



AGENDA
BIRMINGHAM HISTORIC DISTRICT COMMISSION
WEDNESDAY – DECEMBER 7, 2022
BIRMINGHAM CITY HALL, 151 MARTIN ST., COMMISSION ROOM #205*
******* 7:00 PM*******

The City recommends members of the public wear a mask if they have been exposed to COVID-19 or have a respiratory illness. City staff, City Commission and all board and committee members must wear a mask if they have been exposed to COVID-19 or actively have a respiratory illness. The City continues to provide KN-95 respirators and triple layered masks for attendees.

- 1) Roll Call**
- 2) [Approval of the HDC Minutes of November 16, 2022](#)**
- 3) Courtesy Review**
- 4) Historic Design Review**
 - A. [320 Martin St. – Birmingham Post Office](#)**
- 5) Sign Review**
- 6) Study Session**
 - A. [Historic Design Guidelines – Update](#)**
- 7) Miscellaneous Business and Communication**
 - A. Pre-Application Discussions**
 - B. Draft Agenda**
 - 1. [December 21, 2022](#)**
 - C. Staff Reports**
 - 1. [Administrative Sign Approvals](#)**
 - 2. [Administrative Approvals](#)**
 - 3. [Demolitions](#)**
 - 4. [Action List 2022](#)**
- 8) Adjournment**

*Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall, 151 Martin St., OR may attend virtually at:

Link to Access Virtual Meeting: <https://zoom.us/j/91282479817>
Telephone Meeting Access: 877 853 5247 US Toll-free
Meeting ID Code: 912 8247 9817

Notice: Individuals requiring accommodations, such as interpreter services for effective participation in this meeting should contact the City Clerk's Office at [\(248\) 530-1880](tel:2485301880) at least on day in advance of the public meeting.

Las personas que requieren alojamiento, tales como servicios de interpretación, la participación efectiva en esta reunión deben ponerse en contacto con la Oficina del Secretario Municipal al [\(248\) 530-1880](tel:2485301880) por lo menos el día antes de la reunión pública. (Title VI of the Civil Rights Act of 1964).

A PERSON DESIGNATED WITH THE AUTHORITY TO MAKE DECISIONS MUST BE PRESENT AT THE MEETING.

**Historic District Commission
Minutes Of November 16, 2022**

151 Martin Street, City Commission Room 205, Birmingham, MI

Minutes of the regular meeting of the Historic District Commission ("HDC") held Wednesday, November 16, 2022. PD Dupuis called the meeting to order at 7:00 p.m.

1) Rollcall

Present: Board Members Gigi Debbrecht, Natalia Dukas, Patricia Lang, Michael Willoughby; Alternate Board Member Steven Lemberg; Student Representative Charlie Vercellone

Absent: Chair John Henke; Board Members Keith Deyer, Dustin Kolo; Student Representative Meghan Murray

Staff: Planning Director Dupuis; City Transcriptionist Eichenhorn

Noting the absence of the Chair and Vice-Chair, PD Dupuis asked the HDC to elect an acting chair to facilitate the meeting.

11-62-22

Motion by Ms. Dukas

Seconded by Ms. Lang to nominate Michael Willoughby to serve as acting chair for the duration of the meeting.

Motion carried, 5-0.

VOICE VOTE

Yeas: Dukas, Debbrecht, Willoughby, Lemberg, Lang

Nays: None

2) Approval of the HDC Minutes of October 19, 2022

11-63-22

Motion by Ms. Dukas

Seconded by Ms. Debbrecht to approve the HDC Minutes of October 19, 2022 as submitted.

Motion carried, 5-0.

VOICE VOTE

Yeas: Dukas, Debbrecht, Willoughby, Lemberg, Lang

Nays: None

3) Courtesy Review

4) Historic Design Review

5) Sign Review

6) Study Session

A. Historic Design Guidelines – Update

PD Dupuis stated that the next deliverable in the process would be available in December 2022 or January 2023.

7) Miscellaneous Business and Communication

A. Pre-Application Discussions

1. 320 Martin – Birmingham Post Office

Kevin Biddison, architect, and Sam Surnow, developer, spoke regarding proposed changes to the project. Mr. Biddison explained the proposed changes would entail the first column at the entry sliding south, the addition of another column, the moving of the barrier-free entrance to Martin, the raising of the level of the entry floor to the current level of the post office floor, and the expansion of the building five feet to the west on the third, fourth, and fifth floors.

PD Dupuis and Messrs. Biddison and Surnow answered informational questions from the HDC.

Ms. Dukas and Mr. Lemberg said they would prefer the proposed changes be submitted for a historic design review by the HDC before voting on the appropriateness of the changes.

AC Willoughby, Ms. Debbrecht, and Ms. Lang said they were comfortable allowing the proposed changes to be administratively approved.

11-64-22

Motion by Ms. Lang

Seconded by Ms. Debbrecht to allow PD Dupuis to administratively approve the changes presented during the present meeting.

Motion failed, 3-2.

VOICE VOTE

Yeas: Debbrecht, Willoughby, Lang

Nays: Lemberg, Dukas

B. Draft Agenda

C. Staff Reports

1. Administrative Sign Approvals

2. Administrative Approvals

3. Demolitions

4. Action List 2022

8) Adjournment

No further business being evident, the HDC motioned to adjourn at 7:57 p.m.



Nicholas Dupuis
Planning Director



Laura Eichenhorn
City Transcriptionist

DRAFT



MEMORANDUM

Planning Division

DATE: October 19, 2022
TO: Historic District Commission Members
FROM: Nicholas Dupuis, Planning Director
SUBJECT: 555 Stanley – Hood House – Design Review

Zoning: C, (Community), B-4 (Business-Residential) & D-4 (Downtown Overlay)
Existing Use: Two-Story Commercial Building

History

The Birmingham Post Office was erected in 1939 as a part of the federal government's program of public works during the depression. The original reports in local papers stated that the building would be of "English Type" architecture in conformity with the municipal building and the library. Although residents were initially perturbed by the "Neo-Classical" style, the building gained acceptance over the years as a valued part of the Birmingham Civic Center. The Post Office gained its most prominent notoriety because of its interior treatments. The building interior was decorated in an Art Deco style. Interior murals, which were executed by renowned W.P.A. artist Carlos Lopez, were considered controversial because of the depiction of several Birmingham pioneers and contemporary political figures. Local figures accused Lopez of depicting characters of the mural with inappropriate features. Lopez responded with citations of the historical records and photographs he used as backgrounds for his work. Although many lobbied for the immediate destruction of the murals, they ultimately survived and have since undergone preservation treatments by a student of Lopez's.

Introduction

A Revised Historic Design Review application has been submitted for changes to the 5-story addition to the historic Birmingham Post Office in the Shain Park Historic District of Birmingham that was approved by the Historic District Commission on March 16, 2022 ([Agenda](#) – [Minutes](#)).

The Shain Park Historic District consists of the Birmingham City Hall, Baldwin Public Library, Community House and the subject property.

On November 16, 2022, the applicant came before the Historic District Commission (HDC) at a pre-application discussion level. After some conversation, the HDC moved to permit administrative approval of the proposed changes by a vote of 3-2. The HDC's Rules of Procedure dictates the following:

"Four members of the Historic District Commission shall constitute a quorum for the conduct of its business. The concurring affirmative vote of four members of the Historic District Commission shall be required for approval of plans before the Historic District Commission for review or for the adoption of any resolution, motion or other action by the Historic District Commission."

Based on the Rules of Procedure, the motion failed and the applicant was then required to bring the changes to the HDC for a Design Review.

Proposal

In general, the proposal as approved in March 2022 in terms of materials, use and general design is not changing. After going through the design-development process for the project, the applicant has decided to pursue some changes to accommodate some structural changes, as well as changes to increase the square footage of some of the upper floors, both of which affect the exterior of the building. In summary, the applicant is proposing three main changes to the building that affect the current Historic Design Review approval:

- Floors 3-5 will be expanded to the west, floor 5 is proposed to be expanded slightly to the south in select areas.
- The entrance on Bates will be revised to include new column placement and stair location.
- The glass "hyphen" connecting the historic Birmingham Post Office with the new addition, which was previously approved as a 2-story clear glass open space, is now being partially filled by an expansion of the second floor.

For your reference, the detailed March 16, 2022 Design Review memo is attached to the end of this report. For additional reference, the previously approved plans from March 16, 2022 and the approved plans from the Planning Board Review on July 27, 2022 are attached.

Planning & Zoning

There do not appear to be any planning and zoning issues in terms of bulk, placement, height, etc. that require review at the Historic District Commission. The Planning Division has reviewed the proposal in regards to such and has no issues at this time. In addition, there do not appear to be any variances required for the proposed Revised Design Review application to proceed. It is worth noting that the floor plans, including the lower level parking area, have changed as a

part of design-development, but that the proposed uses and number of parking spaces meet the requirements of the Zoning Ordinance, although it has changed from previous approvals.

Signage

There are no new signs proposed as a part of the Design Review application submitted.

Design Review Standards and Guidelines

Chapter 127, Section 127-11 of the Birmingham Code of Ordinances states that in reviewing plans, the commission shall follow the U.S. secretary of the interior's standards for rehabilitation and guidelines for rehabilitating historic buildings as set forth in 36 C.F.R. part 67. Design review standards and guidelines that address special design characteristics of historic districts administered by the commission may be followed if they are equivalent in guidance to the secretary of interior's standards and guidelines and are established or approved by the state historic preservation office of the Michigan Historical Center. The U.S. Secretary of the Interior Standards for Rehabilitation ("SOI Standards") are provided in full at the end of this report.

In reviewing plans, the commission shall also consider all of the following:

1. The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area.
2. The relationship of any architectural features of the resource to the rest of the resource and to the surrounding area.
3. The general compatibility of the design, arrangement, texture, and materials proposed to be used.
4. Other factors, such as aesthetic value, that the commission finds relevant.
5. Whether the applicant has certified in the application that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MCL 125.1501 to 125.1531.

Recommendation

In March 2022, the Historic District Commission reviewed a detailed analysis of the Secretary of the Interior Standards for Rehabilitation and other key information related to the historic preservation of the site and the original proposals effect on such. As a reminder, that report is attached to the end of this report. For this review, the Planning Division did not rehash the entire SOI Standard review. Rather, any new additions to the previous review are denoted in **bold blue text** for clarity.

As a reminder, the HDC moved to approve and issue a Certificate of Appropriateness for the initial project stating that the proposal met the Secretary of the Interior Standards for Rehabilitation numbers 1-5, 9 and 10. The following analysis breaks down the revised proposal through the lens of each standard above:

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

Due to the unique circumstance, this standard does not necessarily apply. As stated, and as indicated on the plans, the existing historic building will remain as-is and unchanged in terms of its use as a commercial office space. Of course the historic use as a post office no longer remains, but the flow of employees and visitors of the commercial office, along with the preserved signage of the building retain the character of that historic use. The addition to the rear of the building does not appear to affect that.

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

The placement of the new addition at the rear of the building, which has received treatments over the years itself, does not propose a removal of many historic materials, if any. Additionally, the character of the rear of the property is not as it was based on the original 1939 building. However, an important scale, massing, density conversation must be had here in relation to the buildings *character*. Based on general guidelines, additions should be subordinate to the historic resource. Understanding the unique conditions of the site, and considering the properties frontage on 3 streets, a strict interpretation of the guidelines in terms of a subordinate addition would appear to mean a small, one or two story addition. However, other guidelines suggest that there are ways to minimize the impact of larger additions onto historic resources by using a small hyphen to connect the two. However, this tact generally only works if the building is only slightly larger, say a 2 or 3 story building in this case. In the case of the Post Office building, a hyphen-like element already exists as a part of the original building, which may be used to soften the impact of the larger addition. In this case, the applicant appears to be taking away the advantage and impact of the natural hyphen by proposing a partial overhang over what would be considered the hyphen. Since the first submittal, the area around the hyphen has been lightened through the removal of building elements, and the use of 2-story clear glass where the new building meets the old.

However, the rear of the property has never been a character-defining area of the building. The prominent façade that is oriented towards Martin and the Shain Park Historic District is where the building makes its mark. This is corroborated by a review of the available historic photographs on file with the City and the Birmingham Museum, which are taken at the front of the building in almost every case. Furthermore, insofar as the interior is considered, the famous Lopez murals are also located at the front of the building. The proposed addition does not appear to jeopardize the Post Office's most prominent and character-defining façade and its position in the Shain Park Historic District.

The proposed revisions to the building at the Bates entrance and the second floor plan affect the connection or “hyphen” point of the building. In the opinion of the Planning Division, the changes to the entrance which include two relocated columns and exterior stairs is a nominal change to the feature, and has a neutral or slightly positive affect on the proposal. The column placement creates a more “monumental” feel, which relates well to the original Post Office structure, and was a common design element on federal buildings of that era.

As far as the second floor expansion into what was formerly a 2-story clear connection/lobby space, the expansion makes the connection not as light or delicate as was previously approved, even though the second floor is set back from the glass by several feet. As was discussed in the original approval process, the 2-story clear space was well received because of how it helped make the new addition feel more like a separate building

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

The building does appear to do well to pull some of the historic materials/color palates into the new addition, which is preferred in terms of a compatibility argument. Because this is an addition which does not change the Post Office building, there are no conjectural features to be worried about, nor does the proposed addition present as a false sense of historical development.

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

The rear of the building has changed over time with what appears to be the addition of a small lobby and some carports. The new proposal appears to remove this addition, but retain the historic portion to which the older addition is attached. The Planning Division does not feel as though the small lobby addition has retained any historic character.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

More of the same comments as above regarding the nature of the addition and its minimal *physical* impact on the historic building can be restated. If there were any significant features on the rear (which it does not appear to have been so), they had been removed by a previous alteration.

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the*

old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Similar to Standard #2, there appear to be minimal to no loss of historic materials on the rear of the Post Office. The new addition is certainly differentiated from the old, but may not be compatible with the historic environment.

Diving deeper, research suggests that compatibility can be broken down into the following general elements:

- Setbacks
- Scale
- Orientation
- Proportion
- Rhythm
- Massing
- Height
- Materials
- Colors
- Details and Ornamentation
- Reversibility

Reviewing this list, the Planning Division can agree that the design-based elements of scale, orientation, rhythm, massing, materials, colors details and reversibility appear to all be appropriate and mesh well with the historic building. The dimensional aspects, however, raise some questions in relation to compatibility. The importance of setback and height are based on the overarching theme that additions to historic structures should be subordinate to the original building, and should not overwhelm or detract from the historic experience. The uniqueness of the site, as mentioned above, does lend itself better to a larger addition based on the length of the parcel (~160 ft.), but its visibility from 3 streets offers a challenge to the developers that would not be present if the building were settled in between other buildings in a strip. As far as actual height, the historic building is roughly 29 ft. tall, and the new building will measure 80 ft. tall. This actual dimension has an overall nominal effect in terms of comparing stories versus height, but it is important to note that 29 ft. would be considered more of a 2-story building in terms of height than the 1-story that the Post Office would appear to be. It is worth noting that the site is currently split-zoned with the historic building existing in the C zoning district, and the back half in the D4 overlay district, which permits 5-story buildings.

The proposed expansions to the west on floors 3-5 and the slight expansion to the south at the 5th floor raise the same questions as discussed previously in Standard's 2 and 9 in regards to compatibility and the overall goal of subordinate additions. Although the dimensions of the expansion appear minor in the grand scheme of things (roughly 5 ft. in most cases, more on the western portion of the 5th floor), the difference is noticeable and will affect the massing when viewed from the front of the building. However, it could be considered a small enough change that the overall effect is nominal.

10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

This standard appears to be met. However, it is worth noting that the proximity of the addition could pose a threat to the historic structure if there are any issues during a hypothetical future removal. In addition, the proposed underground parking must be handled with extreme care as to not disturb the historic structure and the ground beneath it.

Based on the review above, the Planning Division recommends that the Historic District Commission consider **APPROVAL** of the Revised Historic Design Review application for 320 Martin St. – Birmingham Post Office. The Planning Division feels as though the proposed addition still meets the Secretary of the Interior Standards for Rehabilitation numbers 1-5 and 10.

Wording for Motions

I move that the Commission **APPROVE** the Revised Historic Design Review application and issue a Certificate of Appropriateness for 320 Martin St. – Birmingham Post Office. The proposed addition meets the Secretary of the Interior's Standards for Rehabilitation standard numbers _____ (*list conditions*).

OR

I move that the Commission **POSTPONE** the Revised Historic Design Review application and the issuance of a Certificate of Appropriateness for 320 Martin St. – Birmingham Post Office – for the following reason(s):

1. _____
2. _____
3. _____

OR

I move that the Commission **DENY** the Revised Historic Design Review application for 320 Martin St. – Birmingham Post Office. Because of _____ the work does not meet The Secretary of the Interior's Standards for Rehabilitation standard number(s) _____.

Notice to Proceed

I move the Commission issue a Notice to Proceed for number _____. The work is not appropriate, however the following condition prevails: _____ and the proposed application will materially correct the condition.

Choose from one of these conditions:

- a) The resource constitutes hazard to the safety of the public or the structure's occupants.

- b) The resource is a deterrent to a major improvement program that will be of substantial benefit to the community and the applicant proposing the work has obtained all necessary planning and zoning approvals, financing, and environmental clearances.
- c) Retaining the resource will cause undue financial hardship to the owner when a governmental action, an act of God, or other events beyond the owner's control created the hardship, and all feasible alternatives to eliminate the financial hardship, which may include offering the resource for sale at its fair market value or moving the resource to a vacant site within the historic district. have been attempted and exhausted by the owner.
- d) Retaining the resource is not in the best of the majority of the community.

THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION AND GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



MEMORANDUM

Planning Division

DATE: March 16, 2022

TO: Historic District Commission

FROM: Nicholas Dupuis, City Planner

SUBJECT: 320 Martin St. – Birmingham Post Office – Historic Design Review

Zoning: C, (Community), B-4 (Business-Residential) & D-4 (Downtown Overlay)

Existing Use: Two-Story Commercial Building

History

The Birmingham Post Office was erected in 1939 as a part of the federal government's program of public works during the depression. The original reports in local papers stated that the building would be of "English Type" architecture in conformity with the municipal building and the library. Although residents were initially perturbed by the "Neo-Classical" style, the building gained acceptance over the years as a valued part of the Birmingham Civic Center. The Post Office gained its most prominent notoriety because of its interior treatments. The building interior was decorated in an Art Deco style. Interior murals, which were executed by renowned W.P.A. artist Carlos Lopez, were considered controversial because of the depiction of several Birmingham pioneers and contemporary political figures. Local figures accused Lopez of depicting characters of the mural with inappropriate features. Lopez responded with citations of the historical records and photographs he used as backgrounds for his work. Although many lobbied for the immediate destruction of the murals, they ultimately survived and have since undergone preservation treatments by a student of Lopez's.

Introduction

A Historic Design Review application has been submitted for a new 5-story addition to the historic Birmingham Post Office in the Shain Park Historic District of Birmingham. The Shain Park Historic District consists of the Birmingham City Hall, Baldwin Public Library, Community House and the subject property.

The applicant came before the Historic District Commission on December 15, 2021 requesting postponement to further work with City Staff on the proposed addition and its relationship to the historic resource and the Secretary of the Interior Standards for Rehabilitation. The Historic District Commission granted the postponement request and postponed the matter to February 2, 2022.

On February 2, 2022, the Historic District Commission moved to postpone consideration of the Design Review application and requested that the applicant consider their comments and work them into the design if possible. The applicant has not made any substantive changes to the design of the addition at this point, but has provided new perspective views that include the surrounding properties to demonstrate the new additions effect on the Shain Park Historic District as requested by the Historic District Commission.

Proposal

The applicant has submitted new plans proposing a 5-story addition to the rear of the property that currently houses a modern lobby, some carports, a parking facility, and a dumpster enclosure. The new building draws some design elements from the historic building, but also includes an array of modern materials. A full review of the historic preservation aspects of the design is provided in the relevant section below. The proposed materials for the new addition are as follows (a material board has been submitted as well):

Material	Location	Color
Brick	Horizontal sections at floor lines, all facades	Executive Ironspot
Brick	Horizontal and vertical massing all facades	Manganese Ironspot
Insulated Glass	Storefront and upper floor glazing	-
Flamed Granite	Architectural elements	Black
Smooth Limestone	Vertical Piers, 5 th floor, architectural elements	Natural
Metal Wrap	First floor canopy	Black
Metal Paneling	Rooftop screening	Quartz Zinc
Aluminum	Window frames/mullions	Natural

Planning & Zoning

The proposed project will be required to go before the Planning Board for a full Preliminary and Final Site Plan Review in which the planning and zoning issues will be discussed in detail. For this reason, the Planning Division will not be including a review of planning and zoning issues in this report, and will instead focus on a review of the Secretary of the Interior Standards for Rehabilitation and Chapter 10 of the Birmingham Code of Ordinances.

Signage

There are no new signs proposed as a part of the Design Review application submitted.

Design Review Standards and Guidelines

Chapter 127, Section 127-11 of the Birmingham Code of Ordinances states that in reviewing plans, the commission shall follow the U.S. secretary of the interior's standards for rehabilitation and guidelines for rehabilitating historic buildings as set forth in 36 C.F.R. part 67. Design review standards and guidelines that address special design characteristics of historic districts administered by the commission may be followed if they are equivalent in guidance to the secretary of interior's standards and guidelines and are established or approved by the state

historic preservation office of the Michigan Historical Center. The U.S. Secretary of the Interior Standards for *Rehabilitation* ("SOI Standards") are provided in full at the end of this report.

In reviewing plans, the commission shall also consider all of the following:

1. The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area.
2. The relationship of any architectural features of the resource to the rest of the resource and to the surrounding area.
3. The general compatibility of the design, arrangement, texture, and materials proposed to be used.
4. Other factors, such as aesthetic value, that the commission finds relevant.
5. Whether the applicant has certified in the application that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MCL 125.1501 to 125.1531.

Recommendation

The Michigan State Historic Preservation Office defines *rehabilitation* as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

Rehabilitation is the only treatment that allows expanding a historic building by enlarging it with an addition. However, the Rehabilitation guidelines emphasize that new additions should be considered only after it is determined that meeting specific new needs cannot be achieved by altering non-character-defining interior spaces. If the use cannot be accommodated in this way, then an attached exterior addition may be considered. New additions should be designed and constructed so that the character-defining features of the historic building, its site, and setting are not negatively impacted. Generally, a new addition should be subordinate to the historic building. A new addition should be compatible, but differentiated enough so that it is not confused as historic or original to the building. The same guidance applies to new construction so that it does not negatively impact the historic character of the building or its site.

In general, this is a unique circumstance in the City of Birmingham. Most of the commercial designated historic resources in the City do not have a large portion of their site undeveloped (the absence of a building, that is). Important to note, though, historic preservation does not only exist to protect a building, but also the site, general characteristics, context, density, and other important factors.

Considering the above, the proposed exterior restoration of the historic Birmingham Post Office building, as proposed by the applicant, generally meets the Secretary of the Interior Standards for *Rehabilitation* numbers 1, 3, 4, 5, and 10. However, Standard numbers 2 and 9 require further

discussion, and may not be so easily satisfied by the proposal. The following analysis breaks down the proposal through the lens of each standard above:

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

Due to the unique circumstance, this standard does not necessarily apply. As stated, and as indicated on the plans, the existing historic building will remain as-is and unchanged in terms of its use as a commercial office space. Of course the historic use as a post office no longer remains, but the flow of employees and visitors of the commercial office, along with the preserved signage of the building retain the character of that historic use. The addition to the rear of the building does not appear to affect that.

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

The placement of the new addition at the rear of the building, which has received treatments over the years itself, does not propose a removal of many historic materials, if any. Additionally, the character of the rear of the property is not as it was based on the original 1939 building. However, an important scale, massing, density conversation must be had here in relation to the buildings *character*. Based on general guidelines, additions should be subordinate to the historic resource. Understanding the unique conditions of the site, and considering the properties frontage on 3 streets, a strict interpretation of the guidelines in terms of a subordinate addition would appear to mean a small, one or two story addition. However, other guidelines suggest that there are ways to minimize the impact of larger additions onto historic resources by using a small hyphen to connect the two. However, this tact generally only works if the building is only slightly larger, say a 2 or 3 story building in this case. In the case of the Post Office building, a hyphen-like element already exists as a part of the original building, which may be used to soften the impact of the larger addition. In this case, the applicant appears to be taking away the advantage and impact of the natural hyphen by proposing a partial overhang over what would be considered the hyphen. Since the first submittal, the area around the hyphen has been lightened through the removal of building elements, and the use of 2-story clear glass where the new building meets the old.

However, the rear of the property has never been a character-defining area of the building. The prominent façade that is oriented towards Martin and the Shain Park Historic District is where the building makes its mark. This is corroborated by a review of the available historic photographs on file with the City and the Birmingham Museum, which are taken at the front of the building in almost every case. Furthermore, insofar as the interior is considered, the famous Lopez murals are also located at the front of the building. The proposed addition does not appear to jeopardize the Post Office's most prominent and character-defining façade and its position in the Shain Park Historic District.

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

The building does appear to do well to pull some of the historic materials/color palates into the new addition, which is preferred in terms of a compatibility argument. Because this is an addition which does not change the Post Office building, there are no conjectural features to be worried about, nor does the proposed addition present as a false sense of historical development.

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

The rear of the building has changed over time with what appears to be the addition of a small lobby and some carports. The new proposal appears to remove this addition, but retain the historic portion to which the older addition is attached. The Planning Division does not feel as though the small lobby addition has retained any historic character.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

More of the same comments as above regarding the nature of the addition and its minimal *physical* impact on the historic building can be restated. If there were any significant features on the rear (which it does not appear to have been so), they had been removed by a previous alteration.

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

Similar to Standard #2, there appear to be minimal to no loss of historic materials on the rear of the Post Office. The new addition is certainly differentiated from the old, but may not be compatible with the historic environment.

Diving deeper, research suggests that compatibility can be broken down into the following general elements:

- Setbacks
- Scale
- Orientation
- Proportion
- Rhythm
- Massing
- Height
- Materials
- Colors
- Details and Ornamentation
- Reversibility

Reviewing this list, the Planning Division can agree that the design-based elements of scale, orientation, rhythm, massing, materials, colors details and reversibility appear to all be appropriate and mesh well with the historic building. The dimensional aspects, however, raise some questions in relation to compatibility. The importance of setback and height are based on the overarching theme that additions to historic structures should be subordinate to the original building, and should not overwhelm or detract from the historic experience. The uniqueness of the site, as mentioned above, does lend itself better to a larger addition based on the length of the parcel (~160 ft.), but its visibility from 3 streets offers a challenge to the developers that would not be present if the building were settled in between other buildings in a strip. As far as actual height, the historic building is roughly 29 ft. tall, and the new building will measure 80 ft. tall. This actual dimension has an overall nominal effect in terms of comparing stories versus height, but it is important to note that 29 ft. would be considered more of a 2-story building in terms of height than the 1-story that the Post Office would appear to be. It is worth noting that the site is currently split-zoned with the historic building existing in the C zoning district, and the back half in the D4 overlay district, which permits 5-story buildings.

10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

This standard appears to be met. However, it is worth noting that the proximity of the addition could pose a threat to the historic structure if there are any issues during a hypothetical future removal. In addition, the proposed underground parking must be handled with extreme care as to not disturb the historic structure and the ground beneath it.

Based on the review above, the Planning Division recommends that the Historic District Commission consider **APPROVAL** of the Design Review application for 320 Martin St. – Birmingham Post Office. The Planning Division feels as though the proposed addition meets the Secretary of the Interior Standards for Rehabilitation numbers 1-5 and 10.

Wording for Motions

I move that the Commission **APPROVE** the Historic Design Review application and issue a Certificate of Appropriateness for 320 Martin St. – Birmingham Post Office. The proposed addition meets the Secretary of the Interior's Standards for Rehabilitation standard numbers _____ (*list conditions*).

OR

I move that the Commission **POSTPONE** the Historic Design Review application and the issuance of a Certificate of Appropriateness for 320 Martin St. – Birmingham Post Office – for the following reason(s):

1. _____
2. _____
3. _____

OR

I move that the Commission **DENY** the Historic Design Review application for 320 Martin St. – Birmingham Post Office. Because of _____ the work does not meet The Secretary of the Interior's Standards for Rehabilitation standard number(s) _____.

Notice to Proceed

I move the Commission issue a Notice to Proceed for number _____. The work is not appropriate, however the following condition prevails: _____ and the proposed application will materially correct the condition.

Choose from one of these conditions:

- a) The resource constitutes hazard to the safety of the public or the structure's occupants.
- b) The resource is a deterrent to a major improvement program that will be of substantial benefit to the community and the applicant proposing the work has obtained all necessary planning and zoning approvals, financing, and environmental clearances.
- c) Retaining the resource will cause undue financial hardship to the owner when a governmental action, an act of God, or other events beyond the owner's control created the hardship, and all feasible alternatives to eliminate the financial hardship, which may include offering the resource for sale at its fair market value or moving the resource to a vacant site within the historic district. have been attempted and exhausted by the owner.
- d) Retaining the resource is not in the best of the majority of the community.

THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION AND GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**REVISED DESIGN REVIEW PLANS
(CURRENT REVIEW)**

Consultants

Project title

PROPOSED PROJECT FOR:
320 Martin - Addition

320 Martin St.
Birmingham, MI 48009

Issued dr/ch

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22
CIS	05.06.22
SITE PLAN APPROVAL	06.28.22

Sheet title

SITE STATISTICS:

PROPOSED
SITE PLAN

225'-0"

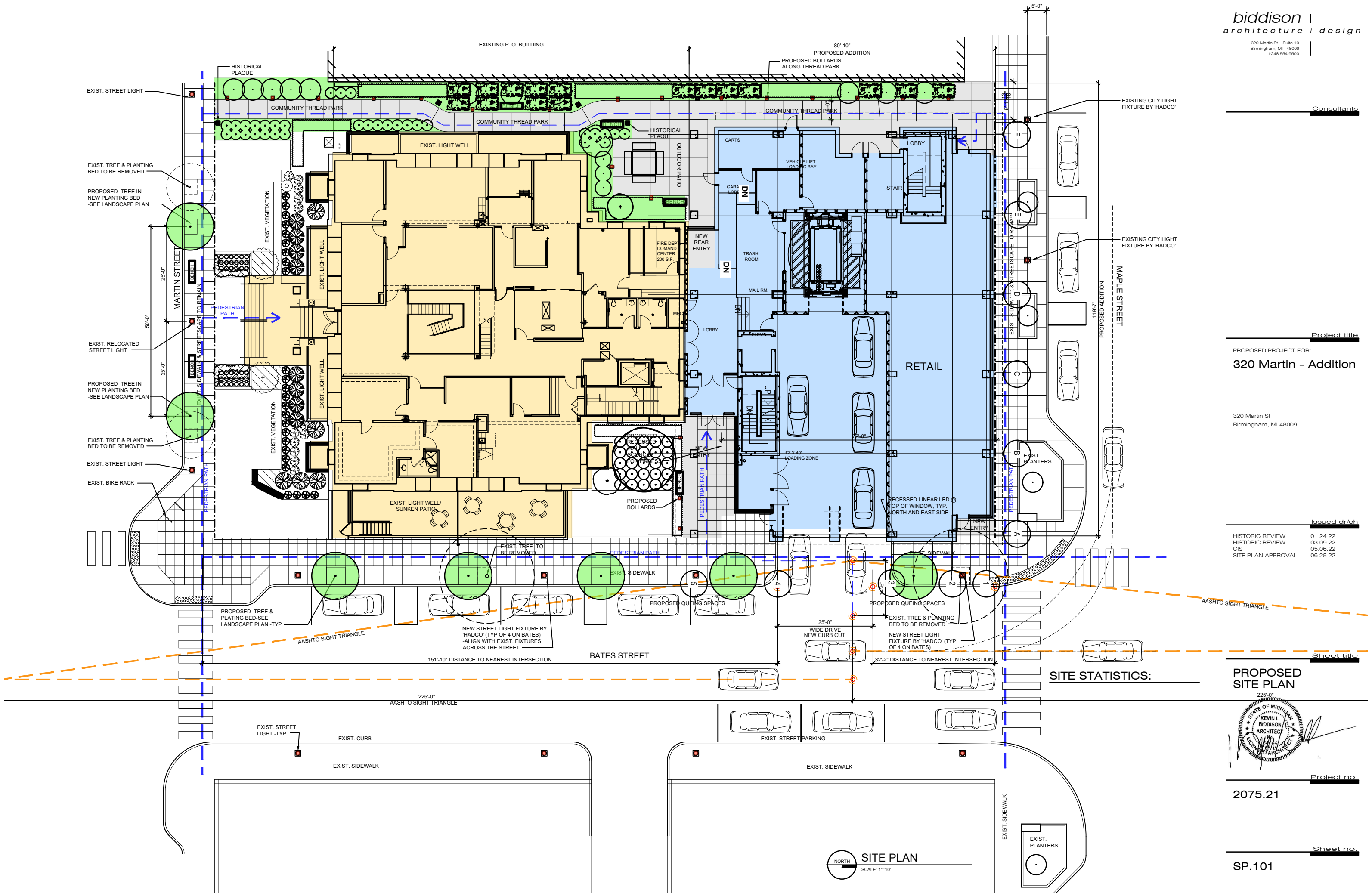


Project no.

2075.21

Sheet no.

SP.101



NORTH
SITE PLAN
SCALE: 1"=10'

FLOOR PLAN LEGEND

- SHADED AREA INDICATES EXISTING CONSTRUCTION TO REMAIN (NID)
- GYPSUM BOARD WALL WITH METAL STUDS (UNO)
- PRECAST CONCRETE WALL - REFER TO STRUCTURAL DOCUMENTS
- CONCRETE MASONRY UNIT - REFER TO STRUCTURAL DOCUMENTS
- BRICK WALL - REFER TO STRUCTURAL DOCUMENTS
- CAST-IN-PLACE CONCRETE WALL - REFER TO STRUCTURAL DOCUMENTS
- PROPERTY LINE
- LINE OF CONSTRUCTION ABOVE
- CONCRETE MASONRY UNIT - BULLNOSE
- PARTITION TYPE - REFER TO A051
- EMERGENCY BLUE PHONE
- FE WALL MOUNTED FIRE EXTINGUISHER
- FEC FIRE EXTINGUISHER CABINET - SURFACE MOUNTED
- RFEC FIRE EXTINGUISHER CABINET - RECESSED MOUNTED
- RRFEC RATED FIRE EXTINGUISHER CABINET - RECESSED MOUNTED
- CR CARD READER
- FCR FUTURE CARD READER
- DO BARRIER FREE DOOR OPERATOR
- IC INTERCOM
- CUH CABINET UNIT HEATER - WALL MOUNTED
- RCUH CABINET UNIT HEATER - RECESSED MOUNTED
- MASONRY MOVEMENT JOINT
- CJ CONTROL JOINT
- EJ EXPANSION JOINT

PRELIMINARY

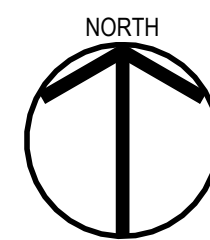
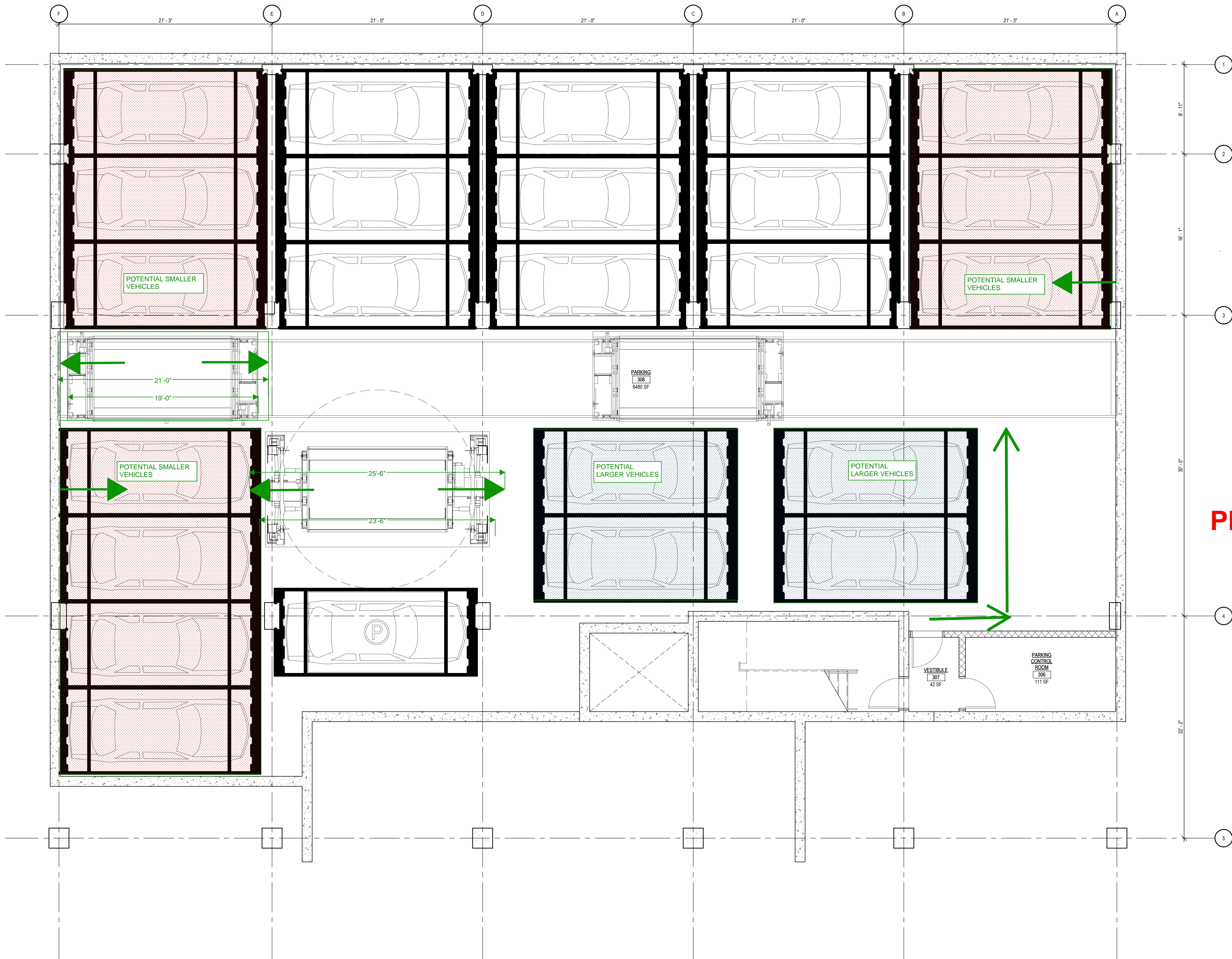
A	B	C
D	E	F

Revisions

Drawn **SSB** ☒ Preliminary
Checked **SSB** ☐ Construction
Approved **SEC** ☐ Record
Bidpak Number ☐ Do not scale
Use figured dimensions only

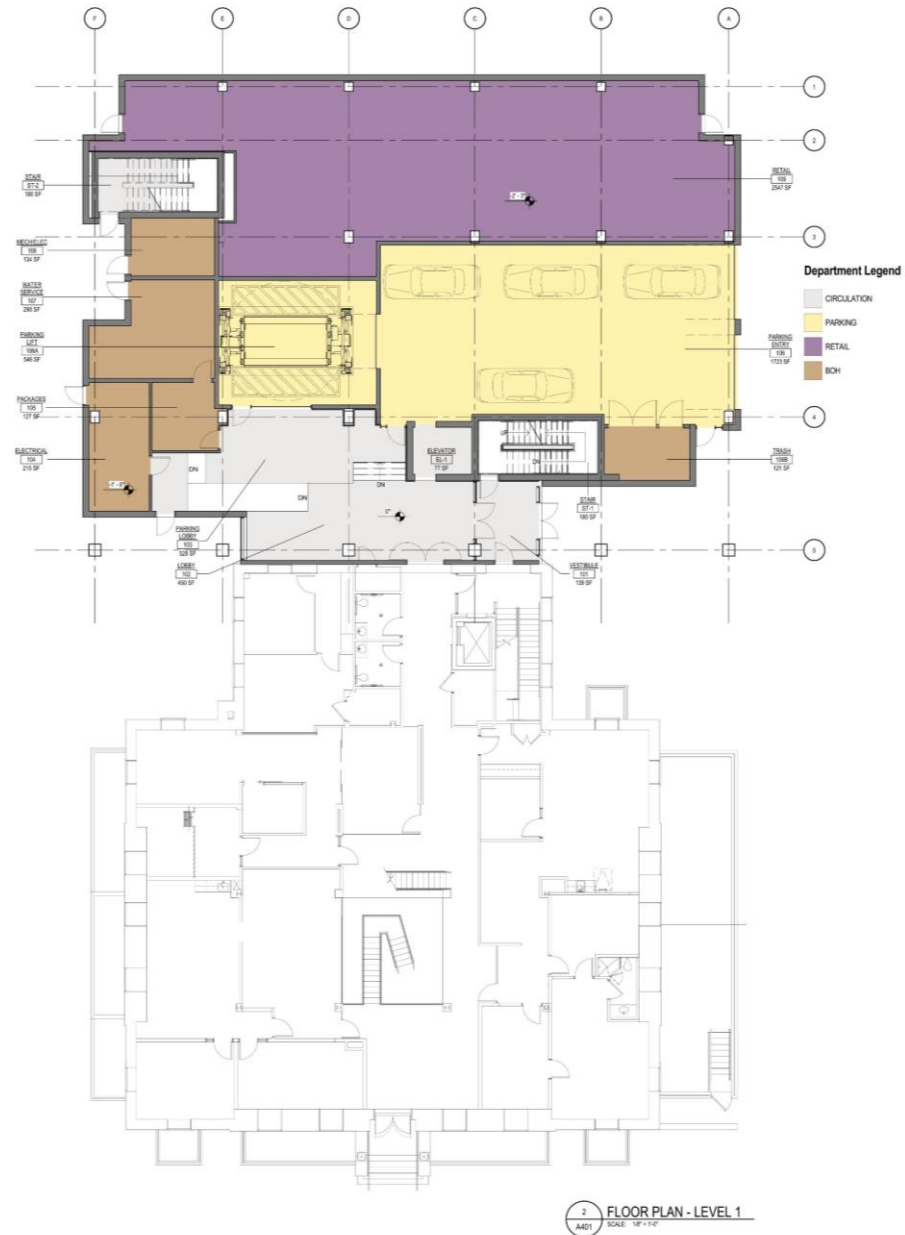
Job Number
2022041
Title
PARKING LEVEL COMPOSITE PLAN

Sheet
A100A



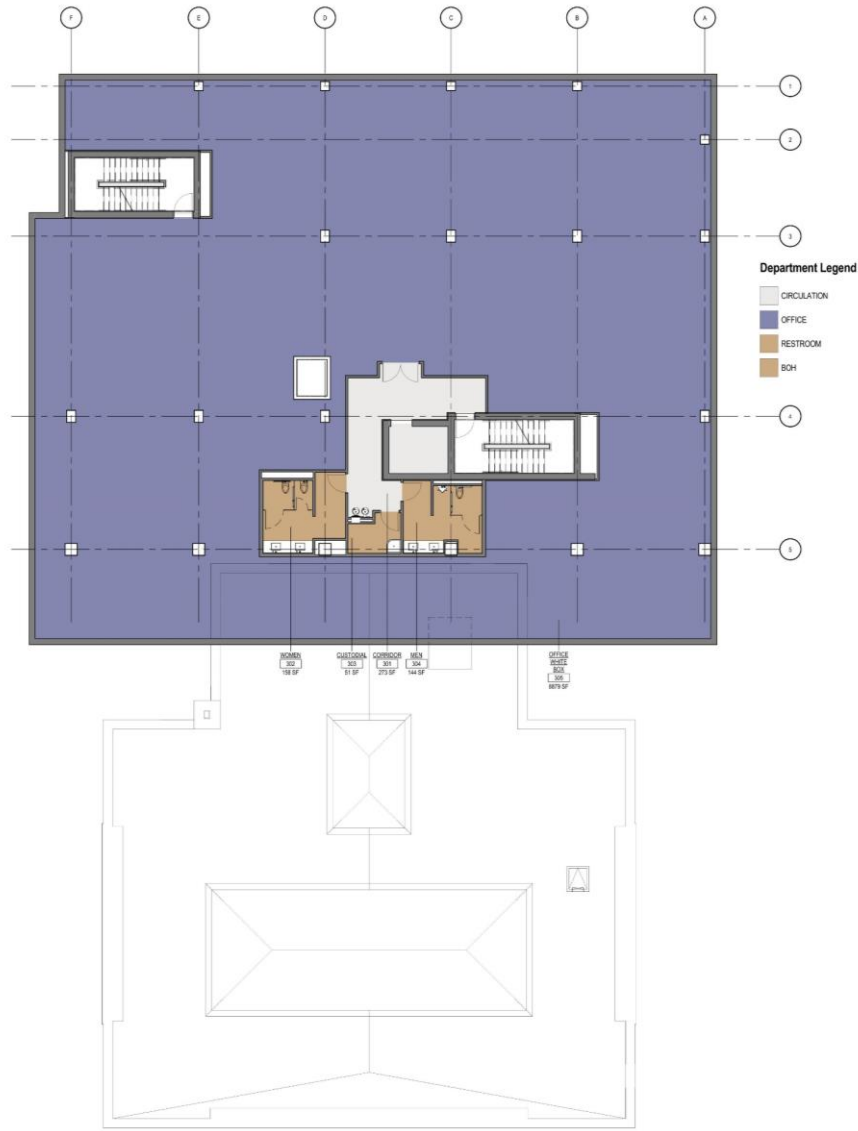
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A100A

PARKING LEVEL COMPOSITE PLAN
SCALE: 1/4" = 1'-0"

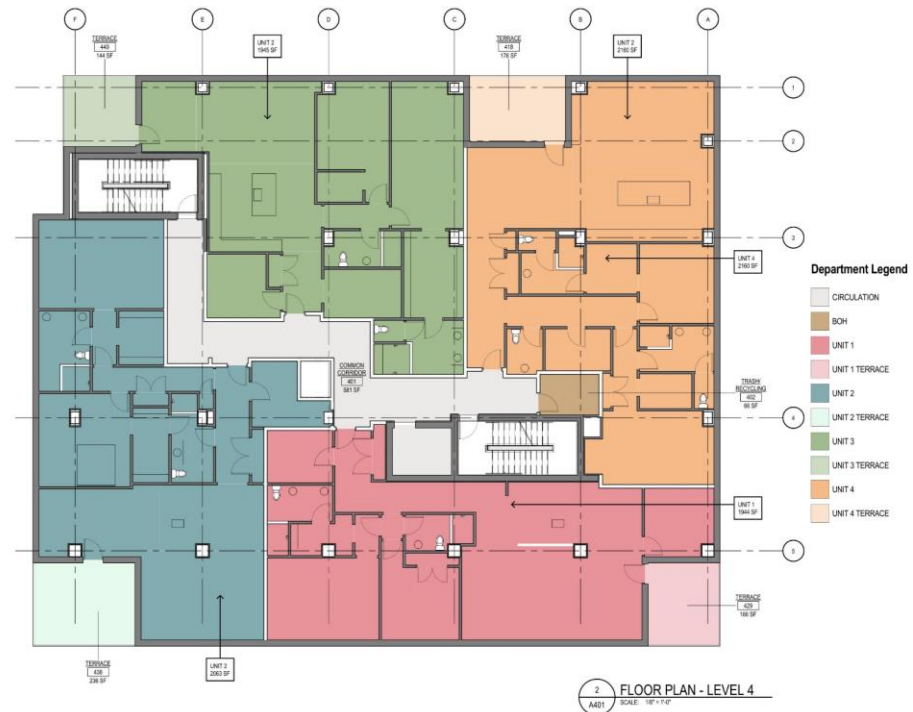




2 FLOOR PLAN - LEVEL 2
A01 SCALE: 1/8" = 1'-0"



1 FLOOR PLAN - LEVEL 3
 A601 SCALE: 1/8" = 1'-0"







ELEVATION	MATERIAL AREA (SQ. FT.)	
	SOLID	GLASS
WEST (1'-0" TO 8'-0")	324 S.F.	341 S.F.
% OF TOTAL	47.7%	52.3%
REQUIRED %	30% MAX	70% MIN



ELEVATION	MATERIAL AREA (SQ. FT.)	
	SOLID	GLASS
EAST (2ND FLOOR TO ROOF)	3,600	1,920
% OF TOTAL	65.2%	34.8%
REQUIRED %	65% MIN	35% MAX

ELEVATION	MATERIAL AREA (SQ. FT.)	
	SOLID	GLASS
EAST (1'-0" TO 8'-0")	128	440
% OF TOTAL	22.5%	77.5%
REQUIRED %	30% MAX	70% MIN

Consultants

Project title

PROPOSED BUILDING ADDITION FOR:
320 Martin - Addition

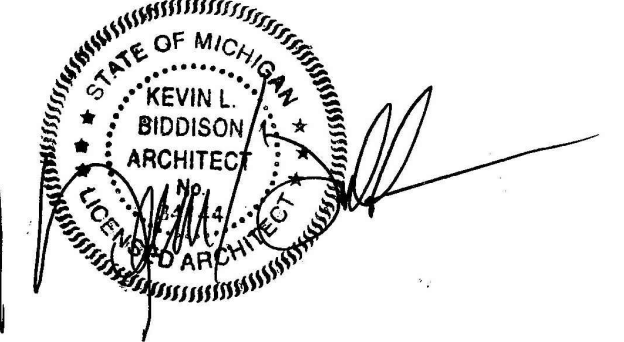
320 Martin St
Birmingham, MI 48009

Issued dr/ch

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22
CIS	05.06.22
DIM. REVISIONS	05.25.22
SITE PLAN APPROVAL	06.28.22
GLAZING CORRECTIONS	07.25.22
HISTORIC REVIEW	12.02.22

Sheet title

PROPOSED
ELEVATIONS



Project no.

2075.21

Sheet no.

A.201



201.02
A.202

NORTH ELEVATION

SCALE: 3/32"=1'-0"



EXIST. ST. JAMES
EPISCOPAL
CHURCH - BEYOND

COMMUNITY
THREAD PARK

201.02
A.201

SOUTH ELEVATION

SCALE: 3/32"=1'-0"

ELEVATION	MATERIAL AREA (SQ. FT.)	
	SOLID	GLASS
NORTH (2ND FLOOR TO ROOF)	4,372	2,323
% OF TOTAL	65.3%	34.7%
REQUIRED %	65% MIN	35% MAX

ELEVATION	MATERIAL AREA (SQ. FT.)	
	SOLID	GLASS
NORTH (1'-0" TO 8'-0")	220	540
% OF TOTAL	39%	71%
REQUIRED %	30% MAX	70% MIN

ELEVATION	MATERIAL AREA (SQ. FT.)	
	SOLID	GLASS
SOUTH (2ND FLOOR TO ROOF)	4,852	1,938
% OF TOTAL	71.5%	28.5%
REQUIRED %	65% MIN	35% MAX

ELEVATION	MATERIAL AREA (SQ. FT.)	
	SOLID	GLASS
SOUTH (1'-0" TO 8'-0")	656	250
% OF TOTAL	72.5%	27.5%
REQUIRED %	30% MAX	70% MIN











Retail Signage















**APPROVED FINAL SITE PLAN &
DESIGN REVIEW PLANS (7/27/22)**

PROPOSED ADDITION FOR:

320 Martin Street - ADDITION

biddison |
architecture + design

CONDITIONS OF WORK

CONSTRUCTION COORDINATION:

1. ALL CONTRACTORS SHALL REVIEW ALL DRAWINGS & ARE RESPONSIBLE FOR A COMPLETE REVIEW & SITE VISIT. ITEMS AFFECTING ALL TRADES ARE PLACED THROUGHOUT SET & NO "EXTRAS" FOR MISSED ITEMS IN OTHER SECTIONS WILL BE PERMITTED. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT OF ANY AMBIGUITY, INCONSISTENCY OR ERRORS WHICH THEY DISCOVER UPON EXAMINATION OF DOCUMENTS, THE SITE OR LOCAL CONDITIONS.
2. ANY CONTRACTOR OR SUBCONTRACTOR BY SUBMITTING A BID WARRANTS THAT HE HAS VISITED THE SITE AND IS AWARE OF ANY AND ALL SITE CONDITIONS AFFECTING HIS BID.
3. THE CONTRACTOR BY COMMENCING WORK ACCEPTS THE CONDITIONS OF THE SITE & THE COMPLETENESS OF CONTRACT DOCUMENTS.
4. FIELD VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT. DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY.
5. ANY MATERIAL OR LABOR NEITHER SHOWN ON THE DRAWINGS NOR SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK IN A WORKMANLIKE MANNER SHALL BE FURNISHED WITHOUT COST TO THE OWNER.
6. ALL MATERIALS FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR SHALL BE FREE FROM DEFECTS. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF (1) YEAR FROM DATE OF ACCEPTANCE OF WORK. DURING THIS PERIOD THE GENERAL CONTRACTOR SHALL CORRECT ANY PROBLEMS DUE TO DEFECTIVE MATERIALS OR FAULTY WORKMANSHIP AT NO COST TO THE OWNER. ANY PROBLEM THAT OCCURS DURING CONSTRUCTION SHALL IMMEDIATELY BE CORRECTED TO THE SATISFACTION OF THE OWNER.
7. NO SUBSTITUTIONS OF SPECIFIED MATERIAL OR EQUIPMENT WILL BE ACCEPTED UNLESS WRITTEN REQUEST FOR APPROVAL HAS BEEN RECEIVED BY THE ARCHITECT AND CONTRACTOR HAS RECEIVED WRITTEN APPROVAL FROM ARCHITECT.
8. DURING AND AT THE COMPLETION OF THE CONTRACTOR'S DAILY WORK, CONTRACTOR IS RESPONSIBLE FOR THE CLEANING UP AND REMOVAL OF ALL RUBBISH AND DEBRIS BEFORE LEAVING THE PROJECT JOB SITE.

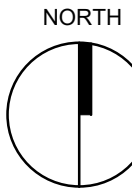
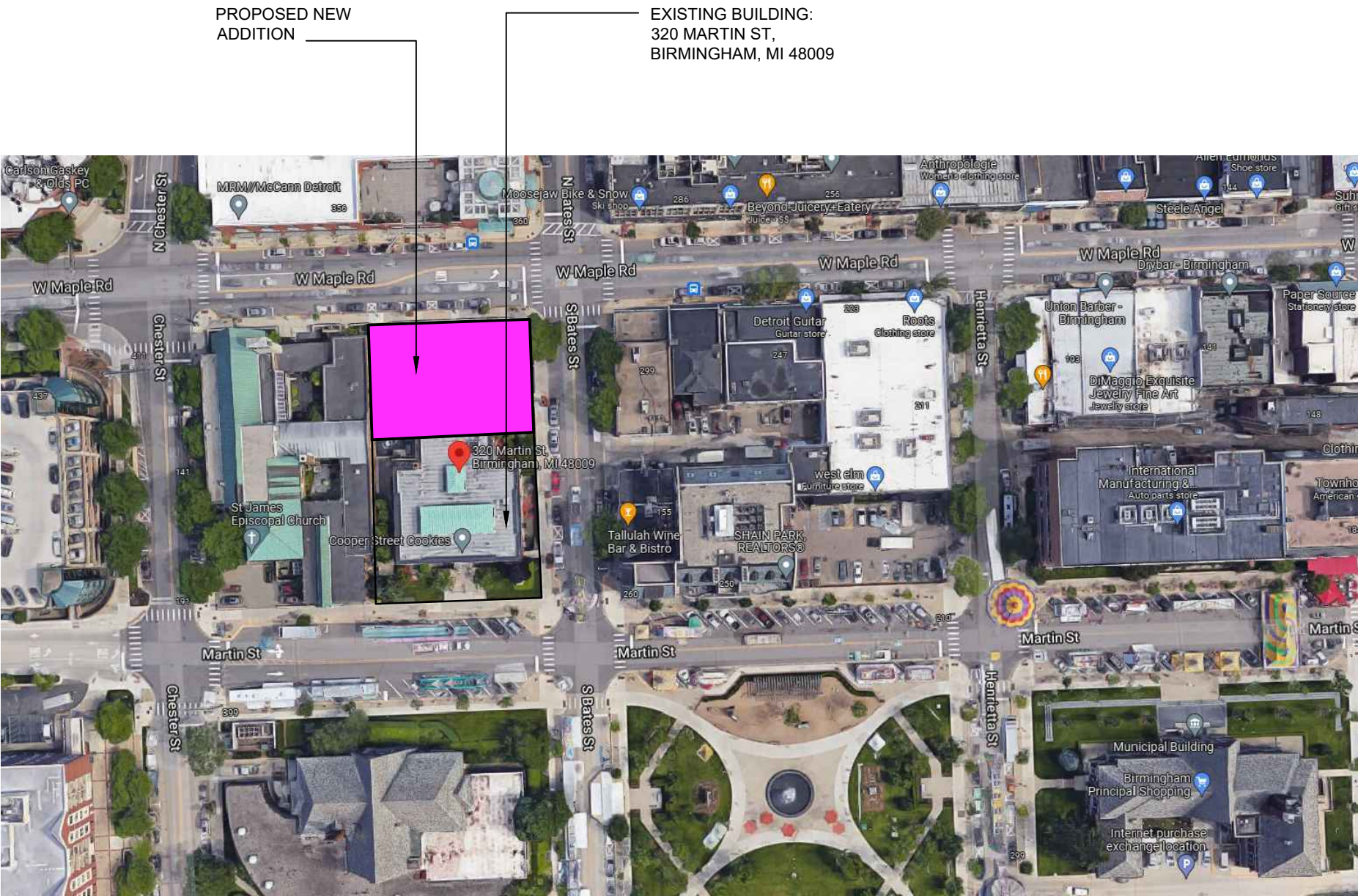
PERMITS & SAFETY:

1. GENERAL CONTRACTOR SHALL APPLY & SUBMIT FOR BUILDING PERMIT.
2. GENERAL CONTRACTOR SHALL OBTAIN "ALL RISK" INSURANCE AND ALL CUSTOMARY STATUTORY INSURANCE FOR COMPREHENSIVE GENERAL LIABILITY, ETC. AS REQUIRED BY OWNER/LANDLORD.
3. GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF WORK, MATERIALS, FIXTURES, ETC. IN LEASED SPACE FROM LOSS OR DAMAGE FROM FIRE, THEFT OR VANDALISM.
4. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA). THE FOLLOWING ARE STRICTLY PROHIBITED WORK PRACTICES.
- A. ANY COMBUSTIBLE MATERIALS ABOVE FINISHED CEILING OR IN ANY NON-SPRINKLED LOCATIONS.
- B. IMPOSING ANY STRUCTURAL LOAD, TEMPORARY OR PERMANENT ON ANY PART OF THE LANDLORD'S WORK OR STRUCTURE WITHOUT PRIOR WRITTEN APPROVAL.
- C. CUTTING ANY HOLES IN LANDLORD'S EXISTING FLOOR SLABS, WALLS OR ROOF WITHOUT PROPER APPROVAL'S PROPER APPROVALS FROM LANDLORD. BEFORE STARTING ANY UNDERSLAB WORK CONTRACTORS MUST CHECK WITH THE LANDLORD OR SUPERINTENDENT OF THE LANDLORD'S GENERAL CONTRACTOR TO DETERMINE IF ANY COMMON UTILITY OR OTHER TENANT UTILITY LINES EXIST WITHIN THE SPACE.

CODE COMPLIANCE:

1. WORK INDICATED IS TO BE EXECUTED IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES.
2. FIRE EXTINGUISHERS SHALL BE PROVIDED BY G.C. AND INSTALLED PER THE FIRE MARSHALL'S INSTRUCTIONS.
3. ALL WALL FINISHES TO MEET CLASS III FLAME SPREAD RATINGS IN ACCORDANCE WITH MBC-2015 CHAPTER 8.
4. INTERIOR FINISHES IN EXIT ACCESS CORRIDORS, OTHER EXIT WAYS, ROOMS, AND ENCLOSED SPACES IN USE GROUPS "B" AND "S" IN SPRINKLED BUILDINGS ARE REQUIRED TO HAVE AT LEAST A CLASS C. FLAME SPREAD 76-200; SMOKE DEVELOPED 0-450; RATING AS LISTED IN THE 2015 MICHIGAN BUILDING CODE.
5. SAFETY GLAZING MUST HAVE PERMANENT IDENTIFICATION IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE.
6. ALL REQUIREMENTS OF THE MICHIGAN BARRIER FREE ACT & THE AMERICAN'S WITH DISABILITIES ACT SHALL BE MAINTAINED TO COMPLY WITH ICC/A117.1-2009.
7. ALL OFFICE FURNITURE & EQUIPMENT TO BE PROVIDED BY TENANT- SHOWN FOR LAYOUT PURPOSES ONLY. TO COMPLY WITH ADA- ICC/A117.1-2009 (TYP.) REQUIREMENTS, A MINIMUM OF 5%, BUT NOT LESS THAN (1) OF THE LUNCHROOM TABLES AND EMPLOYEE WORKSTATIONS (CUBICLES) SHALL BE ACCESSIBLE. ACCESSIBLE TABLE AND WORKSTATION TOPS SHALL BE 28" MIN. TO 34" MAX. A.F.F. KNEE AND TOE CLEARANCES AS FOLLOWS SHALL ALSO APPLY- TOE: 4" MIN. HIGH, 17" MIN. TO 25" MAX. DEPTH, AND 30" MIN. WIDE. KNEE: 27" MIN. HIGH, 11" DEEP @ 9" HIGH TO 8" DEEP @ 27" HIGH, AND 30" MIN. WIDE.
8. ALL ENTRANCE AND EXIT DOORS SHALL HAVE BARRIER FREE ACCESSIBILITY TO COMPLY WITH ICC/A117.1-2009.
9. TO COMPLY WITH ADA - ICC/A117.1-2009 (TYP.) REQUIREMENTS, CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE RAMPED AND CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED A MAXIMUM OF 1:2.
10. ALL LUNCHROOM APPLIANCES TO BE PROVIDED BY TENANT. TO COMPLY WITH ADA-ICC/A117.1-2009 (TYP.) REQUIREMENTS, DISHWASHERS MUST FIT UNDER A 34" HIGH (32 1/4" CLEAR UNDER) COUNTERTOP, THE REFRIGERATOR MUST BE A SIDE-BY-SIDE OR BOTTOM FREEZER UNIT, AND ALL MICROWAVE CONTROLS TO BE NO HIGHER THAN 46" A.F.F. TO MEET OBSTRUCTED HIGH SIDE REACH REQUIREMENTS.
11. SIGNAGE INDICATING ACCESSIBILITY PROVISIONS SHALL BE PROVIDED AT EACH DOOR TO AN EXIT DISCHARGE. A TACTILE SIGN STATING EXIT AND COMPLYING WITH ICC/ANSI A117.1-2009 SHALL BE PLACED ADJACENT TO THE DOOR. PLEASE REFER TO SHEET A. 601 FOR ADDITIONAL INFORMATION AND LOCATION.

THE BUILDING IS PROVIDED WITH A FULL AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM (FIRE SUPPRESSION SYSTEM) WHICH WILL BE DESIGNED TO MEET M.B.C. REQUIREMENTS AND CITY OF BIRMINGHAM INSPECTION AND PERMIT APPROVAL. SPRINKLER CONTRACTOR SHALL BE FULLY LICENSED AND BE RESPONSIBLE FOR PREPARATION OF ENGINEERING DRAWING, SUBMISSION OF DRAWINGS TO ALL LOCAL AND STATE AGENCIES FOR APPROVAL, AND FOR COORDINATION OF REQUIREMENTS WITH OWNERS AND TENANTS INSURANCE CARRIER.



LOCATION PLAN



PROJECT ADDRESS

320 Martin Street
Birmingham, Michigan 48009

Zoned: B-4 Business Residential

APPLICANT INFORMATION

320 Investments LLC
320 Martin St, Suite 100
Birmingham, MI 48009
e. Sam@Surnow.com
p. 248.877.4000

SHEET INDEX

T.101	TITLE SHEET
SP1	BOUNDARY TOPO
SP2	ENGINEERING SITE PLAN
SP.100	EXISTING CONDITIONS & SITE SURROUNDINGS
SP.101	SITE PLAN
SP.102	PROPOSED PHOTOMETRIC STUDY
SP.401	SITE DETAILS
LS.101	LANDSCAPE PLAN
LS.601	LANDSCAPE SCHEDULE
A.101	1st and Lower Level FLOOR PLANS
A.102	2nd and 3rd FLOOR PLANS
A.103	4th and 5th FLOOR PLANS
A.104	ROOF PLAN
A.201	ELEVATIONS
A.202	ELEVATIONS
A.301	3D PERSPECTIVE IMAGE
A.302	3D PERSPECTIVE IMAGE
A.303	3D PERSPECTIVE IMAGE
A.304	3D PERSPECTIVE IMAGE
A.305	3D PERSPECTIVE IMAGE
A.306	3D PERSPECTIVE IMAGE
A.307	3D PERSPECTIVE IMAGE
A.308	3D PERSPECTIVE IMAGE
A.309	3D PERSPECTIVE IMAGE
A.310	3D PERSPECTIVE IMAGE
A.311	3D PERSPECTIVE IMAGE
A.312	3D PERSPECTIVE IMAGE
A.313	3D PERSPECTIVE IMAGE
A.314	3D PERSPECTIVE IMAGE
A.315	3D PERSPECTIVE IMAGE
A.316	3D PERSPECTIVE IMAGE

320 Martin Street Suite 10
Birmingham, MI 48009
t:248.554.9500
Contact Person: Kevin Biddison
e.mail: kb@biddison-ad.com

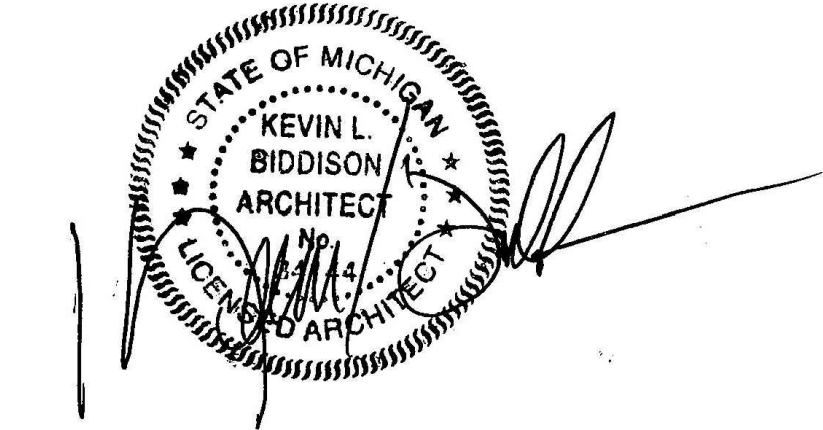
Consultants

Project data

GOVERNING CODES:	2015 MICHIGAN BUILDING CODE 2018 MICHIGAN PLUMBING CODE 2015 MICHIGAN MECHANICAL CODE 2015 MICHIGAN REHABILITATION CODE 2015 INTERNATIONAL FUEL GAS CODE MICHIGAN ELECTRICAL CODE, 2017 N.E.C. W/ PART 8 STATE AMENDMENTS ICC/ANSI A117.1-2015 AND MICHIGAN BARRIER FREE DESIGN LAW OF PUBLIC ACT 1 OF 1966 AS AMENDED. MICHIGAN UNIFORM ENERGY CODE RULES PART 10 WITH ANSI/ASHRAE/IESNA STANDARD 90.1-2015 2015 INTERNATIONAL FIRE CODE NFPA 13 - 2010 NFPA 72 - 2010
BUILDING USE GROUP(S):	GENERAL BUSINESS & RESIDENTIAL
TYPE OF CONSTRUCTION:	2015 MBC: 2B (UN-PROTECTED) NFPA 220: TYPE II-000 NFPA 13: 2010 NFPA 72: 2010
UNDERGROUND GARAGE AREA:	8,058 SQFT
FIRST FLOOR AREA:	9,248 SQFT
SECOND FLOOR AREA:	9,000 SQFT
THIRD FLOOR AREA:	10,200 SQFT
FOURTH FLOOR AREA:	10,200 SQFT
FIFTH FLOOR AREA:	6,200 SQFT
TOTAL ADDITION AREA:	52,906 SQFT

Issued for

HISTORIC DESIGN BOARD REVIEW	01.24.2022
HISTORIC DESIGN BOARD REVIEW	03.09.2022
CIS - COMMUNITY IMPACT STUDY	05.06.2022
FINAL SITE PLAN APPROVAL	06.28.2022



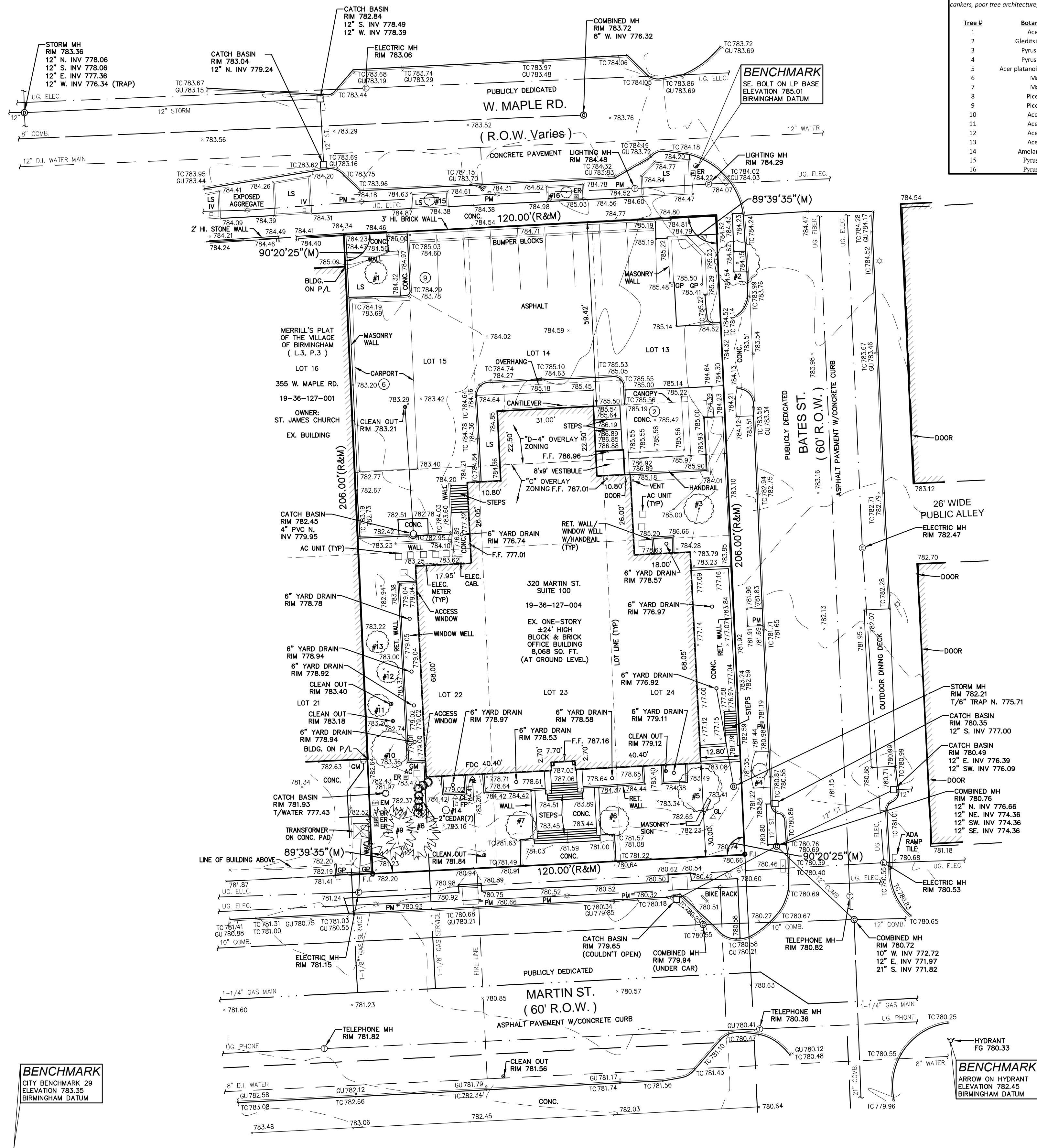
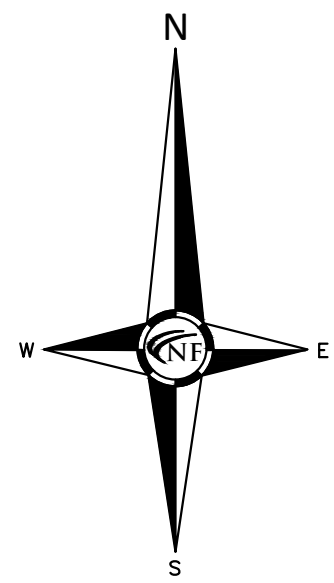
Project no.

320 Martin - ADDITION

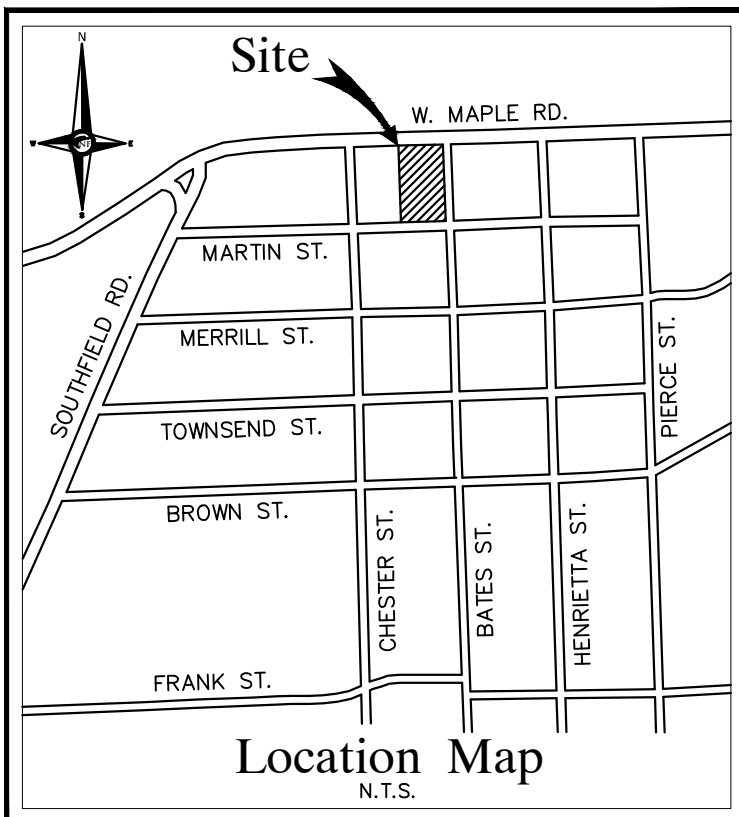
2075-21

Sheet no.

T.101



Tree Inventory List							
Job Number: H723-02							
Job Location: 320 Martin, Birmingham							
Date: August 6, 2021							
Performed By: George A. Ostrowski, Jr., RLA							
Condition Description Notes:							
"Good" - no observed structural defects*							
Fair" - minor structural defects, marginal form, some insect activity noted							
Poor" - major structural defects, poor form, insect infested							
*Structural defects may include decayed wood, cracks, root problems, weak branch unions							
cankers, poor tree architecture, dead/failed branches due to various causes.							
Tree #	Botanical Name	Common Name	Dia.	Type	Other Dia.	Condition	Comments
1	Acer rubrum	Red Maple	6"	Good			
2	Gleditsia triacanthos	Honey Locust	12"	Good			
3	Pinus caryinana	Bradford Pear	8"	Good			
4	Pinus caryinana	Bradford Pear	4"	Fair			Trunk damage, minor crown dieback
5	Acer platanoides 'Crimson King'	Crimson King Norway Maple	12"	Good			
6	Malus spp.	Crabapple	8"	Good			
7	Malus spp.	Crabapple	8"	Good			
8	Picea glauca	White Spruce	12"	Good			
9	Picea glauca	White Spruce	12"	Good			
10	Acer rubrum	Red Maple	10"	Good			
11	Acer rubrum	Red Maple	6"	Good			
12	Acer rubrum	Red Maple	6"	Good			
13	Acer rubrum	Red Maple	6"	Good			
14	Amelanchier laevis	Allegheny Serviceberry	2"	multi-stem		Good	
15	Pinus caryinana	Bradford Pear	3"	Good			
16	Pinus caryinana	Bradford Pear	3"	Good			



CERTIFICATE OF SURVEY

CERTIFIED TO:

- 320 INVESTMENTS, LLC, A MICHIGAN LIMITED LIABILITY COMPANY
- UNITED FARM FAMILY LIFE INSURANCE COMPANY
- UNITED FARM FAMILY MUTUAL INSURANCE COMPANY
- AMROCK INC.
- FIDELITY NATIONAL TITLE INSURANCE COMPANY
- BINGHAM GREENEBAUM DOLL LLP

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDE ITEMS 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 13, 14, 16, 17, 18 AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 22, 2021.

KEVIN NAVAROLI, P.S. NO. 4001053503 DATE 8-6-2021

SURVEY DATA

GROSS LAND AREA: 24,720 SQUARE FEET OR 0.567 ACRES.
ZONED: B-4 (BUSINESS-RESIDENTIAL DISTRICT) WITH OVERLAY ZONING DISTRICTS:
C (TERMINATING VISTAS) & D-4 (DOWNTOWN FOUR-STORY)

BUILDING SETBACKS:
B-4
FRONT= 0'
SIDES= 0'
REAR= 10' WHEN THE REAR OPEN SPACE ABUTS A P, B1, B2, B2C, B3, B4, C3, 14, 16, 17, 18 AND 19 OF TABLE A THEREOF. 20' WHEN ADJACENT TO A RESIDENTIAL ZONING DISTRICT
D-4 & C:
FRONT: BUILDING FACADES AT THE FIRST STORY SHALL BE LOCATED AT THE FRONTAGE LINE, EXCEPT THE PLANNING BOARD MAY ALLOW THIS SETBACK TO BE REDUCED OR ELIMINATED. IN THE ABSENCE OF AN ALLEY, THE REAR SETBACK SHALL BE EQUAL TO THAT OF AN ADJACENT, PREEXISTING BUILDING MAX. BUILDING HEIGHT PERMITTED:
B-4: 4 STORIES/48'
D-4: 5 STORIES/60' SHALL COMPLY WITH THE UNDERLYING HEIGHT RESTRICTIONS LISTED IN EACH TWO-PAGE LAYOUT IN ART. 2 OF THE ZONING ORDINANCE, BUT MAY BE NEGOTIATED BY THE PLANNING BOARD

THE ABOVE SETBACK & HEIGHT REQUIREMENTS WERE OBTAINED FROM THE CITY OF BIRMINGHAM ZONING ORDINANCE. NOTE: THE BUILDING SETBACK LINES ARE NOT PLOTTED HEREON. THE SURVEYOR CANNOT MAKE A CERTIFICATION BASED ON AN INTERPRETATION OF THE BIRMINGHAM ZONING ORDINANCE. A ZONING ENDORSEMENT LETTER SHOULD BE OBTAINED FROM THE CITY OF BIRMINGHAM TO INSURE CONFORMITY.

TOTAL STRIPED PARKING: 17 SPACES INCLUDING 0 BARRIER FREE SPACES.

THE ABOVE SETBACK & HEIGHT REQUIREMENTS WERE OBTAINED FROM THE CITY OF BIRMINGHAM ZONING ORDINANCE. NOTE: THE BUILDING SETBACK LINES ARE NOT PLOTTED HEREON. THE SURVEYOR CANNOT MAKE A CERTIFICATION BASED ON AN INTERPRETATION OF THE BIRMINGHAM ZONING ORDINANCE. A ZONING ENDORSEMENT LETTER SHOULD BE OBTAINED FROM THE CITY OF BIRMINGHAM TO INSURE CONFORMITY.

LEGEND	
MANHOLE(WH)	EXISTING SANITARY SEWER
CO	EXISTING SAN. CLEAN OUT
HYDRANT(HYD)	EXISTING WATER MAIN
GATE_VALVE(GWV)	EXISTING STORM SEWER
MANHOLE(MH)	EX. BEEHIVE CATCH BASIN
CATCH BASIN(CB)	EX. UNDERGROUND (UG.) CABLE
CB	OVERHEAD (OH.) LINES
UTILITY POLE	LIGHT POLE
GUY POLE	SIGN
GUY WIRE	EXISTING GAS MAIN
ASPH.	ASPHALT
CONC.	CONCRETE
FD. / FND.	FOUND
RET. WALL	RETAINING WALL
R.O.W.	RIGHT-OF-WAY
SPK	SET PK NAIL
(TYP)	TYPICAL
(R)	RECORD
(M)	MEASURED
C/L	CENTERLINE
P/L	PROPERTY LINE
GM	GAS METER
EM	ELECTRIC METER
LS	LANDSCAPE
DS	DOWNSPOUT
ER	ELECTRIC RISER
FP	FLAG POLE
GL	GROUND LIGHT
PM	PARKING METER
PR	PHONE RISER
IV	IRRIGATION VALVE

LEGAL DESCRIPTION - PER TITLE COMMITMENT

LAND SITUATED IN THE COUNTY OF OAKLAND, CITY OF BIRMINGHAM, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

LOTS 13, 14, 15, 22, 23, AND 24 OF MERRILL'S PLAT OF THE VILLAGE (NOW CITY) OF BIRMINGHAM, BEING A PART OF THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDE ITEMS 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 13, 14, 16, 17, 18 AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 22, 2021.

320 MARTIN STREET
TAX ID: 19-36-127-004

TITLE REPORT NOTES

SUBJECT TO:
RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS.

EASEMENTS, OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORDS.

1. TERMS AND CONDITIONS CONTAINED IN AGREEMENT FOR LOAN OF ARTWORK FROM THE POSTAL FINE ARTS COLLECTION BY THE UNITED STATES POSTAL SERVICE TO 320 INVESTMENTS, LLC AND CITY OF BIRMINGHAM HISTORIC COMMITTEE AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 42129, PAGE 691. [SAID DOCUMENT DOES NOT DESCRIBE ANY PLOTTABLE EASEMENTS OR RESTRICTIONS].

2. TERMS AND CONDITIONS CONTAINED IN SPECIAL WARRANTY DEED AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 42139, PAGE 295. [SAID DOCUMENT DOES NOT DESCRIBE ANY PLOTTABLE EASEMENTS OR RESTRICTIONS].

ALL EXCEPTIONS SHOWN OR NOTED ON THIS SURVEY WERE OBTAINED FROM TITLE COMMITMENT NO. 643934, WITH AN EFFECTIVE DATE OF 09-06-2013, PRINTED ON 10-01-2013, ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY.

DATUM NOTE

ALL ELEVATIONS SHOWN HEREON ARE ON THE CITY OF BIRMINGHAM'S VERTICAL DATUM, REFERENCED HEREON, IS ONE (100) FOOT HIGHER THAN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88).

ALTA SURVEY NOTES

THERE IS NO VISIBLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AND THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIR.

THERE IS NO VISIBLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

THERE IS NO VISIBLE EVIDENCE OF ANY WETLAND AREAS.

THERE WAS NO OBSERVABLE EVIDENCE OF CEMETERIES OR BURIAL GROUNDS WITHIN THE SUBJECT PROPERTY.

LOCATION OF UTILITIES EXISTING ON OR SERVING THE PROPERTY AS DETERMINED BY: OBSERVED EVIDENCE OR EVIDENCE FROM PLANS REQUESTED BY THE SURVEYOR AND OBTAINED FROM UTILITY COMPANIES.

FLOOD HAZARD NOTE

THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NO. 26125C0537F BEARING AN EFFECTIVE DATE OF 09-29-2008.

MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER A011960126, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY. DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON AUGUST 6, 2021. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

TOPOGRAPHIC SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

DTE DISCLAIMER NOTE

PLEASE NOTE THAT DTE HAS NEW REGULATIONS THAT MAY IMPACT DEVELOPMENT OUTSIDE THEIR EASEMENT OR THE PUBLIC RIGHT OF WAY. CLIENT SHALL CONTACT DTE TO DETERMINE THE "NEW STRUCTURES AND POWER LINE" REQUIREMENTS AS THEY MAY APPLY TO ANY FUTURE BUILDING OR RENOVATION OF A STRUCTURE. DTE ENERGY CAN BE CONTACTED AT 800-477-4747



CIVIL ENGINEERS

LAND SURVEYORS

LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NOWAKFRAUS.COM

CERTIFICATE OF SURVEY



PROJECT

320 Martin Street
Birmingham, MI 48009

CLIENT

320 Investments, LLC
c/o The Surnow Company
320 Martin Street, Suite 100
Birmingham, MI 48009

Contact: Sam Surnow

Phone: 248.877.4000

Email: sam@surnow.com

PROJECT LOCATION

Part of the NW 1/4 of Section 36
T.2N., R.10E.,
City of Birmingham,
Oakland County, Michigan

SHEET

ALTA/NSPS Land Title /
Topographic / Tree Survey



DATE ISSUED/REVISED

08-06-21 SURVEY ISSUED
05-04-22 REVISED PER ARCHITECT

DRAWN BY:

M. Carnaghi

DESIGNED BY:

K. Navaroli

APPROVED BY:

K. Navaroli

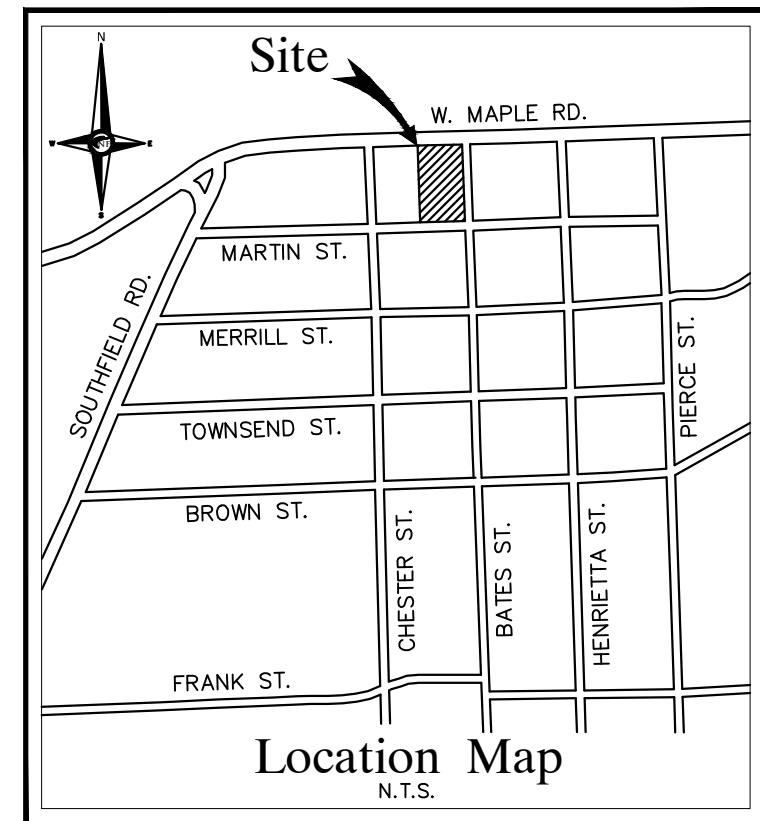
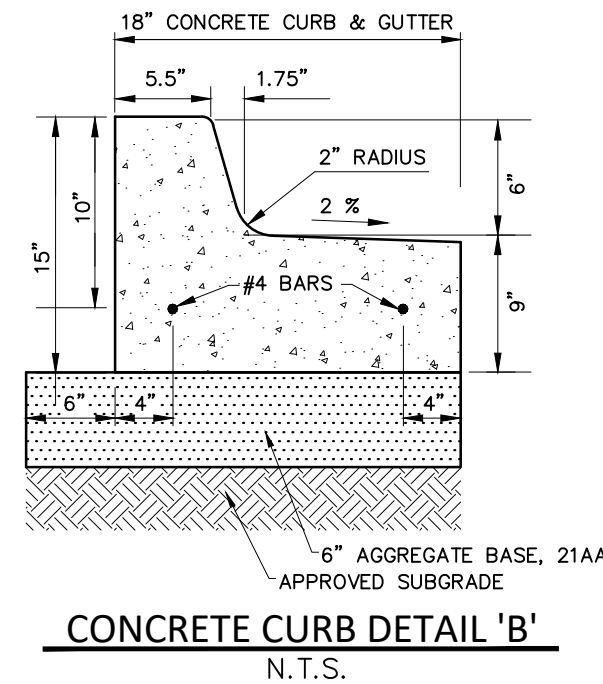
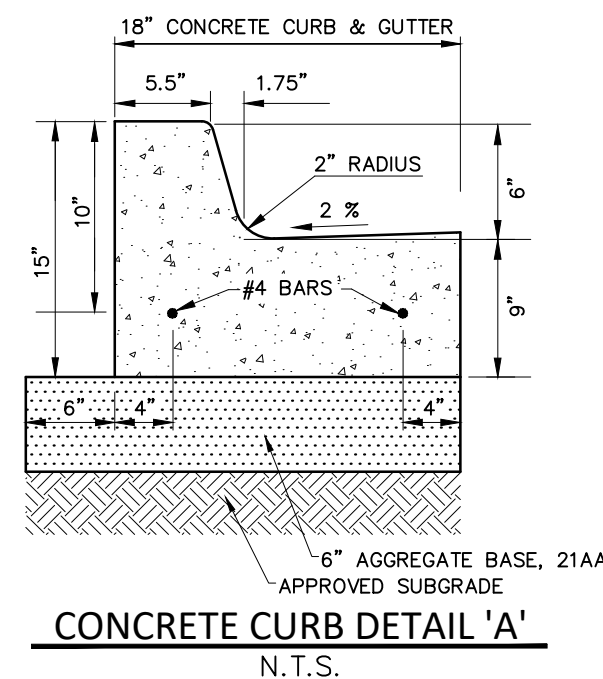
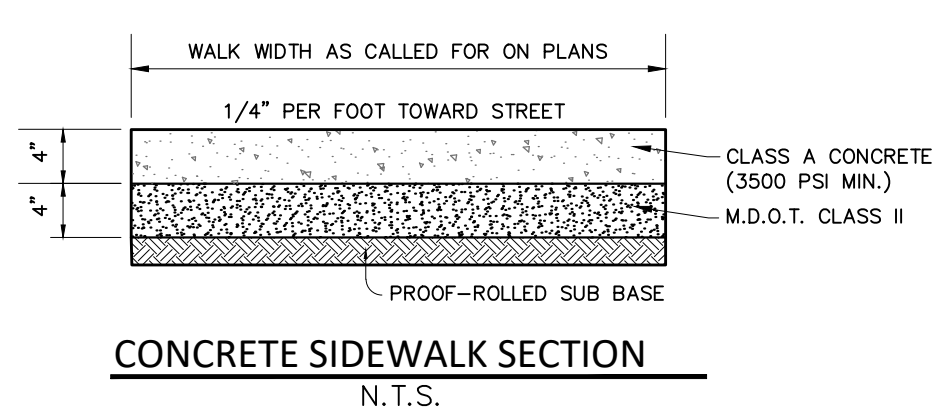
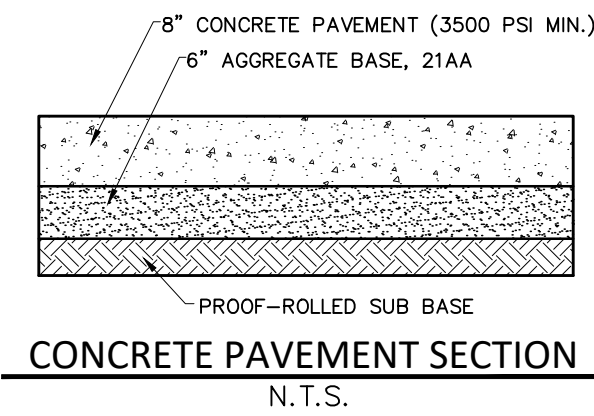
DATE:

August 6, 2021

SCALE: 1" = 20'

20 10 0 10 20 30

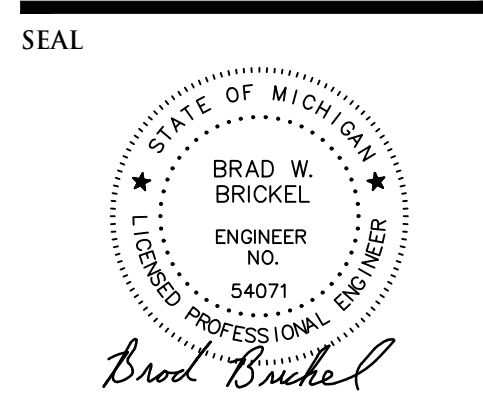
NFE JOB NO. H723-02 SHEET NO. SP1



LEGAL DESCRIPTION - PER TITLE COMMITMENT
 LAND SITUATED IN THE COUNTY OF OAKLAND, CITY OF BIRMINGHAM, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:
 LOTS 13, 14, 15, 22, 23, AND 24 OF MERRILL'S PLAT OF THE VILLAGE (NOW CITY) OF BIRMINGHAM, BEING A PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 36, T2N, R10E, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 3 OF PLATS, PAGE 3, OAKLAND COUNTY RECORDS.
 320 MARTIN STREET
 TAX ID: 19-36-127-004

NF ENGINEERS
 CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS

NOWAK & FRAUS ENGINEERS
 46777 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL (248) 332-7931
 FAX (248) 332-8257
 WWW.NOWAKFRAUS.COM



PROJECT
 320 Martin Street
 Birmingham, MI 48009

CLIENT
 320 Investments, LLC
 c/o The Surnow Company
 320 Martin Street, Suite 100
 Birmingham, MI 48009

Contact: Sam Surnow
 Phone: 248.877.4000
 Email: sam@surnow.com

PROJECT LOCATION
 Part of the NW 1/4
 of Section 36
 T.2N., R.10E.,
 City of Birmingham,
 Oakland County, Michigan

SHEET
 Engineering Site Plan



DATE **ISSUED/REVISED**
 08-06-21 SURVEY ISSUED
 05-04-22 REVISED PER ARCHITECT

DRAWN BY:
 R. Johnson
DESIGNED BY:
 B. Brickel
APPROVED BY:
 B. Brickel
DATE:
 August 6, 2021
SCALE: 1" = 20'
 20 10 0 10 20 30
NFE JOB NO. **SHEET NO.**
H723-02 **SP2**

GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.

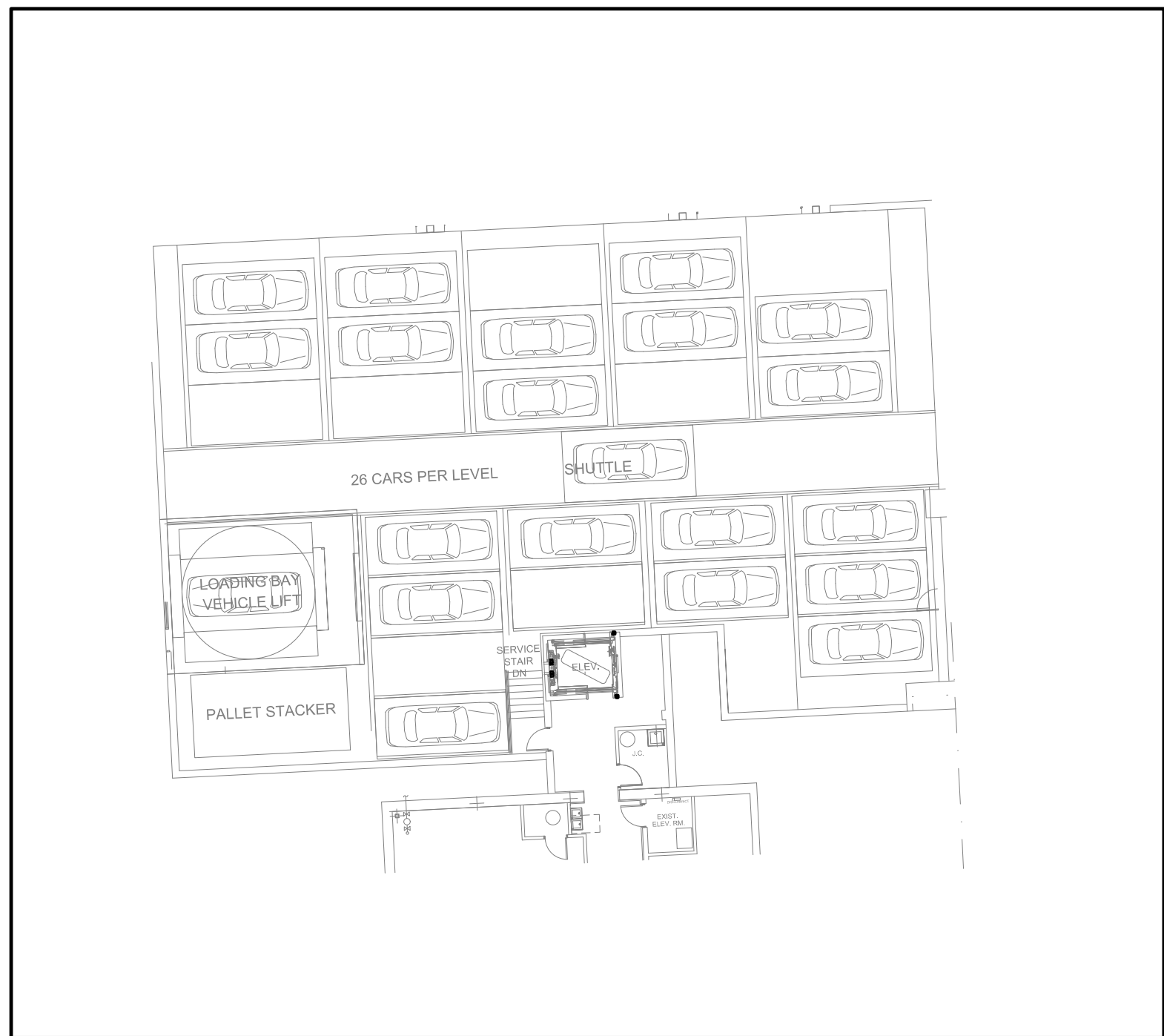
EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.

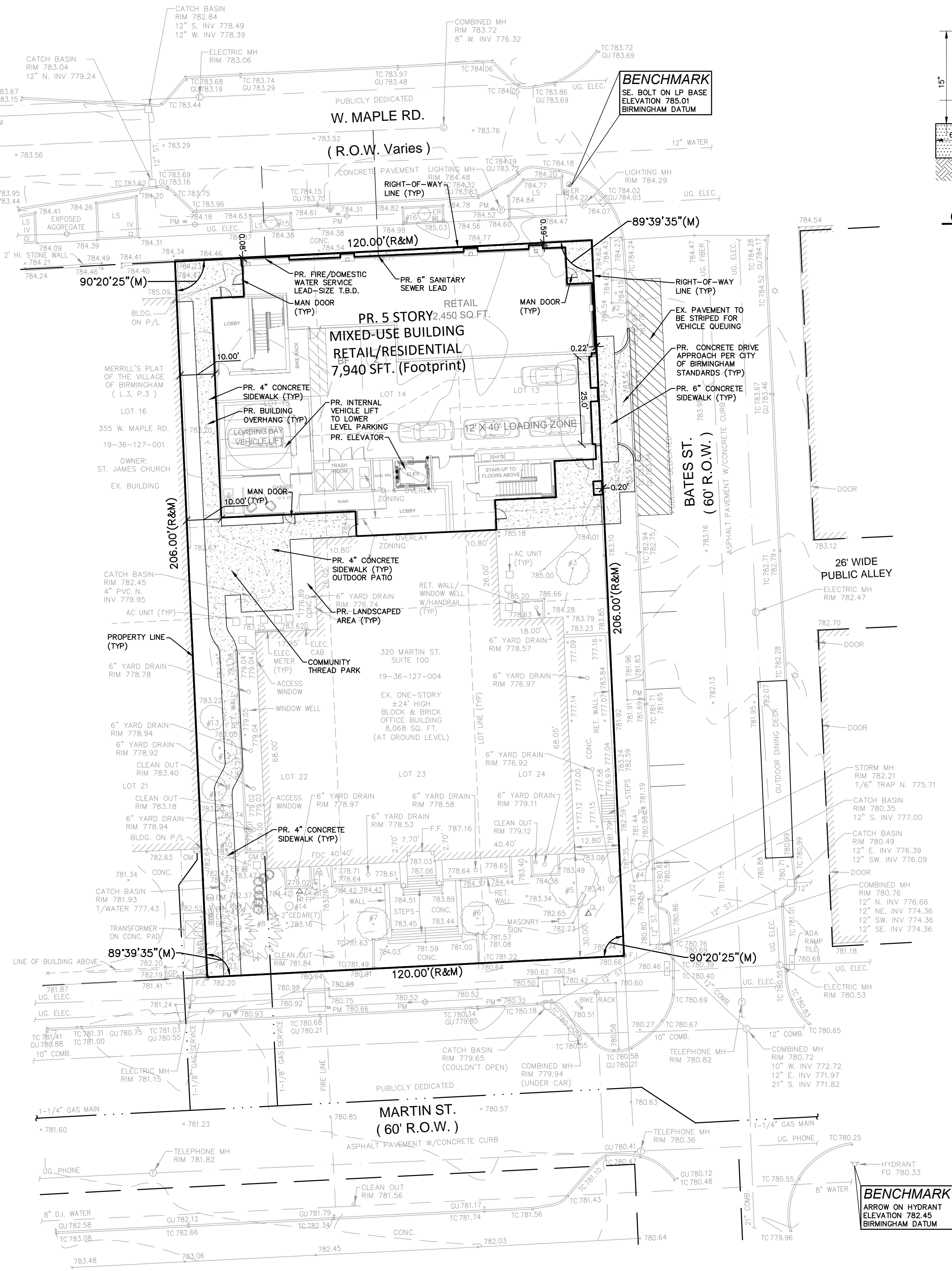
SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.



BELOW GROUND PARKING DETAIL
 (REFER TO ARCHITECTURAL DRAWINGS)
 SCALE 1" = 20'



SITE DATA

EXISTING SITE AREA	24,719.564 SQUARE FEET OR 0.567 ACRES
ZONING	B-4, BUSINESS RESIDENTIAL DISTRICT
EXISTING	OVERLAY DISTRICT: C, D-4
OVERLAY DISTRICT:	HISTORIC DISTRICT: SHANE PARK
SITE AREA	24,719.56 SFT. 100.0%
BUILDING FOOTPRINT	15,306.00 SFT. 61.9%
PARKING & DRIVES	4,543.51 SFT. 18.4%
OPEN SPACE	4,870.05 SFT. 19.7%
SETBACK REQUIREMENTS	REQUIRED PROVIDED
FRONT:	0.0'(N.E.) 0.08'(N.) & 0.22'(E.)
SIDE:	0.0'(W.) 10.0'(W.)
REAR:	0.0'(S.) 30.0'(S.)
PARKING DATA:	
REFER TO ARCHITECTURAL PLANS FOR PARKING CALCULATIONS AND DETAILS (TYP)	

DETENTION NOTE

DETAILED DESIGN AND CALCULATIONS SHALL BE PROVIDED FOR DURING THE ENGINEERING REVIEW OF THIS PROJECT.

TRASH COLLECTION NOTE

TRASH TO BE COLLECTED INTERNALLY. NO EXTERIOR DUMPSITE ENCLOSURE REQUIRED FOR THIS PROJECT.

PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	EXISTING SANITARY SEWER
	SAN. CLEAN OUT
	EXISTING WATERMAIN
	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	EXISTING GAS MAIN
	PR. SANITARY SEWER
	PR. WATER MAIN
	PR. STORM SEWER
	PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE



ORIGINAL SITE CONDITIONS - IMAGES
NO SCALE

EXIST. SITE CONDITIONS - IMAGES
NO SCALE



EXIST. SITE SURROUNDINGS - IMAGES
NO SCALE

SITE AREA = 0.57 ACRES
GROSS BUILDING FOOTPRINT= 9248 S.F.
(INCL. RAMP)

PROPOSED BUILDING USE: GENERAL BUSINESS & RESIDENTIAL
ZONING: B-4 BUSINESS RESIDENTIAL
OVERLAY ZONING: C, D-4
HISTORIC DISTRICT: SHANE PARK

SITE PLAN
SCALE: 1"=10'

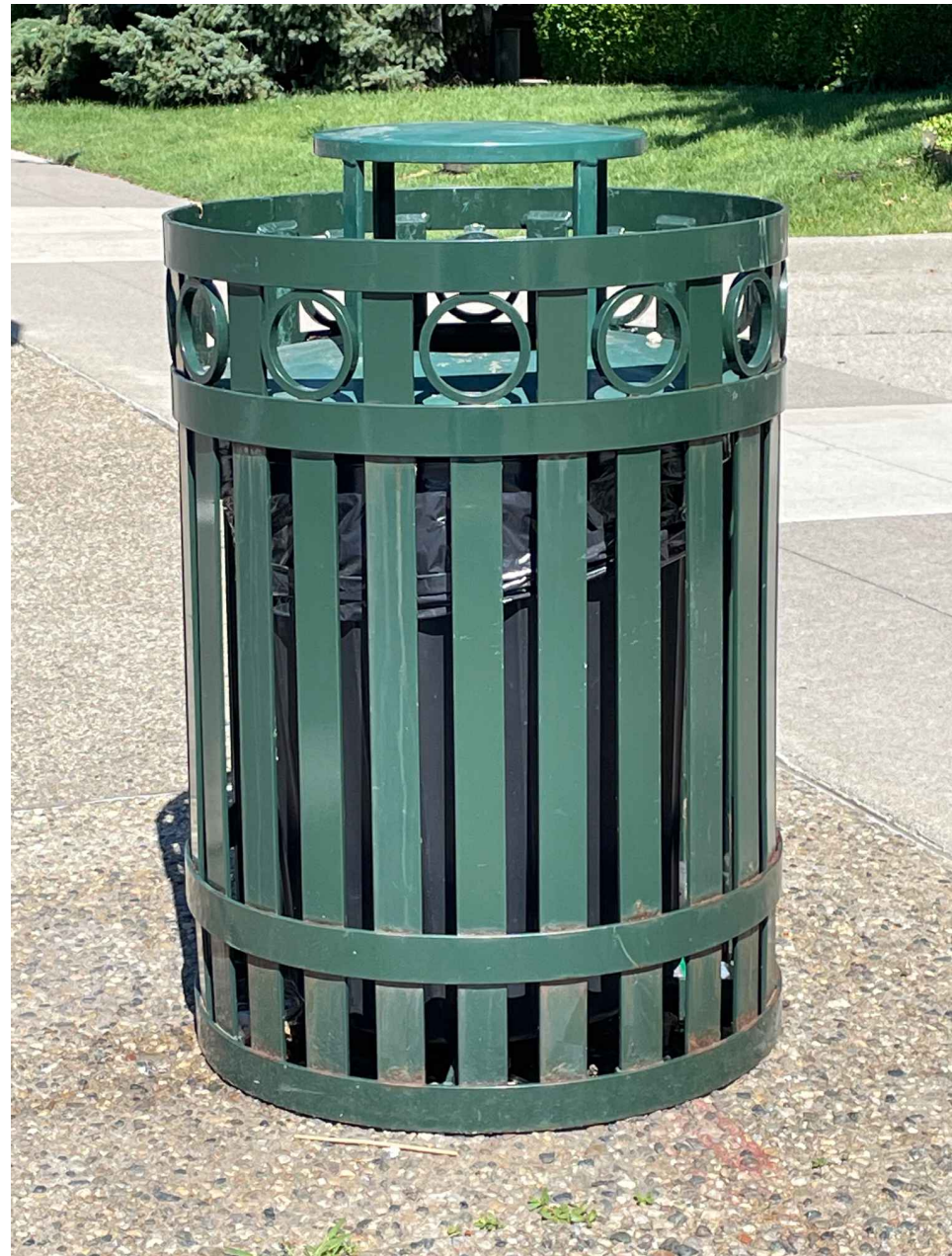
SITE PLAN

SCALE: 1"=10'



TYP. BENCH (PER CITY)

SCALE: N.T.S.




TYP. TRASH (PER CITY)

SCALE: N.T.S.



TYP. BOLLARD LIGHT FIXTURE

SCALE: N.T.S.



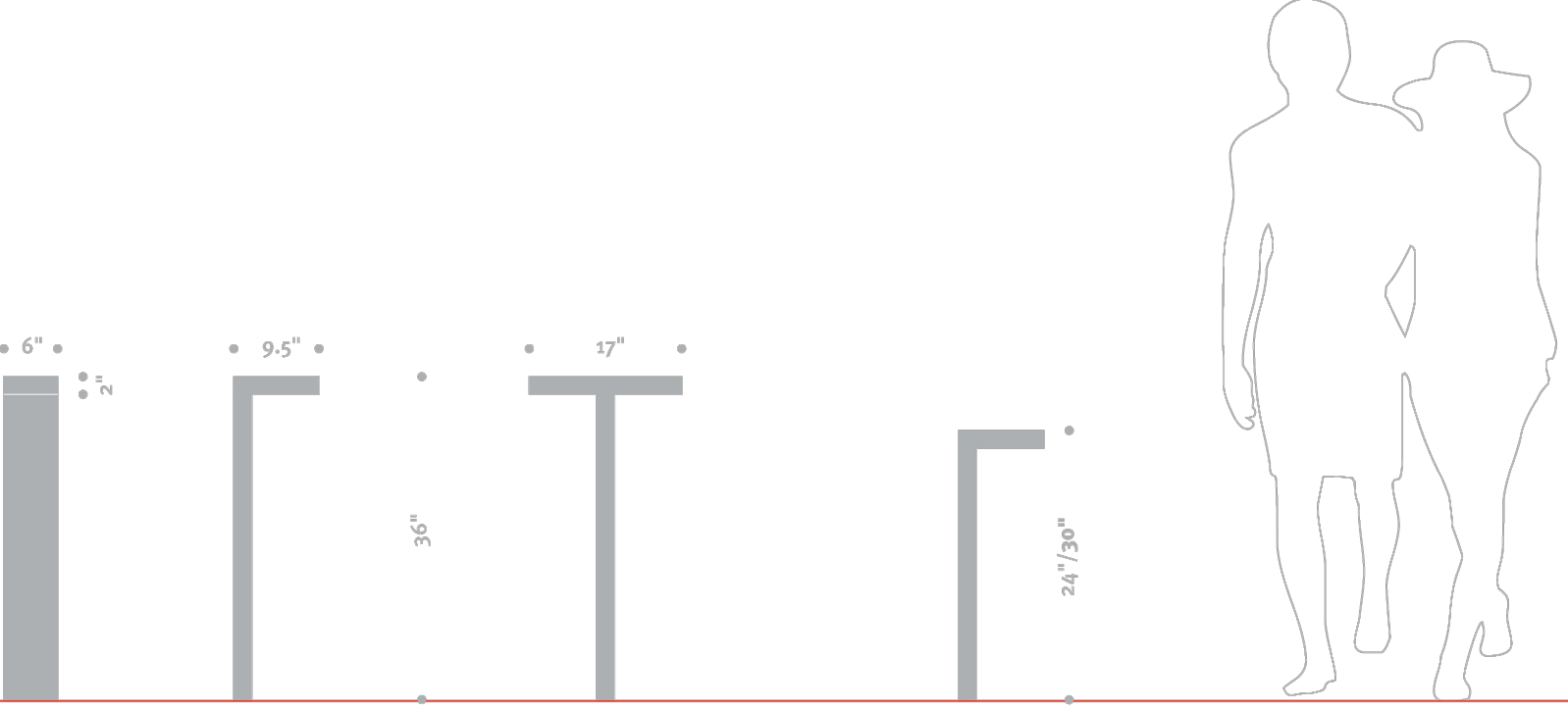
LINEA S

www.hessamerica.com

LINEA S , Illuminating Bollard

The slender profile of LINEA complements contemporary architecture with well proportioned styling and a minimalist form. The fabricated aluminum bollard is available as a single or twin mount luminaire in three different heights to meet varying scale requirements. The fully shielded luminaire emits zero uplight and is Dark Sky compliant. Concealed mounting minimizes the footprint. All hardware is stainless steel. Standard colors; matte silver grey metallic, dark grey, or graphite grey. Special colors available.

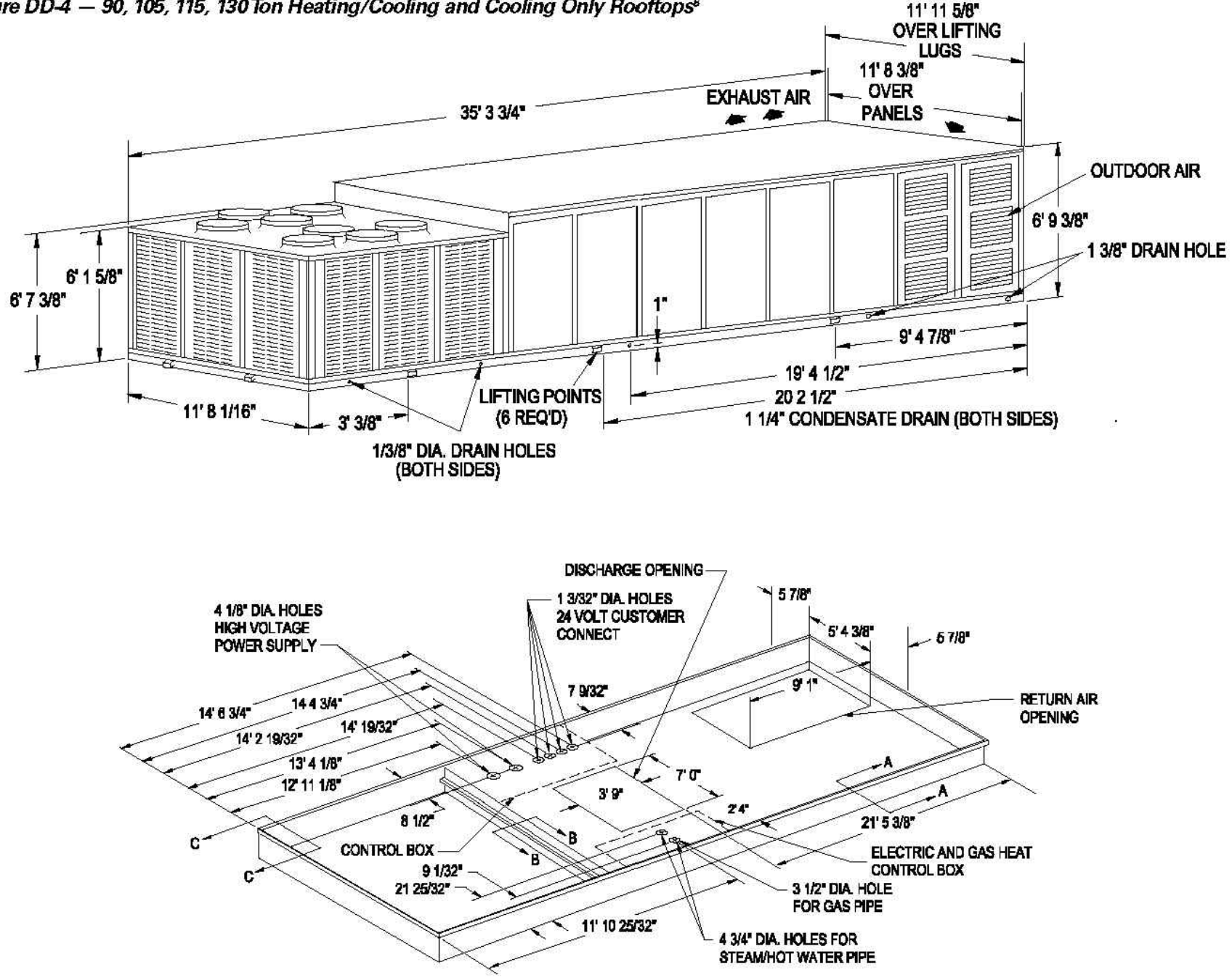
Model	Height	Mounting	Lamp
LN900S	36"	Single / Twin	LED
LN760S	30"	Single / Twin	LED
LN610S	24"	Single / Twin	LED



TYP. BOLLARD LIGHT FIXTURE-CUTSHEET

SCALE: N.T.S.

Figure DD-4 — 90, 105, 115, 130 Ton Heating/Cooling and Cooling Only Rooftops⁸



RTU CUTSHEET

N.T.S.



BIKE RACK DETAIL

SCALE: N.T.S.



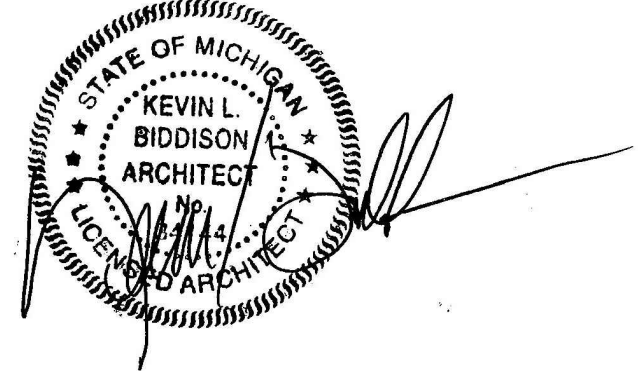
TYP. LIGHT-FIN DETAIL-DAY

SCALE: N.T.S.



TYP. LIGHT-FIN DETAIL-NIGHT

SCALE: N.T.S.

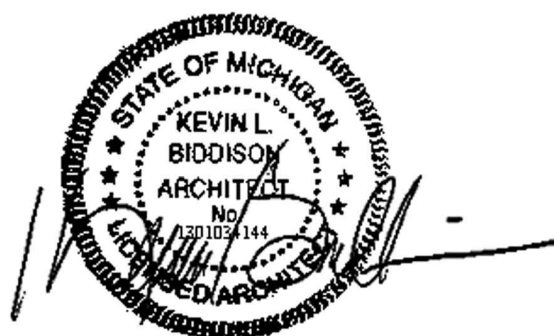


1. ALL PLANT MATERIALS SHALL CONFORM TO "AMERICAN STANDARDS FOR NURSERY STOCK," LATEST EDITION.
2. ALL TREES SHALL BE GUYED AND STAKED.
3. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF TWO (1) YEAR FROM DATE OF INSTALLATION.
4. ALL PLANTING AREAS SHALL HAVE A DEPTH OF 12" TO 18" OF BLENDED EXISTING TOPSOIL MATERIALS AND SHALL BE GROWN TO A HEIGHT OF 6' ABOVE ADJACENT CURBS, WALKS, AND GRADES WITH 4" TO 6" OF TOP SOIL.
5. AREAS OF EXISTING PAVEMENT OR GRAVEL TO BE CONVERTED TO LANDSCAPE AREAS SHALL BE EXCAVATED TO REMOVE ALL PAVEMENT, GRAVEL, AND COMPACTED EARTH. REPLACE EXCAVATED MATERIAL WITH CLEAN FILL TO CROWN 2" MIN. ABOVE ADJOINING GRADE. ADD 4" TO 6" OF TOP SOIL.
6. ALL PLANTING BEDS SHALL RECEIVE A MIN. OF 3"4" SHREDDED BARK MULCH. (KEEP MULCH AWAY FROM VERTICAL STEMS OF TREES AND SHRUBS)
7. ALL PLANTING BEDS NOT BORDERED BY WALKS, WALLS, OR PAVING SHALL BE SPADE COVERED.
8. TOP SOIL SHALL BE STRIPPED AND TOPSOIL PILED ON SITE FOR USE IN LANDSCAPE AREAS WITH EXCESS TOP SOIL TO BE REMOVED FROM THE SITE.
9. THE WORK SHALL CONSIST OF PROVIDING ALL NECESSARY MATERIALS, LABOR, EQUIPMENT, TOOLS, AND SUPERVISION REQUIRED FOR THE COMPLETION AS SHOWN ON THESE DRAWINGS.
10. THE PLANT MATERIALS SHALL BE NURSERY GROWN AND INSPECTED BY THE OWNERS REPRESENTATIVE BEFORE PLANTING. THE OWNERS REP. RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL AT ANY TIME.
11. PLANTS DESIGNATED "B&B" SHALL BE BALLED AND BURLAPPED, WITH FIRM BALLS OF EARTH.
12. THE CONTRACTOR IS RESPONSIBLE FOR PLANTING THE MATERIALS AT THE CORRECT GRADES AND SPACING. THE PLANTS SHALL BE ORIENTED TO GIVE THE BEST APPEARANCE.
13. WHEN THE PLANT HAS BEEN PROPERLY SET, THE PIT SHALL BE BACK FILLED WITH A BLENDED MIXTURE OF EXISTING SITE MATERIAL TOPSOIL MIXTURE, GRADUALLY FILLING, PATTING AND SETTLING WITH WATER.
14. TOPSOIL SHALL BE FRIABLE, FERTILE TOPSOIL OF CLAY LOAM CHARACTER CONTAIN. AT LEAST 5% BUT NOT MORE THAN 20% BY WEIGHT OF ORGANIC MATTER. SOIL SHALL BE FREE FROM CLAY LUMPS, COARSE SAND, PLANT ROOTS, STICKS, AND OTHER FOREIGN MATERIALS.

PROPOSED PROJECT FOR:

320 Martin Street
Birmingham, Mi

CIS	05.06.22
SITE PLAN APPROVAL	06.28.22

LANDSCAPE
SCHEDULE

2083-21

LS.601

KEY	QUANT.	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
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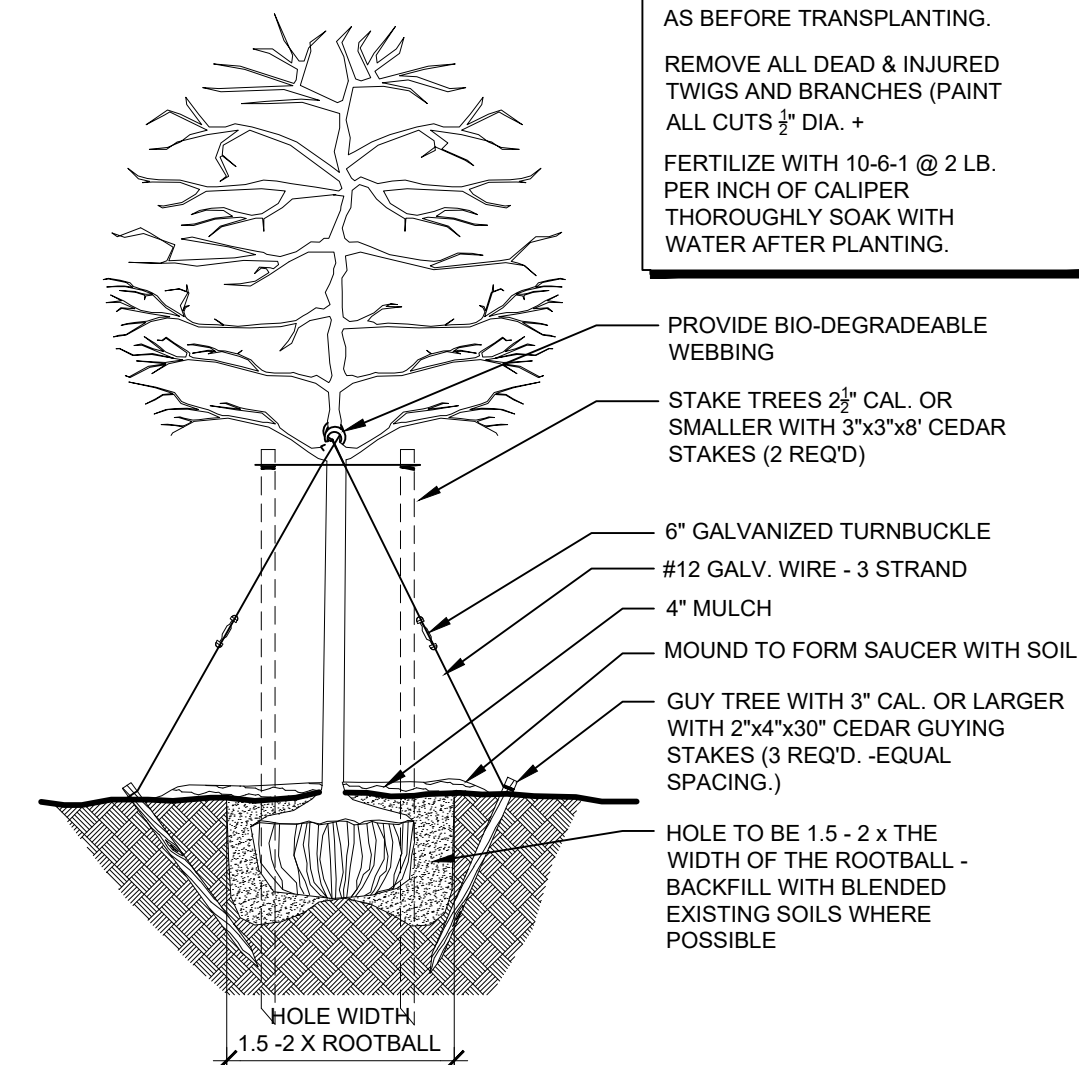
KEY	QUANT.	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
-----	--------	----------------	-------------	------	------	---------

NOTE:
SHRUB SHALL BEAR SAME
RELATIONSHIP TO FINISH GRADE
AS BEFORE TRANSPLANTING
(@ STEM ROOT FLARE SHOULD
BE AT GRADE OR SLIGHTLY
HIGHTER)

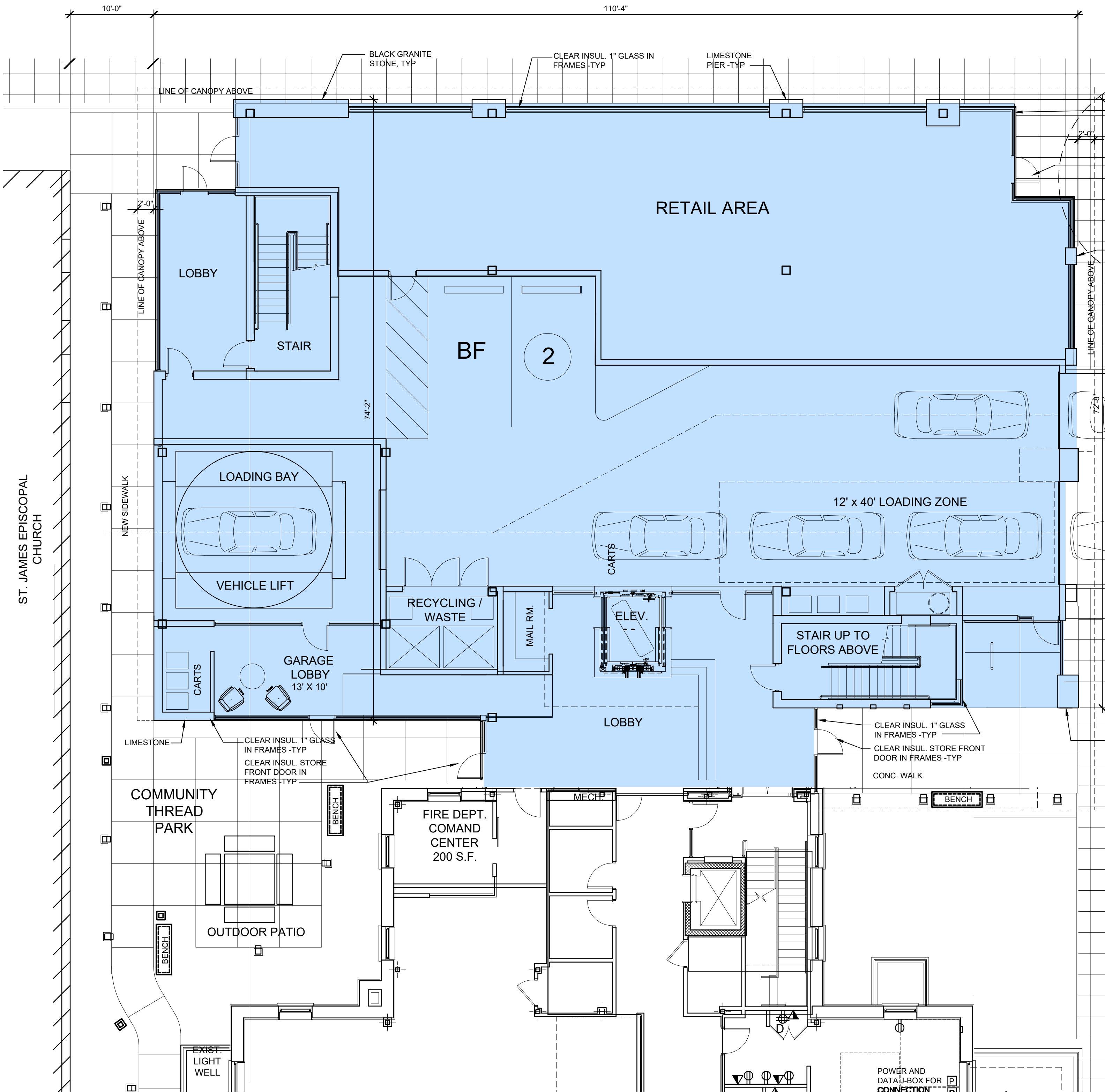
REMOVE BURLAP AND WIRE CAGE FROM ROOT BALL
TREE SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS BEFORE TRANSPLANTING.

REMOVE ALL DEAD & INJURED TWIGS AND BRANCHES (PAINT ALL CUTS $\frac{1}{2}$ " DIA. +

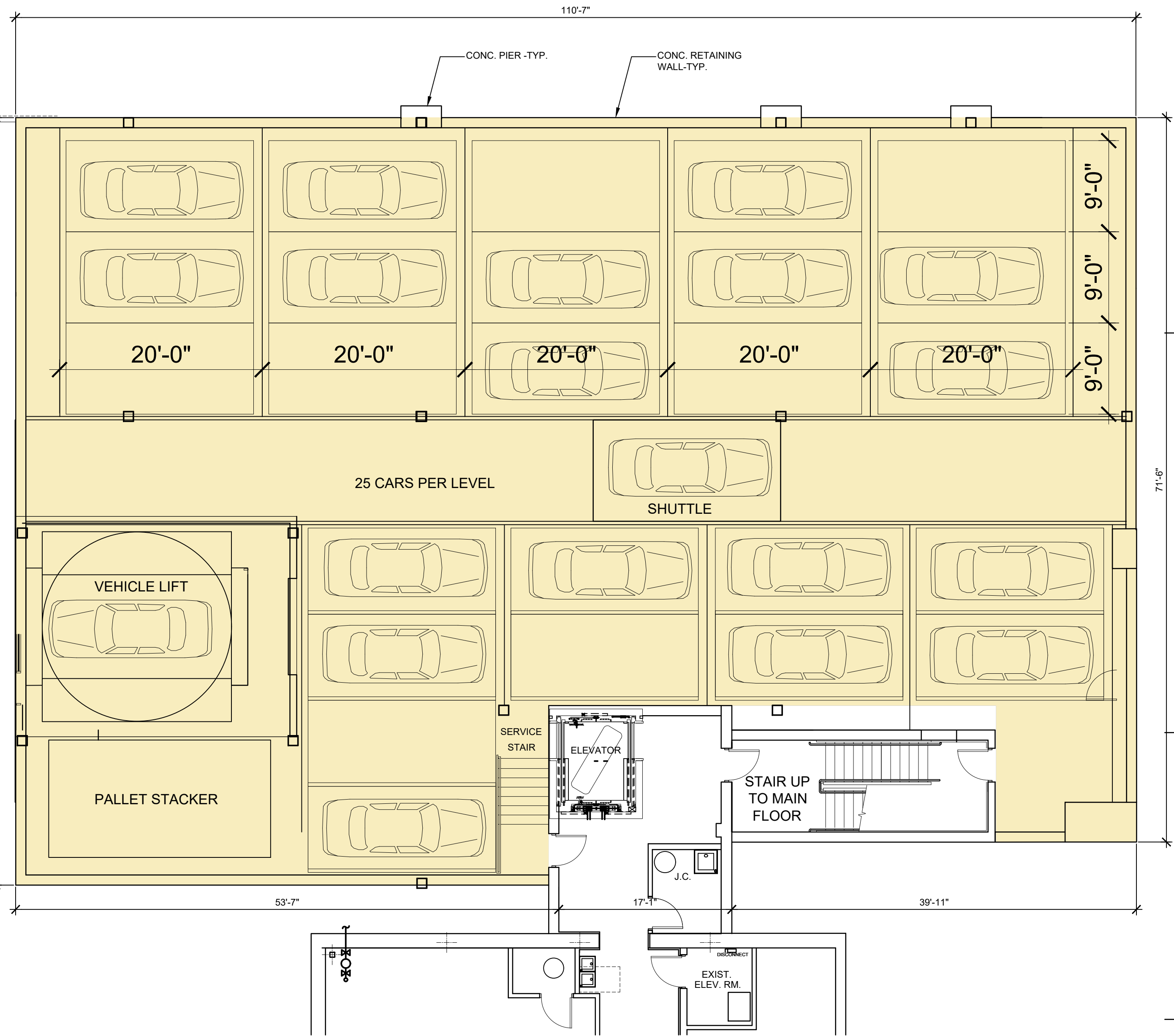
FERTILIZE WITH 10-6-1 @ 2 LB. PER INCH OF CALIPER THOROUGHLY SOAK WITH WATER AFTER PLANTING.



DECIDUOUS TREE PLANTING



NORTH
8,710 S.F.
FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



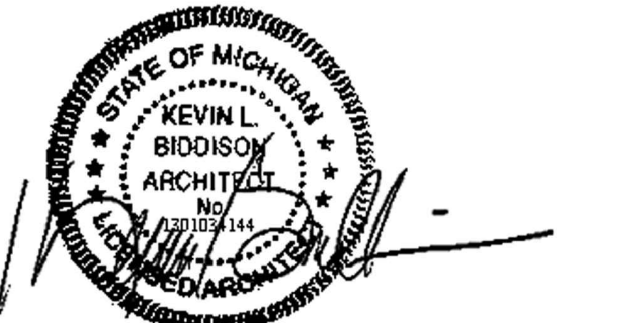
NORTH
8,058 SQFT
LOWER LEVEL FLOOR PLAN
SCALE: 1/8"=1'-0"

PROPOSED BUILDING ADDITION FOR:
320 Martin - Addition

320 Martin St
Birmingham, MI 48009

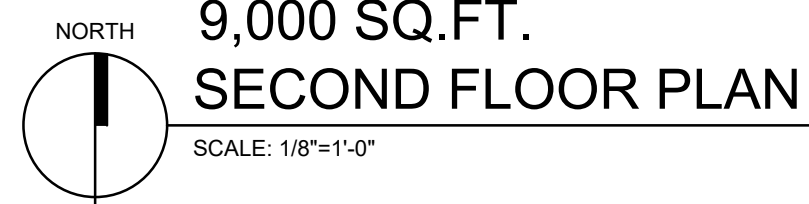
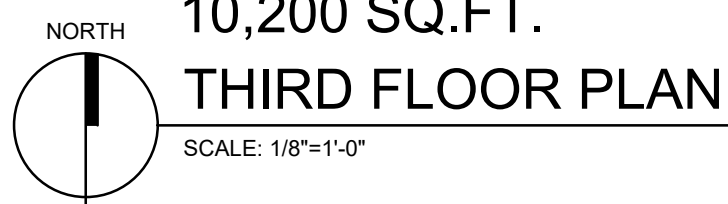
HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22
CIS	05.06.22
MEETING	05.25.22
SITE PLAN APPROVAL	06.28.22

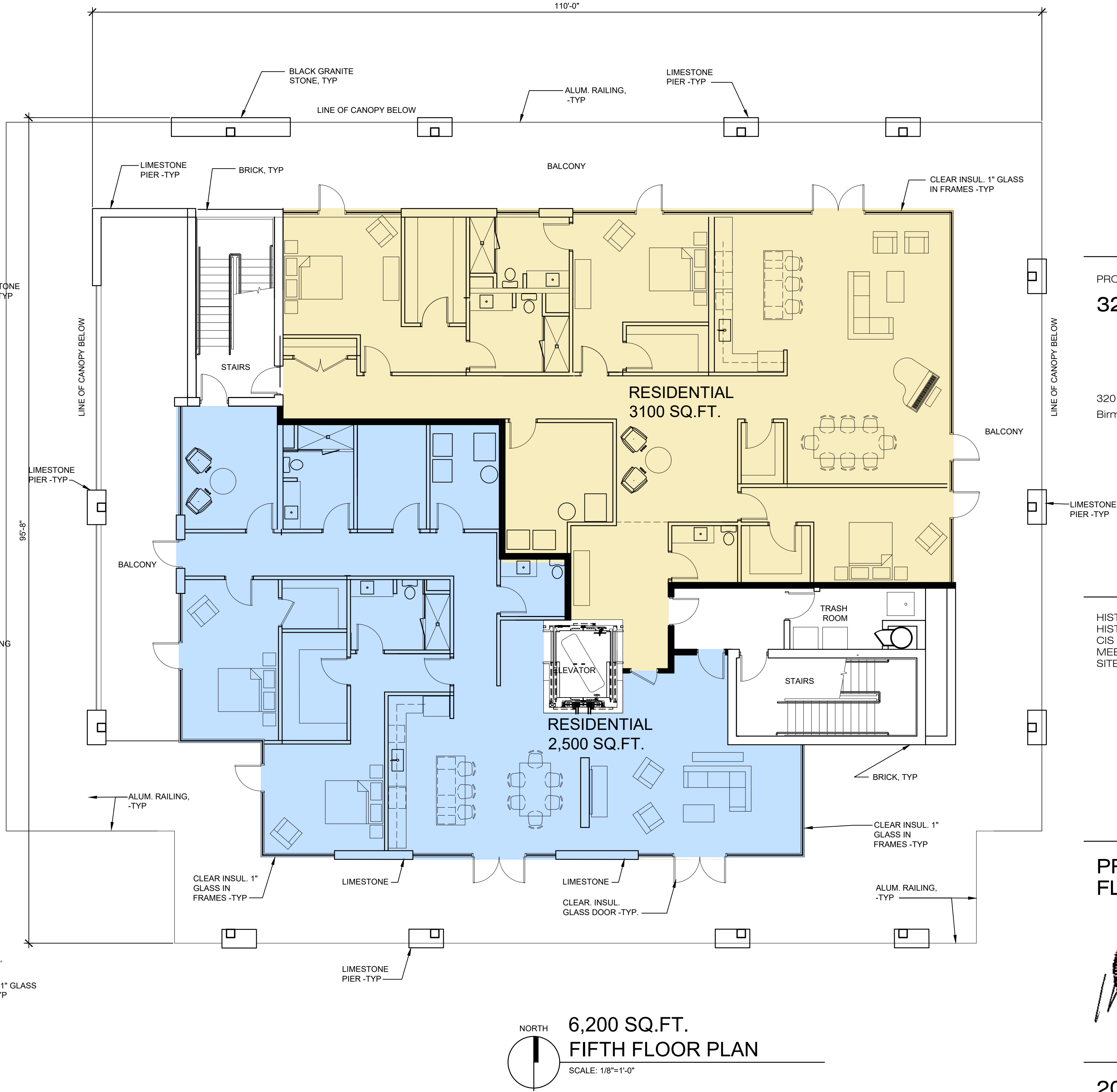
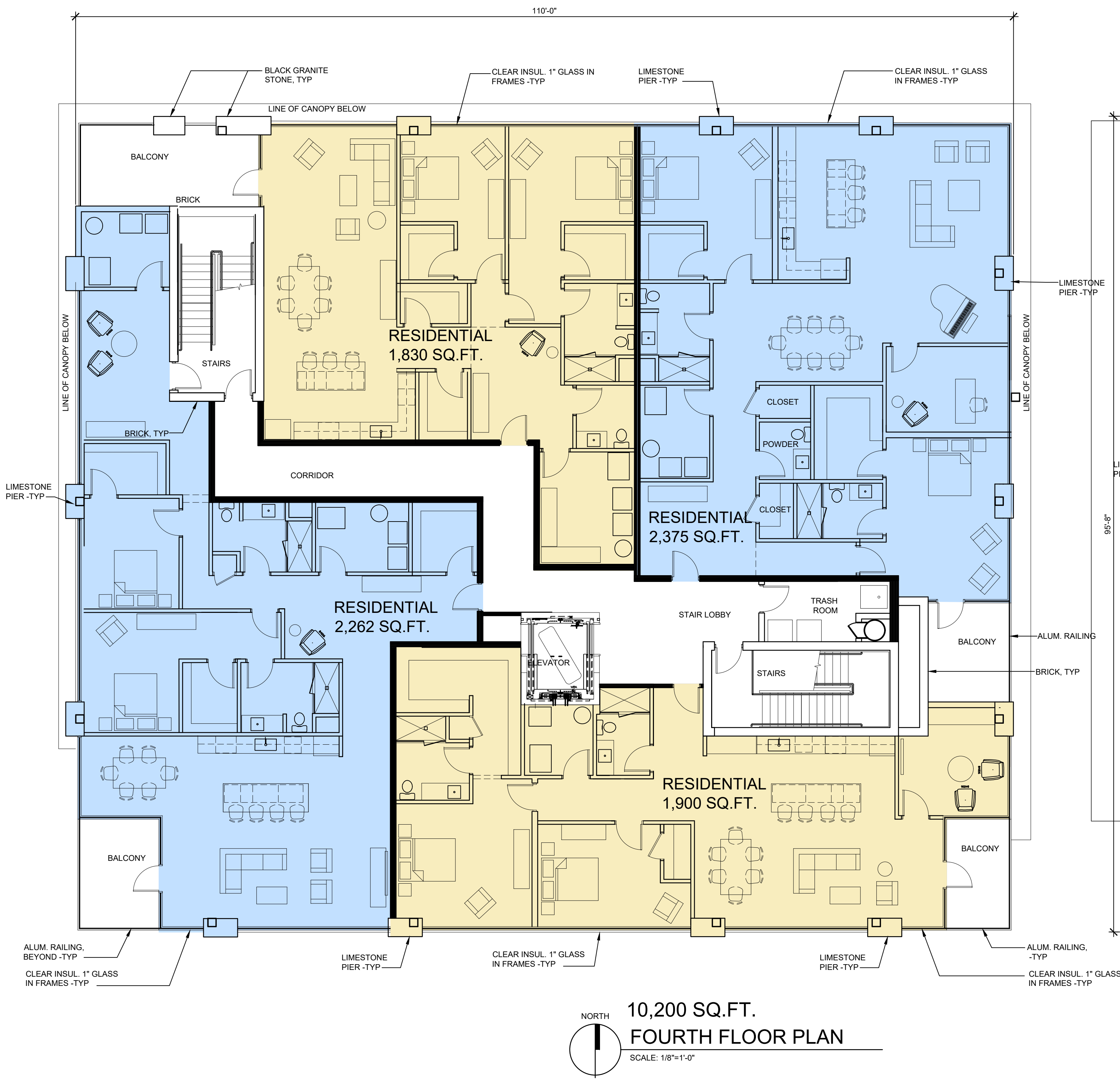
**PROPOSED
FLOOR PLANS**



2075.21

A.101



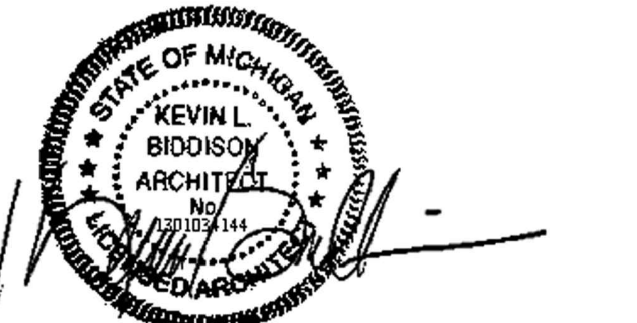


PROPOSED PROJECT FOR:
320 Martin - Addition

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22
CIS	05.06.22
MEETING	05.25.22
SITE PLAN APPROVAL	06.28.22

**PROPOSED
FLOOR PLANS**



2075.21

A.103



PROPOSED PROJECT FOR:
320 Martin - Addition

320 Martin St
Birmingham, MI 48009

CIS	05.06.22
SITE PLAN APPROVAL	06.28.22

**PROPOSED
ROOF PLAN**



2075.21

A.104

Consultants

Project title

PROPOSED BUILDING ADDITION FOR:
320 Martin - Addition

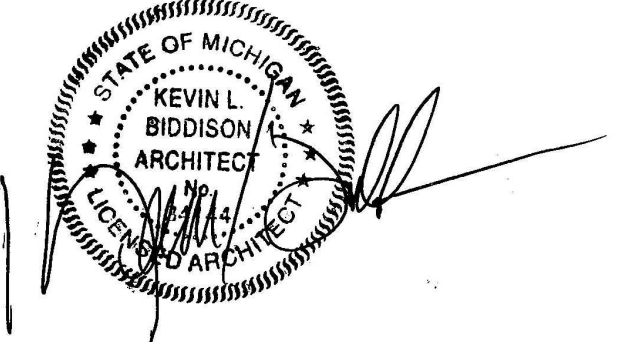
320 Martin St
Birmingham, MI 48009

Issued dr/ch

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22
CIS	05.06.22
DIM. REVISIONS	05.25.22
SITE PLAN APPROVAL	06.28.22

Sheet title

**PROPOSED
ELEVATIONS**



Project no.

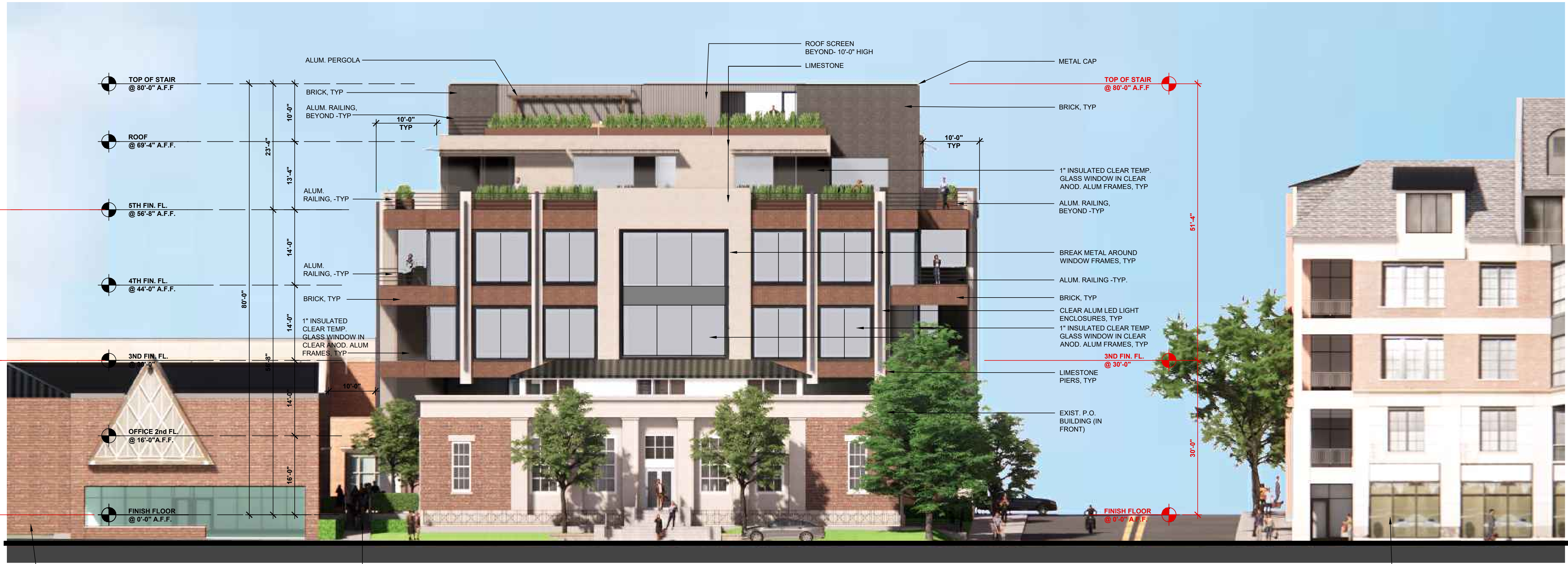
2075.21

Sheet no.

A.201



201.02 NORTH ELEVATION
A.202 SCALE: 3/32"=1'-0"



201.01 SOUTH ELEVATION
A.201 SCALE: 3/32"=1'-0"

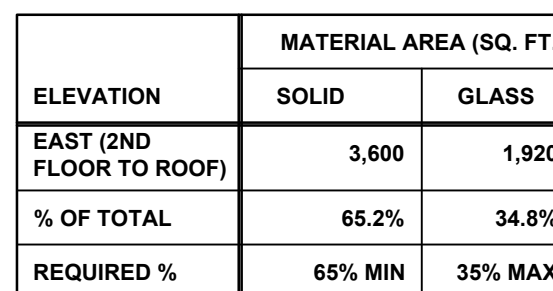
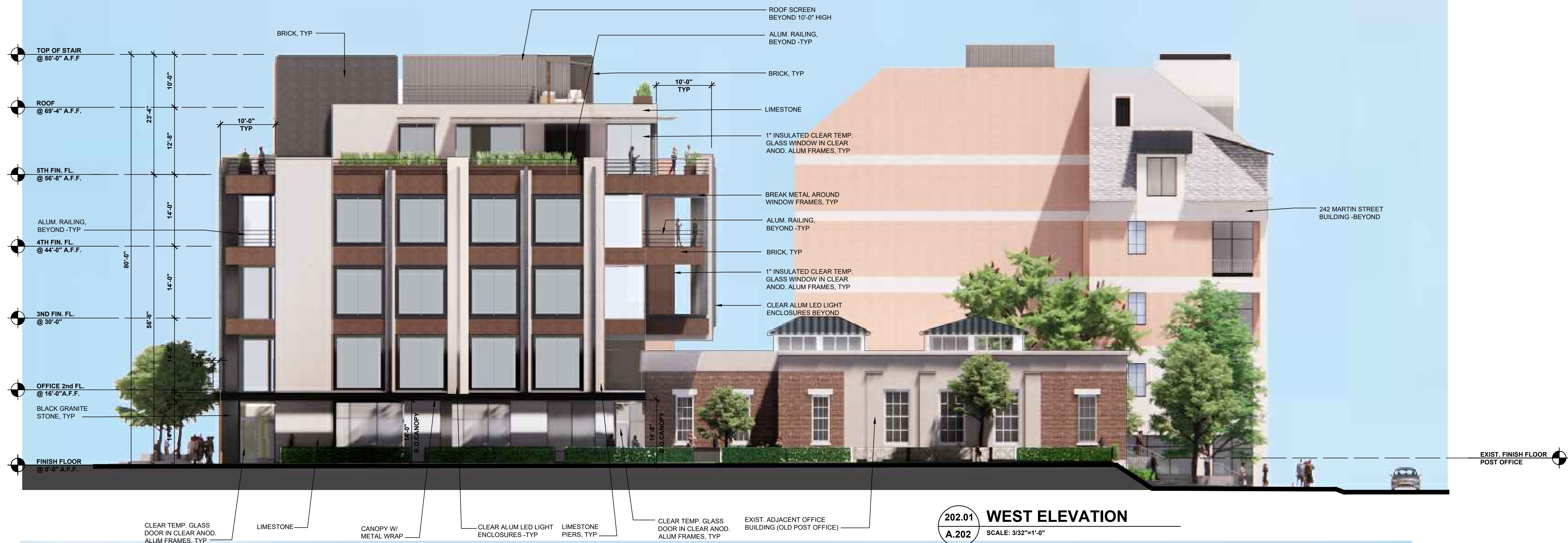
ELEVATION	MATERIAL AREA (SQ. FT.)	
	SOLID	GLASS
NORTH (2ND FLOOR TO ROOF)	4,372	2,323
% OF TOTAL	65.3%	34.7%
REQUIRED %	65% MIN	35% MAX

ELEVATION	MATERIAL AREA (SQ. FT.)	
	SOLID	GLASS
NORTH (1'-0" TO 8'-0")	468	515
% OF TOTAL	39.9%	52.1%
REQUIRED %	30% MAX	70% MIN

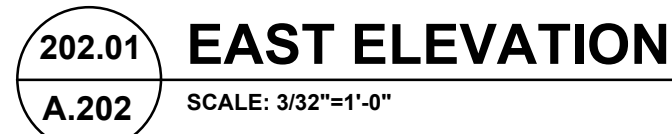
ELEVATION	MATERIAL AREA (SQ. FT.)	
	SOLID	GLASS
SOUTH (2ND FLOOR TO ROOF)	4,852	1,938
% OF TOTAL	71.5%	28.5%
REQUIRED %	65% MIN	35% MAX

ELEVATION	MATERIAL AREA (SQ. FT.)	
	SOLID	GLASS
SOUTH (1'-0" TO 8'-0")	656	250
% OF TOTAL	72.5%	27.5%
REQUIRED %	30% MAX	70% MIN

ELEVATION	MATERIAL AREA (SQ. FT.)	
	SOLID	GLASS
WEST (1'-0" TO 8'-0")	324 S.F.	341 S.F.
% OF TOTAL	47.7%	52.3%
REQUIRED %	30% MAX	70% MIN



ELEVATION	MATERIAL AREA (SQ. FT.)	
	SOLID	GLASS
EAST (1'-0" TO 8'-0")	217	446
% OF TOTAL	33%	67%
REQUIRED %	30% MAX	70% MIN





PROPOSED PROJECT FOR:
320 Martin - Addition

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22
CIS	05.06.22
SITE PLAN APPROVAL	06.28.22

PROPOSED
3D IMAGES



2075.21

A.301



PROPOSED PROJECT FOR:
320 Martin - Addition

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22
CIS	05.06.22
SITE PLAN APPROVAL	06.28.22

PROPOSED
3D IMAGES



2075.21

A.302

PROPOSED 3D IMAGE - EAST SIDE OF BATES

NO SCALE

PROPOSED PROJECT FOR:
320 Martin - Addition

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22
CIS	05.06.22
SITE PLAN APPROVAL	06.28.22

PROPOSED
3D IMAGES



2075.21

A.303



SE CORNER BATES & MARTIN
NO SCALE

PROPOSED PROJECT FOR:
320 Martin - Addition

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22
CIS	05.06.22
SITE PLAN APPROVAL	06.28.22

PROPOSED
3D IMAGES



2075.21

A.304

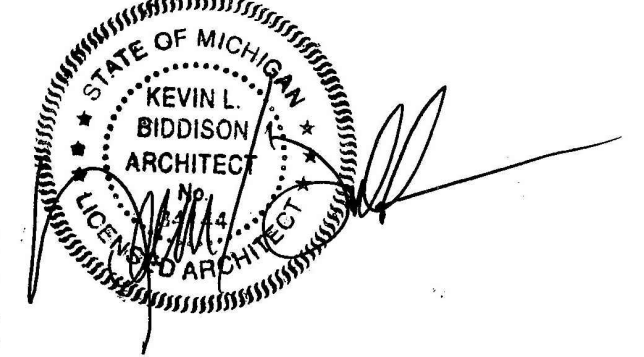


PROPOSED PROJECT FOR:
320 Martin - Addition

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22
CIS	05.06.22
SITE PLAN APPROVAL	06.28.22

PROPOSED
3D IMAGES



2075.21

A.305



EAST ENTRY BATES STREET


NO SCALE

PROPOSED PROJECT FOR:
320 Martin - Addition

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22
CIS	05.06.22
SITE PLAN APPROVAL	06.28.22

PROPOSED
3D IMAGES



2075.21

A.306



PROPOSED 3D IMAGES- MAPLE ROAD SIDEWALK

NO SCALE



PROPOSED PROJECT FOR:
320 Martin - Addition

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22
CIS	05.06.22
SITE PLAN APPROVAL	06.28.22

PROPOSED
3D IMAGES



2075.21

A.307

PROPOSED PROJECT FOR:
320 Martin - Addition

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22
CIS	05.06.22
SITE PLAN APPROVAL	06.28.22

PROPOSED
3D IMAGES



2075.21

A.308



PROPOSED PROJECT FOR:
320 Martin - Addition

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22
CIS	05.06.22
SITE PLAN APPROVAL	06.28.22

PROPOSED
3D IMAGES



2075.21

A.309



WEST BUILDING ENTRY - COMMUNITY THREAD PARK

NO SCALE

PROPOSED PROJECT FOR:
320 Martin - Addition

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22
CIS	05.06.22
SITE PLAN APPROVAL	06.28.22

PROPOSED
3D IMAGES



2075.21

A.310



COMMUNITY THREAD PARK LIBRARY IN VIEW
NO SCALE

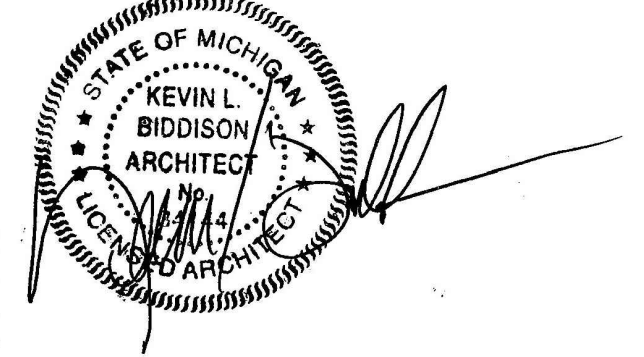


PROPOSED PROJECT FOR:
320 Martin - Addition

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22
CIS	05.06.22
SITE PLAN APPROVAL	06.28.22

PROPOSED
3D IMAGES



2075.21

A.311



PROPOSED PROJECT FOR:
320 Martin - Addition

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22
CIS	05.06.22
SITE PLAN APPROVAL	06.28.22

**PROPOSED
3D IMAGES**



2075.21

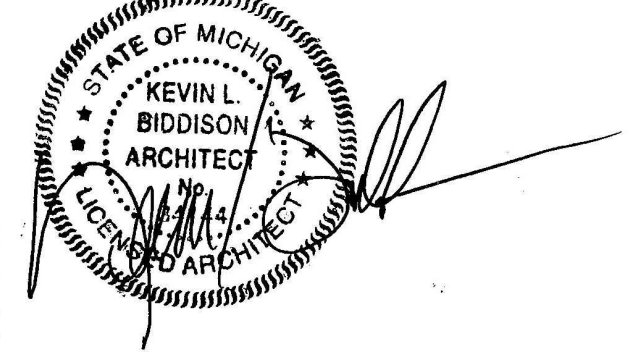
A.312

PROPOSED PROJECT FOR:
320 Martin - Addition

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22
CIS	05.06.22
SITE PLAN APPROVAL	06.28.22

PROPOSED
3D IMAGES



2075.21

A.313

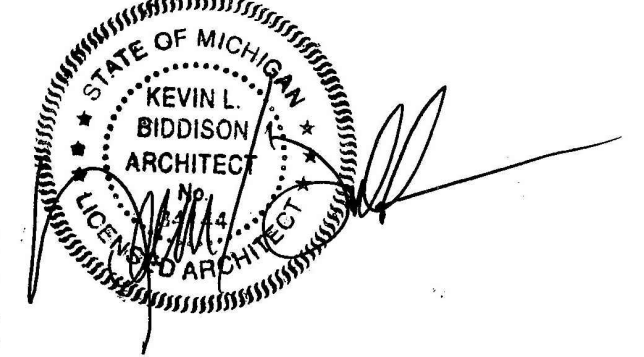


PROPOSED PROJECT FOR:
320 Martin - Addition

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22
CIS	05.06.22
SITE PLAN APPROVAL	06.28.22

PROPOSED
3D IMAGES



2075.21

A.314



ROOFTOP VIEW

NO SCALE



Consultants

Project title

PROPOSED PROJECT FOR:
320 Martin - Addition

320 Martin St
Birmingham, MI 48009

Issued dr/ch

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22
CIS	05.06.22
SITE PLAN APPROVAL	06.28.22

Sheet title

PROPOSED
3D IMAGES



Project no.

2075.21

Sheet no.

A.315

VIEW FROM LIBRARY - MARTIN STREET
NO SCALE



**PREVIOUSLY APPROVED DESIGN
REVIEW PLANS (3/16/22)**

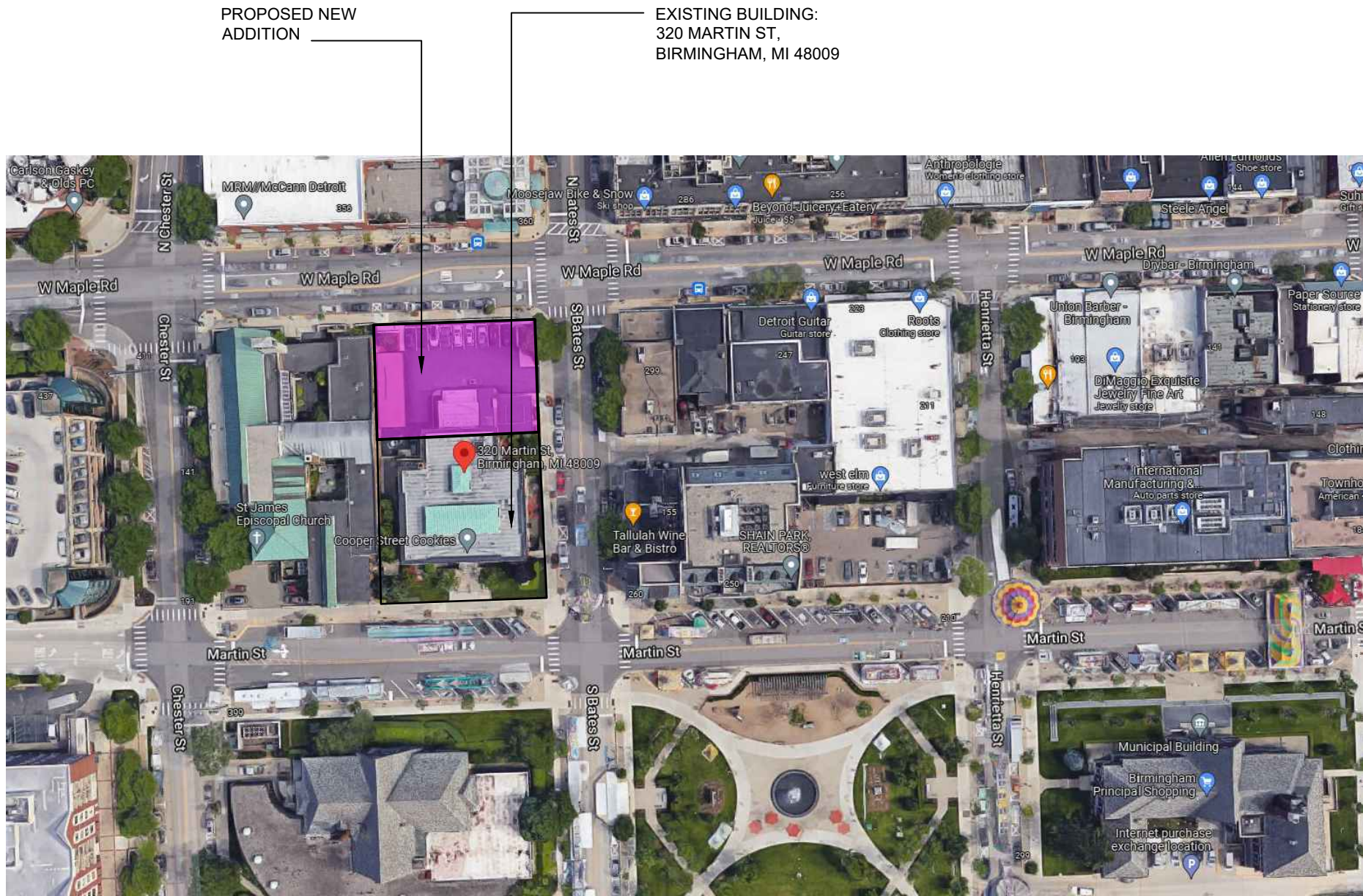
PROPOSED RENOVATION AND NEW ADDITION FOR:

BIRMINGHAM POST OFFICE ADDITION

biddison |
architecture + design

CONDITIONS OF WORK

CONSTRUCTION COORDINATION:	PERMITS & SAFETY:	CODE COMPLIANCE:
1. ALL CONTRACTORS SHALL REVIEW ALL DRAWINGS & ARE RESPONSIBLE FOR A COMPLETE REVIEW & SITE VISIT. ITEMS AFFECTING ALL TRADES ARE PLACED THROUGHOUT SET & NO "EXTRAS" FOR MISSED ITEMS IN OTHER SECTIONS WILL BE PERMITTED. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT OF ANY AMBIGUITY, INCONSISTENCY OR ERRORS WHICH THEY DISCOVER UPON EXAMINATION OF DOCUMENTS, THE SITE OR LOCAL CONDITIONS.	1. GENERAL CONTRACTOR SHALL APPLY & SUBMIT FOR BUILDING PERMIT.	1. WORK INDICATED IS TO BE EXECUTED IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES.
2. ANY CONTRACTOR OR SUBCONTRACTOR BY SUBMITTING A BID WARRANTS THAT HE HAS VISITED THE SITE AND IS AWARE OF ANY AND ALL SITE CONDITIONS AFFECTING HIS BID.	2. GENERAL CONTRACTOR SHALL OBTAIN "ALL RISK" INSURANCE AND ALL CUSTOMARY STATUTORY INSURANCE FOR COMPREHENSIVE GENERAL LIABILITY, ETC. AS REQUIRED BY OWNER/LANDLORD.	2. FIRE EXTINGUISHERS SHALL BE PROVIDED BY G.C. AND INSTALLED PER THE FIRE MARSHALL'S INSTRUCTIONS.
3. THE CONTRACTOR BY COMMENCING WORK ACCEPTS THE CONDITIONS OF THE SITE & THE COMPLETENESS OF CONTRACT DOCUMENTS.	3. GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF WORK, MATERIALS, FIXTURES, ETC. IN LEASED SPACE FROM LOSS OR DAMAGE FROM FIRE, THEFT OR VANDALISM.	3. ALL WALL FINISHES TO MEET CLASS III FLAME SPREAD RATINGS IN ACCORDANCE WITH MBC-2015 CHAPTER 8.
4. FIELD VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT. DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY.	4. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA). THE FOLLOWING ARE STRICTLY PROHIBITED WORK PRACTICES.	4. INTERIOR FINISHES IN EXIT ACCESS CORRIDORS, OTHER EXIT WAYS, ROOMS, AND ENCLOSED SPACES IN USE GROUPS "B" AND "S" IN SPRINKLED BUILDINGS ARE REQUIRED TO HAVE AT LEAST A CLASS C FLAME SPREAD 76-200; SMOKE DEVELOPED 0-450; RATING AS LISTED IN THE 2015 MICHIGAN BUILDING CODE.
5. ANY MATERIAL OR LABOR NEITHER SHOWN ON THE DRAWINGS NOR SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK IN A WORKMANLIKE MANNER SHALL BE FURNISHED WITHOUT COST TO THE OWNER.	A. ANY COMBUSTIBLE MATERIALS ABOVE FINISHED CEILING OR IN ANY NON-SPRINKLED LOCATIONS.	5. SAFETY GLAZING MUST HAVE PERMANENT IDENTIFICATION IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE.
6. ALL MATERIALS FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR SHALL BE FREE FROM DEFECTS. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF (1) YEAR FROM DATE OF ACCEPTANCE OF WORK. DURING THIS PERIOD THE GENERAL CONTRACTOR SHALL CORRECT ANY PROBLEMS DUE TO DEFECTIVE MATERIALS OR FAULTY WORKMANSHIP AT NO COST TO THE OWNER. ANY PROBLEM THAT OCCURS DURING CONSTRUCTION SHALL IMMEDIATELY BE CORRECTED TO THE SATISFACTION OF THE OWNER.	B. IMPOSING ANY STRUCTURAL LOAD, TEMPORARY OR PERMANENT ON ANY PART OF THE LANDLORD'S WORK OR STRUCTURE WITHOUT PRIOR WRITTEN APPROVAL.	6. ALL REQUIREMENTS OF THE MICHIGAN BARRIER FREE ACT & THE AMERICAN'S WITH DISABILITIES ACT SHALL BE MAINTAINED TO COMPLY WITH ICC/A117.1-2009.
7. NO SUBSTITUTIONS OF SPECIFIED MATERIAL OR EQUIPMENT WILL BE ACCEPTED UNLESS WRITTEN REQUEST FOR APPROVAL HAS BEEN RECEIVED BY THE ARCHITECT AND CONTRACTOR HAS RECEIVED WRITTEN APPROVAL FROM ARCHITECT.	C. CUTTING ANY HOLES IN LANDLORD'S EXISTING FLOOR SLABS, WALLS OR ROOF WITHOUT PROPER APPROVAL'S PROPER APPROVALS FROM LANDLORD. BEFORE STARTING ANY UNDERSLAB WORK CONTRACTORS MUST CHECK WITH THE LANDLORD OR SUPERINTENDENT OF THE LANDLORD'S GENERAL CONTRACTOR TO DETERMINE IF ANY COMMON UTILITY OR OTHER TENANT UTILITY LINES EXIST WITHIN THE SPACE.	7. ALL OFFICE FURNITURE & EQUIPMENT TO BE PROVIDED BY TENANT- SHOWN FOR LAYOUT PURPOSES ONLY. TO COMPLY WITH ADA- ICC/A117.1-2009 (TYP.) REQUIREMENTS, A MINIMUM OF 5%, BUT NOT LESS THAN (1) OF THE LUNCHROOM TABLES AND EMPLOYEE WORKSTATIONS (CUBICLES) SHALL BE ACCESSIBLE. ACCESSIBLE TABLE AND WORKSTATION TOPS SHALL BE 28" MIN. TO 34" MAX. A.F.F. KNEE AND TOE CLEARANCES AS FOLLOWS SHALL ALSO APPLY- TOE: 4" MIN. HIGH, 17" MIN. TO 25" MAX. DEPTH, AND 30" MIN. WIDE. KNEE: 27" MIN. HIGH, 11" DEEP @ 9" HIGH TO 8" DEEP @ 27" HIGH, AND 30" MIN. WIDE.
8. DURING AND AT THE COMPLETION OF THE CONTRACTOR'S DAILY WORK, CONTRACTOR IS RESPONSIBLE FOR THE CLEANING UP AND REMOVAL OF ALL RUBBISH AND DEBRIS BEFORE LEAVING THE PROJECT JOB SITE.		8. ALL ENTRANCE AND EXIT DOORS SHALL HAVE BARRIER FREE ACCESSIBILITY TO COMPLY WITH ICC/A117.1-2009.
		9. TO COMPLY WITH ADA - ICC/A117.1-2009 (TYP.) REQUIREMENTS, CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE RAMPED AND CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED A MAXIMUM OF 1:2.
		10. ALL LUNCHROOM APPLIANCES TO BE PROVIDED BY TENANT. TO COMPLY WITH ADA-ICC/A117.1-2009 (TYP.) REQUIREMENTS, DISHWASHERS MUST FIT UNDER A 34" HIGH (32 1/4" CLEAR UNDER) COUNTERTOP. THE REFRIGERATOR MUST BE A SIDE-BY-SIDE OR BOTTOM FREEZER UNIT, AND ALL MICROWAVE CONTROLS TO BE NO HIGHER THAN 46" A.F.F. TO MEET OBSTRUCTED HIGH SIDE REACH REQUIREMENTS.
		11. SIGNAGE INDICATING ACCESSIBILITY PROVISIONS SHALL BE PROVIDED AT EACH DOOR TO AN EXIT DISCHARGE. A TACTILE SIGN STATING EXIT AND COMPLYING WITH ICC/ANSI A117.1-2009 SHALL BE PLACED ADJACENT TO THE DOOR. PLEASE REFER TO SHEET A. 601 FOR ADDITIONAL INFORMATION AND LOCATION.
		THE BUILDING IS PROVIDED WITH A FULL AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM (FIRE SUPPRESSION SYSTEM) WHICH WILL BE DESIGNED TO MEET M.B.C. REQUIREMENTS AND CITY OF BIRMINGHAM INSPECTION AND PERMIT APPROVAL. SPRINKLER CONTRACTOR SHALL BE FULLY LICENSED AND BE RESPONSIBLE FOR PREPARATION OF ENGINEERING DRAWING, SUBMISSION OF DRAWINGS TO ALL LOCAL AND STATE AGENCIES FOR APPROVAL, AND FOR COORDINATION OF REQUIREMENTS WITH OWNERS AND TENANTS INSURANCE CARRIER.



PROJECT ADDRESS

320 Martin Street
Birmingham, Michigan 48009

Zoned: B-4 Business Residential

APPLICANT INFORMATION

320 Investments LLC
320 Martin St, Suite 100
Birmingham, MI 48009
e. Sam@Surnow.com
p. 248.877.4000

SHEET INDEX

T.101	TITLE SHEET
SP.100	EXISTING CONDITIONS & SITE SURROUNDINGS
SP.101	SITE PLAN
A.101	FLOOR PLANS
A.102	FLOOR PLANS
A.103	FLOOR PLANS
A.201	ELEVATIONS
A.202	ELEVATIONS
A.301	3D PERSPECTIVE IMAGE
A.302	3D PERSPECTIVE IMAGE
A.303	3D PERSPECTIVE IMAGE
A.304	3D PERSPECTIVE IMAGE
A.305	3D PERSPECTIVE IMAGE
A.306	3D PERSPECTIVE IMAGE
A.307	3D PERSPECTIVE IMAGE
A.308	3D PERSPECTIVE IMAGE
A.309	3D PERSPECTIVE IMAGE
A.310	3D PERSPECTIVE IMAGE
A.311	3D PERSPECTIVE IMAGE
A.312	3D PERSPECTIVE IMAGE
A.313	3D PERSPECTIVE IMAGE
A.314	3D PERSPECTIVE IMAGE

320 Martin Street Suite 10
Birmingham, MI 48009
t:248.554.9500
Contact Person: Kevin Biddison
e.mail: kb@biddison-ad.com

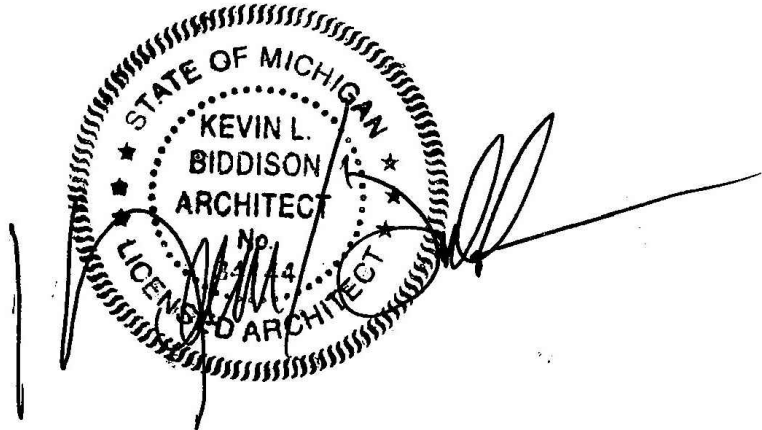
Consultants

Project data

GOVERNING CODES:	2015 MICHIGAN BUILDING CODE 2015 MICHIGAN PLUMBING CODE 2015 MICHIGAN MECHANICAL CODE 2015 MICHIGAN REHABILITATION CODE 2015 INTERNATIONAL FUEL GAS CODE MICHIGAN ELECTRICAL CODE, 2014 N.E.C. W/ PART 8 STATE AMENDMENTS ICC/ANSI A117.1-2015 AND MICHIGAN BARRIER FREE DESIGN LAW OF PUBLIC ACT 1 OF 1966 AS AMENDED. MICHIGAN UNIFORM ENERGY CODE RULES PART 10 WITH ANSI/ASHRAE/IESNA STANDARD 90.1-2015 2015 INTERNATIONAL FIRE CODE NFPA 13 - 2010 NFPA 72 - 2010
BUILDING USE GROUP(S):	GENERAL BUSINESS & RESIDENTIAL
TYPE OF CONSTRUCTION:	2015 MBC: 2B (UN-PROTECTED) NFPA 220: TYPE II-000 NFPA 13: 2010 NFPA 72: 2010
UNDERGROUND GARAGE AREA:	8,058 SQFT
FIRST FLOOR AREA:	9,248 SQFT
SECOND FLOOR AREA:	9,000 SQFT
THIRD FLOOR AREA:	10,200 SQFT
FOURTH FLOOR AREA:	10,200 SQFT
FIFTH FLOOR AREA:	6,200 SQFT
TOTAL ADDITION AREA:	52,906 SQFT

Issued for

HISTORIC DESIGN BOARD REVIEW	01.24.2022
HISTORIC DESIGN BOARD REVIEW	03.09.2022



Project no.

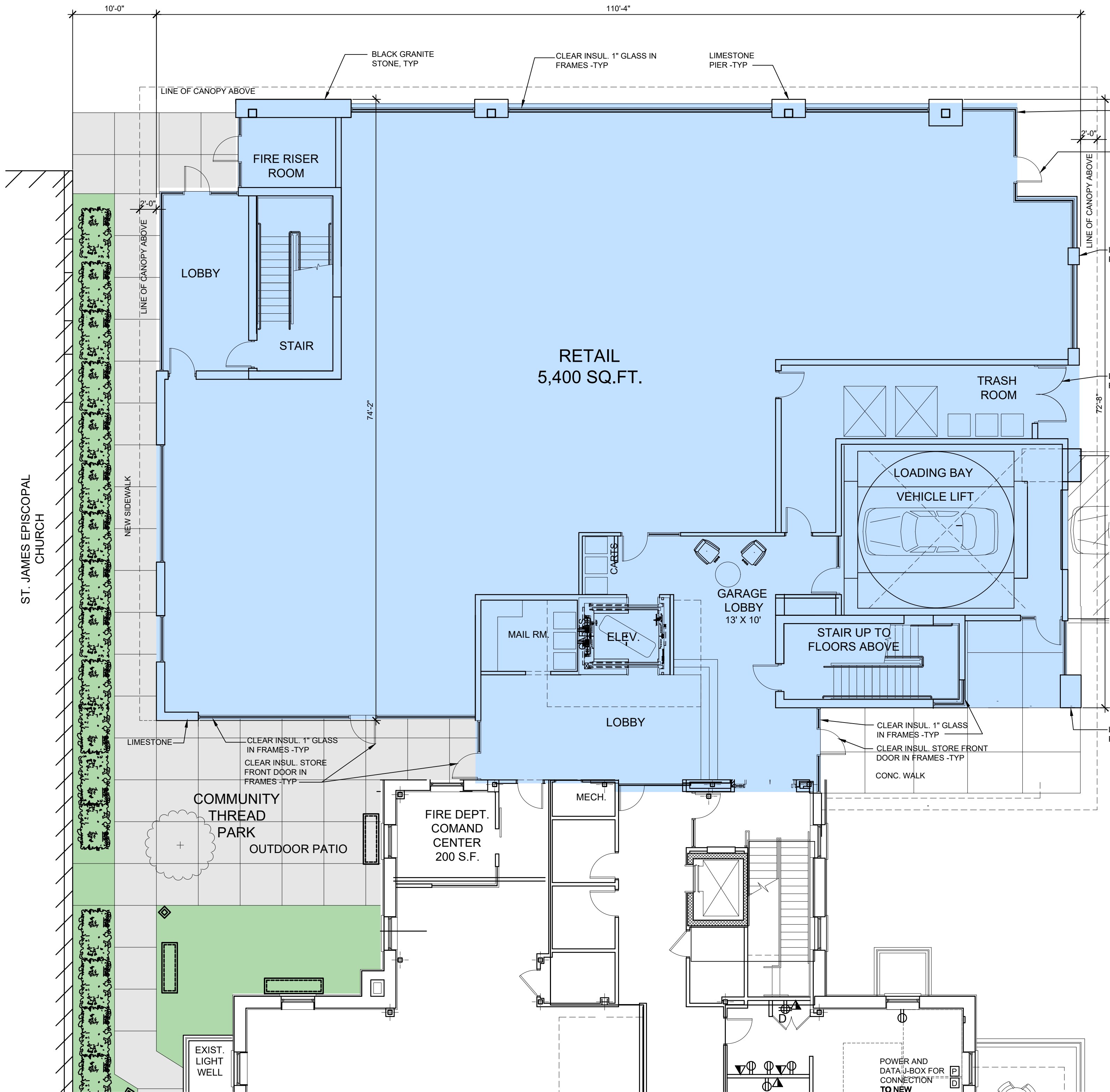
BIRMINGHAM P.O. ADDITION

2075-21

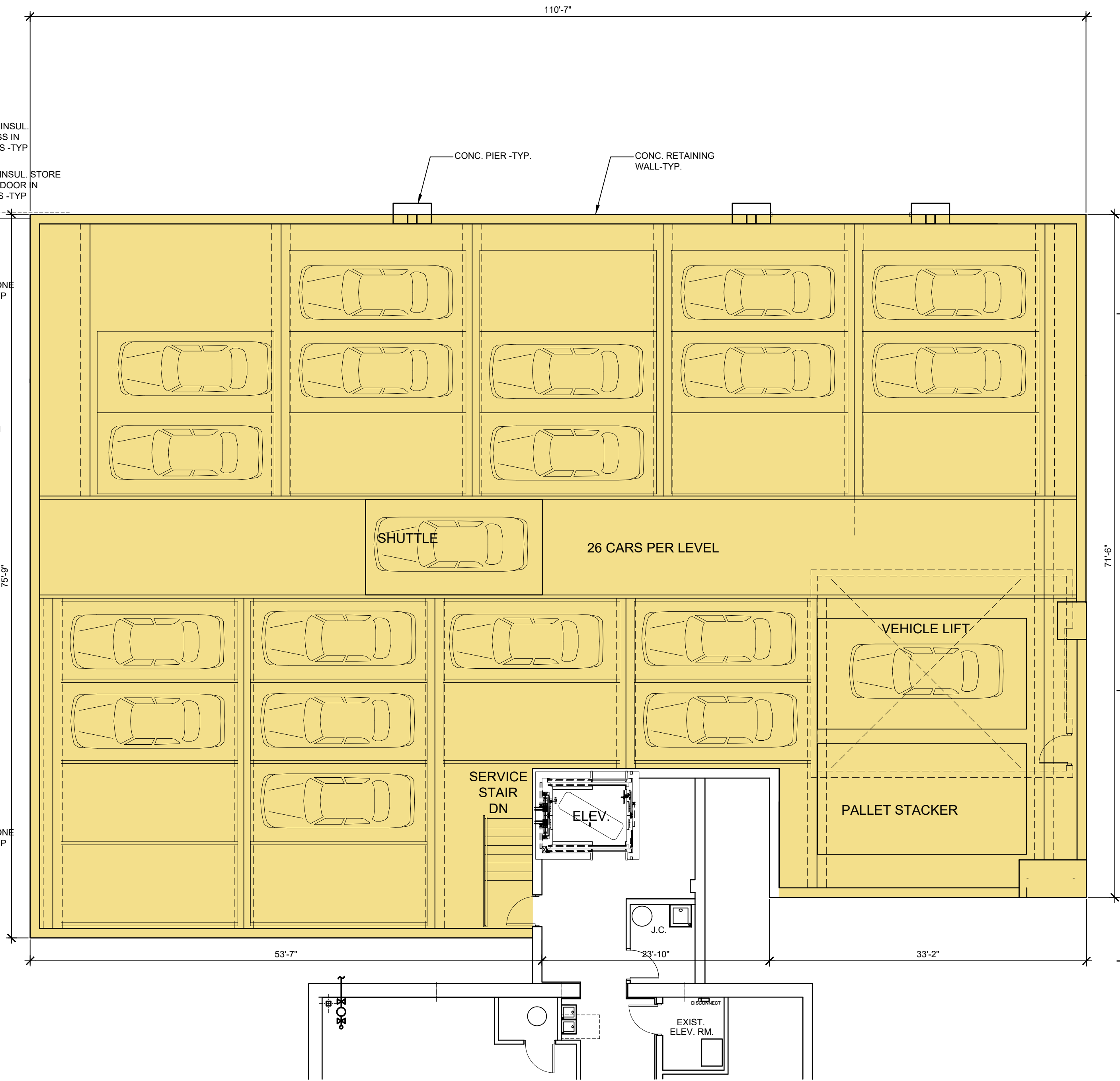
Sheet no.

T.101





NORTH
8,710 S.F.
FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



NORTH
8,058 SQFT
LOWER LEVEL FLOOR PLAN
SCALE: 1/8"=1'-0"

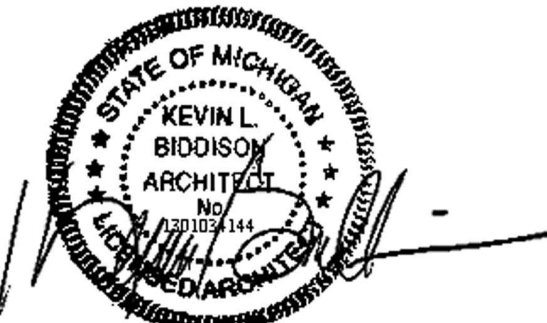
PROPOSED BUILDING ADDITION FOR:

BIRMINGHAM
POST OFFICE

320 Martin St
Birmingham, MI 48009

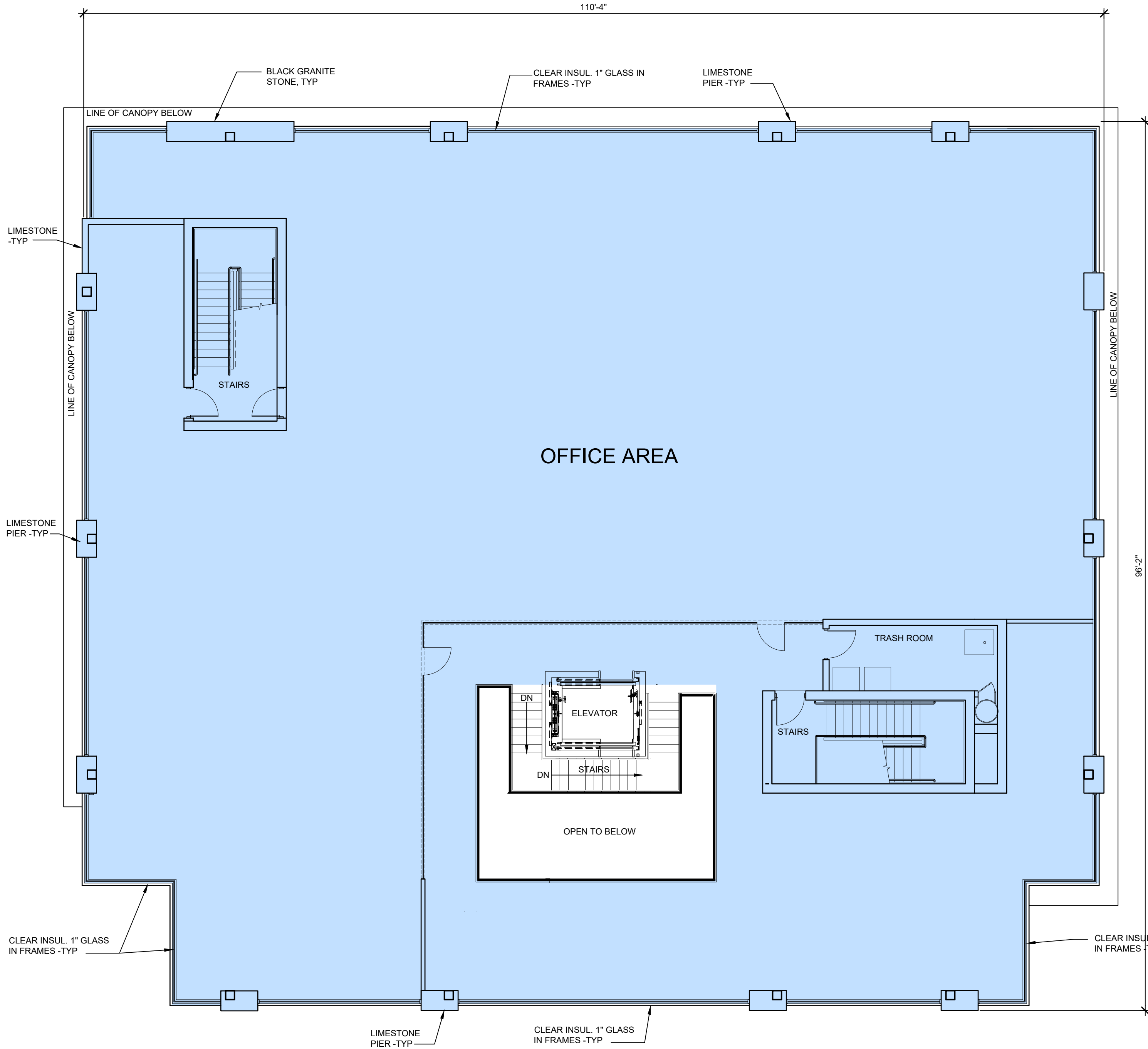
HISTORIC REVIEW 01.24.22
HISTORIC REVIEW 03.09.22

PROPOSED
FLOOR PLANS



2075.21

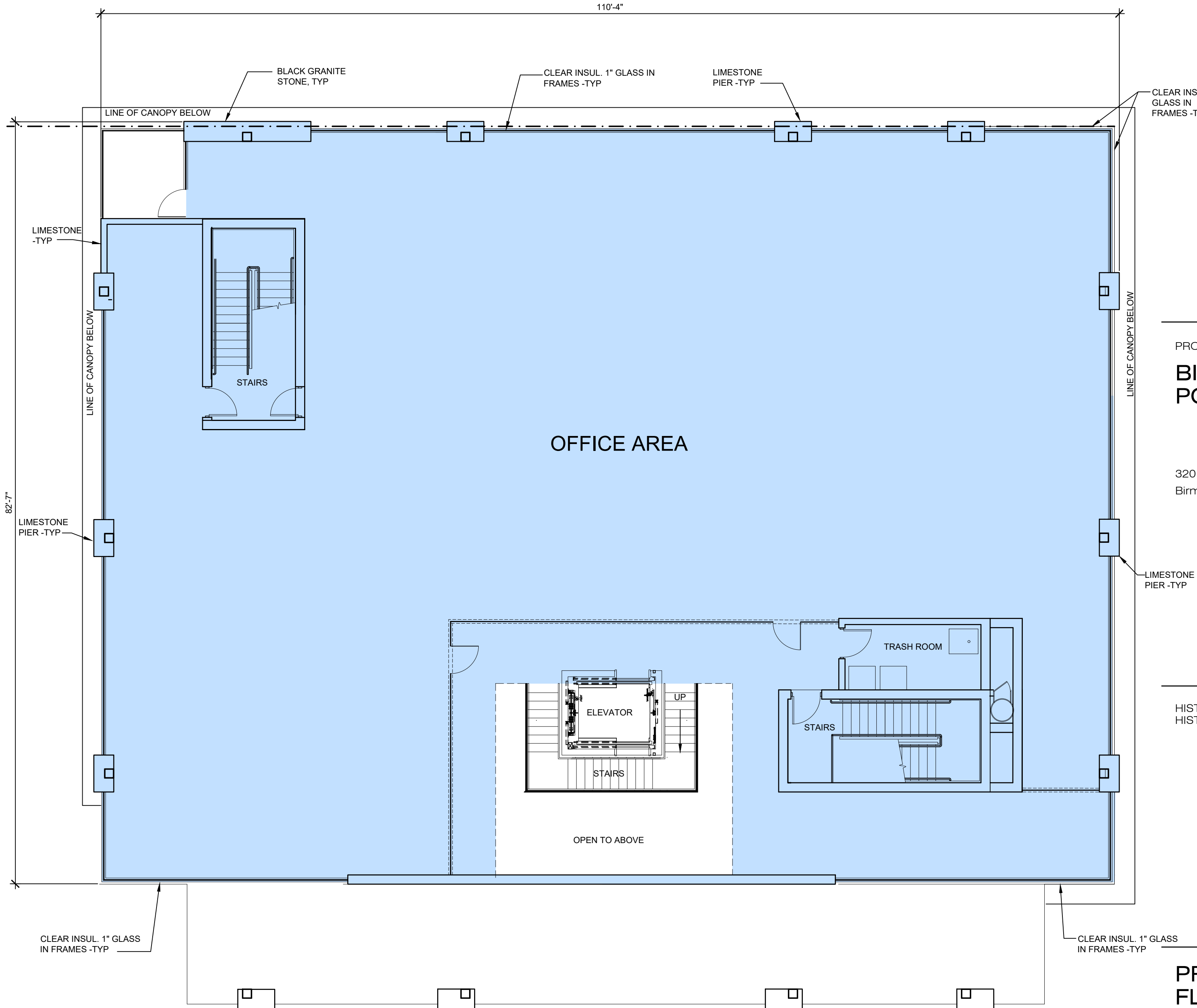
A.101



NORTH

10,200 SQ.FT.
THIRD FLOOR PLAN

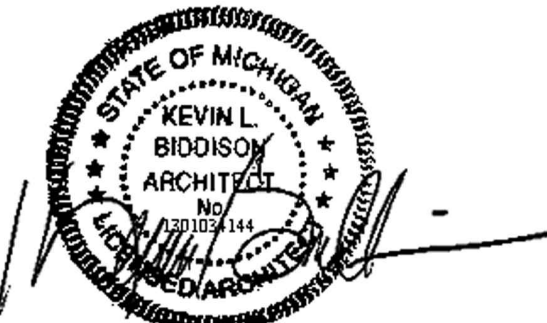
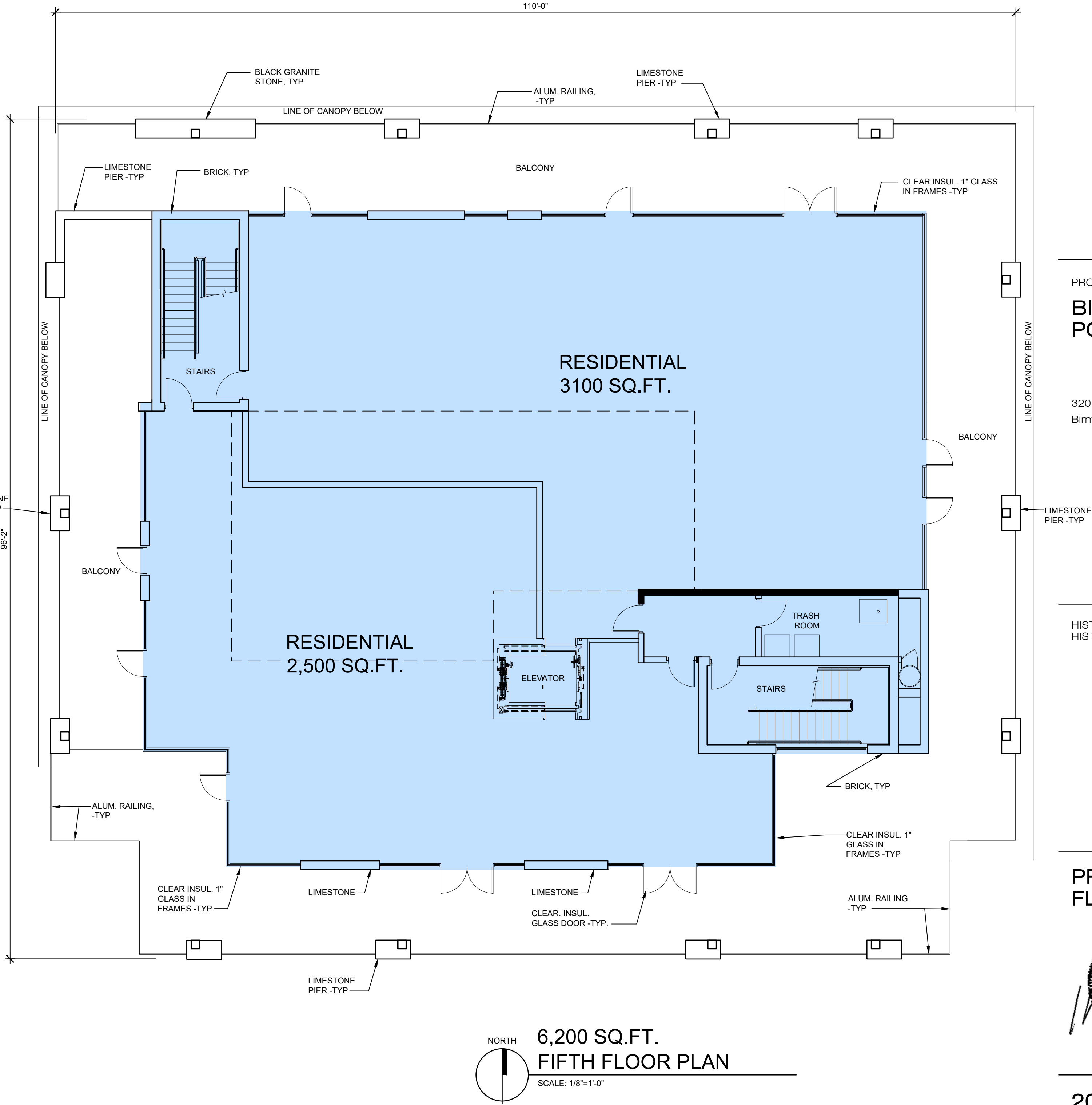
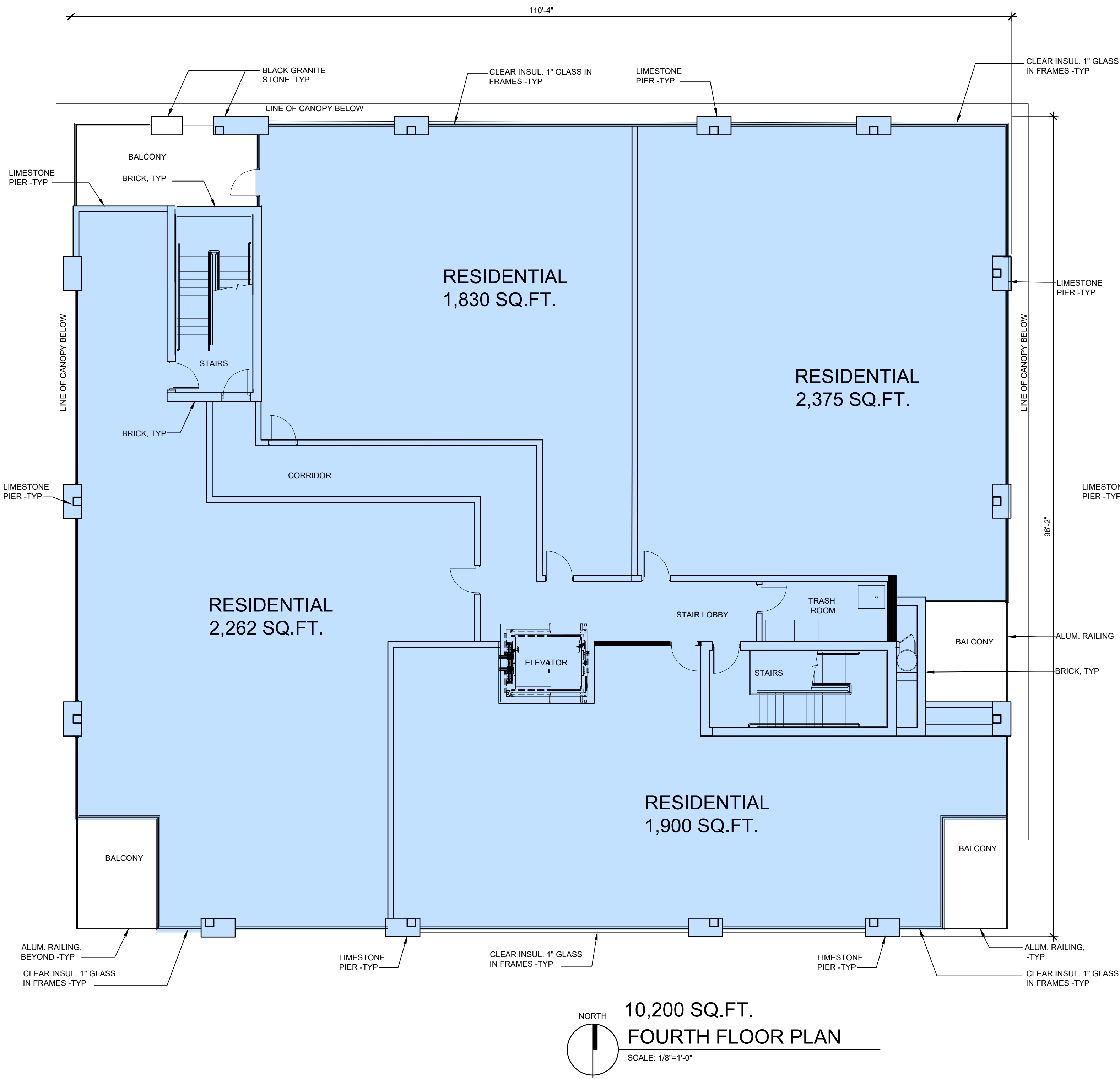
SCALE: 1/8"=1'-0"



NORTH

9,000 SQ.FT.
SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"



Consultants

Project title

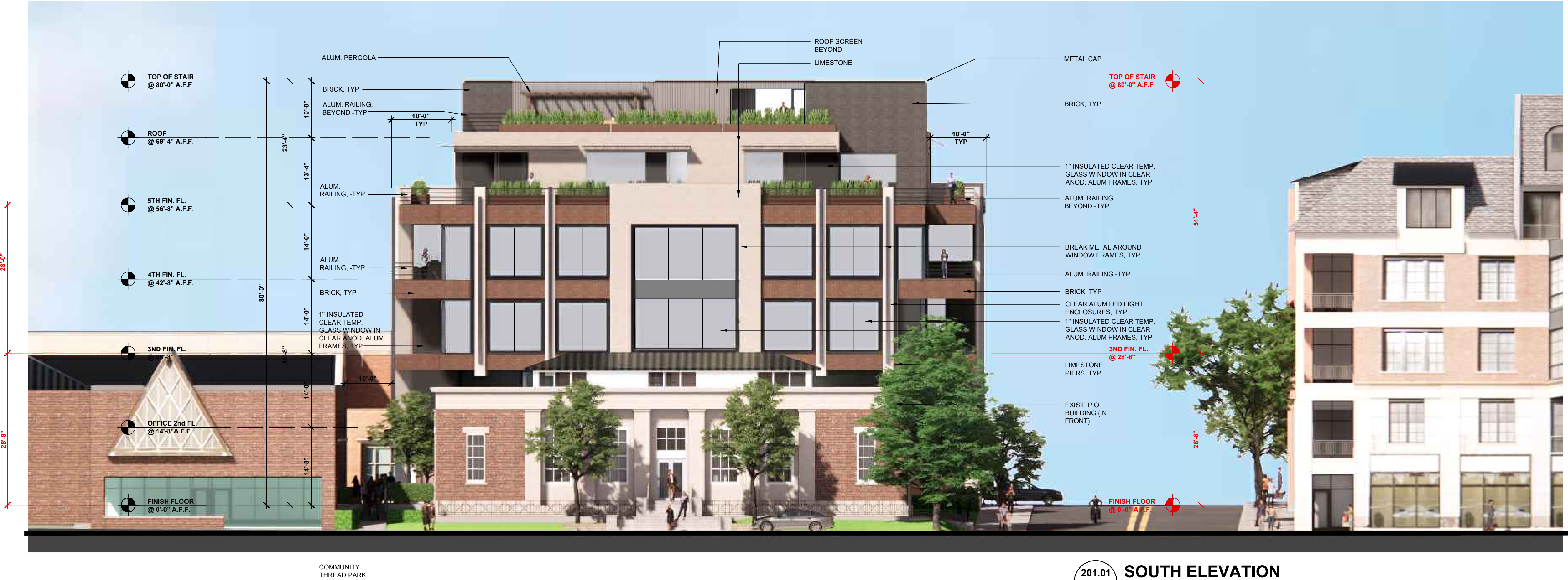
PROPOSED BUILDING ADDITION FOR:

BIRMINGHAM
POST OFFICE

320 Martin St
Birmingham, MI 48009



201.02 NORTH ELEVATION
A.202 SCALE: 3/32"=1'-0"



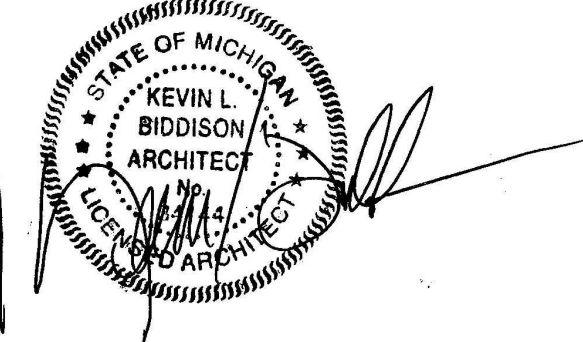
201.01 SOUTH ELEVATION
A.201 SCALE: 3/32"=1'-0"

Issued dr/ch

HISTORIC REVIEW 01.24.22
HISTORIC REVIEW 03.09.22

Sheet title

PROPOSED
ELEVATIONS



Project no.

2075.21

Sheet no.

A.201

Consultants

Project title

PROPOSED BUILDING ADDITION FOR:

BIRMINGHAM
POST OFFICE

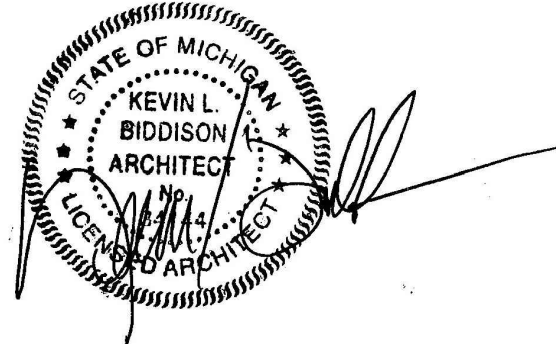
320 Martin St
Birmingham, MI 48009

Issued dr/ch

HISTORIC REVIEW
HISTORIC REVIEW
01.24.22
03.09.22

Sheet title

PROPOSED
ELEVATIONS



Project no.

2075.21

Sheet no.

A.202



202.01 WEST ELEVATION
A.202 SCALE: 3/32"=1'-0"



202.01 EAST ELEVATION
A.202 SCALE: 3/32"=1'-0"



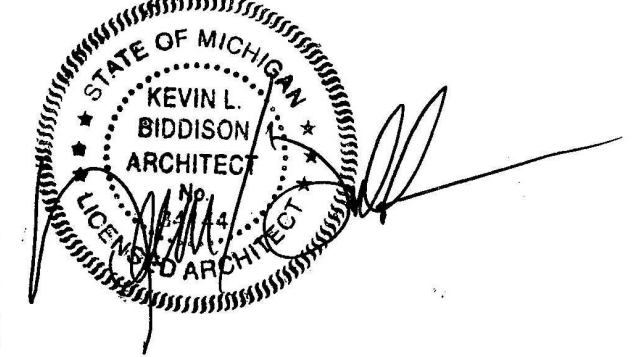
PROPOSED BUILDING ADDITION FOR:

BIRMINGHAM
POST OFFICE

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW 01.24.22
03.09.22

PROPOSED
3D IMAGES



2075.21

A.301



PROPOSED BUILDING ADDITION FOR:

BIRMINGHAM
POST OFFICE

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22

PROPOSED
3D IMAGES



2075.21

A.302



PROPOSED BUILDING ADDITION FOR:

BIRMINGHAM
POST OFFICE

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22

PROPOSED
3D IMAGES



2075.21

A.303



PROPOSED BUILDING ADDITION FOR:

BIRMINGHAM
POST OFFICE

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22

PROPOSED
3D IMAGES



2075.21

A.304



PROPOSED BUILDING ADDITION FOR:

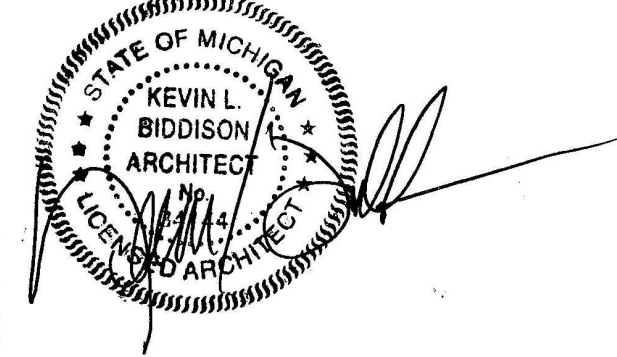
BIRMINGHAM
POST OFFICE

320 Martin St.
Birmingham, MI 48009

HISTORIC REVIEW
HISTORIC REVIEW

01.24.22
03.09.22

PROPOSED
3D IMAGES



2075.21

A.305



PROPOSED BUILDING ADDITION FOR:

BIRMINGHAM
POST OFFICE

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22

PROPOSED
3D IMAGES



2075.21

A.306

PROPOSED BUILDING ADDITION FOR:

BIRMINGHAM
POST OFFICE

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22

PROPOSED
3D IMAGES



2075.21

A.307





303.01
A.303

3D VIEW - COMMUNITY THREAD PARK
NO SCALE

PROPOSED BUILDING ADDITION FOR:

BIRMINGHAM
POST OFFICE

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22

PROPOSED
3D IMAGES



2075.21

A.308



PROPOSED BUILDING ADDITION FOR:

BIRMINGHAM
POST OFFICE

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22

PROPOSED
3D IMAGES



2075.21

A.310

303.02
A.303

COMMUNITY THREAD PARK LIBRARY IN VIEW
NO SCALE



PROPOSED BUILDING ADDITION FOR:

BIRMINGHAM
POST OFFICE

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22

PROPOSED
3D IMAGES



2075.21

A.311



PROPOSED BUILDING ADDITION FOR:

BIRMINGHAM
POST OFFICE

320 Martin St
Birmingham, MI 48009

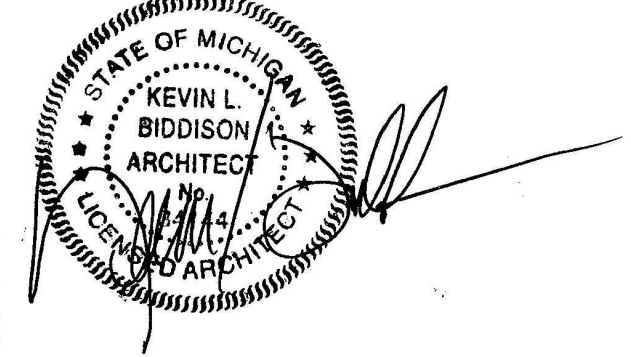
HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22

PROPOSED
3D IMAGES



2075.21

A.312



304.01
A.304

NO SCALE

PROPOSED 3D IMAGE - EAST SIDE OF BATES

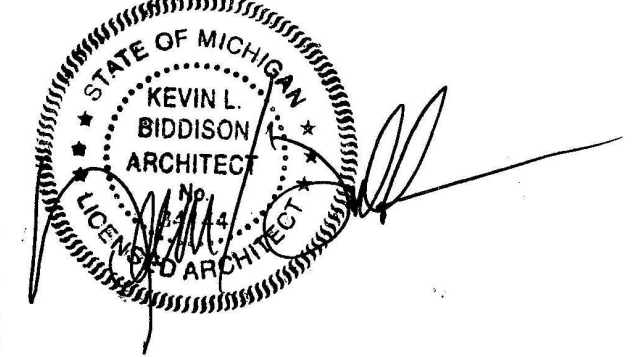
PROPOSED BUILDING ADDITION FOR:

BIRMINGHAM
POST OFFICE

320 Martin St
Birmingham, MI 48009

HISTORIC REVIEW	01.24.22
HISTORIC REVIEW	03.09.22

PROPOSED
3D IMAGES



2075.21

A.314





AGENDA
BIRMINGHAM HISTORIC DISTRICT COMMISSION
WEDNESDAY – DECEMBER 21, 2022
BIRMINGHAM CITY HALL, 151 MARTIN STREET, COMMISSION ROOM 205, BIRMINGHAM, MI*
******* 7:00 PM*******

The City recommends members of the public wear a mask if they have been exposed to COVID-19 or have a respiratory illness. City staff, City Commission and all board and committee members must wear a mask if they have been exposed to COVID-19 or actively have a respiratory illness. The City continues to provide KN-95 respirators and triple layered masks for attendees.

- 1) Roll Call
- 2) [Approval of the HDC Minutes of December 7, 2022](#)
- 3) Courtesy Review
- 4) Historic Design Review
- 5) Sign Review
- 6) Study Session
 - A. [Historic Design Guidelines – Deliverable #2](#)
- 7) Miscellaneous Business and Communication
 - A. Pre-Application Discussions
 - B. Draft Agenda
 1. [January 4, 2023](#)
 - C. Staff Reports
 1. [Administrative Sign Approvals](#)
 2. [Administrative Approvals](#)
 3. [Demolitions](#)
 4. [Action List 2022](#)
- 8) Adjournment

*Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall, 151 Martin St., or may attend virtually at:

Link to Access Virtual Meeting: <https://zoom.us/j/91282479817>
Telephone Meeting Access: 877 853 5247 US Toll-free
Meeting ID Code: 912 8247 9817

Notice: Individuals requiring accommodations, such as interpreter services for effective participation in this meeting should contact the City Clerk's Office at [\(248\) 530-1880](tel:2485301880) at least on day in advance of the public meeting.

Las personas que requieren alojamiento, tales como servicios de interpretación, la participación efectiva en esta reunión deben ponerse en contacto con la Oficina del Secretario Municipal al [\(248\) 530-1880](tel:2485301880) por lo menos el día antes de la reunión pública. (Title VI of the Civil Rights Act of 1964).

A PERSON DESIGNATED WITH THE AUTHORITY TO MAKE DECISIONS MUST BE PRESENT AT THE MEETING.

Historic District Commission Action List – 2022-2023

Historic District Commission	Quarter Goals	In Progress	Complete
Schedule Training Sessions for HDC and Community	1 st (January-March)	<input type="checkbox"/>	<input type="checkbox"/>
Draft Recommendations for Bates St. Historic District Signage	1 st (January-March)	<input type="checkbox"/>	<input type="checkbox"/>
Begin Historic Design Guidelines Project	2 nd (April-June)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Historic Plaque for Community House	2 nd (April-June)	<input type="checkbox"/>	<input type="checkbox"/>
Develop Resources for the Michigan Historic Preservation Tax Credit	3 rd (July-September)	<input type="checkbox"/>	<input type="checkbox"/>
Historic District Ordinance Enforcement	4 th (October-December)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
First Draft – Historic Preservation Master Plan	4 th (October-December)	<input type="checkbox"/>	<input type="checkbox"/>