# CITY OF BIRMINGHAM MEETING OF THE BOARD OF ZONING APPEALS TUESDAY OCTOBER 10, 7:30 PM

The meeting will be held in the City Commission Room at City Hall, 151 Martin St. Birmingham, MI 48009. Should you have any statement regarding any appeals, you are invited to attend the meeting in person or virtually through ZOOM:

https://zoom.us/j/963 4319 8370 or dial: 877-853-5247 Toll-Free, Meeting Code: 963 4319 8370

You may also provide a written statement to the Board of Zoning Appeals, City of Birmingham, 151 Martin Street, P.O. Box 3001, Birmingham MI, 48012-3001 prior to the hearing

- 1. CALL TO ORDER
- 2. ROLL CALL
- 3. ANNOUNCEMENTS
- 4. APPROVAL OF THE MINUTES
  - a) SEPTEMBER MINUTES
- 5. APPEALS

|    | Address        | Petitioner         | Appeal | Type/Reason |
|----|----------------|--------------------|--------|-------------|
| 1) | 680 FAIRFAX    | TODD GRABEL        | 23-27  | DIMENSIONAL |
| 2) | 1395 NORTHLAWN | TEMPLETON BUILDING | 23-33  | DIMENSIONAL |
| 3) | 1115 CHAPIN    | FRANK COLASONTI    | 23-34  | DIMENSIONAL |
| 4) | 321 LAKE PARK  | GLEN CARLSON III   | 23-35  | DIMENSIONAL |
| 5) | 604 HANNA      | AJITAL GREWAL      | 23-36  | DIMENSIONAL |
| 6) | 660 MOHEGAN    | GLENN DESROSIERS   | 23-37  | DIMENSIONAL |
| 7) |                |                    |        |             |

#### 6. CORRESPONDENCE

#### 7. GENERAL BUSINESS

#### 8. OPEN TO THE PUBLIC FOR MATTERS NOT ON THE AGENDA

#### 9. ADJOURNMENT

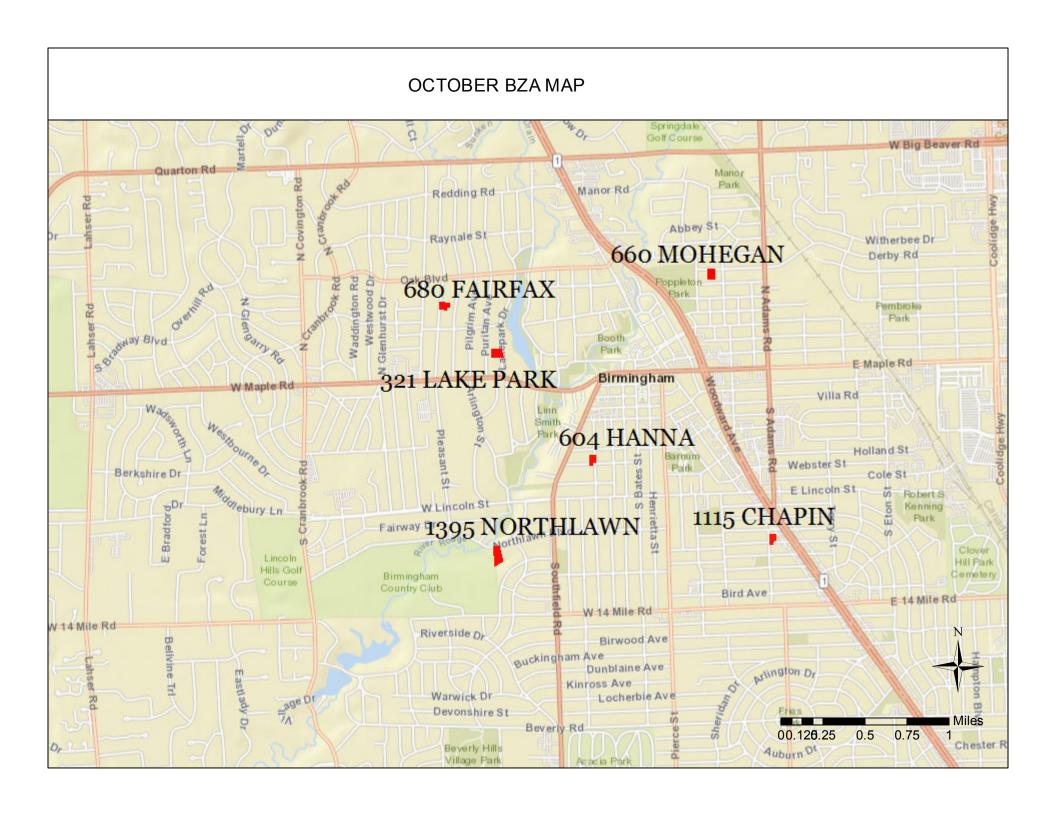
#### Title VI

Persons with disabilities that may require assistance for effective participation in this public meeting should contact the City Clerk's Office at the number (248) 530-1880, or (248) 644-5115 (for the hearing impaired) at least one day before the meeting to request help in mobility, visual, hearing, or other assistance.

Las personas con incapacidad que requieren algún tipo de ayuda para la participación en esta sesión pública deben ponerse en contacto con la oficina del escribano de la ciudad en el número (248) 530-1800 o al (248) 644-5115 (para las personas con incapacidad auditiva) por lo menos un dia antes de la reunión para solicitar ayuda a la movilidad, visual, auditiva, o de otras asistencias. (Title VI of the Civil Rights Act of 1964).

The public entrance during non-business hours is through the police department at the Pierce Street entrance only. Individuals requiring assistance entering the building should request aid via the intercom system at the parking lot entrance gate on Henrietta Street.

La entrada pública durante horas no hábiles es a través del Departamento de policía en la entrada de la calle Pierce solamente. Las personas que requieren asistencia entrando al edificio debe solicitar ayudan a través del sistema de intercomunicación en la puerta de entrada de estacionamiento en la calle de Henrietta.



#### Birmingham Board Of Zoning Appeals Proceedings Tuesday, September 12, 2023 City Commission Room 151 Martin Street, Birmingham, Michigan

#### 1. Call To Order

Minutes of the regular meeting of the City of Birmingham Board of Zoning Appeals ("BZA") held on Tuesday, September 12, 2023. Chair Morganroth convened the meeting at 7:30 p.m.

#### 2. Rollcall

**Present:** Chair Erik Morganroth; Board Members Kevin Hart, Richard Lilley, John Miller,

Pierre Yaldo; Alternate Board Member Carl Kona

**Absent:** Vice Chair Jason Canvasser; Board Member Ron Reddy

**Staff:** Building Official Johnson; Senior Planner Cowan, City Transcriptionist Eichenhorn,

Assistant Building Official Morad, Assistant Building Official Zielke

Chair Morganroth welcomed those present and reviewed the meeting's procedures. He noted that the members of the Board of Zoning Appeals are appointed by the City Commission and are volunteers who serve staggered three-year terms. They are a quasi-judicial board and sit at the pleasure of the City Commission to hear appeals from petitioners who are seeking variances from the City's Zoning Ordinance. Under Michigan law, a dimensional variance requires four affirmative votes from this board, and the petitioner must show a practical difficulty. A land use variance requires five affirmative votes and the petitioner has to show a hardship. He pointed out that this board does not make up the criteria for practical difficulty or hardship. That has been established by statute and case law. Appeals are heard by the board as far as interpretations or rulings. In that type of appeal the appellant must show that the official or board demonstrated an abuse of discretion or acted in an arbitrary or capricious manner. Four affirmative votes are required to reverse an interpretation or ruling.

Chair Morganroth took rollcall of the petitioners. All petitioners were in attendance.

#### 3. Announcements

Announcements can be found in the evening's agenda packet.

#### 4. Approval Of The Minutes Of The BZA Meetings Of August 8, 2023

T# 09-38-23

Motion by Mr. Lilley Seconded by Mr. Kona to approve the minutes of the BZA meeting of August 8, 2023 as submitted.

#### Motion carried, 6-0.

**VOICE VOTE** 

Yeas: Lilley, Morganroth, Miller, Yaldo, Kona, Hart

Nays: None

5. Appeals

T# 09-39-23

1) 680 Fairfax Appeal 23-27

ABO Zielke presented the item, explaining that the owner of the property known as 680 Fairfax was requesting the following variance to replace the existing pool deck and patio:

**A. Chapter 126, Article 2, Section 2.06.1** of the Zoning Ordinance requires that the minimum open space required is 40% (4705.00 SF). The existing and proposed is 30.29% (3562.43 SF). Therefore, a variance of 9.71% (1142.57 SF) is being requested.

Staff answered informational questions from the Board.

Todd Grabel, owner, reviewed the letter describing why this variance was being sought and answered informational questions from the Board. The letter was included in the evening's agenda packet.

Board comments were as follows:

- While the proposed impervious elements might benefit the owner, the lot did not allow for the amount of impervious surface proposed;
- The applicant could reduce the amount of impervious surface proposed;
- The east side of the original driveway was replaced with pervious surface. The applicant should submit updated documents to the Board indicating the amount of impervious surface that was replaced with pervious surface;
- If the applicant did not intend to implement the plans exactly as presented, the Board could not vote on the plans;
- Since the applicant would be having a professional do the plans for a resubmission, the
  professional might advise on ways of further reducing the impervious surface in order to
  reduce the requested variance, which would increase the chances of approval;
- Removing the bricks inside the curved driveway would reduce the amount of impervious surface on the lot; and,
- The amount of pavement required for an entry into a rear-facing garage can make reducing impervious surfaces on a lot challenging.

Mr. Grabel elected to table the item and to return with more precise plans.

**Motion by Mr. Miller** 

Seconded by Mr. Lilley with regard to Appeal 23-27, a motion to postpone to October 10, 2023.

Motion carried, 6-0.

**VOICE VOTE** 

Yeas: Lilley, Morganroth, Miller, Yaldo, Kona, Hart

Nays: None

#### T# 09-40-23

#### 2) 1340 Puritan Appeal 23-28

ABO Zielke presented the item, explaining that the owner of the property known as 1340 Puritan was requesting the following variance for a second floor rear addition:

**A. Chapter 126, Article 2, Section 2.06.2** of the Zoning Ordinance requires that the total combined setbacks are 14.00 feet or 25% of total lot width, whichever is larger. The required is 20.00 feet. The proposed is 18.80 feet. Therefore, a variance of 1.20 feet is being requested.

Staff answered informational questions from the Board.

Eric Heiderer of Polyarch Inc., representing the owners, reviewed the letter describing why this variance was being sought and answered informational questions from the Board. The letter was included in the evening's agenda packet.

Board comments were as follows:

- If the house did not have an overhang, a variance would still be required; and,
- The planned main bedroom is large, and based on the applicant's response the extra foot of the cantilever would not be required and only added an additional nonconformity.

#### Motion by Mr. Yaldo

Seconded by Mr. Miller with regard to Appeal 23-28, A. Chapter 126, Article 2, Section 2.06.2 of the Zoning Ordinance requires that the total combined setbacks are 14.00 feet or 25% of total lot width, whichever is larger. The required is 20.00 feet. The proposed is 18.80 feet. Therefore, a variance of 1.20 feet is being requested.

Mr. Yaldo moved to approve variance request, tied to the plans as submitted, on the condition that it be pulled back about a foot with respect to the main bedroom and that revised plans be submitted.

The Chair clarified that the cantilever would be removed.

Mr. Yaldo confirmed.

It was confirmed that Staff could administratively approve that change.

Mr. Miller said the need for the variance was due to the unique existing circumstances of the house, was not self-created, and that it was very reasonable to create an addition like the one proposed. He said that conformity to the ordinance would be

unnecessarily burdensome in this case. He voiced his support for the elimination of the overhang as well.

The Chair offered his support for the motion. He noted that while the Board aims to not increase existing nonconformities, in specific situations the Board allows for existing nonconformities to be maintained so as not to penalize the owner.

In reply to Staff, the Chair clarified that the roof overhang could be allowed, and that the second floor overhang would need to be removed per the motion. He clarified that would allow the applicant to build within the present nonconformity, but not to expand the existing nonconformity.

#### Motion carried, 6-0.

**ROLL CALL VOTE** 

Yeas: Lilley, Morganroth, Miller, Yaldo, Kona, Hart

Nays: None

T# 09-41-23

# 3) 1450 Bird Appeal 23-29

ABO Zielke presented the item, explaining that the owner of the property known as 1450 Bird was requesting the following variances to reconstruct a detached garage:

- **A. Chapter 126, Article 2, Section 2.10.1** of the Zoning Ordinance limits the lot coverage to a maximum of 30% of the lot. The required 30% is 1440.00 SF. The existing is 32.60% (1565 SF). The proposed is 31.00% (1490.00 SF). Therefore, a variance of 1.00% (50.00 SF) is being requested.
- **B.** Chapter 126, Article 4, Section 4.03(G)(1)(C) of the Zoning Ordinance requires that the maximum building height of an accessory structure in the R3 zoning shall not exceed 14.50 feet to the mid-point. The proposed is 15.50 feet. Therefore, a variance of 1.00 feet is being requested.

Staff answered informational questions from the Board.

Timothy Chak, owner, reviewed the letter describing why this variance was being sought and answered informational questions from the Board. The letter was included in the evening's agenda packet.

Board comments were as follows:

- The plans reduced the nonconformity to an extent and would be taken into account;
- The desire for a fan would not be considered a practical difficulty. Adding a fan because the applicant did not want to add a different mechanism for heating the space would also not amount to a practical difficulty;

- The challenge facing the applicant was common to every property owner in an R3 district. The variance would then be disregarding the ordinance in this case. A variance should be granted based on the unique circumstances of the property;
- Whether the variance request was impacted by the fact that the structure was still partially standing could be a point of discussion for the Board;
- There were some options for reducing the extent of the variance being requested; and,
- While Variance B would have been more difficult to approve, Variance A was a more reasonable request.

In reply to Board comment, Mr. Chak stated he would be willing to only pursue Variance A and to eliminate his request for Variance B.

#### **Motion by Mr. Hart**

Seconded by Mr. Lilley with regard to Appeal 23-29, Chapter 126, Article 2, Section 2.10.1 of the Zoning Ordinance limits the lot coverage to a maximum of 30% of the lot. The required 30% is 1440.00 SF. The existing is 32.60% (1565 SF). The proposed is 31.00% (1490.00 SF). Therefore, a variance of 1.00% (50.00 SF) is being requested.

Mr. Hart moved to approve Variance A only and tied approval to the plans. He said it was a reasonable request to keep the footprint relatively the same in terms of the garage that was damaged, that the percentage of lot coverage would be a minimal amount, and that it would have minimal impact on the neighboring properties. He said allowing Variance A would do substantial justice to the owner and the neighbors.

In regards to Variance B, Mr. Hart said that minor modifications to the structure could allow for the requested building heights and usage that the applicant would prefer.

The Chair noted that the plans reduced the necessary variance because of the addition of the staircase.

#### Motion carried, 6-0.

**ROLL CALL VOTE** 

Yeas: Lilley, Morganroth, Miller, Yaldo, Kona, Hart

Nays: None

T# 09-42-23

#### Motion by Mr. Yaldo

Seconded by Mr. Miller with regard to Appeal 23-29, Chapter 126, Article 4, Section 4.03(G)(1)(C) of the Zoning Ordinance requires that the maximum building height of an accessory structure in the R3 zoning shall not exceed 14.50 feet to the mid-point. The proposed is 15.50 feet. Therefore, a variance of 1.00 feet is being requested.

Mr. Yaldo moved to deny Variance B. He stated that the challenge facing the applicant was not due to the unique circumstances of the property and would be shared by all

other property owners within the R3 zone, which resulted in there being no basis on which to grant Variance B.

The Chair voiced his support for the motion and noted that the appellant agreed to remove the request for Variance B.

#### Motion carried, 6-0.

**ROLL CALL VOTE** 

Yeas: Lilley, Morganroth, Miller, Yaldo, Kona, Hart

Nays: None

T# 09-43-23

# 4) 2649 Yorkshire Appeal 23-31

ABO Zielke presented the item, explaining that the owner of the property known as 2649 Yorkshire was requesting the following variance to construct an addition to the existing home:

**A. Chapter 126, Article 4, Section 4.74(C)** of the Zoning Ordinance requires that the minimum distance between principal residential buildings on adjacent lots of 14.00 feet or 25% of total lot width, whichever is larger. The required is 18.75 feet on the west side. The proposed is 16.00 feet. Therefore, a variance of 2.75 feet is being requested.

Staff answered informational questions from the Board.

Eli Nakhleh, owner, reviewed the letter describing why this variance was being sought and answered informational questions from the Board. The letter was included in the evening's agenda packet.

Board comments were as follows:

- If any part of the future engineering documents indicate the need for a variance greater than 2.75 feet, the applicant would have to return for a new variance;
- The variance request would add to the existing garage in the back, but would not change the outside wall or the existing distance between the two homes;
- Compared to the applicant's previous request, the present request was much more reasonable; and,
- Since the foundations would be new, they could be poured in line with the variance.

#### **Motion by Mr. Hart**

Seconded by Mr. Lilley with regard to Appeal 23-31, Chapter 126, Article 4, Section 4.74(C) of the Zoning Ordinance requires that the minimum distance between principal residential buildings on adjacent lots of 14.00 feet or 25% of total lot width, whichever is larger. The required is 18.75 feet on the west side. The proposed is 16.00 feet. Therefore, a variance of 2.75 feet is being requested.

Mr. Hart moved to approve the variance request and tied approval to a maximum variance of 2.75 feet and to the plans other than that. He said the applicant had done a good job of mitigating the issues that were raised during the previous presentation to the Board.

The Chair noted that the applicant's engineer would have to confirm that the plans would result in a variance no greater than 2.75 feet, and that the surveyor would have to verify that the dimensions of 4.9 feet and 11.1 feet were consistent.

Mr. Miller voiced his support for the motion. He said the quality of the addition would do substantial justice not only to the applicant, but to the neighboring property owners as well.

#### Motion carried, 6-0.

**ROLL CALL VOTE** 

Yeas: Lilley, Morganroth, Miller, Yaldo, Kona, Hart

Nays: None

T# 09-44-23

#### 5) 220 Park Appeal 23-32

SP Cowan presented the item, explaining that the owner of the property known as 220 Park was requesting the following variance to remove one directly accessible storefront from the public sidewalk facing Hamilton Row:

**A. Chapter 126, Article 3, Section 3.04(E)** of the Zoning Ordinance requires that storefronts be directly accessible from public sidewalks. The applicant is proposing a building frontage along Hamilton Row without a directly accessible entrance facing the street's frontage line at the first story. Therefore, a variance of one directly accessible storefront from the public sidewalk is being requested.

Staff answered informational questions from the Board.

John Hindo, President of Boji Group, reviewed the letter describing why this variance was being sought and answered informational questions from the Board. The letter was included in the evening's agenda packet.

Board comments were as follows:

- An ordinance-compliant entrance could be maintained with a card swipe or buzzer so it would not be accessible at all times;
- There was some concern about setting a precedent where a window, rather than a door, would be facing a street in the downtown area;
- It could be argued that the side of the building facing Hamilton was not a storefront area or part of the core downtown area;
- When a bank occupied this building, one of the doors required that visitors be buzzed in for entry;

- The Hamilton facade was not required to be a commercial storefront and did not have the same glazing requirements as other parts of the downtown overlay. Since this building was permitted to have a first floor office use, the ordinance requiring a door off Hamilton may not apply to this building;
- Creating a door into a private office space seemed to contradict the purpose of the ordinance; and,
- WeWork did not have a door on the Oakland facade.

Mr. Hindo committed to creating an ordinance-compliant door if the tenant left at the end of their 15-year lease.

#### **Motion by Mr. Lilley**

Seconded by Mr. Kona with regard to Appeal 23-32, Chapter 126, Article 3, Section 3.04(E) of the Zoning Ordinance requires that storefronts be directly accessible from public sidewalks. The applicant is proposing a building frontage along Hamilton Row without a directly accessible entrance facing the street's frontage line at the first story. Therefore, a variance of one directly accessible storefront from the public sidewalk is being requested.

Mr. Lilley moved to approve the variance request and tied approval to the plans because otherwise a door would be leading into a private office. The purpose of the ordinance might require a door on every side of a large building if there were retail involved, but those circumstances were not present in this case.

In reply to the Chair, Mr. Lilley confirmed his motion would also require that the applicant add the door in the future if the use were to change.

The Chair clarified that requirement would apply if the tenant elected not to renew their lease or if the tenant were to change, and if the space were to become a more public one. He noted the City would be able to require that a door be added onto the Hamilton facade either at the expense of the tenant or the owner, depending on their lease.

Mr. Miller said he had been concerned about setting precedent. While he noted that maintaining activity on the streets in the downtown area was important to Birmingham, he added that the unique condition of this building warranted support for the motion.

#### Motion carried, 6-0.

**ROLL CALL VOTE** 

Yeas: Lilley, Morganroth, Miller, Yaldo, Kona, Hart

Nays: None

- 6. Correspondence
- 7. Open To The Public For Matters Not On The Agenda
- 8. Adjournment

No further business being evident, the Board motioned to adjourn at 9:25 p.m.

Bruce R. Johnson, Building Official

Laura Eichenhorn, City Transcriptionist

# **CASE DESCRIPTION**

#### 680 FAIRFAX (23-27)

Hearing date: October 10, 2023

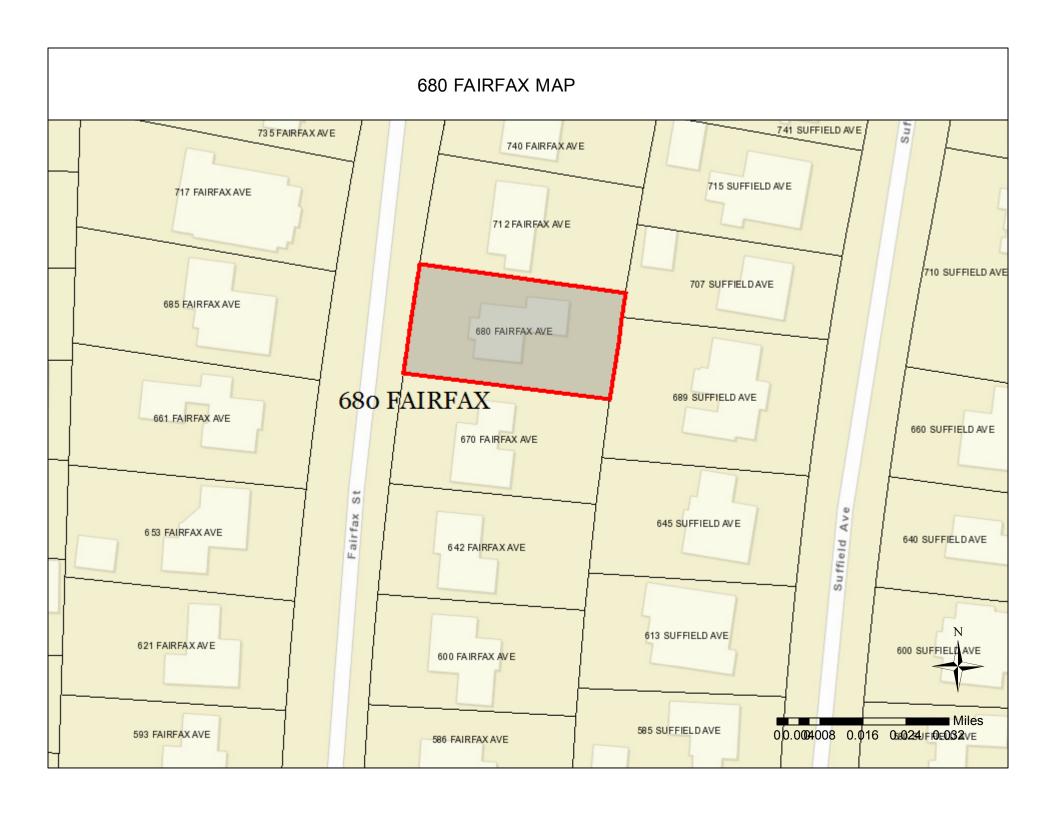
**Appeal No. 23-27**: The owner of the property known as **680 Fairfax**, requests the following variance to replace the existing pool deck and patio:

A. Chapter 126, Article 2, Section 2.06.1 of the Zoning Ordinance requires that the minimum open space required is 40% (4705.00 SF). The existing is 30.29% (3562.43 SF). The proposed is 33.05% (3888.53 SF). Therefore, a variance of 6.95% (816.47 SF) is being requested.

**Staff Notes:** This applicant looking to replace the existing pool deck and patio that was permitted in 1970. The existing open space is non-conforming per the zoning ordinance. This appeal was in front of the board last month where it was tabled for additional information (see minutes).

This property is zoned R1 – Single family residential.

Jeff Zielke, NCIDQ, LEED AP
Assistant Building Official



#### CITY OF BIRMINGHAM

#### Community Development - Building Department 151 Martin Street, Birmingham, MI 48009

Community Development: 248-530-1850 Fax: 248-530-1290 / www.bhamgov.org

#### APPLICATION FOR THE BOARD OF ZONING APPEALS

| Received Date:  | <del>21(</del>  |  |  |                                      | Hearing Date:  |
|---|---|--|--|--------------------------------------|--|
| Received By:  |   |  |  |                                      | Annoal #   |
| Type of Variance:   | Interpretation  | □ Dimensional  | Land Use   | Sign                                 | Appeal #: Admin Review   |
| I. PROPERTY INFORMAT  | ION:  |  | 1 1 1 V  | -                                    | ASS. M. W. T.  |
| Address: 680 Fair   | Fax St.   | Lot Number:  | 80   | Sidwell Number                       | : 19-26-462-008  |
| II. OWNER INFORMATION   | l:  |  |  | September 1                          | mus simila   |
| Name: Todd G  | rabel   |  |  |                                      |  |
| Address: 680 Fai  | sfax St.  | City:  | Birmingham   | State: MI                            | Zip code: 4 8 0 0 9  |
| Email: * todd ar  | abel @ gmail. co  | m  | 3  | Phone: 2                             | 18-840-7710  |
| III. PETITIONER INFORMA   | TION:   | m nath Annes a   | and the serious  | John Harming                         | Melblick.  |
| Name: Todd (  | Trabel  | Firm/Compa   | ny Name:   |                                      |  |
| Address: L&O Fai  | rFax St.  | City: Bicm   | ingham   | State: MI                            | Zip code: 48009  |
| Email: todd a   |   | con  | J ,  | Phone:                               | 248-840-7710   |
| IV. GENERAL INFORMATI   | ON:   | in seignici nosti in   | THE NUMBER OF  | एक्सकृति । तर                        | 300000   |
| Staff will explain how all a<br>clearly shown on the surv<br>decimal point. | requested variances must<br>rey and plans including a<br>s \$360.00 for single family   | t be highlighted on the su<br>table as shown in the exa<br>y residential; \$560.00 for<br>the scheduled hearing d  | rvey, site plan and cons<br>ample below. All dimens<br>all others. This amount<br>ate. | struction plans. Estions to be shown | ill be required to be submitted. ach variance request must be a in feet measured to the second r a public notice sign which must   |
|   |   | Variance Cha   |  | No. 1 con contraction                | The same and the s |
| Requested Varianc  Variance A, Front Set                                    |   |  |  | Proposed<br>3.50 Feet                | Variance Amount  1.50 Feet   |
| Variance B, Heigh   |   |  |  | 0.25 Feet                            | 0.25 Feet  |
| V. REQUIRED INFORMAT  |   |  | sec Caldalastica   | and the second                       | Laborator III  |
| <ul><li>Comp</li><li>Signed</li><li>Certifit</li><li>Buildit</li></ul>      | se provide the follon<br>leted and signed applicated and signed application differed application | cation<br>iculty and/or hardship<br>ting and proposed floo   | r plans and elevation  | s                                    | g, HDC, or DRB board meeting   |
| VI. APPLICANT SIGNATUR  |   | AMERICAN PROPERTY OF THE PROPE | WITH SERVICE OF  | SHIP TOLKE W                         | REPORT OF A STATE OF THE STATE  |
| accurate to the best of m   | a, I agree to conform to all<br>y knowledge. Changes to<br>o the City, you agree to rec   | II applicable laws of the Control the Control the II applicable laws of the Control the II applicable II applicable laws of the Control the II applicable II applicable laws of the Control the II applicable II applicable laws of the Control the II applicable II applicable laws of the Control the II applicable  | City of Birmingham. All i  | m the Building Of                    | initted on this application is ficial or City Planner. ive these messages, you may  (3-3-23  |
| Signature of recitioner   | · And   | <del>)</del>   |  |                                      | <del></del>  |

#### **CITY OF BIRMINGHAM**

#### **Community Development - Building Department** 151 Martin Street, Birmingham, MI 48009

Community Development: 248-530-1850 Fax: 248-530-1290 / www.bhamgov.org

8/10/23

#### APPLICATION FOR THE BOARD OF ZONING APPEALS

Hearing Date: \_\_\_\_

| Received Date:  |   |  |                         |  | Hearing Date:  |
|---|---|--|-------------------------|--|--|
| Received By:  |   |  | XXX XX XX               |  | Appeal #:  |
| Type of Variance:   | nterpretation x                             | Dimensional                                      | Land Use                | Sign                                       | Admin Review   |
| I. PROPERTY INFORMATION:  |   |  |                         |  |  |
| Address:<br>680 Fairfax St.   |   | Lot Number:                                      |                         | Sidwell Number<br>19-26-402-008            | er:  |
| II. OWNER INFORMATION:  |   |  |                         |  |  |
| Name:<br>Todd and Mary Beth Grabel  |   |  |                         |  |  |
| Address:  |   | City:  |                         | State:                                     | Zip code:  |
| Email:*   |   |  |                         | Phone:                                     |  |
| II. PETITIONER INFORMATION:   |   |  |                         |  |  |
| Name:   |   | Firm/Comp  | any Name:               |  |  |
| Address:  |   | City:  |                         | State:                                     | Zip code:  |
| Email:  |   |  |                         | Phone:                                     | Constant According Contraction                                       |
| IV. GENERAL INFORMATION:  |   |  |                         | Thone.                                     |  |
| decimal point.  | <b>0</b> for single family r                | esidential; <b>\$560.00</b> fo                   | or all others. This amo |  | wn in feet measured to the second for a public notice sign which mus |
|   |   | Variance C                                       | hart Example            | 410  |  |
| Requested Variances   | Required                                    | Exist  |                         | Proposed                                   | Variance Amount  |
| Variance A, Front Setback  Variance B, Height   | 25.00 Feet<br>30.00 Feet                    | 23.50<br>30.25                                   |                         | 23.50 Feet<br>30.25 Feet                   | 1.50 Feet<br>0.25 Feet   |
| V. REQUIRED INFORMATION CHE   |   | 30.23  | Tale Maria Maria        | 30.231000                                  | 0.25 (CC)  |
| Please pro  | vide the follov                             | ving in your ele                                 | ctronic submissi        | on:  |  |
| O Completed a   | nd signed applica                           | tion   |                         |  |  |
| <ul> <li>Signed letter</li> </ul>   | of practical diffic                         | ulty and/or hardshi                              | р                       |  |  |
| <ul> <li>Certified surv</li> </ul>  | rey   |  |                         |  |  |
| <ul> <li>Building plan.</li> </ul>  | s including existin                         | g and proposed flo                               | or plans and elevati    | ons  |  |
| <ul> <li>If appealing a</li> </ul>  | board decision,                             | provide a copy of th                             | ne minutes from any     | previous Planni                            | ng, HDC, or DRB board meetin   |
| VI. APPLICANT SIGNATURE   |   |  |                         |  |  |
| Owner hereby authorizes the peti<br>By signing this application, I agree<br>accurate to the best of my knowle<br>*By providing your email to the Cit-<br>unsubscribe at any time. | to conform to all a<br>edge. Changes to the | applicable laws of the<br>ne plans are not allow | City of Birmingham. A   | rom the Building (<br>u do not wish to red | Official or City Planner. ceive these messages, you may              |
| Signature of Owner:   |   | S1023  | ·····                   | Date: C                                    | 113123   |
| Signature of Petitioner:  |   |  |                         | Date: 8                                    | 3/3/23   |

- 6. Where the Birmingham Zoning Ordinance requires site plan approval of a project by the City Planning Board before the issuance of a building permit, applicants must obtain preliminary site plan approval by the Planning Board before appeal to the BZA for a variance request. If such appeal is granted by the BZA, the applicant must seek final site plan and design review approval from the Planning Board before applying for a building permit.
- 7. An aggrieved party may appeal a Planning Board decision. Such appeal must be made within 30 days of the date of the decision. The BZA, in its discretion, may grant additional time in exceptional circumstances.
- 8. Appeals from a decision of the Building Official shall be made within 30 days of the date of the order, denial of permit, or requirement or determination contested. The BZA, in its discretion, may grant additional time in exceptional circumstances.
- 9. An appeal stays all proceedings in accordance with Act #110, Public Acts of 2006, Article VI, Section 125.3604 (3).

#### C. The order of hearings shall be:

- 1. Presentation of official records of the case by the Building Official or City Planner as presented on the application form.
- 2. Applicant's presentation of his/her case—the applicant or his/her representative must be present at the appeal hearing.
- 3. Interested parties' comments and view on the appeal.
- 4. Rebuttal by applicant.
- 5. The BZA may make a decision on the matter or request additional information.

#### D. Motions and Voting

- 1. A motion is made to either grant or deny a petitioner's request
  - a) For a motion to grant or deny a non-use variance request, the motion must receive four (4) affirmative votes to be approved.
  - b) For a motion to grant or deny a use variance request, the motion must receive five (5) affirmative votes to be approved.
  - c) For a motion to grant or deny an appeal of a decision or order by an administrative official or board, the motion must receive four (4) affirmative votes to be approved.
- 2. When a motion made is to approve or deny a petitioner's request and if there is a tie vote, then the vote results in no action by the board and the petitioner shall be given an opportunity to have his or her request heard the next regularly scheduled meeting when all the members are present.

| B. Application or rehearing of a case shall be in writing and subject to the same rules as an original hearing, clearly stating the new evidence to be presented as the basis of an appeal for rehearing. |
|---|
| I certify that I have read and understand the above rules of procedure for the City of Birmingham Board of Zoning Appeals.  Signature of Applicant  |

City of Birmingham

Community Development – Building Development

151 Martin Street

Birmingham, MI 48009

Dear Board of Zoning Appeals:

In the process of making improvements to our home over the past 18 months, we encountered an impasse due to the City's Open Space Requirement for Residential Lots. We ran into this issue when our contractor applied for the permits to begin work to replace our patio and pool deck in the back yard. Candidly, the patio and pool deck have aged and weathered beyond just needing basic cosmetic updates.

Upon initial discussion with the City, it was determined that we needed to have a full location and boundary survey to establish the open space percentages that currently exist. Unfortunately, when the survey was completed, it was revealed that we were short of the City's open space percentage requirements. As such, we actively worked with our contractor on a solution, but it was determined that there were no options to mitigate the lack of green space in the rear of the house short of removing the pool and patio which were the primary reason we purchased the home in the first place. However, upon looking at the lot as a whole, we believe that we can mitigate the lack of some of the green space by replacing a decorative paver section between the driveway and the sidewalk in the front of the house with lawn.

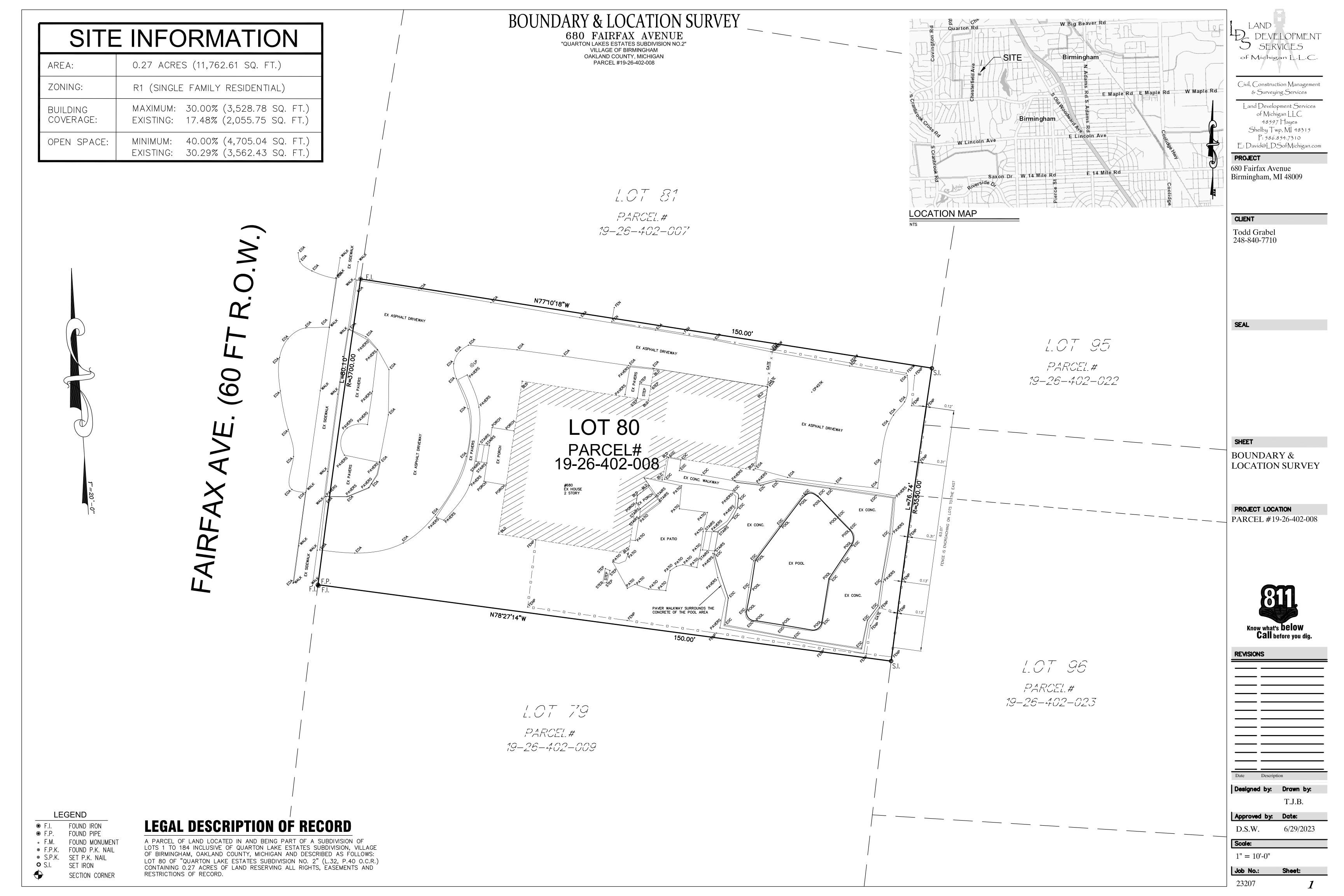
Subsequently, we scheduled a meeting with Jeff Zielke to review the survey, to discuss the problems with the backyard layout, and to look at improving our overall open space percentage with the proposed idea of adding the front lawn area described above. After our discussion with Jeff, it was determined we needed to apply to the Board of Zoning Appeals for a variance.

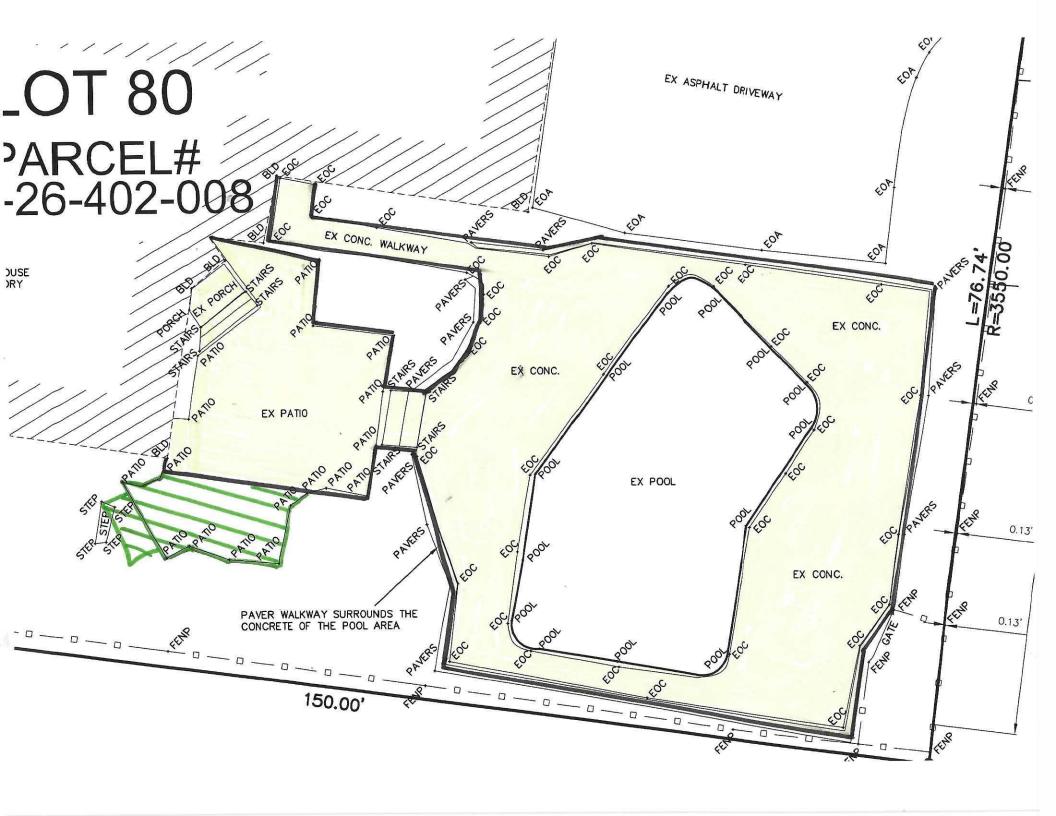
We appreciate your time and consideration of this matter. Our goal in this home project was only to replace existing hardscape, not to add or encroach any further beyond the current footprint. We feel that these changes will not only improve the backyard aesthetically, but will also create a safer space by eliminating sections of the patio and pool deck which have become damaged and worn.

Sincerely,

Todd & Mary Beth Grabel 680 Fairfax Birmingham, MI 48009







Area – 11,762.61 sq. ft.

Bldg. coverage – allowable 3528.78 sq. ft. existing 2055.75 sq. ft. 17.48%

Open space – min. 4705.04 sq. ft. existing 3562.43 sq ft. 30.29%

Open space added prior to the survey:

207 sq. ft. along the East fence line

Open space to be added:

326.1 sq. ft. with the center of the horseshoe driveway

12.68 sq. ft. with the removal of the stairs on the SW corner of the existing patio

126 sq. ft. with the removal of a portion of the patio to create more straight lines.

Total -464.78 sq. ft.

Open space would increase to 4027.21 sq. ft. creating 34.24% open space.

Total open space increase including the work pre-dating the survey.

Total 671.78 sq. ft. or 5.71%

## **CASE DESCRIPTION**

#### 1395 NORTHLAWN (23-33)

Hearing date: October 10, 2023

**Appeal No. 23-33**: The owner of the property known as **1395 Northlawn**, requests the following variance for a house currently under construction:

A. Chapter 126, Article 4, Section 4.74(C) of the Zoning Ordinance requires that the minimum distance between principal residential buildings on adjacent lots of 14.00 feet or 25% of total lot width, whichever is larger. The required is 15.50 feet. The proposed is 14.59 feet on the east side. Therefore, a variance of 0.91 feet is requested.

**Staff Notes:** The Zoning Ordinance regulates the minimum distance between houses to a distance equal to the 25% of the lot with measured at the front setback line. In this case, the minimum distance between houses must be at least 15.50 feet. The house at this location has been under construction since 2018. The owner recently hired a new builder, Templeton Building Company, to finish construction of the new house that is now ready for insulation and drywall to begin. Templeton Building Company approached the Building Department to review an as-built survey they completed for the property showing that the house is constructed in the location shown on the 2018 plans approved by the Building Department at that time. However, a portion of the new house does not comply with the minimum distance between it and the house to the east. The portion out of compliance is approximately 26.25 feet long and tapers from 0.91 feet to 0.00 feet as shown on the survey included with this request. Other than the requested variance above, the house as constructed is in compliance with all other Zoning Ordinance regulations applicable to it.

The subject lot and the lot to the east are both 50.00 feet wide at the street. However, the subject lot is pie shaped and gets wider from front to back requiring a greater distance between measurement than the lot to the east because lot width is measured at the front setback line. The subject lot is 62.00 feet wide at the front setback line requiring a minimum distance between houses of 15.50 feet. The lot to the east is 50.00 feet wide at the setback line requiring a distance between of 12.50 feet.

This property is zoned R1 – Single family residential.

Bruce Johnson Building Official



#### **CITY OF BIRMINGHAM**

### Community Development - Building Department

**151 Martin Street, Birmingham, MI 48009** Community Development: 248-530-1850

Fax: 248-530-1290 / www.bhamgov.org

#### APPLICATION FOR THE BOARD OF ZONING APPEALS

Hearing Date:

| Received By:<br>Type of Variance   | :  | Interpretation   | Dimensional   | Land Use   | Sign   | Admin Rev   |
|--|--|--|---|--|--|---|
| I. PROPERTY INF  |  |  |   |  |  |   |
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| Address: 1395  | - North  | laurn  | Lot Number:   |  | Sidwell Numbe  | rig   |
| I. OWNER INFOR   | MATION:  |  |   |  |  |   |
| Name:  | mi Con   | 5007   |   |  |  |   |
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Received Date:

#### CITY OF BIRMINGHAM BOARD OF ZONING APPEALS RULES OF PROCEDURE

#### **ARTICLE I - Appeals**

- A. Appeals may be filed under the following conditions:
  - 1. A property owner may appeal for variance, modification or adjustment of the requirements of the Zoning Ordinance.
  - 2. A property owner may appeal for variance, modification or adjustment of the requirements of the Sign Ordinance.
  - 3. Any aggrieved party may appeal the decision of the Planning Board and/or the Building Official in accordance with the City of Birmingham Zoning Ordinance, Article Eight, Section 8.01 (D) Appeals. If an appellant requests a review of any determination of the Building Official, a complete statement setting forth the facts and reasons for the disagreement with the Building Official's determination shall include the principal point, or points on the decision, order or section of the ordinance appealed from, on which the appeal is based.
- B. Procedures of the Board of Zoning Appeals (BZA) are as follows:
  - 1. Regular BZA meetings, which are open to the public, shall be held on the second Tuesday of the month at 7:30 P.M. provided there are pending appeals. There will be a maximum of seven appeals heard at the regular meeting which are taken in the order received. If an appeal is received on time after the initial seven appeals have been scheduled, it will be scheduled to the next regular meeting.
  - 2. All applications for appeal shall be submitted to the Community Development Department on or before the 12<sup>th</sup> day of the month preceding the next regular meeting. If the 12<sup>th</sup> falls on a Saturday, Sunday, or legal holiday, the next working day shall be considered the last day of acceptance.
  - 3. All property owners and occupants within 300 feet of the subject property will be given written notice of a hearing by the City of Birmingham.
  - 4. See the application form for specific requirements. If the application is incomplete, the BZA may refuse to hear the appeal. The Building Official or City Planner may require the applicant to provide additional information as is deemed essential to fully advise the Board in reference to the appeal. Refusal or failure to comply shall be grounds for dismissal of the appeal at the discretion of the Board.
  - 5. In variance requests, applicants must provide a statement that clearly sets forth all special conditions that may have contributed to a practical difficulty that is preventing a reasonable use of the property.

- 6. Where the Birmingham Zoning Ordinance requires site plan approval of a project by the City Planning Board before the issuance of a building permit, applicants must obtain preliminary site plan approval by the Planning Board before appeal to the BZA for a variance request. If such appeal is granted by the BZA, the applicant must seek final site plan and design review approval from the Planning Board before applying for a building permit.
- 7. An aggrieved party may appeal a Planning Board decision. Such appeal must be made within 30 days of the date of the decision. The BZA, in its discretion, may grant additional time in exceptional circumstances.
- 8. Appeals from a decision of the Building Official shall be made within 30 days of the date of the order, denial of permit, or requirement or determination contested. The BZA, in its discretion, may grant additional time in exceptional circumstances.
- 9. An appeal stays all proceedings in accordance with Act #110, Public Acts of 2006, Article VI, Section 125.3604 (3).

#### C. The order of hearings shall be:

- 1. Presentation of official records of the case by the Building Official or City Planner as presented on the application form.
- 2. Applicant's presentation of his/her case—the applicant or his/her representative must be present at the appeal hearing.
- 3. Interested parties' comments and view on the appeal.
- 4. Rebuttal by applicant.
- 5. The BZA may make a decision on the matter or request additional information.

#### D. Motions and Voting

- 1. A motion is made to either grant or deny a petitioner's request
  - a) For a motion to grant or deny a non-use variance request, the motion must receive four (4) affirmative votes to be approved.
  - b) For a motion to grant or deny a use variance request, the motion must receive five (5) affirmative votes to be approved.
  - c) For a motion to grant or deny an appeal of a decision or order by an administrative official or board, the motion must receive four (4) affirmative votes to be approved.
- 2. When a motion made is to approve or deny a petitioner's request and if there is a tie vote, then the vote results in no action by the board and the petitioner shall be given an opportunity to have his or her request heard the next regularly scheduled meeting when all the members are present.

- 3. When there are less than seven (7) members of the board present for a meeting, then a petitioner requesting a use variance shall be given an opportunity at the beginning of the meeting to elect to have it heard at the next regularly scheduled meeting.
- 4. When there are less than six (6) members present for a meeting, then all petitioners shall be given an opportunity at the beginning of the meeting to elect to have the request heard at the next regularly scheduled meeting.

#### ARTICLE II - Results of an Appeal

- A. The Board may reverse, affirm, vary or modify any order, requirement, decision or determination as in its opinion should be made, and to that end, shall have all the powers of the officer from whom the appeal has been taken.
- B. The decisions of the Board shall not become final until the expiration of five (5) days from the date of entry of such orders or unless the Board shall find that giving the order immediate effect is necessary for the preservation of property and/or personal rights and shall so certify on the record.
- C. Whenever any variation or modification of the Zoning Ordinance is authorized by resolution of the BZA, a <u>Certificate of Survey</u> must be submitted to the Community Development Department with the building permit application. A building permit must be <u>obtained</u> within one year of the approval date.
- D. Failure of the appellant, or his representative, to appear for his appeal hearing will result in the appeal being adjourned to the next regular meeting. If, after notice, the appellant fails to appear for the second time, it will result in an automatic withdrawal of the appeal. The appellant may reapply to the BZA.
- E. Any applicant may, with the consent of the Board, withdraw his application at any time before final action.
- F. Any decision of the Board favorable to the applicant is tied to the plans submitted, including any modifications approved by the Board at the hearing and agreed to by the applicant, and shall remain valid only as long as the information or data provided by the applicant is found to be correct and the conditions upon which the resolution was based are maintained.

#### **ARTICLE III - Rehearings**

A. No rehearing of any decision of the Board shall be considered unless new evidence is submitted which could not reasonably have been presented at the previous hearing or unless there has been a material change of facts or law.

B. Application or rehearing of a case shall be in writing and subject to the same rules as an original hearing, clearly stating the new evidence to be presented as the basis of an appeal for rehearing.

I certify that I have read and understand the above rules of procedure for the City of Birmingham Board of Zoning Appeals.

Signature of Applicant



735 Forest Avenue Suite 204

Phone: 248.642.5330 Fax: 248.642.5331 www.templetonbc.com

Birmingham, MI 48009

October 3, 2023

City of Birmingham 151 Martin Birmingham, MI 48009

Attn: Zoning Board of Appeals Re: 1395 Northlawn Blvd.

To Whom it May Concern:

We bring to the Zoning Board of Appeals our hardship regarding 1395 Northlawn Blvd. for the following reasons:

- 1. Lot location and shape:
  - a. The lot is directly adjacent to the Birmingham Country club on the west side.
  - b. The lot is a pie shaped lot which is unique in the neighborhood.
  - c. These two items cause a pinch point at the front of the home where the driveway, golf course fence, and house meet on the west side causing the home to be shifted to the east side of the lot. The home is moved as close as possible toward the west to allow for the driveway to pass through the limited space between the house and the fence.
  - d. Along the east property line, as the house moves towards the south, the house continually moves farther from the neighboring house on the east.
- 2. Our encroachment in the distance between the buildings only affects our lot, if the neighboring property to the east were to ever change their property in the future, this would not affect their ability to expand their home as their required distance between buildings is 12.5′.
- 3. The home was built within accordance of the approved plans. The home was constructed with a distance between the buildings of 14.59'. It has only recently come to our attention that the distance between buildings should have been required at a distance of 15.50'.



735 Forest Avenue Suite 204

Birmingham, MI 48009 Phone: 248.642.5330 Fax: 248.642.5331 www.templetonbc.com

Due to the reasons listed above, we are asking for a variance of 0.91' to be granted which would allow the structure to remain as constructed and have no effect on the future development of the neighboring properties.

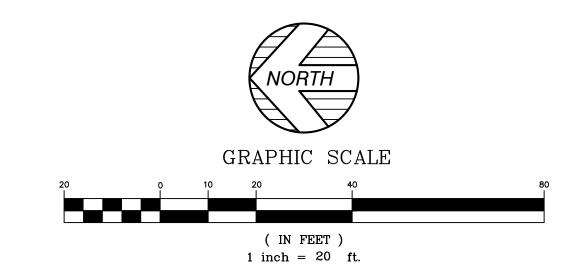
We appreciate your consideration in this matter.

Sincerely,

Ben Templeton President

# E. LINCOLN ST. NORTHLAWN BLVD. -EVERGREEN RD. BEVERLY RD. **VICINITY MAP**

# EXISTING CONDITIONS



## PARCEL AREA

22,620± SQUARE FEET = 0.519± ACRES

## SITE BENCHMARKS

SITE BENCHMARK RIM OF SANITARY MANHOLE IN NORTHLAWN BLVD. AT FRONT OF PROPERTY. ELEVATION = 730.08' (NAVD 88 DATUM)

BIRMINGHAM BENCHMARK #31 AT NORTHEAST CORNER OF FAIRWAY AND

ELEVATION = 710.64' (CITY DATUM), 709.79' (NAVD 88 DATUM)

# SURVEYOR'S NOTES

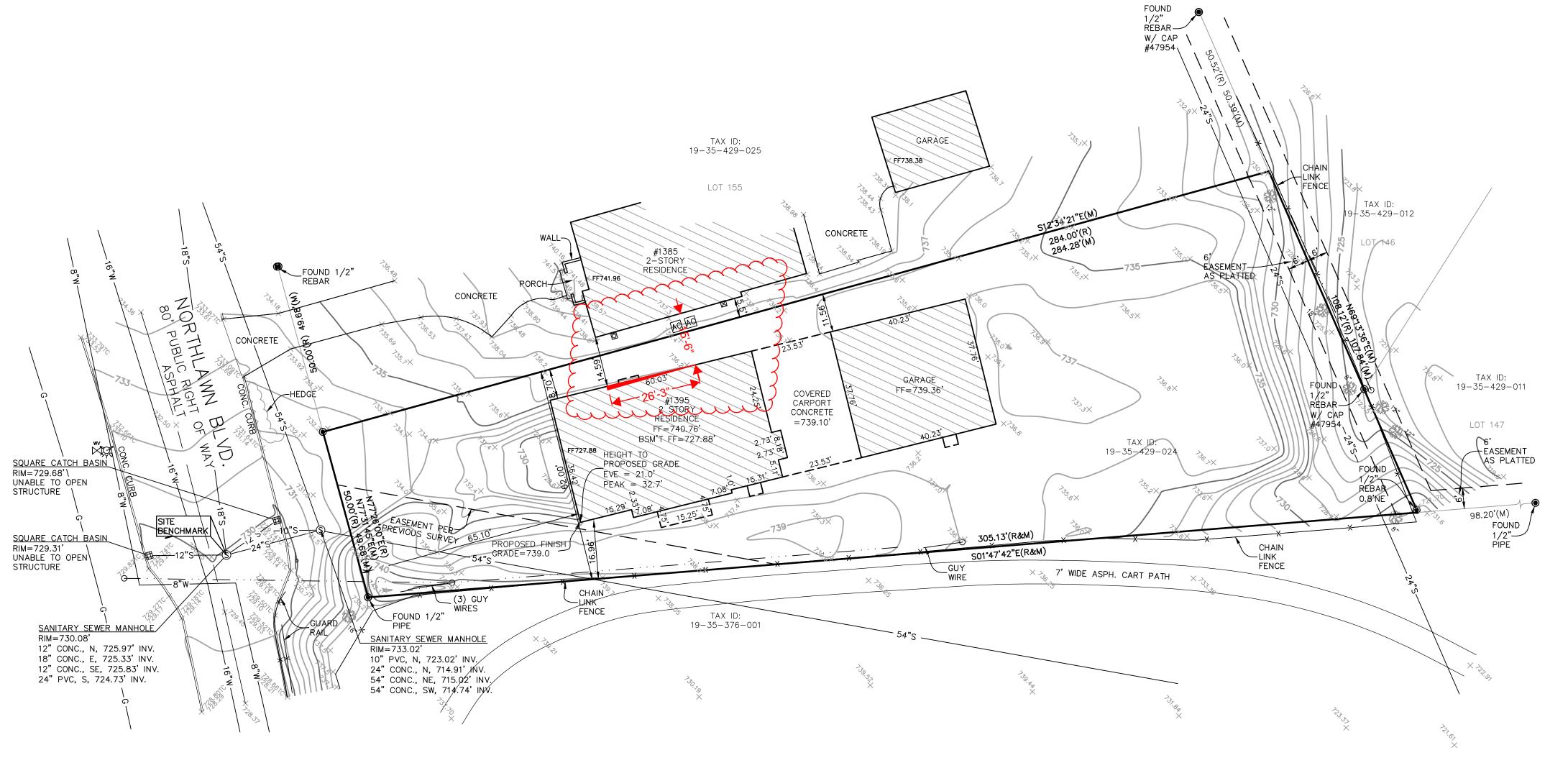
1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

2. A CURRENT TITLE POLICY HAS NOT BEEN FURNISHED AT TIME OF SURVEY, THEREFORE EASEMENTS AND/OR ENCUMBRANCES AFFECTING SUBJECT PARCEL

SET 1/2" REBAR WITH CAP P.S. 47976

# **LEGEND**

| •                  | FOUND MONUMENT (AS NOTED)     |
|--------------------|-------------------------------|
| (R&M)              | RECORD AND MEASURED DIMENSION |
| (R)                | RECORD DIMENSION              |
| (M)                | MEASURED DIMENSION            |
| × <sup>000.0</sup> | EXISTING GROUND POINT         |
| $\boxtimes$        | ELECTRIC METER                |
|                    | GAS METER                     |
| 0                  | UTILITY POLE                  |
| <b>S</b>           | SANITARY MANHOLE              |
| <b>S</b>           | PROPOSED GRINDER PUMP         |
| <b>III</b>         | SQUARE CATCH BASIN            |
| ₩<br>w<br>N        | FIRE HYDRANT                  |
| ₩V<br>⊠            | WATER VALVE                   |
| AC                 | AIR CONDITIONING UNIT         |
|                    | TREE                          |
| <b>S</b>           | PROPOSED CATCH BASIN          |
| ⊗                  | PROPOSED CLEANOUT             |
|                    | PARCEL BOUNDARY LINE          |
|                    | PLATTED LOT LINE              |
|                    | EASEMENT (AS NOTED)           |
|                    | EXISTING BUILDING             |
|                    | EXISTING BUILDING OVERHANG    |
|                    | PROPOSED BUILDING             |
|                    | CENTERLINE ROAD               |
|                    | CONCRETE CURB                 |
|                    | EDGE OF CONCRETE (CONC.)      |
|                    | EDGE OF ASPHALT (ASPH.)       |
| X                  | FENCE (AS NOTED)              |
|                    | WALL (AS NOTED)               |
| <u> </u>           | OVERHEAD UTILITY LINE         |
| G                  |                               |
| s                  |                               |
| w                  | WATER LINE                    |
|                    | CONTOUR MAJOR                 |
|                    | CONTOUR MINOR                 |



# PROPERTY DESCRIPTION

LAND SITUATED IN THE CITY OF BIRMINGHAM, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

LOT 154 OF "J. LEE BAKER CO.'S BIRMINGHAM HILLS SUB.", PART OF THE E. 1/2 OF THE S.E. 1/4 OF SECTION 35, T.2N., R.10E., CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 41 OF PLATS, PAGE 40 OF OAKLAND COUNTY RECORDS.

## FRONT SETBACK TABLE

| DISTANCE: | MEASURED TO:   |
|-----------|----------------|
| 79.8'     | PORCH          |
| 50.2'     | HOUSE          |
| 65.0'     |                |
|           | 79.8'<br>50.2' |

# **ZONING REQUIREMENTS**

ZONED: R1 SINGLE FAMILY RESIDENTIAL

MINIMUM LOT AREA: 9,000 SQ. FT. MINIMUM OPEN SPACE: 40% MAXIMUM LOT COVERAGE: 30%

MINIMUM SETBACK REQUIREMENTS:

FRONT: AVERAGE OF HOMES WITHIN 200 FEET REAR: 30 FEET ONE SIDE YARD: 9 FEET OR 10% OF TOTAL LOT WIDTH; WHICHEVER IS GREATER (NO SIDE YARD SHALL BE LESS THAN 5 FEET)

COMBINED SIDE YARD: 14 FEET OR 25% OF TOTAL LOT WIDTH;

WHICHEVER IS GREATER MINIMUM FLOOR AREA PER UNIT: 1,500 SQ. FT.

MAXIMUM BUILDING HEIGHT: 28 FEET TO MIDPOINT FOR SLOPED ROOFS; 24 FEET FOR FLAT ROOFS ONLY; 2 STORIES; 24 FEET FOR EAVES

EACH RESIDENTIAL LOT SHALL PROVIDE A MINIMUM DISTANCE BETWEEN PRINCIPAL RESIDENTIAL BUILDINGS ON ADJACENT LOTS OF 14 FEET OR 25% OF THE TOTAL LOT WIDTH, WHICHEVER IS LARGER.

NOTE: ALL ZONING INFORMATION WAS TAKEN FROM THE CITY OF BIRMINGHAM WEBSITE. ALL ZONING INFORMATION MUST BE VERIFIED FOR COMPLETENESS WITH CURRENT ZONING REGULATIONS.

# SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED. THE ELEVATIONS SHOWN HEREON ARE BASED ON A FIELD SURVEY AND THE DRAWING HEREON DELINEATED IS A CORRECT REPRESENTATION OF THE SAME.

ANTHONY T. SYCKO, JR., P.S. PROFESSIONAL SURVEYOR MICHIGAN LICENSE NO. 47976

REVISED 7/14/23 - ADDED FRONT SET BACK DIMENSION



KEM-TEC & ASSOCIATES PROFESSIONAL SURVEYORS - PROFESSIONAL ENGINEERS 22556 GRATIOT AVE \* EASTPOINTE, MICHIGAN 48021 (586)772-2222 \* (800)295-7222 \* FAX (586)772-4048

| PREPARED FOR: TEMPLETON BUILDING COMPANY |                 |  |  |  |  |  |
|--|-----------------|--|--|--|--|--|
| DATE: JUNE 07, 2023                      | JOB #: 23-01174 |  |  |  |  |  |
| SCALE: 1" = 20'                          | SHEET: 1 OF 1   |  |  |  |  |  |
| DRAWN BY: MRJ                            | RFV.:           |  |  |  |  |  |

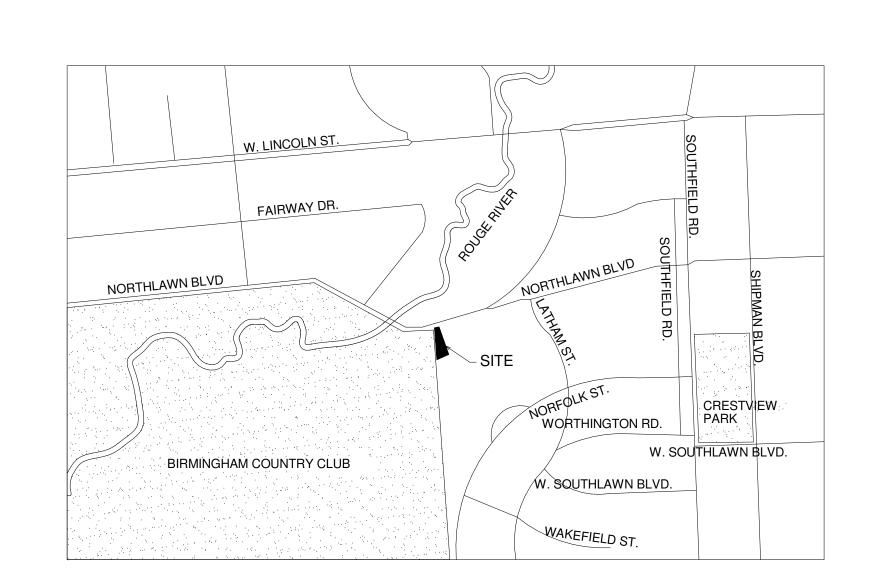
# Soloz Residence

# Birmingham, Michigan

| Dra  | ving Schedule               | Issued               | Issued          | Issued               | Issued              | Issued              | Issued              | Issued         | Issued     | Issued |
|------|-----------------------------|----------------------|-----------------|----------------------|---------------------|---------------------|---------------------|----------------|------------|--------|
|      |                             | For Permit<br>"ONLY" | Owner<br>Review | Entrance<br>Revision | Construction<br>Set | Construction<br>Set | Pricing Set<br>Only | Current<br>Set | Replot Set |        |
| SP-1 | SITE PLAN                   | 4-13-2018            | 7-10-2018       | 7-23-2018            | 8-10-2018           | 9-17-2018           | 8-27-2019           | 9-23-2019      | 6-9-2020   |        |
| F-1  | FOUNDATION PLAN             | 4-13-2018            | 7-10-2018       | 7-23-2018            | 8-10-2018           | 9-17-2018           | 8-27-2019           |                | 12-6-2019  |        |
| A-1  | BASEMENT & FIRST FLOOR PLAN |                      |                 |                      |                     |                     |                     | 9-23-2019      | 12-6-2019  |        |
| A-2  | SECOND & ATTIC PLAN         |                      |                 |                      |                     |                     |                     | 9-23-2019      | 3-18-2020  |        |
| A-3  | ELEVATIONS                  |                      |                 |                      |                     |                     |                     | 9-23-2019      | 2-24-2020  | )      |
| A-4  | ELEVATIONS                  | 4-13-2018            | 7-10-2018       | 7-23-2018            | 8-10-2018           | 9-17-2018           | 8-27-2019           | 9-23-2019      | 12-6-2019  |        |
| A-5  | ELEVATIONS                  | 4-13-2018            | 7-10-2018       | 7-23-2018            |                     | 9-17-2018           |                     |                | 12-6-2019  |        |
| A-6  | BUILDING SECTIONS           | 4-13-2018            | 7-10-2018       | }                    | 8-10-2018           | 9-17-2018           | 8-27-2019           | 9-23-2019      |            |        |
| A-7  | BUILDING SECTIONS           | 4-13-2018            | 7-10-2018       | }                    | 8-10-2018           | 9-17-2018           | 8-27-2019           | 9-23-2019      | 3-18-2020  | 1      |
| A-8  | STAIR SECTIONS              | 4-13-2018            | 7-10-2018       | <b>}</b>             | 8-10-2018           | 9-17-2018           | 8-27-2019           | 9-23-2019      |            |        |
| A-9  | WALL SECTIONS               | 4-13-2018            | 7-10-2018       |                      | 8-10-2018           | 9-17-2018           | 8-27-2019           | 9-23-2019      | 2-24-2020  |        |
| A-10 | WALL SECTIONS               | 4-13-2018            | 7-10-2018       |                      | 8-10-2018           |                     | 8-27-2019           | 9-23-2019      | 5-29-2020  | )      |
| A-11 | DETAILS                     | 4-13-2018            |                 |                      | 8-10-2018           |                     | 8-27-2019           | 9-23-2019      | 5-12-2020  |        |
| A-12 | PIPING PENATRATION PLAN     |                      | 7-10-2018       |                      | 8-10-2018           |                     | 8-27-2019           | 9-23-2019      |            |        |
| E-1  | ELECTRICAL PLANS            | 4-13-2018            |                 |                      | 8-10-2018           | <u> </u>            | 8-27-2019           | 9-23-2019      |            |        |
| E-2  | ELECTRICAL PLANS            | 4-13-2018            |                 |                      | 8-10-2018           |                     | 8-27-2019           | 9-23-2019      |            |        |
| 5-1  | STRUCTURAL PLANS            |                      |                 |                      |                     |                     | 8-27-2019           | 9-23-2019      |            |        |
| 5-2  | STRUCTURAL PLANS            |                      |                 |                      |                     |                     | 8-27-2019           | 9-23-2019      |            |        |
| 5-3  | DETAILS                     |                      |                 |                      |                     |                     | 8-27-2019           | 9-23-2019      |            |        |

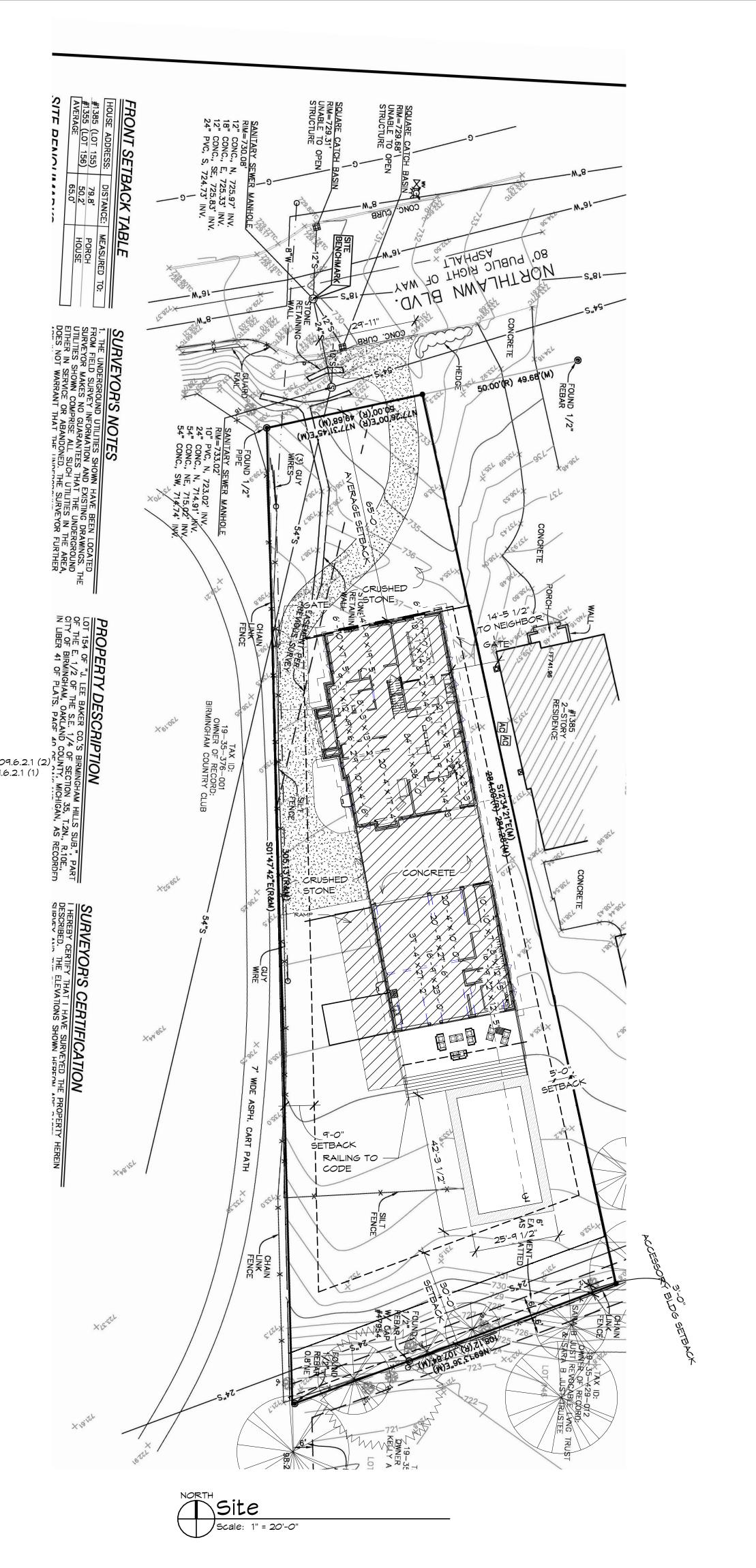
| ZONING R-1<br>MAXIMUM HEIGHT 30' TO MIDPOINT<br>MAXIMUM LOT COVERAGE 30%<br>EXISTING LOT COVERAGE NA<br>PROPOSED LOT COVERAGE 27.8%  | HOUSE:<br>POOL:<br>TOTAL:                     | 5,406 SQFT<br>624 SQFT<br>6,030 SQFT |
|--|---|--------------------------------------|
| MAXIUM FRONT COVERAGE: 30%   | SITE:   | 21,704 SQFT                          |
| PROPOSED FRONT COVERAGE: 22.0%  SETBACKS  FRONT = AVG. OF HOMES 200'  REAR = 30'  ONE SIDE = 9' OR 10% OF  LOT WIDTH WHICHEVER IS GREATER  CURB CUT WIDTH: 30' + 2' FLARES ON EA | FRONT: FRONT DRIVEWAY:  CH SIDE               | 3,568 SQFT<br>790 SQFT               |
| OTHER SIDE = 5' OR 25% OF<br>LOT WIDTH WHICHEVER IS GREATER  |   |                                      |
| LOT WIDTH MEASURED AT LINE OF FRON<br>SETBACK<br>LOT WIDTH = 62'<br>10% OF 62' = 6.2'<br>25% OF 62' = 15.5'  | т   |                                      |
| DESIGN LOADS   |   |                                      |
| ROOF SNOW LOAD: GROUND SNOW LOAD: SNOW EXPOSED FACTOR: SNOW EXPOSED IMPORTANCE FACTOR THERMAL FACTOR: FLAT ROOF SNOW LOAD: PF = 0.7Ce  | Ct = 1.0                                      | CSE 7, 7.3)                          |
| MIND LOAD:  BASIC MIND SPEED (3 SECOND GUST)  MIND IMPORTANCE FACTOR   | 1 = 1.0                                       |                                      |
| WIND EXPOSURE:<br>COMPONENTS & CLADDING:<br>DESIGN WIND PRESSURE: (horizontal)   | B<br>WALL = -15 PSF / F<br>WALL = -12 PSF / F |                                      |

|                 |  |   | _ |
|-----------------|--|---|---|
| IGN LOAI        | DS .                                       |   | 1 |
| FL <i>OO</i> R: | 50 PSF LIVE<br>20 PSF DEAD<br>70 PSF TOTAL | 2ND FLOOR: 30 PSF LIVE<br>15 PSF DEAD<br>45 PSF TOTAL |   |



Location Map

Scale: N.T.S.



Royal Oak, MI 48073

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Jenn Solcz

2085 Pontiac Dr, Sylvan Lake, MI 48320

Solcz New Home

1395 Northlawn Blvd., Birmingham, MI

Title Sheet & Site

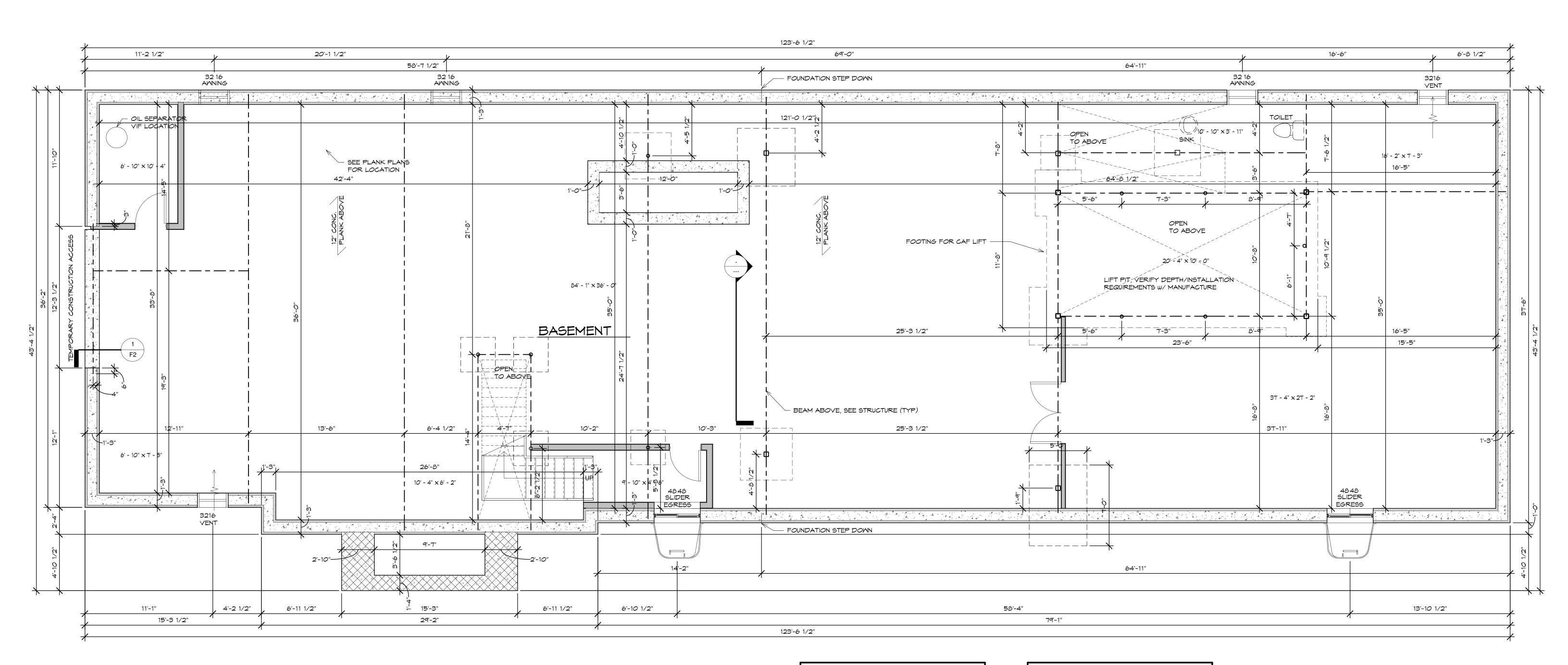
Project Number: 16109 Drawn By: MJN,AJM Checked By: AJM Approved By: MJG Date:06-12-2016

**Issued:**Owner Review Owner Review City Review To Engineer Owner Review 02-28-18 City Review For Permit "ONLY" Entrance Revisions 7-23-18 Construction Set 9-17-18 For Pricing Only 08-27-19

**Sheet Number:** 

Current Set 09-23-19

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# FOUNDATION PLAN

30dic. 174 - 1 0

NOTE: PROVIDE SOLID BRIDGING AT JOIST END @ EVERY OTHER JOIST SPACE. TYP.

NOTE:
FOUNDATION REINFORCING SHALL BE
GROUNDED PER THE BUILDING AND
ELECTRICAL CODES AND A GROUNDING ROD
IS TO BE INSTALLED

PROVIDE SELF-ILLUMINATED SMITCH AT TOP & BOTTOM OF EACH STAIR. CONTROLLING LIGHT FOR THAT STAIR

PROVIDE PIN OR BLOCKING TO PREVENT DOORS TO OPEN BEYOND 4". PIN OR BLOCK TO REMAIN IN PLACE UNTIL DECK OR LANDING IS CONSTRUCTED OUTSIDE OF DOOR.

NOTE:
MINIMUM HEADER SIZE TO BE (2) 2X10'S FOR
OPENINGS UP TO SIX FOOT IN LENGTH UNLESS
NOTED OTHERWISE.

MICHIGAN RESIDENTIAL CODE 2015 (MRC

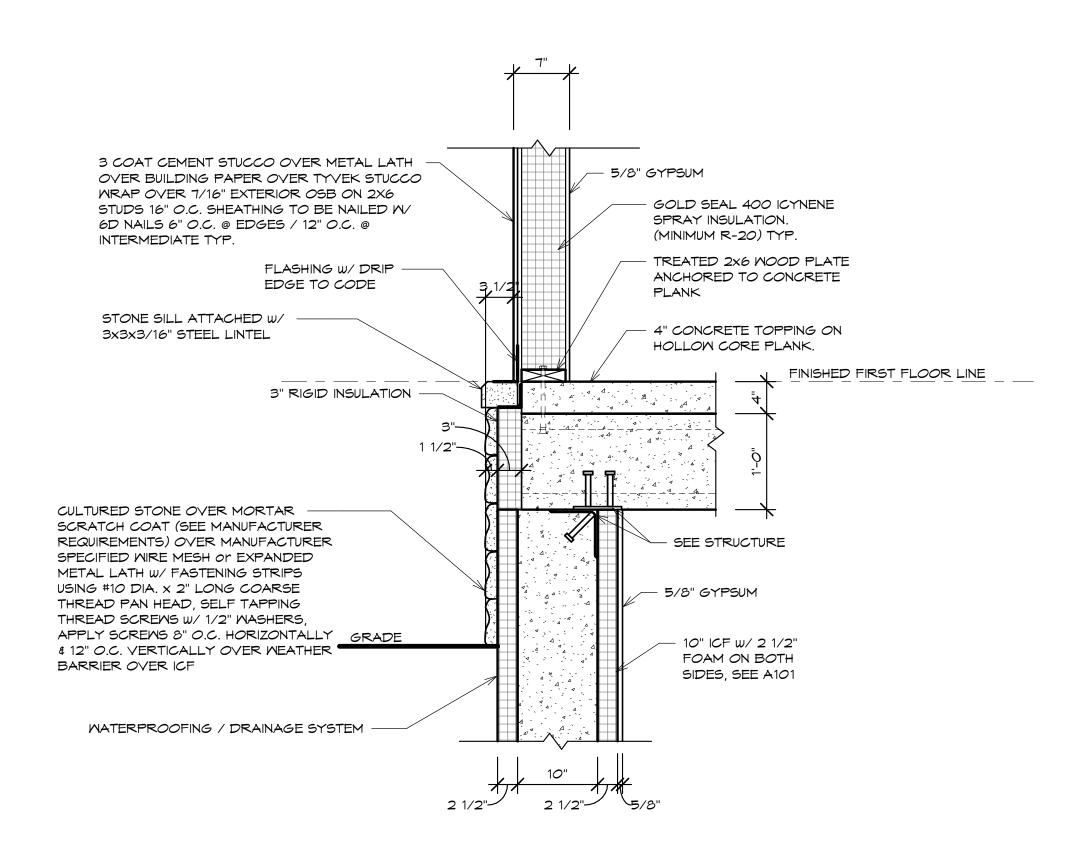
CONTRACTOR TO MEET THE MINIMUM OR EXCEED MUEC 401.2 CODE COMPLIANCE.

NOTE: CONTRACTOR TO PROVIDE FIRE STOPPING PER MRC 2015 CODE

CONTRACTOR TO VERIFY ALL DIMENSION PRIOR TO CONSTRUCTION.

NOTE: CONTRACTOR TO VERIFY WINDOW MANUFACTURER BEFORE ORDERING NEW WINDOWS NOTE: ALL DIMENSIONS TO ICF WALL (2 1/2" FOAM BOTH SIDES 10" CONC. SEE A101)

NOTE:
SEE STRUCTURAL PLANS FOR ALL FOUNDATION &
STRUCTURAL SIZES, REQUIRMENTS AND
SPECIFICATIONS







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Client:

Jenn Solcz

2085 Pontiac Dr, Sylvan Lake, MI 48320

Project Title:
Solcz New
Home

1395 Northlawn Blvd., Birmingham, MI

Sheet Title: Foundation Plan

Project Number: 16109
Drawn By: MJN,AJM
Checked By: AJM
Approved By: MJG
Date:06-12-2016

Issued: Owner Review 7-10-18 7-17-18 Owner Review Foundation 8-10-18 Construction Set 9-17-18 Foundation 9-19-18 Foundation Revised 10-2-18 Revised Foundation 11-16-18 Revised Foundation 11-20-18 Revised Foundation 12-12-18 Owner Review 01-14-19 Revised Foundation 03-04-19 Elevator Pit 05-09-19

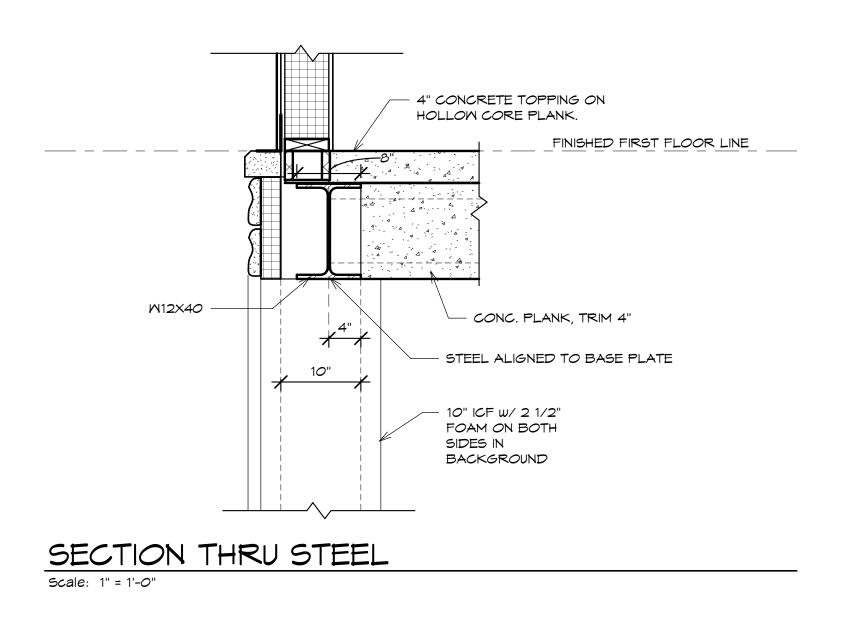
Sheet Number:

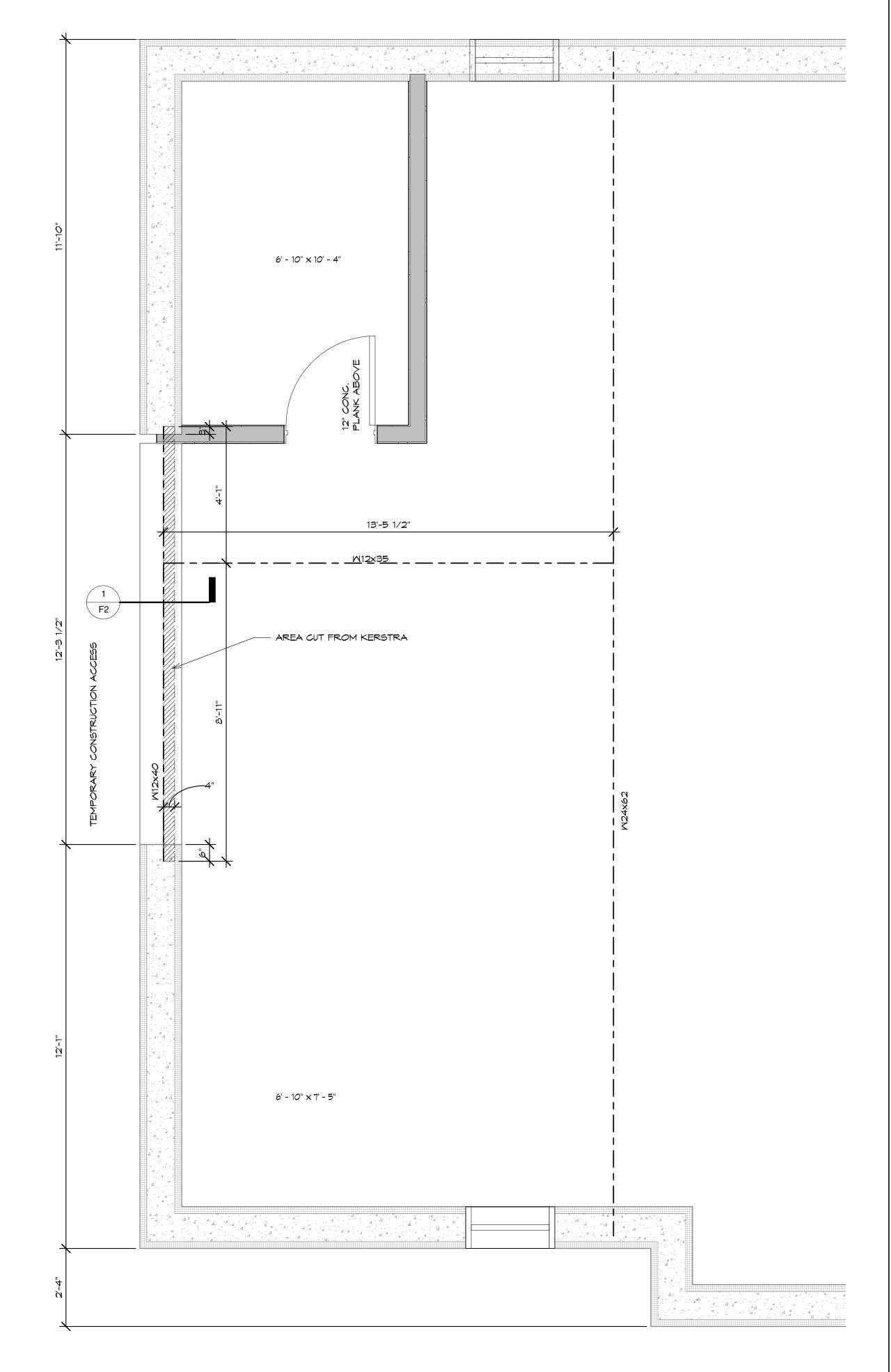
06-05-19

F1

For Kerkstra

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KERSTRA CUTTING PLAN Scale: 1/2" = 1'-0"

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**Project Title:** Solcz New Home

1395 Northlawn Blvd., Birmingham, MI

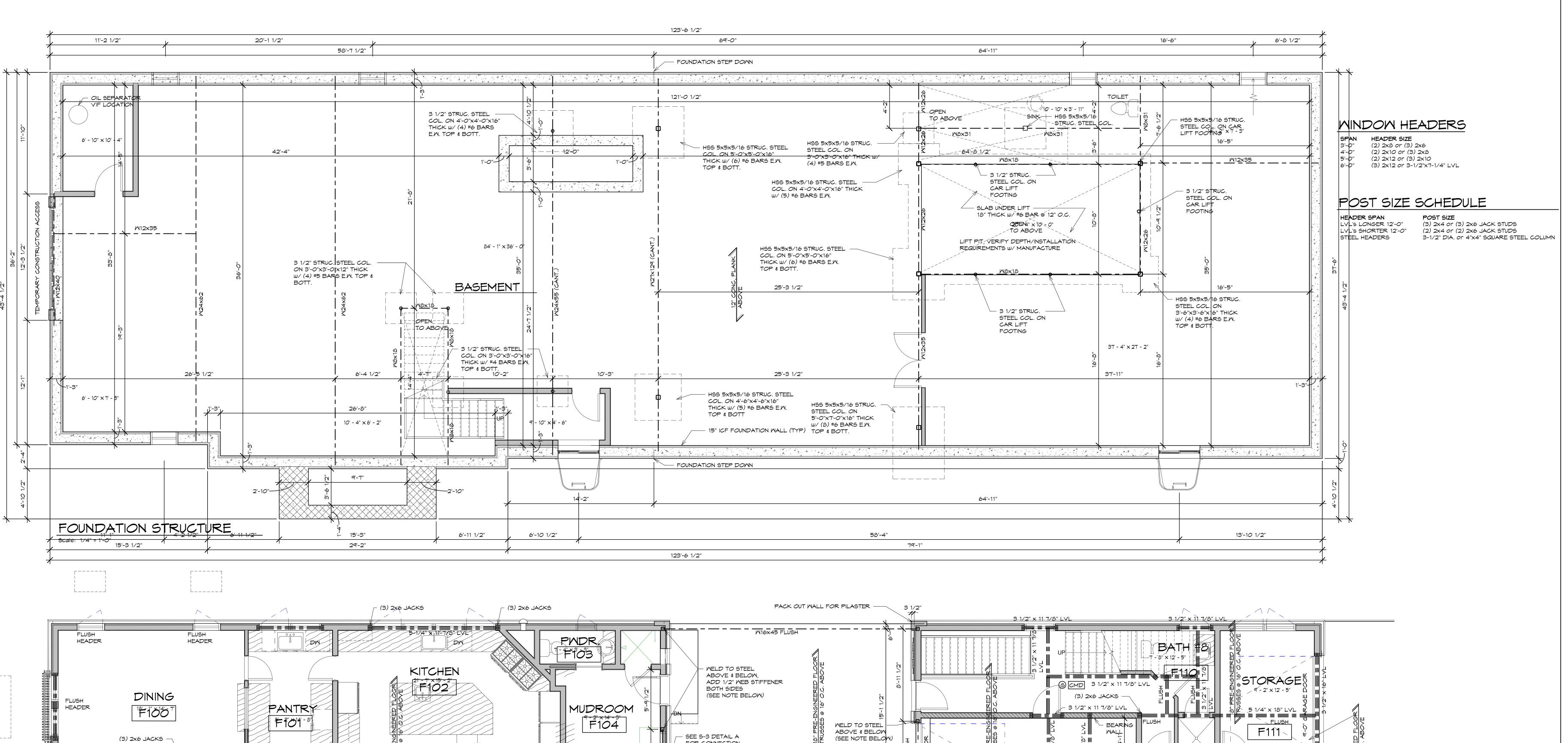
**Sheet Title:** DETAILS

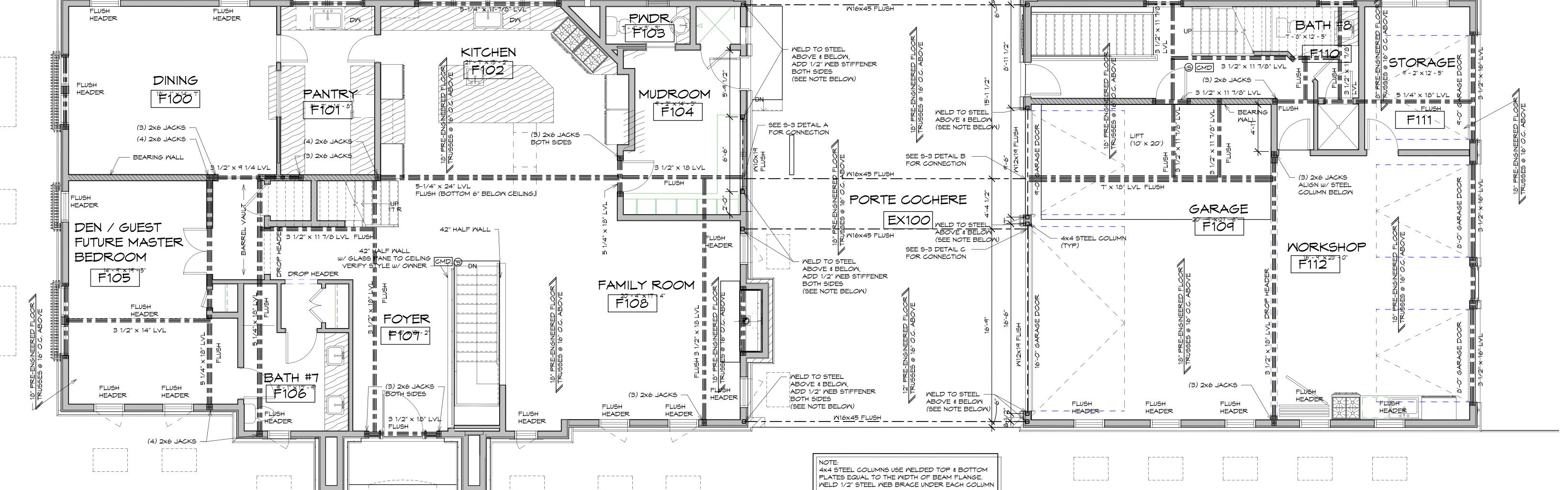
Project Number: 16109 Drawn By: MJN,AJM Checked By: AJM Approved By: MJG Date:06-12-2016

**Issued:** For Kerkstra

06-05-19

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FIRST FLOOR STRUCTURE

Scale: 1/4" = 1'-0"

Architects/Designers

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Client:

Jenn Solcz

2085 Pontiac Dr, Sylvan Lake, MI 48320

Project Title:
Solcz New
Home

1395 Northlawn Blvd., Birmingham, MI

Sheet Title:
STRUCTURAL
PLANS

Project Number: 16109
Drawn By: MJN,AJM
Checked By: AJM
Approved By: MJG
Date:06-12-2016

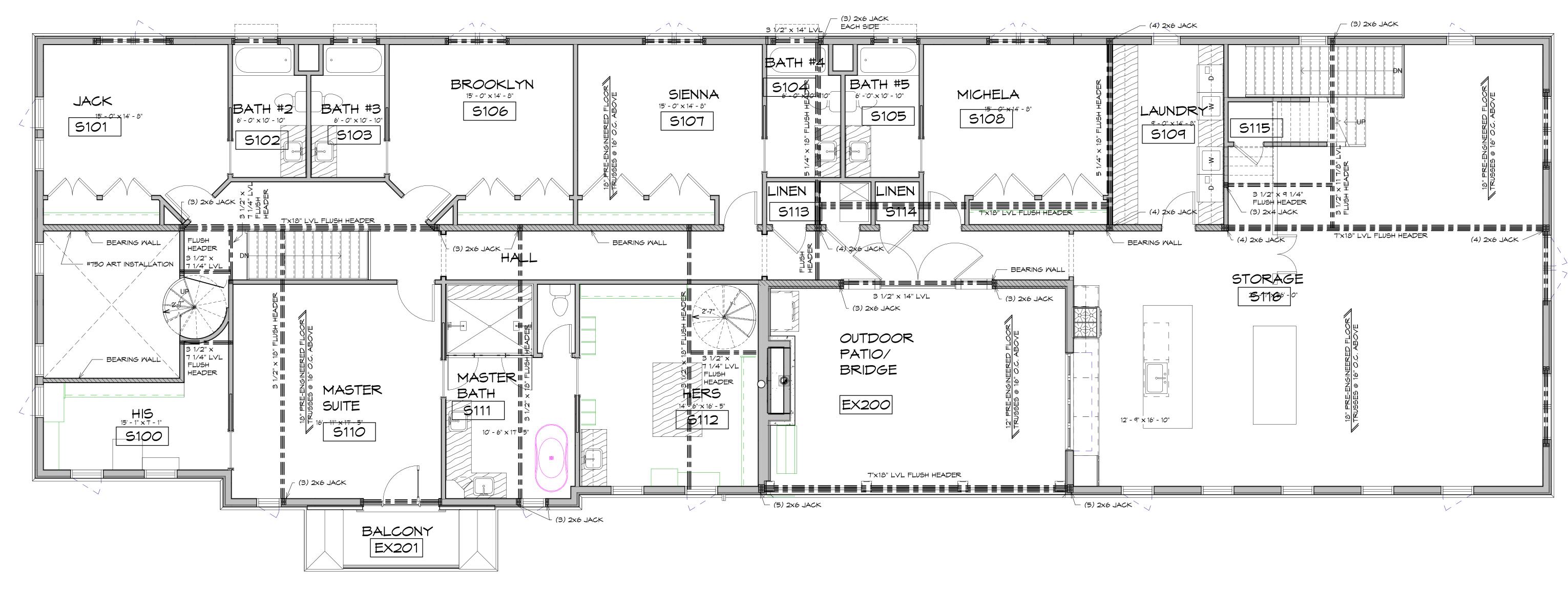
Issued:

Owner Review 01-14-19
Revised Structure 02-19-19
Engineer Review 02-28-19
Revised Foundation 03-04-19
Elevator Pit 05-09-19
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Current Set 09-23-19

Sheet Number:

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# MINDOM HEADERS

SPAN HEADER SIZE
3'-0" (2) 2x8 or (3) 2x8

3'-0" (2) 2x8 or (3) 2x6 4'-0" (2) 2x10 or (3) 2x8 5'-0" (2) 2x12 or (3) 2x10

STEEL HEADERS

POST SIZE SCHEDULE

6'-0" (3) 2x12 or 3-1/2"x7-1/4" LVL

 HEADER SPAN
 POST SIZE

 LVL'S LONGER 12'-O"
 (3) 2x4 or (3) 2x6 JACK STUDS

 LVL'S SHORTER 12'-O"
 (2) 2x4 or (2) 2x6 JACK STUDS

3-1/2" DIA. or 4"x4" SQUARE STEEL COLUMN

Jenn Solcz

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Project Title: Solcz New Home

1395 Northlawn Blvd., Birmingham, MI

Sheet Title:
STRUCTURAL
PLANS

Project Number: 16109
Drawn By: MJN,AJM
Checked By: AJM
Approved By: MJG
Date:06-12-2016

Issued:

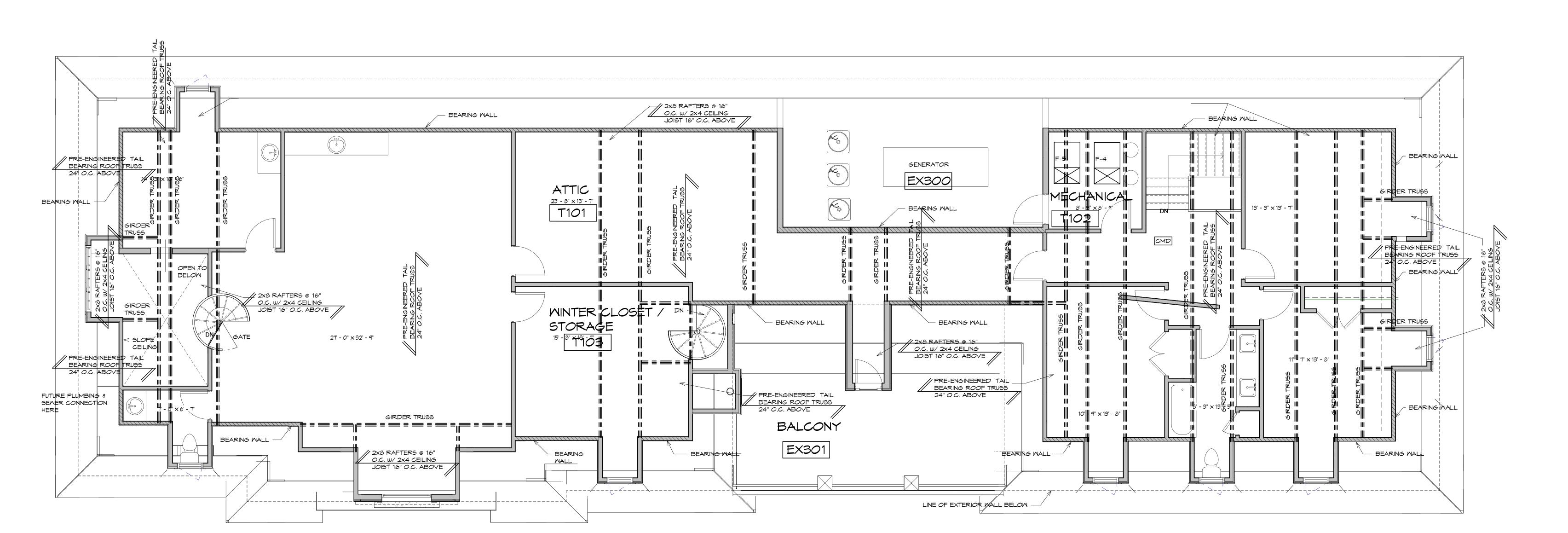
Owner Review 01-14-19
Engineer Review 02-28-19
Revised Foundation 03-04-19
For Pricing Only 08-27-19
Revision 08-28-19
Current Set 09-23-19

Sheet Number:

52

SECOND FLOOR STRUCTURE

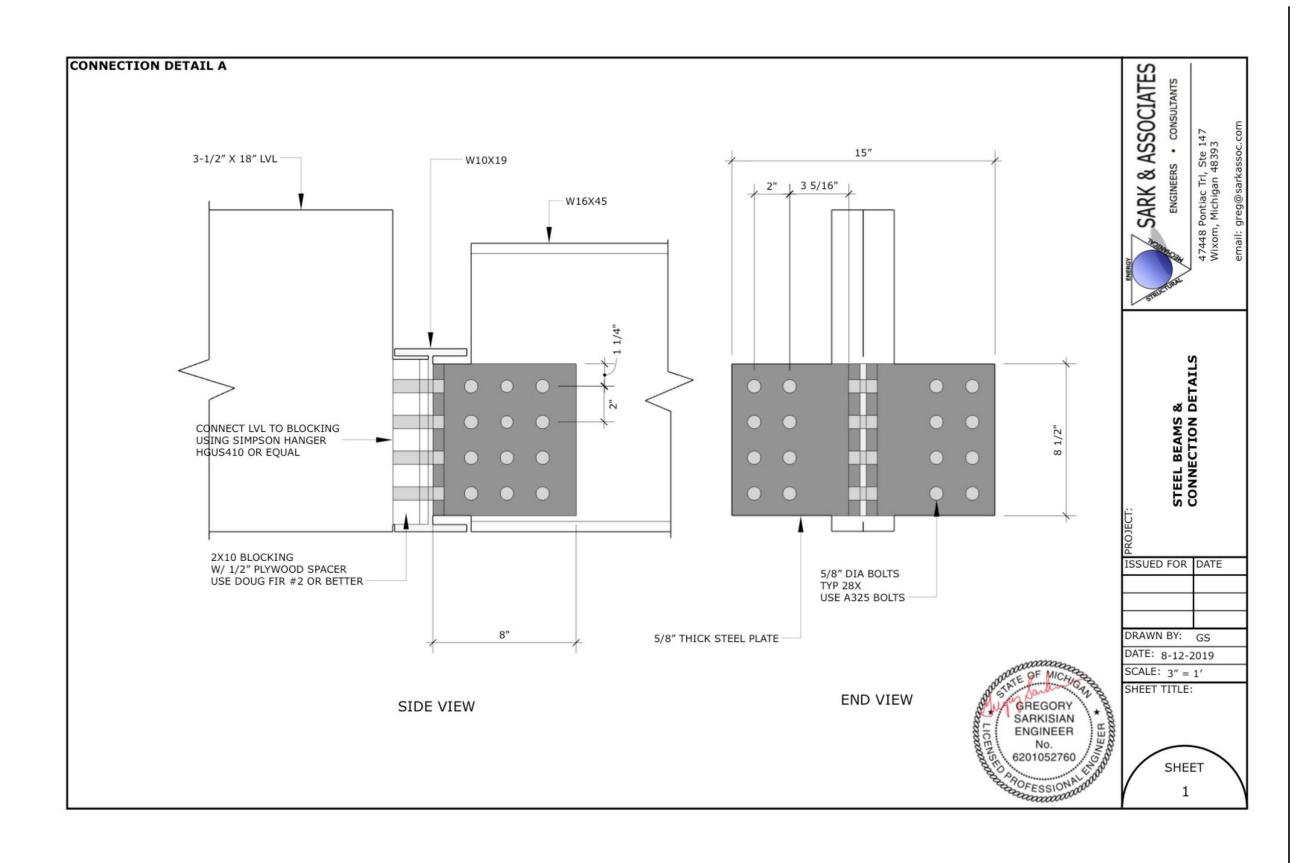
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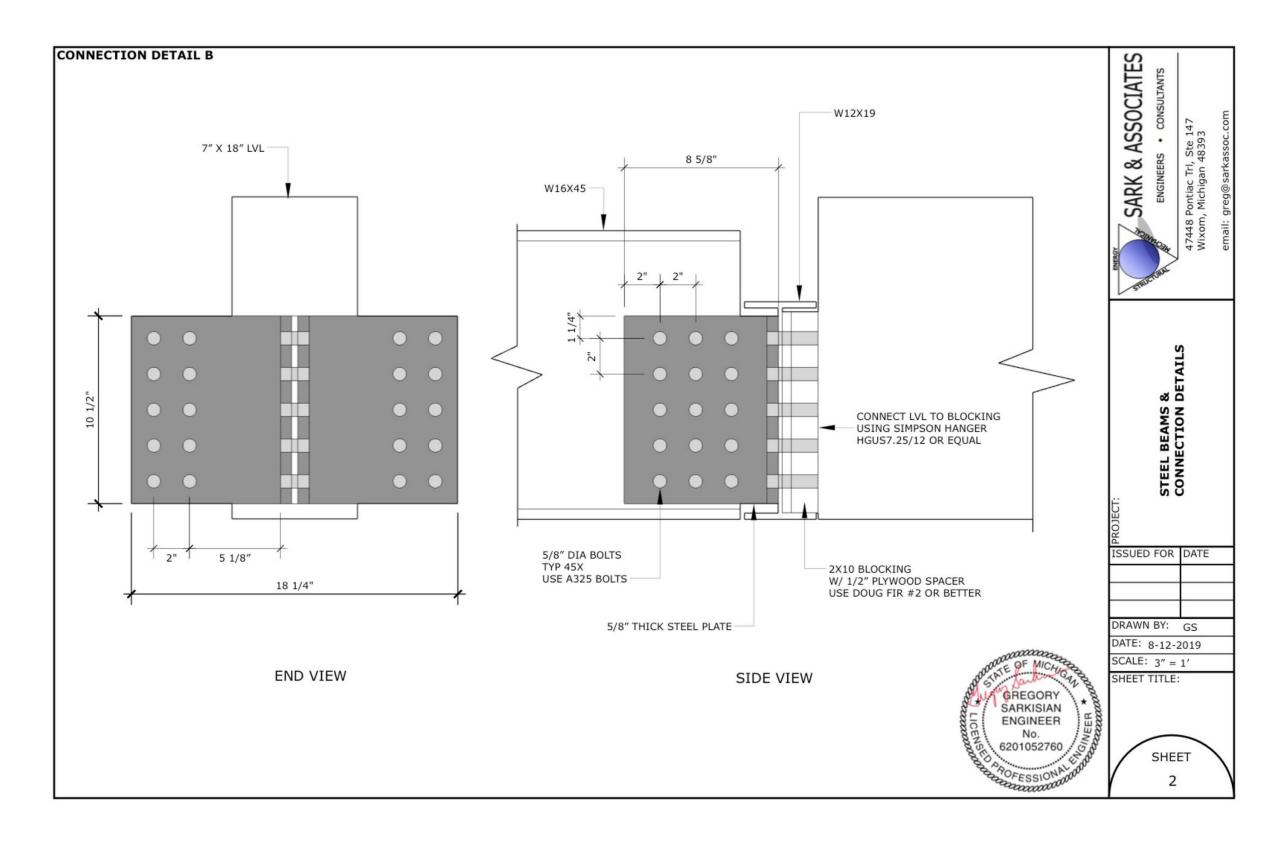


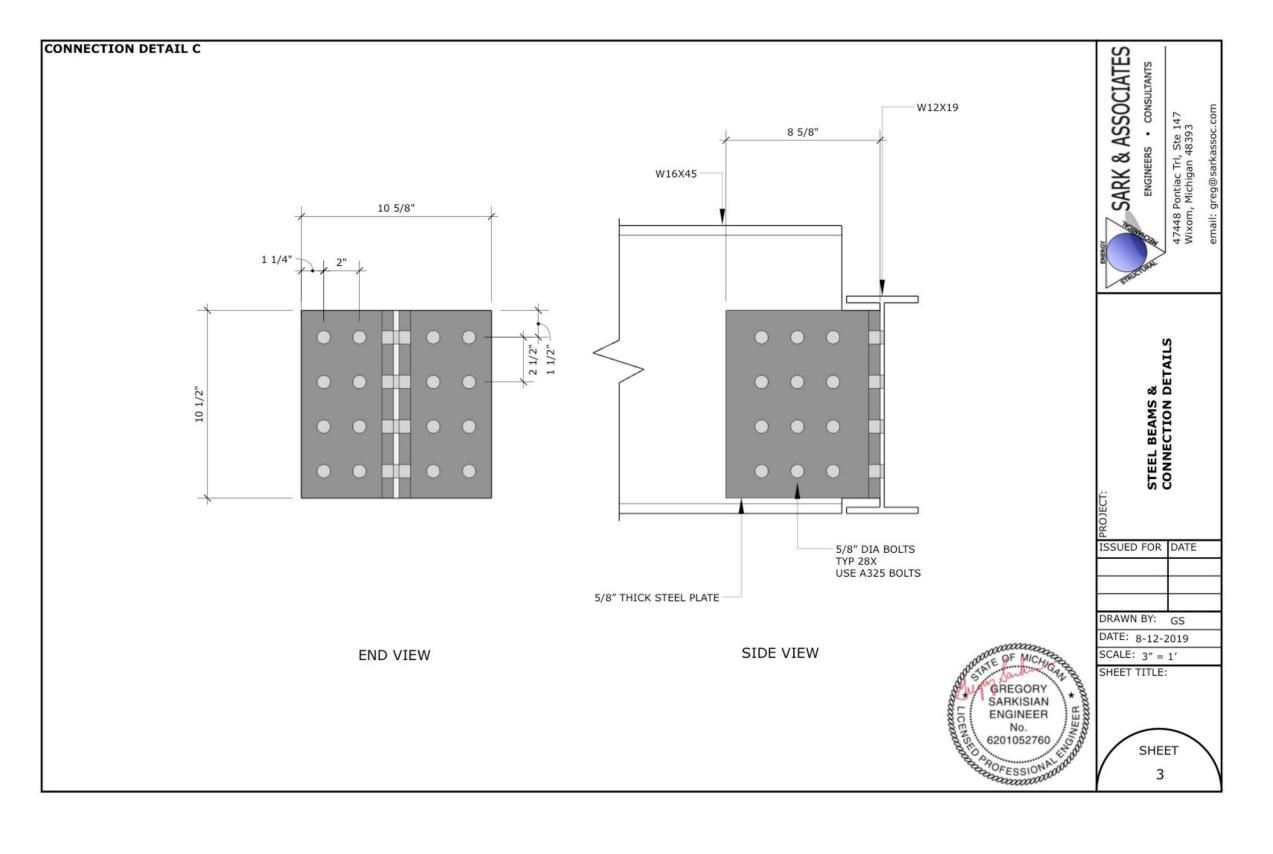
ATTIC STRUCTURE

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2085 Pontiac Dr, Sylvan Lake, MI 48320

**Project Title:** Solcz New Home 1395 Northlawn Blvd.,

**Sheet Title:** DETAILS

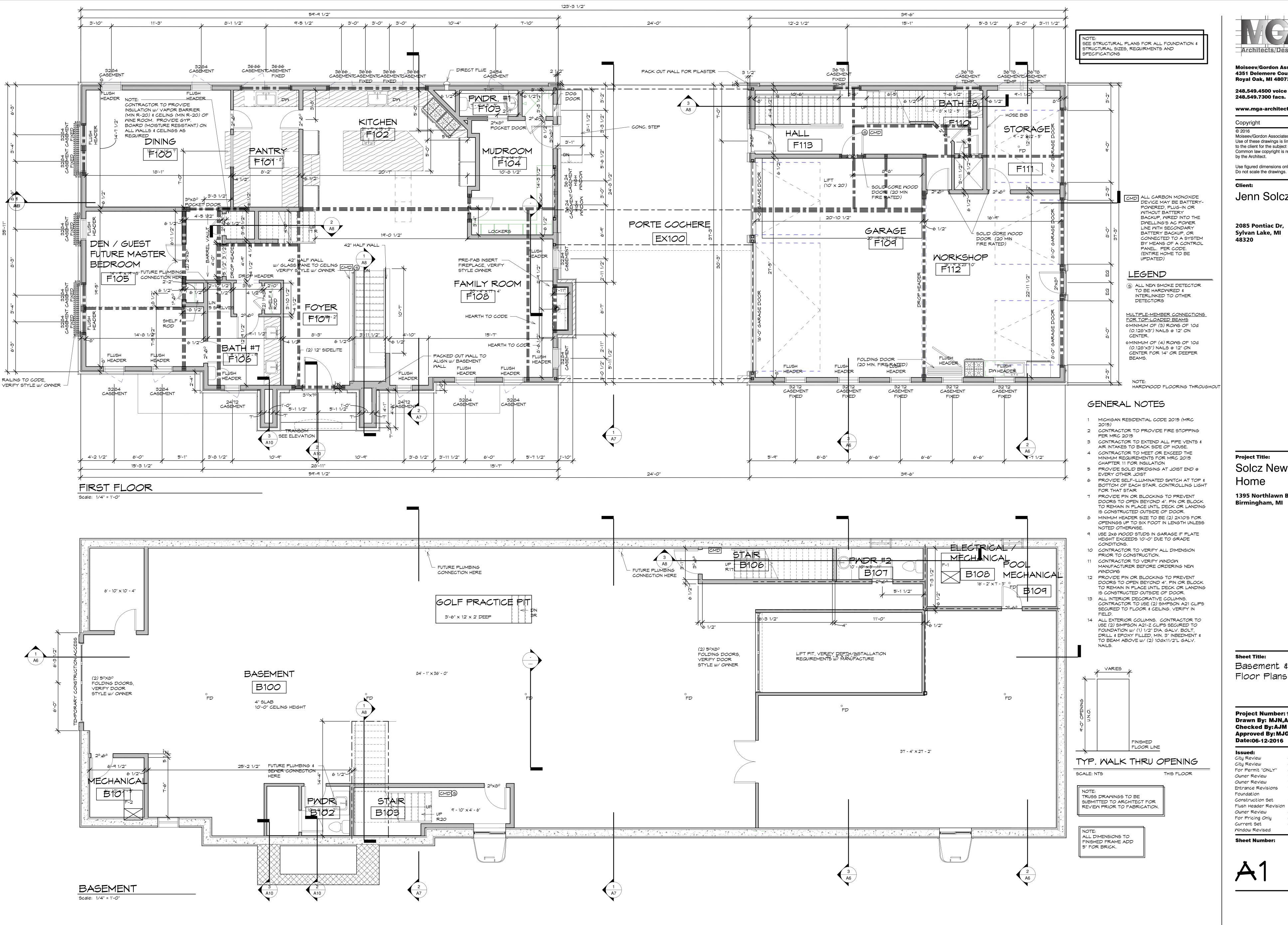
Birmingham, MI

Project Number: 16109
Drawn By: Author
Checked By: Checker
Approved By: Approver
Date: 06-12-2016

Issued: For Pricing Only 08-27-19
Current Set 09-23-19

Sheet Number:





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**Client:** 

Jenn Solcz

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**Project Title:** Solcz New

1395 Northlawn Blvd., Birmingham, MI

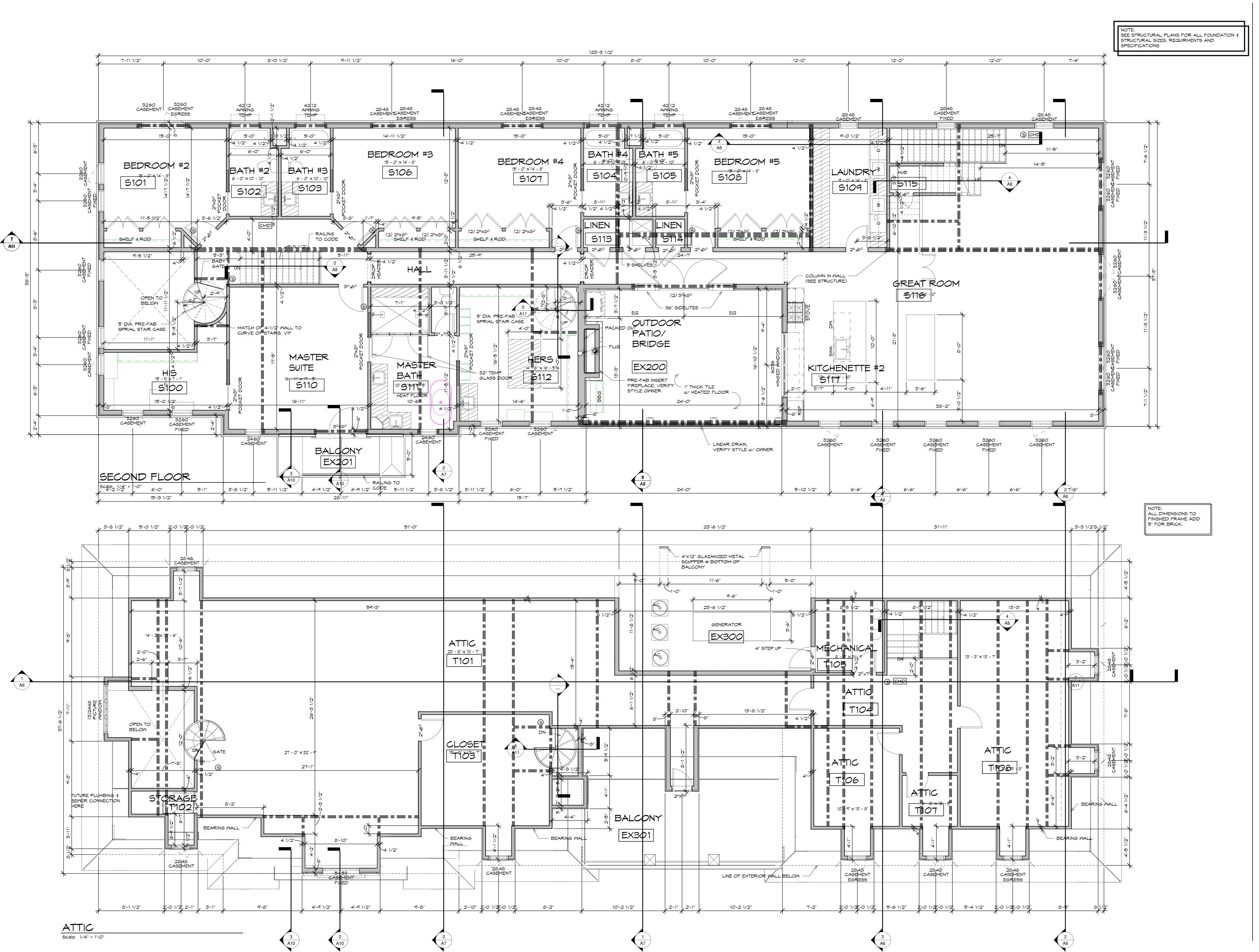
**Sheet Title:** Basement & First

Project Number: 16109 Drawn By: MJN,AJM Checked By: AJM Approved By: MJG Date:06-12-2016

Issued: City Review 02-28-18 City Review 03-6-18 For Permit "ONLY" 04-13-18 7-10-18 Owner Review Owner Review 7-17-18 7-23-18 Entrance Revisions Foundation 8-10-18 Construction Set 9-17-18 Flush Header Revision 10-22-18 Owner Review For Pricing Only 08-27-19 Current Set 09-23-19 Mindow Revised 12-6-19

**Sheet Number:** 

3/8/2023 9:57:01 AM





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**Client:** 

Jenn Solcz

2085 Pontiac Dr, Sylvan Lake, MI 48320

**Project Title:** Solcz New Home

1395 Northlawn Blvd., Birmingham, MI

**Sheet Title:** Second Floor &

Attic Plans

Project Number: 16109 Drawn By: MJN,AJM Checked By: AJM
Approved By: MJG Date:06-12-2016

Issued:

Owner Review For Permit "ONLY" Owner Review 7-10-18 Owner Review Entrance Revisions 8-10-18 Foundation Construction Set

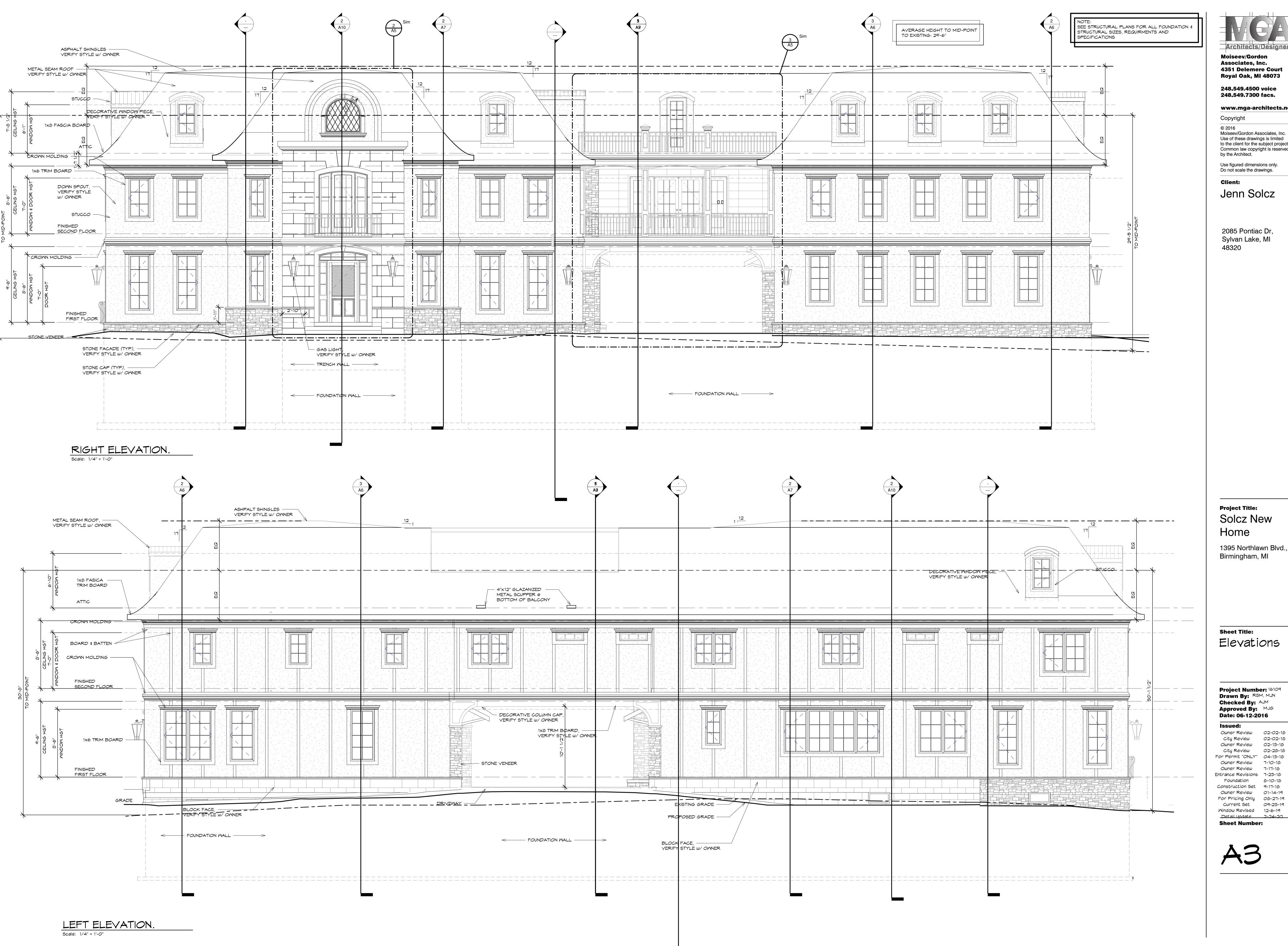
09-23-19

For Pricing Only 08-27-19 Current Set Mindow Revised 12-6-19 2-24-20 Detail Update Stair Revision 3-18-20

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**Project Title:** Solcz New

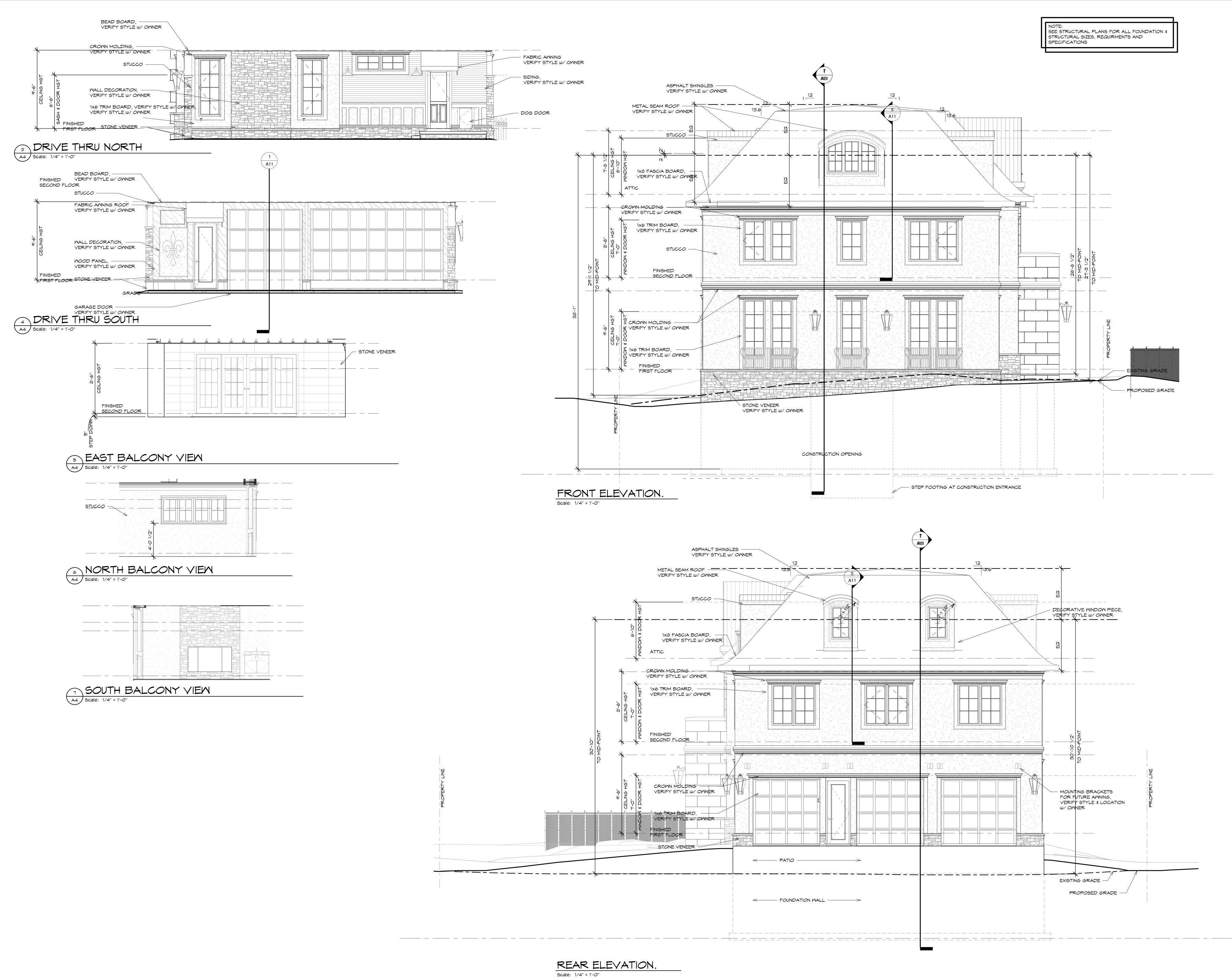
Birmingham, MI

**Sheet Title:** Elevations

Project Number: 16109 Drawn By: R5M, MJN Checked By: AJM Approved By: MJG
Date: 06-12-2016

Issued: Owner Review 02-02-18 City Review Owner Review 02-13-18 City Review 02-28-18 For Permit "ONLY" 04-13-18 Owner Review 7-10-18 Owner Review 7-17-18 Entrance Revisions 7-23-18 Foundation 8-10-18 Construction Set 9-17-18 Owner Review 01-14-19 For Pricing Only 08-27-19 Current Set 09-23-19

Detail Update 2-24-20 **Sheet Number:** 





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Royal Oak, MI 48073

248.549.4500 voice

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**Client:** 

Jenn Solcz

2085 Pontiac Dr, Sylvan Lake, MI 48320

**Project Title:** Solcz New Home

1395 Northlawn Blvd., Birmingham, MI

**Sheet Title:** Elevations

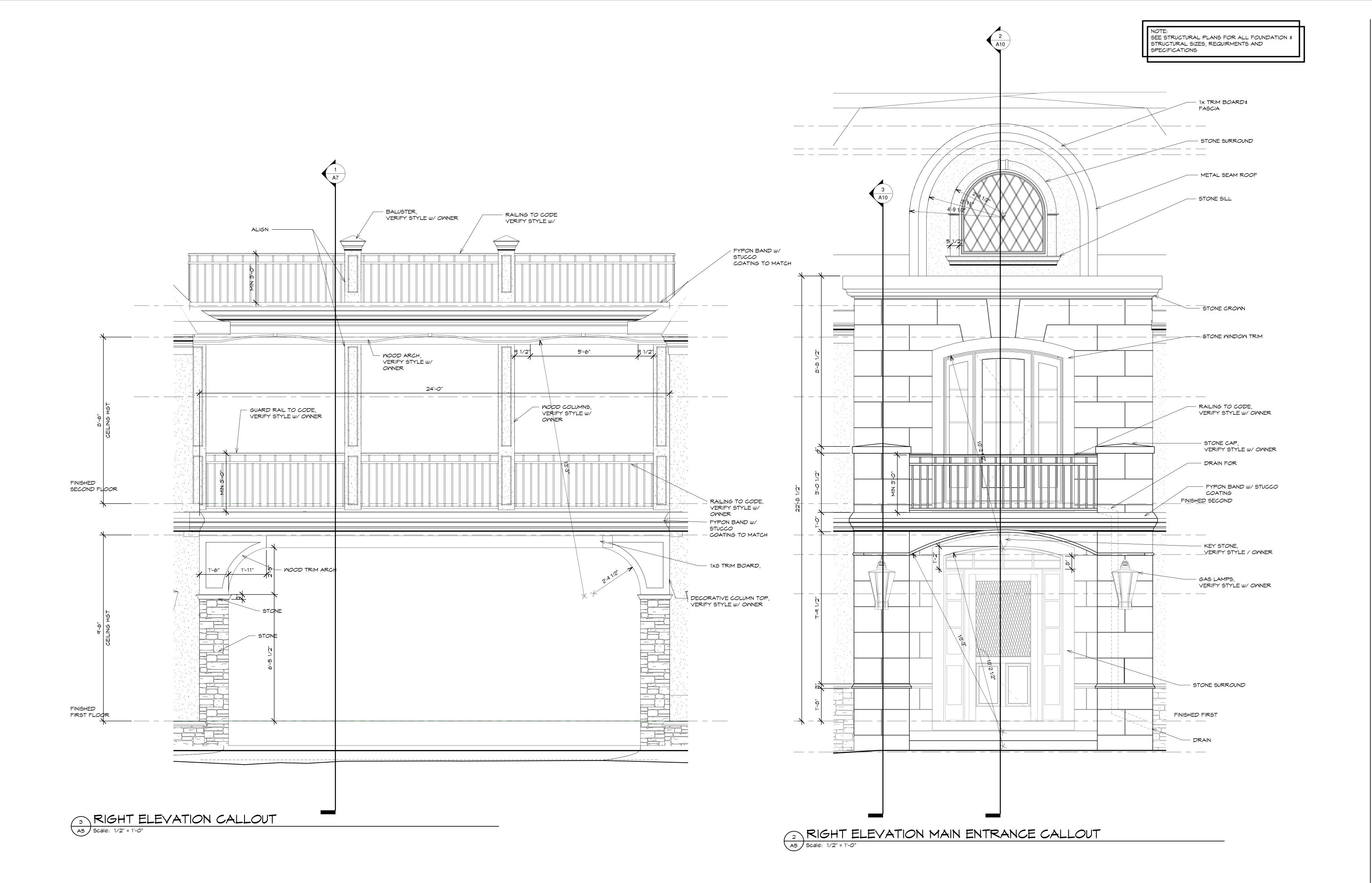
Project Number: 16109 Drawn By: R5M, MJN Checked By: AJM Approved By: MJG
Date: 06-12-2016

Issued: Owner Review 02-02-18 City Review Owner Review 02-13-18 City Review 02-28-18 For Permit "ONLY" 04-13-18 Owner Review 7-10-18 Owner Review 7-17-18 Entrance Revisions 7-23-18 Foundation 8-10-18 Construction Set 9-17-18 Owner Review 01-14-19 For Pricing Only 08-27-19

**Sheet Number:** 

Current Set 09-23-19 Mindow Revised 12-6-19





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2085 Pontiac Dr, Sylvan Lake, MI 48320

**Project Title:** Solcz New Home

Birmingham, MI

1395 Northlawn Blvd.,

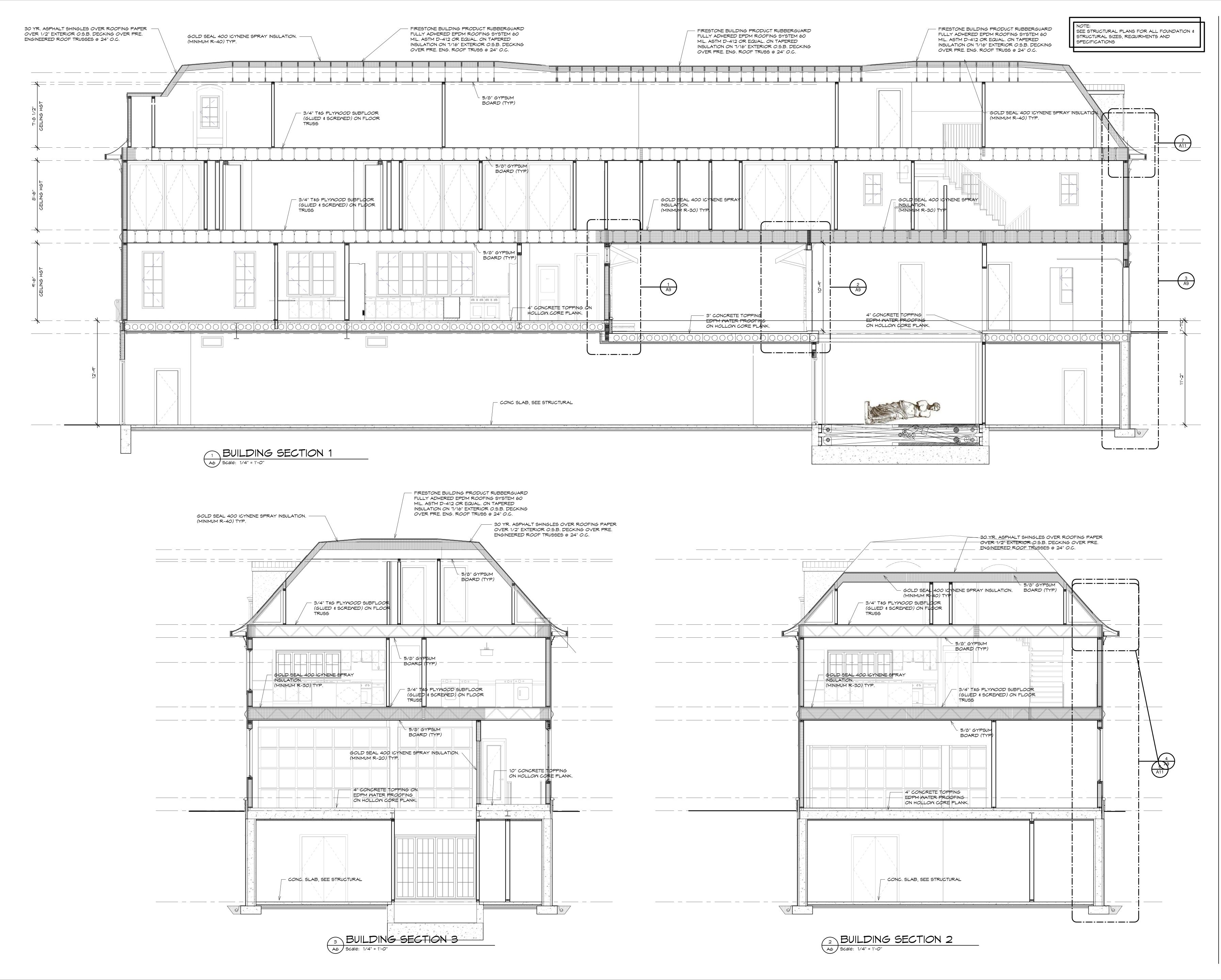
Sheet Title: Elevations

Project Number: 16109
Drawn By: Author
Checked By: Checker
Approved By: Approver
Date: 06-12-2016

Issued:

For Permit "ONLY" 04-13-18 Owner Review 7-10-18 Entrance Revisions 7-23-18 Foundation 8-10-18 Construction Set 9-17-18 For Pricing Only 08-27-19 Current Set 09-23-19 Mindow Revised 12-6-19







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Client:

Jenn Solcz

2085 Pontiac Dr, Sylvan Lake, MI 48320

Project Title: Solcz New Home

Birmingham, MI

1395 Northlawn Blvd.,

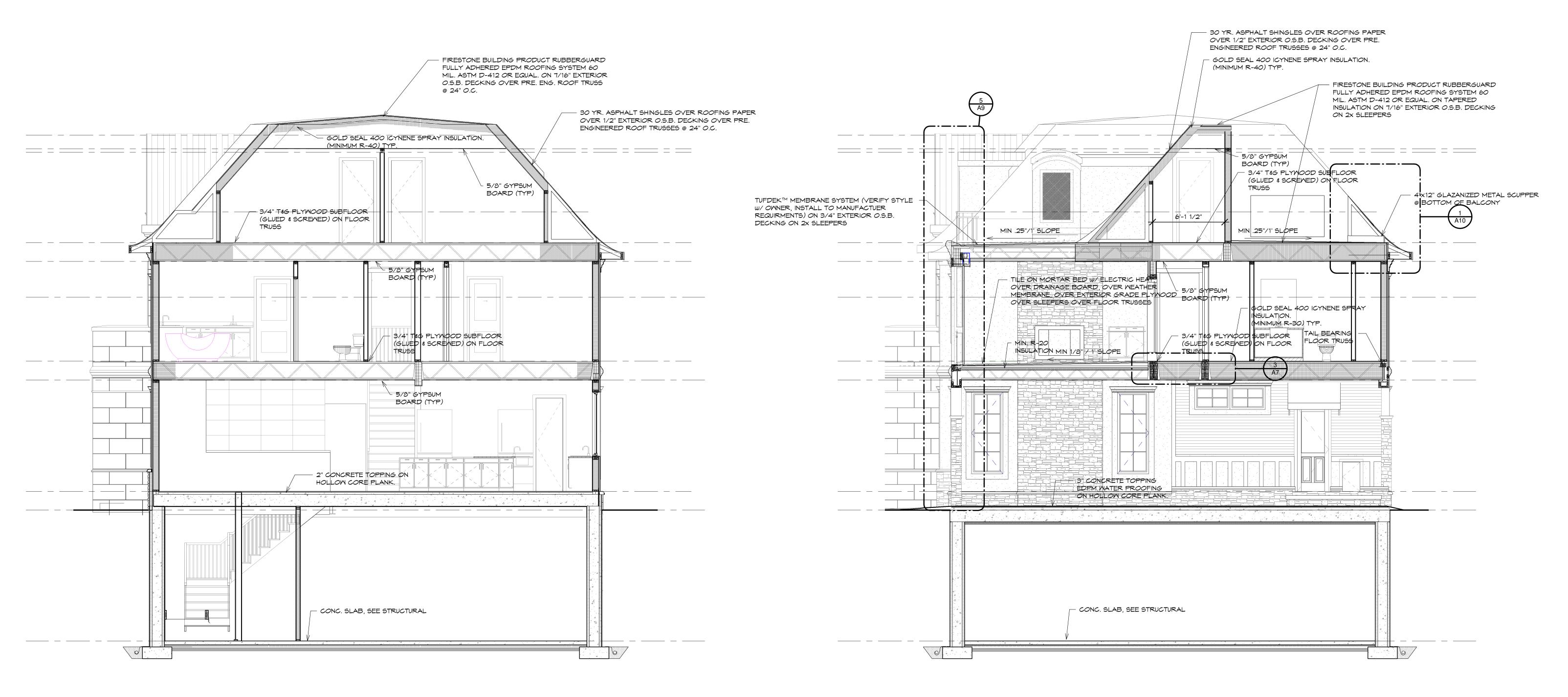
Sheet Title:
Building
Sections

Project Number: 16109
Drawn By: RSM, MJN
Checked By: AJM
Approved By: MJG
Date: 06-12-2016

For Permit "ONLY" 04-13-18
Owner Review 7-10-18
Foundation 8-10-18
Construction Set 9-17-18
Owner Review 01-14-19
For Pricing Only 08-27-19
Current Set 09-23-19

Sheet Number:



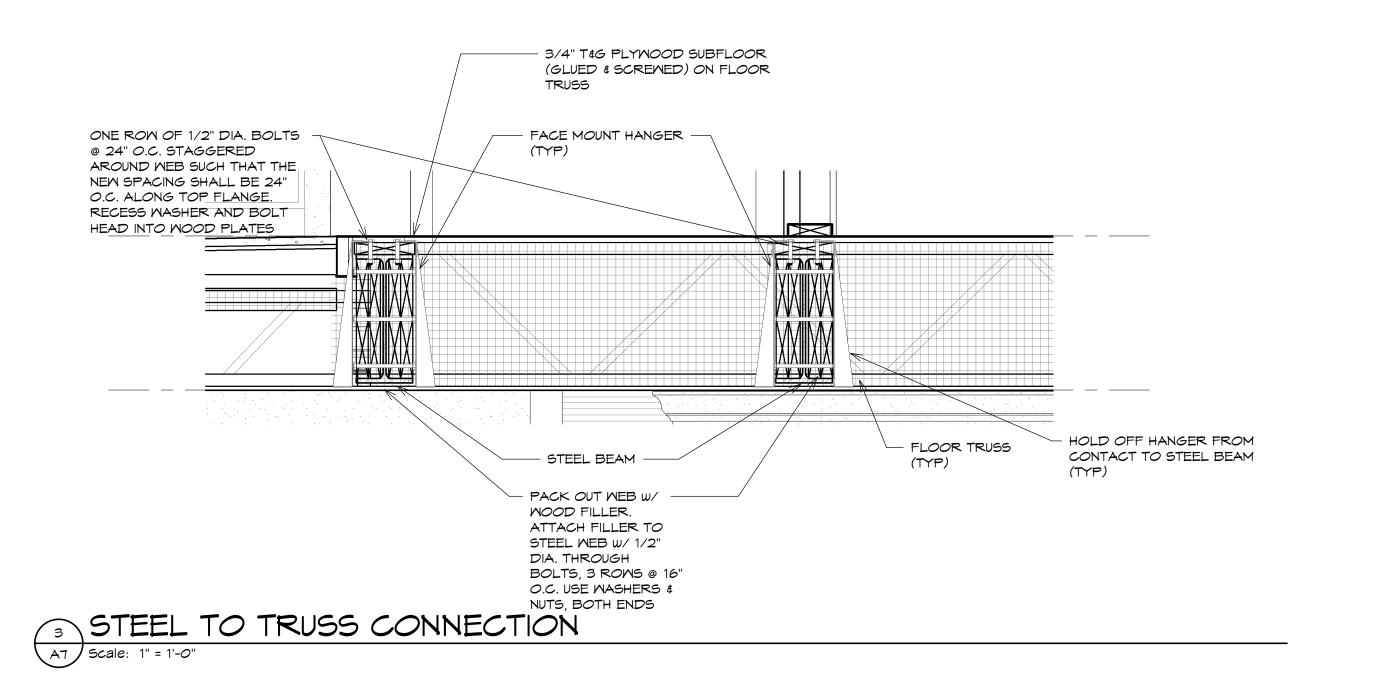


BUILDING SECTION 5

A7 Scale: 1/4" = 1'-0"

BUILDING SECTION 4

A7 Scale: 1/4" = 1'-0"





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Jenn Solcz

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Project Title:
Solcz New
Home

1395 Northlawn Blvd., Birmingham, MI

Sheet Title:

Building Sections

Project Number: 16109 Drawn By: MJN,AJM Checked By: AJM Approved By: MJG Date:06-12-2016

Issued:

Permit "ONLY" Owner Review 01-19-18 For Permit "ONLY" 04-13-18 7-10-18 Owner Review 8-10-18 Foundation 9-17-18 Construction Set Owner Review 01-14-19 08-27-19 Current Set 09-23-19 2-24-20 Detail Update

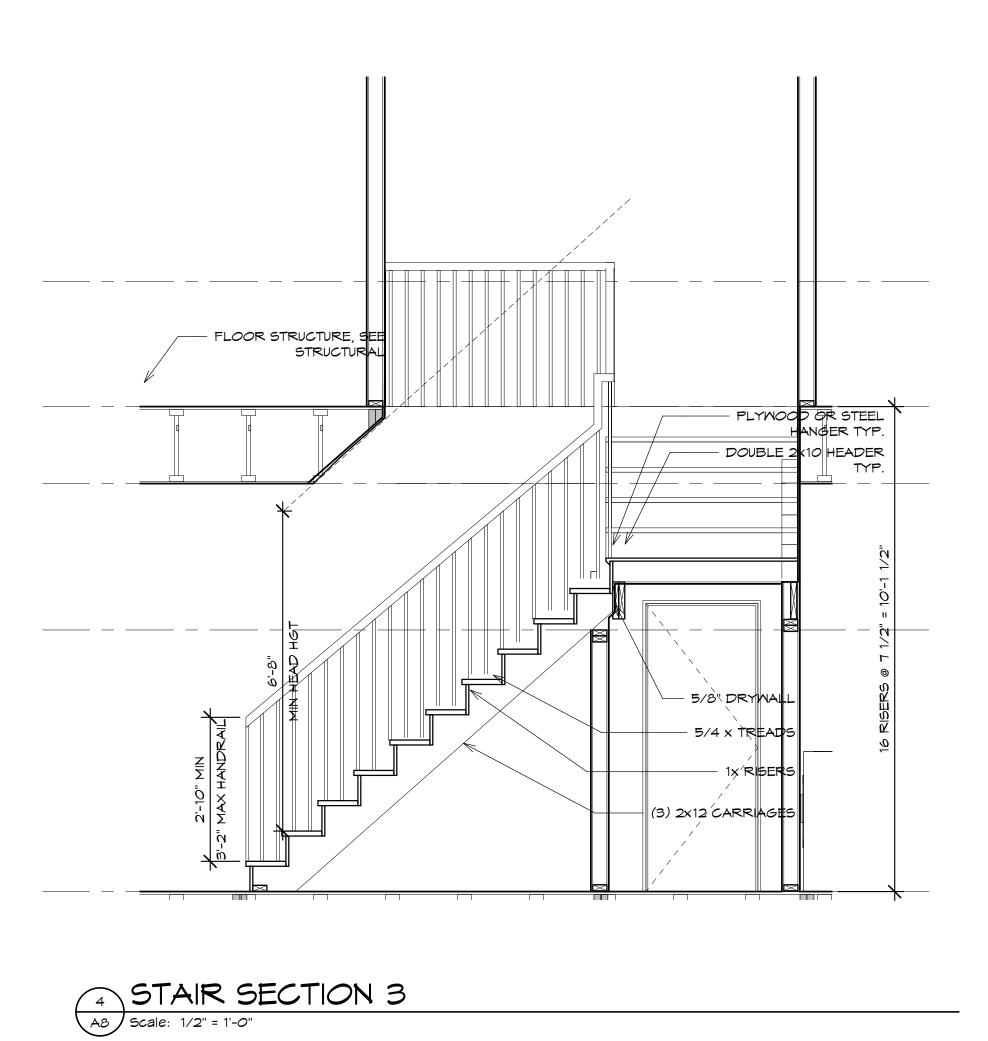
3-18-20

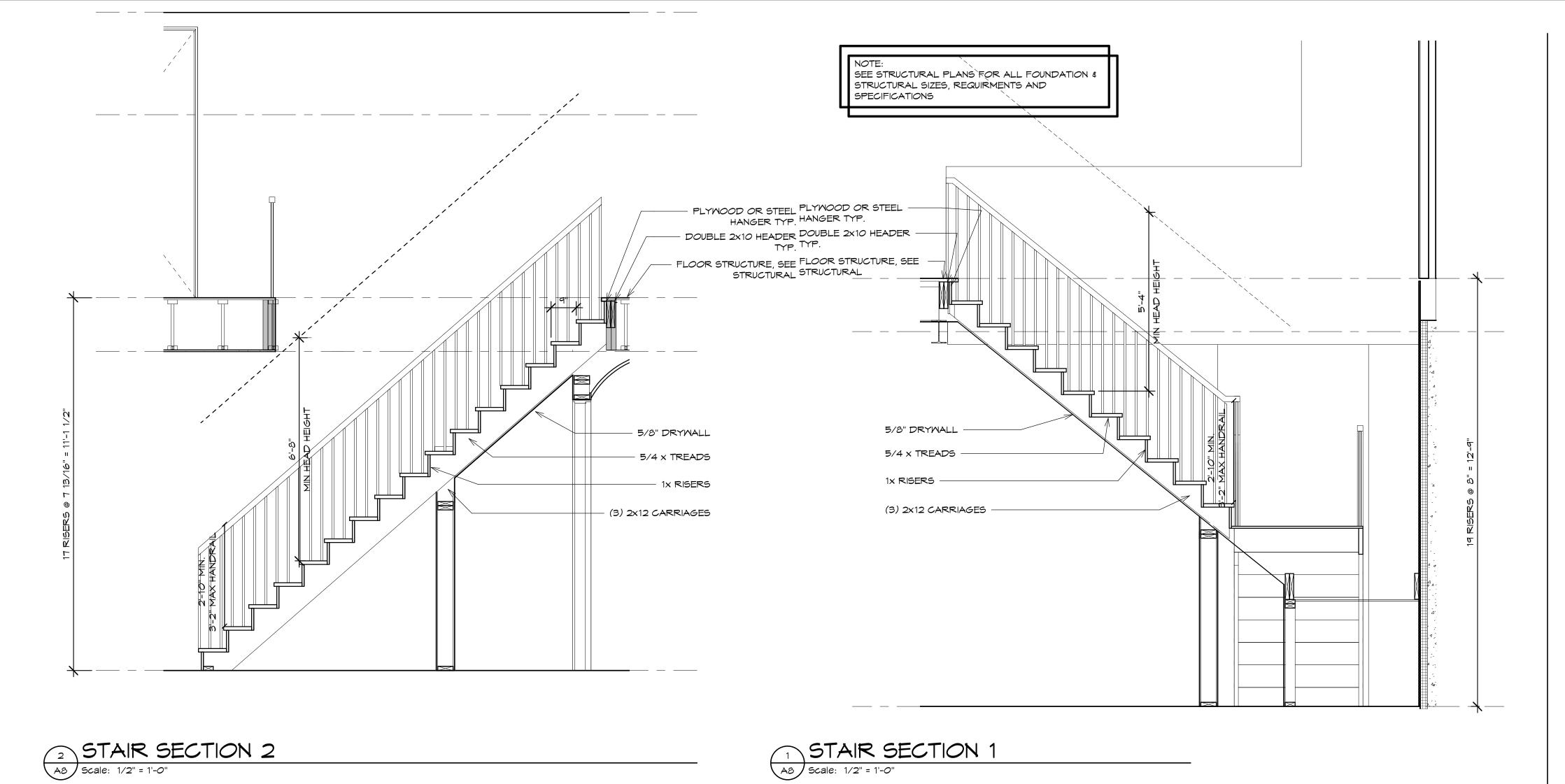
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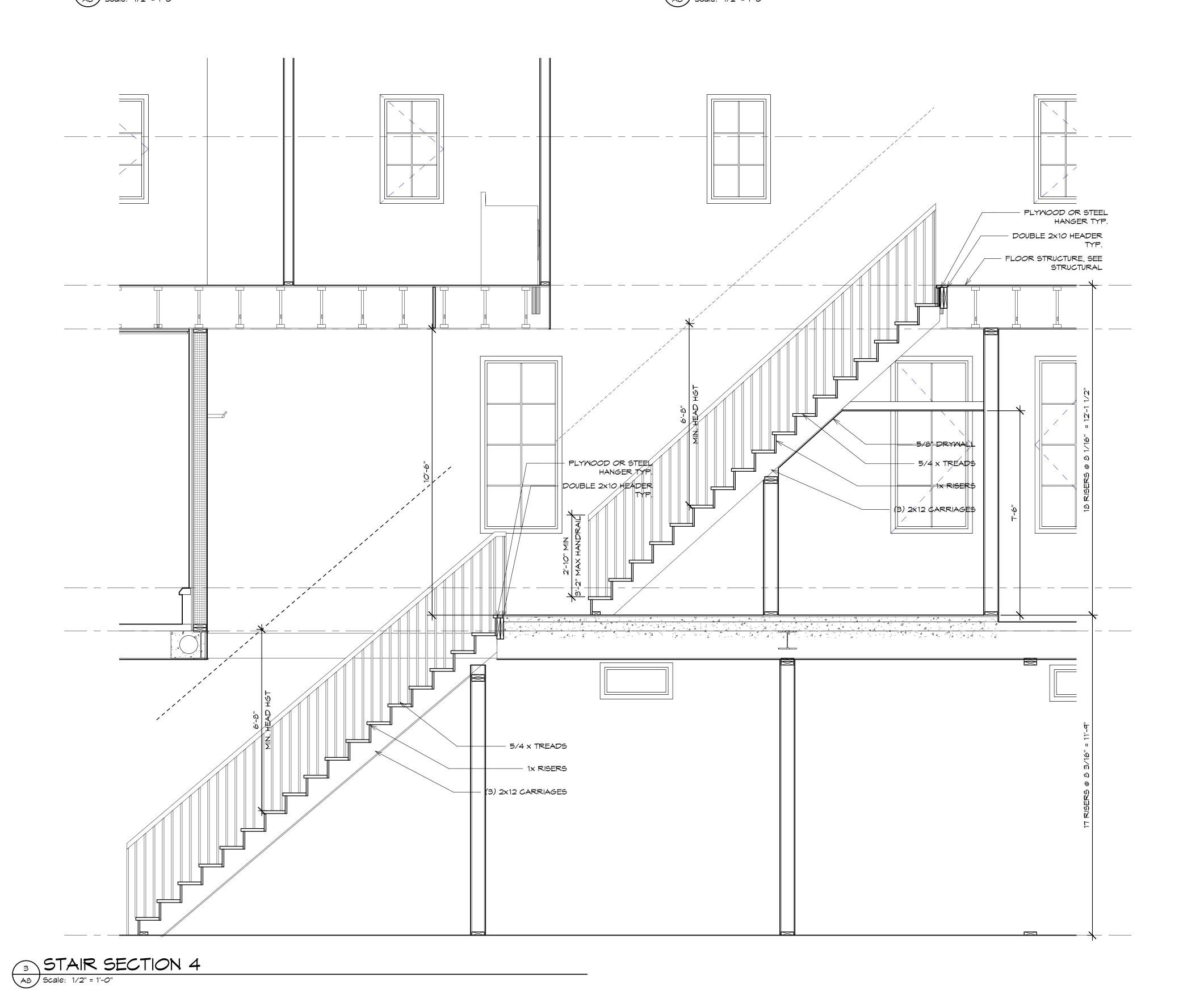
Stair Revision



3/8/2023 9:57:29 AM







Architects/Designers

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Royal Oak, MI 48073 248.549.4500 voice 248.549.7300 facs.

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Client:

Jenn Solcz

2085 Pontiac Dr, Sylvan Lake, MI 48320

Project Title: Solcz New Home

Birmingham, MI

1395 Northlawn Blvd.,

Sheet Title: Stair

Sections

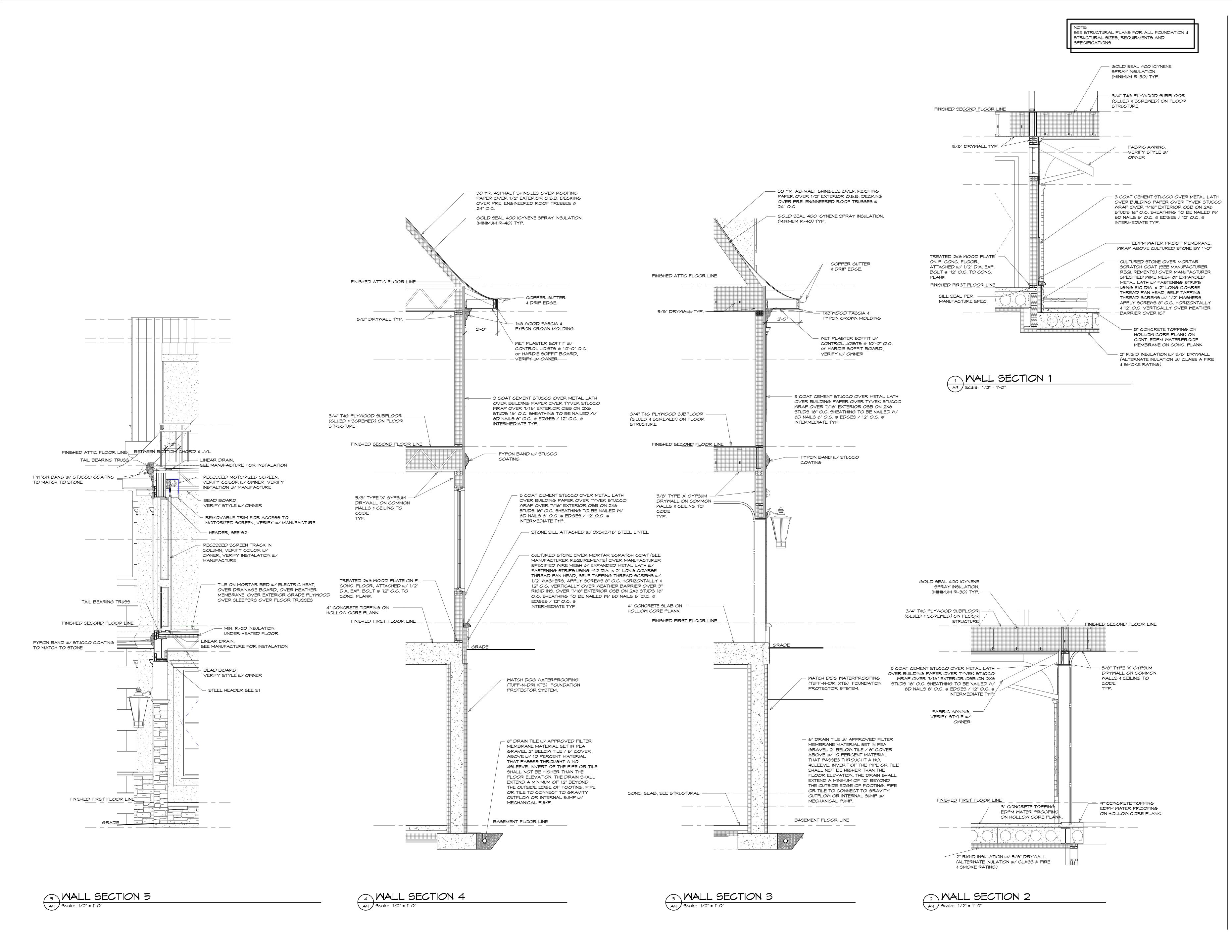
Project Number: 16109 Drawn By: RSM, MJN Checked By: AJM

Approved By: MJG
Date: 06-12-2016
Issued:

Permit "ONLY" 06-07-17
Owner Review 01-19-18
For Permit "ONLY" 04-13-18
Owner Review 7-10-18
Foundation 8-10-18
Construction Set 9-17-18
For Pricing Only 08-27-19
Current Set 09-23-19

Sheet Number:







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ent:

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Project Title:
Solcz New
Home

1395 Northlawn Blvd., Birmingham, MI

Sheet Title:
Wall Sections

Project Number: 16109
Drawn By: MJN,AJM
Checked By: AJM
Approved By: MJG
Date:06-12-2016

Issued:
Permit "ONLY"

01-19-18 Owner Review For Permit "ONLY" 04-13-18 7-10-18 Owner Review Foundation 8-10-18 9-17-18 Construction Set For Pricing Only 08-27-19 Current Set 09-23-19 Detail Update 2-24-20

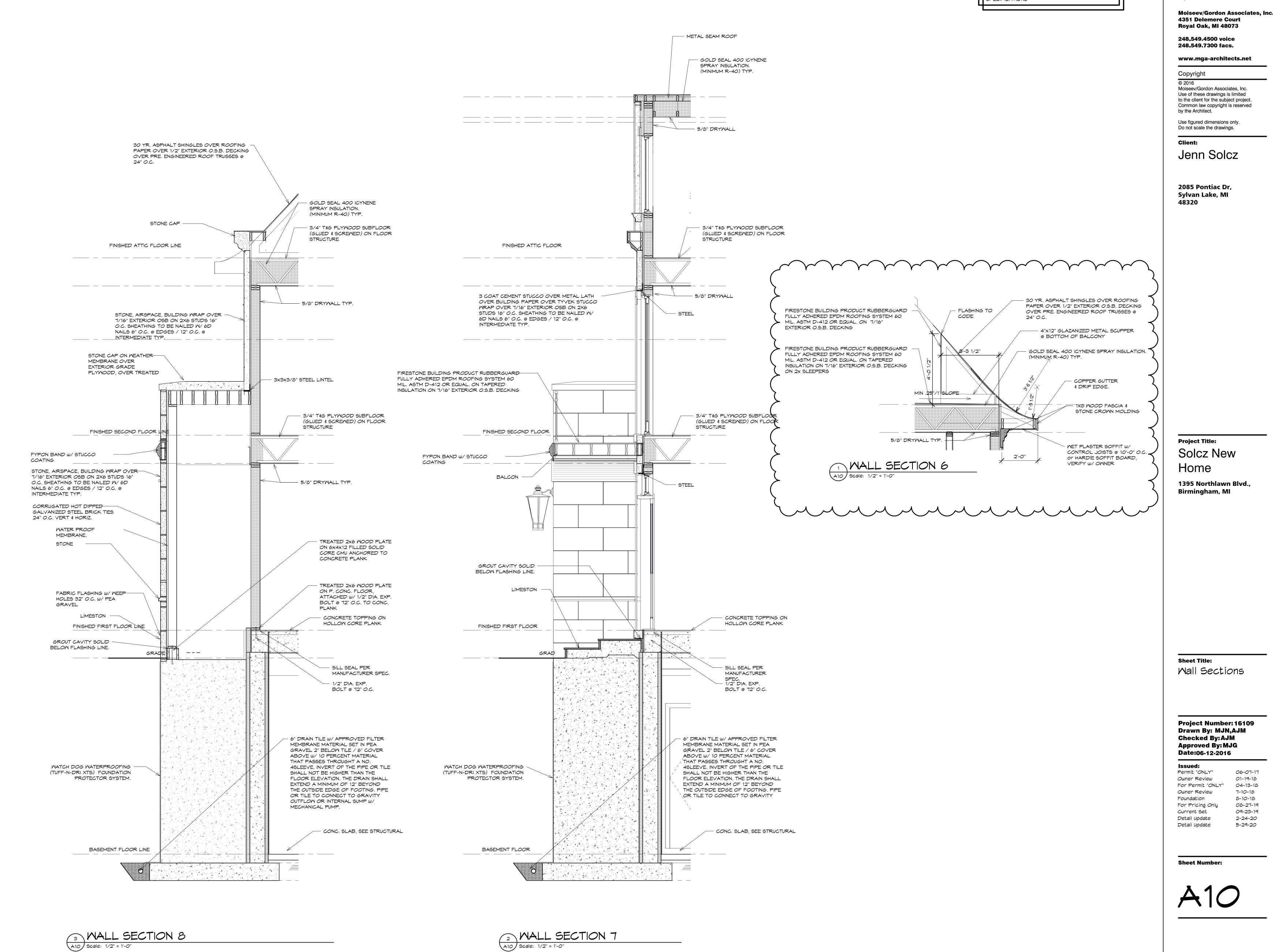
06-07-17

Sheet Number:

A9

3/8/2023 9:57:34 AM

SEE STRUCTURAL PLANS FOR ALL FOUNDATION & STRUCTURAL SIZES, REQUIRMENTS AND SPECIFICATIONS



3/8/2023 9:57:36 AM

06-07-17

01-19-18

04-13-18

7-10-18

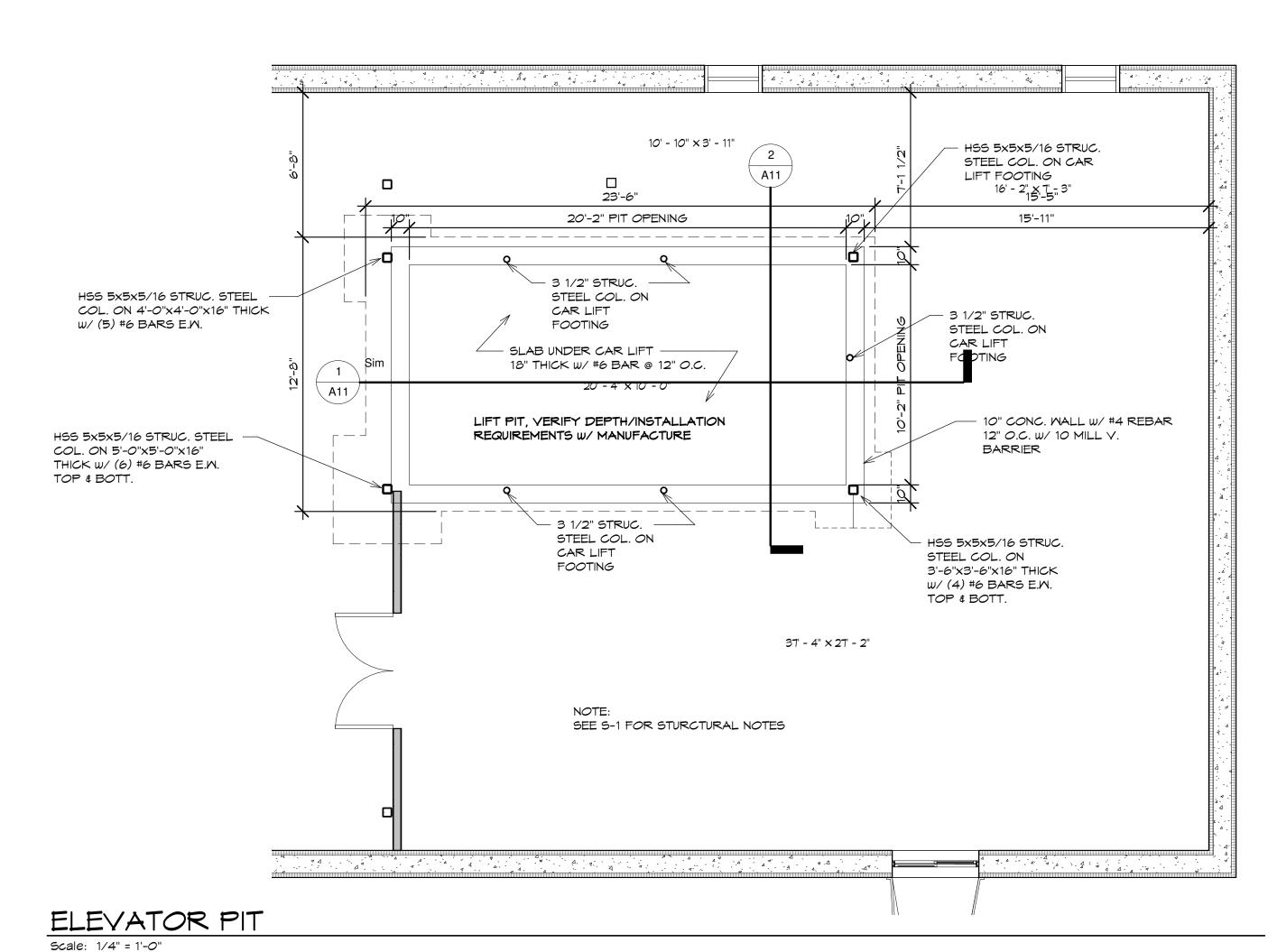
8-10-18

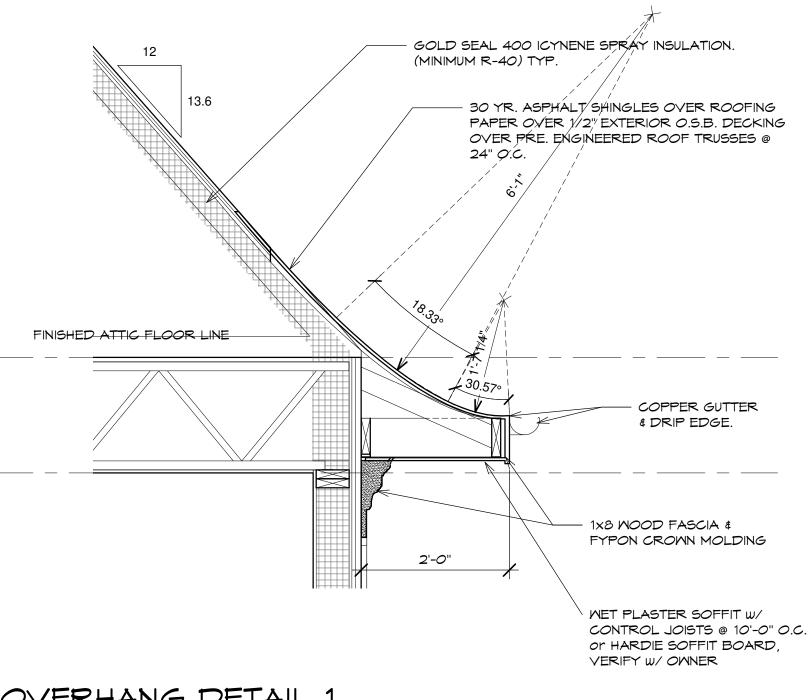
08-27-19

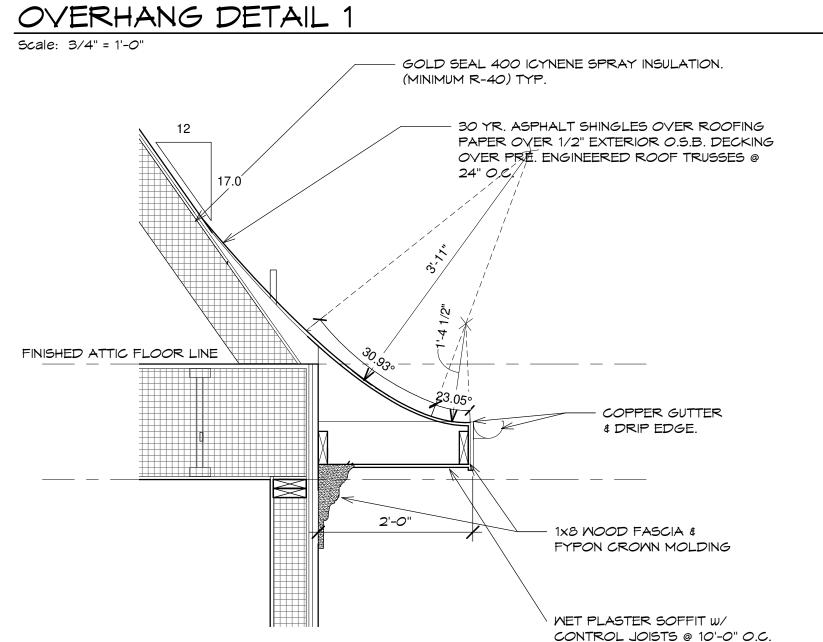
09-23-19

2-24-20

5-29-20



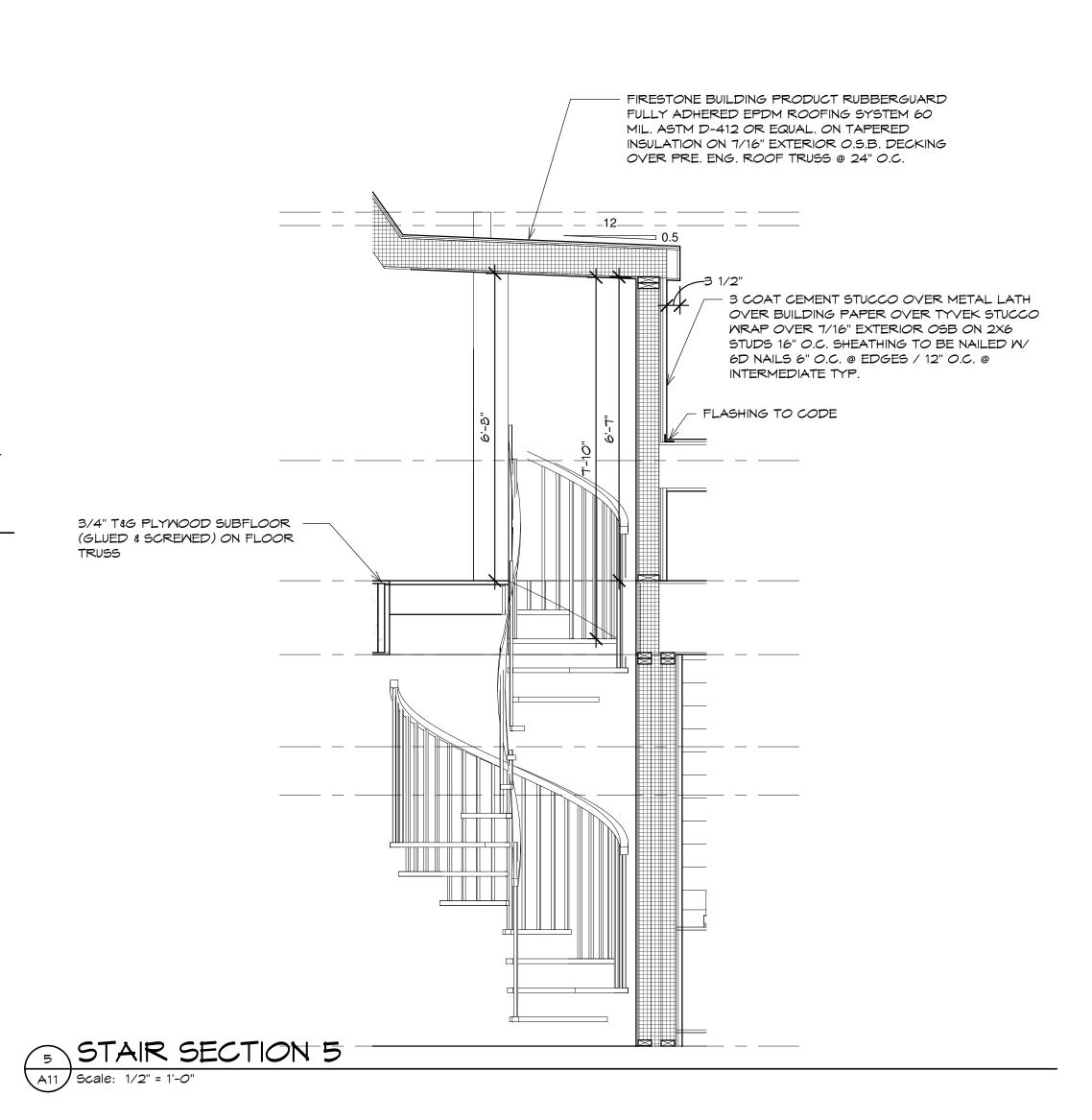


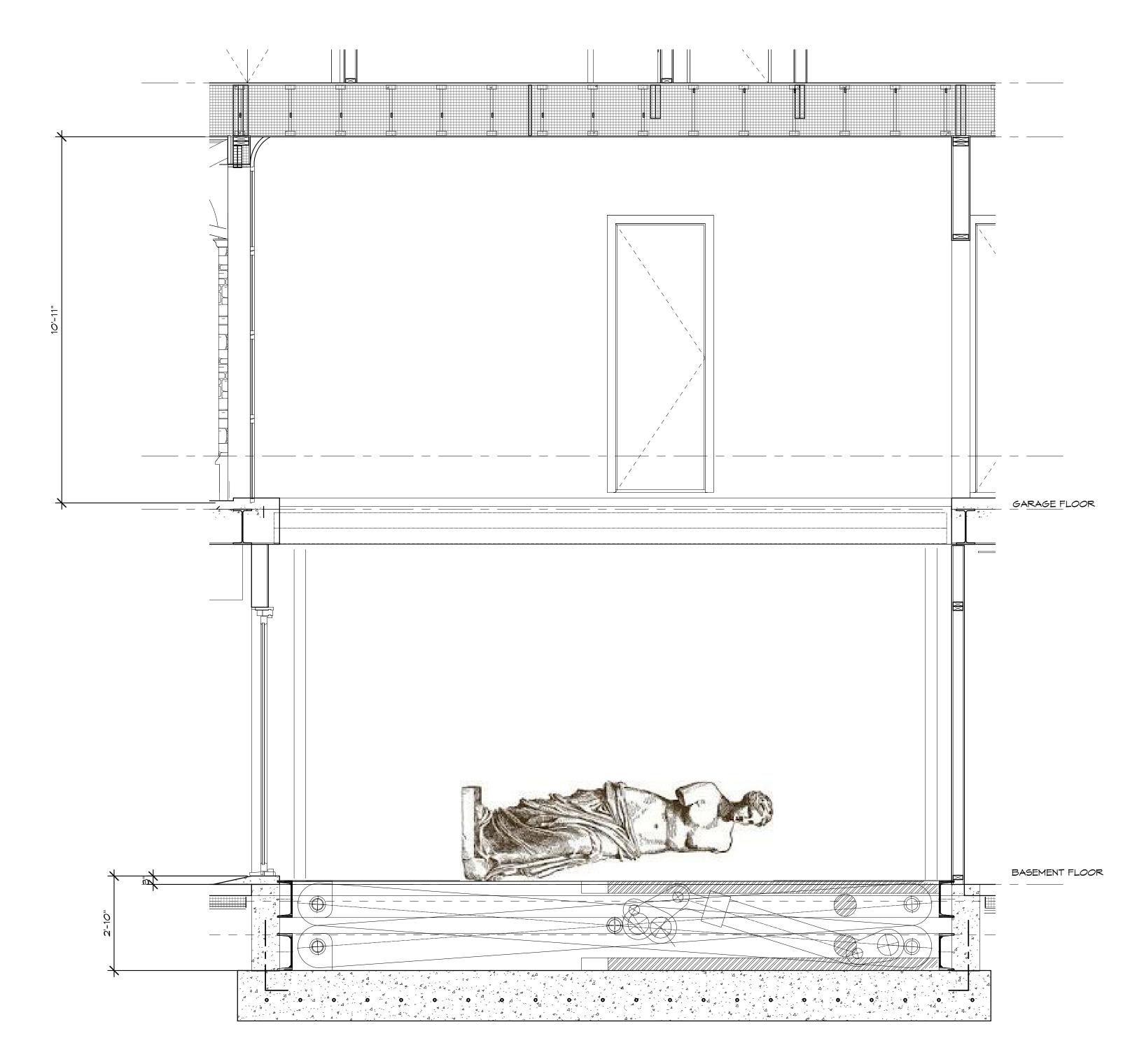


OVERHANG DETAIL 2

Scale: 3/4" = 1'-0"

OR HARDIE SOFFIT BOARD, VERIFY W/ OWNER

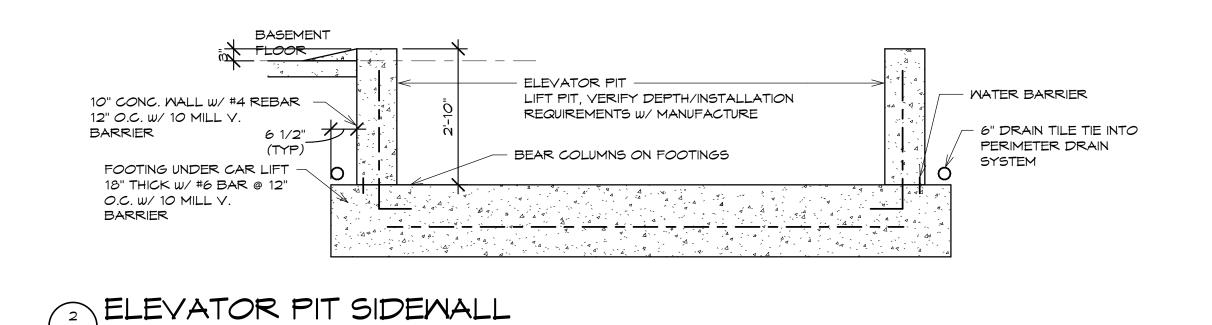




LIFT SECTION

A11 Scale: 1/2" = 1'-0"

A11 Scale: 1/2" = 1'-0"



Architects/Designers

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Project Title: Solcz New Home

1395 Northlawn Blvd., Birmingham, MI

Sheet Title:
Details

Project Number: 16109
Drawn By: MJN,AJM
Checked By: AJM
Approved By: MJG
Date:06-12-2016

Permit "ONLY" 06-07-17
For Permit "ONLY" 04-13-18
Foundation 8-10-18
Revised Structure 02-19-19
Elevator Pit 05-09-19
For Pricing Only 08-27-19
Current Set 09-23-19

3-18-20

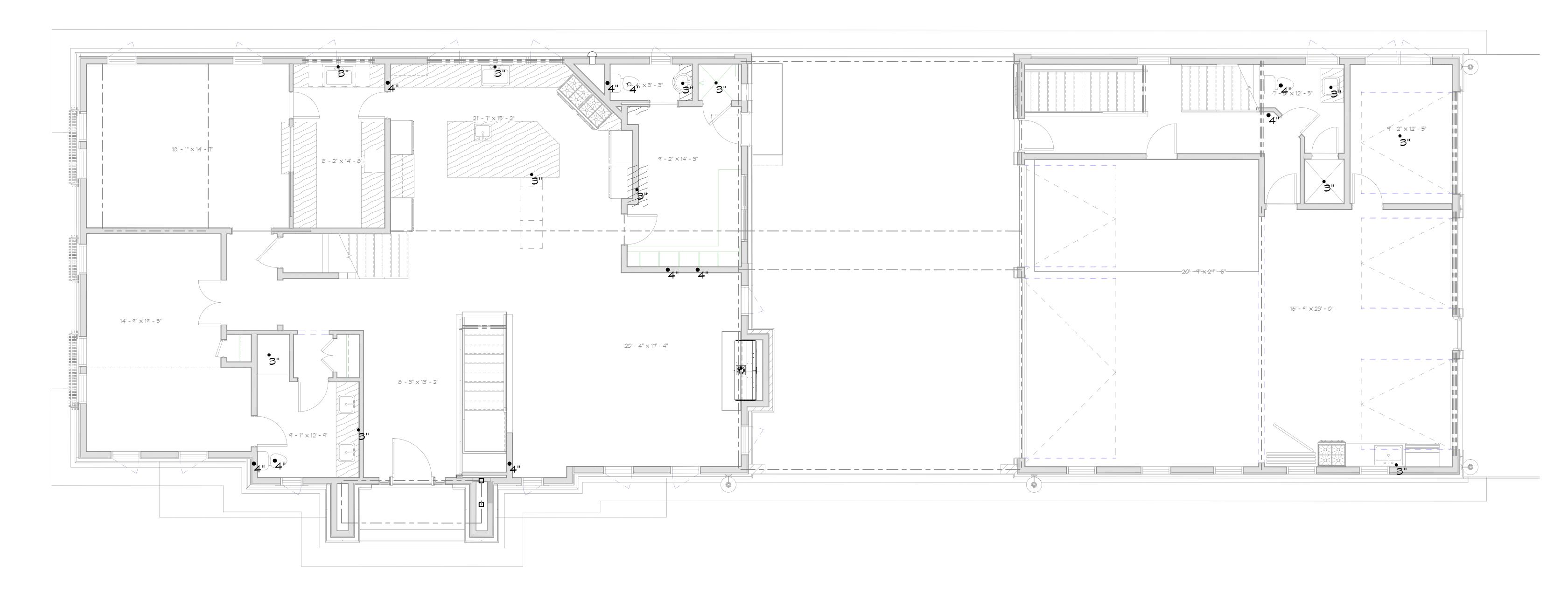
5-12-2*0* 

Stair Revision Detail Update

Shoot Number

A11

3/8/2023 9:57:39 AM



FIRST FLOOR PIPING PLAN THRU CONC PLANK

Scale: 1/4" = 1'-0"

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**Project Title:** Solcz New Home

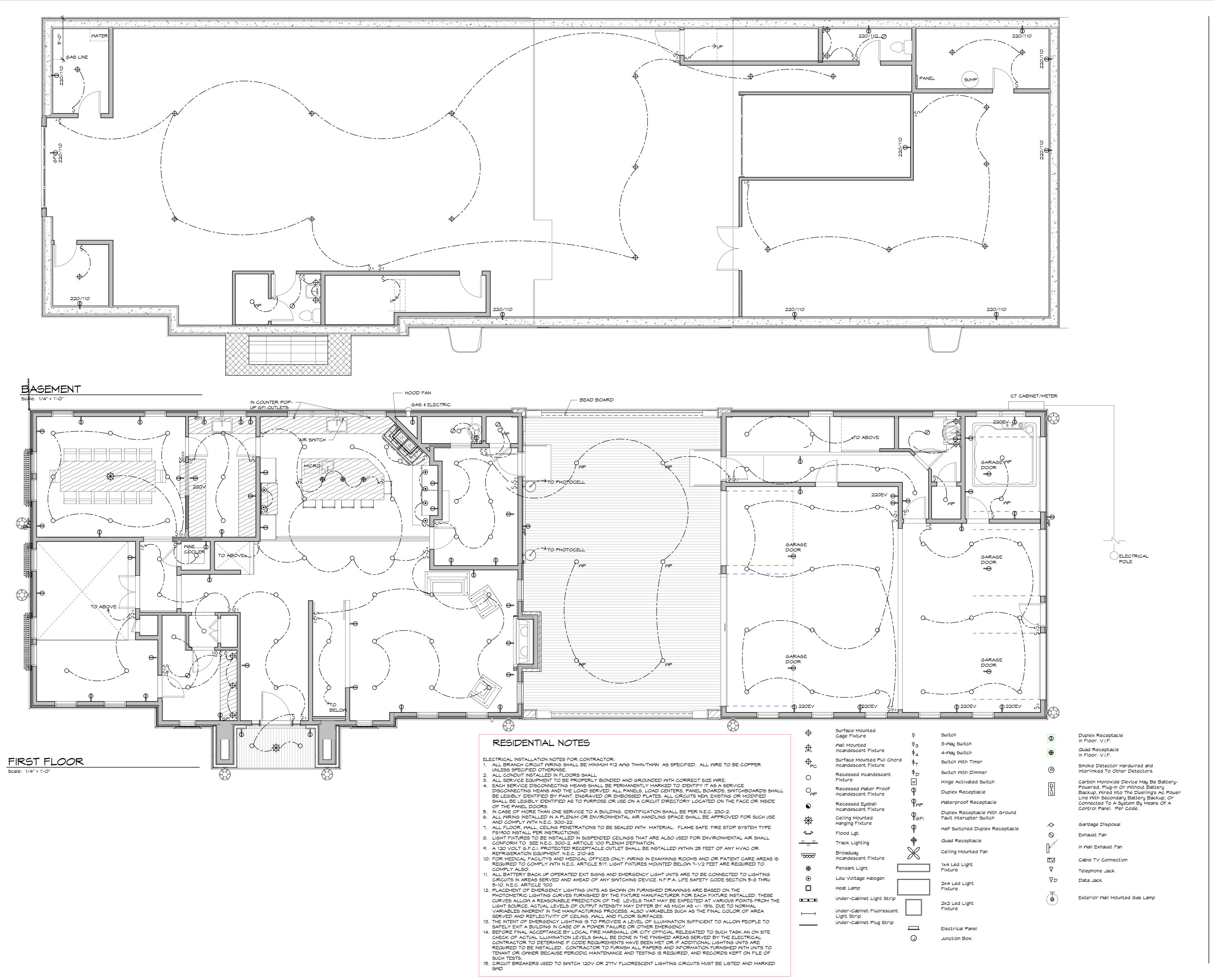
1395 Northlawn Blvd., Birmingham, MI

Sheet Title:
Piping Plan Thru
Conc. Plank

Project Number: 16109 Drawn By: MJN,AJM Checked By: AJM Approved By: MJG Date:06-12-2016

**Issued:**Owner Review Penetration Plan 8-10-18 Foundation Construction Set 9-17-18

3/8/2023 9:57:41 AM





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**Project Title:** Solcz New Home

1395 Northlawn Blvd., Birmingham, MI

**Sheet Title:** Electrical Plans

Project Number: 16109 Drawn By: MJN,AJM Checked By: AJM Approved By: MJG

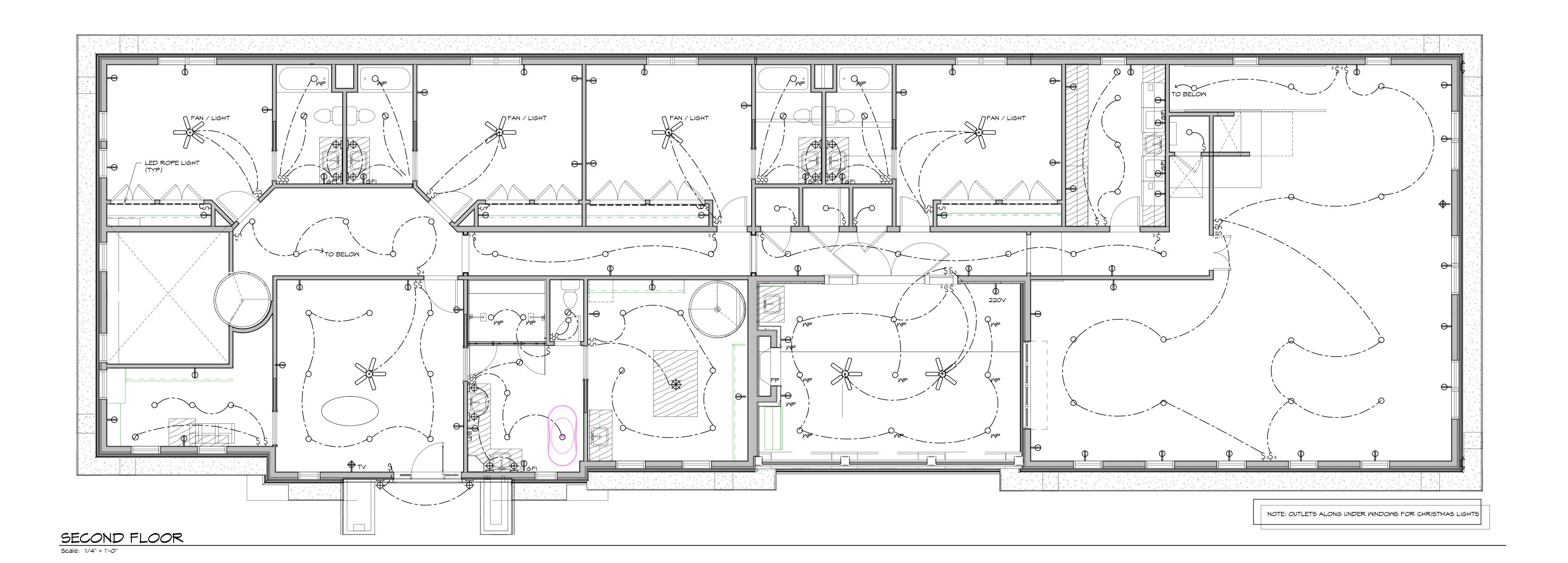
Date:06-12-2016 Issued:

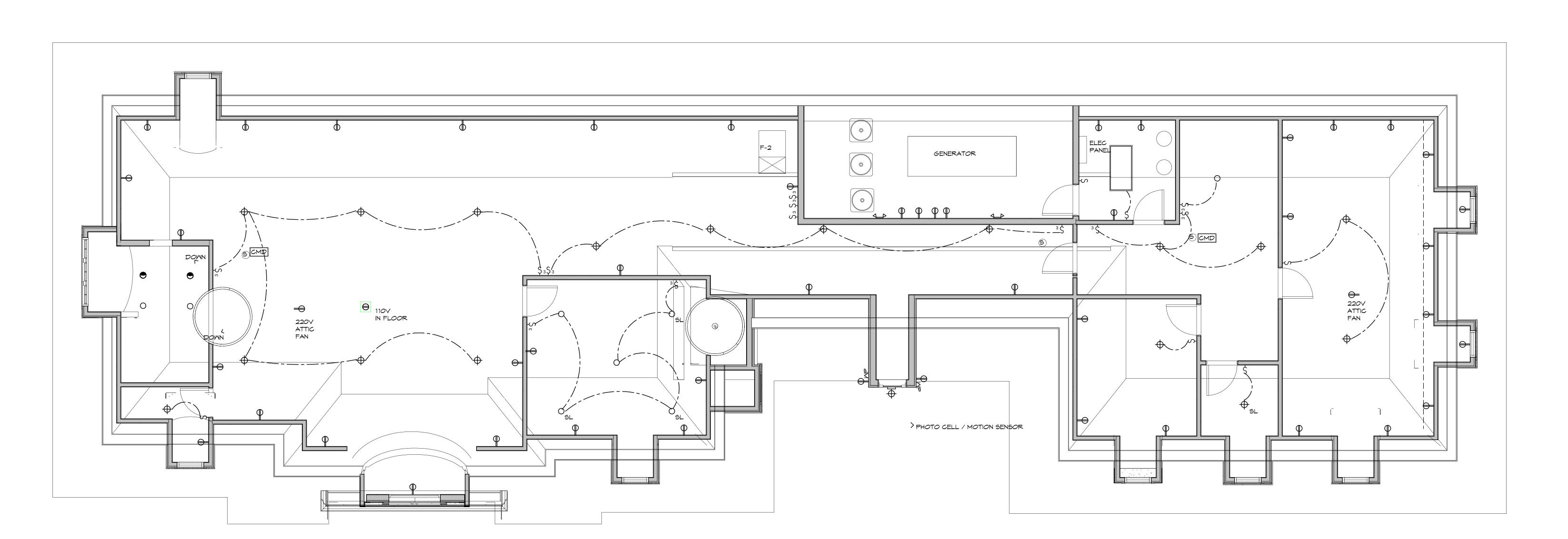
Owner Review For Permit "ONLY" 8-10-18

Foundation 08-27-19 For Pricing Only 09-23-19 Current Set

**Sheet Number:** 

3/8/2023 9:57:44 AM







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**Client:** 

Jenn Solcz

2085 Pontiac Dr, Sylvan Lake, MI 48320

**Project Title:** Solcz New Home

1395 Northlawn Blvd., Birmingham, MI

**Sheet Title:** Electrical Plans

Project Number: 16109 Drawn By: MJN,AJM Checked By: AJM Approved By: MJG Date:06-12-2016

**Issued:**Owner Review

For Permit "ONLY" 04-13-18
Foundation 8-10-18
For Pricing Only 08-27-19
Current Set 09-23-19

Sheet Number:

3/8/2023 9:57:46 AM

# **CASE DESCRIPTION**

# 1115 CHAPIN (23-34)

Hearing date: October 10, 2023

**Appeal No. 23-34**: The owner of the property known as **1115 Chapin**, requests the following variance to construct a detached garage:

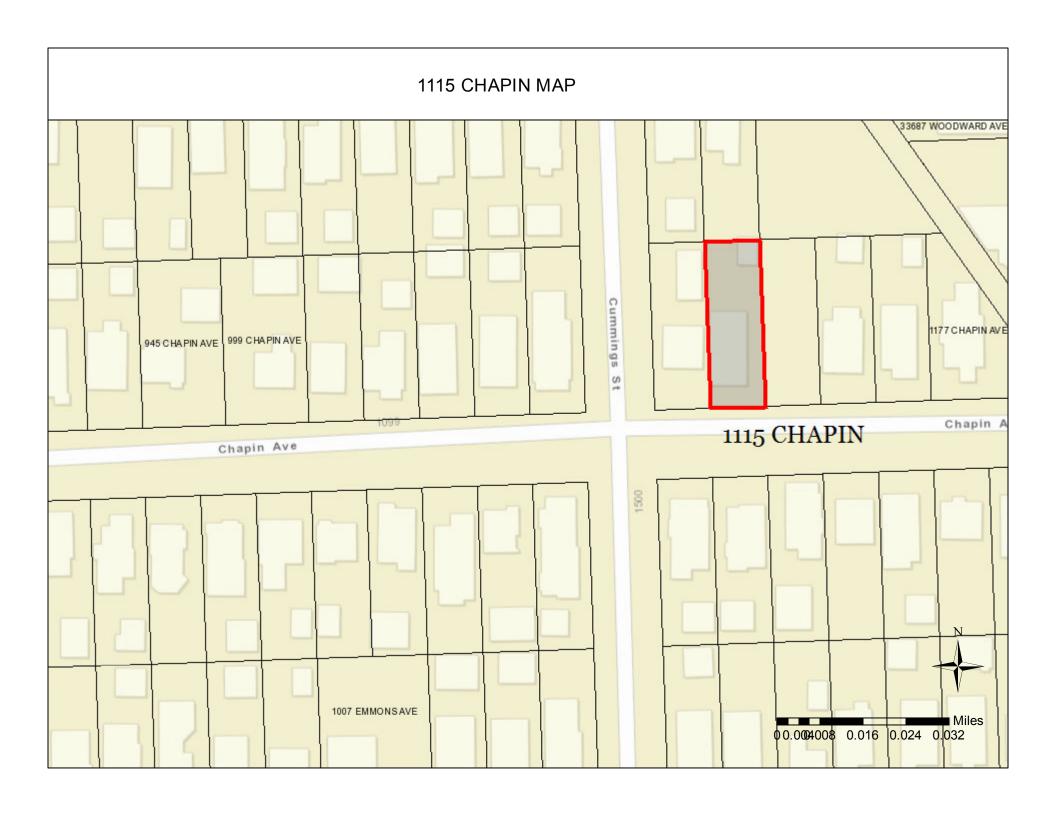
A. Chapter 126, Article 2, Section 2.10.1 of the Zoning Ordinance limits the lot coverage to a maximum of 30% of the lot. The required 30% is 1440.00 SF. The proposed is 32.95% (1581.90 SF). Therefore, a variance of 2.95% (141.90 SF) is being requested.

**Staff Notes:** This applicant is proposing to construct a new detached garage on the lot with an existing home that was constructed in 1925. There was a rear addition constructed to this home in 1991 which required variances (see attached minutes). This applicant before the board in August (minutes attached) regarding the proposed garage.

This property is zoned R3 – Single family residential.

Jeff Zielke, NCIDQ, LEED AP, COSS

Assistant Building Official



#### **CITY OF BIRMINGHAM**

#### Community Development - Building Department 151 Martin Street, Birmingham, MI 48009

Community Development: 248-530-1850 Fax: 248-530-1290 / www.bhamgov.org

## APPLICATION FOR THE BOARD OF ZONING APPEALS

Hearing Date: \_\_\_

| Received By:   |   |  |  |  | Appeal #:   |  |
|--|---|--|--|--|---|--|
| Type of Variance:  | Interpretation  | Dimensional X  | Land Use   | Sign   | Admin Review  |  |
| I. PROPERTY INFORMA  | ATION:  |  |  |  |   |  |
| Address: 1115 Ch   | napin Avenue  | Lot Number:  | Lot Number 19-36-431-005   |  | Sidwell Number: 1127  |  |
| II. OWNER INFORMATIO   | ON:   |  |  |  |   |  |
| Name: Frank Co   | lasonti, Jr. and Ja   | mes B. Ryder   |  |  | 9573303.5   |  |
| Address: 1115 Chapin Avenue  |   | C'L.   |  |  | Zip code: 48009   |  |
| Email:* James31@aol.com  |   |  | 1  |  | Phone: 248-404-7966   |  |
| III. PETITIONER INFORM   |   |  |  |  |   |  |
| Name:  |   | Firm/Com   | pany Name:   |  |   |  |
|  | Name: Frank Colasonti Jr & James B. R   |  | City: Dismain above  |  | Zip code:<br>48009  |  |
| 1110   | 1115 Chapin Avenue  |  | City:Birmingham  |  |   |  |
| Email: Jame  | s31@aol.com   | 248-4  | Phone: 248-404-7966  |  |   |  |
| IV. GENERAL INFORMA  |   |  |  |  | ng with supporting documents  |  |
| Ctan in explain now  | ali requested variances mu  | ist be highlighted on th   | e survey, site plan and o  | construction plans. E  | ach variance request must be  |  |
| clearly shown on the si<br>decimal point.<br>The BZA application fe  | urvey and plans including   | a table as shown in the<br>nily residential; \$560.00<br>to the scheduled hearing  | e survey, site plan and on example below. All dimediate of for all others. This among date.  | construction plans. E<br>nensions to be showr  | ill be required to be submitted ach variance request must be in in feet measured to the second or a public notice sign which must |  |
| clearly shown on the sidecimal point.  The BZA application febe posted at the prope  | urvey and plans including e is \$360.00 for single fam erty at least 15-days prior  | a table as shown in the<br>nily residential; \$560.00<br>to the scheduled hearin<br>Variance   | e survey, site plan and of example below. All dim of or all others. This among date.  c Chart Example  | construction plans. Enterprise to be shown bunt includes a fee for   | ach variance request must be in in feet measured to the second or a public notice sign which must                                 |  |
| clearly shown on the sidecimal point. The BZA application febe posted at the properation of the properation  | urvey and plans including e is \$360.00 for single fam erty at least 15-days prior tenders unces Requir   | a table as shown in the nily residential; \$560.00 to the scheduled hearing Variance red   | e survey, site plan and of example below. All dim of or all others. This among date.  c Chart Example disting  | construction plans. Entensions to be shown bunt includes a fee for Proposed  | ach variance request must be in in feet measured to the second or a public notice sign which must variance Amount                 |  |
| clearly shown on the sidecimal point. The BZA application febe posted at the properate of t | e is \$360.00 for single famerty at least 15-days prior tences  Requires  Setback  25.00 F  | a table as shown in the nily residential; \$560.00 to the scheduled hearing Variance red Execution 23.   | e survey, site plan and of example below. All dim of or all others. This among date.  c Chart Example controls  so Feet  | construction plans. Enterprise to be shown bunt includes a fee for   | ach variance request must be in in feet measured to the second or a public notice sign which must                                 |  |
| clearly shown on the sidecimal point. The BZA application febe posted at the propeous Requested Variance A, Front Variance B, He   | e is \$360.00 for single famerty at least 15-days prior to the second sec | a table as shown in the nily residential; \$560.00 to the scheduled hearing Variance red Execution 23.   | e survey, site plan and of example below. All dim of or all others. This among date.  c Chart Example disting  | enstruction plans. Entensions to be shown bunt includes a fee for Proposed 23.50 Feet  | variance request must be in in feet measured to the second or a public notice sign which must variance Amount  1.50 Feet          |  |
| clearly shown on the sidecimal point. The BZA application febe posted at the proper Requested Variation Variance A, Front Variance B, He V. REQUIRED INFORM  | e is \$360.00 for single famerty at least 15-days prior to the set back 25.00 Feight 30.00 Featlon CHECKLIST:   | a table as shown in the nily residential; \$560.00 to the scheduled hearin Variance red Execution Execution 23. Each Seet Seet So.   | e survey, site plan and of example below. All dim of for all others. This among date.  c Chart Example disting 50 Feet 25 Feet   | enstruction plans. Elemensions to be shown bunt includes a fee for Proposed 23.50 Feet 30.25 Feet  | variance request must be in in feet measured to the second or a public notice sign which must variance Amount  1.50 Feet          |  |
| clearly shown on the sidecimal point.  The BZA application febe posted at the proper sequested Variation Variance A, Front Variance B, He V. REQUIRED INFORM   | e is \$360.00 for single famerty at least 15-days prior to the second sec | a table as shown in the nily residential; \$560.00 to the scheduled hearing variance red Exect 23. Feet 30.  | e survey, site plan and of example below. All dim of for all others. This among date.  c Chart Example disting 50 Feet 25 Feet   | enstruction plans. Elemensions to be shown bunt includes a fee for Proposed 23.50 Feet 30.25 Feet  | variance request must be in in feet measured to the second or a public notice sign which must variance Amount  1.50 Feet          |  |
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| clearly shown on the sidecimal point. The BZA application fee be posted at the proper temperature of the properature of the pro | e is \$360.00 for single famerty at least 15-days prior to the second sec | a table as shown in the nily residential; \$560.00 to the scheduled hearing variance red Execute 23. Feet 30.  | e survey, site plan and of example below. All dim of for all others. This among date.  c Chart Example kisting 50 Feet 25 Feet   | enstruction plans. Elemensions to be shown bunt includes a fee for Proposed 23.50 Feet 30.25 Feet  | variance request must be in in feet measured to the second or a public notice sign which must variance Amount  1.50 Feet          |  |
| clearly shown on the sidecimal point.  The BZA application febe posted at the proper standard variance A, Front Variance B, He  V. REQUIRED INFORM  Ple  Cor  Sign  Cer  | e is \$360.00 for single famerty at least 15-days prior to the series of  | a table as shown in the hilly residential; \$560.00 to the scheduled hearing variance red Exect 23. Seet 30. Seet and proposed cisting and proposed  | e survey, site plan and of example below. All dim of for all others. This among date.  c Chart Example disting 50 Feet 25 Feet   lectronic submiss ship floor plans and elevar   | Proposed 23.50 Feet 30.25 Feet   | Variance Amount  1.50 Feet  0.25 Feet   |  |
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| clearly shown on the state decimal point.  The BZA application fee be posted at the proper decimal variance A, Front Variance B, He  V. REQUIRED INFORM  Ple  Cor  Sign  Cer  Buil   | e is \$360.00 for single famerty at least 15-days prior to the series of  | a table as shown in the hilly residential; \$560.00 to the scheduled hearing variance red Exect 23. Seet 30. Seet and proposed cisting and proposed  | e survey, site plan and of example below. All dim of for all others. This among date.  c Chart Example disting 50 Feet 25 Feet   lectronic submiss ship floor plans and elevar   | Proposed 23.50 Feet 30.25 Feet   | Variance Amount  1.50 Feet  0.25 Feet   |  |
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Received Date: \_\_\_\_

## CITY OF BIRMINGHAM BOARD OF ZONING APPEALS RULES OF PROCEDURE

#### **ARTICLE I - Appeals**

- A. Appeals may be filed under the following conditions:
  - 1. A property owner may appeal for variance, modification or adjustment of the requirements of the Zoning Ordinance.
  - 2. A property owner may appeal for variance, modification or adjustment of the requirements of the Sign Ordinance.
  - 3. Any aggrieved party may appeal the decision of the Planning Board and/or the Building Official in accordance with the City of Birmingham Zoning Ordinance, Article Eight, Section 8.01 (D) Appeals. If an appellant requests a review of any determination of the Building Official, a complete statement setting forth the facts and reasons for the disagreement with the Building Official's determination shall include the principal point, or points on the decision, order or section of the ordinance appealed from, on which the appeal is based.
- B. Procedures of the Board of Zoning Appeals (BZA) are as follows:
  - 1. Regular BZA meetings, which are open to the public, shall be held on the second Tuesday of the month at 7:30 P.M. provided there are pending appeals. There will be a maximum of seven appeals heard at the regular meeting which are taken in the order received. If an appeal is received on time after the initial seven appeals have been scheduled, it will be scheduled to the next regular meeting.
  - 2. All applications for appeal shall be submitted to the Community Development Department on or before the 12<sup>th</sup> day of the month preceding the next regular meeting. If the 12<sup>th</sup> falls on a Saturday, Sunday, or legal holiday, the next working day shall be considered the last day of acceptance.
  - 3. All property owners and occupants within 300 feet of the subject property will be given written notice of a hearing by the City of Birmingham.
  - 4. See the application form for specific requirements. If the application is incomplete, the BZA may refuse to hear the appeal. The Building Official or City Planner may require the applicant to provide additional information as is deemed essential to fully advise the Board in reference to the appeal. Refusal or failure to comply shall be grounds for dismissal of the appeal at the discretion of the Board.
  - 5. In variance requests, applicants must provide a statement that clearly sets forth all special conditions that may have contributed to a practical difficulty that is preventing a reasonable use of the property.

- 6. Where the Birmingham Zoning Ordinance requires site plan approval of a project by the City Planning Board before the issuance of a building permit, applicants must obtain preliminary site plan approval by the Planning Board before appeal to the BZA for a variance request. If such appeal is granted by the BZA, the applicant must seek final site plan and design review approval from the Planning Board before applying for a building permit.
- 7. An aggrieved party may appeal a Planning Board decision. Such appeal must be made within 30 days of the date of the decision. The BZA, in its discretion, may grant additional time in exceptional circumstances.
- 8. Appeals from a decision of the Building Official shall be made within 30 days of the date of the order, denial of permit, or requirement or determination contested. The BZA, in its discretion, may grant additional time in exceptional circumstances.
- 9. An appeal stays all proceedings in accordance with Act #110, Public Acts of 2006, Article VI, Section 125.3604 (3).

#### C. The order of hearings shall be:

- 1. Presentation of official records of the case by the Building Official or City Planner as presented on the application form.
- 2. Applicant's presentation of his/her case—the applicant or his/her representative must be present at the appeal hearing.
- 3. Interested parties' comments and view on the appeal.
- 4. Rebuttal by applicant.
- 5. The BZA may make a decision on the matter or request additional information.

## D. Motions and Voting

- 1. A motion is made to either grant or deny a petitioner's request
  - a) For a motion to grant or deny a non-use variance request, the motion must receive four (4) affirmative votes to be approved.
  - b) For a motion to grant or deny a use variance request, the motion must receive five (5) affirmative votes to be approved.
  - c) For a motion to grant or deny an appeal of a decision or order by an administrative official or board, the motion must receive four (4) affirmative votes to be approved.
- 2. When a motion made is to approve or deny a petitioner's request and if there is a tie vote, then the vote results in no action by the board and the petitioner shall be given an opportunity to have his or her request heard the next regularly scheduled meeting when all the members are present.

- 3. When there are less than seven (7) members of the board present for a meeting, then a petitioner requesting a use variance shall be given an opportunity at the beginning of the meeting to elect to have it heard at the next regularly scheduled meeting.
- 4. When there are less than six (6) members present for a meeting, then all petitioners shall be given an opportunity at the beginning of the meeting to elect to have the request heard at the next regularly scheduled meeting.

#### **ARTICLE II - Results of an Appeal**

- A. The Board may reverse, affirm, vary or modify any order, requirement, decision or determination as in its opinion should be made, and to that end, shall have all the powers of the officer from whom the appeal has been taken.
- B. The decisions of the Board shall not become final until the expiration of five (5) days from the date of entry of such orders or unless the Board shall find that giving the order immediate effect is necessary for the preservation of property and/or personal rights and shall so certify on the record.
- C. Whenever any variation or modification of the Zoning Ordinance is authorized by resolution of the BZA, a <u>Certificate of Survey</u> must be submitted to the Community Development Department with the building permit application. A building permit must be <u>obtained</u> within one year of the approval date.
- D. Failure of the appellant, or his representative, to appear for his appeal hearing will result in the appeal being adjourned to the next regular meeting. If, after notice, the appellant fails to appear for the second time, it will result in an automatic withdrawal of the appeal. The appellant may reapply to the BZA.
- E. Any applicant may, with the consent of the Board, withdraw his application at any time before final action.
- F. Any decision of the Board favorable to the applicant is tied to the plans submitted, including any modifications approved by the Board at the hearing and agreed to by the applicant, and shall remain valid only as long as the information or data provided by the applicant is found to be correct and the conditions upon which the resolution was based are maintained.

# **ARTICLE III - Rehearings**

A. No rehearing of any decision of the Board shall be considered unless new evidence is submitted which could not reasonably have been presented at the previous hearing or unless there has been a material change of facts or law.

B. Application or rehearing of a case shall be in writing and subject to the same rules as an original hearing, clearly stating the new evidence to be presented as the basis of an appeal for rehearing.

I certify that I have read and understand the above rules of procedure for the City of Birmingham Board of Zoning Appeals.

# Frank Colasonti, Jr. and James B. Ryder

Signature of Applicant

Digitally Signed by Frank Colasonti, Jr. and James B. Ryder  $9.10.2023\ 3:35\ \text{PM}$ 

10/10/2023

Dear Members of the Birmingham Board of Zoning Appeals,

Our difficulties remain as they were at the August BZA meeting:

# No Garage No Basement No Attic/Second Floor

Hardship: No two-car garage with adequate space.

Hearing what some BZA members commented on at the August meeting, we have adjusted the height of our proposed structure downward. Our previously requested variance of 15.5' is removed for consideration.

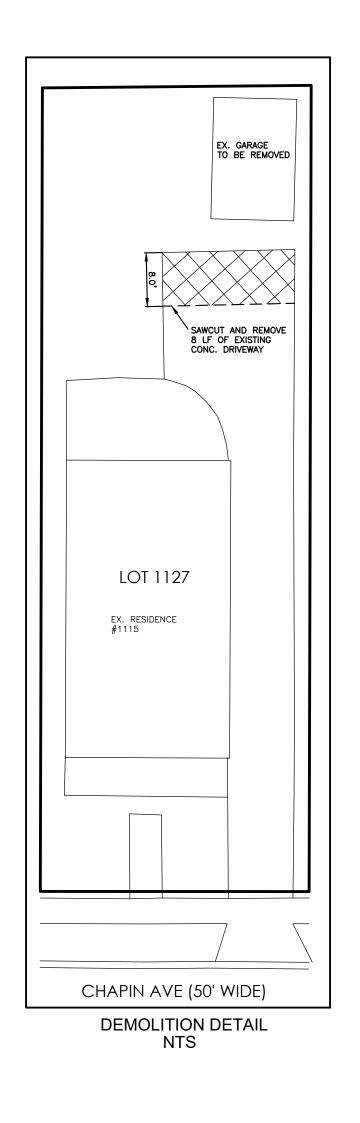
However, our 1,065 sq. ft. home was rebuilt in 1992 when the lot coverage was based solely on lot setbacks, not the percentage of lot coverage. The current lot coverage restriction prevents us from building a two-car garage.

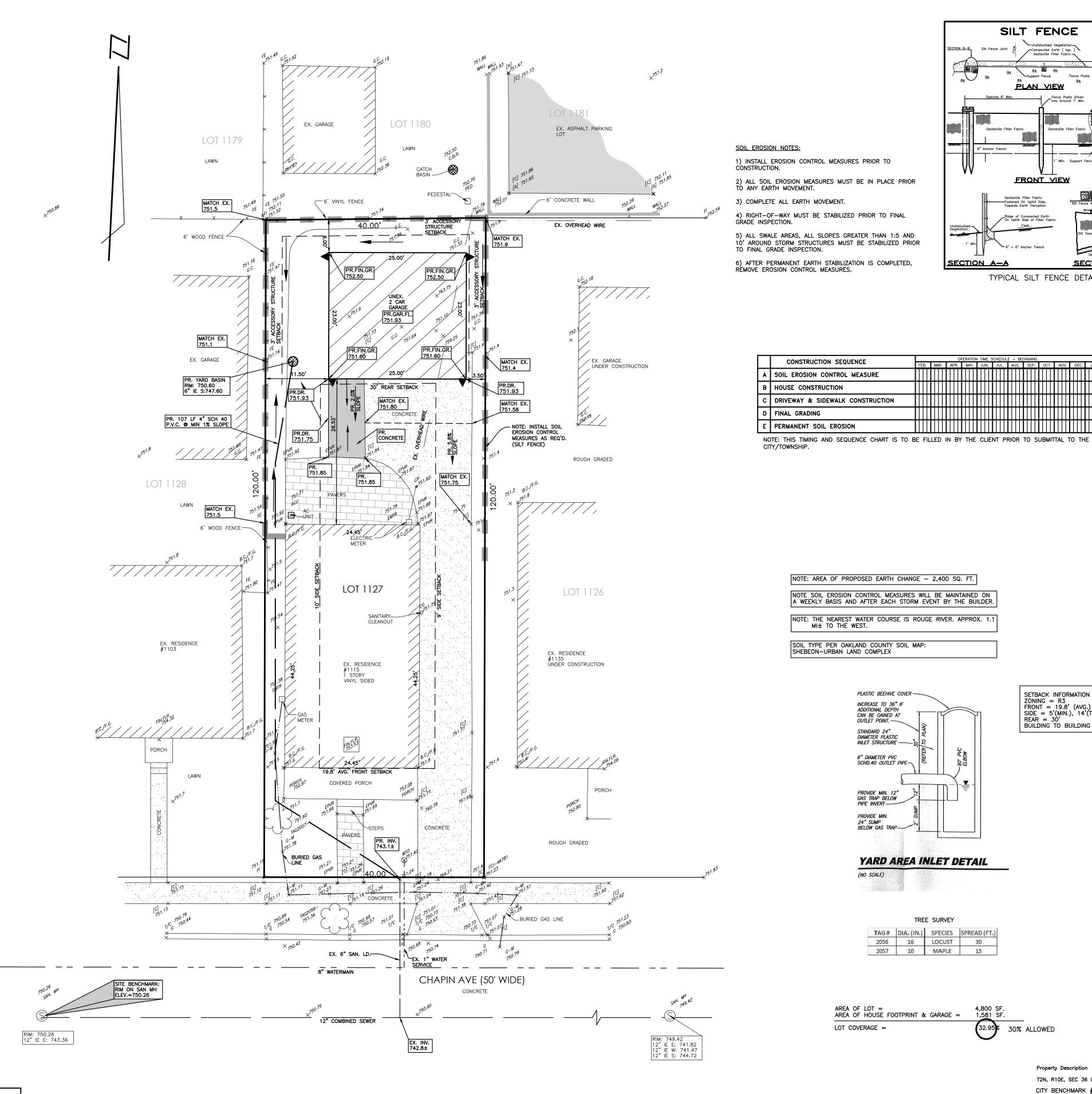
We took to heart the thoughtful, expert observation made by BZA member Architect Hart that with our requested variance our proposed design is barely a two-car garage. Therefore, we are again requesting the same variance regarding lot coverage as proposed in August.

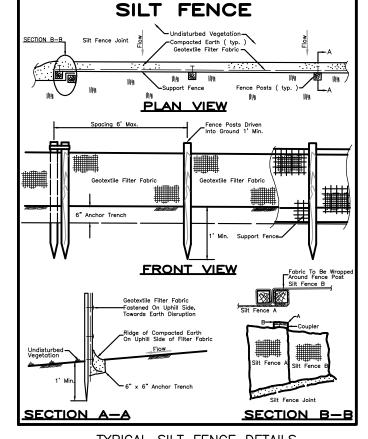
Our proposed design with the variance corrects our hardship by meeting our need for a two-car garage with additional space. It helps us to meet a modest need for us to age-in-place with dignity.

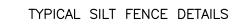
Thank you for reconsidering our request for a variance,

Frank Colasonti, Jr and James B. Ryder Homeowners 1115 Chapin Avenue









OPERATION TIME SCHEDULE - BEGINNING

FEB. MAR. APR. MAY JUN. JUL. AUG. SEP. OCT. NOV. DEC. JAN.

NOTE: ALL INTERIOR GRADES (ARCHITECTURAL) SUCH AS FINISH FLOOR, BASEMENT FLOOR, FOOTING GRADES WALL SECTIONS SHALL BE VERIFIED BY THE BUILDER AND/OR ARCHITECT PRIOR TO CONSTRUCTION. ALL TRADES MÚST USE THE ARCHITECTURAL PLANS OF RECORD TO CONSTRUCT ANYTHING OTHER THAN EXTERIOR GRADES AS SHOWN ON THIS PLOT

LOCATION MAP

NOT TO SCALE

E LINCOLN AVE

NOTE: SETBACKS AS SHOWN ON THIS PLOT PLAN WERE OBTAINED FROM THE MUNICIPALITY. IT IS THE RESPONSIBILITY OF THE CLIENT TO INSURE THAT THIS INFORMATION IS CORRECT. SINCE DEED RESTRICTIONS ARE NOT SUPPLIED BY THE MUNICIPALITY, THE CLIENT MUST INFORM THIS OFFICE OF ANY SPECIAL RESTRICTIONS WHICH MAY AFFECT THIS PLOT

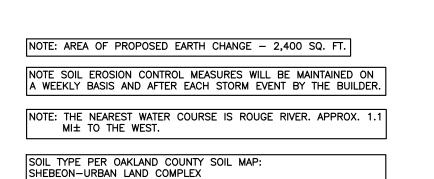
NOTE: FENN AND ASSOCIATES ASSUMES NO RESPONSIBILITY FOR GIVEN HOUSE DIMENSIONS. CLIENT MUST VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

NOTE: THIS DRAWING IS NOT INTENDED OR REPRESENTED TO BE A LAND OR PROPERTY LINE SURVEY. THIS DRAWING IS NOT TO BE USED FOR THE ESTABLISHMENT OF ANY PROPERTY LINES OR OTHER IMPROVEMENTS.

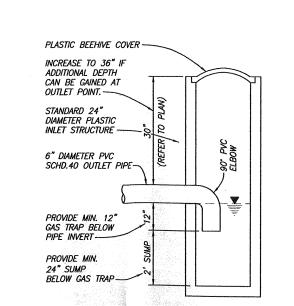
NOTE: ACTUAL AS-BUILT LEAD LOCATIONS MUST BE OBTAINED FROM THE CITY/TOWNSHIP.

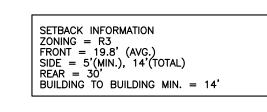
NOTE: PROPOSED HOUSE HAS PROPOSED DROP BRICK LEDGE.

LEGEND



CONSTRUCTION SEQUENCE





SECTION CORNERFOUND IRON, MON., NAILSET IRON = RECORDED = MEASURED C = CALCULATED **EXISTING DESCRIPTION** U.P. = UTILITY POLE

E/WOS = EDGE OF WOODS

B/BM = BOTTOM OF BERM

I/BM = TOP OF BERM

[A] = EDGE OF ASPHALT

[C] = EDGE OF CONCRETE

CMP. = CORRUGATED METAL

TOP OF WALL

TOR OF WALL = EDGE OF ASPHALT = EDGE OF CONCRETE CMP. = CORRUGATED METAL PIPE INVERT

T WALL = TOP OF WALL

B WALL = BOTTOM OF WALL

E/W = EDGE OF WATER B.C./F.G = BUILDING CORNER/FINISHED GRADE MKR = MARKER
WSO = WATER SHUT OFF
CL = CENTERLINE CL = CENTERLINE

SAN. MH = SANITARY MANHOLE

C.B.B.⊗ = CATCH BASIN BEEHIVE

T/C = TOP OF CURB

STM. MH. = STORM MANHOLE

T/B = TOP OF BANK

B/B = BOTTOM OF BANK

CL = CENTERLINE

C.B.S.■ = CATCH BASIN SQUARE

LP = LIGHT POLE

CATCH BASIN SQUARE

LOW S = GATE VALVE/WELL = GATE VALVE/WELL PR. 000.00 = PROPOSED GRADE = EXISTING GRADE

PR. 000.00 = PLAN PROPOSED GRADE NO LONGER APPLICABLE = C.B. FILTER = SILT FENCE 

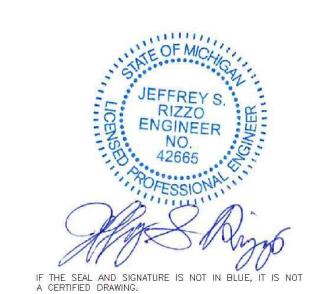
= DOWNSPOUT

TREE SURVEY TAG# DIA. (IN.) SPECIES SPREAD (FT.) LOCUST

YARD AREA INLET DETAIL

(NO SCALE)

AREA OF LOT =
AREA OF HOUSE FOOTPRINT & GARAGE = 32.95% 30% ALLOWED LOT COVERAGE =



Property Description T2N, R10E, SEC 36 LEINBACH-HUMPHREY'S WOODWARD AVE SUB LOT 1127

CITY BENCHMARK #22: BRASS DISC LOCATED AT THE NW CORNER OF CUMMINGS AND DAVIS, ELEV.: 748.568 (CITY DATUM)
SITE BENCHMARK: RIM ON SANITARY MANHOLE, ELEVATION: 750.26 (CITY DATUM) Utility Information, as shown, indicates the approximate locations and types of utilities as disclosed to this firm by various utility company's marking(s) and/or plans

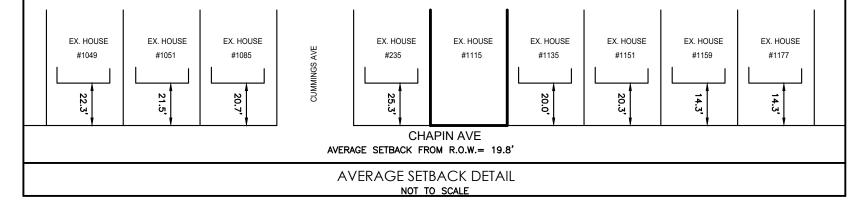
ADDRESS: 1115 CHAPIN AVE provided.

No guarantee is provided or implied as to the existence, accuracy, or completeness of

PID: 19-36-431-005 of This drawing is the sole property of Fenn & Associates, Inc. and shall not be reproduced or replicated in any way without prior written permission from Fenn & Associates, Inc. Any unauthorized use and/or reproduction of this document is subject to legal action.

**REVISIONS** Fenn & Associates, Inc Land Surveying and Civil Engineering 7/5/23 GARAGE PLAN

14933 Commercial Drive, Shelby Township, MI 48315 hone: 586-254-9577 Fax: 586-254-9020 www.fennsurvey SCALE: 1" = 10' FIELD: AC, CS DATE: 4/17/23 CHECKED: J.S.R., P.E. TOPO-GARAGE PLAN UPON 1115 CHAPIN AVE PART OF SECTION 38, T2N, R10E CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN CLIENT: FRANK COLASONTI, JR & JIM RYDER 23-00139.01



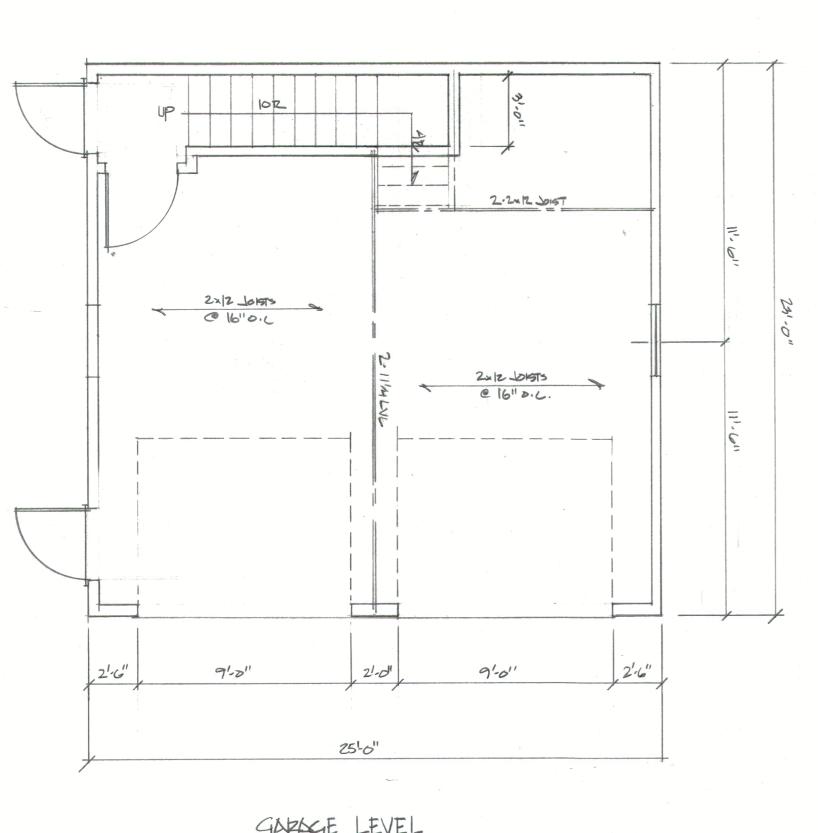
any utilities. All locations and depths of any utilities that may exist shall be verified in the field by others prior to the start of construction.

Extreme caution shall be utilized during construction when operating near overhead CALL MISS DIG 72 HOURS (3 WORKING DAYS -**EXCLUDING SAT., SUN. & HOLIDAYS)** 

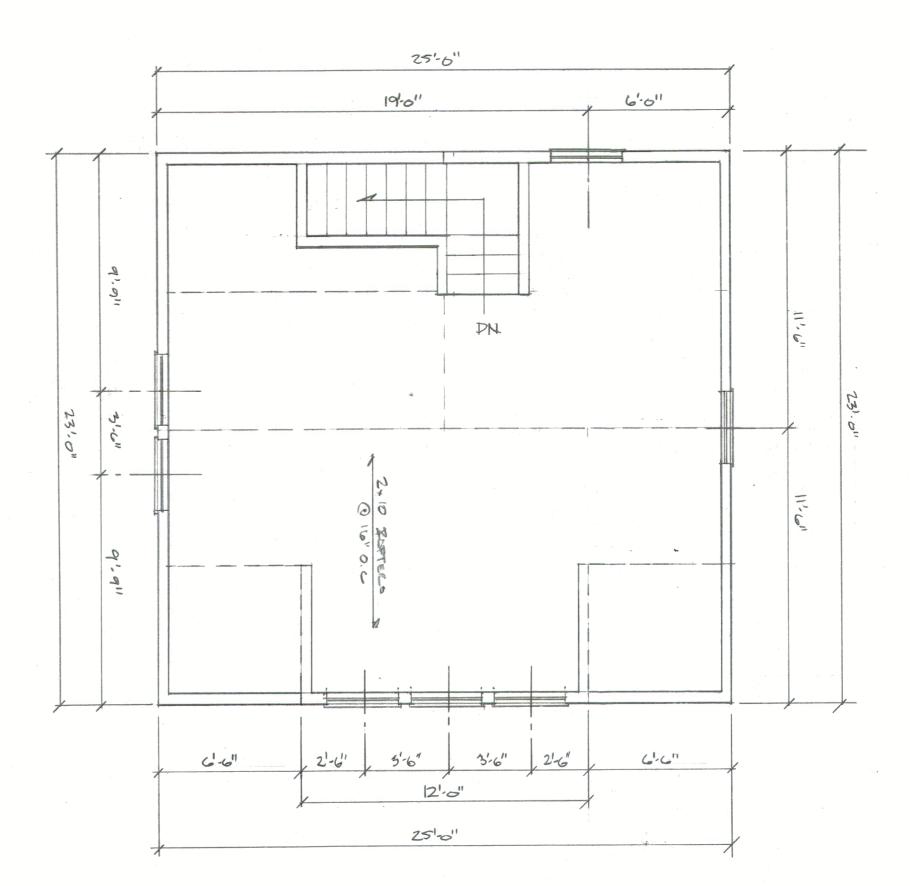
**CALL MISS DIG** 1-800-482-7171

UNDER GROUND FACILITIES

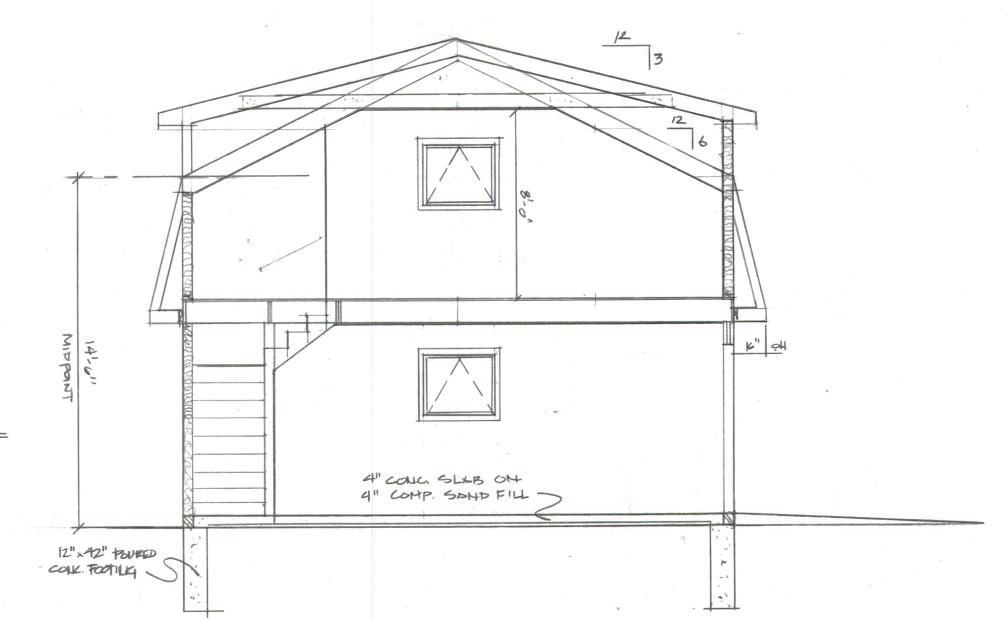
(TOLL FREE) FOR THE LOCATION OF



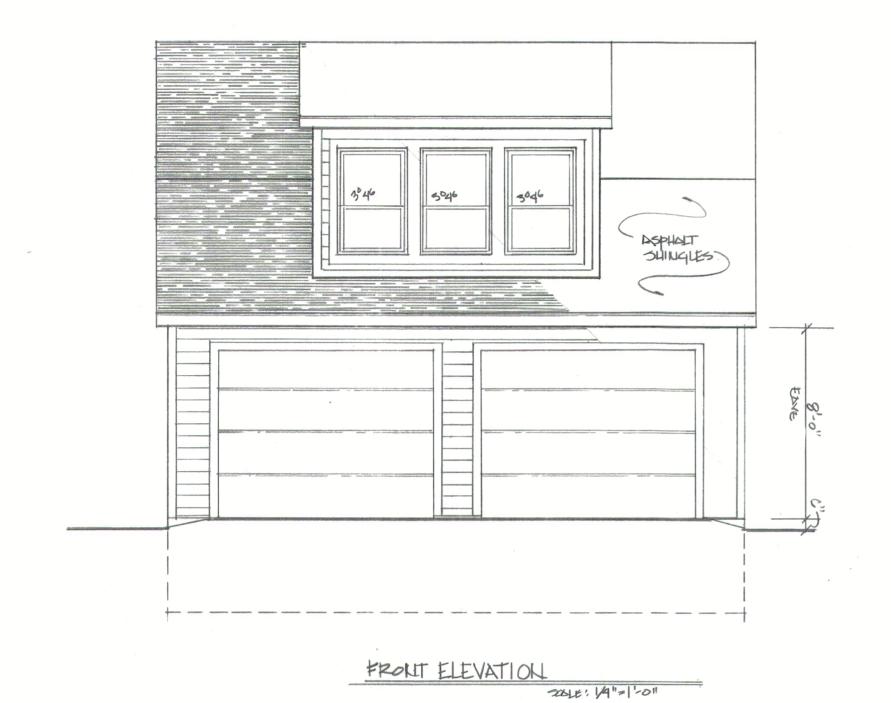
GARAGE LEVEL

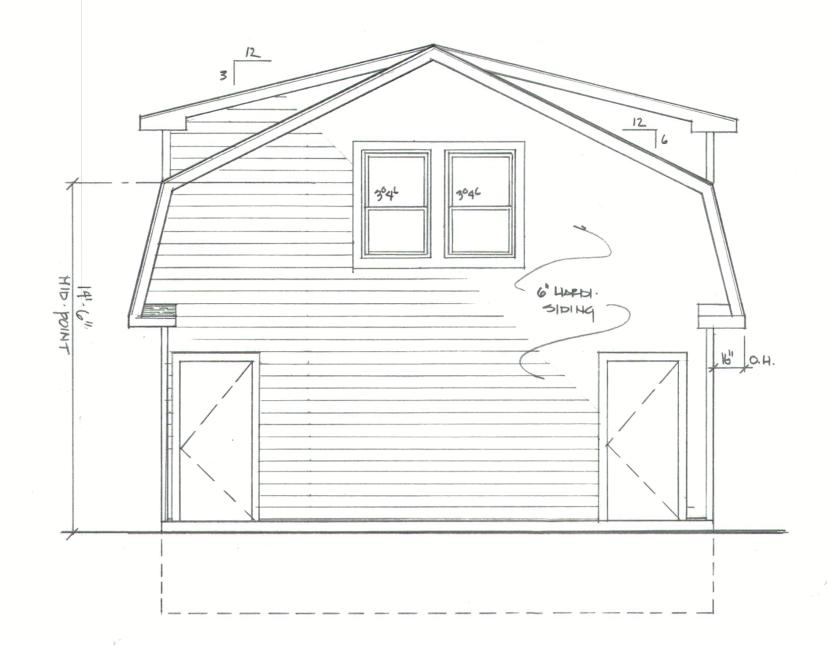


ATTIC LEVEL

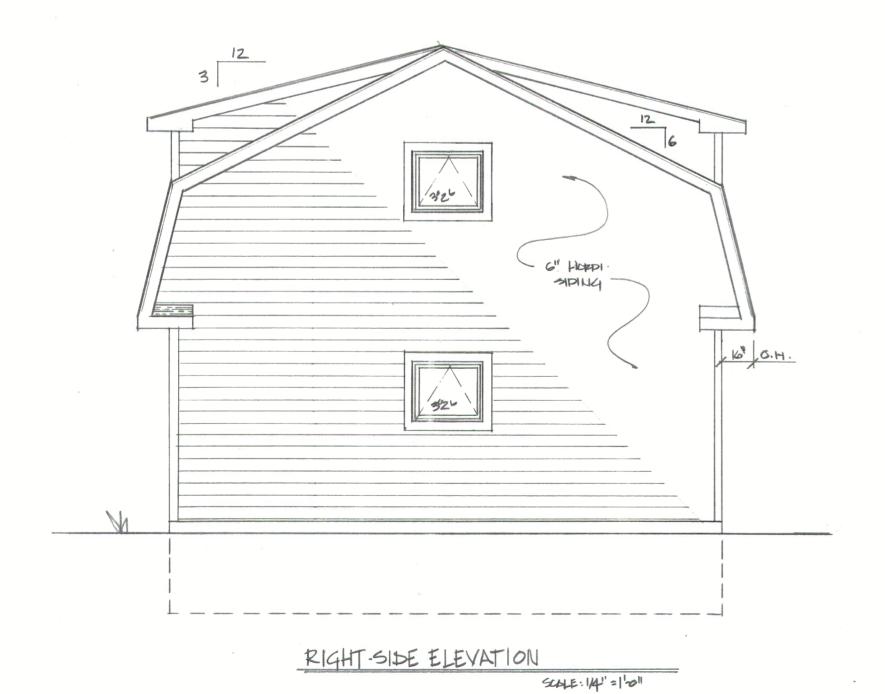


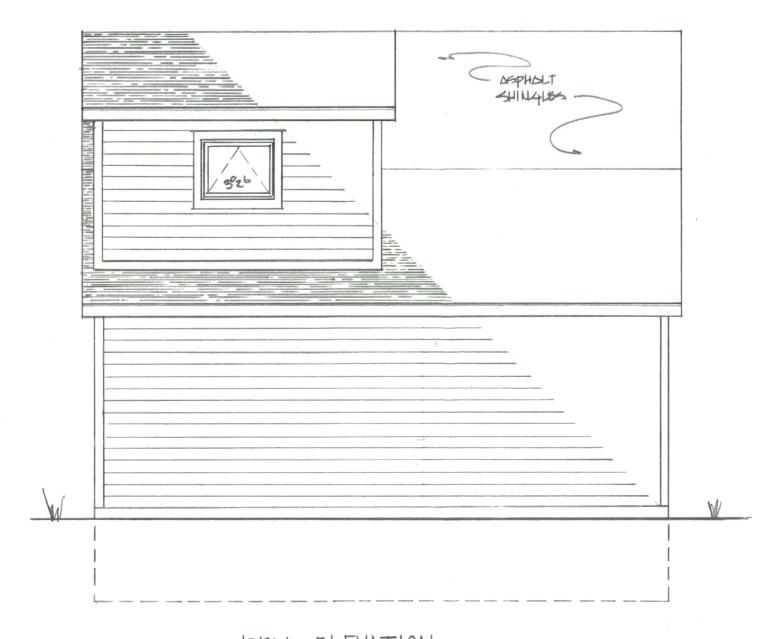
SECTION SCARE: 1/4"=|1-0"











REAR ELEVATION

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Mr. Koseck stated he would be comfortable with granting a variance only if he was confident that there isn't an existing parking problem. He proposed postponing this Appeal for a month so that he could drive by the site for a while to observe the area's parking situation. He assured Mr. DeWitt he would take into consideration the construction going on at Market Square.

Mr. Lillie explained to Mr. DeWitt that he can either adjourn to date so that the Board members can drive by the site and observe the parking situation, or the Board can act on his Appeal this evening. Mr. DeWitt opted for an adjournment.

#### Motion by Ms. Richie

Seconded by Mr. Koseck that Appeal 91-60 be postponed until the next regularly-scheduled meeting in January.

Yeas:

Mr. Lillie, Ms. Richie, Messrs. Gibbs, Williams,

Conlin and Koseck.

Nays:

None

Motion passes to adjourn to date.

#### Appeal 91-62

Mr. Frank Colasonti, Jr., owner of the property known as 1115 Chapin, is requesting variances in order to add a covered porch and addition to his existing residence.

Section 5.163, Chapter 39, Birmingham City Code, requires the side yard setback to be a minimum of 5' with 3.6' proposed or a variance of 1.4' required.

Section 5.163, Chapter 39, Birmingham City Code, requires the front setback to be 25' with 13.8' proposed or a variance of 11.2' required.

Section 5.223(1), Chapter 39, Birmingham City Code, allows steps to project 15' in the required front yard with 10.8' proposed or a variance of 4.2' required.

Section 5.182, Chapter 39, Birmingham City Code, requires the minimum distance between buildings on adjoining property to be 9' with 7.6' proposed or a variance of 1.4' required.

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Mr. Murphy explained there are two areas involved; one is an addition to the front and one to the back. There is a covered porch which the petitioner would like to widen and also add some steps out front.

The petitioner is extending the existing plane on the west side of the house, front and back.

Mr. Colasonti explained he is proposing a modest addition to the rear and is trying to keep the integrity of the house; it is a 1921 cottage. There are porch steps currently and the new steps would not extend any further beyond the current ones. The only way the petitioner is elevating the front elevation is by adding 5' to the east side of the porch and carrying it across the width of the front of the house. The depth of the addition on the back is 16' and 24' wide. A bathroom located at the back of the house is being removed.

Mr. Colasonti is proposing to make the home handicap accessible. He explained that he intends to care for his parents thus his plans. Also, there are people on the market who look for homes that are accessible to the handicap, and he would like his home to be one of them.

Mr. Conlin referenced the petition the Board received from residents in the area citing their opposition to any addition that does not comply with existing City codes. Mr. Colasonti explained this goes back about two or three years ago when there was a proposal by the City to have the first property on both sides of Woodward, which were zoned residential, re-zoned commercial. He, along with other neighbors, petitioned not to have it re-zoned but to keep it residential and eventually it was rezoned to become parking. So, Mr. Colasonti stated he has made efforts to preserve the neighborhood.

Mr. Williams queried the petitioner what would have to be added to make the house handicap accessible if this variance was granted.
Mr. Colasonti responded a ramp would be added. Mr. Colasonti explained that in all likelihood, he would put the ramp behind the house.

Mr. Gibbs commented that it didn't look like the bathroom was being made handicap accessible; looks too small.

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Motion by Mr. Conlin

Seconded by Mr. Williams, with reference to Appeal 91-62, to grant the side yard variance of 1.4'; move to grant the front setback variance of 11.2'; move to allow the steps to have the variance of 4.2'; and, I would move to allow the variance of 1.4' between the The petitioner has demonstrated this is an existing cottage that was probably built along with echo city back when it was established on a 40' lot. The petitioner is not proposing to add any height or width to the existing footprint of the house other than the front porch area. The purpose of the front porch rebuilding, renovation seems to be purely aesthetic without encroaching into the space. The variance for the stairs and the porch are not any more of an encroachment than what exists--or it has been represented that they are not. The distance between buildings is not any greater than what exists at the present time, and the side yard is a result of the extension of a 16' addition to the rear of the home. Because of the type of home that it is, the increase in volume would enhance the useability in contemporary times and allow for more viable space. The variance would not do a substantial injustice to adjoining property owners. adjoining property owners have enclosed a petition against it but have not either demonstrated or commented as to what particular variance they are opposed to or why. The conditions are due to unique existing circumstances that relate to the age of the home the size of the lot. tie the Motion to the Ι representations that are presented to us tonight, particularly with regard to the page that shows the front setbacks in relation to the other homes and the footprint of the home demonstrating a 16 x 24 foot addition to the rear; the two 5' additions to the side of the porch and which pretty much depicts all the variances to allow the Building Department to ensure that nothing will exceed that.

Mr. Williams stated the drawing shows three steps. Mr. Colasonti stated there will be two steps and then the porch. Mr. Murphy stated he figured a 12" tread under the dimension of the proposed step.

Yeas: Messrs. Conlin, Koseck and Lillie, Ms. Richie,

Messrs. Gibbs and Williams.

Nays: None

Motion passes to grant the variances.

Mr. Williams commented that the neighbors objecting might have assumed there would be many variations from the way this was advertised, not realizing the petitioner was going to conform.

• Regardless of the purpose of the ordinance, the BZA would need to hear why the ordinance could not be adhered to.

#### Motion by Mr. Reddy

Seconded by Mr. Kona with regard to Appeal 23-25, Chapter 126, Article 4, Section 4.03(D) of the Zoning Ordinance requires that a swimming pool shall not be closer than 10.00 feet to the principal building located on the same lot. The proposed is 8.00 feet. Therefore, a variance of 2.00 feet is being requested.

Mr. Miller moved to deny the variance. He said that while he originally thought the location of the pool was limited by the power lines, since that was not ultimately the case, the request seemed to be self-created. He stated that the request was not due to unique circumstances of the property, and that adhering to the ordinance in this case would not be unnecessarily burdensome.

Mr. Reddy concurred with Mr. Miller.

The Chair supported the motion. He said there were a number of options available for mitigating the ordinance.

#### Motion carried, 6-0.

**ROLL CALL VOTE** 

Yeas: Lilley, Morganroth, Miller, Reddy, Kona, Hart

Nays: None

T# 08-37-23

## 6) 1115 Chapin Appeal 23-26

ABO Zielke presented the item, explaining that the owner of the property known as 1115 Chapin was requesting the following variances to construct a new detached garage:

- A. Chapter 126, Article 2, Section 2.10.1 of the Zoning Ordinance limits the lot coverage to a maximum of 30% of the lot. The required 30% is 1440.00 SF. The proposed is 32.95% (1581.90 SF). Therefore, a variance of 2.95% (141.90 SF) is being requested.
- **B.** Chapter 126, Article 4, Section 4.03(G)(1)(C) of the Zoning Ordinance requires that the minimum building height on an accessory structure in the R3 zoning shall not exceed 14.50 feet to the mid-point. The proposed is 15.25 feet. Therefore, a variance of 0.75 feet is being requested.

Staff answered informational questions from the Board.

Frank Colasanti Jr., co-owner, reviewed the letter describing why these variances were being sought. The letter was included in the evening's agenda packet.

In reply to Board inquiry, Mr. Colasanti explained that the appellants were advised that the structure could accommodate two vehicles, especially since one of the vehicles was smaller.

Board comments were as follows:

- The lot is limited by its size and the ordinances, and the BZA's decision could not be impacted by the amount of storage desired by the appellant;
- Since most or all of the structure would be used for storage, the width could be reduced by two feet in order to mitigate the need for a variance;
- A different style roof may change where the peak would be measured from. Reducing the width of the garage would also lower where the peak would be measured from; and,
- It would be difficult for the garage to accommodate two vehicles given the stairs.

#### Motion by Mr. Reddy

Seconded by Mr. Miller with regard to Appeal 23-26, Chapter 126, Article 2, Section 2.10.1 of the Zoning Ordinance limits the lot coverage to a maximum of 30% of the lot. The required 30% is 1440.00 SF. The proposed is 32.95% (1581.90 SF). Therefore, a variance of 2.95% (141.90 SF) is being requested; and, Chapter 126, Article 4, Section 4.03(G)(1)(C) of the Zoning Ordinance requires that the minimum building height on an accessory structure in the R3 zoning shall not exceed 14.50 feet to the mid-point. The proposed is 15.25 feet. Therefore, a variance of 0.75 feet is being requested.

Mr. Reddy moved to deny the variances. He said slight modifications to the design would minimize or eliminate the requested variances. He noted that the modifications might also benefit the appellant.

Mr. Hart said there was hardship faced by the appellant in terms of the size of the garage. He said the appellant also tried to mitigate the extent of the variance. He said the garage could not be much smaller, and therefore represented a reasonable request. He said he would not support the motion.

#### Motion carried, 5-1.

**ROLL CALL VOTE** 

Yeas: Lilley, Morganroth, Miller, Reddy, Kona

Nays: Hart

6. Correspondence

- 7. Open To The Public For Matters Not On The Agenda
- 8. Adjournment

No further business being evident, the Board motioned to adjourn at 9:44 p.m.

Bruce R. Johnson, Building Official

Laura Eichenhorn, City Transcriptionist

# **CASE DESCRIPTION**

# **321 LAKE PARK (23-35)**

Hearing date: October 10, 2023

**Appeal No. 23-35**: The owner of the property known as **321 Lake Park**, requests The following variance to construct a circle driveway in the front open space:

A. Chapter 126, Article 4, Section 4.31(A)1 of the Zoning Ordinance requires that The minimum open space of 65% of the front open space in all single-family Districts shall be free of paved surfaces. The required is 2749.50 SF. The proposed is 54% (2283.00 SF). Therefore, a variance of 11% (466.50 SF) is being requested.

**Staff Notes:** This applicant is proposing to construct a circular driveway at the new home that is under construction.

This property is zoned R1 – Single family residential.

Jeff Zielke, NCIDQ, LEED AP, COSS Assistant Building Official



#### CITY OF BIRMINGHAM

#### Community Development - Building Department 151 Martin Street, Birmingham, MI 48009

Community Development: 248-530-1850 Fax: 248-530-1290 / www.bhamgov.org

#### APPLICATION FOR THE BOARD OF ZONING APPEALS

| Received Date:   | H  | Hearing Date:                          |   |  |                         |  |  |  |
|--|--|--|---|--|-------------------------|--|--|--|
|  |  |  |   |  |                         |  |  |  |
| Received By:   |  |  |   |  | ppeal #:                |  |  |  |
| Type of Variance:  | erpretation  | Dimensional                            | Land Use                                    | Sign   | Admin Review            |  |  |  |
| I. PROPERTY INFORMATION:   |  |  |   |  |                         |  |  |  |
| Address: 321 Lake Park Dr  | -  | Lot Number:                            | 322   | Sidwell Number:  | 19-21-476-021           |  |  |  |
| II. OWNER INFORMATION:   |  | THE RELLEVA                            | O for ton                                   |  | 10 21 110 021           |  |  |  |
| Name: Glenn A Carlson  | III  |  |   |  |                         |  |  |  |
| Address: 1669 Webster  | City: Birm   | City: Birmingham                       |   | State: Zip code: 48009   |                         |  |  |  |
| Email:* carlsonf@acme  |  |  |   | Phone:   |                         |  |  |  |
| III. PETITIONER INFORMATION:   |  |  |   | THE DESIGNATION OF THE PARTY OF |                         |  |  |  |
| Name: Peter Stuhlreyer Firm/Company Name: Designhaus   |  |  |   |  |                         |  |  |  |
| Address: 3300 Auburn Rd.   |  | City: Aubı                             |   |  | Zip code: 48326         |  |  |  |
| Email: peter@designh   |  |  |   | State: MI Zip code: 48326 Phone:   |                         |  |  |  |
| IV. GENERAL INFORMATION:   |  |  |   |  | WIND THE REAL PROPERTY. |  |  |  |
| must be submitted on or before the 12 <sup>th</sup> day of the month preceding the next regular meeting. Please note that incomplete applications will not be accepted.  To insure complete applications are provided, appellants must schedule a pre-application meeting with the Building Official, Assistant Building Official and/or City Planner for a preliminary discussion of their request and the documents that will be required to be submitted. Staff will explain how all requested variances must be highlighted on the survey, site plan and construction plans. Each variance request must be clearly shown on the survey and plans including a table as shown in the example below. All dimensions to be shown in feet measured to the second decimal point.  The BZA application fee is \$360.00 for single family residential; \$560.00 for all others. This amount includes a fee for a public notice sign which must be posted at the property at least 15-days prior to the scheduled hearing date.  Variance Chart Example  Requested Variances  Required  Existing  Proposed  Variance Amount  Variance A, Front Setback  25.00 Feet  23.50 Feet  1.50 Feet |  |  |   |  |                         |  |  |  |
| Variance B, Height   | 30.00 Feet   | 30.25                                  | Feet  | 30.25 Feet   | 0.25 Feet               |  |  |  |
| V. REQUIRED INFORMATION CHEC   | Service Control of the Control of th | . in                                   | duania aubusi se                            |  |                         |  |  |  |
|  | ide the following  | ın your elec                           | cronic submiss                              | ion:   |                         |  |  |  |
| <ul> <li>Completed and signed application</li> <li>Signed letter of practical difficulty and/or hardship</li> <li>Certified survey</li> <li>Building plans including existing and proposed floor plans and elevations</li> </ul>   |  |  |   |  |                         |  |  |  |
| <ul> <li>If appealing a board decision, provide a copy of the minutes from any previous Planning, HDC, or DRB board meeting</li> </ul>   |  |  |   |  |                         |  |  |  |
| VI. APPLICANT SIGNATURE  |  |  |   |  |                         |  |  |  |
| Owner hereby authorizes the petit By signing this application, I agree accurate to the best of my knowled *By providing your email to the City, unsubscribe at any time.  Signature of Owner:  Signature of Petitioner:  | to conform to all applic<br>dge. Changes to the pl   | cable laws of the<br>ans are not allow | City of Birmingham.<br>red without approval | from the Building Offic  | cial or City Planner.   |  |  |  |

## CITY OF BIRMINGHAM BOARD OF ZONING APPEALS RULES OF PROCEDURE

#### **ARTICLE I - Appeals**

- A. Appeals may be filed under the following conditions:
  - 1. A property owner may appeal for variance, modification or adjustment of the requirements of the Zoning Ordinance.
  - 2. A property owner may appeal for variance, modification or adjustment of the requirements of the Sign Ordinance.
  - 3. Any aggrieved party may appeal the decision of the Planning Board and/or the Building Official in accordance with the City of Birmingham Zoning Ordinance, Article Eight, Section 8.01 (D) Appeals. If an appellant requests a review of any determination of the Building Official, a complete statement setting forth the facts and reasons for the disagreement with the Building Official's determination shall include the principal point, or points on the decision, order or section of the ordinance appealed from, on which the appeal is based.
- B. Procedures of the Board of Zoning Appeals (BZA) are as follows:
  - 1. Regular BZA meetings, which are open to the public, shall be held on the second Tuesday of the month at 7:30 P.M. provided there are pending appeals. There will be a maximum of seven appeals heard at the regular meeting which are taken in the order received. If an appeal is received on time after the initial seven appeals have been scheduled, it will be scheduled to the next regular meeting.
  - 2. All applications for appeal shall be submitted to the Community Development Department on or before the 12<sup>th</sup> day of the month preceding the next regular meeting. If the 12<sup>th</sup> falls on a Saturday, Sunday, or legal holiday, the next working day shall be considered the last day of acceptance.
  - 3. All property owners and occupants within 300 feet of the subject property will be given written notice of a hearing by the City of Birmingham.
  - 4. See the application form for specific requirements. If the application is incomplete, the BZA may refuse to hear the appeal. The Building Official or City Planner may require the applicant to provide additional information as is deemed essential to fully advise the Board in reference to the appeal. Refusal or failure to comply shall be grounds for dismissal of the appeal at the discretion of the Board.
  - 5. In variance requests, applicants must provide a statement that clearly sets forth all special conditions that may have contributed to a practical difficulty that is preventing a reasonable use of the property.

- 6. Where the Birmingham Zoning Ordinance requires site plan approval of a project by the City Planning Board before the issuance of a building permit, applicants must obtain preliminary site plan approval by the Planning Board before appeal to the BZA for a variance request. If such appeal is granted by the BZA, the applicant must seek final site plan and design review approval from the Planning Board before applying for a building permit.
- 7. An aggrieved party may appeal a Planning Board decision. Such appeal must be made within 30 days of the date of the decision. The BZA, in its discretion, may grant additional time in exceptional circumstances.
- 8. Appeals from a decision of the Building Official shall be made within 30 days of the date of the order, denial of permit, or requirement or determination contested. The BZA, in its discretion, may grant additional time in exceptional circumstances.
- 9. An appeal stays all proceedings in accordance with Act #110, Public Acts of 2006, Article VI, Section 125.3604 (3).

#### C. The order of hearings shall be:

- 1. Presentation of official records of the case by the Building Official or City Planner as presented on the application form.
- 2. Applicant's presentation of his/her case—the applicant or his/her representative must be present at the appeal hearing.
- 3. Interested parties' comments and view on the appeal.
- 4. Rebuttal by applicant.
- 5. The BZA may make a decision on the matter or request additional information.

#### D. Motions and Voting

- 1. A motion is made to either grant or deny a petitioner's request
  - a) For a motion to grant or deny a non-use variance request, the motion must receive four (4) affirmative votes to be approved.
  - b) For a motion to grant or deny a use variance request, the motion must receive five (5) affirmative votes to be approved.
  - c) For a motion to grant or deny an appeal of a decision or order by an administrative official or board, the motion must receive four (4) affirmative votes to be approved.
- 2. When a motion made is to approve or deny a petitioner's request and if there is a tie vote, then the vote results in no action by the board and the petitioner shall be given an opportunity to have his or her request heard the next regularly scheduled meeting when all the members are present.

- 3. When there are less than seven (7) members of the board present for a meeting, then a petitioner requesting a use variance shall be given an opportunity at the beginning of the meeting to elect to have it heard at the next regularly scheduled meeting.
- 4. When there are less than six (6) members present for a meeting, then all petitioners shall be given an opportunity at the beginning of the meeting to elect to have the request heard at the next regularly scheduled meeting.

#### **ARTICLE II - Results of an Appeal**

- A. The Board may reverse, affirm, vary or modify any order, requirement, decision or determination as in its opinion should be made, and to that end, shall have all the powers of the officer from whom the appeal has been taken.
- B. The decisions of the Board shall not become final until the expiration of five (5) days from the date of entry of such orders or unless the Board shall find that giving the order immediate effect is necessary for the preservation of property and/or personal rights and shall so certify on the record.
- C. Whenever any variation or modification of the Zoning Ordinance is authorized by resolution of the BZA, a <u>Certificate of Survey</u> must be submitted to the Community Development Department with the building permit application. A building permit must be <u>obtained</u> within one year of the approval date.
- D. Failure of the appellant, or his representative, to appear for his appeal hearing will result in the appeal being adjourned to the next regular meeting. If, after notice, the appellant fails to appear for the second time, it will result in an automatic withdrawal of the appeal. The appellant may reapply to the BZA.
- E. Any applicant may, with the consent of the Board, withdraw his application at any time before final action.
- F. Any decision of the Board favorable to the applicant is tied to the plans submitted, including any modifications approved by the Board at the hearing and agreed to by the applicant, and shall remain valid only as long as the information or data provided by the applicant is found to be correct and the conditions upon which the resolution was based are maintained.

#### **ARTICLE III - Rehearings**

A. No rehearing of any decision of the Board shall be considered unless new evidence is submitted which could not reasonably have been presented at the previous hearing or unless there has been a material change of facts or law.

| B. Application or rehearing of a case shall be in writing and subject to the same rules as an original hearing, clearly stating the new evidence to be presented as the basis of an appeal for rehearing. |
|---|
| I certify that I have read and understand the above rules of procedure for the City of Birmingham Board of Zoning Appeals.  |
| There Suhbayer  |
| Signature of Applicant  |



September 25, 2023

City of Birmingham
Community Development – Building Department
Zoning Board of Appeals
151 Martin St.
Birmingham, MI 48009

RE: 321 Lake Park Dr. - Dimensional Variance Request

Application for the BZA – Letter of Practical Difficulty.

Parcel ID # 19-26-476-021

#### **BZA Members:**

As representative and Architect for Glen and Denise Carlson regarding the new construction of their residence at 321 Lake Park, we request, on behalf of the Carlsons, an appearance before the Zoning Board of Appeals (ZBA) regarding the following.

We are requesting a review concerning <u>Article 4.31 OS-02 Minimum 65% free of paved surfaces.</u> With the new home construction and layout, we are asking for approval of a front drive design that will be slightly over the required minimum for the front, but not for the overall open space. As proposed, we request that 54% of the front yard be free of paved surfaces. This is a deviation of only 11% from the minimum 65%. Reasoning is as follows.

The Carlson's have lived on the same lot for almost 30 years, and have been residents of Birmingham for over 65 years. They have attended local public schools, participated in community events, and have enjoyed the many amenities of Birmingham. Both of their parents have also lived in the Birmingham area and raised their families here. The Carlsons are truly "lifelong Birmingham residents" and enjoy residing in the community. They also have a large extended family and enjoy having guests over often, as do their neighbors. Because of this, the streets are often lined with cars on both sides of the street reducing accessibility and causing traffic concerns. In order to help alleviate this, we have designed a half circle drive that extends across the width of the Carlson's front yard. This would allow their guests to park safely off-street and free up street travel. The resulting amount of pavement in comparison with the average front yard causes the coverage to be slightly over the minimum in the front. We tried to comply with the strict percentages by reducing the width and length to meet the ordinance, but the result would be a narrow drive that doesn't serve the intended purpose of reducing traffic concerns. In addition, the disproportionate narrow drive alters the overall aesthetic appeal of the house by creating an un-balanced look when viewed from the front. The larger drive will be in proportion with the house and will blend-in well with the surrounding neighbors' residences.



The amount of 54% front open space is the minimum amount being requested. This request is in compliance with the overall open space and coverage on the lot. In short, the overall open space we are requesting is compliant. In addition, with the new drive, 3 street trees currently in poor health will be replaced to complement the overall look in front of the new residence.

Letters of support have been provided and the request is nothing more than what seems to be a trend of several adjacent properties up and down the street.

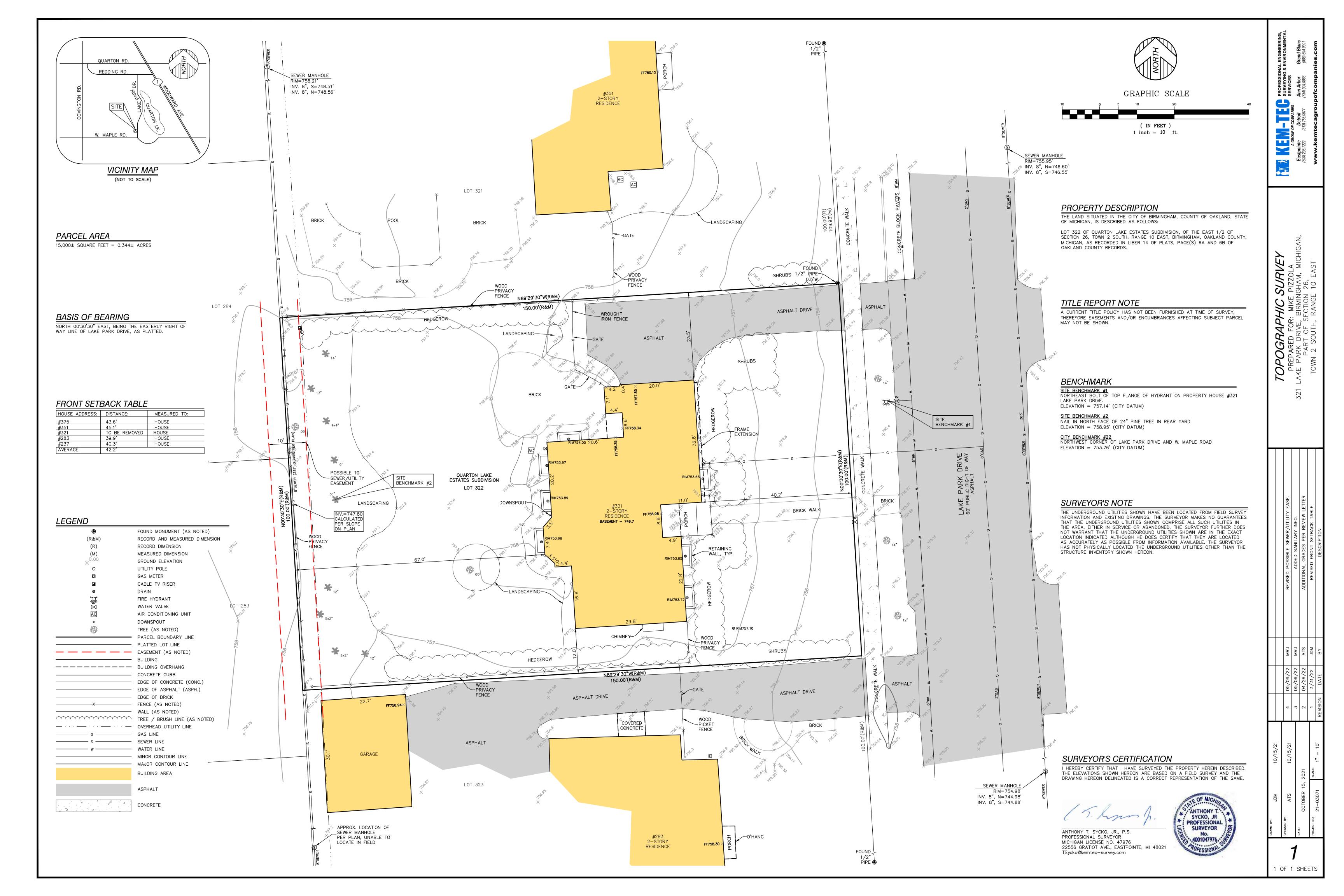
Please review the application and supporting materials and we look forward to discussing this further.

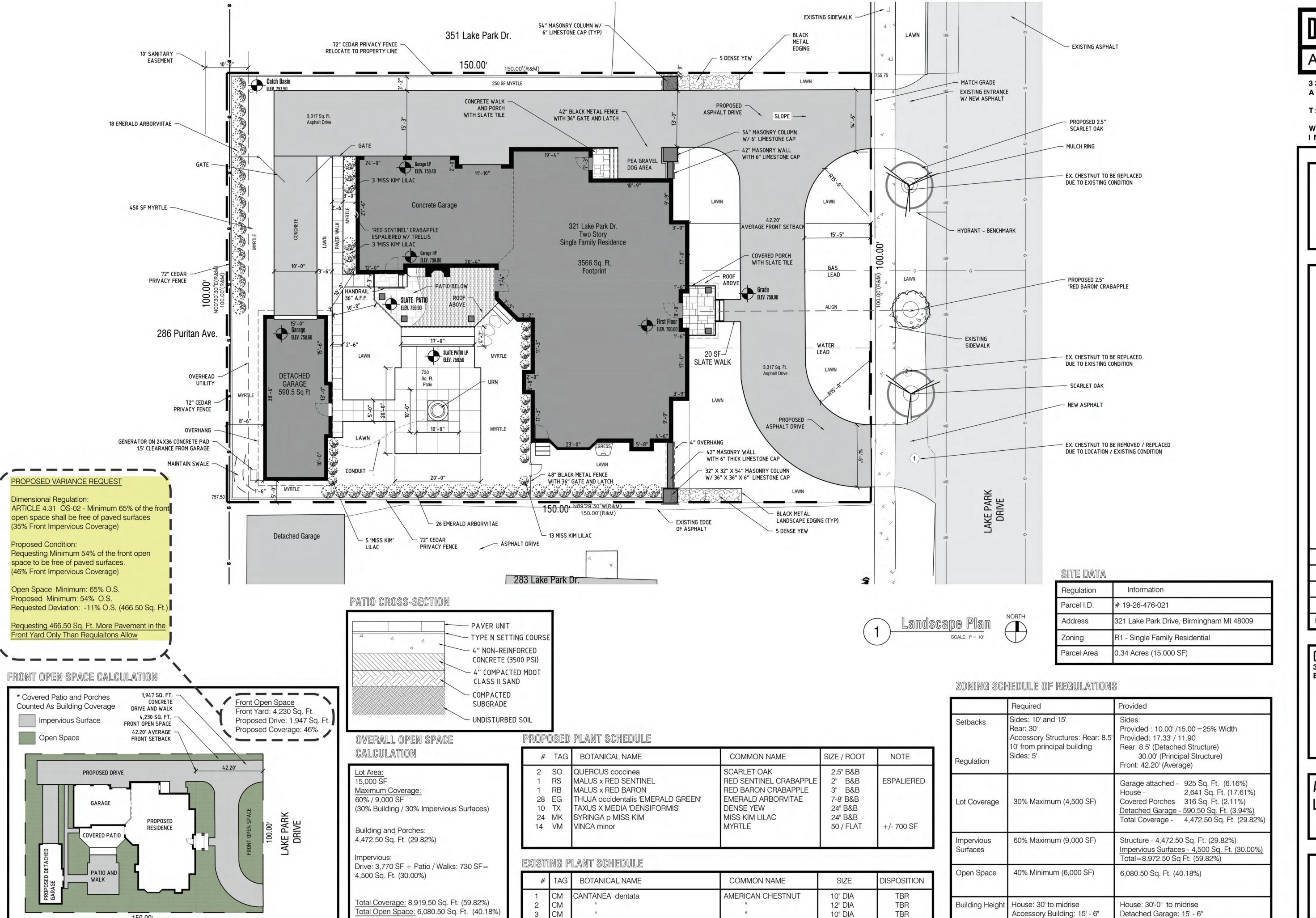
If you have any questions or need additional information, please feel free to contact me.

Regards,

Peter Stuhlreyer Chief Architect Designhaus, LLC

Cc Fritz Carlson
McClure Construction





150.00

**TBR** 

10" DIA

**ARCHITECTURE** 

3300 AUBURN RD. SUITE 300 AUBURN HILLS, MI 48326

T:248.601.4422 F:248.453.5854

W W W . D E S I G N H A U S . C O M INFO@DESIGNHAUS.COM

**BZA Review** 09.01.23 08.30.23 Revised 08.24.23 IMPERVIOUS SURFACE PERMIT 08.17.23 OWNER REVIEW Date Revision/Issue

> Carlson Residence 321 Lake Park Drive Birmingham, MI 48009

**Architectural Site and** Landscape Plan

AS100



## Carlson Residence

INDEX OF DRAWINGS

321 Lake Park Drive Birmingham, MI 48009

1 REVISION TAG

SHEET NO: DRAWING NAME

Second Floor Plan Mezzanine Plan

Basement Reflected Ceiling Plan First Floor Reflected Ceiling Plan Second Floor Reflected Ceiling Plan

Workshop Garage Plans

Wall Sections

Framing Plan

Interior Elevations

Interior Elevations

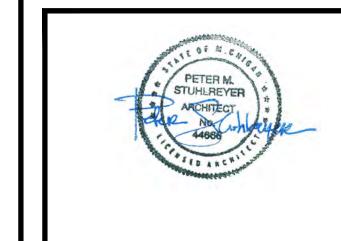
Interior Elevations Interior Elevations

Fireplace Detail and Section



3300 AUBURN RD. SUITE 300 AUBURN HILLS, MI 48326 T:248.601.4422 F:248.453.5854

WWW.DESIGNHAUS.COM INFO@DESIGNHAUS.COM



| 2           | CONSTRUCTION  | 04.06.22 |
|-------------|---------------|----------|
| $\triangle$ | PERMIT        | 03.11.22 |
|             | CITY COMMENTS | 02.21.22 |
|             | PERMIT        | 01.06.22 |
|             | PROGRESS      | 12.16.21 |
|             | OWNER REVIEW  | 11.01.21 |

Revision/Issue

Date

321 Lake Park Drive Birmingham, MI 48009

Title Sheet and Index

GENERAL DATA ADDRESS: 321 LAKE PARK DR. PROPERTY ID AREA OF WORK 8,487 SQ. FT. PROJECT TYPE R3 - SINGLE FAMILY RESIDENTIAL PROJECT DESCRIPTION CONSTRUCTION OF SINGLE FAMILY RESIDENCE. JURISDICTION 2015 MICHIGAN RESIDENTIAL BUILDING CODE

**BUILDING AREAS** DETACHED GARAGE: 590.50 SF FIRST FLOOR: 2957 SF SECOND FLOOR:3566 SF GARAGE: 925 SF **GROSS AREA** 

(BASMENT + FIRST FLOOR + SECOND FLOOR) GARAGE: 925 SF DETACHED GARAGE: 590.50 SF

**BUILDING HEIGHT** 30' TO MID POINT ACCESSORY BUILDING: 15'-6"

30' TO MID POINT DETACHED GARAGE:

CONSTRUCTION TYPE CONSTRUCTION TYPE NON SPRINKLED 5B - UNPROTECTED RATED ASSEMBLIES STRUCTURAL FRAME EXTERIOR BEARING WALLS INTERIOR BEARING WALLS NON BEARING WALLS (E,I) FLOOR CONSTRUCTION

ROOF CONSTRUCTION ZONING DATA ZONING R1 - SINGLE FAMILY RESIDENTIAL PARCEL AREA 0.34 ACRES (15,000 SF) SET BACKS ACCESSORY 10' FROM PRINCIPAL BUILDING 10'/15'=25% Width 17.33' /11.90' ACCESSORY STRUCTURE: 8.5' PRINCIPAL STRUCTURE: 30'-0" LOT COVERAGE 4500 SF (30% MAX) PROPOSED: TOTAL COVERAGE: 4472.50 SF (29.82%)

MID-RISE AND EAVE HEIGHTS FROM GRADE CLARIFIED ON ELEVATION SHEETS.

STATEMENT OF SELECTED DESIGN PROFESSIONAL

RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL

ETER STUHLREYER. A.I.A.

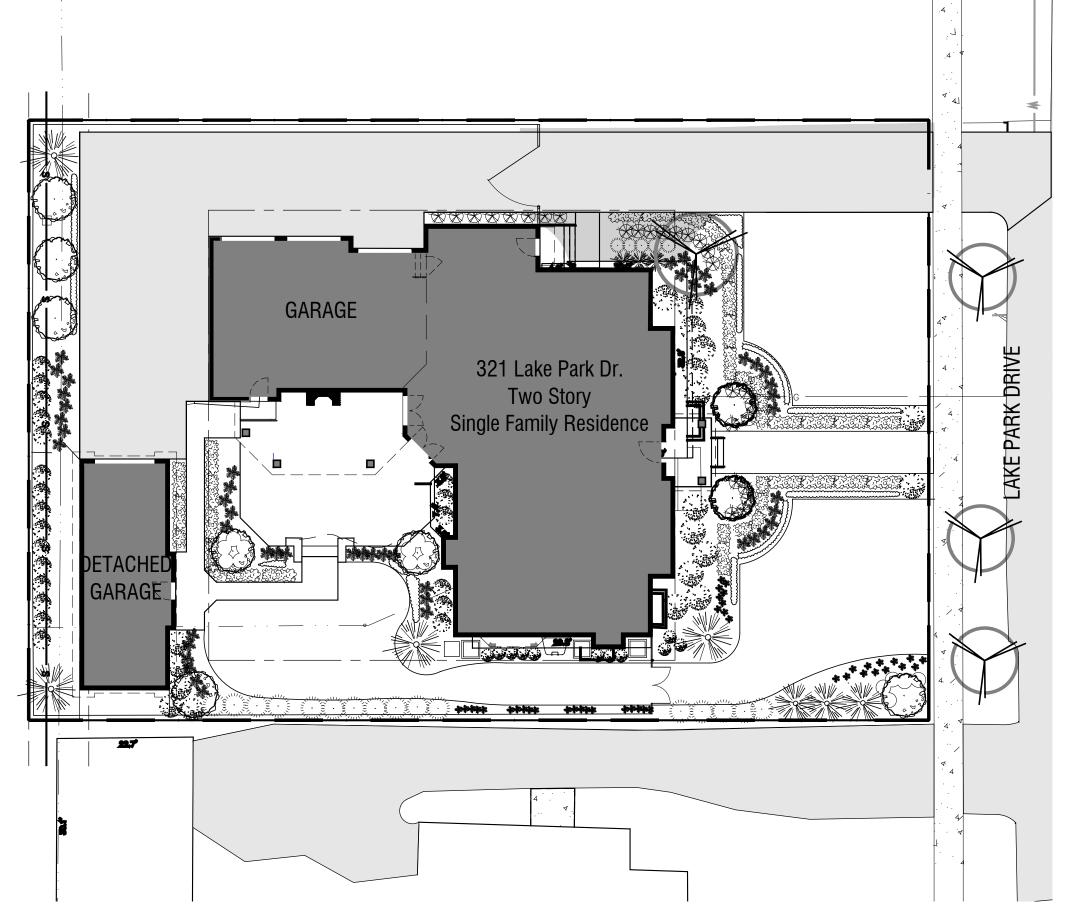
SITE DIAGRAM

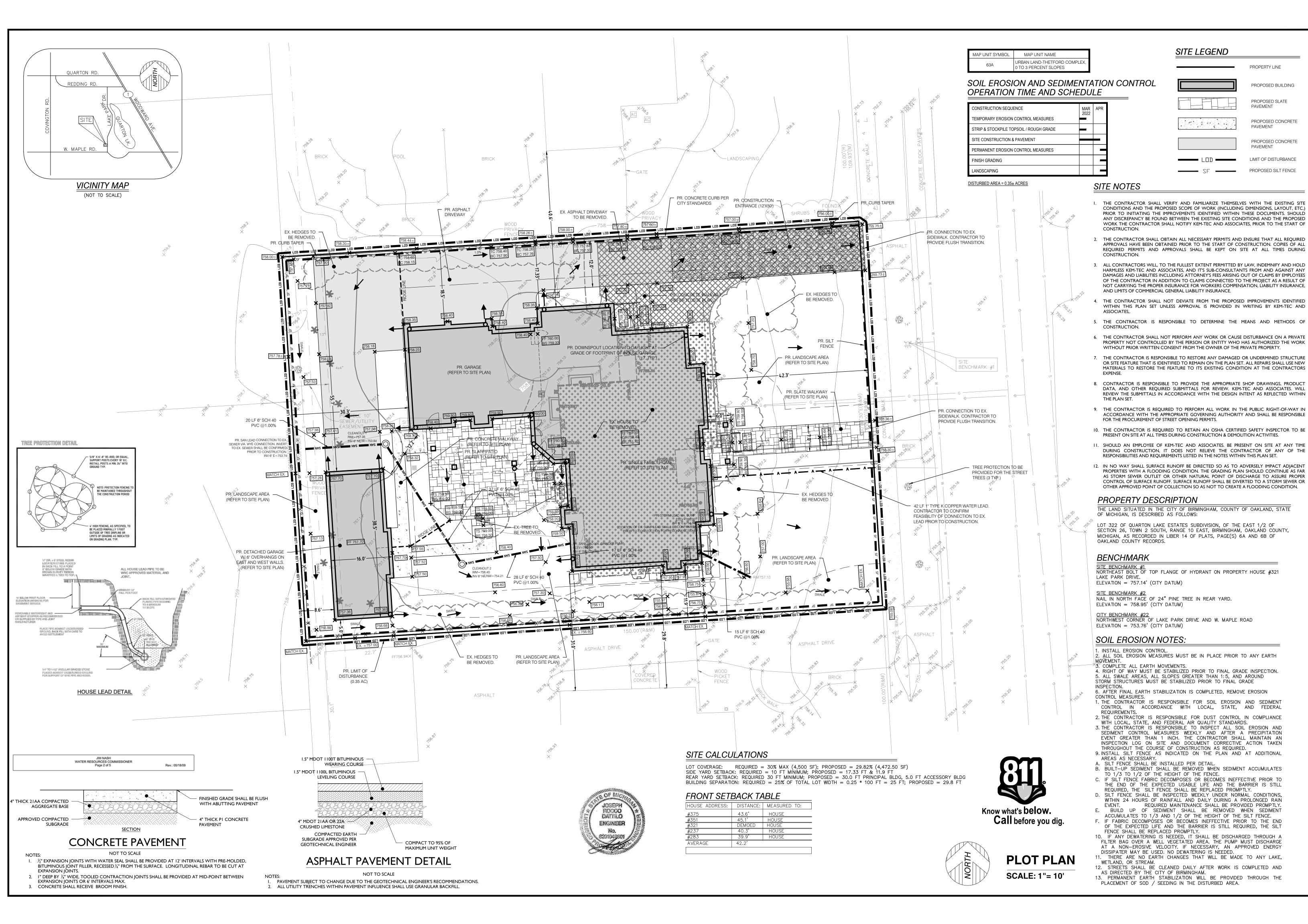
MICHIGAN IDENTIFICATION # 44668 DESIGNHAUS ARCHITECTURE

OWNER MR. & MRS. CARLSON 321 LAKE PARK DR. 3300 AUBURN RD. - STE. 300 BIRMINGHAM, MI 48009 AUBURN HILLS, MI 48326 E:CARLSON@ACMEFG.COM T: 248.601.4422 F: 248.453.5854 PROJECT MANAGER: JOE LATOZAS PROJECT ARCHITECT: PETER STUHLREYER, A.I.A

LOGATION MAP W. 14 MILE RD.

GARAGE 321 Lake Park Dr. Two Story Single Family Residence





ш ш

PROPERTY LINE

PROPOSED BUILDING

PROPOSED CONCRETE

PROPOSED CONCRETE

LIMIT OF DISTURBANCE

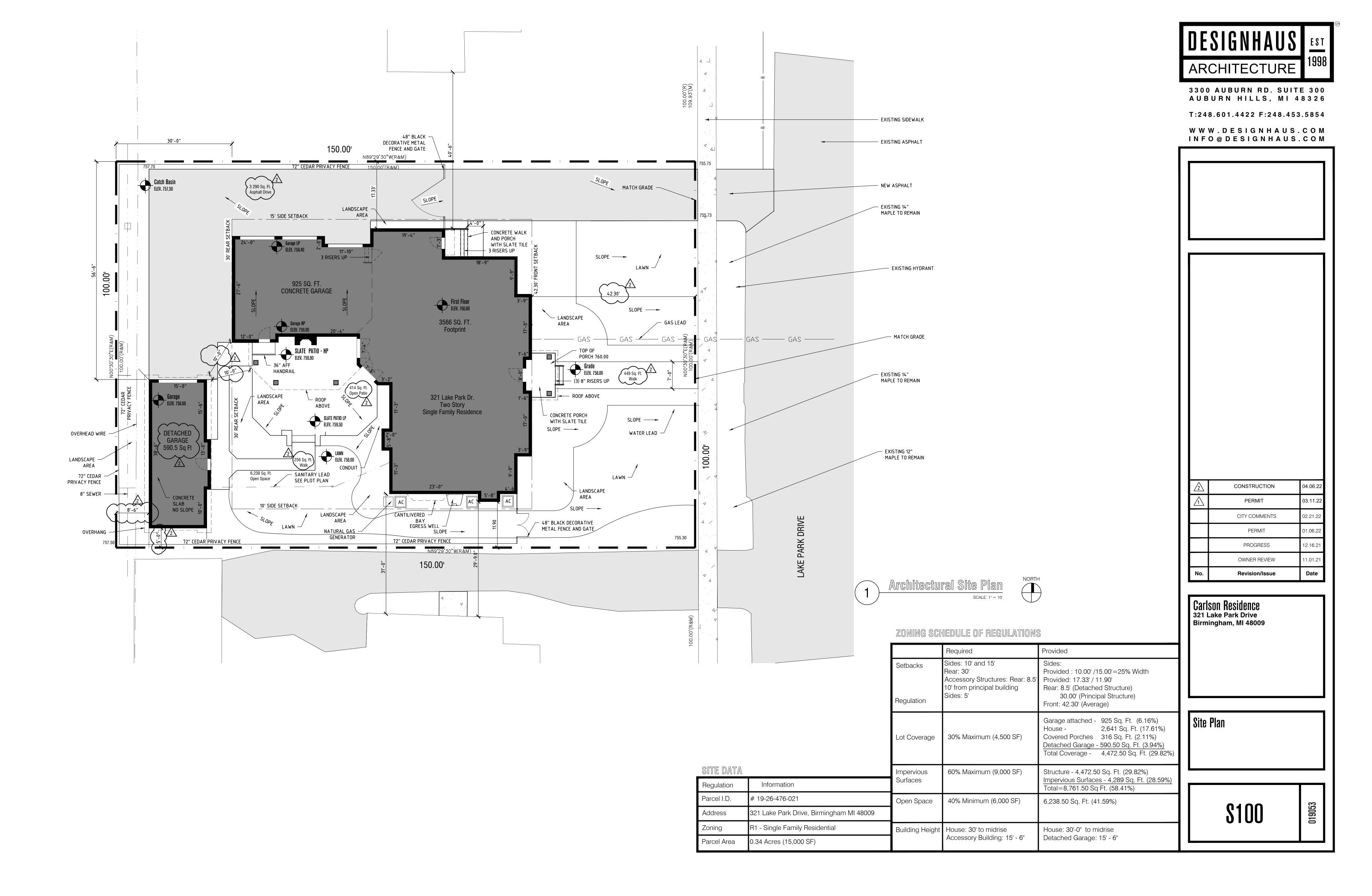
PROPOSED SILT FENCE

PROPOSED SLATE PAVEMENT

PAVEMENT

**PAVEMENT** 

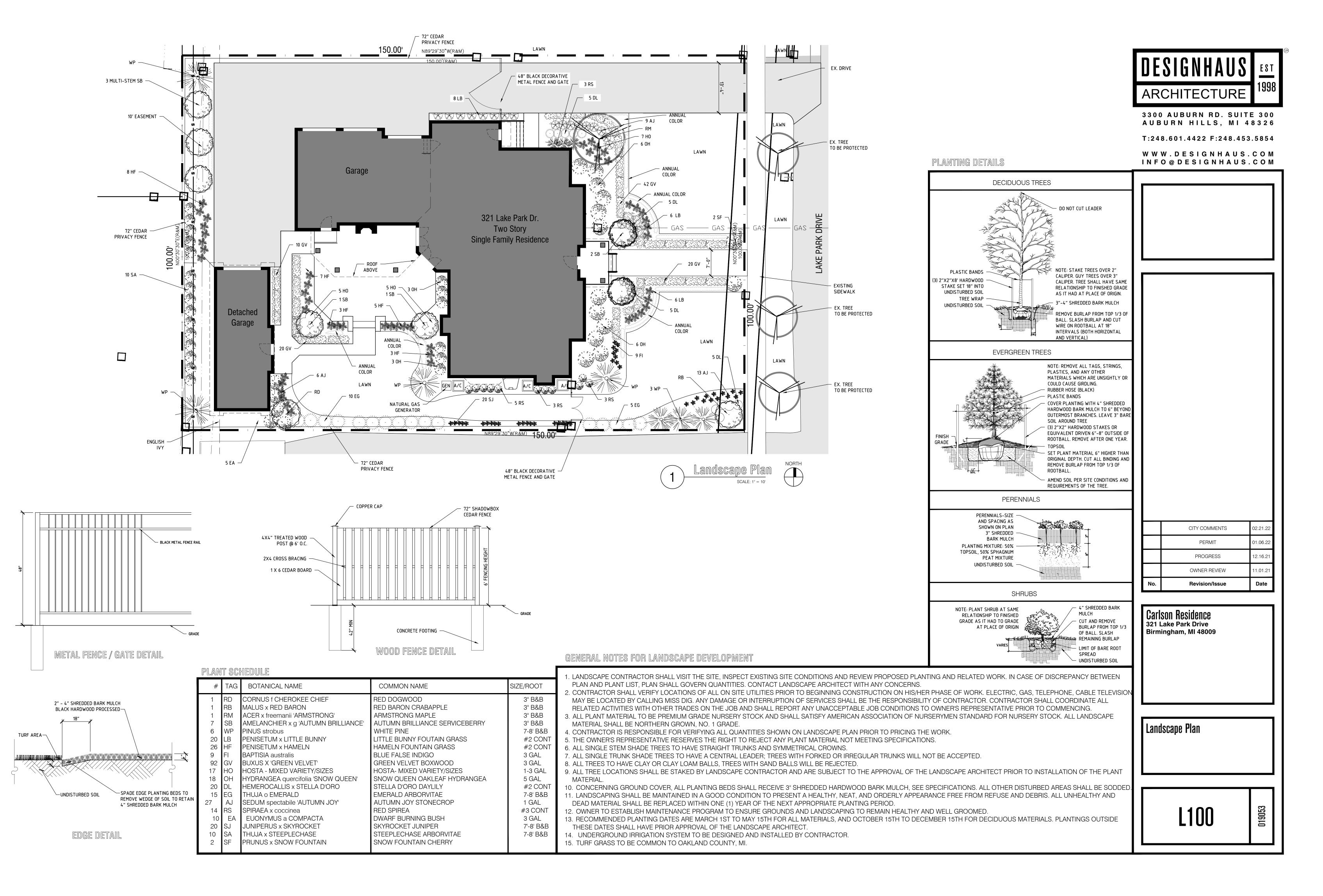
1 OF 1 SHEETS



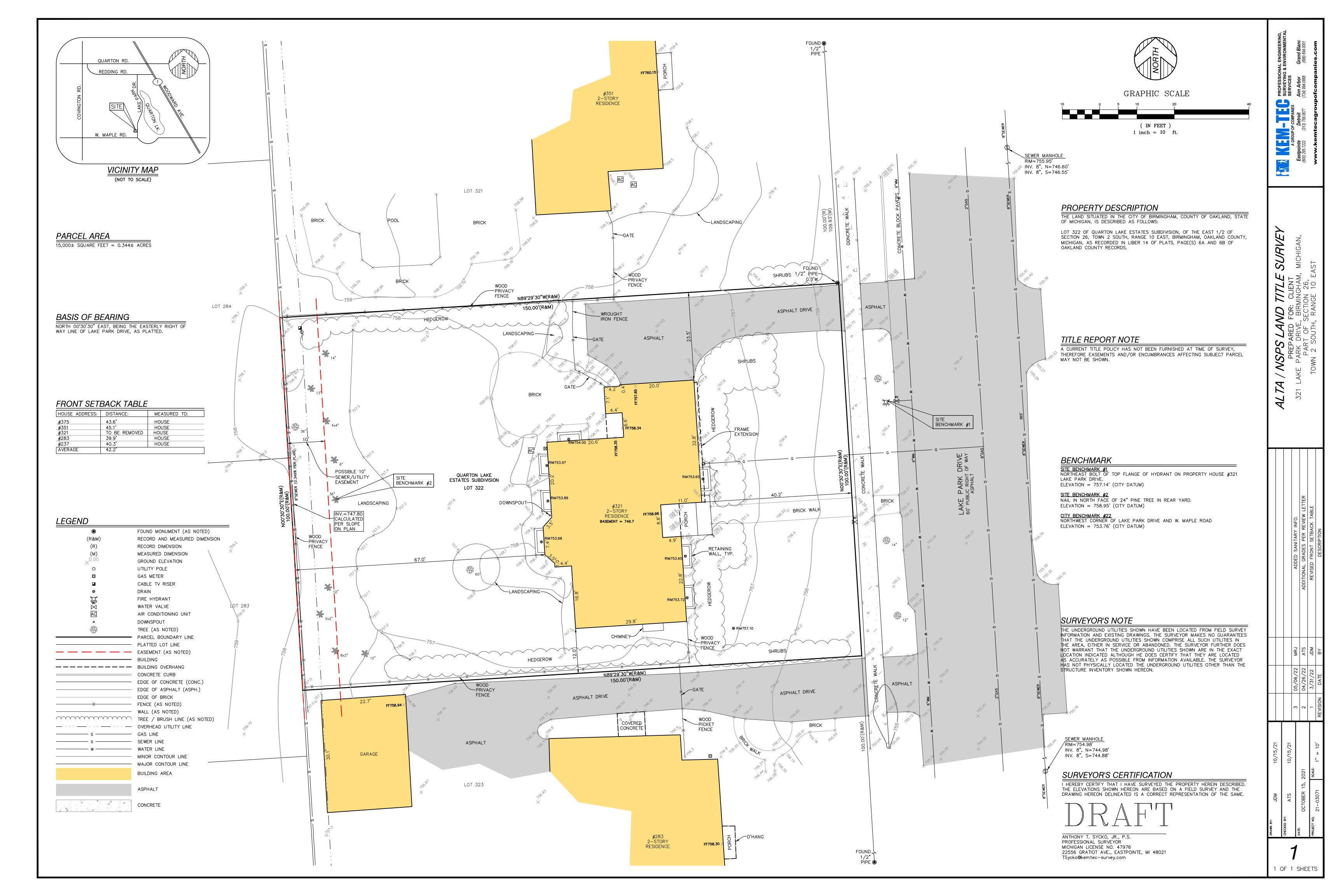
S100 Site

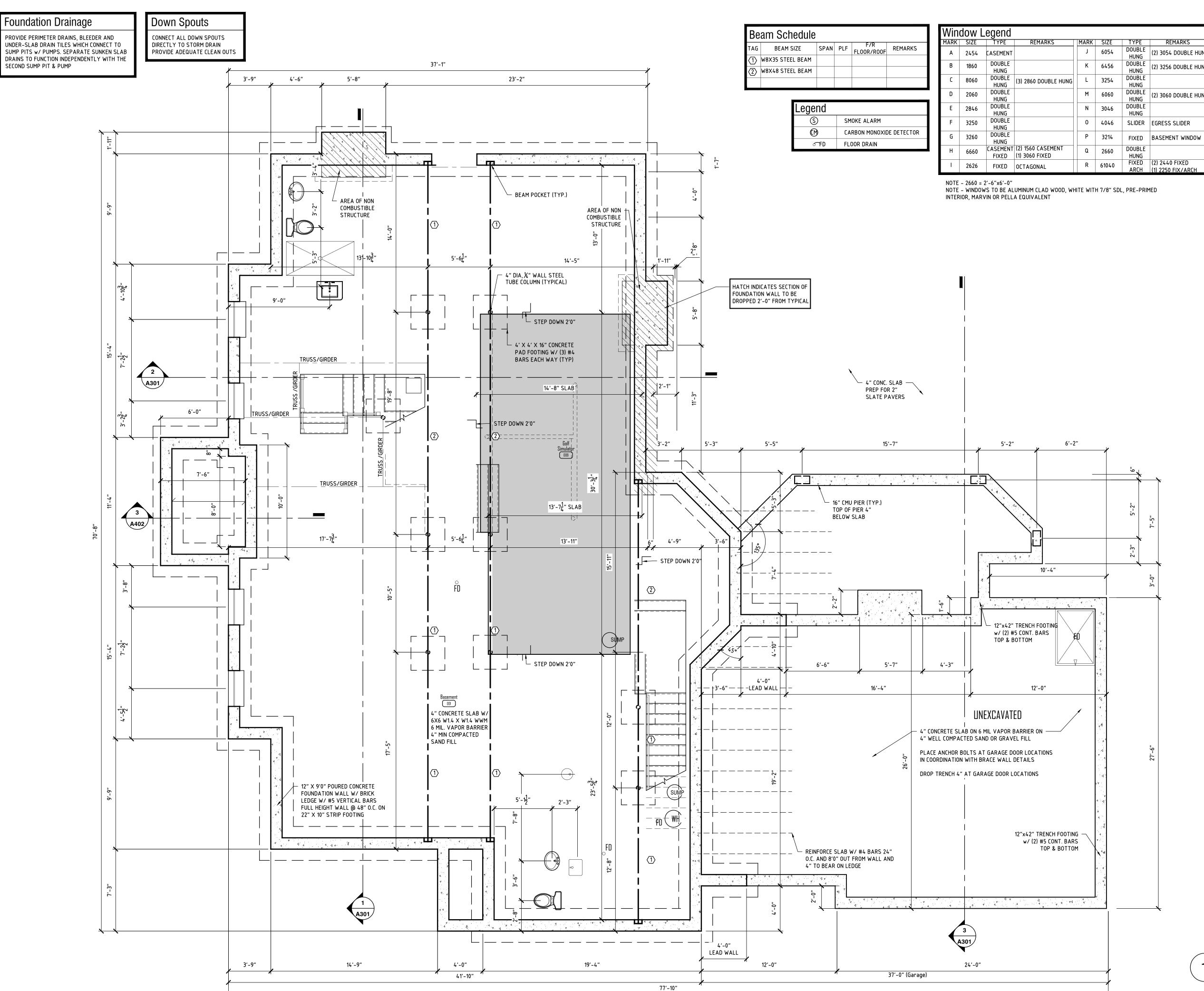
4/12/20

Change me



.





Square Footages 2686 SQ.FT. SECOND FLOOR 3081 SQ.FT. 5767 SQ.FT. GARAGE 926 SQ.FT. DETACHED GARAGE 538 SQ.FT.

| Header Schedule |                         |          |  |  |
|-----------------|-------------------------|----------|--|--|
| OPENING SIZE    | HEADER SIZE             | JACK STU |  |  |
| 3'-0"           | 2-2X8                   | 2        |  |  |
| 4'-0"           | 2-2X10                  | 3        |  |  |
| 6'-0"           | 3-2X12                  | 3        |  |  |
| 9'-0"           | 2- 9 ½" LVL             | 3        |  |  |
| 12'-0"          | 3-11 <del>[</del> " LVL | 3        |  |  |

Basement Notes

1. ALL FOUNDATION WALLS TO HAVE A MINIMUM #4 BARS REBAR AT 16" O.C. BOTH WAYS. PROVIDE (3)-CONTINUOUS #5 BARS IN FOOTINGS, ONE EACH TOE.

2. PROVIDE TIES FROM FOUNDATION WALL TO

PORCH AND PATIO SLABS #4 BARS REBAR AT

24" O.C. HORIZONTAL. 3. FIREPLACE FOOTING IF APPLICABLE TO BE 12" THICK WITH A MINIMUM OF 6" PROJECTIONS AND ALL FOUR SIDES VERIFY WITH SOIL CONDITIONS. 4. VERIFY ALL SOIL CONDITIONS PRIOR TO WORK. 5. BASEMENT FLOOR TO BE 4" CONCRETE SLAB WITH 6 X 6 #10 WWM REINFORCING OVER 6 MIL VAPOR BARRIER ON 4" MINIMUM COMPACTED

GRANULAR FILL. 6. FOUNDATION WALL OF MASONRY CONSTRUCTION ENCLOSING HABITABLE ROOM BELOW GRADE SHALL BE WATERPROOFED WITH MEMBRANES EXTENDING FROM THE EDGE OF THE FOOTING TO THE FINISH GRADE LINES. THE MEMBRANES SHALL BE EITHER (2) PLY HOT-MOP FELTS, (6) PLY POLY-VINYL CHLORIDE, 33 LB. ROLL ROOFING OR EQUIVALENT MATERIAL. ALL TAPE SHALL BE FINELY SEALED AND AFFIXED TO THE CONCRETE WALL. 7. WATERPROOF EXTERIOR CONCRETE BASEMENT WALLS WITH (2) COATS OF APPROVED ASPHALT SOLUTION OR EQUIVALENT MATERIAL.

## Foundation Notes

FOUNDATION NOTES PER MICHIGAN RESIDENTIAL CODE 1. FOOTING ARE TO BEAR ON UNDISTURBED LEVEL SOIL DEVOID OF ANY ORGANIC MATERIAL AND STEPPED AT 1 1/2" TIMES THE FOOTING WIDTH (PERPENDICULAR TO THE WALL PLANS) OF 2', WHICHEVER IS SMALLER IN RISE TO 3 TIMES THE FOOTING WIDTH IN RUN (MINIMUM) TO MAINTAIN THE PROPER DEPTH BELOW FINISH

8. VERIFY ALL DIMENSIONS IN FIELD. 9. DO NOT SCALE DRAWINGS.

2. FOOTINGS ARE DESIGNED FOR AN ASSUMED SOIL PRESSURE OF 1500 PSF. IF SOIL OF THIS CAPACITY IS NOT FOUND AT THE ELEVATIONS INDICATED, FOOTING SHALL BE ENLARGED OF LOWERED AT THE DIRECTION OF THE DESIGNER. VERIFY SOIL BEARING PRESSURE IN THE FIELD BY THE SOILS ENGINEER. 3. GARAGE AND PORCH FOOTINGS SHALL BE

INSTALLED AT A MINIMUM 12" WIDTH, ASSUMING A MINIMUM OF 1500 PSF SOIL BEARING CAPACITY. 4. ANY FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL COMPACTED 5. CONCRETE TO DEVELOP A MINIMUM OF 3500 PSI AT

28 DAYS WITH A MINIMUM OF 6 STACKS OF CEMENT PER YARD AND AND A MAXIMUM SLUMP OF 4". 6. 3500 PSI AT 28 DAYS (6% +/-1%) AIR ENTRAINED FOR EXTERIOR SLABS, WALKS, AND CURBING. 7. CONCRETE SLABS TO HAVE CONTROL JOINTS AT 25' MAXIMUM INTERVALS EACH WAY. 8. CONCRETE SIDEWALKS TO HAVE 3/4" TOOLED JOINTS AT 3'-0" O.C. MINIMUM OR SAW CUT.

9. REINFORCING STEEL TO BE A -6B GRADE 40. WELDED WIRE MESH TO BE A -183. 10 EXCAVATE THE SITE TO PROVIDE A MINIMUM OF 18 CLEARANCE UNDER GIRDERS. 11. ALL WOOD IN CONTACT WITH MASONRY TO BE WOLMANIZED WITH THERMO-BARRIER UNDER ALL

12. BEAMS POCKETS IN CONCRETE TO HAVE A 1/2" AIRSPACE AT SIDES AND ENDS WITH A MINIMUM BEARING OF 4". 13. ALL REINFORCING BARS, DOWELS, AND TIES SHALL

14. REINFORCING STEEL WHERE CALLED FOR SHALL BE CONTINUOUS AND SHALL HAVE A MINIMUM OF 30 BARS DIAMETER LAP. 15. STEEL JOIST SHALL BE FABRICATED BY A MEMBER OF THE STEEL JOIST INSTITUTE, IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OD THE S.J.J. 16. PROVIDE TEMPORARY BRACING OR SHORING AS

CONFORM TO A.S.T.M. A615 GRADE 60.

STRUCTURE UNTIL THE PERMANENT FRAMING IS IN 17. ALL MASONRY BEARING STEEL BEAMS AND LINTELS TO BEAR 8" MINIMUM ON 3COURSES SOLID MASONRY WITH (2)- 3/4" DIAMETER BOLTS EACH END,

REQUIRED TO INSURE THE STABILITY OF THE NEW

UNLESS OTHERWISE NOTED. 18. ALL BLOCK SHALL BE TYPE N-1 (C-90)(2 CORE). 19. MORTAR IS BE TYPE "S" OR "N." 20. HORIZONTAL WIRE REINFORCING SHALL BE #9 GA. LADDER TYPE WIRE PLACED AT 16" O.C. IN ALL MASONRY WALLS (AT ALTERNATE COURSING TO STRAP ANCHORS).

21. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO FABRICATION. 22. DO NOT SCALE DRAWINGS.

Foundation Plan SCALE: 1/4" = 1'



3300 AUBURN RD. SUITE 300 AUBURN HILLS, MI 48326

T:248.601.4422 F:248.453.5854

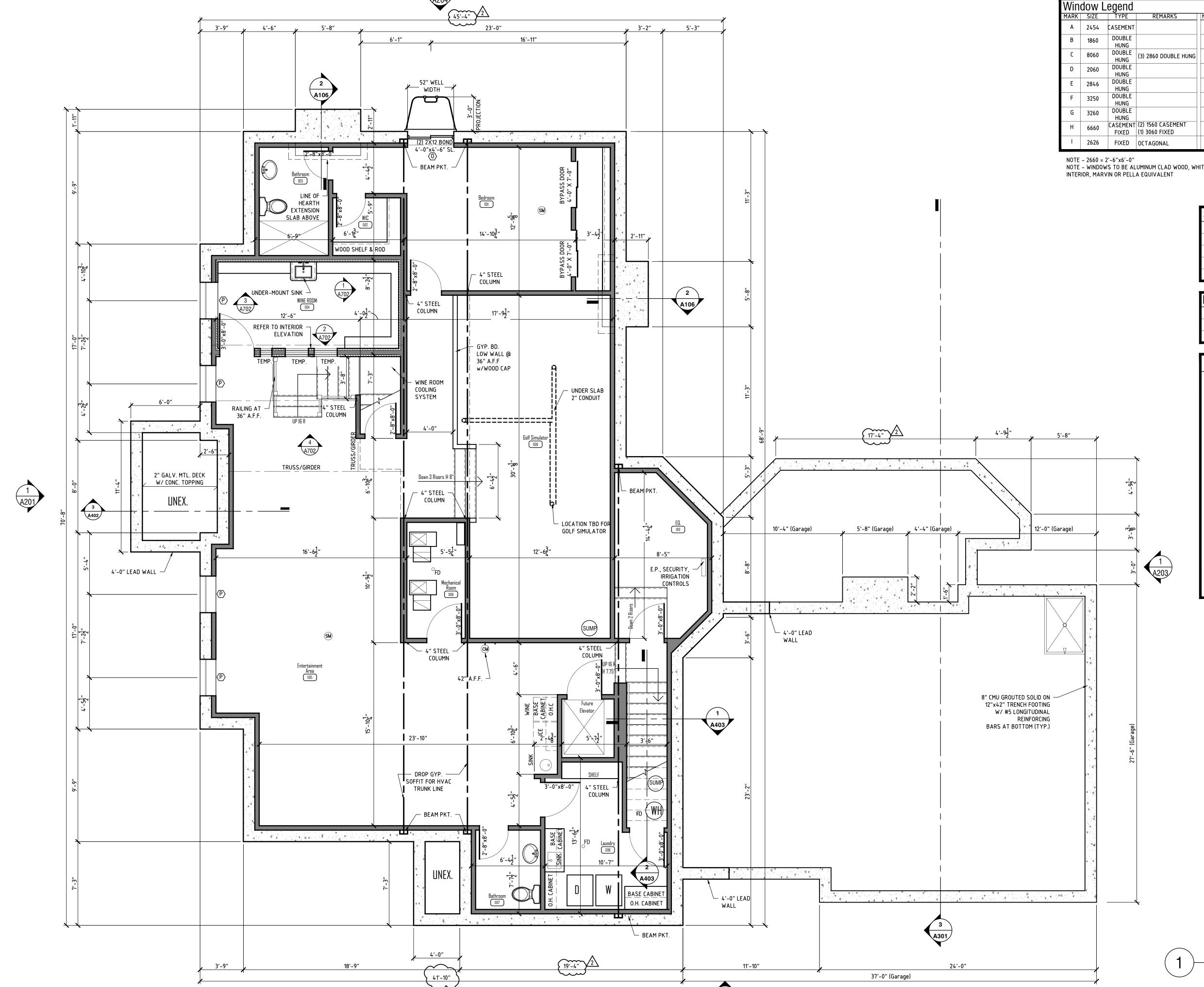
WWW.DESIGNHAUS.COM INFO@DESIGNHAUS.COM



CONSTRUCTION 04.06.22 PERMIT CITY COMMENTS PERMIT **PROGRESS** OWNER REVIEW Date

Revision/Issue

Carlson Residence 321 Lake Park Drive Birmingham, MI 48009



DOUBLE HUNG (2) 3054 DOUBLE HUN DOUBLE HUNG (2) 3256 DOUBLE HUNG HUNG DOUBLE (2) 3060 DOUBLE HUNC 0 | 4046 | SLIDER | EGRESS SLIDER P | 3214 | FIXED | BASEMENT WINDOW

FIXED (2) 2440 FIXED ARCH (1) 2250 FIX/ARCH

NOTE - 2660 = 2'-6"x6'-0"NOTE - WINDOWS TO BE ALUMINUM CLAD WOOD, WHITE WITH 7/8" SDL, PRE-PRIMED INTERIOR, MARVIN OR PELLA EQUIVALENT

| Square Foota    | ages        |
|-----------------|-------------|
| FIRST FLOOR     | 2686 SQ.FT. |
| SECOND FLOOR    | 3081 SQ.FT. |
| TOTAL           | 5767 SQ.FT. |
| GARAGE          | 926 SQ.FT.  |
| DETACHED GARAGE | 538 SQ.FT.  |

J 6054

K 6456

L 3254

M 6060

N 3046

Q 2660

R 61040

| Legend     |                          |
|------------|--------------------------|
| S          | SMOKE ALARM              |
| $\bigcirc$ | CARBON MONOXIDE DETECTOR |
| Ć FD       | FLOOR DRAIN              |

## Basement Notes

1. ALL FOUNDATION WALLS TO HAVE A MINIMUM #4 BARS REBAR AT 16" O.C. BOTH WAYS.
PROVIDE (3)-CONTINUOUS #5 BARS IN FOOTINGS,

ONE EACH TOE. 2. PROVIDE TIES FROM FOUNDATION WALL TO PORCH AND PATIO SLABS #4 BARS REBAR AT

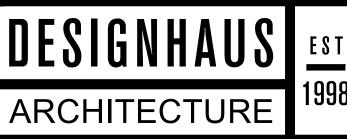
24" O.C. HORIZONTAL. 3. FIREPLACE FOOTING IF APPLICABLE TO BE 12" THICK WITH A MINIMUM OF 6" PROJECTIONS AND ALL FOUR SIDES VERIFY WITH SOIL CONDITIONS. 4. VERIFY ALL SOIL CONDITIONS PRIOR TO WORK. 5. BASEMENT FLOOR TO BE 4" CONCRETE SLAB WITH 6 X 6 #10 WWM REINFORCING OVER 6 MIL VAPOR BARRIER ON 4" MINIMUM COMPACTED

GRANULAR FILL. 6. FOUNDATION WALL OF MASONRY CONSTRUCTION ENCLOSING HABITABLE ROOM BELOW GRADE SHALL BE WATERPROOFED WITH MEMBRANES EXTENDING FROM THE EDGE OF THE FOOTING TO THE FINISH GRADE LINES. THE MEMBRANES SHALL BE EITHER (2) PLY HOT-MOP FELTS, (6) PLY POLY-VINYL CHLORIDE, 33 LB.
ROLL ROOFING OR EQUIVALENT MATERIAL. ALL
TAPE SHALL BE FINELY SEALED AND AFFIXED TO

THE CONCRETE WALL. 7. WATERPROOF EXTERIOR CONCRETE BASEMENT WALLS WITH (2) COATS OF APPROVED ASPHALT SOLUTION OR EQUIVALENT MATERIAL.

8. VERIFY ALL DIMENSIONS IN FIELD. 9. DO NOT SCALE DRAWINGS.

SCALE: 1/4" = 1'



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| No. | Revision/Issue | Date     |
|-----|----------------|----------|
|     | OWNER REVIEW   | 11.01.21 |
|     | PROGRESS       | 12.16.21 |
|     | PERMIT         | 01.06.22 |
|     | CITY COMMENTS  | 02.21.22 |
|     | PERMIT         | 03.11.22 |
| 2   | CONSTRUCTION   | 04.06.22 |
|     |                |          |

Carlson Residence 321 Lake Park Drive Birmingham, MI 48009

Basement Plan

A101

Square Footages FIRST FLOOR 2686 SQ.FT. SECOND FLOOR 3081 SQ.FT. TOTAL 5767 SQ.FT. GARAGE 926 SQ.FT. DETACHED GARAGE 538 SQ.FT.

MARK SIZE TYPE REMARKS

(2) 3054 DOUBLE HUN

Window Legend

MARK SIZE TYPE

A 2454 CASEMENT

#### Header Schedule OPENING SIZE HEADER SIZE JACK STUD 2-2X8 4'-0" 2-2X10 6'-0" 3-2X12 9'-0" 2- 9 ½" LVL

3-11 <u>1</u>" LVL

# **ARCHITECTURE**

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### General Notes

1. ALL EXTERIOR WALLS TO BE 2X6 WD STUD @ 16 O.C. @ 9'-0" IN HEIGHT U.N.O. 2. HEADER HEIGHT OF ALL DOORS AND WINDOW TO BE 6'-8" A.F.F. U.N.O. 3. ALL BEARING WALLS SHALL HAVE FLOOR JOISTS UNDER EACH BEARING STUD, (TYP OF ALL BEARING

4. ALL BEARING ENDS OF HEADERS, GIRDERS, AND POINT LOADS SHALL HAVE MIN (3)2X MEMBERS FOR BEARING, 2X MEMBERS SHALL BE RELATED TO WALI

5. FIRST FLOOR FRAMING SUPPORTING ELEMENTS HAVE BEEN DESIGNED FOR: DEAD LOAD = 10 PSF

LIVE LOAD = 40 PSF 6. ATTIC FLOOR FRAMING SUPPORTING ELEMENTS

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7. ALL HEADERS IN BEARING WALLS SHALL BE MINIMUM OF 2X12 HEM FIR #2 OR BETTER. PROVIDE MIN (2) 2X4 OR 2X6 DEPENDING ON WALL THICKNESS SPF STUD GRADE OR BETTER UNDER EACH END OF ALL HEADERS AND BEAMS U.N.O. 8. JOIST LAYOUT IS ONLY FOR GUIDANCE AND SHAL NOT BE USED AS SHOP DRAWINGS. SUPPLIER TO

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15. ALL GLASS SHOWER AND BATHTUB DOORS AND

## MI Building Code Notes

ENCLOSURES TO BE TEMPERED GLAZING

I. EACH BEDROOM TO HAVE A MIN WINDOW OPENING OF 5.7 SQ.FT. WITH A MIN WIDTH OF 20" AND A SIL LESS THAN 44" ABOVE FINISHED FLOOR. 2. ALL WINDOWS WITHIN 18" OF THE FLOOR AND WITHIN 12" OF ANY DOORS ARE TO HAVE SAFETY

TEMPERED GLAZING 3. ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHER STRIPPING. PROVIDE DEADBOLT LOCKS ON ALL EXTERIOR DOORS AND LOCKING DEVICES ON ALL DOOR AND WINDOWS 4. CONNECT ALL SMOKE. DETECTORS (SEE PLANS FOR LOCATIONS) TO HOUSE ELECTRICAL SYSTEM AND INTERCONNECT EACH ONE SO THAT WHEN ANY ONE IS TRIPPED THEY ALL WILL ALARM. 5. PROVIDE COMBUSTION AIR VENTS WITH SCREEN AND BACK DAMPER FOR FIREPLACES, WOOD STOVI AND ANY APPLIANCE WITH OPEN FLAME. 6. BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO OUTSIDE AIR WITH A MIN OF A 90 CFM

7. RANGE HOODS TO BE VENTED TO OUTSIDE AIR. 8. ENCLOSED ATTIC SPACES OR RAFTER SPACES T HAVE 1 SQ.FT. OF FREE VENTILATING AREA FOR EVERY 130 SQ.FT. OF AREA WHERE A CEILING IS APPLIED TO THE UNDERSIDE OF ROOF RAFTERS. 9. HANDRAILS SHALL BE 36" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL NOT PROJECT MORE THEN 3" INT

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11.STAIRS SHALL HAVE A MIN CLEAR WIDTH OF 36' A MIN TREAD DEPTH OF 10", MIN NOSING DEPTH OF 1", AND RISER HEIGHT OF 8" MAX. PROVIDE MIN OF 7'-0" CLEAR HEADROOM MEASURED VERTICALLY

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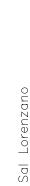


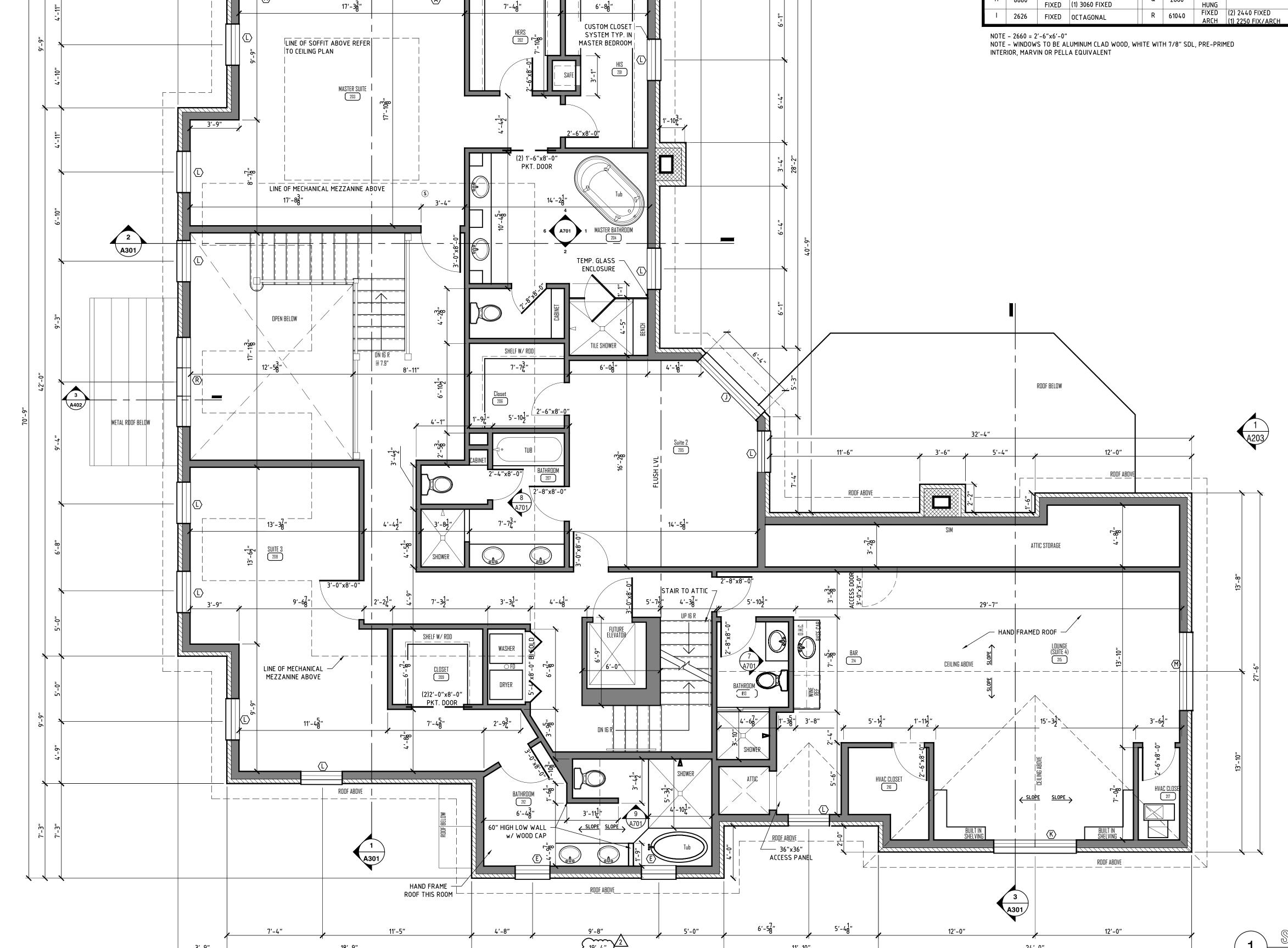
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|             |                |          |

Carlson Residence 321 Lake Park Drive Birmingham, MI 48009









5'-3<mark>1</mark>"

— METAL ROOF

2'-10" 2'-10" 3'-4"

Square Footages 2686 SQ.FT. SECOND FLOOR 3081 SQ.FT. 5767 SQ.FT. GARAGE 926 SQ.FT. DETACHED GARAGE 538 SQ.FT.

Window Legend

A 2454 CASEMENT

HUNG

DOUBLE

CASEMENT (2) 1560 CASEMENT

B 1860

D 2060

E 2846

G 3260

H 6660

8060

3250

REMARKS

(3) 2860 DOUBLE HUNG

| MARK | SIZE | TYPE

HUNG

DOUBLE

HUNG

DOUBLE

HUNG

0 4046 | SLIDER | EGRESS SLIDER

P 3214 FIXED BASEMENT WINDOW

(2) 3054 DOUBLE HUN

(2) 3256 DOUBLE HUN

(2) 3060 DOUBLE HUN

6054

L 3254

M 6060

N 3046

Q 2660

| Header Schedule |             |          |  |  |
|-----------------|-------------|----------|--|--|
| OPENING SIZE    | HEADER SIZE | JACK STU |  |  |
| 3'-0"           | 2-2X8       | 2        |  |  |
| 4'-0"           | 2-2X10      | 3        |  |  |
| 6'-0"           | 3-2X12      | 3        |  |  |
| 9'-0"           | 2- 9 ½" LVL | 3        |  |  |
|                 |             |          |  |  |

3-11 <del>1</del>" LVL

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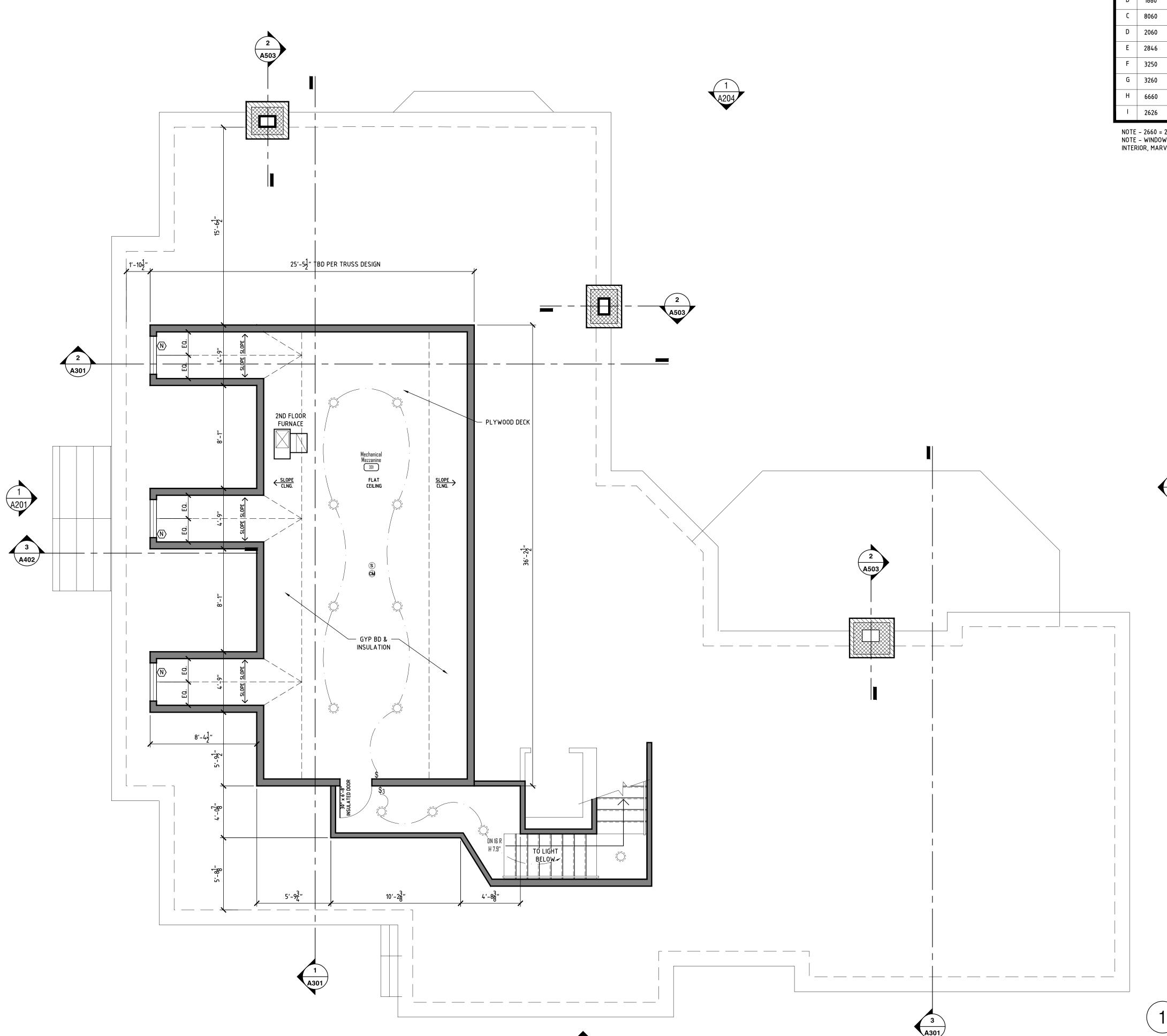
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| 2   | CONSTRUCTION   | 04.06.22 |
|     |                |          |

Carlson Residence 321 Lake Park Drive Birmingham, MI 48009





| MARK | SIZE | TYPE              | REMARKS                             | MARK | SIZE  | TYPE           | REMARKS                             |
|------|------|-------------------|-------------------------------------|------|-------|----------------|-------------------------------------|
| Α    | 2454 | CASEMENT          |                                     | J    | 6054  | DOUBLE<br>HUNG | (2) 3054 DOUBLE HU                  |
| В    | 1860 | DOUBLE<br>HUNG    |                                     | К    | 6456  | DOUBLE<br>HUNG | (2) 3256 DOUBLE HU                  |
| С    | 8060 | DOUBLE<br>HUNG    | (3) 2860 DOUBLE HUNG                | L    | 3254  | DOUBLE<br>HUNG |                                     |
| D    | 2060 | DOUBLE<br>HUNG    |                                     | М    | 6060  | DOUBLE<br>HUNG | (2) 3060 DOUBLE HU                  |
| E    | 2846 | DOUBLE<br>HUNG    |                                     | N    | 3046  | DOUBLE<br>HUNG |                                     |
| F    | 3250 | DOUBLE<br>HUNG    |                                     | 0    | 4046  | SLIDER         | EGRESS SLIDER                       |
| G    | 3260 | DOUBLE<br>HUNG    |                                     | Р    | 3214  | FIXED          | BASEMENT WINDOW                     |
| Н    | 6660 | CASEMENT<br>FIXED | (2) 1560 CASEMENT<br>(1) 3060 FIXED | Q    | 2660  | DOUBLE<br>HUNG |                                     |
| ı    | 2626 | FIXED             | OCTAGONAL                           | R    | 61040 | FIXED<br>ARCH  | (2) 2440 FIXED<br>(1) 2250 FIX/ARCH |

NOTE - 2660 = 2'-6"x6'-0" NOTE - WINDOWS TO BE ALUMINUM CLAD WOOD, WHITE WITH 7/8" SDL, PRE-PRIMED INTERIOR, MARVIN OR PELLA EQUIVALENT

| Square Foota    | ages        |
|-----------------|-------------|
| FIRST FLOOR     | 2686 SQ.FT. |
| SECOND FLOOR    | 3081 SQ.FT. |
| TOTAL           | 5767 SQ.FT. |
| GARAGE          | 926 SQ.FT.  |
| DETACHED GARAGE | 538 SQ.FT.  |

| Header S     | chedule                 |           |
|--------------|-------------------------|-----------|
| OPENING SIZE | HEADER SIZE             | JACK STUD |
| 3'-0"        | 2-2X8                   | 2         |
| 4'-0"        | 2-2X10                  | 3         |
| 6'-0"        | 3-2X12                  | 3         |
| 9'-0"        | 2- 9 <del>1</del> " LVL | 3         |
| 12'-0"       | 3-11 <del>1</del> " LVL | 3         |
|              |                         |           |

| CEIL         | ING LENGEND                               |
|--------------|---|
| <del> </del> | CEILING MTD LIGHT.                        |
| Ю            | WALL SCONCE                               |
| 0            | RECESSED CAN                              |
| lacktriangle | RECESSED CAN – WALL WASH TRIM             |
|              | EXHAUST FAN                               |
| (S)          | HARD WIRED SMOKE DETECTOR (TYP)           |
| <b>(</b> )   | HARD WIRED CARBON MONOXIDE DETECTOR (TYP) |
| Ф            | CEILING MOUNTED DUPLEX OUTLET             |
| <br> -       | UNDER COUNTER LIGHTING                    |
| \$           | SWITCH                                    |
| \$           | OCCUPANCY SWITCH                          |
| <b>→</b>     | THREE WAY SWITCH                          |
| F            | FAN                                       |
|              | CEILING MOUNTED LINEAR LED LIGHT          |

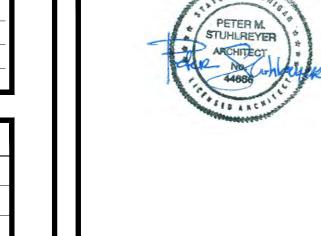
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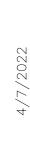


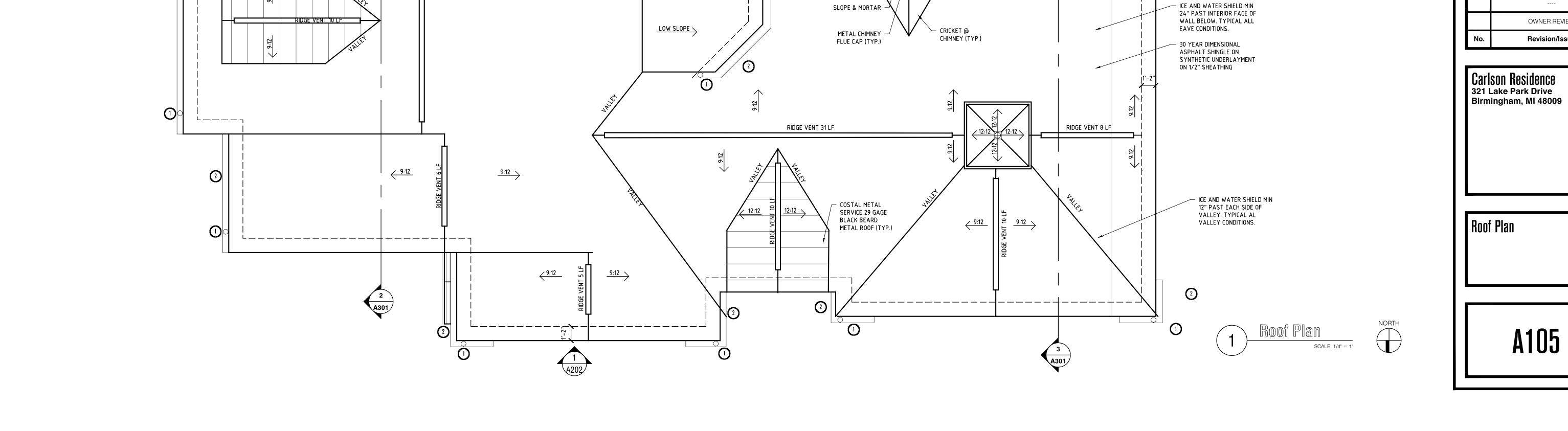
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|             |                |          |

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Mezzanine Plan







METAL CHIMNEY FLUE CAP (TYP.)

VENTILATE UN-INSULATED ROOF SPACE -

. \_ \_ \_ \_ \_ \_ \_

─ SLOPE & MOTOR

LOW SLOPE \

**6** 

METAL CHIMNEY FLUE CAP WITH SCREEN (TYP.)

SLOPE & MORTAR -

\_\_\_\_\_\_

CHIMNEY (TYP.)

- COSTAL METAL SERVICE 29 GAGE

BLACK BEARD METAL ROOF (TYP.)

COSTAL METAL SERVICE 29 GAGE BLACK BEARD

COSTAL METAL SERVICE 29 GAGE BLACK BEARD

METAL ROOF (TYP.)

METAL ROOF (TYP.)

COSTAL METAL
SERVICE 29 GAGE

METAL ROOF (TYP.)

BLACK BEARD

----<del>-</del>\-----

CRICKET @ -CHIMNEY (TYP.)



(6) 60 MIL EPDM ROOF

PROPOSED VENTING AREA:

16X149FT= 2,384 SQ IN

12 X 193 = 2,316 SQ IN

RIDGE VENTING:

SOFFIT VENTING:

- LINE OF WALL BELOW

LINEAR FT

ATTIC AREA: 3,296 SQ FT/150 = 22.0 VENT AREA VENT AREA REQ: 22.0 SQ FTX144 = 3,168 SQ IN

TOTAL VENTING @ RIDGE VENTS: = 2,384SQ IN

CONTINUOUS SOFFIT VENT W/ 12 SQ IN PER

TOTAL ROOF VENTING = 2,384 + 2,316 = 4,700 SQ IN

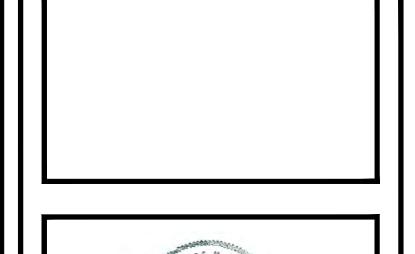
NOTE: VENTILATION PROVIDED VARIES BY MNFR AND PRODUCT. VERIFY VENTILATION SPECIFICATIONS WITH

CONTINUOUS RIDGE TYPE W/ 16 SQ IN PER

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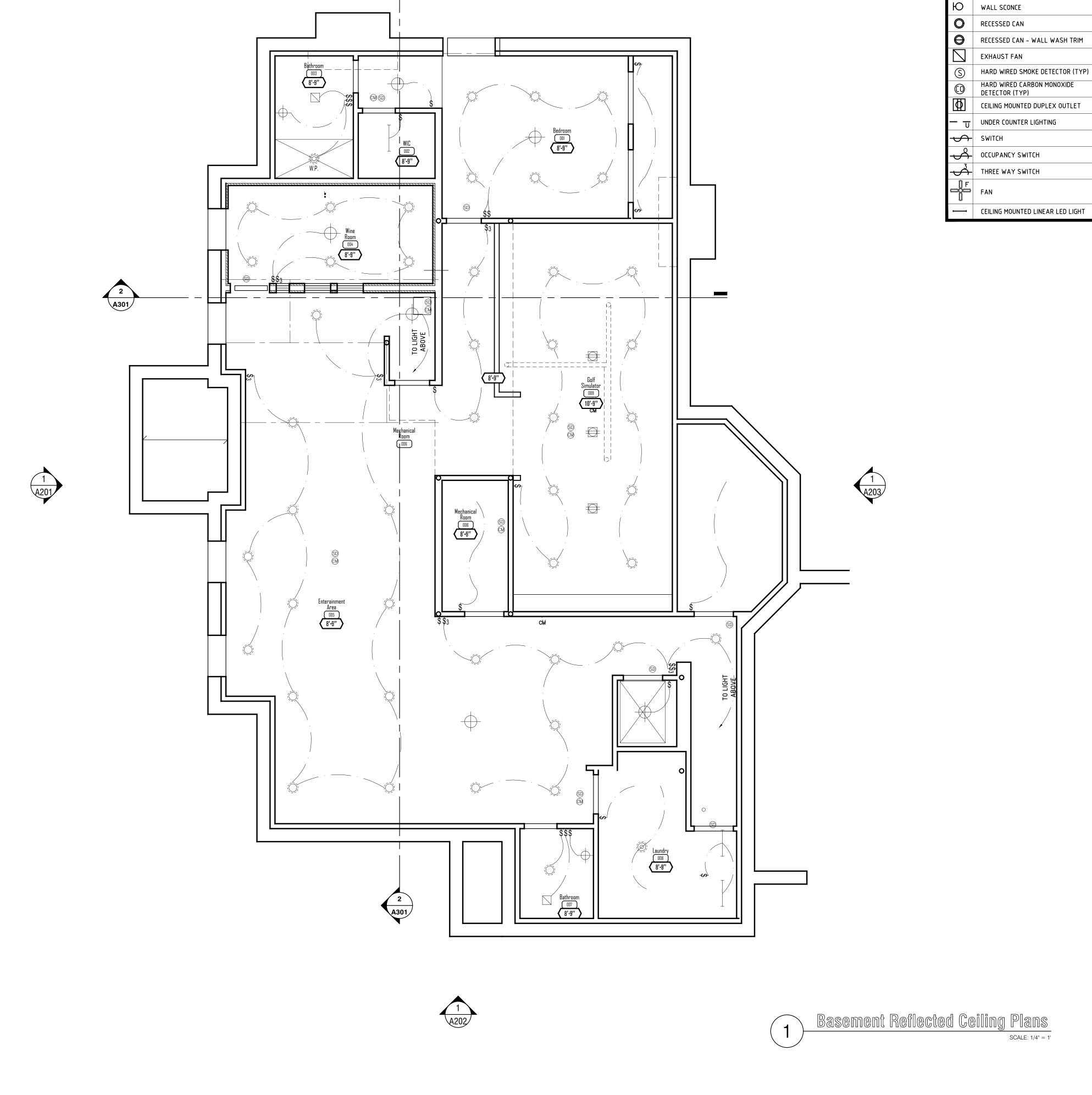
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| 2   | CONSTRUCTION 04 |          |  |  |  |  |
|     |                 |          |  |  |  |  |

Carlson Residence





CEILING LENGEND

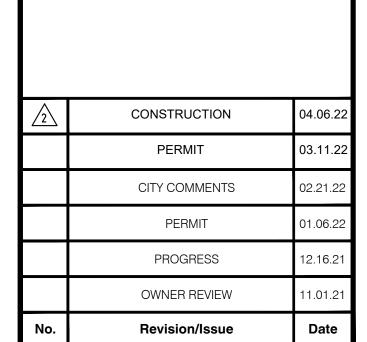
CEILING MTD LIGHT.

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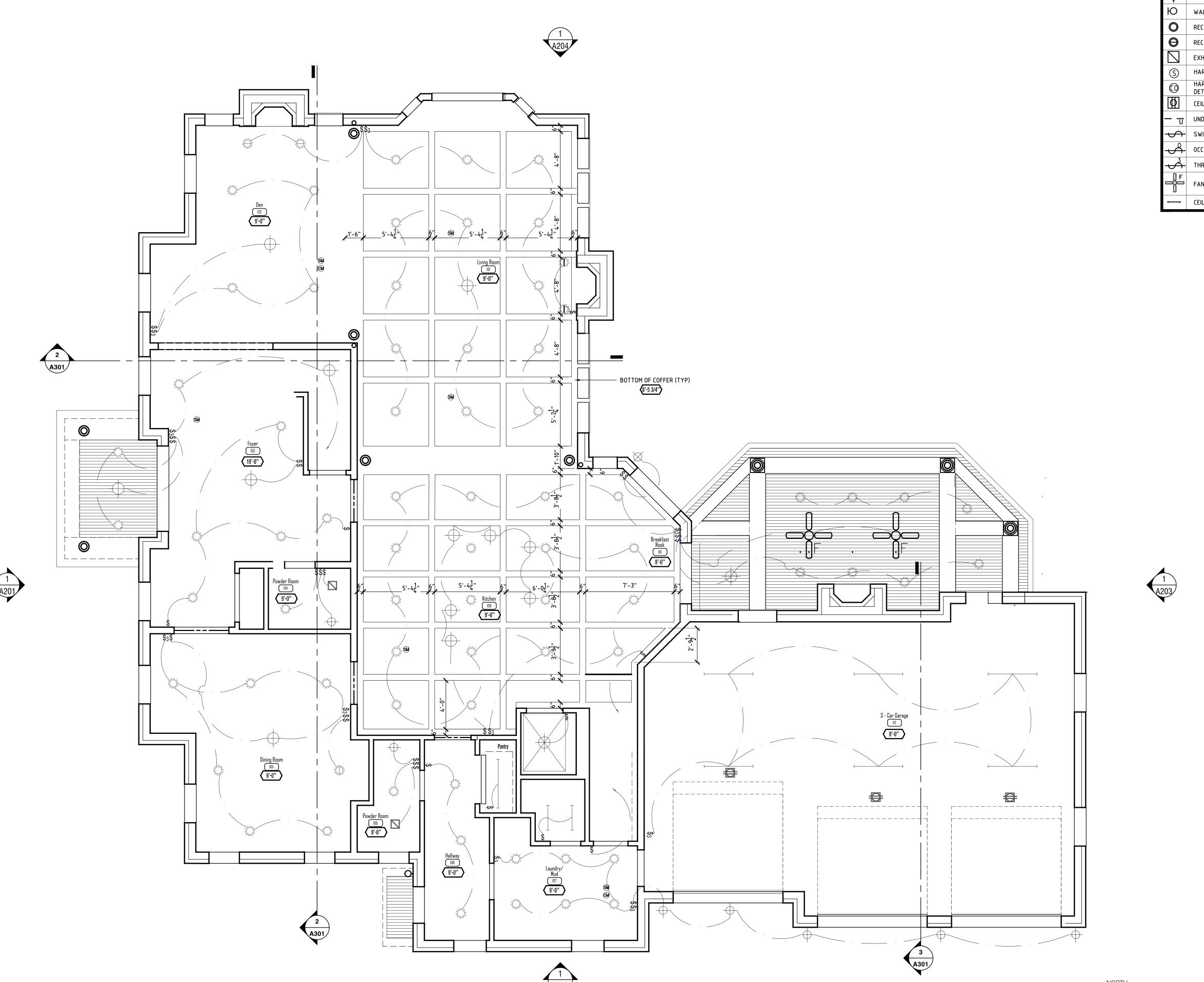


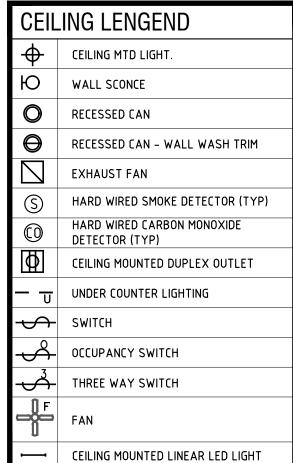


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**Basement Reflected Ceiling** 



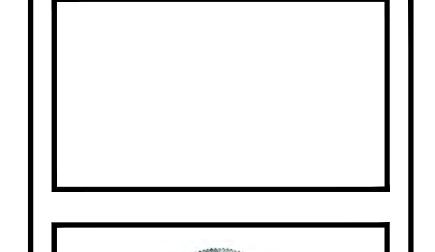


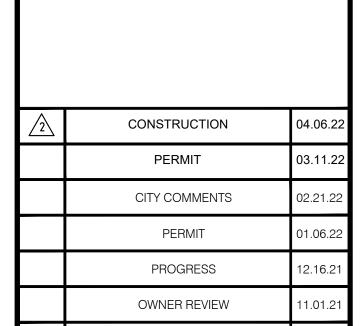




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Carlson Residence 321 Lake Park Drive Birmingham, MI 48009

First Floor Reflected Ceiling

A107

Closet 206 9'-0''

COVE LIGHT IN COFFERED CEILING

MEZZ. LADDER —

Suite 3
208
9'-0"

9'-0"

— RAISED CEILING

9'-0"

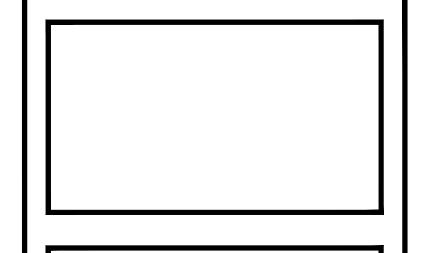
Suite 2 205 9'-0''

| CEILING LENGEND |   |  |  |  |  |
|-----------------|---|--|--|--|--|
| <del> </del>    | CEILING MTD LIGHT.                        |  |  |  |  |
| Ю               | WALL SCONCE                               |  |  |  |  |
| 0               | RECESSED CAN                              |  |  |  |  |
| igorphi         | RECESSED CAN – WALL WASH TRIM             |  |  |  |  |
|                 | EXHAUST FAN                               |  |  |  |  |
| S               | HARD WIRED SMOKE DETECTOR (TYP)           |  |  |  |  |
| <b>©</b>        | HARD WIRED CARBON MONOXIDE DETECTOR (TYP) |  |  |  |  |
| $\Phi$          | CEILING MOUNTED DUPLEX OUTLET             |  |  |  |  |
| <del>- u</del>  | UNDER COUNTER LIGHTING                    |  |  |  |  |
| <del>\</del>    | SWITCH                                    |  |  |  |  |
| \$              | OCCUPANCY SWITCH                          |  |  |  |  |
| $\frac{3}{2}$   | THREE WAY SWITCH                          |  |  |  |  |
| F<br>B          | FAN                                       |  |  |  |  |
| -               | CEILING MOUNTED LINEAR LED LIGHT          |  |  |  |  |
|                 |   |  |  |  |  |



T:248.601.4422 F:248.453.5854

W W W . D E S I G N H A U S . C O M I N F O @ D E S I G N H A U S . C O M





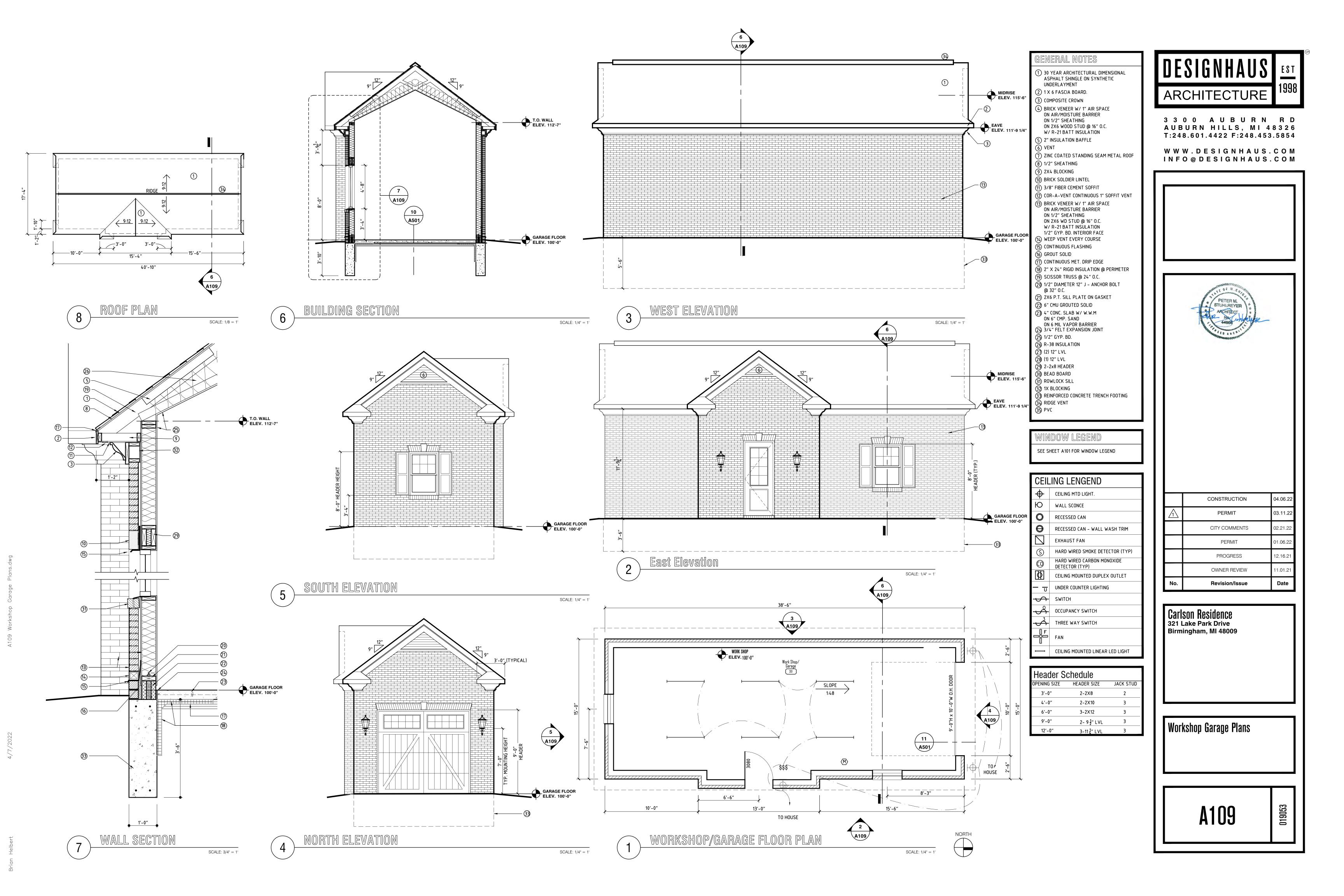
| <u>^2</u> | CONSTRUCTION   | 04.06.22 |
|-----------|----------------|----------|
|           | PERMIT         | 03.11.22 |
|           | CITY COMMENTS  | 02.21.22 |
|           | PERMIT         | 01.06.22 |
|           | PROGRESS       | 12.16.21 |
|           | OWNER REVIEW   | 11.01.21 |
| No.       | Revision/Issue | Date     |

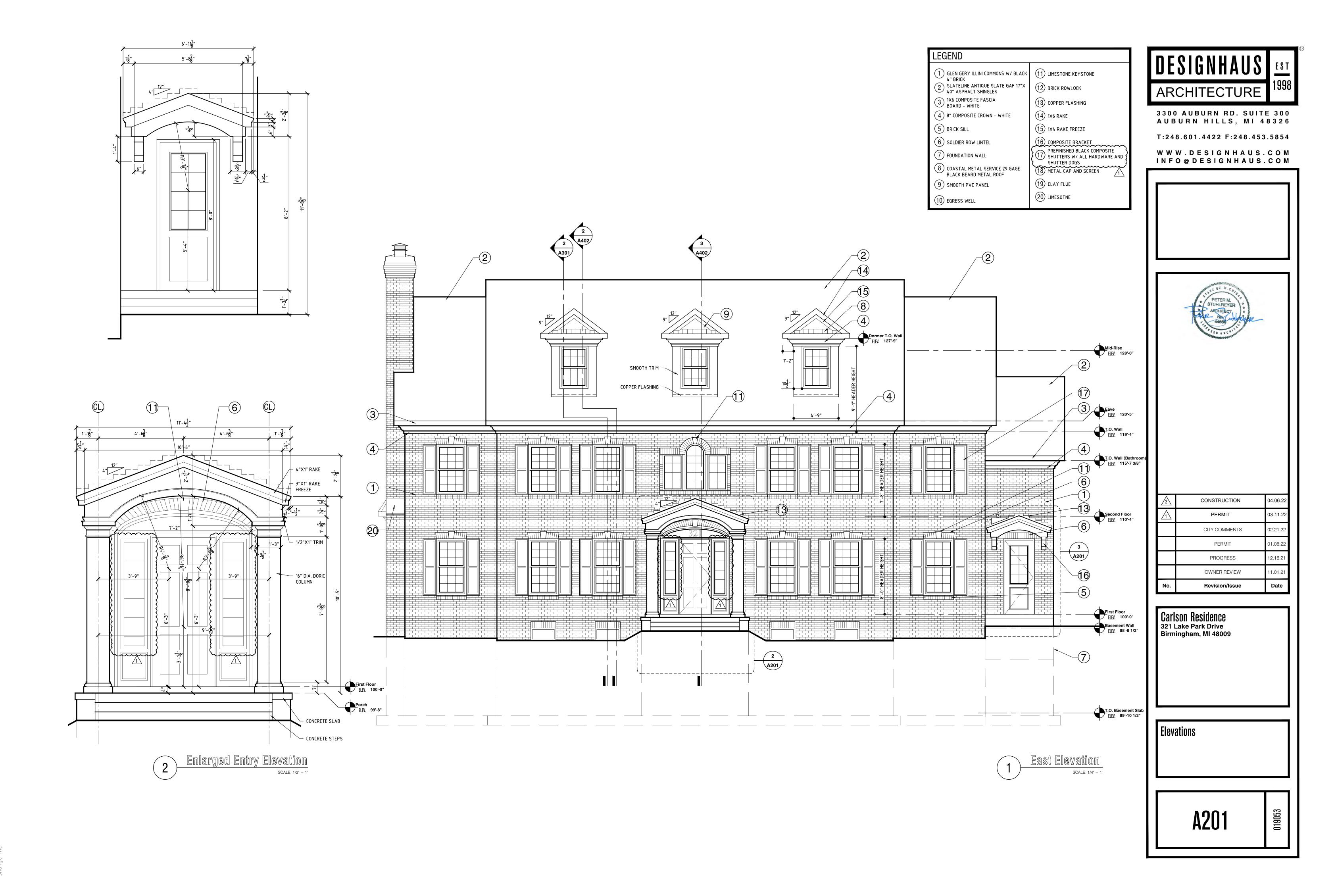
Carlson Residence 321 Lake Park Drive Birmingham, MI 48009

Second Floor Reflected Ceiling

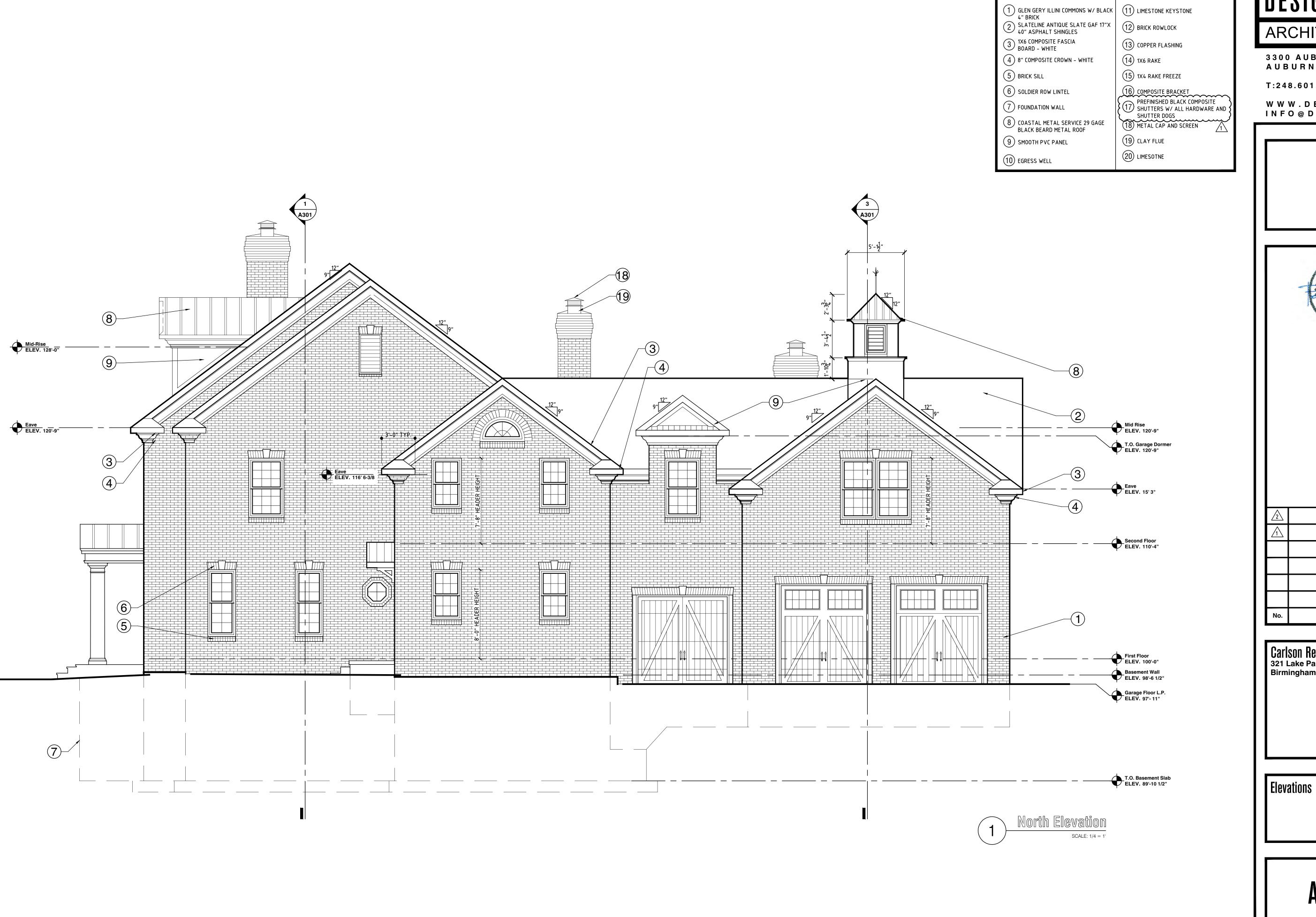
A108

Second Floor Reflected Ceiling Plan





and and





LEGEND

3300 AUBURN RD. SUITE 300 AUBURN HILLS, MI 48326

T:248.601.4422 F:248.453.5854

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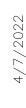


| No.         | Revision/Issue | Date     |
|-------------|----------------|----------|
|             | OWNER REVIEW   | 11.01.21 |
|             | PROGRESS       | 12.16.21 |
|             | PERMIT         | 01.06.22 |
|             | CITY COMMENTS  | 02.21.22 |
| $\triangle$ | PERMIT         | 03.11.22 |
| 2           | CONSTRUCTION   | 04.06.22 |
|             |                |          |

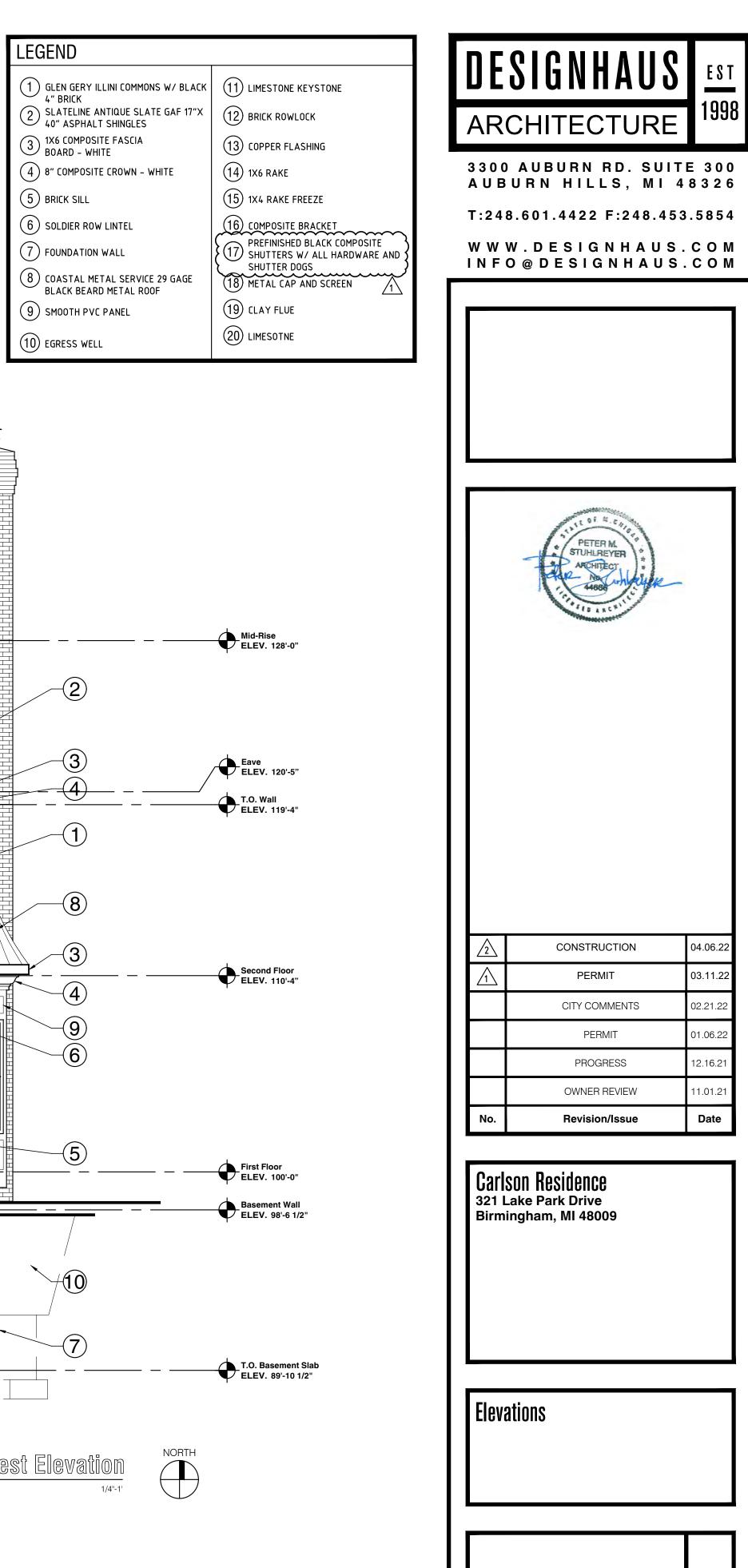
Carlson Residence 321 Lake Park Drive Birmingham, MI 48009



Eave ELEV. 114' 8-3/4"







5 BRICK SILL

7 FOUNDATION WALL

9 SMOOTH PVC PANEL

ANGLE DISTORTION
AT BUILDING

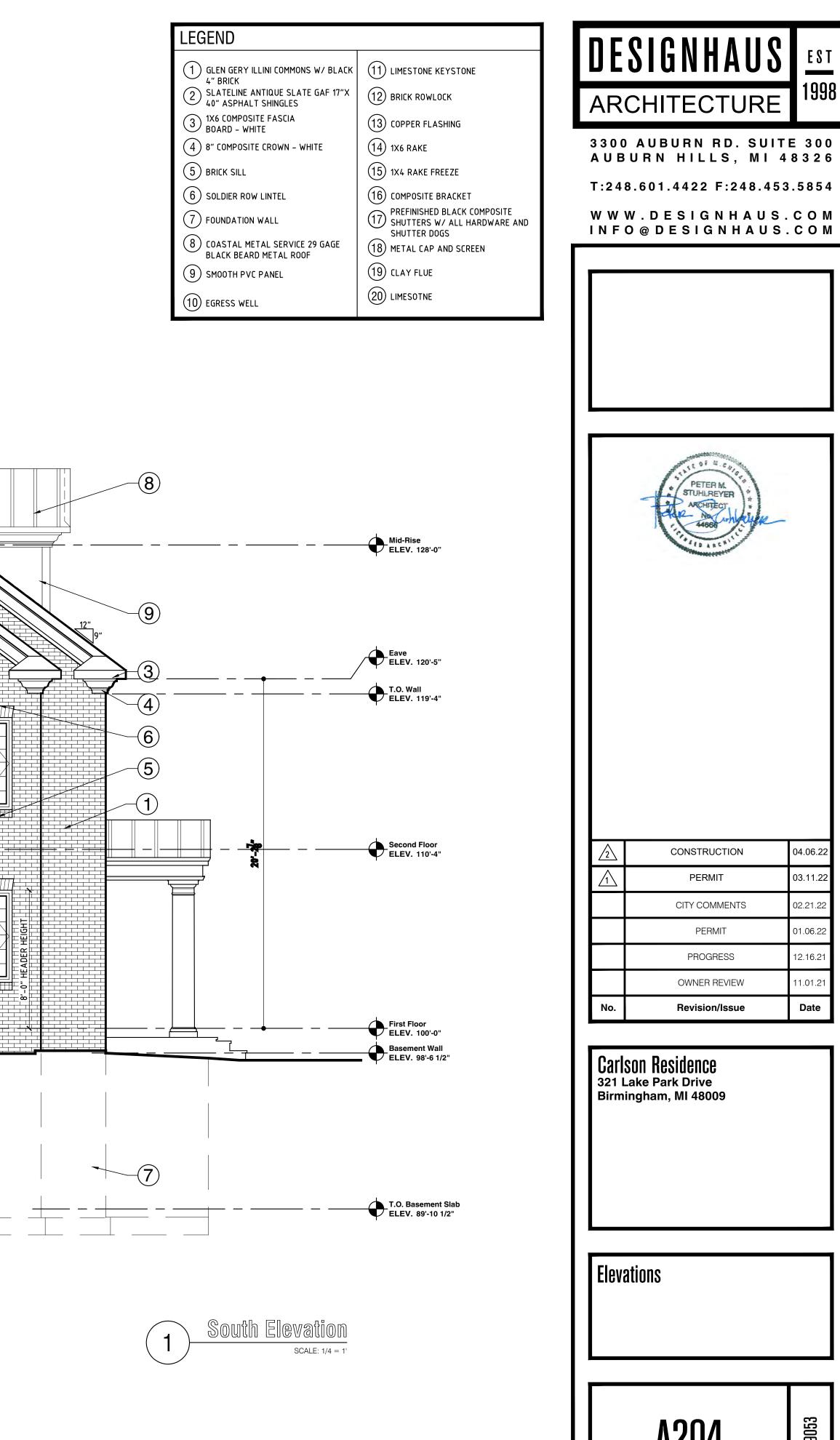


| No.         | Revision/Issue | Date    |
|-------------|----------------|---------|
|             | OWNER REVIEW   | 11.01.2 |
|             | PROGRESS       | 12.16.2 |
|             | PERMIT         | 01.06.2 |
|             | CITY COMMENTS  | 02.21.2 |
| $\triangle$ | PERMIT         | 03.11.2 |
| 2           | CONSTRUCTION   | 04.06.2 |
|             |                |         |

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8



W W W . D E S I G N H A U S . C O M



| No.                   | Revision/Issue | Date     |
|-----------------------|----------------|----------|
|                       |                |          |
|                       | OWNER REVIEW   | 11.01.21 |
|                       | PROGRESS       | 12.16.21 |
|                       | PERMIT         | 01.06.22 |
|                       | CITY COMMENTS  | 02.21.22 |
| $\overline{\uparrow}$ | PERMIT         | 03.11.22 |
| 2                     | CONSTRUCTION   | 04.06.22 |
|                       |                |          |

## **CASE DESCRIPTION**

#### 604 HANNA (23-36)

Hearing date: October 10, 2023

**Appeal No. 23-36**: The owner of the property known as **604 Hanna**, requests the following variance to construct an attached pergola:

A. Chapter 126, Article 2, Section 2.08.1 of the Zoning Ordinance limits the lot coverage to a maximum of 30% of the lot. The required 30% is 11963.50 SF. The existing is 29.29% (1917.10 SF). The proposed is 32.38% (2119.40 SF). Therefore, a variance of 2.38% (155.90 SF) is being requested.

**Staff Notes:** This applicant is proposing to construct an attached pergola to the existing home that was completed in September 2021. This house was granted a distance between structures variance in September 2016 (attached minutes)

This property is zoned R1 – Single family residential.

Jeff Zielke, NCIDQ, LEED AP, COSS
Assistant Building Official



#### **CITY OF BIRMINGHAM**

#### Community Development - Building Department 151 Martin Street, Birmingham, MI 48009

Community Development: 248-530-1850 Fax: 248-530-1290 / www.bhamgov.org

#### **APPLICATION FOR THE BOARD OF ZONING APPEALS**

| Received Date:   |   |   |  |   |   | Hearing Dat                         | te:                                    |
|--|---|---|--|---|---|-------------------------------------|--|
| Deschool Des   |   |   |  |   |   |                                     |  |
| Received By: Type of Variance:   | - Interpretation  | <b>D</b>                                | imensional   | - Land Use  | Sign                                      | Appeal #: _                         | Admin Review                           |
| I. PROPERTY INFORMA  | TION:   |   | X  |   |   |                                     |  |
|  | TION.   | 100 M                                   | 1  | 1000  | los to the                                |                                     |  |
| Address: 604 Hanna St, Birmin  | gham, Mi 48009  |   | Lot Number:  |   | Sidwell Num<br>19-36-153-                 | ber:<br><b>-020</b>                 |  |
| II. OWNER INFORMATIO   | N:  |   |  |   |   | Em Walle                            | The second                             |
| Name: Ajitpal S. Grev  | wal   |   |  |   |   |                                     |  |
| Address: 604 Hanna   | St  |   | City: Birmin   | gham  | State: MI                                 | Zip code                            | e: <b>48009</b>                        |
| Email:* Saab@singhn  | nail.com  |   | •  | ()  | Phone:                                    |                                     |  |
| III. PETITIONER INFORM   | ATION:  | -1100 - 1100                            |  | XIII WILL DEL   |   |                                     | e segunderir Allica                    |
| Name: Matt DeLapp  |   |   | Firm/Compa   | ny Name: Singh  | Homes LLC                                 |                                     |  |
| Address: 7125 Orcha  | rd Lake Rd Suite 200  |   | City: West E   | loomfield   | State: MI                                 | Zip code                            | <b>48322</b>                           |
| Email: Matt.DeLapp@  | singhmail.com   |   | •  |   | Phone: 24                                 | 8-986-6875                          |  |
| IV. GENERAL INFORMA  | TION:   | West 1                                  |  |   |   |                                     |  |
| Staff will explain how al<br>clearly shown on the su-<br>decimal point.<br>The BZA application fee | or City Planner for a pre-<br>l requested variances mu-<br>rvey and plans including a<br>is \$360.00 for single fami<br>ty at least 15-days prior t | st be high<br>a table as<br>ily resider | lighted on the s<br>shown in the ex<br>stial; \$560.00 fo  | urvey, site plan and<br>ample below. All di<br>or all others. This an | d construction plar<br>imensions to be sh | ns. Each variand<br>nown in feet me | e request must be asured to the second |
|  |   | - 1112 00111                            |  | art Example   |   |                                     |  |
| Requested Varian   | ces Require   | ed                                      | Exist  |   | Proposed                                  | V                                   | ariance Amount                         |
| Variance A, Front S  |   |   | 23.50  | Feet  | 23.50 Feet                                | 23.50 Feet 1.50 Fee                 |  |
| Variance B, Hei  |   | eet                                     | 30.25  | Feet  | 30.25 Feet                                | 30.25 Feet 0.25 Feet                |  |
| V. REQUIRED INFORMA  |   |   |  |   |   |                                     |  |
|  | ise provide the foll  |   | <u>in your elec</u>  | tronic submis   | sion:                                     |                                     |  |
|  | pleted and signed appl  |   |  |   |   |                                     |  |
| <del>-</del>   | ed letter of practical di   | пісціту а                               | nd/or nardsni  | р   |   |                                     |  |
|  | fied survey   |   |  |   |   |                                     |  |
|  | ling plans including exis   | -                                       | •  | •   |   | utus UBG sa                         | one have to the                        |
| O If ap  | pealing a board decisio   | n, provid                               | ie a copy of th  | e minutes from a  | iny previous Plan                         | ning, HDC, or                       | DKB board meeting                      |
|  |   |   |  |   |   |                                     |  |
| By signing this application accurate to the best of r  | es the petitioner designation, I agree to conform to my knowledge. Changes to to the City, you agree to re  | all applica<br>to the plai              | ble laws of the<br>ns are not allow  | City of Birmingham<br>red without approva                             | al from the Buildin<br>you do not wish to | g Official or City receive these me | / Planner.<br>essages, you may         |
| Signature of Petition  | Matt DeLa   | add:                                    | gitally algoed by Mett DeLa;<br>f: cn=Matt DeLapp, o=Sing<br>pall=Matt.DeLapp@singhm<br>fe: 2023.09.12 10:22:47 -0 | h Homes, ou,<br>M.com, c=US   | Dates                                     | 9/12/20<br>9/12/20                  | 23                                     |

#### CITY OF BIRMINGHAM BOARD OF ZONING APPEALS RULES OF PROCEDURE

#### **ARTICLE I - Appeals**

- A. Appeals may be filed under the following conditions:
  - 1. A property owner may appeal for variance, modification or adjustment of the requirements of the Zoning Ordinance.
  - 2. A property owner may appeal for variance, modification or adjustment of the requirements of the Sign Ordinance.
  - 3. Any aggrieved party may appeal the decision of the Planning Board and/or the Building Official in accordance with the City of Birmingham Zoning Ordinance, Article Eight, Section 8.01 (D) Appeals. If an appellant requests a review of any determination of the Building Official, a complete statement setting forth the facts and reasons for the disagreement with the Building Official's determination shall include the principal point, or points on the decision, order or section of the ordinance appealed from, on which the appeal is based.
- B. Procedures of the Board of Zoning Appeals (BZA) are as follows:
  - 1. Regular BZA meetings, which are open to the public, shall be held on the second Tuesday of the month at 7:30 P.M. provided there are pending appeals. There will be a maximum of seven appeals heard at the regular meeting which are taken in the order received. If an appeal is received on time after the initial seven appeals have been scheduled, it will be scheduled to the next regular meeting.
  - 2. All applications for appeal shall be submitted to the Community Development Department on or before the 12<sup>th</sup> day of the month preceding the next regular meeting. If the 12<sup>th</sup> falls on a Saturday, Sunday, or legal holiday, the next working day shall be considered the last day of acceptance.
  - 3. All property owners and occupants within 300 feet of the subject property will be given written notice of a hearing by the City of Birmingham.
  - 4. See the application form for specific requirements. If the application is incomplete, the BZA may refuse to hear the appeal. The Building Official or City Planner may require the applicant to provide additional information as is deemed essential to fully advise the Board in reference to the appeal. Refusal or failure to comply shall be grounds for dismissal of the appeal at the discretion of the Board.
  - 5. In variance requests, applicants must provide a statement that clearly sets forth all special conditions that may have contributed to a practical difficulty that is preventing a reasonable use of the property.

- 6. Where the Birmingham Zoning Ordinance requires site plan approval of a project by the City Planning Board before the issuance of a building permit, applicants must obtain preliminary site plan approval by the Planning Board before appeal to the BZA for a variance request. If such appeal is granted by the BZA, the applicant must seek final site plan and design review approval from the Planning Board before applying for a building permit.
- 7. An aggrieved party may appeal a Planning Board decision. Such appeal must be made within 30 days of the date of the decision. The BZA, in its discretion, may grant additional time in exceptional circumstances.
- 8. Appeals from a decision of the Building Official shall be made within 30 days of the date of the order, denial of permit, or requirement or determination contested. The BZA, in its discretion, may grant additional time in exceptional circumstances.
- 9. An appeal stays all proceedings in accordance with Act #110, Public Acts of 2006, Article VI, Section 125.3604 (3).

#### C. The order of hearings shall be:

- 1. Presentation of official records of the case by the Building Official or City Planner as presented on the application form.
- 2. Applicant's presentation of his/her case—the applicant or his/her representative must be present at the appeal hearing.
- 3. Interested parties' comments and view on the appeal.
- 4. Rebuttal by applicant.
- 5. The BZA may make a decision on the matter or request additional information.

#### D. Motions and Voting

- 1. A motion is made to either grant or deny a petitioner's request
  - a) For a motion to grant or deny a non-use variance request, the motion must receive four (4) affirmative votes to be approved.
  - b) For a motion to grant or deny a use variance request, the motion must receive five (5) affirmative votes to be approved.
  - c) For a motion to grant or deny an appeal of a decision or order by an administrative official or board, the motion must receive four (4) affirmative votes to be approved.
- 2. When a motion made is to approve or deny a petitioner's request and if there is a tie vote, then the vote results in no action by the board and the petitioner shall be given an opportunity to have his or her request heard the next regularly scheduled meeting when all the members are present.

- 3. When there are less than seven (7) members of the board present for a meeting, then a petitioner requesting a use variance shall be given an opportunity at the beginning of the meeting to elect to have it heard at the next regularly scheduled meeting.
- 4. When there are less than six (6) members present for a meeting, then all petitioners shall be given an opportunity at the beginning of the meeting to elect to have the request heard at the next regularly scheduled meeting.

#### **ARTICLE II - Results of an Appeal**

- A. The Board may reverse, affirm, vary or modify any order, requirement, decision or determination as in its opinion should be made, and to that end, shall have all the powers of the officer from whom the appeal has been taken.
- B. The decisions of the Board shall not become final until the expiration of five (5) days from the date of entry of such orders or unless the Board shall find that giving the order immediate effect is necessary for the preservation of property and/or personal rights and shall so certify on the record.
- C. Whenever any variation or modification of the Zoning Ordinance is authorized by resolution of the BZA, a <u>Certificate of Survey</u> must be submitted to the Community Development Department with the building permit application. A building permit must be <u>obtained</u> within one year of the approval date.
- D. Failure of the appellant, or his representative, to appear for his appeal hearing will result in the appeal being adjourned to the next regular meeting. If, after notice, the appellant fails to appear for the second time, it will result in an automatic withdrawal of the appeal. The appellant may reapply to the BZA.
- E. Any applicant may, with the consent of the Board, withdraw his application at any time before final action.
- F. Any decision of the Board favorable to the applicant is tied to the plans submitted, including any modifications approved by the Board at the hearing and agreed to by the applicant, and shall remain valid only as long as the information or data provided by the applicant is found to be correct and the conditions upon which the resolution was based are maintained.

#### **ARTICLE III - Rehearings**

A. No rehearing of any decision of the Board shall be considered unless new evidence is submitted which could not reasonably have been presented at the previous hearing or unless there has been a material change of facts or law.

Application or rehearing of a case shall be in writing and subject to the same rules as an B. original hearing, clearly stating the new evidence to be presented as the basis of an appeal for rehearing.

I certify that I have read and understand the above rules of procedure for the City of Birmingham Board of Zoning Appeals.

Matt DeLapp Digitally eigned by Matt DeLapp DN: cn=Matt DeLapp, cn=Singh Homes, ou. email=Matt. DeLapp@eingfi.mail.com, cn=US Date: 2023.09.12 10:23:12 -04'00'

Signature of Applicant





Singh Development, LLC 7125 Orchard Lake Road Suite 200 West Bloomfield, MI 48325-3005 Telephone: (248) 865-1600 Fax: (248) 865-1630 Web: www.SinghWeb.com

September 12, 2023

City of Birmingham Community Development - Building Department 151 Martin Street, Birmingham, MI 48009

Subject: 604 Hanna Street BZA Application

To Whom it May Concern,

I am pleased to be submitting the attached BZA variance submittal for the single-family residential home located at 604 Hanna St, Birmingham, MI 48009.

Along with this transmittal please find the following:

- Completed and signed application
- Signed letter of practical difficulty and/or hardship
- Certified survey
- · Building plans including existing and proposed floor plans and elevations

With this, I believe we have submitted all documents necessary for your review. Please do not hesitate to contact me should you need anything further. Thank you.

Sincerely,

Matt DeLapp Singh Homes

Cc: Saab Grewal, Todd Rankine



Singh Development, LLC 7125 Orchard Lake Road Suite 200 West Bloomfield, MI 48325-3005 Telephone: (248) 865-1600 Fax: (248) 865-1630 Web: www.SinghWeb.com

#### I. Variance Requested

We are requesting a lot coverage variance to install an open-air, pergola-style covering over the existing rear concrete patio at the single-family residential home located at 604 Hanna Street, Birmingham, MI 48009. The proposed footprint is 18'3" x 11'1" or 202.3 SF (See Figure 1).

Ordinance Reference: Chapter 126, Article 2, Section 2.08.1

| Variance Chart           |                    |                    |                    |                  |  |  |  |
|--------------------------|--------------------|--------------------|--------------------|------------------|--|--|--|
| Requested Variance       | Required Maximum   | Existing           | Proposed           | Variance Amount  |  |  |  |
| Variance A, Lot Coverage | 30.00% / 1963.5 SF | 29.29% / 1917.1 SF | 32.38% / 2119.4 SF | 2.38% / 155.9 SF |  |  |  |

#### II. <u>Background</u>

The home located at 604 Hanna Street is a recently constructed single-family home, built by Singh Homes. The building permit was authorized in December 2016, and construction commenced shortly thereafter, spanning until the fall of 2019.

The original approved plans, which are included with this submission, feature a pergola-style covering which can be seen on pages A.102, A.201, A.203, and S.100. However, while the trench footing foundation and concrete slab was installed in anticipation, the construction of the pergola-style covering itself was deferred by the homeowner's choice. This postponement was further extended until recently, primarily due to the outbreak of the COVID-19 pandemic in March 2020.

At the end of last year, we engaged Miles Bradley to create the pergola-style covering design and recently approved its initiation. The design exhibits slight variations from the original plans, but the core concept remains unchanged. Considering the considerable time that had elapsed since the original permit was issued, we instructed our contractor to request a new permit. However, we were informed that the pergola could not be permitted due to lot coverage limitations.

#### III. Practical Difficulty / Unnecessary Hardship

The need for this variance is not self-created, as the pergola-style covering had already received approval on the initial plans. If this matter had been raised during the plan review process, we could have explored options to adjust the size of the house or the detached garage to ensure full compliance with the ordinance. As it stands now, adhering to the current lot coverage restrictions would only permit the construction of a pergola-style covering that is unreasonably impractical in size.

It's important for the sake of this review to emphasize that the term "uncovered patio" appears in several instances throughout the documentation, and this wording may have led plan reviewers to assume it implied a complete absence of any form of covering, including the open-air pergola-style covering that we intended to install. Additionally, it's worth noting that the pergola-style covering was excluded from the lot coverage calculation. This confusion is, to some extent, understandable, primarily due to the lack of clear guidelines within the ordinance regarding the treatment of open pergola structures. In such cases, we naturally rely on plan reviewers to offer the necessary guidance and clarity.



Singh Development, LLC 7125 Orchard Lake Road Suite 200 West Bloomfield, MI 48325-3005 Telephone: (248) 865-1600 Fax: (248) 865-1630 Web: www.SinghWeb.com

Furthermore, there is an unnecessary hardship in the form of expenses incurred with the installation of the trench footing foundation. This foundation was initially put in place with the expectation of supporting the pergola-style covering. However, it's important to note that such a foundation is not an essential requirement for an uncovered patio. Therefore, the costs incurred for this foundation could have been avoided if we had knowledge that the pergola-style covering would not be permitted.

#### IV. Substantial Justice

Granting the variance would result in substantial justice to the property owner, the owners of property in the area, and the general public for the following reasons:

- 1. The original approval during the home construction process created a reasonable expectation that we could proceed with the pergola-style covering.
- 2. Denying the variance would mean that the property owner is unable to utilize an outdoor space as intended, diminishing the value and enjoyment of the property.
- 3. The denial of the pergola would be an undue hardship, considering the initial approval and the resources already invested in preparing for its construction.
- 4. Approving the variance would ensure consistency and fair treatment for the property owner. Denying the variance after the pergola-style covering was initially approved on the building plan review and permit creates a sense of inconsistency and unfairness. It's essential to treat property owners equitably and honor previously approved plans.

#### V. Impact on Surrounding Neighborhood

It's important to note that the property is situated on a corner lot, which means that the proposed pergola-style covering would be visible from the street. In considering the request for this variance, it's crucial to understand how granting it would not be materially detrimental to the property owners in the immediate vicinity and how it would positively impact the surrounding neighborhood in general.

Architectural Harmony: Granting the variance would allow us to create an aesthetically pleasing addition to the property. The design of the open-air pergola-style covering has been thoughtfully planned to complement the existing architectural elements of the home, and surrounding area. This attention to design detail ensures that the visual appeal of the neighborhood is enhanced rather than detracted from. Thus, the variance would not be materially detrimental to nearby property owners.

Enhanced Property Values: An attractive and well-designed pergola-style covering can contribute to increasing property values in the vicinity. When properties are improved aesthetically and functionally, it tends to have a positive cascading effect on neighboring properties. Homeowners in the area can benefit from potential increases in their own property values.

Improved Outdoor Living: The installation of the pergola-style covering would create an inviting outdoor living space. This, in turn, promotes social interaction among neighbors and enhances the overall sense of community in the area. A well-utilized outdoor space can become a focal point for neighborhood gatherings and activities.





Telephone: (248) 865-1600 Fax: (248) 865-1630 Web: www.SinghWeb.com

Visual Appeal: The presence of a well-maintained and visually appealing pergola-style covering can act as an attractive landmark in the neighborhood. It contributes positively to the streetscape and adds character to the area. This, in turn, can boost community pride and cohesion.

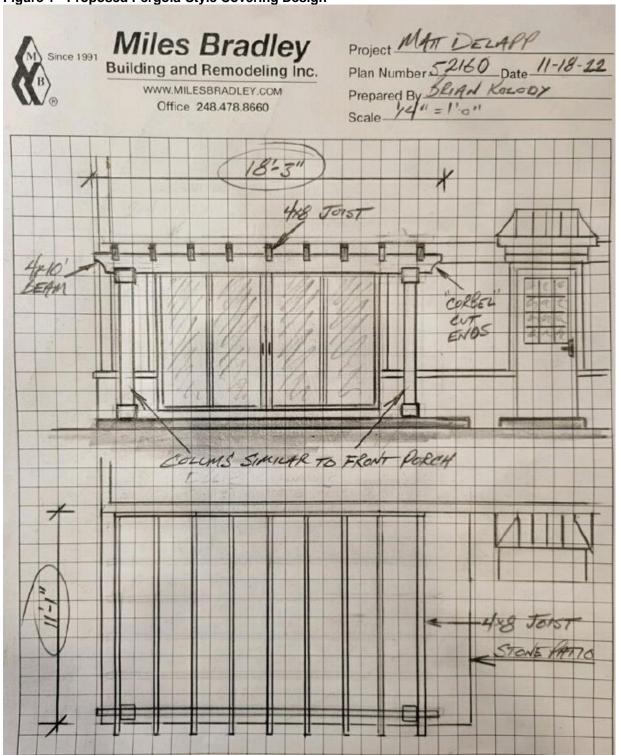
Environmental Impact: The open-air pergola would have no additional impact on pervious surfaces and ground water runoff, since this would be installed over and on top of, the existing, and approved, concrete patio.

In summary, granting the lot coverage variance to install the pergola-style covering would not be materially detrimental to nearby property owners, as it is designed to enhance the visual appeal of the neighborhood, improve property values, and promote community interaction. The overall impact would be beneficial, making it a positive addition to the immediate vicinity and the surrounding neighborhood in general.



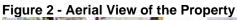
Telephone: (248) 865-1600 Fax: (248) 865-1630 Web: www.SinghWeb.com

Figure 1 - Proposed Pergola-Style Covering Design





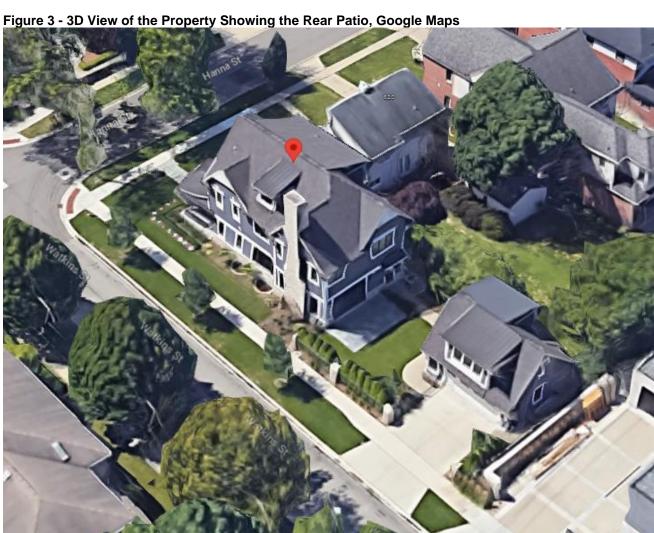
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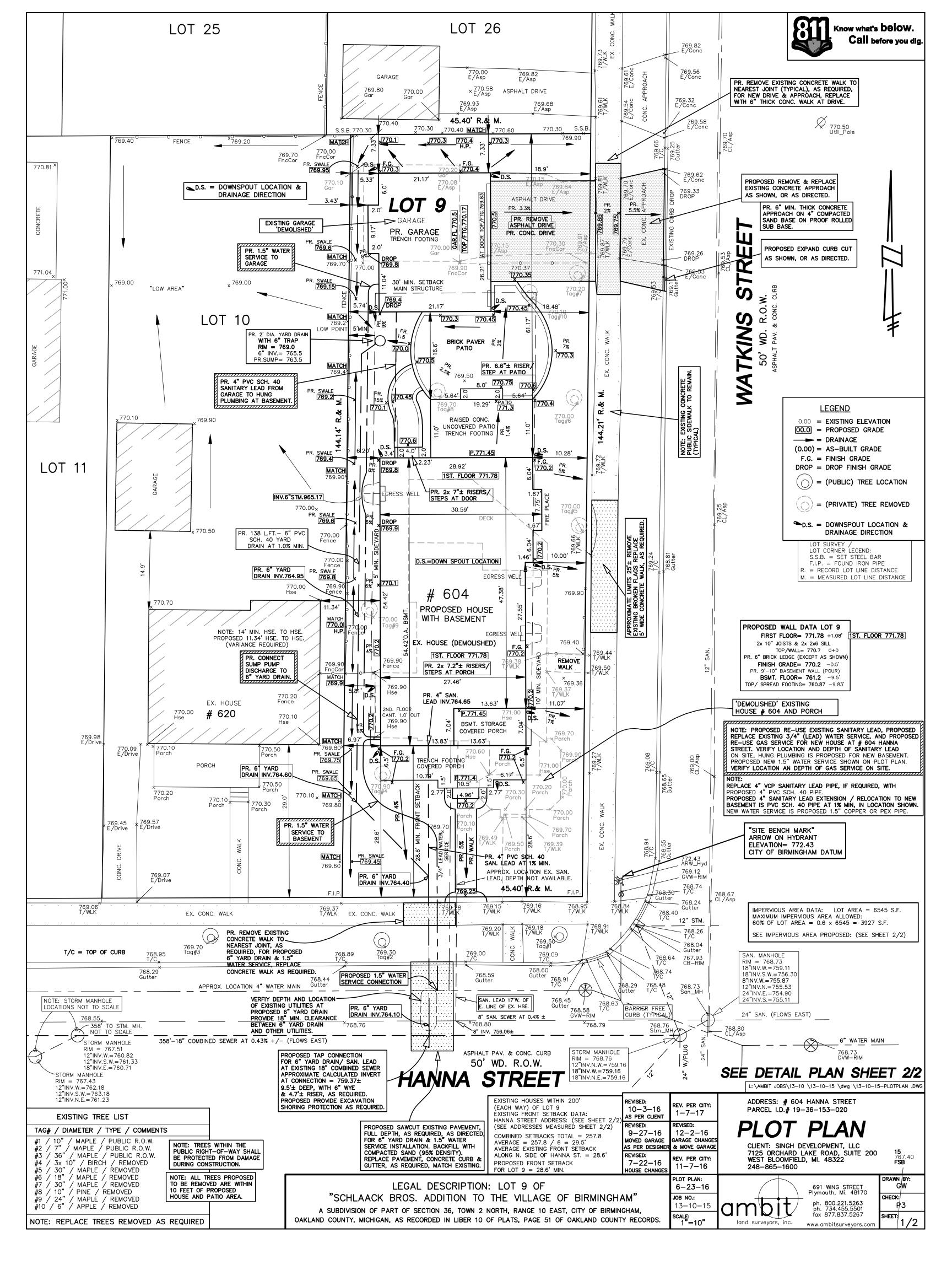






Telephone: (248) 865-1600 Fax: (248) 865-1630 Web: www.SinghWeb.com





# Grewal Residence

**New Construction** 604 Hanna St. Birmingham, MI 48009

# Sheet Index

| G.001  | Title Sheet & Architectural Site Plan |
|--------|---------------------------------------|
| G.002  | Abbreviations & Symbols List          |
| G.003  | Project Specifications                |
| A.100  | Foundation & Lower Level Plans        |
| A.101  | First & Second Floor Plans            |
| A.102  | Habitable Attic & Roof Plans          |
| A.200  | Exterior Elevation                    |
| A.201  | Exterior Elevation                    |
| A.202  | Exterior Elevation                    |
| A.203  | Exterior Elevation                    |
| A.300  | Building Section                      |
| A.301  | Building Section                      |
| A.302  | Building Sections                     |
| A.400  | Building Details                      |
| A.401  | Building Details                      |
| A.402  | Building Details                      |
| S.100  | Structural Framing Plans              |
| E.100  | Lower Level Power & Lighting Plans    |
| E.101  | First Floor Power & Lighting Plans    |
| E.102  | Second Floor Power & Lighting Plans   |
| E.103  | Habitable Attic Power & Lighting Pla  |
| GA.100 | Detached Garage Plans                 |
| GA.200 | Garage Exterior Elevations            |
| GA.300 | Garage Sections & Details             |
|        |                                       |

#### Architect

Krieger I Klatt Architects, Inc Jason Krieger, R.A. 1412 E. 11 Mile Rd. Royal Oak, MI 48067 p. 248,414,9270 f. 248,414,9275

## Civil Engineering

691 Wing St. Plymouth, MI 48170 p. 800.221.5263

# Building Code Information:

All work is to comply with the following codes:

Mechanical Electrical:

2015 Michigan Residential Code 2012 Michigan Mechanical Code 2012 Michigan Plumbing Code 2008 part 8 State Amendments Michigan Uniform Energy Code Part 10 (ANSI/ASHRAE/IENSA Standard 90.1-2007)

1.448 Sq. Ft. First Floor Square Footage: 1,388 Sq. Ft. Second Floor Square Footage: 2.836 Sq. Ft. Total Square Footage Birmingham, MI Jurisdiction City:

# Scope of Work:

1. Prepartion of existing site as required for new residence 2. Construction of a new (2) story residence and detached garage

#### SITE CONSTRUCTION NOTES:

- SEE CIVIL ENGINEERS DRAWINGS FOR GRADING INFORMATION ALL GRADES ARE TO SLOPE MIN. 1/4" PER FOOT AWAY FROM
- SILT FENCE WILL BE MAINTANED DURING CONSTRUCTION, SEE CIVIL ENG. DOC'S FOR DETAIL 3. SEE CIVIL ENGINEER'S DRAWINGS FOR ANY TREE REMOVAL
- PROTECT EXISTING TREES AS REQUIRED PER VILLAGE OF LAKE
- ORION STANDARDS 5. VERIFY IF UNDERGROUND DRAINAGE IS REQ'D FOR
- 6. VERIFY GAS / ELECTRICAL SERVICE LOCATION W/ CIVIL

MINIMUM LOT AREA: 6,000 SQ. FT. LOT AREA: 6,5451 SQ. FT.

1,427.2 SQ. FT. 2. DETACHED GARAGE 564.9 SQ. FT.

FRONT YARD REQUIRED: - AVG, OI HOUSES WITHIN 200'

- PROPOSE WEST SIDE:

MIN. RECT FROM NEIGHBORING PRINCIPLE STRUCTUE (25% OF LOT WIDTH OR 14' WHICHEVER'S LARGER)

REAR YAID LEQUIRED:

MAXIMUM BUILDING HEIGHT:

- PROPOSEDAREA: MAXIMUM BUIDING HEIGHT

MINIMUM DISANCE TO PRINCIPLE BLDG.

. DISTANE FROVIDED: AMOUT OF VARIANCE:

# Zoning Info: Lot #9

ZONED: R2 - SINGLE FAMILY RESIDENTIAL MAXIMUM % OFLOT COVERAGE ALLOWED: 30.0% PROPOSE LOT COVERAGE (FOOTPRINTS)

1,992.1 - 75 SQ. FT. (BONUS FOR GARACE INTERIOR STAIRCASE) - 1,917.1

#### 1,917.1 SQ. FT. 15,545.1 SQ. FT. = 29.29%

#### SETBACK INFORMATION (SINGLE FAMILY)

28.60 - PROPOSID FRONT YARD: 28.60

2. SIDE YARI REQUIRED: - MIN. STREET SIDE: 10.00 MIN COMBINED SIDES 14.00 - MIN. SID! YARD:

> 6.20 10.00 PROPOSED COMBINED 16.20

14.00 11.34

30.00 - REAR YARE PROPOSEL

# PROPOSED BUILDING HEIGHT:

MAXIMUM REA:
- 550 SQ. FT. F75 SQ. FT. BONUS

564.9 SQ. FT. 15.00' (MIDPOINT) 15.00 PROPOSED BUIDING HEIGHT:

28.00' (MIDPOINT

625.0 SQ. FT.

27.94

14.00

PROP. DISTANCE TO PRINCIPLE BLDG.: 29.94

MIN. DISANCEREG'D. FROM NEIGHBORING PRINC'LE STRUCTURE (WEST):

2.66

krieger klatt

ARCHITECTS architecture interiors consulting

Grewal Residence

**New Construction** 604 Hanna St. Birmingham, MI 48009

#### Issued:

PROPOSED

EXIST, CONC. WALK TO REMAIN

PROPOSED FIREPLACE

PROPOSED FIREPLACE

PROPOSED SETBACK

EGRESS WINDOW WELL (TYP.)

REQUIRED SETBACK

S

11.07

|   | 12-31-15 | Preliminary Review   |
|---|----------|----------------------|
|   | 01-13-16 | Client Review        |
|   | 01-21-16 | Client Review        |
|   | 03-16-16 | Final Review         |
|   | 04-29-16 | Client Revisions     |
|   | 06-21-16 | Construction Docs.   |
|   | 06-28-16 | Owner Revisions      |
|   | 07-19-16 | ZBA Submittal        |
| A | 09-23-16 | Structural Revisions |



#### Seal:



Do not scale drawings. Use Verify existing conditions in field.

North Arrow:

Sheet Title:



Hanna St.

STEPS TO GRADE

PROPOSED SETBACK —

SETBACK-

Exist.

Residence

FRONT PORCH

STEPS TO GRADE

PROP, SETBACK

Architectural Site Plan Scale: 1" = 10'-0"

2-Car Garage

BRICK PAVER

Proposed

Residence

AREA: 1,427.2 SQ.F.

COVERED PATIO

PATIO @ GRADE

Title Sheet & Architectural Site Plan

As Noted

# Project Number:

PROJECT NO. JHSG 16-0025 ADDRESS 604 HANNA DESCRIPTION NEW SINGLE-FAMILIA WIDETACHES GARAGE

CODE 2015 MGC

Sheet Number:



| IATION       | DESCRIPTION   | ASSREVIATION                              | ARCHITECTU  | ABBREVIATION                                | DESCRIPTION   | 1              | T-   |  | ARCHITECT  | JRAL SYMBOLS   | )  |
|--------------|---|---|---|---|---|----------------|--|--|--|--|--|
| 27.150.3741  |   | ROCKETIATION                              |   | ASSECUATION                                 | DESCRIPTION   | ABBREVIATION   | DESCRIPTION  | SYMBOL   | DESCRIPTION  | SYMBOL   | DESCRIPTION  |
| PENT         | AR CONDITIONING & VENTILATING<br>ARCHITECT-ENGINEER               | E<br>EA                                   | EAST<br>EACH  | MACH<br>MAR                                 | MACHINE   | SAF            | S-SHAPE STEEL MEMBER<br>SPRAY APPLIED FIREPROOFING   | NORTH  |  | N. Carrell   |  |
|              | ANCHOR BOLT<br>ACCESSBLE  | EPS<br>ELI                                | EXTERIOR INSULATION & FINSH SYSTEM  EXPANSION JOINT             | MAS<br>MATL                                 | MASONRY<br>MATERIAL   | 53             | SOIL BORING  | NOWIH  | PROJECT NORTH - TRUE   | Room name  | ROOM NUMBER  |
| new ii       | AMERICAN CONCRETE INSTITUTE ACOUSTICAL INSULATION                 | 0.  | BEYATION<br>BECTRICAL BECTRONIC                                 | MAX   | MAXIMUM   | SCHED<br>SDG   | SCHEDULE<br>SIDING   | (1)  | NORTH & INDICATED  | 101  | ACUM MINORS  |
| PASUL<br>PNA | ACOUSTICAL INSULATION   | B.EC<br>EO                                | ELECTRICAL DUTLET   | MBC<br>MECH                                 | MICHIGAN BUILDING CODE<br>MECHANICAL  | SCT            | SECTION<br>SHOWER  |  | ONLY ON SITE PLAN  |  |  |
|              | ACCESS DOOR<br>ACCESS PANEL                                       | ELEV<br>EMBED                             | ELEVATOR<br>EMBEDMENT   | MEMB  | MEMBRANE  | 381            | SHEET  |  |  |  |  |
|              | ACDUSTIC  | ENCL                                      | ENCLOSURE: ENCLOSED   | MEZI<br>MEG                                 | MEZZANINE<br>MANUFACTURING  | SM<br>SDG      | SIMILAR<br>SUDING  |  |  | (A)  | DOOR NUMBER  |
| NT           | ACOUSTIC SEALAINT   | ENTR<br>EQ                                | ENTRANCE  | MFG<br>MFR                                  | MANUFACTURER  | SIDG WDW       | SLIDING WINDOW   | (A)  | COLUMN COLUMN IN PR  |  |  |
|              | AMERICANS W/ DISABILITIES ACT<br>ADDITIONAL                       | EQUIP                                     | EQUAL<br>EQUIPMENT  | MISC<br>MC<br>MR<br>MR<br>MIC<br>MIC<br>MIL | MINIMUM<br>MISCELLANEOUS  | SINT           | SEALANT  | (2)  | CIOLUMN CENTER LINES   |  | The same of the sa |
|              | ADDENDUM<br>ADDITION  | ETR                                       | EXISTING TO REMAIN<br>EACH WAY                                  | MO  | MASONRY OPENING   | SM             | SHORT VERTICAL<br>SHEET METAL  |  |  |  | DOOR - PART OF PRO   |
|              | ADJACTUT  | TWC                                       | BECTRIC WATER HEATEN  | Me.   | MOISTURE RESISTANT  | Dec.           | SHAFT PARTITION<br>SPELIPICATION   | (1)  |  | = =  |  |
|              | ADJUSTABLE<br>ABOVE FINSHED FLOOR                                 | EWH<br>EWS                                | ELECTRIC WATER HEATEN  EYE WASH STATION                         | MIC   | METAL TORIET COMPARTMENTS<br>METALLIC, METAL                                  | SPKLR          | SPRINKLER  |  |  | La California  |  |
|              | AGGREGATE   | EXC                                       | EXCAVATE, EXCAVATION  | MULL  | MULION  | 5Q<br>3%       | SQUARE<br>SERVICE SINK   |  |  |  | EXISTING WALL  |
|              | AIR HANDLING UHIT<br>ALTERNATE                                    | EXH<br>EX6T                               | EXHAUST<br>EXISTING   | MWP   | METAL WALL PANEL  | SIT            | STAINLESS STEEL  | 0.00   |  | 100000000000000000000000000000000000000  | TO BE REMOVED  |
|              | ALUMINUM  | EXET GR                                   | EXISTING GRADE  | 1000  | The Coloreda  | SIA SIAG       | STATION<br>STAGGERED   | (A)  | EGST. COLLIMN CENTER UNES  |  |  |
|              | ANODIZED AMERICAN NATIONAL STANDARDS INSTITUTE                    | EXP<br>EXPS                               | EXPANSION<br>EXPOSED  | NATE  | NATIONAL<br>NOISE CRITERIA  | 202            | SOUND TRANSMISSION CLASS   |  |  |  |  |
|              | ACCUSTICAL PANEL CELLING  | EXT                                       | EXTERIOR, EXTERNAL  | NEPA .                                      | NATIONAL FIRE PROTECTION ASSOCIATION  | CT2<br>472     | STANDARD<br>STIESTINED   | -  |  | AX   | PARTITION TYPE TAG   |
|              | APPROXIMATE<br>ARCHITECTURAL                                      | EXTNG<br>EXTR                             | EXTINGUISHER EXTRUDED   | NL<br>NC                                    | NIGHT LIGHT   | 57.            | STIFFENER<br>STEEL   | (1)  |  |  |  |
|              | ASPHALT   | 4010                                      | EXIMODED  | NOM   | NUMBER, NUMBERS.<br>NUMBER, NUMBERS.  | 2150CI         | STORAGE<br>STRUCTURAL  |  |  |  |  |
|              | AMERICAN SOCIETY FOR TESTING MATERIALS<br>ACOUSTICAL TILE-CELLING | 10  | FLOOR DRAIN   | NIZ   | NOT TO SCALE  | STRUCT STL     | STRUCTURAL STEEL   | 1  | FLOOR ELEVATION OR   | (AXI)  | FINISH INDICATOR TA  |
|              | AUTOMATIC   | /年  | FIRE EXTINGUISHER   | 1000  |   | SIGF           | SUSPENDED, SUSPENSION  |  | WORK POINT REFERENCE   | ~  |  |
|              | AYERAGE   | 89C                                       | THE EXTINGUISHER CABINET  | 00  | DISCENTER.  | 2A<br>2A       | SHEET VINYL  | 20040  |  |  |  |
|              | (C) (C)   | FD<br>FE<br>FSC<br>FHR<br>FM<br>FM<br>FXT | FIRE HOSE RACK / REE.   | 00<br>00<br>0F/G                            | OUTSIDE DIAMETER, OUTSIDE DIMENSION<br>OWNER FURNISHED / CONTRACTOR INSTALLED | SWD-FR<br>51M  | SHEATHING WOOD-FIRE RETARDANT<br>SYMMETRICAL   | A .  |  | (X)  | KEYED NOTE TAG   |
|              | BASE PLATE<br>BACK TO BACK  | 100                                       | FINSH FINSHED<br>FOAMED-IN-PLACE                                | OF/OI<br>OFF                                | OWNER FURNISHED / OWNER INSTALLED   | 5.77           | d mMEIRS_AL  | ()   | RUILDING SECTION CUT   |  |  |
|              | SOTTOM CHORD  | FIXT                                      | FOTURE  | CHDR  | OVERHEAD DOOR   | 1              | TDEAD  | 6  | 7  | 1  |  |
|              | BOARD   | FLASH                                     | FALSE JOINT   | CIPH<br>CIPNG                               | OPPOSITE HAND   | 14.0           | TREAD<br>TONGUE & GROOVE   |  | WALL SECTION / DETAIL CUT:   | Δ  | BULLETIN TAG   |
|              | BEVELED<br>BARRIER FREE   | FLG<br>FLR                                | FLASHING<br>FLANGE  | OPP   | OPENING<br>OPPOSITE   | 148            | TREAD & RISER  |  | - LE, DETAIL I ON SHEET A.101  |  | -  |
|              | BUILDING LINE   | FLR<br>FND                                | FLOOR   | CRG   | ORIGINAL  | TEAP           | TELEPHONE<br>TEMPERATURE   |  | - VIEW & IN DIRECTION OF TAIL  |  |  |
|              | BUEDING DATUM   | FOC<br>FR                                 | FOUNDATION<br>FACE OF COLUMN                                    | DSHA  | OCCLPATIONAL SAFETY & HEALTH ADMINISTRATION                                   | TEIR           | TERRAZZO   |  | )  | 777  | and the second   |
|              | ILOCKING .  | FR  | FIRE RATED  | No.   | - 25270 (227)   | THE            | THREAD<br>THICKNESS, THICK   |  | DETAIL OR PLAN ENLARGMENT.   | $\nabla$   | ADDENDUM TAG   |
|              | BEAM  | FRP                                       | FRE RETARDANT PLYWOOD FREE RETARDANT PANEL                      | PC  | PUSHBUITON<br>PRECE PRECES  | THRESH<br>TOC  | THESHOLD   |  | -I E. DETAIL 1 ON SHEET A.10:  |  |  |
|              | BOTTOM OF STEEL   | FRPFG<br>FRW                              | FIREPROPRING  | PC<br>PEND<br>PERF<br>PERM                  | PENGENT   | TCIL           | TOP OF CONCRETE (ELEVATION) TOLLET   |  |  | _  |  |
|              | BEDROOM   | I IT                                      | FIRE RETARDANT WOOD<br>FOOT, FEET                               | PERM  | PERFORATED<br>PERMANENT   | TOL RM         | TOILET ROOM  |  |  |  | WINDOW TAG   |
|              | BRACKET   | FIG.                                      | FOOTING   | Pl  | POINT OF INTERSECTION   | 10k<br>105     | TOP OF RAIL (ELEVATION) TOP OF STEEL (ELEVATION)   | ^  | COMBINED ROOM  |  |  |
|              | BRONZE<br>BASEMENT  | FURN<br>FUT                               | FURNITURE<br>FUTURE   | PLAM  | PROPERTY UNE<br>PLASTIC LAMINATE  | TOW            | TOP OF WALL (ELEVATION)  | A.III :  | ELEVATION SYMBOL   |  |  |
|              | BETWEEN   |   | TATOME.   | PLAS  | PLASTER   | TRAN           | TRANSOM<br>TREVISION   |  |  | Ę.   | CENTERUNE  |
|              | BULLETIN<br>BULT-UP ROOFING                                       | GA .                                      | GAUGE   | PLBG  | PLATE PLATED  | 1999           | TITICAL  | 2  |  |  |  |
|              |   | GALV<br>GCW                               | GALVANZED   | PLTC<br>PLYWD                               | PLASTIC LAMINATE TOLLET COMPARTMENTS  | 10.00          |  |  | ROOM ELEVATION SYMBOL  |  |  |
|              | CHANNEL   | GDR                                       | GLAZED CURTAIN WALL   | POWO.                                       | PLYWOOD PANEL   | UC             | UNDERCABINET   | (104)  | ROOM ELEVATION STMBOL  |  |  |
|              | CENTER TO CENTER  | GEN<br>GRC                                | GENERAL .   | PORC  | PORCELAIN   | UG             | UNDERGROUND UNIT HEATER  | -0-  |  |  |  |
|              | COMPRESSED AIR CABINET  | GFRP                                      | GROUND FAULT CIRCUIT INTERRUFTER GLASS-RIBER REINFORCED PLASTIC | PORT<br>POS                                 | PORTABLE  | UN             | UNLESS NOTED   | 1 1  |  |  |  |
|              | CANTILEVER  | GL  | GALVANZIED IRON   | PP.   | POSITION<br>PANE POINT  | UND            | LINLESS NOTED OTHERWISE  |  | REVISION CLOUD   |  |  |
|              | CATHETERIZE CATHETER, CATHETERIZATION<br>CATCH BASIN              | GR  | GLASS, GLAZING<br>GRADE   | PR<br>PREFAS                                | PAIR<br>PRE-ABRICATED   |                | URINAL   | 7 7  |  |  |  |
|              | CEMENT  | GR BM                                     | GRADE BEAM  | PREP  | PREPARATION   | VAC            | Tonas and the second   |  |  |  |  |
|              | CONTRACTOR FURNISHED / CONTRACTOR INSTALLED                       | GRAD                                      | GRADIENT<br>GRILE   | PRIN  | PROPERTY  | VENT           | VACUUM<br>VENTILATING, VENTILATION   |  |  |  |  |
|              | CONTRACTOR FURNISHED / OWNER INSTALLED                            | GRIG                                      | GRATING   | PSF   | PARTITION<br>POLINOS PER SQUARE FOOT  | VET            | VERTICAL<br>VESTIBULE  |  |  |  |  |
|              | COLD FORMED METAL FRAMING<br>CHECKERED                            | PAL                                       | GYPSUM  | PSI<br>PT                                   | POUNDS PER SQUARE INCH  | VF.            | VERIFY IN FIELD  |  | — DETAIL NUMBER  |  |  |
|              | CASTIRON  |   |   | PVC   | PAINT<br>POLYVINYL CHLORIDE   | VCT AMC        | VOLUME   |  |  |  |  |
|              | CROLE CIRCULAR, CIRCULATION                                       | H   | HIGH<br>HOSE BIBB   | PVG   | PAVING  | 1100           | VINYL WALL COVERING  |  | — DETAIL TITLE -   |  |  |
|              | CONTROL JOHN CENTERLINE   | HD  | HEAVY DUTY  | 1000  |   | W.C.           | TWALLER TO CONTROL   |  | - WHEN PRESENT, TITLE IDENTIFIES CO<br>- TITLES INDICATED ARE FOR CONV | HARACTERISTICS OF THE DETAIL   |  |
|              | CELING  | HDW                                       | HAROWARE  | RT.   | QUARRY TILE   | W              | WIDE FLANGE SHAPES<br>WIDE, WIDTH  |  | NECESSARILY IDENTIFY ALL LOCATI  | ONS WHERE THE DETAIL OCCURS  |  |
|              | CLOSET  | HM  | HEXAGON BOLLOW MITAL  |   |   | W/             | With   |  |  |  |  |
|              | CONCRETE MASO NET UNIT<br>CLEANOUT                                | HORK!                                     | HANDRAIL<br>HORIZONTAL HORIZONTALLY                             | R P   | RADIUS  | W/W            | WALL TO WALL   |  | Assistant and the second   |  |  |
|              | CARBON DIOXIDE  | HPT                                       | HIGH POINT  | RC  | RISER<br>ROOF CONDUCTOR   | WC<br>WD<br>WF | WATER CLOSET   | V  | pical Expan  | sion Assen   | ably   |
|              | COLUMN  | HSKPG                                     | HOUR  | RCPIR<br>RCVG                               | RECEPTOR  |                | WOOD<br>WASH FOUNTAIN  | (1)/   | predi Expai  | 310117 (33011  | IDIY   |
|              | COMPOSION<br>CONCRETE   | HSS                                       | HOLIGW STRUCTURAL SECTIONS                                      | RBC   | RECESSED RECESSED   | WC             | WALL GUARD   | 1 11/  | 2" = 1"-0"   |  |  |
|              | CONFERENCE  | HIG                                       | HEIGHT  | REF<br>REF                                  | REFERENCE   | Wt.            | WALL HYDRANT<br>WROUGHT RON  | A.2  | 04   |  |  |
|              | CONNECTION CONSTRUCTION   | HTR                                       | HEATING<br>HEATER   | REG   | REFRIGERATOR<br>REGISTER  | WC<br>WP       | WINDOW OPENING   | 1  |  | DETAL SCALE  |  |
|              | CONSTRUCTION JOINT  | HVAC                                      | HEATING, VENTLATION & AIR CONDITIONING                          | REINF<br>REGD<br>ACM                        | KENFORCE REMONSEN PRINSPORCING  | WPRG           | WORK POINT:<br>WATERPROOFING:  | 1  |  |  |  |
|              | CONTRIGION CONTINUE CONTRACTOR                                    | HW  | HOT WATER<br>HYDRANT  | ACSE.                                       | REQUIRED RESILIENT  | WR<br>WS<br>WI | HYATER RESIGNANT   |  | WHEN PROCENT DESCRIPTION MONTH   | ATION INCLUDING THE PARTY AND ADDRESS OF THE P |  |
|              | COORDINATE  | 6-3                                       |   | REV<br>REG                                  | REVISION  | WT             | WATERSTOP<br>WEIGHT  |  | WHEN PRESENT, REFERENCE INDIC<br>DETAIL DOCUME                         |  |  |
|              | CORRIDOR<br>CARPET (SHEET)  | ec n                                      | INTERNATIONAL BUILDING CODE                                     | RFC   | RODFING<br>ROOF OPENING   | Wf Wig         | WT-SHAPE MADE FROM W-SHAPE STEEL MEMBER WATENG   |  | - REFERENCES INDICATED ARE FOR<br>NECESSARLY INCLUDE ALL LOCAL         | CONVENENCE ONLY AND DO NO  | 01   |
|              | CARPET, CARPET TILE   | MWF.                                      | INSIDE DIAMETER, INSIDE DIVERSION<br>INSULATED METAL WALL PANEL | RH<br>RHR                                   | RIGHT HAND FEVERSE  | Wither         | WEATHERPROOF   |  | DESERVING I PROLUCE ALL LOCA   | NAME AND THE DETAIL OCCURS   |  |
|              | CARPET (WALL BASE)<br>CIRCUMFERENCE                               | IN.<br>INCL                               | INCH, INCHES  | RAL   | ROOM  | ACTION.        | WELDED WIRE REINFORCEMENT  |  |  |  |  |
|              | CRTICAL   | INFO                                      | NCLUDED, INCLUDING, INCLUSIVE INFORMATION                       | RND   | ROUND   | Yo             | The same of the sa | Market Market Annual An |  |  |  |
|              | COURSE COURSES.<br>CERAMIC TILE                                   | INSUL<br>INV                              | INSULATION, INSULATED   | RS  | ROUGH OFFRING<br>ROOF SLIMP   | 10             | CRAY   | V/////   | CK.  |  |  |
|              | CERAMIC TILE BASE   | NV E.                                     | NVERT   | RSF<br>RTF                                  | RESURNIT SHEET BLOODING   |                |  | (////)   | 000  | ALL METAL IN ELEVAT  | ON   |
|              | CENTER CENTRAL CENTERED   |   | INVERTIBLEVATION  | RING  | RESULENT THE FLOORING<br>RETAINING  |                | Tr.  |  |  |  |  |
|              | CONTROL   | JC  | JANITOR'S CLOSET  | RTU<br>RVS                                  | ROOF TOP UNIT   |                |  | -  |  |  |  |
|              | CUBIC<br>CABINET UNIT HEATED                                      | JT<br>JS                                  | JOINT   | 1000  | REVERSE   |                |  | XXX au   | OCK (CMIII)  | STREE  |  |
|              | DOLD WATER  | 2   | JUNCTION BOX  |   |   |                | GENERAL NOTES:   | DVVVI  |  | 1. SMALL SCALE   |  |
|              |   | KIT                                       | COLADA  |   |   |                | DIMENSIONS - TAKE FIELD MEASUREMENTS TO VERIFY EXISTIN   | iG   |  | 2. LARGE SCALE   |  |
|              | DATA OUTLET   | KP  | KITCHEN   |   |   |                | CONDITIONS, RECEIVE CERTIFIED OR ACCEPTED EQUIPMEN<br>DRAWINGS PRIOR TO PROCEEDING WITH AFFECTED WORK.   |  |  |  |  |
| 8            | DEOBEL<br>DOUBLE ACTING DOOR                                      | 1/3                                       | KICKPLATE<br>KEY SWITCH   |   |   |                | REVIEW DIMENSIONS SHOWN ON CONTRACT OF AMERICA   | * 77   | INCHETE  | ALUMINUM   |  |
|              | DEGREE  |   |   |   |   |                | SHOP DRAWINGS & SUBMITTALS, REPORT INCOMSISTENCIES ARCHITECT / ENGINEER AND RECEIVE OF ARRIPGATION DRIVE   | 700  |  | 1. LARGE ICALE   |  |
|              | DEMOUSH, DEMOLITION   | L.  | ANGLE   |   |   |                | PROUBEUING, VERFY SIZES OF OPENINGS, CHRRIC BASES  | E.I.V.   |  | - STATE OF THE STA |  |
|              | DEPARTMENT<br>DETAIL  | LAM                                       | LAMINATED   |   |   |                | RECESSES, ANCHOR SOLT SIZES & LOCATIONS  |  |  |  |  |
|              | DISNENG FOUNTAIN<br>DISNENG FOUNTAIN                              | LRS<br>LG                                 | LAVATORY<br>POUNDS  |   |   |                | 9 PARENSIONS FOR MARCHING GONETRUCTION ARE NOWINAL   | 400  | CAST, BLASTER  | WOOD NOCKHO  |  |
|              | DIAGONAL  | DH.                                       | LONG  |   |   |                | DO NOT INCLUDE SURFACE FINISHES  | L J OR   | SAND 🔷   | L CONTINUOUS   |  |
|              | DIFFUSER  | THE<br>THE                                | LEFT HAND<br>LEFT HAND REVERSE                                  |   |   |                | 3. LOCATE DOOR FRAMES A MINIMUM OF 4" OFF CIORNER TO   |  | 1  | 2 2. DISCONTINUOUS   |  |
|              | DIMENSION<br>DETANCE  | UCR                                       | LINEAR  |   |   |                | BACK OF FRAME UNLESS OTHERWISE INDICATED   | Firm Committee   | (T-1-7)  | 77111  |  |
|              | DEAD LOAD   | TH  | LOCKER LONG LEG HORIZONTAL                                      |   |   |                | A SEQUENCING OF CONSTRUCTION SHALL BE COORDINATED  | PETETIS EX   | TH SO HIL  | FINSHED WOOD   |  |
|              | DAMPPROOFING<br>DOWN  | TA  | LONG LEG VERTICAL   |   |   |                | WITH OWNER'S EQUIPMENT DELIVERY AND INSTALLATION.  | Entransis .  | L147   | MAN  |  |
|              | DOOR OPENING  | 47  | LOW POINT   |   |   |                | A STATE OF THE STA |  |  |  |  |
|              | DOOR<br>DOWNSPOUT   | LT WT                                     | UGHT<br>UGHTWEIGHT  |   |   |                |  | 521  | para para para para para para para para                                | OO T/ INSULATION   |  |
|              | DRAIN TILE  | TAM.                                      | LOUVER  |   |   |                |  | S S SR   | AVEL<br>WALL SCALE   | /Vt ( 1.860  |  |
|              | DISTRUED WATER  |   | how ten   |   |   |                |  |  | ARGE SCALE   | 2.100\$E OR 8  | IAIT.  |
|              | DRAWING   |   |   |   |   |                |  | 1 2 2.6  | and some   | 2 1 3. HOAMEDIN  |  |

krieger klatt
architecture Interiors consulting
1412 East Eleven Mile Road, Royal Oad, M 48063Minera 1988, 1430 F and 244, 1430 Web. Magnetical com-

Client:

Grewal Residence

Project:

New Construction 604 Hanna St. Birmingham, MI 48009

ISSUEd: 12-31-15 Preliminary Review 01-13-16 Client Review 01-21-16 Client Review 03-16-16 Final Review 04-29-16 Client Revisions 06-21-16 Construction Docs 06-28-16 Owner Revisions 07-19-16 ZBA Submittal
09-23-16 Structural Revisions





Do not scale drawings, Use calculated dimensions only, Verity existing conditions in field.

North Arrow:

Sheet Title:
Abbreviations & Symbols

Scale: None

Project Number: 15-248

Sheet Number:

G.002

#### 1,00 GENERAL

I. DI. ALL WORK, SHALL COMPLY WITH LOCAL. STATE AND REDERAL LAWS, CODES AND ORDINANCES (LATEST ADDPTED EDITION, INCLUDING ADDENDA AND ERRATA) AND SHALL BE DONE TO THE HIGHEST STANDARIG BY EXPERIENCED TRADESMEN.

LID ALL INCREEZED WOOD PRODUCTS ARE TO BE DESCAND BY THE MANUACCURE. AMANUACCURE OF DISJAMS SHOP DRAWNOOD FOR APPROVAL THE OFFICIAL PROPERTY OF A PRODUCT OF A PR

LET A PORTABLE TOLET SHALL BE PROVIDED BY THE CONTRACTOR FOR THE PROJECT,

LOW CONTRACTOR SHALL SE RESPONSIBLE FOR CAPPING FILLINGING FIGURES AND COTHER UTUDIES AS REQUIRED IN AREAS ASPECTED BY THEIR WORK.

LID THE GREEKL CONVENTIOR BAIL COORDENAT ALL DES AND EATER
FRANKEL DCA LICRA WITH EQUIRED VINCE AND CHARSE. ADJUST LOCA FRANKEL
NAMED RECOFF FRANKES IN ORDER FOR ACCUMANDIAN UPUR. TANG CHARLE
NALDWING FROMER CLEARANCES TO SHOR COMMEDIATE WHICH ANY LICRA WITH AN

1.12 THE CENERAL CONTRACTOR SHALL FIELD VERBY CIMENSONS FOR ALL NEW CONSTRUCTION FIAM THE WITO THE EXISTING CONSTRUCTION PRIOR TO COMMENCEMENT OR WORK, INCIDENT THE ARCHITECT OF ANY DISCREPANCIES

COMMINCEMENT DRIVINGE, NOTIFINE ACCIDITED ON MISSISSERANCIS.

1.3 THE OWNER WILL OCCUPY THE HOUSE DUBBNO CONSTRUCTION. THE
CORRESPONDED SHALL HAVE ACCIDED SO CREATA AREA OF THE HOUSE AND DURBNO
HOUSE TO BE COORDINATED SO CREATA AREA OF THE HOUSE AND DURBNO
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#### 2.00 SITEWORK

2.01 CALL MISS DIG (1-800-482-7171) AT LIPAST 24 HOURS PRICE TO COMMENCEMENT DE AINT STE WORK

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#### 3.00 CONCRETE

303 CONCRETE STRINGTH SHALL BE XXXX PS COMPRESSIVE STRENGTH AT 25 DAYS FOR A RODINGS. TINCERNED SLASS AND CONCRETE SLASS NOT DROSED TO THE WEATHER ALL CONCRETE SPECIAL STRENGTH OF SEX STRENG

SCIENT MATE ANCHORS - PROVIDE SIL, FILATE ANCHORS OF 12" ANCHOR BOUTS OF ERRHE AT 4.0" O.C. MAJ, AND 1-0" IN FACH DISECTION FROM CORREST AND SHOT. ANCHORS SHALL BY HEREITS CONFUNCE MY MARKECTURERS SPECIFICATIONS ANC COMPANY WITH ALL REGISTRATIONS OF INC 2009.

BOS CONTRACTOR SHALL COOPDINATE UTBITY <u>SEEMES, CHASES, OPENINGS</u>, ETC. WISH THOSE HIGH POLICE, TRACES CONCERNED.

30' EMPICIONES STEL. CONTRACTOR SHALL PROVIDE AND INSTALL ALL REPROCEING SHEET AND VIREIDS WAS PROVIDED AND SHARPED. ALL EMPICIONES AND SHEET AND VIREIDS WAS PROVIDED AND SHARPED. ALL EMPICIONES AND SHALL DEPOCRATE AND AND AND AND SHALL DEPOCRATE AND AND AND SHARPED. AND SHALL DEPOCRATE AND SHAPPED AND SHARPED AND SHAPPED AND SH

S.OB BUTTERON FOOTINGS - ALL INTEROR COLLIMN PACE AND CONTINUOUS FOOTI DEPTH TO ME AS SPECIFIC ON THE FOUNDATION PAIN. IF INSTALLED IN WINTER CONSTITUTES OF IN TEMPERATURES BIS OW PREEZING, PROVIDE MIN. AS DEPTH.

ADI MORTAR SHALL BE TYPE N'ABOVE GRADE AND TYPE M' BELOW GRADE. 4.02 ALL CONCRETE MASONRY UNITS SHALL CONFORM TO ASTIN C 90 AND SHALL HAVE A MINIMUM STRENGTH OF 2003 PSI

AGS ALL REINFORCING BARS, DOWELS, AND TIES SHALL COMPORAL WITH ASTM-615 GRADE 66 REQUIREMENTS AND SHALL BE TITLE ON RUST, DIRT AND MUD.

4.04 ALL WELDED WITE FABRIC SHALL CONFORM WITH ASSMITA-185 AND SE POSITIONED AT THE MID-HEIGHT OF SLASS, U.N.O.

ADJ. WELDING OF MENFORCING STEEL S NOT ALLOWED.

AGS EXPANSION JOINES FOR BRICK MASONRY SHALL BE PLACED AT 20. 439 CONTROL JOINTS FOR CONCRETE MASONRY SHALL BE FLACED AT SEC.C. MASONUM, LINIC.

4.10 BRICK AND STONE FACADE

ALL BRICK WORK SHALL HAVE PROPERTIES TO THE STRUCTURE IN ACCORDANCE WITH THE MOUT RECENT SPECIFICATIONS ON THE BRICK INSTITUTE OF AMERICA.

ATT ALL MASONET ARCHES ARE TO BE SELF-AUPPORTING UNLESS ENOWN OTHERWISE. ON THE CONSTRUCTION DOCUMENT. AND LOT ALL MASONET ARCHES TO THEEL STRUCTURE ABOVE TO PROTICE A TOWN OF THE ARCHES TO THE ARCHES ARCHES ARCHES TO THE ARCHES ARCH

4.13 THE MAJORBY CONTRACTOR IS SOLBLY RESPONSIBLE FOR THE DEBIGN AND REGALLATION OF ALL TEMPORARY SHORING AND FALSEWORK REQUIRED TO WITHSTAND WIRD LICED AND TEMPORARY CONSTRUCTION LOADS. ALL WORK PERFORMED HAND, BE HANCEDERANCE WITH ALL OF HA REQUIREMENTS.

A 13 ALL MASONITY RELOW GRADE IS TO BE GROUTED SOUR

4.14 AT EASE DE ALL MASCINET AND AS DIRECTION ON PLANS PROVIDE GRACE PERMA-BARRIER RIGHWALL FLASHING WITH WISHO ALL SE UILL LINGUIL DARIO SECUN, PROVIDE FAS SICHE ERBANGE IN REPLACE SERVIN WISHOUSE OF ORDER TO LIEU WIELD YEER FROM MOTIFAC DISCOPPING LEVE ARE HELLINGUICH GLASHINE OVER TRUSHWALL MASHING IN ORDER TO CERCIA E SHAGE AFFECT.

NOTE: IF A FULLY ADHEARED PRODUCT IS NOT USED, PROVIDE TERMINATION BAR AT TOP OF THRU-WALL FLASHING.

5.01 STRUCTURAL STEEL DESIGN, FABRICATION AND EXECTION SHALL RE IN ACCORDANCE WITH THE LATEST ASC "SPECIFICATION FOR STRUCTURAL STEEL

5.01 STRUCTURAL STEEL SHALL CONFORM TO ASSM ASS CIR ASSM AS72, GRADE 50 STEEL TURING ASTM AS00, GRADE 8: PPE ASTM AS0, GRADE 8

S.O.) WELDED CONNECTIONS ARE TO BE MADE IN ACCORDANCE WITH, AND BY WELDERS GHALIFIED LINDER, THE AWS CODE, USING F70XX ELECTRODES.

S.Os. THE DESCRIP CONFIGURATION AND EXECTION SAFETY OF ALL TERECTURAL STEEL CONFICTIONS ARE THE REPORTMENT TO BE THE STEEL FRANCE OF THE STEEL STEEL SAFE AND ACCEPTANCE OF THE STEEL STEEL STEEL SAFE ON THE STEEL STEEL STEEL SAFE ON THE STEEL STEE

SDB THE SHIEL FRAME IS NOT SELF-SUPPORTING FIRE FIRE ABIC CODE OF STANDAR PRACTICE. SECTIONS 7/F3 AND 7/F5. EXECTION, SPACING, SHORRING, ETC. SHALL CONFIGER TO SECTION 97. THIS SOULD THE CONTRACTIONS RESPONSIBILITY TO DESIGNABLE SECTION PROCEDURES. MATERIAS AND SEQUENCE.

LIGHT GAUGE FRAMING:

#### 6.00 WOODS AND PLASTICS

ADS WATERALS FOR FRANKING SHALL BE SOUTHERN FINE, HEM FIR. DOUGLAS FR OR HEMICOCK WITH MINIMUM ALLOWASE STRESSES OF FRIESDED PE E-1 200,000 FM KEN DRIED.

ADD STUDS SHALL ME SHYSTUP (WYPA) OR METER GRADE U.H.D.: FUH DRED AT 19%. MARKNUM ADDITINE CLUMIUN:

A DO LAMBARTO VENETR LUNGER SUCH AS MICRO LAMESHALL HAVE THE POLICYING STRUCTURES FROM PROPERTIES FOR 2000 OC. As THE PER.

S DA LAMINATED WOOD BEAMS ROUS-LAND, SHALL HAVE THE FOLLOWING STRICTURAL PROFESSION FIRE FOLLOWING STRICTURAL

BUS ANY WOOD PLATE INSTALLET ON CONCRETE OR MASONITY BLOCK SHALL BE INISSURE TREATED. AD INSTALL ALL STRUCTURAL RAMING, BRIDGING, FIRE STOPPING, ETC. PURSUANT TO PROCEDURES OUTLINED BY THE CURRENT MRC 2009.

6.03 NOTALL SUFFICENCED FIRE LIDICKING IF ALL WALL CARRIES AND ALL AREAS NEGURED BY CURRENT BUILDING CODE.

4.00 ROOH AND WALL SHEATHNOTO BE APA RATED 1/7" R.YWOOD (OR EGHAL), WALLS SHALL HAVE TIVER PAPER OR EGIAL: CARE SHALL BE TAKEN THAT TIVER IS TUN OUT OVER ANY WALL PLADISM.

ILL FILDOR SHEATHING, UNLESS STREEMISE NOTICE, SHALL SE ARA RATED TAY BICH FIRE TA G PETWOOD, SECURE ALL FLOOD SHEATHING TO JOSES DE 185555 WITH SO SHE SHARE HABIL AND CONSTRUCTION ADMINE. REPAILED WITH SCREW PRIOR TO RECENT FLOORING BOTALLATION.

ELIZ ROTALI SLOCKNIGANCIONI FOR ALL DOOR BLINNITES TOWNS SAKS, IZCOS, DIELVIS SHEEF EUPODRO, INCUMEN NAME, INTERECTINO SICONET DOOR TOULT PAYON DICUSES. RAMINOS, FANG. CARRIES, PARTIONES, GRAS SAKS. ETC. COORDINATE, OCAZION OF ALL TIMMS WITH ARCEITES STORIES (LODGE HATHERS ARE RES).

& LE AT EACH WALL OPENING AND ONE HALF THE ICITAL NUMBER OF STUDE DEPLACED NO EACH SIDE OF THE OPENING (NOT HEIGHT) AND ALICY CRIPTIZ STUDY SELOW INC.) EACHS

6.16 ALL LUNGER: AT OR BELOW CRADE SHALL SE PRESSURE TREATED TO A MINIMUM OF C.60 POUNDS PER CUBIC FOOT RETERIOR WITH ANNIONINGAL COPPER ARISINATE (ACA), OR CHROMATED COPPER ARSINATE (ACA), OR APPROVED EQUAL TREATMENT.

A 19 ALL COMMEDIONS NOT KNID ON THE DRAWINGS SHALL BE MADE WITH HET ARECUMED SITES HANGER SEED FOR THE CARREST GOAD AND MEMBER SITE IF A DOUBLE 2 K TO MUST HAVE A SIMSON UP TO 2 HANGER (OR ROLLUL, ETC.)

CARE 5 ID RE FACEN TO SCRAF ALL GALVANIED HANGES FROM PRESSURE TREATED LITHERE CONSULT ARCHITECT FISHING OCCURREN

AZI ALL EXTEROX NAJUFASTERIR TO BE STARKESS STEEL OR HOT DIFFED GALVANIZED.

6.25 DROP SUBFLOOR SHEATING 3/4" AT ALL AREAS TO RECIEVE CERAMIC/STONE FLOORS, ISTALL BLOCKING PER FLOOR MANUF, \$29CS

8.26 PROVIDE SIMPSON HZSX RAFTER THE AT ALL CONVENTIONALLY FRAMED. AREAS, INSTALL THE AT RAFTER FOP PLATE CONNECTION IN STRICT COMPLIANCE WITH MAINS. SPECS.

6:27 INSTALL DOUBLE STUD! OR EQUAL SOLD SLOCKING AT ALL AREAS WHERE BRICK ANGLES ARE TO BE INCHOKED TO THE STRUCTURE. DOUBLE STUDS TO BE MAK. 16" O.C.

6.28 KITCHEN CABINET AND INTERIOR BUILT IN DESIGNER / INSTALLER IS TO FELL VERSY ALL DIMENSIONS FROR TO IMITIAL DESIGN AND OR FARRICATION OF CABINETS NOTIFY THE AROHITECT OF ANY DISCREPENCIES.

#### 7.00 THERMAL & MOSTURE PROTECTION

7.03 (SUILABON): COMPLY WITH MUEC 2009 MODE, ENERGY CODE, SHALL NOUDE, BUT NOT LIMITED TO:

CHMATE ZONE: SA
FENESTRATION U-FACTOR: 0.35
SKYLIGHT U-FACTOR: 0.60
SENES U-FACTOR: 8-49 | FENESTATION US-ACTOR: 0.35
SVILUGH US-ACTOR: 0.60
CELING UF-ACTOR: 0.67
Z6 WALLS: 8-21
MASS WALL: 8-121/17
R-OOR: 8-30
SSAT, WALL: 8-10/13\*\*
SLAB: 8-10/27 DEEP
CRAWLSPACE: 8-10

\* SECOND RYALUE APPLES WHEN MORE THAN HALF OF THE INDULATION & ON THE INTERIOR.

\*\* FASTS RYALUE APPLES TO CONTINUOUS INSILATION, THE SECOND TO FRAMING CAVITY INSULATION: EITHER MEETS REQUIREMENTS.

ALL E-VALUES ARE TAKEN FROM TABLE 102.1.1 FROM MUTO 200

NOTE: PROVIDE OPTION TO INSULATE ALL INTERIOR WALLS.

NOTE: VERFY EXISTING ROOF IS VEHICLATED PROPERLY. PROVIDE VEHI HIGHES IN FRAMING AS REQUIRED IN DROVE TO MAINTAIN ARCHUM INICILLUSCUM, VEHICL CONDITION IN FELD.

7.06 FLASHING: ALL TIEP FLASHING WHIEFE ROOPS MEET WALLS SHALL BE 26 GA. M BLACK, ALLUMINUM, FLASH ALL ASEAS AS SHOWN OR AS YEQUIRED BY THE NICHEST STANDARESS OF PRACTICE. PROVIDE ALLUMINUM CAP FLASHING WITH HEXAMED ED OVER ALL WINDOW HEADS. WHITE:

7,07 PROVIDE MINRAUM OF 4 FROST-PREE HOSE BIES AT LOCATIONS PER OWNERS DIRECTION, DR AS MORCATED ON DRAWINGS.

7.08 INSTALL ROOFING MATERIAL (AS SPECIFIED) PER MARIJACTURER'S RECOMMENDATIONS:

7.09 ICE AND WATER SHELD RESTALL A CONTINUOUS ICE AND WATER SHELD TO ALL EAVES PRICK TO FRMAL ROOF COVER. EXTEND ICE AND WATER SHELD A MIRWARM OF SHEET REYOND THE INTERIOR SURFACE OF THE PERMICHER WALLS.

INSTALL ICE AND WATER SHELD ARK 12" UP SACH SIDE OF VALLEYS AND ADJACENT WALL SURFACES.

7,10 INGALIATE ALL DRAIN PIPING BETWEEN FIRST AND SECOND FLOORS FOR SOUND INSULATION.

8.00 DOORS AND WINDOWS

8.61 WHERE REQUIRED BY CODE, GLAZING SHALL COMPLY WITH SAFETY/REMPLISING GUIDELINES.

1. ALEXWING DOOR RO. TO BE 2 INCHES WIDE:
2. CCO-RINN ROUGH REGIRTS FOR THYCAL DOORS AND WINDOWS WITH FRIEND
LOCOMOUND REGIRTS FOR THYCAL DOORS AND WINDOWS AND DOORS TO
REACHES MINIMALM 2/4 INCH CLEARANCE OVER WINDOWS AND DOORS TO
REACHES.
REACHES WINDOWS ALL REACHES ABOVE ALL EXTERIOR OPERACIOS. WIREOWS.

A, BOTAL WHITE ALUNNING PASSIFED ABOVE AS STATEMENT OF STATEMENT OF STATEMENT AND ASSESSING, NON-STANDARS, S. BOTALLE EXTENSE WOOD SIDNO AMERICAL WIGH NEW-WOOD FR. MARKEACTURERS SECTIONARY/GATIONS, SSI WINCOM WINDOWS FROM AMERICAL WINDOWS FROM AMERICAL WINCOM WINDOWS FROM A STATEMENT AND A FROM WIND GRACE WINCOM WINCOM THE DO PS SHAMM AND TAPE OWNER ANALONS FROM WINDOWS FOR A STATEMENT AND A STA

BOX ALL DOORS, WINDOWS AND HEADERS ARE TO UNE UP IN THE PINEH.
COORDINATE ALL HEIGHTS IN FIELD.

V.O. CARPET SHALL BE BY OWNER.

PAIS SEALANTS INSTALL EXTEROR CALAZING SETWERN ALL CRACKS, OPERIN HOUSS, JOHNS, AND RETWERN ALL DISSINALAR MATERIALS, ECT., TO PREVIOUS PRINTERACHO OF AM, MOSTILLER, AND WARTER OT THE MUDDING PRISENCE, OC CAULK VINTI, JAMB LIMESS TO WINDOW FRANC CAUSE, ALL NEW INTERIOR I MATERIAL TO BE FANCED AND FUTH ALL HAN HOUSE. AT ALL LOCADION WHITEED MATERIAL TO BE FANCED AND STATE AND STANDARD TO PREVIOUS OF APPLICATIONS, FROM DEST, THE TOWN ALL CREATEST, CREATERISES APPLICATIONS, FROM DEST, CHARGE STANDARD AND STREET, APPLICATIONS, FROM DEST, CREATERING AND STREET, AND STR

15.01 ALL WORKMANSHE AND MATERIALS SHALL COMPLY WITH CURRENT STANDARDS AND SPECIFICATIONS OR CURRENT LOCAL CODE AND THE CURRENT MICHIGAN MECHANICAL CODE. FRE STOP PER MRC REGULATIONS

15.02 DESIGN SYSTEM TO MAINTAIN NODE AR TEMPERATURE OF 72 DEGREES F. WIRD THE CHIDDLE TRUFFERATURE 6-10 DEGREES F. AND TO MAINTAIN 6.5 DEGREES F. WIREN OUTLIDE ARE TEMPERATURE 6.5 DEGREES F. THE THERMOSTAT. SHALL BE MITI

15.D4 SUPPLY DUCTS ARE TO BE INSULATED PER MUEC 2009 SECTION 403

15.05 ALL DUCTS, AIR HANDLER, FLITER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED. JOINT SEAMS SHALL COMLY WITH SECTION MIRKOLA.) OF MRC 2009

15.06 SYSTEM PIPING CAPICABLE OF CARRYING FLUDS ABOVE 105°F OR BELOW \$1°F SHALL BE INSULATED PER CODE

#### 15.05 PLUMBING:

AL ALL PLUMBING WORK DE SKITULIDE NA SEE CLASS, DERA NASH WORKMANLEE MANNEK COMMERCE NA LISEALE FORONCE AND SERVAL ALL PRIVILEE WHILE BUY, ALL PANDE AND SERVAL ALL PRIVILEE WHILE BUY, ALL PANDE CASE WHITE BUY, FLATES COPENIO, A RECURBER SHOCK AND CASE WHITE FOR PRIVILEE PRIVILEE AND CASE WHITE PRIVILEE AND PRIVILEE AND CASE WHITE AND THE SERVAL AND CASE AND SERVAL AND

BL WORK SD COMPLY WITH ALL APPLICABLE CODE AND LOCAL DEDNANCES.

C), WHERE PIPES CONFACT WOOD OR OTHER BULLING MATERIALS, SOLATE AND PROTECT FROM WOOD WITH RUSSIER, CORE, OR INSULATION GASCETS TO PREVENT EXPANSION AND COMPACTION NOSES.

DI, YHONDE CLEANOUT IN WASTE AND SOIL DIVER AS SHOWN AND ACCORDING TO LOCAL CODE EXQUIREMENTS.
ANOVE BASEMENT ROOK TO BE NOT HER, HEAVY DUTY CAST WORL WASTE AND SOIL PHYSICS EXCHOLOGIC OR SE SCHEDULE 40 PCC. F). NOT AND COLD WATER SUPPLY PIPES TO BE TYPE 1: COLPER ABOVE GRADE. TYPE N: COPPER SELOW GRADE.

CIT. ALL PRINTED IN INCONCEASED EXCEPT IN UNIVERSED AREAS.

HIL NO WATER SUPPLY FRING TO BE INSTALLED IN OUTSIDE WALLS.

I), ALL WATER SUPPLY PRING, BOTH HOT AND COSD, TO BE COMPLETELY INSULATED WITH TARMOFULLY PIPE INSULATION OR EQUIVALENT, COMPLETE WITH CORNER PITTINGS. K), PROVIDE DRAIN VALVE AT LOWEST POINT OF SYSTEM AND SHUT-OFF WALVE ON COLD SUPPLY TO HOS WATER TANK.

MJ. PROVIDE SHIFTOR VALVES LOCATED AT ALL PATURES IN CARRIET RELOW, OR IN AND INCOMPRISON PLACE.

#### 16.00 ELECTRICAL

IAUZ PROVIDE WIRED EMOKE DETECTORS AT ALL SLEEPING AREAS, MUD ROOM AREA AND AT BASEMENT STARK.

IADELIGHTING SHALL BE AS EXDICATED ON THE DRAWINGS. TAGS HIRE-STOP ALL WORK PER CURRENT MRC REGURSMENTS.

TADA PROVIDE EXTERIOR WATERPROOF OUTLETS WHERE SHOWN ON THE PLAN. TADT CONTRACTOR BULL SECURE ALL RECESSARY PERMITS AND INSPECTIONS. TAUR ELECTICAL CONTRACTOR BHALL VERFIT THAI LOADS DO NOT EXCEED THE BETAKEE RAINING AND THAI ADEQUINE CARACTIVE EXISTS FOR THE SHEDING I. MARDAMLE BOWNTO OF LICENTEEP FIRE DAY OF SHEAR SHEARER. 2. MARDIMUN SKI, 10 CONVESTON RECEIPTACIES FIRE 20 AND REPARK. 3. CHIER ELECTION PRITE CLIRICATE AND AND MALE SHEARER.

TALOP PROVIDE MANAGER DO AMP SERVICE. PROVIDE ADDITIONAL PAYELS AS REQUIRED FOR POOL EQUIPMENT OR ADDITIONAL REQUIREMENTS BY OWNER. 1.6 (2) EJECTRICAL CONTRACTOR SHALL PROVIDE ADDRICMAL CAPACITY AND SERVICE AS MAY BE REQUIRED.

IA 14 NO ALIMINUM WHE IN-HOUSE EXCEPT SERVICE ENTRANCE.

16.15 USE CORROSON WHEREOR ON ALL ALUMINUM CONNECTIONS.

14.17 DEMO, RELOCATE, REFEED ALL ESCURICAL SWITCHES, RECEPTACLES, WIRING, ETC. AS ALL DEMOLSHED WAILS, RELOCATED WAILS, ETC.

16.18 COORDINATE ALL POWER REQUIREMENTS AND LIGHTING LATOUT WITH KITCHEN DESIGN DRAWINGS PROVIDED BY OTHERS. ALL POWER AND LIGHTING SHALL COMPLY WITH CILERENT RECTRICAL CODES

Verity existing conditions in field. North Arrow:

Sheet Title:

Project Specifications

Scale:

As Noted

Project Number:

15-248

Sheet Number:

krieger klatt ARCHITECTS architecture interiors consulting

Client:

Grewal Residence

1412 East Eleven Mile Road, Royal Oak, MI 48067 Prone: 248.414.9270 Fac 248.414.9275 Web: elegentoti.com

Project:

New Construction 604 Hanna St. Birmingham, MI 48009

#### Issued:

| 12-31-15 | Preliminary Review |
|----------|--------------------|
| 01-13-16 | Client Review      |
| 01-21-16 | Client Review      |
| 03-16-16 | Final Review       |
| 04-29-16 | Client Revisions   |
| 06-21-16 | Construction Docs. |
| 06-28-16 | Owner Revisions    |
| 07-19-16 | ZBA Submittal      |

⚠ 09-23-16 Structural Revisions



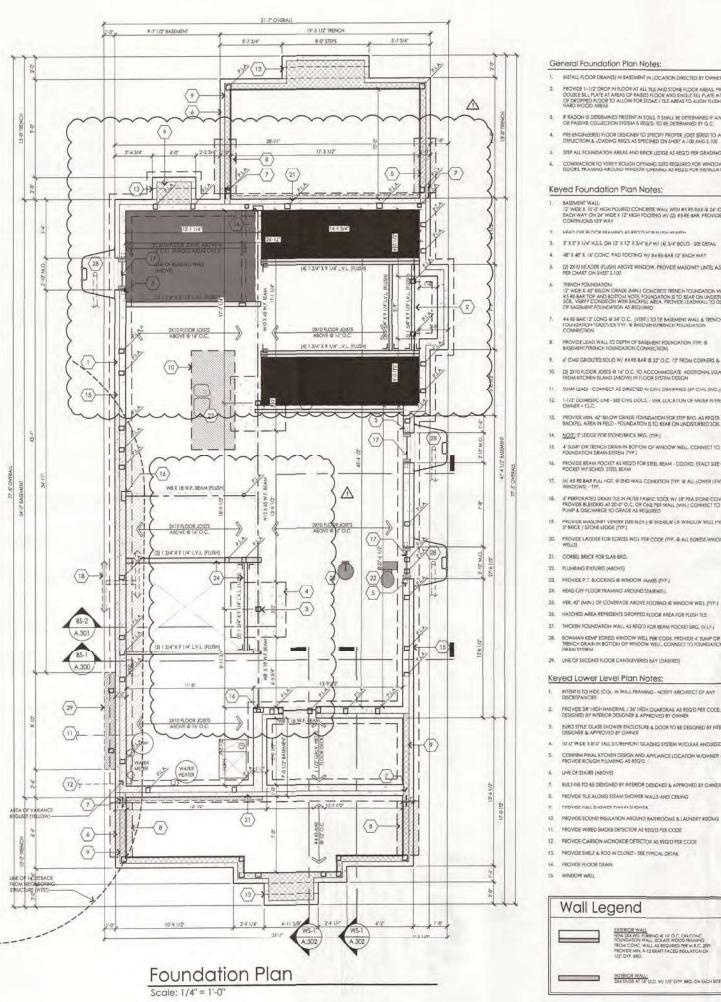
Seal:

Note:



Do not scale drawings. Use

calculated dimensions only



General Foundation Plan Notes:

1. INSTALL FLOOR DRAIN(S) IN BASEMENT IN LOCATION DIRECTED BY OWNER PROVIDE 1-1/2" DROP IN FLOOR AT ALL THE AND STONE FLOOR AREAS, PROVIDE DOUBLE SILL PLATE AT AREAS OF RASED FLOOR AND SINGLE SILL PLATE AT AREAS OF DROPED FLOOR TO ALLOW FOR STONE / THE AREAS TO ALION RUSSH WITH HARD WOOD AREAS.

F RADON IS DETERMINED PRISENT IN SOILS, IT SHALL BE DETERMINED IF AIN ACTIVE OR PASSIVE COLLECTION SYSTEM IS REQUIL TO BE DETERMINED BY G.C.

5. STEP ALL FOUNDATION AREAS AND BRICK LEDGE AS REQ'D PER GRADING PLAN

CONTRACTOR TO VEREY ROUGH OPENING SIZES REQUERED FOR WINDOWS /
DOORS, FRANKING AROUND WINDOW OPENING AS REQUIRED FOR INSTALLATION

Keyed Foundation Plan Notes:

BASEMENT WALL.
12 WIDEX 10'-0' HIGH POURED CONCRETE WALL WITH #5 REBAR & 24" (C.D.,
EACH WAY FOR VEW WIDEX 12" HIGH FOOTING W/ (2) #5 REBAR, PROVIDE 2" X-4"
CONTINUOUS SEY WAY.

2. HEAD DIFF BLOCK FRAMING AS PROTEINS WHEN HEADS

3. 5 X 5 X 1/4" HS.S. ON 12" X 12" X 3/4" 8,P W/ (4) 3/4" BOLTS - SEE DETAIL

4 48" X 48" X 16" CONC FAD FOOTING W/ #4 RE-BAR 12" EACH WAY

[2] ZX10 HEADER (FLUSH) ABOVE WINDOW, PROVIDE MASONRY LINTEL AS REQ'D PER CHART ON SHEET 5, 100

TRENCH FOUNDATION:
12" WIDE X-40" SELOW GRADE (MIN.) CONCRETE TRENCH FOUNDATION W// (2)
42" WIDE X-40" SELOW GRADE (MIN.) CONCRETE TRENCH FOUNDATION W// (2)
43" SE-BAAR TOO AND BOTTOM NOTE: FOUNDATION IS TO BEAR ON UNDETURSED
50" WIRFF CONDITION WHITE PACEFAL AREA. "ROWIDE LEADWALL TO DEPTH
OF ASSISSANT FOUNDATION AS REQUIRED."

7. WARE BAR 12" LONG & 24" O.C. (VEHT.) TO THE BASEMENT WALL & TRENCH FOUNDATION TOUCHER TITL. & BASEMENT/RENCH FOUNDATION CONNECTION

9. If CAU GROUTED SOUD W/ MARE BAR & 32" O.C. 12" FROM CORNERS & BNDS

10. (2) 2K 10 FLOOR JOISTS @ 16" O.C. TO ACCOMMODATE ADDITIONAL LOAD FROM KRICHEN BLAND (ABOVE) IN FLOOR SYSTEM DESIGN

11. SUMP LEAD - CONNECT AS DIRECTED IN CIVIL DRAWINGS (BY CIVIL ENG.)

12. 1-1/2" DOMESTIC LINE - SEE CIVIL DOCS, - VEN, LOCATION OF MEIER IN FREID W/ DWNER - G.C.

14. NOTE S' LEDGE FOR STONE/BRICK BRG. [TYR.]

4' SUMP OR TRENCH DRAIN IN BOTTOM OF WINDOW WELL CONNECT TO FOUNDATION DRAIN SYSTEM (TYP.)

PROVIDE BEAM POCKET AS REQ'D FOR STEEL BEAM - COORD, EXACT SIZE OF POCKET WY SCHED, STEEL BEAM

17. (4) #5 RE-BAR FULL HGT, @ BHD WALL CONDITION (TYP. @ ALL LOWER LEVEL

 PROVIDE MASONRY VENEER ISSEEDEN, IN INTERIOR OF WINDOW WELL PROVIDE SPARICK / STONE LEGGE [179.] PROVIDE LADDER FOR EGRESS WELL PER CODE (TYP. @ ALL EGRESS WINDOW WELLS)

21. CORBEL BRICK FOR SLAB BRG.

23. PROVIDE P.T. BLOCKING IS WINDOW JAMES (TYP.)

24. HEAD-OFF FLOOR FRAMING AROUND STAIRWELL

25. VER, 42" (MJN.) OF COVERAGE ABOVE FOOTING IS WINDOW WELL [TYP.)

HATCHED AREA REPRESENTS DROPPED FLOOR AREA FOR FLUSH TILE

27. THICKEN FOUNDATION WALL AS REQ'D FOR BEAM POCKET BRG. (V.LF.)

SOWMAN CEMP EGRESS WINDOW WELL PER COOL PROVIDE 4 SUMP OR TRENCH DRIAIN IN BOTTOM OF WINDOW WELL CONNECT TO FOUNDATION DRIAIN SYSTEM.

29. LINE OF SECOND FLOOR CANTILEVERED BAY (DASHED)

Keyed Lower Level Plan Notes:

INTENTIS TO HIDE (OOL IN WALL FRAMING - NOTIFY ARCHITECT OF ANY DISCREPANCIES

PROVIDE 3# HIGH HANDRAIL / 36" HIGH GUARDRAIL AS REQ'ID PER CODE. TO BE DESIGNED BY INTERIOR DESIGNER & APPROVED 9" OWNER.

EURO STYLE GLASS SHOWER ENCLOSURE & DOOR TO BE DESIGNED BY INTERIOR DESIGNER & APPROVED BY DIWNER

4. 10-0" WIDE X 8-0" TALL STOREHXON I GLAZING SYSTEM W/CLEAR ANODIZED FIN

6. LINE OF STAIRS (ABOVE)

7. BUILT-INS TO BE DESIGNED BY INTERIOR DESIGNER & APPROVED BY OWNER B. PROVIDE FILE ALONG STEAM SHOWER WALLS AND CEILING

10. PROVIDE SOUND INGULATION AROUND BATHROOMS & LAUNDRY ROOMS

TI. PROVIDE WIRED SMOKE DETECTOR AS REQYD PER CODE

12. PROVIDE CARBON MONOXIDE DETECTOR AS REQUIRER CODE

14 PROVIDE REOOR DRAIN

15. WINDOW WELL

Wall Legend



1. PROVIDE 1-1/2" DROP IN FLOOR AT ALL THE AND STONE FLOOR AREAS, PROVIDE DOUBLE SILL PLATE AT AREAS OF RASED FLOOR AND SINGLE SILL PLATE AT AREAS OF DROPPED FLOOR TO ALLOW FOR STONE? THE AREAS TO ALIGN FLUSH WITH HARD WOOD AREAS.

Dropped Floor Notes:

Door & Header Notes:

I. ALL DIXION SIZES ARE LABELED IN FEET AND INCHES: 3080 = 3'-0' X 8'-0' HIGH

HAN PROPOSED FINISHED SLAB, PROVIDE COMPACTE LL IN 12" LIFTS TO 95% PROCTOR

NOTE: VERSY EXACT UTILITY LOCATIONS IN FIELD - CONFIRM W/

SOIL BEARING NOTE.
IT IS ASSUMED THAT THE SOIL BEARING CAPACITY IS 3000 PSF.
IT IT IS ODCOVERED THAT THE SOIL IS LESS THAN SULU PSF.
NOTEY THE ARCHITECT.

Bedroom

Kitchen

(14)

Mech./Sto.

WATER

Lower Level Floor Plan

Scale: 1/4" = 1'-0"

Gym

Living Room

Storage

1 (15)

krieger klatt

ARCHITECIS architecture interiors consulting 1412 East Eleven Mile Road, Rayal Calc, Mi 4806 Phone: 248.414,9270 Fax: 248.414,9275 Wats: integeridat.cox

Client:

Grewal Residence

Project:

New Construction 604 Hanna St. Birmingham, MI 48009

Issued:

12-31-15 Preliminary Review 01-13-16 Client Review 01-21-16 Client Review 03-16-16 Final Review 04-29-16 Client Revision 06-21-16 Construction Docs. 06-28-16 Owner Revisions 07-19-16 ZBA Submittal ↑ 09-23-16 Structural Revision



Seal:

(15)

15 [



Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:



Sheet Title:

Foundation & Lower Level Floor Plans

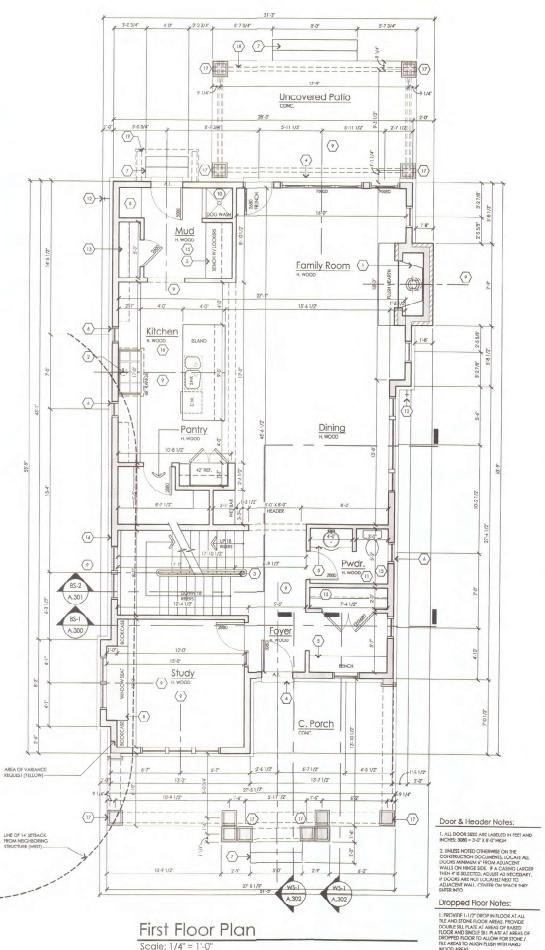
Scale:

As Noted

Project Number:

15-248

Sheet Number:





- . FIREPLACE: 'LENNOX HEARTH PRODUCTS' LRR-43, PROVIDE CODE REQ'S CIFARANCES TO COMBUSTIBLE MATERIALS INSTALL IN STRICT COMPLIANCE TO MANUF, SPEC'S
- VENT RANGE EXHAUST HOOD TO EXTERIOR AS REQ'D PER HOOD MANUF. SPEC'S
- PROVIDE 34" HIGH HANDRAIL / 34" HIGH GLIARDRAIL AS REQ'D PER CODE
- 4. 4" LIMESTONE SILL (TYP.)
- 5. CUSTOM BUILT-INS. DESIGN TO BE VERIFIED BY OWNER
- 6. WINDOWS TO BE TEMPERED AS REQ'D PER CODE
- 7. PROVIDE STEPS TO GRADE AS REQ'D PER GRADING PLA
- 8. LINE OF CHUNG EFFECT (ABOVE)
- 9. LINE OF CENTERING INTENT (TYP.)
- 10. KEEP ALL SUPPLY PLUMBING OUT OF EXTERIOR WALL TO AVOID POTENTIAL FREEZING ISSUES [TYP.]
- PROVIDE SOUND ATTENUATING INSULATION AT INTERIOR BATHROOM & LAUNDRY, ROOM WALL THAT ADJOIN OTHER WALLS AS DIRECTED BY OWNER
- PROVIDE EXTERIOR FROST FREE HOSE BIBS @ LOCATIONS DIRECTED BY OWNER
- 13. PROVIDE SHELF & ROD IN CLOSET SEE TYPICAL DETAIL
- 14. FURR OUT WALL AS REQUIRED TO BE FLUSH WITH BASEMENT WALL &
- 15. PROVIDE FULL SHOWER PAN IN MUD ROOM, POWDER ROOMS, LAUNDRY
- FINAL KITCHEN CABINET LAYOUT TO BE CONFIRMED WITH KITCHEN DESIGNER
- 17. 12" X 12" BOXED-IN COLUMN (TYP.)
- 18. SEE STRUCTURAL SHEETS FOR PERGOLA FRAMING
- 19. STRUCTURAL BRACKET (SEE STRUCTURAL SHEETS)

#### General Floor Plan Notes:

- ALL EXTERIOR WALLS TO BE 2X6 WOOD FRAMING U.N.O.
- PROVIDE EXTERIOR FROST FREE HOSE BIBS AT LCCATIONS DIRECTED BY OWNER
- PROVIDE SOUND ATTENUATION INSULATION AT ALL INTERIOR BATHROC & LAUNDRY ROOM WALLS THAT ADJOIN OTHER WALLS AS DIRECTED BY OWNER
- PROVIDE SOUD BLOCKING IN WALLS FOR ALL WALL MOUNTED FIEMS NOT LIMITED TO THE POLLOW:
   1.RANGE HOOD 2. CLOSET RODS 3. DOOR FIOPS 4. TOWEL BARS 5. TOILET TISSUE DISPENSER 6. MISC. WALL MOINTED ACCESSORIES 7. MIRRORS
- ALL WOOD AND WOOD BASED PRODUCTS WITHIN 8" OF GRADE MUST BI PRESSURE TREATED AS REQUIRED PER SECTION 8317 OF 2012 M.B.C.
- PROVIDE INTERIOR AND/OR EXTERIOR JAMB ETENSIONS AS REQ'D FOR ALL WINDOWS
- 7. PROVIDE ATTIC ACCESS(S) AS REQUIRED PER M.R.C. R807.1

#### Keyed Second Floor Plan Notes:

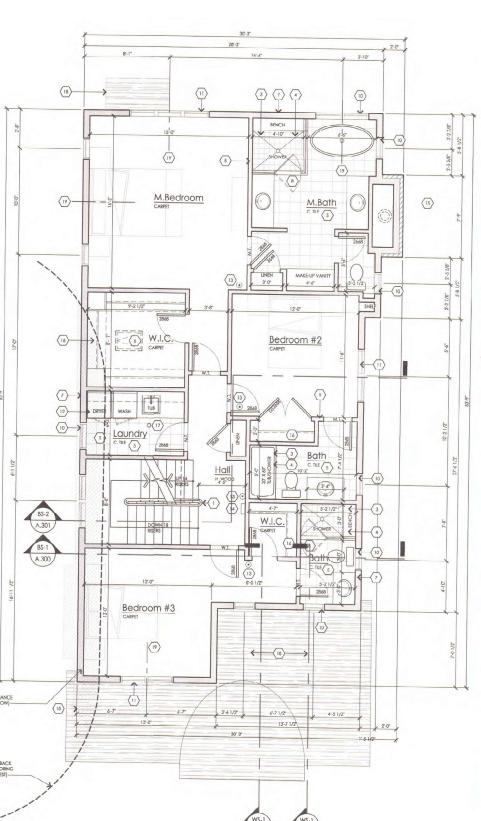
- PROVIDE 34" HIGH HANDRAIL / 36" HIGH GUARDZAIL AS REQ'D PER CODE
- PROVIDE FULL SHOWER PAN UNDERNEATH WASHE? / DRYER W/ FLOOR DRAIN - RUN UP ADJ. WALLS 12"
- 3. PROVIDE TILE ALONG TUB/SHOWER WALLS AND CELING
- 4. PROVIDE FULL SHOWER PAN IN SHOWER
- 5. PROVIDE SOUND INSULATION AROUND BATHROOMS & LAUNDRY ROOMS.
- PROVIDE 22" X 30" (MIN.) ATTIC ACCESS VER. 30" CLEAR SPACE ABOV OPENING. PROVIDE HEADER IF REQ'D IN FRAMING ABOVE OPENING
- KEEP ALL SUPPLY PLUMBING OUT OF EXTERIOR WALL TO AVOID POTENTIAL FREEZING ISSUE
- EURO STYLE GLASS SHOWER ENCLOSURE & DCOR TO BE DESIGNED BY INTERIOR DESIGNER
- 9. LINE OF CEILING EFFECT (SEE SECTIONS)
- 10. WINDOWS TO BE TEMPERED AS REQ'D PER CCDE
- WINDOWS TO BE EGRESS AS REQ'D PER CODE (HOLDOPERATIONAL PORTION OF WINDOWS 24" A.F.F. MIN.)
- 12. VENT DRYER OUT EXTERIOR WALL AS REQ'D
- VENI DIKTER OUT EXTERIOR WALL AS REQ'D

  13. PROVIDE WIRED SMOKE DETECTOR AS REQ'D PER CODE
- PROVIDE CARBON MONOXIDE DETECTOR AS REQUIPER CODE
- FIREPLAGE FLUE HOOM BELOW MAINTAIN PROPER CLEARANCES AS REQ'D PER MANUF, SPECS.
- 16. PROVIDE SHELF & ROD IN CLOSET SEE TYPICAL DETAIL
- 17. PROVIDE FLOOR DRAIN
- 18. LINE OF ROOF BELOW
- 19. LINE OF CENTERING INTENT

#### Second Floor Plan General Notes:

- ALL EXTERIOR WALLS TO BE 2X6 WOOD FRAMING U.V.O.
- PROVIDE SOUND ATTENUATION INSULATION AT ALL INTERIOR BATHROOM & LAUNDRY ROOM WALLS THAT ADJOIN OTHER WAILS AS DIRECTED BY OWNER
- PROVIDE SOLID BLOCKING IN WALLS FORALL WAL. MOUNTED ITEMS NOT LIMITED TO THE FOLICION:
   I. CLOSE FOODS 2 DOOR STOPS 3 TOWER BARS 5. TOILET TISSUE DISPENSER 6. MISC. WALL MOUNTED ACCESSORIE 7. MIRRORS
- PROVIDE INTERIOR AND/OR EXTERIOR JAMB EXTENSIONS AS REQ'D FOR ALL WINDOWS
- 5. PROVIDE ATTIC ACCESS(S) AS REQUIREE PER M.R.C. R807.1





Second Floor Plan

Scale: 1/4" = 1'-0"

## krieger klatt

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#### Client:

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#### Project:

New Construction 604 Hanna St. Birmingham, MI 48009

#### Issued:

| 12-31-15 | Preliminary Review   |
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| 06-28-16 | Owner Revisions      |
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| 09-23-16 | Structural Revisions |
|          |                      |



#### Seal:



#### Note

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

#### North Arrow:



Sheet Title:

First & Second Floor Plans

Scale:

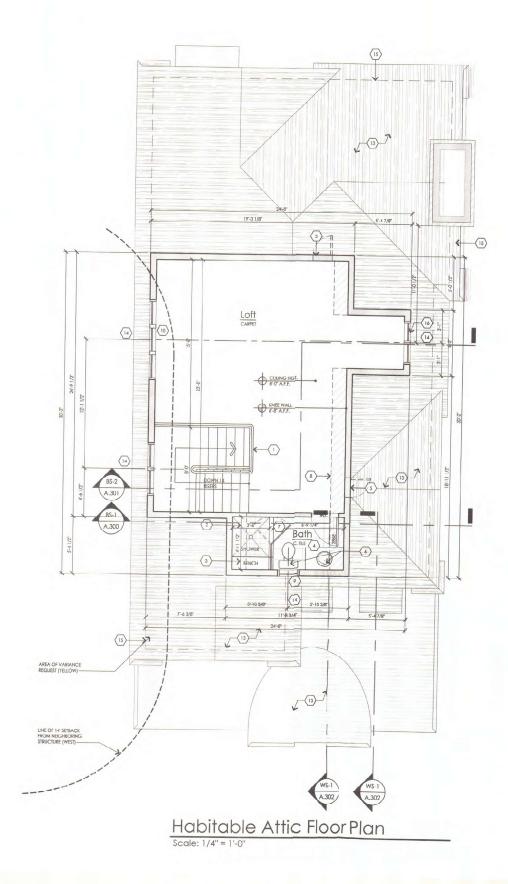
As Noted

Project Number:

15-248

Sheet Number:

A.101\*



## Roof Ventilation Calculation:

1 SQ. FT. OF ATTIC VENT PER 300 SQ. FT. OF ATTIC HLOOR SPACE (OVER ALL PERIMETER OF ROOF)

TOTAL ATTIC SPACE: 1,383 SQ. FT

1,383 SQ. FT. / 300 SQ. FT. = 4 A1 SQ. FT

4.61 SQ. FT. / 2 (INTAKE/EXHAUST) = 2.31 SQ. FT.

2.31 SQ, FT, X 144 IN. = 332.6 SQ, IN, (NET FREE AREA REQUIRED)

RIDGE VENT; SHINGLE VENT 2 FROM AIR VENT EQUALS 18" NFA PER LINEAR FOOT 332.6 SQ. IN. / 18 SQ. IN. (RIDGE VENT) = 18.48 LINEAR FEET REG'D.

RIDGE VENT REQUIRED: 18.48 LINEAR FEET RIDGE VENT PROVIDED: 48.81 LINEAR FEFT

#### General Roof Plan Notes:

- SEE CONSTRUCTION SPECIFICATIONS FOR FLASHING NOTES
- 2. FLASH ALL ROOF PENETRATIONS AS REQUIRED AND PER CODE
- LOCATE ALL PLUMBING STACKS AT REAR ROOF PLANE. VERIFY THAT NO VENTS ARE VISIBLE FROM THE STREET
- PROVIDE PRE FIN. MTL. DRIP EDGE @ ALL ROOF EAVES AND RAKES
- PROVIDE PRE-FIN. HALF ROUND ALUM. GUTTERS & DOWNSPOUTS (MECH. PASTENED) COORD. DOWNSPOUT LOCATIONS W/ OWNER & CIVIL ENG. IN FIFE D

#### Keyed Roof Plan Notes:



- RIDGE VENT "AIR VENT-SHINGLE VENT II" INSTALL PER MANUF. SPECS.
- 3. TYPICAL RAKE PROJECTION U.N.O.
- 4. TYPICAL OVERHANG U.N.O.
- EXTEND GRACE ICE AND WATER SHIELD UP DORMER SIDE WALL MIN. 18" (TYP.)
- 6. LINE OF PERGOLA FRAMING BELOW
- /. PRE-FAB. CHIMNEY FLUE
- 8. COPPER CHIMNEY CAP FLASHING (SOLDER ALL SEAMS)
- 9. LINE OF EXTERIOR WALLS BELOW
- ASPHALT SHINGLES ON 15# ROOF FELT ON 1/2" SHEATHING ON ROOF FRAMING (SEE STRUCTURAL SHEETS)
- FLAT SEAM COPPER ROOF ON GRACE ULTRA MEMBRANF ON 1/2" PLYWOOD SHEATHING ON 2X, RAFTERS (SEE STRUCTURAL SHEETS) WP PER TH. METAL EDGE TRIM—INSTALL IN STRICT COMPULANCE PER MANUF, INSTALLATION INSTRUCTIONS
- PROVIDE CRACE ULTRA MEMBRANE (OK EQUAL) AT ALL PORCH & DORMER ROOFS U.N.O.
- 13. LINE OF COLUMNS BELOW (TYP.)
- 14. COVERED ENTRY BELOW

#### Habitable Attic Floor Plan Notes:



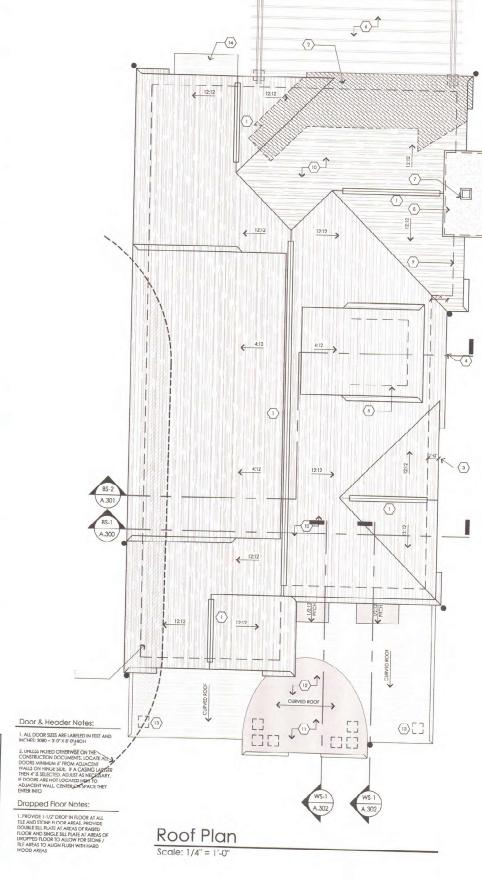
- 1. PROVIDE 34" HIGH HANDRAIL / 36" HIGH GUARDRAIL AS REQ'D PER CODE
- PROVIDE TILE ALONG TUB/SHOWER WALLS AND CEILING
- PROVIDE FULL SHOWER PAN IN SHOWER [TYP.] 4. PROVIDE SOUND INSULATION AROUND BATHROOMS
- PROVIDE 22" X 30" (MIN.) ATTIC ACCESS VER. 30" CLEAR SPACE ABOVE OPENING, PROVIDE HEADER IF REQTO IN FRAMING ABOVE OPENING
- KEEP ALL SUPPLY PLUMBING OUT OF EXTERIOR WALL TO AVOID POTENTIAL FREEZING ISSUE
- EURO STYLE GLASS SHOWER ENCLOSURE & DOOR TO BE DESIGNED BY INTERIOR DESIGNER
- LINE OF CEILING EFFECT (SEE SECTIONS)
- 9. WINDOWS TO BE TEMPERED AS REQ'D PER CODE
- WINDOWS TO BE EGRESS AS REQ'D PER CODE (HOLD OPERATONAL PORTION OF WINDOWS 24" A.F.F. MIN.)
- 11. PROVIDE WIRED SMOKE DETECTOR AS REQ'D PER CODE
- 12. PROVIDE CARBON MONOXIDE DETECTOR AS REQ'D PER CODE
- 13. LINE OF ROOF BELOW
- 14. LINE OF CENTERING INTENT
- 15. LINE OF SECOND FLOOR WALLS (BELOW)
- 16. INTENT IS TO CENTER DORMER ON WINDOWS BELOW V.I.F.)

## Habitable Attic Floor Plan General Notes:

- ALL EXTERIOR WALLS TO BE 2X6 WOOD FRAMING U.NO.
- PROVIDE SOUND ATTENUATION INSULATION AT ALL NTERIOR BATHROO & LAUNDRY ROOM WALLS THAT ADJOIN OTHER WAILS AS DIRECTED BY OWNER
- PROVIDE SOLID BLOCKING IN WALLS FOR ALL WALL MOUNTED ITEMS NOT LUMITED TO THE POLLOWING:

  1. CLOSET ROOS 2. DOOR STOPS 3. TOWE BAS 5. TOLET TISSUE DISPENSER 6. MISC. WALL MOUNTED ACCESSORIS 7. MIRRORS
- PROVIDE INTERIOR AND/OR EXTERIOR JAMB EXTENSIONS AS REQ'D FOR ALL WINDOWS
- PROVIDE ATTIC ACCESS(S) AS REQUIRED PER M.R.C. R807.1





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Client:

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#### Project:

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#### Issued:

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|   | 07-19-16 | ZBA Submittal       |
| A | 09-23-14 | Structural Devision |



#### Seal:



Do not scale drawings. Use calculated dimensions only.

Verify existing conditions in field.

## North Arrow:



Sheet Title:

Attic & Roof Plans

Scale:

As Noted

Project Number: 15-248

Sheet Number:

| Ext    | erior Materio            | al Schedule                                     | X  |  |
|--------|--------------------------|---|--|--|
| SYMBOL | DESCRIPTION              | LOCATION  | MANUFACTURER   | FINISH / COLOR   |
| M-1    | STONE YENEER -1          | AS NOTED ON ELEVATIONS                          | TO BE DETERMINED   | IO BE DETERMINED   |
| M-2    | SIDING -1                | AS NOTED ON ELEVATIONS                          | JAMES HARDIE   | TO BE DETERMINED   |
| M-3    | LIMESTONE                | AS NOTED ON ELEVATIONS                          | TO BE DETERMINED   | LIMESTONE  |
| M-4    | ASPHALT SHINGLES         | AS NOTED ON ELEVATIONS                          | 'CERTAINTEED' 25 YEAR DIMENSIONAL<br>SHINGLE - CONFIRM W/ J.L.H. | TO BE DETERMINED   |
| M-5    | STANDING SEAM METAL ROOF | AS NOTED ON ELEVATIONS                          | TO BE DETERMINED   | TO BE SELECTED BY OWNER                                  |
| M-6    | FLAT SEAM METAL ROOF     | AS NOTED ON ELEVATIONS                          | TO BE DETERMINED   | TO BE SELECTED BY OWNER                                  |
| M-7    | AZEK TRIM                | LOCATED NEAR GRADE OR AS<br>NOTED ON ELEVATIONS | AZEK   | TO BE SELECTED BY OWNER                                  |
| м8     | 1X_TRIM                  | AS NOTED ON ELEVATIONS                          |  | PREPRIMED FRONT / BACK - PAINT<br>COLOR TO BE DETERMINED |

| 1. | TYP. EAVE (SEE DETAIL FOR ADDITIONAL INFORMATION)                       | 10. | DECORATIVE GABLE END VENT (TYP.)   | 19. | 1X6 WINDOW TRIM ON 1/2" PACK-OUT (TY             |
|----|---|-----|--|-----|--|
| 2. | LIMESTONE SILL (SEE DETAIL FOR ADDITIONAL INFORMATION) - PITCH TO DRAIN | 11. | DECORATIVE WINDOW HEAD - SEE DETAIL FOR ADDITIONAL INFORMATION   | 20. | 2X_ WINDOW SILL ON 1X8 SUB-SILL ON 1/2<br>(TYP.) |
| 3. | PRE-FAB. CHIMNEY FLUE - TO BE SELECTED BY OWNER (TYP.)                  | 12. | LINE OF BASEMENT WALL - SEE SHEET A.100  | 21. | JAMES HARDIE PANEL (OR EQUAL) W/1" P.            |
|    |   | 13. | LINE OF LEAD WALL TO DEPTH OF BASEMENT FOUND   |     | ON 1/2" PACK-OUT                                 |
| 4. | PRE-FIN. COPPER CHIMNEY CAP W/ DRIP EDGE - PITCH<br>TO DRAIN (TYP.)     |     | SEE SHEET A.100  | 22. | RIDGE VENT - INSTALL PER MANUF, SPECS            |
| 5. | DECORATIVE WOOD BRACKETS (TYP.)   | 14. | FRONT ENTRY DOOR TO BE SELECTED BY OWNER & INSTALLED BY G.C.   | 23. | TYPICAL RAKE PROJECTION U.N.O.                   |
| 6. | STRUCTURAL WOOD BRACKET TO BE SELECTED BY                               | 15  | WINDOW BELOW GRADE WITHIN WINDOW WELL  | 24. | WINDOW WELL WITHIN ROOF FRAMING                  |
|    | OWNER   | 15. | (DASHED) - SEE SHEET A.100 - A.101 FOR MORE<br>INFORMATION   | 25. | LINE OF CHIMNEY (BEYOND)                         |
| 7. | PERGOLA FRAMING (SEE STRUCTURAL SHEETS)                                 |     |  | 26. | 1X2 TRIM ON 1X8 RAKE BRD. ON 1X6 SUB-R           |
|    | STEPS TO GRADE AS REQ'D. (VER. W/CIVIL DOCS.) -                         | 16. | 12" X 12" BOXED-OUT COLUMN (TYP.)  | 07  |  |
|    | PROVIDE FOUNDATION AS REQ'D.  | 17. | LINE OF TRENCH FOUND. (BELOW)  | 27. | TYP. BAND BRD. (SEE DETAIL)                      |
|    | BUILDING LINE (BEYOND)  | 18. | 1X10 CORNER BRD. ON 1/2" PACK-OUT (TYP.)   | 28. | 1X4 AZEK TRIM BRD. ON 1/2" PACK-OUT              |
|    |   |     | The state of the s | 29. | LIMESTONE ACCENT (TYP.)                          |



Project:

Client:

New Construction 604 Hanna St. Birmingham, MI 48009

Grewal Residence

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12-31-15 Preliminary Review
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Seal:



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North Arrow:

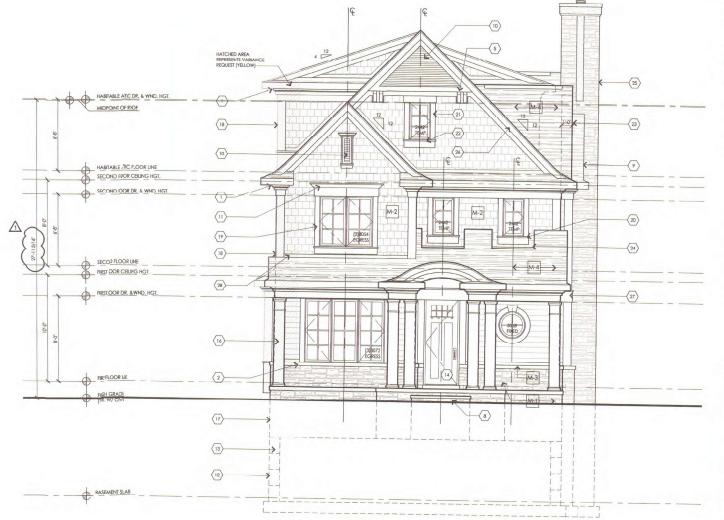
Sheet Title:

Exterior Elevation

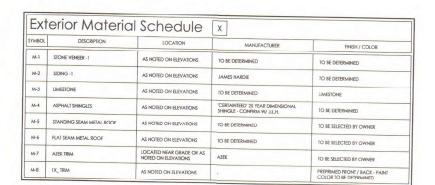
Scale: 1/4" = 1'-0"

Project Number: 15-248

Sheet Number:



Scale: 1/4" = 1'-0"





(3)-



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#### Project:

**New Construction** 604 Hanna St. Birmingham, MI 48009

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|   |          |                      |  |





Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

Sheet Number:

A.201\*



Right Side Elevation
Scale: 1/4" = 1'-0"

| CXI    | erior Materio            | al schedule                                     | X   |  |
|--------|--------------------------|---|---|--|
| SYMBOL | DESCRIPTION              | LOCATION  | MANUFACTURER  | FINISH / COLOR   |
| M-1    | STONE VENEER -1          | AS NOTED ON ELEVATIONS                          | TO BE DETERMINED  | TO BE DETERMINED   |
| M-2    | SIDING -1                | AS NOTED ON ELEVATIONS                          | JAMES HARDIE  | TO BE DETERMINED   |
| M-3    | LIMESTONE                | AS NOTED ON ELEVATIONS                          | TO BE DETERMINED  | LIMESTONE  |
| M-4    | ASPHALT SHINGLES         | AS NOTED ON ELEVATIONS                          | 'CERTAINTEED' 25 YEAR DIMENSIONAL'<br>SHINGLE - CONFIRM W/ J.L.H. | TO BE DETERMINED   |
| M-5    | STANDING SEAM METAL ROOF | AS NOTED ON ELEVATIONS                          | TO BE DETERMINED  | TO BE SELECTED BY OWNER                                  |
| M-6    | FLAT SEAM METAL ROOF     | AS NOTED ON FLEVATIONS                          | TO BE DETERMINED  | TO BE SELECTED BY OWNER                                  |
| M-7    | AZEK TRIM                | LOCATED NEAR GRADE OR AS<br>NOTED ON ELEVATIONS | AZEK  | TO BE SELECTED BY OWNER                                  |
| M-8    | 1X_TRIM                  | AS NOTED ON ELEVATIONS                          |   | PREPRIMED FRONT / BACK - PAINT<br>COLOR TO BE DETERMINED |

|    | TYP. EAVE (SEE DETAIL FOR ADDITIONAL INFORMATION)                          | 10. | DECORATIVE CABLE END VENT (TYP.)                               | 19. | 1X6 WINDOW TRIM ON 1/2" PACK-OUT [TYP.]                   |
|----|--|-----|--|-----|---|
| 2. | LIMESTONE SILL (SEE DETAIL FOR ADDITIONAL INFORMATION) - PITCH TO DRAIN    | n.  | DECORATIVE WINDOW HEAD - SEE DETAIL FOR ADDITIONAL INFORMATION | 20. | 2X_WINDOW SILL ON 1X8 SUB-SILL ON 1/2" PACK-OUT<br>(TYP.) |
| 3. | PRE-FAB. CHIMNEY FLUE - TO BE SELECTED BY OWNER (TYP.)                     | 12. | LINE OF BASEMENT WALL - SEE SHEET A.100                        | 21. | JAMES HARDIE PANEL (OR EQUAL) W/1" PANEL MLDG             |
| 1  | DDE DIN CODDED CHILANDI O LE COLOR   | 13. | LINE OF LEAD WALL TO DEPTH OF BASEMENT FOUND, -                |     | ON 1/Z PACK-OUT   |
|    | PRE-FIN. COPPER CHIMNEY CAP W/ DRIP EDGE - PITCH<br>TO DRAIN (TYP.)        |     | SEE SHEET A.100  | 22. | RIDGE VENT - INSTALL PER MANUF, SPECS                     |
|    | DECORATIVE WOOD BRACKETS (TYP.)  | 14. | FRONT ENTRY DOOR TO BE SELECTED BY OWNER & INSTALLED BY G.C.   | 23. | TYPICAL RAKE PROJECTION U.N.O.                            |
|    | STRUCTURAL WOOD BRACKET TO BE SELECTED BY                                  | 15. | WINDOW BELOW GRADE WITHIN WINDOW WELL                          | 24. | WINDOW WELL WITHIN ROOF FRAMING                           |
|    | OWNER PERGOLA FRAMING (SEE STRUCTURAL SHEETS)                              |     | (DASHED) - SEE SHEET A.100 - A.101 FOR MORE<br>INFORMATION     | 25. | LINE OF CHIMNEY (BEYOND)                                  |
|    |  | 16. | 12" X 12" BOXED OUT COLUMN (TYP.)                              | 26. | 1X2 TRIM ON 1X8 RAKE BRD. ON 1X6 SUB-RAKE (TYP.)          |
|    | STEPS TO GRADE AS REQ'D. (VER. W/CIVIL DOCS.) PROVIDE FOUNDATION AS REQ'D. | 17. | LINE OF TRENCH FOUND. (BFLOW)                                  | 27. | TYP. BAND BRD. (SEE DETAIL)                               |
|    | BUILDING LINE (BEYOND)   | 18. | 1X10 CORNER BRD. ON 1/2" PACK-OUT (TYP.)                       | 28. | 1X4 AZEK TRIM BRD. ON 1/2" PACK-OUT                       |
|    |  |     | The Continue   | 29. | LIMESTONE ACCENT (TYP.)                                   |



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#### Project:

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|   | 133000   | •                    |
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| 1 | 09-23-16 | Structural Revisions |



#### Seal:



Note:

Do not scale drawings. Use calculated dimensions only.
Verify existing conditions in field.

North Arrow:

## Sheet Title:

Exterior Elevation

Scale: 1/4" = 1'-0"

## Project Number:

15-248

Sheet Number:

A.202 \*



Rear Elevation
Scale: 1/4" = 1'-0"

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Client:

604 Hanna St.

Grewal Residence

New Construction

Birmingham, MI 48009

Exterior Material Schedule x FINISH / COLOR DESCRIPTION M-1 STONE VENEER -TO BE DETERMINED AS NOTED ON ELEVATIONS TO BE DETERMINED TO BE DETERMINED AS NOTED ON ELEVATIONS M-2 SIDING -1 LIMESTONE M-3 LIMESTONE AS NOTED ON ELEVATIONS TO BE DETERMINED 'CERTAINTEED' 25 YEAR DIMENS SHINGLE - CONFIRM W/ J.L.H. TO BE DETERMINED AS NOTED ON ELEVATIONS M-4 ASPHALT SHINGLES TO BE SELECTED BY OWNER AS NOTED ON ELEVATIONS TO BE DETERMINED TO BE SELECTED BY OWNER M 6 FLAT SEAM METAL ROOF LOCATED NEAR GRADE OR AS NOTED ON ELEVATIONS TO BE SELECTED BY OWNER M-7 AZEK TRIM AZEK PREPRIMED FRONT / BACK - PAINT COLOR TO BE DETERMINED M-8 1X\_TRIM AS NOTED ON ELEVATIONS

| TYP. EAVE (SEE DETAIL FOR ADDITIONAL INFORMATION)                       | 10. | DECORATIVE GABLE E                      |
|---|-----|---|
| LIMESTONE SILL (SEE DETAIL FOR ADDITIONAL INFORMATION) - PITCH TO DRAIN | 11. | DECORATIVE WINDOW<br>ADDITIONAL INFORMA |
| PRE-FAB. CHIMNEY FLUE - TO BE SELECTED BY OWNER (TYP.)                  | 12. | LINE OF BASEMENT WA                     |
| PRE-FIN. COPPER CHIMNEY CAP W/ DRIP EDGE - PITCH                        | 13. | LINE OF LEAD WALL TO<br>SEE SHEET A.100 |

FRONT ENTRY DOOR TO BE SELECTED BY OWNER & INSTALLED BY G.C. STRUCTURAL WOOD BRACKET TO BE SELECTED BY OWNER

Keyed Elevation Notes:

END VENT (TYP.) OW HEAD SEE DETAIL FOR MATION

WALL - SEE SHEET A. 100 TO DEPTH OF BASEMENT FOUND.

WINDOW BELOW GRADE WITHIN WINDOW WE (DASHED) - SEE SHEET A.100 - A.101 FOR MORE INFORMATION 16. 12" X 12" BOXED-OUT COLUMN (TYP.)

17. LINE OF TRENCH FOUND. (BELOW) 9. BUILDING LINE (BEYOND) 18. 1X10 CORNER BRD. ON 1/2" PACK-OUT (TYP. 19. 1X6 WINDOW TRIM ON 1/2" PACK-OUT (TYP.) 20. 2X\_ WINDOW SILL ON 1X8 SUB-SILL ON 1/2" PACK-OUT Project:

JAMES HARDIE PANEL (OR EQUAL) W/1" PANEL MLDG. ON 1/2" PACK-OUT

23. TYPICAL RAKE PROJECTION U.N.O. 24. WINDOW WELL WITHIN ROOF FRAMING

25. LINE OF CHIMNEY (BEYOND) 26. 1X2 TRIM ON 1X8 RAKE BRD. ON 1X6 SUB-RAKE (TYP.)

> 27. TYP. BAND BRD. (SEE DETAIL) 28. 1X4 AZEK TRIM BRD. ON 1/2" PACK-OU 29. LIMESTONE ACCENT (TYP.)

Issued:

12-31-15 Preliminary Review 01-13-16 Client Review 01-21-16 Client Review 03-16-16 Final Review 04-29-16 Client Revisions 06-21-16 Construction Docs 06-28-16 Owner Revisions 07-19-16 ZBA Submittal 09-23-16 Structural Revision



#### Seal:



## Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:

Sheet Title:

Exterior Elevation

Scale:

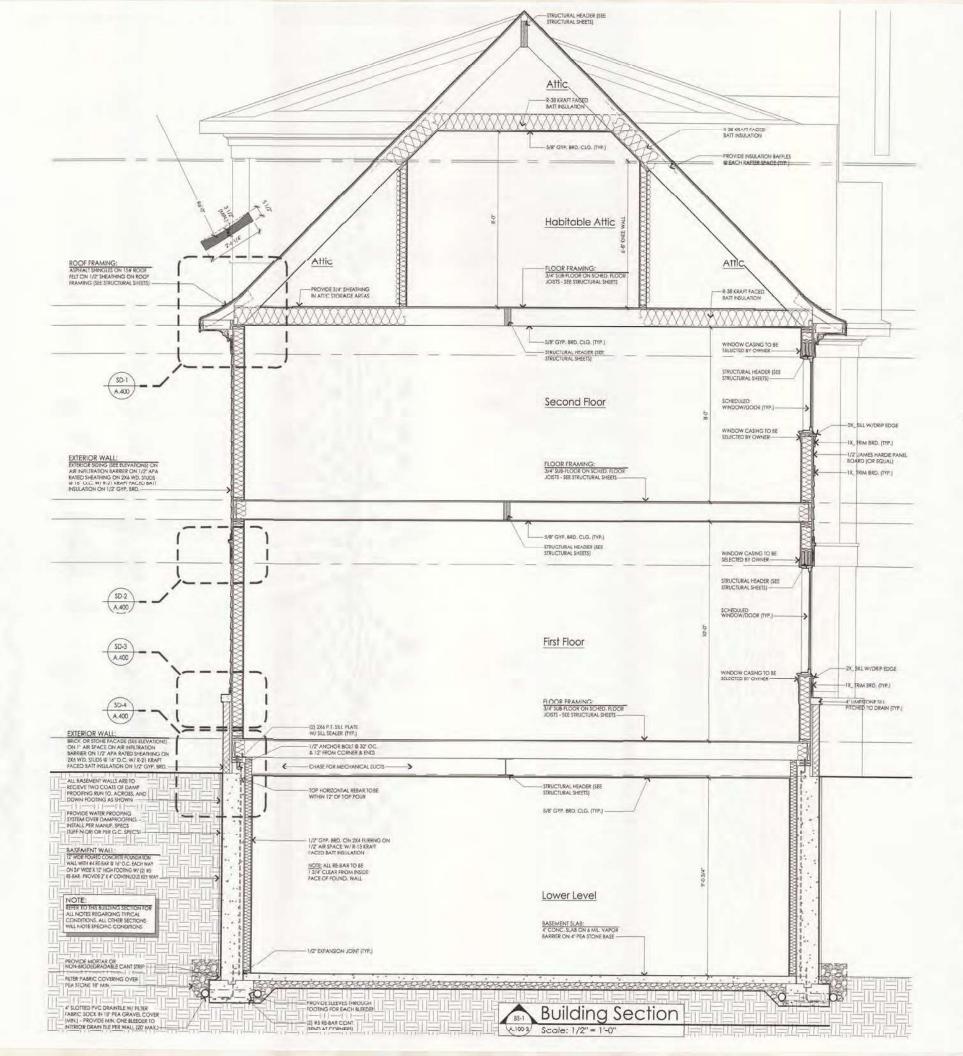
1/4" = 1'-0"

Project Number:

A.203



Left Side Elevation
Scale: 1/4" = 1'-0"



## krieger klatt

ARCHITECTS
architecture interiors consulting
1412 East Eleven Mile Road, Royal Dak, MI 48067
Prone: 248.4149270 Hac 248.4149275 Web: Regentations

Client:

Grewal Residence

#### Project:

New Construction 604 Hanna St. Birmingham, MI 48009

#### Issued:

|   | 12-31-15 | Preliminary Review   |
|---|----------|----------------------|
|   | 01-13-16 | Client Review        |
|   | 01-21-16 | Client Review        |
|   | 03-16-16 | Final Review         |
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| A | 09-23-16 | Structural Revisions |
|   |          |                      |

THE PLAN TRUST TOWNSHIP ALL THE BURGING STATE AND THE PLAN TRUST TOWNSHIP ALL THE PLAN TRUST TOWNSHIP AND SECTION OF THE PLAN TRUST TOWN TRUST TOWNSHIP AND SECTION OF THE PLAN TRUST TOWN TR

#### Seal:



#### Note:

Do not scale drawings. Use calculated dimensions only, Verify existing conditions in field.

North Arrow:

Sheet Title:

**Building Section** 

Scale:

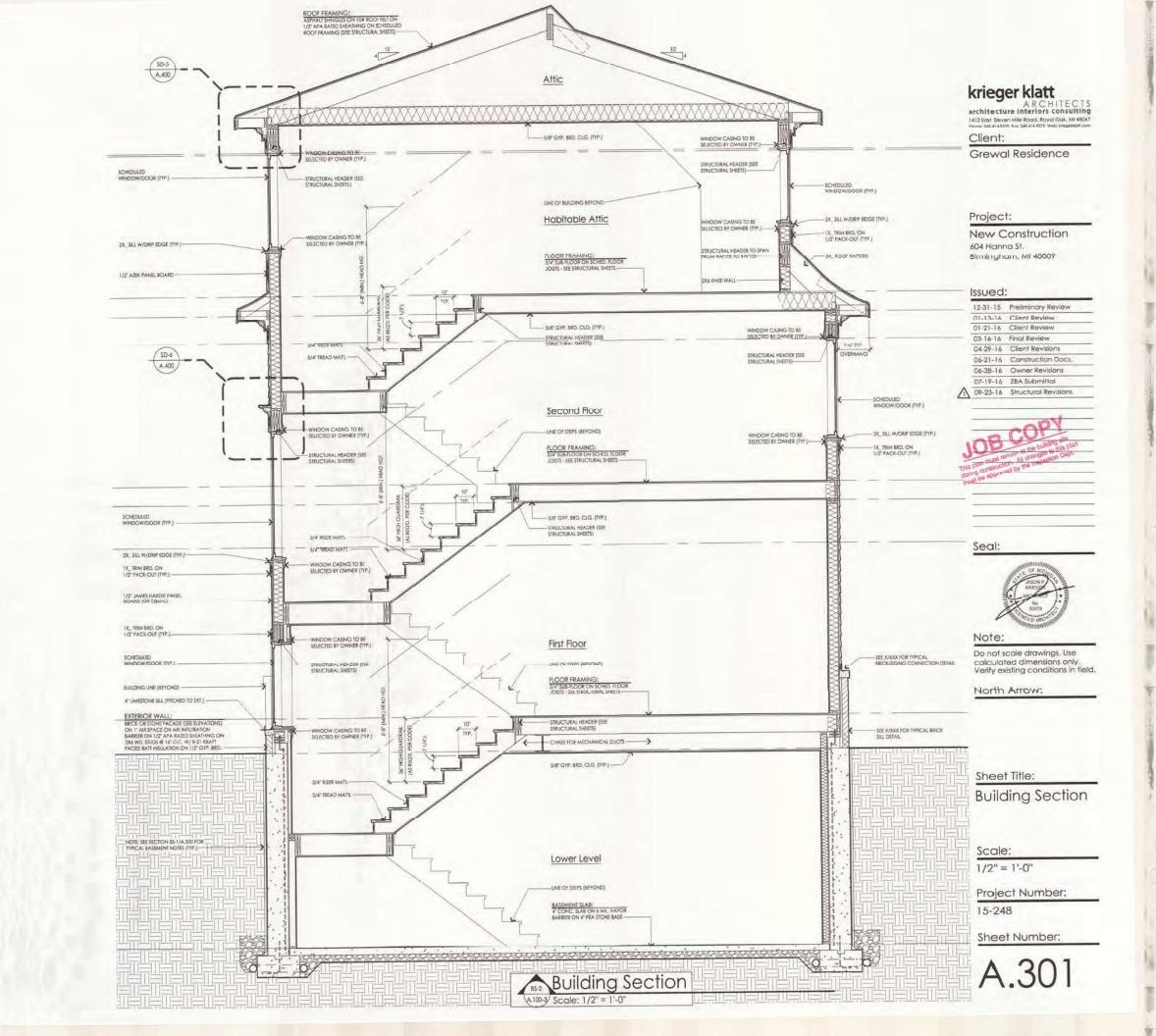
1/2" = 1'-0"

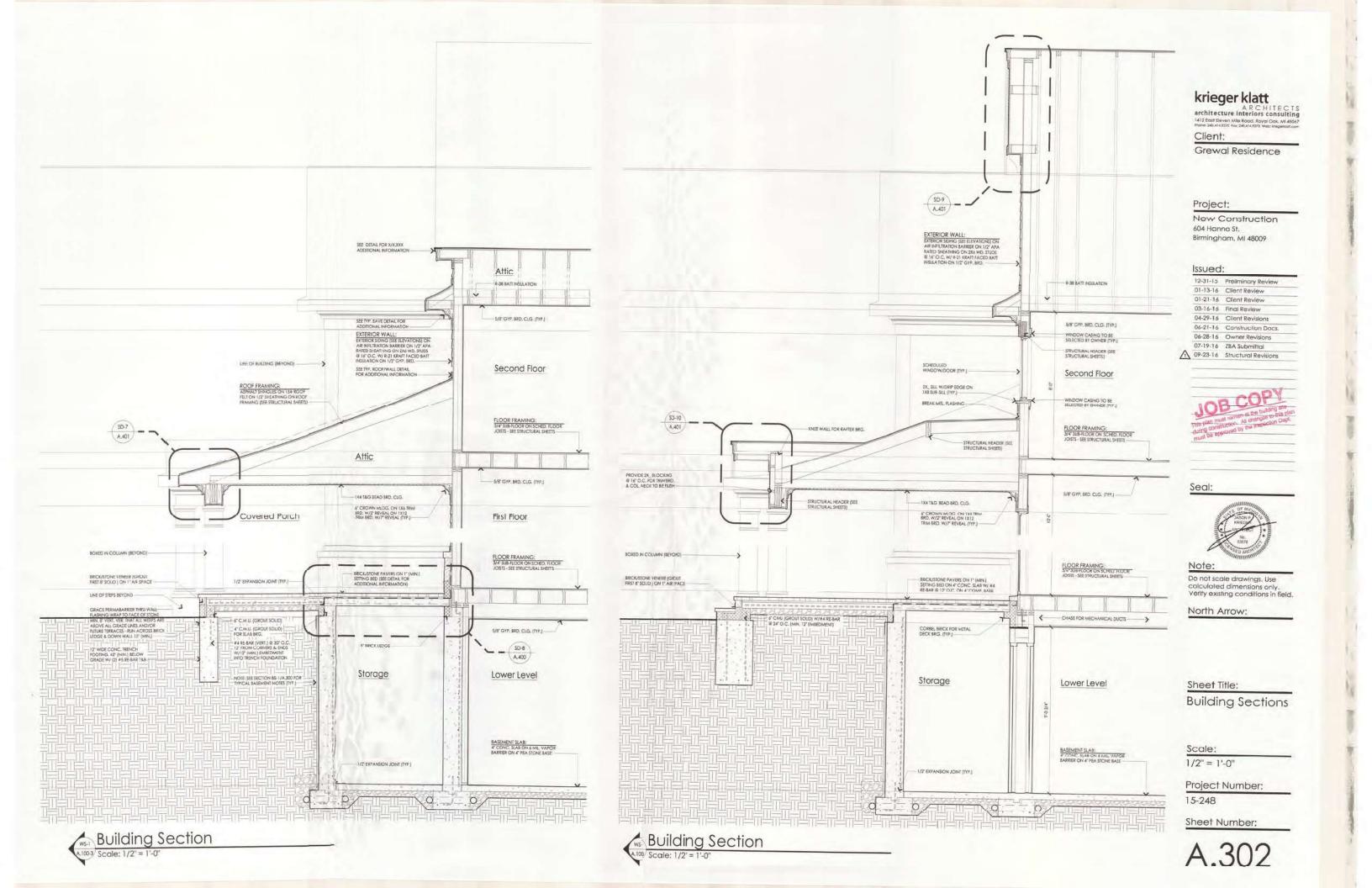
Project Number:

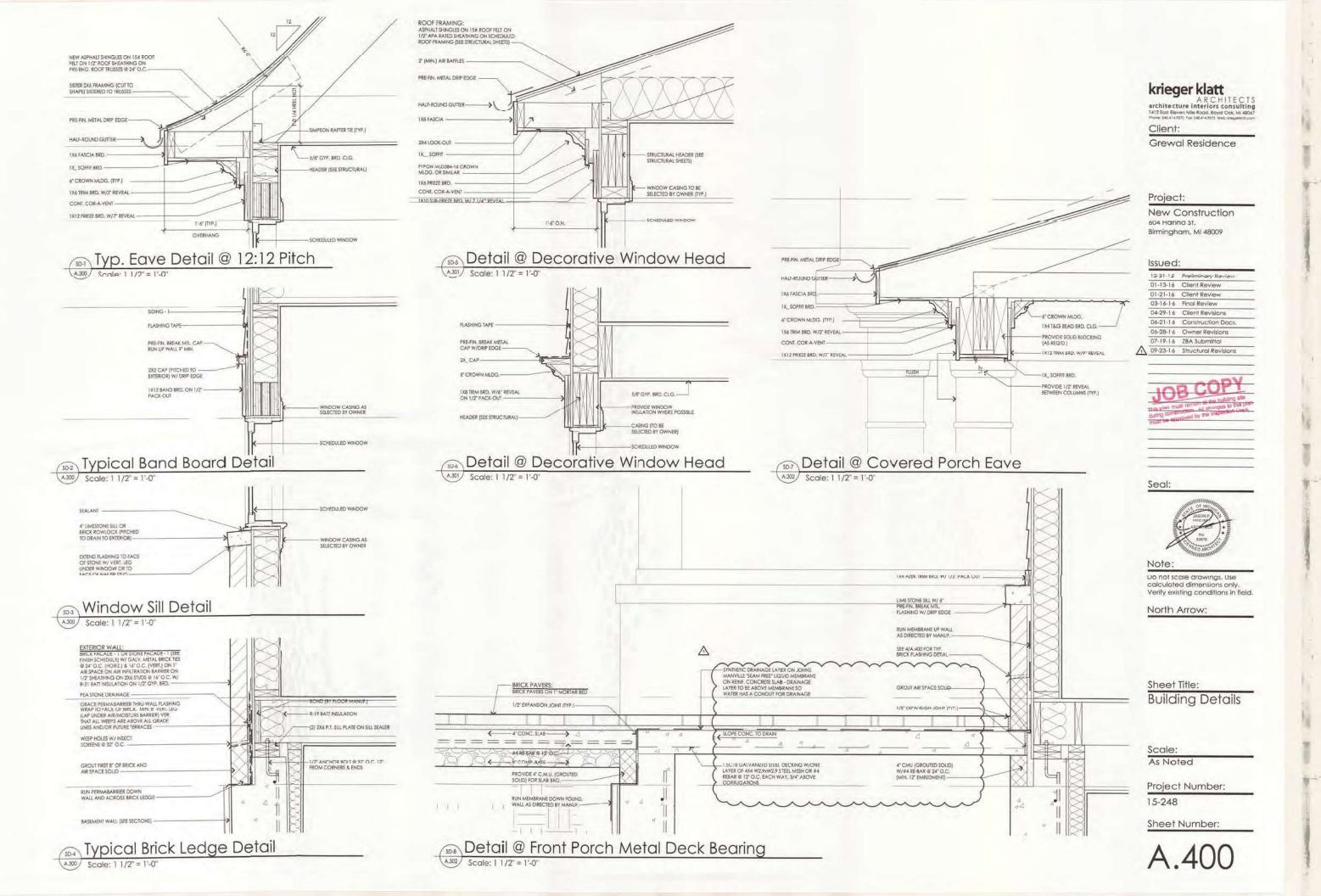
15-248

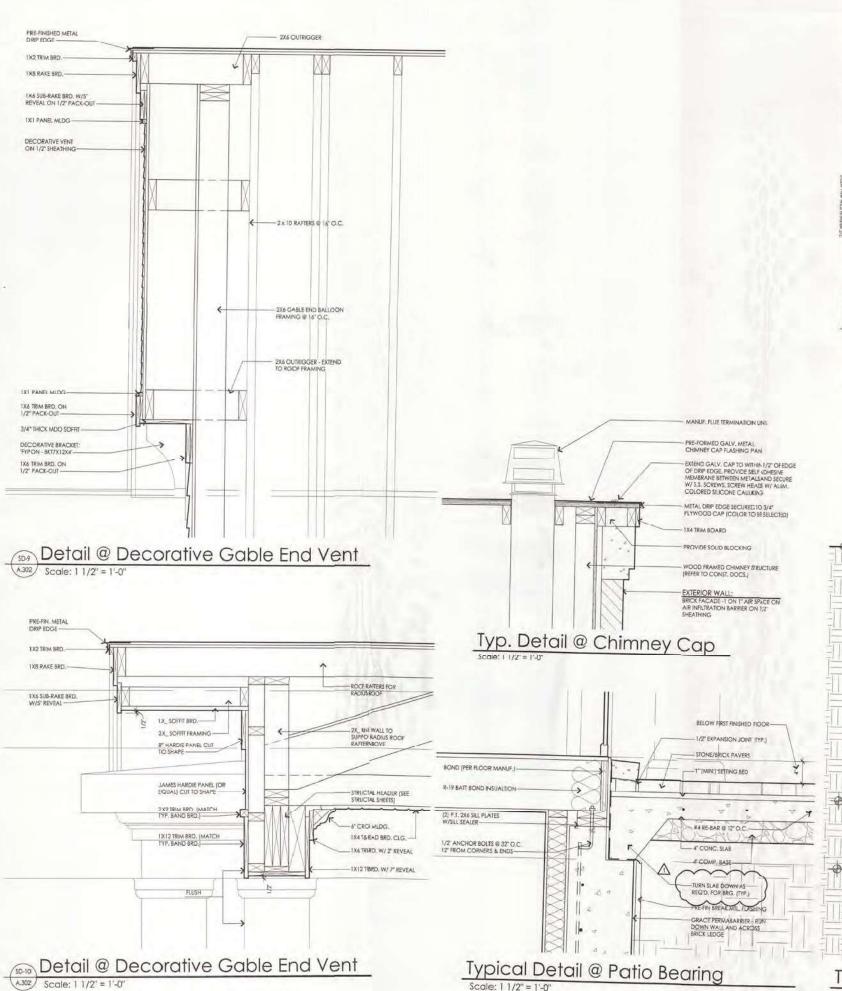
Sheet Number:

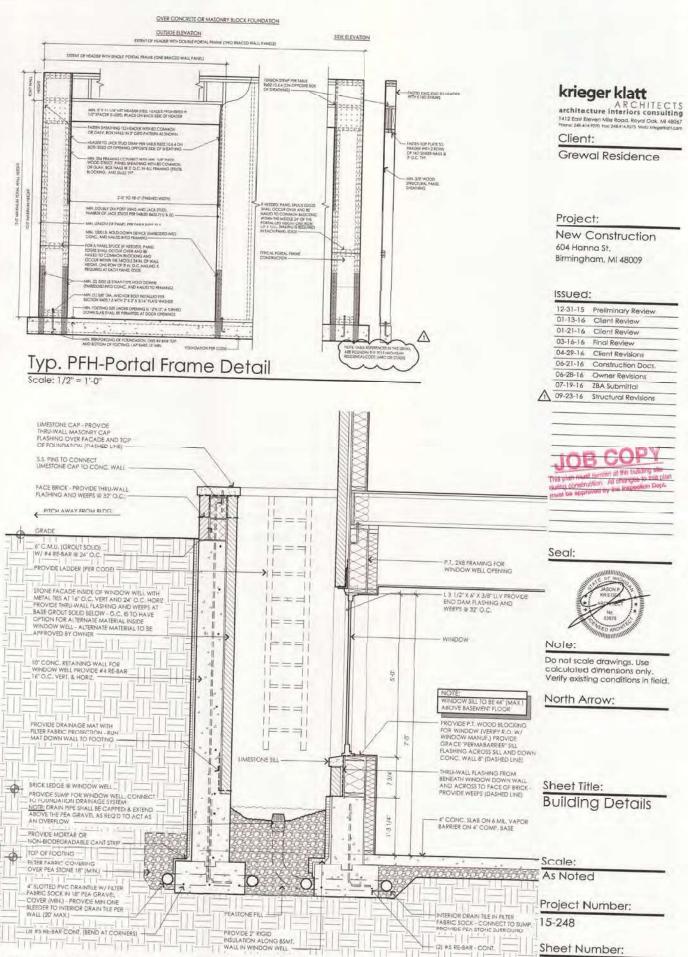
A.300







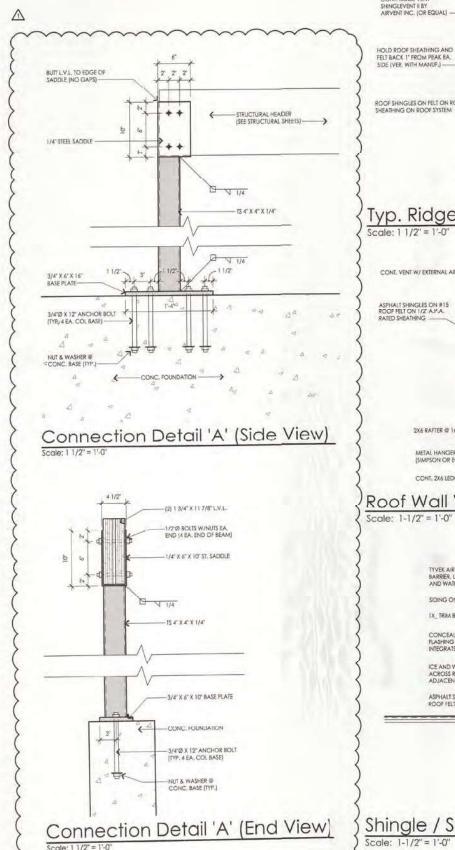


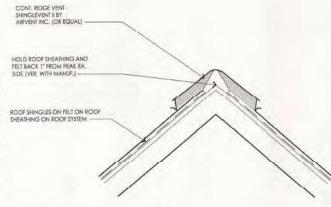


Typical Window Well Detail

cole: 1 1/2" = 1'-0"

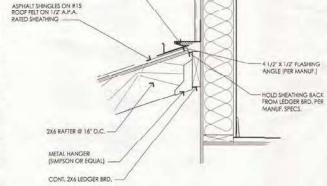
A.401





# Typ. Ridge Vent Detail

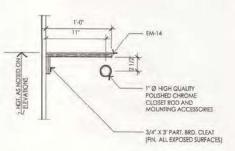




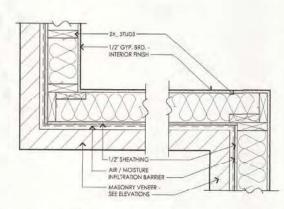
# Roof Wall Vent Detail

TYVEK AIR INFILTRATION BARRIER, LAP OVER ICE AND WATER SHIELD CONCEALED METAL STEP FLASHING BEHIND 1X\_TRIM INTEGRATED INTO SHINGLES

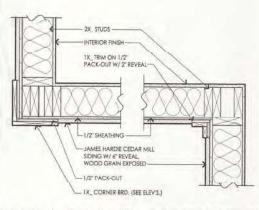
Shingle / Siding Connection Detail



# Typ. Shelf & Rod Detail Scale: 1 1/2" = 1'-0"



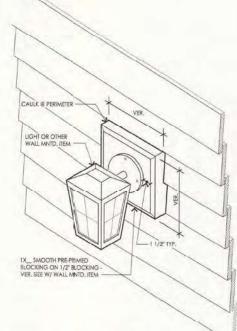
# Typ. Ext. & Int. Corner Details (Brick)



Typ. Ext. & Int. Corner Details (Siding) Scale: 1 1/2" = 1'-0"



Typ. Silt Fence Detail



Detail @ Wall Mtd. Items

Scale: No Scale

# krieger klatt ARCHITECTS architecture Interiors consulting 1412 East Beven Mile Road, Royal Oak, MI 48047

Client:

Grewal Residence

#### Project:

New Construction 604 Hanna St. Birmingham, MI 48009

#### Issued:

| 12 31 15 | Preliminary Review   |
|----------|----------------------|
| 01-13-16 | Client Review        |
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| 07-19-16 | ZBA Submittat        |
| 09-23-16 | Structural Revisions |



#### Seal:



Do not scale drawings. Use Verify existing conditions in field.

## North Arrow:

**Building Details** 

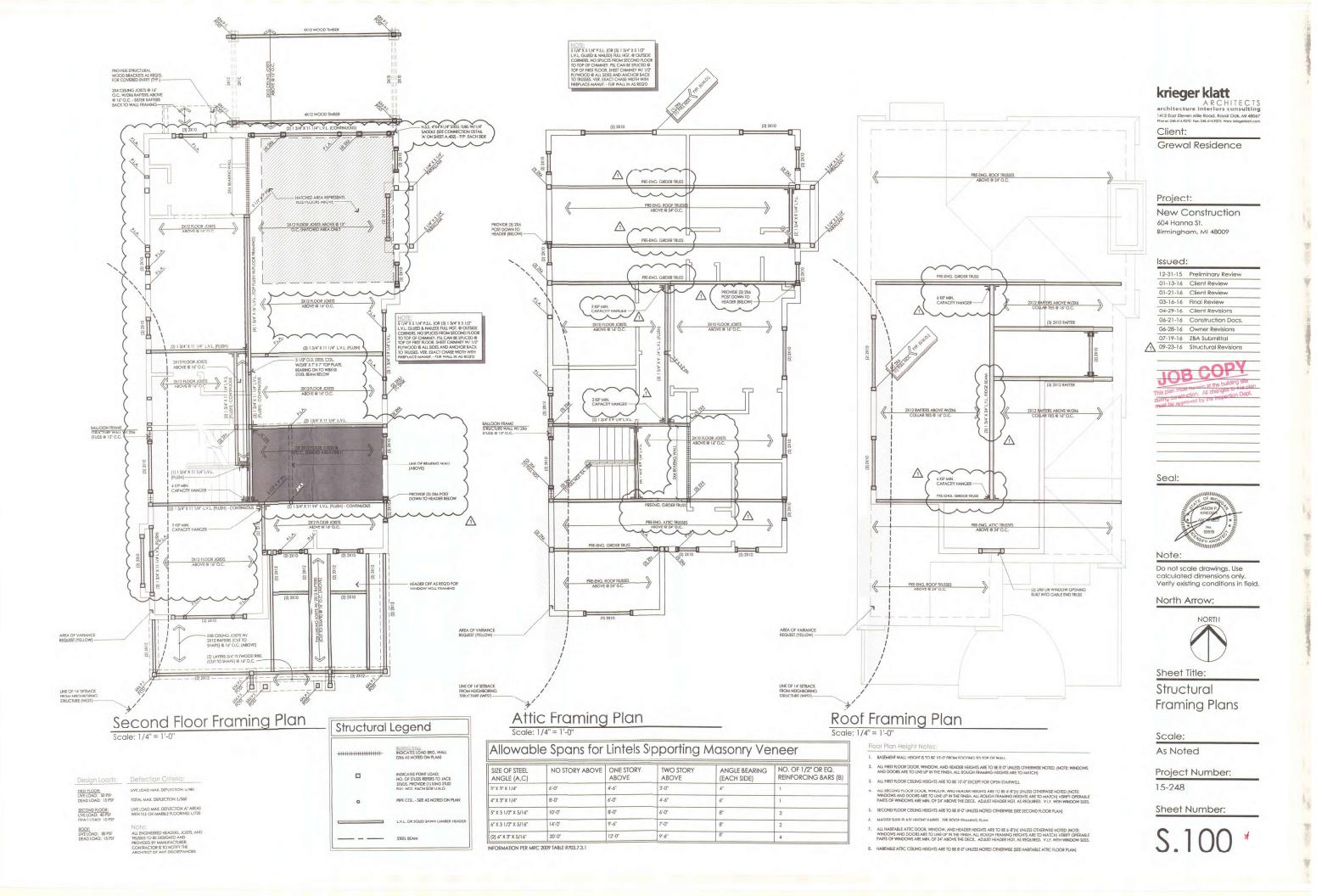
#### Scale:

As Noted

#### Project Number:

15-248

#### Sheet Number:



| YPE                | DESCRIPTION                                      | TYPE     | DESCRIPTION                                    |
|--------------------|--|----------|--|
| \$                 | SINGLE POLE SWITCH                               | 0        | MOTOR AS NOTED                                 |
| <b>\$</b> 3        | 3 WAY SWITCH                                     | 0        | JUNCTION BOX                                   |
| \$0                | DIMMER SWITCH                                    | ٥        | GARAGE DOOR<br>OPENER BUTTON                   |
| ф                  | DUPLEX RECEPTACLE                                | $\nabla$ | CABLE / INTERNET (VER.<br>WITH OWNER IN FIELD) |
| $\phi_{_{G,F,L}}$  | DUPLEX RECEPTACLE W/<br>GROUND FAULT INTERRUPTER |          |  |
| ф <sub>w,P.</sub>  | DUPLEX RECEPTACLE W/<br>WEATHER PROOF COVER      |          |  |
| <b>+</b>           | DUPLEX RECEPTACLE<br>(IN-FLOOR)                  |          |  |
| <b>⊕</b><br>G.D.O. | CEILING MNTD. POWER FOR GARAGE DOOR OPENER       |          |  |

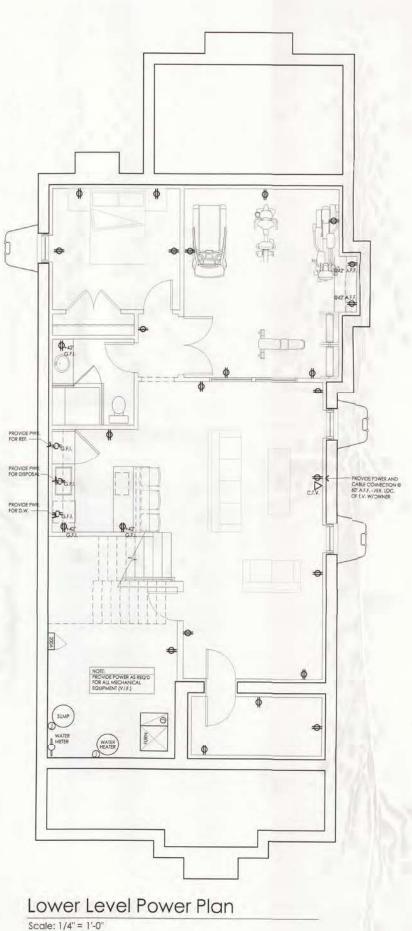
| TYPE           | DESCRIPTION                                   | NC  | TYPE    | DESCRIPTION  |
|----------------|---|---|---------|--|
| O <sub>A</sub> | MAKE-<br>DESCRIPTION:<br>INVIDENTIAL<br>LAWF: | HALO ST DIA, RECESSED DOWNLIGHT WHITE ISIN WI CLEAR EPPCULAR REFLECTOR COMPACT FLUORESCENT (DIMMASILE)  | \$0     | DIMMER SWITCH  |
| o <sub>8</sub> | MAKE<br>DESCRIPTION<br>PINSH<br>LAMP:         | HALO<br>5' OIA. RECESSED DOWNLIGHT<br>WHITE TRIM MY CLEAR SPECULAR REFLECTOR<br>COMPACT FLUORESCENT   | 2       | SURFACE MOUNTED<br>LIGHT POPURE BY OWNER<br>(DIAMABLE AS NOTED)          |
| o <sub>C</sub> | MAKE<br>DESCRIPTION:<br>PINION:<br>LAMP:      | HALO 3" DIA RECESSED DOWNRIGHT 1105CAN RECESSED | <b></b> | CELING MOUNTED LIGHT<br>FIXTURE SELECTED BY OWNER<br>(DIMMABLE AS NOTED) |
| o <sub>D</sub> | MAKE<br>DESCRIPTION.<br>FINISH:<br>LAMP       | HALD.  J. DIA. REDCISED DOWNLIGHT WHITE TENN W/ PROSTED SHOWER LENS COMPACT FLUORISCENT   | ×       | CEUNG FAN AND UGHT COMBO   |
| E              | MAKE<br>DESCRIPTION:<br>FINISH:<br>LAMP:      | HALD 4" DIA RECESSED WALL WASH WHITE TRIM WY CLEAR SENI-SPECILLAR REFLECTIOR AND SPECILLAR WALL WASH LE.D. [DIMMASSE]   |         | LED. STRIP LIGHTING<br>IN UPPER CABINETS                                 |
| 9              | MAKE:<br>DESCRIPTION:<br>RNSH:<br>LAMP:       | HALO. 4 'DIA. ADJUSTABLE ROUND GIMBAL WHITE TRIM W/ WHITE GIMBAL LED. (DIMMABLE)  |         | EXHAUST FAN  |
| 1              | SINGLE POLES                                  | WITCH   | W.S.D.  | WIRED SMOKE DETECTOR   |
| \$0            | CIWZ YAW F                                    |   | 8       | CARBON MONORDE DEFECTOR  |

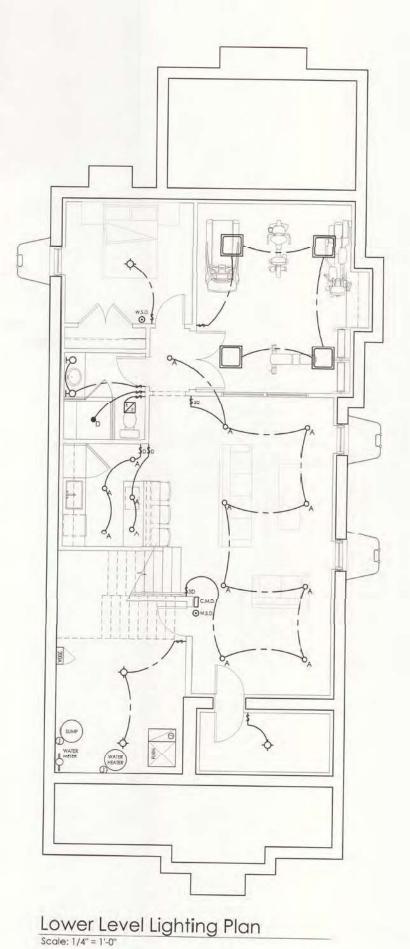
GENERAL ELECTRICAL NOTES:

ALL ELECTRICAL WORK TO CONFORM TO THE STANDARDS OF THE CURRENT ADDITION AND MAINTAIN ADDITIONAL ELECTRICAL CODE.

Z. ALL RECESSED DOWN LIGHTING TO BE HALD AS SPECIFIED ON DRAWINGS.

3. ALL PANS ARE TO BE ON TIMERS





krieger klatt

ARCHITECT architecture interfors consulting 1412 East Eleven Mile Road, Royal Ock, Mi 4806 Plane: 248.414.9276 Nov: 348.414.9275 ween progression too

Grewal Residence

Project:

New Construction 604 Hanna St. Birmingham, MI 48009

Issued:

12-31-15 Preliminary Review 01-13-16 Client Review 01-21-16 Client Review 03-16-16 Final Review 04-29-16 Client Revisions 06-21-16 Construction Docs. 06-28-16 Owner Revisions 07-19-16 ZBA Submittal





Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:



Sheet Title:

Lower Level Electrical Plans

Scale:

As Noted

Project Number: 15-248

Sheet Number:

E.100

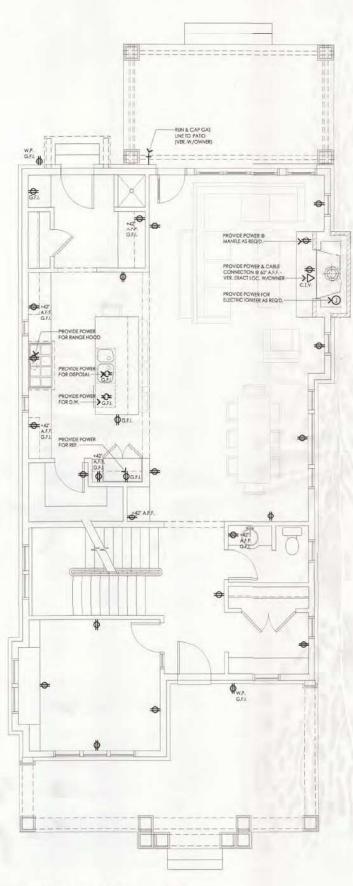
| TYPE                | DESCRIPTION                                      | TYPE     | DESCRIPTION                                   |
|---------------------|--|----------|---|
| \$                  | SINGLE POLE SWITCH                               | 0        | MOTOR AS NOTED                                |
| <b>\$</b> 3         | 3 WAY SWITCH                                     | 0        | JUNCTION BOX                                  |
| \$0                 | DIMMER SWITCH                                    | 0        | GARAGE DOOR<br>OPENER BUTTON                  |
| ф                   | DUPLEX RECEPTAGLE                                | $\nabla$ | CABLE / INTERNET (VER<br>WITH OWNER IN FIELD) |
| ф <sub>G.F.I.</sub> | DUPLEX RECEPTAGLE W/<br>GROUND FAULT INTERRUPTER |          |   |
| ф <sub>w.Р.</sub>   | DUPLEX RECEPTACLE W/<br>WEATHER PROOF COVER      |          |   |
| <b>\rightarrow</b>  | DUPLEX RECEPTAGLE<br>(IN-FLOOR)                  |          |   |
| <b>*</b>            | CEILING MNID. POWER FOR GARAGE DOOR OPENER       |          |   |

| TYPE           | DESCRIPTION                              | NC   | TYPE    | DESCRIPTION   |
|----------------|--|--|---------|---|
| OA             | MAKE:<br>DESCRIPTION:<br>EARLY<br>LAMP:  | HALD  6" DIA, RECESSED DOWNAUGHT  WHITE THAN WY CHARK SPECILLAR SEPLECTOR  COMPACT FLUORESCENE (DIMMARIE)                      | \$a     | DIMMER SWEIGH   |
| OB             | MAKE<br>DESCRIPTION:<br>BNSH:<br>LAMP:   | HALO<br>S' DIA RECESSED DOWNLIGHT<br>WHITE TRIM W/ CLEAR SPECULAR REFLECTOR<br>COMPALT FLUORESCENT                             | 오       | SURFACE MOUNTED<br>LIGHT HIXTURE BY OWNER<br>(DIMMABLE AS HOTED)          |
| oc             | MAKE;<br>DESCRIPTION:<br>HHISH:<br>LAMP: | HALO. 5° DIA RECESSED DOWNLIGHT TIPCAM RECUMENTS THIS WITTERCAM RECUMENTS THIS WITTERCAM RECUITE REFLECTOR COMPACT FLEORESCENT | <b></b> | CELLING MOUNTED LIGHT<br>FIXTURE SELECTED BY OWNER<br>IDIMMABLE AS NUTED! |
| 9              | MAKE:<br>DESCRIPTION,<br>FINSH:<br>LAMP: | HALO  5" DIA, RECESSED DOWNSONT WHITE TRIM W/FRESTED SHOWER LENS COMPACT FLUORISCENT   | ×       | CBUNG FAN AND UGHI COMBO  |
| Q.             | MAKE<br>DESCRIPTION:<br>FINISH<br>LAMP:  | HALO<br>IF DIA, RECESSED WALLWASH<br>WHITE TRIM W, CLEAR SEMI-SPECULAR<br>REFLECTOR, AND SPECULAR WALL WASH<br>LED, (DIMMARIE) |         | LED STRIP LIGHTING<br>IN UPPER CABINETS                                   |
| O <sub>F</sub> | MAKE<br>DESCRIPTION:<br>FINSH:<br>LAMP:  | HALO 4 DIA ADJUSTABLE KOUND GIMBAL WHITE TRIM W/ WHITE (GMBAL LED, (DMMABLE)   |         | EXHAUST FAN   |
| \$             | SINGLE POLE 5                            | witch  | w.s.o.  | WIRED SMOKE DETECTOR  |
| \$0            | 3 WAY SWITCH                             |  | CAR     | LAKELIN MUNUMUS DETECTOR  |

GENERAL ELECTRICAL NOTES:

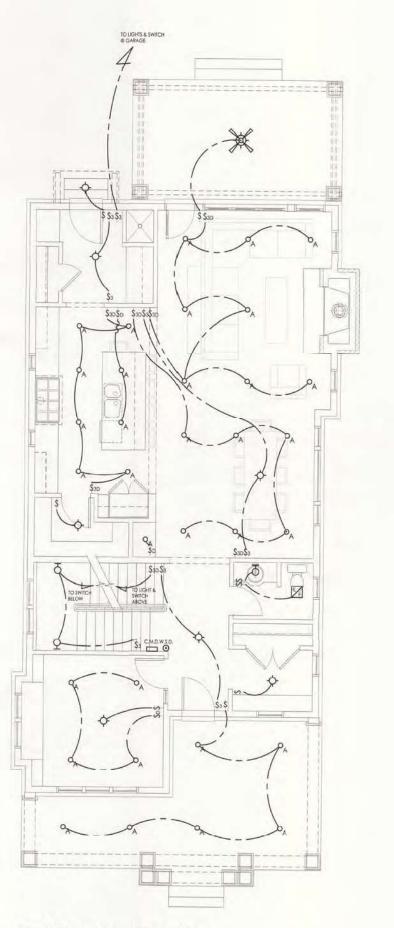
1. ALL ELECTRICAL WORK TO CONFORM TO THE STANDARDS OF THE CURRENT ADOPTED NATIONAL ELECTRICAL CODE

- 2. ALL RECESSED DOWN LIGHTING TO BE HALD AS SPECIFED ON DRAWNIGS.
- 3. ALL FANS ARE TO BE ON TIMERS



First Floor Power Plan

Scale: 1/4" = 1'-0"



First Floor Lighting Plan
Scale: 1/4" = 1'-0"

# krieger klatt

Client:

Grewal Residence

## Project:

New Construction 604 Hanna St.
Birmingham, MI 48009

#### Issued:

| 12-31-15 | Preliminary Review   |
|----------|----------------------|
| 01-13-16 | Client Review        |
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| 06-28-16 | Owner Revisions      |
| 07-19-16 | ZBA Submittal        |
| 09-23-16 | Structural Revisions |



## Seal:



Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

#### North Arrow:



## Sheet Title:

First Floor Electrical Plans

## Scale:

As Noted

## Project Number:

15-248

## Sheet Number:

E.101

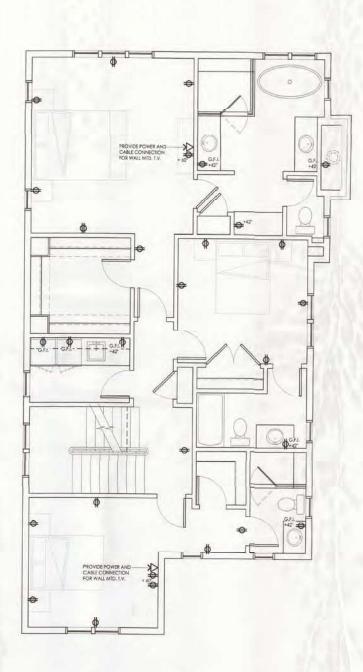
| TYPE                | DESCRIPTION                                      | TYPE     | DESCRIPTION                                   |
|---------------------|--|----------|---|
| \$                  | SINGLE POLE SWITCH                               | 0        | MOTOR AS NOTED                                |
| \$3                 | 3 WAY SWITCH                                     | 0        | JUNCTION BOX                                  |
| \$0                 | DIMMER SWITCH                                    | 0        | GARAGE DOOR<br>OPENER BUTTON                  |
| ф                   | DUPLEX RECEPTAGLE                                | $\nabla$ | CABLE / INTERNET (VER<br>WITH OWNER IN FIELD) |
| ф <sub>G.F.I.</sub> | DUPLEX RECEPTACLE W/<br>GROUND FAULT INTERRUPTER |          |   |
| ф <sub>w,P.</sub>   | DUPLEX RECEPTACLE W/<br>WEATHER PROOF COVER      |          |   |
| <b>\(\phi\)</b>     | DUPLEX RECEPTAGLE<br>(IN-FLOOR)                  |          |   |
| <b>⊕</b><br>G.D.O.  | CEILING MNTD, POWER FOR GARAGE DOOR OPENER       |          |   |

| TYPE           | DESCRIPTI                                | ON  | TYPE   | DESCRIPTION   |
|----------------|--|---|--------|---|
| OA             | MAKE:<br>DESCRIPTION:<br>HNSH;<br>LAWF:  | HALD<br>5" DIA. RECESSED DOWNLIGHT<br>WHITE TRUM W/ CLEAR SPECULAR REFLECTOR<br>COMPACT TUDORDICENT SHYMADLE)     | þ      | DIMMER SWITCH   |
| O <sub>B</sub> | MAKE:<br>DESCRIPTION:<br>BNISH:<br>LAMP: | HALO<br>5" DIA. RECESSED DOWNLIGHT<br>WHITE TRIM W/ CLEAR SPECULAR REFLECTOR<br>COMPACT FLUORESCENT               | 오      | SURFACE MOUNTED<br>LIGHT FIXTURE BY OWNER<br>(DIMMABLE AS NOTED)          |
| o <sub>C</sub> | MAKE!<br>DESCRIPTION:<br>RNISH:<br>LAWF. | HALO<br>5" DIA. RECESSED DOWNLIGHT<br>TUSCAN BRONZE TRIM WY TUSCAN BRONZE REFLECTOR<br>COMPACY FLUORIZIOD IS      | ¢      | CELLING MOUNTED LIGHT<br>FIXTURE SELECTED BY OWNER<br>(DIMMARIE AS NOTED) |
| <sup>⊙</sup> D | MAKE:<br>OSSCRIFTION:<br>HNISH:<br>LAMP: | HALO. 5" DIA, IECESSED DOWNLIGHT. WHITE IKMM WY PROSIED SHOWER LENG. COMPACT FLUORISCENT.                         | ×      | CELLING FAN AND LIGHT COMBO   |
| E              | MAKE<br>DESCRIPTION:<br>RNSH:            | HALO 4" DIA. RECESSED WALLWASH WHITE TRIM WY CLEAR SEM-SPECULAR REPLECTOR AND SPECULAR WALL WASH LED. [DIMARABLE] |        | LEO, STRIP LIGHTONG<br>IN UPPER CABINETS                                  |
| Q.             | MAKE:<br>DESCRIPTION:<br>HINSH:<br>LAMP: | HALO IF DIA ADJUSTABLE ROUND GIMBAL WHEE TRAN W/ WHITE GIMBAL LED. (DIMMASLE)                                     |        | EXHAUSTFAN  |
| \$             | SNGLE POLES                              | WICH  | W.S.D. | WRED SMOKE DETECTOR   |
| 4.             | 2 WAY SWITCH                             |   | СМД    | CARBON MONOXIDE DETECTOR  |

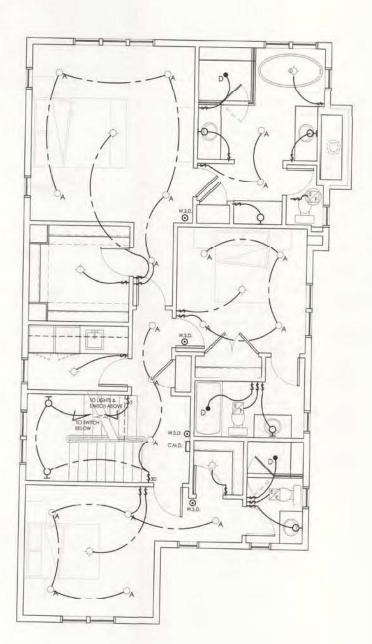
GENERAL ELECTRICAL NOTES!

1. ALL ELECTRICAL WORK TO CONFORM TO THE STANDARDS OF THE CURRENT ADOPTED NATIONAL ELECTRICAL CODE.

- 3. ALL FANS ARE TO SE ON TIMERS



Second Floor Power Plan Scale: 1/4" = 1'-0"



krieger klatt

A R C HITE CTS

architecture interiors consulting

1412 East Eleven Mile Road. Royal Oak, MI 48047

Phone: 246.414 9270 Fax: 246.414 9272, White integrabilities in

Client:

Grewal Residence

Project:

New Construction 604 Hanna St. Birmingham, MI 48009

Issued:

|   | 12-31-15 | Preliminary Review   |
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|   | 06-28-16 | Owner Revisions      |
|   | 07-19-16 | ZBA Submittal        |
| A | 09-23-16 | Structural Revisions |
|   |          |                      |





Note:

Do not scale drawings. Use calculated dimensions only. Venty existing conditions in field.

North Arrow:



Sheet Title:

Second Floor Electrical Plans

Scale:

As Noted

Project Number: 15-248

Sheet Number:

E.102

Second Floor Lighting Plan

Scale: 1/4" = 1'-0"

| EleC                   | tical Symbo                                      | is re    | genu  |
|------------------------|--|----------|---|
| TYPE                   | DESCRIPTION                                      | TYPE     | DESCRIPTION                                   |
| \$                     | SINGLE POLE SWITCH                               | 0        | MOTOR AS NOTED                                |
| \$3                    | 3 WAY SWITCH                                     | 0        | JUNCTION BOX                                  |
| \$0                    | DIMMER SWITCH                                    | •        | GARAGE DOOR<br>OPENER BUTTON                  |
| ф                      | DUPLEX RECEPTACLE                                | $\nabla$ | CABLE / INTERNET (VER<br>WITH OWNER IN FIELD) |
| $\phi_{\text{G.F,L.}}$ | DUPLEX RECEPTACLE W/<br>GROUND FAULT INTERRUPTER |          |   |
| ф <sub>w.Р.</sub>      | DUPLEX RECEPTACLE W/<br>WEATHER PROOF COVER      |          |   |
| 0                      | DUPLEX RECEPTAGLE (IN-FLOOR)                     |          |   |
| <b>⊕</b>               | CEILING MNTD, POWER FOR GARAGE DOOR OPENER       |          |   |

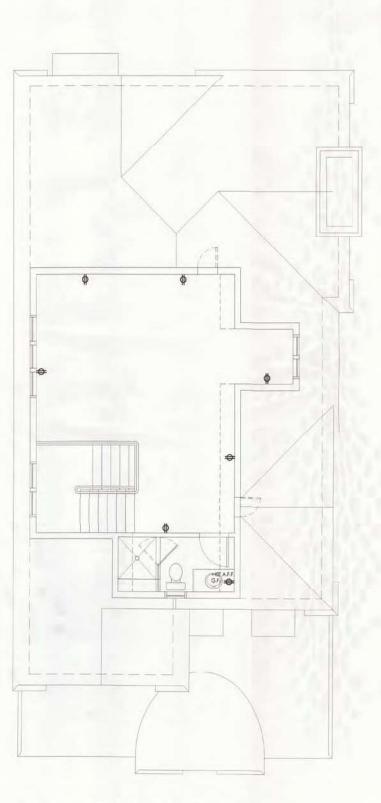
| TYPE           | DESCRIPTION  | ON   | TYPE            | DESCRIPTION  DIMMER SWITCH  |  |
|----------------|--|--|-----------------|---|--|
| OA             | MAKE:<br>DESCRIPTION:<br>DAMP:   | HALO. 5° DIA RECESSED DOWNLIGHT WHITE TRUL WI CLEAR SPECIE AR REPLECTOR COMPACT PLIORESCENT (DIMMABLE) | \$0             |   |  |
| 08             | MAKE<br>DESCRIPTION:<br>RNSH<br>LAMP:  | HALO<br>5" DIA. RECESSED DOWNLIGHT<br>WHITE TRIM WY CLEAR SPECULAR REFLECTOR<br>COMPACT RUDRESCENS     | 2               | SURFACE MOUNTED<br>LIGHT FIXTURE BY OWNER<br>(DUMMABLE AS NOTED)        |  |
| o <sub>c</sub> | MAKE<br>DESCRIPTION:<br>PHISH-<br>LAMP:  | HALO.  STOAL RECESSED DOWNLIGHT TUTCAM BEOWER THAN WITHOUTH REPORTE SEFLECTION COMPACT FLUORESCENT     | <b></b>         | CELLING MOUNTED UGHT<br>TIXTURE SELECTED BY OWNER<br>IDMMASIE AS NUTELY |  |
| 9              | MAKE: DESCRIPTION. IT DIA. RECESSED DIGHNAUGHT BRISH. WHITE TRIM. W/ PROSTED SHOWER LESS LAMP: COMPACT FLUORISCENT                                   |  | ×               | CEUNG FAN AND LIGHT COMMO   |  |
| Q <sub>E</sub> | MAKE: DESCRIPTION:  OBA: RECEISED WALLWASH FINISH:  MHE! FRM W. CLEAR SEMI-SPECULAR REFECTOR AND SPECULAR WALL WASH LED, (DIMMARIE)  LED, (DIMMARIE) |  |                 | LED, STRIP LIGHTING IN UPPER CABINETS                                   |  |
| Q.             | MAKE:<br>DISCRIPTION:<br>FINSH:<br>LAMP:   | PNSH: WHITE TRIM W/ WHITE GMBAL  |                 | EXHAUST FAN   |  |
| +              | SINGLE POLES   | WITCH.   | <b>⊙</b><br>wsn | WRED SWOKE DETECTOR   |  |
| \$1            | 3 WAY SWITCH   |  | CMP             | CARBON MONORIDE DETECTION   |  |

GNERAL ELECTRICAL NOTES:

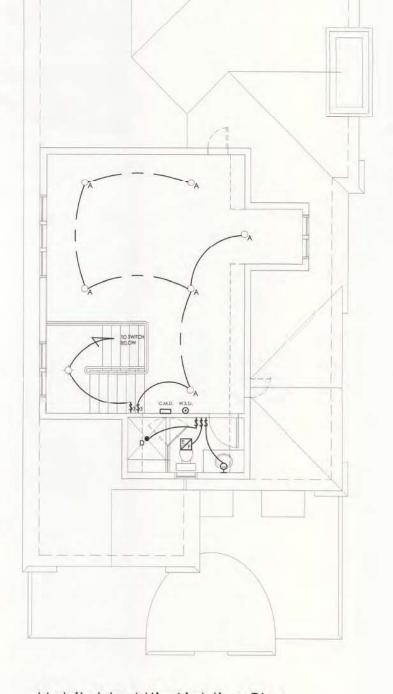
1. ALL EXCIPICAL WORK TO CONFORM TO THE STANDARDS OF THE CURRENT ADDITION ADDITIONAL ELECTRICAL CODE.

2. ALL RECESSED DOWN LIGHTING TO BE HALO AS SPECIFIED ON DRAWINGS.

3. ALL FANS ARE TO BE ON TIMERS



Habitable Attic Power Plan
Scale: 1/4" = 1'-0"



Habitable Attic Lighting Plan
Scale: 1/4" = 1'-0"

# krieger klatt

ARCHITECTS
architecture interiors consulting
1412 East Eleven Mile Road, Royal Oak, MI 48067
Phone: 248 AI 4 92/0 Fai: 246 AI 4 9275 West Eleven Maint Ziven

Grewal Residence

Project:
New Construction
604 Harring 51.
Birmingham, MI 48009

#### Issued:

|   | processing the same of the sam |                      |  |  |
|---|--|----------------------|--|--|
|   | 19-31-15   | Preliminary Review   |  |  |
|   | 01-13-16   | Client Review        |  |  |
|   | 01-21-16   | Client Review        |  |  |
|   | 03-16-16   | Final Review         |  |  |
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|   | 06-21-16   | Construction Docs.   |  |  |
|   | 06-28-16   | Owner Revisions      |  |  |
|   | 07-19-16   | ZBA Submittal        |  |  |
| 1 | 09-23-16   | Structural Revisions |  |  |
|   |  |                      |  |  |



#### Seal:



Do not scale drawings, use calculated dimensions only. Verify existing conditions in field.

#### North Arrow:



## Sheet Title:

Habitable Attic Electrical Plans

## Scale:

As Noted

Project Number: 15-248

Sheet Number:

E.103



SOIL BEARING NOTE: IT IS ASSUMED THAT THE SOIL BEARING CAPACITY IS 3000 PSF IF IT IS DISCOVERED THAT THE SOIL IS LESS THAN 3000 PSF

#### General Foundation Plan Notes (Garage):

- 1. INSTALL FLOOR DRAIN(S) IN LOCATION DIRECTED BY OWNER
- IF RADON IS DETERMINED PRESENT IN SOILS, IT SHALL BE DETERMINED IF AN ACTIVE OR PASSIVE COLLECTION SYSTEM IS REQ'D. TO BE DETERMINED BY G.C.
- 3. STEP ALL FOUNDATION AREAS AS REQ'D PER GRADING PLAN
- 4. CONTRACTOR TO VERIFY ROUGH OPENING SIZES REQUIRED FOR DOORS

#### Keyed Foundation Plan Notes (Garage):

- 1. DROP FOUNDATION 4" MIN. @ DOORS FOR THICKENED SLAB
- 6" CMU GROUTED SOLID W/ #4 RE-BAR @ 32" O.C., 12" FROM CORNER. AND ENDS. CMU TO BE CENTERED ON TRENCH FOUNDATION BELOW.
- 14" WIDE CONC. TRENCH FOUNDATION 42" (MIN.) BELOW GRADE W/ (2) #5 RE-BAR 1&B (TYP.)
- 4. 4" LEDGE FOR GARAGE SLAB BRG. (TYP.)

## General Floor Plan Notes (Garage):

- ALL EXTERIOR WALLS TO BE 2X6 WOOD FRAMING U.N.O.
- PROVIDE EXTERIOR FROST FREE HOSE BIBS AT LOCATIONS DIRECTED BY
  OWNER
- PROVIDE SOLID BLOCKING IN WALLS FOR ALL WALL MOUNTED ITEMS NOT

- LIMITED TO THE FOLLO
  RANGE HOOD
  CLOSET RODS
  DOOR STOPS
  TOWEL BARS
  TOILET TISSUE DISP
  MISC. WALL MOUI
  MIRRORS
- ALL WOOD AND WOOD BASED PRODUCTS WITHIN 8" OF GRADE MUST BE PRESSURE TREATED AS REQUIRED PER SECTION R317 OF 2012 M.B.C.
- PROVIDE INTERIOR AND/OR EXTERIOR JAMB EXTENSIONS AS REQ'T) FOR ALL WINDOWS
- 6. PROVIDE ATTIC ACCESS(S) AS REQUIRED PER M.R.C. R807.1

#### Keyed Floor Plan Notes (Garage):

- PROVIDE 1-HOUR RATED WALL ASSEMBLY AT ALL WALLS AT OR WITHIN  $5\!-\!0^\circ$  FROM PROPERTY LINES (SEE A.402 FOR DETAIL)
- 2. PROVIDE HOT AND COLD WATER CONNECTIONS
- 3. STORAGE SHELVES TO BE DESIGNED BY G.C. & APPROVED BY OWNER
- 5. LINE OF MECHANICAL CHASE ABOVE (SEE SECTION FOR ADDITIONAL INFORMATION)

#### Roofing Notes (Garage):

2. FLASH ALL ROOF PENETRATIONS AS REQUIRED AND PER CODE

3. LOCATE ALL PLUMBING STACKS AT REAR ROOF PLANE. VERIFY THAT NO VENTS ARE VISIBLE FROM THE STREET

#### General Roof Plan Notes (Garage)

- 2. FLASH ALL ROOF PENETRATIONS AS REQUIRED AND PER CODE
- LOCATE ALL PLUMBING STACKS AT REAR ROOF PLANE. VERIFY THAT NO VENTS ARE VISIBLE FROM THE STREET
- 4. PROVIDE PRE-FIN, MTL, DRIP EDGE @ ALL ROOF EAVES AND
- PROVIDE PRE-FIN. HALF-ROUND ALUM. GUTTERS & DOWNSPOUTS (MECH. FASTENED) COORD. DOWNSPOUT LOCATIONS W/ OWNER & CIVIL ENG., IN FIELD

## Roof Ventilation Calculation (Garage):

1 SQ. FT. OF ATTIC VENT PER 300 SQ. FT. OF ATTIC FLOOR SPACE (OVER AL PERIMETER OF ROOF)

TOTAL ATTIC SPACE: 591 SQ. FT

591 SQ. FT. / 300 SQ. FT. = 1.97 SQ. FT.

1.97 SQ. FT. / 2 (INTAKE/EXHAUST) = 0.99 SQ. FT.

0.99 SQ, FT, X 144 IN. = 141.8 SQ, IN. (NET FREE AREA REQUIRED)

RIDGE VENT: SHINGLE VENT 2 FROM AIR VENT EQUALS 18" NFA PER LINEAR FOOT 141.8 SQ. IN. / 18 SQ. IN. (RIDGE VENT) = 7.88 LINEAR FEET REQ'D.

RIDGE VENT REQUIRED: 18.48 LINEAR FEET RIDGE VENT PROVIDED: 24..3 LINEAR FEET

# Structural Legend

#### Door & Header Notes:

1. ALL DOOR SIZES ARE LABELED IN FEET AND INCHES: 3080 = 3'-0" X 8'-0" HIGH FIRST FLOOR: LIVE LOAD: 50 PSF DEAD LOAD: 15 PSF

SECOND FLOOR: LIVE LOAD: 40 PSF DEAD LOAD: 10 PSF

#### Dropped Floor Notes: Deflection Criterio

1. PROVIDE 1-1/2" DROP IN FLOOR AT ALL TILE AND STONE FLOOR AREAS, PROVIDE DOUBLE SILL PLATE AT AREAS OF RAISED FLOOR AND SINGLE SILL PLATE AT AREAS O DROPPED FLOOR TO ALLOW FOR STONE /

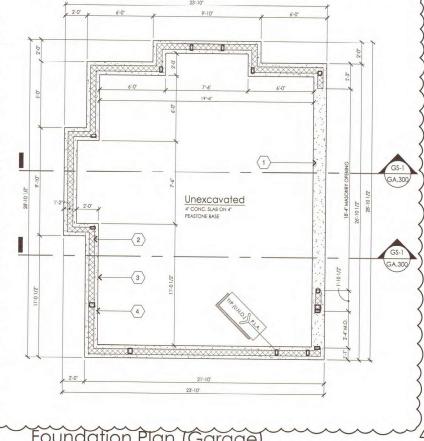
# LIVE LOAD MAX. DEFLECTION: L/48

# Wall Legend

INTERIOR WALL: 2X4 STUDS OR AS INDICATED FOR COSMETIC PURPOSES AT 16" O.C. W/ 1/2" GYP, BRD, EACH SIDE

# Keyed Roof Plan Notes - Garage:

- 3. LINE OFFIRST FLOOR EXTERIOR WALL
- 4. LINE OFSECOND FLOOR EXTERIOR WALL
- ASPHAL' SHINGLES ON #15 ROOF FELT ON 1/2" SHEATHING ON ROOF FRAMING (SEE STRUCTURAL)
- DORMER FOOF TO BE SINGLE-PLY 60 MILL EPDM ROOF ON GRACE UITA MEMBRANE ON RICID INSULATION ON 1/2" PLYWOOD SHEATHING WY PREFIX. METAL EDGE TRIM. INSTALL IN STRICT COMPLIANCE PER MANUF, INSTALLATION INSTRUCTIONS
- 7. PROVIDE FULLICE AND WATER SHIELD AT DORMER ROOF



TOTAL MAX. DEFLECTION: 1/360

ALL ENGINEERED HEADERS, JOISTS, TRUSSES TO BE DESIGNED AND PROVIDED BY MANUFACTURER. CONTRACTOR IS TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIE

Foundation Plan (Garage

Scale: 1/4" = 1'-0"

1

Habitable Attic Floor Plan (Garage)

Open Loft

4 2-Car Garage 2

A

First Floor Plan (Garage)

Roof Plan (Garage)

krieger klatt

ARCHITECTS architecture interiors consulting

Grewal Residence

Project:

**New Construction** 604 Hanna St.

Birmingham, MI 48009

Issued:

12-31-15 Preliminary Review 01-13-16 Client Review 01-21-16 Client Review 03-16-16 Final Review 04-29-16 Client Revisions 06-21-16 Construction Docs 06-28-16 Owner Revisions 07-19-16 ZBA Submittal 09-23-16 Structural Revisi



Do not scale drawings. Use calculated dimensions only.

Verify existing conditions in field.

North Arrow:



Sheet Title:

Detached Garage Plans

Scale:

As Noted

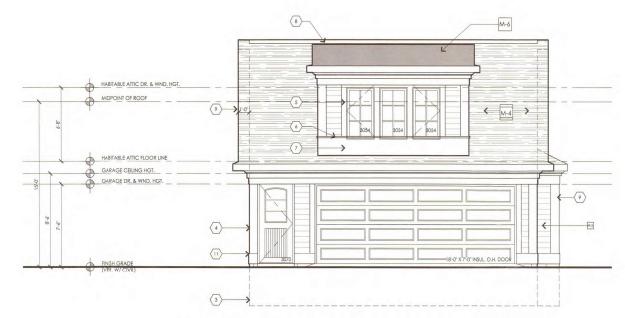
15-248

Project Number:

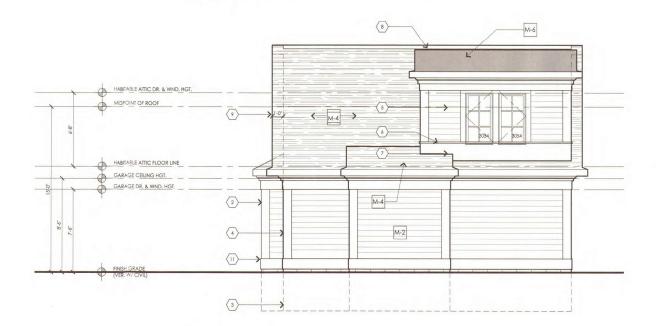
Sheet Number:

GA.100

|        | erior Materic            | al ochicaole                                 | X  |  |
|--------|--------------------------|--|--|--|
| SYMBOL | DESCRIPTION              | LOCATION                                     | MANUFACTURER   | FINISH / COLOR   |
| M-1    | STONE VENEER -1          | AS NOTED ON ELEVATIONS                       | TO BE DETERMINED   | TO BE DETERMINED   |
| M-2    | SIDING -1                | AS NOTED ON ELEVATIONS                       | JAMES HARDIE   | TO BE DETERMINED   |
| мз     | LIMESTONE                | AS NOTED ON ELEVATIONS                       | TO BE DETERMINED   | LIMESTONE  |
| M-4    | ASPHALT SHINGLES         | AS NOTED ON ELEVATIONS                       | 'CERTAINTEED' 25 YEAR DIMENSIONAL<br>SHINGLE - CONFIRM W/ J.L.H. | TO BE DETERMINED   |
| M-5    | STANDING SEAM METAL ROOF | AS NOTED ON ELEVATIONS                       | TO BE DETERMINED   | TO BE SELECTED BY OWNER                                  |
| M-6    | FLAT SEAM METAL ROOF     | AS NOTED ON ELEVATIONS                       | TO BE DETERMINED   | TO BE SELECTED BY OWNER                                  |
| M-7    | AZEK TRIM                | LOCATED NEAR GRADE OR AS NOTED ON ELEVATIONS | AZEK   | TO BE SELECTED BY OWNER                                  |
| M-8    | 1X_TRIM                  | AS NOTED ON ELEVATIONS                       | -  | PREPRIMED FRONT / BACK - PAINT<br>COLOR TO BE DETERMINED |



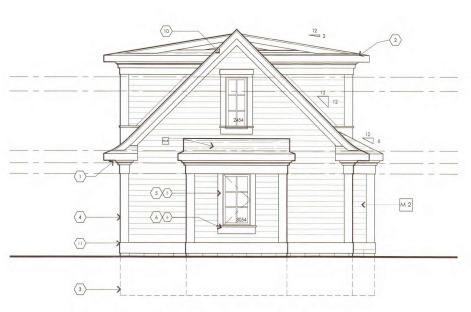
Front Elevation
Scale: 1/4" = 1'-0"



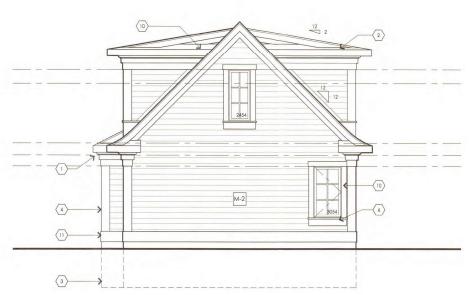
Rear Elevation
Scale: 1/4" = 1'-0"



- TYP, EAVE (SEE DETAIL FOR ADDITIONAL INFORMATION)
- 2. BUILDING LINE (BEYOND) 3. LINE OF TRENCH FOUND. (BELOW)
- 4. 1X10 CORNER BRD. ON 1/2" PACK-OUT (TYP.)
- 5. 1X6 WINDOW TRIM ON 1/2" PACK-OUT (TYP.)
- 6. 2X\_ WINDOW SILL ON 1X8 SUB-SILL ON 1/2" PACK-OUT [TYP.]
- JAMES HARDIE PANEL (OR EQUAL) W/1" PANEL MLDG. ON 1/2" PACK-OUT
- 8. RIDGE VENT INSTALL PER MANUF, SPECS
- 9. TYPICAL RAKE PROJECTION U.N.O.
- 10. 1X2 TRIM ON 1X8 RAKE BRD. ON 1X6 SUB-RAKE (TYP.)
- 11. TYP. BAND BRD. (SEE DETAIL)
- 12. EXPOSED C.M.U. (PAINT)



# Right Side Elevation



<u>Left Side Elevation</u> Scale: 1/4" = 1'-0"

# krieger klatt

A R C HITE CTS architecture interiors consulting 1412 East Eleven Mile Road, Royal Oak, MI 48067 Phone: 248,414,9270 Fax: 248,414,9275 Web: kriegerklatt.com

#### Client:

Grewal Residence

#### Project:

New Construction 604 Hanna St. Birmingham, MI 48009

#### Issued:

| 133000   | •                    |
|----------|----------------------|
| 12-31-15 | Preliminary Review   |
| 01-13-16 | Client Review        |
| 01-21-16 | Client Review        |
| 03-16-16 | Final Review         |
| 04-29-16 | Client Revisions     |
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| 06-28-16 | Owner Revisions      |
| 07-19-16 | ZBA Submittal        |
| 09-23-16 | Structural Revisions |
|          |                      |



#### Seal:



Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:

#### Sheet Title:

Garage Exterior Elevations

Scale:

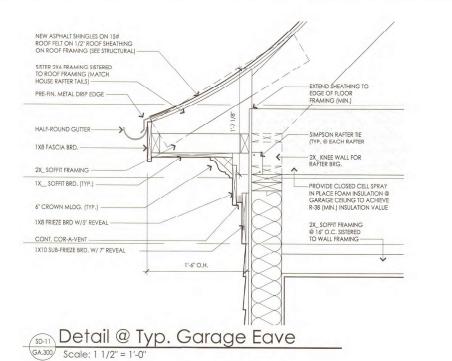
1/4" = 1'-0"

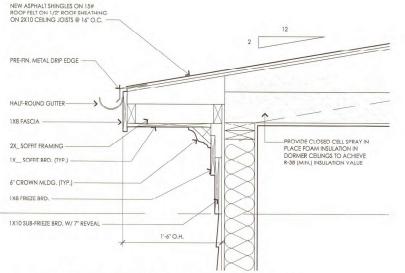
Project Number:

15-248

Sheet Number:

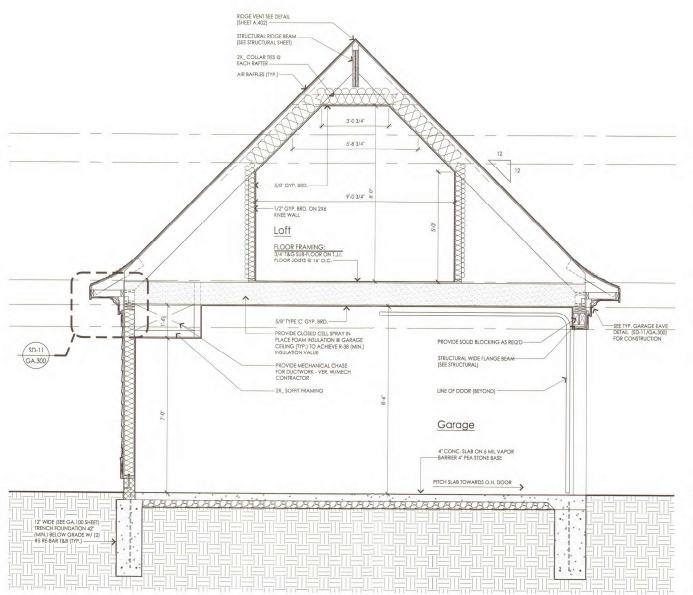
GA.200

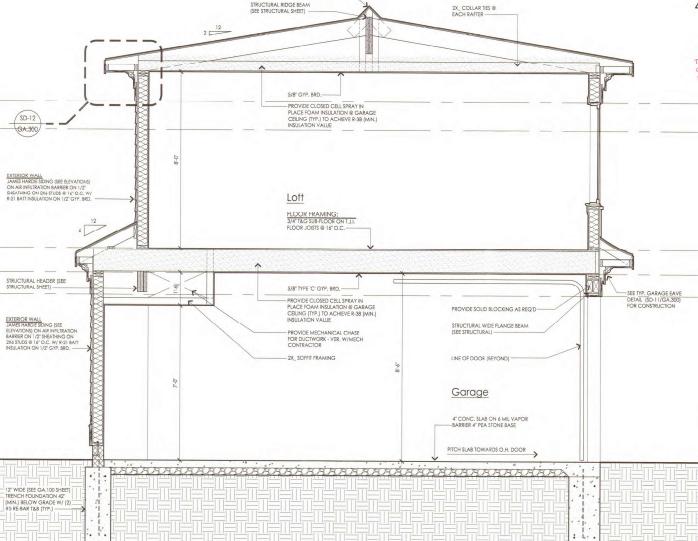




Detail @ Garage Dormer Eave

GA300 Scale: 1 1/2" = 1'-0"





Building Section
Scale: 1/2" = 1'-0"

RIDGE VENT SEE DETAIL (SHEET A.402)

krieger klatt

ARCHITECTS architecture interiors consulting

Client:

Grewal Residence

Project:

**New Construction** 604 Hanna St. Birmingham, MI 48009

Issued:

12-31-15 Preliminary Review 01-13-16 Client Review 01-21-16 Client Review 03-16-16 Final Review 04-29-16 Client Revisions 06-21-16 Construction Docs. 06-28-16 Owner Revisions 07-19-16 ZBA Submittal 09-23-16 Structural Revision

Seal:



Do not scale drawings. Use calculated dimensions only.
Verify existing conditions in field.

North Arrow:

Sheet Title:

Garage Sections & Details

Scale:

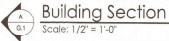
As Noted

Project Number:

15-248

Sheet Number:

GA.300



# convincingly, that in this case it is impossible. So for that reason he would move to approve both variances and tie the motion to the plans submitted.

Mr. Lyon voiced his support for the motion. They are reducing the garage non-compliance by a foot on the west side. Secondly the driveways along the street are all on one side except for this last one and it cannot meet the minimum distance between buildings. Further, narrowing the house in the rear requires some unique non-rectangular construction and that becomes unduly burdensome.

Mr. Morganroth said he would support the motion and tie it to the plot plan from DTE.

Mr. Hart expressed his support for the motion because he thinks this is a very challenging site and none of the dimensions he sees are exorbitant. The home is encumbered by the irregular shape of the lot.

Chairman Lillie indicated he also would support the motion. He thinks this is a very unusual lot as far as shape and the problem with the power lines.

## Motion carried, 7-0.

ROLLCALL VOTE

Yeas: Judd, Lyon, Canvasser, Grove, Hart, Lillie, Morganroth

Navs: None

Absent: Jones, Miller

T# 09-68-16

## 604 HANNA (Appeal 16-26)

The owners of the property known as 604 Hanna request the following variance to construct a new house.

A. **Chapter 126, Article 4, Section 4.74** of the Zoning Ordinance requires a minimum of 14 ft. between principal structures. The proposed house will be 11.34 ft. from the adjacent principal structure, which will cause a variance request of 2.66 ft.

This property is zoned R-2.

Two pieces of correspondence have been received that objected to the variance.

Mr. Worthington noted the proposed home will be located on a corner lot and the street side setback is required to be a minimum of 10.0 ft. The lot to the west is located just 0.1 ft. over the minimum 5.0 ft. setback.

Chairman Lillie noted this may also be one of Mr. Lyon's 9-5, 9-5, 5-9 issues with driveway placement.

In response to Mr. Lyon, Mr. Worthington advised the house is 28.3 ft. wide at the back and 26.95 ft. wide at the front.

Mr. Jason Krieger, Krieger Klatt Architects, spoke on behalf of the property owner, Mr. Saab Grewal. They are seeking a 2.66 ft. setback from the west side yard between homes. Their hardships are:

- The location of the neighbor to the west is closer than the required 5.0 side yard setback and they need 14 ft. from the neighbor;
- The width of the lot:
- Being on a corner they are required to maintain a 10.0 setback from Watkins.

They made every effort to bring the house in and position it as far to the east as they could to stay as far away from the neighbor to the west as they could by providing a 6.20 ft. setback on the west. They are reducing the existing footprint of the home and after several reiterations have brought it in as much as they could to keep it typical for new construction in this area.

In response to Mr. Lyon, Mr. Krieger explained that by moving the front of the west side over to minimize the variance it would get into the upstairs bedrooms which are already minimum dimensions.

Chairman Lillie asked for discussion from members of the audience at 8:02 p.m.

Ms. Janet Burger, 620 Hanna, said ordinances are in place to establish uniformity within the neighborhood. Everybody else on Hanna was able to comply with the Ordinance requirements. Therefore she feels the hardship is self-created and the applicant should be able to comply with the Ordinance.

Mr. Mark Alhermizi, who owns the property at 607 Frank, spoke in complete support of the variance request. He thought residents in the neighborhood should appreciate new construction.

#### Motion by Mr. Lyon

Seconded by Mr. Morganroth in regard to 604 Hanna, Appeal 16-26, the appellant seeks a variance of 2.66 ft. under Chapter 126, Article 4, section 4.74 of the Zoning Ordinance for the minimum distance between principal structures. He would move to approve as advertised. He thinks that strict compliance would be unduly burdensome because of unique circumstances, the 9-5, 9-5, 5-9 issue. In this case it ends with a 10 because of the side yard setback required for Watkins St.

Mr. Lyon believes that granting the variance does substantial justice to both the homeowner and the surrounding neighborhood. He notes as you go through the neighborhood the placement of driveways is a little bit random, but at least on the next few houses over they are on the west side and that drives houses to one side or the other. So, you are always going to end up with a couple that are stuck too close together.

He notes that Birmingham is unique with the minimum distance between structures, or almost unique. Most cities do not look for the minimum of 5 ft. on one side and 9 ft. the other, as in this case.

He does not believe this is self-created because the placement of the house to the west is there and the corner lot is part of the original plot. He notes the lot has not been reduced in size as indicated from the original plat.

He would tie the motion to the plans as presented.

Mr. Morganroth expressed his support for the motion because he believes the architect has identified the minimum sizes for this home. The need for the width and the step back makes sense based on hallway and bedroom sizes that seem to be at the minimum that is reasonable.

#### Motion carried, 7-0.

ROLLCALL VOTE

Yeas: Lyon, Morganroth, Canvasser, Grove, Hart, Judd, Lillie

Nays: None

Absent: Jones. Miller

T# 09-68-16

# 1444 CHESTERFIELD (Appeal 16-27)

The owner of the property known as 1444 Chesterfield requests the following variance to construct a covered porch.

A. **Chapter 126, Article 4, Section 4.30 C.1** of the Zoning Ordinance allows the front porch and steps to project into the front yard setback a maximum of 10.0 ft. The proposed porch and steps project into the required front yard setback 31.7 ft., therefore, a variance of 21.7 ft. is requested.

This property is zoned R-1.

# **CASE DESCRIPTION**

# 660 MOHEGAN (23-37)

Hearing date: October 10, 2023

**Appeal No. 23-37**: The owner of the property known as **660 Mohegan**, requests the following variance to construct an addition to square the rear corner of the home:

A. Chapter 126, Article 2, Section 2.06.2 of the Zoning Ordinance requires a minimum rear yard setback of 30.00 feet. The proposed is 28.34 feet. Therefore, a variance of 1.66 feet is being requested.

**Staff Notes:** This applicant is proposing to square up the clipped corner at the rear of the existing home, which was constructed in 1983.

This property is zoned R1 – Single family residential.

Jeff Zielke, NCIDQ, LEED AP, COSS
Assistant Building Official



Received Date:

#### **CITY OF BIRMINGHAM**

#### Community Development - Building Department 151 Martin Street, Birmingham, MI 48009

Community Development: 248-530-1850 Fax: 248-530-1290 / www.bhamgov.org

#### APPLICATION FOR THE BOARD OF ZONING APPEALS

Hearing Date: \_\_\_\_\_

| Received By:  |   |  |   |   |   | Appeal #:   |  |
|---|---|--|---|---|---|---|--|
| Type of Variance:   | Interpretation  | on X   | imensional  | Land Use  | Sign  | - Admin Review  |  |
| I. PROPERTY INFORMA   | TION:   |  |   |   |   |   |  |
| Address:<br>660 Mohegan Street, Birmingha   | ım, Michigan 48009  |  | Lot Number:   |   | Sidwell Number: 08-19-25-403-019                              |   |  |
| II. OWNER INFORMATIO  | N:  |  |   |   |   |   |  |
| Name:<br>Glenn N. DesRosiers  |   |  |   |   |   |   |  |
| Address:<br>660 Mohegan Street  |   |  | City:<br>Birmingham   |   | State:<br>Michigan  | Zip code:   |  |
| Email:* glenn.desrosiers@freg.com   |   |  |   |   | Phone:<br>(248) 705-3278                                      |   |  |
| III. PETITIONER INFORM  | ATION:  |  |   |   |   |   |  |
| Name:<br>Glenn N. DesRosiers  |   |  | Firm/Compa  | ny Name:  |   |   |  |
| Address:<br>660 Mohegan Street  |   |  | City:<br>Birmingham   |   | State:<br>Michigan  | Zip code:   |  |
| Email:<br>glenn.desrosiers@freg.com   |   |  |   |   | Phone:<br>(248) 705-3278                                      |   |  |
| IV. GENERAL INFORMA   | TION:   |  |   |   |   |   |  |
| Building Official and/o<br>Staff will explain how al<br>clearly shown on the su<br>decimal point. | or City Planner for a<br>I requested variance<br>rvey and plans including<br>is \$360.00 for single | a preliminary<br>s must be high<br>ding a table as<br>family resider | discussion of the lighted on the sushown in the example itial; \$560.00 for | eir request and the do<br>urvey, site plan and cons<br>ample below. All dimens<br>all others. This amount | cuments that will<br>struction plans. Ea<br>sions to be shown | Building Official, Assistant II be required to be submitted. ch variance request must be in feet measured to the second a public notice sign which must |  |
|   | ,   |  | Variance Ch   |   |   |   |  |
| Requested Varian  |   | equired  | Existi  | •   | Proposed  | Variance Amount   |  |
| Variance A, Front S   |   | .00 Feet<br>.00 Feet   | 23.50 F<br>30.25 F  |   | 3.50 Feet<br>0.25 Feet  | 1.50 Feet<br>0.25 Feet  |  |
| Variance B, Heig  |   | .oo reet   | 30.25 F   | eet 3   | 0.25 Feet   | 0.25 Feet   |  |
|   |   | following  | in vour elec  | tronic submission   | ) <u>.</u>  |   |  |
| -   | pleted and signed   |  | your oloo   |   | <u> </u>  |   |  |
| <ul> <li>Signed letter of practical difficulty as</li> </ul>                                      |   |  | nd/or hardship  | )<br>   |   |   |  |
| <ul><li>Certified survey</li></ul>  |   |  |   |   |   |   |  |
| <ul> <li>Building plans including existing and proposed floor plans and elevations</li> </ul>     |   |  |   |   |   |   |  |
|   |   |  |   |   |   |   |  |
| VI. APPLICANT SIGNATU   |   | <u> </u>   |   | ,,  |   | , ,   |  |
| accurate to the best of r   | on, I agree to confor<br>my knowledge. Char<br>to the City, you agree                               | m to all applicanges to the plane                                    | able laws of the Ones   | City of Birmingham. All i   | m the Building Off<br>o not wish to receiv                    | ve these messages, you may  |  |
| Signature of Owner:_  |   | BAC59D6391<br>DocuSigned I   | <del>0047D</del>  |   | Date:   |   |  |
| Signature of Petition   | er:   | 1  | DesRosiers  |   | Date: <u>9-</u>   | 1-2023<br>1-2023  |  |
|   |   | BAC59D63910  | 0047D   |   |   | <del></del>   |  |

## CITY OF BIRMINGHAM BOARD OF ZONING APPEALS RULES OF PROCEDURE

## **ARTICLE I - Appeals**

- A. Appeals may be filed under the following conditions:
  - 1. A property owner may appeal for variance, modification or adjustment of the requirements of the Zoning Ordinance.
  - 2. A property owner may appeal for variance, modification or adjustment of the requirements of the Sign Ordinance.
  - 3. Any aggrieved party may appeal the decision of the Planning Board and/or the Building Official in accordance with the City of Birmingham Zoning Ordinance, Article Eight, Section 8.01 (D) Appeals. If an appellant requests a review of any determination of the Building Official, a complete statement setting forth the facts and reasons for the disagreement with the Building Official's determination shall include the principal point, or points on the decision, order or section of the ordinance appealed from, on which the appeal is based.
- B. Procedures of the Board of Zoning Appeals (BZA) are as follows:
  - 1. Regular BZA meetings, which are open to the public, shall be held on the second Tuesday of the month at 7:30 P.M. provided there are pending appeals. There will be a maximum of seven appeals heard at the regular meeting which are taken in the order received. If an appeal is received on time after the initial seven appeals have been scheduled, it will be scheduled to the next regular meeting.
  - 2. All applications for appeal shall be submitted to the Community Development Department on or before the 12<sup>th</sup> day of the month preceding the next regular meeting. If the 12<sup>th</sup> falls on a Saturday, Sunday, or legal holiday, the next working day shall be considered the last day of acceptance.
  - 3. All property owners and occupants within 300 feet of the subject property will be given written notice of a hearing by the City of Birmingham.
  - 4. See the application form for specific requirements. If the application is incomplete, the BZA may refuse to hear the appeal. The Building Official or City Planner may require the applicant to provide additional information as is deemed essential to fully advise the Board in reference to the appeal. Refusal or failure to comply shall be grounds for dismissal of the appeal at the discretion of the Board.
  - 5. In variance requests, applicants must provide a statement that clearly sets forth all special conditions that may have contributed to a practical difficulty that is preventing a reasonable use of the property.

- 6. Where the Birmingham Zoning Ordinance requires site plan approval of a project by the City Planning Board before the issuance of a building permit, applicants must obtain preliminary site plan approval by the Planning Board before appeal to the BZA for a variance request. If such appeal is granted by the BZA, the applicant must seek final site plan and design review approval from the Planning Board before applying for a building permit.
- 7. An aggrieved party may appeal a Planning Board decision. Such appeal must be made within 30 days of the date of the decision. The BZA, in its discretion, may grant additional time in exceptional circumstances.
- 8. Appeals from a decision of the Building Official shall be made within 30 days of the date of the order, denial of permit, or requirement or determination contested. The BZA, in its discretion, may grant additional time in exceptional circumstances.
- 9. An appeal stays all proceedings in accordance with Act #110, Public Acts of 2006, Article VI, Section 125.3604 (3).

#### C. The order of hearings shall be:

- 1. Presentation of official records of the case by the Building Official or City Planner as presented on the application form.
- 2. Applicant's presentation of his/her case—the applicant or his/her representative must be present at the appeal hearing.
- 3. Interested parties' comments and view on the appeal.
- 4. Rebuttal by applicant.
- 5. The BZA may make a decision on the matter or request additional information.

#### D. Motions and Voting

- 1. A motion is made to either grant or deny a petitioner's request
  - a) For a motion to grant or deny a non-use variance request, the motion must receive four (4) affirmative votes to be approved.
  - b) For a motion to grant or deny a use variance request, the motion must receive five (5) affirmative votes to be approved.
  - c) For a motion to grant or deny an appeal of a decision or order by an administrative official or board, the motion must receive four (4) affirmative votes to be approved.
- 2. When a motion made is to approve or deny a petitioner's request and if there is a tie vote, then the vote results in no action by the board and the petitioner shall be given an opportunity to have his or her request heard the next regularly scheduled meeting when all the members are present.

- 3. When there are less than seven (7) members of the board present for a meeting, then a petitioner requesting a use variance shall be given an opportunity at the beginning of the meeting to elect to have it heard at the next regularly scheduled meeting.
- 4. When there are less than six (6) members present for a meeting, then all petitioners shall be given an opportunity at the beginning of the meeting to elect to have the request heard at the next regularly scheduled meeting.

#### **ARTICLE II - Results of an Appeal**

- A. The Board may reverse, affirm, vary or modify any order, requirement, decision or determination as in its opinion should be made, and to that end, shall have all the powers of the officer from whom the appeal has been taken.
- B. The decisions of the Board shall not become final until the expiration of five (5) days from the date of entry of such orders or unless the Board shall find that giving the order immediate effect is necessary for the preservation of property and/or personal rights and shall so certify on the record.
- C. Whenever any variation or modification of the Zoning Ordinance is authorized by resolution of the BZA, a <u>Certificate of Survey</u> must be submitted to the Community Development Department with the building permit application. A building permit must be <u>obtained</u> within one year of the approval date.
- D. Failure of the appellant, or his representative, to appear for his appeal hearing will result in the appeal being adjourned to the next regular meeting. If, after notice, the appellant fails to appear for the second time, it will result in an automatic withdrawal of the appeal. The appellant may reapply to the BZA.
- E. Any applicant may, with the consent of the Board, withdraw his application at any time before final action.
- F. Any decision of the Board favorable to the applicant is tied to the plans submitted, including any modifications approved by the Board at the hearing and agreed to by the applicant, and shall remain valid only as long as the information or data provided by the applicant is found to be correct and the conditions upon which the resolution was based are maintained.

#### **ARTICLE III - Rehearings**

A. No rehearing of any decision of the Board shall be considered unless new evidence is submitted which could not reasonably have been presented at the previous hearing or unless there has been a material change of facts or law.

B. Application or rehearing of a case shall be in writing and subject to the same rules as an original hearing, clearly stating the new evidence to be presented as the basis of an appeal for rehearing.

I certify that I have read and understand the above rules of procedure for the City of Birmingham Board of Zoning Appeals.

Glenn N. DesRosiers
DesRosiers
Date: 2023.08.31 13:01:38 -04'00'

Digitally signed by Glenn N.

Signature of Applicant

#### GLENN N. DESROSIERS

660 Mohegan Street Birmingham, Michigan 48009

September 12, 2023

Zoning Board of Appeals City of Birmingham 151 Martin Street Birmingham Michigan 48009

Dear Board Members,

My name is Glenn DesRosiers, homeowner and resident of 660 Mohegan Street, Birmingham, Michigan 48009.

I acquired my home November 30, 2021 as I was intrigued by its contemporary design by well-known architect Alexander Bogaerts and unique setting in the Poppleton Park area; however, the home has some limitations and nuances that have caused me to embark upon a substantial renovation designed by my father, Louis DesRosiers, a third generation architect that has designed many homes and office buildings in the City of Birmingham.

One of the unique aspects of the home is that it is situated on a 45-degree angle on the lot, something that I have never seen before and have grown to appreciate, for the most part. One of the appealing elements of the home is that it was designed to have a three (3) car attached garage which was one of my deciding factors when purchasing it. This home was featured in the Birmingham Eccentric on November 22, 1984 (see attached article) emphasizing the ability to fit a three (3) car garage on the site.

The practical difficulty is that the southwest corner of the third car garage is cut off making it extremely difficult to utilize the area as a garage to fit an actual third car as intended as well as the new owner's bathroom above (see photos of existing conditions as well as new construction drawings) due to the 45-degree angle instead of a 90-degree angle of a very small area see attached drawings).

I am seeking approval from the board for a 20" variance in order to create a 90-degree structure on the first and second floor that will resolve the practical difficulty for both the garage and the future owner's bathroom above.

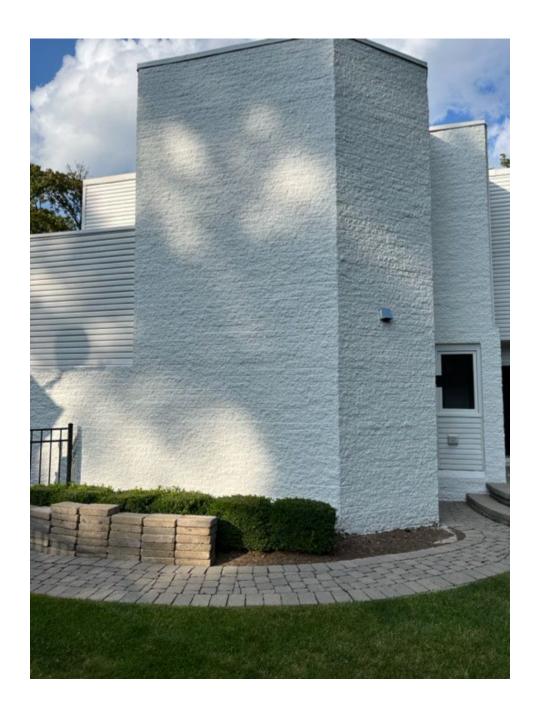
Please kindly advise if you have any questions or comments.

Thank you for your consideration.

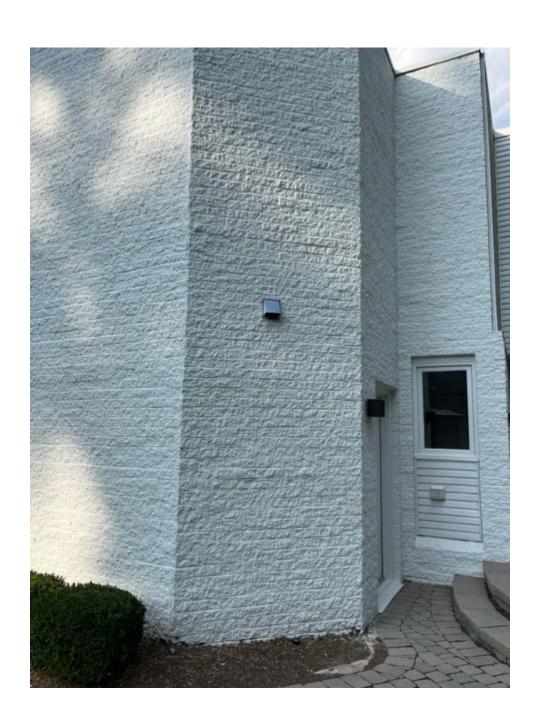
Very truly yours,

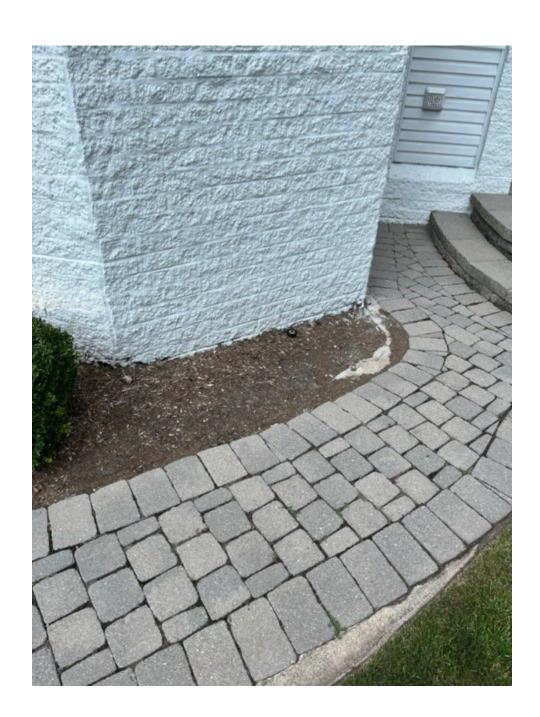
Glenn N. DesRosiers

#### **EXISTING CONDITIONS**















# Owner / Developer

GLENN N. DESROSIERS 660 Mohegan Street Birmingham, MI 48009 Email: glenn.desrosiers@freg.com Tel. (248) 705-3278

# Architect

DESROSIERS ARCHITECTS P.C. 36330 Woodward Avenue Suite 100, Birmingham MI 48304

# Civil Engineer

NOWAK & FRAUS ENGINEERS 46777 Woodward Ave. Pontiac, MI 48342-5032 Tel. (248) 332-7931 Fax. (248) 332-8257

CONTACT:

MICHAEL D. PETERSON, P.E. Email: mpeterson@nfe-engr.com Tel. (248) 332-7931 Fax. (248) 332-8257

LEGAL DESCRIPTION

described as follows:

Tax Id No. 08-19-25-403-019

Land is situated in the City of Birmingham, County of Oakland, State of Michigan and

Lot 226, Highland View Addition Subdivision No. 4, according to the plat thereof as

recorded in Liber 37 of Plats, page 14, Oakland County records.

# City of Birmingham, Oakland County, Michigan CONSTRUCTION DOCUMENTS Prepared For GLENN N. DESROSIERS

PART OF THE SE 1/4 OF SECTION 25, CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN



**Project Name** 

# 660 Mohegan Street Pool Plot Plan

## SHEET INDEX

Cover Sheet

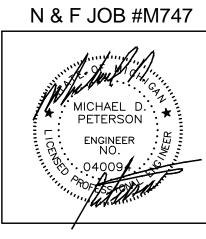
Boundary/Topo/Alta/ NSPS Land Title Survey Demolition & Soil Erosion Plan

Pool Patio Grading & Drainage Plan Yard Drain Structure Details

REVISIONS: 06-08-22 CITY REVIEW 07-21-22 REVISED PER CITY 08-15-22 REVISED PER CITY

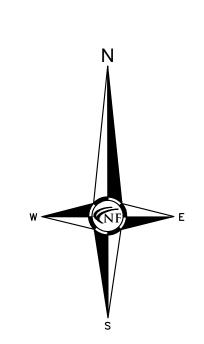


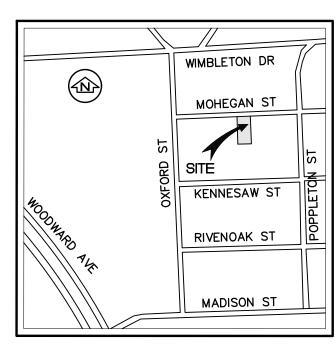




**CIVIL ENGINEERS** LAND SURVEYORS LAND PLANNERS

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM





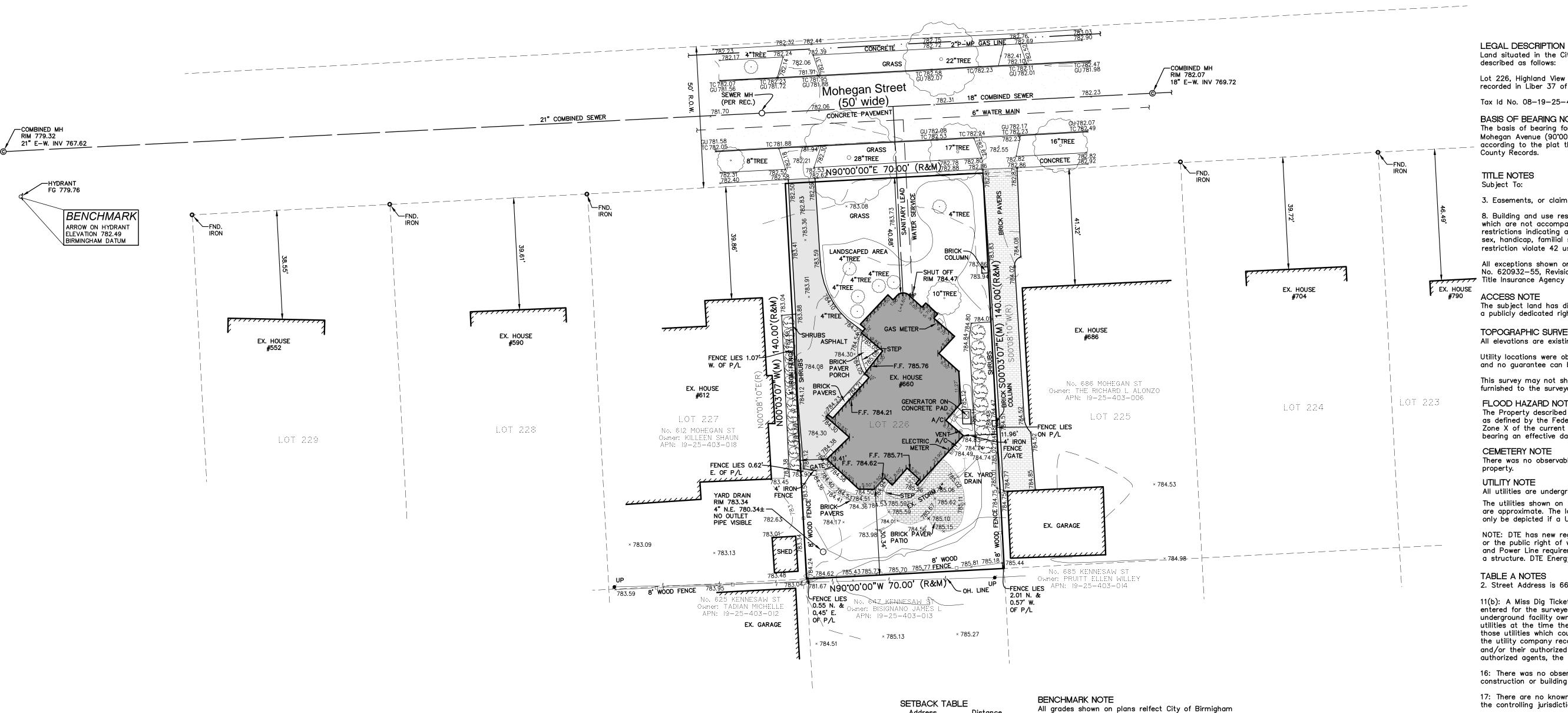
LOCATION MAP



## **NOWAK & FRAUS ENGINEERS**

**CIVIL ENGINEERS** LAND SURVEYORS LAND PLANNERS

46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM



Address

552 Mohegan

590 Mohegan

612 Mohegan

660 Mohegan

686 Mohegan 704 Mohegan

790 Mohegan

SITE DATA

Zoned: R2

**Building Setbacks:** 

Zoning Ordinance.

building setback requirements.

Total setback 286.43/7

Average setback = 40.91

Distance

38.55

39.61

39.86

40.88

41.32'

39.72

46.49

Gross Land Area: 9,799 Square Feet or 0.224 Acres.

no side yard shall be less than 5 feet

roofs only; 2 stories; and 24 feet for eaves.

vertical datum based on the City of Benchmarks:

Southwest corner of Abbey & Wimbleton; and

Southeast corner of Lawndale and Oakland.

Front= average of homes within 200 feet, if no homes within 200 feet, then 25 fee

Sides= 9 feet or 10% of total lot width whichever is larger for one side yard

14 feet or 25% of total lot width whichever is larger for both side yards

Max. Building Height permitted: 30 feet to midpoint for sloped roofs; 24 feet for flat

The above setback & height requirements were obtained from the City of Birmingham

A surveyor cannot make a certification on the basis of an interpretation or opinion of

Birmingham to insure conformity as well as make a final determination of the required

Total Striped Parking: 0 striped spaces including 0 barrier free (handicap) spaces.

another party. A zoning endorsement letter should be obtained from the City of

Birmingham Benchmark #4, Elevation 769.00, located at

Birmingham Benchmark #5, Elevation 778.58, located at

LEGEND

MANHOLF

MANHOLE CATCH BASIN

UTILITY POLE GUY POLE

→ √ GUY WIRE

—— S—— EXISTING SANITARY SEWER

HYDRANT GATE VALVE EXISTING WATER MAIN

EX. R.Y. CATCH BASIN

\_\_\_\_ · · · \_\_\_\_\_ EXISTING GAS MAIN

.... EXISTING SAN. CLEAN OUT

EXISTING STORM SEWER

----- EXISTING BURIED CABLES

< OVERHEAD LINES

LIGHT POLE

Land situated in the City of Birmingham, County of Oakland, State of Michigan and described as follows:

Lot 226, Highland View Addition Subdivision No. 4, according to the plat thereof as recorded in Liber 37 of Plats, Page 14, Oakland County Records.

Tax Id No. 08-19-25-403-019

#### BASIS OF BEARING NOTE

The basis of bearing for this survey was established by the South right of way line of according to the plat thereof as recorded in Liber 37 of Plats, Page 14, Oakland County Records. Mohegan Avenue (90°00'00"W) as recorded in Highland View Addition Subdivision No. 4,

#### TITLE NOTES

Subject To:

3. Easements, or claims of easements, not shown by the Public Records.

8. Building and use restrictions, easements and charges recorded in Liber 1814, Page 142, which are not accompanied by a right of reverter, but deleting any covenants, conditions or restrictions indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restriction violate 42 usc 3064 (c) [DOCUMENT NOT PROVIDED]

All exceptions shown or noted on this survey were obtained from title commitment No. 620932-55, Revision No: 2 with a commitment date of 09-22-2021, issued by Capital Title Insurance Agency

#### ACCESS NOTE

The subject land has direct vehicle and pedestrian access to Mohegan Street a publicly dedicated right of way.

#### TOPOGRAPHIC SURVEY NOTE

All elevations are existing elevations, unless otherwise noted

Utility locations were obtained from municipal officials and records of utility companies, and no guarantee can be made to the completeness, or exactness of location.

This survey may not show all easements of record unless an updated title policy is

furnished to the surveyor by the owner.

### FLOOD HAZARD NOTE

The Property described on this survey does not lie within a Special Flood Hazard Area as defined by the Federal Emergency Management Agency; the property lies within Zone X of the current available Flood Insurance Rate Map identified as Map No. X bearing an effective date of X.

# CEMETERY NOTE

There was no observable evidence of cemeteries or burial grounds within the subject

### property.

UTILITY NOTE

### All utilities are underground unless otherwise noted.

The utilities shown on this survey were determined by field observation. All locations are approximate. The location of any other underground services which may exist can

only be depicted if a Utility Plan is furnished to the surveyor.

NOTE: DTE has new regulations that may impact development outside their easement or the public right of way. Client shall contact DTE to determine the New Structures and Power Line requirements as they may apply to any future building or renovation of a structure. DTE Energy can be contacted at 800-477-4747

#### TABLE A NOTES 2. Street Address is 660 Mohegan Avenue, Birmingham, Ml.

11(b): A Miss Dig Ticket number B13440259, pursuant to Michigan Public Act 174 was entered for the surveyed property. Due to the extended reporting period for underground facility owners to provide their records, the survey may not reflect all the utilities at the time the survey was issued on 01-21-2022. The survey only reflects those utilities which could be observed by the surveyor in the field or as depicted by the utility company records furnish prior to the date this survey was issued. The Client and/or their authorized agent shall verify with the Facility Owners and/or their authorized agents, the completeness and exactness of the utilities location.

16: There was no observable evidence of current earth moving work, building construction or building additions observed in the process of conducting the fieldwork.

17: There are no known proposed changes in street right—of—way lines available from the controlling jurisdiction.

17: There was no observable evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.

18: Improvements within offsite easements or servitudes as provided by the Title Company are shown within 25 feet of the subject land only.

### SURVEYOR'S CERTIFICATION

Marla S. Feldman Living Trust u/t/a dated May 18, 2004, as it may be now or hereafter amended and restated Flagstar Bank, FSB

Glenn N DesRosiers Stewart Title Guaranty Company

Capital Title Insurance Agency This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS

Kevin Christopher Navaroli, P.S. No 4001053503 Dated: 01-24-2022 Revised: 03-04-2022

| Land Title Surveys, jointly established and adopted bitems 2, 3, 4, 6(a), 6(b), 7(a), 7(b1), 7(c), 8, 9, 13 |   | ] |
|---|---|---|
| The field work was completed on 01-04-2022.   |   | E |
| The held work was completed on or or 2022.  | OF MICH                                 | 1 |
|   | CAN | - |
|   | KEVIN +                                 | ( |
|   | CHRISTOPHER C                           | _ |
| Kevin Christopher Navaroli, P.S.  | NAVAROLI OB<br>R License No. 448        | S |
| No 4001053503   | Mus Ficelize NO. 140                    |   |

DRAWN BY: D.McConkey APPROVED BY: K.N./R.FRAUS EMAIL:

PROJECT

No. 660

SHEET

660 Mohegan Avenue

PROJECT LOCATION

Mohegan Avenue

Part of the SE. 1/4 of

City of Birmingham,

Oakland County, MI

ALTA / NSPS

REVISIONS

Land Title Survey

01-24-2022 ORIGINAL SURVEY

06-08-2022 REVISED TOPO

03-04-2022 ADDITIONAL SURVEY

07-21-2022 ADJUSTED TO BIRMINGHAM DATUM

Section 25, T.2N., R.10E.,

Boundary / Topographic /

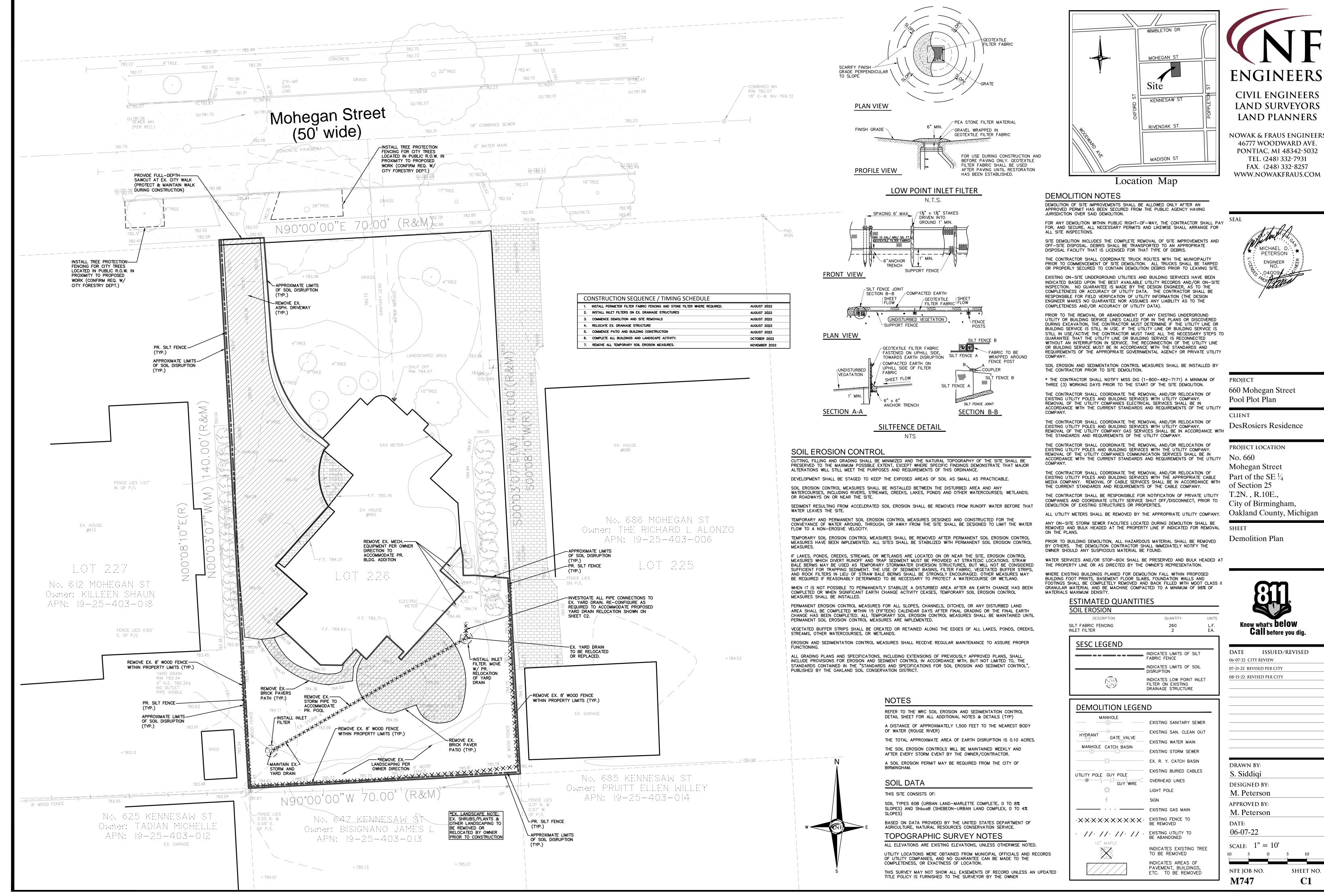
rfraus@nfe-engr.com DATE ISSUED: 01-24-2022

SCALE: 1''=20'NFE JOB NO.

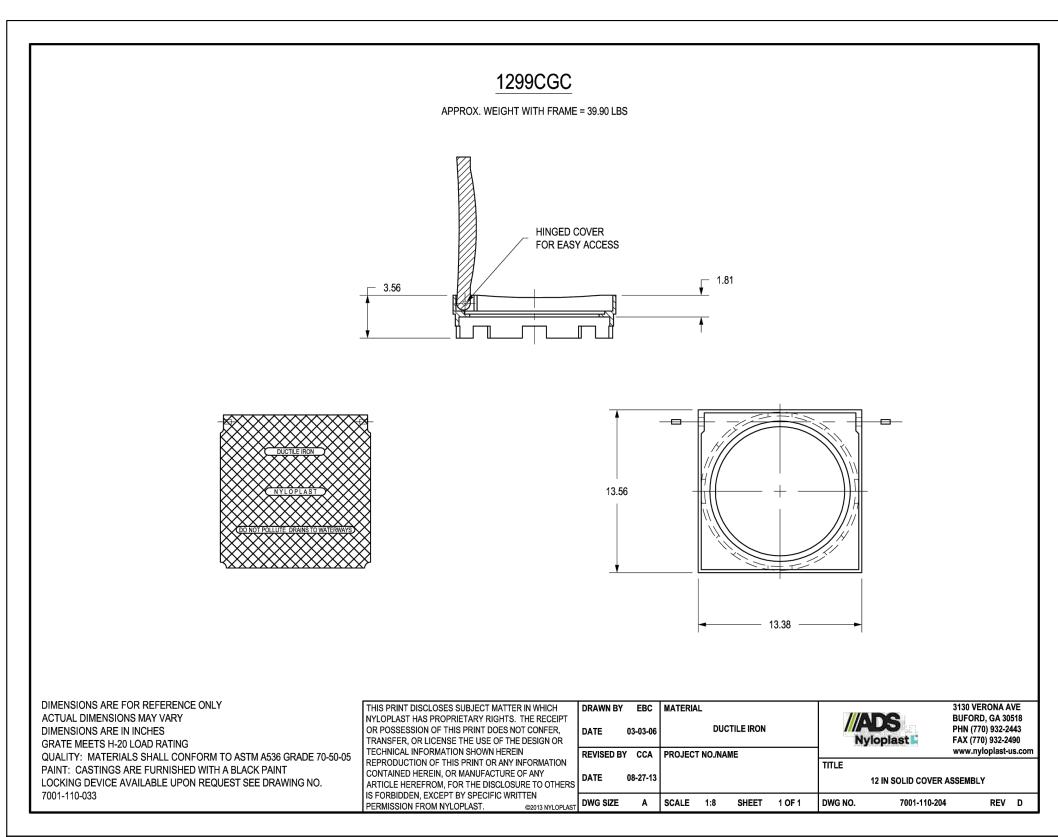
M747

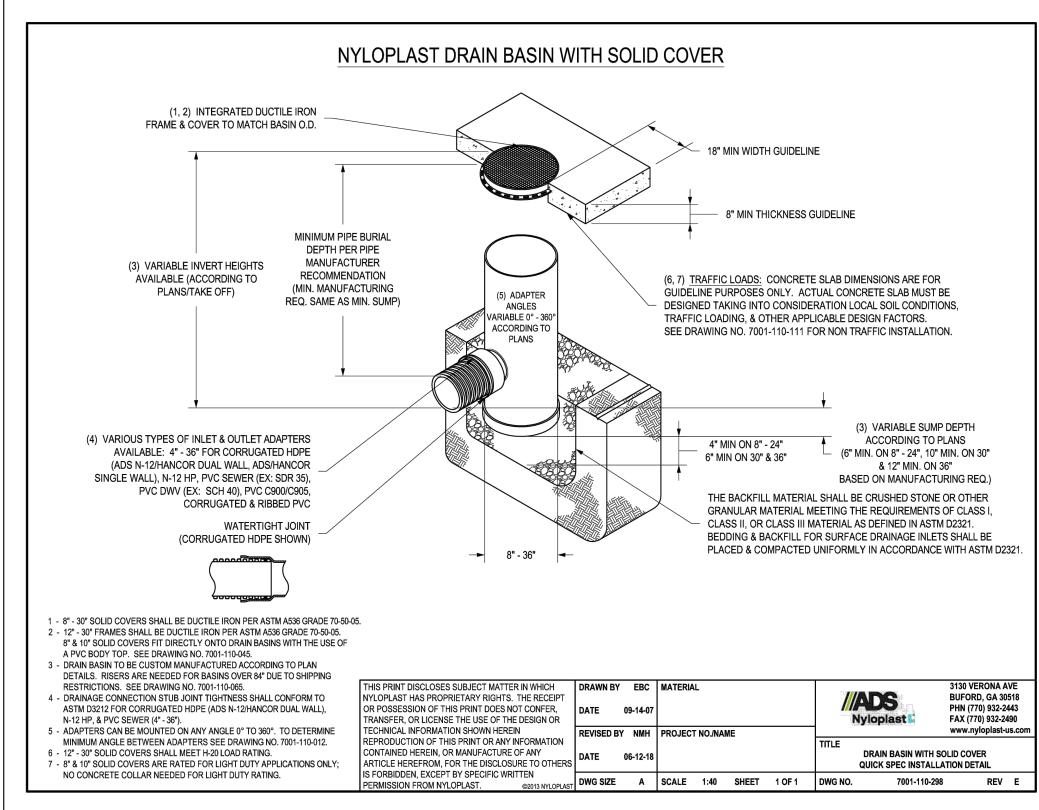
SHEET NO. 1 of 1

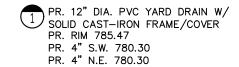
**CHRISTOPHE** NAVAROLI License No , 4001053503 **,** 6

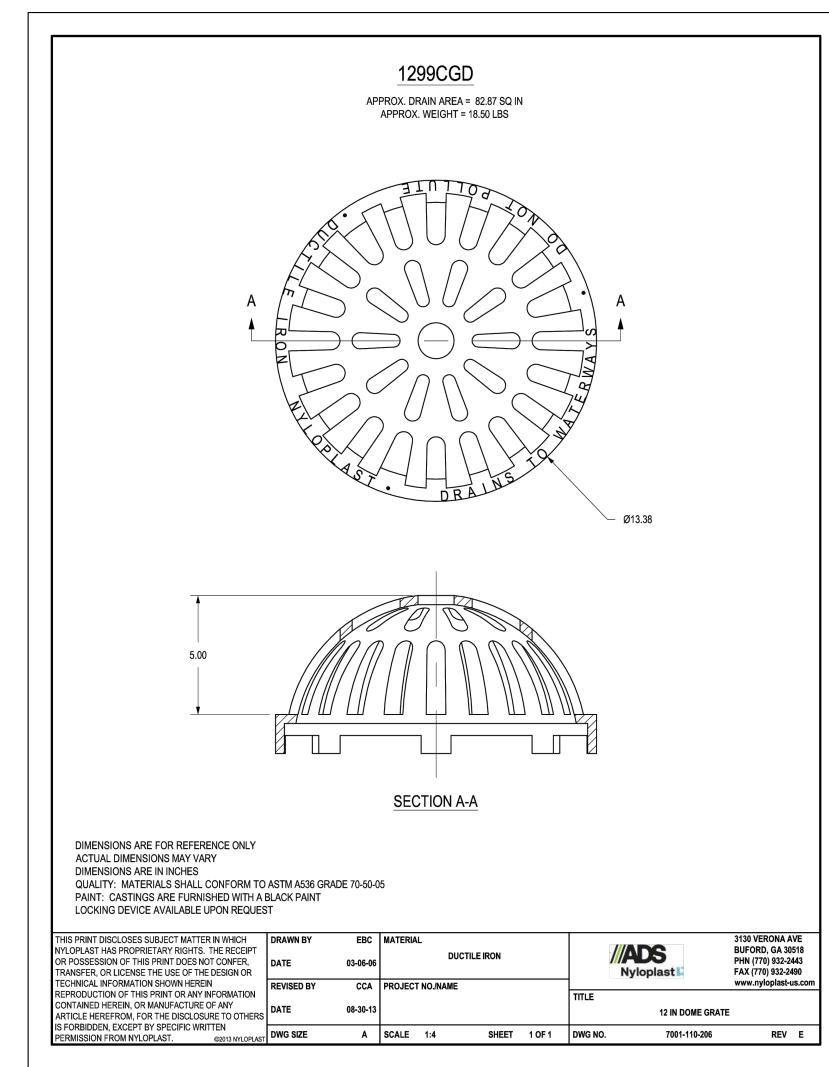


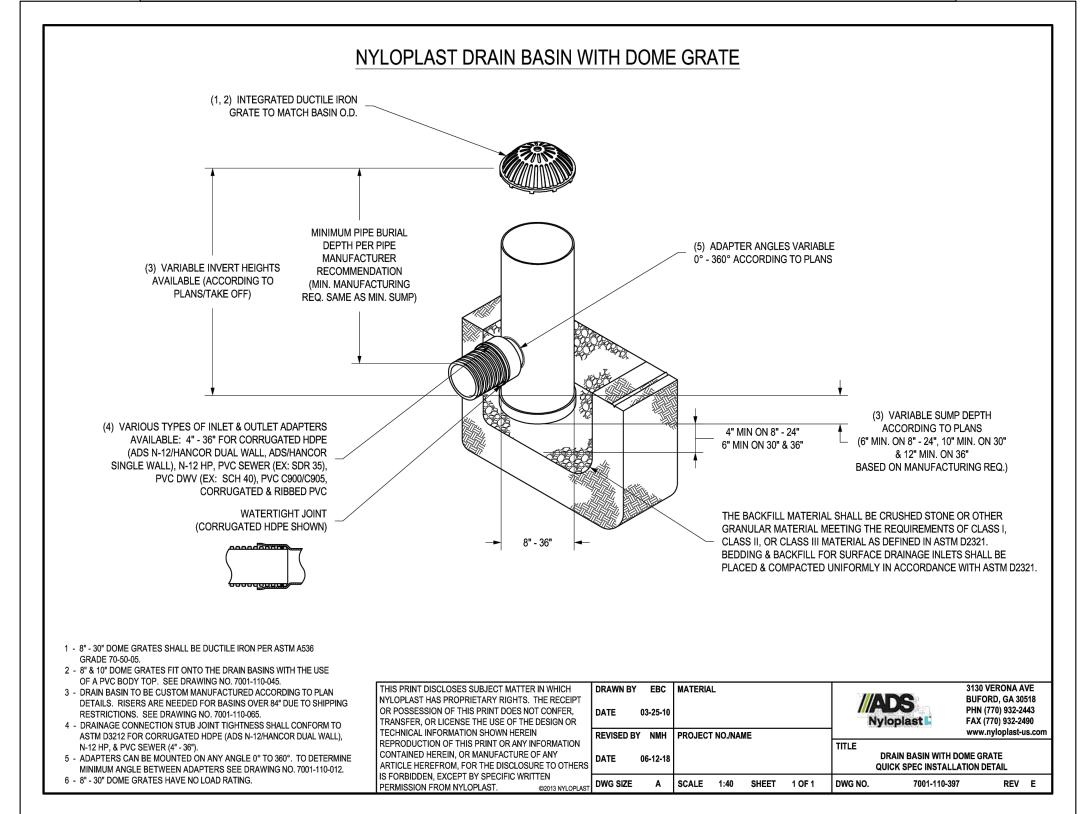
**NOWAK & FRAUS ENGINEERS** 

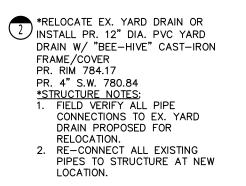


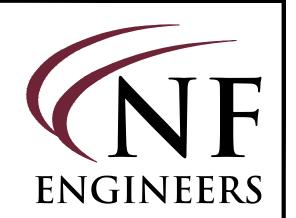






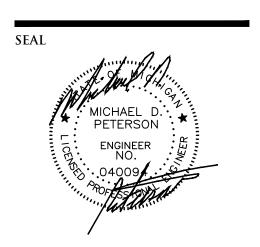






CIVIL ENGINEERS Land Surveyors Land Planners

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM



PROJECT

660 Mohegan Street Pool Plot Plan

CLIENT

Dog Pagions Do

DesRosiers Residence

PROJECT LOCATION

No. 660

Mohegan Street

Part of the SE  $\frac{1}{4}$ of Section 25

T.2N., R.10E.,

City of Birmingham,

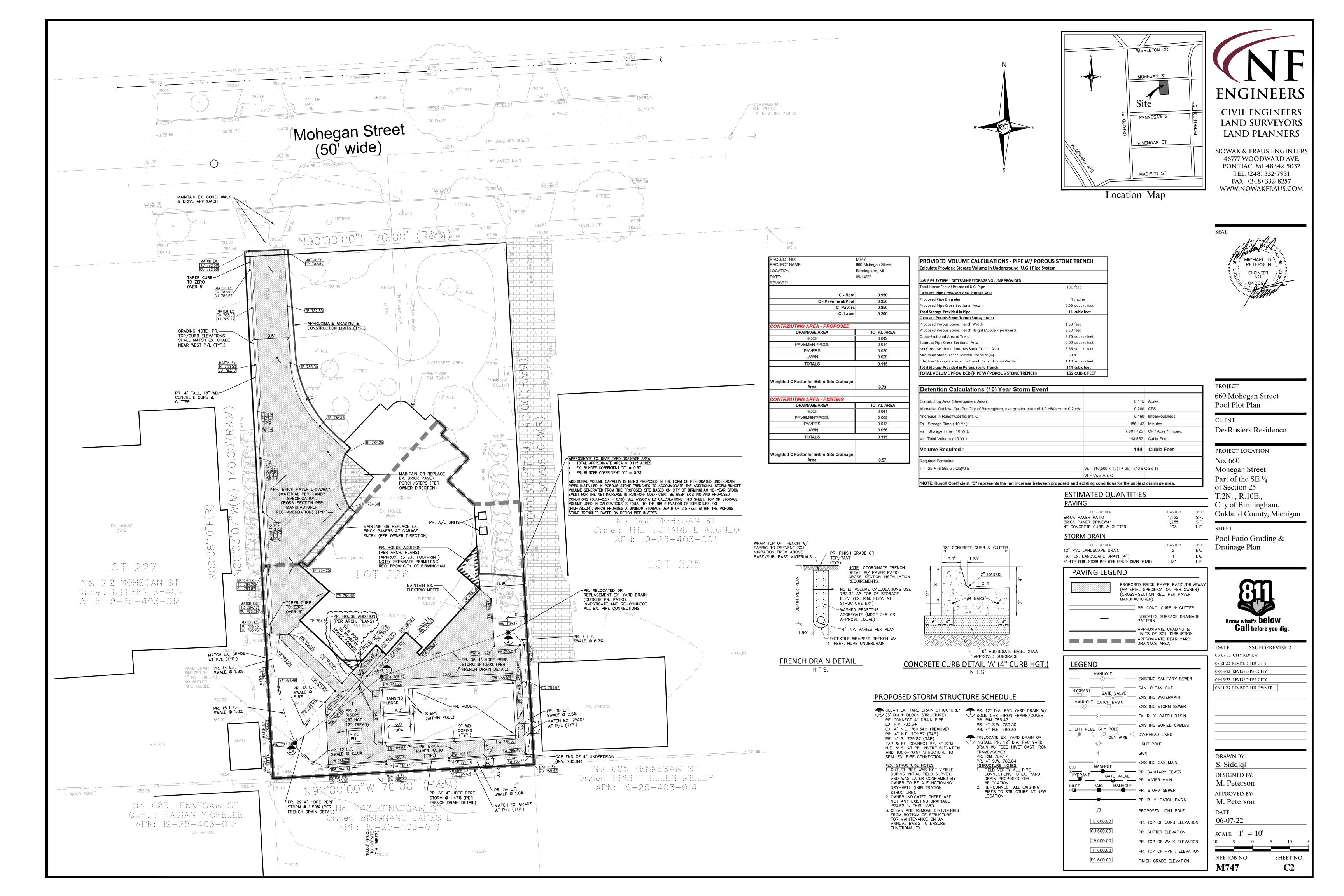
Oakland County, Michigan

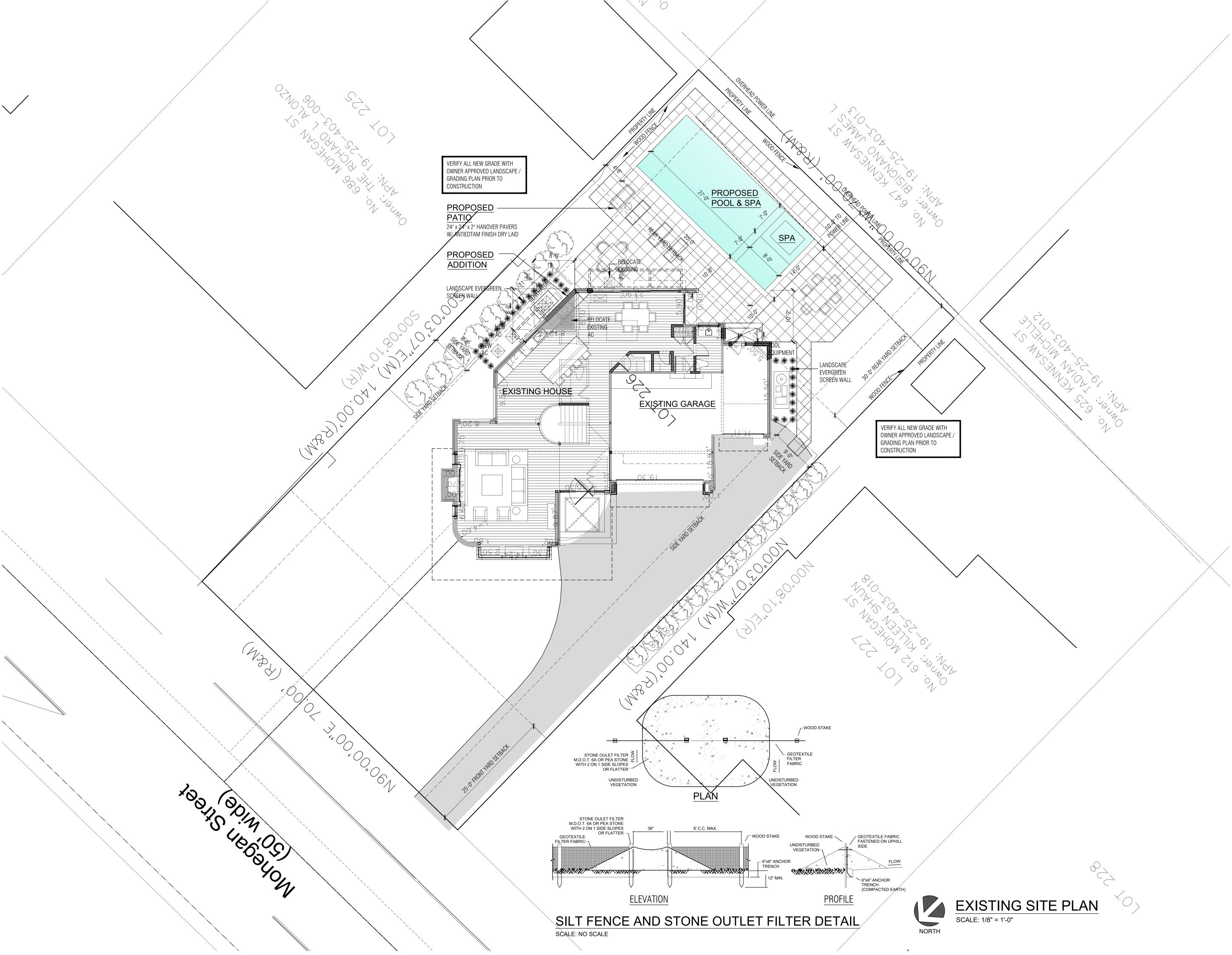
SHEET

Yard Drain Structure Details



| DATE  | ISSUED/REVI                              | SED |
|---|--|-----|
| 06-07-22 CIT  | Y REVIEW                                 |     |
| 07-21-22 REVI   | ISED PER CITY                            |     |
| 08-15-22 REV  | ISED PER CITY                            |     |
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| DRAWN B   | BY:                                      |     |
| S. Siddi  | ai                                       |     |
| o. oluul  |  |     |
|   |  |     |
| DESIGNE   | D BY:                                    |     |
| designe<br>M. Pete  | D BY:<br>erson                           |     |
| designe<br>M. Pete<br>approve                                 | D BY:<br>erson<br>D BY:                  |     |
| designe<br>M. Pete<br>approve                                 | D BY:<br>erson<br>D BY:                  |     |
| DESIGNE<br>M. Pete<br>APPROVE<br>M. Pete                      | D BY:<br>erson<br>D BY:                  |     |
| DESIGNE<br>M. Pete<br>APPROVE<br>M. Pete<br>DATE:             | D BY:<br>erson<br>D BY:<br>erson         |     |
| DESIGNE<br>M. Pete<br>APPROVE<br>M. Pete<br>DATE:<br>06-07-22 | D BY: erson D BY: erson                  |     |
| DESIGNED M. Pete APPROVED M. Pete DATE: 06-07-22              | D BY: erson  D BY: erson  2  1" = 10'    | 100 |
| DESIGNE<br>M. Pete<br>APPROVE<br>M. Pete<br>DATE:<br>06-07-22 | D BY: erson D BY: erson                  | 10  |
| DESIGNED M. Pete APPROVED M. Pete DATE: 06-07-22              | D BY: erson  D BY: erson  2  1" = 10'  0 | 10  |







1930 Hilton Road Ferndale, Michigan 48220 Suite 200

Phone: 248-761-6402



Downight 0040

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DesRosiers Residence

660 Mohegan Street Birmingham, Michigan 48009 SHEET TITLE:

# ARCHITECTURAL SITE PLAN

PROJECT NUMBER: 2022-04

SETBACK REQUIREMENTS
ZONED R-1
REAR YARD = 30'-0"
FRONT YARD = 25'-0"
MINIMUM COMBINED FRONT & REAR 55'-0"
SIDE YARD
14'-0" OR 25% OF TOTAL LOT WIDTH
WHICHEVER IS LARGER FOR BOTH SIDES YARDS
LOT WIDTH 70'-0" x 25% = 17'-6" COMBINED

SITE SQUARE FOOTAGE CALCULATIONS
ZONED R-1
EXISTING SITE = 9,799
PROPOSED HOUSE FOOTPRINT W/ ADDITION = 2,128
EXISTING DRIVE & ENTRY = 1,450
PROPOSED POOL & PATIO = 1,693
TOTAL COVERAGE = 5,271

OPEN SPACE CALCULATION
MINIMUM OPEN SPACE REQUIRED = 40% REQUIRED
(9,799 LOT-5,271 COVERAGE
= 4,528 / 9,799) = 46% PROVIDED

LOT COVERAGE

MAX. LOT COVERAGE REQUIRED = 30% REQUIRED
(9,799 LOT-2,128 HOUSE = 7,671
7,671 / 9,799) = 22% PROVIDED

NOTE: ELEVATION TARGET HEIGHTS ARE CALCULATED FROM MAIN LEVEL FINISH FLOOR BENCH MARK

ELEVATION 100'-0" REFER TO SURVEY PLAN FOR CORRESPONDING USGS ELEVATION (741.50)

NOTE:
DO NOT SCALE DRAWINGS; CONTRACTOR TO

NOTIFY ARCHITECT FOR MISSING DIMENSION

NOTE:
CONTRACTOR TO FIELD VERIFY ALL DIMENSION
HEIGHTS & ELEVATIONS AND MUST NOTIFY

CODE:
DESIGNED IN ACCORDANCE WITH MICHIGAN
RESIDENTIAL CODE 2015, MICHIGAN PLUMBING
CODE 2015, MICHIGAN MECHANICAL CODE 2015

ARCHITECT OF ANY DISCREPANCIES

AND THE STATE ELECTRICAL CODE.

DATE:

02.10.2022: STRUCTURAL REVIEW

02.10.2022: STRUCTURAL REVIEW 04.20.2022: DRAFT SET FOR REVIEW 04.27.2022: PERMIT SET

11.17.2022: REVIEW SET
12.08.2022: STRUCTURAL ENGINEER REVIEW
01.06.2023: DOOR SCHEDULE FOR EXISTING DOORS

01.17.2023: STRUCTURAL REVIEW 02.17.2023: BIDDING

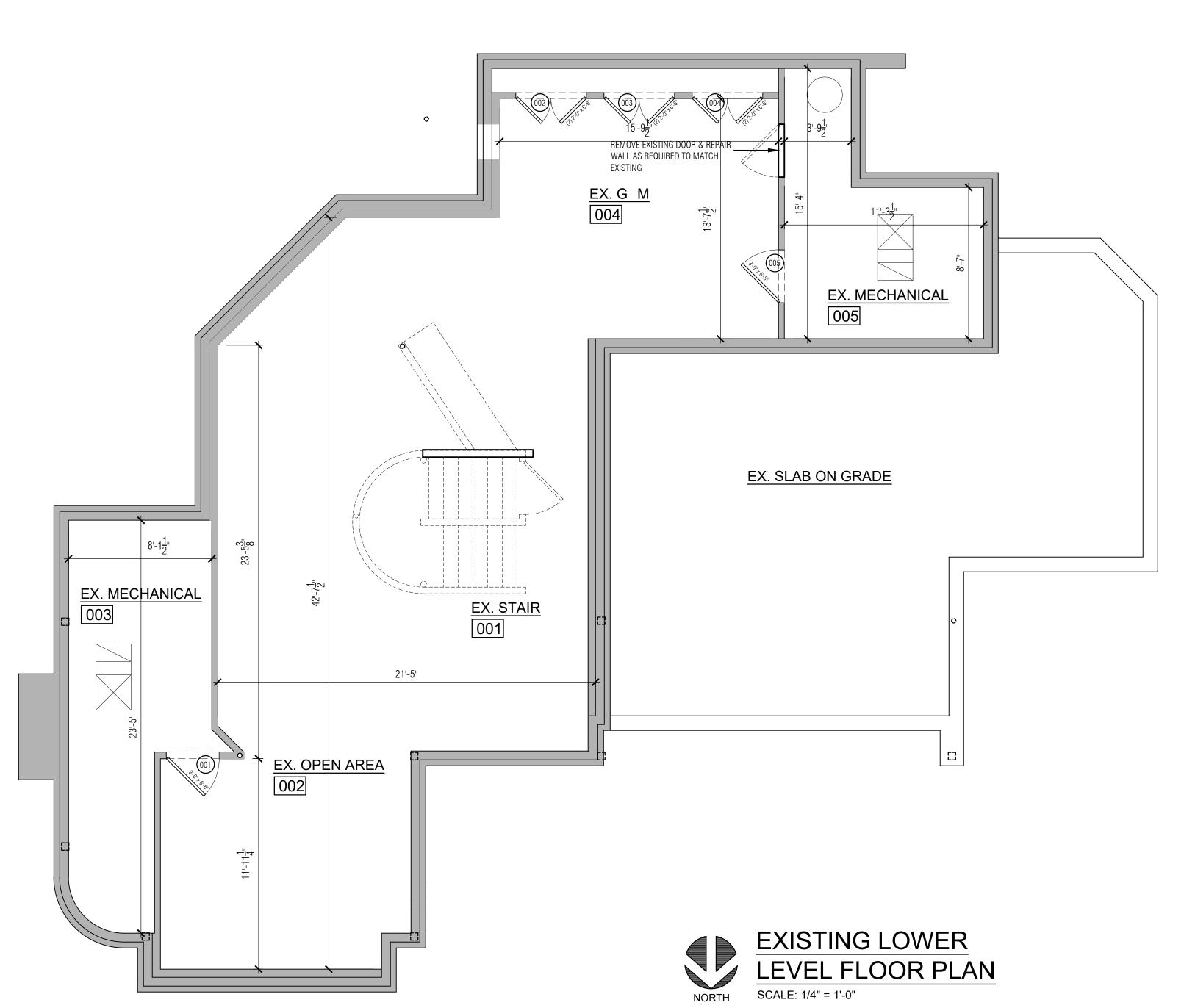
03.17.2023: REVISED BIDDING (ELECTRICAL / LIGHTING)

08.10.2023: REVISED UPPER LEVEL

09.10.2023: REVISED UPPER LEVEL / PERMIT

DRAWING SHEET:

SP-1





1930 Hilton Road Ferndale, Michigan 48220 Suite 200 Phone: 248-761-6402



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DesRosiers Residence

660 Mohegan Street Birmingham, Michigan 48009 SHEET TITLE:

**EXISTING LOWER** 

LEVEL FLOOR PLAN

PROJECT NUMBER: 2022-04

NOTE:
DO NOT SCALE DRAWINGS; CONTRACTOR TO NOTIFY ARCHITECT FOR MISSING DIMENSION

CONTRACTOR TO FIELD VERIFY ALL DIMENSION, HEIGHTS & ELEVATIONS AND MUST NOTIFY ARCHITECT OF ANY DISCREPANCIES

DESIGNED IN ACCORDANCE WITH MICHIGAN RESIDENTIAL CODE 2015, MICHIGAN PLUMBING CODE 2015, MICHIGAN MECHANICAL CODE 2015 AND THE STATE ELECTRICAL CODE.

02.10.2022: STRUCTURAL REVIEW 04.20.2022: DRAFT SET FOR REVIEW

04.27.2022: PERMIT SET 11.17.2022: REVIEW SET

12.08.2022: STRUCTURAL ENGINEER REVIEW 01.06.2023: DOOR SCHEDULE FOR EXISTING DOORS

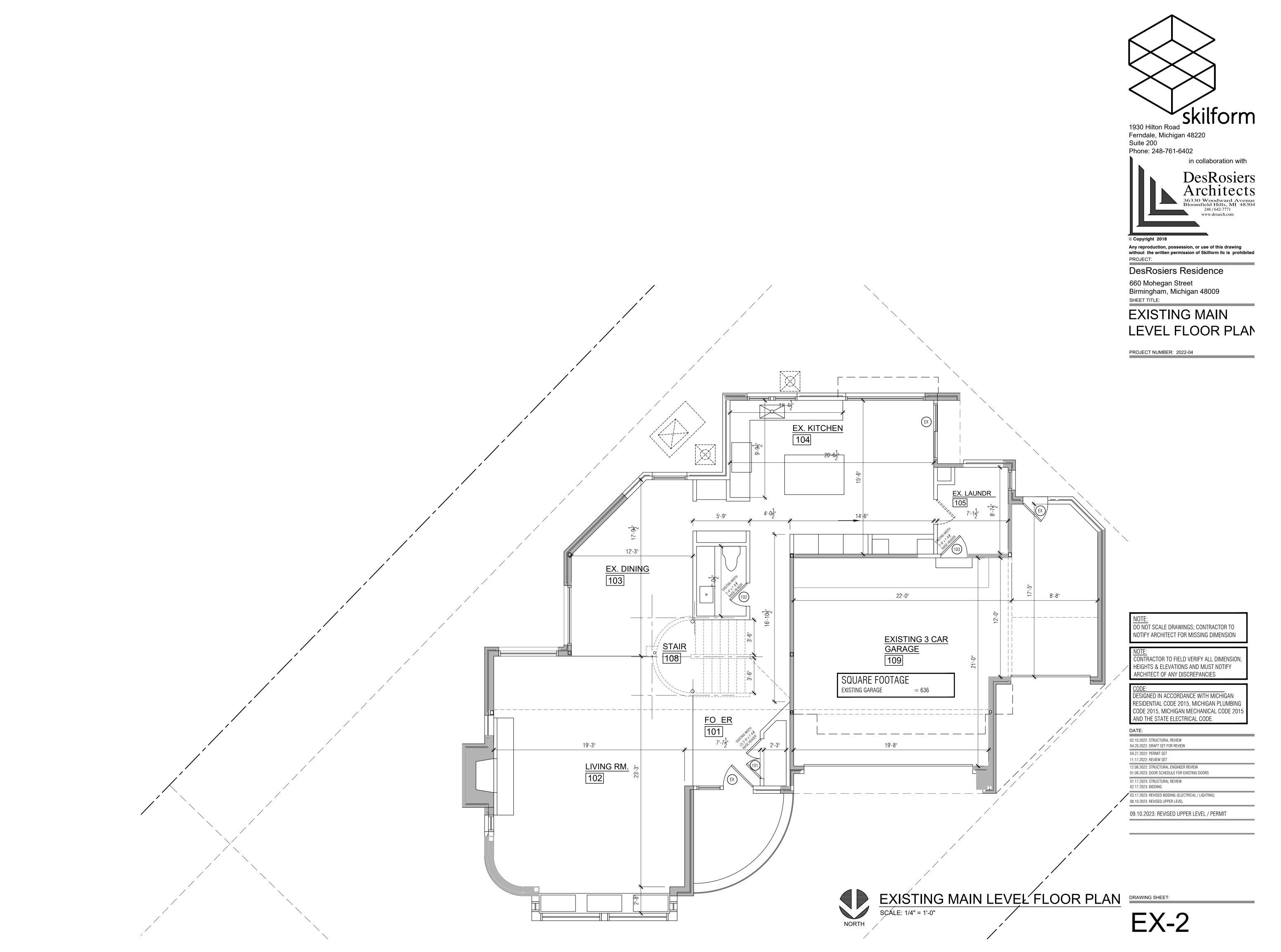
01.17.2023: STRUCTURAL REVIEW 02.17.2023: BIDDING

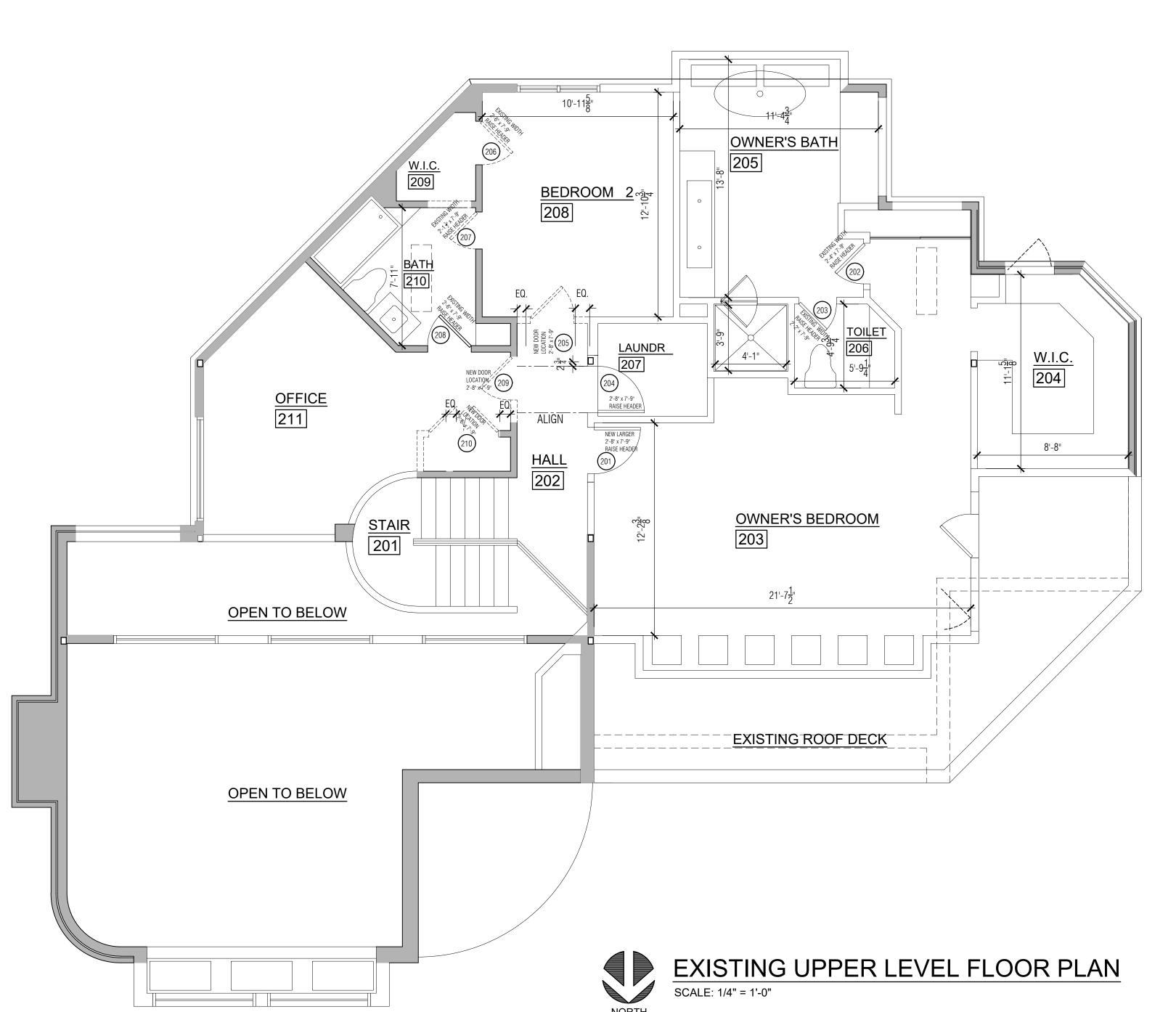
03.17.2023: REVISED BIDDING (ELECTRICAL / LIGHTING) 08.10.2023: REVISED UPPER LEVEL

09.10.2023: REVISED UPPER LEVEL / PERMIT

DRAWING SHEET:

EX-1







1930 Hilton Road Ferndale, Michigan 48220 Suite 200 Phone: 248-761-6402



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DesRosiers Residence

660 Mohegan Street Birmingham, Michigan 48009 SHEET TITLE:

# **EXISTING UPPER** LEVEL PLAN

PROJECT NUMBER: 2022-04

NOTE:
DO NOT SCALE DRAWINGS; CONTRACTOR TO NOTIFY ARCHITECT FOR MISSING DIMENSION

CONTRACTOR TO FIELD VERIFY ALL DIMENSION HEIGHTS & ELEVATIONS AND MUST NOTIFY ARCHITECT OF ANY DISCREPANCIES

DESIGNED IN ACCORDANCE WITH MICHIGAN RESIDENTIAL CODE 2015, MICHIGAN PLUMBING CODE 2015, MICHIGAN MECHANICAL CODE 2015 AND THE STATE ELECTRICAL CODE.

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12.08.2022: STRUCTURAL ENGINEER REVIEW 01.06.2023: DOOR SCHEDULE FOR EXISTING DOORS

01.17.2023: STRUCTURAL REVIEW 02.17.2023: BIDDING 03.17.2023: REVISED BIDDING (ELECTRICAL / LIGHTING) 08.10.2023: REVISED UPPER LEVEL

09.10.2023: REVISED UPPER LEVEL / PERMIT

DRAWING SHEET:

EX-3

#### ACCUMULATION OF DEBRIS, ON-SITE BURNING, AND USE OF THE OWNER'S TRASH DISPOSAL METHODS ARE PROHIBITED. . IN-SO-FAR AS POSSIBLE, ALL EVIDENCE OF A DEFICIENT, DAMAGED OR UNSAFE CONDITION OF EXISTING CONSTRUCTION NOTED TO BE RE-USED SHALL BE REPLACED OR REPAIRED TO SATISFACTORY CONDITION CONSISTENT WITH THE NEW WORK REQUIREMENTS. . CLEAN UP DIRT AND DEBRIS CAUSED BY DEMOLITION IMMEDIATELY AFTER THE WORK OPERATION. B. KEEP ENTRANCES CLEAN AND FREE OF MUD, DIRT AND DEBRIS. $9.\;\;$ IF THE CONTRACTOR BECOMES AWARE OF ANY ALTERATION THAT WILL OR HAS CREATED ANY UNSAFE OR UNANTICIPATED STRUCTURAL CONDITION, HE IS TO IMMEDIATELY NOTIFY THE ARCHITECT. 0. ABANDONED, UNUSED OR FUNCTIONLESS MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT, PIPING, CONDUIT, FIXTURE, ETC. SHALL BE REMOVED IN ACCORDANCE WITH THE MECHANICAL, ELECTRICAL OR PLUMBING CODE, AND THE REQUIREMENTS OF THESE DRAWINGS. IN NO CASE SHALL ANY ABANDONED ITEM REMAIN. 11. DEMOLITION ASSOCIATED WITH ELECTRICAL WORK SHALL BE COORDINATED WITH ELECTRICAL DRAWINGS. REMOVE EXISTING FLOOR —— 12. REMOVE AND DISPOSE OF ANY CONSTRUCTION NOT INDICATED TO REMAIN AND NOT REQUIRED FOR OVERHANG COMPLETION OF NEW CONSTRUCTION. REMOVE & RELOCATE 13. PROTECT REMAINING SURFACES, EQUIPMENT AND PROPERTY. CONTRACTOR SHALL BE RESPONSIBLE EXISTING AC UNIT FOR REPAIR OF ANY DAMAGE OCCURRING DURING CONSTRUCTION. REMOVE EXISTING EXTERIOR WALLS & — 14. COORDINATE ALL DEMOLITION WORK WITH NEW CONSTRUCTION INCLUDING MECHANICAL, ELECTRICAL REMOVE EXISTING WINDOW FOR —— WINDOW SHOWN W/ DASHED LINES: & PLUMBING. NEW WINDOW PROVIDE TEMPORARY SHORING AS REQUIRED REMOVE & RELOCATE EXISTING AC UNIT REMOVE & RELOCATE — - REMOVE EXISTING DOOR EXISTING GENERATOR REMOVE EXISTING EXTERIOR WALLS & WINDOW SHOWN W/ DASHED LINES; EX. KITCHEN PROVIDE TEMPORARY SHORING AS REQUIRED ——— REMOVE EXISTING PLUMBING FIXTURES; CAP LINES AS REQUIRED REMOVE EXISTING — REMOVE EXISTING WALLS, CABINET — & APPLIANCES EX. LAUNDR REMOVE EXISTING REMOVE EXISTING HARDWOOD FLOOR ─── HARDWOOD FLOOR REMOVE EXISTING REMOVE EXISTING REMOVE EXISTING WALLS & —— WÂLLS & DOORS D00R CABINETS REMOVE EXISTING PLUMBING FIXTURES; CAP LINES AS REQUIRED EX. DINING 103 REMOVE EXISTING HARDWOOD FLOOR **EXISTING 3 CAR** REMOVE EXISTING — GARAGE 109 STAIRS -REMOVE EXISTING WINDOW STAIR RAISE HEADER 108 REMOVE EXISTING — REMOVE EXISTING WINDOW OVERHEAD DOOR RAISE HEADER REMOVE EXISTING STEP REMOVE EXISTING — DOORS & WALLS - REMOVE EXISTING WALL PROVIDE FO ER HEADER AS REQUIRED FOR SUPPORT REMOVE EXISTING 101 OVERHEAD DOOR LIVING RM. REMOVE EXISTING HARDWOOD FLOOR & SUBFLOOR AS REQUIRED REMOVE EXISTING ROOF OVERHANG TO LEVEL FLOOR REMOVE EXISTING FIREPLACE \_\_REMOVE EXISTING DOOR\_\_T **&WINDOWS** SURROUND & HEARTH REMOVE EXISTING WINDOW REMOVE EXISTING STEPS — RAISE HEADER — REMOVE EXISTING WINDOWS & — SKYLIGHT MAIN LEVEL DEMO PLAN



- . REQUIREMENTS SPECIFIED HEREIN APPLY TO DEMOLITION WORK REQUIRED TO COMPLETE NEW CONSTRUCTION.
- P. COMPLY WITH ALL GOVERNING CODES, LAWS AND REGULATIONS APPLICABLE TO DEMOLITION WORK. IF INSPECTIONS, PERMIT FEES, ETC. ARE REQUIRED BY THE CITY, STATE OR COUNTY, THE GENERAL CONTRACTOR SHALL ARRANGE FOR AND PAY ANY COSTS INVOLVED FOR SUCH ITEMS OR INSPECTIONS.
- . PROVIDE ADEQUATE PROTECTION FOR PERSONS, REMAINING SURFACES, EQUIPMENT, ADJACENT PROPERTY AND CONSTRUCTION DURING OPERATIONS TO REMOVE EXISTING CONSTRUCTION. MAINTAIN EXISTING PUBLIC AND OCCUPANT ACCESS ROUTES AND ENTRANCES.
- . MATERIALS, EQUIPMENT AND DEBRIS RESULTING FROM DEMOLITION, NOT DESIGNATED FOR RE-USE OR DESIGNATED AS SALVAGE BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IMMEDIATELY IN THEIR ENTIRETY AT THE EXPENSE OF THE

# MAIN LEVEL DEMO FLOOR PLAN

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Birmingham, Michigan 48009

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PROJECT NUMBER: 2022-04

660 Mohegan Street

1930 Hilton Road

Suite 200

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PROJECT:

SHEET TITLE:

Ferndale, Michigan 48220

in collaboration with

36330 Woodward Avenue Bloomfield Hills, MI 48304

248 / 642-7771

www.desarch.com

Phone: 248-761-6402

WALL LEGEND: **EXISTING WALLS TO REMAIN** 

WALLS & DOORS TO DEMO

DO NOT SCALE DRAWINGS; CONTRACTOR TO NOTIFY ARCHITECT FOR MISSING DIMENSION

CONTRACTOR TO FIELD VERIFY ALL DIMENSION HEIGHTS & ELEVATIONS AND MUST NOTIFY ARCHITECT OF ANY DISCREPANCIES

DESIGNED IN ACCORDANCE WITH MICHIGAN RESIDENTIAL CODE 2015, MICHIGAN PLUMBING CODE 2015, MICHIGAN MECHANICAL CODE 2013

AND THE STATE ELECTRICAL CODE.

02.10.2022: STRUCTURAL REVIEW 04.20.2022: DRAFT SET FOR REVIEW 04.27.2022: PERMIT SET

11.17.2022: REVIEW SET 12.08.2022: STRUCTURAL ENGINEER REVIEW 01.06.2023: DOOR SCHEDULE FOR EXISTING DOORS 01.17.2023: STRUCTURAL REVIEW

02.17.2023: BIDDING 03.17.2023: REVISED BIDDING (ELECTRICAL / LIGHTING) 08.10.2023: REVISED UPPER LEVEL

09.10.2023: REVISED UPPER LEVEL / PERMIT

# GENERAL DEMOLITION NOTES:

- REQUIREMENTS SPECIFIED HEREIN APPLY TO DEMOLITION WORK REQUIRED TO COMPLETE NEW CONSTRUCTION.
- 2. COMPLY WITH ALL GOVERNING CODES, LAWS AND REGULATIONS APPLICABLE TO DEMOLITION WORK. IF INSPECTIONS, PERMIT FEES, ETC. ARE REQUIRED BY THE CITY, STATE OR COUNTY, THE GENERAL CONTRACTOR SHALL ARRANGE FOR AND PAY ANY COSTS INVOLVED FOR SUCH ITEMS OR INSPECTIONS.
- 3. PROVIDE ADEQUATE PROTECTION FOR PERSONS, REMAINING SURFACES, EQUIPMENT, ADJACENT PROPERTY AND CONSTRUCTION DURING OPERATIONS TO REMOVE EXISTING CONSTRUCTION. MAINTAIN EXISTING PUBLIC AND OCCUPANT ACCESS ROUTES AND ENTRANCES.
- 4. MATERIALS, EQUIPMENT AND DEBRIS RESULTING FROM DEMOLITION, NOT DESIGNATED FOR RE-USE OR DESIGNATED AS SALVAGE BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IMMEDIATELY IN THEIR ENTIRETY AT THE EXPENSE OF THE CONTRACTOR.
- 5. ACCUMULATION OF DEBRIS, ON-SITE BURNING, AND USE OF THE OWNER'S TRASH DISPOSAL METHODS ARE PROHIBITED.
- . IN-SO-FAR AS POSSIBLE, ALL EVIDENCE OF A DEFICIENT, DAMAGED OR UNSAFE CONDITION OF EXISTING CONSTRUCTION NOTED TO BE RE-USED SHALL BE REPLACED OR REPAIRED TO SATISFACTORY CONDITION CONSISTENT WITH THE NEW WORK REQUIREMENTS.
- CLEAN UP DIRT AND DEBRIS CAUSED BY DEMOLITION IMMEDIATELY AFTER THE WORK OPERATION.

  B. KEEP ENTRANCES CLEAN AND FREE OF MUD, DIRT AND DEBRIS.
- 9. IF THE CONTRACTOR BECOMES AWARE OF ANY ALTERATION THAT WILL OR HAS CREATED ANY UNSAFE OR UNANTICIPATED STRUCTURAL CONDITION, HE IS TO IMMEDIATELY NOTIFY THE ARCHITECT.
- 0. ABANDONED, UNUSED OR FUNCTIONLESS MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT, PIPING, CONDUIT, FIXTURE, ETC. SHALL BE REMOVED IN ACCORDANCE WITH THE MECHANICAL, ELECTRICAL OR PLUMBING CODE, AND THE REQUIREMENTS OF THESE DRAWINGS. IN NO CASE SHALL ANY ABANDONED ITEM REMAIN.
- 11. DEMOLITION ASSOCIATED WITH ELECTRICAL WORK SHALL BE COORDINATED WITH ELECTRICAL DRAWINGS.

UPPER LEVEL DEMO FLOOR

SCALE: 1/4" = 1'-0"

- 12. REMOVE AND DISPOSE OF ANY CONSTRUCTION NOT INDICATED TO REMAIN AND NOT REQUIRED FOR COMPLETION OF NEW CONSTRUCTION.
- 13. PROTECT REMAINING SURFACES, EQUIPMENT AND PROPERTY. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY DAMAGE OCCURRING DURING CONSTRUCTION.
- 14. COORDINATE ALL DEMOLITION WORK WITH NEW CONSTRUCTION INCLUDING MECHANICAL, ELECTRICAL & PLUMBING.



1930 Hilton Road Ferndale, Michigan 48220

Phone: 248-761-6402

Suite 200

in collaboration with

DesRosiers
Architects

36330 Woodward Avenue
Bloomfield Hills, MI 48304
248/642-7771

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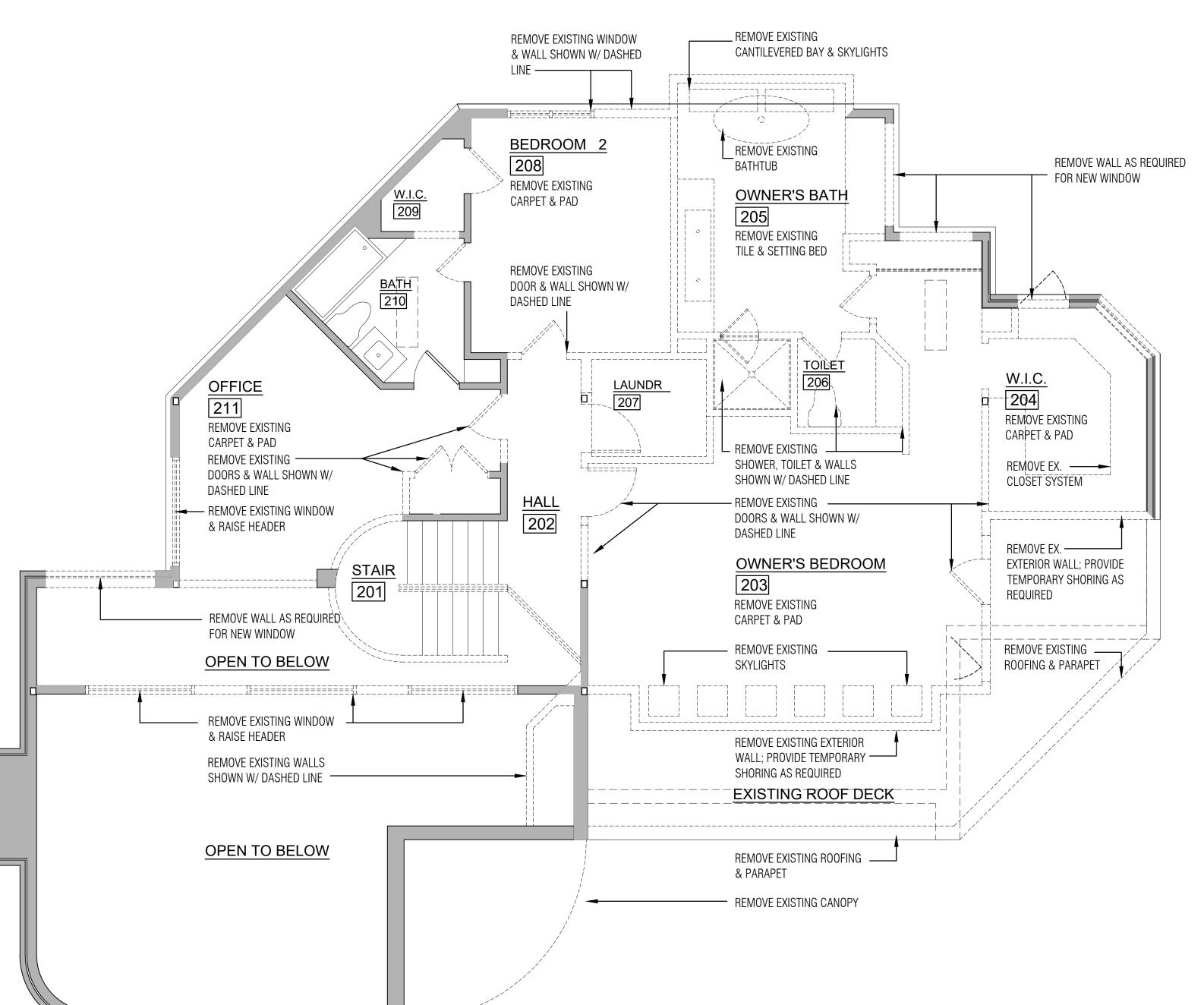
DesRosiers Residence

660 Mohegan Street

Birmingham, Michigan 48009
SHEET TITLE:

# UPPER LEVEL DEMO FLOOR PLAN

PROJECT NUMBER: 2022-04



NOTE:

DO NOT SCALE DRAWINGS; CONTRACTOR TO NOTIFY ARCHITECT FOR MISSING DIMENSION

NOTE:
CONTRACTOR TO FIELD VERIFY ALL DIMENSION
HEIGHTS & ELEVATIONS AND MUST NOTIFY
ARCHITECT OF ANY DISCREPANCIES

CODE:

DESIGNED IN ACCORDANCE WITH MICHIGAN
RESIDENTIAL CODE 2015, MICHIGAN PLUMBING
CODE 2015, MICHIGAN MECHANICAL CODE 2015
AND THE STATE ELECTRICAL CODE.

DATE:

02.10.2022: STRUCTURAL REVIEW
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04.27.2022: PERMIT SET
11.17.2022: REVIEW SET
12.08.2022: STRUCTURAL ENGINEER REVIEW
01.06.2023: DOOR SCHEDULE FOR EXISTING DOORS

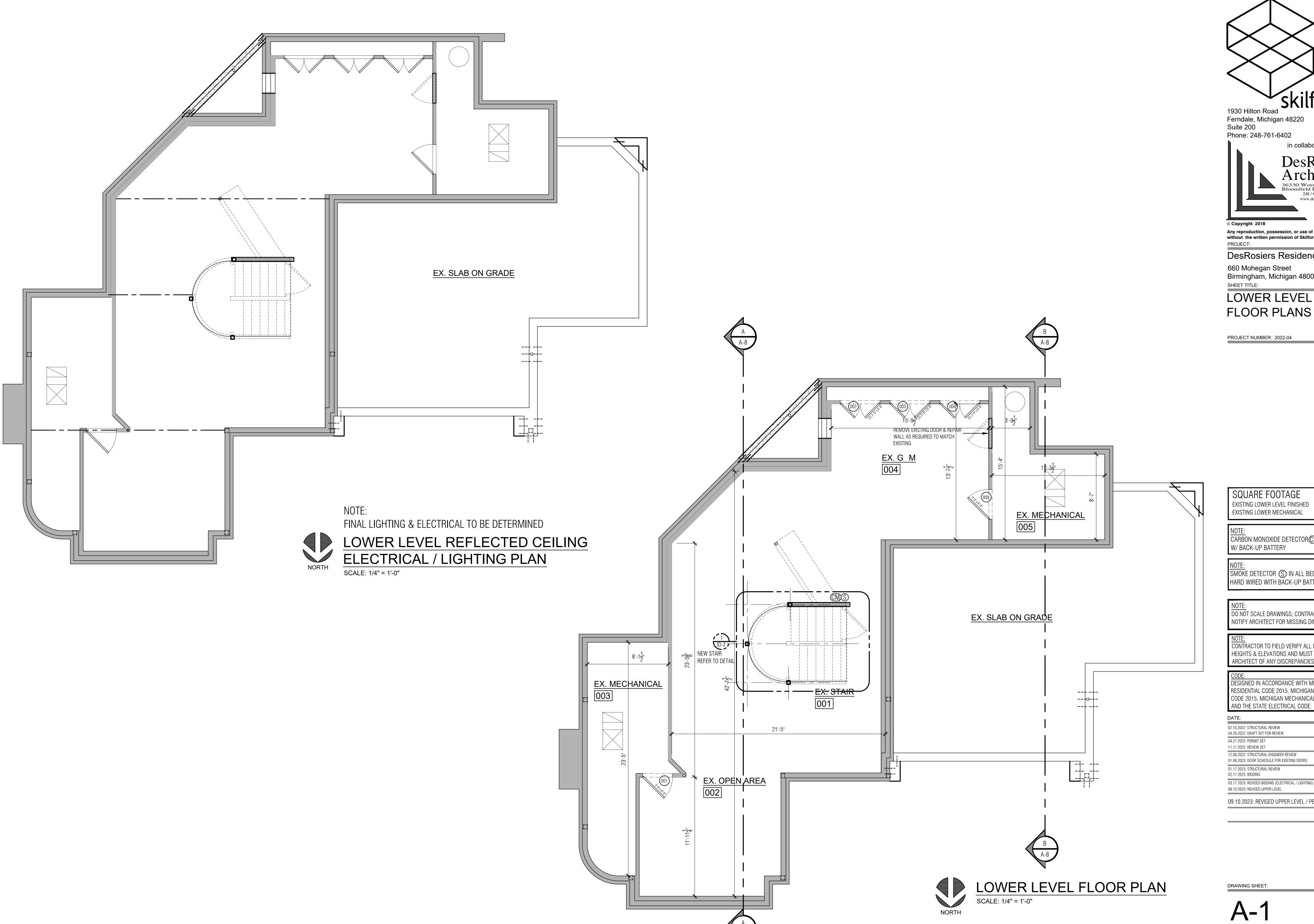
01.17.2023: STRUCTURAL REVIEW
02.17.2023: BIDDING
03.17.2023: REVISED BIDDING (ELECTRICAL / LIGHTING)

03.17.2023: REVISED BIDDING (ELECTRICAL / LIGHTING)
08.10.2023: REVISED UPPER LEVEL

09.10.2023: REVISED UPPER LEVEL / PERMIT

DRAWING SHEET:

D-2



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LOWER LEVEL FLOOR PLANS

PROJECT NUMBER: 2022-04

SQUARE FOOTAGE

EXISTING LOWER LEVEL FINISHED EXISTING LOWER MECHANICAL

CARBON MONOXIDE DETECTOR CM WIRED W/ BACK-UP BATTERY

SMOKE DETECTOR (S) IN ALL BEDROOMS
HARD WIRED WITH BACK-UP BATTERY

DO NOT SCALE DRAWINGS; CONTRACTOR TO NOTIFY ARCHITECT FOR MISSING DIMENSION

CONTRACTOR TO FIELD VERIFY ALL DIMENSION, HEIGHTS & ELEVATIONS AND MUST NOTIFY ARCHITECT OF ANY DISCREPANCIES

DESIGNED IN ACCORDANCE WITH MICHIGAN RESIDENTIAL CODE 2015, MICHIGAN PLUMBING CODE 2015, MICHIGAN MECHANICAL CODE 2015

02.10.2022: STRUCTURAL REVIEW

04.20.2022: DRAFT SET FOR REVIEW

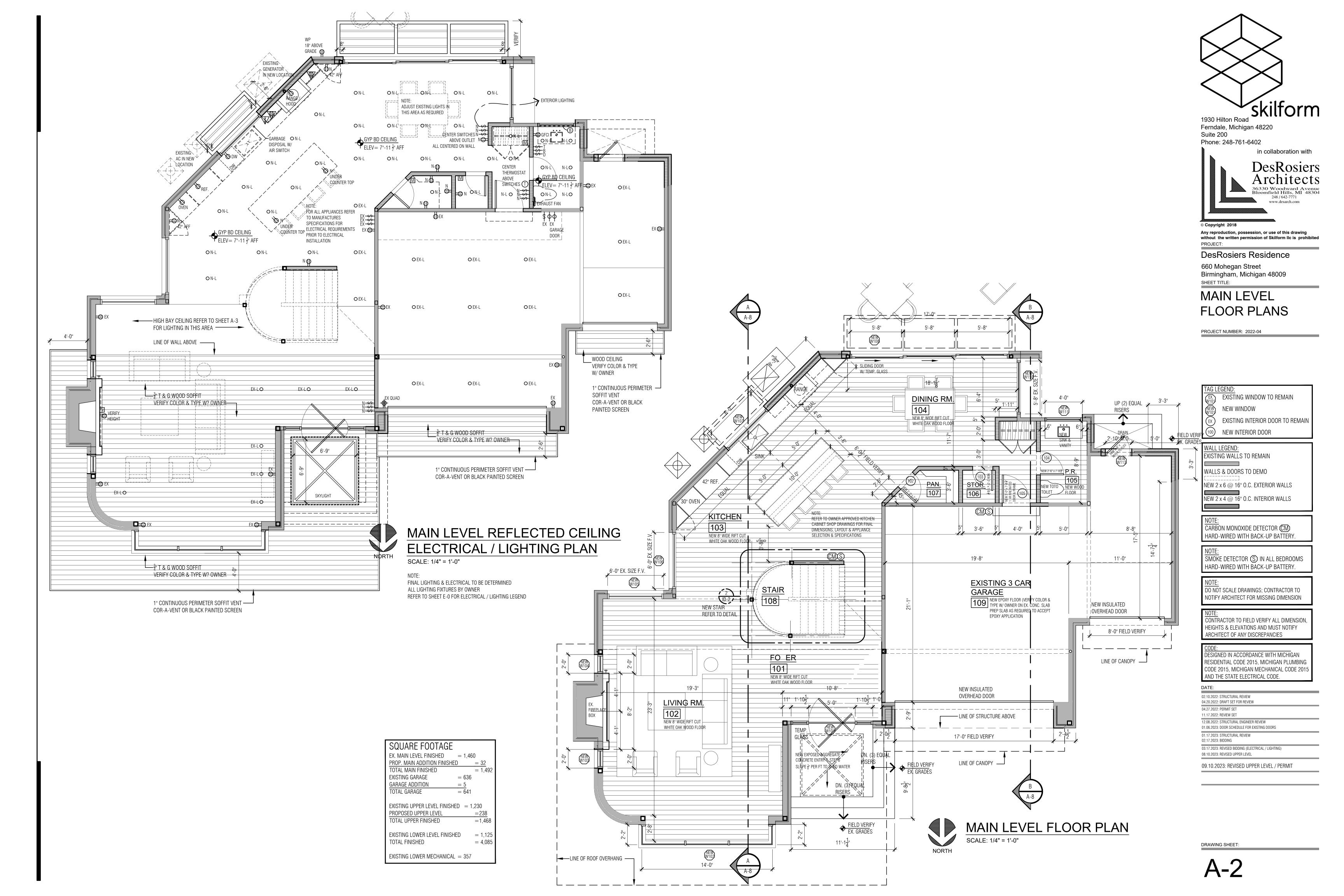
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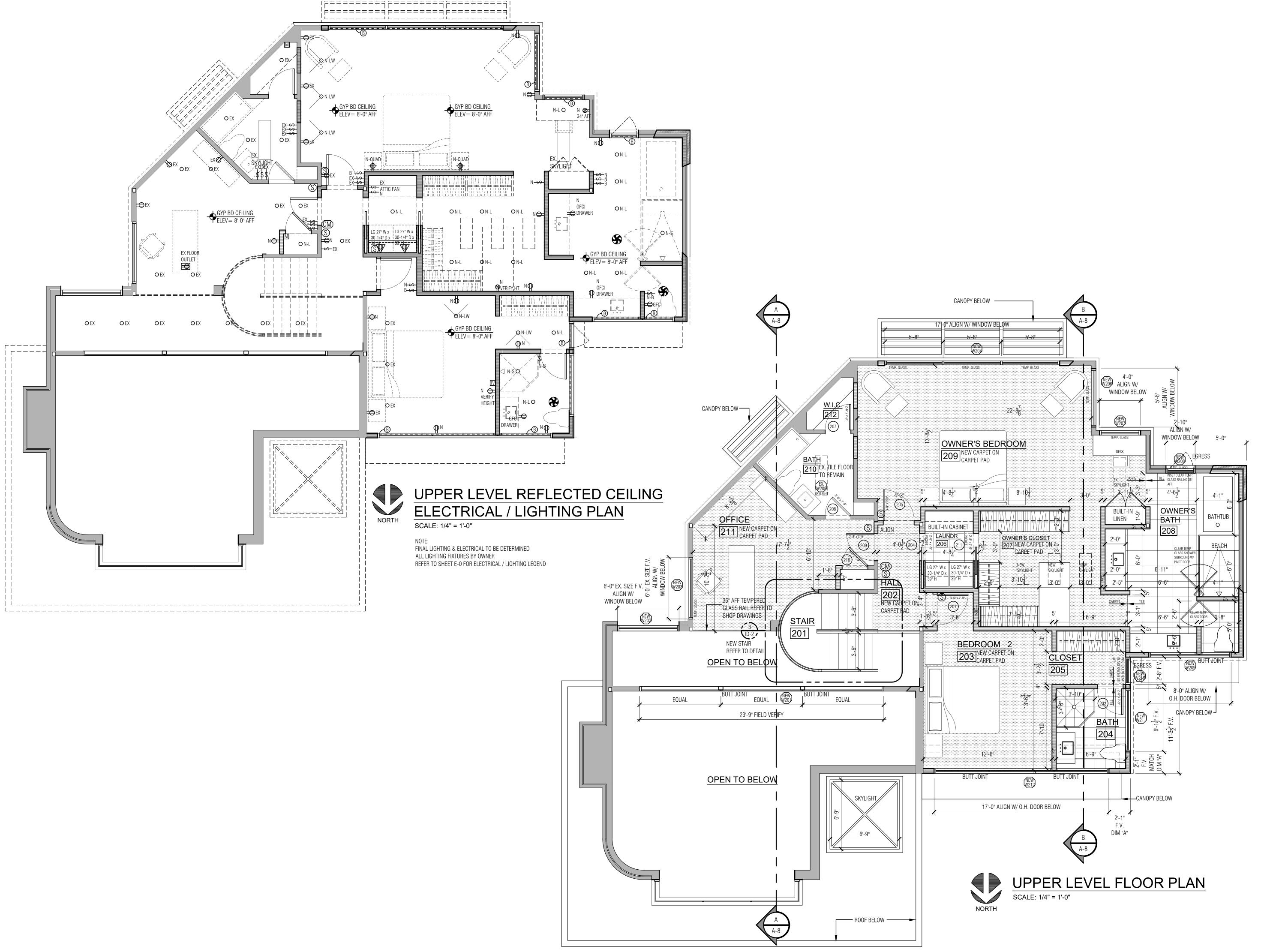
12.08.2022: STRUCTURAL ENGINEER REVIEW 01.06.2023: DOOR SCHEDULE FOR EXISTING DOORS

01.17.2023: STRUCTURAL REVIEW

03.17.2023: REVISED BIDDING (ELECTRICAL / LIGHTING)

09.10.2023: REVISED UPPER LEVEL / PERMIT







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# **UPPER LEVEL** FLOOR PLANS

PROJECT NUMBER: 2022-04

SHEET TITLE:

SQUARE FOOTAGE

UPPER LEVEL FINISHED = 1,468

EXISTING WINDOW TO REMAIN **NEW WINDOW** 

EXISTING INTERIOR DOOR TO REMAIN NEW INTERIOR DOOR

WALL LEGEND:

EXISTING WALLS TO REMAIN

WALLS & DOORS TO DEMO

NEW 2 x 4 @ 16" O.C. INTERIOR WALLS

CARBON MONOXIDE DETECTOR CM

HARD-WIRED WITH BACK-UP BATTERY

SMOKE DETECTOR (S) IN ALL BEDROOMS HARD-WIRED WITH BACK-UP BATTERY

DO NOT SCALE DRAWINGS; CONTRACTOR TO

NOTIFY ARCHITECT FOR MISSING DIMENSION

CONTRACTOR TO FIELD VERIFY ALL DIMENSION

ARCHITECT OF ANY DISCREPANCIES

HEIGHTS & ELEVATIONS AND MUST NOTIFY

DESIGNED IN ACCORDANCE WITH MICHIGAN RESIDENTIAL CODE 2015, MICHIGAN PLUMBING CODE 2015, MICHIGAN MECHANICAL CODE 2015 AND THE STATE ELECTRICAL CODE.

02.10.2022: STRUCTURAL REVIEW 04.20.2022: DRAFT SET FOR REVIEW

04.27.2022: PERMIT SET

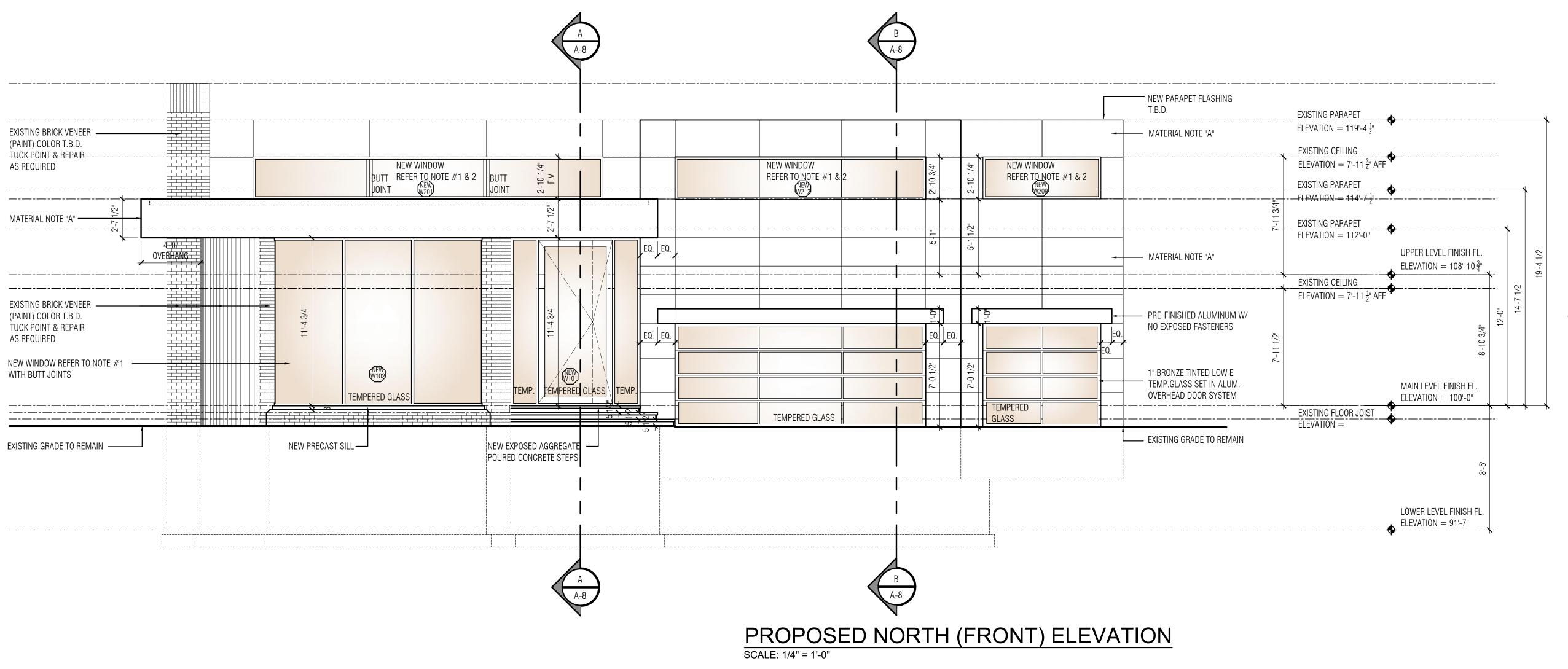
11.17.2022: REVIEW SET

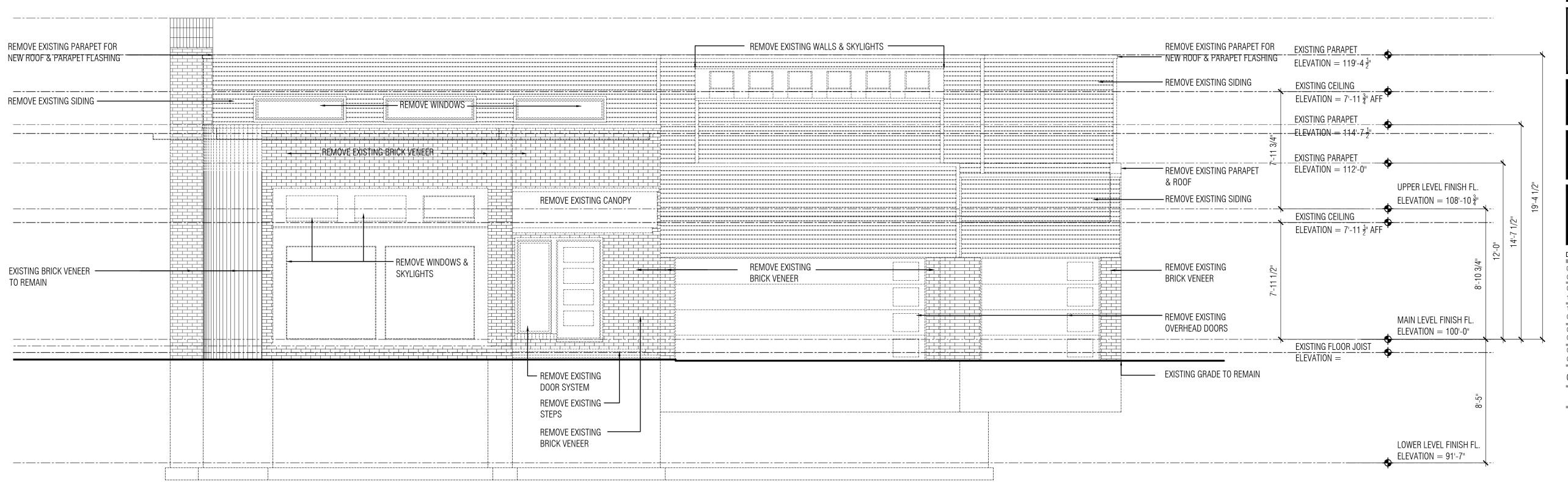
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09.10.2023: REVISED UPPER LEVEL / PERMIT







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SHEET TITLE TEMPERED GLASS

NORTH ELEVATION

PROJECT NUMBER: 2022-04

MATERIAL NOTE "A"
PROVIDE ALTERNATE BIDS FOR SIDING MATERIAL
1. SWISS PEARL "LARGO"
(COLOR TO BE DETERMINED BY OWNER)
website: www.swisspearl.com

2. LIBERTY SHEET METAL
ALUMINUM COMPOSITE PANELS
(COLOR TO BE SELECTED BY OWNER)
website: www.libertysheetmetal.net

NOTE #2
PRIOR TO ORDERING WINDOWS, LEVEL INTERIOR
CEILINGS FOR BOTH MAIN & UPPER LEVEL TO
ESTABLISH DATUM LINE

NOTE #1

NEW EXTERIOR WINDOWS TO HAVE ALUMINUM
FRAMES (VERIFY COLOR) W/ THERMAL BREAK W/
1" INSULATED TINTED GLASS (BRONZE TINT VERIFY
TEMPERED AS REQUIRED PER CODE

NOTE:
DO NOT SCALE DRAWINGS; CONTRACTOR TO
NOTIFY ARCHITECT FOR MISSING DIMENSION

NOTE:
CONTRACTOR TO FIELD VERIFY ALL DIMENSION,
HEIGHTS & ELEVATIONS AND MUST NOTIFY
ARCHITECT OF ANY DISCREPANCIES

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AND THE STATE ELECTRICAL CODE.

DATE:

02.10.2022: STRUCTURAL REVIEW
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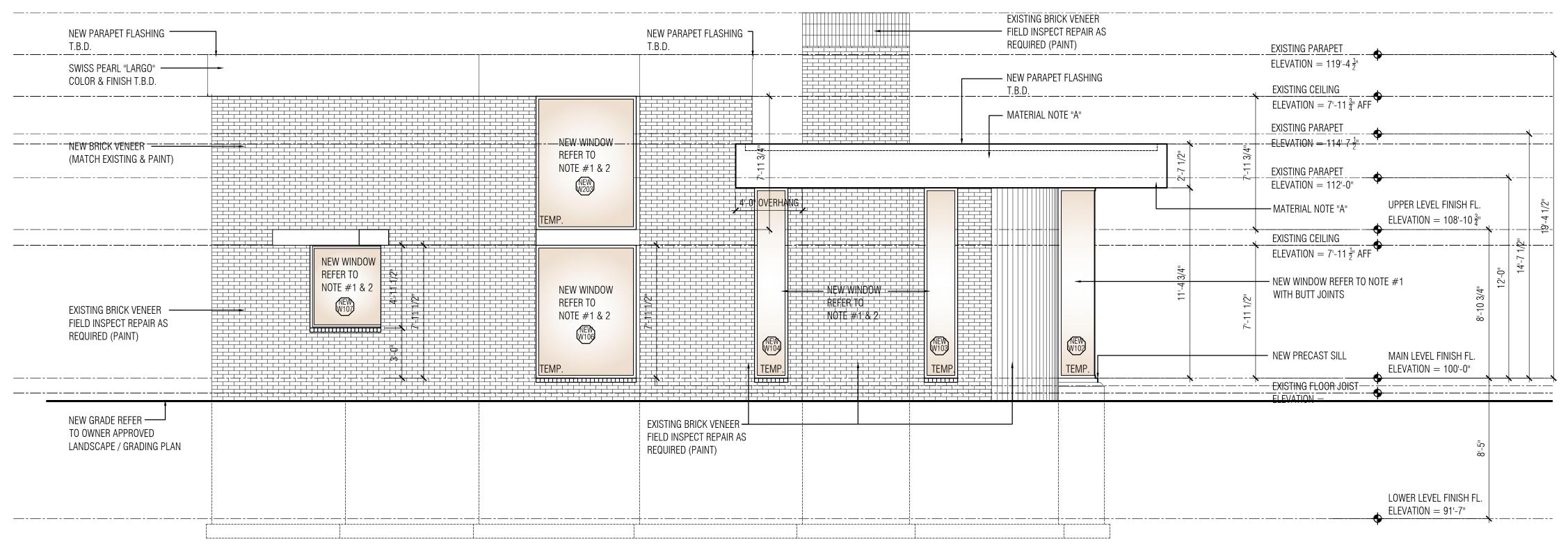
04.27.2022: PERMIT SET
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12.08.2022: STRUCTURAL ENGINEER REVIEW
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02.17.2023: BIDDING

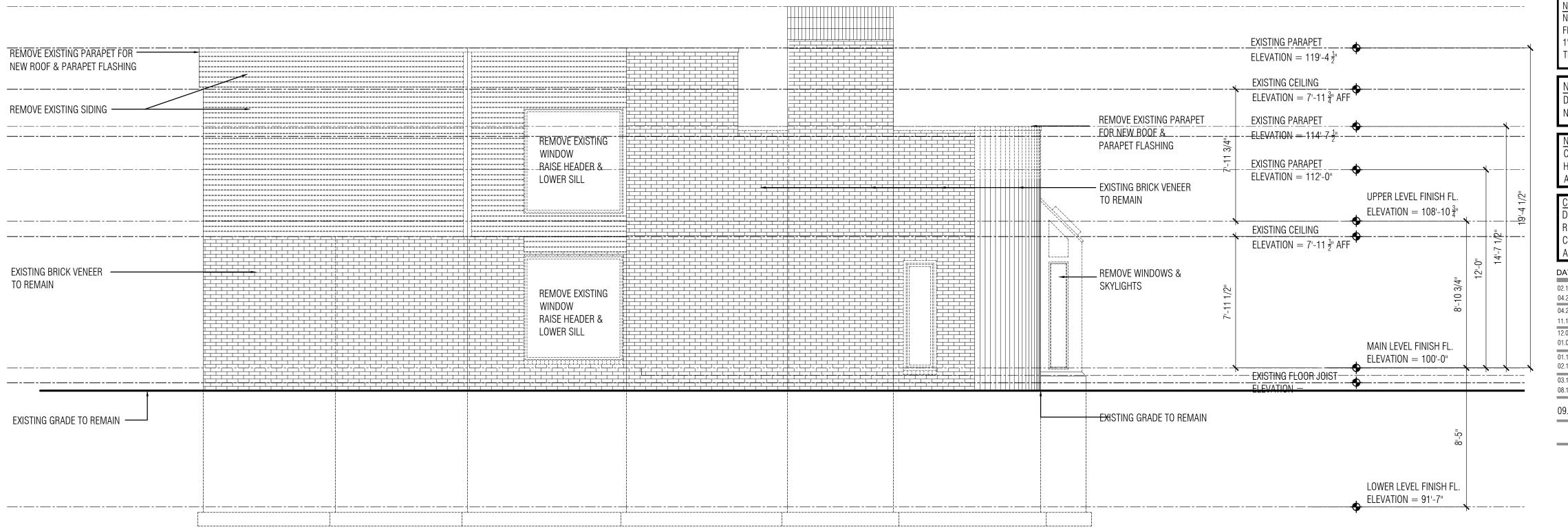
03.17.2023: REVISED BIDDING (ELECTRICAL / LIGHTING)
08.10.2023: REVISED UPPER LEVEL

09.10.2023: REVISED UPPER LEVEL / PERMIT



PROPOSED EAST (SIDE) ELEVATION

SCALE: 1/4" = 1'-0"



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Birmingham, Michigan 48009
SHEET TITLE:

EAST

DesRosiers Residence

ELEVATION

660 Mohegan Street

PROJECT NUMBER: 2022-04

MATERIAL NOTE "A"
PROVIDE ALTERNATE BIDS FOR SIDING MATERIAL

1. SWISS PEARL "LARGO"
(COLOR TO BE DETERMINED BY OWNER)
website: www.swisspearl.com

2. LIBERTY SHEET METAL
ALUMINUM COMPOSITE PANELS
(COLOR TO BE SELECTED BY OWNER)
website: www.libertysheetmetal.net

NOTE #2
PRIOR TO ORDERING WINDOWS, LEVEL INTERIOR
CEILINGS FOR BOTH MAIN & UPPER LEVEL TO
ESTABLISH DATUM LINE

NOTE #1

NEW EXTERIOR WINDOWS TO HAVE ALUMINUM
FRAMES (VERIFY COLOR) W/ THERMAL BREAK W/
1" INSULATED TINTED GLASS (BRONZE TINT VERIFY
TEMPERED AS REQUIRED PER CODE

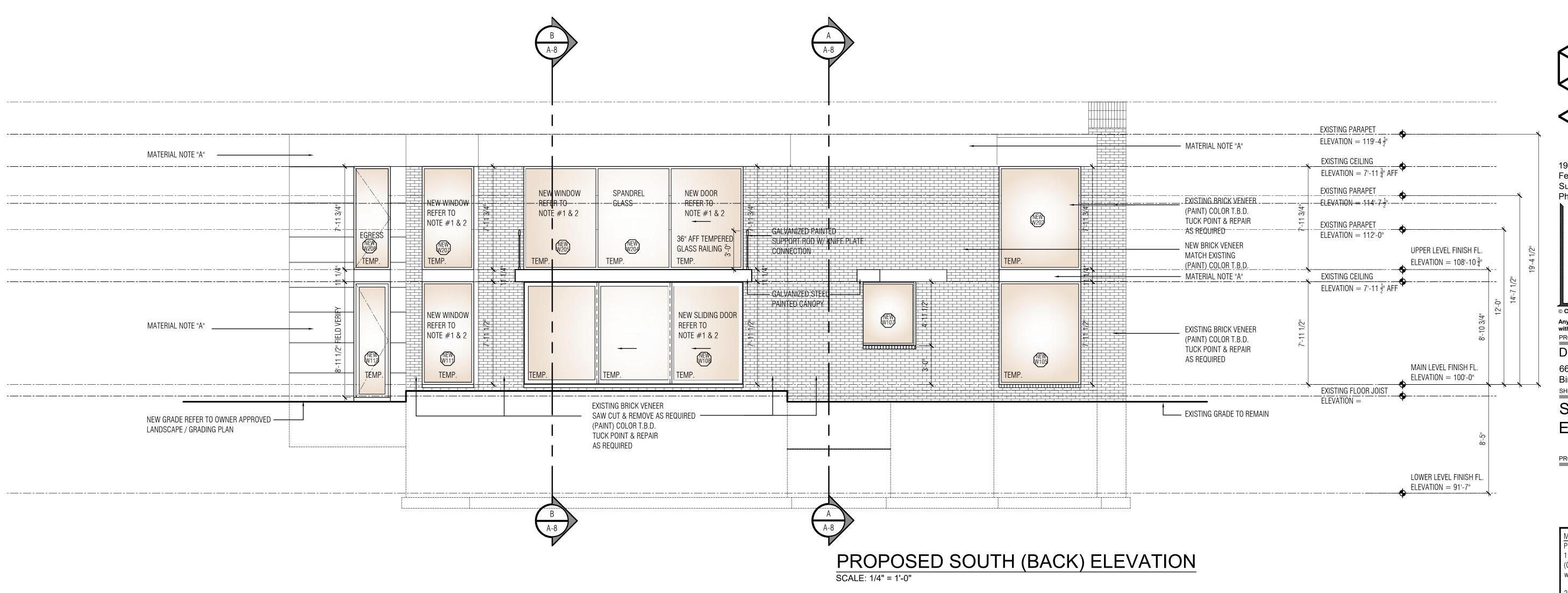
NOTE:
DO NOT SCALE DRAWINGS; CONTRACTOR TO
NOTIFY ARCHITECT FOR MISSING DIMENSION

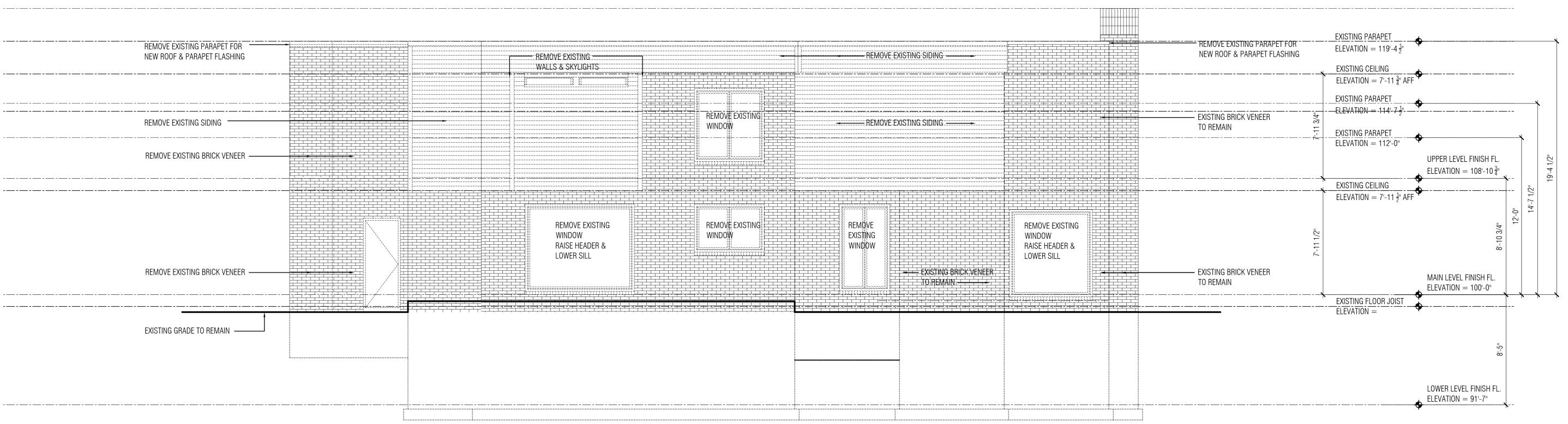
NOTE:
CONTRACTOR TO FIELD VERIFY ALL DIMENSION,
HEIGHTS & ELEVATIONS AND MUST NOTIFY
ARCHITECT OF ANY DISCREPANCIES

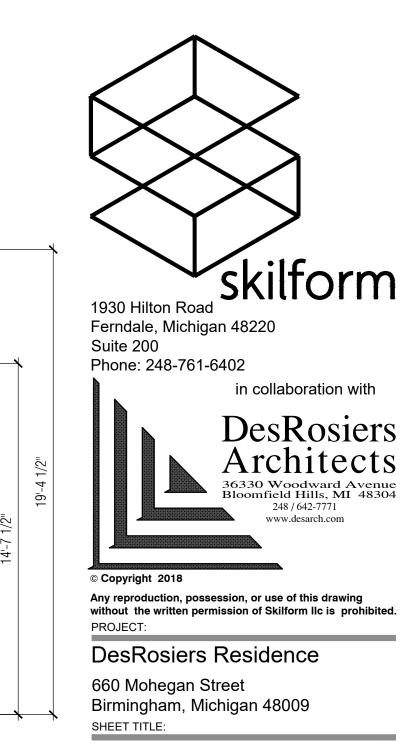
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01.17.2023: STRUCTURAL REVIEW
02.17.2023: BIDDING
03.17.2023: REVISED BIDDING (ELECTRICAL / LIGHTING)
08.10.2023: REVISED UPPER LEVEL







SOUTH

**ELEVATION** 

PROJECT NUMBER: 2022-04

MATERIAL NOTE "A"
PROVIDE ALTERNATE BIDS FOR SIDING MATERIAL 1. SWISS PEARL "LARGO" (COLOR TO BE DETERMINED BY OWNER) website: www.swisspearl.com

2. LIBERTY SHEET METAL ALUMINUM COMPOSITE PANELS (COLOR TO BE SELECTED BY OWNER) website: www.libertysheetmetal.net

NOTE #2
PRIOR TO ORDERING WINDOWS, LEVEL INTERIOR CEILINGS FOR BOTH MAIN & UPPER LEVEL TO ESTABLISH DATUM LINE

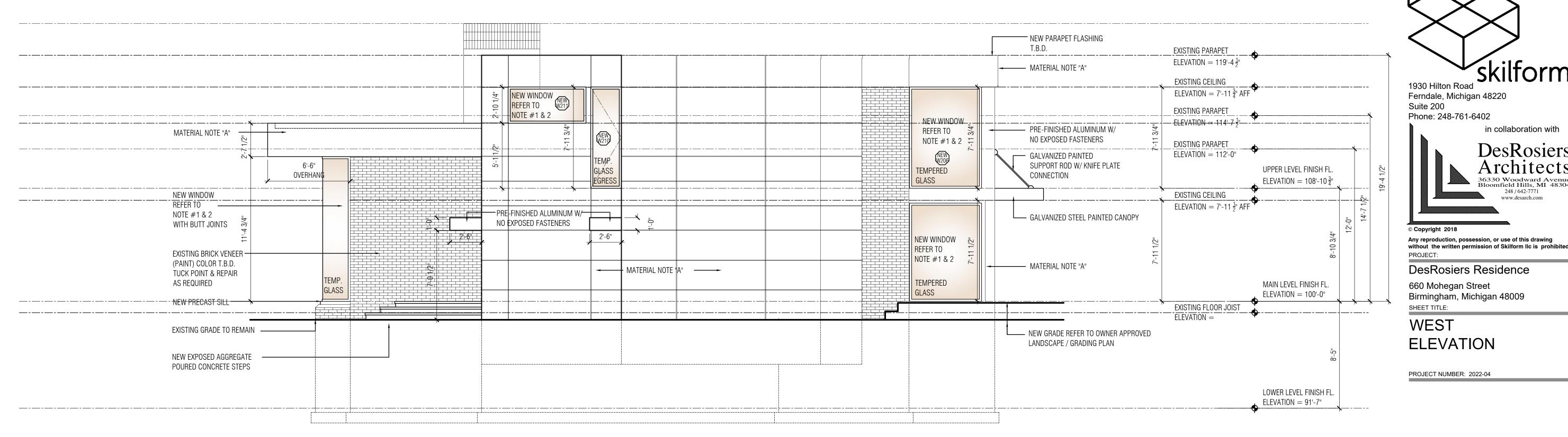
NEW EXTERIOR WINDOWS TO HAVE ALUMINUM FRAMES (VERIFY COLOR) W/ THERMAL BREAK W/ 1" INSULATED TINTED GLASS (BRONZE TINT VERIF) TEMPERED AS REQUIRED PER CODE

DO NOT SCALE DRAWINGS; CONTRACTOR TO NOTIFY ARCHITECT FOR MISSING DIMENSION

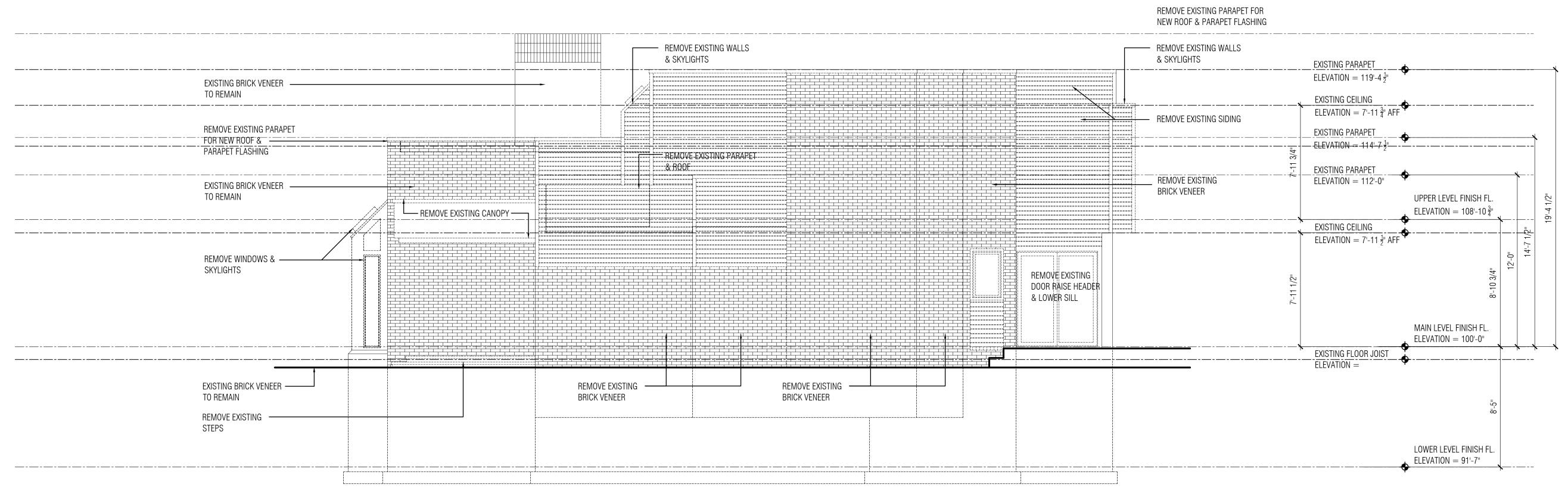
NOTE: CONTRACTOR TO FIELD VERIFY ALL DIMENSION, HEIGHTS & ELEVATIONS AND MUST NOTIFY ARCHITECT OF ANY DISCREPANCIES

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# PROPOSED WEST (SIDE) ELEVATION SCALE: 1/4" = 1'-0"



660 Mohegan Street Birmingham, Michigan 48009 SHEET TITLE: **WEST ELEVATION** PROJECT NUMBER: 2022-04

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MATERIAL NOTE "A"
PROVIDE ALTERNATE BIDS FOR SIDING MATERIAL 1. SWISS PEARL "LARGO" (COLOR TO BE DETERMINED BY OWNER) website: www.swisspearl.com 2. LIBERTY SHEET METAL ALUMINUM COMPOSITE PANELS (COLOR TO BE SELECTED BY OWNER) website: www.libertysheetmetal.net

NOTE #2
PRIOR TO ORDERING WINDOWS, LEVEL INTERIOR CEILINGS FOR BOTH MAIN & UPPER LEVEL TO ESTABLISH DATUM LINE

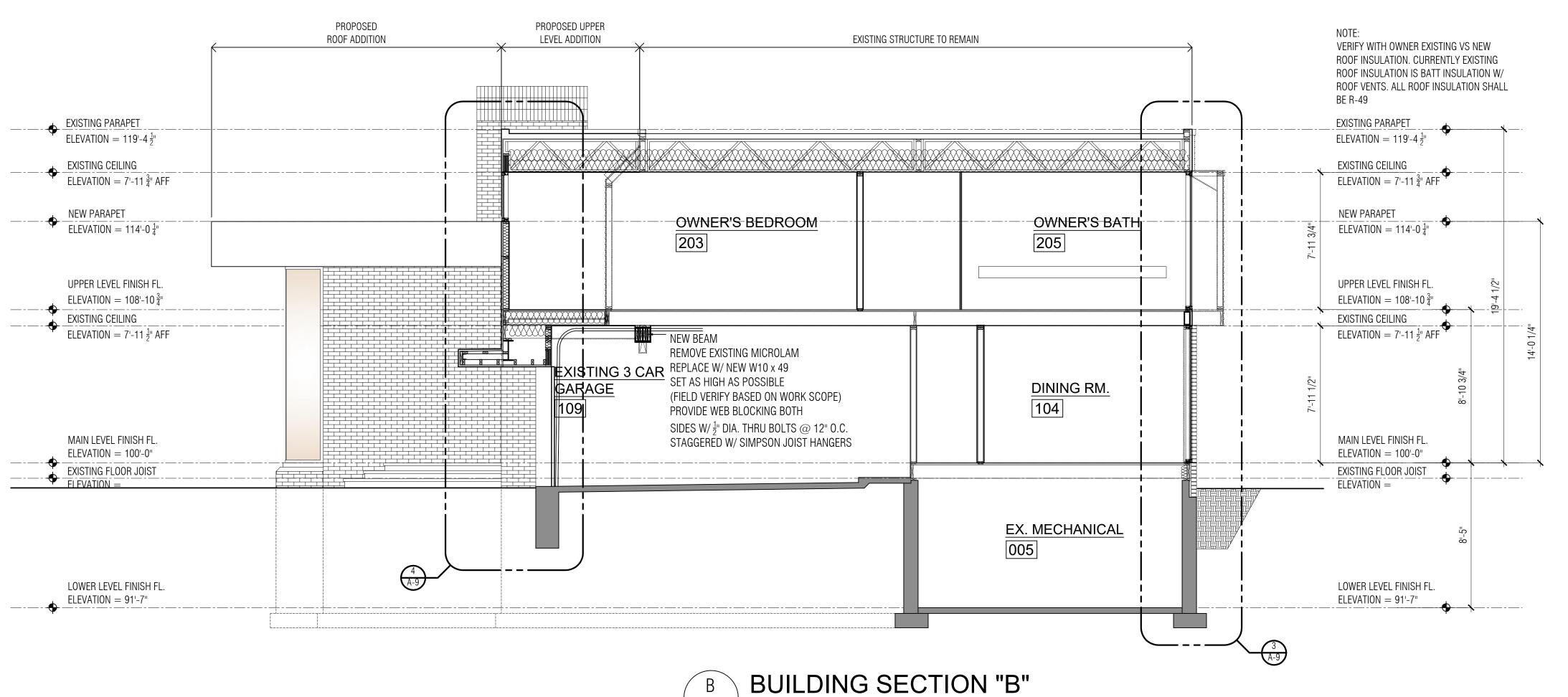
NEW EXTERIOR WINDOWS TO HAVE ALUMINUM FRAMES (VERIFY COLOR) W/ THERMAL BREAK W/ 1" INSULATED TINTED GLASS (BRONZE TINT VERIF) TEMPERED AS REQUIRED PER CODE

DO NOT SCALE DRAWINGS; CONTRACTOR TO NOTIFY ARCHITECT FOR MISSING DIMENSION

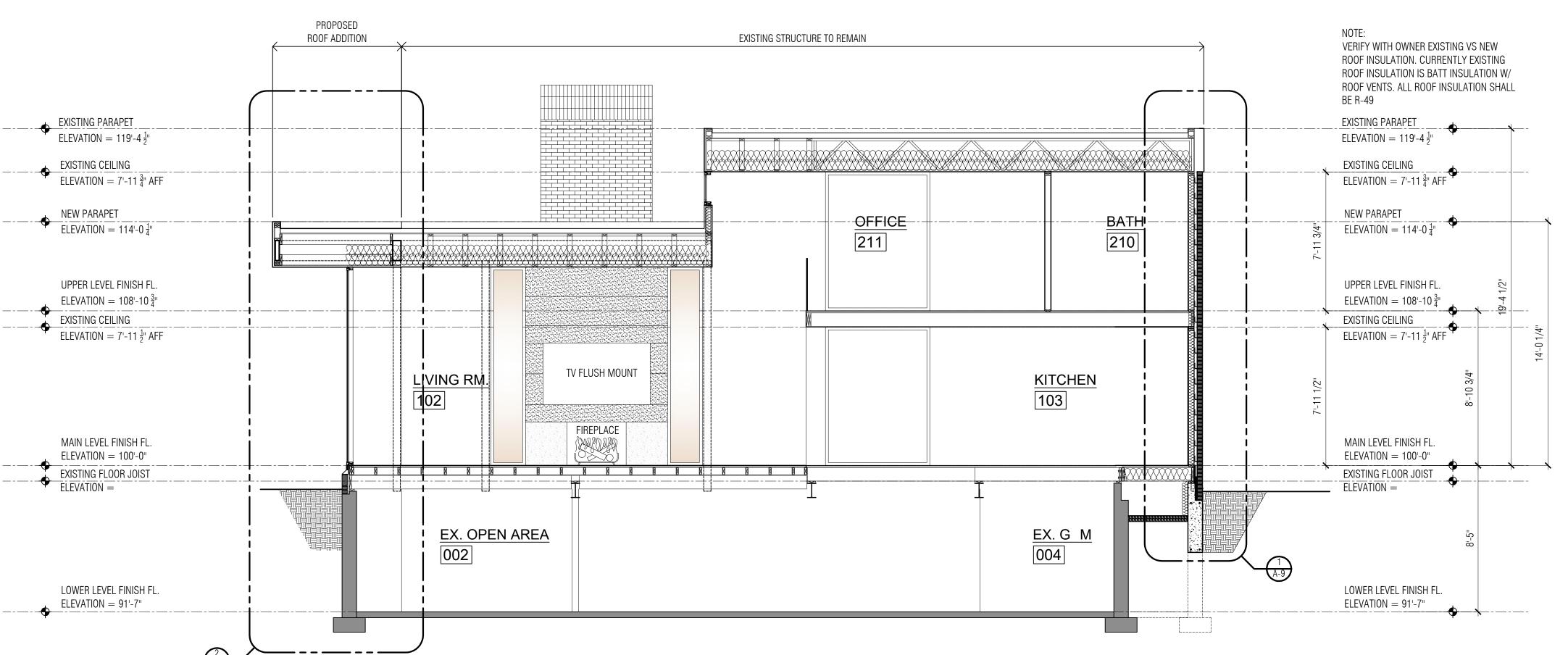
CONTRACTOR TO FIELD VERIFY ALL DIMENSION HEIGHTS & ELEVATIONS AND MUST NOTIFY ARCHITECT OF ANY DISCREPANCIES

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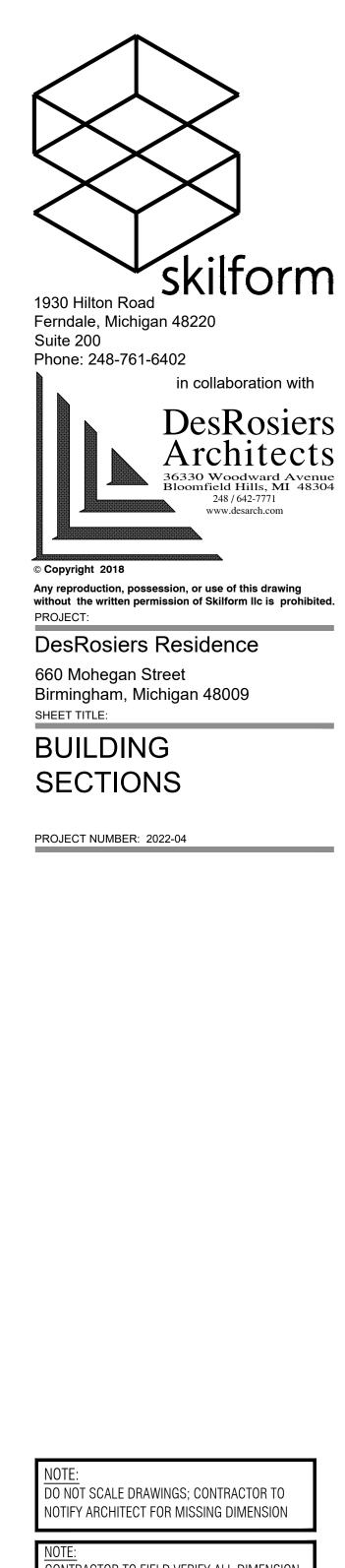


A-8 SCALE: 1/4" = 1'-0"



A-8 SCALE: 1/4" = 1'-0"

**BUILDING SECTION "A"** 



CONTRACTOR TO FIELD VERIFY ALL DIMENSION,
HEIGHTS & ELEVATIONS AND MUST NOTIFY
ARCHITECT OF ANY DISCREPANCIES

CODE:

DESIGNED IN ACCORDANCE WITH MICHIGAN
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CODE 2015, MICHIGAN MECHANICAL CODE 2015
AND THE STATE ELECTRICAL CODE.

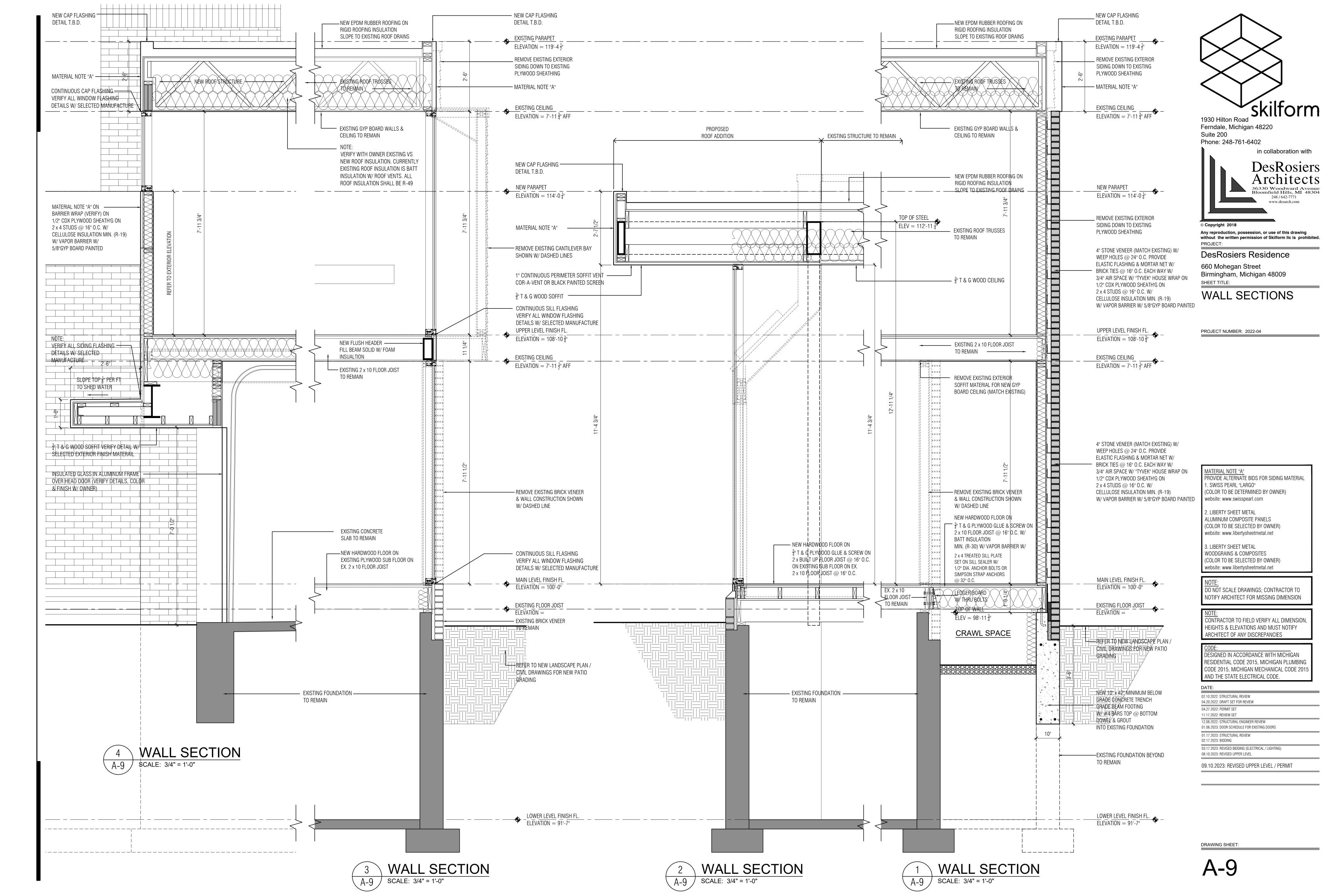
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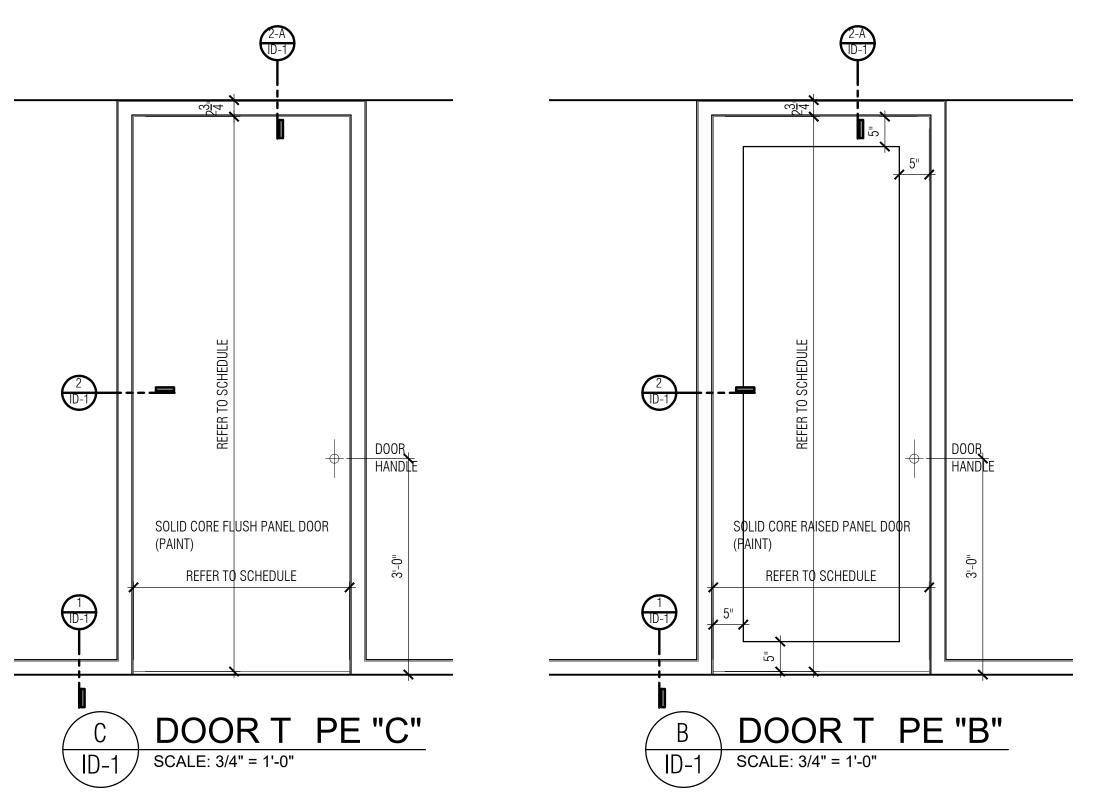
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03.17.2023: REVISED BIDDING (ELECTRICAL / LIGHTING)
08.10.2023: REVISED UPPER LEVEL

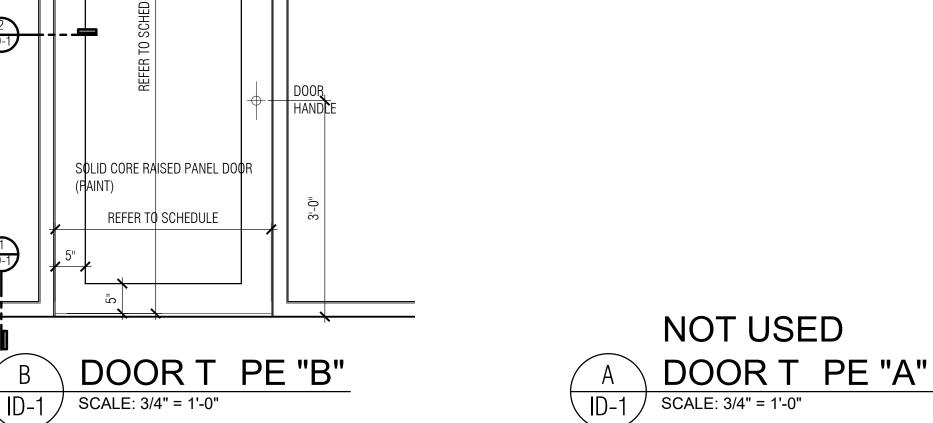
09.10.2023: REVISED UPPER LEVEL / PERMIT

DRAWING SHEET:

**A-8** 









1930 Hilton Road Ferndale, Michigan 48220 Suite 200



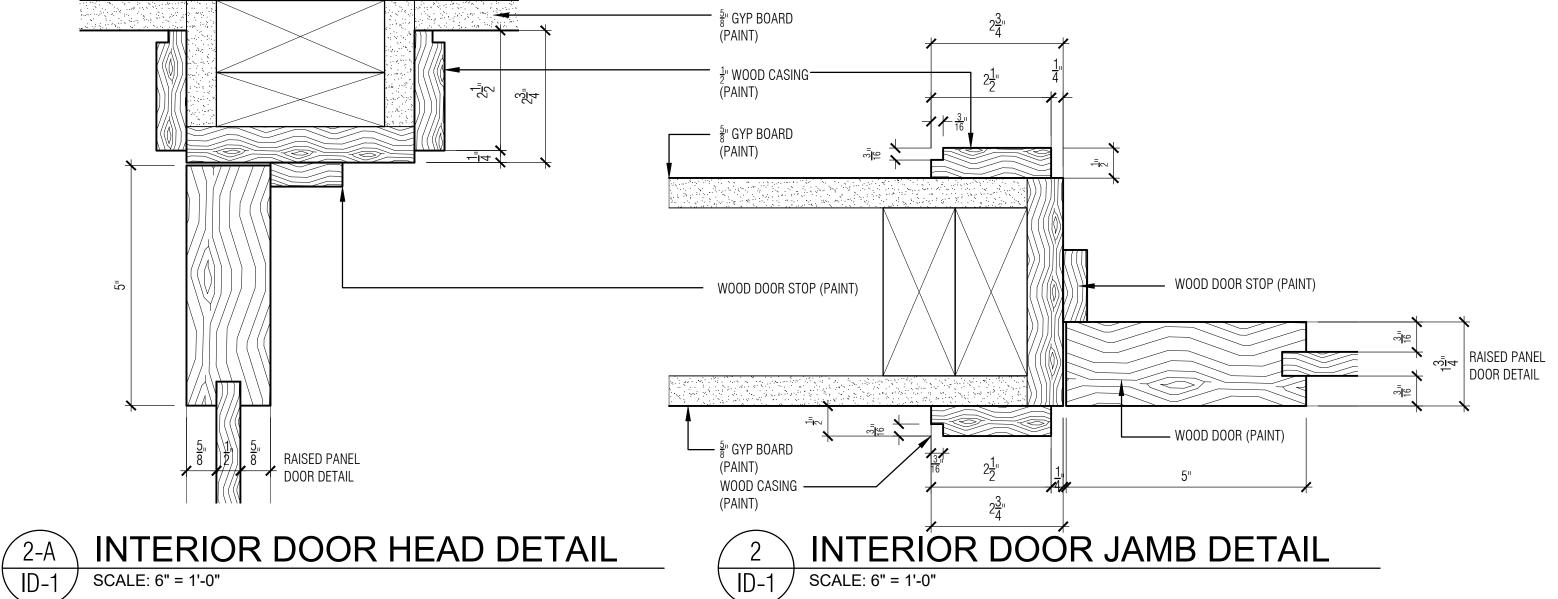
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DesRosiers Residence

660 Mohegan Street Birmingham, Michigan 48009 SHEET TITLE:

TRIM DETAILS

PROJECT NUMBER: 2022-04



WOOD BASE DETAIL | ID-1 | SCALE: 6" = 1'-0"

| DOOR<br>NUMBER | DOOR SIZE                                  | DOOR TYPE | DOOR MATERIAL   | FINISH | FRAME        | HARDWARE        | NOTES                                      |
|----------------|--|-----------|-----------------|--------|--------------|-----------------|--|
| UPPER LEVEL    |  |           |                 |        |              |                 |  |
| 201            | 3'-0" x 7'-9"                              | TYPE (B)  | SOLID CORE WOOD | PAINT  | WOOD (PAINT) | VERIFY W/ OWNER | RAISE HEADER                               |
| 202            | 2'-6" x 7'-9"                              | TYPE (B)  | SOLID CORE WOOD | PAINT  | WOOD (PAINT) | VERIFY W/ OWNER |  |
| 203            | NOT USED                                   |           |                 |        |              |                 |  |
| 204            | 2'-8" x 7'-9"                              | TYPE (B)  | SOLID CORE WOOD | PAINT  | WOOD (PAINT) | VERIFY W/ OWNER | POCKET DOOR                                |
| 205            | 3'-0" x 7'-9"                              | TYPE (B)  | SOLID CORE WOOD | PAINT  | WOOD (PAINT) | VERIFY W/ OWNER | NEW DOOR IN NEW LOCATION                   |
| 206            | 2'-6" x 7'-9"                              | TYPE (B)  | SOLID CORE WOOD | PAINT  | WOOD (PAINT) | VERIFY W/ OWNER | EXISTING DOOR WIDTH TO REMAIN RAISE HEADER |
| 207            | 2'-6" x 7'-9"                              | TYPE (B)  | SOLID CORE WOOD | PAINT  | WOOD (PAINT) | VERIFY W/ OWNER | EXISTING DOOR WIDTH TO REMAIN RAISE HEADER |
| 208            | 2'-6" x 7'-9"                              | TYPE (B)  | SOLID CORE WOOD | PAINT  | WOOD (PAINT) | VERIFY W/ OWNER | EXISTING DOOR WIDTH TO REMAIN RAISE HEADER |
| 209            | 2'-8" x 7'-9"                              | TYPE (B)  | SOLID CORE WOOD | PAINT  | WOOD (PAINT) | VERIFY W/ OWNER | NEW DOOR IN NEW LOCATION                   |
| 210            | 2'-6" x 7'-9"                              | TYPE (B)  | SOLID CORE WOOD | PAINT  | WOOD (PAINT) | VERIFY W/ OWNER | NEW DOOR IN NEW LOCATION                   |
| 211            | 2'-8" x 7'-9"                              | TYPE (B)  | SOLID CORE WOOD | PAINT  | WOOD (PAINT) | VERIFY W/ OWNER | POCKET DOOR                                |
| MAIN LEVEL     |  |           |                 |        | 1            |                 |  |
| 101            | NOT USED                                   |           |                 |        |              |                 |  |
| 102            | 2'-2" x 7'-8 <sup>3</sup> / <sub>4</sub> " | TYPE (B)  | SOLID CORE WOOD | PAINT  | WOOD (PAINT) | VERIFY W/ OWNER |  |
| 103            | 2'-2" x 7'-8 <sup>3</sup> / <sub>4</sub> " | TYPE (B)  | SOLID CORE WOOD | PAINT  | WOOD (PAINT) | VERIFY W/ OWNER |  |
| 104            | 2'-6" x 7'-8 <sup>3</sup> / <sub>4</sub> " | TYPE (B)  | SOLID CORE WOOD | PAINT  | WOOD (PAINT) | VERIFY W/ OWNER |  |
| 105            | 3'-0" x 7'-8 <sup>3</sup> / <sub>4</sub> " | TYPE (B)  | SOLID CORE WOOD | PAINT  | WOOD (PAINT) | VERIFY W/ OWNER | 1 HOUR FIRE RATED<br>DOOR & FRAME          |
| LOWER LEVEL    |  |           | 1               |        | 1            |                 |  |
| 001            | 3'-0" x 6'-6"                              | TYPE (B)  | SOLID CORE WOOD | PAINT  | WOOD (PAINT) | VERIFY W/ OWNER |  |
| 002            | (2)2'-0" x 6'-8"                           | TYPE "C"  | SOLID CORE WOOD | PAINT  | WOOD (PAINT) | VERIFY W/ OWNER |  |
| 003            | (2)2'-0" x 6'-8"                           | TYPE "C"  | SOLID CORE WOOD | PAINT  | WOOD (PAINT) | VERIFY W/ OWNER |  |
| 004            | (2)2'-0" x 6'-8"                           | TYPE "C"  | SOLID CORE WOOD | PAINT  | WOOD (PAINT) | VERIFY W/ OWNER |  |
| 005            | 3'-0" x 6'-8"                              | TYPE (B)  | SOLID CORE WOOD | PAINT  | WOOD (PAINT) | VERIFY W/ OWNER |  |

1. ALL INTERIOR DOORS TO BE 1  $\frac{3}{4}$ " THICK SOLID CORE WOOD DOORS UNLESS OTHERWISE NOTED. 2. FIELD VERIFY ALL DOOR DIMENSIONS PRIOR TO FABRICATION TO ACCOUNT FOR TRIM DETAIL, FINISH FLOOR THICKNESS WHICH INCLUDES TILE & CARPET ON PAD. VERIFY FLOOR TO CEILING LEVEL PLAN FOR EACH ROOM & DETERMINE PROPER DOOR UNDERCUT FOR EACH CONDITION

3. PROVIDE DOOR SAMPLE SHOWING STYLE, RAIL & FINAL PAINT FINISH FOR OWNER APPROVAL

4. VERIFY DOOR HARDWARE HANDLE BACK SET PRIOR TO BORING HOLE

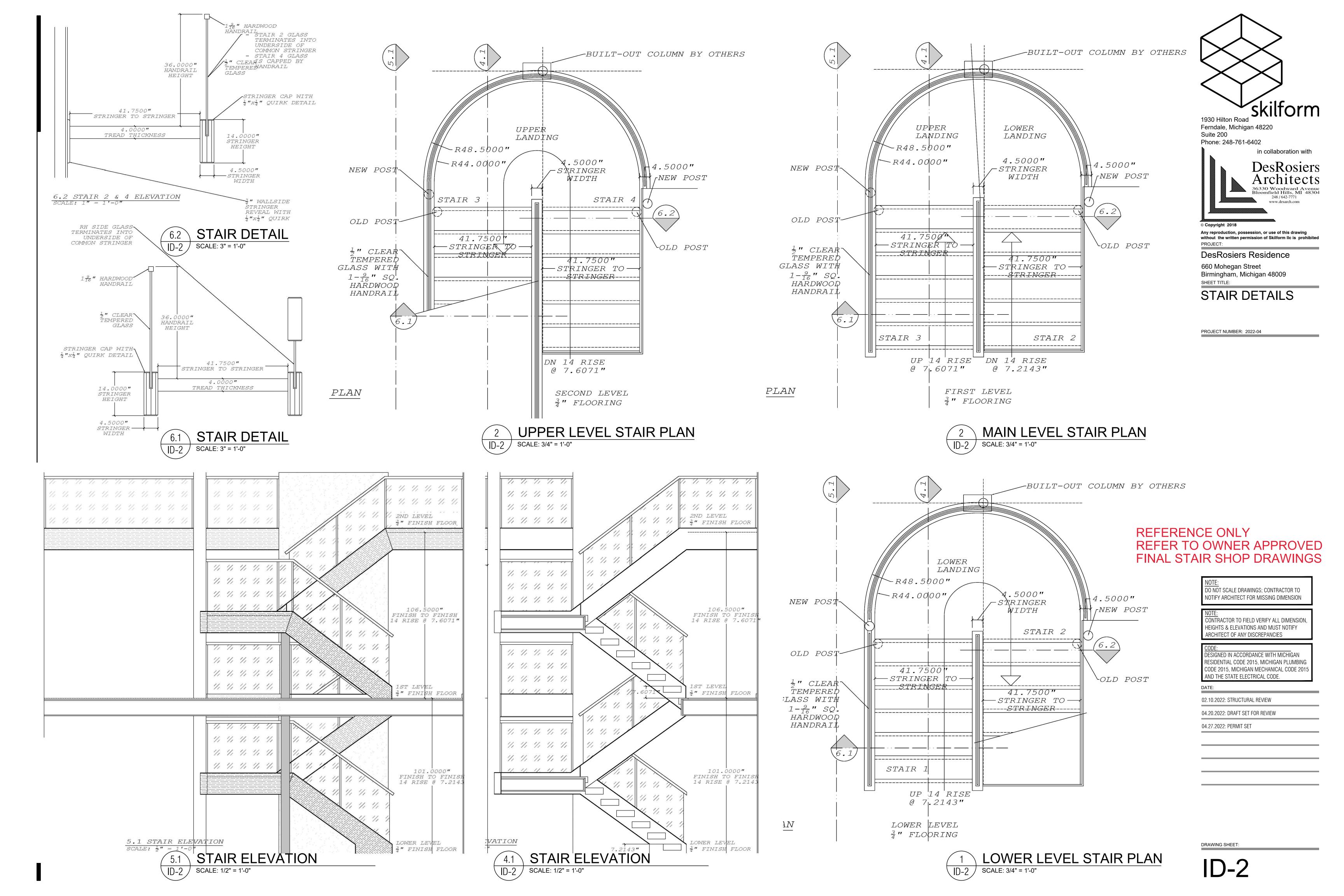
DO NOT SCALE DRAWINGS; CONTRACTOR TO NOTIFY ARCHITECT FOR MISSING DIMENSION

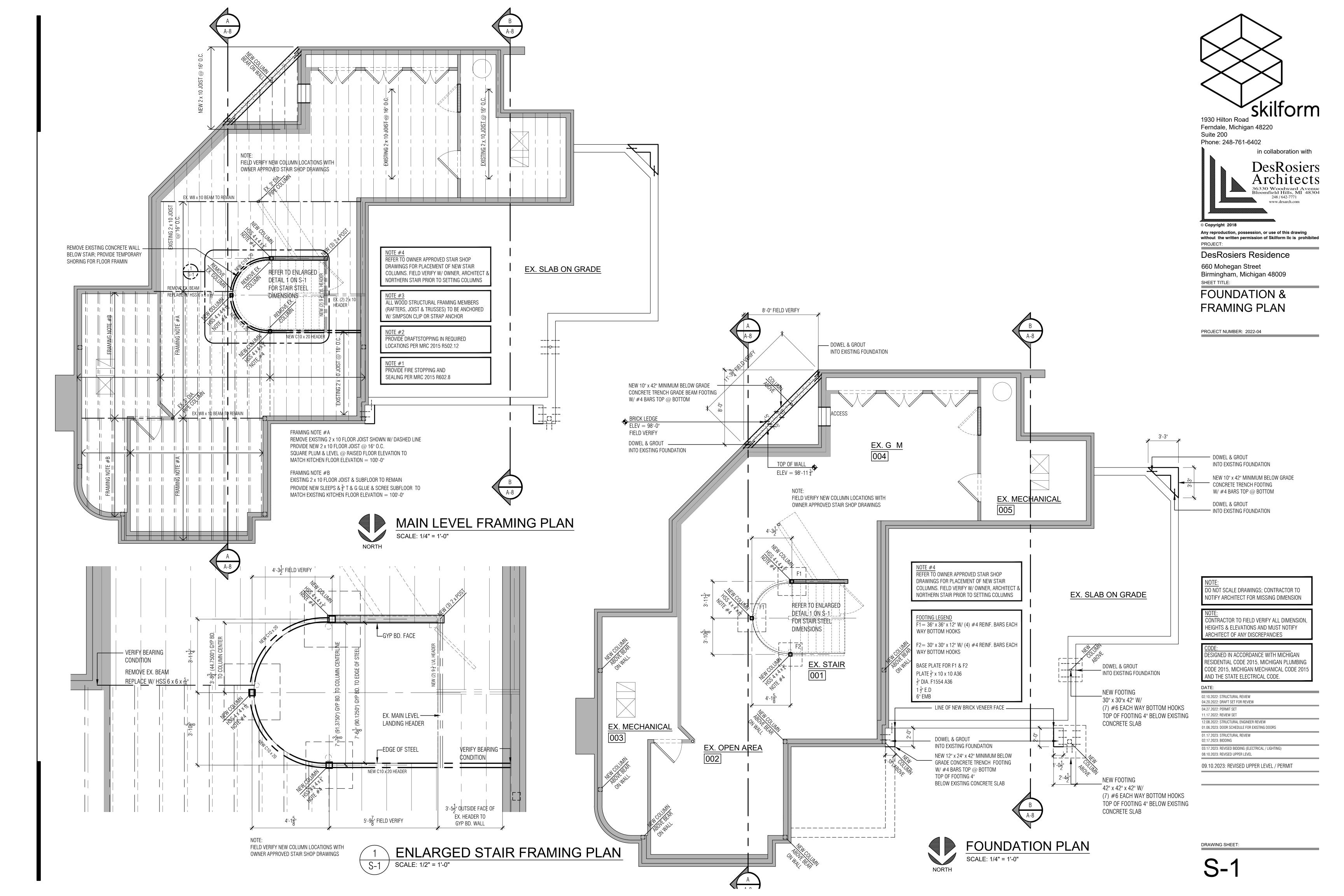
CONTRACTOR TO FIELD VERIFY ALL DIMENSION, HEIGHTS & ELEVATIONS AND MUST NOTIFY ARCHITECT OF ANY DISCREPANCIES

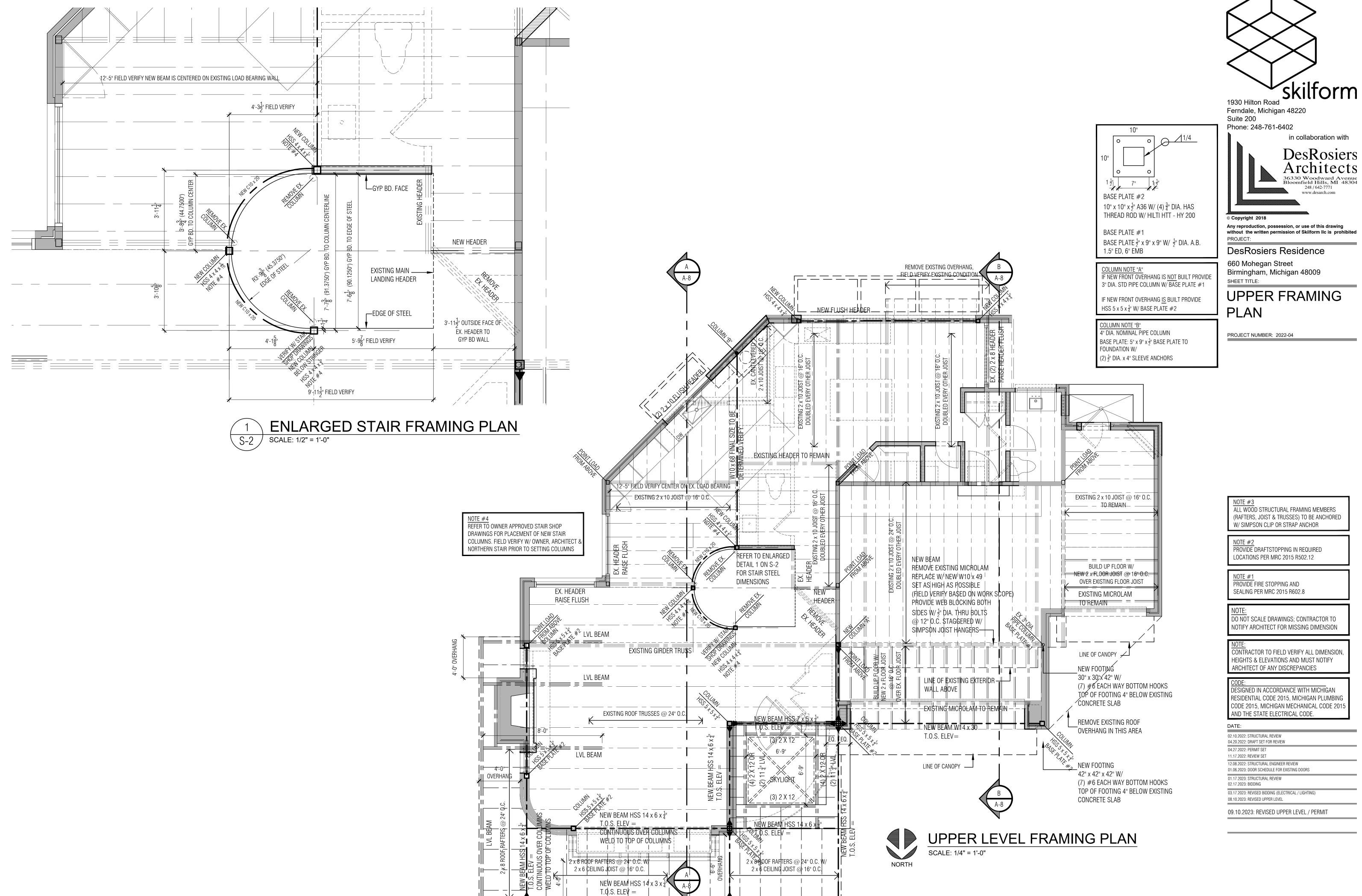
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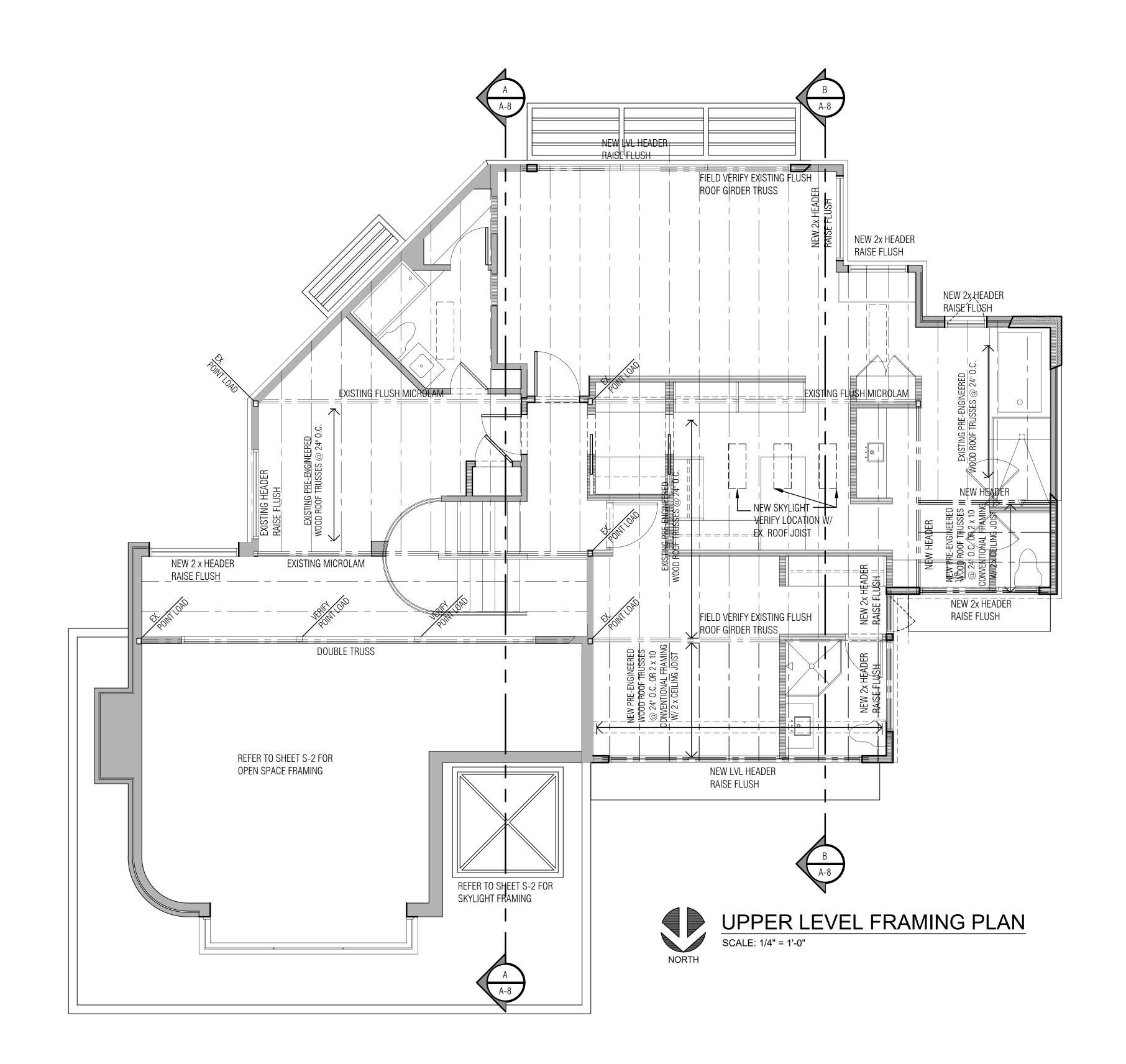
| DATE:  |    |
|--|----|
| 02.10.2022: STRUCTURAL REVIEW<br>04.20.2022: DRAFT SET FOR REVIEW                      |    |
| 04.27.2022: PERMIT SET<br>11.17.2022: REVIEW SET                                       |    |
| 12.08.2022: STRUCTURAL ENGINEER REVIEW<br>01.06.2023: DOOR SCHEDULE FOR EXISTING DOORS |    |
| 01.17.2023: STRUCTURAL REVIEW<br>02.17.2023: BIDDING                                   |    |
| 03.17.2023: REVISED BIDDING (ELECTRICAL / LIGHTING<br>08.10.2023: REVISED UPPER LEVEL  | 3) |

09.10.2023: REVISED UPPER LEVEL / PERMIT











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DesRosiers Residence

660 Mohegan Street Birmingham, Michigan 48009 SHEET TITLE:

# ROOF FRAMING PLAN

PROJECT NUMBER: 2022-04

NOTE #3
ALL WOOD STRUCTURAL FRAMING MEMBERS
(RAFTERS, JOIST & TRUSSES) TO BE ANCHORED
W/ SIMPSON CLIP OR STRAP ANCHOR

NOTE #2
PROVIDE DRAFTSTOPPING IN REQUIRED
LOCATIONS PER MRC 2015 R502.12

NOTE #1
PROVIDE FIRE STOPPING AND
SEALING PER MRC 2015 R602.8

NOTE:
DO NOT SCALE DRAWINGS; CONTRACTOR TO

NOTE:
CONTRACTOR TO FIELD VERIFY ALL DIMENSION,
HEIGHTS & ELEVATIONS AND MUST NOTIFY

ARCHITECT OF ANY DISCREPANCIES

AND THE STATE ELECTRICAL CODE.

NOTIFY ARCHITECT FOR MISSING DIMENSION

CODE:
DESIGNED IN ACCORDANCE WITH MICHIGAN
RESIDENTIAL CODE 2015, MICHIGAN PLUMBING
CODE 2015, MICHIGAN MECHANICAL CODE 2015

DATE:

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02.17.2023: BIDDING

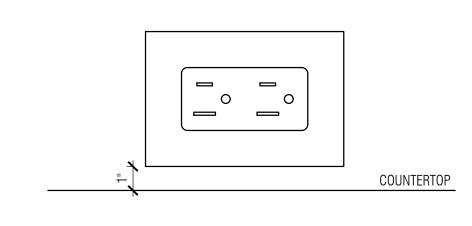
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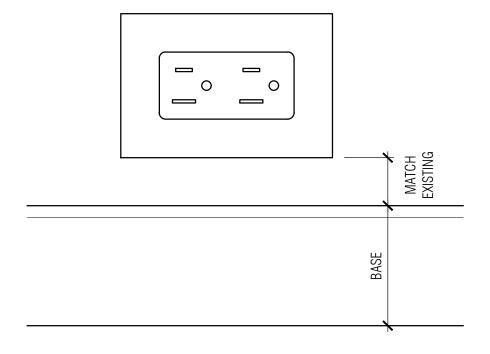
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DRAWING SHEET:

S-3



OUTLET COUNTER TOP DETAIL E-0 SCALE NO SCALE



OUTLET BASE DETAIL E-0 SCALE NO SCALE

| LIGHTING FIXTURE AND E UIPMENT SCHEDULE |   |   |                                      |               |   |
|---|---|---|--------------------------------------|---------------|---|
| TYPE/SYMBOL                             | MANUFACTURER  | MODEL NO.   | LAMP                                 | TRIM<br>SIZE  | NOTES   |
| ⊕<br>DS                                 | "DECORATIVE SCONCE"   | BY OWNER  |                                      | OILL          | PROVIDE EXTRA WIRE LOOP @ 6'-0" AFF VERIFY W/ INTERIOR DESIGN TO LOCATE JUNCTION BOX  |
| ⊚ EX-L                                  | EXISTING LIGHT<br>TO REMAIN                                     | BY OWNER  |                                      |               | EXISTING LIGHT FIXTURE TO REMAIN  |
| ⊚ N-L                                   | DOWN LIGHT<br>NEW LOCATION                                      | BY OWNER  |                                      |               | LIGHT FIXTURE BY OWNER INSTALLED BY CONTRACTOR  |
| <b>⊗</b> N-LW                           | WALL WASH<br>NEW LOCATION                                       | BY OWNER  |                                      |               | LIGHT FIXTURE BY OWNER INSTALLED BY CONTRACTOR  |
| ⊚ N-S                                   | DOWN LIGHT<br>SHOWER / WET LOCATION                             | BY OWNER  |                                      |               |   |
|   | LED TAPE LIGHT  | LED TAPE LIGHT  |                                      |               | UNDER CABINET OR RECESSED LED TAPE LIGHT FIELD TEST LIGHTING BEFORE FINAL INSTALLATIO   |
| ● G1                                    | LOW VOLTAGE GROUND<br>LANDSCAPE LIGHT                           | LOW VOLTAGE GROUND<br>LANDSCAPE LIGHT                           |                                      |               | LOW VOLTAGE GROUND<br>LANDSCAPE LIGHT   |
| ● G2                                    | LOW VOLTAGE GROUND<br>PAVER / CONCRETE<br>FLUSH LANDSCAPE LIGHT | LOW VOLTAGE GROUND<br>PAVER / CONCRETE<br>FLUSH LANDSCAPE LIGHT |                                      |               | LOW VOLTAGE GROUND PAVER / CONCRETE FLUSH<br>LANDSCAPE LIGHT; FIELD TEST / VERIFY EXACT LOCATION<br>PRIOR TO FINAL INSTALLATION INTO FINISHED SURFACE |
| <b>⊕</b> <sup>™</sup>                   | "TASK/TABLE LAMP"   | BY OWNER  |                                      |               |   |
| J.B. FOR H.P.                           | JUNCTION BOX FOR<br>HANGING PENDANT                             | BY OWNER  |                                      |               | PROVIDE FLUSH JUNCTION BOX IN CEILING FIXTURE SELECTION AND PURCHASE BY OWNER   |
| <b>\$</b> FT #                          | FAN TECH<br>1-800-747-1762                                      | 110 CFM EXHAUST FAN LIGHT<br>CEILING MOUNT 4" DUCT              | SIZE FAN PER<br>NETWORK<br>AND ROOMS | DUCTS<br>VARY |   |
| #                                       | FAN TECH<br>1-800-747-1762                                      | 110 CFM EXHAUST FAN WALL OR<br>COVE CEILING MOUNT 4" DUCT       | SIZE FAN PER<br>NETWORK<br>AND ROOMS | DUCTS<br>VARY | EXHAUST FAN IN WALL BEHIND TOILET OR<br>IN CEILING COVE SLOT  |

NOTE: ALL LIGHT FIXTURES BY OWNER; INSTALLED BY CONTRACTOR

| CHEDULE   |
|---|
| NOTES   |
| OVIDE EXTRA WIRE LOOP @ 6'-0" AFF VERIFY INTERIOR DESIGN TO LOCATE JUNCTION BOX   |
| STING LIGHT FIXTURE TO REMAIN   |
| HT FIXTURE BY OWNER INSTALLED BY NTRACTOR   |
| HT FIXTURE BY OWNER INSTALLED BY NTRACTOR   |
|   |
| DER CABINET OR RECESSED LED TAPE LIGHT<br>LD TEST LIGHTING BEFORE FINAL INSTALLATIO   |
| W VOLTAGE GROUND<br>NDSCAPE LIGHT   |
| / VOLTAGE GROUND PAVER / CONCRETE FLUSH<br>DSCAPE LIGHT; FIELD TEST / VERIFY EXACT LOCATION<br>DR TO FINAL INSTALLATION INTO FINISHED SURFACE |
|   |
| OVIDE FLUSH JUNCTION BOX IN CEILING<br>TURE SELECTION AND PURCHASE BY OWNER   |
|   |

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660 Mohegan Street Birmingham, Michigan 48009

ELECTRICAL / LIGHTING **GENERAL NOTES** PROJECT NUMBER: 2022-04

| ELEC                    | ELECTRICAL LEGEND   |                         |  |  |  |  |  |
|-------------------------|---|-------------------------|--|--|--|--|--|
| SYMBOL                  | NOTES / DESCRIPTION / LOCATION  | SYMBOL                  | NOTES / DESCRIPTION / LOCATION   |  |  |  |  |
| Фех                     | EXISTING 110V WALL OUTLET TO REMAIN   | Ē                       | ELECTRICAL OUTLET WITH EXTRA WIRE TO BE PULLED INTO CUSTOM B-IN CABINET              |  |  |  |  |
| $\Phi_{N}$              | NEW 110V WALL MOUNTED DUPLEX ABOVE BASE TURNED<br>HORIZONTAL MATCH EXISTING (UNLESS OTHERWISE NOTED)<br>REFER TO DETAIL 1 ON E-0                | B                       | ELECTRICAL FOR BLINDS, VERIFY REQUIRED POWER & SWITCHING 16-18 GAGE 4 WIRE           |  |  |  |  |
| <b>⊕</b> GFCI           | GROUND FAULT CIRCUIT INTERRUPTER  | TV                      | COAXIAL / ANTENENA WIRING<br>(PER AUDIO VIDEO SPEC'S)                                |  |  |  |  |
| $\Phi_{WP}$             | EXTERIOR WATER PROOF<br>OUTLET  | SP                      | SPEAKER LOCATION (FIELD VERIFY ALL SPEAKER LOCATIONS W/ OWNER & ARCHITECT            |  |  |  |  |
| \$                      | 110V DUPLEX TURNED HORIZONTAL & MOUNTED @ HT INDICATED OR IF ABOVE COUNTER TOP MOUNT 1" CLEARANCE BETWEEN COVER & TOP. REFER TO DETAIL 2 ON E-0 | $\bigcirc$              | SMART THERMOSTAT (VERIFY ALL FINAL LOCATIONS)  |  |  |  |  |
| <del> </del>            | QUAD OUTLET   | $\overline{\mathbf{v}}$ | PHONE OUTLET IN FLOOR(METAL TRIM & SCREW-IN COVER - FINISH SILVER)                   |  |  |  |  |
|                         | 110V DUPLEX ON<br>SEPARATE CIRCUIT  | $\nabla$                | PHONE OUTLET/DATA 12" AFF (UNLESS OTHERWISE NOTED)                                   |  |  |  |  |
| <b>P</b> <sub>220</sub> | 220V OUTLET FOR APPLIANCES<br>(SEE MANUFACTURERS SPECIFICATIONS)  | ₹                       | PHONE OUTLET TURNED HORIZONTAL & MOUNTED W/ 1" CLEARANCE BETWEEN COVER & COUNTER TOP |  |  |  |  |
| \$                      | OUTLET CONTROLLED BY SWITCH   | M                       | MOTION DETECTOR / OCCUPANCY SENSOR   |  |  |  |  |
| Φ                       | ELEC OUTLET IN FLOOR (METAL TRIM & SCREW-IN COVER - VERIFY FINISH W/ OWNER  | <b>W</b>                | UNDER UPPER CABINET OUTLET; GFCI IF REQUIRED   |  |  |  |  |
|                         |   |                         |  |  |  |  |  |

SWITCH T PE VERIFY W/ OWNER SWITCH TYPE, COLOR & COVER. FOR EXAMPLE SWITCH TYPE EITHER (DECORA, TOGGLE OR SLIDE) **NEW DIMMER SWITCH** EX SWITCH LOCATION TO REMAIN **NEW TIMER SWITCH** NEW SINGLE POLE SWITCH NEW THREE WAY SWITCH NEW UNDER UPPER CABINET SWITCH

# GENERAL ELECTRICAL NOTES

ALL ELECTRICAL INSTALLATION SHALL COMPLY WITH THE CURRENT (2015) MICHIGAN RESIDENTIAL CODE AND/OR THE MOST CURRENT NATIONAL ELECTRICAL CODE BASED ON THE GOVERNING JURISDICTION. IN THE EVENT OF CONFLICT THE MOST STRINGENT REQUIREMENTS SHALL APPLY.

- 1. TACK ALL LIGHTING FIXTURE ROUGH KITS & JUNCTION BOXES INTO LOCATIONS SITED ON PLANS AND DRAWINGS, AND PER CODE. VERIFY WITH INTERIOR DESIGNER & OWNER FOR FINAL INTERIOR DESIGNER & OWNER. LOCATIONS ON WALK-THRU. ALLOW FOR RELOCATION 8. VERIFY ALL LIGHTING & SWITCH LOCATIONS WITH OWNER AND ADJUSTMENT PRIOR TO HARD WIRING.
- 2. WIRE ALL REMOTE THERMOSTATS. 3. PROVIDE INSULATED HOUSING FIXTURES TO PREVENT INSTALLATION. FIXTURE FROM MAKING CONTACT WITH CEILING
- OR ROOF INSULATION. 4. NETWORK BATHROOM GFCI'S AS CODE ALLOWS.
- 5. COORDINATE ALL LOW VOLTAGE & SPEAKER LOCATIONS WITH OWNER
- 6. VERIFY ALL EXTERIOR LIGHTING FIXTURE TYPE & LOCATIONS WITH OWNER
- 7. VERIFY ALL PENDENT FIXTURE TYPES & LOCATIONS WITH
- 9. REFER TO OWNER APPROVED INTERIOR ELEVATIONS & ALL MILLWORK SHOP DRAWINGS PRIOR TO LIGHTING & ELECTRICAL
- 10. VERIFY ALL OWNER APPROVED APPLIANCES PRIOR TO INSTALLATION, VERIFY ALL APPLIANCES ELECTRICAL REQUIREMENTS & SPECIFICATIONS
- 11. ALL SWITCH HEIGHTS TO BE 36" ABOVE FINISH FLOOR TO CENTER OF SWITCH UNLESS OTHERWISE NOTES

DO NOT SCALE DRAWINGS; CONTRACTOR TO NOTIFY ARCHITECT FOR MISSING DIMENSION

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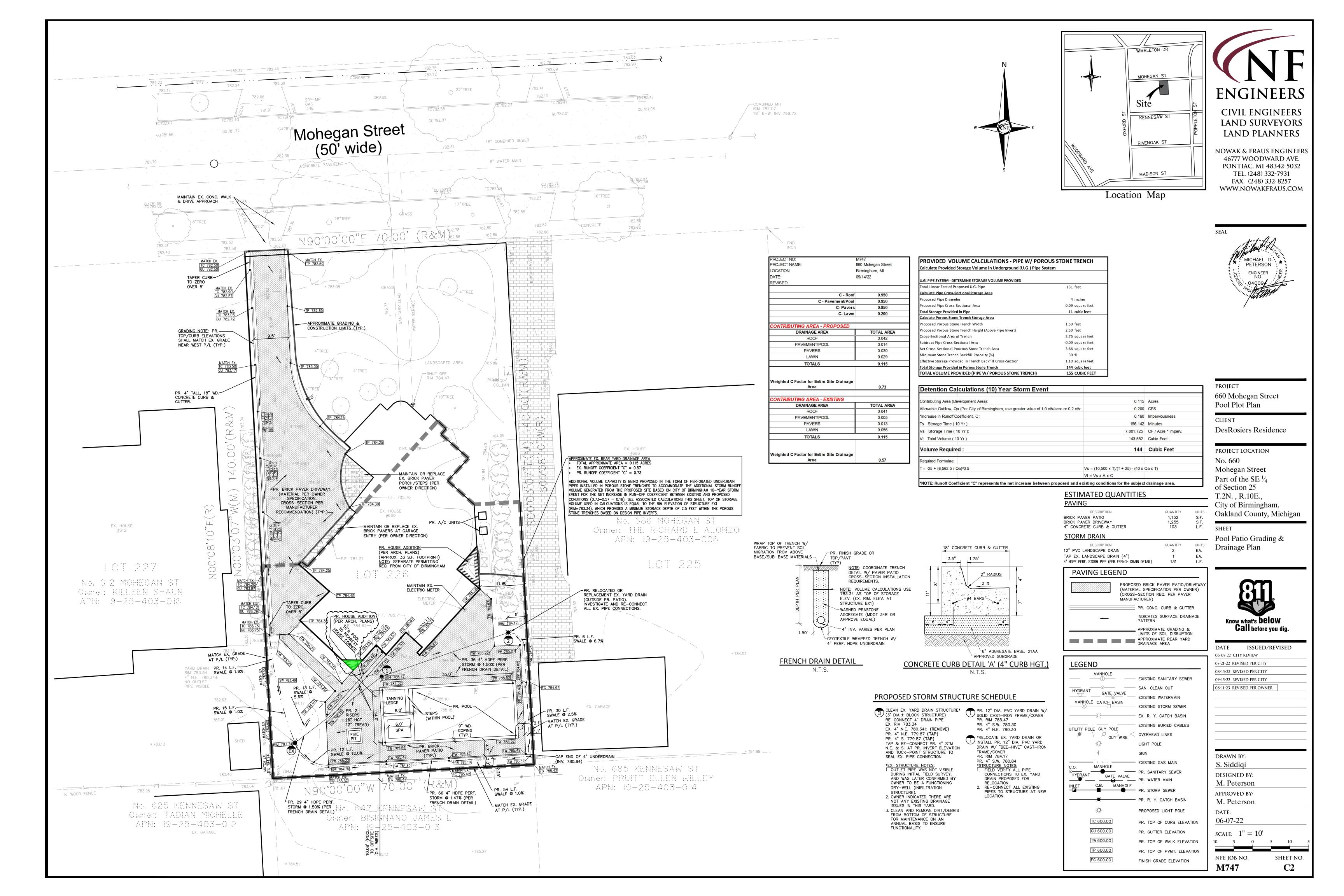
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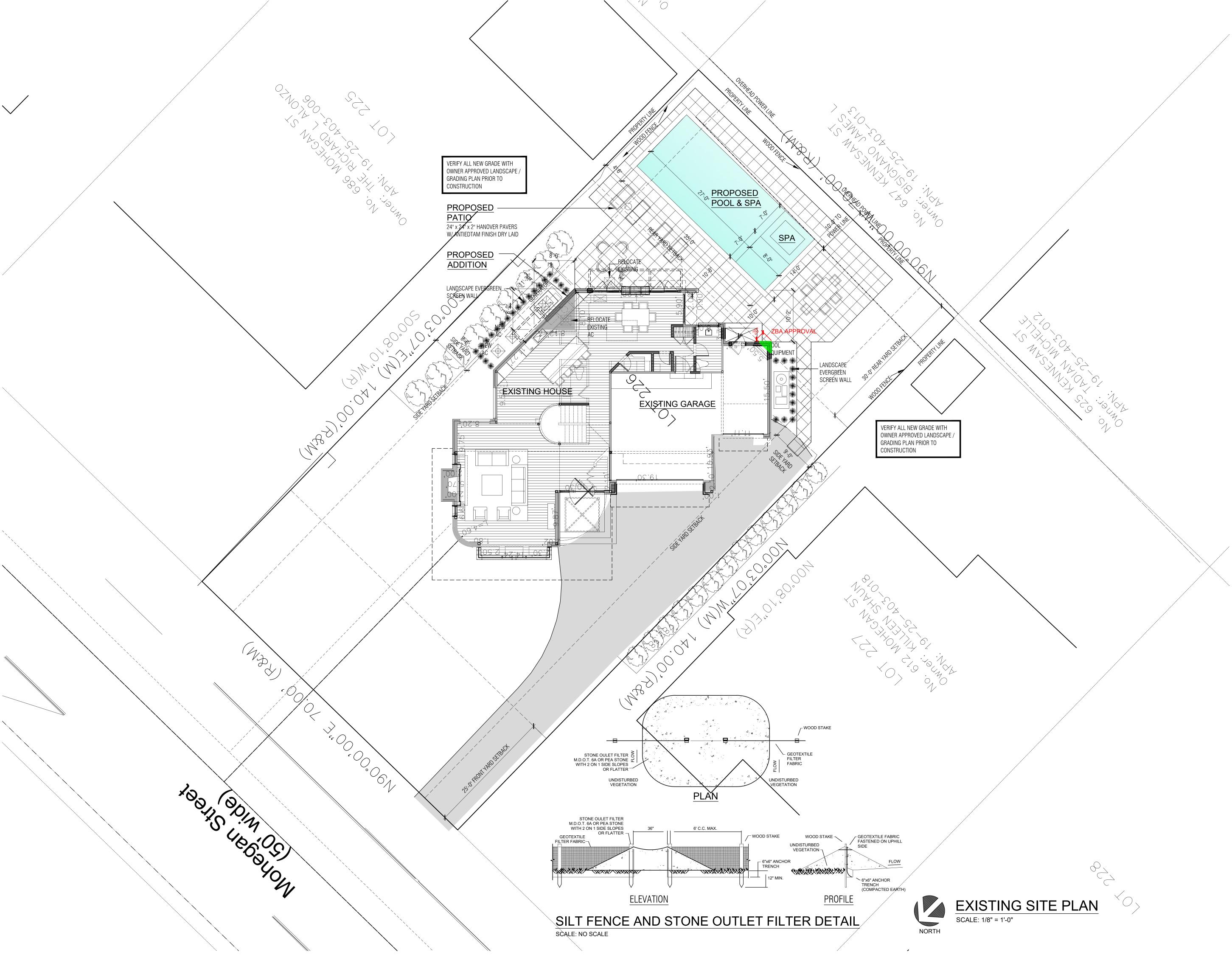
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660 Mohegan Street Birmingham, Michigan 48009 SHEET TITLE:

# ARCHITECTURAL SITE PLAN

PROJECT NUMBER: 2022-04

SETBACK REQUIREMENTS ZONED R-1

REAR YARD = 30'-0"

FRONT YARD = 25'-0" MINIMUM COMBINED FRONT & REAR 55'-0" SIDE YARD 14'-0" OR 25% OF TOTAL LOT WIDTH
WHICHEVER IS LARGER FOR BOTH SIDES YARDS
LOT WIDTH 70'-0" x 25% = 17'-6" COMBINED

SITE SQUARE FOOTAGE CALCULATIONS ZONED R-1  $\frac{\text{EXISTING SITE}}{\text{PROPOSED HOUSE FOOTPRINT W/ ADDITION}} = 9,799$ EXISTING DRIVE & ENTRY = 1,450PROPOSED POOL & PATIO
TOTAL COVERAGE

OPEN SPACE CALCULATION MINIMUM OPEN SPACE REQUIRED = 40% REQUIRED (9,799 LOT-5,271 COVERAGE = 4,528 / 9,799= 46% PROVIDED

LOT COVERAGE MAX. LOT COVERAGE REQUIRED = 30% REQUIRED (9,799 LOT-2,128 HOUSE = 7,6717,671 / 9,799) = 22% PROVIDED

ELEVATION TARGET HEIGHTS ARE CALCULATED FROM MAIN LEVEL FINISH FLOOR BENCH MARK ELEVATION 100'-0" REFER TO SURVEY PLAN FOR

CORRESPONDING USGS ELEVATION (741.50)

DO NOT SCALE DRAWINGS; CONTRACTOR TO

NOTIFY ARCHITECT FOR MISSING DIMENSION

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