3

### 3. Date of Board Review

Board of Building Trades Appeals: N/A

City Commission: TBD

Historic District Commission: N/A

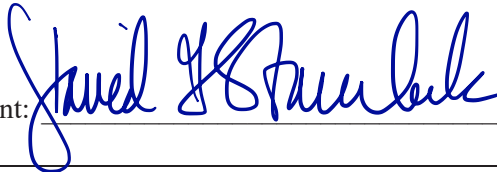
Planning Board: 03/24/21

Board of Zoning Appeals: 300-394 S. Old Woodward Ave.

Design Review Board: N/A

Housing Board of Appeals: N/A

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.

Signature of Applicant: 

Date: 2.24.21

#### Office Use Only

Application #: \_\_\_\_\_ Date Received: \_\_\_\_\_ Fee: \_\_\_\_\_

Date of Approval: \_\_\_\_\_ Date of Denial: \_\_\_\_\_ Reviewed by: \_\_\_\_\_

# RH ROOFTOP RESTAURANT

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## FOR THE TABLE

- ARTISANAL PROSCIUTTO\* Seasonal Fruit, Warm Baguette 24
- DÉLICE DE BOURGOGNE CHEESE Strawberry Preserves, Warm Baguette 19
- PROSCIUTTO AND DÉLICE BOARD\* Seasonal Fruit, Strawberry Preserves, Warm Baguette 43
- SHRIMP COCKTAIL Lemon, Dijonnaise, Cocktail Sauce 25
- CRISPY ARTICHOKE\* Potato, Rosemary, Aioli, Lemon 19
- BURRATA Cherry Tomatoes, Genovese Basil Pesto, Charred Sourdough 23

## SALADS

- GEM LETTUCE Radish, Feta Cheese, Avocado, Buttermilk Herb Dressing 18
- ARUGULA Fennel, Grapes, Sunflower Seeds, Parmigiano-Reggiano, Citrus Vinaigrette 18
- SHAVED VEGETABLES Baby Greens, Pecans, Cider Vinaigrette 19
- KALE CAESAR\* Garlic Sourdough Crumbs, Parmigiano-Reggiano, Classic Caesar Dressing 18

## ENTRÉES

*Served à la carte*

- RH BURGER\* Sharp American, Pickles, Onion, Dijonnaise 20  
*ADD: Avocado 4, Thick Cut Pork Belly Bacon 6*
- SHAVED RIBEYE ON CHARRED GARLIC BREAD\* Emmentaler Swiss Cheese, Cherry Peppers, Au Jus 24
- LOBSTER ROLL Drawn Butter, Mayonnaise, Old Bay 30
- BROILED SALMON\* Honey, Black Pepper, Brown Butter, Lemon 32
- ROASTED HALF CHICKEN\* Garlic Confit, Potato Purée, Natural Jus 34
- 16OZ CHARRED RIBEYE STEAK\* Steak Salt 56

## SIDES

- FRENCH FRIES Garlic Aioli 9
- TRUFFLED FRIES\* Black Truffles, Parmigiano-Reggiano, Parsley, Truffle Aioli 18
- SIMPLE GREEN SALAD Radish, Citrus Vinaigrette 9
- POTATO PURÉE Yukon Gold Potatoes, Chive Butter, Maldon Salt 9
- CHARRED HEIRLOOM BROCCOLINI Lemon, Garlic Confit, Calabrian Chili 11
- WILD MUSHROOMS Garlic, Thyme, Sherry Vinegar 12

\*These items can be cooked to order. Please let us know if you have any allergies or dietary restrictions as not all ingredients are listed.  
Consuming raw or undercooked foods such as meats, poultry, seafood, shellfish, or eggs may increase risk of foodborne illness.  
Individuals with certain underlying health conditions may be at higher risk.

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## RH BELLINI

Prosecco, Peach Purée 15

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## RH MIMOSA

Prosecco, Fresh Squeezed Orange Juice 15

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### WINE BY THE GLASS

#### SPARKLING

BISOL Prosecco, Valdobbiadene, Italy, NV 14/56  
JUVÉ Y CAMPS Cava, Reserva de la Familia, Penedès, Spain 2016 17/68  
NICOLAS FEUILLATTE Brut Rosé, Champagne, France NV 35/140  
DOMAINE CHANDON Brut, Étoile, Carneros, California NV 25/100  
PIERRE SPARR Brut Rosé, Crémant d'Alsace, France NV 16/64  
SCHRAMSBERG Brut Rosé, North Coast, California 2017 22/88  
ROEDERER ESTATE Brut Rosé, Mendocino, California NV 20/80  
PIERRE GIMONNET Cuis 1er Cru, Champagne, France NV 30/120  
PERRIER JOUËT Grand Brut, Champagne, France NV 35/140  
VEUVE CLICQUOT Brut, Yellow Label, Champagne, France NV 32/128

#### WHITE

J&H SELBACH Riesling Kabinett, Mosel, Germany 2016 18/72  
SCARPETTA Pinot Grigio, Friuli, Italy 2019 14/56  
A TO Z Pinot Gris, Oregon 2018 16/64  
ALLAN SCOTT Sauvignon Blanc, Marlborough, New Zealand 2020 15/60  
MICHEL REDDE Sauvignon Blanc, Sancerre, France 2018 25/100  
TWOMEY Sauvignon Blanc, Napa Valley, California 2019 20/80  
DOMAINE FERRET Chardonnay, Pouilly-Fuissé, Burgundy, France 2017 33/132  
AERENA Chardonnay, Sonoma, California 2019 17/68  
CHATEAU MONTELENA Chardonnay, Napa Valley, California 2016 35/140  
HARTFORD COURT Chardonnay, Russian River Valley, Sonoma, California 2018 20/80

### WINE BY THE BOTTLE

#### SPARKLING & WHITE

CHARLES HEIDSIECK Blanc des Millénaires, Champagne, France 2004 300  
DOM PÉRIGNON Champagne, France 2009 320  
DOMAINE LAROCHE Chardonnay, Les Blanchots, Chablis Grand Cru, France 2018 250  
SONOMA-CUTRER Chardonnay, Les Pierres, Sonoma, California 2017 125  
CAKEBREAD CELLARS Chardonnay, Reserve, Carneros, California 2017 155

#### PINOT NOIR

MAISON CHAMPY Le Rognet, Corton Grand Cru, Burgundy France 2016 280  
GARY FARRELL Hallberg Vineyard, Russian River Valley, California 2016 140  
PATZ & HALL Gap's Crown Vineyard, Sonoma Coast, California 2016 150  
ZENA CROWN VINEYARD Slope, Eola-Amity Hills, Willamette Valley, Oregon 2016 160  
KOSTA BROWNE Sonoma Coast, California 2018 210

#### ROSÉ

MIRAVAL Studio, Méditerranée, France 2019 16/64  
PUECH-HAUT Argali, Languedoc, France 2019 18/72  
CHÂTEAU D'ESCLANS Whispering Angel, Côtes de Provence, France 2019 20/80  
ESPRIT GASSIER Côtes de Provence, France 2019 22/88  
LA SPINETTA Il Rosé di Casanova, Tuscany, Italy 2019 14/56  
DAOU Discovery Collection, Paso Robles, California 2019 17/68  
SCRIBE Pinot Noir, Sonoma, California 2019 20/80  
BLACKBIRD VINEYARDS Arriviste, Napa Valley, California 2019 15/60  
DOMAINES OTT Château Romassan, Bandol, France 2019 30/120  
CHÂTEAU D'AQUERIA Tavel, France 2018 19/76

#### RED

LIOCO Pinot Noir, Mendocino County, California 2019 17/68  
GROS VENTRE CELLARS Pinot Noir, North Coast, California 2018 22/88  
BOUCHARD Pinot Noir, Beaune du Château 1er Cru, Burgundy, France 2017 30/120  
CATENA Malbec, Vista Flores, Mendoza, Argentina 2017 15/60  
ANTINORI Cabernet Sauvignon Blend, Il Bruciato, Tuscany, Italy 2018 23/92  
MARQUÉS DE CÁCERES Tempranillo, Reserva, Rioja, Spain 2015 16/64  
HOURGLASS Proprietary Blend, HGIII, Napa Valley, California 2018 20/80  
SILVER OAK Cabernet Sauvignon, Alexander Valley, California 2016 37/148  
DUCKHORN Cabernet Sauvignon, Napa Valley, California 2017 32/128  
CAYMUS-SUISUN Petite Sirah, Grand Durif, Suisun Valley, California 2018 25/100

#### RED VARIETALS

CHÂTEAU DE NALYS Grand Vin, Châteauneuf-du-Pape, France 2017 195  
MICHELE CHIARLO Cerequio, Barolo, Italy 2016 250  
MARCHESI ANTINORI Tignanello, Tuscany, Italy 2017 280  
CHÂTEAU RAUZAN-SÉGLA Grand Cru Classé, Margaux, France 2017 390  
PENFOLDS Shiraz, RWT Bin 798, Barossa Valley, Australia 2017 295

#### CABERNET SAUVIGNON

LAIL VINEYARDS Blueprint, Napa Valley, California 2018 180  
THE MASCOT Napa Valley, California 2014 240  
CAYMUS VINEYARDS Special Selection, Napa Valley, California 2016 350  
SPOTTSWOODE St. Helena, Napa Valley, California 2017 395  
SHAFFER Hillside Select, Stags Leap District, Napa Valley, California 2016 475

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#### COFFEE

Drip 4  
Espresso 4  
Cortado 4.50  
Cappuccino 5.50  
Latte, Chai Latte 7  
Matcha Latte 7  
Hot Chocolate 5  
Cold Brew 6

#### TEA

RH Breakfast 6  
Lord Bergamot 6  
Jasmine / Silver Tip 6  
Meadow Chamomile 6  
Peppermint Leaves 6  
Bai Hao Oolong 6  
Unsweetened Iced Tea 4.50

#### JUICES & SODAS

Pressed Juicery Greens / Roots  
Citrus / Orange Turmeric 11  
Fresh Squeezed  
Lemonade / Orange 6  
Coke / Diet Coke 5  
Fentimans  
Rose Lemonade / Ginger Beer 7

#### BEER

KSA Kölsch 8  
Stizio Italian Pilsner 8  
Villager S.F. IPA 8  
Animal Tropical IPA 8





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Attorneys and Counselors

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Fax: (248) 642-0856

February 24, 2021

Richard D. Rattner  
rdr@wwrplaw.com

City Commission  
Planning Board  
City of Birmingham  
151 Martin Street  
Birmingham, MI 48009  
Attn: Thomas Markus and Jana Ecker

**Re: *Special Land Use Permit Application – Economic Development License (“SLUP-EDL”) for 300 and 394 S. Old Woodward and a portion of 294 E. Brown Street, Birmingham, Michigan (“Subject Property”) submitted by RHFBFB, LLC (“RH” or “Applicant”) and Special Land Use Permit for B2 on-premises consumption of alcoholic beverages for the Subject Property (“SLUP-B2”) submitted by Applicant (the SLUP-EDL and SLUP-B2 are sometimes referred to as the “Applications”)***

Dear Commissioners and Members of the Planning Board:

This letter accompanies the two Applications of the RHFB, LLC for a Special Land Use Permit - Economic Development License and Special Land Use Permit for B2 to operate an establishment with a liquor license to be obtained by Economic Development License in the B2/D4 district. The Applicant is requesting to transfer a liquor license (“License”) into the City pursuant to the Birmingham Code of Ordinances, Section 10-42 and Section 10-62.

This SLUP will allow the exciting new, unique mixed-use RH retail store to have a fourth-floor restaurant with alcoholic beverage sales for on premises consumption. The new RH store will include the first three floors of retail galleries and a top floor restaurant. It will attract Birmingham residents and will be a destination for visitors to the South Old Woodward area of the central business district (“CBD”), consistent with the 2016 Plan for Birmingham. The application for SLUP and all site plan requirements relevant to this presentation are submitted with this letter.

The following outline demonstrates that this new RH gallery store and restaurant fulfills all ordinance and planning requirements for a Special Land Use Permit for an Economic Development Liquor License, as well as the requirements to transfer a license into the city, plus the general requirements for a Special Land Use Permit in the B2 zone.

**I. Requirements for Special Land Use Permit (Section 126, Article 7, Section 7.36(A)(1-6).**

**A. 7.336(A)(1). “The use is consistent with and will promote the intent and purpose of this Zoning Ordinance.”**

A review of the Applicant’s project clearly demonstrates that this newly proposed RH mixed-use gallery retail store and restaurant is consistent with and will promote the intent and purpose of the Zoning Ordinance.

First, with respect to the zoning district, the subject property is zoned B-2, General Business, and the Applicant has applied for a zoning change from D-3 to D-4 in the Downtown Overlay District in order to include a fourth-floor restaurant. The RH stand-alone retail store will be a new four-story structure located on the southwest corner of Brown Street and South Old Woodward Avenue, similar in mass and scale to the Daxton Hotel immediately to the north. The B-2 District specifically permits “alcoholic beverage sales with on premises consumption” pursuant to a special use permit.

Second, Section 7.36(A)(1) provides that a Special Land Use Permit shall be consistent with the “. . . intent and purpose . . .” of the zoning ordinance. The intent and purpose of the zoning ordinance of the City of Birmingham as set forth at Article 1, Section 1.04 of the Zoning Ordinance, is to “. . . guide the growth and development of the City in accordance with the goals, objectives and strategies stated within the Birmingham Master Plan and Downtown Birmingham 2016 Plan.”

**1. Intent and goals of the Downtown Birmingham 2016 Plan (“2016 Plan”).**

This area of the CBD is identified in the 2016 Plan as the “Retail 1” area and is discussed at pages 26-27 of the 2016 Plan (attached for your reference). The RH store/restaurant also is consistent with all the relevant recommendations and fits every one of the relevant bullet points set forth in the “Downtown Birmingham Vision Statement” discussed at page 181 of the 2016 Plan (attached for your reference).

**a. Relevant recommendations of the 2016 Plan for the “Retail 1” South Woodward CBD.**

- i. The first bullet point recommendation set forth at page 26 of the 2016 Plan, recommends that the City “enlarge the CBD shopping district area by merging it with the South Woodward... [area].”**

The new RH, with its first three floors of retail and fourth floor restaurant, will bring



significant patronage to the southern point of the CBD and will serve as a destination for residents and visitors to the City, helping to extend the CBD and pedestrian traffic south of Brown Street along South Old Woodward area.

- ii. The second relevant bullet point recommends that the City “connect all areas to each other by reducing apparent and actual physical barriers, by connecting discontinuous retail frontages, and, in some cases, by installing the recommended streetscape and signage improvements.”

The subject site consists of a single-story office building housing Lutz Capital, a surface parking lot, and the mostly single-story buildings housing Frank’s Shoe Repair and Roche Bobois. These buildings and surface lot were barriers to street-level retail and failed to inspire a pedestrian-friendly activated sidewalk, leaving a pedestrian “dead zone” south of Brown on S. Old Woodward. The new RH and its amenities will combine these frontages into one attractive, pedestrian-friendly structure with street-level retail galleries and a fourth-floor restaurant. The RH restaurant will provide the enjoyable experience of rooftop dining plus offer residents and visitors the unique experience of strolling through design galleries with one’s beverage of choice. The new RH is designed to fully comply with the standards of the B2 zone and Downtown Overlay District.

The presence of RH south of Brown Street will extend the CBD past Brown. The project is consistent with both goals for the Retail 1 area under the 2016 Plan. The RH retail store and restaurant will add economic vitality to the South Old Woodward corridor by serving residents and visitors as a retail destination. There are few eating establishments in this area of the City, as well, and the RH will include the welcome addition of a unique top floor eating establishment. These uses encourage pedestrian traffic, activate the sidewalk, and help to extend and connect the CBD with the South Woodward neighborhood. There is no other business in the CBD like the RH. The last time Birmingham enjoyed this type of retail development was during the days of Jacobson’s department store. RH’s Application encourages redevelopment of the southern CBD, south of Brown Street along the South Woodward corridor area while at the same time satisfies the planning amenities envisioned in the 2016 Plan.

- b. “The Downtown Birmingham Vision Statement” in the 2016 Plan.”

At Page 181 of the 2016 Plan (attached), 17 bullet points are identified as being a summary of the vision for downtown Birmingham. Again, the RH development has the advantage of being consistent with all the relevant bullet points presented in that 2016 Plan.

- i. “Ensure the economic viability of downtown business community.”

The development of the RH store/restaurant at this location continues the revitalization of

economic activity along South Old Woodward past Brown Street. It increases the availability of large shopping venues and restaurant experiences in this part of Downtown, providing amenities to residents and attracting visitors and to Downtown and the South Old Woodward corridor. RH's first floor retail space and sidewalk redesign – in accord with the South Old Woodward reconstruction plan --will extend the walkability of the CBD and provide pedestrian destinations south of Brown Street. A retail establishment the caliber of RH in a walkable cosmopolitan community, with its unique shopping experience of strolling through design galleries with a glass of wine or beverage of choice, cannot be executed without a liquor license.

Furthermore, there is no alternative to Downtown Birmingham for RH in southeastern Michigan for one of its flagship retail stores. RH understands the effects internet shopping has had on large shopping malls. It is transitioning from that uncertain business model to the development of stand-alone stores, with an attractive offering of a unique shopping and dining experience. Downtown Birmingham is a perfect fit for one of RH's select locations. It cannot offer the high-level experience associated with RH, however, without a liquor license and food/beverage service on premises. Birmingham historically has been known as a Downtown shopping destination. The Applicant's new four-story RH promotes and helps grow Downtown Birmingham as a shopping destination.

- ii. "New development should be designed for safety, comfort, convenience and enjoyment of pedestrians, rather than vehicular traffic."

The RH store/restaurant provides a unique experience for both Birmingham residents and visitors of Birmingham alike. The proposed plan includes an underground parking garage for customers and employees, although the Applicant anticipates use of the nearby Pierce Street garage. The building, primarily retail with a fourth-floor restaurant facility is designed to appeal to pedestrians walking from the CBD towards South Woodward. The RH can be accessed by pedestrians without use of a car. All the residents living in or near the south area of the CBD, including residents across Old Woodward at Birmingham Place and the 555 building, as well as across Daines Street at the Forefront and any other nearby residents, will be able to walk to the RH. This pedestrian-friendly location and use is particularly appropriate for the City of Birmingham and the "treasured heritage" of the City as a walkable community. The new, unique and attractive retail space and rooftop restaurant will extend the CBD and support the CBD as an integral part in the lives of Birmingham residents.

The streetscape design includes widened sidewalks with trees and raised planters, placed to enhance the pedestrian experience, as well as pedestrian-level lighting and hanging planters. The design also includes benches, receptacles, and bicycle racks to further encourage multi-modal traffic flow. The main entrance is welcoming and inviting to pedestrians, with large first floor windows and a canopied doorway at the corner of Brown and South Old Woodward.



- iii. “Strengthen the spatial and architectural character of the downtown area and ensure buildings are compatible, in mass and scale, with their immediate surroundings and the downtown’s traditional two- to four-story buildings.”

This new building is designed by the renowned Birmingham architecture firm, Saroki Architecture. The design meets the zoning criteria for the D-4 and Downtown Overlay Districts. The building is a 4-story mixed use building that is consistent with the mass and scale of the surrounding buildings and will complement the architecture of the Daxton Hotel and other buildings in Downtown. The subject site is currently occupied by a one-story office building, a surface parking lot, a shoe repair shop, and a boutique furniture store. The four-story RH building, with its mix of retail and restaurant uses, will significantly strengthen the architectural and spatial character of the current lot and structures.

- iv. “Ensure good land use transitions and structural compatibility in form and mass to the traditional, residential neighborhoods surrounding downtown.”

The location of the RH offers a unique opportunity for development which will be convenient to, and an amenity for, all the residents living in the residential single-family areas surrounding the CBD and South Woodward. One of the visions of the 2016 Plan is to extend the CBD into the South Woodward area to provide services needed by Birmingham residents, and the RH will provide a transition point which will extend the CBD beyond Brown Street into the South Woodward area. The RH is the continuation of such pedestrian-oriented development in this area, like the Daxton, and will bring more foot traffic south of Brown Street into the South Woodward area. The RH will offer these residents uses that will encourage increased social and retail activities in and around the southern area of the CBD.

- v. “Create and reinforce identifiable districts within the downtown to provide a sense of place and a variety of experiences.”

The redevelopment of the South Woodward retail area depends upon the development of new and exciting retail and restaurant uses. The redevelopment of the Subject Property works to increase the identifiability of the South Old Woodward corridor, as well as create and strengthen the Downtown as a shopping destination. Plus, RH will add a new and unique shopping and dining experience while extending the CBD the South Woodward retail area further to the south.

- vi. “Encourage a diverse mix of uses including retail, commercial, entertainment, cultural, civic, and especially residential.”

The RH is the epitome of a mixed-use retail space. It combines high-end, stand-alone retail with a unique top-floor restaurant, creating a unique strolling shopping experience and all built above underground parking in one building.

- vii. “Encourage first floor retail businesses, services, and other activities which are required for everyday living.”

The RH retail space will be located at street level through the third floor. The street level entrance is accessible from the sidewalk at the corner of Brown and Old Woodward, inviting pedestrians and creating the atmosphere and street activation encouraged by the 2016 Plan. The RH building will continue the ambiance of the northern part of the CBD and extend it south of Brown Street.

- viii. “Provide easily accessible, identifiable, and convenient parking in an amount to support downtown density and use.”

The proposed development is located within the Parking Assessment District, so no further on-site parking is required for commercial use. Nonetheless, the Applicant is in a unique position to offer easily accessible parking. The development includes an underground garage that will allow for approximately 30 cars. Further, RH desires to offer a valet service for customers, which will assist to ease any burden on parking. In addition, RH is exploring with the City the possibility of an arrangement for reserved parking spaces in the Pierce Street garage.

The foregoing is a discussion of several of the more relevant bullet points which are set forth in the Downtown Birmingham Vision Statement. As can be seen, the introduction of RH’s restaurant (with alcoholic beverage consumption on premises) in this area complies with the 2016 Plan and its vision for Downtown Birmingham.

- B. 7.36(A)(2).** “The use will be compatible with adjacent uses of land, the natural environment, and the capabilities of the public services and facilities effected by the land use.”

As stated above, the mixed retail/restaurant uses of the RH store is compatible with adjacent uses of land and sets the stage for a more pedestrian-friendly and environmentally conscious streetscape south of Brown Street at the southern extension of the CBD. RH will not present any issues for added public services or facilities for the land use. All existing facilities and services in this area will easily serve the new building.

- C. 7.36(A)(3).** “The use is consistent with public health, safety and welfare of the city.”

The use of an Economic Development liquor license for this exciting new mixed-use retail/restaurant development south of Brown Street is not only consistent with the health, safety and welfare of the community, but because of the services it provides, it is a benefit to the residents of this area and the City at large by adding a large retailer and a unique dining



establishment to the area where few restaurants are located. As stated above, the widened sidewalks, underground parking and proposed valet service are consistent with the health, safety and welfare of the residents of the City. The proposed RH development has been designed to result in no interference with traffic.

**D. 7.36(A)(4).** “The use is in compliance with all other requirements of the zoning ordinance.”

The site plan and building plans presented demonstrate that the new RH building has been designed consistent with the standards of the Downtown Overlay and otherwise complies with the ordinances of the City of Birmingham, in addition to being clearly consistent with the 2016 Plan as set forth in this letter.

**E. 7.36(A)(5).** “The Use Will Not Be Injurious to the Surrounding Neighborhood.”

There is no activity of RH which will be injurious to surrounding neighbors. In fact, this large retail space and top-floor restaurant, will be beneficial to its neighbors. This location is immediately adjacent to other commercial and office uses, including the Daxton Hotel directly to the north, the Forefront to the south, and Birmingham Place across the street. It offers a new retail concept to Downtown Birmingham, plus a new fourth-floor restaurant to which pedestrians can easily walk. It adds to the diversity of the uses in the neighborhood, which presently are dominated by offices, high rise multifamily, and single-story shops, with only two other restaurants south of Brown Street (former Triple Nickel and Phoenicia). Note that the Subject Property does not border on areas zoned single family residential.

**F. 7.36(A)(6).** “The RH establishment is not in violation of any State or Federal Statutes.”

The RH and its restaurant are designed and will be operated in a manner which is intended to comply with all relevant laws and regulations of the local, state, and federal authorities.

## **II. Birmingham City Code**

Two sections of the City Code are relevant to this SLUP proposal.

**A. Sec. 10-61. - Request for transfer of license into city.**

“Persons desiring to transfer a liquor license from outside the city limits into the city limits in excess of the city's quota licenses shall make an application to the city commission and pay the applicable theater liquor license transfer review fee as set forth in appendix A of

this Code. In addition to those items and conditions set forth in section 10-42<sup>1</sup>, the application shall set forth in detail its proposed project, including, but not limited to”:

1. **10-61(1):** “Utilization of said liquor licenses and details on the number of quota liquor licenses in escrow at the time of application.”

Applicant is proposing to transfer an existing license from outside the City of Birmingham under the City’s Economic Development license transfer Ordinance Section 10-62. The Applicant understands there are no quota licenses available to transfer to the Applicant available in the City.

With respect to escrow licenses, the following 6 liquor licenses are in escrow in Birmingham, but to the Applicant’s knowledge they are not available for purchase; they are controlled by landlords or are being transferred to future tenants of the buildings where they are held:

0261553 PEABODY OWNER, LLC  
34965 Woodward Ave., Birmingham, MI 48009-0931

240015 WILLITS CO-LICENSE LLC / MITCHELL'S ENTERTAINMENT, INC.  
115 Willits St., Birmingham, MI 48009-3317

238851 THE PALLADIUM OF BIRMINGHAM, LLC  
201 Hamilton Row, Birmingham, MI 48009-3455

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<sup>1</sup> Section 10-42:

1. **10-42(1):** “An applicant will be given consideration only if he proposes to provide and continues to provide for the service of meals to be consumed on the premises.” The RHFB will have a restaurant that will provide on-premises service to all its customers who desire it.
2. **10-42 (2):** “The location proposed, and methods of operation must not detrimentally and unreasonably impact nearby property owners, businesses and residents.” The location and methods of operation will benefit nearby property owners, businesses, and residents by increasing pedestrian traffic to the South Old Woodward area and extend the CBD south of Brown Street, plus it will provide residents with another unique shopping and dining experience that can be accessed without a car.
3. **10-42 (3):** “All applicable health and safety codes and ordinances, including zoning, must be met.” The Applicant plans to meet all safety codes and ordinances.
4. **10-42 (4):** “Applicants will be required to submit a detailed plan of proposed operation as part of their application for transfer, which shall include a plot plan of the site, a plan for any proposed change in exterior and interior design, lay-out of any proposed change to ancillary facilities and a general operational statements outlining the proposed manner in which the establishment will be operated, including a schedule of the hours of operation, crowd control plans, use of the facility, parking provisions and the estimated cost of any proposed improvements.” Please see the site plan submission made with this Application for Special Land Use Permit – Economic Development License.



233843 CRUSH, LLC /TRIPLE NICKEL  
555 S. Old Woodward Ave., Birmingham, MI 48009-6658

0269104 ESSCO OF BIRMINGHAM, LLC  
250-280 E. Merrill St., Birmingham, MI 48009

0270861 ESSCO OF BIRMINGHAM, LLC  
210 S. Old Woodward, Ste. 100, Birmingham, MI 48009

2. **10-61(2):** “Proposed and/or existing site plan of the property, building floor plan and an operations floor plan.”

Please see the site plan submission made with this application for Special Land Use Permit – Economic Development License.

3. **10-61(3):** “An economic impact analysis.”

There is a significant positive economic impact on the City by the RH project. The City benefits economically by each of the following effects:

- i. Number of permanent new jobs created: 130 new, permanent positions will be created with the opening of the retail (50 employees) and restaurant operations (70 employees).
  - ii. Number of temporary construction and trade jobs: several hundred construction jobs are created by the project during the approximate two-year construction period.
  - iii. Almost all the construction and trade impact will be within 20 to 30 miles of the site.
  - iv. Total investment in the project: approximately \$25 Million Dollars.
  - v. Increase in assessed value for the City: the present assessed values of 300 and 394 S. Old Woodward together are approximately \$1.3 Million Dollars. The Applicant is planning to spend \$25 Million to develop the Subject Property; hence, the proposed project is a substantial economic development under either test set forth in Section 10-61 of the Ordinance.
4. **10-61(4):** “A copy of the special land use permit application and supporting documentation submitted by the applicant.”

Please see the Special Land Use application submitted with this letter.

5. **10-61(5):** “All documentation submitted to the MLCC requesting the transfer.”

Applicant’s MLCC application has been filed with the City Police Department.

6. **10-61(6):** “Full identification and history of the license holder(s) as it pertains to the license proposed to be transferred, including all complaints filed with the state liquor control commission (LCC) or actions taken by any municipality or the LCC to suspend, revoke or deny the non-renewal of said license and all other documentation setting forth the detail of the substantial economic development proposed by the applicant, including the approximate dollar amount of the investment to be made, number of jobs to be created and other benefits to the city. The city deems projects resulting in a 500 percent increase in assessed value post-development over the pre-development assessed value or the parcel and/or projects with an investment of more than \$10,000,000.00, whichever is less, to be substantial. However, special circumstances may warrant flexibility on the minimum investment at the sole discretion of the city commission.”

- a. Applicant has no identification and history pertaining to the license proposed to be transferred, and no complaints or other actions taken by any person or entity to suspend, revoke, deny or denial of renewal of said license.
- b. The applicant is investing approximately \$25 Million Dollars in the design, engineering, approval and construction of the interior (including kitchens) and exterior of this 50,750 square foot retail store and restaurant.
- c. Applicant expects to create approximately 130 permanent jobs, and approximately several hundred construction jobs at the site.

7. **10-61(7):** “Information detailing how the proposed operation will create or sustain development in the city consistent with the master plan.”

See Section I of the Requirements for SLUP contained in this letter.

8. **10-61(8):** “Such other items deemed necessary by city administration.”

The Applicant will provide further items deemed necessary by the City administration.

**B. Sec. 10-62. - Application for transfer of liquor license into the city for economic development purposes.**

“10-62(a) Selection criteria: In addition to the usual factors and criteria used by the city commission for liquor license requests, including those listed in section 10-42<sup>2</sup>, the commission shall consider the following non-exclusive list of criteria to assist in the determination of which of the existing establishment applicants, if any, should be approved”:

1. **10-62(1):** “The applicant's demonstrated ability to finance the proposed project.”

The Applicant is a publicly traded company, and the project is being financed internally.

2. **10-62(2):** “The applicant's track record with the City including responding to City and/or citizen concerns.”

RH and its developers commit to promptly and properly addressing the City’s and citizen’s concerns with all aspects of development. The Applicant intends to promptly respond to all the City and/or citizen concerns.

3. **10-62(3):** “Whether the applicant has an adequate site plan to handle the proposed liquor license activities.”

The attached site plan shows in detail that the restaurant facility is designed by restaurant professionals. There are adequate facilities, including parking, to handle vehicular outcomes of the business as well as the expected pedestrian traffic from the Birmingham residential clientele.

4. **10-62(4):** Whether the applicant has adequate health and sanitary facilities.

All the health and safety facilities at the premises will comply with local, state and federal laws.

5. **10-62(5):** “The establishment’s location in relation to the determined interest in development.”

As set forth above, the development satisfies several goals of the City’s 2016 Plan related to extension of the CBD further south along South Old Woodward. The Subject Property is presently in the D3 Overlay and Applicant is requesting a zoning change to D4. In either case, the Downtown Overlay encourages a three to four-story building at this site where presently there are single story buildings and a surface parking lot. The City has established in its master planning a determined interest in commercial development in the South Old Woodward corridor.

---

<sup>2</sup> Please see a discussion of the 10-42 requirements in Footnote 1.



6. **10-62(6)**: “The extent that cuisine offered by applicant is represented in the city.”

The unique concept of a large retail establishment with fourth floor dining, and the opportunity for strolling through the RH retail galleries with a beverage of choice, does not exist in the City of Birmingham and will be something new to the City.

7. **10-62(7)**: “The percentage of proceeds from the sale of food products as compared to the sale of alcoholic beverages.”

The Applicant predicts that food and beverage sales will be roughly equivalent, while the retail sales will far exceed the revenue generated by the restaurant.

8. **10-62(8)**: “Whether the applicant has outstanding obligation to the city (i.e. property taxes paid, utilities paid, etc.).”

The Applicant has not outstanding obligations to the City of Birmingham.

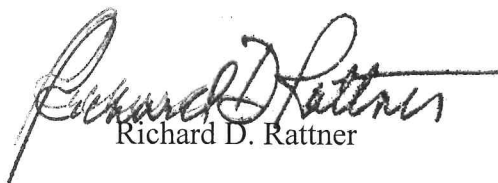
### **III. Conclusion**

The foregoing sections of this letter have concentrated on the zoning ordinances, the Master Plan and 2016 Plan, and the ordinance requirements for Special Land Use Permits and the Economic Development License. This review clearly demonstrates that the RH’s proposed retail establishment and restaurant satisfy the requirements, guidelines, and goals established in the 2016 Plan and City ordinances. The location of the RH in the Retail 1 area, extending the CBD further south, makes this proposal especially attractive, since it will extend pedestrian interest and foot traffic into an area of the Downtown that presently is less activated than other CBD areas. In addition, it will greatly expand the retail and dining choices in the City, especially south of Brown Street, and offer the residents of Birmingham and visitors to the City a truly unique experience in all of Michigan, strengthening Birmingham as a retail destination.

Accordingly, the Applicant respectfully requests the Planning Board to favorably recommend this Application for Special Land Use Permit – Economic Development License to the City Commission, and the Special Land Use Permit for the B2 with the hope that the City Commission will grant the Applicant, RHFB, LLC, a Special Land Use Permit – Economic Development License.

Should you have any further questions or comments regarding any of the above, please do not hesitate to call. With kind regards, I am,

Very truly yours,  
WILLIAMS, WILLIAMS, RATTNER & PLUNKETT, P.C.



Richard D. Rattner

RDR/cmc  
Enclosure-SLUP Application

# Division of Platted Lots Application #1



## Division of Platted Lots Application #1

### Planning Division

*Form will not be processed until it is completely filled out.*

#### 1. Applicant

Name: RH, Inc.  
Address: 15 Koch Road  
Corte Madera, CA 94925  
Phone Number: (415) 936-9642  
Fax Number: N/A  
Email address: ds@rh.com

#### 2. Property Owner

Name: See attached Consent Form for each of the 2 property owners  
Address: See Consent Form  
Phone Number: See Consent Form  
Fax Number: N/A  
Email address: See Consent Form

#### 3. Applicant's Attorney/Contact Person

Name: Richard D. Rattner  
Address: 380 N. Old Woodward Ave., Ste. 300  
Birmingham, MI 48009  
Phone Number: (248) 642-0333  
Fax Number: (248) 642-0856  
Email address: rdr@wwrplaw.com

#### 4. Project Designer/Developer

Name: Victor Saroki, FAIA  
Address: 430 N. Old Woodward Ave., Fl. 3  
Birmingham, MI 48009  
Phone Number: (248) 258-5707  
Fax Number: N/A  
Email address: vsaroki@sarokiarchitecture.com

#### 5. Project Information

Address/Location of Property: 294 E. Brown Street and 300  
S. Old Woodward Ave.  
Sidwell #: 19-36-204-021 and 19-36-204-006  
Parcel #: 19-36-204-021 and 19-36-204-006  
Current Zoning: B2/D3

Legal Description: See attached survey

#### 6. Required Attachments

- I. Two (2) copies of a *registered* land survey showing:
  - i. All existing and proposed platted lot lines;
  - ii. Legal descriptions of proposed lots;
  - iii. Footprints of proposed development(s) including proposed building envelope(s) with front, side and rear setbacks clearly marked;
- II. One (1) digital copy of plans;
- III. Proof of ownership;
- IV. Written statement of reasons for request;
- V. A letter of authority or power of attorney in the event the application is made by a person other than the property owner;
- VI. Sketches of proposed development (*optional*);
- VII. Other data having a direct bearing on the request.
- VIII. Any other data requested by the Planning Board, Planning Department, or other City Departments.

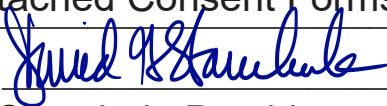
#### 7. Details of the Proposed Development (attach separate sheet if necessary)

Commanding four levels and over 49,810 interior and exterior square feet, this innovative retail concept features artistic installations of home furnishings in a gallery setting, showcasing RH Interiors, RH Modern, and RH Outdoors. RH's seamlessly integrated culinary offering, the RH rooftop restaurant highlights an ingredient-driven menu. RH Birmingham will also include an interactive design atelier offering professional design services in a studio environment and a rooftop park. A SLUP is required for alcoholic beverage service for on-site consumption in the B2 Zone.



(I), (We), the undersigned, do hereby request to divide lots of record in the City of Birmingham, Oakland County, Michigan. (I), (We), do hereby swear that all of the statements, signatures, and descriptions appearing on and with this request are in all respects true and accurate to the best of (my), (our), knowledge.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Property Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
Print Name: See attached Consent Forms  
Signature of Applicant:  \_\_\_\_\_ Date: 2.24.21  
Print Name: Dave Stanchak, President

Office Use Only

Application#: \_\_\_\_\_ Date Received: \_\_\_\_\_ Fee: \_\_\_\_\_  
Date of Approval: \_\_\_\_\_ Date of Denial: \_\_\_\_\_ Reviewed By: \_\_\_\_\_



### CONSENT OF PROPERTY OWNER

Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95  
I, \_\_\_\_\_, OF THE STATE OF Michigan AND  
(Name of Property Owner)  
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 394 S. Old Woodward;  
(Address of Affected Property)
2. That I have read and examined the Application for **DIVISION OF PLATTED LOTS** made to the City of  
Birmingham by: RH, Inc.;  
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95  
Name of Owner (Printed): \_\_\_\_\_

Signature of Owner: Frank Konjarevich Date: 2/24/21



## Notice Signs - Rental Application Community Development

### 1. Applicant

Name: RHF&B Michigan, LLC

Address: 15 Koch Road  
Corte Madera, CA 94925

Phone Number: (415) 936-9642

Fax Number: N/A

Email address: ds@rh.com

### Property Owner

Name: See attached Consent Form for each of the 3 property owners

Address: See Consent Form

Phone Number: See Consent Form

Fax Number: N/A

Email address: See Consent Form

### 2. Project Information

Address/Location of Property: 300-394 S. Old Woodward Ave.

Name of Development: RH Birmingham

Area in Acres: .46 acres

Name of Historic District site is in, if any: Not in any historic district

Current Use: Retail and Office

Current Zoning: D-3

### 3. Date of Board Review

Board of Building Trades Appeals: N/A

City Commission: TBD

Historic District Commission: N/A

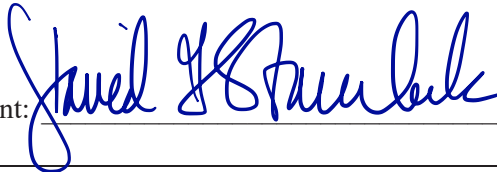
Planning Board: 03/24/21

Board of Zoning Appeals: 300-394 S. Old Woodward Ave.

Design Review Board: N/A

Housing Board of Appeals: N/A

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.

Signature of Applicant: 

Date: 2.24.21

#### Office Use Only

Application #: \_\_\_\_\_ Date Received: \_\_\_\_\_ Fee: \_\_\_\_\_

Date of Approval: \_\_\_\_\_ Date of Denial: \_\_\_\_\_ Reviewed by: \_\_\_\_\_

Exhibit A - Land Division No. 1

PARENT PARCEL

LEGAL DESCRIPTION - PARCELS I & II (PER TITLE COMMITMENT)

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

PARCEL I:  
THE EAST 1/2 OF LOT(S) 11 OF BROWN’S ADDITION TO THE CITY OF BIRMINGHAM AND THE EAST 1/2 OF LOT 16 OF BROWN’S ADDITION NO. 1, IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING THE VACATED WEST 20 FEET OF ANN STREET ADJOINING LOT 11 AND THE VACATED WEST 19 FEET OF ANN STREET ADJOINING LOT 16.

PARCEL II:  
THE WEST 1/2 OF LOT(S) 12 OF BROWN’S ADDITION TO THE VILLAGE (NOW CITY) OF BIRMINGHAM, OF PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST, TOWNSHIP OF BLOOMFIELD (NOW CITY OF BIRMINGHAM), OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, ALSO LOT 15, ADDITION TO WILLIAM BROWN’S ADDITION NO. 1, BEING A PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING VACATED 20 FEET OF ANN STREET, ADJOINING THE WESTERLY SIDE OF LOT 12 AND VACATED 21 FEET OF ANN STREET ADJOINING THE WESTERLY SIDE OF LOT 15.

ADDRESS: 294 E. BROWN STREET, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19–36–204–021

LEGAL DESCRIPTION - PARCEL 2 (PER TITLE COMMITMENT)

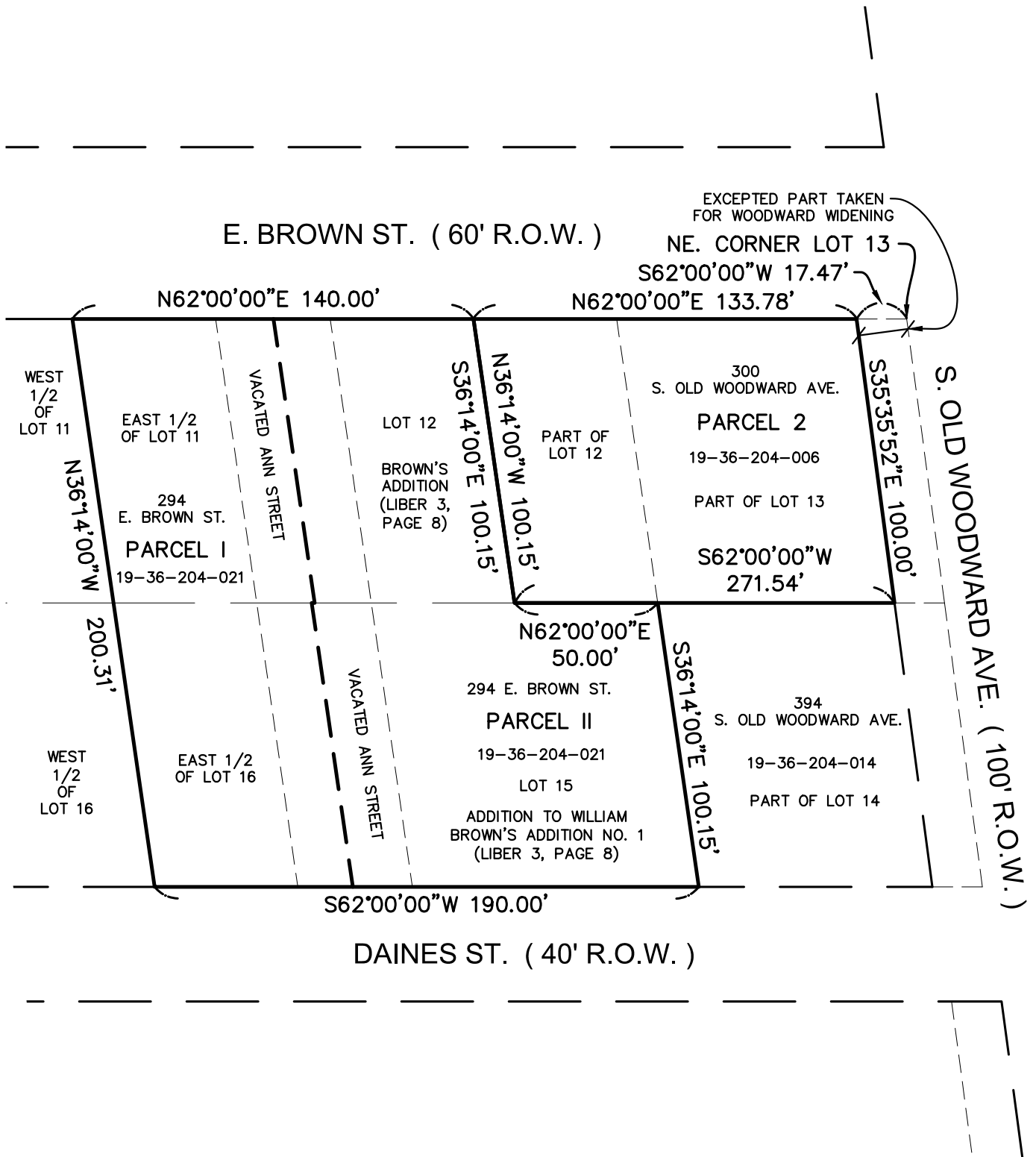
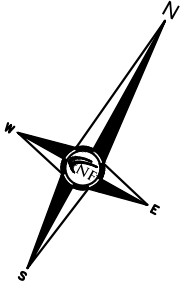
LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

THE EASTERLY 50 FEET OF LOT 12, AND THE WESTERLY PART OF LOT 13, MEASURING 82.45 FEET ON THE NORTH LOT LINE AND 82.48 FEET ON THE SOUTH LOT LINE OF BROWN’S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

ADDRESS: 300 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19–36–204–006

Exhibit A  
PARENT PARCEL



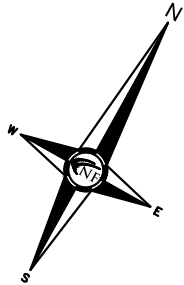
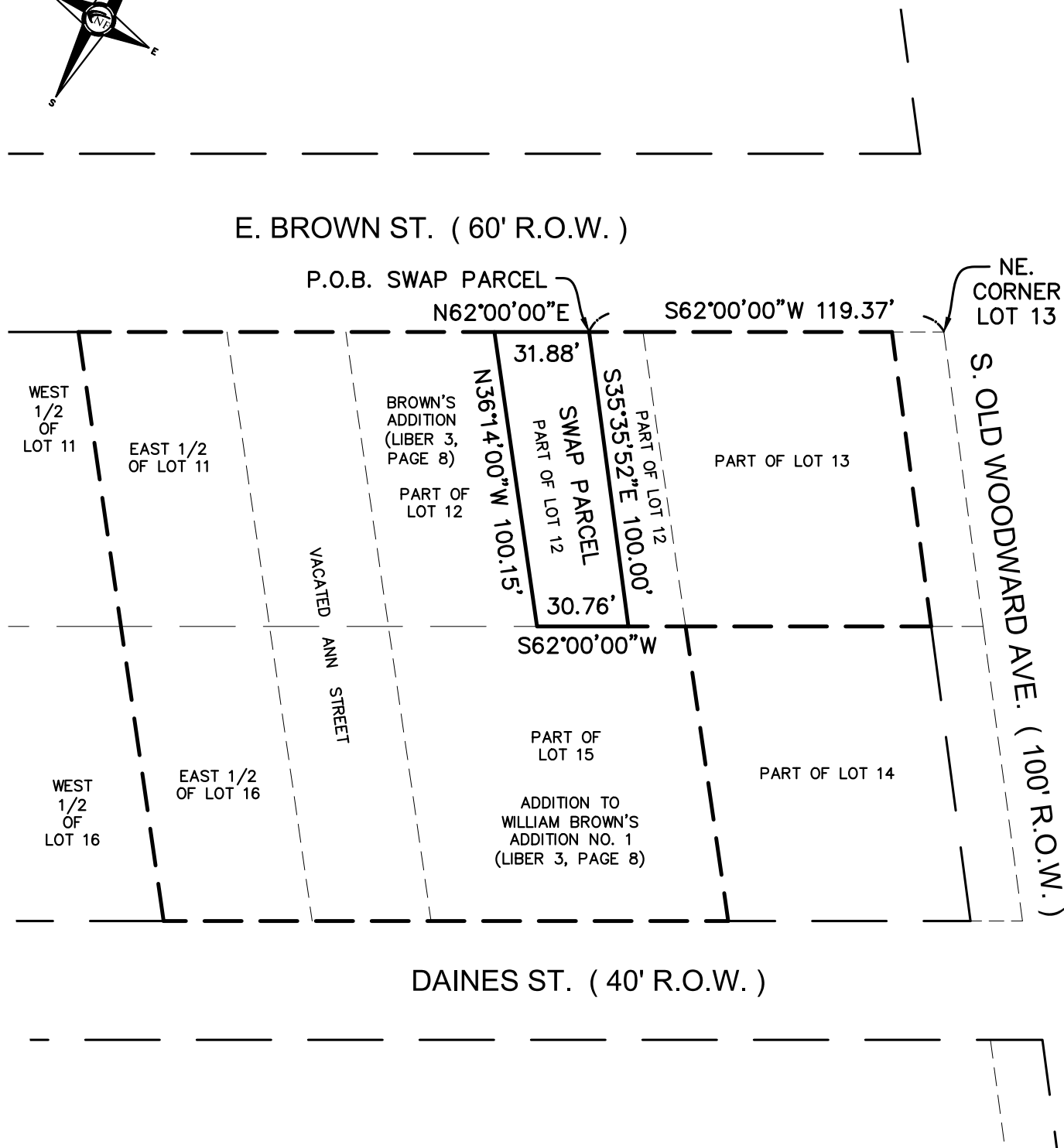


Exhibit A  
SWAP PARCEL



LEGAL DESCRIPTION - SWAP PARCEL

LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI,  
DESCRIBED AS FOLLOWS:

PART OF LOT 12 OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE  
PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND  
COUNTY RECORDS; BEING DESCRIBED AS: BEGINNING AT A POINT DISTANT  
S.62°00'00"W. 119.37 FEET FROM THE NORTHEAST CORNER OF LOT 13 OF  
SAID BROWN'S ADDITION SUBDIVISION; THENCE S.35°35'52"E. 100.00 FEET;  
THENCE S.62°00'00"W. 30.76 FEET; THENCE N.36°14'00"W. 100.15 FEET;  
THENCE N.62°00'00"E. 31.88 FEET TO THE POINT OF BEGINNING.

CONTAINING: 3,104.39 SQUARE FEET OR 0.07 ACRES OF LAND

PART OF TAX ID NUMBER: 19-36-204-006

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
WWW.NFE-ENGR.COM

REVISED  
02-24-2021

SCALE	DATE	DRAWN	JOB NO.	SHEET
1" = 50'	1-28-2021	M.C.	M106	3 of 5



# Exhibit A

## RESULTING PARCEL

### LEGAL DESCRIPTION - PARCEL A

---

LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI,  
DESCRIBED AS FOLLOWS:

THE EAST 1/2 OF LOT 11, PART OF LOT 12 AND ALL OF VACATED ANN STREET ADJACENT THEREOF OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS AND THE EAST 1/2 OF LOT 16, LOT 15 AND ALL OF VACATED ANN STREET ADJACENT THEREOF OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, ALL BEING DESCRIBED AS: BEGINNING AT A POINT DISTANT S.62°00'00"W. 119.37 FEET FROM THE NORTHEAST CORNER OF SAID LOT 13 OF BROWN'S ADDITION SUBDIVISION; THENCE S.35°35'52"E. 100.00 FEET; THENCE N.62°00'00"E. 19.24 FEET; THENCE S.36°14'00"E. 100.15 FEET; THENCE S.62°00'00"W. 190.00 FEET; THENCE N.36°14'00"W. 200.31 FEET; THENCE N.62°00'00"E. 171.88 FEET TO THE POINT OF BEGINNING.

CONTAINING: 35,814.67 SQUARE FEET OR 0.82 ACRES OF LAND

ADDRESS: 294 E. BROWN STREET, BIRMINGHAM, MI 48009

PART OF TAX ID NUMBER: 19-36-204-021

### LEGAL DESCRIPTION - PARCEL B

---

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

PART OF LOTS 12 AND 13, EXCEPT THAT PART TAKEN FOR WIDENING WOODWARD AVENUE OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; BEING MORE PARTICULARLY DESCRIBED AS: BEGINNING AT A POINT DISTANT S.62°00'00"W. 17.47 FEET FROM THE NORTHEAST CORNER OF SAID LOT 13 OF BROWN'S ADDITION SUBDIVISION; THENCE S.35°35'52"E. 100.00 FEET; THENCE S.62°00'00"W. 101.90 FEET; THENCE N.35°35'52"W. 100.00 FEET; THENCE N.62°00'00"E. 101.90 FEET TO THE POINT OF BEGINNING.

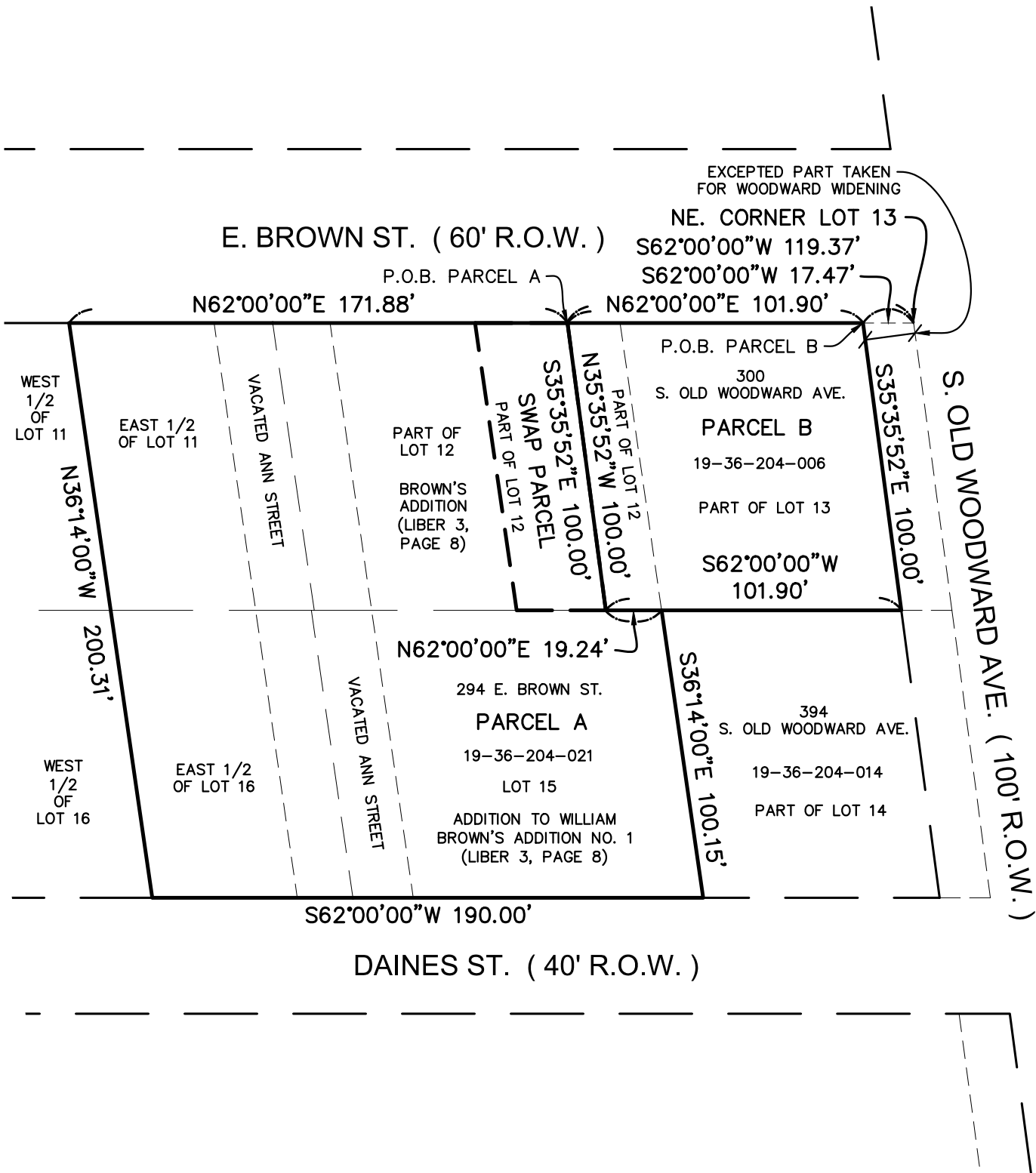
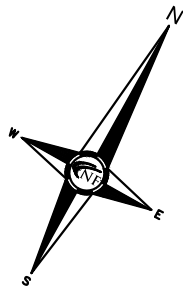
CONTAINING: 10,100.54 SQUARE FEET OR 0.23 ACRES OF LAND

ADDRESS: 300 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

PART OF TAX ID NUMBER: 19-36-204-006

Exhibit A

RESULTING PARCEL





# Division of Platted Lots Application #2



## Division of Platted Lots Application #2 Planning Division

*Form will not be processed until it is completely filled out.*

### 1. Applicant

Name: RH, Inc.  
Address: 15 Koch Road  
Corte Madera, CA 94925  
Phone Number: (415) 936-9642  
Fax Number: N/A  
Email address: ds@rh.com

### 2. Property Owner

Name: See attached Consent Form for each of the 2 property owners  
Address: See Consent Form  
Phone Number: See Consent Form  
Fax Number: N/A  
Email address: See Consent Form

### 3. Applicant's Attorney/Contact Person

Name: Richard D. Rattner  
Address: 380 N. Old Woodward Ave., Ste. 300  
Birmingham, MI 48009  
Phone Number: (248) 642-0333  
Fax Number: (248) 642-0856  
Email address: rdr@wrplaw.com

### 4. Project Designer/Developer

Name: Victor Saroki, FAIA  
Address: 430 N. Old Woodward Ave., Fl. 3  
Birmingham, MI 48009  
Phone Number: (248) 258-5707  
Fax Number: N/A  
Email address: vsaroki@sarokiarchitecture.com

### 5. Project Information

Address/Location of Property: 294 E. Brown Street and 394  
S. Old Woodward Ave.  
Sidwell #: 19-36-204-021 and 19-36-204-014  
Parcel #: 19-36-204-021 and 19-36-204-014  
Current Zoning: B2/D3

Legal Description: See attached survey

### 6. Required Attachments

- I. Two (2) copies of a *registered* land survey showing:
  - i. All existing and proposed platted lot lines;
  - ii. Legal descriptions of proposed lots;
  - iii. Footprints of proposed development(s) including proposed building envelope(s) with front, side and rear setbacks clearly marked;
- II. One (1) digital copy of plans;
- III. Proof of ownership;
- IV. Written statement of reasons for request;
- V. A letter of authority or power of attorney in the event the application is made by a person other than the property owner;
- VI. Sketches of proposed development (*optional*);
- VII. Other data having a direct bearing on the request.
- VIII. Any other data requested by the Planning Board, Planning Department, or other City Departments.

### 7. Details of the Proposed Development (attach separate sheet if necessary)

Commanding four levels and over 49,810 interior and exterior square feet, this innovative retail concept features artistic installations of home furnishings in a gallery setting, showcasing RH Interiors, RH Modern, and RH Outdoors. RH's seamlessly integrated culinary offering, the RH rooftop restaurant highlights an ingredient-driven menu. RH Birmingham will also include an interactive design atelier offering professional design services in a studio environment and a rooftop park. A SLUP is required for alcoholic beverage service for on-site consumption in the B2 Zone.

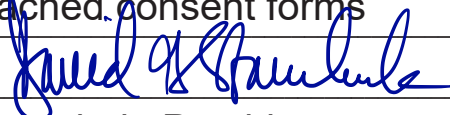


(I), (We), the undersigned, do hereby request to divide lots of record in the City of Birmingham, Oakland County, Michigan. (I), (We), do hereby swear that all of the statements, signatures, and descriptions appearing on and with this request are in all respects true and accurate to the best of (my), (our), knowledge.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Property Owner: \_\_\_\_\_ Date: \_\_\_\_\_

Print Name: See attached consent forms \_\_\_\_\_

Signature of Applicant:  \_\_\_\_\_ Date: 2.24.21

Print Name: Dave Stanchak, President \_\_\_\_\_

Office Use Only

Application#: \_\_\_\_\_ Date Received: \_\_\_\_\_ Fee: \_\_\_\_\_

Date of Approval: \_\_\_\_\_ Date of Denial: \_\_\_\_\_ Reviewed By: \_\_\_\_\_



### CONSENT OF PROPERTY OWNER

Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95  
I, \_\_\_\_\_, OF THE STATE OF Michigan AND  
(Name of Property Owner)  
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 394 S. Old Woodward;  
(Address of Affected Property)
2. That I have read and examined the Application for **DIVISION OF PLATTED LOTS** made to the City of  
Birmingham by: RH, Inc.;  
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95  
Name of Owner (Printed): \_\_\_\_\_

Signature of Owner: Frank Konjarevich Date: 2/24/21





## Notice Signs - Rental Application Community Development

### 1. Applicant

Name: RHF&B Michigan, LLC

Address: 15 Koch Road  
Corte Madera, CA 94925

Phone Number: (415) 936-9642

Fax Number: N/A

Email address: ds@rh.com

### Property Owner

Name: See attached Consent Form for each of the 3 property owners

Address: See Consent Form

Phone Number: See Consent Form

Fax Number: N/A

Email address: See Consent Form

### 2. Project Information

Address/Location of Property: 300-394 S. Old Woodward Ave.

Name of Development: RH Birmingham

Area in Acres: .46 acres

Name of Historic District site is in, if any: Not in any historic district

Current Use: Retail and Office

Current Zoning: D-3

### 3. Date of Board Review

Board of Building Trades Appeals: N/A

City Commission: TBD

Historic District Commission: N/A

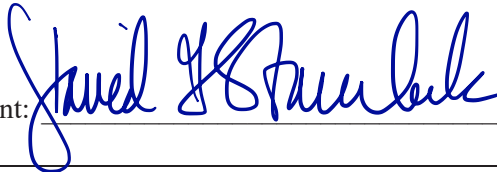
Planning Board: 03/24/21

Board of Zoning Appeals: 300-394 S. Old Woodward Ave.

Design Review Board: N/A

Housing Board of Appeals: N/A

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.

Signature of Applicant: 

Date: 2.24.21

#### Office Use Only

Application #: \_\_\_\_\_ Date Received: \_\_\_\_\_ Fee: \_\_\_\_\_

Date of Approval: \_\_\_\_\_ Date of Denial: \_\_\_\_\_ Reviewed by: \_\_\_\_\_

Exhibit A - Land Division No. 2

PARENT PARCEL

LEGAL DESCRIPTION - PARCEL 1

LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI,  
DESCRIBED AS FOLLOWS:

THE EAST 1/2 OF LOT 11, PART OF LOT 12 AND ALL OF VACATED ANN STREET ADJACENT THEREOF OF BROWN’S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS AND THE EAST 1/2 OF LOT 16, LOT 15 AND ALL OF VACATED ANN STREET ADJACENT THEREOF OF ADDITION TO WILLIAM BROWN’S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, ALL BEING DESCRIBED AS: BEGINNING AT A POINT DISTANT S.62°00’00”W. 119.37 FEET FROM THE NORTHEAST CORNER OF SAID LOT 13 OF BROWN’S ADDITION SUBDIVISION; THENCE S.35°35’52”E. 100.00 FEET; THENCE N.62°00’00”E. 19.24 FEET; THENCE S.36°14’00”E. 100.15 FEET; THENCE S.62°00’00”W. 190.00 FEET; THENCE N.36°14’00”W. 200.31 FEET; THENCE N.62°00’00”E. 171.88 FEET TO THE POINT OF BEGINNING.

ADDRESS: 294 E. BROWN STREET, BIRMINGHAM, MI 48009

PART OF TAX ID NUMBER: 19–36–204–021

LEGAL DESCRIPTION - PARCEL 3 (PER TITLE COMMITMENT)

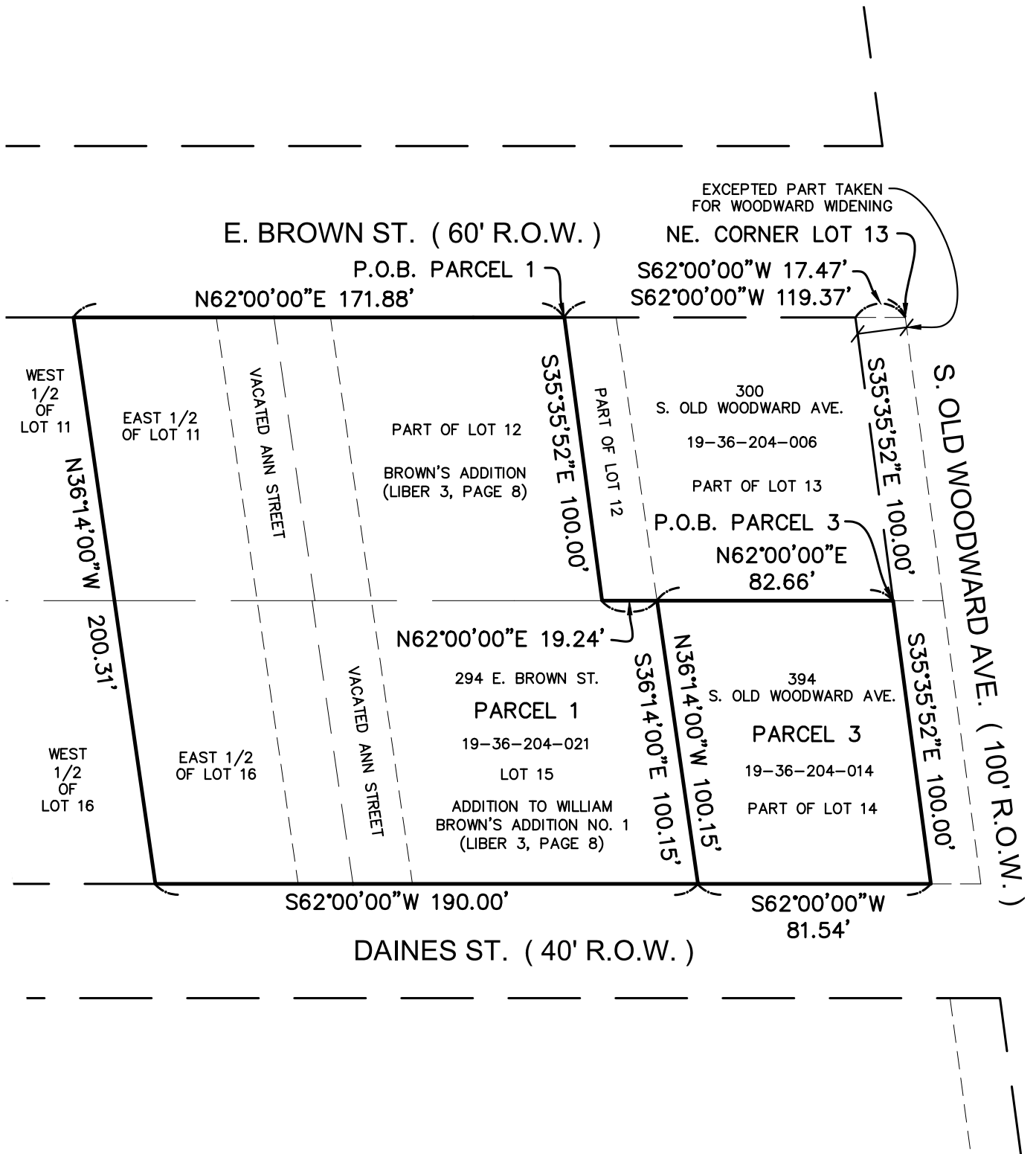
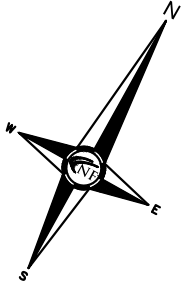
LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

LOT(S) 14, EXCEPT THAT PART TAKEN FOR WIDENING WOODWARD AVENUE OF ADDITION TO WILLIAM BROWN’S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

ADDRESS: 394 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19–36–204–014

Exhibit A  
PARENT PARCEL



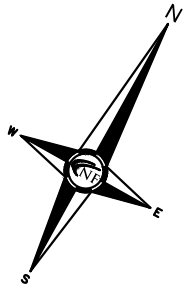
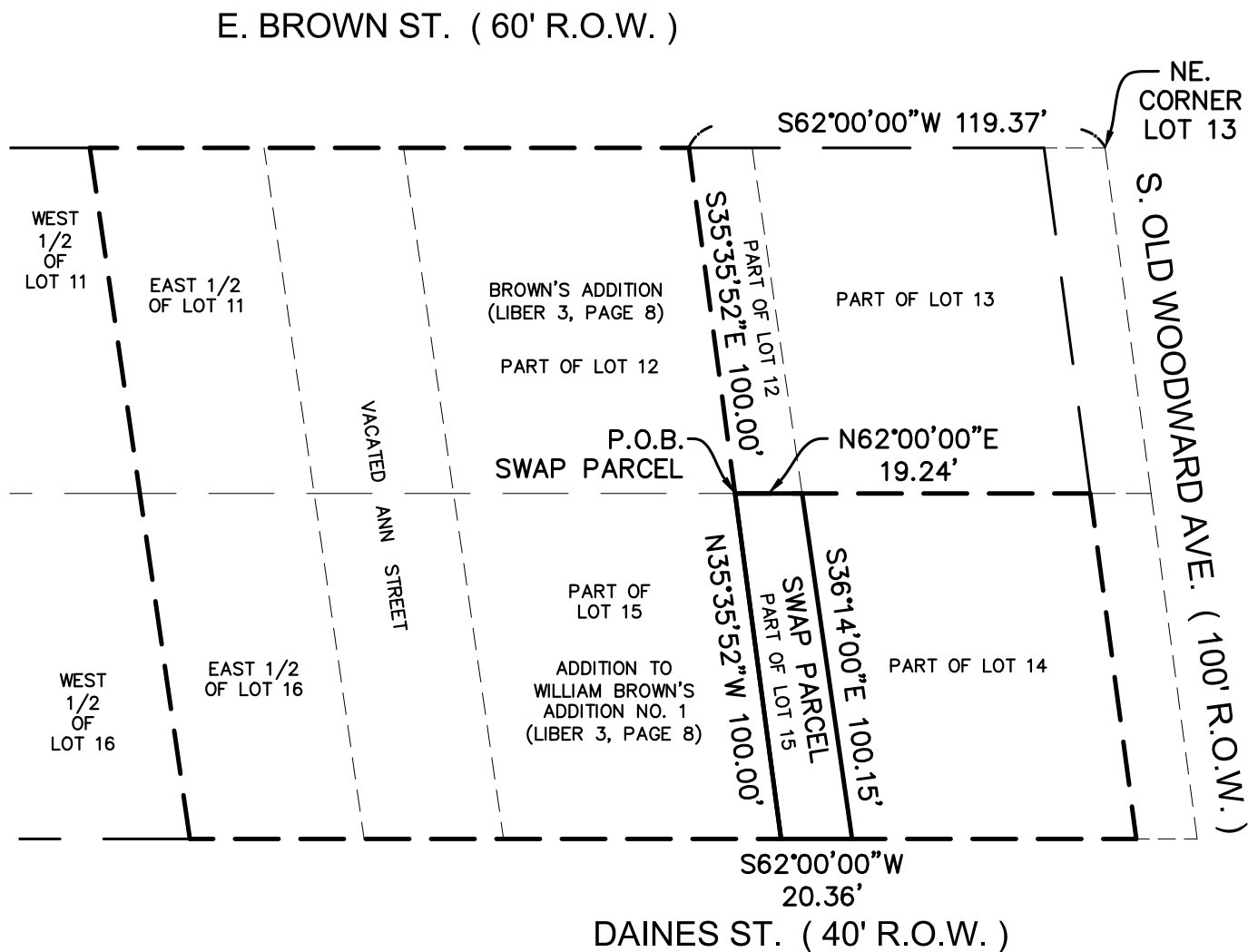


Exhibit A  
SWAP PARCEL



LEGAL DESCRIPTION - SWAP PARCEL

LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI,  
DESCRIBED AS FOLLOWS:

PART OF LOT 15 OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1  
ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE  
8 OF OAKLAND COUNTY RECORDS, BEING DESCRIBED AS: BEGINNING AT A  
POINT DISTANT S.62°00'00"W. 119.37 FEET AND S.35°35'52"E. 100.00 FEET  
FROM THE NORTHEAST CORNER OF LOT 13 OF BROWN'S ADDITION  
SUBDIVISION AS RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND  
COUNTY RECORDS; THENCE N.62°00'00"E. 19.24 FEET; THENCE S.35°14'00"E.  
100.15 FEET; THENCE S.62°00'00"W. 20.36 FEET; THENCE N.35°35'52"W.  
100.00 FEET TO THE POINT OF BEGINNING.

CONTAINING: 1,962.79 SQUARE FEET OR 0.04 ACRES OF LAND

PART OF TAX ID NUMBER: 19-36-204-021

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
WWW.NFE-ENGR.COM

REVISED  
02-24-2021

SCALE	DATE	DRAWN	JOB NO.	SHEET
1" = 50'	1-28-2021	M.C.	M106	3 of 5

# Exhibit A

## RESULTING PARCEL

### LEGAL DESCRIPTION - PARCEL A

LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI,  
DESCRIBED AS FOLLOWS:

THE EAST 1/2 OF LOT 11, PART OF LOT 12 AND ALL OF VACATED ANN STREET ADJACENT THEREOF OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS AND THE EAST 1/2 OF LOT 16, PART OF LOT 15 AND ALL OF VACATED ANN STREET ADJACENT THEREOF OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, ALL BEING DESCRIBED AS: BEGINNING AT A POINT DISTANT S.62°00'00"W. 119.37 FEET FROM THE NORTHEAST CORNER OF SAID LOT 13 OF BROWN'S ADDITION SUBDIVISION; THENCE S.35°35'52"E. 200.00 FEET; THENCE S.62°00'00"W. 169.64 FEET; THENCE N.36°14'00"W. 200.31 FEET; THENCE N.62°00'00"E. 171.88 FEET TO THE POINT OF BEGINNING.

CONTAINING: 33,851.88 SQUARE FEET OR 0.78 ACRES OF LAND

ADDRESS: 294 E. BROWN STREET, BIRMINGHAM, MI 48009

PART OF TAX ID NUMBER: 19-36-204-021

### LEGAL DESCRIPTION - PARCEL B

LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI,  
DESCRIBED AS FOLLOWS:

PART OF LOTS 14 AND 15, EXCEPT THAT PART TAKEN FOR WIDENING WOODWARD AVENUE OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; ALL BEING DESCRIBED AS: BEGINNING AT A POINT DISTANT S.62°00'00"W. 17.47 FEET AND S.35°35'52"E. 100.00 FEET FROM THE NORTHEAST CORNER OF LOT 13 OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; THENCE S.35°35'52"E. 100.00 FEET; THENCE S.62°00'00"W. 101.90 FEET; THENCE N.35°35'52"W. 100.00 FEET; THENCE N.62°00'00"E. 101.90 FEET TO THE POINT OF BEGINNING.

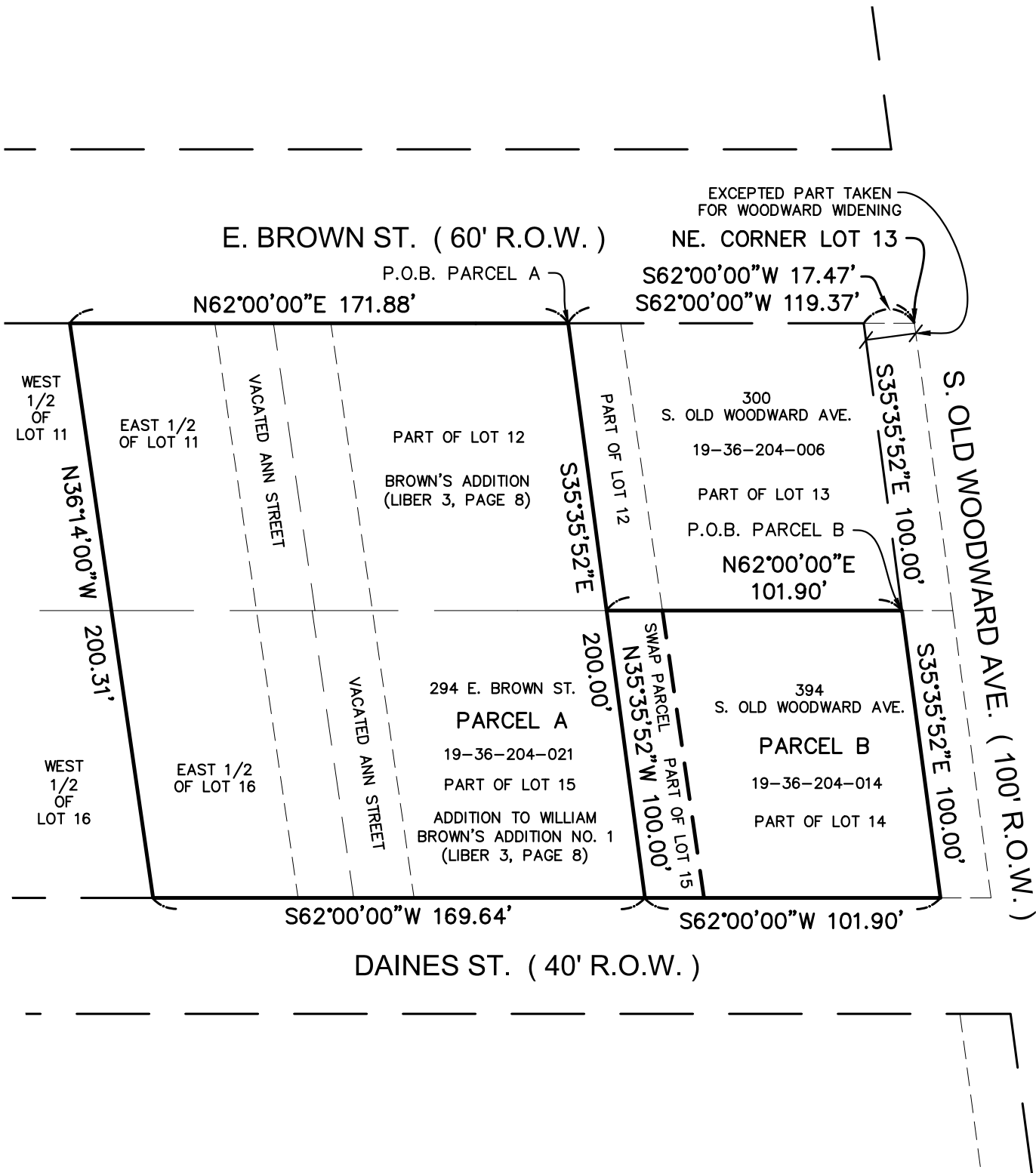
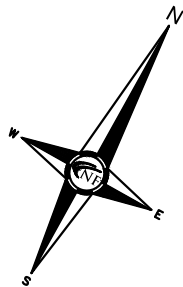
CONTAINING: 10,100.54 SQUARE FEET OR 0.23 ACRES OF LAND

ADDRESS: 394 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

PART OF TAX ID NUMBER: 19-36-204-014

Exhibit A

RESULTING PARCEL









## Combination of Platted Lots Application

### Planning Division

*Form will not be processed until it is completely filled out.*

#### 1. Applicant

Name: RH, Inc.  
Address: 15 Koch Road  
Corte Madera, CA 94925  
Phone Number: (415) 936-9642  
Fax Number: N/A  
Email address: ds@rh.com

#### 2. Property Owner

Name: See attached Consent Form for each of the 3 property owners  
Address: See Consent Form  
Phone Number: See Consent Form  
Fax Number: N/A  
Email address: See Consent Form

#### 3. Applicant's Attorney/Contact Person

Name: Richard D. Rattner  
Address: 380 N. Old Woodward Ave., Ste. 300  
Birmingham, MI 48009  
Phone Number: (248) 642-0333  
Fax Number: (248) 642-0856  
Email address: rdr@wrplaw.com

#### 4. Project Designer/Developer

Name: Victor Saroki, FAIA  
Address: 430 N. Old Woodward Ave., Fl. 3  
Birmingham, MI 48009  
Phone Number: (248) 258-5707  
Fax Number: N/A  
Email address: vsaroki@sarokiarchitecture.com

#### 5. Project Information

Address/Location of Property: 300 & 394 S. Old Woodward Ave. /  
294 E. Brown Street  
Sidwell #: 19-36-204-021, 19-36-204-006 & 19-36-204-014  
Parcel #: 19-36-204-021, 19-36-204-006 & 19-36-204-014  
Current Zoning: B2/D3

Legal Description: See attached survey

#### 6. Required Attachments

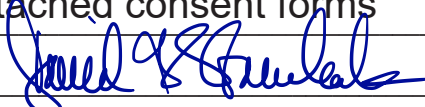
- I. Two (2) copies of a *registered* land survey showing:
  - i. All existing and proposed platted lot lines;
  - ii. Legal descriptions of proposed lots;
  - iii. Locations of existing/surrounding structures for at least 500 ft. in all directions;
  - iv. Footprints of proposed development including proposed building envelope with front, side and rear setbacks clearly marked;
- II. One (1) digital copy of plans;
- III. Proof of ownership;
- IV. Written statement of reasons for request;
- V. A letter of authority or power of attorney in the event the application is made by a person other than the property owner;
- VI. Sketches of proposed development (*optional*);
- VII. Other data having a direct bearing on the request.
- VIII. Any other data requested by the Planning Board, Planning Department, or other City Departments.

#### 7. Details of the Proposed Development (attach separate sheet if necessary)

Commanding four levels and over 49,810 interior and exterior square feet, this innovative retail concept features artistic installations of home furnishings in a gallery setting, showcasing RH Interiors, RH Modern, and RH Outdoors. RH's seamlessly integrated culinary offering, the RH rooftop restaurant highlights an ingredient-driven menu. RH Birmingham will also include an interactive design atelier offering professional design services in a studio environment and a rooftop park. A SLUP is required for alcoholic beverage service for on-site consumption in the B2 Zone.

(I), (We), the undersigned, do hereby request to combine lots of record in the City of Birmingham, Oakland County, Michigan.  
(I), (We), do hereby swear that all of the statements, signatures, and descriptions appearing on and with this request are in all respects true and accurate to the best of (my), (our), knowledge.

*By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.*

Signature of Property Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
Print Name: See attached consent forms  
Signature of Applicant:  \_\_\_\_\_ Date: 2.24.21  
Print Name: Dave Stanchak, President

Office Use Only

Application#: \_\_\_\_\_ Date Received: \_\_\_\_\_ Fee: \_\_\_\_\_  
Date of Approval: \_\_\_\_\_ Date of Denial: \_\_\_\_\_ Reviewed By: \_\_\_\_\_





### CONSENT OF PROPERTY OWNER

Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95  
I, \_\_\_\_\_, OF THE STATE OF Michigan AND  
(Name of Property Owner)  
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 394 S. Od Woodward;  
(Address of Affected Property)
2. That I have read and examined the Application for **COMBINATION OF PLATTED LOTS** made to the City of  
Birmingham by: RH, Inc.;  
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

Frank T. Konjarevich or Lois H. Konjarevich, as Trustees for the Frank T. Konjarevich Rev. Liv. Trust dated 5/22/95  
**Name of Owner (Printed):** \_\_\_\_\_

**Signature of Owner:** Frank Konjarevich **Date:** 2/24/21



## Notice Signs - Rental Application Community Development

### 1. Applicant

Name: RHF&B Michigan, LLC

Address: 15 Koch Road  
Corte Madera, CA 94925

Phone Number: (415) 936-9642

Fax Number: N/A

Email address: ds@rh.com

### Property Owner

Name: See attached Consent Form for each of the 3 property owners

Address: See Consent Form

Phone Number: See Consent Form

Fax Number: N/A

Email address: See Consent Form

### 2. Project Information

Address/Location of Property: 300-394 S. Old Woodward Ave.

Name of Development: RH Birmingham

Area in Acres: .46 acres

Name of Historic District site is in, if any: Not in any historic district

Current Use: Retail and Office

Current Zoning: D-3

### 3. Date of Board Review

Board of Building Trades Appeals: N/A

City Commission: TBD

Historic District Commission: N/A

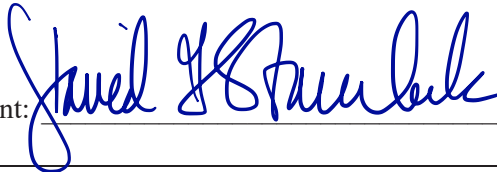
Planning Board: 03/24/21

Board of Zoning Appeals: 300-394 S. Old Woodward Ave.

Design Review Board: N/A

Housing Board of Appeals: N/A

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.

Signature of Applicant: 

Date: 2.24.21

#### Office Use Only

Application #: \_\_\_\_\_ Date Received: \_\_\_\_\_ Fee: \_\_\_\_\_

Date of Approval: \_\_\_\_\_ Date of Denial: \_\_\_\_\_ Reviewed by: \_\_\_\_\_

# Exhibit A

## LAND COMBINATION

### LEGAL DESCRIPTION - PARCEL 2

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

PART OF LOTS 12 AND 13, EXCEPT THAT PART TAKEN FOR WIDENING WOODWARD AVENUE OF BROWN’S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; BEING MORE PARTICULARLY DESCRIBED AS: BEGINNING AT A POINT DISTANT S.62°00’00”W. 17.47 FEET FROM THE NORTHEAST CORNER OF SAID LOT 13 OF BROWN’S ADDITION SUBDIVISION; THENCE S.35°35’52”E. 100.00 FEET; THENCE S.62°00’00”W. 101.90 FEET; THENCE N.35°35’52”W. 100.00 FEET; THENCE N.62°00’00”E. 101.90 FEET TO THE POINT OF BEGINNING.

CONTAINING: 10,100.54 SQUARE FEET OR 0.23 ACRES OF LAND

ADDRESS: 300 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

PART OF TAX ID NUMBER: 19–36–204–006

### LEGAL DESCRIPTION - PARCEL 3

LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

PART OF LOTS 14 AND 15, EXCEPT THAT PART TAKEN FOR WIDENING WOODWARD AVENUE OF ADDITION TO WILLIAM BROWN’S ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; ALL BEING DESCRIBED AS: BEGINNING AT A POINT DISTANT S.62°00’00”W. 17.47 FEET AND S.35°35’52”E. 100.00 FEET FROM THE NORTHEAST CORNER OF LOT 13 OF BROWN’S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; THENCE S.35°35’52”E. 100.00 FEET; THENCE S.62°00’00”W. 101.90 FEET; THENCE N.35°35’52”W. 100.00 FEET; THENCE N.62°00’00”E. 101.90 FEET TO THE POINT OF BEGINNING.

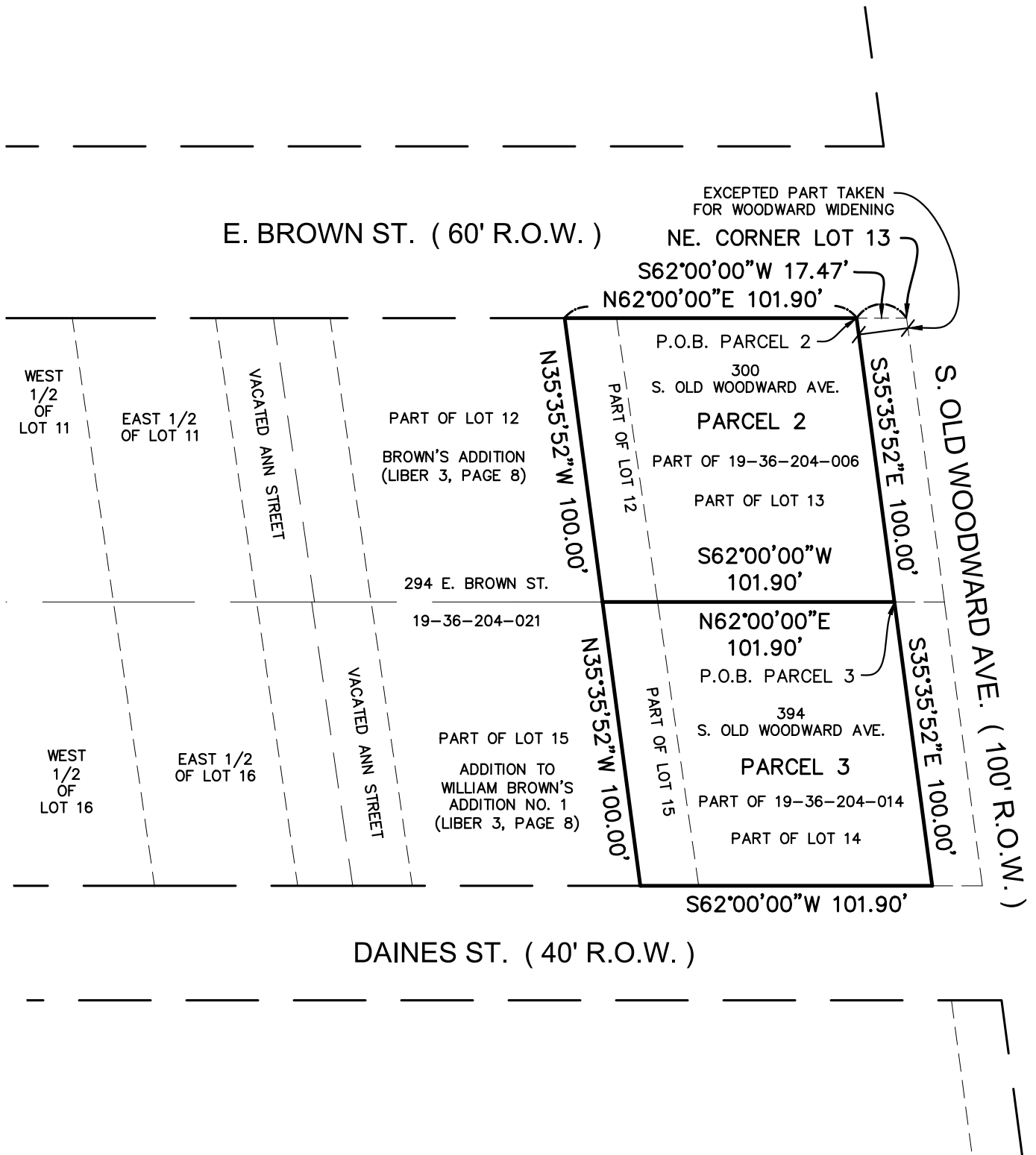
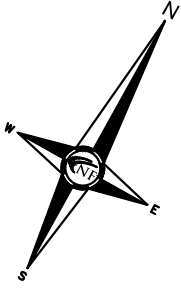
CONTAINING: 10,100.54 SQUARE FEET OR 0.23 ACRES OF LAND

ADDRESS: 394 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

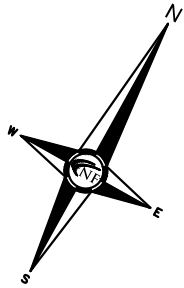
PART OF TAX ID NUMBER: 19–36–204–014



## LAND COMBINATION

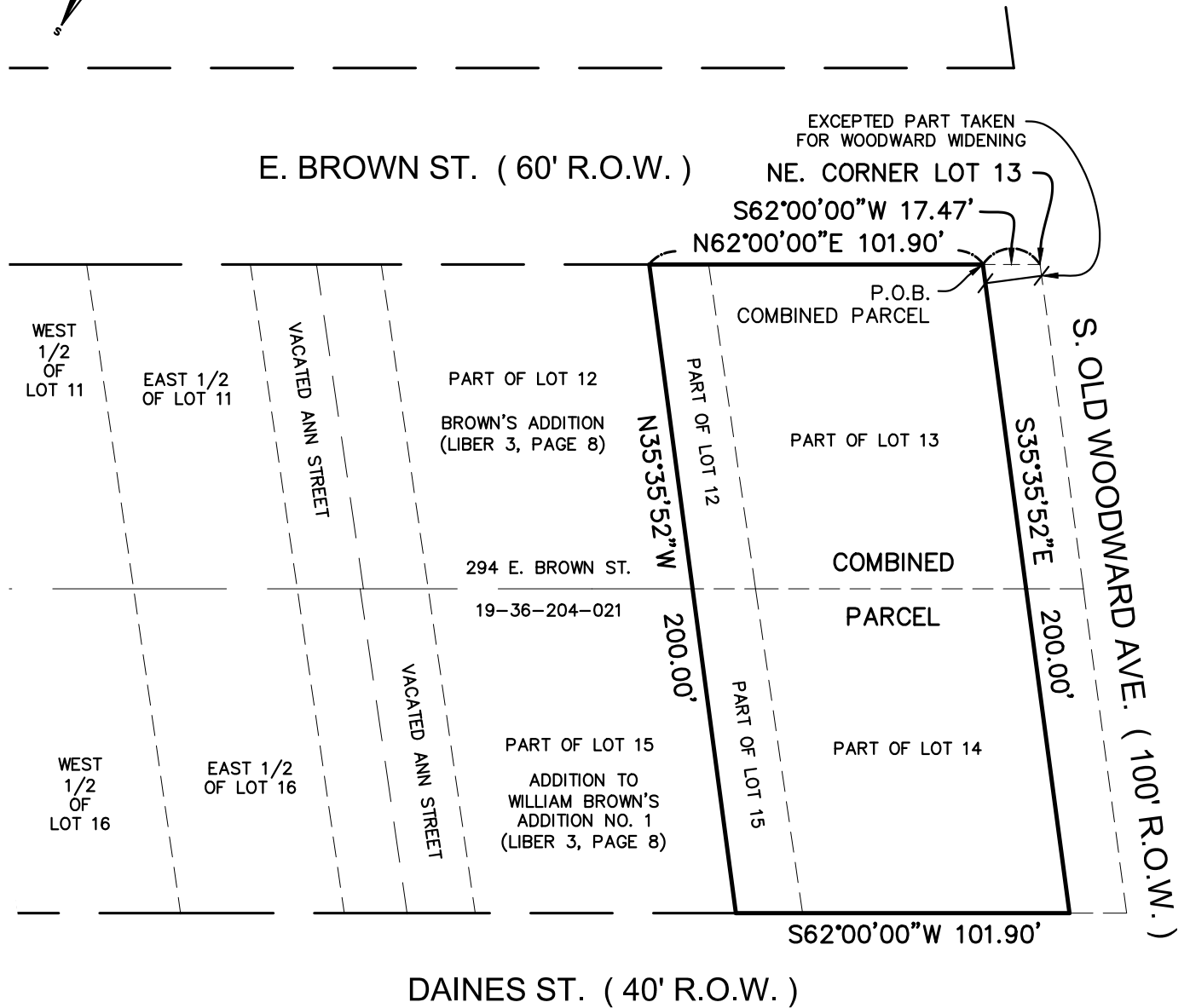


SCALE	DATE	DRAWN	JOB NO.	SHEET
1" = 50'	1-28-2021	M.C.	M106	2 of 3



# Exhibit A

## LAND COMBINATION



### LEGAL DESCRIPTION - COMBINED PARCEL

LAND SITUATED IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI,  
DESCRIBED AS FOLLOWS:

PART OF LOTS 12 AND 13, EXCEPT THAT PART TAKEN FOR WIDENING  
WOODWARD AVENUE OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE  
PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND  
COUNTY RECORDS AND PART OF LOTS 14 AND 15, EXCEPT THAT PART  
TAKEN FOR WIDENING WOODWARD AVENUE OF ADDITION TO WILLIAM BROWN'S  
ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3  
OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS; ALL BEING DESCRIBED  
AS: BEGINNING AT A POINT DISTANT S.62°00'00"W. 17.47 FEET FROM THE  
NORTHEAST CORNER OF SAID LOT 13 OF BROWN'S ADDITION SUBDIVISION;  
THENCE S.35°35'52"E. 200.00 FEET; THENCE S.62°00'00"W. 101.90 FEET;  
THENCE N.35°35'52"W. 200.00 FEET; THENCE N.62°00'00"E. 101.90 FEET TO  
THE POINT OF BEGINNING.

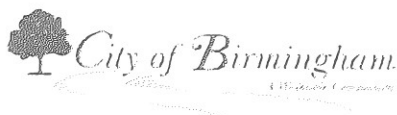
CONTAINING: 20,201.08 SQUARE FEET OR 0.46 ACRES OF LAND

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
WWW.NFE-ENGR.COM

REVISED  
02-24-2021

SCALE	DATE	DRAWN	JOB NO.	SHEET
1" = 50'	1-28-2021	M.C.	M106	3 of 3



**CONSENT OF PROPERTY OWNER**

I, BRB Equities, LLC OF THE STATE OF Michigan AND  
(Name of Property Owner)  
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 300 S. Old Woodward;  
(Address of Affected Property)
2. That I have read and examined the Application for **ZONING MAP CHANGE** made to the City of  
Birmingham by: RH, Inc.;  
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

Name of Owner (Printed): BRB Equities, LLC

Signature of Owner: 

Date: 2/28/2021

**CONSENT OF PROPERTY OWNER**

I, BRB Equities, LLC, OF THE STATE OF Michigan AND  
(Name of Property Owner)  
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 300 S. Old Woodward;  
(Address of Affected Property)

2. That I have read and examined the Application for **SPECIAL LAND USE PERMIT-ECONOMIC DEVELOPMENT PERMIT** made to the City of

Birmingham by: RH F&B Michigan, LLC;  
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

Name of Owner (Printed): BRB Equities, LLC

Signature of Owner: BRB L Date: 2/26/2021



**CONSENT OF PROPERTY OWNER**

I, BRB Equities, LLC, OF THE STATE OF Michigan AND  
(Name of Property Owner)  
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 300 S. Old Woodward;  
(Address of Affected Property)
2. That I have read and examined the Application for **DIVISION OF PLATTED LOTS** made to the City of  
Birmingham by: RH, Inc.;  
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

Name of Owner (Printed): BRB Equities, LLC

Signature of Owner: BRB

Date: 3/24/2021



**CONSENT OF PROPERTY OWNER**

I, BRB Equities, LLC OF THE STATE OF Michigan AND  
(Name of Property Owner)  
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 300 S. Old Woodward;  
(Address of Affected Property)
2. That I have read and examined the Application for **COMBINATION OF PLATTED LOTS** made to the City of  
Birmingham by: RH, Inc.;  
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

Name of Owner (Printed): BRB Equities, LLC

Signature of Owner: 

Date: 2/24/2021