CITY OF BIRMINGHAM
MEETING OF THE BOARD OF ZONING APPEALS
TUESDAY, MAY 9, 2023
7:30 PM

The meeting will be held in the City Commission Room at City Hall, 151 Martin St. Birmingham, MI 48009. Should you have any statement regarding any appeals, you are invited to attend the meeting in person or virtually through ZOOM:

https://zoom.us/j/963 4319 8370 or dial: **877-853-5247 Toll-Free,**
Meeting Code: 963 4319 8370

You may also provide a written statement to the Board of Zoning Appeals, City of Birmingham, 151 Martin Street, P.O. Box 3001, Birmingham MI, 48012-3001 prior to the hearing

1. CALL TO ORDER

2. ROLL CALL

3. ANNOUNCEMENTS

4. APPROVAL OF THE MINUTES

a) APRIL 11, 2023

5. APPEALS

	Address	Petitioner	Appeal	Type/Reason
1)	220 HAMILTON ROW	CBRE	23-06	DIMENSIONAL
2)	479 S OLD WOODWARD	BIRMINGHAM TOWER PARTNERS LLC	23-16	DIMENSIONAL
3)	185 OAKLAND	HOBBS & BLACK	23-17	DIMENSIONAL
4)	1587 S BATES	CREATIVEDROP INC	23-18	DIMENSIONAL

6. CORRESPONDENCE

7. GENERAL BUSINESS

8. OPEN TO THE PUBLIC FOR MATTERS NOT ON THE AGENDA

9. ADJOURNMENT

Title VI

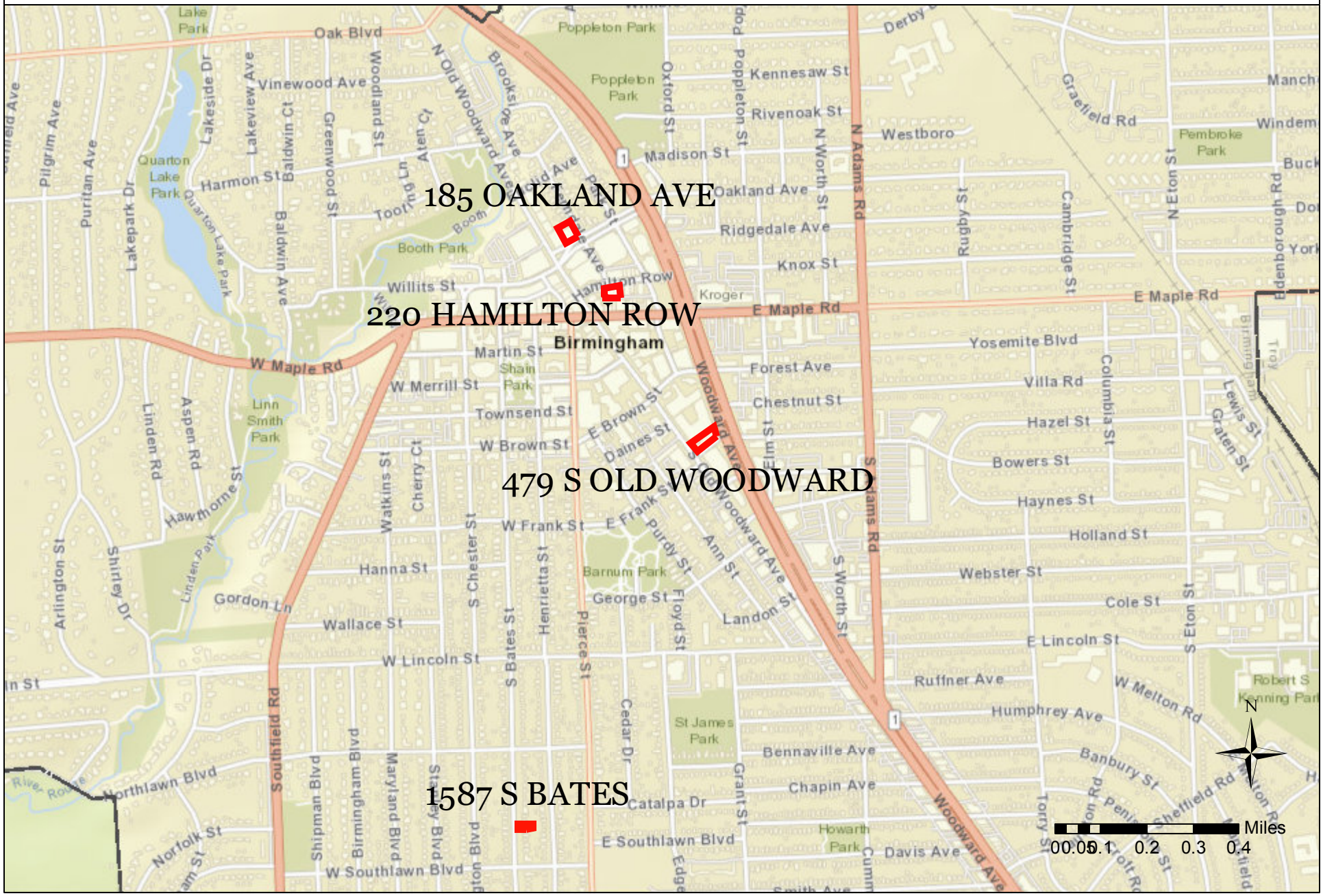
Persons with disabilities that may require assistance for effective participation in this public meeting should contact the City Clerk's Office at the number (248) 530-1880, or (248) 644-5115 (for the hearing impaired) at least one day before the meeting to request help in mobility, visual, hearing, or other assistance.

Las personas con incapacidad que requieren algún tipo de ayuda para la participación en esta sesión pública deben ponerse en contacto con la oficina del escribano de la ciudad en el número (248) 530-1800 o al (248) 644-5115 (para las personas con incapacidad auditiva) por lo menos un dia antes de la reunión para solicitar ayuda a la movilidad, visual, auditiva, o de otras asistencias. (Title VI of the Civil Rights Act of 1964*).*

The public entrance during non-business hours is through the police department at the Pierce Street entrance only. Individuals requiring assistance entering the building should request aid via the intercom system at the parking lot entrance gate on Henrietta Street.

La entrada pública durante horas no hábiles es a través del Departamento de policía en la entrada de la calle Pierce solamente. Las personas que requieren asistencia entrando al edificio debe solicitar ayudan a través del sistema de intercomunicación en la puerta de entrada de estacionamiento en la calle de Henrietta.

MAY BZA MAP


185 OAKLAND AVE
220 HAMILTON ROW
479 S OLD WOODWARD
1587 S BATES
Birmingham
Oak Blvd
Vinewood Ave
Harmon St
Willits St
Hamilton Row
E Maple Rd
W Maple Rd
Kennesaw St
Rivenoak St
Madison St
Oakland Ave
Ridgedale Ave
Knox St
Westboro
Yosemite Blvd
Villa Rd
Hazel St
Bowers St
Haynes St
Holland St
Webster St
Cole St
E Lincoln St
Ruffner Ave
Humphrey Ave
Bennaville Ave
Chapin Ave
Davis Ave
E Southlawn Blvd
W Southlawn Blvd
Catalpa Dr
Northlawn Blvd
Norfolk St
Southfield Rd
W Lincoln St
Wallace St
Gordon Ln
Hanna St
W Frank St
E Frank St
George St
Barnum Park
Purdy St
Ann St
Landon St
Woodward Ave
S Worth St
N Adams Rd
S Adams Rd
Pierce St
S Bates St
S Chester St
Henrietta St
Cherry Ct
Watkins St
W Brown St
E Brown St
Daines St
Townsend St
W Merrill St
Martin St
Shain Park
Forest Ave
Chestnut St
Elm St
Linn Smith Park
Linden Rd
Aspen Rd
Hawthorne St
Linden Park
Arlington St
Shirley Dr
Lakepark Dr
Pilgrim Ave
Puritan Ave
Quarton Lake Park
Lakeside Dr
Lakeview Ave
Baldwin Ct
Baldwin Ave
Greenwood St
Woodland St
N Old Woodward Ave
Brookslope Ave
Tooting Ln
Aten Ct
Booth Park
Poppleton Park
Oxford St
Poppleton St
Kroger
Graefield Rd
Pembroke Park
Cambridge St
Rugby St
N Eton St
S Eton St
Columbia St
Lewis St
Graten St
Eldenborough Rd
Windem
Manch
Buck
York
Do
Birmingham
Troy
Robert S
Kenning Par
W Melton Rd
Banbury St
Sheffield Rd
Torry St
St James Park
Howarth Park
Cedar Dr
Grant St
Edge
Shipman Blvd
Birmingham Blvd
Maryland Blvd
Stanley Blvd
Chester Blvd
Floyd St
Pierce St
Miles
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Birmingham Board Of Zoning Appeals Proceedings
Tuesday, April 11, 2023
City Commission Room
151 Martin Street, Birmingham, Michigan

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1. Call To Order

Minutes of the regular meeting of the City of Birmingham Board of Zoning Appeals ("BZA") held on Tuesday, April 11, 2023. Chair Morganroth convened the meeting at 7:30 p.m.

2. Rollcall

Present: Chair Erik Morganroth, Vice-Chair Jason Canvasser; Board Members Richard Lilley, John Miller, Ron Reddy; Alternate Board Member Carl Kona

Absent: Board Members Kevin Hart, Pierre Yaldo

Staff: Building Official Johnson; Assistant Building Official Morad, Assistant Building Official Zielke

Chair Morganroth welcomed those present and reviewed the meeting's procedures. He noted that the members of the Board of Zoning Appeals are appointed by the City Commission and are volunteers who serve staggered three-year terms. They are a quasi-judicial board and sit at the pleasure of the City Commission to hear appeals from petitioners who are seeking variances from the City's Zoning Ordinance. Under Michigan law, a dimensional variance requires four affirmative votes from this board, and the petitioner must show a practical difficulty. A land use variance requires five affirmative votes and the petitioner has to show a hardship. He pointed out that this board does not make up the criteria for practical difficulty or hardship. That has been established by statute and case law. Appeals are heard by the board as far as interpretations or rulings. In that type of appeal the appellant must show that the official or board demonstrated an abuse of discretion or acted in an arbitrary or capricious manner. Four affirmative votes are required to reverse an interpretation or ruling.

Chair Morganroth took rollcall of the petitioners. All petitioners were present.

3. Announcements

Announcements can be found in the evening's agenda packet.

4. Approval Of The Minutes Of The BZA Meetings Of March 14, 2023

T# 04-17-23

Motion by VC Canvasser

Seconded by Mr. Miller to accept the minutes of the BZA meeting of March 14, 2023 as submitted.

Motion carried, 6-0.

VOICE VOTE
Yeas: Miller, Canvasser, Kona, Reddy, Lilley, Morganroth
Nays: None

5. Appeals

T# 04-18-23

1) 832 Ann St.
Appeal 23-08

ABO Zielke presented the item, explaining that the owner of the property known as 832 Ann St. was requesting the following variances for a constructed pergola in the rear yard:

A. **Chapter 126, Article 2, Section 2.10.1 of the Zoning Ordinance requires the maximum lot coverage of the lot is 30% (1885.80 SF). The proposed with the pergola is 34.01% (2138.00 SF). Therefore, a variance of 4.10% (254.30 SF) is being requested.**

B. **Chapter 126, Article 4, Section 4.03(H) of the Zoning Ordinance requires the maximum area for permitted accessory structures in the R3 zoning district is 500.00 SF. The existing detached garage is 420 SF and the constructed pergola is 308 SF. The total of accessory structures is 728.00 SF. Therefore, a variance of 228.0 SF is being requested.**

Staff answered informational questions from the Board.

Toni Ratliff, owner, reviewed the letter describing why these variances were being sought. The letter was included in the evening's agenda packet. Ms. Ratliff stated that the builder and project manager had not informed her that there would be any issues with lot coverage.

The Chair advised Ms. Ratliff that the only topic for consideration by the Board was whether there was a practical difficulty, stemming from unusual features of the lot or the context, that would necessitate a variance. He asked Ms. Ratliff whether such circumstances existed.

Ms. Ratliff said issues with drainage in the backyard limited what could be built.

The Chair advised Ms. Ratliff that drainage concerns could be discussed with the Building Department. He said she could also likely work with the Building Department to find ordinance compliant ways of creating shade in the backyard.

Motion by Mr. Miller

Seconded by VC Canvasser with regard to Appeal 23-08, A. Chapter 126, Article 2, Section 2.10.1 of the Zoning Ordinance requires the maximum lot coverage of the lot is 30% (1885.80 SF). The proposed with the pergola is 34.01% (2138.00 SF). Therefore, a variance of 4.10% (254.30 SF) is being requested; and, B. Chapter 126, Article 4, Section 4.03(H) of the Zoning Ordinance requires the maximum area for permitted accessory structures in the R3 zoning district is 500.00 SF. The existing detached garage is 420 SF and the constructed pergola is 308 SF. The total of accessory structures is 728.00 SF. Therefore, a variance of 228.0 SF is being requested.

Mr. Miller moved to deny the appeal. He stated the matter was not due to any unique features of the property and was self-created. He said that while it was unfortunate that a large structure had already been built, he noted that could not factor in to the Board's consideration.

VC Canvasser noted this was the third month in a row that the Board had to deny an already-built pergola. He said he did not know if it was a trend, and that the Board should remain relatively consistent even though there were some differences in the cases. He noted that while the appellant may have private contractual remedies vis-a-vis the builder and other involved parties, those issues were not part of the Board's purview. Given what the Board was permitted to consider, he said he would support the motion.

The Chair concurred with VC Canvasser about consistency. He noted that one of the reasons permitting is required for structures is so the City can verify the safety and permissibility of the structures. He stated that even if the Commission were to review whether open pergolas should be considered accessory structures, the appellant's closed structure would not likely be permitted by any potential change. He noted that lots in Birmingham often do not have enough open space to add an accessory structure in addition to the home and garage. He said he would support the motion.

Motion carried, 6-0.

ROLL CALL VOTE
Yeas: Miller, Canvasser, Kona, Reddy, Lilley, Morganroth
Nays: None

T# 04-19-23

2) 2648 Dorchester
Appeal 23-12

VC Canvasser stated that he had previously had a business relationship with the appellant, and stated that he would be recusing himself from Appeal 23-12 on that basis. VC Canvasser left the room for the duration of the discussion on Appeal 23-12.

ABO Zielke presented the item, explaining that the owner of the property known as 2648 Dorchester was requesting the following variance to construct a new single-family home with an attached garage:

A. **Chapter 126, Article 4, Section 4.74(C) of the Zoning Ordinance requires that a minimum distance between principal residential buildings on adjacent lots to be 14.00 feet or 25% of the lot width, whichever is larger. The required is 14.00 feet. The proposed is 13.42 feet. Therefore, a variance of 0.58 feet is requested.**

Staff answered informational questions from the Board.

Derek Babi, owner, reviewed the letter describing why this variance was being sought. The letter was included in the evening's agenda packet.

Motion by Mr. Reddy
Seconded by Mr. Lilley with regard to Appeal 23-12, A. Chapter 126, Article 4, Section 4.74(C) of the Zoning Ordinance requires that a minimum distance between principal residential buildings on adjacent lots to be 14.00 feet or 25% of the lot width, whichever is larger. The required is 14.00 feet. The proposed is 13.42 feet. Therefore, a variance of 0.58 feet is requested.

Mr. Reddy moved to approve the appeal. He stated that there were non-compliant homes on both sides of 2648 Dorchester, and that if the homes were not there the proposed plans for 2648 Dorchester would be ordinance compliant. He noted the Board has seen cases in the past where non-compliant homes were impacting an otherwise ordinance compliant home.

Motion carried, 5-0.

ROLL CALL VOTE
Yeas: Miller, Kona, Reddy, Lilley, Morganroth
Nays: None

T# 04-20-23

3) 1267 Pilgrim
Appeal 23-14

VC Canvasser rejoined the meeting.

ABO Zielke presented the item, explaining that the owner of the property known as 1267 Pilgrim was requesting the following variance to construct an egress window well in the front open space:

A. **Chapter 126, Article 4, Section 4.30(C)(4) of the Zoning Ordinance does not allow window wells to project into the required front open space. The proposed window well projects into the front open space. Therefore, a variance to allow a window well to be constructed in the front open space is requested.**

Staff answered informational questions from the Board.

Todd Emerson, representative for the appellant, reviewed the letter describing why this variance was being sought. The letter was included in the evening's agenda packet.

The Chair stated that in the wall with the mechanicals there would likely be an area that could allow egress and be ordinance compliant. He noted the Board did not presently have blueprints of the basement to know whether that was the case. He observed that a bedroom in the basement was not required by code, and that asking the Board to allow a non-compliant egress window into the front yard, in order to build said bedroom, was a self-created issue. He asked if there was a practical difficulty that necessitated the variance.

In reply to Board inquiry, Mr. Emerson said:

- An egress window could likely be built to the rear of the home if the mechanicals and other aspects of the basement were entirely reconfigured; and,
- The egress window in the front of the home would be invisible from the street, would not impact the neighbors, would be obscured by boxwoods, and would make the home safer for the homeowner.

VC Canvasser and the Chair noted that if the room had the closet removed and did not function as a bedroom, it would not be required to have an egress window.

The Chair noted the client may still want an egress window somewhere in the basement for safety purposes. He noted that if the appellant wanted the room to remain a bedroom, they would likely have to find an ordinance compliant location for the egress window.

Mr. Emerson replied that visiting family would be occasionally sleeping in the room, and that an egress window would required for that reason.

Motion by Mr. Miller
Seconded by Mr. Kona with regard to Appeal 23-14, A. Chapter 126, Article 4, Section 4.30(C)(4) of the Zoning Ordinance does not allow window wells to project into the required front open space. The proposed window well projects into the front open space. Therefore, a variance to allow a window well to be constructed in the front open space is requested.

Mr. Miller moved to deny the appeal. He said the problem was self-created. He noted the room in question could be used in a variety of ways, and was only prevented from being used and officially designated as a bedroom. He noted the Board is very careful about allowing anything in the front yard setback, as it can negatively impact the aesthetics of a neighborhood. He said he did not see a practical difficulty, and that allowing it would establish a precedent that would undermine part of the ordinance. He said without a plan for the basement there was not enough information, and the Board could not know where the egress window might otherwise be located.

The Chair offered his support for the motion. He said that while every bedroom in a basement should have egress, the room being called a bedroom in this case was located in the wrong location to allow egress.

VC Canvasser said he could not support the motion. He noted the room had functioned as a bedroom since 2000 and that the appellant proactively came to the Board in an attempt to make the room safer. He said the Board should be supporting the effort to make the house safer. He said the Board could be establishing a dangerous precedent by discouraging similar appellants from installing a window well, which could result in secret basement bedrooms with no means of egress. He said that while he would like to have seen plans, he had heard enough to know that the appellant was doing the right thing and the appeal should be granted.

Mr. Kona stated he supported the motion because there was 60 feet of wall on two sides of the house and 30 feet of garden bed where an egress window could be installed for the open space in the basement. He said the mechanicals on the one side did not likely span the whole 60 feet of yard. He noted that visiting family could sleep in the open part of the basement. He said he could not see a practical difficulty, having not seen more plans.

Motion carried, 4-2.

ROLL CALL VOTE
Yeas: Miller, Kona, Reddy, Morganroth
Nays: Canvasser, Lilley

T# 04-21-23

4) 1563 Lakeside
Appeal 23-15

ABO Zielke presented the item, explaining that the owner of the property known as 1563 Lakeside was requesting the following variance regarding the height of a fence in the front open space:

A. **Chapter 126, Article 4, Section 4.11(A)(2) of the Zoning Ordinance states that fences located in the required front open space shall not exceed 3.00 feet in height. The proposed fence is 6.00 in height. Therefore, a variance of 3.00 height is requested.**

Staff answered informational questions from the Board.

Pat Beshouri, owner, reviewed the letter describing why this variance was being sought. The letter was included in the evening's agenda packet.

In reply to Board inquiry, Mr. Beshouri stated:

- The front yard was on Lakeside, and the area where the fence was being proposed was the sideyard for all intents and purposes and has been for 40 years;

- The proposal would be following the spirit of the ordinance; and,
- The shorter portion of the fence was being proposed because it faced the neighbor's side yard. There was ongoing discussion about possibly replacing the neighbor's fence with the Beshouris' fence.

Motion by Mr. Reddy
Seconded by Mr. Lilley with regard to Appeal 23-15, A. Chapter 126, Article 4, Section 4.11(A)(2) of the Zoning Ordinance states that fences located in the required front open space shall not exceed 3.00 feet in height. The proposed fence is 6.00 in height. Therefore, a variance of 3.00 height is requested.

Mr. Reddy moved to approve the appeal. He said there were sufficient unique circumstances of the lot to make the granting of the variance reasonable. He noted the appellant attempted to mitigate some of the variance by reducing the length of the six foot fence along Quarton.

The Chair said he would support the motion because a review of the site plan indicated that there was no other usable portion of the yard. He said if the appellant chose to fence in the area by the front door, which the Board was treating as the side yard and would have been ordinance compliant, the appellant would have just as much, if not more, six foot fencing. He said it was fair to allow the appellant as much six foot fence as any other neighbor would have along the road.

Motion carried, 6-0.

ROLL CALL VOTE
Yeas: Miller, Canvasser, Kona, Reddy, Lilley, Morganroth
Nays: None

6. Correspondence
7. Open To The Public For Matters Not On The Agenda
8. Adjournment

No further business being evident, the Board motioned to adjourn at 9:00 p.m.

Bruce R. Johnson, Building Official

Laura Eichenhorn, City Transcriptionist

CASE DESCRIPTION

280 Hamilton Row (23-06)

Hearing date: May 9, 2023

Appeal No. 23-06: The owner of the property known as **220 Hamilton Row**, requests the following variance:

A. Chapter 126, Article 3, Section 3.04 (E)(1) requires all buildings in the Downtown Overlay District to be constructed with at least 90% of the exterior finish material on all facades that face a street limited to the following: glass, brick, cut stone, cast stone, coarsely textured stucco, or wood. Dryvit or E.F.I.S is prohibited. The applicant is proposing to replace existing, non-conforming metal siding with new metal siding that is not a permitted material. Therefore, a dimensional variance of 1,210 square feet is requested.

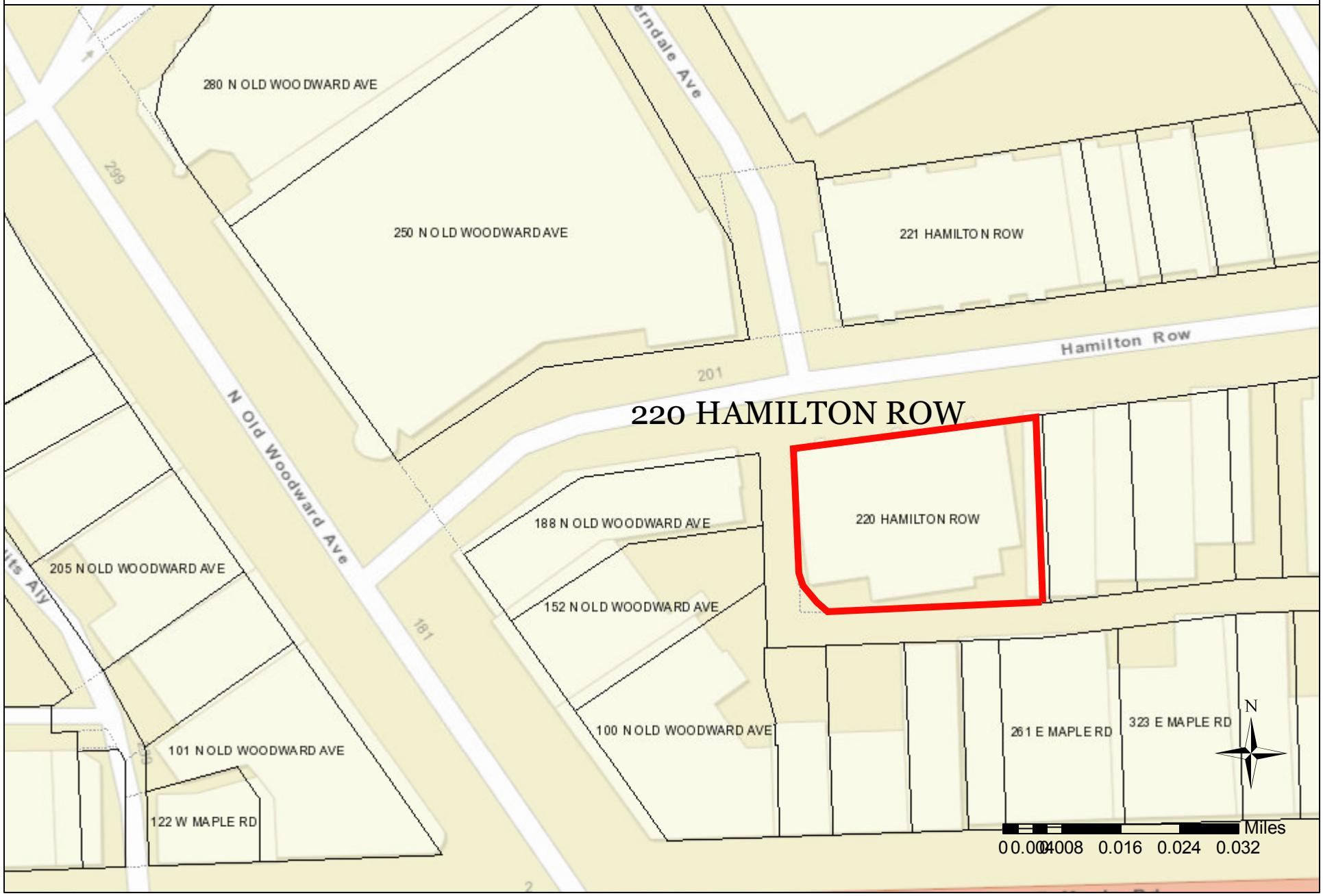
Staff Notes:
The Comerica Bank building consists of two parcels located at 188 N. Old Woodward and 280 Hamilton Row. The office portion of 280 Hamilton Row is elevated above a ground level parking lot and consists predominantly of metal panels with windows, supported by columns surrounded by brick.

The applicant is proposing to replace portions of the exterior building façade facing Hamilton Row. The new material proposed, corrugated metal paneling, exceeds the amount of permissible exterior material in the Downtown Overlay, which states that at least 90% of the exterior finish material on all facades that face a street shall be limited to the following: glass, brick, cut stone, cast stone, coarsely textured stucco, or wood. Dryvit or E.F.I.S is prohibited.

The applicant appeared before the Historic District Commission on April 19th, 2023. The Historic District Commission moved to approve the design with the condition that the applicant obtain a variance.

Brooks Cowan
Senior Planner

220 HAMILTON ROW MAP



CITY OF BIRMINGHAM
Community Development - Building Department
151 Martin Street, Birmingham, MI 48009
Community Development: 248-530-1850
Fax: 248-530-1290 / www.bhamgov.org

APPLICATION FOR THE BOARD OF ZONING APPEALS

Application Date: _____ **Hearing Date:** _____

Received By: _____ **Appeal #:** _____

Type of Variance:	☐ Interpretation	☐ Dimensional	☐ Land Use	☐ Sign	☐ Admin Review

I. PROPERTY INFORMATION:

Address: 188 N. Woodward Ave, Birmingham, MI	Lot Number: #28	Sidwell Number: 19-25-456-001/19-25-456-007

II. OWNER INFORMATION:

Name: Comerica Bank Tom Krempa Vice President Real Comerica Real Estate			
Address: 3501 Hamlin Road	City: Auburn Hills	State: MI	Zip code: 48462
Email:* takrempa@comerica.com		Phone: 248 371-5244	

III. PETITIONER INFORMATION:

Name: Liz Christopher	Firm/Company Name: CBRE		
Address: 3501 Hamlin Road	City: Auburn Hills	State: MI	Zip code: 48462
Email: liz.christopher@cbre.com		Phone: 810 217-2479	

IV. GENERAL INFORMATION:

The Board of Zoning Appeals typically meets the second Tuesday of each month. Applications along with supporting documents must be submitted on or before the 12th day of the month preceding the next regular meeting. Please note that incomplete applications will not be accepted.

To insure complete applications are provided, appellants must schedule a pre-application meeting with the Building Official, Assistant Building Official and/or City Planner for a preliminary discussion of their request and the documents that will be required to be submitted. Staff will explain how all requested variances must be highlighted on the survey, site plan and construction plans. Each variance request must be clearly shown on the survey and plans including a table as shown in the example below. All dimensions to be shown in feet measured to the second decimal point.

The BZA application fee is **$360.00** for single family residential; **$560.00** for all others. This amount includes a fee for a public notice sign which must be posted at the property at least 15-days prior to the scheduled hearing date.

Variance Chart Example

Requested Variances	Required	Existing	Proposed	Variance Amount
Variance A, Front Setback	25.00 Feet	23.50 Feet	23.50 Feet	1.50 Feet
Variance B, Height	30.00 Feet	30.25 Feet	30.25 Feet	0.25 Feet

V. REQUIRED INFORMATION CHECKLIST:

- One original and nine copies of the signed application
- One original and nine copies of the signed letter of practical difficulty and/or hardship
- One original and nine copies of the certified survey
- 10 folded copies of site plan and building plans including existing and proposed floor plans and elevations
- If appealing a board decision, 10 copies of the minutes from any previous Planning, HDC, or DRB board meeting

VI. APPLICANT SIGNATURE

Owner hereby authorizes the petitioner designated below to act on behalf of the owner.
By signing this application, I agree to conform to all applicable laws of the City of Birmingham. All information submitted on this application is accurate to the best of my knowledge. Changes to the plans are not allowed without approval from the Building Official or City Planner.
*By providing your email to the City, you agree to receive news and notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner: _____ **Date:** 11/28/22

Signature of Petitioner: Liz Christopher **Date:** 11/28/2022

Revised 10.11.21

March 9, 2023

Dear Mr. Dupuis:

CBRE on behalf of Comerica is requesting a variance from the Birmingham City Ordinance Article 3, section 3.04 (E) (1) which forbids the use of metal siding on the street facing side of any commercial building (in this case Hamilton Rd.).

As you are aware, the building parking structure was damaged by a delivery truck, this unfortunate event was out of our control and repairs must now be made.

CBRE/Comerica had just replaced the metal ceiling in the structure about three years ago, and this element of the repair is not in question. The façade of the building was also damaged and due to the age of the building, we can no longer purchase the metal siding system making a simple repair impossible. The original metal is no longer manufactured.

Another unique aspect (special condition) of this structure is that the façade is 10' above grade and this makes utilizing city approved materials considerably more difficult.

The materials that we have chosen, are very similar to the existing façade, they will provide an enduring solution for this repair. The proposed linear metal siding and trim pieces are readily available. Every component of this system utilizes concealed fastners and provides a sleek, contemporary appearance.

The existing brick columns, and glazing components are not affected by this installation.

Per our conversation, it was stated by you that this building was historic and that we may be able to use the metal siding on this application.

Regards,

Elizabeth A. Christopher/Regional Project Manager

CBRE | Global Corporate Services

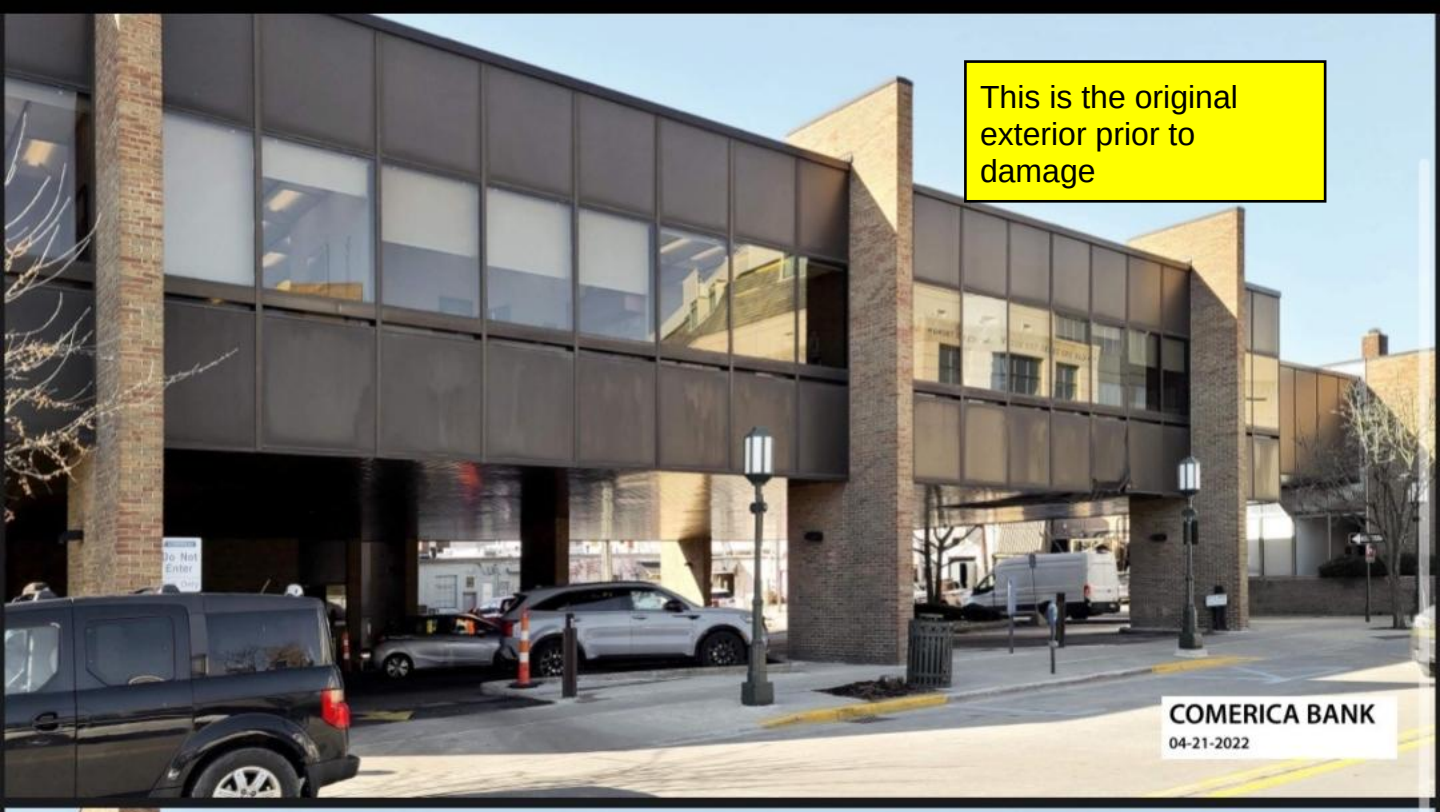
3501 Hamlin Road 3rd Floor, Auburn Hills, MI 48326/2210

(M/C) 2210 Auburn Hills, MI 48326

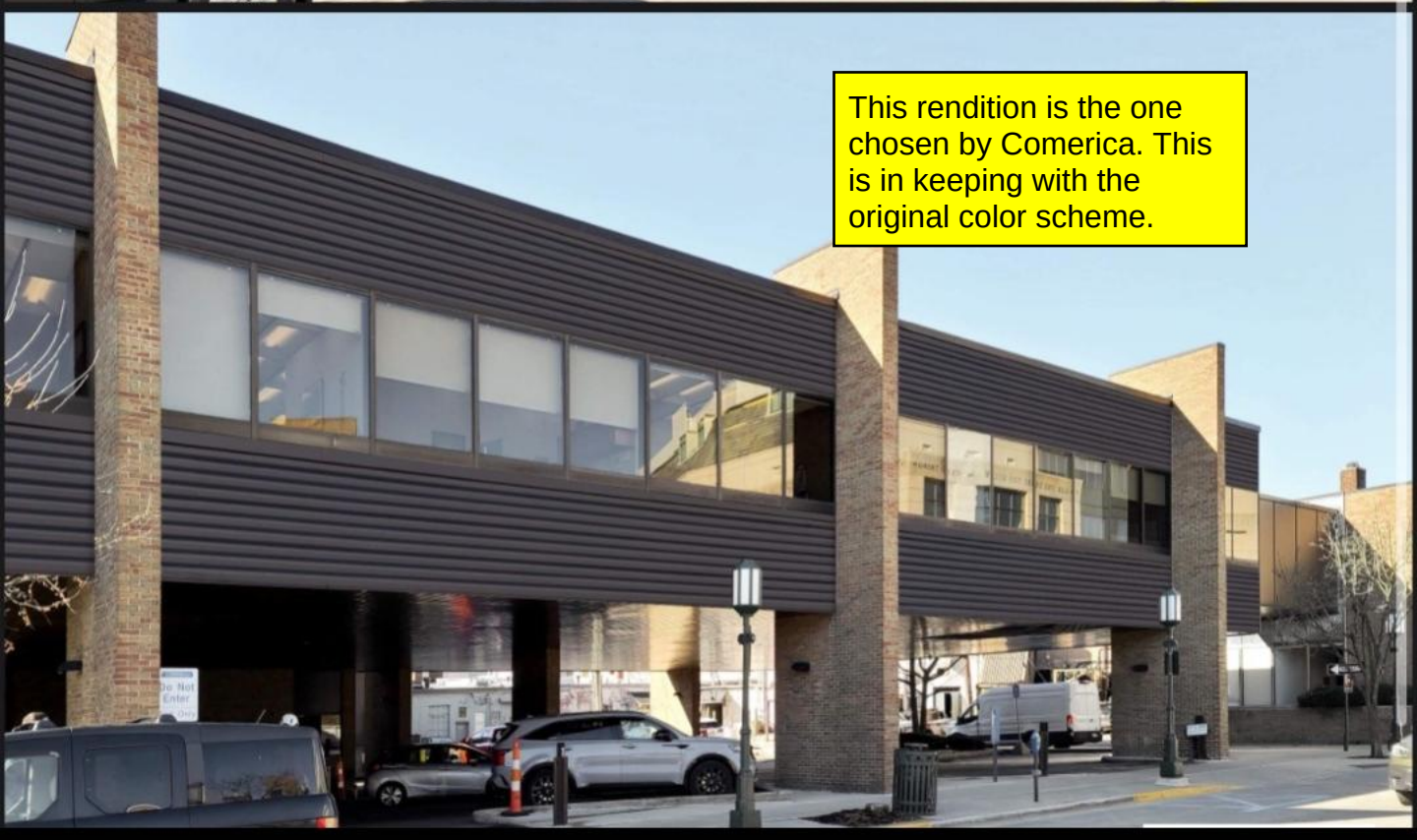
T 248 371-4543/F 248 371-5159/C 810 217-2479

liz.christopher@cbre.com|www.cbre.com

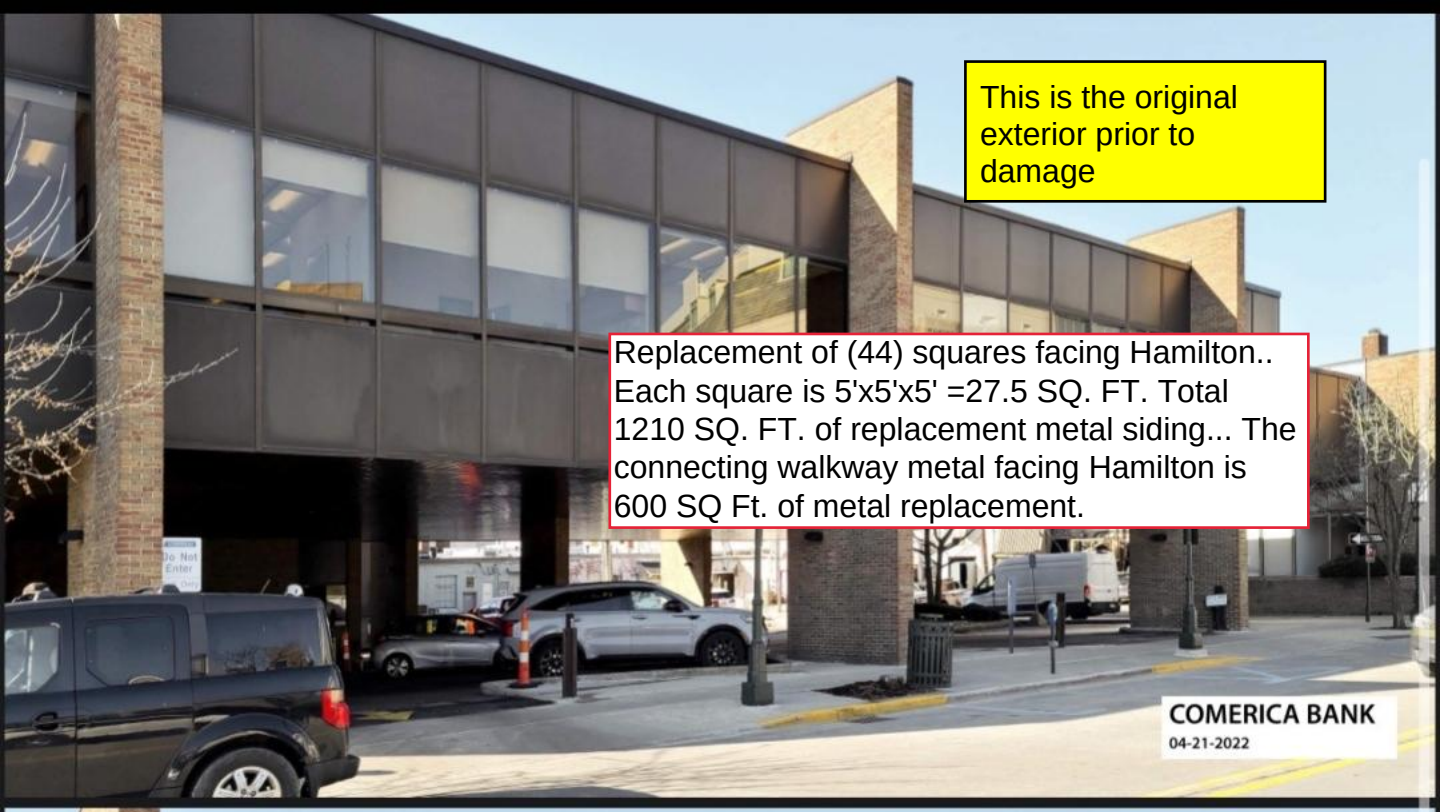
6:58 5G 43%


This is the original exterior prior to damage
COMERICA BANK
04-21-2022

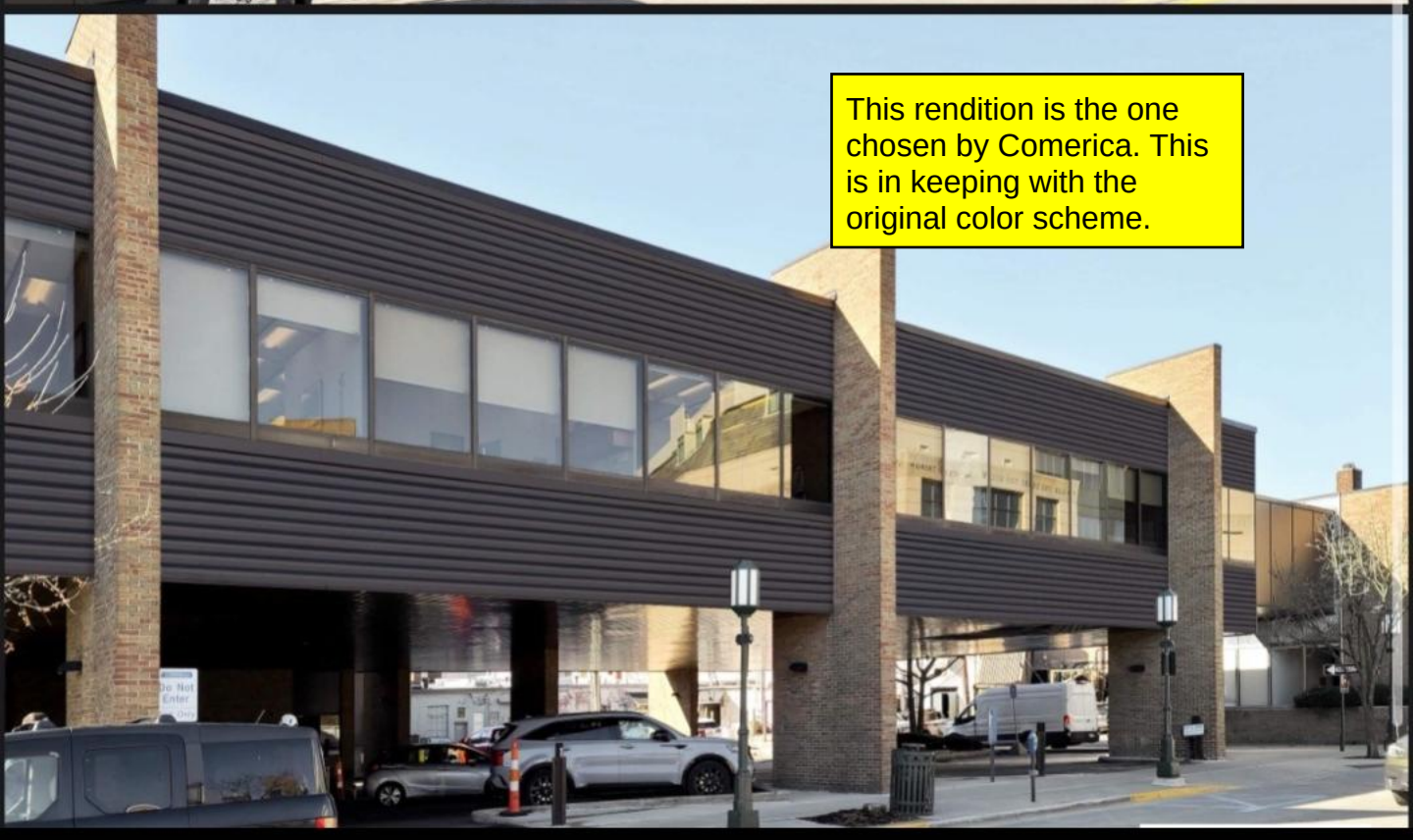
COMERICA BANK
04-21-2022


This rendition is the one chosen by Comerica. This is in keeping with the original color scheme.

6:58 5G 43%


This is the original exterior prior to damage
Replacement of (44) squares facing Hamilton.. Each square is 5'x5'x5' =27.5 SQ. FT. Total 1210 SQ. FT. of replacement metal siding... The connecting walkway metal facing Hamilton is 600 SQ Ft. of metal replacement.
COMERICA BANK
04-21-2022

COMERICA BANK
04-21-2022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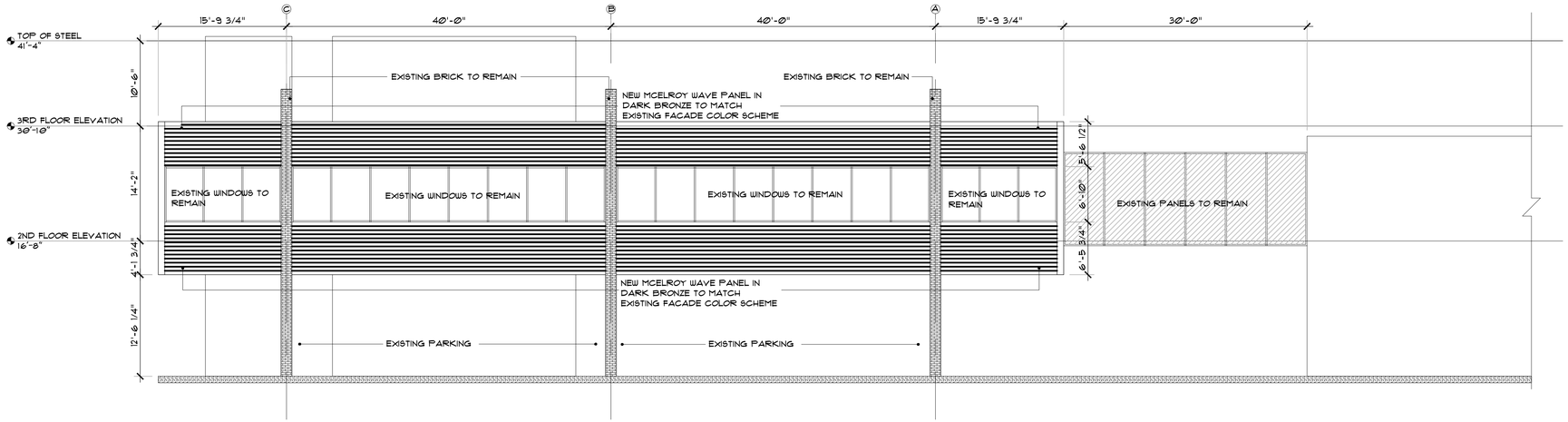
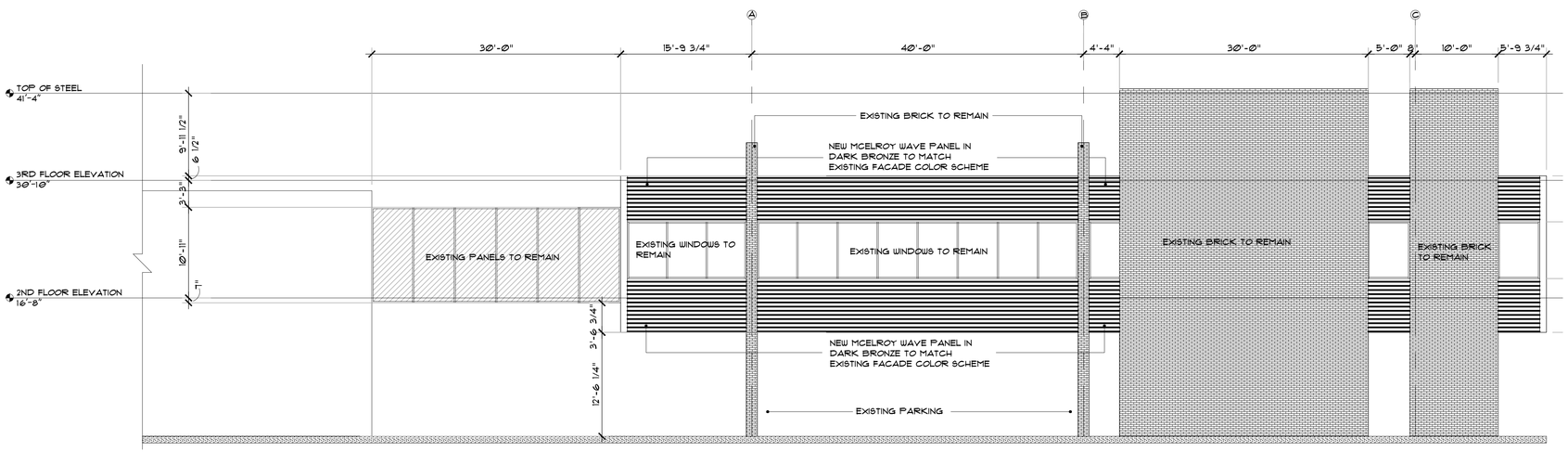


NORTH ELEVATION

SCALE: 1/8"=1'-0"



SOUTH ELEVATION

SCALE: 1/8"=1'-0"

TDGArchitects
TDGArchitects.com
79 Oakland Avenue
P. (248) 874-1420
Pontiac, Michigan 48342
F. (248) 758-9926

Project
COMERICA BANK-
FACADE RENOVATION

Address
Comerica Bank
188 N. Old Woodward Ave.
Birmingham, Michigan 48009

REVISION SCHEDULE	
DATE	DESCRIPTION
02/28/2023	CITY PLANNING

DRAWN BY: APT
CHECKED BY: BSG

Drawing Title
BUILDING ELEVATIONS

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Project Number
23-302
Drawing Number
A 301

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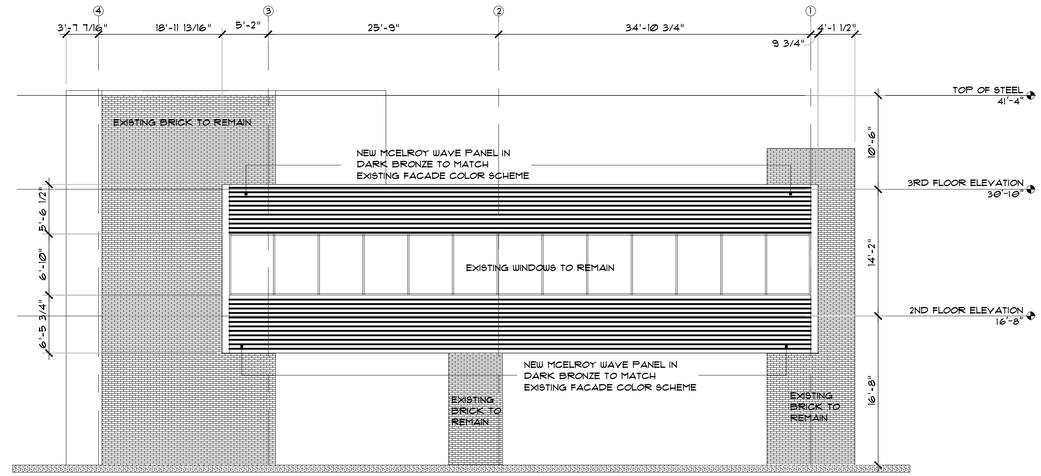
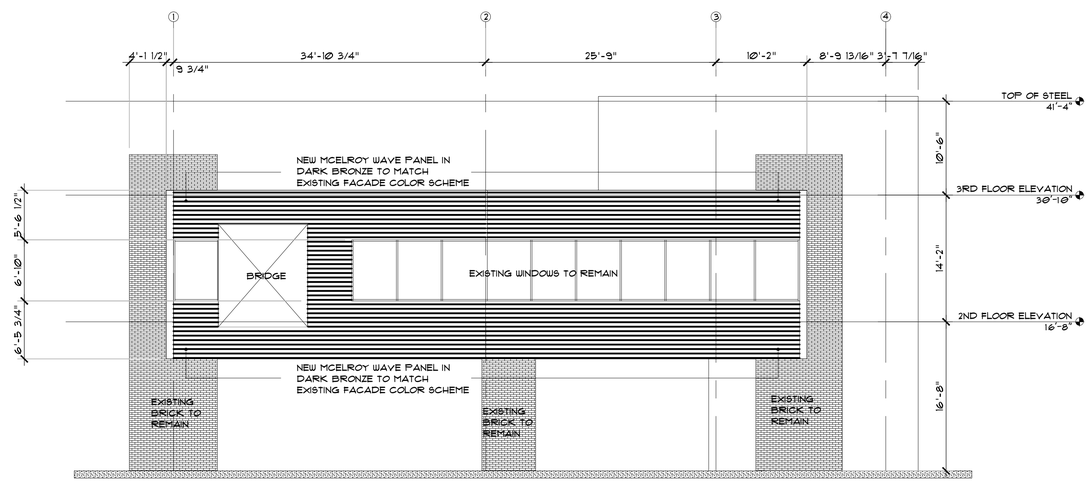


EAST ELEVATION

SCALE: 1/8"=1'-0"



WEST ELEVATION

SCALE: 1/8"=1'-0"

TDGArchitects
TDGArchitects.com
79 Oakland Avenue
P. (248) 874-1420
Pontiac, Michigan 48342
F. (248) 758-9926

Project
COMERICA BANK-
FACADE RENOVATION

Address
Comerica Bank
188 N. Old Woodward Ave.
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REVISION SCHEDULE	
DATE	DESCRIPTION
02/28/2023	CITY PLANNING

DRAWN BY: APT
CHECKED BY: BSG

Drawing Title
BUILDING ELEVATIONS

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Project Number
23-302
Drawing Number
A 302

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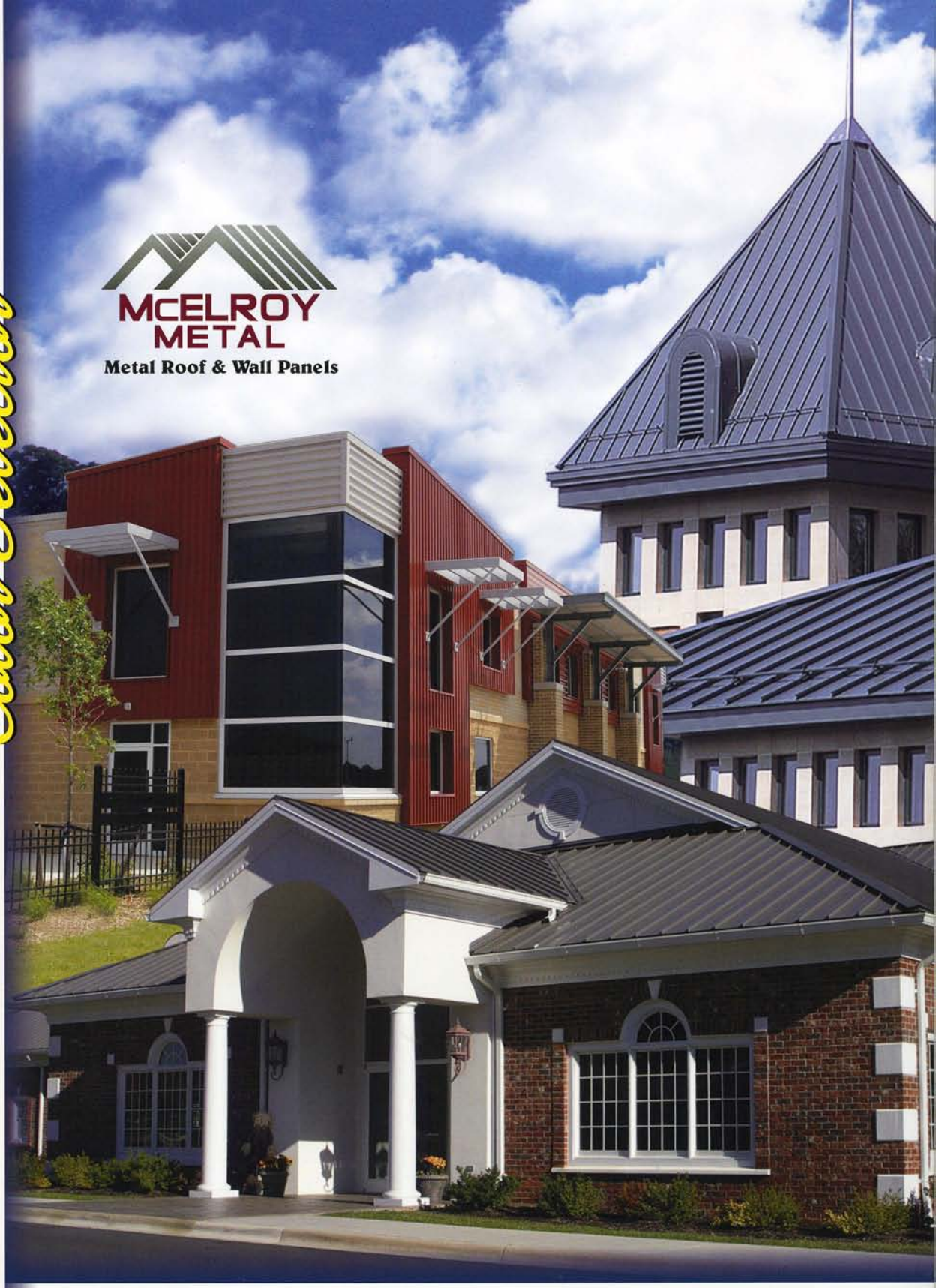
Color Selector

McELROY METAL

Metal Roof & Wall Panels



Quality . . .

Service . . .

Performance . . .

McELROY METAL

Architectural Colors

STANDARD COLORS

REGAL WHITE

BONE WHITE

SURREY BEIGE

SANDSTONE

ALMOND

BUCKSKIN

ASH GRAY

SLATE GRAY

CHARCOAL

MATTE BLACK

MEDIUM BRONZE

DARK BRONZE

PATINA GREEN

EVERGREEN

MANSARD BROWN

COLONIAL RED

ROMAN BLUE

PATRICIAN BRONZE

TERRA COTTA

ALL COLORS ARE ENERGY STAR COMPLIANT

ENERGY STAR PARTNER

MCELROY METAL

Architectural Colors

DEEP-TONE PREMIUM COLORS

ADDITIONAL COST WILL APPLY.

REGAL BLUE

BRITE RED

HARTFORD GREEN

BRANDYWINE

* Colors are representative of colors offered and are not intended for matching purposes. Before placing an order, please request an actual color sample from McElroy Metal.

COLOR	*INVENTORY				
	Sunnyvale	Clinton	Peachtree	Adelanto	Houston
Almond		√			
Ash Gray	√	√	√	√	√
Bone White	√		√		√
Brandywine	√	√	√		√
Brite Red	√	√	√	√	√
Buckskin					√
Champagne Metallic					√
Charcoal	√	√	√	√	√
Colonial Red	√	√	√	√	√
Copper Penny Metallic	√		√	√	√
Dark Bronze	√	√	√	√	√
Evergreen	√	√	√	√	√
Hartford Green	√		√	√	√
Leadcoat					√
Mansard Brown	√		√	√	√
Matte Black	√	√	√	√	√
Medium Bronze	√	√	√	√	√
Patina Green	√	√	√	√	√
Patrician Bronze	√	√	√	√	√
Preweathered Galvalume					√
Regal Blue	√	√	√	√	√
Regal White	√	√	√	√	√
Roman Blue	√	√	√	√	√
Sandstone	√	√	√	√	√
Silver Metallic		√	√		
Slate Gray	√	√	√	√	√
Surrey Beige	√	√	√	√	√
Terra Cotta					√
Texas Silver Metallic	√				√

* Inventory shown is 24 gauge Galvalume Master Coil. Other gauges and substrates are available and inventory varies by location. Please inquire for specific inventory availability and freight rates.

METALLIC COLORS

ADDITIONAL COST WILL APPLY.

PREWEATHERED GALVALUME

LEADCOAT

SILVER METALLIC

COPPER PENNY METALLIC

TEXAS SILVER METALLIC

CHAMPAGNE METALLIC

ENERGY STAR PARTNER

ALL COLORS ARE ENERGY STAR COMPLIANT

McELROY METAL

Architectural Colors

Paint Specifications

COLOR	REFLECTANCE	EMISSIVITY	SRI
ALMOND	0.60	0.84	70
ASH GRAY	0.39	0.84	41
BONE WHITE	0.71	0.85	86
BRANDYWINE	0.26	0.85	24
BRITE RED	0.42	0.84	45
BUCKSKIN	0.38	0.86	41
CHAMPAGNE METALLIC	0.38	0.80	38
CHARCOAL	0.32	0.85	32
COLONIAL RED	0.33	0.85	34
COPPER PENNY	0.49	0.85	55
DARK BRONZE	0.26	0.84	24
EVERGREEN	0.26	0.84	24
*GALVALUME PLUS	0.69	0.25	65
HARTFORD GREEN	0.25	0.85	23
LEADCOAT	0.37	0.82	38
MANSARD BROWN	0.30	0.85	30
MATTE BLACK	0.27	0.86	26
MEDIUM BRONZE	0.30	0.87	31
PATINA GREEN	0.46	0.85	51
PATRICIAN BRONZE	0.27	0.86	26
PREWEATHERED GALVALUME	0.30	0.79	27
REGAL BLUE	0.26	0.85	24
REGAL WHITE	0.68	0.86	82
ROMAN BLUE	0.26	0.85	24
SANDSTONE	0.54	0.86	63
SILVER METALLIC	0.57	0.78	64
SLATE GRAY	0.43	0.85	47
SURREY BEIGE	0.40	0.86	43
TERRA COTTA	0.35	0.85	36
TEXAS SILVER METALLIC	0.58	0.78	66

*Bare Acrylic Coated Galvalume

Notes:

- Solar Reflectance is a measure of the amount of solar energy that is immediately reflected from the surface.
- Solar Emissivity is the ability of a material to emit the residual heat back into the surrounding atmosphere.
- The Solar Reflectance Index (SRI) is a measure of the roof's ability to reject solar heat, considering reflectance, emissivity and convection across the surface.

General Notes:

- Inventory and color offering can change without notice. Please contact your McElroy representative to confirm availability.
- Other widths and gauges are available on some items.
- Galvalume® is McElroy's standard substrate. G90 is available upon request.
- McElroy Metal features a Kynar 500® coating on all products.

McELROY METAL

CORPORATE OFFICE

1500 HAMILTON RD. · BOSSIER CITY, LA 71111

For more information:

800-562-3576

Website: www.mcelroymetal.com
E-mail: info@mcelroymetal.com

Wiss, Janney, Elstner Associates, Inc.
30700 Telegraph Road, Suite 3580
Bingham Farms, Michigan 48025
248.593.0900 tel
www.wje.com

July 17, 2022

Ms. Elizabeth A. Christopher
Regional Project Manager
CBRE | Global Corporate Services
3501 Hamlin Rd, 3rd Floor
Auburn Hills, MI 48326

Comerica Bank, 188 N Old Woodward, Birmingham, Michigan

Assessment of Structure from Vehicle Impact
CBRE Purchase Order No. 0622-3319-PM
WJE No. 2022.4127.0

Dear Ms. Christopher:

As requested, Wiss, Janney, Elstner Associates, Inc. (WJE) met with Mr. Jim Noeker at the Comerica Bank located at 188 North Old Woodward in Birmingham, Michigan on June 27, 2022, to visually assess the structure as it relates to a vehicle impact event which occurred on April 4, 2022.

BUILDING DESCRIPTION

The Comerica Bank building, as a whole, is primarily rectangular, but follows the right-of-way of Hamilton Row at the intersection with North Old Woodward. The two-story building, approximately 8,500 square foot per story, consists of a public banking space at the west end of the building and an internal office and parking area at the east end of the building. Each end is internally connected at the second-floor level. The parking lot area and a vehicle alleyway are located at grade level between the east and west ends of the building. Based upon a review of the local tax assessor's public documents, and based upon the materials and construction assemblies present, the area impacted as the vehicle entered the parking area was constructed in 1978.

Specifically, the vehicle impacted the second-floor level of the building at the entrance from Hamilton Row to the street level parking lot located within the footprint of the building. At the region of impact, the building exterior facade is clad with glass and aluminum wall panels with brick clad piers at the parking level. The aluminum panel ceiling above the parking area is suspended from the second-floor structure. The second-floor structure consists of a concrete slab poured atop a composite metal deck and is supported by structural steel wide-flange beams encased in spray applied fire proofing materials. The steel beams are supported by unknown structural members at the brick masonry piers.

Internal CBRE email correspondence provided to WJE describes a truck impacted the building on April 4, 2022, and noted damage to the aluminum ceiling cladding over the parking area and to the aluminum wall cladding at the second-floor level of the north facade (Figures 1 and 2). The City of Birmingham requested a structural engineer assess the condition of the structure relative to the vehicle impact event. WJE has completed a visual assessment of the second-floor structure from the underside of the second floor in the area of the impact, and provides our observations, discussion and recommendations below.

OBSERVATIONS

On June 27, 2022, Ms. Cheryl L. Early and Ms. Heather R. Brouwer of WJE met with Mr. Jim Noeker on site to complete a limited visual assessment of the structure. The structure was minimally exposed upon arrival. At WJE's direction, Mr. Noeker removed select areas of ceiling and wall cladding to gain access to the structural members. The following describes the conditions observed from these limited inspection openings.

1. The facade is a panelized system delineated with mullions and horizontal members between the upper glass portions and lower, aluminum panel clad portions. There are potential asbestos containing materials present in the facade wall assembly.
2. The second-floor level spandrel beam, approximately 30-inches in depth, spans parallel to the north facade wall surface and is supporting the second-floor level composite metal deck. The bottom of the beam is located near the bottom of the north facade wall cladding at this location. The metal deck system spans approximately 9 feet between beams in this area.
3. The impact damage occurred in two of the aluminum facade panels. The ceiling panels adjacent the impact damage were removed within a 10-foot by 17-foot area prior to WJE's arrival on site (Figure 3).
4. The mullion between the two damaged solid panels is significantly displaced and twisted out of its vertical alignment (Figure 4).
5. The mullions for the windows and cladding system are secured to the second-floor spandrel beam with clip angles and bolts.
6. The second-floor level spandrel beam is a shop-painted-red structural steel wide-flange beam. The bottom flange is visible where the cladding is damaged, as spray applied fire proofing is missing from the bottom flange of the spandrel beam for an approximate length of 2 feet in this area (Figure 5).
7. There is no visible distress or indications of displacement between the composite metal deck and the structural steel beams; nor any displacement or distress at the structural steel connections. There is no visible distress or displacement of the spray applied fire proofing material applied to the structural steel members except as noted above in the direct region of impact (Figure 6).
8. A distortion in the metal deck is present near the brick clad pier to the west of the impact area (Figure 6).
9. Utilities in the space above the suspended ceiling and below the structural slab are visibly intact with no distress at their connections (Figure 6).
10. The suspended aluminum panel ceiling system supports mineral wool and bat insulation. The metal hat-channel ceiling system is distorted or missing in the area where ceiling panels were removed (Figure 7).
11. Two ceiling panel strips in the far south area of the parking level are displaced downward (Figure 8).

DISCUSSION

The building has primarily architectural damage at the location of the impact and directly south of the impact area. Where visible, the structural steel spandrel beam of the second-floor structure shows no

signs of distress or displacement at the impact location or its connection points. The metal deck has a minimal vertical displacement or distortion that may have been a result of original construction activities as there is no evidence of displacement at the bearing locations for the metal deck system. The spray applied fire proofing materials are intact in these areas, with the exception of a relatively short length along the second-floor spandrel beam at the area of impact.

The impact damage was resisted locally by the architectural cladding components and likely dispersed through the suspended ceiling panels as evident by the two distorted panels at the south end of the parking area. Due to the suspended support of the ceiling system, the impact did not impact the structure. The concrete on composite metal deck floor system is 3 feet above the suspended ceiling making it highly unlikely that it received any significant amount of impact load, in addition to its relative stiffness as a floor diaphragm to resist lateral loadings.

The missing spray-applied fire proofing at the impact area exposes the structural steel beam in a fire event and should be replaced to maintain the fire rating of the floor system.

RECOMMENDATIONS

As stated above, the observed damage is of the architectural components, which WJE understands have been evaluated by Mr. Noeker. WJE recommends the structural components be examined as they are further exposed during replacement and repair of the architectural cladding systems.

- If the beam flange is observed to be bent, twisted, or otherwise distorted, contact WJE for further review.
- If displacements or movements are observed between the beams and the metal deck, contact WJE for further review.

If no further distress is observed, the missing spray-applied fire proofing at the impact area is recommended to be replaced.

Over-cladding was briefly discussed on site with Mr. Noeker. WJE recommends that the damaged components of the existing cladding system be removed to obtain a flush and consistent surface for the attachment of new cladding. WJE can review the replacement of the existing cladding components or the proposed over-cladding assembly upon request. If the over-cladding is pursued, consideration is recommended to be given to the anchorage and attachment of the new cladding at the windows, jambs, and other intersections.

CLOSING

Thank you for the opportunity to work with CBRE on this project. Should you have any questions, or other conditions are exposed upon removal of the damaged cladding components, please reach out to either of us at 248-593-0900.

Sincerely,

WISS, JANNEY, ELSTNER ASSOCIATES, INC.

Cheryl L. Early
Senior Associate

Heather R. Brouwer
Associate I

Enclosure: Figures 1 through 8

FIGURES

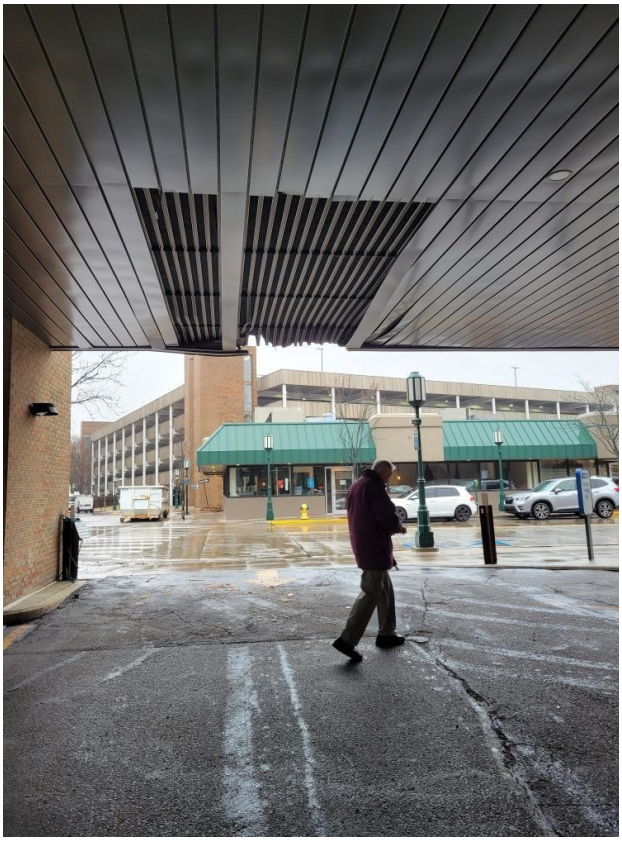


Figure 1. Overview of impact damage to ceiling panel prior to WJE's site visit (photograph provided by CBRE).

Figure 2. Overview of impact damage to north facade prior to WJE's site visit (photograph provided by CBRE).

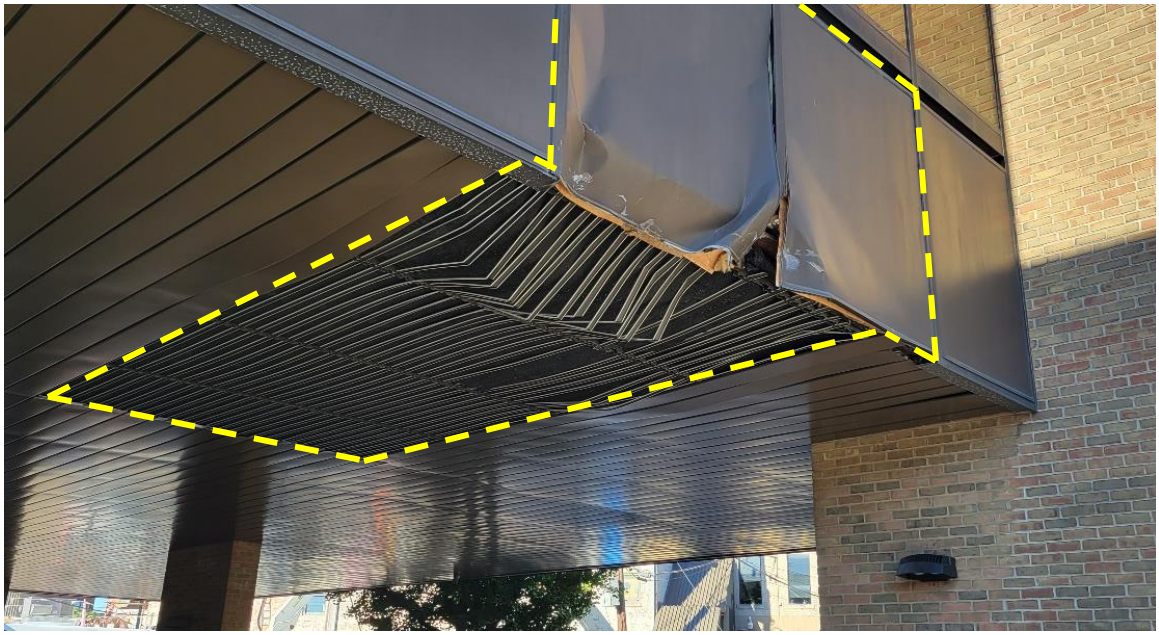


Figure 3. Overview of impact damage of north facade cladding and north side of parking lot ceiling.

Figure 4. Damaged architectural cladding and mullion (yellow arrow).

Figure 5. Exposed bottom flange of the structural steel beam at the impact area.

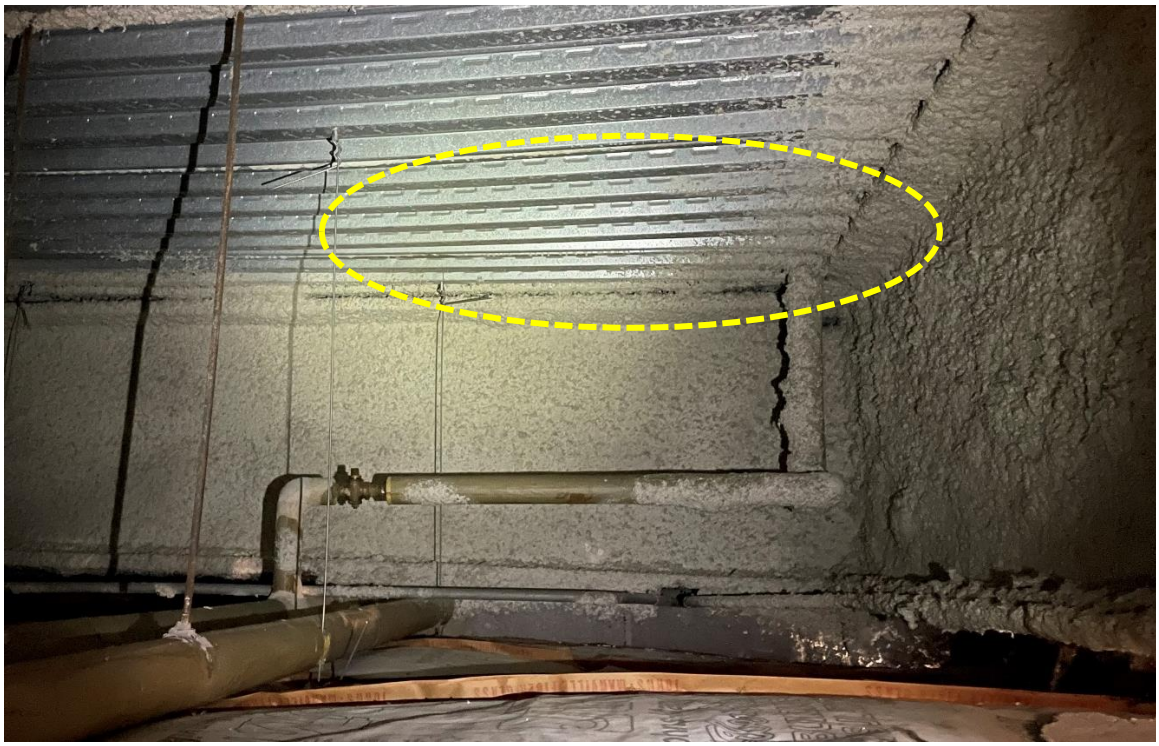


Figure 6. Second floor and ceiling system looking west near the impact area. Note utilities, beam connections, and fire proofing are intact. Slight visible distortion in metal deck circled in yellow.

Figure 7. Damaged hat channel ceiling panel system near impact area.

Figure 8. Ceiling panels on the south side of parking level displaced downward.

CASE DESCRIPTION

479 S Old Woodward (23-16)

Hearing date: May 9, 2023

Appeal No. 23-16: The owner of the property known as **479 S Old Woodward**, requests the following variance:

A. Chapter 126, Article 4, Section 4.46(A), Table A of the Zoning Ordinance requires off-street parking to be based on land uses for the site. The applicant is required to provide 98 parking spaces on-site and is proposing 87 parking spaces on-site. Therefore, a variance of 11 parking spaces is requested.

Staff Notes:

On June 24th, 2020 (Agenda – Minutes), the Planning Board accepted the Community Impact Study and Preliminary Site Plan for a new five story mixed-use building at the subject location.

On September 23rd, 2020 (Agenda – Minutes), the applicant obtained Final Site Plan & Design Review approval from the Planning Board. The approved plans had 50 residential units, two levels of underground parking for residents, and ground level parking for ground level retailers for a total of 84 parking spaces on-site.

During the September 23rd, 2020 Planning Board hearing, the applicant indicated they would be applying to be within the Parking Assessment District. The subject property has since been denied such admittance. It was determined that all assessments for public parking structures have been paid and a retroactive fee may not be assessed given the City's 20 year timeline expiration from the initial assessment.

On January 12, 2021 (Agenda – Minutes), the applicant obtained a variance to allow 7 parking spaces within 20 feet of the ground level building frontage along Hazel Street and to have two loading spaces less than 40 feet long (35 feet) facing Woodward Avenue.

On August 25th, 2021 (Agenda – Minutes), the Planning Board approved a request for a Final Site Plan extension.

On September 28th, 2022 (Agenda – Minutes), the applicant appeared before the Planning Board for a revised Final Site Plan. The applicant indicated they could not construct two levels of underground parking and revised the site plan to include one level of underground parking and no ground level parking. The revised plans were 74 parking spaces short of the the Zoning Ordinance requirement. The Planning Board moved to deny the Final Site Plan by a vote of 4-2.

On November 8th, 2022 (Agenda – Minutes), the applicant appeared before the Board of Zoning Appeals to request a variance of 74 parking spaces, claiming that they could not structurally provide two levels of underground parking. The applicant's request was denied by a vote of 6-1.

On September 28th, 2022 (Agenda – Minutes), the applicant appeared before the Planning Board for an ordinance amendment to allow parking requirements of the D4 Overlay zoned properties outside of the former parking assessment districts to be waived through a SLUP. The applicant claimed they could not provide two levels of undergound parking to accommodate required off-street parking, and therefore needed a waiver of requirements. The Planning Board recommended approval of the ordinance amendment to the City Commission by a vote of 4-2.

On December 5th, 2022 (Agenda – Minutes), the applicant appeared before the City Commission for their ordinance amendment to allow parking requirements of D4 Overlay zoned properties outside of the former parking assessment districts to be waived through a SLUP. The City Commission approved the ordinance amendment by a vote of 5-2. Therefore it is now possible for the applicant to have parking requirements waived by City Commission through the provisions of a SLUP.

On January 25th, 2023 (Agenda – Minutes), the applicant appeared before the Planning Board for Final Site Plan & SLUP review to request a waiver of 58 parking spaces. The proposed site plan and SLUP included ground level retail and restaurant, office on the second floor, and residential uses on floors three, four, and five. The site plan had one level of underground parking with 37 parking spaces, creating a shortage of 58 spaces. The Planning Board moved to postpone the hearing and requested that the applicant amend the site plans to support a less intensive use and reduce the shortage of parking.

On March 22nd, 2023 (Agenda – Minutes), the applicant appeared before the Planning Board with a revised site plan with two-levels of underground parking once again. The revised site plan was not a SLUP since the applicant did not intend to request that City Commission waive parking requirements. The use of the building was also revised to have retail and restaurant on the first floor, office on floors two and three, and residential units on floors four and five. The Planning Board moved to approve the revised Final Site Plan with the condition that the applicant obtain a parking variance for 11 spaces.

This property is zoned B3 and D4 in the Downtown Overlay.

_____

Brooks Cowan
Senior Planner

479 S OLD WOODWARD MAP

CITY OF BIRMINGHAM
Community Development - Building Department
151 Martin Street, Birmingham, MI 48009
Community Development: 248-530-1850
Fax: 248-530-1290 / www.bhamgov.org

APPLICATION FOR THE BOARD OF ZONING APPEALS

Received Date: _____ **Hearing Date:** _____

Received By: _____ **Appeal #:** _____

Type of Variance: Parking - 11 Spaces	☐ Interpretation	☐ Dimensional	☐ Land Use	☐ Sign	☐ Admin Review

I. PROPERTY INFORMATION:

Address: 469-479 South Old Woodward	Lot Number:	Sidwell Number:

II. OWNER INFORMATION:

Name: BirminghamTower Partners LLC			
Address: 251 E. Merrill Street, Suite 205	City: Birmingham	State: MI	Zip code: 48009
Email:* dmarkus@markuslic.com		Phone: 248 892-2222	

III. PETITIONER INFORMATION:

Name: SANE AS ABIVE	Firm/Company Name:		
Address:	City:	State:	Zip code:
Email:		Phone:	

IV. GENERAL INFORMATION:

The Board of Zoning Appeals typically meets the second Tuesday of each month. COMPLETE digital applications along with supporting documents must be submitted on or before the 12th day of the month preceding the next regular meeting. Please note that incomplete applications will not be accepted.

To insure complete applications are provided, appellants must schedule a pre-application meeting with the Building Official, Assistant Building Official and/or City Planner for a preliminary discussion of their request and the documents that will be required to be submitted.

Staff will explain how all requested variances must be highlighted on the survey, site plan and construction plans. Each variance request must be clearly shown on the survey and plans including a table as shown in the example below. All dimensions to be shown in feet measured to the second decimal point.

The BZA application fee is **$360.00** for single family residential; **$560.00** for all others. This amount includes a fee for a public notice sign which must be posted at the property at least **15-days prior** to the scheduled hearing date.

Variance Chart Example

Requested Variances	Required	Existing	Proposed	Variance Amount
Variance A, Front Setback	25.00 Feet	23.50 Feet	23.50 Feet	1.50 Feet
Variance B, Height	30.00 Feet	30.25 Feet	30.25 Feet	0.25 Feet

V. REQUIRED INFORMATION CHECKLIST:

Please provide the following in your electronic submission:

- Completed and signed application
- Signed letter of practical difficulty and/or hardship
- Certified survey
- Building plans including existing and proposed floor plans and elevations
- If appealing a board decision, provide a copy of the minutes from any previous Planning, HDC, or DRB board meeting

VI. APPLICANT SIGNATURE

Owner hereby authorizes the petitioner designated below to act on behalf of the owner.

By signing this application, I agree to conform to all applicable laws of the City of Birmingham. All information submitted on this application is accurate to the best of my knowledge. Changes to the plans are not allowed without approval from the Building Official or City Planner.

*By providing your email to the City, you agree to receive news and notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner: _____ **Date:** 3/27/23

Signature of Petitioner: _____ **Date:** 3/27/23

CITY OF BIRMINGHAM
BOARD OF ZONING APPEALS
RULES OF PROCEDURE

ARTICLE 1 - Appeals

A. Appeals may be filed under the following conditions:

1. A property owner may appeal for variance, modification or adjustment of the requirements of the Zoning Ordinance.

2. A property owner may appeal for variance, modification or adjustment of the requirements of the Sign Ordinance.

3. Any aggrieved party may appeal the decision of the Planning Board and/or the Building Official in accordance with the City of Birmingham Zoning Ordinance, Article Eight, Section 8.01 (D) Appeals. If an appellant requests a review of any determination of the Building Official, a complete statement setting forth the facts and reasons for the disagreement with the Building Official's determination shall include the principal point, or points on the decision, order or section of the ordinance appealed from, on which the appeal is based.

B. Procedures of the Board of Zoning Appeals (BZA) are as follows:

1. Regular BZA meetings, which are open to the public, shall be held on the second Tuesday of the month at 7:30 P.M. provided there are pending appeals. There will be a maximum of seven appeals heard at the regular meeting which are taken in the order received. If an appeal is received on time after the initial seven appeals have been scheduled, it will be scheduled to the next regular meeting.

2. All applications for appeal shall be submitted to the Community Development Department on or before the 12th day of the month preceding the next regular meeting. If the 12th falls on a Saturday, Sunday, or legal holiday, the next working day shall be considered the last day of acceptance.

3. All property owners and occupants within 300 feet of the subject property will be given written notice of a hearing by the City of Birmingham.

4. See the application form for specific requirements. If the application is incomplete, the BZA may refuse to hear the appeal. The Building Official or City Planner may require the applicant to provide additional information as is deemed essential to fully advise the Board in reference to the appeal. Refusal or failure to comply shall be grounds for dismissal of the appeal at the discretion of the Board.

5. In variance requests, applicants must provide a statement that clearly sets forth all special conditions that may have contributed to a practical difficulty that is preventing a reasonable use of the property.

6. Where the Birmingham Zoning Ordinance requires site plan approval of a project by the City Planning Board before the issuance of a building permit, applicants must obtain preliminary site plan approval by the Planning Board before appeal to the BZA for a variance request. If such appeal is granted by the BZA, the applicant must seek final site plan and design review approval from the Planning Board before applying for a building permit.

7. An aggrieved party may appeal a Planning Board decision. Such appeal must be made within 30 days of the date of the decision. The BZA, in its discretion, may grant additional time in exceptional circumstances.

8. Appeals from a decision of the Building Official shall be made within 30 days of the date of the order, denial of permit, or requirement or determination contested. The BZA, in its discretion, may grant additional time in exceptional circumstances.

9. An appeal stays all proceedings in accordance with Act #110, Public Acts of 2006, Article VI, Section 125.3604 (3).

C. The order of hearings shall be:

1. Presentation of official records of the case by the Building Official or City Planner as presented on the application form.

2. Applicant's presentation of his/her case—the applicant or his/her representative must be present at the appeal hearing.

3. Interested parties' comments and view on the appeal.

4. Rebuttal by applicant.

5. The BZA may make a decision on the matter or request additional information.

D. Motions and Voting

1. A motion is made to either grant or deny a petitioner's request
   a) For a motion to grant or deny a non-use variance request, the motion must receive four (4) affirmative votes to be approved.
   b) For a motion to grant or deny a use variance request, the motion must receive five (5) affirmative votes to be approved.
   c) For a motion to grant or deny an appeal of a decision or order by an administrative official or board, the motion must receive four (4) affirmative votes to be approved.

2. When a motion made is to approve or deny a petitioner's request and if there is a tie vote, then the vote results in no action by the board and the petitioner shall be given an opportunity to have his or her request heard the next regularly scheduled meeting when all the members are present.

3. When there are less than seven (7) members of the board present for a meeting, then a petitioner requesting a use variance shall be given an opportunity at the beginning of the meeting to elect to have it heard at the next regularly scheduled meeting.

4. When there are less than six (6) members present for a meeting, then all petitioners shall be given an opportunity at the beginning of the meeting to elect to have the request heard at the next regularly scheduled meeting.

ARTICLE II - Results of an Appeal

A. The Board may reverse, affirm, vary or modify any order, requirement, decision or determination as in its opinion should be made, and to that end, shall have all the powers of the officer from whom the appeal has been taken.

B. The decisions of the Board shall not become final until the expiration of five (5) days from the date of entry of such orders or unless the Board shall find that giving the order immediate effect is necessary for the preservation of property and/or personal rights and shall so certify on the record.

C. Whenever any variation or modification of the Zoning Ordinance is authorized by resolution of the BZA, a Certificate of Survey must be submitted to the Community Development Department with the building permit application. A building permit must be obtained within one year of the approval date.

D. Failure of the appellant, or his representative, to appear for his appeal hearing will result in the appeal being adjourned to the next regular meeting. If, after notice, the appellant fails to appear for the second time, it will result in an automatic withdrawal of the appeal. The appellant may reapply to the BZA.

E. Any applicant may, with the consent of the Board, withdraw his application at any time before final action.

F. Any decision of the Board favorable to the applicant is tied to the plans submitted, including any modifications approved by the Board at the hearing and agreed to by the applicant, and shall remain valid only as long as the information or data provided by the applicant is found to be correct and the conditions upon which the resolution was based are maintained.

ARTICLE III - Rehearings

A. No rehearing of any decision of the Board shall be considered unless new evidence is submitted which could not reasonably have been presented at the previous hearing or unless there has been a material change of facts or law.

B. Application or rehearing of a case shall be in writing and subject to the same rules as an original hearing, clearly stating the new evidence to be presented as the basis of an appeal for rehearing.

I certify that I have read and understand the above rules of procedure for the City of Birmingham Board of Zoning Appeals.

Signature of Applicant

Zausmer

ZAUSMER, P.C.
32255 Northwestern Highway, Suite 225
Farmington Hills, MI 48334-1574
(248) 851-4111 · Fax (248) 851-0100

STEPHEN R. ESTEY
Shareholder
sestey@zausmer.com

March 28, 2023

City of Birmingham
ATTN: Board of Zoning Appeals
151 Martin Street
Birmingham, MI 48009

Re: Parking Variance Request – 479 S. Old Woodward

Dear Zoning Board Members:

We represent the owner, Birmingham Towers Partners ("BTP"), of the combined lots of 469-479 S. Old Woodward Avenue, now known as 479 S. Old Woodward Avenue (the "Property"). This letter and its accompanying materials, including the Application attached hereto as **Exhibit A**, are presented to the City of Birmingham ("City") Board of Zoning Appeals ("BZA") in furtherance of BTP's request for a parking variance as set forth herein.

I. BACKGROUND

The property at issue consists of a commercial building which was formerly utilized as a Mountain King restaurant and bank. The history of this Property and the efforts to redevelop it are well known.

The Property is located in the Downtown Overlay District, D-4 Zone ("D-4"). The physical practicalities of the Property create unique problems for development under the City's current zoning ordinance, given the manner in which parking is treated for parcels included in the former Parking Assessment District ("PAD"). The overall lot size is 0.423 acres. The lot is long and narrow, and it is situated on two corners with frontage on three streets, S. Old Woodward, Hazel and M-1. Because of the size and narrow corner configuration of the Property, it cannot support viable street-level retail, commercial use, residential use, *and* the required parking for those uses as discussed herein. This has been well documented and, in large part, is the reason the Property has been so challenging to develop.

The off-street parking requirements for this Property make the engineering and design of a mixed-use, D4-allowable building challenging – if not impossible. Even with a significant amount of the ground floor area and an underground garage dedicated to parking, there simply is not enough onsite parking to support a street-level-activating retail use such as that planned for the S. Old Woodward frontage. This fails to optimize retail for a pedestrian streetscape or to make the development economically viable.

Despite these factors, BTP has worked diligently over the last two years with the City in an effort to find a reasonable path forward. To that end, BTP recently obtained final Amended Site Plan ("Amended Site Plan") approval from the Planning Board with a recommendation to obtain a variance for only 11 spaces.[1]

II. THE REQUESTED PARKING VARIANCE.

The Amended Site Plan has retail and restaurant on the first floor, with office on the second and third floors and residential on the fourth and fifth floors. The two levels of underground parking accommodate 64 spaces while the ground level parking has 12 spaces with 11 lifts, totaling 87 spaces. The required number of spaces is 98, therefore BTP is requesting a variance to waive 11 spaces.

III. THE REQUIREMENTS JUSTIFYING A VARIANCE ARE MET.

MCL 125.3604 gives a zoning board of appeals the authority to grant nonuse variances if there are "practical difficulties," relating to the "construction, structural changes, or alteration of buildings or structures related to dimensional requirements of the zoning ordinance or to any other nonuse related standard in the ordinance." Likewise, Section 8.01 of the City's Zoning Ordinance provides that the BZA may grant variances from site development requirements upon certain conditions being met. In addition, Michigan law provides that there need only be a reasonable showing of "practical difficulty" to warrant a dimensional non-use variance. *Heritage Hill Ass'n, Inc v City of Grand Rapids*, 48 Mich App 765; 211 NW2d 77 (1973); *Nat'l Boatland, Inc v Farmington Hills Zoning Bd of Appeals*, 146 Mich App 380; 380 NW2d 472 (1985).

Section 8.01:

Powers and Duties: The Board of Zoning Appeals shall have the powers and duties set forth in MCL 125.581 et seq., MSA 5.2931 et seq. and as more particularly hereinafter enumerated. The Board of Zoning Appeals shall not have the power to change the zoning district of any property. The Board of Zoning Appeal's power and duties shall include the following:

Variances.

i. The Board of Zoning Appeals shall hear and grant or deny requests for variances from the strict application of the provisions of the Zoning Ordinance where there are practical difficulties or unnecessary hardships in carrying out the strict letter of such chapter. In granting a variance, the Board of Zoning Appeals may attach such conditions as it may deem reasonably necessary to promote the spirit and intent of the Zoning

[1] The applicant previously needed a waiver of 74 parking spaces and 58 spaces respectively, so the current design is a substantial improvement.

Ordinance. The Board of Zoning Appeals shall not grant any variance unless it first determines that:

ii. Because of special conditions applicable to the property in question, the provisions of the Zoning Ordinance, if strictly applied, unreasonably prevent the property owner from using the property for a permitted purpose;

iii. Literal enforcement of the chapter will result in unnecessary hardship;

iv. The granting of the variance will not be contrary to the spirit and purpose of the Zoning Ordinance nor contrary to the public health, safety and welfare; and

v. The granting of the variance will result in substantial justice to the property owner, the owners of property in the area and the general public.

Following are the basis upon which BTP meets each of the specific standards of review pursuant to Section 8.01 F.3 of the Ordinance:

(1) Because of special conditions applicable to the property in question, the provisions of the Zoning Ordinance, if strictly applied, unreasonably prevent the property owner from using the property for a permitted purpose;

RESPONSE: **As noted above, the fact that this is the only D-4 Property not included in the former PAD, as well as the limited size and shape of the Property, places this Property in unique development situation. Absent a variance, BTP will not be able to redevelop the Property in a manner that is consistent with the Downtown District and Master Plan objectives and the Amended Site Plan as approved by the Planning Board. In addition, due to the overall lot size (0.423 acres), odd shape, and location on two corners with frontage on three streets, S. Old Woodward, Hazel and M-1 the Property is not able to support viable street-level retail, commercial use, residential use, *and* the required parking for those uses as discussed herein.**

(2) Literal enforcement of the chapter will result in unnecessary hardship;

RESPONSE: **BTP has done everything within commercially reasonable design standards to get this project to a point where the least amount of parking spaces need to be waived. Strict enforcement of the parking requirements would eliminate the ability of BTP to move forward after more than two years of planning in order to construct the project as approved by the Planning Board pursuant to the Amended Site Plan. Moreover, literal enforcement would put this D-4 Property in a development position different from every other D-4 in the City as all other D-4 properties do not have to comply with Section 3.04(D).**

(3) The granting of the variance will not be contrary to the spirit and purpose of the Zoning Ordinance nor contrary to the public health, safety and welfare; and

RESPONSE: **The requested variance will actually further the intent of the Ordinance and Master Plan. For example, it will encourage a form of development that will achieve the physical qualities necessary to maintain and enhance the economic vitality of Downtown Birmingham and to maintain the desired character of the City of Birmingham. It will also encourage redevelopment in a manner which will ensure that new buildings are compatible with the desired character of the city and, ensure that retail be safeguarded along street frontages.**

(4) The granting of the variance will result in substantial justice to the property owner, the owners of property in the area and the general public.

RESPONSE: **The granting of a variance will result in substantial justice as it will bring this D-4 Property in conformance with all other D-4 properties in the City as it relates to parking requirements. Moreover, redevelopment of this site as planned will create synergy in the area and improve the Downtown.**

IV. CONCLUSION

Accordingly, BTP respectfully requests that the BZA grant its requested variance to allow for a waiver of only 11 parking spaces.

Thank you for your consideration of this request. Should you have any questions, please do not hesitate to contact me.

Sincerely,

ZAUSMER, P.C.

Stephen R. Estey

SRE
cc: Client

Exhibit A

BIRMINGHAM TOWERS (MIXED USE)

469-479 SOUTH OLD WOODWARD

BIRMINGHAM, MI 48009

OWNER/DEVELOPER:

BIRMINGHAM TOWER PARTNERS LLC
251 EAST MERRILL ST, STE 204
BIRMINGHAM, MI 48009

ARCHITECT

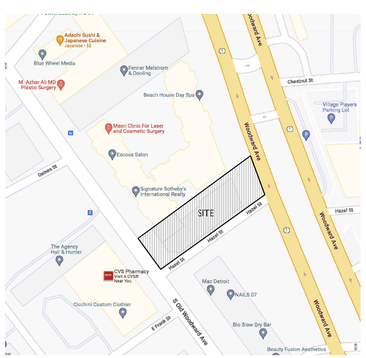
BOWERS + ASSOCIATES, INC.
2400 S. HURON PARKWAY
ANN ARBOR, MICHIGAN 48104
T: 734.975.2400

CIVIL ENGINEER

STRUCTURAL ENGINEER

LANDSCAPE ARCHITECT

MEP ENGINEER



LOCATION MAP
NO SCALE

BOWERS+ASSOCIATES
ARCHITECTURE DESIGN
2400 SOUTH HURON PARKWAY • ANN ARBOR, MI 48104
P: 734.975.2400 • F: 734.975.2410
WWW.BOWERSINC.COM

CONSULTANT + NAME

PROJECT + INFORMATION
BIRMINGHAM TOWERS
MIXED USE
OLD WOODWARD AVE
BIRMINGHAM, MICHIGAN

PROJECT + NUMBER
22-222

ISSUE + DATE

03 JAN 2023	SITE SUB.
23 FEB 2023	SITE RESUB
14 MAR 2023	CITY SUB

STATE OF MICHIGAN
SCOTT M. BOWERS
ARCHITECT
1301032575
LICENSED ARCHITECT

SHEET + TITLE
TITLE SHEET
22222T100B.dwg

SHEET + NUMBER
T1.00

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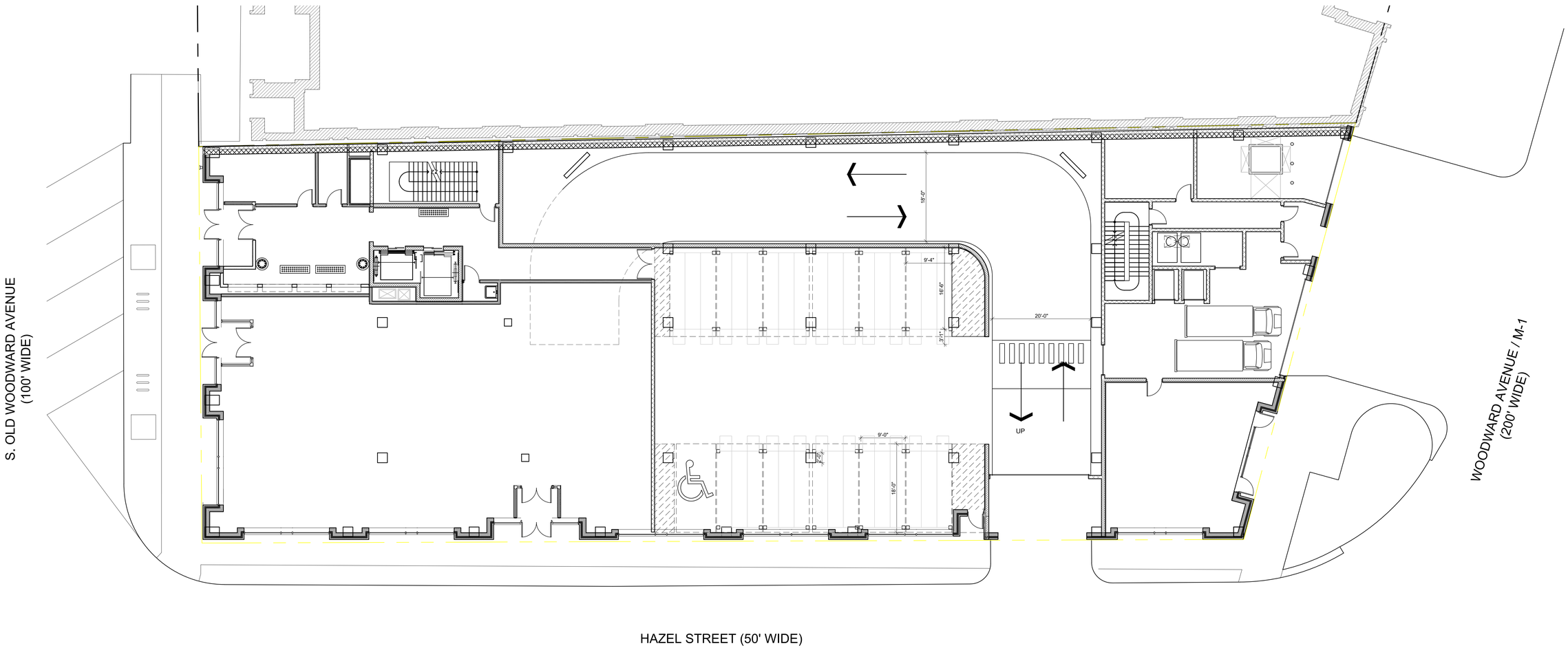

SITE PLAN

SCALE: 1" = 10'

PARKING REQUIREMENTS			
RETAIL	1 PER 300 SF	4,290	15 SPACES
LOBBY	1 PER 550 SF	526	1 SPACES
RESTAURANT	1 PER 75 SF	982	14 SPACES
OFFICE	1 PER 300 SF	32,338	108 SPACES
RESIDENTIAL	1 PER <= 2 RMS	21 RMS	21 SPACES
RESIDENTIAL	1.25 PER <= 2 RMS	1 RMS	1 SPACES
		40% SHARED SPACES	-43 SPACES
		30% REMAINING SHARED SPACES	-20 SPACES
		TOTAL REQUIRED	97 SPACES
		PROVIDED ON-SITE	87 SPACES
		PROVIDED ON-STREET	2 SPACES
		TOTAL PROVIDED	89 SPACES
		DIFFERENCE ON-SITE	10 SPACES
		DIFFERENCE W/ ON-STREET	8 SPACES
		CONTRACTED SPACES FROM BIRMINGHAM PLACE	0 SPACES
		DIFFICIENT SPACES	8 SPACES

RESIDENT UNIT MATRIX						
	FLOOR 1	FLOOR 2	FLOOR 3	FLOOR 4	FLOOR 5	TOTAL
1 BEDROOM			0	4	7	11
2 BEDROOM			0	6	4	10
3 BEDROOM			0	1	0	1
TOTAL			0	11	11	22

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WWW.BOWERSINC.COM

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PROJECT + INFORMATION

BIRMINGHAM TOWERS
MIXED USE
OLD WOODWARD AVE
BIRMINGHAM, MICHIGAN

PROJECT + NUMBER

22-222

ISSUE + DATE

22 FEB 2023	SITE RESUB
03 MAR 2023	
14 MAR 2023	CITY SUB.
20 MAR 2023	CITY SUB

STATE OF MICHIGAN
SCOTT M. BOWERS
ARCHITECT
1301032975
LICENSED ARCHITECT

SHEET + TITLE

SITE PLAN

22222MAST1.dwg

SHEET + NUMBER

SP1.00

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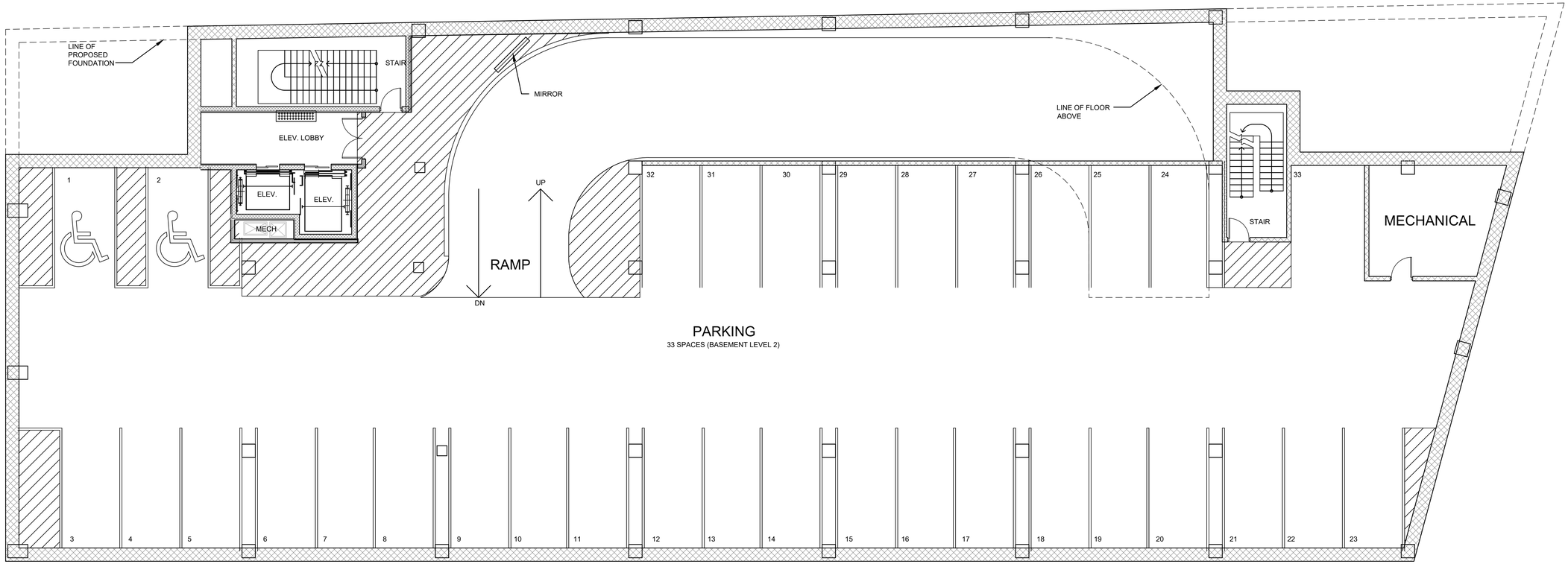

SECOND BASEMENT PARKING

SCALE: 1/8" = 1'-0"

TOTAL BUILDING : 18,175 SQ.F

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ARCHITECTURE DESIGN
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CONSULTANT + NAME

PROJECT + INFORMATION

BIRMINGHAM TOWERS
MIXED USE

479 S OLD WOODWARD AVE
BIRMINGHAM, MICHIGAN

PROJECT + NUMBER

22-222

ISSUE + DATE

03 NOV 2022	TENANT REV
20 DEC 2022	OWN. REV
23 DEC 2022	PKG CALC
03 JAN 2023	SITE SUB.
06 JAN 2023	OWN. REV.
07 FEB 2023	OWN REV
23 FEB 2023	SITE RESUB
03 MAR 2023	
14 MAR 2023	CITY SUB.

STATE OF MICHIGAN
SCOTT M. BOWERS
ARCHITECT
LICENSED ARCHITECT

SHEET + TITLE

LEVEL 2
BASEMENT
PARKING PLAN

SHEET + NUMBER

A1.00A

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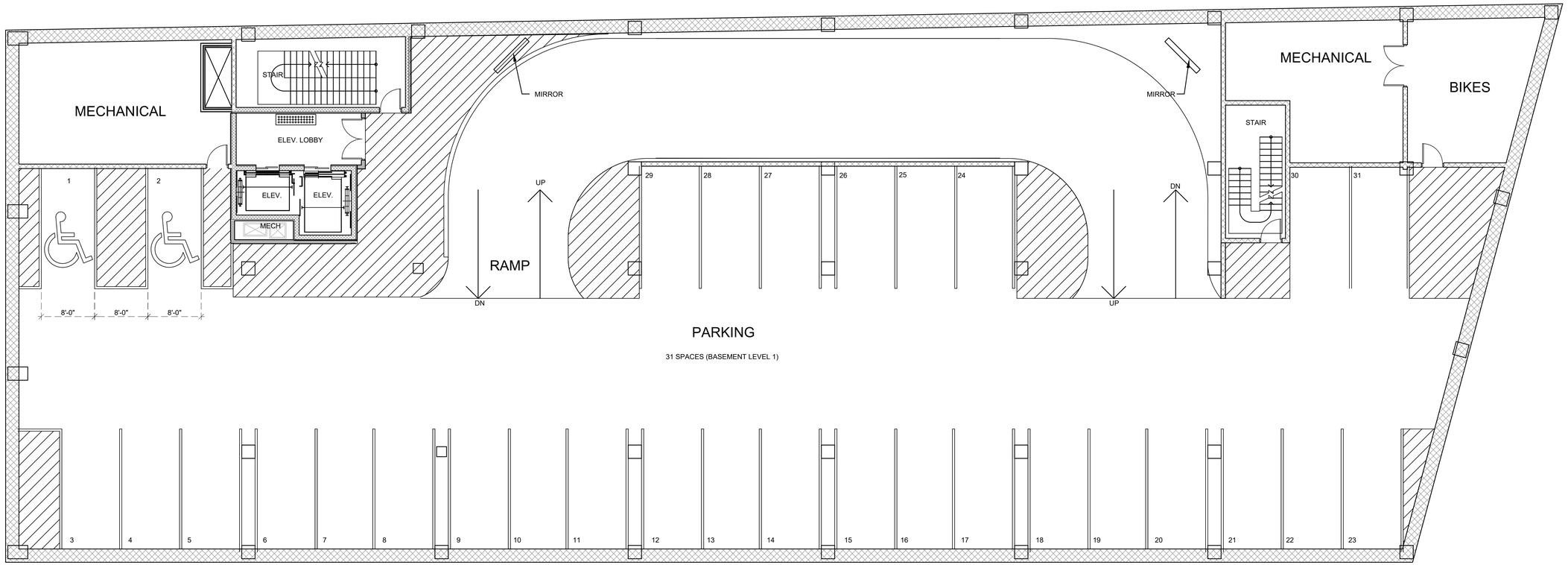

LOWER LEVEL PARKING

SCALE: 1/8" = 1'-0"
TOTAL BUILDING : 18,175 SQ.F

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CONSULTANT + NAME

PROJECT + INFORMATION
BIRMINGHAM TOWERS
MIXED USE
479 S OLD WOODWARD AVE
BIRMINGHAM, MICHIGAN

PROJECT + NUMBER
22-222

ISSUE + DATE

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07 FEB 2023	OWN REV
23 FEB 2023	SITE RESUB
03 MAR 2023	
14 MAR 2023	CITY SUB.

STATE OF MICHIGAN
SCOTT D. BOWERS
ARCHITECT
#301032575
LICENSED ARCHITECT

SHEET + TITLE
LEVEL 1
BASEMENT
PARKING PLAN

SHEET + NUMBER
A1.00B

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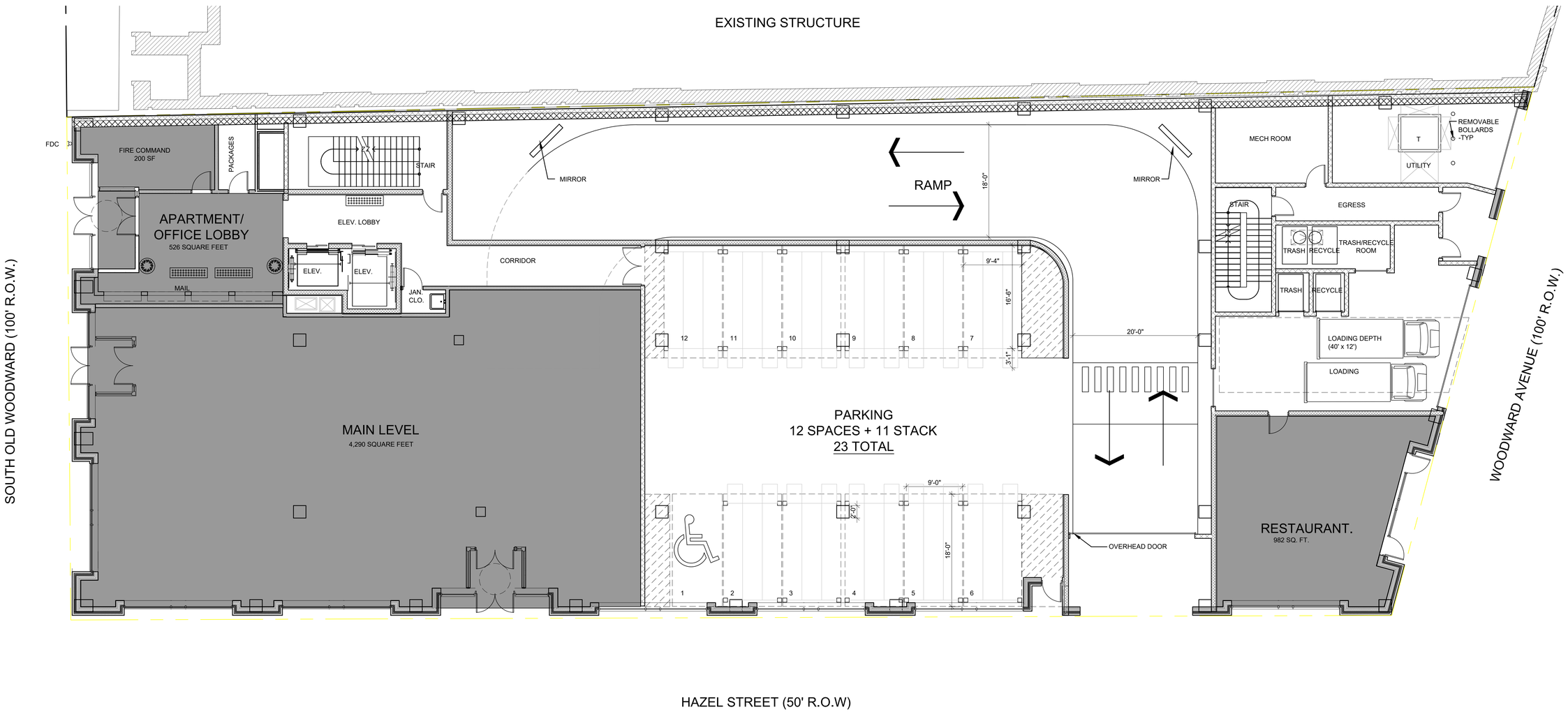

FIRST (GROUND)LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"

TOTAL FLOOR S.F : 18,175 S.F

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ARCHITECTURE DESIGN
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CONSULTANT + NAME

PROJECT + INFORMATION

BIRMINGHAM TOWERS
MIXED USE
OLD WOODWARD AVE
BIRMINGHAM, MICHIGAN

PROJECT + NUMBER

22-222

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23 FEB 2023	SITE RESUB
02 MAR 2023	OWN REV
03 MAR 2023	
14 MAR 2023	CITY SUB.
20 MAR 2023	CITY SUB

STATE OF MICHIGAN
SCOTT D. BOWERS
ARCHITECT
1501032575
LICENSED ARCHITECT

SHEET + TITLE

FIRST (GROUND) LEVEL
FLOOR PLAN

SHEET + NUMBER

A1.01

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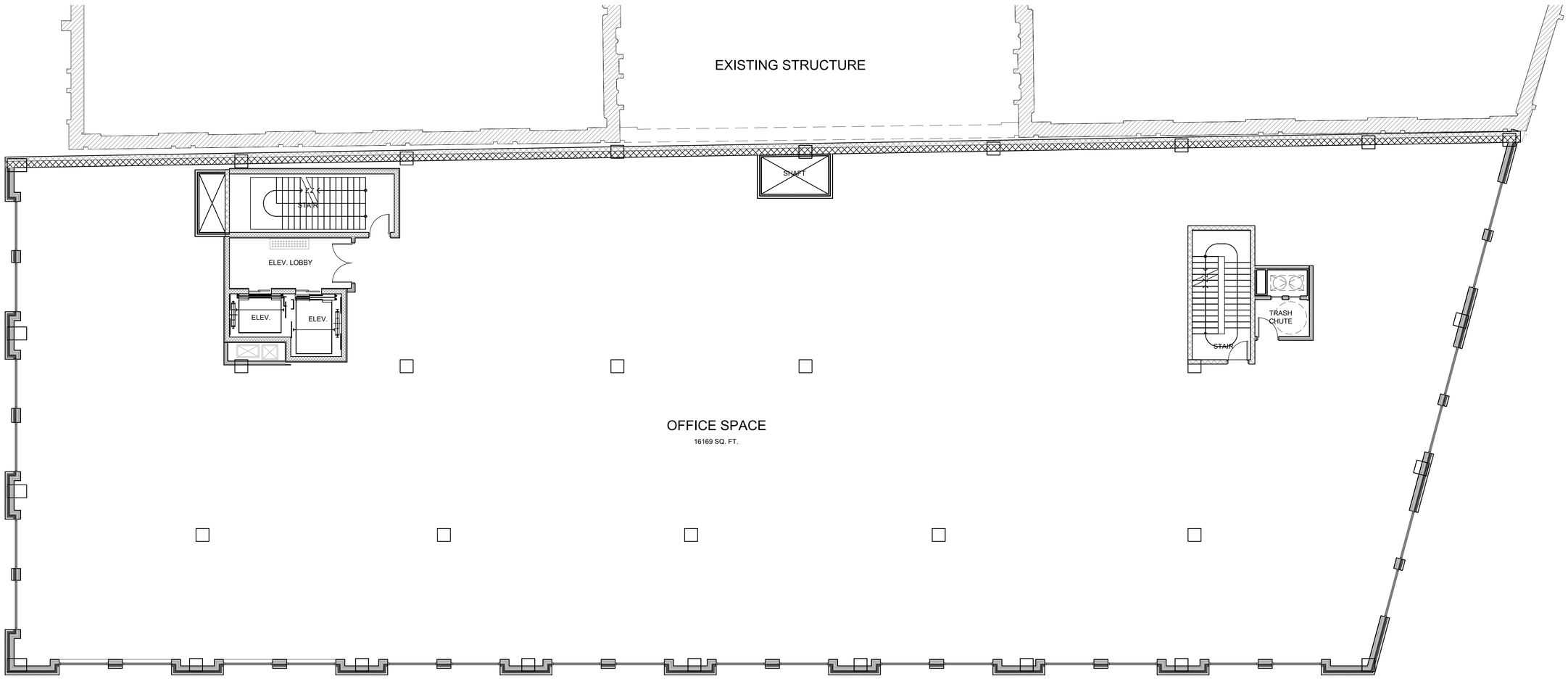

SECOND LEVEL FLOOR PLAN

SCALE: ⅛" = 1'-0"

TOTAL BUILDING : 18175 SQ.F

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PROJECT + INFORMATION

BIRMINGHAM TOWERS
MIXED USE
OLD WOODWARD AVE
BIRMINGHAM, MICHIGAN

PROJECT + NUMBER

22-222

ISSUE + DATE

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08 FEB 2023	OWN REV
23 FEB 2023	SITE RESUB
03 MAR 2023	
10 MAR 2023	
14 MAR 2023	CITY SUB.

STATE OF MICHIGAN
SCOTT M. BOWERS
ARCHITECT
#301032078
LICENSED ARCHITECT

SHEET + TITLE

SECOND LEVEL
FLOOR PLAN

SHEET + NUMBER

A1.02

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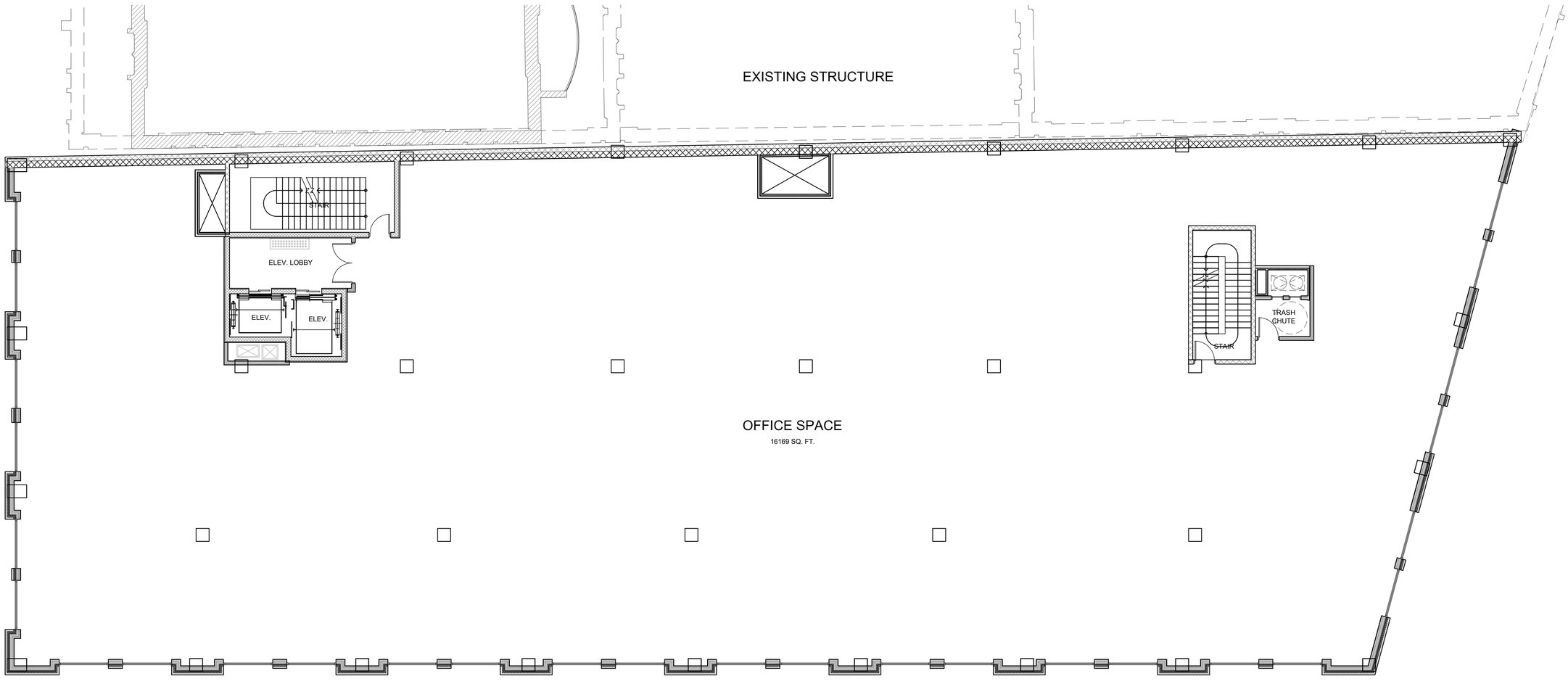

THIRD LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"
TOTAL BUILDING : 18175 SQ.F

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PROJECT + INFORMATION
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MIXED USE
OLD WOODWARD AVE
BIRMINGHAM, MICHIGAN

PROJECT + NUMBER
22-222

ISSUE + DATE

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08 FEB 2023	OWN REV
23 FEB 2023	SITE RESUB
03 MAR 2023	
10 MAR 2023	
14 MAR 2023	CITY SUB.

STATE OF MICHIGAN
SCOTT M. BOWERS
ARCHITECT
#301032778
LICENSED ARCHITECT

SHEET + TITLE
THIRD LEVEL
FLOOR PLAN

SHEET + NUMBER
A1.03

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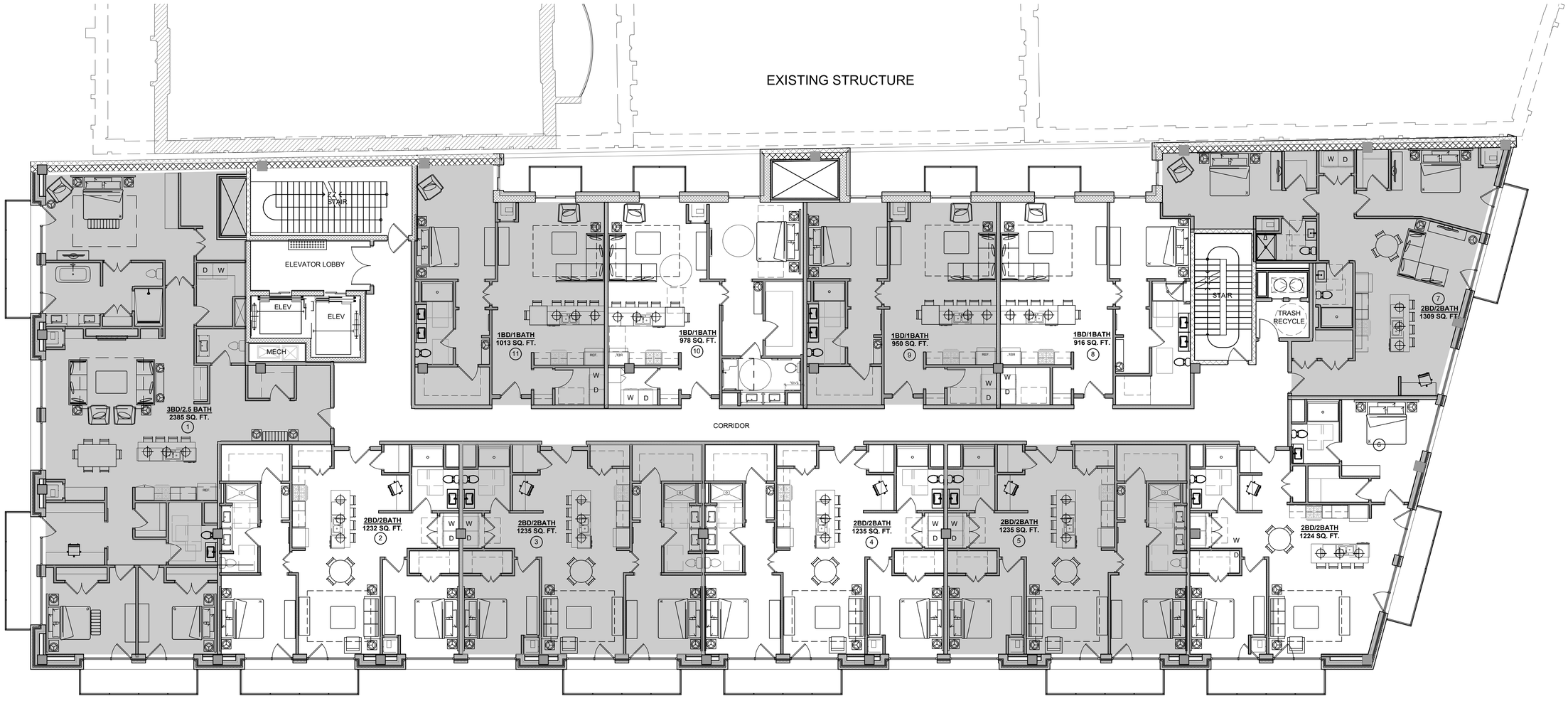

FOURTH LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"
TOTAL BUILDING : 18175 SQ.F

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CONSULTANT + NAME

PROJECT + INFORMATION
BIRMINGHAM TOWERS
MIXED USE
OLD WOODWARD AVE
BIRMINGHAM, MICHIGAN

PROJECT + NUMBER
22-222

ISSUE + DATE

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23 FEB 2023	SITE RESUB
03 MAR 2023	
14 MAR 2023	CITY SUB.

STATE OF MICHIGAN
SCOTT M. BOWERS
ARCHITECT
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SHEET + TITLE
FOURTH LEVEL
FLOOR PLAN

SHEET + NUMBER
A1.04

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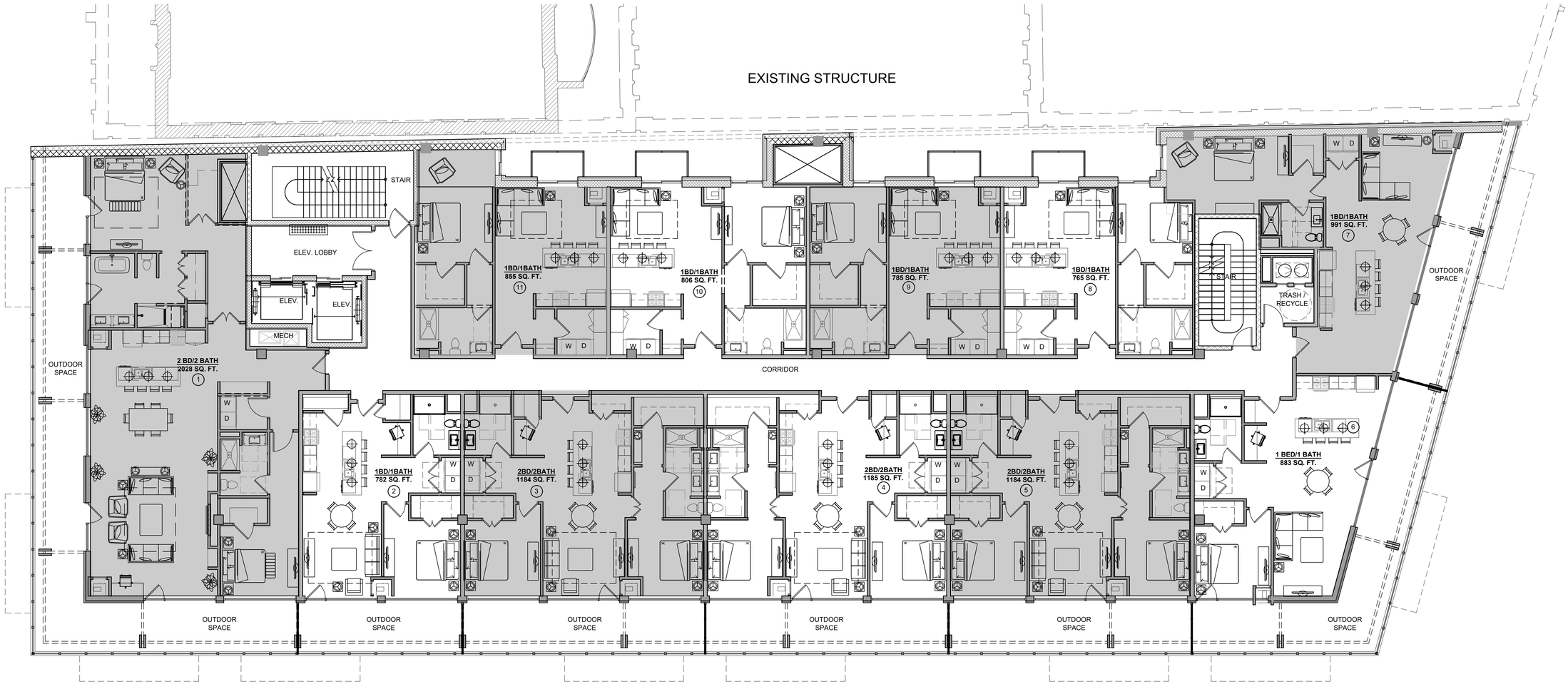

FIFTH LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"

TOTAL BUILDING SQ.F: 18175

BOWERS+ASSOCIATES
ARCHITECTURE DESIGN
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P: 734.975.2400 + F: 734.975.2410
WWW.BOWERSINCH.COM

CONSULTANT + NAME

PROJECT + INFORMATION

BIRMINGHAM TOWERS
MIXED USE
OLD WOODWARD AVE
BIRMINGHAM, MICHIGAN

PROJECT + NUMBER

22-222

ISSUE + DATE

03 NOV 2022	TENANT REV
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23 DEC 2022	PKG CALC
03 JAN 2023	SITE SUB.
10 FEB 2023	OWN REV
23 FEB 2023	SITE RESUB
03 MAR 2023	
14 MAR 2023	CITY SUB.

STATE OF MICHIGAN
SCOTT M. BOWERS
ARCHITECT
#301032978
LICENSED ARCHITECT

SHEET + TITLE

FIFTH LEVEL
FLOOR PLAN

SHEET + NUMBER

A1.05

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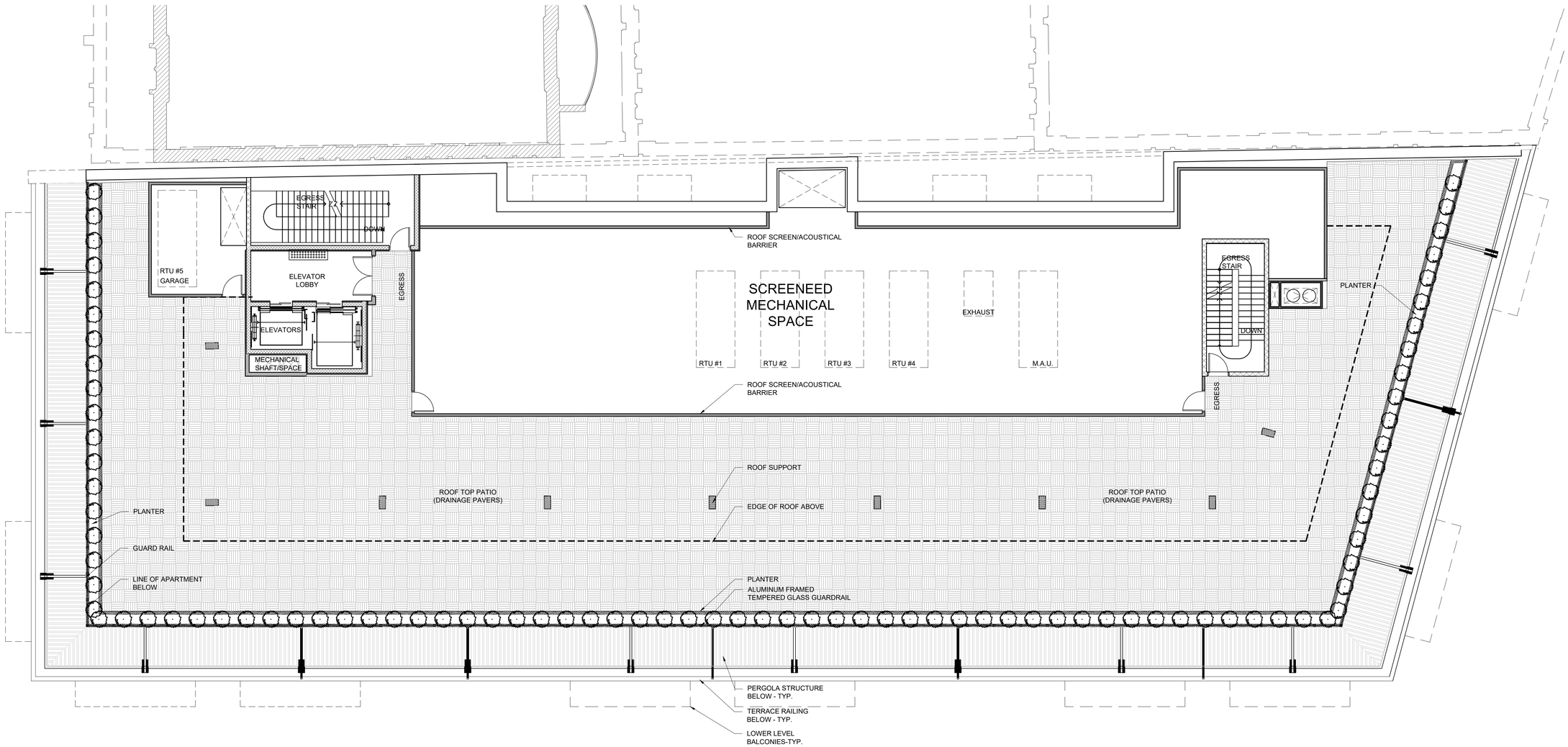

SIXTH LEVEL PLAN (TERRACE) - 6,629 SF

SCALE: 1/8" = 1'-0"

BOWERS+ASSOCIATES
ARCHITECTURE DESIGN
2400 SOUTH HURON PARKWAY + ANN ARBOR, MI 48104
P: 734.975.2400 + F: 734.975.2410
WWW.BOWERSINC.COM

CONSULTANT + NAME

PROJECT + INFORMATION

BIRMINGHAM TOWERS
MIXED USE
OLD WOODWARD AVE
BIRMINGHAM, MICHIGAN

PROJECT + NUMBER

22-222

ISSUE + DATE

03 NOV 2022	TENANT REV
21 DEC 2022	OWN REV
23 DEC 2022	PKG CALC
03 JAN 2023	SITE SUB.
23 FEB 2023	SITE RESUB
03 MAR 2023	
14 MAR 2023	CITY SUB.

STATE OF MICHIGAN
SCOTT D. BOWERS
ARCHITECT
101032075
LICENSED ARCHITECT

SHEET + TITLE

SIXTH LEVEL
FLOOR PLAN

SHEET + NUMBER

A1.06

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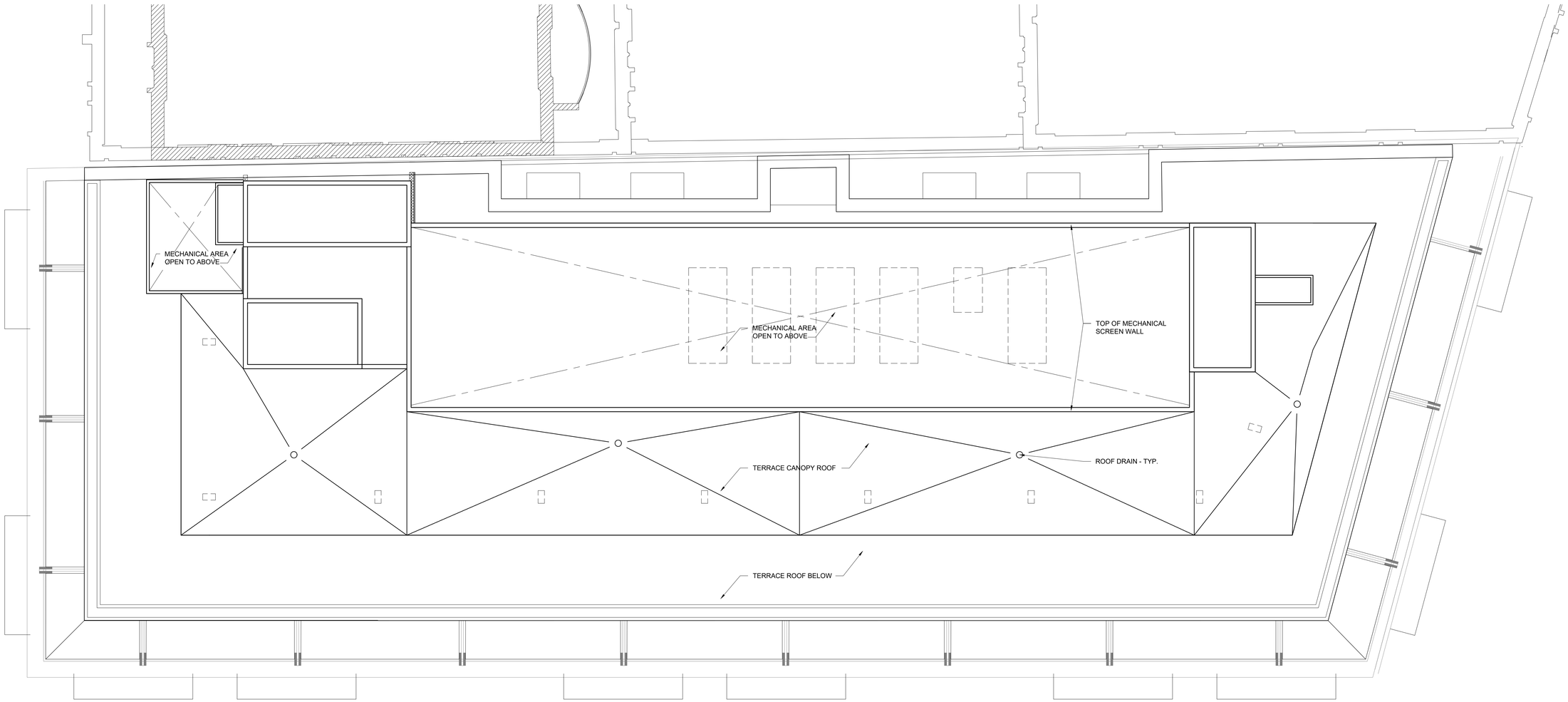
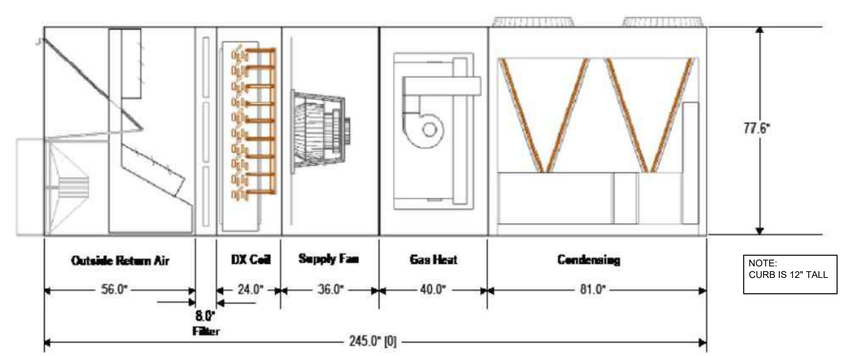


ROOF PLAN
SCALE: 1/8" = 1'-0"



NOTE:
CURB IS 12" TALL

ROOFTOP UNIT
NOT TO SCALE

BOWERS+ASSOCIATES
ARCHITECTURE DESIGN
2400 SOUTH HURON PARKWAY + ANN ARBOR, MI 48104
P: 734.975.2400 + F: 734.975.2410
WWW.BOWERSINC.COM

CONSULTANT + NAME

PROJECT + INFORMATION
BIRMINGHAM TOWERS
MIXED USE
OLD WOODWARD AVE
BIRMINGHAM, MICHIGAN

PROJECT + NUMBER
22-222

ISSUE + DATE
23 FEB 2023 SITE RESUB
14 MAR 2023 CITY SUB.

STATE OF MICHIGAN
SCOTT D. BOWERS
ARCHITECT
No. 1301032577
LICENSED ARCHITECT

SHEET + TITLE
ROOF PLAN
22222 A300.dwg

SHEET + NUMBER
A3.00

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SOUTH EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

1'-8' GLAZ / STOREFRONT = 685.2SF = 84%
FLR2+ GLAZ / TOTAL = 4107.3SF = 35%
FLR 5 MTL PAN / TOTAL = 1388.6SF = 9%

TAG	MATERIAL	MANUFACTURER	COLOR
A	GRANITE STONE BASE	TBD	BLACK GRANITE
B	STONE MASONRY 16x32	ARRISCRAFT	ALMAFI COASTAL SWAN
C	STONE MASONRY 8x32	ARRISCRAFT	ALMAFI COASTAL SWAN
D	CAST STONE ACCENTS	ROCKCAST	RIESLING
E	BRICK	TBD	EMPIRE GRAY
F	ALUM WINDO FRAMES / TR	TBD	DARK BRONZE
G	VERTICAL METAL PANELS	TBD	BURNISHED SLATE
H	BALCONY METAL PANELS	TBD	DARK BRONZE
J	METAL COPING	TBD	TO MATCH ADJACENT
K	PAINT	TBD	TO MATCH COLOR 'F'

BOWERS+ASSOCIATES
ARCHITECTURE DESIGN
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P: 734.975.2400 + F: 734.975.2410
WWW.BOWERSINC.COM

CONSULTANT + NAME

PROJECT + INFORMATION
BIRMINGHAM TOWERS
MIXED USE
OLD WOODWARD AVE
BIRMINGHAM, MICHIGAN

PROJECT + NUMBER
22-222

ISSUE + DATE

20 JAN 2023	GLAZ
23 FEB 2023	SITE RESUB
14 MAR 2023	

SHEET + TITLE
EXTERIOR ELEVATIONS
22222A500.dwg

SHEET + NUMBER
A5.00

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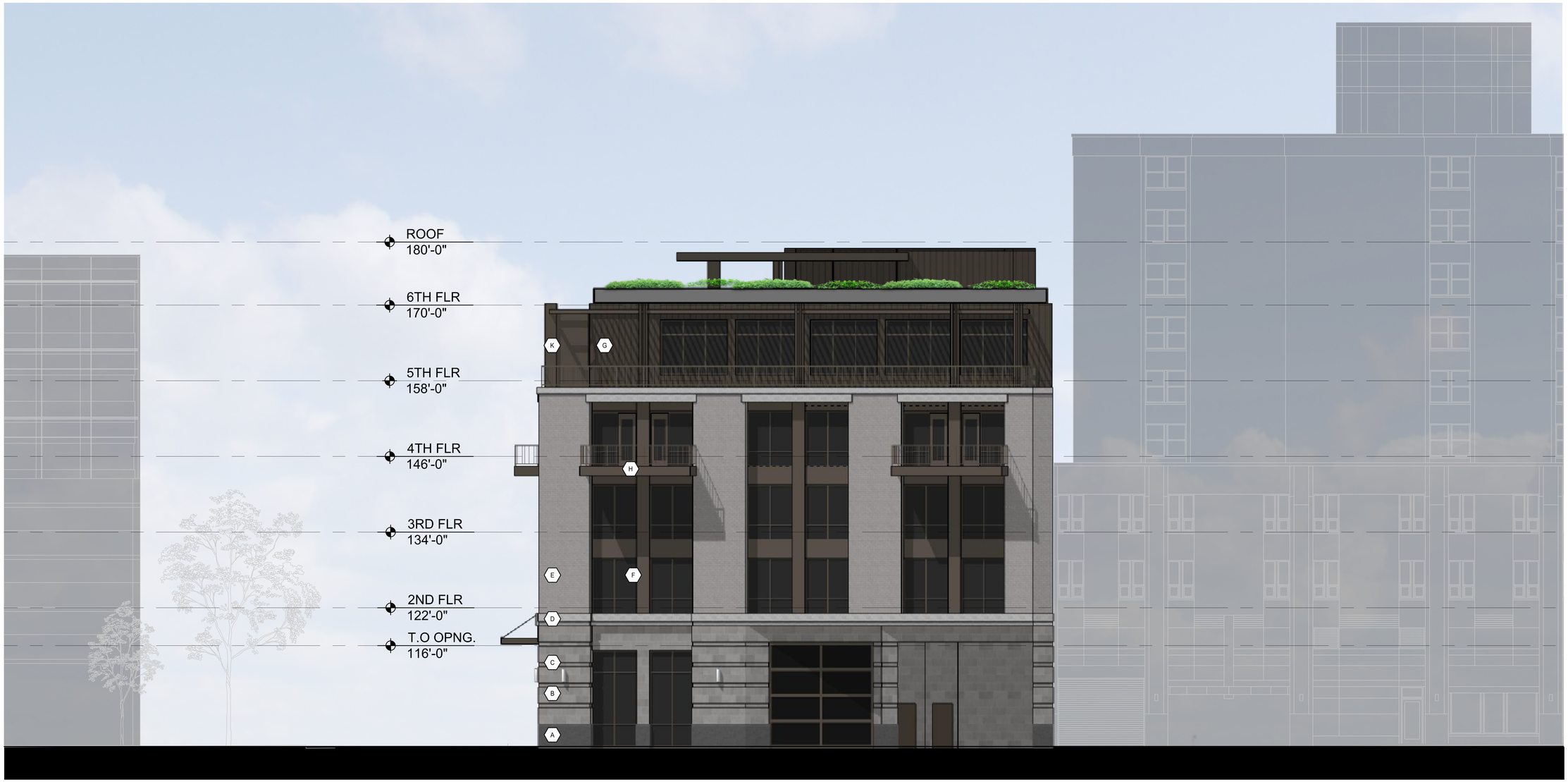

EAST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

1'-8' GLAZ / STOREFRONT = 104.3SF = 86%
FLR2+ GLAZ / TOTAL = 1501.1SF = 34%
FLR 5 MTL PAN / TOTAL = 558.0SF = 9%

TAG	MATERIAL	MANUFACTURER	COLOR
A	GRANITE STONE BASE	TBD	BLACK GRANITE
B	STONE MASONRY 16x32	ARRISCRAFT	ALMAFI COASTAL SWAN
C	STONE MASONRY 8x32	ARRISCRAFT	ALMAFI COASTAL SWAN
D	CAST STONE ACCENTS	ROCKCAST	RIESLING
E	BRICK	TBD	EMPIRE GRAY
F	ALUM WINDO FRAMES / TR	TBD	DARK BRONZE
G	VERTICAL METAL PANELS	TBD	BURNISHED SLATE
H	BALCONY METAL PANELS	TBD	DARK BRONZE
J	METAL COPING	TBD	TO MATCH ADJACENT
K	PAINT	TBD	TO MATCH COLOR 'F'

BOWERS+ASSOCIATES
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P: 734.975.2400 + F: 734.975.2410
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CONSULTANT + NAME

PROJECT + INFORMATION
BIRMINGHAM TOWERS
MIXED USE
OLD WOODWARD AVE
BIRMINGHAM, MICHIGAN

PROJECT + NUMBER
22-222

ISSUE + DATE

20 JAN 2023	GLAZ
23 FEB 2023	SITE RESUB
14 MAR 2023	

SHEET + TITLE
EXTERIOR ELEVATIONS
22222A500.dwg

SHEET + NUMBER
A5.01

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WEST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

1'-8' GLAZ / STOREFRONT = 253.3SF = 79%
FLR2+ GLAZ / TOTAL = 1524.3SF = 35%
FLR 5 MTL PAN / TOTAL = 476.9SF = 8%

TAG	MATERIAL	MANUFACTURER	COLOR
A	GRANITE STONE BASE	TBD	BLACK GRANITE
B	STONE MASONRY 16x32	ARRISCRAFT	ALMAFI COASTAL SWAN
C	STONE MASONRY 8x32	ARRISCRAFT	ALMAFI COASTAL SWAN
D	CAST STONE ACCENTS	ROCKCAST	RIESLING
E	BRICK	TBD	EMPIRE GRAY
F	ALUM WINDO FRAMES / TR	TBD	DARK BRONZE
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H	BALCONY METAL PANELS	TBD	DARK BRONZE
J	METAL COPING	TBD	TO MATCH ADJACENT
K	PAINT	TBD	TO MATCH COLOR 'F'

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P: 734.975.2400 + F: 734.975.2410
WWW.BOWERSINC.COM

CONSULTANT + NAME

PROJECT + INFORMATION
BIRMINGHAM TOWERS
MIXED USE
OLD WOODWARD AVE
BIRMINGHAM, MICHIGAN

PROJECT + NUMBER
22-222

ISSUE + DATE
20 JAN 2023 GLAZ
23 FEB 2023 SITE RESUB
14 MAR 2023

SHEET + TITLE
EXTERIOR ELEVATIONS
22222A500.dwg

SHEET + NUMBER
A5.02

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NORTH EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

1'-8' GLAZ / STOREFRONT = N/A
FLR2+ GLAZ / TOTAL = 405.0SF = 7%
FLR 5 MTL PAN / TOTAL = N/A

TAG	MATERIAL	MANUFACTURER	COLOR
A	GRANITE STONE BASE	TBD	BLACK GRANITE
B	STONE MASONRY 16x32	ARRISCRAFT	ALMAFI COASTAL SWAN
C	STONE MASONRY 8x32	ARRISCRAFT	ALMAFI COASTAL SWAN
D	CAST STONE ACCENTS	ROCKCAST	RIESLING
E	BRICK	TBD	EMPIRE GRAY
F	ALUM WINDO FRAMES / TR	TBD	DARK BRONZE
G	VERTICAL METAL PANELS	TBD	BURNISHED SLATE
H	BALCONY METAL PANELS	TBD	DARK BRONZE
J	METAL COPING	TBD	TO MATCH ADJACENT
K	PAINT	TBD	TO MATCH COLOR 'F'

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WWW.BOWERSNCH.COM

CONSULTANT + NAME

PROJECT + INFORMATION
BIRMINGHAM TOWERS
MIXED USE
OLD WOODWARD AVE
BIRMINGHAM, MICHIGAN

PROJECT + NUMBER
22-222

ISSUE + DATE
20 JAN 2023 GLAZ
23 FEB 2023 SITE RESUB
14 MAR 2023

SHEET + TITLE
EXTERIOR ELEVATIONS
22222A500.dwg

SHEET + NUMBER
A5.03

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*MEETS DARK SKY REQUIREMENTS

EXTERIOR MATERIALS | BIRMINGHAM TOWERS

BOWERS+ASSOCIATES
ARCHITECTURE DESIGN

BIRMINGHAM TOWERS

BIRMINGHAM, MICHIGAN

BOWERS+ASSOCIATES

ARCHITECTURE DESIGN

BIRMINGHAM TOWERS

BIRMINGHAM, MICHIGAN

BOWERS+ASSOCIATES

ARCHITECTURE DESIGN

BIRMINGHAM TOWERS

BIRMINGHAM, MICHIGAN

BOWERS+ASSOCIATES

ARCHITECTURE DESIGN

BIRMINGHAM TOWERS

BIRMINGHAM, MICHIGAN

BOWERS+ASSOCIATES

ARCHITECTURE DESIGN

BIRMINGHAM TOWERS

BIRMINGHAM, MICHIGAN

BOWERS+ASSOCIATES

ARCHITECTURE DESIGN

BIRMINGHAM TOWERS

BIRMINGHAM, MICHIGAN

BOWERS+ASSOCIATES

ARCHITECTURE DESIGN

BIRMINGHAM TOWERS

BIRMINGHAM, MICHIGAN

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ARCHITECTURE DESIGN

BIRMINGHAM TOWERS

BIRMINGHAM, MICHIGAN

BOWERS+ASSOCIATES

ARCHITECTURE DESIGN

BIRMINGHAM TOWERS

BIRMINGHAM, MICHIGAN

BOWERS+ASSOCIATES

ARCHITECTURE DESIGN

BIRMINGHAM TOWERS

BIRMINGHAM, MICHIGAN

BOWERS+ASSOCIATES

ARCHITECTURE DESIGN

CASE DESCRIPTION

185 Oakland Ave (23-17)

Hearing date: May 9, 2023

Appeal No. 23-17: The owner of the property known as **185 Oakland Ave**, requests the following variances:

A. Chapter 126, Article 3, Section 3.09(B)(1) requires that no less than 70% of the storefront/ground floor façade between 1 and 8 feet above grade shall be clear glass panels and doorway. The applicant is proposing changes to the façade facing Oakland Ave that will result in a glazing percentage of 41% (256 square feet), therefore a variance of 167 square feet is being requested.

B. Chapter 126, Article 3, Section 3.09(B)(1) requires that no less than 70% of the storefront/ground floor façade between 1 and 8 feet above grade shall be clear glass panels and doorway. The applicant is proposing changes to the façade facing Ferndale Ave that will result in a glazing percentage of 53% (421 square feet), therefore a variance of 132 square feet is being requested.

Staff Notes:

185 Oakland is an office building situated on the corner of Oakland Ave and Ferndale Street. The property is zoned B2 Business and D3 in the Downtown Overlay. The applicant is proposing changes to the exterior façade which will reduce the amount of window glazing. The current building has a non-conforming glazing percentage of 49.4% on the south elevation, which is proposed to be reduced to 41%, and a glazing percentage of 58.4% facing east which is proposed to be reduced to 53.2%. A nonconformity may be repaired, however it may not be expanded or enlarged. Reducing the glazing percentage further below 70% is considered expanding a non-conformity, therefore a variance for the proposed changes must be obtained.

On March 1st, 2023, the applicant appeared before the Design Review Board. The Design Review moved to approve the new plans with the condition that the applicant obtain a variance for glazing standards.

Brooks Cowan
Senior Planner

185 OAKLAND MAP

CITY OF BIRMINGHAM
Community Development - Building Department
151 Martin Street, Birmingham, MI 48009
Community Development: 248-530-1850
Fax: 248-530-1290 / www.bhamgov.org

APPLICATION FOR THE BOARD OF ZONING APPEALS

Received Date: _____ **Hearing Date:** _____

Received By: _____ **Appeal #:** _____

Type of Variance:	☐ Interpretation	☐ Dimensional % of first floor glazing	☐ Land Use	☐ Sign	☐ Admin Review

I. PROPERTY INFORMATION:

Address: 185 Oakland	Lot Number: 19-25-379-023	Sidwell Number:

II. OWNER INFORMATION:

Name: Hollywood Sheridan Associates, LLC			
Address: 29100 Northwestern HWY, Suite 410	City: Southfield	State: Michigan	Zip code: 48034
Email:* erogers@haymanco.com		Phone: 248 879 777	

III. PETITIONER INFORMATION:

Name: Russell W. Hinkle	Firm/Company Name: Hobbs+Bladc Associates		
Address: 100 N. State Street	City: Ann Arbor	State: Michigan	Zip code: 48104
Email: rhinkle@hobbs-black.com		Phone: 734 660 9560	

IV. GENERAL INFORMATION:

The Board of Zoning Appeals typically meets the second Tuesday of each month. COMPLETE digital applications along with supporting documents must be submitted on or before the 12th day of the month preceding the next regular meeting. Please note that incomplete applications will not be accepted.

To insure complete applications are provided, appellants must schedule a pre-application meeting with the Building Official, Assistant Building Official and/or City Planner for a preliminary discussion of their request and the documents that will be required to be submitted. Staff will explain how all requested variances must be highlighted on the survey, site plan and construction plans. Each variance request must be clearly shown on the survey and plans including a table as shown in the example below. All dimensions to be shown in feet measured to the second decimal point.

The BZA application fee is **$360.00** for single family residential; **$560.00** for all others. This amount includes a fee for a public notice sign which must be posted at the property at least 15-days prior to the scheduled hearing date.

Variance Chart Example

Requested Variances	Required	Existing	Proposed	Variance Amount
Variance A, Front Setback	25.00 Feet	23.50 Feet	23.50 Feet	1.50 Feet
Variance B, Height	30.00 Feet	30.25 Feet	30.25 Feet	0.25 Feet

V. REQUIRED INFORMATION CHECKLIST:

Please provide the following in your electronic submission:

- Completed and signed application
- Signed letter of practical difficulty and/or hardship
- Certified survey
- Building plans including existing and proposed floor plans and elevations
- If appealing a board decision, provide a copy of the minutes from any previous Planning, HDC, or DRB board meeting

VI. APPLICANT SIGNATURE

Owner hereby authorizes the petitioner designated below to act on behalf of the owner.
By signing this application, I agree to conform to all applicable laws of the City of Birmingham. All information submitted on this application is accurate to the best of my knowledge. Changes to the plans are not allowed without approval from the Building Official or City Planner.
*By providing your email to the City, you agree to receive news and notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner:_____ **Date:** April 6, 2023

Signature of Petitioner:_____ **Date:** April 6, 2023

Revised 03/09/2023

CITY OF BIRMINGHAM
BOARD OF ZONING APPEALS
RULES OF PROCEDURE

ARTICLE I - Appeals

A. Appeals may be filed under the following conditions:

1. A property owner may appeal for variance, modification or adjustment of the requirements of the Zoning Ordinance.

2. A property owner may appeal for variance, modification or adjustment of the requirements of the Sign Ordinance.

3. Any aggrieved party may appeal the decision of the Planning Board and/or the Building Official in accordance with the City of Birmingham Zoning Ordinance, Article Eight, Section 8.01 (D) Appeals. If an appellant requests a review of any determination of the Building Official, a complete statement setting forth the facts and reasons for the disagreement with the Building Official's determination shall include the principal point, or points on the decision, order or section of the ordinance appealed from, on which the appeal is based.

B. Procedures of the Board of Zoning Appeals (BZA) are as follows:

1. Regular BZA meetings, which are open to the public, shall be held on the second Tuesday of the month at 7:30 P.M. provided there are pending appeals. There will be a maximum of seven appeals heard at the regular meeting which are taken in the order received. If an appeal is received on time after the initial seven appeals have been scheduled, it will be scheduled to the next regular meeting.

2. All applications for appeal shall be submitted to the Community Development Department on or before the 12th day of the month preceding the next regular meeting. If the 12th falls on a Saturday, Sunday, or legal holiday, the next working day shall be considered the last day of acceptance.

3. All property owners and occupants within 300 feet of the subject property will be given written notice of a hearing by the City of Birmingham.

4. See the application form for specific requirements. If the application is incomplete, the BZA may refuse to hear the appeal. The Building Official or City Planner may require the applicant to provide additional information as is deemed essential to fully advise the Board in reference to the appeal. Refusal or failure to comply shall be grounds for dismissal of the appeal at the discretion of the Board.

5. In variance requests, applicants must provide a statement that clearly sets forth all special conditions that may have contributed to a practical difficulty that is preventing a reasonable use of the property.

6. Where the Birmingham Zoning Ordinance requires site plan approval of a project by the City Planning Board before the issuance of a building permit, applicants must obtain preliminary site plan approval by the Planning Board before appeal to the BZA for a variance request. If such appeal is granted by the BZA, the applicant must seek final site plan and design review approval from the Planning Board before applying for a building permit.

7. An aggrieved party may appeal a Planning Board decision. Such appeal must be made within 30 days of the date of the decision. The BZA, in its discretion, may grant additional time in exceptional circumstances.

8. Appeals from a decision of the Building Official shall be made within 30 days of the date of the order, denial of permit, or requirement or determination contested. The BZA, in its discretion, may grant additional time in exceptional circumstances.

9. An appeal stays all proceedings in accordance with Act #110, Public Acts of 2006, Article VI, Section 125.3604 (3).

C. The order of hearings shall be:

1. Presentation of official records of the case by the Building Official or City Planner as presented on the application form.

2. Applicant's presentation of his/her case—the applicant or his/her representative must be present at the appeal hearing.

3. Interested parties' comments and view on the appeal.

4. Rebuttal by applicant.

5. The BZA may make a decision on the matter or request additional information.

D. Motions and Voting

1. A motion is made to either grant or deny a petitioner's request
   a) For a motion to grant or deny a non-use variance request, the motion must receive four (4) affirmative votes to be approved.
   b) For a motion to grant or deny a use variance request, the motion must receive five (5) affirmative votes to be approved.
   c) For a motion to grant or deny an appeal of a decision or order by an administrative official or board, the motion must receive four (4) affirmative votes to be approved.

2. When a motion made is to approve or deny a petitioner's request and if there is a tie vote, then the vote results in no action by the board and the petitioner shall be given an opportunity to have his or her request heard the next regularly scheduled meeting when all the members are present.

3. When there are less than seven (7) members of the board present for a meeting, then a petitioner requesting a use variance shall be given an opportunity at the beginning of the meeting to elect to have it heard at the next regularly scheduled meeting.

4. When there are less than six (6) members present for a meeting, then all petitioners shall be given an opportunity at the beginning of the meeting to elect to have the request heard at the next regularly scheduled meeting.

ARTICLE II - Results of an Appeal

A. The Board may reverse, affirm, vary or modify any order, requirement, decision or determination as in its opinion should be made, and to that end, shall have all the powers of the officer from whom the appeal has been taken.

B. The decisions of the Board shall not become final until the expiration of five (5) days from the date of entry of such orders or unless the Board shall find that giving the order immediate effect is necessary for the preservation of property and/or personal rights and shall so certify on the record.

C. Whenever any variation or modification of the Zoning Ordinance is authorized by resolution of the BZA, a Certificate of Survey must be submitted to the Community Development Department with the building permit application. A building permit must be obtained within one year of the approval date.

D. Failure of the appellant, or his representative, to appear for his appeal hearing will result in the appeal being adjourned to the next regular meeting. If, after notice, the appellant fails to appear for the second time, it will result in an automatic withdrawal of the appeal. The appellant may reapply to the BZA.

E. Any applicant may, with the consent of the Board, withdraw his application at any time before final action.

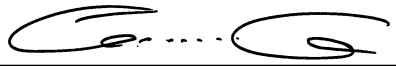
F. Any decision of the Board favorable to the applicant is tied to the plans submitted, including any modifications approved by the Board at the hearing and agreed to by the applicant, and shall remain valid only as long as the information or data provided by the applicant is found to be correct and the conditions upon which the resolution was based are maintained.

ARTICLE III - Rehearings

A. No rehearing of any decision of the Board shall be considered unless new evidence is submitted which could not reasonably have been presented at the previous hearing or unless there has been a material change of facts or law.

B. Application or rehearing of a case shall be in writing and subject to the same rules as an original hearing, clearly stating the new evidence to be presented as the basis of an appeal for rehearing.

I certify that I have read and understand the above rules of procedure for the City of Birmingham Board of Zoning Appeals.



Signature of Applicant

HOBBS + BLACK ARCHITECTS
ARCHITECTURE | PLANNING | INTERIOR DESIGN

April 6, 2023

Nicholas J. Dupuis
Planning Director
City of Birmingham
151 Marin Street
Birmingham, MI 48009

RE: 185 Oakland Building, Zoning Variance
Hobbs+Black Project #: 22111

Dear Mr. Dupuis:

The owner is proposing to reskin the existing 40-year-old building at the above address. This will solve problems with leaks and failed glazing as well as update the look of this building. This building is currently fully occupied as an office. Given its location away from the Old N. Woodward and at the edge of the D3 downtown overlay, it is unlikely that it will have a retail tenant.

The renovation proposes minimal changes to the amount of glazing, maintaining the current windowsill and window head locations. The intent is to minimize the disruption to the current tenants and the amount of renovation work required on the interior. Lowering the windowsill to increase the glazing percentage will only expose the back sides of desks within these offices. Increasing the window head height is not possible, due to existing ceiling heights.

The proposed renovation does not meet the 70% requirement for glazing on the first floor. The proposed glazing percentage is 54%. We are requesting a variance for this requirement.

Sincerely,

Russell W. Hinkle, AIA
Senior Associate

rwh

Enclosures: (if Any)

cc: Andrew Hayman, The Hayman Company
Elizabeth Rogers, The Hayman Company

Document1

185 OAKLAND OFFICE RENOVATION

ZONING VARIANCE SUBMITTAL
4/19/2023

OWNER

HOLLYWOOD SHERIDAN ASSOCIATES, LLC
29100 NORTHWESTERN HWY, SUITE 410
SOUTHFIELD, MI 48034
PHONE: (248)879-7777

ARCHITECT

HOBBS+BLACK ARCHITECTS
100 N. STATE STREET
ANN ARBOR, MI 48104
PHONE: (734)663-4189

CONTRACTOR

KIRCO MANIX
101 W. BIG BEAVER ROAD, SUITE 200
TROY, MI 48084
PHONE: (248)354-5100

SHEET INDEX

G-1 - COVER SHEET
A-1 - EXISTING VS PROPOSAL
A-2 - RENDERING & MATERIALS
A-3 - ELEVATIONS

A-5 - WALL SECTIONS

C-1.0 - TOPOGRAPHIC SURVEY

C:\Users\jstasko\Documents\22111-ARCH-185 Oakland Ave Office Reno-2022_jstasko@hobbs-black.com.rvt

Sheet Size - 24x36

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DRB SUBMITAL REV 03/28/2023
DRB SUBMITTAL 02/08/2023
DATE ISSUED

DRAWN BY

CHECKED BY

HOBBS + BLACK ARCHITECTS
100 N. State St.
Ann Arbor, MI 48104
P. 734.663.4189
www.hobbs-black.com

185 OAKLAND AVENUE
OFFICE RENOVATION
BIRMINGHAM, MICHIGAN

PROJECT

CONSULTANT

COVER SHEET

SHEET TITLE

22-111

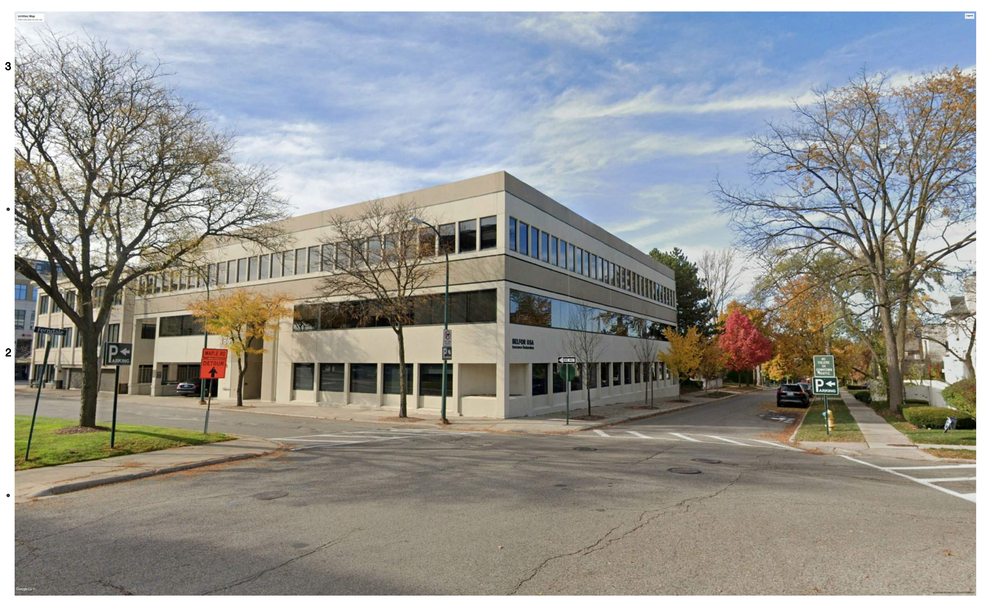
PROJECT NUMBER

G-1

SHEET NUMBER

F4 / A-1 EXISTING AERIAL
SCALE -
FILENAME

C4 / A-1 PROPOSED AERIAL
SCALE -
FILENAME



F1 / A-1 EXISTING CORNER VIEW
SCALE -
FILENAME

C1 / A-1 PROPOSED CORNER VIEW
SCALE -
FILENAME

Drawing: P:\2022\222 | | \Dwgs\00\20230322 - elevation-w\..dwg
Date: Mar 22, 2023, | 0:14am Layout: A-1 Plotted by: wh

Sheet Size - 24x36

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DRB SUBMITAL REV 03/28/2023
SITE PLAN SUBMISSION 02/06/2023
DATE ISSUED

DRAWN BY
TLP
CHECKED BY

HOBBS + BLACK ARCHITECTS
100 N. State St.
Ann Arbor, MI 48104
P.734.663.4187
www.hobbs-black.com

185 OAKLAND AVENUE
OFFICE RENOVATION
BIRMINGHAM, MICHIGAN
PROJECT

CONSULTANT

EXISTING VS. PROPOSED
SHEET TITLE

22-111
PROJECT NUMBER

A-1
SHEET NUMBER

F5 A-2 PROPOSED FRONT VIEW
SCALE -
FILENAME

C5 A-2 PROPOSED EAST VIEW
SCALE -
FILENAME

F3 A-2 PROPOSED NORTH VIEW
SCALE -
FILENAME

C1 A-2 PROPOSED NORTHEASTERN VIEW
SCALE -
FILENAME

MATERIALS

BRICK-1 SAVANNAH	BRICK-2 GRAPHITE(SMOOTH)	CASTSTONE BUFF(SMOOTH)	FIBER CEMENT PANEL GRAY	METAL PANEL - 1	SPECIALTY SIDING WOOD	METAL PANEL - 1 CHAMPAGNE BRONZE	PRE-FINISHED METALTRIM/ METAL AWNING DARK BRONZE

Drawing: P:\2022\22 | | \Dwgs\SD\20230322 - elevation-wh.dwg
Date: Mar 22, 2023, | 0:15am Layout: A-2 Plotted by: wh

Sheet Size - 24x36
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DRB SUBMITAL REV 03/28/2023
SITE PLAN SUBMISSION 02/06/2023
DATE ISSUED

DRAWN BY
TLP
CHECKED BY

HOBBS + BLACK
ARCHITECTS
100 N. State St.
Ann Arbor, MI 48104
P.734.663.4189
www.hobbs-black.com

185 OAKLAND AVENUE
OFFICE RENOVATION
BIRMINGHAM, MICHIGAN
PROJECT

CONSULTANT

RENDERINGS AND MATERIALS
SHEET TITLE

22-111
PROJECT NUMBER

A-2
SHEET NUMBER

Sheet Size - 24x36
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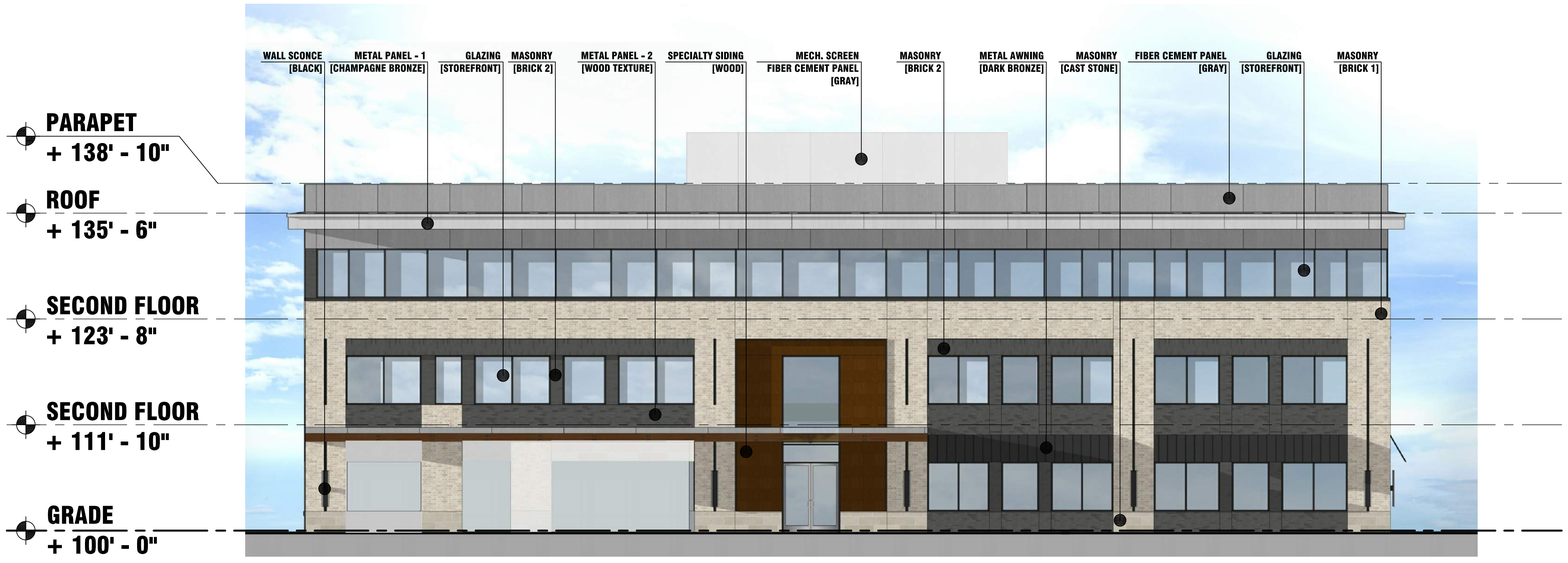


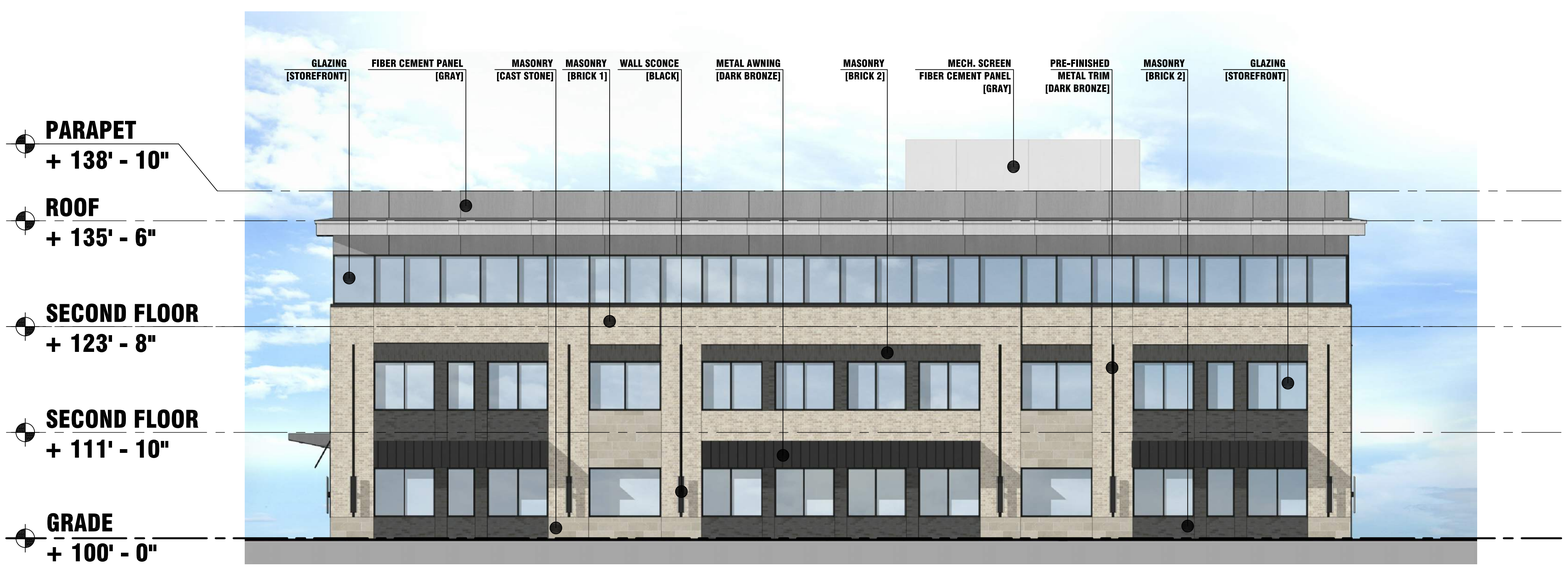
D4 / A-3 SOUTH ELEVATION
SCALE - 1/8" = 1'-0"
FILENAME

EXISTING SOUTH ELEVATION

Total Facade Area:	
4154.44 sqft	
Glazing Above 1st Floor:	
1028.25 sqft	(24.8%)
Total Facade Area Between 1'- 8':	
518.75 sqft	
Glazing Area Between 1'- 8':	
256.42 sqft	(49.4%)

PROPOSED SOUTH ELEVATION

Total Facade Area:	
4327.80 sqft	
Glazing Above 1st Floor:	
1075.72 sqft	(24.8%)
Total Facade Area Between 1'- 8':	
604.5 sqft	
Glazing Area Between 1'- 8':	
256.42 sqft	(41.03%)



D4 / A-4 EAST ELEVATION
SCALE - 1/8" = 1'-0"
FILENAME

EXISTING EAST ELEVATION

Total Facade Area:	
4364.75 sqft	
Glazing Above 1st Floor:	
1111 sqft	(25.4%)
Total Facade Area Between 1'- 8':	
791 sqft	
Glazing Area Between 1'- 8':	
462 sqft	(58.4%)

PROPOSED EAST ELEVATION

Total Facade Area:	
4364.75 sqft	
Glazing Above 1st Floor:	
1042.74 sqft	(23.9%)
Total Facade Area Between 1'- 8':	
791 sqft	
Glazing Area Between 1'- 8':	
421.44 sqft	(53.28%)

DRB SUBMITAL REV 03/28/2023
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185 OAKLAND AVENUE
OFFICE RENOVATION
BIRMINGHAM, MICHIGAN
PROJECT

CONSULTANT

ELEVATIONS
SHEET TITLE

22-111
PROJECT NUMBER

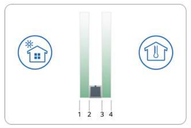
A-3
SHEET NUMBER

Drawing: P:\2022\22 | | \Dwgs\DD\20230322 - elevation-w.dwg
Date: Mar 22, 2023, 10:16am Layout: A-3 Plotted by: wh

PROPOSED GLAZING CHARACTERISTICS FOR 185 OAKLAND RENOVATION 4/6/2023

Minimum Requirements per local zoning
Visible light Transmittance 66% or greater.
Visible light Reflectance 15% or less.

Double Glazed

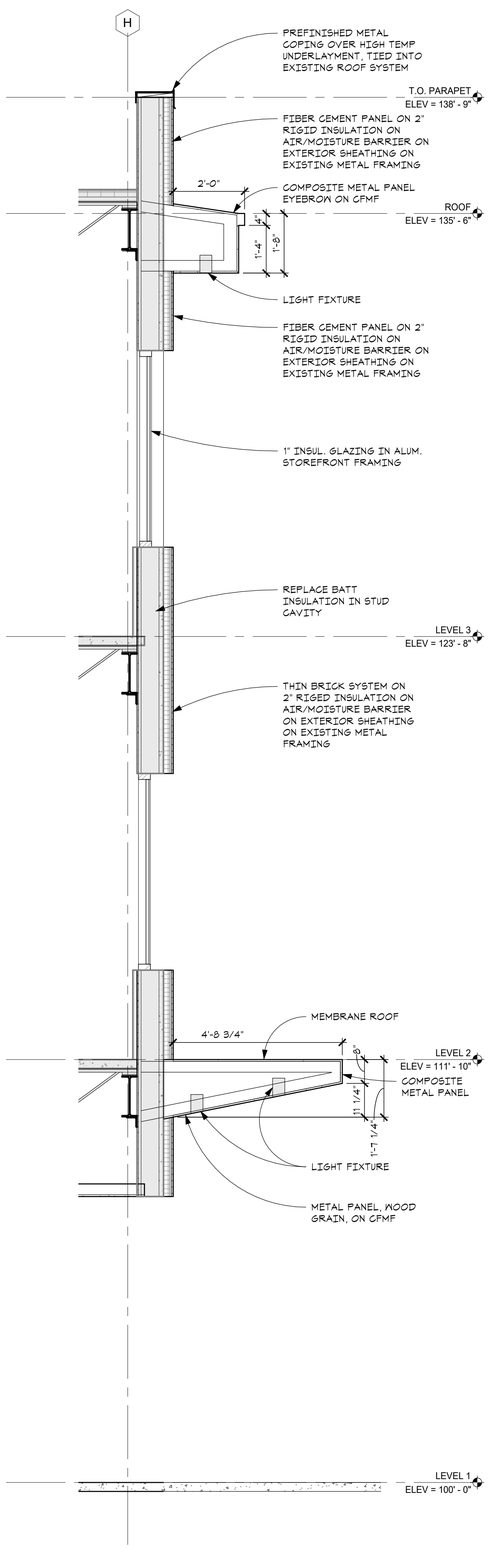


GLASS: Guardian Clear Glass (North America) Glass, 1/4" (6mm) (2-SunGuard® SN 68 (North America))
GAP: 10% Air, 90% Argon 12.7mm
GLASS: Guardian Clear Glass (North America) Glass, 1/4" (6mm)

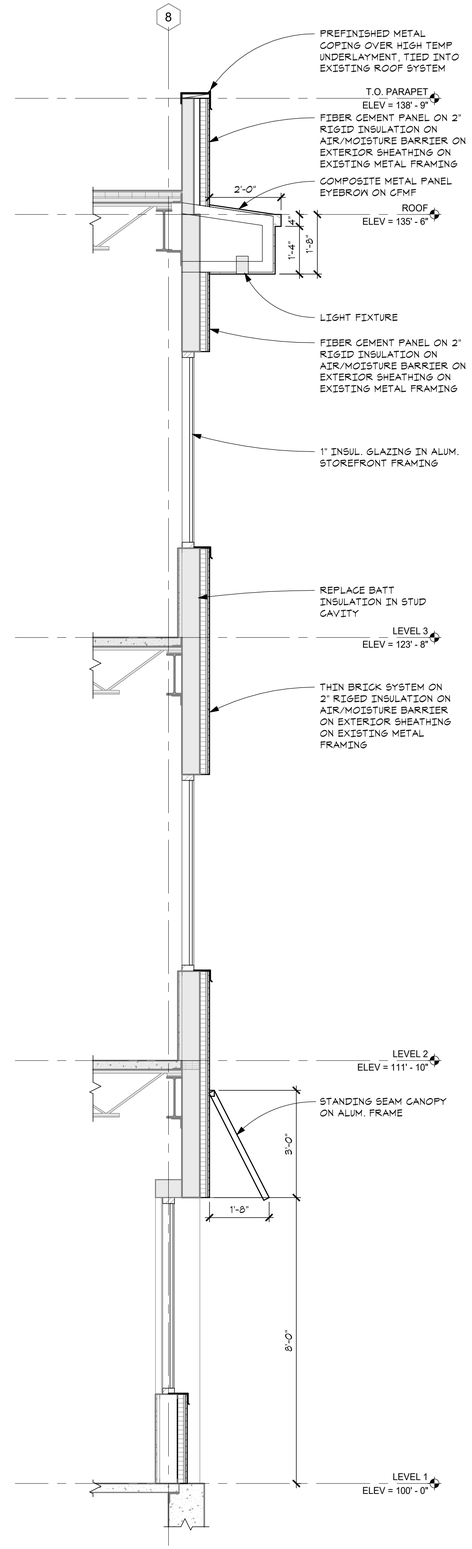
Calculated Values are in accordance with NFRC2010

Performance Values

VISIBLE LIGHT	Transmittance (τv) Reflectance outside (ρv) Reflectance inside (ρv) General Color Rendering Index (CRI)	**68 %** **11 %** **12 %** **95.4**
ULTRAVIOLET	Transmittance UV (τuv)	**30 %**
SOLAR ENERGY	Solar transmittance (τe) Reflectance outside (ρe) Reflectance inside (ρe) Solar absorptance (αe) Solar Heat Gain Coefficient (SHGC) Shading Coefficient (sc)	**33 %** **33 %** **36 %** **34 %** **0.37** **0.43**
THERMAL PROPERTIES	Winter night U-Value Summer day U-value	**0.245 Btu/hr·ft²·F** **0.220 Btu/hr·ft²·F**
LIGHT TO SOLAR GAIN	Light to Solar Gain (LSG)	**1.82**



2 A-5 SOUTH WALL SECTION
SCALE - 1/2" = 1'-0"



1 A-5 EAST WALL SECTION
SCALE - 1/2" = 1'-0"

Sheet Size - 24x36

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DRB SUBMITAL REV 03/28/2023
DRB SUBMITTAL 02/08/2023
DATE ISSUED

TJV
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RWH
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HOBBS + BLACK ARCHITECTS
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Ann Arbor, MI 48104
P. 734.663.4189
www.hobbs-black.com

185 OAKLAND AVENUE
OFFICE RENOVATION
BIRMINGHAM, MICHIGAN
PROJECT

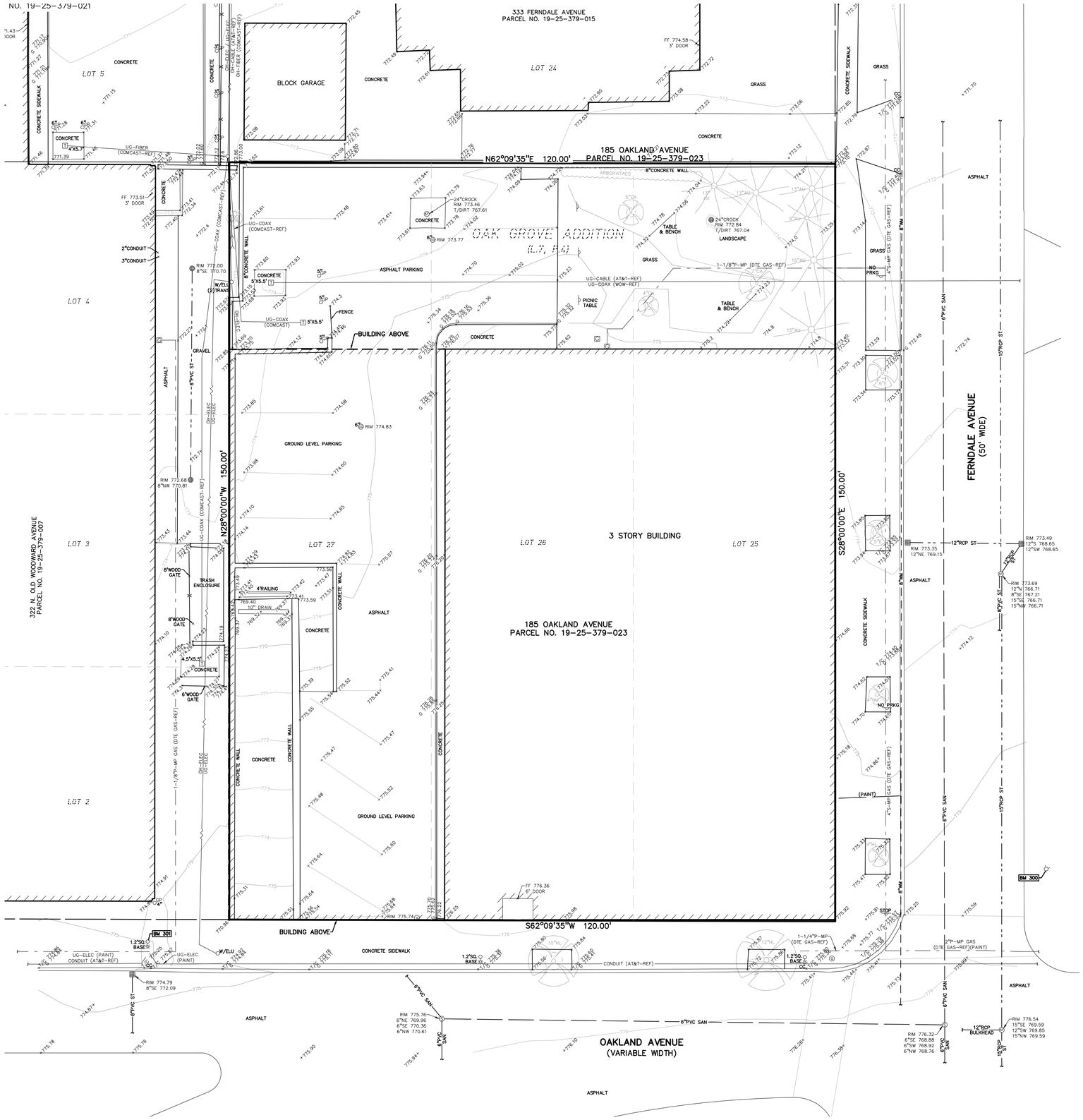
CONSULTANT

WALL SECTIONS
SHEET TITLE

22-111
PROJECT NUMBER

A-5
SHEET NUMBER

C:\Users\tvallance\Documents\22111-ARCH-185 Oakland Ave Office Reno-2022_tvallanceRXELA.rvt



LEGEND:

- EX. OH. ELEC, POLE & GUY WIRE
- EX. U.G. CABLE TV & PEDESTAL
- EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- EX. U.G. ELEC,MANHOLE, METER & HANDHOLE
- EX. GAS LINE
- EX. GAS VALVE & GAS LINE MARKER
- EX. TRANSFORMER & IRRIGATION VALVE
- EX. WATER MAIN
- EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
- EX. WATER VALVE BOX & SHUTOFF
- EX. SANITARY SEWER
- EX. SANITARY CLEANOUT & MANHOLE
- EX. COMBINED SEWER MANHOLE
- EX. STORM SEWER
- EX. CLEANOUT & MANHOLE
- EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
- EX. YARD DRAIN & ROOF DRAIN
- EX. UNIDENTIFIED STRUCTURE
- EX. MAILBOX, SIGN & LIGHTPOLE
- EX. FENCE
- EX. GUARD RAIL
- EX. SPOT ELEVATION
- EX. CONTOUR
- EX. WETLAND
- IRON FOUND / SET
- NAIL FOUND / NAIL & CAP SET
- BRASS PLUG SET
- MONUMENT FOUND / SET
- SECTION CORNER FOUND
- R M C — RECORDED / MEASURED / CALCULATED

REFERENCE DRAWINGS:

CABLE	AT&T MAP A1, DATED 11/10/2022 COMCAST MAP, EMAIL DATED 11/11/022 WOW MAP, EMAIL DATED 11/04/2022
GAS	DTE GAS COMPANY MAP 0260254, DATED 08/31/22
WATER MAIN	CITY OF BIRMINGHAM MAP, EMAIL DATED 11/04/2022
SANITARY SEWER	CITY OF BIRMINGHAM MAP, EMAIL DATED 11/04/2022
STORM SEWER	CITY OF BIRMINGHAM MAP, EMAIL DATED 11/04/2022
ELECTRIC	HAVE NOT RECEIVED UTILITY MAPS AS OF 11/14/2022

LEGAL DESCRIPTION:

PARCEL ID 19-25-379-023
Land in the City of Birmingham, Oakland County, Michigan, described as follows:

T2N, R10E, SEC 25 OAK GROVE ADD LOTS 25, 26 & 27 01/11/89 FR 016, 017 & 018

BENCHMARKS:

(GPS DERIVED - NAVD88)

BM #300
ARROW ON A HYDRANT LOCATED AT THE SOUTHEAST CORNER OF FERNDALE AVENUE & OAKLAND AVENUE.
ELEV. - 778.57

BM #301
CUT 'X' ON THE SOUTHEAST BOLT OF A LIGHT POLE BASE LOCATED ON THE NORTH SIDE OF OAKLAND AVENUE, NEAT THE SOUTHEAST BUILDING CORNER OF 322 N. OLD WOODWARD AVENUE.
ELEV. - 775.47

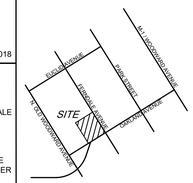
PEA GROUP
t: 844.813.2949
www.peagroup.com

NORTH

0 5 10 20
SCALE: 1" = 10'

811 Know what's below. Call before you dig.

CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO WARRANTIES EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
HOBBS & BLACK ASSOCAITES, INC
100 N. STATE STREET
ANN ARBOR, MICHIGAN 48104

PROJECT TITLE
OAKLAND AVENUE PROJECT
185 OAKLAND AVENUE
CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN

REVISIONS
- -

ORIGINAL ISSUE DATE:
NOVEMBER 18, 2022

DRAWING TITLE
TOPOGRAPHIC SURVEY

PEA JOB NO.	2022-1224
P.M.	JPB
DN.	LKP
DES.	

DRAWING NUMBER:
C-1.0

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FLOOD INSURANCE RATE MAP NUMBER 26125C0537F, DATED SEPTEMBER 29, 2006.

S:\PROJECTS\2022\2022-1224 OAKLAND AVENUE OFFICE\DWG\SITE_PLAN\C-1.0 TOPOBASE-221224.dwg

CASE DESCRIPTION

1587 S Bates (23-18)

Hearing date: May 9, 2023

Appeal No. 23-18: The owner of the property known as **1587 S Bates**, requests the following variance to construct a new single-family home with an attached garage:

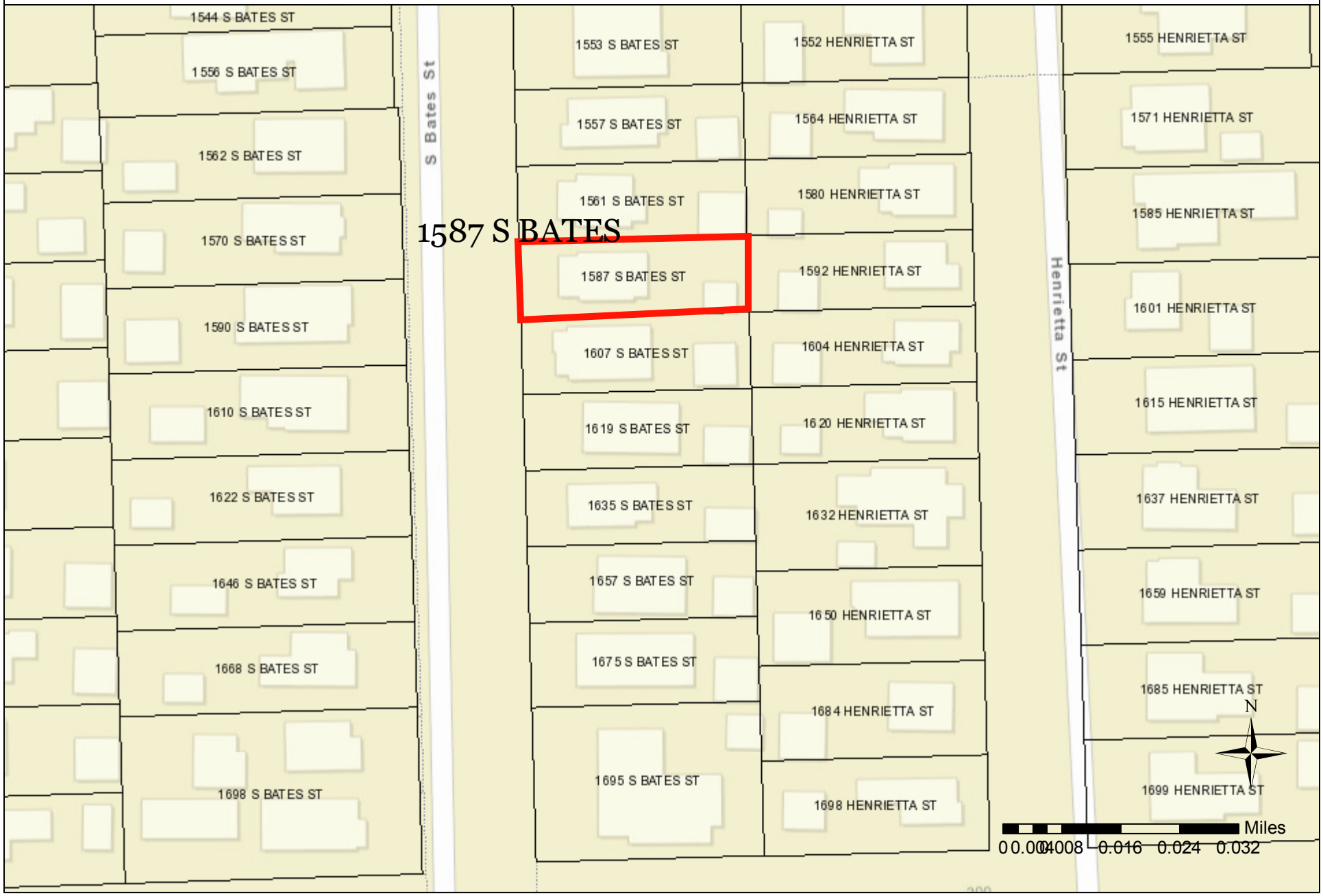
A. Chapter 126, Article 4, Section 4.74(C) of the Zoning Ordinance requires that a minimum distance between principal residential buildings on adjacent lots to be 14.00 feet or 25% of the lot width, whichever is larger. The required is 14.00 feet. The proposed is 13.22 feet on the south side. Therefore, a variance of 0.78 feet is requested.

Staff Notes: The applicant is looking to construct a new single family home with an attached garage.

This property is zoned R2 – Single family residential.

_____
Jeff Zielke, NCIDQ, LEED AP
Assistant Building Official

1587 S BATES MAP



CITY OF BIRMINGHAM
Community Development - Building Department
151 Martin Street, Birmingham, MI 48009
Community Development: 248-530-1850
Fax: 248-530-1290 / www.bhamgov.org

APPLICATION FOR THE BOARD OF ZONING APPEALS

Received Date: 4/10/23 **Hearing Date:** 5/11/23

Received By: HT **Appeal #:** 23-18

Type of Variance:	☐ Interpretation	☒ Dimensional	☐ Land Use	☐ Sign	☐ Admin Review

I. PROPERTY INFORMATION:

Address: 1587 S. Bates Street	Lot Number: 08-19-36-332-013	Sidwell Number:

II. OWNER INFORMATION:

Name: Nadim Yahchouchi			
Address: 19621 Babington Street	City: Santa Clarita	State: CA	Zip code: 91351
Email:* Nadimy@creativedropinc.com		Phone:	

III. PETITIONER INFORMATION:

Name: Nadim Yahchouchi	Firm/Company Name: Creativedrop Inc.		
Address: 19621 Babington Street	City: Santa Clarita	State: CA	Zip code: 91351
Email: Nadimy@creativedropinc.com		Phone: 818.636.2869	

IV. GENERAL INFORMATION:

The Board of Zoning Appeals typically meets the second Tuesday of each month. COMPLETE digital applications along with supporting documents must be submitted on or before the 12th day of the month preceding the next regular meeting. Please note that incomplete applications will not be accepted.

To insure complete applications are provided, appellants must schedule a pre-application meeting with the Building Official, Assistant Building Official and/or City Planner for a preliminary discussion of their request and the documents that will be required to be submitted. Staff will explain how all requested variances must be highlighted on the survey, site plan and construction plans. Each variance request must be clearly shown on the survey and plans including a table as shown in the example below. All dimensions to be shown in feet measured to the second decimal point.

The BZA application fee is **$360.00** for single family residential; **$560.00** for all others. This amount includes a fee for a public notice sign which must be posted at the property at least 15-days prior to the scheduled hearing date.

Variance Chart Example

Requested Variances	Required	Existing	Proposed	Variance Amount
Variance A, Front Setback	25.00 Feet	23.50 Feet	23.50 Feet	1.50 Feet
Variance B, Height	30.00 Feet	30.25 Feet	30.25 Feet	0.25 Feet

V. REQUIRED INFORMATION CHECKLIST:

Please provide the following in your electronic submission:

- Completed and signed application
- Signed letter of practical difficulty and/or hardship
- Certified survey
- Building plans including existing and proposed floor plans and elevations
- If appealing a board decision, provide a copy of the minutes from any previous Planning, HDC, or DRB board meeting

VI. APPLICANT SIGNATURE

Owner hereby authorizes the petitioner designated below to act on behalf of the owner.
By signing this application, I agree to conform to all applicable laws of the City of Birmingham. All information submitted on this application is accurate to the best of my knowledge. Changes to the plans are not allowed without approval from the Building Official or City Planner.
*By providing your email to the City, you agree to receive news and notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner:_____ **Date:** 04/04/2023

Signature of Petitioner:_____ **Date:** _____

CITY OF BIRMINGHAM
BOARD OF ZONING APPEALS
RULES OF PROCEDURE

ARTICLE I - Appeals

A. Appeals may be filed under the following conditions:

1. A property owner may appeal for variance, modification or adjustment of the requirements of the Zoning Ordinance.

2. A property owner may appeal for variance, modification or adjustment of the requirements of the Sign Ordinance.

3. Any aggrieved party may appeal the decision of the Planning Board and/or the Building Official in accordance with the City of Birmingham Zoning Ordinance, Article Eight, Section 8.01 (D) Appeals. If an appellant requests a review of any determination of the Building Official, a complete statement setting forth the facts and reasons for the disagreement with the Building Official's determination shall include the principal point, or points on the decision, order or section of the ordinance appealed from, on which the appeal is based.

B. Procedures of the Board of Zoning Appeals (BZA) are as follows:

1. Regular BZA meetings, which are open to the public, shall be held on the second Tuesday of the month at 7:30 P.M. provided there are pending appeals. There will be a maximum of seven appeals heard at the regular meeting which are taken in the order received. If an appeal is received on time after the initial seven appeals have been scheduled, it will be scheduled to the next regular meeting.

2. All applications for appeal shall be submitted to the Community Development Department on or before the 12th day of the month preceding the next regular meeting. If the 12th falls on a Saturday, Sunday, or legal holiday, the next working day shall be considered the last day of acceptance.

3. All property owners and occupants within 300 feet of the subject property will be given written notice of a hearing by the City of Birmingham.

4. See the application form for specific requirements. If the application is incomplete, the BZA may refuse to hear the appeal. The Building Official or City Planner may require the applicant to provide additional information as is deemed essential to fully advise the Board in reference to the appeal. Refusal or failure to comply shall be grounds for dismissal of the appeal at the discretion of the Board.

5. In variance requests, applicants must provide a statement that clearly sets forth all special conditions that may have contributed to a practical difficulty that is preventing a reasonable use of the property.

6. Where the Birmingham Zoning Ordinance requires site plan approval of a project by the City Planning Board before the issuance of a building permit, applicants must obtain preliminary site plan approval by the Planning Board before appeal to the BZA for a variance request. If such appeal is granted by the BZA, the applicant must seek final site plan and design review approval from the Planning Board before applying for a building permit.

7. An aggrieved party may appeal a Planning Board decision. Such appeal must be made within 30 days of the date of the decision. The BZA, in its discretion, may grant additional time in exceptional circumstances.

8. Appeals from a decision of the Building Official shall be made within 30 days of the date of the order, denial of permit, or requirement or determination contested. The BZA, in its discretion, may grant additional time in exceptional circumstances.

9. An appeal stays all proceedings in accordance with Act #110, Public Acts of 2006, Article VI, Section 125.3604 (3).

C. The order of hearings shall be:

1. Presentation of official records of the case by the Building Official or City Planner as presented on the application form.

2. Applicant's presentation of his/her case—the applicant or his/her representative must be present at the appeal hearing.

3. Interested parties' comments and view on the appeal.

4. Rebuttal by applicant.

5. The BZA may make a decision on the matter or request additional information.

D. Motions and Voting

1. A motion is made to either grant or deny a petitioner's request
   a) For a motion to grant or deny a non-use variance request, the motion must receive four (4) affirmative votes to be approved.
   b) For a motion to grant or deny a use variance request, the motion must receive five (5) affirmative votes to be approved.
   c) For a motion to grant or deny an appeal of a decision or order by an administrative official or board, the motion must receive four (4) affirmative votes to be approved.

2. When a motion made is to approve or deny a petitioner's request and if there is a tie vote, then the vote results in no action by the board and the petitioner shall be given an opportunity to have his or her request heard the next regularly scheduled meeting when all the members are present.

3. When there are less than seven (7) members of the board present for a meeting, then a petitioner requesting a use variance shall be given an opportunity at the beginning of the meeting to elect to have it heard at the next regularly scheduled meeting.

4. When there are less than six (6) members present for a meeting, then all petitioners shall be given an opportunity at the beginning of the meeting to elect to have the request heard at the next regularly scheduled meeting.

ARTICLE II - Results of an Appeal

A. The Board may reverse, affirm, vary or modify any order, requirement, decision or determination as in its opinion should be made, and to that end, shall have all the powers of the officer from whom the appeal has been taken.

B. The decisions of the Board shall not become final until the expiration of five (5) days from the date of entry of such orders or unless the Board shall find that giving the order immediate effect is necessary for the preservation of property and/or personal rights and shall so certify on the record.

C. Whenever any variation or modification of the Zoning Ordinance is authorized by resolution of the BZA, a Certificate of Survey must be submitted to the Community Development Department with the building permit application. A building permit must be obtained within one year of the approval date.

D. Failure of the appellant, or his representative, to appear for his appeal hearing will result in the appeal being adjourned to the next regular meeting. If, after notice, the appellant fails to appear for the second time, it will result in an automatic withdrawal of the appeal. The appellant may reapply to the BZA.

E. Any applicant may, with the consent of the Board, withdraw his application at any time before final action.

F. Any decision of the Board favorable to the applicant is tied to the plans submitted, including any modifications approved by the Board at the hearing and agreed to by the applicant, and shall remain valid only as long as the information or data provided by the applicant is found to be correct and the conditions upon which the resolution was based are maintained.

ARTICLE III - Rehearings

A. No rehearing of any decision of the Board shall be considered unless new evidence is submitted which could not reasonably have been presented at the previous hearing or unless there has been a material change of facts or law.

B. Application or rehearing of a case shall be in writing and subject to the same rules as an original hearing, clearly stating the new evidence to be presented as the basis of an appeal for rehearing.

I certify that I have read and understand the above rules of procedure for the City of Birmingham Board of Zoning Appeals.

_____

Signature of Applicant

APPLICANT LETTER | APRIL 5TH, 2023

Nadim Yahchouchi

19621 Babington Street

Santa Clarita, CA 91351

Birmingham Board of Zoning Appeals

151 Martin Street

Birmingham, MI 48009

MESSAGE

Dear Board of Zoning Appeals,

We are seeking a variance for the 14 feet distance separation between structures for our proposed new built single-family home located at: 1587 South Bates Street,

We are providing a 9.0 feet side yard setback on south side and a 5.0 feet side yard setback on the north side. This makes our project in compliance with the required 14.0 feet combined side yard setbacks.

On the south side, our certified survey shows the neighbor's house 4.22 feet from the property line. This is non-conforming to the minimum side yard setback required by the zoning code which is 5.0 feet. With 9.0 feet setback on our property, our proposed house will be 13.22 feet from the neighbor's house. This is less than the required 14.0 feet however, it is the neighbor's house that is non-conforming. For that reason we are requesting your board to grant us a zoning variance to the 14 feet distance between structures as follow:

Variance Chart				
Requested Variance	Required	Existing	Proposed	Variance Amount

Distance between structures	14.0 feet	13.22 feet	13.22 feet	0.88 feet

(*signature*)

Owner / Arhcitect

(Printed personnel name and title

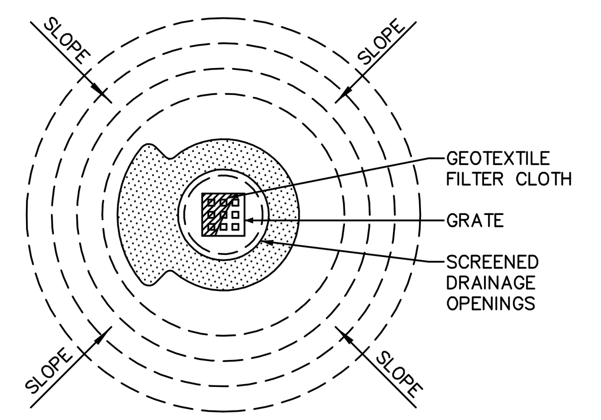
1. THIS PROJECT TO BE CONSTRUCTED IN COMPLIANCE WITH PART 91 OF ACT 451 OF 1994, AS AMENDED, THE SOIL EROSION AND SEDIMENTATION CONTROL ACT AND THE OAKLAND COUNTY SOIL EROSION AND SEDIMENTATION CONTROL ORDNANCE
2. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE OAKLAND COUNTY PUBLIC OFFICE
3. EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE NATURAL AND MANMADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS
4. STAGING THE WORK WILL BE DONE BY THE LANDOWNER OR THE LANDOWNER'S REPRESENTATIVE AS DIRECTED IN THESE PLANS AND AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH CHANGE.
5.THE LAND OWNER OR LANDOWNER'S REPRESENTATIVE SHALL IMPLEMENT AND MAINTAIN SOIL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS BEFORE AND AT ALL TIMES DURING CONSTRUCTION ON THIS PROJECT. ANY MODIFICATIONS OR ADDITIONS TO SOIL EROSION CONTROL MEASURES DUE TO CONSTRUCTION OR CHANGED CONDITIONS SHALL BE COMPLIED WITH AS REQUIRED OR DIRECTED BY THE OAKLAND COUNTY PUBLIC WORKS OFFICE
7. IF ANY OF THESE SESC MEASURES ON THE SITE ARE DEEMED INADEQUATE OR INEFFECTIVE THE OAKLAND COUNTY PUBLIC WORKS OFFICE SESC DIVISION HAS THE RIGHT TO REQUIRE ADDITIONAL SESC MEASURES AT THE EXPENSE OF THE LANDOWNER
8. INSTALL SILT AS INDICATED ON THE PLAN AND AT ADDITIONAL AREAS AS NECESSARY.
A. SILT FENCE SHALL BE INSTALLED PER DETAIL
B. BUILT-UP SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE SILT FENCE
C. IF SILT FENCE SHALL BE INSPECTED WEEKLY UNDER NORMAL CONDITIONS WITHIN 24 HOURS OF RAINFALL AND DAILY DURING A PROLONGED RAIN EVENT, REQUIRED MAINTENANCE SHALL BE PROVIDED PROMPTLY.
9. INSTALL INLET FILTERS ON ALL PAVEMENT CATCH BASINS PER DETAIL INLET FILTERS SHALL BE INSPECTED WEEKLY
E. UNDER NORMAL CONDITIONS WITHIN 24 HOURS OF RAINFALL AND DAILY DURING PROLONGED RAIN EVENT
F. BUILD UP OF SEDIMENT SHALL BE REMOVED PROMPTLY.
G. IF FABRIC DECOMPOSED OR BECOMES INEFFECTIVE PRIOR TO THE END OF THE EXPECTED LIFE AND THE BARRIER IS STILL REQUIRED, THE SILT FENCE SHALL BE REPLACED PROMPTLY.
10. INSTALL DRAIN GUARDS ON ALL YARD CATCH BASINS PER DETAIL. SEED OR SOD THE AREA BETWEEN THE SILT FENCE AND THE INLET.
H. DRAIN GUARDS SHALL BE INSPECTED WEEKLY UNDER NORMAL CONDITIONS WITH IN 24 HOURS OF RAINFALL AND DAILY DURING A PROLONGED RAIN EVENT
I. BUILD UP OF SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE SILT FENCE
J. IF FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF THE EXPECTED LIFE AND THE BARRIER IS STILL REQUIRED THE SILT FENCE SHALL BE REPLACED PROMPTLY
11. ALL STOCKPILED SOILS MUST BE MAINTAINED IN SUCH A WAY AS TO PREVENT EROSION FROM LEAKING THE SITE. IF THE STOCKPILE WILL BE ON SITE FOR MORE THAN 30 DAYS THE STOCKPILE MUST BE SEEDED. SILT FENCE MUST BE INSTALLED AROUND THE PERIMETER OF THE STOCKPILE.
12. IMMEDIATELY AFTER SEEDING, MULCH ALL SEEDED AREAS WITH UNWEATHERED SMALL STRAW. SPREAD UNIFORMLY AT THE RATE OF 1-2 TONS PER ACRE OR 100 LBS (2-3 BALES) PER 1000 SQ. FT. THIS MULCH SHOULD BE ANCHORED WITH A DISK TYPE MULCH ANCHORING TOOL OR OTHER MEANS AS APPROVED BY THE OAKLAND COUNTY PUBLIC WORKS OFFICE
13. IF ANY DEWATERING IS NEEDED. IT SHALL BE DISCHARGED THROUGH A FILTER BAG OVER A WELL VEGETATED AREA. THE PUMP MUST DISCHARGED AT A NON-CROSIVE VELOCITY. IF NECESSARY. AN APPROVED ENERGY DISSIPATER MAY BE USED
14. ALL DIRT STACKED ONTO ANY ROADWAY SHALL BE REMOVED IMMEDIATELY
15. STREETS AND OR PARKING AREAS WILL BE SCRAPED ON A DAILY BASIS AND SWEPT AT A MINIMUM OF ONCE PER WEEK BY THE LANDOWNER OR LANDOWNER'S REPRESENTATIVE
16. DURING DRY PERIODS ALL DISTURBED AREAS SHALL BE WATERED FOR DUST CONTROL
17. PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES CHANNELS DITCHES OR ANY DISTURBED LAND AREAS SHALL BE COMPLETED WITHIN 3 CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED WHEN IT IS NOT POSSIBLE TO PREDOMINATELY STABILIZE A DISTURBED AREA AFTER EARTH CHANGED HAS BEEN COMPLETED OR WHERE SIGNIFICANT EARTH CHANGE ACTIVITY CEASES TEMPORARY SOIL EROSION MEASURES SHALL BE IMPLEMENTED IMMEDIATELY, ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED ALL PERMANENT SOIL EROSION CONTROL MEASURES WILL BE IMPLEMENTED AND ESTABLISHED BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED.
18. FINAL GRADE ESTABLISHED VEGETATION AND OR LANDSCAPE ALL DISTURBED AREAS NOT BUILT OR PAVED UPON
19. REMOVE ALL TEMPORARY SOIL EROSION DEVISES AFTER PERMANENT STABILIZATION IS ESTABLISHED.
20. APPROXIMATE START DATE –
21. APPROXIMATE COMPLETION DATE –
TOTAL GROSS ACREAGE DISTURBED = 0.11 ACRES

I UNDERSTAND MY RESPONSIBILITY OUTLINED UNDER THESE GUIDELINES

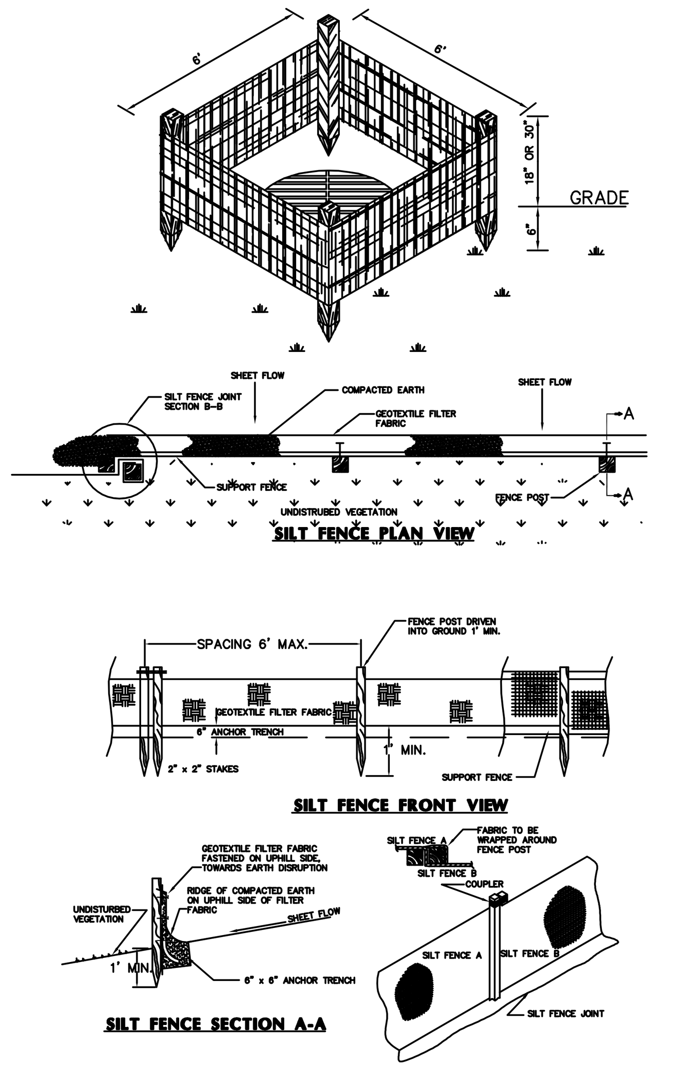
LANDOWNER'S SIGNATURE DATE

EROSION CONTROL MEASURES & SEQUENCE OF CONSTRUCTION

1. INSTALL TEMPORARY SOIL EROSION CONTROL GEOTEXTILE FILTER CLOTH FENCE AS INDICATED ON PLAN AND AT ADDITIONAL AREAS AS NECESSARY
2. MAINTAIN A 15 FT. BUFFER OF VEGETATION WHERE POSSIBLE AROUND PERIMTER OF SITE.
3. INSTALL UTILITIES AND EXCAVATE BASEMENT. STOCKPILE DIRT AWAY FROM DRAINAGE AREAS.
4. BACKFILL BASEMENT, GRADE SITE AND REMOVE EXCESS DIRT FROM SITE IF NECESSARY.
5. CONSTRUCT HOUSE
6. INSTALL PAVEMENT AND FINAL GRADE THE LOT.
7. ESTABLISH VEGETATION AND LANDSCAPE ALL DISTRUBED AREAS NOT BUILT OR PAVED UPON.
8. CLEAN PAVEMENT AND REMOVE ALL TEMPORARY EROSION CONTROL MEASURES. RE-ESTABLISH VEGETATION AS NECESSARY.
9. ALL DIRT AND MUD TRACKED ONTO PUBLIC ROADS SHALL BE REMOVED DAILY.
10. ALL EROSION CONTROL SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP



INLET FILTER
(N.T.S.)



NOTE:
SILT FENCE LOCATION, INSTALLATION DETAILS AND TIMING SEQUENCE OF RE-ESTABLISHMENT OF PERMANENT VEGETATION REQUREED PRIOR TO FINAL BUILDING INSPECTION

NOT FOR CONSTRUCTION UNLESS APPROVED BY MUNICIPALITY
HOUSE DIMENSIONS TO BE VERIFIED BY OWNER AND/OR BUILDER BEFORE CONSTRUCTION.

THE PROPERTY DIMENSIONS AND UTILITY LOCATIONS SHOWN ARE ONLY APPROXIMATE AND GATHERED FROM EXIST RECORDS AVAILABLE, THERE IS NO GUARANTEE THEREOF. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND UTILITIES PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO OWNER AND/OR ENGINEER

NOTE: ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF ALL GOVERNING AGENCIES.

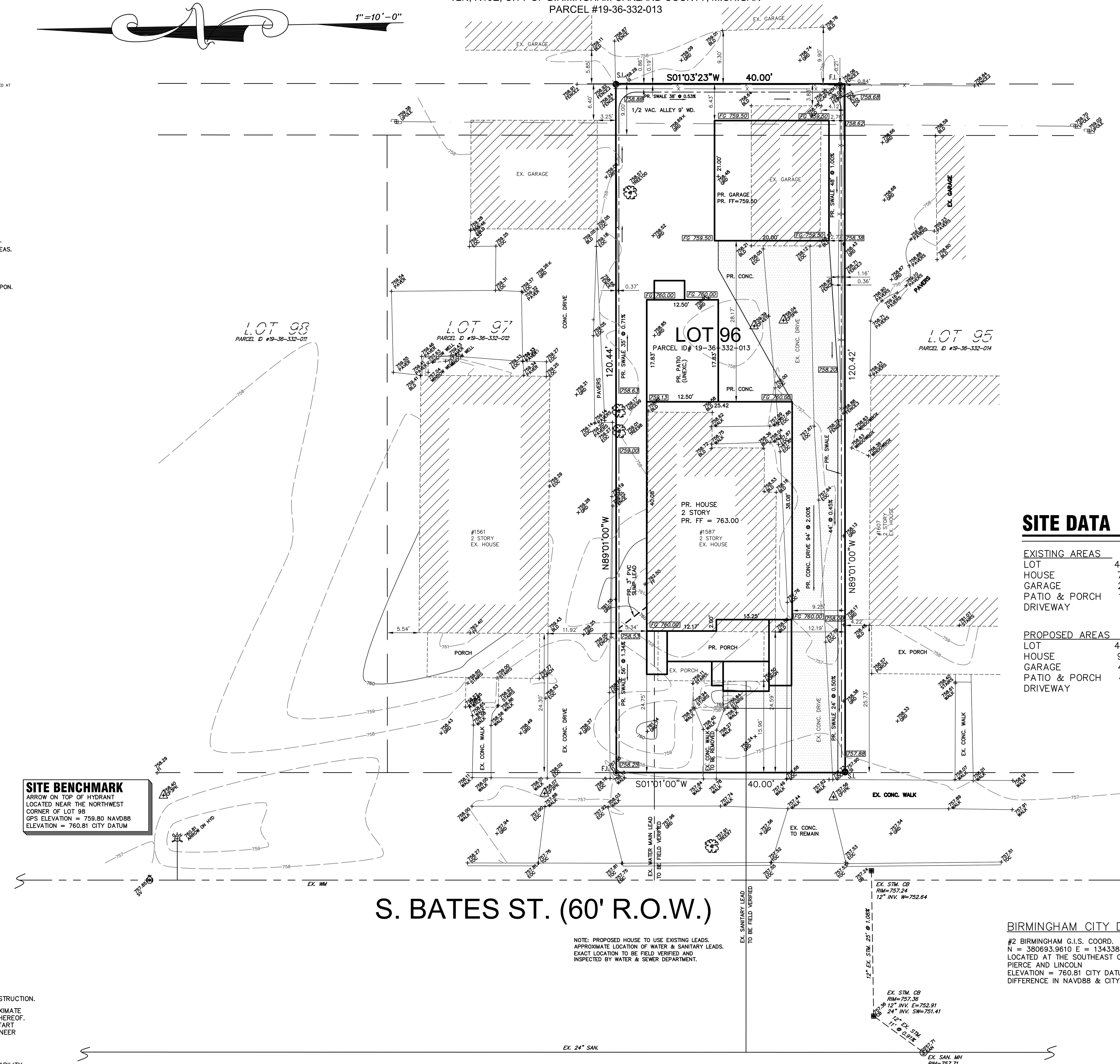
USER AGREES THAT PLAN IS SUBJECT TO STANDARD ASCE CONTRACT AND LIABILITY AND IS LIMITED TO FEE

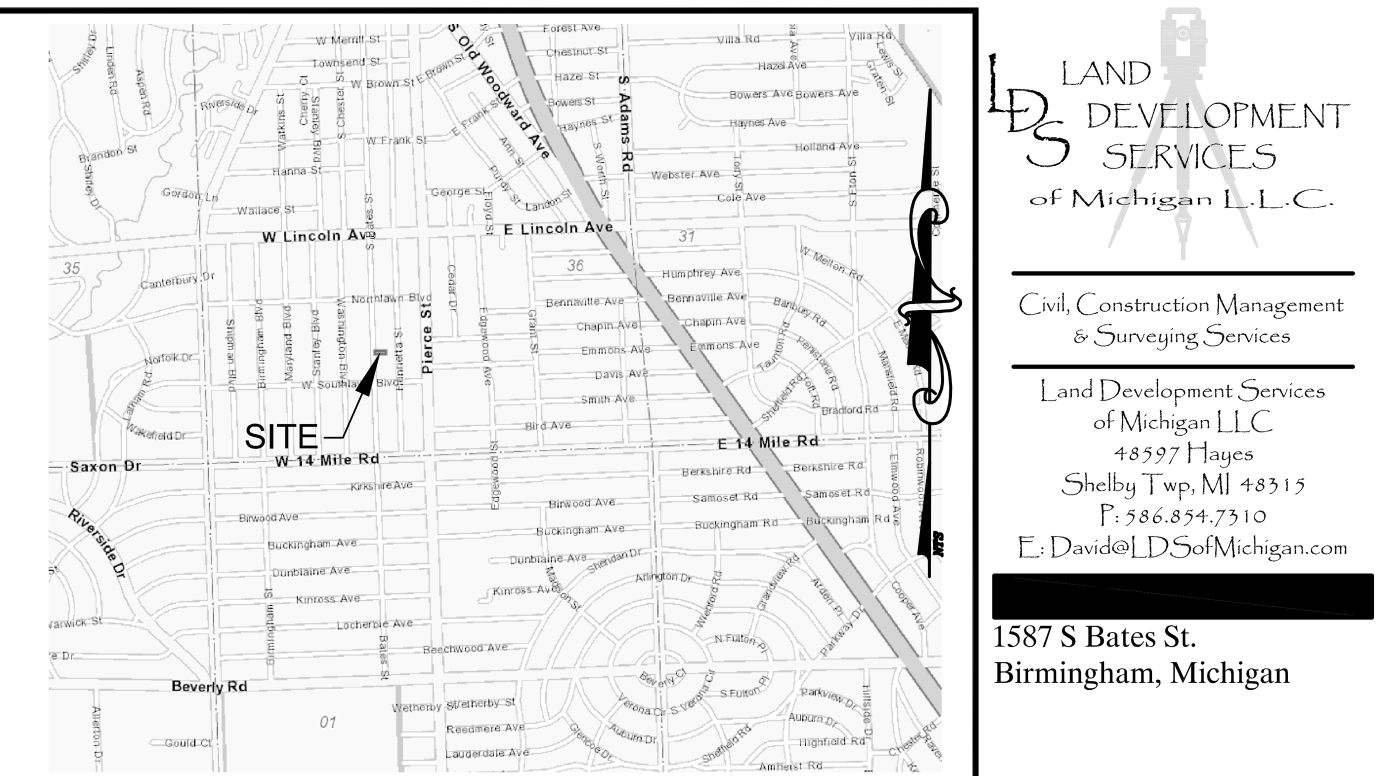
PLOT PLAN

1587 S BATES ST.

PART OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 36,
T2N, R10E, CITY OF BIRMINGHAM OAKLAND COUNTY, MICHIGAN
PARCEL #19-36-332-013

1"=10'-0"





LOCATION MAP
NTS

		Tree Inventory List		
Job Location:		1587 S Bates St.		
Date Completed:		2/23/2022		
Condition Description Notes:				
"Good" - no observed structural defects*				
"Fair" - minor structural defects, marginal form, some insect activity noted*				
"Poor" - major structural defects, poor form, insect infested*				
**Structural defects may include decayed wood, cracks, root problems, weak branch unions cankers, poor tree architecture, dead/failed branches due to various causes.*				
Tree #	**Botanical Name**	**Common Name**	**Dia.**	**Condition**
97	Acer rubrum	Red Maple	10"	Good
98	Thuja occidentalis	White Cedar	9"	Fair
99	Thuja occidentalis	White Cedar	7"	Fair
100	Acer negundo	Boxelder	7"	Fair

SITE DATA

EXISTING AREAS	
LOT	4817.22 SQ. FT.
HOUSE	774.54 SQ. FT.
GARAGE	296.74 SQ. FT.
PATIO & PORCH	160.07 SQ. FT.
DRIVEWAY	703.30 SQ. FT.

PROPOSED AREAS	
LOT	4817.22 SQ. FT.
HOUSE	992.28 SQ. FT.
GARAGE	420.00 SQ. FT.
PATIO & PORCH	461.23 SQ. FT.
DRIVEWAY	942.77 SQ. FT.

LOT COVERAGE	
EXISTING	22.23% (1071.28 SQ. FT.)
PROPOSED	29.31% (1412.28 SQ. FT.)
MAXIMUM	30.00% (1455.17 SQ. FT.)

OPEN SPACE	
EXISTING	59.84% (2882.57 SQ. FT.)
PROPOSED	41.53% (2000.94 SQ. FT.)
MINIMUM	40.00% (1926.89 SQ. FT.)

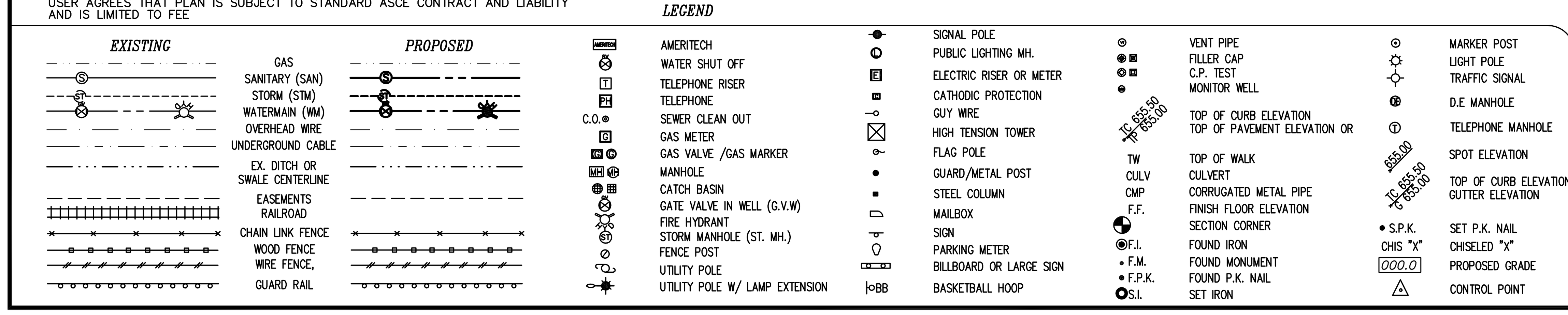
BIRMINGHAM CITY DATUM BENCHMARK

#2 BIRMINGHAM G.I.S. COORD.
N = 380693.9610 E = 13433883.1330
LOCATED AT THE SOUTHEAST CORNER OF
PIERCE AND LINCOLN
ELEVATION = 760.81 CITY DATUM
DIFFERENCE IN NAVD88 & CITY DATUM IS 1.01' HIGHER

NOTE:
IN NO WAY SHALL SURFACE RUNOFF BE DIRECTED SO AS TO ADVERSELY IMPACT ADJACENT PROPERTIES WITH A FLOODING CONDITION. THE GRADING PLAN SHOULD CONTINUE AS FAR AS A STORM SEWER OUTLET OR OTHER NATURAL OUTLET POINT OF DISCHARGE TO ASSURE PROPER CONTROL OF SURFACE RUNOFF. SURFACE RUNOFF SHALL BE DIVERTED TO A STORM SEWER OR OTHER APPROVED POINT OF COLLECTION SO AS NOT TO CREATE A FLOODING CONDITION.

NOTE:
ALL CONSTRUCTION SITES ARE REQUIRED TO BE MAINTAINED IN A SAFE CONDITION AND TO BE PROTECTED FROM UNAUTHORIZED ENTRY. ALL EXCAVATIONS EXVEEDING 24 INCHES IN DEPTH, SUCH AS FOR BASEMENTS, CRAWL SPACES, POOLS, AND SPAS MUST BE SECURED THROUGH THE USE OF A 4' HIGH FENCE. CONSTRUCTION TYPE FENCING WILL BE ALLOWED FOR A PERIOD NOT TO EXCEED 30 DAYS. AT SUCH TIME, SHOULD THE PERMITTED WORK STILL PHYSICALLY BE UNABLE TO BE PROTECTED AND SECURED, A CHAIN LINK FENCE IS REQUIRED TO BE INSTALLED AND MUST REMAIN IN PLACE UNTIL ITS REMOVAL HAS BEEN AUTHORIZED BY THE BUILDING OFFICIAL. 2009 MRC-R 104.1 & 2009 MBC-CHAPTER 33

LEGEND



LEGAL DESCRIPTION OF RECORD

A PARCEL OF LAND LOCATED IN PART OF THE EAST 1/2 OF THE SOUTHEAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 36, T 2N, R12E, CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN AND DESCRIBED AS FOLLOWS:
LOT 96 INCLUDING 1/2 OF ADJACENT VACATED ALLEY, OF A RESUBDIVISION OF BRIGHT LAWN SUBDIVISION. (L.37, P.8 O.C.R.) CONTAINING 0.11 ACRES OF LAND RESERVING ALL RIGHTS, EASEMENTS AND RESTRICTIONS OF RECORD.

	CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
A	SOIL EROSION CONTROL MEASURES												
B	EXISTING HOUSE DEMO												
C	HOUSE CONSTRUCTION												
D	DRIVEWAY & SIDEWALK CONSTRUCTION												
E	FINAL GRADING												

BENCHMARK

ARROW ON TOP OF HYDRANT
LOCATED NEAR THE NORTHWEST
CORNER OF LOT 98
GPS ELEVATION = 759.80 NAVD88
ELEVATION = 760.81 CITY DATUM

SOIL EROSION NOTES	
1. INSTALL EROSION CONTROL	TOTAL DISTURBED AREA 0.11 ACRES OF LAND
2. ALL SOIL EROSION MEASURES MUST BE IN PLACE PRIOR TO ANY EARTH MOVEMENT	LIMITS OF EARTH DISRUPTION WILL BE CONTAINED ON SITE TO ACHIEVE POSITIVE DRAINAGE PER MASTER GRADE PLAN ON FILE
3. COMPLETE ALL EARTH MOVEMENTS	SOIL TYPE PER COUNTY SOIL MAP IS: Urban land–Marlette complex, 0–8% slopes; Shebeon–Urban land complex, 0–4% slopes
4. RIGHT OF WAY MUST BE STABILIZED PRIOR TO FINAL GRADE INSPECTION.	SOIL EROSION CONTROL MEASURES WILL BE MAINTAINED ON A WEEKLY BASIS AND AFTER EACH STORM EVENT
5. ALL SWALE AREAS, ALL SLOPES GREATER THAN 1:5 AND AROUND STORM STRUCTURES MUST BE STABILIZED PRIOR TO FINAL GRADE INSPECTION.	TYPE OF PERMANENT VEGETATIVE RESTORATION WILL BE SEED & MULCH OR SOD
6. AFTER FINAL EARTH STABILIZATION IS COMPLETE REMOVE EROSION CONTROL MEASURES	

LAND DEVELOPMENT SERVICES of Michigan L.L.C.

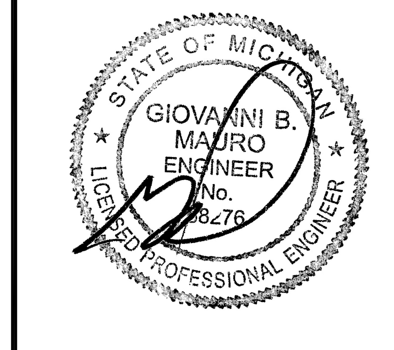
Civil, Construction Management & Surveying Services

Land Development Services of Michigan LLC
48597 Hayes
Shelby Twp, MI 48315
P: 586.854.7310
E: David@LDSofMichigan.com

[redacted]
1587 S Bates St.
Birmingham, Michigan

[redacted]
Nadim Yahchouchi
19621 Babington Street
Santa Clarita, CA, 91351
818-636-2869
nadimy@creativedropinc.com

[redacted]



[redacted]
PLOT PLAN

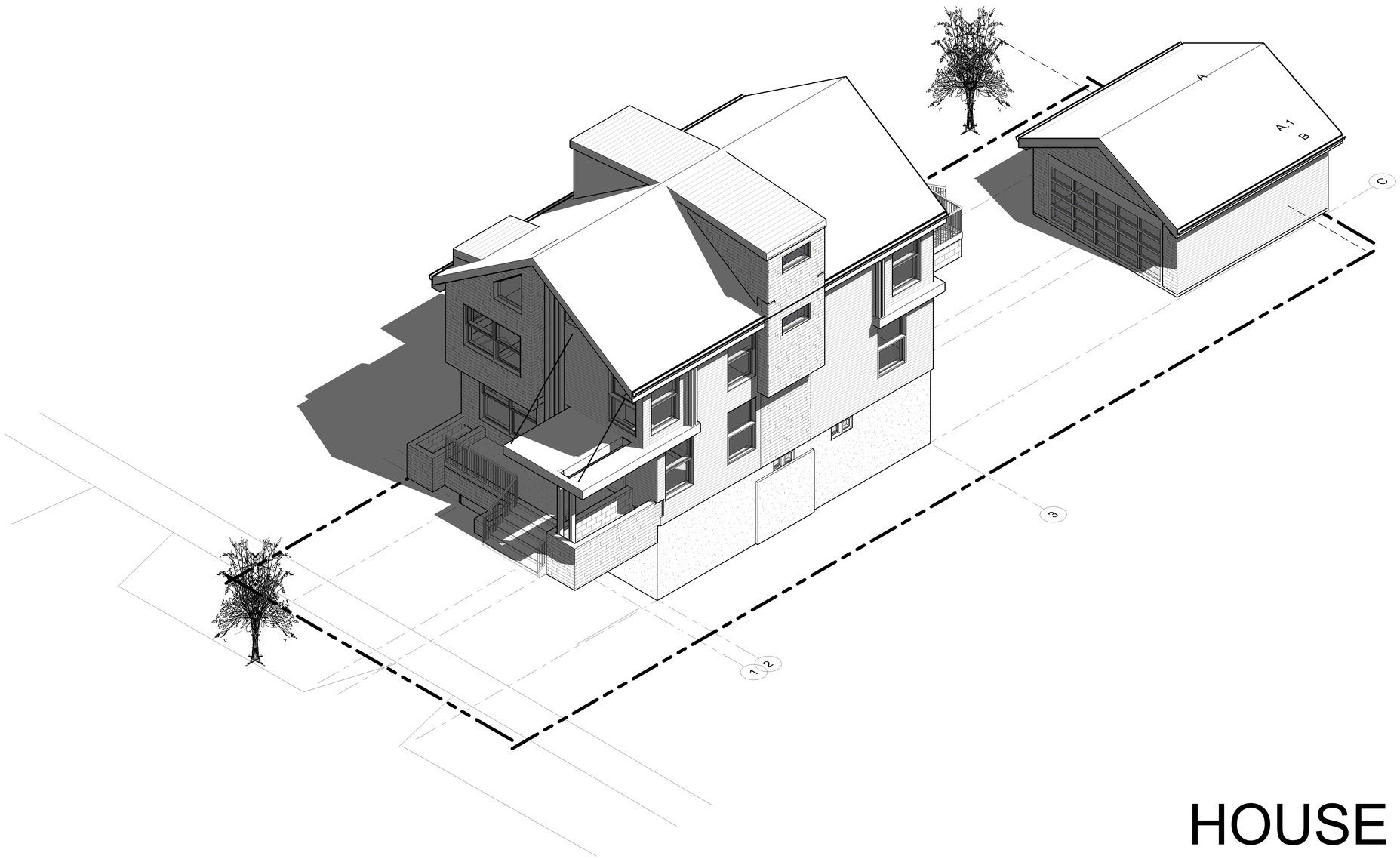
[redacted]
PARCEL #19-36-332-013

811
Know what's below
Call before you dig.

[redacted]

7-18-22 PLOT PLAN

[redacted]
T.J.B.
[redacted]
D.S.W. 7-14-2022
[redacted]
1" = 10'-0"
[redacted]
22121 *1*



HOUSE 1587

CREATIVEDROP
simplicity is superior

19621 BABINGTION STREET
SANTA CLARITA, CA 91351

STATE OF MICHIGAN
NASIM FRANCIS YAHCHOUCHI
License No. 1301071705
LICENSED ARCHITECT

HOUSE 1587

1587 South Bates Street
Birmingham, MI, 48009

REVISIONS

1/16/2022	MEW CONSTRUCTION PERMIT SET SUBMITTAL

Cover Sheet

G000

SYMBOLS

X / XX.X — REFERENCE NO. / SHEET NUMBER

CHANGE IN ELEVATION

RESIDENTIAL UNIT IDENTIFICATION SYMBOL

UNIT — UNIT TYPE
2101 — UNIT NUMBER
1/A501 — ENLARGED PLAN REFERENCE

ROOM IDENTIFICATION SYMBOL

ROOM — ROOM NAME
1/A401 — ENLARGED PLAN REFERENCE

GRID	GRID LINE
DET# / SHT#	SECTION NUMBER / SHEET NUMBER — BUILDING SECTION REFERENCE
DET# / SHT#	SECTION NUMBER / SHEET NUMBER — PARTIAL BUILDING OR WALL SECTION REFERENCE
- / XX	DETAIL NUMBER / SHEET NUMBER — DETAIL REFERENCE
	MATCH LINE / SHEET NUMBER — MATCH LINE REFERENCE
	ELEVATION NUMBER / SHEET NUMBER — EXTERIOR ELEVATION REFERENCE
C / D DET# SHT# B / C	ELEVATION NUMBER / SHEET NUMBER — INTERIOR ELEVATION REFERENCE
	ELEVATION HEIGHT — CONTROL POINT OR DATUM POINT
EL XX.XX FF	FINISH FLOOR ELEVATION
EL XX.XX	FINISH SURFACE FLOOR ELEVATION
X	KEYNOTE
XX.XX	DOOR SYMBOL SEE A600 SHEETS
XX	WINDOW/GLAZING SYMBOL SEE A600 SHEETS
SD	SMOKE DETECTOR
XX	BUILDING MATERIAL/ COLOR REFERENCE
X	REVISION REFERENCE
	REVISION CLOUD
FH	FIRE HYDRANT
FE	FIRE EXTINGUISHER
SP	CLASS 1 STANDPIPE
BDS	BUILDING DIRECTIONAL SIGNAGE
KB	KNOX BOX, RECESSED MOUNTED 48" AFF
FD	FLOOR DRAIN, SEE PLUMBING DWGS.
	EXIT SIGN
LE	LOW LEVEL EXIT SIGN
	BUILDING EXIT
	INTERNATIONAL SIGN OF ACCESSIBILITY, (I.S.A) RAISED LETTERS & BRAILLE.
	ACCESSIBLE BLDG. ENTRY
	ACCESSIBLE ROUTE
	EXIT PATH OF TRAVEL
	LIMIT OF WORK
	PROPERTY LINE
	ASSUMED PROPERTY LINE
	CENTER LINE
℄	CENTER LINE
	NORTH ARROW

WALL TYPE SYMBOL

FIRE RATING
0 = NON RATED
1 = ONE HOUR RATED
2 = TWO HOUR RATED
3 = THREE HOUR RATED
4 = FOUR HOUR RATED

WALL MATERIAL
W = WOOD STUD - SEE A720.
S = STEEL STUD - SEE A725.
M = CMU - SEE DET. 12/A720.
C = CONCRETE - SEE DET. 12/A720.
FW = FIRE WALL - SEE A722.

— DETAIL NUMBER ON REFERENCED SHEET

GENERAL NOTES

22. PRIOR TO STARTING CONSTRUCTION, MEET WITH REPRESENTATIVE OF THE APPROPRIATE GOVERNING AGENCY(IES) TO INSPECT AND DOCUMENT EXISTING WORK ON PUBLIC PROPERTY (I.E. CURBS, GUTTERS, SIDEWALK, TREES AND LANDSCAPING, ETC. DAMAGE TO EXISITING WORK ON PUBLIC PROPERTY CAUSED BY CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT SHALL BE REPAIRED AT THE CONTRACTOR'S COST, AND TO THE SATISFACTION OF THE APPROPRIATE GOVERNING AGENCY PRIOR TO COMPLETION OF THIS PROJECT.

23. OBTAIN ALL REQUIRED PERMITS FOR REMOVAL OF PAVEMENT, EXCAVATION, AND REPAIR OF PAVEMENT ON PUBLIC PROPERTY REQUIRED FOR CONNECTIONS TO UTILITIES, CONSTRUCTION OF DRIVEWAYS, CURBS, GUTTERS ETC. AND/OR LANDSCAPING.

24. FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED AND MAINTAINED SERVICEABLE TO ALL BUILDINGS ON THE SITE AND THROUGHOUT THE SITE DURING THE ENTIRE TIME OF CONSTRUCTION. FIRE ACCESS LANES SHALL COMPLY WITH THE WIDTH AND CLEARANCE STANDARDS OF THE LOCAL FIRE DEPARTMENT. SUBMIT FIRE PROTECTION PLAN PROPOSED TO BE USED DURING CONSTRUCTION TO THE LOCAL FIRE DEPARTMENT 60 DAYS OR AS REQUIRED PRIOR TO START OF CONSTRUCTION.

25. MAINTAIN FOR THE ENTIRE DURATION OF THE WORK ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

26. ALL EXIT DOORS IN BUILDINGS, INCLUDING BUT NOT LIMITED TO DOORS OF TOILETS AND STORAGE ROOMS, SHALL CONFORM WITH THE REQUIREMENTS OF SECTION 1010, OF THE CALIFORNIA BUILDING CODE. THE FOLLOWING ARE SOME OF THE REQUIRCTION:
A. ALL EXISTS SHALL BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWNLEDGE OR EFFORT AND SHALL BE ACCESSIBLE BY THE DISABLED.
B. HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 34 AND 38 INCHES ABOVE THE FLOOR.
C. DEAD BOLTS ARE NOT PERMITTED UNLESS OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE.

27. ALL EXIT LIGHTING AND SIGNS TO HAVE MINIMUM 6 INCH LETTERS IN ACCORDANCE WITH CBC SECTION 1008.

28. EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL. NO POINT SHALL BE MORE THAN 100 FEET FROM THE NEAREST VISIBLE SIGN. EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF APPROACH.

29. EXIT SIGNS SHALL BE ILLUMINATED WITH TWO ELECTRICAL LAMPS OF NOT LESS THAN 15 WATTS EACH. PROVIDE TWO SOURCES OF POWER.

30. ALL MATERIALS AND EQUIPMENT TO BE INCORPORATED INTO THE WORK SHALL BE NEW. ALL MATERIALS INCORPORATED INTO THE WORK SHALL BE FREE FROM ASBESTOS, RADIOACTIVE WASTE AND ANY OTHER MATERIALS DETRIMENTAL TO HUMAN HEALTH AND SAFETY. MATERIALS MUST ALSO CONFORM WITH ALL CODES INCLUDING HEALTH SAFETY, AND ADA.

31. ASSUME FULL RESPONSIBILITY FOR PROTECTION AND SAFEKEEPING OF ALL PRODUCTS RECEIVED, STORED AND INSTALLED ON SITE.

32. HANDLE AND INSTALL PRODUCTS IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND IN CONFORMANCE WITH SPECIFIED REQUIREMENTS.

33. EACH LITE OF GLAZING MATERIAL INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A PERMANENT LABEL THAT SPECIFIES THE LABELER, AND STATES THAT SAFETY GLAZING MATERIAL HAS BEEN UTILIZED IN SUCH INSTALLATIONS. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSE OF GLAZING:

A. GLAZING IN INGRESS AND EGRESS DOORS EXCEPT JAULOSIES.
B. GLAZING IN FIXED AND SLIDING PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS.
C. GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OVERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
D. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEET ALL OF THE FOLLOWING CONDITIONS:
I. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
II. EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE FLOOR.
III. EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
IV. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING.

34. ALL MATTERS AND DECISIONS REGARDING COLOR, TEXTURE AND DESIGN SHALL BE REFERED TO THE ARCHITECTS

35. ALL SEALANT SHALL MATCH ADJACENT FINAL COLOR.

36. ALL FLASHING SHALL BE PAINTED TO MATCH ADJACENT MATERIALS UNLESS SHOWN OTHERWISE ON THE PLANS.

37. ALL GALVANIZED DRIPS SHALL BE PAINTED TO MATCH ADJACENT MATERIALS UNLESS SHOWN OTHERWISE ON THE PLANS.

38. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS AND ROOF CEILINGS SHALL BE PROTECTED AS REQUIRED IN THE CBC SEC. 712 AND SECTION 714.

39. WALL AND CEILING FINISHES SHALL NOT EXCEED THE FLAME SPREAD AND CLASSIFICATIONS IN THE CBC TABLE 803.11

40. BUILDING PROJECTIONS INTO PUBLIC PROPERTIES MUST COMPLY WITH CHAPTER 32. TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED BY SECTION 3306. OBTAIN PUBLIC WORKS APPROVAL (3201.3, 3202.3.4, 3306)

41. TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED BY SECTION 3306. OBTAIN PUBLIC WORKS APPROVAL.

42. FIRE LANE ACCESS IS REQUIRED WHERE ANY PART OF THE BUILDING IS 150 FEET FROM THE EDGE OF AN IMPROVED STREET OR APPROVED FIRE LANE. OBTAIN CLEARANCE FROM THE HYDRANTS AND ACCESS UNIT OF THE FIRE DEPARTMENT FOR ACCESS REQUIREMENTS.

1. THESE PLANS ARE THE PROPERTY OF CREATIVEDROP INC. AND ARE NOT TO BE USED ON ANY OTHER PROJECT OR ADDITIONAL WORK ON THIS PROJECT, WITHOUT THE ARCHITECT'S AND CONSULTANTS' WRITTEN AUTHORIZATION

2. ALL CONSTRUCTION SHALL COMPLY WITH CURRENT AND APPLICABLE CODES; FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES, AND STATUES.

3. OBTAIN REQUIRED PERMITS FROM ALL GOVERNING AUTHORITIES PRIOR TO START OF WORK.

4. THE PROJECT MANUAL, BOUND SEPARATELY IS PART OF THE CONTRACT DOCUMENTS. IN CASE OF CONFLICT BETWEEN THE TWO DOCUMENTS THE MORE RESTRICTIVE SHALL GOVERN.

5. ALL CONSTRUCTION DOCUMENTS FOR THE PROJECT COMPLEMENT EACH OTHER AND WHAT IS SHOWN OR SPECIFIED BY ONE SHALL BE BINDING AS IF SHOWN OR SPECIFIED BY ALL. ANY WORK REFERRED TO ON ANY CONSTRUCTION DOCUMENT SHALL BE PROVIDED AS THOUGH IT WERE SHOWN OR SPECIFIED IN ALL RELATED DOCUMENTS. INCLUDING SPECIFICATIONS AND DETAIL REFERENCING.

6. CONTRACTOR SHALL REVIEW ALL DOCUMENTS INCLUDING ELECTRONIC DOCUMENTS IF PROVIDED, AND SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS, DISCREPANCIES, OMISSIONS, ETC. ARE TO BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTIONS.

7. DO NOT SCALE DRAWINGS INCLUDING ELECTRONIC DRAWINGS IF PROVIDED. WRITTEN DIMENSIONS GOVERN ALL LOCATIONS OF CONSTRUCTION. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. FLOOR PLAN BY ARCHITECT TAKE PRECEDENCE OVER OTHER PLANS. WRITTEN DIMENSIONS ON HARD COPY DOCUMENTS TAKE PRECEDENCE OVER DIMENSIONS ON ELECTRONIC DOCUMENTS.

8. PLAN DIMENSIONS ARE TO THE FOLLOWING REFRENCES UNLESS SPECIFICALLY NOTED OTHERWISE IF THE DRAWINGS:
A. COLUMN CENTER LINE - STRUCTURAL GRID
B. FACE OF STUD (FOS)
C. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES.

9. DETAILS SHOW GENERAL INTENT OF ACCOMPLISHING WORK. MAKE MINOR MODIFICATIONS AS REQUIRED TO SUITE THE JOB DIMENSIONS OR CONDITIONS AS PART OF THE WORK. IF THERE ARE ANY CONFLICTS IN THE DRAWINGS THE MORE RESTRICTIVE WILL GOVERN.

10. ANY WORK OR MATERIAL NOT NOTED DIRECTLY ON THE CONTRACT DOCUMENTS BUT NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE INTENT OF THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS, IS IMPLIED. SUCH WORK OR MATERIAL SHALL BE INCLUDED AS IF SPECIFICALLY NOTED OR DESCRIBED IN THE CONTRACT DOCUMENTS.

11. THE CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR THE COORDINATION OF THE WORK WITH EXISTING CONDITIONS AND DIMENSIONS. NOTIFY THE ARCHITECT OF ANY CONDITION REQUIRING CLARIFICATION OR MODIFICATION PRIOR TO PROCEEDING WITH THE AFFECTED WORK.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING(S) ON THE SITE, BUILDING(s) LAYOUT SHALL BE PERFORMED BY A LICENSED SURVERYOR OR CIVIL ENGINEER EMPLOYED BY OR PAID FOR BY THE CONTRACTOR.

13. PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURES IN PERFORMANCE OF WORK. PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF WORK.

14. EXCAVATION AND DIGGING REQUIRES INFORMING REGIONAL NOTIFICATION CENTER. CONTACT A REPRESENTATITVE OF UNDERGROUND SERVICE ALERT ("DIGALERT") AT (800) 227-2600 A MINIMUM OF TWO (2) DAYS IN ADVANCE OF STARTING AN EXCAVATION OR DIGGING.

15. TRENCHES OR EXCAVATIONS FIVE FEET (5') OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND REQUIRE SEPARATE PERMIT(S). OBTAIN SUCH PERMIT(S) AS REQUIRED.

16. THE LOCATION OF EXISTING UNDERGROUND UTILITIES WHERE SHOWN IN THE DRAWINGS, ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER, THE ARCHITECT OR THEIR REPRESENTATIVES. DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND MODIFY THE APPLICABLE UTILITY COMPANIES BEFORE COMMENCIG WORK OR IN THE EVENT THE UTILITY LINES REQUIRE RELOCATION REPAIR ANY DAMAGES SERVICE LINES IMMEDIATELY. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE REPAIRS, AT HIS OWN COST, OF ANY AND ALL DAMAGES TO EXISTING UNDERGROUND UTILITIES OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE SUCH UNDERGROUND UTILITIES.

17. TRESPASSING ON ANY ADJOINING PROPERTIES IS PROHIBITED. MATERIAL SHALL NOT BE STROED ON ANY ADJOINING PROPERTY, EXCEPT WHEN AND WHERE APPROVED BY THE RESPECTIVE OWNERS.

18. PROVIDE TEMPORARY CONSTRUCTION FENCE(S), GATE(S), BARRICADE(S) OR OTHER PROTECTIVE MEASURES AS REQUIRED BY THE APPROPRIATE GOVERNING AGENCIES AND AS OTHERWISE REQUIRED BY THE CURRENT APPLICABLE CODE(S) TO PROTECT THE PUBLIC AND AVOID UNAUTHORIZED ENTRY TO THE CONSTRUCTION SITE.

19. REMOVE AND DISPOSE OF ALL RUBBISH, WASTE MATERIAL AND ABANDONED ITEMS GENERATED BY THE CONTRACTOR SUBCONTRACTOR AND TRADES FROM THE SITE ON A REGULAR BASIS. CLEAN CONCEALED AREAS OF ALL DEBRIS IMMEDIATELY PRIOR TO ENCLOSURE, CLEAN SPILLAGE, OVERSPRAY AND HEAVY COLLECTION OF DUST IMMEDIATELY. RUBBISH AND WASTE MATERIAL SHALL NOT ACUMULATE IN THE BUILDING(S) OR ON SITE. SWEEP ADJACENT STREETS AND ROADS AT LEAST ONCE A DAY, PREFERABLY AT THE END OF THE DAY. COMPLIANCE WITH THIS MEASURE IS SUBJECT TO CITY INSPECTIONS. DISPOSE OF THE RUBBISH, WASTE MATERIALS AND ABANDONED ITEMS IN ACCORDANCE WITH ALL APPLICABLE...

20. LIMIT CONSTRUCTION ACTIVITY TO THE PERIOD BETWEEN HOURS OF 7:00 AM AND 7:00 PM MONDAY THROUGH FRIDAY ONLY. INTERIOR/FINISH WORK MAY EXCEED THIS PERIOD IF APPROVED BY THE GOVERNING AGENCY.

21. OBTAIN ALL REQUIRED PERMITS FOR US OF PUBLIC PROPERTY DURING CONSUTRUCTION. OBTAIN REQUIRED PERMITS FOR AND PROVIDE PREDESTRIAN PROJECTION AS REQUIRED BY THE APPROPRIATE GOVERNING AGENCY. DO NOT STORE MATERIAL ON PUBLIC PROPERTY WITHOUT REQUIRED PERMIT(S).

VICINITY MAP

PROJECT SITE
1587 S. BATES STREET

DRAWING INDEX

Sheet Number	Sheet Name
G000	Cover Sheet
G001	Project Information
1	Plot Plan
A100	Site Plan
A100B	Basement Floor Plan
A101	Main Floor Plan
A102	Second Floor Plan
A103	Loft Floor Plan
A104	Roof Plan
A201	Elevations
A202	Elevations
A301	Sections
A302	Sections
A310	Wall Sections
A311	Wall Sections
A401	Kitchen Enlarged Plans
A402	Master Bathroom Enlarged Plans
A601	Door & Window Schedules
A701	Details
A702	Details
S1	Foundation Plan
S2	Second Floor Plan
S3	Structural Notes

HOUSE PROGRAM

Name	Area
Basement	
Basement Bath	51 SF
Closet	32 SF
Entertainment Room	181 SF
Family Room	296 SF
Guest Bedroom	147 SF
Laundry Room	104 SF
Stairs	79 SF
Grand total: 7	891 SF

Name	Area
Main level	
Dining Room	147 SF
Family Room	228 SF
Guest bath	37 SF
Kitchen	189 SF
Living Room	131 SF
Office/Study Room	129 SF
Stairs	95 SF
Main level: 7	955 SF
Level 1	
Bedroom 1	164 SF
Bedroom 2	130 SF
Closet	19 SF
Closet	27 SF
Corridor	77 SF
Laundry Room	50 SF
Master Bathroom	115 SF
Master Bedroom	198 SF
Shared Bath	62 SF
Walk In Closet	101 SF
Level 1: 10	942 SF
Loft Level	
Loft	450 SF
Stairs	69 SF
Loft Level: 2	519 SF
Grand total: 19	2417 SF

PROJECT DIRECTORY

OWNER

NADIM YAHCHOUCHI
1208 EMMONS AVE
BIRMINGHAM, MI, 48009

P: (818) 636-2869
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ARCHITECT

NADIM YAHCHOUCHI
19621 BABINGTON STREET
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STRUCTURAL

LAWRENCE CONSULTING ENGINEERS
32300 NORTH RIVER ROAD
HARRISON TOWNSHIP, MI, 48045

P: (586) 246-9810
EMAIL: LMISKI2@GMAIL.COM

LAND SURVEYOR

LAND DEVELOPMENT SERVICES OF MICHIGAN
48597 HAYES ROAD
SHELBY TOWNSHIP, MI, 48315

P: (586) 854-7310
EMAIL: LDSOFMICHIGAN@GMAIL.COM

ENERGY

D.R. NELSON & ASSOCIATES, INC
P.O. BOX 2420
BIRMINGHAM, MI 48012

P: (248) 393-9100
EMAIL: KEITH@DRNELSON.COM

PROJECT INFORMATION

PROJECT DESCRIPTION

NEW CONSTRUCTION OF A 2,448 SF SINGLE FAMILY DWELLING TWO STORY ABOVE A BASEMENT. (DEMOLITION OF EXISTING STRUCTURE WILL BE UNDER A SEPARATE PERMIT)

PROJECT ADDRESS

1587 SOUTH BATES STREET. BIRMINGHAM, MI 48009

LEGAL DESCRIPTION

PIN: 08-19-36-332-013

ZONING INFORMATION

ZONE: R2
USE: SINGLE FAMILY DWELLING
LOT COVERAGE: **30%**
LOT DIMENSIONS: 40' X 120'
LOT AREA: 4800 SF
MAX. LOT COVERAGE: 4800 SF X 0.3 = **1440 SF**

SETBACKS:
REAR: 30 FEET
SIDES: 9 FEET
SIDE: 5 FEET
FRONT: CALCULATED

BUILDING HEIGHT:

TO MIDPOINT OF PITCH ROOF - 26 FEET
TO EAVE 24 FEET
TO FLAT ROOF 24 FEET

CODES

CITY OF BIRMINGHAM, MI ZONING ORDINANCE
2015 MICHIGAN RESIDENTIAL CODE
2015 MICHIGAN PLUMBING CODE
2015 MICHIGAN MECHANICAL CODE
2015 MICHIGAN ELECTRICAL CODE
2015 MICHIGAN ENERGY CODE - RESIDENTIAL

TYPE OF CONSTRUCTION

TYPE V - B

CREATIVEDROP
simplicity is superior

19621 BABINGTION STREET
SANTA CLARITA, CA 91351

STATE OF MICHIGAN
NADIM FRANCIS YAHCHOUCHI
License no. 1301071705
LICENSED ARCHITECT

HOUSE 1587

1587 South Bates Street
Birmingham, MI, 48009

REVISIONS

1/16/2022	MEW CONSTRUCTION PERMIT SET SUBMITTAL

Project Information

G001

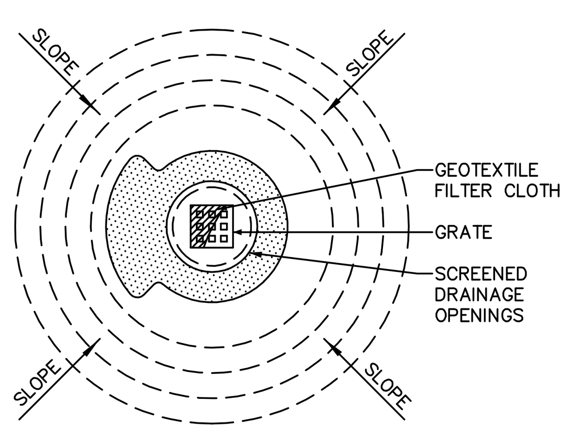
1. THIS PROJECT TO BE CONSTRUCTED IN COMPLIANCE WITH PART 91 OF ACT 451 OF 1994, AS AMENDED, THE SOIL EROSION AND SEDIMENTATION CONTROL ACT AND THE OAKLAND COUNTY SOIL EROSION AND SEDIMENTATION CONTROL ORDNANCE
2. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE OAKLAND COUNTY PUBLIC OFFICE
3. EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE NATURAL AND MANMADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS
4. STAGING THE WORK WILL BE DONE BY THE LANDOWNER OR THE LANDOWNER'S REPRESENTATIVE AS DIRECTED IN THESE PLANS AND AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH CHANGE.
5.THE LAND OWNER OR LANDOWNER'S REPRESENTATIVE SHALL IMPLEMENT AND MAINTAIN SOIL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS BEFORE AND AT ALL TIMES DURING CONSTRUCTION ON THIS PROJECT. ANY MODIFICATIONS OR ADDITIONS TO SOIL EROSION CONTROL MEASURES DUE TO CONSTRUCTION OR CHANGED CONDITIONS SHALL BE COMPLIED WITH AS REQUIRED OR DIRECTED BY THE OAKLAND COUNTY PUBLIC WORKS OFFICE
7. IF ANY OF THESE SESC MEASURES ON THE SITE ARE DEEMED INADEQUATE OR INEFFECTIVE THE OAKLAND COUNTY PUBLIC WORKS OFFICE SESC DIVISION HAS THE RIGHT TO REQUIRE ADDITIONAL SESC MEASURES AT THE EXPENSE OF THE LANDOWNER
8. INSTALL SILT AS INDICATED ON THE PLAN AND AT ADDITIONAL AREAS AS NECESSARY.
A. SILT FENCE SHALL BE INSTALLED PER DETAIL
B. BUILT-UP SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE SILT FENCE
C. IF SILT FENCE SHALL BE INSPECTED WEEKLY UNDER NORMAL CONDITIONS WITHIN 24 HOURS OF RAINFALL AND DAILY DURING A PROLONGED RAIN EVENT, REQUIRED MAINTENANCE SHALL BE PROVIDED PROMPTLY.
9. INSTALL INLET FILTERS ON ALL PAVEMENT CATCH BASINS PER DETAIL INLET FILTERS SHALL BE INSPECTED WEEKLY
E. UNDER NORMAL CONDITIONS WITHIN 24 HOURS OF RAINFALL AND DAILY DURING PROLONGED RAIN EVENT
F. BUILD UP OF SEDIMENT SHALL BE REMOVED PROMPTLY.
G. IF FABRIC DECOMPOSED OR BECOMES INEFFECTIVE PRIOR TO THE END OF THE EXPECTED LIFE AND THE BARRIER IS STILL REQUIRED, THE SILT FENCE SHALL BE REPLACED PROMPTLY.
10. INSTALL DRAIN GUARDS ON ALL YARD CATCH BASINS PER DETAIL. SEED OR SOD THE AREA BETWEEN THE SILT FENCE AND THE INLET.
H. DRAIN GUARDS SHALL BE INSPECTED WEEKLY UNDER NORMAL CONDITIONS WITH IN 24 HOURS OF RAINFALL AND DAILY DURING A PROLONGED RAIN EVENT
I. BUILD UP OF SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE SILT FENCE
J. IF FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF THE EXPECTED LIFE AND THE BARRIER IS STILL REQUIRED THE SILT FENCE SHALL BE REPLACED PROMPTLY
11. ALL STOCKPILED SOILS MUST BE MAINTAINED IN SUCH A WAY AS TO PREVENT EROSION FROM LEAKING THE SITE. IF THE STOCKPILE WILL BE ON SITE FOR MORE THAN 30 DAYS THE STOCKPILE MUST BE SEEDED. SILT FENCE MUST BE INSTALLED AROUND THE PERIMETER OF THE STOCKPILE.
12. IMMEDIATELY AFTER SEEDING, MULCH ALL SEEDED AREAS WITH UNWEATHERED SMALL STRAW. SPREAD UNIFORMLY AT THE RATE OF 1-2 TONS PER ACRE OR 100 LBS (2-3 BALES) PER 1000 SQ. FT. THIS MULCH SHOULD BE ANCHORED WITH A DISK TYPE MULCH ANCHORING TOOL OR OTHER MEANS AS APPROVED BY THE OAKLAND COUNTY PUBLIC WORKS OFFICE
13. IF ANY DEWATERING IS NEEDED. IT SHALL BE DISCHARGED THROUGH A FILTER BAG OVER A WELL VEGETATED AREA. THE PUMP MUST DISCHARGED AT A NON-CROSIVE VELOCITY. IF NECESSARY. AN APPROVED ENERGY DISSIPATER MAY BE USED
14. ALL DIRT STACKED ONTO ANY ROADWAY SHALL BE REMOVED IMMEDIATELY
15. STREETS AND OR PARKING AREAS WILL BE SCRAPED ON A DAILY BASIS AND SWEPT AT A MINIMUM OF ONCE PER WEEK BY THE LANDOWNER OR LANDOWNER'S REPRESENTATIVE
16. DURING DRY PERIODS ALL DISTURBED AREAS SHALL BE WATERED FOR DUST CONTROL
17. PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES CHANNELS DITCHES OR ANY DISTURBED LAND AREAS SHALL BE COMPLETED WITHIN 3 CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED WHEN IT IS NOT POSSIBLE TO PREDOMINATELY STABILIZE A DISTURBED AREA AFTER EARTH CHANGED HAS BEEN COMPLETED OR WHERE SIGNIFICANT EARTH CHANGE ACTIVITY CEASES TEMPORARY SOIL EROSION MEASURES SHALL BE IMPLEMENTED IMMEDIATELY. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED ALL PERMANENT SOIL EROSION CONTROL MEASURES WILL BE IMPLEMENTED AND ESTABLISHED BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED.
18. FINAL GRADE ESTABLISHED VEGETATION AND OR LANDSCAPE ALL DISTURBED AREAS NOT BUILT OR PAVED UPON
19. REMOVE ALL TEMPORARY SOIL EROSION DEVISES AFTER PERMANENT STABILIZATION IS ESTABLISHED.
20. APPROXIMATE START DATE –
21. APPROXIMATE COMPLETION DATE –
TOTAL GROSS ACREAGE DISTURBED = 0.11 ACRES

I UNDERSTAND MY RESPONSIBILITY OUTLINED UNDER THESE GUIDELINES

LANDOWNER'S SIGNATURE DATE

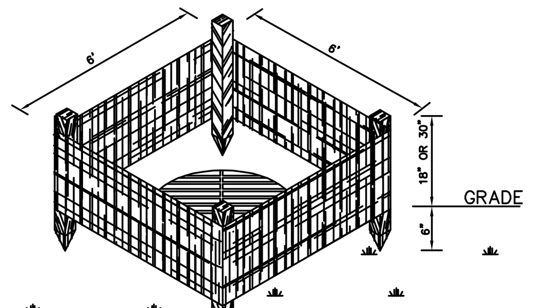
EROSION CONTROL MEASURES & SEQUENCE OF CONSTRUCTION

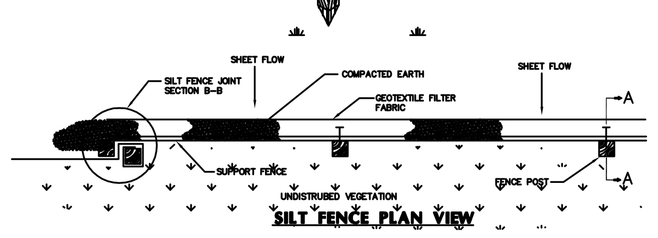
1. INSTALL TEMPORARY SOIL EROSION CONTROL GEOTEXTILE FILTER CLOTH FENCE AS INDICATED ON PLAN AND AT ADDITIONAL AREAS AS NECESSARY
2. MAINTAIN A 15 FT. BUFFER OF VEGETATION WHERE POSSIBLE AROUND PERIMTER OF SITE.
3. INSTALL UTILITIES AND EXCAVATE BASEMENT. STOCKPILE DIRT AWAY FROM DRAINAGE AREAS.
4. BACKFILL BASEMENT, GRADE SITE AND REMOVE EXCESS DIRT FROM SITE IF NECESSARY.
5. CONSTRUCT HOUSE
6. INSTALL PAVEMENT AND FINAL GRADE THE LOT.
7. ESTABLISH VEGETATION AND LANDSCAPE ALL DISTRUBED AREAS NOT BUILT OR PAVED UPON.
8. CLEAN PAVEMENT AND REMOVE ALL TEMPORARY EROSION CONTROL MEASURES. RE-ESTABLISH VEGETATION AS NECESSARY.
9. ALL DIRT AND MUD TRACKED ONTO PUBLIC ROADS SHALL BE REMOVED DAILY.
10. ALL EROSION CONTROL SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP



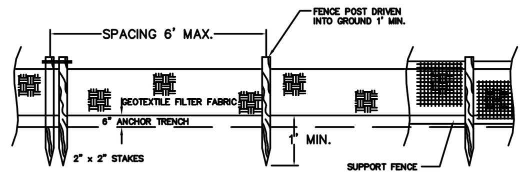
INLET FILTER

(N.T.S.)

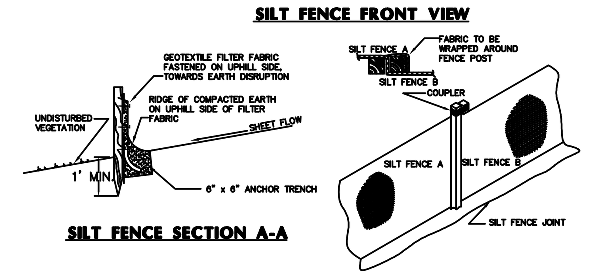




SILT FENCE PLAN VIEW



SILT FENCE FRONT VIEW



SILT FENCE SECTION A-A

SILT FENCE SECTION B-B

NOTE:
SILT FENCE LOCATION, INSTALLATION DETAILS AND TIMING SEQUENCE OF RE-ESTABLISHMENT OF PERMANENT VEGETATION REQUREED PRIOR TO FINAL BUILDING INSPECTION

NOT FOR CONSTRUCTION UNLESS APPROVED BY MUNICIPALITY
HOUSE DIMENSIONS TO BE VERIFIED BY OWNER AND/OR BUILDER BEFORE CONSTRUCTION.

THE PROPERTY DIMENSIONS AND UTILITY LOCATIONS SHOWN ARE ONLY APPROXIMATE AND GATHERED FROM EXIST RECORDS AVAILABLE, THERE IS NO GUARANTEE THEREOF. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND UTILITIES PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO OWNER AND/OR ENGINEER

NOTE: ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF ALL GOVERNING AGENCIES.

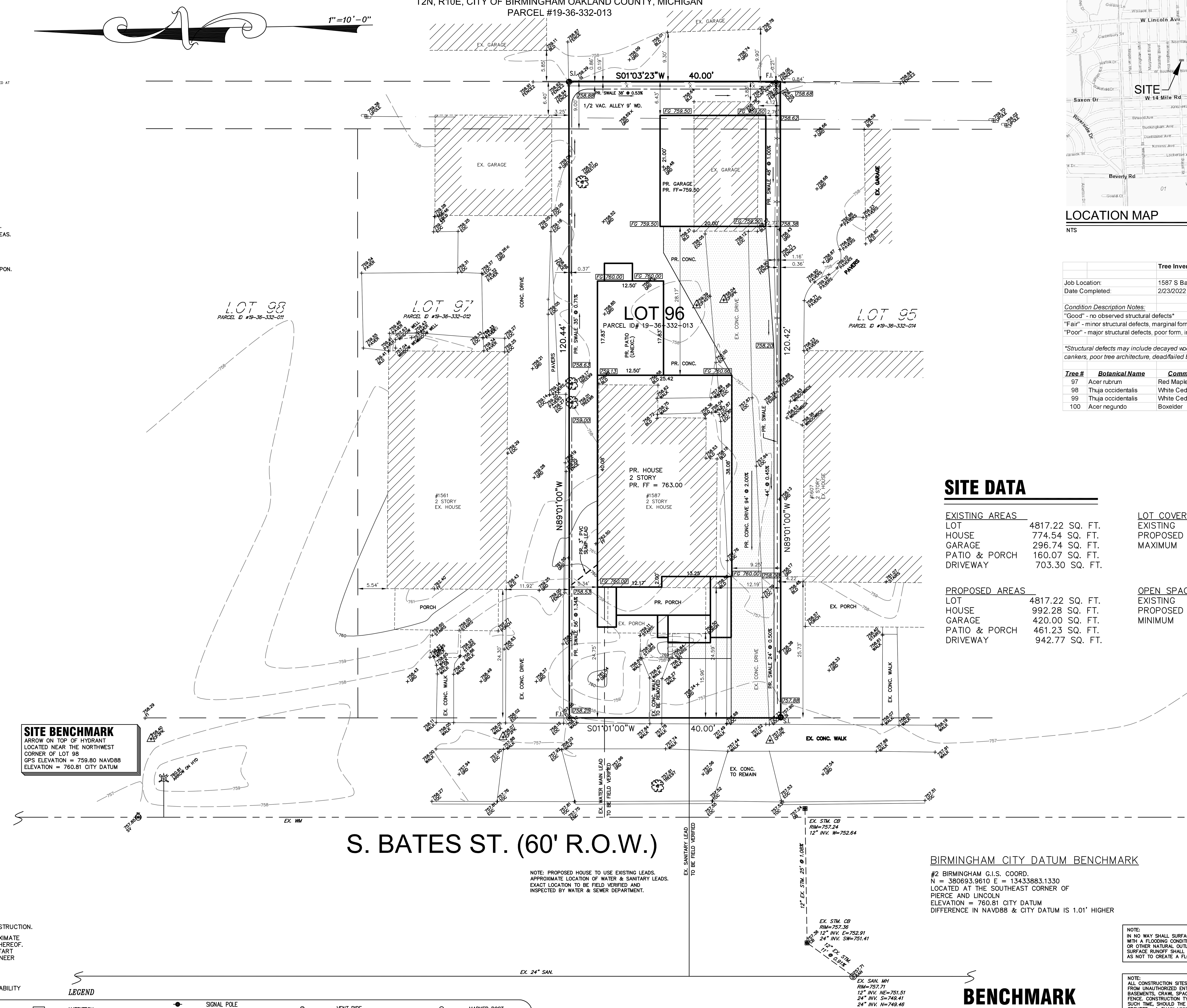
USER AGREES THAT PLAN IS SUBJECT TO STANDARD ASCE CONTRACT AND LIABILITY AND IS LIMITED TO FEE

PLOT PLAN

1587 S BATES ST.

PART OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 36, T2N, R10E, CITY OF BIRMINGHAM OAKLAND COUNTY, MICHIGAN
PARCEL #19-36-332-013

1"=10'-0"



SITE BENCHMARK
ARROW ON TOP OF HYDRANT
LOCATED NEAR THE NORTHWEST
CORNER OF LOT 98
GPS ELEVATION = 759.80 NAVD88
ELEVATION = 760.81 CITY DATUM

S. BATES ST. (60' R.O.W.)

NOTE: PROPOSED HOUSE TO USE EXISTING LEADS. APPROXIMATE LOCATION OF WATER & SANITARY LEADS. EXACT LOCATION TO BE FIELD VERIFIED AND INSPECTED BY WATER & SEWER DEPARTMENT.

LOCATION MAP

NTS

		Tree Inventory List		
Job Location:		1587 S Bates St.		
Date Completed:		2/23/2022		
Condition Description Notes:				
"Good" - no observed structural defects*				
"Fair" - minor structural defects, marginal form, some insect activity noted*				
"Poor" - major structural defects, poor form, insect infested*				
**Structural defects may include decayed wood, cracks, root problems, weak branch unions cankers, poor tree architecture, dead/failed branches due to various causes.*				
Tree #	**Botanical Name**	**Common Name**	**Dia.**	**Condition**
97	Acer rubrum	Red Maple	10"	Good
98	Thuja occidentalis	White Cedar	9"	Fair
99	Thuja occidentalis	White Cedar	7"	Fair
100	Acer negundo	Boxelder	7"	Fair

SITE DATA

EXISTING AREAS		LOT COVERAGE	
LOT	4817.22 SQ. FT.	EXISTING	22.23% (1071.28 SQ. FT.)
HOUSE	774.54 SQ. FT.	PROPOSED	29.31% (1412.28 SQ. FT.)
GARAGE	296.74 SQ. FT.	MAXIMUM	30.00% (1455.17 SQ. FT.)
PATIO & PORCH	160.07 SQ. FT.		
DRIVEWAY	703.30 SQ. FT.		

PROPOSED AREAS		OPEN SPACE	
LOT	4817.22 SQ. FT.	EXISTING	59.84% (2882.57 SQ. FT.)
HOUSE	992.28 SQ. FT.	PROPOSED	41.53% (2000.94 SQ. FT.)
GARAGE	420.00 SQ. FT.	MINIMUM	40.00% (1926.89 SQ. FT.)
PATIO & PORCH	461.23 SQ. FT.		
DRIVEWAY	942.77 SQ. FT.		

BIRMINGHAM CITY DATUM BENCHMARK
#2 BIRMINGHAM G.I.S. COORD.
N = 380693.9610 E = 13433883.1330
LOCATED AT THE SOUTHEAST CORNER OF
PIERCE AND LINCOLN
ELEVATION = 760.81 CITY DATUM
DIFFERENCE IN NAVD88 & CITY DATUM IS 1.01' HIGHER

NOTE:
IN NO WAY SHALL SURFACE RUNOFF BE DIRECTED SO AS TO ADVERSELY IMPACT ADJACENT PROPERTIES WITH A FLOODING CONDITION. THE GRADING PLAN SHOULD CONTINUE AS FAR AS A STORM SEWER OUTLET OR OTHER NATURAL OUTLET POINT OF DISCHARGE TO ASSURE PROPER CONTROL OF SURFACE RUNOFF. SURFACE RUNOFF SHALL BE DIVERTED TO A STORM SEWER OR OTHER APPROVED POINT OF COLLECTION SO AS NOT TO CREATE A FLOODING CONDITION.

NOTE:
ALL CONSTRUCTION SITES ARE REQUIRED TO BE MAINTAINED IN A SAFE CONDITION AND TO BE PROTECTED FROM UNAUTHORIZED ENTRY. ALL EXCAVATIONS EXVEEDING 24 INCHES IN DEPTH, SUCH AS FOR BASEMENTS, CRAWL SPACES, POOLS, AND SPAS MUST BE SECURED THROUGH THE USE OF A 4' HIGH FENCE. CONSTRUCTION TYPE FENCING WILL BE ALLOWED FOR A PERIOD NOT TO EXCEED 30 DAYS. AT SUCH TIME, SHOULD THE PERMITTED WORK STILL PHYSICALLY BE UNABLE TO BE PROTECTED AND SECURED, A CHAIN LINK FENCE IS REQUIRED TO BE INSTALLED AND MUST REMAIN IN PLACE UNTIL ITS REMOVAL HAS BEEN AUTHORIZED BY THE BUILDING OFFICIAL. 2009 MRC-R 104.1 & 2009 MBC-CHAPTER 33

LEGEND

EXISTING		*PROPOSED*
	GAS	
	SANITARY (SAN)	
	STORM (STM)	
	WATERMAIN (WM)	
	OVERHEAD WIRE	
	UNDERGROUND CABLE	
	EX. DITCH OR SWALE CENTERLINE	
	EASEMENTS	
	RAILROAD	
	CHAIN LINK FENCE	
	WOOD FENCE	
	WIRE FENCE,	
	GUARD RAIL	

AMERITECH
WATER SHUT OFF
TELEPHONE RISER
TELEPHONE
C.O. SEWER CLEAN OUT
GAS METER
GAS VALVE /GAS MARKER
MANHOLE
CATCH BASIN
GATE VALVE IN WELL (G.V.W)
FIRE HYDRANT
STORM MANHOLE (ST. MH.)
FENCE POST
UTILITY POLE
UTILITY POLE W/ LAMP EXTENSION

SIGNAL POLE
PUBLIC LIGHTING MH.
ELECTRIC RISER OR METER
CATHODIC PROTECTION
GUY WIRE
HIGH TENSION TOWER
FLAG POLE
GUARD/METAL POST
STEEL COLUMN
MAILBOX
SIGN
PARKING METER
BILLBOARD OR LARGE SIGN
BB BASKETBALL HOOP

VENT PIPE
FILLER CAP
C.P. TEST
MONITOR WELL
TC 655.50 / TP 655.00 TOP OF CURB ELEVATION / TOP OF PAVEMENT ELEVATION OR
TW TOP OF WALK
CULV CULVERT
CMP CORRUGATED METAL PIPE
F.F. FINISH FLOOR ELEVATION
SECTION CORNER
F.I. FOUND IRON
F.M. FOUND MONUMENT
F.P.K. FOUND P.K. NAIL
S.I. SET IRON

MARKER POST
LIGHT POLE
TRAFFIC SIGNAL
D.E MANHOLE
TELEPHONE MANHOLE
655.00 SPOT ELEVATION
TC 655.50 / G 655.00 TOP OF CURB ELEVATION GUTTER ELEVATION
S.P.K. SET P.K. NAIL
CHIS "X" CHISELED "X"
000.0 PROPOSED GRADE
CONTROL POINT

LEGAL DESCRIPTION OF RECORD

A PARCEL OF LAND LOCATED IN PART OF THE EAST 1/2 OF THE SOUTHEAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 36, T 2N, R12E, CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN AND DESCRIBED AS FOLLOWS:
LOT 96 INCLUDING 1/2 OF ADJACENT VACATED ALLEY, OF A RESUBDIVISION OF BRIGHT LAWN SUBDIVISION. (L.37, P.8 O.C.R.) CONTAINING 0.11 ACRES OF LAND RESERVING ALL RIGHTS, EASEMENTS AND RESTRICTIONS OF RECORD.

	CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
A	SOIL EROSION CONTROL MEASURES												
B	EXISTING HOUSE DEMO												
C	HOUSE CONSTRUCTION												
D	DRIVEWAY & SIDEWALK CONSTRUCTION												
E	FINAL GRADING												

BENCHMARK

ARROW ON TOP OF HYDRANT
LOCATED NEAR THE NORTHWEST
CORNER OF LOT 98
GPS ELEVATION = 759.80 NAVD88
ELEVATION = 760.81 CITY DATUM

SOIL EROSION NOTES	
1. INSTALL EROSION CONTROL	TOTAL DISTURBED AREA 0.11 ACRES OF LAND
2. ALL SOIL EROSION MEASURES MUST BE IN PLACE PRIOR TO ANY EARTH MOVEMENT	LIMITS OF EARTH DISRUPTION WILL BE CONTAINED ON SITE TO ACHIEVE POSITIVE DRAINAGE PER MASTER GRADE PLAN ON FILE
3. COMPLETE ALL EARTH MOVEMENTS	SOIL TYPE PER COUNTY SOIL MAP IS: Urban land–Marlette complex, 0–8% slopes; Shebeon–Urban land complex, 0–4% slopes
4. RIGHT OF WAY MUST BE STABILIZED PRIOR TO FINAL GRADE INSPECTION.	
5. ALL SWALE AREAS, ALL SLOPES GREATER THAN 1:5 AND AROUND STORM STRUCTURES MUST BE STABILIZED PRIOR TO FINAL GRADE INSPECTION.	SOIL EROSION CONTROL MEASURES WILL BE MAINTAINED ON A WEEKLY BASIS AND AFTER EACH STORM EVENT
6. AFTER FINAL EARTH STABILIZATION IS COMPLETE REMOVE EROSION CONTROL MEASURES	TYPE OF PERMANENT VEGETATIVE RESTORATION WILL BE SEED & MULCH OR SOD

LAND DEVELOPMENT SERVICES of Michigan L.L.C.

Civil, Construction Management & Surveying Services

Land Development Services of Michigan LLC
48597 Hayes
Shelby Twp, MI 48315
P: 586.854.7310
E: David@LDSofMichigan.com

[redacted]

1587 S Bates St.
Birmingham, Michigan

[redacted]

Nadim Yahchouchi
19621 Babington Street
Santa Clarita, CA, 91351
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nadimy@creativedropinc.com

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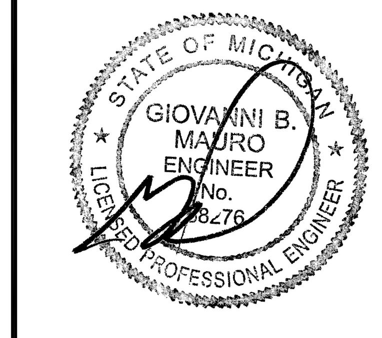


[redacted]

PLOT PLAN

[redacted]

PARCEL #19-36-332-013

811
Know what's below
Call before you dig.

[redacted]

7-18-22	PLOT PLAN

[redacted]

T.J.B.

[redacted]

D.S.W. 7-14-2022

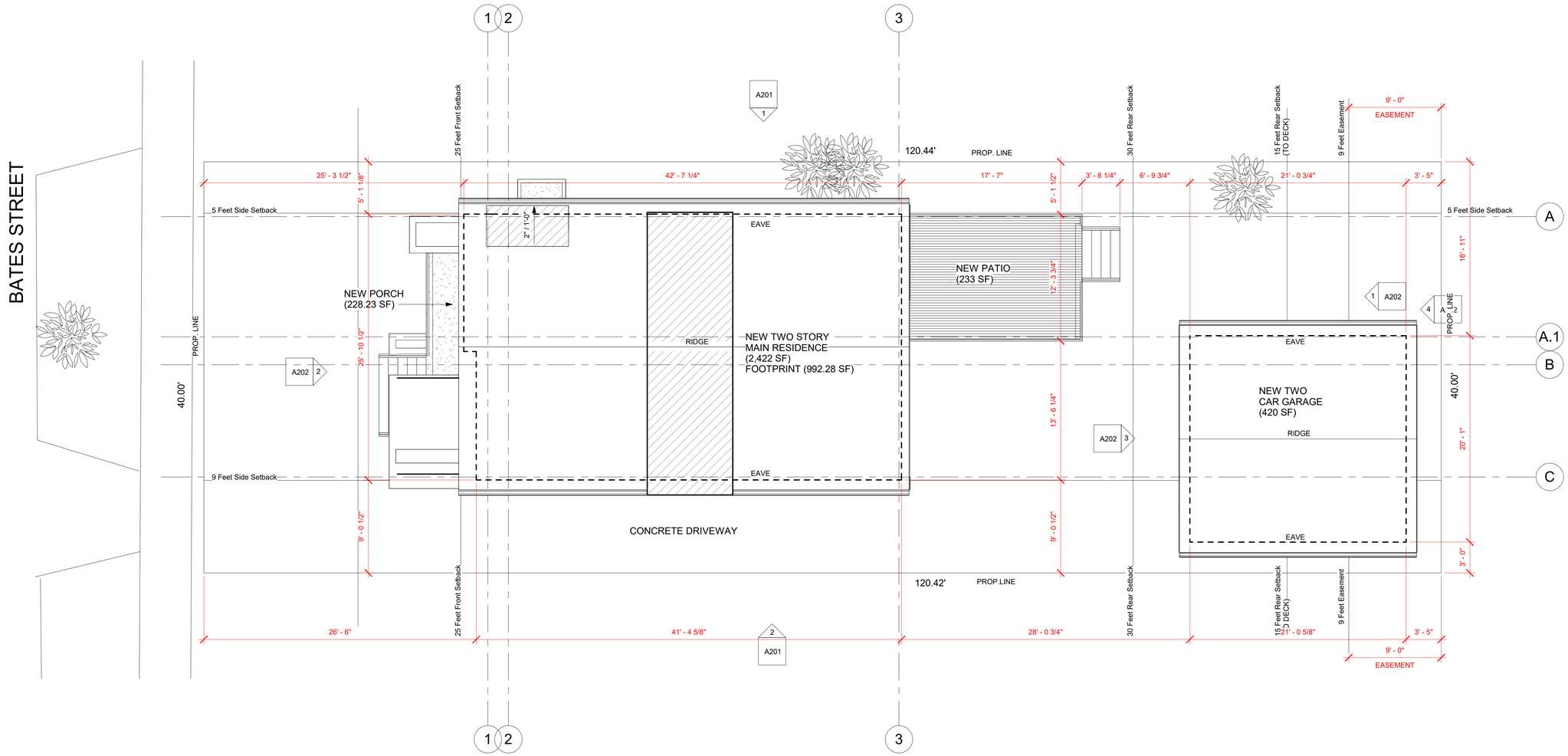
[redacted]

1" = 10'-0"

[redacted]

22121

1



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19621 BABINGTION STREET
SANTA CLARITA, CA 91351

STATE OF MICHIGAN
NASIM FRANCIS YAHCHOUCHI
License No. 1301071705
LICENSED ARCHITECT

HOUSE 1587

1587 South Bates Street
Birmingham, MI, 48009

REVISIONS

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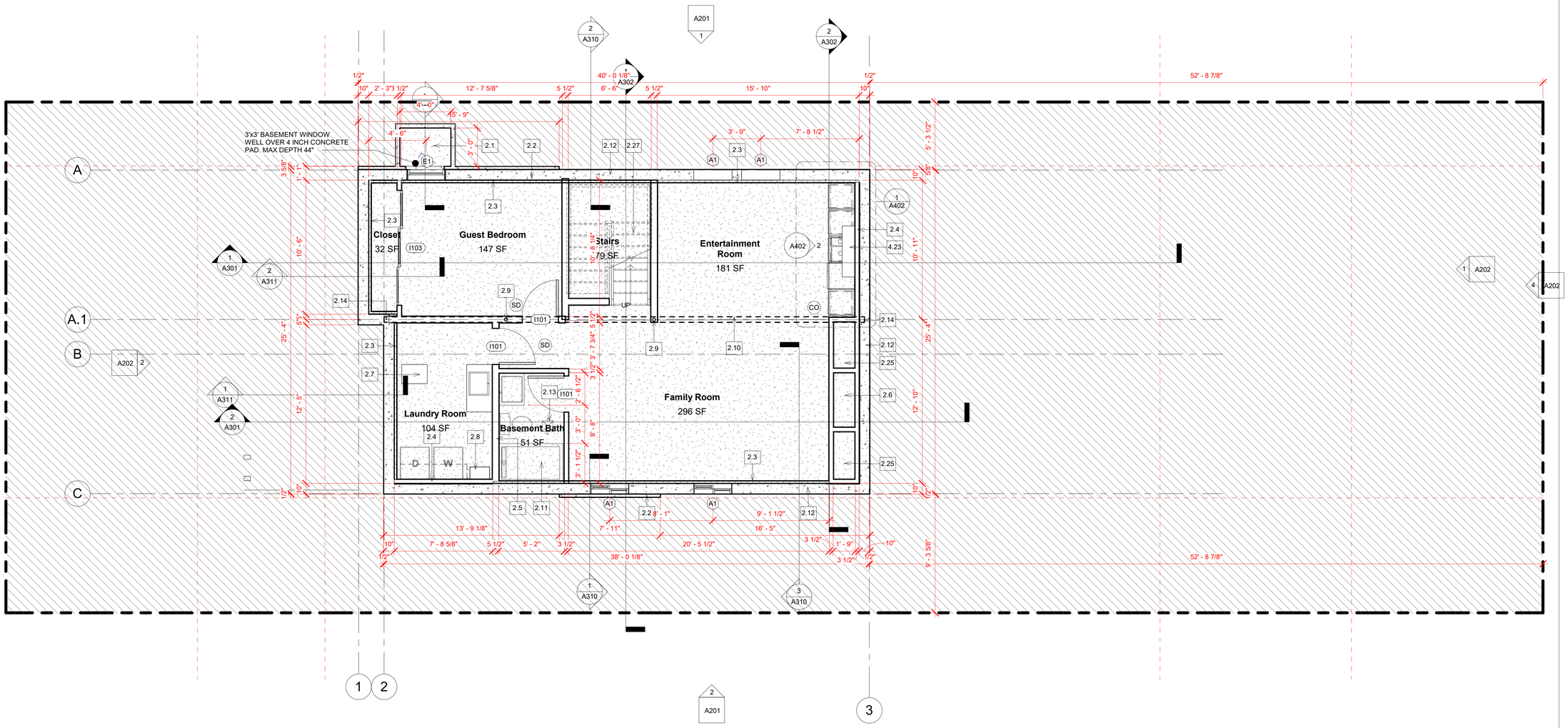
Site Plan

A100



KEYNOTES

2.1	BASEMENT WINDOW WELL WITH EGRESS WINDOW. SEE DETAIL 9/A702
2.2	13-INCH THICKEND CONCRETE BASEMENT WALL WHERE STONE VENEER OCCURS.
2.3	2-INCH RIGID INSULATION OVER CONCRETE BASEMENT WALL COVERED WITH 1/2" GYP BOARD
2.4	2x4 PLUMBING WALL
2.5	2X6 PLUMBING WALL
2.6	INSIDE WALL GAS FIRE PLACE. VENTED TO OUSIDE AIR. FRAME AND INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2.7	STAND UP FLOW FURNACE. SUPPLIES BASEMENT AND MAIN FLOOR. INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2.8	WALL MOUNTED TANKLESS WATER HEATER. INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2.9	3-INCH DIA. STRUCTUAL STEEL POST WITH FOOTING. LOCATE INSIDE OF WOOD STUD WALL. REFER TO STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
2.10	W8X18 INTERMEDIATE STRUCTURAL BEAM ABOVE. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION.
2.11	34" MIN. WIDE SHOWER WITH TILE SURROUND.
2.12	CAST-IN-PLACE BASEMENT CONCRETE WALL WITH DELTA-MS SUBRAGE WATERPROOFING MEMBRANE OVER BITUMEN DAMP PROOFING. SEE DETAILS 1/A701 AND 2/A701. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION.
2.13	NEW CEILING EXHAUST FAN. FAN SHALL HAVE 50 CFM MINIMUM AND BE ENEGRGY STAR COMPLIANT WITH HUMIDISTAT.
2.14	7"X7" BEAM POCKET WITH BEARING PLATE. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION.
2.25	RECESSED INSIDE WALL LINEN CLOSET.
2.27	WOOD FRAMED STAIRS WITH CABLE RAILING. 10" TREAD MINIMUM AND 8.75" HIGH RISER MAXIMUM.
4.23	WALL FLOATING SHELF PROVIDE WOOD BLOCKING INSIDE WALL WHERE IT OCCURS AND INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

PLAN LEGEND

	EXHAUST CEILING FAN
CO	CORBON MONOXIDE
SD	SMOKE DETECTOR

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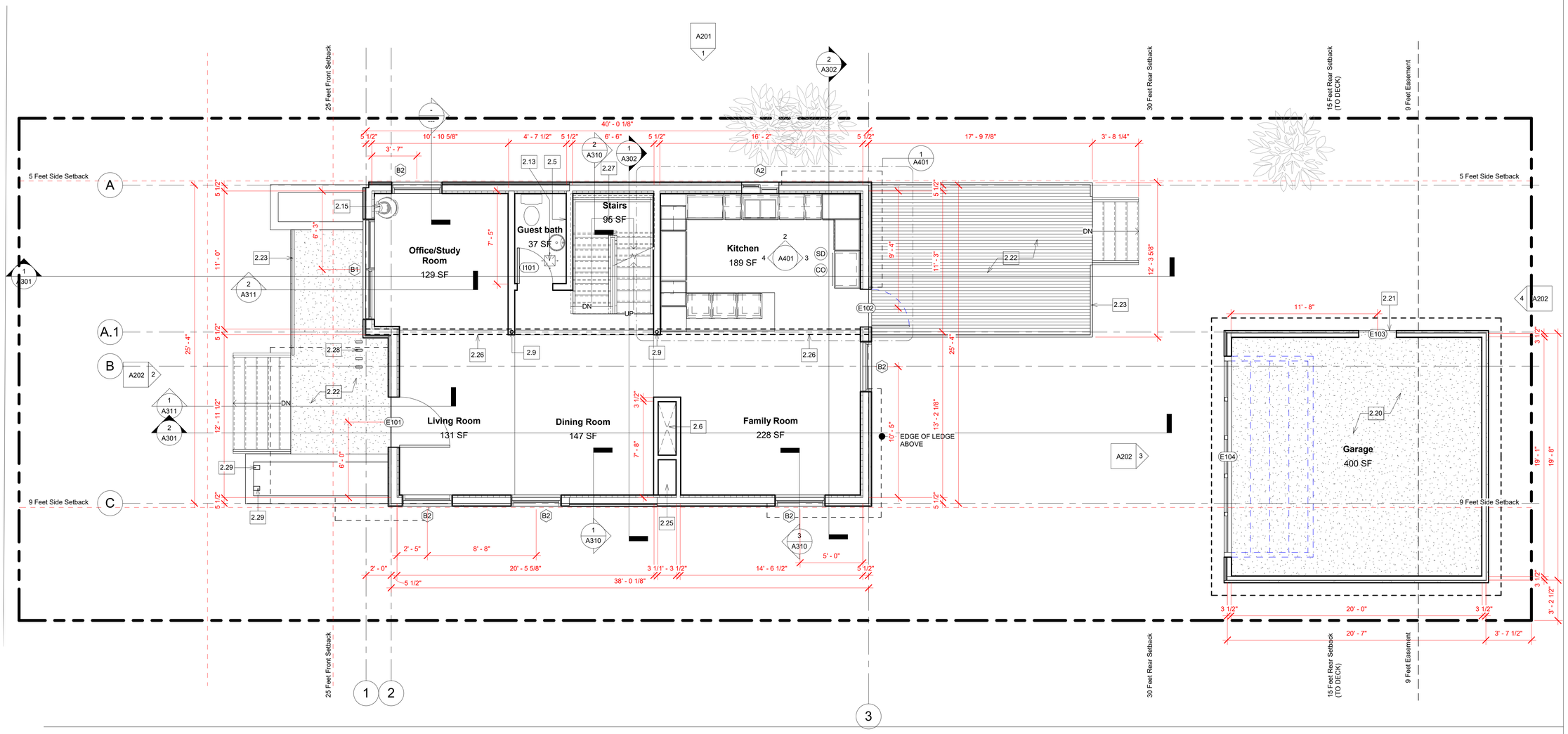
Basement Floor Plan

A100B



KEYNOTES

2.5	2X6 PLUMBING WALL
2.9	3-INCH DIA. STRUCTUAL STEEL POST WITH FOOTING. LOCATE INSIDE OF WOOD STUD WALL. REFER TO STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
2.13	NEW CEILING EXHAUST FAN. FAN SHALL HAVE 50 CFM MINIMUM AND BE ENEGRGY STAR COMPLIANT WITH HUMIDISTAT.
2.15	FREE STANDING AS FIRE PLACE. VENTED TO OUTSIDE AIR. INSTALL PER INSTALLATION INSTRUCTIONS.
2.21	EXTERIOR GARAGE SWING DOOR AT GRADE LEVEL. SEE DOOR SCHEDULE FOR SIZE.
2.22	4-INCH MINIMUM CONCRETE TOPPING SLAB OVER VAPOR BARRIER WITH 2% MINIMUM SLOPE FOR WATER DRAINAGE.
2.23	SIDE MOUNTED EXTERIOR GRADE CLEAR ANODIZED STEEL CABLE RAILING WITH LITE TOP RAIL.
2.26	4X14 FTICH BEAM ABOVE. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION.
2.27	WOOD FRAMED STAIRS WITH CABLE RAILING. 10" TREAD MINIMUM AND 8.75" HIGH RISER MAXIMUM.
2.28	EXTERIOR GRADE DECORATIVE ALUMINUM FIN WITH BASE PLATED. MOUNTED ON EXTERIOR WALL FACE. PROVIED INSIDE WALLBLOCKING AS REQUIRED.
2.29	3" X 2" HSS POST WITH CONCRETE PIERS. REFER TO STRUCTURAL FOR ADDITIONAL INFORAMTION.

PLAN LEGEND

EXHAUST CEILING FAN

CO — CORBON MONOXIDE

SD — SMOKE DETECTOR

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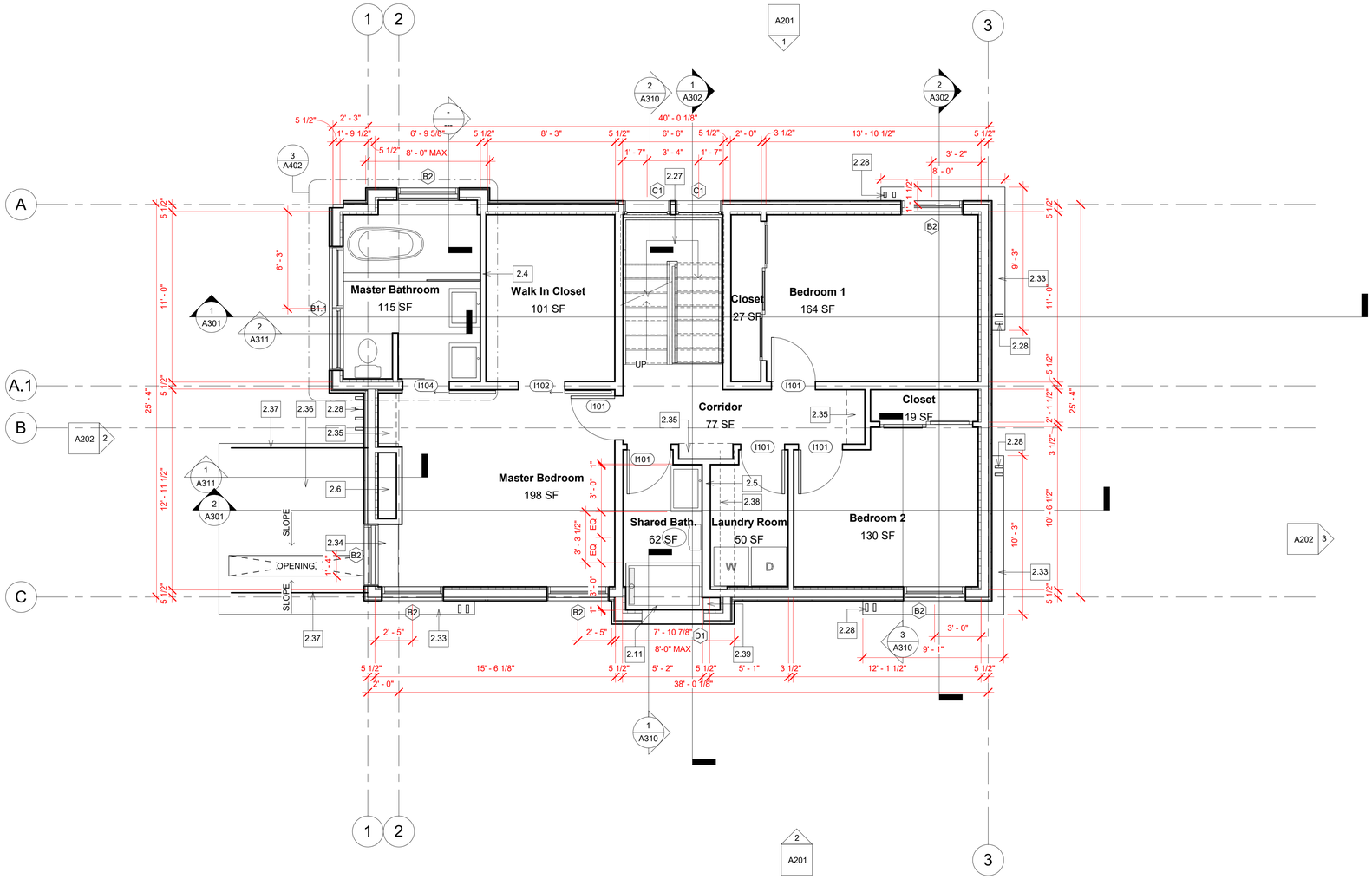
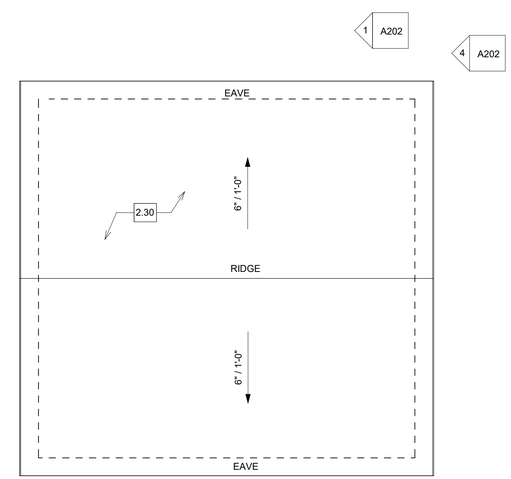
Main Floor Plan

A101





KEYNOTES

2.4	2x4 PLUMBING WALL
2.5	2X6 PLUMBING WALL
2.6	INSIDE WALL GAS FIRE PLACE. VENTED TO OUSIDE AIR. FRAME AND INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2.11	34" MIN. WIDE SHOWER WITH TILE SURROUND.
2.27	WOOD FRAMED STAIRS WITH CABLE RAILING. 10" TREAD MINIMUM AND 8.75" HIGH RISER MAXIMUM.
2.28	EXTERIOR GRADE DECORATIVE ALUMINUM FIN WITH BASE PLATED. MOUNTED ON EXTERIOR WALL FACE. PROVIED INSIDE WALLBLOCKING AS REQUIRED.
2.30	STANDING SEAM METAL ROOF FINISH OVER 2 LAYERS OF #30 FELT BUILDING PAPER. INSTALL PER MANUFACTURER INSTALLATION INSTRUCTIONS.
2.33	EXERIOR DECORATIVED LEDGE. SEE DETAIL 6/A702
2.34	WOOD FRAMED WINDOW SEAT.
2.35	WALL WOOD SHELVES.
2.36	WOOD FRAMED ENTRY COVER WITH STANDING SEAM METAL ROOFING FOR LOW SLOPED ROOFS. SLOPE JOISTS AT 2% MINIMUM TO DRAIN FROM THE ROOF OPENING DOWN INTO THE PLANTER BELOW.REFER TO STRUCTURAL FOR FRAMING DETAILS.
2.37	STRUCTURAL GALVANIZED WIRE ROPE. SUPPORTS BEAM BELOW REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION.
2.39	RECESSED WALL TILE NICH.

PLAN LEGEND

EXHAUST CEILING FAN

CO — CORBON MONOXIDE

SD — SMOKE DETECTOR

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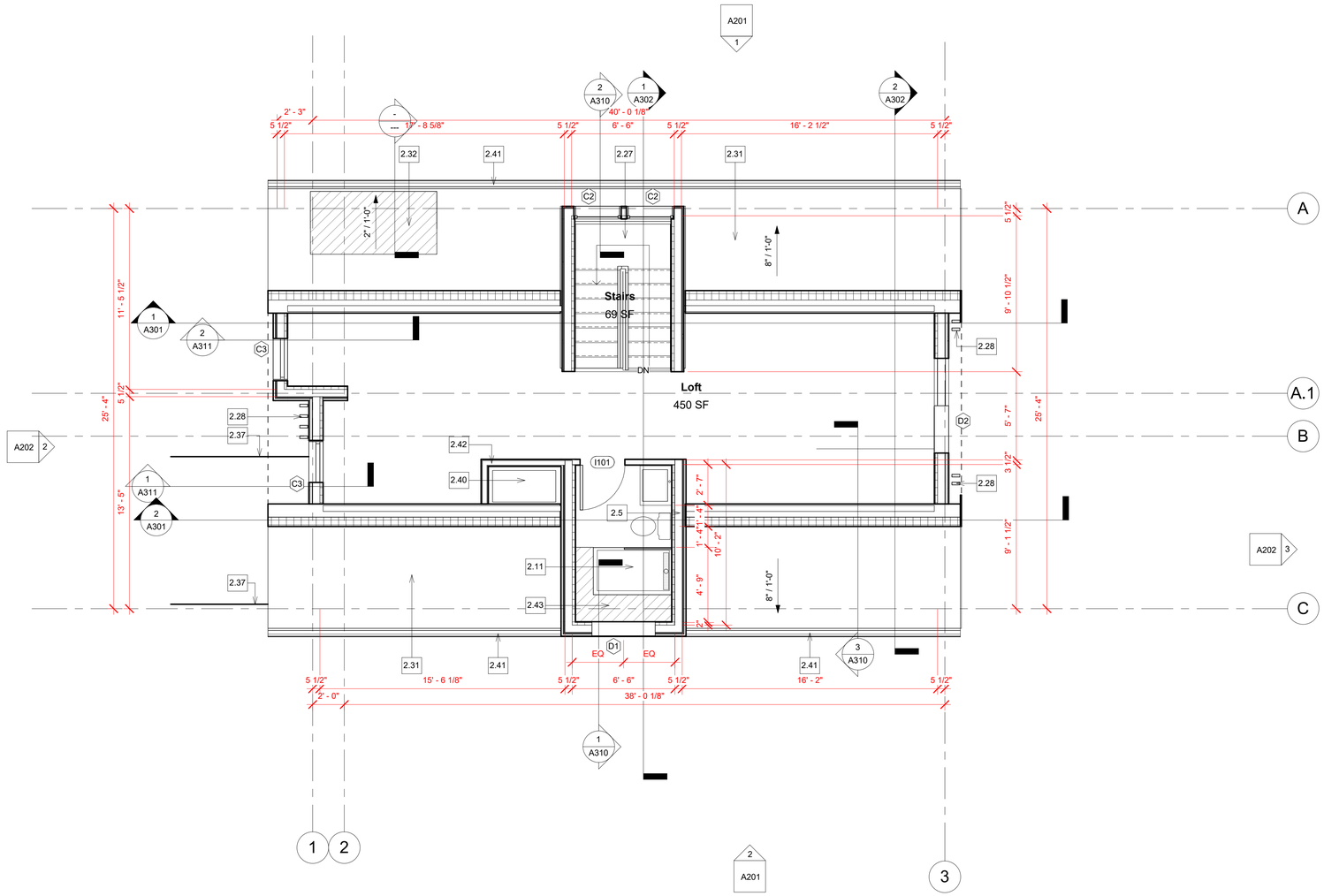
Second Floor Plan

A102



KEYNOTES

2.5	2X6 PLUMBING WALL
2.11	34" MIN. WIDE SHOWER WITH TILE SURROUND.
2.27	WOOD FRAMED STAIRS WITH CABLE RAILING. 10" TREAD MINIMUM AND 8.75" HIGH RISER MAXIMUM.
2.28	EXTERIOR GRADE DECORATIVE ALUMINUM FIN WITH BASE PLATED. MOUNTED ON EXTERIOR WALL FACE. PROVIED INSIDE WALLBLOCKING AS REQUIRED.
2.31	STANDING SEAM METAL ROOF FINISH OVER 2 LAYERS OF #30 FELT BUILDING PAPER AND RIGID INSULATION. INSTALL PER MANUFACTURER INSTALLATION INSTRUCTIONS.
2.32	STANDING SEAM METAL ROOF FINISH FOR LOW SLOPE ROOFS OVER 2 LAYERS OF #30 FELT BUILDING PAPER. INSTALL PER MANUFACTURER INSTALLATION INSTRUCTIONS.
2.37	STRUCTURAL GALVANIZED WIRE ROPE. SUPPORTS BEAM BELOW REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION.
2.40	HORIZONTAL FLOW FURNACE. SUPPLIES LOFT AND SECOND FLOOR. INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2.41	6-INCH WIDE STAINLESS STEEL GUTTER WITH GUTTER GUARD.
2.42	2X4 ACCOUSTIC WALL AROUND FURNACE. WITH 2 LAYERS OF GYP BOARD ON BOTH SIDES AND BACKER ROD AND SEALANT TOP AND BOTTOM.
2.43	TILED SEAT AROUND SHOWER.

PLAN LEGEND

EXHAUST CEILING FAN

CO — CORBON MONOXIDE

SD — SMOKE DETECTOR

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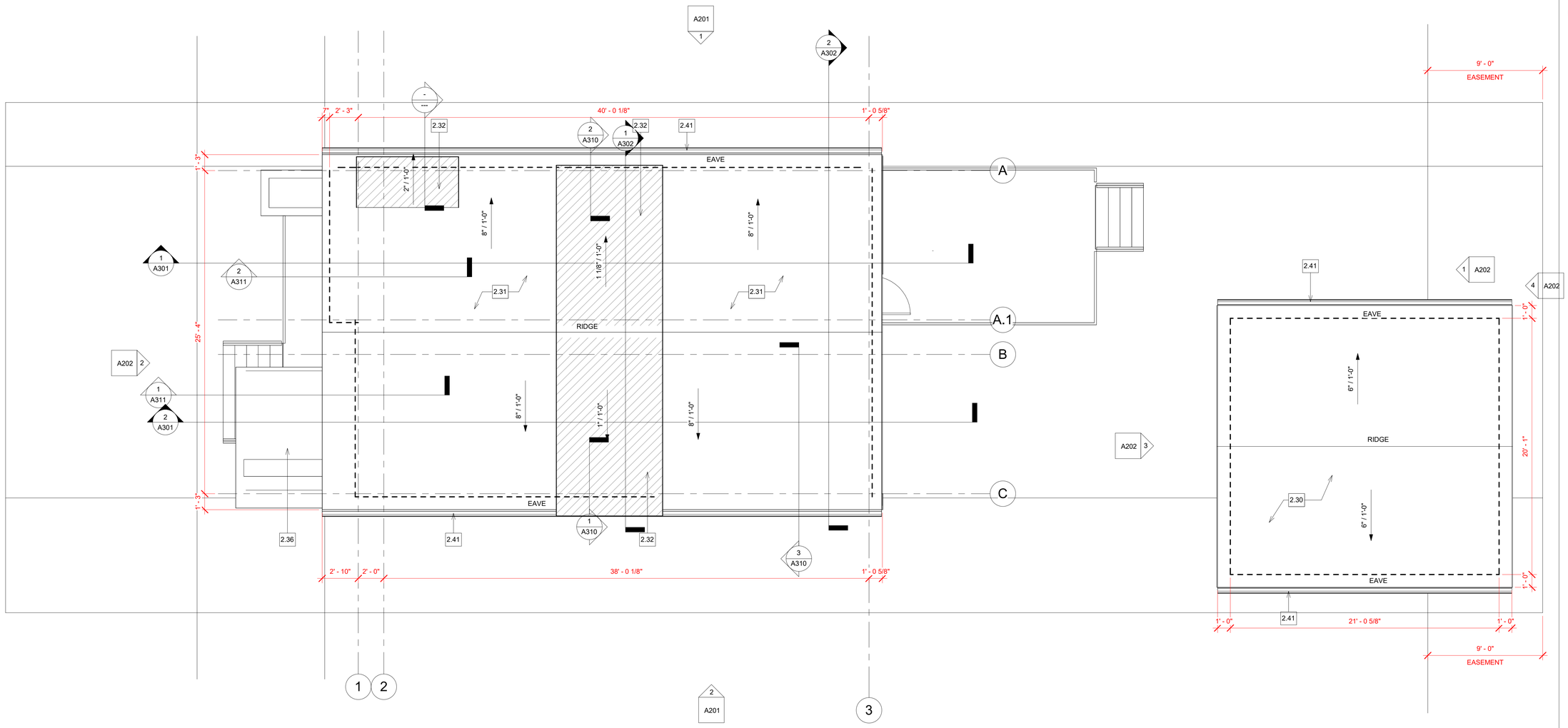
Loft Floor Plan

A103



KEYNOTES

2.31	STANDING SEAM METAL ROOF FINISH OVER 2 LAYERS OF #30 FELT BUILDING PAPER AND RIGID INSULATION. INSTALL PER MANUFACTURER INSTALLATION INSTRUCTIONS.
2.32	STANDING SEAM METAL ROOF FINISH FOR LOW SLOPE ROOFS OVER 2 LAYERS OF #30 FELT BUILDING PAPER. INSTALL PER MANUFACTURER INSTALLATION INSTRUCTIONS.

PLAN LEGEND

	EXHAUST CEILING FAN
CO	CORBON MONOXIDE
SD	SMOKE DETECTOR

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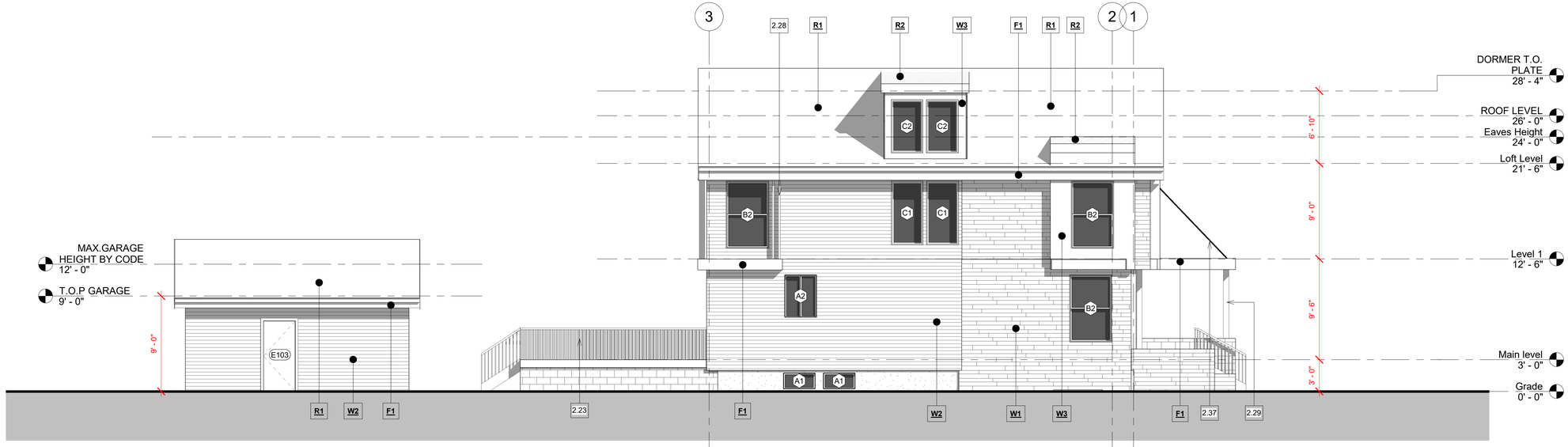
Roof Plan

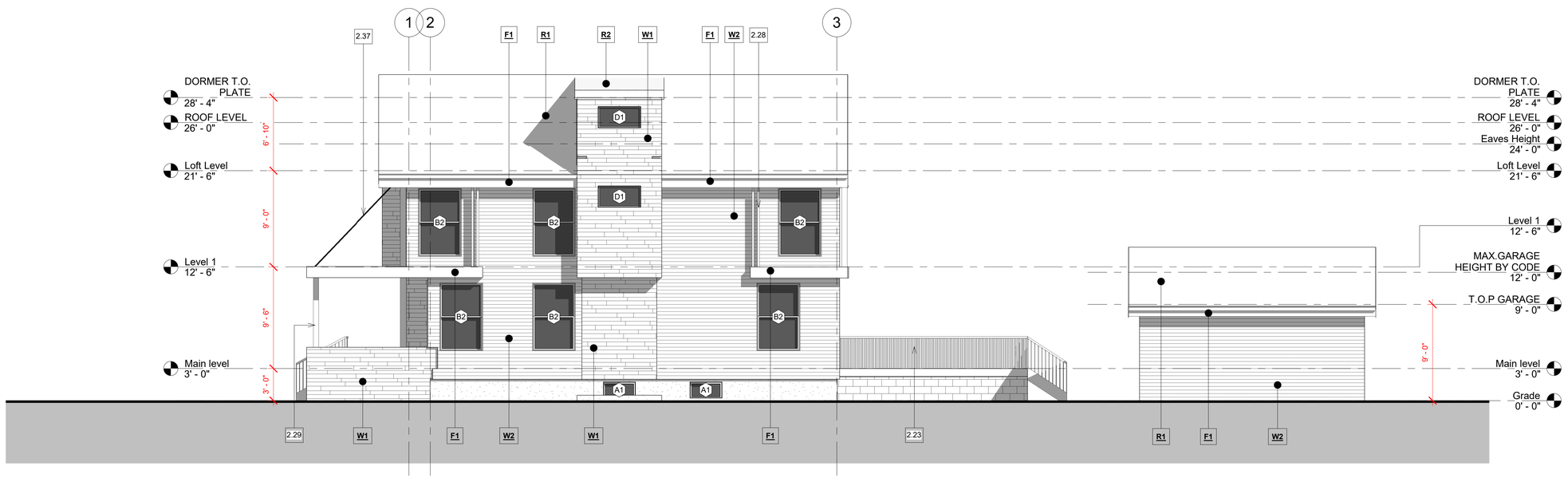
A104



North

SCALE: 3/16" = 1'-0"

1



South

SCALE: 3/16" = 1'-0"

2

KEYNOTES

2.23	SIDE MOUNTED EXTERIOR GRADE CLEAR ANODIZED STEEL CABLE RAILING WITH LITE TOP RAIL.
2.28	EXTERIOR GRADE DECORATIVE ALUMINUM FIN WITH BASE PLATED. MOUNTED ON EXTERIOR WALL FACE. PROVIED INSIDE WALLBLOCKING AS REQUIRED.
2.29	3" X 2" HSS POST WITH CONCRETE PIERS. REFER TO STRUCTURAL FOR ADDITIONAL INFORAMTION.
2.37	STRUCTURAL GALVANIZED WIRE ROPE. SUPPORTS BEAM BELOW REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION.

MATERIAL SCHEDULE

W1	STONE VENEER
W2	PVC OPEN JOINT 1" X 6" CLADDING
W3	EXTERIOR ACRYLIC PLASTER
R1	STANDING SEAM METAL ROOFING
R2	STANDING SEAM METAL ROOFING FOR LOW SLOPE
F1	POLYMER PVC FASCIA BOARD

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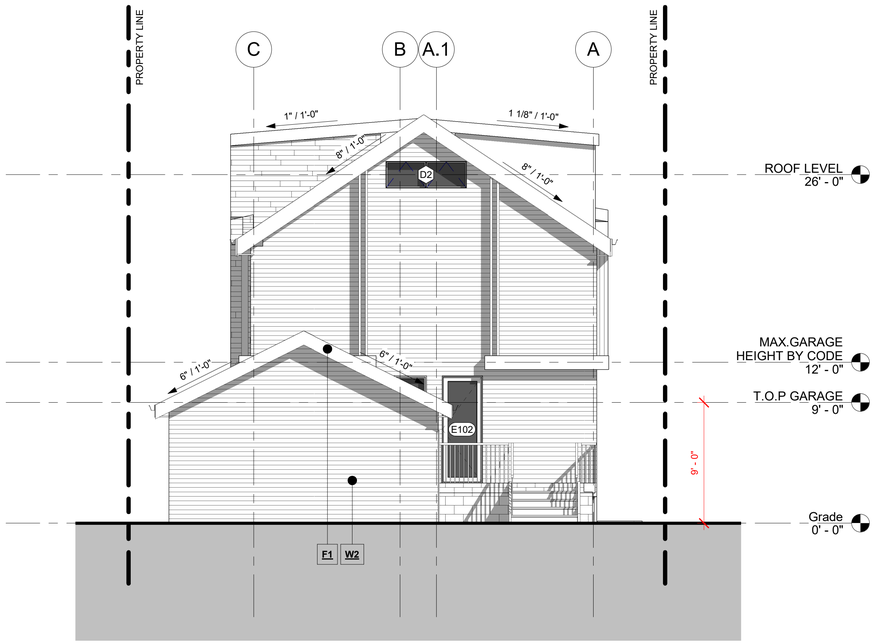
Elevations

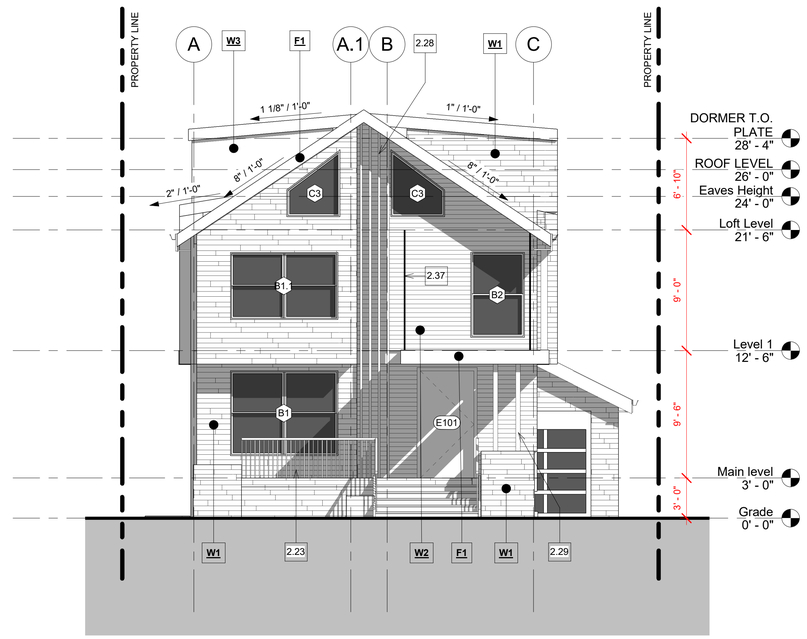
A201



Garage Back Elevation

SCALE: 3/16" = 1'-0"

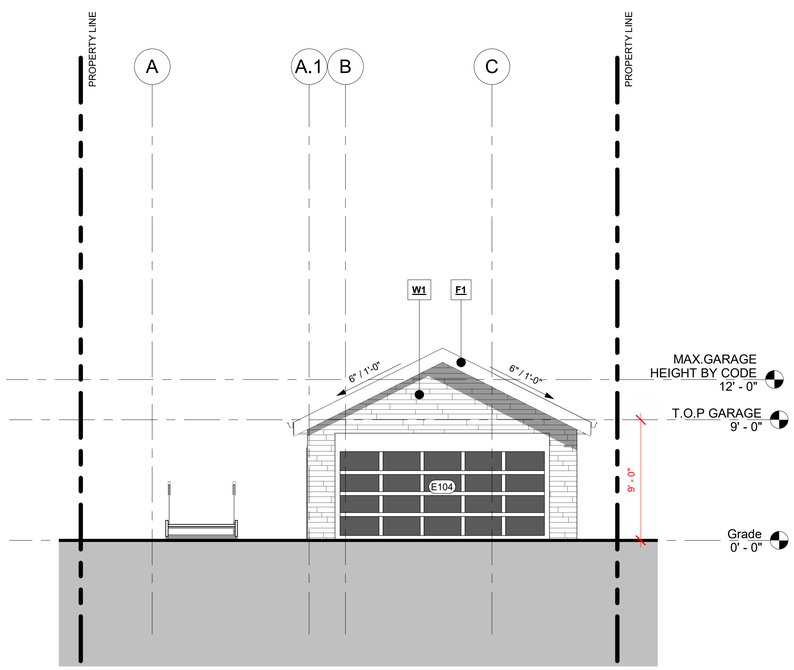
4



West

SCALE: 3/16" = 1'-0"

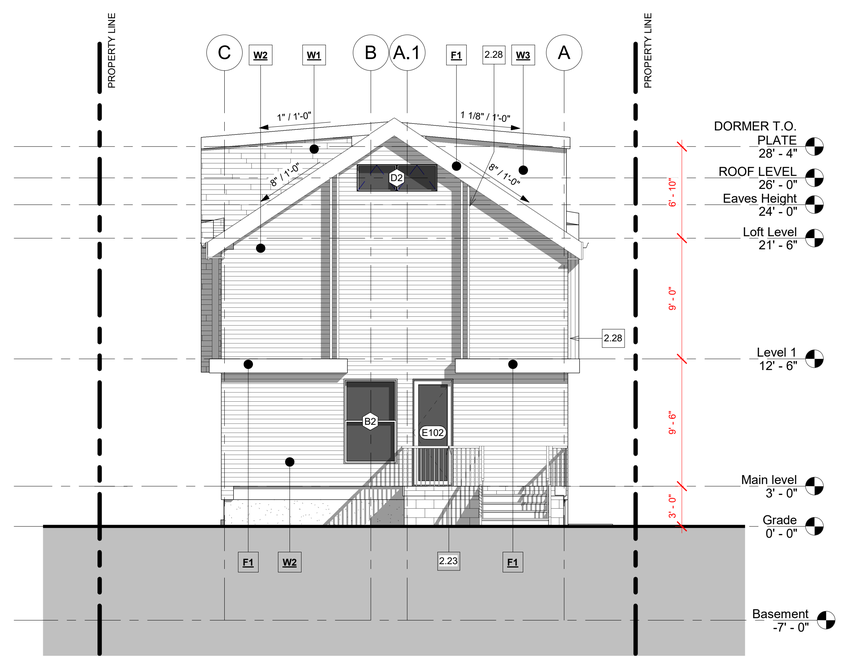
2



Garage Front Elevation

SCALE: 3/16" = 1'-0"

3



East

SCALE: 3/16" = 1'-0"

1

KEYNOTES

2.23	SIDE MOUNTED EXTERIOR GRADE CLEAR ANODIZED STEEL CABLE RAILING WITH LITE TOP RAIL.
2.28	EXTERIOR GRADE DECORATIVE ALUMINUM FIN WITH BASE PLATED. MOUNTED ON EXTERIOR WALL FACE. PROVIED INSIDE WALLBLOCKING AS REQUIRED.
2.29	3" X 2" HSS POST WITH CONCRETE PIERS. REFER TO STRUCTURAL FOR ADDITIONAL INFORAMTION.
2.37	STRUCTURAL GALVANIZED WIRE ROPE. SUPPORTS BEAM BELOW REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION.

MATERIAL SCHEDULE

W1	STONE VENEER
W2	PVC OPEN JOINT 1" X 6" CLADDING
W3	EXTERIOR ACRYLIC PLASTER
R1	STANDING SEAM METAL ROOFING
R2	STANDING SEAM METAL ROOFING FOR LOW SLOPE
F1	POLYMER PVC FASCIA BOARD

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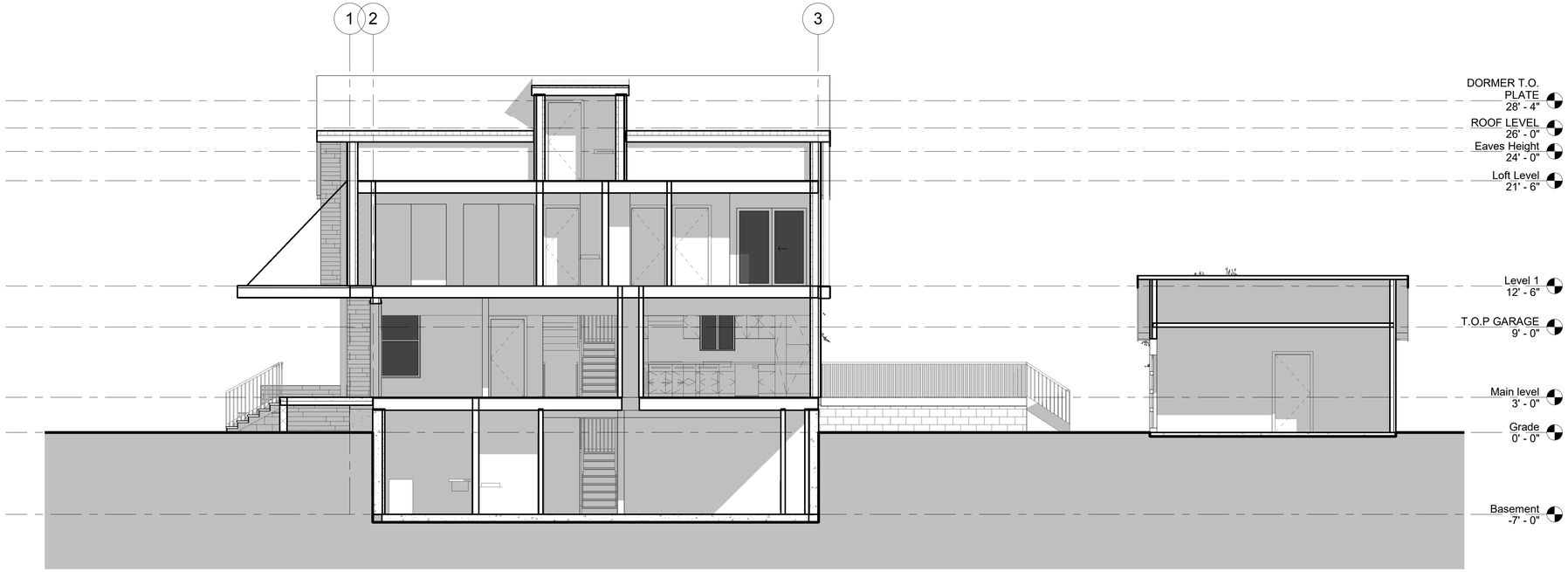
Elevations

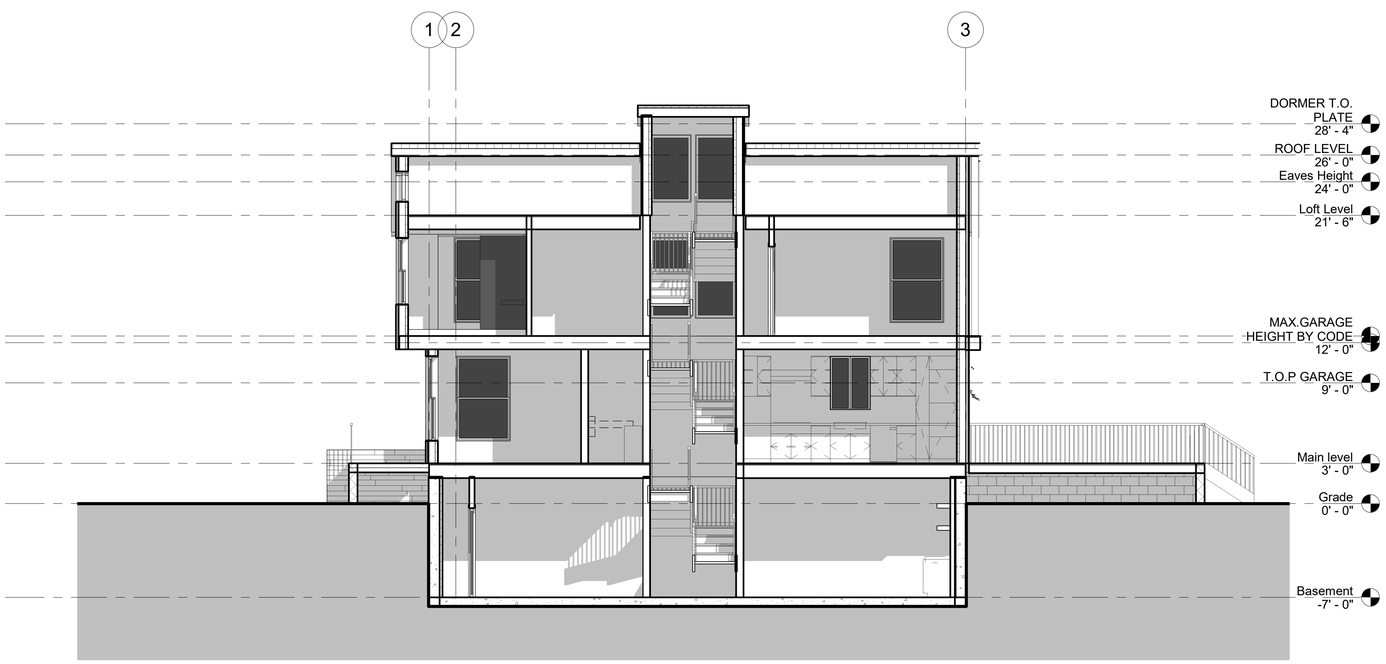
A202



Long Section Through Stairs

SCALE: 3/16" = 1'-0"

2



Long Section Through Master Bedroom

SCALE: 3/16" = 1'-0"

1

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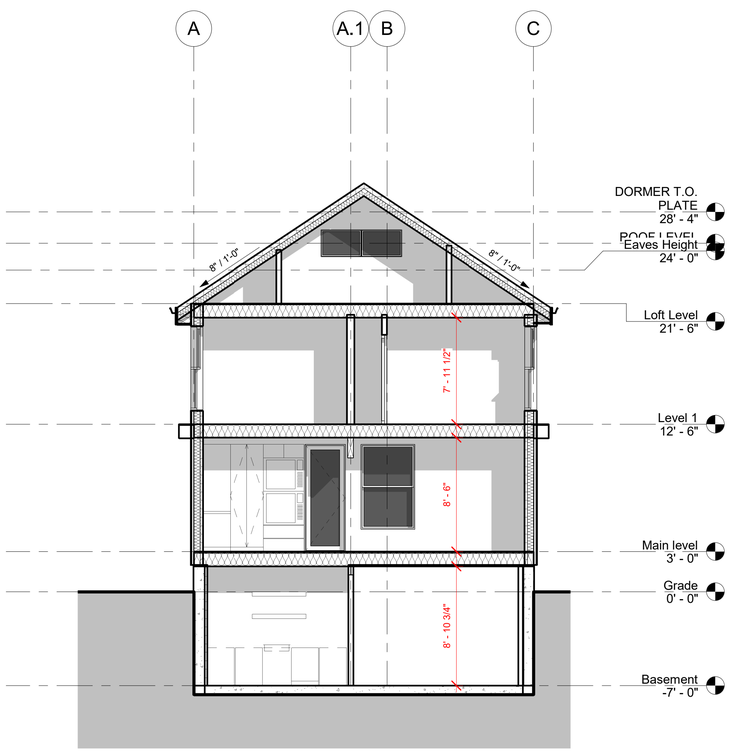
Sections

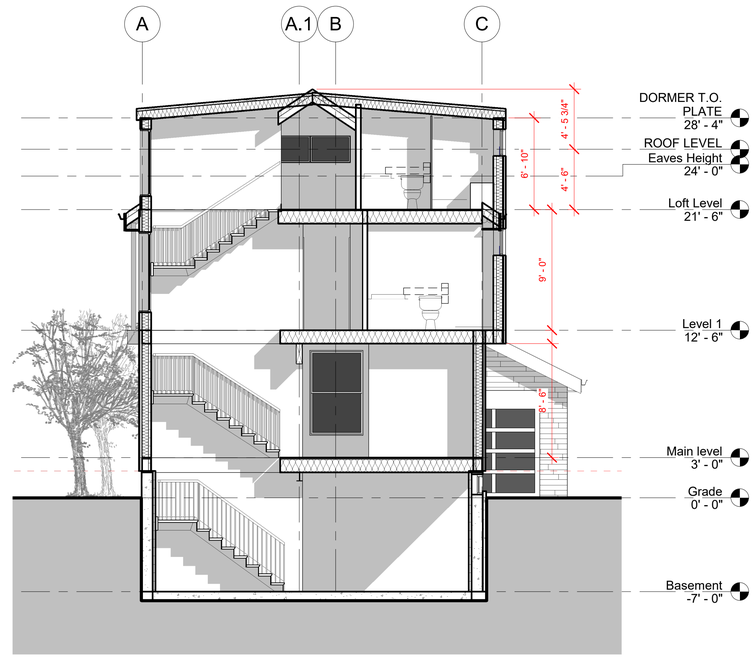
A301



Short Section Through Stairs

SCALE: 3/16" = 1'-0"

2



Short Section

SCALE: 3/16" = 1'-0"

1

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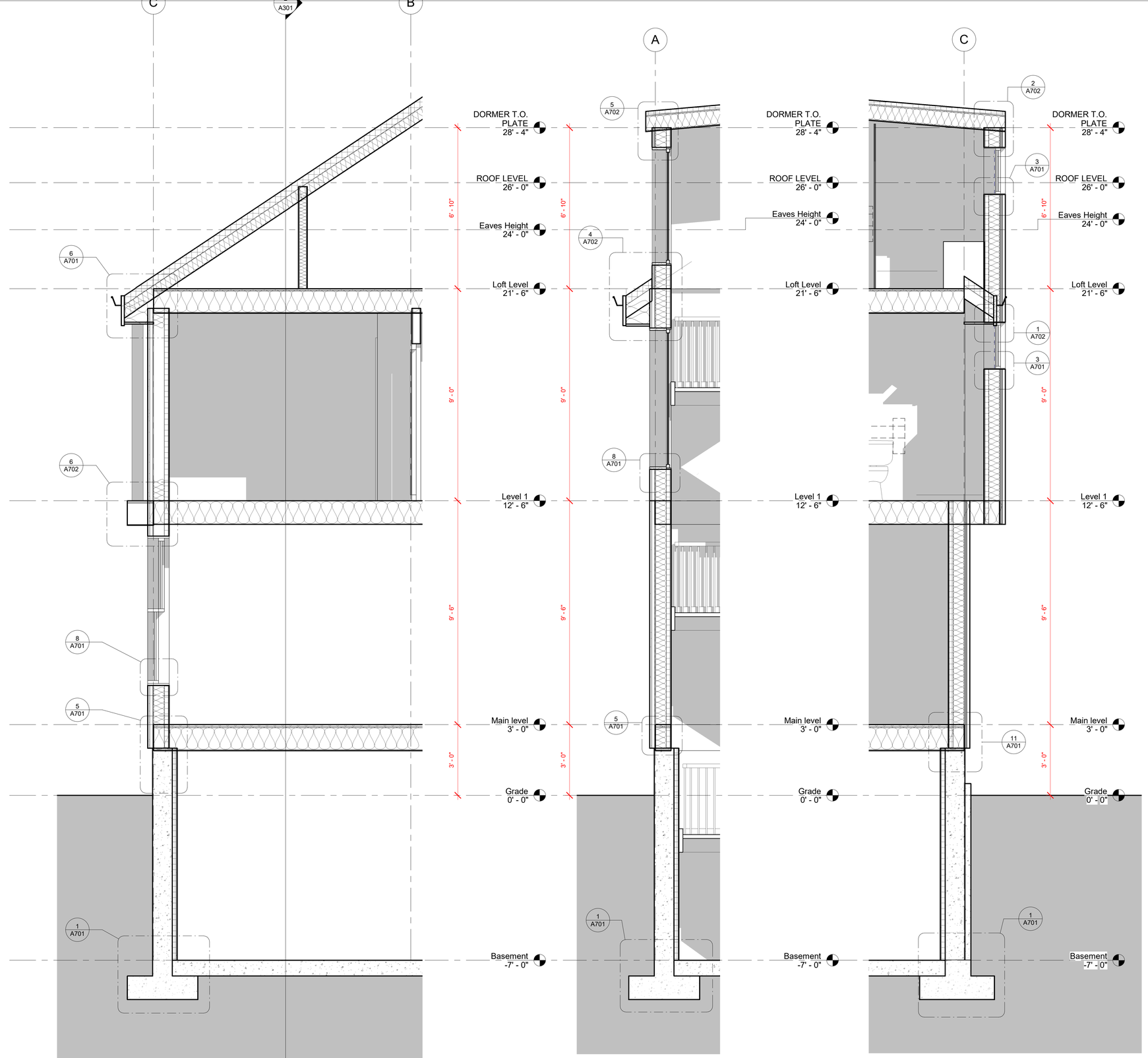
Sections

A302



Wall Section 3

SCALE: 1/2" = 1'-0"

3

Wall Section 2

SCALE: 1/2" = 1'-0"

2

Wall Section 1

SCALE: 1/2" = 1'-0"

1

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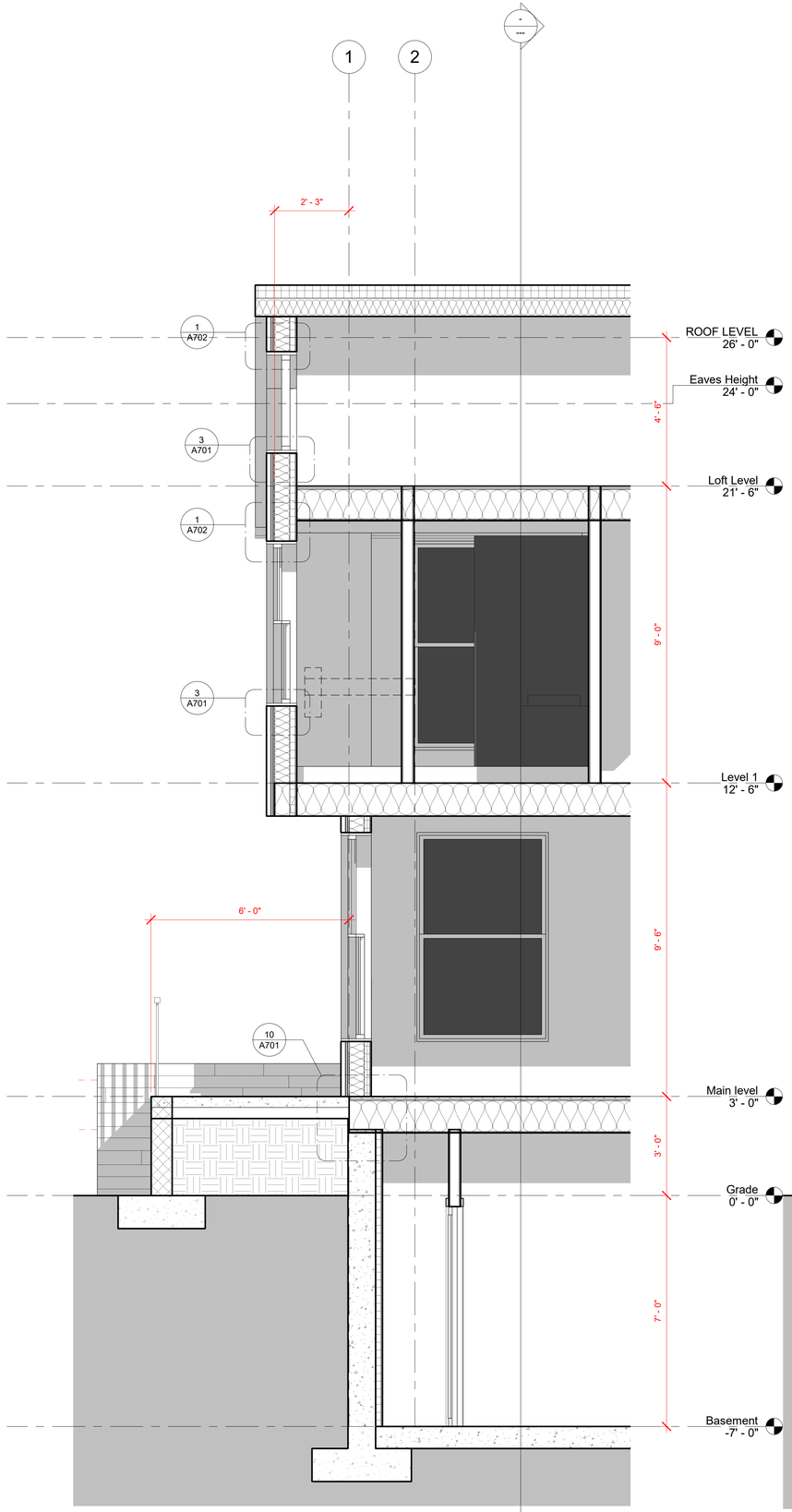
Wall Sections

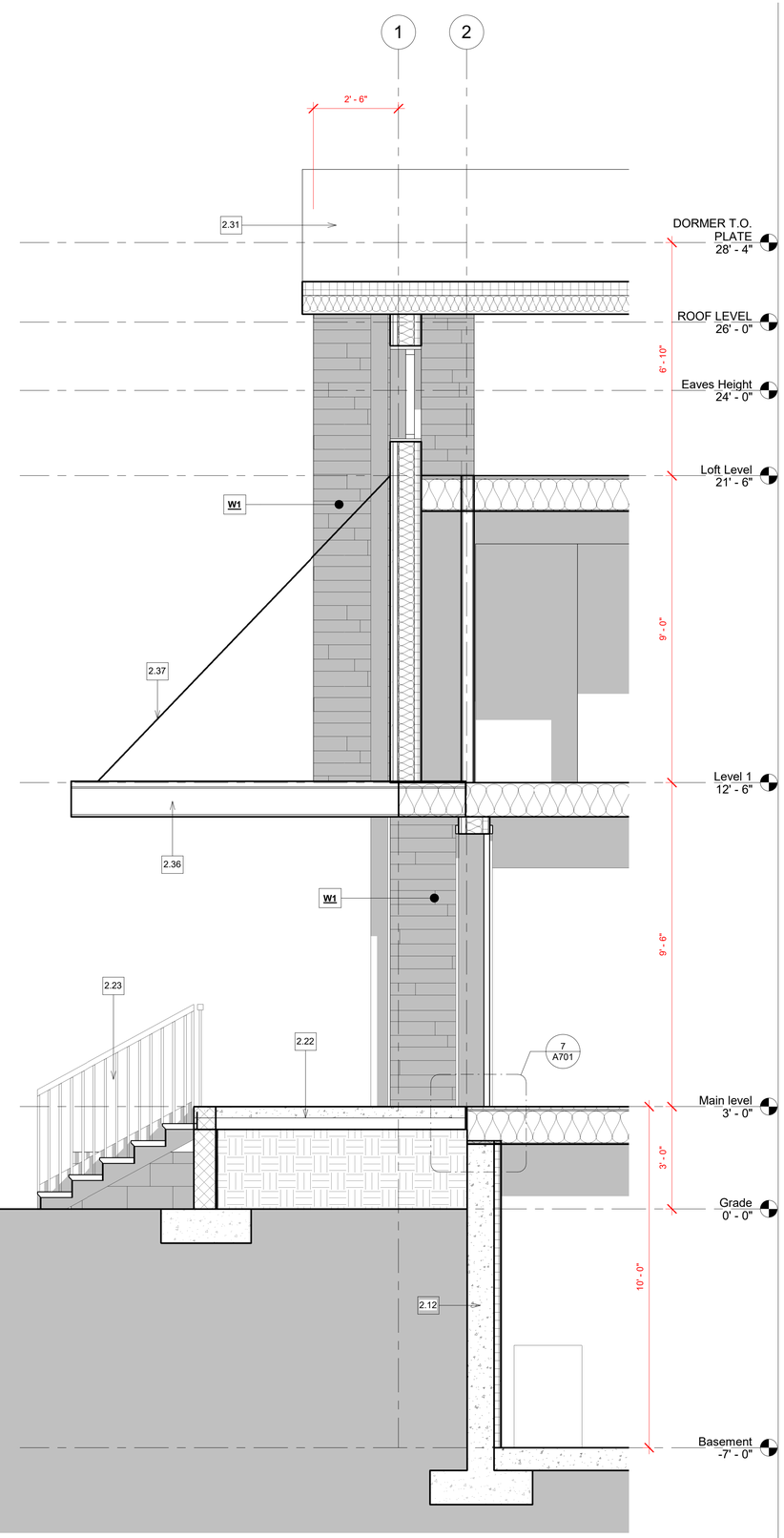
A310



Wall Section 6

SCALE: 1/2" = 1'-0"

2



Wall Section 5

SCALE: 1/2" = 1'-0"

1

KEYNOTES

2.12	CAST-IN-PLACE BASEMENT CONCRETE WALL WITH DELTA-MS SUBRAGE WATERPROOFING MEMBRANE OVER BITUMEN DAMP PROOFING. SEE DETAILS 1/A701 AND 2/A701. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION.
2.22	4-INCH MINIMUM CONCRETE TOPPING SLAB OVER VAPOR BARRIER WITH 2% MINIMUM SLOPE FOR WATER DRAINAGE.
2.23	SIDE MOUNTED EXTERIOR GRADE CLEAR ANODIZED STEEL CABLE RAILING WITH LITE TOP RAIL.
2.31	STANDING SEAM METAL ROOF FINISH OVER 2 LAYERS OF #30 FELT BUILDING PAPER AND RIGID INSULATION. INSTALL PER MANUFACTURER INSTALLATION INSTRUCTIONS.
2.36	WOOD FRAMED ENTRY COVER WITH STANDING SEAM METAL ROOFING FOR LOW SLOPED ROOFS. SLOPE JOISTS AT 2% MINIMUM TO DRAIN FROM THE ROOF OPENING DOWN INTO THE PLANTER BELOW.REFER TO STRUCTURAL FOR FRAMING DETAILS.
2.37	STRUCTURAL GALVANIZED WIRE ROPE. SUPPORTS BEAM BELOW. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION.

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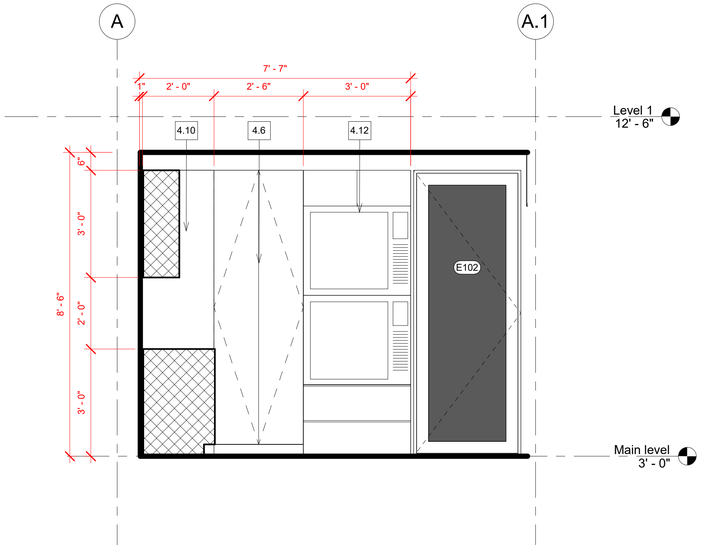
Wall Sections

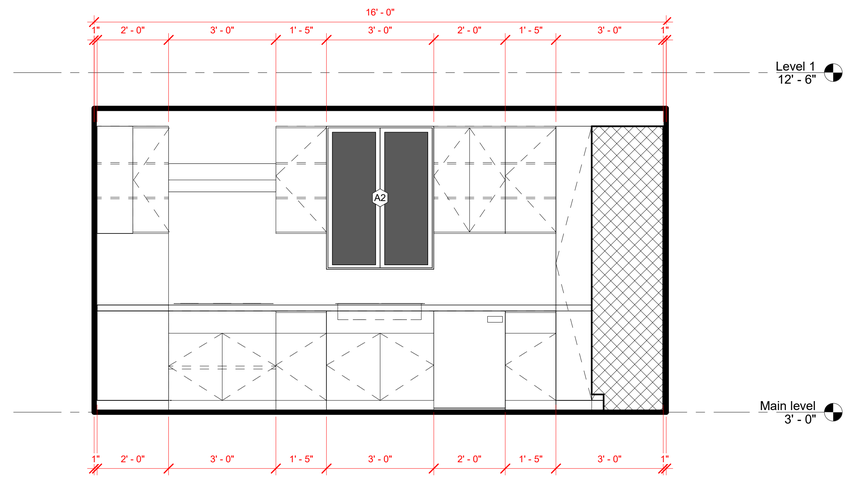
A311



Kitchen Interior Elevation B

SCALE: 1/2" = 1'-0"

3



Kitchen Interior Elevation A

SCALE: 1/2" = 1'-0"

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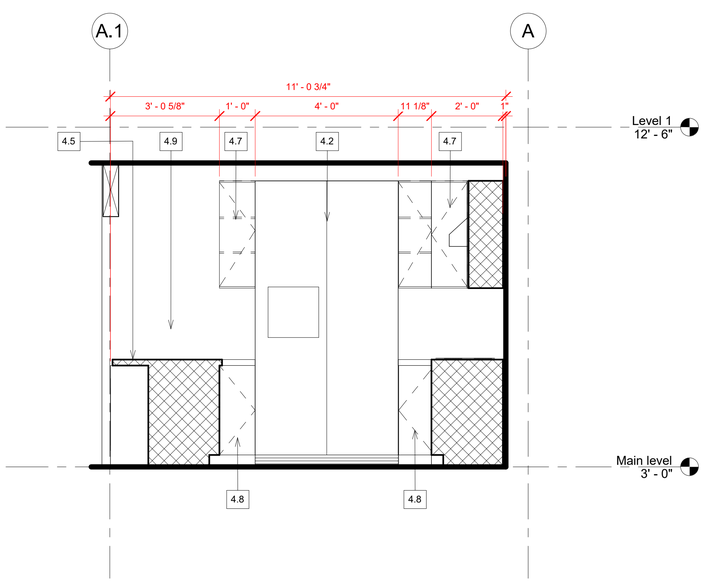

Kitchen Interior Elevation C

SCALE: 1/2" = 1'-0"

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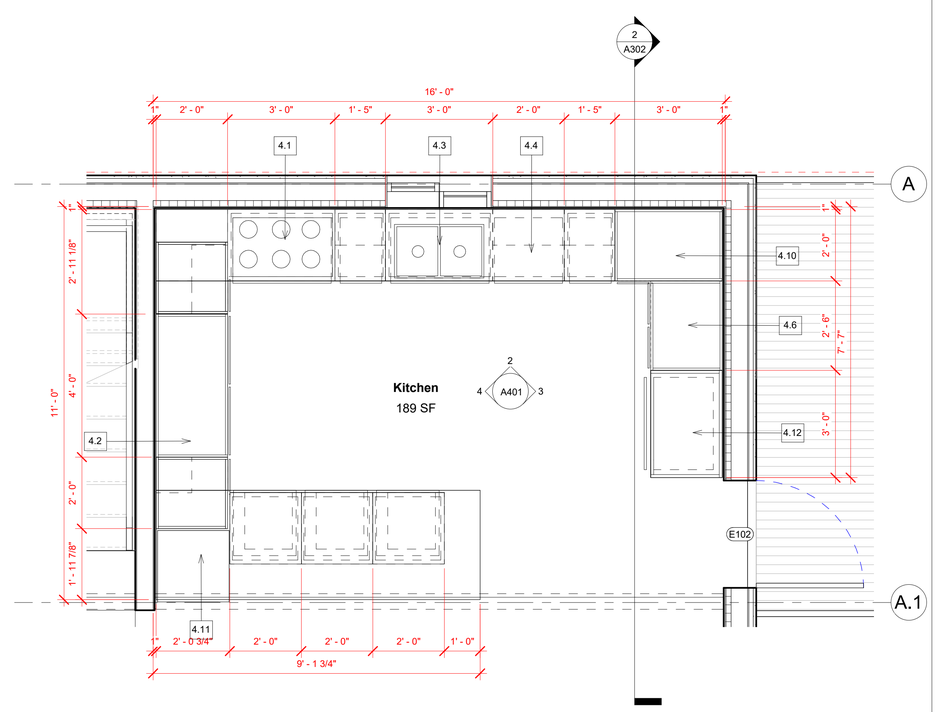

Kitchen Enlarged Plan

SCALE: 1/2" = 1'-0"

1

KEYNOTES

4.1	36" DROP IN COOKTOP UNDER AN EXHAUST HOOD VENTED TO OUTSIDE AIR ABOVE.
4.2	48" WIDE REFRIGERATOR: PROVIDE ELECTRICAL OUTLET AND COLD WATER TAP IN RECESSED WALL BOX. SEE MANUFACTURER'S SPECIFACTIONS FOR OUTLET AND WATER LOCATIONS.
4.3	36" WIDE SINK WITH GARBAGE DISPOSAL AND INSTANT HOT WATER FILTER. BASE CABINET TO INCLUDE TRASH CAN.
4.4	24" WIDE UNDERCOUNTER DISHWASHER. REFER TO INSTALLATION INSTRUCTIONS BY MANUFACTURER.
4.5	GRANITE COUNTERTOP. 36" MAX. HEIGHT TO RIM OF SINK OR COUNTERTOP WITH FULL HEIGHT TILE SPLASH.
4.6	FULL HEIGHT PANTRY WITH 24" MAX. DEPTH.
4.7	UPPER CABINET WITH UNDER-CABINET STRIP LED LIGHTS
4.8	LOWER CABINET WITH LED TOE KICK LIGHTS
4.9	TILE BACKSPLASH. FULL HEIGHT WITH STAINLESS STEEL SCHLUTER METAL TRIM STRIP AT ALL EXPOSED EDGES.
4.10	FULL HEIGHT CORNER PANTRY.
4.11	24" WIDE UNDERCOUNTER BOTTLE REFRIGERATOR. PROVIDE ELECTRICAL OUTLET. SEE MANUFACTURER'S SPECIFICATIONS FOR OUTLET LOCATION.
4.12	36" WIDE SLIDE IN WALL OVEN WITH MICROWAVE AND EXHAUST HOOD ABOVE VENTED TO OUTSIDE AIR.

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HOUSE 1587

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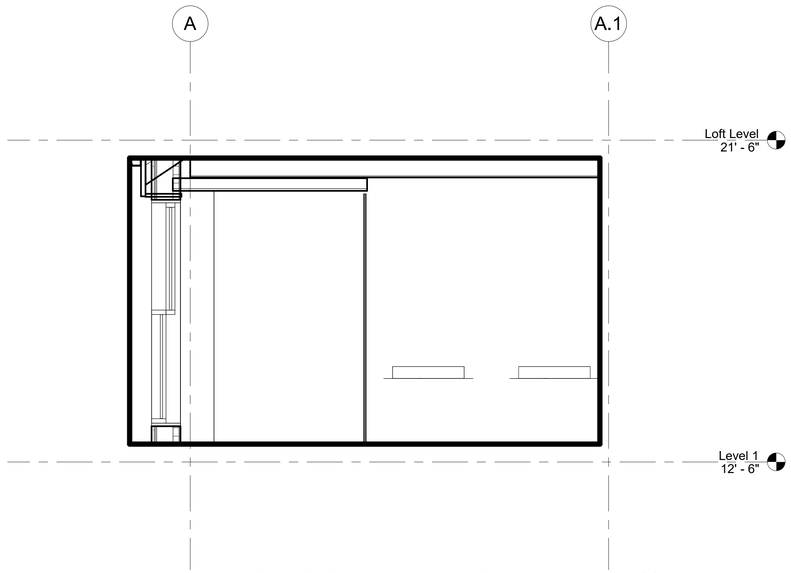
REVISIONS

1/16/2022	MEW CONSTRUCTION PERMIT SET SUBMITTAL

Kitchen Enlarged Plans

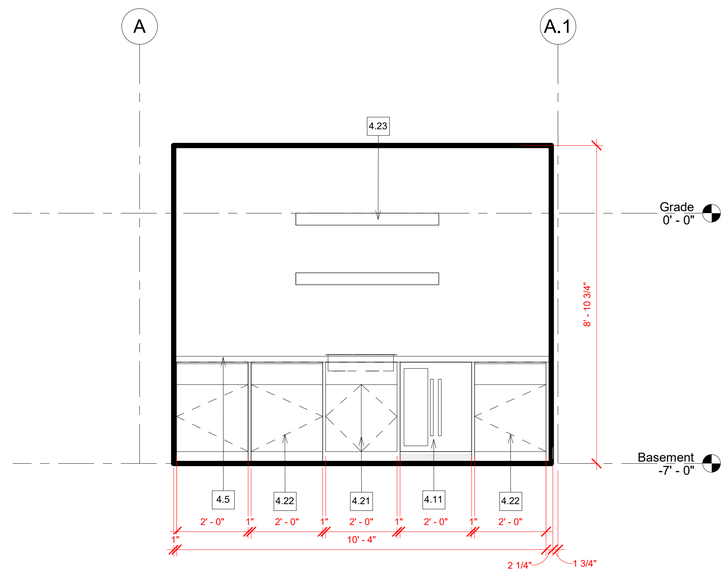
A401



Master Bathroom Elevation

SCALE: 1/2" = 1'-0"

4



Basement Kitchen Interior Elevation

SCALE: 1/2" = 1'-0"

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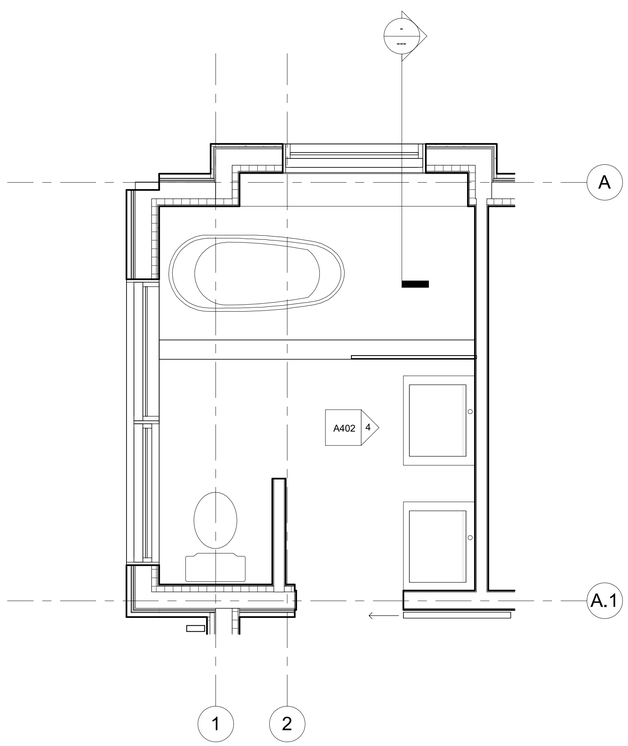
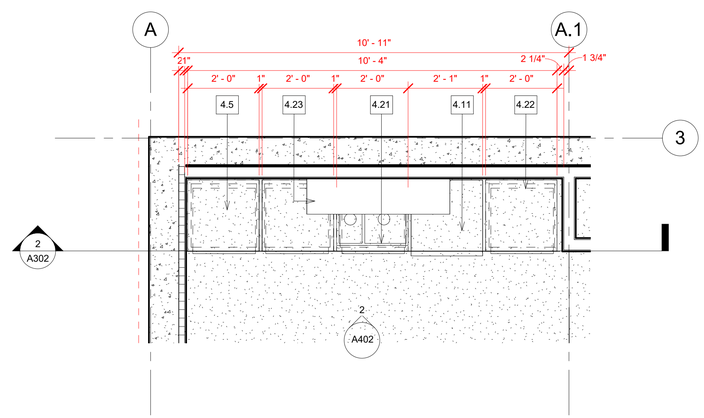


Master Bathroom Enlarged Plan

SCALE: 1/2" = 1'-0"

3



Basement Kitchen Enlarged Plan

SCALE: 1/2" = 1'-0"

1

KEYNOTES

4.5	GRANITE COUNTERTOP. 36" MAX. HEIGHT TO RIM OF SINK OR COUNTERTOP WITH FULL HEIGHT TILE SPLASH.
4.11	24" WIDE UNDERCOUNTER BOTTLE REFRIGERATOR. PROVIDE ELECTRICAL OUTLET. SEE MANUFACTURER'S SPECIFICATIONS FOR OUTLET LOCATION.
4.21	24" WIDE SINK WITH GARBAGE DISPOSAL AND INSTANT HOT WATER FILTER. BASE CABINET TO INCLUDE TRASH CAN.
4.22	LOWER CABINET WITH NO LED TOE KICK LIGHTS
4.23	WALL FLOATING SHELF PROVIDE WOOD BLOCKING INSIDE WALL WHERE IT OCCURS AND INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

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Master Bathroom Enlarged Plans

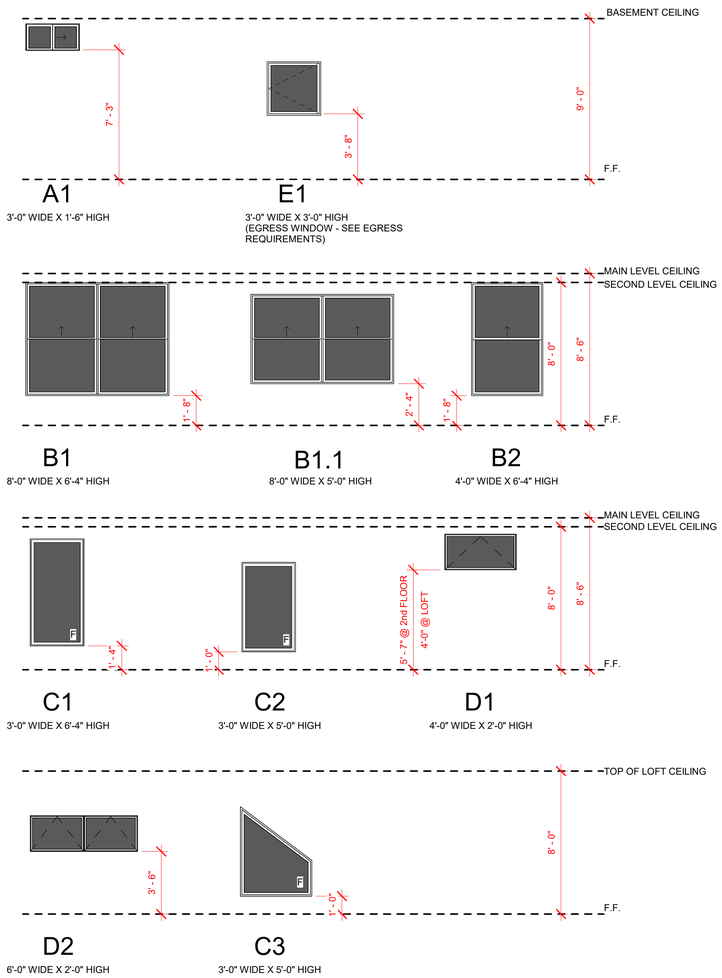
A402

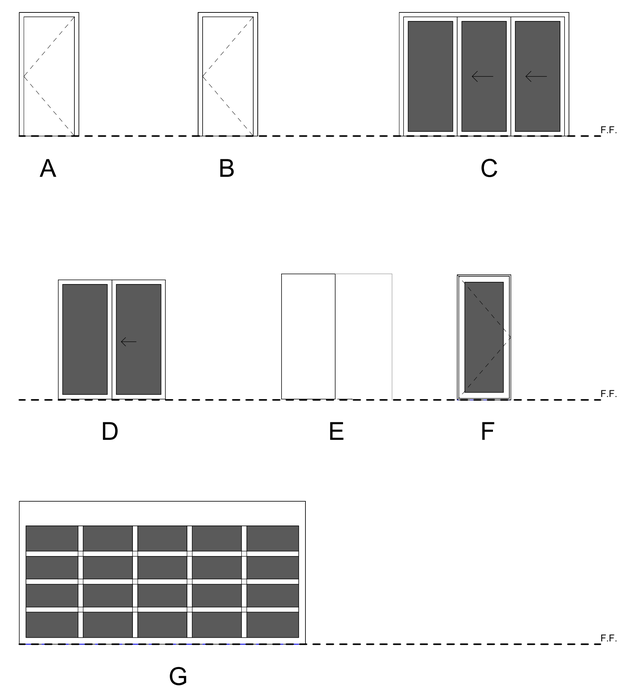
WINDOW SCHEDULE

Type Mark	Width	Height	Sill Height	MATERIAL	COLOR	GLASS	Type Comments
Basement							
A1	3' - 0"	1' - 6"	7' - 3"				
E1	3' - 0"	3' - 0"	3' - 8"				
Main level							
A2	3' - 0"	4' - 0"	4' - 0"				
B1	8' - 0"	6' - 4"	1' - 8"				
B2	4' - 0"	6' - 4"	1' - 8"				
Level 1							
B1.1	8' - 0"	5' - 0"	2' - 4"				
B2	4' - 0"	6' - 4"	1' - 0"				
C1	3' - 0"	6' - 0"	1' - 4"				
D1	4' - 0"	2' - 0"	5' - 7"				
Loft Level							
C2	3' - 0"	5' - 0"	1' - 0"				
C3	4' - 0"	5' - 0"	1' - 0"				
D1	4' - 0"	2' - 0"	4' - 0"				
D2	6' - 0"	2' - 0"	3' - 6"				

DOOR SCHEDULE

Mark	Type Mark	Width	Height	Frame Material	Finish	Function
Basement						
I101	B	2' - 10"	6' - 8"			Interior
I103	C	9' - 0"	6' - 8"			Interior
Grade						
E103	B	3' - 0"	6' - 8"			Exterior
E104	G	16' - 0"	8' - 0"			Exterior
Main level						
E101	A	4' - 0"	8' - 0"			Exterior
E102	F	3' - 0"	8' - 0"			Exterior
I101	B	2' - 10"	6' - 8"			Interior
Level 1						
I101	B	2' - 10"	6' - 8"			Interior
I102	E	3' - 0"	7' - 0"			Interior
I104	E	3' - 0"	7' - 0"			Interior
I105	C	9' - 0"	6' - 8"			Interior
I106	D	6' - 0"	6' - 8"			Interior
Loft Level						
I101	B	2' - 10"	6' - 8"			Interior





ABBREVIATIONS

AL	ALUMINUM
CL	SELF CLOSER
GL	GLASS
FACT	FACTORY FINISH
HC	HOLLOW CORE
HM	HOLLOW METAL
LV	LOW VOLTAGE CONNECTION
PH	PANIC HARDWARE
PL	PAD LOCK W/KEY
PTD	PAINTED
MAN	MANUAL OPEN
MH	MAGNETIC HOLD OPEN
MTL ADJ	METAL ADJUSTABLE
MFR	PER MANUFACTURER
SC	SOLID CORE
SS	STAINLESS STEEL
STAINED	FACTORY APPLIED
ST	STEEL
TEMP GL	TEMPERED GLAZING
WD	WOOD
FG	FIBERGLASS

NOTES

1) ALL DOOR ARE 1 3/4" THICK AND UNDERCUT 5/8" UNLESS NOTED OTHERWISE.

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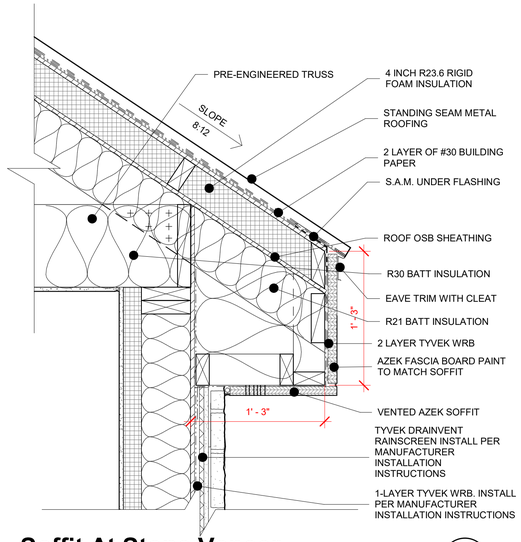
Door & Window Schedules

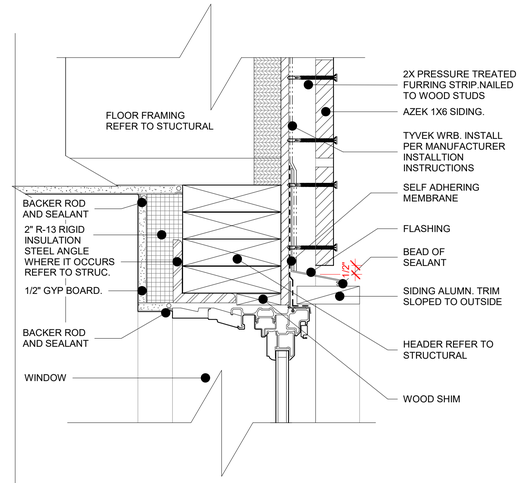
A601



Soffit At Stone Veneer

SCALE: 1 1/2" = 1'-0"

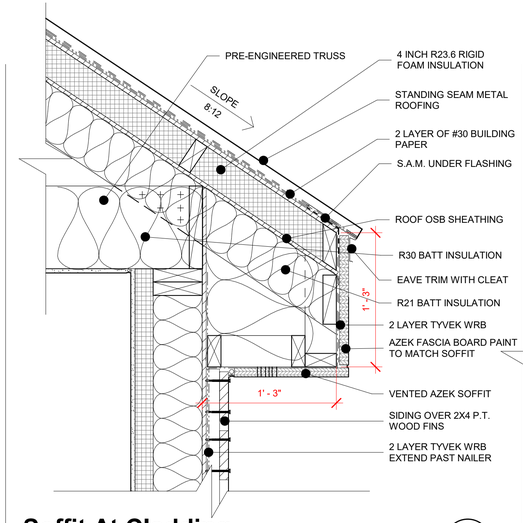
12



Window Head @ Cladding

SCALE: 3" = 1'-0"

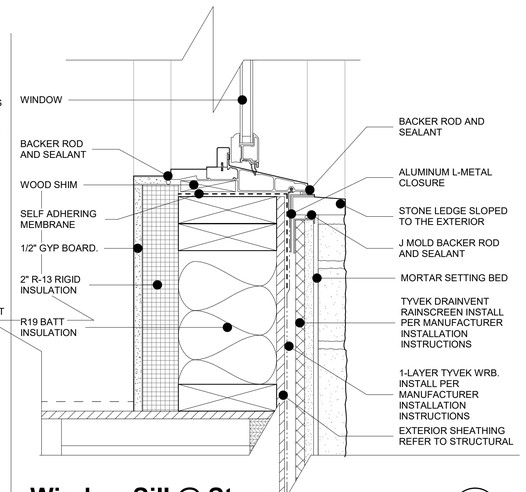
9



Soffit At Cladding

SCALE: 1 1/2" = 1'-0"

6



Window Sill @ Stucco

SCALE: 3" = 1'-0"

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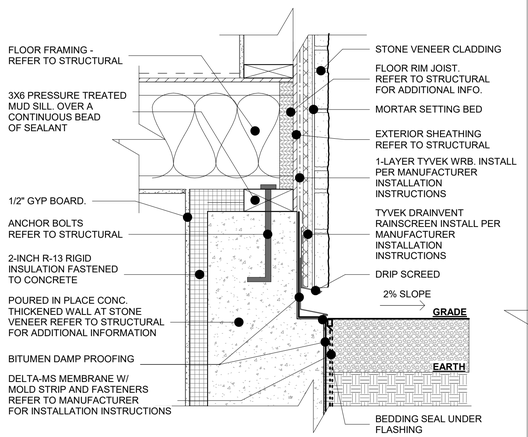
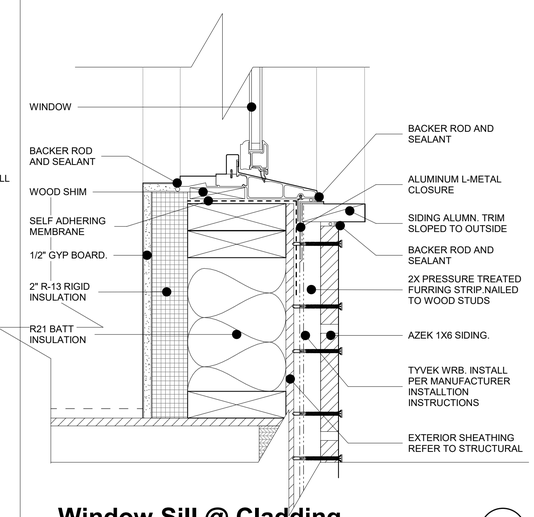


At Grade Stone Veneer

SCALE: 1 1/2" = 1'-0"

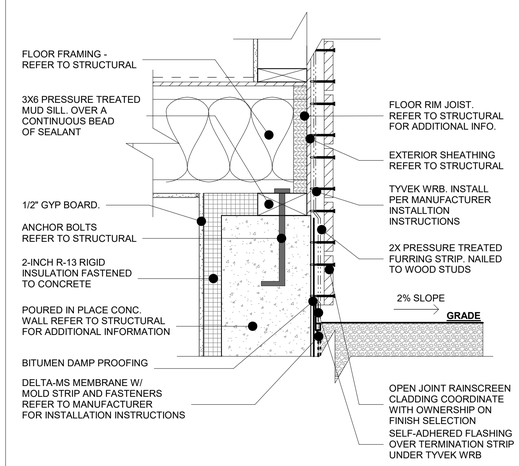
11



Window Sill @ Cladding

SCALE: 3" = 1'-0"

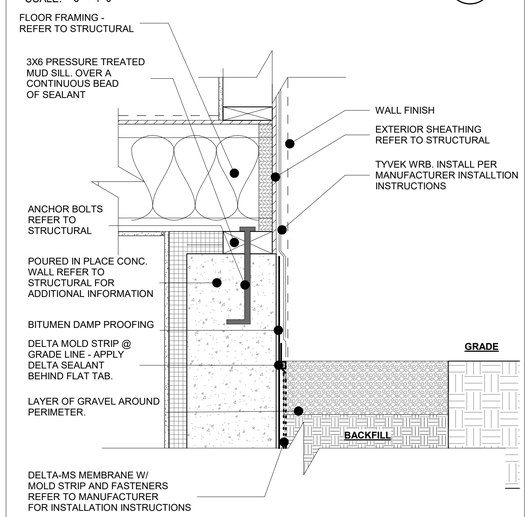
8



At Grade Cladding

SCALE: 1 1/2" = 1'-0"

5



At Grade Waterproofing

SCALE: 1 1/2" = 1'-0"

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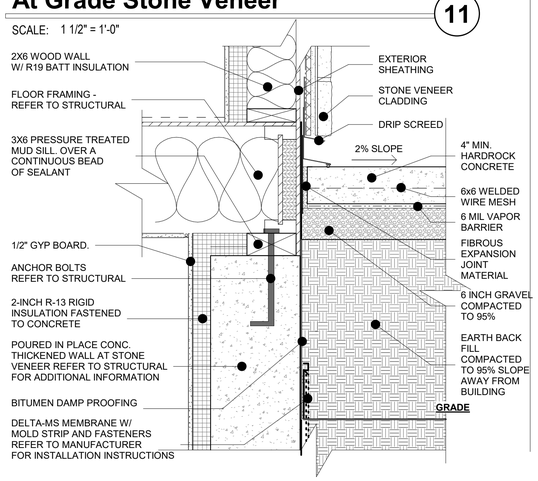
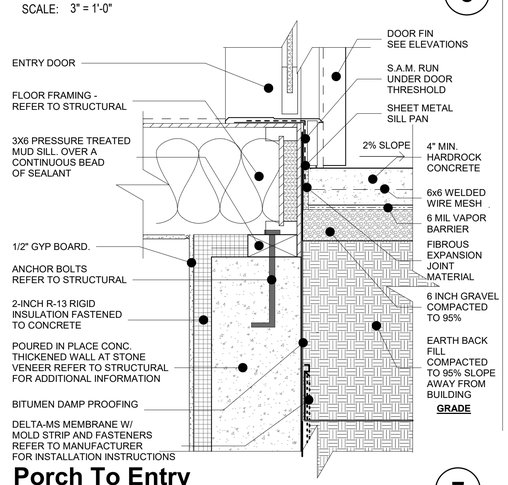


Stone veneer at Front Porch

SCALE: 1 1/2" = 1'-0"

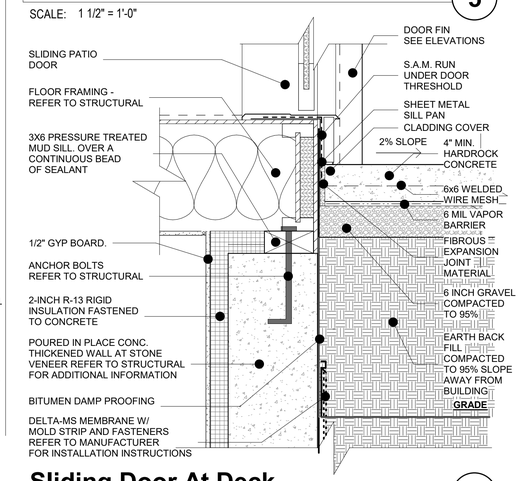
10



Porch To Entry

SCALE: 1 1/2" = 1'-0"

7



Sliding Door At Deck

SCALE: 1 1/2" = 1'-0"

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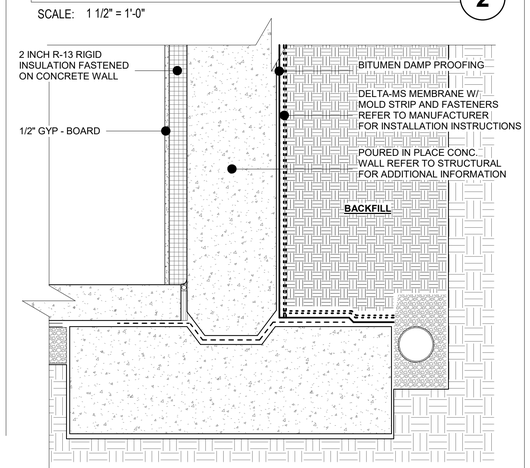

Below Grade Waterproofing

SCALE: 1 1/2" = 1'-0"

1

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HOUSE 1587

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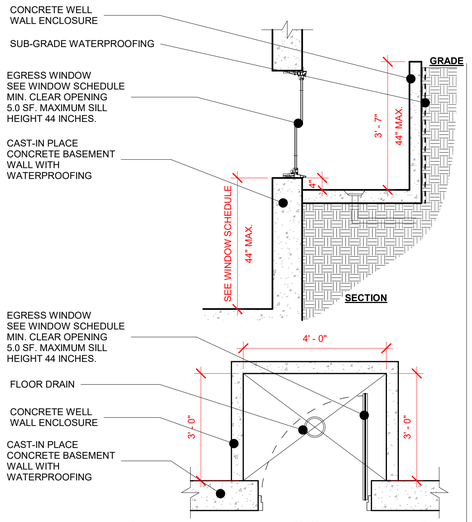
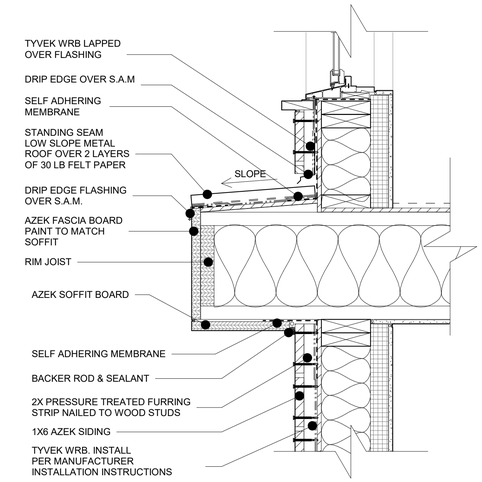
Details

A701



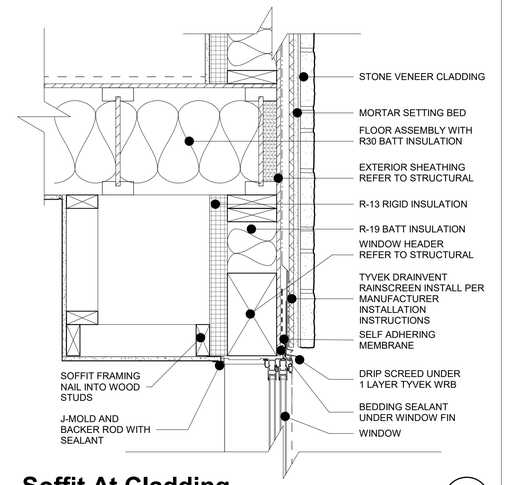
Emergency Rescue Window 10

SCALE: 1/2" = 1'-0"



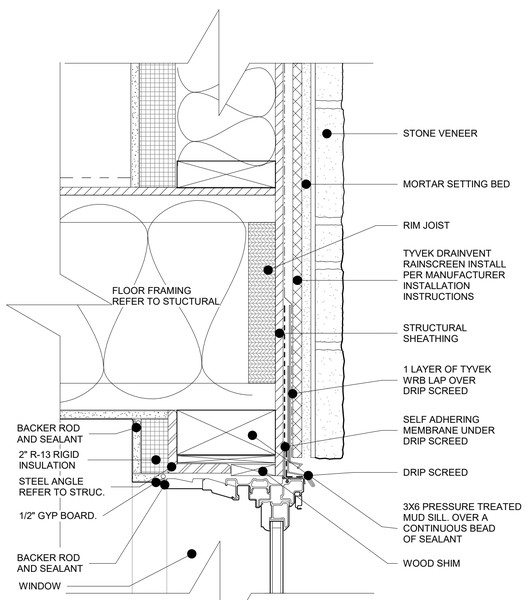
Window Exterior Ledge 6

SCALE: 1 1/2" = 1'-0"



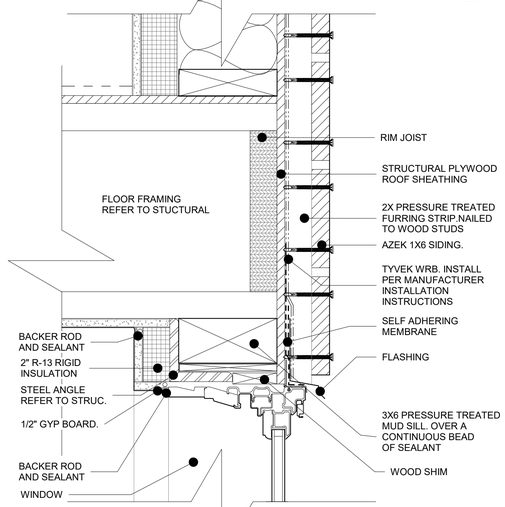
Soffit At Cladding 3

SCALE: 1 1/2" = 1'-0"



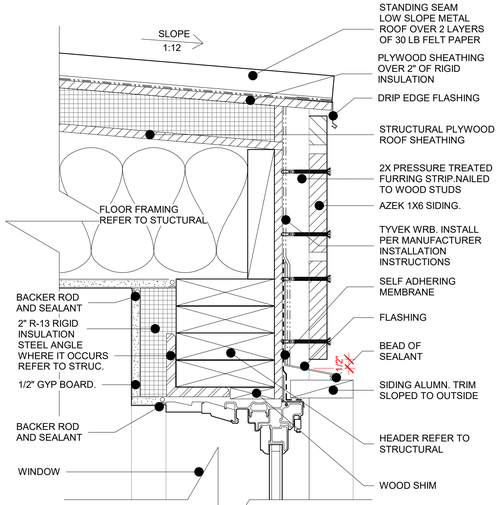
Window Head @ Stone Veneer 11

SCALE: 3" = 1'-0"



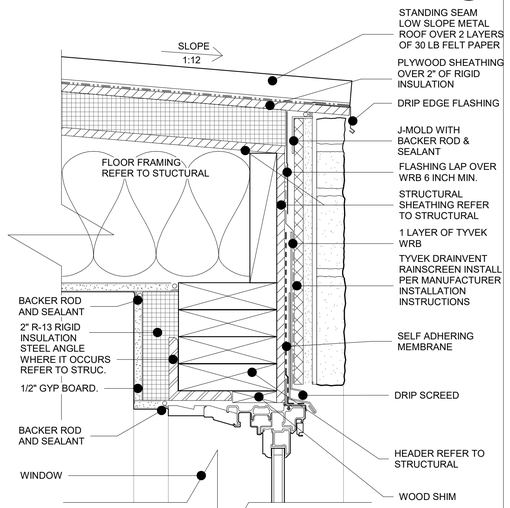
Window Head @ Cladding 8

SCALE: 3" = 1'-0"



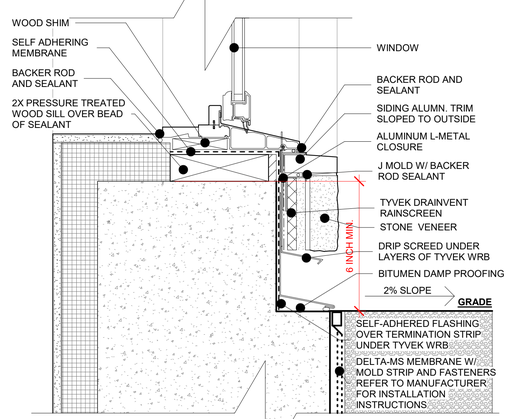
Window Head @ Cladding 5

SCALE: 3" = 1'-0"



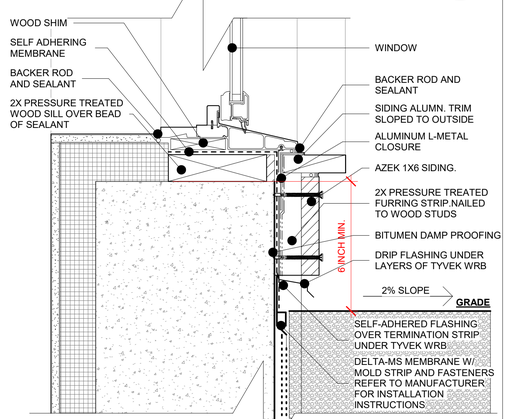
Window Head @ Stone Veneer 2

SCALE: 3" = 1'-0"



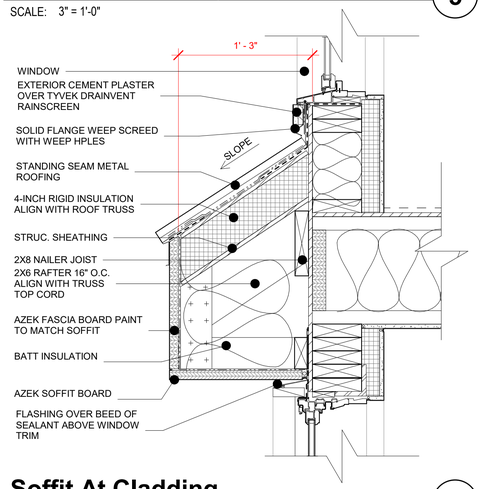
Window Sill @ Stone Veneer 9

SCALE: 3" = 1'-0"



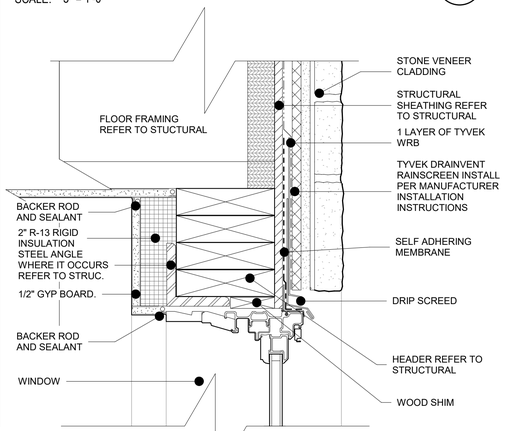
Window Sill @ Cladding 7

SCALE: 3" = 1'-0"



Soffit At Cladding 4

SCALE: 1 1/2" = 1'-0"



Window Head @ Stone Veneer 1

SCALE: 3" = 1'-0"

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HOUSE 1587

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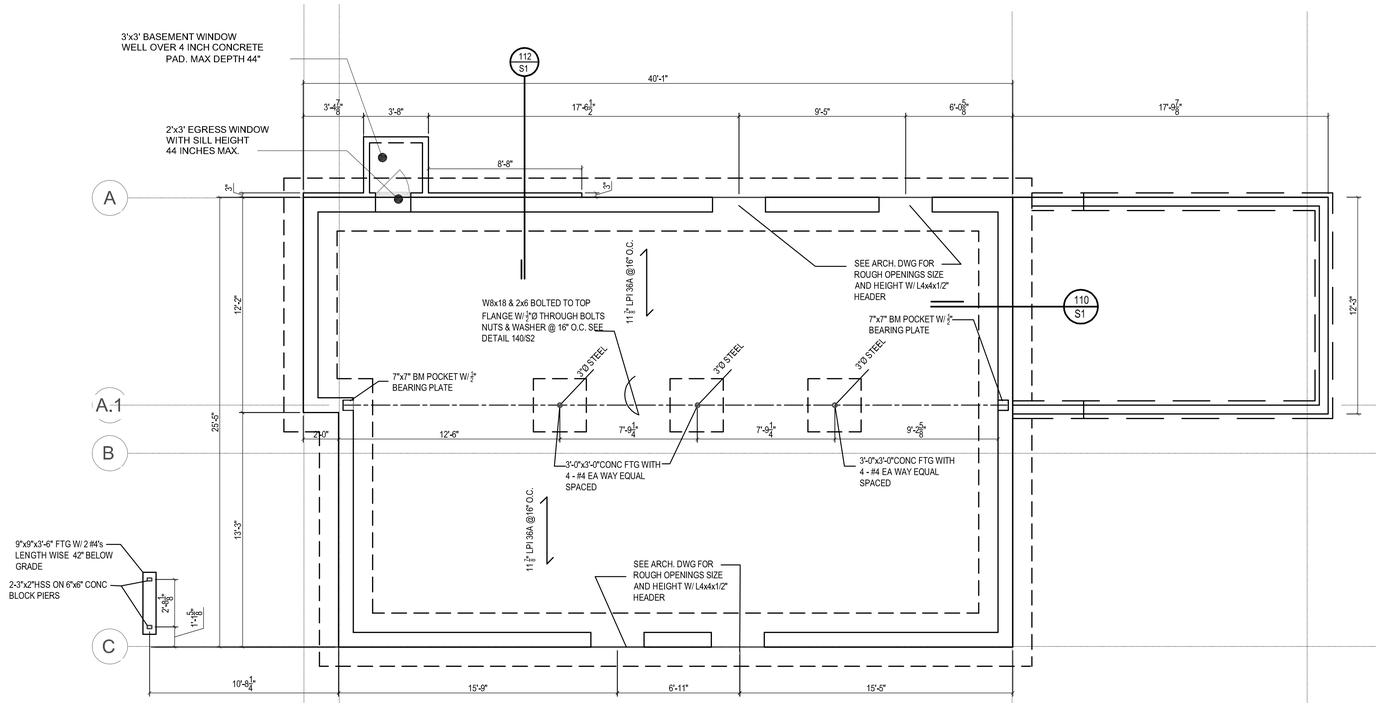
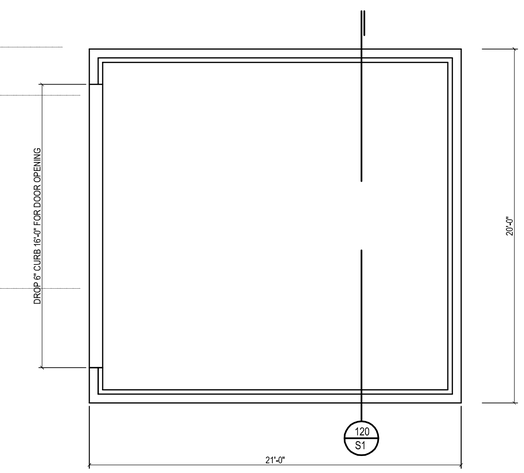
Details

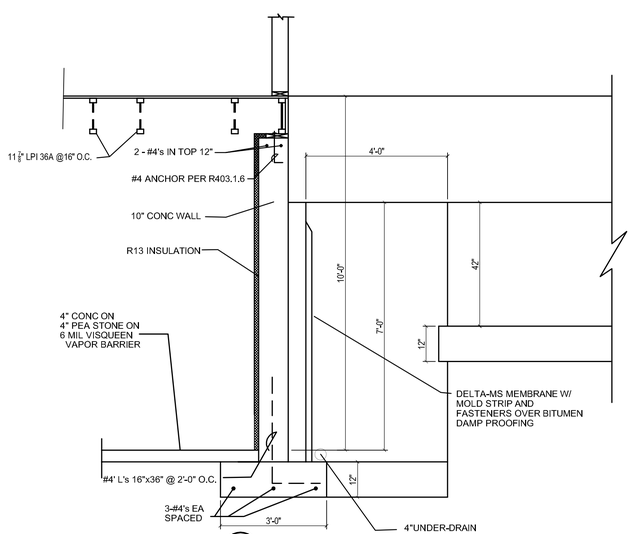
A702



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"





110 S1 SECTION
SCALE: 3/4"=1'-0"

GENERAL NOTES:

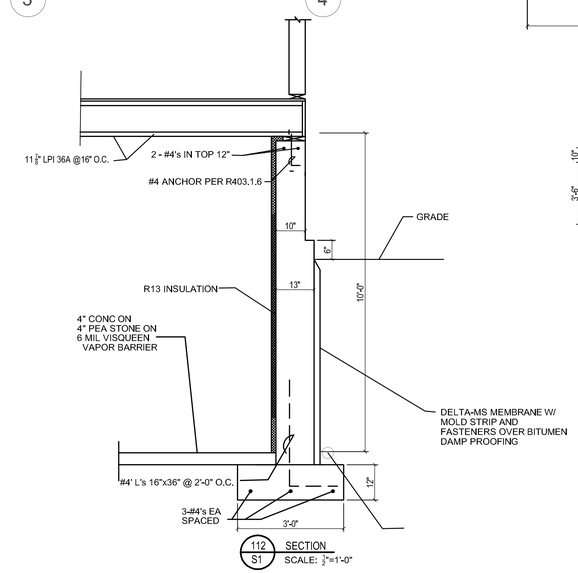
USAGE USE: SINGLE FAMILY RESIDENTIAL (R1B)
CONSTRUCTION : 5B

REVIEW UNDER MICHIGAN RESIDENTIAL CODE - 2015 (www.michigan.gov/bccfs)

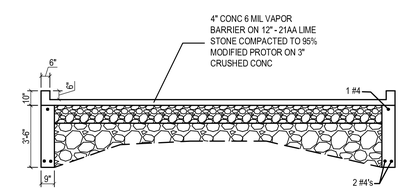
DESIGN CRITERIA

FLOOR LOADING
SLEEPING ROOM - LIVE LOAD = 30 PSF, DEAD LOAD = 15 PSF, TOTAL LOAD = 50 PSF
ALL OTHER ROOMS - LIVE LOAD = 40 PSF, DEAD LOAD = 15 PSF, TOTAL LOAD = 65 PSF
DEFLECTION = L/600
WIND LOADS = 110 MPH
SNOW LOADS = 25 PSF
SOIL CAPACITY = 2000 PSF SOIL TESTING SEE McDOWELL & ASSOCIATES REPORT

CODE NOTES: MRC - 2015	REFER TO SECTION
FIRE RESISTANCE CONSTRUCTION:	R302
FIRE AND DRAFT STOPS:	R302.11 AND R302.12
GLAZING:	R308
EMERGENCY ESCAPE:	R310
MEANS OF EGRESS:	R311
HAND RAILS:	R311.78 AND R311.83
GUARD RAILS:	R312
SMOKE ALARM:	R314
CUTTING, NOTCHING AND DRILLING OF STRUCTURAL MEMBERS:	R502.8, R602.6 AND R802.7



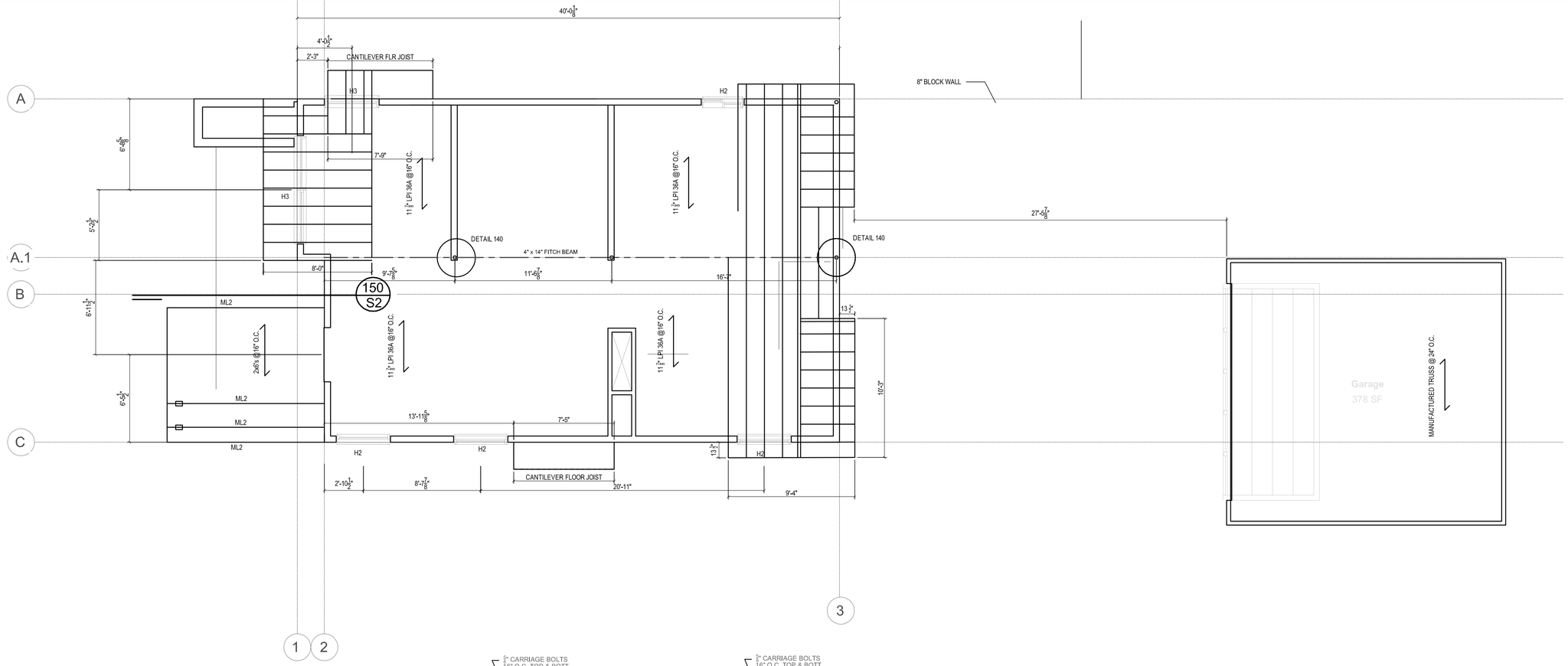
112 S1 SECTION
SCALE: 3/4"=1'-0"

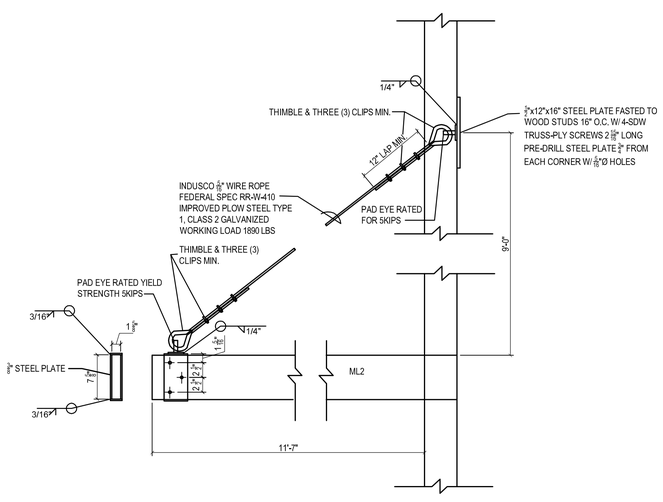


120 S1 SECTION
SCALE: 3/4" = 1'-0"

Creativedrop	10.14.2022 Revised 10.07.2022 Revised 08.17.2022 Bldg Dept Review DATE: ISSUED FOR	LAWRENCE CONSULTING ENGINEERS 32300 North River Rd 586.246.9810 HARRISON TWP., MICHIGAN 48045

FOUNDATION PLAN 1587 Bates St. Brimingham, MI 48009	0.2203 S1





DETAIL 150

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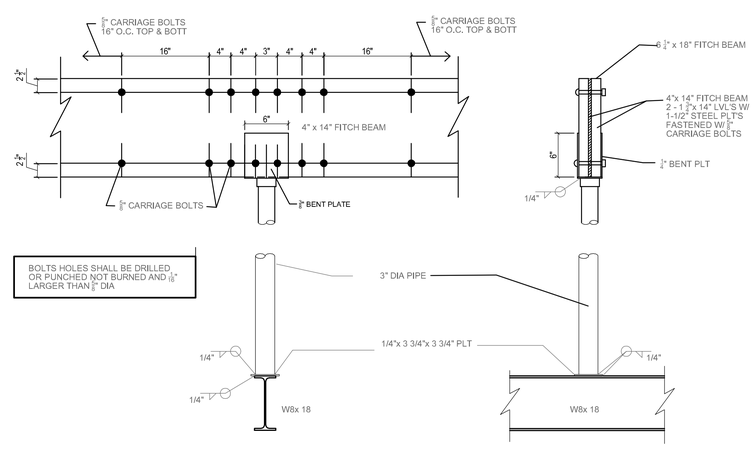


DETAIL 140

N.T.S.

Creativedrop	11.15.2022 Revised 11.09.2022 Revised 10.27.2022 Revised 10.14.2022 Revised 10.07.2022 Revised 08.17.2022 Bldg Dept Review DATE: ISSUED FOR	

LAWRENCE CONSULTING ENGINEERS
32300 North River Rd 586.246.9810
HARRISON TWP., MICHIGAN 48045

SECOND FLOOR PLAN 1587 Bates St. Brimingham, MI 48009	0.2203 S2

CONCRETE NOTES:

1. ALL CONCRETE WORK AND PLACEMENT SHALL CONFORM TO THE LATEST ACE STANDARDS AND RECOMMENDATIONS.
2. ALL CONCRETE SHALL BE A SIX (6) BAG MIX
3. ALL CONCRETE SHALL ATTAIN THE FOLLOWING 28 DAY COMPRESSIVE STRENGTHS FOOTINGS, PIERS, FOUNDATION WALLS, 3500 PSI
   INTERIOR SLAB ON GRADE, 3500 PSI
   EXPOSED CONCRETE PATIOS, DRIVEWAYS AND SIDEWALKS 3500 PSI WITH 5 TO 7% AIR-ENTRAMENT
   GARAGE FLOOR 3500 PSI WITH 5 TO 7% AIR-ENTRAINMENT
4. ALL CONCRETE SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C150 AND AGGREGATE CONFORMING TO ASTM C33.
5. ALL REINFORCING BARS, DOWELS AND TIES SHALL CONFORM TO ASTM 615 GRADE 60. ALL REINFORCEMENT SHALL BE CONTINUOUS.
6. ALL REINFORCING STEEL SHALL BE FABRICATED AND PLACED IN ACCORDANCE WITH ACI 315 AND ACI 318 LATEST ADDITION.
7. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 FURNISHED IN FLAT MATS OR SHEETS NOT IN ROLLS. PROVIDE A MINIMUM OF 8" LAPS BETWEEN SHEETS.
8. REINFORCING SPLICES SHALL BE IN ACCORDANCE WITH ACI 318-95 SECTIONS 12:15 AND 121:16. PROVIDE CLASS B SPLICES FOR VERTICAL AND HORIZONTAL WALL STEEL AND LONGITUDINAL AND TRANSVERSE FOOTING STEEL. PROVIDE CORNER BARS TO MATCH ALL HORIZONTAL STEEL IN FOOTINGS.
9. REINFORCING WALLS AND TRENCH FOOTINGS SHALL HAVE CORNER BARS AT ALL INTERSECTIONS OF THE SAME SIZE AND SPACING OF THE MAIN HORIZONTAL REINFORCING. PROVIDE TO #5 BARS ON EACH SIDE OF ALL OPENINGS AND 2 - #5's DIAGONAL BARS ON ALL CORNERS OF EACH OPENING.
10. PROVIDE DOWELS BETWEEN FOOTINGS WALLS AND PIERS TO MATCH SIZE AND SPACING OF THE VERTICAL REINFORCEMENT.

FOUNDATION NOTES:

1. *FOOTINGS ARE DESIGNED TO BEAR ON NATURAL MATERIAL WITH AN ALLOWABLE BEARING CAPACITY OF 2000 PSF. (CONTRACTOR SHALL FOLLOW THE RECOMMENDED EARTHWORK OPERATIONS 5.2 AND FOUNDATION RECOMMENDATIONS 5.3 OF McDOWELL & ASSOCIATES GEOTECHNICAL REPORT NUMBER 57703).*
2. *ALL SLABS SHALL BEAR ON CLEAN GRANULAR SOIL COMPACTED IN PLACE TO A MINIMUM OF 95% MODIFIED PROCTOR.*
3. *WHERE NEW FOOTINGS ARE ADJACENT TO EXISTING FOUNDATIONS PLACE THE BOTTOM OF THE NEW FOOTING AT THE SAME ELEVATION OF THE EXISTING.*
4. *PROVIDE NECESSARY SHORING, SHEETING AND BRACING ETC. AS REQUIRED DURING EXCAVATIONS TO PROTECT SIDES OF EXCAVATION.*
5. *SEE MECHANICAL, ELECTRICAL AND ARCHITECTURAL DRAWINGS PIPE SLEEVE, CONDUIT, HANDRAIL INSERTS, EMBEDDED ITEMS PRIOR TO CONSTRUCTION OF FOUNDATION.*
6. *THE BOTTOM OF EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 3.5 FEET BELOW FINISH GRADE.*
7. *CONCRETE FOR FOOTINGS AND GRADE BEAM MAY BE PLACED AT CONTRACTORS OPTION INTO UNIFORM TRENCHES. IT IS THE CONTRACTORS RESPONSIBILITY TO MINIMIZE SLOUGHING OF SIDE WALLS. WHERE SLOUGHING OCCURS REMOVE SLOUGHED SOIL AND/OR OVER EXCAVATE. CUT TRENCH FOOTING SIDES IN VERTICAL MANOR DO NOT ALLOW TO "MUSHROOM" OUT NEAR THE TOP.*
8. *UNDERGROUND UTILITIES OR PIPES SHALL NOT BE PLACED BELOW FOOTINGS. IF ANY SUCH CONDITION OCCURS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND DROP THE BOTTOM OF THE FOOTINGS TO CLEAR THE BOTTOM OF THE PIPE..*
   CONCRETE PATIOS, DRIVEWAYS AND SIDEWALKS 3500 PSI WITH 5 TO 7% AIR-ENTRAMENT
   GARAGE FLOOR 3500 PSI WITH 5 TO 7% AIR-ENTRAINMENT
9. *ALL CONCRETE SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C150 AND AGGREGATE CONFORMING TO ASTM C33.*
10. *ALL REINFORCING BARS, DOWELS AND TIES SHALL CONFORM TO ASTM 615 GRADE 60. ALL REINFORCEMENT SHALL BE CONTINUOUS.*
11. *ALL REINFORCING STEEL SHALL BE FABRICATED AND PLACED IN ACCORDANCE WITH ACI 315 AND ACI 318 LATEST ADDITION.*
12. *ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 FURNISHED IN FLAT MATS OR SHEETS NOT IN ROLLS. PROVIDE A MINIMUM OF 8" LAPS BETWEEN SHEETS.*
13. *REINFORCING SPLICES SHALL BE IN ACCORDANCE WITH ACI 318-95 SECTIONS 12:15 AND 121:16. PROVIDE CLASS B SPLICES FOR VERTICAL AND HORIZONTAL WALL STEEL AND LONGITUDINAL AND TRANSVERSE FOOTING STEEL. PROVIDE CORNER BARS TO MATCH ALL HORIZONTAL STEEL IN FOOTINGS.*
14. *REINFORCING WALLS AND TRENCH FOOTINGS SHALL HAVE CORNER BARS AT ALL INTERSECTIONS OF THE SAME SIZE AND SPACING OF THE MAIN HORIZONTAL REINFORCING. PROVIDE TO #5 BARS ON EACH SIDE OF ALL OPENINGS AND 2 - #5's DIAGONAL BARS ON ALL CORNERS OF EACH OPENING.*
15. *PROVIDE DOWELS BETWEEN FOOTINGS WALLS AND PIERS TO MATCH SIZE AND SPACING OF THE VERTICAL REINFORCEMENT.*

STRUCTURAL STEEL NOTES

1. STEEL DESIGN, FABRICATION, AND ERECTION TO BE IN ACCORDANCE WITH THE CURRENT AISC SPECIFICATIONS MANUAL OF STEEL CONSTRUCTION.
2. ALL STRUCTURAL STEEL SHALL CONFORM TO THE CURRENT ASTM DESIGNATION A992, GRADE 50 STEEL TUBING SHALL BE ASTM A500, GRADE B. STEEL PIPE ASTM A53 GRADE B.
3. ALL WELDED CONNECTIONS SHALL BE IN ACCORDANCE WITH THE CURRENT "STRUCTURAL WELDING STEEL CODE AMERICAN WELDING SOCIETY, AWS D1.1 ELECTRODES SHALL BE E70XX.
4. STRUCTURAL STEEL BOLTS SHALL BE A325, TYPE N, $\frac{3}{4}$"Ø EXCEPT WHERE TYPE SLIP-CRITICAL OR OTHER TYPE BOLTS OR OTHER INDICATED. ALL BOLTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS.

WOOD NOTES:

1. FLOOR WALL AND ROOF CONSTRUCTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH PROVISIONS OF THE MICHIGAN RESIDENTIAL CODE 2015, OR IN ACCORDANCE WITH AFPA - AMERICAN FOREST AND PAPER ASSOCIATION OR NDS - NATIONAL DESIGN STANDARDS - AMERICAN WOOD COUNCIL.
2. EXTERIOR WALL STUDS ARE TO BE 2x 6, #2 OR BETTER SPF REFEREE TO THE STRUCTURAL DRAWINGS FOR ALL SPACING. ALL STUD WALL TO HAVE A DOUBLE TOP PLATE AND A SINGLE BOTTOM PLATE.
3. ALL INTERIOR WALLS TO BE 2x 4, #2 OR BETTER SPF. REFEREE TO STRUCTURAL DRAWINGS AND SECTIONS FOR SPACING.
4. HEADERS AND STRUCTURAL WOOD POST: #2, SAWED LUMBER OR BETTER HEM-FIR Fb = 1000 psi, 1.6 x million psi.

   LVL - LAMINATED VENEER LUMBER, E = 1.9 x million psi, AS MANUFACTURE BY TRUS JOIST WEYERHAEUSER, VERSA-LAM BOISE CASCADE OR APPROVED EQUAL.

   PSL - PARALLEL STRAND LUMBER, E = 1.8 x million psi, AS MANUFACTURE BY TRUS JOIST WEYERHAEUSER, VERSA-LAM BOISE CASCADE OR APPROVED EQUAL.

   LSL - LAMINATED STRAND LUMBER, E = 1.3 x million psi, AS MANUFACTURE BY TRUS JOIST WEYERHAEUSER, VERSA-LAM BOISE CASCADE OR APPROVED EQUAL.

5. FASTENERS REEFER TO MICHIGAN RESIDENTIAL CODE 2015 SECTION 6, TABLE R602.3(1) & (2), FOR FASTENERS SCHEDULE FOR WALL, FLOOR, AND ROOF

FRAMING NOTES:

1. STUD WALLS ARE 2x 6 @ 16 INCHES ON CENTER UNLESS NOTED OTHERWISE ON DRAWINGS.
2. MINIMUM HEADERS IN LOAD BEARING WALLS TO BE (2) - 2x 6. LARGER HEADERS ARE INDICATED ON THE DRAWINGS AS FOLLOWS:
   H1 (2) - 2x 8
   H2 (2) - 2x 10
   H3 (2) - 2x 12
   H4 (1) - L3 $\frac{1}{2}$"x 3 $\frac{1}{2}$"x $\frac{1}{4}$"
   ML1 (1) - 1 3/4x 7 1/4
   ML2 (1) - 1 3/4x 9 1/4
   ML3 (1) - 3 1/2x 11 1/4
   ELEVATOR SHAFT - PROVIDE 1¾" x 11¼" LVL AS FOLLOWS:
   a. 4 - 13'-3" FIRST LEVEL
   B. 4 - 10'-0" SECOND LEVEL
   c. 4 - 8'-3" THIRD LEVEL
3. ALL 2x HEADERS TO INCLUDE 1/2 INCH PLYWOOD OR O.S.B. FLITCH BETWEEN 2x _ MEMBERS.
   COORDINATE LOCATION AND ELEVATION OF RECESSED OF FLUSH MEMBERS OR BEAMS.
4. EACH END OF WOOD HEADER IS TO BE FRAMED SUPPORTED WITH A MINIMUM OF (2) STUDS NAILED TOGETHER.
5. ALL STEEL COLUMNS AND BEAMS ARE INDICATED ON THE DRAWINGS.
6. ALL WOOD AND STEEL COLUMNS ARE TO CONTINUE DOWN THROUGH THE FLOOR SLAB OR FOOTING BELOW SLAB AS INDICATED ON THE DRAWINGS.
7. FLOOR TRUSSES - 2x 4 - NO 1 KD SOUTHER YELLOW PINE
   2x 4 - NO 1 AND BETTER DOUGLAS FIR
8. DESIGN LOADS:

ROOF	LIVE LOAD	DEAD LOAD	TOTAL
SLOPED ROOF TRUSSES			
TOP CORD	25 PSF	7 PSF	32 PSF
BOTTOM CORD	40 PSF	15 PSF	55 PSF
			87 PSF
POINT LOAD AT RIDGE BM			4000 LBS

9. RAFTERS - DOUGLASS FIR-LARCH OF HEM-FIR
10. SNOW DRIFTING AND SLIDING LOADS SHALL BE COMPUTED ON THE BASIS OF THE LATEST MICHIGAN BUILDING CODE USING GROUND SNOW LOADING.

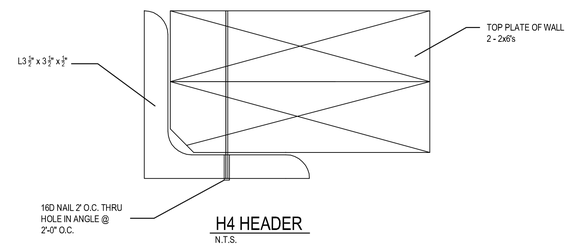
    DEFLECTION LIMITS
    L/ 360 FLOOR AND ROOF TOTAL LOADS
    L/360 FLOOR AND ROOF LIVE LOADS
    L/360 EXTERIOR FINISHES

FOUNDATION AND FLOOR SLAB NOTES

1. SEE FOUNDATION SHEET FOR FOUNDATION AND SLABS
2. CONTRACTOR TO PROVIDE CRAWL SPACE VENTILATION AS REQUIRED PER MICHIGAN BUILDING CODE AND COORDINATE LOCATIONS WITH BUILDING OWNER.
3. CONTRACTOR TO PROVIDE VAPOR BARRIER IN CRAWL SPACE PER MICHIGAN BUILDING CODE AND TAPE ALL JOINTS.
4. CONTRACTOR TO PROVIDE CRAWL SPACE ACCESS AND COORDINATE LOCATION WITH BUILDING OWNER.
5. CONTRACTOR IS RESPONSIBLE TO INSULATE CRAWL SPACE IN ACCORDANCE WITH MICHIGAN ENERGY CODE REQUIREMENTS.

MICHIGAN UNIFORM ENERGY CODE COMPLIANCE CHART 2015

BUILDING COMPONENT	REQUIRED ZONE - 5	SPECIFIED	COMMENTS
WALLS	R20	R20	
FENESTRATION	R3.12 or U = 0.32	U = 0.32	
ROOF/CIELING	R38	R49	
FLOORS	R30	R30	
SLAB ON GRADE	R10	N/A	
CRAWL SPACE/WALLS	R10/13	R10	
BASEMENT WALLS w/ continuous insulation	R10	N/A	
BASEMENT WALLS w/ cavity insulation	R13	N/A	



H4 HEADER
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